



City of Richmond

Report to Committee Planning and Development Department

To: Planning Committee

Date: July 3, 2012

From: Brian J. Jackson, MCIP
Director of Development

File: RZ 11-591939

Re: **Application by Traschet Holdings Ltd. for Rezoning of 9091, 9111 and 9131 Beckwith Road from "Single Detached (RS1/F)" to "Industrial Business Park (IB2)"**

Staff Recommendation

That Bylaw No. 8918, for the rezoning of 9091, 9111 and 9131 Beckwith Road from "Single Detached (RS1/F)" to "Industrial Business Park (IB2)", be introduced and given first reading.

Brian J. Jackson, MCIP
Director of Development

MM:blg
Att.

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER

Staff Report

Origin

Traschet Holdings Ltd. has applied to the City of Richmond for permission to rezone 9091, 9111 and 9131 Beckwith Road (**Attachment 1**) from “Single Detached (RS1/F)” to “Industrial Business Park (IB2)” to permit construction of two (2) light industrial buildings on a 1.1 acre (0.45 ha.) site (**Attachment 2**).

Findings of Fact

The proposed development includes two (2) equal-sized buildings each with 14,113 ft² (1,311 m²) main floors and 6,367 ft² (592 m²) mezzanines, together totalling 40,960 ft² (3,805 m²). Access is provided to the central parking lot located between the two buildings from the north side of Beckwith Road. A Development Application Data Sheet providing details about the development proposal is attached (**Attachment 3**).

Surrounding Development

To the North: The Nature’s Path cereal company building on a lot zoned “Light Industrial (IL)” and the former CPR rail right-of-way;

To the East: An older single-family home on a large lot zoned “Single Detached (RS1/F)”;

To the South: Beckwith Road and the large Costco Wholesale building and surface parking lot on a site zoned “Auto-Oriented Commercial (CA)”;

To the West: An Enterprise Rental Car outlet zoned “Auto-Oriented Commercial (CA)”.

Related Policies & Studies

Official Community Plan (OCP)

The subject site is designated “Business and Industry” in the Official Community Plan (OCP).

City Centre Area Plan (CCAP)

The Bridgeport Village Specific Land Use Map in the City Centre Area Plan (CCAP) designates the subject site and adjacent properties as “General Urban T4 (25m): Area B”, which permits light industry and accessory uses only. The site is also located within “Sub-Area A.2: Industrial Reserve – Limited Commercial” which is intended for urban business parks, including light industrial and accessory uses contained within buildings.

LEED Silver Requirement under the CCAP

Section 2.5.1 of the CCAP requires that all developments over 2000 m² (21,528 ft²) in the City Centre be LEED (Leadership in Energy and Environmental Design) Silver or equivalent (including meeting the LEED Heat Island Effect: Roof Credit and LEED Storm Water Management Credit).

The applicant has committed to meet the Canadian Green Building Council LEED Silver 2009 criteria and will have his architect submit a follow-up letter confirming that building has been constructed to meet such LEED criteria as part of the Development Permit.

Floodplain Management Implementation Strategy

The applicant is required to comply with the Flood Plain Designation and Protection Bylaw 8204. The site is located within an Area A where the minimum habitable elevation is 2.9 m (9.5 ft.) geodetic. The bylaw also includes provisions to permit habitable space, provided it is located a minimum of 0.3 m (1.0 ft.) above the highest level of the crown of Beckwith Road. A Flood Indemnity Restrictive Covenant specifying the minimum flood construction level is required prior to rezoning bylaw adoption.

OCP Aircraft Noise Sensitive Development (ANSO) Policy

The subject site is located within Aircraft Noise Sensitive Development Area 1A that prohibits all aircraft noise sensitive land use types. Thus, the developer is required to register an aircraft noise non-sensitive development covenant prior to final adoption of the rezoning bylaw.

Public Art

The City's Public Art Policy recommends that the developer make a contribution of \$8,400 towards the City's Public Art Fund based on the 2011 rate of \$0.20/ ft² applicable to industrial buildings at the time of application. The developer has agreed to make this contribution.

Ministry of Transportation and Infrastructure (MOTI)

As the proposed development is with 800 m (one-half mile) of a controlled access highway, Zoning Bylaw 8918 requires Ministry of Transportation and Infrastructure approval under Section 52 of the Transportation Act. Preliminary approval has been granted by MOTI.

