



City of Richmond
Planning and Development Department

Report to Development Permit Panel

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: August 24, 2009
File: DP 09-463340
Re: **Application by Matthew Cheng Architect Inc. for a Development Permit at
7531 No. 4 Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of five (5) townhouse units at 7531 No. 4 Road on a site zoned "Comprehensive Development District (CD/35)";
2. Vary the provisions of the Zoning and Development Bylaw No. 5300 to:
 - a) Reduce the minimum north side yard setback for the east building (triplex along No. 4 Road) from 3.0 m to 1.88 m;
 - b) Reduce the minimum north side yard setback from 3.0 m to 1.73 m for a single storey garbage/recycling enclosure attached to the west building (duplex at the back); and
 - c) Allow tandem parking spaces in all of the five (5) townhouse units.

Brian J. Jackson, MCIP
Director of Development

 blg
Att.

Staff Report

Origin

Matthew Cheng Architect Inc. has applied to the City of Richmond for permission to develop five (5) townhouses at 7531 No. 4 Road. The site is being rezoned from "Single-Family Housing District, Subdivision Area F (R1/F)" to "Comprehensive Development District (CD/35)" for this project under Bylaw No. 8462 (RZ 08-406182). The site currently contains a single-family dwelling.

There is no City standard Servicing Agreement required in association with this development proposal. Removal of the existing driveway on No. 4 Road and re-instating continuity of the sidewalk will be achieved via a Work Order at Building Permit stage.

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site is surrounded on its three (3) sides by a recently developed townhouse project (7511 No. 4 Road, DP 03-231373) on a property zoned Comprehensive Development District (CD/35). This adjacent townhouse project is comprised of 44 2½-storey and three-storey townhouses and is developed at a density of 0.58 floor area ratio (FAR) (0.60 maximum).

Across No. 4 Road (to the east), there are a number of existing single-family homes within the Agricultural Land Reserve (ALR), and zoned Agricultural District (AG1).

Rezoning and Public Hearing Results

The rezoning application for this development (RZ 08-406182) was presented to Planning Committee on February 17, 2007. The Public Hearing for the rezoning of this site was held on March 16, 2009. At the Public Hearing, concerns were expressed about density and increased traffic at the entry driveway of 7511 No. 4 Road.

The proposed density of the proposed development and vehicular access through the adjacent property at 7511 No. 4 Road were envisioned when the original rezoning and Development Permit applications for the adjacent townhouse development (at 7511 No. 4 Road) were approved by Council. A Public Rights of Passage (PROP) right-of-way (ROW) BCP7091 and Cross Access Easement BCP7093 were registered on title on the adjacent property at the time of development.

The subject site is an orphaned lot landlocked by the adjacent townhouse development. The proposal can be considered as an extension of the adjacent development and a contribution to a continuous, complete pedestrian frontage character along the street front.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable

sections of the Official Community Plan (OCP) and is generally in compliance with the Comprehensive Development District (CD/35) except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in **bold**)

The applicant requests to vary the provisions of the Zoning and Development Bylaw No. 5300 to:

1. Reduce the north side yard setback for the east building (triplex along No. 4 Road) from 3.0 m to 1.88 m.

(The variance allows for a wider building along the No. 4 Road frontage to create a better pedestrian residential streetscape. With the variance, the proposed front building would be at least 7.88 m away from the adjacent building to the north as the 6.00 m wide drive aisle will provide the desirable physical separation, which will be softened by the proposed landscaping on that side of the building).

2. Reduce the north side yard setback from 3.0 m to 1.73 m for a single storey garbage/recycling enclosure attached to the west building (duplex at the back).

(The variance allows for a single-storey garbage/recycling enclosure to encroach into the side yard setback. A walkway and 6 ft. high fence will be provided along the property line).

3. 10 tandem parking spaces.

(Tandem parking arrangement is generally accepted in small developments to reduce the site coverage. A restrictive covenant to prohibit the conversion of the garage area into habitable space will be required as a condition of the Development Permit. The City's Transportation Department has reviewed and accepted the tandem parking arrangement).

Advisory Design Panel Comments

The subject application was not presented to the Advisory Design Panel on the basis that the project generally met all the applicable Development Permit Guidelines, and the overall design and site plan adequately addressed staff comments. The design provided is generally consistent with the existing design on the adjacent townhouse development (at 7511 No. 4 Road).

Analysis

Conditions of Adjacency

- The subject site is an orphaned lot that is surrounded by the adjacent townhouse developments. The proposal is an "infill" type of development that fit well with the character of its surrounding built context.
- The proposed height, siting and orientation of the buildings respects the massing of the surrounding existing residential development and generally complies with Official Community Plan (OCP) guidelines for McLennan South Sub-Area of City Centre;
- The Sub-Area Plan Development Permit Guidelines called for a minimum of 20 m front yard setback for three-storey units and 9 m for 2½ storey units.
- The proposed triplex along No. 4 Road is a 3-storey building by definition. However, with the substantial setback on the 3rd floor from the floor below, it maybe read as a 2½-storey building.

- The proposed 11.97 m setback is considered adequate in providing an informal and visually interesting streetscape along No. 4 Road (which is the intention of the relevant design guidelines);
- The proposed massing, materials, colours, and landscaping will result in a development that is in keeping with the surrounding townhouse development.
- The increased south side yard setback for the west building (duplex at the back) provides appropriate outdoor amenity space and a generous separation space between the proposed duplex and the existing townhouse block to the south on the adjacent development to address the backyard-to-side-yard interface.

Urban Design and Site Planning

- Pedestrian frontage character facing No. 4 Road has been incorporated to enhance the pedestrian residential streetscape;
- A 11.97 m front yard setback from No. 4 Road is proposed in order to provide an informal and visually interesting streetscape;
- Vehicle access to the site will be through the driveway in the adjacent townhouse development at 7511 No. 4 Road; and
- All units have two (2) vehicle parking spaces in tandem arrangement; one (1) handicap visitor parking space is provided.

Architectural Form and Character

- Building design is consistent with the surrounding residential character of the neighbourhood;
- A pedestrian scale is provided at the ground floor level of the units along the public street and driveway with the inclusion of windows, doors, and landscape features;
- The building forms are well articulated. The front building (triplex) is designed to read as a single estate home in order to adapt a rural estate character as defined in the sub-area plan;
- Visual interest and variety has been incorporated with gable roof, dormers, box windows, recessed balconies, varying material combinations, and a range of colour finishes;
- The proposed building materials (Hardi shingle siding, Hardi siding, Hardi-Board, wood trim, and asphalt roof shingles) are generally consistent with the Official Community Plan (OCP) Guidelines;
- Proposed color scheme compliments the existing streetscapes which are primarily based on earthy tones found in traditional heritage houses;
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, and pedestrian entries;
- One (1) adaptable unit (Unit 105) has been provided. An alternate floor plan demonstrating conversion potential to accommodate a person in a wheelchair by the installation of an elevator; and

- Accessibility features have been incorporated into this development (i.e., blocking in all bathrooms for grab-bars, level handle for all doors, and lever faucet in all bathrooms and powder rooms).

Landscape Design and Open Space Design

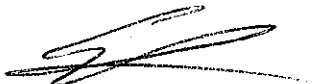
- Three (3) existing bylaw-sized trees are being removed to facilitate the proposed development. The Arborist confirmed that two (2) of the trees are in poor condition and one (1) is in fair condition but is also in conflict with the proposed site layout. Six (6) replacement trees are required.
- The landscape design includes the planting of 21 new trees (in a mix of coniferous and deciduous trees) and a variety of shrubs and ground covers which meets the OCP guidelines for tree replacement and landscaping;
- The lot coverage of soft landscape area is 37%;
- A 6 ft. height wood fence is proposed along the west and south property line to provide privacy;
- A 1.5 m wide walkway along the south property line is proposed to connect the drive aisle and the amenity area;
- The outdoor amenity includes bench, planting beds, a play equipment, and a lawn area; and
- Cash-in-lieu (\$5,000) for indoor amenity has been provided as a condition of rezoning approval (RZ 08-406182).

