



**Development Permit Panel
Wednesday, April 24, 2024**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Cecilia Achiam, General Manager, Community Safety, Chair
Marie Fenwick, Director, Arts, Culture and Heritage
Michael Allen, Acting Director, Real Estate Services

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on March 27, 2024 be adopted.

CARRIED

**1. DEVELOPMENT PERMIT 23-024119
(REDMS No. 7609062)**

APPLICANT: Topstream Management Ltd.

PROPERTY LOCATION: 8635, 8655, 8675 and 8695 Cook Crescent

INTENT OF PERMIT:

Permit the construction of 28 townhouse units and fourteen secondary suites at 8635, 8655, 8675 and 8695 Cook Crescent on a site zoned "Town Housing (ZT103) – Parking Structure Townhouses (Spires Road – Cook Crescent)".

Development Permit Panel

Wednesday, April 24, 2024

Applicant's Comments

Coby Xiao, Topstream Management Ltd., introduced the presenters for the application and Jeff Shen, J+S Architect, Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

- the form of the proposed development is consistent with neighbouring townhouse developments in the area;
- due to the closure of Cook Crescent in the future, the entrances to the building's parkade and main lobby will be located off Spires Road on the south side of the proposed development;
- the project provides 28 dwelling units, including 27 multi-level townhouse units and one ground level flat in four building blocks;
- the proposed unit mix consists of two- to five-bedroom townhouse units and 14 townhouse units will contain a secondary suite on ground level;
- a central courtyard space is proposed on the podium level surrounded by the four building blocks;
- all townhouse units include a patio on the podium level and/or rooftop deck and all secondary suites will have a private outdoor space;
- a three-metre wide north-south public walkway along the west property line and a 10-meter wide greenway, i.e. Pedestrian Linkage, along the north property line are proposed;
- the triangular area north of the 10-meter wide greenway will be dedicated by the developer to the City;
- a three-metre landscape strip around the perimeter of the site is proposed to provide a second layer of landscaping on the ground level;
- the proposed 34 residential parking spaces meet the minimum Zoning bylaw requirement;
- the proposed use of materials, colours and architectural elements visually reduce the height of the building and breaks down the building mass;
- two four-storey convertible units and one single-level Basic Universal Housing (BUH) unit are proposed; and
- the project has been designed to achieve Step Code 4 of the BC Energy Step Code.

Development Permit Panel

Wednesday, April 24, 2024

Yiwen Ruan, PMG Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) each unit will be provided with a landscaped yard with a canopy tree to enhance the pedestrian experience around the site, (ii) multiple trees are proposed to be retained and protected along the west property line, (iii) the west public walkway is configured to protect the retained trees, (iv) street furniture is proposed at the northeast and southeast corner plazas to encourage their use, (v) the outdoor amenity area on the podium level includes two children's play areas in different locations and exercise and play equipment for adults, (vi) each unit will be provided with a landscaped yard on the podium level, (vii) wall mounted and bollard lighting are proposed for the project, (viii) drought tolerant species are proposed for planting on-site, and (ix) an on-site high-efficiency irrigation system is proposed for all planted areas.

Staff Comments

Wayne Craig, General Manager, Planning and Development, clarified that the triangular area north of the proposed 10-metre wide greenway is not intended to be a City park as it is a future development lot and there is an expectation that a licence agreement will be entered into to allow the residents of the proposed development to use the area until the redevelopment of the lot occurs.

In addition, Mr. Craig noted that (i) there is a Servicing Agreement associated with the project for site services and frontage works, and (ii) the applicant is commended for their efforts to integrate the four existing trees on the walkway along the western edge of the subject site.

In reply to a query from the Panel, Mr. Craig stated that the title of the triangular property north of the 10-metre wide greenway will be transferred to the City and the City anticipates to enter into a licencing agreement to allow the residents of the proposed development to use the lot, which will be fenced to prohibit public access.

Panel Discussion

In reply to queries from the Panel, the applicant team noted that (i) the secondary suites can be accessed on the ground level either from the street or public walkways, (ii) the secondary suites are designed to be studio or one-bedroom units and have sizes ranging from approximately 300 square feet or larger, (iii) there is a tree in the triangular area north of the 10-metre wide greenway that will be retained, (iv) the sculptural pieces hanging down in between buildings are intended to fill the gap between buildings and are not part of public art, and (v) lighting will be installed along the public walkways and on adjacent buildings.

Correspondence

None.

Development Permit Panel
Wednesday, April 24, 2024

Gallery Comments

The Chair advised staff to meet with the member of public present in Council Chambers wanting to delegate but unable to speak on the proposal due to the absence of her translator.

Panel Discussion

The Panel expressed support for the project, noting the design is well thought out and there is adequate separation from the future development to the west through the provision of the public walkway.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of 28 townhouse units and fourteen secondary suites at 8635, 8655, 8675 and 8695 Cook Crescent on a site zoned "Town Housing (ZT103) – Parking Structure Townhouses (Spires Road – Cook Crescent)".

CARRIED

2. DEVELOPMENT PERMIT 23-029453

(REDMS No. 7623245)

APPLICANT: Fougere Architecture Inc.

PROPERTY LOCATION: 10611 and 10751 River Drive

INTENT OF PERMIT:

Permit the construction of a mid-rise residential development comprising 181 residential units, including 18 low-end-of-market-rental (LEMR) units and 13 market rental units at 10611 and 10751 River Drive on a site zoned "Low to Mid Rise Apartment (ZLR46) - Bridgeport"

Applicant's Comments

Wayne Fougere, Fougere Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 2), provided background information on the proposed development, highlighting the following:

- the proposed development completes the multi-phase overall development on the north side of River Drive between No. 4 Road and Shell Road;
- the lower two-storey amenity building and four-storey apartment building are located along River Drive and the higher two six-storey apartment buildings are sited at the rear, fronting the dike and the river;

Development Permit Panel

Wednesday, April 24, 2024

- a total of 181 dwelling units are proposed including 150 market strata units, 13 market rental units and 18 Low-End-of-Market (LEMR) units;
- street-facing apartment buildings have lower living areas to provide better connection to the street;
- the central pedestrian entry to the proposed development is located on River Drive and provides pedestrian connection from River Drive to the dike through the central courtyard;
- a wheelchair accessible widened public walkway is located along the edge of the west property line and provides pedestrian connection from River Drive to the dike walkway;
- the public multi-use path along Shell Road on the east side of the subject site is wheelchair accessible; however, the access from the pathway's northern terminus to the dike is not wheelchair accessible due to its steep slope;
- the central courtyard on the podium level is enclosed by the four buildings and can be accessed from the street, public walkways and the dike;
- public art is proposed at the corner of River Drive and Shell Road;
- the project provides 91 Basic Universal Housing (BUH) units, including 16 for LEMR units, 10 for market rental units, and 65 for market strata units;
- the contemporary architectural style of the buildings in the proposed development is consistent with the buildings in Phase 1 of the overall development; and
- outdoor amenity space is provided on the podium level central courtyard and indoor amenity spaces are provided in the two-storey indoor amenity building and smaller multi-purpose rooms in the larger northeast and northwest apartment buildings.

Yiwen Ruan, PMG Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the proposed landscaping for the project, noting that (i) the proposed landscape design is intended to provide pedestrian connectivity and interaction, (ii) semi-private spaces along the edges of the site are separated from public spaces through grade change and landscaping, including installation of tiered planters, (iii) the proposed outdoor amenity area on the podium level central courtyard provides a variety of uses for adults and children, including among others, as gathering spaces and play areas, (iv) accessible pedestrian pathways are provided along the west and east edges of the site and through the courtyard at the centre of the site, (v) proposed on-site planting includes drought tolerant and pollinator friendly species, and (vi) a high-efficiency on-site irrigation system will be provided for all planted areas.

Development Permit Panel

Wednesday, April 24, 2024

Staff Comments

Mr. Craig noted that (i) the rental units in the rental building fronting River Drive will be secured through housing agreements and the developer has entered into a memorandum of understanding with a non-profit organization for the management of the rental units, (ii) the Servicing Agreement associated with the project includes frontage works on River Drive and Shell Road and site services, among others, (iii) there will be a separate Servicing Agreement for the construction of the dike and dike pathways, (iv) there is an extensive Transportation Demand Management (TDM) package associated with the project which includes, among others, the provision of transit passes to 15 percent of the residents of market strata units, an increase of on-site bicycle storage facility, and the provision of a bicycle maintenance facility, and (v) more than 70 percent of the total number of units provided in the project are family-friendly units, i.e., two-to three-bedroom units.

In reply to queries from the Panel, staff advised that (i) aging-in-place features incorporated in all of the proposed units include the provision of stairwell handrails, lever-type handles for plumbing fixtures and door handles, and solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers, (ii) there are no fully accessible units provided in the project; however, the project provides 91 Basic Universal Housing (BUH) units which includes 16 out of 18 LEMR units, 10 out of 13 market rental and 65 out of 150 market strata units, (iii) the dike connection from the Shell Road terminus to the dike is intended for maintenance vehicles and public access for pedestrians; however, it is not suitable for people in wheelchairs due to its steep grade, (iv) the public walkway along the west edge of the site from River Drive to the dike walkway is wheelchair accessible, and (v) it is not feasible for the proposed development to connect to the privately-owned geo utility located in the earlier phase of the overall development.

Panel Discussion

In reply to queries from the Panel, the applicant team advised that (i) the proposed public art for the project has been presented to the City's Public Art Advisory Committee, (ii) a local artist will be commissioned for the proposed public art, and (iii) the project has been designed to achieve Step Code 3 of the BC Energy Step Code with a privately owned low-carbon energy system.

Correspondence

None.

Development Permit Panel Wednesday, April 24, 2024

Gallery Comments

Sandra Lindahl, 10766 River Drive, queried about (i) actions taken by the developer to put in place pest control to address rodent infestation as a result of building demolition as noted at the June 19, 2023 Public Hearing for the rezoning of the subject site, (ii) the exact number of residential units provided in the proposed development, (iii) how the City will ensure that the proposed number of rental housing units are actually built and used for their intended purpose, (iv) who should the neighbours contact if they are not satisfied with the measures taken by the developer to ensure roads are kept free from dust, nails and other construction debris, (v) whether the strata or the renters of LEMR units will shoulder the cost for the installation of grab bars and the conversion of the BUH units into accessible units, and (vi) the location of vehicle access to the underground parkade on River Drive.

In addition, Ms. Lindahl expressed disagreement with the Traffic Impact Assessment prepared by a qualified professional referenced in the staff report indicating that the existing road network can accommodate the additional traffic generated by the proposed development, as she noted that residents in the area are currently experiencing traffic concerns on River Drive.

In reply to Ms. Lindahl's queries, the applicant team advised that (i) a pest control company has been commissioned by the developer to undertake pest control and will soon commence their work, (ii) the project will provide a total of 181 units, including 150 market strata units, 13 market rental units and 18 LEMR units, (iii) the developer can be contacted for construction related concerns and will regularly monitor construction and dialogue with neighbours, (iv) the rental company/operator will shoulder the costs for the installation of grab bars in the market rental and LEMR units, and (v) vehicle access to the underground parkade is located at the southwest corner of the subject site.

In reply to the query regarding how the City will ensure that the proposed number of market rental and LEMR units will be constructed and used for their intended purpose, Mr. Craig noted that the City will be registering a housing agreement on title of the property which includes the obligation to provide statutory declarations to the City on a periodic basis to ensure that those units are rented and LEMR units are rented by qualified tenants under the City's Affordable Housing Strategy guidelines.

In reply to Ms. Lindahl's concern regarding the Traffic Impact Assessment at rezoning, Mr. Craig noted that an independent third party assessment was provided during the rezoning phase and it was reviewed and approved by the City's Transportation Department.

A resident of 2401 Shell Road queried about (i) the number of parking stalls provided in the project, (ii) measures to mitigate construction debris including dust and dirt in the subject site impacting neighbouring residential properties, and (iii) the timeline for project construction.

Development Permit Panel
Wednesday, April 24, 2024

In reply to the query regarding the number of parking stalls proposed for the project, the applicant team noted that 274 parking stalls will be provided for 181 residential units. In addition, Mr. Craig stated that the proposed number of parking stalls to be provided is consistent with the City's Zoning Bylaw requirement.

In reply to queries regarding measures to mitigate the impact of dust and dirt during construction and project construction timeline, the applicant team advised that (i) appropriate equipment will be used as needed to clear dust, dirt and other construction debris that are above normal levels, and (ii) the developer intends to commence project construction in the later part of this year subject to the timing of required City approvals.

In reply to a further query, the applicant clarified that the developer will endeavor to keep the roads clean during construction.

In addition, the Chair advised that the City's Bylaws Department contact information will be posted on the subject site so neighbouring residents can contact the City for construction-related concerns.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

- 1. permit the construction of a mid-rise residential development comprising 181 residential units, including 18 low-end-of-market-rental (LEMR) units and 13 market rental units at 10611 and 10751 River Drive on a site zoned "Low to Mid Rise Apartment (ZLR46) - Bridgeport"*

CARRIED

3. DEVELOPMENT PERMIT 23-035339
(REDMS No. 7603680)

APPLICANT: Gustavson Wylie Architects Inc.

PROPERTY LOCATION: 18399 Blundell Road

INTENT OF PERMIT:

Permit the construction of two single-storey buildings with drive-through restaurant uses at 18399 Blundell Road on a site zoned "Industrial (I)".

Applicant's Comments

David Cheung, Gustavson Wylie Architects Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 3), provided background information on the proposed development, highlighting the following:

Development Permit Panel

Wednesday, April 24, 2024

- the original Development Permit for the project was issued by Council around three years ago; however, due to unforeseen events, the permit lapsed as construction did not take place within the required period;
- two single-storey buildings are proposed for quick service restaurant and drive-through uses with a central plaza located between the two buildings for outdoor eating area;
- a right-in/right-out vehicle entry/exit and left turn entry are provided on Blundell Road and a right-in/right-out only vehicle entry/exit is proposed on Nelson Road;
- 64 outdoor parking spaces are proposed including two accessible parking stalls near the entrances of the two buildings;
- nine of the 64 parking stalls will be provided with electric vehicle (EV) charging stations;
- bicycle parking will be provided on the site;
- canopies are proposed at restaurant entrances to provide weather protection;
- tilt-up concrete was proposed to be used in the original design of the buildings but has been changed to insulated metal panel system to meet sustainability requirements;
- contrasting colours are proposed for the project to provide visual interest in the industrial neighbourhood; and
- the central plaza includes an awning feature and landscaped to animate the place and provide visual interest.

Christy Voelker, Prospect and Refuge Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) three pedestrian entries are proposed from the sidewalk to the subject site, (ii) areas of pedestrian walkways that cross the drive aisles and vehicle queuing areas are treated with a different colour of permeable pavers to enhance pedestrian safety, (iii) shading and a variety of seating opportunities are proposed in the central plaza, (iv) proposed planting includes species that are low-maintenance and provide all-season interest, (v) a row of canopy trees is proposed along the south edge of the site to provide shade in the parking lot, (vi) on-site irrigation will be provided for planted areas, and (vii) permeable pavers are proposed for the outdoor eating plaza and pedestrian walkways.

Staff Comments

Mr. Craig noted that (i) an Automatic Volume Control (AVC) system that adjusts speaker volume will be installed in the drive-through to ensure compliance with the City's Noise Bylaw, (ii) the project includes nine electric vehicle (EV) charging stations, and (iii) there was a Servicing Agreement entered into as part of the previous Development Permit approval for frontage works which have been completed.

Development Permit Panel
Wednesday, April 24, 2024

Panel Discussion

In reply to queries from the Panel, the applicant team noted that (i) the AVC system automatically adjusts the speaker volume based on ambient noise levels and has been successfully used by many drive-through restaurants, (ii) shower facilities for restaurant workers biking to work would be difficult to provide in the restaurant buildings due to their size, (iii) automatic irrigation will be provided on-site for all planted areas, and (iv) raised planters in the central plaza will have adequate soil volume for the size of trees to be planted.

Gallery Comments

None.

Correspondence

None.

Panel Discussion

The Panel expressed support for the project for restaurant uses, noting that it is a welcome addition to the industrial neighbourhood.

It was moved and seconded

That a Development Permit be issued which would permit the construction of two single-storey buildings with drive-through restaurant uses at 18399 Blundell Road on a site zoned "Industrial (I)".

CARRIED

4. New Business

None.

5. Date of Next Meeting: May 15, 2024

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (5:02 p.m.).

CARRIED

Development Permit Panel
Wednesday, April 24, 2024

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, April 24, 2024.

Cecilia Achiam
Chair

Rustico Agawin
Committee Clerk



2024-04-24 Development Permit Panel Presentation

A 28-unit Townhouse Development

8635-8695 COOK CRESCENT, CITY OF RICHMOND

PROJECT INFO

Site Context



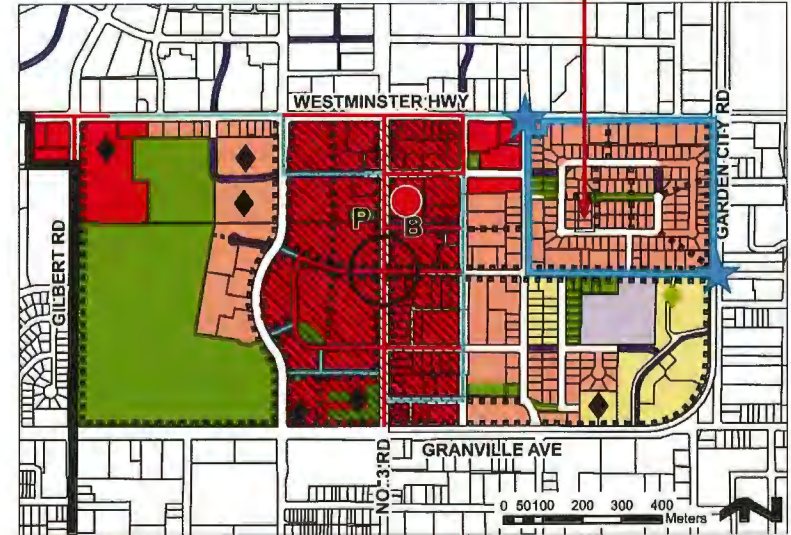
SE Corner

SITE LOCATION

City of Richmond

Specific Land Use Map: Brighthouse Village (2031)

Bylaw 9892
2020/07/13



- | | | |
|-----------------------------------------------------|----------------------------------------|--------------------------------------------------------------------------|
| General Urban T4 (15m) | School | Proposed Streets |
| Urban Centre T5 (25m) | Village Centre Bonus | Pedestrian-Oriented Retail Precincts-High Street & Linkages |
| Urban Core T8 (45m) | Institution | Pedestrian-Oriented Retail Precincts-Secondary Retail Streets & Linkages |
| Park | Pedestrian Linkages | Canada Line Station |
| Park-Configuration & location to be determined | Enhanced Pedestrian & Cyclist Crossing | Transit Plaza |
| Village Centre: No. 3 Road & Cook Road Intersection | Bus Exchange | Spires Road Area |

Bylaw 10029
2019/05/21 Maximum building height may be subject to established Airport Zoning Regulations in certain areas.

PROJECT INFO

Neighboring Townhouse Developments

neighboring townhousing developments have received approvals in recent years



8888 Spires Road

"Parking Structure Townhouses"



8800 Spires Road

"Parking Structure Townhouses"



8951, 8971 Spires Road and 8991 Spires Gate

"Parking Structure Townhouses"



8671, 8731 Spires Road

"Parking Structure Townhouses"

PROJECT INFO

Features to Fit Into Surrounding Neighborhood



8888 Spires Road

“Parking Structure Townhouses”



8951, 8971 Spires Road and 8991 Spires Gate

“Parking Structure Townhouses”



8800 Spires Road

“Parking Structure Townhouses”

- reflects a contemporary take on the traditional architectural style in the Neighborhood
- similar size and proportion of building blocks
- common features e.g., pitched roofs and at-grade yards with weather-protected entries
- traditional roof gables to downsize building scale
- same material language e.g., asphalt shingle on gable roof and siding on exterior

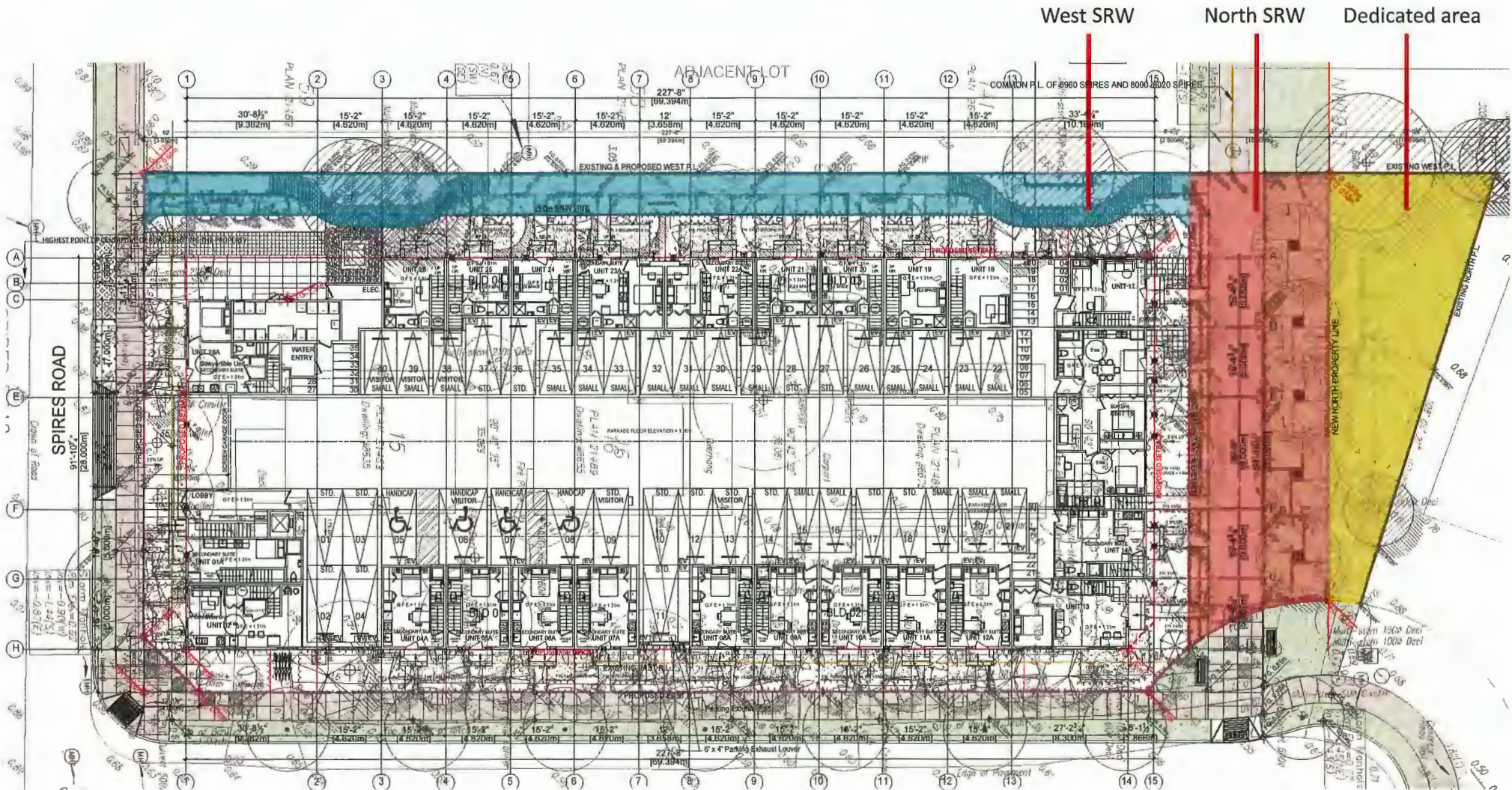


8671, 8731 Spires Road

“Parking Structure Townhouses”

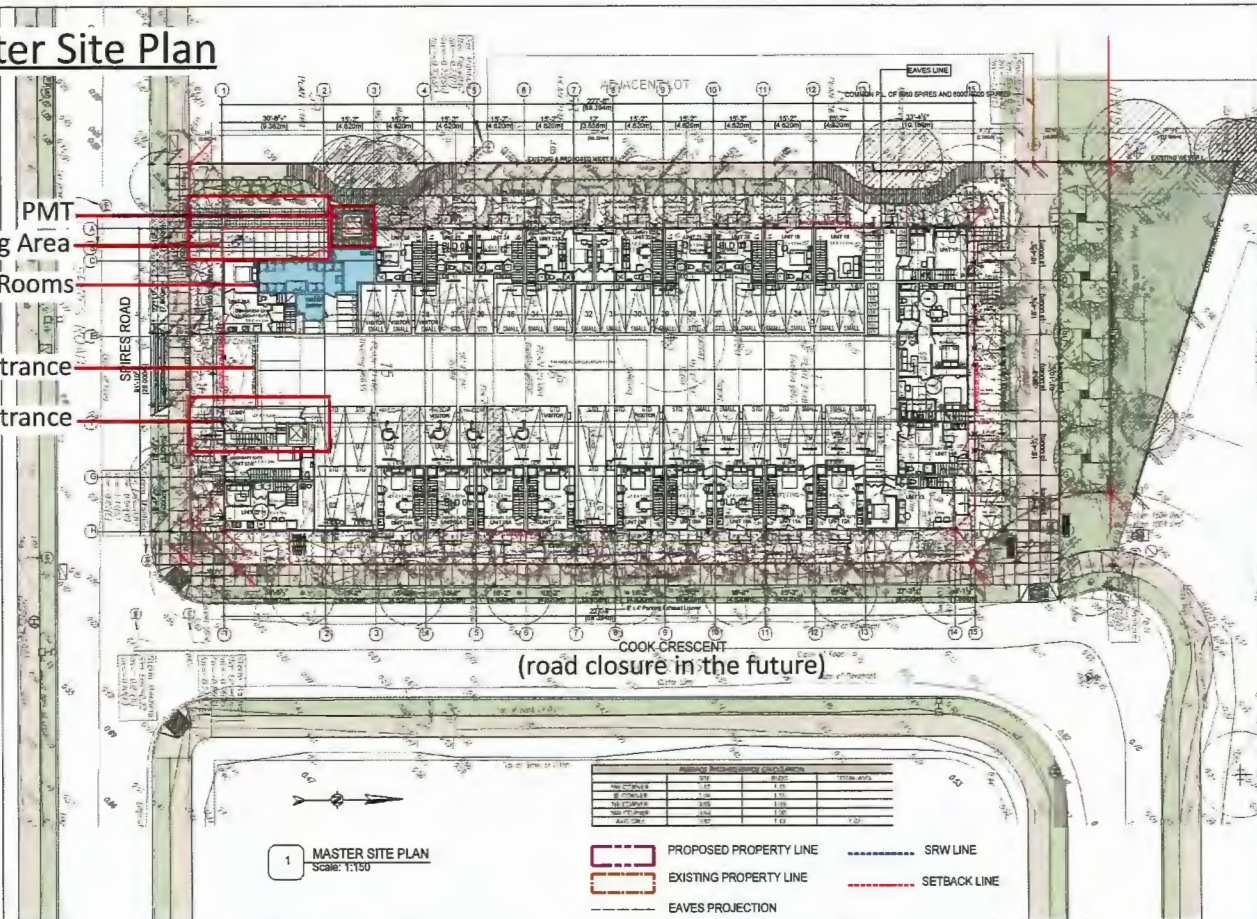
PROJECT INFO

Recap from Rezoning: Pedestrian Linkage in the north and the west



Master Site Plan

- PMT
- Loading Area
- Service Rooms
- Parkade Entrance
- Lobby Entrance



Service rooms and loading area, PMT, parkade and main lobby entrance all are located along the southern frontage because of road closure of cook crescent in the future.