Staff Comments

Site Servicing

As a condition of rezoning, the developer is required to enter into a standard Servicing Agreement for the design and construction of the sanitary upgrade, all service connections, possible water service upgrades as identified in the capacity analyses (please see **Attachment 4** for details).

With regards to sanitary servicing, an independent review of sanitary capacity requirements concludes that there is a requirement to upgrade the existing 200 mm diameter sanitary main to 375 mm diameter from a manhole located at the proposed site's east property line to a manhole located approximately 85.5 m (281 ft.) west along Beckwith Road.

Road Frontage Works and Lane

As part of the Servicing Agreement, the developer is also required to:

- Undertake Beckwith Road frontage improvements which will provide a 3.25 m (10.66 ft) curb lane, 1.8 m (5.9 ft.) bike lane, curb and 1.5 m (5.0 ft.) boulevard with grass, decorative street lights and street trees and a 2.0 m (6.6 ft.) sidewalk with driveway let-down, all to City standards. There will be a requirement to provide 2.0 m (6.6 ft) of road dedication from the entire site's frontage under a subdivision that combines the three (3) lots into one (1) parcel.
- Construct a 6.0 m (20 ft.) wide section of part of a paved lane within a (Statutory SRW) to be registered on title. This two-third (2/3) width lane section would be connected to the road network in the future when adjacent properties to the east and west construct similar sections of lane.

On-Site Tree Retention and Replacement

A Certified Arborist report, submitted by the applicant, indicates the location of 25 on-site bylaw-sized trees. The report confirms that there are the following bylaw-sized trees:

- 20 trees located on the subject property;
- Five (5) trees forming a hedge.

Given the condition of the trees along with building and parking lot coverage, no trees are being retained. Thus, the developer agreed to contribute \$15,000 to the City's Tree Compensation Fund for the on-site trees being removed. The developer will also be planting eight (8) replacement trees be planted for four (4) of the trees removed which there will be a \$4,000 security.

Off-Site Tree Retention and Replacement

The Certified Arborist report indicates the location of two (2) off-site bylaw-sized trees within the Beckwith Road Allowance. Thus, the developer agreed to contribute \$2,600 to the City's Tree Compensation Fund for the off-site trees being removed. There will also be planting of the standard off-site boulevard street trees.

Analysis

OCP and CCAP Compliance

The proposed industrial business park development is consistent with the objectives of the Official Community Plan (OCP) "Business and Industry" generalized designation land-use designation.

The project is also consistent with Bridgeport Village Specific Land Use designation in the City Centre Area Plan (CCAP) designates the subject site and above-noted properties as "General Urban T4 (25m): Area B" which permits light industry and accessory uses only with buildings not exceeding an FAR of 1.2 and maximum height of 25.0 m (82 ft). The proposed development is also consistent with the "Sub-Area A.2: Industrial Reserve – Limited Commercial" designation which permits light industrial business park uses with office and retail as accessory uses only.

Industrial Business Park (IB2) Zone

The proposed Industrial Business Park (IB2) zoning proposed under Zoning Amendment Bylaw 8918 provides for a maximum density of 1.2 FAR within the City Centre which is consistent with the above-noted CCAP policies.

Requested Variances

Based on the review of current site plan for the project, the following variances will be requested during the Development Permit application and are supported by staff subject to the necessary design elements being addressed:

- Reduction of the minimum parking lot drive aisle from 7.5 m (24.6 ft.) to 6.7 m (22.0 ft.) subject to confirmation that loading bay turning movements are adequate for 9m (30 ft.) SU9 trucks which has been supported by City Transportation staff based on the nature and scale of this development.
- Reduction of the front yard setback to Beckwith Road from 3.0 m (10.0 ft.) to 1.5 m (5.0 ft.). Based on the preliminary development plans provided by the developer and given that 6.0m (20 ft.) will be taken for the rear lane, staff support this proposed variance.
- Reduction of the east yard setback to the adjacent lot with an older single-family residence from 3.0 m (10.0 ft.) to 0.0 m (0.0 ft.) subject to review of the subject development's east wall design. Given that the developer has received letters of support from the adjacent property owners, staff does not object to this proposed variance.

Design Review and Future Development Permit Considerations

A Development Permit is required to ensure that the proposed development is sensitively integrated with adjacent developments and reflects the guidelines outlined in the CCAP for Brighthouse Village. A Development Permit application is required to be processed to a satisfactory level to satisfy considerations associated with the proposed rezoning of the site.