Crime Prevention Through Environmental Design

- The site design provides both internal unit privacy and passive surveillance of internal roadways and communal areas to enhance safety for residents.

Conclusions

The applicant has satisfactorily addressed issues that were identified through the rezoning process, as well as staff's comments regarding conditions of adjacency, urban design and site planning, architectural form and character, landscape and open space design, and crime prevention through environmental design. The proposed development at this orphaned lot is in keeping with the surrounding townhouse complex and will result in a development that will complete the anticipated vision for the area. Therefore, staff recommend support of this Development Permit application.



Edwin Lee
Planning Technician - Design

EL:blg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$12,015.52 (based on total floor area of 558.12 m² or 6,007.76 ft²).
- Registration of a Restrictive Covenant prohibiting the conversion of tandem parking area into habitable area.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet
 Development Applications Division**

DP 09-463340

Attachment 1

Address: 7531 No. 4 Road

Applicant: Matthew Cheng Architect Inc.

Owner: Harjinder Singh Dhailwal

Planning Area(s): City Centre Area Plan, McLennan South Sub-Area Plan (Schedule 2.10D)

Floor Area Gross: 814.76 m² or 8770.33 ft²

Floor Area Net: 558.12 m² or 6007.76 ft²

	Existing	Proposed
Site Area:	944.63 m ²	no change
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Low Density Residential	no change
Zoning:	Single-Family Housing District, Subdivision Area F (R1/F)	Comprehensive Development District (CD/35)
Number of Units:	1 single-family dwelling	5 townhouse units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.60	0.59	none permitted
Lot Coverage:	Max. 40%	34%	
Setback – Front Yard (No. 4 Road):	Min. 9 m	11.97 m	
Setback – North Side Yard:	Min. 3 m	1.88 m for east building 1.73 m for west building	Variance required and supported
Setback – South Side Yard:	Min. 3 m	3.05 m	
Setback – Rear Yard:	Min. 3 m	3 m	
Height (m):	Max. 11 m	10.76 m	
Lot Size:	n/a	944.63 m ²	
Off-street Parking Spaces – Residential/Visitor:	10 and 1	10 and 1	
Off-street Parking Spaces – Accessible:	1	1	
Total off-street Spaces:	11	11	
Tandem Parking Spaces	not permitted	10	Variance required and supported
Amenity Space – Indoor:	Min. 70 m ²	\$5,000 cash-in-lieu	
Amenity Space – Outdoor:	Min. 30 m ²	54.33 m ²	



No. DP 09-463340

To the Holder: MATTHEW CHENG ARCHITECT INC.

Property Address: 7531 NO. 4 ROAD

Address: c/o MATTHEW CHENG
UNIT 202 – 670 EVANS AVENUE
VANCOUVER, BC V6A 2K9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied to:
 - a) Reduce the minimum north side yard setback for the east building (triplex along No. 4 Road) from 3.0 m to 1.88 m.
 - b) Reduce the minimum north side yard setback from 3.0 m to 1.73 m for a single storey garbage/recycling enclosure attached to the west building (duplex at the back) ; and
 - c) Allow tandem parking spaces in all of the five (5) townhouse units.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of **\$12,015.52** to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 09-463340

To the Holder: MATTHEW CHENG ARCHITECT INC.

Property Address: 7531 NO. 4 ROAD

Address: c/o MATTHEW CHENG
UNIT 202 – 670 EVANS AVENUE
VANCOUVER, BC V6A 2K9

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

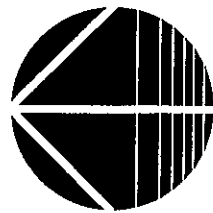
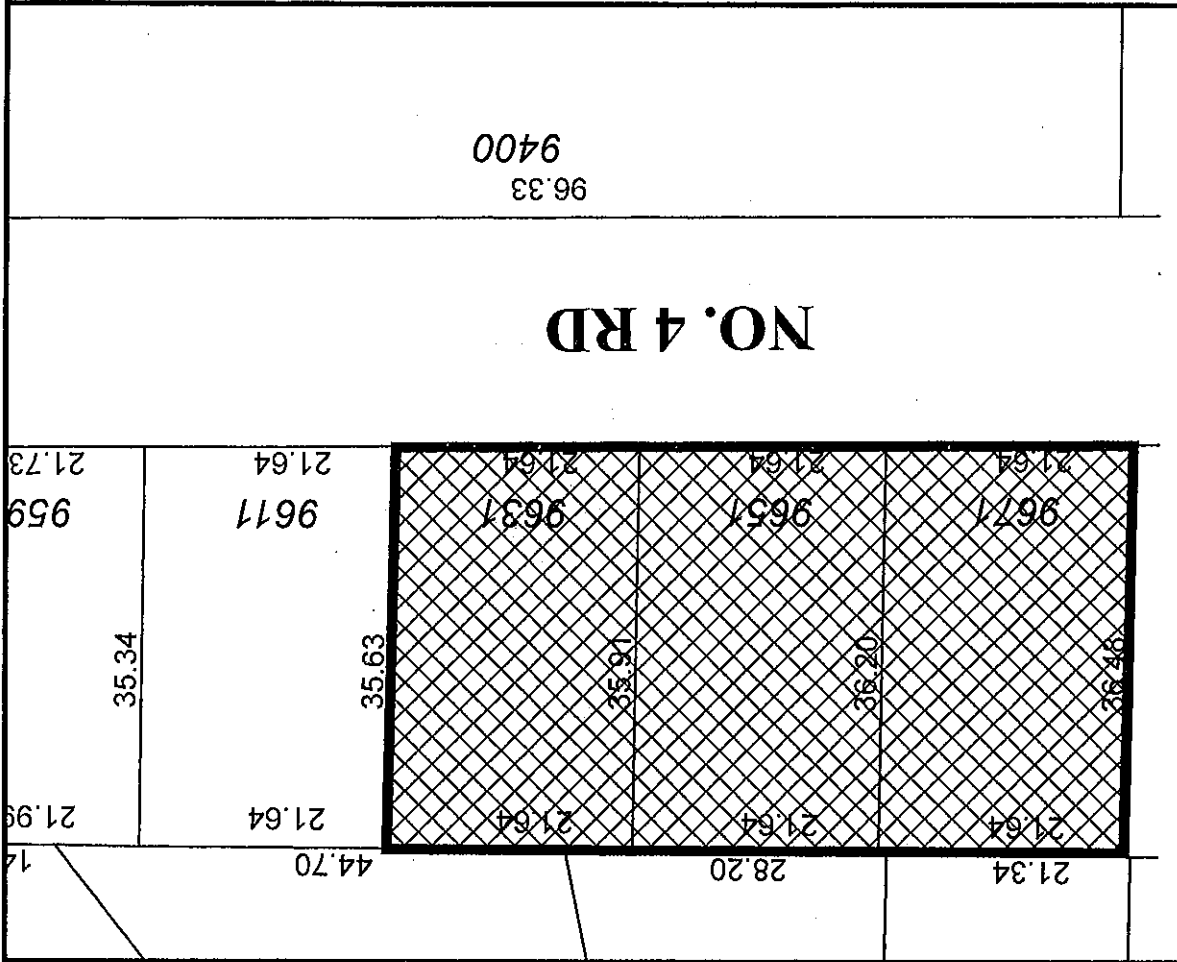
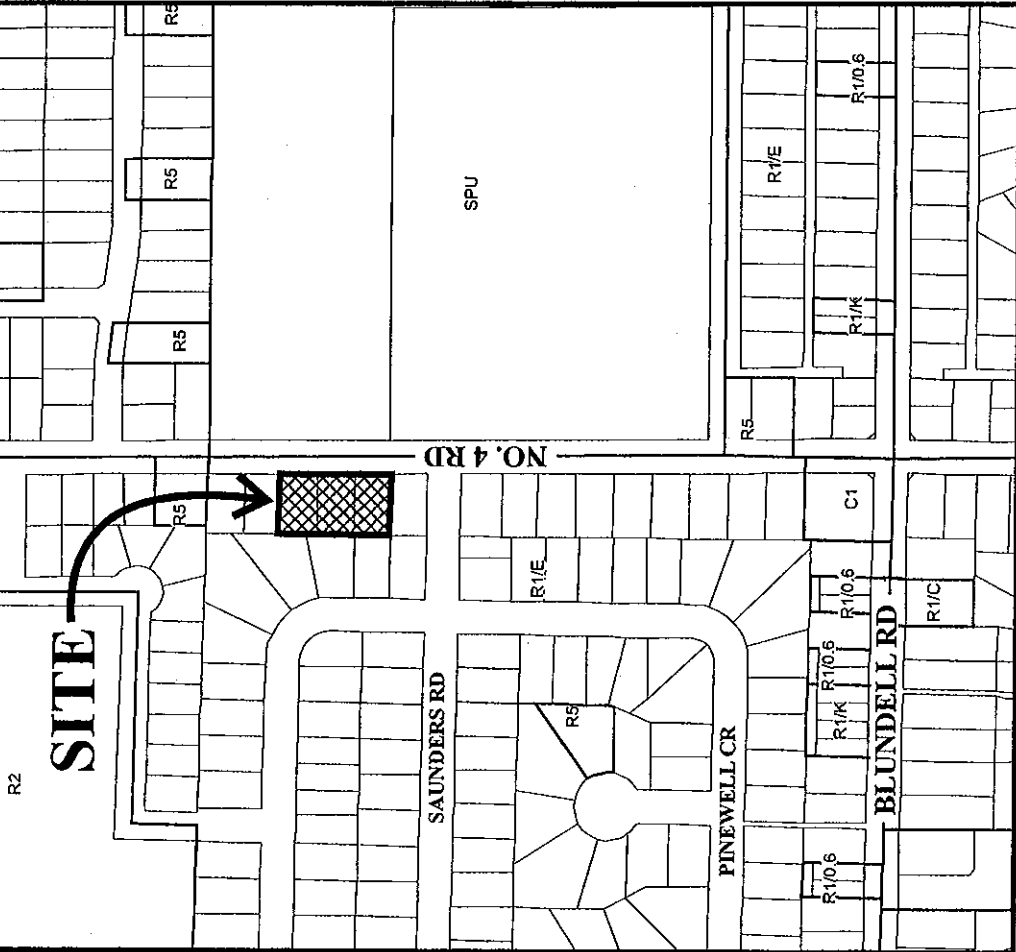
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MAYOR



