



City of Richmond
Planning and Development Department

**Report to
Development Permit Panel**

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: October 17, 2011
File: DP 10-557920
Re: Application by W.T. Leung Architects Inc., on behalf of Concord Pacific
Developments Inc., for a Development Permit at 9099 Cook Road

Staff Recommendations

1. That the Transportation (Construction) Management Plan attached to this report be supported;
and
2. That a Development Permit be issued which would permit the construction of approximately 142 units, of which seven (7) will be secured as affordable housing, within a 16-storey high-rise residential tower, a six-storey mid-rise building, 11 two-storey townhouse units with ground level entry, and an enclosed parking structure on a site being rezoned to "High Rise Apartment (ZHR9) – North McLennan (City Centre).

Brian J. Jackson, MCIP
Director of Development

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Att.

Staff Report

Origin

W.T. Leung Architects Inc., on behalf of Concord Pacific Developments Inc., has applied to the City of Richmond for permission to develop approximately 142 units, of which seven (7) will be secured as affordable housing, within a 16-storey high-rise residential tower, a six-storey mid-rise building, 11 two-storey townhouse units with ground level entry directly from the street or the north-south greenway, and an enclosed parking structure (**Schedule A**). The site is currently vacant.

The site is being rezoned from “Single Detached (RS1/F)” to “High Rise Apartment (ZHR9) – North McLennan (City Centre)” under Bylaw 8782.

A Servicing Agreement is required in association with the rezoning application (RZ 10-557918). Works include but are not limited to a new sanitary sewer, upgrades to an existing sanitary sewer, design and construction of frontage works, contribution toward consortium-committed upgrades for the North McLennan drainage area, design and construction of the greenway adjacent to Garden City Road, installation of a crosswalk across Cook Road, and completion of the north side sidewalk on Cook Road west of Garden City Road to Cooney Road.

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: A large multi-family development (“Hampton Court”) consisting of four (4) high-rise residential towers and associated townhouse units that incorporates east-west linkages to Garden City Road along the northern and southern edges of the development, and pedestrian boulevards that connect to the north-south pedestrian pathway system in the area. The site is zoned “High Rise Apartment (ZHR1)” and designated Residential Area 1 in the McLennan North Sub-Area Plan and Urban Centre T5 in the City Centre Area Plan (CCAP);
- To the east: 9233 Cook Road, a vacant parcel zoned “Single Detached (RS1/F)”, and designated Residential Area 1 in the McLennan North Sub-Area Plan and Urban Centre T5 in the CCAP;
- To the south: Cook Road and a multi-family development (“Garden City Residences”) consisting of two (2) high-rise towers, townhouse units along Cook Road, Katsura Street and Alberta Road, and commercial space fronting Garden City Road that is occupied by a Montessori Childcare Centre zoned “Residential/Limited Commercial (ZMU3)”, and designated Mixed Residential/Retail/Community Uses in the McLennan North Sub-Area Plan and Urban Centre T5 in the CCAP; and
- To the west: Garden City Road and an existing townhouse development zoned “Low Density Townhouses (RTL1), and designated General Urban T4 (15 m) in the CCAP Brighthouse Village Specific Land Use Map.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

Introduction of more texture to the façade of the enclosed garbage/recycling area.

The height of the greenscreen trellis panels have been reduced to align with the building's concrete frame and openings to strengthen the visual relationship between portions of the building. An additional greenscreen trellis panel has been added to wrap around the corner and extend the greenscreen treatment toward the parking overhead gate, which introduces texture to the elevation.

Design development of the roof parapet to declare the termination of the building.

The 15th and 16th storey are recessed and the balcony design varied to distinguish the top of the building and articulate the skyline.

Design development of the mid-rise roof treatment to minimize overlook concerns.

Colour gravel that is arranged in a pattern that compliments the design of the landscaped outdoor amenity space has been added to the rooftop of the mid-rise building.

Opportunities for further development of the north parkade elevation, including building articulation and introduction of large growing tree species.

The exposed portion of the parkade elevation is treated with a series of perforated aluminum panels that vary in size and are spaced to align with openings associated with the townhouse units. European Hornbeam and Serbian Spruce trees, and groundcover are proposed between the building edge and property.

Colour is to be applied to the box-rib corrugated metal siding above the tower lobby entrance, the east side of the lobby and the northeast façade.

The box rib corrugated metal siding is proposed to be a neutral shade that matches the Silver White Metallic colour used for the pre-finished aluminum window walls. Painting the underside of balconies (pastel blue, green, yellow or purple) will introduce colour to the elevations.

Relocation of the children's outdoor play area with consideration of its relationship to the indoor amenity space and amenity terrace. Based on the proportion of two-bedroom to one-bedroom units proposed, it is anticipated the development will attract many families and the outdoor amenity programming should respond to this need. In addition, any potential safety conflict between the children's outdoor amenity area and the water features is to be addressed.

The primary children's play area has been relocated from the northern end of the podium to a more central location with direct access to the outdoor amenity terrace and the water feature design has been updated.

Adjustment of landscaping at the podium level to minimize expansion of semi-private space into the common outdoor amenity area.

876 m² (9,436 ft²) of common outdoor amenity space is provided, which complies with the Official Community Plan (OCP). Programming of the area has been updated to establish a balance between active and passive spaces.

Details associated with the relocation of on-site trees.

A Japanese Hiba Arbor-Vitea and a Colorado Spruce are in good condition and will be relocated to the north-south greenway.

Reduction of the width of the hard surface treatment associated with the vehicle entry drive aisle.

The granite cobble used elsewhere on the site has been extended to demarcate the pedestrian access to the parkade on the west side of the drive aisle. This treatment contributes toward minimizing the visual prominence of the drive aisle and identifies the space as a pedestrian area. Also, the use of Ambleside Granite Cobble has been extended to the east side of the drive aisle alongside the garbage/recycling enclosure area.

Minimize the visual and physical impact of the loading space on the north-south greenway.

The strategic placement of bollards and hard surface material separate the loading space from the north-south greenway Right of Way (ROW) area and pathway.

Details associated with the width and location of the hard surface path within the north-south greenway.

The location, design and pathway width tapers associated with the design of the hard surface have been developed (Schedule A) and include reference to ultimate pathway width and improvements to be undertaken at the time the eastern adjacent property (9233 Cook Road) develops.

Planning Committee

At the June 26, 2011 Planning Committee meeting, staff were directed to:

- a) Review traffic patterns in the proximity of the development proposed for 9099 Cook Road generally and in relation to the existing daycare facility;
- b) Review the steps that can be taken to advise owners and residents in the immediate area regarding proposed developments; and
- c) Review the public transit plan to measure the adequacy of bus service in the area.

A memo has been prepared by the Director of Transportation and the Director of Development for consideration by the Mayor and Council. A copy is attached to this report as information (Attachment 6).

Public Hearing

The Public Hearing for the rezoning of this site was held on Tuesday, July 26, 2011. At the Public Hearing, the following concerns about rezoning the property were expressed by some area residents:

Concern that too much density is being accommodated both on-site and within the neighbourhood.

Development within the McLennan North Sub-Area neighbourhood is being undertaken in accordance with the neighbourhood plan, which was adopted by Council in 1996.

Opposition to the construction of a high-rise building on-site and the associated impact on the views of nearby residences, as well as the shadow effect of the proposed development.

The McLennan North Sub-Area Plan does not restrict height on the subject site. Further, the site is within an area in the CCAP where high-rise development is supported.

The proposed site plan and building design maximizes view corridors and minimizes shadow impact on adjacent properties (Attachment 4). The 16-storey tower is proposed to be located on the eastern portion of the subject site to maintain a minimum 24 m (78 ft.) separation from an existing tower within the northern adjacent "Hampton Court" development. The City's design guidelines support maintaining a minimum 24 m (78 ft.) separation between towers.

The location of the proposed tower also considers the existing residences located on the south side of Cook Road. Although the parcels are substantially separated by the width of Cook Road and associated public boulevards, the siting and design of the tower minimizes the view corridor impact on residents within the "Garden City Residences" development.

The tower is designed as a rectangular slab with a north-south orientation. The west elevation of the tower is angled to maximize view opportunities for residents of "Hampton Court" with south facing units. Similarly, the building's angular design results in a narrow southern building profile, which minimizes the building's impact on north facing residents of the "Garden City Residences" development.

Concern related to the impact of development on traffic patterns, congestion, traffic volume, speed, access to Garden City Road and the sentiment that there is a general shortage of off-street parking within the neighbourhood and a lack of public transit service within the neighbourhood. In addition, some residents expressed concern related to the management of vehicles during the construction phase and a lack of public transit service within the neighbourhood.

The McLennan North Sub-Area Plan includes a complete transportation network strategy designed to accommodate the density supported by the plan. Interim conditions, which maintain adequate width for two-way traffic, are in place in portions of the neighbourhood. Similar to the strategy applied in neighbourhoods throughout the City where extensive new road networks are required, the final road width will be achieved and introduced in association with future development.

Current vehicle volumes and speeds (on Katsura Road) were reviewed in a traffic study undertaken by Transportation staff following the Public Hearing. The results are typical of local street operation and no traffic calming measures or stop signs are recommended; however, monitoring of the area will continue.

The development proposed at 9099 Cook Road meets the Zoning Bylaw on-site parking requirements and also accommodates loading and garbage/recycling collection on-site. Off-street parking along Cook Road will remain. On-street parking is regulated by the Traffic Bylaw, which limits parking to three (3) hours between the hours of 8:00 am and 6:00 pm unless the abutting premises are the property or residence of the individual. Further, it is prohibited to park a vehicle at any one place on any street for a period longer than 48 consecutive hours.

As requested by Council following the Public Hearing for the rezoning of the site, the applicant has provided a Traffic (Construction) Management Plan which outlines the

provision of off-site parking for employees, shuttle service, and confirmation that staging will be accommodated on-site (Attachment 2).

The impact of tree removal associated with development.

42 of the 45 trees on-site are to be removed due to marginal health and/or conflict with the proposed building envelope that could not be addressed by minor alterations to the building footprint. The removal of these trees will be compensated at a 2:1 ratio in accordance with the OCP. Two (2) trees will be relocated within the north-south greenway and a Douglas Fir, which is located at the northeast corner of the site within the north-south greenway, will be retained. The proposed retention and removal of trees was assessed by the City Tree Preservation Officer in accordance with the City's Tree Protection Bylaw 8057.

The impact of development on school enrolment rates.

This application was not referred to School District No. 38 (Richmond) as part of the rezoning review process because the proposed development complies with the OCP. The referral policy was developed with direct consultation and input from the School District who determined the conditions for formal referral.

Subsequent to the Public Hearing, details associated with the proposed development were forwarded to the School Board as information.

The inclusion of affordable housing units will create a security issue for others within the development and the neighbourhood.

Richmond City Council adopted the Affordable Housing Strategy, which requires a contractual agreement between the property owner and the City of Richmond registered on title that ensures affordability terms established by the City remain in effect. Developments consisting of 80 or more units must secure units as part of the development. The seven (7) affordable units proposed on-site are in accordance with the policy and ownership will be retained as a block.

As a result of the comments heard during the Public Hearing and the correspondence received from area residents, Council introduced the following requirements to be associated with the subject development application:

The rezoning bylaw (Bylaw No. 8782) was given second and third readings provided the following conditions are met prior to fourth reading. The terms include:

1. Council consideration of a Traffic (Construction) Management Plan. Submission of a Traffic (Construction) Management Plan is typically required prior to issuance of a Building Permit. However, based on concerns expressed at the Public Hearing related to the potential impact of construction traffic and parking on the neighbourhood, the details of the plan were required as part of the Development Permit review process and are outlined below; and
2. Registration of a covenant on-site to advise future residents of 9099 Cook Road of the future development potential of the adjacent eastern lot (9233 Cook Road) and the associated potential impacts including construction noise, dust, impact on view corridors

and building shadow affects and other disturbances or nuisances that may result from active development within proximity of the site.

As a result of discussion during the Public Hearing, it is also required that the Development Permit (DP 10-557920) is issued on the same evening as the rezoning bylaw is adopted.

Traffic (Construction) Management Plan

A Traffic (Construction) Management Plan (**Attachment 2**) has been reviewed and accepted by Transportation Engineering. Details associated with the plan include the following:

- Employees will park off-site at 8511 Capstan Way at a site owned by the project proponent, or an alternative off-site location will be leased by the applicant for use by employees;
- Approximately 60 parking stalls will be required for employees working at 9099 Cook Road. 8511 Capstan Way is currently used as a sales centre and has a parking surplus of 23 stalls. Expansion of the parking area to the east side of the property can accommodate an additional 106 parking stalls; thereby exceeding the total number of required parking spaces;
- Employees will be transported to and from the project site by two (2) eight (8) person shuttle vehicles between the hours of 6:00 am – 10:00 am and 3:00 pm – 7:00 pm. Employees will be dropped off and picked up on-site. The loading area is located between the Cook Road curb and the building face of the future mid-rise building;
- Designated staging areas are indicated on the attached plan and will contain all site activities (**Attachment 2**). A single crane will be located inside the property at the project parking entry ramp;
- An elevated office will be located above construction hoarding along Garden City Road; and
- To ensure a safe separation of uses, temporary fencing will be installed at the edge of the road curb. Traffic controllers will be on-site to direct vehicle traffic in and out of the site and to ensure that vehicles turn around on-site and leave in a forward direction.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the High Rise Apartment (ZHR9)-North McLennan (City Centre) zone.

Advisory Design Panel Comments

The development proposal was considered by the Advisory Design Panel on August 17, 2011. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (**Attachment 3**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '**bold text**'.

Analysis

Conditions of Adjacency

The at grade uses along Garden City Road, Cook Road and the north-south greenway, include residential units with ground level street fronting access and building lobbies to effectively

screen the building parkade on three (3) of four (4) building frontages. The form and massing of the buildings proposed on-site is sensitive to the existing neighbourhood context.

Garden City Road Frontage

- A series of four (4) two-storey townhouse units and the mid-rise building lobby effectively screen the building parkade from view along Garden City Road. Further, the townhouse unit located at the northwest corner of the building extends around the corner to minimize the visibility of the enclosed parking elevation.
- The townhouse units are set back a minimum 6 m (19 ft.) from Garden City Road. Individual unit patios are permitted to encroach into the setback and are less than 1 m (3 ft.) above grade; thereby ensuring an active interaction is maintained between the units and the extension of the adjacent Garden City Road Greenway that will be undertaken in association with the subject application.

Cook Road Frontage

- Vehicle access to the site is limited to Cook Road. The Cook Road frontage is anchored by a lobby at both ends of the building and includes individual townhouse units with direct pedestrian access from Cook Road. The interruption of residential uses at street level by the drive aisle is softened by hard and soft surface materials. The garbage/recycling facility, located adjacent to the parking drive aisle, is enclosed and the building elevation treated with brick masonry and a greenscreen trellis.
- Individual townhouse unit patios are elevated approximately 0.5 m (1.6 ft.) from the sidewalk and retain a pedestrian scale relationship with Cook Road.

East Frontage/North-South Greenway

- The eastern edge of the site provides for a north-south pedestrian and cyclist greenway that continues the existing north-south pedestrian network that links public open spaces, public uses and community focal points within the neighbourhood. Details associated with the design of the north-south greenway are discussed in a subsequent section of this report.
- The required on-site loading space is located between a water feature adjacent to the high-rise lobby entrance and the north-south greenway. The design and treatment of the loading space minimizes its impact on the greenway and is discussed in more detail in the *North-South Greenway* section of this report.
- Four (4) two-storey townhouse units front and have their main entry directly from the north-south greenway. By limiting the maximum grade separation between the individual patios and the greenway to less than 1 m (3ft.), introducing transparent railings and strategic use of landscaping, an active relationship between the patios and the public pedestrian corridor is established while privacy of the individual units is maintained. Similar to the townhouse unit at the northwest corner of the site, the northeast end unit wraps around the corner of the building reducing the length of the exposed parkade façade on the north side of the building.

North Elevation

- The parkade façade is visible only on the north elevation of the building. The wrapping of residential units and openings around the northwest and northeast corners of the building limit the extent of parking façade that is exposed. The parking structure elevation will include strategically placed perforated aluminum panels and will be partially screened by trees. To maximize the effectiveness of the landscaping, light fixtures will be installed at the base of the trees to up-light the trees and create a sense of texture and depth in the evening.

- An east-west pathway exists along the southern edge of the adjacent northern property. The safety of this space will be improved with the introduction of units that overlook the area and installation of illumination.

Urban Design and Site Planning

The proposed development is responsive to the design guidelines articulated in the McLennan North Sub-Area Plan with respect to land uses, site planning, building height and architectural elements. Further, the site plan and building design minimize impacts on adjacent uses.

Mid-rise building

- The proposed six (6) storey mid-rise building introduces variety along the Garden City Road frontage and effectively screens the parking structure. Its height and form distinguishes it from the existing public realm and streetscape character along Garden City Road, which currently includes the side yard of a low-rise apartment development, a parking structure that is screened using a landscaped berm, ground level tower units, and a Montessori Daycare.
- As demonstrated in the shadow and view corridor analysis provided by the applicant (**Attachment 4**). The mid rise has been sited to minimize both visual and shadow impacts on adjacent properties.

High-rise building

- A 16-storey tower is proposed on the eastern portion of the subject site. Its location considers and responds well to the established pattern of development both north and south of the subject site as demonstrated in the shadow and view corridor analysis provided by the applicant (**Attachment 4**).
- The proposed tower is separated by 24 m (78 ft.) from the residential tower that is located adjacent to Garden City Road and forms part of the northern “Hampton Court” development. A 24 m (78 ft.) separation is in accordance with the City’s OCP design guidelines.
- The “Hampton Court” development includes a second residential tower that is located at the corner of Hemlock Drive; the separation between this existing tower and the proposed on-site tower is 40.9 m (134 ft.), which substantially exceeds proximity guidelines.
- The effect of the proposed tower on the southern “Garden City Residences” residential tower is minimized by a substantial physical separation that includes the width of Cook Road and associated public boulevards.
- The tower is designed as a rectangular slab with a north-south orientation. The west elevation of the tower is angled to maximize view opportunities for residents of “Hampton Court” with south facing units. Similarly, the building’s angular design results in a narrow southern building profile, which minimizes the impact of the building on north facing residents within the “Garden City Residences” development.

Two-Storey Townhouse Units

- Two-storey street fronting townhouse are proposed on the lower levels of the mid-rise building and the high-rise building along Garden City Road, Cook Road and the north-south greenway. These units respond to McLennan North Sub-Area Plan guidelines that require streetscapes to be characterized by residential units with individual ground level street fronting access and an active relationship with adjacent publicly accessible space.

Public Space Enhancement

- The pedestrian realm is enhanced along Garden City Road with the continuation of the Garden City Road greenway and the introduction of an extension of the north-south greenway along the eastern side of the site. This expansion directly contributes towards the enhancement and reinforcement of a safe and efficient transportation network for pedestrians, cyclists and vehicles
- Further, the “green” park-like character of the neighbourhood is carried up onto the podium level.
- The Cook Road frontage supports an active pedestrian realm with active uses including building lobbies, retention of street parking, and individual unit entrances.

Parking and Loading

- The site is located within proximity of the City Centre and benefits from being near transportation options that are available to future residents, including access to the Canada Line.
- Resident and visitor parking is enclosed within a parkade accessed via Cook Road. A total of 196 residential stalls and 26 visitor off-street parking stalls are proposed on-site, which satisfies the bylaw requirements based on consideration of a supportable Transportation Demand Management (TDM) strategy, which was secured through the associated rezoning process (RZ 10-557918).*
- A loading space that can accommodate medium sized loading trucks, as well as recycling trucks is provided on-site. It is located between the eastern edge of the building and the north-south greenway. The loading area will remain outside the required public rights-of-passage (PROP) right-of-way (ROW) that will secure the north-south greenway for public use. The loading space is designed to minimize its impact on the function and aesthetic of the north-south greenway.
- Secure bike storage in excess of the bylaw requirement is provided within the parking structure and short-term bicycling parking is located within close proximity of the mid-rise and high-rise building lobbies.
- Garbage and recycling facilities are enclosed within the parking structure. Collection is facilitated via a roll-up door that opens onto the drive aisle and an on-site loading space is provided.

Architectural Form and Character

The McLennan North Sub-Area Land Use Map designates the site as Residential Area 1, which is identified for the highest density development within the neighbourhood area plan. Further, the site is designated Urban Centre T5 in the CCAP Generalized Land Use Map, which supports higher density development. The proposed design is responsive to the design guidelines associated with the site’s designation in both plans.

* The TDM strategy, which is supported by Transportation Engineering, was secured through the associated rezoning process (RZ 10-557918) and includes:

- A contribution of \$22,000 towards a bus shelter; and
- Completion of the north side sidewalk on Cook Road west of Garden City Road to Cooney Road the details of which are in the process of being developed.

Building Articulation

- Varied building setbacks and a range of materials contribute toward establishing a defined base, middle and top to the buildings that are responsive to the development's urban character.
 - Darker hues, building façade projections and building materials with more texture are used at the lower building levels.
 - Lighter material colours and building material with less texture are proposed for the middle of the building.
 - The mid-rise building consists of six (6) storeys, with the exception of the portion of the building that terminates at the 4th storey where the indoor amenity is located and establishes variation of the building's roofline.
 - The high-rise building introduces an increased building setback at the 15th storey, which is further increased at the 16th storey resulting in a definitive termination of the high-rise building that contributes to a varied skyline.
- The internal west elevation of the high-rise building is well articulated. The angled west side of the building minimizes its impact on adjacent views. Incorporating building recesses and staggering the location of unit patios further articulates the elevation. At lower levels, the effect is a dynamic relationship between the building and the outdoor common amenity area.
- The corridor space between the elevator and the stairwell on the west side of the mid-rise building is recessed and clad in an aluminum window wall, which effectively introduces a strong break in the building façade and facilitates the penetration of light into the corridor.
- Although the treatment of the garage entry and the enclosed garbage/recycling area are similar to the exterior treatment of the mid-rise and the lower portions of the high-rise building, the garage opening and recessed podium marks a distinction between the two (2) buildings on the Cook Road frontage.
- The architectural fins on the central portion of the east façade of the high-rise tower have been increased in depth to maximize the texture of the building face.
- To add interest to the east elevation of the high-rise building, balconies have been arranged to emphasize three (3) vertical components of the elevation.

Materials and Colour

Garden City Road Frontage

- The two-storey townhouse units and mid-rise apartment units fronting Garden City Road are characterized by a combination of architectural concrete, brick masonry and aluminum window walls in a darker hue (Grey Velvet) that is also present elsewhere on-site.
- The two-storey townhouse units located at the first two levels of the mid-rise building are highlighted by a concrete frame that is painted a darker hue (Durango Brown) than the neutral, light (Cloud Cover) hue proposed for the remaining portion of the mid-rise building and that used elsewhere within the proposed development.
- The extensive use of brick masonry on the mid-rise building and inclusion of sunshades provides depth to the elevation and strengthens the building's residential character.

Cook Road Frontage

- The brick masonry, in a neutral cream hue, wraps around the corner and covers the south façade of the mid-rise building. Brick masonry is also used to frame and strengthen the prominence of the two-storey townhouse units fronting Cook Road and on the walls of the enclosed garbage and recycling area.

- Greenscreen trellis panels are mounted to the exterior façade of the enclosed garbage/recycling area and wrap around the corner to the overhead door that provides direct access to the collection area. Climbing native roses and honeysuckle will be planted and will introduce texture and colour to the elevation.
- The enclosed parking area at the 3rd level is treated with a pattern of alternating perforated aluminium panels and pre-finished aluminium wall panel.
- The indoor amenity space, located at the 4th level in the mid-rise building is characterized by an aluminum curtain wall and aluminum sunshades within a neutral coloured concrete frame. The building design and the materials used identify the space as distinct from the rest of the building.
- Box rib corrugated metal siding in square frames that follow the pattern of the tower structural grid, are used on the exterior walls of the second floor bike storage room above the tower lobby entrance.
- To emphasize the high-rise tower's slim south profile, the lighter, neutral hue (Cloud Cover) is proposed on architectural concrete building frames that characterize the high-rise tower. Window openings are accented by the darker hue (Grey Velvet) pre-finished aluminium window wall.
- On this elevation, the architectural concrete is painted only the neutral, light hue; the darker accent colour (Durango Brown) is not used on this elevation.

East Frontage

- Colour, building materials and projecting balconies are used to break up the massing of the east façade of the building.
- Consistent with treatment along the other building elevations, the distinct identity of the two-storey townhouse units is highlighted with the use of brick masonry and the darker hue (Grey Velvet) is used for the aluminum window wall.
- Box rib corrugated metal siding, in square frames, is also present on this side of the building on the 2nd and 3rd level and maintains a relationship with the south elevation.
- The neutral colour palate is proposed for the architectural concrete frame and the aluminum window wall to keep this elevation light.

North Elevation

- The use of brick masonry, the darker hue (Grey Velvet) window wall, and the corrugated metal siding treatment wraps around the northeast and northwest corners of the building; thereby maintaining a consistent theme for the treatment of the two-story townhouse units on the lower levels of the east and west sides of the building.
- The darker hue (Durango), which is proposed on the Garden City Road façade to strengthen the townhouse unit building frames, wraps around the northwest corner effectively drawing attention to the continuation of residential use at this corner.
- The north elevation of the high-rise building is characterized by the continuation of the neutral, light colour scheme used on the building's east elevation frame. Similarly, the mid-rise building continues the use of brick used on other elevations of the building. The inclusion of townhouse units bookend the elevation at the ground level and reduce the extent of exposed parking façade.
- The remaining middle portion of the building consists of an exposed parking enclosure wall. Wrapping of the residential uses around the corners of the building elevation and extending the diversity of building materials and colour used on the east and west sides minimizes the visual prominence of the exposed parking elevation.

- Further, the parking elevation is treated with a series of perforated aluminum panels in a neutral hue that vary in size and relate to the spacing of openings associated with the townhouse units. Up-lighting will be installed at the base of European Hornbeam and Serbian Spruce trees planted between the edge of the building and the property line to develop a sense of depth and add visual interest.

Accent Colour

- Generally, in contrast to the darker hues used in adjacent developments, the proposed development is characterized by a neutral, light colour palate. Darker, accent colours are limited to the lower elevations to strengthen the base of the building and to accentuate the presence of the two-storey townhouse unit components.
- Pastel hues of yellow, blue, green or purple are proposed on the balcony soffits to introduce colour to the development proposal (**Attachment 5**). These balcony surfaces will be visible from below and will emphasize the depth of the façade.

Streetscape

- In accordance with design guidelines for the area, the proposed development presents a coordinated streetwall along the Garden City Road, Cook Road and north-south greenway frontages.
 - An enclosed garbage and recycling collection area is provided within the parking structure;
 - Individual unit entries and patios are no more than 1 m (3 ft.) above the adjacent sidewalk grade elevation. The raised, semi-private patios maintain a relationship with the public realm and facilitate casual surveillance of public spaces;
 - Lobby entrances to the mid-rise and high-rise buildings include weather protection and are universally accessible;
 - Street edges are landscaped and short-term bicycling parking is provided on-site;
 - Illumination fixtures have been incorporated into the street level landscape design along streets and the north-south greenway.

Indoor and Outdoor Amenity Space

- The indoor amenity space is located at the 4th storey and is accessed through the mid-rise building or the outdoor amenity space. The 243 m² (2,624 ft²) space includes an exercise room with a patio space fronting Cook Road, an apparatus room, an entertainment room that can be divided into two by a movable partition and a larger amenity room that includes a full kitchen. The indoor amenity space opens directly onto the outdoor amenity terrace area.
- Alternating charcoal and natural colour concrete pavers are used on townhouse patios, as well as mid-rise and high-rise patios on the podium level.
- An outdoor amenity space is located at the 4th level above the parking podium and has direct access from the mid-rise building, the high-rise building and the indoor amenity space. The 846 m² (9,136 ft²) landscaped podium space extends to the northern edge of the parking podium.
- The outdoor amenity space includes an amenity terrace adjacent to the indoor amenity area, children's play areas, a series of terraced pathways, and a centrally located pond that incorporates feature landscaping and illumination.
- The children's play area is provided in two (2) areas.