The following issues are to be further examined in association with the Development Permit:

- Form and character of the buildings are to appropriately address Beckwith Road, the adjacent properties and rear lane including attractive front facades with large windows, doors, cornices and possible awnings with the side elevations including elements such as cornices and attractive patterns.
- A minimum of eight (8) replacement trees are being planted as part of the on-site landscaping.

- The landscape plan will need to include the proposed grades and landscaping/low decorative walls that will screen garbage/recycling areas from view and reasonably screen parking areas from street view.
- Confirmation will be required that the development (building and landscape design) has a sufficient score to meet the Canadian Green Building Council LEED Silver 2009 criteria and submission of follow-up letter confirming that building has been constructed to be meet such LEED criteria as discussed above.

Financial Impact

None.

Conclusion

The proposed light industrial development is consistent with the objectives of the City Centre Area Plan – Bridgeport Village Specific Land Use Map and Sub-Area A.2 policies in terms of proposed land use under the Industrial Business Park (IB2) zoning and density. Overall, the project provides an appropriate fit with the newer smaller light industrial and service commercial developments within this area. Further review of the project design will be required and be completed as part of the future Development Permit process. On this basis, staff recommends that the proposed rezoning be approved.



Mark McMullen
Senior Coordinator-Major Projects
(604-276-4173)

MM:blg

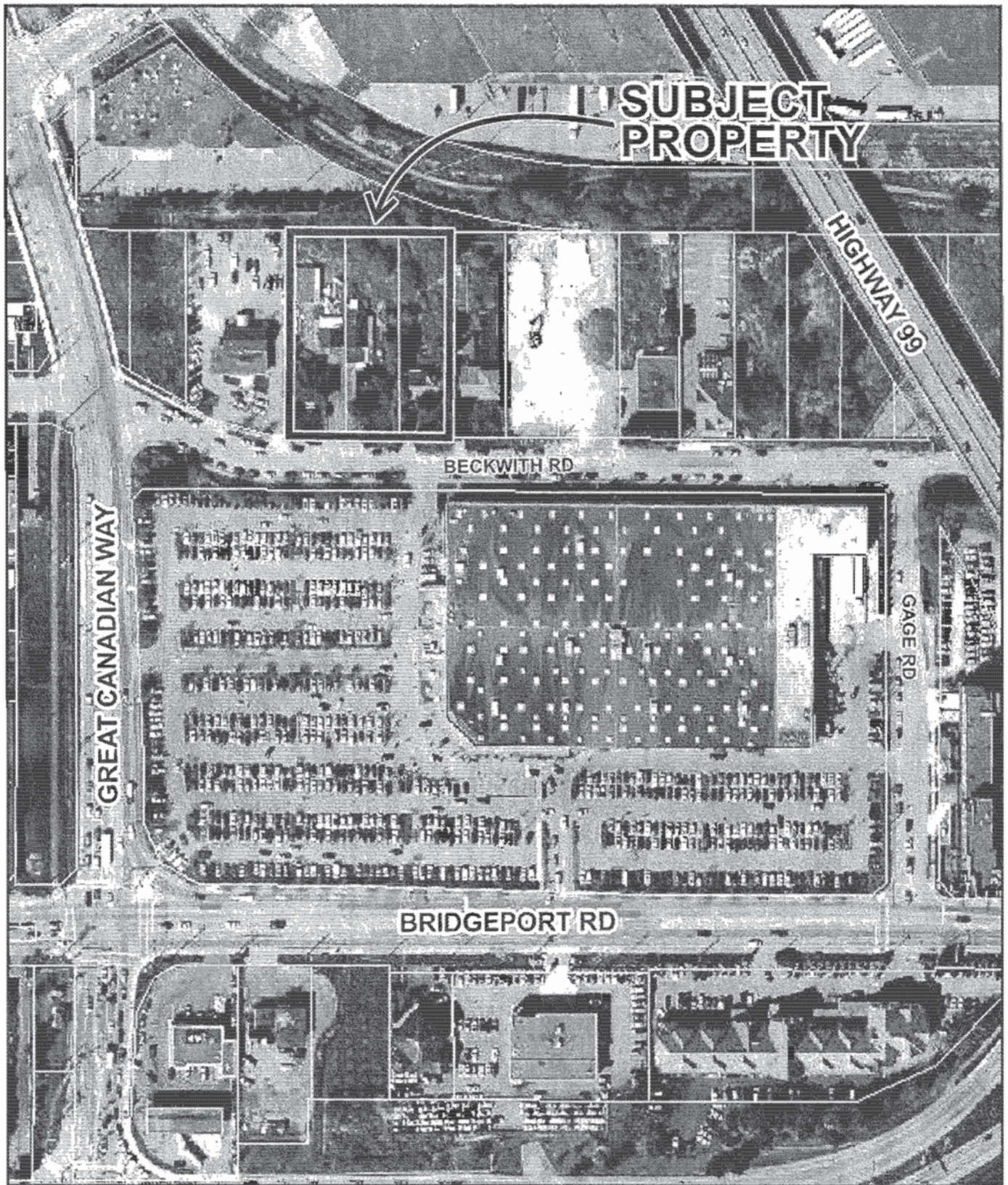
Attachment 1: Location Map
Attachment 2: Conceptual Development Plans
Attachment 3: Development Application Data Sheet
Attachment 4: Rezoning Considerations Concurrence



