



**City of Richmond**  
Planning and Development Department

**Report to  
Development Permit Panel**

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**To:** Development Permit Panel  
**From:** Brian J. Jackson, MCIP  
Director of Development  
**Date:** August 24, 2009  
**File:** DP 09-463340  
**Re:** **Application by Matthew Cheng Architect Inc. for a Development Permit at  
7531 No. 4 Road**

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**Staff Recommendation**

That a Development Permit be issued which would:

1. Permit the construction of five (5) townhouse units at 7531 No. 4 Road on a site zoned "Comprehensive Development District (CD/35)";
2. Vary the provisions of the Zoning and Development Bylaw No. 5300 to:
  - a) Reduce the minimum north side yard setback for the east building (triplex along No. 4 Road) from 3.0 m to 1.88 m;
  - b) Reduce the minimum north side yard setback from 3.0 m to 1.73 m for a single storey garbage/recycling enclosure attached to the west building (duplex at the back); and
  - c) Allow tandem parking spaces in all of the five (5) townhouse units.

Brian J. Jackson, MCIP  
Director of Development

BJ:blg  
Att.

## Staff Report

### Origin

Matthew Cheng Architect Inc. has applied to the City of Richmond for permission to develop five (5) townhouses at 7531 No. 4 Road. The site is being rezoned from "Single-Family Housing District, Subdivision Area F (R1/F)" to "Comprehensive Development District (CD/35)" for this project under Bylaw No. 8462 (RZ 08-406182). The site currently contains a single-family dwelling.

There is no City standard Servicing Agreement required in association with this development proposal. Removal of the existing driveway on No. 4 Road and re-instating continuity of the sidewalk will be achieved via a Work Order at Building Permit stage.

### Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

The subject site is surrounded on its three (3) sides by a recently developed townhouse project (7511 No. 4 Road, DP 03-231373) on a property zoned Comprehensive Development District (CD/35). This adjacent townhouse project is comprised of 44 2½-storey and three-storey townhouses and is developed at a density of 0.58 floor area ratio (FAR) (0.60 maximum).

Across No. 4 Road (to the east), there are a number of existing single-family homes within the Agricultural Land Reserve (ALR), and zoned Agricultural District (AG1).

### Rezoning and Public Hearing Results

The rezoning application for this development (RZ 08-406182) was presented to Planning Committee on February 17, 2007. The Public Hearing for the rezoning of this site was held on March 16, 2009. At the Public Hearing, concerns were expressed about density and increased traffic at the entry driveway of 7511 No. 4 Road.

The proposed density of the proposed development and vehicular access through the adjacent property at 7511 No. 4 Road were envisioned when the original rezoning and Development Permit applications for the adjacent townhouse development (at 7511 No. 4 Road) were approved by Council. A Public Rights of Passage (PROP) right-of-way (ROW) BCP7091 and Cross Access Easement BCP7093 were registered on title on the adjacent property at the time of development.

The subject site is an orphaned lot landlocked by the adjacent townhouse development. The proposal can be considered as an extension of the adjacent development and a contribution to a continuous, complete pedestrian frontage character along the street front.

### Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable

sections of the Official Community Plan (OCP) and is generally in compliance with the Comprehensive Development District (CD/35) except for the zoning variances noted below.

### **Zoning Compliance/Variiances** (staff comments in **bold**)

The applicant requests to vary the provisions of the Zoning and Development Bylaw No. 5300 to:

1. Reduce the north side yard setback for the east building (triplex along No. 4 Road) from 3.0 m to 1.88 m.

**(The variance allows for a wider building along the No. 4 Road frontage to create a better pedestrian residential streetscape. With the variance, the proposed front building would be at least 7.88 m away from the adjacent building to the north as the 6.00 m wide drive aisle will provide the desirable physical separation, which will be softened by the proposed landscaping on that side of the building).**

2. Reduce the north side yard setback from 3.0 m to 1.73 m for a single storey garbage/recycling enclosure attached to the west building (duplex at the back).

**(The variance allows for a single-storey garbage/recycling enclosure to encroach into the side yard setback. A walkway and 6 ft. high fence will be provided along the property line).**

3. 10 tandem parking spaces.

**(Tandem parking arrangement is generally accepted in small developments to reduce the site coverage. A restrictive covenant to prohibit the conversion of the garage area into habitable space will be required as a condition of the Development Permit. The City's Transportation Department has reviewed and accepted the tandem parking arrangement).**

### **Advisory Design Panel Comments**

The subject application was not presented to the Advisory Design Panel on the basis that the project generally met all the applicable Development Permit Guidelines, and the overall design and site plan adequately addressed staff comments. The design provided is generally consistent with the existing design on the adjacent townhouse development (at 7511 No. 4 Road).

### **Analysis**

#### *Conditions of Adjacency*

- The subject site is an orphaned lot that is surrounded by the adjacent townhouse developments. The proposal is an "infill" type of development that fit well with the character of its surrounding built context.
- The proposed height, siting and orientation of the buildings respects the massing of the surrounding existing residential development and generally complies with Official Community Plan (OCP) guidelines for McLennan South Sub-Area of City Centre;
- The Sub-Area Plan Development Permit Guidelines called for a minimum of 20 m front yard setback for three-storey units and 9 m for 2½ storey units.
- The proposed triplex along No. 4 Road is a 3-storey building by definition. However, with the substantial setback on the 3<sup>rd</sup> floor from the floor below, it maybe read as a 2½-storey building.

- The proposed 11.97 m setback is considered adequate in providing an informal and visually interesting streetscape along No. 4 Road (which is the intention of the relevant design guidelines);
- The proposed massing, materials, colours, and landscaping will result in a development that is in keeping with the surrounding townhouse development.
- The increased south side yard setback for the west building (duplex at the back) provides appropriate outdoor amenity space and a generous separation space between the proposed duplex and the existing townhouse block to the south on the adjacent development to address the backyard-to-side-yard interface.

### ***Urban Design and Site Planning***

- Pedestrian frontage character facing No. 4 Road has been incorporated to enhance the pedestrian residential streetscape;
- A 11.97 m front yard setback from No. 4 Road is proposed in order to provide an informal and visually interesting streetscape;
- Vehicle access to the site will be through the driveway in the adjacent townhouse development at 7511 No. 4 Road; and
- All units have two (2) vehicle parking spaces in tandem arrangement; one (1) handicap visitor parking space is provided.

