



To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: July 17, 2012
File: DP 11-592270
Re: Application by Westmark Developments Ltd. for a Development Permit at 9691,
9711 and 9731 Blundell Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a 25-unit townhouse development at 9691, 9711 and 9731 Blundell Road on a site zoned Town Housing (ZT60) – North McLennan (City Centre); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum front yard setback from 6 m to a range of 4.5 m to 6 m; and
 - b) Permit tandem parking for 15 of the 25 townhouse units (30 tandem parking spaces).

Brian J. Jackson, MCIP
Director of Development

SB:blg
Att.

Staff Report

Origin

Westmark Developments Ltd. has applied to the City of Richmond for permission to develop a 25-unit townhouse development at 9691, 9711 and 9731 Blundell Road on a site zoned Town Housing (ZT60) – North McLennan (City Centre). The predominantly three-storey development includes eight (8) two-storey townhouses located through the site to provide height transition at the:

- End units of the streetscape buildings along Blundell Road;
- North edge of the amenity area;
- North drive aisle connection to the neighbouring townhouse development; and
- East drive aisle connection to future potential townhouse development.

The site is being rezoned from "Single Detached (RS1/F)" to "Town Housing (ZT60) – North McLennan (City Centre)" for this project under Bylaw No. 8787 (RZ 07-394758).

The developer is required to enter into a Servicing Agreement (SA 11-596153) as a requirement of rezoning for the design and construction of frontage improvements along Blundell Road and a storm sewer upgrade.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the City Centre McLennan South Sub-Area site in the 'C2' character area includes a mix of older and newer homes and new townhouse developments, specifically:

- To the north, is a new townhouse development fronting onto Keefer Avenue, zoned Low Density Townhouses (RTL3);
- To the east, are existing single-family lots fronting onto Blundell Road and No. 4 Road, zoned Single Detached (RS1/F);
- To the west, are existing single-family lots fronting onto Blundell Road, zoned Single Detached (RS1/F) and a townhouse development fronting onto Bridge Street and Keefer Avenue, zoned Town Housing (ZT50) - South McLennan (City Centre); and
- To the south, across Blundell Road and outside of the City Centre planning area, are townhouse developments, zoned Low Density Townhouses (RTL1).

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage (response in *'bold italics'*):

- Requested variances to permit tandem parking for 15 of the 25 townhouse units, and to decrease the minimum front yard setback from 6 m to a range of 4.5 m to 5.6 m. The variance to the front yard setback can be considered on the basis of it being a direct result of required road dedication and consistency with setbacks of other developments along Blundell Road within the McLennan South neighbourhood – ***The variances were identified in the rezoning staff report and no concerns were expressed at Planning Committee or Public Hearing.***
- Review of a sustainability strategy for the development proposal – ***Provided.***
- Review of the one (1) unit providing opportunity for conversion for accessibility and review of opportunity to provide aging in place features in all units (including providing blocking in bathroom walls for future installation of grab rails) – ***Incorporated.***
- Comprehensive tree preservation plan for onsite and neighbouring existing trees – ***Provided.***

The Public Hearing for the rezoning of this site was held on September 7, 2011. At the Public Hearing, the following concerns about rezoning the property were expressed (response in ***'bold italics'***):

- Negative impact to the redevelopment potential of properties at the corner of Blundell Road and No. 4 Road – ***At the Public Hearing, staff advised that the subject development and the existing development to the north at 9888 Keefer Avenue both provide cross-access to facilitate future redevelopment of the corner properties.***
- Increased traffic on Keefer Avenue – ***Transportation staff have reviewed the proposal and are satisfied that Keefer Avenue can accommodate the traffic.***

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Town Housing (ZT60) – North McLennan (City Centre) site specific zone except for the zoning variance noted below.

Zoning Compliance/Variations (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum front yard setback from 6 m to a range of 4.5 m to 6 m.

(Staff supports the proposed variance as it is a direct result of required road dedication and consistency with setbacks of other developments along Blundell Road within the McLennan South neighbourhood. The variance was identified in the rezoning Staff Report and no concern was expressed.)

- 2) Permit tandem parking for 15 of the 25 townhouse units (30 tandem parking spaces).

(Staff supports the proposed variance as it is limited to 15 of the 25 townhouse units and standard side by side parking is provided in the remaining 10 townhouse units. The variance was identified in the rezoning Staff Report and no concern was expressed.)

Advisory Design Panel Comments

The Advisory Design Panel supported the proposal subject to the applicant giving consideration to comments provided by the Panel. A copy of the relevant excerpt from the Advisory Design Panel Minutes from March 7, 2012 is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The development provides an appropriate interface to Blundell Road consisting of street fronting townhouses with pedestrian oriented front entries, individual gated front yards, and a communal pedestrian entry to the development. The parking is located inside the site and is not visible from the street.
- The development provides a sensitive interface to the adjacent townhouse developments to the north and single detached homes to the west and east. Shrub planting, tree planting and 1.8 m solid wood privacy fencing are provided along all edges of the site for privacy screening, with the exception of the vehicle access to the site. Located along the internal perimeter of the site is a mix of passive and active yard space, and landscape buffers to drive aisle terminus and visitor parking spaces. Retained trees, tree protection for neighbouring trees, and the associated deeper building setbacks provide additional privacy screening along the west edge of the site.

Urban Design and Site Planning

- The subject mid-block site is located on the south edge of the City Centre South McLennan Sub-Area. The proposed development achieves a scale, massing, and pedestrian-oriented townhouse streetscapes, which is consistent with developments in the neighbourhood.
- The site plan includes seven buildings on the L-shaped lot, which fronts onto Blundell Road. The buildings surround a central outdoor amenity space and drive aisle spine. Each building houses a range of two (2) to five (5) townhouse units.
- The proposed massing steps down in building height from three-storey to two-storey at the edges of the two (2) streetscape buildings and incorporates traditional design elements such as gable end pitch roof, gable end dormers, and a mix of horizontal and shingle siding. These elements work towards achieving the "country-estate" character objective for the Character Area.
- A centrally located outdoor amenity space is provided and exceeds the OCP requirements for size, location, visual surveillance and access. The outdoor amenity area includes planting beds, trees, bicycle racks, seating, and a children's play.
- The applicant is providing a contribution in-lieu of on-site indoor amenity space for the 25 townhouse units in the amount of \$31,000 as per the Official Community Plan (OCP) and Council Policy. The contribution was secured through the rezoning.
- One (1) convertible unit is provided. The two-storey unit is centrally located and designed with conversion for universal accessibility in mind. Conversion would require installation of an elevating device. This unit includes an adaptable bathroom on the second floor.
- Aging in place features will be provided in all units (e.g. solid blocking in all washroom walls to accommodate future potential grab bar installation, and lever-type handles for faucets and doors).

- Garbage and recycling needs have been accommodated onsite in an enclosed structure across from the central amenity area.

Architectural Form and Character

- The architectural design seeks to provide a village character to achieve an adapted version of the “country-estate” for a neighbourly transition between single-family and the more intense vision for the neighbourhood.
- The building forms are well articulated. Visual interest is provided with a variety of gable and shed sloped roofs, projections, recesses, a variety of materials and a colour palette.
- The visual impact of parking has been mitigated with enclosed garages, a mix of single wide and double wide garage doors with transom windows, and permeable paving treatment for surface parking spaces. Parking is located internally on the site and is not visible from Blundell Road.
- The proposed materials (Horizontal Hardi-siding and vinyl siding, Hardi-shingles, painted wood trim, brick, vinyl windows, and asphalt roof shingles) are generally consistent with the OCP guidelines.
- The project features a taupe, grey and medium brown colour palette with red, dark brown and black accents, black brick, and off-white framed vinyl windows.

Landscape Design and Open Space Design

- The landscape treatment has been designed to provide an attractive outdoor amenity space for the residents, an attractive and pedestrian oriented streetscape, and an appropriate transition to the neighbouring townhouse developments and single detached homes.
- The landscape design palette includes: ground covers, ornamental grass, shrubs, climbing vines, trees, pea gravel, and special paving. In addition to asphalt, special paving is provided, including: concrete pavers, permeable pavers, broom finish concrete, and exposed aggregate concrete.
- An attractive outdoor amenity space is provided for the residents, featuring: a gateway structure, special pavement, seating, children’s play area, planting, and fencing. The planting includes a mix of shrubs, hedging, and five (5) trees.
- The children’s play area is enclosed with fencing and includes a climbing structure interpretive play equipment, open lawn areas for flexible play, and seating for supervision.
- The Blundell Road streetscape is treated with pedestrian-oriented front entries and a communal pedestrian entry. The fenced townhouse front yards feature gated entries, concrete paver paths, open lawn, ground cover, shrubs, hedging between the yards and at least one tree in each yard. The communal pedestrian entry is marked with a feature gateway structure and features a permeable paver path and planting of ground cover, shrubs, and hedging.
- The landscape design for the remaining edges of the site are a soft transition to the neighbouring townhouse developments and single detached homes. The setbacks to the property lines varies from the minimum 3 m to 6.7 m for tree protection at the west property line. The grades slope down from the proposed buildings to meet the existing grades and to protect the retention trees. Landscaping in the interface area includes concrete paver patios, open lawn, ground cover, shrubs, trees and 1.8 m solid wood privacy fencing.
- The Blundell Road frontage will be improved through the required Servicing Agreement (SA 11-596153) with new sidewalk, grass boulevard and street trees.

Tree Management

	Existing	To be Retained	Compensation
On-site trees	70	9	48 new trees and \$37,000 compensation for the removal of 61 existing trees (\$500 for each replacement tree not planted)
On-site trees in road dedication area	3 trees	0	\$3,000 (\$500 for each replacement tree not planted)
Off-site trees in neighbouring properties	3	3	To be protected with tree protection barriers through construction

- As noted at rezoning, the City has received a tree preservation plan prepared by a registered arborist and a tree survey. The plan is acceptable to Tree preservation staff and the table above includes the findings of the arborist report and compensation sought by staff.
- Unfortunately, tree retention opportunities on the subject site are limited due to deep peat soil conditions and health of the existing trees.
- Tree retention and protection was secured through rezoning. The applicant is required to protect the trees on the neighbouring properties with tree protection barriers before construction activities commence, the rezoning is approved, or a Demolition Permit is issued.
- The applicant has agreed to plant new street trees along their Blundell Road frontage through the required Servicing Agreement (SA 11-596153).

Crime Prevention Through Environmental Design

- The project has been designed to accommodate CPTED principles.
- Natural surveillance is provided throughout the project.
- Boundaries between public, semi-public and private spaces have been clearly defined.

Transportation

- As noted at rezoning, sole vehicular access will be from Keefer Avenue through cross-access easement secured over the drive aisles of the newer townhouse development to the north at 9888 Keefer Avenue.
- As noted at rezoning, the proposed internal drive aisle layout continues and expands the pattern and transportation network established through the new adjacent townhouse development to the North at 9888 Keefer Avenue (RZ 05-313124). Through the rezoning, the development at 9888 Keefer Avenue provided two (2) separate accesses to Keefer Avenue with cross-access intended to provide for an ultimate connected horseshoe drive aisle shared between the properties at the corner of Blundell Road and No. 4 Road. The pattern will be completed with the future redevelopment of 7951 No 4 Road, 9951 and 9991 Blundell Road. Future development to the west will be accessed from Bridge Street. Cross-access over the internal drive aisle was secured through rezoning.
- Road dedication was secured through rezoning: 2 m wide dedication within 100 m of the Blundell Road and No. 4 Road intersection, and approximately 0.4 m wide dedication across the remaining Blundell frontage (exact width to be confirmed as part of Servicing Agreement to provide 3 m wide City boulevard behind existing curb and gutter).

- A Servicing Agreement was secured through the rezoning, including design and construction of frontage improvements along Blundell Road.
- A pedestrian route is provided to Blundell Road.
- Vehicle parking and bicycle storage is provided on-site and is accessed from the internal drive aisles. Visitor parking is located throughout the site in surface parking spaces. Class 2 bicycle rack space is provided in the central outdoor amenity area. Resident parking and Class 1 bicycle storage is provided in individual unit garages.
- A variance is requested to permit 30 tandem parking spaces in 15 townhouse units. With the exception of the requested variance, vehicle parking and bicycle storage complies with the Zoning Bylaw requirements.
- Mailboxes are provided at a central location across from the outdoor amenity area.
- Truck manoeuvring is accommodated onsite.

Servicing Capacity

- Servicing capacity was addressed through the rezoning. A Servicing Agreement was secured through the rezoning, including design and construction of a storm sewer upgrade.

Sustainability Features:

- Drought tolerant and native planting materials
- Site permeability with landscaping and permeable pavers (41% site permeability)
- Black top surface area minimized to reduce heat island effect
- Large operable windows for natural light and ventilation
- Energy efficient lighting fixtures
- Water efficient toilets
- Temperature control in each room to conserve energy
- Low E glazing to improve performance of windows

Affordable Housing

- Participation in the City's Affordable Housing Strategy was secured through the rezoning. The applicant will be providing a cash contribution towards the City's Affordable Housing Strategy in the amount of \$2.00 per buildable square foot of residential land use (e.g. \$59,940).

Public Art

- Participation in the City's Public Art Program was secured through the rezoning. The applicant will be contributing \$0.75 per buildable square foot (e.g. \$22,480).

Flood Plain Management

- As noted at rezoning, the Flood Plain Designation and Protection Bylaw No. 8204 identifies that the subject development site is located in Area A, where the minimum flood construction level is 0.3 m above the highest level of the crown of any road that is adjacent to the parcel. The proposed development complies.
- Registration of a flood indemnity restrictive covenant was secured through rezoning.

Conclusions

The three-storey building height is sensitively stepped down to two (2) storeys at both ends of the two (2) buildings fronting onto Blundell, providing an appropriate interface to the existing single detached neighbours and also providing visual interest with variations in building height. The proposal is consistent with the OCP McLennan South Sub-Area Plan and includes significant tree retention along the western edge. The applicant has addressed staff and the Advisory Design Panel's comments regarding adjacency, site planning and urban design, architectural form and character, and landscape. Staff recommends that the Development Permit be issued.



Sara Badyal, M. Arch, MCIP
Planner 2

SB:blg

The following is to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$64,702.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Incorporation of measures in Building Permit (BP) plans as determined via the Rezoning and Development Permit processes, including:
 - a) Tree Protection measures for nine (9) existing on-site trees and 3 existing off-site neighbouring trees;
 - b) Accessibility features in 1 Convertible unit;
 - c) Aging in place features in all units; and
 - d) Sustainability features.
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



DP 11-592270

Attachment 1

Address: 9691, 9711 and 9731 Blundell Road

Applicant: Westmark Developments Ltd.

Planning Area(s): South McLennan Sub-Area (City Centre)

	Existing	Proposed	
Owner:	Steven Wu & Helena Wong A H B Construction Ltd. Westmark Developments (Solaris) Ltd.	To be determined	
Site Area:	4,301 m ² after road dedication	No Change Through DP	
Land Uses:	Single Detached Residential	Multi Family Residential	
OCP Designation:	Residential	Complies	
Zoning:	Previously Single Detached (RS1/F)	Currently Town Housing (ZT60) – North McLennan (City Centre)	
Number of Units:	3 homes	25 townhouses	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65	0.65	None permitted
Lot Coverage – Building:	Max. 40%	39.5%	None
Lot Size:	Min. 1,010 m ²	4,301 m ²	None
Setback – Front Yard:	Min. 6 m	4.5 m to 6 m	Up to 1.5 m reduction
Setback – Side & Rear Yards:	Min. 3 m	3 m to 6.7 m	None
Height (m):	Max. 12 m & 3 storeys	Max. 11.5 m & 3 storeys	None
Off-street Parking Spaces – Resident Visitor Accessible Total	35 5 (1) 40	50 5 (1) 55	None
Tandem Parking Spaces	Not permitted	30 spaces in 15 units	30 spaces
Small Car Parking Spaces	Max. 50%	15% (8 spaces)	None
Amenity Space – Indoor:	Min. 70 m ²	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 150 m ²	162 m ²	None

**Annotated Excerpt from the Minutes from
The Design Panel Meeting
Wednesday, March 7, 2012**

APPLICATION: DP 11-592270
APPLICANT: Westmark Developments Ltd.
PROPERTY: 9691, 9711 and 9731 Blundell Road

Panel Discussion

Comments from the Panel were as follows:

- proposed paving is setting up nice threshold and pedestrian realm; concern on signage, addressing, and sense of arrival; small depiction of the signage in the rendering; consider developing or expressing further – *Design improved with a substantial sign at the entry point and a sign on Blundell Road with an area map to identify how to get to the site by vehicle.*
- does the signage begin on the property line as you pass through the existing development? how evident would the signage be from Keefer Road? – *See comment above.*
- depending on the land acquisition, phasing and future development, look at all possible ways of preserving the oak tree; present location appears to have marginal impact on the future vehicle access route for future developments; consider realigning future extension of east-west drive to preserve oak tree – *The project has been designed to protect the Oak tree.*
- like the Tudor style of the townhouses;
- no negative comments on the proposed development;
- it is difficult to identify access to the site; front door along Blundell Road but vehicular entry is at the back of the site – *See signage comment above.*
- like the convertible unit design; works very well;
- pleased to see ageing in place throughout the project;
- concern on the location of the convertible unit which is adjacent to garbage and recycling; consider moving the proposed convertible unit to Building No. 6 and making unit D2 a convertible unit; would be ideal if each of the D units would be convertible – *Considered. Recycling and food scrap enclosure has been redesigned to have fully enclosed walls. Cardboard and garbage showing increased height of walls to enhance stronger screening.*
- concern on the identity of the overall development; although the subject development is the first phase, it would be nice to see the street elevation of what the entire build out would look like; exterior massing achieves what the applicant is trying to accomplish, i.e. breaking down the mass and trying to make it look residential; residential character and massing are appropriate in the present context; however, given the location of the project (edge of the downtown area), it may become out of place in the future – *The proposed two-storey massing at the east and west edges of the Blundell streetscape provide a sensitive transition to adjacent properties. Since these adjacent properties also have townhouse redevelopment potential under the OCP South McLennan Area Plan, the two-storey transition would provide visual interest in the future through height variation along the streetscape.*
- exterior finishes are fine stylistically;

- consider retaining as many existing trees as possible – *A substantial number of trees have , been retained along the east edge of the site. Unfortunately further tree retention is not feasible due to on-site soil conditions.*
- design is well-resolved; like the stepping down to two-storeys against the existing adjacent residential developments; sensitive to the neighbourhood context;
- concern on the signage; would be difficult for visitors coming from Keefer Road to identify the entrance to the subject development; innovative way of site identification is needed – *See signage comment above.*
- concern on the paving on site; don't mind the banding; further define and extend the influence of the amenity area by extending the permeable pavers to the north and west edges of the amenity area – *Design improved with additional banding to emphasize pedestrian linkage between Blundell Road and the amenity area.*

Panel Decision

It was moved and seconded that DP 11-592270 move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED



No. DP 11-592270

To the Holder: WESTMARK DEVELOPMENTS LTD.
Property Address: 9691, 9711 AND 9731 BLUNDELL ROAD
Address: C/O TAIZO YAMAMOTO
YAMAMOTO ARCHITECTURE INC.
2386 OAK STREET
VANCOUVER, BC V6H 4J1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum front yard setback from 6 m to a range of 4.5 m to 6 m; and
 - b) Permit tandem parking for 15 of the 25 townhouse units (30 tandem parking spaces).
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$64,702. (or an amount based on sealed estimate prepared by a Registered Landscape Architect) to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 11-592270

To the Holder: WESTMARK DEVELOPMENTS LTD.
Property Address: 9691, 9711 AND 9731 BLUNDELL ROAD
Address: C/O TAIZO YAMAMOTO
YAMAMOTO ARCHITECTURE INC.
2386 OAK STREET
VANCOUVER, BC V6H 4J1

