



City of Richmond

Planning and Development Department

Report to Development Permit Panel

To: Development Permit Panel **Date:** November 12, 2008
From: Brian J. Jackson, MCIP **File:** DP 08-406340
Director of Development
Re: Application by Lawrence Doyle Architect Inc. (IBI) for a Development Permit at
3099 Corvette Way

Staff Recommendation

That a Development Permit be issued which supplements the existing Development Permit (DP 05-317013) to reflect changes resulting from the construction of an additional 1,856 m² (19,977 ft²) of hotel space at 3099 Corvette Way (formally 8200 Corvette Way) on a site zoned "Comprehensive Development District (CD/173)".

Bridget Jackson

Brian J. Jackson, MCIP
Director of Development

DN:rw
Att.

Staff Report

Origin

Lawrence Doyle Architect Inc. (IBI) has applied to the City of Richmond to supplement the existing Development Permit (DP 05-317013) to reflect changes to the building form and character resulting from the inclusion of an additional 1,856 m² (19,977 ft²) of hotel space (the majority of which consists of three (3) sleeping units at the western end of the hotel for levels six (6) to fourteen (14) at 3099 Corvette Way (formally 8200 Corvette Way) on a site zoned "Comprehensive Development District (CD/173)". Construction of the residential component of the site has begun and the remainder of the site is being preloaded.

"Comprehensive Development District (CD/173)" was amended by Bylaw No. 8411 (RZ 08-406081) to increase the permitted density at 3099 Corvette Way to accommodate additional hotel floor area.

A Servicing Agreement for the completion of road and boulevard improvements along the site's frontages, as well as related servicing upgrades, was secured through the original rezoning for the subject site (RZ 04-275910). Additionally, the Servicing Agreement for RZ 04-275910 secured boulevard improvements along Sea Island Way adjacent to the Comfort Inn (Skyline Comfort Inn) Hotel (located at 3031 No. 3 Road on the east side of Corvette Way).

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north, Moray Channel Bridge transitioning into Sea Island Way, which is a single direction eastern route in this location. An existing two-storey commercial use with surface parking is located on the north side of Sea Island Way and is zoned "Automobile-Oriented Commercial District (C6)";

To the east, Corvette Way and the existing low-rise Comfort Inn (Skyline Comfort Inn) zoned "Comprehensive Development District (CD/85)" and two (2) commercial parcels consisting of single storey buildings and surface parking zoned "Automobile-Oriented Commercial District (C6)";

To the south, Corvette Way extension (introduced in association with RZ 04-275910) and parcels zoned "Automobile-Oriented Commercial District (C6)", which are currently developed as a two-storey building and a warehouse; and

To the west, CP Rail Right of Way and existing marina zoned "Marina District 1 and 2 (MA1, MA2)".

The subject site is located within the City Centre area, at a gateway entrance to Richmond via the Moray Channel Bridge that turns into Sea Island Way.

Rezoning and Public Hearing Results

During the rezoning process, staff referenced the applicant's intention to undertake improvements to the skyline by further developing the design of the hotel building roof that was approved by DP 05-317013.

The Public Hearing for the rezoning bylaw, which enabled the additional hotel area, was held on September 3, 2008. No concerns were expressed at the Public Hearing. Bylaw No. 8411 was adopted on September 22, 2008.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with "Comprehensive Development District (CD/173)" except for the zoning variances permitted by the original Development Permit (DP 05-317013). As the subject application supplements DP 05-317013, plans from approved DP 05-317013 are attached as information (**Attachment 2**).

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the original Development Permit application (DP 05-317013) on October 5, 2005. Staff and ADP comments were resolved prior to issuance of DP 05-317013. Due to the limited scope of the proposed changes to the original Development Permit, the project was not re-referred to the Panel.

Analysis

Scope of Development Permit

- Changes to the internal layout of the hotel were undertaken to maximize efficiency and were associated with an increase in the total hotel floor area. CD/173 was amended to increase the permitted on-site density from 3.2 F.A.R. to 3.4 F.A.R..
- The increase of approximately 1,856 m² (19,977 ft²) includes storage space, office space, and additional hotel room area (**Attachment 3**). The majority of the additional floor area consists of three (3) additional sleeping units located at the western end of the hotel for levels six (6) to fourteen (14), which result in a westward extension (between 4.2 m (14 ft.) and 8.5 m (28 ft.) of the tower component of the hotel.
- The form and character of the development approved by DP 05-317013 remains substantially unchanged. The subject Development Permit application (DP 08-406340) was initiated to review and formalize the minor changes to the building's form and character that are a result of the increased hotel floor area.

Conditions of Adjacency

- The hotel is located at the north-eastern portion of the site. The modifications to the building form and massing are limited in scope and do not result in changes to the hotel building setbacks, proposed height and/or building materials. Therefore, the impact of the proposed changes on adjacent properties and the residential towers being constructed on-site is minimized.

Urban Design and Site Planning

- The site plan is unaffected by updates to the development permit resulting from the increased hotel floor area.
- The effect of the increased floor area on parking was reviewed in association with the rezoning bylaw amendment (RZ 08-406081). Thirty-five (35) of the 165 hotel parking spaces on-site were secured by a covenant registered on title for the exclusive use of the Comfort Inn (Skyline Comfort Inn) Hotel (located at 3031 No. 3 Road on the east side of Corvette Way), to address its parking shortfall. In association with RZ 08-406081, the restaurant size was reduced from 93 m² (1,000 ft²) to 65 m² (700ft²) and the existing lounge was eliminated. As a result, the parking required for use by the Comfort Inn (Skyline Comfort Inn) Hotel was reduced by 13 stalls. These stalls compensate for the additional nine (9) stalls required for use by the subject hotel due to the increased hotel floor area.

Architectural Form and Character

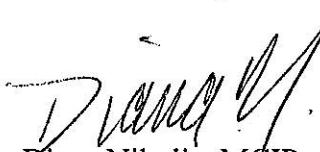
- The hotel is located at a strategic location at a primary gateway into the City; its design was inspired by its proximity to the Vancouver International Airport and open water. Color fins along the building façade reference illumination fixtures and patterns used for airport traffic signalling, and the “ship” motif at the podium level is a reference to the site’s proximity to water.
- Updates to the building form resulting from the increased floor area are a minor amendment to the approved Development Permit (DP 05-317013) plans and the additional floor area is seamlessly incorporated into the original building design.
- The introduction of three (3) additional sleeping units at the western end of the hotel at levels six (6) to fourteen (14) create an opportunity to internalize the stairwell, that was originally indicated at the building end, and to continue the glazed exterior building treatment; thereby achieving an overall improvement to the building elevation.
- The adjustments to the internal layout undertaken to facilitate storage above the ballroom minimally effect the building design. A corridor along the south side of the ballroom space screens the storage use; the corridor is treated with permeable material and accent tinted glass to effectively screen the storage area and maintain the character of the original design.
- The originally approved eastern façade is almost unchanged and generally improved by the extension of the building’s glazed exterior.
- Reconfiguration of the loading, garbage/recycling, and mechanical area on the ground level improves circulation while maintaining the character of the original design.
- The applicant proposes further articulation of the hotel roof to echo the level of attention invested in the podium level and to contribute to the building’s unique character. Further referencing the site’s proximity to Vancouver International Airport, illuminated glass feature elements are proposed along portions of the north and east edges of the building roof. The glass feature elements consist of illuminated laminated color glass mounted vertically to the roof edge. The panels are aligned with the mullion to add interest to the spacing (**Schedule A**). As a condition of issuance of the Development Permit, the applicant is required to substantiate that the Vancouver International Airport does not have any concerns associated with the proposed illuminated glass features.

Landscape Design and Open Space Design

- The westward extension of the hotel will marginally impact the extensive green roof indicated above the fifth level by encroaching into the area by approximately 132 m² (1,417ft²).
- The associated planting pattern will be adjusted to reflect the modification of the hotel tower geometry.

Conclusions

Staff support the minor changes to form and character proposed, which supplement the existing development permit (DP 05-317013). The changes in form and character, which are a result of increased hotel floor area that will facilitate improved efficiency and functionality of the facility, maintain the high architectural standards of the development.



Diana Nikolic, MCIP
Planner II (Urban Design)

DN:rw

Attachment 1: Development Application Data Sheet

Attachment 2: Plans from Original Development Permit (DP 05-317013)

Attachment 3: Location of Additional Hotel Floor Area

The following are to be met prior to forwarding this application to Council for approval:

- Substantiate that the Vancouver International Airport does not have any concerns associated with the proposed illuminated rooftop glass features.



City of Richmond
 6911 No. 3 Road
 Richmond, BC V6Y 2C1
www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet
 Development Applications Division**

DP 08-406340

Attachment 1

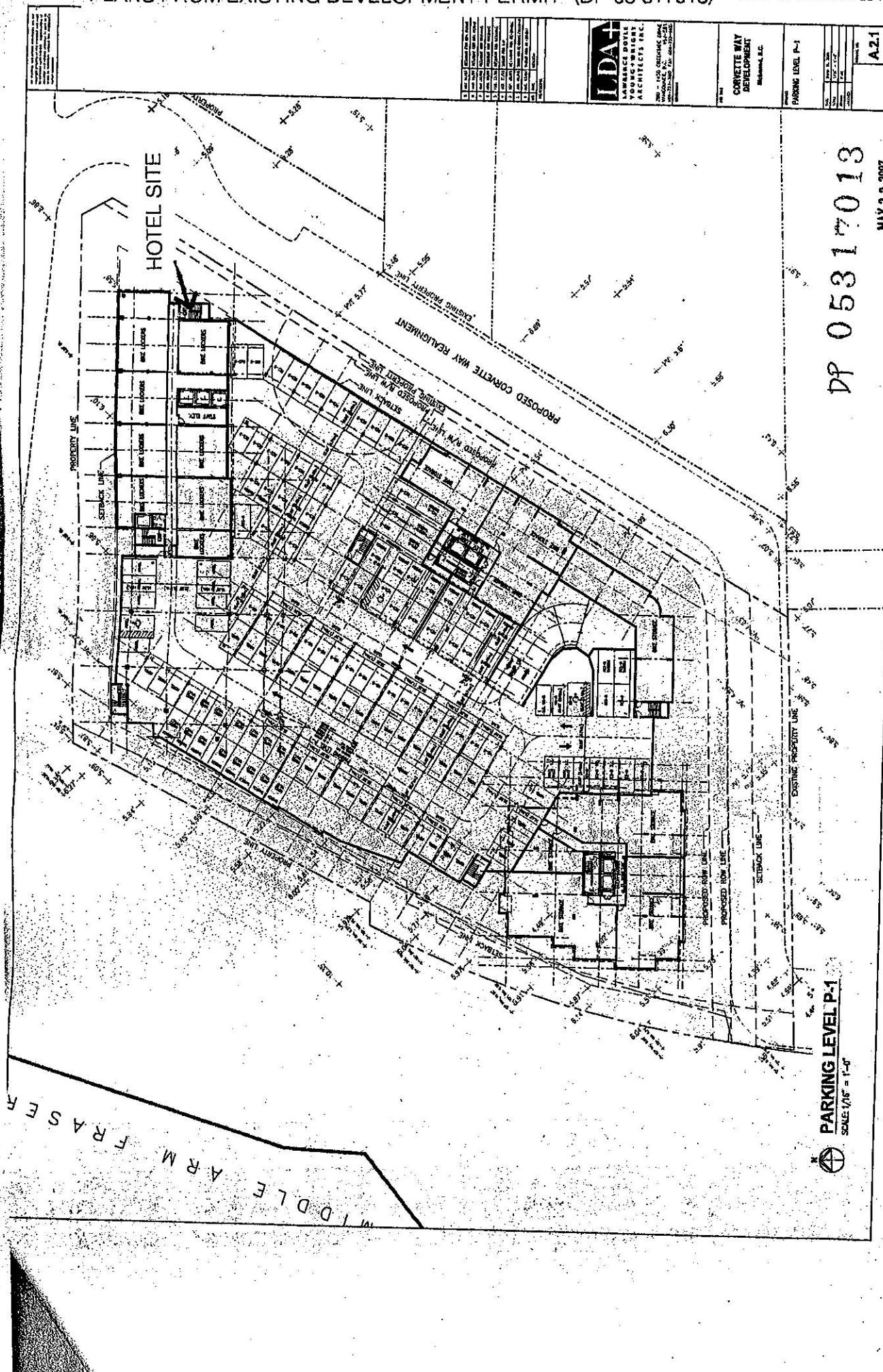
Address: 3099 Corvette Way

Applicant: Lawrence Doyle Architect Inc. (IBI) Owner: Skyline Airport Hotel (1977) Ltd.
City Centre (2.10); City Centre Area Plan (which was granted third reading on July 21,
 Planning Area(s): 2008)
19,820 m² (213,341 ft²) residential
+ 11,780 m² (126,799 ft²) hotel
 Floor Area Net: (previously 9,924 m² (106,822 ft²)

	Existing	Proposed
Site Area:	9,295 m ² (after road dedication)	9,295 m ²
Land Uses:	mixed –use	mixed-use
OCP Designation:	Mixed Use	Mixed Use
Zoning:	CD/173	CD/173
Number of Units:	231 dwelling units/176 hotel units	231 dwelling units/185 hotel units

	CD/173	Proposed	Variance
Floor Area Ratio:	3.4 (max. 2.15 FAR for residential)	3.4 (max. 2.15 FAR for residential)	none permitted
Lot Coverage:	Max. 90%	68%	none
Setback – north:	6 m	6.06 m to hotel	none
Setback – east:	6 m	6.12 m to hotel 5.75 m to Building B 7.97 m to Townhomes	Variance issued in association with DP 05-317013 to vary setback to Building B to 5.75 m
Setback – south:	6 m	6.51 m to Building A 8.19 m to Townhomes	none
Setback – west:	6 m	6.09 m to hotel/amenity 7.34 m to Building A	none
Height (m):	45 m for residential buildings 38 m for all other buildings	45.5 m and 45.4 m (to elevator penthouses of Tower A and B); and 44.5m (to elevator penthouse of hotel)	variance issued in association with DP 05-317013 to allow 45.5 m and 45.4 m (to elevator penthouses of Tower A and B); and 44.5m (to elevator penthouse of hotel)

Off-street Parking Spaces – Regular/Commercial/Visitor:	306 (residential) & 138 (hotel) (+14) additional parking stalls for the use of the existing hotel at 3031 No. 3 Road)	306 (residential) & 138 (hotel) (+14) additional parking stalls for the use of the existing hotel at 3031 No. 3 Road)	none
Tandem Parking Spaces	permitted	67 tandem (134 parking spaces)	none
Amenity Space – Indoor:	Min. 100 m ²	457.3 m ²	none
Amenity Space – Outdoor:	Min. 1,386 m ²	~2,000 m ²	none



十一

COMMITTEE WAY
DEVELOPMENT
EDUCATION, ETC.

Ground Floor Plan

A22

MAY 23 2007

DP 05317013

GROUND FLOOR PLAN

卷之三



This detailed architectural ground floor plan, dated May 23, 2007, shows a complex site with various building footprints, property lines, and regulatory features. The plan includes labels such as 'PROPOSED CONCRETE WAY REGULIMENT', 'EXISTING 2 STOREY COMMERCIAL', and 'ARM'. A north arrow is present in the bottom right corner. The plan is titled 'DP 05317013' vertically along the right edge.

LDA
LAWRENCE DIAZ
YOUNG & WRIGHT
ARCHITECTS INC.
3600 H STREET NE SUITE 200
WASHINGTON DC 20008
TEL: 202-342-1000 FAX:
202-342-1001 E-MAIL:
LDA@YOUNGWRIGHT.COM

CONCRETE WAY DEVELOPMENT
McLean, S.C.

GROUND FLOOR PLAN

MAY 23 2007

DP 05317013

GROUND FLOOR PLAN

SCALE 1/16 = 1'-0"

LDA +
WILHELM BÖHME

YOUNG & RIGGS
ARCHITECTS INC.
2000 - 10th Street, Suite 100
Washington, D.C. 20004-1000
(202) 347-1200

CORVETTE WAY
DEVELOPMENT

SECOND FLOOR PLAN

A2.3

DP 05217013

MAY 23 2007

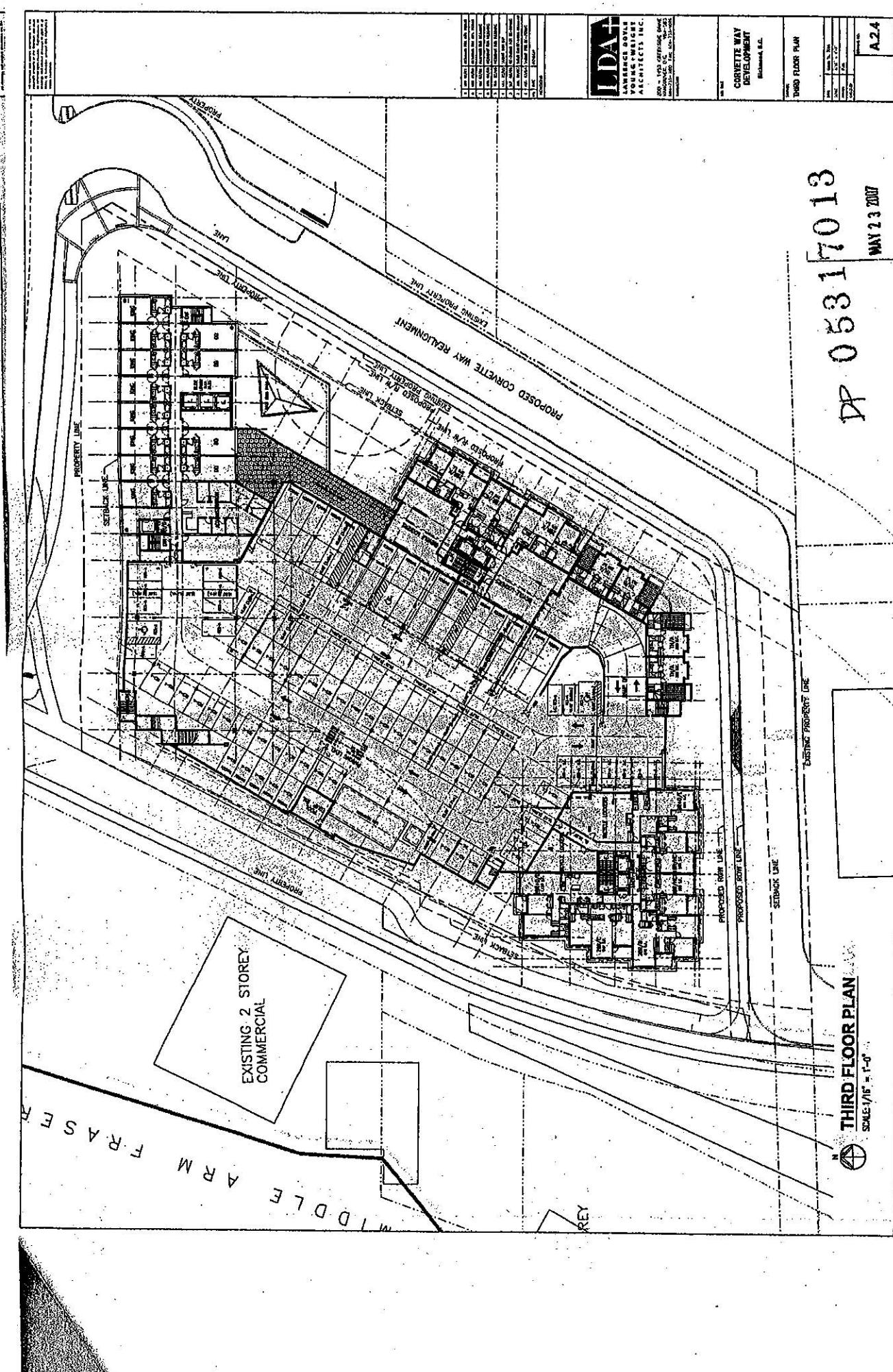
SECOND FLOOR PLAN

SCALE 1/48 = 1-0

This architectural site plan illustrates the proposed changes to a street alignment and the footprint of a new building complex. The plan shows the following key features:

- Proposed New Street Alignment:** A new street line labeled "PROPOSED NEW STREET LINE" is shown, which follows the "PROPOSED CONCRETE WAY REALIGNMENT".
- Existing Buildings:** Several existing buildings are depicted with hatching and labels such as "EXISTING 2 STOREY COMMERCIAL".
- Proposed New Buildings:** A large, multi-story building complex is proposed along the new street alignment, with various wings labeled "WING A", "WING B", "WING C", and "WING D".
- Property Lines:** The "PROPERTY LINE" and "SEWER LINE" are indicated by dashed lines.
- Construction Phases:** The plan includes labels for "EXISTING PROPERTY LINE", "PROPOSED NEW LINE", and "PROPOSED NEW LINE".
- Other Labels:** Labels like "LAWN", "PARKING", "STOCK", "STORAGE", "OFFICE", "WATER TOWER", and "EQUIPMENT" are scattered across the site.

