



City of Richmond
Planning and Development Department

**Report to
Development Permit Panel**

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: October 7, 2010
File: DP 10-539427
Re: **Application by Buttjes Architecture Inc. for a Development Permit at
13800 Smallwood Place**

Staff Recommendation

That a Development Permit be issued which would permit construction to extend the existing car dealership showroom ground floor towards the south side by 1.06 m at 13800 Smallwood Place on a site zoned Vehicle Sales (CV).

A handwritten signature in cursive script that reads 'Brian Jackson'.

Brian J. Jackson, MCIP
Director of Development

BJJ:dcb
Att. 1

Staff Report

Origin

That a Development Permit be issued which would permit construction to extend the existing car dealership showroom ground floor towards the south side by 1.06 m at 13800 Smallwood Place. The site is located within the Richmond Auto Mall and currently contains the Signature Mazda car dealership.

The purpose of the application is to update the existing Car Dealership to comply with the new Mazda image program. No adjustments are anticipated to the overall site layout or landscaping with the exception that bicycle parking spaces have been added to comply with the City's Zoning Bylaw 8500.

The site is currently zoned as Vehicle Sales (CV) and a rezoning is not required as use of the site will not change.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, east and south are other automobile dealerships within the Richmond Auto Mall;
- To the west, across Jacombs Road, is the eastern half of the Richmond Nature Park.

There are two existing buildings on the development site. The front building contains a service garage, offices and a vehicle showroom. The rear building contains an auto repair and accessory storage uses. Under this application renovations and upgrades are planned on only the front building.

With exception to the expansion of the 1.06m (3.5 ft) deep extension of the ground floor at the southern end of the front building, the footprint of the existing building will not change. The total addition is 12.45m² (134 ft²). Key elements of the renovation works on the front building include:

- replacing the roof over the showroom;
- raising a parapet to a new elevation;
- removing existing building overhangs;
- adding an outdoor bike rack and an indoor bike storage area;
- removing existing signage on the roof parapet;
- upgrades to siding in selected areas;
- replacing an existing canopy with new fascia overhang and logo signage;

- replacing the existing wood frame showroom with a new light steel structure and curtain wall glazing;
- installation of new Mazda signage on the face of the building;
- replacing existing planters;
- installing a new 10.85m high (as measured from grade of 3.5m GSC) signature tower; and
- various interior renovations including slightly raising the floor of the show room, adding new interior walls, renovations to public areas, new feature lights and flooring, etc.

Rezoning and Public Hearing Results

As no rezoning is required for this project there are no public hearing results to report.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the Vehicle Sales (CV) zoning schedule except as noted below.

Zoning Compliance/Variances

There are three aspects of the existing site layout that do not conform to the current Zoning Bylaw 8500:

- The existing rear building is only setback 5.34m from the western property line rather than 6.0 metres as required;
- Parking setbacks under the existing layout do not meet the current required property line setbacks; and
- The drive aisle widths are slightly less than the current standards for 90 degree parking.

Staff note that these existing conditions are generally consistent with previous approvals under DP85-167 and therefore no variances are required for the proposed development permit.

Advisory Design Panel Comments

As the redevelopment involves only a minor addition to the existing building, and the overall massing and siting of the buildings are not affected by the works, the application was not forwarded to the Advisory Design Panel for review.

Analysis

Richmond Auto Mall Association Approval

In response to a submission from Knoblauch Construction Services in August, 2010 (letter on file), the Richmond Auto Mall Association Board of Directors approved the renovation works as meeting RAMA's design standards (pers. comm. with Gail Terry, RAMA General Manager, Sept 20, 2010).

Aircraft noise

The site is located within Aircraft Noise Sensitive Area 1B which restricts New Residential Land Uses. As the existing and proposed uses for the site are commercial only, no requirements have been sought in relation to the Aircraft Noise Sensitive Development Policy.

Frontage / Utility Upgrades

Development Applications – Engineering staff have indicated support for the application noting that, as it primarily involves a small addition to the showroom, frontage improvements are not warranted.

Flood Protection

The subject property is located in an area where the flood plain construction level is 2.9m GSC. Building Approval staff have advised that, as the proposed addition to the existing structure is less than 25% of the existing building, the addition can be set at the same elevation as the existing structure. The submitted plans show the existing building's slab elevation is at 3.0 m GSC and the proposed top of slab for the showroom will be set slightly higher at 3.5m GSC. Both these areas exceed the elevation requirements under the Flood Plain Designation and Protection Bylaw 8204.

Given that the development will result in a relatively small addition to the structure and that the existing facility is above the required Flood Construction Level of 2.9m GSC, the registration of a flood plain covenant on title is not being required as a condition of Development Permit approval for this project. If appropriate, a flood plain covenant will be sought with future substantive redevelopment of the site.

Conditions of Adjacency, Urban Design and Site Planning

- The minor renovation and proposed renovation changes will have no impact upon conditions of adjacency or site planning.

Architectural Form and Character

- The updating of the show room will freshen the building's appearance from the street and will create a more open sunlit interior space.

Landscape Design and Open Space Design

- The upgrades include the addition of both exterior and interior bicycle parking stalls that will comply with the provisions of the Zoning Bylaw 8500.
- No trees are impacted by the proposed works.
- Staff explored the possibility of enhancing landscaping at the south-west corner of the site which also serves as the entrance gateway to the Richmond Auto Mall. Staff followed up with direct discussions with the General Manager for the Auto Mall who advised that RAMA will be looking at a complete reworking of the vegetation landscaping along the Auto Mall frontage in the future due to significant die back of the hedging along the streetscape.

As it will make sense to review the landscaping at this corner location in the context of the changes that will be made along the entire streetscape in the future and, as the General Manager for RAMA has indicated they will review the entrance area in conjunction with their frontage improvement works, no further landscape improvements are sought with this application. Parks staff have been alerted to the future street frontage works and contact

information has been provided to the General Manager for the Auto Mall for when they are ready to proceed. The vegetation is within the City's right of way and the Auto Mall is committed to working with the City to address the landscaping concerns in this area.

