



To: Planning Committee **Date:** September 4, 2009
From: Brian J. Jackson, MCIP **File:** RZ 08-408107
 Director of Development
Re: **Application by Polygon Development 225 Ltd. for Rezoning at 9631, 9651, 9691, 9711, 9731, 9751, 9791 Alexandra Road and 4471, 4511, 4531, 4551 No. 4 Road from Single-Family Housing District, Subdivision Area F (R1/F) and Two-Family Housing District (R5) to Comprehensive Development District (CD/185)**


Staff Recommendation

That Bylaw No. 8450, to amend "Comprehensive Development District (CD/185)" and for the rezoning of 9631, 9651, 9691, 9711, 9731, 9751, 9791 Alexandra Road and 4471, 4511, 4531, 4551 No. 4 Road from "Single-Family Housing District, Subdivision Area F (R1/F)" and "Two-Family Housing District (R5)" to "Comprehensive Development District (CD/185)", be introduced and given first reading.



Brian J. Jackson, MCIP
 Director of Development

SB:blg
 Att.

FOR ORIGINATING DEPARTMENT USE ONLY		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Real Estate Services	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	

Staff Report

Origin

Polygon Development 225 Ltd. has applied to the City of Richmond for permission to rezone 9631, 9651, 9691, 9711, 9731, 9751, 9791 Alexandra Road and 4471, 4511, 4531, 4551 No. 4 Road (**Attachment 1**) from Single-Family Housing District, Subdivision Area F (R1/F) and Two-Family Housing District (R5) to Comprehensive Development District (CD/185) in order to develop a 141-unit, three-storey townhouse development including a freestanding amenity building and the provision of eleven (11) affordable housing units at an off-site location. An amendment to Comprehensive Development District (CD/185) is associated with the rezoning to include density bonusing for affordable housing.

A Servicing Agreement is a requirement of rezoning for the design and construction of: frontage improvements and road widening along No. 4 Road and Alexandra Road; a new road (Tomicki Avenue); intersection improvements at No. 4 Road and Fisher Gate; site servicing connections, and any needed upgrades to City servicing infrastructure.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is attached (**Attachment 2**).

Surrounding Development

Development surrounding the West Cambie planning area Alexandra neighbourhood site includes:

- To the north, are undeveloped City park lands (future Central Park) and a 92-unit, three-storey Polygon townhouse development under construction that fronts onto No. 4 Road and Odlin Road (DP 07-359314), zoned "Single-Family Housing District, Subdivision Area F (R1/F)", "School & Public Use District (SPU)", and "Comprehensive Development District (CD/185)";
- To the east, across No. 4 Road and outside of the Alexandra Neighbourhood, are single-family homes and a 120-unit, two-storey townhouse development, zoned "Single-Family Housing District, Subdivision Areas B and F (R1/B and R1/F)", and "Townhouse District (R2)";
- To the south, across Alexandra Road, is the future City Natural Park. This is currently single-family homes and duplexes, zoned "Single-Family Housing District, Subdivision Area F (R1/F)" and "Two-Family Housing District (R5)"; and
- To the west, is the future South Parkway linear City park. This is currently a duplex, split-zoned "Single-Family Housing District, Subdivision Area F (R1/F)" and "Two-Family Housing District (R5)".

Related Policies & Studies

Official Community Plan

The proposed development is located in the West Cambie Area Plan. The proposed land use complies with the designated land use on the Alexandra Neighbourhood Land Use Map (**Attachment 3**) of “Residential Area 2: 0.65 base FAR (Maximum 0.75 FAR with density bonusing for affordable housing) two and three-storey townhouses”. The proposed use and road layout continue the neighbourhood pattern and transportation network being established in the area.

OCP Aircraft Noise Sensitive Land Use Policy

The site is located within the High Aircraft Noise Area. In accordance with the City’s OCP Aircraft Noise Sensitive Development Management Policy, an Aircraft Noise Sensitive Use Covenant is required as a condition of rezoning approval. In consideration for rezoning, the developer has agreed to:

- Sign a covenant agreeing to have the building designed to incorporate adequate sound measures against aircraft noise as a requirement of rezoning;
- Retain a registered professional qualified in acoustics to prepare a report on recommended acoustic sound insulation measures before obtaining the Development Permit;
- Incorporate central air conditioning, or an acceptable alternative as determined by a registered professional, in addition to mechanical ventilation in the construction of the buildings in order to maintain the acoustic integrity of the building envelope essential to maintain a highly liveable interior environment when windows are shut, particularly during warm summer months; and
- Retain a registered professional to certify that any required noise insulation measures have been installed according to the report recommendations, before obtaining the final Building Permit inspection.

The proposals to address aircraft noise on this site are consistent with the OCP objectives for public awareness and acoustic mitigation.

Flood Plain Designation and Protection Bylaw No. 8204

- The development proposal must comply with the minimum flood construction level of 2.6 m as regulated with the Flood Plain Designation and Protection Bylaw No. 8204.
- Registration of a flood plain covenant is a requirement of rezoning.
- The landscape design and grade transition details will be refined as a part of the separate Development Permit application.

Affordable Housing Strategy

The West Cambie Area Plan – Alexandra Neighbourhood includes specific provisions that establish a density bonus opportunity in exchange for the provision of on-site affordable housing units. The subject site, “Fisher Gate Townhouses” is located within an area designated “Residential Area 2”, which permits developers to increase the permitted density by 0.1 Floor Area Ratio (FAR). The proposal complies with the density bonusing provision, with the required affordable housing units provided at an off-site location (**Attachment 4**).

The Cambridge Apartments (RZ 08-408104) development site is located at 9420, 9460, 9480 and 9500 Odlin Road, roughly 150 m west of the Fisher Gate Townhouses development along future Tomicki Avenue. A staff report regarding the Cambridge Apartments rezoning application was presented and the associated bylaws received Third Readings following the Public Hearing on July 20, 2009. Work is underway on associated rezoning considerations, Housing Agreement Bylaw, Development Permit application (DP 08-432218), and Servicing Agreement application (SA 08-439201).

As discussed in the rezoning staff report, the proposed Cambridge Apartments development (RZ 08-408104) will provide 22 affordable housing units to satisfy the zoning district density bonusing provision for its own development, as well as for the subject Fisher Gate Townhouses development site. The Cambridge Apartments development is being constructed in two (2) phases, with 11 affordable housing units in Phase 1 and 11 affordable housing units in Phase 2. In each phase, a portion of the affordable housing units is associated with the subject Fisher Gate Townhouses development (5 affordable housing units in Phase 1 and 6 affordable housing units in Phase 2).

To ensure that the required affordable housing units achieve occupancy in addition to confirmation of the Cambridge Apartments Housing Agreement registration, registration of ‘no-build’ legal agreements is a requirement of rezoning, including:

- Building Permits issuance and security for Cambridge Apartments Phase 1 affordable housing units is required before Building Permit issuance for Phases 1, 2 and 3 of the subject development.
- Completion of Cambridge Apartments Phase 1 affordable housing units is required before completion of Phase 3 of the subject development.
- Completion of any one of the following is required before Building Permit issuance for Phase 4 of the subject development:
 - Building Permit issuance and security for Cambridge Apartments Phase 2 affordable housing units;
 - Registration of a Housing Agreement to provide 6 affordable housing units (consisting of 444.6 m²) on-site and to achieve completion before the market units; or
 - Completion of Cambridge Apartments Phase 2 affordable housing units.

Public Input

A development sign has been posted on-site as public notification of the intent to rezone this site. No concerns have been received regarding the rezoning.

Staff Comments

Preliminary site plan, unit plans, streetscape elevations and landscape plans are enclosed for reference (**Attachments 5 and 6**). Separate from the rezoning process, the applicant is required to submit separate applications for Development Permit, Servicing Agreement and Building Permit.

Analysis

The site proposal consists of a 141-unit townhouse development bisected by a new public road connecting to No. 4 Road at the intersection of Fisher Gate. Development property consolidation, road dedication and construction along No. 4 Road and new Tomicki Avenue are requirements of rezoning.

Land Use

The proposed development complies the intent of the Richmond OCP West Cambie Area Plan, generally following the development and road establishment pattern for this neighbourhood. The subject consolidated 2.4 hectare site is located in the Alexandra neighbourhood 'Residential Area 2' of the West Cambie planning area. 'Residential Area 2' is the lowest density zone in Alexandra, with two and three-storey townhouse development acting as a transition buffer between the higher densities to the west towards City Centre and the established single-family neighbourhood to the east across No. 4 Road. The low-density zone has a designated density of 0.65 base up to a maximum of 0.75 FAR with density bonusing for affordable housing, which this project employs.

The Alexandra neighbourhood is a newly opened neighbourhood for development with unique strategies to address affordable housing, higher flood construction levels for buildings and roads, and implementation of new services, parks, and roads. An acoustic report and noise mitigation construction details are required as this neighbourhood is impacted by aircraft noise.

Comprehensive Development District (CD/185)

Comprehensive Development District (CD/185) was created specifically for new townhouse development with the Alexandra Neighbourhood and applied to the existing townhouse development immediately to the north of the subject site.

The Comprehensive Development District is proposed to be amended to include the 0.1 density bonus for affordable housing as specified on the Alexandra Neighbourhood Land Use Map. The density bonus provision requires that affordable housing units be secured through a housing agreement and the combined floor area of all the affordable housing units is equal to no less than 33.3% of the 0.1 FAR density increase.

Density and Form

The proposal is consistent with the objectives of the West Cambie Area Plan – Alexandra Neighbourhood in terms of unit type, density, scale and open space. In particular:

- The proposed FAR of 0.75 under Comprehensive Development District (CD/185) complies with the Area Plan designated base density of 0.65 FAR and maximum density of 0.75 FAR with density bonus for affordable housing.

- The increase in density from 0.65 to 0.75 FAR on this lot consolidation represents an increase in floor area of 26,167 ft², or approximately 18 units, for this site, and allows for the construction of 11 affordable housing rental units within the Alexandria neighbourhood, in compliance with the City's affordable housing strategy for the West Cambie planning area.
- The proposed development generally achieves a scale, massing, and pedestrian-oriented townhouse streetscapes, which is consistent with development to the north in the neighbourhood. Further design development is required through the Development Permit application process (See Design Review section below).
- At the western portion of the site, adjacent to the future South Parkway linear City park, is a pathway connecting Tomicki Avenue to Alexandra Road which will be available for public use until the South Parkway is established in the future (temporary Public Rights-of-Passage Right-of-Way (PROP ROW) is a requirement of rezoning). The western units present front yards and porches onto the pathway. The higher flood construction level grade is transitioned down to the existing grade of the adjacent future parkway with terraces and low wood retaining walls within a 4.5 m to 6 m building setback.
- The proposal was presented to the Advisory Design Panel on a preliminary basis to review site planning. The proposal was supported by the Panel to proceed to Planning Committee and items were identified to address as part of the Development Permit application review process (**Attachment 8**).

Transportation

- Vehicular access will be from the new Tomicki Avenue, which will connect to No. 4 Road.
- The applicant has agreed to allow public pedestrian use of the pathway connecting Tomicki Avenue to Alexandra Road along the western edge of the development on a temporary basis until the South Parkway is established in the future. The registration of a PROP ROW over the pathway is a condition of rezoning.
- The applicant will design and construct transportation infrastructure through a Servicing Agreement required as a condition of rezoning (**Attachment 9**). Works include, but are not limited to:
 - Tomicki Avenue through the site and into the future Central Park;
 - No. 4 Road widening with frontage and intersection improvements; and
 - Alexandra Road frontage improvements.
- The proposal includes road dedication as a condition of rezoning. The dedication includes the new Tomicki Avenue and extends across their entire No. 4 Road frontage complete with 4 m x 4 m corner cuts.
- Visitor parking is provided on-site, complies with the Zoning & Development Bylaw requirement and is accessed from internal drive aisles.
- Pedestrian routes through the site are provided to the adjacent future South Parkway, Alexandra Road, Tomicki Avenue and No. 4 Road.
- Mailboxes are provided in the central amenity building.

- The applicant has agreed to contribute to City beautification works in the amount of \$0.60 per buildable square foot (e.g. \$117,751.80) in accordance with Policy 5044 for West Cambie. This contribution will be provided prior to rezoning adoption.

Tree Management and Site Vegetation

	Existing	To be Retained	Compensation
On-site trees	92	1	184 new trees, or a combination of new trees and cash-in-lieu (\$500/tree)
Off-site trees in dedication area for new Tomicki Avenue	26	0	Approximately 40 new street trees
Off-site trees in No 4 Road and Alexandra Road boulevards	10	To be determined through the required Servicing Agreement Road improvements design. To be protected until functional road design is confirmed, which will include new street trees.	

- The City has received a preliminary tree preservation plan prepared by a registered arborist and a tree survey. The findings of the arborist report are summarized in the table above. The City’s Tree preservation and Parks staff have visited the site and agree with the consulting registered arborist.
- The proposed tree management plan is acceptable to Tree Preservation staff (**Attachment 7**).
- The proposal includes the retention of one (1) existing tree. The applicant has designed the site to retain an existing significant mature Oak tree, which will be a great asset to the development and neighbourhood. The height and fullness of the tree’s foliage will add visual interest to the architectural design and rooflines of the development. Proof of a contract with a registered arborist for the protection of the existing Oak Tree to be retained on-site, and adjacent existing trees on neighbouring properties is a requirement of rezoning. The applicant has installed tree protection barriers on-site.
- The existing grade of the development site is lower than the existing sidewalk along No. 4 Road, future Tomicki Avenue, and the required flood construction level for the buildings. The grade difference makes tree retention very difficult. The Oak tree is located in an on-site outdoor amenity space and is far enough away from future Tomicki Avenue to allow for the specified retention measures.
- The proposal includes the removal of 92 existing on-site trees. A Preliminary Landscape Plan (**Attachment 6**) proposes to plant substantially more than the required 184 new replacement trees on-site.
- The proposal includes the removal of 26 existing trees in the new Tomicki Avenue dedication area. The applicant has agreed to plant new street trees along the new Tomicki Avenue and along their No. 4 Road frontage through a separate required Servicing Agreement.