The plan is dated MAY 23 2007 and includes a scale bar of 1/16" = 1'-0". A north arrow is also present.



A.2.6

MAY 23 2000

DF 05317013

CONFERENCE
DEVELOPMENT
SOCIETY, INC.

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FIFTH FLOOR PLAN

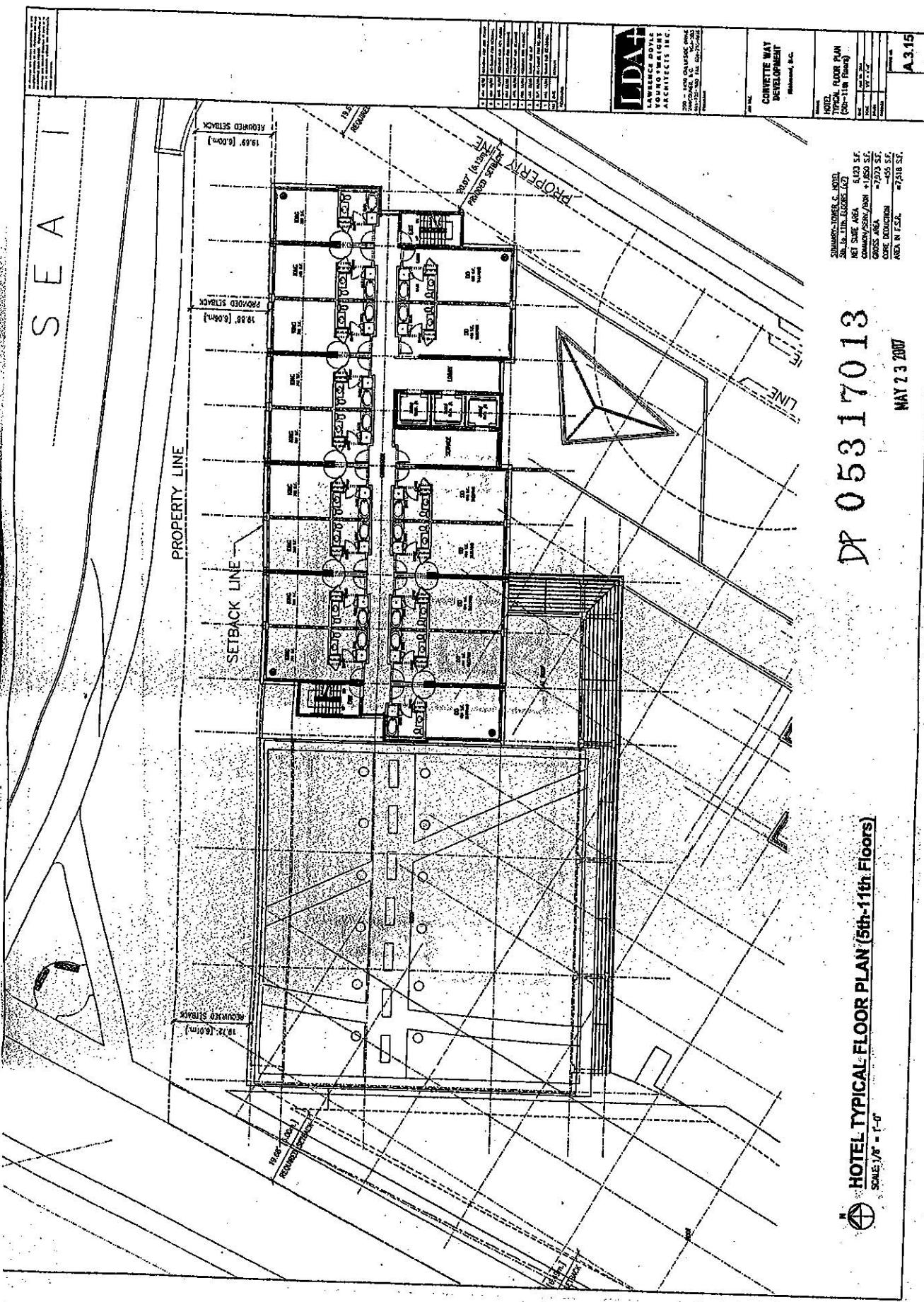
SCALZE 1/16" = 1"



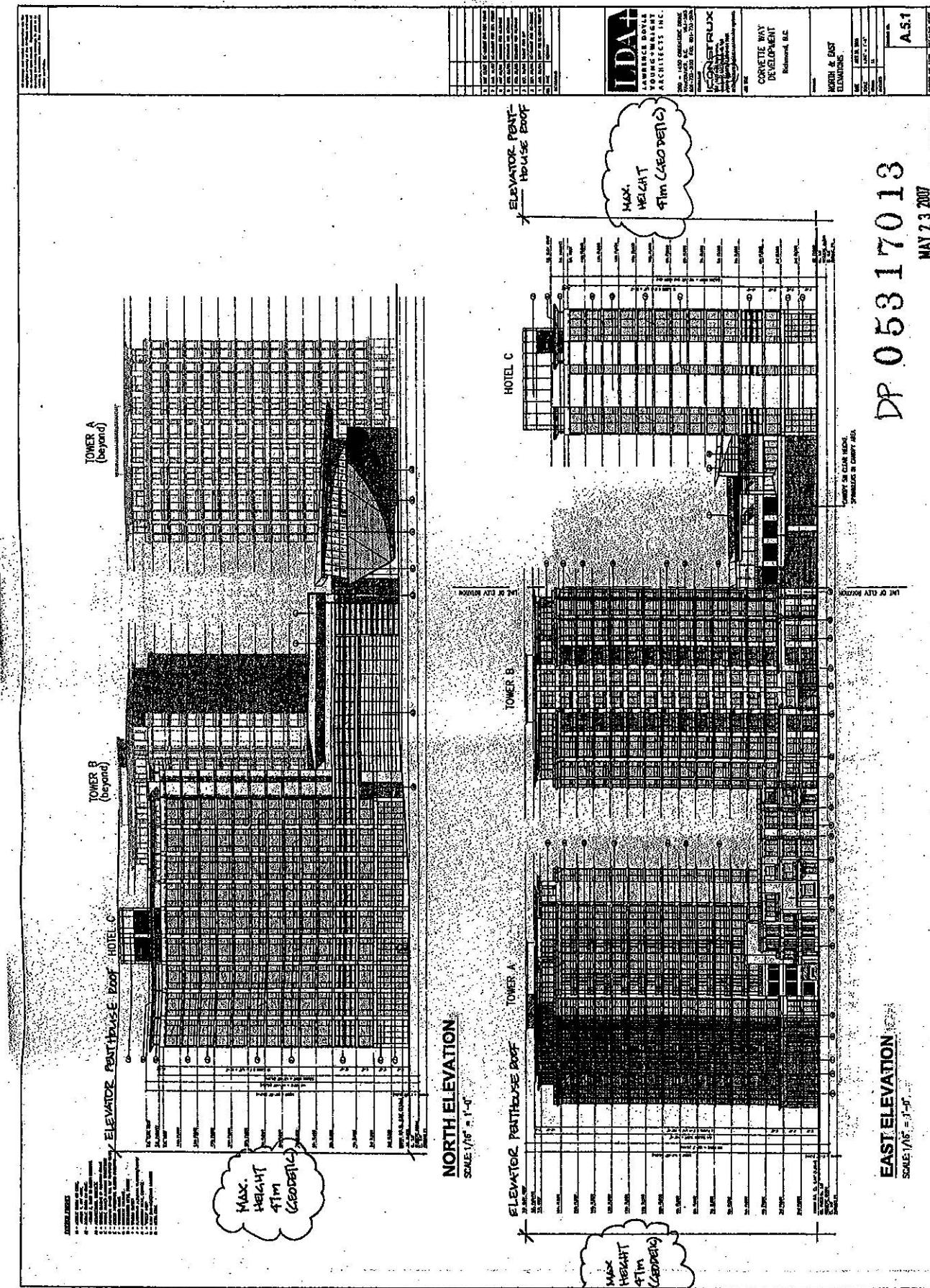
This architectural site plan illustrates a proposed building addition to an existing structure. The plan shows the following key features and labels:

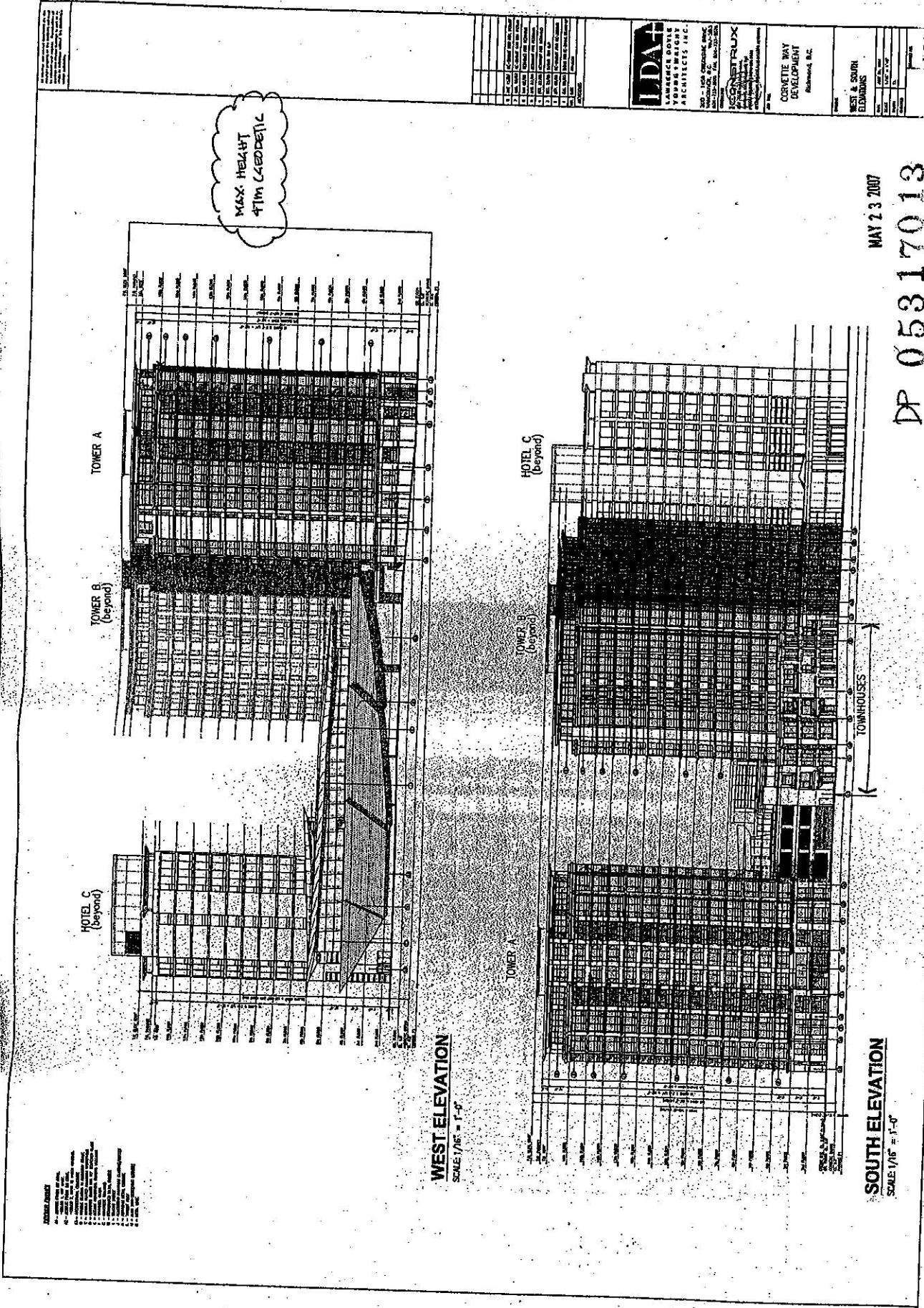
- Existing Buildings:** An "EXISTING 2 STORY COMMERCIAL" building is shown on the left, connected by a bridge to another building.
- Proposed Addition:** A large rectangular area representing the "PROPOSED ADDITION" is shown, featuring internal room layouts and dimensions.
- Property Lines:** "PROPERTY LINE" is indicated along the perimeter of the site.
- Setback Lines:** "SETBACK LINE" is marked near the rear of the proposed addition.
- Existing Property Line:** "EXISTING PROPERTY LINE" is shown as a dashed line.
- Proposed Property Line:** "PROPOSED PROPERTY LINE" is shown as a solid line.
- Relocation:** An arrow points from the "PROPOSED PROPERTY LINE" to the "EXISTING PROPERTY LINE".
- Relocation Line:** "RELOCATION LINE" is marked near the center of the proposed addition.
- Proposed Relocation:** "PROPOSED RELOCATION" is indicated near the bottom center of the proposed addition.
- Existing Roads:** "EXISTING ROAD" is labeled at the top left.
- Proposed Roads:** "PROPOSED ROAD" is labeled at the top right.
- Proposed Roads:** "PROPOSED ROADS" are shown as dashed lines extending from the proposed addition towards the bottom right.
- Labels:** Other labels include "MID DLE", "ARM", "F R A S E", "REY", and "A R M".

The plan includes a north arrow and a scale bar indicating $1/8'' = 1'-0''$.