Crime Prevention Through Environmental Design

- In the discussion on the landscape frontage changes identified by the General Manager for the Auto Mall concerns were identified regarding ongoing undesirable activity on Jacombs Road in the evenings. Staff have recommended that a Crime Prevention Through Environmental Design (CPTED) approach be part of the process for reviewing the landscape redesign along the Auto Mall street frontage with Jacomb Road when that work is undertaken.

Conclusions

Staff have reviewed the proposed works to bring the existing Signature Mazda dealership into compliance with Mazda's image program and believe the initiative will improve the attractiveness of the existing facility and have a relatively minor increase in the overall floorspace of the existing Dealership's main building.

Staff are recommending that no upgrades be required to frontage utilities or landscaping as part of this application.

Based upon its technical review, staff are recommending support for the Development Permit application for 13800 Smallwood Place.



David Brownlee
Planner 2

DCB:cas

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet**
 Development Applications Division

DP 10-539427 **Attachment 1**

Address: 13800 Smallwood Place

Applicant: Buttjes Architecture Inc. Owner: Hanbury Holdings Ltd.

Planning Area(s): East Cambie 2.11b

Floor Area Gross: 1,463.96 m²

	Existing	Proposed
Site Area:	9,630.5 m ²	Same
Land Uses:	Automobile Sales Dealership	Same
OCP Designation:	Commercial	Same
Zoning:	Vehicle Sales (CV)	Same

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.50	0.15	none permitted
Lot Coverage:	Max. 50%	12.29%	None
Building Setback – All Side Yards:	Min. 3.0 m	Exterior Side Yard: 5.33m All other sides exceed 3.0m	No variance is sought as this is a pre-existing condition approved under DP 85-167
Vehicle Setbacks	Front and Exterior Sideyard: 3.0 m Rear and Interior Sideyard: 1.5 m	Front: 1.5 m Exterior: 0 m Rear: 0 m Interior: 8.66 m	No variance is sought as this is a pre-existing condition approved under DP 85-167
Height (m):	Max. 12.0 m	10.85 m measured from slab grade of 3.5m gsc	None
Lot Size:	No minimum	N/A	None
Off-street Parking Spaces – Accessible:	2	2	None
Total off-street Spaces:	67 spaces	198 spaces including display inventory	None
Tandem Parking Spaces	not permitted	for inventory stock only	None

Loading Bays	1 medium stall	1 medium stall	None
Bicycle Stalls	Class 1: 4 spaces Class 2: 1 space	Class 1: 4 spaces Class 2: 1 space	None
Aircraft Noise Designation	Area 1B New Residential Land Uses Prohibited.	Same	None



No. DP 10-539427

To the Holder: BUTTJES ARCHITECTURE INC.
 Property Address: 13800 SMALLWOOD PLACE
 Address: 3707 FIRST AVENUE BURNABY, BC. V5C 3V6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #2 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
6. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