- a. The primary children's play area is within close proximity to the outdoor amenity terrace. The area will be treated with a rubber surface with undulating ripples, mounds, and stepping stones of varying heights to encourage active play. An interactive play wall, which includes play panels and a chalkboard, has been placed along the west side of the play area, and a tunnel is centrally located.
- b. A secondary tot play area, which is also treated with an undulating rubber surface, is located at the southern edge of the outdoor amenity area.

Instead of proposing free-standing play equipment, the applicant proposes a more naturalized play area designed to encourage diverse opportunities for social interactions and physical development including active play, sensory stimulation, exploration and creativity (**Schedule A**).

- A putting green is proposed to be located adjacent to the water feature on the northern portion of the podium. This area may be used by residents of all ages.
- The subject site is located within close proximity of the Garden City Community Park. As part of the associated rezoning application (RZ 10-557918), the applicant will contribute to Garden City Community Park enhancements, which will benefit both residents of the proposed development and the neighbourhood generally.

Landscape Design and Open Space Design

- The existing Douglas Fir located at the northeast corner of the site will be retained. Further, two (2) trees, a Japanese Hiba Arbor-Vitea and a Colorado Spruce, will be retained and relocated to the north-south greenway.
- Eighty-five (85) trees will be planted on-site, which exceed the OCP 2:1 tree replacement requirement.
- The ground level along the perimeter of the site is treated with trees, ground cover, water features with LED lighting, feature hard surface treatment including granite cobble, and short term bicycle parking.
- The podium level is characterized by the centrally located water feature. The water pond and garden design is a contemporary abstraction of the artist Claude Monet's many water-themed paintings. The pond features include a specimen Weeping Cherry in a planter, water lilies in circular steel planters, and submerged illumination fixtures.
- The mid-rise roof is treated with a river rock and pebble pattern inspired by the work of the artist Monet.
- The indoor amenity roof will be treated as a green roof. The sedum planting pattern will similarly be inspired by the work of the artist Monet. Further, the installation of a green roof over the indoor amenity space reduces heat gain/loss over an air conditioned space.

North-South Greenway

- The associated rezoning (RZ 10-557918) will secure the north-south greenway with a public right-of-passage (PROP) through a privately owned, publicly accessible right-of-way.
- Introduction of an at grade north-south greenway on the eastern portion of the site is a significant feature that contributes to both the quality of the proposed development and the McLennan North neighbourhood generally.
- A right-of-way will be registered on the entire 8 m (26 ft.) width of the greenway, with the exclusion of the loading area located along the western edge of the greenway. The ultimate desired width of the hard surface pathway will be achieved at the time the adjacent eastern parcel (9233 Cook Road) develops. At the time the adjacent parcel develops, the north end

of the pathway will be widened. The current design tapers at the north end in order to protect the root zone of the retained Douglas Fir; this area will be widened in the future. Similarly, the southern end of the pathway will be widened at the time 9233 Cook Road develops to encourage public access and use. The remainder of the pathway achieves the full 3 m (9.8 ft.) hard surface width desired for the middle section of the pathway. The pathway is concrete and treated with brick pavers along the edge. In the future, 9233 Cook Road will also contribute toward expanding the greenway right-of-way width.

- The north-south greenway features a range of ground cover that grows in a variety of colours and heights, and trees including Canadian Serviceberry, Katsura, and Star Magnolias.
- Paved walkways will connect townhouse units to the public realm.
- Due to site-specific constraints, including the restriction of vehicle access via Garden City Road and limited frontage on Cook Road, the on-site loading requirement will be accommodated along the eastern edge of the building at the southwest corner of the greenway. To ensure a safe separation from the public portion of the pathway, bollards are placed along the boundary between the greenway path and the loading area to prevent vehicles from encroaching into the public realm. In addition, granite cobble is used instead of saw cut concrete to identify the loading area as distinct from the rest of the pathway.
- 3.6 m (12 ft.) high pole light fixtures spaced at 4.5 m (15 ft.) intervals will illuminate the pathway to ensure safety.

Accessibility/Barrier-free Access

- On-site accessibility provisions are depicted in **Attachment A**, and include barrier-free access from the street to the lobby of the residential mid-rise and high-rise, and from the buildings to the on-site indoor and outdoor amenity space.
- A one-bedroom unit on the 4th floor on the east side of the high-rise building and 10 one-bedroom and den units located on the 5th-14th floors on the east side of the high-rise building will be constructed in accordance with the provisions outlined in the City's Convertible Unit Features Checklist.
- As a condition of Building Permit, provisions for aging in place will be incorporated into all units. Features include backing for grab bars in bathrooms, lever style door handles, and tactile numbering of suites.

Affordable Housing

- In accordance with the Richmond Affordable Housing Strategy, a minimum of 5% of the permitted Floor Area Ratio (FAR) will be secured for affordable housing units as a condition of rezoning bylaw adoption.
- Of the 142 units proposed on-site, seven (7) units will be secured as affordable housing units. The following will be secured through a Housing Agreement as affordable housing units:
 - Four (4) two-bedroom, two-storey townhouse units fronting Garden City Road; and
 - Three (3) apartment units (two (2) two-bedroom units, and a one-bedroom unit) within the mid-rise building. The units are located within the first floor of the mid-rise apartment and are located on the Garden City Road side of the building.

Engineering/Servicing

- All Engineering issues will be addressed through the Servicing Agreement associated with the rezoning application (RZ 10-557918). Works include but are not limited to the following:

- Contribution of \$8,032 toward consortium-committed upgrades for the North McLennan drainage area. The site service connections must connect the site to Cook Road and site analysis will be required on the Servicing Agreement drawings;
- Construction of a new 200 mm diameter sanitary sewer that is approximately 90 m in length from a new manhole at the east property line to the existing manhole located at the intersection of Cook Road and Katsura Street. The applicant is also required to upgrade the existing sanitary between two (2) manholes fronting 9333 Alberta Road from 200 mm to 250 mm diameter;
- Design and construction of frontage works including a 2 m (6.5 ft.) wide concrete sidewalk along Cook Road adjacent to the property line, and a minimum 1.5 m (5 ft.) wide landscaped boulevard;
- Design of the public greenway along the east side of Garden City Road in accordance with the design standards used north of the subject site;
- To accommodate the increased pedestrian volume anticipated resulting from the continuation of the north-south greenway on the eastern portion of the site, a marked and signed pedestrian crosswalk is to be introduced to facilitate movement across Cook Road that is aligned with the north-south greenway; and
- Completion of the north side sidewalk on Cook Road west of Garden City Road to Cooney Road, the details of which are in the process of being developed.

Crime Prevention Through Environmental Design (CPTED)

The proposed development incorporates a range of CPTED design principles that include but are not limited to the following:

- Access to the parkade is secured by an overhead gate. Visitor parking is located within a semi-submerged level of parking and entry into the resident parking area is further secured by a second overhead gate.
- The functionality and safety of the visitor parking area benefits from the inclusion of a pedestrian corridor to separate pedestrians from vehicle traffic using the ramp.
- The parkade walls will be painted white, clear glazing will be incorporated at access points into vestibules and corridors leading into elevator lobbies.
- Siting and design of the building facilitates opportunities for passive surveillance of the street frontages, outdoor amenity space, and north-south greenway;
- Low-level lighting is incorporated in the courtyard and along the north-south greenway to maximize safety while minimizing the effect of light pollution on adjacent dwelling units.

Public Art

- In association with rezoning of this site (RZ 10-557918), the applicant has committed to a voluntary contribution of approximately \$77,839 towards the inclusion of public art within the development.
- To strengthen the gateway quality of the development at the corner of Garden City Road and Cook Road, public art will be introduced close to the entrance to the mid-rise lobby.
- The details associated with the inclusion of on-site Public Art will be reviewed and coordinated with the City Public Art Coordinator.

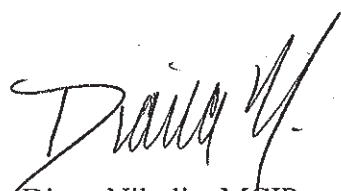
Sustainability

- The applicant has provided a synopsis of the sustainability measures proposed to be incorporated into the project. The list includes, but is not limited to the following provisions:

- Projecting slab fins and balcony overhangs on the west façade of both the tower and the mid-rise building, which function as shading devices;
 - Brise soleils (permanent sun shading architectural features) are incorporated into the curtain wall windows on the south façade of the amenity space to reduce solar heat gain;
 - Installation of a green roof over the indoor amenity space to reduce heat gain/loss over an air conditioned space;
 - Low-e coatings on glazing to reduce ultraviolet penetration;
 - Water conserving plumbing fixtures and Energy Star appliances will be considered;
 - Installation of drought tolerant plants to reduce irrigation requirements;
 - High efficiency irrigation system; and
 - Soft landscaping at the ground level and at the fourth level outdoor amenity space to absorb rainwater and reduce runoff into the storm system.
- The applicant has advised that installation of a geothermal system is not viable in this context. The applicant expressed concerns associated with maintaining geothermal loops that are located beneath a building. Further, the applicant has advised that the maximum benefit of a geothermal system is associated with uses, such as retail, commercial or institution, that require air conditioning throughout the year and that the costs associated with installation of a system in this context are prohibitive.

Conclusions

The proposed subject development is responsive to the McLennan North Sub-Area Plan and City Centre Area Plan design objectives for this area. The proposal's response to context specific building massing and design challenges, design details, and expansion of the existing pedestrian and cyclist network within the neighbourhood contribute to the development of a desirable residential urban neighbourhood. Based on the proposal's design response to its context, staff support the proposed development proposal.



(Diana Nikolic, MCIP
Planner II (Urban Design)

DN:blg

Attachment 1: Development Data Sheet

Attachment 2: Traffic (Construction) Management Plan

Attachment 3: Advisory Design Panel (ADP) Minutes and Applicant Responses (in bold text)

Attachment 4: Shadow and View Corridor Analysis

Attachment 5: Balcony Soffit Colour Legend

Attachment 6: Memo to Council Regarding Items Identified for Further Consideration at the June 26, 2011 Planning Committee Meeting

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of Zoning Amendment Bylaw 8782; and
- Receipt of a Letter-of-Credit for landscaping in the amount of \$303,231.50 for on-site landscaping and an additional \$79,796.09 for landscaping within the north-south greenway, which will be secured with a public rights of passage through a right-of-way.

Prior to future Building Permit* issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285; and*
- Incorporation of accessibility measures for aging in place in Building Permit drawings for all units including lever handles for doors and faucets and blocking in all washroom walls to facilitate future potential installation of grab bars/handrails.

Note:

- * This requires a separate application.



City of Richmond

6911 No. 3 Road
Richmond, BC V6Y 2C1
www.richmond.ca
604-276-4000

Development Application Data Sheet Development Applications Division

DP 10-557920

Attachment 1

Address: 9099 Cook Road

Applicant: W.T. Leung Architects Inc.

Owner: Concord Pacific Developments Inc.

Planning Area(s): North McLennan Sub-Area Plan, City Centre Area Plan

Floor Area Gross: 12,967 m² (139,583 ft²) Floor Area Net: 12,030 m² (129,494 ft²)

| | Existing | Proposed |
|-------------------------|--|---|
| Site Area: | 3,863 m ² (41,580 ft ²) | 3,856 m ² (41,505 ft ²) |
| Land Uses: | Vacant lot | Multi-family consisting of approximately 142 units |
| OCP Designation: | Mixed Use | Multi-family residential, which is supported by the Mixed Use designation |
| Zoning: | Single Detached (RS1/F) | High Rise apartment (ZHR9)- North McLennan (City Centre) |
| Number of Units: | 1 demolished single-family dwelling | Approximately 142 units including 11 townhouse units and 7 affordable housing units |

| | Bylaw Requirement | Proposed | Variance |
|-----------------------------|--|--|----------------|
| Floor Area Ratio: | Max. 3.12 FAR | 3.12 FAR | none permitted |
| Lot Coverage: | Max. 70% | 68% | none |
| Setback – Garden City Road: | Min. 6 m | 6 m | none |
| Setback – Cook Road: | Min. 3 m Building façade treatment may encroach up to 0.4 m | 3 m to building 2.6 m to building façade features | none |
| Setback – east lot line: | Min. 10 m Porches may encroach 2 m | 10 m to building 8 m to private patios | none |
| Setback – north lot line: | Min. 3 m | 3 m | none |
| Height (m): | Max. 47 m geodetic | 46.7 m | none |

| | | | |
|--|--|---|--|
| Off-street Parking Spaces – Residential/Visitor: | 1.4 per resident unit, 0.9 per affordable housing unit & 0.2 per unit for visitors 196 and 29 | 197 resident and 26 visitor | None required. Shortfall addressed through TDM strategy |
| Off-street Parking Spaces – Accessible: | 5 | 5 | none |
| Tandem Parking Spaces | permitted | 23 tandem stalls (provide 46 parking stalls) | none |
| Amenity Space – Indoor: | Min. 100 m ² | 243 m ² (2,624 ft ²) | |
| Amenity Space – Outdoor: | Min. 852 m ² | 876 m ² (9,429 ft ²) | |



**City of
Richmond**

Traffic and Parking Plan During Construction

Traffic Operations Section
6911 No. 3 Road, Richmond, BC V6Y 2C1

www.richmond.ca

Contact: 604-276-4210 Fax: 604-276-4132

Concord Monet Project
Applicant: Limited Partnership
Business Phone: (604) 681-8882
Site Contact Person: Bernie Baier
Cellular No.: (604) 834-8635
Construction Site Location: 9099 Cook Road

9th Floor - 1095 West Pender Street
Address: Vancouver, B.C. V6E 2M6
Fax No.: (604) 685-9733
Development File No.: RZ 10-557918
Job Site Phone: TBD

Construction Traffic Control Plan - include sketch of site showing area of loading activities:

- Describe where loading and unloading operations will take place. If cranes need to be erected or large concrete pours are planned, identify where equipment trucks will be staged while waiting to access the site. Ensure equipment and construction materials are not stored on City rights of way.

See attached Site Plan

- If flag persons are assisting trucks on and off site, ensure they are properly equipped and qualified as per Work Safe BC requirements.
- Identify the traffic control company that will be working at the site or verify that the employee(s) who will be conducting traffic control are properly equipped and qualified as per Work Safe BC requirements. Traffic Control Plans must be based on the BC Ministry of Transportation's Traffic Control Manual for Work on Roadways.

Name of traffic control company: Valley Traffic

Names of qualified employees: To Be Assigned

Construction Parking Plan - include sketch of site showing parking locations:

- Describe location for parking for workers:
No on site worker parking.
Designated off site parking will be located for worker parking during construction. (as per letter dated October 7, 2011)
- Describe location for visitors parking to site and sales offices:
Sales office is located off site. No on site visitor parking.

- ☐ **Consult with School:** Prior to any demolition, preloading or construction within 400 metres of a school, applicants are required to consult with the school principal, to minimize the impact of construction and traffic on schools.

Any request for temporary lane closure must be authorized by the City (Traffic Operations Section) - requires a minimum of one working week for City's review of written request.

If a "Construction Loading Zone" within the City right of way is necessary across the frontage of the site; a permit should be requested through the Traffic Operations Section 14 days in advance. The form is available at www.richmond.ca.

Applicant's signature: Bernie Baier

Date: Oct. 7/2011

CONCORD MONET PROJECT LIMITED PARTNERSHIP
9th Floor 1095 West Pender Street
Vancouver BC Canada
V6E 2M6

October 7, 2011

City of Richmond
6911 No. 3 Road
Richmond, B.C.
V6Y 2C1

Re: Monet – 9099 Cook Road Construction Traffic Plan

Dear Sir and Madam,

At the request of City of Richmond to alleviate the concern of traffic during construction workers for the Monet Project at 9099 Cook Road, we will provide an off-site parking for construction at our own commercial site located at 8511 Capstan Way, Richmond, B.C. or alternatively another leased parking site. We trust the off-site parking will alleviate traffic concern at 9099 Cook Street during the course of construction.

The lot at 8511 Capstan Way requires 23 parking stalls for its intended uses as a sales centre – the site has a total of 71 available parking stalls on site leaving a surplus of 48 parking stalls with additional expansion to the Eastside of the property to allow for further overflow parking that can accommodate an additional of 106 parking stalls. This will make a total of 154 surplus available parking stalls for an approximately 60 maximum construction workers for 9099 Cook Road.

Transporting workers to and from the parking site to the project location will be by 2 company shuttle vehicles between the hours of 6am to 10am and 3pm to 7pm. Shuttle vehicles will be the 8 people passenger Van. The drop off will be located between edge of the road curb to building face along Cook Road at the future low rise lobby – as per the attached Construction Staging plan.

Staging areas inclusive of concrete placing for 9099 Cook Road will be designated on the East side of the property (the future 8M wide "Green Way" - Right of Way plus the future 2M private patios to be constructed later); and also the area between edge of the road curb to building face along Cook Road as per areas noted on the attached Construction Staging plan. These designated staging areas will contain all site activities. Temporary fencing will be installed at the edge of road curb at all time as required for safety. Traffic controller/flaggers will be on site to direct all vehicles in and out of the site and control no vehicles to back out onto Cook Road.

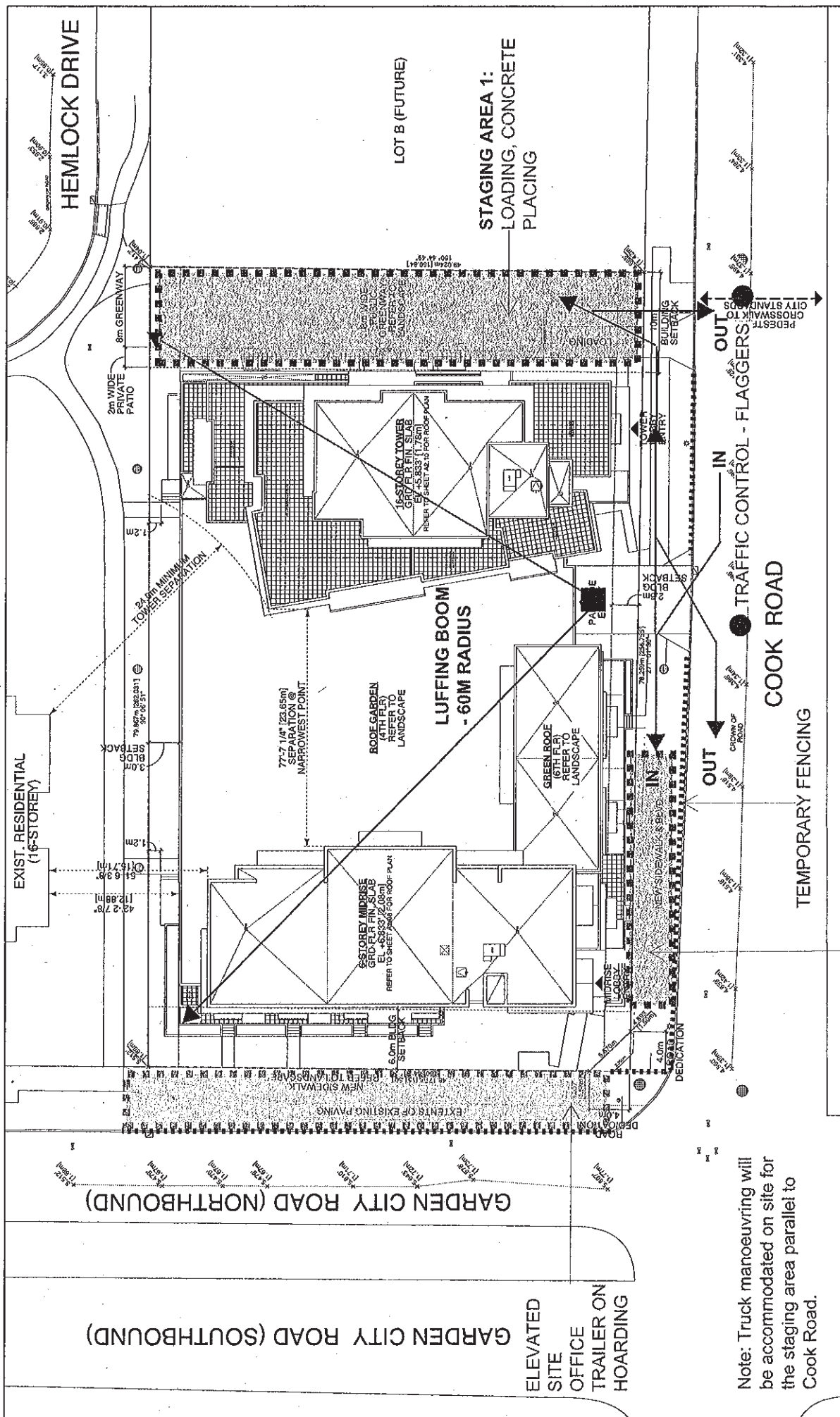
The hoarding area on the Westside of the property along Garden City Road – City Sidewalk will be designated for elevated Office Trailers, such that the existing sidewalk below will be maintained for pedestrian access. The applicant will make application to the City for temporary use of City sidewalk during the Building Permit Application for City approval.

The single crane will be located inside the property at the project parking entry ramp off Cook Road as per the attached Construction Staging Plan for 9099 Cook Road. The crane location is between grid line 7 and the property line which places it outside of the PL2 foundation wall. This portion of the parking entrance ramp will be on compacted structural backfill material and will be placed following the removal of the crane.

Yours truly,

CONCORD MONET PROJECT LIMITED PARTNERSHIP


Per: Eric Fung



STAGING AREA 2: LOADING, CONCRETE PLACING, AND EMPLOYEE DROP OFF

CONSTRUCTION STAGING PLAN FOR 9099 COOK ROAD

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, August 17, 2011 – 4:00 p.m.

Rm. M.1.003

Richmond City Hall

2. **DP 10-557920 – DEVELOPMENT OF APPROXIMATELY 142 UNITS WITHIN A 16-STOREY RESIDENTIAL TOWER AND A SIX-STOREY MID-RISE BUILDING OVER A PARKING STRUCTURE, AND 11 TWO-STOREY TOWNHOUSE UNITS WITH GROUND LEVEL ENTRY**

ARCHITECT: W.T. Leung Architects

PROPERTY LOCATION: 9099 Cook Road

Panel Discussion

Comments from the Panel were as follows:

- well-considered project; fits well with existing towers in the neighbourhood; responds successfully to the edges;
- the mid-rise building is well-designed – like the materiality and punched windows;
- like the expression of the four-storey block; townhomes around the base make an excellent edge along the street;
- corner-turning element is well-designed;
- the high-rise building is also well-designed; like the form; angled tower successful in protecting views of neighbouring towers;
- like the bridge element and lobby;
- generally, the project is nicely broken down and materials are well-handled;
- east elevation of the high-rise building has a large expanse of flat wall and an unbroken frame; consider reducing the repetitiveness of that frame by introducing other devices;

Applicant response: The east elevation has been refined to reduce the extents of the concrete frame. Specifically, the frame anchoring the southeast corner has been shortened by one bay. In it's place are window wall glazing and open balconies.

- good information provided on the sections; good thoughts on the ground plane – the streetscape, edges and the greenway (which is still evolving);

- water feature on the roof deck is extensive; consider i) providing a water element in a sustainable way, ii) providing more useful open spaces that can be used by families with children and other types of residents;

Applicant response: The programming and theme of the level 4 garden have been reviewed and further refined. Please refer to attached Landscape Architect responses by Eckford + Associates

- water elements are expensive to maintain and maintenance costs increase over time; consider one key water element and an implied use of water, e.g. sluices or having water running down a key feature – the move will i) reduce the dominance of water feature, ii) help resolve conflicts on the roof deck, e.g. lack of proximity of children's play area to the amenity space and iii) allow the landscape architect to set up a more interesting geometry on the roof deck;

Applicant response: The concept of a focal water feature is inspired by the project's name – "Monet". The water pond and garden design is a contemporary abstraction of the Artists' many water-themed paintings.

- reprogram the outdoor amenity space to address the isolation of the children's play area and develop its relationship with the amenity area;

Applicant response: The children's play area was intentionally located remote from the amenity terrace in order to provide better solar access.

- consider providing opportunity for scrimmage area in putting green; provide more useful areas;

Applicant response: The area around the putting green has been enhanced with a timber deck and a sand box, providing a more diverse and functional play area.

- use bolder theme or stronger device such as introducing aquatic planting and carrying off the planting into the water elements;

Applicant response: Floating "light balls" have been introduced within the water pond. Water lilies and a focal cherry tree are also within the water pond.

- consider opportunity to integrate nodes into the path on the north side of the roof deck and incorporate overlook opportunities;

Applicant response: A seating area has been added along the path on the north side of the garden. No overlooks are designed in order to maintain a level of privacy for the garden.

- consider consistency and urban design approach on the greenway; should create connectivity through the whole community; City needs to be involved;

Applicant response: Design of the greenway has been further developed to include sit lighting, site furnishings, a detailed plant list, and fence details. Refer to attached Landscape drawings.

- overall, high level of planning and detail;
- a well-resolved project; has a quiet elegance;

- children's play area must be closer to the amenity area;
Applicant response: The children's play area was intentionally located remote from the amenity terrace in order to provide better solar access
- water feature is too dominant; consider a more dynamic geometry;
Applicant response: The theme of a focal water feature is inspired by the project's name – "Monet". The water pond and garden design is a contemporary abstraction of the artist's many water-themed paintings. We feel that the size of the water pond and the restrained geometry of the garden design are appropriate given the scale of the outdoor space.
- no disconnect between the high-rise tower and the mid-rise as they are connected by material elements;
- southwest corner of the mid-rise is an important corner and a front door to the project; needs further resolution; consider introducing a water feature or raising the parapet;
Applicant response: Landscaping at this corner has been redesigned to provide a pedestrian level open space complete with public seating. A project theme-inspired art piece, to be located at this corner, will be commissioned and will be coordinated through the City's Public Art Program. Lighting will be provided under the lobby canopy to highlight the building entrance. Currently, the roof parapet of the corner massing is already higher than the rest of the midrise.
- rendering of trees and five boxes at the north wall are very regular; needs further resolution; consider altering the proportion, e.g. making one narrower and others broader to soften and edge and provide visual interest to the neighbouring development;
Applicant response: The north wall has been revised with a pattern of smaller, alternating openings. The openings are infilled with the same perforated metal panels used on the Cook Road façade to screen the parking garage from view. Uplights have been added within the landscaping along the north wall to wash the wall with light as well as to provide a silhouette affect with the trees in front.
- great and nice project;
- well-designed project; fits with the context and the neighbourhood;
- massing of the mid-rise and the high-rise works very well;
- northwest corner is an exposed corner; consider volumetric and texture treatment to animate the flush appearance of the corner and make it more interesting;
Applicant response: Currently, the northwest corner has a combination of exposed concrete frame (base), glazing, corrugated "box rib" metal siding, and brick masonry (midrise above). We feel the level of texture and articulation is appropriate to the scale of the building.
- site plan is strategic; location of towers is appropriate;
- concern on increased density and high site coverage;

- consider adding more accessible green space on the roof deck and reducing paved areas;

Applicant response: We have reviewed the programming of the garden and feel the proportion of paved, green and water areas are appropriate given the scale of the outdoor space.

