



City of Richmond
Planning and Development Department

Report to Development Permit Panel

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: June 14, 2010
File: DP 10-517750
Re: **Application by Patrick Cotter for Permission to Develop 9560 and
9580 Alberta Road in Order to Develop a 13-unit, Three-storey Townhouse
Development**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 13, three-storey townhouse units at 9560 and 9580 Alberta Road, zoned "Medium Density Townhouses (RTM3)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the required front yard setback from 6.0 m to 5.34 m to allow an encroachment of the front of Building 4; and
 - b) Reduce the required side yard setback along the western side from 3.0 m to 2.50 m to allow an encroachment of the west unit in Building 4.
 - c) Permit resident parking to allow a tandem parking configuration for 13 units (26 stalls).

Brian J. Jackson, MCIP
Director of Development

DJ:blg
Att.

Staff Report

Origin

Patrick Cotter has applied to the City of Richmond for permission to develop a 13-unit townhouse project within the McLennan North Sub-Area Neighbourhood on a site currently zoned "Single-Detached (RS1/F)". The site currently contains a single-family dwelling on each of the two (2) lots.

The site is being rezoned to "Medium Density Townhouses (RTM3)" under Bylaw 8588 (RZ 09-495595).

Frontage improvements were complete during the 1990's as part of Development Cost Charge (DCC) program and therefore no Servicing Agreement is necessary.

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: Across Alberta Road, a 48-unit Townhouse complex zoned "Town Housing (ZT30) – North McLennan (City Centre)";

To the South: Open field associated with Anderson Elementary and McNeil Secondary Schools zoned "School and Institutional Use (SI)";

To the East: Single-Family homes along the south side of Alberta Road, zoned "Single Detached (RS1/F)"; and

To the West: Parking lot for Anderson Elementary School and beyond, two (2) Single-Family lots zoned "Single Detached (RS1/F)".

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage (staff comments are provided in **bold italics**):

1. Design of the outdoor amenity area, including the play area.

Four (4) garden plots are proposed in lieu of a child's play structure that is typically provided in townhouse developments in this area. While the size of the amenity area meets Policy requirements, the size is quite small for a play structure. Also, the large park space at the rear of the property provides opportunities for play space nearby. The surrounding area is well landscaped at the edges to separate the drive aisle from the garden plots.

2. Submit a revised site plan to illustrate all existing trees (20 cm calliper or greater) and noted if they are to be retained or removed.

The applicant has completed a tree inventory that is satisfactory. More is outlined in the landscaping section of this report.

3. Overall appropriateness of the landscaping plan, including how the proposed grades will ensure the survival of the three (3) on-site trees that are to be retained.

The applicant is proposing a wide variety of tree types and other plantings throughout the site. The arrangement provides sufficient landscaping along all frontages, as well as along the edges of the adjacent properties.

4. Justification to the variance request for the side yard setback.

The variance occurs at Unit A5 in Building 4 (north-west corner) and is relatively minor. Given that the adjacent property is the parking lot to Anderson Elementary School, the encroachment allows the frontage to fill out by using their standard unit types.

5. Manoeuvrability of larger vehicles (SU-9) within the site.

The applicant has provided sufficient information that will allow larger vehicles to manoeuvre within the site as well as access the adjacent property to the east (9620 Alberta Road) when that property is ready for redevelopment.

6. Widening of the internal drive aisle to the satisfaction of the Director of Transportation.

The applicant has satisfied this issue with the widening of the internal drive aisles in accordance with Transportation guidelines.

7. Form and character of the townhouse units and how they address adjacent properties.

The applicant has received unanimous approval from Advisory Design Panel from their formal presentation at the May 19, 2010 meeting.

8. To provide a sense of territory for pedestrian use within the site.

The applicant has successfully met these criteria by providing a permeable paving system along the eastern and northern section of the drive aisle.

The Public Hearing for the rezoning application was held on May 17, 2010 and there were two (2) written submissions. One was from Mr. William Buchanan of 9520 Alberta Road who has concern over an additional 13 units when parking in the evening is difficult to find. The second is from Mr. Vincent Lau of #20 – 6388 Alder Street who has similar concerns that an increase in density will add more cars to the area. A second issue is the level of break-ins is greater in townhouses than in Single-Family Homes.

The applicant and staff have addressed these issues as follows:

- The proposed on-site parking (resident and visitor) meets the minimum requirements of the Richmond Zoning Bylaw 8500; and
- The site is designed to give a sense of territory between public and private space and will be illuminated in a manner where there will be few hiding opportunities. Further information is provided in the Crime Prevention Through Environmental Design (CPTED) section of this report.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Richmond Zoning Bylaw 8500 except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

1. Reduce the required front yard setback from 6.0 m to 5.34 m to allow an encroachment of the front of Building 4.

Staff supports the proposed variance as it is a relatively minor and will not have a significant impact on the perceived frontage of the site. The front entry canopy and the proposed landscaping will soften the visual impact to the street frontage along Alberta Road.

2. Reduce the required side yard setback along the western side from 3.0 m to 2.50 m to allow an encroachment of the west unit in Building 4.

Staff supports the proposed variance as the encroachment affects only one (1) unit and is a relatively minor variance. A benefit to the variance is to provide a full street front impression when the site directly to the west is an open parking area to the adjacent school.

3. Permit resident parking to allow a tandem parking configuration for 13 units (26 stalls).

Staff supports the proposed variance as it only affects the individual units where the tandem configuration occurs and not visitor parking. It has also been used in similar developments with no noted concerns. A covenant will be required to prevent the tandem space being converted to habitable space.

Advisory Design Panel Comments

The Advisory Design Panel reviewed this application on May 5, 2010. A copy of the relevant excerpt from the Advisory Design Panel Minutes from the meeting is attached for reference (**Attachment 2**). The design response from the applicant has been included in a separate column next to the Panel's comments.

Analysis

Conditions of Adjacency

- The subject site is located in the North McLennan Area, fronting the southern half of Alberta Road, near No. 4 Road. The consolidated lots will back on to an open field that includes Anderson Elementary and McNeil Secondary Schools, with most of the sites along the southern half of Alberta Road still being Single-Family.
- This portion of North McLennan has gone through some recent redevelopment over the years, with two-storey to three-storey townhouses being the dominant form. Many lots in the immediate area have remained Single-Family Houses.
- The applicant is proposing ample landscaping and fencing along the periphery of the site to protect privacy to this and the neighbouring property.

- The street frontage provides a good transition from the public sidewalk to the individual units that front the street. The applicant is proposing the use of metal fencing with brick and concrete supports close to the property line. Landscaping provides a buffer between the sidewalk, fence and continuing to the building to provide an obvious change in use and sense of territory for the residents. The unit entries are easily identified through the use of entry canopies.
- The applicant has provided a conceptual layout to the property directly to the east (9620 Alberta Road) to highlight that the land can be built at the same density as this proposal. To help secure potential access to the site without having to provide a separate access to Alberta Road, a cross access easement has been secured through the rezoning stage.

Urban Design and Site Planning

- The internal drive aisle bisects the site to allow easy vehicular access to each of the units. Access is off Alberta Road, and looks toward the outdoor amenity area and the open space of Anderson Elementary beyond. The aisle splits off to give access to the remaining units. A total of four (4) units will front Alberta Road and will have direct pedestrian access to the street.
- The units are arranged in four (4) building clusters consisting of two (2) three-unit and two (2) four-unit clusters, allowing for a nicely scaled proposal.
- The amenity area is centrally located at the central corner of the site and is of appropriate size. The proposal calls for a community garden in lieu of a play structure commonly found in recent townhouse developments. Given the required size of the amenity area, a play structure would be the dominant form where a play structure exists on the adjacent school grounds. A community garden can provide an alternative activity to engage and educate children.
- The garages provide enough room to store bicycles for long-term storage. Short-term bicycle parking is provided through bike racks adjacent to the amenity area, and is to contain enough space for at least three (3) bikes.
- Visitor parking is scattered throughout the site and conforms to the required number of stalls (3) – including one (1) for wheelchair accessibility.
- The garbage and recycling enclosure is located just off the main entry to the site for easy access. The bins are enclosed against Building No. 4 with a façade that matches well with the rest of the building. Large wooden doors to allow access will complement the look of the immediate area.
- Pedestrian access to the site is provided off Alberta Road and along the internal drive-aisle. The units that front Alberta Road will enjoy having direct pedestrian access from the street without having to enter into the complex.

Architectural Form and Character

- The overall appearance of the proposal conforms to the design guidelines of the North McLennan area and should fit in well to the surrounding area.
- The applicant has proposed a craftsman style appearance, which will work well with the surrounding area. The overall scale and massing is similar to the recent developments, and, through the provision of articulation and finishing material, will provide a townhouse complex that will generate interest not only to prospective purchasers but to the neighbourhood.

- The choice of finishing materials range from red brick at the base of the buildings to the use of horizontal hardi-board along the middle and top sections. Articulation is added through the extensive use of entry canopies and its roof form. Colour choice is satisfactory with the use of warmer tones of the red brick and browns for the siding, along with some grey to provide balance to the warmer tones.
- The roof is finished with a driftwood tone asphalt shingle and applied in a wood shingle pattern. This adds to the balance to the warmer tones of the façade.

Landscape Design and Open Space Design

- An arborist report was submitted at the rezoning application stage and was reviewed by City staff. The report identified 12 on-site trees and called for the removal of nine (9) on-site trees due to its location within the development footprint. The three (3) remaining trees are located at the edges of the site and will be protected from the required grade changes either through gradual grade increases and/or small retaining walls to help reduce the impact the grade change will have. In accordance with City Policy, the applicant must provide at least 18 trees to meet the 2:1 replacement ratio. In response, the applicant is proposing to exceed this requirement with the planting of 26 trees according to the attached landscaping plan. The trees are of a variety of species and are to be spread throughout the site.

Number of trees to be removed	Required number of trees to be replaced	Proposed number of trees to be planted	Surplus/Deficit
9	18	26	8 (surplus)

- The applicant is to provide security for landscaping in the amount of \$42,500.00 to ensure the quantity meet with the proposed landscaping plan and the survival of the plantings upon completion.
- The submitted landscape plan identifies a mixture of soft and hard landscaping to help identify edge treatments throughout the site. Hard surfaced landscaping is also proposed through a mixture of asphalt and a permeable paving system to help soften the appearance of the internal drive-aisle and helps identify areas of interest such as the amenity area and visitor parking.
- The applicant has chosen to make a voluntary cash-in-lieu payment of \$13,000 instead of providing an indoor amenity space. Payment is secured through the rezoning stage.
- The applicant has provided a lighting plan to illustrate how the site is to be illuminated during evening hours. The fixtures themselves will provide downward casting illumination to avoid illumination of adjacent properties.

Affordable Housing

- The applicant is making a voluntary total contribution of \$32,140.00 to affordable housing in accordance to the Affordable Housing Strategy. It is secured through the rezoning application and is payable prior to the bylaw’s formal adoption.

Universal Access

- To provide for design flexibility and to allow for better movement to those with limited mobility, a conversion plan is applied to unit A6 within Building 1. Items that will need to be taken into consideration are:
 - Wider doors for easier access to the unit. Dimensions are to be shown on the drawings.

- A lift to allow access for occupants to different floors of the unit. Dimensions to the future openings are shown on the drawings.
- Design the layout of the kitchen and bathrooms for wheelchair mobility. Dimensions are shown to indicate mobility.
- Additional blocking behind the finished walls for future installation of grab bars. Notations are provided on the drawings.

Sustainability indicators


- The proposed plan is reusing an existing single family site to increase living density in the neighbourhood, utilizing existing and proposed infrastructure more efficiently.
- The applicant is proposing a pedestrian-scale streetscape along all street frontages to add value to neighbourhood and the extensive landscaping that will improve over time.
- The proposed lighting plan will focus on illuminating the subject site and not add unnecessary illumination to adjacent properties and reduce light pollution.
- The residential units will provide energy efficient appliances and water saving faucets.
- The site is close to a major transit corridor and close to stops for convenient use.
- A permeable paving system covering approximately 65% of the hard surfaces are proposed on areas where the concrete pavers are located.
- The applicant is providing garden plots for the use of residents.

Crime Prevention Through Environmental Design

- The proposed plan provides good edge features along the site to separate public and private space, giving the site a good sense of territoriality to residents and visitors.
- The submitted lighting plan should provide good evening illumination as well as not extending unwanted light onto adjacent properties.
- Building orientation and landscaping features provide good sight lines and view angles throughout the site.
- The units adjacent to the amenity area have windows at the ground and upper levels to provide good casual surveillance to the area.

Conclusions

Patrick Cotter has applied to the City of Richmond for permission to develop a 13-unit townhouse project at 9560 and 9580 Alberta Road. The design has gone through some modifications and staff has now come up with a design that addresses to the design guidelines for the area. Staff recommend that this Development Permit application be approved, as the proposed design will fit well within the streetscape and the rest of the neighbourhood.



David Johnson
Planner II

DJ:blg

The following are to be met prior to forwarding this application to Council for approval:

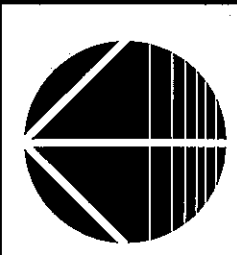
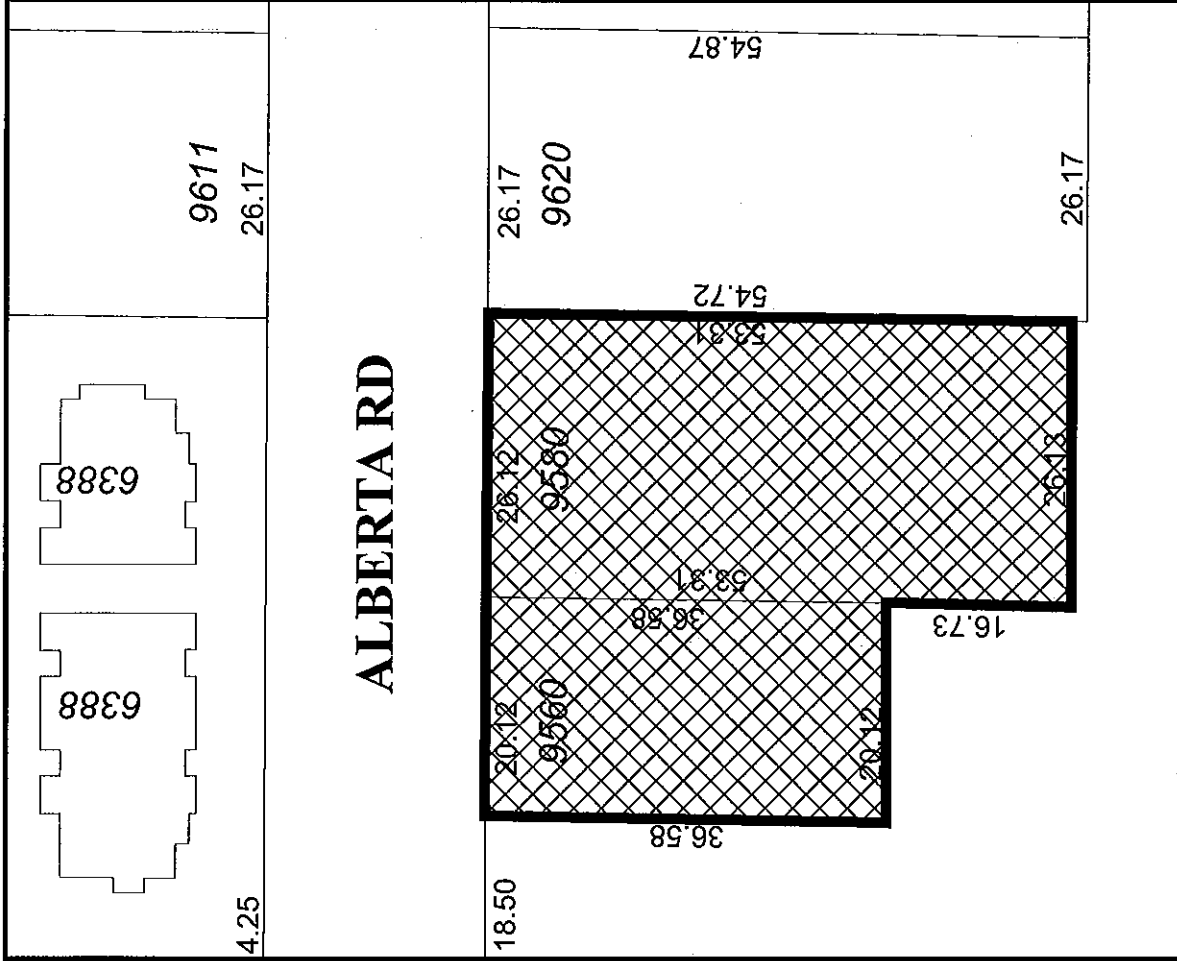
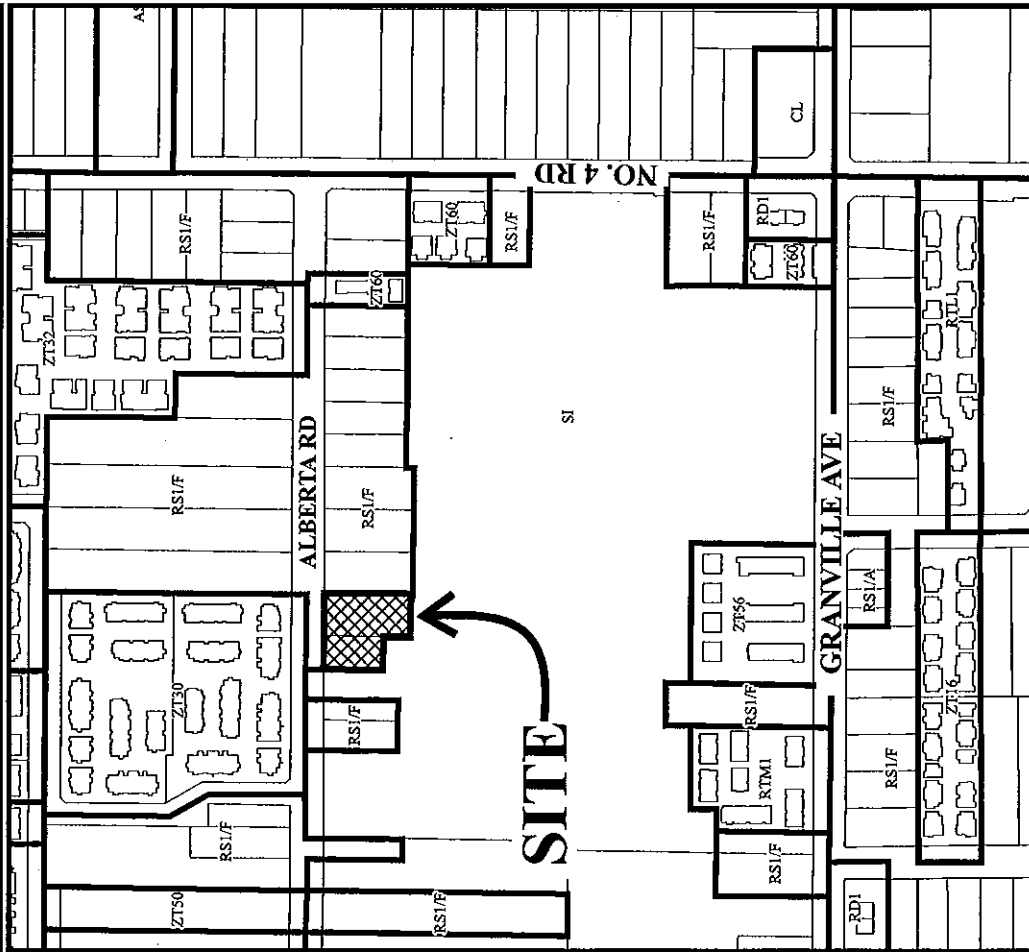
- Receipt of a Letter-of-Credit for landscaping in the amount of \$42,500.00; and
- Registration of a covenant to prevent tandem parking areas to be converted to habitable space.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/tp/special.htm>).



City of Richmond



DP 10-517750 "SCHEDULE A"

Original Date: 03/04/10

Revision Date:

Note: Dimensions are in METRES


City of Richmond

 6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet**
 Development Applications Division

DP 10-517750

 Address: 9560 and 9580 Alberta Road

 Applicant: Patrick Cotter

Owner:

Tien Sher Alberta Road Properties
 Inc.

 Planning Area(s): McLennan North Sub-Area Plan (Schedule 2.10C)

	Existing	Proposed
Site Area:	2,132.79m ²	2,132.79m ²
Land Uses:	Single Detached Residential	Townhouses
OCP Designation:	Residential Area 3 – 2, 3 Storey Townhouses	No change
Zoning:	Single Detached (RS1/F)	Medium Density Townhousing (RTH3) (pending final)
Number of Units:	1 unit per lot	13 unit townhouses

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.70 FAR (1493.0m ²)	0.70 FAR (1492.0m ²)	none permitted
Lot Coverage:	40% max. (all buildings)	33%	none
Setback – Front Yard (minimum) (Alberta Road):	6.0m	5.34m	0.66m
Setback – Side Yard (minimum) (west setback):	3.0m	2.50m	0.50m
Setback – Side Yard (minimum) (east setback):	3.0m	3.28m	none
Setback – Rear Yard: (minimum) (rear yard)	3.0m	3.46m	none
Height: (maximum)	12.0m	11.05m	none
Lot Size:	30m wide / 35m deep	46.25m wide / 36.58m deep	none
Off-street Parking Spaces – Resident/Visitor (minimum):	19 resident 3 visitor	26 resident 3 visitor	none
Off-street Parking Spaces – Accessible (minimum):	1	1 (included in visitor parking)	none
Total off-street Parking Spaces (minimum):	22 stalls	29 stalls	none
Amenity Space – Indoor: (minimum)	0	cash-in-lieu provision	none
Amenity Space – Outdoor: (minimum)	78.0 m ²	81.3 m ²	none



No. DP 10-517750

To the Holder: PATRICK COTTER
Property Address: 9560 AND 9580 ALBERTA ROAD
Address: C/O #235 – 11300 NO. 5 ROAD
 RICHMOND, BC V6X 3M4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the required front yard setback from 6.0 m to 5.34 m to allow the installation of support posts for entry canopies to the units fronting Alberta Road.
 - b) Reduce the required side yard setback along the western side from 3.0 m to 2.50 m to allow an encroachment of the west unit in Building 4.
 - c) Permit resident parking to allow a tandem parking configuration for 13 units (26 stalls).
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #9 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$42,500.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

Development Permit

No. DP 10-517750

To the Holder: PATRICK COTTER
Property Address: 9560 AND 9580 ALBERTA ROAD
Address: C/O #235 – 11300 NO. 5 ROAD
 RICHMOND, BC V6X 3M4

7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

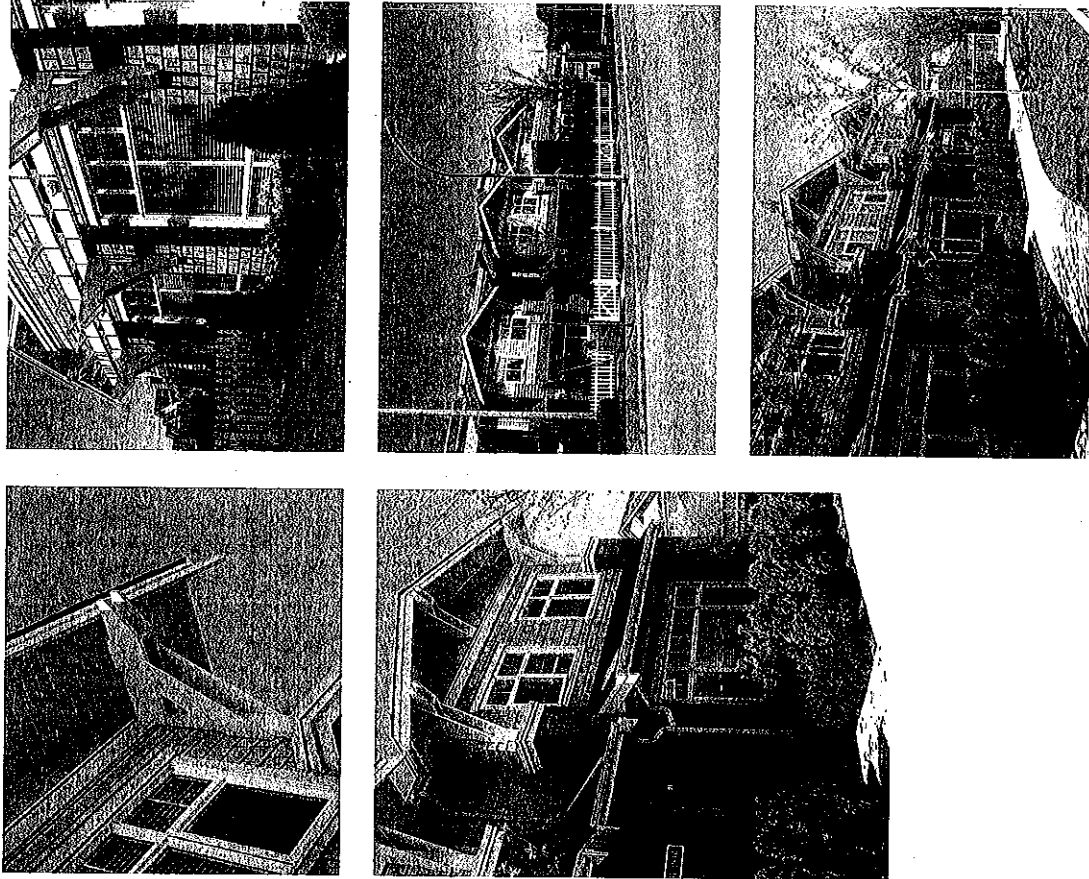
AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR

ARCHITECTURAL PRECEDENTS



EXTERIOR FINISH SCHEDULE

NOTES:

- 1 ASPHALT ROOFING SHINGLES
IKO, COLOUR DRIFTWOOD
- 2 PAINTED NON-COMBUSTIBLE CEMENTITIOUS
HARDIE PANEL (JAMES HARDIE - DUNBAR GREY)
- 3 PAINTED NON-COMBUSTIBLE CEMENTITIOUS
HARDIE PANEL (JAMES HARDIE - EDWARDIAN PEWTER)
- 4 PAINTED NON-COMBUSTIBLE CEMENTITIOUS
HARDIE PANEL (JAMES HARDIE - HADDINGTON GREY)

NOTE: RECESS PANELS AS IDENTIFIED ON ELEVATIONS BY THICKNESS OF HARDI-PANEL. PROVIDE VERTICAL FRY REGLETS AT ALL VERTICAL BUTT-JOINTS AND FRY HORIZONTAL "Z" FLASHINGS AT HORIZONTAL BUTT-JOINTS AS PER PATTERNS SHOWN IN ELEVATIONS.

- 5 PAINTED FASCIA (1X4 ON 2X10) (BM : OC-60))
- 6 PREFINISHED METAL GUTTER ON
PAINTED 2" X 10" WOOD FASCIA (DK. BROWN)
- 7 DOUBLE GLAZED VINYL FRAMED
WINDOWS WITH WOOD TRIM (WHITE)
- 8 PREFINISHED VINYL PATIO DOORS
WITH PAINTED WOOD TRIM (WHITE)
- 9 2" X 8" WOOD TRIM WITH FLASHING OVER
- 10 DECK GUARDRAIL C/W PREFINISHED
ALUMINUM PICKET RAILING (BM 2130-20 DEEP CAVIAR)
- 11 DECORATIVE CRAFTSMAN STYLE INSPIRED
BRACKET
- 12 PAINTED WOOD HORIZONTAL BAND
- 13 CONCRETE BASE
- 14 PAINTED GARAGE DOOR
- 15 MAIN ENTRY DOOR (BM HC-61 BURGUNDY)
- 16 BRICK IXL COLOR BROWN BLEND GRAINTEX
- 17 TRELLIS

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL

DUPONT ARCHITECTS LTD
 5566 - 5560 ALBERTA ROAD
 RICHMOND, BRITISH COLUMBIA
 V6X 2A5

Patrick Costry
 ARCHITECT

DATE: TIEN SHER

DUPONT ARCHITECTS LTD, 5566 - 5560 ALBERTA ROAD, RICHMOND, B.C. V6X 2A5
 TEL: (604) 271-1111 FAX: (604) 271-1112
 5566 - 5560 ALBERTA ROAD, RICHMOND, B.C. V6X 2A5
 TEL: (604) 271-1111 FAX: (604) 271-1112


DATE: 1/1/2000
 PROJECT: 10517750
 SHEET: 10517750-01

EXTERIOR FINISH
 SCHEDULE

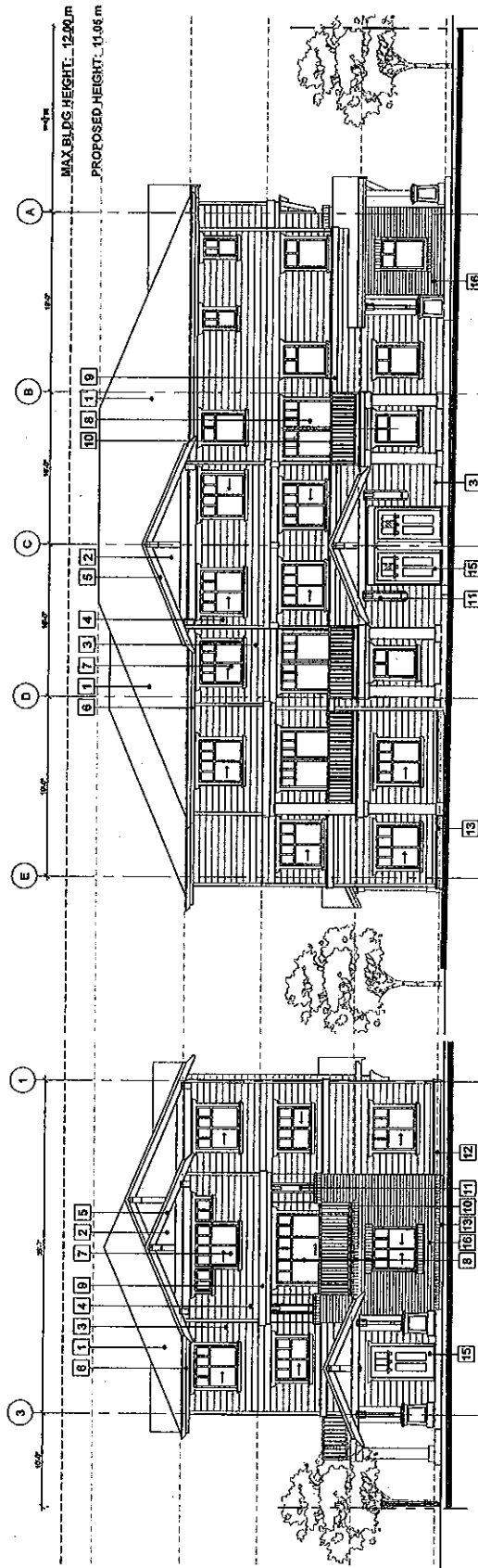
NO. A-300 C

- NOTES:
- EXTENSIVE MATERIAL SCHEDULE
 - REFER TO ARCHITECTURAL PLAN SET FOR FINISHES
 - REFER TO ARCHITECTURAL PLAN SET FOR WINDOW SIZES
 - REFER TO ARCHITECTURAL PLAN SET FOR DOOR SIZES
 - REFER TO ARCHITECTURAL PLAN SET FOR STAIR CASES
 - REFER TO ARCHITECTURAL PLAN SET FOR ROOFING
 - REFER TO ARCHITECTURAL PLAN SET FOR CLADDING
 - REFER TO ARCHITECTURAL PLAN SET FOR TERRACING
 - REFER TO ARCHITECTURAL PLAN SET FOR LIGHTING
 - REFER TO ARCHITECTURAL PLAN SET FOR MECHANICAL
 - REFER TO ARCHITECTURAL PLAN SET FOR ELECTRICAL
 - REFER TO ARCHITECTURAL PLAN SET FOR PLUMBING
 - REFER TO ARCHITECTURAL PLAN SET FOR HEATING
 - REFER TO ARCHITECTURAL PLAN SET FOR VENTILATION
 - REFER TO ARCHITECTURAL PLAN SET FOR INSULATION
 - REFER TO ARCHITECTURAL PLAN SET FOR SOUND ATTENUATION
 - REFER TO ARCHITECTURAL PLAN SET FOR SECURITY
 - REFER TO ARCHITECTURAL PLAN SET FOR ACCESSIBILITY
 - REFER TO ARCHITECTURAL PLAN SET FOR EROSION CONTROL
 - REFER TO ARCHITECTURAL PLAN SET FOR ENVIRONMENTAL IMPACT
 - REFER TO ARCHITECTURAL PLAN SET FOR HISTORIC PRESERVATION
 - REFER TO ARCHITECTURAL PLAN SET FOR CULTURAL HERITAGE
 - REFER TO ARCHITECTURAL PLAN SET FOR BIODIVERSITY
 - REFER TO ARCHITECTURAL PLAN SET FOR CLIMATE RESILIENCE