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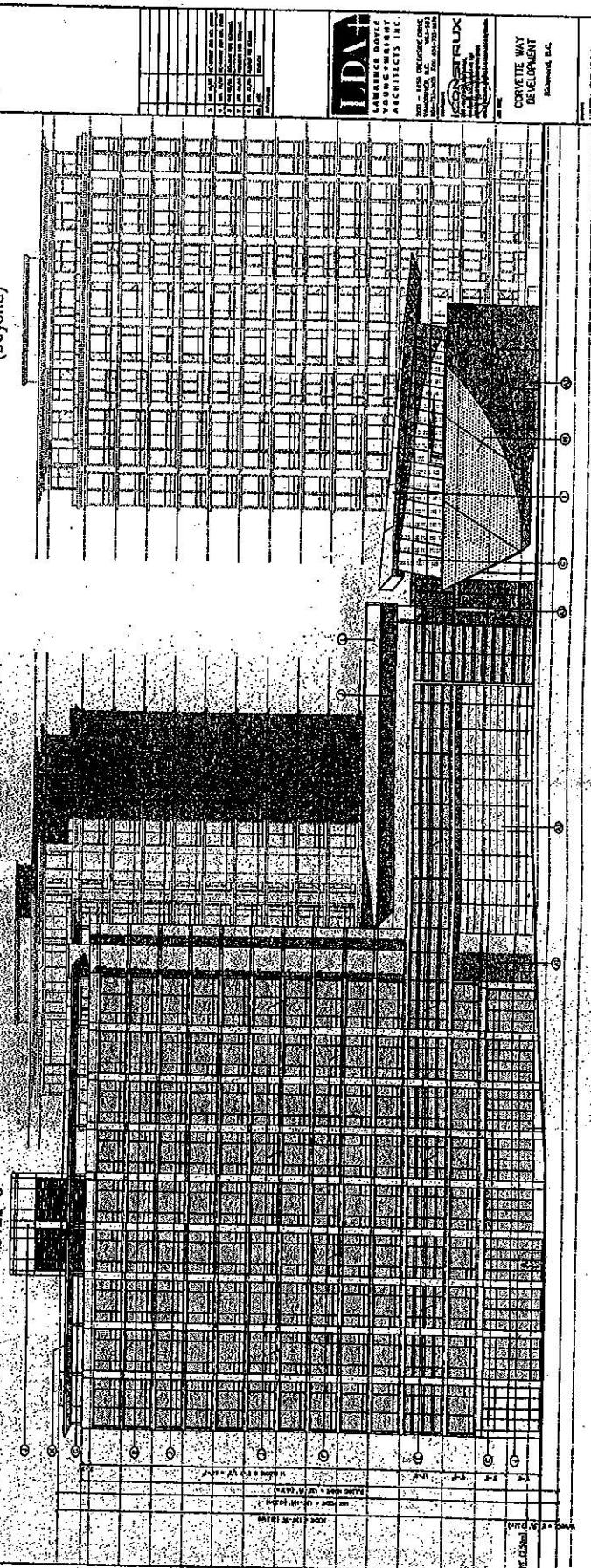


संग्रहीत

POWER & BEYOND

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TOWER A
(beyond)



NORTH ELEVATION

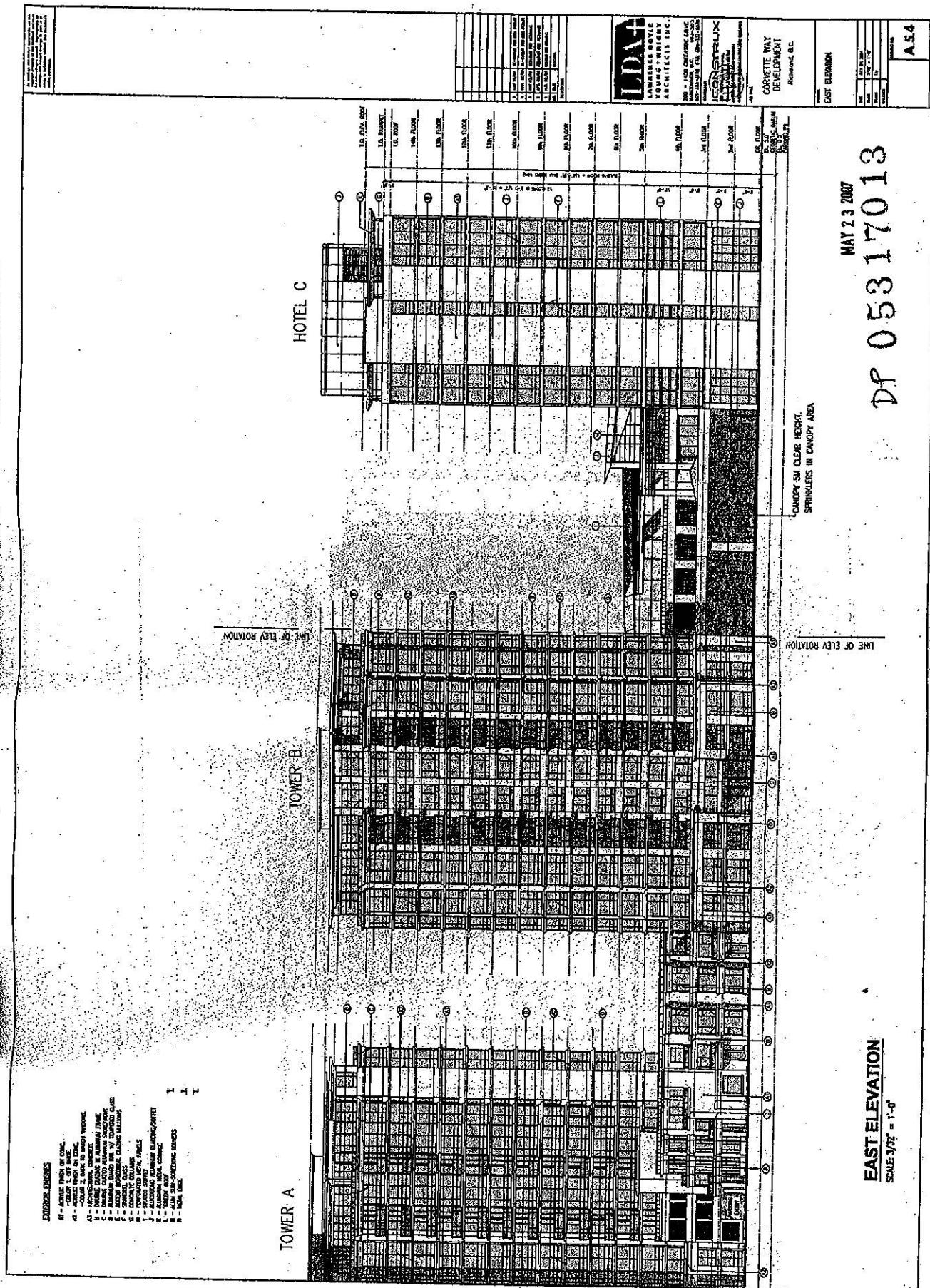
SCUZE 3/32" = 1°-0"

MAY 23 2007
DF 0531701

100

453

100



DISCOUNTS

- A - 10% DISC FOR CONC.
- B - 10% OFF WHOLESALE PRICE FOR CONC.
- C - 10% DISC FOR WHOLESALE PURCHASES.
- D - 10% DISC FOR WHOLESALE PURCHASES.
- E - 10% DISC FOR WHOLESALE PURCHASES.
- F - 10% DISC FOR WHOLESALE PURCHASES.
- G - 10% DISC FOR WHOLESALE PURCHASES.
- H - 10% DISC FOR WHOLESALE PURCHASES.
- I - 10% DISC FOR WHOLESALE PURCHASES.
- J - 10% DISC FOR WHOLESALE PURCHASES.
- K - 10% DISC FOR WHOLESALE PURCHASES.
- L - 10% DISC FOR WHOLESALE PURCHASES.
- M - 10% DISC FOR WHOLESALE PURCHASES.
- N - 10% DISC FOR WHOLESALE PURCHASES.
- O - 10% DISC FOR WHOLESALE PURCHASES.
- P - 10% DISC FOR WHOLESALE PURCHASES.
- Q - 10% DISC FOR WHOLESALE PURCHASES.
- R - 10% DISC FOR WHOLESALE PURCHASES.
- S - 10% DISC FOR WHOLESALE PURCHASES.
- T - 10% DISC FOR WHOLESALE PURCHASES.
- U - 10% DISC FOR WHOLESALE PURCHASES.
- V - 10% DISC FOR WHOLESALE PURCHASES.
- W - 10% DISC FOR WHOLESALE PURCHASES.
- X - 10% DISC FOR WHOLESALE PURCHASES.
- Y - 10% DISC FOR WHOLESALE PURCHASES.
- Z - 10% DISC FOR WHOLESALE PURCHASES.

HOTEL C
Grenada

TOWER 8
[Keyed]

TOWER A

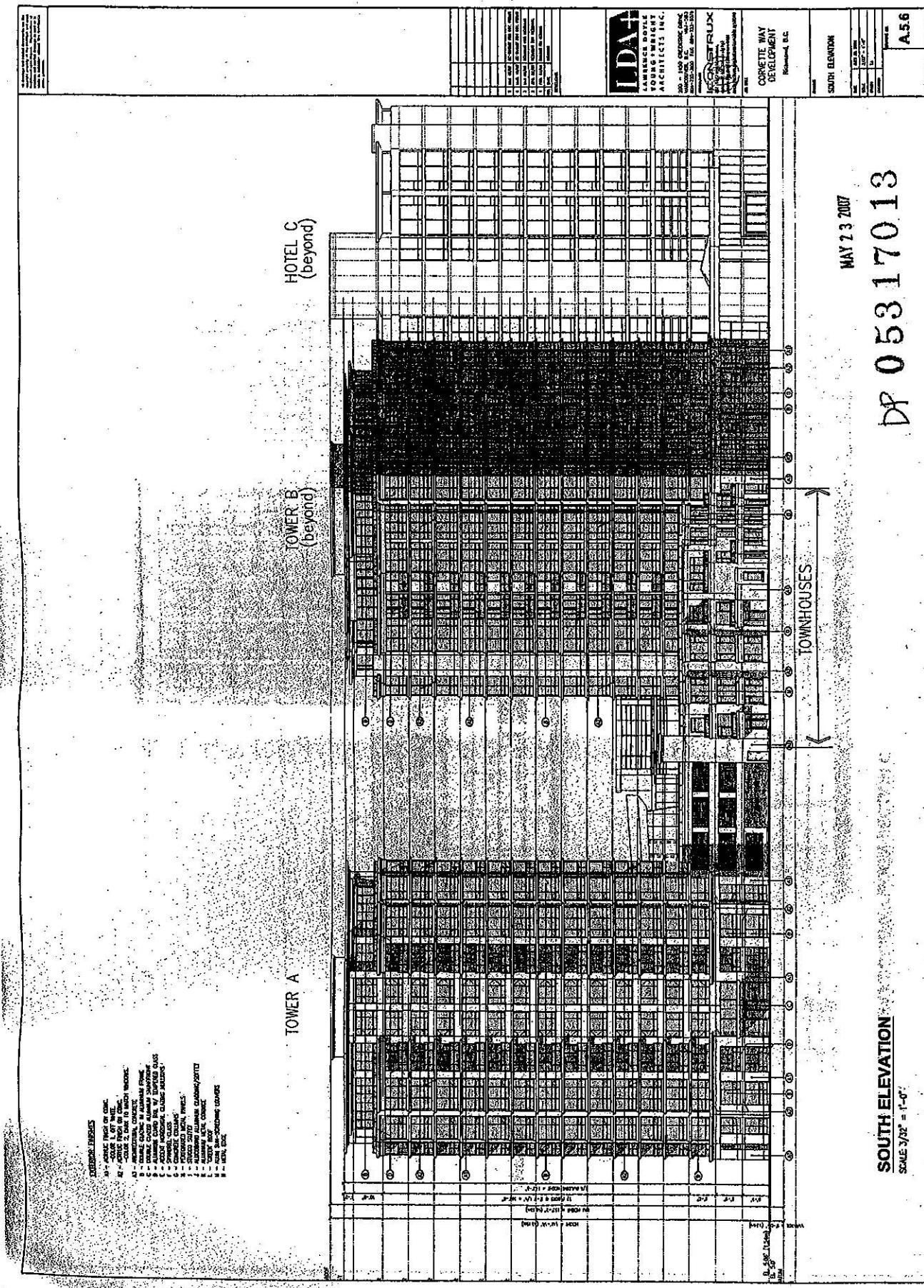
WEST ELEVATION

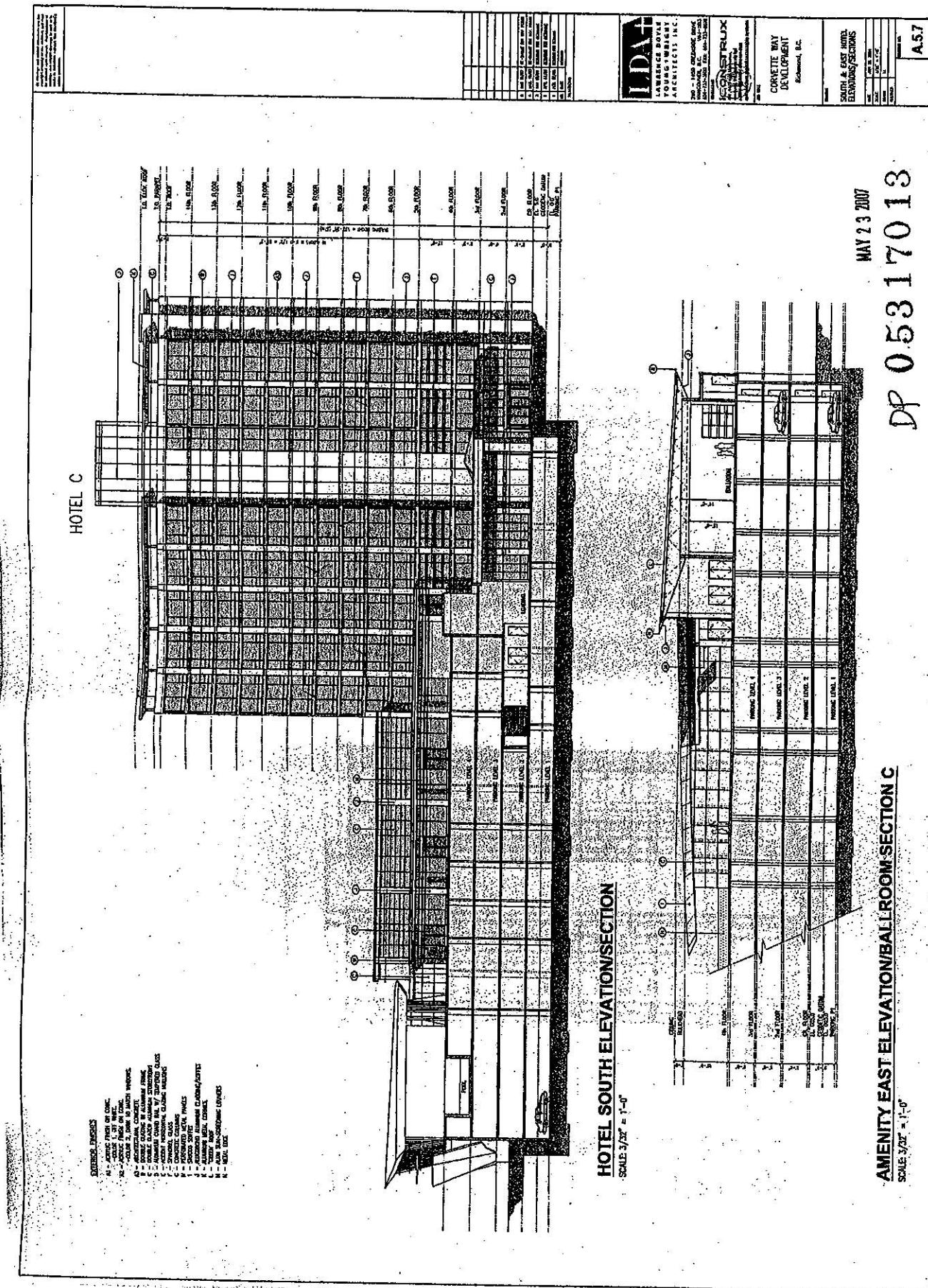
WEST ELEVATION

SCALE: 3/32" = 1'-0"