- concern on the north wall; looks disconnected in relation to the other parts of the building in terms of design; consider introducing texture and materials used in other parts of the building into the facade;

Applicant response: The north wall has been revised with a pattern of smaller, alternating openings. The openings are infilled with the same perforated metal panels used on the Cook Road façade to screen the parking garage from view. Uplights have been added within the landscaping along the north wall to wash the wall with light as well as to provide a silhouette affect with the trees in front.

- like the light colour choices which are in contrast to the neighbouring towers;
- consider reorienting the lobby entrance along Cook Road into the loading area adjacent to the greenway in order to i) widen the plaza on the east side, ii) make the water feature entirely up against the street edge, and iii) make the corner more prominent; also an opportunity is created to establish a similar relationship at the time the eastern adjacent parcel develops and to reinforce the public greenway entrance;

Applicant response: We feel the directionality of the tower entrance reinforces the linear form of the tower. Instead of a focal destination, the greenway is conceived as one in a series of landscaped connections south towards Garden City Park. The widening of the paved walkway at the south end serves to open up the corner into a welcoming plaza-like setting.

- consider integrating the expression of the trellises to the west of the lobby with the north elevation to unify the treatments;

Applicant response: We believe the staggered rows of conifers currently shown will provide better screening of the north wall. Furthermore, plants used on the climbing trellis will likely not survive on a north-facing wall because of lack of sunlight.

- replace planters at the base of the building with landscaping that is established in the ground to ensure survival of the plants;

Applicant response: noted

- consider illuminating the wall on the north facade to create a sense of volume at night; consider less conifers and more deciduous materials in the choice of trees;

Applicant response: Uplights have been added within the landscaping along the north wall to wash the wall with light as well as to provide a silhouette affect with the trees in front. Conifers were chosen to provide year-round screening.

- like the expanse of water on the roof deck; type and volume of trees planted will determine the extent of green; like the contrast of hard and soft materials on the roof deck;
- integrate children's play area into the amenity space; consider both safety and playfulness; water feature should be integrated to the whole programming of the roof deck and include provisions for children's play;

Applicant response: The children's play area was intentionally located remote from the amenity terrace in order to provide better solar access. A planted edge, complete with hidden fencing, has been incorporated along the edge between the water and play area. Broad steps lead from the amenity terrace into the water feature, suggesting continuity between hardscaping and water.

- like the design of the project; fits well with the surrounding developments; like the use of light-coloured materials which are in contrast to the dark-coloured towers in neighbouring developments;
- the corner at Cook Road and Garden City Road is an important corner and an entrance way to the development; consider adding a water feature or public art to make the corner look like a gateway to the project; will become a distinguishing feature of the project; project may need to lose some density in order to ensure the south west corner is treated as a feature;

Applicant response: Landscaping at this corner has been redesigned to provide a pedestrian level open space complete with public seating. A project-theme inspired art piece, to be located at this corner, will be commissioned and will be coordinated through the City's Public Art Program. Lighting will be provided under the lobby canopy to highlight the building entrance. Currently, the roof parapet of the corner massing is already higher than the rest of the midrise.

- north wall needs further articulation to provide visual interest to the neighbouring tower to the north; and

Applicant response: The north wall has been revised with a pattern of smaller, alternating openings. The openings are infilled with the same perforated metal panels used on the Cook Road façade to screen the parking garage from view. Uplights have been added within the landscaping along the north wall to wash the wall with light as well as to provide a silhouette affect with the trees in front.

- support the large water feature on the roof deck; less need for a large play area as the project is close to a park with an award-winning play area; use water in a more economic way, i.e. less mechanical; a more prominent water feature is more desirable; consider opportunities to integrate use of rainwater to the water feature.

Applicant response: Rainwater needs to be chemically treated prior to being used in a water feature. After consideration, it was decided that such a treatment system may not be economical to install and maintain given the limited size of the water feature in this project.

Tom Parker submitted the following comments which were read by the Chair:

- adaptable/aging-in-place features on drawing A1.01 appear to be suitable and can be incorporated at a very minimal cost; recommend that aging-in-place design features be included in many more units, if possible, in all units; and
- this project is within walking distance of the No. 3 Road shopping area and Canada Line, making it ideal to residents without automobiles including aging and retired people living independently or with extended family.

Panel Decision

It was moved and seconded

That DP 10-557920 move forward to the Development Permit Panel subject to the applicant addressing the items discussed by the Panel, including the items highlighted below:

1. ***design development to the east elevation of the high-rise to reduce the unbroken extent of the frame and introduction of texture to the north east corner;***

Applicant Response: The east elevation has been refined to reduce the extents of the concrete frame. Specifically, the frame anchoring the southeast corner has been shortened by one bay. In its place are window wall gazing and open balconies. Currently, the area around the northeast corner has a combination of brick masonry (podium), glazing, corrugated "box rib" metal siding, and exposed concrete frame (tower above). We feel the level of texture and articulation is appropriate to the scale of building.

2. ***design development to the north wall and further articulation through i) altering the proportions of the boxes, ii) introducing texture and materials used in other parts of the building, iii) illuminating the wall at night, iv) integrating the expression of the trellises, and v) using less conifers and more deciduous trees;***

Applicant Response: The north wall has been revised with a pattern of smaller, alternating openings. The openings are infilled with the same perforated metal panels used on the Cook Road façade to screen the parking garage from view. Uplights have been added within the landscaping along the north wall to wash the wall with light as well as to provide a silhouette affect with the trees in front. Conifers were chosen to provide year round screening.

3. ***design development to the mid-rise corner at Cook Road and Garden City Road and consider i) adding a water feature, ii) raising the parapet, and iii) introducing public art; and***

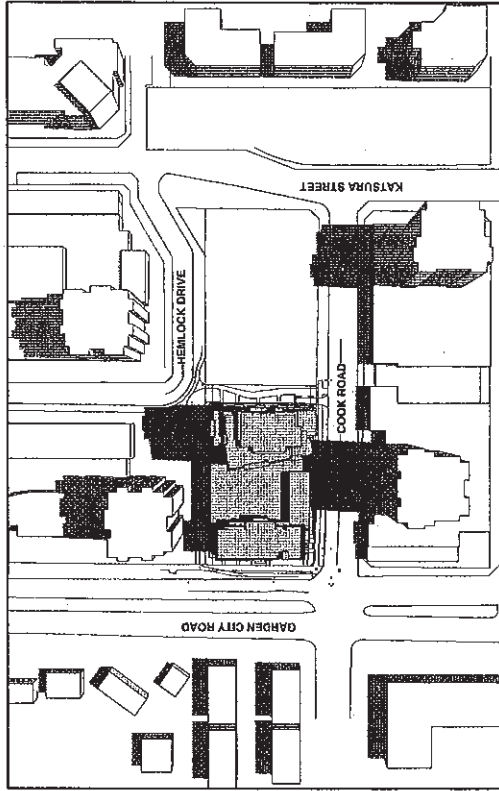
Applicant Response: Landscaping at this corner has been redesigned to provide a pedestrian level open space complete with public seating. A project-theme inspired art piece, to be located at this corner, will be commissioned and will be coordinated through the City's Public Art Program. Lighting will be provided under the lobby canopy to highlight the building entrance. Currently, the roof parapet of the corner massing is already higher than the rest of the midrise. The midrise entry has been redesigned to provide a grade level public seating area and enhanced pedestrian experience. A sculptural art piece that will reference the Monet theme will be commissioned. Additional lighting will be provided to highlight

the entry.

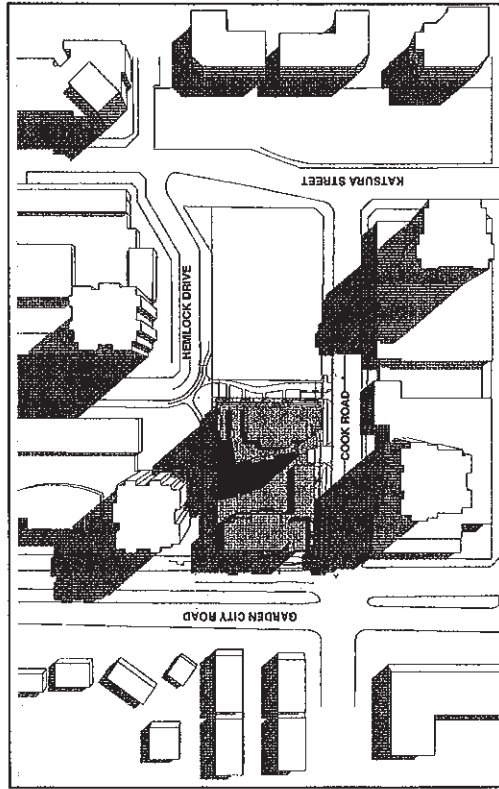
4. *reprogramming of the roof deck and i) integrating the children's play area with the outdoor amenity area, ii) integrating sustainability to the water feature, iii) integrating the water feature with the whole programming of the roof deck, and iv) adding more greens and reducing paved areas (reconsider proportions).*

Applicant Response: We have reviewed the programming of the roof deck and are satisfied that the separation of the children's area from the main amenity area is appropriate. The children's space has been moved north to increase its size and provide better solar access. Additional detailing of all elements will further enhance the range of uses provided. The concept of a contemporary abstraction of Monet's water garden using the artist's color palate and plant materials integrates the landscape design with the modern architectural expression.

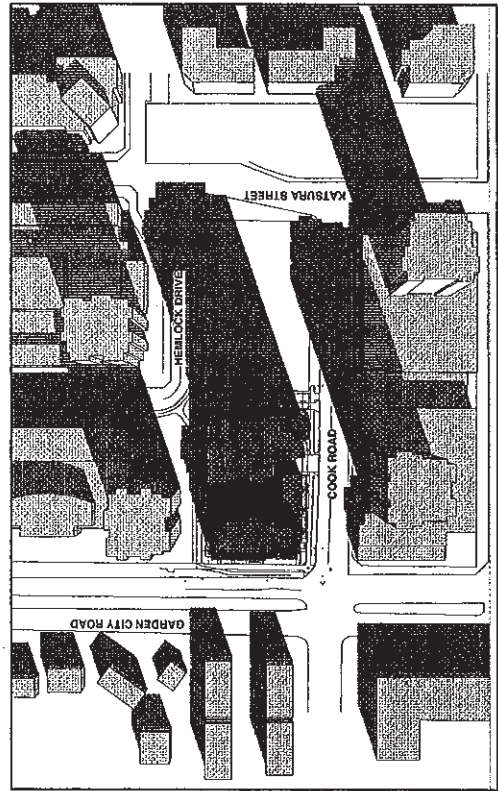
CARRIED



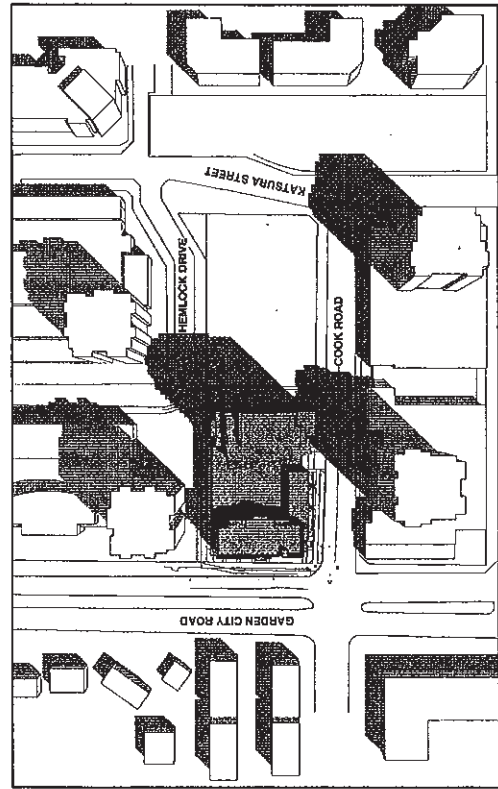
MARCH 21 / SEPTEMBER 21 @ 12:00 PM



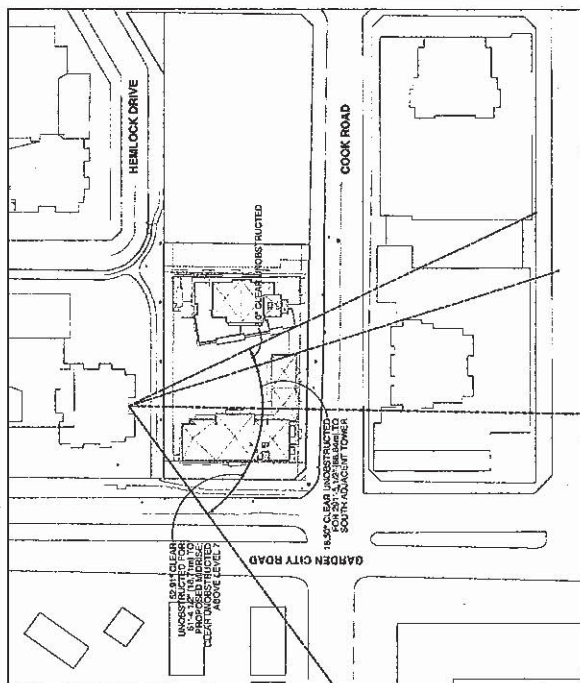
MARCH 21 / SEPTEMBER 21 @ 10:00 AM



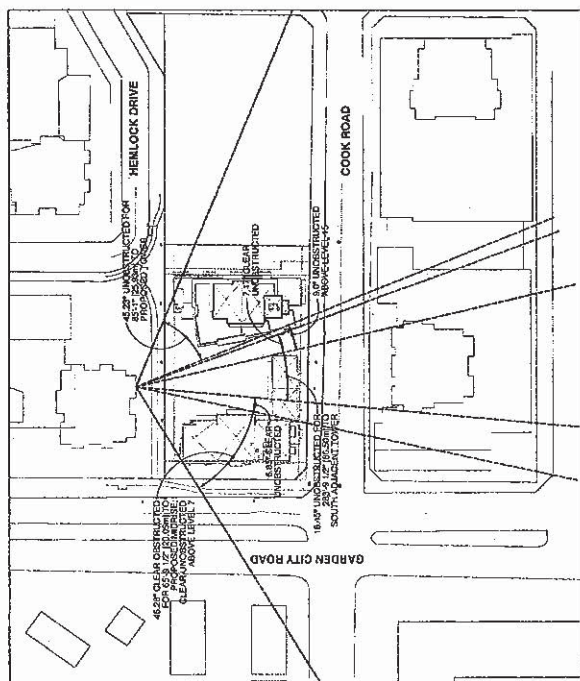
MARCH 21 / SEPTEMBER 21 @ 4:00 PM



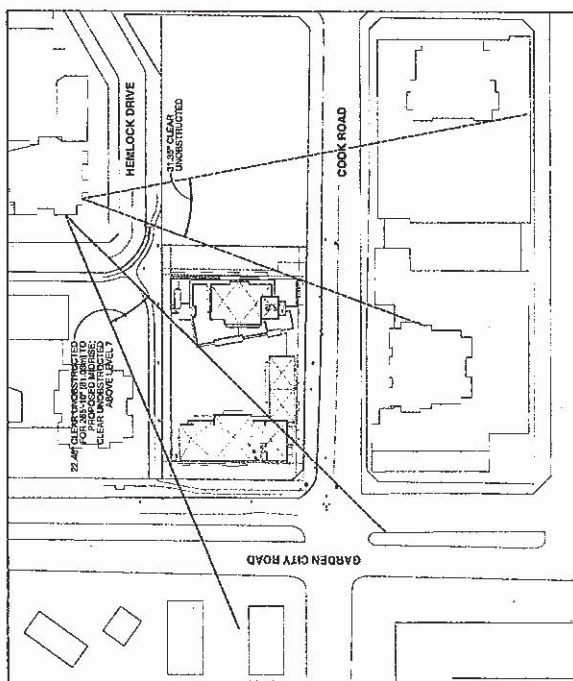
MARCH 21 / SEPTEMBER 21 @ 2:00 PM



VIEWS FROM NORTH NEIGHBORING TOWER
1" = 50'-0"



VIEWS FROM NORTH NEIGHBORING TOWER
1" = 50'-0"



VIEWS FROM NORTHEAST NEIGHBORING TOWER
1" = 50'-0"

[illegible]

9099 COOK ROAD
RICHMOND, BC
GARDEN CITY & COOK ROAD

GARDEN CITY & COOK ROAD

VIEW ANALYSIS



10-10 16-10
KT
AS NOTED
10-10 16-10
WTL

A1.03

W. T. LEUNG
ARCHITECTS

DATE: 07/12/2011
PROJECT: 9099 COOK ROAD
DRAWN BY: W. T. LEUNG
CHECKED BY: W. T. LEUNG
SCALE: 1/8" = 1'-0"

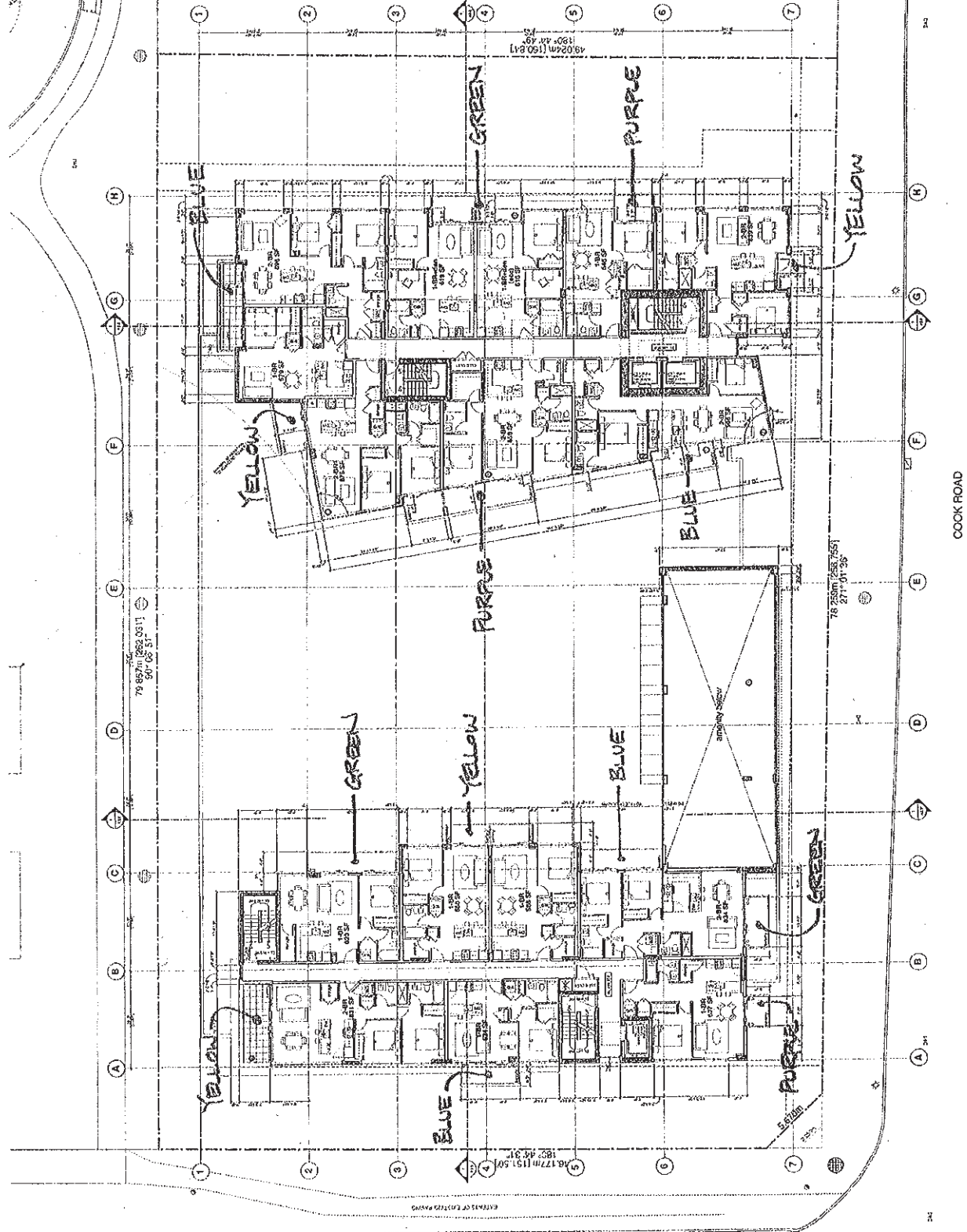
BALCONY SPFT COLOURS
OCT 12, 2011

9099 COOK ROAD
RICHMOND, BC
GARMENT CITY & COOK ROAD

5TH FLOOR
PLAN

| NO. | REVISION | DATE |
|-----|----------|------------|
| 1 | ISSUED | 07/12/2011 |
| 2 | REVISED | 07/12/2011 |
| 3 | REVISED | 07/12/2011 |
| 4 | REVISED | 07/12/2011 |
| 5 | REVISED | 07/12/2011 |
| 6 | REVISED | 07/12/2011 |
| 7 | REVISED | 07/12/2011 |

A2.06





City of Richmond

Memorandum

Planning and Development Department

To: Mayor and Council
From: Victor Wei, P. Eng.
Director, Transportation
Brian Jackson
Director, Development

Date: November 9, 2011
File: 08-4105-20-AMANDA
#/2011-Vol 01

Re: **ZONING AMENDMENT BYLAW 8782 - 9099 COOK ROAD**

At the June 26, 2011 Planning Committee meeting, regarding an application by W.T. Leung Architects Inc., (on behalf of Concord Pacific Developments Inc.) for permission to rezone 9099 Cook Road from Single Detached (RS1/F) to High Rise Apartment (ZHR9) in order to develop approximately 142 units within a high-rise residential tower, a six-storey mid-rise building and two-storey townhouse units with ground level entry, staff were directed to:

- a) review traffic patterns in the proximity of the development proposed for 9099 Cook Road generally and in relation to the existing daycare facility;
- b) review the steps that can be taken to advise owners and residents in the immediate area regarding proposed developments; and
- c) review the public transit plan to measure the adequacy of bus service in the area.

This memorandum responds to the above items.

1. Traffic Circulation near Subject Site

The development pattern within the McLennan North Sub-Area neighbourhood is developing in accordance with the neighbourhood plan, which was adopted by Council in 1996. The Sub-Area Plan calls for a comprehensive road network with smaller blocks. Based on this plan, the ultimate width (11.2 metres) of Cook Road east of Garden City Road has been achieved as part of development abutting the south and in anticipation of development of the land parcels to the north, including the subject site. The geometry of this section of Cook Road east of Garden City Road provides sufficient capacity to handle traffic volumes entering and exiting the North McLennan area via the traffic signals at Cook Road and Garden City Road, for existing and projected traffic.

Staff have carried out a review of the parking and traffic conditions on Cook Road and confirmed that no changes would be needed at this time. Cook Road is a minor street within the City Centre with a cross-section designed for vehicle parking on both sides of the street, but not being excessively wide for speeding traffic.

The development proposed at 9099 Cook Road meets the Zoning Bylaw on-site parking requirement and also accommodates loading and garbage/recycling collection on-site. Road dedication adjacent to this site is not required; however, the application will contribute to the McLennan North road network construction costs (Cook Road and Katsura Street), upgrade the traffic signals at the Garden City/Cook Road intersection and undertake improvements beyond the property's frontage with construction of a

sidewalk on Cook Road west of Garden City Road, in addition to contributing to the north-south greenway system on the western and eastern side of the property.

With respect to the existing daycare facility at 9188 Cook Road, street parking for drop-off and pick-up is available on Cook Road and Katsura Street. As well, parking is available at the surface parking lot of Garden City Park located adjacent to the south side of the daycare facility off Alberta Road, which is within 70 metres from the daycare with a paved pathway connecting to the parking area.

2. Notification of Potential Future Development


The high density residential development proposed at 9099 Cook Road is consistent with the site's designation in both the North McLennan North Sub-Area Plan, which was adopted by Council in 1996, and the City Centre Area Plan (CCAP). Area plans are public documents that ensure clarity regarding the City's objectives and policies that guide decisions related to planning and land use within a specified plan area. The proposal to develop a high-rise building and associated ground level townhouse units at 9099 Cook Road is consistent with the site's designation in existing Council approved area plans.

To ensure residents of the proposed development are aware of the development potential of the adjacent eastern parcel (9233 Cook Road), as a condition of rezoning bylaw adoption, a covenant will be registered on-site to advise future residents of the potential impacts, including construction noise, dust, impact on view corridors and building shadow affects and other disturbances or nuisances, that may result from active development within proximity of the subject site.

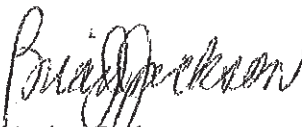
In addition, the covenant requires that a disclosure statement is distributed with every purchase and sale agreement notifying the potential purchaser of the development potential of the adjacent eastern parcel. Also, signs are required to be posted within the sales office advising of potential future active development and construction activity.

3. Transit Service for Subject Site

Densification in the North McLennan area has been consistent with the City's objective to encourage increased use of alternate modes of transportation, such as public transit, walking and cycling. For example, walking distances to bus stops on Westminster Highway and Garden City (bus routes 301, 401, 405 and 407) are within 400 to 500 metres (five to seven minute walk) for residents in the area. Current bus service for the area is available on Garden City Road and Ferndale Road, and Cook Road just west of Garden City Road. The existing bus routes provide access to the City Centre, Brighthouse, Lansdowne and Bridgeport Canada Line Stations and Surrey City Centre.



Victor Wei, P. Eng.
Director, Transportation
(604-276-4131)



Brian Jackson
Director, Development
(604-276-4138)

VW:sh

pc: Joe Erceg, MCIP, General Manager, Planning and Development



City of Richmond
Planning and Development Department

Development Permit

No. DP 10-557920

To the Holder: W. T. LEUNG ARCHITECTS INC.,
ON BEHALF OF CONCORD PACIFIC DEVELOPMENTS INC.

Property Address: 9099 COOK ROAD

Address: C/O W. T. LEUNG ARCHITECTS INC.
300 - 973 WEST BROADWAY
VANCOUVER, BC V5Z 1K3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #19 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$303,231.50 for on-site landscaping and an additional \$79,796.09 for landscaping within the north-south greenway to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 10-557920

To the Holder: W. T. LEUNG ARCHITECTS INC.,
ON BEHALF OF CONCORD PACIFIC DEVELOPMENTS INC.