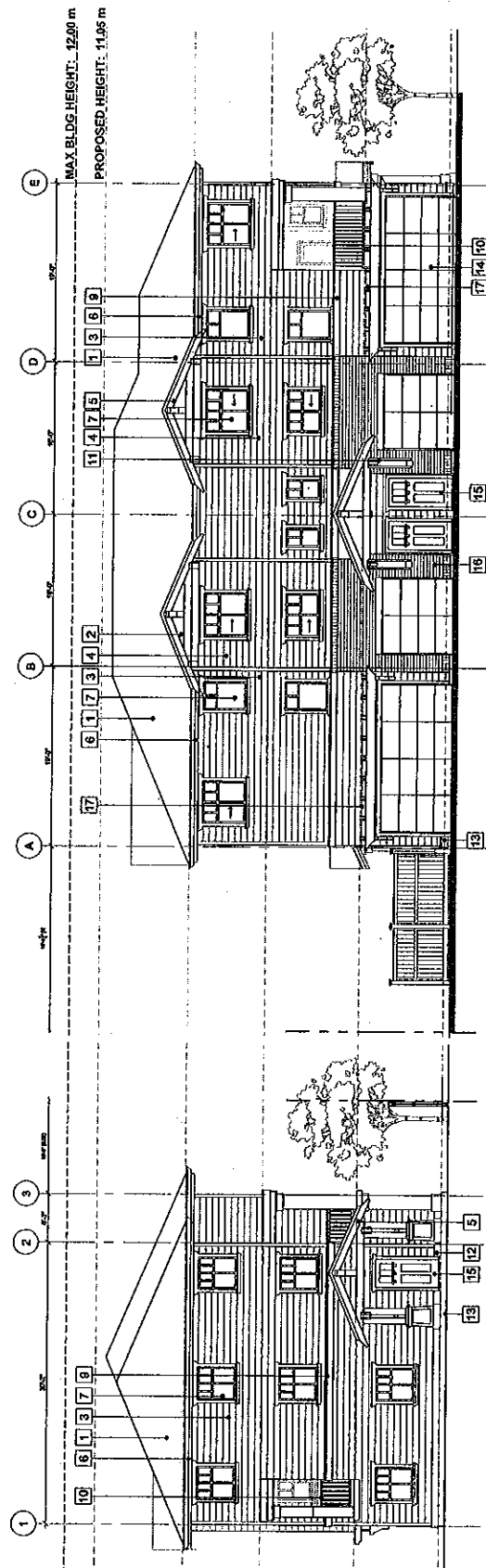
NO.	DESCRIPTION	QTY	UNIT	REMARKS	
1	WOOD CLADDING				
2	WINDOW GLASS				
3	DOOR GLASS				
4	ROOFING MATERIAL				
5	TERRACING GRAVEL				
6	LIGHTING FIXTURES				
7	M.E. EQUIPMENT				
8	ELECTRICAL WIRING				
9	PLUMBING FIXTURES				
10	HEATING SYSTEM				
11	INSULATION				
12	SOUND BARRIER				
13	SECURITY SYSTEM				
14	ACCESSIBILITY EQUIPMENT				
15	EROSION CONTROL				
16	ENVIRONMENTAL IMPACT				
17	HISTORIC PRESERVATION				
18	CULTURAL HERITAGE				
19	BIODIVERSITY				
20	CLIMATE RESILIENCE				


Parker Center
 6580 ALBERTA ROAD
 RICHMOND, BRITISH COLUMBIA
 CANADA V6X 4E8
 TEL: (604) 277-5500
 FAX: (604) 277-5501
 WWW.PARKERCENTER.COM

ARCHITECT: TREN SHER
 PROJECT NO: 10517750
 SHEET NO: [] OF []
 DATE: [] / [] / []
 SCALE: AS SHOWN
 DRAWN BY: []
 CHECKED BY: []
 PROJECT LOCATION: BUILDING 1 ELEVATIONS



2 EAST ELEVATION
1:300

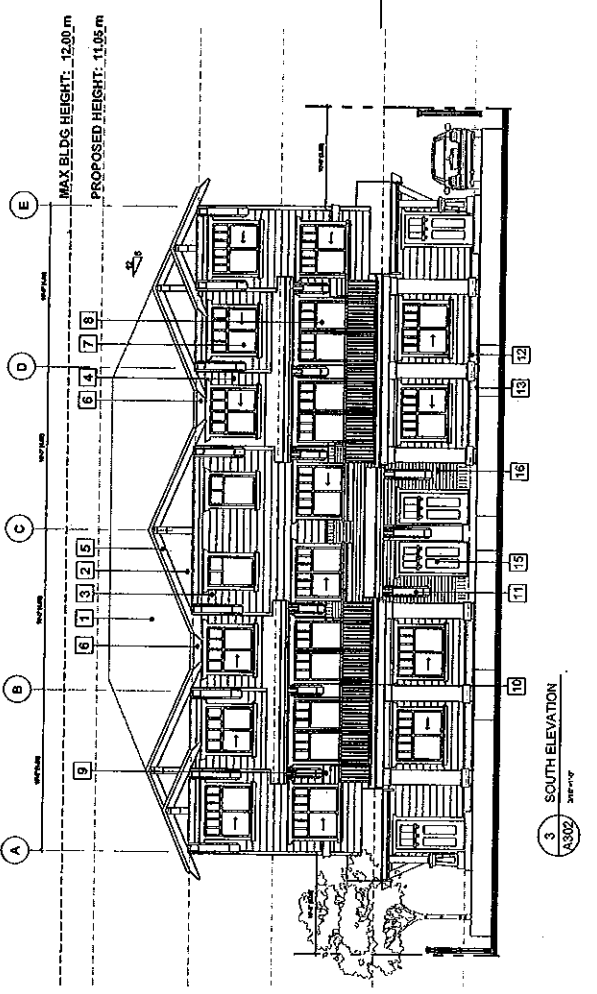
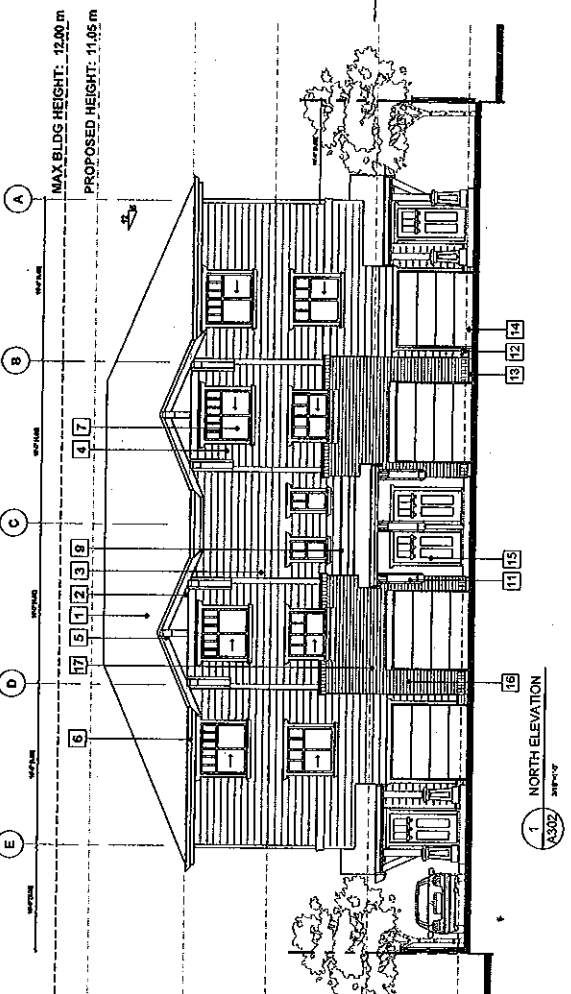
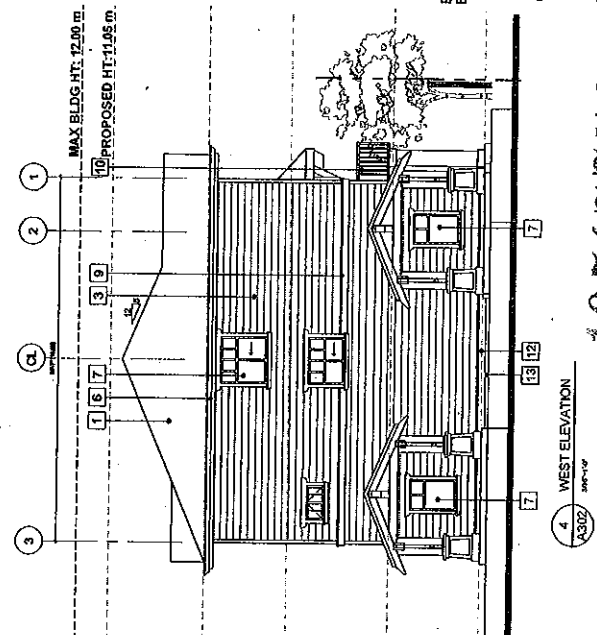
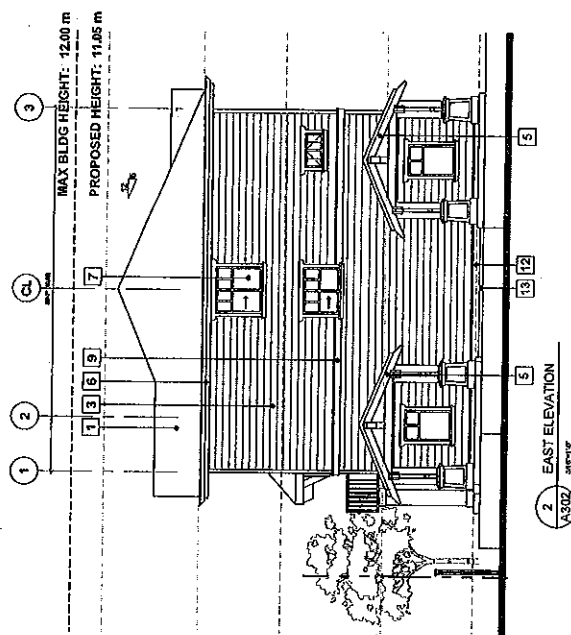


4 WEST ELEVATION
1:300

3 SOUTH ELEVATION
1:300

10517750 Pg. 3

- NOTES:
- 1. EXTERIOR FINISH SCHEDULE
 - 2. MATERIAL SCHEDULE
 - 3. FINISH SCHEDULE
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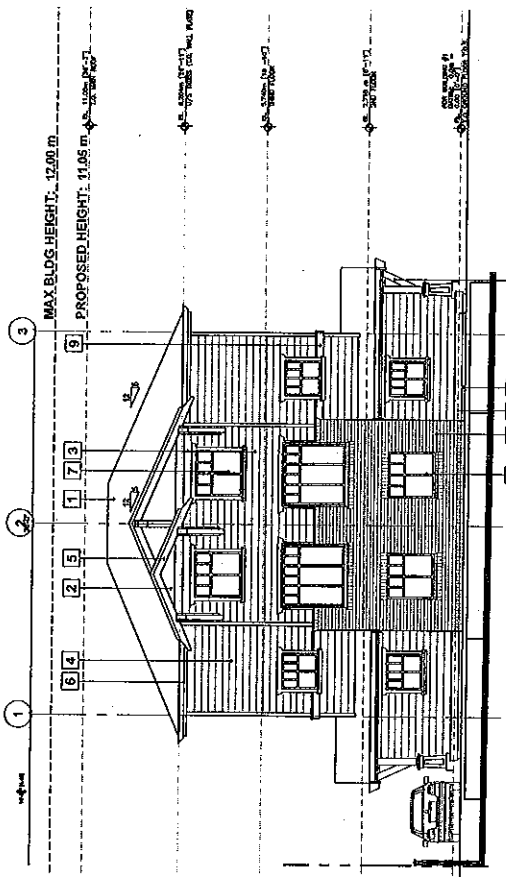
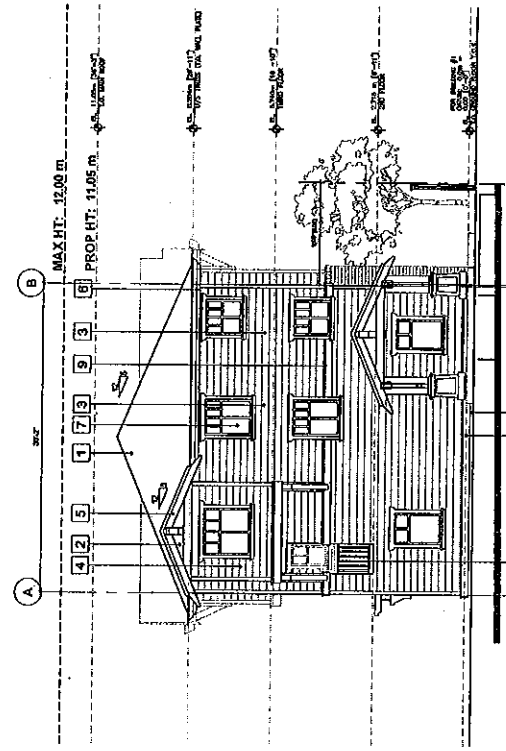
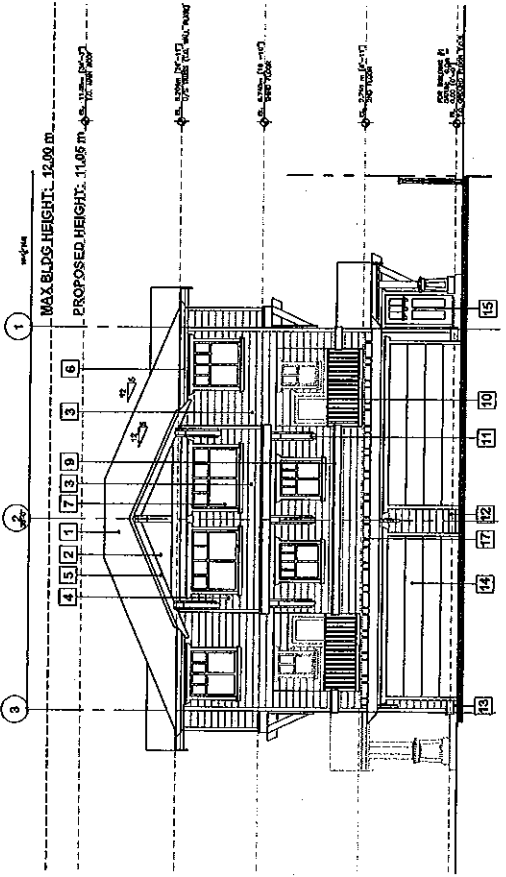
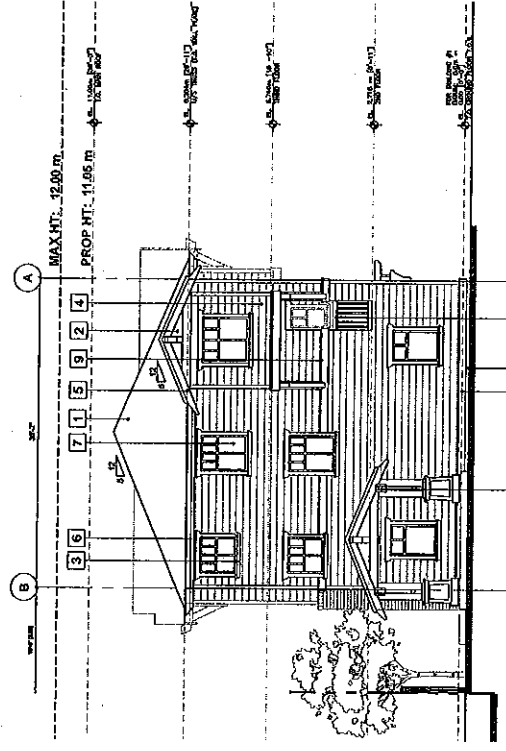
PROJECT: 10517750
 9560 - 9890 ALBERTA ROAD
 RICHMOND, BRITISH COLUMBIA

