



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: May 6, 2026

From: Joshua Reis
Director, Development

File: DP 24-048989

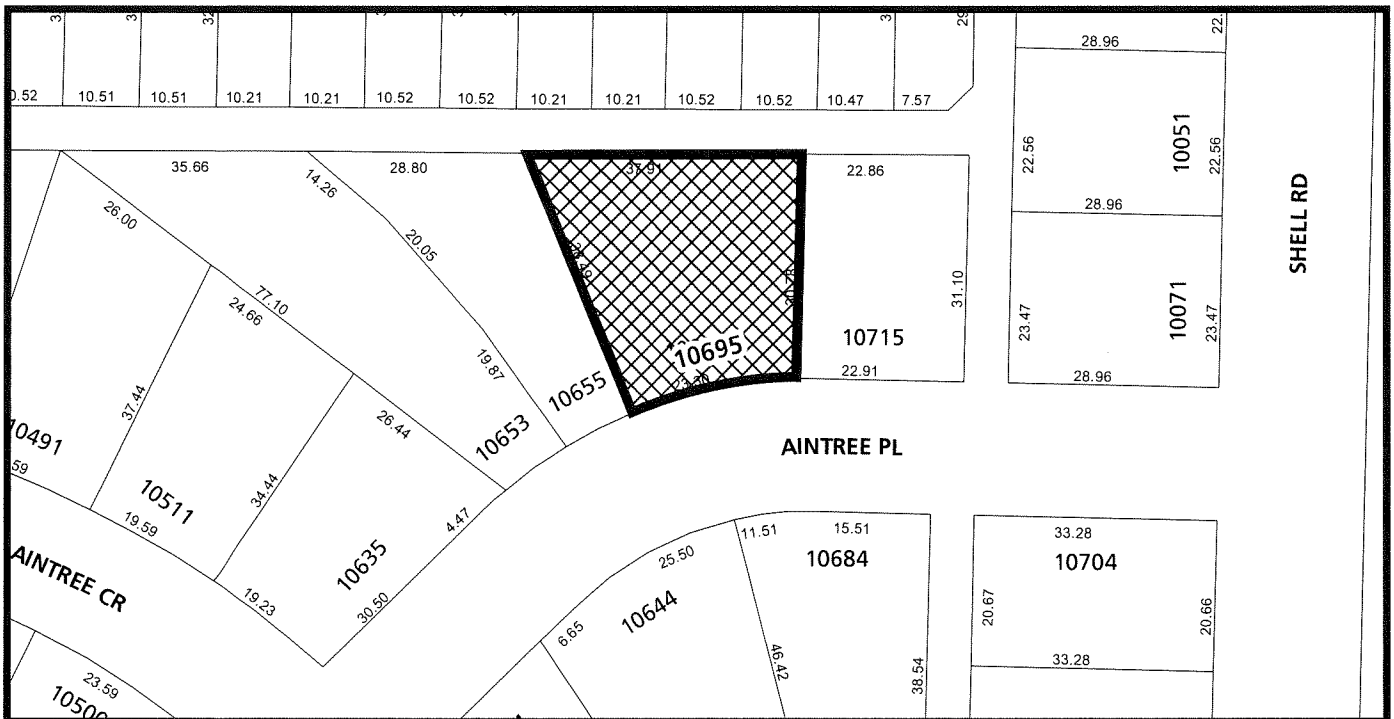
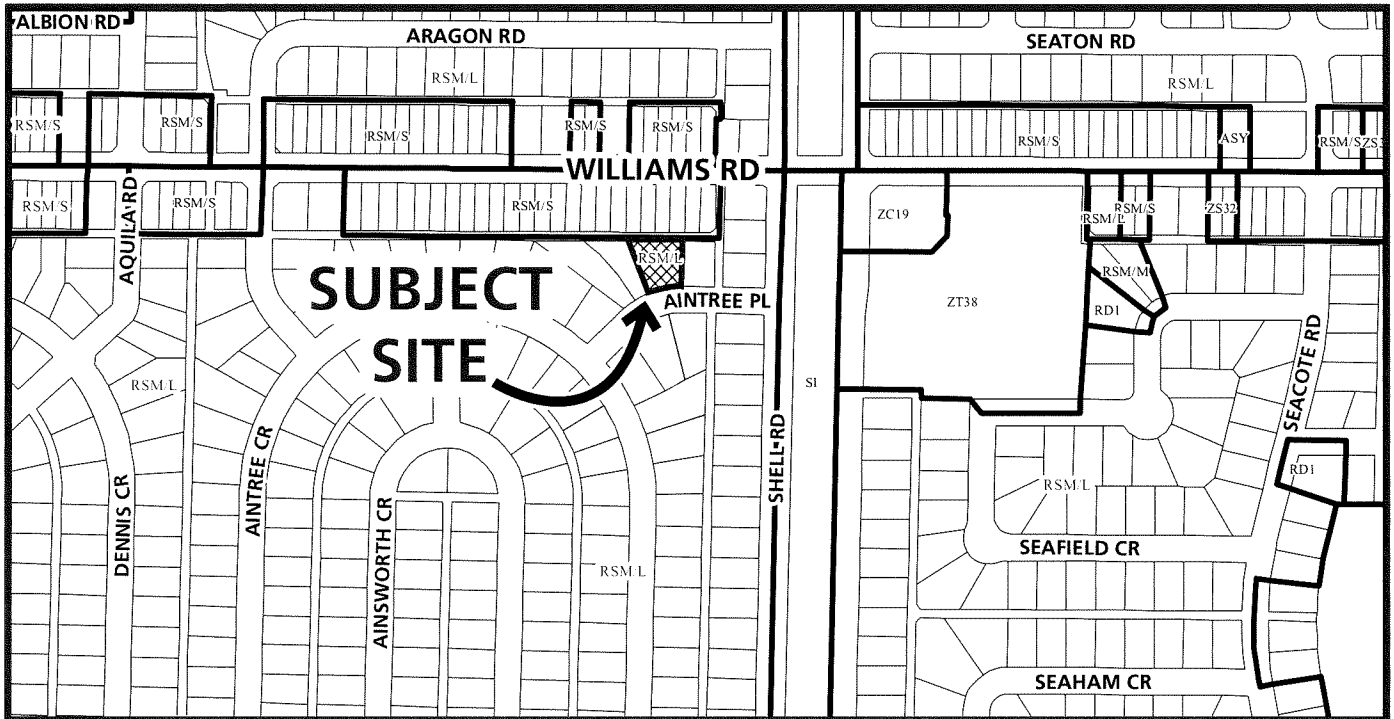
Re: **Application by Doxa Construction Ltd. for a Development Permit at
4440 Vanguard Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of an approximately 1,102 m² light industrial building at 4440 Vanguard Road on a site zoned “Industrial Retail (IR1)”.



City of
Richmond



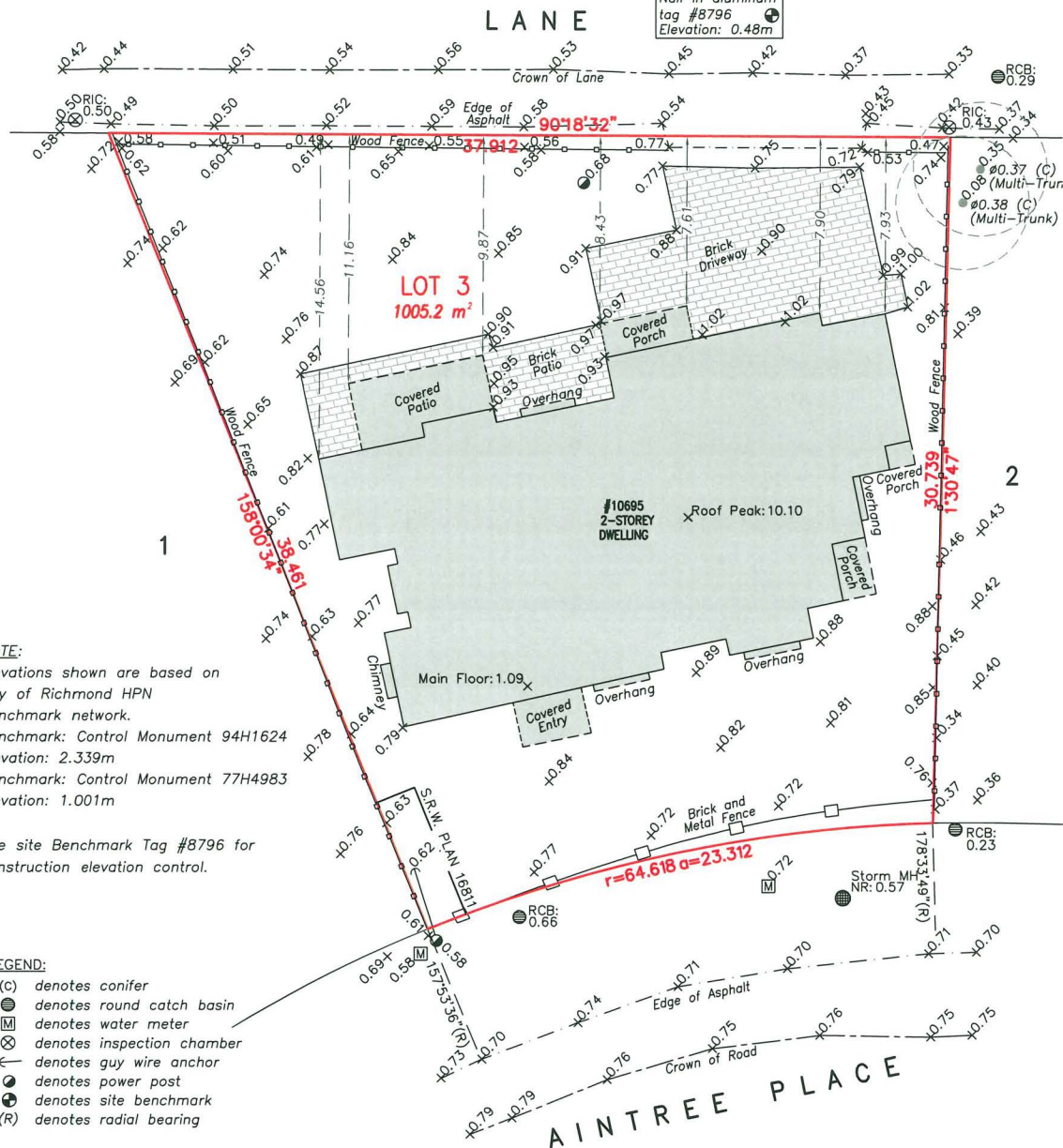
	<p style="text-align: center;">DP 26-009020</p>	<p>Original Date: 04/28/26 Revision Date: Note: Dimensions are in METRES</p>
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TOPOGRAPHIC SURVEY OF LOT 3
BLOCK 12 SECTION 35 BLOCK 4 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTRICT PLAN 18551

#10695 AINTREE PLACE,
 RICHMOND, B.C.
 P.I.D. 003-970-124



Site Benchmark
 Nail in aluminum
 tag #8796
 Elevation: 0.48m



NOTE:
 Elevations shown are based on
 City of Richmond HPN
 Benchmark network.
 Benchmark: Control Monument 94H1624
 Elevation: 2.339m
 Benchmark: Control Monument 77H4983
 Elevation: 1.001m

Use site Benchmark Tag #8796 for
 construction elevation control.

LEGEND:

- (C) denotes conifer
- ⊙ denotes round catch basin
- ⊞ denotes water meter
- ⊗ denotes inspection chamber
- ← denotes guy wire anchor
- ⦿ denotes power post
- ⊕ denotes site benchmark
- (R) denotes radial bearing

SCALE: 1:200



ALL DISTANCES ARE IN METRES AND DECIMALS
 THEREOF UNLESS OTHERWISE INDICATED

© copyright
 J. C. Tam and Associates
 Canada and B.C. Land Surveyor
 115 - 8833 Odlin Crescent
 Richmond, B.C. V6X 3Z7
 Telephone: (604) 214-8928
 Fax: (604) 214-8929
 E-mail: office@jctam.com
 Website: www.jctam.com
 Job No. 8323
 FB-452 P7-8
 Drawn By: WK

DWG No. 8323-Topo-03

RE-INSPECTED:

Johnson Tam
 JQQ5M3
 Digitally signed by
 Johnson Tam JQQ5M3
 Date: 2025.12.23
 13:44:34 -08'00'

JOHNSON C. TAM, B.C.L.S., C.L.S.

DECEMBER 23rd, 2025.

CERTIFIED CORRECT:

LOT DIMENSION ACCORDING TO
 FIELD SURVEY.

Johnson Tam
 JQQ5M3
 Digitally signed by
 Johnson Tam JQQ5M3
 Date: 2025.12.23
 13:44:02 -08'00'

JOHNSON C. TAM, B.C.L.S., C.L.S.

APRIL 15th, 2025.



DP 26-009020

Attachment 3

Address: 10695 Aintree Place

Applicant: Brad Dore

Owners: Tasneem Hassan and Syed Hassan

Planning Area(s): Shellmont

	Existing	Proposed
Site Area:	1005.0 m ²	1005.0 m ²
Land Uses:	Single detached residential	Single detached residential with detached rear yard infill building
OCP Designation:	Neighbourhood Residential	No Change
Zoning:	Small-Scale Multi-Unit Housing (RSM/L)	No Change
Number of Units:	2	3

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6 FAR for up to 464.5 m ² of lot area, plus 0.3 FAR for the remainder	Max. 0.6 FAR for up to 464.5 m ² of lot area, plus 0.3 FAR for the remainder	none permitted
Lot Coverage:	Building: Max. 45% Non-porous surfaces: Max. 70% Live Landscaping: Min. 20%	Building: Max. 45% Non-porous surfaces: Max. 70% Live Landscaping: Min. 20%	none
Rear Infill Unit - Front Yard Setback	Min. 6.0 m	> 6.0 m	none
Rear Infill Unit - Side Yard Setback	Min. 1.2 m	2.0 m	none
Rear Infill Unit - Rear Yard Setback	Min. 0.9 m	1.0 m	none
Separation between single detached house and infill unit:	Min. 6.0 m	6.0 m	none
Rear Yard Infill Unit Height (m):	Max. 10.0 m	7.4 m	none
Off-street Parking Spaces	Min. 0.5 Per Unit	3	none
Private Outdoor Space	Min. 6.0 m ² Per Unit	26.0 m ²	none



DP 26-009020

To the Holder: Tasneem Hassan and Syed Hassan

Property Address: 10695 Aintree Place

Address: 10695 Aintree Place

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #5 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$30,261.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 26-009020

To the Holder: Tasneem Hassan and Syed Hassan

Property Address: 10695 Aintree Place

Address: 10695 Aintree Place

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

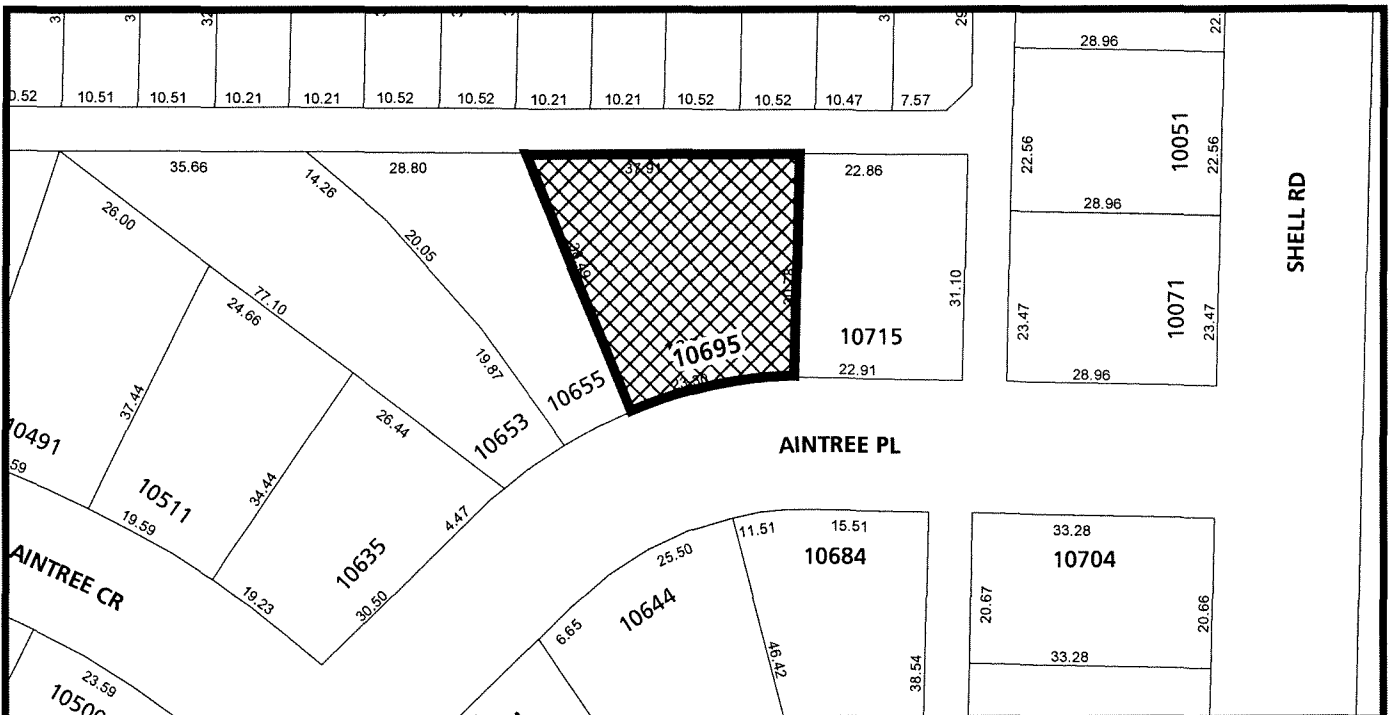
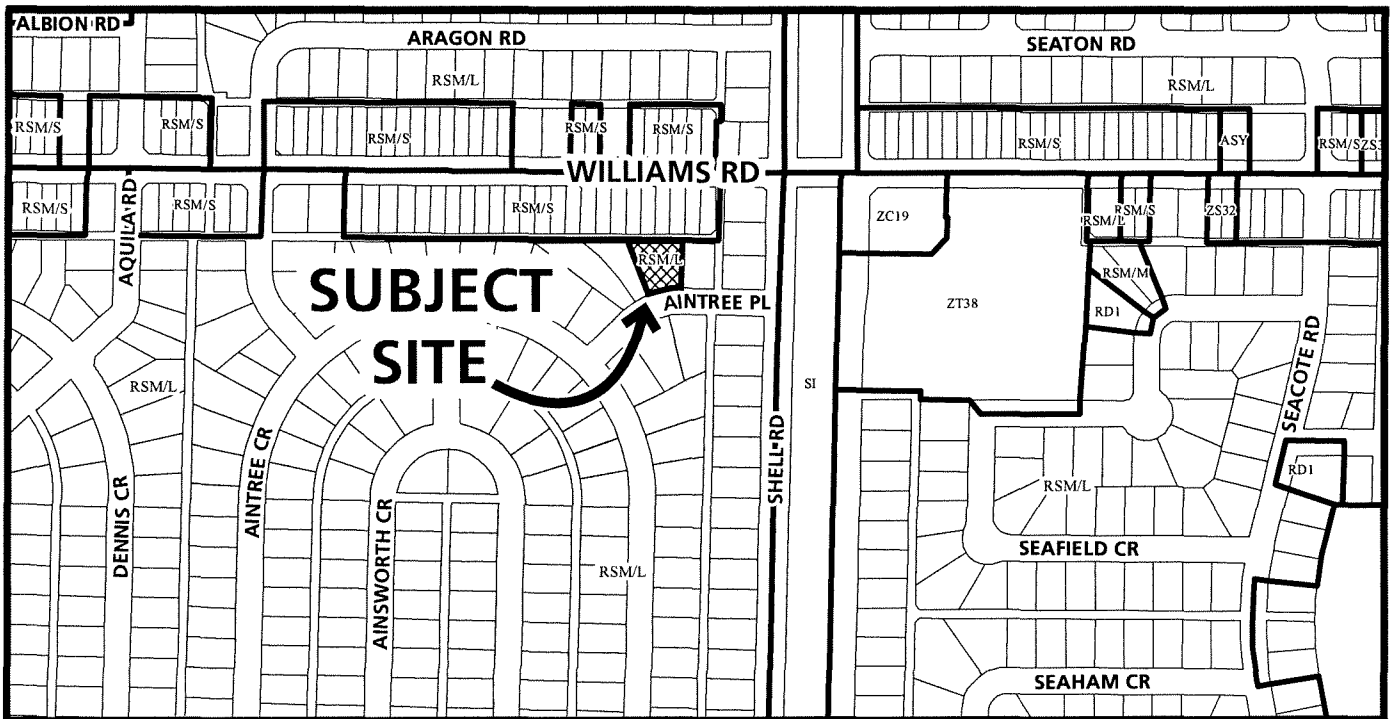
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 26-009020
SCHEDULE "A"