A.5.5

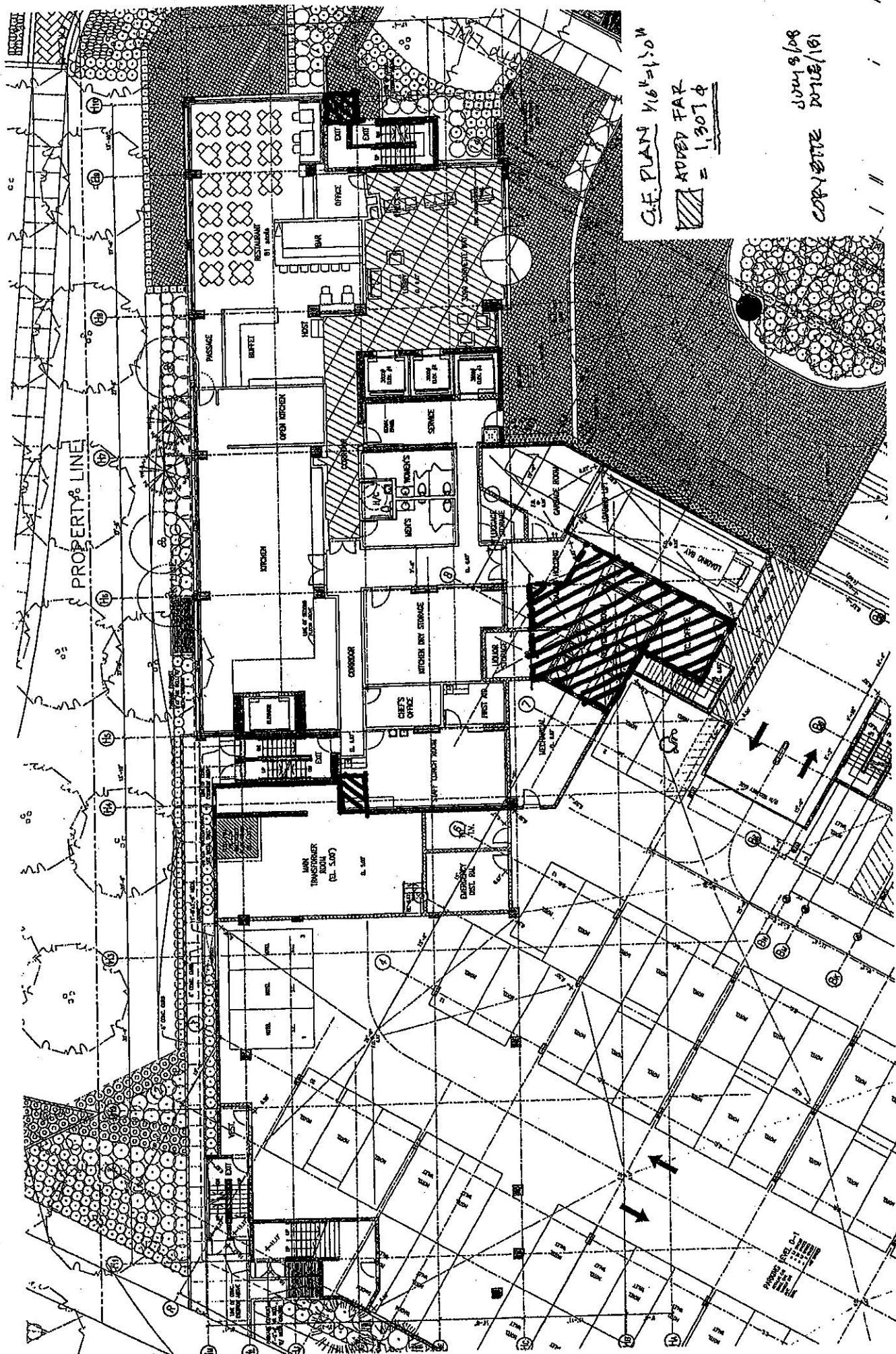
MAY 23 2007

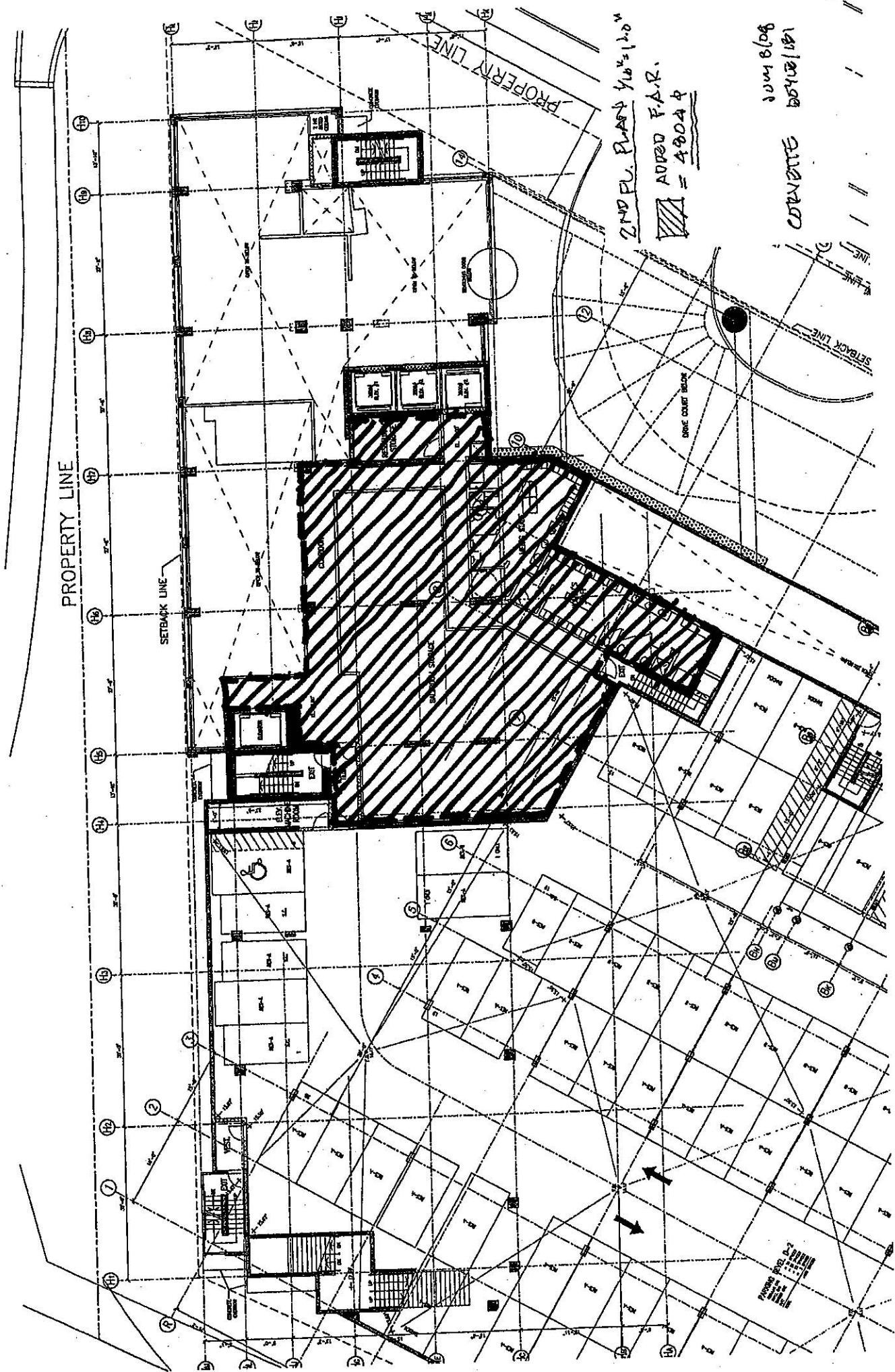


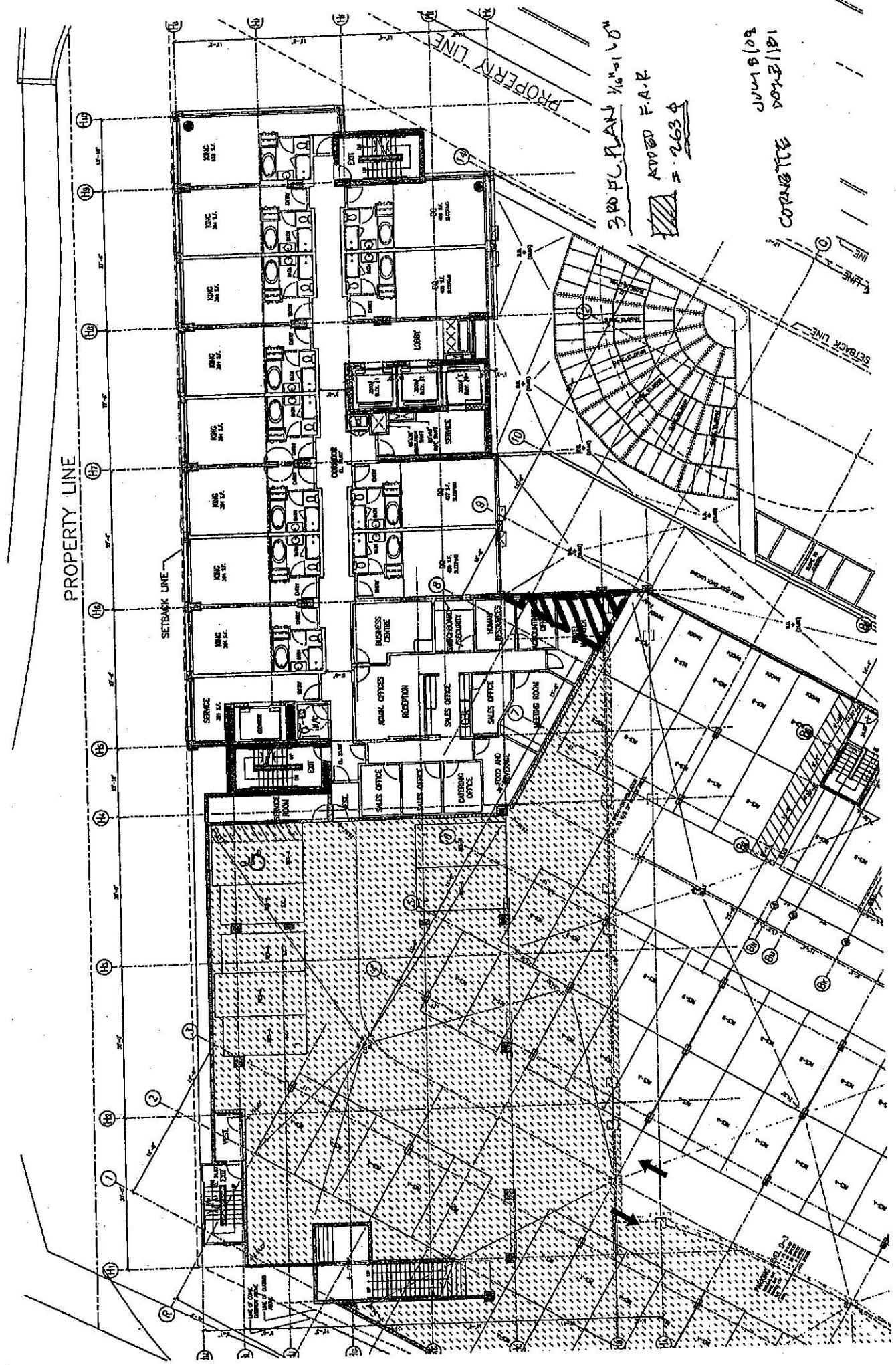


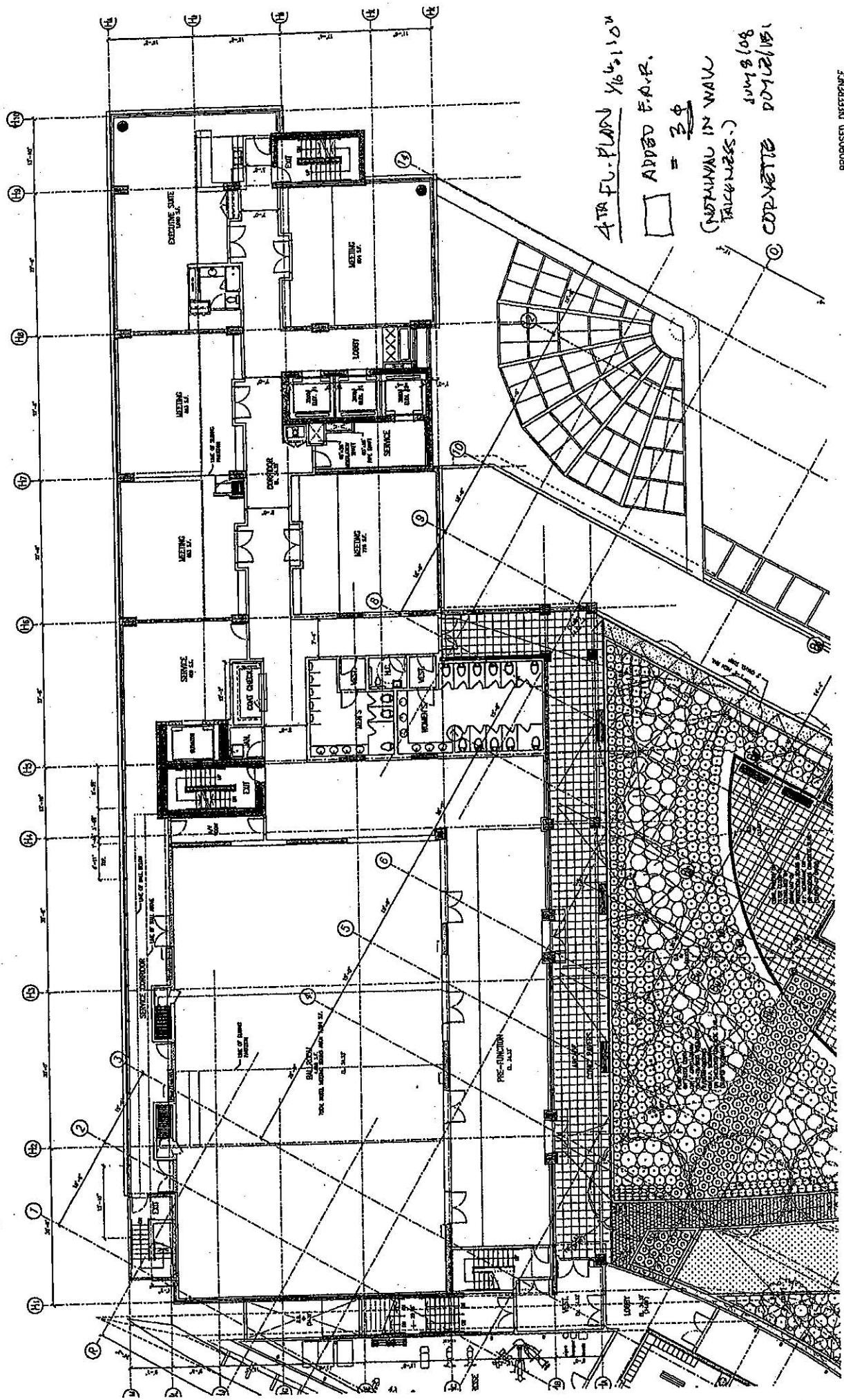
LOCATION OF ADDITIONAL HOTEL FLOOR AREA

ATTACHMENT 3





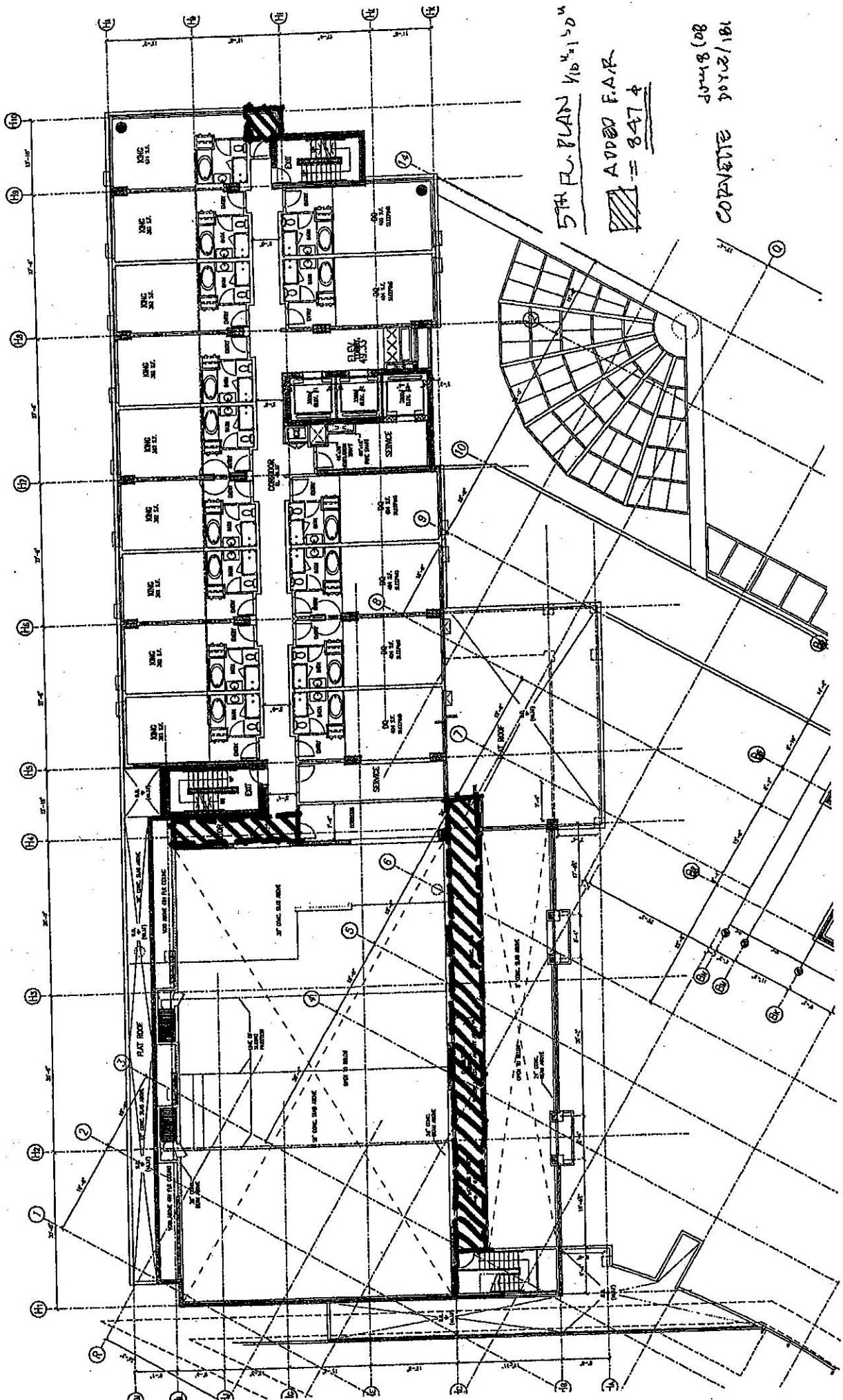


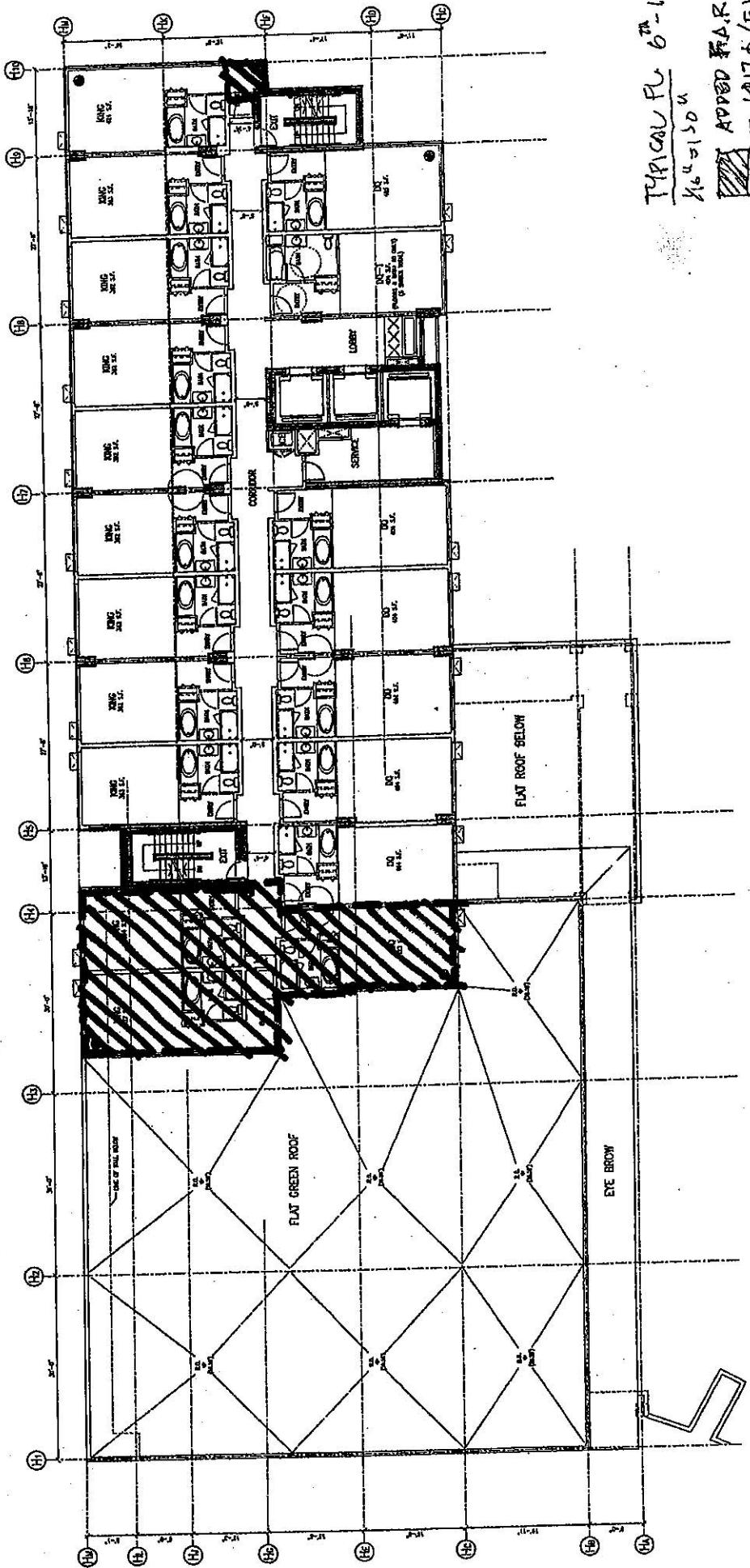


PROPOSED DIFFERENCE
SUMMARY - TOWER C - Notes

SUMMARY - TOWER C - Notes

PREVIOUS
SUMMARY - TOWER C - Notes





TYPICAL FL 6TH - 14TH (x9)

$$A_6 = 150 \text{ u}$$

$$\Delta \text{ ADDED F.A.R.} = \frac{14174}{150} \text{ u}$$

$$\times 9 \text{ F.L.} = 12,753 \text{ u}$$

duary 8/08
DOQUE 1/08
CORNETTE



City of Richmond
Planning and Development Department

Development Permit

No. DP 08-406340

To the Holder: **LAWRENCE DOYLE ARCHITECT INC. (IBI)**

Property Address: **3099 CORVETTE WAY**

Address: **WALL FINANCIAL CORPORATION
3502 – 1088 BURRARD STREET
VANCOUVER, BC V6Z 2R9**

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon and supplements DP 05-317013.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #17 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
6. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

