



City of
Richmond

Report to Development Permit Panel
Planning and Development Department

To: Development Permit Panel **Date:** June 21, 2012
From: Brian J. Jackson, MCIP **File:** DP 11-594571
Director of Development
Re: **Application by Ampar Ventures Ltd. for a Development Permit at 9451, 9491, 9511, 9531, 9551 Bridgeport Road and 9440, 9460, 9480 Beckwith Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of a phased, mixed-use development consisting of 2 hotel towers (9 and 12 storeys) plus an office tower (11 storeys) with a total floor area of 36,547.5 m² located at 9451/ 9491/ 9511/ 9531/ 9551 Bridgeport Road and 9440/ 9460/ 9480 Beckwith Road on a site zoned "Light-Industrial, Office and Hotel (ZI10) – Bridgeport Village (City Centre)".

A handwritten signature in blue ink that reads "Brian Jackson".

Brian J. Jackson, MCIP
Director of Development

BJJ:bg
Att. 5

Staff Report

Origin

Ampar Ventures Ltd., has applied to the City of Richmond for a Development Permit to construct a phased, mixed-use development consisting of 2 hotel towers (9 and 12 storeys) plus an office tower (11 storeys) with a total floor area of 36,547.5 m² located at 9451/ 9491/ 9511/ 9531/ 9551 Bridgeport Road and 9440/ 9460/ 9480 Beckwith Road on a site zoned "Light-Industrial, Office and Hotel (ZII0) – Bridgeport Village (City Centre)".

A separate Servicing Agreement is required for frontage improvements along Bridgeport Road, Beckwith Road and the new north-south lane connecting Bridgeport Road and Beckwith Road, together with the required infrastructure (sanitary, water and stormwater) upgrades and site service connections to the property lines. The applicant has agreed to the requirements of the Servicing Agreement.

Project Description

The site is located between Bridgeport Road and Beckwith Road, immediately east of the Highway 99 viaduct/Oak Street Bridge. The existing 8 lots will be consolidated to create 3 separate development parcels situated along a new north-south public lane connecting Bridgeport Road and Beckwith Road. Each of the 3 phases will consist of 1 tower building (2 hotels and 1 office), which face the new north-south lane. The 2 hotels will have frontage along Bridgeport Road while the business centre/office building will have frontage along Beckwith Road. A parkade structure will be constructed in conjunction with the second phase of development with the business centre and contains 4 levels of parking located in a podium structure under the office building and extending to the west property line.

Phase	Type of Land Use	No. of Storeys	Gross Floor Area (m ²)	Net Floor Area (m ²)	No. of Rooms	Parking Required	Parking Provided
1	Hotel 1 (rooms, restaurant, lounge & amenities)	9	7,793.9 m ²	7,374.4 m ²	122	75	75
2	Business Centre (light-Industrial & office space)	12	21,486.5 m ²	11,950.2 m ²	-	242	256
3	Hotel 2 (rooms, restaurant, lounge & amenities)	11	10,388.5 m ²	9,886.2 m ²	167	99	99
Totals	-	-	39,668.9 m²	29,210.8 m²	289	416	430

The proposed hotels contain a total of 289 rooms with a total floor area of 18,051.5m² including space for restaurants, lounges, and kitchen uses plus conference and meeting spaces as well as lobby, amenity and administrative spaces. The proposed business centre contains a total floor area of 10,245.2m² for office and light industrial spaces plus meeting and restaurant uses. The ground floor of the business centre has a floor to ceiling height of 4.5m in order to accommodate light industrial uses while the upper 11 storeys are proposed as office space.

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- **To the North:** is an area of typically older, large single family residential lots some occupied and some vacant that are zoned “Single-Family Housing District, Subdivision Area F (R1/F)” plus 1 lot currently zoned “Auto-Oriented Commercial (CA)”. This area is designated “Business and Industry” in the OCP and “General Urban – Transect 4 (25m) Area B – Industrial Reserve: Limited Commercial” in the City Centre Area Plan (CCAP) – Bridgeport Village;
- **To the East:** along the north half of the east property line is 1 single family residential home zoned “Single-Family Housing District, Subdivision Area F (R1/F)” and along the south half of the east property line are four large retail/commercial buildings totalling approximately 6912 m² with Auto-Oriented Commercial (CA) zoning. This area is designated “Business and Industry” in the OCP and “General Urban – Transect 4 (25m) Area B – Industrial Reserve: Limited Commercial” in the CCAP – Bridgeport Village;
- **To the South:** across Bridgeport Road is vacant land and the ramp access to and from Highway 99 zoned “School and Institutional Use (SI)”, a 5-storey hotel zoned Auto-Oriented Commercial (CA) and further beyond across Highway 99 are single family homes within the West Cambie Plan Area with “Single-Family Housing District, Subdivision Areas B and E (R1/B and R1/E)” plus 1 lot with Two Unit Dwellings (RD1) zoning. The hotel property is designated “Commercial” in both the OCP and the West Cambie Area Plan (WCAP) while the residential lots are designated “Neighbourhood Residential” in the OCP and “Residential (Single Family Only)” in the WCAP, and
- **To the West:** are remnant older, large single-family residential lots some occupied and some vacant zoned Single Detached Residential (RS1/F) and beyond the Oak Street Bridge viaduct is a 7-storey hotel currently zoned Hotel Commercial (ZC1) – Aberdeen Village (City Centre). This area is designated “Business and Industry” in the OCP and “General Urban – Transect 4 (25m and 35m) Area B – Industrial Reserve: Limited Commercial” in the CCAP – Bridgeport Village.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

1. Final acceptance from MOTI regarding the proposed development site access/egress configuration to/from Bridgeport Road.

The applicant submitted truck-turning templates superimposed on the proposed Bridgeport Road driveway configuration, which were submitted to MOTI for comment. MOTI has requested minor changes and the applicant has revised the design accordingly. An existing road and public lane – Public Right of Passage – Statutory Right of Way (PROP-SRW) connection through the adjacent property to the east (Airport Gateway Plaza at 9711 Bridgeport Road) is also required by MOTI to provide an alternate interim access to the subject site from Bridgeport Road to Beckwith Road, which involves the removal of bollards along Beckwith Road and this was agreed to by the adjacent property owner.

The Public Hearing for the rezoning of this site was held on December 20, 2011. At the Public Hearing, there were no comments from the public but there was 1 written response received from Mr. Barry Walsh living at 9520 Beckwith Road, adjacent to the east side of the proposed development site. The following concerns about rezoning the property were expressed:

1. Concern regarding possible damage to adjacent residential buildings at 9520 Beckwith Road resulting from construction activity on the proposed development site.
2. Clarification regarding the buffering and screening between the proposed development and an existing single-family residential lot immediately to the east at 9520 Bridgeport Road.

Staff worked with the applicant to address these issues in the following ways:

1. *The applicant/developer explained that a detailed pre-construction survey of adjacent buildings would be conducted together with monitoring during construction and followed by a post-construction survey to determine if any damage was caused to adjacent buildings by construction activity on the development site. The applicant/developer would be responsible to correct or repair any verifiable damage to adjacent buildings caused by construction activity on the development site.*
2. *The residential lot immediately to the east of the development site on Beckwith Road will be buffered and screened from the proposed development site as follows:*
 - *The proposed office tower fronting Beckwith Road is situated 19 m away from the east or side property line while the proposed hotel 1 tower fronting Bridgeport Road is sited 16 m away from the rear or south property line to create greater separation between the proposed buildings and the existing single family residential lot at 9520 Beckwith Road;*
 - *The side or east yard buffering and screening for 9520 Beckwith Road from east to west includes retention of the existing residential fence along the shared property line, a 1.5 m wide planting strip complete with a solid evergreen hedge at minimum 3.5 m height when planted, a 1.5 m wide sidewalk complete with partial overhead metal trellis system and vine planting, a 5.5m wide perpendicular parking stalls, a 9 m wide PROP-SRW lane and approximately 1.5 m of foundation planting at the base of the proposed office tower; and*
 - *The rear or south yard buffering/screening from north to south includes the retention of the existing residential fence along the shared property line, a 5.5 m wide planting strip including the retention of 15 existing large coniferous trees straddling the property line with 9520 Beckwith Road, a 7.5 m wide internal site drive aisle and a 3m wide parallel loading/parking area on the north side of the proposed building.*

Staff Comments

This development proposal has addressed the urban design form and character issues and other staff comments identified as part of the Development Permit application review process. In addition, it complies with the intent of the applicable sections of the Official Community Plan, conforms to the applicable sections of the Richmond Zoning Bylaw and is in generally in compliance with the Development Permit Design Guidelines.

Advisory Design Panel Comments

The Advisory Design Panel was in support of this Development Permit application. A copy of the relevant excerpt from the Advisory Design Panel Minutes from December 8, 2011 is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

To the north: across Beckwith Road is an area of typically older, large single family residential lots some occupied and some vacant. This is an area in transition from residential to light industrial uses and there are no contentious issues anticipated at the interface of these areas.

To the east: are 2 separate properties (1 fronting Bridgeport Road and 1 fronting Beckwith Road.

1. 9711 Bridgeport Road: The Airport Gateway Plaza is located immediately to the east of the subject site. This is an existing 7.4-acre, retail/commercial development consisting of 4 separate buildings (Michael's, Tim Horton's, Pier 1 Imports, and Office Depot/Golf Town). Cape Development Corporation, the developer of the Airport Gateway Plaza has indicated support for this development proposal.
2. 9520 Beckwith Road: This RS1/F zoned residential lot is located between the Airport Gateway Plaza and the proposed development. Cape Development Corporation conducted property negotiations with the owner of 9520 Beckwith Road at the time the Airport Gateway Plaza development came forward (approximately 10 years ago), but no agreement could be reached on the sale/purchase price. In order to minimize the impacts of the proposed development on 9520 Beckwith Road, the developer of the subject site has:
 - a) Attempted to purchase 9520 Beckwith Road and incorporate this lot into the overall proposed development but the 2 parties could not agree on a sale/purchase price.
 - b) Demonstrated that 9520 Beckwith Road can be redeveloped in the future as a light-industrial/office site with a comparable FAR to the proposed development (i.e., 6 storeys with 2 levels of parking and 4 levels office/light-industrial space). These conceptual redevelopment plans for 9520 Beckwith Road are on file with the City.
 - c) Allowed for future vehicle access/egress for 9520 Beckwith Road via a separate east-west SRW aligned with the east-west parkade driveway adjacent to and parallel with Beckwith Road connecting to the north-south PROP-SRW.
 - d) Provided increased separation between the proposed buildings on the subject site and the property lines with 9520 Beckwith Road (i.e. minimum 16.52m from the 9-storey Hotel 1 in phase 1 and 19.77m from the 12-storey Business Centre in phase 2).
 - e) Retained a grove of 15 large coniferous trees straddling the south property line of 9520 Beckwith Road; and
 - f) Proposed a continuous hedgerow of columnar coniferous trees (minimum 3.5m high at time of planting) along the north-south shared property line with 9520 Beckwith Road.

This project has been reviewed with the owner of 9520 Beckwith Road, who indicated support for the proposed development.

To the south: Across Bridgeport Road is the access road to and from Highway 99 plus the Highway 99/Oak Street bridge/viaduct, an existing 5-storey hotel (i.e. Sandman Inn at 3233 St. Edwards Drive) and beyond Highway 99 are residential lots.

To the west: is the Highway 99/Oak Street bridge/viaduct and beyond is the Holiday Inn Express. Fronting Beckwith Road is an adjacent residential lot at 9420 Beckwith Road. The proposed parkade associated with the office tower in phase 2 of the proposed development is located along a portion of the west property line shared with 9420 Beckwith Road. This lot is currently the subject of a rezoning application for a proposed 5-storey Philippine Cultural Centre (RZ 09-506899), which is currently located immediately adjacent to the proposed parkade structure on the subject site and designed accordingly. The proponents of the Philippine Cultural Centre are aware of the proposed parkade structure on the subject site and have no objections.

Transportation & Traffic:

Dedications & Public Rights of Passage – Statutory Right of Ways (PROP-SRW's): Through the rezoning process the applicant agreed to provide a 0.65m wide dedication along Bridgeport Road, a 2.0m wide dedication along Beckwith Road and a 9.0m wide north-south PROP-SRW lane, as a new connection between Bridgeport and Beckwith Roads. The driving surface of this PROP-SRW lane will consist of cast-in-place concrete paving with a sandblast finishing and saw-cut jointing while the sidewalks will conform to the City standard (cast-in-place concrete with broom finish). This decorative paving will extend into both hotel porte-cochere areas while the paving treatment of surface parking stalls will be permeable unit pavers. The owner/developer is responsible for maintenance of the PROP-SRW.

Site Access: As required by MOTI, the applicant will provide a solid, raised centre median along Bridgeport Road, which will restrict site access to right-in and -out vehicle movements along Bridgeport Road. Access for eastbound traffic along Bridgeport Road will be via Great Canadian Way and/or Gage Road to Beckwith Road and then to the subject site. MOTI also requires an alternative access route from the signalized intersection serving the Airport Gateway Plaza (9711 Bridgeport Road) via a partially constructed road and a PROP-SRW lane through this retail/commercial development to Beckwith Road and then to the subject site. This alternative access route through Airport Gateway Plaza is an interim measure until Beckwith Road can be connected to No. 4 Road, which in turn permits the partially completed road through the Airport Gateway Plaza to be connected with Beckwith Road. There is an existing PROP-SRW across the Airport Gateway Plaza for this future road connection but there is one (1) remnant, large single-family residential lot located at 9571 Beckwith Road and one (1) smaller single-family residential lot at 2511 No. 4 Road, which currently precludes the extension of Beckwith Road to No. 4 Road.

Parking: The applicant has provided a supportable rationale for shared parking between the hotel and office uses for this phased development proposal, since it is anticipated that the peak parking for the office use will occur during weekdays from 8 to 5 p.m. while the peak parking for the hotels will be during weekday evenings and on weekends. Accordingly, staff supports parking reductions from the zoning bylaw requirement for shared parking between the hotel and office / light-industrial uses, in consideration of the proposed Transportation Demand Measures (TDM) being provided in association with the subject development. Appropriate legal agreements to facilitate the shared parking arrangement have been secured through the rezoning process.

Phases	Bylaw Required Parking	Required Parking based on allowance for Shared Office/Hotel Parking		Required Parking with allowance for Shared Parking & TDM Measures	Proposed Parking (by Phase)	
		Monday to Friday 8am to 5pm	All Other Times			Total
Hotel 1	83	70% reduction = 59	83	10% reduction = 75	On-site at-grade = 49 (+26 In Phase 2)	75
Business Centre	315	315	15% reduction = 268	10% reduction = 242	On-site at-grade = 33 Parkade = 286 Sub-Total = 319 (Allocated for Phase 1) -26 (Allocated for Phase 3) -37 Total On-site = 256	256
Hotel 2	109	70% reduction = 77	109	10% reduction = 99	On-site at-grade = 62 (+37 in Phase 2)	99
Total	507	451	460	416		430

Phasing: This development will be phased according to the following sequence Hotel 1, Business Centre and Hotel 2 (i.e., the Business Centre must be constructed before Hotel 2). Sufficient parking is provided for each phase as development proceeds. During the phased construction process the applicant proposes the following interim landscape treatment of the undeveloped parcels: retention of existing trees, removal of invasive plant species, topdressing and finished grading with growing medium, hydro seeding with an appropriate wildflower seed mix and perimeter fencing.

TDM Measures include the following components:

- A shuttle bus service between the site, YVR and the Canada Line - Bridgeport Station,
- Contribution of \$22,000.00 for a City Centre bus shelter to be located within the vicinity of the development site, and
- Provision of 'End of Trip Bike Facilities' (i.e. separate male and female showers and change/locker rooms) in each of the 3 tower buildings.

Bicycle Parking: Bicycle parking will be provided according to City bylaw requirements including 51 Class 1 and 51 Class 2 spaces for hotel use plus 51 Class 1 and 76 Class 2 spaces for office use.

Loading: The bylaw requires 6 large (WB-17) loading spaces and 7 medium (SU9) loading spaces for the entire site. The applicant proposes 3 large (WB-17) loading spaces and 6 medium (SU9) loading spaces. The medium loading spaces can overlap with the large loading spaces therefore the requirement for medium-loading spaces has been met. Based on the applicant's proposal for shared use of the large (WB-17) loading spaces, staff supports the proposed number of large loading spaces. The large loading spaces are located on the east-west lane near the interior of the site and the medium loading spaces are partially enclosed within the buildings and located at the rear of each development parcel to minimize visual impacts.

Servicing & Engineering

The applicant has agreed to all the required off-site utility up-grades/improvements and site service connections, according to City standards, as prescribed in the Rezoning Considerations via the Servicing Agreement. The maintenance of the proposed north-south PROP-SRW lane will be the responsibility of the owner/developer. New services include a water line under the north-south PROP-SRW lane looped with existing watermains along both Bridgeport and Beckwith Roads. Other service connections will be made directly from fronting roads.

Urban Design and Site Planning

Site Planning: The proposed site planning conforms to the policies and guidelines in the OCP and CCAP for Bridgeport Village. The 3 towers have been sited to create a logical circulation pattern along a centre spine and minimize north-south view blockage across the site. The site design and building layout have considered conditions of adjacency, pedestrian circulation, views from the Oak Street Bridge and microclimate.

Streetfront Character: The proposed Bridgeport Road setback maintains a similar streetfront character to other nearby hotel towers (i.e., Holiday Inn to the west and Sandman Inn to the east). Both proposed hotel podiums extend toward the street and contain restaurant uses fronting Bridgeport Road with streetfront glazing but differentiated podium treatments. The at-grade restaurants fronting Bridgeport Road will help activate the street throughout the day. The podiums provide continuity of the streetwall at-grade while the slender hotel towers permit slot views across the site. The office frontage along Beckwith Road consists of a 3-storey podium parkade that extends to the west property line and an 11-storey tower with curtain-wall glazing. The majority of the parkade along Beckwith Road is recessed behind the north facade of the office building which, consists of vision glass and painted concrete at-grade and metal panels above in combination with large recessed panels of vision glass.

Building Massing & Height: All 3 towers minimize shadowing, view and privacy impacts, as well as provide a comfortable transition to fronting streets and conceal on-site parking. Hotel 1 has been reduced in height by 1-storey to reduce over shadowing of the residential lot to the north (9520 Beckwith Road). Retention of the large existing coniferous trees, north of Hotel 1 will also help to minimize privacy impact to the rear yard of this remaining residential lot. There is minimal north-south view blockage across the site resulting from the alignment and slender footprint of the towers.

Architectural Form and Character

Architectural Design: The façade design of the hotels is more varied, articulated and colourful than the office tower. There are design differences between the 2 hotels that visually distinguish these towers from each other including variation in height, façade composition and roofscape treatment but with sufficient design commonalities to be compatible. The architectural character of the business centre tower differs significantly from the 2 hotels and generally reflects the character of an urban office building with smooth planes of curtain-wall glazing. Visual interest is achieved by terracing the upper storeys on the south side, introducing sun-shading fins along the east and north facade and including a distinctive sloping glass wall on the entire west façade. The architectural design character is simple but distinctive within the local context.

Parkade Design: The 4-storey parkade associated with the business center in phase 2 is typically hidden behind office space along Beckwith Road with only a small portion exposed at the west end of the site but set back from the street. Similarly, the parkade is screened behind restaurant, office and meeting spaces on the east side. The exposed south wall of the parkade along the east-west private lane is enhanced with a vertical trellis in combination with vine planting. The west wall of the proposed parkade is adjacent to a shared property line with the 9420 Beckwith Road, which is the subject of rezoning application (RZ 09-506899) for a 5-storey Philippine Cultural Centre. A relatively small portion of the parkade west wall will remain exposed along the shared property line with 9420 Beckwith Road after construction and the Philippine Cultural Centre as currently proposed. This portion of exposed parkade wall is located at the rear of 9420

Beckwith Road and is not visible from the street. If necessary, this portion of the parkade wall along the shared property line can be addressed by a freestanding trellis and vine planting on 9420 Beckwith Road when redevelopment of this lot occurs. An extensive overhead metal trellis system and vine planting will screen the roof deck of the parkade. The design of this metal trellis system is coordinated with the design of the metal trellis system at-grade over portions of the surface parking stalls.

CCAP Policies and Design Guidelines: The proposed development conforms to the relevant area specific policies and design guidelines.

Landscape Design and Open Space Design

Existing Trees:

From the tree survey and arborist report, there are 197 existing on-site trees larger than 20cm in caliper size and 5 boulevard trees (4 on Beckwith Road and 1 on Bridgeport Road) plus 17 trees along neighbouring property lines. The 17 trees along shared property lines will be protected and preserved (15 along the south property line of 9520 Beckwith Road and 2 along the west property line of the Airport Gateway Plaza at 9711 Bridgeport Road). The 4 of 5 boulevard trees will be removed to permit frontage improvements. There are 31 higher value trees on-site:

- 21 large elm trees clustered in the centre of the existing lot at 9451 Bridgeport Road,
- 9 large cedar trees along the north property line of 9531 Bridgeport Road (shared with 9520 Bridgeport Road), and
- 1 large fir tree along the north property line of 9460 Beckwith Road.

The 21 elm trees have a significant impact on the redevelopment potential of phase 3 (Hotel 2) and are proposed for removal but will be accounted for as part of an overall tree compensation package that includes both replacement trees at larger than minimum size and cash-in-lieu for replacement trees that can not be located on-site. The 15 large coniferous trees along the shared property line with 9520 Beckwith Road will be protected and retained. The large fir tree along Beckwith Road will be retained. There are a total of 187 proposed on-site tree removals resulting in the need for 374 replacement trees. However the site plan can only accommodate 184 replacement trees (all larger than minimum size) with the remaining 190 replacement trees provided as cash-in-lieu. Therefore, the tree compensation package includes:

- installation of minimum 184 on-site replacement trees (as indicated on the landscape drawings and listed in the associated plant schedule), and
- provision of \$95,000.00 as cash-in-lieu for replacement trees not planted on-site (i.e. 190 x \$500.00 per replacement tree).

Landscape & Open Spaces:

Streetscape Design: The streetscape landscape design along Bridgeport Road proposes the continuation of the existing boulevard treatment including a 1.5m wide planting strip with street trees and sodded grass and a 2m wide sidewalk. Behind the sidewalk is a 3.5m wide shrub and groundcover planting plus informally spaced small flowering and large canopy trees within the building setback of both hotels. The proposed design of the Beckwith Road frontage consists of a new 1.8m wide bike lane in combination with a 1.5m-landscaped boulevard (trees and grass) and a 2m wide sidewalk. Behind the sidewalk on private property, the proposed landscape

design retains an existing large fir tree within a 4m wide shrub and groundcover planting area that allows for a second row of street trees. The Beckwith Road streetscape design will set a new standard of landscape boulevard design in the immediate vicinity of the subject site.

Site Landscape Design: The on-site landscape design consists of a lush perimeter planting, including a variety of trees and shrub plantings in combination with an overhead trellis and vine plantings intermittently spaced along the property line over some of the surface parking stalls. Accent planting such as small flowering tree and shrub plantings are located at the access and egress points to the north-south lane. There are small pockets of ornamental planting that frame the hotel porte-cochere areas and provide a foundation planting for the office tower. There is a 1.5m wide walkway along the west side of the north-south lane in combination with tree and shrub plantings. Decorative paving is proposed on the north-south lane and the hotel porte-cochere areas, envisioned to be cast-in-place concrete with a sandblast finish and saw-cut score lines. The landscape buffering of the shared property line with the single family residential lot to the northeast (9520 Beckwith Road) is a combination of existing tree retention along the shared east-west property line and the provision of a windrow of cedar trees, minimum 3.5 m high with triangular spacing along the shared north-south property line. Existing fencing along shared property lines with 9520 Beckwith Road (single family residential lot) and 9711 Bridgeport Road (Airport Gateway Plaza) will be retained and repaired to existing condition if damaged during construction of the proposed development.

Crime Prevention Through Environmental Design

Due to the mix of land uses there will be constant surveillance of the on-site semi-public open spaces, the lobbies, entries and parkade, creating a safe sense of territoriality throughout the proposed development. In addition, vision glass at building entries provide clear views into the lobby areas, pedestrian scale lighting will be provided along the on-site walkways and lanes, around the buildings exteriors and in the parkade with good colour rendition. The south side of the parkade wall incorporates openings, which allows for natural lighting plus the parkade walls and ceilings will be painted in a reflective, light colour to improve visibility, deter crime and promote a safer pedestrian environment. Staff presence and hotel visitor activity will provide more 'eyes on the street' contributing to site safety and security.

Public Art:

The applicant has agreed to provide public art as part of this overall development on a phase-by-phase basis. The value of the public art installation will be approximately \$125,769.00 as identified at the rezoning stage.

The public art installation will consist of special effect night lighting oriented to the Highway 99 / Oak Street Viaduct and Bridge corridor that contributes to the gateway experience for the City of Richmond. The accent lighting will add an element of distinction to each of the three towers but is coordinated to create a unified larger visual effect that complements the nighttime visual gateway expression along this important portal to Richmond. The public art installation may also include at-grade sculptural elements at the north and/or south ends of the north-south PROP-SRW lane.

The applicant has provided graphic imagery to the City, which explains the basic intent of the proposed special effect lighting (see **Attachments 3.1 and 3.2**). The preliminary public art plan has been shared with and supported by the Public Art Commission. Work continues on the public art plan and the process to select the public artist.

- General Description: The intent is to create a landmark for a major gateway to Richmond, integrate with the building and landscape design, support the market strategy for the development and create visual interest on along the north-south lane through the development site.
- Location: Public art will be incorporated into all 3 towers in the form of the façade treatment variations in the rooftop design, special effect night-lighting and at-grade near the hotel entries, which will be visible along the north-south lane.
- Phasing: Public art will be provided on a development phase-by-phase basis.
- Theme: To be determined by the Public Art Plan at the Development Permit stage.
- Artist Selection Process: The artist will be selected through an open competition from local and regional proposal call.

Sustainability & Accessibility:

The proposed development includes the following sustainable features:

- All proposed buildings will meet minimum LEED Silver equivalent standard including the use of effective water and waste management systems, passive solar shading strategies, a geothermal system and low flow fixtures. See **Attachment 4** for the LEED checklist.

The proposed development also includes the accessible design elements as listed below:

- General: As required by the 2006 BC Building Code, all buildings will be fully compliant with Section 3.8 'Building Requirements for Persons with Disabilities.' and the pedestrian links between the 3 towers will be barrier free for wheel-chair access.
- Hotels: Access will be provided to every public facility, including those located outside the building, all storeys that are publicly accessible and one barrier-free suite will be provided for every 40 sleeping units, according to the 2006 BCBC Section 3.8.2.31 (Hotels and Motels). The wheelchair accessible suites for the combined 2 hotels will exceed the BCBC requirement by 4 (8 required versus 12 provided). There are 4 wheelchair accessible suites in Hotel 1 and 8 in Hotel 2. As per BCBC 3.8.2.31 (3) accessible washrooms are required for public use and these have been provided on the ground floors and second levels in both hotels. The hotel amenities will also be wheelchair accessible, including the locker rooms and pools, as per the 2006 BCBC, Section 3.8.2.13 (Gymnasiums and Swimming Pools). In addition, the both hotels include porte-cochere areas at the front lobbies to provide weather protection for the drop-off and pick-up of mobility-impaired clients.
- Business Centre: This office tower will comply with the requirements of the 2006 BCBC, Section 3.8.2.32 (Business and Personal Service Occupancies), with wheelchair accessible washrooms to be provided for all suites on all floors.

Conclusions

This development proposal represents a significant addition to the inventory of office space within the City Centre, located conveniently to rapid transit and in combination with the proposed 2 hotels will serve as an important catalyst to the redevelopment of the Bridgeport Village within the City Centre. The Bridgeport Village area surrounding this development site is an area in transition and the addition of 2 attractive new hotel towers will further stimulate redevelopment and rejuvenation in the immediate vicinity. Staff recommends supports for this Development Permit application.



Brian Guzzi, MCIP, MCSLA
Senior Planner - Urban Design

BG:cas

The following are to be met prior to forwarding this application to Council for approval:

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Submission of a Landscape Letter of Credit based on 100% of the cost estimate provided by the Landscape Architect, including installation costs. The value of the Landscape Letter of Credit shall be \$468,647.14, which shall be retained by the City until the end of Phase 3 (Hotel 2).
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate agreement.
1. Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
 2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.

3. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
4. All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
5. The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

(signed copy on file)

Signed (Owner or Owner's Authorized Representative)

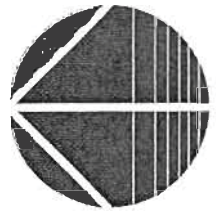
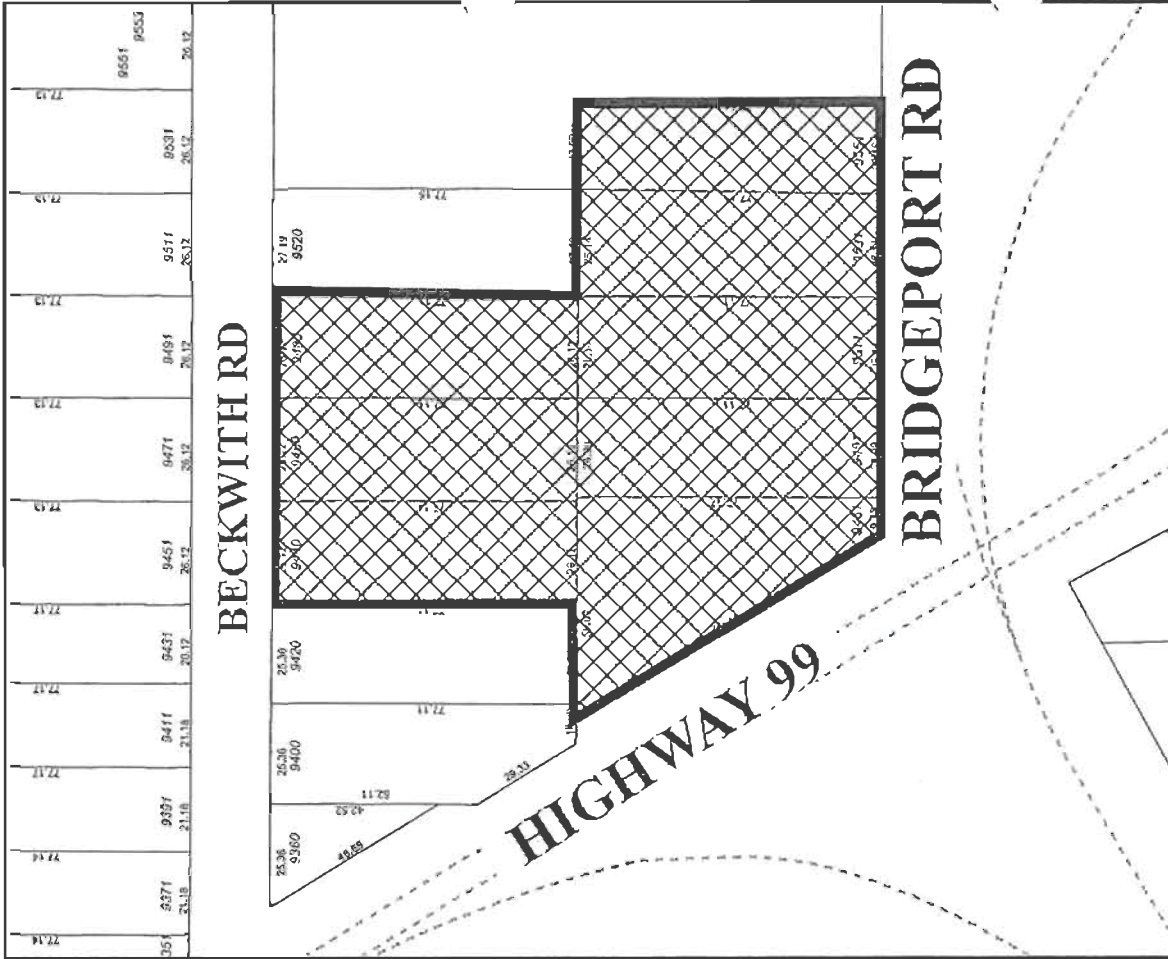
Date

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



City of Richmond



DP 11-594571 SCHEDULE "A"

Original Date: 11/30/11

Revision Date: 12/01/11

Note: Dimensions are in METRES



City of Richmond

6911 No. 3 Road
Richmond, BC V6Y 2C1
www.richmond.ca
604-276-4000

Development Application Data Sheet Development Applications Division

RZ 10-539048

Attachment 1

Address: 9451/9491/9511/9531/9551 Bridgeport Road and 9440/9460/9480 Beckwith Road

Applicant: Ampar Ventures Ltd.