T 504 333 888 OFFICE & ARCHITECTS CA
 285-488 ENERGY, SUPPLY & BC VAN 604
 WWW.AMARCHITECTS.COM

REVISIONS:

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

PROJECT:
 803-8861 COOK CRESCENT
 TOWNHOUSE DEVELOPMENT
 RICHMOND BC
 2022

NO.	DATE	DESCRIPTION

Master Site Plan
 A.1.01

Ground Floor Plan

14 (50%) Secondary Suite for Rental



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 206-400 KINGSTON BURNABY, BC V5H 4M4
 WWW.JSARCHITECT.CA

CONTRACT

OWNER'S RESPONSIBILITY TO LAYOUT WORK
 It is the Owner's responsibility to lay out and carry out the work as shown in the contract documents. The Architect is not responsible for the layout to any other extent than to advise the Owner of the nature, quantity and location of the work which may be required in the design.
 Any dimensions which the Owner desires within the contract documents to be shown as to be shown in a particular location shall be shown as to be shown in a particular location. A note indicating that the Architect is not responsible for the layout work shall be placed on the drawing.
 Vertical dimensions shall be as indicated in the contract documents.
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REVISION	DATE
ISSUED FOR PERMIT	04/10/2017
REVISION FOR PERMIT	04/10/2017
REVISION FOR PERMIT	04/10/2017
REVISION FOR PERMIT	04/10/2017
REVISION FOR PERMIT	04/10/2017
REVISION FOR PERMIT	04/10/2017
REVISION FOR PERMIT	04/10/2017

NO. REVISIONS: 8

ISSUED FOR: PERMIT

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PROJECT
 8635-8695 COOK CRESCENT
 TOWNHOUSE DEVELOPMENT

8635-8695 Cook Crescent,
 Richmond BC

CLIENT

SCALE: AS SHOWN

DATE: 2017.04.10

DRAWN BY: J.S.

CHECKED BY: J.S.

DATE: 2017.04.10

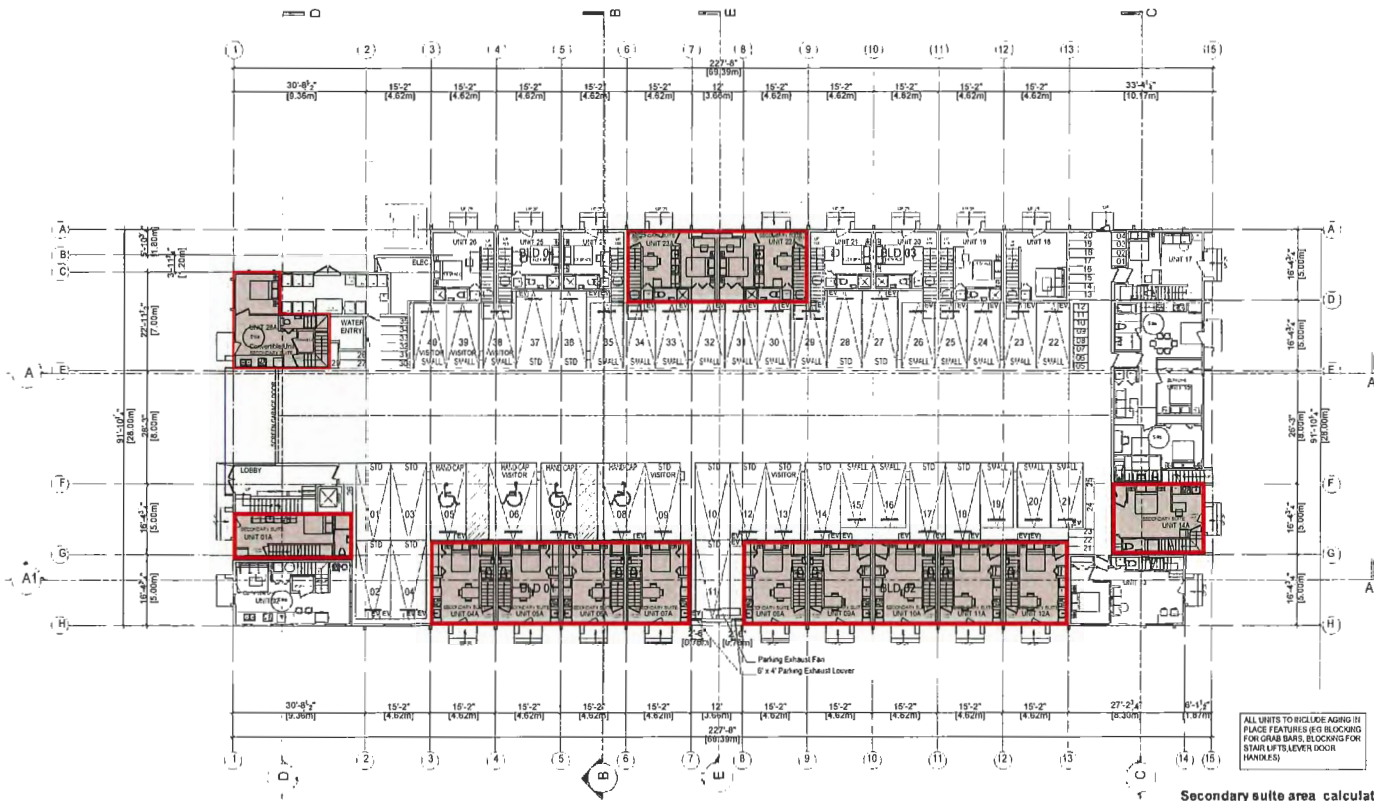
21-28

PROJECT NAME

Ground Floor Plan

DATE: 2017.04.10

A2.01



ALL UNITS TO INCLUDE AGING IN PLACE FEATURES (E.G. BLOCKING FOR GRAB BARS, BLOCKING FOR STAIR LIFTS, LOWER DOOR HANDLES)

1 GROUND FLOOR PLAN
 Scale: 1:150

SECONDARY SUITE

Secondary suite area calculation

Unit	Ground floor area (sq ft)	Stairs area (sq ft)	Total (sq ft)
Unit 1	300.65	12.83	288.12
Unit 01A	299.54	19.44	280.1
Unit 02A	299.54	19.44	280.1
Unit 03A	299.54	19.44	280.1
Unit 04A	299.54	19.44	280.1
Unit 05A	299.54	19.44	280.1
Unit 06A	299.54	19.44	280.1
Unit 07A	299.54	19.44	280.1
Unit 08A	299.54	19.44	280.1
Unit 09A	299.54	19.44	280.1
Unit 10A	299.54	19.44	280.1
Unit 11A	299.54	19.44	280.1
Unit 12A	299.54	19.44	280.1
Unit 13A	299.54	19.44	280.1
Unit 14A	354.10	27.43	326.75
Unit 15A	354.10	27.43	326.75
Unit 16A	354.10	27.43	326.75
Unit 17A	354.10	27.43	326.75
Unit 18A	354.10	27.43	326.75
Unit 19A	354.10	27.43	326.75
Unit 20A	354.10	27.43	326.75
Unit 21A	354.10	27.43	326.75
Unit 22A	354.10	27.43	326.75
Unit 23A	354.10	27.43	326.75
Unit 24A	354.10	27.43	326.75
Unit 25A	354.10	27.43	326.75
Unit 26A	354.10	27.43	326.75
Unit 27A	354.10	27.43	326.75
Unit 28A	354.10	27.43	326.75
Unit 29A	354.10	27.43	326.75
Unit 30A	354.10	27.43	326.75
Unit 31A	354.10	27.43	326.75
Unit 32A	354.10	27.43	326.75
Unit 33A	354.10	27.43	326.75
Unit 34A	354.10	27.43	326.75
Unit 35A	354.10	27.43	326.75
Unit 36A	354.10	27.43	326.75
Unit 37A	354.10	27.43	326.75
Unit 38A	354.10	27.43	326.75
Unit 39A	354.10	27.43	326.75
Unit 40A	354.10	27.43	326.75
Unit 41A	354.10	27.43	326.75
Unit 42A	354.10	27.43	326.75
Unit 43A	354.10	27.43	326.75
Unit 44A	354.10	27.43	326.75
Unit 45A	354.10	27.43	326.75
Unit 46A	354.10	27.43	326.75
Unit 47A	354.10	27.43	326.75
Unit 48A	354.10	27.43	326.75
Unit 49A	354.10	27.43	326.75
Unit 50A	354.10	27.43	326.75
Unit 51A	354.10	27.43	326.75
Unit 52A	354.10	27.43	326.75
Unit 53A	354.10	27.43	326.75
Unit 54A	354.10	27.43	326.75
Unit 55A	354.10	27.43	326.75
Unit 56A	354.10	27.43	326.75
Unit 57A	354.10	27.43	326.75
Unit 58A	354.10	27.43	326.75
Unit 59A	354.10	27.43	326.75
Unit 60A	354.10	27.43	326.75
Unit 61A	354.10	27.43	326.75
Unit 62A	354.10	27.43	326.75
Unit 63A	354.10	27.43	326.75
Unit 64A	354.10	27.43	326.75
Unit 65A	354.10	27.43	326.75
Unit 66A	354.10	27.43	326.75
Unit 67A	354.10	27.43	326.75
Unit 68A	354.10	27.43	326.75
Unit 69A	354.10	27.43	326.75
Unit 70A	354.10	27.43	326.75
Unit 71A	354.10	27.43	326.75
Unit 72A	354.10	27.43	326.75
Unit 73A	354.10	27.43	326.75
Unit 74A	354.10	27.43	326.75
Unit 75A	354.10	27.43	326.75
Unit 76A	354.10	27.43	326.75
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Unit 79A	354.10	27.43	326.75
Unit 80A	354.10	27.43	326.75
Unit 81A	354.10	27.43	326.75
Unit 82A	354.10	27.43	326.75
Unit 83A	354.10	27.43	326.75
Unit 84A	354.10	27.43	326.75
Unit 85A	354.10	27.43	326.75
Unit 86A	354.10	27.43	326.75
Unit 87A	354.10	27.43	326.75
Unit 88A	354.10	27.43	326.75
Unit 89A	354.10	27.43	326.75
Unit 90A	354.10	27.43	326.75
Unit 91A	354.10	27.43	326.75
Unit 92A	354.10	27.43	326.75
Unit 93A	354.10	27.43	326.75
Unit 94A	354.10	27.43	326.75
Unit 95A	354.10	27.43	326.75
Unit 96A	354.10	27.43	326.75
Unit 97A	354.10	27.43	326.75
Unit 98A	354.10	27.43	326.75
Unit 99A	354.10	27.43	326.75
Unit 100A	354.10	27.43	326.75

Minimum floor area of
 at least
 25.0sq m (709.1sq ft.)
 less than
 120sq m (1291.07sq ft.)

Ground Floor Outdoor Amenity Overlay



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CONSULTANT

BUILDER'S RESPONSIBILITY TO LAYERS ABOVE:
It is the Builder's responsibility to lay out and carry out the work as indicated on the contract documents. It is the Builder's responsibility to be fully aware of the work and conditions which may be required to be completed at the time of construction. The Builder shall have precedence over any other work.
Value documents shall have precedence over printed documents.
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NO.	DESCRIPTION	DATE
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ISSUED FOR: PERMITS
DATE: 04/11/2014

TOP REVISIONS:

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PROJECT:
8635-8695 COOK CRESCENT
TOWNHOUSE DEVELOPMENT

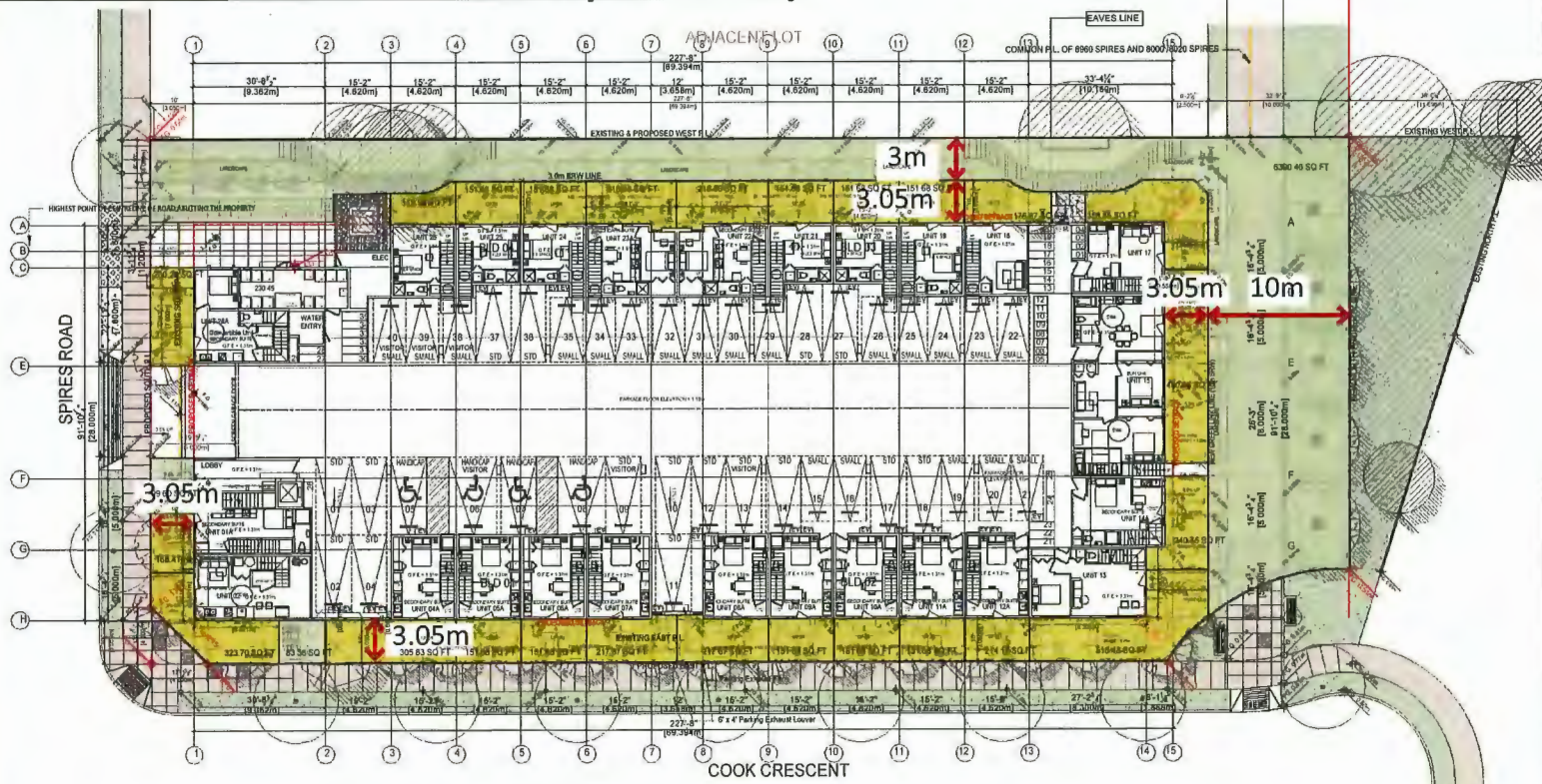
**8635-8695 Cook Crescent,
Richmond BC**

CLIENT:

SCALE:	SCALE:
DATE: 2013/03/21	
DESIGNED BY:	
CHECKED BY:	
DATE: 21-28	
PROJECT TITLE:	

Ground Floor Outdoor Open Area Overlay

A2.01b



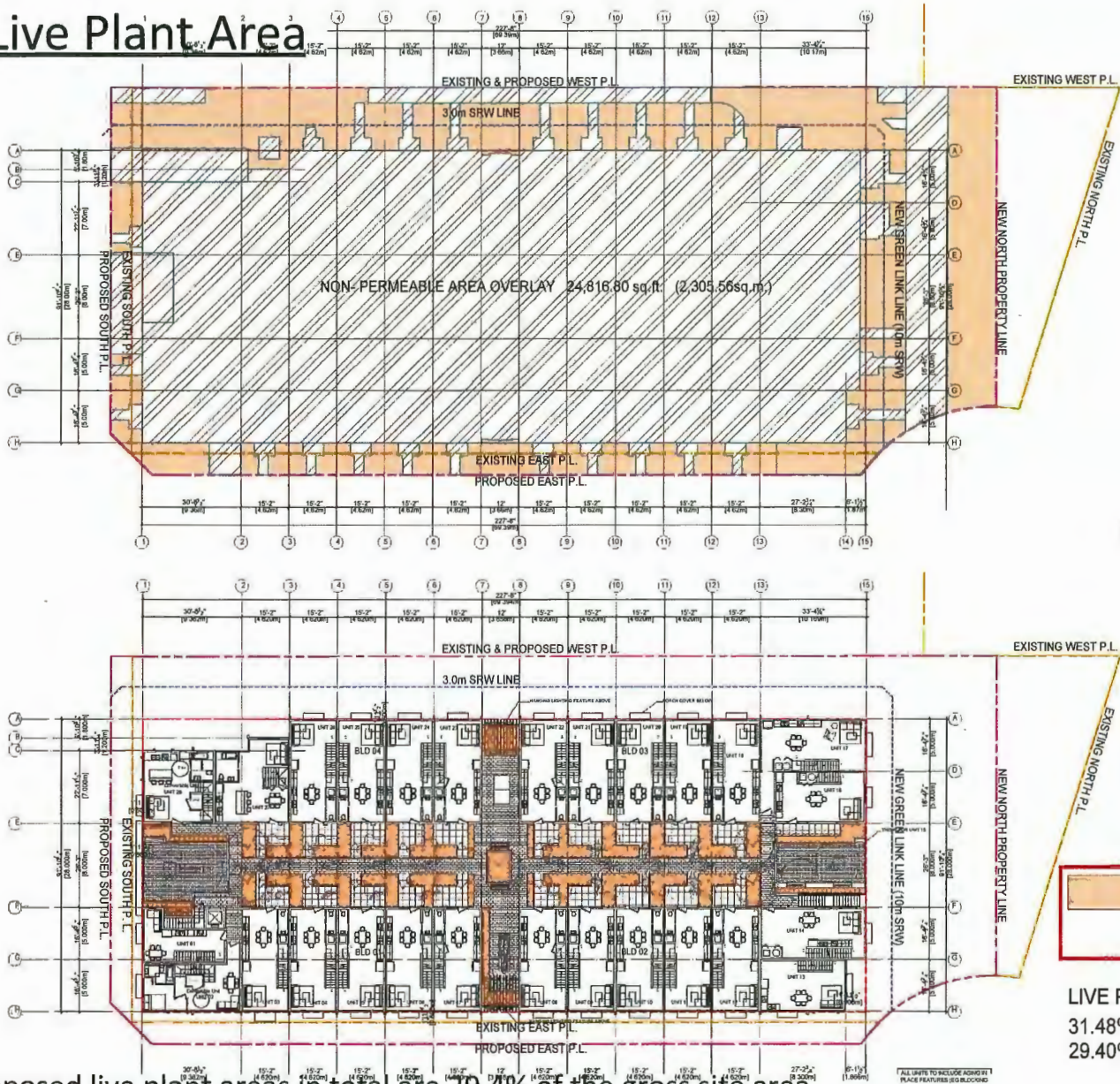
LEGEND	
	OUTDOOR AMENITY AREA
	CHILDREN'S PLAY
	ADDITIONAL OUTDOOR AMENITY AREA (GROUND FLOOR) 0578.20 SQ FT IN TOTAL
	PRIVATE YARD AREA

1 GROUND FLOOR OUTDOOR OPEN AREA OVERLAY
Scale: 1:150

	PROPOSED PROPERTY LINE		SRW LINE
	EXISTING PROPERTY LINE		SETBACK LINE

The private front yards are setback from west and north to provide public accessible walkways and green areas.

Live Plant Area

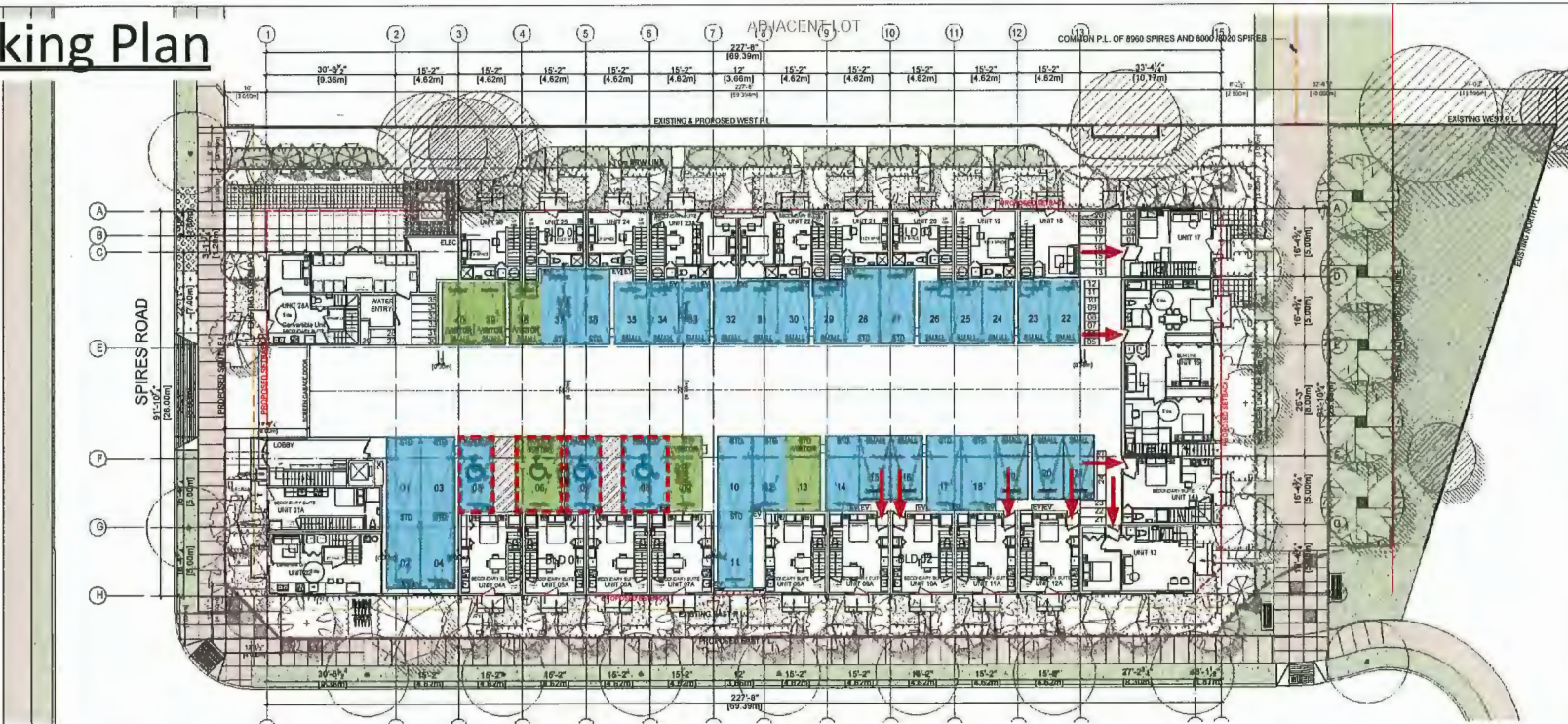


LIVE PLANT AREA OVERLAY (970.97sq.m in total)
 8,358.31sq.ft. (776.51 sq.m) ON GROUND FLOOR
 2093.08 sq.ft. (194.45 sq.m) ON SECOND FLOOR

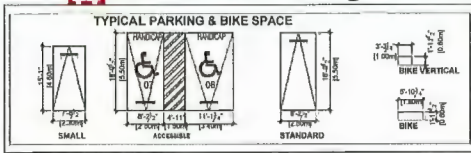
LIVE PLANT AREA COVERAGE:
 31.48% ON THE NET SITE AREA (970.97sq.m/ 3084.8 sq.m= 0.3148)
 29.40% ON THE GROSS SITE AREA (970.97 sq.m/ 3302.8 sq.m= 0.2940)

Proposed live plant areas in total are 29.4% of the gross site area.
 Approximately 80% of live plant areas is on G/F. The rest is on 2/F.

Parking Plan



- 1 **PARKING PLAN**
Scale: 1:150
- Residential Parking = 40
 - Visitor Parking = 6
 - Accessible Parking = 4



PARKING STALL (UNIT ASSIGN LIST)

PARKING & LOADING				
	Bylaw Required/Allowed	Proposed		
Residential 1.2 spaces per unit	33.6	see 7.9.3.1	34	ALLEY STALLS
Visitor 0.2 spaces per unit	5.0	see 7.9.3.1	6	
Total spaces (round up to nearest whole #)	40	For 331 spaces provided, minimum 80% shall be standard stalls (see 7.9.3.1.2)	40	21 Wheelchair/Accessible 19 small stalls
Visitor Parking Spaces (included in above Total)	30	Max 80% of required parking stalls	8	8 Standard
Quantity: 30% of the required parking stalls (19 wheelchair/accessible)	4	see 7.9.3.1.4	4	ALL BY STALLS - 20 wheelchair/accessible 1 for Visitor
Loading 1 medium size for 11-40 Residential Units	1	see 7.13.7	1	13m length, 3.23m width provided for loading area

ON-SITE BICYCLE STORAGE			
	Bylaw Required/Allowed	Proposed	
Class 1: Long term 1.25 spaces per unit	35	see 7.14.9	26 (12 vertical, 20 horizontal @ Parking)
Class 2: Short Term 0.2 spaces per unit	6	see 7.14.8	6 (1 @ Lobby Entrance Area @ east)
Total	41		32

Category	Quantity	Notes
Residential Parking	40	
Visitor Parking	6	
Accessible Parking	4	
Total	50	

For unit 9 to 17, each of them has direct access from parkade for convenience and fire department access purpose.