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

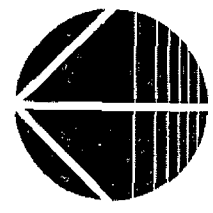
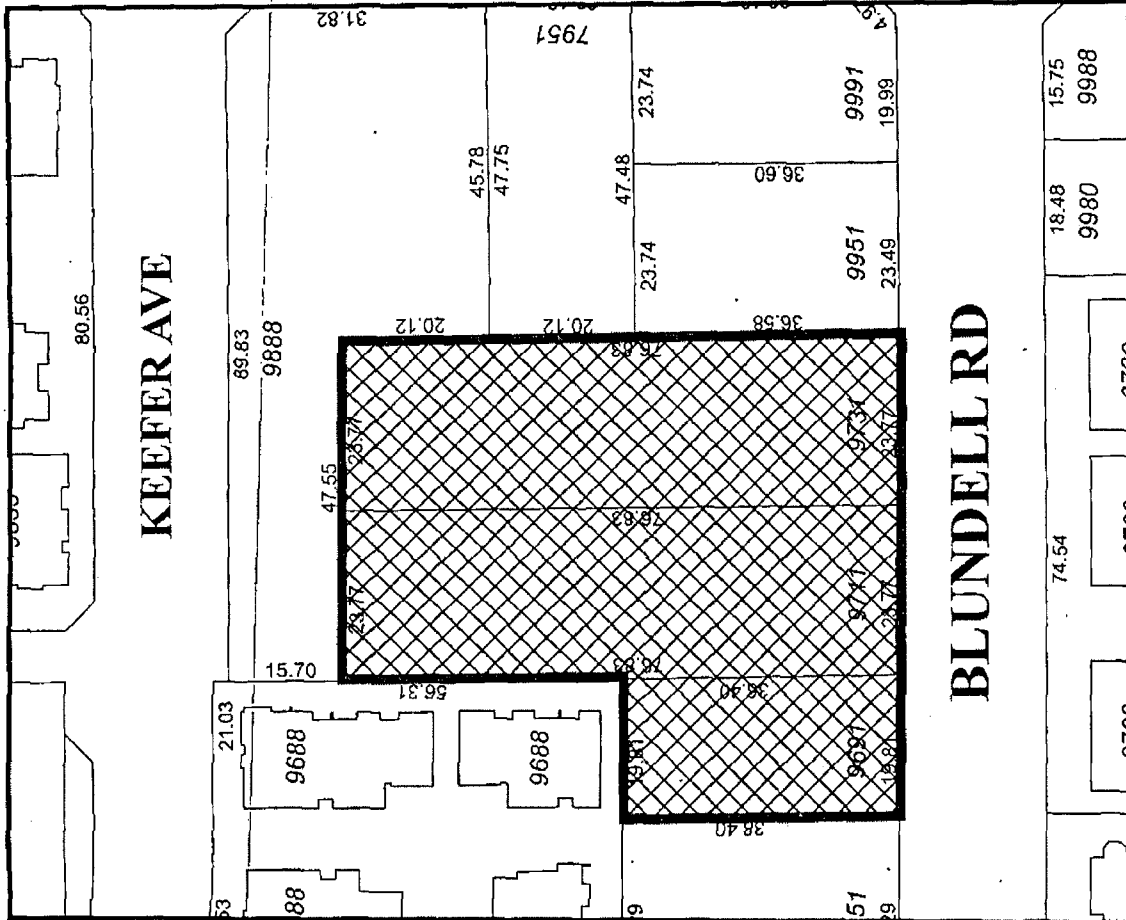
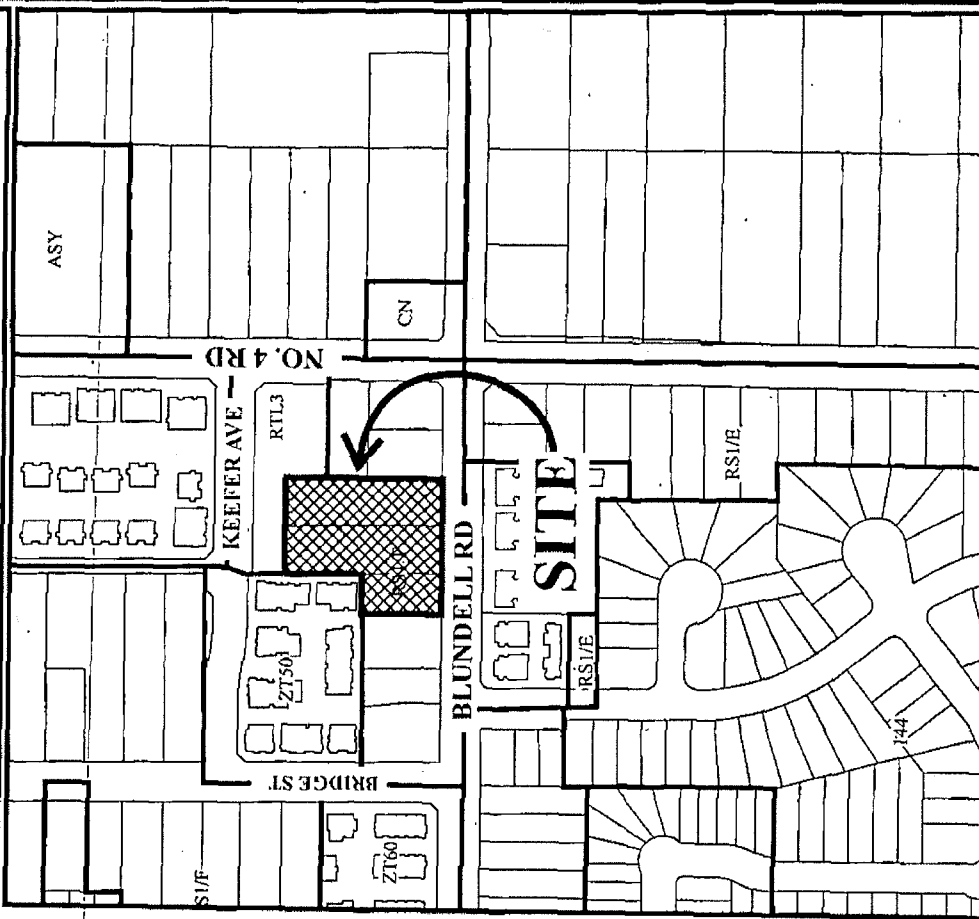
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 11-592270

SCHEDULE "A"

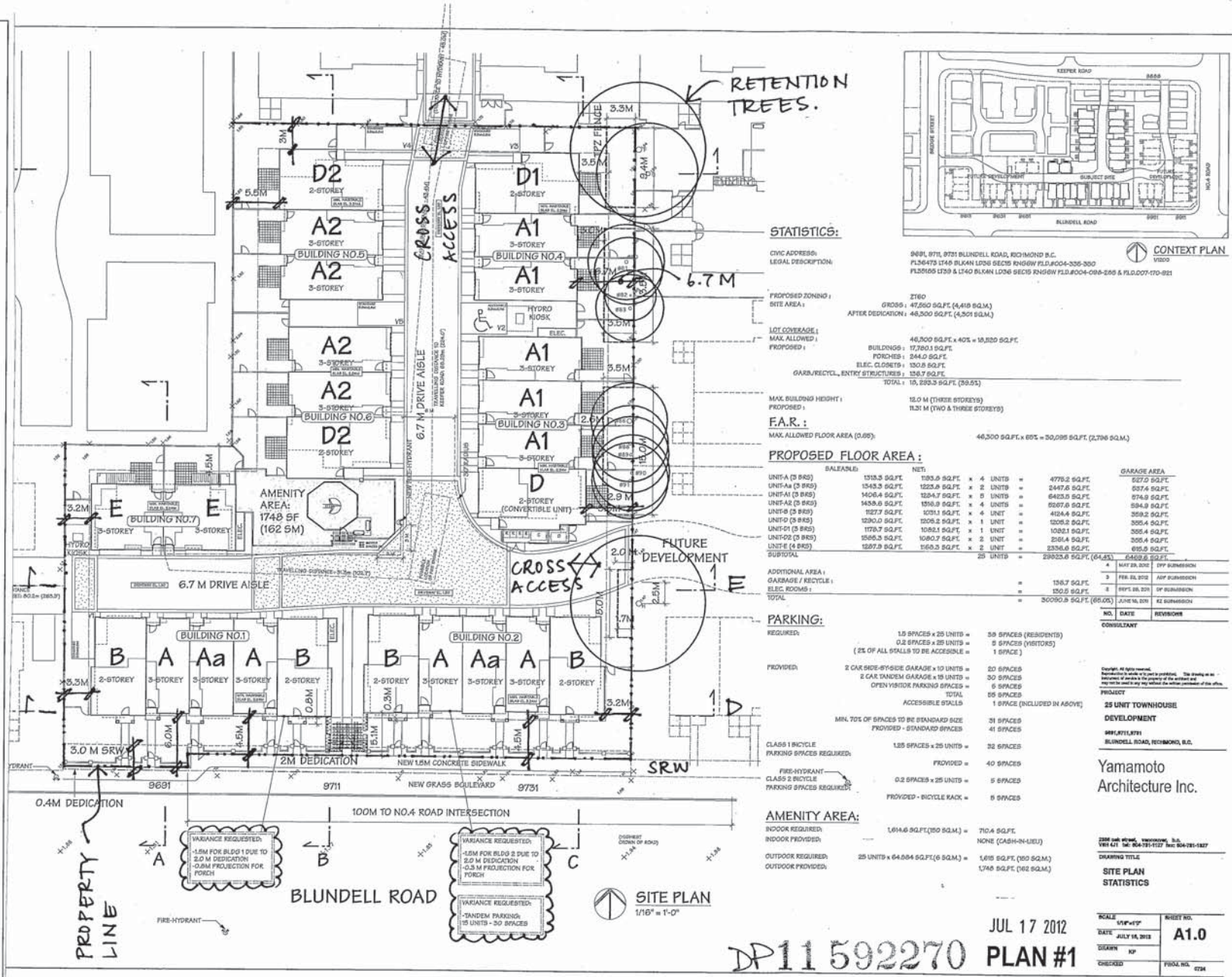
Original Date: 11/07/11

Revision Date:

Note: Dimensions are in METRES

Notes:

- Frontage improvement works to be provided via separate Servicing Agreement (SA 11-596153)
- 12 existing trees retained and protected (3 off-site and 9 on-site). Tree protection zone and contract with registered arborist are required throughout construction. period. No works or materials storage to occur within the tree protection zone, unless prior approval obtained from project arborist.
- No vehicle access, works, material storage or fill to occur within 3 m wide sanitary sewer SRW along Blundell Road, unless prior approval obtained from Engineering staff.
- One (1) convertible unit
- Aging in place features in all units: solid blocking in all washroom walls for future grab bar installation, and lever type handles for plumbing fixtures and doors.
- Sustainability features to be provided:
 - Low-e double pane windows
 - Electrical heat with individual thermostats for each room
 - Energy efficient light bulbs & Energy Star Appliances
 - Low flow plumbing fixtures
 - Incorporating drought tolerant plant species
 - Permeable pavers in internal drive aisle



STATISTICS:

CIVIC ADDRESS: 9691, 9711, 9731 BLUNDELL ROAD, RICHMOND B.C.
 LEGAL DESCRIPTION: PL26475 LT40 BLKAN L206 SEC25 KN05W P.L.D.#004-305-300
 PL30595 LT39 & LT40 BLKAN L206 SEC25 KN05W P.L.D.#004-089-295 & P.L.D.007-170-921

Z160
 GROSS: 47,500 SQ.FT. (4,419 SQ.M.)
 AFTER DEDICATION: 46,300 SQ.FT. (4,301 SQ.M.)

LOT COVERAGE:
 MAX. ALLOWED: 46,300 SQ.FT. x 40% = 18,520 SQ.FT.
 PROPOSED: BUILDINGS: 17,780.3 SQ.FT.
 PORCHES: 244.0 SQ.FT.
 ELEC. CLOSETS: 130.8 SQ.FT.
 GAR./RECYCL. ENTRY STRUCTURES: 138.7 SQ.FT.
 TOTAL: 18,293.8 SQ.FT. (1,705.5)

MAX. BUILDING HEIGHT:
 PROPOSED: 15.0 M (THREE STOREYS)
 13.1 M (TWO & THREE STOREYS)

F.A.R. :
 MAX. ALLOWED FLOOR AREA (0.69): 46,300 SQ.FT. x 60% = 27,780 SQ.FT. (2,796 SQ.M.)

PROPOSED FLOOR AREA:

UNITS (3 BR)	NET	SALEABLE	NET	SALEABLE
UNIT-A1 (3 BR)	1353.5 SQ.FT.	1353.5 SQ.FT. x 4 UNITS =	5414.0 SQ.FT.	5414.0 SQ.FT.
UNIT-A2 (3 BR)	1543.3 SQ.FT.	1543.3 SQ.FT. x 2 UNITS =	3086.6 SQ.FT.	3086.6 SQ.FT.
UNIT-A1 (3 BR)	1406.4 SQ.FT.	1406.4 SQ.FT. x 5 UNITS =	7032.0 SQ.FT.	7032.0 SQ.FT.
UNIT-A2 (3 BR)	1438.9 SQ.FT.	1438.9 SQ.FT. x 4 UNITS =	5755.6 SQ.FT.	5755.6 SQ.FT.
UNIT-D (3 BR)	1227.7 SQ.FT.	1227.7 SQ.FT. x 4 UNITS =	4910.8 SQ.FT.	4910.8 SQ.FT.
UNIT-D (3 BR)	1290.0 SQ.FT.	1290.0 SQ.FT. x 1 UNIT =	1290.0 SQ.FT.	1290.0 SQ.FT.
UNIT-D1 (3 BR)	1774.7 SQ.FT.	1774.7 SQ.FT. x 1 UNIT =	1774.7 SQ.FT.	1774.7 SQ.FT.
UNIT-D2 (3 BR)	1550.3 SQ.FT.	1550.3 SQ.FT. x 2 UNITS =	3100.6 SQ.FT.	3100.6 SQ.FT.
UNIT-E (4 BR)	1297.9 SQ.FT.	1297.9 SQ.FT. x 2 UNITS =	2595.8 SQ.FT.	2595.8 SQ.FT.
SUBTOTAL		25 UNITS =	29025.6 SQ.FT. (2685)	6408.0 SQ.FT.

PARKING:

REQUIRED:	PROVIDED:	EXCESS:
1.5 SPACES x 25 UNITS = 38 SPACES (RESIDENTS)	2 CAR SIDE-BY-SIDE GARAGE x 10 UNITS = 20 SPACES	18 SPACES
0.2 SPACES x 25 UNITS = 5 SPACES (VISITORS)	2 CAR DANDEM GARAGE x 10 UNITS = 30 SPACES	25 SPACES
(2% OF ALL STALLS TO BE ACCESSIBLE = 1 SPACE)	OPEN VISITOR PARKING SPACES = 5 SPACES	24 SPACES
	TOTAL = 55 SPACES	54 SPACES
	ACCESSIBLE STALLS = 1 SPACE (INCLUDED IN ABOVE)	
MIN. 70% OF SPACES TO BE STANDARD SIZE	PROVIDED - STANDARD SPACES = 41 SPACES	31 SPACES
	PROVIDED - BICYCLE SPACES = 4 SPACES	35 SPACES
CLASS 1 BICYCLE PARKING SPACES REQUIRED: 1.25 SPACES x 25 UNITS = 32 SPACES	PROVIDED = 40 SPACES	8 SPACES
FIRE-HYDRANT CLASS 2 BICYCLE PARKING SPACES REQUIRED: 0.2 SPACES x 25 UNITS = 5 SPACES	PROVIDED - BICYCLE RACK = 8 SPACES	3 SPACES

AMENITY AREA:

INDOOR REQUIRED:	1,614.6 SQ.FT. (150 SQ.M.)	710.4 SQ.FT.
INDOOR PROVIDED:	NONE (CASH-IN-LIQUID)	
OUTDOOR REQUIRED:	25 UNITS x 64.084 SQ.FT. (6 SQ.M.)	1,602.1 SQ.FT. (150 SQ.M.)
OUTDOOR PROVIDED:	1,748 SQ.FT. (162 SQ.M.)	84.7 SQ.FT.

Yamamoto Architecture Inc.

2296 JANE ST. VANCOUVER, B.C.
 VAN V1T 1A1 TEL: 604-751-1127 FAX: 604-751-1227

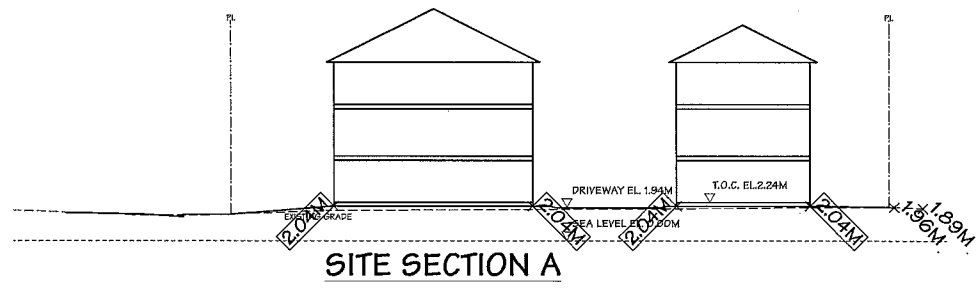
SITE PLAN STATISTICS

SCALE:	SHEET NO.:
1/8" = 1'-0"	A1.0
DATE: JULY 18, 2012	
DESIGN: KP	
CHECKED:	PROJECT NO. 0724

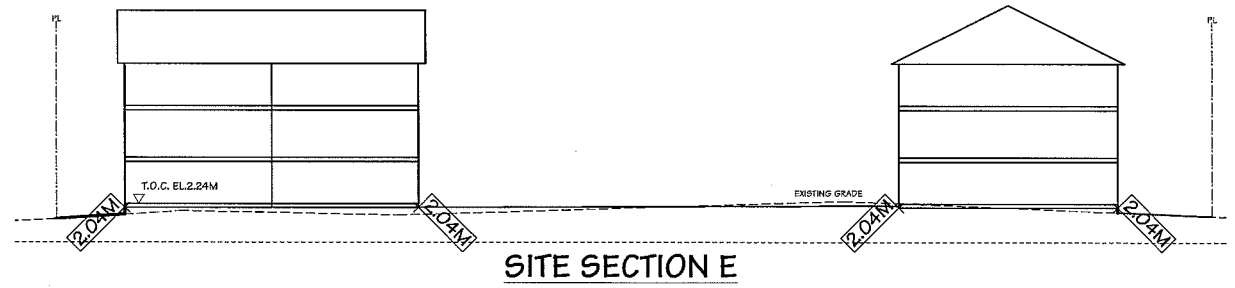
DP11592270 PLAN #1

JUL 17 2012

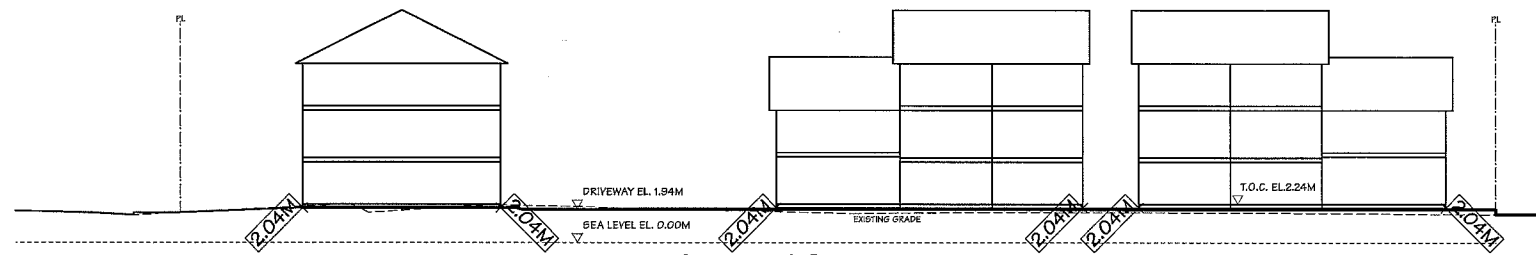
SITE PLAN
 1/16" = 1'-0"



