



To: Planning Committee

To Planning - Sep 16, 2008
Date: September 3, 2008

From: Brian Jackson
Director, Development Applications

RZ 07-396695

Re: Application by Townline Ventures 15 Limited for Rezoning at 7660 Acheson Road from Single-Family Housing District, Subdivision Area (R1E/) to Comprehensive Development District (CD/28)

File: 12-8060-20-8423

Staff Recommendation

That Bylaw No. 8423, for the rezoning of 7660 Acheson Road from "Single-Family Housing District, Subdivision Area (R1/E)" to "Comprehensive Development District (CD/28)", be introduced and given first reading.

Brian Jackson
Director of Development

BJ:tcb

Att. 5

FOR ORIGINATING DEPARTMENT USE ONLY		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Real Estate Services	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	

Staff Report

Origin

Townline Ventures 15 Limited has applied to the City of Richmond for permission to rezone 7660 Acheson Road (**Attachment 1**) from Single-Family Housing District, Subdivision Area E (R1/E) to Comprehensive Development District (CD/28) in order to develop two front-to-back duplexes with a shared central driveway (**Attachment 2**).

Findings of Fact

A Development Application Data Sheet (**See Attachment 3.**) providing details about the development proposal is attached.

Surrounding Development

To the North: Zoning - CD/28 & R1/A	Existing Development - Single-Family Dwelling
To the East: Zoning - R1/E	Existing Development - Single-Family Dwelling
To the South: Zoning - R3	Existing Development - Townhouse (Two Storeys)
To the West: Zoning - R1/E	Existing Development - Single-Family Dwelling

Related Policies & Studies

Official Community Plan (OCP) -City Centre Area: Acheson Bennett Sub-Area Plan

The *Acheson Bennett Land Use Map* is attached (See **Attachment 4**). The site is designated for low to medium density with a maximum floor area ratio of 0.7 (F.A.R.). The maximum height is 2½ storeys.

This residential neighbourhood is bounded by Brighthouse Park, Minoru Boulevard, No. 3 Road and Acheson Road. The proposed land use is in compliance with the Official Community Plan Land Use designation "Residential" in the City Centre Area Plan. Relevant Area Plan Goals include:

- To encourage the development of a low to medium density residential area;
- To encourage a variety of housing types with a single-family neighbourhood character;
- To encourage a positive street frontage including sloped roofs, landscaped front yards, prominent front doors, residential fenestration and ample space between buildings; and,
- To encourage the planting of front yards and boulevards to enhance the "Garden City" image.

The main building types in this area are older single family homes and low-density townhouses.

City Centre Area Plan Update

The Acheson Bennett Sub-Area Plan falls within the revised CCAP's General Urban (T4) Transect. Densities and heights remain within the current limits.

Staff Comments

General Technical Issues:

- The Applicant (Townline Ventures 15 Ltd.) has applied to rezone and subdivide the parcel into two lots in order to develop two front-to-back duplexes (four units total), with a shared central driveway, responding to the form and character guidelines of the *OCP-City Centre Acheson Bennett Sub-Area Plan*.

- A preliminary site plan, streetscape elevation, architectural drawings and landscape plan are enclosed for reference (**Attachment 2**).
- All of the general technical concerns have been addressed and commitments agreed to through the Rezoning Considerations Concurrence (**Attachment 5**).
- Accessibility, adaptability and aging in place have been addressed throughout with an enhanced level of adaptability in the front units of each duplex.
- No significant concerns have been identified through the technical review.

Density and Form

The form of development is similar to the new townhouses previously approved at 7562/7566 Acheson Road.

- The proposed density increase is accommodated on the site without compromising the appropriate building height for the area or site (2½ - 3 storeys) and coverage (45% permitted, proposed at 44.7%).
- The proposed site layout provides for an attractive pedestrian oriented townhouse elevation fronting Acheson Road, which is consistent with the guidelines for the Acheson Bennett Sub-Area.
- Design Guidelines are fulfilled through the varied building mass and elevations (bay windows, hipped roofs columned entry porches), varied fenestration (subtle mullion variations) and muted, natural colour palette.

Tree Preservation

A Tree Survey and a Landscape Architect/Arborist's report have been submitted by the applicant. The site currently has 2 bylaw-sized trees on site. The Landscape Architect/Arborist's report indicates that only one (1) of the trees is viable for retention.

- A preliminary landscape plan has been prepared which proposes retention of the viable existing tree, and planting a total of six (6) specimen trees (e.g., Serbian Spruce, Maples, Magnolia). Additional small and medium-size shrubs, predominantly broad-leaved evergreens (e.g., Rhododendrons, Boxwood, Privet), will also be planted.
- The landscape plan will be further assessed with the review of the Development Permit. In order to ensure that this work is undertaken, the applicant will be required to provide a landscape security with the Development Permit.
- The boulevard street trees are secured through the Neighbourhood Improvement Charges, required as a condition of the rezoning.

Utility Services:

A storm and sanitary analysis has been reviewed and accepted by the City's Engineering Department:

- No upgrades are required.
- NIC charges will be collected at subdivision for frontage works. The Applicant is required to pay School Site Assignment Charges, Address Assignment Fees, Greater Vancouver Sewage & Drainage District Development Cost Charges, and servicing costs.
- A cross-access easement for the shared driveway access will also be secured at the Subdivision stage.

Flood Management

In accordance with the *Flood Protection Management Strategy*, registration of a Flood Indemnity Covenant will be required prior to Rezoning adoption.

Affordable Housing

Council approved the "Richmond Affordable Housing Strategy" on May 28, 2007.

- A cash contribution of \$1.00 per buildable square foot (e.g., \$5,662.00) towards the City's Affordable Housing Reserve will be made. This rate is proposed as the development is not multi-family, but a duplex on each subdivided lot.

Accessibility/Aging In Place

- The applicant has proposed units that include substantial living areas at the ground floor.
- Accessible features will be provided to all units (e.g., inclusion of blocking to bathrooms for installation of grab-bars, and provision of lever door handles.)
- In addition, the front units of each duplex will have the base level of accessible features described above, and also, widened doors, stairs and corridors throughout, and blocking/electrical installed for a future stairlift.
- As an additional measure to address this growing need, Townline Ventures has implemented a policy to custom-design a unit should an enhanced level of accessibility and features be required by a prospective purchaser.
- Accessible features will be fully detailed on Building Permit Drawings.

Indoor/Outdoor Amenity

No common shared Indoor/Outdoor Amenity Space is required for this development, but each unit will have access to private outdoor space.

AnalysisDevelopment Variances

The proposed CD/28 Zone does not contain provisions to enable projections (e.g., roof overhangs, porches, bay-windows) into required setbacks. Variances will be required at the Development Permit Stage to enable minor projections to maintain the desired form and character encouraged by the *OCP-Acheson Bennett Sub-Area Plan*. Variances to be requested include:

- 0.9 m building projections into the front yard setback to accommodate front porticos and bay windows;
- 0.6 m bay window projections into the rear yard setback

Note: Staff support all requested variances but will be further evaluating them as part of the Development Permit Submission.

Voluntary Contributions

The Developer has declined a voluntary contribution to the Public Art or the City's Child Care Fund due to the marginal feasibility of developing at this location.

Financial Impact or Economic Impact

None

Conclusion

Technical requirements associated with the proposed rezoning application have been satisfactorily addressed. The proposed use is consistent with the current OCP – City Centre Acheson-Bennett Sub-Area Plan, and the form of development responds to policies and guidelines regarding height, mass, character and vehicle access. The proposed development conforms to the City’s Affordable Housing Strategy as a cash contribution to the Affordable Housing Reserve is being provided. For these reasons, staff recommend support for this rezoning application.