City of Richmond

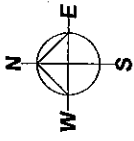


DP 06-350001 SCHEDULE "A"

Original Date: 10/23/06

Revision Date: 04/02/07

Note: Dimensions are in METRES



No. 4 ROAD

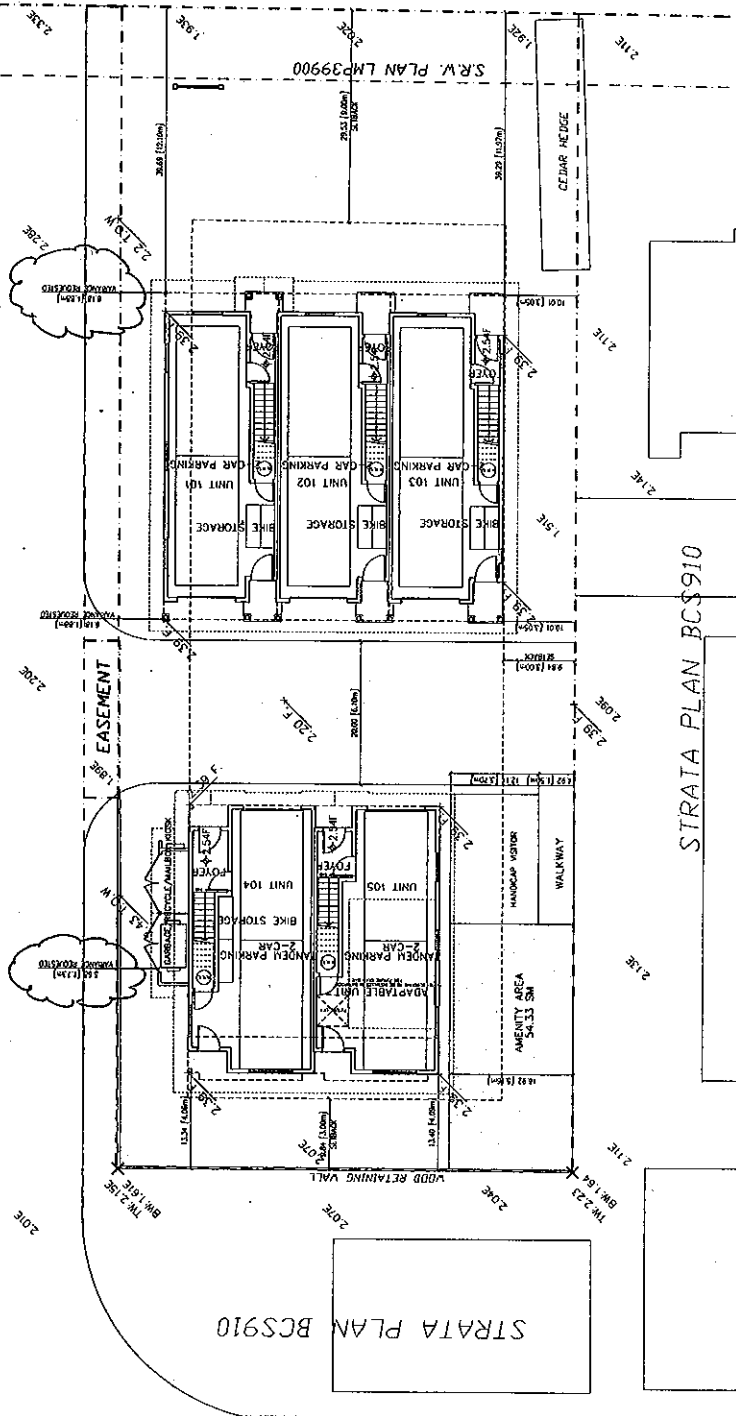


DP09 463340

S.R.V. PLAN BCP7091

STRATA PLAN BCS910

STRATA PLAN BCS910



Project No.	DP09 463340
Issue No.	1
Issue Date	AUG 15, 2009
Check Date	AUG 15, 2009
Scale	N/A
Project Name	

Project Title
SITE PLAN
 5-UNIT TOWNHOUSE
 DEVELOPMENT
 7531 No. 4 ROAD
 RICHMOND, B.C.