Client: TIEN SHER
 Date: MAY 18, 2010
 Drawing No: A-302
 Scale: 1/8" = 1'-0"

BUILDING 2
 ELEVATIONS
 MAY 18, 2010
 A-302
 C

10517750 Pg. 4

- NOTES:
1. REFER TO THE GENERAL NOTES FOR THE PROJECT.
 2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.
 3. FINISH GRADE IS INDICATED BY A DASHED LINE.
 4. ELEVATIONS ARE TO BE CONSTRUCTION GRADE UNLESS OTHERWISE NOTED.
 5. MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE SCHEDULE.
 6. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS OF THE EXISTING STRUCTURE.
 7. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS OF THE EXISTING STRUCTURE.
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 25. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS OF THE EXISTING STRUCTURE.





 Parrick Center

 5850 - 5850 ALBERTA ROAD

 RICHMOND, BRITISH COLUMBIA

OWNER:

 TEN SHER

NO.	DATE	DESCRIPTION
1	3/18/17	ISSUED FOR PERMIT
2	3/18/17	ISSUED FOR PERMIT
3	3/18/17	ISSUED FOR PERMIT
4	3/18/17	ISSUED FOR PERMIT
5	3/18/17	ISSUED FOR PERMIT
6	3/18/17	ISSUED FOR PERMIT
7	3/18/17	ISSUED FOR PERMIT
8	3/18/17	ISSUED FOR PERMIT
9	3/18/17	ISSUED FOR PERMIT
10	3/18/17	ISSUED FOR PERMIT
11	3/18/17	ISSUED FOR PERMIT
12	3/18/17	ISSUED FOR PERMIT
13	3/18/17	ISSUED FOR PERMIT
14	3/18/17	ISSUED FOR PERMIT
15	3/18/17	ISSUED FOR PERMIT

BUILDING 3 ELEVATIONS

PROJECT NO.

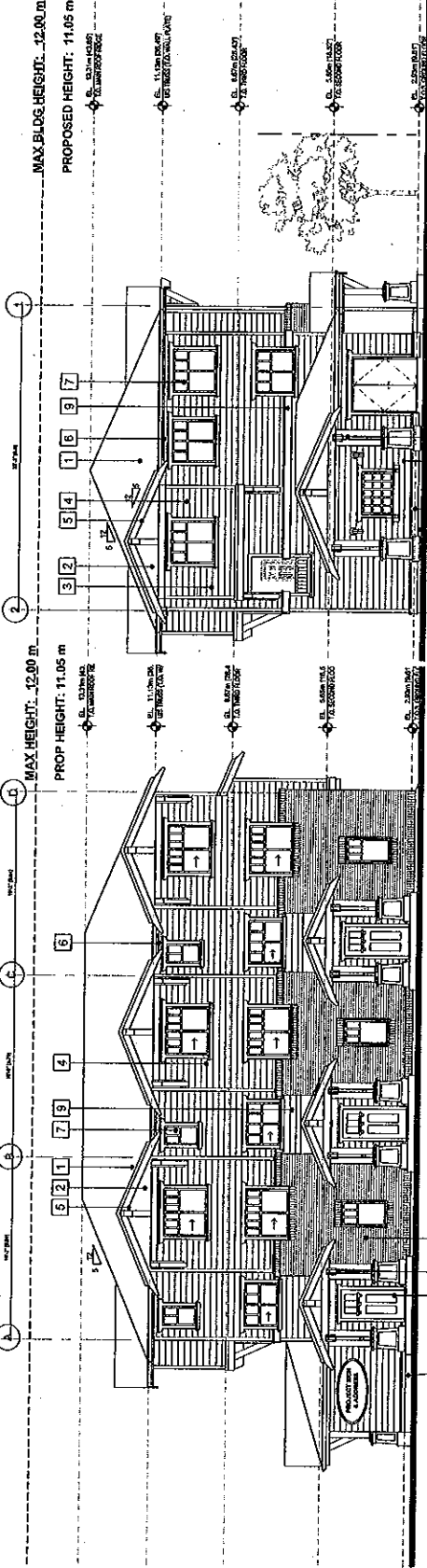
 A-303

 C

DP 10517750

PR-5

- NOTES:**
- 1. EXTENSION DETAILS SCHEDULE
 - 2. APPROVED ARCHITECTURAL
 - 3. APPROVED ELECTRICAL
 - 4. APPROVED MECHANICAL
 - 5. APPROVED PLUMBING
 - 6. APPROVED ROOFING
 - 7. APPROVED FINISHES
 - 8. APPROVED PAINTS
 - 9. APPROVED GLAZING
 - 10. APPROVED FLOORING
 - 11. APPROVED WALLS
 - 12. APPROVED CEILING
 - 13. APPROVED STAIRS
 - 14. APPROVED RAILINGS
 - 15. APPROVED LIGHTING
 - 16. APPROVED VENTILATION
 - 17. APPROVED INSULATION
 - 18. APPROVED SOUNDING
 - 19. APPROVED SECURITY
 - 20. APPROVED ACCESSIBILITY
 - 21. APPROVED SAFETY
 - 22. APPROVED FIRE
 - 23. APPROVED EARTHQUAKE
 - 24. APPROVED WIND
 - 25. APPROVED HAIL
 - 26. APPROVED HURricane
 - 27. APPROVED TORNADO
 - 28. APPROVED COLLAPSE
 - 29. APPROVED OVERLOAD
 - 30. APPROVED VIBRATION
 - 31. APPROVED SETTLEMENT
 - 32. APPROVED SLIDING
 - 33. APPROVED UPLIFT
 - 34. APPROVED PULL-OUT
 - 35. APPROVED CONNECTION
 - 36. APPROVED DETAILING
 - 37. APPROVED CONSTRUCTION
 - 38. APPROVED MAINTENANCE
 - 39. APPROVED REPAIRS
 - 40. APPROVED REPLACEMENT
 - 41. APPROVED DEMOLITION
 - 42. APPROVED DISPOSAL
 - 43. APPROVED RECYCLING
 - 44. APPROVED SUSTAINABILITY
 - 45. APPROVED GREEN
 - 46. APPROVED LEED
 - 47. APPROVED WELL-BEING
 - 48. APPROVED PRODUCTIVITY
 - 49. APPROVED QUALITY
 - 50. APPROVED SAFETY



1 NORTH ELEVATION
A304

2 EAST ELEVATION
A304

PROJECT:
5860 - 5860 ALBERTA ROAD
RICHMOND, BRITISH COLUMBIA

OWNER:
TEN SHER

ARCHITECT:
PATRICK COLBY

DATE:
2024.07.15

SCALE:
1/8" = 1'-0"

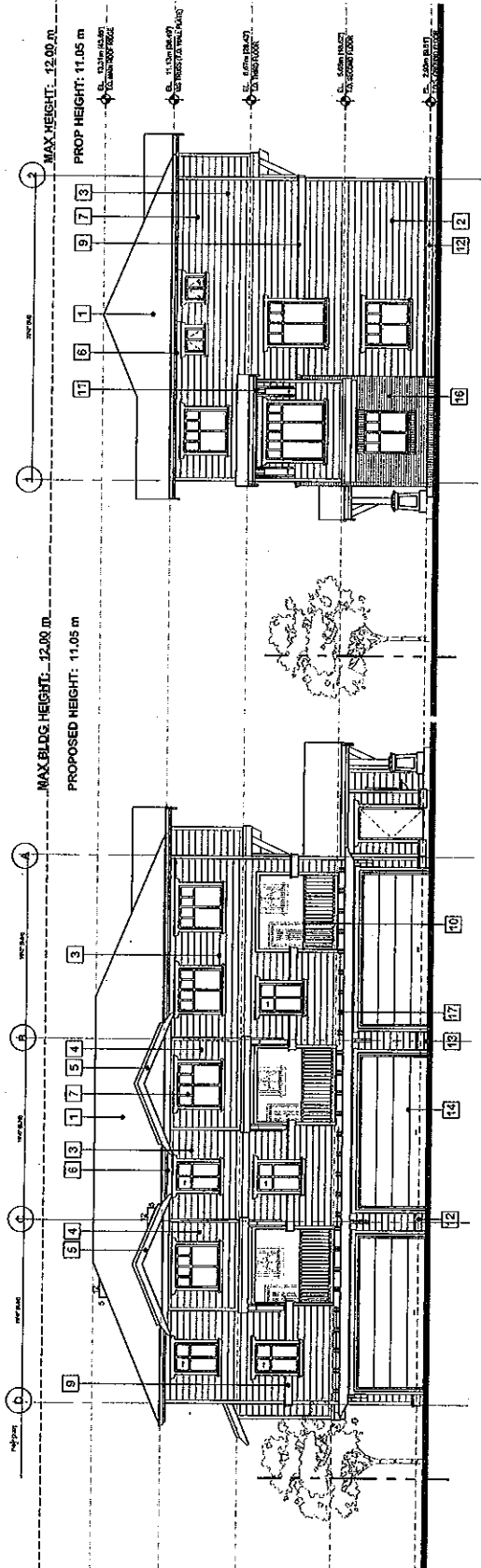
PROJECT NO.:
A-304

DATE:
2024.07.15

BY:
[Signature]

CHECKED BY:
[Signature]

APPROVED BY:
[Signature]



3 SOUTH ELEVATION
A304

4 WEST ELEVATION
A304

PROJECT NO.:
A-304

DATE:
2024.07.15

PROJECT NO.:
10517750

PROJECT NO.:
A-304

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PROJECT NO.:
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Page 6

DMG ARCHITECTS, INC. 1000 SHEARER AVENUE, SUITE 1000
 RICHMOND, BC V6X 3E8
 TEL: (604) 273-8888
 FAX: (604) 273-8889

FOR: TREN SHER CONSTRUCTION LTD.
 PATRICK COTTER ARCHITECT, INC.

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CONCRETE				
2	STEEL				
3	WOOD				
4	GLASS				
5	PAINT				
6	PLASTER				
7	ROOFING				
8	MECHANICAL				
9	ELECTRICAL				
10	LANDSCAPE				
11	FINISHES				
12	FIXTURES				
13	FURNITURE				
14	APPLIANCES				
15	OTHER				
16	LABOR				
17	PERMITS				
18	CONTINGENCY				
19	TOTAL				



225. Millard & Waverley, Ltd.
 1000 SHEARER AVENUE, SUITE 1000
 RICHMOND, BC V6X 3E8
 TEL: (604) 273-8888
 FAX: (604) 273-8889

PROJECT: Proposed 13 Unit
 Townhouse Project
 9580 - 9580 Alberta Road
 Richmond, BC

DRAWING TITLE: LANDSCAPE
 PLAN

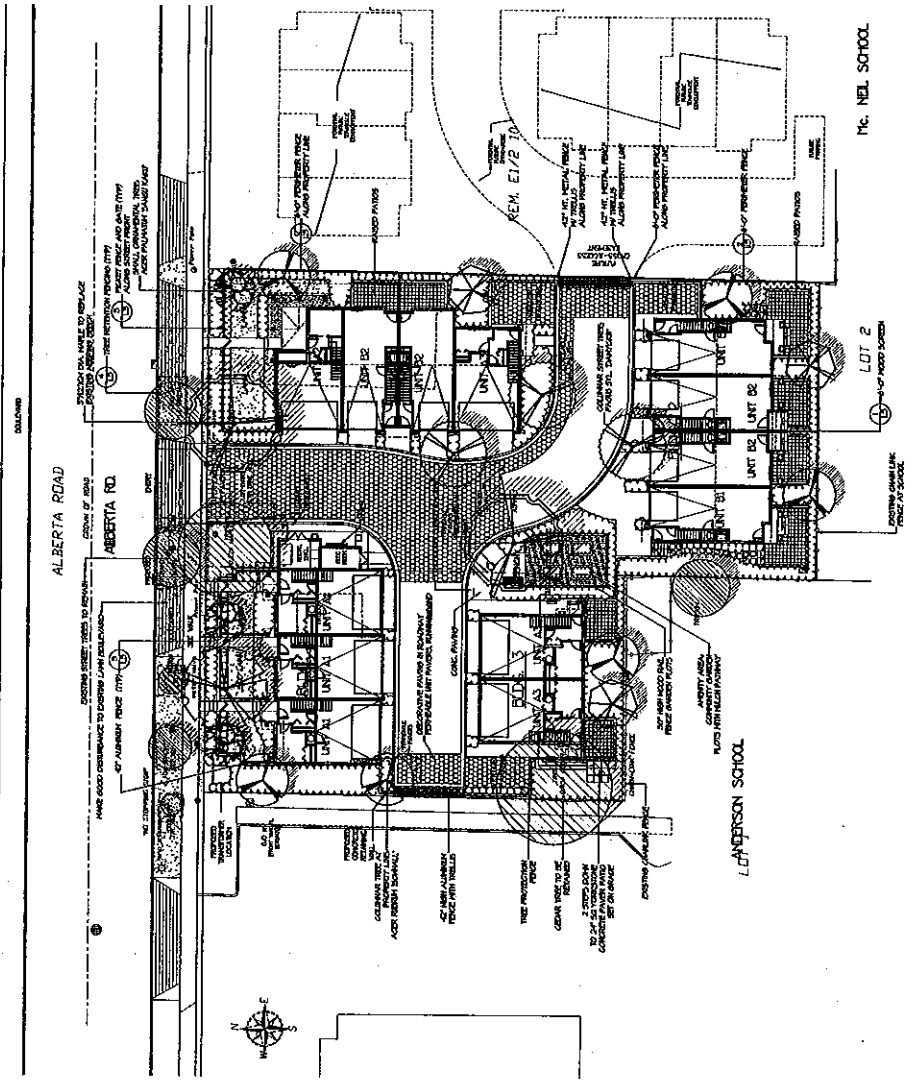
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PROJECT NO: 23	CHECKED BY: [Name]
DATE: 07/07	APPROVED BY: [Name]
PROJECT NUMBER: 06-124	
SCALE: 3.8	