Planning Area(s): City Centre Area Plan – Bridgeport Village

	Existing	Proposed	
Owner:	Ampar Ventures Ltd.	same	
Site Size (m²):	16,362.8 m ² (176,128 ft ²) before dedications	16,134.3 m ² (173,668 ft ²) after dedications	
Land Uses:	Single Family Residential & Vacant	Light-industrial, Office & Hotel	
OCP Designation:	Business & Industry	Business & Industry	
Area Plan Designation:	General Urban T4 (25m)	General Urban T4 (25m)	
Zoning:	Single-Family Housing District, Subdivision Area F (R1/F) & School and Institutional Use (SI)	Light-Industrial, Office and Hotel (ZI10) – Bridgeport Village (City Centre)	
Other Designations:	Industrial Reserve: Limited Commercial	Industrial Reserve: Limited Commercial	
On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio (FAR):	Max. 1.85 FAR	1.81	none
Lot Coverage – Building:	Max. 50%	35%	none
Lot Size (min. dimensions):	none	none	none
Setback – Bridgeport Road: Setback – Beckwith Road: Setback – Highway 99:	Min. 2.5 m Min. 3.0 m Min. 10.0 m	Phase 1: 2.56 m Min. Phase 2: 10.62 m Min. Phase 3: 10.04 m Min.	none
Setback – Side Yard	Min. 10.0 m	Phase 1: 14.43 m Min. to east property line Phase 2: 19.77 m Min. to east property line Phase 3: 16.10 m Min. to east property line	none
Setback – Rear Yard:	Min. 9.0	Phase 1: 16.52m, Phase 2: 9.52m, Phase 3: 14.82m	none
Height (m):	47 m geodetic	47 m geodetic	none
Off-street Parking Spaces:	Hotel 1: 75 Office: 242 Hotel 2: 99 Total: 416	Hotel 1: 75 Office: 256 Hotel 2: 99 Total: 430	none
Amenity Space – Indoor:	none	Total 452 m ² includes 2 pools, 2 gyms, 1 sauna & 3 separate End of Trip Bike Facility (1 In each building)	none
Amenity Space – Outdoor:	none	106 m ²	none

Richmond Advisory Design Panel (ADP) Comments
(Excerpted from ADP Minutes of December 8, 2011)

2. **DP 11-594571 – HIGH-RISE COMMERCIAL DEVELOPMENT WITH TWO HOTEL TOWERS AND ONE BUSINESS CENTRE TOWER**

ARCHITECT: IBI Group

PROPERTY LOCATION: 9451, 9491, 9511, 9531 and 9551 Bridgeport Road and 9440, 9460 and 9480 Beckwith Road

Panel Discussion

Comments from the Panel were as follows:

- like the project; scale is appropriate for the area; section between the hotel towers is proportionally correct;
- landscape design is simple, clean and effective;
- Hotel 1 is very different from the office building and Hotel 2; Hotel 1 is nicely articulated; roof form works well;
- Hotel 2 and office building are very different; provide architectural expression to Hotel 2 to achieve visual connectivity to the business building;
- *Similar lighting strategies to be utilized by both buildings, including the addition of a light feature on the middle vertical portion of the west face of the office building between the sloping glass walls. This additional light feature as well as the others will be dimmable and low intensity to conserve energy and prevent excessive light pollution. As seen from the bridge deck of Highway 99, this additional feature on the Business Centre will provide connectivity between the two buildings, as well as contribute to the Public Art component for all three buildings.*
- appreciate the efforts put by the applicant into the project since its initial presentation to the Panel;
- simplicity of the landscape treatment unifies the project nicely;
- treatment along the edges are appropriate; like the idea of the retention of the trees which provide a nice remnant of the site;
- consider reducing parking spaces in the area near the existing trees; expand the vegetative area to give more room for trees to survive;
- *We have already initiated an appropriate response to this item through preliminary discussion with Ken Bell, arborist consultant for the project, in which parking in this location may be reoriented to provide more clearance around the existing trees, and ensure their protection during the preloading and construction phases of the project.*
- consider reducing the scale of canopies above the hotels' entrance to provide a sense of intimacy;
- *Scale of the canopies to be considered again during BP stage. Structure has been oversized and will most likely be constructed of smaller structural members, which will result in an overall lighter appearance once constructed.*

- consider increasing the quality and quantity of trees in the parking and patio areas and moving those row of trees to the outside edge of the stalls to act as bollards;
- *Landscape architect to continue to revise overall landscape design as per comments, including the provision of Swedish poplar and Amanogawa cherry trees (see following comment).*
- Swedish poplar trees in front of the office building (west side of the north-south internal road) may not have enough room to grow; consider smaller columnar trees, e.g. Amanogawa cherry to increase the quantity of and spacing between trees;
- appreciate the efforts of the applicant in addressing the concerns of a challenging project;
- like the roof deck landscape treatment on level 3 of the office building; ensure that this will be carried through in the project; provide irrigation on the roof parking;
- *Client is committed to providing roof deck landscape treatment as depicted on all levels. Top deck of parkade to have appropriate irrigation system to ensure vegetation at this level is not compromised.*
- consider repeating the Bridgeport Road entrance way treatment at the Beckwith Road entrance; Beckwith Road entrance is expected to be used frequently, particularly by motorists/pedestrians going to the office building;
- *Landscape architect to reconsider appropriate treatment of landscape at Beckwith Road entry to site, to be enhanced to similar condition as entry off of Bridgeport Road.*
- piece of north blank wall not a concern as it is a parkade wall;
- consider providing treatments, e.g. green roof treatments or patterned aggregates for canopies that don't have skylights to enhance their visual appeal when viewed from above;
- *Further consideration to be given to those lower levels of each building visible from higher floors, including roof deck treatments as well as the hotel entry canopies.*
- project is nicely done; has higher quality compared to the other buildings in the neighbourhood; will improve the neighbourhood; has opportunity to become a landmark in Richmond; appreciate the quality of the applicant's presentation to the Panel;
- the three buildings are distinctly different; consider providing a unifying feature to present them as part of one development, e.g. repeating lighting element in Hotel 1 into Hotel 2; will lighten up the neighbourhood;
- *As noted above, the addition of a vertical light feature on the Business Centre will provide connectivity between the three buildings.*
- consider improving the relationship between the two hotels which are vertically facing each other; consider angled mass for Hotel 2 to soften the space between the two hotels;
- *Connectivity between the two hotels has been intended through the use of similar light features/Public Art, as well as providing similar expression in their porte cochères.*

- appreciate the changes to the project made by the applicant in response to the previous comments of the Panel;
- excellent response to the west side of the office building; appreciate the angled curtain wall of the office building; a win-win situation; increases the quality of massing and architectural design of the building;
- appreciate the increase in the number of universal design suites in the two hotels; look forward to future increases if warranted to accommodate more seniors;
- appreciate the applicant for the quality of presentation materials and model;
- proposed development has the potential to become a landmark project in a key location in Richmond;
- look forward to hearing applicant's response to Panel's comments regarding public art;
- carry the lighting in Hotel 1 into Hotel 2; will have a strong impact on the west side of Hotel 2 which is facing Oak Street Bridge; and
- *See comments above.*
- multi-phase projects take time to evolve; applicant is requested to provide visual details on how the rest of the site will look like in the interim.
- *This has been provided as part of the current Landscape package, with further revision to be provided as per comments at the BP stage.*

Panel Decision

It was moved and seconded

That DP 11-594571 move forward to the Development Permit Panel subject to the applicant addressing the items discussed by the Panel, including the items highlighted below:

1. consider visual connectivity between Hotel 1 and Hotel 2; and

As noted above, further consideration is to be given to the light features of all three buildings as work commences with the Public Art consultant, in order to provide visual connectivity as well as reinforce the landmark/gateway intent of the project as the site is built out.

2. consider looking at the quality and quantity of trees both in terms of species, placement and spacing.

As noted above, quality and quantity of trees and other surface vegetation to be revisited by both arborist and landscape architect for appropriateness and overall desired effect.

CARRIED



No. DP 11-594571

To the Holder: AMPAR VENTURES LTD.

Property Address: 9451/9491/9511/9531/9551 BRIDGEPORT ROAD AND
9440/9460/9480 BECKWITH ROAD

Address: c/o IBI ARCHITECTS
700 – 1285 W. PENDER ST., VANCOUVER, BC V6E 4B1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #50 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$468,647.141 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 11-594571

To the Holder: AMPAR VENTURES LTD.
Property Address: 9451/9491/9511/9531/9551 BRIDGEPORT ROAD AND
9440/9460/9480 BECKWITH ROAD
Address: c/o IBI ARCHITECTS
700 – 1285 W. PENDER ST., VANCOUVER, BC V6E 4B1

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



HOTEL 1.
HOTEL 2.
BUSINESS CENTER.
A1 - All buildings show curtain glazing facades creating a check pattern.
A2 - All three buildings have strong horizontal elements thus creating harmonious connection between the buildings while maintaining individual character.
A3 - Shading components have been incorporated into all three building designs providing a connected functionality visually, while the practical functionality of the building differs.



HOTEL 1.
HOTEL 2.
BUSINESS CENTER.
B1 - All buildings have a corner glazing structure with a setback integrated into the designs as shown.
B2 - Building names have been located to the top of each building for clear visibility.
B3 - The horizontal shades seen on the Business Center create a visible comparable to both Hotels roof canopies.



HOTEL 1.
HOTEL 2.
BUSINESS CENTER.
C1 - Curtain glazed corners are all visually showing the same wrap-around concept using different colors and material to achieve the same visual aesthetic.
C2 - Vertically aspects are also visually present within all three buildings strengthening the relationship between each build but adversity in the materials used allows for individuality.



HOTEL 1.
HOTEL 2.
BUSINESS CENTER.
D1 - The relationship that can be seen emulated in all the buildings is the continuity of materials moving horizontally from one facade to the next. Thus creating a wrap around effect as shown in these images on all three buildings with different materials and function.

Height and mass reinforce their similarities and visual connection.



G1 - A continuity found at the top, and to the corner of all three buildings are poles.



HOTEL 1.
HOTEL 2.
BUSINESS CENTER.
E1 - The predominant base is found for all three buildings with an ideal ratio proportion to their building counterparts.
E2 - They are completed with interesting features such as, a green roof or water featured well combining the relationship of natural elements amongst the three buildings.
E3 - Active ground floor use shown in all three buildings base have similar function which will create interest, activity and safety along the street front but also a relationship commensurately and visually.



HOTEL 1.
HOTEL 2.
BUSINESS CENTER.
D1 - The canopy overhangs of the three buildings create a strong identity of good visual and physical connection between the street, their lobbies and both hotels. Their identical joint connections replicated with a similar frame and glass finish connect all three canopies of different proportions.
D2 - The columns used for support of the large Hotels canopy speak the same language as the columns around the Business Center, replicating importance and grandeur.



HOTEL 1.
HOTEL 2.
BUSINESS CENTER.
F1 - Set backs created on different levels between the Business Center and the Hotels 1 & 2 still emits a correlation between all three buildings allowing a prominent horizontal feature, relating the three buildings visually.



HOTEL 1.
HOTEL 2.
BUSINESS CENTER.
F1 - Set backs created on different levels between the Business Center and the Hotels 1 & 2 still emits a correlation between all three buildings allowing a prominent horizontal feature, relating the three buildings visually.



HOTEL 1.
HOTEL 2.
BUSINESS CENTER.
F1 - Set backs created on different levels between the Business Center and the Hotels 1 & 2 still emits a correlation between all three buildings allowing a prominent horizontal feature, relating the three buildings visually.

BRIDGEPORT HOTEL & BUSINESS CENTER
RICHMOND, B.C.



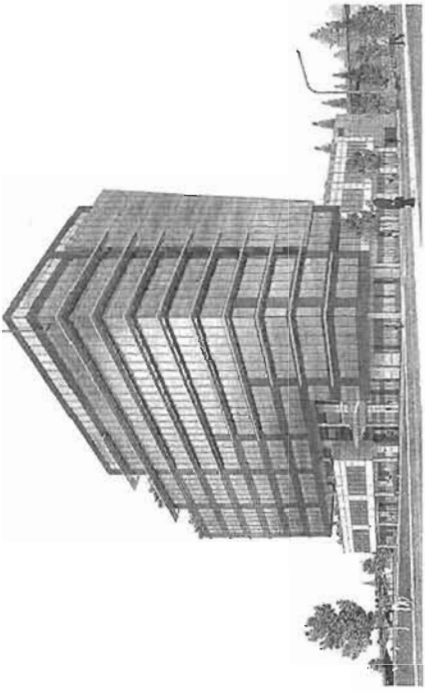
LEED Canada-NC 2009 Project Checklist		Bridgeport Hotel / Business Center	
Item #	Description	Points	Notes
55	Project Total (pre-certification & interim)	110	110 Points (Total)
17	Construction Activity Pollution Prevention	1	Required
18	Site Selection	1	Required
19	Development Density and Community Connectivity	1	Required
20	Brownfield Redevelopment	1	Assumes this site was never contaminated or needs to be rehabilitated.
21	Alternative Transportation: Public Transportation Access	1	Many bus routes go by the project site.
22	Alternative Transportation: Bicycle Storage & Changing Rooms	1	Will add cost to the project for changing stations, lockers, etc. Recommendation to run contracts for future.
23	Alternative Transportation: Low-Emitting & Fuel-Efficient Vehicles	1	May be possible once design is completed but unlikely.
24	Alternative Transportation: Parking Capacity	1	Required by City of Richmond.
25	Alternative Transportation: Parking Management	1	Required by City of Richmond.
26	Alternative Transportation: Smart Growth Design: Quality Control	1	Required by City of Richmond.
27	Alternative Transportation: Smart Growth Design: Quality Control	1	Required by City of Richmond.
28	Alternative Transportation: Smart Growth Design: Quality Control	1	Required by City of Richmond.
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99	Alternative Transportation: Smart Growth Design: Quality Control	1	Required by City of Richmond.
100	Alternative Transportation: Smart Growth Design: Quality Control	1	Required by City of Richmond.

JUN 21 2012

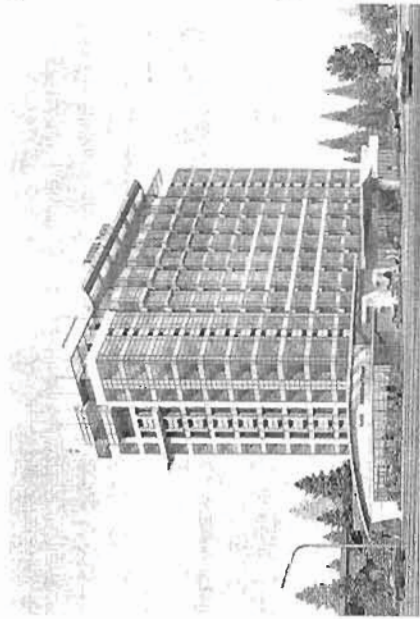


DP 11594571

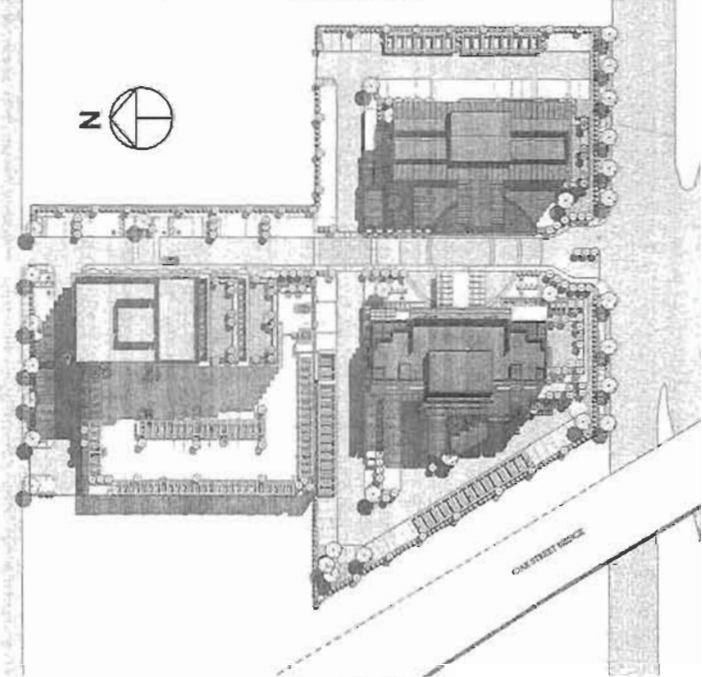
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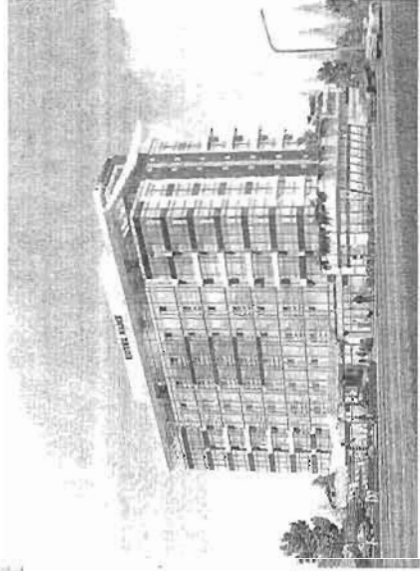
BUSINESS CENTER
231,279 SF
11 STOREYS



HOTEL 2
167 ROOMS
12 STOREYS
111,821 SF



SITE PLAN
SITE: 176,128 SF
FAR: 314,422 SF



HOTEL 1
126 ROOMS
9 STOREYS
83,893 SF

BRIDGEPORT HOTEL / BUSINESS CENTER

A 1001

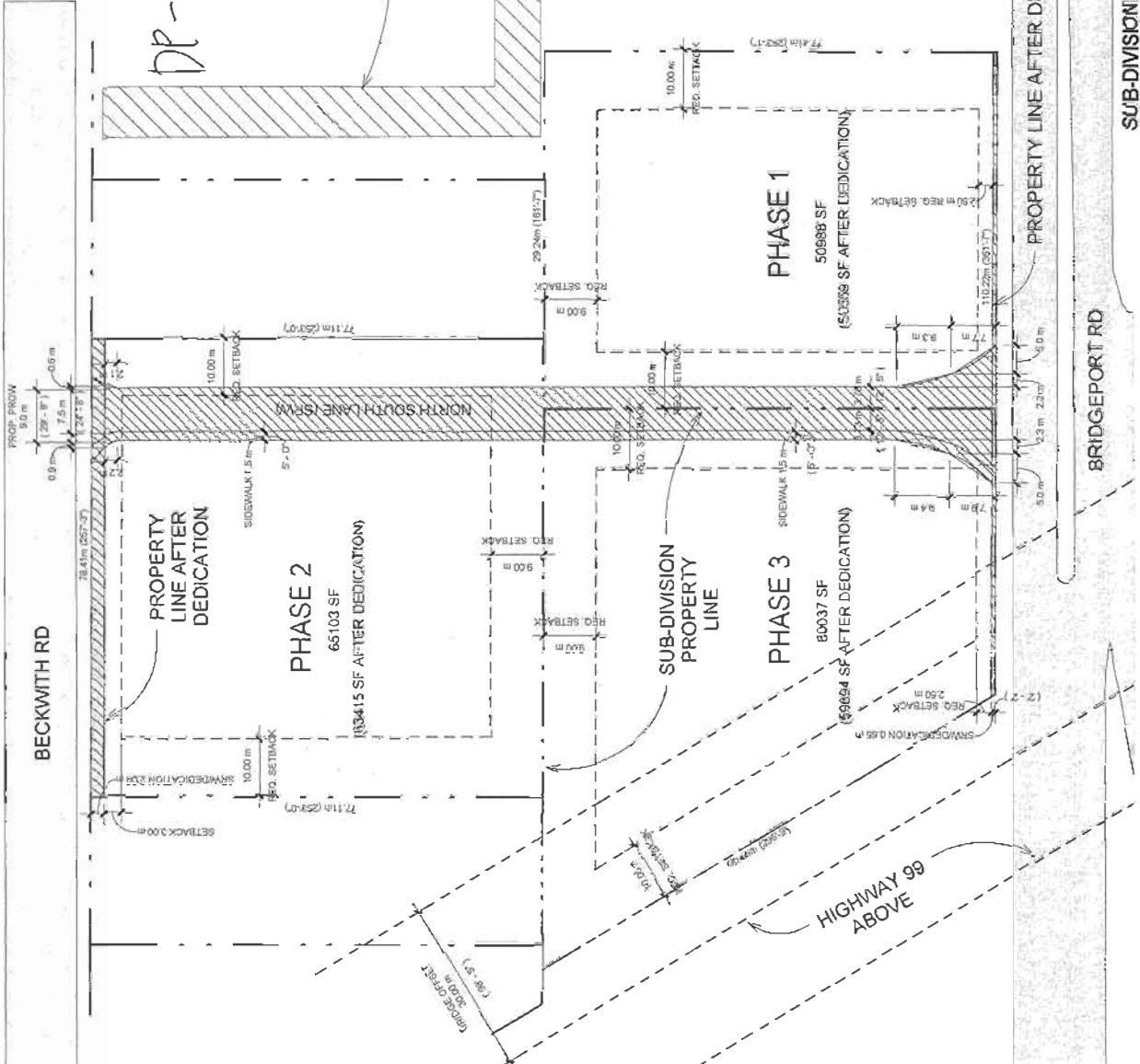
PHASE IMAGE

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DP-11594571
#2



BRIDGEPORT HOTEL / BUSINESS CENTER



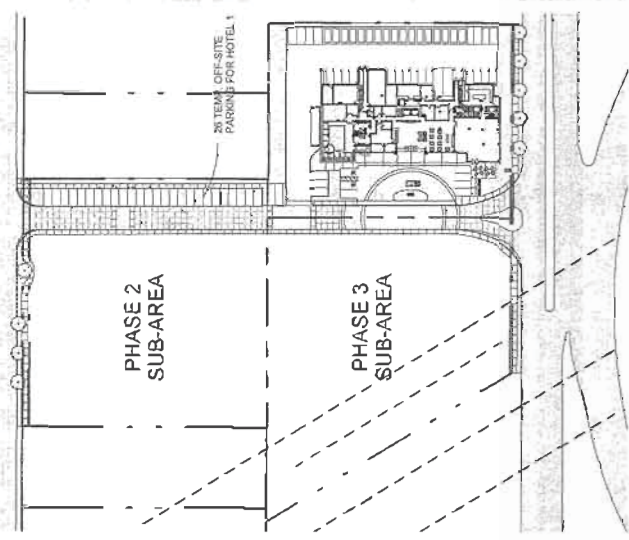
A 1007

SUB-DIVISION LAYOUT FOR PHASED DEVELOPMENT

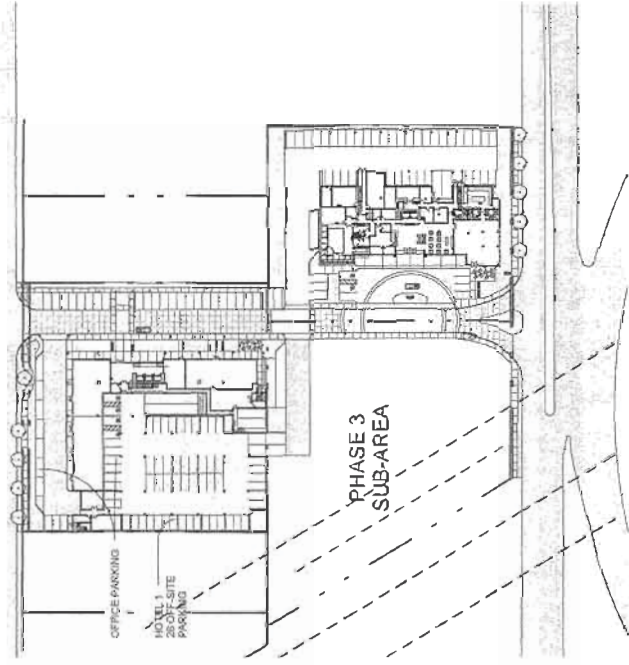
1/32" = 1'-0"

2012-06-11 ISSUED FOR DESIGN PANEL SUBMISSION

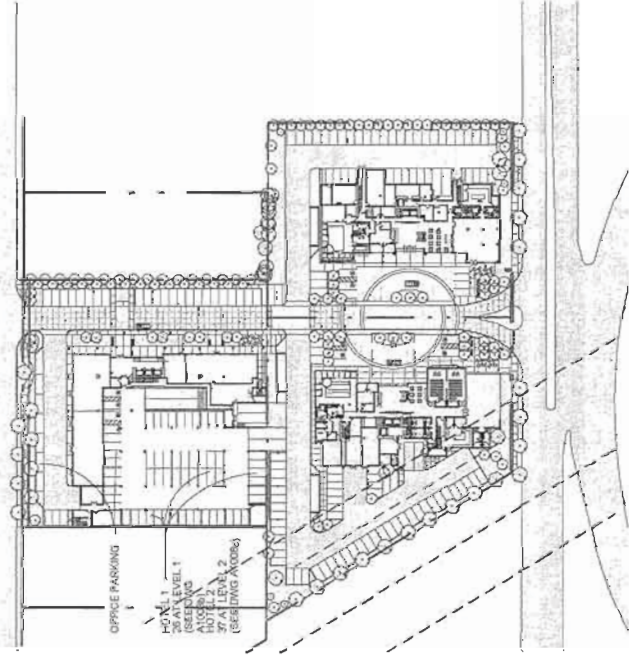
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 JUN 21 2012
 DP-11594571



PHASE 1-HOTEL 1	
SUB-DIVISION AREA:	50988 SF**
TOTAL PARKING REQUIRED:	83
TOTAL PARKING PROVIDED:	75
* NOTE: 75 PARKING PROVIDED IN TOTAL, INCLUDES 48 ON-SITE PLUS 28 OFF-SITE PARKING ON PHASE 2 SITE. OFF-SITE PARKINGS TO BE MOVED TO PH2 PARKING STRUCTURE UPON COMPLETION. REFER TO SHEET A1102	
** SUB-DIVISION TO BE CONFIRMED BY CIVIL ENGINEER / SURVEYOR	



PHASE 2-BUSINESS CENTER	
SUB-DIVISION AREA:	65103 SF**
TOTAL PARKING REQUIRED:	242
TOTAL PARKING PROVIDED:	258
* NOTE: 318 PARKING PROVIDED IN TOTAL, INCLUDING 258 PROVIDED TO ACCOMMODATE PARKING FOR PHASE 1, HOTEL 1, 30 PROVIDED TO ACCOMMODATE PARKING FOR FUTURE PHASE-3 HOTEL 2. REFER TO SHEET A1102	
** SUB-DIVISION TO BE CONFIRMED BY CIVIL ENGINEER / SURVEYOR	



PHASE 3-HOTEL 2	
SUB-DIVISION AREA:	60037 SF**
TOTAL PARKING REQUIRED:	109
TOTAL PARKING PROVIDED:	99
* NOTE: 99 PARKING PROVIDED IN TOTAL, INCLUDES 48 ON-SITE PROVIDED TO ACCOMMODATE PARKING ON THE PARKING STRUCTURE. REFER TO SHEET A1102	
** SUB-DIVISION TO BE CONFIRMED BY CIVIL ENGINEER / SURVEYOR	

BRIDGEPORT HOTEL / BUSINESS CENTER



JUN 21 2012

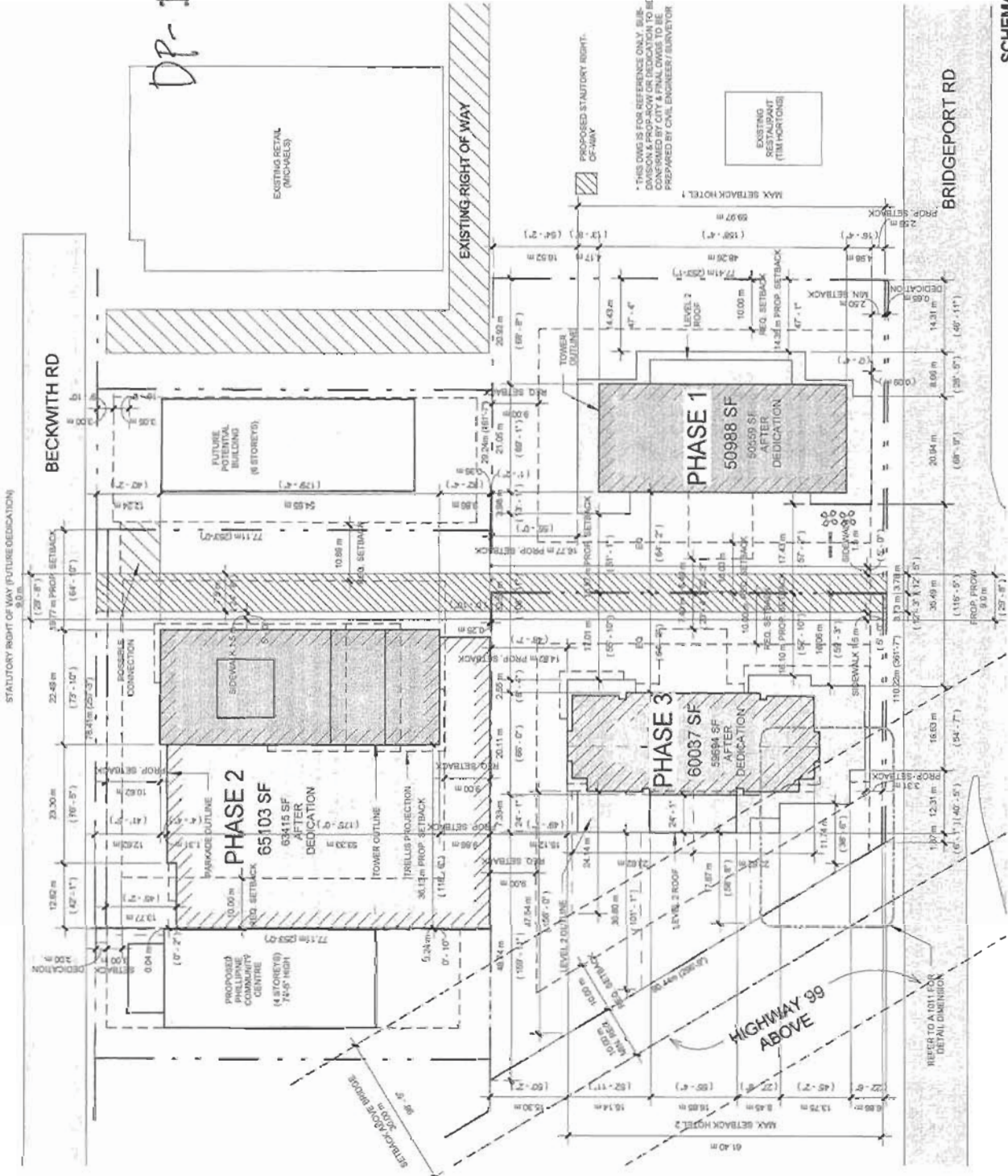
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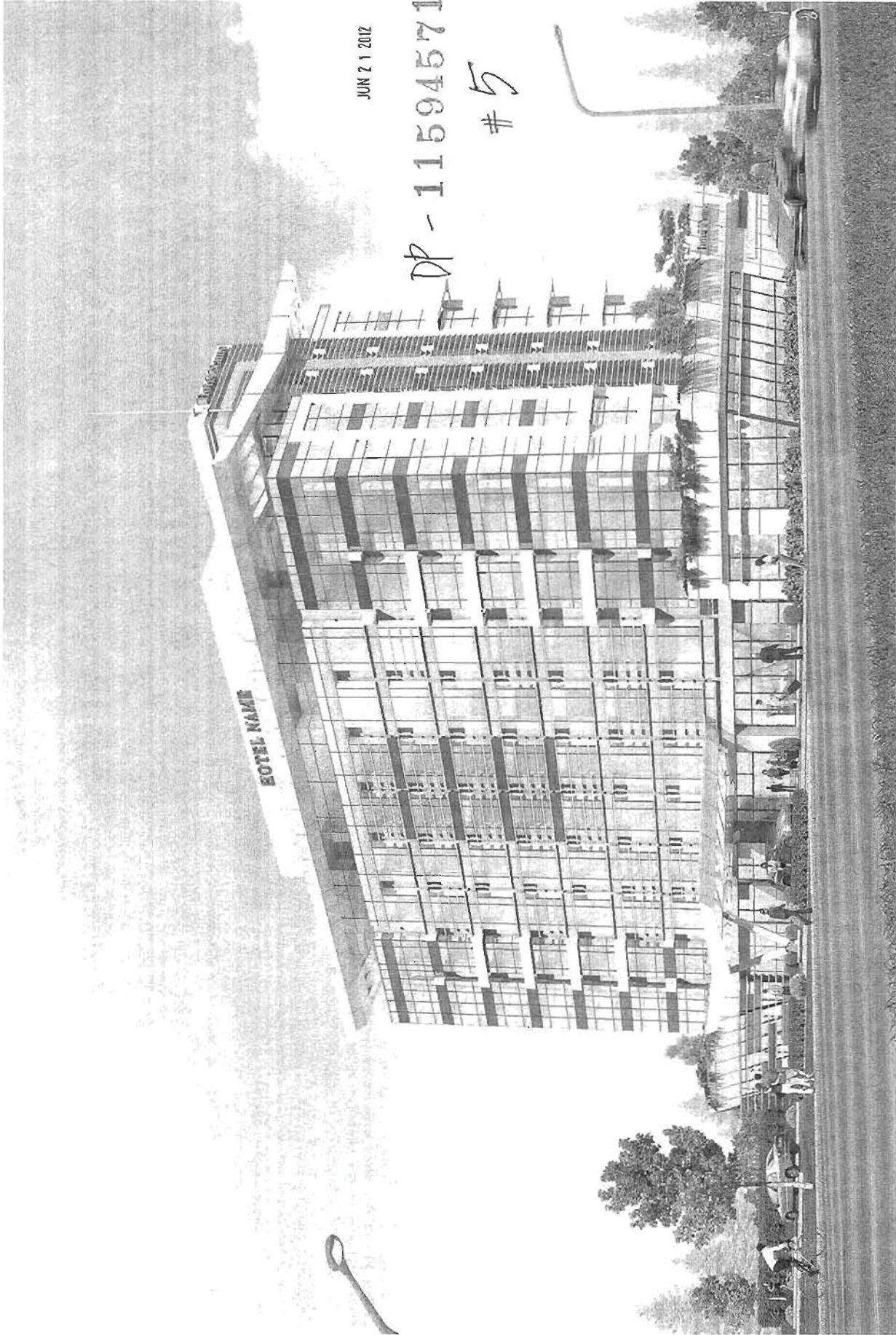
BRIDGEPORT HOTEL / BUSINESS CENTER

A 1010

SCHEMATIC BUILDING SETBACK

1/32" = 1'-0"





JUN 21 2012

DP - 11594571
5

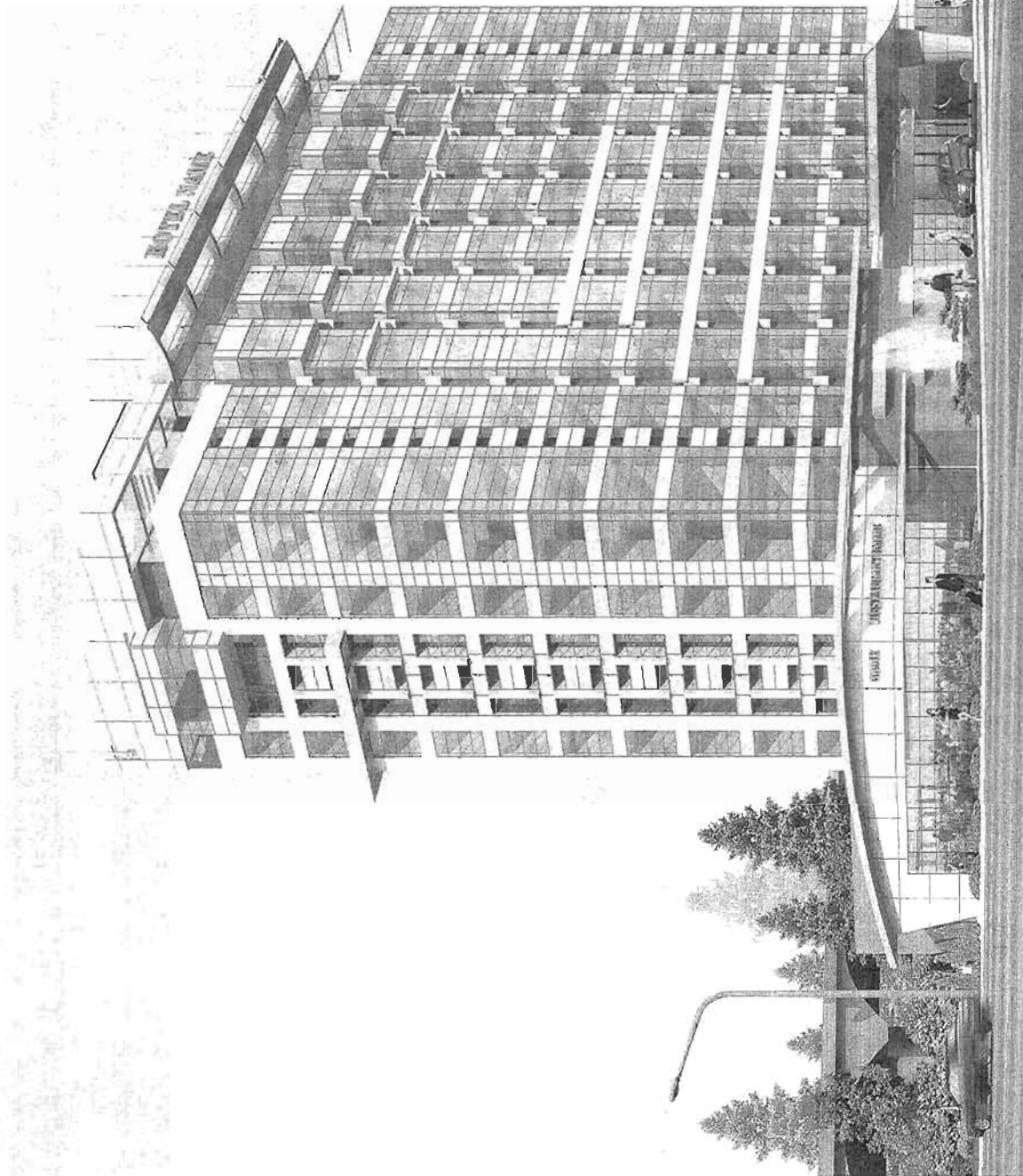
HOTEL 1 RENDERING - DAY VIEW

NTS

#6.

