



City of Richmond
Planning and Development Department

Report to Committee


To: Planning Committee **Date:** August 7, 2012
From: Joe Erceg, MCIP **File:** RZ 09-496160
General Manager, Planning & Development
Re: Application by Joseph Yang for Rezoning at 7451 and 7491 Bridge Street from
Single Detached (RS1/F) to Single Detached (ZS14) – South McLennan (City
Centre)

Staff Recommendation

That Bylaw No. 8934, for the rezoning of 7451 and 7491 Bridge Street from "Single Detached (RS1/F)" to "Single Detached (ZS14) – South McLennan (City Centre)", be introduced and given first reading.


Joe Erceg, MCIP
General Manager, Planning & Development

EL:rg
Att.

FOR ORIGINATING DEPARTMENT USE ONLY		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Affordable Housing	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	

Staff Report

Origin

Joseph Yang has applied to rezone 7451 and 7491 Bridge Street (**Attachment 1**) from "Single Detached (RS1/F)" to "Single Detached (ZS14) – South McLennan (City Centre)" in order to permit a seven (7) lot single-family subdivision fronting onto Breden Avenue, connecting Bridge Street to Armstrong Street along the southern edge of the subject site (**Attachment 2**).

The development will dedicate lands to facilitate the completion of this section of Breden Avenue and extend Armstrong Street.

Findings of Fact

Please refer to the attached Development Application Data Sheet (**Attachment 3**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Surrounding Development

To the North: Existing single-family home on a lot zoned "Single Detached (RS1/F)" at 7411 Bridge Street.

To the South: Across Breden Avenue, seven (7) recently development single-family lots zoned "Single Detached (ZS14) – South McLennan (City Centre)".

To the East: Across Bridge Street, existing single-family homes on lots zoned "Single Detached (RS1/F)".

To the West: Existing single-family homes on lots zoned "Single Detached (RS1/F)" fronting Ash Street.

Related Policies & Studies

McLennan South Sub-Area Plan

The subject property is located within the McLennan South Sub-Area Plan, Schedule 2.10D of the Official Community Plan (OCP). The Land Use Map in the McLennan South Sub-Area Plan (**Attachment 4**) designates the subject property for "Residential, Historic Single-Family," which allows for medium sized lots (e.g. 11.3 m frontage and 320 m² min area) with access from new roads, a maximum density of 0.55 F.A.R., and a maximum height of two and a half storeys.

Affordable Housing

The Richmond Affordable Housing Strategy requires a secondary suite on at least 50% of new lots, or a cash-in-lieu contribution of \$1.00 per square foot of total building area toward the Affordable Housing Reserve Fund for single-family rezoning applications.

The applicants are proposing to provide a legal secondary suite on four (4) of the seven (7) future lots at the subject site. To ensure that the secondary suites are built to the satisfaction of the City in accordance with the Strategy, the applicants are required to enter into a legal agreement registered on Title, stating that no final Building Permit inspection is to be granted until the

secondary suites are constructed to the satisfaction of the City, in accordance with the BC Building Code and the City's Zoning Bylaw. This legal agreement is a condition of rezoning. This agreement will be discharged from Title on the three (3) lots where the secondary suites are not required by the Affordable Housing Strategy after the requirements are satisfied, at the initiation of the applicant.

Should the applicants change their mind about the affordable housing option selected, a voluntary contribution to the City's Affordable Housing Reserve Fund in-lieu of providing the secondary suite will be accepted. In this case, the voluntary contribution would be required to be submitted prior to final adoption of the rezoning bylaw, and would be based on \$1.00 per square foot of total building area of the single detached developments (i.e. \$15,388.75).

Floodplain Management Implementation Strategy

In accordance with the City's Flood Management Strategy, the minimum allowable elevation for habitable space is 2.9 m GSC or 0.3 meters above the highest crown of the adjacent road. A Flood Indemnity Covenant specifying the minimum flood construction level is required prior to rezoning bylaw adoption.