- If the rezoning for the development proposal achieves Third Reading, the developer intends to seek permission from the City to remove these trees. A tree cutting permit for the 118 trees identified for removal may be permitted subject to completion of the following:
 - replacement planting security of \$92,000; and
 - Proof of a contract with a registered arborist for the protection of the existing Oak Tree to be retained on-site.

Amenity Space

- On-site indoor amenity space is proposed in a centrally located amenity building (198 m²). The location and size complies with the Official Community Plan (OCP) amenity provisions.
- On-site outdoor amenity space is proposed in three (3) separate locations, with a total area that exceeds the OCP requirement. The on-site outdoor amenity space proposal meets the OCP requirements for size, location, children's play area, visual surveillance and access. The landscape design details will be refined as a part of the separate Development Permit application.

Public Art

The applicant is a long-standing supporter of Public Art and has agreed to provide artwork at this highly visible gateway into the Alexandra neighbourhood. The provision of Public Art with a value of \$0.60 per buildable square foot (e.g. \$117,751.80) will be secured prior to rezoning adoption.

Child Care

The applicant has agreed to contribute to the City's childcare fund in the amount of \$0.60 per buildable square foot (e.g. \$117,751.80) in accordance with Policy 5044 for West Cambie. This contribution will be provided prior to rezoning adoption.

Accessible Housing

The applicant will provide units that are designed with conversion for universal accessibility in mind. The number of units, conversion floor plan and conversion details will be reviewed at the Development Permit Application stage. There are a number of townhouse developments throughout Richmond and constructed by the applicant that include such conversion details, demonstrating that this will be accommodated at the Development Permit Application stage. Details of opportunities for providing enhanced accessibility and aging in place will also be reviewed at the Development Permit Application stage.

Servicing Capacity

The Alexandra Neighbourhood is underserved and new City servicing infrastructure is being established with new development.

- Sanitary Sewer: Through the Servicing Agreement, the applicant is required to establish a new sanitary sewer along new Tomicki Avenue and north along future May Drive to tie into the existing gravity sanitary sewer main along Odlin Road to the new pump station at 9288 Odlin Road. This requires the registration of all required Road Dedications and Utility Right-of-Ways for the Approved design corridor for the sanitary sewer gravity line to service this site. A sanitary system must be designed from Odlin Road to this development site, and done by not using the No. 4 Road or the future City Park.
- Storm Sewer: Through the Servicing Agreement, the applicant is required to establish a new storm sewer along Tomicki Avenue to tie into the existing box culvert at No. 4 Road.
- Water: The proposal requires a higher water pressure than what is available for fire-fighting purposes. Through the Servicing Agreement, the applicant will provide any needed upgrades and ensure that the water service pipe size meets City requirements.
- The applicant has agreed to contribute for Community Engineering Planning Costs in the amount of \$0.07 per buildable square foot (e.g. \$13,737.70) in accordance with Policy 5044 for West Cambie. This contribution will be provided prior to rezoning adoption.

Legal Document and Right-of-Way Discharge

The title of one (1) of the existing lots has a charge registered on title relating to the previous duplex two-family land use. In the interest of clearing this irrelevant charge from title and as a condition of rezoning, the applicant has agreed to discharge Covenant No. AE 008739 registered on title of 9751 Alexandra Road, limiting the lot to be used for a two-family dwelling only.

Alexandra Local Area Development Cost Charge and Neighbourhood Development Agreement

- In addition to City-wide Development Cost Charges (DCCs), the applicant is required to pay a Supplementary Local Area DCC for the Alexandra Neighbourhood. Payment is required prior to future Building Permit issuance.
- The applicant is required to pay this site's portion of the Alexandra Neighbourhood Development Agreement, at the Townhouse rate of \$3,307.47/unit prior. Payment is required prior to future Building Permit issuance.

Design Review and Future Development Permit Application Considerations

A Development Permit Application for the proposed townhouse development is required to be processed to the satisfaction of the Director of Development as a condition of rezoning. Review by the Advisory Design Panel will be required as part of the Development Permit process.

The applicant has developed a preliminary design for this site (**Attachments 5 and 6**). The following items will be further investigated at the Development Permit stage:

- Response to Advisory Design Panel and staff design refinement comments;
- Detailed review of building form and architectural character;
- Detailed review of amenity building relationship to adjacent buildings and green space, including building location, and architectural form and character;
- Detailed review of landscaping design, including appropriate pedestrian routes through the site, programming of amenity spaces, the relationship of units to grade, grade transitions, and retaining wall details;
- Staff can review the requested variance to reduce the minimum public road setback from 5 m to 4.5 m along the new Tomicki Avenue in relation to the development site providing the full width of the new road dedication and the resolution of the streetscape urban design;
- Review of units providing opportunities for conversion to accommodate a resident in a wheelchair and/or aging in place (including providing blocking in bathroom walls for future installation of grab rails);
- Detailed dimensions of parking stalls on plans, with a minimum 11 m clear space for stalls in tandem arrangement within a garage (e.g., a small car stall in tandem arrangement within a garage will not be accepted. Stall dimensions, including accessible spaces, to be in accordance with the City Zoning and Development Bylaw, Division 400;
- Comprehensive tree preservation plan; and
- Ensure that proposed phasing is on compliance with zoning, including access to amenity areas and garbage and recycling collection.

Guidelines for the issuance of Development Permits for multiple-family projects are contained in Schedule 1 of Bylaw 7100 (Section 9.0 Development Permit Guidelines) and in of Schedule 2.11A - West Cambie Area Plan (Section 8.2.5).

Financial Impact

None.

Conclusion

The subject proposal is in conformance with City-wide, and West Cambie objectives for development and population growth. The proposal to develop townhouses is consistent with the objectives of the West Cambie Area Plan in terms of land use, density, provision of affordable housing units, amenity contributions, and City transportation and Servicing infrastructure.

The proposed use of Comprehensive Development District (CD/185) is consistent with the West Cambie Area Plan and adjacent development. The project will be an attractive addition to the neighbourhood. On this basis, staff recommend that the proposed rezoning application be approved.



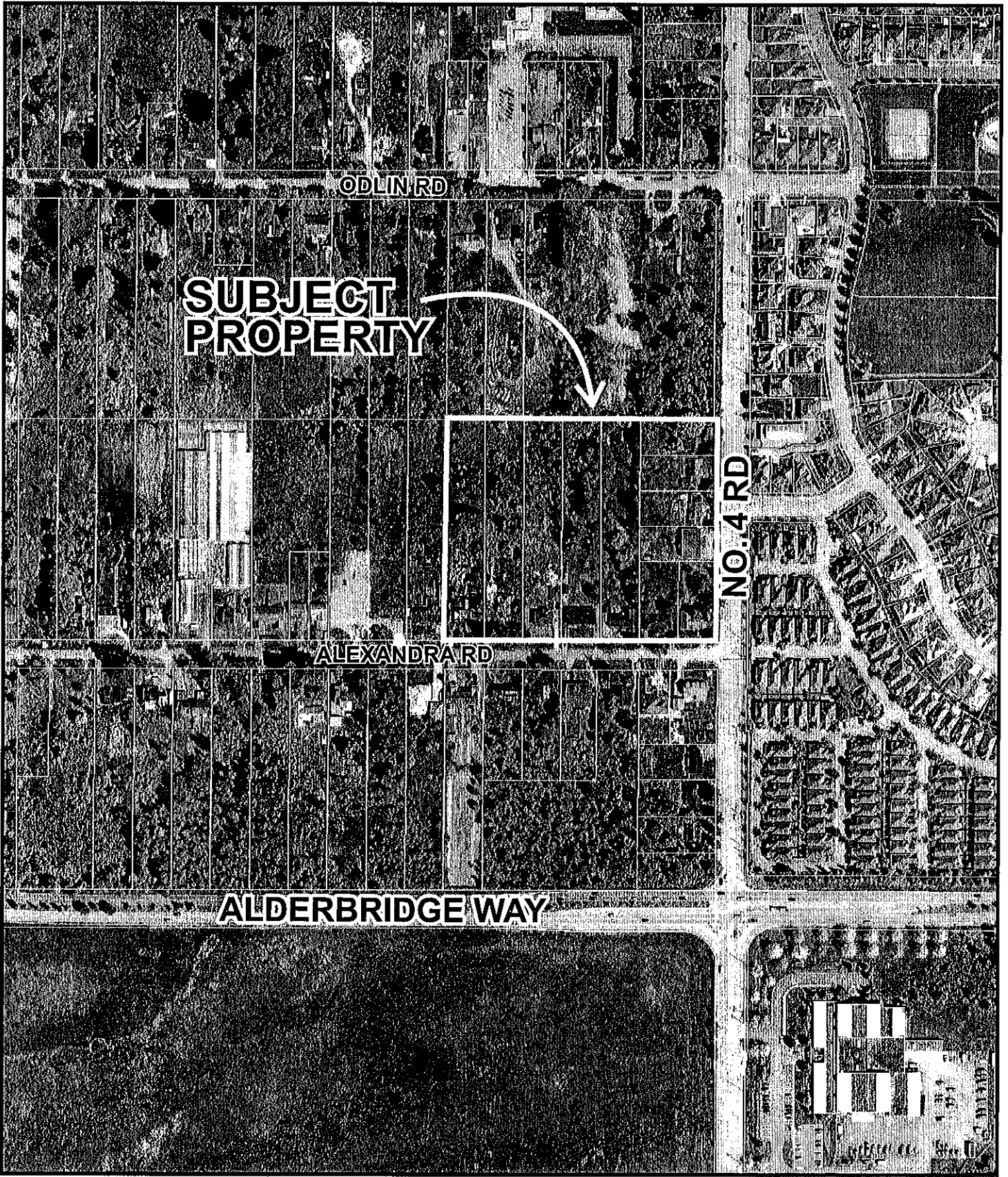
Sara Badyal, MCIP
Planner 1
(604-276-4282)

SB:blg

See **Attachment 9** for legal and development considerations agreed to by the applicant and to be completed prior to final adoption of the Zoning Amendment Bylaw 8450.

Attachments:

- Attachment 1: Location Map and Site Context – GIS 2007 aerial photo
- Attachment 2: Development Application Data Sheet
- Attachment 3: West Cambie Area Plan Alexandra Neighbourhood Site Context
- Attachment 4: Location Map for Off-Site Affordable Housing
- Attachment 5: Conceptual Development Architectural Drawings
- Attachment 6: Conceptual Development Landscape Plans
- Attachment 7: Tree Management Plan
- Attachment 8: Notes from Advisory Design Panel Review (October 22, 2008)
- Attachment 9: Rezoning Considerations



**SUBJECT
PROPERTY**

ODLIN RD

NO. 4 RD

ALEXANDRA RD

ALDERBRIDGE WAY



RZ 08-408107

Original Date: 02/29/08

Amended Date:

Note: Dimensions are in METRES



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

Development Application Data Sheet

RZ 08-408107

Attachment 2

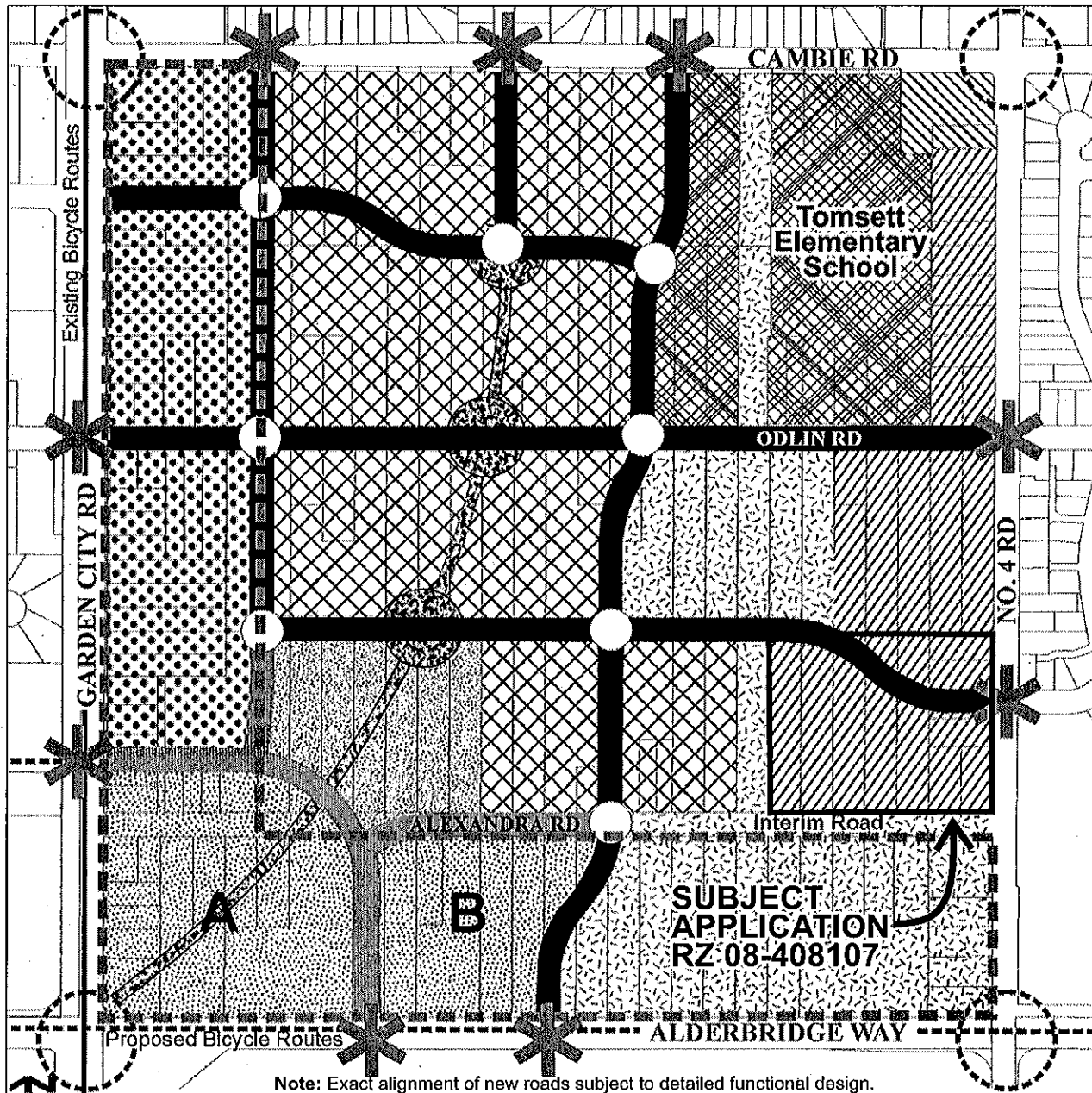
Address: 9631, 9651, 9691, 9711, 9731, 9751, 9791 Alexandra Road and
 4471, 4511, 4531, 4551 No. 4 Road

Applicant: Polygon Development 225 Ltd.