RZ 11-591939

Revision Date:

Note: Dimensions are in METRES

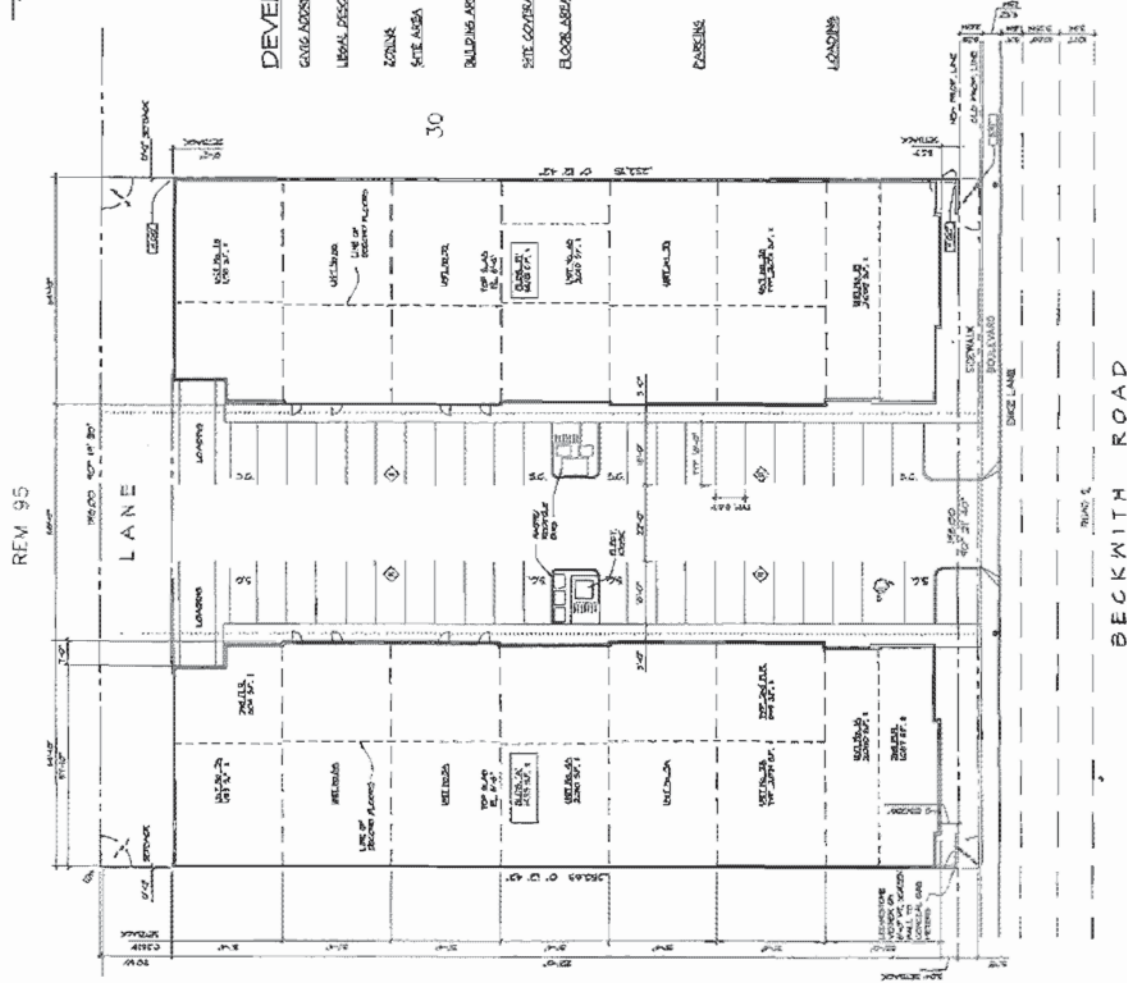
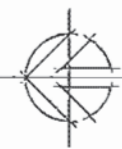