JUN 7 1 2012

DP-11594571



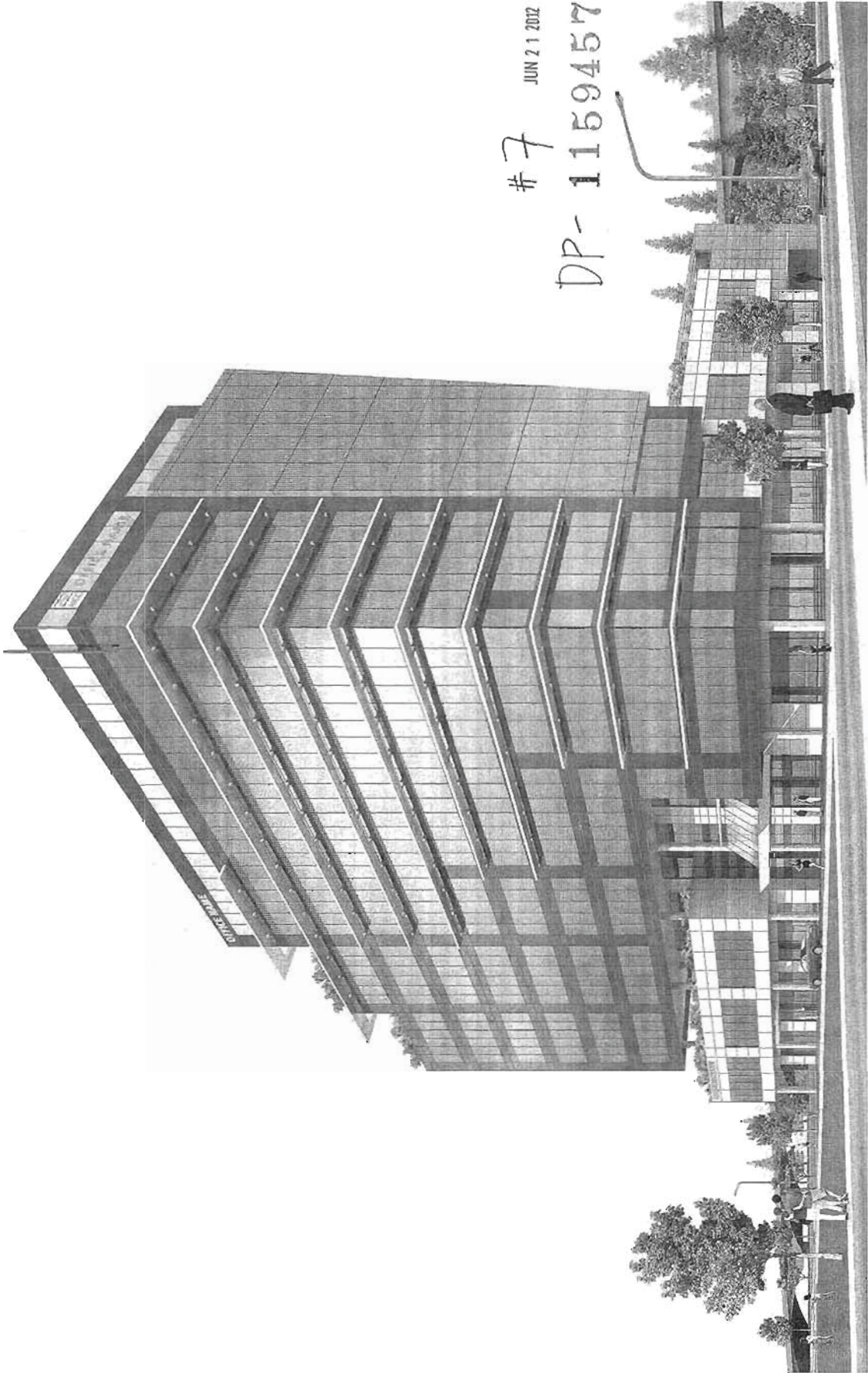
HOTEL 2 RENDERING - DAY VIEW

NTS

JUN 21 2012

#7

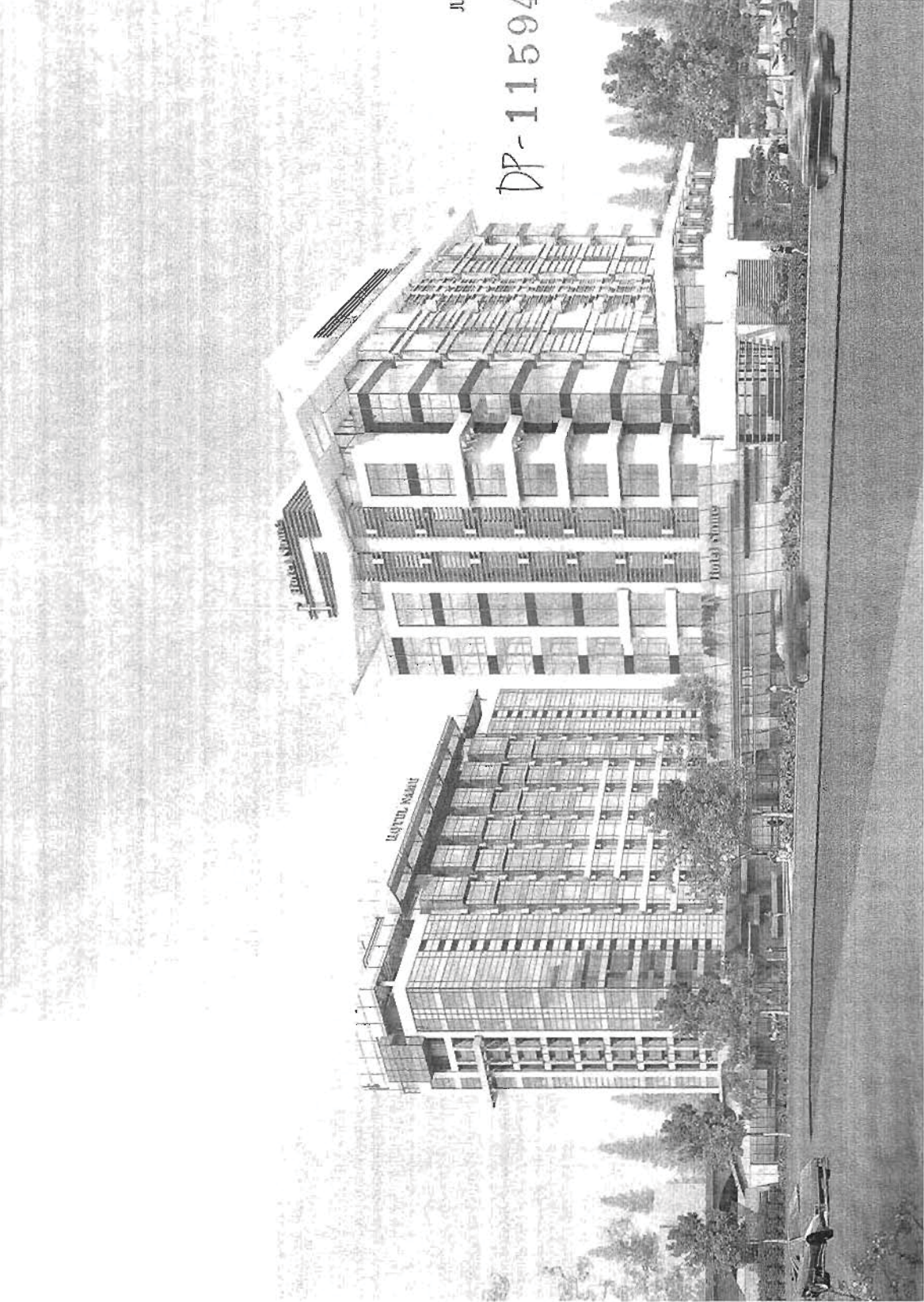
DP- 11594571



JUN 21 2012

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#8

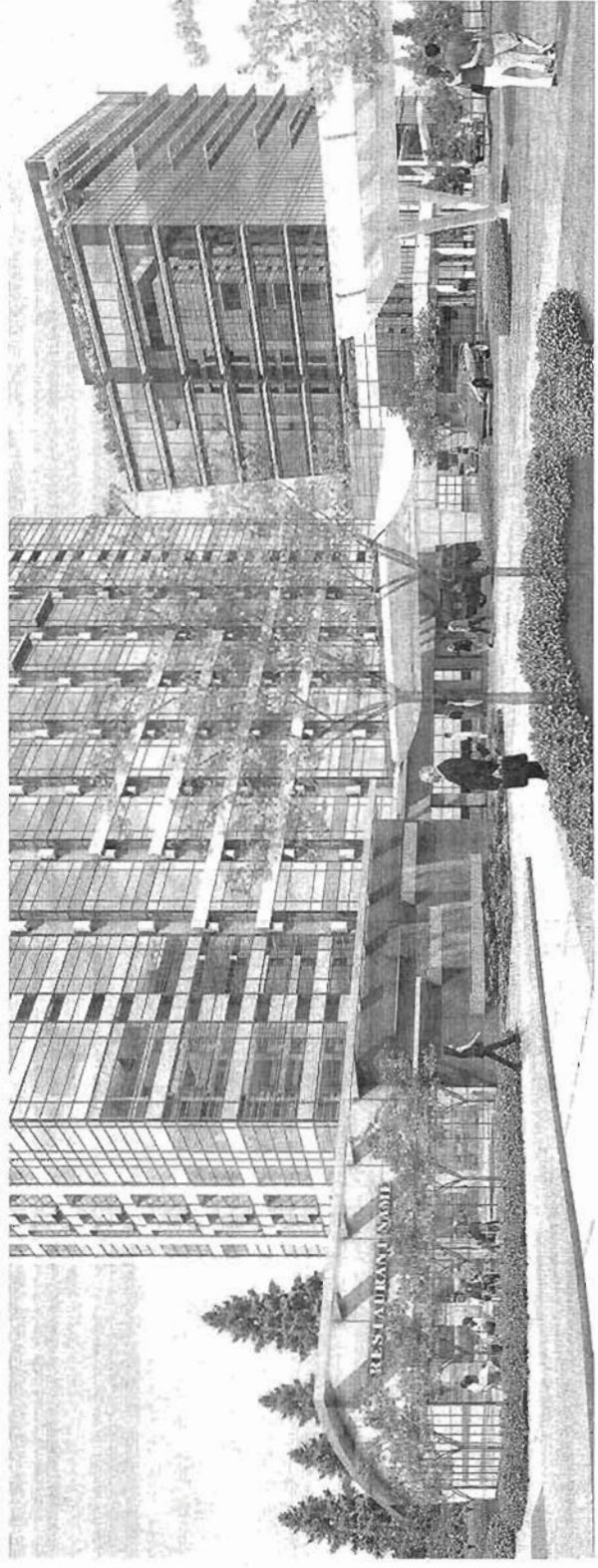
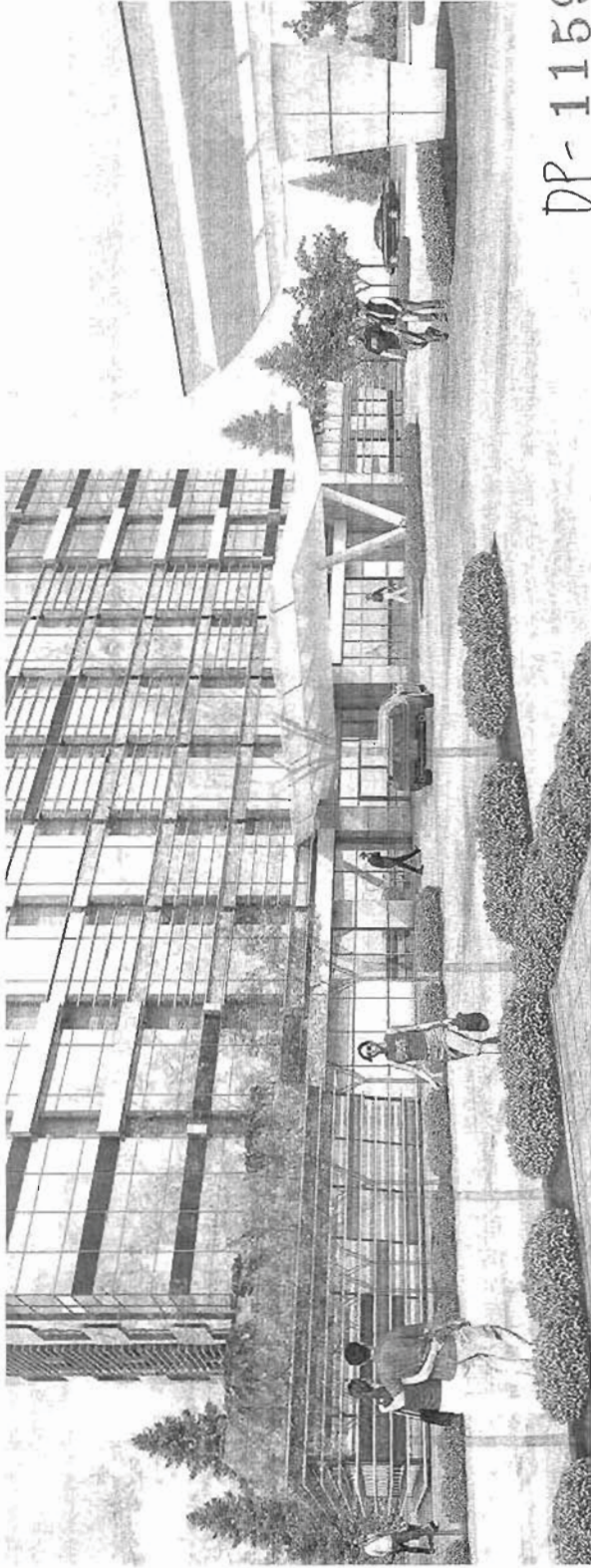


STREETSCAPE RENDERING

JUN 21 2012

DP-11594571

#9.



HOTELS 1 & 2 -STREETSCAPE RENDERING

NTS



BRIDGEPORT HOTEL / BUSINESS CENTER

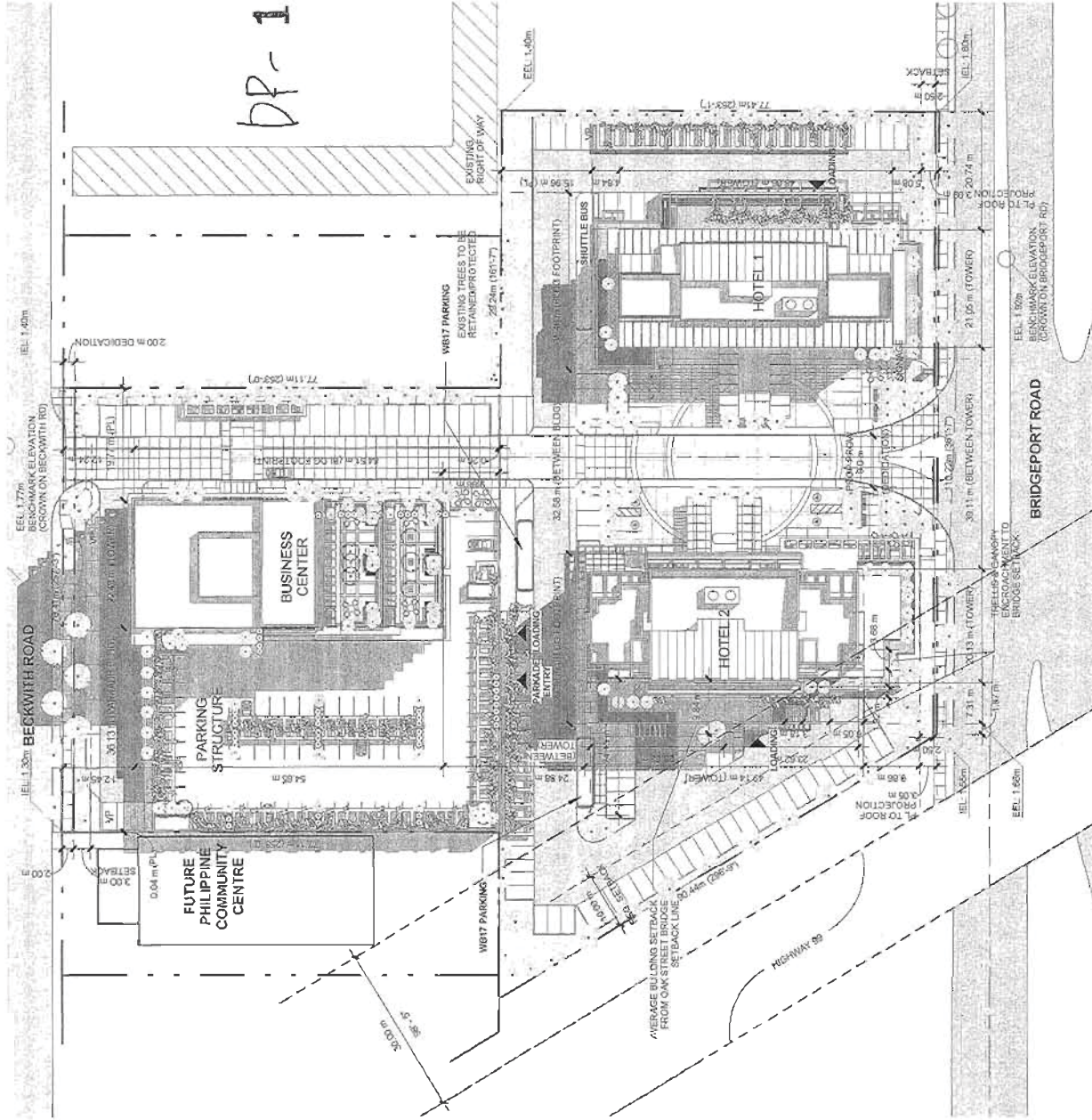
A 1101



JUN 21 2012

DP-11594571

#10



NOTE: THIS IS FOR GROUND LEVEL SITE PLAN

SITE PLAN-ROOF

1/32" = 1'-0"

2012-06-11 ISSUED FOR DESIGN PANEL SUBMISSION



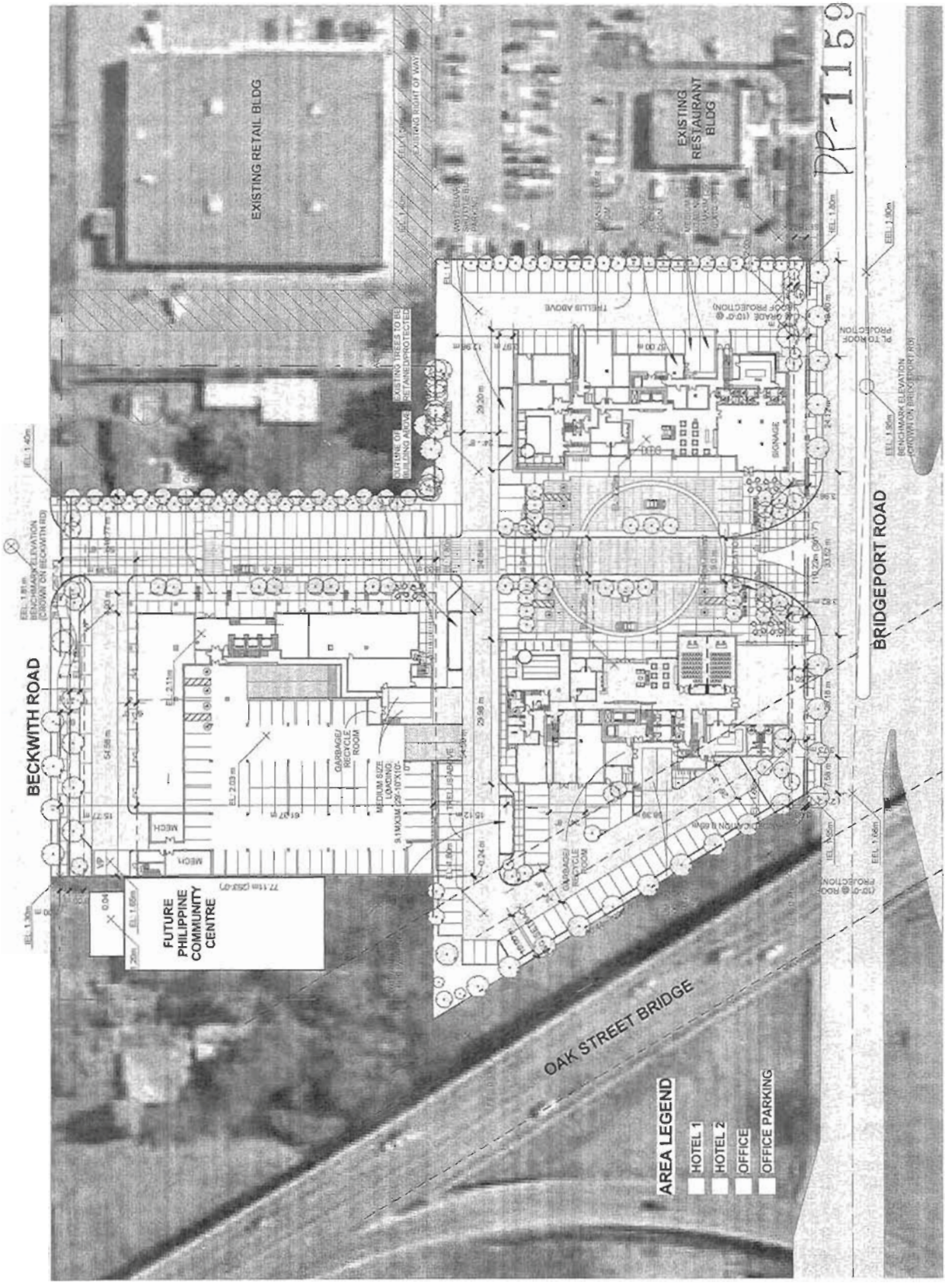
BRIDGEPORT HOTEL / BUSINESS CENTER

JUN 21 2012

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11

A 1102



AREA LEGEND

[Symbol]	HOTEL 1
[Symbol]	HOTEL 2
[Symbol]	OFFICE
[Symbol]	OFFICE PARKING

SITE PLAN-GROUND FLOOR LAYOUT

1/32" = 1'-0"

JUN 21 2012

DP 11594571 #12

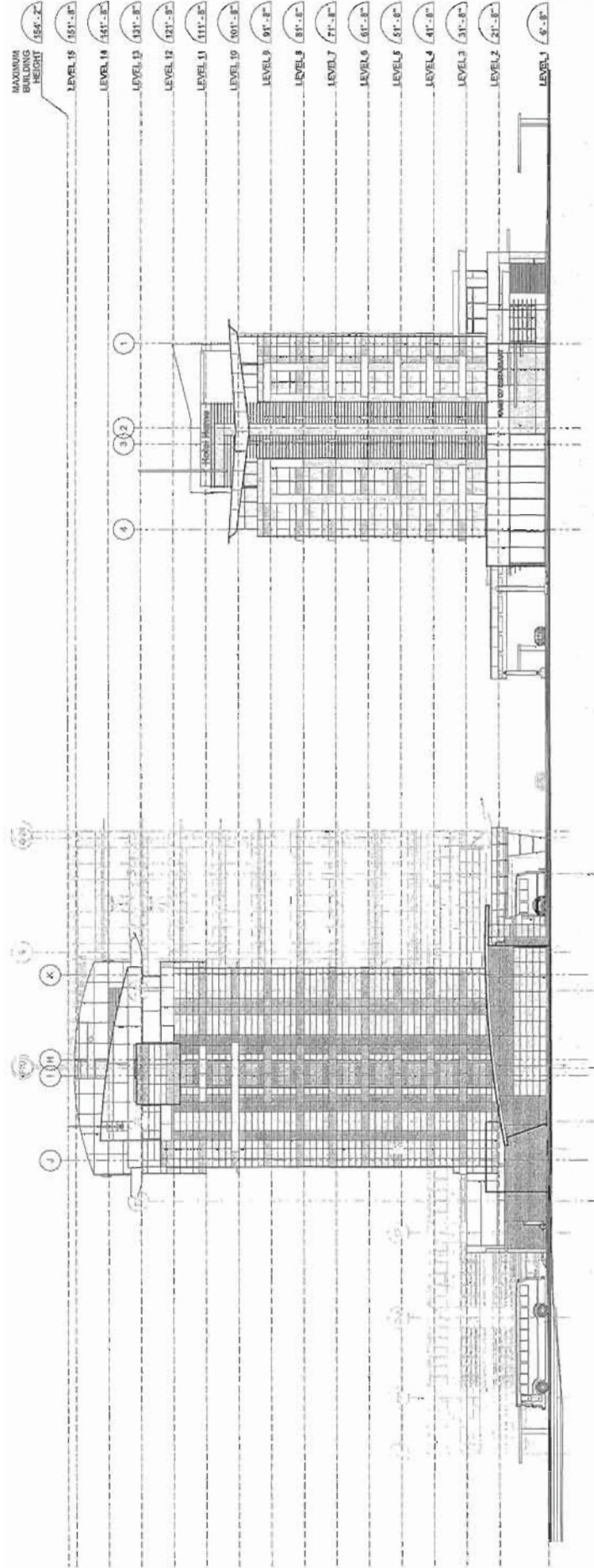
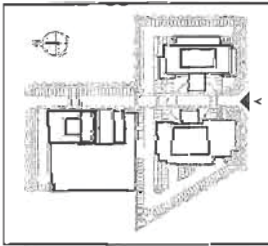
BRIDGEPORT HOTEL / BUSINESS CENTER

A 1201

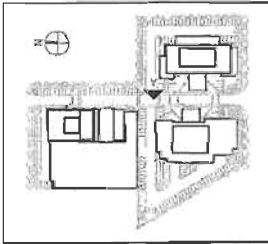
PROJECT SOUTH ELEVATION

1/16" = 1'-0"

KEYPLAN



KEYPLAN



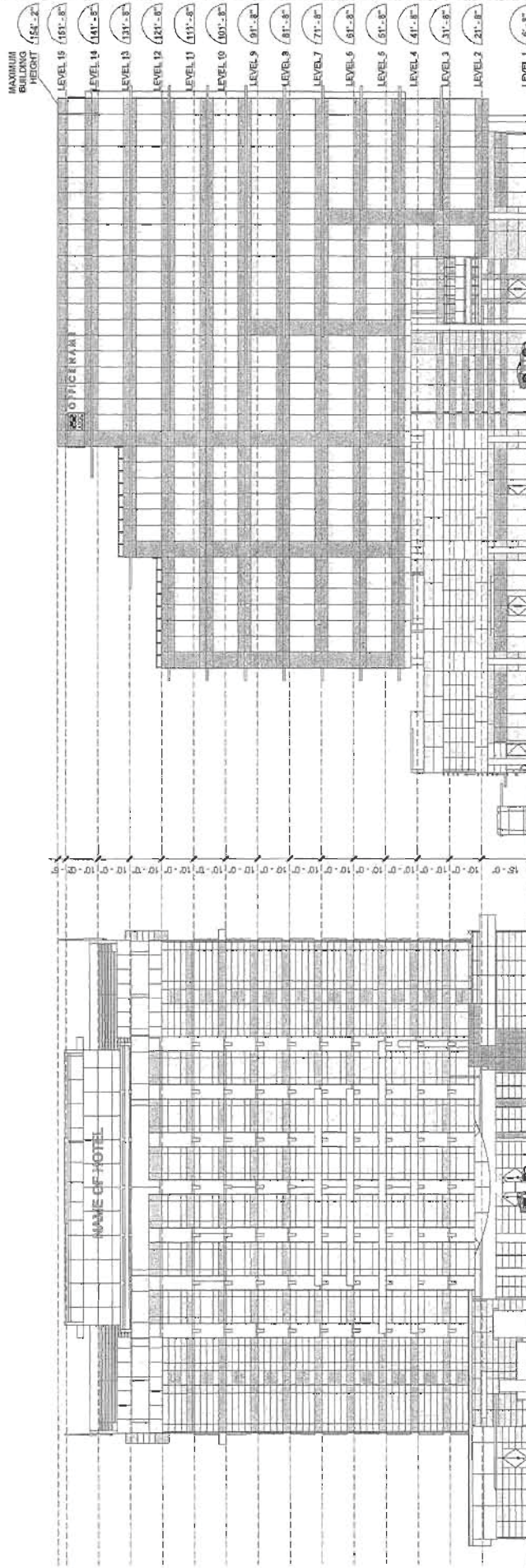
JUN 21 2012

IBI GROUP

DP-11594571

#13

BRIDGEPORT HOTEL / BUSINESS CENTER



PROJECT EAST ELEVATION A 1202

2012-06-11 ISSUED FOR DESIGN PANEL SUBMISSION

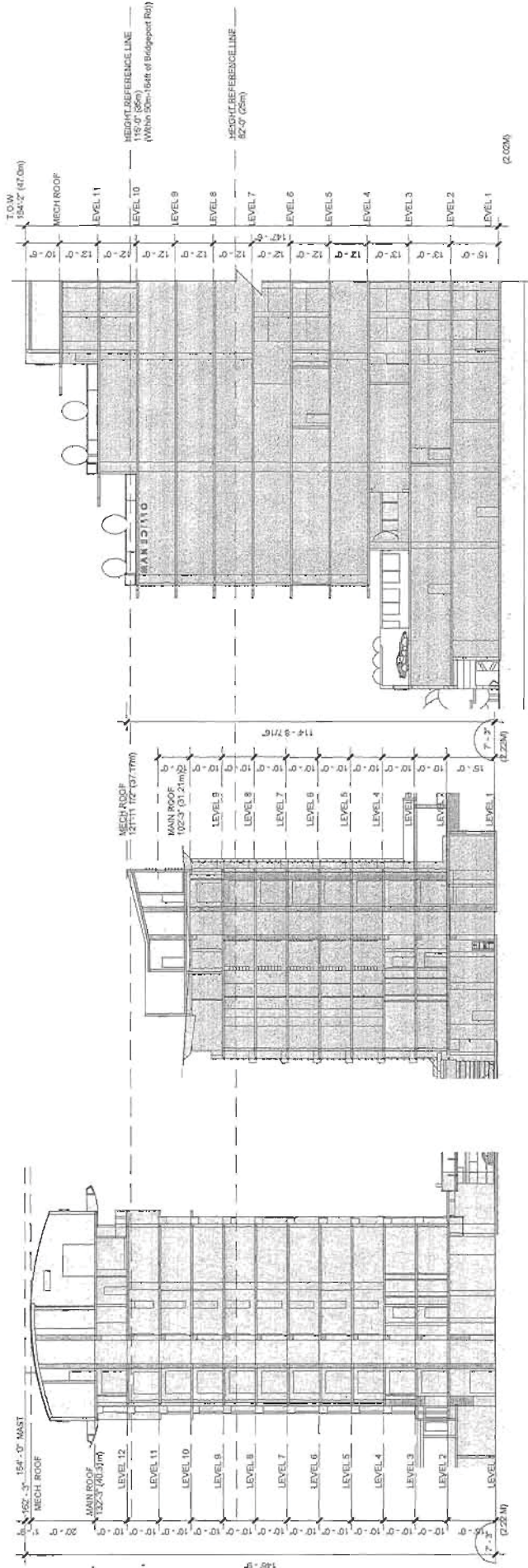
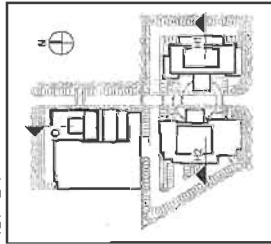
1/16" = 1'-0"

JUN 21 2012

DP- 11594571

#14.