BUILDER'S RESPONSIBILITY TO LAYOUT WORK
It is the Builder's responsibility to lay out and verify all the work as detailed in the contract documents. It is the Builder's responsibility to ensure that the work is done in accordance with the contract documents, government and standards which may apply from time to time, and to the satisfaction of the Architect. The Builder shall be responsible for any work.
Written documents shall have precedence over verbal discussions.
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ISSUED FOR	DATE
ISSUED FOR RFP	04/13/2014
ISSUED FOR CP REVISIONS	10/13/2017
ISSUED FOR CP	10/13/2017
ISSUED FOR CP REVISIONS	10/13/2017
ISSUED FOR RFP REVISIONS	06/04/2012
ISSUED FOR RFP REVISIONS	06/04/2012
ISSUED FOR RFP REVISIONS	11/02/2011
ISSUED FOR RFP REVISIONS	04/18/2011

PROJECT
8835-8895 COOK CRESCENT
TOWNHOUSE DEVELOPMENT
8835-8895 Cook Crescent,
Richmond BC
CLIENT

SCALE:	REAL
DATE: 2023/08/21	
DRAWN BY:	
DESIGNED BY:	
DATE: 21-28	
ISSUE TITLE:	

Parking Plan

NO. 101 A1.02

2nd Floor Plan

- Courtyard accessed through main lobby and northern staircase
- 1.5mW pedestrian pathway to leave more space for greenery and amenities
- 3.25m patios in depth to accommodate larger lounge furnishings



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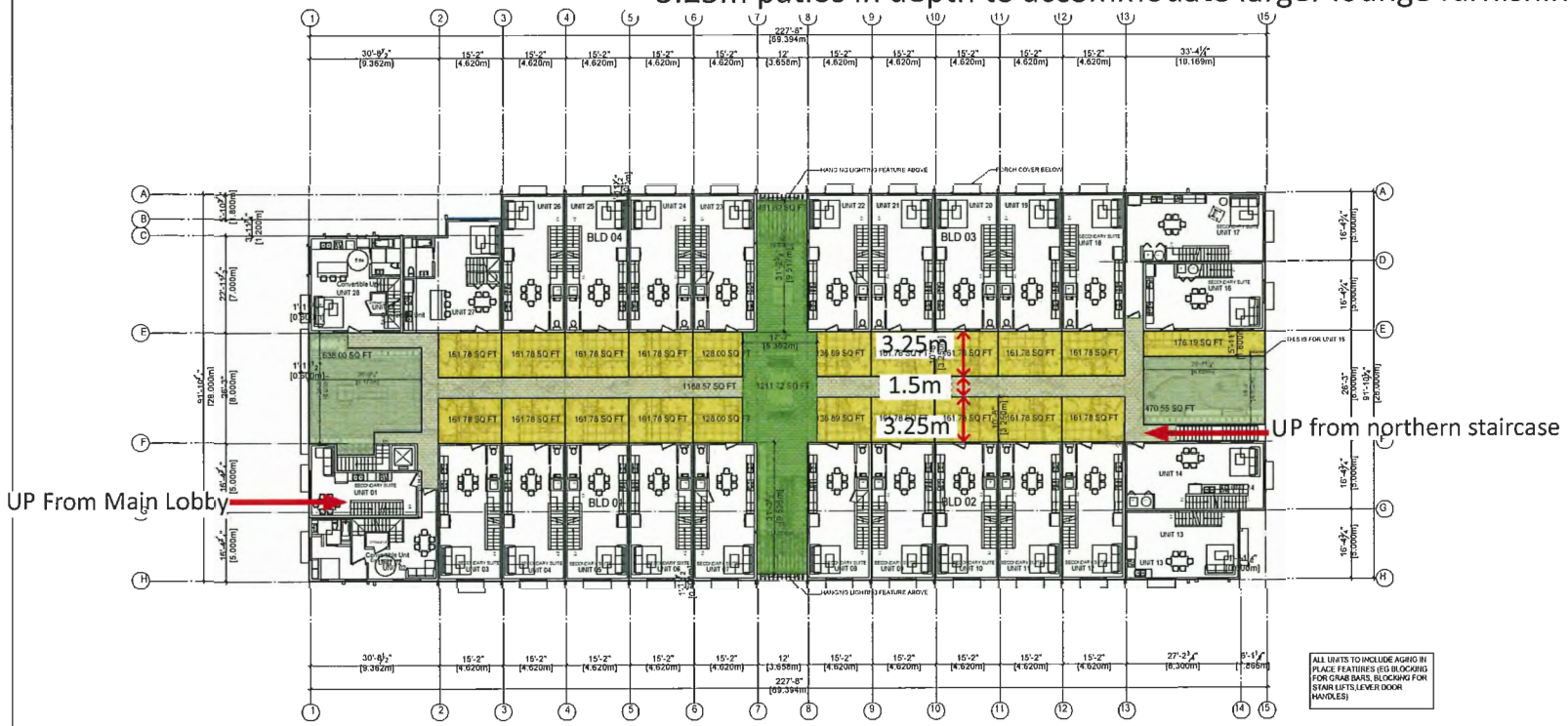
RESPONSIBILITY TO LAYOUT WORK
 It is the Designer's responsibility to lay out and carry out the work as defined in the contract documents. The Designer shall be responsible for the design, preparation and construction of all work shown on the drawings, including the work of any subcontractors and any other persons employed by the Designer.
 Where drawings shall be a reference to a listed contractor.
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PROJECT
 8835-8895 COOK CRESCENT
 TOWNHOUSE DEVELOPMENT
 8835-8895 Cook Crescent,
 Richmond BC
CLIENT

SCALE	DATE	BY	CHECKED BY	DATE
1:150	2023-04-12	JS	JS	

2ND Floor Outdoor Open Area Overlay
 A2.02b



LEGEND

- G OUTDOOR AMENITY AREA
- C CHILDREN'S PLAY
- A ADDITIONAL OUTDOOR AMENITY AREA (2ND FLOOR) 1,117.06 SQ FT IN TOTAL
- P PRIVATE YARD AREA

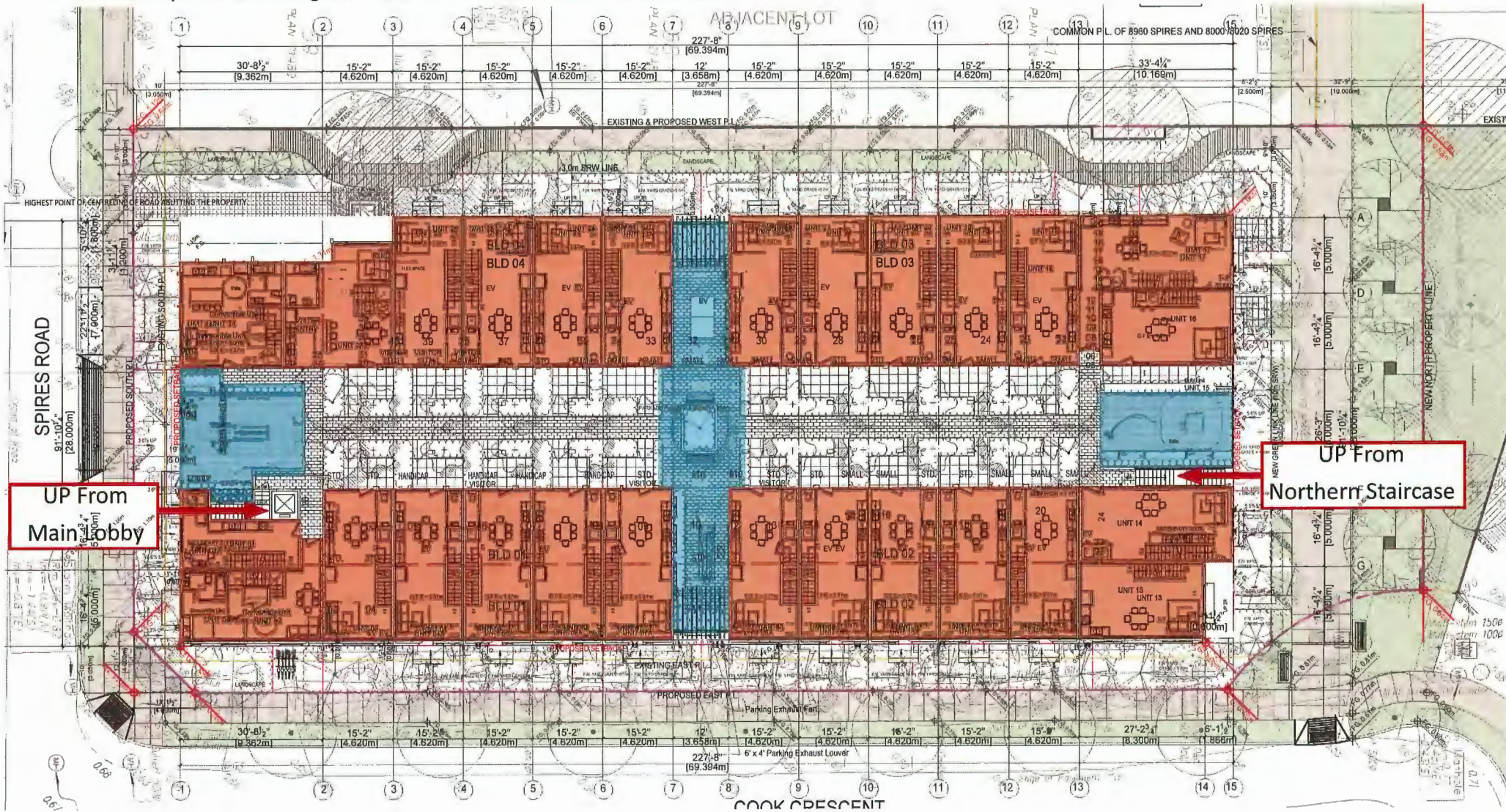
Amenity areas & children's play areas proposed calculation

area type	depth(ft)	width(ft)	areas(sq.ft)	areas(sq.ft)	required
Amenity areas	12.00	31.23	374.76	1211.72	6.0sq.m(64.59sq.ft)/unit 28*6.0sq.m(64.59sq.ft)=166sq.m(1806.34sq.ft)
	17.58	26.25	461.48		
	12.00	31.29	375.48		
children's play areas	26.81	26.25	638.00	1108.55	3.0sq.m(32.29sq.ft)/unit 28*3.0sq.m(32.29sq.ft)=84sq.m(904.17sq.ft)
	28.98	16.25	470.55		
total amenity areas				2320.27	

1 2ND FLOOR OUTDOOR OPEN AREA OVERLAY
 Scale: 1:150

Connectivity with Ground Floor Green Spaces

- Connect the outdoor amenity with our North and West Side green belts.
- Outdoor spaces are integrated and achieve the functions as a system.



4th Floor Outdoor Amenity Overlay

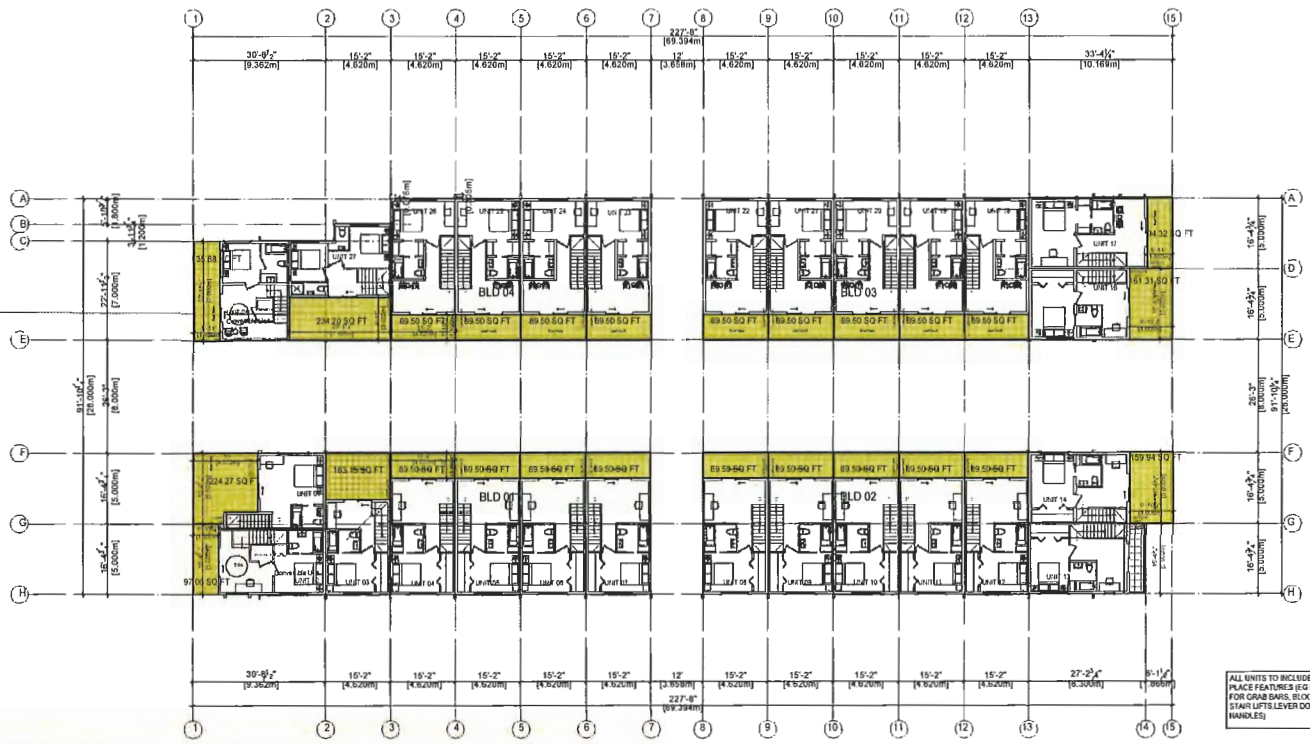


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 WWW.J.S.Architect.ca

CONTRACT

SUBJECTS BY RESPONSIBILITY TO LAYOUT WORK
 It is the Owner's responsibility to lay out and carry out the work as defined by the layout and dimensions. The Designer is responsible for the layout for any items shown which are not defined in the contract documents and for the arrangement of the work on the site.

The Designer is not responsible for the accuracy of the information shown on this drawing. It is the Owner's responsibility to verify the accuracy of the information shown on this drawing. The Designer is not responsible for the accuracy of the information shown on this drawing. The Designer is not responsible for the accuracy of the information shown on this drawing.



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001	ISSUED FOR PERMITS	10-11-2021
002	ISSUED FOR PERMITS	10-11-2021
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006	ISSUED FOR PERMITS	10-11-2021

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DATE	10-11-2021
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PROJECT:
 8635-8695 COOK CRESCENT TOWNHOUSE DEVELOPMENT
 8635-8695 Cook Crescent, Richmond BC
 CLIENT



4/F patios with glass fences

- Each multi-level townhouse unit is provided with a roof patio
- More sunlight for central courtyard through transparent glass fences on 4th-floor patios

LEGEND

- OUTDOOR AMENITY AREA
- CHILDREN'S PLAY
- PRIVATE YARD AREA



SCALE	1:100
DATE	2021.09.21
DESIGNER	
CHECKED BY	
DATE	21-28
PROJECT NO.	

4TH Floor Outdoor Open Area Overlay

A2.04b

Streetscape - East Elevation



Vertical fins as separators

Hardie board (white finish)

Hardie board (grey finish)

- Different material on G/F to visually reduce height of building.
- Vertical fins, occasional black exterior, and glazing break G/F into parts instead of long solid walls.



Occasional Black Exterior

2 EAST ELEVATION - STREETSCAPE
Scale: 1:250



CONTRACT

BUILDER'S RESPONSIBILITY TO LAUNCH HOME
It is the Builder's responsibility to lay out and carry out the work in accordance with the contract documents. It is the Buyer's responsibility to pay for every detail of the work in accordance with the contract documents. The Buyer shall be responsible for obtaining all necessary permits and approvals which may be required in the course of the project.
Any alterations which the Builder discovers within the contract documents shall be the responsibility of the Buyer. The Buyer shall be responsible for obtaining all necessary permits and approvals which may be required in the course of the project.
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TOP	DATE
DESIGN FOR PERMITS	18/03/2018
DESIGN FOR SP	19/07/2018
DESIGN FOR COORDINATION	20/08/2018
DESIGN FOR THE SUBMITTALS	18/03/2018
DESIGN FOR THE SUBMITTALS	20/08/2018
DESIGN FOR THE SUBMITTALS	18/03/2018
DESIGN FOR THE SUBMITTALS	20/08/2018

REVISIONS:

ISSUED FOR:	DATE

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PROJECT:
8635-8695 COOK CRESCENT
TOWNHOUSE DEVELOPMENT

8635-8695 Cook Crescent,
Richmond BC

CLIENT:

SCALE:	DATE:
1:250	18/03/2018
DRAWN BY:	
CHECKED BY:	
DATE:	
21-28	
DATE:	
21-28	

Street-Scape-02

SCALE: A5.02

Streetscape - West Elevation



1 WEST ELEVATION - STREETSCAPE
Scale: 1:250



2 EAST ELEVATION - STREETSCAPE
Scale: 1:250



- Vertical metal tube elements hanging over the amenity areas to fill in spacing and activate building frontage further.
- Side facade of corner units is treated as the front facade.



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WWW.J+SARCHITECT.COM

CONSULTANT

PUBLIC'S RESPONSIBILITY LAYOUT WORK
It is the Public's responsibility to try and get every detail right as detailed in the relevant documents. It is the Public's responsibility to make sure that any other information is added and approved, permitted and sanctioned which may vary from time to time.
Any discrepancies which the Public discovers within the relevant documents, drawings or between the contract documents shall be discussed with the Architect immediately before proceeding with any work.
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ADP	2019/08/14
ISSUED FOR DP PERMITS	19/12/2019
ISSUED FOR DP	20/01/2020
ISSUED FOR DP CONSTRUCTION	20/01/2020
ISSUED FOR DP PERMITS	20/01/2020
ISSUED FOR DP CONSTRUCTION	20/01/2020
ISSUED FOR DP APPLICATION	14/04/2020
ISSUED FOR DP APPLICATION	04/05/2020
REVISIONS:	
ISSUED FOR:	PERMITS

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PROJECT: 8935-8995 COOK CRESCENT TOWNHOUSE DEVELOPMENT
8935-8995 Cook Crescent,
Richmond BC
CLIENT:

SCALE:	SCALE:
DATE: 19/12/2019	
DRAWN BY:	
CHECKED BY:	
JOB NO:	
21-25	
SHEET TITLE:	

Street-Scape-02
DRAWING NO: A5.02
REVISION NO:



1 VIEW FROM NORTHWEST



2 VIEW FROM SOUTHWEST



3 VIEW FROM SOUTHEAST



4 VIEW FROM NORTHEAST

Buildings are surrounded by pedestrian walkways, so that all corners are of equal importance and visual interest.



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 205-403 FARGENTAY, BURANBY, BC V3H 4M4
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CONTRACT:
 NO. 2021-001

SUBJECT: RESPONSIBILITY TO LAYOUT MODEL
 It is the Builder's responsibility to lay out and carry out the work as indicated in the contract documents. It is therefore necessary for the Builder to pay very close attention to all dimensions, quantities and quantities which may vary from those indicated on the drawings.
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NO.	DATE	DESCRIPTION
01	2021-001	ISSUED FOR PERMITSUBMISSION
02	2021-002	ISSUED FOR OP
03	2021-003	ISSUED FOR K2 P2 SUBMISSION
04	2021-004	ISSUED FOR K2 P2 SUBMISSION
05	2021-005	ISSUED FOR K2 P2 SUBMISSION
06	2021-006	NO REVISIONS

ISSUED FOR:	DATE

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PROJECT:
 8835-8895 COOK CRESCENT TOWNHOUSE DEVELOPMENT

8835-8895 Cook Crescent, Richmond BC

CLIENT:

SCALE:	DATE:
DATE: 2021-001	
DESIGNED BY:	
CHECKED BY:	
DATE:	21-28
SHEET TITLE:	

Perspective Rendering-01

DATE:	ISSUED FOR:
A6.01	

Streetscape - North & South Elevations



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255-4823 PROSPERITY BURNABY, BC V5H 4U4
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CONSULTANT

MAKERS RESPONSIBILITY TO LAYOUT WORK
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DATE	DESCRIPTION
10/17/2024	ISSUED FOR PERMISSSION
09/19/2023	ISSUED FOR PERMISSSION
08/07/2023	ISSUED FOR PERMISSSION
08/04/2023	ISSUED FOR PERMISSSION
06/14/2023	ISSUED FOR PERMISSSION
04/04/2022	ISSUED FOR PERMISSSION

REVISIONS:

ISSUED FOR:	DATE:

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PROJECT:
8635-8695 COOK CRESCENT
TOWNHOUSE DEVELOPMENT
8635-8695 Cook Crescent,
Richmond BC
CLIENT:

SCALE:	SHEET:
SCALE 1:150	SHEET 01-01

Street-Scene-01

A5.01



- Contemporary take on traditional architectural style -- Pitched roof in the neighborhood.
- Symmetry and contrast of black and white are utilised to enhance the North and South Facade.

Further articulation to provide individuality to each block



Building 1
Sun (Yellow)



Building 2
Land (Orange)



Building 3
Water (Blue)

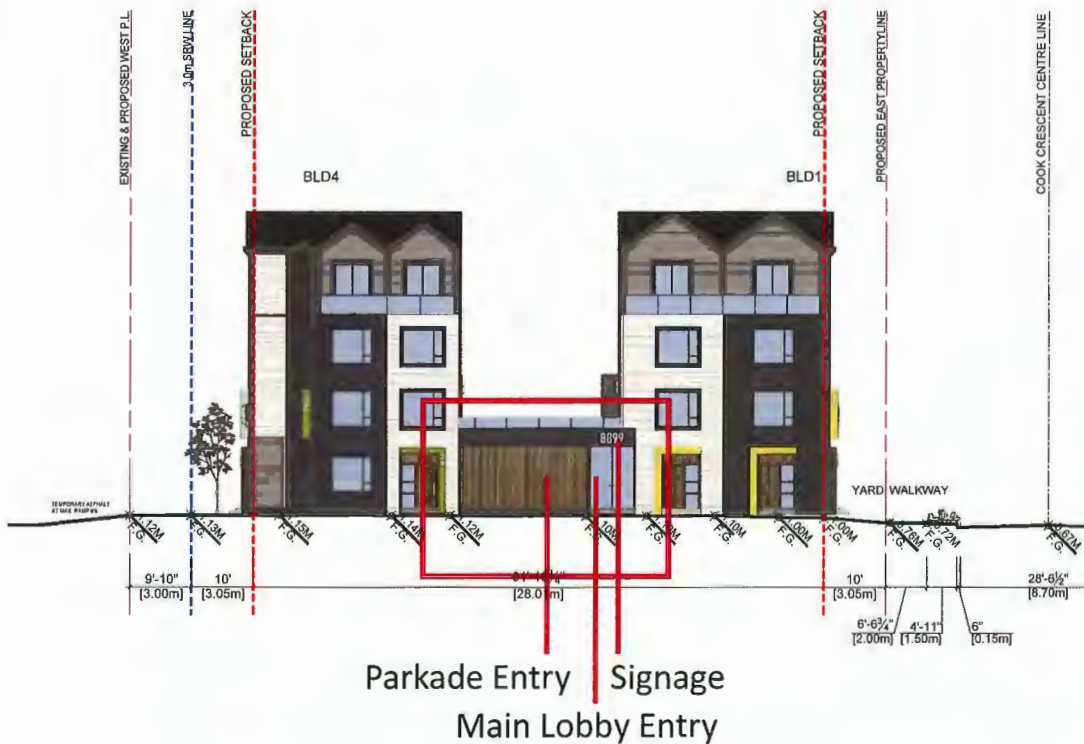


Building 4
Life (Green)



- Different color to the individual entry frames to give identity to each individual block.
- A signboard for each building block is hung at the corner unit to draw pedestrian attention.

Highlighting The Main Entrance



- The main lobby is under a large frame with the parkade entry.
- The architectural style of the frame is consistent with the overall contemporary style.
- Larger and higher than individual unit frames to be easily recognized.
- Features large glazing, which appears distinct from the individual unit entry with wood cladding.
- The address signage hung over lobby entry is for pedestrians to promptly notice its significance.

Elevation (BLD1)

Exterior blends materials including asphalt shingle, Hardie board siding, metal flashing, metal panel and natural fluted panel.