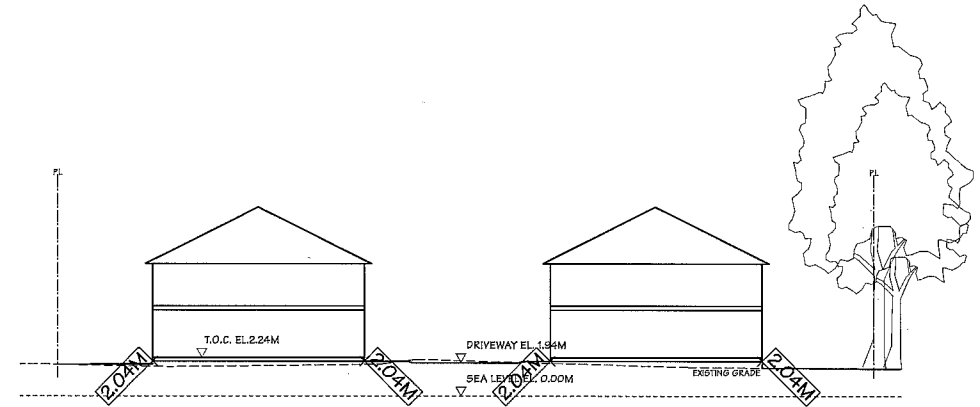
SITE SECTION A



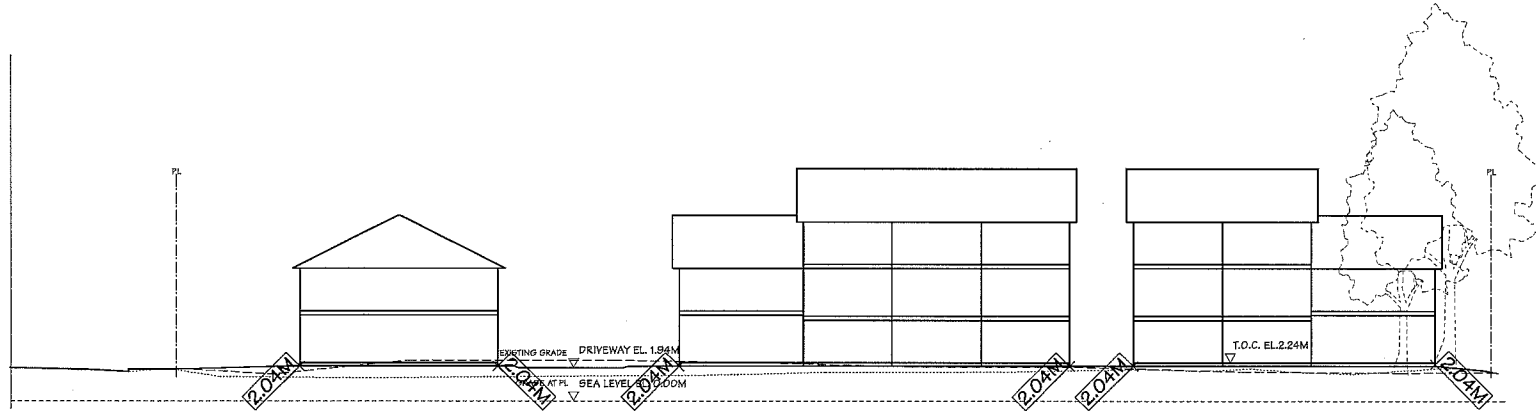
SITE SECTION E



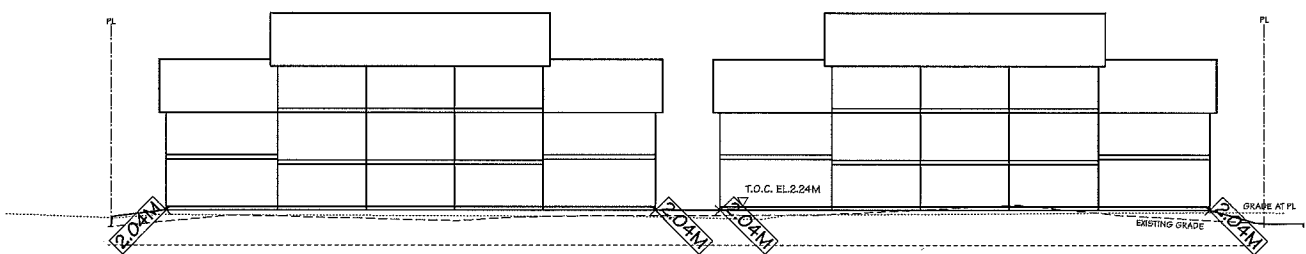
SITE SECTION B



SITE SECTION F



SITE SECTION C



SITE SECTION D

NO.	DATE	REVISIONS
4	MAY 23, 2012	DPF SUBMISSION
5	FEB. 22, 2012	ADP SUBMISSION
2	SEPT. 26, 2011	DP SUBMISSION
1	JUNE 16, 2011	RZ SUBMISSION

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PROJECT
25 UNIT TOWNHOUSE DEVELOPMENT
 9881.8711.8731
 BLUNDELL ROAD, RICHMOND, B.C.

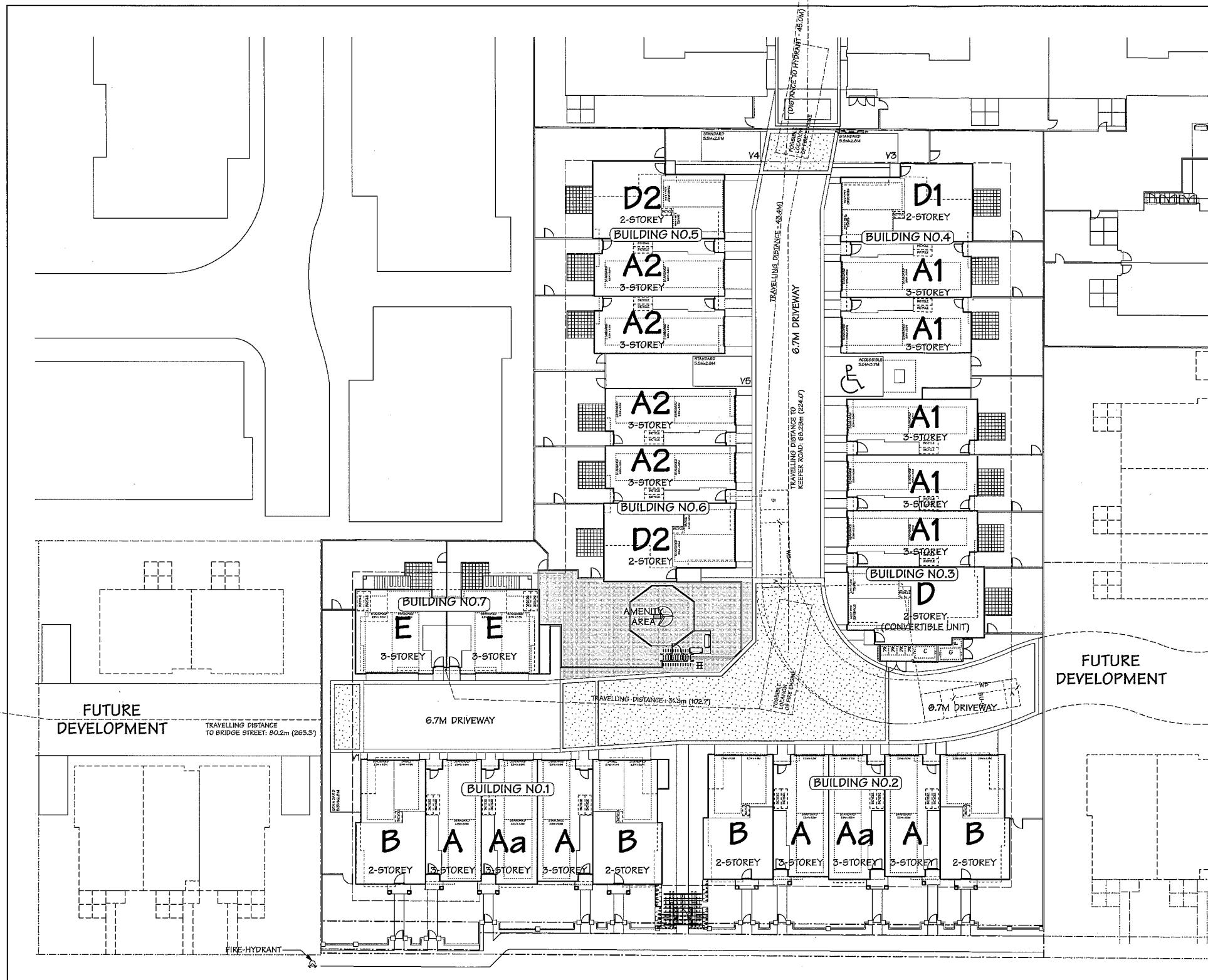
Yamamoto
 Architecture Inc.

2388 oak street, vancouver, b.c.
 V6H 4J1 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE
SITE CROSS SECTIONS

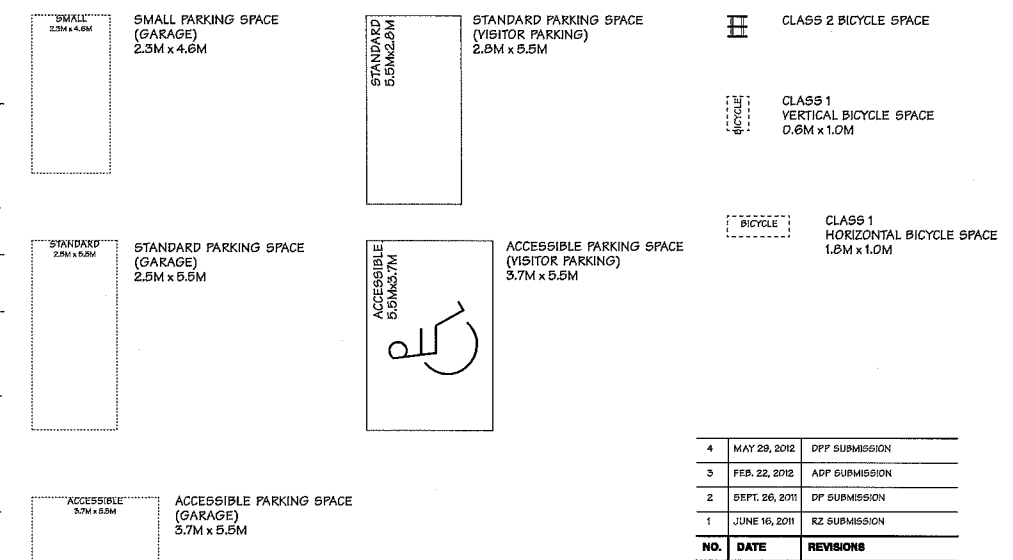
SCALE	SHEET NO.
1/16"=1'0"	A1.2
DATE	
MAY 28, 2012	
DRAWN	
CHECKED	
PROJ. NO.	0724

JUL 17 2012
 DP 11 592270 PLAN #1A



PARKING:

REQUIRED:	1.5 SPACES x 25 UNITS =	38 SPACES (RESIDENTS)
	0.2 SPACES x 25 UNITS =	5 SPACES (VISITORS)
	(2% OF ALL STALLS TO BE ACCESSIBLE =	1 SPACE)
PROVIDED:	2 CAR SIDE-BY-SIDE GARAGE x 10 UNITS =	20 SPACES
	2 CAR TANDEM GARAGE x 15 UNITS =	30 SPACES
	OPEN VISITOR PARKING SPACES =	5 SPACES
	TOTAL	55 SPACES
	ACCESSIBLE STALLS	1 SPACE (INCLUDED IN ABOVE)
	MIN. 70% OF SPACES TO BE STANDARD SIZE PROVIDED - STANDARD SPACES	31 SPACES
		42 SPACES
CLASS 1 BICYCLE PARKING SPACES REQUIRED:	1.25 SPACES x 25 UNITS =	32 SPACES
	PROVIDED =	42 SPACES
CLASS 2 BICYCLE PARKING SPACES REQUIRED:	0.2 SPACES x 25 UNITS =	5 SPACES
	PROVIDED - BICYCLE RACK =	5 SPACES



NO.	DATE	REVISIONS
4	MAY 28, 2012	DPF SUBMISSION
3	FEB. 22, 2012	ADP SUBMISSION
2	SEPT. 26, 2011	DP SUBMISSION
1	JUNE 16, 2011	RZ SUBMISSION

CONSULTANT

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PROJECT
25 UNIT TOWNHOUSE DEVELOPMENT
 9691, 9711, 9731
 BLUNDELL ROAD, RICHMOND, B.C.

Yamamoto Architecture Inc.

2388 oak street, VANCOUVER, B.C.
 V6H 4J1 tel: 604-791-1127 fax: 604-791-1927

DRAWING TITLE
PARKING PLAN

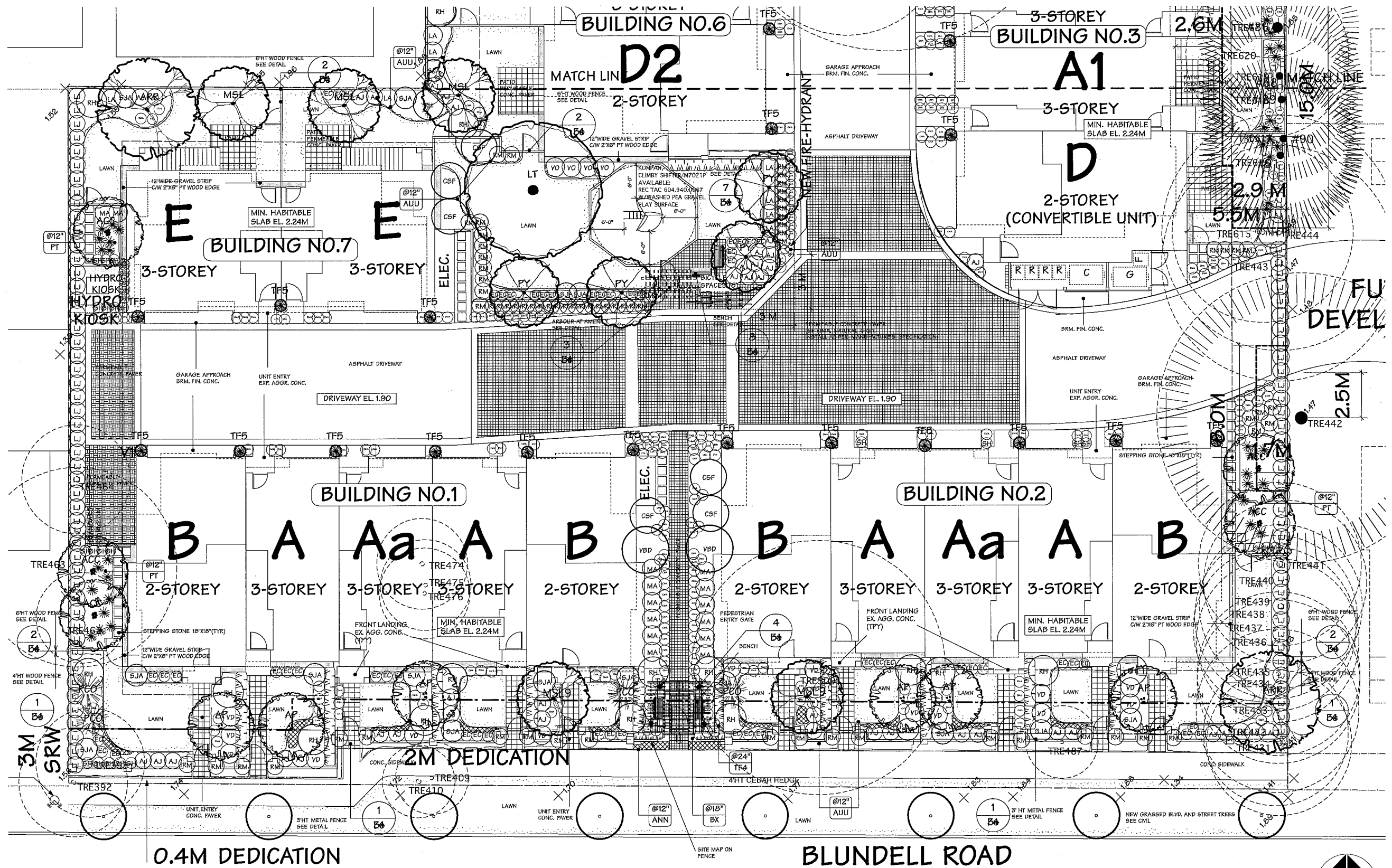
SCALE	1/16" = 1'-0"	SHEET NO.	A2.0
DATE	FEB. 22, 2012	DRAWN	KP
CHECKED		PROJ. NO.	0724

PARKING PLAN
 SCALE: 1/16" = 1'-0"

FIRE-HYDRANT

DP 11 592270 PLAN #2

JUL 17 2012



- May 24, 2012
Initial road modified, planting adjusted
Issued for DP
- May 24, 2012
Rdg & Hardscape modified, Ptg area
adjusted
Issued for DP
- Feb 17, 2012
Rdg & Hardscape modified, Ptg area
adjusted
Issued for DP
- Sept 22, 2011
Rdg & Hardscape modified, Ptg area
adjusted
Issued for DP
- Sept 16, 2011
Issued for DP
- Aug 9, 2011
Hardscape modified,
Ptg area adjusted
Issued for Recording
- June 16, 2011
Rdg & Hardscape modified, Ptg area
adjusted
Issued for Recording
- May 19, 2011
Rdg & Hardscape modified, Ptg area
adjusted
Issued for Recording
- Mar 22, 2011
Issued for DP
- Mar 10, 2011
Issued for Recording

REVISIONS / ISSUES

ITO
 & ASSOCIATES
 Landscape Architects
 1942 E 5th Ave.
 Vancouver, BC V5N 1M2
 T/F: (604) 255 5009
 Email: itovan@mac.com

Project:
**PROPOSED
 20 UNITS
 TOWNHOMES**
 9611, 9711, 9731
 BLUNDELL RD.
 RICHMOND B.C.