KEYPLAN



O - OFFICE

H1 -HOTEL 1

H2- HOTEL 2

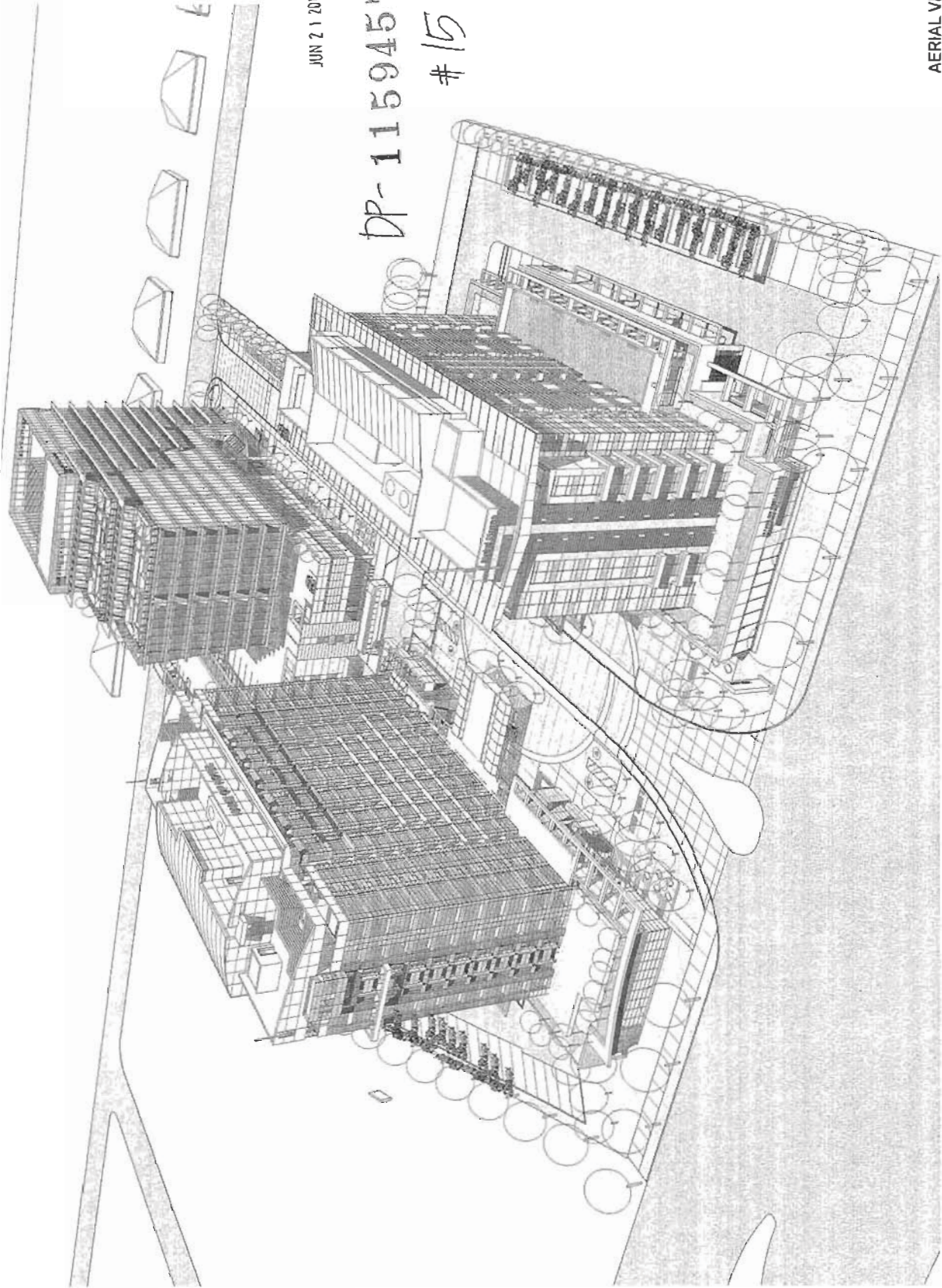
SCHEMATIC SECTION

1/16" = 1'-0"



BRIDGEPORT HOTEL / BUSINESS CENTER

A 1601



JUN 21 2012

DP-11594571

#15

AERIAL VIEW 1

NTS

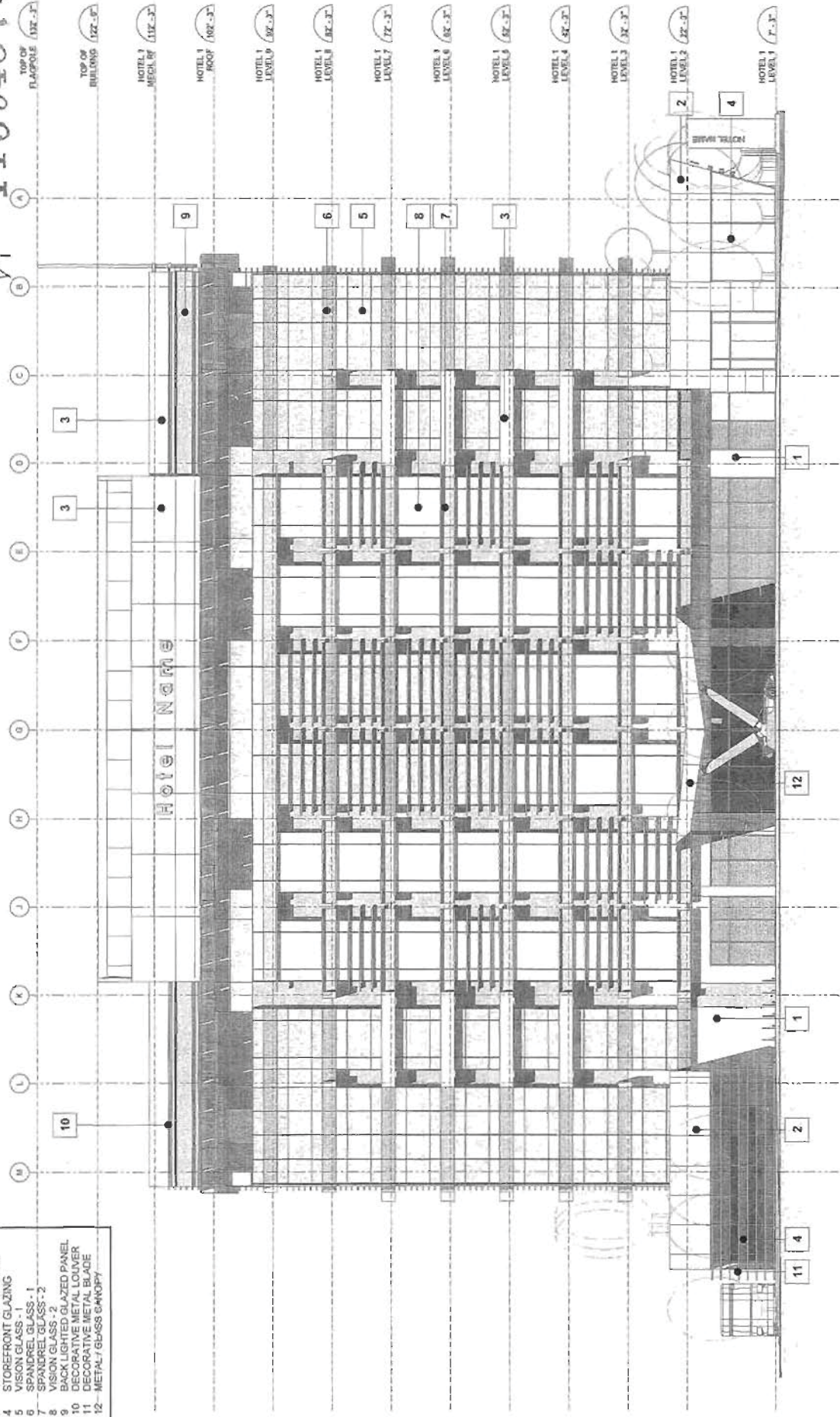
#16

JUN 21 2012



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- MATERIAL LEGEND**
- 1 PAINTED CONCRETE
 - 2 STONE PANEL
 - 3 DECORATIVE METAL PANEL
 - 4 STOREFRONT GLAZING
 - 5 VISION GLASS - 1
 - 6 SPANDREL GLASS - 1
 - 7 VISION GLASS - 2
 - 8 BACK PAINTED GLAZED PANEL
 - 9 DECORATIVE METAL GLAZER
 - 10 DECORATIVE METAL BLAZE
 - 11 METAL / GLASS SKINOPY
 - 12



BRIDGEPORT HOTEL / BUSINESS CENTER

HOTEL 1 WEST ELEVATION

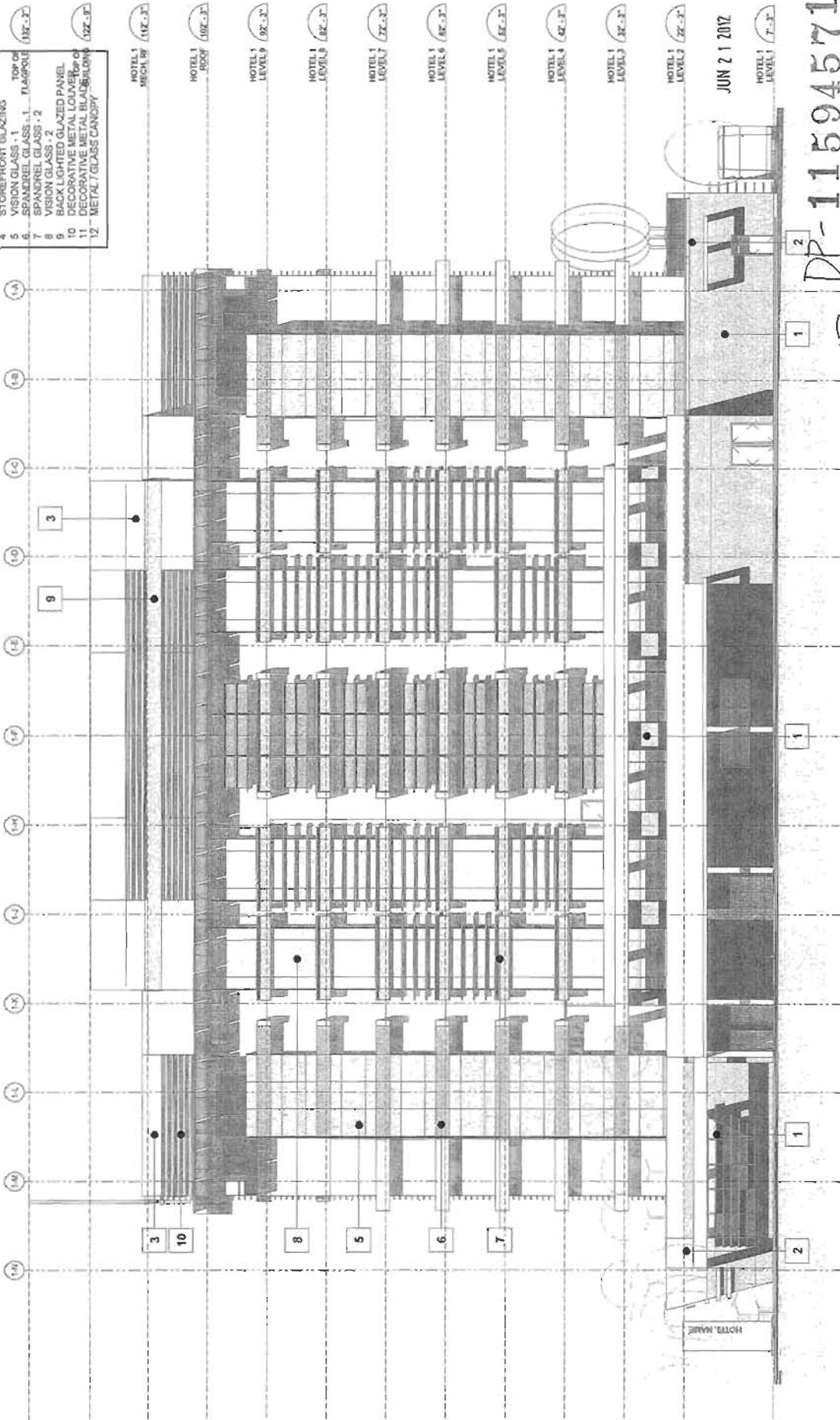
A 2/101

2012-06-11 ISSUED FOR DESIGN PANEL SUBMISSION

1/8" = 1'-0"

MATERIAL LEGEND

- 1 PAINTED CONCRETE
- 2 STONE PANEL
- 3 DECORATIVE METAL PANEL
- 4 VISION GLASS GLAZING
- 5 VISION GLASS - 1
- 6 SPANDREL GLASS - 1
- 7 SPANDREL GLASS - 2
- 8 VISION GLASS - 2
- 9 BACK LIGHTED GLAZED PANEL
- 10 DECORATIVE METAL LOUVER
- 11 DECORATIVE METAL BLADE
- 12 METAL / GLASS CANOPY



JUN 2 1 2012

DP-11594571

HOTEL 1 EAST ELEVATION

1/8" = 1'-0"

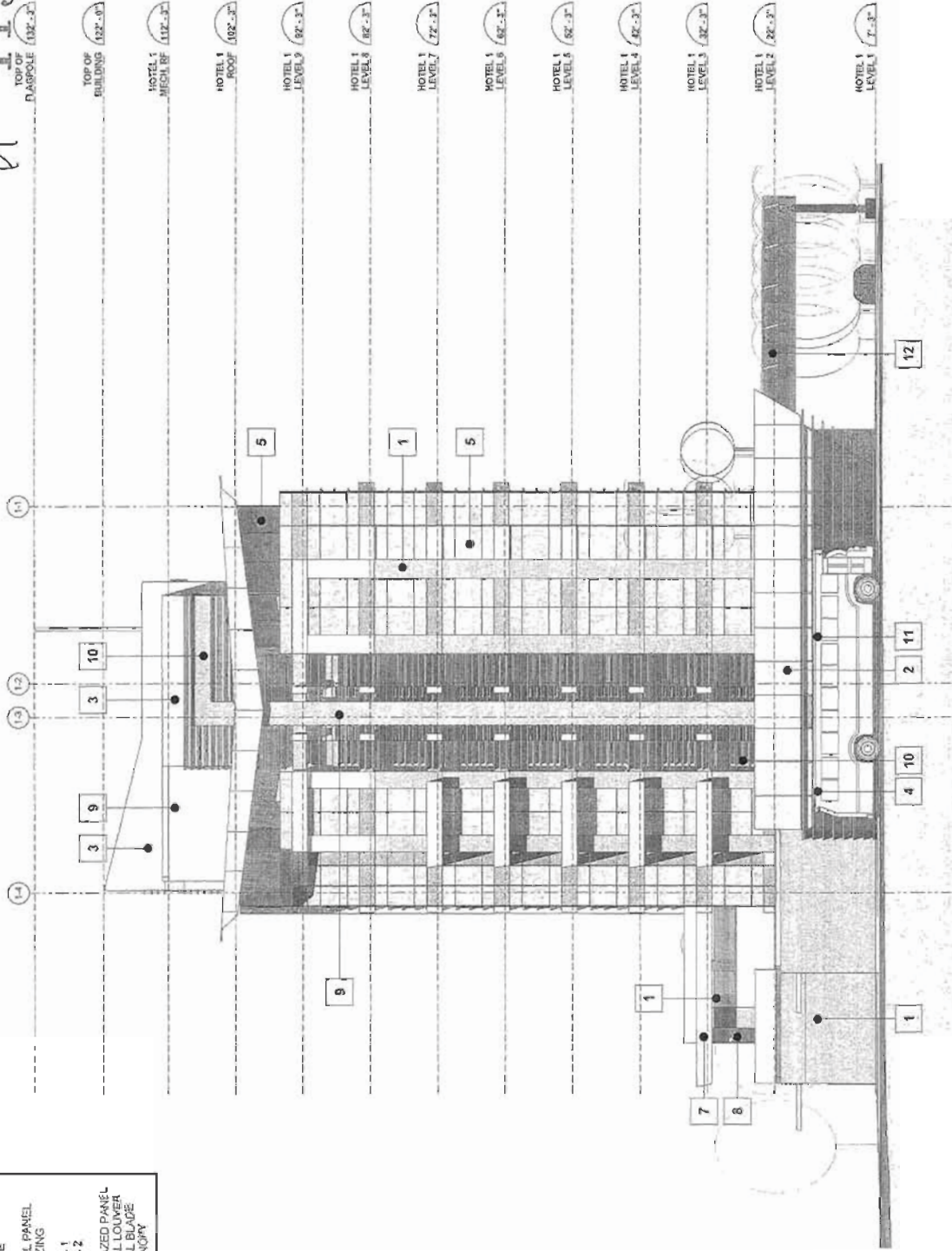
JUN 21 2012

DP- 11594571

10

MATERIAL LEGEND

- 1 PAINTED CONCRETE
- 2 STONE PANEL
- 3 DECORATIVE METAL PANEL
- 4 STOREFRONT GLAZING
- 5 VISION GLASS - 1
- 6 SPANDREL GLASS - 1
- 7 VISION GLASS - 2
- 8 SPANDREL GLASS - 2
- 9 DECORATIVE METAL LOUVER
- 10 DECORATIVE METAL BLADE
- 11 METAL / GLASS CANOPY
- 12



HOTEL 1 NORTH ELEVATION

1/8" = 1'-0"

JUN 21 2012

DP-11594571
TOP OF
FLAGPOLE 152'-3"

#19.



BRIDGEPORT HOTEL / BUSINESS CENTER

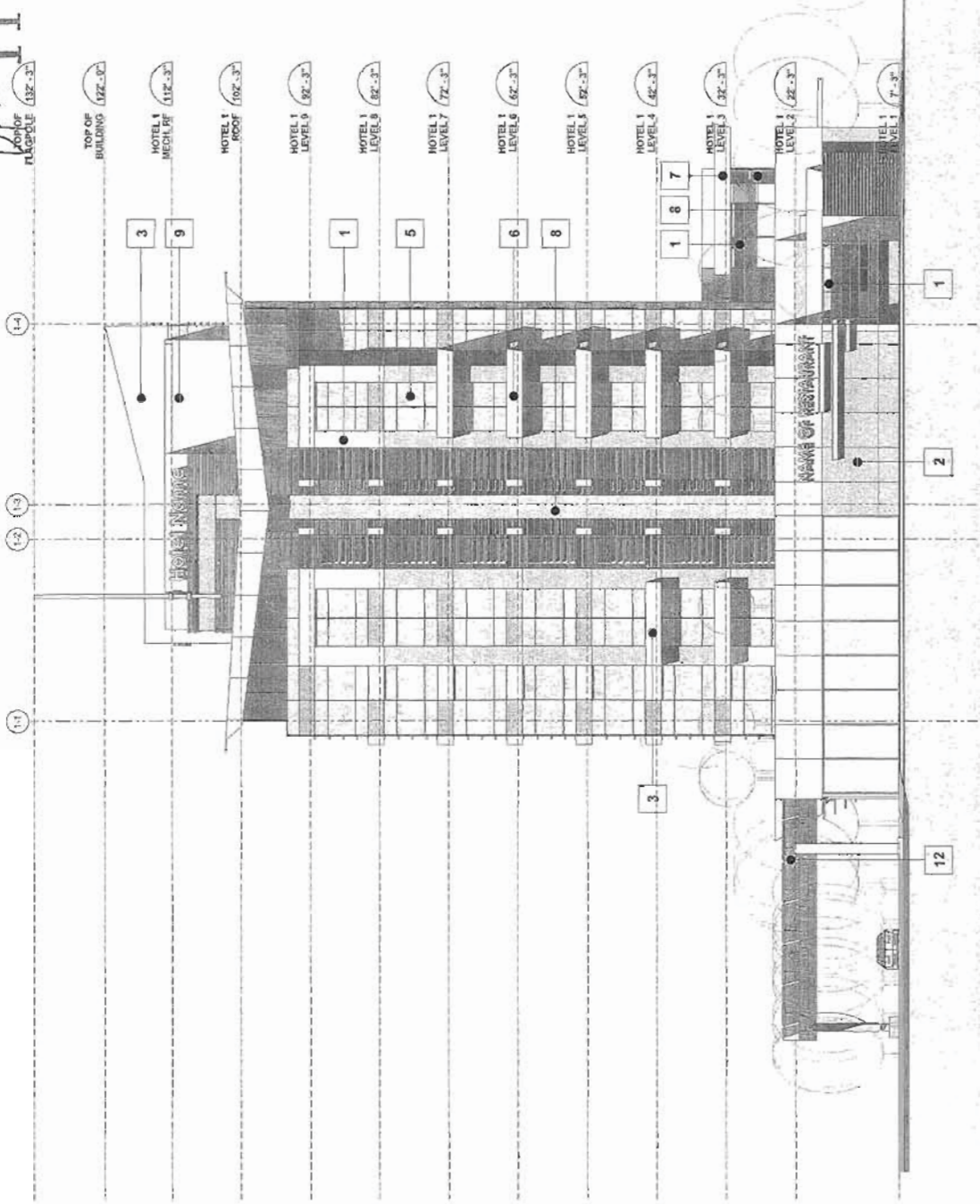
A 2104

HOTEL 1 SOUTH ELEVATION

1/8" = 1'-0"

MATERIAL LEGEND

- 1 PAINTED CONCRETE
- 2 STONE PANEL
- 3 DECORATIVE METAL PANEL
- 4 STOREFRONT GLAZING
- 5 VISION GLASS - 1
- 6 SPANDREL GLASS - 1
- 7 SPANDREL GLASS - 2
- 8 VISION GLASS
- 9 BACK LIGHTED GLAZED PANEL
- 10 DECORATIVE METAL LOUVER
- 11 DECORATIVE METAL BLADE
- 12 METAL / GLASS CANOPY



JUN 21 2012

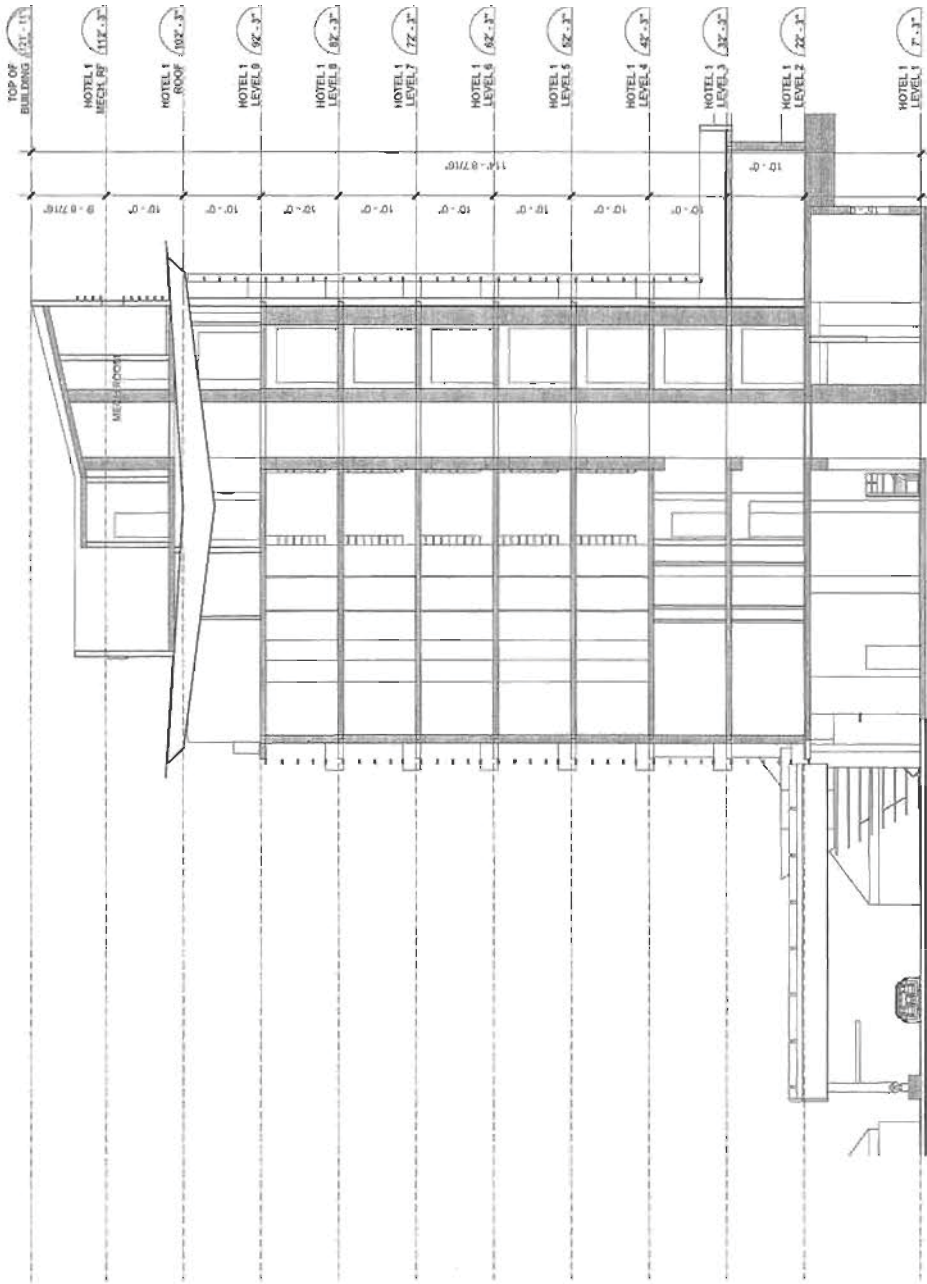
11594571

20

BRIDGEPORT HOTEL / BUSINESS CENTER

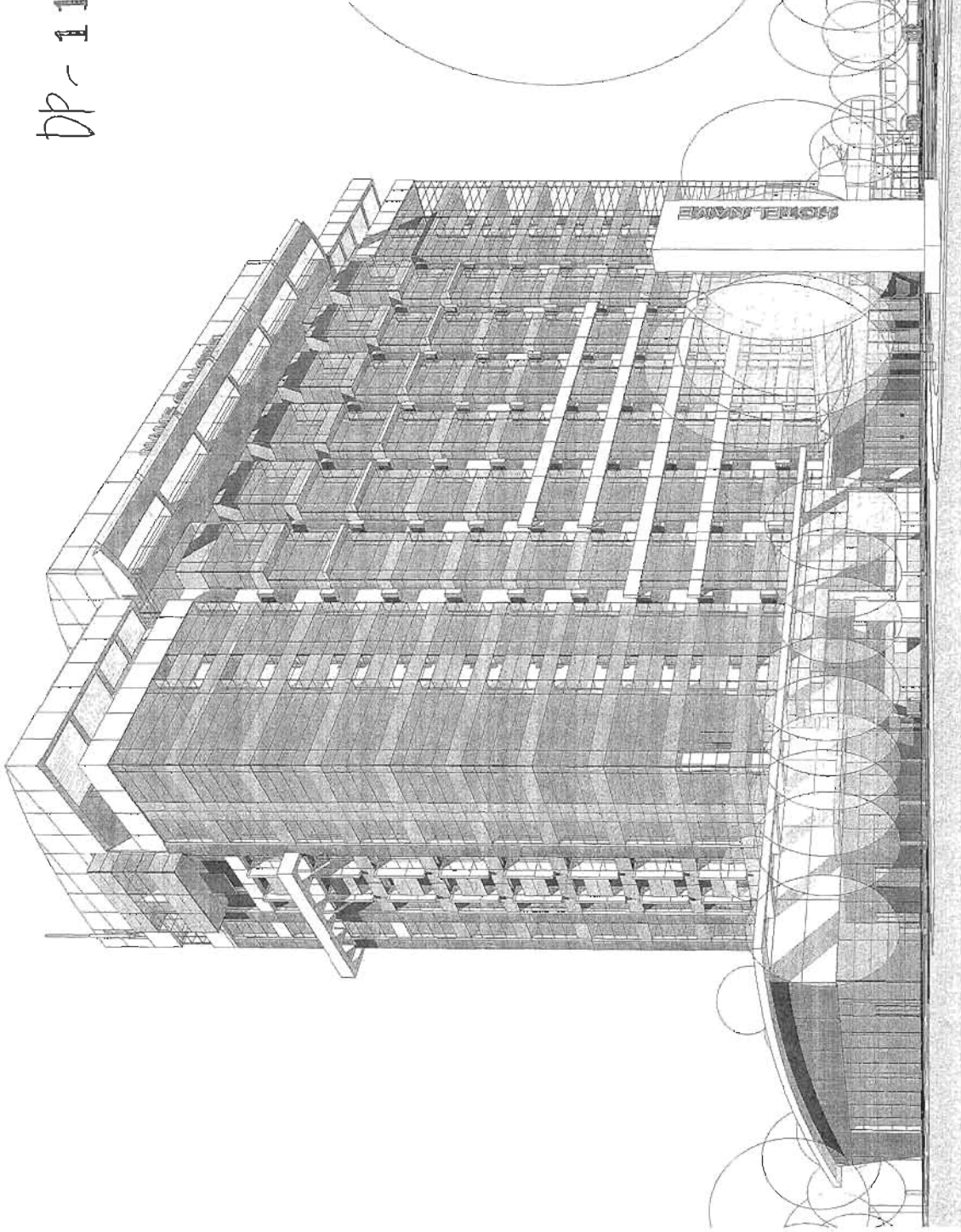
HOTEL 1 SECTION A 2301

1/8" = 1'-0"



JUN 21 2012

DP-11594571
#21



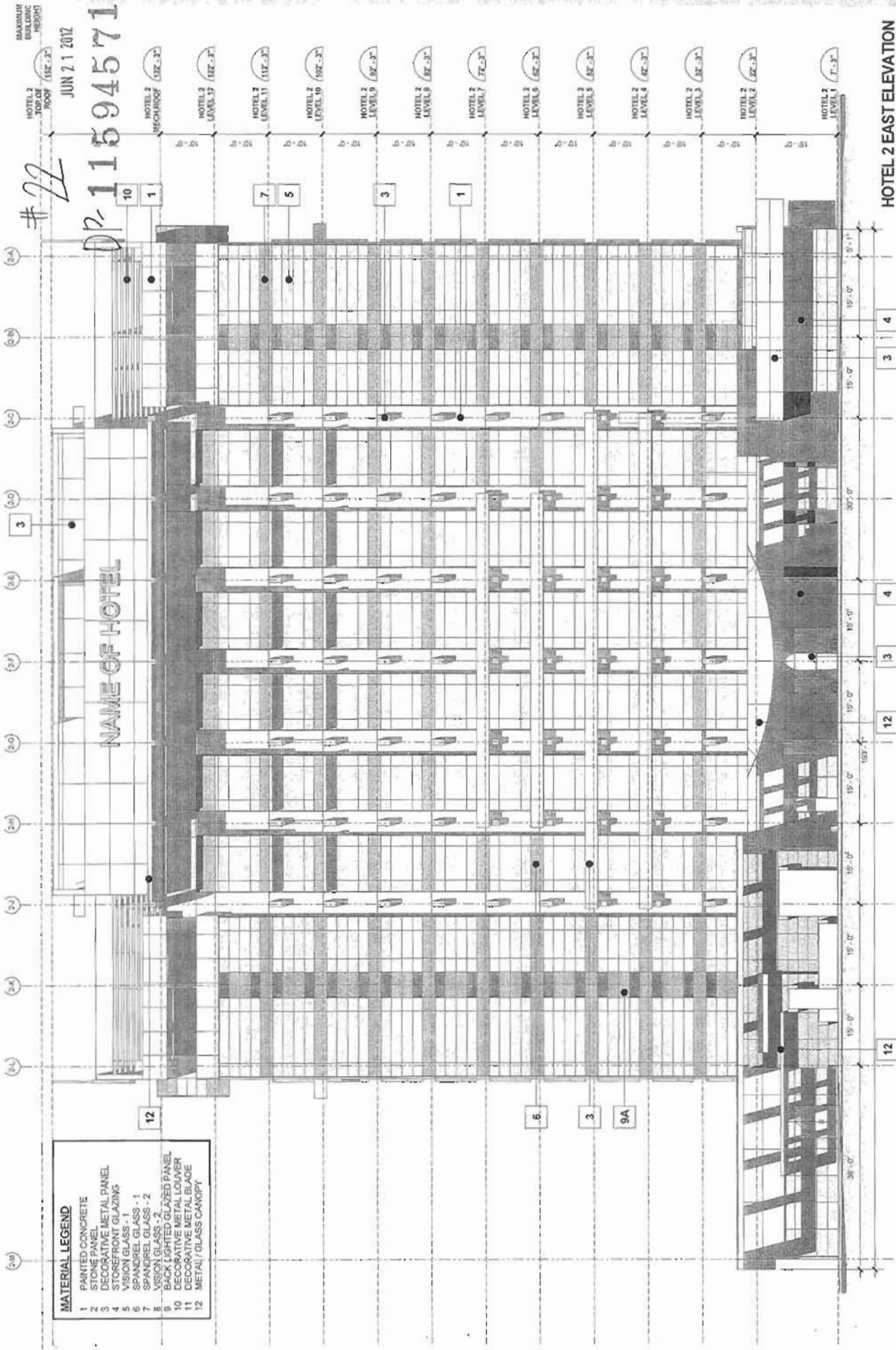
HOTEL 2 PERSPECTIVE FROM BRIDGEPORT ST 1

NTS

MAXIMUM BUILDING HEIGHT

JUN 21 2012

#22
D2-11594571



MATERIAL LEGEND

1	PAINTED CONCRETE
2	STONE PANEL
3	DECORATIVE METAL PANEL
4	STOREFRONT GLAZING
5	VISION GLASS - 1
6	SPANDREL GLASS - 1
7	VISION GLASS - 2
8	SPANDREL GLASS - 2
9	BACK LIGHTED GLAZED PANEL
10	DECORATIVE METAL CANOPY
11	DECORATIVE METAL BLADE
12	METAL / GLASS CANOPY