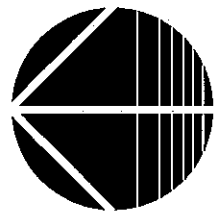
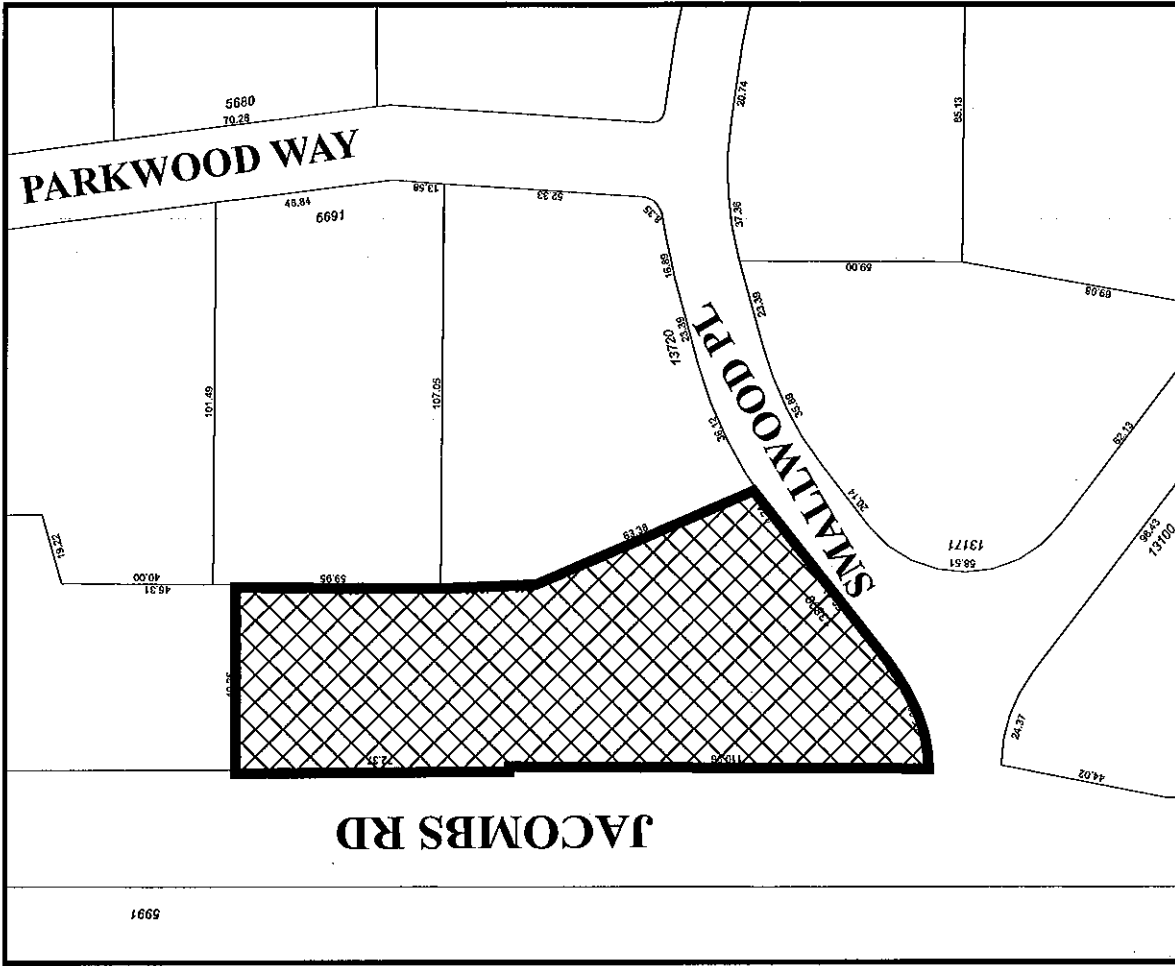
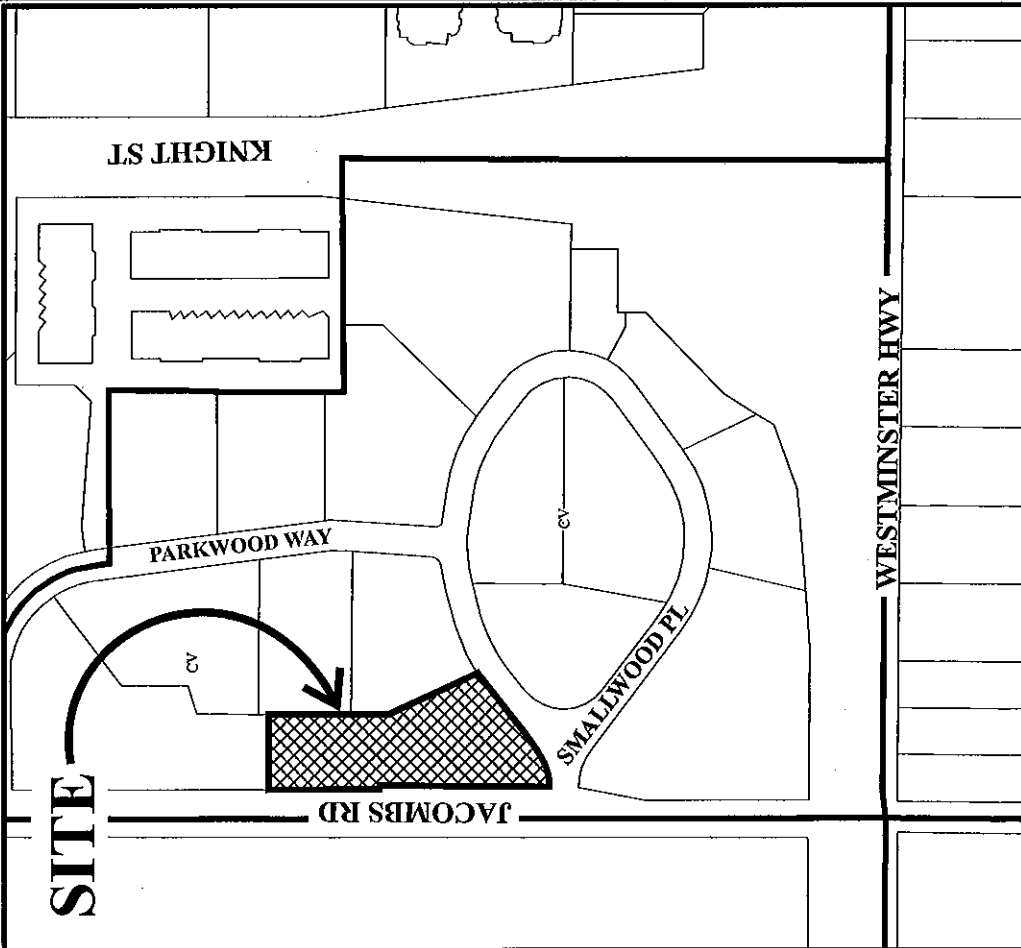
DELIVERED THIS DAY OF