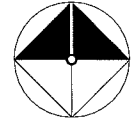
Drawing Title:
**LANDSCAPE
 PLAN**

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Scale: 1/8" = 1'-0"
 Drawn: MI
 Checked: TI
 Date: FEB 17, 2011
 Job: 11L09
 Sheet:

(HIGHEST
 CROWN OF ROAD)

JUL 17 2012 PLAN# 3
 DP 11 592270



- May 24, 2012: Initial road modified, planting adjusted, issued for DP
- May 24, 2012: H2G & Hardscape modified, Pkg area adjusted, issued for DP
- Feb 17, 2012: H2G & Hardscape modified, Pkg area adjusted, issued for DP
- May 22, 2011: H2G & Hardscape modified, Pkg area adjusted, issued for DP
- Sept 16, 2011: issued for DP
- Aug 9, 2011: Hardscape modified, Pkg area adjusted, issued for Rezoning
- June 16, 2011: H2G & Hardscape modified, Pkg area adjusted, issued for Rezoning
- May 19, 2011: H2G & Hardscape modified, Pkg area adjusted, issued for Rezoning
- Mar 22, 2011: issued for BP
- Mar 10, 2011: issued for Rezoning

REVISIONS / ISSUES

ITO
 & ASSOCIATES
 Landscape Architects
 1942 E 5th Ave.
 Vancouver, BC V5N 1M2
 T/F: (604) 255 5009
 Email: itovan@mac.com

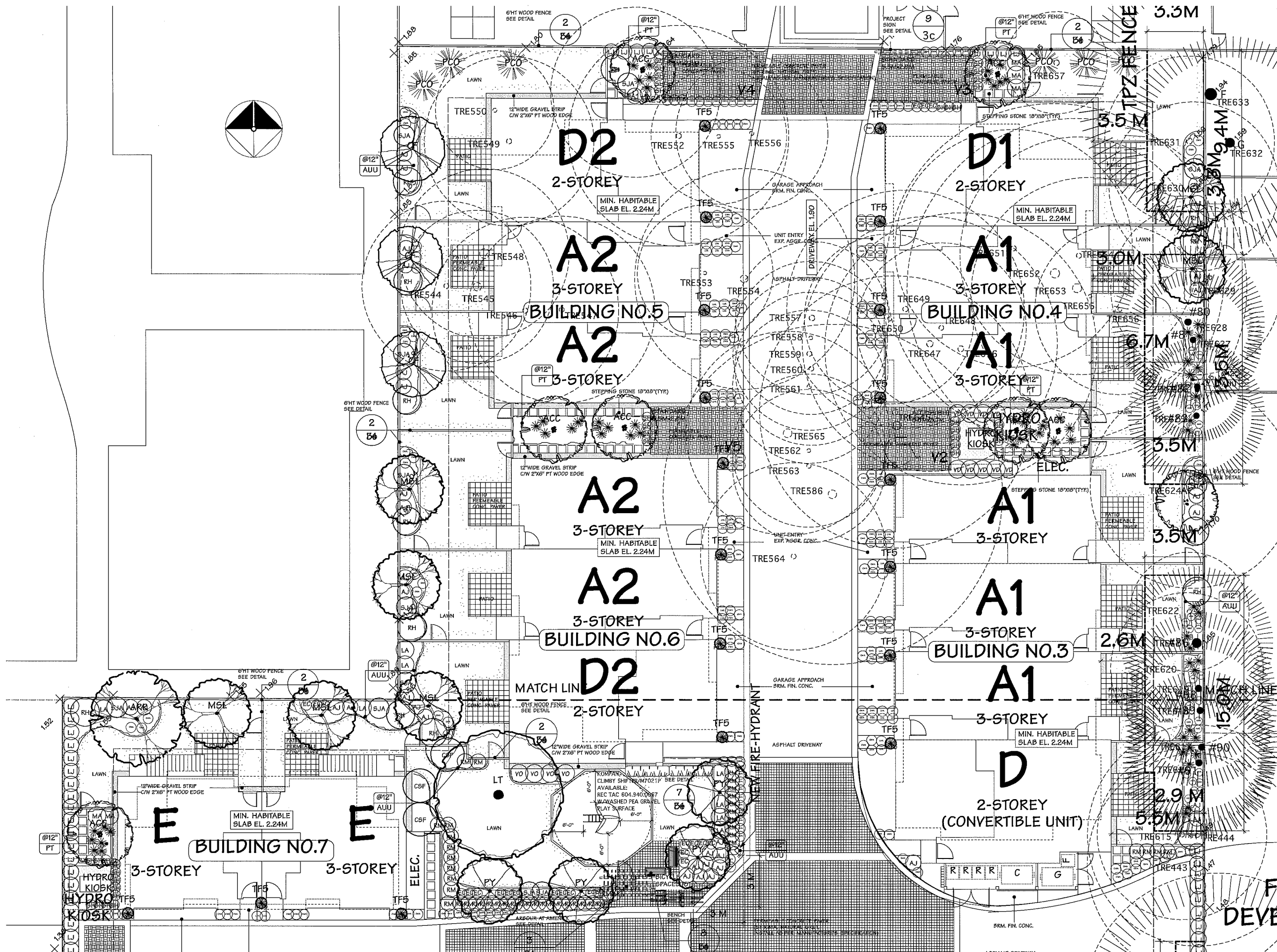
Project:
**PROPOSED
 20 UNITS
 TOWNHOMES**
 9611, 9711, 9731
 BLUNDELL RD.
 RICHMOND B.C.

Drawing Title:
**LANDSCAPE
 PLAN**

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Scale:	1/8" = 1'-0"
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Checked:	TI
Date:	FEB 17, 2011
Issue:	111.03
Sheet:	

FUTURE DEVELOPMENT 3a
 of 4



PLANT LIST

PROJECT ADDRESS 9691,9711,9731 BLUNDELL RD. RICHMOND

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
ACC	11	ACER CIRCINATUM	VINE MAPLE	6cm Cal. B&B 5 STEMS MIN
AP	7	ACER PALMATUM	JAPANESE MAPLE	8.0cm Cal. B&B
ARR	2	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	10.0cm CAL. B&B 1.8m STD.
CF	3	CORNUS FLORIDA 'RUBRA'	PINK DOGWOOD	6.0cm CAL. B&B
LT	1	LIRIODENDRON TULIPIFERA	TULIP TREE	10.0cm CAL. B&B 1.8m STD.
MSL	7	MAGNOLIA SOULANGIANA 'RUSTIC RUBRA'	PURPLE SAUCER MAGNOLIA	8.0cm Cal. B&B
MSL9	2	MAGNOLIA SOULANGIANA 'RUSTIC RUBRA'	PURPLE SAUCER MAGNOLIA	9.0cm Cal. B&B
FCO	10	PICEA OMORIKA	SERBIAN SPRUCE	3.5m HT. B&B
PY	4	PRUNUS YEDOENSIS 'AKEBONO'	DAYBREAK CHERRY	6.0cm CAL. B&B 1.8m STD.
PM	1	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	3.0m HT. B&B
TF4	63	THUJA OCCIDENTALIS 'FASTIGATA'	PYRAMIDAL CEDAR	1.25m HT.
TF6	32	THUJA OCCIDENTALIS 'FASTIGATA'	PYRAMIDAL CEDAR	1.50m HT.

SHRUBS

AJ	58	AZALEA JAPONICA **	JAPANESE AZALEA	#2 POT
BX	12	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#2 POT
CSF	6	COTONEASTER SALICIFOLIUS FLOCCOSUS	WILLOWLEAF COTONEASTER	#3 POT
EC	59	ERICA CARNEA	WINTER HEATHER	#2 POT
LA	11	LEUCOTHOE AXILLARIS	COAST LEUCOTHOE	#2 POT
LJ	95	LIGUSTRIUM JAPONICUM 'TEXANUM'	JAPANESE PRIVET	#3 POT
MA	17	MAHONIA AQUIFOLIUM	OREGON GRAPE	#3 POT
RH	28	RHODODENDRON **	RHODODENDRON	#5 POT
RM	71	ROSA MEIDLAND	MEIDLAND ROSE	#1 POT
SH	52	SARCOCOCCA HUMILIS	HIMALAYAN SARCOCOCCA	#2 POT
SJA	24	SPIRAEA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIRAEA	#2 POT
VO	4	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#2 POT
VD	24	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#2 POT
VBD	2	VIBURNUM X BODNANTENSE 'DAWN'	DAWN VIBURNUM	2.00m HT.

GROUND COVERS

AUU	595	ARCTOSTAPHYLOS UVA URSI	KINKIKINICK	#5P3 POT
PT	335	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#5P3 POT

VINES

CA	4	CLEMATIS ARMANDII	EVERGREEN CLEMATIS	#1 POT STAKED
----	---	-------------------	--------------------	---------------

PERENNIALS/ANNUALS/FERNS/GRASSES/AQUATIC PLANTS

AAA	13	ASTILBE X ARENDSII 'AMETHYST'	MEADOW SWEET	#1 POT
BLS	86	BLECHNUM SPICANT	DEER FERN	#1 POT
CMA	320	CAREX MORROWII 'AUCEO-VARIEGATA'	CAREX	#1 POT
HFA	6	HOSTA FORTUNEI 'AUCEO-MARGINATA'	PLANTAIN LILY	#1 POT
HSE	13	HOSTA SIEBOLDIANA 'ELEGANS'	PLANTAIN LILY	#1 POT
LVA	84	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	#1 POT
ANN	210	ANNUALS **		#5P3 POT

NOTES

** DENOTES SPECIES AND VARIETY TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL MATERIALS AND EXECUTION SHALL BE IN ACCORDANCE TO THE MOST RECENT BRITISH COLUMBIA LANDSCAPE STANDARDS.

PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CNTA STANDARDS FOR NURSERY STOCK AND THE BCNA STANDARDS FOR CONTAINER GROWN PLANTS.

ALL PLANT QUANTITY DISCREPANCIES BETWEEN PLAN AND PLANT LIST SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING BIDS.

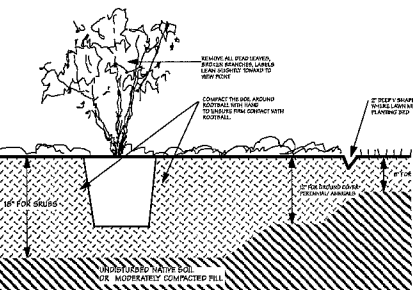
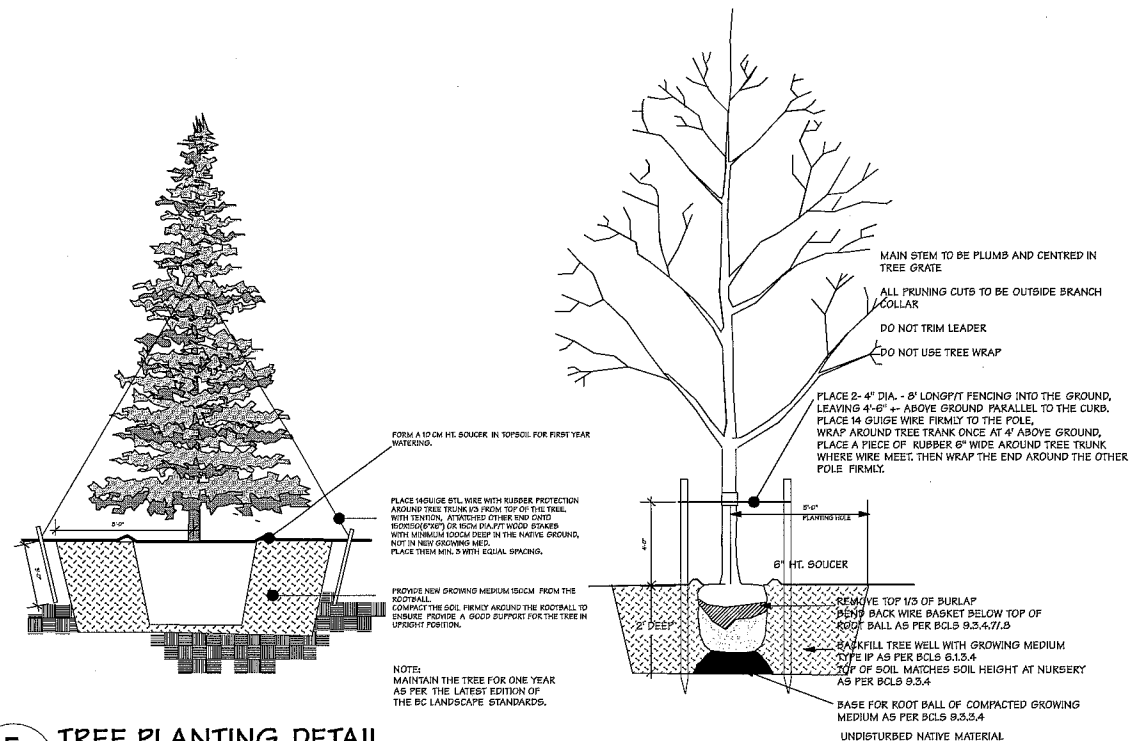
ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER THE DATE OF SUBSTANTIAL PERFORMANCE. SUBSTANTIAL PERFORMANCE SHALL OCCUR WHEN 95% OF THE CONTRACT HAS BEEN COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

THE CONTRACTOR SHALL MAINTAIN ACCORDANCE TO THE LANDSCAPE STANDARDS UNTIL THE WORK IS TURNED OVER TO THE OWNER.

REPLACEMENT TREE RATIONAL

9691,9611,9731BLUNDELL RD. RICHMOND

SIZE OF EXISTING TREES	QTY OF EXISTING TREES	TREES TO BE RETAINED	QTY OF REMOVED TREES	SIZE OF REPLACEMENT TREES	REQUIRED QTY OF REPLACEMENT TREES	PROPOSED TREES	BALANCE
Ø20-30CM	35	0	32	Ø6CM CAL./3.5m HT.	64	28(D-18/C-10)	-36
Ø30-40CM	24	0	19	Ø8CM CAL./4.0m HT.	38	14	-24
Ø40-50CM	8	0	8	Ø9CM CAL./5.0m HT.	16	2	-14
Ø50-60CM	4	0	3	Ø10CM CAL./5.5m HT.	6	3	-3
Ø7	2	0	2		4	0	-4



May 24, 2012
Internal road modified, planting adjusted
Issued for DP

May 24, 2012
Big & Hardscapes modified, Ptg area adjusted
Issued for DP

Feb 17, 2012
Big & Hardscapes modified, Ptg area adjusted
Issued for DP

Sept 22, 2011
Big & Hardscapes modified, Ptg area adjusted
Issued for DP

Sept 16, 2011:
Issued for DP

Aug 9, 2011
Hardscapes modified.
Ptg area adjusted
Issued for Re-zoning

June 16, 2011
Big & Hardscapes modified, Ptg area adjusted
Issued for Re-zoning

May 19, 2011
Big & Hardscapes modified, Ptg area adjusted
Issued for Re-zoning

Mar 22, 2011:
Issued for BP

Mar 10, 2011:
Issued for Re-zoning

REVISIONS / ISSUES



& ASSOCIATES
Landscape Architects
1942 E 5th Ave.
Vancouver, BC V5N 1M2
T/F: (604) 255 5009
Email: itovan@mac.com

Project:

**PROPOSED
20 UNITS
TOWNHOMES**

9611, 9711, 9731
BLUNDELL RD.
RICHMOND B.C.

Drawing Title:

PLANT LIST

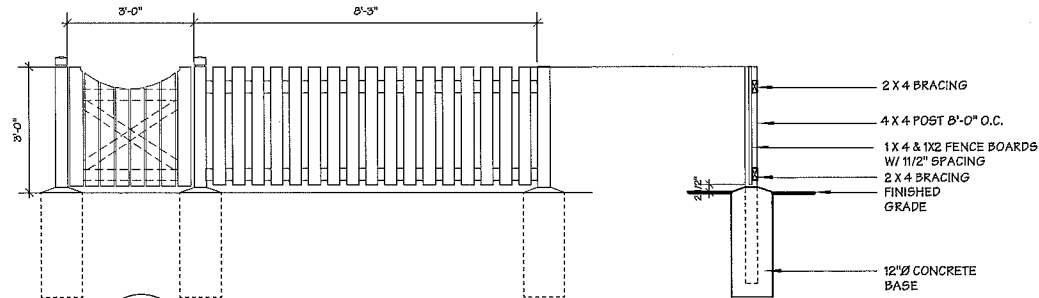
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Drawn: MI
Checked: TI
Date: FEB 17, 2011
Job: 11LD3
Sheet:

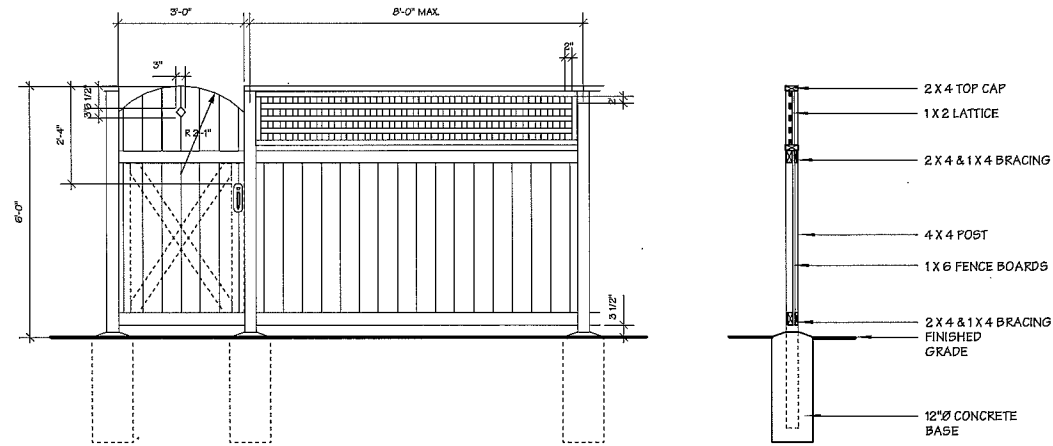
3b of 4

JUL 17 2012 PLAN #3B
DP 11 592270

GATE:
 1M4 WITH 5/8" SPACING ON
 2M4 (TOP) & 2M4 (BTM)
 1-M4 DIAGONAL BRACING
 2 HINGE & 1 LATCH

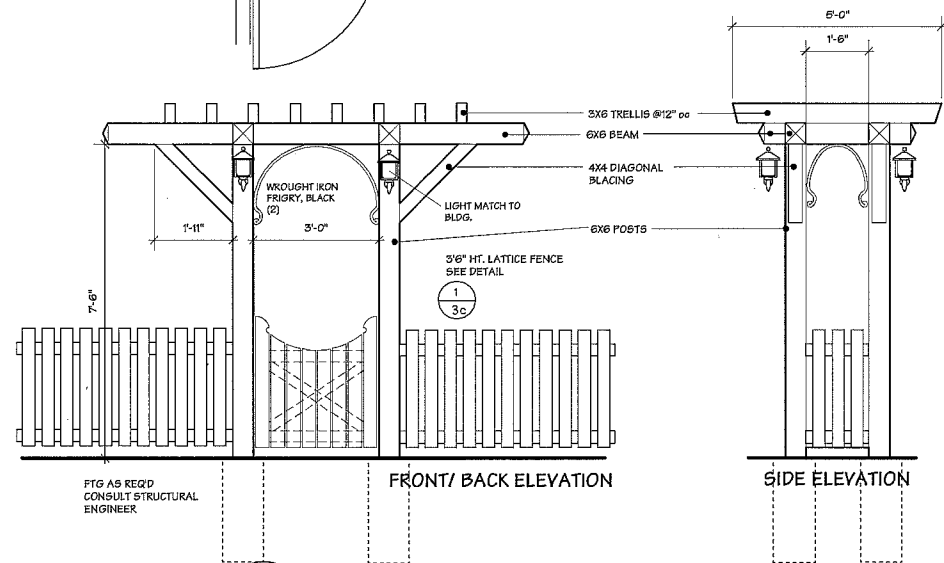
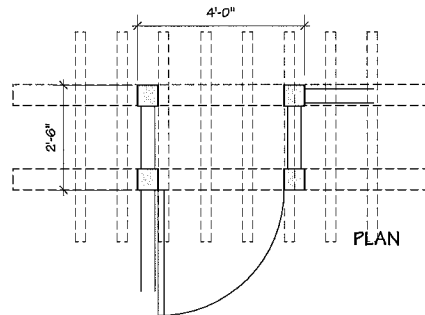


1
3c
3' HT WOOD FENCE
 SCALE: 1/2" = 1'-0"

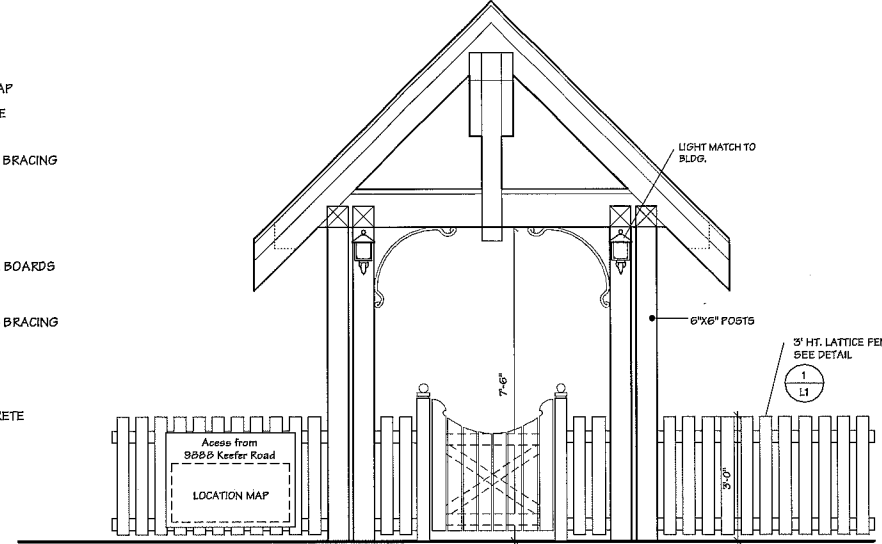
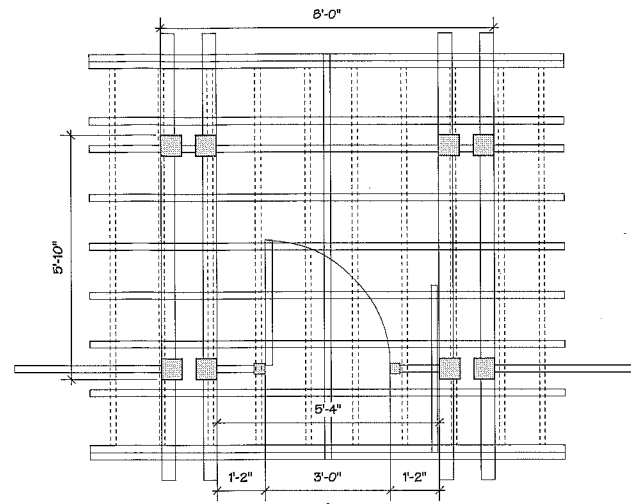


2
3c
6' HT WOOD FENCE
 SCALE: 1/2" = 1'-0"

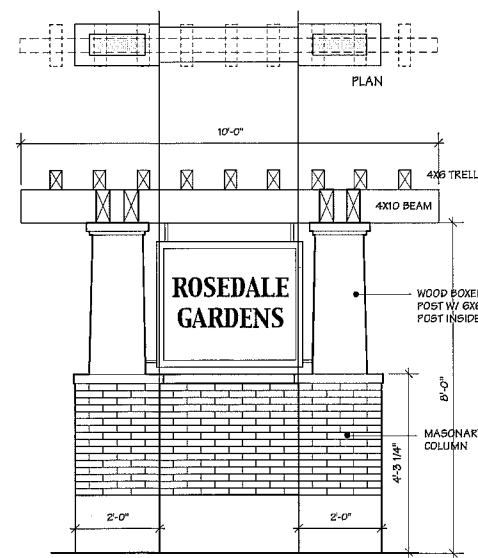
NOTE:
 ALL WOOD USED FOR DETAILS IN THIS DRAWING SET SHALL BE S.A.S. PRESSURE TREATED HEMLOCK, DOUG. FIR OR CEDAR STAINED WITH 2 COATS SOLID STAIN WITH COLOURS TO BE DETERMINED AT A LATER DATE.
 SUPPLY DECORATIVE METAL LATCH ASSEMBLIES FOR ALL GATES WHERE APPLICABLE.
 ALL NAILS AND OTHER METAL COMPONENTS SHALL BE GALVANIZED.