### ***Architectural Form and Character***

- Building design is consistent with the surrounding residential character of the neighbourhood;
- A pedestrian scale is provided at the ground floor level of the units along the public street and driveway with the inclusion of windows, doors, and landscape features;
- The building forms are well articulated. The front building (triplex) is designed to read as a single estate home in order to adapt a rural estate character as defined in the sub-area plan;
- Visual interest and variety has been incorporated with gable roof, dormers, box windows, recessed balconies, varying material combinations, and a range of colour finishes;
- The proposed building materials (Hardi shingle siding, Hardi siding, Hardi-Board, wood trim, and asphalt roof shingles) are generally consistent with the Official Community Plan (OCP) Guidelines;
- Proposed color scheme compliments the existing streetscapes which are primarily based on earthy tones found in traditional heritage houses;
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, and pedestrian entries;
- One (1) adaptable unit (Unit 105) has been provided. An alternate floor plan demonstrating conversion potential to accommodate a person in a wheelchair by the installation of an elevator; and

- Accessibility features have been incorporated into this development (i.e., blocking in all bathrooms for grab-bars, level handle for all doors, and lever faucet in all bathrooms and powder rooms).

### ***Landscape Design and Open Space Design***

- Three (3) existing bylaw-sized trees are being removed to facilitate the proposed development. The Arborist confirmed that two (2) of the trees are in poor condition and one (1) is in fair condition but is also in conflict with the proposed site layout. Six (6) replacement trees are required.
- The landscape design includes the planting of 21 new trees (in a mix of coniferous and deciduous trees) and a variety of shrubs and ground covers which meets the OCP guidelines for tree replacement and landscaping;
- The lot coverage of soft landscape area is 37%;
- A 6 ft. height wood fence is proposed along the west and south property line to provide privacy;
- A 1.5 m wide walkway along the south property line is proposed to connect the drive aisle and the amenity area;
- The outdoor amenity includes bench, planting beds, a play equipment, and a lawn area; and
- Cash-in-lieu (\$5,000) for indoor amenity has been provided as a condition of rezoning approval (RZ 08-406182).

### ***Crime Prevention Through Environmental Design***

- The site design provides both internal unit privacy and passive surveillance of internal roadways and communal areas to enhance safety for residents.

### **Conclusions**

The applicant has satisfactorily addressed issues that were identified through the rezoning process, as well as staff's comments regarding conditions of adjacency, urban design and site planning, architectural form and character, landscape and open space design, and crime prevention through environmental design. The proposed development at this orphaned lot is in keeping with the surrounding townhouse complex and will result in a development that will complete the anticipated vision for the area. Therefore, staff recommend support of this Development Permit application.



Edwin Lee  
Planning Technician - Design

EL:blg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$12,015.52 (based on total floor area of 558.12 m<sup>2</sup> or 6,007.76 ft<sup>2</sup>).
- Registration of a Restrictive Covenant prohibiting the conversion of tandem parking area into habitable area.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



## City of Richmond

6911 No. 3 Road  
 Richmond, BC V6Y 2C1  
 www.richmond.ca  
 604-276-4000

# Development Application Data Sheet

Development Applications Division

**DP 09-463340**

**Attachment 1**

Address: 7531 No. 4 Road

Applicant: Matthew Cheng Architect Inc.

Owner: Harjinder Singh Dhailwal

Planning Area(s): City Centre Area Plan, McLennan South Sub-Area Plan (Schedule 2.10D)