Property Address: 9099 COOK ROAD

Address: C/O W. T. LEUNG ARCHITECTS INC.
300 - 973 WEST BROADWAY
VANCOUVER, BC V5Z 1K3

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

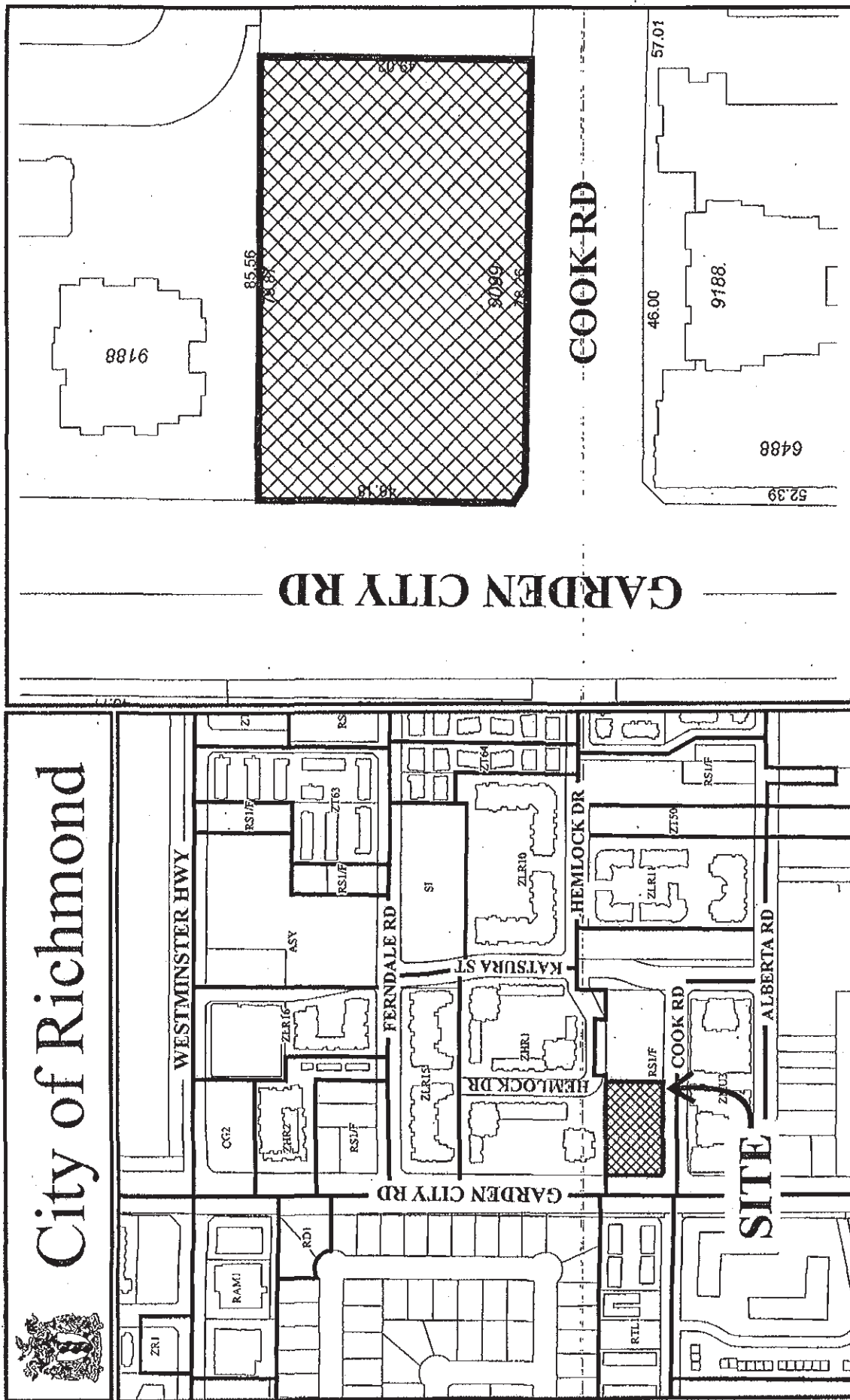
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



Note: Dimensions are in METRES



[illegible]

AFFORDABLE HOUSING CALCULATION:
 AFFORDABLE UNIT AREA REQUIRED:
 5% x 2,644,710 SF = 132,235 SF
 NET AFFORDABLE UNIT AREA PROVIDED:
 7 UNITS ON 3 LVS = 8,038,732 SF (802,483 SMO)
 AFFORDABLE UNIT AREA (GROSS F.A.U.) = 8,018,692 SF (801,864 SMO)

10

[illegible]

OCT 12 2011

| | | |
|-----|------------|-------------------|
| NO. | DATE | DESCRIPTION |
| 1 | 10/12/2011 | ISSUED FOR PERMIT |
| 2 | 10/12/2011 | REVISION |
| 3 | 10/12/2011 | REVISION |
| 4 | 10/12/2011 | REVISION |
| 5 | 10/12/2011 | REVISION |
| 6 | 10/12/2011 | REVISION |
| 7 | 10/12/2011 | REVISION |

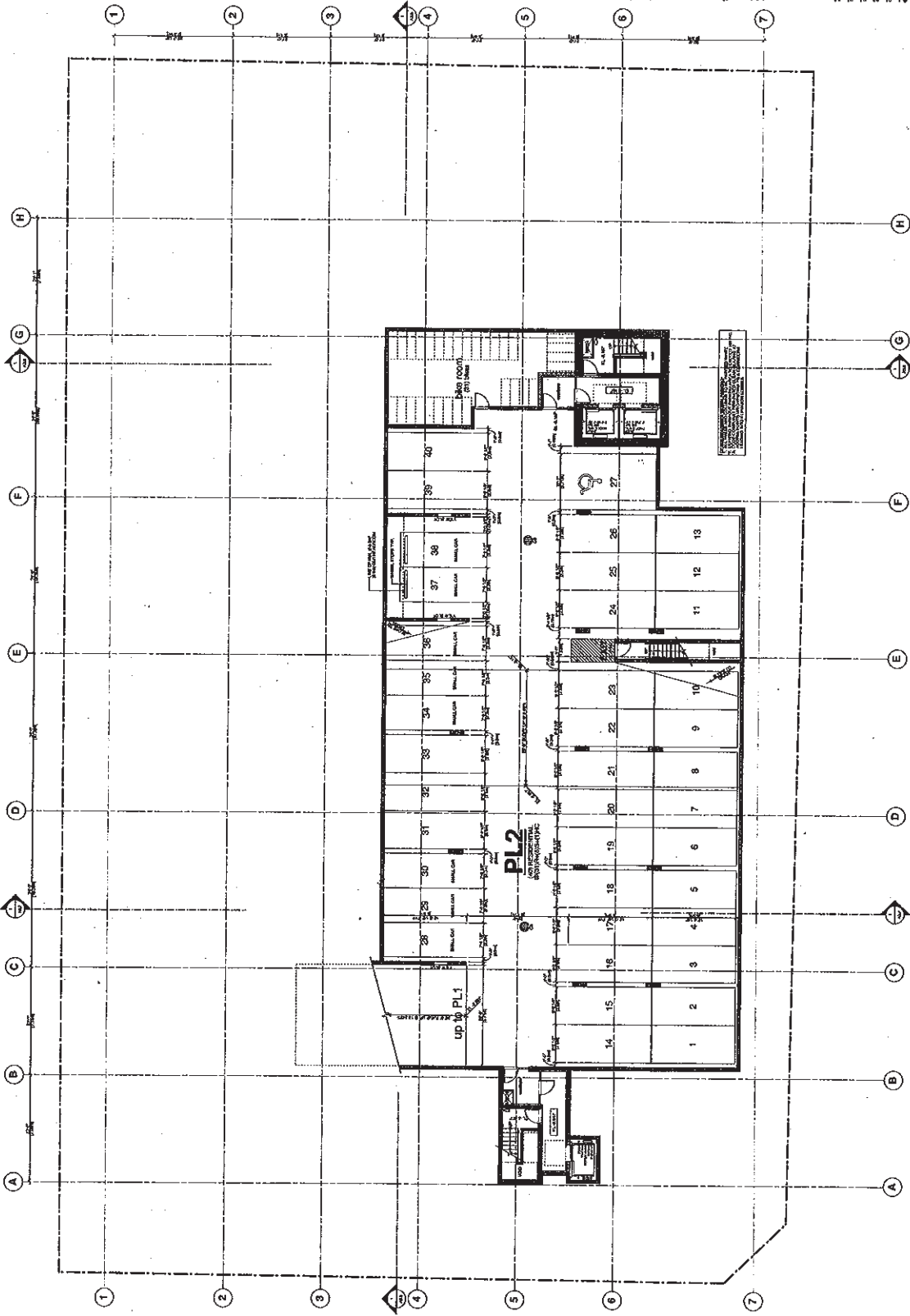
9088 COOK ROAD
RICHMOND, BC
GARAGE CITY & COOK ROAD

PARKING PL2
FLOOR PLAN



| | |
|-------------|-----------------------------|
| DATE | 10/12/2011 |
| BY | J. H. Lee |
| CHECKED BY | J. H. Lee |
| REVIEWED BY | J. H. Lee |
| SCALE | 1/8" = 1'-0" (1/4" = 1'-0") |
| PROJECT | 9088 COOK ROAD |
| SHEET | 10/12/2011 |

DP 105579200
A2.600 #2

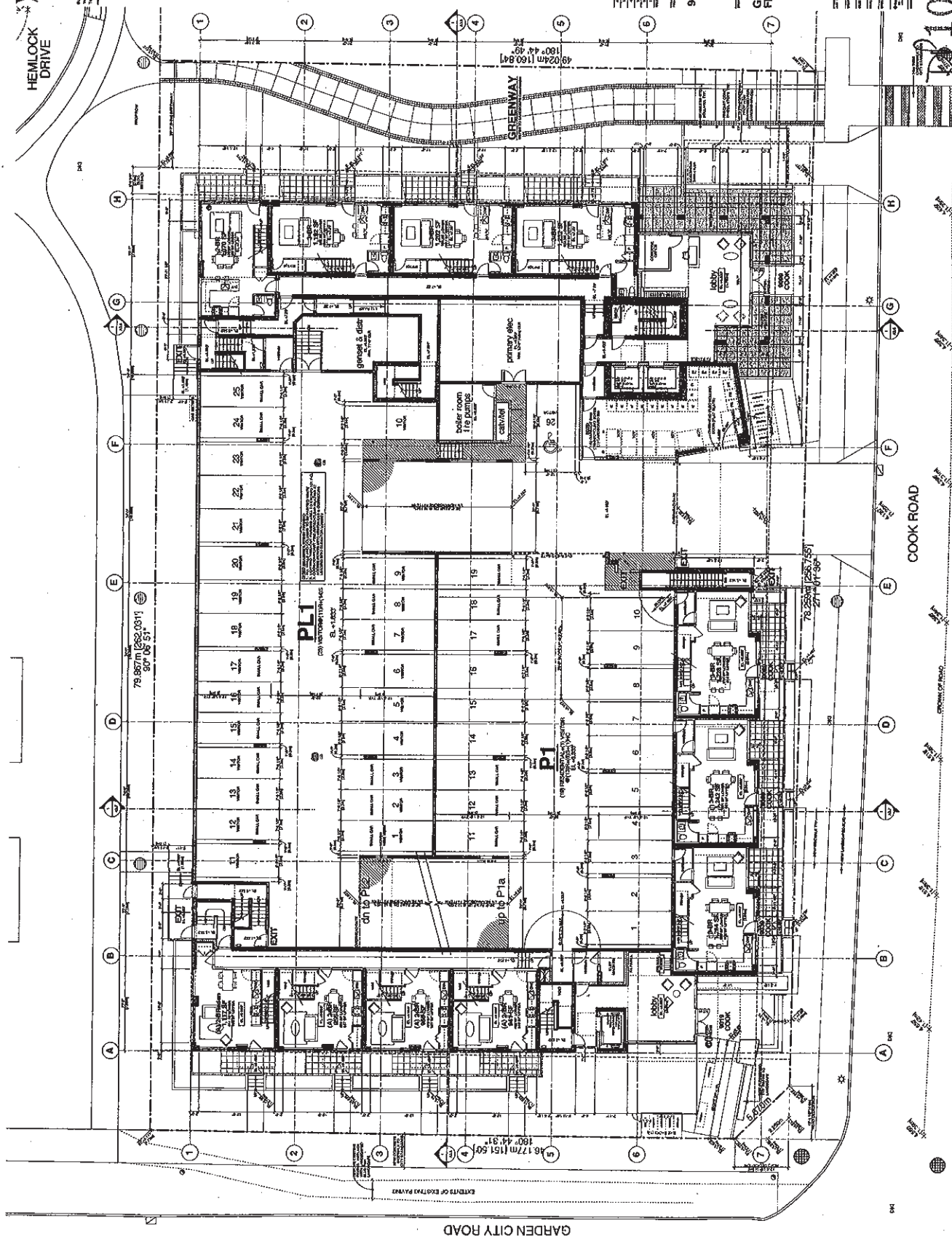


Box 200, 872 Main Highway
Vancouver, British Columbia, Canada V6Z 1A3
Telephone: 604/275-8111 Fax: 604/276-7997

10

10-18
KT
AS NOTED
100° = 100° W.L.O.
WFL

~~A201920~~ #:



OCT 12 2011

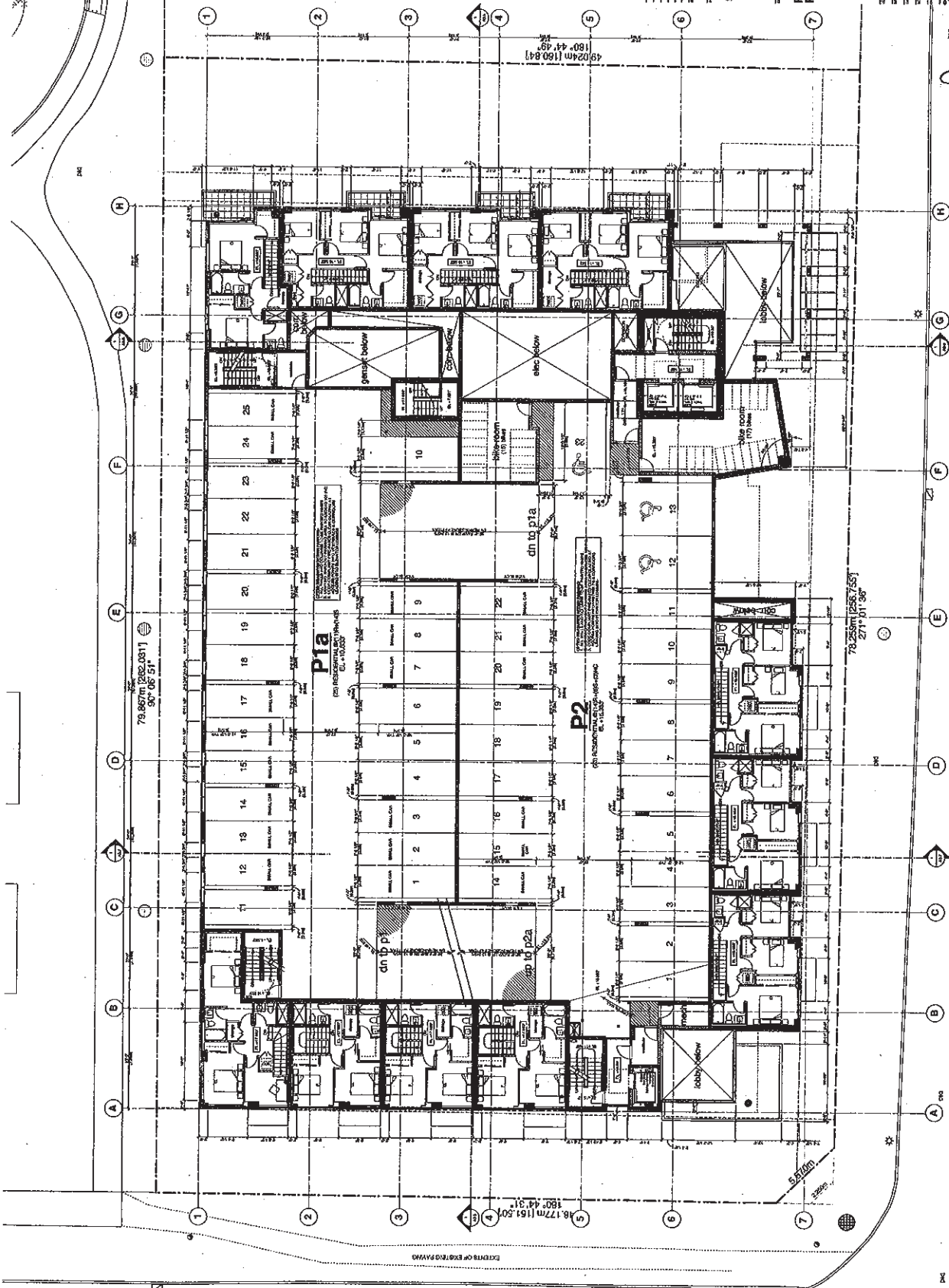
9089 COOK ROAD
RICHMOND, BC
GARMENT CITY & COOK ROAD

P1a/P2
FLOOR PLAN



| | |
|----------|---|
| DATE | 10-19 |
| BY | WT |
| AS NOTED | |
| SCALE | 1/8" = 1'-0" (HORIZ.) 1/4" = 1'-0" (VERT.) |
| PROJECT | WTL |

DP 10 337920
A2.02 #4



COOK ROAD

OCT 12 2011

9089 COOK ROAD
RICHMOND, BC

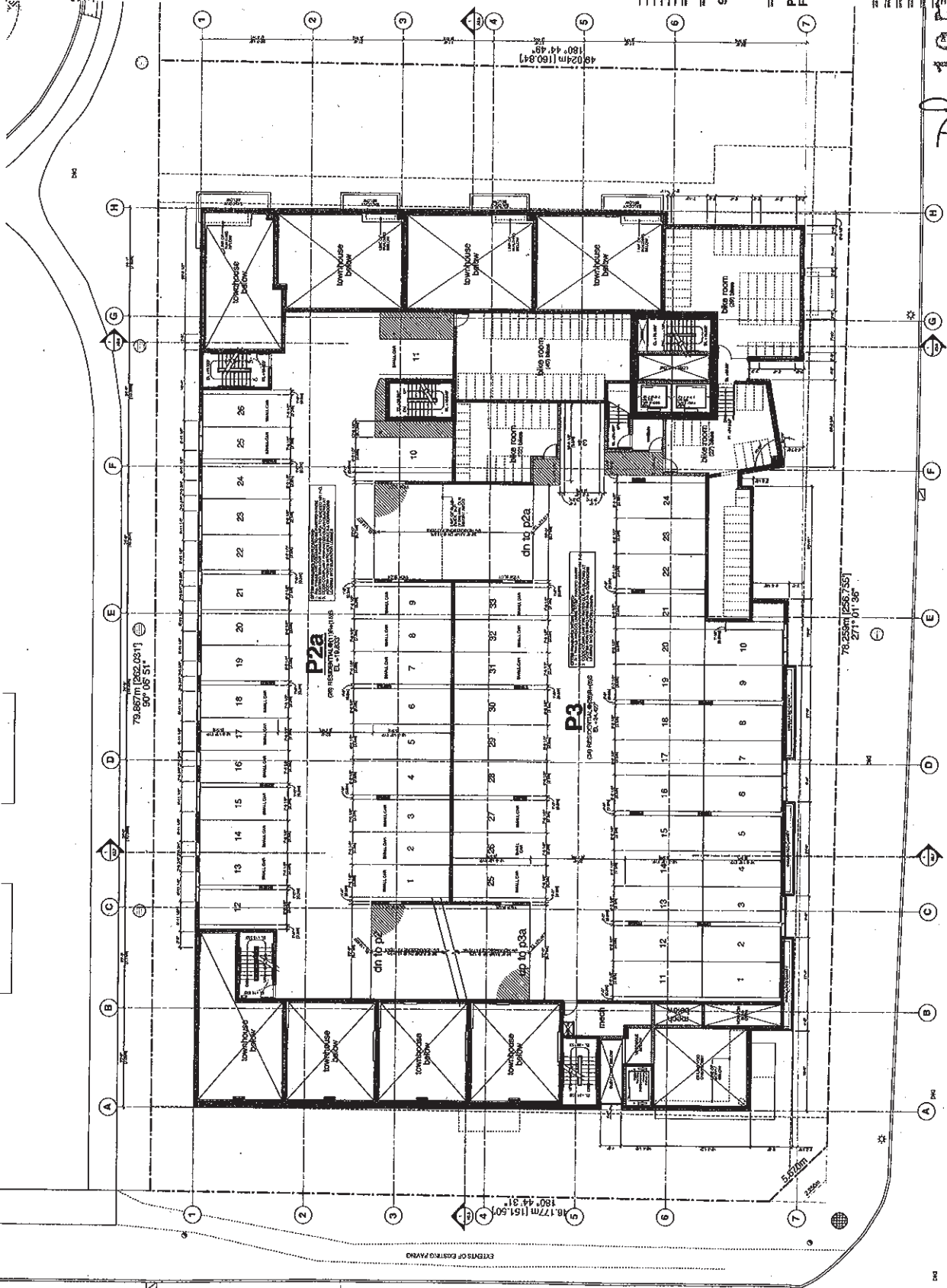
GARDEN CITY & COOK ROAD

P2a / P3
FLOOR PLAN



| | |
|----------|-------------------|
| DATE | 10/12/11 |
| BY | ST |
| AS NOTED | |
| SCALE | 1/8" = 1'-0" U.S. |

DP 10557920
A2.03 #5



COOK ROAD

OCT 12 2011

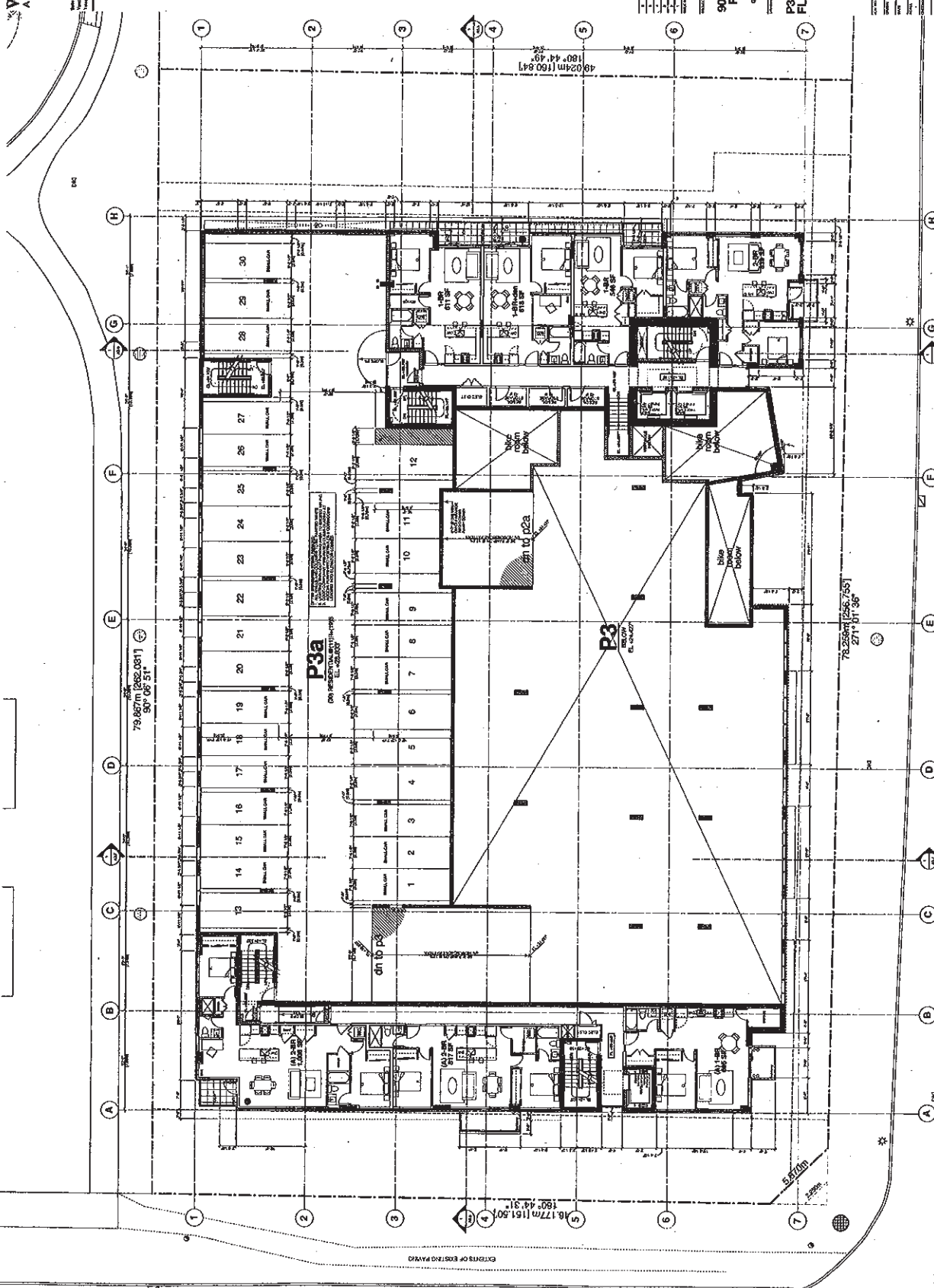
9089 COOK ROAD
RICHMOND, BC
GARDEN CITY & COOK ROAD

P3a / 3RD
FLOOR PLAN

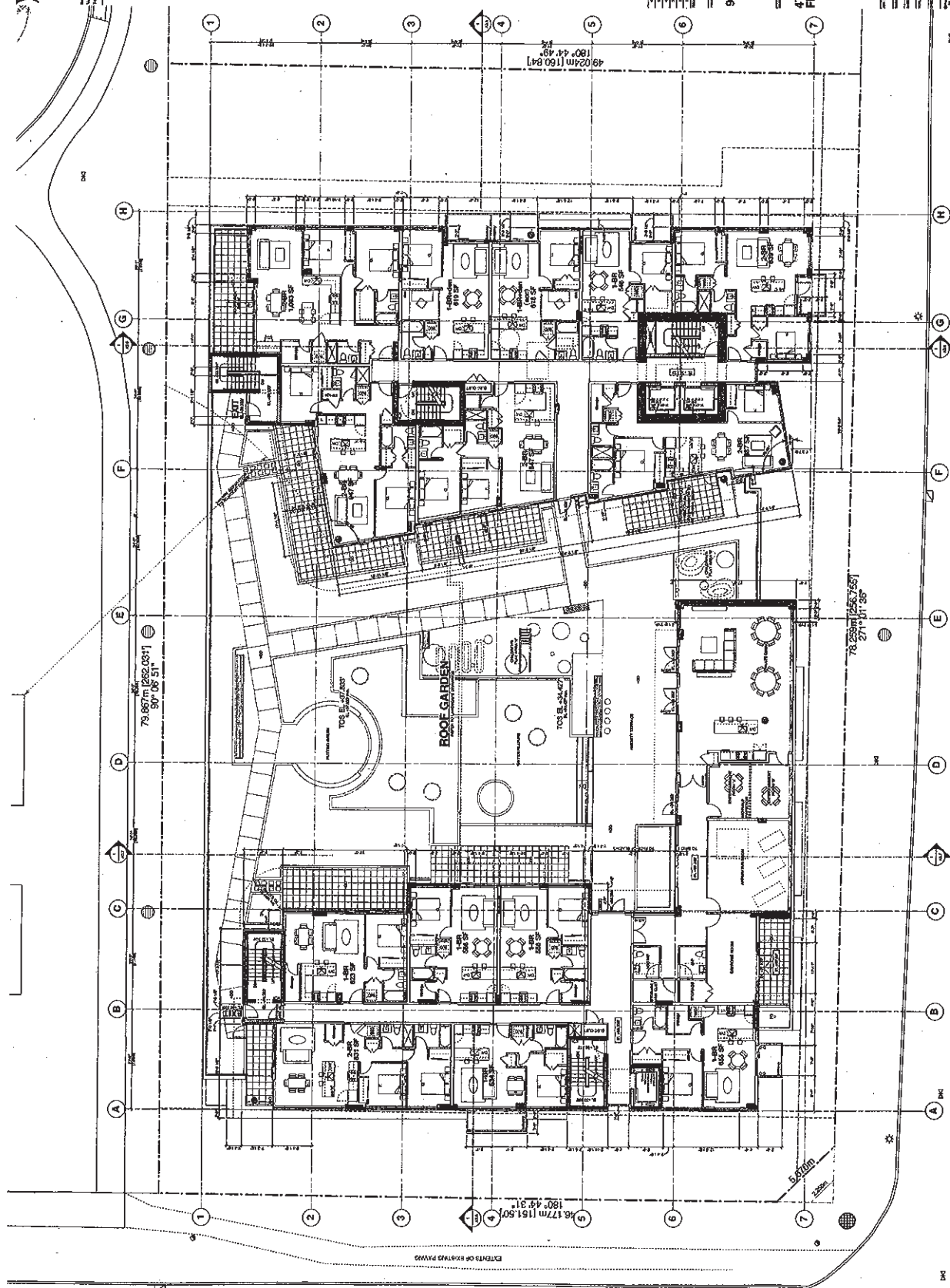


| | |
|---------|---------------------|
| DATE | 10/15 |
| BY | KT |
| CHECKED | AS NOTED |
| SCALE | 1/8" = 1'-0" (1:24) |
| PROJECT | WTL |