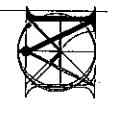
Comments

NO DATE Revision

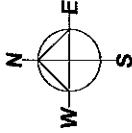
Revision
 1. 08/15/09: ASH BENCH
 2. 08/15/09: ASH BENCH
 3. 08/15/09: ASH BENCH
 4. 08/15/09: ASH BENCH

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 100-1111 EAST AVENUE
 VANCOUVER, BC V6A 1A1
 TEL: 604-271-1111 FAX: 604-271-1112
 WWW.MCHENGARCHITECT.COM

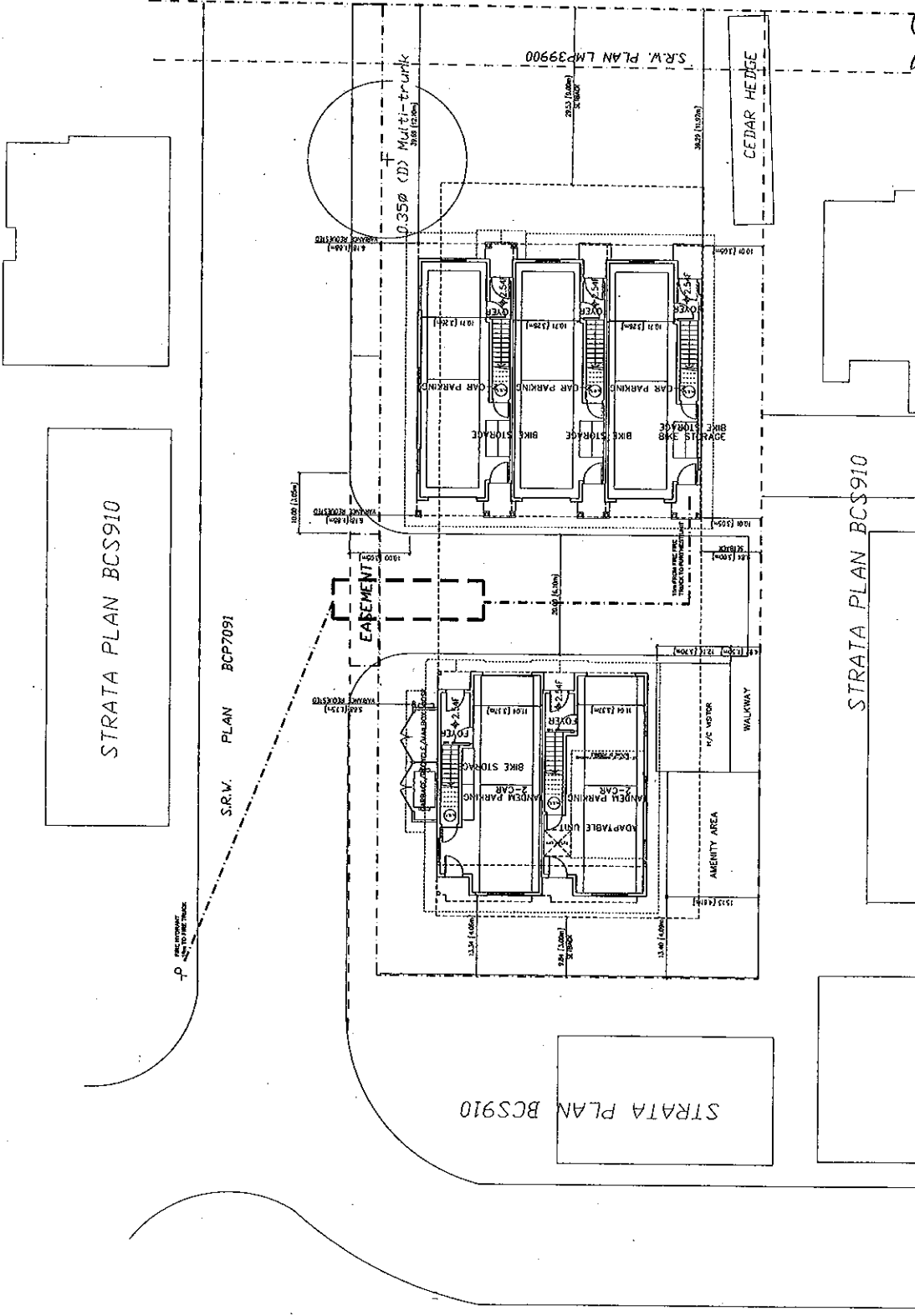


EXISTING GRADE
 PROPOSED GRADE



No. 4 ROAD

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DP 09 463340

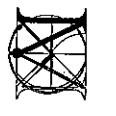
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Designer	MC	Project No.	7531 No. 4 ROAD
Scale	1/4" = 1'-0"	Sheet No.	#2
Project Number			

Project Title
5-UNIT TOWNHOUSE DEVELOPMENT
7531 No. 4 ROAD
RICHMOND, B.C.

Rev.	Date	Revision	Comments
01	05/17/2009	PROVISIONAL REVIEW	
02	05/27/2009	REVISED PER MC	
03	08/25/2009	SP	

THIS PLAN AND ANY INSTRUMENTS RELATED TO THE GENERAL CONTRACT SHALL BE VOID IF ALL INSTRUMENTS AND INSTRUMENTS ARE NOT REGISTERED WITH THE BC LAND TITLE REGISTRY. THE BC LAND TITLE REGISTRY SHALL BE THE AUTHORITY FOR THE REGISTRATION OF INSTRUMENTS. THE BC LAND TITLE REGISTRY SHALL BE THE AUTHORITY FOR THE REGISTRATION OF INSTRUMENTS.

MATTHEW CHENG ARCHITECT INC.
 1100 WEST 10TH AVENUE, SUITE 100
 VANCOUVER, BC V6H 2T6
 TEL: 604-275-1100
 FAX: 604-275-1101
 WWW.MATTHEWCHENGARCHITECT.COM



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NO.	DATE	DESCRIPTION	BY
1	10/15/17	PRELIMINARY	JM
2	10/15/17	REVISED	JM
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DMG
landscape architects

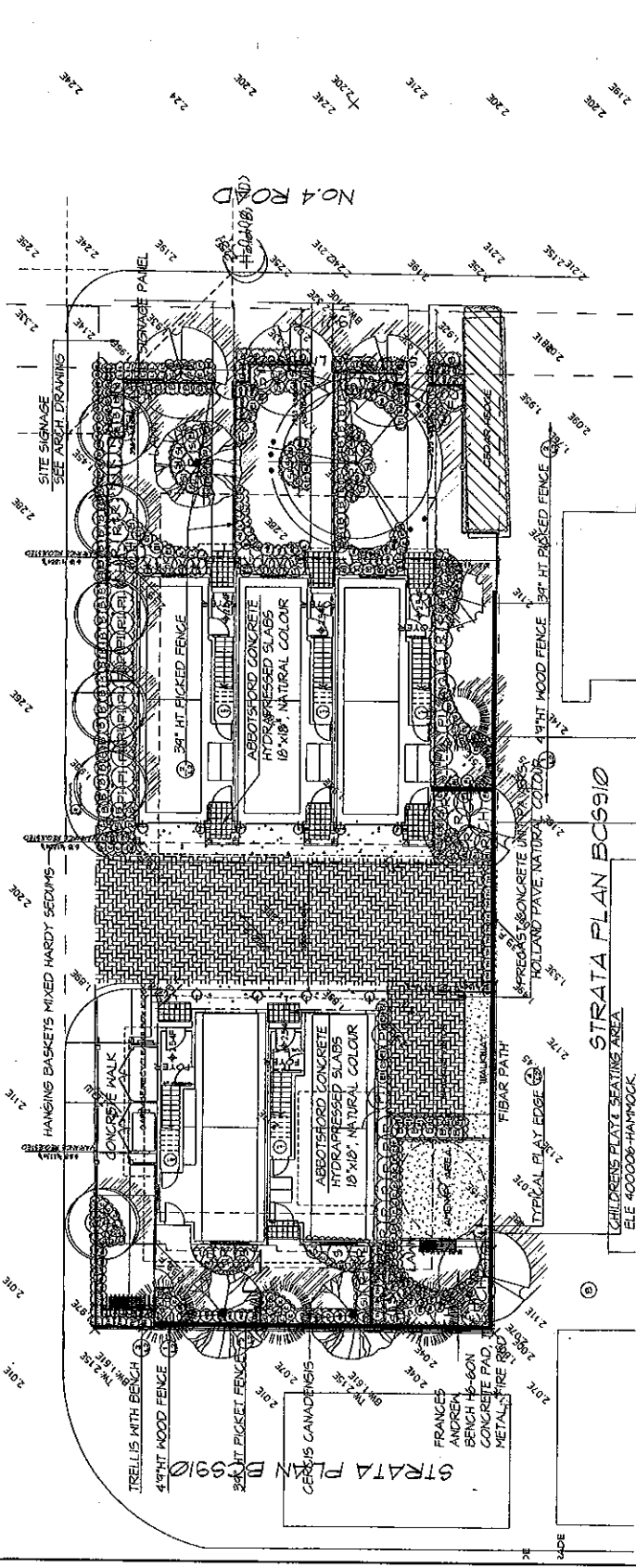
A Member of
The DMG Group
7251 No. 4 Road
Richmond, BC
V6X 2K6
Tel: (604) 273-2222
Fax: (604) 273-2223