RZ 11-591939

Original Date: 11/03/11

Amended Date:

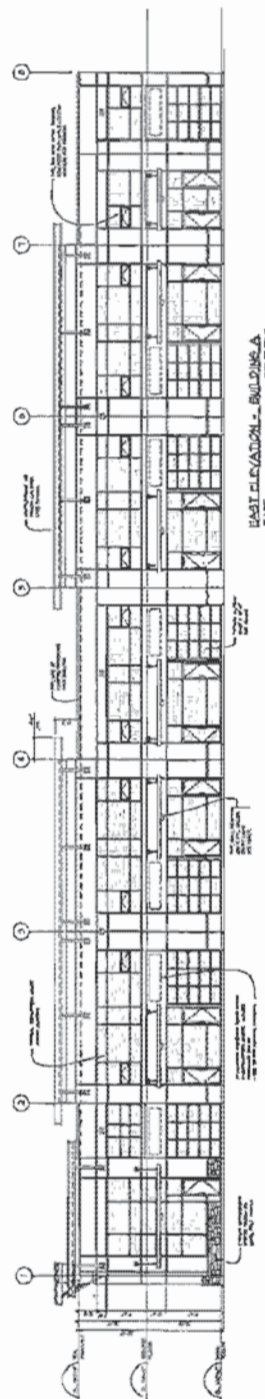
Note: Dimensions are in METRES

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BECKWITH ROAD

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Architectural drawing of the South Pavilion - Building A, showing a cross-section with structural details and dimensions. The drawing includes a title block on the right side reading "SOUTH PAVILION - BUILDING A". Dimensions are indicated at the bottom: 2'-0" (width), 1'-0" (height), and 1'-0" (depth). A note on the left side states: "See Section 1-1 for details of foundation and wall construction." The drawing shows a multi-story structure with a grid of columns and beams, and a foundation system.

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STANT "MESSAGE GUIDANCE"

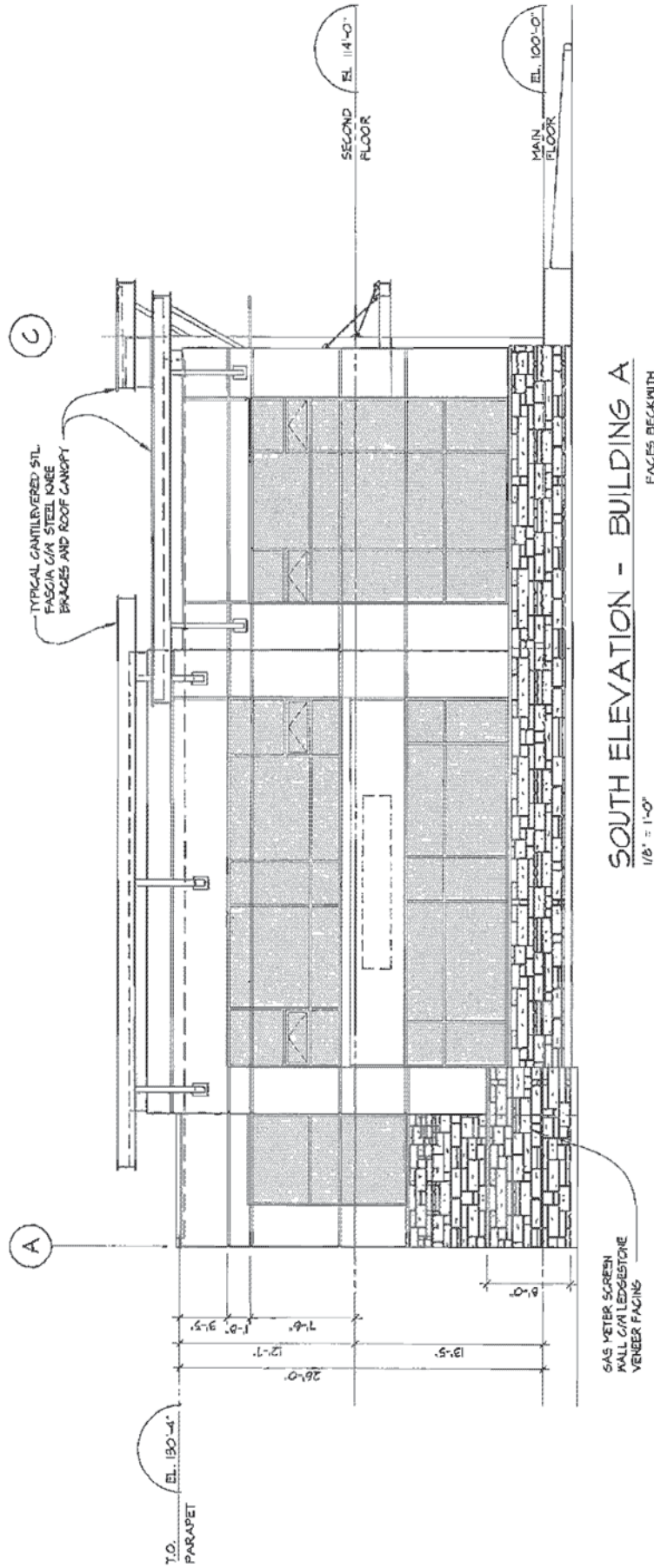
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SECTION TWO: 1990