Floor Area Gross: 814.76 m<sup>2</sup> or 8770.33 ft<sup>2</sup>

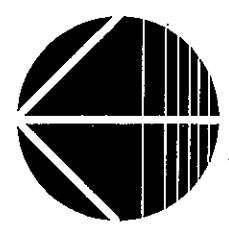
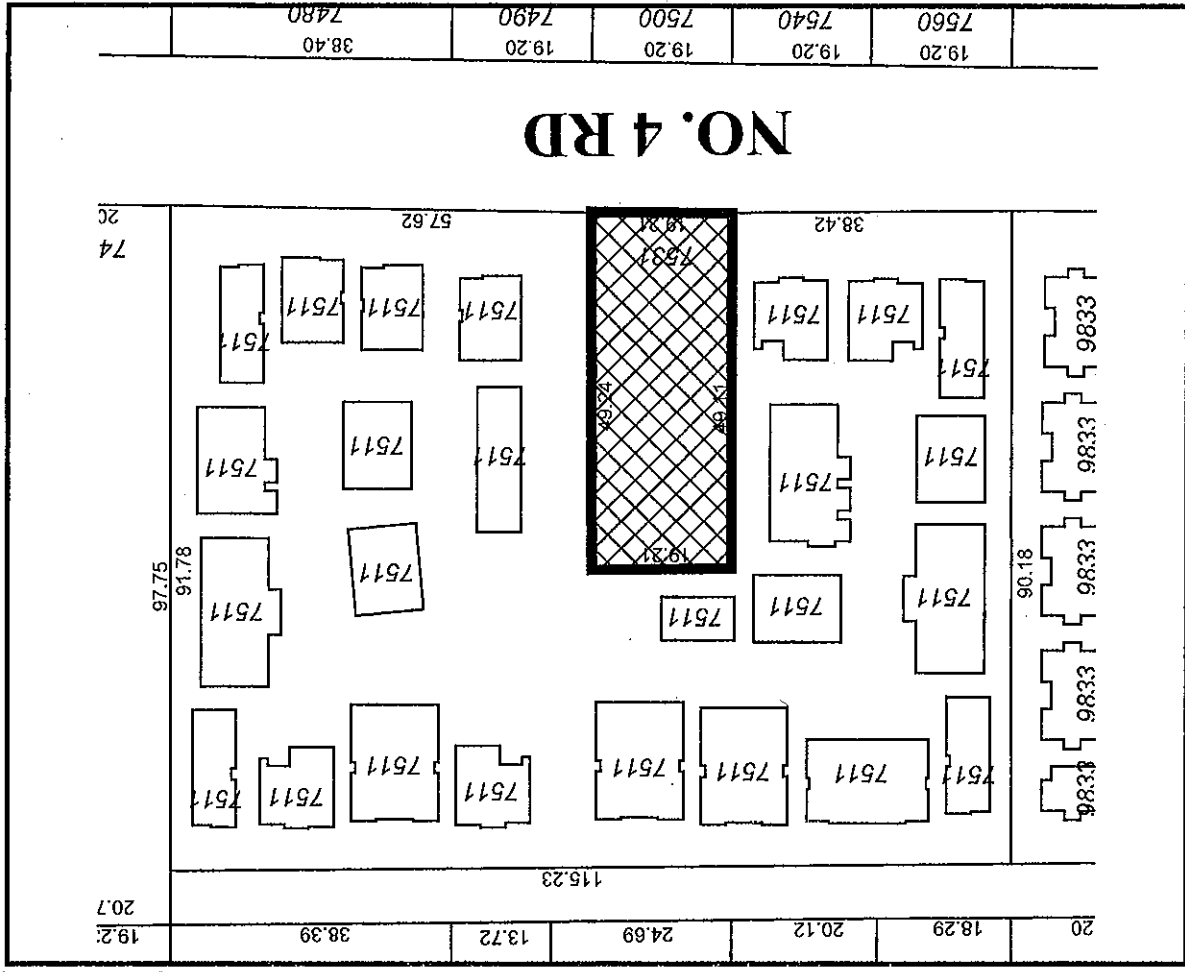
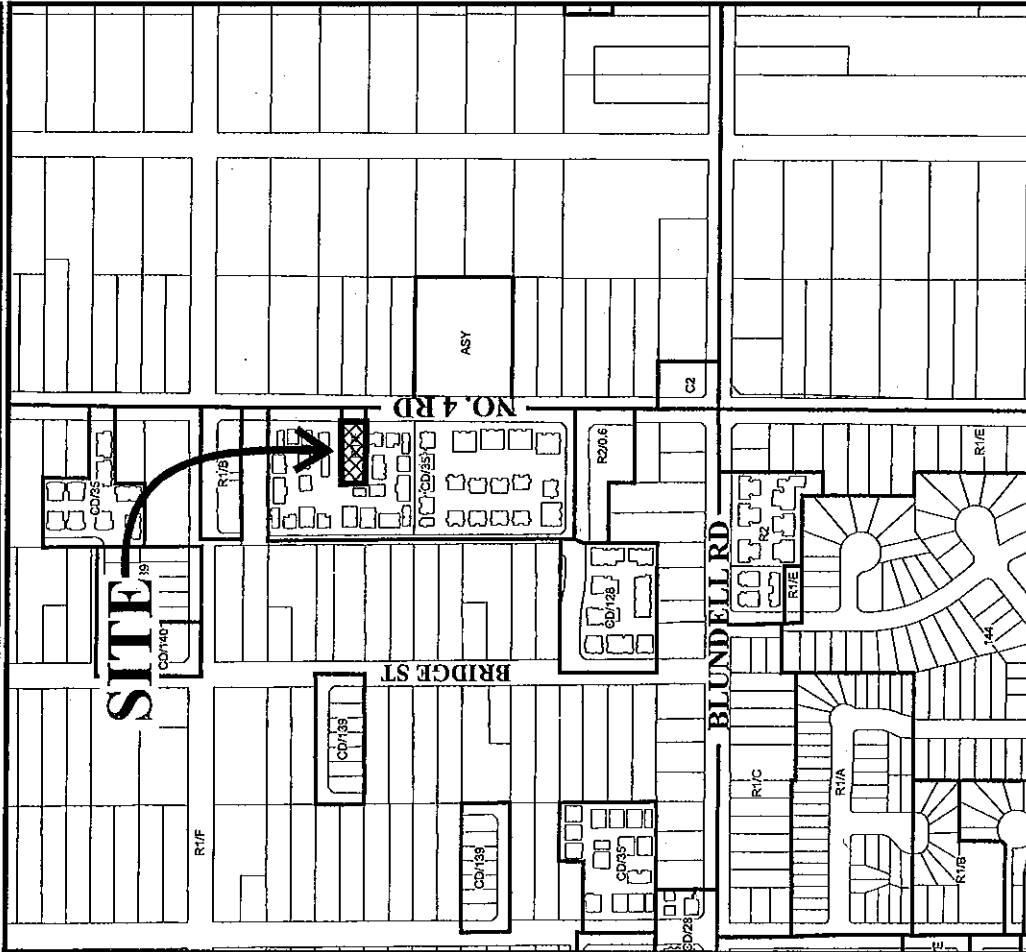
Floor Area Net: 558.12 m<sup>2</sup> or 6007.76 ft<sup>2</sup>

	Existing	Proposed
<b>Site Area:</b>	944.63 m <sup>2</sup>	no change
<b>Land Uses:</b>	Single-Family Residential	Multiple-Family Residential
<b>OCP Designation:</b>	Low Density Residential	no change
<b>Zoning:</b>	Single-Family Housing District, Subdivision Area F (R1/F)	Comprehensive Development District (CD/35)
<b>Number of Units:</b>	1 single-family dwelling	5 townhouse units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.60	0.59	none permitted
Lot Coverage:	Max. 40%	34%	
Setback – Front Yard (No. 4 Road):	Min. 9 m	11.97 m	
Setback – North Side Yard:	Min. 3 m	1.88 m for east building 1.73 m for west building	<b>Variance required and supported</b>
Setback – South Side Yard:	Min. 3 m	3.05 m	
Setback – Rear Yard:	Min. 3 m	3 m	
Height (m):	Max. 11 m	10.76 m	
Lot Size:	n/a	944.63 m <sup>2</sup>	
Off-street Parking Spaces – Residential/Visitor:	10 and 1	10 and 1	
Off-street Parking Spaces – Accessible:	1	1	
Total off-street Spaces:	11	11	
Tandem Parking Spaces	not permitted	10	<b>Variance required and supported</b>
Amenity Space – Indoor:	Min. 70 m <sup>2</sup>	\$5,000 cash-in-lieu	
Amenity Space – Outdoor:	Min. 30 m <sup>2</sup>	54.33 m <sup>2</sup>	



# City of Richmond



## DP 09-463340 SCHEDULE "A"

Original Date: 04/07/09

Revision Date:

Note: Dimensions are in METRES





**No. DP 09-463340**

To the Holder: MATTHEW CHENG ARCHITECT INC.

Property Address: 7531 NO. 4 ROAD

Address: c/o MATTHEW CHENG  
UNIT 202 – 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied to:
  - a) Reduce the minimum north side yard setback for the east building (triplex along No. 4 Road) from 3.0 m to 1.88 m.
  - b) Reduce the minimum north side yard setback from 3.0 m to 1.73 m for a single storey garbage/recycling enclosure attached to the west building (duplex at the back) ; and
  - c) Allow tandem parking spaces in all of the five (5) townhouse units.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of **\$12,015.52** to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

# Development Permit

No. DP 09-463340

To the Holder: MATTHEW CHENG ARCHITECT INC.