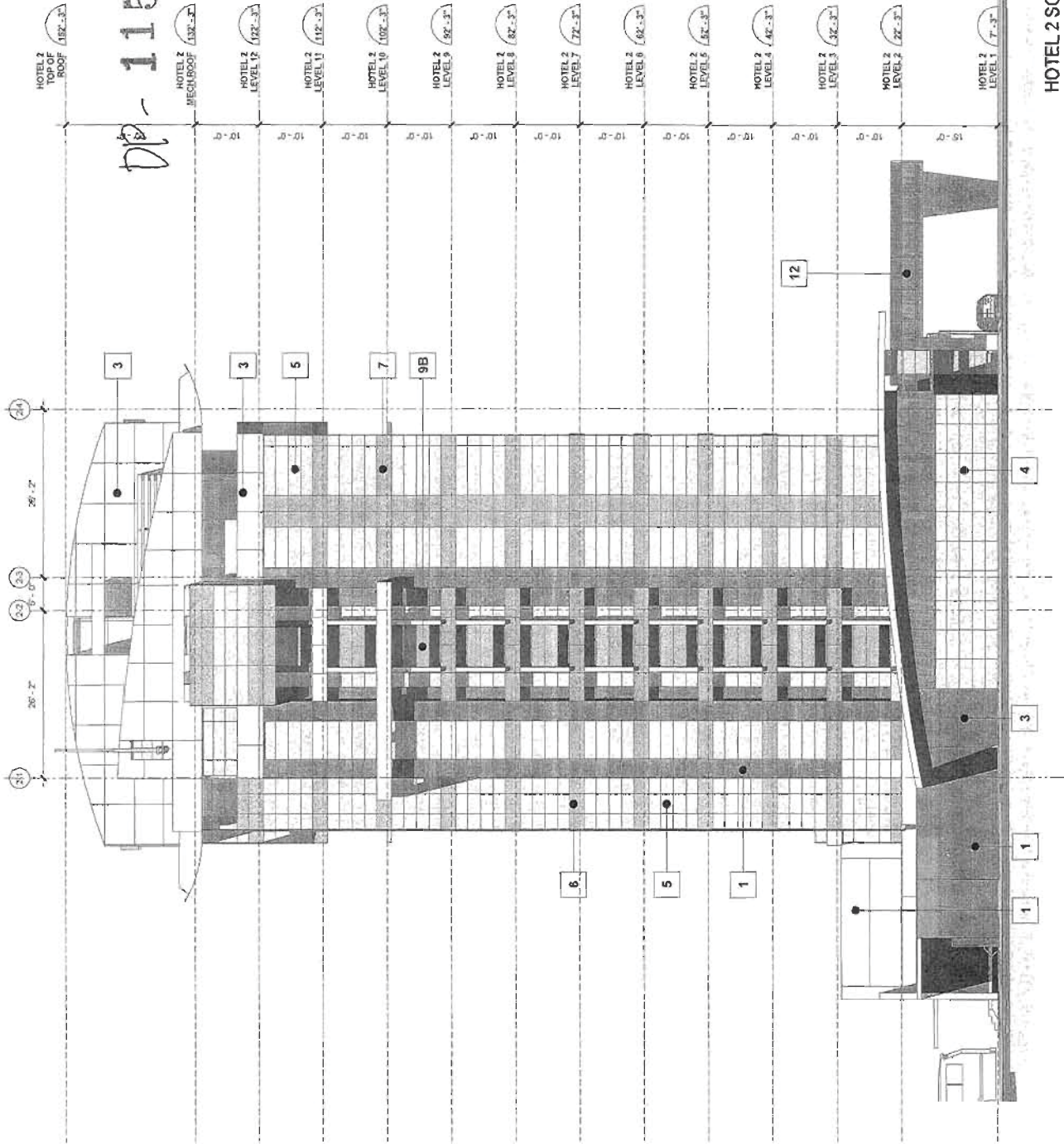
HOTEL 2 EAST ELEVATION

1/8" = 1'-0"

JUN 21 2012

DP-11594571

#29

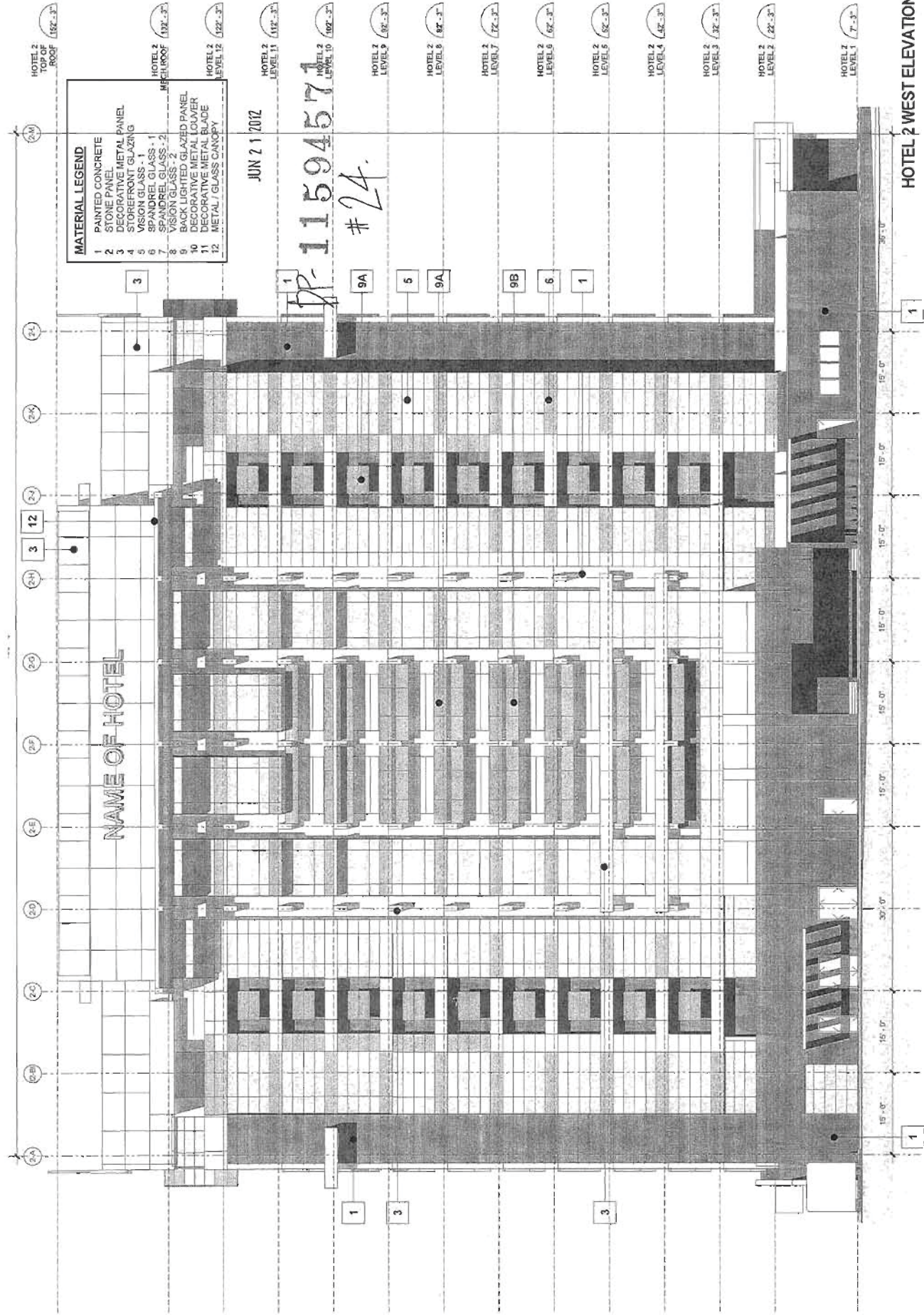


MATERIAL LEGEND

1	PAINTED CONCRETE
2	STONE PANEL
3	DECORATIVE METAL PANEL
4	STOREFRONT GLAZING
5	VISION GLASS - 1
6	SPANDREL GLASS - 1
7	VISION GLASS - 2
8	SPANDREL GLASS - 2
9	BACK LIGHTED GLAZED PANEL
10	DECORATIVE METAL LOUVER
11	DECORATIVE METAL SLAIDE
12	METAL / GLASS CANOPY

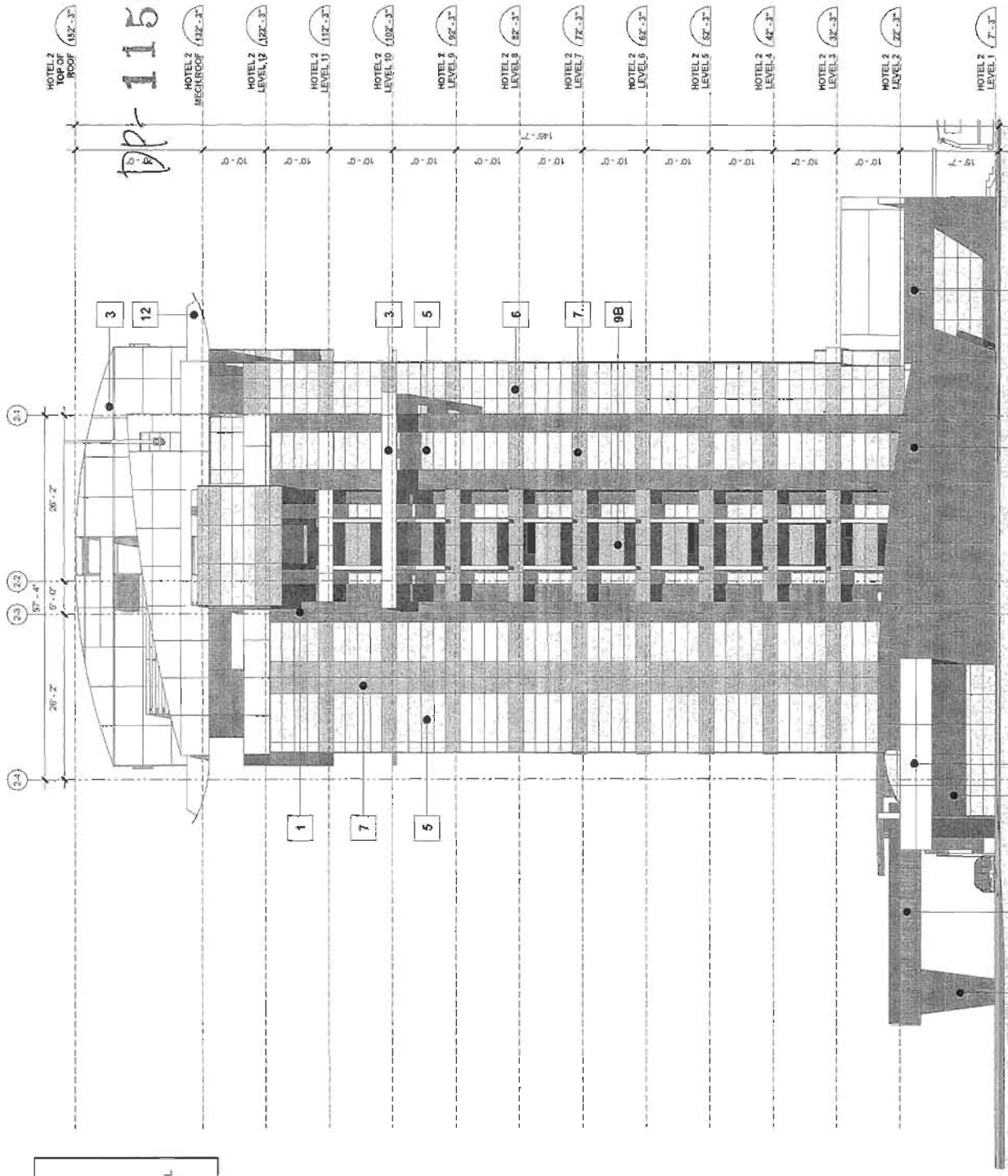
HOTEL 2 SOUTH ELEVATION

1/8" = 1'-0"



JUN 21 2012

DP-11594571
#25



MATERIAL LEGEND

1	PAINTED CONCRETE
2	STONE PANEL
3	DECORATIVE METAL PANEL
4	STOREFRONT GLAZING
5	VISION GLASS - 1
6	SPANDREL GLASS - 1
7	VISION GLASS - 2
8	SPANDREL GLASS - 2
9	BACK LIGHTED GLAZED PANEL
10	DECORATIVE METAL LOUVER
11	DECORATIVE METAL BLAUDE
12	METAL / GLASS CANOPY

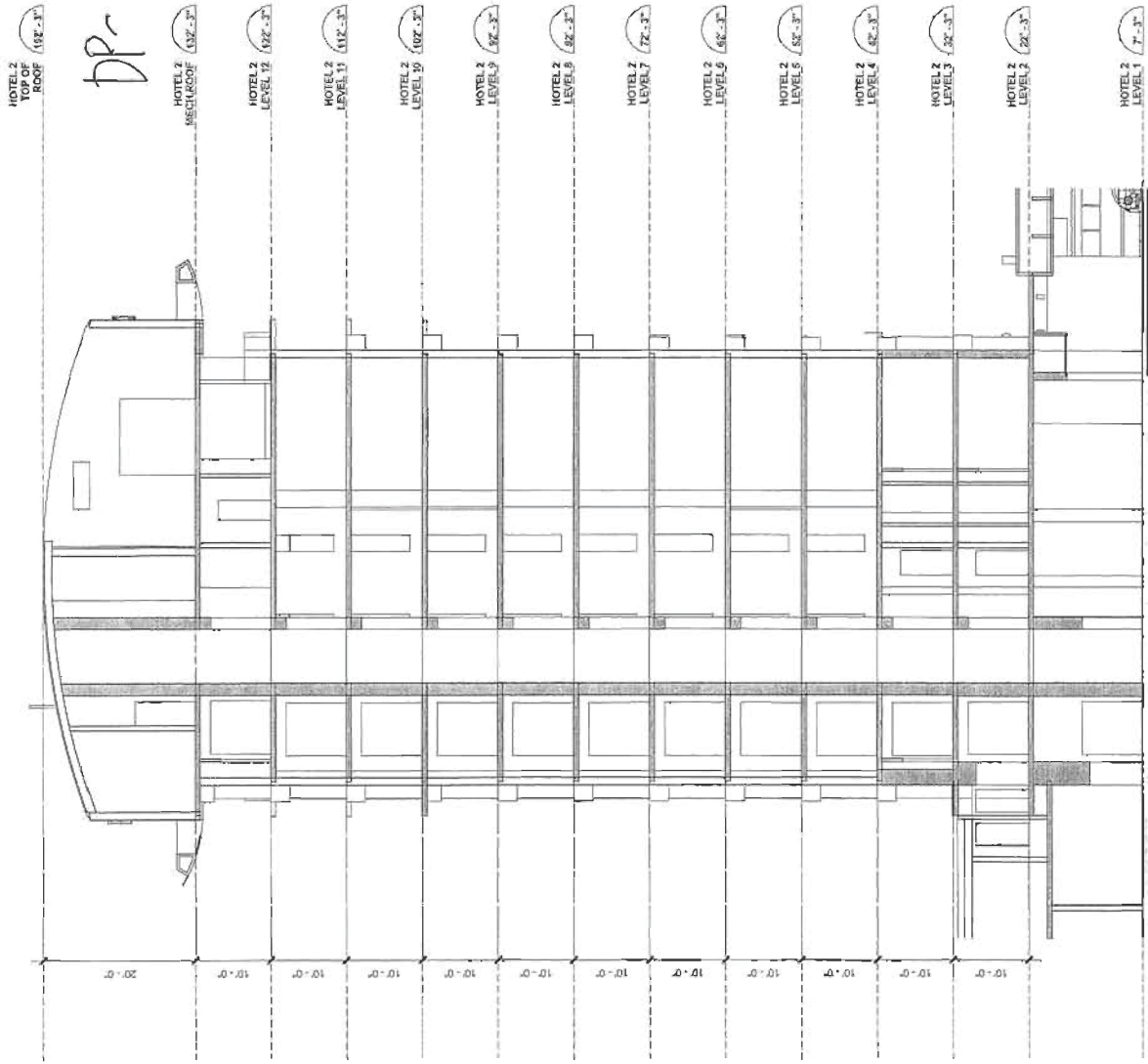
HOTEL 2 NORTH ELEVATION

1/8" = 1'-0"

JUN 21 2012

DP-11594571

#26.



HOTEL 2 SECTION

1/8" = 1'-0"



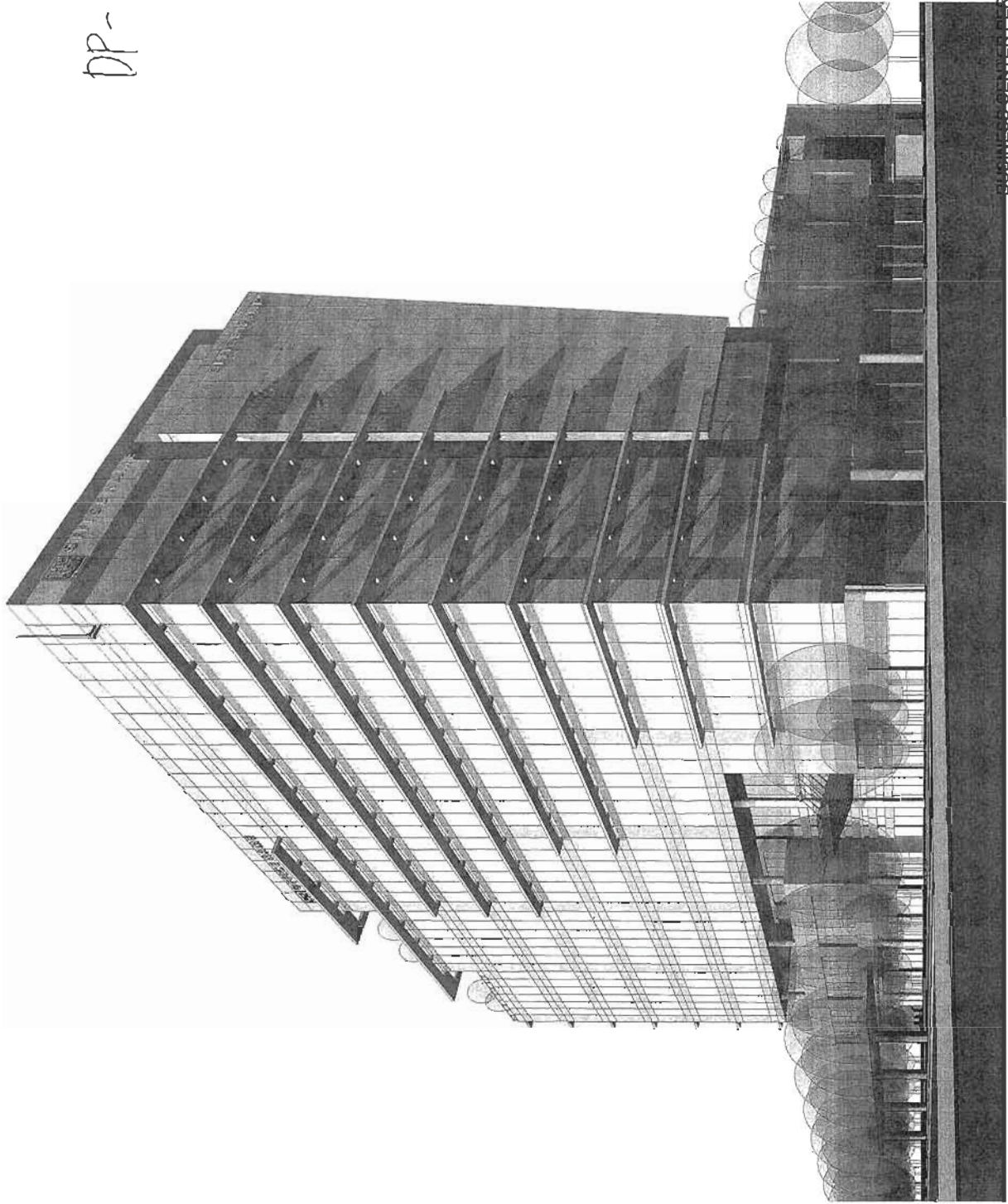
BRIDGEPORT HOTEL / BUSINESS CENTER

A 4001

JUN 21 2012

DP- 11594571

#27.



BUSINESS CENTER RESPECTIVE FROM NORTH EAST

NTS

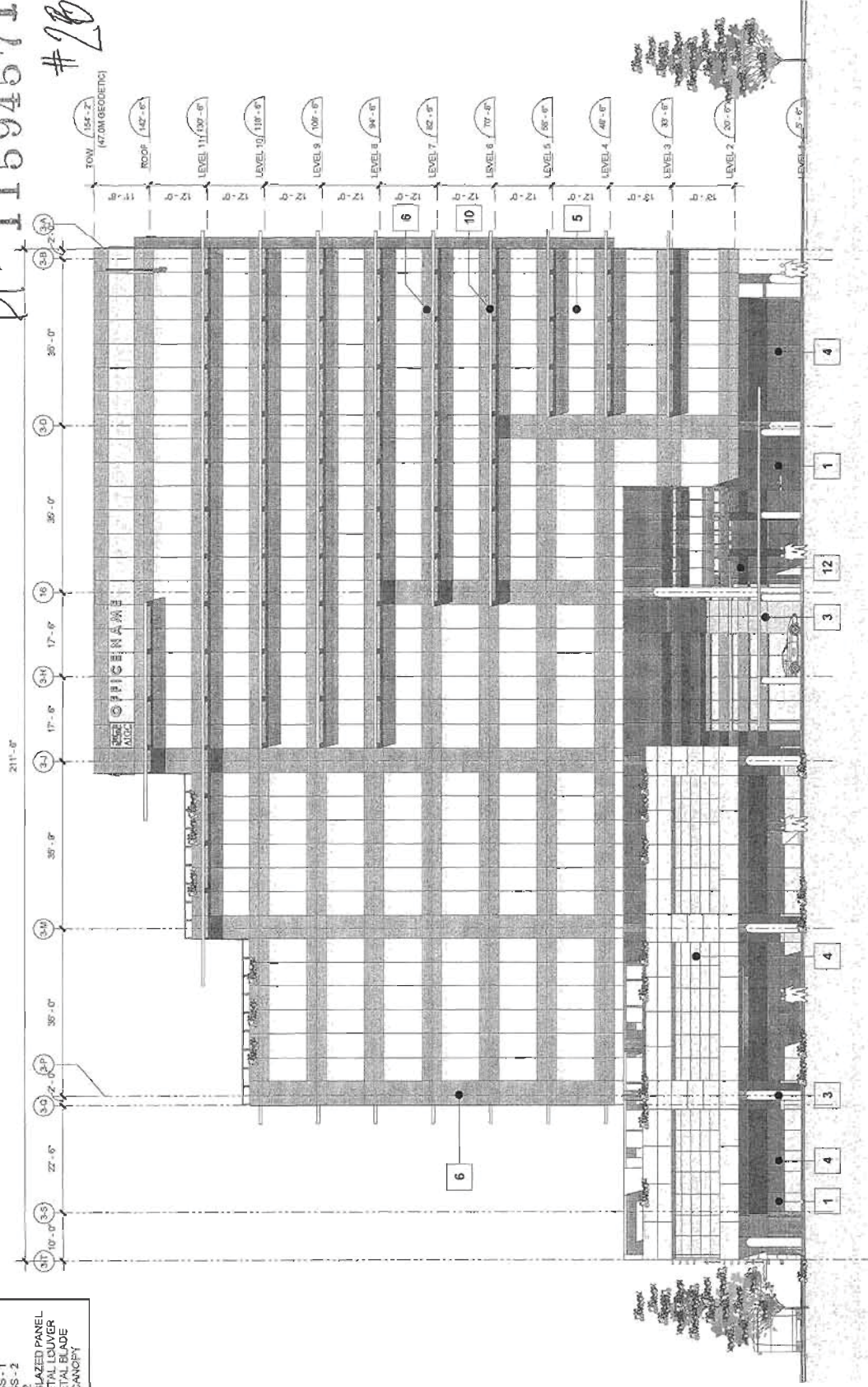
2012-06-11 ISSUED FOR DESIGN PANEL SUBMISSION

JUN 21 2012

DP-11594571 #20

MATERIAL LEGEND

- 1 PAINTED CONCRETE
- 2 STONE PANEL
- 3 DECORATIVE METAL PANEL
- 4 STOREFRONT GLAZING
- 5 SPANDREL GLASS - 1
- 6 SPANDREL GLASS - 2
- 7 VISION GLASS - 1
- 8 VISION GLASS - 2
- 9 BACK LIGHTED GLAZED PANEL
- 10 DECORATIVE METAL LOUVER
- 11 DECORATIVE METAL BLADE
- 12 METAL / GLASS CANOPY



BUSINESS CENTER EAST ELEVATION

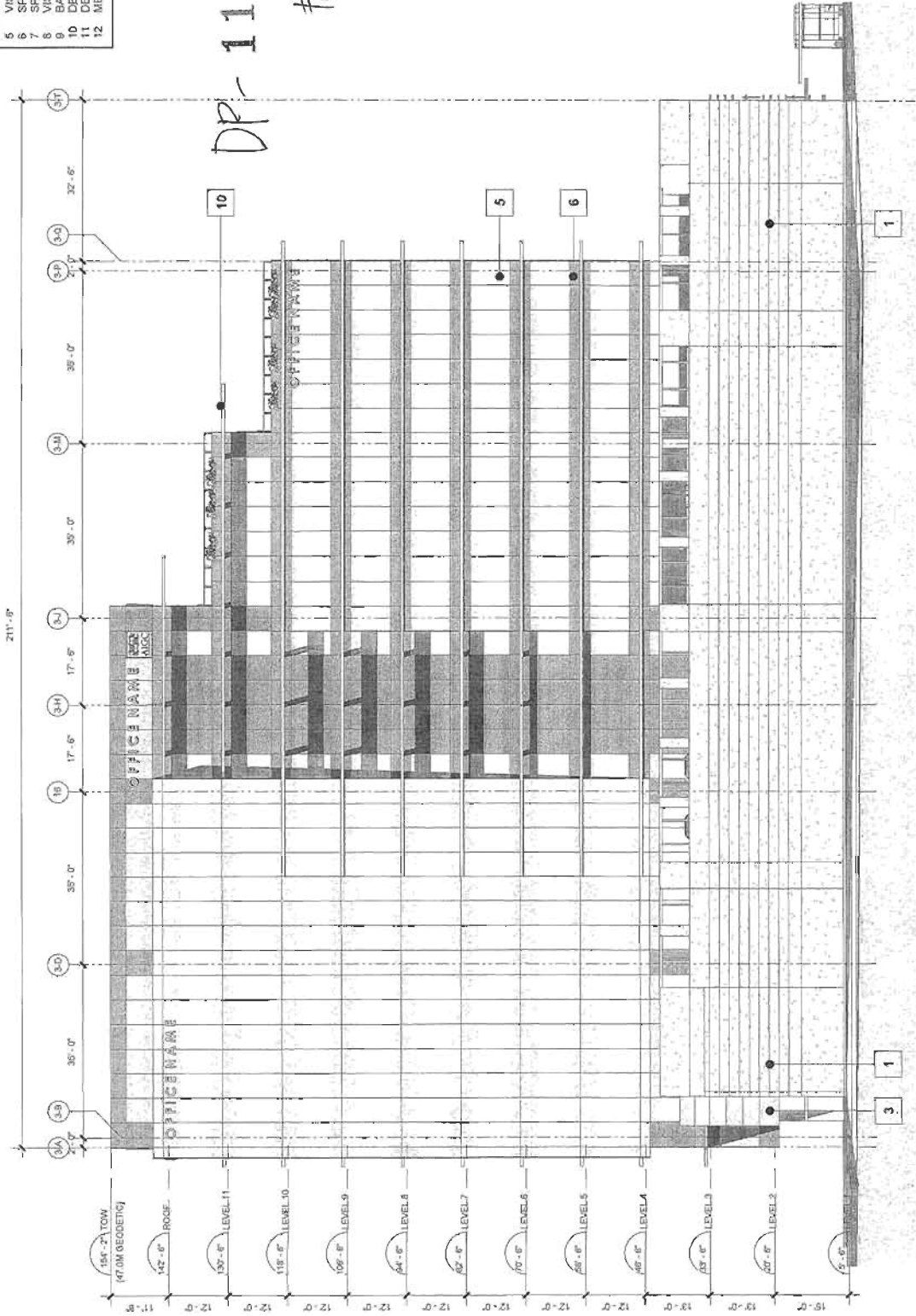
3/32" = 1'-0"

MATERIAL LEGEND

- 1 PAINTED CONCRETE
- 2 STONE PANEL
- 3 DECORATIVE METAL PANEL
- 4 STOREFRONT GLAZING
- 5 VISION GLASS - 1
- 6 SPANDREL GLASS - 1
- 7 VISION GLASS - 2
- 8 SPANDREL GLASS - 2
- 9 BACK LIGHTED GLAZED PANEL
- 10 DECORATIVE METAL LOUVER
- 11 DECORATIVE METAL BLADE
- 12 METAL / GLASS CANOPY

JUN 21 2012

DP-11594571
#30



BUSINESS CENTER WEST ELEVATION

3/32" = 1'-0"

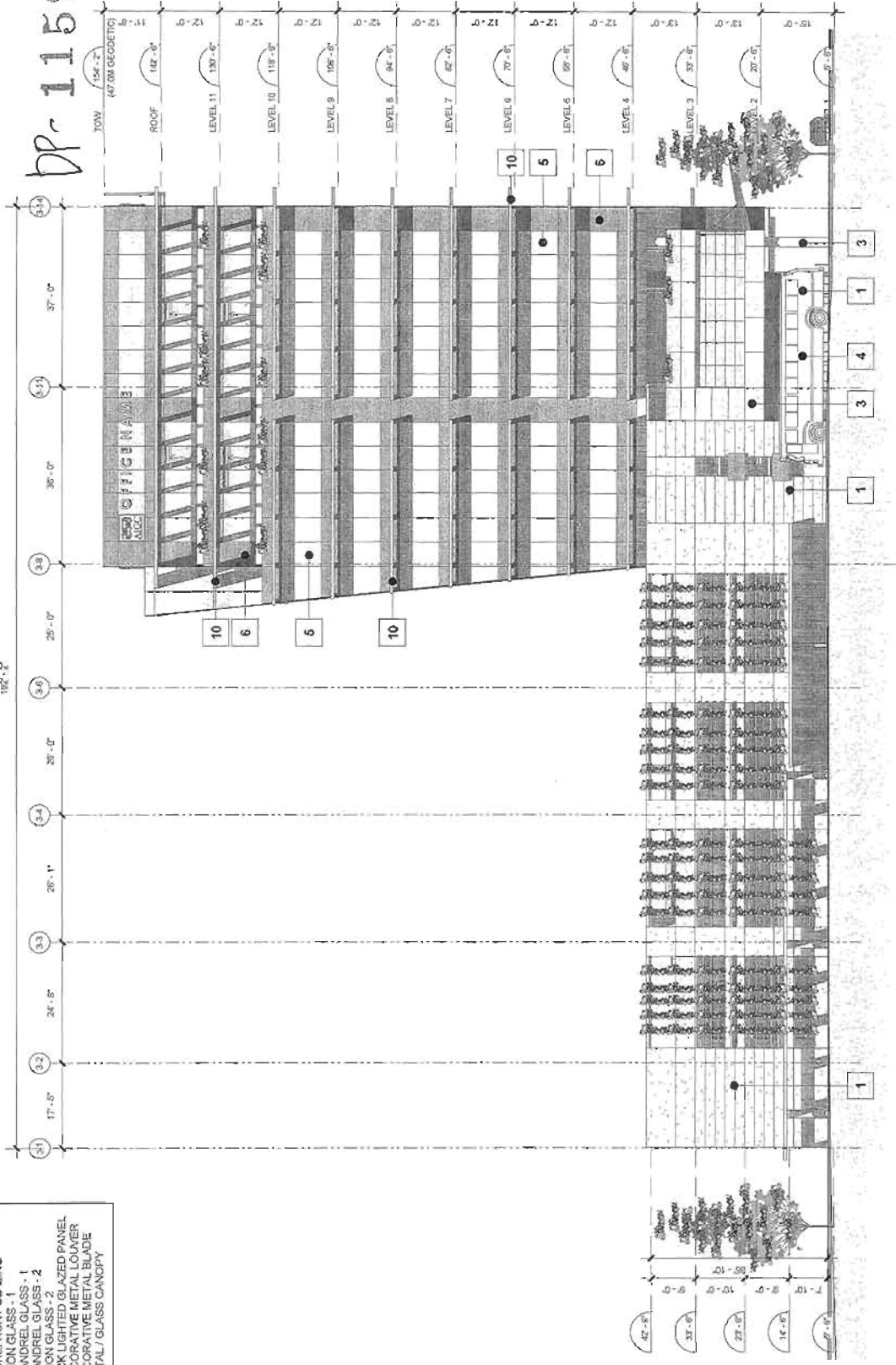
JUN 21 2012

DP-11594571

#31

MATERIAL LEGEND

- 1 PAINTED CONCRETE
- 2 STONE PANEL
- 3 DECORATIVE METAL PANEL
- 4 STOREFRONT GLAZING
- 5 VISION GLASS - 1
- 6 SPANDREL GLASS - 1
- 7 VISION GLASS - 2
- 8 SPANDREL GLASS - 2
- 9 BACK LIGHTED GLAZED PANEL
- 10 DECORATIVE METAL LOUVER
- 11 DECORATIVE METAL BLADE
- 12 METAL / GLASS CANOPY



BUSINESS CENTER SOUTH ELEVATION

3/32" = 1'-0"