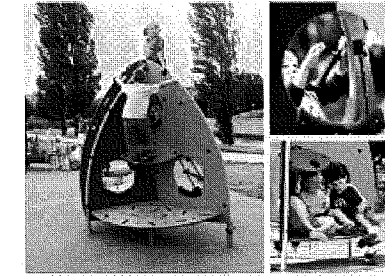
3
3c
ARBOUR AT AMENITY
 SCALE: 1/2" = 1'-0"



4
3c
ARBOUR AT PEDESTRIAN ENTRANCE
 SCALE: 1/2" = 1'-0"



5
3c
PROJECT SIGN
 SCALE: 1/2" = 1'-0"



KOMPAN,
 CLIMBY SHIFTER/M7021P
 AVAILABLE: REC TAC 604.940.0067
 W/WASHED PEA GRAVEL PLAY SURFACE

6
3c
KOMPAN/CLIMBY SHIFTER M7021P
 SCALE: NTS



7
3c
BENCH/ SARITA 4'
 SCALE: NTS

May 24, 2012
 Internal road modified, planting adjusted
 Issued for DP
 May 24, 2012
 B&G & Hardscape modified, Ptg area
 adjusted
 Issued for DP
 Feb 17, 2012
 B&G & Hardscape modified, Ptg area
 adjusted
 Issued for DP
 Sept 22, 2011
 B&G & Hardscape modified, Ptg area
 adjusted
 Issued for DP
 Sept 18, 2011:
 Issued for DP
 Aug 9, 2011
 Hardscape modified,
 Ptg area adjusted
 Issued for Revising
 June 16, 2011
 B&G & Hardscape modified, Ptg area
 adjusted
 Issued for Revising
 May 19, 2011
 B&G & Hardscape modified, Ptg area
 adjusted
 Issued for Revising
 Mar 22, 2011:
 Issued for BP
 Mar 10, 2011:
 Issued for Revising

REVISIONS / ISSUES



ITO
 & ASSOCIATES
 Landscape Architects
 1942 E 5th Ave,
 Vancouver, BC V5N 1M2
 T/F: (604) 255 5009
 Email: itovan@mac.com

Project:

PROPOSED
 20 UNITS
 TOWNHOMES

9611, 9711, 9731
 BLUNDELL RD.
 RICHMOND B.C.

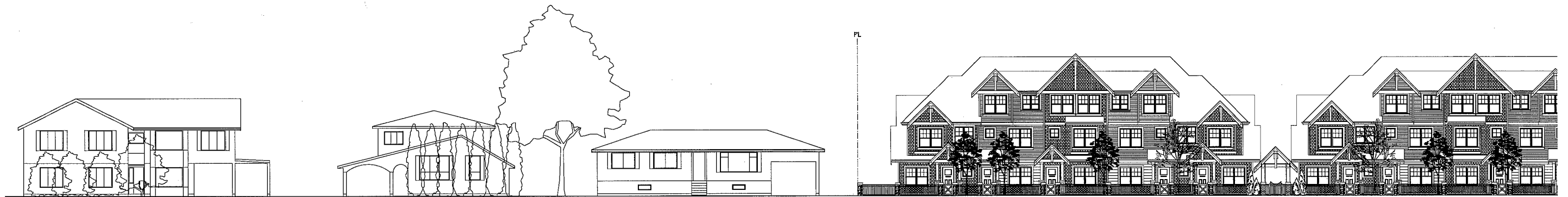
Drawing Title:

LANDSCAPE
 DETAILS

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Scale: 1/8" = 1'-0"
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 Checked: TI
 Date: FEB 17, 2011
 Job: 11103
 Sheet:

JUL 17 2012
 PLAN # 3c
 DP 11 592270



SOUTH ELEVATION - BLUNDELL ROAD

4	MAY 28, 2012	DPP SUBMISSION
3	FEB. 22, 2012	ADP SUBMISSION
2	SEPT. 28, 2011	DP SUBMISSION
1	JUNE 16, 2011	RZ SUBMISSION
NO.	DATE	REVISIONS

CONSULTANT

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PROJECT

**25 UNIT TOWNHOUSE
DEVELOPMENT**

9801, 9711, 9731
BLUNDELL ROAD, RICHMOND

Yamamoto
Architecture Inc.



SOUTH ELEVATION - BLUNDELL ROAD

2388 east street, vancouver, b.c.
V6H 4J1 tel: 604-731-1227 fax: 604-731-1227

DRAWING TITLE

STREETSCAPE

JUL 17 2012

DP 11 592270

PLAN #4

SCALE	1/8" = 1'-0"	SHEET NO.	A4.0
DATE	JULY 18, 2012	DRAWN	NP
CHECKED		PROJ. NO.	8724

ROOF RIDGE
EL. VARIES TO MAX. 13.45M (44.127')

1/5 OF ROOF TRUSSES
EL. +10.32M (33.859')

THIRD FLOOR
EL. +7.69M (25.237')

SECOND FLOOR
EL. +4.85 (15.912')

GROUND FLOOR
EL. +2.24M (7.349')

FINISHED SITE GRADE
EL. +1.94M (6.364')

MAX. BLDG. HT.

ROOF RIDGE
EL. VARIES TO MAX. 13.45M (44.127')

1/5 OF ROOF TRUSSES
EL. +10.32M (33.859')

THIRD FLOOR
EL. +7.69M (25.237')

SECOND FLOOR
EL. +4.85 (15.912')

GROUND FLOOR
EL. +2.24M (7.349')

FINISHED SITE GRADE
EL. +1.94M (6.364')

ROOF RIDGE
EL. VARIES TO MAX. 13.45M (44.127')

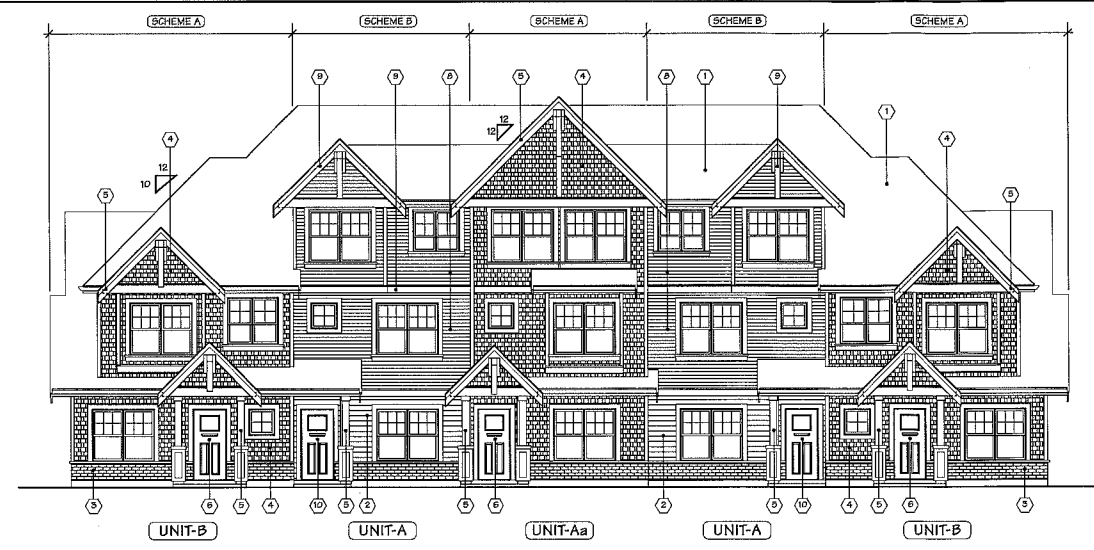
1/5 OF ROOF TRUSSES
EL. +10.32M (33.859')

THIRD FLOOR
EL. +7.69M (25.237')

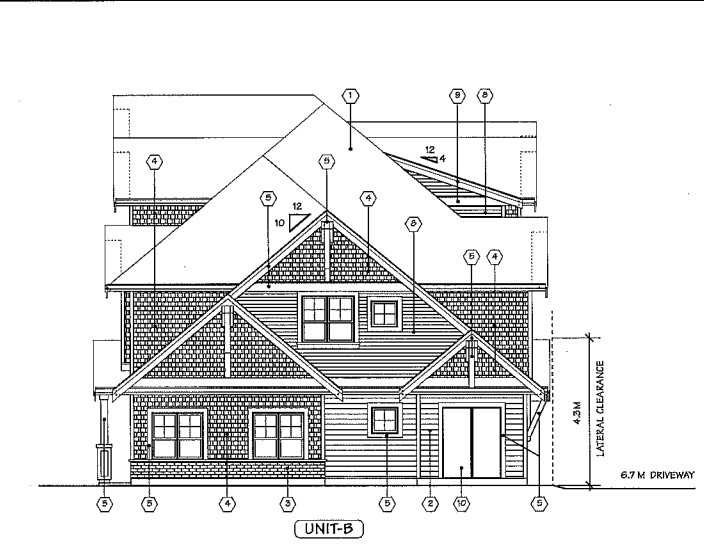
SECOND FLOOR
EL. +4.85 (15.912')

GROUND FLOOR
EL. +2.24M (7.349')

FINISHED SITE GRADE
EL. +1.94M (6.364')



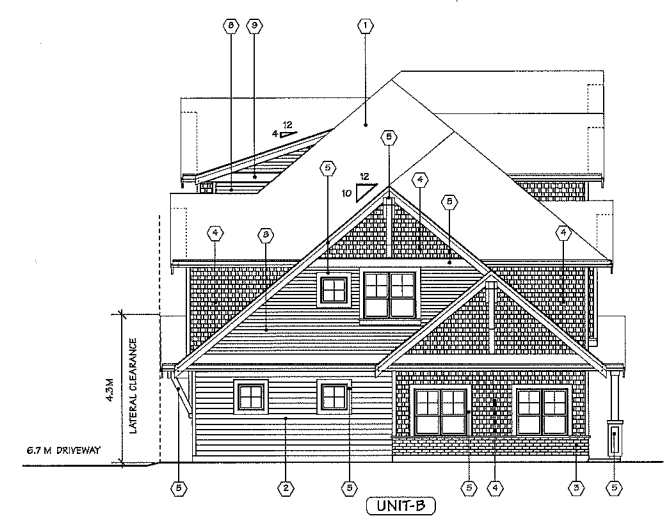
BUILDING NO. 1 & 2 (REV.)
SOUTH ELEVATION (BLUNDELL ROAD)



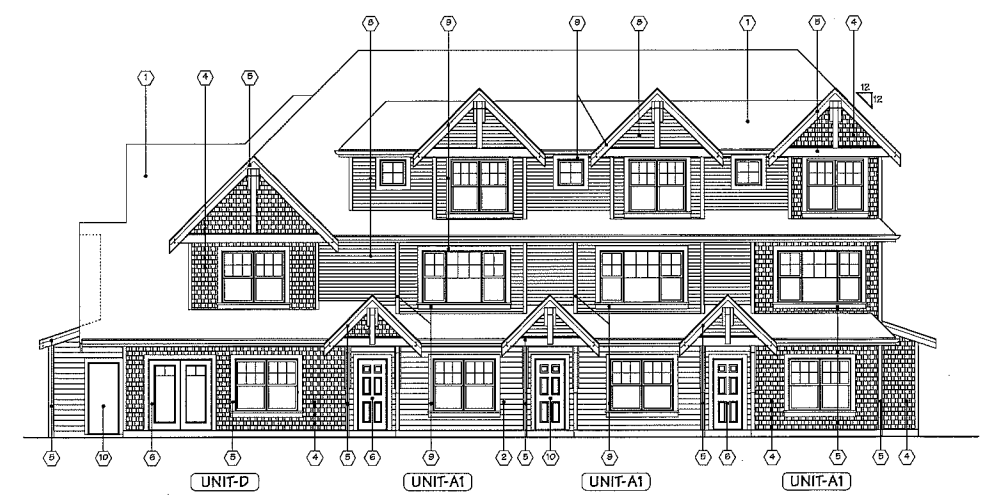
BUILDING NO. 1
EAST ELEVATION



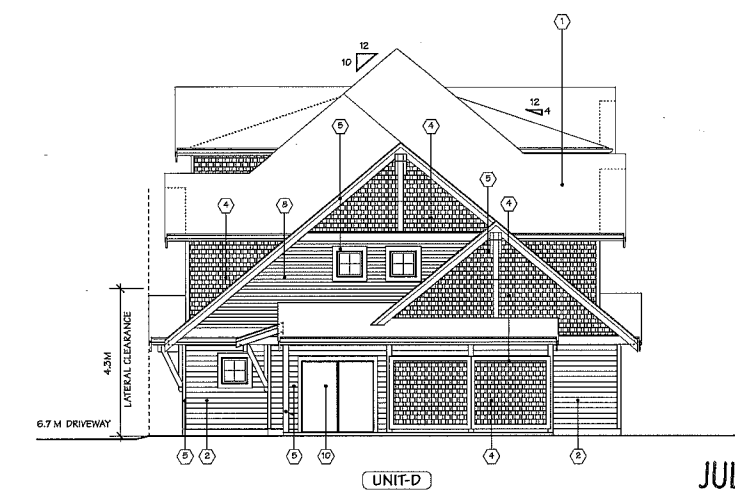
BUILDING NO. 1 & 2 (REV.)
NORTH ELEVATION



BUILDING NO. 1 & 2 (REV.)
WEST ELEVATION
EAST ELEVATION



BUILDING NO. 3
EAST ELEVATION



BUILDING NO. 3
SOUTH ELEVATION

ELEVATION KEY (MATERIALS):

COMMON:

- ① ASPHALT SHINGLE ROOF
- ② 6" HARDIE-PLANK SIDING: PAINTED - BM HC-105 "ROCKPORT GRAY"
- ③ BRICK BASE: INTERSTATE BRICK "MIDNIGHT BLACK MATTE"

SCHEME A:

- ④ 3" PROFILE HARDIE-SHAKE: PAINTED - BM 2112-30 "STONE BROWN"
- ⑤ WOOD FASCIA, DOOR/WINDOW TRIM, BRACKET & POST: PAINTED - BM 2102-10 "BLACK BEAN SOUP"
- ⑥ ALUM. ENTRY DOOR 1: PAINTED - BM 2125-10 "BLACK BEAUTY"
- ⑦ ALUM. GARAGE DOOR 1: PAINTED - BM HC-105 "ROCKPORT GRAY"

SCHEME B:

- ⑧ 4" HORIZONTAL VINYL SIDING: KAYCAN "PRESTIGE BEIGE"
- ⑨ WOOD FASCIA, DOOR/WINDOW TRIM, BRACKET & POST: PAINTED - BM HC-65 "STONE BROWN"
- ⑩ ALUM. ENTRY DOOR 2: PAINTED - BM HC-65 "HODLEY RED"
- ⑪ ALUM. GARAGE DOOR 2: PAINTED - BM DC-28 "COLLINGWOOD"

NO.	DATE	REVISIONS
4	MAY 28, 2012	DPF SUBMISSION
3	FEB. 22, 2012	ADP SUBMISSION
2	SEPT. 26, 2011	DP SUBMISSION
1	JUNE 16, 2011	RZ SUBMISSION

CONSULTANT

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PROJECT
**25 UNIT TOWNHOUSE
DEVELOPMENT**

9801, 0711, 0791
BLUNDELL ROAD, RICHMOND

Yamamoto
Architecture Inc.