Property Address: 7531 NO. 4 ROAD

Address: c/o MATTHEW CHENG  
UNIT 202 – 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

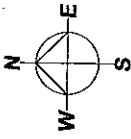
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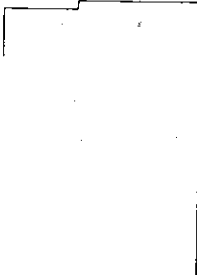
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MAYOR



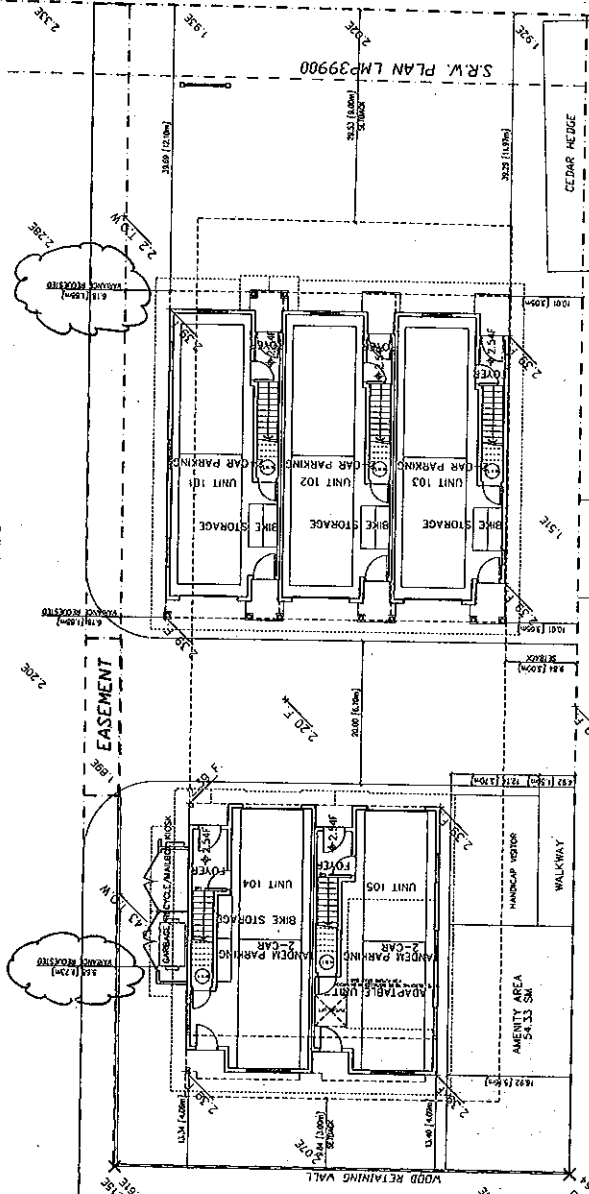
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No. 4 ROAD



S.R.W. PLAN BCP7091

STRATA PLAN BCS910



STRATA PLAN BCS910

STRATA PLAN BCS910

EXISTING GRADE  
PROPOSED GRADE

DP 09 463340

Revision No.	1
Revision Date	NOV 18, 2009
Drawn By	MC
Checked By	MC
Scale	1/4" = 1'-0"
Project No.	DP 09 463340
Sheet No.	#1

5 UNIT TOWNHOUSE DEVELOPMENT  
7531 NO. 4 ROAD  
RICHMOND, B.C.

**MATTHEW CHENG ARCHITECT INC.**  
100-11111  
VICTORIA, B.C. V8V 2G7  
TEL: 250-383-1111  
WWW.MATTHEWCHENGARCHITECT.COM

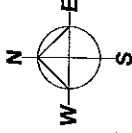


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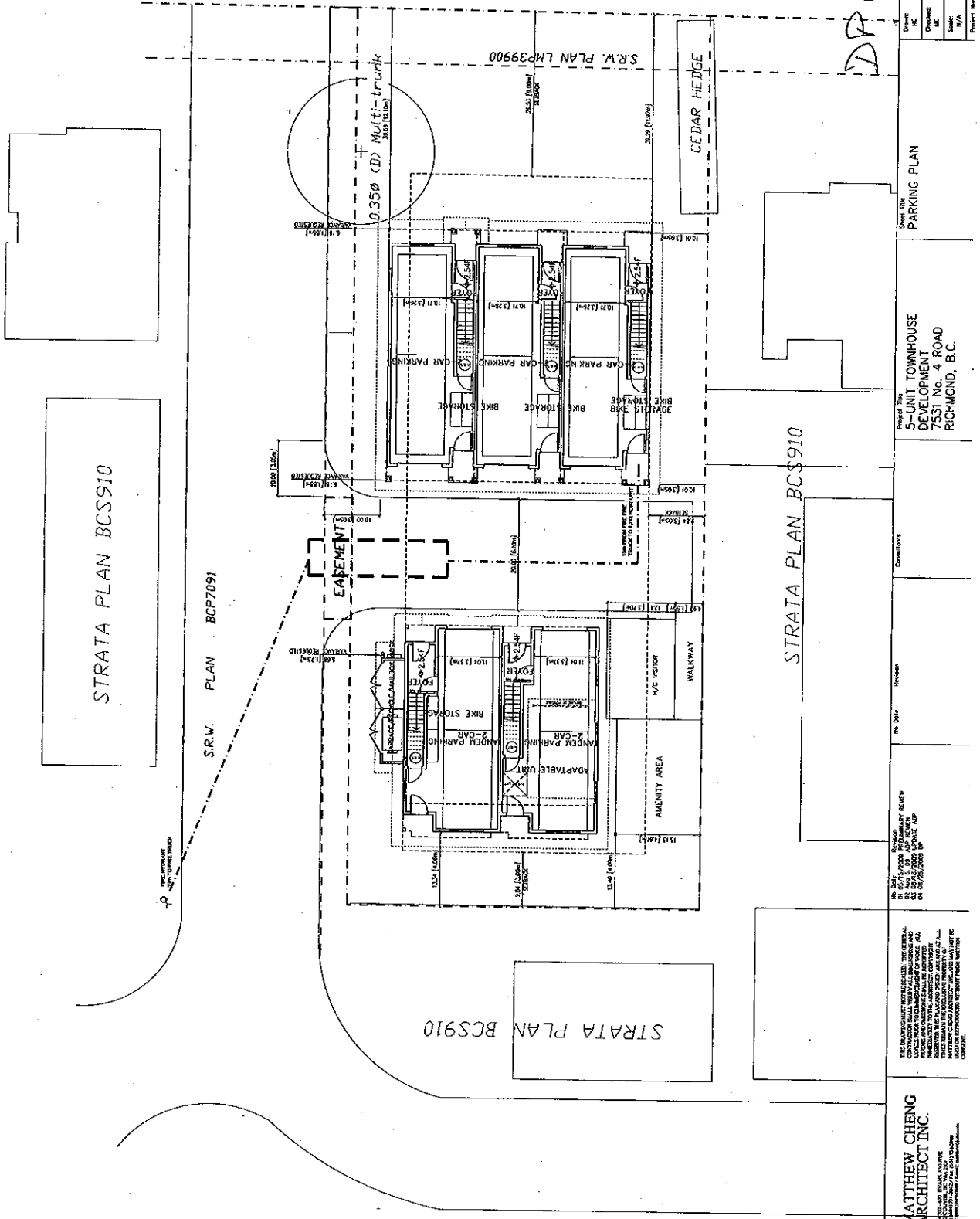
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DP 09 463340

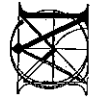
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Revision No.	01
Revision Date	2007-05-2008
Project Name	5-UNIT TOWNHOUSE DEVELOPMENT
Project No.	75331 NO. 4 ROAD
Project Date	2007-05-2008
Scale	1:100
Author	W/A
Project Number	#0

Project Title  
 5-UNIT TOWNHOUSE DEVELOPMENT  
 75331 NO. 4 ROAD  
 RICHMOND, B.C.