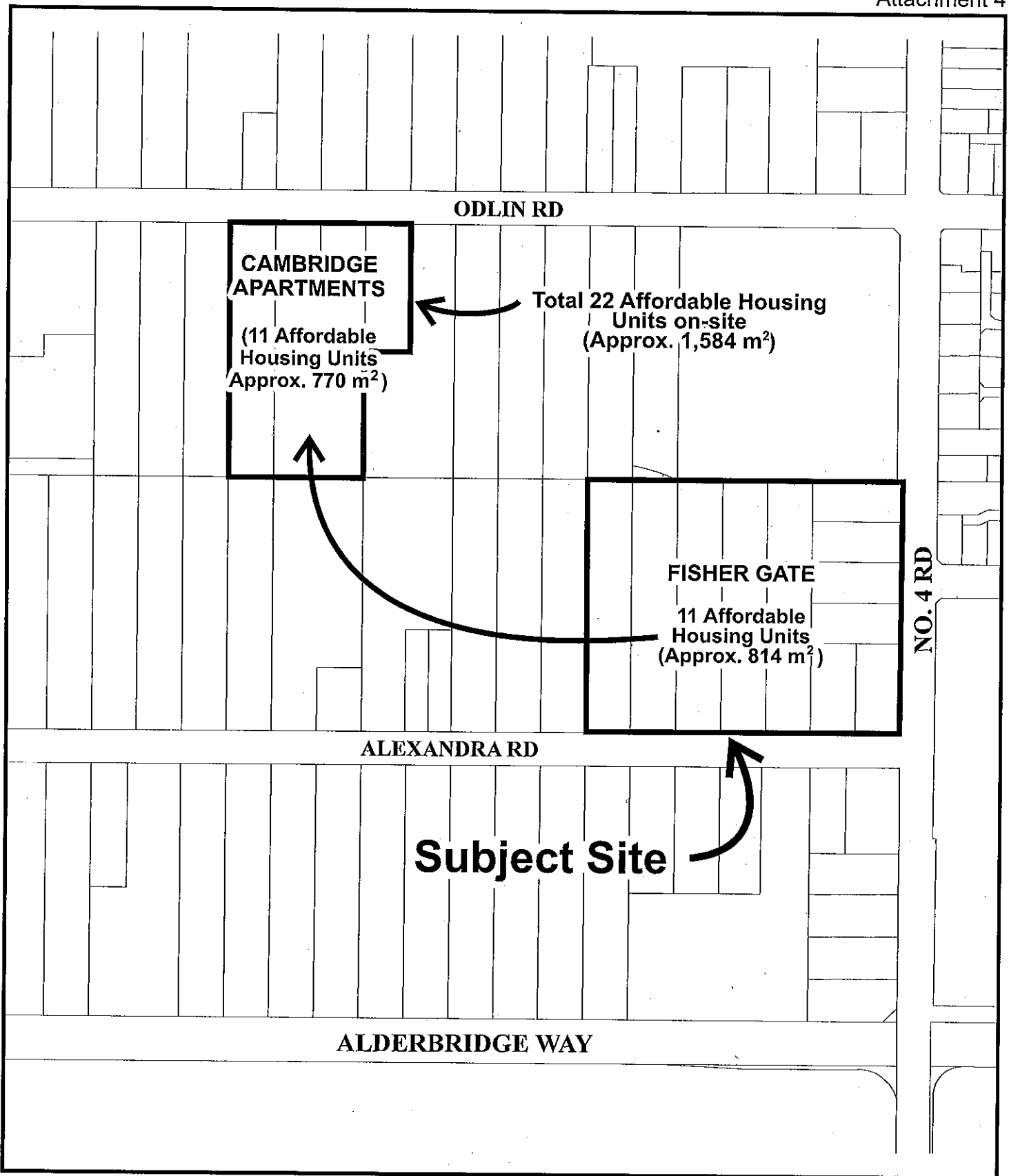
Planning Area(s): Alexandra Neighbourhood (West Cambie)

	Existing	Proposed	
Owner:	Polygon Development 225 Ltd.	No change	
Site Size (m²):	28,333 m ² (as per GIS)	Road dedication	4,024 m ²
		Development site	24,310 m ²
		Total	28,333 m ²
Land Uses:	Residential	No change	
Area Plan Designation:	Residential Area 2: 0.65 base FAR Max 0.75 FAR with density bonusing for affordable housing. 2 & 3 storey townhouses	No change	
Zoning:	R1/F & R5	CD/185	
Number of Units:	13	141	
Affordable Housing:	None	0.033 FAR (11 units offsite in Cambridge Apartments development RZ 08-408104)	
Flood Construction Level:	Min 2.6 m	Complies	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.75 with affordable housing	0.75 with affordable housing provided off-site	None permitted
Lot Coverage – Building:	Max. 40%	32%	None
Lot Size (min. dimensions):	1 ha.	2.47 ha.	None
Setback – Public Road:	Min. 5 m	4.5 m Min.	0.5 m reduction
Setback – Side & Rear Yards:	Min. 3 m	Min. 3 m	None
Height (m):	Max. 12 m & 3-storey	Max. 12 m & 3-storey	None
Off-street Parking	Resident Visitor Accessible	229 29 (5)	282 29 (5) None
Off-street Parking Spaces – Total:	258	311	None
Tandem Parking Spaces:	Permitted	202 spaces in 101 units	None
Amenity Space – Indoor:	Min. 100 m ²	151 m ²	None
Amenity Space – Outdoor:	Min. 846 m ² including 423 m ² play area	1145 m ² including 490 m ² play area	None

Alexandra Neighbourhood Site Context Map



	Area of No Housing Affected by Aircraft Noise		Mixed Use: Hotel, office and streetfront retail commercial. Area A: Min. 1.25 FAR up to 2.0. Area B: Large and small floor plate up to 1.0 FAR.		Proposed Roadways
	Business/Office – office over retail FAR up 1.25		Mixed Use: Housing over small floor-plate retail. 1.25 base FAR. Building heights low to mid-rise. (Max. 1.50 FAR with density bonusing for affordable housing).		High Street
	Convenience Commercial		Community Institutional		New Traffic Signals
	Residential Area 1 1.50 base FAR (Max. 1.70 FAR with density bonusing for affordable housing). Townhouse, Low-rise Apts. (4-storey typical)		Park: North Park Way, Central Park, Natural Park, South Parkway		Feature Intersections – details to be developed
	Residential Area 2 0.65 base FAR (Max. 0.75 FAR with density bonusing for affordable housing). 2 & 3-storey Townhouses		Alexandra Way (Public Rights of Passage Right-of-way)		Feature Landmarks in combination with Traffic Calming Measures



Accommodation of off-site Affordable Housing Units

Original Date: 05/27/09

Amended Date: 08/20/09

Note: Dimensions are in METRES

and be responsible for all dimensions and conditions on the job. The office shall be responsible for all dimensions and conditions on the drawing.

REVISIONS
 04/13/11
 04/27/11
 05/03/11
 05/10/11
 05/16/11

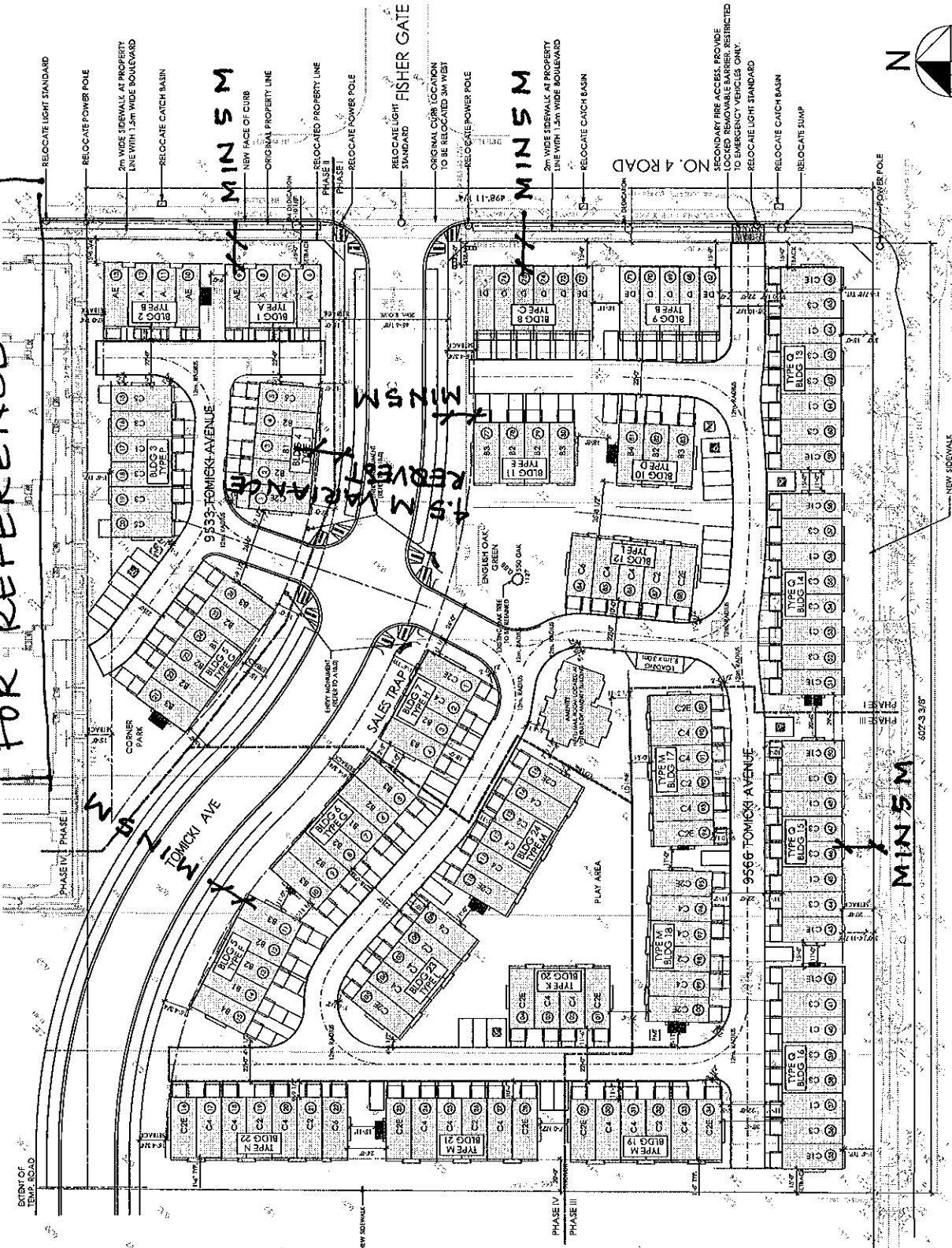


PROJECT
FISHER GATE
 9431-9791 ALEXANDRA RD.
 4471-4551 NO. 4 RD.
 RICHMOND, B.C.

DRAWING
SITE PLAN

3/4" = 1' SCALE
 1" = 30'-0"
 5 SHEET
 1/8" = 1' SCALE
 1" = 40'-0"
 DATE: DECEMBER 2007
 DRAWN BY: MFC

PRELIMINARY CONCEPT FOR REFERENCE



SEND:
 5'-0" x 11'-0"
 ELECTRICAL ROOM
 2'-5" x 8'-0"
 ELECTRICAL CLOSET
 ELECTRICAL TRANSFORMER

COPYRIGHT RESERVED
 This plan and design are, and at all times remain the exclusive property of the architect. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the architect. Contractors shall have precedence over scaled dimensions. Contractors shall verify all dimensions and conditions on the job. This office shall be informed of any variation from the dimensions and conditions on the drawing.