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CONTRACT

CLIENT'S RESPONSIBILITY TO LAYOUT WORK
It is the Client's responsibility to lay out and mark the work to be done in the contract documents. It is the Client's responsibility to provide for any necessary alterations to adjust for construction, guarantee and conditions which may arise from time to time.
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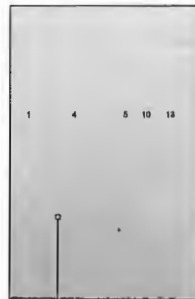
6	2	1	7	16
SLOPE ROOF 47'-10" (14.5M)				
ROOF OF ATTIC 47'-0" (14.3M)				
4TH FLOOR 37'-0" (11.3M)	8'-0" (2.4M)	7'-0" (2.1M)		
3RD FLOOR 27'-0" (8.2M)	4'-0" (1.2M)	1'-0" (0.3M)		
2ND FLOOR 17'-0" (5.2M)	1'-0" (0.3M)			
GROUND FLOOR AVERAGE FINISH GRADE	1'-0" (0.3M)			



Extract from Material Board:



1. Asphalt Shingles Roof (Gray Finish)



2. Hardie Board (White Finish)



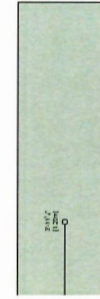
3. Hardie Board (Gray Finish)



5. Natural Walnut Fluted Panel



7. Charcoal Metal Flashing



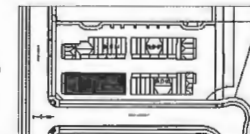
12. Pre Matte-finished Metal Panel (BM Spring Sky 674)

3 SOUTH ELEVATION Scale: 1:150

4 WEST ELEVATION Scale: 1:150

- Asphalt Shingles Roof (Gray Finish)
- Hardie Board (White Finish)
- Hardie Board (Gray Finish)
- Hardie Board (Taupe Finish)
- Natural Walnut Fluted Panel
- Natural Walnut Wood Panel
- Charcoal Metal Flashing
- Hardie Board in Gray Finish for Window/Door/Edge Trim

- Pre-finished Windows Frame (Black)
- Metal Railing With Clear Glazing (Gray Paint)
- Pre Matte-finished Metal Panel (BM Green Thumb CSP-870)
- Pre Matte-finished Metal Panel (BM Spring Sky 674)
- Pre Matte-finished Metal Panel (BM Yellow Highlighter 2021-40)
- Pre Matte-finished Metal Panel (BM Orange Appeal 124)
- Frosted Tempered Glass Screen



NO.	REVISIONS	DATE	BY
1	ISSUED FOR PERMITS	1/19/2024	J+S
2	ISSUED FOR PERMITS	1/20/2024	J+S
3	ISSUED FOR PERMITS	2/16/2024	J+S
4	ISSUED FOR PERMITS	2/16/2024	J+S
5	ISSUED FOR PERMITS	2/16/2024	J+S
6	ISSUED FOR PERMITS	2/16/2024	J+S
7	ISSUED FOR PERMITS	2/16/2024	J+S
8	ISSUED FOR PERMITS	2/16/2024	J+S
9	ISSUED FOR PERMITS	2/16/2024	J+S
10	ISSUED FOR PERMITS	2/16/2024	J+S
11	ISSUED FOR PERMITS	2/16/2024	J+S
12	ISSUED FOR PERMITS	2/16/2024	J+S
13	ISSUED FOR PERMITS	2/16/2024	J+S
14	ISSUED FOR PERMITS	2/16/2024	J+S
15	ISSUED FOR PERMITS	2/16/2024	J+S
16	ISSUED FOR PERMITS	2/16/2024	J+S

ISSUED FOR PERMITS

DATE: 2/16/2024

BY: J+S

DATE: 2/16/2024

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DATE: 2/16/2024

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DATE: 2/16/2024

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DATE: 2/16/2024

BY: J+S

Elevations (BLD1)

A3.02

SUN & SHADOWS STUDIES



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02/06/2014

DESIGNER'S RESPONSIBILITY TO LAYOUT WORK
It is the Builder's responsibility to read and verify all the work as obtained in the contract documents. It is the Designer's responsibility for the Builder to verify design conditions in local site conditions, government and conditions which may vary from those set out in the drawings.
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DESIGN FOR PERMITS	2013/04/11
REVISION FOR PERMITS	2013/04/11
REVISION FOR PERMITS	2013/04/11
REVISION FOR PERMITS	2013/04/11
REVISION FOR PERMITS	2013/04/11
REVISION FOR PERMITS	2013/04/11
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ISSUED FOR: DATE: 04/16/2014

DATE: 04/16/2014

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PROJECT:
8635-8695 COOK CRESCENT
TOWNHOUSE DEVELOPMENT

8635-8695 Cook Crescent,
Richmond BC

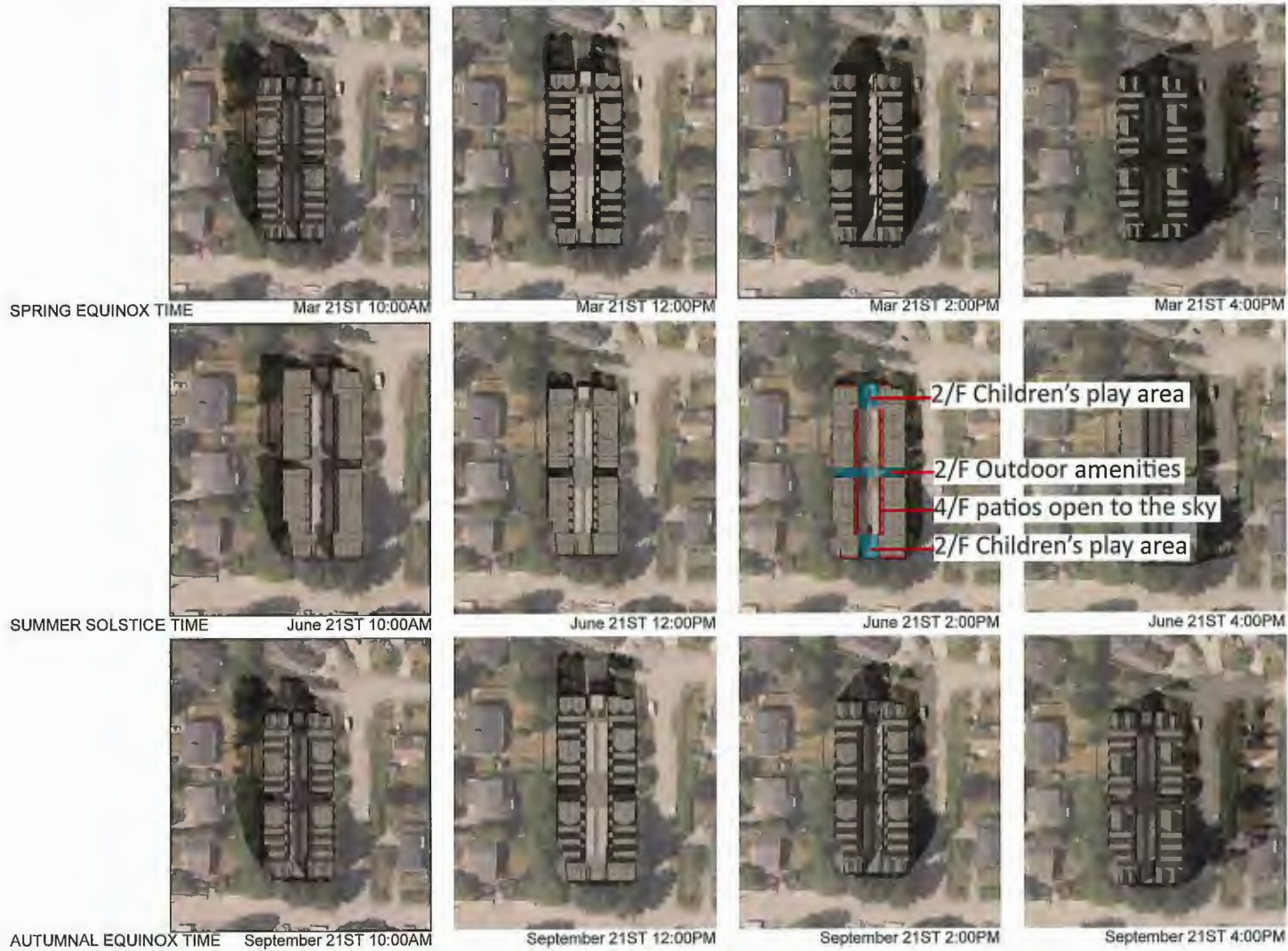
CLIENT:

SCALE:	MAIL:
DATE: 10/10/2014	
DRAWN BY:	
CHECKED BY:	
TITLE:	
21-28	
SHEET TITLE:	

Sun & Shadows Studies

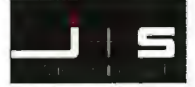
DATE: 10/10/2014

A0.06



- 4/F patios are open to sky instead of being completely covered by pitched roof.
- Breaking the massing in the middle on the south and west sides to accommodate children's play areas and allow more sunlight to come through.

G/F Accessibility Plan



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200-460 KINGSWAY, SUITE 100, VANICAN
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CONSULTANT

BUILDER'S RESPONSIBILITY TO LAI/MSI LEVEL:
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TYP	DATE
ISSUED FOR PERMITS	18/03/2023
ISSUED FOR LP	18/03/2023
ISSUED FOR LP CORRECTION	20/03/2023
ISSUED FOR THE SUBMISSION	20/03/2023
ISSUED FOR THE SUBMISSION	20/03/2023
ISSUED FOR THE APPLICATION	18/03/2023
DATE REVISIONS:	04/03/2023

ISSUED FOR: [Signature]

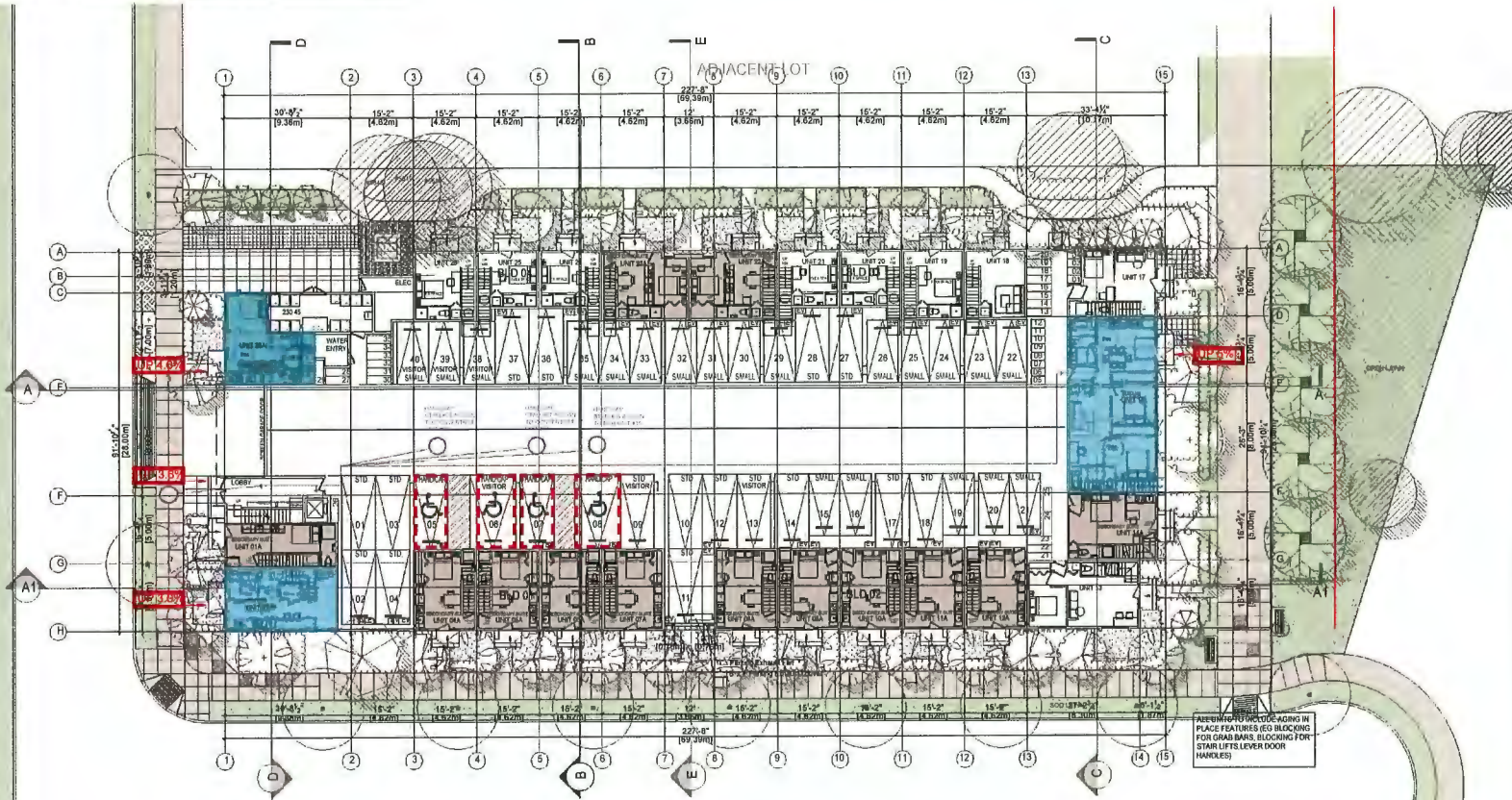
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PROJECT:
8635-8885 COOK CRESCENT
TOWNHOUSE DEVELOPMENT
8635-8896 Cook Crescent,
Richmond BC
DATE:

DATE	REVISION	BY
21-28		

Convertible Unit Access Plan (Gnd FL)

DATE: 21-28

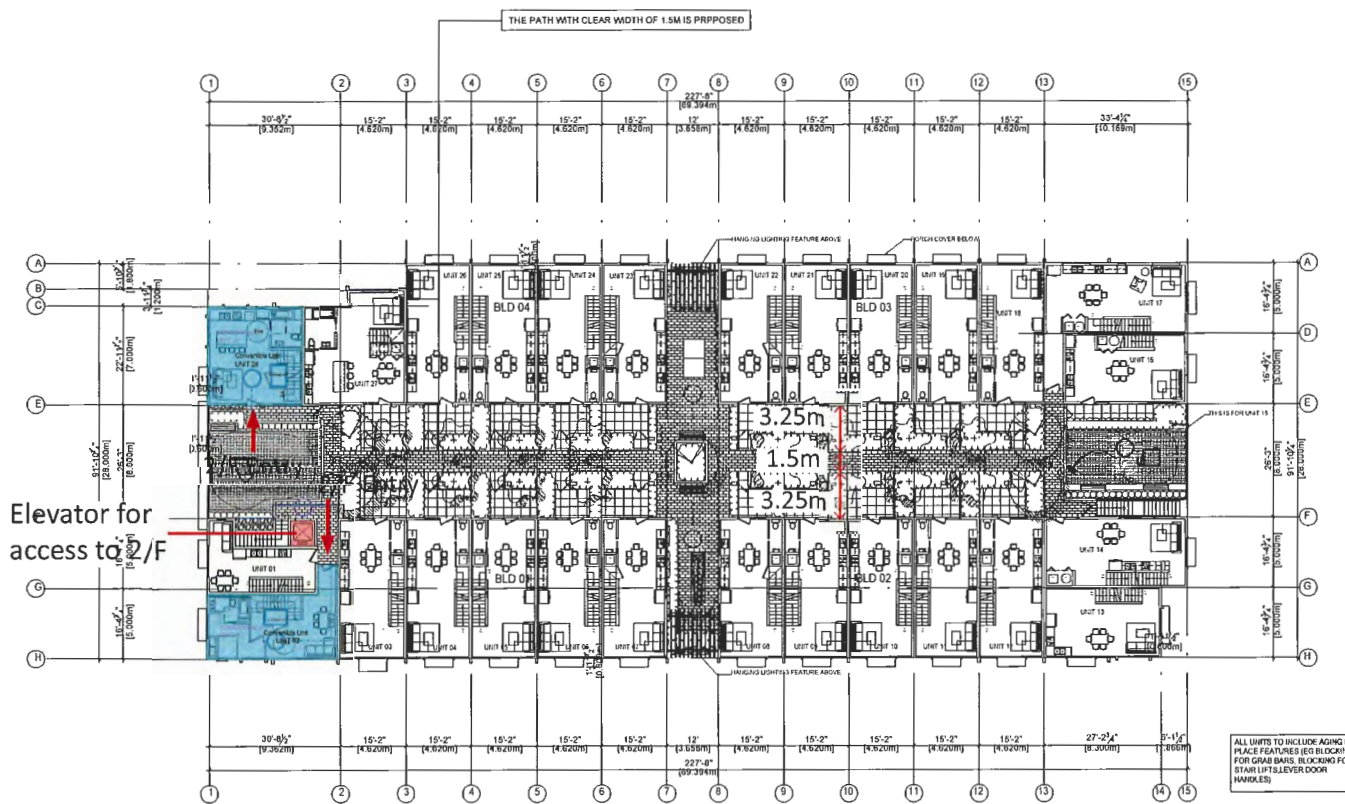


Accessible Units
(2 four-level convertible units + 1 one level BUH on G/F)

1 Convertible Unit Access Plan (Gnd FL)
Scale: 1:150

- 1 van-accessible parking stall and 3 standard accessible parking stalls are provided for residents.
- All residents of accessible units can access their ground floor entry and main lobby with a slope of no more than 5/87a

2/F Accessibility Plan



Elevator for access to 2/F

1 Accessible Units
(2 four-level convertible units on 2/F)

1 Convertible Unit Access Plan (2nd FL)
Scale: 1:150

- The four-level convertible units 02 and 28 have an additional entry on the podium level.
- To enhance accessibility, there is an elevator in the lobby for residents to move upstairs from the ground floor. The main pedestrian pathway is 1.50m wide.

DESIGNER'S RESPONSIBILITY TO LAYOUT WORK
It is the Designer's responsibility to be clear and complete in the way the layout is shown on the drawings. It is the Designer's responsibility to ensure that the drawings are complete and accurate in all respects. The Designer shall be responsible for any errors or omissions on the drawings. Any dimensions which the Designer indicates on the drawings shall be deemed to be correct unless otherwise stated. The Designer shall be responsible for any errors or omissions on the drawings. The Designer shall be responsible for any errors or omissions on the drawings. The Designer shall be responsible for any errors or omissions on the drawings.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	18/11/2023
2	ISSUED FOR CONSTRUCTION	18/11/2023
3	ISSUED FOR THE TOWNSHIP	18/11/2023
4	ISSUED FOR THE TOWNSHIP	18/11/2023
5	ISSUED FOR THE TOWNSHIP	18/11/2023

PROJECT: 8635-8695 COOK CRESCENT TOWNHOUSE DEVELOPMENT
8635-8695 Cook Crescent, Richmond BC
CLIENT:

SCALE	DATE
SCALE: 1:150	DATE: 18/11/2023
DRAWN BY:	CHECKED BY:
DATE:	DATE:

Convertible Unit Access Plan (2nd FL)

A2.07b

Sustainability Strategy

The proposed building will comply with **BC Energy Step Code Step 4 target**, fulfilling the City's requirements.

Current Requirements

The table below outlines Richmond's BC Energy Step Code requirements for Part 3 buildings.

Building Type	Jul 1, 2022 to Oct 30, 2023	After Oct 31, 2023
Residential greater than 6 stories or non-combustible construction	Step 3	Step 3 w/ EL-1
	or Step 2 and LCES	or Step 2 w/ EL-2
Residential 6 stories or less with combustible construction	Step 4	Step 4 w/ EL-1
	or Step 3 and LCES	or Step 3 w/ EL-2
Office and Retail buildings	Step 3	Step 3 w/ EL-1
	or Step 2 and LCES	or Step 2 w/ EL-2
Hotels and Motels	Step 3	Step 4 w/ EL-1
	or Step 2 and LCES	or Step 3 w/ EL-2

The proposed building is a combustible construction and is required to meet Step 4 w/ EL-1 or Step 6 w/ EL-2. Emission Level (EL) information of EL-1 and EL-2 are listed in the BC Building Code Section 10.3.

Table 1 Modelling Results Summary

Design Cases	TEUI	TEDI
Step 4	100.0	15.0
Proposed design	94.3	13.34

Other highlighted features include:

- Operable panes for natural ventilation and light penetration.
- Light-colored roof pavers for roof decks to reduce heat absorption and cooling loads.
- LED lights to reduce electrical power demands.
- High-efficiency heat pumps.
- Double-glazed windows for energy efficiency.

Proposed **energy conservation measures (ECMs)** to help the project achieve the energy and emission performance requirements:

- High-performance building envelope considering the thermal bridging effect

Model Inputs	Proposed
Glazing Information	
Window assembly U-value (including frame) (Btu/h.ft ² .°F) & SHGC	U 0.15 SHGC 0.38
WWR	22.66%
Envelope Information	
Overall wall effective R or U-value (ft ² .°F.h/ Btu)	Over all exterior wall R20.5 with TB: WF wall: effective R35 Wall between parkade and conditioned space: effective R24 Parkade exterior Wall: 8" reinforced concrete wall
Overall roof effective R-value (ft ² .°F.h/ Btu)	EffectiveR40

- Direct Ventilation with in-suite HRV (72% SRE) will be incorporated into the ventilation system design
- High-efficiency HVAC system with air source heat pump heating and cooling at suite level (heating COP of 3.5 and cooling SEER of 3.8)

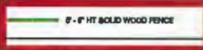


Landscape Design



MATERIAL LEGEND

- BOO LAWN
- BOARDWALK
- CONCRETE PAVING
- SAW-CUT CONCRETE WITH CHARCOAL COLOUR PANELS
- MAGLIN FIBRO BACKED PINE WOOD
- REFER TO DETAIL



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
1	3	ACER PALMATUM 'NODOSUM'	RED JAPANESE MAPLE	10CM CAL: 800
2	1	GLEDITSIA T. NERBENS 'SHADOSHARTER'	SHADOSHARTER HONEY LOCUST	10CM CAL: 800
3	2	LIQUIDAMBAR STYRACIFLUA 'EMERALD SENTINEL'	EMERALD SENTINEL SWESTOUM	10CM CAL: 800
4	2	MAGNOLIA DENROBIS	DEARBORN MAGNOLIA (WHITE)	10CM CAL: 800
5	12	PARROTIA PERENSA 'TUBBY VASE'	TUBBY VASE PERENSA PINEWOOD	10CM CAL: 750
6	2	PAULOWNIA 'ARNOOLD SENTINEL'	ARNOOLD SENTINEL AUSTRALIAN BLACK PINE	4M HT: 800
7	1	STEWARTIA PSEUDOCAMMELLA	JAPANESE STEWARTIA	10CM CAL: 800

NOTE: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED ARE PER CALA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY SUBSTITUTIONS. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST BE SUBJECT TO EXISTING BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLUBLE NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: ALL ROOF LANDSCAPE AREAS TO BE IRRIGATED USING DESIGN-BUILD HIGH EFFICIENCY, DRIP IRRIGATION SYSTEM WITH RAIN SENSOR. PROVIDE SHOP DRAWINGS FOR CONSULTANT REVIEW PRIOR TO CONSTRUCTION.

REQUIRED REPLACEMENT TREES (10CM CAL): 34
ACTUAL REPLACEMENT TREES: 47
DECIPT: 11

PLANT SCHEDULE - SRW

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
1	1	ASERULAR CARNEA 'SWEET'	RED HORSE CHESTNUT	10CM CAL: 1.8M STD: 800
2	1	LIQUIDAMBAR STYRACIFLUA 'EMERALD SENTINEL'	EMERALD SENTINEL SWESTOUM	10CM CAL: 800
3	1	PIULUS INDICA 'ARNOOLD SENTINEL'	ARNOOLD SENTINEL AUSTRALIAN BLACK PINE	4M HT: 800

NOTE: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED ARE PER CALA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY SUBSTITUTIONS. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST BE SUBJECT TO EXISTING BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLUBLE NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

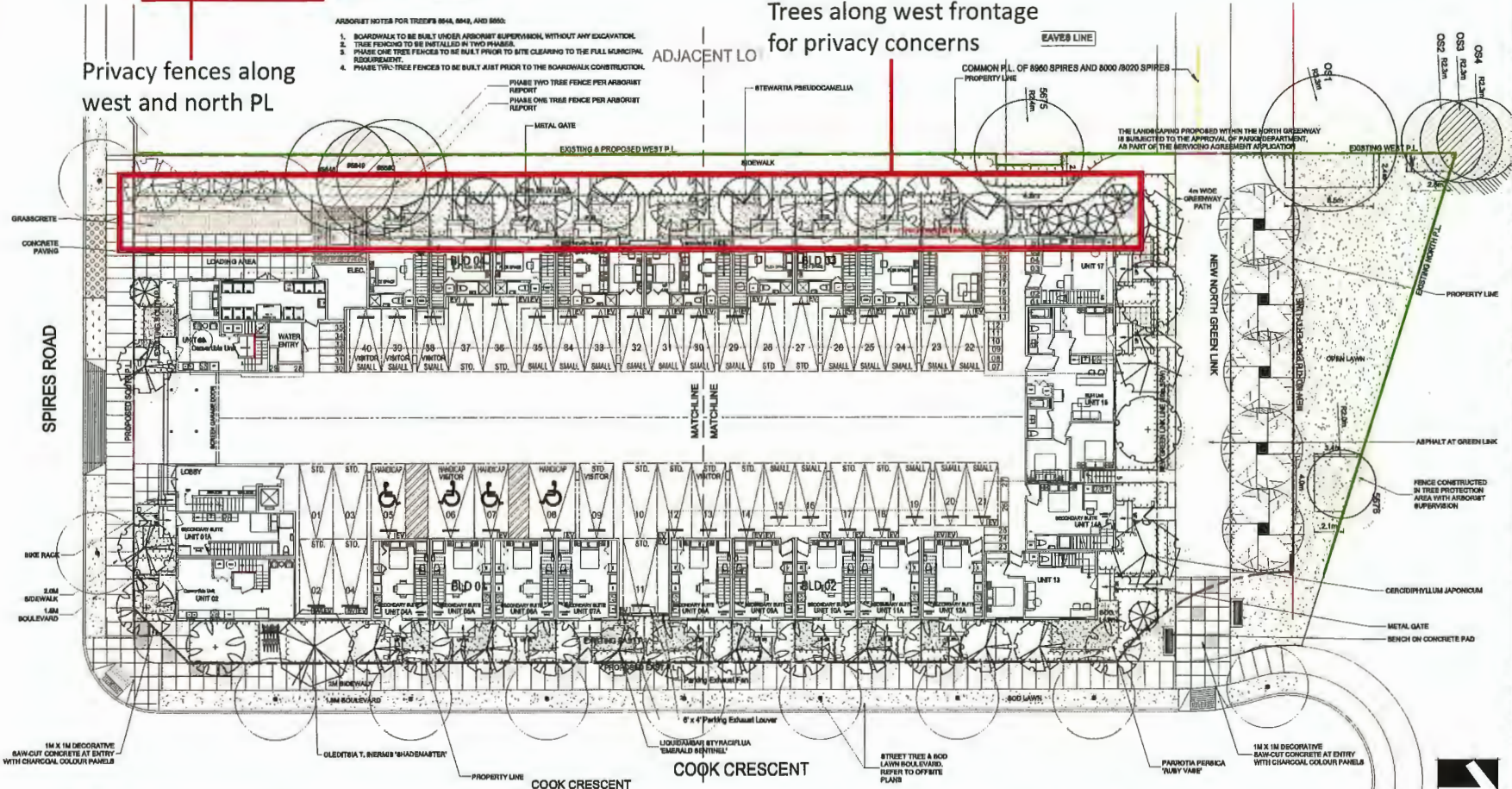
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pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 8188 Creek Drive
Burnaby, British Columbia, V5C 6G8
p: 804 294-0011 | f: 804 294-0022

SCALE:

Privacy fences along west and north PL

Trees along west frontage for privacy concerns



NO.	DATE	REVISION DESCRIPTION	DWG.
18	24.MAR.14	ISSUED FOR BIP	
19	24.MAR.14	NEW SITE PLAN	01
20	24.FEB.15	NEW SITE PLAN	02
21	24.FEB.15	NEW SITE PLAN	03
22	24.FEB.15	NEW SITE PLAN	04
23	24.MAR.15	NEW SITE PLAN	05
24	24.MAR.15	REVISION PER COMMENTS	06
25	24.JUN.15	REVISION PER COMMENTS	07
26	24.OCT.15	NEW SITE PLAN	08
27	24.OCT.15	NEW SITE PLAN	09
28	24.OCT.15	NEW SITE PLAN	10
29	24.OCT.15	NEW SITE PLAN	11
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64	24.OCT.15	NEW SITE PLAN	46
65	24.OCT.15	NEW SITE PLAN	47
66	24.OCT.15	NEW SITE PLAN	48
67	24.OCT.15	NEW SITE PLAN	49
68	24.OCT.15	NEW SITE PLAN	50
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98	24.OCT.15	NEW SITE PLAN	80
99	24.OCT.15	NEW SITE PLAN	81
100	24.OCT.15	NEW SITE PLAN	82

CLIENT:

PROJECT:
RESIDENTIAL DEVELOPMENT
8635-8695 COOK CRESCENT
RICHMOND, BC

DRAWING TITLE:
**LANDSCAPE PLAN
GROUND LEVEL**

DATE: 22.APR.12 DRAWING NUMBER:
SCALE: 1:150
DRAWN: DO
DESIGN: DO
CHECK: MCV
OF 11

PMG PROJECT NUMBER: 22-065

- Trees are planting along the west frontage considering privacy concerns with single houses to the west.
- A solid wood privacy fence proposed along the west and north property line to provide additional screening opportunities.
- Multiple trees retained along the west PL.