DP 1055A2040 #9



COOK ROAD



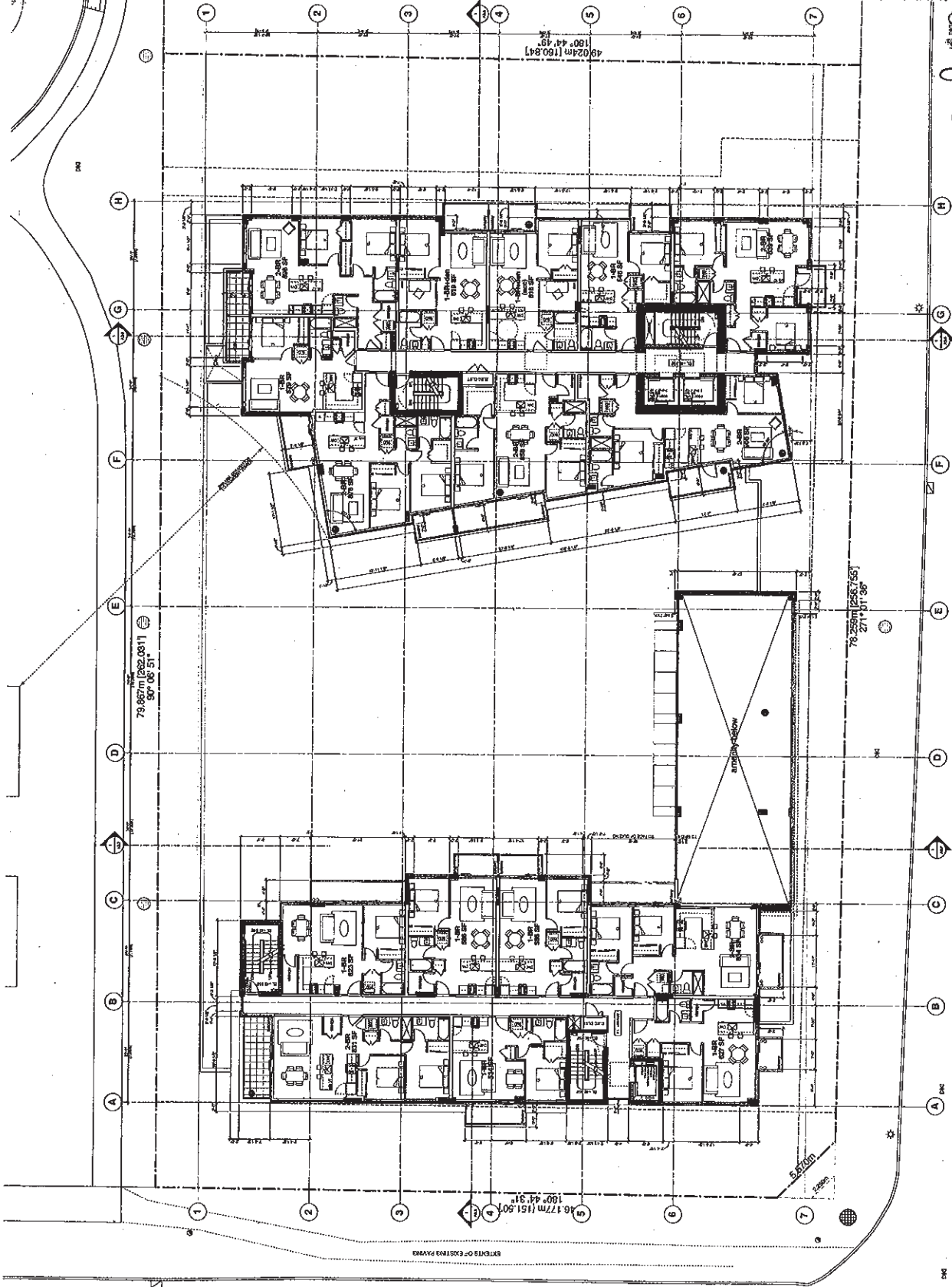
OCT 12 2011

9088 COOK ROAD
RICHMOND, BC
CANNES CITY & COOK ROAD

5TH FLOOR
PLAN

DATE: 10-19-11
BY: JCT
CHECKED: AS NOTED
SCALE: 1/8" = 1'-0" (A4)

DP 10 537920
A2.06 #8



OCT 12 2011

9099 COOK ROAD
RICHMOND, BC
GARDNER CITY & COOK ROAD

CLAMOR: CITY & COUNTRY MAGAZINE

5TH FLOOR
PLAN

10-10
R
AS NOTED
NORTH

DP 0557920 A2.07 #9

COOK ROAD



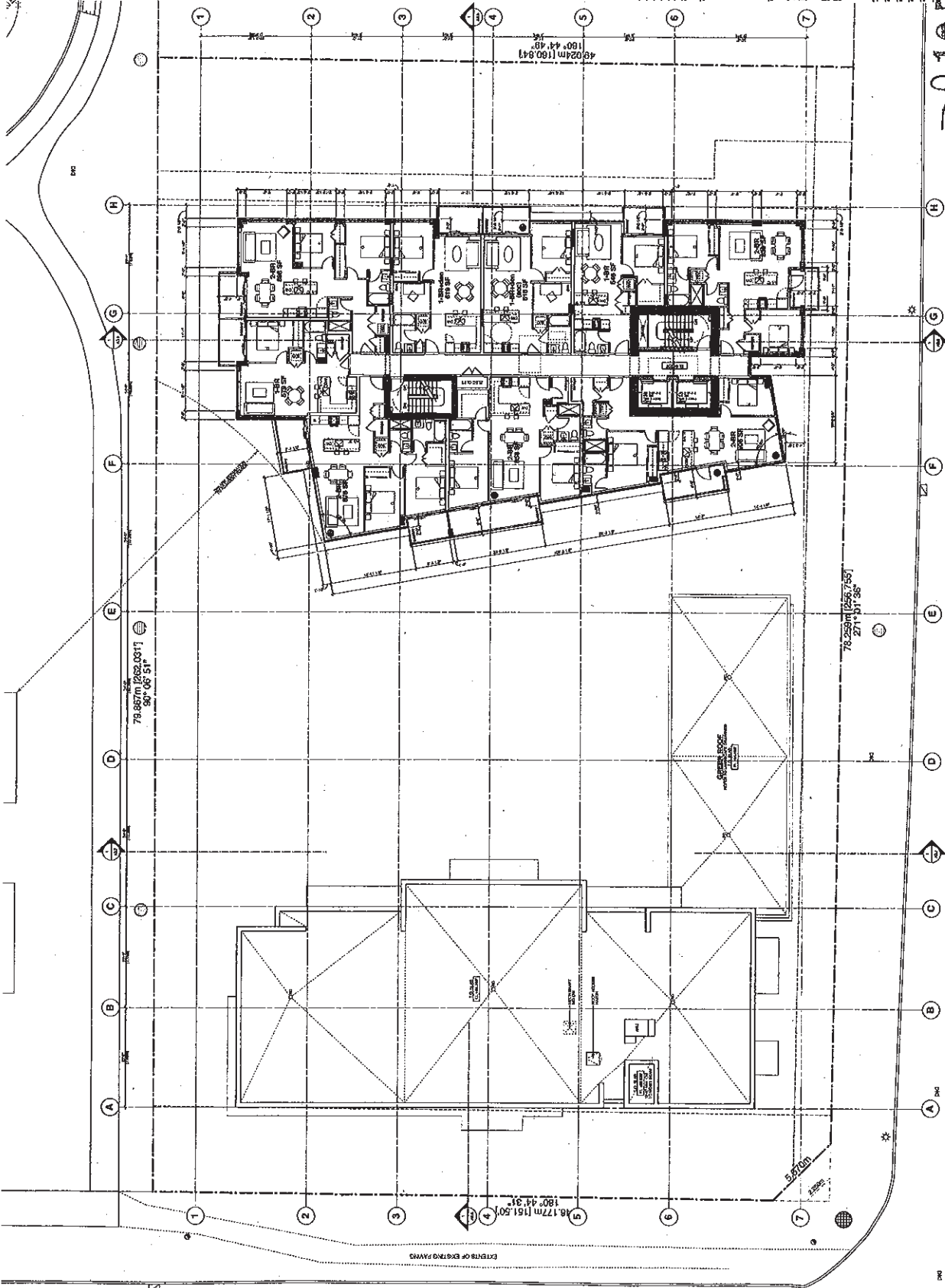
OCT 12 2011

9099 COOK ROAD
RICHMOND, BC
GARDEN CITY & COOK ROAD

7TH FLOOR
PLAN
MIDRISE ROOF
PLAN

DATE: 10-11
BY: WTL
CHECKED: WTL
SCALE: 1/8" = 1'-0"

DP 10507920
A2.08 #10



OCT 12 2011

9089 COOK ROAD
RICHMOND, BC
OAKRIDGE CITY & COOK ROAD

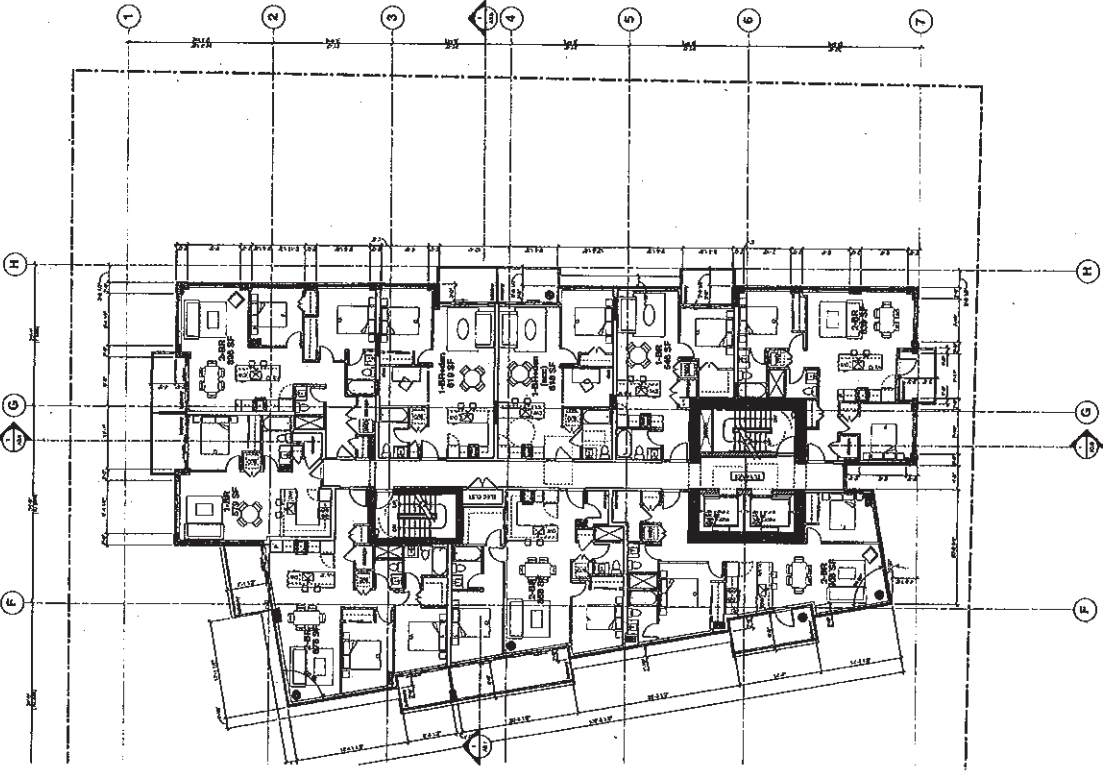
TYPICAL FLOOR PLAN (LVLS 8-14)

15TH FLOOR PLAN

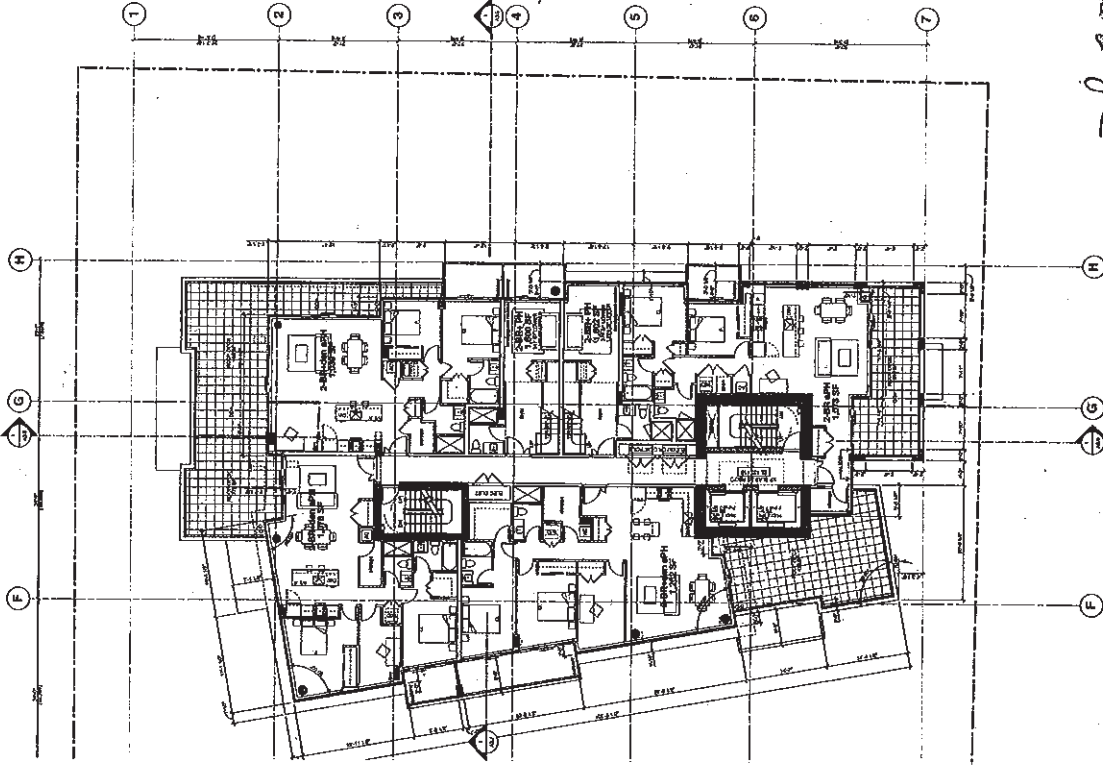


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|---------|---------------------|
| DATE | 10/12/11 |
| BY | WTL |
| CHKD | AS NOTED |
| SCALE | 1/8" = 1'-0" N.A.S. |
| PROJECT | WTL |

DP 10557921
A2.09 #11



1 TYPICAL FLOOR PLAN (LVLS 8-14)



2 15TH FLOOR PLAN

OCT 12 2011

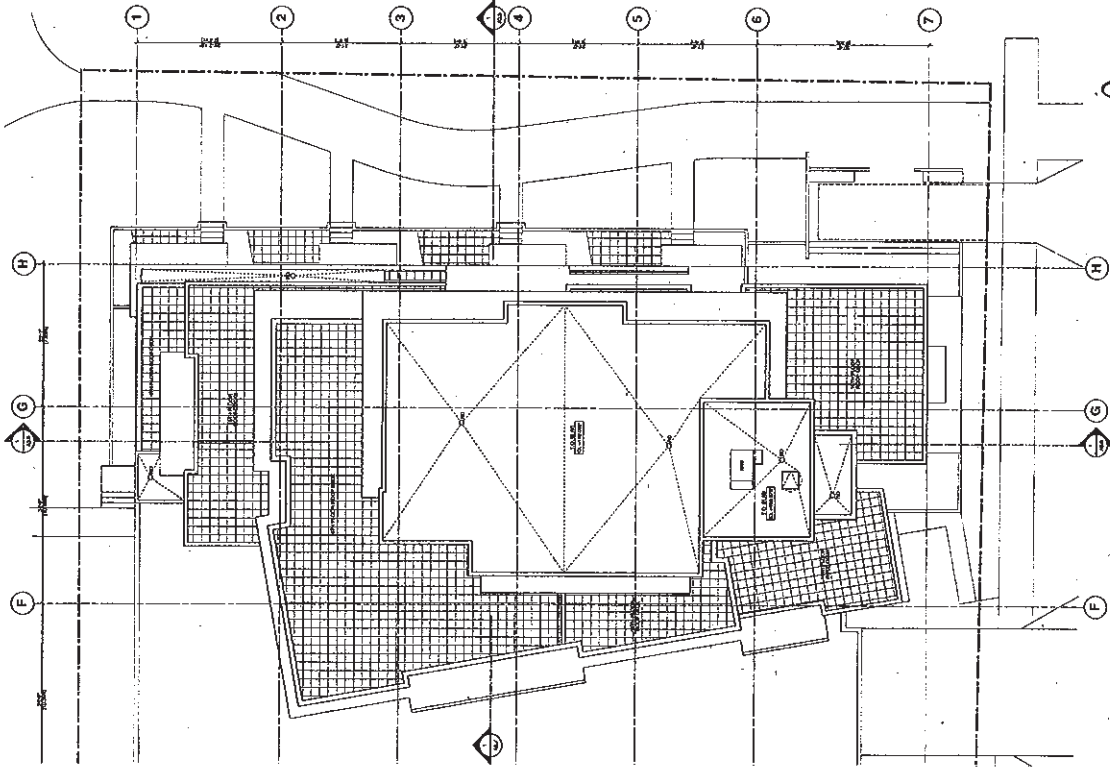
| | |
|----|------------------|
| 1 | 15TH FLOOR PLAN |
| 2 | TOWER ROOF PLAN |
| 3 | 16TH FLOOR PLAN |
| 4 | 17TH FLOOR PLAN |
| 5 | 18TH FLOOR PLAN |
| 6 | 19TH FLOOR PLAN |
| 7 | 20TH FLOOR PLAN |
| 8 | 21ST FLOOR PLAN |
| 9 | 22ND FLOOR PLAN |
| 10 | 23RD FLOOR PLAN |
| 11 | 24TH FLOOR PLAN |
| 12 | 25TH FLOOR PLAN |
| 13 | 26TH FLOOR PLAN |
| 14 | 27TH FLOOR PLAN |
| 15 | 28TH FLOOR PLAN |
| 16 | 29TH FLOOR PLAN |
| 17 | 30TH FLOOR PLAN |
| 18 | 31ST FLOOR PLAN |
| 19 | 32ND FLOOR PLAN |
| 20 | 33RD FLOOR PLAN |
| 21 | 34TH FLOOR PLAN |
| 22 | 35TH FLOOR PLAN |
| 23 | 36TH FLOOR PLAN |
| 24 | 37TH FLOOR PLAN |
| 25 | 38TH FLOOR PLAN |
| 26 | 39TH FLOOR PLAN |
| 27 | 40TH FLOOR PLAN |
| 28 | 41ST FLOOR PLAN |
| 29 | 42ND FLOOR PLAN |
| 30 | 43RD FLOOR PLAN |
| 31 | 44TH FLOOR PLAN |
| 32 | 45TH FLOOR PLAN |
| 33 | 46TH FLOOR PLAN |
| 34 | 47TH FLOOR PLAN |
| 35 | 48TH FLOOR PLAN |
| 36 | 49TH FLOOR PLAN |
| 37 | 50TH FLOOR PLAN |
| 38 | 51ST FLOOR PLAN |
| 39 | 52ND FLOOR PLAN |
| 40 | 53RD FLOOR PLAN |
| 41 | 54TH FLOOR PLAN |
| 42 | 55TH FLOOR PLAN |
| 43 | 56TH FLOOR PLAN |
| 44 | 57TH FLOOR PLAN |
| 45 | 58TH FLOOR PLAN |
| 46 | 59TH FLOOR PLAN |
| 47 | 60TH FLOOR PLAN |
| 48 | 61ST FLOOR PLAN |
| 49 | 62ND FLOOR PLAN |
| 50 | 63RD FLOOR PLAN |
| 51 | 64TH FLOOR PLAN |
| 52 | 65TH FLOOR PLAN |
| 53 | 66TH FLOOR PLAN |
| 54 | 67TH FLOOR PLAN |
| 55 | 68TH FLOOR PLAN |
| 56 | 69TH FLOOR PLAN |
| 57 | 70TH FLOOR PLAN |
| 58 | 71ST FLOOR PLAN |
| 59 | 72ND FLOOR PLAN |
| 60 | 73RD FLOOR PLAN |
| 61 | 74TH FLOOR PLAN |
| 62 | 75TH FLOOR PLAN |
| 63 | 76TH FLOOR PLAN |
| 64 | 77TH FLOOR PLAN |
| 65 | 78TH FLOOR PLAN |
| 66 | 79TH FLOOR PLAN |
| 67 | 80TH FLOOR PLAN |
| 68 | 81ST FLOOR PLAN |
| 69 | 82ND FLOOR PLAN |
| 70 | 83RD FLOOR PLAN |
| 71 | 84TH FLOOR PLAN |
| 72 | 85TH FLOOR PLAN |
| 73 | 86TH FLOOR PLAN |
| 74 | 87TH FLOOR PLAN |
| 75 | 88TH FLOOR PLAN |
| 76 | 89TH FLOOR PLAN |
| 77 | 90TH FLOOR PLAN |
| 78 | 91ST FLOOR PLAN |
| 79 | 92ND FLOOR PLAN |
| 80 | 93RD FLOOR PLAN |
| 81 | 94TH FLOOR PLAN |
| 82 | 95TH FLOOR PLAN |
| 83 | 96TH FLOOR PLAN |
| 84 | 97TH FLOOR PLAN |
| 85 | 98TH FLOOR PLAN |
| 86 | 99TH FLOOR PLAN |
| 87 | 100TH FLOOR PLAN |

9088 COOK ROAD
RICHMOND, BC
VANCOUVER CITY & COOK ROAD
PROJECT NO. 1000

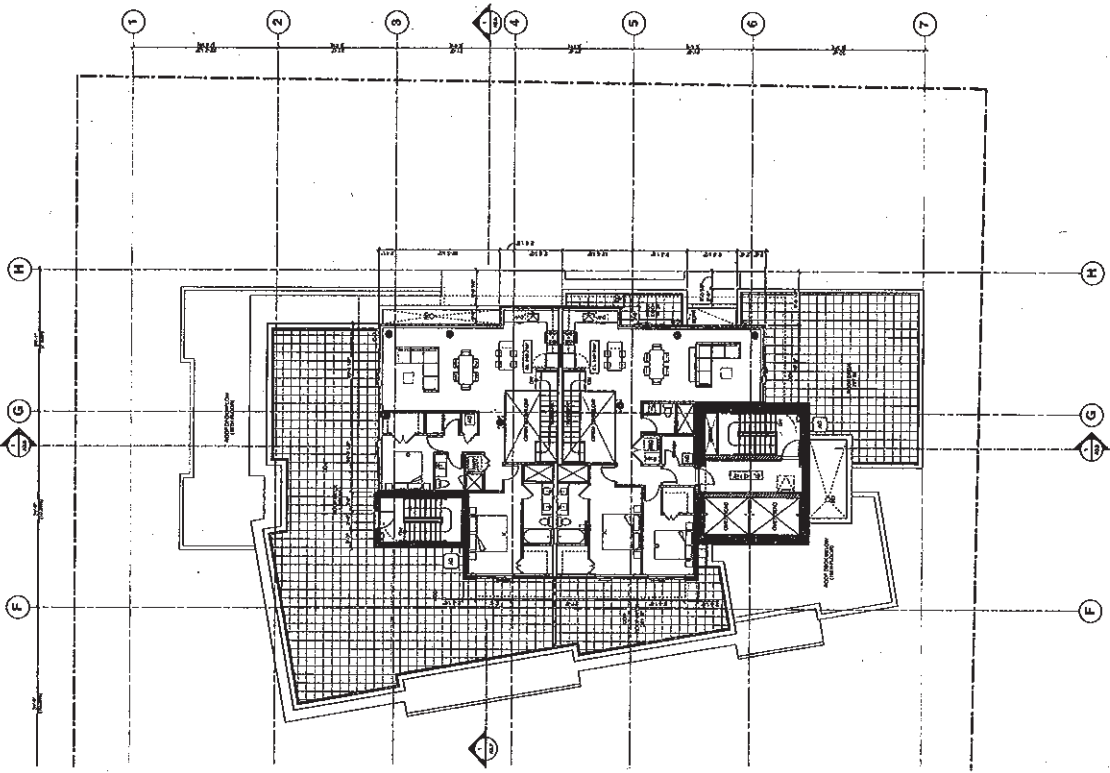
16TH FLOOR
PLAN
TOWER ROOF
PLAN

| | |
|---------|---|
| DATE | 10/12/11 |
| BY | WT |
| CHECKED | AS NOTED |
| SCALE | 1/8" = 1'-0" U.S.A. |
| NOTES | 1. SEE 15TH FLOOR PLAN FOR DETAILS OF THE TOWER ROOF. |

DP 10527020
A2.10
#10



2 TOWER ROOF PLAN



1 15TH FLOOR PLAN

| Seq. | Date | Revision Notes |
|------|---------|-------------------------|
| 1 | 4/26/17 | Revised per DP Comments |

| | 6/2/11 | 10/7/11 | 10/21/11 |
|---|---------------------------|---------------------------|---------------------------|
| 2 | Revised per City comments | | |
| 3 | | Revised per City Comments | |
| 4 | | | Revised per City Comments |

| Age Group | Percentage of Respondents |
|-----------|---------------------------|
| 18-29 | 85% |
| 30-49 | 80% |
| 50-69 | 75% |
| 70+ | 70% |

1

10

9

[illegible]

| | | |
|---|----------|-------------------|
| A | 6/11/10 | Issued for DDP |
| B | 10/22/10 | Issued for Review |
| C | 11/4/10 | Issued for Review |

| | |
|----------|-----------------------------|
| 12/23/10 | Issued for Reasoning / DP |
| 4/23/11 | Issued for Response to City |

| Comment | Re-issued for Resolving | Re-issued for Planning Committee |
|---------|-------------------------|----------------------------------|
| 6/2/77 | | |
| 7/5/77 | | |

| | Meeting | Issued for Advisory Design Panel | Issued for CAP |
|---|---------|----------------------------------|----------------|
| 4 | 3/10/71 | | |
| 5 | 9/12/71 | | |

| | 10/1/01 | 10/1/02 |
|----------------------|---------|---------|
| Required for Rep-Rep | | |
| Required for Rep | | |

8

| Age Group | Total | Female | Male | Unknown |
|-----------|-------|--------|------|---------|
| 18-24 | 100 | 85 | 15 | 0 |
| 25-34 | 100 | 75 | 25 | 0 |
| 35-44 | 100 | 85 | 15 | 0 |
| 45-54 | 100 | 75 | 25 | 0 |
| 55-64 | 100 | 85 | 15 | 0 |
| 65+ | 100 | 75 | 25 | 0 |

1

10

Garden City +
Cook's RoadCook HoodRichmond, BC

1000000

| andscape

Ground-Level

OCT 31 2011

Prevalence of Sleep

WILLCOCKSON'S QUALITY OF SERVICE AND SERVICE
PROFESSIONALISM AND QUALITY OF SERVICE
WILLCOCKSON'S QUALITY OF SERVICE AND SERVICE

| | |
|-------|-------|
| 20012 | 20012 |
| 20012 | 20012 |

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| MA | 3/27 = 1.08 |
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| <p> 11/11/11 </p> | <p> 11/11/11 </p> | <p> 11/11/11 </p> | <p> 11/11/11 </p> | <p> 11/11/11 </p> | <p> 11/11/11 </p> | <p> 11/11/11 </p> | <p> 11/11/11 </p> | <p> 11/11/11 </p> |
|---|--|--|--|--|--|--|--|--|

new crosswalk to align with the existing crosswalk location to be addressed with City of Richmond Engineering Department cross walk details to be addressed through the standard segment