Original Date: 04/28/26
Revision Date:

Note: Dimensions are in METRES

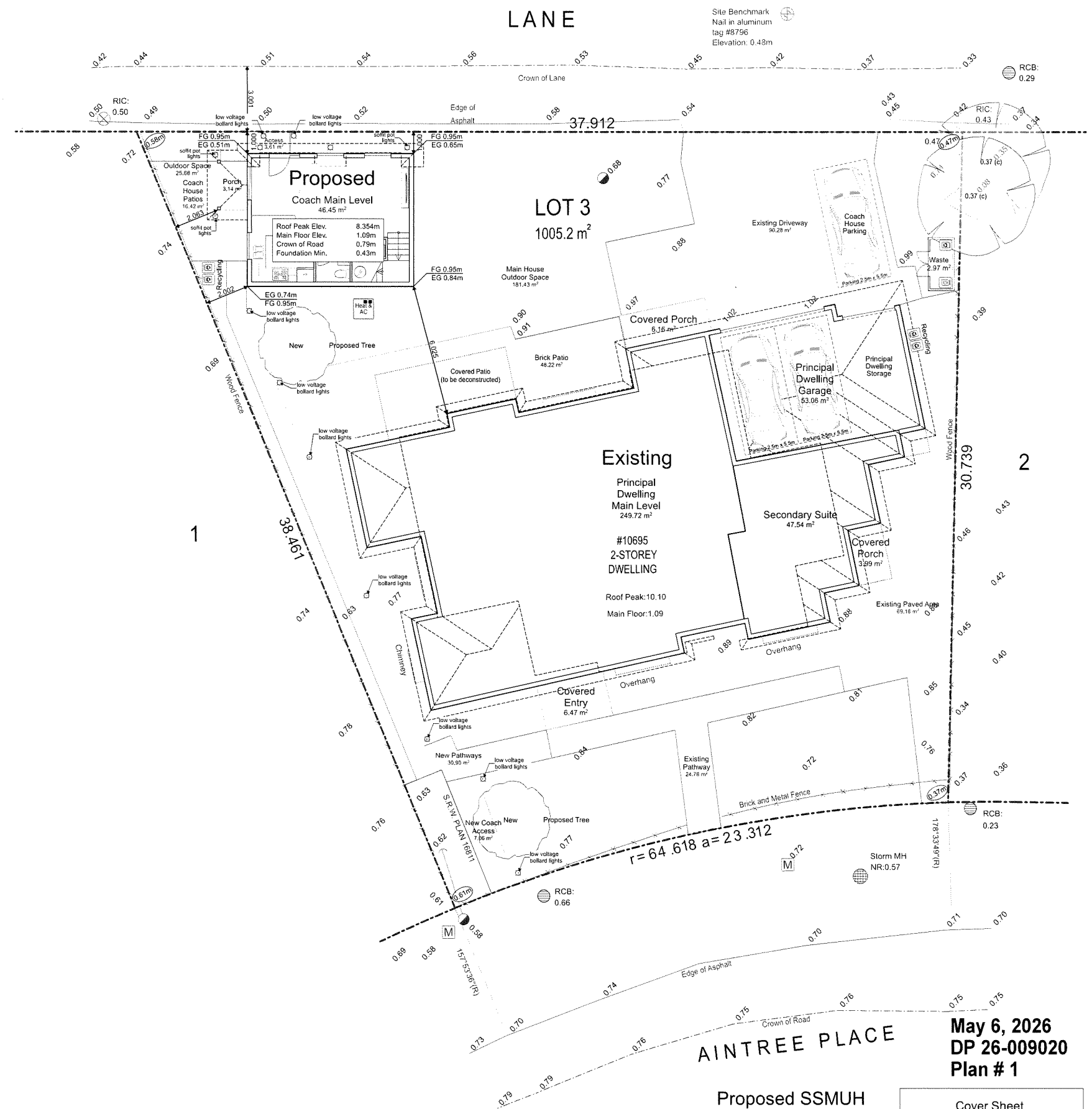
Proposed SSMUH Coach House 10695 Aintree Place

Project Summary

Proposal	Small Scale Multi-Unit	
Address	10695 Aintree Place	
Zoning	RSM SSMUH	
Lot Size		
Lot Width	22.860 m.	75.0 ft.
Lot Depth	29.250 m.	96.0 ft.
Site Area	1,005.2 m ²	10,820 s.f.
	ALLOWABLE	PROPOSED
FAR 0.6 on 464.5 m ²	278.70 m ²	3000 s.f.
FAR 0.30 in access of 464.5 m ²	162.21 m ²	1746 s.f.
Allowable FAR	440.91 m ²	4746 s.f.
Flex Space Allowable	80.00 m ²	861 s.f.
Wall Thickness Bonus 2% of Coach House only	1.76 m ²	19 s.f.
Stairs maximum 10m ² per dwelling	15.00 m ²	161 s.f.
4.3A.1(c)) Green Building System 2.35m ² per dwelling	2.35 m ²	25 s.f.
Total FAR	540.02 m ²	5813 s.f.
10% of floor area for covered areas	54.00 m ²	581 s.f.
Permitted Lot Coverage 45% for buildings	452.34 m ²	4869 s.f.
Permitted non-porous surfaces 70%	703.64 m ²	7574 s.f.
Landscaping with live plant material 20%	201.04 m ²	2164 s.f.
Live landscaping min. 55% of required front yard	75.44 m ²	812 s.f.
Heights		
Maximum building height Coach House	7.5 m.	24.6 ft.
Yards & Setbacks		
Front Yard	6.00 m.	19.69 ft.
Rear Yard Coach house	1.00 m.	3.28 ft.
Side Yard lot width greater than 20m	2.00 m.	6.56 ft.
Maximum Continuous Wall 55%	16.09 m.	52.78 ft.



Sketched Perspective
1:137.14



Site Plan
1/8" = 1'-0"

Legal Address

LOT 3, BLOCK 4N, SUB BLOCK 12, PLAN NWP18551, SECTI ON 35, RANGE 6W, NEW WESTMINSTER LAND DISTRICT.
PID 003-970-124



Sheet Index

Sheet ID	Layout Name
A01	Cover Sheet
A02	Area Overlays
A03	Fire Responses Plan
A04	Shadow Study
A05	3D Views
A06	Schematic Plans & Elevations
A07	Floor Plans
A08	Elevations & Sections
L01	Landscape Plan

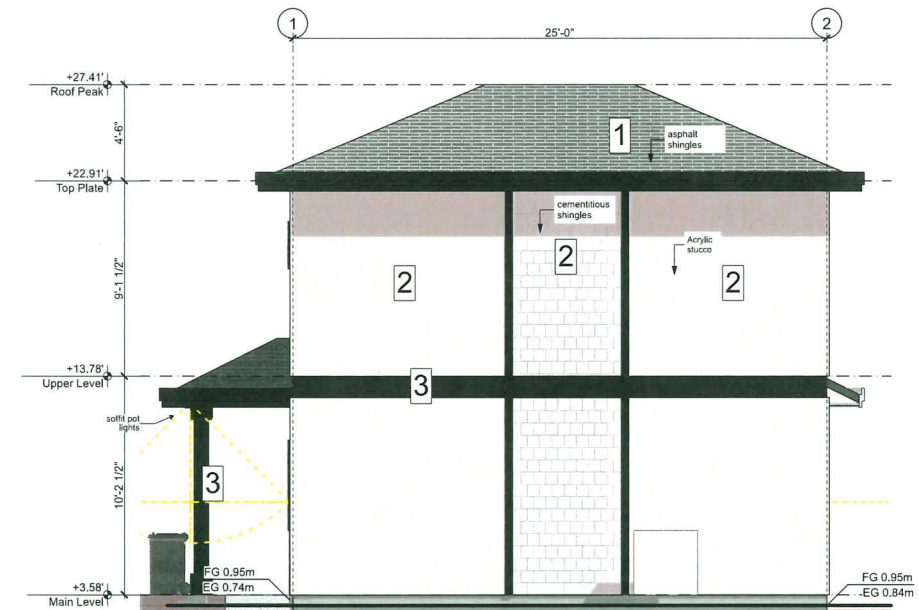
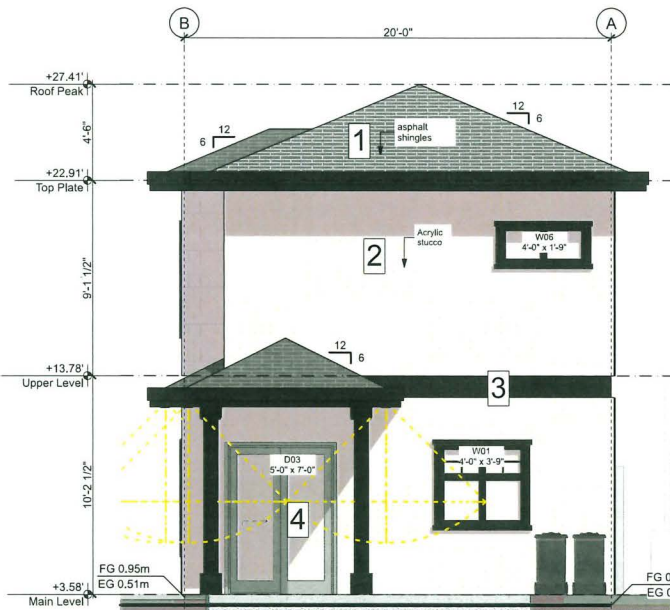
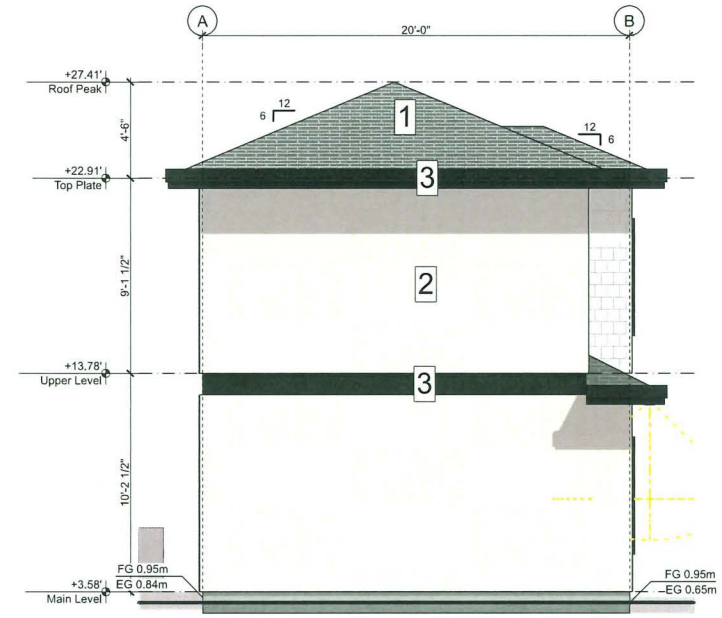
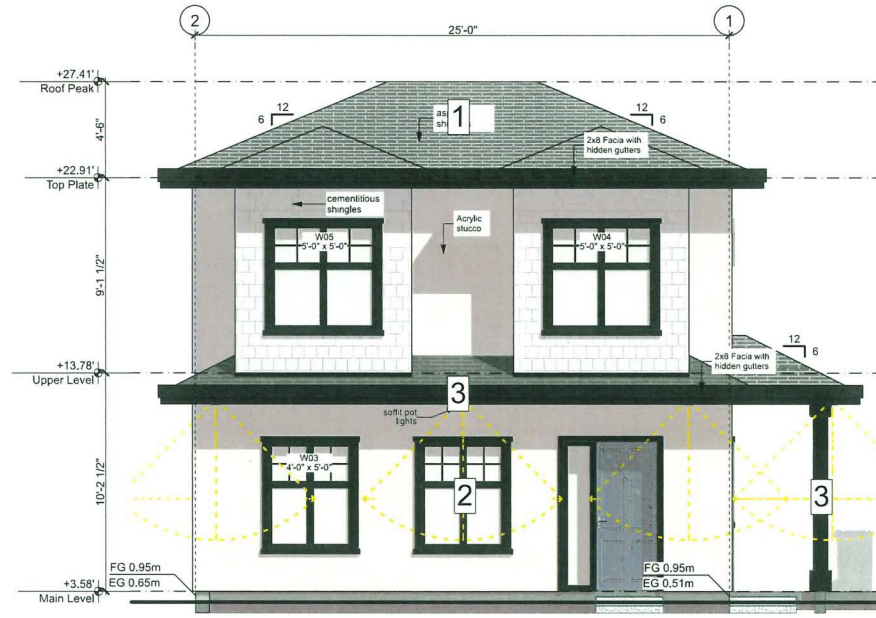
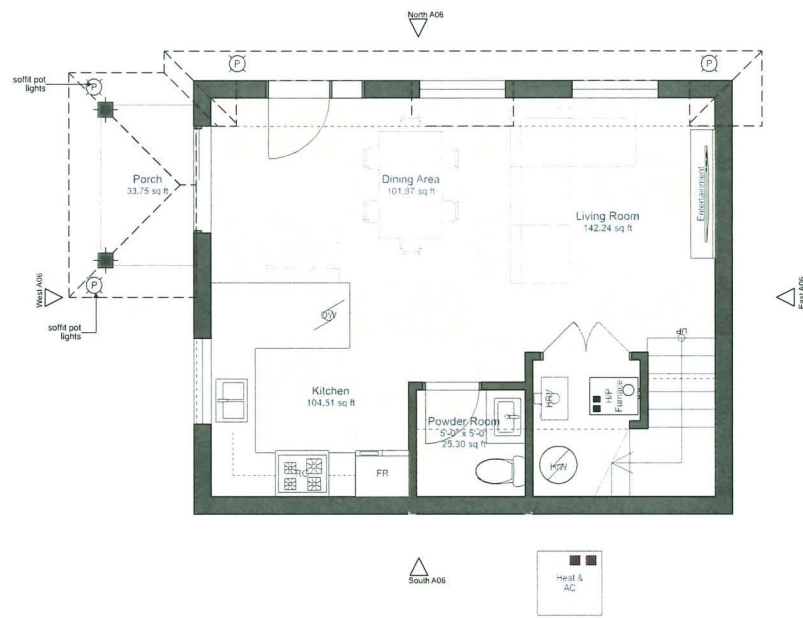
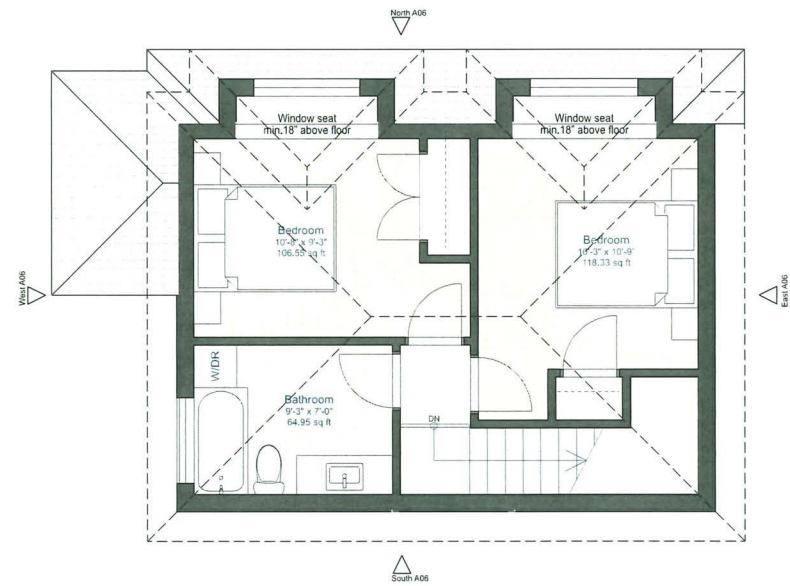
Proposed SSMUH
Coach House
10695 Aintree Place
Richmond, BC

The design and specifications of all drawings conform to BCBC 2024. All drawings are to SCALE in the absence of a dimension the drawings may be scaled.