PLANT SCHEDULE

PLANT CITY	BOTANICAL NAME	DMG AND NUMBER OF PLANTS	REQUIREMENTS
1	ACER PLATANUS VARIO BARK	2000 FT. 2000	
2	ACER NEGUNDO	2000 FT. 2000	
3	ACER RUBRA TORONTO GURTI	2000 FT. 2000	
4	ACER RUBRA TORONTO GURTI	2000 FT. 2000	
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49	ACER RUBRA TORONTO GURTI	2000 FT. 2000	
50	ACER RUBRA TORONTO GURTI	2000 FT. 2000	

LIST OF FINISHES
 1. FLOORING: POLISHED CONCRETE
 2. WALLS: PLYMOUTH GYPSUM BOARD
 3. CEILING: POP
 4. PAINT: WHITE
 5. DOORS: 1 1/2" SOLID CORE
 6. WINDOWS: 1 1/2" ALUMINUM
 7. CABINETS: 1 1/2" SOLID CORE
 8. COUNTERTOPS: QUARTZ
 9. STAIRS: POLISHED CONCRETE
 10. BALUSTRADES: STAINLESS STEEL
 11. RAILINGS: WOOD
 12. FENCES: ALUMINUM
 13. DRIVEWAYS: POLISHED CONCRETE
 14. PATIOS: POLISHED CONCRETE
 15. DECKING: WOOD
 16. FURNITURE: WOOD
 17. APPLIANCES: STAINLESS STEEL
 18. LIGHTING: RECESSED
 19. FIXTURES: BRASS
 20. TAPES: BRASS
 21. DOOR HANDLES: BRASS
 22. SWITCH PLATES: BRASS
 23. ELECTRICAL BOXES: BRASS
 24. TELEPHONE BOXES: BRASS
 25. AIR CONDITIONING UNITS: BRASS
 26. EXHAUST FANS: BRASS
 27. DOWNSPUTTERS: BRASS
 28. GUTTERS: BRASS
 29. TRAP COVERS: BRASS
 30. TOILET FLUSHERS: BRASS
 31. SINK DRAIN COVERS: BRASS
 32. SHOWER DRAIN COVERS: BRASS
 33. TUB DRAIN COVERS: BRASS
 34. BATH TUB COVERS: BRASS
 35. WASH TUB COVERS: BRASS
 36. SINK COVERS: BRASS
 37. TUB COVERS: BRASS
 38. SHOWER COVERS: BRASS
 39. TUB COVERS: BRASS
 40. SHOWER COVERS: BRASS

PP 10517750
 Pg. 7



Mc NEL SCHOOL
 LOT 2
 06-124

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FOR:
FIN SHER CONSTRUCTION LTD.
PATRICK COTTER ARCHITECT, INC.

NO.	DATE	REVISION DESCRIPTION	BY
1	01/15/14	ISSUE FOR PERMITS	DMG
2	02/10/14	REVISED PERMITS	DMG
3	03/10/14	REVISED PERMITS	DMG
4	04/10/14	REVISED PERMITS	DMG
5	05/10/14	REVISED PERMITS	DMG
6	06/10/14	REVISED PERMITS	DMG
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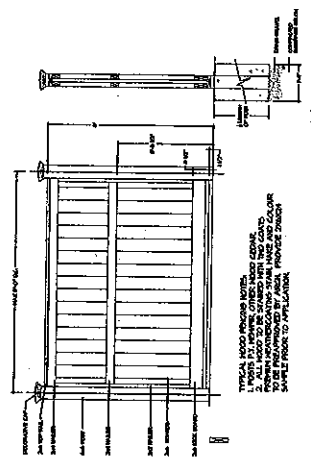
DMG
 Landscape Architecture
 1111 W. 10th Street, Suite 100
 Vancouver, BC V6H 2Y6
 Tel: 604-681-1111
 Fax: 604-681-1112
 www.dmg.ca

PROJECT:
**Proposed 13 Unit
 Townhouse Project**
 6550 - 6550 Alberta Road
 Richmond, BC

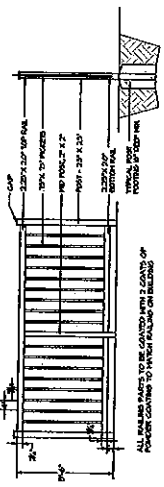
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 DETAILS**

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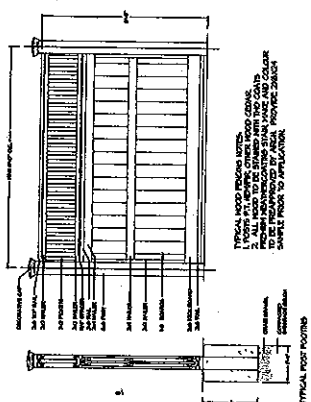
3 GARDEN PLOTS
 SCALE 1/4"=1'-0"
DP 10517750
 Pg. 9



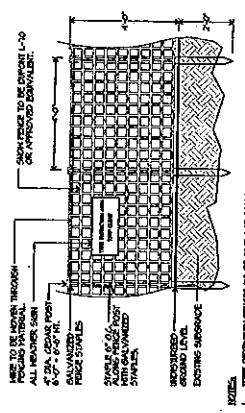
1 WOOD SCREEN AND GATE
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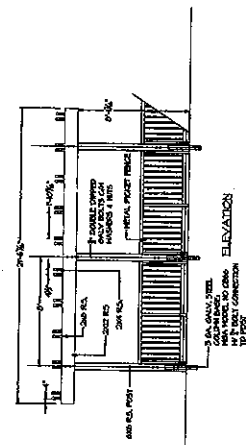
3 42" ALUMINUM FENCE AND GATE
 SCALE 1/2"=1'-0"



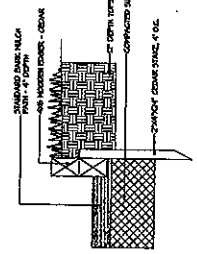
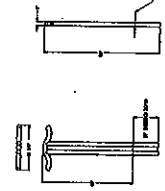
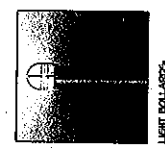
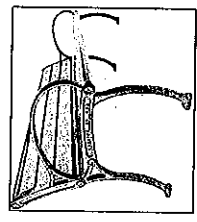
2 PERIMETER FENCE
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4 TREE RETENTION FENCING
 SCALE 1/2"=1'-0"

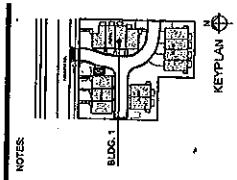


5 TRELLIS AT END OF ROADWAY
 SCALE 1/4"=1'-0"



NOTES:
 1. TREE RETENTION FENCES TO BE IN PLACE PRIOR TO ANY WORK ON SITE.
 2. FENCE TO SURROUND ALL TREE RETENTION ZONES.

STANDARD JUNE WELLS
 48\"/>



NO.	DESCRIPTION	DATE
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81	REVISED PER COMMENTS	05/10/07
82	REVISED PER COMMENTS	05/25/07
83	REVISED PER COMMENTS	06/10/07
84	REVISED PER COMMENTS	06/25/07
85	REVISED PER COMMENTS	07/10/07
86	REVISED PER COMMENTS	07/25/07
87	REVISED PER COMMENTS	08/10/07
88	REVISED PER COMMENTS	08/25/07
89	REVISED PER COMMENTS	09/10/07
90	REVISED PER COMMENTS	09/25/07
91	REVISED PER COMMENTS	10/10/07
92	REVISED PER COMMENTS	10/25/07
93	REVISED PER COMMENTS	11/10/07
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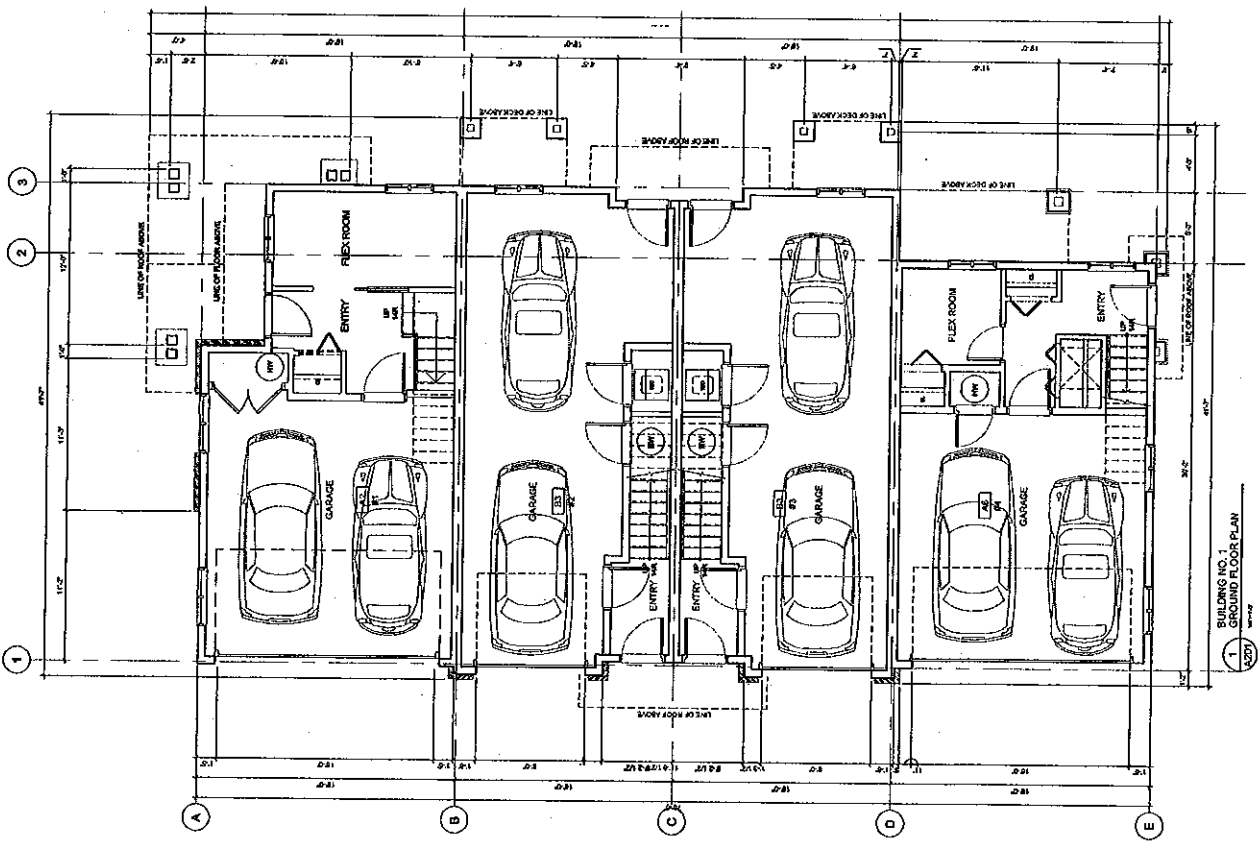
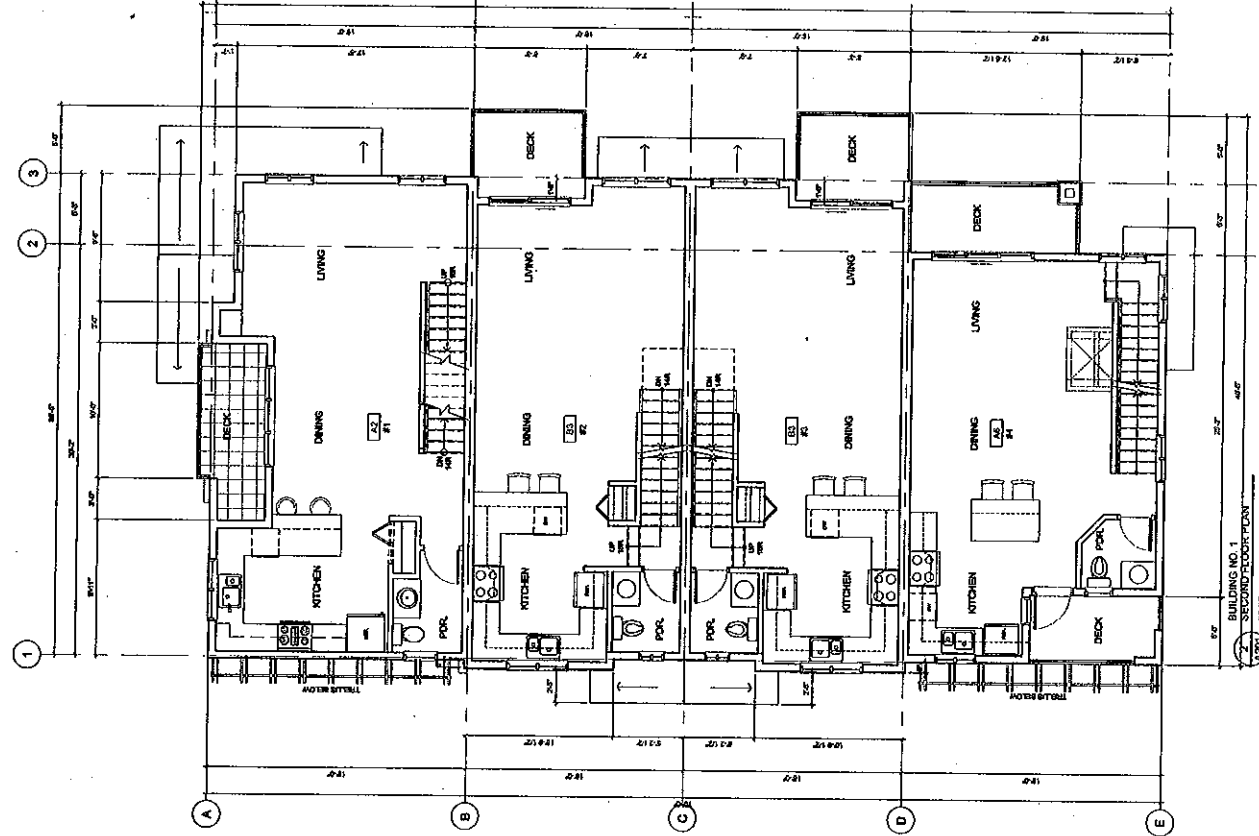
Paisick Contractor
 5550 ALBERTA ROAD
 RICHMOND, BRITISH COLUMBIA
 V6X 3A7
 TEL: 604-271-7447
 FAX: 604-271-7448
 WWW.PAISICK.COM

ARCHITECT
 TEN SHER
 1000 WEST 10TH AVENUE
 VANCOUVER, BC V6H 3G7
 TEL: 604-681-1111
 FAX: 604-681-1112
 WWW.TENSHER.COM

BUILDING NO. 1
 PLANS (Units 1-2-3-4)
 LEVEL 1
 LEVEL 2

SHEET NO. A-201
 OF 201

BUILDING NO. 1
 SECOND FLOOR PLAN



REF. PG. 1
 DP 10517750

NOTES:

1. ALL UNITS TO PROVIDE SMOKE ALARMS ON EACH UNIT TO BE PROVIDED BY THE FUTURE ADAPTABLE OWNER. UNITS TO HAVE FRAMED OPENINGS FOR VENTILATION AND MECHANICAL VENTILATION SHALL BE INSTALLED AT THE TIME OF CONSTRUCTION.