Revised  
 01/05/2008  
 02/05/2008  
 03/05/2008  
 04/05/2008  
 05/05/2008  
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**MATTHEW CHENG ARCHITECT INC.**  
 ARCHITECTS  
 1100 WEST 10TH AVENUE  
 VANCOUVER, B.C. V6H 2T6  
 TEL: 604-275-1100  
 FAX: 604-275-1101  
 WWW.MATTHEWCHENGARCHITECT.COM



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NO.	DATE	DESCRIPTION	BY
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DMG  
Landscape Architecture  
1100 North Main Street  
Richmond, BC V6Y 1A1  
Tel: 604-273-1100  
Fax: 604-273-1101

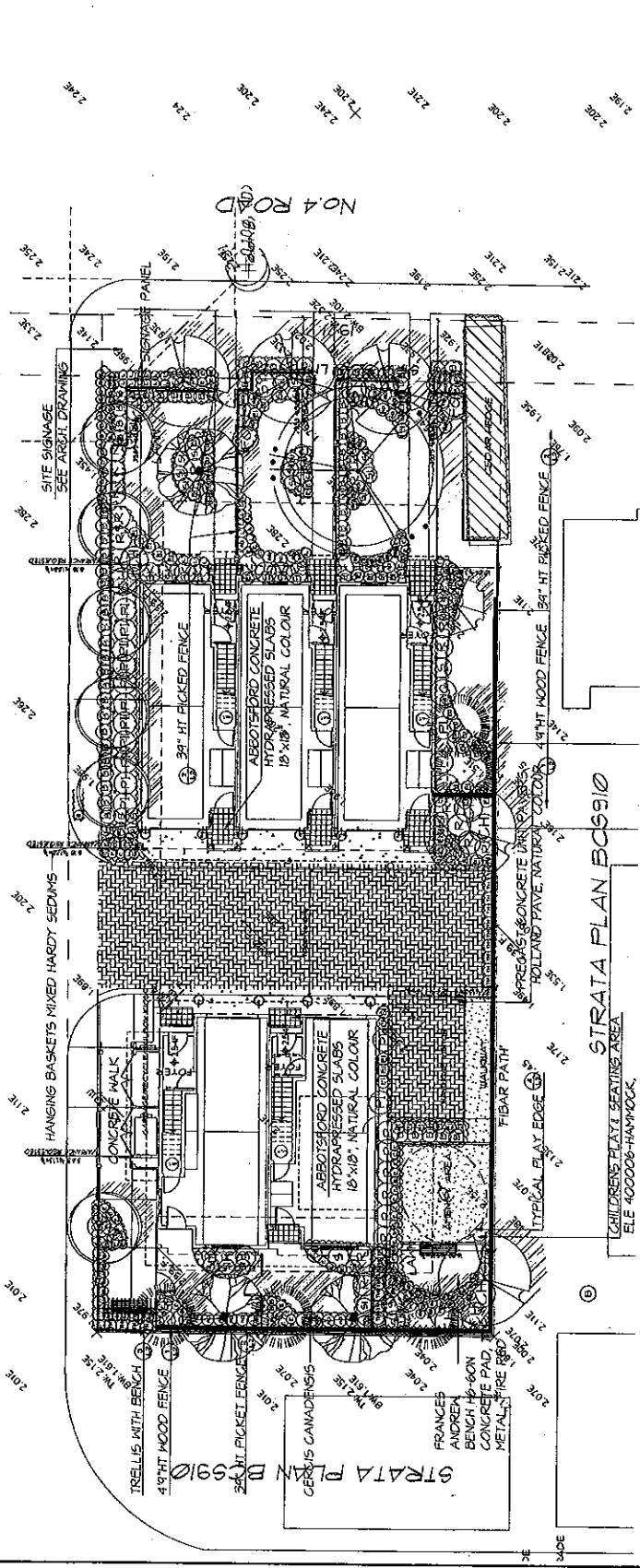
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**S-UNIT TOWNHOUSE DEVELOPMENT**  
7531 BOCA ROAD  
RICHMOND, BC

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DATE	10/10/10

DMG PROJECT NUMBER: 002-505

STRATA PLAN BCSS10



KEY CITY	SCIENTIFIC NAME	COMMON NAME	DMG JOB NUMBER
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2	ALNUS INCANA	WHITE BARK ALDER	10/10/10
3	BEETULA PULVERULENTA	DOWNY BIRCH	10/10/10
4	CESTRUM SPERMATOPHYTES	WAX PALM	10/10/10
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DP 09 463340

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DMG LANDSCAPE ARCHITECTS  
1100 W. BROADWAY, SUITE 1000  
ATLANTA, GEORGIA 30333  
PHONE: (404) 525-1100  
FAX: (404) 525-1101  
WWW.DMGARCHITECTS.COM

PROJECT:  
**S-UNIT TOWNHOUSE DEVELOPMENT**  
7501 RICE ROAD  
RICHMOND, SC

DATE: 08/20/2009	SCALE: AS SHOWN
DRAWN BY: J. WILSON	CHECKED BY: J. WILSON
DATE: 08/20/2009	SCALE: AS SHOWN
DRAWN BY: J. WILSON	CHECKED BY: J. WILSON
DATE: 08/20/2009	SCALE: AS SHOWN
DRAWN BY: J. WILSON	CHECKED BY: J. WILSON

DP 09 463340

**SECTION 1: GENERAL NOTES**

1. All work shall be in accordance with the specifications and drawings of the project.
2. The contractor shall be responsible for obtaining all necessary permits and approvals.
3. All materials and workmanship shall be subject to inspection and approval by the architect.
4. The contractor shall maintain access to all existing utilities and structures.
5. All work shall be completed within the specified time frame.
6. The contractor shall be responsible for the safety of all workers and the public.
7. All work shall be completed in accordance with the applicable codes and regulations.
8. The contractor shall be responsible for the removal and disposal of all debris.
9. All work shall be completed in accordance with the applicable codes and regulations.
10. The contractor shall be responsible for the removal and disposal of all debris.