MATERIAL LEGEND

	SOD LAWN
	BOARDWALK
	CONCRETE PAVING
	SAW-CUT CONCRETE WITH CHARCOLAL COLOUR PANELS
	HAXLIN 870 BACKED PIPE WOOD
	8-1/2" HT SOLID WOOD FENCE
	REFER TO DETAIL

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / FREQUENCY
1	3	ACER PALMATUM 'BLOODMOON'	RED JAPANESE MAPLE	10CM CAL/BA8
2	1	OLESTRA 1 'HERMIE SHAMSMARTER'	SHAMDMARTER HONEY LOCUST	10CM CAL/BA8
3	1	LEUCODAPHNE STRYACELLA 'EMERALD SENTINEL'	EMERALD SENTINEL WHISTLING	10CM CAL/BA8
4	3	MAGNOLIA KOBUS	KOBUS MAGNOLIA (WHITE)	10CM CAL/8T6 BA8
5	12	PARROTIA PERZICA 'TULY VASE'	TULY VASE PERZIAN BIRCHWOOD	10CM CAL/ TR3E FORA BA8
6	6	PRUNUS INDICA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	4M HT, BA8
7	6	STEVANIA PERUDOCAMELLA	JAPANESE STEVANIA	10CM CAL/BA8

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW SAME PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRAZER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * SOILS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED USING DESIGNED HIGH EFFICIENCY, DRIP IRRIGATION SYSTEM WITH MAIN SENSOR, PROVIDE SHOP DRAWINGS FOR CONSULTANT REVIEW PRIOR TO CONSTRUCTION.

REQUIRED REPLACEMENT TREES (10CM CAL): 18
ACTUAL REPLACEMENT TREES: 47
DEPORT: 11

PLANT SCHEDULE - SRW

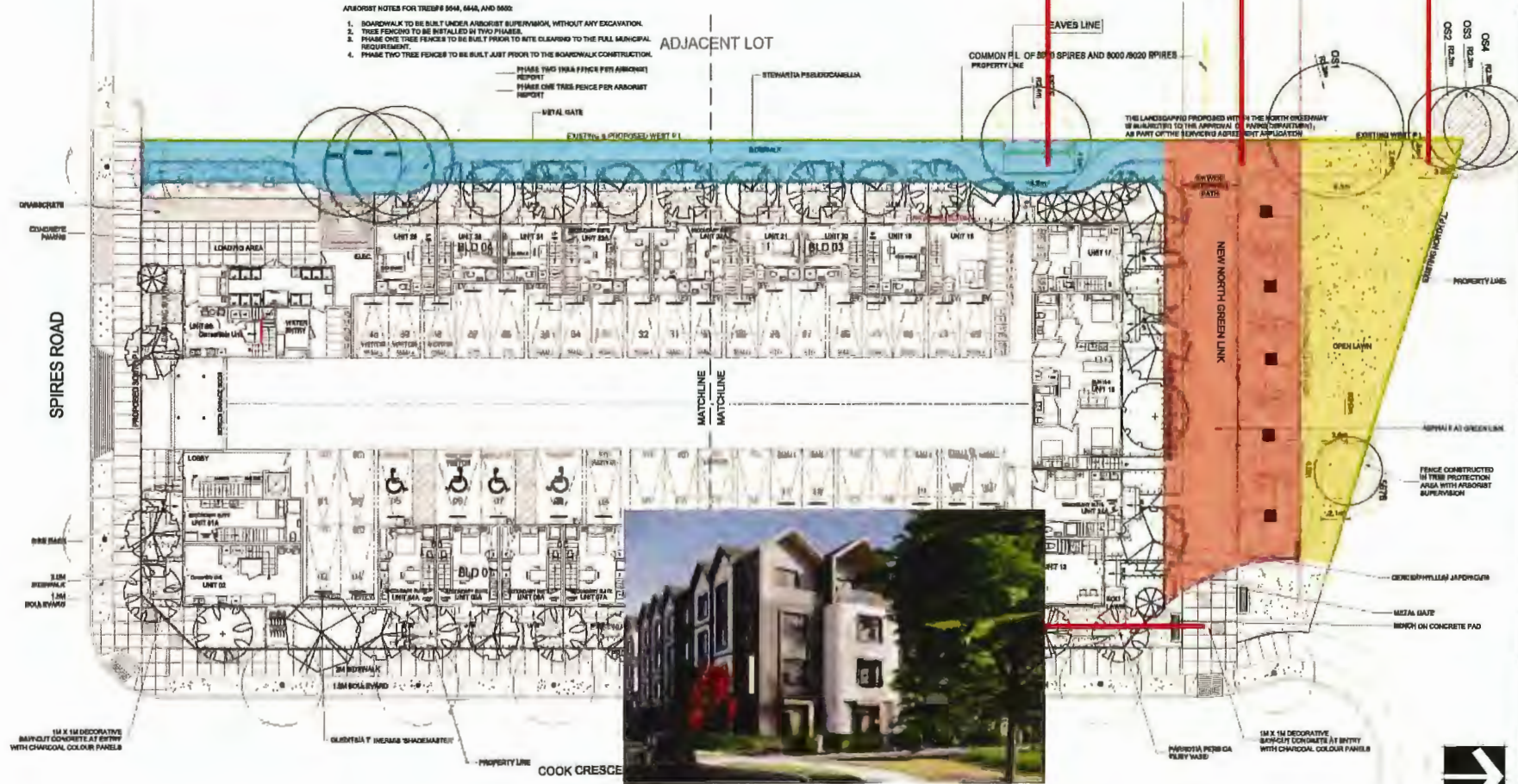
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	3	ASEROLAR CARPENA 'WINDY'	RED HORSE CHESTNUT	10CM CAL, 1.8M HT/ 1.8M
2	1	LEUCODAPHNE STRYACELLA 'EMERALD SENTINEL'	EMERALD SENTINEL WHISTLING	10CM CAL/BA8
3	3	PRUNUS INDICA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	4M HT, BA8

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW SAME PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRAZER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * SOILS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

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pmg
LANDSCAPE ARCHITECTS

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 Burnaby, B.C. V5H 9J8
 P: 604-294-0011 | F: 604-294-0022



REVISIONS

NO.	DATE	REVISION DESCRIPTION	DR.
18	23/04/23	REVISED PER DP	
17	23/04/23	NEW SITE PLAN	EJ
16	23/04/23	NEW SITE PLAN	YS
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13	23/04/23	NEW SITE PLAN	YS
12	23/04/23	NEW SITE PLAN	YS
11	23/04/23	REVISION PER COMMENTS	SMH
10	23/04/23	REVISION PER COMMENTS	SMH
9	23/04/23	NEW SITE PLAN	MC
8	23/04/23	SITE PLAN CORRECTION	SM
7	23/04/23	NEW SITE PLAN	DO
6	23/04/23	NEW SITE PLAN	JB
5	23/04/23	NEW SITE PLAN	JB
4	23/04/23	NEW SITE PLAN	MC
3	23/04/23	NEW SITE PLAN	MC
2	23/04/23	NEW SITE PLAN	DO

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT

8635-8695 COOK CRESCENT
 RICHMOND, BC

DRAWING TITLE:

LANDSCAPE PLAN
GROUND LEVEL

DATE: 22.APR.22 **DRAWING NUMBER:**

SCALE: 1:50

DRAWN: DO **L1**

DESIGN: DO

CHECK: MCT **OF 11**

NE Corner - seating area



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pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 881 Cook Drive
Burnaby, British Columbia, V5C 4G6
P: 604 294-0211 | F: 604 294-0222

SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
18	24.AUG.24	ISSUED FOR RFP	BY
17	24.AUG.24	ISSUE SET PLAN	BY
16	24.AUG.24	ISSUE SET PLAN	BY
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4	24.AUG.24	ISSUE SET PLAN	BY
3	24.AUG.24	ISSUE SET PLAN	BY
2	24.AUG.24	ISSUE SET PLAN	BY
1	24.AUG.24	ISSUE SET PLAN	BY

NO. DATE REVISION DESCRIPTION DR.

CUSTOMER:

PROJECT:

RESIDENTIAL DEVELOPMENT
8635-8685 COOK CRESCENT
RICHMOND, BC

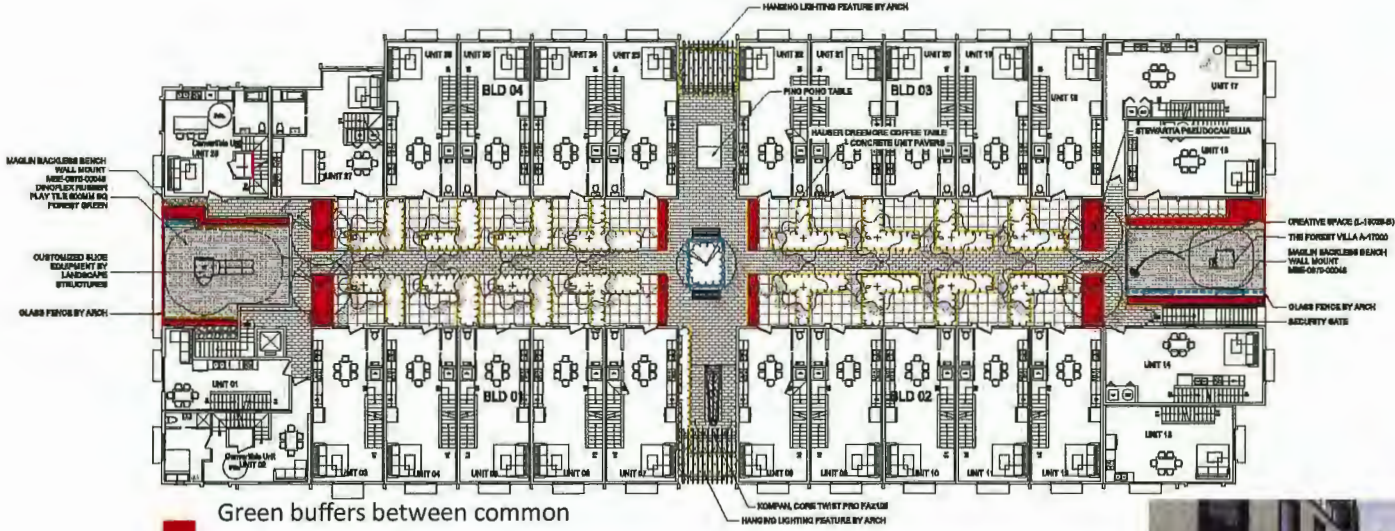
DRAWING TITLE:
**LANDSCAPE PLAN
LEVEL 2**

DATE: 22.AUG.23 DRAWING NUMBER:
SCALE: 1:500
DESIGN: DO
DESIGN: DO
CHECK: MCV
L5
DP 11

PMG PROJECT NUMBER: 22-065



2204-10-2P



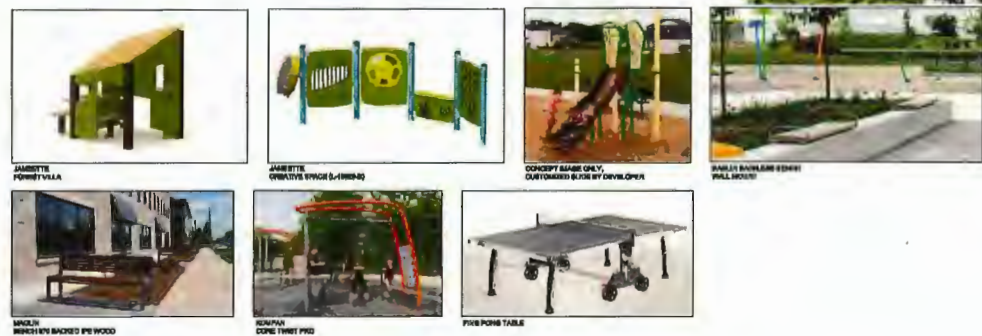
Green buffers between common areas and residential units

MATERIAL LIBRARY
WOOD LAMIN
BELGIAN HOLLAND STONE
BELGIAN CORTES SLAB
DIWOXLEX PALMER PLAY TILE 85X85 SQ. FOREST GREEN
MAGLIN W/ BACKLASH EYE WOOD
JAMISSETTE THE FOREST VILLA A-1700
JAMISSETTE CREATIVE SPACE (S-1928-0)
REFER TO DETAIL
PING PONG TABLE
CUSTOMIZED SLIDE EQUIPMENT BY LANDSCAPE STRUCTURES
KUMPAI CONCRETE TWIST PRO FENCE
MAGLIN BACKLASH BENCH WALL MOUNT MBS-0870-0006
1.5 FT. RETAINING WALL
6" CONCRETE CURB
GLASS FENCE BY ARCH

PLANT SCHEDULE	PLANT SPECIES / PLANTING
16 ACER PALMATUM THORNTY'S RED BENTWICK/STROVITA PUEBLOCAPELLA	COLLUMARIA RED JAPANESE SAMPLER JAPANESE STAMINA

NOTE: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CSA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF BENCH TO INCLUDE LOWER BENCH AND FRAMING WALL. * SUBSTITUTIONS: CANNOT WRITE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO HAVING ANY SUBSTITUTIONS TO THIS SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR PROJECT TO SUBMIT. SUBSTITUTIONS ARE SUBJECT TO THE LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED THE LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE SOURCES. * BIO-SOLID NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

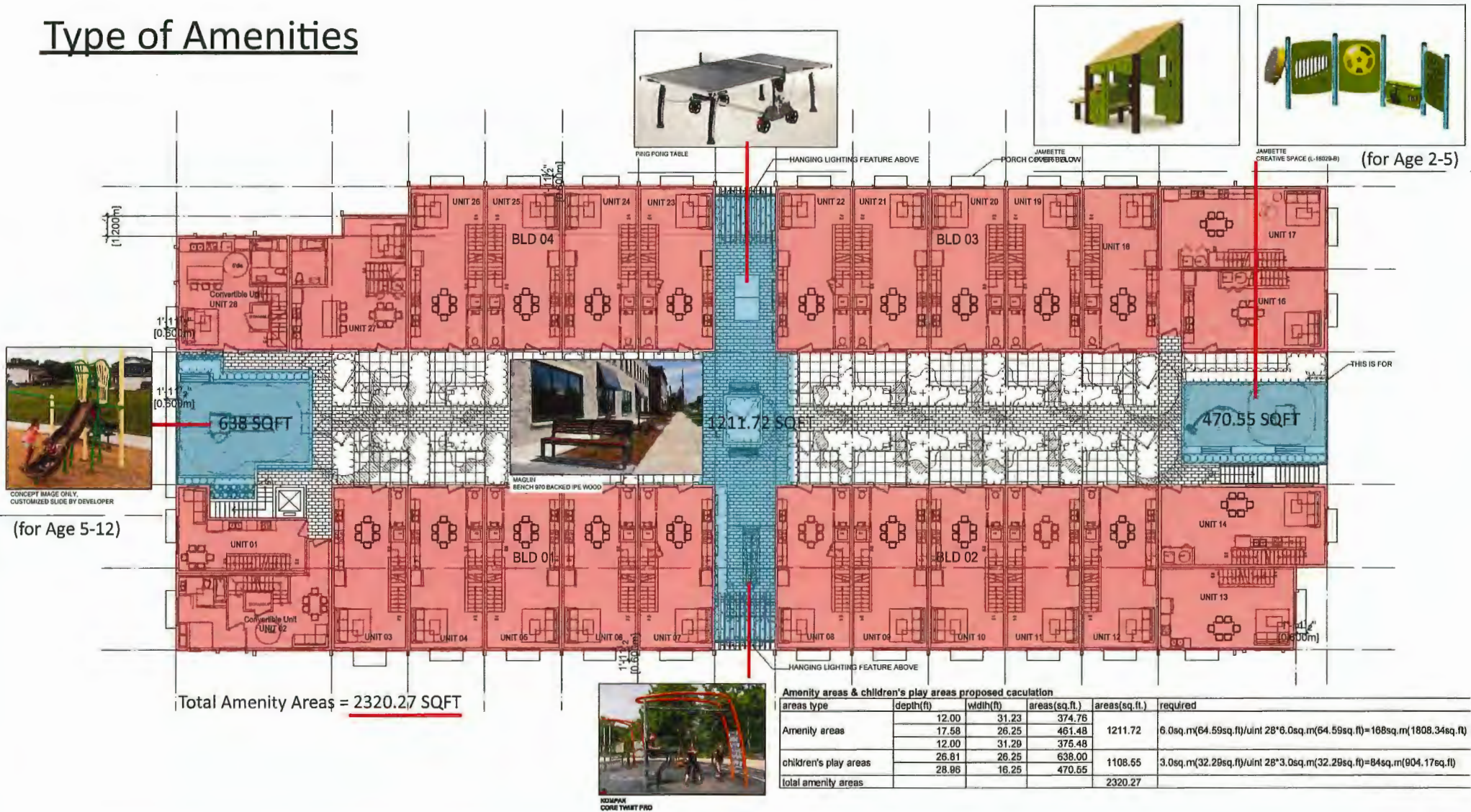
NOTE: ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED USING DRIP/SPRINKLER HIGH EFFICIENCY, DWP IRRIGATION SYSTEM WITH FAN SENSOR PROVIDED BY ARCH DRAWING FOR CONSULTANT REVIEW PRIOR TO CONSTRUCTION.



Metal gate
Planter

- Individual patios are separated from common spaces by metal gates and planters.
- Green buffers between the play/amenity area and residential units for privacy and noise mitigation.

Type of Amenities



- The play areas are in the south and another in the north between buildings, each for a different age group (age 2 to 5 and age 5-12).
- A variety of play equipment for different play opportunities and benches for caregivers are provided in play areas, surrounded by appropriate shrub material as screens for privacy and noise mitigation.

PLANT SCHEDULE			PMG PROJECT NUMBER: 23-008	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SRUB	8	AZALEA JAPONICA VAULTIAN CREER	ORNAMENTAL AZALEA	#2 POT, 30CM
	4	AZALEA JAPONICA OGDEN LEBERT	ORNAMENTAL AZALEA, YELLOW, L. HAY	#2 POT, 30CM
	17	BULBUL MICROPHYLLA WINTER GEM	LITTLELEAF BUX	#2 POT, 30CM
	30	HYDRANGEA REPURTA 'BLESSED'	MOUNTAIN HYDRANGEA LACECAP BLUE	#2 POT, 30CM #8 POT, 40CM
	8	ELIX GREWIA 'ODYSSEY'	JAPANESE HOLLY	#2 POT, 30CM
	41	HANDSIA DOMESTICA	HEAVENLY BAMBOO	#2 POT, 30CM
	22	PERSEA JAPONICA 'VALLEY VALENTINE'	PERSEA RED BLOODS	#2 POT, 30CM
	24	PRODRACONOTUS 'BOY BILLS'	PRODRACONOTUS	#2 POT, 30CM
	25	ROSA 'WINTERHALL'	CAPPOT ROSE, PINK	#2 POT, 30CM
	21	TAXUS X MEDIA 'HAL EDGEE'	EDGE'S YEW	1.5M BAR
ORN	108	FERTUCA CINEREA 'SLAM BLAZ'	FERTUCA	#1 POT
PERSONAL	18	EUROPE MURRAYI	BLUE LILY-TULIP	30CM POT
ORN	16	BIGNONIA SPINOSA 'PINK'	WATER HEATH, PINK	#1 POT, 30CM

PLANT SCHEDULE - SRW			PMG PROJECT NUMBER: 23-008	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SRUB	72	BULBUL MICROPHYLLA WINTER GEM	LITTLELEAF BUX	#2 POT, 30CM
ORN	48	ELIX GREWIA 'ODYSSEY'	JAPANESE HOLLY	#2 POT, 30CM
ORN	84	HANDSIA DOMESTICA	HEAVENLY BAMBOO	#2 POT, 30CM
ORN	84	PRODRACONOTUS 'BOY BILLS'	PRODRACONOTUS	#2 POT, 30CM
ORN	20	TAXUS X MEDIA 'HAL EDGEE'	EDGE'S YEW	1.5M BAR
ORN	1	CAREX OCHRASPERA 'TERRACOLT'	SPRINGOLD JAPANESE EDGE	#1 POT
ORN	143	FERTUCA CINEREA 'SLAM BLAZ'	FERTUCA	#1 POT
ORN	25	POLYTHICUM MONTANUM	WEATHER BIRD'S FEET	#1 POT, 30CM

33 ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION, CONTAINER SIZE, TYPE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER EQUIPMENT. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT 10% LOWER MARKET AND TRAVEL VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY. * ALL PLANT MATERIAL MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL TYPED DATABASE PRICE HIGHLIGHT. * NO-SOLD NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

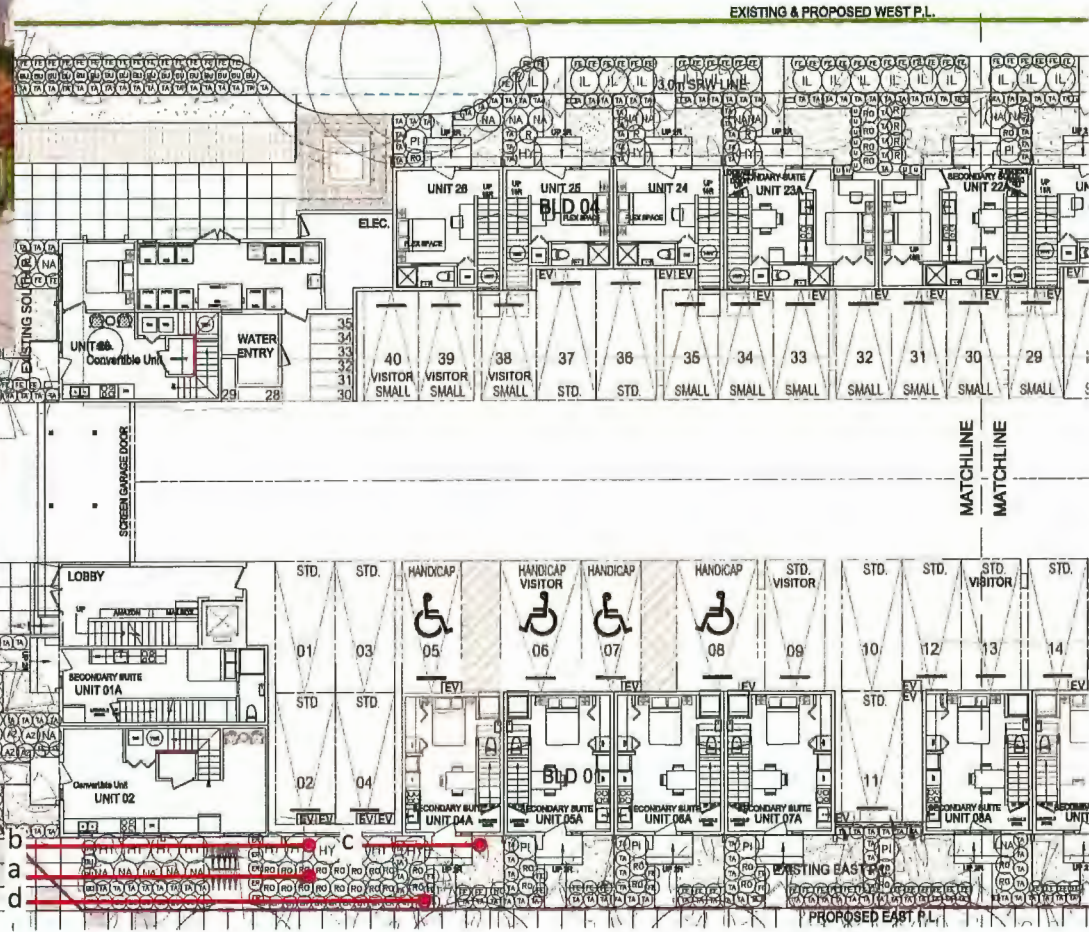
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED ARE PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT 10% LOWER MARKET AND TRAVEL VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. * DEFINITION OF CONDITIONS OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * NO-SOLD NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

WATED USING DEGRADABLE HIGH EFFICIENCY, DROP IRRIGATION SYSTEM WITH RAIN SENSOR. PROVIDE SHOP DRAWINGS FOR



Front yards include:

- a. layered pedestrian-scaled planting,
- b. with foundation planting directly adjacent to the building.
- c. usable open lawn/paving space.
- d. a layer of planting on the streetside with metal gates to provide additional separation between the public sidewalk and the private yard.