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May 6, 2026
DP 26-009020
Plan # 1

Cover Sheet	
Issued for Development Permit	Monday, March 30, 2026
Issued for Development Permit	Wednesday, May 6, 2026
A01	

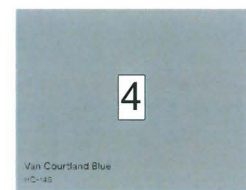


SW7069 TRIM Sherwin
 BASE OC 117 Benjamin moore



2

Simply White
 OC-117
 Benjamin Moore Simply White OC-117
 Acrylic Stucco & Cementitious Shingles



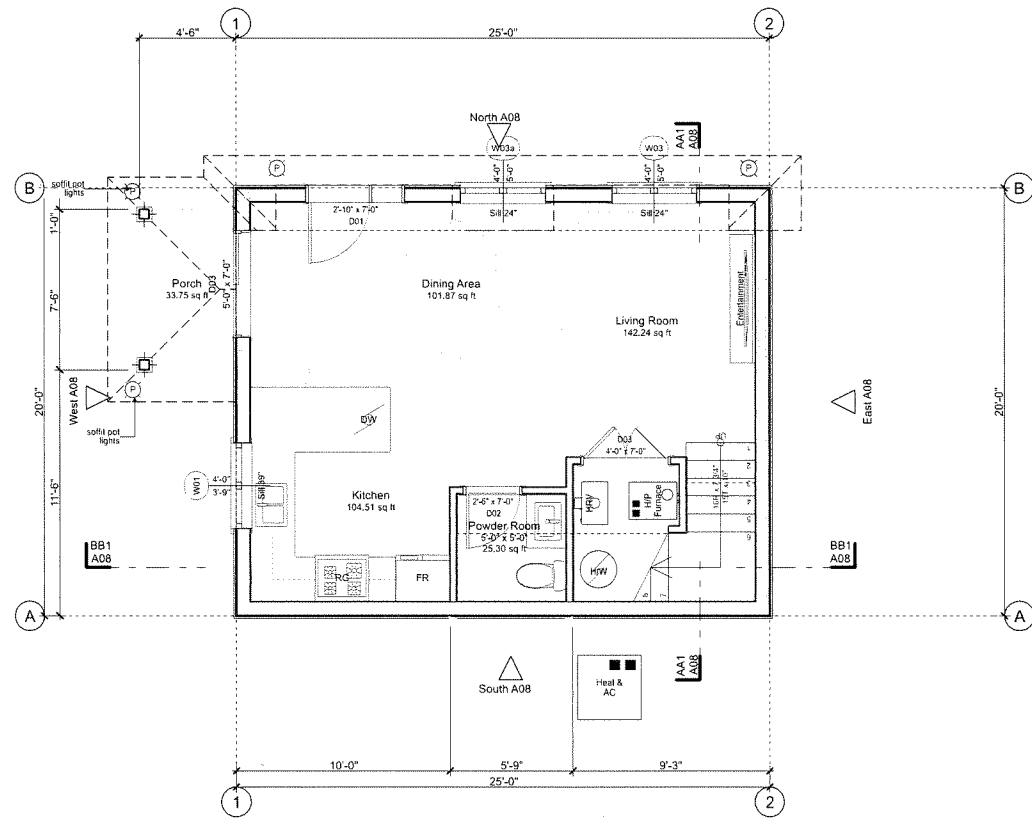
Proposed SSMUH
 Coach House
 10695 Aintree Place
 Richmond, BC

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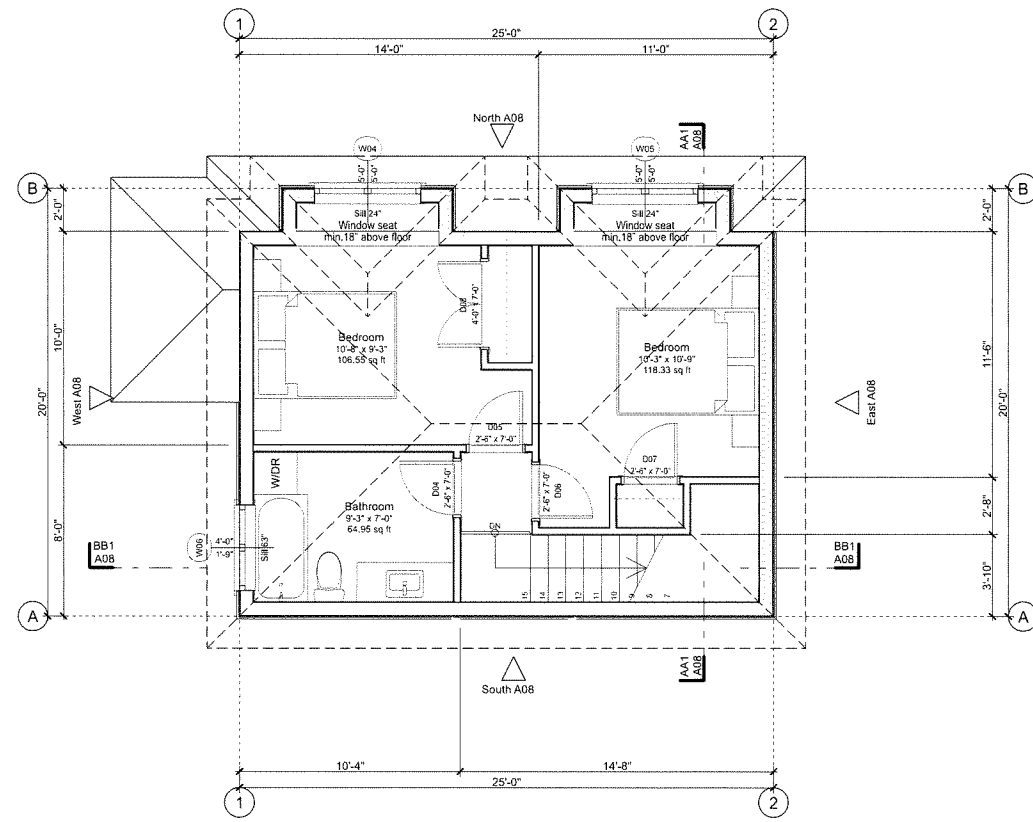
Schematic Plans & Elevations	
Issued for Development Permit	Monday, March 30, 2026
Issued for Development Permit	Wednesday, May 6, 2026
A06	

May 6, 2026
 DP 26-009020
 Plan # 2



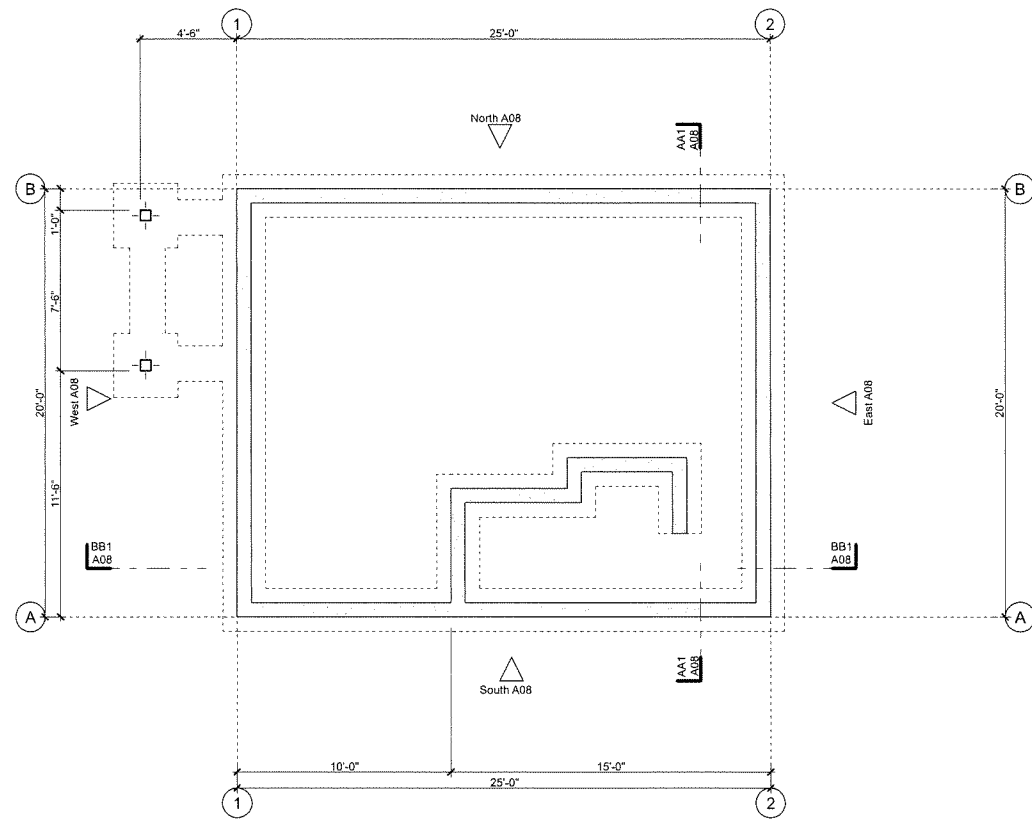
Main Level

1/4" = 1'-0"



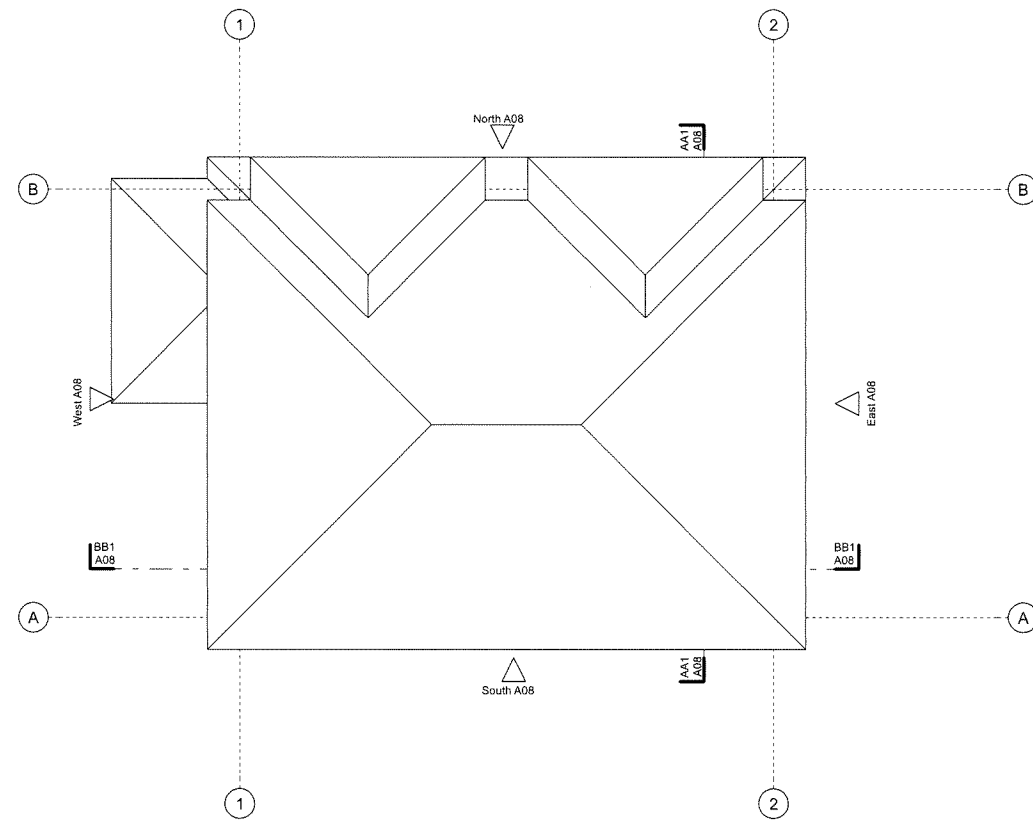
Upper Level

1/4" = 1'-0"



Foundation

1/4" = 1'-0"



Roof Peak

1/4" = 1'-0"

May 6, 2026
 DP 26-009020
 Plan # 3

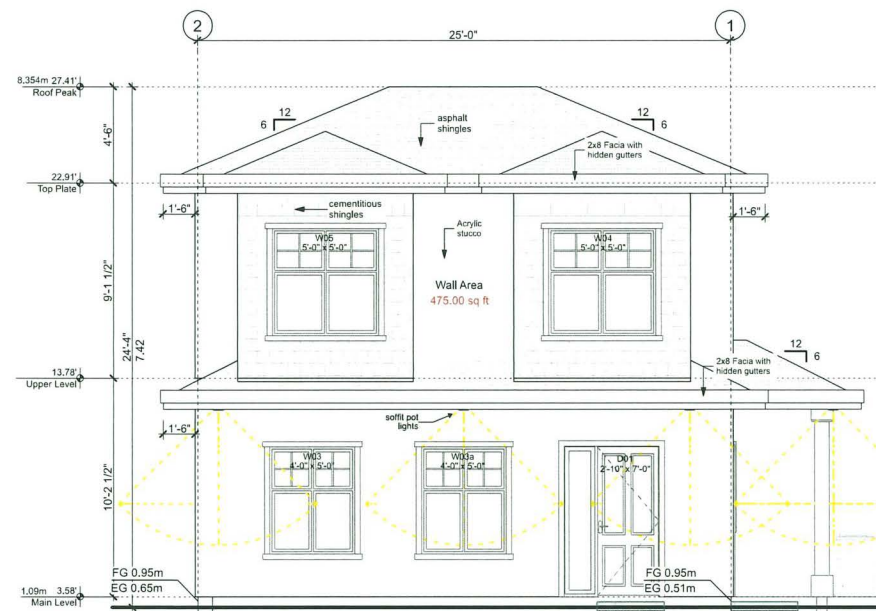
Proposed SSMUH
 Coach House
 10695 Aintree Place
 Richmond, BC

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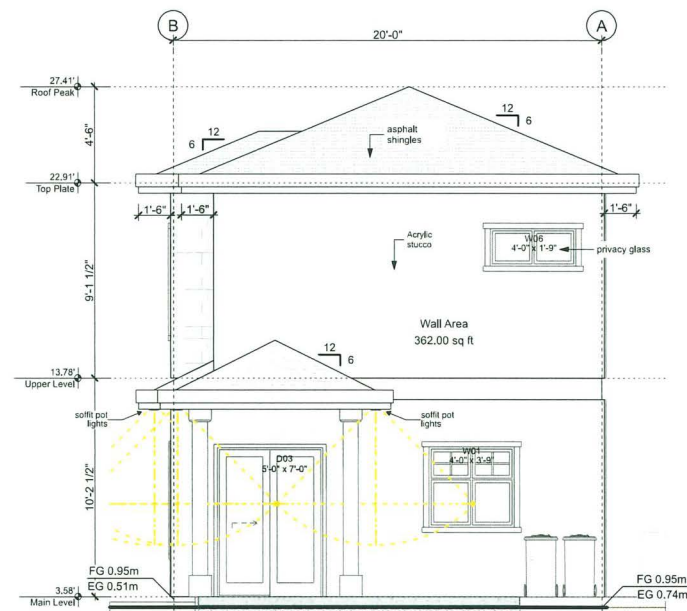
Floor Plans	
Issued for Development Permit	Monday, March 30, 2026
Issued for Development Permit	Wednesday, May 6, 2026
A07	



North
1/4" = 1'-0"

Openings North Wall		
ID	Opening Size	Opening Area
W03	4'x5'	20.00
W04	4'x5'	20.00
W05	5'x5'	25.00
W06	5'x5'	25.00
		90.00 ft ²

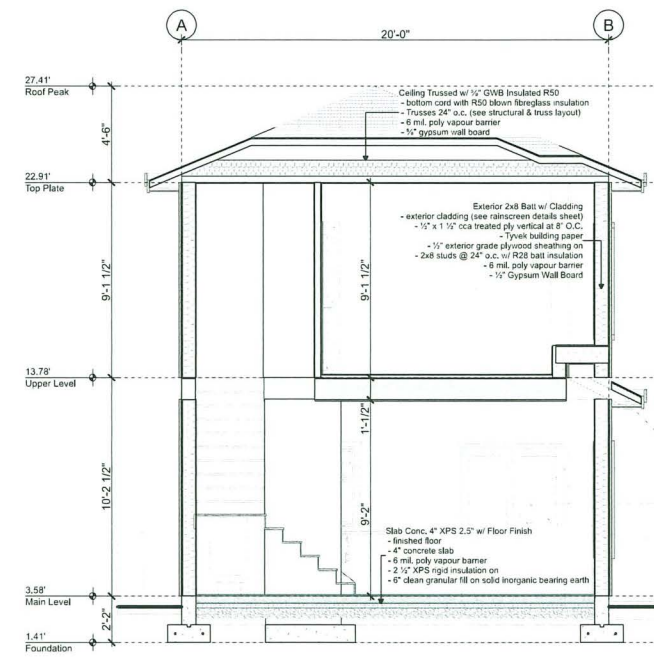
Limiting Distance 4.0m
Wall area 475 s.f.
Allowable openings 28% or 133 s.f.