REVISIONS

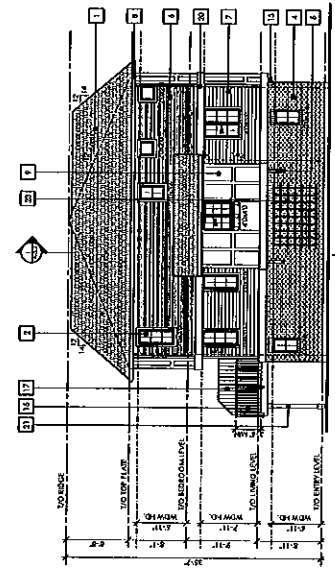
NO. 1	ISSUE	06.13.14
NO. 2	REVISED PER COMMENTS	06.13.14
NO. 3	REVISED PER COMMENTS	06.13.14
NO. 4	REVISED PER COMMENTS	06.13.14
NO. 5	REVISED PER COMMENTS	06.13.14



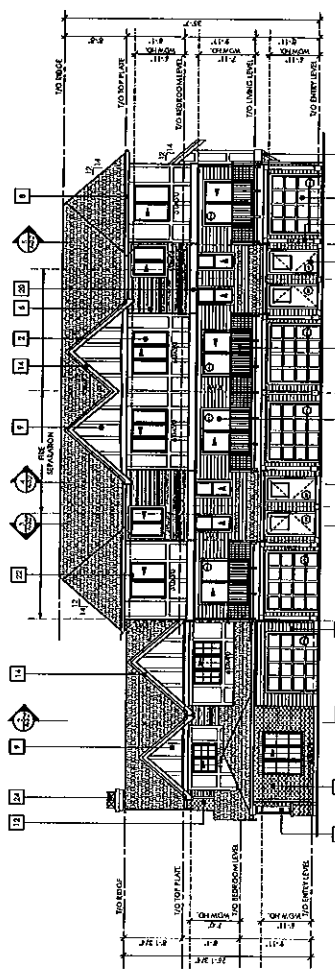
FORMWORKS
 ARCHITECTURAL
 1825 WEST 5TH AVE., ALEXANDRIA, VIRGINIA
 FAX: 480-527-9779

PROJECT
FISHER GATE
 9481-9791 ALEXANDRA RD.
 4471-4453 NO. 4 RD.
 RICHMOND, B.C.

DRAWING
BUILDING C ELEVATIONS
 SHEET
A3.1
 DATE: DECEMBER 2007
 DRAWN BY: MFG



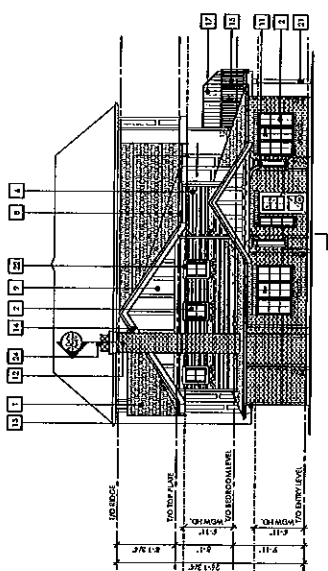
SIDE ELEVATION



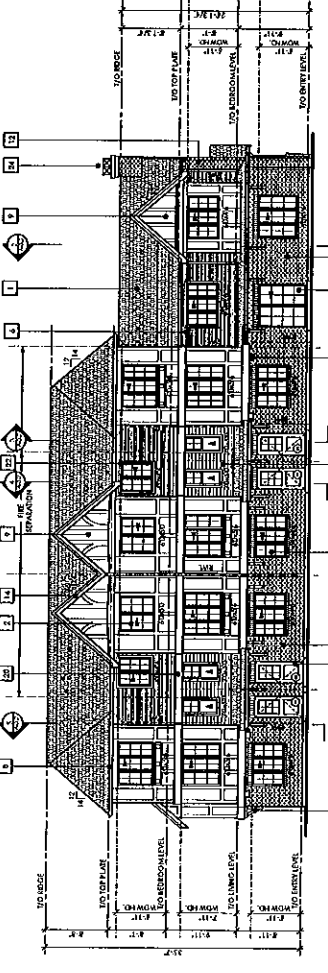
REAR ELEVATION

FINISH SCHEDULE

1	EXTERIOR WALLS (SOLID WMT VNL SIDING)	1	WOOD CLAD PANELS
2	EXTERIOR WALLS (SOLID WMT VNL SIDING)	2	WOOD CLAD PANELS
3	EXTERIOR WALLS (SOLID WMT VNL SIDING)	3	WOOD CLAD PANELS
4	EXTERIOR WALLS (SOLID WMT VNL SIDING)	4	WOOD CLAD PANELS
5	EXTERIOR WALLS (SOLID WMT VNL SIDING)	5	WOOD CLAD PANELS
6	EXTERIOR WALLS (SOLID WMT VNL SIDING)	6	WOOD CLAD PANELS
7	EXTERIOR WALLS (SOLID WMT VNL SIDING)	7	WOOD CLAD PANELS
8	EXTERIOR WALLS (SOLID WMT VNL SIDING)	8	WOOD CLAD PANELS
9	EXTERIOR WALLS (SOLID WMT VNL SIDING)	9	WOOD CLAD PANELS
10	EXTERIOR WALLS (SOLID WMT VNL SIDING)	10	WOOD CLAD PANELS
11	EXTERIOR WALLS (SOLID WMT VNL SIDING)	11	WOOD CLAD PANELS
12	EXTERIOR WALLS (SOLID WMT VNL SIDING)	12	WOOD CLAD PANELS



SIDE ELEVATION (L)



FRONT ELEVATION

Contractor's Note:
This plan and design are, and all their contents shall remain the exclusive property of the architect and cannot be used or reproduced in any way without the written consent of the architect. The contractor shall be responsible for all dimensions and materials used in the construction of the building. The contractor shall be informed of any variation from the dimensions and conditions on the drawing.

REVISIONS

DATE	DESCRIPTION
08/12/14	ISSUED FOR PERMIT
08/12/14	ISSUED FOR PERMIT
08/12/14	ISSUED FOR PERMIT
08/12/14	ISSUED FOR PERMIT



FORMWERKS ARCHITECTURAL
1025 WEST 20TH AVENUE, WASHINGTON, VA 22186
PHONE: 603-554-1111

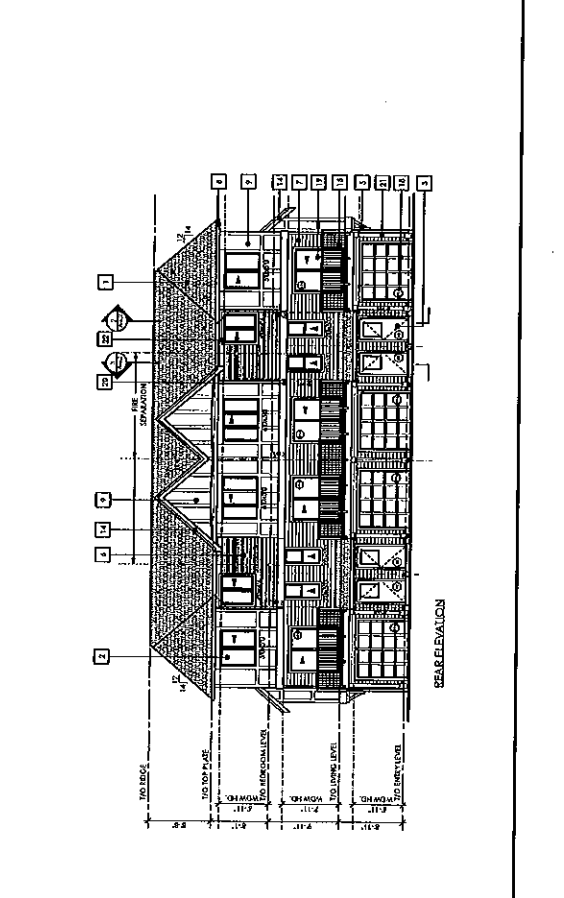
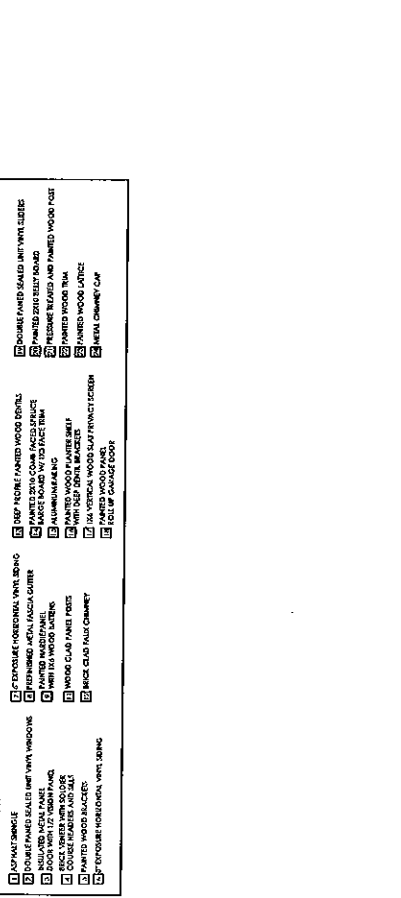
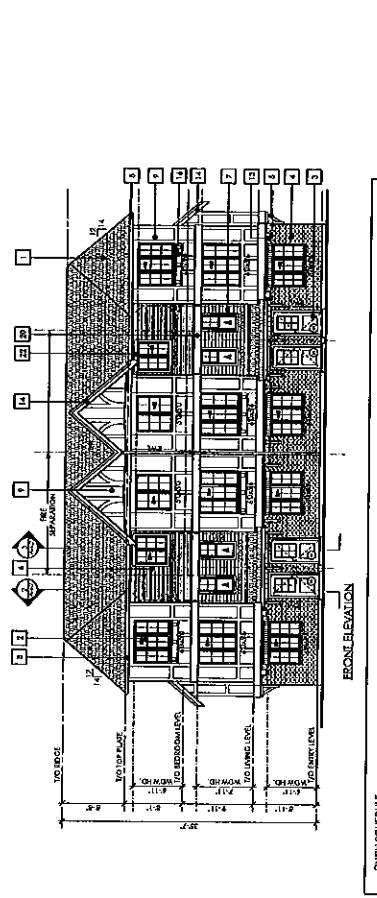
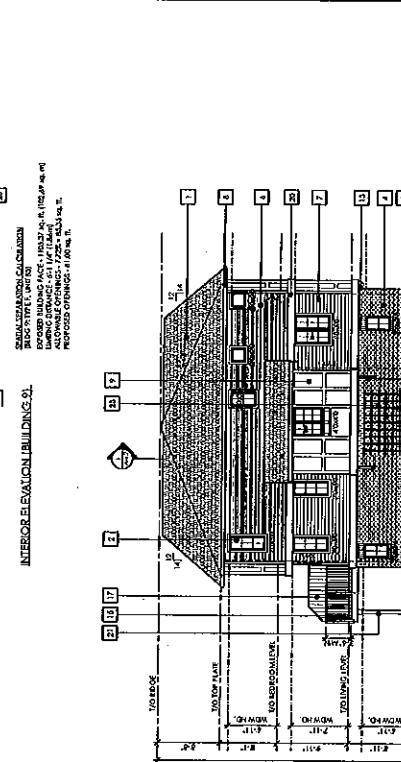
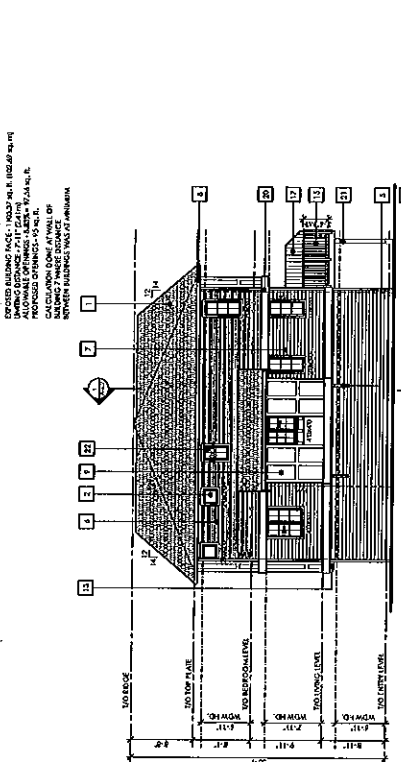
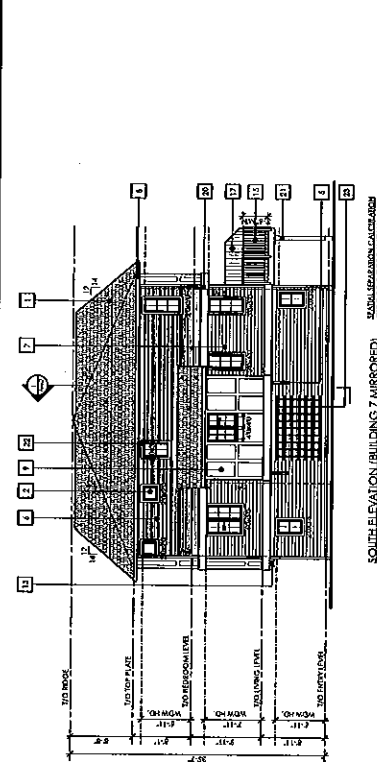
FISHER GATE
9481-9791 ALEXANDRA RD.
4471-4561 NO. 4 RD.
RICHMOND, B.C.