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REAL:

NO.	DATE	REVISION DESCRIPTION	DR.
18	2023/04/12	ISSUE FOR PER	
17	2023/04/12	REV SITE PLAN	JJ
16	2023/04/12	REV SITE PLAN	YS
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CLIENT:

PROJECT:

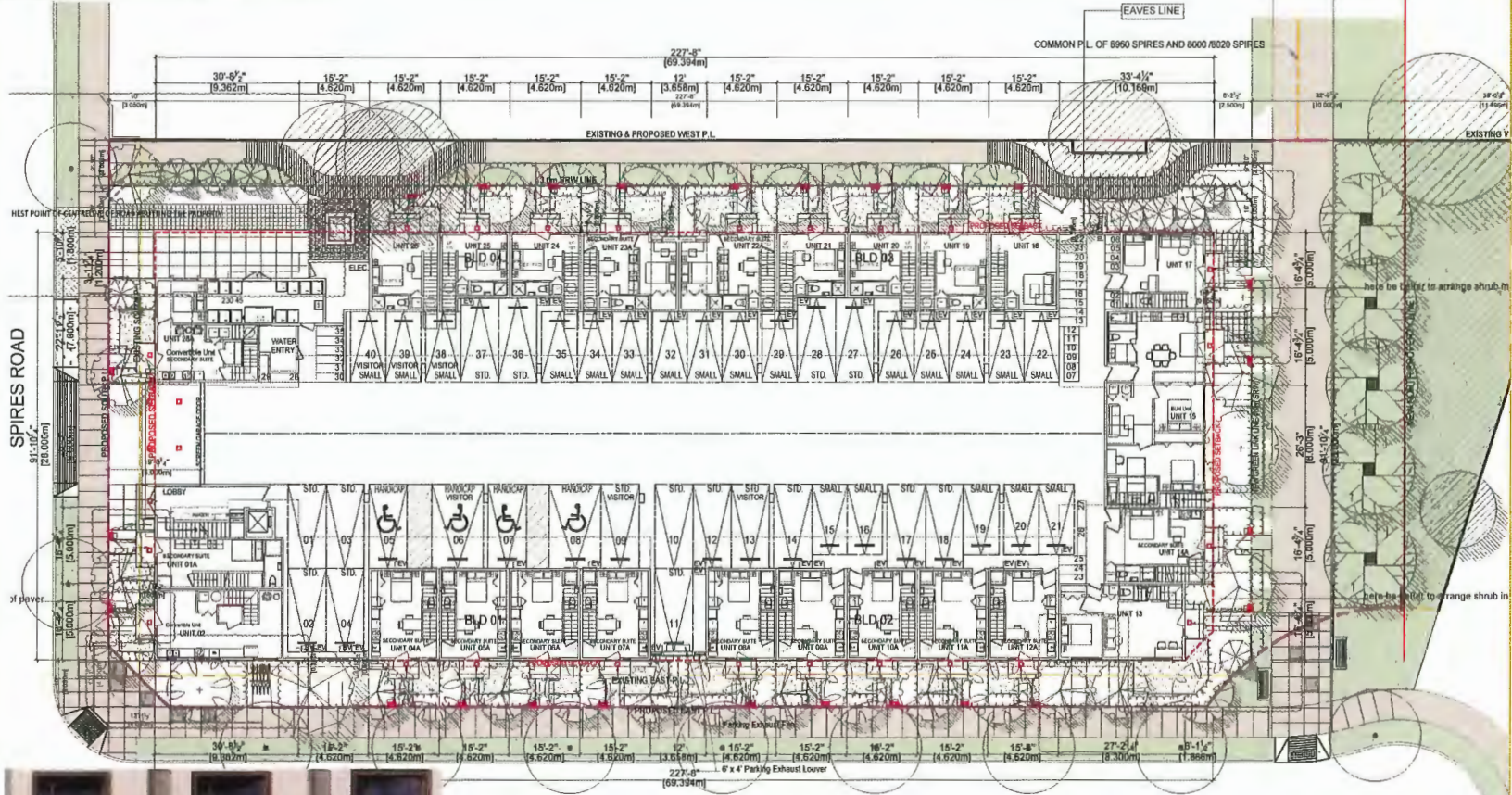
RESIDENTIAL DEVELOPMENT
8635-8695 COOK CRESCENT
RICHMOND, BC

DRAWING TITLE:
**SHRUB PLAN
GROUND LEVEL**

DATE: 22/4/23 DRAWING NUMBER:
SCALE: 1:300
DRAWN: DO **L2**
DESIGN: DO
CHECK: SACY - OF 11



G/F Lighting Plan

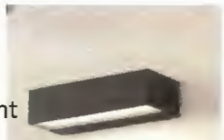


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NO.	DESCRIPTION	DATE



Recessed Pot Light
 Outdoor Wall Mounted LED Light



OUTDOOR WALL MOUNT LED LIGHT C/W DARK SKY COMPLIANCE CONCEPTUAL IMAGE

- Two types of light on G/F.
- All proposed lighting fixtures are dark sky compliant lighting.

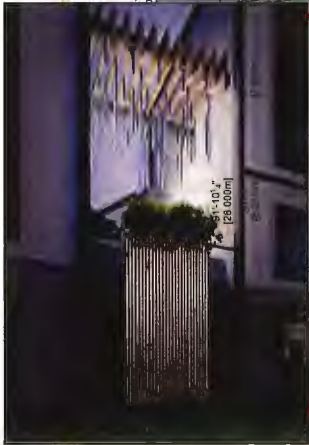
COOK CRESCENT

LIGHTING FIXTURE SCHEDULE				
TYPE	DESCRIPTION	LAMP	NOTES	LOCATION
□	RECESSED POT LIGHT C/W DARK SKY COMPLIANCE			LOBBY/UNIT
■	OUTDOOR WALL MOUNT LED LIGHT C/W DARK SKY COMPLIANCE			OUTDOOR/UNIT LOCATION

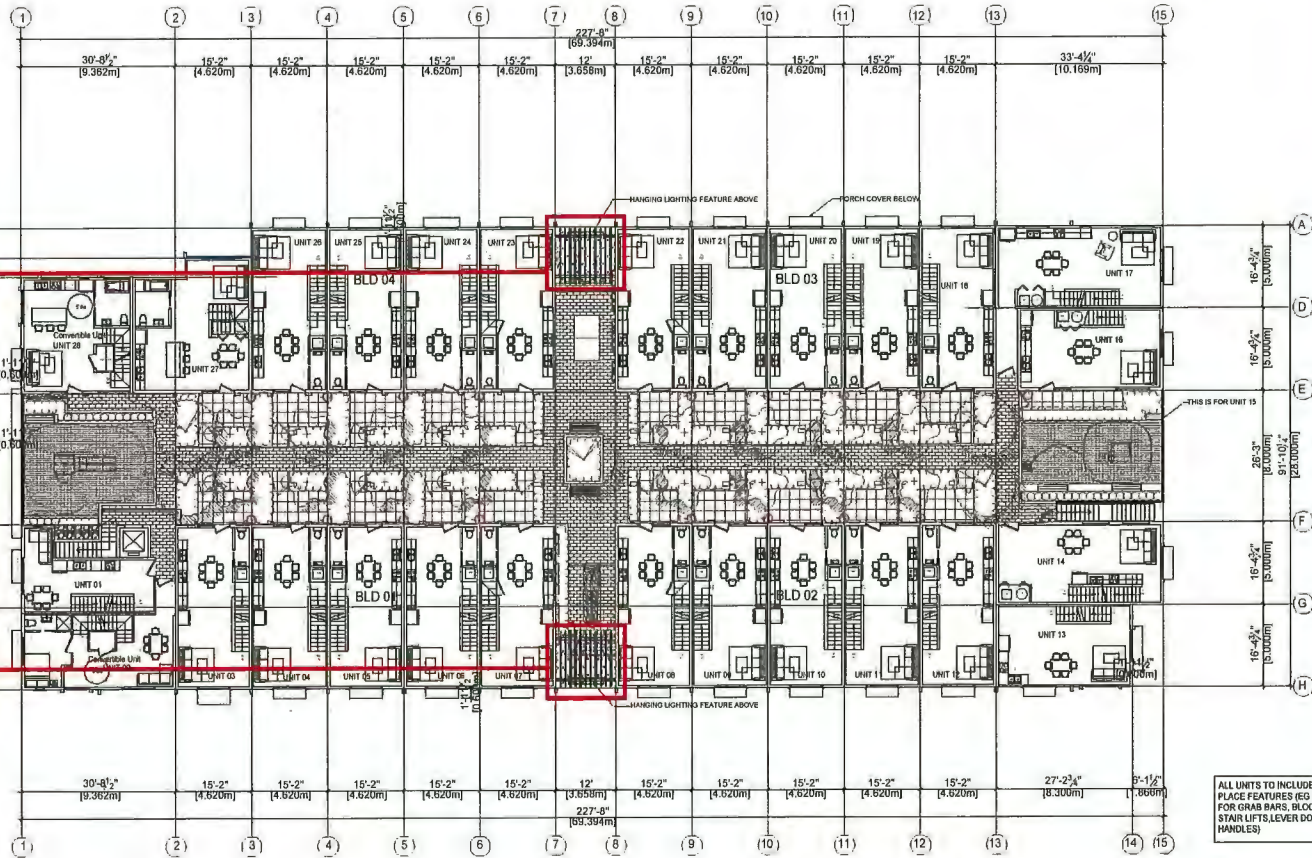
NOTE: ELECTRICAL ENGINEER TO CONFORM

8635-8695 COOK CRESCENT TOWNHOUSE DEVELOPMENT
 GROUND FLOOR LIGHTING PLAN
 PROJECT:
 DATE: 2024/03/26
 DRAWN BY:
 CHECKED BY:
 SCALE: 3/32" = 1'-0"

2/F Lighting Plan



1 2ND FLOOR PLAN
Scale: 3/32" = 1'-0"



ALL UNITS TO INCLUDE AGING IN PLACE FEATURES (EG BLOCKING FOR GRAB BARS, BLOCKING FOR STAIR LIFTS, LEVER DOOR HANDLES)



TUBE ARCHITECTURAL LED OUTDOOR WALL MOUNT, DOUBLE SIDED CONCEPTUAL IMAGE

LIGHTING FIXTURE SCHEDULE				
TYPE	DESCRIPTION	LAMP	NOTES	LOCATION
⊙	TUBE ARCHITECTURAL LED OUTDOOR WALL MOUNT DOUBLE SIDED			OUTDOOR
NOTE: ELECTRICAL ENGINEER TO CONFIRM				



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NO.	DESCRIPTION	DATE

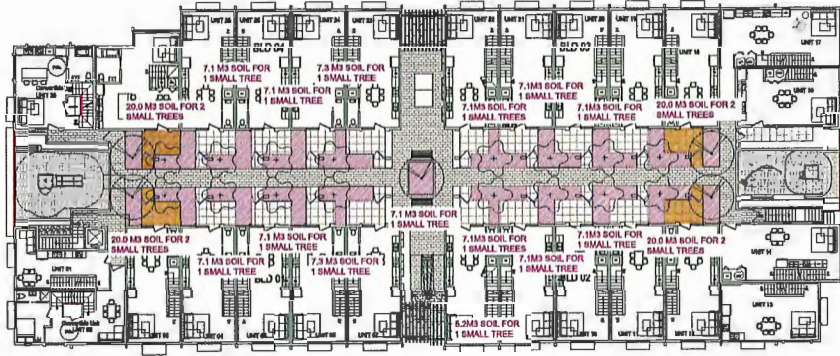
B635-B695 COOK CRESCENT TOWNHOUSE DEVELOPMENT
2/F LIGHTING PLAN
PROJECT:
DATE: 2024/03/28
DRAWN BY:
CHECKED BY:
SCALE: 3/32" = 1'-0"

- Wall mounted lighting on exterior walls.
- Some of the vertical metal tube elements over the amenity areas are equipped with LED lights at the end.

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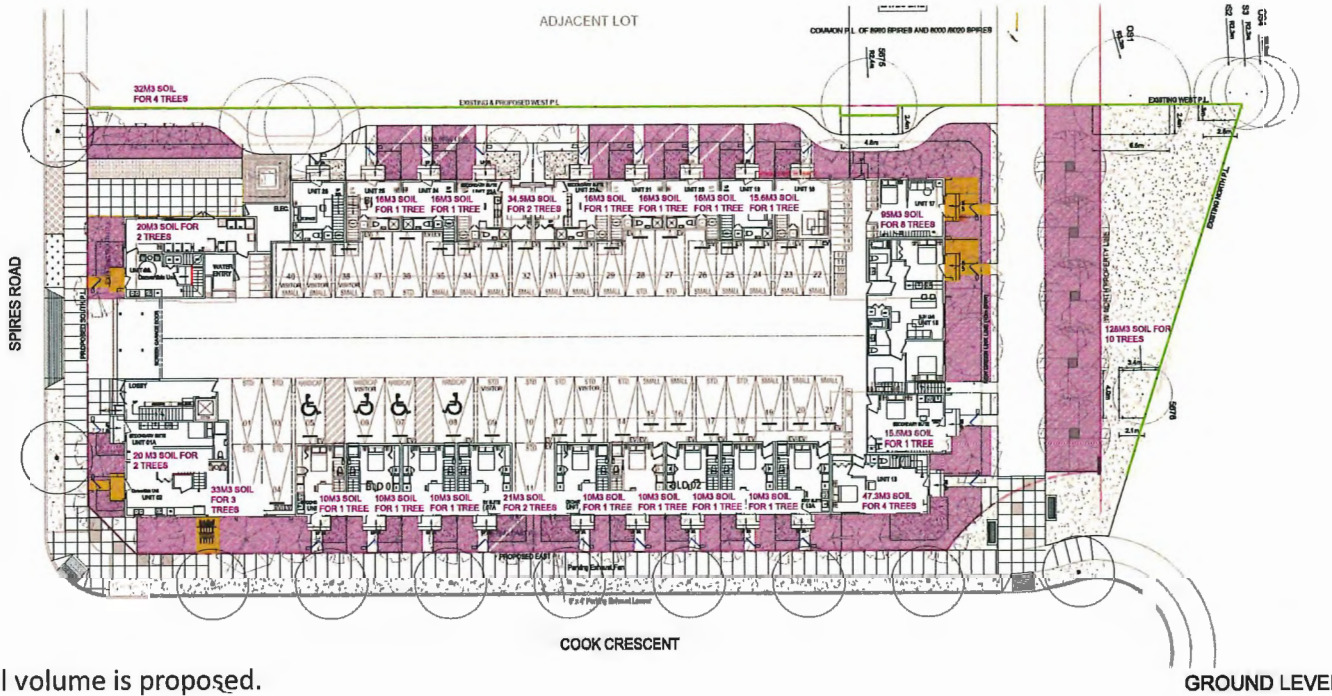
pmg
LANDSCAPE ARCHITECTS
Suite 2100 - 4165 688 Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

BEAL:



STRUCTURAL BOIL
AREA WITH 600MM SOIL DEPTH
NOTE: THE SOIL DEPTH FOR REEF AREAS REFERS TO LANDSCAPE SPECIFICATIONS OR CANADIAN LANDSCAPE STANDARD.

LEVEL 2



Sufficient soil volume is proposed.

18	SEAMUS14	NEW SITE PLAN	IS
17	SEAMUS13	NEW SITE PLAN	IS
16	SALPER15	NEW SITE PLAN	TR
15	SALPER14	NEW SITE PLAN	TR
14	SALPER13	NEW SITE PLAN	IS
13	SALPER12	NEW SITE PLAN	TR
12	SEALC13	REVISION FOR CONSULTANTS	IS/IS
11	SEALC08	REVISION FOR CONSULTANTS	IS/IS
10	SEALC07	NEW SITE PLAN	SAC
9	SEALC06	NEW SITE PLAN	SAC
8	SEALP06	SITE PLAN COORDINATION	IS
7	SEAMUS16	NEW SITE PLAN	IS
6	SEAMUS15	NEW SITE PLAN	IS
5	SEAMUS09	NEW SITE PLAN	IS
4	SEAMUS08	NEW SITE PLAN	IS
3	SEALC05	NEW SITE PLAN	SAC
2	SEALC04	NEW SITE PLAN	SAC
1	SEALC03	NEW SITE PLAN	IS

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:
RESIDENTIAL DEVELOPMENT
8635-8695 COOK CRESCENT
RICHMOND, BC

DRAWING TITLE:
SOIL VOLUME PLAN

DATE: 22.APR.13 DRAWING NUMBER:
SCALE: 1:200
DRAWN: DO **L7**
DESIGN: DO
CHECK: JCY OF 11

22085-19.027 PMG PROJECT NUMBER 22-065

Schedule 2 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
April 24, 2024

DEVELOPMENT PERMIT PANEL



RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

CONTEXT



VIEW 1



VIEW 2



VIEW 3



VIEW 4



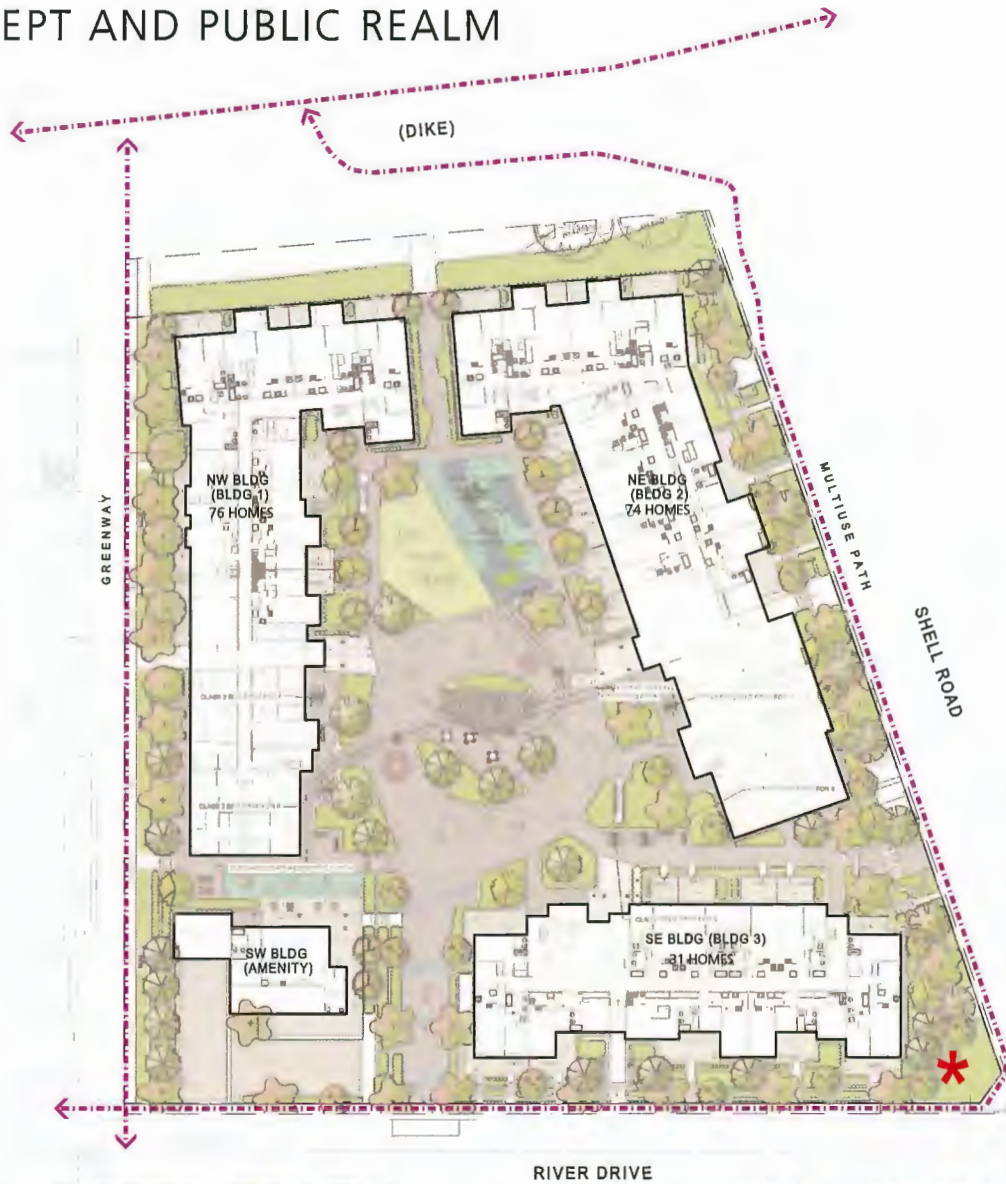
VIEW 5



VIEW 6

RIVER POINTE at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

CONCEPT AND PUBLIC REALM



-  Public Art
-  Public Walkways



RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

ACCESS AND CONNECTIVITY



 Public Art

 Public Walkways

 Secondary Pedestrian Circulation



RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

5.01m LEVEL 1

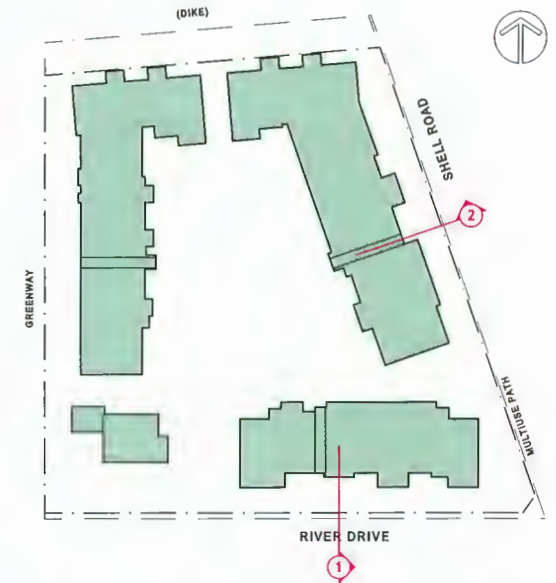
3.59m LOWER LIVING AREA



BUILDING 3

RIVER DRIVE

SECTION 1



5.01m LEVEL 1

3.74m LOWER LIVING AREA



BUILDING 2

SHELL ROAD

SECTION 2

RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

5.01m LEVEL 1



BUILDING 1
walkway

SECTION 3



5.01m LEVEL 1



10333 River Drive

bike room






LEVEL 1 5.01m

BUILDING 1

SECTION 4

ACCESSIBILITY AND CIRCULATION

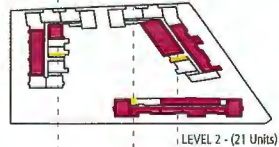
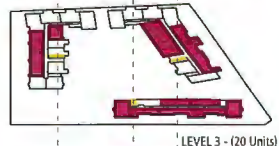
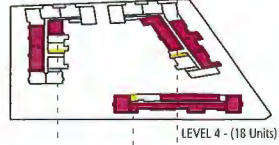
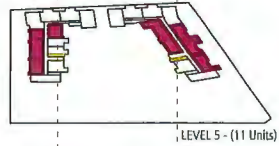
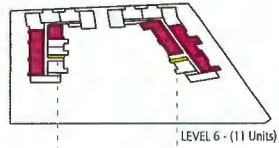


-  Public Art
-  Public Walkways
-  Secondary Pedestrian Circulation
-  Primary Pedestrian Circulation
-  Accessible Path

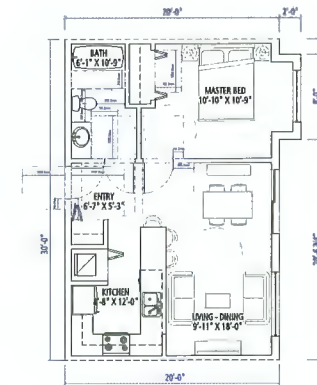
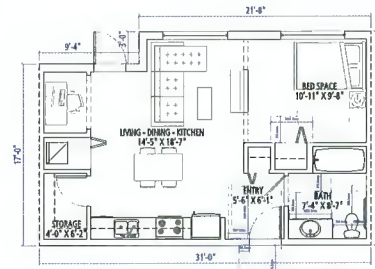
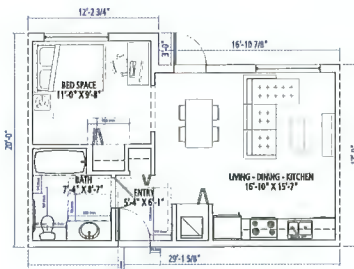
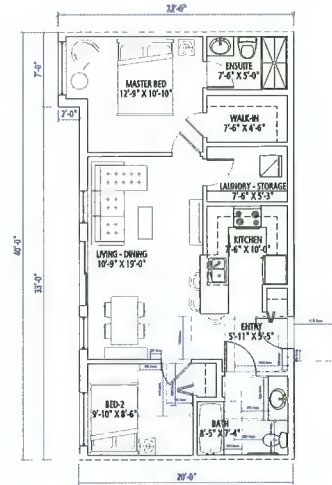
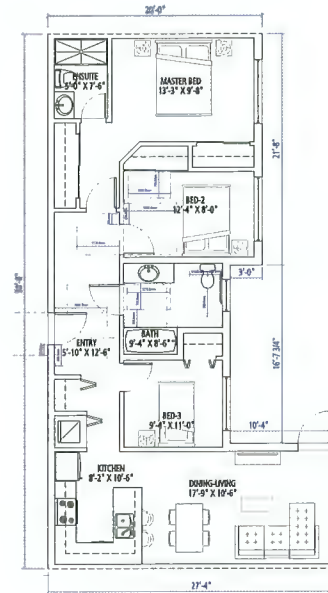
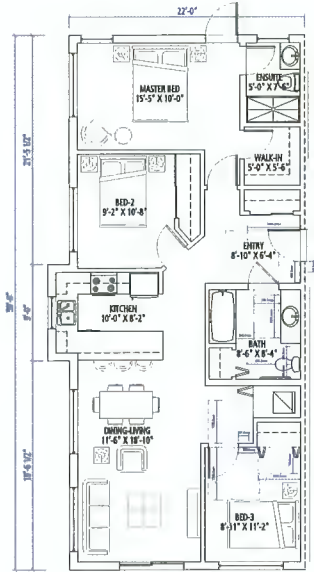
RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

LOCATION OF HOMES WITH BUH (Basic Universal Housing) FEATURES



■ BUH UNITS (91 Units) ■ ELEVATOR LOCATION



RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

MATERIAL BOARD



SW EXTRA WHITE 7006
HARDIE SIDING AND PANELS



HARDIE EVENING BLUE
HARDIE PANELS



SW STARGAZER 9635
HARDIE PANELS



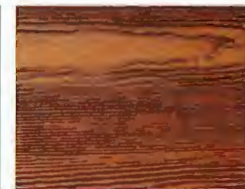
SW PORTSMOUTH 9644
HARDIE PANELS



SW RIVER ROCK 6215
HARDIE SIDING AND PANELS



SW IRON ORE 7069
HARDIE PANELS, FLASHINGS



FISHER COATING CEDERTONE
HARDIE SOFFIT



SW IRON ORE 7069
HARDIE BOARD AND BATTEN

RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024



VIEW 1



VIEW 2



①

②

RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024



VIEW 3



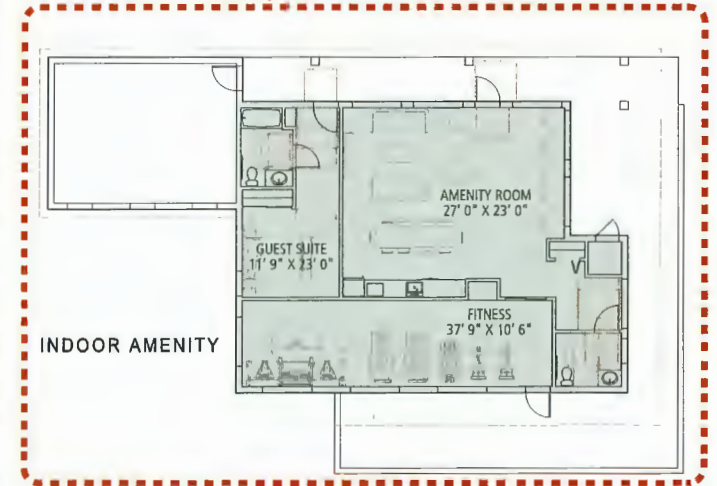
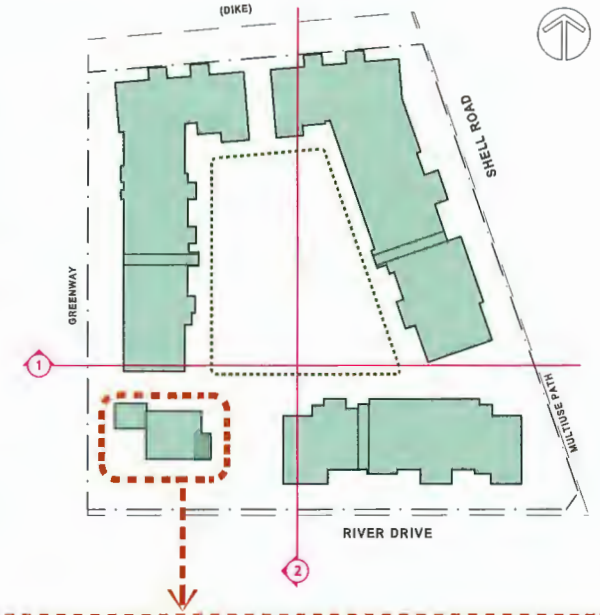
VIEW 4



RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

COMMON AMENITY



RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024.