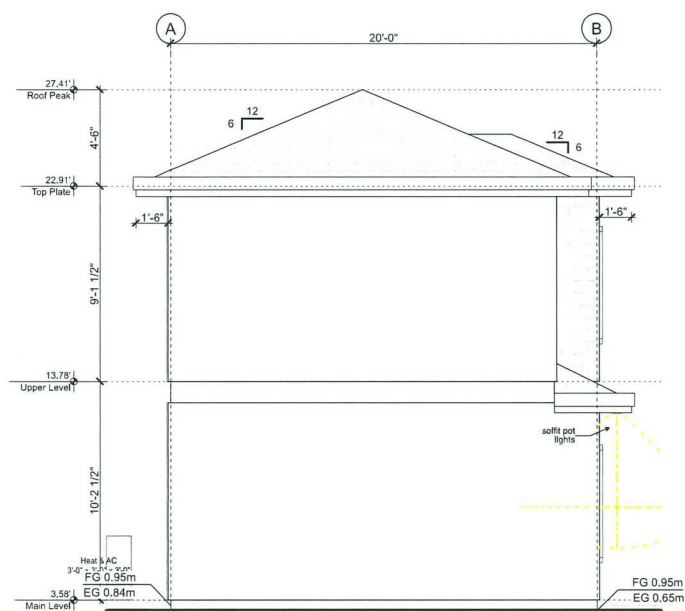
West
1/4" = 1'-0"

Openings West Wall		
ID	Opening Size	Opening Area
W01	4'x3'-9"	15.00
W06	4'x1'-9"	7.00
		22.00 ft ²

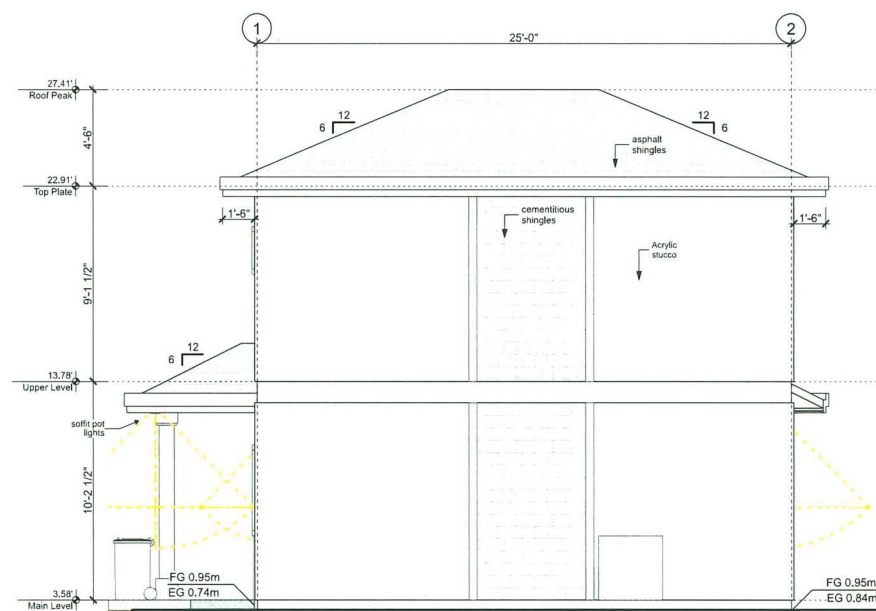
Limiting Distance 2.0m
Wall area 362 s.f.
Allowable openings 11% or 40 s.f.



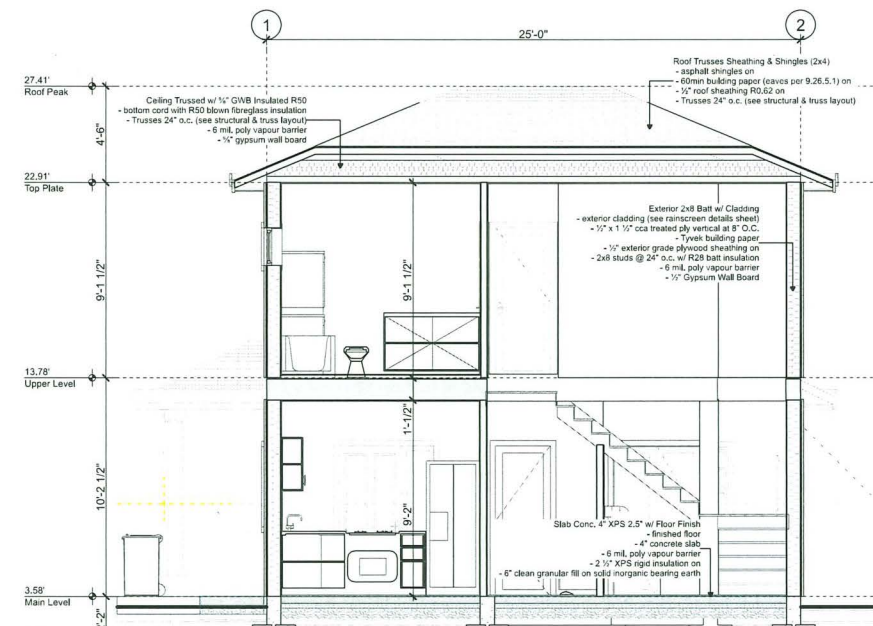
Section
1/4" = 1'-0"



East
1/4" = 1'-0"



South
1/4" = 1'-0"



Section
1/4" = 1'-0"

May 6, 2026
DP 26-009020
Plan # 4

Proposed SSMUH
Coach House
10695 Aintree Place
Richmond, BC

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Elevations & Sections

Issued for Development Permit Monday, March 30, 2026

Issued for Development Permit Wednesday, May 6, 2026

A08

LANDSCAPE LEGENDS

SYMBOL	MATERIALS	DETAILS
	PROPOSED CONCRETE UNIT PAVERS	
	PROPOSED CONCRETE SLAB PAVING	
	PROPOSED PLANTING BED	
	EXISTING PLANTING AREA TO BE RETAINED	
	EXISTING PAVED AREA TO BE RETAINED	

LANDSCAPE NOTES

- DO NOT SCALE DRAWINGS.
- LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
- ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
- THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

LANDSCAPE GRADING LEGENDS

SYMBOL	DESCRIPTIONS
+ 1.09m	PROPOSED SPOT ELEVATION
+ TW 1.09m	TOP OF WALL ELEVATION
+ BW 0.74m	BOTTOM OF WALL ELEVATION
+ TS 1.09m	TOP OF STAIR ELEVATION
+ BS 0.71m	BOTTOM OF STAIR ELEVATION

LANDSCAPE GRADING NOTES

- ALL GRADING INFORMATION IS PRELIMINARY ONLY.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS.
- ALL EXISTING SURVEY INFORMATION APPROXIMATE. VERIFY ALL EXISTING GRADES WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM PRIOR TO PROCEEDING.
- UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. SOFT LANDSCAPE AREAS TO BE A MAXIMUM 3:1 SLOPE.

LOT COVERAGE SUMMARY:
 LOT AREA: 10820 sf
 LANDSCAPING WITH LIVE PLANT MATERIAL AREA: 3436 sf
 GRAVEL AREA: 209 sf
 TOTAL POROUS AREA: 3645 sf
 31.8% OF THE LOT AREA IS LANDSCAPING WITH LIVE PLANT MATERIAL.
 33.7% OF THE LOT AREA IS POROUS SURFACE.

AUTOMATIC IRRIGATION SYSTEM TO BE INSTALLED FOR ALL NEW PLANTING BEDS.

PLANT LIST

QTY. BOTANICAL NAME COMMON NAME SIZE SPACING

PROPOSED TREES



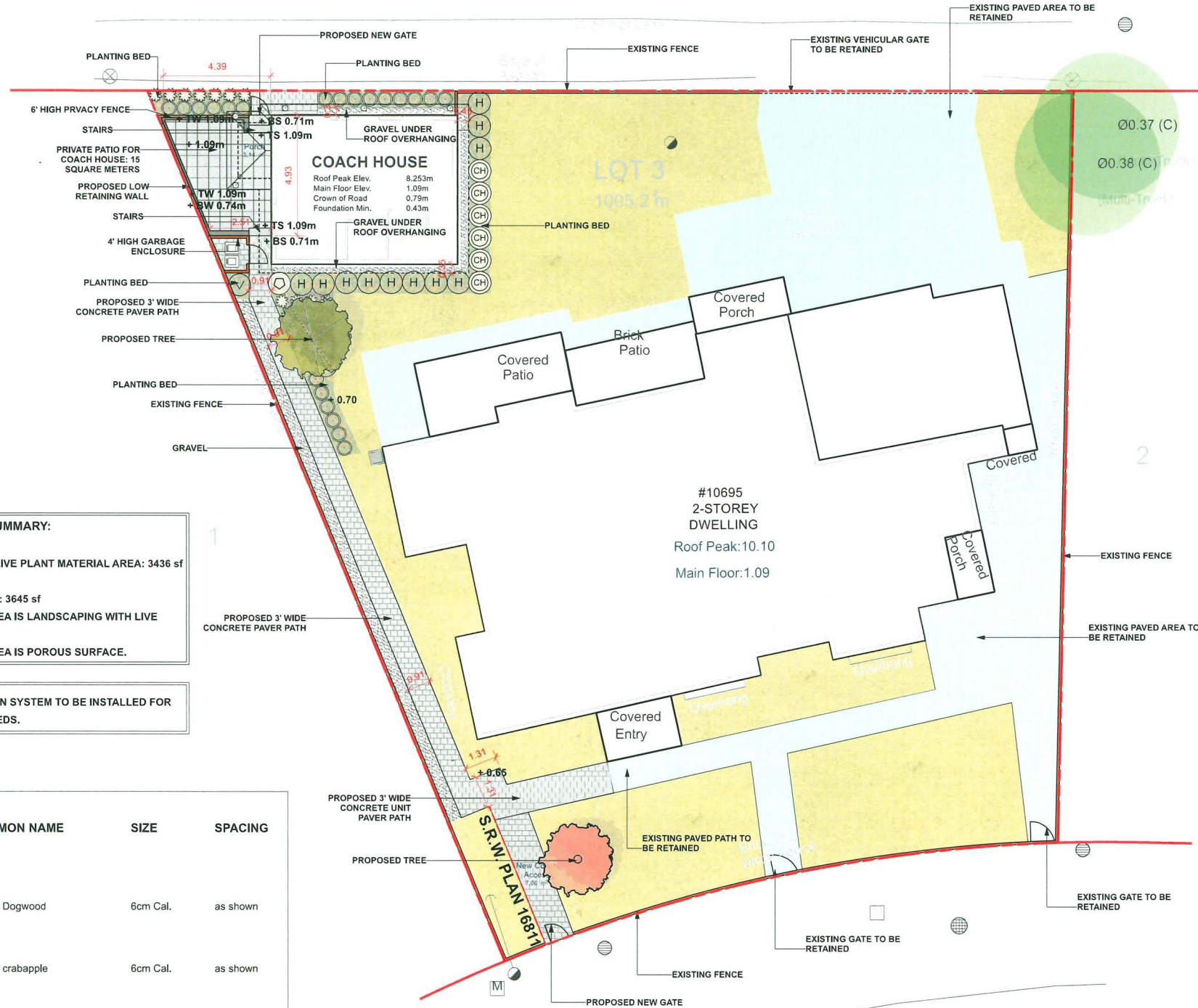
1	Cornus nuttallii	Pacific Dogwood	6cm Cal.	as shown
Native species				
1	Malus fusca	Pacific crabapple	6cm Cal.	as shown
Native species				

SHRUBS & GROUNDCOVERS

	1	Rhododendron 'Golden Lights'	Golden Lights Azalea	#3 pot	36" o.c
	22	Sarcococca hookeriana humilis	Himalayan Sweet Box	#2 pot	24" o.c
	3	Rhododendron 'Crete'	Pink Rhododendron	#3 pot	36" o.c
	11	Hydrangea paniculata 'Bailpanone'	Little Hottie® Panicle Hydrangea	#3 pot	36" o.c
	18	Dryopteris erythrosora	Autumn Fern	#1 pot	24" o.c
	6	Choisya x dewitteana 'Aztec Pearl'	Mexican Orange	#3 pot	36" o.c

NOTES:

- In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
- All planting shall be in accordance with CSLA Canadian Landscape Standard, latest edition.
- All planting beds to be installed with 2"(50mm) mulch per specifications.



HOMING LANDSCAPE ARCHITECTURE

ADDRESS: 1423 W 11TH AVENUE,
 VANCOUVER, BC, CANADA V6H 1K9
 CELL: 778-323-3536
 EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT RESERVED. IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
A	26-02-03	ISSUED FOR DP
B	2026-05-06	ISSUED FOR DP

10695 AINTREE PLACE

PROJECT ADDRESS:
 10695 AINTREE PLACE
 RICHMOND,
 BC, CANADA

PROJECT NUMBER: 25-42

SCALE: 1:100

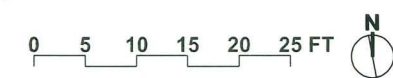
DRAWN BY: EL

REVIEWED BY: EL

Landscape Plan

May 6, 2026
DP 26-009020
Plan # 5

L1.0





North East View
3" = 1'-0"



North Lane View
3" = 1'-0"



North West Lane
3" = 1'-0"



West View
6" = 1'-0"

May 6, 2026
DP 26-009020
Reference Plan

Proposed SSMUH
Coach House
10695 Aintree Place
Richmond, BC

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3D Views	
Issued for Development Permit	Monday, March 30, 2026
Issued for Development Permit	Wednesday, May 6, 2026
A05	

Staff Report

Origin

Doxa Construction Ltd., on behalf of 1428891 BC Ltd. (Directors: Zhuang Ge Kan and Yan Yang), has applied to the City of Richmond for permission to develop an approximately 1,102 m² bus service facility designed for vehicle maintenance and storage at 4440 Vanguard Road (Attachment 1). The site is zoned “Industrial Retail (IR1)”.

The site is currently vacant and does not contain any buildings. A Servicing Agreement (SA) will be required to be entered into prior to issuance of the Building Permit (BP) for frontage improvements and review of existing and proposed site service connections for the development.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north: A site zoned “Industrial Retail (IR1)” that contains existing industrial buildings.

To the east: Residential properties containing single-family dwellings zoned “Small-Scale Multi-Unit Housing (RSM/L)”.

To the south: A site zoned “Industrial Retail (IR1)” that contains existing industrial buildings.

To the west: Across Vanguard Road, a site zoned “Industrial Retail (IR1)” that contains a light industrial building and an at-grade car wash.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified as part of the review of the subject Development Permit (DP) application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Industrial Retail (IR1)” zone.

Floodplain Management Implementation Strategy

- The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title is a development permit consideration for this project.

Aircraft Noise Sensitive Development Management

- The property is located within an Aircraft Noise Sensitive Development area; therefore, registration of an aircraft noise indemnity covenant on Title is a DP consideration for this project.

Site Disclosure Statement

- Based on the Site Disclosure Statement (SDS) pertaining to the subject site submitted to the Ministry of Environment and Climate Change Strategy (ENV), a Schedule 2 commercial or

industrial use has occurred on the site. In accordance with the Environmental Management Act (EMA) and Contaminated Sites Regulation (CSR), this has triggered the Site Identification process, and a site investigation is required. In such situations, the City is required to withhold issuance of the DP application until a Release Notice or Certification Document from the Ministry is obtained by the developer. Issuance of a Release Notice or Certification Document from the ENV has been included in the DP Considerations.

Analysis

This facility is proposed to serve as a centralized hub for a regional bus travel business, combining administrative offices with dedicated space for vehicle maintenance and storage. On-site operations focus on essential mechanical servicing and maintenance

Conditions of Adjacency

- The arborist reports that the existing mature hedgerow on the neighbouring properties to the east stands approximately 13.5 m tall. Since the proposed building height is approximately 12 m, this hedgerow will provide a complete visual buffer, effectively screening the structure from the view of the adjacent residential area.
- The proposed building includes a 6.0 m rear (east) setback to ensure the protection and retention of the existing mature hedgerow on the neighbouring properties.
- The proposed setback area features layered landscaping to provide visual interest and seasonal colour in front of the existing mature hedgerow on the neighbouring properties.
- Most windows face west toward Vanguard Road or north toward the auto court, while some transom windows are proposed on the south elevations. No openings are proposed on the eastern façade out of consideration for neighbouring residents.
- Rooftop building mechanical units to service the warehouse are situated on the west portion of the proposed building away from the residential uses, with screening implemented around the units.
- An acoustical consultant confirmed that the building envelope design and rooftop mechanical unit operation would comply with the City's Noise Regulation Bylaw 8856 in relation to sound generated from within the building and rooftop units in accordance with the residential adjacency to the site. A legal agreement registered on Title will be secured as a DP consideration indicating that the development is required to mitigate unwanted noise and demonstrate that the building envelope is designed to avoid noise generated by the internal use from penetrating into residential areas that exceed noise levels allowed in the City's Noise Regulation Bylaw 8856 and noise generated from rooftop mechanical units will comply with the City's Noise Regulation Bylaw 8856.

Urban Design and Site Planning

- The proposed site plan has been arranged to provide adequate space to accommodate off-street parking, loading, vehicle circulation and a landscaping strip along the site's frontage.
- A 13 m wide entry driveway is proposed at the northwest corner of the site to accommodate bus entry and circulation.

- The proposed parking area is proposed adjacent to the entry driveway and is buffered by landscaping islands to separate visitor parking from pedestrian paths and bus/truck turning movements, minimizing traffic conflicts.
- A clearly marked pedestrian walkway from the public sidewalk to the entrance of the building is proposed between the building and parking area.
- Building is set back from the south property line to provide windows for daylight.
- The cantilevered second floor extends over the main entry, providing weather protection while clearly defining the building's entrance.

Architectural Form and Character

- The proposed design features a simple industrial building with a functional and clean aesthetic.
- Office areas are positioned closer to the street to ensure convenient access and enhance the building's curb appeal.
- The primary functions of the building are divided into office spaces and bus bays, with the bus bays located at the rear to minimize operational activities along the street frontage.
- To provide architectural articulation, the elevations facing the street and parking area feature the following design elements:
 - Large windows and openings on both the ground level and second mezzanine level to enhance transparency and natural light.
 - Building projections to break up the building's massing, adding visual interest to the elevation facing the parking area, which remains highly visible from the street.
 - A combination of varying cladding materials and colours to provide further articulation across the building facades.
- The design allows the proposed building to blend well into the immediate industrial retail neighbourhood.
- The selected materials, such as Kingspan Insulated Panels and corrugated metal panels, prioritize ease of construction while maintaining a straightforward and cohesive design.
- The colour scheme has been carefully chosen to align with the client's logo colours, reinforcing brand identity and creating a unified appearance.