Public Input

There have been no concerns expressed by the public about the development proposal in response to the placement of the rezoning sign on the property.

Staff Comments

Transportation and Site Access

The proposal includes land dedication from both the southern and western edges of the subject site to facilitate the road network in accordance with the Area Plan. The land requirement to complete the ultimate urban standard of Breden Avenue is 7 m along the entire southern edge of the subject site, combined with a further 9 m off the western edge of the property to extend the existing Armstrong Street. In addition to these dedications, 4 m by 4 m corner cuts are required at the corners of Breden Avenue where it intersects Bridge Street and Armstrong Street (**Attachment 2**). Vehicular access to the individual lots is proposed to be from Breden Avenue. Confirmation on the exact location of the driveways will be done as part of the upcoming servicing agreement.

Frontage Improvements

Prior to final adoption, the developer is required to enter into a standard Servicing Agreement for the design and construction of the following upgrades on the frontages; works include, but are not limited to:

Bridge Street: completion of the road widening with curb & gutter, a 3.85 m treed boulevard, Type 1 decorative luminaire lighting (spec L12.5), and a utility boulevard with a 1.5 m sidewalk 0.3 m off the property line;

Breden Avenue: completion of the 8.5 m wide road with curb & gutter, a 2.05 m grass & treed boulevard, Type 1 decorative luminaire lighting (spec L12.5), and a 1.5 m sidewalk 1 m from the new property line; and

Armstrong Street: construction of a functioning half road including 4.85 m of asphalt, a 2 m grass & treed boulevard, and a 1.5 m sidewalk at the property line.

Site Servicing

An independent review of servicing requirements (sanitary and storm) has been conducted by the applicant's Engineering consultant and reviewed by the City's Engineering Department. The Capacity Analysis concludes that storm upgrades to the existing system are required to support the proposed development. As part of the Servicing Agreement, the developer is required to design and construct the storm upgrades along Bridge Street as identified in the capacity analysis (please see **Attachment 5** for details).

Trees Retention and Replacement

A Tree Survey and a Certified Arborist's report were submitted in support of the application. 58 bylaw-sized trees were identified on the Tree Survey and reviewed by the Arborist. The City's Tree Preservation Coordinator and Parks Operations staff have reviewed the Arborist Report and concurred with the Arborist's recommendations to preserve eight (8) trees and remove 50 bylaw-sized trees (see below for a Tree Summary Table and **Attachment 6** for a Tree Preservation Plan).

Tree Summary Table

Location of Bylaw-Sized Trees	Number of Trees	Number of Trees To be Retained	Number of Trees To be Removed	Comments
On-Site	38	0	38	13 European Birch (ranging in size from 20 cm to 45 cm cal) are in various stages of decline due to Bronze Birch Borer infestation and should be removed. 25 trees are in poor condition and should be removed due to structural defects as a result of previous topping, inclusions, severe lean, visible decline, low live crown ratio (dying) or are standing dead trees.
On Existing City Boulevard	2	0	2	A 90 cm cal English Oak tree is noted in Fair/Good condition, but is located at the proposed road intersection. Parks concurred with the proposed removal; \$8,450 compensation is required. A 20 cm cal English Oak tree is noted in very poor condition as it has been previously topped. Parks concurred with the proposed removal; no compensation is required.

Location of Bylaw-Sized Trees	Number of Trees	Number of Trees To be Retained	Number of Trees To be Removed	Comments
Within Proposed Road Dedication Area	12	1	11	Trees located within the road dedication area are to be removed. Compensation for trees within the road dedication area is not being sought as Armstrong Street and Breden Avenue are identified in the Area Plan. It is noted a 20 cm cal Western Red Cedar is in good condition and is located within the proposed city boulevard along Breden Avenue; tree protection should be specified at a minimum distance of 1.5 m out from the base of the tree.
On Adjacent Properties	6	6	0	Tree protection fencing on site around the driplines of all trees to be retained on the neighbouring properties will be required. It is noted that one neighbouring tree located along the west property line is dead and thus no tree protection fencing for that tree is required.
Total	58	8	50	

Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 76 replacement trees are required for the removal of 38 bylaw sized trees on site. Based on the size requirements for replacement tree in the Tree Protection Bylaw No. 8057, replacement trees with the following minimum calliper sizes are required:

# Trees to be removed	dbh	# of replacement trees required	Min. calliper of deciduous tree	or	Min. height of coniferous tree
14	20-30 cm	28	6 cm		3.5 m
16	31-40 cm	32	8 cm		4.0 m
4	41-50 cm	8	9 cm		5.0 m
2	51-60 cm	4	10 cm		5.5 m
1	60 cm +	2	11 cm		6.0 m

Due to the configurations of the future lots and building footprints, it is expected that only 28 replacement trees can be planted on site. This works out to be an average of four (4) replacement trees per lot. The applicant has agreed to provide a voluntary contribution of \$24,000 to the City's Tree Compensation Fund in-lieu of planting the remaining 48 replacement trees. To ensure that the replacement trees are planted and maintained, the applicant is required to submit a Landscaping Security to the City in the amount of \$14,000 (\$500/tree) prior to final adoption of the rezoning bylaw. Should the applicant wish to begin site preparation work after Third Reading of the rezoning bylaw, but prior to Final Adoption of the rezoning bylaw, the

applicant will be required to obtain a Tree Permit, install tree protection around trees to be retained, and submit the landscape security and tree compensation cash-in-lieu (i.e. \$38,000) to ensure the replacement planting will be provided.

The applicant has agreed to retain a Western Red Cedar (tree #76) on the proposed city boulevard along Breden Avenue. Frontage improvements along Breden Avenue will be designed to meander around this protected tree. The applicant has also agreed to protect five (5) trees on the adjacent property to the north (7411 Bridge Street) and one (1) tree on the adjacent to the west (7520 Ash Street). In order to ensure that the protected off-site trees will not be damaged during construction, tree protection fencing must be installed to City standards prior to any construction activities occurring on-site. In addition, a contract with a Certified Arborist to monitor all works to be done near or within the tree protection zone must be submitted prior to final adoption of the rezoning bylaw.

Subdivision

At future Subdivision stage, the applicant will be required to pay Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, Address Assignment Fee, and Servicing Costs. The applicant will also be required to provide underground hydro, telephone, and cable service connections for each lot.

Analysis

The proposal to develop single-family homes is consistent with the McLennan South Sub-Area Plan that establishes minimum lot sizes (**Attachment 4**). The Sub-Area Plan permits the 11.3 m wide lots which front an east-west road, and a minimum 13 m wide for corner lots. The proposal also meets the minimum lot area requirements as per the Sub-Area Plan.

Financial Impact

None.