PROJECT:
5-UNIT TOWNHOUSE
DEVELOPMENT
7251 No. 4 ROAD
RICHMOND, BC

DRAWING TITLE:
PRELIMINARY
LANDSCAPE PLAN

DATE: 10/15/17	DRAWING NUMBER:
DRAWING NO:	3A
DESIGNER:	
CHECKER:	
DATE: 10/15/17	DMG PROJECT NUMBER:
	DP-109

STRATA PLAN BCSS910



PLANT SCHEDULE	COMMON NAME	DMG JOB NUMBER
1	VEE HALE	PLANTED SIZE: 7 BERRARDS
2	FOREST PANDA BIRD	
3	WANDERING JEW	
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DP 09 463340

DMG PROJECT NUMBER: DP-109

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NO.	DATE	DESCRIPTION	BY
1		ISSUED FOR PERMITS	DMG
2		ISSUED FOR CONSTRUCTION	DMG
3		ISSUED FOR AS-BUILT	DMG
4		ISSUED FOR FINAL REVIEW	DMG
5		ISSUED FOR RECORD	DMG
6		ISSUED FOR ARCHIVE	DMG
7		ISSUED FOR PROJECT CLOSURE	DMG
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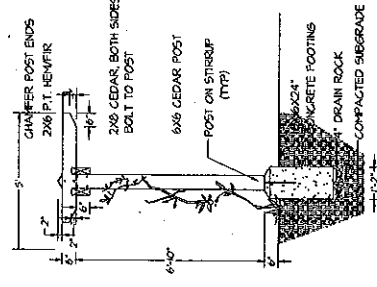
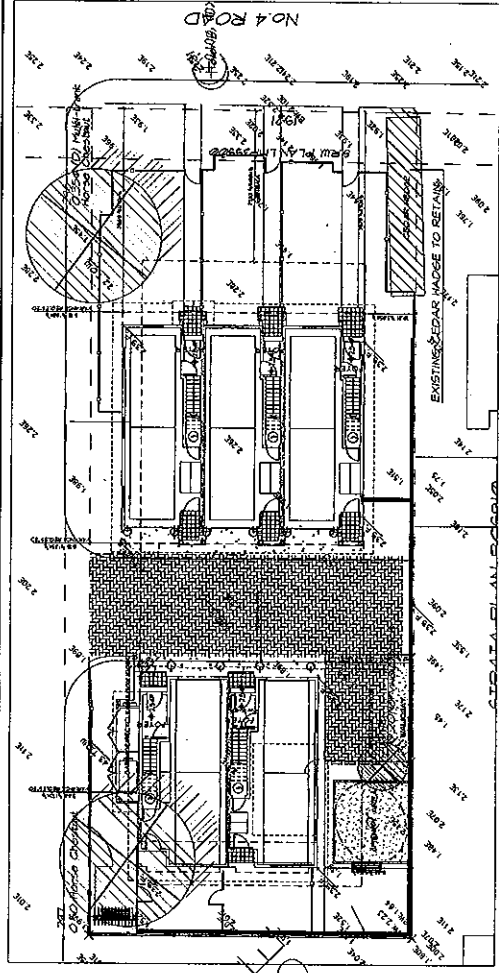
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S-UNIT TOWNHOUSE DEVELOPMENT
7551 N64 ROAD
RICHMOND, BC

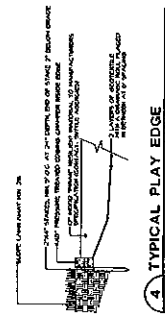
DRAWING TITLE: **LANDSCAPE DETAILS**

DATE	NO.	BY
DATE	NO.	BY
DATE	NO.	BY
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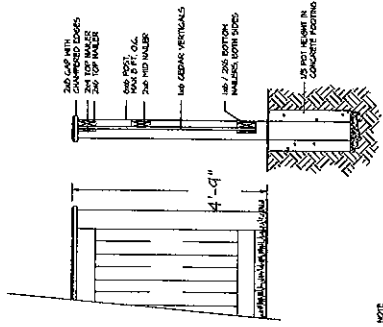
DP 09 463340



3 TRELIS
SCALE 1/2" = 1'-0"

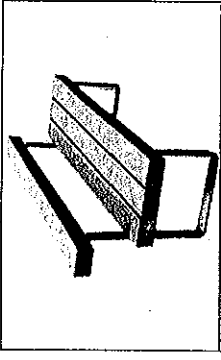


4 TYPICAL PLAY EDGE
SCALE 1/2" = 1'-0"

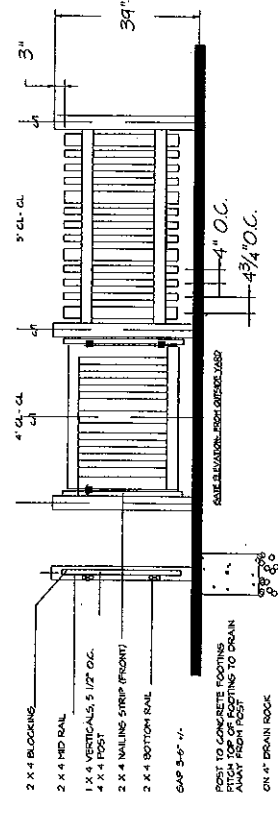


- NOTE:**
- ALL POSTS PRESERVE TREATED TO CSA STANDARD AND DO NOT USE GALVANIZED STEEL.
 - ALL OTHER MEMBERS TO BE CEDAR TO CONSTRUCTION GRADE MINIMUM.
 - ALL HARDWARE NOT SHIPPED GALVANIZED.
 - POSTS TO BE 2" DIA. TOP AND BOTTOM AND 1 1/2" DIA. MIDDLE.
 - ALL POSTS TO BE LEVEL. CHAMFER AS SHOWN TO BE 1/4" DIA. TOP AND BOTTOM.
 - POSTS TO BE 4'-9" HEIGHT TO FOLLOW FROM GRADE TO TOP OF CHAMFER.

Kompan Elements Hammock



Frances Andrew H6-6 -ipe Wood Bench



2 39" HEIGHT WOOD PICKET FENCE AND GATE
SCALE 3/8" = 1'-0"

- NOTES:**
- ALL POSTS PRESERVE TREATED TO CSA STANDARD AND DO NOT USE GALVANIZED STEEL.
 - ALL OTHER MEMBERS TO BE CEDAR TO CONSTRUCTION GRADE MINIMUM.
 - ALL HARDWARE NOT SHIPPED GALVANIZED.
 - POSTS TO BE 2" DIA. TOP AND BOTTOM AND 1 1/2" DIA. MIDDLE.
 - ALL POSTS TO BE LEVEL. CHAMFER AS SHOWN TO BE 1/4" DIA. TOP AND BOTTOM.
 - POSTS TO BE 39" HEIGHT TO FOLLOW FROM GRADE TO TOP OF CHAMFER.
 - GATE TO HAVE BLOCKS SETTING TO OWNERS SATISFACTION.