MAYOR



City of Richmond

SITE

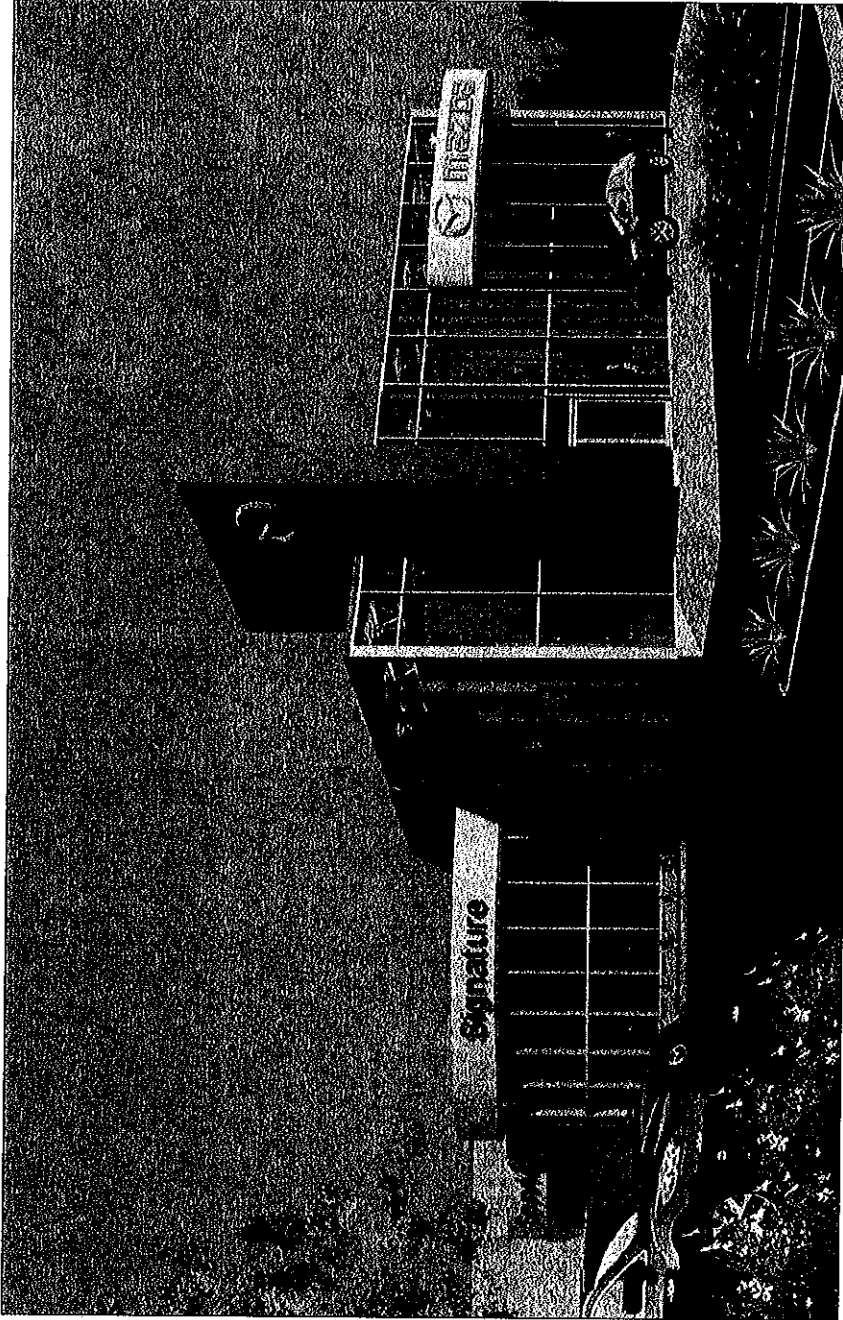


DP 10-539427
SCHEDULE "A"

Original Date: 08/09/10

Revision Date:

Note: Dimensions are in METRES



RENOVATIONS TO SIGNATURE MAZDA
13800 SMALLWOOD PLACE, RICHMOND AUTOMALL, BC

 **Buttjes Architecture Inc.**

Telephone: (604) 276-7000
Facsimile: (604) 276-8807
www.buttjesarchitecture.com
3270 First Avenue Burnaby, BC
Canada V5C 3K6

10539427

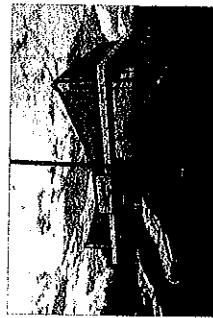
OCT 27 2010

Buffles Architecture Inc.
 10539427
 10539427



DATE	10/27/10
PROJECT	10539427
CLIENT	10539427
DESIGNER	10539427
SCALE	10539427
STATUS	10539427

VIEW ONE



VIEW TWO



Plan # 1

SITE DATA:

ADDRESS	10539427
OWNER	10539427
DATE	10/27/10
SCALE	10539427
STATUS	10539427

BUILDING STATISTICS:

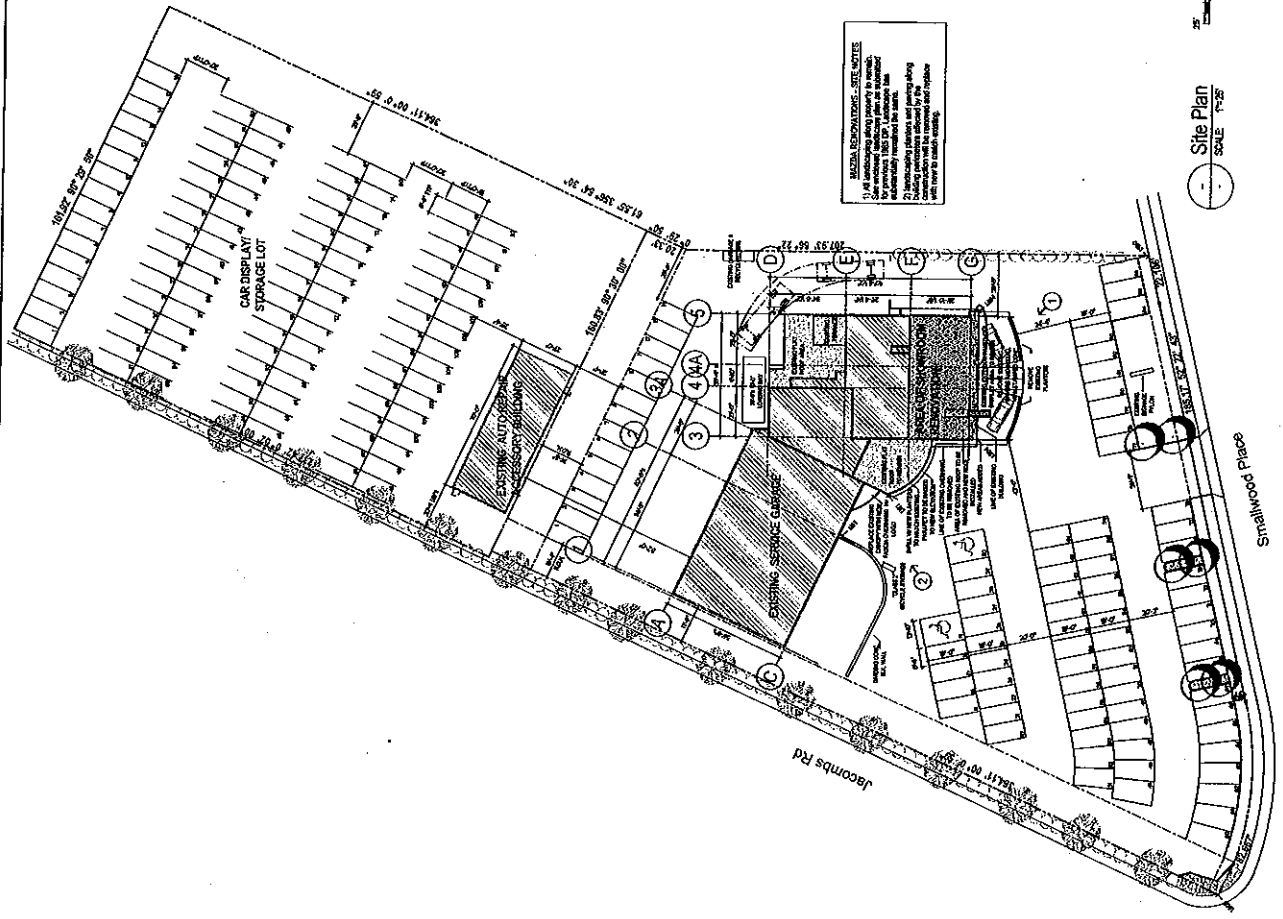
TYPE OF BUILDING	10539427
NUMBER OF FLOORS	10539427
NUMBER OF UNITS	10539427
NUMBER OF STORIES	10539427
NUMBER OF STORIES	10539427