Conclusion

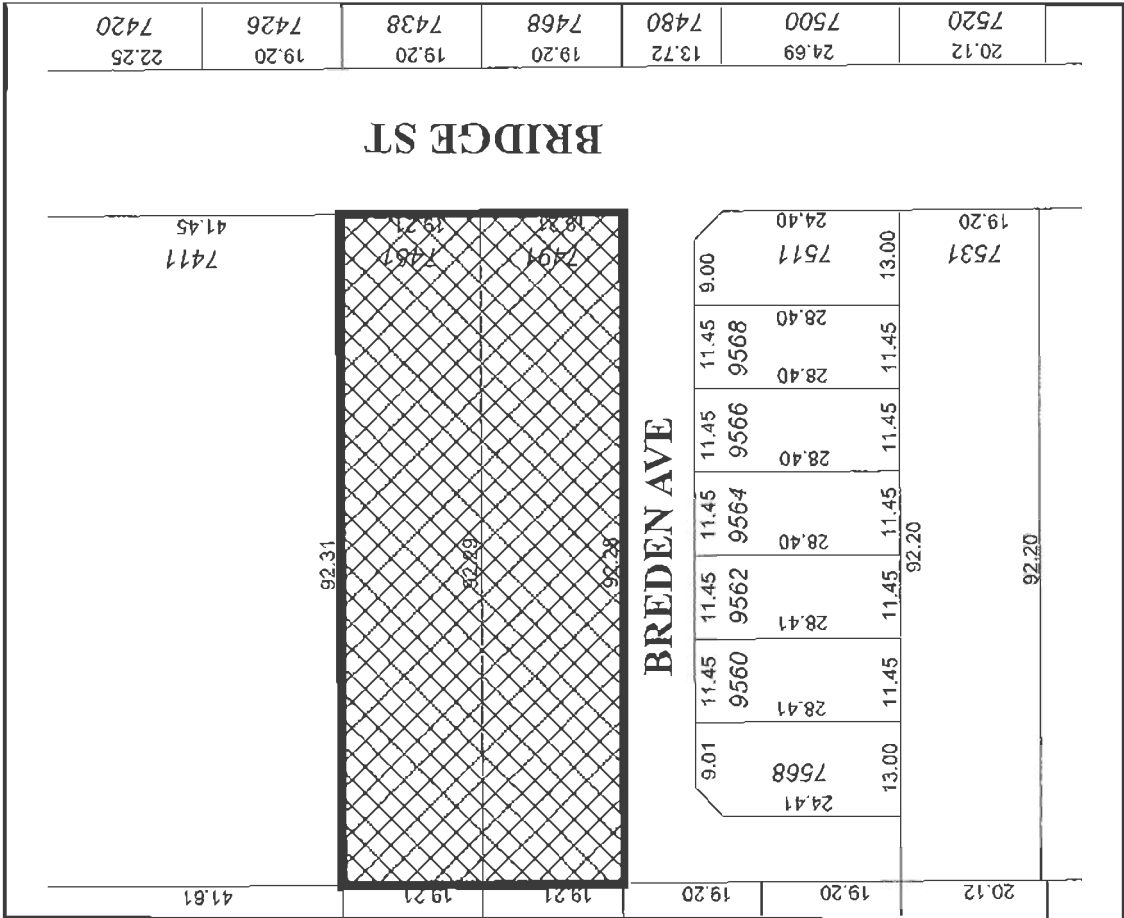
The proposed rezoning for the seven (7) lot subdivision meets the requirements of the OCP (McLennan South Sub-Area Plan) as well as the zoning requirements set out in the Single Detached (ZS14) – South McLennan (City Centre). The proposed road configuration is consistent with the Area Plan. On this basis, staff recommend that rezoning application be approved.



Edwin Lee
Planner I
(604-276-4121)

EL:rg

Attachment 1: Location Map
Attachment 2: Proposed Subdivision Plan
Attachment 3: Development Application Data Sheet
Attachment 4: McLennan South Sub-Area Land Use Map
Attachment 5: Conditional Rezoning Requirements
Attachment 6: Tree Protection Plan





RZ 09-496160

Original Date: 10/23/09

Amended Date: 08/08/12

Note: Dimensions are in METRES



City of Richmond

6911 No. 3 Road
Richmond, BC V6Y 2C1
www.richmond.ca
604-276-4000

Development Application Data Sheet

RZ 09-496160

Attachment 3

Address: 7451 and 7491 Bridge Street

Applicant: Joseph Yang

Planning Area(s): City Centre Area, McLennan South Sub-Area Plan (Schedule 2.10D)

	Existing	Proposed
Owner:	Tsung-Hua Yang, Su-Chen Susan Wu Yang, Kuo Fu Yang	No Change
Site Size (m ²): (by applicant)	3,540.0 m ²	2,599.3 m ² The gross site area is reduced by: <ul style="list-style-type: none"> 7.0 m wide dedicated right-of-way (Breden Avenue) along the site's south edge for road, complete with a 4m x 4m corner cut at Bridge Street; and 9.0m wide dedicated right-of-way (Armstrong Street) along the site's east edge for road, complete with a 4m x 4m corner cut at Breden Avenue.
Land Uses:	Single-family residential	No change
OCP Designation:	Residential	No change
Area Plan Designation:	Residential, "Historic Single-Family" 2 1/2 storeys max. - 0.55 base FAR	No change
Zoning:	Single-Family Housing District, Subdivision Area F (R1/F)	Single Detached (ZS14) – South McLennan (City Centre)
Number of Units:	2 single-family dwellings	7 single-family dwellings