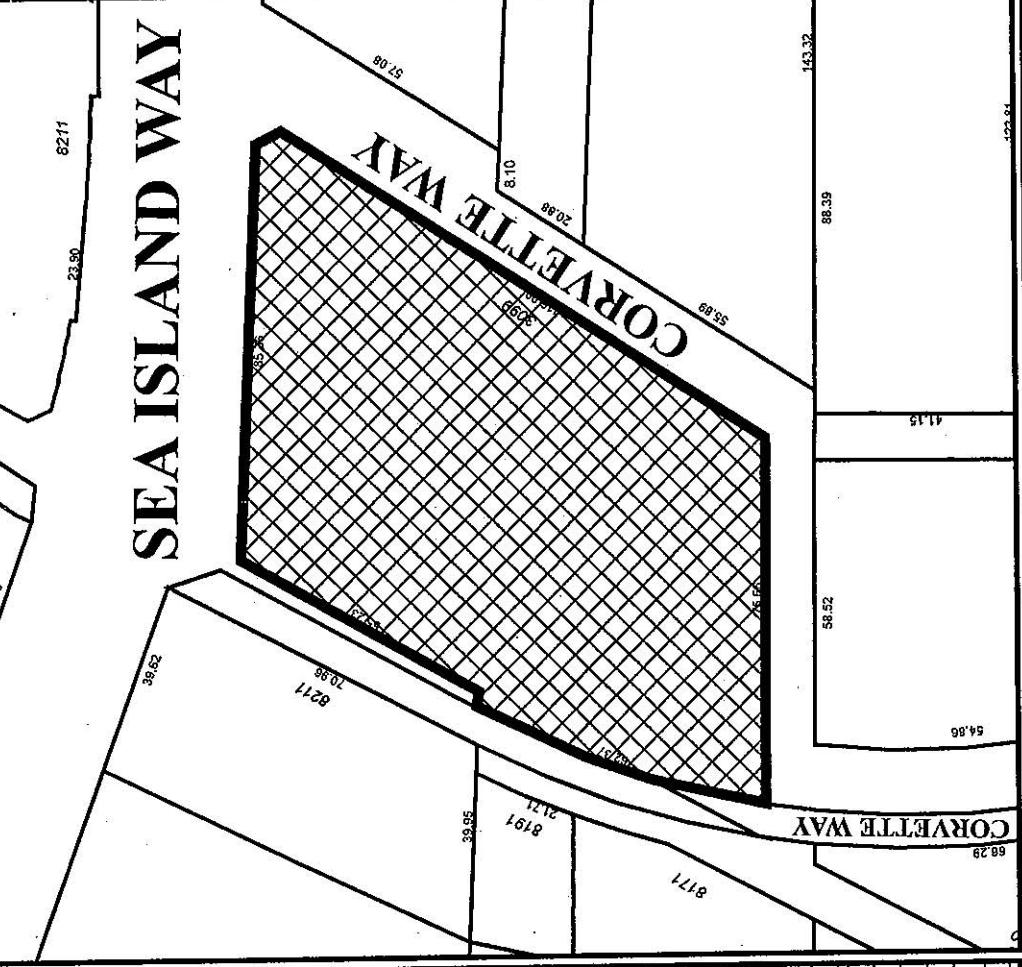
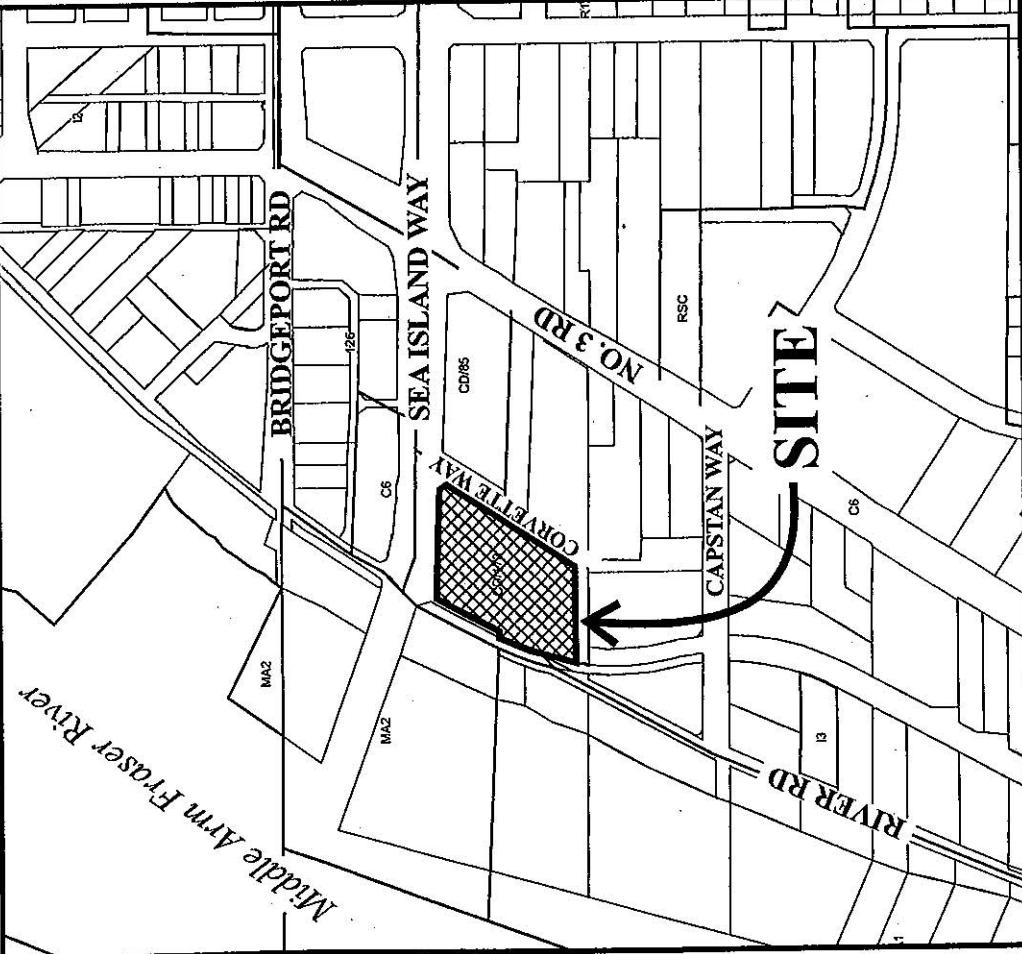
AUTHORIZING RESOLUTION NO.
DAY OF ,

ISSUED BY THE COUNCIL THE

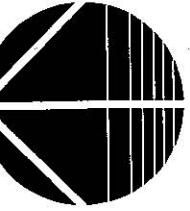
DELIVERED THIS DAY OF ,

MAYOR

City of Richmond



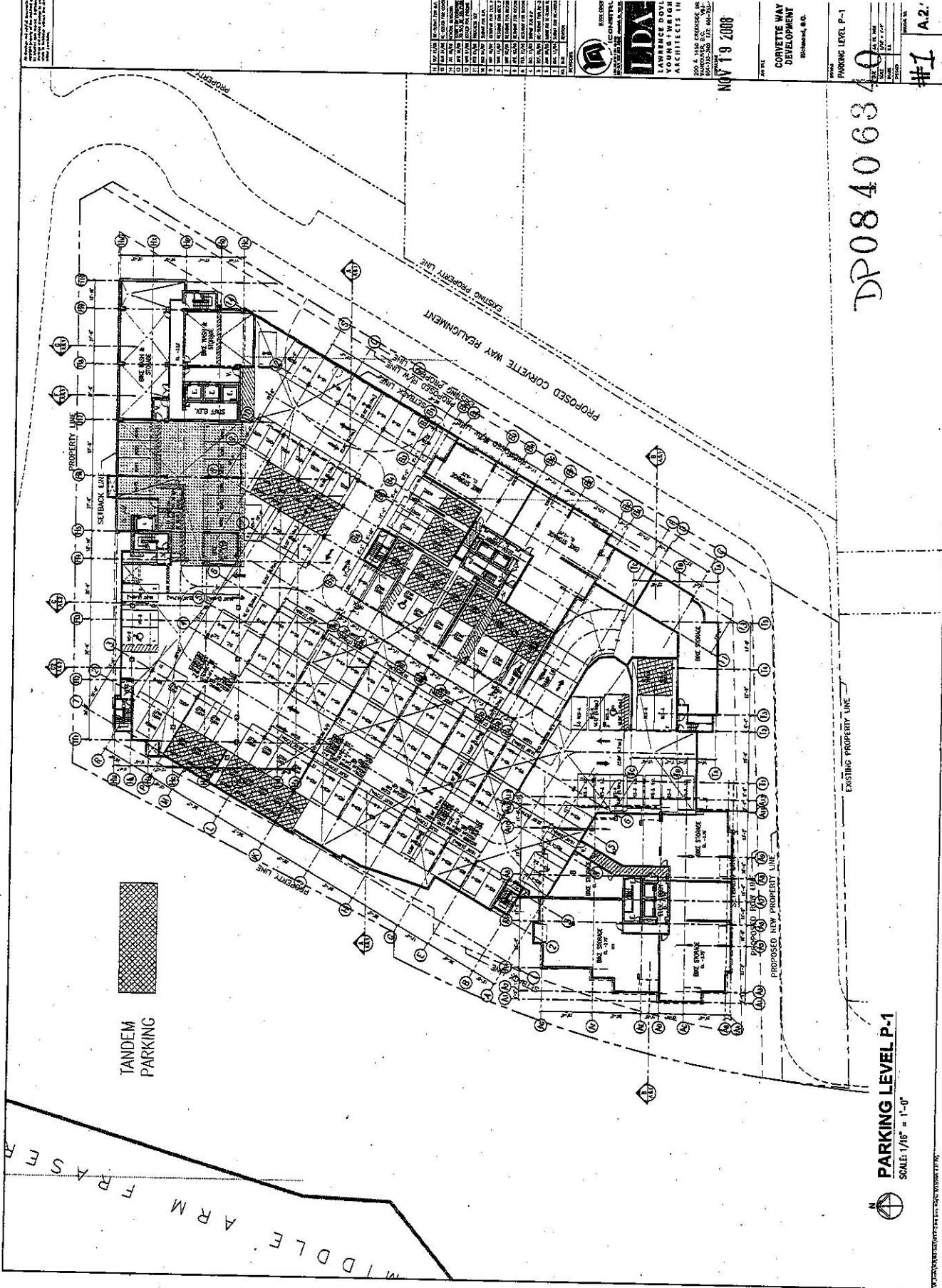
**DP 08-406340
SCHEDULE "A"**

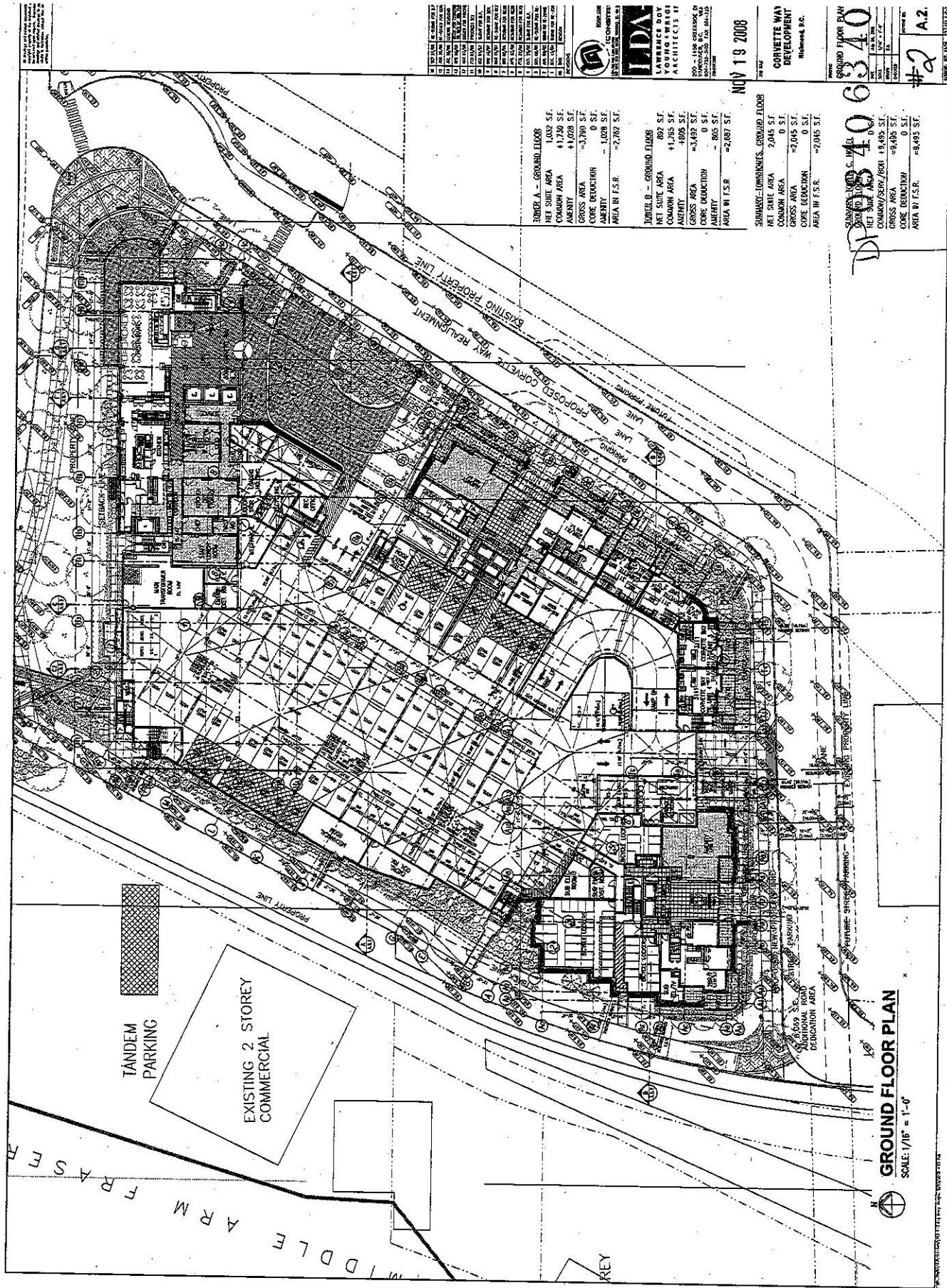


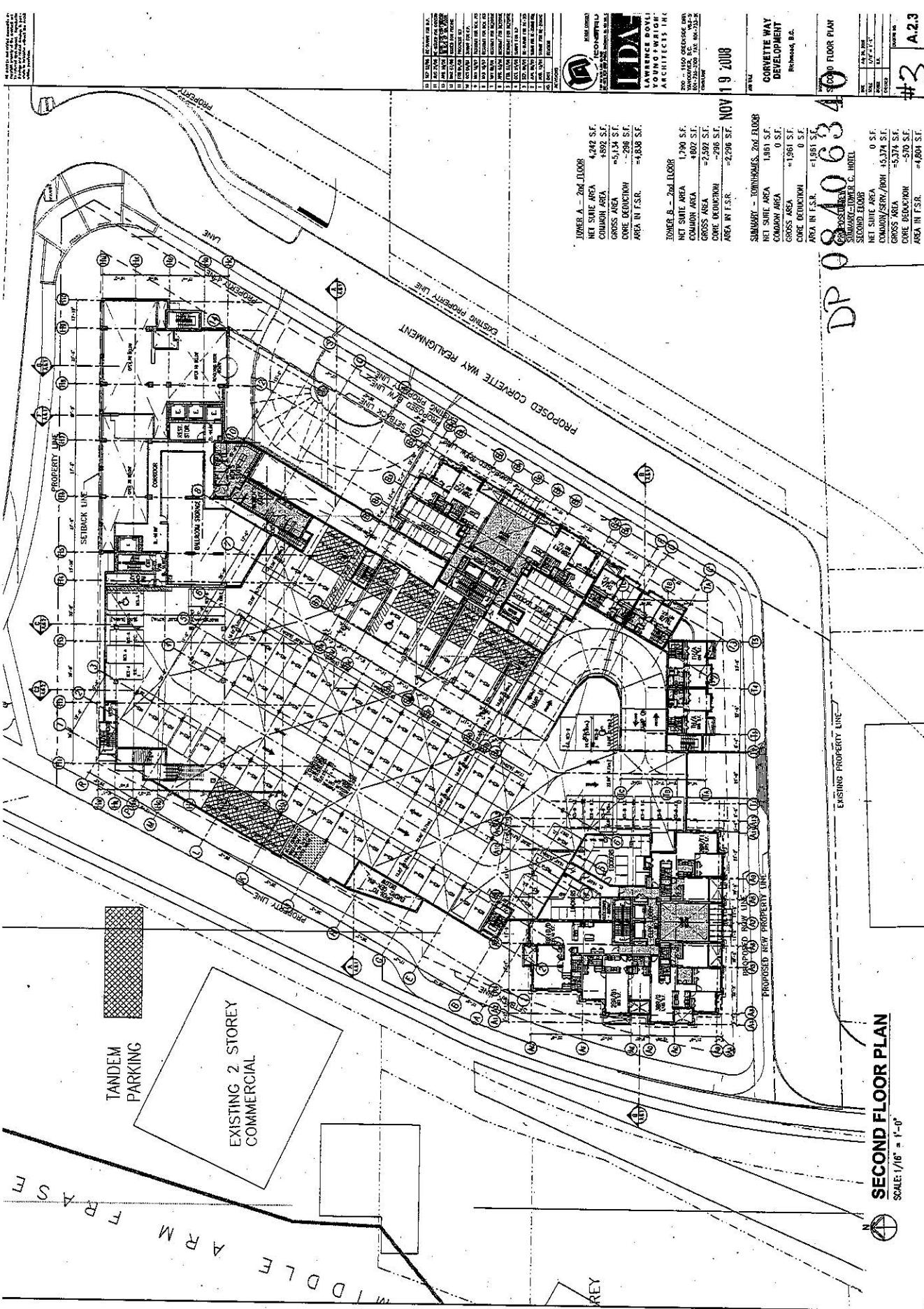
Original Date: 02/27/08

*
Revision Date:

Note: Dimensions are in METRES

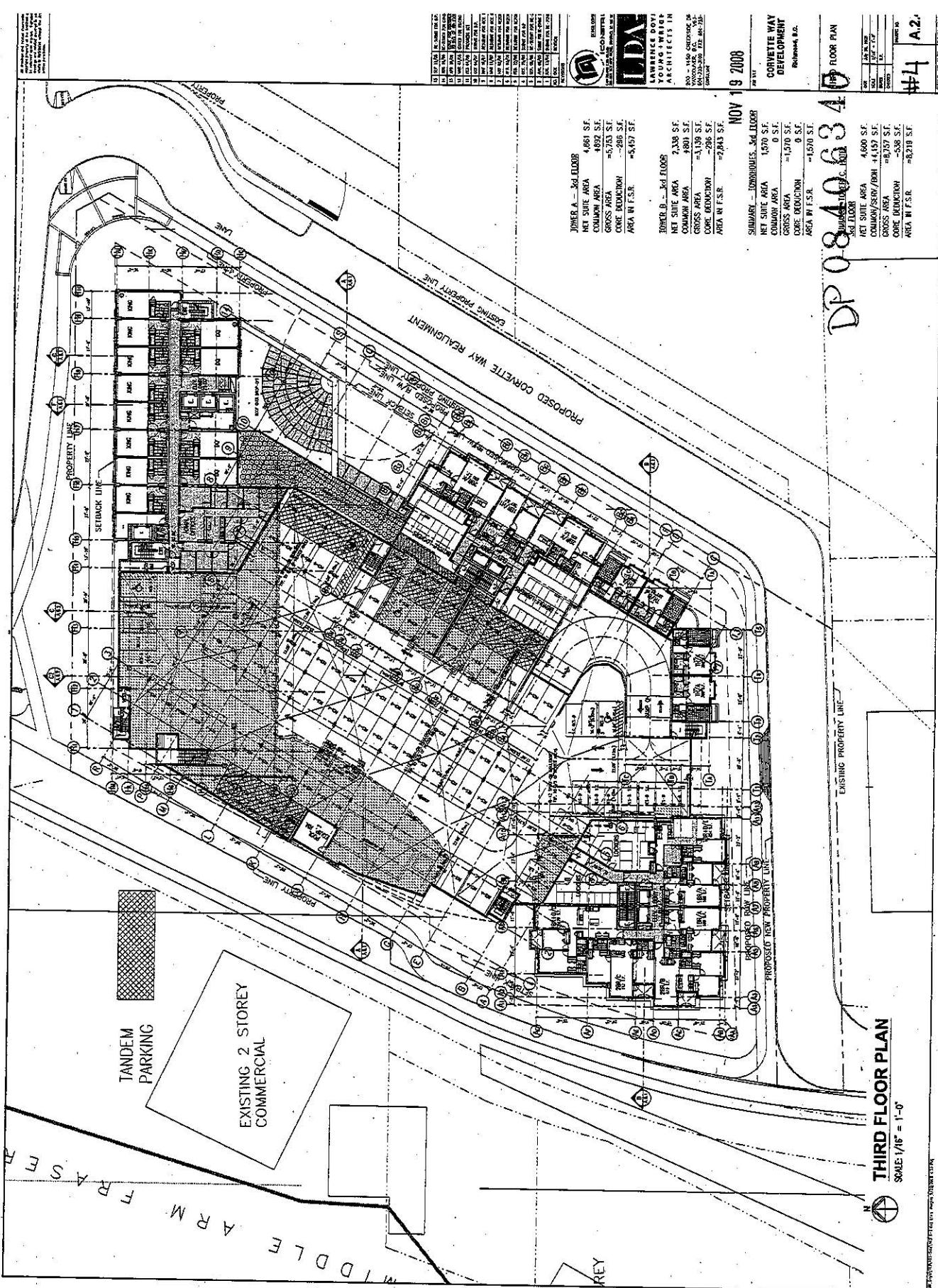


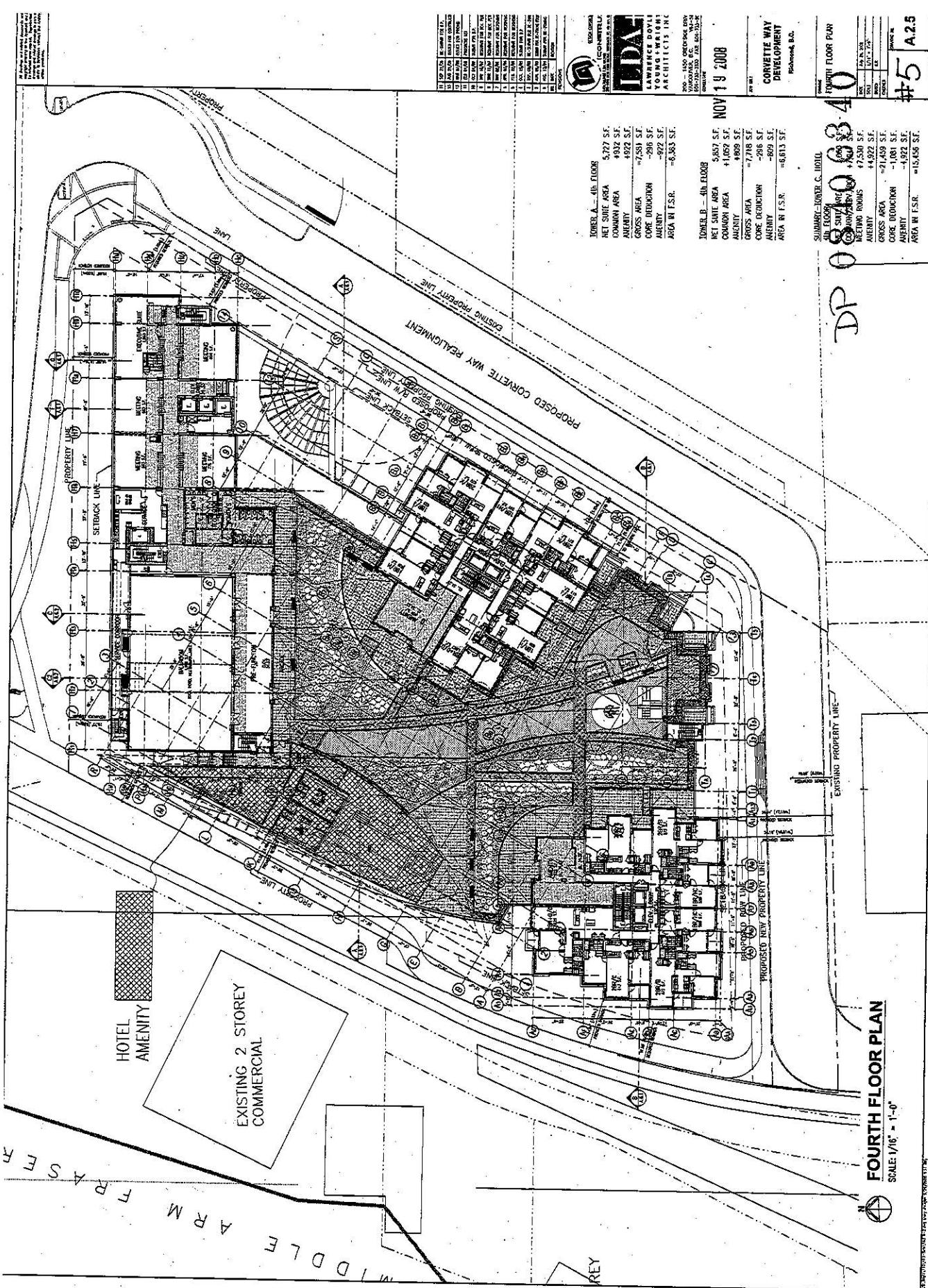


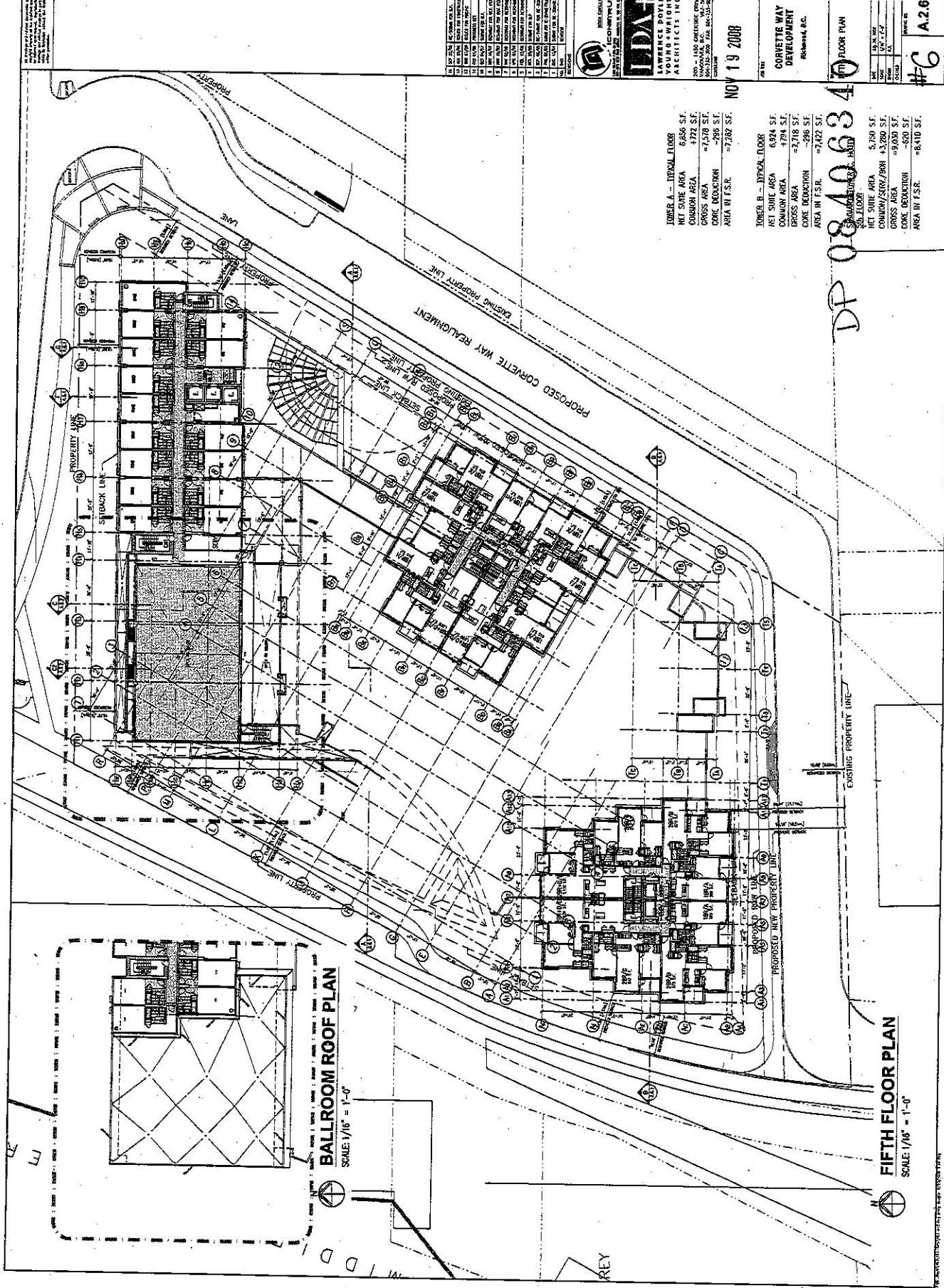


#3

A2.3







PARKING HOISTS.
"SMALL CAR" AND "MOTOR" PARKING
SPACES WILL BE PROVIDED ON SITE.
PARKING SPACES FOR PHYSICALLY
DISABLED PERSONS WILL BE PROVIDED
WITH VERDANT SERVICE TO CITY OF
SEASIDE AND SURROUNDING AREAS.

FEDERAL HOLES.
USE WALL HOLE #1 FOR 2-1/2" IR
RAID MACHINERY, SHAFT, REAR IR
WALL, SPEECH A.I., FOR SHIFT WIR
HORIZONTAL APPLICATION.
USE 6" STEEL STUD WALL, WHERE
SHEARING LOADS ARE CONCERNED
HIPS, AND DOORS EXPOSED.
PACIFIC COAST LOCATED
USE 3-3/8" STEEL STUD WALL, WHERE
ELECTRICAL PARTS ARE LOCATED.
#3-1/2" SUPPORTED ON CLAWED
ELEPHANT LEGS.

PROPERTY LINE

PARKING LEVEL P-1 - HOTEL

NOV 19 2008

PARKING LEVEL P-1 - HOTEL

TABLE I

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PARKADE NOTES:

1. "SAIL CAP" AND "WESTER" PARKADE SPACES WILL BE USED ON SITE FOR PERSONALLY DESIGNED PERSONS WHO DO NOT WANT TO VENTURE OUT OF PARKADE SIGHTING.

PRIVATE HOLES

1. "SAIL CAR" WITH
SPACES FOR
PARKING SPACES
FOR DISABLED PERSON
WITH YARDCA ST
ROCKWOOD STUDY

SEA

PROPERTY LINE



DO - 1450 CEDARWOOD DR.
VANCOUVER, B.C.

CORVETTE H

DETERMINEN

FLOOR PLAN

A.3.6

GROUND FLOOR PLAN - HOTEL

NOTE: ALL ROOMS ARE 10' x 12'
SLEEPER TO A A 4' x 6' SLEEPER
SLEEPER TO B B 4' x 6' SLEEPER
SLEEPER TO C C 4' x 6' SLEEPER

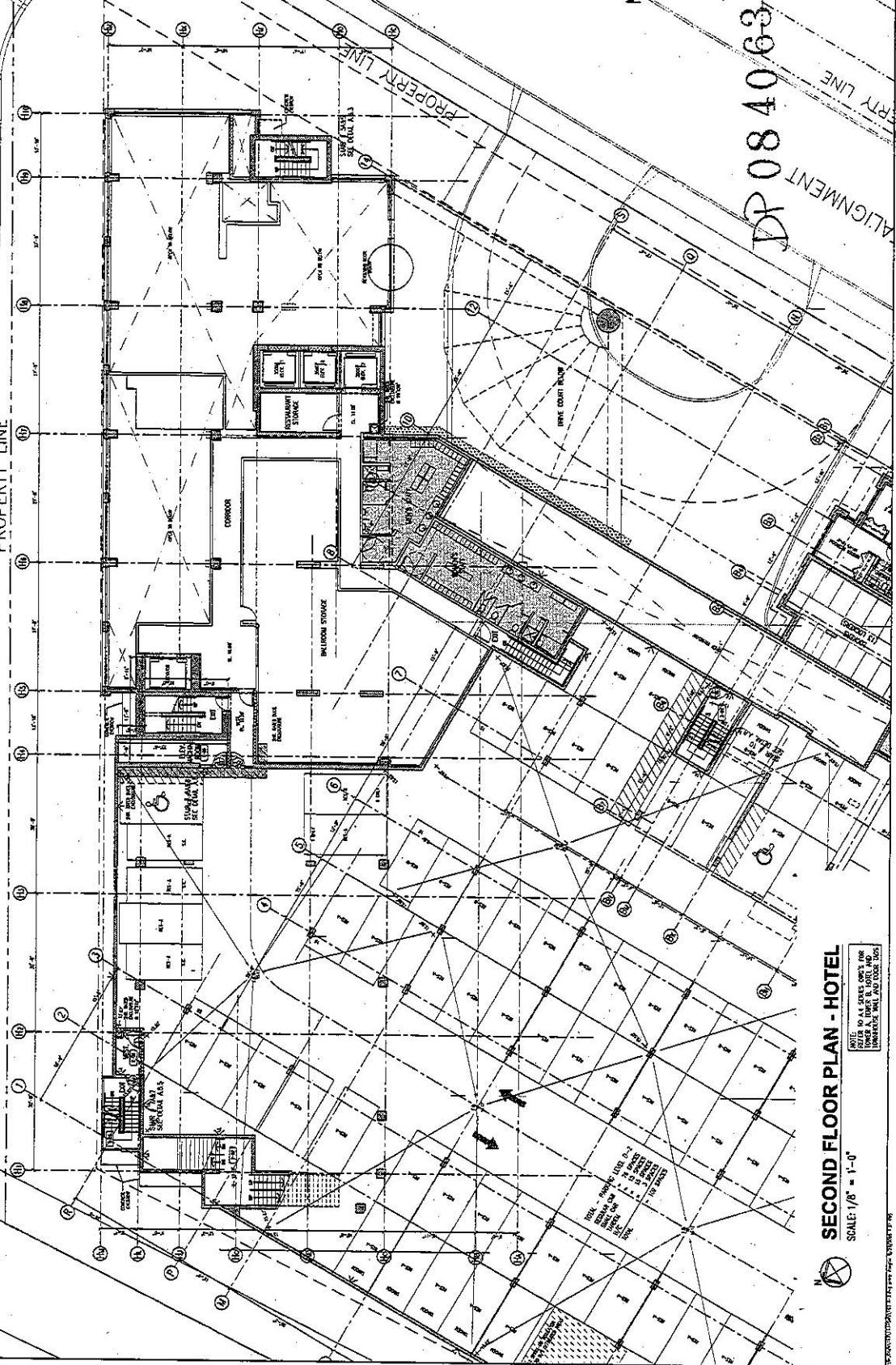
SCALE: 1/8" = 1'-0"

PERMISSIBLE MILLS:

1. SMALL CAR AND VEHICLE PARKING SPACES WILL BE PROVIDED ON SITE.
2. BOARD AND BARRICADE WALLS WITH PERMIT ISSUED BY CITY OF PHOENIX SWARZENSKI.
3. USE 3'-0" X 5'-0" STEEL BARS WHERE HORIZONTAL PROFILE ARE LOCATED.
4. DRAINS AND DRAIRY CLEARS IN DRAINS.

SEAIS

PROPERTY LINE



SECOND FLOOR PLAN - HOTEL

SCALE: 1/8" = 1'-0"

NOTE: TO A STATE FOR THE S.E. SIDE OF THE HOTEL AND THE N.E. SIDE OF THE HOTEL WALL AND DOORS.