Maximum for loading zone

BOOK ROAD

Shower with concrete
tiles

Overlapped tiles provide a better seal than concrete tiles

Low-Carbonate High Wet Lighting
Circular sand platter in water
suitable for water therapy

Impregnated LED Lights

Blue Racks

[illegible][illegible]

| CONSTRUCTION | DESCRIPTION |
|--------------|------------------------|
| A | SAW-CUT CONCRETE |
| B | GRIND MATERIAL |
| C | BRICK PAVING |
| D | CONCRETE DRIVE |
| E | ASPHALT DRIVE |
| F | ASPHALT DRIVE/PAVEMENT |
| G | GREEN ROOF |
| H | PAVEMENT |
| I | FOUNDATIONS |
| 1 | ROOF |
| 2 | BRICK ROOF |
| 3 | CONCRETE ROOF |
| 4 | ASPHALT ROOF |

Note: Refer to sheet LQ for Paved Lanes

eckford + associates
landscape architecture

1000 West 1st Avenue, Vancouver, B.C. V6H 1G6
Tel: 604-681-1111 Fax: 604-681-1112
www.eckford.com

| No. | Date | Revision Notes |
|-----|----------|---------------------------|
| 1 | 10/27/11 | Revised per DP Comments |
| 2 | 10/27/11 | Revised per City comments |
| 3 | 10/27/11 | Revised per City comments |
| 4 | 10/27/11 | Revised per City comments |

| No. | Date | Issue Notes |
|-----|----------|--------------------|
| A | 10/17/10 | Issue for DP |
| B | 10/27/10 | Revised for Review |
| C | 10/27/10 | Revised for Review |
| D | 10/27/10 | Revised for Review |
| E | 10/27/10 | Revised for Review |
| F | 10/27/10 | Revised for Review |
| G | 10/27/10 | Revised for Review |
| H | 10/27/10 | Revised for Review |
| I | 10/27/10 | Revised for Review |
| J | 10/27/10 | Revised for Review |
| K | 10/27/10 | Revised for Review |

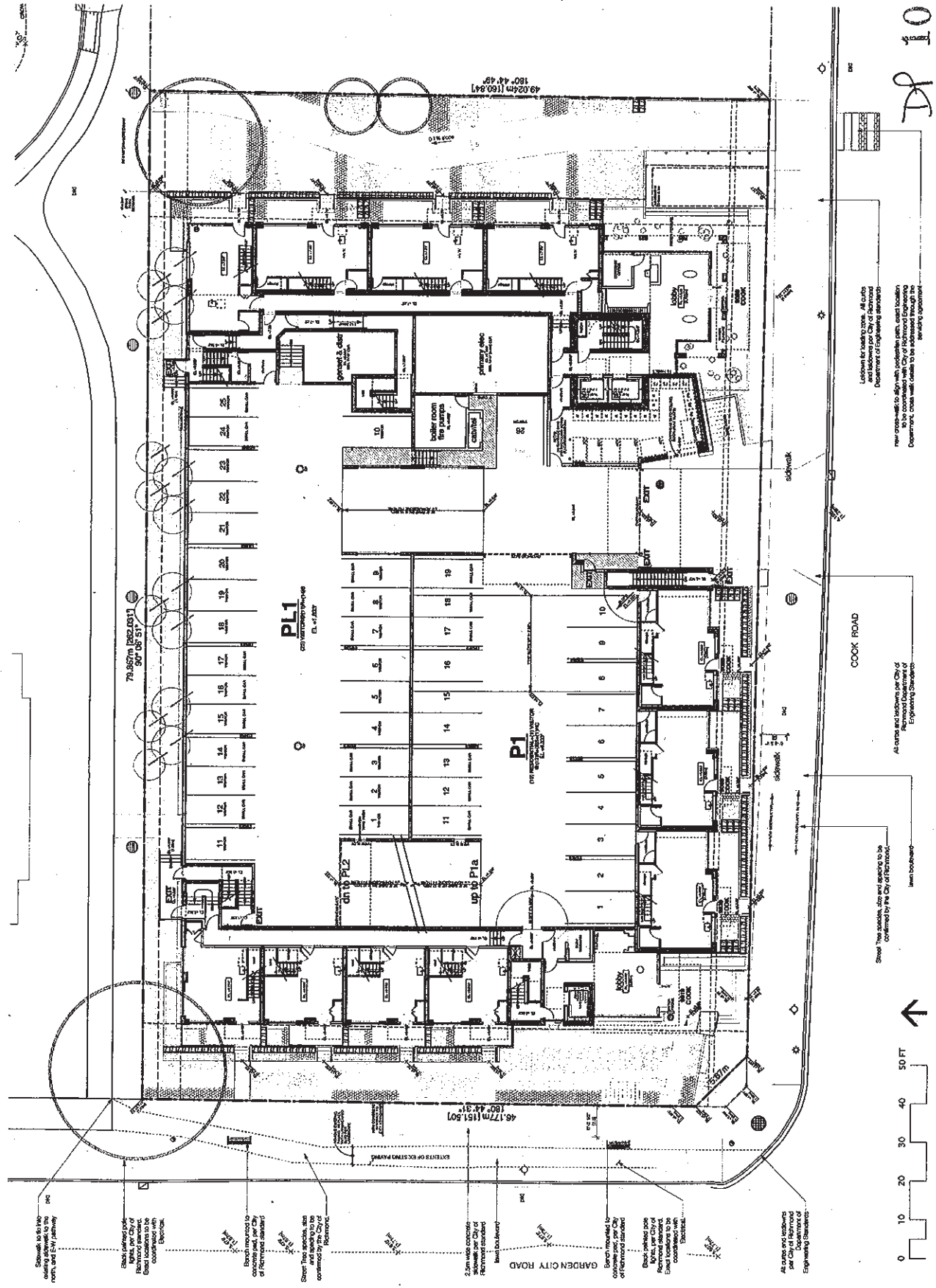
Garden City +
Cook Road
Richmond, BC

Landscape
Ground Level
Offsite Works

001317011

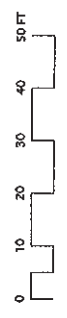
DATE: 10/27/11
BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

DP 10527920
#136



Shade Tree species, size and spacing to be confirmed by the City of Richmond.

See bookend



COOK ROAD

As shown and indicated per City of Richmond Department of Engineering Standards

Locations for trees to be planted. All trees and shrubs per City of Richmond Department of Engineering Standards

new crosswalk to align with sidewalk path, used location to be coordinated with City of Richmond Engineering Department. crosswalk needs to be addressed through the City's Engineering Department



| No. | Date | Revised Notes |
|-----|----------|---------------------------|
| 1 | 4/28/11 | Revised per DP Comments |
| 2 | 5/10/11 | Revised per DP Comments |
| 3 | 10/27/11 | Revised per City Comments |
| 4 | 10/27/11 | Revised per City Comments |

| No. | Date | Revised Notes |
|-----|----------|--------------------|
| A | 5/11/10 | Revised for DP |
| B | 10/27/10 | Revised for Review |
| C | 10/27/10 | Revised for Review |
| D | 10/27/10 | Revised for Review |
| E | 4/28/11 | Revised for Review |
| F | 4/28/11 | Revised for Review |
| G | 4/28/11 | Revised for Review |
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| I | 4/28/11 | Revised for Review |
| J | 10/27/11 | Revised for Review |
| K | 10/27/11 | Revised for Review |

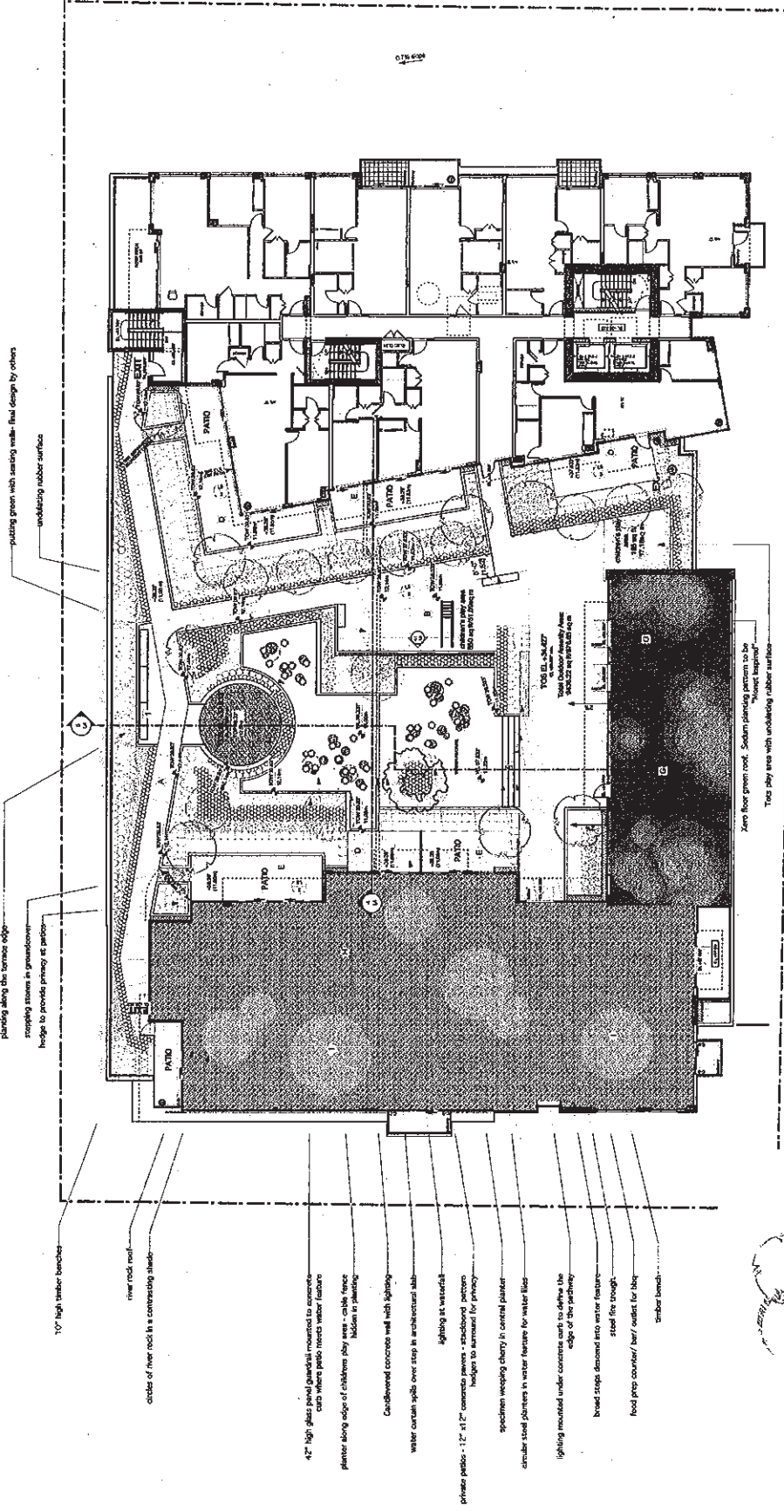
Garden City +
Cook Road
Richmond, BC

Landscape
Garden Level
4th Floor

OCT 31 2011

Project: Garden City + Cook Road
Location: Richmond, BC
Scale: 1/8" = 1'-0"

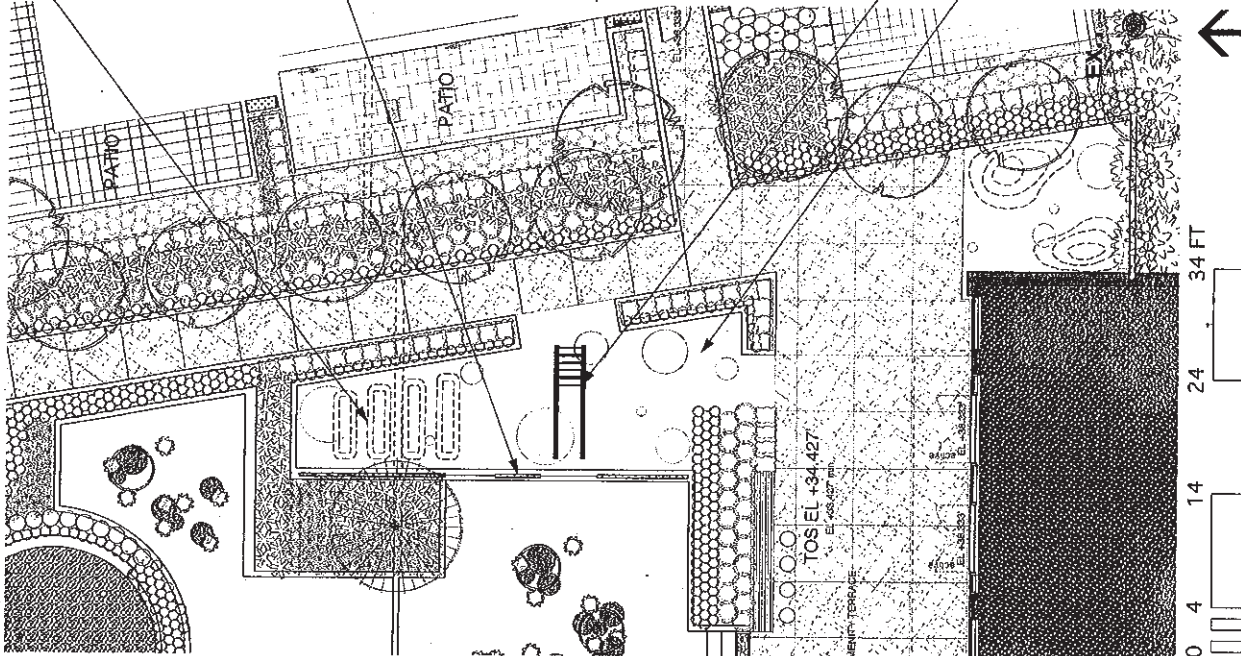
557920
#13C



| Plant List - Shrubs / Perennials / Groundcovers | Common Name | Scientific Name | Quantity | Notes |
|---|------------------|-------------------------|----------|-----------------|
| 1 | Red Twig Dogwood | <i>Cornus alba</i> | 10 | Plant in Zone A |
| 2 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 3 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 4 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 5 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 6 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 7 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 8 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 9 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 10 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |

| Plant List - Trees | Common Name | Scientific Name | Quantity | Notes |
|--------------------|------------------|-------------------------|----------|-----------------|
| 1 | Red Twig Dogwood | <i>Cornus alba</i> | 10 | Plant in Zone A |
| 2 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 3 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 4 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 5 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 6 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 7 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 8 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 9 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 10 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |

| Plant List - Trees | Common Name | Scientific Name | Quantity | Notes |
|--------------------|------------------|-------------------------|----------|-----------------|
| 1 | Red Twig Dogwood | <i>Cornus alba</i> | 10 | Plant in Zone A |
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| 3 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 4 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 5 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 6 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 7 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 8 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 9 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |
| 10 | Blackberry | <i>Rubus fruticosus</i> | 10 | Plant in Zone A |

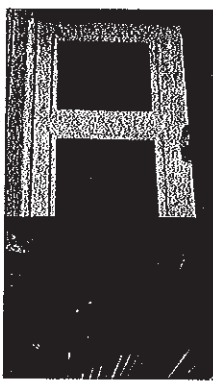


undulating rubber surface

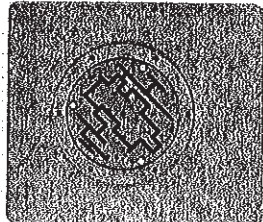


The undulating rubber surfaces provides endless opportunities of play for all ages.

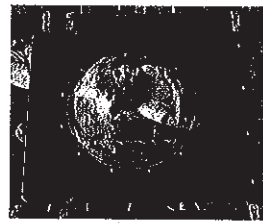
interactive wall - chalkboard, play panels



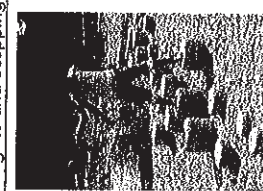
The 'Monet Creative Wall' is comprised of a series of chalkboard panels, interactive panels and glass panels. This combination creates an environment for children to utilize their imaginations, be creative, and interact with other children.



tunnel



epdm rubber surface in a variety of colours and heights and stepping stones

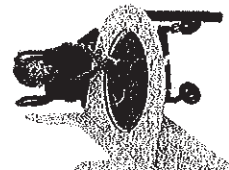


The stepping stones provides an opportunity for creativity and interactions between children.

The stepping stones will vary in height and colour.



age 5-12



age 5-12

OCT 14 2011

eckford + associates landscape architecture

Project: Garden + Cook

Drawing Title: Play Area Concept

Drawing Number: LSK-1

Drawn By: CB

Date: 10.14.2011

Sheet Number: 13c

| No. | Date | Revision Notes |
|-----|----------|---------------------------|
| 1 | 10/20/11 | Revised per City Comments |
| 2 | 10/20/11 | Revised per City Comments |
| 3 | 10/20/11 | Revised per City Comments |
| 4 | 10/20/11 | Revised per City Comments |

| No. | Date | Revision Notes |
|-----|------|----------------|
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| | | |
|---|----------|--------------------|
| A | 07/10/10 | Revised for DP |
| B | 10/27/10 | Revised for Review |
| C | 10/27/10 | Revised for Review |
| D | 10/27/10 | Revised for Review |
| E | 10/27/10 | Revised for Review |
| F | 10/27/10 | Revised for Review |
| G | 10/27/10 | Revised for Review |
| H | 10/27/10 | Revised for Review |
| I | 10/27/10 | Revised for Review |
| J | 10/27/10 | Revised for Review |
| K | 10/27/10 | Revised for Review |
| L | 10/27/10 | Revised for Review |

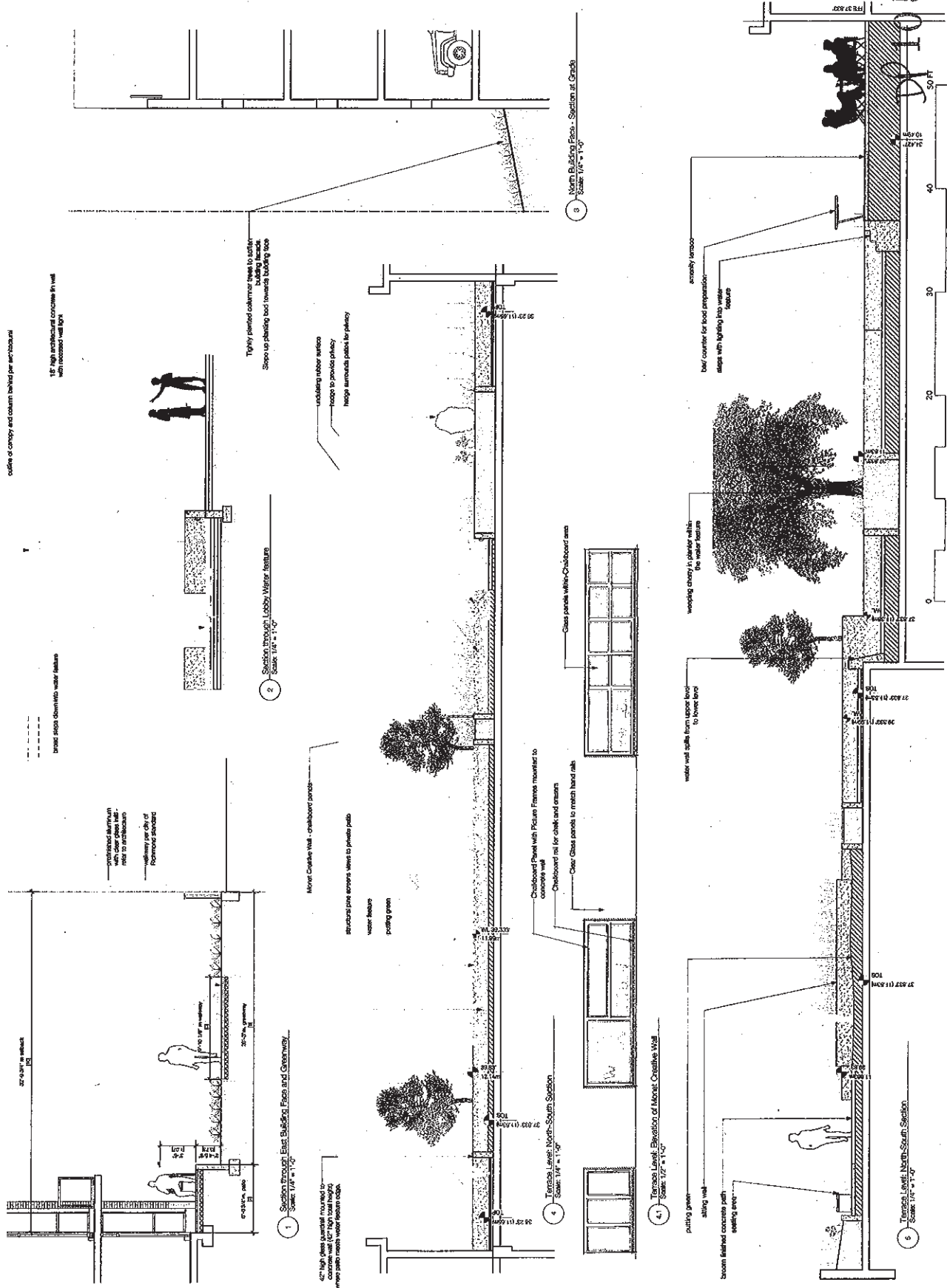
Garden City +
Cook Road
Richmond, BC

Landscape
Sections

OCT 31 2011

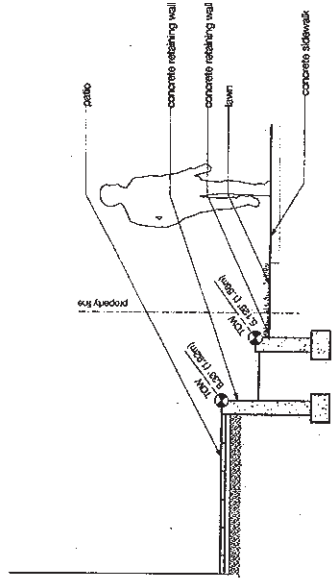
| No. | Date | Revision Notes |
|-----|------|----------------|
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#13x

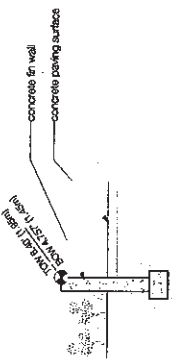


| No. | Date | Revision Notes |
|-----|----------|---------------------------|
| 1 | 4/28/11 | Revised per City Comments |
| 2 | 8/1/11 | Revised per City Comments |
| 3 | 10/27/11 | Revised per City Comments |
| 4 | 10/27/11 | Revised per City Comments |

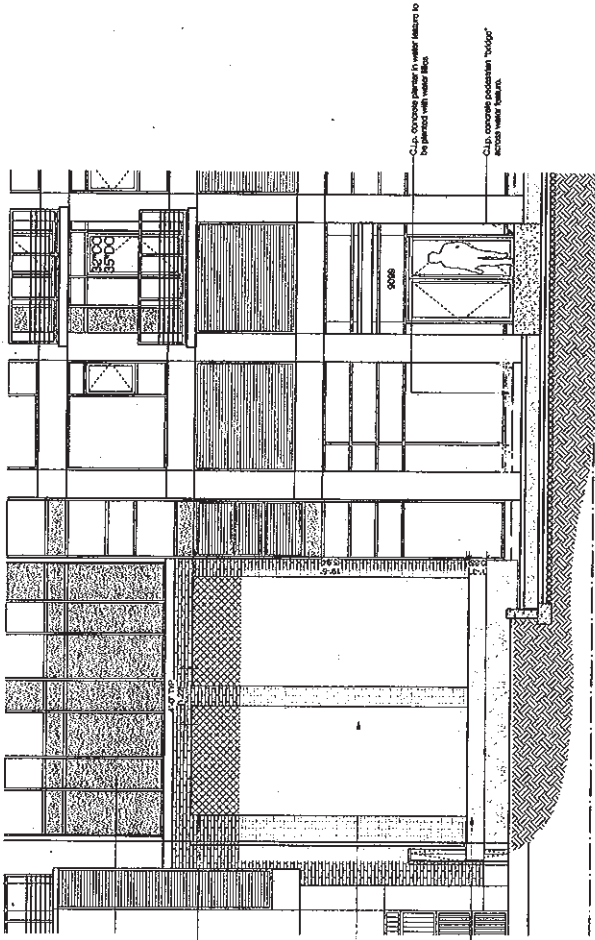
| No. | Date | Issue Notes |
|-----|----------|--------------------|
| A | 5/1/12 | Revised for DP |
| B | 10/22/12 | Revised for Review |
| C | 11/14/12 | Revised for Review |
| D | 11/29/12 | Revised for Review |
| E | 12/19/12 | Revised for Review |
| F | 4/28/13 | Revised for Review |
| G | 6/24/13 | Revised for Review |
| H | 7/25/13 | Revised for Review |
| I | 8/26/13 | Revised for Review |
| J | 9/13/13 | Revised for Review |
| K | 10/27/13 | Revised for Review |
| L | 10/27/13 | Revised for Review |



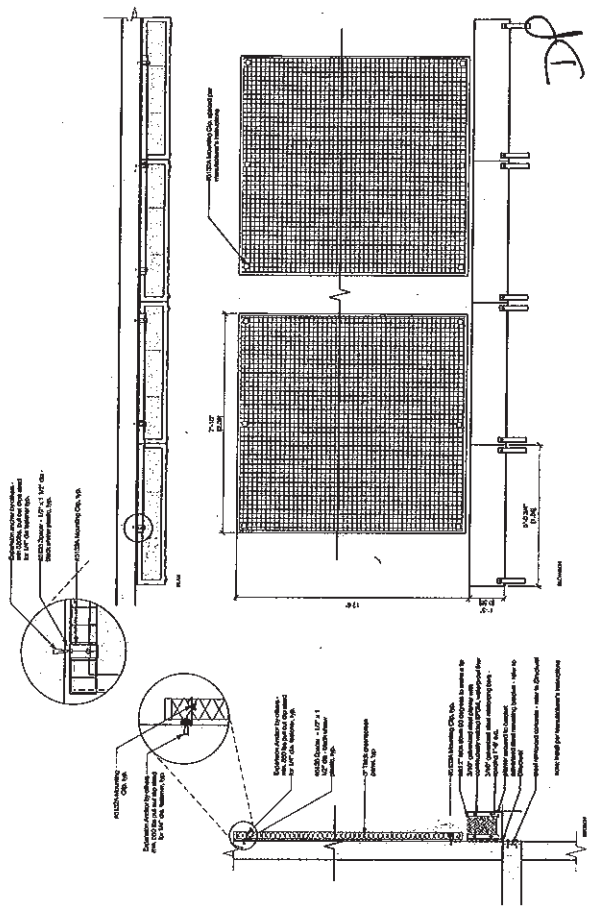
4 Section: Patio and Retaining Wall along Cook Road
Scale 1/2" = 1'-0"