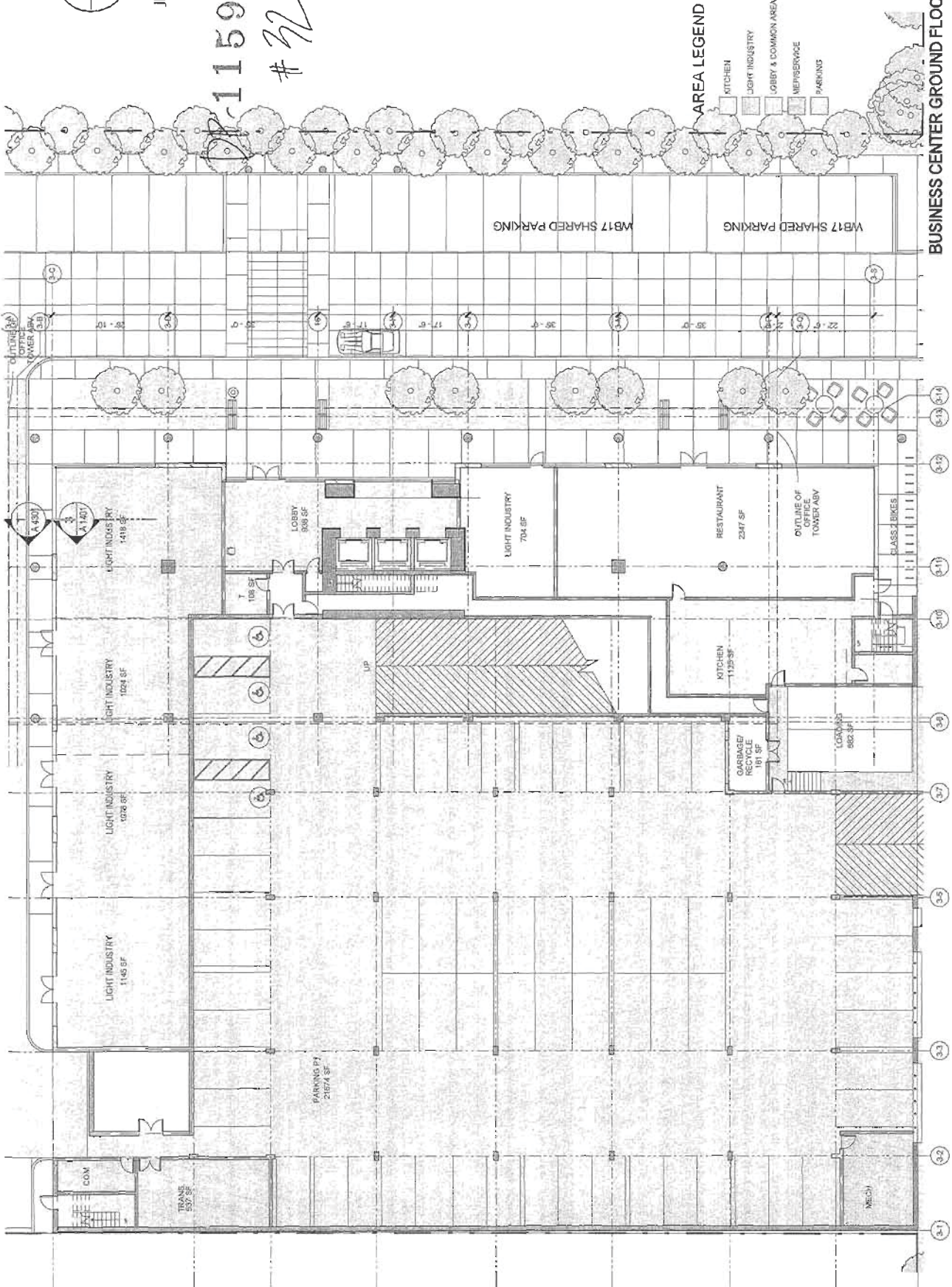


JUN 21 2012

BRIDGEPORT HOTEL / BUSINESS CENTER

A 4201

11594571
32



AREA LEGEND

[Symbol]	KITCHEN
[Symbol]	LIGHT INDUSTRY
[Symbol]	LOBBY & COMMON AREA
[Symbol]	MEPSERVICE
[Symbol]	PARKING

BUSINESS CENTER GROUND FLOOR PLAN

3/32" = 1'-0"

2012-06-11 ISSUED FOR DESIGN PANEL SUBMISSION



BRIDGEPORT HOTEL / BUSINESS CENTER

A 4202



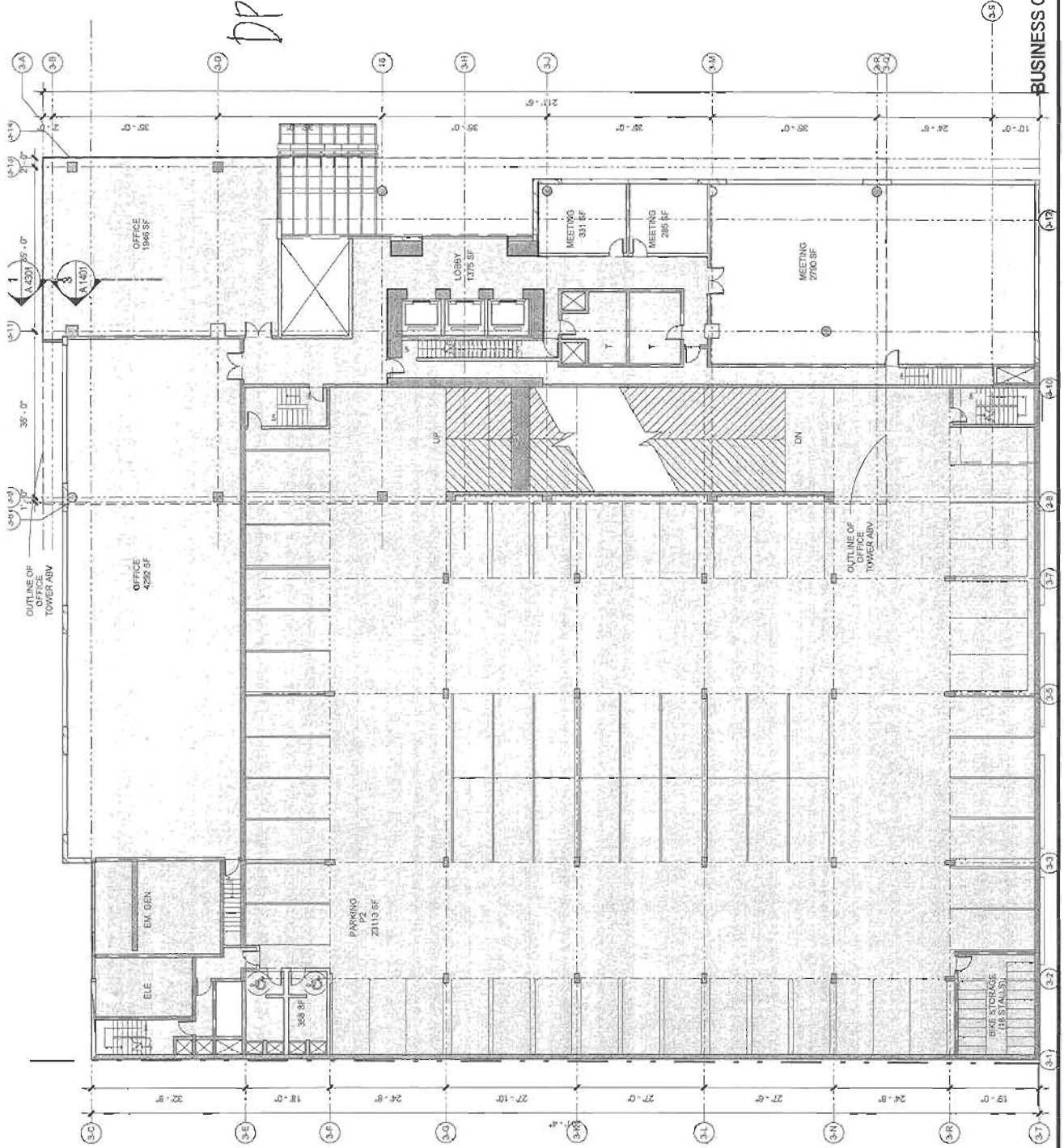
JUN 21 2012

DP-11594571
33

AREA LEGEND

- CONFERENCE
- LOBBY & COMMON AREA
- MEP/SERVICE
- OFFICE
- PARKING

3/32" = 1'-0"



BUSINESS CENTER LEVEL 2 FLOOR PLAN

2012-06-11 ISSUED FOR DESIGN PANEL SUBMISSION



BRIDGEPORT HOTEL / BUSINESS CENTER

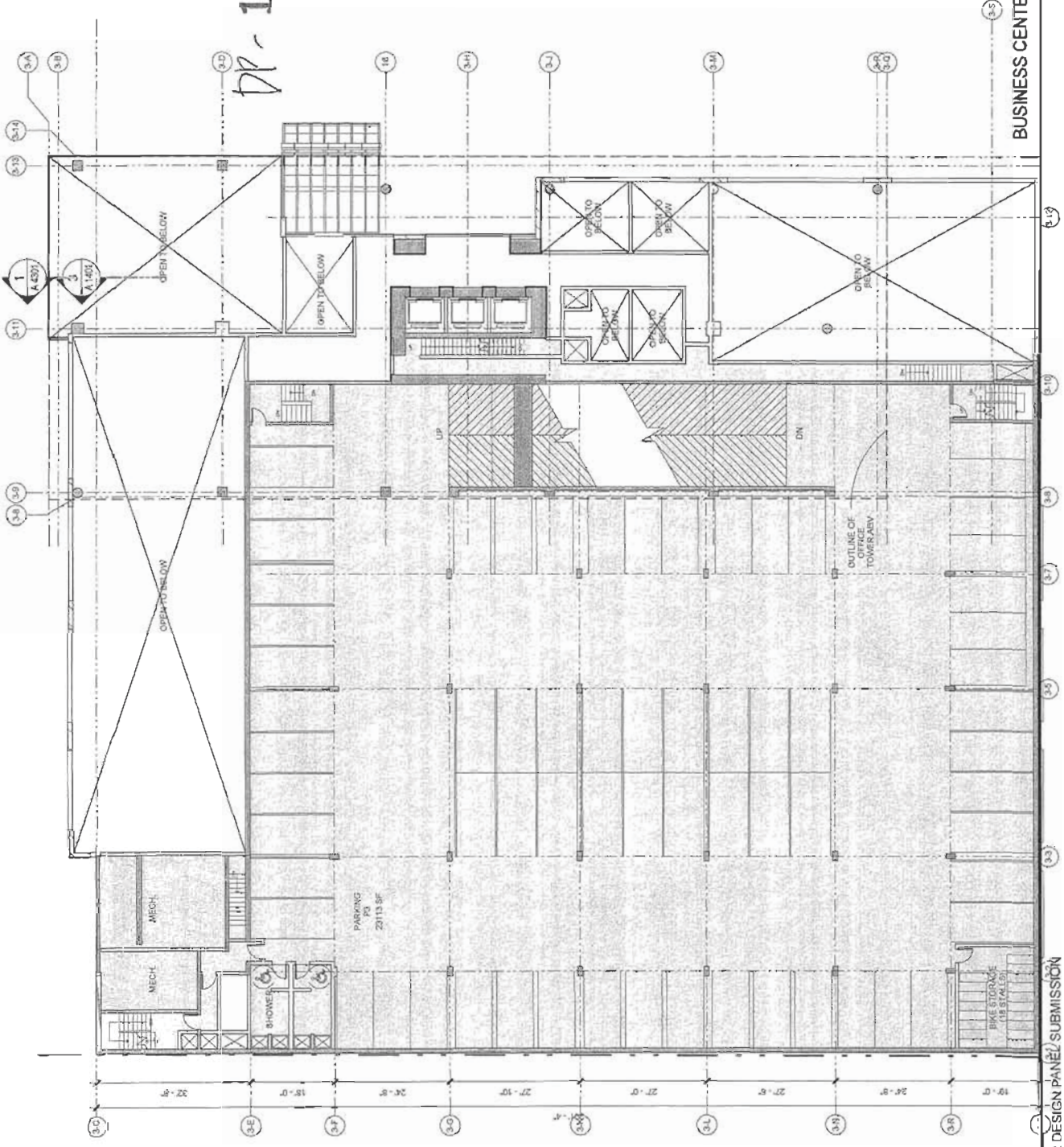
A 4203



JUN 21 2012

DP-11594571

34



BUSINESS CENTER P3 PARKING LEVEL

3/32" = 1'-0"

2012-06-11 ISSUED FOR DESIGN PANEL SUBMISSION

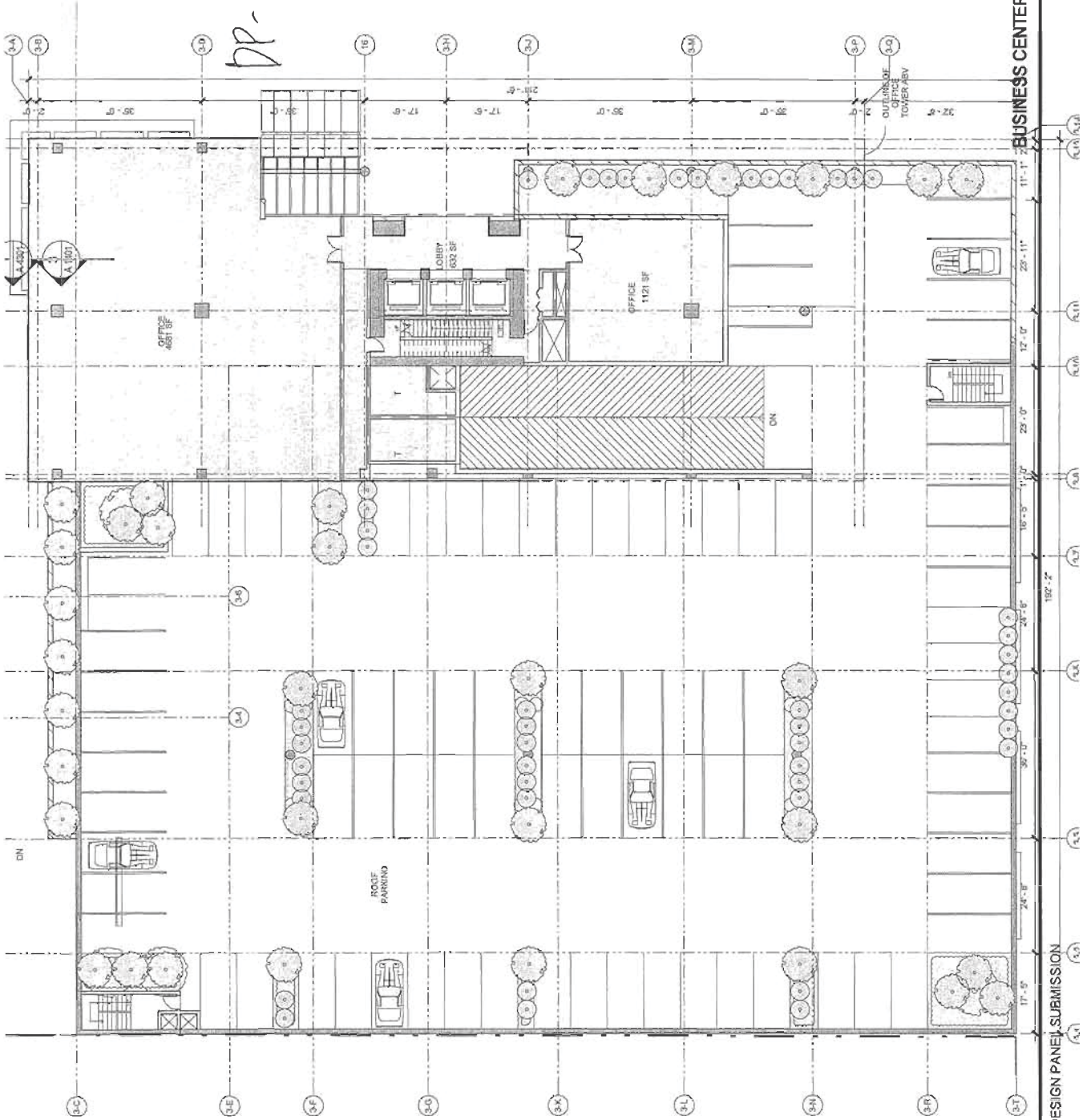


JUN 21 2012

BRIDGEPORT HOTEL / BUSINESS CENTER

A 4204

DP-11594571
#35



AREA LEGEND

- LOBBY & COMMON AREA
- OFFICE

BUSINESS CENTER LEVEL 3 FLOOR PLAN

3/32" = 1'-0"

2012-06-11 ISSUED FOR DESIGN PANEL SUBMISSION

JUN 21 2012

DR-11594571

#30

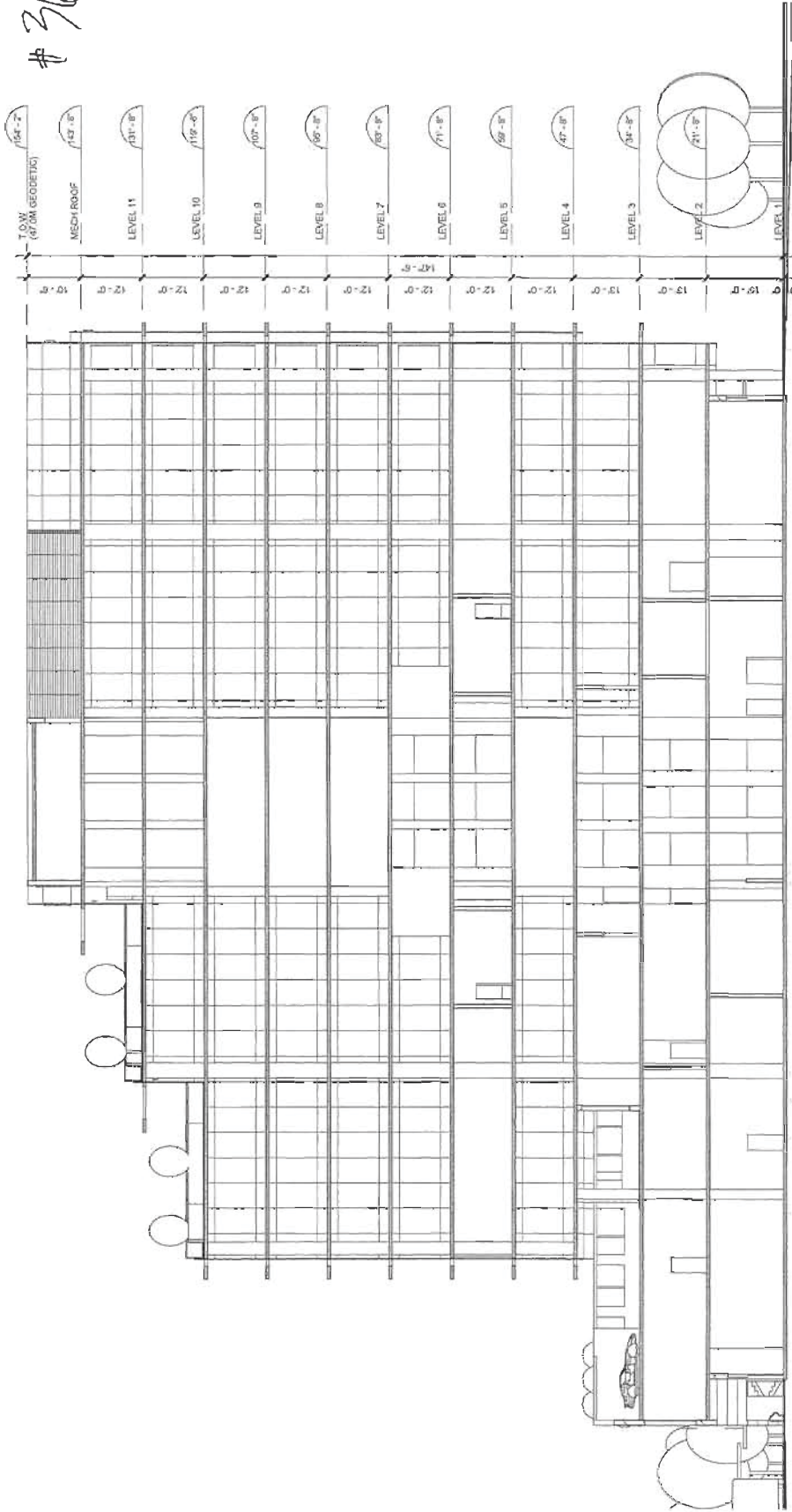
BRIDGEPORT HOTEL / BUSINESS CENTER

A 4301

BUSINESS CENTER SECTION 1

2012-08-11 ISSUED FOR DESIGN PANEL SUBMISSION

3/32" = 1'-0"



JUN 21 2012

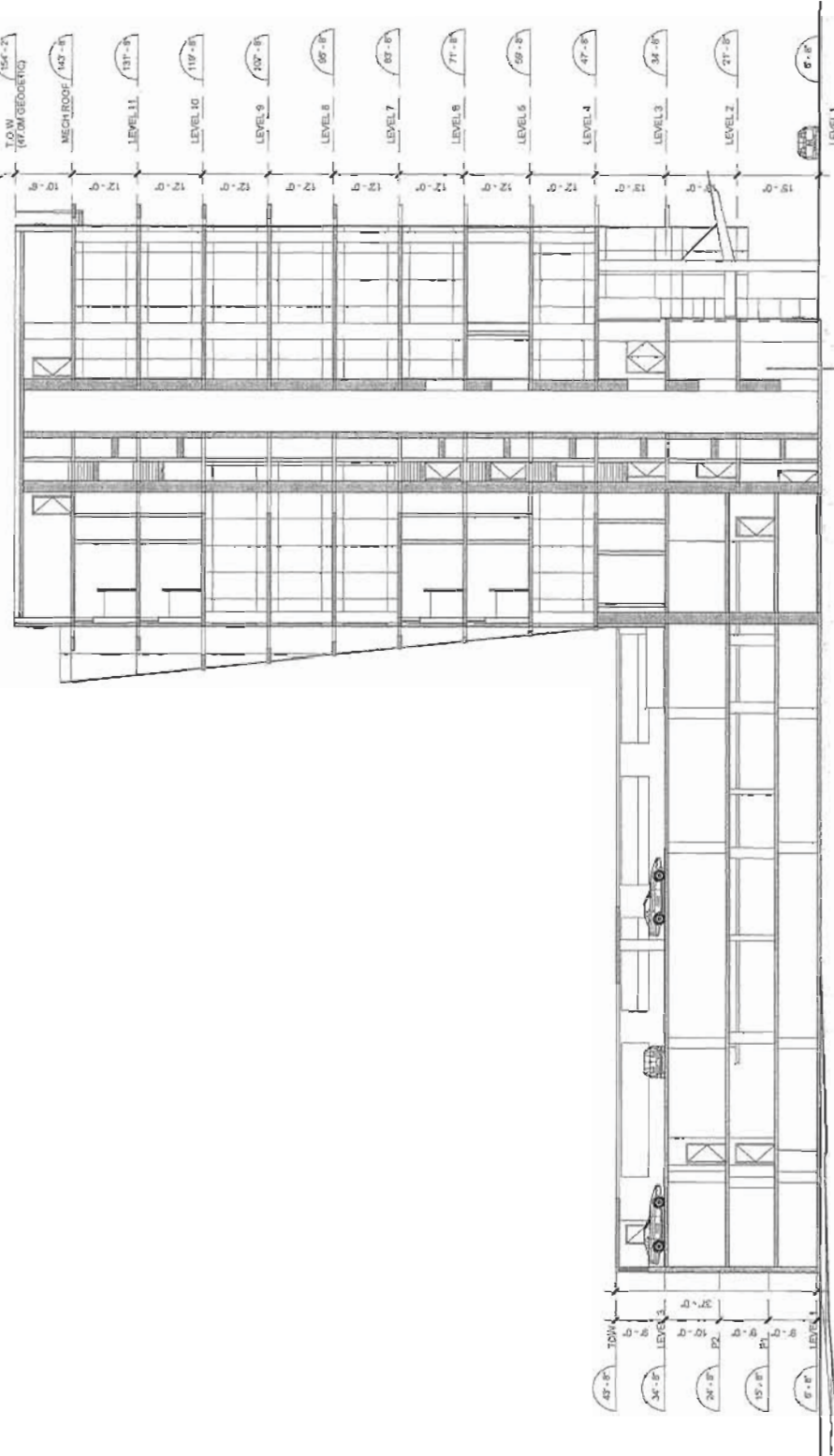
DP-11594571 #37

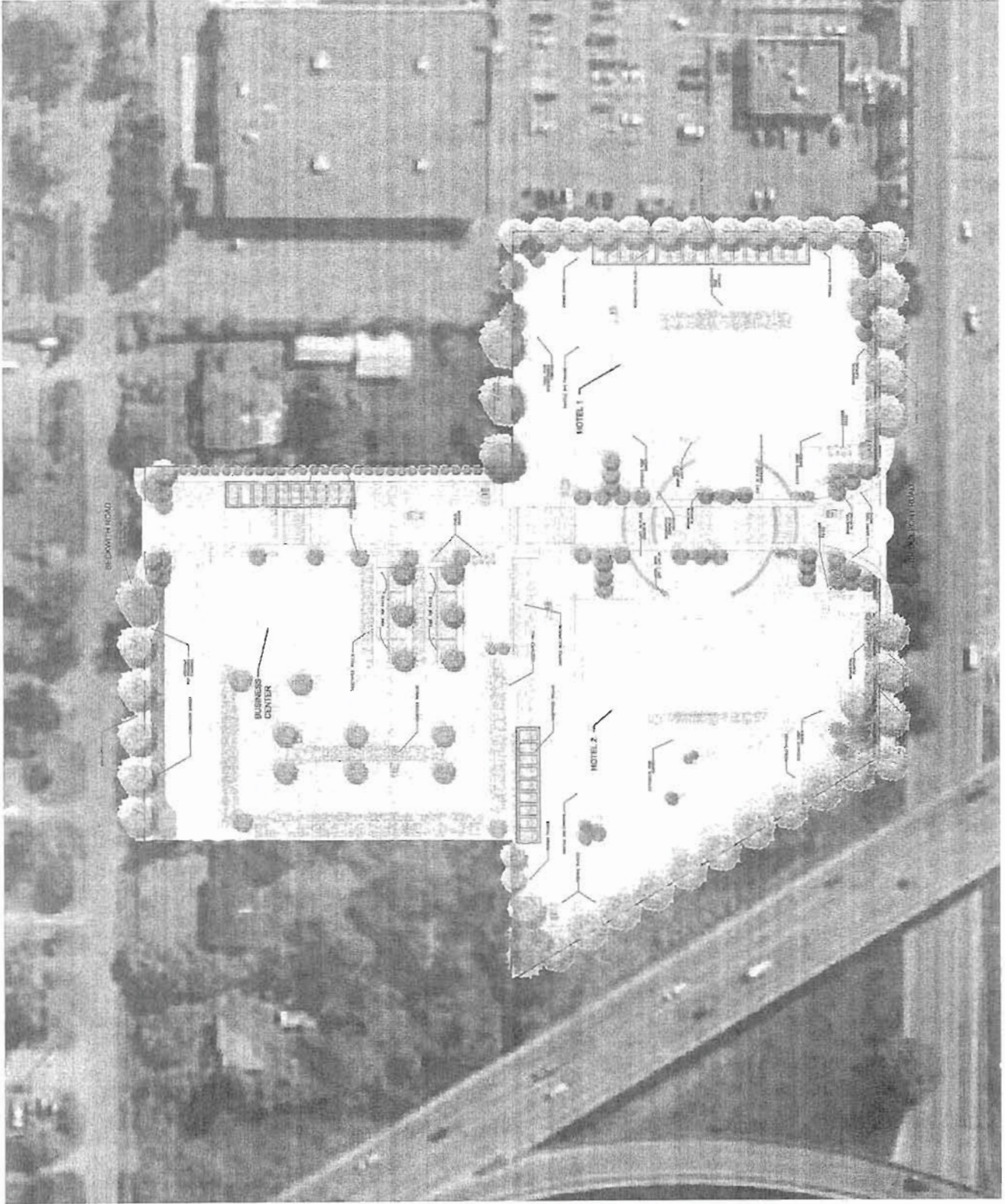
BRIDGEPORT HOTEL / BUSINESS CENTER

A 4302

BUSINESS CENTER SECTION 2

3/32" = 1'-0"





KEY	DESCRIPTION	SYMBOL
1	Asphalt Paving	[Symbol]
2	Concrete Paving	[Symbol]
3	Gravel Paving	[Symbol]
4	Grass	[Symbol]
5	Water	[Symbol]
6	Storm Sewer	[Symbol]
7	Sanitary Sewer	[Symbol]
8	Water Main	[Symbol]
9	Sanitary Main	[Symbol]
10	Electric	[Symbol]
11	Gas	[Symbol]
12	Telephone	[Symbol]
13	Fire Alarm	[Symbol]
14	Fire Hydrant	[Symbol]
15	Fire Alarm Control Panel	[Symbol]
16	Fire Alarm Pull Station	[Symbol]
17	Fire Alarm Bell	[Symbol]
18	Fire Alarm Control Panel	[Symbol]
19	Fire Alarm Pull Station	[Symbol]
20	Fire Alarm Bell	[Symbol]
21	Fire Alarm Control Panel	[Symbol]
22	Fire Alarm Pull Station	[Symbol]
23	Fire Alarm Bell	[Symbol]
24	Fire Alarm Control Panel	[Symbol]
25	Fire Alarm Pull Station	[Symbol]
26	Fire Alarm Bell	[Symbol]
27	Fire Alarm Control Panel	[Symbol]
28	Fire Alarm Pull Station	[Symbol]
29	Fire Alarm Bell	[Symbol]
30	Fire Alarm Control Panel	[Symbol]
31	Fire Alarm Pull Station	[Symbol]
32	Fire Alarm Bell	[Symbol]
33	Fire Alarm Control Panel	[Symbol]
34	Fire Alarm Pull Station	[Symbol]
35	Fire Alarm Bell	[Symbol]
36	Fire Alarm Control Panel	[Symbol]
37	Fire Alarm Pull Station	[Symbol]
38	Fire Alarm Bell	[Symbol]
39	Fire Alarm Control Panel	[Symbol]
40	Fire Alarm Pull Station	[Symbol]
41	Fire Alarm Bell	[Symbol]
42	Fire Alarm Control Panel	[Symbol]
43	Fire Alarm Pull Station	[Symbol]
44	Fire Alarm Bell	[Symbol]
45	Fire Alarm Control Panel	[Symbol]
46	Fire Alarm Pull Station	[Symbol]
47	Fire Alarm Bell	[Symbol]
48	Fire Alarm Control Panel	[Symbol]
49	Fire Alarm Pull Station	[Symbol]
50	Fire Alarm Bell	[Symbol]

MATERIALS KEY

Project: [Blank]
 Date: [Blank]
 Scale: [Blank]
 Drawing No: [Blank]

Key Notes

1. [Blank]
 2. [Blank]
 3. [Blank]

Legend

1. [Blank]
 2. [Blank]
 3. [Blank]
 4. [Blank]
 5. [Blank]
 6. [Blank]
 7. [Blank]
 8. [Blank]
 9. [Blank]
 10. [Blank]

ILLUSTRATIVE SITE PLAN

Project: [Blank]
 Date: [Blank]
 Scale: [Blank]
 Drawing No: [Blank]

Sheet: **LO-01** of **X**

JUN 21 2012

DP-11594571

#290

				JUN 21 2012		DP-11594571				VIGNETTES LD-02		X	
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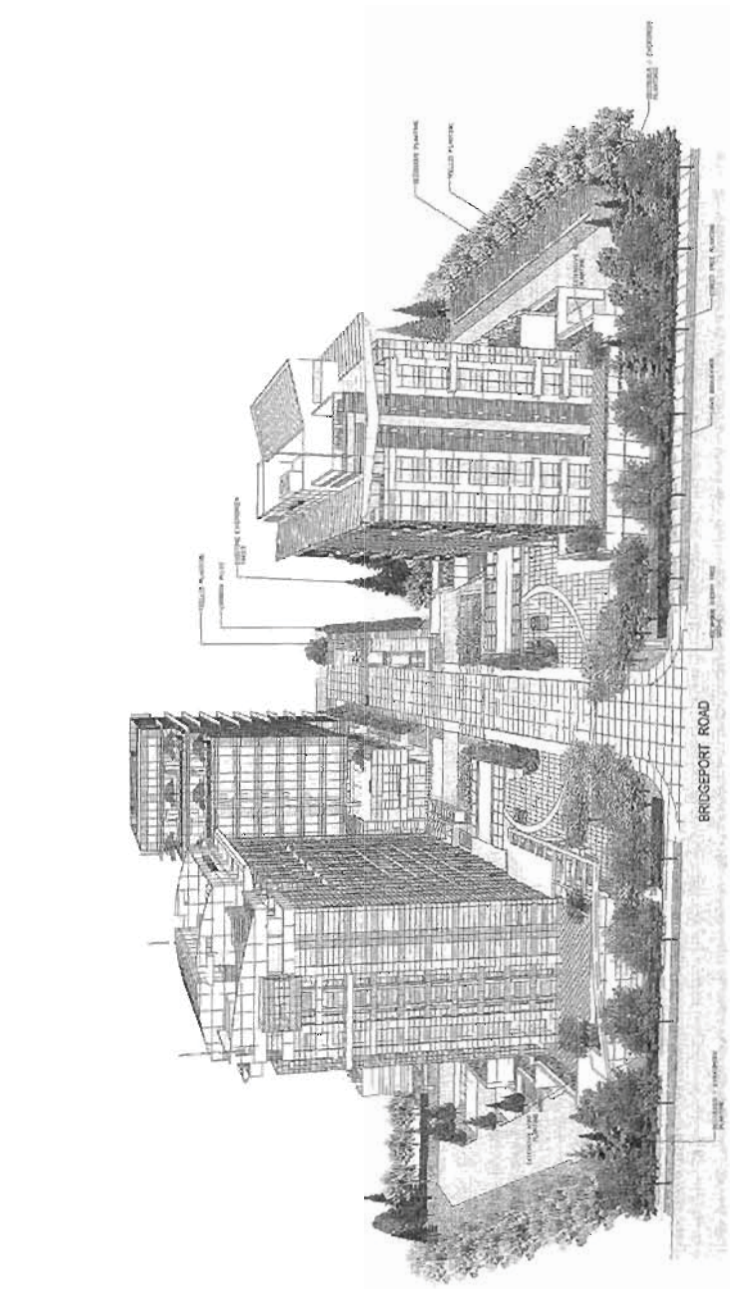
MATERIALS KEY