<p>MICHAEL D. DARLEY ARCHITECT</p> <p>INTERIOR DESIGNER VANCOUVER, B.C., CANADA</p>	<p>PRESIDENT CONCEPT ELEVATOR BUILDING A</p>
<p>PROFESSOR ALI-TABATBAEI OFFICE</p> <p>ADVANCED COMPLEXITY</p> <p>BRANDON CARTER</p>	

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BUILDING & INTERIOR DESIGN CONSULTANTS • sanford design group
200-371-3000 FAX 200-371-3001 • TEL: 200-371-3001 • FAX: 200-371-3001 • WWW: WWW.SANFORDDESIGN.COM



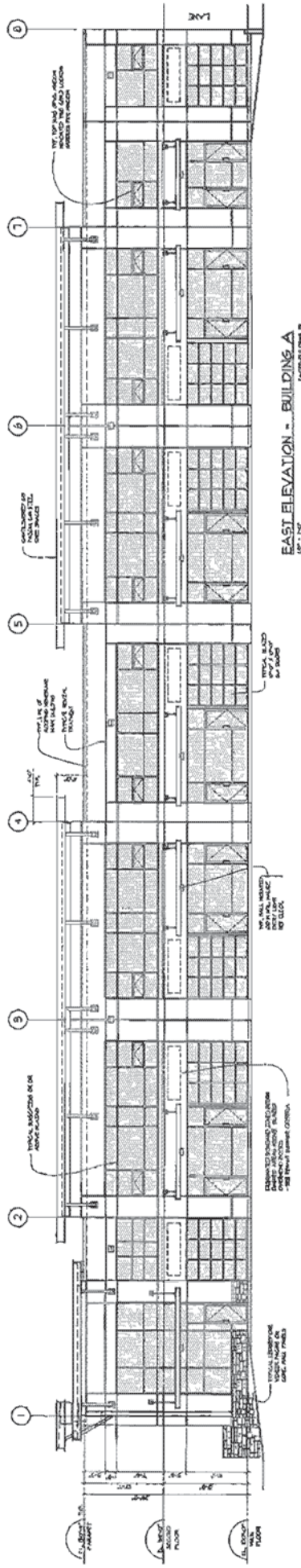
SOUTH ELEVATION - BUILDING A
1/8" = 1'-0"
FACES BECKWITH

sanford design group

BUILDING & INTERIOR DESIGN CONSULTANTS
PH 103

SCALE: NTS

PROJECT: TRANSOLINI CHETNER - BECKWITH
PRINT DATE: JUNE 22/12



EAST ELEVATION - BUILDING A
 100% - 100%

PROJECT: TRANSOLINI CHETNER - BECKWITH
 PRINT DATE: JUNE 22/12

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 BUILDING & INTERPHASE DESIGN CONSULTANTS
 104
 104

SCALE: NTS



City of Richmond
 6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

Development Application Data Sheet

RZ 11-591939
Attachment 3

Address: 9091, 9111 and 9131 Beckwith Road

Applicant: Traschet Holdings Ltd.