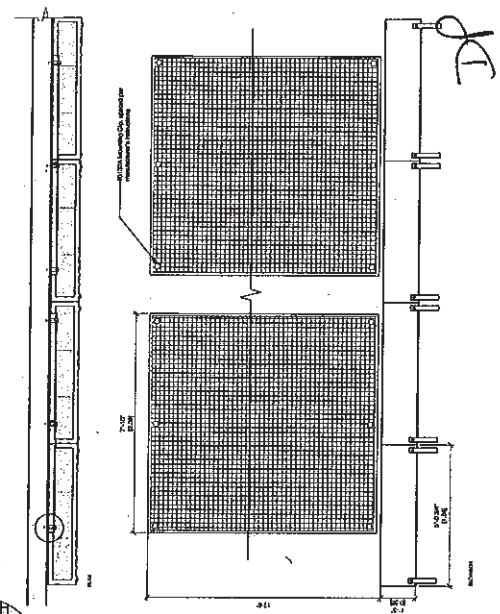
6 Section: Concrete Fin Wall
Scale 1/2" = 1'-0"



1 South Elevation View: Trunk at Tower Lobby Entrance
Scale 1/4" = 1'-0"

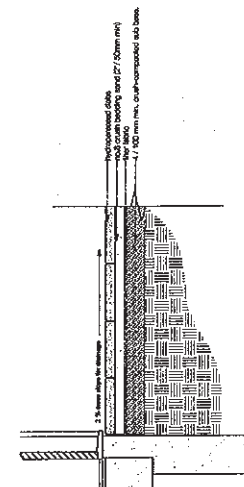


2 West Elevation View: Trunk at Tower Lobby Entrance
Scale 1/4" = 1'-0"



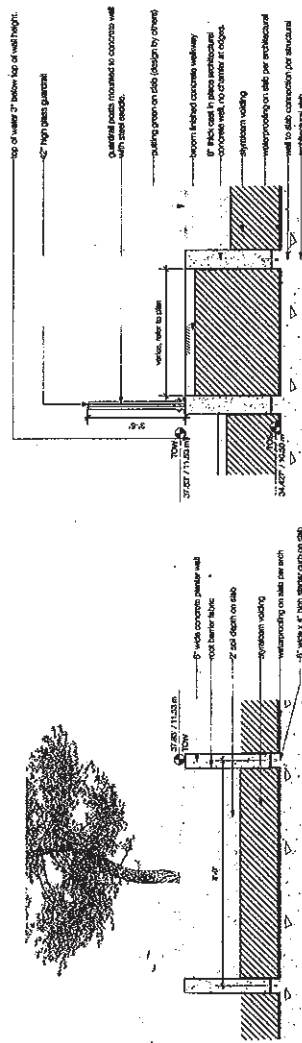
3 Detail: GreenScreen Installation
Scale 1/2" = 1'-0"

OCT 31 2011



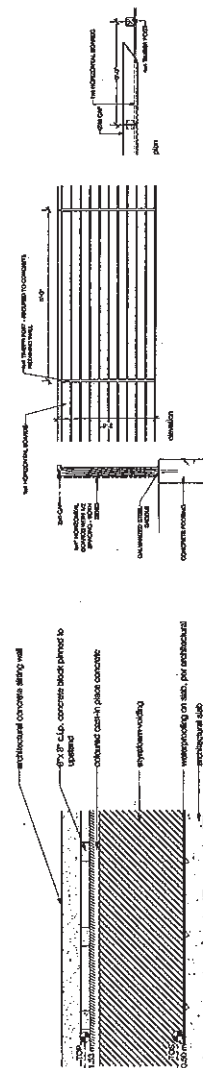
1 Concrete Unit Pavers on Grade (TYP)
Scale: 1" = 1'-0"

2 Concrete Unit Pavers on Slab (Slab Elev 37.83)
Scale: 1" = 1'-0"



4 Concrete Tree Planter on Slab
Scale: 1/2" = 1'-0"

5 Detail Section - Walkway at edge of water feature



7 Detail Section / Elevation: Low Wall at Edge of Water Feature
Scale: 1/2" = 1'-0"

Detail: Cedar Fence
Slope 1/2" = 1'-0"

[illegible][illegible]

Garden City +
Cook Road
Richmond, BC

Landscape
Details + Notes

OCT 31 '64

| | | |
|---|---------------------|-------------------|
| <p>all figures illustrated by ACCOUNTS & AMOUNTS</p> <p>This design is not to be used or reproduced without the permission of ACCOUNTS & AMOUNTS.</p> | <p>Page # 21225</p> | <p>of 7</p> |
| <p>Page # 21225</p> | <p>of 7</p> | <p>04-23-2010</p> |

9 Detail: Bollard along Greenway
Scale: 1/2" = 1'-0"

R. 7451 Bollards
Chairless Client
Through Preference Easement
Call 207, 9429 - 1488, 2000
Surrey, British Columbia, Canada V3S 7C7
1-888-735-0880
(800) 562-0033

#139

| FINISH MATERIAL LEGEND | |
|------------------------|------------------------------|
| 1 | CONCRETE |
| 2 | BRICK |
| 3 | GLAZED ALUMINUM CURTAIN WALL |
| 4 | GLAZED ALUMINUM CURTAIN WALL |
| 5 | GLAZED ALUMINUM CURTAIN WALL |
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| 14 | GLAZED ALUMINUM CURTAIN WALL |
| 15 | GLAZED ALUMINUM CURTAIN WALL |
| 16 | GLAZED ALUMINUM CURTAIN WALL |
| PAINT FINISH LEGEND | |
| 1 | EXTERIOR WALLS |
| 2 | INTERIOR WALLS |
| 3 | CEILING |
| 4 | FLOOR |
| 5 | ROOF |
| 6 | GLAZED ALUMINUM CURTAIN WALL |
| 7 | GLAZED ALUMINUM CURTAIN WALL |
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| 14 | GLAZED ALUMINUM CURTAIN WALL |
| 15 | GLAZED ALUMINUM CURTAIN WALL |
| 16 | GLAZED ALUMINUM CURTAIN WALL |

OCT 12 2011

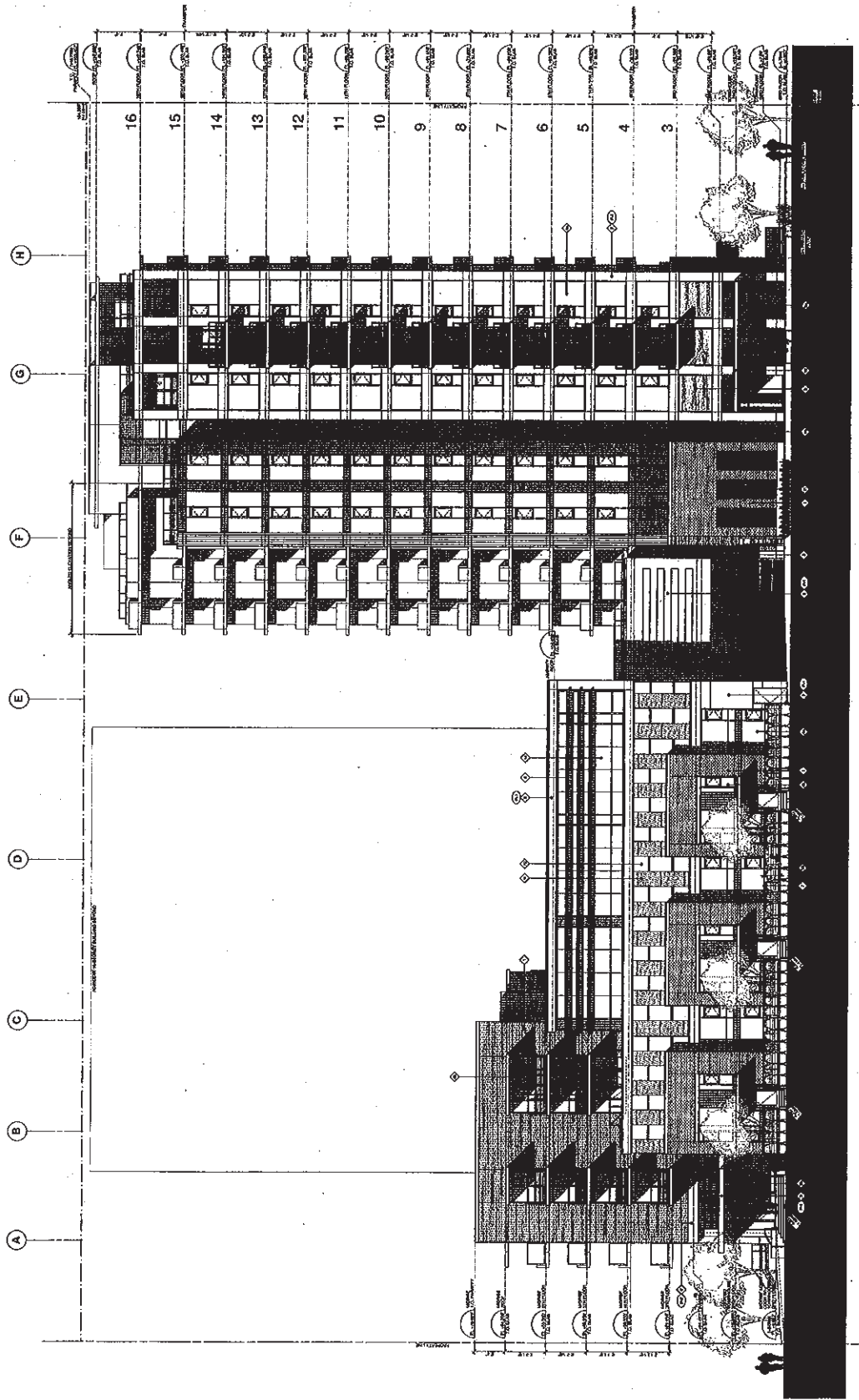
| | |
|----|------------------------------|
| 1 | CONCRETE |
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| 3 | GLAZED ALUMINUM CURTAIN WALL |
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| 15 | GLAZED ALUMINUM CURTAIN WALL |
| 16 | GLAZED ALUMINUM CURTAIN WALL |

9998 COOK ROAD
RICHMOND, BC
GARDEN CITY & COOK ROAD

SOUTH
ELEVATION
(COOK ROAD)

| | |
|----|------------------------------|
| 1 | CONCRETE |
| 2 | BRICK |
| 3 | GLAZED ALUMINUM CURTAIN WALL |
| 4 | GLAZED ALUMINUM CURTAIN WALL |
| 5 | GLAZED ALUMINUM CURTAIN WALL |
| 6 | GLAZED ALUMINUM CURTAIN WALL |
| 7 | GLAZED ALUMINUM CURTAIN WALL |
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| 14 | GLAZED ALUMINUM CURTAIN WALL |
| 15 | GLAZED ALUMINUM CURTAIN WALL |
| 16 | GLAZED ALUMINUM CURTAIN WALL |

DP 10557820
A3.0 #14



1 SOUTH ELEVATION (COOK ROAD)
0 15 30 48 FT

- FINISH MATERIAL LEGEND**
- ① CONCRETE
 - ② BRICK
 - ③ GLASS
 - ④ METAL CLADDING
 - ⑤ TERRAZZO
 - ⑥ CARPET
 - ⑦ PAINT
 - ⑧ STONE
 - ⑨ WOOD
 - ⑩ CERAMIC TILE
 - ⑪ GROUT
 - ⑫ FLOORING
 - ⑬ WALL
 - ⑭ CEILING
 - ⑮ ROOF
 - ⑯ EXTERIOR FINISH
 - ⑰ INTERIOR FINISH
 - ⑱ FLOORING
 - ⑲ WALL
 - ⑳ CEILING
 - ㉑ ROOF
 - ㉒ EXTERIOR FINISH
 - ㉓ INTERIOR FINISH
 - ㉔ FLOORING
 - ㉕ WALL
 - ㉖ CEILING
 - ㉗ ROOF
 - ㉘ EXTERIOR FINISH
 - ㉙ INTERIOR FINISH
 - ㉚ FLOORING
 - ㉛ WALL
 - ㉜ CEILING
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 - ㉞ EXTERIOR FINISH
 - ㉟ INTERIOR FINISH
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 - ㊵ EXTERIOR FINISH
 - ㊶ INTERIOR FINISH
 - ㊷ FLOORING
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 - ㊹ CEILING
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 - ㊻ EXTERIOR FINISH
 - ㊼ INTERIOR FINISH
 - ㊽ FLOORING
 - ㊾ WALL
 - ㊿ CEILING

- PAINT FINISH LEGEND**
- ① EXTERIOR PAINT
 - ② INTERIOR PAINT
 - ③ PAINT
 - ④ PAINT
 - ⑤ PAINT
 - ⑥ PAINT
 - ⑦ PAINT
 - ⑧ PAINT
 - ⑨ PAINT
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OCT 12 2011

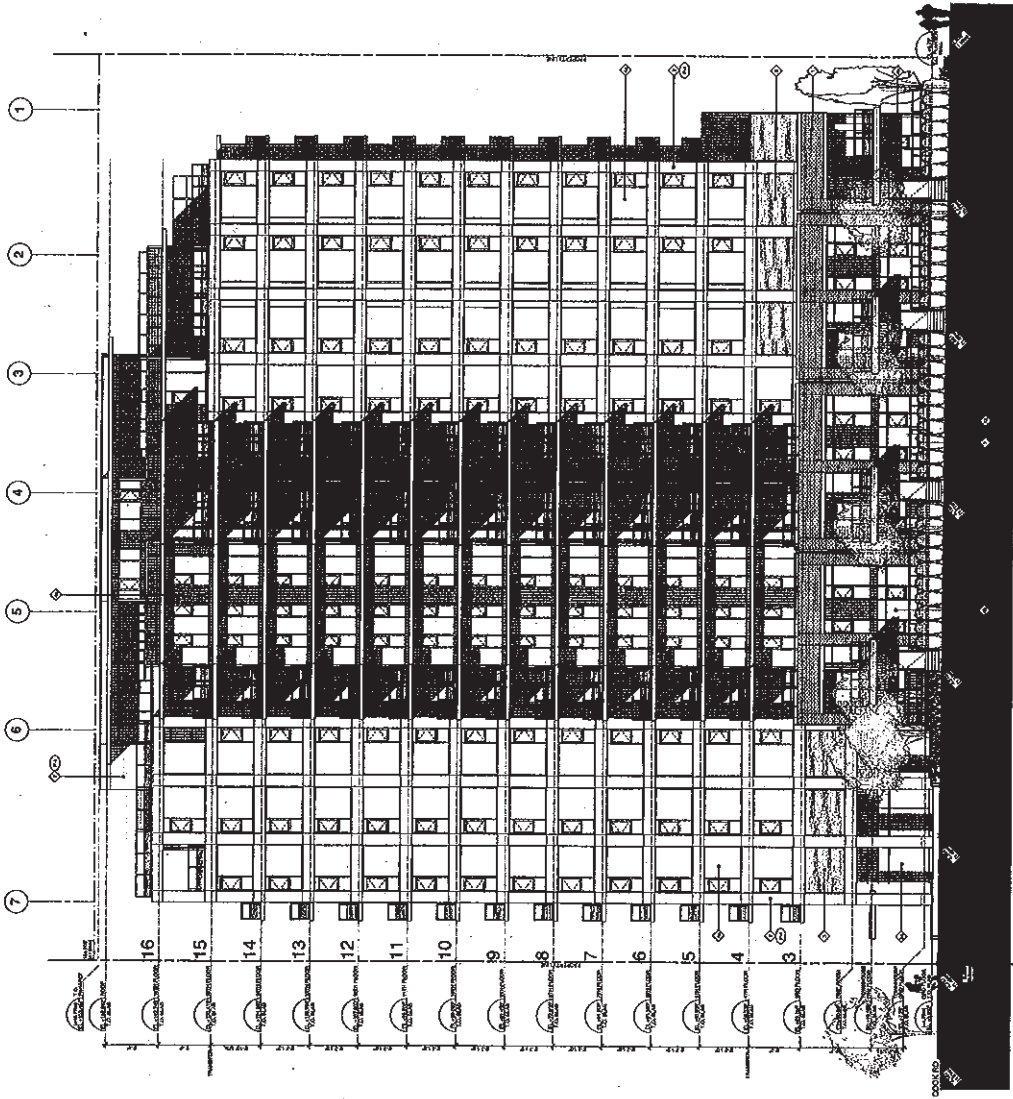
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| BY | W. T. LEUNG |
| CHECKED BY | W. T. LEUNG |
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| LOCATION | RICHMOND, BC |
| CLIENT | GARDEN CITY & COOK ROAD |
| SCALE | 1/4" = 1'-0" |
| PROJECT NO. | 1055 |
| DATE | 10/12/2011 |
| BY | W. T. LEUNG |
| CHECKED BY | W. T. LEUNG |
| PROJECT | 9099 COOK ROAD |
| LOCATION | RICHMOND, BC |
| CLIENT | GARDEN CITY & COOK ROAD |
| SCALE | 1/4" = 1'-0" |
| PROJECT NO. | 1055 |

9099 COOK ROAD
RICHMOND, BC
GARDEN CITY & COOK ROAD

EAST
ELEVATION

| | |
|-------------|-------------------------|
| DATE | 10/12/2011 |
| BY | W. T. LEUNG |
| CHECKED BY | W. T. LEUNG |
| PROJECT | 9099 COOK ROAD |
| LOCATION | RICHMOND, BC |
| CLIENT | GARDEN CITY & COOK ROAD |
| SCALE | 1/4" = 1'-0" |
| PROJECT NO. | 1055 |
| DATE | 10/12/2011 |
| BY | W. T. LEUNG |
| CHECKED BY | W. T. LEUNG |
| PROJECT | 9099 COOK ROAD |
| LOCATION | RICHMOND, BC |
| CLIENT | GARDEN CITY & COOK ROAD |
| SCALE | 1/4" = 1'-0" |
| PROJECT NO. | 1055 |

A3.1 #15



1 EAST ELEVATION
1/4" = 1'-0"
0 5 10 15 20 25 30 35 40'

DP 1055

Architect: W. T. Leung Architects
Project: 9099 Cook Road, Richmond, BC
Drawing: NORTH ELEVATION
Date: OCT 12 2011

FINISH MATERIAL LEGEND

| | |
|----|--|
| 1 | CEILING: Gypsum Board, Acoustic |
| 2 | CEILING: Gypsum Board, Standard |
| 3 | CEILING: Gypsum Board, Moisture Resistant |
| 4 | CEILING: Gypsum Board, Fire Resistant |
| 5 | CEILING: Gypsum Board, Sound Absorbing |
| 6 | CEILING: Gypsum Board, Sound Reflecting |
| 7 | CEILING: Gypsum Board, Sound Absorbing & Reflecting |
| 8 | CEILING: Gypsum Board, Sound Absorbing & Reflecting (Acoustic) |
| 9 | CEILING: Gypsum Board, Sound Absorbing & Reflecting (Fire) |
| 10 | CEILING: Gypsum Board, Sound Absorbing & Reflecting (Acoustic & Fire) |
| 11 | CEILING: Gypsum Board, Sound Absorbing & Reflecting (Acoustic & Fire & Sound) |
| 12 | CEILING: Gypsum Board, Sound Absorbing & Reflecting (Acoustic & Fire & Sound & Fire) |
| 13 | CEILING: Gypsum Board, Sound Absorbing & Reflecting (Acoustic & Fire & Sound & Fire & Sound) |
| 14 | CEILING: Gypsum Board, Sound Absorbing & Reflecting (Acoustic & Fire & Sound & Fire & Sound & Fire) |
| 15 | CEILING: Gypsum Board, Sound Absorbing & Reflecting (Acoustic & Fire & Sound & Fire & Sound & Fire & Sound) |
| 16 | CEILING: Gypsum Board, Sound Absorbing & Reflecting (Acoustic & Fire & Sound & Fire & Sound & Fire & Sound & Fire) |

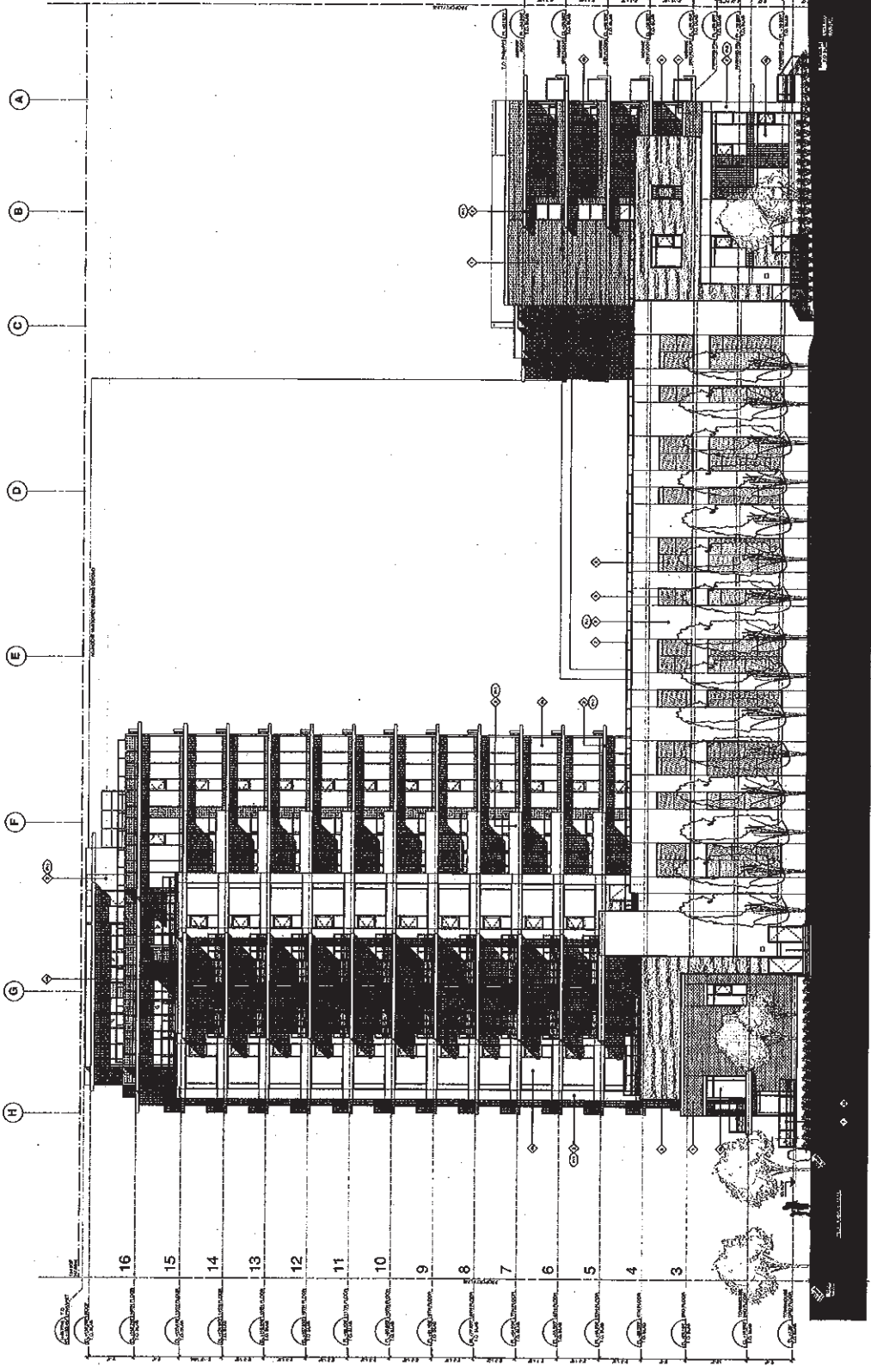
PAINT FINISH LEGEND

| | |
|----|--|
| 1 | PAINT: Semi-Gloss Enamel |
| 2 | PAINT: Semi-Gloss Enamel (Acoustic) |
| 3 | PAINT: Semi-Gloss Enamel (Fire) |
| 4 | PAINT: Semi-Gloss Enamel (Acoustic & Fire) |
| 5 | PAINT: Semi-Gloss Enamel (Acoustic & Fire & Sound) |
| 6 | PAINT: Semi-Gloss Enamel (Acoustic & Fire & Sound & Fire) |
| 7 | PAINT: Semi-Gloss Enamel (Acoustic & Fire & Sound & Fire & Sound) |
| 8 | PAINT: Semi-Gloss Enamel (Acoustic & Fire & Sound & Fire & Sound & Fire) |
| 9 | PAINT: Semi-Gloss Enamel (Acoustic & Fire & Sound & Fire & Sound & Fire & Sound) |
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| 12 | PAINT: Semi-Gloss Enamel (Acoustic & Fire & Sound & Fire & Sound & Fire & Sound & Fire & Sound & Fire) |
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| 14 | PAINT: Semi-Gloss Enamel (Acoustic & Fire & Sound & Fire & Sound & Fire & Sound & Fire & Sound & Fire & Sound & Fire) |
| 15 | PAINT: Semi-Gloss Enamel (Acoustic & Fire & Sound & Fire & Sound & Fire & Sound & Fire & Sound & Fire & Sound & Fire & Sound) |
| 16 | PAINT: Semi-Gloss Enamel (Acoustic & Fire & Sound & Fire & Sound & Fire & Sound & Fire & Sound & Fire & Sound & Fire & Sound & Fire) |