Terence Brunette
Planner

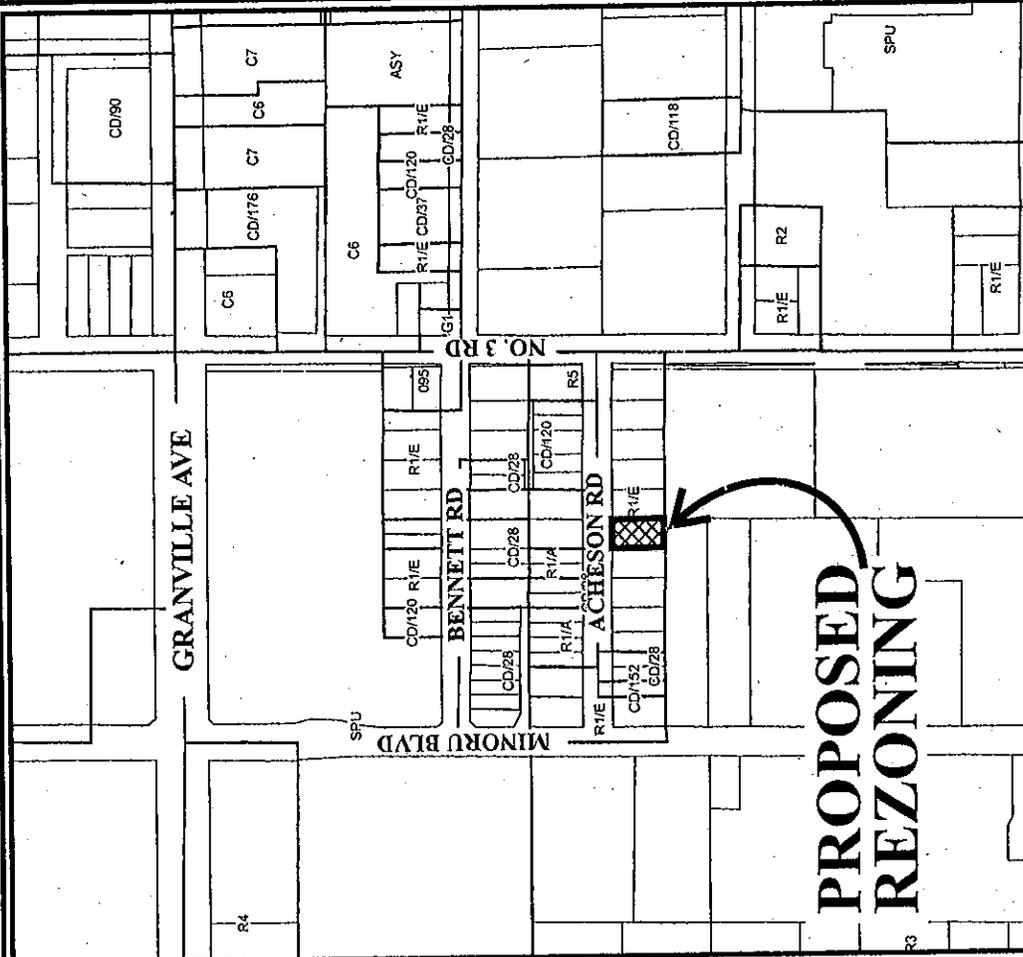
TCB:cas

Attachments

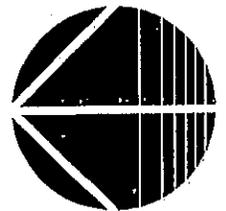
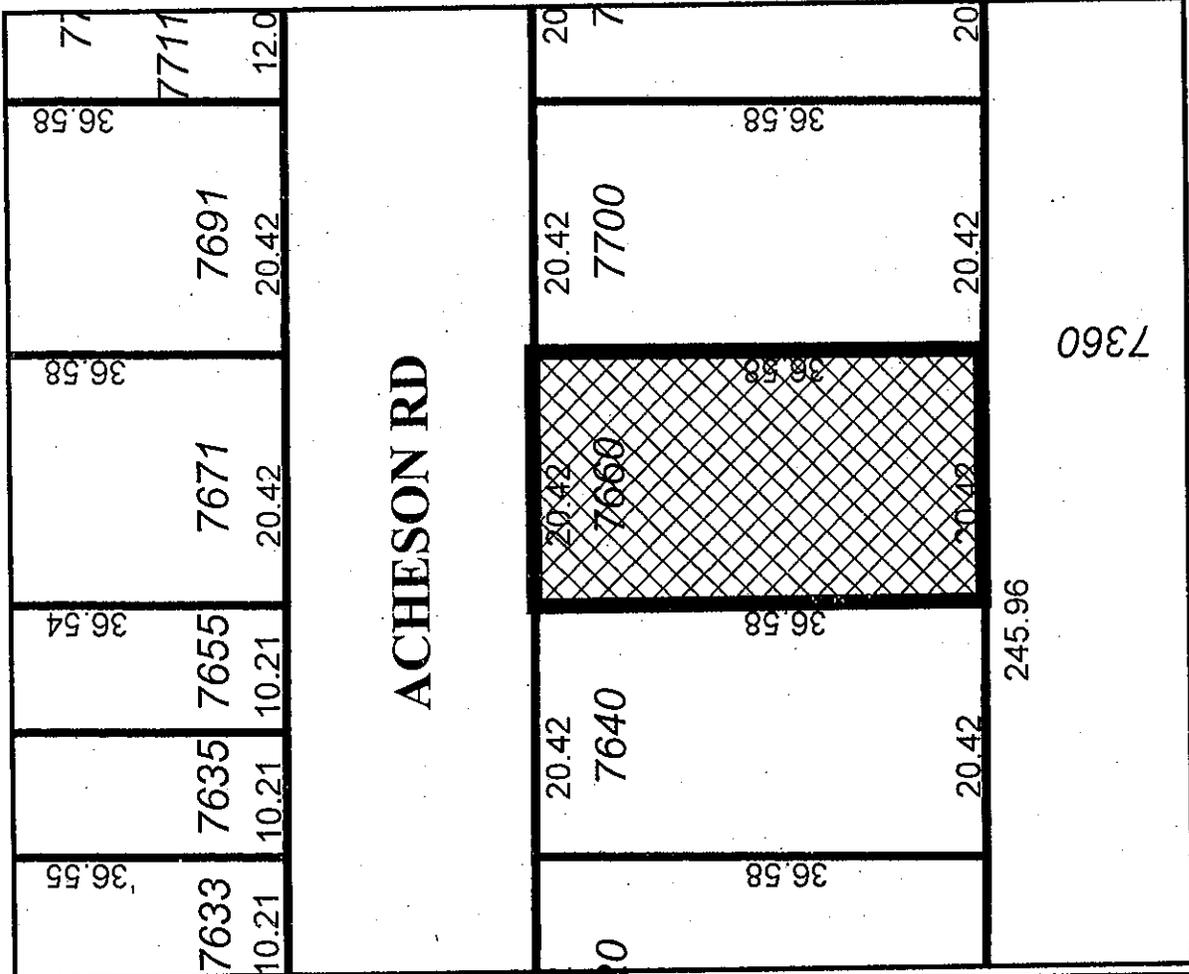
- Attachment 1: Location Map and Aerial Photograph
- Attachment 2: Conceptual Development Plans
- Attachment 3: Development Application Data Sheet
- Attachment 4: Acheson Bennett Land Use Map
- Attachment 5: Rezoning Considerations Concurrence



City of Richmond



PROPOSED REZONING



RZ 07-396695

Original Date: 01/09/08

Revision Date:

Note: Dimensions are in METRES



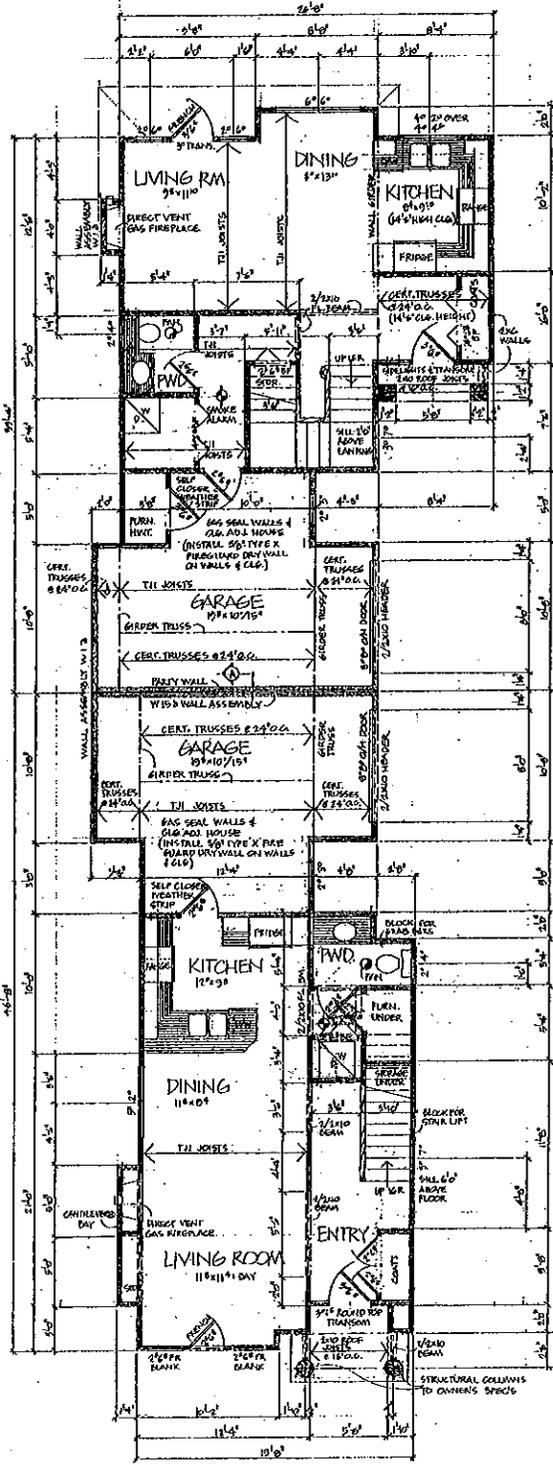
RZ 07-396695

Original Date: 01/09/08

Amended Date:

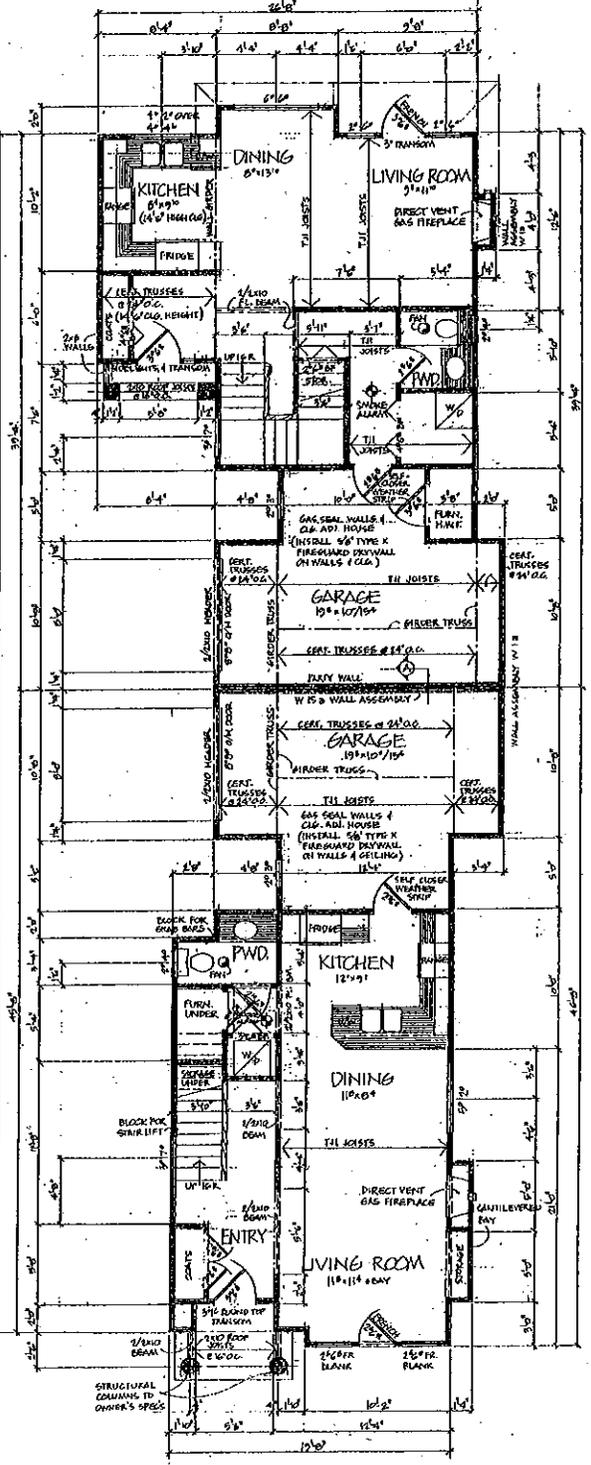
Note: Dimensions are in METRES

UNIT B MAIN FLOOR PLAN FIN. FLOOR AREA 580⁺
 GARAGE AREA 290⁺
 COVERED AREA 20⁺
 TOTAL SITE COV. 890⁺



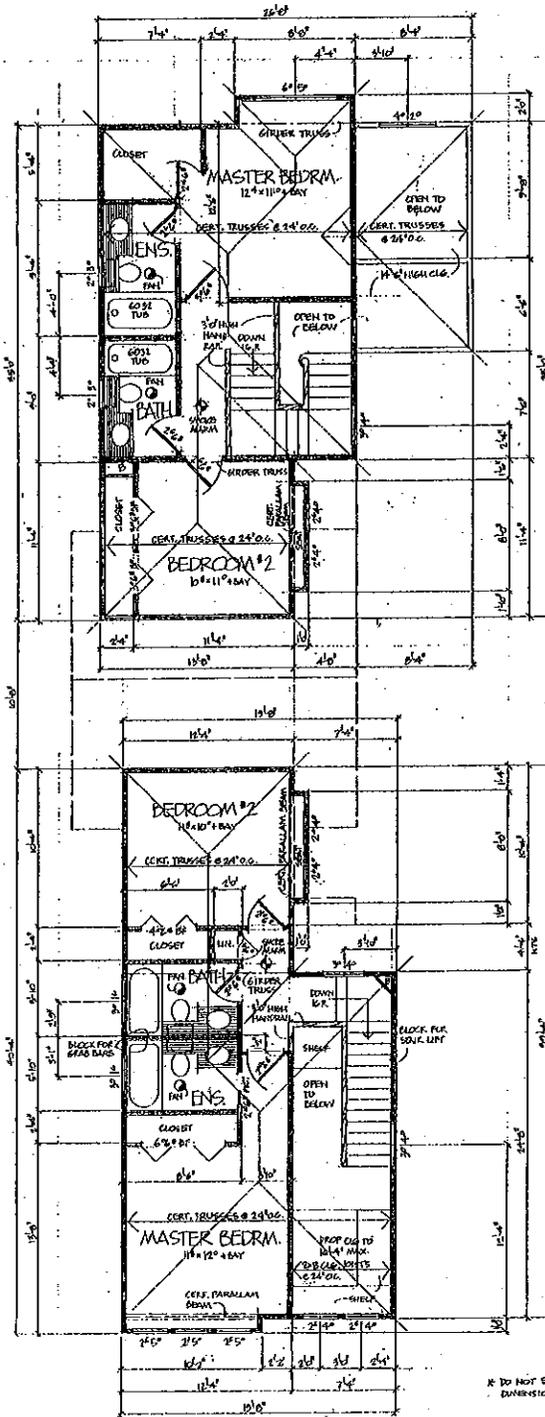
UNIT A MAIN FLOOR PLAN FIN. FLOOR AREA 582⁺
 GARAGE AREA 283⁺
 COVERED AREA 30⁺
 TOTAL SITE COV. 903⁺

UNIT B (REVERSED) MAIN FLOOR PLAN FIN. FLOOR AREA 580⁺
 GARAGE AREA 290⁺
 COVERED AREA 20⁺
 TOTAL SITE COV. 890⁺



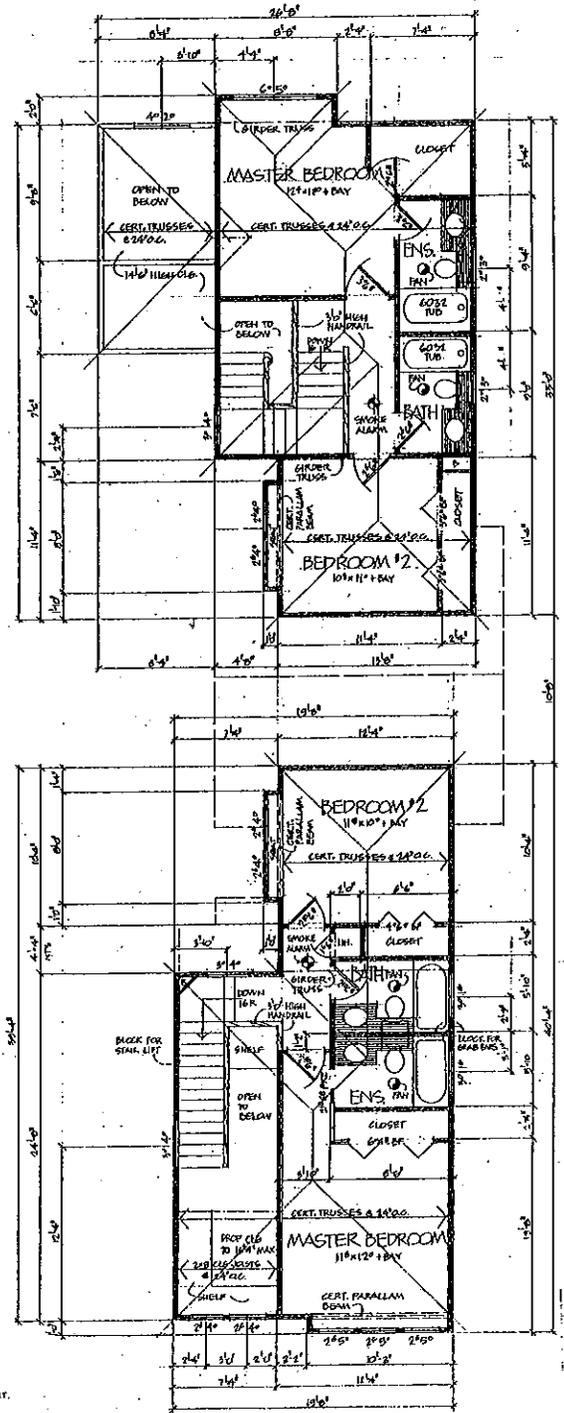
UNIT A (REVERSED) MAIN FLOOR PLAN FIN. FLOOR AREA 582⁺
 GARAGE AREA 283⁺
 COVERED AREA 30⁺
 TOTAL SITE COV. 903⁺

UNIT B: UPPER FLOOR PLAN TOTAL AREA: 741⁺
 LESS STAIRS... (-87⁺)
 LESS CLG. CSM... (-192⁺)
 CALCULATED... 512⁺



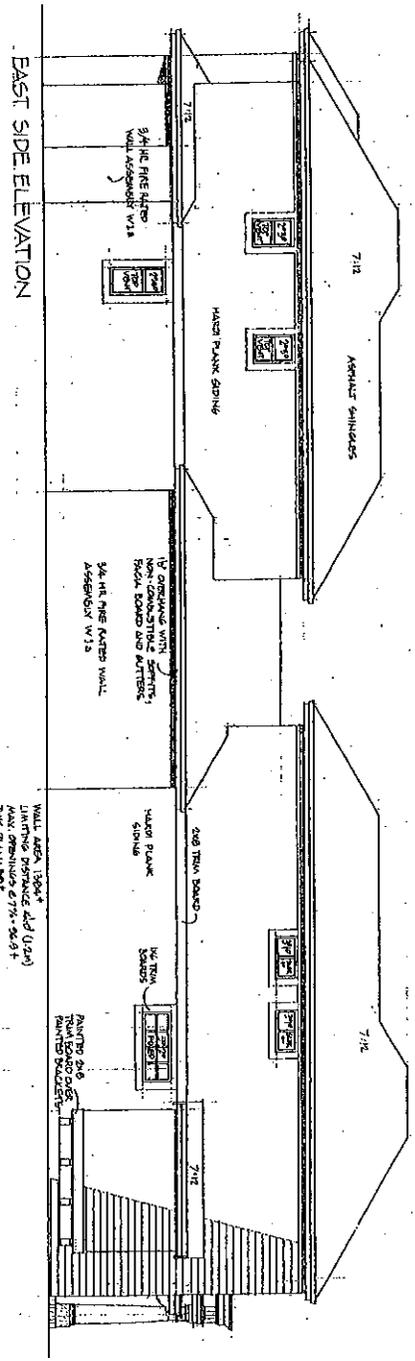
UNIT A: UPPER FLOOR PLAN TOTAL AREA: 676⁺
 SCALE 1/4\"/>