2500 east street, vancouver, b.c.
V6H 4T1 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE
ELEVATIONS

SCALE 1/8" = 1'-0"	SHEET NO. A4.1
DATE JULY 18, 2012	DRAWN KP
CHECKED	PROJ. NO. 8724

JUL 17 2012
PLAN #4a

DP 11 592270

ROOF RIDGE
EL. VARIES TO MAX 13.45M (44.127')

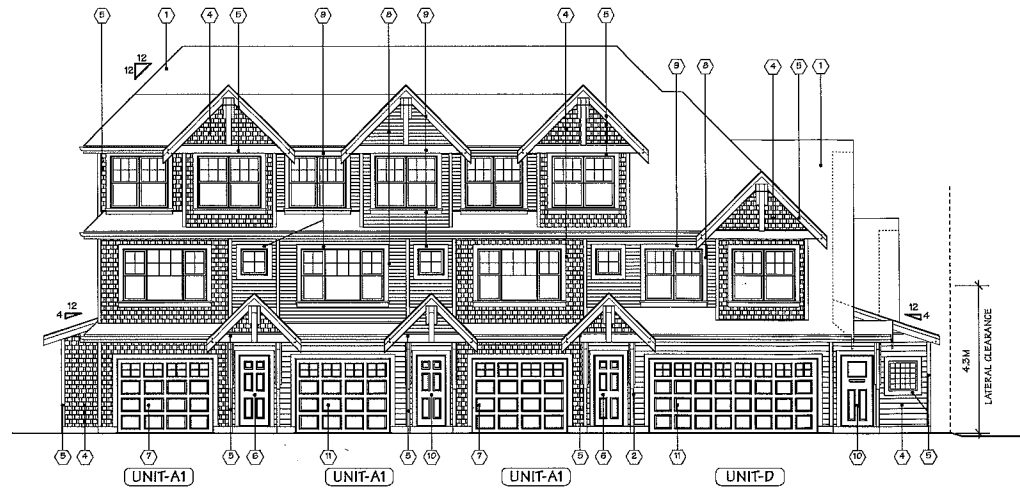
U/S OF ROOF TRUSSES
EL. +10.32M (33.859')

THIRD FLOOR
EL. +7.86M (25.787')

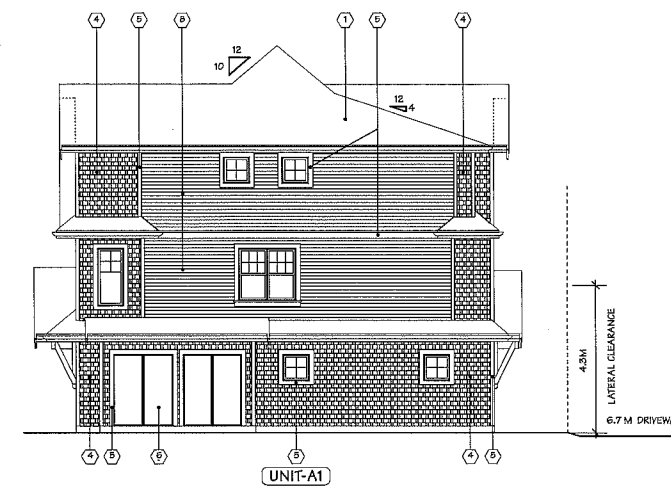
SECOND FLOOR
EL. +4.89 (15.912')

GROUND FLOOR
EL. +2.24M (7.349')

FINISHED SITE GRADE
EL. +1.94M (6.364')



BUILDING NO. 3
WEST ELEVATION



BUILDING NO. 3
NORTH ELEVATION

ELEVATION KEY (MATERIALS):

COMMON:

- ① ASPHALT SHINGLE ROOF
- ② 6" HARDIE-PLANK SIDING: PAINTED - BM HC-105 "ROCKFORD GRAY"
- ③ BRICK BASE: INTERSTATE BRICK "MIDNIGHT BLACK MATTE"

SCHEME A:

- ④ 6" PROFILE HARDIE-SHAKE: PAINTED - BM 212-30 "STONE BROWN"
- ⑤ WOOD FASCIA, DOOR/WINDOW TRIM, BRACKET & POST: PAINTED - BM 2130-10 "BLACK BEAN SOUP"
- ⑥ ALUM. ENTRY DOOR 1: PAINTED - BM 2128-10 "BLACK BEAUTY"
- ⑦ ALUM. GARAGE DOOR 1: PAINTED - BM HC-105 "ROCKFORD GRAY"

SCHEME B:

- ⑧ 4" HORIZONTAL VINYL SIDING: KAYCAN "PRESTIGE BEIGE"
- ⑨ WOOD FASCIA, DOOR/WINDOW TRIM, BRACKET & POST: PAINTED - BM 212-30 "STONE BROWN"
- ⑩ ALUM. ENTRY DOOR 2: PAINTED - BM HC-65 "HODLEY RED"
- ⑪ ALUM. GARAGE DOOR 2: PAINTED - BM OC-28 "COLLINGWOOD"

ROOF RIDGE
EL. VARIES TO MAX 13.45M (44.127')

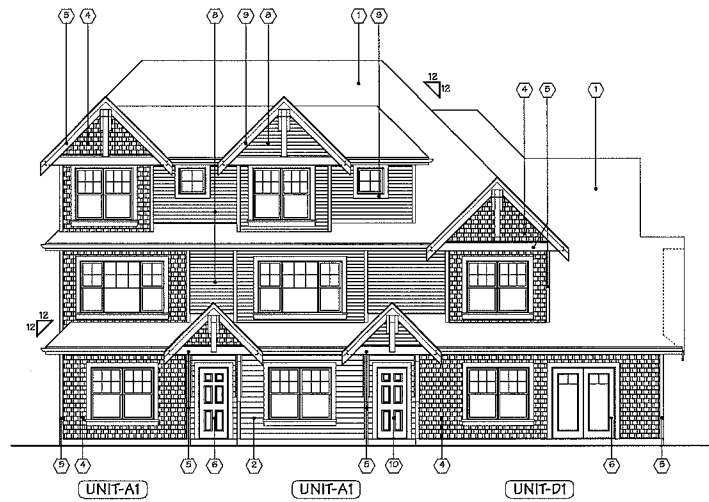
U/S OF ROOF TRUSSES
EL. +10.32M (33.859')

THIRD FLOOR
EL. +7.86M (25.787')

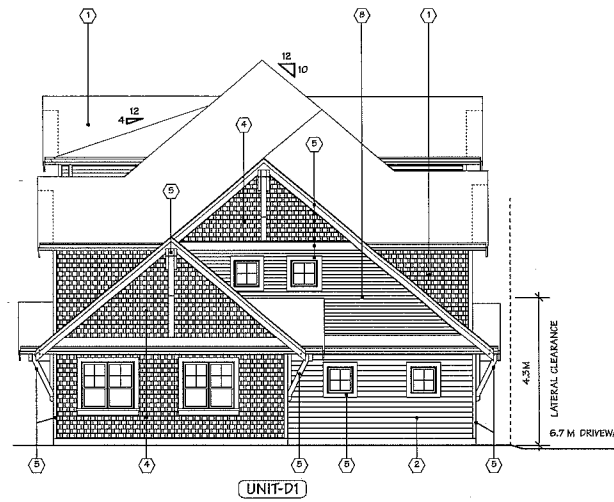
SECOND FLOOR
EL. +4.89 (15.912')

GROUND FLOOR
EL. +2.24M (7.349')

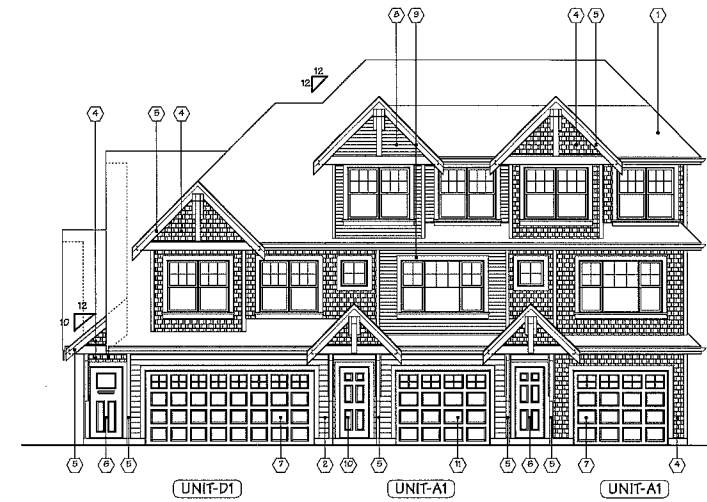
FINISHED SITE GRADE
EL. +1.94M (6.364')



BUILDING NO. 4
EAST ELEVATION



BUILDING NO. 4
NORTH ELEVATION



BUILDING NO. 4
WEST ELEVATION

NO.	DATE	REVISIONS
4	MAY 23, 2012	DPP SUBMISSION
3	FEB. 22, 2012	ADP SUBMISSION
2	SEPT. 26, 2011	DP SUBMISSION
1	JUNE 16, 2011	RZ SUBMISSION

CONSULTANT

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PROJECT
25 UNIT TOWNHOUSE
DEVELOPMENT

9881, 8711, 8791
BLUNDELL ROAD, RICHMOND

Yamamoto
Architecture Inc.

2386 oak street, van., b.c.
VAN A1 | tel: 604-731-1127 fax: 604-731-1127

DRAWING TITLE
ELEVATIONS

SCALE	1/8" = 1'-0"	SHEET NO.
DATE	MAY 28, 2012	A4.2
DRAWN	KP	
CHECKED		PROJ. NO. 8724

ROOF RIDGE
EL. VARIES TO MAX 13.45M (44.127')

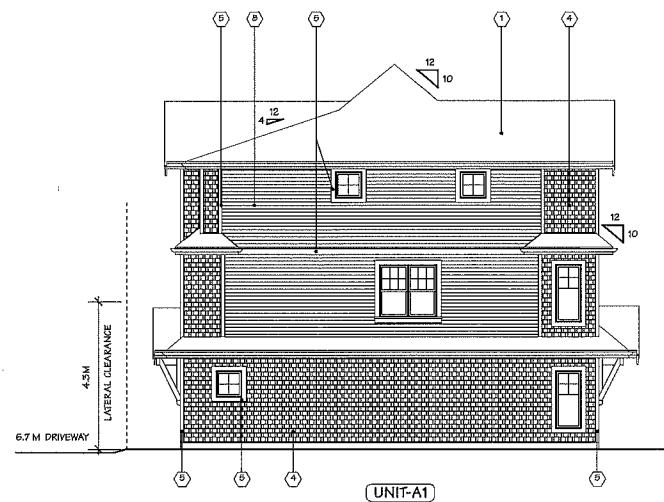
U/S OF ROOF TRUSSES
EL. +10.32M (33.859')

THIRD FLOOR
EL. +7.86M (25.787')

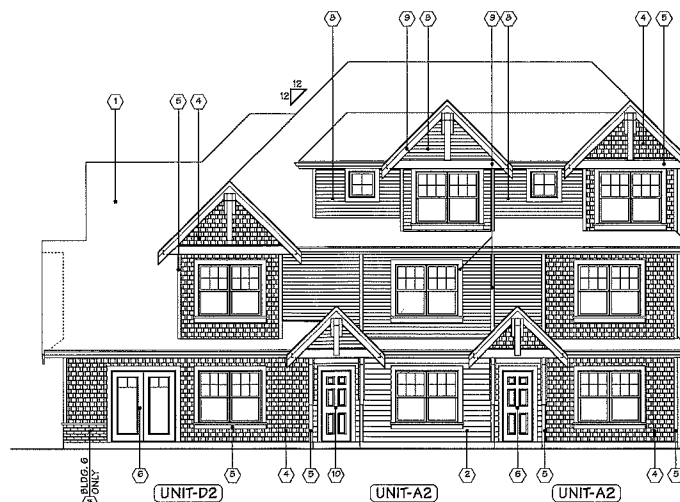
SECOND FLOOR
EL. +4.89 (15.912')

GROUND FLOOR
EL. +2.24M (7.349')

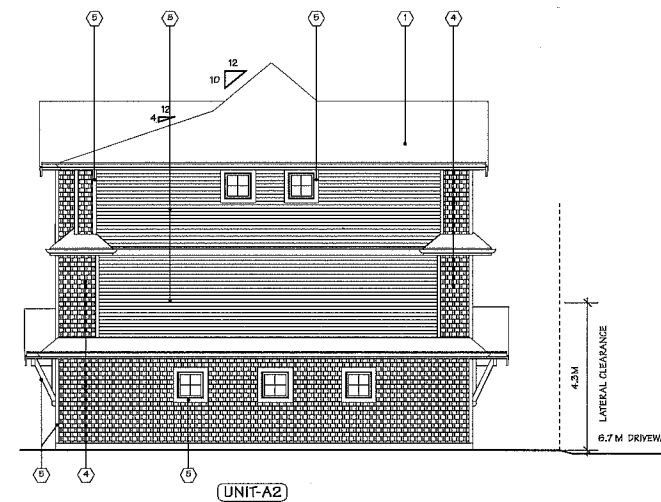
FINISHED SITE GRADE
EL. +1.94M (6.364')



BUILDING NO. 4
SOUTH ELEVATION



BUILDING NO. 5 & 6 (REV.)
WEST ELEVATION



BUILDING NO. 5 & 6 (REV.)
SOUTH ELEVATION

JUL 17 2012
PLAN #4b

DP 11 592270

ROOF RIDGE
EL. VARIES TO MAX. 13.45M (44.127')

1/3 OF ROOF TRUSSES
EL. +10.32M (33.859')

THIRD FLOOR
EL. +7.86M (25.787')

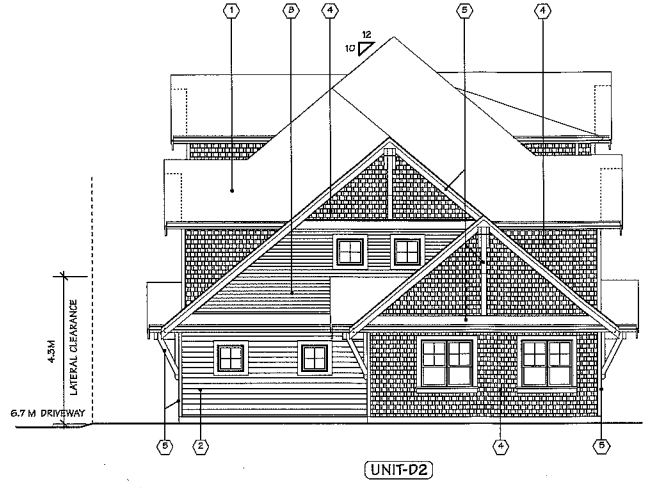
SECOND FLOOR
EL. +4.85 (15.912')

GROUND FLOOR
EL. +2.24M (7.349')

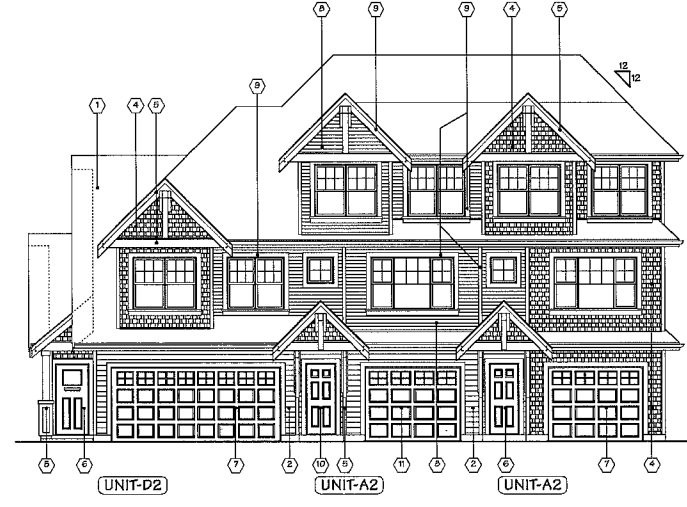
FINISHED SITE GRADE
EL. +1.94M (6.364')



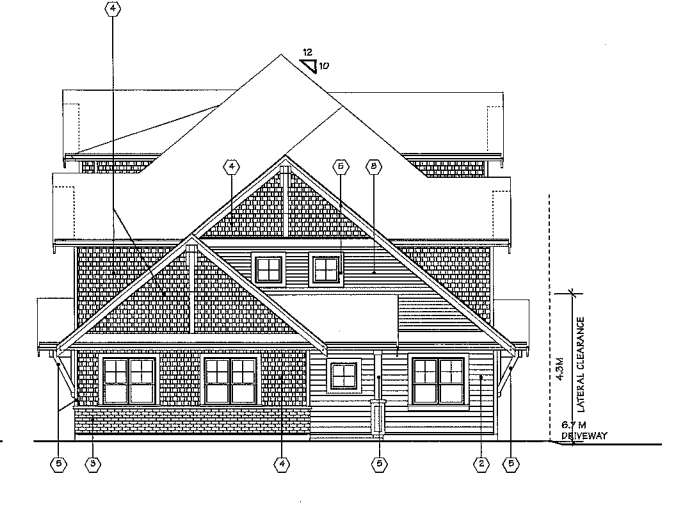
BUILDING NO. 5
EAST ELEVATION



BUILDING NO. 5
NORTH ELEVATION



BUILDING NO. 6
EAST ELEVATION



BUILDING NO. 6
SOUTH ELEVATION

SCHEME B

ROOF RIDGE
EL. VARIES TO MAX. 13.45M (44.127')

1/3 OF ROOF TRUSSES
EL. +10.32M (33.859')

THIRD FLOOR
EL. +7.86M (25.787')

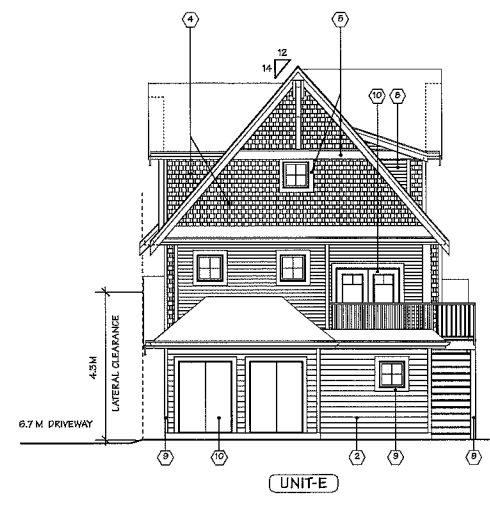
SECOND FLOOR
EL. +4.85 (15.912')

GROUND FLOOR
EL. +2.24M (7.349')

FINISHED SITE GRADE
EL. +1.94M (6.364')



BUILDING NO. 7
NORTH ELEVATION



BUILDING NO. 7
EAST ELEVATION

ROOF RIDGE
EL. VARIES TO MAX. 13.45M (44.127')

1/3 OF ROOF TRUSSES
EL. +10.32M (33.859')

THIRD FLOOR
EL. +7.86M (25.787')

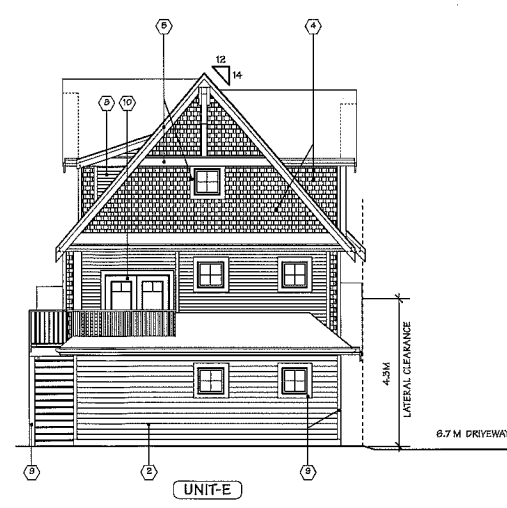
SECOND FLOOR
EL. +4.85 (15.912')

GROUND FLOOR
EL. +2.24M (7.349')

FINISHED SITE GRADE
EL. +1.94M (6.364')



BUILDING NO. 7
SOUTH ELEVATION



BUILDING NO. 7
WEST ELEVATION

NO.	DATE	REVISIONS
4	MAY 29, 2012	DPP SUBMISSION
3	FEB. 22, 2012	ADP SUBMISSION
2	SEPT. 26, 2011	DP SUBMISSION
1	JUNE 16, 2011	KZ SUBMISSION

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PROJECT
25 UNIT TOWNHOUSE
DEVELOPMENT

9881, 8711, 8731
BLUNDELL ROAD, RICHMOND

Yamamoto
Architecture Inc.