Tree Retention

- There are no trees located on the development site or on the adjacent City road frontage.
- 55 trees (tag# 1382-1437) located off-site to the east (i.e., the existing mature hedgerow), will be retained and protected as per the project arborist's specifications.
- To ensure that the existing mature hedgerow is not impacted by the development, proof of a contract or letter of assurance is required, as a condition to DP issuance, to confirm that a certified arborist has been hired to supervise all works along the east edge of the site, including confirming the installation of the tree protection zone on the subject site in

accordance with the arborist recommendations. Tree protection fencing is required to be installed prior to issuance of a building permit for the project.

Landscape Design and Open Space Design

- There is an existing mature evergreen hedge located on the neighbouring residential properties to the east that will be retained as part of this development. This existing hedge provides a landscaped buffer and visual screen between industrial land uses along Vanguard Road and neighbouring residential uses.
- A 6.0 m wide landscape buffer is proposed along the east property line. There is an existing 3.0 m wide SRW on site along the east property line, and no new tree planting is permitted within the SRW. This buffer area features staggered Western Sword fern and salal, as well as a row of cedar hedge. The existing chain link fence along the east property will be retained and a new 1.8 m tall wood fence will be installed along the south property line.
- Landscaping is also proposed along the site frontage, including four conifer trees along Vanguard Road - in front of the building, in front of the parking area, and at the northwest corner of the site. An additional conifer tree is proposed in the landscaping area between the parking area and the adjacent proposed employee outdoor picnic area.
- Permeable paving is proposed for the parking area, and concrete slab paving is specified for the pedestrian walkway and amenity spaces.
- Bollard lighting will illuminate the on-site pedestrian route, with downward-shielded wall-mounted fixtures at the building base to minimize glare and light spill.
- All on-site landscaping will have in-ground irrigation installed.
- A landscape security in the amount of \$169,539.51 will be secured as a DP consideration for this project.

Crime Prevention Through Environmental Design

- Pedestrian wayfinding from the proposed new sidewalk to the building entrance is direct and highly visible from the street and building.
- The off-street parking areas are visible from the street and building, maximizing surveillance of these areas.
- The principal entry is illuminated, reinforcing a sense of security and deterring unauthorized access.

Sustainability

- This building is classified under Part 3 of the BC Building Code. An energy model has been submitted and demonstrated compliance with the required NECB 2020 Part 8 Performance Path.
- This proposal includes nine parking spaces, of which four feature Level 2 charging and one features opportunity charging, in compliance with the City's Zoning Bylaw requirements.
- High-efficiency plumbing fixtures, irrigation systems, and mechanical equipment will be installed to reduce water consumption and improve overall efficiency.

- Permeable surfaces on-site have been increased to approximately 30 per cent to enhance water penetration and minimize pooling.

Site Servicing

- Prior to BP issuance, the applicant is required to enter into a SA for the design and construction of frontage works and service connections, including but not limited to:
 - Construction of new sidewalk, grass and treed boulevard, concrete curb and gutter and pavement widening.
 - Replacement and upgrade of the water main along a portion of Vanguard Road to meet required fire flows.
 - Install approximately 50 m of a new storm sewer along the Vanguard Road and infill the existing ditch fronting the development site.
 - Review and installation of new site service connections.

Conclusions

The proposed development meets applicable policies and DP Guidelines for industrial developments within the context of the site's residential adjacency. On this basis, staff recommend that the development permit be endorsed and considered for issuance by Council.

The list of DP considerations is included in Attachment 3, which has been agreed to by the applicant (signed concurrence on file).

Respectfully submitted,

Chris Bishop, Manager – East, Development

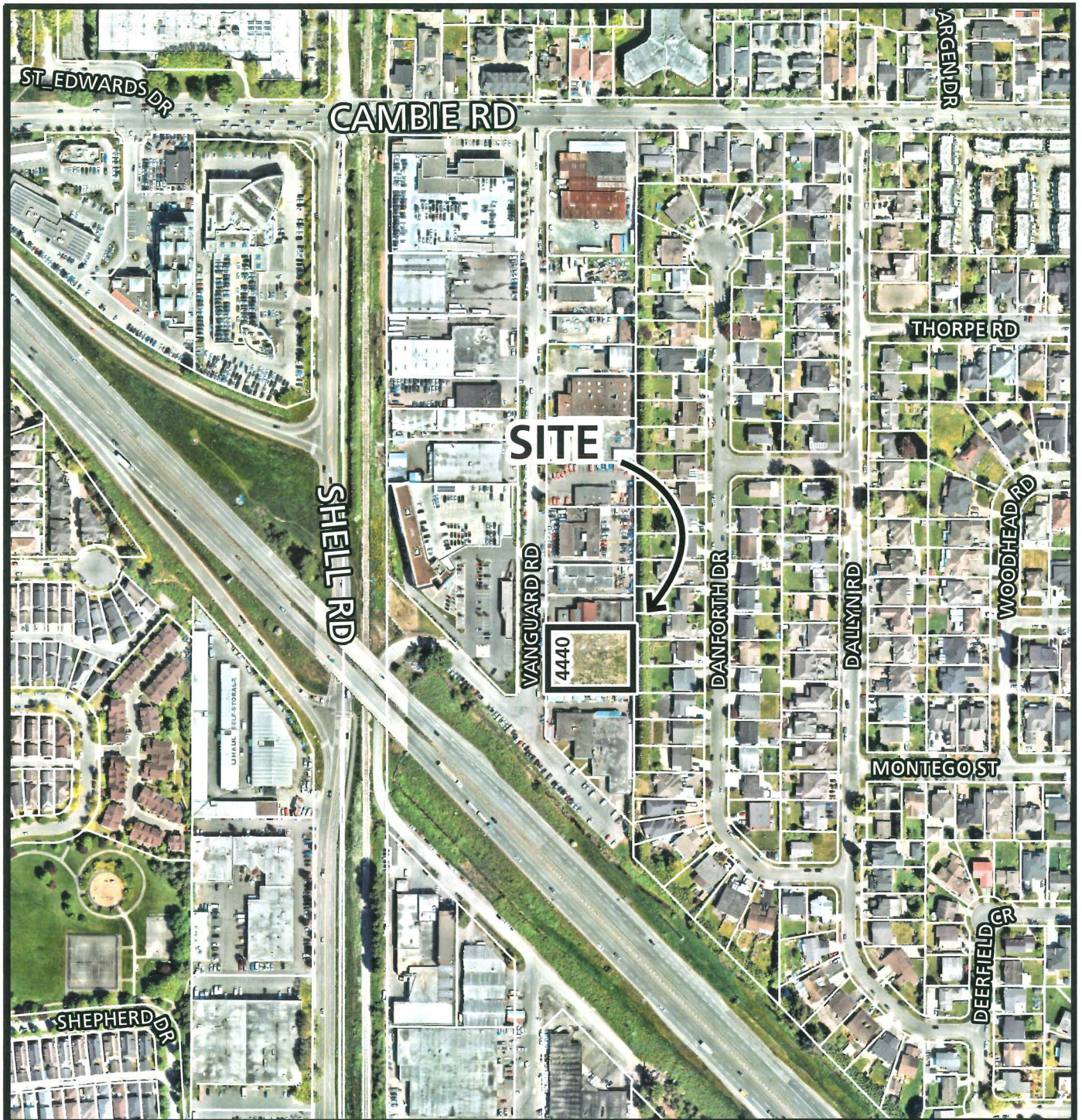
Report Contributors

This report was prepared by Edwin Lee, Planner 2.

Att: 1: Location Map
2: Development Data Sheet
3: Development Permit Considerations



City of
Richmond



DP 24-048989

Original Date: 04/27/26
Revision Date:

Note: Dimensions are in METRES



DP 24-048989

Attachment 2

Address: 4440 Vanguard Road

Applicant: Doxa Construction Ltd.

Owner: 1428991 BC LTD.

Planning Area(s): East Cambie

Floor Area Gross: 1,128 m²

Floor Area Net: 1,102 m²

	Existing	Proposed
Site Area:	2,847 m ²	No change
Land Uses:	Industrial	No change
OCP Designation:	Mixed Employment	No change
Zoning:	IR1	No change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.0	0.39	none permitted
Lot Coverage (building):	Max. 75%	29%	none
Setback – Front Yard:	Min. 3 m	3.0 m	none
Setback – Side Yard (north):	Min. 0.0 m	26.58 m	none
Setback – Side Yard (south):	Min. 0.0 m	1.5 m	none
Setback – Rear Yard:	Min. 0.0 m	6.0 m	none
Height (m):	Max. 12 m	11.88 m	none
Off-street Parking Spaces	9 stalls	9 stalls	none
Off-street Parking Spaces – Accessible:	n/a	0 stall	none
Total off-street Spaces:	9 stalls	9 stalls	none
Bicycle Parking	Class 1 – 3 stalls Class 2 – 3 stalls	Class 1 – 3 stalls Class 2 – 3 stalls	none



Address: 4440 Vanguard Road

File No.: DP 24-048989

Prior to approval of the Development Permit, the developer is required to complete the following:

1. **(Aircraft Noise)** Registration of an aircraft noise indemnity covenant on title.
2. **(Flood Protection)** Registration of a flood indemnity covenant on title.
3. **(Noise Mitigation)** Registration of a legal agreement on title indicating that the development is required to mitigate unwanted noise and demonstrate that the building envelope is designed to avoid noise generated by the internal use from penetrating into residential areas that exceed noise levels allowed in the City's Noise Regulation Bylaw 8856 and noise generated from rooftop mechanical units will comply with the City's Noise Regulation Bylaw 8856.
4. **(Environment)** Ministry of Environment and Climate Change Strategy (ENV) Release Notice or Certification Document or alternative approval to proceed granted from ENV regarding potential site contamination issues.
5. **(Tree Protection)** Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees on neighbouring properties. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
6. **(Landscape Security)** Receipt of a Letter of Credit for landscaping in the amount of \$169,539.51 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency). A legal agreement is required to accompany the Landscape Security to set the terms for its use and release.
7. **(Fees – Notices)** Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City's Consolidated Fees Bylaw No 8636, as amended.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Enter into a Servicing Agreement* for the design and construction of off-site frontage improvements. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to,

Water Works:

- a) Using the OCP Model, there is 189.0 L/s of water available at a 20-psi residual at the Vanguard Road frontage. Based on your proposed development, your site requires a minimum fire flow of 250 L/s.
- b) At Developer's cost, the Developer is required to:
 - i) Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
 - ii) Install approximately 205m of new 300mm PVC water main along Vanguard Road, from the existing 200mm diameter AC water main at the north property line going south following the alignment of the existing water main. Alignment and details such as the fittings of the new water main shall be determined via the servicing agreement design.
 - iii) Fill and abandon, as per MMCD, the existing water main along Vanguard Road to the extent of the proposed water main upgrade.
 - iv) Review hydrant spacing on all road frontages and install new fire hydrants as required to meet City spacing requirements for the proposed land use.
 - v) Provide a right-of-way for the water meter. Minimum right-of-way dimensions to be the size of the meter box (from the City of Richmond supplementary specifications) + any appurtenances (for example, the bypass on

Initial: _____

W2n-SD) + 0.5 m on all sides. Exact right-of-way dimensions to be finalized during the servicing agreement process.

- c) At Developer's cost, the City will:
- i) Cut and cap at main the existing water service connection and removed water meter to the development site.
 - ii) Install one new water service connection off of the proposed water main along Vanguard Road frontage complete with water meter and meter box in a right-of-way which will be provided by the developer as per City's specifications.
 - iii) Complete all tie-ins for the proposed works to existing City infrastructure.

Storm Sewer Works:

- a) At Developer's cost, the Developer is required to:
- i) Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement design.
 - ii) Install approximately 50m of a new storm sewer along the Vanguard Road frontage of the development site complete with manholes as per City specifications. Tie-in the proposed storm sewer to the existing drainage system at the east side of Vanguard Road using manholes and headwalls as required. Confirm the condition of the drainage infrastructure at each tie-in point. Alignment and details such as the slope and high point of the new storm sewer shall be determined via the servicing agreement design.
 - iii) Infill the existing ditch fronting the development site to accommodate the required sidewalk, boulevard, curb and gutter. A watercourse crossing permit is required for modifications to the ditch and culvert fronting 4440 Vanguard Road per the City's Watercourse Protection and Crossing Bylaw No. 8441. The associated watercourse crossing design shall be consistent and coordinated with the servicing agreement design. The proposed storm sewer shall be owned and maintained by the City after City's final acceptance of the proposed storm sewer.
 - iv) Perform a capacity analysis to size the proposed storm sewer and drainage conveyances in Vanguard Road. The analysis shall consider both the existing condition and the 2041 OCP condition, and include runoff from the future roads proposed in the OCP. The minimum diameter of the new storm sewer shall be 600mm as per City specifications.
 - v) Install one new storm service connection off of the proposed storm sewer main, complete with inspection chamber in a right-of-way, as per City specifications to service the development site.
 - vi) Provide a right-of-way for the inspection chamber. Minimum right-of-way dimensions shall be 1.5m by 1.5m. Exact right of way dimensions to be finalized via the servicing agreement process.
- b) At Developer's cost, the City will:
- i) Complete all tie-ins for the proposed works to existing City infrastructure.

Sanitary Sewer Works:

- a) At Developer's cost, the Developer is required to:
- i) Not start onsite excavation or foundation construction until completion of rear-yard sanitary works by City crews.
 - ii) Provide a signed and sealed geotechnical assessment, complete with recommendations to ensure the following conditions are met. The assessment and mitigation recommendations shall be included in the rezoning staff report and the development permit design review.
 - (1) That the City be able to construct, maintain, operate, repair, or remove City utilities/infrastructures (i.e. sanitary main along the east PL) without impact to the onsite works. The building edge shall be set based on the required clearance between the building edge and the existing sanitary pipes as recommended by a professional geotechnical engineer.

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- (2) That the on-site works (e.g. soil densification, preload, foundation works, etc.), or the construction/maintenance of the proposed building, not cause damage to the City utilities/infrastructure (i.e. sanitary main along the east PL).
 - (3) That impact of the site preparation works (e.g., soil densification, pre-load, foundation excavation, dewatering, etc.) to the existing infrastructures around the proposed site (i.e. sanitary main along the east PL) are determined by the Geotechnical Engineer. If the existing infrastructures will be significantly impacted, the works required to mitigate the impact or the replacement of the affected existing infrastructures shall be done prior to start of the site preparation works at developer's cost.
 - (4) Pre and post pre-load and construction surveys and CCTV will be required. Any damage to be repaired and any required replacement shall be done at the Developer's sole cost.
 - (5) Ensure that the existing sanitary sewer system along the east property line remains operational during any preload and/or construction phase. If the existing sanitary line is impacted during site preparation or construction of the proposed development then the developer shall be responsible to make the damaged sanitary system operational during the duration of the onsite works (i.e., temporary bypass via pumping, etc.). The damaged sanitary system shall be replaced at the same alignment through the servicing agreement, at the developer's costs, after completion of the site preparation and/or building construction works.
 - (6) Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
- b) At Developer's cost, the City will:
- i) Cut and cap, at main, the existing sanitary service connection located approximately at the middle of the east property line and remove associated inspection chamber.
 - ii) Cut and cap, at inspection chamber, the existing sanitary service connection located at the northeast corner of the development site. Retain the inspection chamber to serve adjacent properties.
 - iii) Install a new sanitary service connection complete with inspection chamber, off of the existing sanitary sewer at the east property line, as per City specifications to service the development site.
 - iv) Complete all tie-ins for the proposed works to existing City infrastructure.

Street Lighting:

- a) At Developer's cost, the Developer is required to:
- i) Review street lighting levels along Vanguard Road frontage, and upgrade as required.

General Items:

- a) At Developer's cost, the Developer is required to:
- i) Complete other frontage improvements as per Transportation requirements.
 - ii) Coordinate with BC Hydro, Telus and other private communication service providers:
 - (1) To pre-duct for future hydro, telephone and cable utilities along all road frontages.
 - (2) Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - (3) To underground overhead service lines.
 - iii) Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development and proposed undergrounding works, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for

Initial: _____

the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory rights-of-way that shall be shown on the architectural plans/functional plan, the servicing agreement drawings, and registered prior to SA design approval:

- BC Hydro PMT – 4.0 x 5.0 m
 - BC Hydro LPT – 3.5 x 3.5 m
 - Streetlight kiosk – 1.5 x 1.5 m
 - Traffic signal kiosk – 2.0 x 1.5 m
 - Traffic signal UPS – 1.0 x 1.0 m
 - Shaw cable kiosk – 1.0 x 1.0 m
 - Telus FDH cabinet – 1.1 x 1.0 m
- iv) Provide, prior to start of site preparation works or within the first servicing agreement submission, whichever comes first, a preload plan and geotechnical assessment of preload, dewatering, and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
- v) Provide a video inspection report of the existing sanitary sewer along the rear-yard of the development site prior to start of site preparation works or within the first servicing agreement submission, whichever comes first. A follow-up video inspection, complete with a civil engineer's signed and sealed recommendation letter, is required after site preparation works are complete (i.e. pre-load removal, completion of dewatering, etc.) to assess the condition of the existing utilities and provide recommendations to retain, replace, or repair. Any utilities damaged by the pre-load, de-watering, or other ground preparation shall be replaced or repaired at the Developer's cost.
- vi) Conduct pre- and post-preload elevation surveys of all surrounding roads, utilities, and structures. Any damage, nuisance, or other impact to be repaired at the developer's cost. The post-preload elevation survey shall be incorporated within the servicing agreement design.
- vii) Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
- viii) Submit a proposed strategy at the building permit stage for managing excavation de-watering. Note that the City's preference is to manage groundwater onsite or by removing and disposing at an appropriate facility. If this is not feasible due to volume of de-watering, the Developer will be required to apply to Metro Vancouver for a permit to discharge into the sanitary sewer system. If the sanitary sewer does not have adequate capacity to receive the volume of groundwater, the Developer will be required to enter into a de-watering agreement with the City wherein the developer will be required to treat the groundwater before discharging it to the City's storm sewer system.
- ix) Not encroach into City rights-of-ways with any proposed trees, retaining walls, or other non-removable structures. Retaining walls proposed to encroach into rights-of-ways must be reviewed by the City's Engineering Department.
- x) Coordinate the servicing agreement design for this development with the servicing agreement(s) for the adjacent development(s), both existing and in-stream. The developer's civil engineer shall submit a signed and sealed letter with each servicing agreement submission confirming that they have coordinated with civil engineer(s) of the adjacent project(s) and that the servicing agreement designs are consistent. The City will not accept the 1st submission if it is not coordinated with the adjacent developments. The coordination letter should cover, but not be limited to, the following:
- (a) Corridors for City utilities (existing and proposed water, storm sewer, sanitary and DEU) and private utilities.
 - (b) Pipe sizes, material and slopes.
 - (c) Location of manholes and fire hydrants.
 - (d) Road grades, high points and low points.
 - (e) Alignment of ultimate and interim curbs.