ALIGNMENT

PRT LINE

DR 0840634

#9 A.31

FLOOR PLAN HOTEL
NOV 19 2008
LAWRENCE DOYLE
YOUNG & WRIGHT
ARCHITECTS INC.
20250 GLENWOOD DR.
SUITE 100
MICHIGAN CITY,
IN 46360
TEL: 219/879-3254
FAX: 219/879-3254
E-MAIL: LDOYLE@YOUNGWRIGHT.COM
WWW.YOUNGWRIGHT.COMCORNETTE WAY
DEVELOPMENT
Midwest, Inc.

S E A I S

PARKADE HOMES:

1. "SMALL OFF AND "VISITOR" PARKING SPACES WILL BE LABELED ON SITE.
2. EXISTING SPACES FOR PHYSICALLY DISABLED PERSONS WILL BE PARKADE SPACES WITH VISUAL SIGNAL TO CITY OF RICHARD SUMMERS.

PILES,
ALL TYPE II FOR A.I.L. 2-18
RECOMMENDED. SHIFT, REFER TO
SECTION A.1.5 FOR SHIFT WALL
APPLICATION.
STEEL STUD SHELL
WERS, 3 & 1 CENTIFER
WALLS, SECTION
A.1.5 ARE LOCATED.
STEEL STUD WALL WHERE
PANELS ARE LOCATED.
SUBSTRATE DAY, CEANS Q
10000.

PROPERTY LINE



2000

CORVETTE WAY
DEVELOPMENT

GRO FLOOR PLAN

AIR FLOOR PLAN - HOI

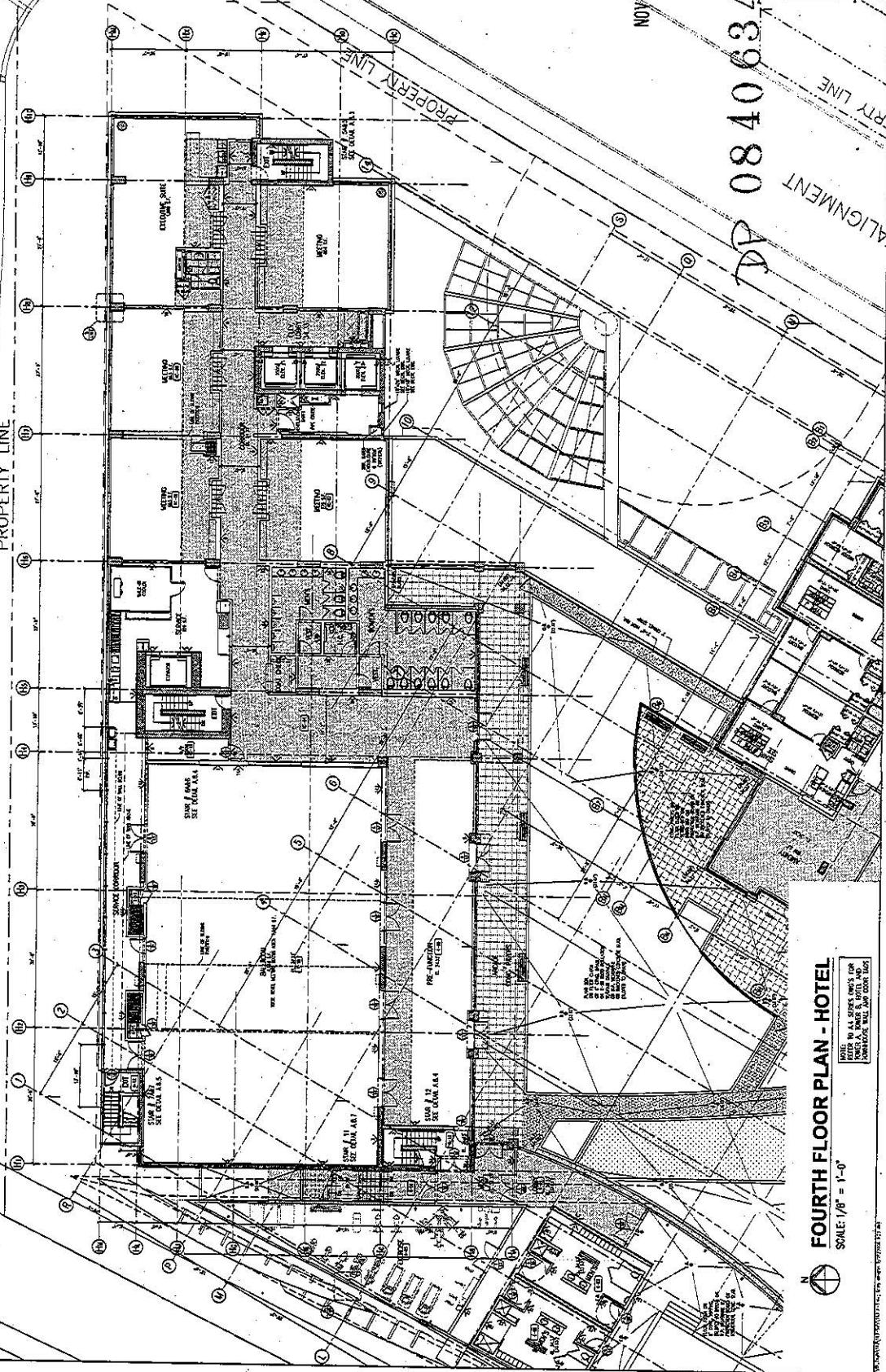
SCALE: 1/6" = 1'-0"

Refugee 10 A4 SIEGE'S OWN'S FOR
HOST & A TOWER B, HEDD, AND
TOMMYDUE TELL AND DOOR TAGS

S E A I S

- GENERAL NOTES:**
1. USE PLAN FIG. 1 FOR AL 7-88 AND PLAN FIG. 2 FOR AL 7-88 MODIFIED APPLICABLE TO THIS DRAWING.
 2. ALL DIMENSIONS ARE IN FEET AND INCHES.
 3. ALL ROOMS ARE LOCATED ON THE FLOOR PLANS.
 4. ALL DRAWINGS ARE IN SCALE.
 5. ALL DRAWINGS ARE IN SCALE.

PROPERTY LINE



FOURTH FLOOR PLAN - HOTEL

SCALE: 1/8" = 1'-0"

NOTE: REFER TO ALL SECTIONS FOR
DETAILS TO ALL SECTIONS FOR
DOORS & OPENINGS AND
WALLS ARE TO BE PLASTERED.

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#11 A.3.1

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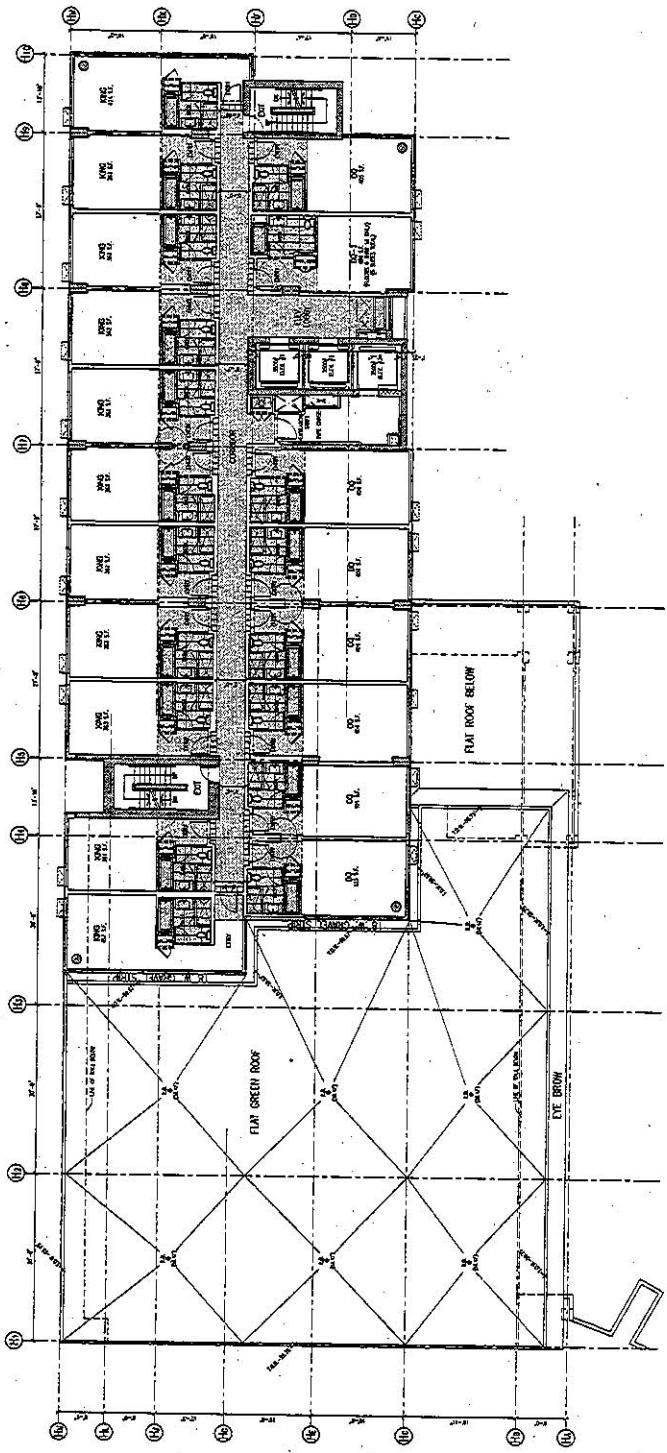
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11

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GENERAL NOTES:

1. ALL WALLS ARE TO BE 1'-0" THICK.
2. WALL SHELL AND THE SWING BULL MARKET AVENUE.
3. SWING DOORS & EXTERIOR DOORS AND WOOD CONSTRUCTION.
4. USE 3/4" X 1" STUDS FOR INTERNAL WALLS.
5. DRYWALL PANELS ARE LOCATED.
6. T-1 M DOORS TO BE LOCATED.
7. 1/4" GROUTING ON CEILINGS.
8. FLOOR LEVEL.



6TH FLOOR PLAN - HOTEL

SCALE: 1/8" = 1'-0"

NOTE: 1. ALL SPACES ARE 2' 0" DEEP.
2. INC. IN ALL SPACES ARE 2' 0" DEEP.
3. INC. IN ALL SPACES ARE 2' 0" DEEP.

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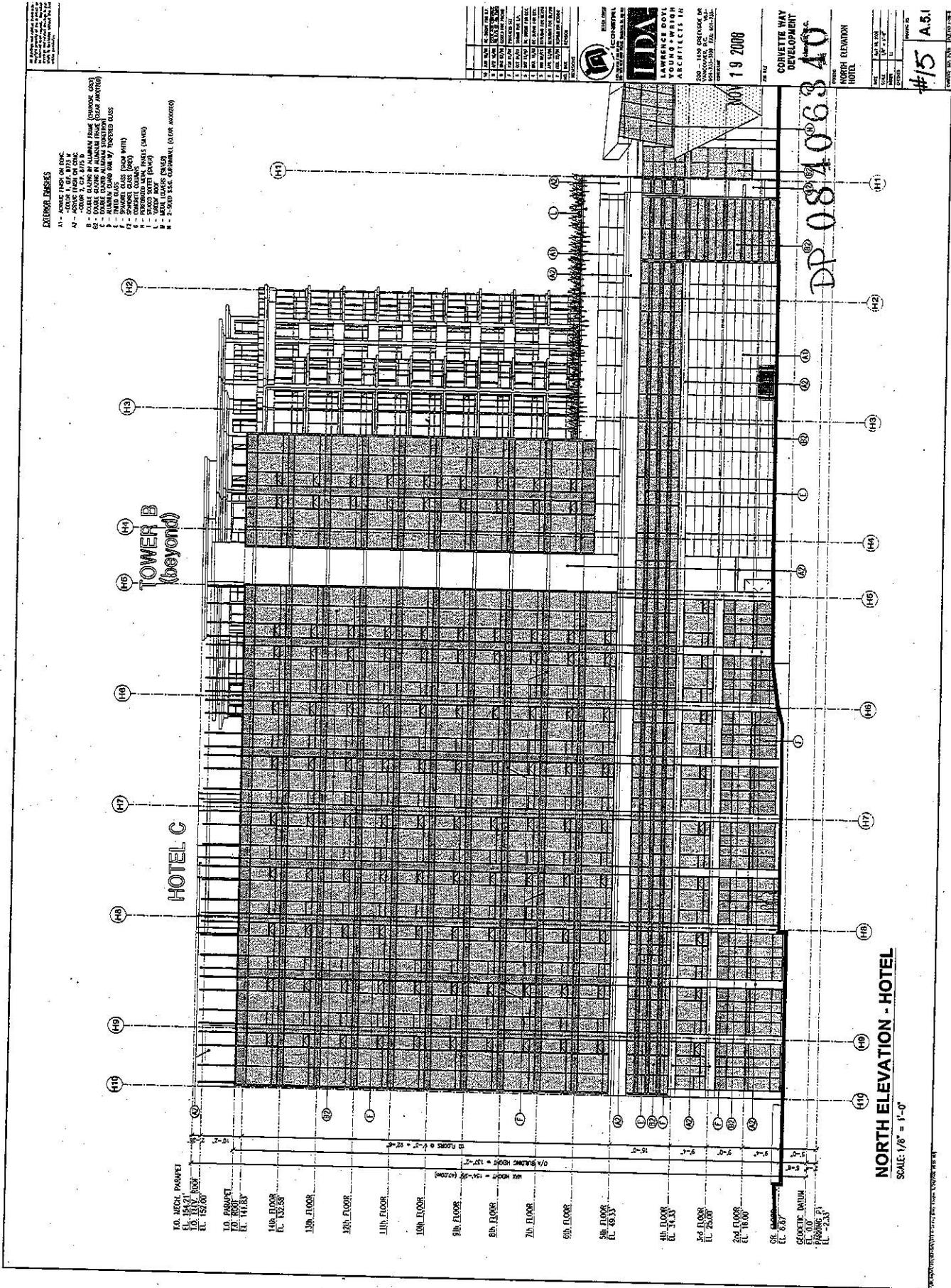
DP 084063
40

CONVERSE WAY
DEVELOPMENT
PROPERTY, L.C.
6TH FLOOR PLAN
HOTEL

#13 | A.3.1



KOLBROOK
CONSULTANTS LTD.
LAWRENCE DOYLE
YOUNG + WRIGHT
ARCHITECTS INC.
1150 CONVERSE LANE
VANCOUVER, BC V6P 5A3
TEL: 604-541-2000 FAX: 604-541-2000



ELEVATION DETAILS

AI - ASYM. TAPER OF CROP.
CROP 1. EXP. 1/8 IN.
N - NOSE
D - DOWNSLOPE
U - UP-SLOPE
P - DOUBLE DOWNG. IN A HORIZONTAL PLANE (OPENING, GROOVES)
P1 - DOUBLE DOWNG. IN A VERTICAL PLANE (GROOVES, ANCHORS)
D1 - HORIZONTAL GROOVES FOR V. DOWN SLOPING PLANE
D2 - VERTICAL GROOVES FOR H. DOWN SLOPING PLANE
T - SPONGE GROOVES (OPEN WELT)
C - CROWN GROOVES
P2 - DOUBLE DOWNT. SWEEP
L - LOWER FLOOR
U1 - UPPER FLOOR
N - NARROW SIDE (WALL, DOOR, WINDOW)
W - WIDENED SIDE (WALL, DOOR, WINDOW)

Y.O. VEGG. PARAPET

BL 15421

FL 14191

FC 15208

BL PROJECT 141

FL 14191

FC 15208

10th FLOOR

BL 15421

FL 14191

FC 15208

11th FLOOR

BL 15421

FL 14191

FC 15208

12th FLOOR

BL 15421

FL 14191

FC 15208

13th FLOOR

BL 15421

FL 14191

FC 15208

14th FLOOR

BL 15421

FL 14191

FC 15208

15th FLOOR

BL 15421

FL 14191

FC 15208

16th FLOOR

BL 15421

FL 14191

FC 15208

17th FLOOR

BL 15421

FL 14191

FC 15208

18th FLOOR

BL 15421

FL 14191

FC 15208

19th FLOOR

BL 15421

FL 14191

FC 15208

20th FLOOR

BL 15421

FL 14191

FC 15208

21st FLOOR

BL 15421

FL 14191

FC 15208

POLE C
(beyond)

(P)

(Q)

(R)

(S)

(T)

(U)

(V)

(W)

(X)

(Y)

(Z)

(AA)

(BB)

(CC)

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(HH)

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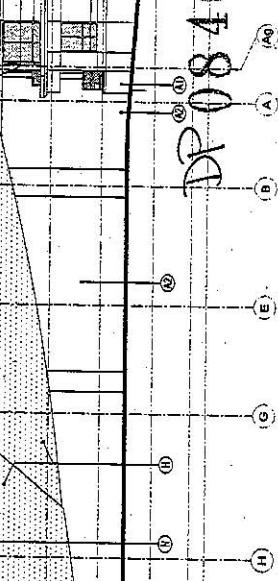
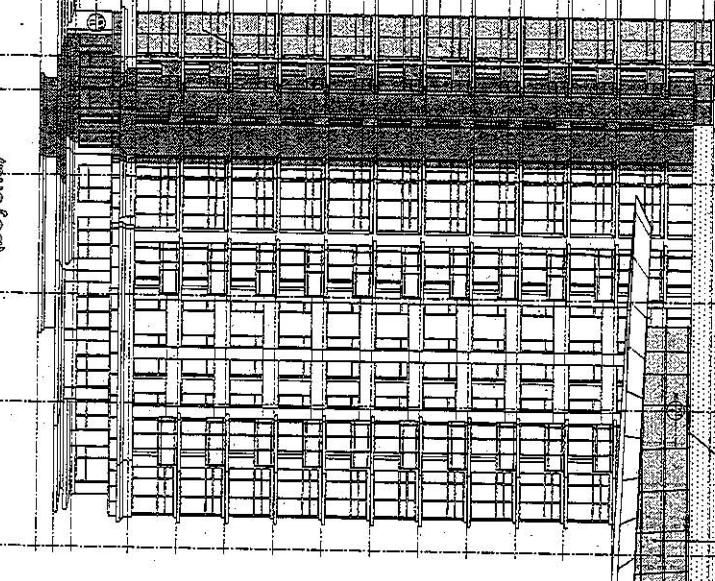
(VV)