Planning Area(s): City Centre Area Plan (Schedule 2.10) – Sub-Area B.1

	Existing	Proposed
Owner:	Traschet Holdings Ltd.	No Change
Site Size (m ²):	4,648 m ²	No Change
Land Uses:	Single-Family Residential	Industrial Business Park
OCP Designation:	Industry & Business	No Change
Area Plan Designation:	General Urban T4 (25m) - Area B	No Change
702 Policy Designation:	N/A	N/A
Zoning:	Single Detached (RS1/F)	Industrial Business Park (IB2)
Number of Units:	3 Single-Family Residences	14 Business Industrial Units
Other Designations:	N/A	N/A

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.20	0.83	none permitted
Lot Coverage – Building:	Max. 90%	56.4%	none
Lot Coverage – Building, Structures, & Non-Porous Surfaces	N/A	N/A	none
Lot Coverage – Landscaping:	N/A	N/A	none
Setback – Front Yard (m):	Min. 3.0 m	1.5 m min.	1.5m
Setback – East Side Yard (m):	Min. 3.0 m	0.0 m	3.0 m
Setback – West Side Yard (m):	Min. 0.0 m	0.0 m	none
Setback – Rear Yard (m):	Min. 0.0 m	6.0 m to P/L & 0.0m to SRW	none
Height (m):	25.0 m	8.0 m	none

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Lot Size (min. dimensions):	N/A	60.2m wide x 67.4m deep	none
Lot Size (area):	4000 m ²	4,529m ²	none
Off-street Parking Spaces – Residential (R) / Visitor (V):	N/A	N/A	none
Off-street Parking Spaces – Total:	38 for General Industrial	44	none
Tandem Parking Spaces:	N/A	N/A	none
Amenity Space – Indoor:	N/A	N/A	none
Amenity Space – Outdoor:	N/A	N/A	none

Other: Tree replacement cash compensation required for loss of bylaw-sized trees.

**Conditional Zoning Requirements
9091, 9111 and 9131 Beckwith Road
RZ 11-591939**

Prior to adoption of the proposed Zoning Amendment Bylaw 8918, Traschet Holdings Ltd. (the developer) is required to complete the following requirements to the satisfaction of the Director of Development.

1. Consolidation of all the lots into one development parcel (which will require the demolition of the existing dwellings) with a 2.0m road dedication for the widening of Beckwith Road all under a subdivision plan to be registered at the Land Title Office.
2. City acceptance of the developer's offer to contribute \$2,600 to the City's Tree Compensation Fund (for 2 trees removed on Off-Site City property) and \$15,000 (for 15 trees removed on On-Site).
3. Registration of the City's Flood Indemnity covenant on title.
4. Registration of the City's Aircraft Noise Indemnity (Non-Sensitive Use) covenant on title.
5. City acceptance of the developer's offer to voluntarily contribute \$0.20 per buildable square foot (e.g. \$8,400 based on 4,200sm floor area to be confirmed in revised floor plans) to the City's public art fund.
6. Additional Requirements: Discharge and registration of additional right-of-way(s) (SRW) and/or legal agreement(s), as determined to the satisfaction of the Director of Development, Director of Engineering, and Director of Transportation, which may include, but is not limited to:
 - a) Providing for a lane along the northern-most 6.0m of the consolidated development parcel.
7. The submission and processing of a Development Permit* completed to a level deemed acceptable by the Director of Development. Included with the standard submission, the drawings should provide information specific to:
 - a) Overall appropriateness of the landscaping plan, including how the proposed grades will include on-site replacement trees to greatest extent possible, and include landscaping/low decorative walls that will screen garbage/recycling areas from view and reasonably screen parking areas from street view.
 - b) Manoeuvrability of larger vehicles (SU-9) within the site and lane to be confirmed.
 - c) Form and Character of the buildings to appropriately address Beckwith Road, the adjacent properties and rear lane including attractive front facades with large windows, doors, cornices and possible awnings and side elevations including elements such as cornices and attractive patterns.
 - d) A minimum of 8 replacement trees as part of the On-Site landscaping to be secured by Letter of Credit drawn on Canadian financial institution in the amount of \$4,000 to be released at such time that the replacement trees have been established to the satisfaction of the City
 - e) A notation being clearly included on the Development Permit Plans stating that there will be submission of letter with from the architect of record as a requirement of issuance of building permit confirming that the development (building and landscape design) has a sufficient score to meet the Canadian Green Building Council LEED Silver 2009 criteria (including meeting the LEED Heat Island Effect: Roof Credit and LEED Storm Water Management Credit) and submission of follow-up letter confirming that building has been constructed to be meet such LEED criteria. The architect of record or LEED consultant is also to provide a letter of assurance confirming how each building meets LEED Silver criteria prior to issuance of an occupancy permit for each building.
8. Enter into a Servicing Agreement* for the subject project and provide security for the design and construction of off-site improvements, including all off-site servicing along the entire Beckwith Road