UNIT B (REVERSED) UPPER FLOOR PLAN TOTAL AREA: 741⁺
 LESS STAIRS... (-87⁺)
 LESS CLG. CSM... (-192⁺)
 CALCULATED... 512⁺

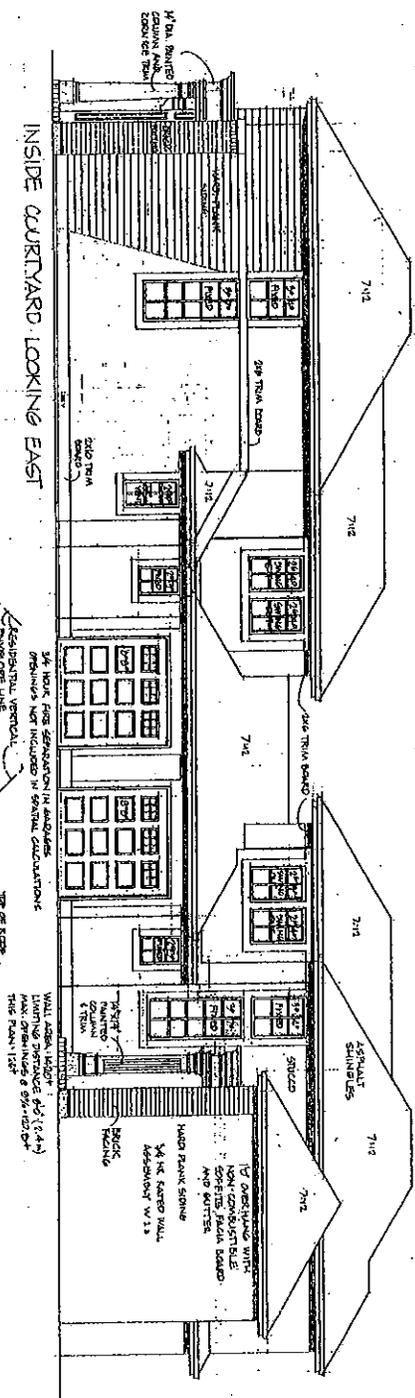


UNIT A (REVERSED) UPPER FLOOR PLAN TOTAL AREA: 676⁺
 SCALE 1/4\"/>

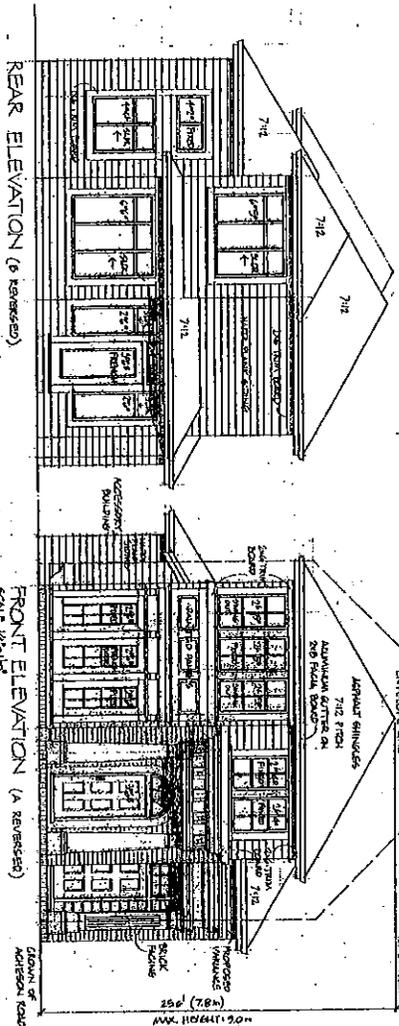
* TO NOT SCALE DRAWINGS.
 DIMENSIONS TAKE PRECEDENT.



EAST SIDE ELEVATION



INSIDE COURTYARD LOOKING EAST



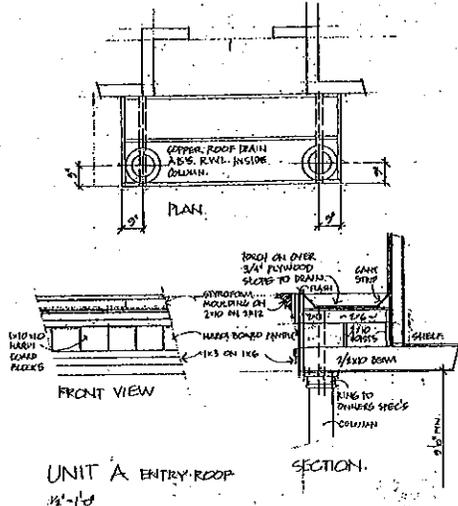
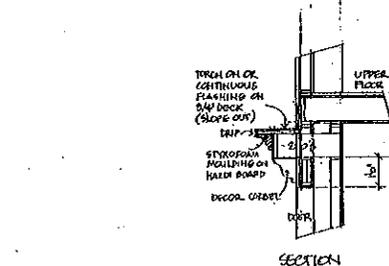
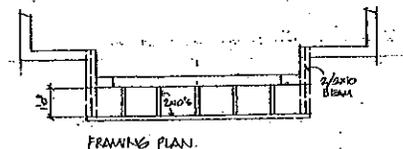
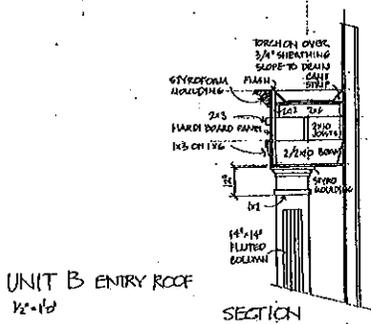
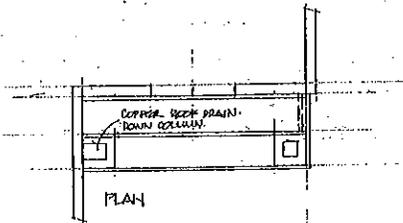
REAR ELEVATION (6 REVERSED)

FRONT ELEVATION (A REVERSED)

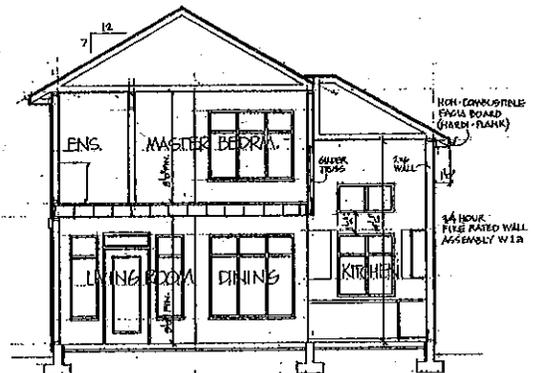
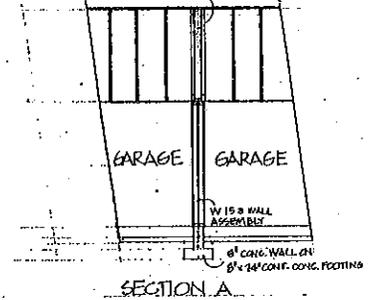
SCALE 1/2\"/>

DOWN ON ADJACENT ROAD

- FINISH SCHEDULE**
- ROOF: LAMINATED ASPHALT SHINGLES
 - WALLS: LAMINATED ASPHALT SHINGLES
 - WINDOWS: WOOD OR ALUMINUM, COLOR
 - DOORS: ALUMINUM BLEND WITH WHITE ACENTRA
 - MATCH PLANK SIDING: WOOD REPRODUCE
 - PAINTED TRIM: OFF WHITE LONKAT
 - PAINTED DOORS: BLACK W/BLACK W/BLACK GREEN LONKAT
 - PAINTED WINDOWS: BLACK W/BLACK W/BLACK GREEN LONKAT
 - BLACK ALUMINUM FOR CEILING TRIM



W/4 WALL ASSEMBLY
1 LAYER 5/8" TYPE 'X'
FIRE-RATED DRYWALL ON
EACH SIDE OF
2x4 STUD WALL
(PARTY WALL ONLY)



Roof:
Apply shingles on
1/2" plywood sheathing with "R" clips on
cut trusses @ 24" o.c. with
min. R10 insulation on
6 mil poly vapor barrier on
5/8" drywall (typical)

Exterior Walls:
Hardi-plank siding or brick facing applied
using approved nailing schedule
on building paper on
1/2" plywood sheathing on
2x4 studs @ 16" o.c. with
min. R-14 insulation batts on
6 mil poly vapor barrier on
5/8" drywall (typical)

Interior Walls:
2x4 studs @ 16" o.c. with
5/8" drywall both sides (typical)

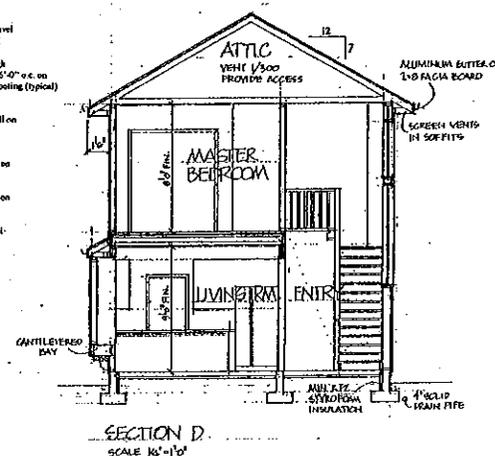
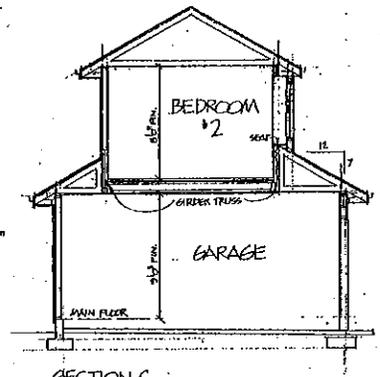
Upper Floor:
Finished floor on 1 1/2" concrete topping on
3/8" T & D plywood subfloor on
12" joists @ 16" o.c. with
Minimum R-12 Insulation batts
on 5/8" drywall (typical)