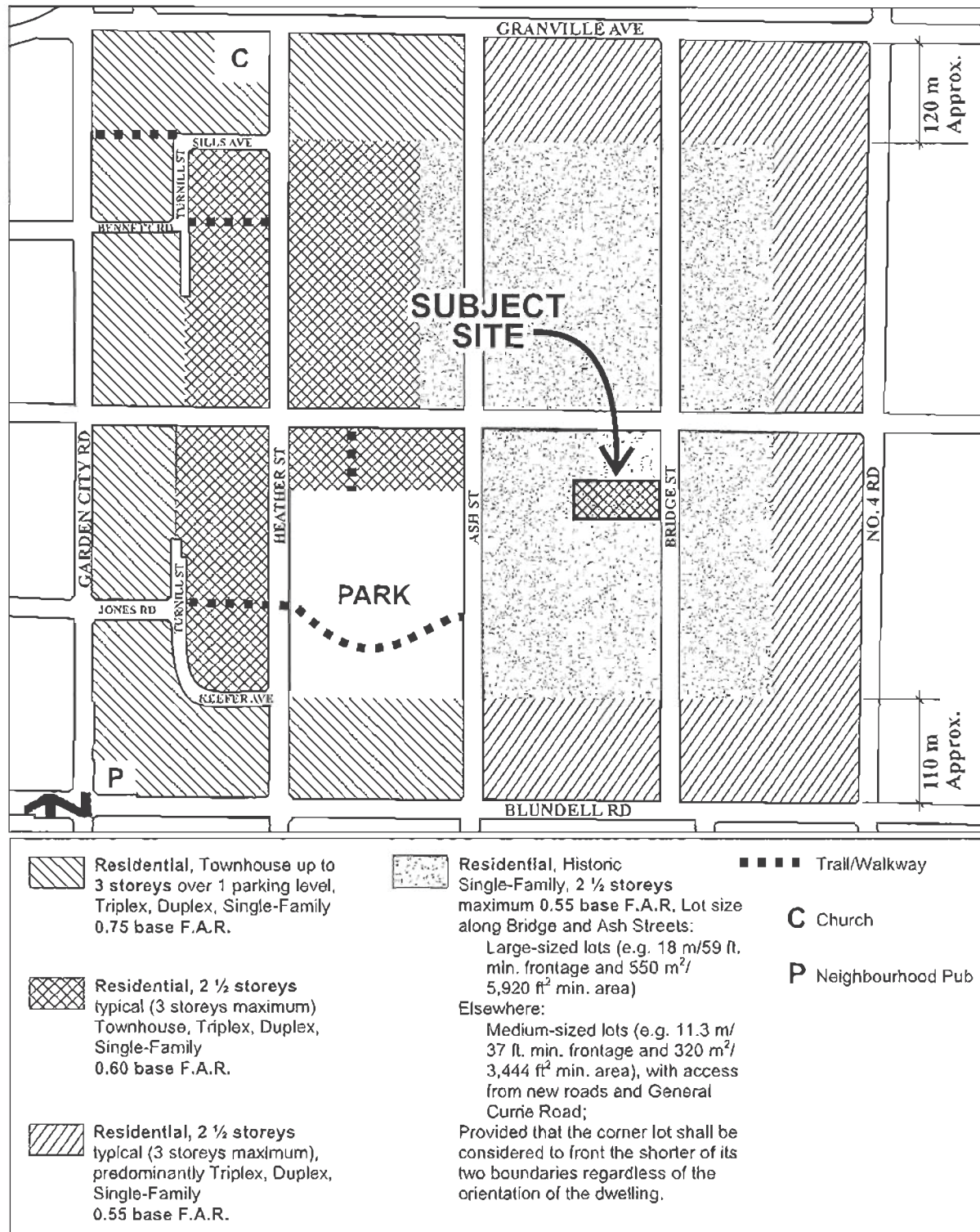
On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.55	Max. 0.55	none permitted
Lot Coverage – Building:	Max. 45%	Max. 45%	none
Lot Coverage – Buildings, structures, and non-porous	Max. 70%	Max. 70%	none
Lot Coverage – Landscaping	Min. 25%	Min. 25%	none
Setback – Front & Rear Yards (m):	6 m Min.	6 m Min.	none
Setback – Interior Side Yards (m):	Min. 1.2 m	Min. 1.2 m	none