BUILDING F ELEVATIONS

PROJECT

DRAWING

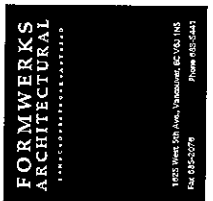
SHEET
1/4"=1'-0"
1/8"=1'-0"
DATE: DECEMBER 2007
DRAWN BY: MFC



- FINISH SCHEDULE**
- 1) ASPHALT ROOFING
 - 2) DOUBLE PANELED SLATED METAL VENT CLERESTORY
 - 3) GABLE END ROOFING
 - 4) METAL ROOFING
 - 5) METAL ROOFING
 - 6) METAL ROOFING
 - 7) METAL ROOFING
 - 8) METAL ROOFING
 - 9) METAL ROOFING
 - 10) METAL ROOFING
 - 11) METAL ROOFING
 - 12) METAL ROOFING
 - 13) METAL ROOFING
 - 14) METAL ROOFING
 - 15) METAL ROOFING
 - 16) METAL ROOFING
 - 17) METAL ROOFING
 - 18) METAL ROOFING
 - 19) METAL ROOFING
 - 20) METAL ROOFING
 - 21) METAL ROOFING
 - 22) METAL ROOFING
 - 23) METAL ROOFING
 - 24) METAL ROOFING
 - 25) METAL ROOFING
 - 26) METAL ROOFING
 - 27) METAL ROOFING
 - 28) METAL ROOFING
 - 29) METAL ROOFING
 - 30) METAL ROOFING
 - 31) METAL ROOFING
 - 32) METAL ROOFING
 - 33) METAL ROOFING
 - 34) METAL ROOFING
 - 35) METAL ROOFING
 - 36) METAL ROOFING
 - 37) METAL ROOFING
 - 38) METAL ROOFING
 - 39) METAL ROOFING
 - 40) METAL ROOFING
 - 41) METAL ROOFING
 - 42) METAL ROOFING
 - 43) METAL ROOFING
 - 44) METAL ROOFING
 - 45) METAL ROOFING
 - 46) METAL ROOFING
 - 47) METAL ROOFING
 - 48) METAL ROOFING
 - 49) METAL ROOFING
 - 50) METAL ROOFING
 - 51) METAL ROOFING
 - 52) METAL ROOFING
 - 53) METAL ROOFING
 - 54) METAL ROOFING
 - 55) METAL ROOFING
 - 56) METAL ROOFING
 - 57) METAL ROOFING
 - 58) METAL ROOFING
 - 59) METAL ROOFING
 - 60) METAL ROOFING
 - 61) METAL ROOFING
 - 62) METAL ROOFING
 - 63) METAL ROOFING
 - 64) METAL ROOFING
 - 65) METAL ROOFING
 - 66) METAL ROOFING
 - 67) METAL ROOFING
 - 68) METAL ROOFING
 - 69) METAL ROOFING
 - 70) METAL ROOFING
 - 71) METAL ROOFING
 - 72) METAL ROOFING
 - 73) METAL ROOFING
 - 74) METAL ROOFING
 - 75) METAL ROOFING
 - 76) METAL ROOFING
 - 77) METAL ROOFING
 - 78) METAL ROOFING
 - 79) METAL ROOFING
 - 80) METAL ROOFING
 - 81) METAL ROOFING
 - 82) METAL ROOFING
 - 83) METAL ROOFING
 - 84) METAL ROOFING
 - 85) METAL ROOFING
 - 86) METAL ROOFING
 - 87) METAL ROOFING
 - 88) METAL ROOFING
 - 89) METAL ROOFING
 - 90) METAL ROOFING
 - 91) METAL ROOFING
 - 92) METAL ROOFING
 - 93) METAL ROOFING
 - 94) METAL ROOFING
 - 95) METAL ROOFING
 - 96) METAL ROOFING
 - 97) METAL ROOFING
 - 98) METAL ROOFING
 - 99) METAL ROOFING
 - 100) METAL ROOFING

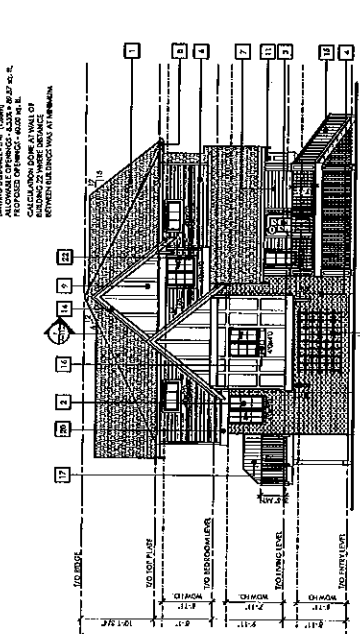
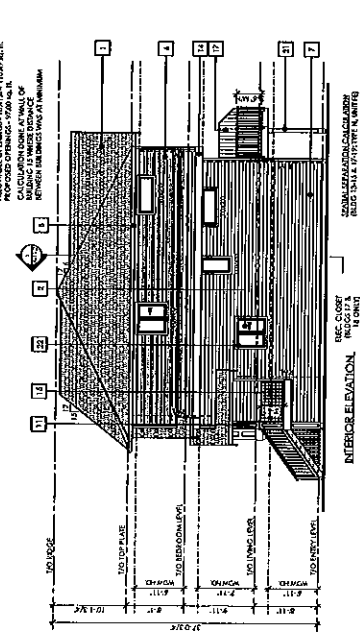
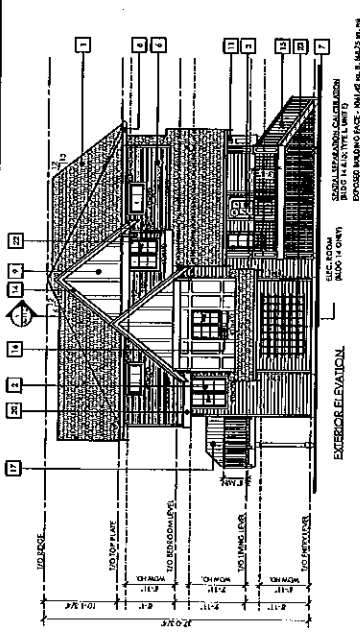
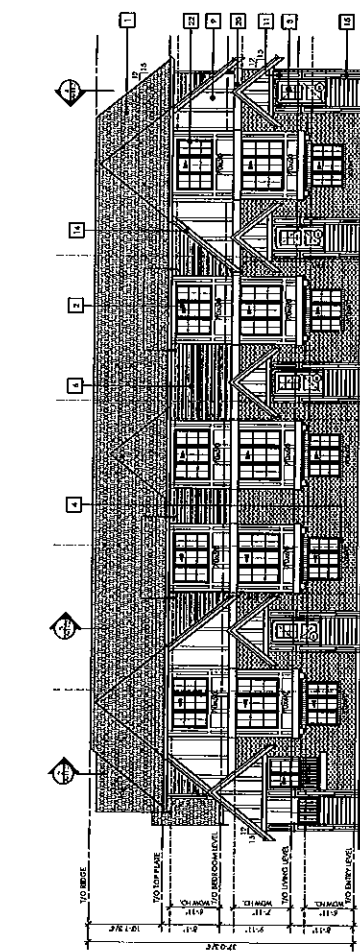
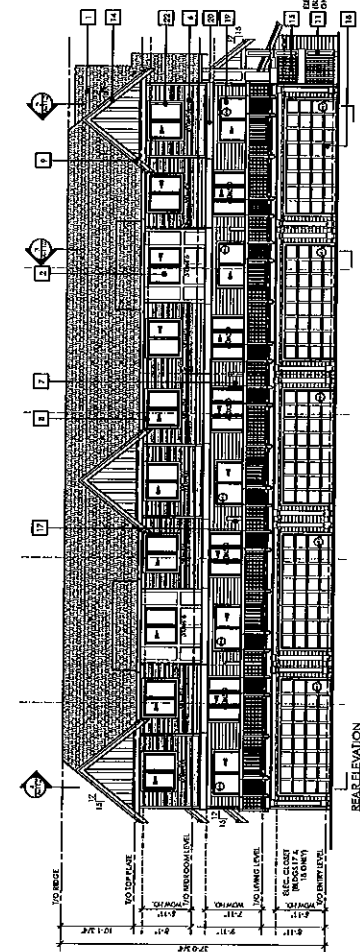
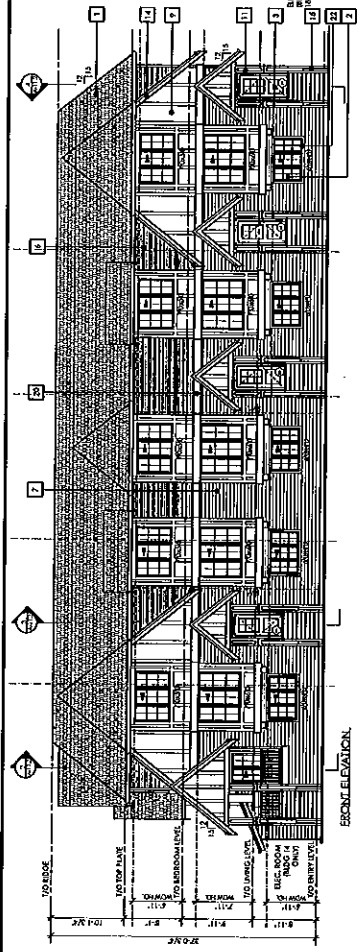
CONSENT REFERRED
 The plan and design are, and all files the architect and cannot be used or reproduced without written consent. Written consent shall have precedence over any other conditions on the drawings and be responsible for all dimensions and conditions on the job. The office shall be returned of any variation from the dimensions and conditions on the drawings.

REVISIONS
 06.03.21
 06.03.21
 06.03.21
 06.03.21
 06.03.21
 06.03.21



PROJECT
FISHER GATE
 9681-9791 ALEXANDRA RD.
 4471-4551 CO. 4 RD.
 RICHMOND, B.C.

DRAWING
BUILDING L ELEVATIONS
 SHEET
 18x24 SCALE 1/4"=1'-0"
 18x12 SCALE 1/8"=1'-0"
 DATE
 DECEMBER 2007
 DRAWN BY
 MFG
A11.1



- FINISH SCHEDULE**
- 1 UNPAINTED WOOD
 - 2 DOOR/PANELED WOOD
 - 3 UNPAINTED METAL PANEL OFFICE
 - 4 UNPAINTED WOOD
 - 5 UNPAINTED WOOD
 - 6 UNPAINTED WOOD
 - 7 UNPAINTED WOOD
 - 8 UNPAINTED WOOD
 - 9 UNPAINTED WOOD
 - 10 UNPAINTED WOOD
 - 11 UNPAINTED WOOD
 - 12 UNPAINTED WOOD
 - 13 UNPAINTED WOOD
 - 14 UNPAINTED WOOD
 - 15 UNPAINTED WOOD
 - 16 UNPAINTED WOOD
 - 17 UNPAINTED WOOD
 - 18 UNPAINTED WOOD
 - 19 UNPAINTED WOOD
 - 20 UNPAINTED WOOD
 - 21 UNPAINTED WOOD
 - 22 UNPAINTED WOOD
 - 23 UNPAINTED WOOD
 - 24 UNPAINTED WOOD
 - 25 UNPAINTED WOOD
 - 26 UNPAINTED WOOD
 - 27 UNPAINTED WOOD
 - 28 UNPAINTED WOOD
 - 29 UNPAINTED WOOD
 - 30 UNPAINTED WOOD
 - 31 UNPAINTED WOOD
 - 32 UNPAINTED WOOD
 - 33 UNPAINTED WOOD
 - 34 UNPAINTED WOOD
 - 35 UNPAINTED WOOD
 - 36 UNPAINTED WOOD
 - 37 UNPAINTED WOOD
 - 38 UNPAINTED WOOD
 - 39 UNPAINTED WOOD
 - 40 UNPAINTED WOOD
 - 41 UNPAINTED WOOD
 - 42 UNPAINTED WOOD
 - 43 UNPAINTED WOOD
 - 44 UNPAINTED WOOD
 - 45 UNPAINTED WOOD
 - 46 UNPAINTED WOOD
 - 47 UNPAINTED WOOD
 - 48 UNPAINTED WOOD
 - 49 UNPAINTED WOOD
 - 50 UNPAINTED WOOD
 - 51 UNPAINTED WOOD
 - 52 UNPAINTED WOOD
 - 53 UNPAINTED WOOD
 - 54 UNPAINTED WOOD
 - 55 UNPAINTED WOOD
 - 56 UNPAINTED WOOD
 - 57 UNPAINTED WOOD
 - 58 UNPAINTED WOOD
 - 59 UNPAINTED WOOD
 - 60 UNPAINTED WOOD
 - 61 UNPAINTED WOOD
 - 62 UNPAINTED WOOD
 - 63 UNPAINTED WOOD
 - 64 UNPAINTED WOOD
 - 65 UNPAINTED WOOD
 - 66 UNPAINTED WOOD
 - 67 UNPAINTED WOOD
 - 68 UNPAINTED WOOD
 - 69 UNPAINTED WOOD
 - 70 UNPAINTED WOOD
 - 71 UNPAINTED WOOD
 - 72 UNPAINTED WOOD
 - 73 UNPAINTED WOOD
 - 74 UNPAINTED WOOD
 - 75 UNPAINTED WOOD
 - 76 UNPAINTED WOOD
 - 77 UNPAINTED WOOD
 - 78 UNPAINTED WOOD
 - 79 UNPAINTED WOOD
 - 80 UNPAINTED WOOD
 - 81 UNPAINTED WOOD
 - 82 UNPAINTED WOOD
 - 83 UNPAINTED WOOD
 - 84 UNPAINTED WOOD
 - 85 UNPAINTED WOOD
 - 86 UNPAINTED WOOD
 - 87 UNPAINTED WOOD
 - 88 UNPAINTED WOOD
 - 89 UNPAINTED WOOD
 - 90 UNPAINTED WOOD
 - 91 UNPAINTED WOOD
 - 92 UNPAINTED WOOD
 - 93 UNPAINTED WOOD
 - 94 UNPAINTED WOOD
 - 95 UNPAINTED WOOD
 - 96 UNPAINTED WOOD
 - 97 UNPAINTED WOOD
 - 98 UNPAINTED WOOD
 - 99 UNPAINTED WOOD
 - 100 UNPAINTED WOOD

COPYRIGHT RESERVED
 This plan and design are, and all their remain the exclusive property of the architect and cannot be used or reproduced in any form without the written permission of the architect. All dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and materials used. The architect shall be informed of any variations from the dimension and conditions on the drawing.