Main Floor:
Finished floor on
1 1/2" concrete slab with
6"x6" w. mesh on
6 mil poly vapor barrier on
Minimum R-12 Insulation batts on
min. 3" compacted sand or gravel

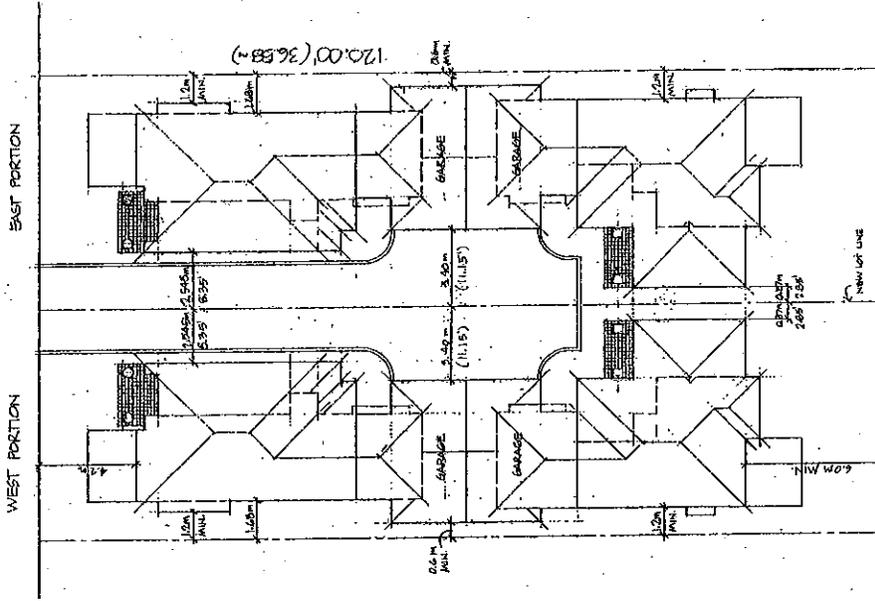
Garage Slab:
1 1/2" concrete slab with
6"x6" w. mesh on
6 mil poly vapor barrier on
min. 3" compacted sand or gravel

Foundation:
6" concrete with min. 18" high
with 1/2" dia. anchor bolts @ 6'-0" o.c. on
8"x24" continuous concrete footing (typical)

Party Walls:
5/8" type "X" fire-rated drywall on
sawed decking board on
6 mil poly vapor barrier on
2x4 studs @ 16" o.c. with
minimum R-14 insulation batts on
1" air space on
2x4 studs @ 16" o.c. with
minimum R-14 insulation batts on
6 mil poly vapor barrier on
sawed decking board on
5/8" type "X" fire-rated drywall.



ACHESON ROAD



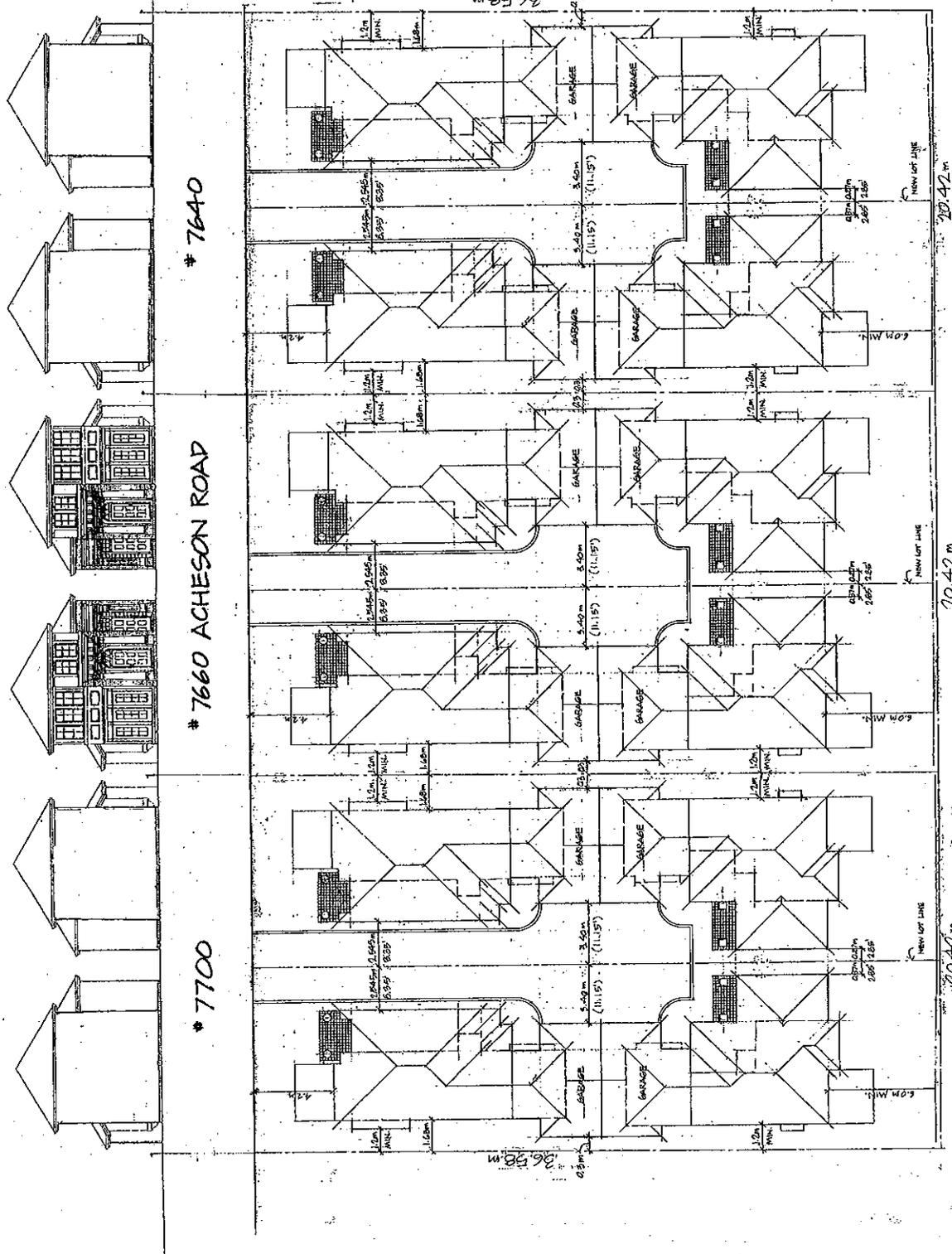
PARKING ANALYSIS FOR EACH LOT
 PARKING REQUIRED PER CD/28 ZONE
 PARKING REQUIRED @ 1 SPACE PER UNIT
 X1/2 UNITS = 2 SPACES
 VISITOR PARKING REQUIRED @ 0.2 SPACES PER UNIT
 X4 UNITS = 0.8 SPACES
 PARKING PROVIDED
 1 CAR GARAGE PER UNIT = 2 SPACES
 NO VISITOR PARKING PROVIDED

SITE PLAN
 SCALE 1/8"=1' (1:96)