**SECTION 2: MATERIALS AND METHODS**

1. All materials shall be of the highest quality and shall be approved by the architect.
2. All work shall be completed in accordance with the applicable codes and regulations.
3. The contractor shall be responsible for the removal and disposal of all debris.
4. All work shall be completed in accordance with the applicable codes and regulations.
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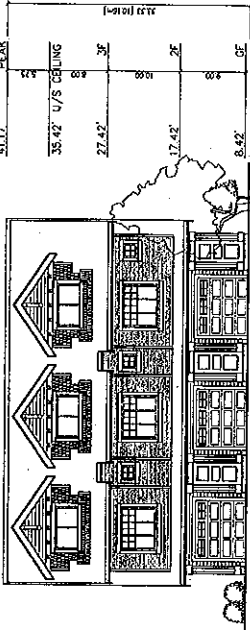
**SECTION 3: FINISHES AND INSTALLATION**

1. All finishes shall be of the highest quality and shall be approved by the architect.
2. All work shall be completed in accordance with the applicable codes and regulations.
3. The contractor shall be responsible for the removal and disposal of all debris.
4. All work shall be completed in accordance with the applicable codes and regulations.
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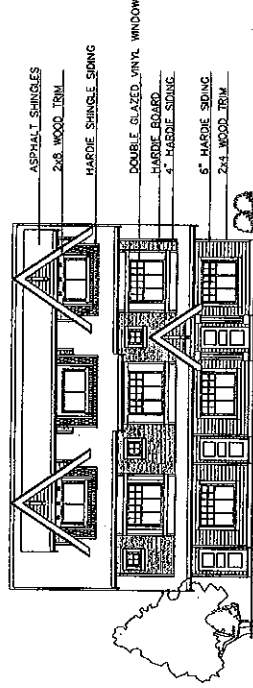
**SECTION 4: MAINTENANCE AND WARRANTY**

1. The contractor shall provide a warranty for all work completed.
2. The contractor shall be responsible for the maintenance of all work completed.
3. The contractor shall be responsible for the removal and disposal of all debris.
4. All work shall be completed in accordance with the applicable codes and regulations.
5. The contractor shall be responsible for the removal and disposal of all debris.
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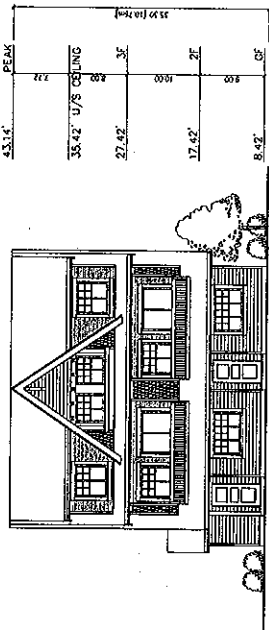
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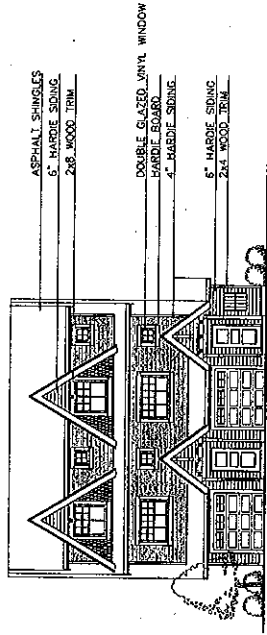
BUILDING A  
WEST ELEVATION



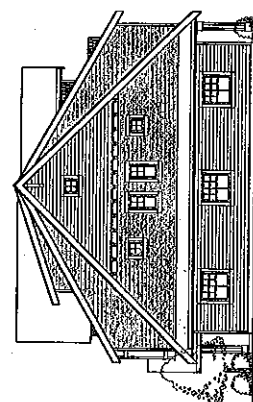
BUILDING A  
EAST ELEVATION (NO. 4 RD)



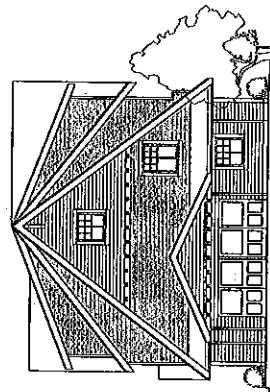
BUILDING B  
WEST ELEVATION



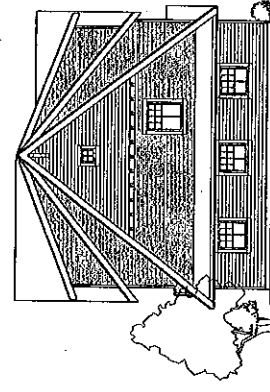
BUILDING B  
EAST ELEVATION



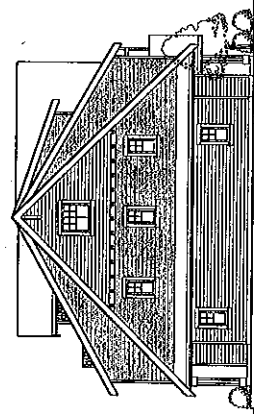
BUILDING A  
NORTH ELEVATION



BUILDING B



BUILDING B  
SOUTH ELEVATION



BUILDING A  
SOUTH ELEVATION



**MATTHEW CHENG ARCHITECT INC.**  
MATTHEW CHENG ARCHITECT INC.  
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THIS PLAN HAS BEEN PREPARED BY THE ARCHITECT AND CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ALL MATERIALS, AND WORKMANSHIP SHALL BE AS SHOWN. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK.

DATE: 08/25/2009  
DRAWN BY: MCH  
CHECKED BY: MCH  
SCALE: 1/8" = 1'-0"

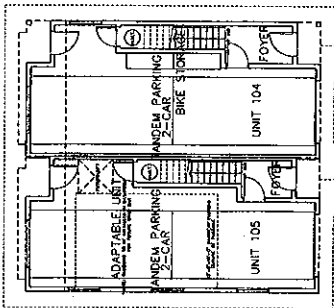
NO DATE

PROJECT FOR  
5-UNIT TOWNHOUSE DEVELOPMENT  
7531 NO. 4 ROAD  
RICHMOND, B.C.