AREA	10539427
PERCENTAGE	10539427
PERCENTAGE	10539427
PERCENTAGE	10539427
PERCENTAGE	10539427

TYPE OF WALLS	10539427
TYPE OF WALLS	10539427
TYPE OF WALLS	10539427
TYPE OF WALLS	10539427
TYPE OF WALLS	10539427

CODE ANALYSIS:

1. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 2. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 3. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 4. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 5. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 6. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 7. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 8. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 9. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 10. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.



GENERAL NOTES:
 1. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 2. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 3. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 4. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 5. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 6. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 7. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 8. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 9. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.
 10. ALL WALLS SHALL BE CONCRETE OR CMU WITH A MINIMUM OF 8" THICKNESS.



Site Plan
 SCALE: 1/8" = 1'-0"

PLAN #2

A4

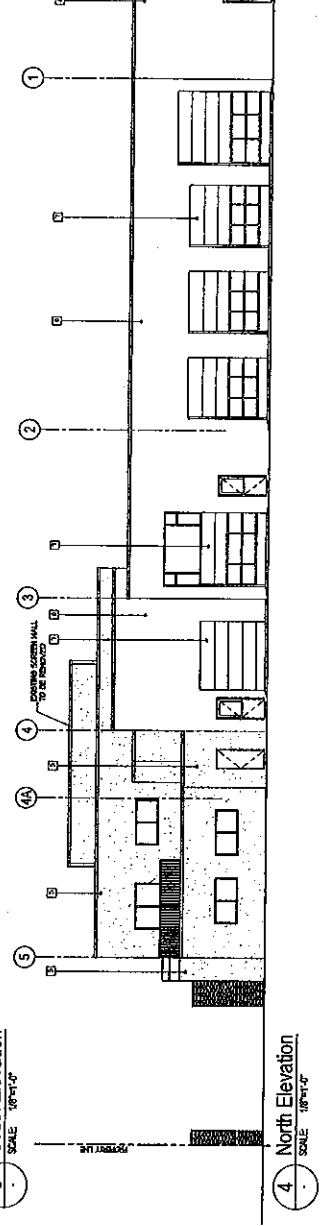
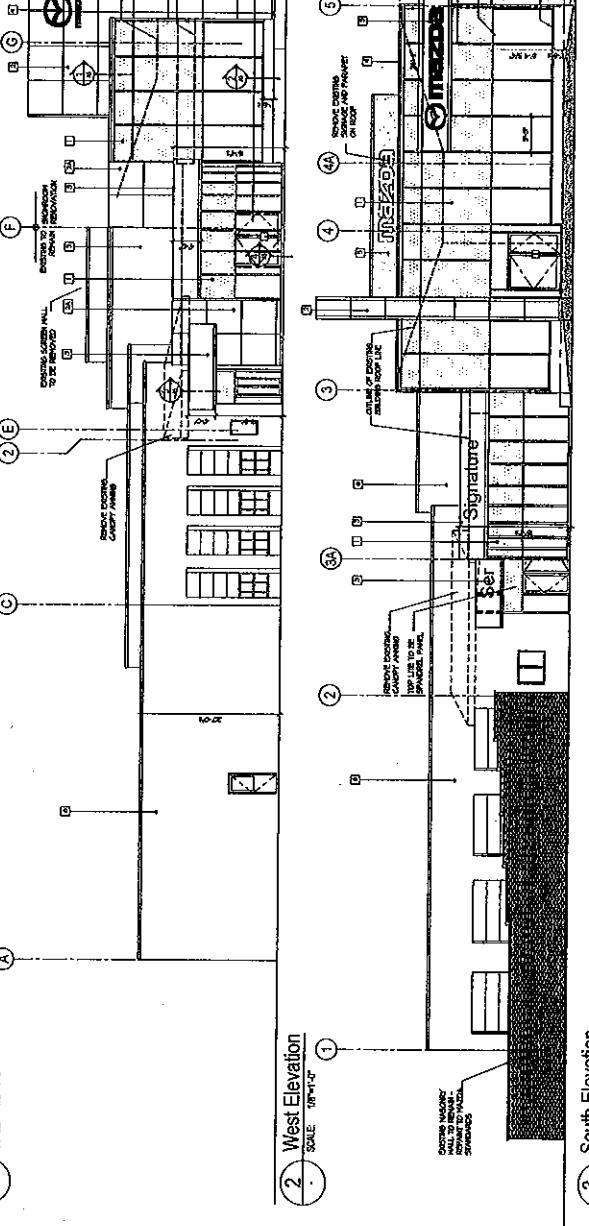
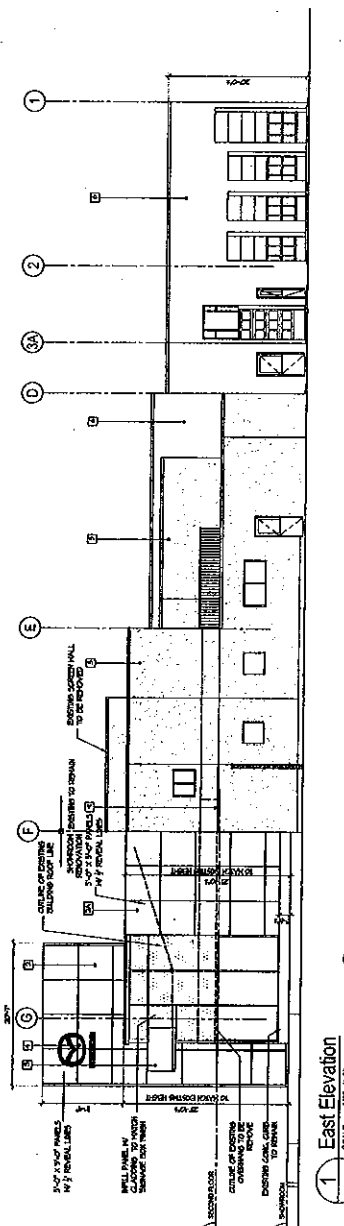
Butler's Architecture Inc.