2. BUILDING NO. 1 ADAPTABLE UNIT A6 - THIRD FLOOR PLAN

3. BUILDING NO. 1 ADAPTABLE UNIT A6 - SECOND FLOOR PLAN

4. BUILDING NO. 1 ADAPTABLE UNIT A6 - GROUND FLOOR PLAN

KEY PLAN

PROJECT: CONCEPT

5550 - 5550 ALBERTA ROAD
RICHMOND, BRITISH COLUMBIA

DATE: TEN SHER

ARCHITECT: TEN SHER

1000 WEST 10TH AVENUE
VANCOUVER, BC V6H 3G7
TEL: (604) 273-7777
FAX: (604) 273-7778
WWW.TENSHER.COM

SCALE: 1/8" = 1'-0"

DATE: 10/10/2010

PROJECT NO.: 10517750

UNITS: 1-2-3-4

LEVEL: 3

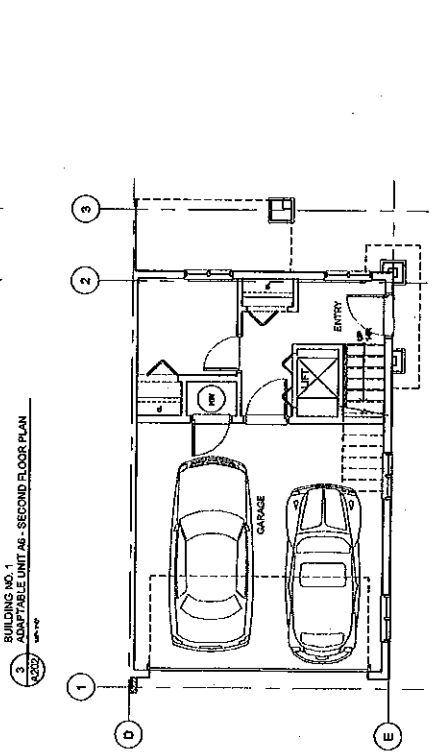
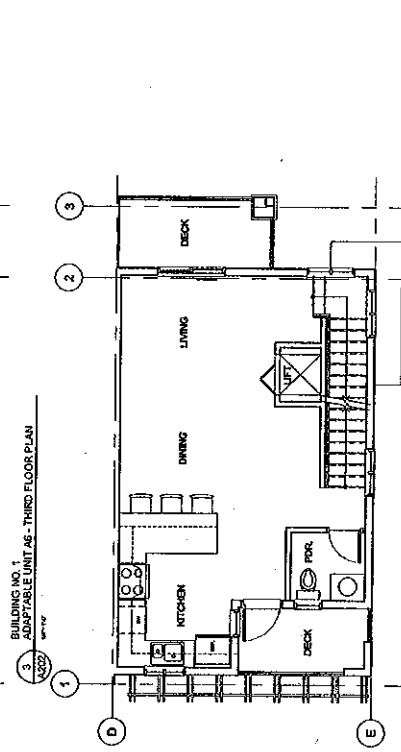
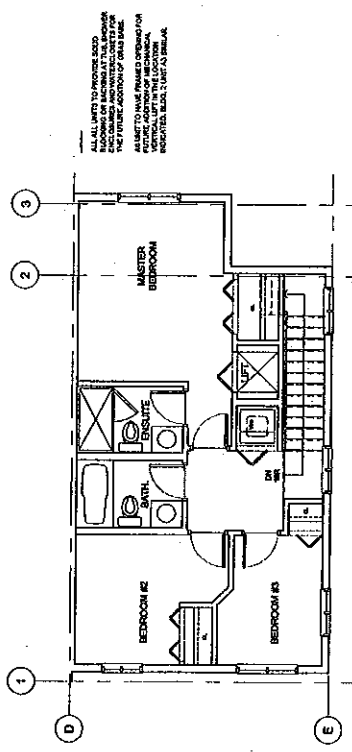
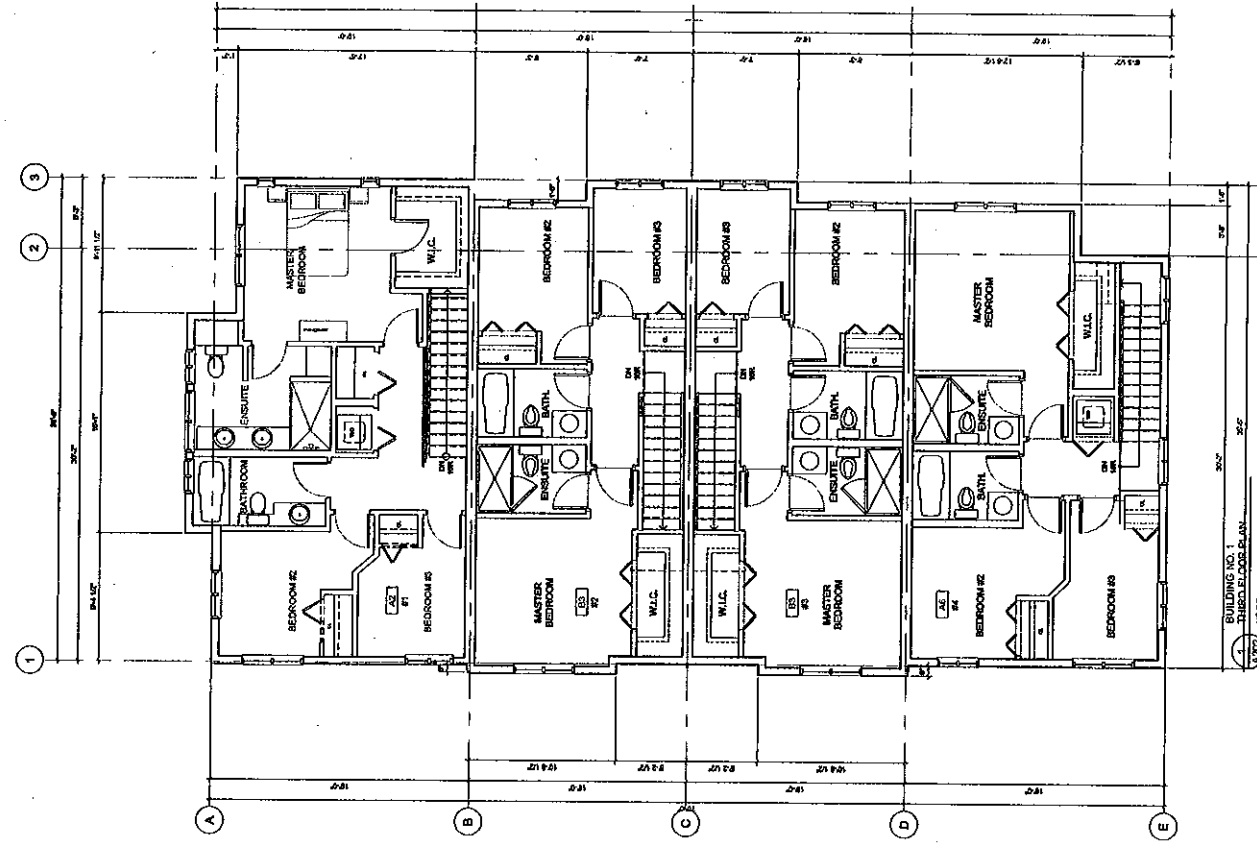
DATE: 10/10/2010

SCALE: 1/8" = 1'-0"

PROJECT NO.: 10517750

UNITS: 1-2-3-4

LEVEL: 3



PROJECT NO.: 10517750

UNITS: 1-2-3-4

LEVEL: 3

DATE: 10/10/2010

SCALE: 1/8" = 1'-0"

REF. P. 1

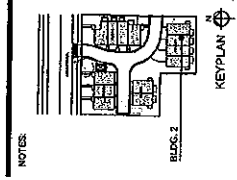
PROJECT NO.: 10517750

UNITS: 1-2-3-4

LEVEL: 3

DATE: 10/10/2010

SCALE: 1/8" = 1'-0"



NO.	DESCRIPTION	DATE
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2	ISSUED FOR PERMIT	2010.05.10
3	ISSUED FOR PERMIT	2010.05.10
4	ISSUED FOR PERMIT	2010.05.10
5	ISSUED FOR PERMIT	2010.05.10
6	ISSUED FOR PERMIT	2010.05.10
7	ISSUED FOR PERMIT	2010.05.10
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9	ISSUED FOR PERMIT	2010.05.10
10	ISSUED FOR PERMIT	2010.05.10

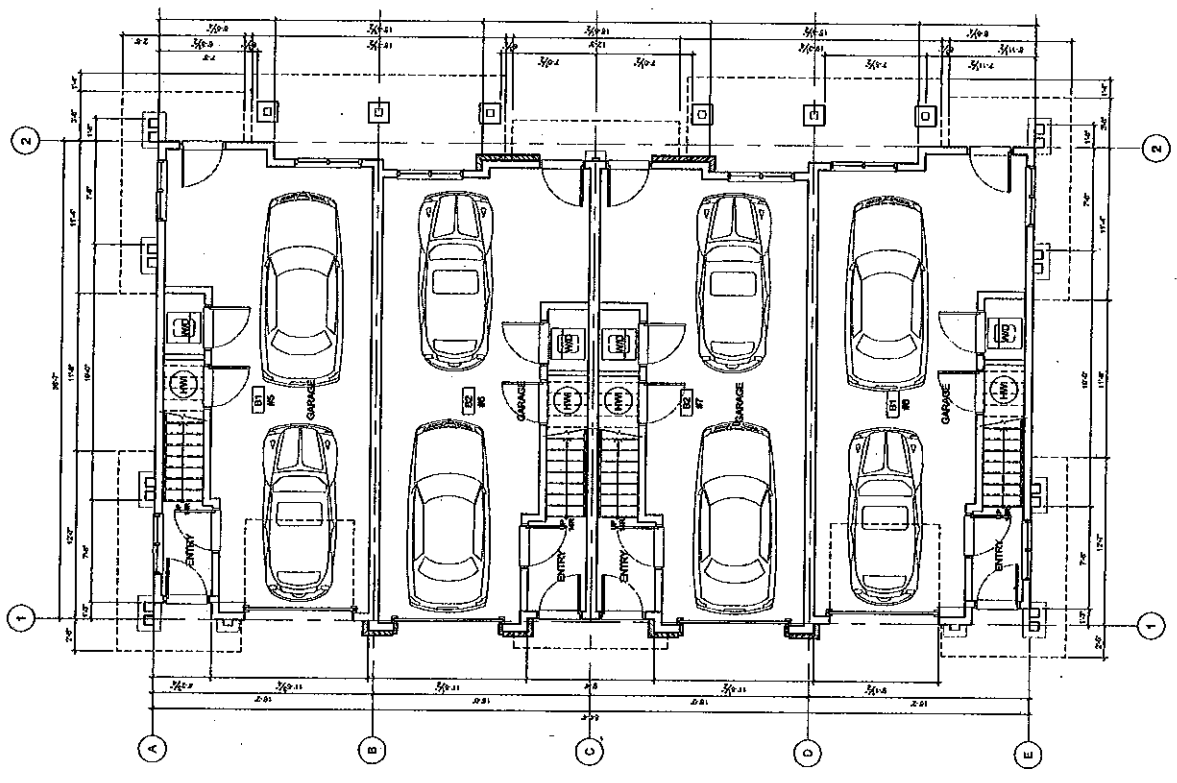
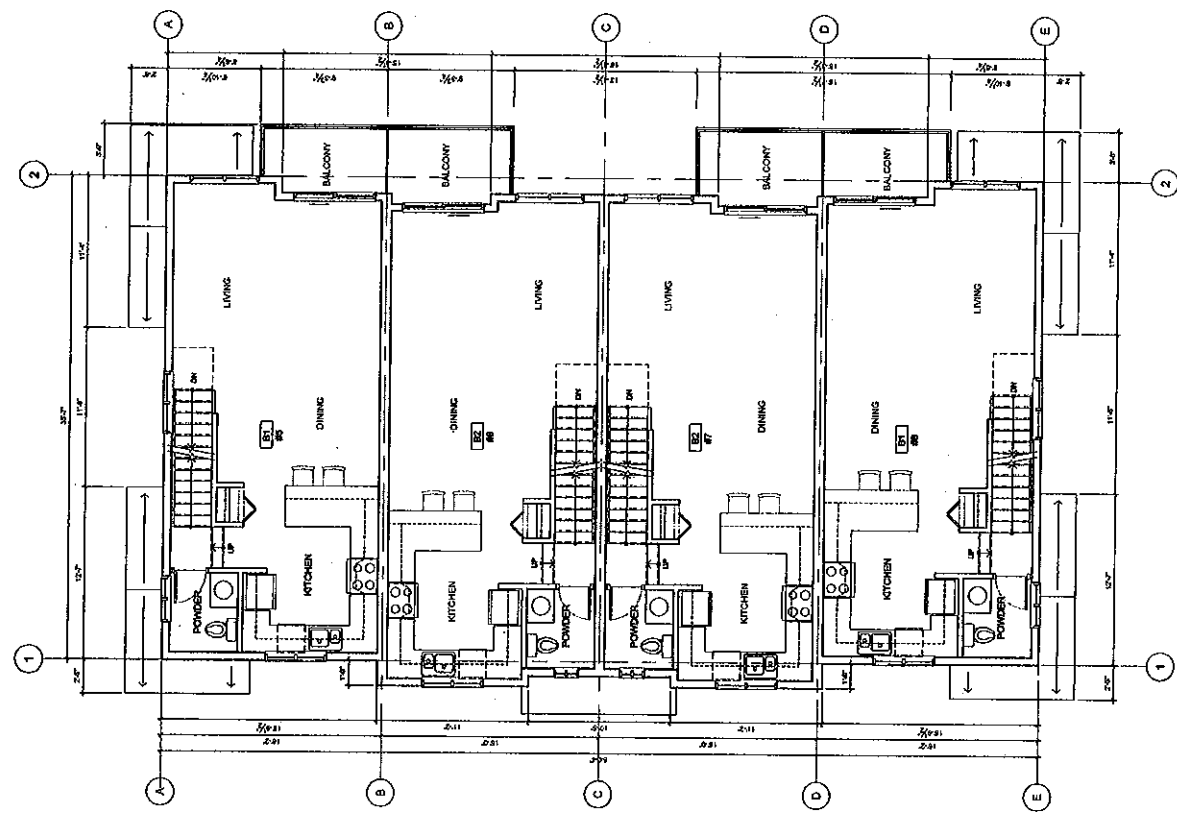
ARCHITECT: TRENKLE ARCHITECTURE
 1000 WEST 10TH AVENUE
 SUITE 100
 CALGARY, ALBERTA T2P 1G7
 TEL: (403) 277-8888
 FAX: (403) 277-8889
 WWW.TRENKLEARCHITECTURE.COM

ARCHITECT: PATRICK CORBER
 6550, 6530 ALBERTA ROAD
 RICHMOND, BRITISH COLUMBIA

OWNER: TIEN SHER
 1000 WEST 10TH AVENUE
 SUITE 100
 CALGARY, ALBERTA T2P 1G7
 TEL: (403) 277-8888
 FAX: (403) 277-8889
 WWW.TRENKLEARCHITECTURE.COM

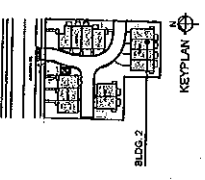
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 SHEET NO.: 2
 OF SHEETS: 3
 DATE: 2010.05.10

SHEET NO.: A-203
 REV.: C




DP10517750

NOTES:



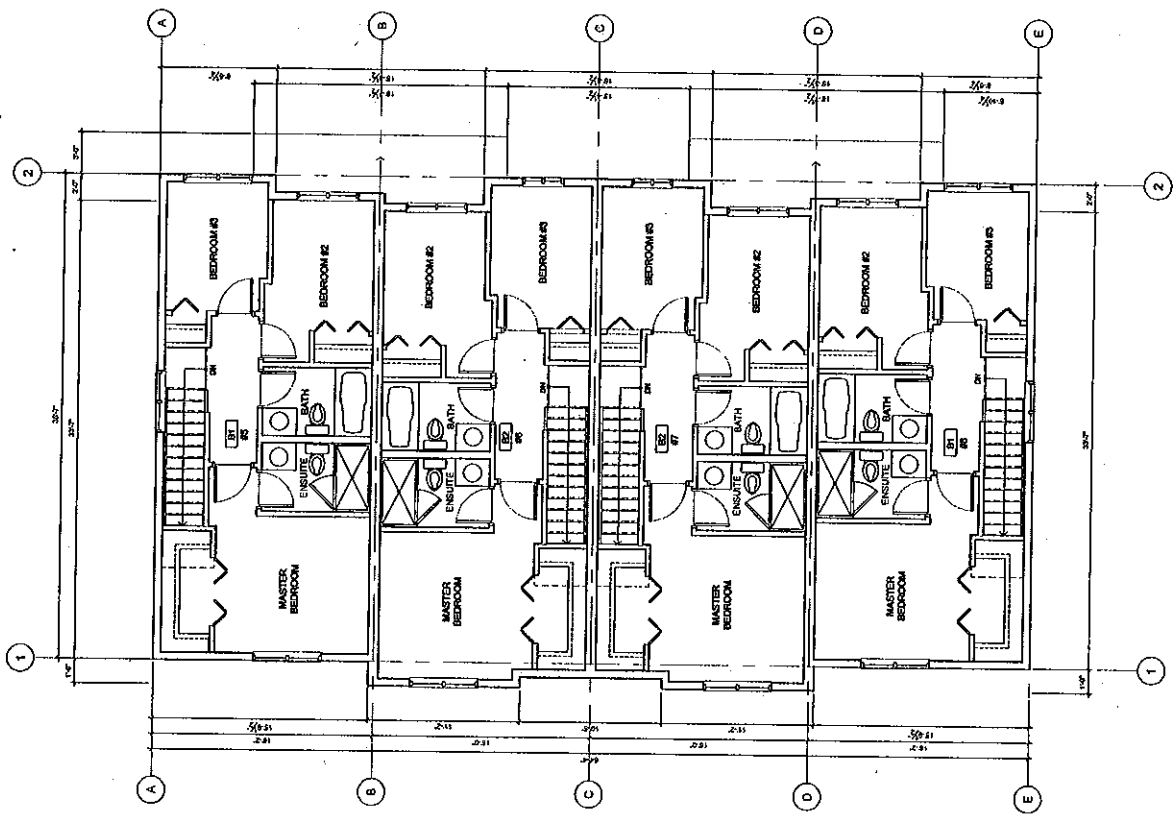
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2	CONCRETE
3	BRICK
4	GLASS
5	WOOD
6	STEEL
7	MECHANICAL
8	ELECTRICAL
9	PLUMBING
10	PAINT
11	FINISHES
12	LANDSCAPE
13	UTILITIES
14	EXTERIOR
15	INTERIOR
16	MECHANICAL
17	ELECTRICAL
18	PLUMBING
19	PAINT
20	FINISHES
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23	EXTERIOR
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190	PAINT
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192	LANDSCAPE
193	UTILITIES
194	EXTERIOR
195	INTERIOR
196	MECHANICAL
197	ELECTRICAL
198	PLUMBING
199	PAINT
200	FINISHES


Patrick Carter
 ARCHITECT
 9560 - 9580 ALBERTA ROAD
 RICHMOND, BRITISH COLUMBIA

TREN SHER
 ARCHITECT
 1111 - 1115
 VANCOUVER, BC

BUILDING NO. 2
 PLANS (Units 5-6-7-8)
 LEVEL 3

A-204 C

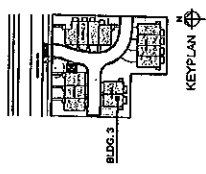


BUILDING NO. 2
 THIRD FLOOR PLAN

DP 10517750

REF. P. 4

NOTES:



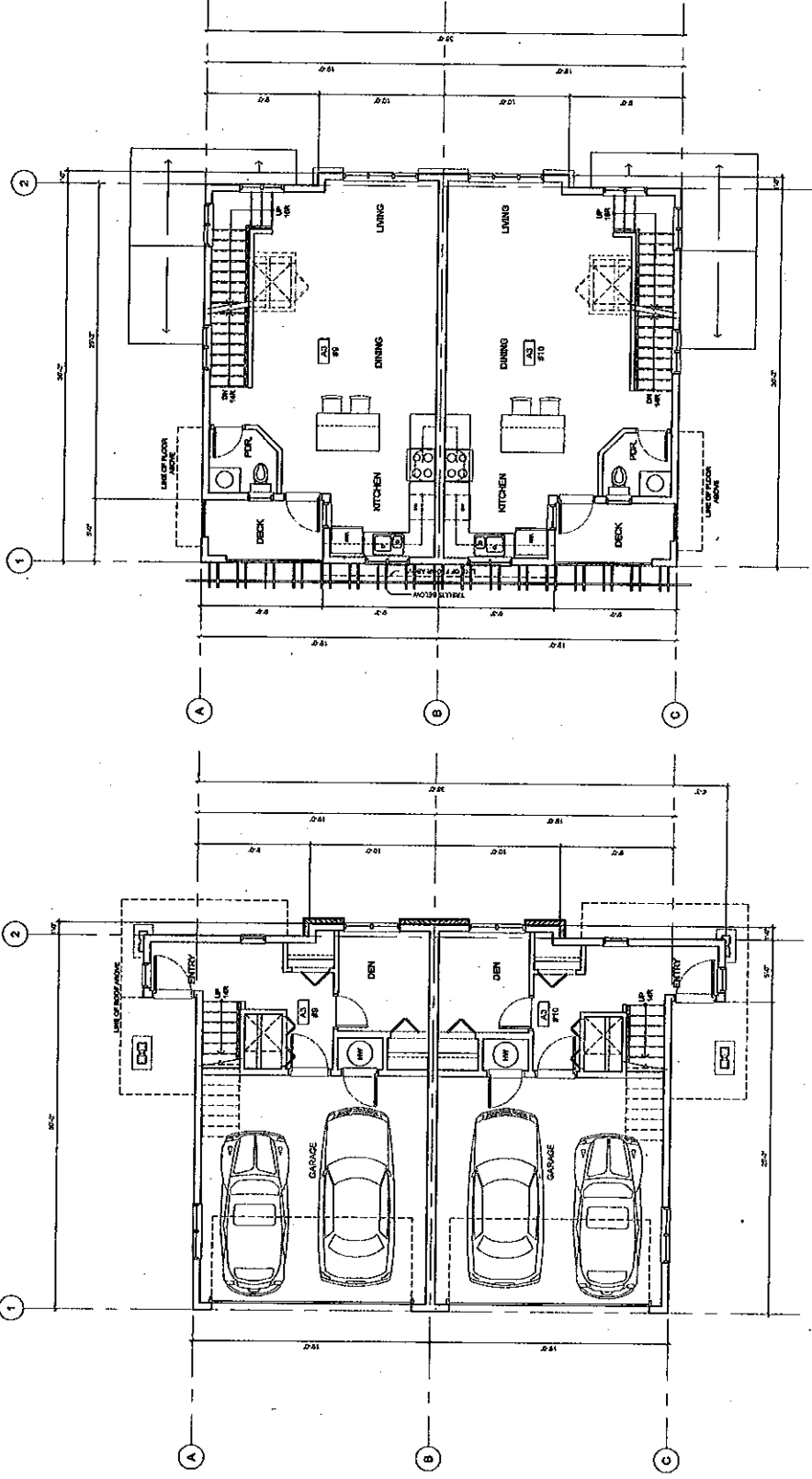
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PROJECT: 10517750
CLIENT: TIER 1 GROUP
NO. 10517750
NO. 10517750
NO. 10517750
NO. 10517750
NO. 10517750
NO. 10517750

PRINCE COBBLE
ARCHITECTS
9650 - 8990 ALBERTA ROAD
RICHMOND, BRITISH COLUMBIA
V6V 2R6
TEL: 604-277-4611
WWW.PRINCECOBBLE.COM

DATE: TERN SHER

BUILDING NO. 3
PLANS (Units 9-10)
LEVEL 1
LEVEL 2



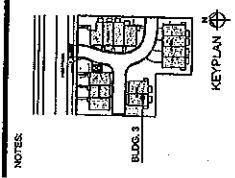
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CLIENT: TIER 1 GROUP
NO. 10517750
NO. 10517750
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NO. 10517750

PRINCE COBBLE
ARCHITECTS
9650 - 8990 ALBERTA ROAD
RICHMOND, BRITISH COLUMBIA
V6V 2R6
TEL: 604-277-4611
WWW.PRINCECOBBLE.COM

DATE: TERN SHER

10517750

10517750



NO.	DESCRIPTION	QUANTITY	UNIT
1	WOOD GIRDERS	2	EA
2	WOOD JOISTS	18	EA
3	WOOD STUDS	18	EA
4	WOOD LATH	18	EA
5	WOOD TRIM	18	EA
6	WOOD FLOORING	18	EA
7	WOOD CEILING	18	EA
8	WOOD PARTITION	18	EA
9	WOOD DOOR	18	EA
10	WOOD WINDOW	18	EA
11	WOOD STAIR	18	EA
12	WOOD HANDRAIL	18	EA
13	WOOD BENCH	18	EA
14	WOOD CLOSET	18	EA
15	WOOD CABINET	18	EA
16	WOOD SINK	18	EA
17	WOOD TUB	18	EA
18	WOOD TOILET	18	EA
19	WOOD BATH	18	EA
20	WOOD MASTER BEDROOM	18	EA
21	WOOD BEDROOM	18	EA
22	WOOD HALL	18	EA
23	WOOD STAIR	18	EA
24	WOOD WALKWAY	18	EA
25	WOOD PORCH	18	EA
26	WOOD DECK	18	EA
27	WOOD BALCONY	18	EA
28	WOOD PATIO	18	EA
29	WOOD PERGOLA	18	EA
30	WOOD GARAGE	18	EA

Patrick Cober
 8650 - 5500 ALBERTA ROAD
 RICHMOND, BRITISH COLUMBIA
 V6X 3G7
 TEL: (604) 271-1111
 FAX: (604) 271-1112
 WWW.PATRICKCOBER.COM

TEN SHER
 1485 WEST 101ST STREET, VANCOUVER, BC V6P 6K1
 TEL: (604) 681-1111
 FAX: (604) 681-1112
 WWW.TENSHER.COM

OWNER: TEN SHER

DATE: 08/11/08

PROJECT: BUILDING NO. 3 PLANS (Units S-10) LEVEL 3

SCALE: 1/8" = 1'-0"

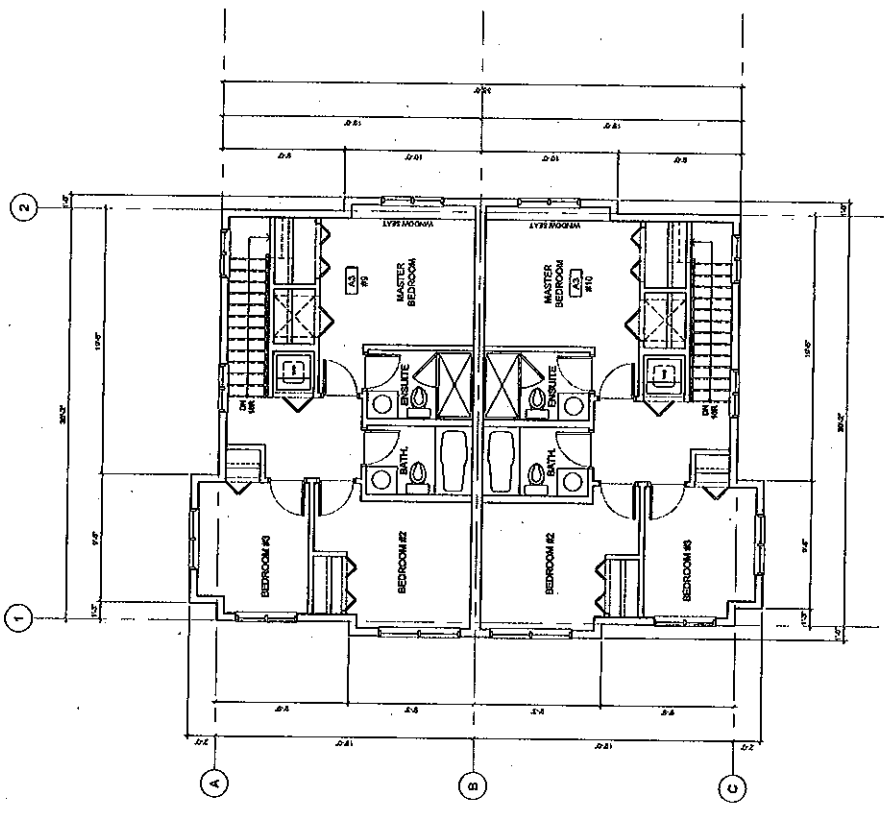
DESIGNED BY: [Signature]

CHECKED BY: [Signature]

DATE: 08/11/08

PROJECT NO. [Blank]

DRAWING NO. [Blank]

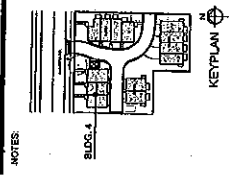


BUILDING NO. 3
 THIRD FLOOR PLAN
 A-206

DP 10517750

OWNER NO.	A-206
REV.	C

REF. PG. C



NO.	DESCRIPTION
1	FOUNDATION
2	CONCRETE
3	BRICK
4	WOOD
5	GLASS
6	STEEL
7	MECHANICAL
8	ELECTRICAL
9	PLUMBING
10	PAINT
11	FINISHES
12	LANDSCAPE
13	UTILITIES
14	ACCESSORIES
15	FIXTURES
16	EQUIPMENT
17	CONTROLS
18	OPERATIONS
19	MAINTENANCE
20	REPAIRS
21	RENOVATIONS
22	ALTERATIONS
23	ADDITIONS
24	DELETIONS
25	REMOVALS
26	DEMOLITION
27	CONSTRUCTION
28	INSTALLATION
29	OPERATION
30	MAINTENANCE
31	REPAIRS
32	RENOVATIONS
33	ALTERATIONS
34	ADDITIONS
35	DELETIONS
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37	DEMOLITION
38	CONSTRUCTION
39	INSTALLATION
40	OPERATION
41	MAINTENANCE
42	REPAIRS
43	RENOVATIONS
44	ALTERATIONS
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55	ALTERATIONS
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93	CONSTRUCTION
94	INSTALLATION
95	OPERATION
96	MAINTENANCE
97	REPAIRS
98	RENOVATIONS
99	ALTERATIONS
100	ADDITIONS

THE 2011 NATIONAL BUILDING CODE OF CANADA (NBC) IS INCORPORATED BY REFERENCE INTO THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST EDITION OF THE NBC AND FOR VERIFYING THAT THE PLANS COMPLY WITH THE REQUIREMENTS OF THE NBC.