REVISIONS

06.03.21	ISSUED FOR PERMITTING
06.07.20	ISSUED FOR PERMITTING
06.07.20	REVISIONS TO PERMITTING
06.06.19	ISSUED FOR PERMITTING
06.06.19	ISSUED FOR PERMITTING
06.10.14	ISSUED FOR PERMITTING

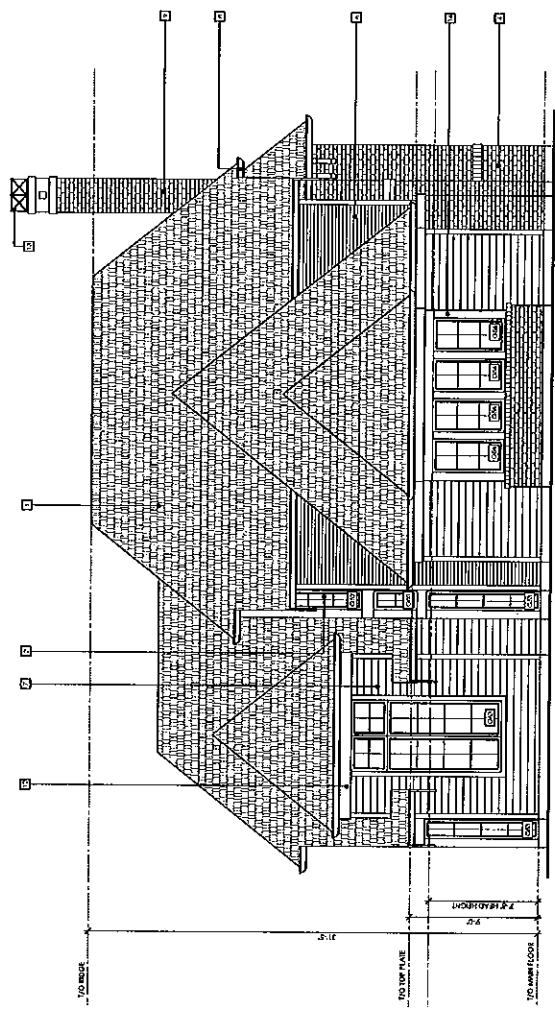


FORMWERKS ARCHITECTURAL
 1425 WINDYBROOK AVENUE
 RICHMOND, B.C. V6V 1K4
 TEL: 604-273-4441
 FAX: 604-273-2278

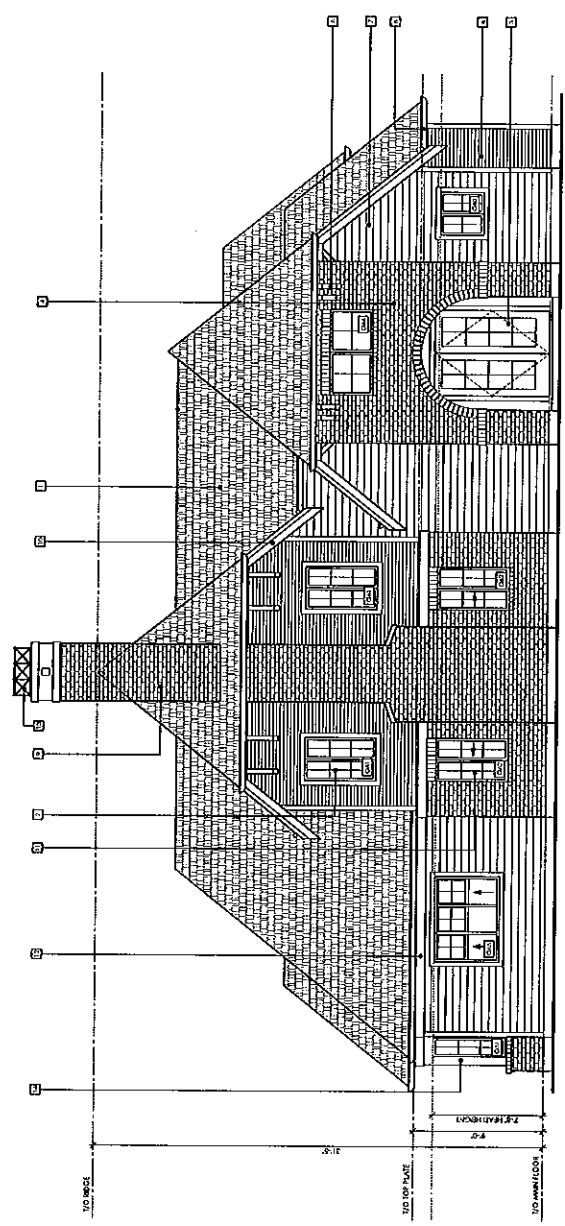
PROJECT
FISHER GATE
 9631-9791 ALEXANDRA RD.
 &
 4471-4551 NO. 4 RD.
 RICHMOND, B.C.

DRAWING
AMENITY BUILDING ELEVATIONS

SCALE	1/4" = 1'-0"	SHEET
DATE	DECEMBER 2007	A21.2
OWNER	NFC	



1. AMENITY BUILDING EAST ELEVATION
 1/4" = 1'-0"



2. AMENITY BUILDING NORTH ELEVATION
 1/4" = 1'-0"

FINISH SCHEDULE

1	EXTERNAL WALLS	PAINTED
2	INTERNAL WALLS	PAINTED
3	FLOOR FINISH	PAINTED
4	CEILING FINISH	PAINTED
5	ROOF FINISH	PAINTED
6	CHIMNEY	PAINTED
7	WOOD BRACKETS	PAINTED
8	WOOD BRACKETS	PAINTED
9	WOOD BRACKETS	PAINTED
10	WOOD BRACKETS	PAINTED
11	WOOD BRACKETS	PAINTED
12	WOOD BRACKETS	PAINTED
13	WOOD BRACKETS	PAINTED
14	WOOD BRACKETS	PAINTED
15	WOOD BRACKETS	PAINTED
16	WOOD BRACKETS	PAINTED
17	WOOD BRACKETS	PAINTED
18	WOOD BRACKETS	PAINTED
19	WOOD BRACKETS	PAINTED
20	WOOD BRACKETS	PAINTED
21	WOOD BRACKETS	PAINTED
22	WOOD BRACKETS	PAINTED
23	WOOD BRACKETS	PAINTED
24	WOOD BRACKETS	PAINTED
25	WOOD BRACKETS	PAINTED
26	WOOD BRACKETS	PAINTED
27	WOOD BRACKETS	PAINTED
28	WOOD BRACKETS	PAINTED
29	WOOD BRACKETS	PAINTED
30	WOOD BRACKETS	PAINTED
31	WOOD BRACKETS	PAINTED
32	WOOD BRACKETS	PAINTED
33	WOOD BRACKETS	PAINTED
34	WOOD BRACKETS	PAINTED
35	WOOD BRACKETS	PAINTED
36	WOOD BRACKETS	PAINTED
37	WOOD BRACKETS	PAINTED
38	WOOD BRACKETS	PAINTED
39	WOOD BRACKETS	PAINTED
40	WOOD BRACKETS	PAINTED
41	WOOD BRACKETS	PAINTED
42	WOOD BRACKETS	PAINTED
43	WOOD BRACKETS	PAINTED
44	WOOD BRACKETS	PAINTED
45	WOOD BRACKETS	PAINTED
46	WOOD BRACKETS	PAINTED
47	WOOD BRACKETS	PAINTED
48	WOOD BRACKETS	PAINTED
49	WOOD BRACKETS	PAINTED
50	WOOD BRACKETS	PAINTED
51	WOOD BRACKETS	PAINTED
52	WOOD BRACKETS	PAINTED
53	WOOD BRACKETS	PAINTED
54	WOOD BRACKETS	PAINTED
55	WOOD BRACKETS	PAINTED
56	WOOD BRACKETS	PAINTED
57	WOOD BRACKETS	PAINTED
58	WOOD BRACKETS	PAINTED
59	WOOD BRACKETS	PAINTED
60	WOOD BRACKETS	PAINTED
61	WOOD BRACKETS	PAINTED
62	WOOD BRACKETS	PAINTED
63	WOOD BRACKETS	PAINTED
64	WOOD BRACKETS	PAINTED
65	WOOD BRACKETS	PAINTED
66	WOOD BRACKETS	PAINTED
67	WOOD BRACKETS	PAINTED
68	WOOD BRACKETS	PAINTED
69	WOOD BRACKETS	PAINTED
70	WOOD BRACKETS	PAINTED
71	WOOD BRACKETS	PAINTED
72	WOOD BRACKETS	PAINTED
73	WOOD BRACKETS	PAINTED
74	WOOD BRACKETS	PAINTED
75	WOOD BRACKETS	PAINTED
76	WOOD BRACKETS	PAINTED
77	WOOD BRACKETS	PAINTED
78	WOOD BRACKETS	PAINTED
79	WOOD BRACKETS	PAINTED
80	WOOD BRACKETS	PAINTED
81	WOOD BRACKETS	PAINTED
82	WOOD BRACKETS	PAINTED
83	WOOD BRACKETS	PAINTED
84	WOOD BRACKETS	PAINTED
85	WOOD BRACKETS	PAINTED
86	WOOD BRACKETS	PAINTED
87	WOOD BRACKETS	PAINTED
88	WOOD BRACKETS	PAINTED
89	WOOD BRACKETS	PAINTED
90	WOOD BRACKETS	PAINTED
91	WOOD BRACKETS	PAINTED
92	WOOD BRACKETS	PAINTED
93	WOOD BRACKETS	PAINTED
94	WOOD BRACKETS	PAINTED
95	WOOD BRACKETS	PAINTED
96	WOOD BRACKETS	PAINTED
97	WOOD BRACKETS	PAINTED
98	WOOD BRACKETS	PAINTED
99	WOOD BRACKETS	PAINTED
100	WOOD BRACKETS	PAINTED

CONTRACT REVISIONS
 This plan and design are, and all items shown hereon, are the property of the architect and cannot be used or reproduced without written consent. Written consent shall have precedence over any verbal agreement. The architect shall not be responsible for any errors or omissions on the job. The Office shall be informed of any variation from the conditions and conditions on the drawing.

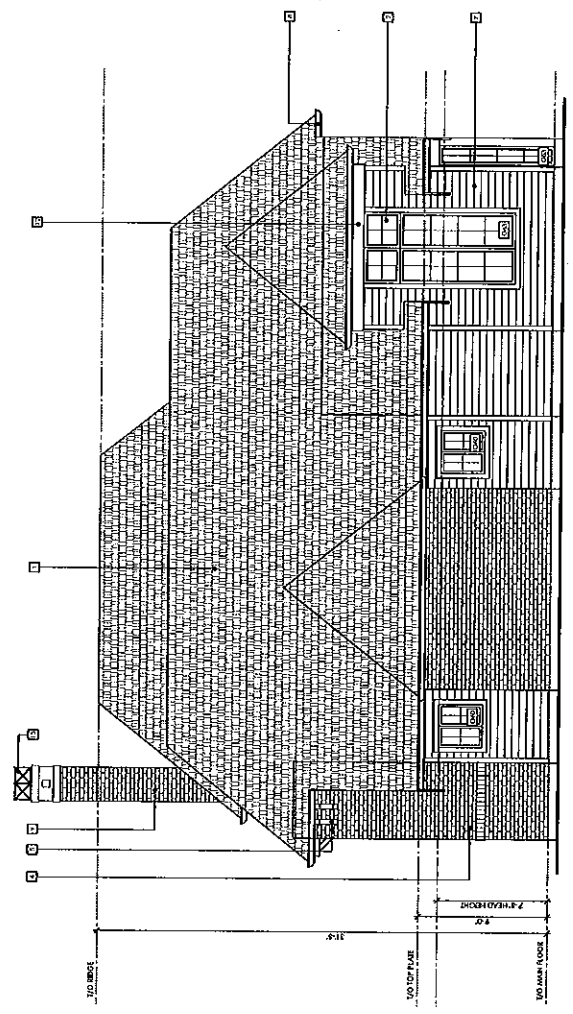
REVISIONS
 08.03.11
 08.07.11
 08.07.11
 08.07.11
 08.07.11
 08.07.11
 08.07.11



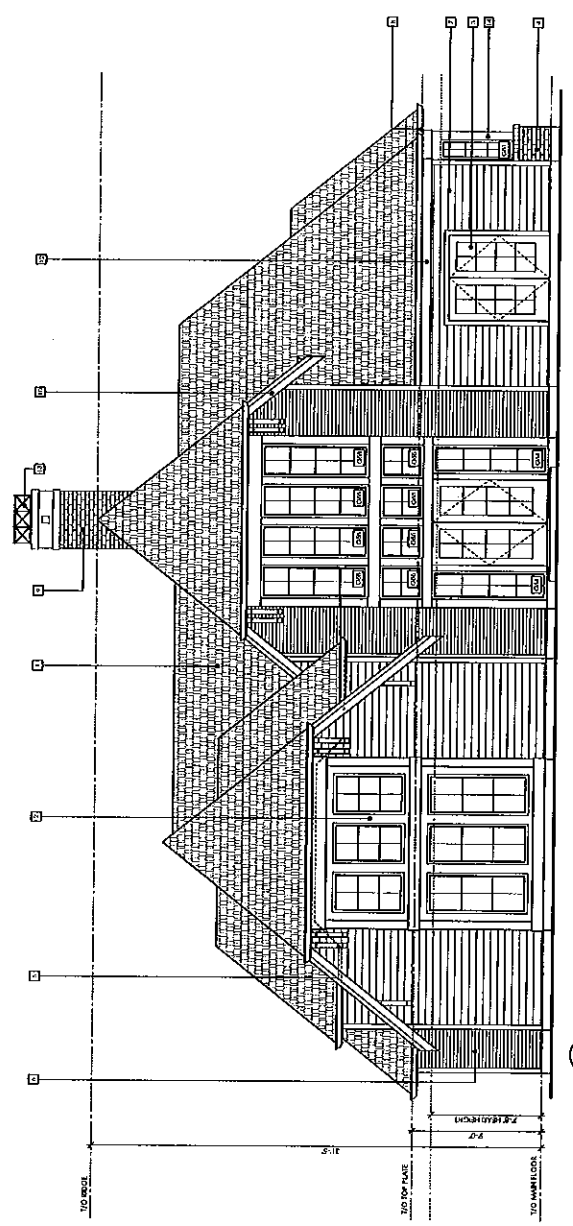
FORMWORKS ARCHITECTURAL
 1853 West 5th Ave., Richmond, B.C. V6V 1N6
 Fax: 604-278-2278
 Phone: 604-278-5441

PROJECT
FISHER GATE
 9431-9791 ALEXANDRA RD.
 4471-4555 S.O. RD.
 RICHMOND, B.C.