KEY	DESCRIPTION	PLANT SYMBOL
1	1.0 Concrete	(Symbol)
2	2.0 Brick	(Symbol)
3	3.0 Glass	(Symbol)
4	4.0 Wood	(Symbol)
5	5.0 Metal	(Symbol)
6	6.0 Stone	(Symbol)
7	7.0 Asphalt	(Symbol)
8	8.0 Gravel	(Symbol)
9	9.0 Earth	(Symbol)
10	10.0 Foliage	(Symbol)
11	11.0 Tree	(Symbol)
12	12.0 Shrub	(Symbol)
13	13.0 Flower	(Symbol)
14	14.0 Grass	(Symbol)
15	15.0 Water	(Symbol)
16	16.0 Sky	(Symbol)
17	17.0 Cloud	(Symbol)
18	18.0 Sun	(Symbol)
19	19.0 Moon	(Symbol)
20	20.0 Star	(Symbol)

#39

Key Notes

KEY	DESCRIPTION
1	1.0 Concrete
2	2.0 Brick
3	3.0 Glass
4	4.0 Wood
5	5.0 Metal
6	6.0 Stone
7	7.0 Asphalt
8	8.0 Gravel
9	9.0 Earth
10	10.0 Foliage
11	11.0 Tree
12	12.0 Shrub
13	13.0 Flower
14	14.0 Grass
15	15.0 Water
16	16.0 Sky
17	17.0 Cloud
18	18.0 Sun
19	19.0 Moon
20	20.0 Star

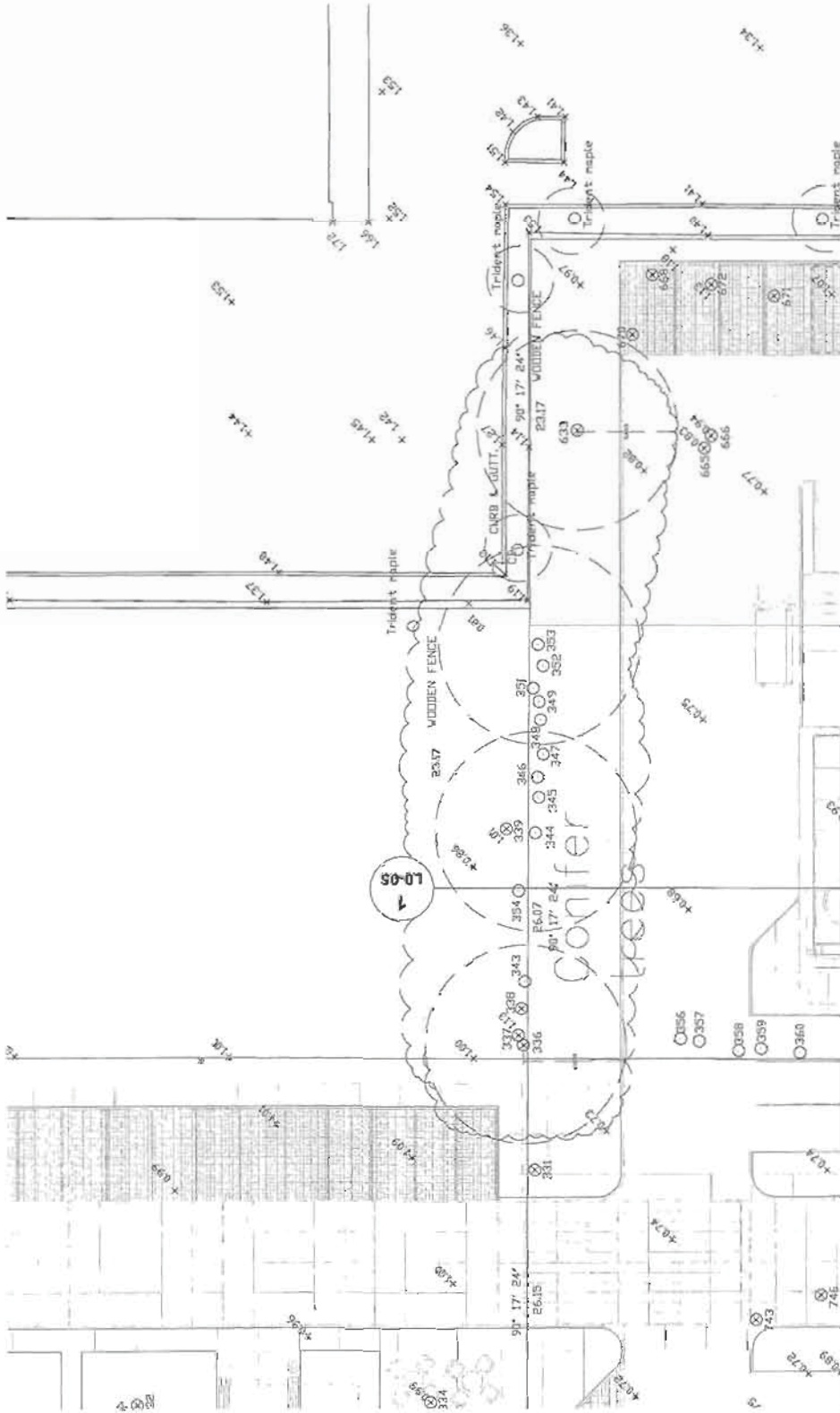


VIGNETTE SITE
SCALE: 1/8" = 1'-0"



VIGNETTE ENTRY, BRIDGEPORT ROAD
SCALE: 1/8" = 1'-0"

VIGNETTE STORMWATER GARDEN, BECKWITH ROAD
SCALE: 1/8" = 1'-0"



MATERIALS KEY

KEY	DESCRIPTION	REMARKS
1	Asphalt	
2	Concrete	
3	Gravel	
4	Earth	
5	Water	
6	Electric	
7	Gas	
8	Telephone	
9	Fire Alarm	
10	Security	
11	Other	
12	Other	
13	Other	
14	Other	
15	Other	
16	Other	
17	Other	
18	Other	
19	Other	
20	Other	
21	Other	
22	Other	
23	Other	
24	Other	
25	Other	
26	Other	
27	Other	
28	Other	
29	Other	
30	Other	

N

JUN 21 2012

DP-11594571

Key Map #42

Key Notes

KEY	DESCRIPTION
1	Proposed
2	Existing
3	Other

REF. TREE NO.	SPECIES	TRUNK DIA.(m)	DRIFLINE (m)
1	Cedar	0.4	3
2	Cedar	0.35	3
3	Cedar	0.3	3
4	Hemlock	0.45	4
5	D. Fir	0.4	4
6	D. Fir	0.4	6
7	D. Fir	0.35	4
8	D. Fir	0.35	4
9	D. Fir	0.5	4
10	D. Fir	xxx	x
11	D. Fir	0.35	4
12	D. Fir	0.35	4
13	D. Fir	0.45	4
14	Hazel Nut	0.4	4
15	D. Fir	0.6	6

SECTION: HOTEL PARKING
SCALE: 1/8" = 1'-0"

Project: L1-02

DATE: JUN 21 2012

1" = 10' 0"

Scale: 1" = 10' 0"

Sheet: L1-02

Series: X

Zone: Bridgeport
PC 08-13708

Project: L1-02

Scale: 1" = 10' 0"

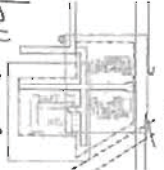
Series: X

MATERIALS KEY

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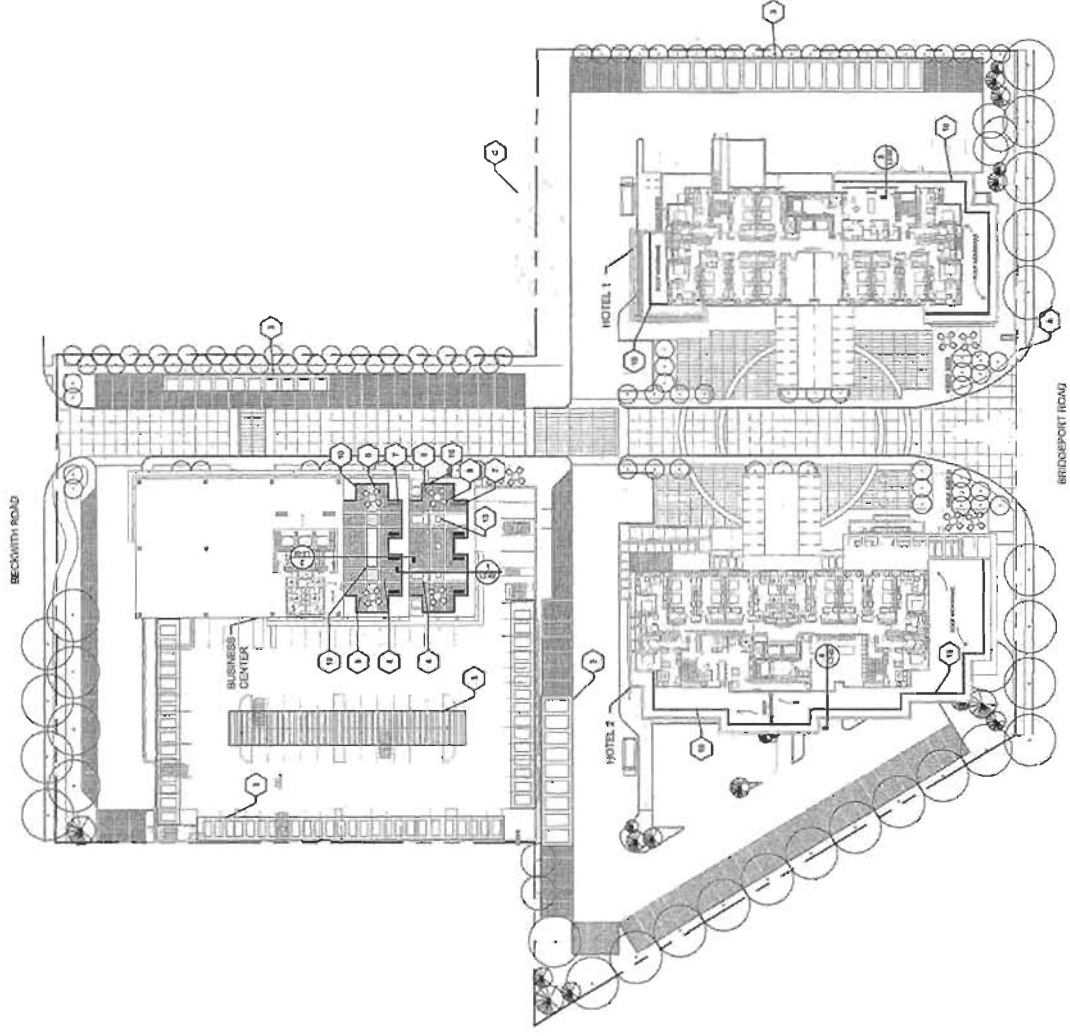
DP- 11594571



Key Map #44

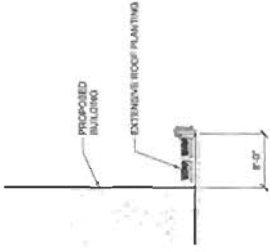


Key Notes

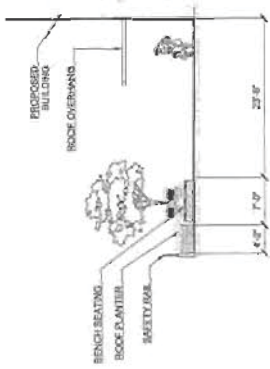
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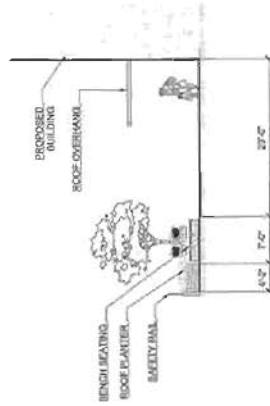
Always Lighten Up!				JUN 21 2012		DP- 11594571 #46				SECTION: HOTEL 1 EXTENSIVE GREEN ROOF SCALE: 1/8" = 1'-0"		SECTION: HOTEL 2 EXTENSIVE GREEN ROOF SCALE: 1/8" = 1'-0"		Title: Impasse 12.03-14738		DETAILS SECTIONS		L2-02		X	
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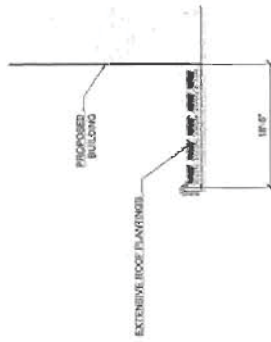
SECTION: HOTEL 1 EXTENSIVE GREEN ROOF
SCALE: 1/8" = 1'-0"



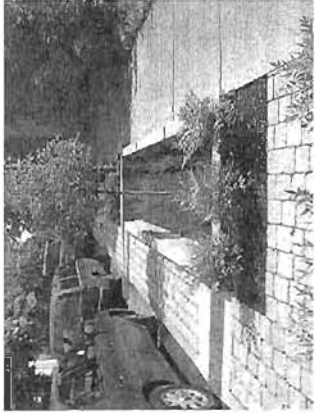
SECTION: BUSINESS CENTER - LEVEL 11
SCALE: 1/8" = 1'-0"



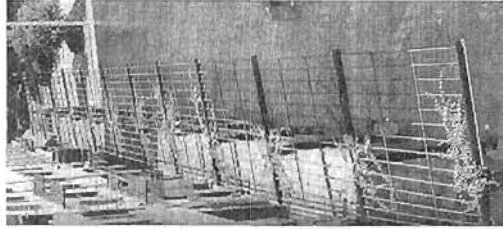
SECTION: BUSINESS CENTER - LEVEL 10
SCALE: 1/8" = 1'-0"



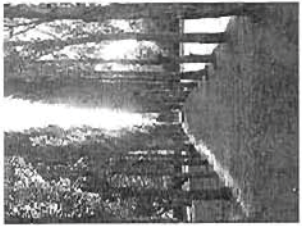
SECTION: HOTEL 2 EXTENSIVE GREEN ROOF
SCALE: 1/8" = 1'-0"



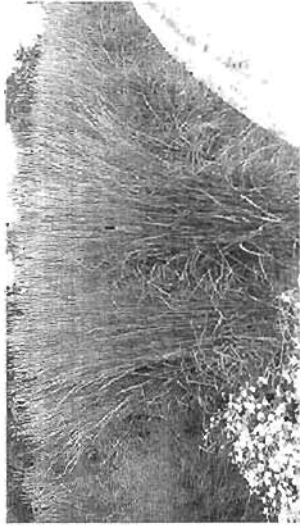
CHARACTER IMAGE: STORM WATER GARDEN
 SCALE: 1/8"



CHARACTER IMAGE: VEGETATED TRELLIS
 SCALE: 1/8"
 Note: Vegetated trellis to be coordinated with architecture.



CHARACTER IMAGE: FASTIGIATE STREET TREES
 SCALE: 1/8"



CHARACTER IMAGE: ORNAMENTAL PLANTINGS
 SCALE: 1/8"



CHARACTER IMAGE: ENTRANCE GROVE
 SCALE: 1/8"



CHARACTER IMAGE: GREEN ROOF PLANTINGS
 SCALE: 1/8"



CHARACTER IMAGE: GREEN WALL PLANTINGS
 SCALE: 1/8"

PLANT LIST

Street Tree(s)

SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL
1	2	3	4	5	6	7	8	9	10

Shrubs

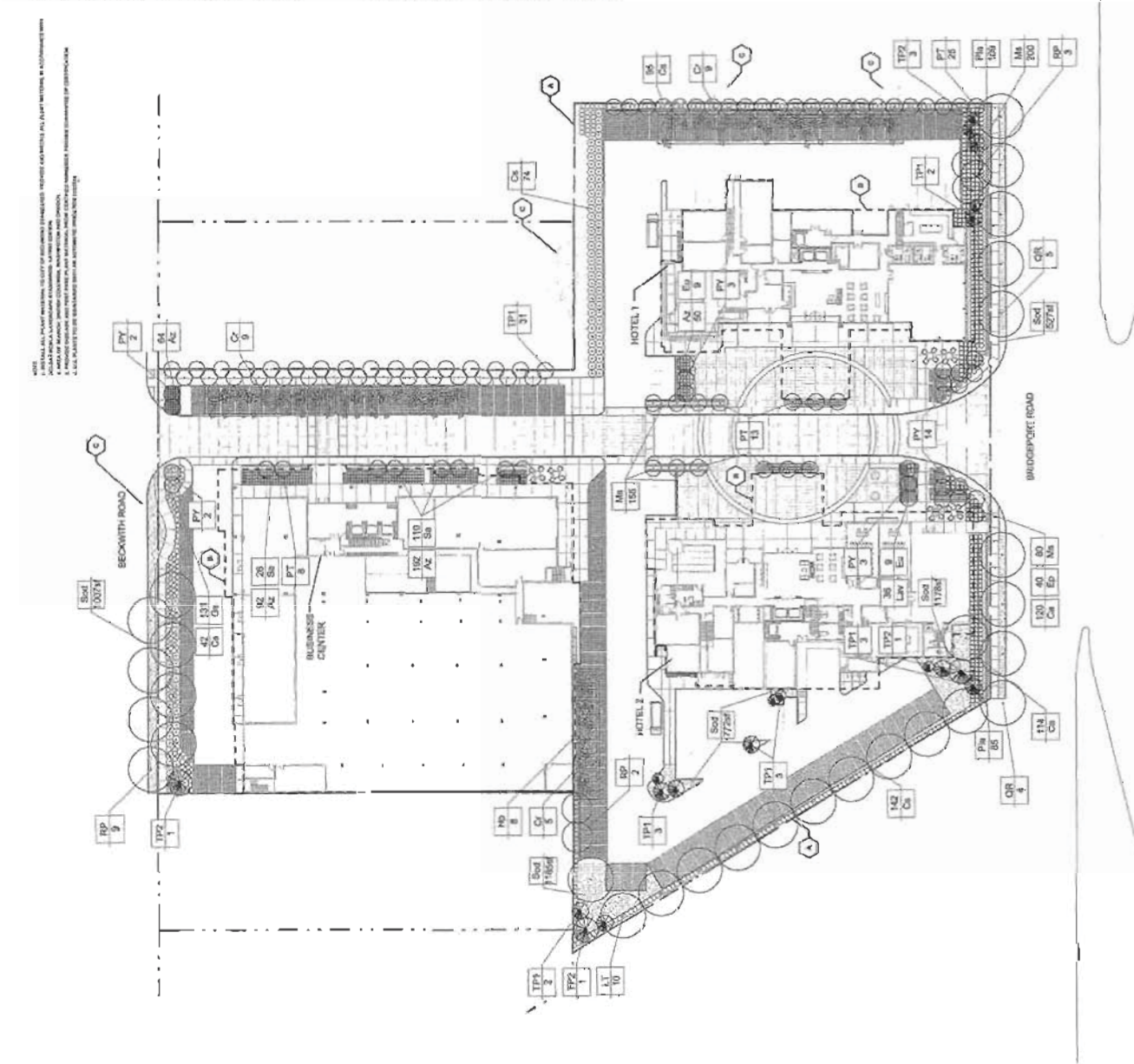
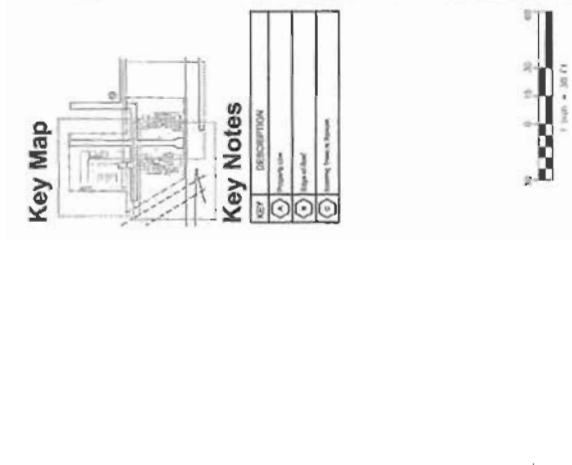
SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL
11	12	13	14	15	16	17	18	19	20

On-site trees to remain

Tree	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL
1	2	3	4	5	6	7	8	9	10

Off-site existing trees to be protected & preserved (along shared property line)

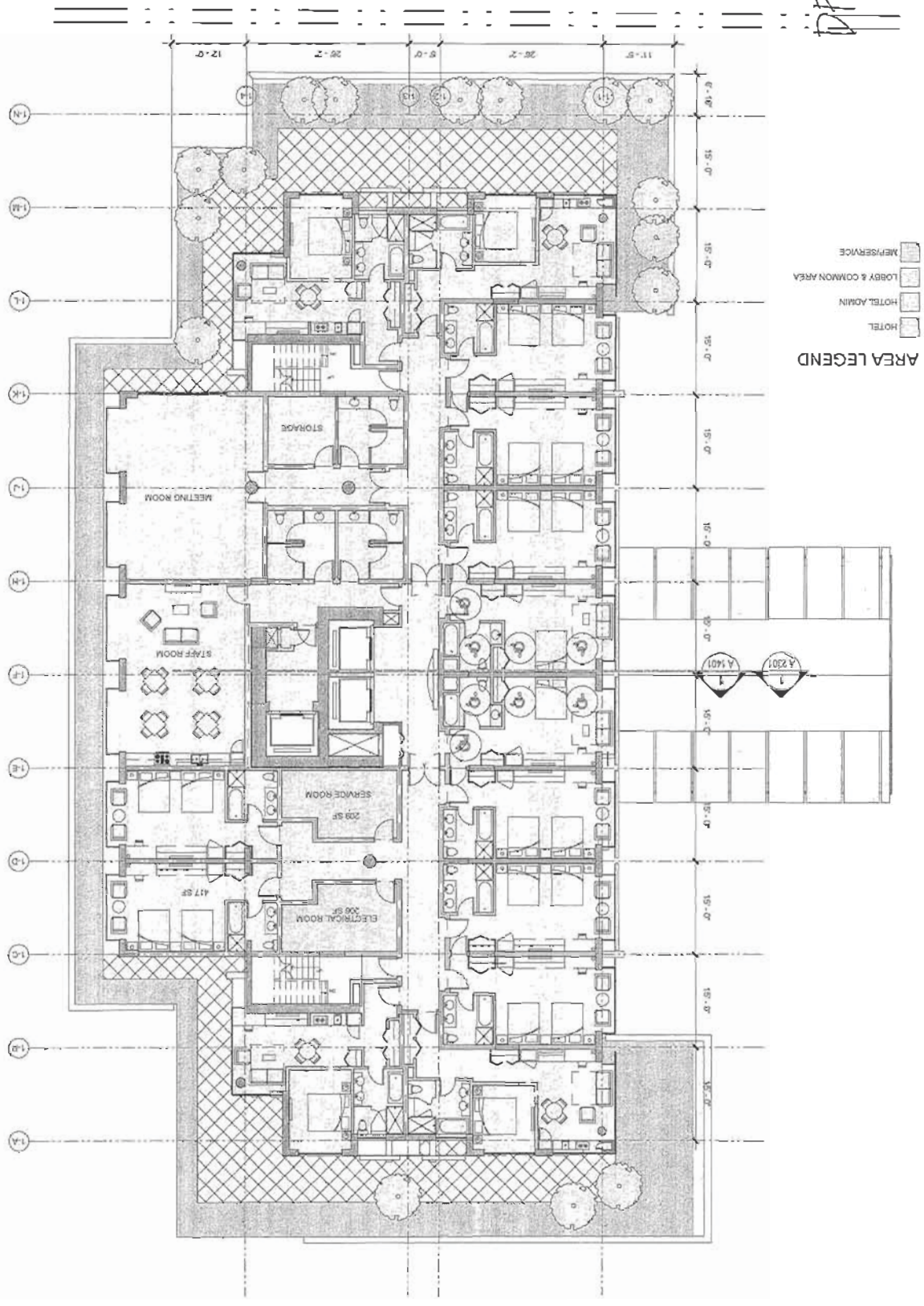
Tree	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL	SYMBOL
1	2	3	4	5	6	7	8	9	10



JUN 21 2012

DP-11594571
REFERENCE PLAN

A 2202



- AREA LEGEND
- MEET/SERVICE
 - LOBBY & COMMON AREA
 - HOTEL ADMIN
 - HOTEL

HOTEL 1 LEVEL 2 FLOOR PLAN

1/8" = 1'-0"



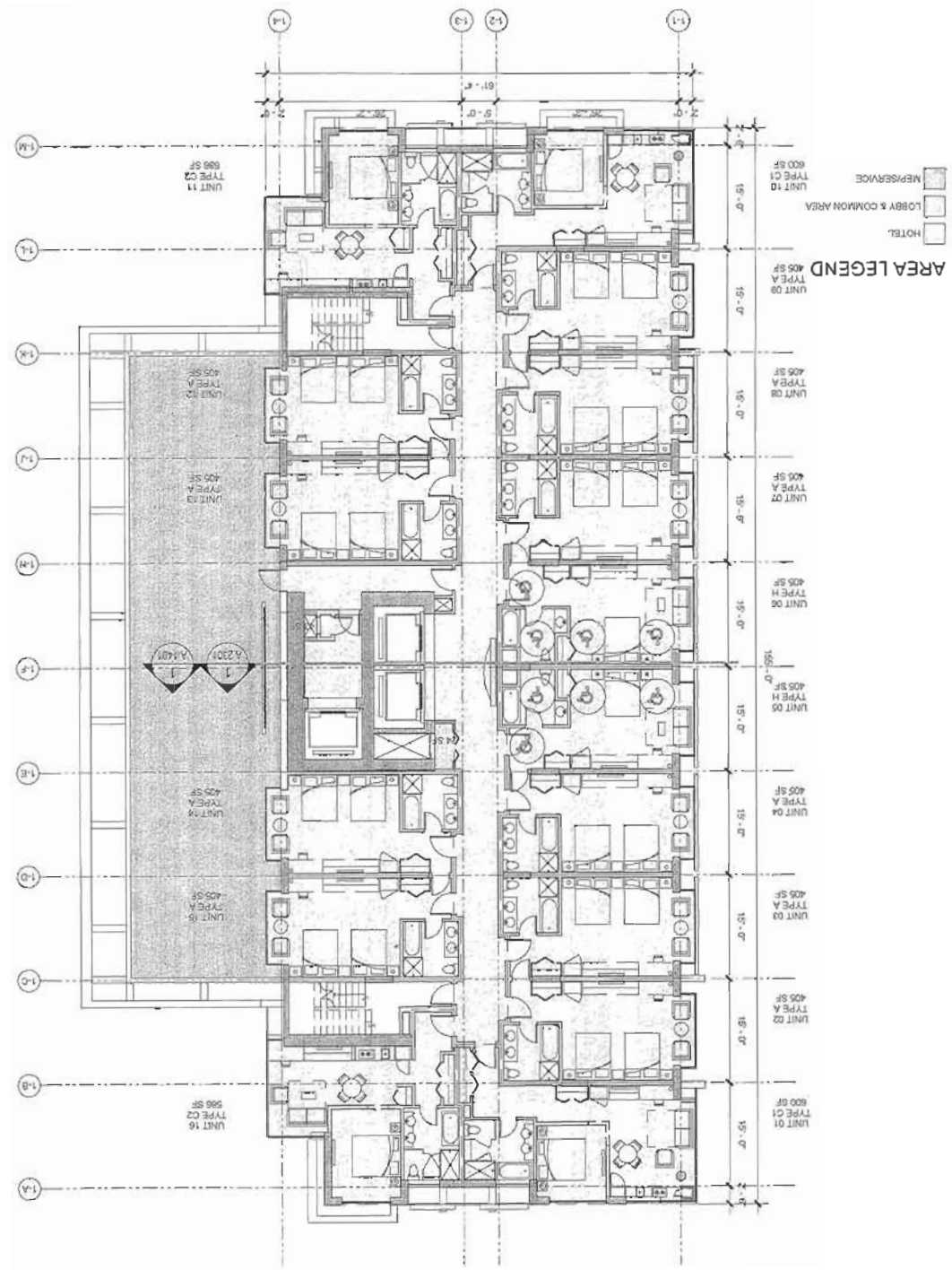
BRIDGEPORT HOTEL / BUSINESS CENTER

JUN 21 2012

DP-11594571
REFERENCE PLAN

HOTEL 1 TYP FLOOR PLAN A 2203

1/8" = 1'-0"





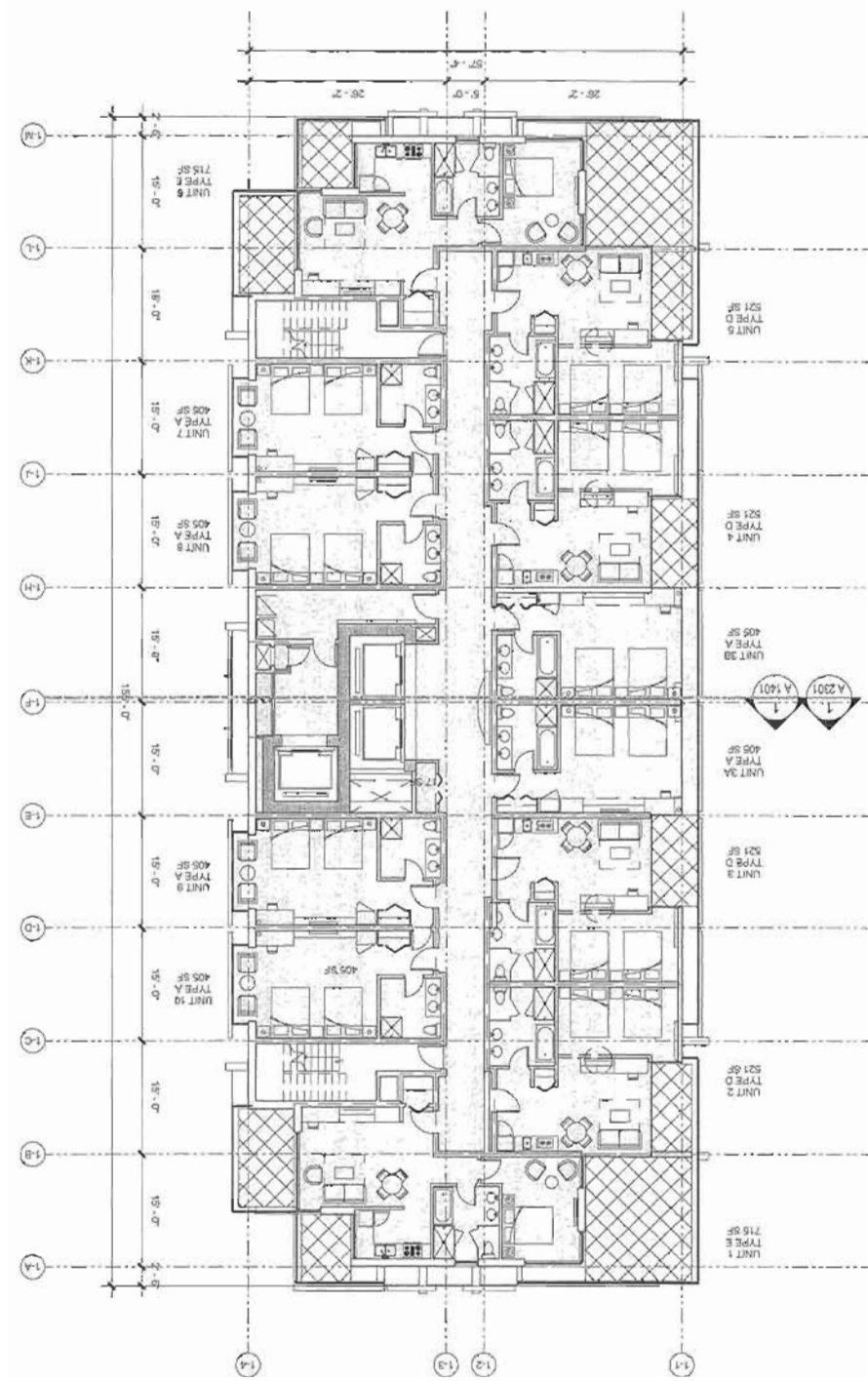
BRIDGEPORT HOTEL / BUSINESS CENTER

JUN 21 2012

DP-11594571
REFERENCE PLAN

HOTEL 1 LEVEL 9 FLOOR PLAN A 2204

1/8" = 1'-0"