2388 oak street, van., b.c.
V6K 4J1 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE
ELEVATIONS

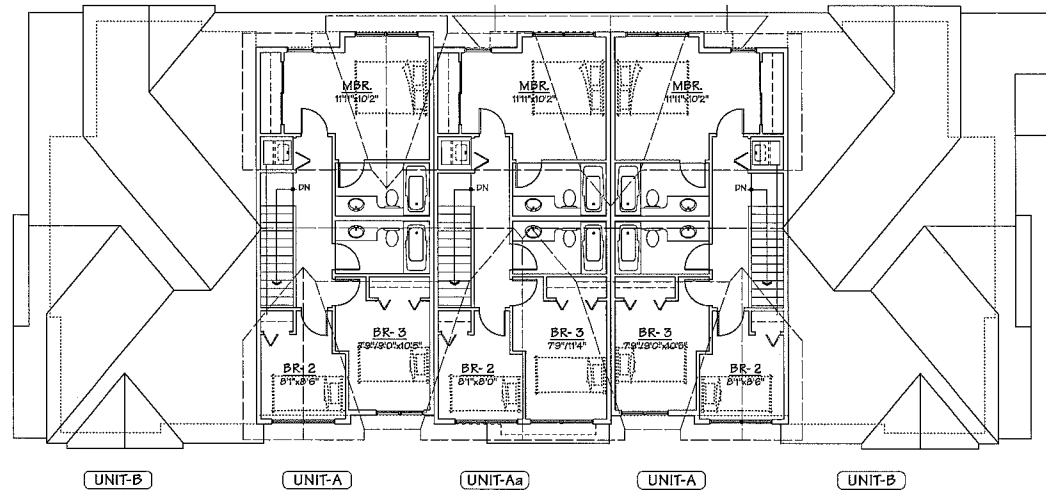
SCALE	SHEET NO.
1/8" = 1'-0"	A4.3
DATE	PROJ. NO.
MAY 29, 2012	8724
DRAWN	
KP	
CHECKED	

ELEVATION KEY (MATERIALS):	
COMMON:	
①	ASPHALT SHINGLE ROOF
②	6" HARDIE-PLANK SIDING: PAINTED - BM HC-105 "ROCKPORT GRAY"
③	BRICK BASE: INTERSTATE BRICK "MIDNIGHT BLACK MATTE"
SCHEME A:	
④	5" PROFILE HARDIE-SHAKE: PAINTED - BM 2112-30 "STONE BROWN"
⑤	WOOD FASCIA, DOOR/WINDOW TRIM, BRACKET & POST: PAINTED - BM 2130-10 "BLACK BEAN SOUP"
⑥	ALUM. ENTRY DOOR 1: PAINTED - BM 2128-10 "BLACK BEAUTY"
⑦	ALUM. GARAGE DOOR 1: PAINTED - BM HC-105 "ROCKPORT GRAY"
SCHEME B:	
⑧	4" HORIZONTAL VINYL SIDING: KAYCAN "PRESTIGE BEIGE"
⑨	WOOD FASCIA, DOOR/WINDOW TRIM, BRACKET & POST: PAINTED - BM 2112-30 "STONE BROWN"
⑩	ALUM. ENTRY DOOR 2: PAINTED - BM HC-65 "HODLEY RED"
⑪	ALUM. GARAGE DOOR 2: PAINTED - BM DC-25 "COLLINGWOOD"

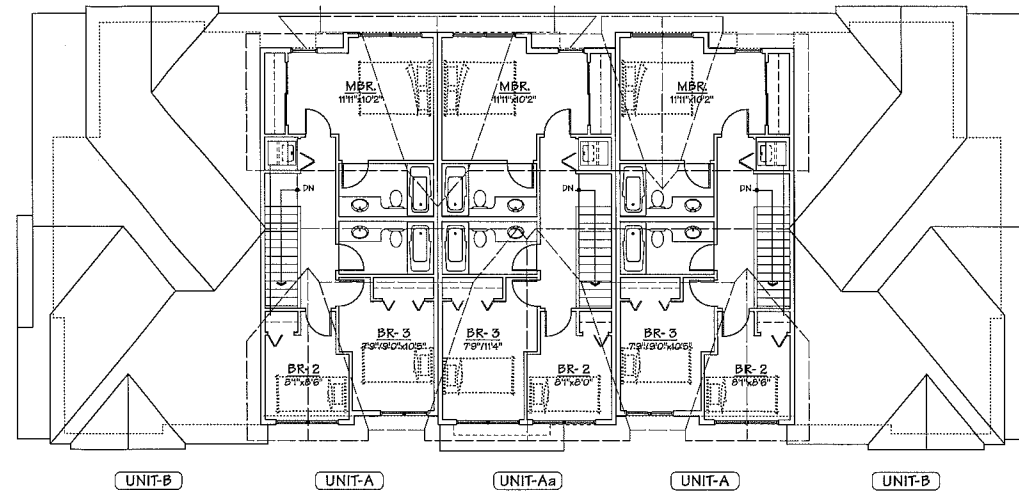
JUL 17 2012 PLAN #4c

DP 11 592270

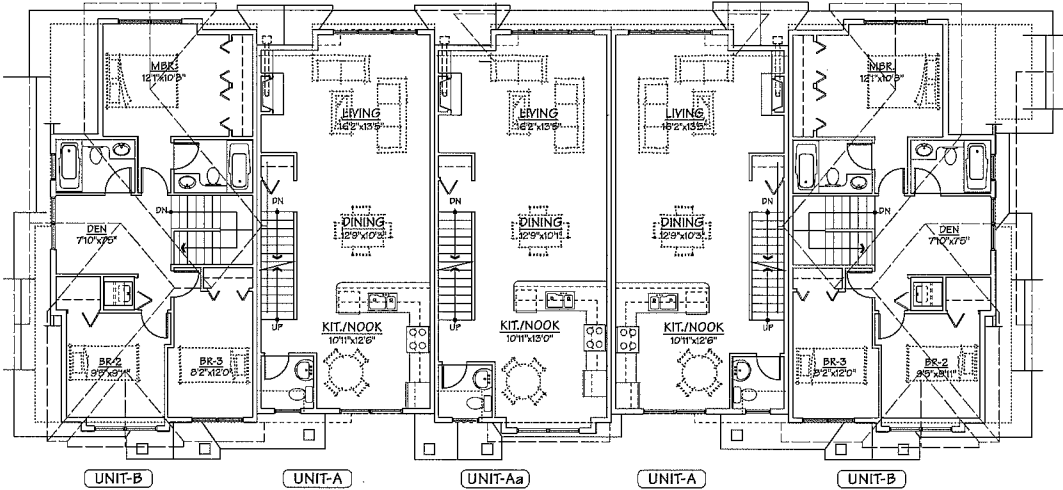
- AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
 - LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- ENERGY EFFICIENT LIGHTING FIXTURES
 - WATER EFFICIENT TOILETS
 - TEMPERATURE CONTROL IN EACH ROOM TO CONSERVE ENERGY
 - LOW E GLAZING TO IMPROVE PERFORMANCE OF WINDOWS
 - LARGE OPERABLE WINDOWS FOR NATURAL LIGHT AND VENTILATION



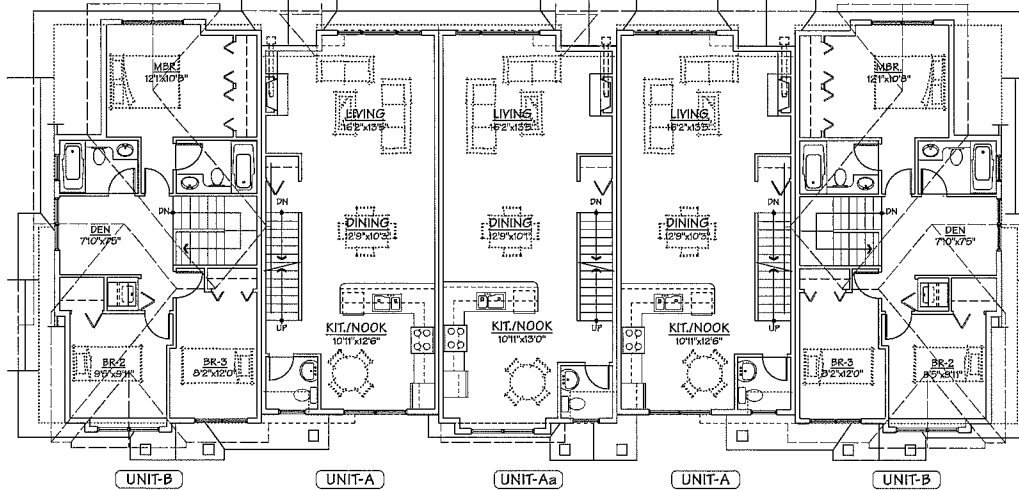
BUILDING NO.1
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"



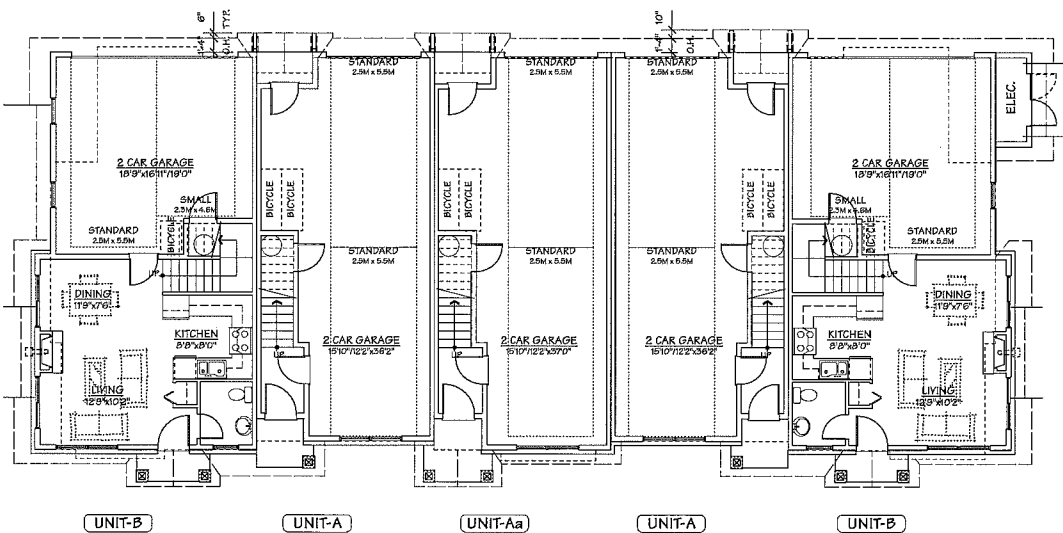
BUILDING NO.2
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"



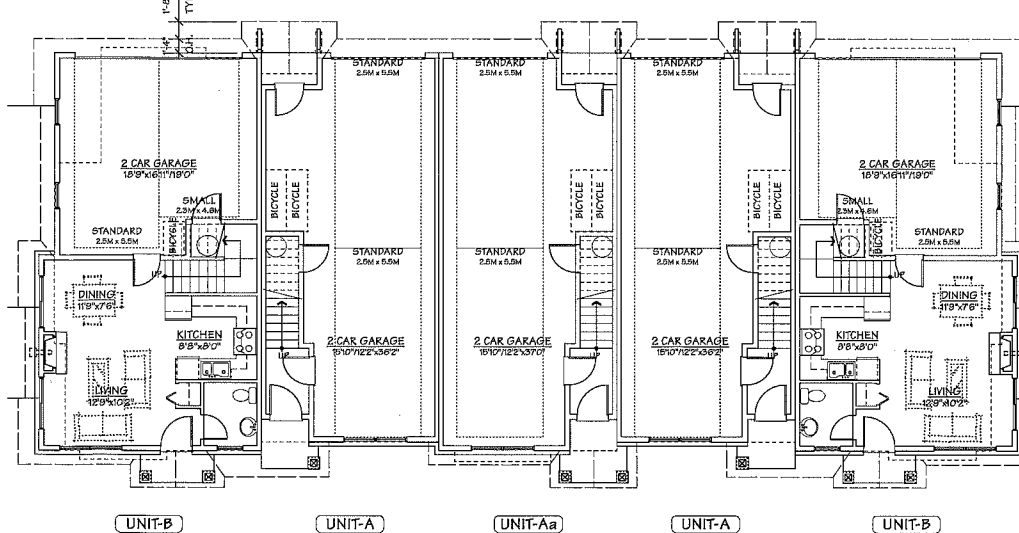
BUILDING NO.1
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 9'-0"



BUILDING NO.2
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 9'-0"



BUILDING NO.1
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"



BUILDING NO.2
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"

NO.	DATE	REVISIONS
4	MAY 23, 2012	DPF SUBMISSION
3	FEB. 22, 2012	ADP SUBMISSION
2	SEPT. 26, 2011	DP SUBMISSION
1	JUNE 16, 2011	KZ SUBMISSION

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PROJECT
25 UNIT TOWNHOUSE DEVELOPMENT

8001, 8711, 8731
BLUNDELL ROAD, RICHMOND

Yamamoto Architecture Inc.

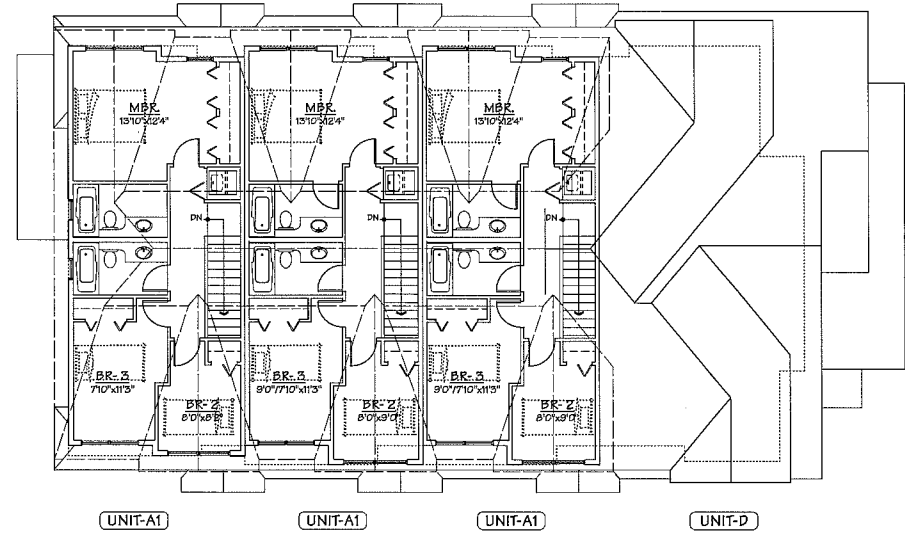
2388 oak street, van., b.c.
V6H 4J1 tel: 604-751-1127 fax: 604-751-1327

DRAWING TITLE
FLOOR PLANS

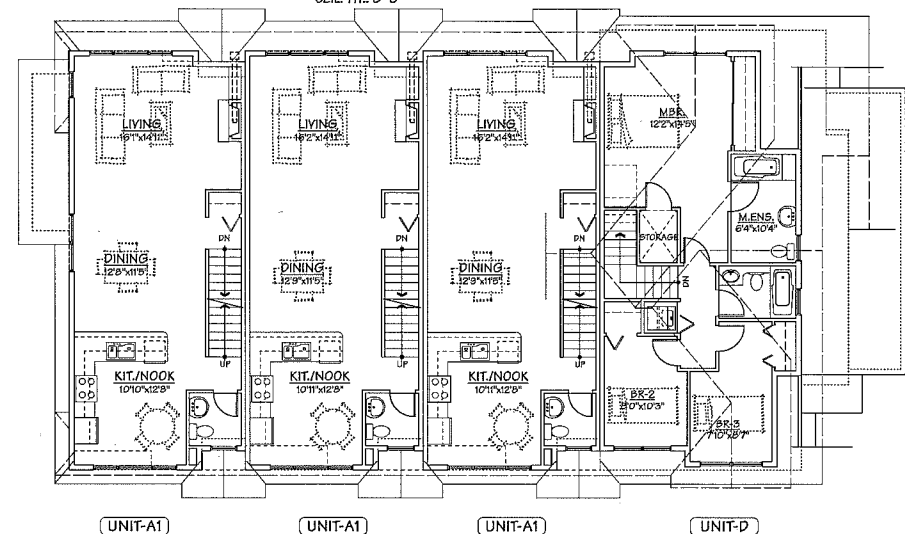
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DATE JULY 16, 2012	
DRAWN NP	
CHECKED	PROJ. NO. 8726

JUL 17 2012 REFERENCE PLAN

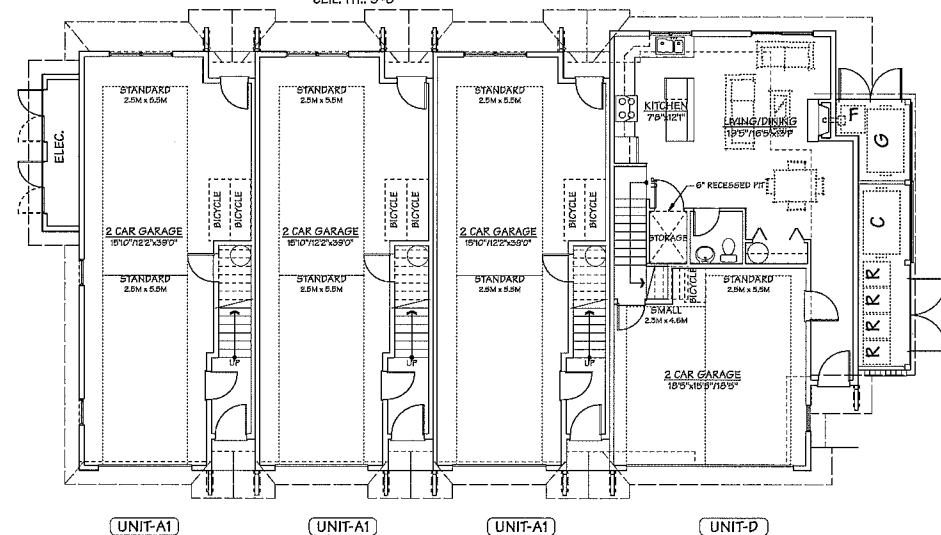
DP 11 592270



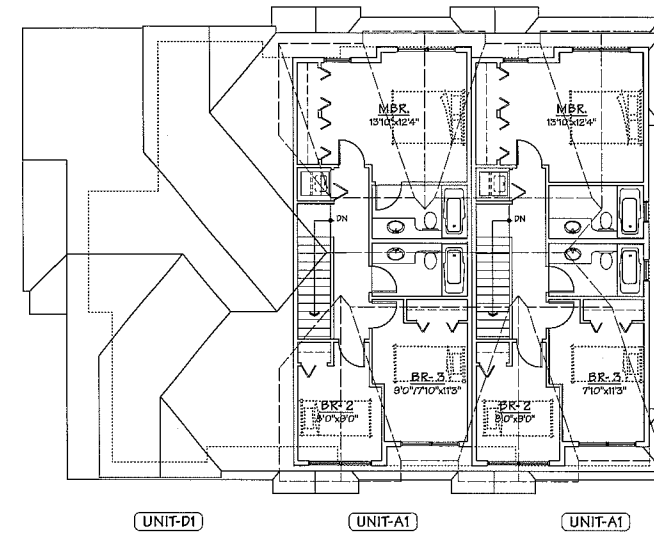
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"



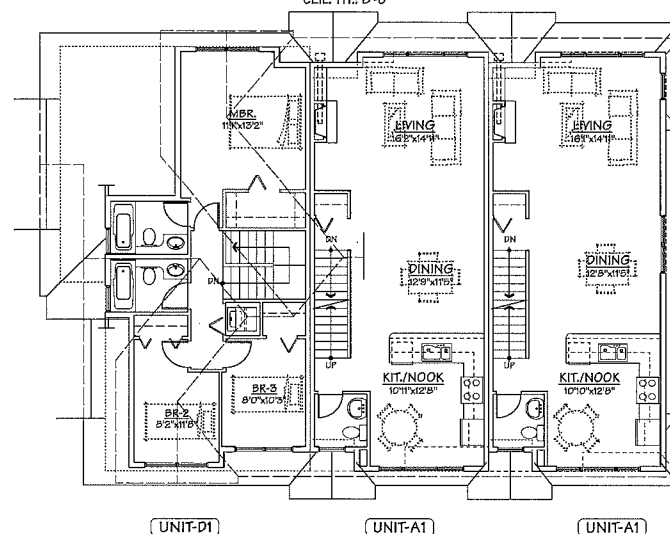
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 9'-0"



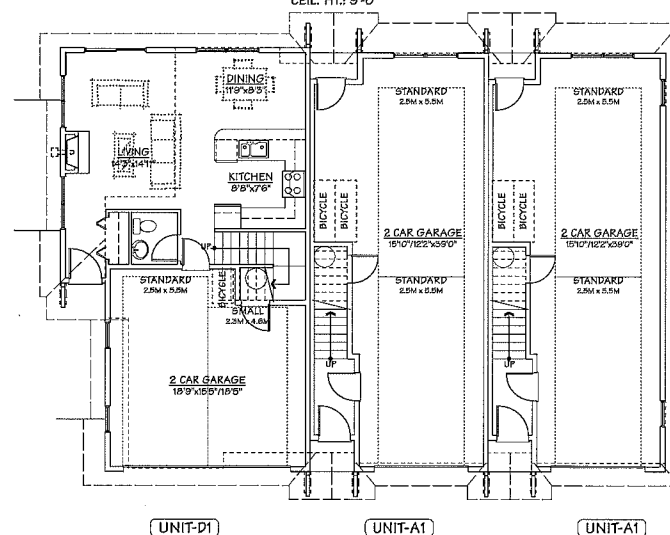
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 9'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"
CEIL. HT.: 8'-0"

- AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
 - LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- ENERGY EFFICIENT LIGHTING FIXTURES
 - WATER EFFICIENT TOILETS
 - TEMPERATURE CONTROL IN EACH ROOM TO CONSERVE ENERGY
 - LOW E GLAZING TO IMPROVE PERFORMANCE OF WINDOWS
 - LARGE OPERABLE WINDOWS FOR NATURAL LIGHT AND VENTILATION

NO.	DATE	REVISIONS
4	MAY 23, 2012	DPF SUBMISSION
3	FEB. 22, 2012	ADP SUBMISSION
2	SEPT. 26, 2011	DP SUBMISSION
1	JUNE 16, 2011	RZ SUBMISSION

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PROJECT
25 UNIT TOWNHOUSE
DEVELOPMENT

9861, 9711, 9791
BLUNDELL ROAD, RICHMOND

**Yamamoto
Architecture Inc.**

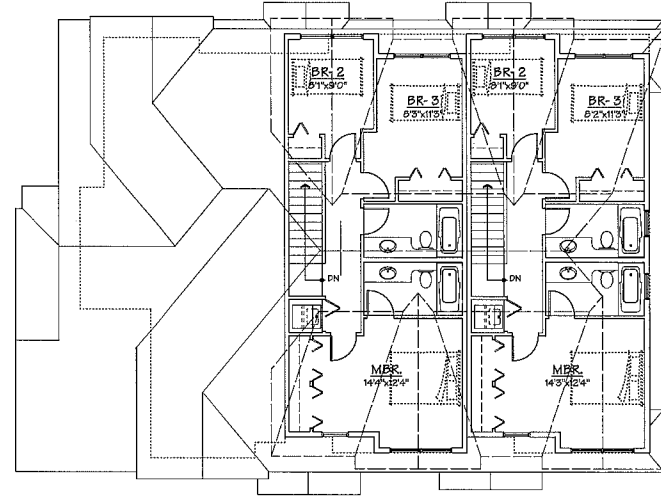
2388 oak street, vancouver, b.c.
V6H 4J1 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE
FLOOR PLANS

SCALE 1/8" = 1'-0"	SHEET NO. A5.1
DATE MAY 23, 2012	
DRAWN ICP	
CHECKED	PROJ. NO. 8724

JUL 17 2012 REFERENCE PLAN

DP 11 592270

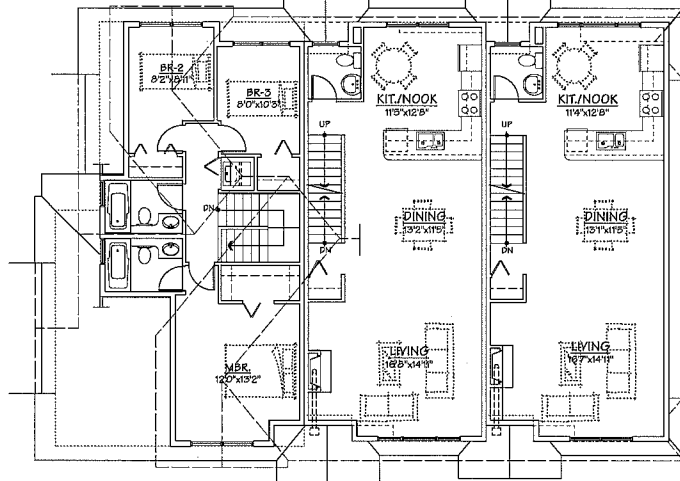


UNIT-D2 UNIT-A2 UNIT-A2

BUILDING NO. 5

THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT: 8'-0"

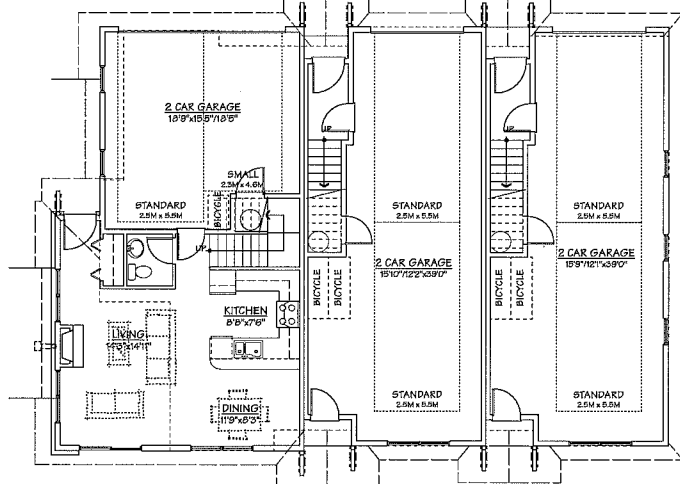


UNIT-D2 UNIT-A2 UNIT-A2

BUILDING NO. 5

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT: 8'-0"

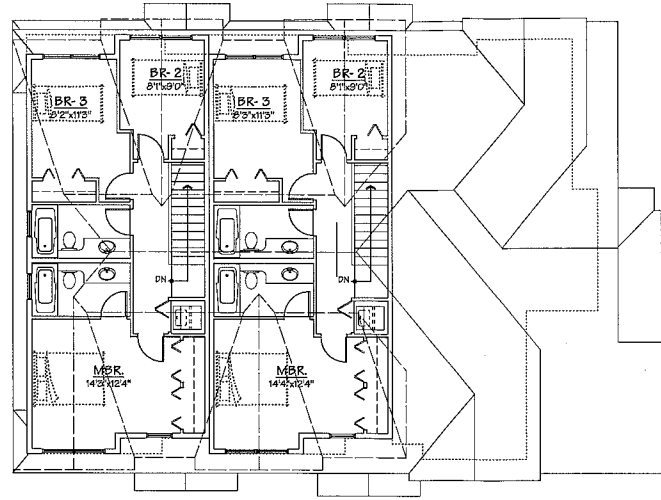


UNIT-D2 UNIT-A2 UNIT-A2

BUILDING NO. 5

GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT: 8'-0"

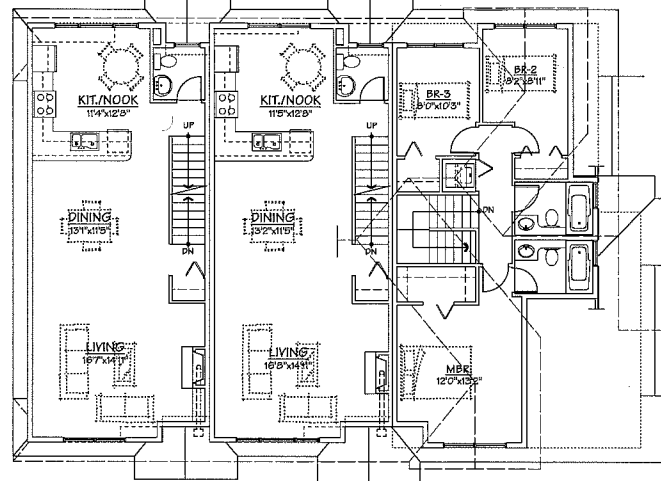


UNIT-A2 UNIT-A2 UNIT-D2

BUILDING NO. 6

THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT: 8'-0"

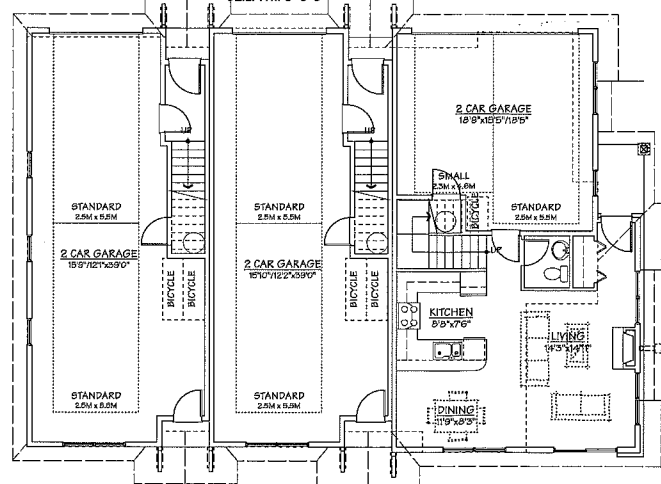


UNIT-A2 UNIT-A2 UNIT-D2

BUILDING NO. 6

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT: 8'-0"

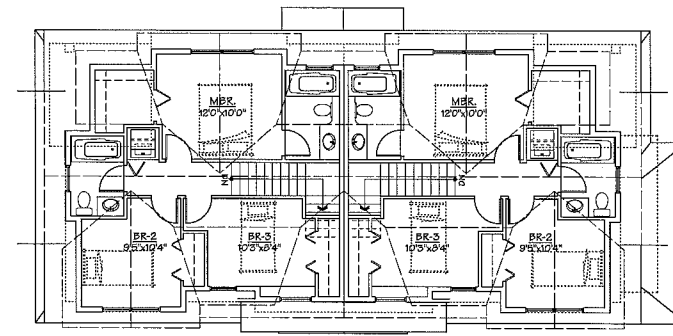


UNIT-A2 UNIT-A2 UNIT-D2

BUILDING NO. 6

GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT: 8'-0"

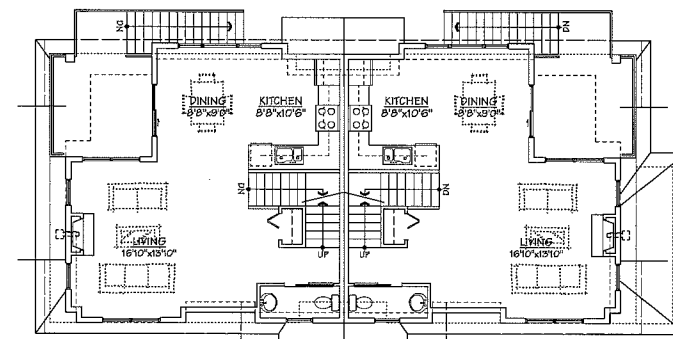


UNIT-E UNIT-E

BUILDING NO. 7

THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT: 8'-0"

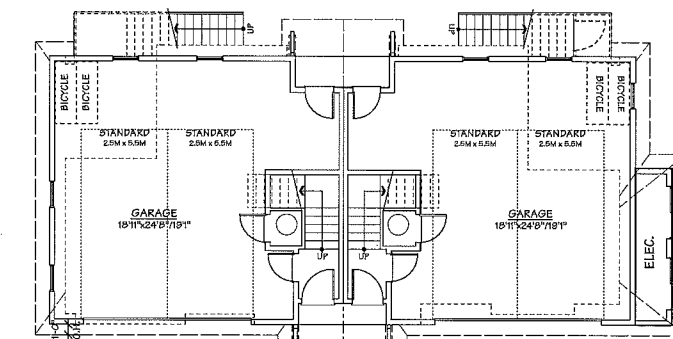


UNIT-E UNIT-E

BUILDING NO. 7

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT: 8'-0"



UNIT-E UNIT-E

BUILDING NO. 7

GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT: 8'-0"

REFERENCE PLAN

**AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**

- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES

**SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):**

- ENERGY EFFICIENT LIGHTING FIXTURES
- WATER EFFICIENT TOILETS
- TEMPERATURE CONTROL IN EACH ROOM TO CONSERVE ENERGY
- LOW E GLAZING TO IMPROVE PERFORMANCE OF WINDOWS
- LARGE OPERABLE WINDOWS FOR NATURAL LIGHT AND VENTILATION

NO.	DATE	REVISIONS
4	MAY 28, 2012	DPF SUBMISSION
3	FEB. 22, 2012	ADP SUBMISSION
2	SEPT. 26, 2011	DP SUBMISSION
1	JUNE 16, 2011	RZ SUBMISSION

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PROJECT
25 UNIT TOWNHOUSE DEVELOPMENT

0681, 0711, 0731
BLUNDELL ROAD, RICHMOND

Yamamoto
Architecture Inc.

2388 Oak Street, Unit, B.C.
V6H 4J1 Tel: 604-731-1127 Fax: 604-731-1327

DRAWING TITLE
FLOOR PLANS

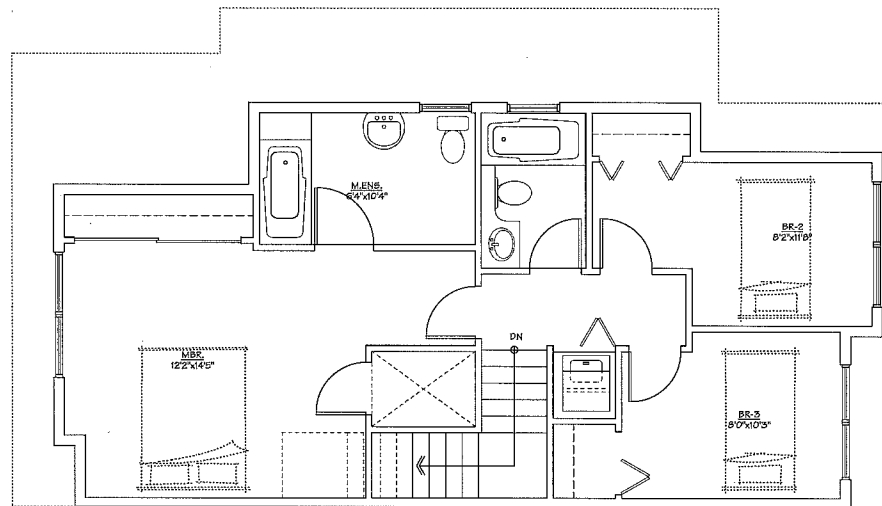
SCALE 1/8" = 1'-0"	SHEET NO. A5.2
DATE MAY 28, 2012	
DRAWN JP	
CHECKED	PROJ. NO. 0724

JUL 17 2012

REFERENCE PLAN

DP 11 592270

BEFORE CONVERSION:



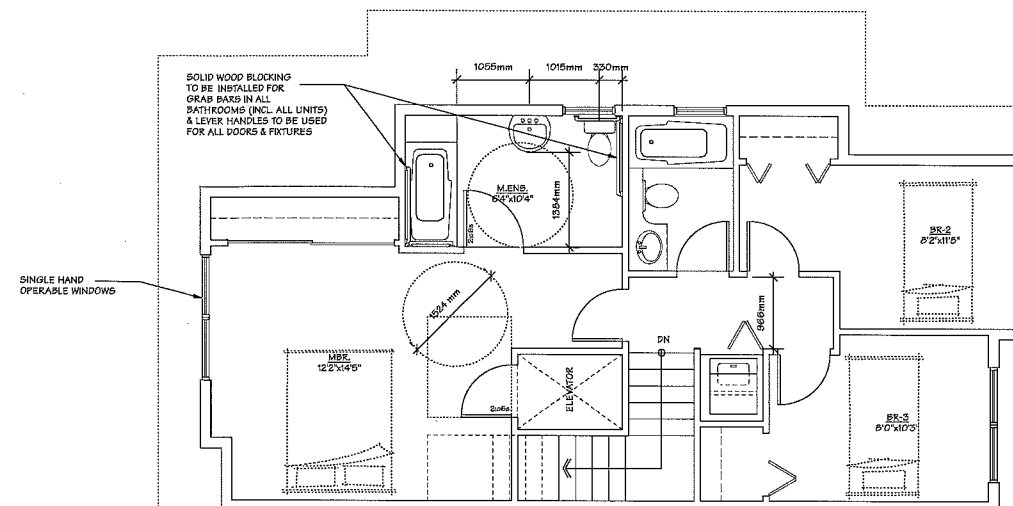
UNIT-D

BUILDING NO.3

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT.: 9'-0"

BEFORE CONVERSION:



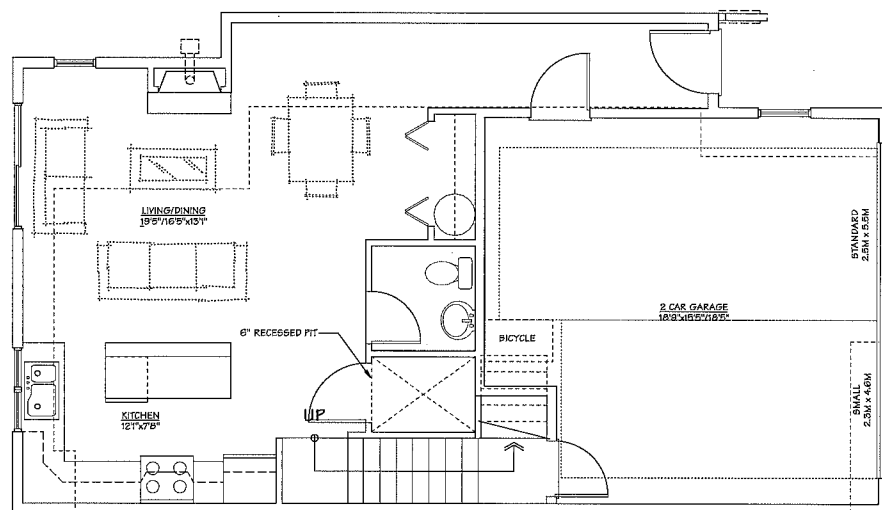
UNIT-D

BUILDING NO.3

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT.: 9'-0"

- AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
 - LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- ENERGY EFFICIENT LIGHTING FIXTURES
 - WATER EFFICIENT TOILETS
 - TEMPERATURE CONTROL IN EACH ROOM TO CONSERVE ENERGY
 - LOW E GLAZING TO IMPROVE PERFORMANCE OF WINDOWS
 - LARGE OPERABLE WINDOWS FOR NATURAL LIGHT AND VENTILATION

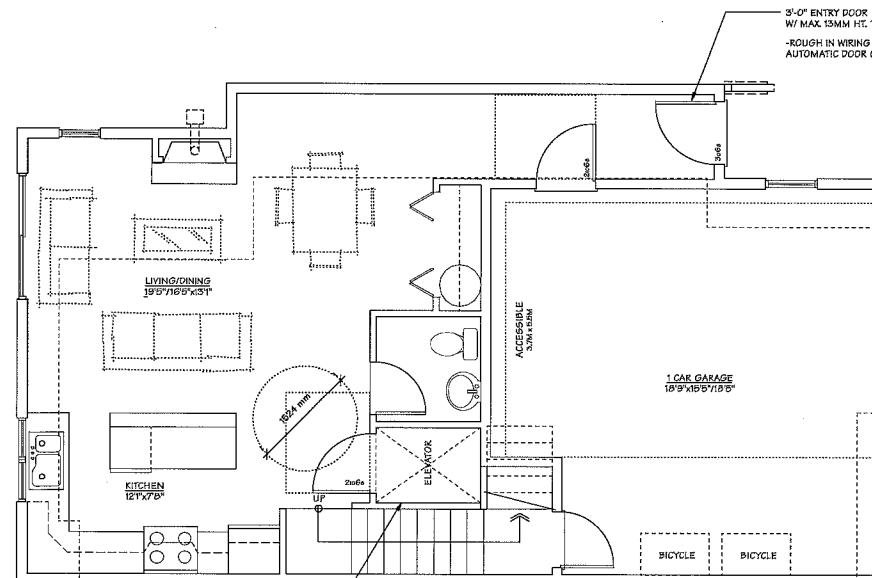


UNIT-D

BUILDING NO.3

GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT.: 9'-0"



UNIT-D

BUILDING NO.3

GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"
CEIL. HT.: 9'-0"

NO.	DATE	REVISIONS
4	MAY 23, 2012	DPP SUBMISSION
3	FEB. 22, 2012	ADP SUBMISSION
2	SEPT. 26, 2011	DP SUBMISSION
1	JUNE 16, 2011	RZ SUBMISSION

CONSULTANT

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PROJECT
25 UNIT TOWNHOUSE DEVELOPMENT

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DRAWING TITLE
CONVERTIBLE UNIT PLAN

SCALE	SHEET NO.
1/8" = 1'-0"	A6.0
DATE	MAY 23, 2012
DRAWN	NP
CHECKED	PROJ. NO. 0734

CONVERTIBLE UNIT PLAN
SCALE: 1/8" = 1'-0"

JUL 17 2012 REFERENCE PLAN

DP 11 592270