RAM
RAM CONTRACTING INC.

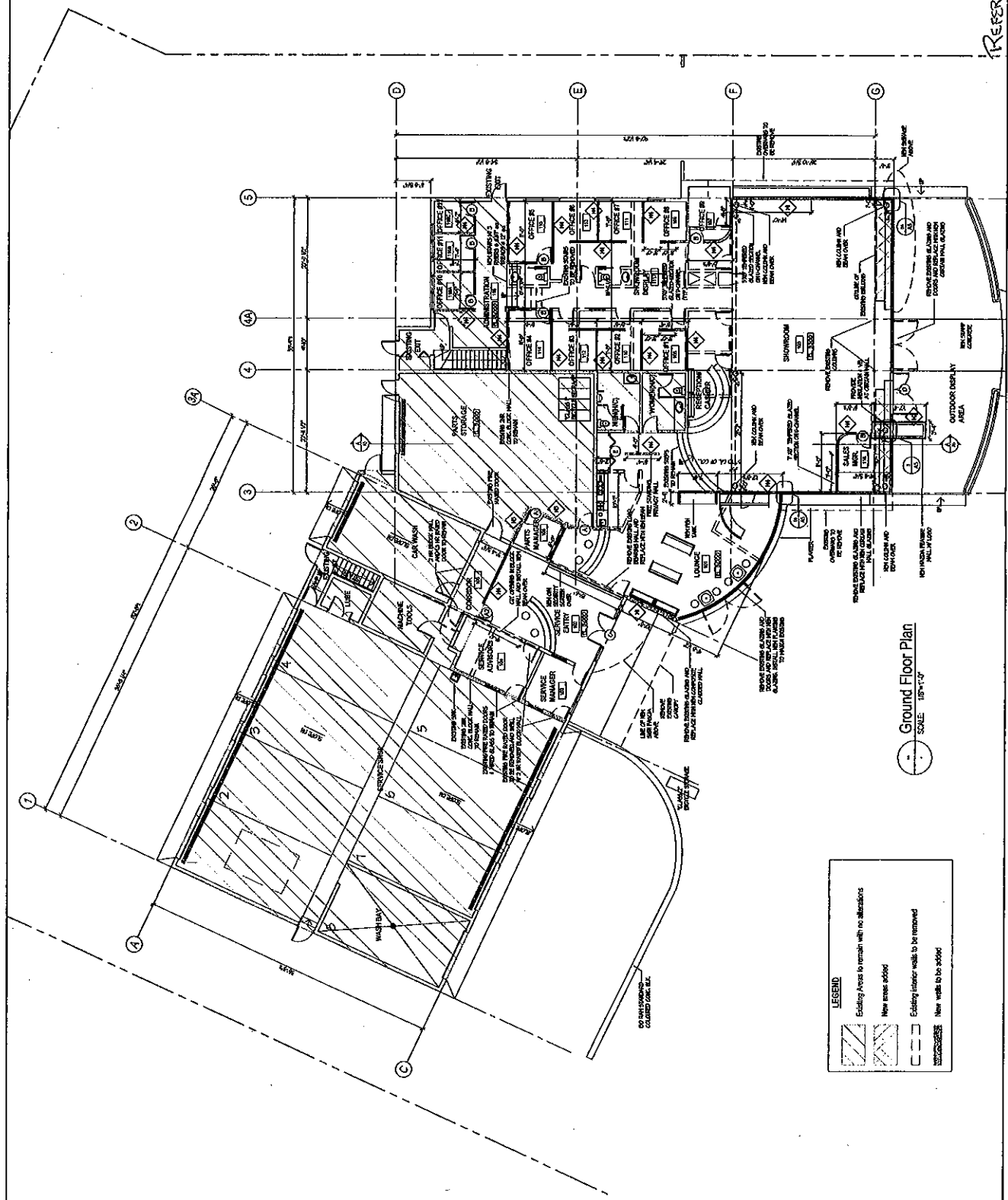
1	2	3	4	5	6	7	8	9	10	11	12	13	14
WOOD PANELS	CONCRETE	GLASS	STEEL	BRICK	STONE	SYNTHETIC STONE	PAINT	SPRAY APPLIED FINISH	ROOFING	MECHANICAL	ELECTRICAL	PLUMBING	MECHANICAL