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Setback – Exterior Side Yards (m):	Min. 4.0 m	Min. 4.0 m	none
Height (m):	2.5 storeys	2.5 storeys	none
Lot Size (area)	Min. 320.0 m ²	range from 359.8 m ² to 400.5 m ²	none
Lot Size (width)	11.3 m 13.0 m at corner lot	5 lots at 11.45 m 2 corner lots at 13.0 m	none

Other: Tree replacement compensation required for removal of bylaw-sized trees.

City of Richmond

Land Use Map



Note: Sills Avenue, Le Chow Street, Keefer Avenue, and Turnill Street are commonly referred to as the "ring road".

Conditional Rezoning Requirements

7451 and 7491 Bridge Street

RZ 09-496160

Prior to final adoption of Zoning Amendment Bylaw 8934, the developer is required to complete the following requirements:

1. Registration of a legal agreement on Title to ensure that no final Building Permit inspection is granted until a secondary suite is constructed on four (4) of the seven (7) future lots, to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw.

Note: Should the applicants change their mind about the Affordable Housing option selected prior to final adoption of the Rezoning Bylaw, the City will accept a voluntary contribution of \$1.00 per buildable square foot of the single-family developments (i.e. \$15,388.75) to the City's Affordable Housing Reserve Fund in-lieu of registering the legal agreement on Title to secure a secondary suite.
2. Consolidation of all the lots into one development parcel (which will require the demolition of the existing dwellings).
3. Registration of a Flood Indemnity Covenant on title.
4. 7.0m road dedication along the entire south property line (Breden Avenue) and 9.0m road dedication along the entire west property line (Armstrong Street) with 4m x 4m corner cuts at both southern intersections.
5. Enter into the City's standard Servicing Agreement*. Works include, but may not be limited to, the design and construction of:

Bridge Street: per the capacity analysis results, upgrade the storm sewer to 600mm from Breden to General Currie. Frontage works include, completing the road widening c/w curb & gutter, a 3.85m treed boulevard, Type 1 decorative luminaire lighting (spec L12.5), and utility boulevard with a 1.5m sidewalk 0.3m off the property line.

Breden Avenue: complete 8.5m wide road, c/w curb & gutter, a 2.05m grass & treed boulevard with Type 1 decorative luminaire lighting (spec L12.5), a 1.5m sidewalk 1m from the new property line (this corridor for the single family service connections). Frontage improvements along Breden Avenue will be designed to meander around the protected Western Red Cedar on the proposed city boulevard.

Armstrong Street: construct a functioning half road including 4.85m of asphalt, a 2m grass & treed boulevard and a 1.5m sidewalk at the property line.

Note: Design to include water, storm and sanitary service connections for each lot. All works at developer's sole cost.

6. City acceptance of the developer's offer to voluntarily contribute \$8,450 to the City's Tree Compensation Fund for the compensation of city tree removal.
7. City acceptance of the developer's offer to voluntarily contribute \$24,000 to the City's Tree Compensation Fund for the planting of 48 replacement trees within the City.
8. Submission of a Landscaping Security to the City of Richmond in the amount of \$14,000 (\$500/tree) for the planting and maintenance of 28 replacement trees (in a mix of coniferous and deciduous trees) with the following minimum sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Tree	Or	Minimum Height of Coniferous Trees
14	8 cm		4.0 m
8	9 cm		5.0 m
4	10 cm		5.5 m
2	11 cm		6.0 m

Note: If required replacement trees cannot be accommodated on-site, a cash-in-lieu contribution in the amount of \$500/tree to the City's Tree Compensation Fund for off-site planting is required.