DRAWING
AMENITY BUILDING ELEVATIONS
 SHEET
 DRAWN BY: MFG
 DATE: DECEMBER 2007
 SCALE: 1/8" = 1'-0"
A21.3



1 AMENITY BUILDING WEST ELEVATION
 A21.3 SCALE 1/8" = 1'-0"

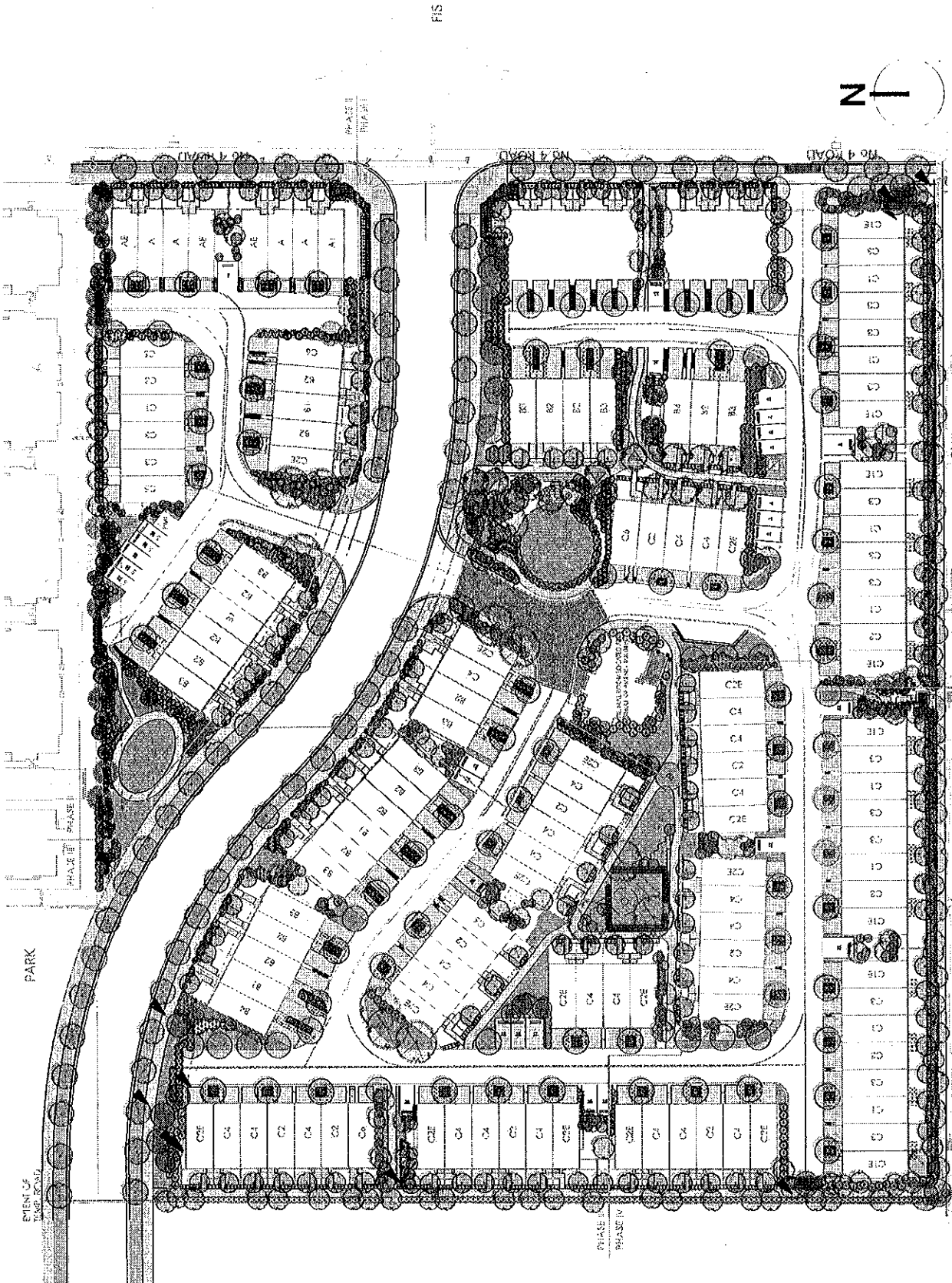


2 AMENITY BUILDING SOUTH ELEVATION
 A21.3 SCALE 1/8" = 1'-0"

FINISH SCHEDULE

1	APPLY FINISH	14	PERFORMED METAL FLASHING
2	INSULATED METAL PANEL WALL, HORIZONTAL	15	BRICK CLIP ON CHIMNEY
3	DOOR WITH VERTICAL PANEL	16	PAINTED METAL FLASHING
4	DOOR WITH VERTICAL PANEL	17	PAINTED METAL FLASHING
5	COOKING RANGE AND SINK	18	PAINTED METAL FLASHING
6	PAINTED WOOD BRACKETS	19	PAINTED WOOD TRIM
7	PAINTED WOOD BRACKETS	20	RECREATIVE CHIMNEY CAP
8	PAINTED WOOD BRACKETS	21	PAINTED EXTERIOR GRAIN PLYWOOD
9	PAINTED WOOD BRACKETS	22	PAINTED EXTERIOR GRAIN PLYWOOD

PRELIMINARY CONCEPT FOR REFERENCE



eckford + associates landscape architecture

Key Plan

Scale: 1:1000

ALEXANDRA ROAD

Project

Fisher Gate

Drawing Title

Concept Plan

Drawing Number

Drawn By

dt

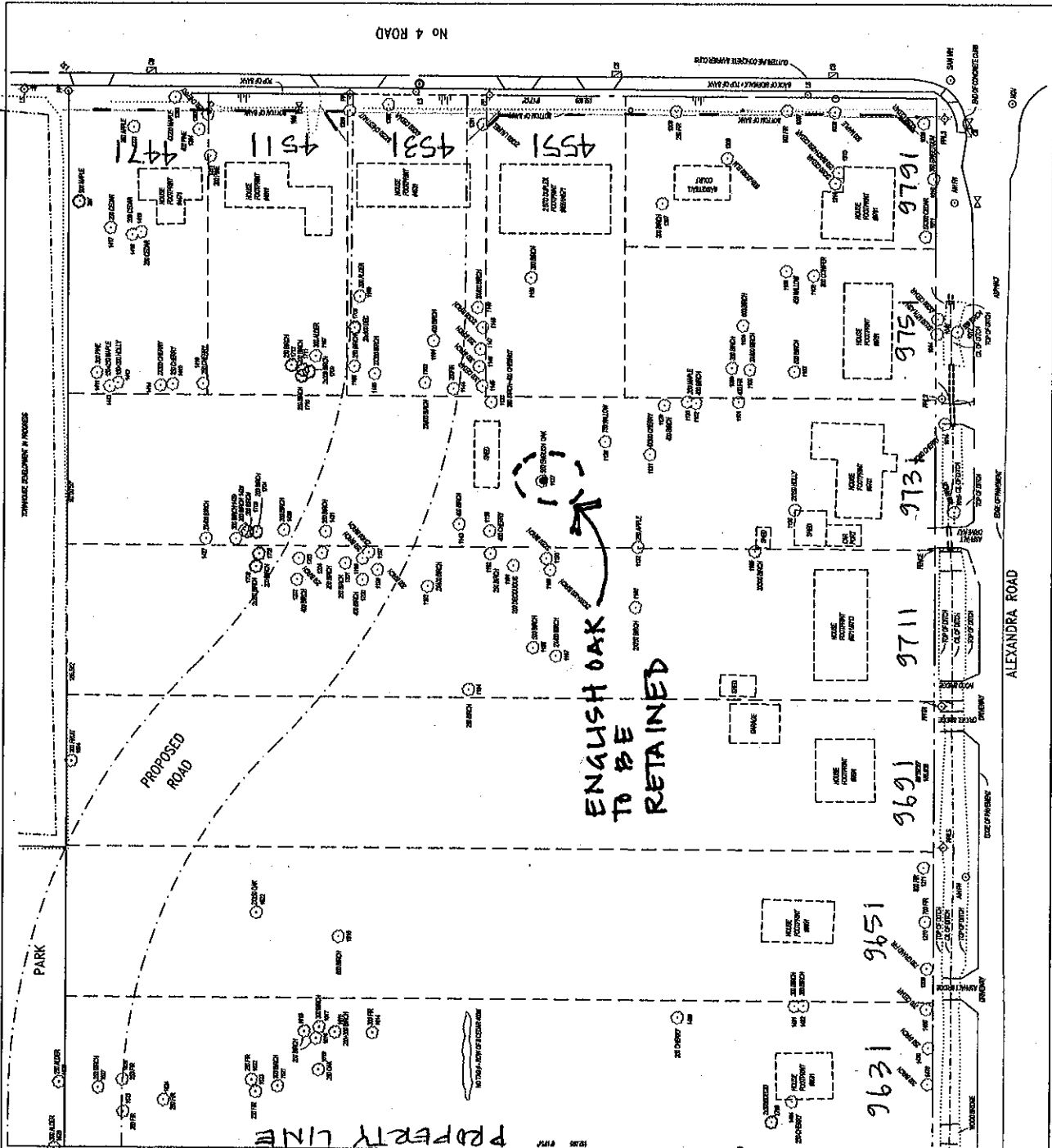
Scale

1:1000

Date

August 20.2009

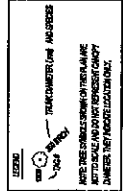
TREE MANAGEMENT PLAN



SCALE - 1: 500



Michael J. Mills Consulting
 1000 Lakeshore Blvd. West, Suite 1000, Richmond, BC V6X 1A7
 TEL: 604-273-2525 FAX: 604-273-2526
 EXISTING TREE ASSESSMENT
 SUMMARY PLAN / Appendix #1
 Proposed Multi Family Residential
 9631 - 9791 Alexandra Road
 4471 - 4551 #4 Road
 City of Richmond
 MDM File # 736 Revised February 13, 2008



EXISTING TREE
 TO BE REMOVED
 ((1) ON SITE TREE)
 () EXISTING TREE (1) TO
 BE RETAINED
 (1 ON SITE TREE)

Tree symbols provided by:
 MICHAEL J. MILLS CONSULTING
 1000 LAKESHORE BLVD. WEST
 RICHMOND, BC V6X 1A7
 TEL: 604-273-2525 FAX: 604-273-2526

* OFF-SITE TREES IN NO.4 RD BOULEVARD AND ALEXANDRA ROAD BOULEVARD TO BE PROTECTED UNTIL FRONTAGE ROAD DESIGN COMPLETE

Advisory Design Panel
ANNOTATED EXCERPT FROM DRAFT MEETING MINUTES
Wednesday, October 22, 2008

RZ 08-408107
Polygon Development 225 Ltd.
Formwerks Architectural Inc.

[The Rezoning application was presented on a preliminary basis to review site planning and the landscaping concept. Formal presentation is required as a part of the Development Permit application process and will include applicant's response to the issues raised in the Panel Decision below]

Panel Decision

It was moved and seconded

That RZ 08-408107 move forward to the Planning Committee, taking into consideration the following comments of the Advisory Design Panel:

1. consider lowering the yards along the west edge path and Alexandra Road to mitigate the grade change;
2. consider marking the end of internal drive aisles such as changing pavement materials and trellis structures to provide more identity;
3. provide greater species diversity of trees in the internal streets;
4. ensure adequate drainage for the Oak tree;
5. consider whether the corner detail of open space in the corner of Tomicki Avenue and No. 4 Road could be located to a more accessible area within the site;
6. consider adding variation to the building facades, roof form and colour in order to provide greater differentiation;
7. consider greater visual access to the play area;
8. consider locating the play area near the Oak tree;
9. consideration of the separation between blocks 10 and 12 and the public space between them;
10. ensure that the width of doors to the washrooms are 2 feet and 6 inches or greater;
11. consider using sliding door to bathrooms to improve access to the bathrooms;
12. consider eliminating glass doors to showers in the F units or provision of other means of access to the showers; and
13. consider initiating the public art process as early as possible and consideration of a theme that is appropriate for the neighbourhood, and consider an open public art competition.