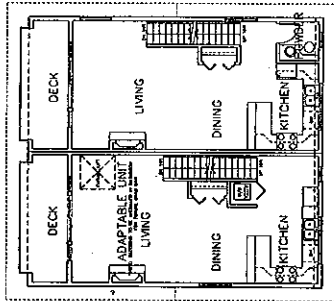
SHEET NO. 4  
ELEVATIONS

DATE: 08/25/2009	PROJECT NO. #4
DATE: 08/25/2009	PROJECT NO. #4
DATE: 08/25/2009	PROJECT NO. #4

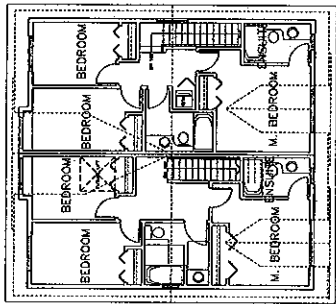




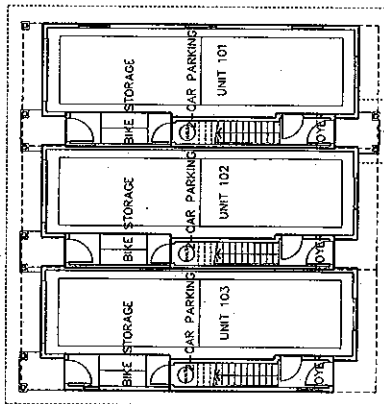
GROUND FLOOR PLAN  
BUILDING B



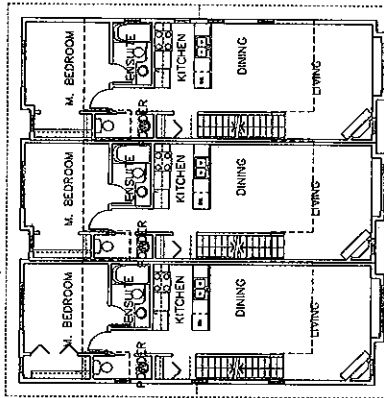
SECOND FLOOR PLAN  
BUILDING B



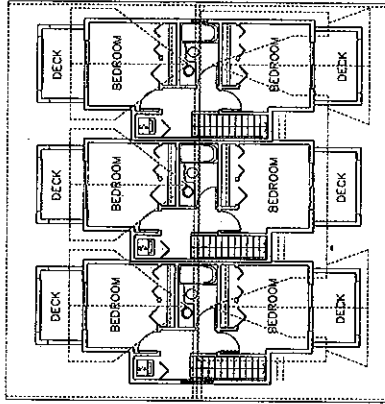
THIRD FLOOR PLAN  
BUILDING B



GROUND FLOOR PLAN  
BUILDING A



SECOND FLOOR PLAN  
BUILDING A



THIRD FLOOR PLAN  
BUILDING A

- \* BLOCKING TO BE PROVIDED IN ALL BATHROOM FOR GRAB BARS, PLEASE REFER TO #8.
- \* LEVER HANDLE TO BE USED FOR ALL DOORS
- \* LEVER FAUCET TO BE USED IN ALL BATHROOM AND POWDER ROOMS



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REV. DATE: 09/25/2009  
BY: MCH/ADP  
CHECKED: MCH/ADP  
DATE: 09/25/2009

No Date: / /

Comments:

Project Title:  
**5-UNIT TOWNHOUSE  
DEVELOPMENT  
7531 No. 4 ROAD  
RICHMOND, B.C.**

Sheet Title:  
**FLOOR PLANS**

Drawn:	HC	Revision Date:	APR 25, 2009
Checked:	AC	Print Date:	APR 25, 2009
Scale:	1/8" = 1'-0"	Drawn By:	
Project Number:			

DP09 463340  
REFERENCE PLAN



**MATTHEW CHENG  
ARCHITECT INC.**

1100 UNIVERSITY STREET SUITE 1000  
VANCOUVER, BC V6C 2E8  
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CONSENT OF THE ARCHITECT.

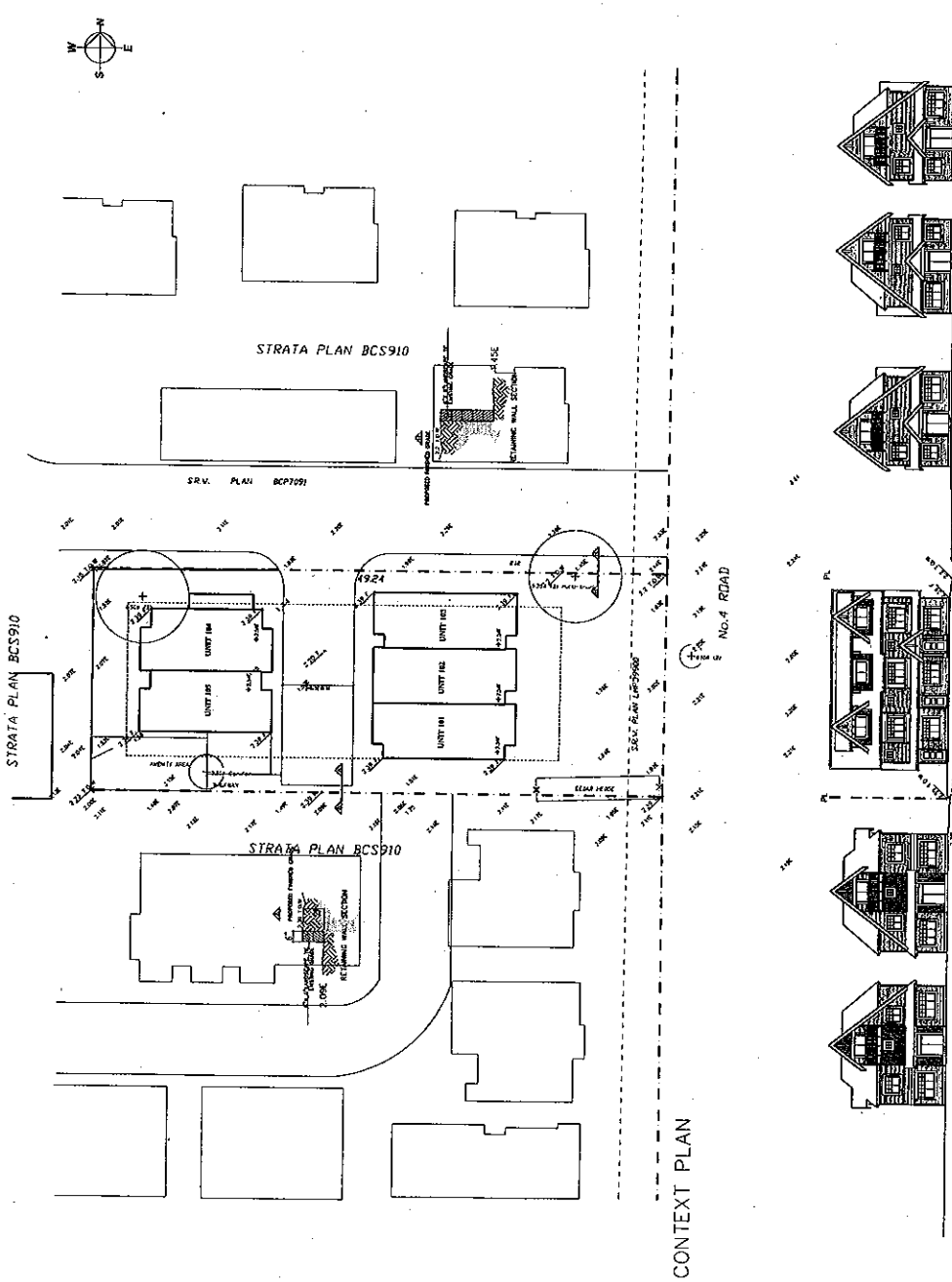
DATE: 05.05.09  
BY: J. CHENG  
CHECKED: J. CHENG  
PROJECT NO: 75531 NO. 4 ROAD  
DRAWN BY: J. CHENG