Should the applicant wish to begin site preparation work after Third Reading of the rezoning bylaw, but prior to Final Adoption of the rezoning bylaw, the applicant will be required to obtain a Tree Permit, install tree protection around trees to be retained, and submit a landscape security (i.e. \$38,000) to ensure the replacement planting will be provided.

9. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained on site, on adjacent properties to the north (7411 Bridge Street) and west (7520 Ash Street), and on city boulevard. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.

Prior to approval of Subdivision, the applicant is required to do the following:

1. Payment of Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, and Address Assignment Fee.

Note: Servicing costs to be determined via the Servicing Agreement.

2. Provide Underground Hydro, Tel., and Cable service connections for each lot.

Prior to Building Permit Issuance, the applicant must complete the following requirements:

1. Provision of a construction parking and traffic management plan to the Transportation Department to include: location for parking for services, deliveries, workers, loading, application for request for any lane closures (including dates, times, and duration), and proper construction traffic controls as per Traffic Control Manual for Works on

Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570
(<http://www.richmond.ca/services/ttp/special.htm>).

* Note: This requires a separate application.

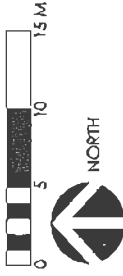
Signed

Date

CATHERINE MACDONALD INC.
1398 Pauley Road
North Vancouver, BC
V7R 1C3
604.904.0302
catherine@catheinemacdonald.ca

ISSUED: 27 APRIL 2011
Original ARBORIST REPORT Issue: 7 January 2011

SCALE: 1:300m
11" x 17" SHEET @ 100%



DO NOT SCALE PLAN.

REFER TO DIMENSIONS. DIMENSION TREE PROTECTION BARRIERS AS SHOWN AND BUILD AS PER CITY TREE BYLAW.

FENCING AND SIGNAGE EXAMPLES ARE ATTACHED TO PDF ARBORIST REPORT AND ARE AVAILABLE ON CITY WEBSITE.

NO ENTRY OF ANY KIND SHALL OCCUR WITHIN THE TPZ. THIS INCLUDES PEOPLE, MATERIALS OR EQUIPMENT STORAGE OF ANY KIND, VEHICLE TRAFFIC OR PARKING.