PLANT SCHEDULE				PWG PROJECT NUMBER: 23-032
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	11	ACER CIRCINATUM	VINE MAPLE	2.5M HT, B&B, 3 STEM CLUMP
	25	ACER GRIBELUM	PAPERBARK MAPLE	8CM CAL, 1.8M STD, B&B
	18	CHAMAECYPARIS ORTUSA 'GRACILIF'	SLENDER KNOX FALSE CYPRESS	3M HT, B&B
	9	CORNUS KOUSA X MUTTALII 'STARLIGHT'	STARLIGHT HYBRID DOGWOOD	8CM CAL, 1.5M STD, B&B
	4	MAGNOLIA SOULANSKANA 'TRISTECA RUBRA'	RUSTICA RED MAGNOLIA	8CM CAL, 1.5M STD, B&B
	13	QUERCUS PALUSTRIS 'SKEEVEY PILLAR'	GREEN PILLAR PINK OAK	8CM CAL, 1.8M STD, B&B
	13	STYAX JAPONICUS 'PINK CHAMEL'	PINK FLOWERED JAPANESE SNOWBELL	8CM CAL, 1.5M STD, B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNIMPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: * REPLACEMENT TREES REQUIRED: 4 REPLACEMENT TREES PROVIDED.
NOTE: ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM, INSTALLATION TO I.A.B.C STANDARD, LATEST EDITION.



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pmg
LANDSCAPE ARCHITECTS

Suite C 100 - 4185 518 Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 | f: 604 294-0022

SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
1	23 JUN 23	QTY COMMENTS	YS
2	24 JUN 23	ADD COMMENTS	PKW
3	24 JUN 23	DP REVISIONS	
4	24 JUN 23	NEW SITE PLANNING COMMENTS	AJ
5	23 SEP 23	CITY REVISIONS	
6	23 SEP 23	NEW SITE PLAN	MC
7	23 AUG 23	PLANNING PLANS DETAILS ADDED	SMA
8	23 JUN 23	REV SITE PLAN	SC

CLIENT:

PROJECT:
RIVER POINTE RESIDENTIAL DEVELOPMENT
10611 AND 10751 RIVER DRIVE
RICHMOND, BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 23 FEB. 23
SCALE: 1:250
DRAWN: MC/PH
DESIGN: MC/PH
CHKD: MCV

DRAWING NUMBER:
L1
OF 14



PROPOSED COMMERCIAL DEVELOPMENT

ISSUED FOR DEVELOPMENT PERMIT

18399 BLUNDELL ROAD, RICHMOND, B.C.

MARCH 22, 2024



Prospect & Refuge
LANDSCAPE ARCHITECTS



ARCHITECTURAL DRAWING LIST

A0.0 COVER SHEET
A0.1 CONTEXT PLAN
SITE SURVEY PLAN
A1.0 SITE PLAN
A1.1 FIRE ACCESS PLAN
A2.0 FLOOR PLAN
A3.0 BUILDING A ELEVATIONS
A3.1 BUILDING B ELEVATIONS
A3.2 BUILDING A RENDERS
A3.3 BUILDING B RENDERS
A3.4 COURTYARD VIEWS
A3.5 STREETScape

LANDSCAPE DRAWING LIST

L0 LANDSCAPE COVER SHEET
L1 LANDSCAPE MATERIAL AND LAYOUT PLAN
L2 LANDSCAPE PLANTING PLAN
L3 LANDSCAPE DETAIL

CIVIL DRAWING LIST

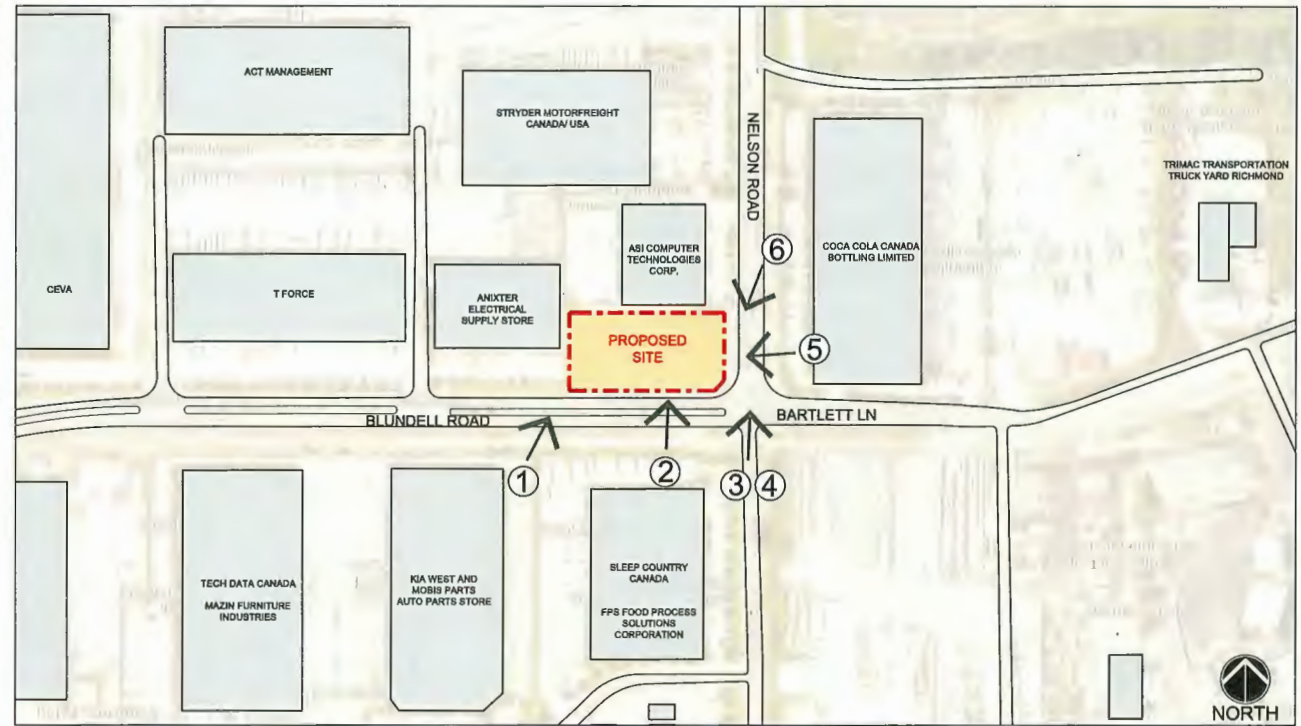
LOT GRADING PLAN





VICINITY PLAN

SCALE: NTS



① VIEW LOOKING NORTH FROM BLUNDELL ROAD



② VIEW LOOKING NORTH FROM BLUNDELL ROAD EXISTING BUS STOP



③ VIEW NORTH AT INTERSECTION OF BLUNDELL AND NELSON ROAD



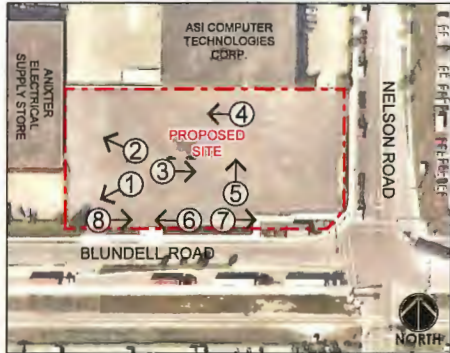
④ VIEW NORTH AT INTERSECTION OF BLUNDELL AND NELSON ROAD



⑤ VIEW LOOKING WEST FROM NELSON ROAD



⑥ VIEW LOOKING SOUTH WEST FROM NELSON ROAD



SITE PLAN

SCALE: NTS



① VIEW FROM THE SITE LOOKING TO SOUTH-WEST SITE CORNER



② VIEW FROM THE SITE LOOKING TO NORTH-WEST SITE CORNER



VICINITY PLAN

SCALE: NTS

LEGEND:

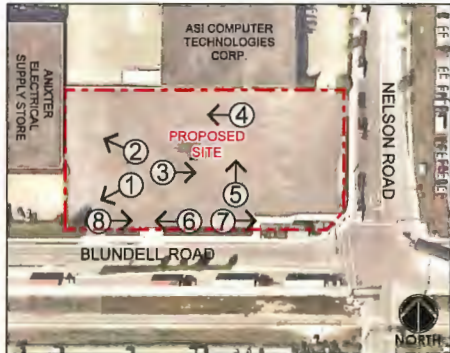
- a) PROPOSED SITE
- b) TUGBOAT ANNIE'S PUB & GRILLE
- c) NANAKSAR GURDWARA GURSIKH TEMPLE



③ VIEW FROM THE SITE LOOKING WEST TO NELSON ROAD



④ VIEW FROM THE SITE LOOKING EAST TO ANIXTER ELECTRICAL BUILDING



SITE PLAN

SCALE: NTS



⑤ VIEW FROM THE SITE LOOKING NORTH TO ASI COMPUTER BUILDING



⑥ VIEW FROM BLUNDELL ROAD LOOKING WEST



VICINITY PLAN

SCALE: NTS

LEGEND:

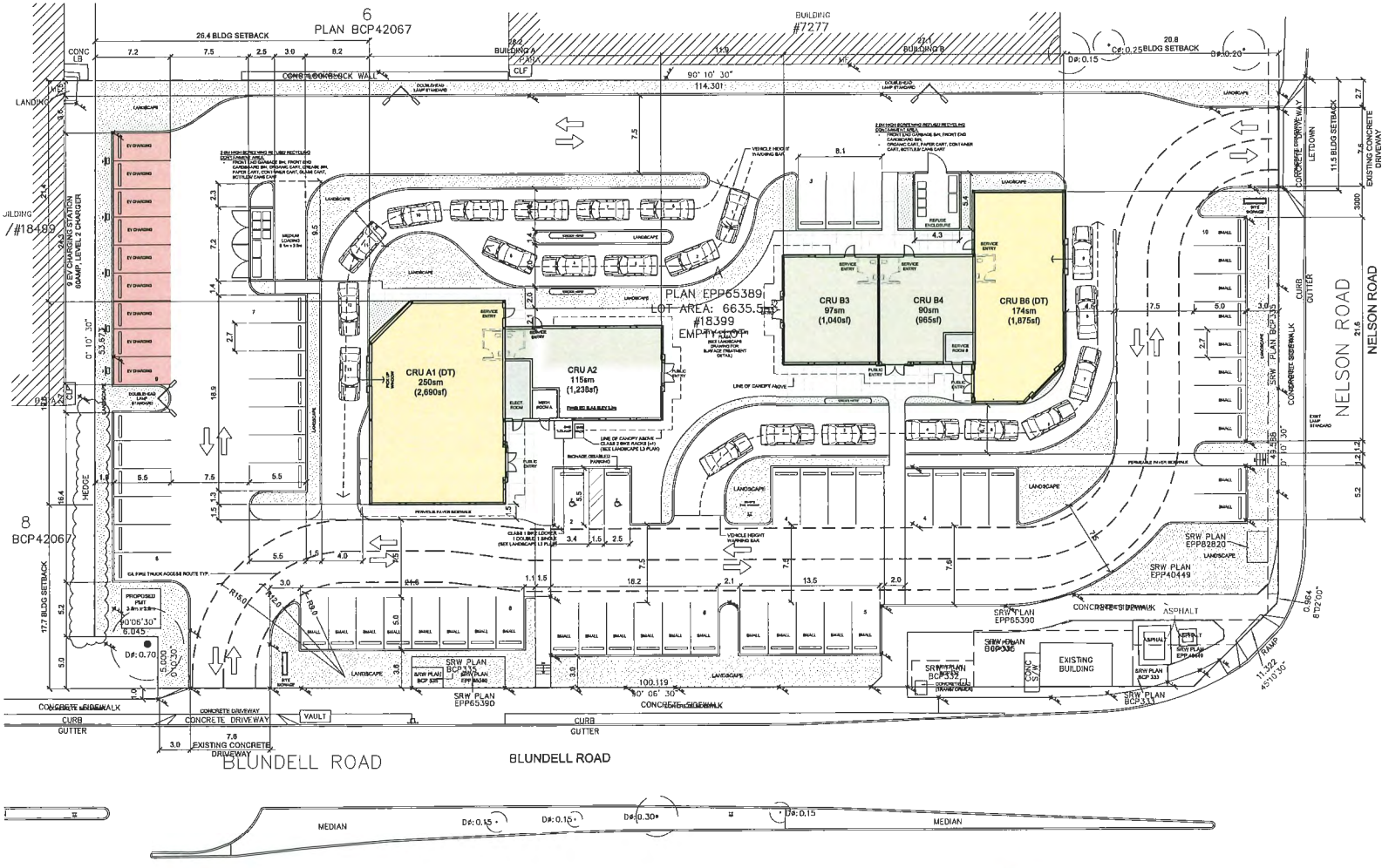
- a) PROPOSED SITE
- b) TUGBOAT ANNIE'S PUB & GRILLE
- c) NANAKSAR GURDWARA GURSIKH TEMPLE



⑦ VIEW FROM BLUNDELL ROAD LOOKING EAST



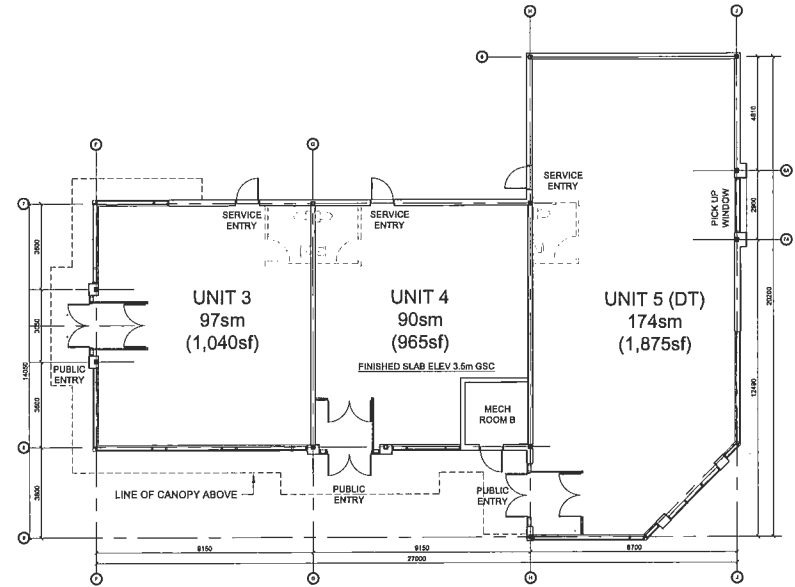
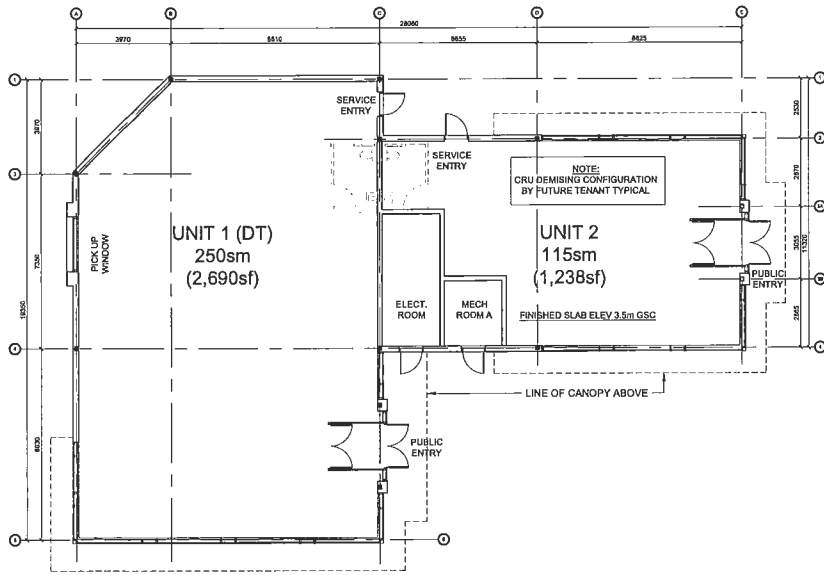
⑧ VIEW FROM BLUNDELL ROAD LOOKING EAST

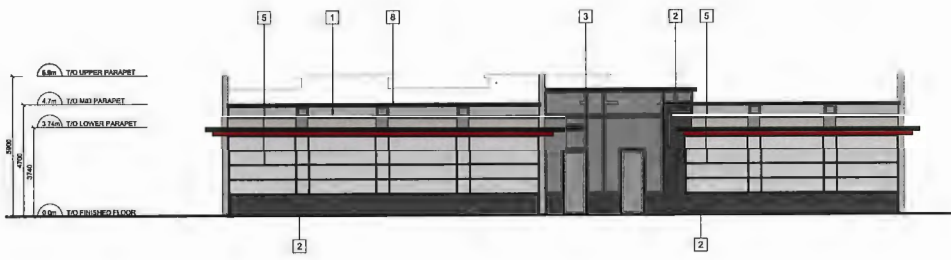


PROPOSED COMMERCIAL DEVELOPMENT KINGSWOOD INDUSTRIAL PARK 18399 BLUNDELL ROAD			
ZONING	INDUSTRIAL (I)		
LEGAL DESCRIPTION	LOT 7 SEC18 BLK 4 NORTH RANGE 4 WEST WESTMINSTER DISTRICT PL BCP42067		
PERMITTED USE	GENERAL INDUSTRY, DRIVE THROUGH, RESTAURANT		
PROPOSED USE	GENERAL INDUSTRY, DRIVE THROUGH, RESTAURANT		
LOT AREA	6,635.5 m ² (71,424sf)		
PERMITTED LOT COVERAGE	MAX 75%		
PROPOSED LOT COVERAGE	11.4%		
PROPOSED BUILDING FOOTPRINT	759 m ² (8,199sf)		
PERMITTED FLOOR AREA RATIO (FAR)	1.0		
PROPOSED FLOOR AREA RATIO (FAR)	0.11		
BUILDING SETBACKS	REQUIRED PROPOSED		
FRONT YARD (NELSON RD)	3.0m 20.6m		
REAR YARD (WEST)	- 28.4m		
INTERIOR SIDE YARD (NORTH)	- 11.5m		
EXTERIOR SIDE YARD (BLUNDELL RD)	3.0m 17.7m		
HEIGHT	MAX 16.0m 4.7m		
NOTE: ACCENT PANEL HEIGHTS VARY FROM 5.9m TO 7.5m			
PARKING SIZE	STANDARD 2.65m W x 5.5m L SEE SEE STALLS TO BE PROVIDED IN 21 SPACES ON LANE SMALL 2.45m W x 5.0m L		
	ACCESSIBLE 2.50m W x 5.5m L 1.2m SHARED ASBLE		
aisle width (TWO-WAY)	7.5m		
PARKING			
REQUIRED PARKING SPACES			
PARKING BY USE CATEGORY	PARKING SPACES REQUIRED	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
RESTAURANT	8 SPACES PER 100m LP TO 200m 10 SPACES FOR EACH ADDITIONAL 100m	24	30
DRIVE-THRU	7 SPACES PER 100m LP TO 150m 8 SPACES FOR EACH ADDITIONAL 100m MIN. 8 VEHICLE QUEUEING AREA IN ADVANCE OF FULL WINDOW	30	32
ACCESSIBLE PARKING	1 PER 100 SPACES 1 ADDL PER NEXT 50 SPACES (36 STANDARD + 29 SMALL)	2	2
LOADING			
REQUIRED/ PROVIDED	1 MEDIUM SIZE LOADING		
BICYCLE PARKING REQUIRED/ PROVIDED			
REQUIRED (NOTE: 3 CLASS 1 SPACES + 4 CLASS 2 SPACES)	7 SPACES		

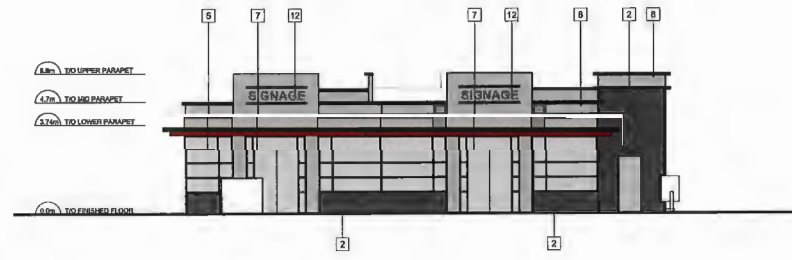
LEGEND	
	LANDSCAPE AREA
	PAVEMENT AREA
	PROPOSED BY CHARGING STATION (8 DEDICATED EV STALLS WITH 5 PEDESTALS - GOAMP LEVEL 2 CHARGER)



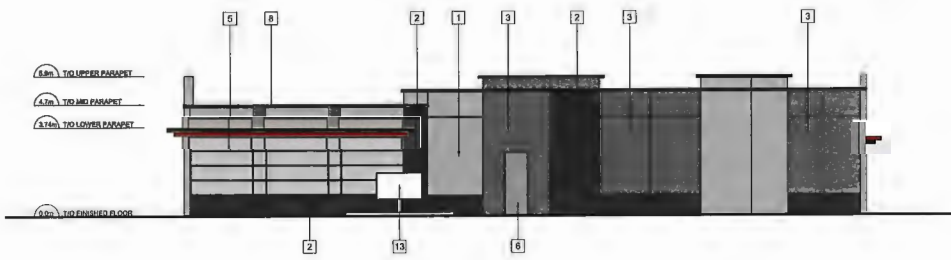




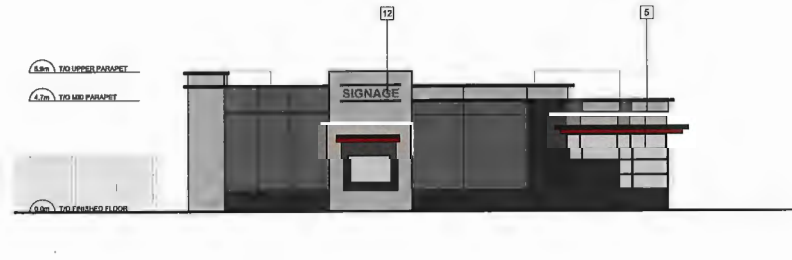
A SOUTH ELEVATION



B EAST ELEVATION

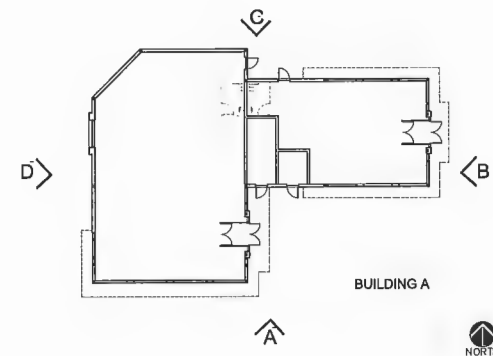


C NORTH ELEVATION



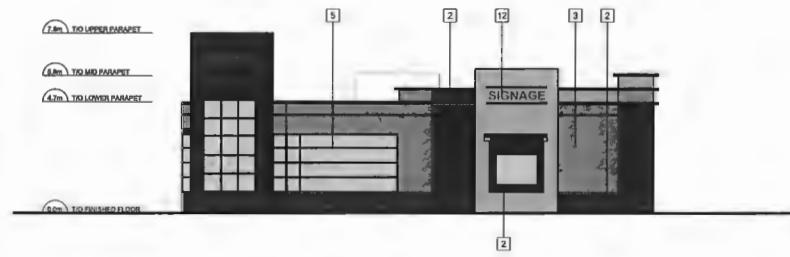
D WEST ELEVATION

MATERIAL LEGEND	
1	INSULATED METAL PANEL, LIGHT GRAY COLOUR: SHALE GRAY (OR EQUIVALENT)
2	INSULATED METAL PANEL, DARK GRAY COLOUR: BASALT (OR EQUIVALENT)
3	INSULATED METAL PANEL, MEDIUM GRAY COLOUR: WINDSPRAY (OR EQUIVALENT)
4	REARVIEW
5	GREY TINTED SEALED UNIT WITH BLACK ANODIZED ALUMINUM GLAZING BALLIONS
6	INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED, COLOUR: GREY TBC
7	GREY TINTED STOREFRONT ENTRY DOUBLE DOORS
8	PREFINISHED METAL FLASHING, COLOUR: CHARCOAL BY VICKREY
9	PREFINISHED METAL CANOPY FLASHING, COLOUR: BLACK BRONZ BY VICKREY
10	PREFINISHED METAL FASCIA FLASHING, COLOUR: DARK RED BRONZ BY VICKREY
11	GARAGE SCREENING ENCLOSURE
12	SIGNAGE, SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
13	ORDER MENU SIGNETARD
14	HURFICATION REVEAL