Comments:

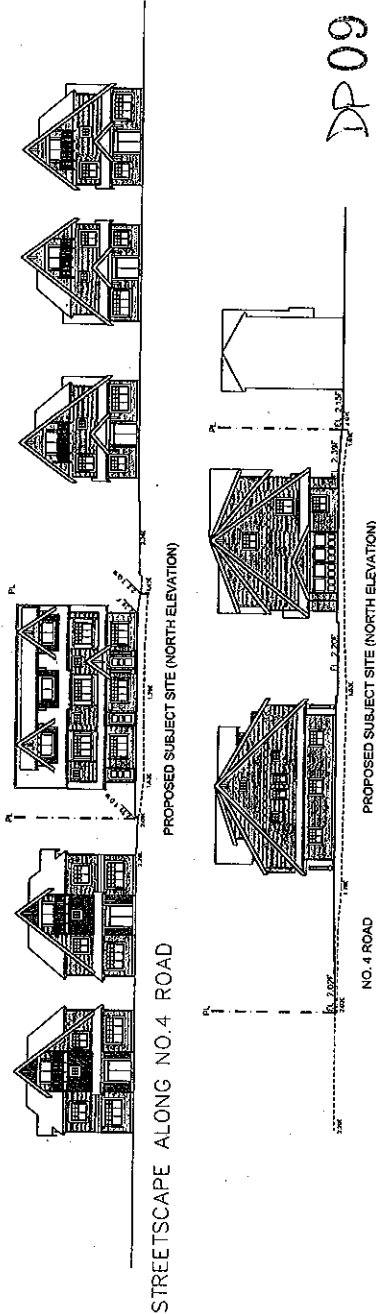
Project Title:  
**5-UNIT TOWNHOUSE  
DEVELOPMENT  
75531 NO. 4 ROAD  
RICHMOND, B.C.**

Sheet Title:  
**GRADING PLAN &  
SITE ELEVATION**

Drawn:	
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Project Number:	
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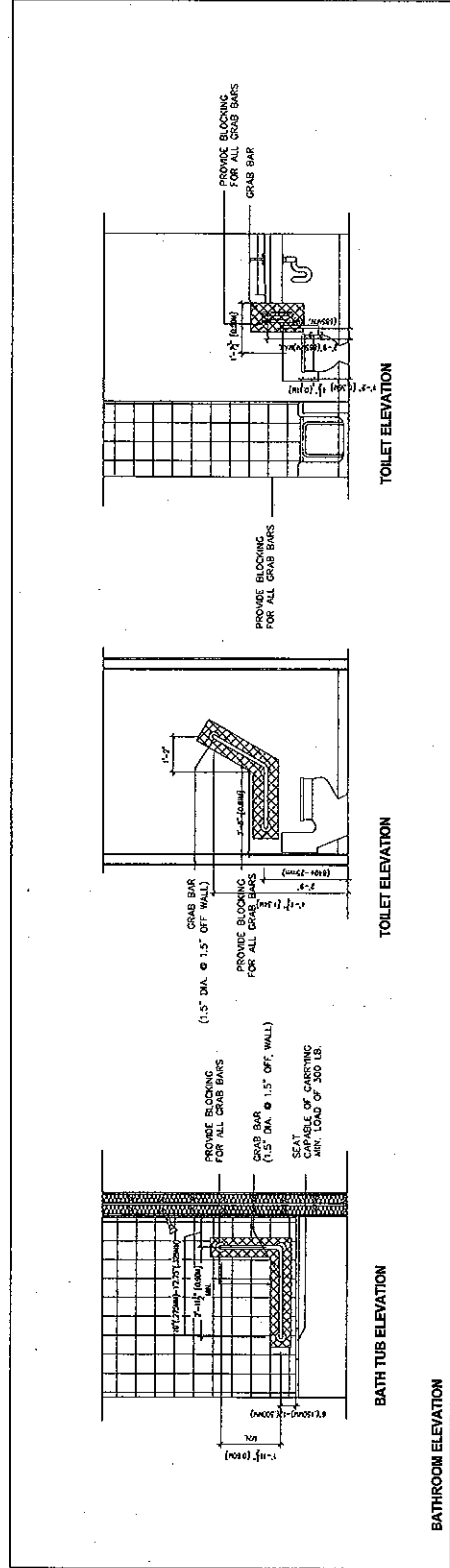
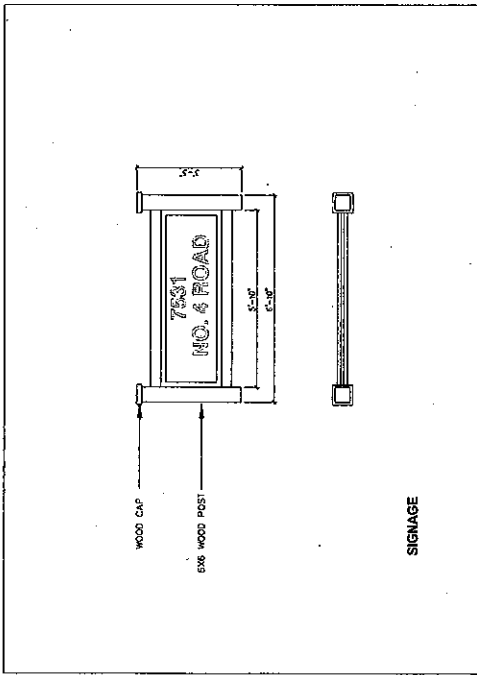


CONTEXT PLAN



STREETScape ALONG NO.4 ROAD

**DP09 463340**  
REFERENCE PLAN



REFERENCE PLAN  
DP 09 463340

<p>Project Title S-UNIT TOWNHOUSE DEVELOPMENT 7531 No. 4 ROAD RICHMOND, B.C.</p>	<p>Project No. 7531</p>	<p>Comments</p>	<p>No. Date Revision</p>	<p>Author Date Checked Date</p>	<p>Project Manager Date</p>	<p>Project Number</p>	<p>Revision Date Project Date Date No.</p>
<p><b>MATTHEW CHENG ARCHITECT INC.</b> 1100 WESTERN AVENUE, SUITE 200 VANCOUVER, B.C. V6E 3R7 TEL: (604) 681-7777 WWW.MATTHEWCHENGARCHITECT.COM</p>							