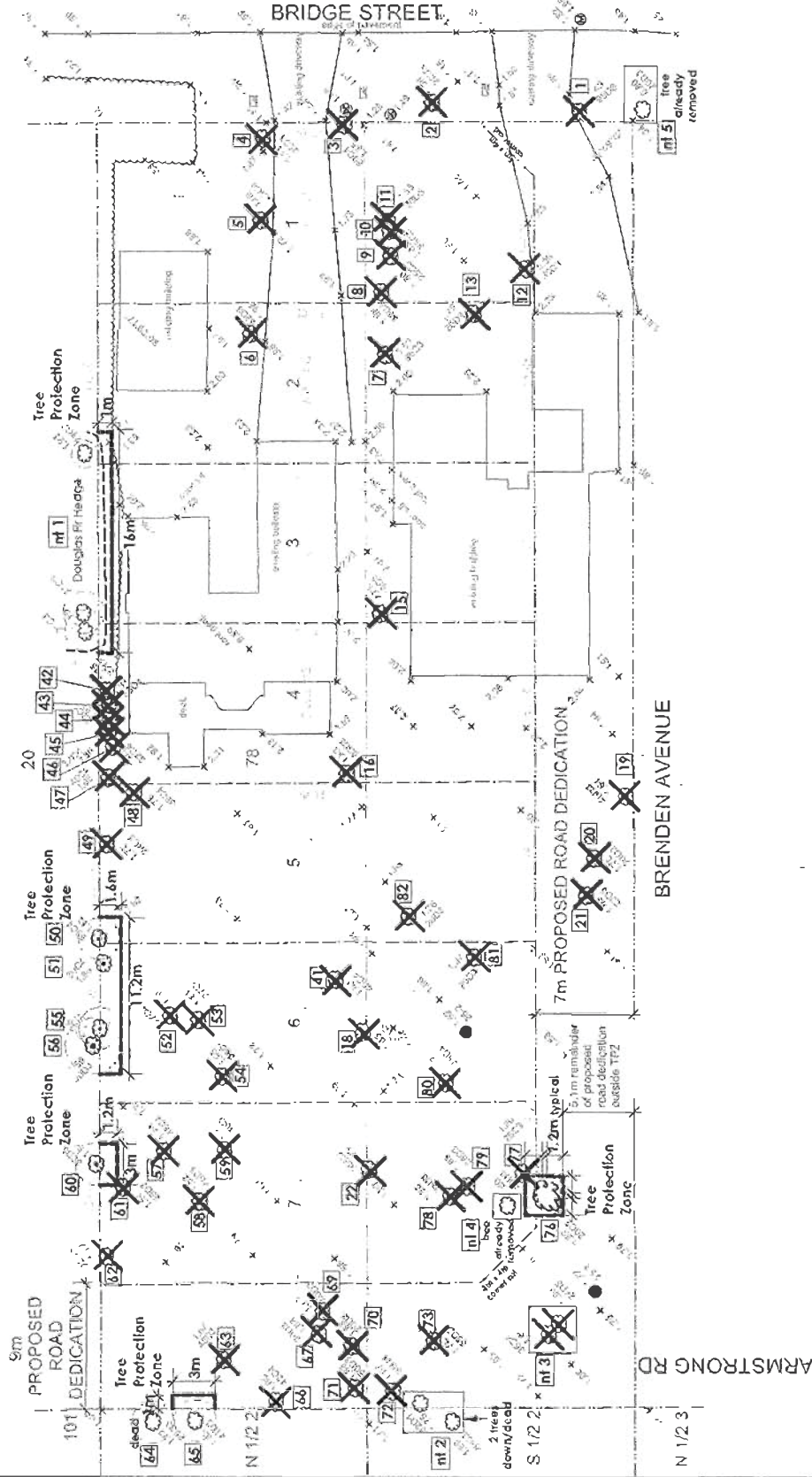
REFER TO ARBORIST REPORT.

CONSULT PROJECT ARBORIST IF IN DOUBT ABOUT ANY TREE ISSUE.

ALL LANDSCAPE/TREE WORK TO CONFORM TO THE BC LANDSCAPE STANDARD (7TH EDITION) AS A MINIMUM. ALL TREE WORK TO CONFORM TO THE STANDARDS OF THE (ISA) INTERNATIONAL SOCIETY OF ARBORICULTURE.

✕ DENOTES TREE RECOMMENDED FOR REMOVAL. SEE ARBORIST REPORT. NO TREES TO BE REMOVED WITHOUT CITY PERMIT.

TREE PROTECTION PLAN
7451 & 7491 Bridge St
Richmond, BC





**Richmond Zoning Bylaw 8500
Amendment Bylaw 8934 (RZ 09-496160)
7451 and 7491 Bridge Street**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **SINGLE DETACHED (ZS14) – SOUTH MCLENNAN (CITY CENTRE)**.

P.I.D. 004-238-486

Lot 78 Section 15 Block 4 North Range 6 West New Westminster District Plan 47295

and

P.I.D. 003-532-836

Lot 79 Section 15 Block 4 North Range 6 West New Westminster District Plan 47295

2. This Bylaw may be cited as “**Richmond Zoning Bylaw 8500, Amendment Bylaw 8934**”.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

DEVELOPMENT REQUIREMENTS SATISFIED

ADOPTED

MAYOR

CORPORATE OFFICER

CITY OF RICHMOND
APPROVED by <i>EL</i>
APPROVED by Director or Solicitor <i>EL</i>