PARKING PLAN

Redevelopment Scenarios

Parcel No.	Subject Property	1990 Address	1990 Lot Area
767	1867 Acheson	1867	717
768	1869 Acheson	1869	717
769	1871 Acheson	1871	717
770	1873 Acheson	1873	717
771	1875 Acheson	1875	717
772	1877 Acheson	1877	717
773	1879 Acheson	1879	717
774	1881 Acheson	1881	717
775	1883 Acheson	1883	717
776	1885 Acheson	1885	717
777	1887 Acheson	1887	717
778	1889 Acheson	1889	717
779	1891 Acheson	1891	717
780	1893 Acheson	1893	717
781	1895 Acheson	1895	717
782	1897 Acheson	1897	717
783	1899 Acheson	1899	717
784	1901 Acheson	1901	717
785	1903 Acheson	1903	717
786	1905 Acheson	1905	717
787	1907 Acheson	1907	717
788	1909 Acheson	1909	717
789	1911 Acheson	1911	717
790	1913 Acheson	1913	717
791	1915 Acheson	1915	717
792	1917 Acheson	1917	717
793	1919 Acheson	1919	717
794	1921 Acheson	1921	717
795	1923 Acheson	1923	717
796	1925 Acheson	1925	717
797	1927 Acheson	1927	717
798	1929 Acheson	1929	717
799	1931 Acheson	1931	717
800	1933 Acheson	1933	717
801	1935 Acheson	1935	717
802	1937 Acheson	1937	717
803	1939 Acheson	1939	717
804	1941 Acheson	1941	717
805	1943 Acheson	1943	717
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807	1947 Acheson	1947	717
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810	1953 Acheson	1953	717
811	1955 Acheson	1955	717
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813	1959 Acheson	1959	717
814	1961 Acheson	1961	717
815	1963 Acheson	1963	717
816	1965 Acheson	1965	717
817	1967 Acheson	1967	717
818	1969 Acheson	1969	717
819	1971 Acheson	1971	717
820	1973 Acheson	1973	717
821	1975 Acheson	1975	717
822	1977 Acheson	1977	717
823	1979 Acheson	1979	717
824	1981 Acheson	1981	717
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827	1987 Acheson	1987	717
828	1989 Acheson	1989	717
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831	1995 Acheson	1995	717
832	1997 Acheson	1997	717
833	1999 Acheson	1999	717
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835	2003 Acheson	2003	717
836	2005 Acheson	2005	717
837	2007 Acheson	2007	717
838	2009 Acheson	2009	717
839	2011 Acheson	2011	717
840	2013 Acheson	2013	717
841	2015 Acheson	2015	717
842	2017 Acheson	2017	717
843	2019 Acheson	2019	717
844	2021 Acheson	2021	717
845	2023 Acheson	2023	717
846	2025 Acheson	2025	717
847	2027 Acheson	2027	717
848	2029 Acheson	2029	717
849	2031 Acheson	2031	717
850	2033 Acheson	2033	717
851	2035 Acheson	2035	717
852	2037 Acheson	2037	717
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855	2043 Acheson	2043	717
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857	2047 Acheson	2047	717
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860	2053 Acheson	2053	717
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863	2059 Acheson	2059	717
864	2061 Acheson	2061	717
865	2063 Acheson	2063	717
866	2065 Acheson	2065	717
867	2067 Acheson	2067	717
868	2069 Acheson	2069	717
869	2071 Acheson	2071	717
870	2073 Acheson	2073	717
871	2075 Acheson	2075	717
872	2077 Acheson	2077	717
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874	2081 Acheson	2081	717
875	2083 Acheson	2083	717
876	2085 Acheson	2085	717
877	2087 Acheson	2087	717
878	2089 Acheson	2089	717
879	2091 Acheson	2091	717
880	2093 Acheson	2093	717
881	2095 Acheson	2095	717
882	2097 Acheson	2097	717
883	2099 Acheson	2099	717
884	2101 Acheson	2101	717
885	2103 Acheson	2103	717
886	2105 Acheson	2105	717
887	2107 Acheson	2107	717
888	2109 Acheson	2109	717
889	2111 Acheson	2111	717
890	2113 Acheson	2113	717
891	2115 Acheson	2115	717
892	2117 Acheson	2117	717
893	2119 Acheson	2119	717
894	2121 Acheson	2121	717
895	2123 Acheson	2123	717
896	2125 Acheson	2125	717
897	2127 Acheson	2127	717
898	2129 Acheson	2129	717
899	2131 Acheson	2131	717
900	2133 Acheson	2133	717
901	2135 Acheson	2135	717
902	2137 Acheson	2137	717
903	2139 Acheson	2139	717
904	2141 Acheson	2141	717
905	2143 Acheson	2143	717
906	2145 Acheson	2145	717
907	2147 Acheson	2147	717
908	2149 Acheson	2149	717
909	2151 Acheson	2151	717
910	2153 Acheson	2153	717
911	2155 Acheson	2155	717
912	2157 Acheson	2157	717
913	2159 Acheson	2159	717
914	2161 Acheson	2161	717
915	2163 Acheson	2163	717
916	2165 Acheson	2165	717
917	2167 Acheson	2167	717
918	2169 Acheson	2169	717
919	2171 Acheson	2171	717
920	2173 Acheson	2173	717
921	2175 Acheson	2175	717
922	2177 Acheson	2177	717
923	2179 Acheson	2179	717
924	2181 Acheson	2181	717
925	2183 Acheson	2183	717
926	2185 Acheson	2185	717
927	2187 Acheson	2187	717
928	2189 Acheson	2189	717
929	2191 Acheson	2191	717
930	2193 Acheson	2193	717
931	2195 Acheson	2195	717
932	2197 Acheson	2197	717
933	2199 Acheson	2199	717
934	2201 Acheson	2201	717
935	2203 Acheson	2203	717
936	2205 Acheson	2205	717
937	2207 Acheson	2207	717
938	2209 Acheson	2209	717
939	2211 Acheson	2211	717
940	2213 Acheson	2213	717
941	2215 Acheson	2215	717
942	2217 Acheson	2217	717
943	2219 Acheson	2219	717
944	2221 Acheson	2221	717
945	2223 Acheson	2223	717
946	2225 Acheson	2225	717
947	2227 Acheson	2227	717
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949	2231 Acheson	2231	717
950	2233 Acheson	2233	717
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953	2239 Acheson	2239	717
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960	2253 Acheson	2253	717
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985	2303 Acheson	2303	717
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997	2327 Acheson	2327	717
998	2329 Acheson	2329	717
999	2331 Acheson	2331	717
1000	2333 Acheson	2333	717



PLANT LIST

SYMBOL	PLANT NAME	HT.
1	AMERICAN BIRCH	10-12 FT.
2	AMERICAN DOGWOOD	10-12 FT.
3	AMERICAN HEMLOCK	10-12 FT.
4	AMERICAN LARCH	10-12 FT.
5	AMERICAN PINE	10-12 FT.
6	AMERICAN SPRUCE	10-12 FT.
7	AMERICAN TYPHOID FEVER FEVER	10-12 FT.
8	AMERICAN YEW	10-12 FT.
9	AMERICAN JUNIPER	10-12 FT.
10	AMERICAN CEDAR	10-12 FT.
11	AMERICAN CYPRESS	10-12 FT.
12	AMERICAN WALNUT	10-12 FT.
13	AMERICAN OAK	10-12 FT.
14	AMERICAN BEECH	10-12 FT.
15	AMERICAN Sycamore	10-12 FT.
16	AMERICAN Elm	10-12 FT.
17	AMERICAN Ash	10-12 FT.
18	AMERICAN Hickory	10-12 FT.
19	AMERICAN Magnolia	10-12 FT.
20	AMERICAN Camellia	10-12 FT.
21	AMERICAN Azalea	10-12 FT.
22	AMERICAN Rhododendron	10-12 FT.
23	AMERICAN Lilac	10-12 FT.
24	AMERICAN Spirea	10-12 FT.
25	AMERICAN Forsythia	10-12 FT.
26	AMERICAN Hydrangea	10-12 FT.
27	AMERICAN Viburnum	10-12 FT.
28	AMERICAN Dogwood	10-12 FT.
29	AMERICAN Magnolia	10-12 FT.
30	AMERICAN Camellia	10-12 FT.
31	AMERICAN Azalea	10-12 FT.
32	AMERICAN Rhododendron	10-12 FT.
33	AMERICAN Lilac	10-12 FT.
34	AMERICAN Spirea	10-12 FT.
35	AMERICAN Forsythia	10-12 FT.
36	AMERICAN Hydrangea	10-12 FT.
37	AMERICAN Viburnum	10-12 FT.
38	AMERICAN Dogwood	10-12 FT.
39	AMERICAN Magnolia	10-12 FT.
40	AMERICAN Camellia	10-12 FT.
41	AMERICAN Azalea	10-12 FT.
42	AMERICAN Rhododendron	10-12 FT.
43	AMERICAN Lilac	10-12 FT.
44	AMERICAN Spirea	10-12 FT.
45	AMERICAN Forsythia	10-12 FT.
46	AMERICAN Hydrangea	10-12 FT.
47	AMERICAN Viburnum	10-12 FT.
48	AMERICAN Dogwood	10-12 FT.
49	AMERICAN Magnolia	10-12 FT.
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54	AMERICAN Spirea	10-12 FT.
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56	AMERICAN Hydrangea	10-12 FT.
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74	AMERICAN Spirea	10-12 FT.
75	AMERICAN Forsythia	10-12 FT.
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81	AMERICAN Azalea	10-12 FT.
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92	AMERICAN Rhododendron	10-12 FT.
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94	AMERICAN Spirea	10-12 FT.
95	AMERICAN Forsythia	10-12 FT.
96	AMERICAN Hydrangea	10-12 FT.
97	AMERICAN Viburnum	10-12 FT.
98	AMERICAN Dogwood	10-12 FT.
99	AMERICAN Magnolia	10-12 FT.
100	AMERICAN Camellia	10-12 FT.

NOTES

1. ALL MATERIALS AND SPECIFICATIONS SHALL BE IN ACCORDANCE TO THE MOST RECENT EDITIONS OF THE NATIONAL LANSKAPING ASSOCIATION'S STANDARDS.

2. PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE NITA STANDARDS FOR WOODEN STOCK AND THE SOIL STANDARDS FOR CONTAINER GROWN PLANTS.

3. ALL PLANT QUANTITIES DISCREPANCIES BETWEEN PLAN AND PLANT LIST SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING BIDS.

4. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER THE DATE OF EARLY ANNUAL PERFORMANCE. SUBSTITUTIONAL PERFORMANCE SHALL OCCUR WITHIN 90 DAYS OF THE CONTRACT HAS BEEN COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

5. THE CONTRACTOR SHALL MAINTAIN ACCORDANCE TO THE LANDSCAPE STANDARDS UNTIL THE WORK IS TURNED OVER TO THE OWNER.

IMPERMEABLE AREA CALCULATION

TOTAL SITE AREA: 8040 SQ FT
 BLDG/PAVING: 5462 SQ FT (67.92%)

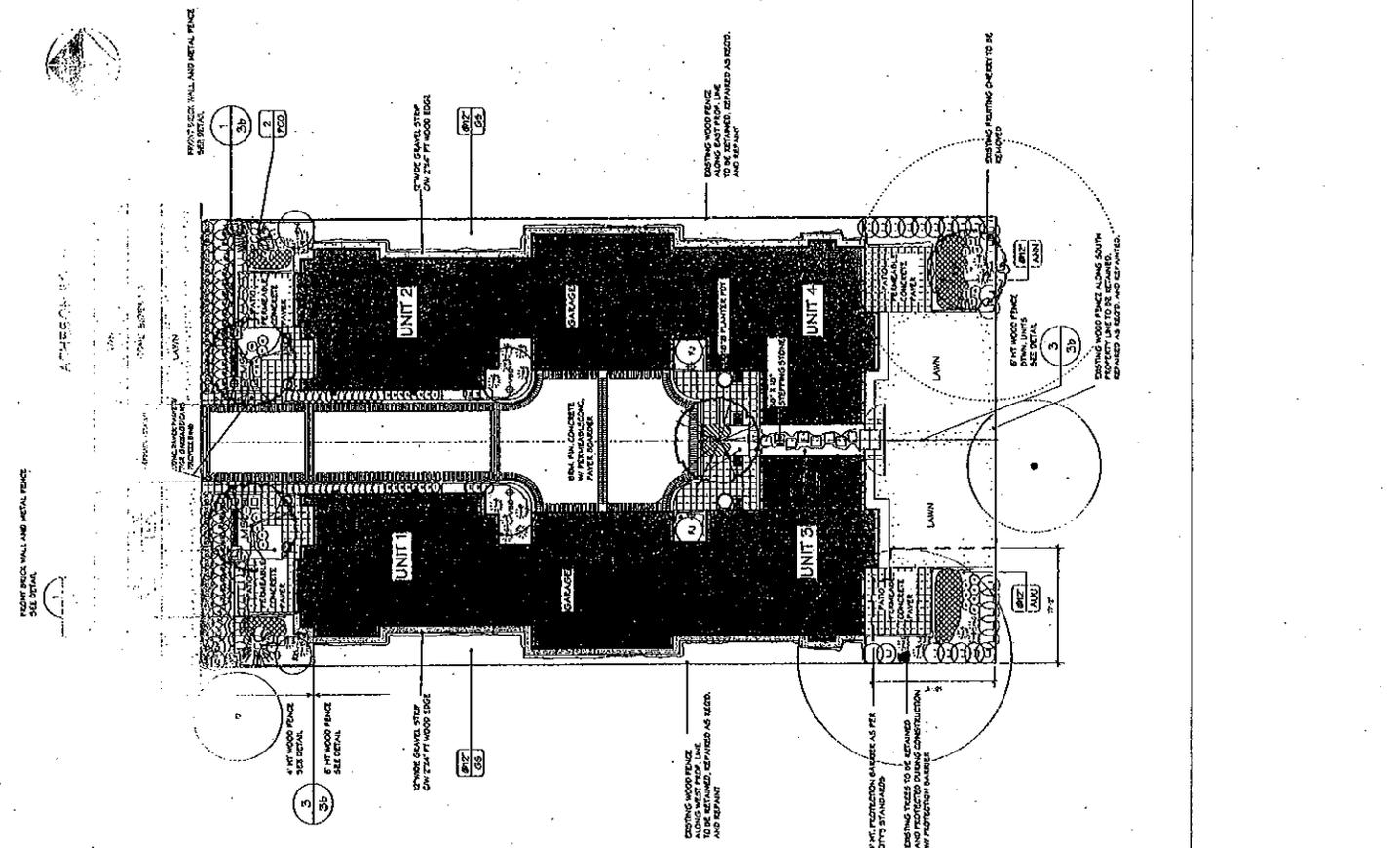
LIGHTING LEGEND

- DECORATIVE LIGHT ON BRICK WALL
- FLOOD LIGHT
- WALL MOUNT LIGHT
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED

LANDSCAPE PLAN

7680 ACHESON RD
 RICHMOND, B.C.

3a



1000 West Street
 Richmond, BC V6E 2K4
 Phone: (604) 275-2877
 Fax: (604) 275-4620
 Email: info@ito.ca



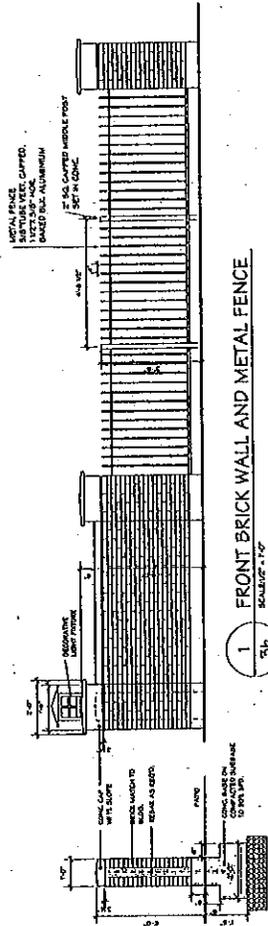
ITO ASSOCIATES
 LANDSCAPE ARCHITECTS
 1000 West Street
 Richmond, BC V6E 2K4
 Phone: (604) 275-2877
 Fax: (604) 275-4620
 Email: info@ito.ca

7660 ACHESON RD.
RICHMOND, B.C.

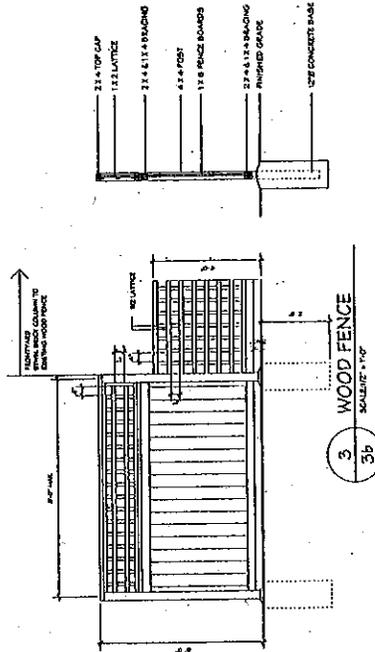
Drawing No.:
 DETAILS

Client:	1000 West Street
Project:	7660 Acheson Rd.
Date:	07/21/2018
Scale:	AS SHOWN
Sheet:	3b

3b



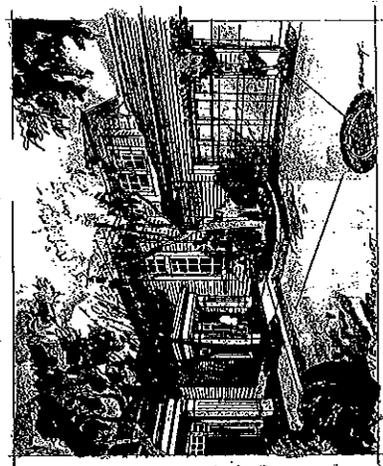
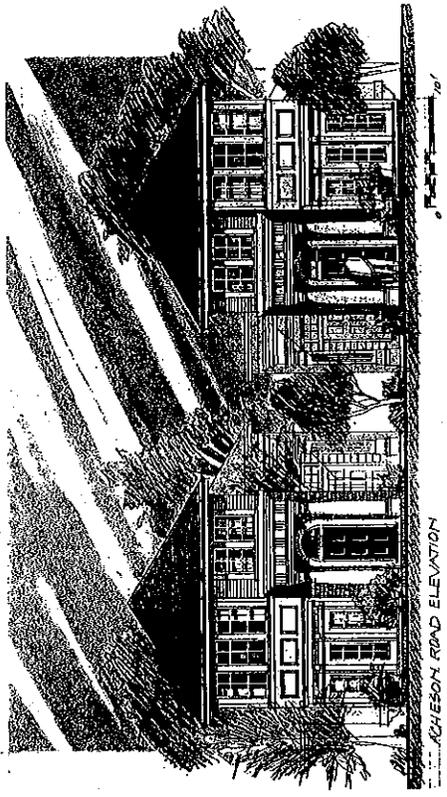
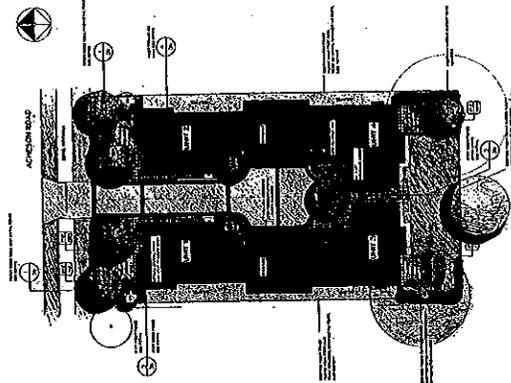
1 FRONT BRICK WALL AND METAL FENCE
SCALE: 1/4" = 1'-0"



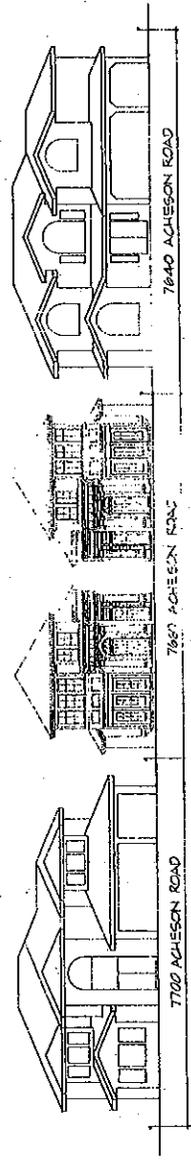
3 WOOD FENCE
SCALE: 1/4" = 1'-0"

NOTE:
 ALL WOOD USED FOR DETAILS SHALL BE TREATED WITH PRESERVATIVE TREATED RESINOUS BORING PRESERVATIVE TO PROTECT AGAINST TERMITES AND OTHER INSECTS TO BE DETERMINED AT LATER DATE.
 SUPPLY RESISTANT METAL LATCH AND HARDWARE FOR ALL GATES WHICH SHALL BE GRANITIZED.
 ALL BASES AND OTHER METAL COMPONENTS SHALL BE GRANITIZED.