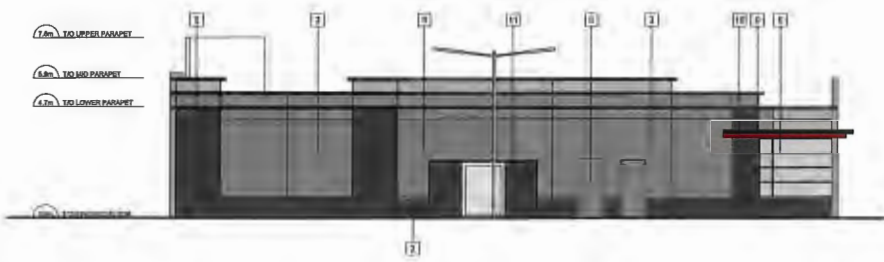




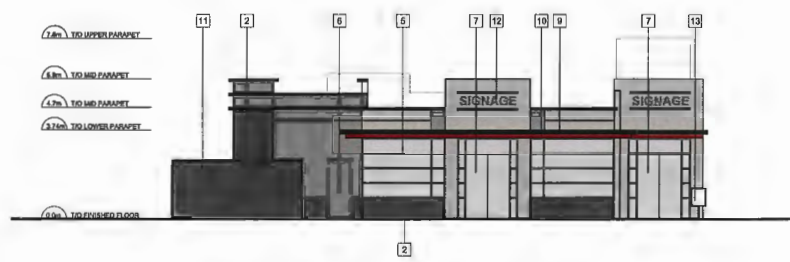
A SOUTH ELEVATION



B EAST ELEVATION



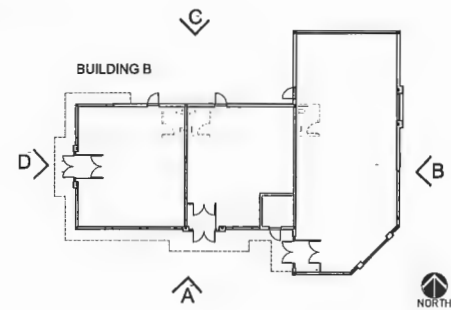
C NORTH ELEVATION



D WEST ELEVATION

MATERIAL LEGEND	
1 INSULATED METAL PANEL, LIGHT GRAY COLOUR, SHAKE GREY (OR EQUIVALENT)	8 PREFABRICATED METAL FLASHING, COLOUR CHANGING BY VIBRIST
2 INSULATED METAL PANEL, DARK GRAY COLOUR, BARALT (OR EQUIVALENT)	9 PREFABRICATED METAL CANOPY FLASHING, COLOUR BLACK SS904 BY VIBRIST
3 INSULATED METAL PANEL, MEDIUM GRAY COLOUR, TRUESWAY (OR EQUIVALENT)	10 PREFABRICATED METAL FASCIA FLASHING, COLOUR DARK TID SS904 BY VIBRIST
4 NEMERVID	11 GARAGE SCREENING ENCLOSURE
5 GREY TINTED SEALED LANEY WITH BLACK ANODIZED ALUMINUM GLAZING MULLIONS	12 SIGNAGE, SUPPLIES AND INSTALLED BY SIGN CONTRACTOR
6 INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED, COLOUR GREY TID	13 ORDER MENU SIGN/STAND
7 GREY TINTED STOREFRONT ENTRY DOUBLE DOORS	14 PLUMBICAM REVEAL

MATERIAL LEGEND	





SOUTHEAST CORNER



NORTHEAST CORNER



SOUTHWEST CORNER



NORTHWEST CORNER



SOUTHEAST CORNER



NORTHWEST CORNER



SOUTHWEST CORNER

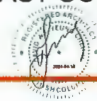


NORTHEAST CORNER



PROPOSED COMMERCIAL DEVELOPMENT

18399 BLUNDELL ROAD, RICHMOND, BC



BUILDING B RENDERS

A3.3

MARCH 22, 2024



COURTYARD VIEW A



COURTYARD VIEW B



A STREETScape VIEW FROM BLUNDELL ROAD



B STREETScape VIEW FROM NELSON ROAD

PROJECT NAME: Proposed Commercial Development

PROJECT NO: 2023-26

PROJECT ADDRESS: 18399 Blundell Road, Richmond, BC

DATE: 2024-03-20

ISSUED FOR: Re-Issue for DP

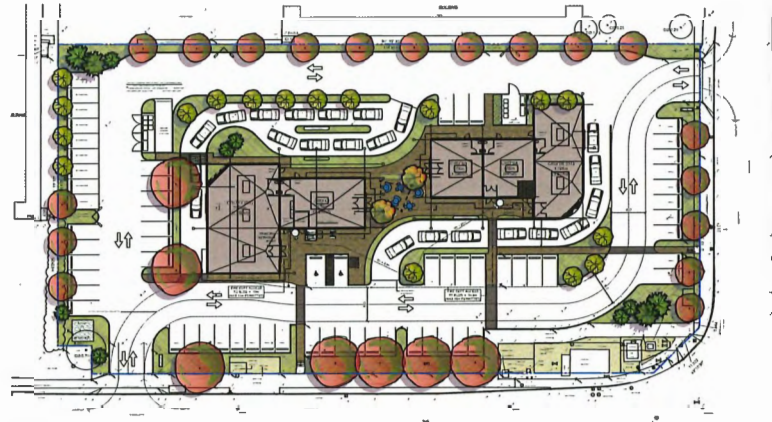
TABLE OF CONTENTS

Sheet Number	Sheet Title
L0	Landscape Cover Sheet
L1	Landscape Materials and Layout Plan
L2	Landscape Planting Plan
L3	Landscape Details

CONSULTANT LIST

GWA Architects Inc.
MPT Engineering Co. Ltd.

CONTEXT PLAN



PACKAGE IS ONLY TO SCALE WHEN PRINTED ON 24"X36" SHEETS UNLESS OTHERWISE INDICATED

Date	Issue Notes
2024-03-20	Re-Issue for DP
2023-12-13	Issue for DP
2023-11-14	Issue for DP
2023-11-07	Issue for DP coord

Date Issue Notes

Date Issue Notes



Design & Define

LANDSCAPE ARCHITECTS
2023-12-13 18:00:00
904-889-1002 info@designanddefine.ca
Building us over 25 years of history as Jonathan Lomas, Ltd.

Proposed Commercial Development
18399 Blundell Road, Richmond, BC

Client Name
Coastal Salish

Sheet Title
Landscape Cover Sheet

Project No
2023-26

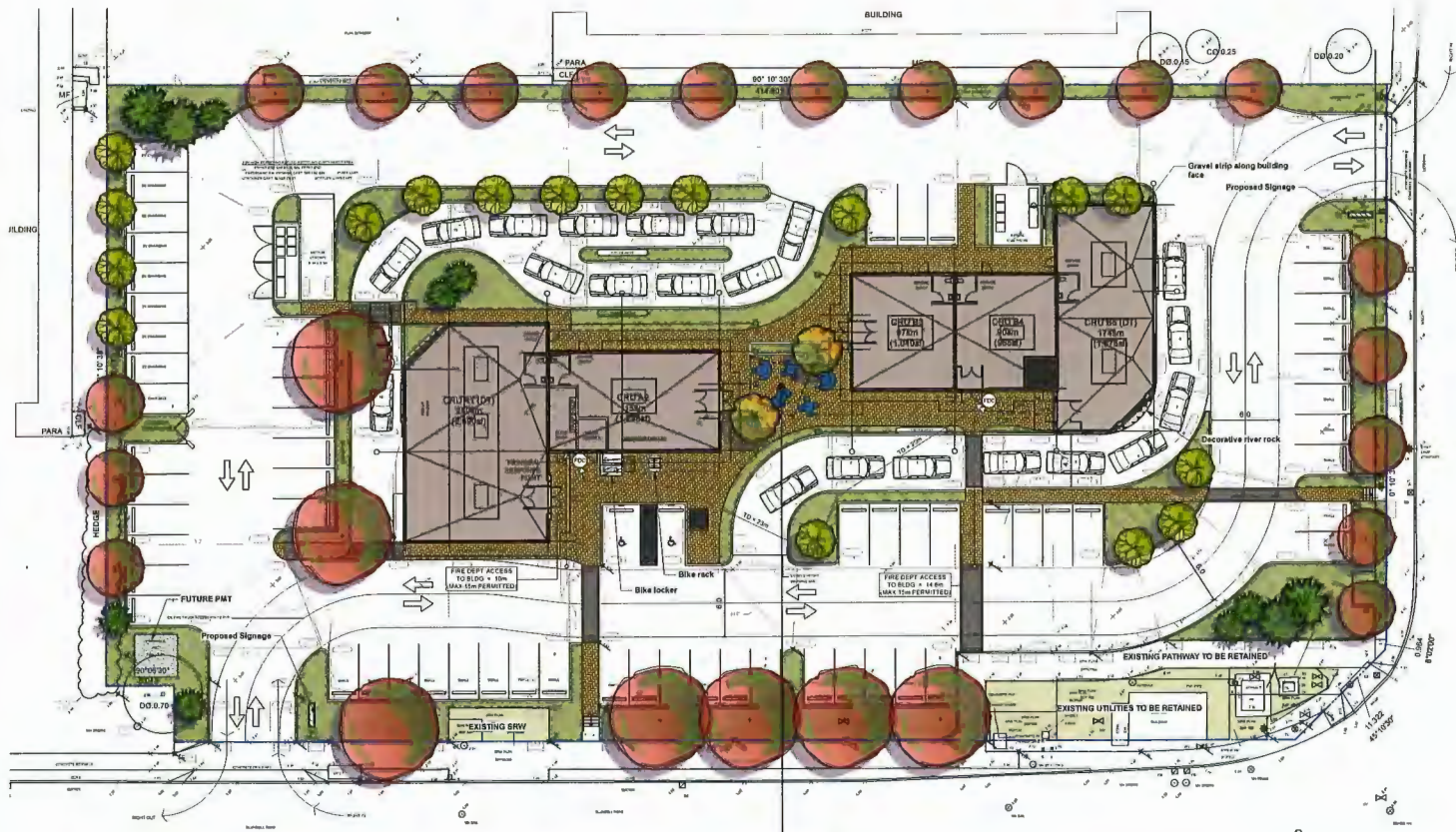
Project Name
CV

Author
AS

Sheet No

Sheet No

L0



LANDSCAPE GENERAL NOTES

1. All landscape material and installation shall conform to the Canadian Landscape Standard, all applicable and noted codes, bylaws and specifications, and the safety requirements of the "Minimum For Construction".
2. Do not construct from these drawings unless marked "Minimum For Construction".
3. The Landscape Contractor shall submit all questions, reports, inquiries and requests pertaining to these drawings or their construction in writing to the Landscape Consultant.
4. Existing condition plans were prepared by others and actual conditions may vary from those shown. The Landscape Contractor shall conduct a site visit to review existing conditions and report all discrepancies between the plans and actual site to the Landscape Consultant prior to construction. The Landscape Contractor shall assume responsibility for actual site conditions (including sub-surface).
5. The Landscape Contractor shall conduct a site visit and review to determine the extent of work required (including but not limited to demolition, preparation and removal). Landscape Contractor shall report any discrepancies between the required and proposed work to the Landscape Consultant prior to construction.
6. The Landscape Contractor shall verify all scaled and written dimensions in the contract document and on site prior to construction. The Landscape Contractor shall report any discrepancies or incompatibilities to the Landscape Consultant.
7. Provide positive grade away from buildings and buried lawn drains and catch basins. Slope away from building at a minimum of 2%.
8. All landscaping shall have a high efficiency irrigation system or SUDS practices. Unless otherwise specified, the irrigation system shall be designed by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.
9. All substitutions shall be approved by the Landscape Consultant.
10. The Landscape Contractor shall report any damage resulting from work on site.
11. The Landscape Contractor shall provide 1 year of CLG level 1 maintenance (including watering) after the date of substantial completion.
12. All walls 2' or taller, all panels, all concrete footings and all steel shall be designed by structural engineer. All walls shall be inspected and approved by geotechnical and structural engineer. Ensure positive drainage behind all walls.
13. When working within the City of Vancouver, the Landscape Contractor shall ensure all project activities conform to Japanese Street Regulation.

LANDSCAPE TREE NOTES

1. All landscape construction activities have a high potential for causing damage to trees, roots and soil. The Landscape Contractor shall coordinate with the project Architect prior to the start of landscape operations to avoid tree protection non-compliance and bylaw issues.
2. Install temporary tree protection fencing as per arborist report or tree protection plan. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction.
3. Removal of the tree barriers requires advance coordination and approval by the project Architect.

LEGEND

- Property Lines
- Tree protection fence

HARDSCAPE MATERIALS:

- Aquapave Permeable Paver system from Belgard or approved equivalent. Size: 110mm x 221.5mm x 80mm, Colour: Harvest
- Aquapave Permeable Paver system from Belgard or approved equivalent. Size: 110mm x 221.5mm x 80mm, Colour: Harvest
- Cast in Place Concrete (Pedestals)

SOFTSCAPE MATERIALS:

- Planting Bed

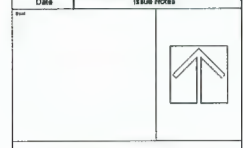
SITE FURNISHINGS:

- Magna Fave Clarier Seating, various seating options
- Tree Rack
- Bike Locker, Double and Single

LINE & SYMBOL

- Building envelope
- Building roof overhang

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 LANDSCAPE ARCHITECTS
 4182 West 4th Ave Vancouver, BC V6R 2P2
 604-683-0333 | info@prospectandrefuge.ca
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 18190 Bluswell Road, Richmond, BC

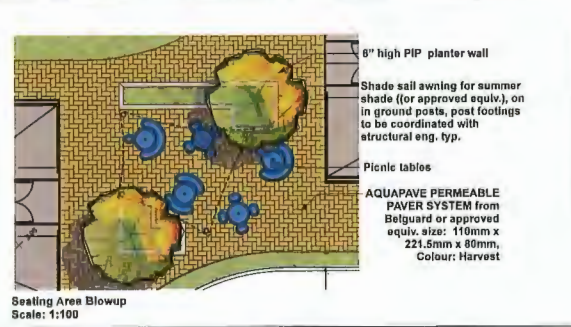
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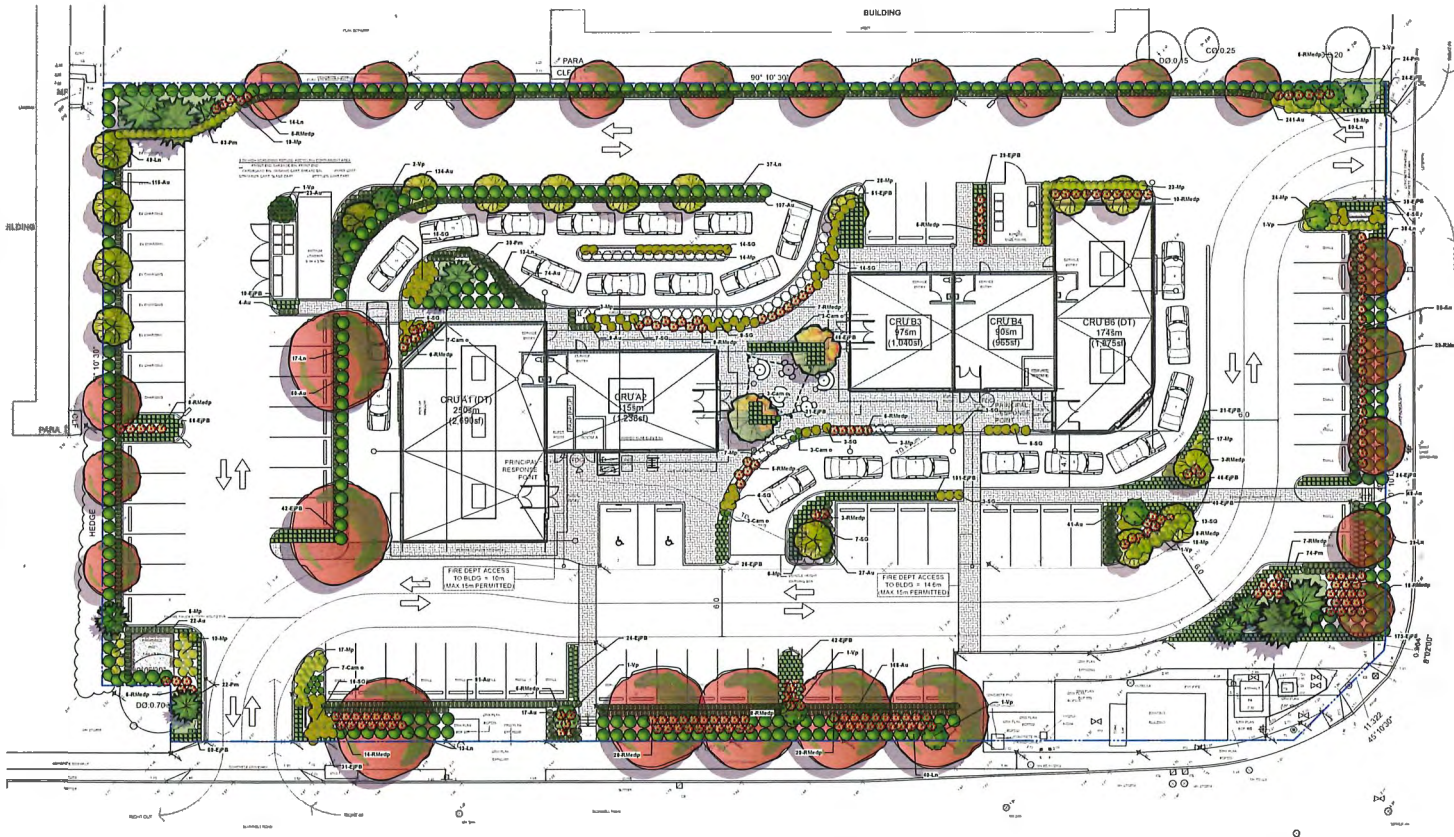
Landscape Materials and Layout Plan

Project No:	2023-26	Scale:	1/8" = 1'-0"
Project Name:	CV	Sheet No.:	L1
Revision:	AS		



Shade Sall shade awning (or approved equiv.) to provide summer shade at amenity space
 Colour TBD to match architecture.





LANDSCAPE PLANTING NOTES

1. All planting materials and a submittal shall conform to the current edition of the Canadian Landscape Standard (CLS) as a minimum acceptable standard.
2. Plant material shall be sourced from Washington State and BC.
3. Landscape Contractor shall submit a soil report for each soil type specified on site including all imported soil and existing soil intended for reuse, to Landscape Consultant for approval prior to not delivery to site. Soil report shall be dated no more than one month before submittal. Soil report shall include CLS measures of soil quality per specified soil type and recommendations for amendment.
4. Landscape Contractor shall amend approved soils per instructions of soil report. Provide documentation of fertilizer and lime applications and rates during the installation and maintenance periods.
5. The prepared sub-grade shall be approved by the Consultant prior to application of top soil materials and finish grading. Compacted substrates shall be aerated to a minimum depth of 8" (150mm) immediately before placing growing medium.
6. The Landscape Contractor shall report discrepancies between plant quantities to the plant list and plan to the Landscape Consultant prior to installing plant material. Where there is a discrepancy the plan shall supersede the list.
7. All plant material, soil and seeds shall be approved by Landscape Consultant prior to delivery on site. The Landscape Contractor shall provide photographs with exact reference for trees and location information for customer check to the Landscape Consultant prior to the Landscape Consultant scheduling a field inspection. The Landscape Contractor shall provide location or samples for Landscape Consultant approval. Plant material, soil and seeds rejected on site shall be replaced by the Landscape Contractor at no cost to the Owner.
8. Plant material, soil and seed substitutions shall not be made without the written approval of the Landscape Consultant.
9. All plant material (including root balls) shall be free of excessive weeds, and, diseases, infestation and infection. Plant material shall be supplied by nurseries who are certified by the Green Plants program. Canadian Nursery Certification Institute (CNCI), current certification standard <http://www.cnci.ca>. Non-conforming plant material provided by the Landscape Contractor shall be removed, disposed of and replaced at the Landscape Contractor's expense.
10. If deficiencies or other conditions detrimental to healthy plant growth are encountered, the Landscape Contractor shall notify the Landscape Consultant and request additional instructions.
11. The exact location of trees shall be determined on site and field fit is required. The Landscape Consultant shall approve the final location of trees prior to planting.
12. Plants shall not be pruned prior to delivery unless otherwise noted by the Landscape Consultant.
13. Install compacted organic mulch to CLS standard on all shrub beds after planting and rain smooth. Follow CLS standards for depth and installation.
14. The Landscape Contractor shall provide level 1 maintenance per CLS standard for landscape type and a guarantee for all plant material, for 1 year after the date of substantial completion. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until June 1 of the following year.
15. Office planting shall have landscape approval (municipal or otherwise) prior to installation. Size, species, installation method and location requires landscape approval at the time of installation. Office plant material and installation shall conform to all Municipal requirements.
16. All landscaping shall have a high efficiency irrigation system to RABC standards. Unless otherwise specified, the irrigation system shall be designed by the irrigation Contractor. The irrigation Contractor shall provide shop drawings for Landscape Consultant approval.

LANDSCAPE TREE NOTES

1. All landscape construction activities have a high potential for causing damage to trees, roots and soil. The Landscape Contractor shall coordinate with the project Architect prior to the start of landscape operations to avoid tree protection non-compliance and tree loss.
2. Install temporary tree protection fencing as per arborist report or tree protection plan. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction.
3. Removal of the tree barrier requires advance coordination and approval by the project architect.

Date	Issue Notes
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2023-11-14	Issue for DP
2023-11-07	Issue for DP coord

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 604-683-0202 www.prospectandrefuge.com
 Working for over 25 years of history as Architect, Landscape, and

Project Title and Address
Proposed Commercial Development
 1639 Blundell Road, Richmond, BC

Project Name
Coast Station

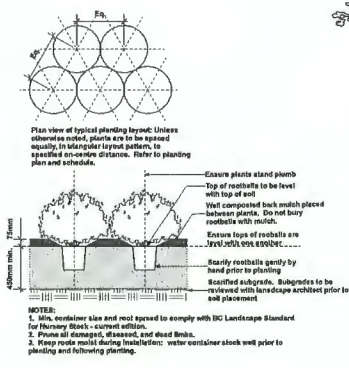
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Landscape Planting Plan

Project No.
2023-26 Scale: **1/8" = 1'-0"**

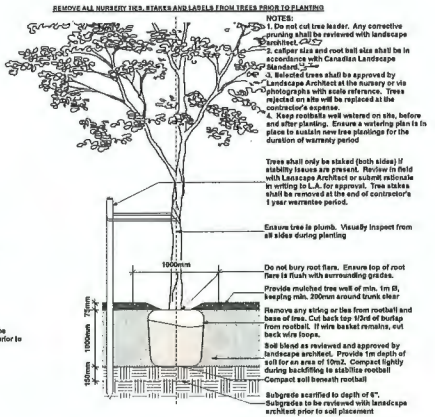
Project Manager
CV Sheet No.

Reviewed by
AS **L2**

PLANT LIST	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES					
Ac	Acacia saligna 'Red Super Sene'	Super Sene Shale	12	6cm cal	B.B. 1.8m standard
Av	Acacia saligna 'Iron Valley'	Iron Valley Red Shale	7	6cm cal	B.B. 3.0m standard
Al	Fragaria vesicaria 'Dorval White Gold'	White Gold Strawberry	12	6cm cal	B.B. 3.0m standard
Fr	Fraxinus americana 'Landscape Green'	Landscape Green Ash	2	6cm cal	B.B. 3.0m standard
Pr	Picea orientalis 'Aurea Compacta'	Compacta Spruce	2	2.5m full ht B.B.	B.B. 8
Pr	Picea orientalis 'Sisiliana'	Sisiliana Spruce	2	2.5m ht.	B.B. 8
SHRUBS					
Am	Andropogon scoparius	Andropogon	1227	63 pot	Cont.
Gr	Grass (various)	Various Grass	26	63 pot	Cont.
Gr	Grass (various)	Various Grass	696	63 pot	Cont.
Gr	Grass (various)	Various Grass	210	63 pot	Cont.
Gr	Grass (various)	Various Grass	213	63 pot	Cont.
Gr	Grass (various)	Various Grass	213	63 pot	Cont.
Gr	Grass (various)	Various Grass	188	63 pot	Cont.
Gr	Grass (various)	Various Grass	11	63 pot	Cont.
Gr	Grass (various)	Various Grass	124	63 pot	Cont.
Gr	Grass (various)	Various Grass	11	63 pot	Cont.
GRASS MIXTURES					
	Grass Mixture (various)	Grass Mixture	23	63 pot	Cont.



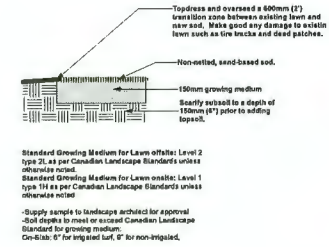
1 **Shrub and Perennial Planting**
Scale: 1:24



2 **Tree Planting**
Scale: 1:24



3 **Top Soil**
Scale: 1:24



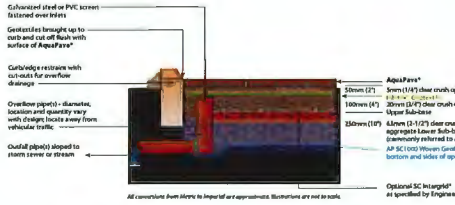
4 **Sodded Lawn**
Scale: 1:24



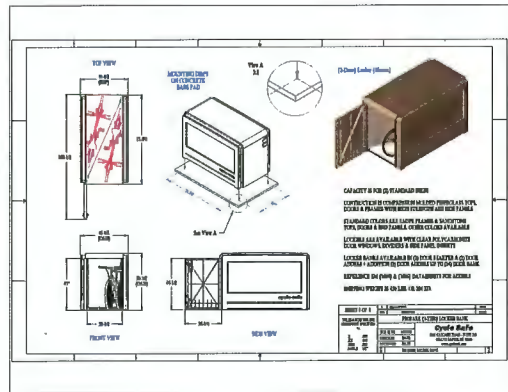
5 **Cora Bike Rack W3606**
Scale: NTS

AQUAPave Permeable On-Site Stormwater Source Control System

Partial Exfiltration System



6 **Permeable Pavers**
Scale: Actual Size



7 **Bike Locker**
Scale: NTS

Dynamic cluster seating with a twist

8 **Cluster Seating**
Scale: NTS

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Proposed Commercial Development
16238 Blenheim Road, Richmond, BC

Project Name: **Coast 518th**

Project Status: **Landscape Details**

Project No:	2023-26	Issue:	As Noted
Project Manager:	CV	Scale:	L3
Reviewed by:	AS		