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NO.	REVISION DESCRIPTION	BY	DATE
1	ADD THESE 2017 LANDSCAPE DEVELOPMENT CODE		
2	ADD THESE 2017 LANDSCAPE DEVELOPMENT CODE		
3	ADD THESE 2017 LANDSCAPE DEVELOPMENT CODE		
4	ADD THESE 2017 LANDSCAPE DEVELOPMENT CODE		
5	ADD THESE 2017 LANDSCAPE DEVELOPMENT CODE		
6	ADD THESE 2017 LANDSCAPE DEVELOPMENT CODE		
7	ADD THESE 2017 LANDSCAPE DEVELOPMENT CODE		
8	ADD THESE 2017 LANDSCAPE DEVELOPMENT CODE		
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10	ADD THESE 2017 LANDSCAPE DEVELOPMENT CODE		
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16	ADD THESE 2017 LANDSCAPE DEVELOPMENT CODE		
17	ADD THESE 2017 LANDSCAPE DEVELOPMENT CODE		
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DMG
landscape architects
A Partnership of
DMG Landscape Architects Ltd.
45 Adelaide Street West
Toronto, Ontario M5H 1S8, Canada
Tel: (416) 593-3222
Fax: (416) 593-3223
www.dmg.ca

PROJECT
SUNITE TOWNHOUSE DEVELOPMENT
7837 NO. 4 ROAD
RICHMOND, BC

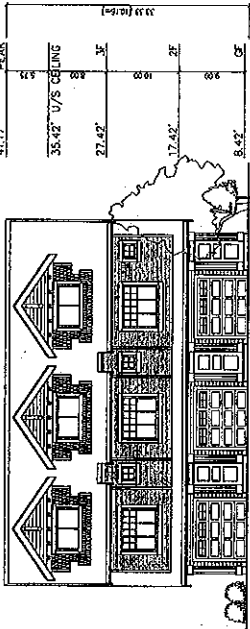
DRAWING TITLE
LANDSCAPE SPECIFICATIONS

DRAWING NUMBER 3C
DATE
SCALE
DRAWN BY
CHECKED BY
DATE OF PROJECT NUMBER
DATE OF DRAWING

SECTION	DESCRIPTION
1.0	GENERAL REQUIREMENTS 1.1. The contractor shall be responsible for obtaining all permits, licenses, and approvals required for the construction of the landscape development. 1.2. The contractor shall be responsible for providing all necessary labor, materials, and equipment for the construction of the landscape development. 1.3. The contractor shall be responsible for ensuring that all construction is completed in accordance with the specifications and drawings. 1.4. The contractor shall be responsible for maintaining access to all adjacent properties and utilities throughout the construction period. 1.5. The contractor shall be responsible for protecting all existing trees and structures on the site. 1.6. The contractor shall be responsible for providing all necessary safety measures during the construction period. 1.7. The contractor shall be responsible for providing all necessary site cleanup and final grading. 1.8. The contractor shall be responsible for providing all necessary irrigation and drainage systems. 1.9. The contractor shall be responsible for providing all necessary plantings and maintenance during the construction period. 1.10. The contractor shall be responsible for providing all necessary final landscaping and site preparation.
2.0	PLANTING 2.1. All plantings shall be selected from the approved list of plant species provided in the specifications. 2.2. All plantings shall be installed in accordance with the planting details provided in the drawings. 2.3. All plantings shall be installed during the construction period. 2.4. All plantings shall be installed in accordance with the site plan and planting schedule provided in the drawings. 2.5. All plantings shall be installed in accordance with the irrigation and drainage systems provided in the drawings. 2.6. All plantings shall be installed in accordance with the site cleanup and final grading provided in the drawings. 2.7. All plantings shall be installed in accordance with the final landscaping and site preparation provided in the drawings.
3.0	IRIGATION 3.1. The irrigation system shall be installed in accordance with the specifications and drawings. 3.2. The irrigation system shall be installed during the construction period. 3.3. The irrigation system shall be installed in accordance with the site plan and irrigation schedule provided in the drawings. 3.4. The irrigation system shall be installed in accordance with the planting schedule provided in the drawings. 3.5. The irrigation system shall be installed in accordance with the site cleanup and final grading provided in the drawings. 3.6. The irrigation system shall be installed in accordance with the final landscaping and site preparation provided in the drawings.
4.0	DRAINAGE 4.1. The drainage system shall be installed in accordance with the specifications and drawings. 4.2. The drainage system shall be installed during the construction period. 4.3. The drainage system shall be installed in accordance with the site plan and drainage schedule provided in the drawings. 4.4. The drainage system shall be installed in accordance with the planting schedule provided in the drawings. 4.5. The drainage system shall be installed in accordance with the site cleanup and final grading provided in the drawings. 4.6. The drainage system shall be installed in accordance with the final landscaping and site preparation provided in the drawings.
5.0	FINAL LANDSCAPING 5.1. The final landscaping shall be completed in accordance with the specifications and drawings. 5.2. The final landscaping shall be completed during the construction period. 5.3. The final landscaping shall be completed in accordance with the site plan and final landscaping schedule provided in the drawings. 5.4. The final landscaping shall be completed in accordance with the planting schedule provided in the drawings. 5.5. The final landscaping shall be completed in accordance with the site cleanup and final grading provided in the drawings. 5.6. The final landscaping shall be completed in accordance with the final landscaping and site preparation provided in the drawings.

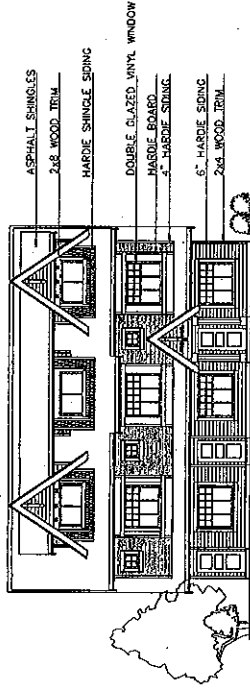
DP09 463340

05-759



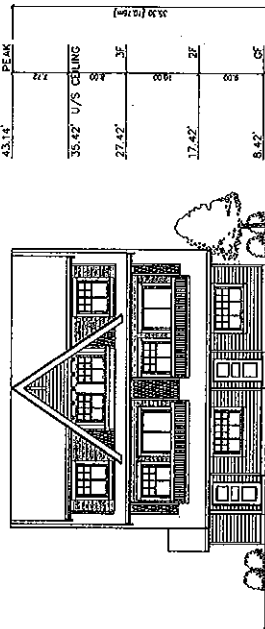
BUILDING A
WEST ELEVATION

PEAK	15'	20'	35'	2F	GF
41.17'					
35.42' U/S CEILING					
27.42'					
17.42'					
8.42'					



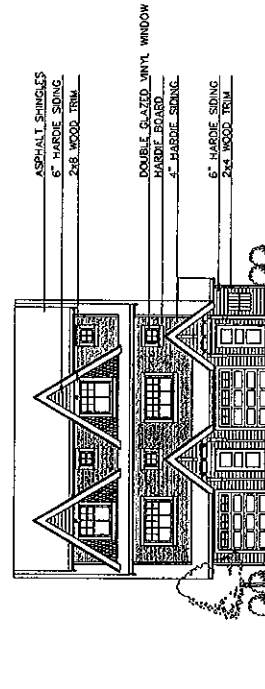
BUILDING A
EAST ELEVATION (NO. 4 RD)

- ASPHALT SHINGLES
- 2x8 WOOD TRIM
- HARDIE SHINGLE SIDING
- DOUBLE GLAZED VINYL WINDOW
- HARDIE BOARD
- 2" HARDIE SIDING
- 6" HARDIE SIDING
- 2x4 WOOD TRIM