CARRIED

Rezoning Considerations

9631, 9651, 9691, 9711, 9731, 9751, 9791 Alexandra Road and 4471, 4511, 4531, 4551 No. 4 Road (“the lands”)

Prior to final adoption of Zoning Amendment Bylaw 8450, the developer is required to complete the following:

1. Consolidate all the lots into one development parcel hooked lot, bisected by Tomicki Avenue, which is to be aligned with Fisher Gate east of No. 4 Road (this will require the demolition of the existing dwellings).
2. Road dedication for Tomicki Avenue, along No. 4 Road and road dedication corner cuts to the satisfaction of the City’s Transportation Division. Tomicki Avenue is to be 20 m wide, aligning with Fisher Gate to the east and curving to ultimately center on the Park Property Line to the northwest. A continuous 3 m wide Road Dedication strip is required along No. 4 Road, with 4 m x 4 m road dedication corner cuts at Tomicki Avenue.
3. Preparation of Tomicki Avenue Dedication plans for the (up to) 10 m required from the City-owned lots at 9611 Alexandra Road, 9580, 9600 and 9620 Odlin Road. This Plan is to be filed at the Land Titles Office in conjunction with the Tomicki Avenue Dedication Plan of the subject lands. Not only does this provide a legal corridor for Tomicki Avenue, it provides Polygon with a legal means to extend the sanitary sewer from Odlin Road and May Drive, to service this development site.
4. Discharge Covenant No. AE 008739 registered on title to 9751 Alexandra Road, limiting the lots land use to a two-family dwelling only.
5. Registration of a West Cambie aircraft noise sensitive use covenant on title to the lands.
6. Registration of a floodplain covenant on title to the lands (FCL Min 2.6 m GSC).
7. Registration of a public rights-of-passage (PROP) ROW on title to the lands over the pedestrian path at the west edge of the site, connecting Tomicki Avenue to Alexandra Road. Owner to be responsible for maintenance and liability. This ROW is to be discharged when alternate access is developed through the adjacent future South Parkway City park.
8. Confirmation that a Housing Agreement for 22 affordable housing units on the Cambridge Apartments development site (RZ 08-408104) has been approved by Council and registered at the Land Title Office.
9. Registration of a ‘no development’ covenant on title to the lands prohibiting a request for or issuance of a Building Permit* on Phase 1, 2 and 3 of any development on the lands until:
 - a. Issuance of Building Permits* for Cambridge Apartments Phase 1, including 11 affordable housing units equivalent to approximately 792 m² (8,519 ft²); and
 - b. Receipt of a Letter-of-Credit in the amount of \$870,000.00. This security will be returned to the applicant without interest upon final Building Permit inspection approval (occupancy) of the Cambridge Apartments Phase 1 affordable housing units associated with the subject lands (5 of the 11 affordable housing units) within 2 years of any Building Permit* issuance within Phase 1 of the subject lands. If final Building Permit inspection approval of Cambridge Apartments Phase 1 is not achieved within the 2 year timeframe outlined above, the City may cash the security as provided. Cashing of the security in no way reduces, modifies or releases the applicant’s obligation to provide affordable housing as set out in #8 above.
10. Registration of a legal agreement on title to the lands prohibiting the approval of final Building Permit inspection (occupancy) of any building in Phase 3 of any development on the lands until 11 affordable housing units, equivalent to approximately 792 m² (8,519 ft²), are constructed and final Building Permit inspection (occupancy) approved within Phase 1 of the Cambridge Apartments development.

11. Registration of a 'no development' covenant prohibiting a request for or issuance of a Building Permit* for Phase 4 (consisting of 34 units) of any development on the lands until either condition a or b outlined below is completed:
 - a. Cambridge Apartments Phase 2 is underway and affordable housing security has been provided, including:
 - i. Issuance of Building Permits* for Cambridge Apartments Phase 2, including 11 affordable housing units equivalent to approximately 814.3 m² (8,765 ft²); and
 - ii. Receipt of a Letter-of-Credit in the amount of \$870,000.00. This security will be returned to the applicant without interest upon final Building Permit inspection approval (occupancy) of the Cambridge Apartments Phase 2 affordable housing units associated with the subject lands (6 of the 11 affordable housing units) within 2 years of any Building Permit* issuance within Phase 4 of the subject lands. If final Building Permit inspection approval of Cambridge Apartments Phase 2 is not achieved within the 2 year timeframe outlined above, the City may cash the security as provided. Cashing of the security in no way reduces, modifies or releases the applicant's obligation to provide affordable housing as set out in #8 above.
 - b. Provision of affordable housing units on-site, including:
 - i. Registration of the City's standard Housing Agreement(s) on Title to the lands to secure six (6) affordable housing units (consisting of at least 444.6 m²). The terms of the Housing Agreement(s) will include:
 - one-bedroom units must have a minimum area of 58 m² (630 ft²) and may be rented at a rate of \$650/month to an eligible tenant having an annual income of \$30,500 or less;
 - two-bedroom units must have a minimum area of 63 m² (686 ft²) and may be rented at a rate of \$770/month to an eligible tenant having an annual income of \$36,000 or less;
 - three-bedroom units must have a minimum area of 83.6 m² (900 ft²) and may be rented at a rate of \$930/month to an eligible tenant having an annual income of \$42,000 or less; and
 - The agreement's term is in perpetuity.
 - ii. Registration of a legal agreement on Title to the lands to ensure the occupants of the affordable housing units, subject to the Housing Agreement referenced above, enjoy full and unlimited access and use of the indoor amenity space provided on-site;
12. Registration of a legal agreement on title to the lands prohibiting the approval of final Building Permit inspection (occupancy) of any building in Phase 4 of any development on the lands until six (6) affordable housing units (consisting of at least 444.6 m²) have received final Building Permit inspection approval (occupancy) on either the subject site or the Cambridge Apartments development site;
13. City acceptance of the developer's offer to voluntarily contribute to the City's Public Art Program Fund in the amount of \$0.60 per buildable square foot (e.g. \$117,751.80) and execution of a legal agreement confirming the terms of the contribution and provision of the Public Art.
14. City acceptance of the developer's offer to voluntarily contribute for City beautification works in the amount of \$0.60 per buildable square foot (e.g. \$117,751.80) in accordance with Policy 5044.
15. City acceptance of the developer's offer to voluntarily contribute for Community Engineering Planning Costs in the amount of \$0.07 per buildable square foot (e.g. \$13,737.70) in accordance with Policy 5044.
16. City acceptance of the developer's offer to voluntarily contribute to the City's child care fund in the amount of \$0.60 per buildable square foot (e.g. \$117,751.80) in accordance with Policy 5044.
17. Evidence of a contract with a registered arborist to the satisfaction of the City's Tree Preservation Coordinator for the protection, throughout construction, of the Oak Tree to be retained on-site, and adjacent existing trees on neighbouring properties.

18. The submission and processing of a Development Permit* completed to a level deemed acceptable by the Director of Development, including 2:1 replacement tree planting.
19. Enter into the City's standard Servicing Agreement* (SA) for the design and construction of works including, but may not be limited to:
 - a. Sanitary Sewer: At this moment the only gravity sanitary sewer line in the West Cambie neighbourhood is along Odlin Road. A sanitary system must be designed from Odlin Road to this development site, and done by not using the No. 4 Road or the future City Park. This requires the registration of all required Road Dedications and Utility ROWs for the Approved design corridor for the sanitary sewer gravity line to service this site.
 - b. No. 4 Road: From the new Property Line (PL) on the west edge of No. 4 Road, construct a new 2 m wide sidewalk at that PL, with a 1.5 m grass boulevard with street trees (species to be 7 cm Cleveland Norway Maples). At the north edge of this development site, the developer is to remove the interim transition created via SA 07-365375, building this ultimate cross-section so that the curb and gutter is at the same offset along the west edge of No. 4 Road from Odlin Road to Alexandra Road. Streetlights are to remain as a davit arm standard, but are to be designed (both sides) to properly light the widened No. 4 Road. Road widening details provided by Transportation. A Road Marking and Traffic Signs design sheet is required.
 - c. Tomicki Avenue: Construction of a full complete road with all utilities, from No. 4 Road, west to the west edge of this development site at 9631 Alexandra Road and into the new Central Park within the road dedication area to the west edge of City-owned lands at 9600 Odlin Road and 9611 Alexandra Road. Street lighting is to be Type 1 luminaires for all internal roads in West Cambie (Spec L12.5), powder coated black and spaced tighter to enhance pedestrian safety. The road construction along the West Cambie Park edge must have a minimum 6 m of asphalt but the north edge of that may not require a curb and gutter, grass boulevard with street trees and especially may not include a 2 m wide concrete sidewalk. Exact works will be determined based on a tree survey of the City-owned lands that is just being completed. The Engineering consultant should contact Fred Lin in Transportation prior to design to obtain the final cross-section required along the Park edge.
 - d. Alexandra Road: This portion of road is ultimately to be closed, but not at this time. No utility upgrades are requested. Transportation Division is requesting minor road widening with a roll curb edge, and an asphalt sidewalk along the development edge.
 - e. No. 4 Road and Fisher Gate Intersection: Provision of a special crosswalk and signal pre-ducting.
 - f. Service Connections: Design detail for the servicing of this development site is to be included in the Servicing Agreement design drawings set.
 - g. Water, Storm and Sanitary Sewer Upgrades: Any water, storm and sanitary sewer upgrades which may be required via the Capacity Analysis process are to be included via this Servicing Agreement process. At the very minimum, the results of the analysis must be presented as part of the Servicing Agreement design set.
20. Ministry of Transportation approval.

Prior to a Development Permit* being forwarded to the Development Permit Panel for consideration, the developer is required to complete the following:

- Submission of an acoustical report by a registered professional, qualified in acoustics, that the building design includes sufficient noise mitigation elements to ensure compliance with the standards set out in Section 5.4 Noise Management of the Richmond Official Community Plan (OCP) and the West Cambie Area Plan. This may include incorporation of air conditioning into the dwelling units.
- Registration of a covenant prohibiting the conversion of parking area into habitable space.

- Registration of a legal agreement ensuring that there be no access to No. 4 Road. The only means of access is to Tomicki Avenue and the secondary access to No. 4 Road is to have a locked removable barrier and be restricted to emergency vehicles only.

Prior to future Building Permit* issuance, the developer is required to complete the following:

- Payment of City-wide Development Cost Charges (DCCs) and Supplementary Local Area DCCs for the Alexandra Neighbourhood.
- Payment of this site's portion of the Alexandra Neighbourhood Development Agreement, at the Townhouse rate of \$3,307.47/unit. The rezoning application indicates there are 141 dwellings units proposed, so the amount owing will be \$466,353.27.
- Submission of a Construction Parking and Traffic Management Plan* to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Incorporation of accessibility measures for aging in place in Building Permit drawings for all units including level handles for doors and faucets and blocking in all washroom walls to facilitate future potential installation of grab bars/handrails.
- The applicant is required to obtain a Building Permit* and any other required City approval prior to erecting any construction hoarding.
- Fire flow calculations based on the Fire Underwriter Survey confirming adequate available flow.
- Certification by a registered professional that the Building Permit* includes any required noise attenuation measures in accordance with the required acoustic report.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

[signed copy in file]

Signed

Date



**Richmond Zoning and Development Bylaw 5300
Amendment Bylaw 8450 (RZ 08-408107)
9631, 9651, 9691, 9711, 9731, 9751, 9791 ALEXANDRA ROAD AND
4471, 4511, 4531, 4551 NO. 4 ROAD**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Richmond Zoning and Development Bylaw 5300 is amended by inserting into the Permitted Density provisions in Comprehensive Development District (CD/185) subsection 291.185.2 the following:
 - "02 Despite section 291.185.2.01, the reference to "0.65" in relation to the maximum **Floor Area Ratio** is increased to a higher density of "0.75" if prior to first occupancy of the **building(s)**, the owner:
 - (a) provides not less than four **affordable housing units** having the combined **habitable space** of at least 0.033 of the total maximum **Floor Area Ratio**; and
 - (b) has entered into a **housing agreement** for the **affordable housing units** with the City and registered the **housing agreement** against title to the **lot** where the **affordable housing units** are located, and filed a notice, in the **Land Title Office**."
2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning and Development Bylaw 5300, is amended by repealing the existing zoning designation of the following area and by designating it **COMPREHENSIVE DEVELOPMENT DISTRICT (CD/185)**.

P.I.D. 003-756-831

East Half Lot 18 Block "B" Section 34 Block 5 North Range 6 West New Westminster District Plan 1224

P.I.D. 003-930-611

The West Half Lot 17 Block "B" Section 34 Block 5 North Range 6 West New Westminster District Plan 1224

P.I.D. 003-864-863

East Half Lot 17 Block "B" Section 34 Block 5 North Range 6 West New Westminster District Plan 1224

P.I.D. 012-032-379

West Half Lot 16 Block "B" Section 34 Block 5 North Range 6 West New Westminster District Plan 1224

P.I.D. 003-660-613
East Half Lot 16 Block "B" Section 34 Block 5 North Range 6 West New Westminster
District Plan 1224

P.I.D. 003-677-613
Lot "F" Section 34 Block 5 North Range 6 West New Westminster District Plan 12299

P.I.D. 004-248-279
Lot "E" Section 34 Block 5 North Range 6 West New Westminster District Plan 12299

P.I.D. 008-140-774
Lot "A" Section 34 Block 5 North Range 6 West New Westminster District Plan 12299

P.I.D. 004-273-125
Lot "B" Section 34 Block 5 North Range 6 West New Westminster District Plan 12299

P.I.D. 004-344-162
Lot "C" Section 34 Block 5 North Range 6 West New Westminster District Plan 12299

P.I.D. 004-237-722
Lot "D" Section 34 Block 5 North Range 6 West New Westminster District Plan 12299

- 3. This Bylaw may be cited as "**Richmond Zoning and Development Bylaw 5300, Amendment Bylaw 8450**".

FIRST READING

SEP 28 2009

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

MINISTRY OF TRANSPORTATION AND
HIGHWAYS APPROVAL

OTHER REQUIREMENTS SATISFIED

ADOPTED



MAYOR

CORPORATE OFFICER