MATERIAL LEGEND:





1. REMOVE WALL & REPLACE WITH GLASS CURTAIN WALL SYSTEM (SEE SECTION)
2. REMOVE WALL & REPLACE WITH CONCRETE BLOCK WALL SYSTEM (SEE SECTION)
3. REMOVE WALL & REPLACE WITH MASONRY WALL SYSTEM (SEE SECTION)
4. REMOVE WALL & REPLACE WITH BRICK WALL SYSTEM (SEE SECTION)
5. REMOVE WALL & REPLACE WITH STONE WALL SYSTEM (SEE SECTION)
6. REMOVE WALL & REPLACE WITH SYNTHETIC STONE WALL SYSTEM (SEE SECTION)
7. REMOVE WALL & REPLACE WITH PAINTED WALL SYSTEM (SEE SECTION)
8. REMOVE WALL & REPLACE WITH SPRAY APPLIED FINISH WALL SYSTEM (SEE SECTION)
9. REMOVE WALL & REPLACE WITH ROOFING SYSTEM (SEE SECTION)
10. REMOVE WALL & REPLACE WITH MECHANICAL SYSTEM (SEE SECTION)
11. REMOVE WALL & REPLACE WITH ELECTRICAL SYSTEM (SEE SECTION)
12. REMOVE WALL & REPLACE WITH PLUMBING SYSTEM (SEE SECTION)
13. REMOVE WALL & REPLACE WITH MECHANICAL SYSTEM (SEE SECTION)
14. REMOVE WALL & REPLACE WITH MECHANICAL SYSTEM (SEE SECTION)



			
RAM 1000 MARKET STREET SAN FRANCISCO, CA 94102 TEL: 415.774.2500 WWW.RAMARCHITECTS.COM		Bullitts Architecture Inc. 1000 MARKET STREET SAN FRANCISCO, CA 94102 TEL: 415.774.2500 WWW.BULLITTSARCHITECTS.COM	



LEGEND

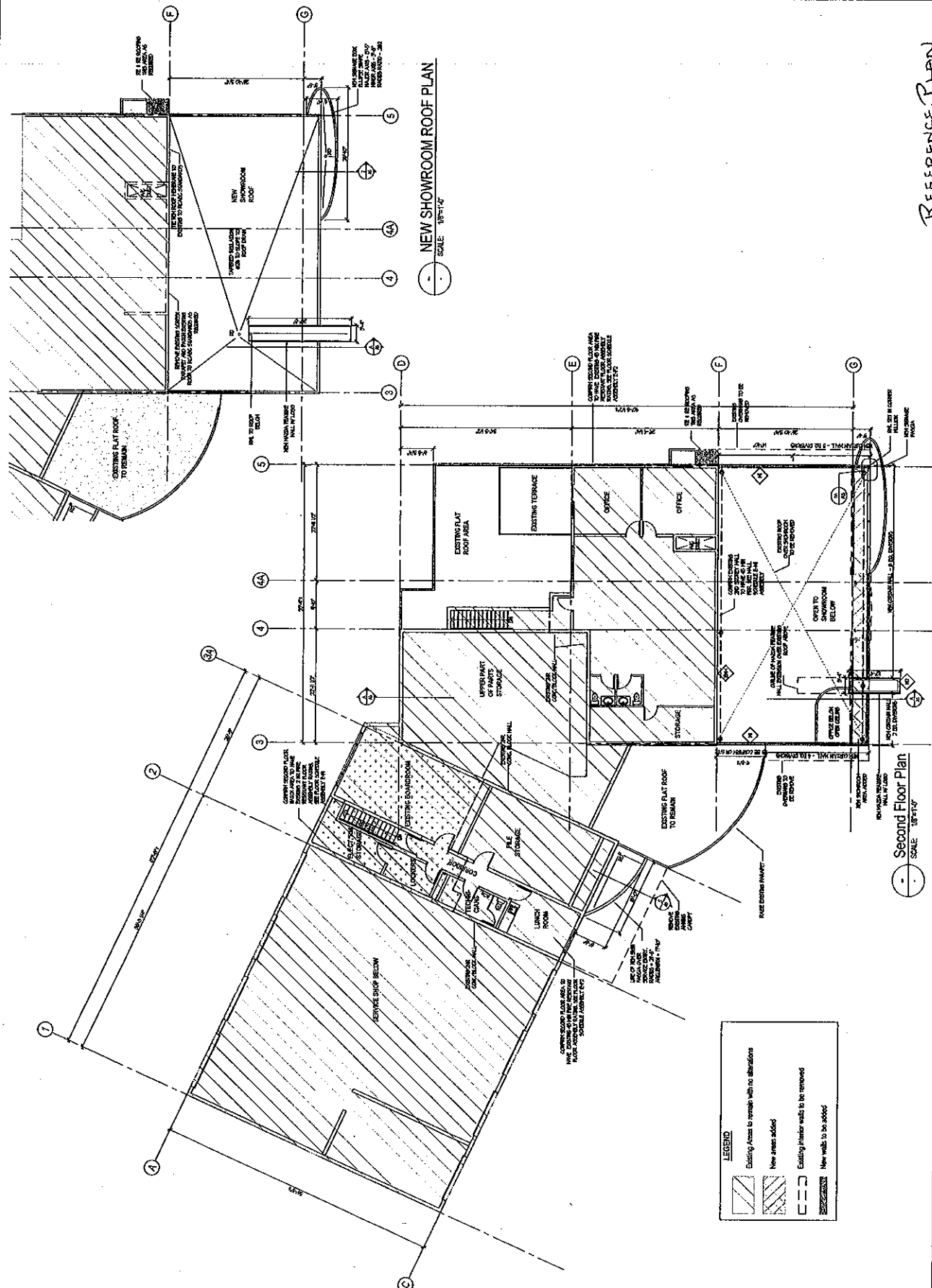
	Existing Areas to remain with no alterations
	New areas added
	Existing interior walls to be removed
	New walls to be added

Ground Floor Plan
SCALE: 1/8"=1'-0"

Buffus Architecture Inc.