**Conditional Zoning Requirements
9091, 9111 and 9131 Beckwith Road
RZ 11-591939**

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frontage along subject site and construction of 6.0m wide paved lane along the northerly 6.0m of the site. Works include, but may not be limited to:

- a) Beckwith Road widening to include 3.10 m centre lane, 3.25 m curb lane, 1.8 m bike lane, 0.15m curb, 1.5 m boulevard with grass, decorative street lights and street trees and 2.0 m sidewalk with driveway let-down, with proper tie-ins to existing Beckwith Road east and west of site (the extent of paving is dependent on the existing pavement condition and is confirmed at time of detailed Servicing Plan submission) all to City standards.
- b) 6.0 metre wide paved lane with roll-over curb raised to coordinate with the elevation of the proposed buildings, all to City standards.
- c) All other utilities, including required kiosks, servicing the site are to ensure they do not interfere with a street trees and visibility along with Beckwith Road.
- d) Completing the following Engineering servicing requirements:

- i. For storm drainage works, a site analysis will be required on the servicing agreement drawings (for site connection only). For water works, no upgrades are required. However, once the developer has confirmed the building design at the Building Permit stage, the developer must submit fire flow calculations signed and sealed by a professional engineer to confirm that there is adequate available flow. If the watermain looping mentioned in item #2b of the City's letter of April 18, 2012 on Water Capacity Analysis to the developer is not constructed by another development at the Building Permit stage for this development, upgrades may be required as part of this development. Possible upgrades may include upsizing of the existing 150 mm diameter watermain to 300 mm diameter (or as determined in the Servicing Agreement) along Gage Road from Bridgeport Road to Beckwith Road to meet required fire flows. Design of the upsizing to be included in the Servicing Agreement design.
- ii. For sanitary works, upgrade the existing 200 mm diameter to 375 mm diameter from manhole SMH 5871 located at the proposed site's east property line to manhole SMH 5872 located approximately 85.5 meters west along Beckwith Road. Also, a site analysis will be required on the servicing agreement drawings (for site connection only).
- iii. For private utilities, pre-ducting for hydro/telecommunication is required. Additional right-of-way(s) (SRWs) may be required to accommodate future undergrounding of overhead lines. The developer is to coordinate with appropriate utilities.

Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.

Conditional Zoning Requirements
9091, 9111 and 9131 Beckwith Road
RZ 11-591939

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2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site until at least such time that the subject Zoning Bylaw amendment receives 3rd Reading.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

Additional legal agreements: As determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering including, but not limited to site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.



Signed
Traschet Holdings Ltd.

July 03, 2012
Date



**Richmond Zoning Bylaw 8500
Amendment Bylaw 8918 (RZ 11-591939)
9091, 9111 AND 9131 BECKWITH ROAD**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **INDUSTRIAL BUSINESS PARK (IB2)**.

P.I.D. 009-852-913

Lot 27 Section 22 Block 5 North Range 6 West New Westminster District Plan 13817

P.I.D. 009-852-921

Lot 28 Section 22 Block 5 North Range 6 West New Westminster District Plan 13817

P.I.D. 009-852-930

Lot 29 Section 22 Block 5 North Range 6 West New Westminster District Plan 13817

2. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 8918".

FIRST READING

JUL 23 2012

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

MINISTRY OF TRANSPORTATION AND

INFRASTRUCTURE APPROVAL

OTHER REQUIREMENTS SATISFIED

ADOPTED



MAYOR

CORPORATE OFFICER



City of Richmond

Report to Committee

To: Planning Committee **Date:** June 25, 2012
From: Brian J. Jackson, MCIP **File:** RZ 11-590114
Director of Development
Re: Cotter Architects Inc. has applied to the City of Richmond for permission to rezone 9691 Alberta Road from "Single Detached (RS1/F)" to "Low Density Townhouses (RTL4)" in order to create 24 Townhouse units.

Staff Recommendation

That Bylaw 8925, for the rezoning of 9691 Alberta Road from "Single Detached (RS1/F)" to "Low Density Townhouses (RTL4)", be introduced and given first reading.

Brian J. Jackson, MCIP
Director of Development
(604-276-4138)

FOR ORIGINATING DEPARTMENT USE ONLY		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF ACTING GENERAL MANAGER
AFFORDABLE Housing	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	