(WW)

(XX)

(YY)

(ZZ)

TOWER B
(beyond)

NOV 19 2008

CONVENT WAY
DEVELOPMENT
Residence B.C.
LAWRENCE DOYLE
YOUNG & WRIGHT
ARCHITECTS INC
1100 1/2 GEORGIA ST.
Vancouver, B.C.
V6C 1B2
TEL: 604-685-5500
FAX: 604-685-5505

WEST ELEVATION / HOTEL-AMENITY
DP 084063

SCALE 1/8" = 1'-0"

WEST ELEVATION / HOTEL-AMENITY

SCALE 1/8" = 1'-0"

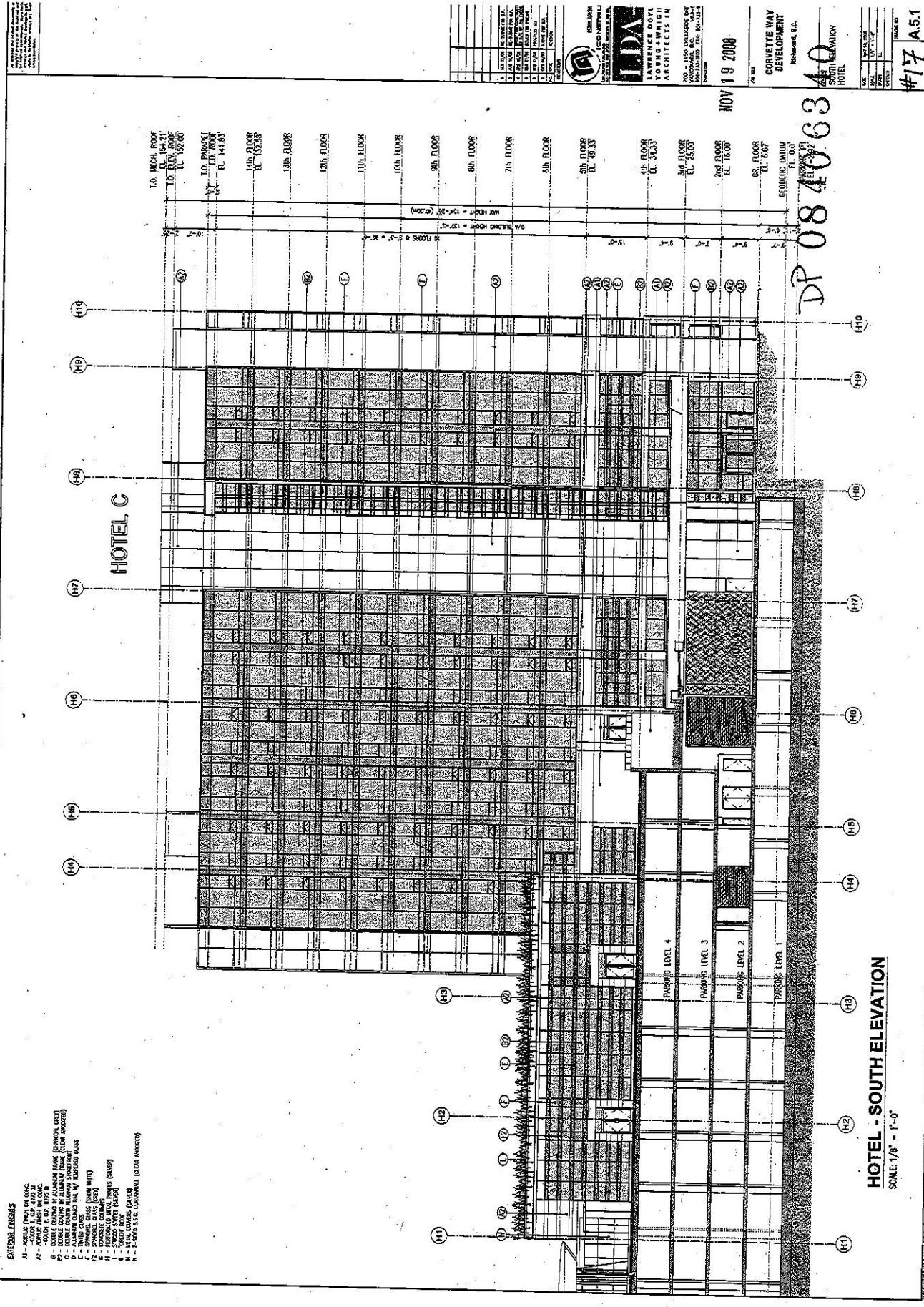
WEST ELEVATION / HOTEL-AMENITY

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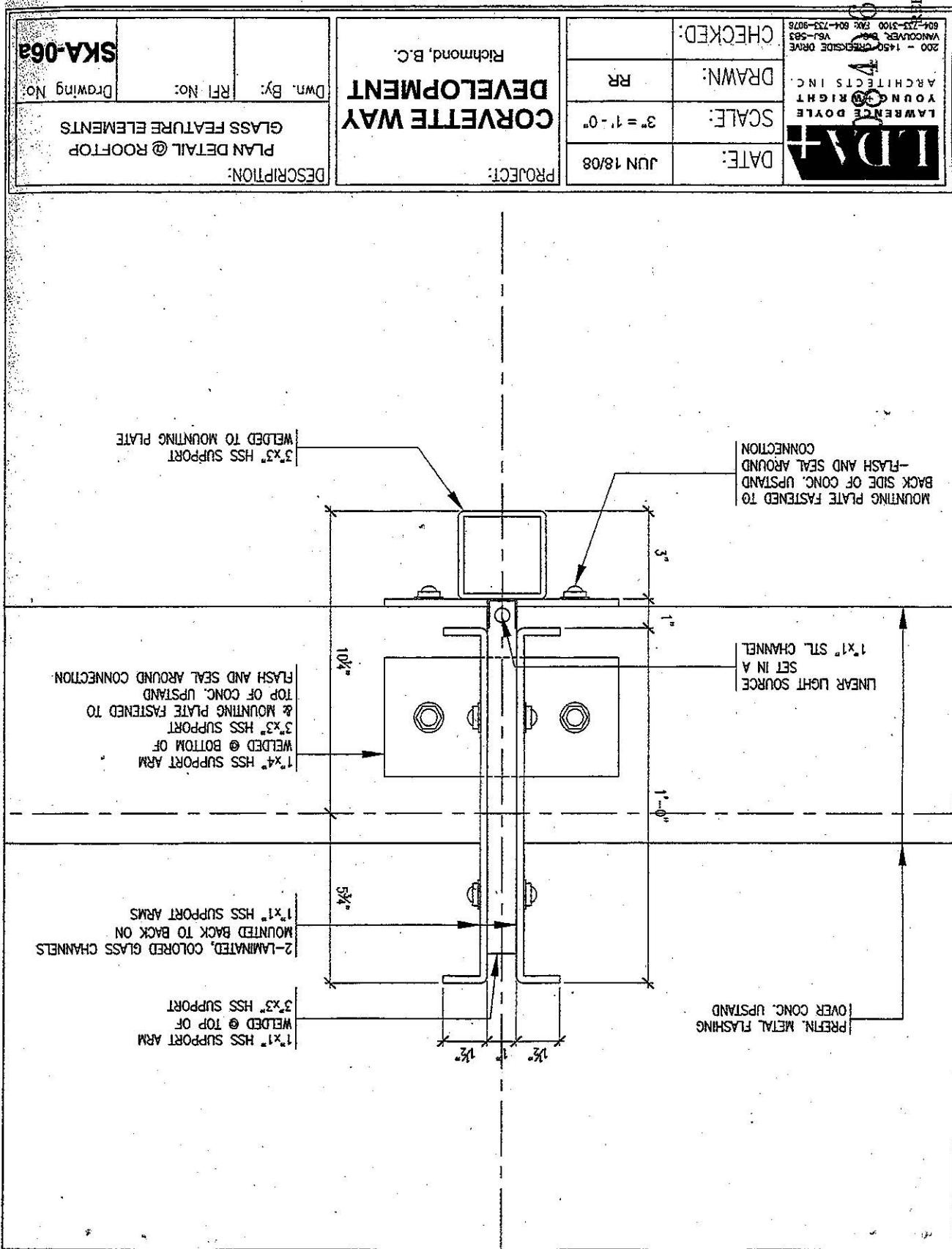
#16 A.5.8

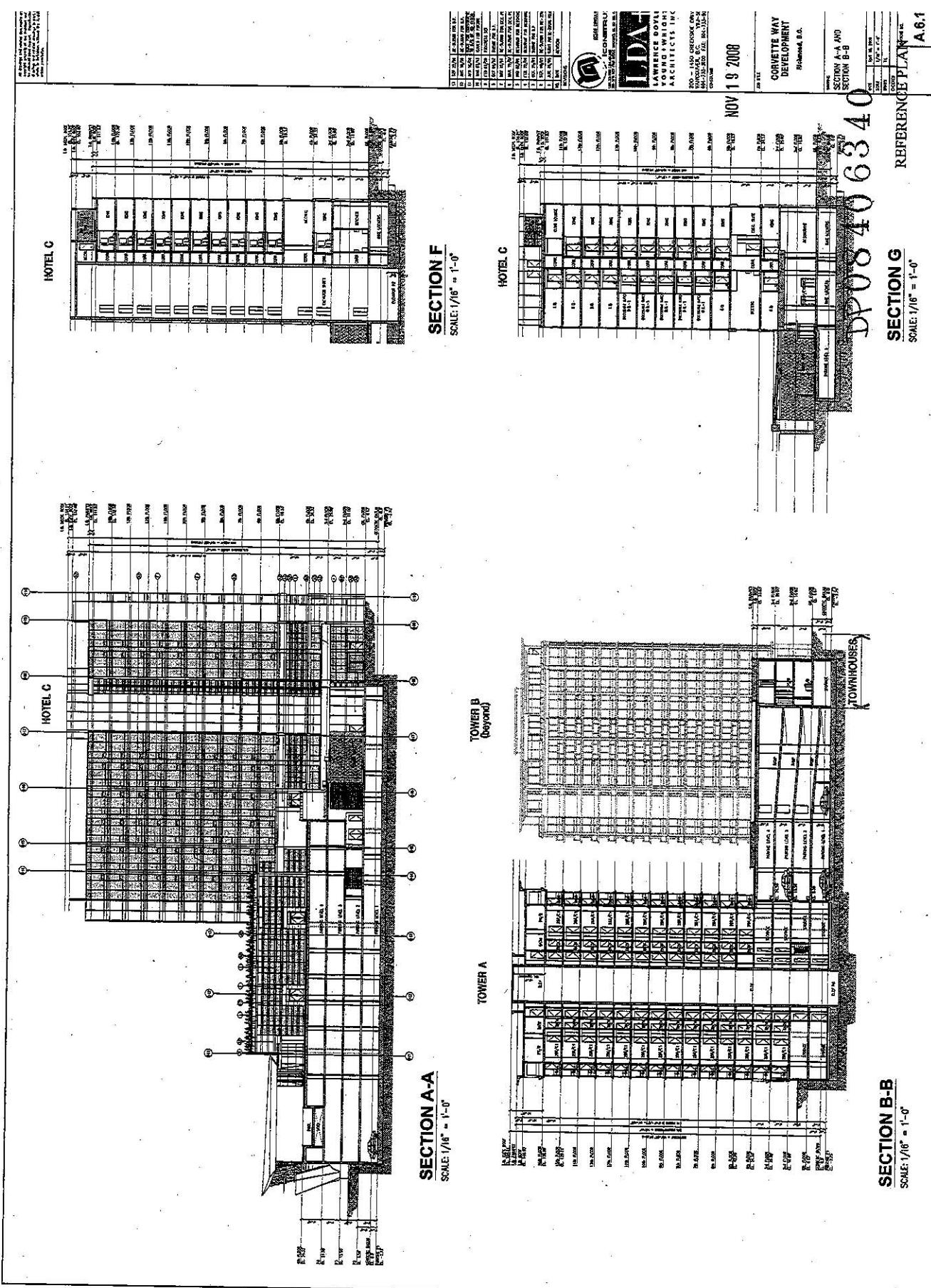
EXTERIOR FINISHES	
A1 - AGROIC	IMPERIAL CONCRETE
-OLIVE	GP. #712 S
A2 - ANGUS	IMPERIAL CONCRETE
-OLIVE	GP. #715 D
B1 - DAIRY	GUARD IN ALUMINUM
B2 - DOUBLE GUARD	GUARD IN ALUMINUM
C - DOUBLE GUARD	GUARD IN ALUMINUM
D - ALUMINUM	GUARD IN ALUMINUM
E - TRINED GUS	SPRINGLESS GLASS (SNOW WHITE)
F - SPONGEGLASS	SPONGEGLASS (SWEET)
G - CONCRETE	CONCRETE (MILK PAILS)
H - STUCCO	STUCCO (SPLIT STUCCO)
I - STUCCO	STUCCO (SPLIT STUCCO)
J - TROWEL	TROWEL (IRON)
K - IN-OUT COVERS	COVERS (SPLIT)
L - K-2500 SSS	DECKING (SPLIT)

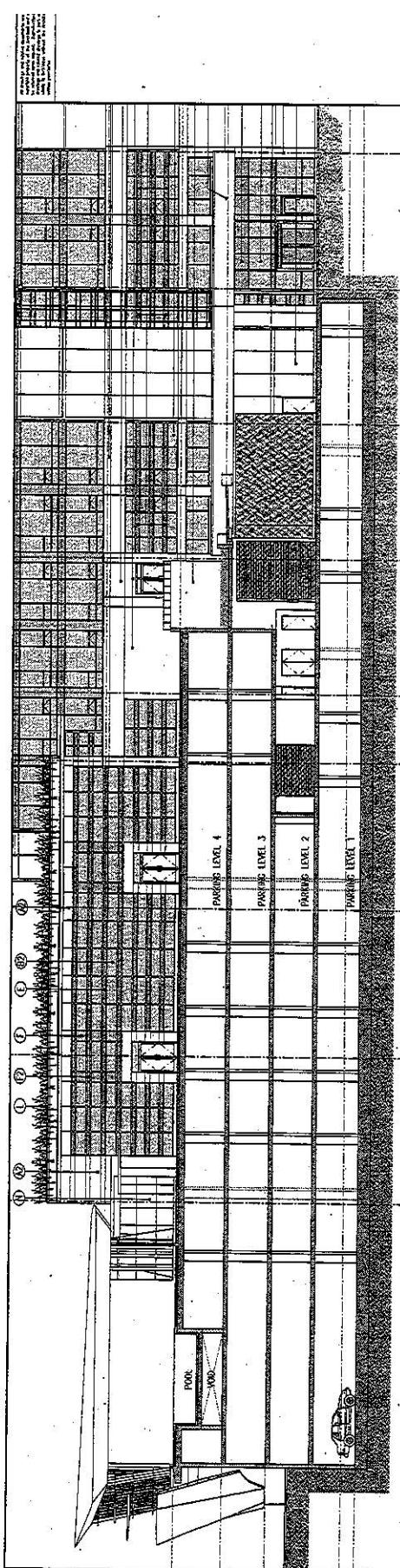
HOTEL



SCALE 1/8 = 1'-0.

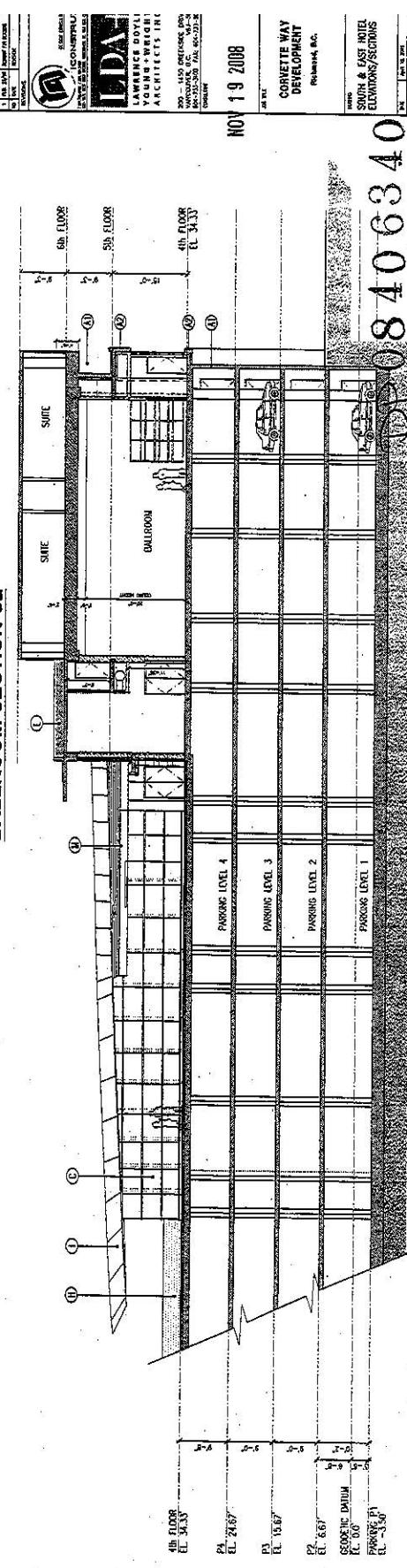
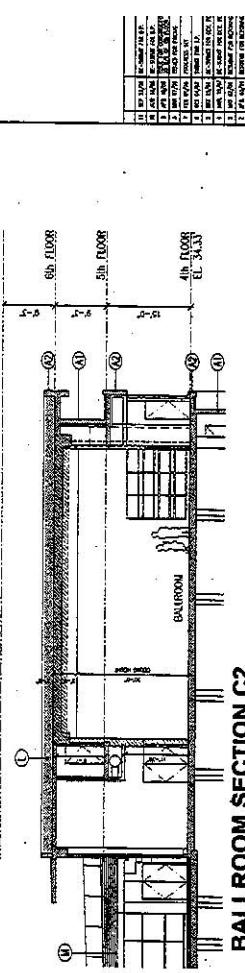






SECTION A-A HOTEL SOUTH ELEVATION/SECTION

SCALE: 1/8" = 1'-0"



AMENITY EAST ELEVATION/BALLROOM SECTION C3

SCALE: 1/8" = 1'-0"

REFERENCE PLAN A.6.2

NOV 19 2008

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CORNETTE WAY
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PARKADE, INC.

SOUTH EAST HOTEL
ELEVATORS/SECURITY

840 6340