1	EXISTING ROOF
2	NEW ROOF
3	NEW WALL
4	NEW DOOR
5	NEW WINDOW
6	NEW FLOOR
7	NEW CEILING
8	NEW LIGHTING
9	NEW MECHANICAL
10	NEW ELECTRICAL
11	NEW PLUMBING
12	NEW HVAC
13	NEW INSULATION
14	NEW SOUNDING
15	NEW FINISHES
16	NEW PARTITIONS
17	NEW STAIRS
18	NEW ELEVATORS
19	NEW CORES
20	NEW STRUCTURE



NEW SHOWROOM ROOF PLAN
SCALE: 1/8"=1'-0"

Second Floor Plan
SCALE: 1/8"=1'-0"

LEGEND

	Existing Areas to remain with no alterations
	New areas added
	Existing partial walls to be removed
	New walls to be added

Vaughan Durant Ltd

1000 BAYVIEW AVE
SCARBOROUGH, ONTARIO
M1S 1B7

UNDESIGNED
SCHEDULED
DATE: 10/27/10

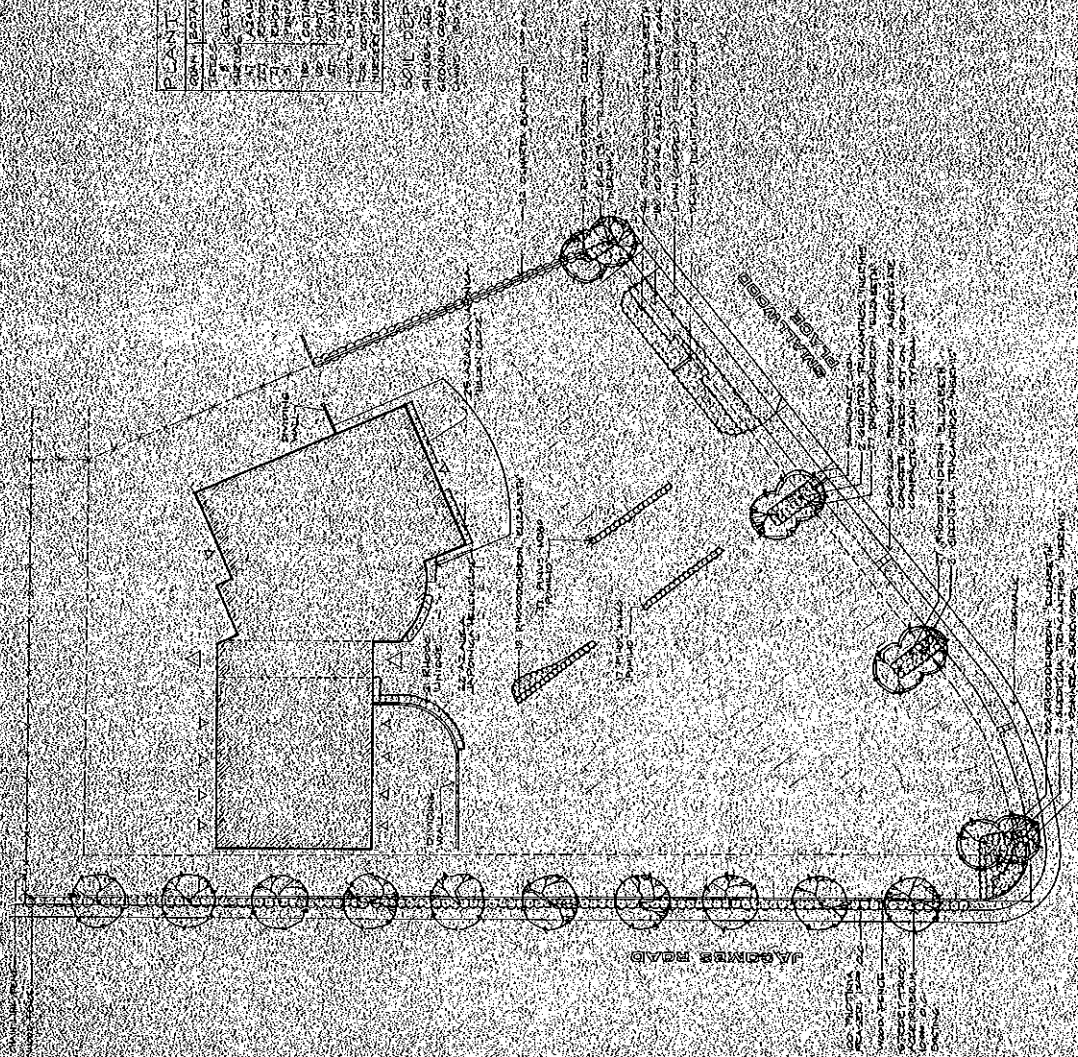
PLAN / SET	DATE / TIME	REVISIONS
1.000	10/27/10	1.000
1.001	10/27/10	1.001
1.002	10/27/10	1.002
1.003	10/27/10	1.003
1.004	10/27/10	1.004
1.005	10/27/10	1.005
1.006	10/27/10	1.006
1.007	10/27/10	1.007
1.008	10/27/10	1.008
1.009	10/27/10	1.009
1.010	10/27/10	1.010

SOIL: BENTONIC
CLAY / SILT
SANDY CLAY
SANDY SILT

DP SET

SCALE

REVISIONS PLAN



JACOB ROAD