Patrick Cotter
ARCHITECT
5550 - 9680 ALBERTA ROAD
RICHMOND, BRITISH COLUMBIA

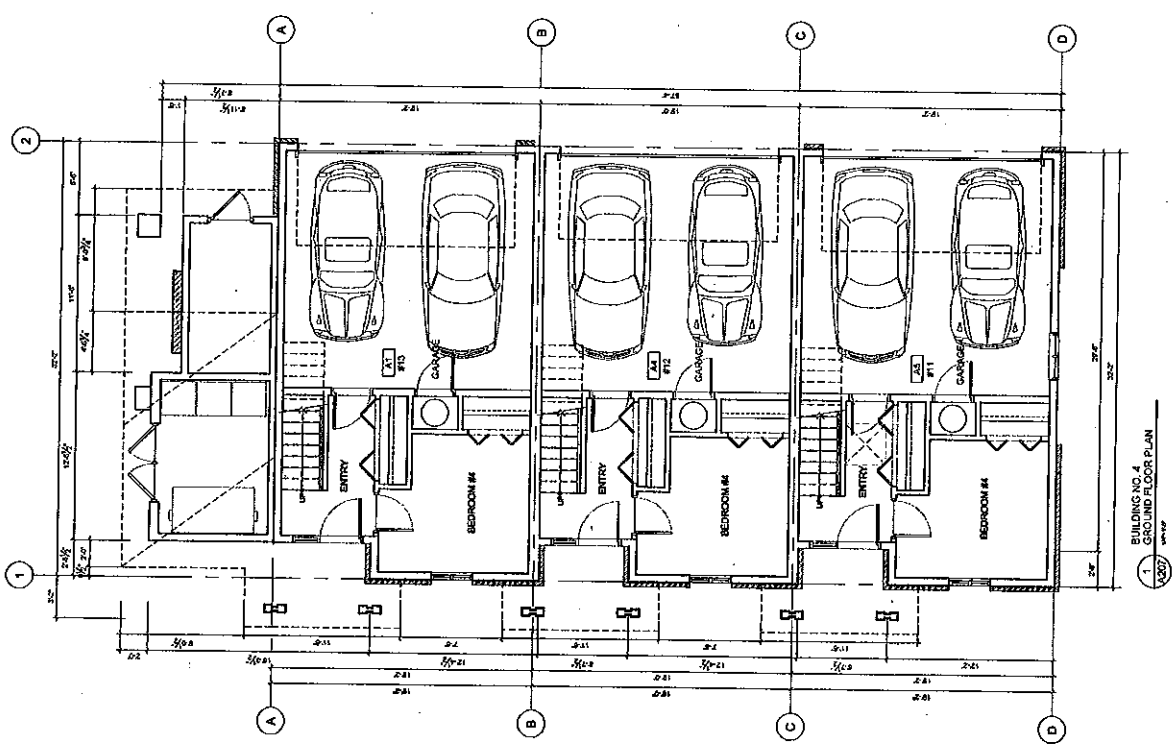
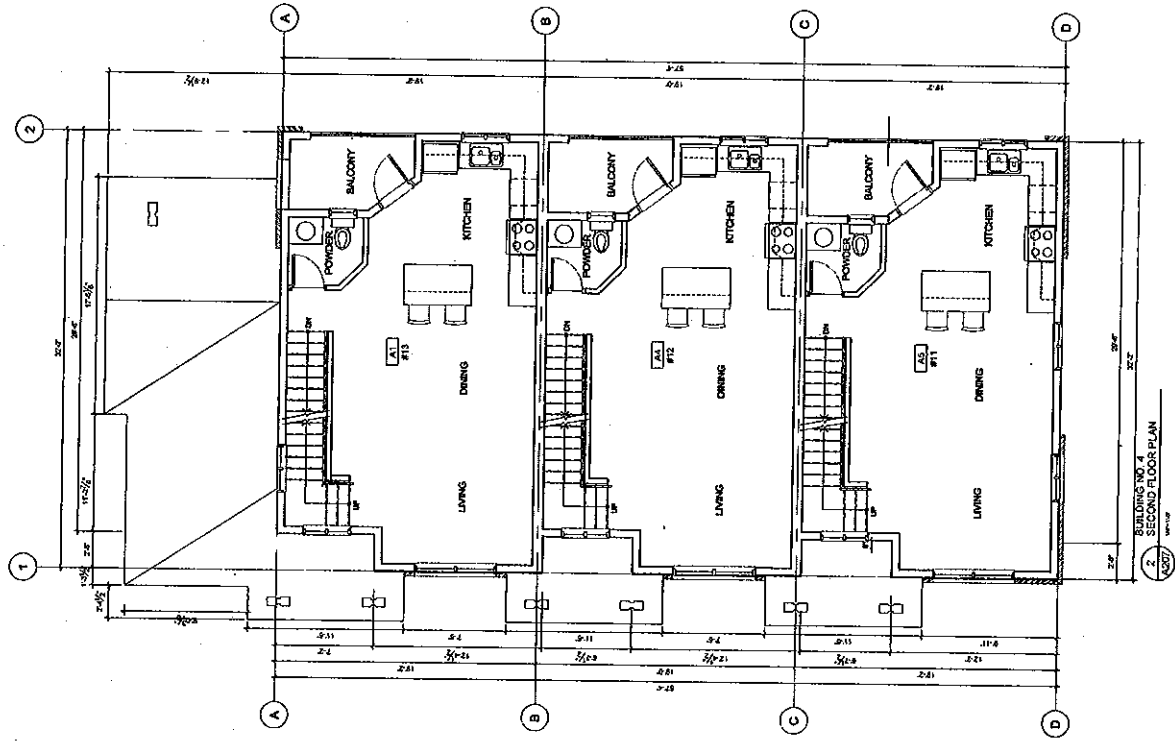
DATE: **TEEN SHER**

NO.	DESCRIPTION
1	FOUNDATION
2	CONCRETE
3	BRICK
4	WOOD
5	GLASS
6	STEEL
7	MECHANICAL
8	ELECTRICAL
9	PLUMBING
10	PAINT
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12	LANDSCAPE
13	UTILITIES
14	ACCESSORIES
15	FIXTURES
16	EQUIPMENT
17	CONTROLS
18	OPERATIONS
19	MAINTENANCE
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21	RENOVATIONS
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23	ADDITIONS
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91	REMOVALS
92	DEMOLITION
93	CONSTRUCTION
94	INSTALLATION
95	OPERATION
96	MAINTENANCE
97	REPAIRS
98	RENOVATIONS
99	ALTERATIONS
100	ADDITIONS

BLDG. NO. 4
PLANS (Units 11-12-13)
LEVEL 1
LEVEL 2

DATE: **A-207**

REF. PG. 7



10517750

NOTES



NO. 01	DATE	DESCRIPTION	REVISIONS
02			
03			
04			
05			
06			
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PROJ. NO. 110330
DATE 05/01/97
CLIENT H&R
DESIGNER T.S.
CHECKER T.S.
SCALE 1/8" = 1'-0"

PROJECT 5555 - 5550 ALBERTA ROAD
 RICHMOND, BRITISH COLUMBIA

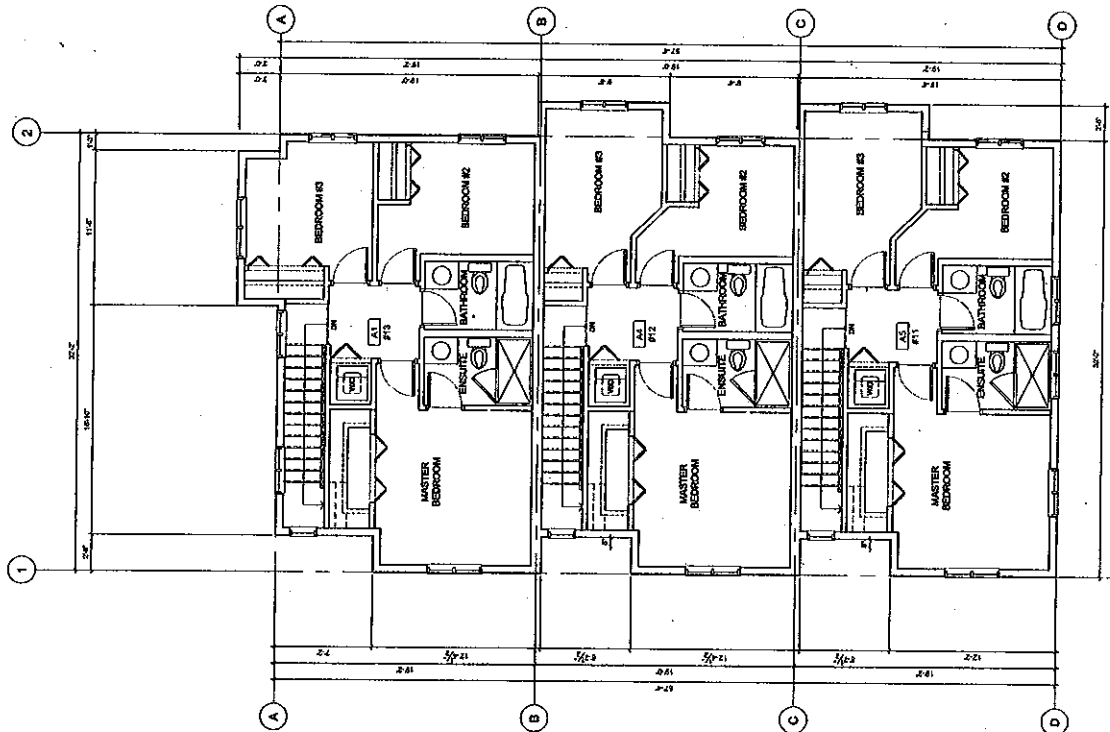
DATE 06/28/96

NO.	DESCRIPTION	DATE
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2	ISSUED FOR CONSTRUCTION	06/28/96
3	ISSUED FOR AS-BUILT	06/28/96

BUILDING NO. 4
PLANS (Units 11-12-13)
LEVEL 3

PROJ. NO. A-208
REV. C

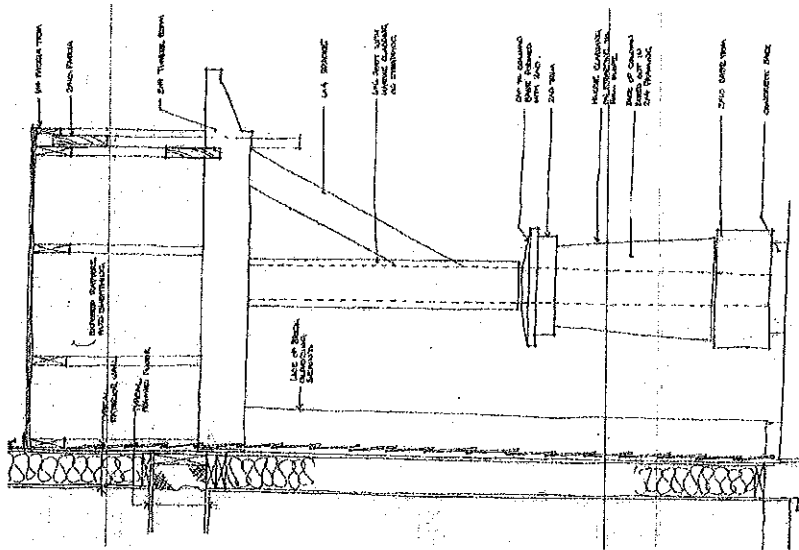
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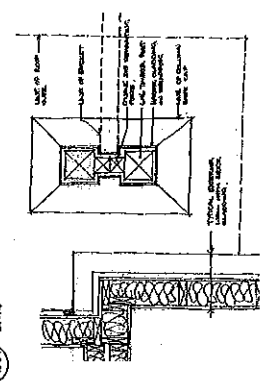
BUILDING NO. 4
 THIRD FLOOR PLAN
 11/29/96

DR 10517750

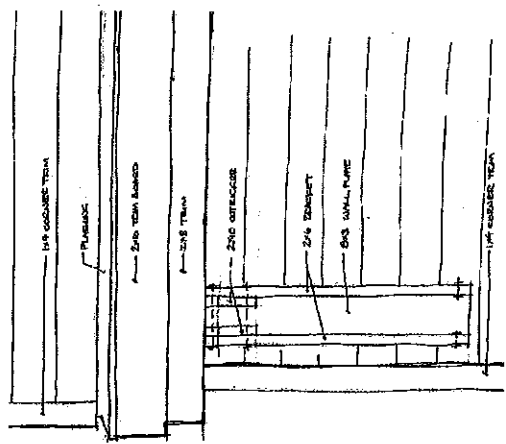
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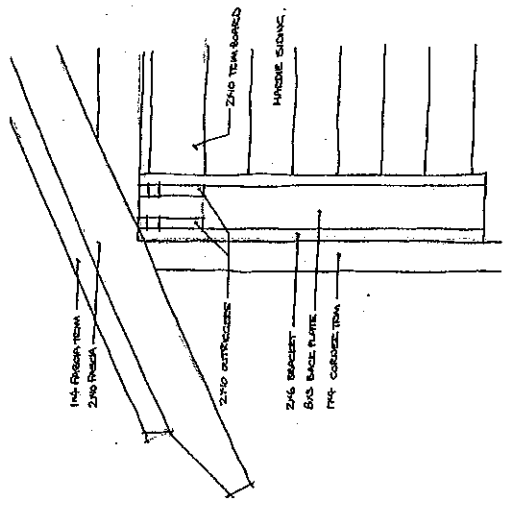
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A501



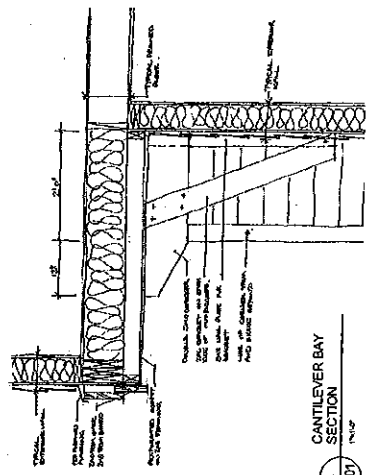
2 UNIT ENTRY COLUMN PLAN
A501



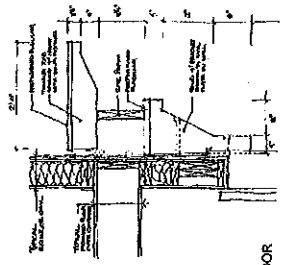
3 CANTILEVER BAY ELEVATION
A501



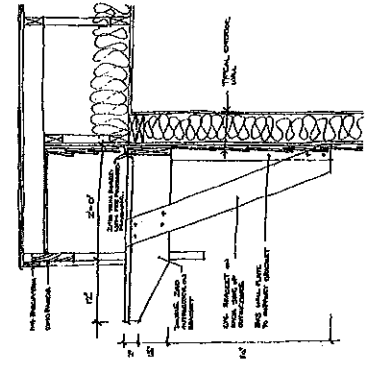
6 CABLE ROOF ELEVATION
A501



4 CANTILEVER BAY SECTION
A501



5 GARAGE DOOR TRELLIS SECTION
A501



7 CABLE ROOF SECTION
A501

NO.	DESCRIPTION	DATE
1	PRELIMINARY	1980
2	REVISED	1980
3	REVISED	1980
4	REVISED	1980
5	REVISED	1980
6	REVISED	1980
7	REVISED	1980
8	REVISED	1980
9	REVISED	1980
10	REVISED	1980
11	REVISED	1980
12	REVISED	1980
13	REVISED	1980
14	REVISED	1980
15	REVISED	1980
16	REVISED	1980
17	REVISED	1980
18	REVISED	1980
19	REVISED	1980
20	REVISED	1980

PROJECT CODE: 5550 - 5980 ALBERTA ROAD RICHMOND, BRITISH COLUMBIA

DESIGNER: TEN SHER

DATE: 1980

SKETCH DETAILS

PROJECT NO: A-501 C

REF: 12 0

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