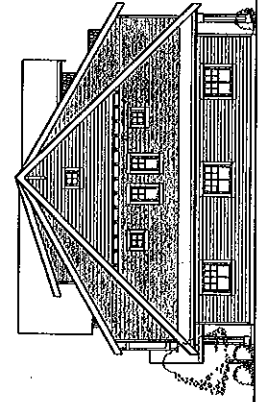
BUILDING B
WEST ELEVATION

PEAK	15'	20'	35'	2F	GF
43.14'					
35.42' U/S CEILING					
27.42'					
17.42'					
8.42'					

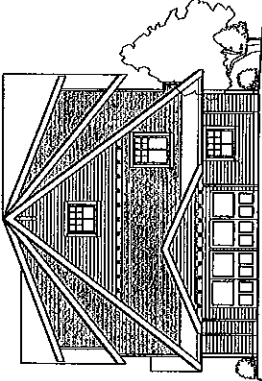


BUILDING B
EAST ELEVATION

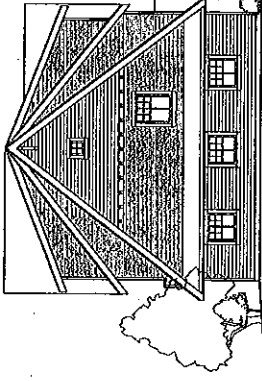
- ASPHALT SHINGLES
- 6" HARDIE SIDING
- 2x8 WOOD TRIM
- DOUBLE GLAZED VINYL WINDOW
- HARDIE BOARD
- 2" HARDIE SIDING
- 6" HARDIE SIDING
- 2x4 WOOD TRIM



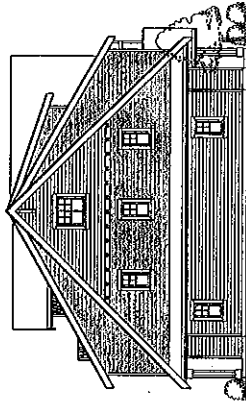
BUILDING A
NORTH ELEVATION



BUILDING B



BUILDING B
SOUTH ELEVATION



BUILDING A
SOUTH ELEVATION



MATTHEW CHENG ARCHITECT INC.
 1000 WALKER AVE. SUITE 100
 RICHMOND, B.C. V6X 1K7
 TEL: 604-273-1111
 FAX: 604-273-1112
 WWW.MATTHEWCHENGARCHITECT.COM

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DATE: 06/20/2009
 DRAWN BY: MCHENG
 CHECKED BY: MCHENG
 PROJECT NO: 09-463340-01

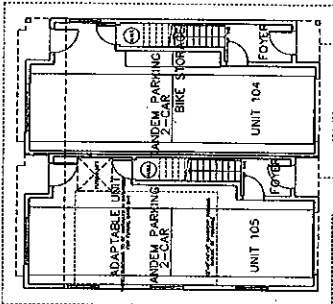
NO DATE Revision

COMMENTS

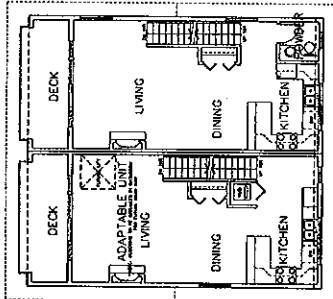
Project Title
5-UNIT TOWNHOUSE DEVELOPMENT
 7531 No. 4 ROAD
 RICHMOND, B.C.

Sheet Title
ELEVATIONS

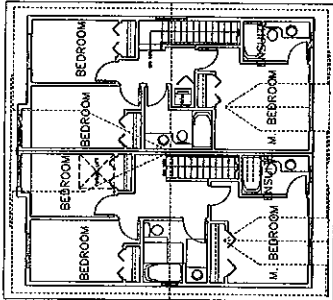
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Checked: MC	Print Date: MAR 25, 2009
Scale: 1/8" = 1'-0"	Draw No: #4
Project Number:	



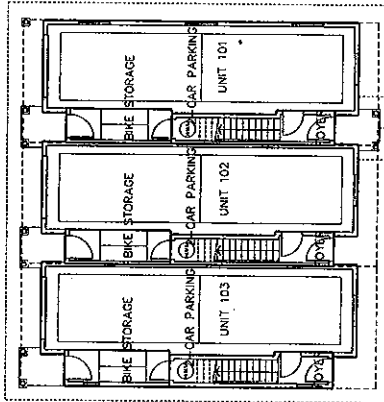
GROUND FLOOR PLAN
BUILDING B



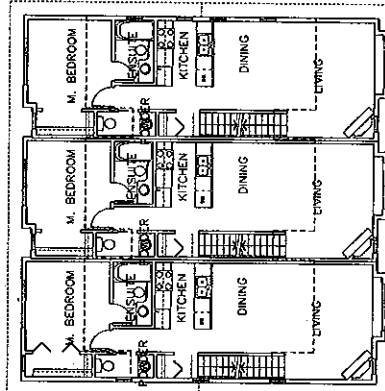
SECOND FLOOR PLAN
BUILDING B



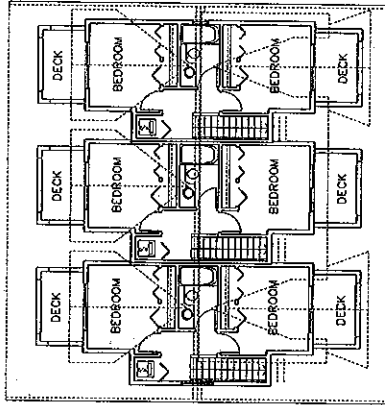
THIRD FLOOR PLAN
BUILDING B



GROUND FLOOR PLAN
BUILDING A



SECOND FLOOR PLAN
BUILDING A



THIRD FLOOR PLAN
BUILDING A

- * BLOCKING TO BE PROVIDED IN ALL BATHROOM FOR GRAB BARS. PLEASE REFER TO #6.
- * LEVER HANDLE TO BE USED FOR ALL DOORS
- * LEVER FAUCET TO BE USED IN ALL BATHROOM AND POWDER ROOMS

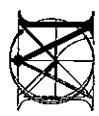
DP09 463340
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Checked	MC	Print Date	AUG 25, 2009
Scale	1/8" = 1'-0"	Drawn By	
Project Number			

Sheet Title: FLOOR PLANS
Project Title: 5-UNIT TOWNHOUSE DEVELOPMENT
7531 No. 4 ROAD RICHMOND, B.C.

No. Date: Revision
01 08/25/2009
02 08/25/2009
03 08/25/2009

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MATTHEW CHENG ARCHITECT INC.
1100-1100 BROADVIEW AVENUE
VANCOUVER, BC V6A 3R1
TEL: (604) 681-1100
FAX: (604) 681-1101
WWW.MATTHEWCHENGARCHITECT.COM



**MATTHEW CHENG
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100-1000 FINE LINE AVENUE
SUITE 1000, VANCOUVER, BC V6P 1G1
TEL: (604) 681-1111
WWW.MATTHEWCHENGARCHITECT.COM