OCT 12 2011

9099 COOK ROAD
RICHMOND, BC

NORTH
ELEVATION



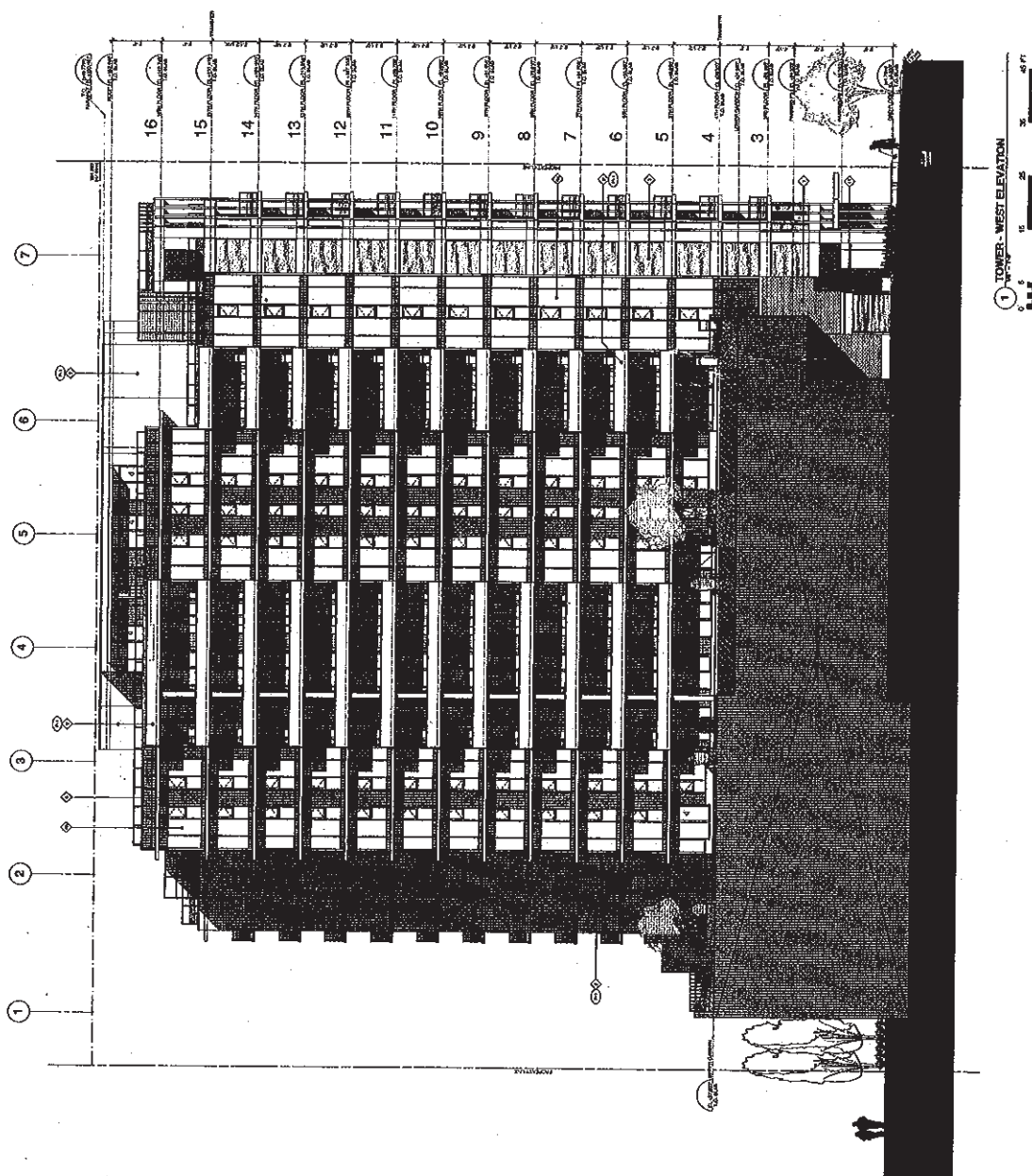
DP 10557920
A3.2#16

| | |
|--|---|
| <p>FINISH MATERIAL LEGEND</p> <ul style="list-style-type: none"> 1. EXTERIOR WALL - BRICK 2. EXTERIOR WALL - CONCRETE 3. EXTERIOR WALL - STONE 4. EXTERIOR WALL - GLASS 5. EXTERIOR WALL - METAL 6. EXTERIOR WALL - WOOD 7. EXTERIOR WALL - PLASTER 8. EXTERIOR WALL - TERRAZZO 9. EXTERIOR WALL - MARBLE 10. EXTERIOR WALL - GRANITE 11. EXTERIOR WALL - SLATE 12. EXTERIOR WALL - SCHIST 13. EXTERIOR WALL - GNEISS 14. EXTERIOR WALL - QUARTZITE 15. EXTERIOR WALL - SOAPSTONE 16. EXTERIOR WALL - ONYX 17. EXTERIOR WALL - JASPER 18. EXTERIOR WALL - AGATE 19. EXTERIOR WALL - OPAL 20. EXTERIOR WALL - MALACHITE 21. EXTERIOR WALL - TURQUOISE 22. EXTERIOR WALL - LARIMAR 23. EXTERIOR WALL - AQUAMARINE 24. EXTERIOR WALL - EMERALD 25. EXTERIOR WALL - DIAMOND 26. EXTERIOR WALL - RUBIN 27. EXTERIOR WALL - SAPPHIRE 28. EXTERIOR WALL - GEMSTONE 29. EXTERIOR WALL - METAL 30. EXTERIOR WALL - WOOD 31. EXTERIOR WALL - PLASTER 32. EXTERIOR WALL - TERRAZZO 33. EXTERIOR WALL - MARBLE 34. EXTERIOR WALL - GRANITE 35. EXTERIOR WALL - SLATE 36. EXTERIOR WALL - SCHIST 37. EXTERIOR WALL - GNEISS 38. EXTERIOR WALL - QUARTZITE 39. EXTERIOR WALL - SOAPSTONE 40. EXTERIOR WALL - ONYX 41. EXTERIOR WALL - JASPER 42. EXTERIOR WALL - AGATE 43. EXTERIOR WALL - OPAL 44. EXTERIOR WALL - MALACHITE 45. EXTERIOR WALL - TURQUOISE 46. EXTERIOR WALL - LARIMAR 47. EXTERIOR WALL - AQUAMARINE 48. EXTERIOR WALL - EMERALD 49. EXTERIOR WALL - DIAMOND 50. EXTERIOR WALL - RUBIN 51. EXTERIOR WALL - SAPPHIRE 52. EXTERIOR WALL - GEMSTONE | <p>PAINT FINISH LEGEND</p> <ul style="list-style-type: none"> 1. INTERIOR WALL - PAPER 2. INTERIOR WALL - PLASTER 3. INTERIOR WALL - CONCRETE 4. INTERIOR WALL - BRICK 5. INTERIOR WALL - STONE 6. INTERIOR WALL - GLASS 7. INTERIOR WALL - METAL 8. INTERIOR WALL - WOOD 9. INTERIOR WALL - TERRAZZO 10. INTERIOR WALL - MARBLE 11. INTERIOR WALL - GRANITE 12. INTERIOR WALL - SLATE 13. INTERIOR WALL - SCHIST 14. INTERIOR WALL - GNEISS 15. INTERIOR WALL - QUARTZITE 16. INTERIOR WALL - SOAPSTONE 17. INTERIOR WALL - ONYX 18. INTERIOR WALL - JASPER 19. INTERIOR WALL - AGATE 20. INTERIOR WALL - OPAL 21. INTERIOR WALL - MALACHITE 22. INTERIOR WALL - TURQUOISE 23. INTERIOR WALL - LARIMAR 24. INTERIOR WALL - AQUAMARINE 25. INTERIOR WALL - EMERALD 26. INTERIOR WALL - DIAMOND 27. INTERIOR WALL - RUBIN 28. INTERIOR WALL - SAPPHIRE 29. INTERIOR WALL - GEMSTONE |
|--|---|

OCT 12 2011

| | |
|---|-----------------------------------|
| <p>9999 COOK ROAD RICHMOND, BC GARIBOLDI CITY & COOK ROAD</p> | <p>TOWER - WEST ELEVATION</p> |
|---|-----------------------------------|

| | |
|--------------------|----------------|
| <p>DR 10552920</p> | <p>A3.4#18</p> |
|--------------------|----------------|



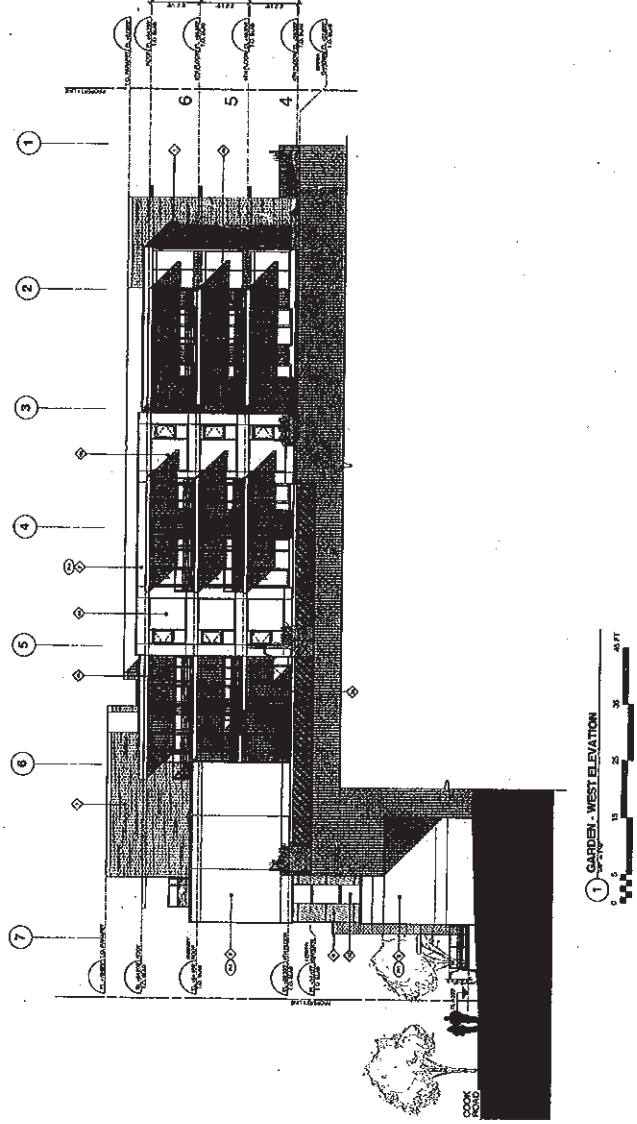
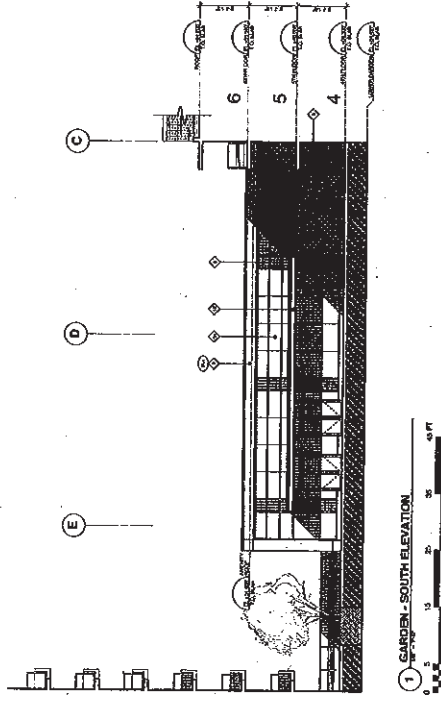
1 TOWER - WEST ELEVATION

FINISH MATERIAL LEGEND

| | |
|----|--------------------------|
| 1 | EXTERIOR WALL - BRICK |
| 2 | EXTERIOR WALL - CONCRETE |
| 3 | EXTERIOR WALL - STUCCO |
| 4 | EXTERIOR WALL - GLASS |
| 5 | EXTERIOR WALL - METAL |
| 6 | EXTERIOR WALL - WOOD |
| 7 | EXTERIOR WALL - TERRAZZO |
| 8 | EXTERIOR WALL - MARBLE |
| 9 | EXTERIOR WALL - GRANITE |
| 10 | EXTERIOR WALL - SLATE |
| 11 | EXTERIOR WALL - CEMENT |
| 12 | EXTERIOR WALL - PLASTER |
| 13 | EXTERIOR WALL - GIPSUM |
| 14 | EXTERIOR WALL - LIME |
| 15 | EXTERIOR WALL - SAND |
| 16 | EXTERIOR WALL - GRAVEL |
| 17 | EXTERIOR WALL - ASPHALT |
| 18 | EXTERIOR WALL - RUBBER |
| 19 | EXTERIOR WALL - GLASS |
| 20 | EXTERIOR WALL - METAL |
| 21 | EXTERIOR WALL - WOOD |
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| 24 | EXTERIOR WALL - GRANITE |
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| 45 | EXTERIOR WALL - SAND |
| 46 | EXTERIOR WALL - GRAVEL |
| 47 | EXTERIOR WALL - ASPHALT |
| 48 | EXTERIOR WALL - RUBBER |
| 49 | EXTERIOR WALL - GLASS |
| 50 | EXTERIOR WALL - METAL |

PAINT FINISH LEGEND

| | |
|----|--------------------------|
| 1 | EXTERIOR WALL - BRICK |
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| 21 | EXTERIOR WALL - WOOD |
| 22 | EXTERIOR WALL - TERRAZZO |
| 23 | EXTERIOR WALL - MARBLE |
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| 39 | EXTERIOR WALL - GRANITE |
| 40 | EXTERIOR WALL - SLATE |
| 41 | EXTERIOR WALL - CEMENT |
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| 45 | EXTERIOR WALL - SAND |
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| 48 | EXTERIOR WALL - RUBBER |
| 49 | EXTERIOR WALL - GLASS |
| 50 | EXTERIOR WALL - METAL |



OCT 12 2011

| | |
|----|--------------------------|
| 1 | EXTERIOR WALL - BRICK |
| 2 | EXTERIOR WALL - CONCRETE |
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| 45 | EXTERIOR WALL - SAND |
| 46 | EXTERIOR WALL - GRAVEL |
| 47 | EXTERIOR WALL - ASPHALT |
| 48 | EXTERIOR WALL - RUBBER |
| 49 | EXTERIOR WALL - GLASS |
| 50 | EXTERIOR WALL - METAL |

9089 COOK ROAD
RICHMOND, BC
GARDEN CITY & COOK ROAD

4TH FLOOR
ROOF GARDEN
ELEVATIONS

| | |
|----|--------------------------|
| 1 | EXTERIOR WALL - BRICK |
| 2 | EXTERIOR WALL - CONCRETE |
| 3 | EXTERIOR WALL - STUCCO |
| 4 | EXTERIOR WALL - GLASS |
| 5 | EXTERIOR WALL - METAL |
| 6 | EXTERIOR WALL - WOOD |
| 7 | EXTERIOR WALL - TERRAZZO |
| 8 | EXTERIOR WALL - MARBLE |
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| 17 | EXTERIOR WALL - ASPHALT |
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| 47 | EXTERIOR WALL - ASPHALT |
| 48 | EXTERIOR WALL - RUBBER |
| 49 | EXTERIOR WALL - GLASS |
| 50 | EXTERIOR WALL - METAL |

DP 105320

A3.5#19

| No. | Date | Revision Notes |
|-----|----------|---------------------------|
| 1 | 4/29/11 | Revised per City Comments |
| 2 | 6/27/11 | Revised per City Comments |
| 3 | 10/27/11 | Revised per City Comments |

| No. | Date | Revision Notes |
|-----|----------|--------------------|
| A | 8/15/10 | Added to DP |
| B | 10/27/10 | Revised for Review |
| C | 11/4/10 | Revised for Review |
| D | 11/4/10 | Revised for Review |
| E | 4/29/11 | Revised for Review |
| F | 6/27/11 | Revised for Review |
| G | 10/27/11 | Revised for Review |
| H | 10/27/11 | Revised for Review |
| I | 10/27/11 | Revised for Review |

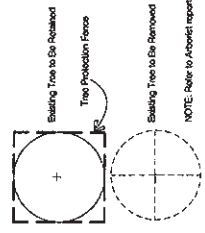
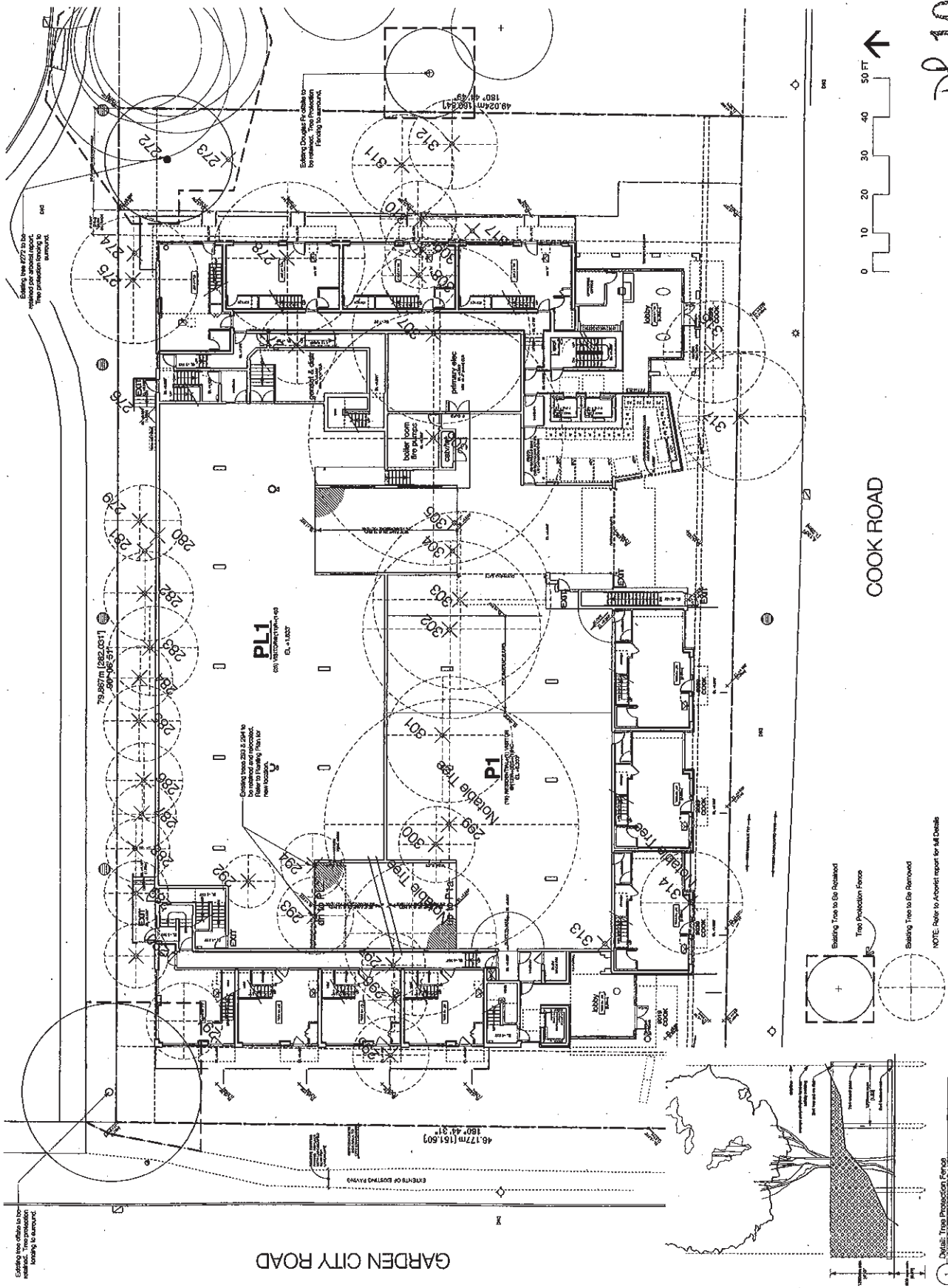
OCT 12 2011

Garden City +
Cook Road
Richmond, BC

Tree Management
Plan

| Project Information | |
|---------------------|-------------------------|
| Project Name | Garden City + Cook Road |
| Project No. | 21025 |
| Client | City of Richmond |
| Scale | 1" = 10' |

DP 1050920
mbranna



NOTE: Refer to Appendix for all Details

1 Detail: Tree Protection Fence
Scale: 3/8" = 1'-0"

GARDEN CITY ROAD

OCT 12 2011

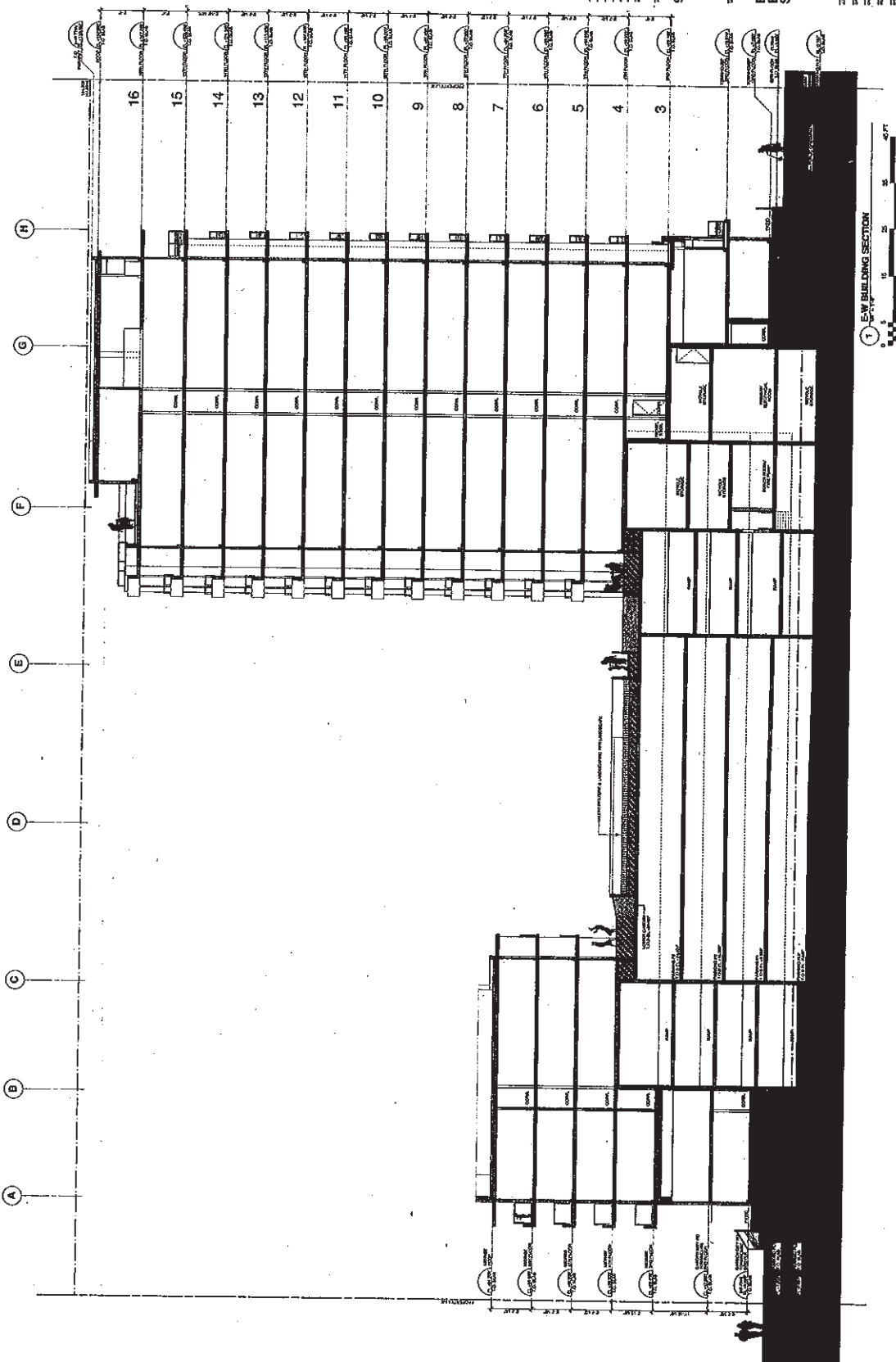
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|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 |

9088 COOK ROAD
RICHMOND, BC
GARAGE CITY & COOK ROAD

EAST-WEST
BUILDING
SECTION

| | | | | | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 |

DR 10557920
A3.6
reference



OCT 12 2011

| | |
|----|----------------------------------|
| 1 | 100-1000 100th Avenue, Suite 100 |
| 2 | 100-1000 100th Avenue, Suite 100 |
| 3 | 100-1000 100th Avenue, Suite 100 |
| 4 | 100-1000 100th Avenue, Suite 100 |
| 5 | 100-1000 100th Avenue, Suite 100 |
| 6 | 100-1000 100th Avenue, Suite 100 |
| 7 | 100-1000 100th Avenue, Suite 100 |
| 8 | 100-1000 100th Avenue, Suite 100 |
| 9 | 100-1000 100th Avenue, Suite 100 |
| 10 | 100-1000 100th Avenue, Suite 100 |
| 11 | 100-1000 100th Avenue, Suite 100 |
| 12 | 100-1000 100th Avenue, Suite 100 |
| 13 | 100-1000 100th Avenue, Suite 100 |
| 14 | 100-1000 100th Avenue, Suite 100 |
| 15 | 100-1000 100th Avenue, Suite 100 |
| 16 | 100-1000 100th Avenue, Suite 100 |

9089 COOK ROAD
RICHMOND, BC

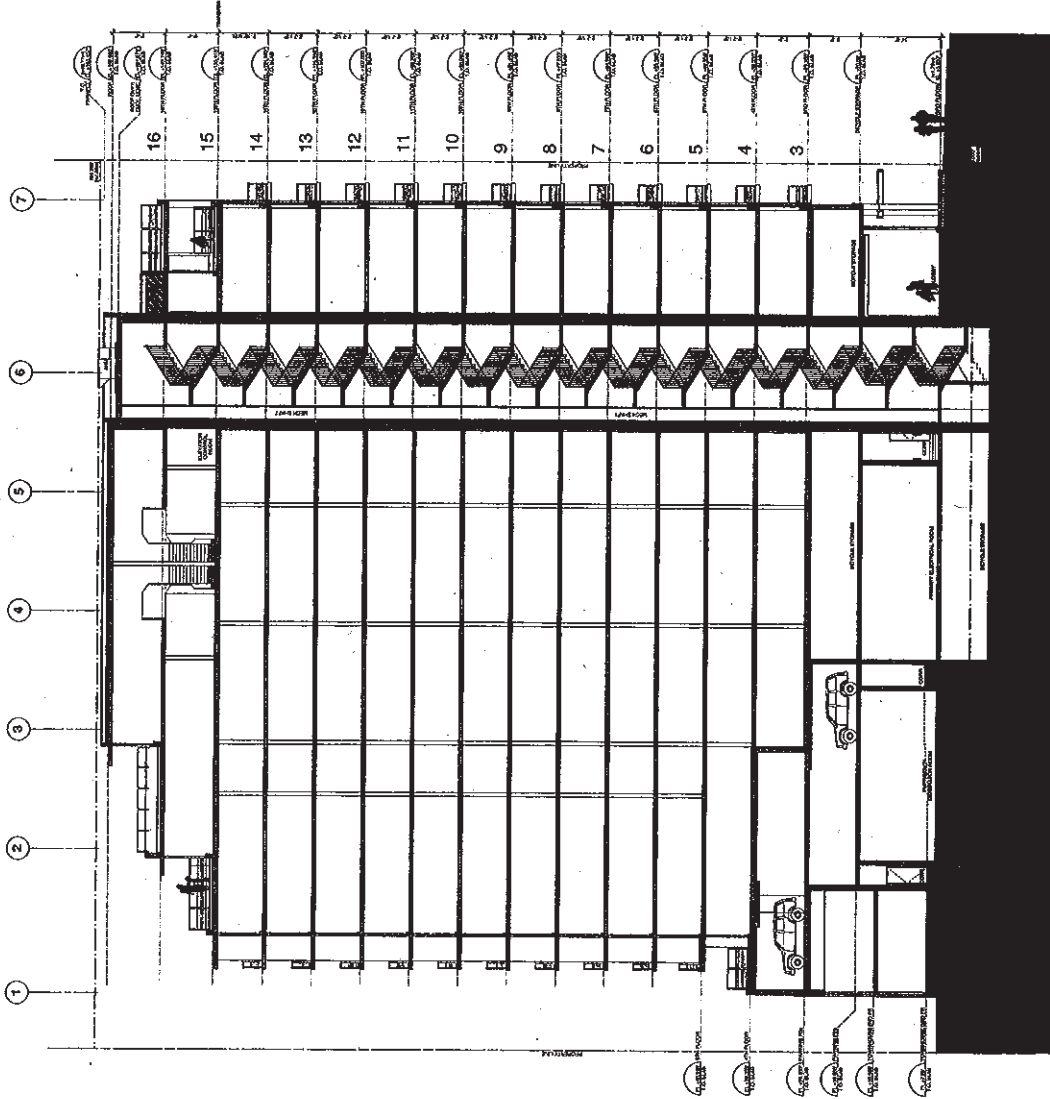
GARDEN CITY & COOK ROAD

Project No.

NORTH SOUTH
BUILDING
SECTION

| | |
|------|--------|
| DATE | 10-18 |
| BY | WT |
| CHKD | AS/MTD |
| DATE | 10-18 |
| BY | WT |
| CHKD | AS/MTD |

10557920
AS.9
reference



1 N-S BUILDING SECTION
0 10 20 30 40 FT

OCT 12 2011

| | |
|---|-----------------|
| 1 | 10' x 10' x 10' |
| 2 | 10' x 10' x 10' |
| 3 | 10' x 10' x 10' |
| 4 | 10' x 10' x 10' |
| 5 | 10' x 10' x 10' |
| 6 | 10' x 10' x 10' |
| 7 | 10' x 10' x 10' |

9089 COOK ROAD
RICHMOND, BC
GARIBOLDI & CO. ROAD

NORTH-SOUTH
BUILDING
SECTION

| | |
|---|-----------------|
| 1 | 10' x 10' x 10' |
| 2 | 10' x 10' x 10' |
| 3 | 10' x 10' x 10' |
| 4 | 10' x 10' x 10' |
| 5 | 10' x 10' x 10' |
| 6 | 10' x 10' x 10' |
| 7 | 10' x 10' x 10' |

10557920
A3.8
v0.000000