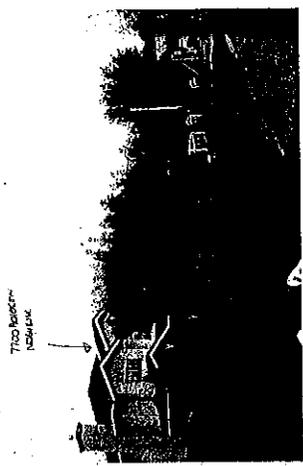
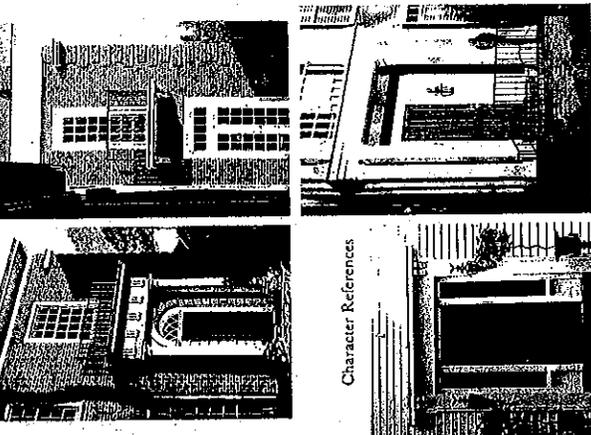
Materials	
Roof:	Asph/Flt Weathered Wood
Brick:	Alumina Blend
Hardie Panel, Horizontal Siding	Shaw-Wood, Gray HC-108
Trim:	Espresso-Gray HC-113
Doors & Railings:	Black Jels 2131-20



7660 Acheson Road
Richmond, British Columbia
For
Townline Homes



Architectural Form and Character
The proposed development is intended to preserve form and character, while reflecting the existing and surrounding context. The development will be a high-quality residential development, featuring a mix of architectural styles and materials. The design will be a blend of traditional and modern architectural styles, reflecting the character of the surrounding area. The development will be a high-quality residential development, featuring a mix of architectural styles and materials. The design will be a blend of traditional and modern architectural styles, reflecting the character of the surrounding area.





City of Richmond

6911 No. 3 Road
Richmond, BC V6Y 2C1
www.richmond.ca
604-276-4000

Development Application Data Sheet

RZ 07-396695
Attachment 3

 Address: 7660 Acheson Road – Table for Proposed East & West Subdivided Parcels

 Applicant: Townline Ventures 15 Limited

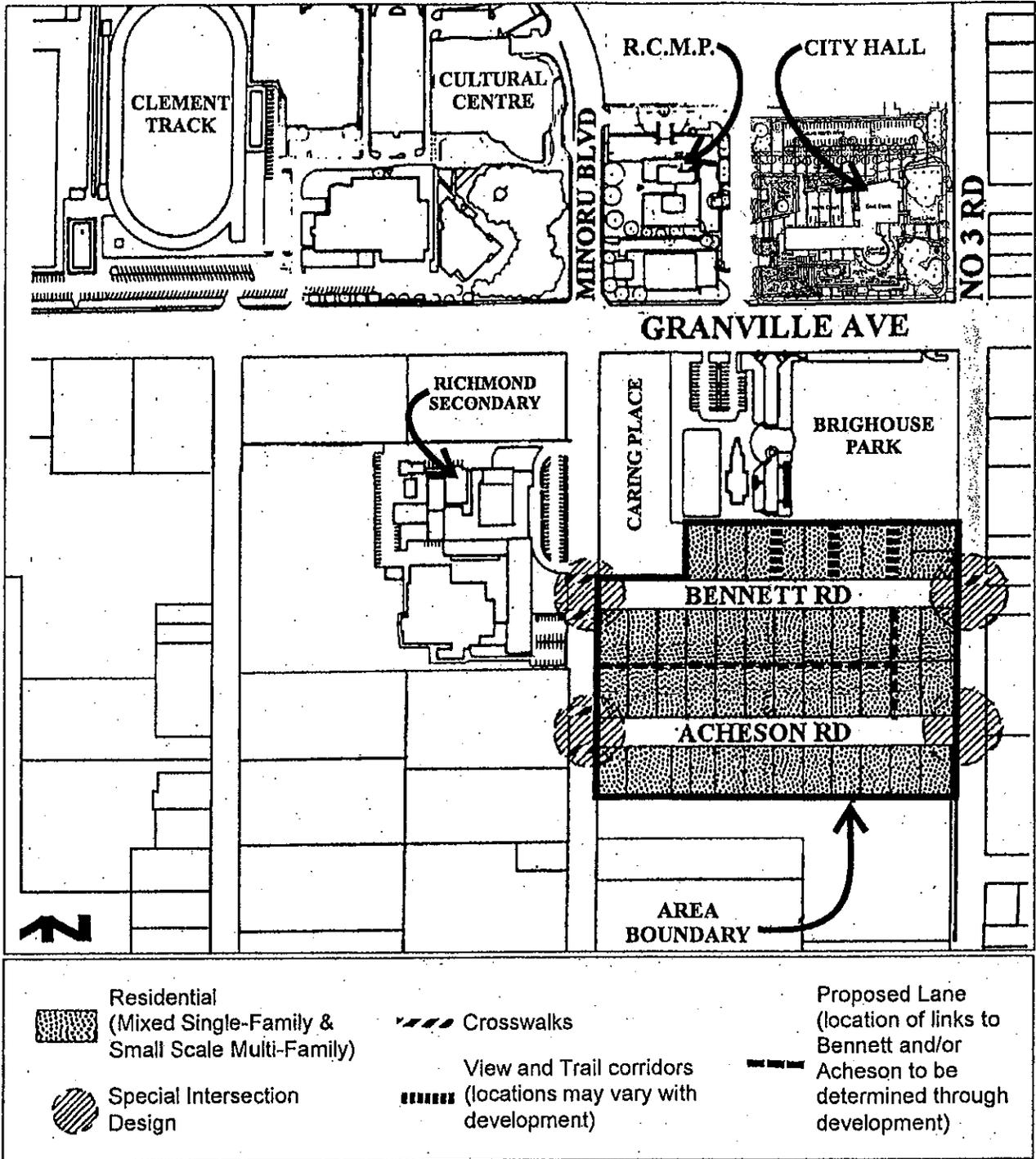
 Planning Area(s): City Centre Area - Bennett Acheson Sub-Area

	Existing	Proposed
Owner:	Townline Ventures 15 Limited	Townline Ventures 15 Limited
Site Size (m²):	746, 96 m ²	2 parcels @ 373.5 m ² each
Land Uses:	Single Family Dwelling	Duplex on Each Parcel
OCP Designation:	Neighbourhood Residential	Neighbourhood Residential
Area Plan Designation:	Mixed Single-family & Small-scale Multi-family	Mixed Single-family & Small-scale Multi-family
702 Policy Designation:	N/A	N/A
Zoning:	R1/E	CD/28
Number of Units:	1	4 (Duplex on Each Parcel)
Other Designations:	N/A	N/A

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Density (units/acre):	N/A	N/A	none permitted
Floor Area Ratio:	Max. 0.55	0.55	none permitted
Lot Coverage – Building:	Min. 45% m	44.7% m.	none
Lot Size (min. dimensions):	Min. 312 m ² to Max. 1560 m ²	373.5 m ²	none
Setback – Front Yard (m):	Min. 4.5 m	4.5 m	Yes (0.3 m Bay, 0.9m Porch)
Setback – Side Yards (m)	Min. 1.2 m/ 0.6 m	1.2 m/ 0.6 m	none
Setback – Side Yards (m)	Min. 1.2 m/ 0.6 m	1.2 m/ 0.6 m	none
Setback – Rear Yards (m)	Min. 6.0 m	6.0 m	Yes (0.6 m Bay)

City of Richmond

Land Use Map



Rezoning Considerations

7660 Acheson Road
RZ 07-396695

Prior to final adoption of Zoning Amendment Bylaw 8423, the developer is required to complete the following:

1. Registration of a flood indemnity covenant on title.
2. Contribution of \$1.00 per buildable square foot (e.g.\$5,662.00) to the City's affordable housing fund.
3. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring onsite.
4. The submission and processing of a Development Permit* completed to a level deemed acceptable by the Director of Development.

Prior to approval of Subdivision, the developer is required to complete the following:

1. Payment of Development Cost Charges, Neighbourhood Improvement Charges (for future road and frontage improvements), School Site Acquisition Charges, Address Assignment Fee, Greater Vancouver Sewage & Drainage District Development Cost Charges, and servicing costs.
2. Registration of a cross access agreement on title of subdivided parcels to allow for common driveway straddling the property line of both providing access to all dwelling units.

Prior to Building Permit Issuance, submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.

[Signed original on file]

Signed

Date

* Note: This requires a separate application.



**Richmond Zoning and Development Bylaw 5300
Amendment Bylaw 8423 (RZ 07-396695)
7660 ACHESON ROAD**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning and Development Bylaw 5300, is amended by repealing the existing zoning designation of the following area and by designating it **COMPREHENSIVE DEVELOPMENT DISTRICT (CD/28)**.

P.I.D. 009-308-202

Lot 18 Section 17 Block 4 North Range 6 West New Westminster District Plan 10313

2. This Bylaw may be cited as **“Richmond Zoning and Development Bylaw 5300, Amendment Bylaw 8423”**.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER REQUIREMENTS SATISFIED

ADOPTED

CITY OF RICHMOND
APPROVED by
<i>hl</i>
APPROVED by Director or Solicitor
<i>[Signature]</i>

MAYOR

CORPORATE OFFICER