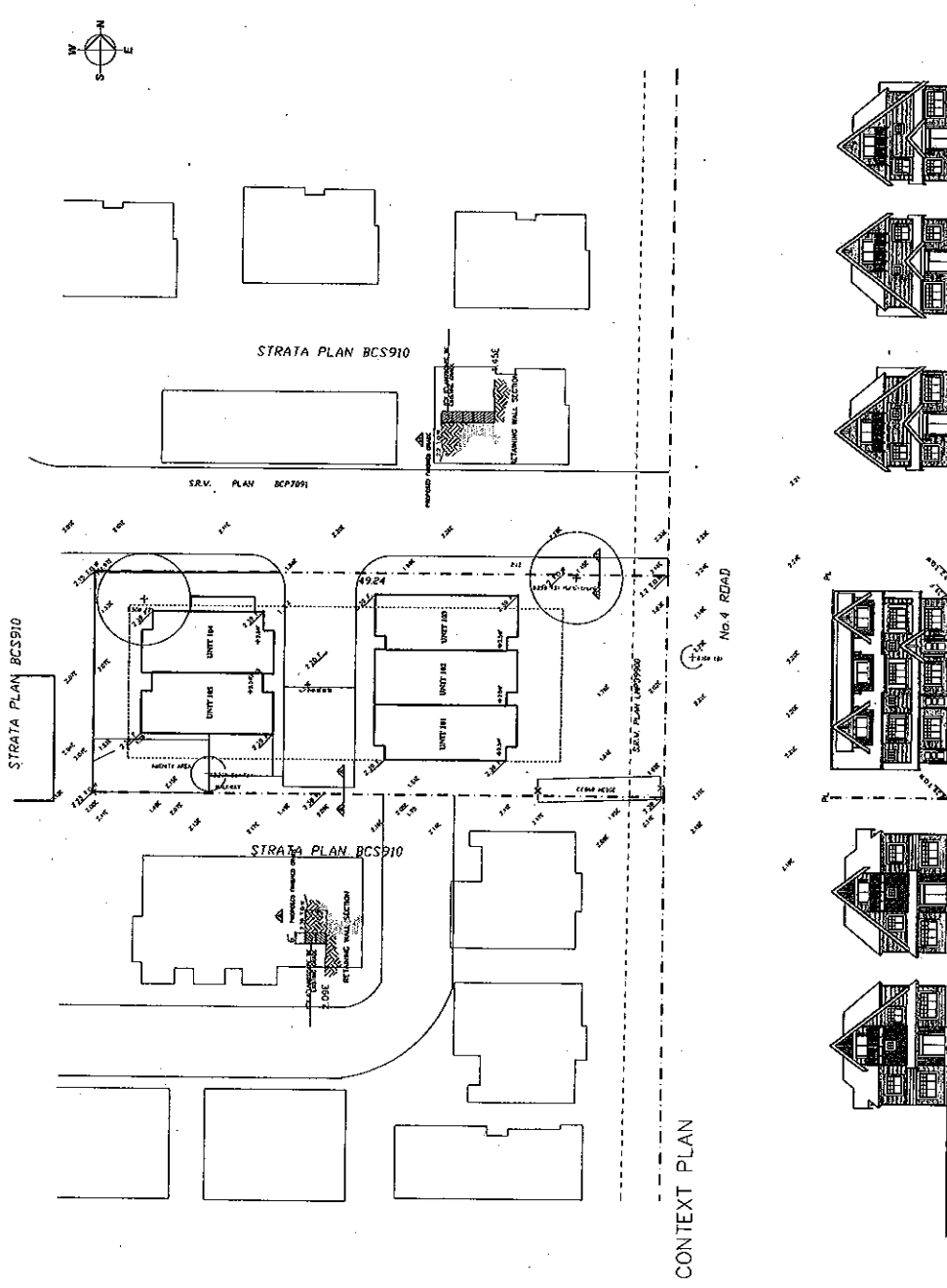
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Project No. 2009-04-001
Date: 08/27/2009
Scale: 1/8" = 1'-0"

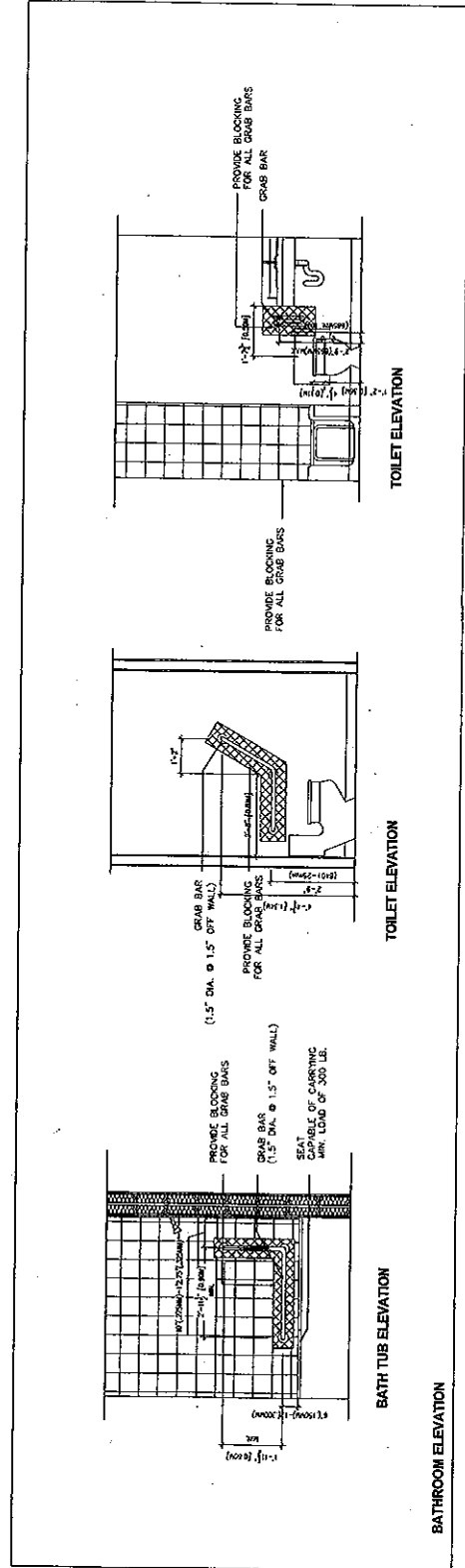
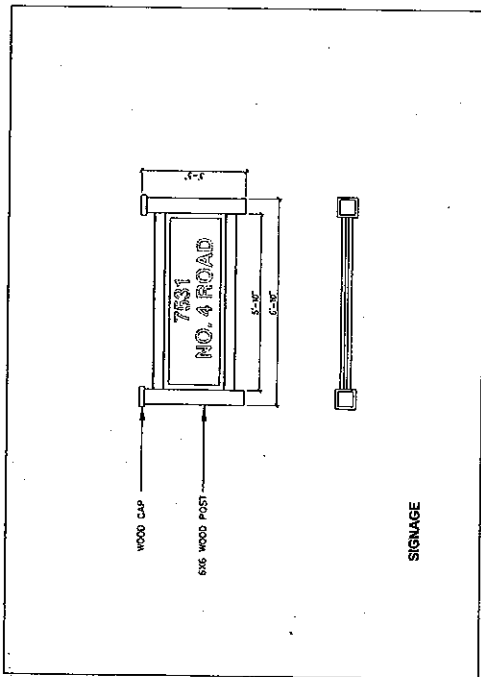
Project Title
**5-UNIT TOWNHOUSE
DEVELOPMENT
7531 NO. 4 ROAD
RICHMOND, B.C.**

Sheet Title
**GRADING PLAN &
SITE ELEVATION**

Author	MC	Scale	1/8" = 1'-0"
Checked	MC	Date	08/27/2009
Drawn	MC	Project Number	2009-04-001
Client	N/A	Revision Date	08/27/2009
Project Name		Print Date	08/27/2009



DP09 463340
REFERENCE PLAN



REFERENCE PLAN
 DP 09 463340

Drawn By	MC	Scale	1/4" = 1'-0"
Checked By	MC	Project No.	09 463340
Scale	N/A	Issue Date	AUG 18, 2009
Project Number		Issue Date	AUG 18, 2009

Project Title
 S-UNIT TOWNHOUSE
 DEVELOPMENT
 7531 NO. 4 ROAD
 RICHMOND, B.C.

Sheet Title
 SITE PLAN

Revised By
 05/17/2009
 05/17/2009
 05/17/2009

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MATTHEW CHENG ARCHITECT INC.
 1100 WEST 10TH AVENUE
 VANCOUVER, BC V6H 2T6
 TEL: 604-681-7100
 FAX: 604-681-7101