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(f) Proposed streetlights design.

- xi) Coordinate with Vancouver Airport Fuel Facilities Corporation (VAFFC) to address the impact of any proposed offsite works, or site preparation works (including densification, dewatering, pre-load, and excavation) or building construction on the existing jet fuel line on Vanguard Road, prior to issuance of a building permit or the start of site preparation works (whichever comes first), and to obtain a permit for all excavation works associated with the development site.
- xii) Enter into, if required, additional legal agreements, as determined through the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Frontage Improvements

- a) The following frontage upgrades will be required along the west property line at the applicant's cost, extending from the subject site's south to north property lines:
 - Vanguard Road from east to west, starting at the existing property line:
 - 1.5 m sidewalk;
 - 2.5 m boulevard;
 - 0.15 m curb and gutter;
 - Pavement extension from existing centreline of road;
 - b) All frontage works shall be designed per the City of Richmond's Engineering Design Specifications
 - c) Asphalt ramp transitions are required at the north and south to connect the new sidewalk back to existing pavement.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
 3. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
 4. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
 5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

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- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- If the development will be constructed in phases and stratified, a Phased Strata Subdivision Application is required. Each phase of a phased strata plan should be treated as a separate parcel, each phase to comply with the Richmond Zoning Bylaw 8500 in terms of minimum lot area, building setback and parking requirements. Please arrange to have the City's Approving Officer review the proposed phased boundaries in the early DP stages. To allow sufficient time for staff review and preparation of legal agreements, the application should be submitted at least 12 months prior to the expected occupancy of development.
- If the development intends to create one or more air space parcels, an Air Space Parcel Subdivision Application is required. To allow sufficient time for staff review and preparation of legal agreements, the application should be submitted at least 12 months prior to the expected occupancy of development.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed copy on file

Signed

Date



City of Richmond

Development Permit

No. DP 24-048989

To the Holder: Doxa Construction Ltd.
Property Address: 4440 Vanguard Road
Address: 4200 Vanguard Road
Richmond, BC V6X 2P4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #16 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$169,539.51. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 24-048989

To the Holder: Doxa Construction Ltd.
Property Address: 4440 Vanguard Road
Address: 4200 Vanguard Road
Richmond, BC V6X 2P4

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

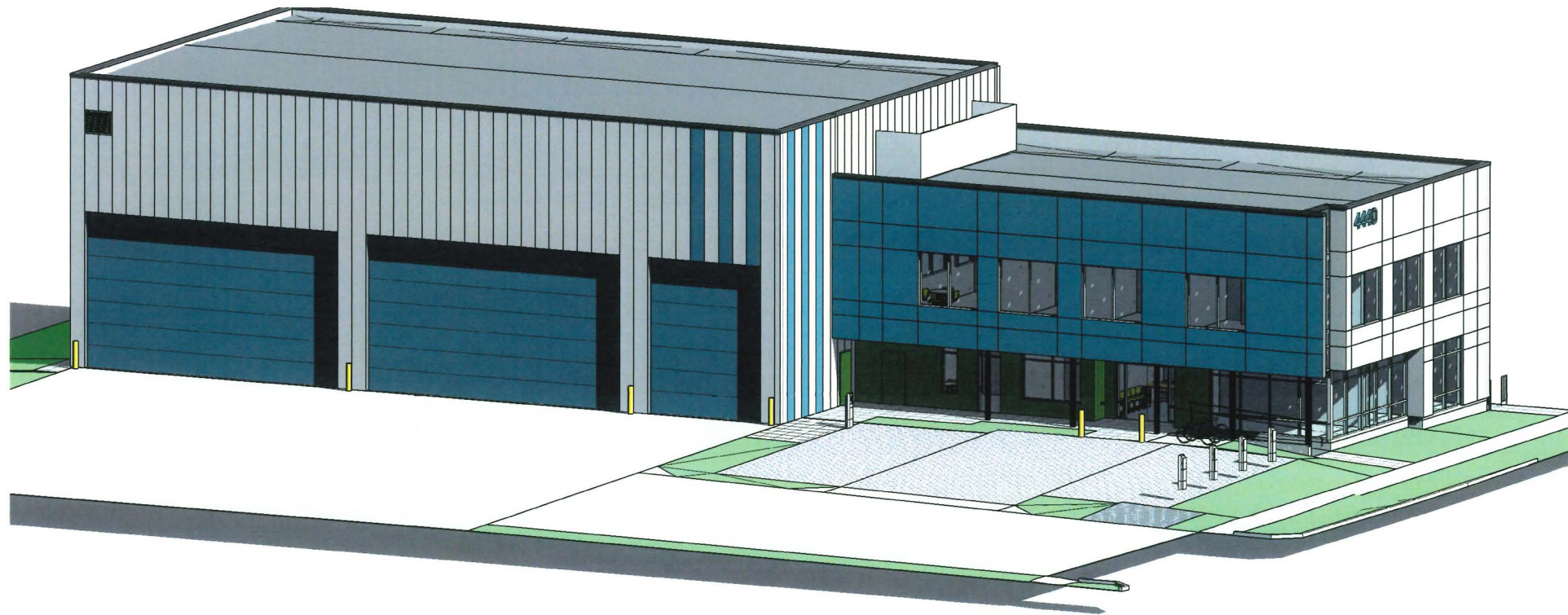
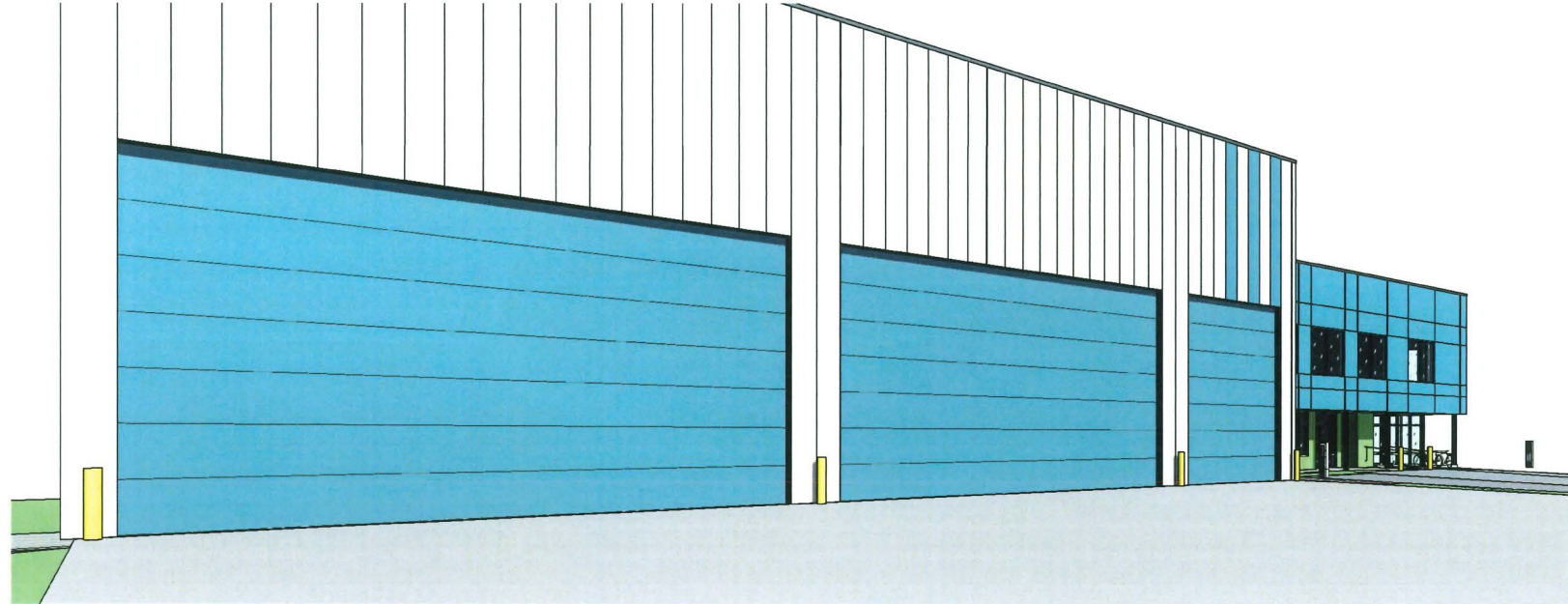
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR

4440 VANGUARD RD.



NO.	DATE	DESCRIPTION
REVISIONS:		
8	APRIL 17, 2026	DP 4 SUBMISSION
7	JAN 30, 2026	DP 3 SUBMISSION

ISSUE:

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 e. info@gradualarchitecture.com
 a. 205 - 8188 Granville Street, Vancouver,
 BC, Canada V6P 4J4
 www.gradualarchitecture.com

SEAL:

REGISTERED ARCHITECT
 BRITISH COLUMBIA
 2026-04-22

PROJECT NAME:
4440 VANGUARD RD. INDUSTRIAL BUILDING

4440 VANGUARD RD., RICHMOND, B.C.

DRAWN BY:	ISSUE #
GA	8
SCALE:	PROJECT NO.
AS SHOWN	GA-G229

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SHEET TITLE:
COVER SHEET

REVISION NO:	SHEET NO:
	A0.1

C.P. STAMP:

CITY STAMP:

DP 24-048989
May 5, 2026
PLAN # 1



LEGAL DESCRIPTION

PROJECT INFORMATION

PARCEL ONE, BLOCK 5N, PLAN NWP67253,
SECTION 36, RANGE 6W, NEW WESTMINSTER
LAND DISTRICT, REF 67253
4440 VANGUARD RD., RICHMOND, BC
IR1

SITE WIDTH (WEST)	46.77 m	153.44 ft
SITE WIDTH (EAST)	46.77 m	153.44 ft
SITE DEPTH (NORTH)	60.93 m	199.90 ft
SITE DEPTH (SOUTH)	60.92 m	199.87 ft
SITE AREA	2849.46 sm	30671.36 sf

BLDG WIDTH	18.69 m	61.33 ft
BLDG DEPTH	51.24 m	168.13 ft
BLDG AREA	876.10 sm	9430.31 sf

ALLOWABLE FAR	2849.46 sm	1.00
PROPOSED FAR	1101.88 sm	0.39

PARKING

	REQUIRED	PROPOSED
GENERAL INDUSTRIAL USE =1127.92/100x0.75	9	9
ACCESSIBLE (2% IF MORE THAN 11 STALLS)	0	0
LEVEL 2 CHARGING (35%)	4	4
OPPORTUNITY CHARGING (10%)	1	1

BICYCLE SPACES

	REQUIRED	PROPOSED
CLASS 1 =(1127.92-100)/100x0.27	3	3
CLASS 2 =(1127.92-100)/100x0.27	3	3

SETBACKS

	REQUIRED	PROPOSED
NORTH (INT. SIDE)	0.00 m	26.58 m
EAST (REAR)	0.00 m	6.00 m
SOUTH (INT. SIDE)	0.00 m	1.50 m
WEST (FRONT)	3.00 m	3.00 m

MIN. SITE PERMEABILITY

	REQUIRED	PROPOSED
LANDSCAPE ON SITE	5767.38 sf	535.81 sm
PERMEABLE PAVERS (TYPE 1 - PARKING)	2486.07 sf	230.96 sm
PERMEABLE PAVERS (TYPE 2 - AMENITY/WALKWAYS)	825.72 sf	76.71 sm
GRAVEL AT PMT	114.64 sf	10.65 sm
TOTAL PERMEABLE SURFACES	9193.81 sf	854.13 sm

	REQUIRED	PROPOSED
	25.0%	30.0%

MAX. SITE COVERAGE

	ALLOWED	PROPOSED
BLDG AREA	2137.10 sm	876.10 sm
	75.00%	30.75%

NO.	DATE	DESCRIPTION
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SEAL:

PROJECT NAME:
4440 VANGUARD RD. INDUSTRIAL BUILDING

4440 VANGUARD RD., RICHMOND, B.C.

DRAWN BY: GA	ISSUE # 8
SCALE AS SHOWN	PROJECT NO. GA-G229

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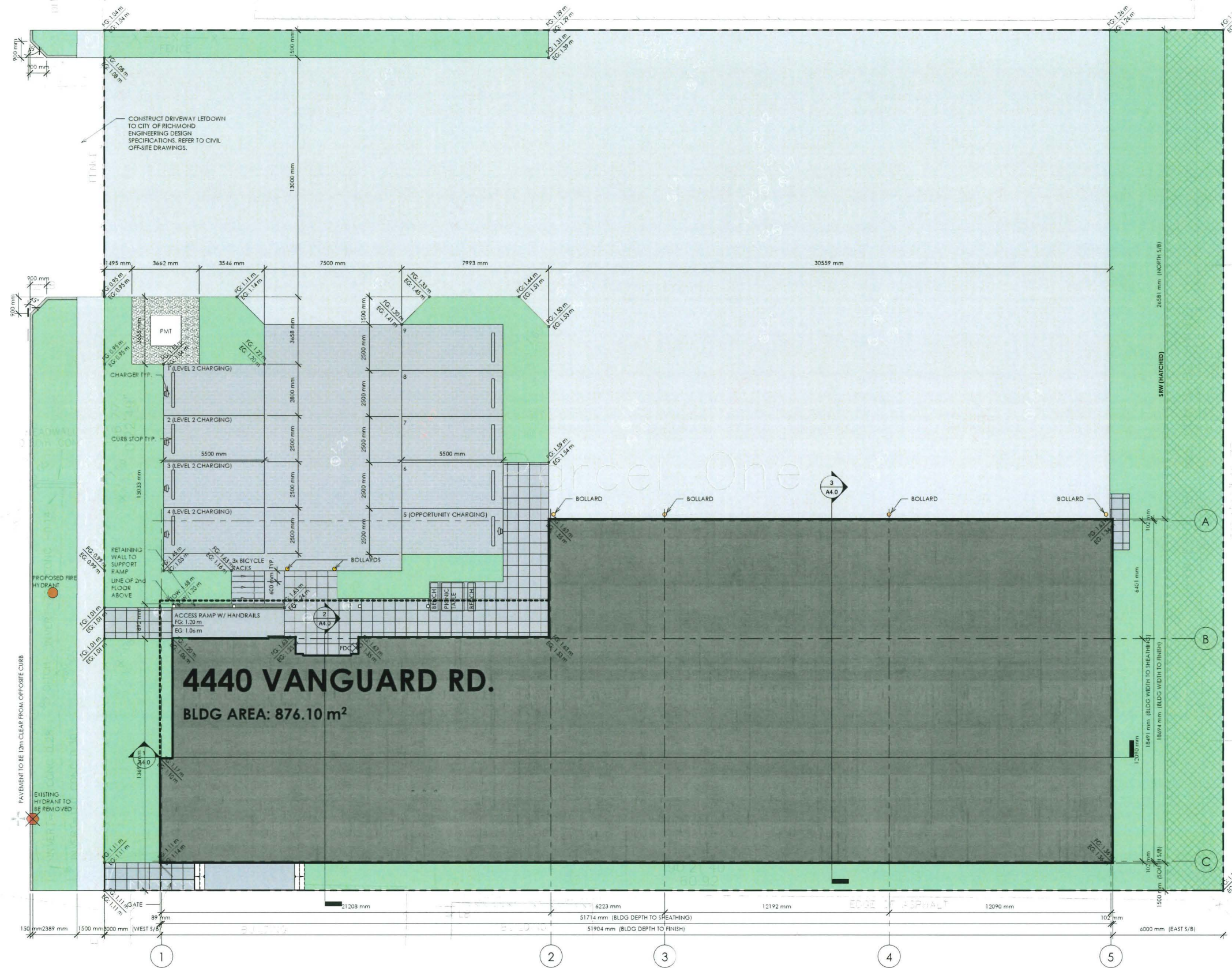
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REVISION NO:	SHEET NO: A0.2
CP STAMP:	

CITY STAMP:

DP 24-048989
May 5, 2026
PLAN # 2

VANGUARD RD.