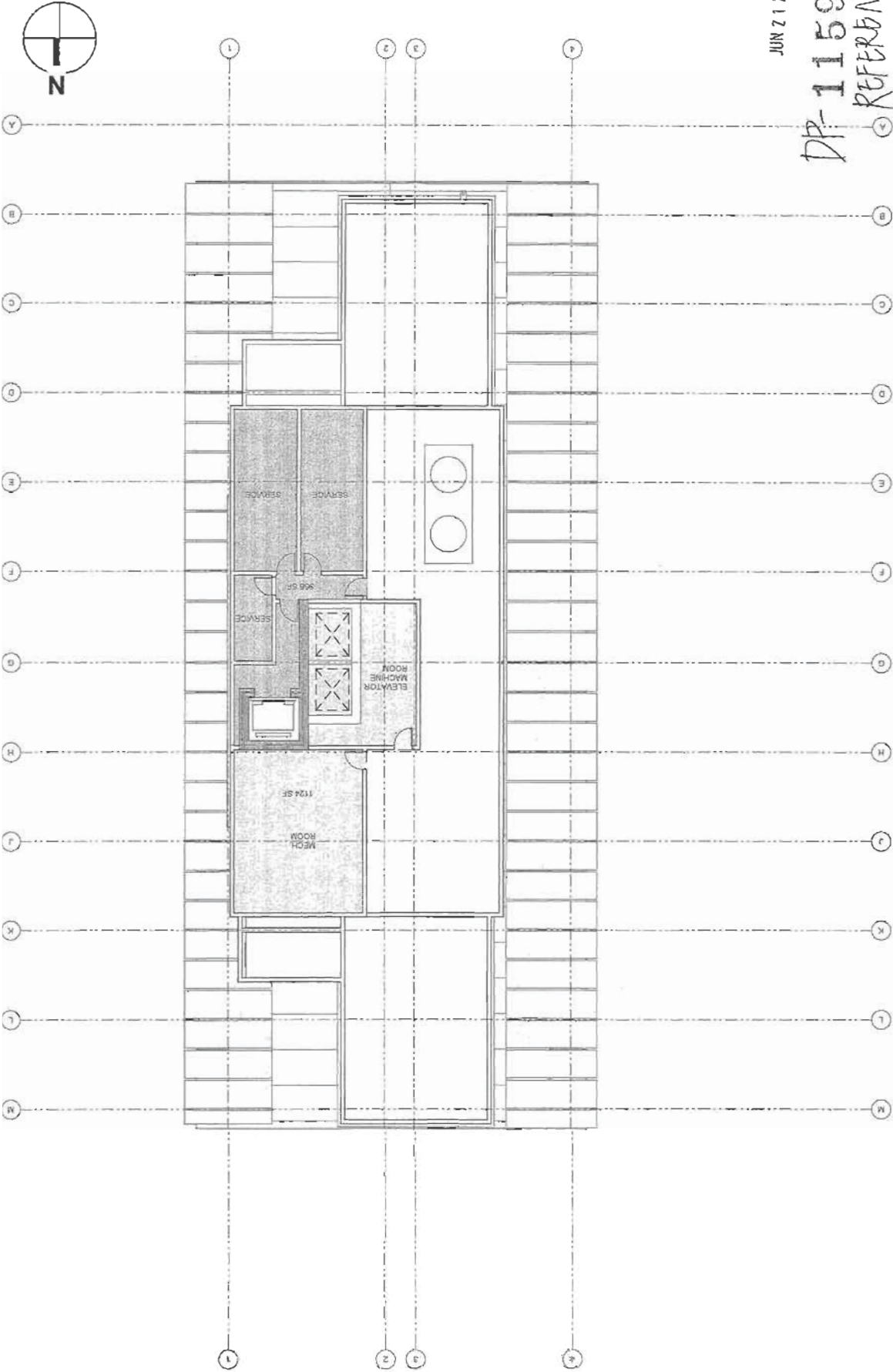
AREA LEGEND

- MEPSERVICE
- LOBBY & COMMON AREA
- HOTEL



JUN 21 2012

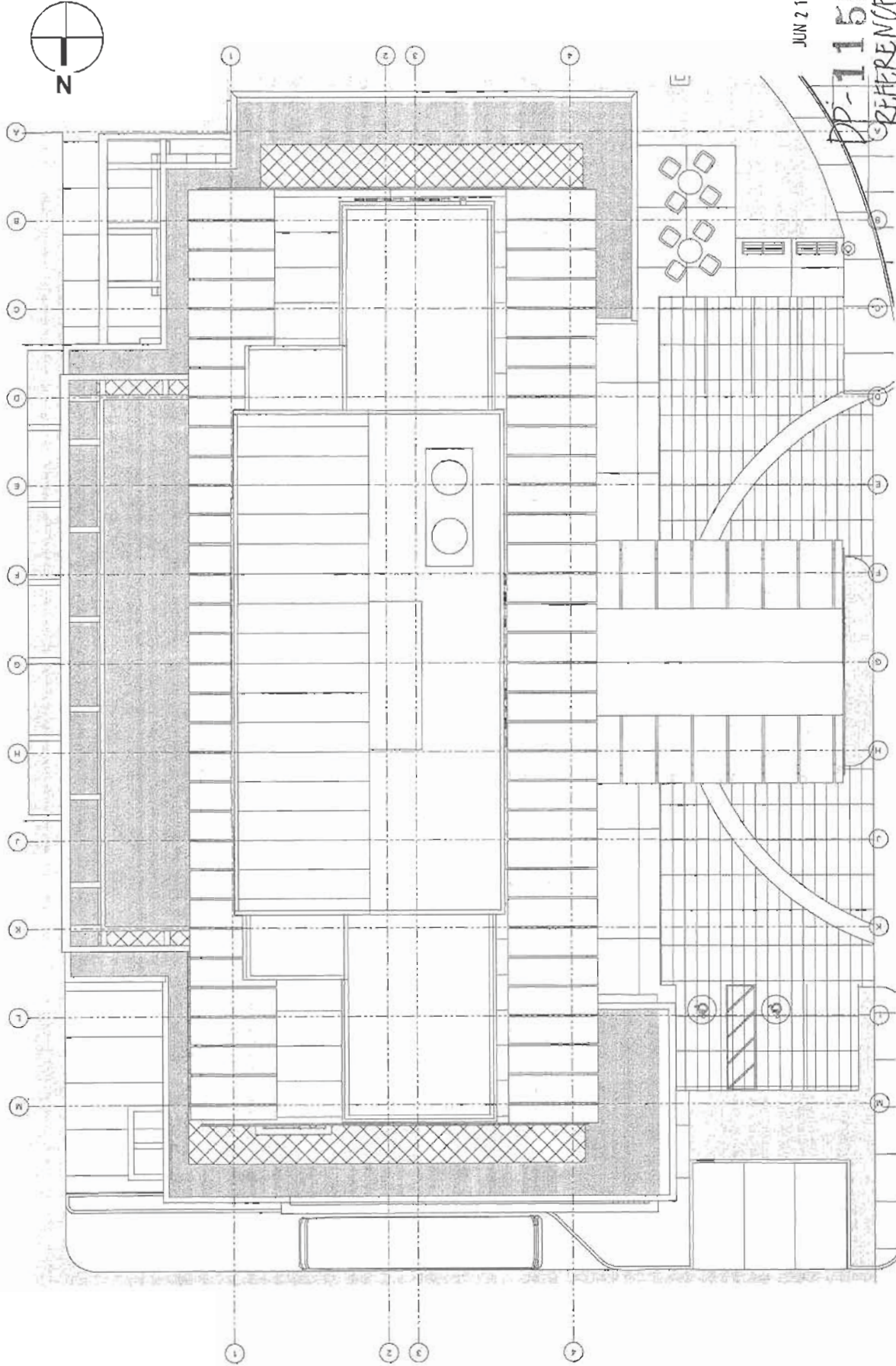
DP-11594571
REFERENCE PLAN



JUN 21 2012

DP-11594571
REFERENCE PLAN

HOTEL 1 ROOF PLAN A 2206

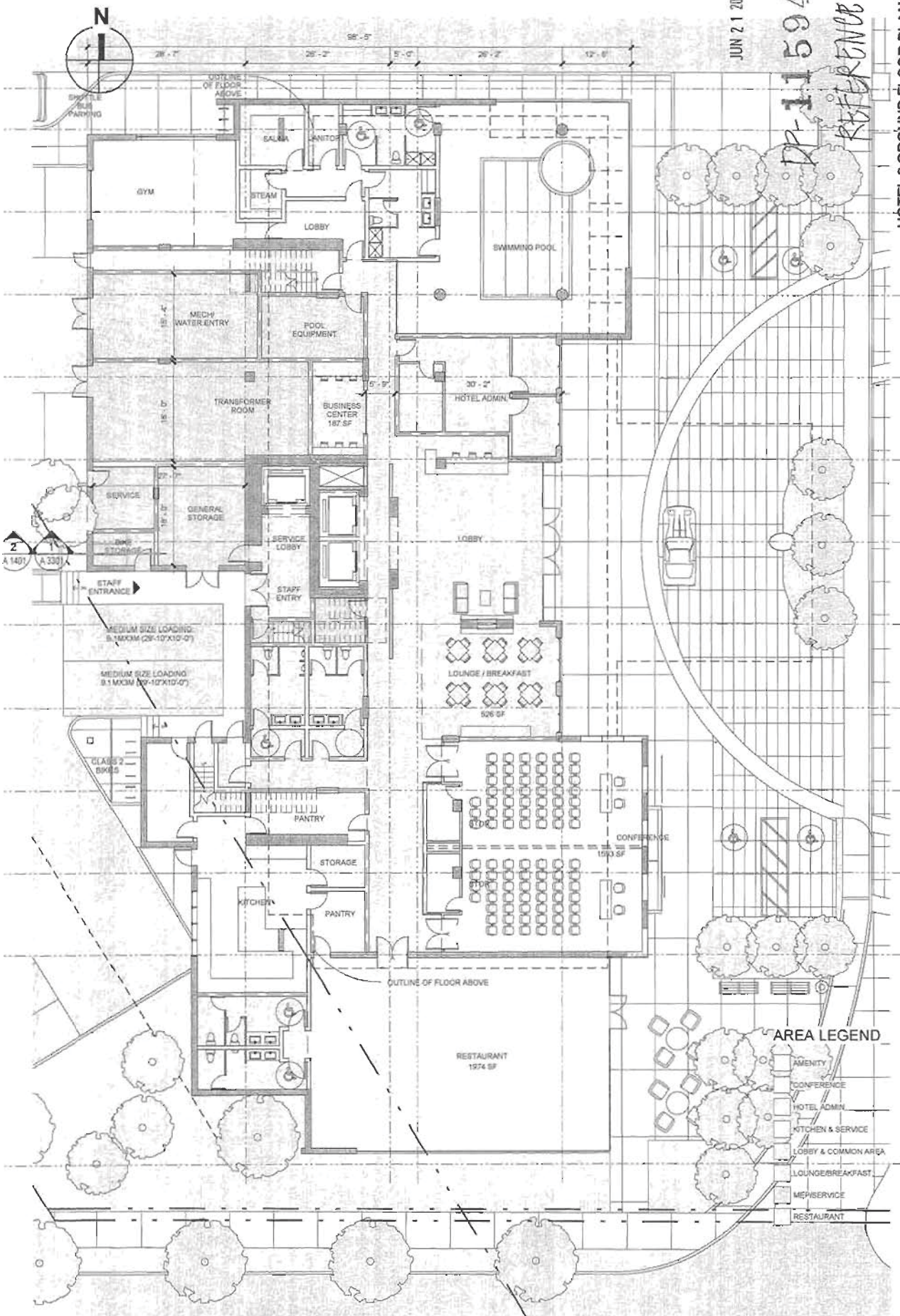


JUN 21 2012

DP-11594571
REFERENCE PLAN

HOTEL 2 GROUND FLOOR PLAN A 3201

1/8" = 1'-0"



AREA LEGEND

- AMENITY
- CONFERENCE
- HOTEL ADMIN
- KITCHEN & SERVICE
- LOBBY & COMMON AREA
- LOUNGE/BREAKFAST
- MEP/SERVICE
- RESTAURANT

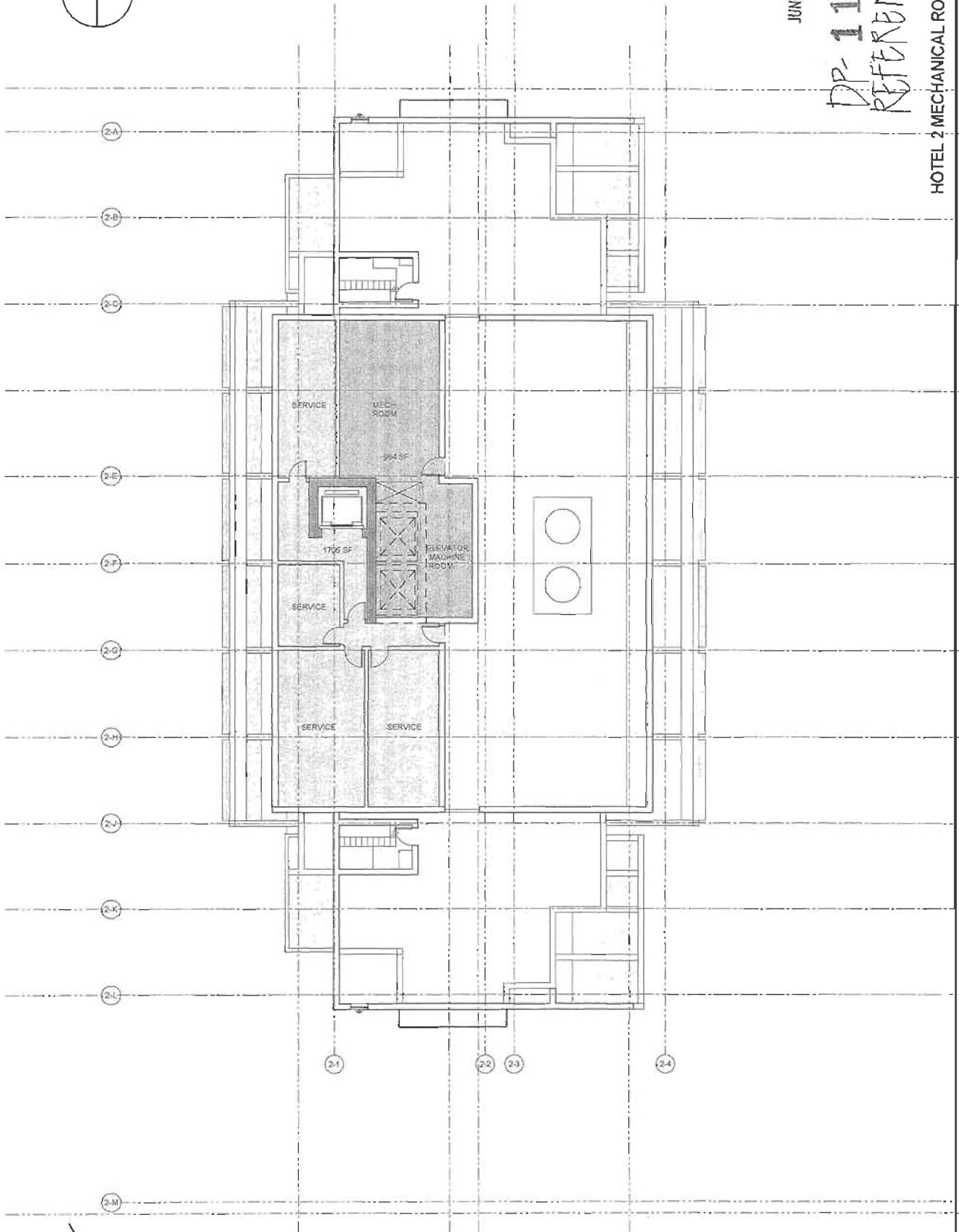


BRIDGEPORT HOTEL / BUSINESS CENTER

JUN 21 2012

DP-11594571
REFERENCE PLAN

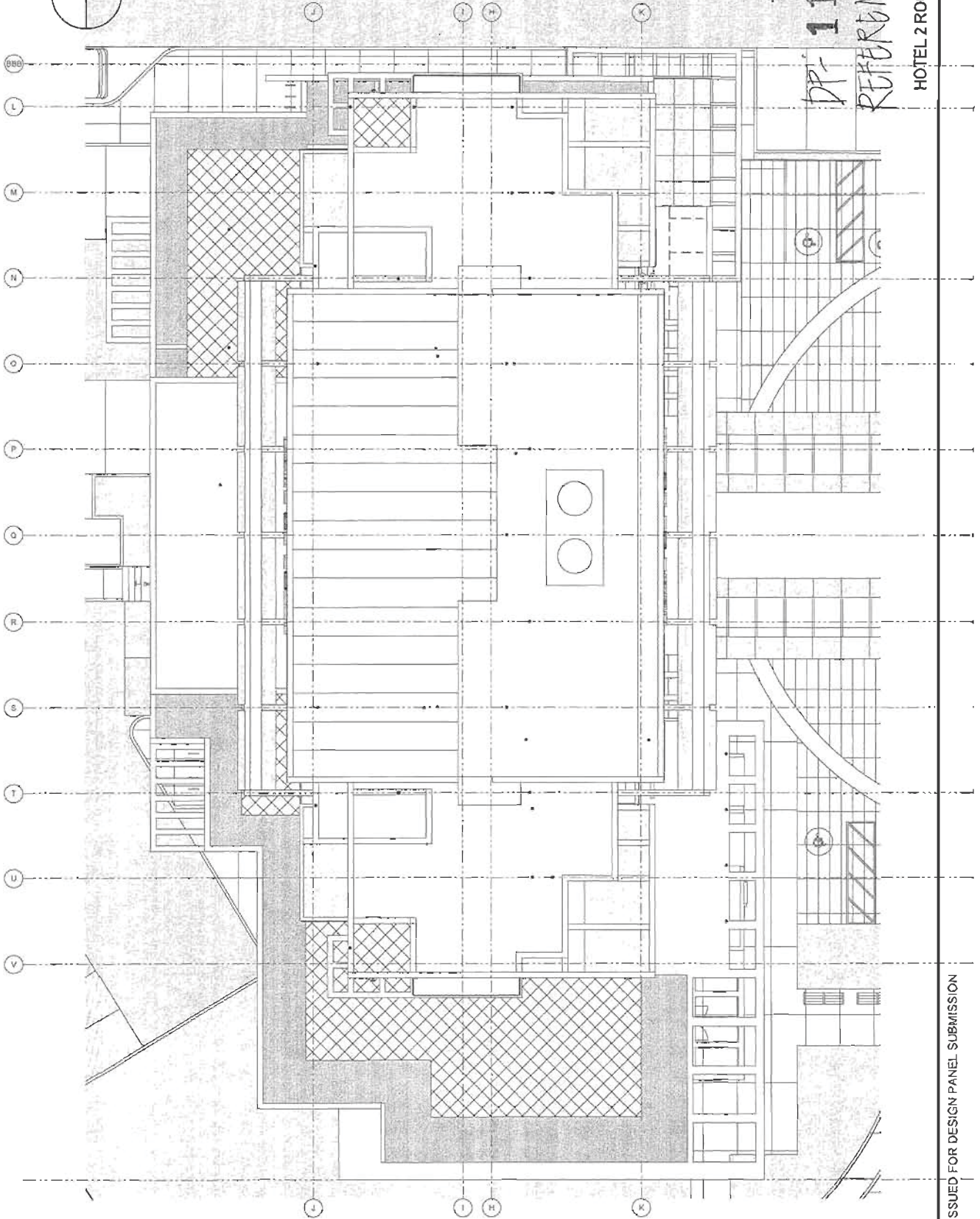
HOTEL 2 MECHANICAL ROOF PLAN A 3205



JUN 21 2012

DP- 11594571
REFERENCE PLAN

HOTEL 2 ROOF PLAN A 3206

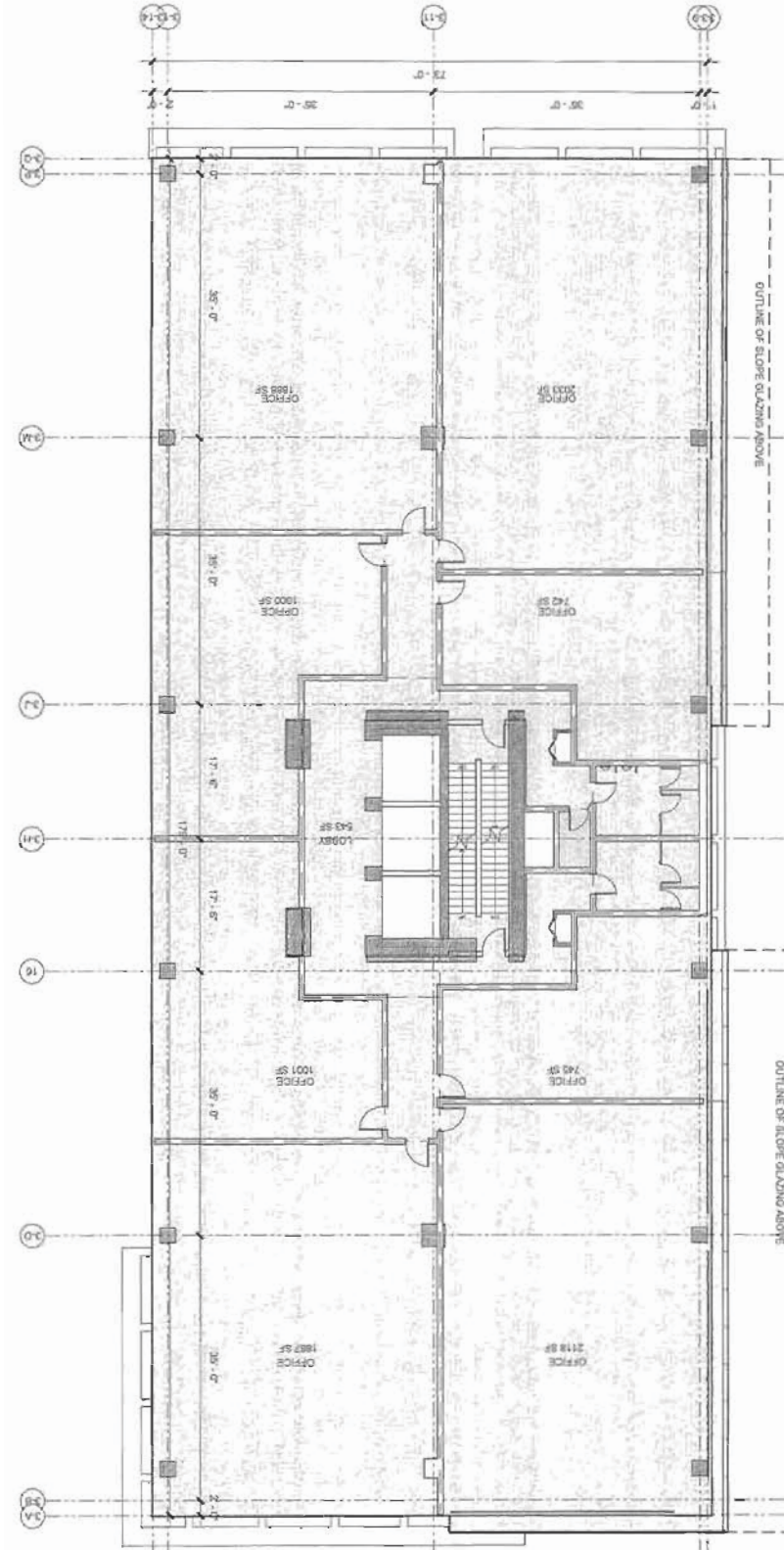




TYP GROSS FLOOR AREA: 12933 SF/F
 LEASABLE AREA (MULTI-TENANT): 11148 SF/F
 EFFICIENCY: 86.20%

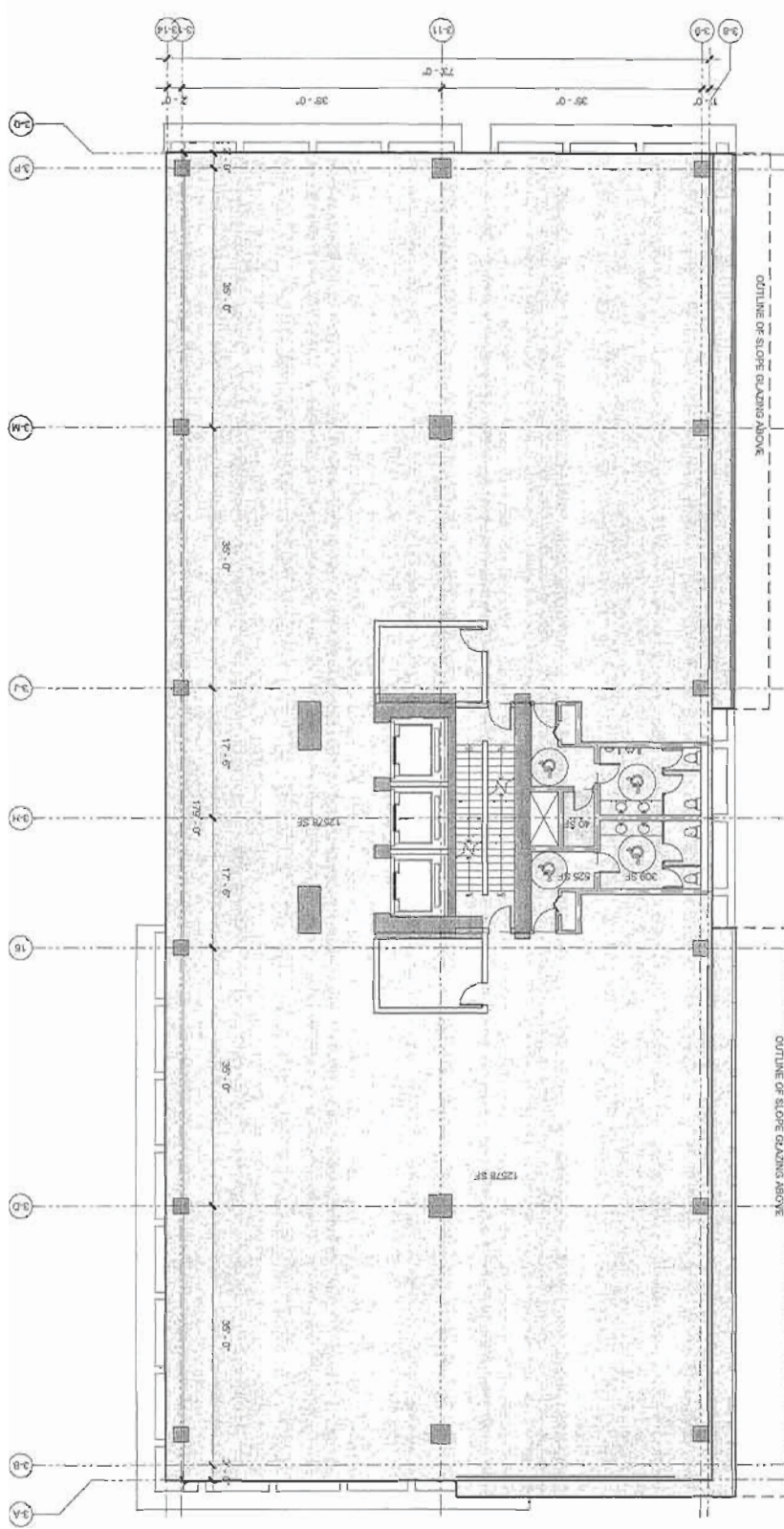
JUN 7 2012

DP-11594571
 REFERENCE PLAN



AREA LEGEND

- OFFICE
- LOBBY & COMMON AREA
- MEP/SERVICE

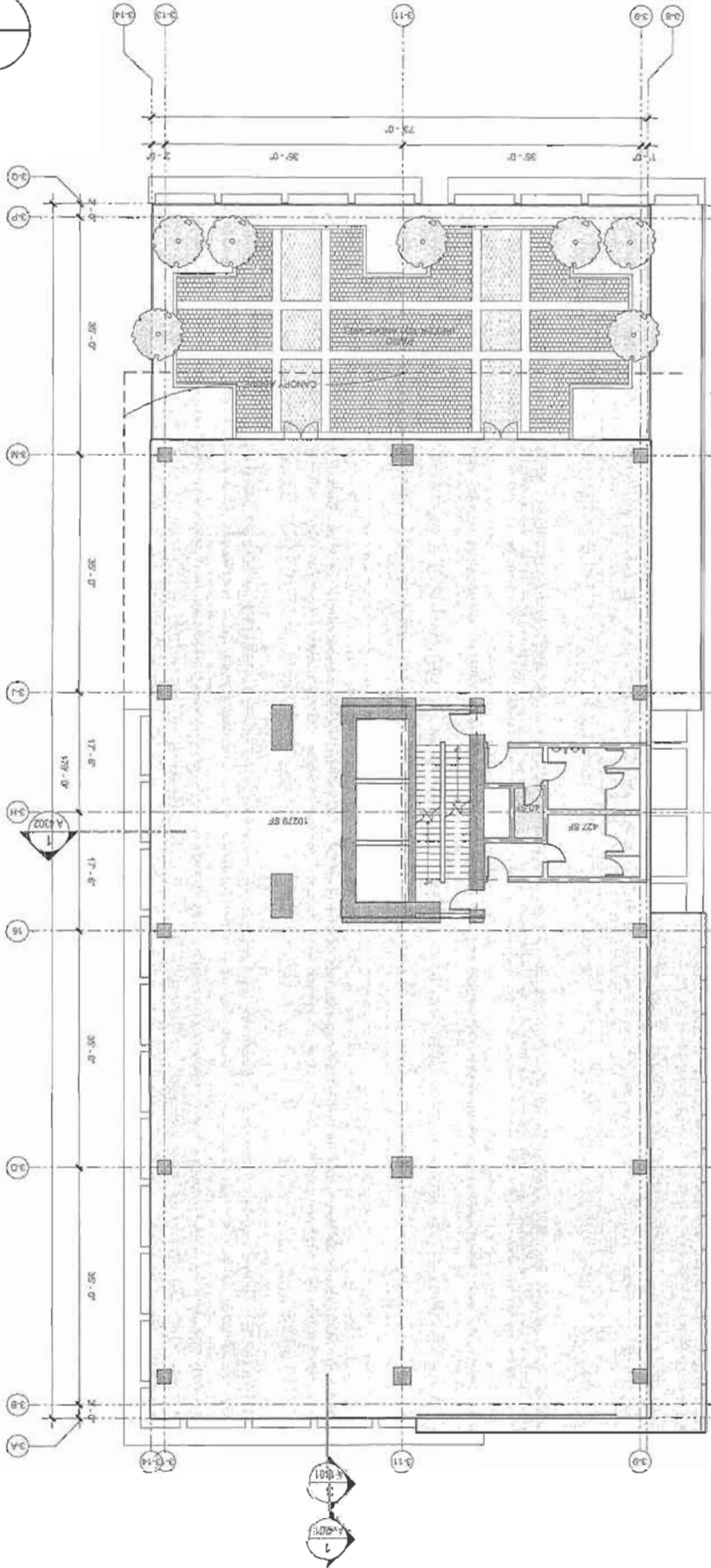


TYP GROSS FLOOR AREA: 12933 SF/F
 LEASABLE AREA (SOLE TENANT): 12049 SF/F
 EFFICIENCY: 93.16%

JUN 21 2012

DP-1159457
 REFERENCE PLAN

- AREA LEGEND:
- OFFICE
 - MEETING ROOMS
 - LOBBY & COMMON AREA



JUN 21 2012

DP-11594571
REFERENCE PLAN.

AREA LEGEND

- OFFICE
- MEMBER SERVICE
- LOBBY & COMMON AREA

BUSINESS CENTER LEVEL 10 FLOOR PLAN

1/8" = 1'-0"

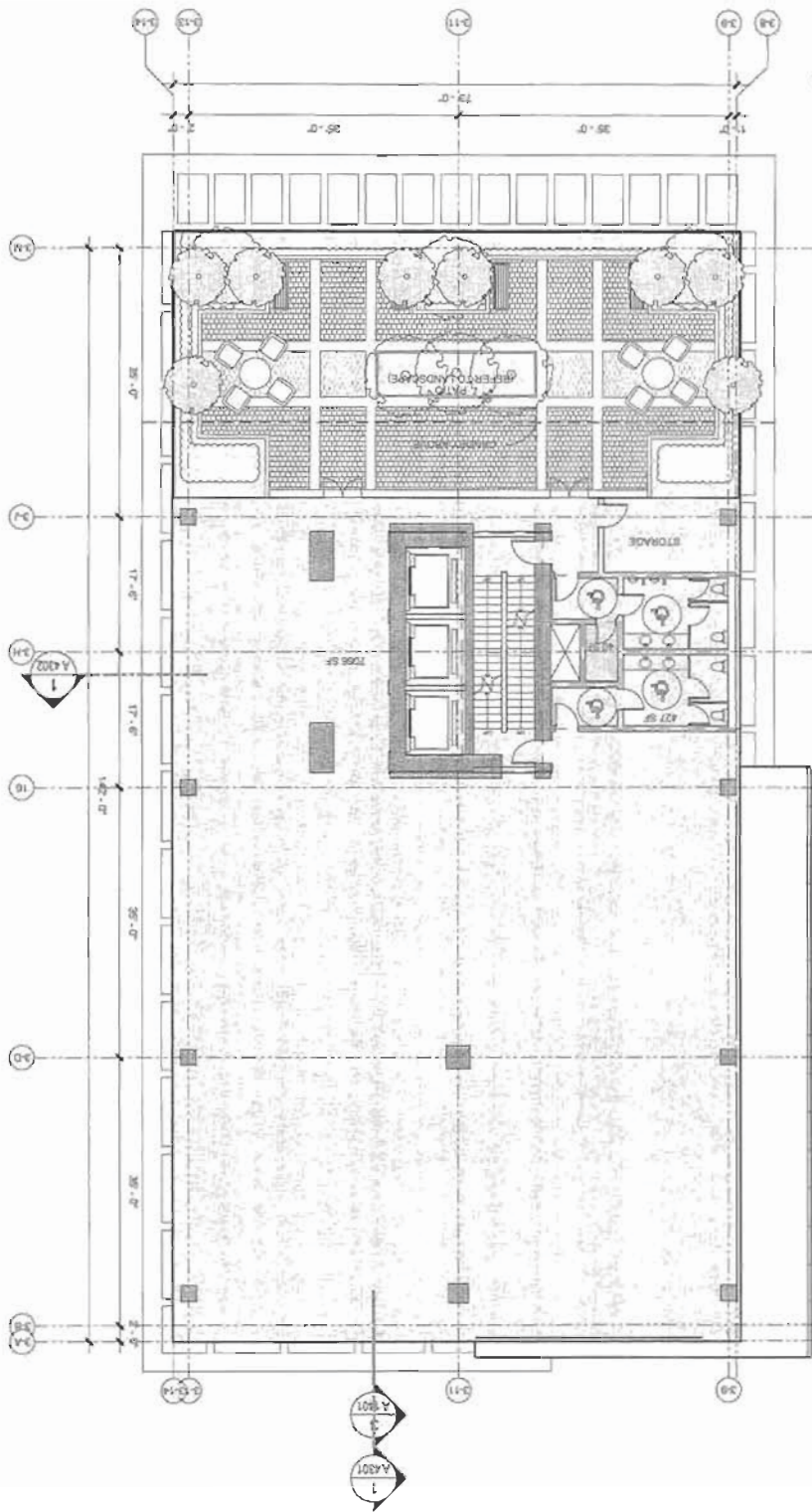


JUN 21 2012

DP- 11594571
REFERENCE PLAN.

BUSINESS CENTER LEVEL 11 FLOOR PLAN A 4208

1/8" = 1'-0"



AREA LEGEND
 LOBBY & COMMON AREA
 MEETING
 OFFICE