1 SITE PLAN
1/8" = 1'-0"



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PROJECT NAME:
4440 VANGUARD RD. INDUSTRIAL BUILDING

4440 VANGUARD RD., RICHMOND, B.C.

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SCALE:	PROJECT NO.
AS SHOWN	GA-G229

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SHEET TITLE:
SITE PLAN

REVISION NO.:	SHEET NO.:
	A1.0

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CITY STAMP:

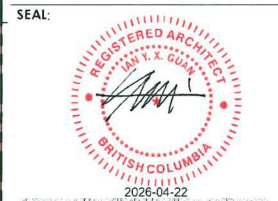
DP 24-048989
May 5, 2026
PLAN # 3



NO.	DATE	DESCRIPTION
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7	JAN 30, 2026	DP 3 SUBMISSION



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4440 VANGUARD RD., RICHMOND, B.C.
 DRAWN BY: GA
 ISSUE #: B
 SCALE: AS SHOWN
 PROJECT NO: GA-G229

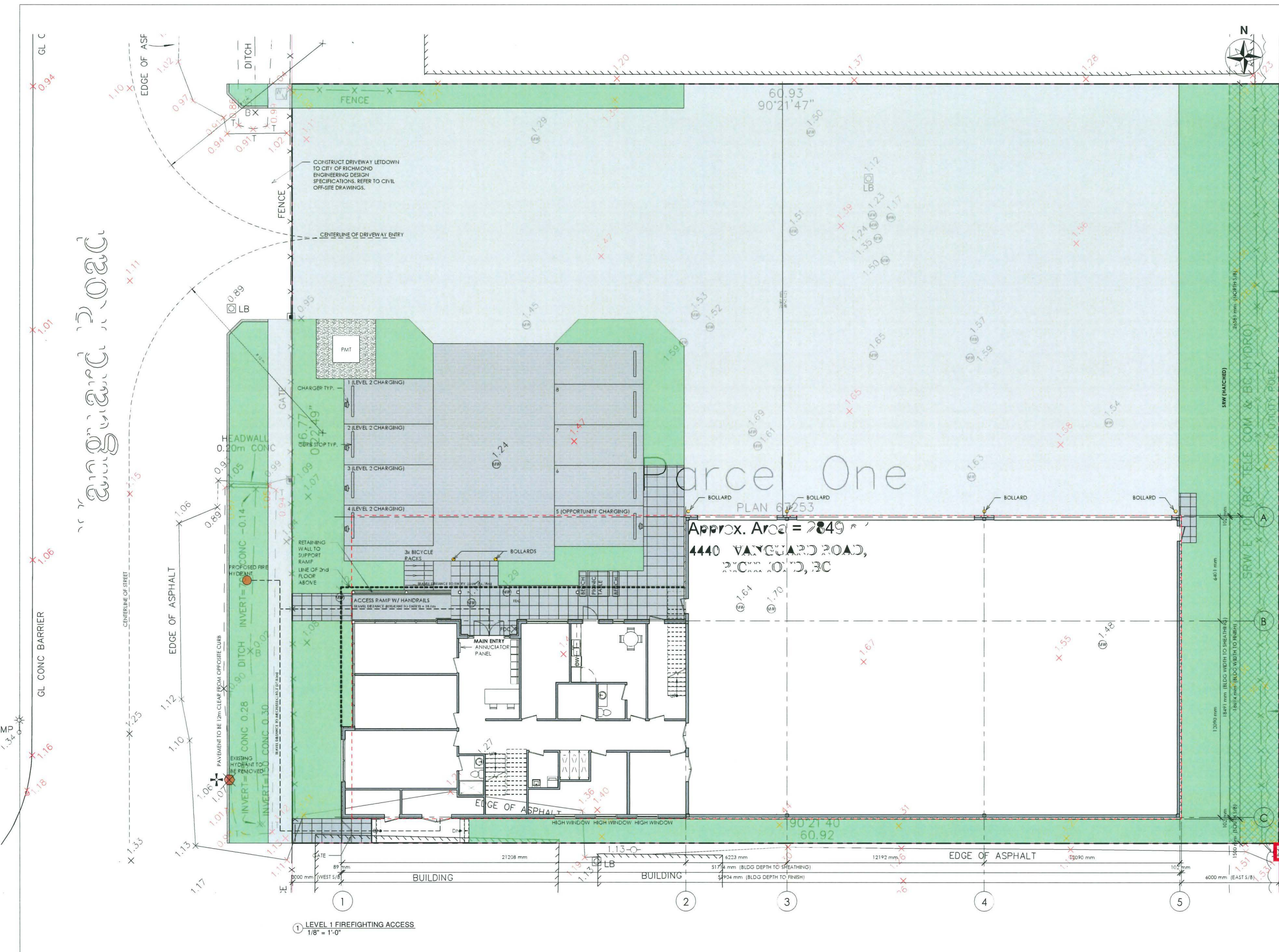
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SHEET TITLE:
FIREFIGHTING ACCESS PLAN

REVISION NO: SHEET NO:
A1.3

CP STAMP:
 CITY STAMP:

DP 24-048989
May 5, 2026
PLAN # 4



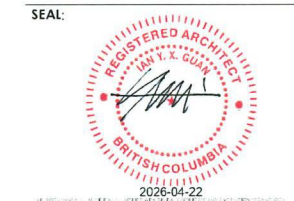
① LEVEL 1 FIREFIGHTING ACCESS
 1/8" = 1'-0"



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4440 VANGUARD RD. INDUSTRIAL BUILDING

4440 VANGUARD RD., RICHMOND, B.C.
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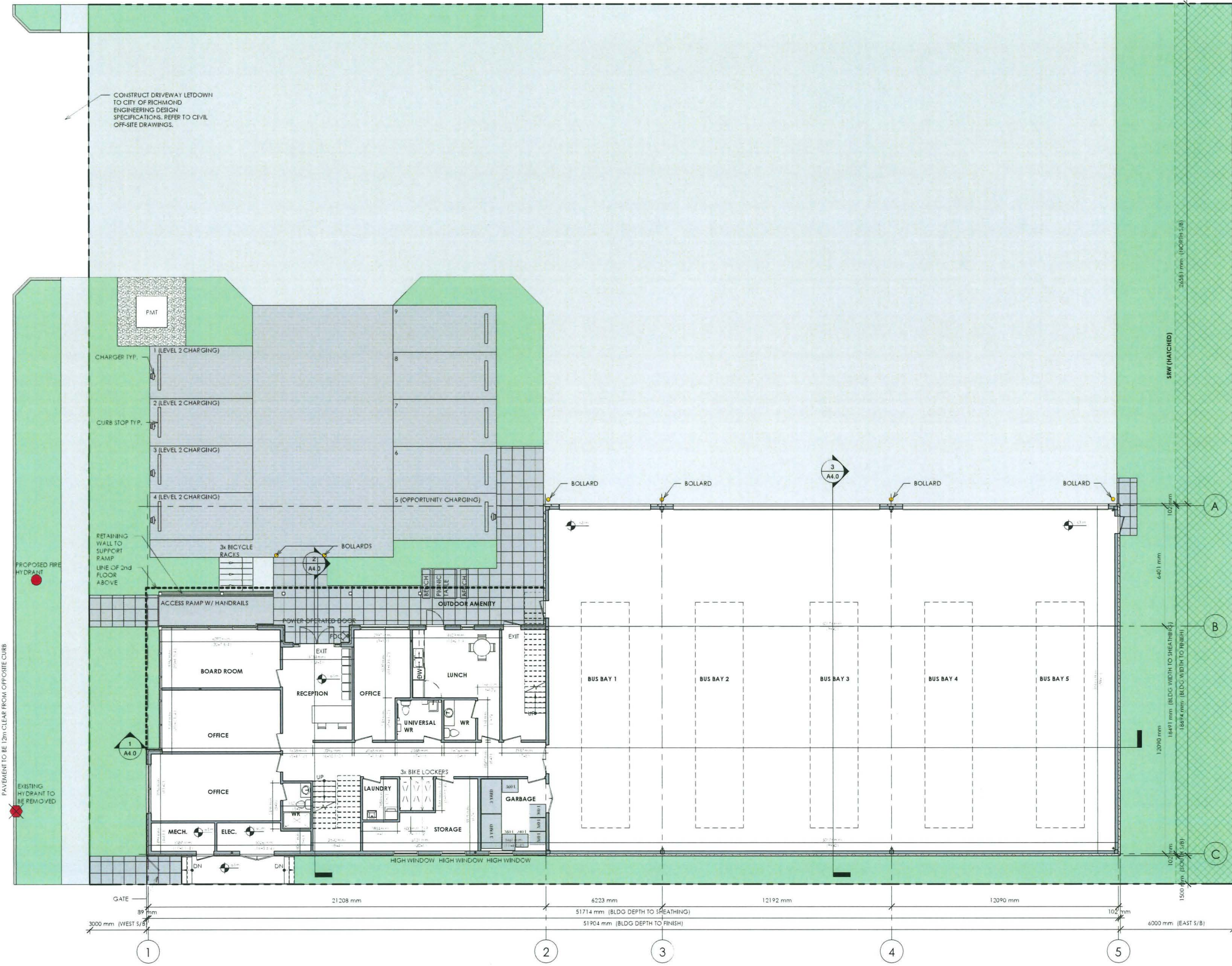
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SHEET TITLE
LEVEL 1 PLAN

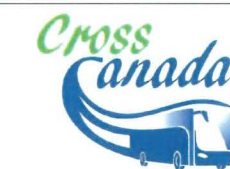
REVISION NO: SHEET NO:
A2.0

CITY STAMP:

DP 24-048989
May 5, 2026
PLAN # 5



① LEVEL 1
 1/8" = 1'-0"



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PROJECT NAME:

**4440 VANGUARD
RD. INDUSTRIAL
BUILDING**

4440 VANGUARD RD., RICHMOND, B.C.

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SCALE: AS SHOWN

PROJECT NO: GA-G229

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SHEET TITLE:

LEVEL 2 PLAN

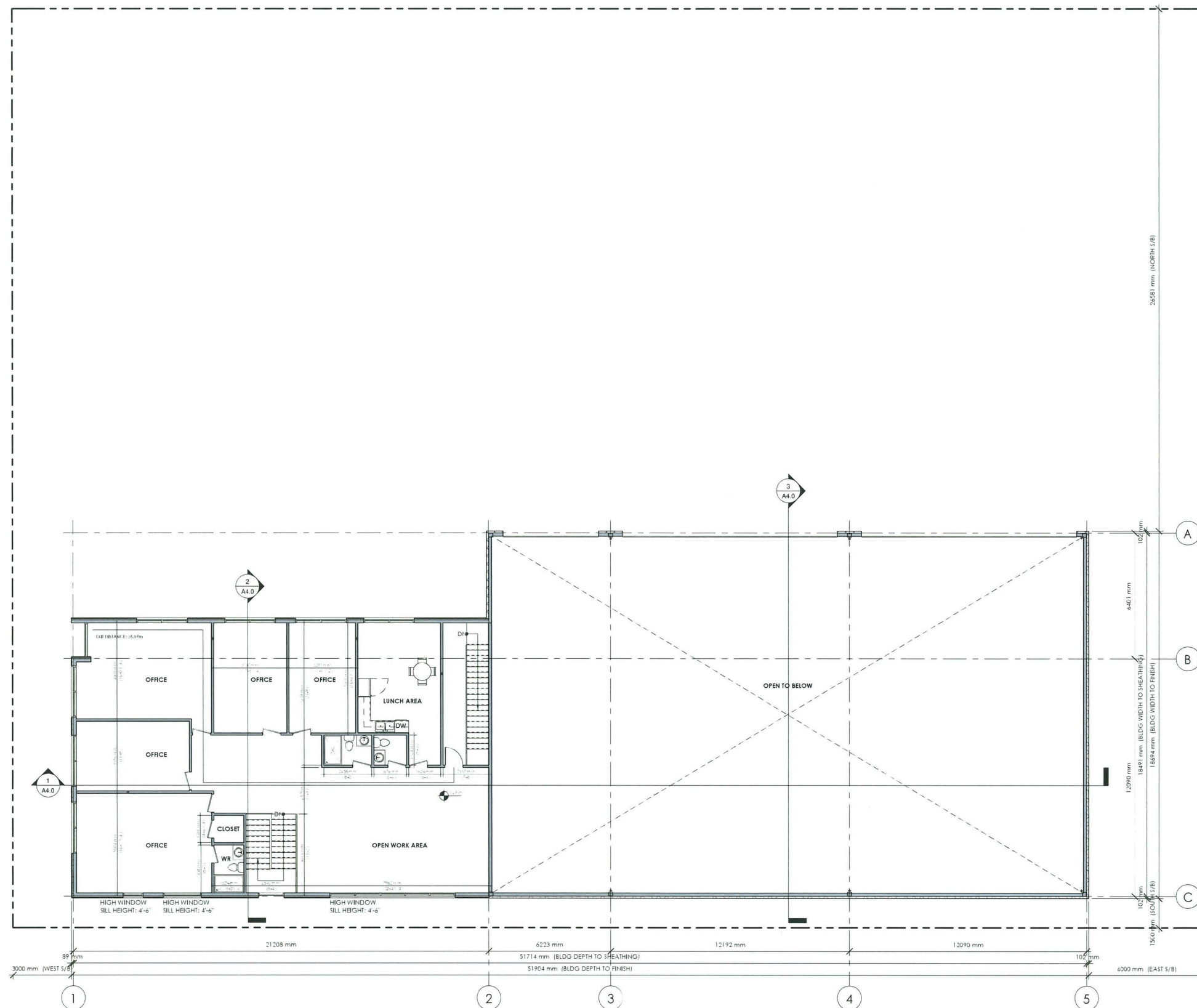
REVISION NO:

SHEET NO:

A2.1

C.P. STAMP:

CITY STAMP:



① LEVEL 2
 1/8" = 1'-0"

DP 24-048989
May 5, 2026
PLAN # 6



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4440 VANGUARD RD., RICHMOND, B.C.

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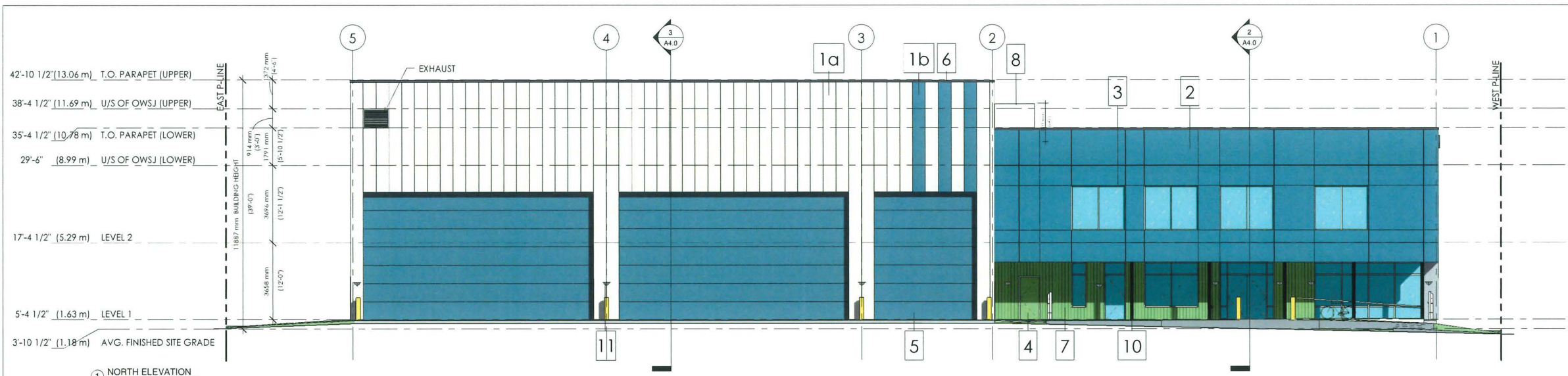
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SHEET TITLE
ELEVATIONS

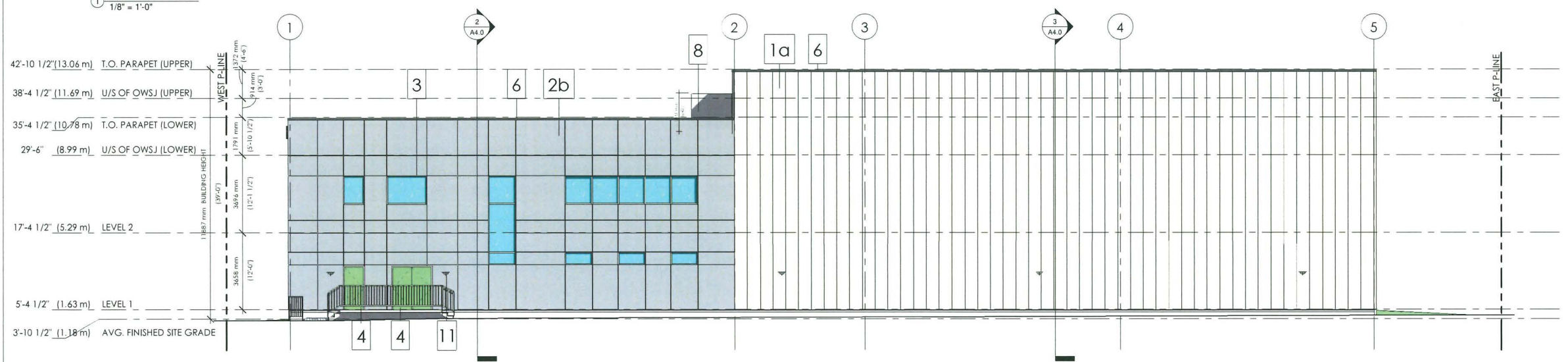
REVISION NO.	SHEET NO.
	A3.0

C.P. STAMP:

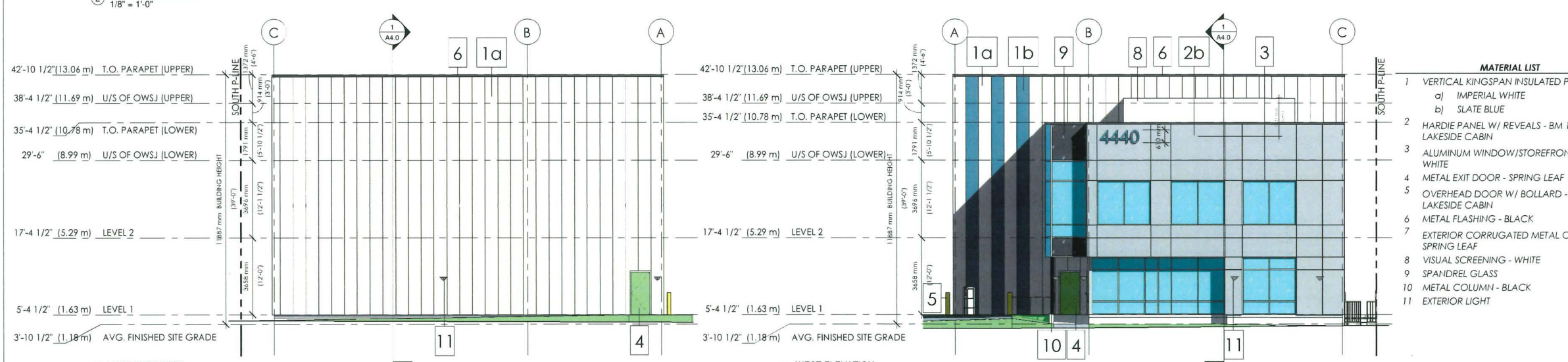
CITY STAMP:



1 NORTH ELEVATION
 1/8" = 1'-0"



2 SOUTH ELEVATION
 1/8" = 1'-0"



3 EAST ELEVATION
 1/8" = 1'-0"

4 WEST ELEVATION
 1/8" = 1'-0"

- MATERIAL LIST**
- VERTICAL KINGSPAN INSULATED PANEL
 - IMPERIAL WHITE
 - SLATE BLUE
 - HARDIE PANEL W/ REVEALS - BM 1658 LAKESIDE CABIN
 - ALUMINUM WINDOW/STOREFRONT FRAME - WHITE
 - METAL EXIT DOOR - SPRING LEAF
 - OVERHEAD DOOR W/ BOLLARD - BM 1658 LAKESIDE CABIN
 - METAL FLASHING - BLACK
 - EXTERIOR CORRUGATED METAL CLADDING - SPRING LEAF
 - VISUAL SCREENING - WHITE
 - SPANDREL GLASS
 - METAL COLUMN - BLACK
 - EXTERIOR LIGHT

DP 24-048989
May 5, 2026
PLAN # 8



NO.	DATE	DESCRIPTION
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4440 VANGUARD RD. INDUSTRIAL BUILDING

4440 VANGUARD RD., RICHMOND, B.C.

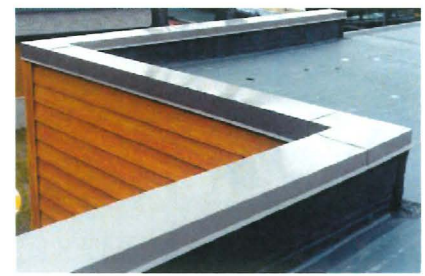
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SCALE:	PROJECT NO.
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SHEET TITLE:
MATERIAL BOARD

REVISION NO.:	SHEET NO.:
	A3.2
CP STAMP:	

DP 24-048989
May 5, 2026
PLAN # 9

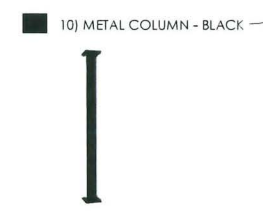
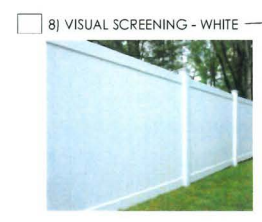
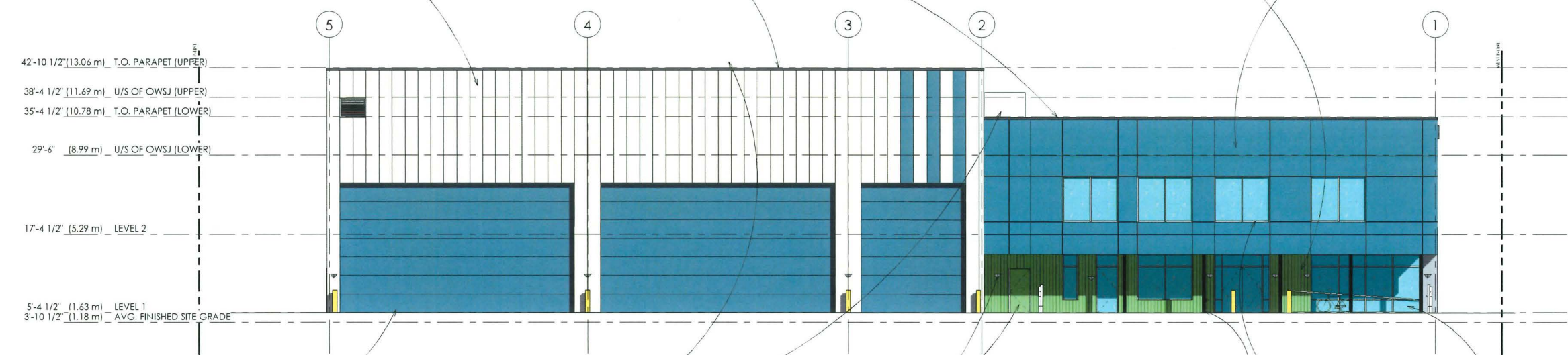


KINGSPAN QUADCORE KS SERIES INSULATED PANEL SYSTEM APPLIED VERTICALLY
 1a) IMPERIAL WHITE
 1b) SLATE BLUE

6) METAL FLASHING - BLACK

7) CORRUGATED METAL CLADDING - BM 2030-40 SPRING LEAF

2) HARDIE PANEL W/ REVEALS - BM 1658 LAKESIDE CABIN



- MATERIAL LIST**
- VERTICAL KINGSPAN INSULATED PANEL
 - IMPERIAL WHITE
 - SLATE BLUE
 - HARDIE PANEL W/ REVEALS - BM 1658 LAKESIDE CABIN
 - ALUMINUM WINDOW/STOREFRONT FRAME - WHITE
 - METAL EXIT DOOR - SPRING LEAF
 - OVERHEAD DOOR W/ BOLLARD - BM 1658 LAKESIDE CABIN
 - METAL FLASHING - BLACK
 - EXTERIOR CORRUGATED METAL CLADDING - SPRING LEAF
 - VISUAL SCREENING - WHITE
 - SPANDREL GLASS
 - METAL COLUMN - BLACK
 - EXTERIOR LIGHT



NO.	DATE	DESCRIPTION
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HO.	DATE	DESCRIPTION



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PROJECT NAME:
4440 VANGUARD RD. INDUSTRIAL BUILDING

4440 VANGUARD RD., RICHMOND, B.C.

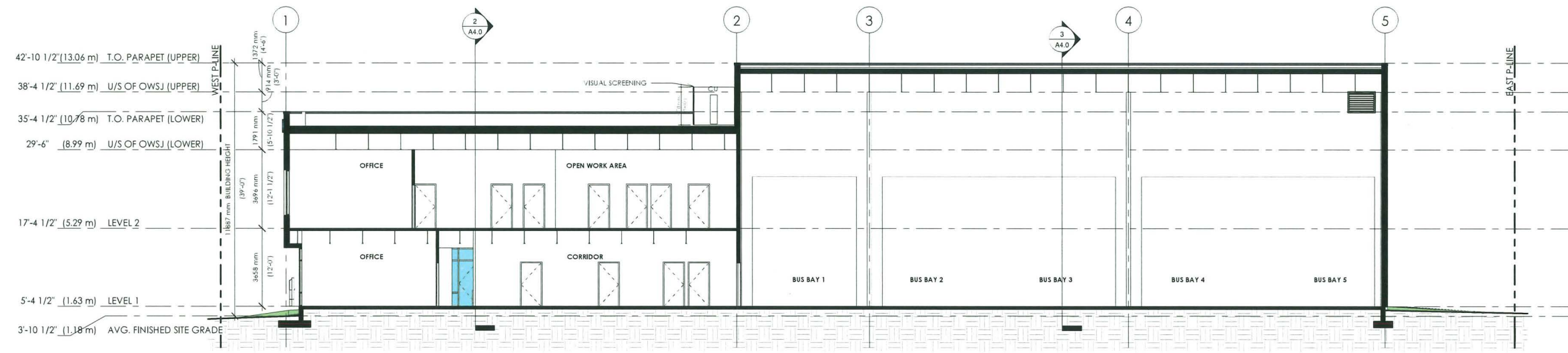
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SCALE:	PROJECT NO.
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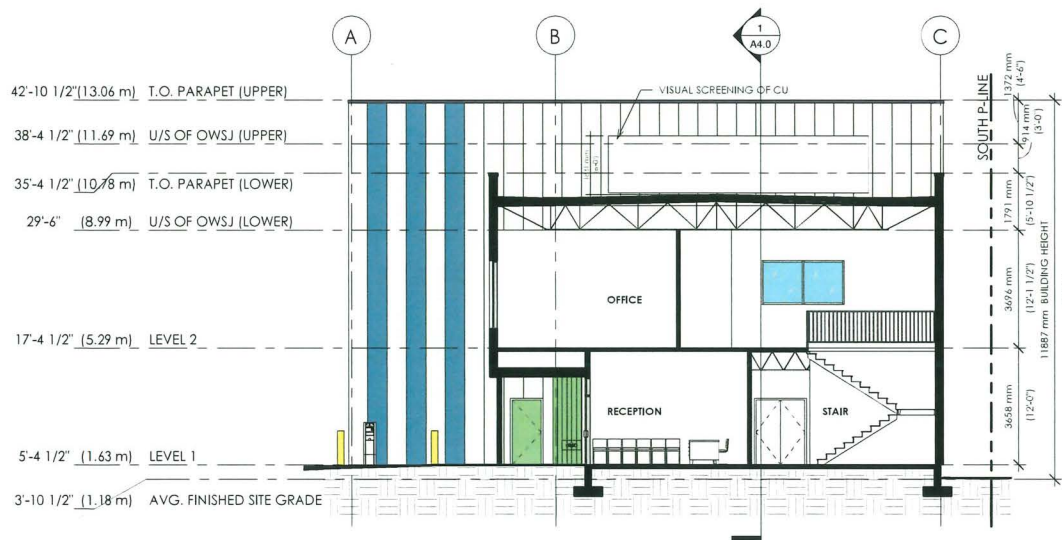
SHEET TITLE:
SECTIONS

REVISION NO.:	SHEET NO.:
	A4.0
CP STAMP:	

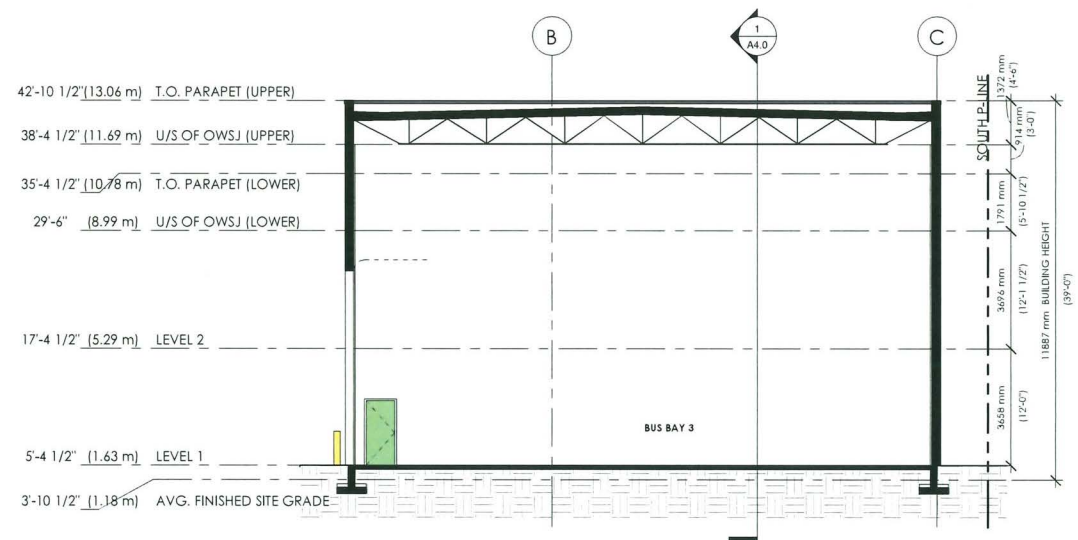
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① LONGITUDINAL SECTION
 1/8" = 1'-0"



② CROSS-SECTION 1
 1/8" = 1'-0"

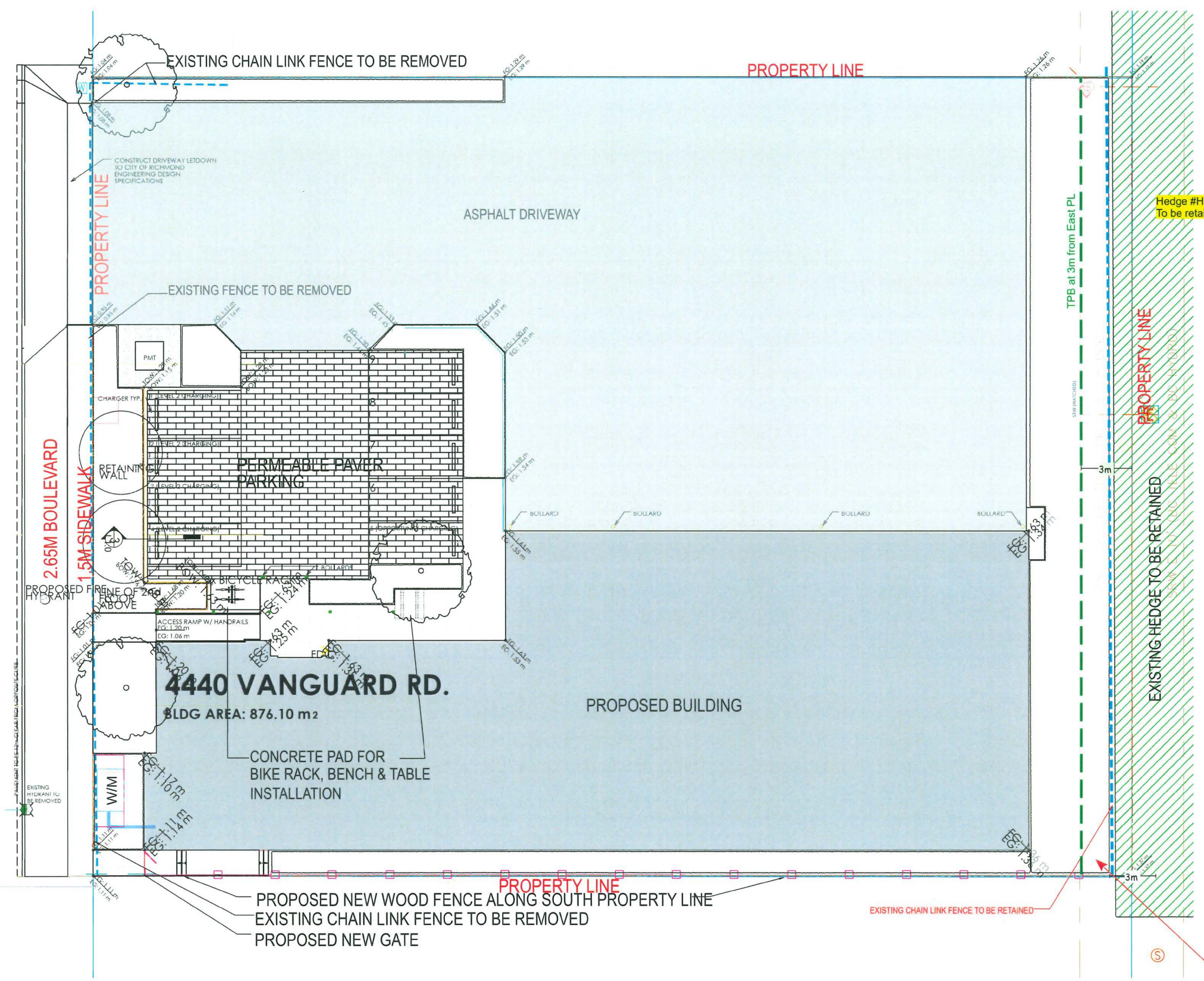


③ CROSS-SECTION 2
 1/8" = 1'-0"

DP 24-048989
May 5, 2026
PLAN # 10

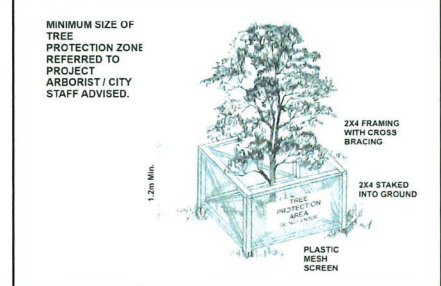


VANGUARD RD.



Note to Owner / Constructor:

1. The tree protection barrier's dimensions are in feet.
2. All the dimensions are measured from the tree trunk and should refer to the figure mentioned.
3. The tree protection barriers must be built and inspected prior any construction activities.
4. All tree protection on street trees to be set back 0.3m from the edge of sidewalk to allow clear circulation, and 0.6m from the back of curb to allow door opening.
5. The protection barrier or temporary fencing must be at least 1.2m in height and constructed of 2"x4" wood frame with cross brace construction with snow-fence and staked into the ground. The tree protection fence shall be clearly signed "Tree Protection Zone - Do Not Enter" and remain intact for any construction or demolition site throughout the entire period of demolition and/or construction. Maintain such protection barrier, repair any damage to it, and not alter or remove it until construction is completed.
6. Certified Arborist on-site supervision is required for any construction activities within and 1m of the TPZ.
7. Absolutely no further grade changes (increase or decrease in grade) can occur within any TPZ. All pre-loading, retaining walls, perimeter drainage and silt fencing must be installed outside of these zones, unless approved and supervised by City arborist / Project arborist.
8. No storage, dumping of materials, parking, underground utilities or fires within TPZs or tree drip lines.
9. Proper pruning of the trees to be retained following ANSI A300 pruning standards, completed by a qualified tree care professionals, trees will also require mulching and watering for successful retention.



Project Arborist onsite supervision is required for all work/access within and in 1m of tree protection zone.

It is the builder/homeowner responsibility to ensure that the development does not adversely affect any neighboring plantings. Please ensure all neighbors' vegetation is respected throughout the project phases and that if any proposed vegetation removal that may be shared with neighbors' is discussed and coordinated with the adjacent property owner(s) to avoid a civil matter.

Tree protection barrier(s) is recommended on neighbor's hedges (if any) for due diligence.

Existing Tree / Hedge Inventory				
Hedge ID	Genus species (Botanical name)	DBH (cm)	CRZ/TPZ (m, rad)	CRZ/TPZ (ft, rad)
H101	Western Red Cedar (<i>Thuja plicata</i>)	4600 (L) 400 (W) 1500 (H)	4.0	13.0

On-site supervision by Project Arborist is required for the activity within or 1m of TPZ:

- (1) Replacement of fence
- (2) Final landscaping activities (e.g. lawn / planting) within TPZ

Remove existing fence manually with low impact method. Re-use the existing fence post holes as possible. Any new fences will not employ any continuous footings within TPZ.

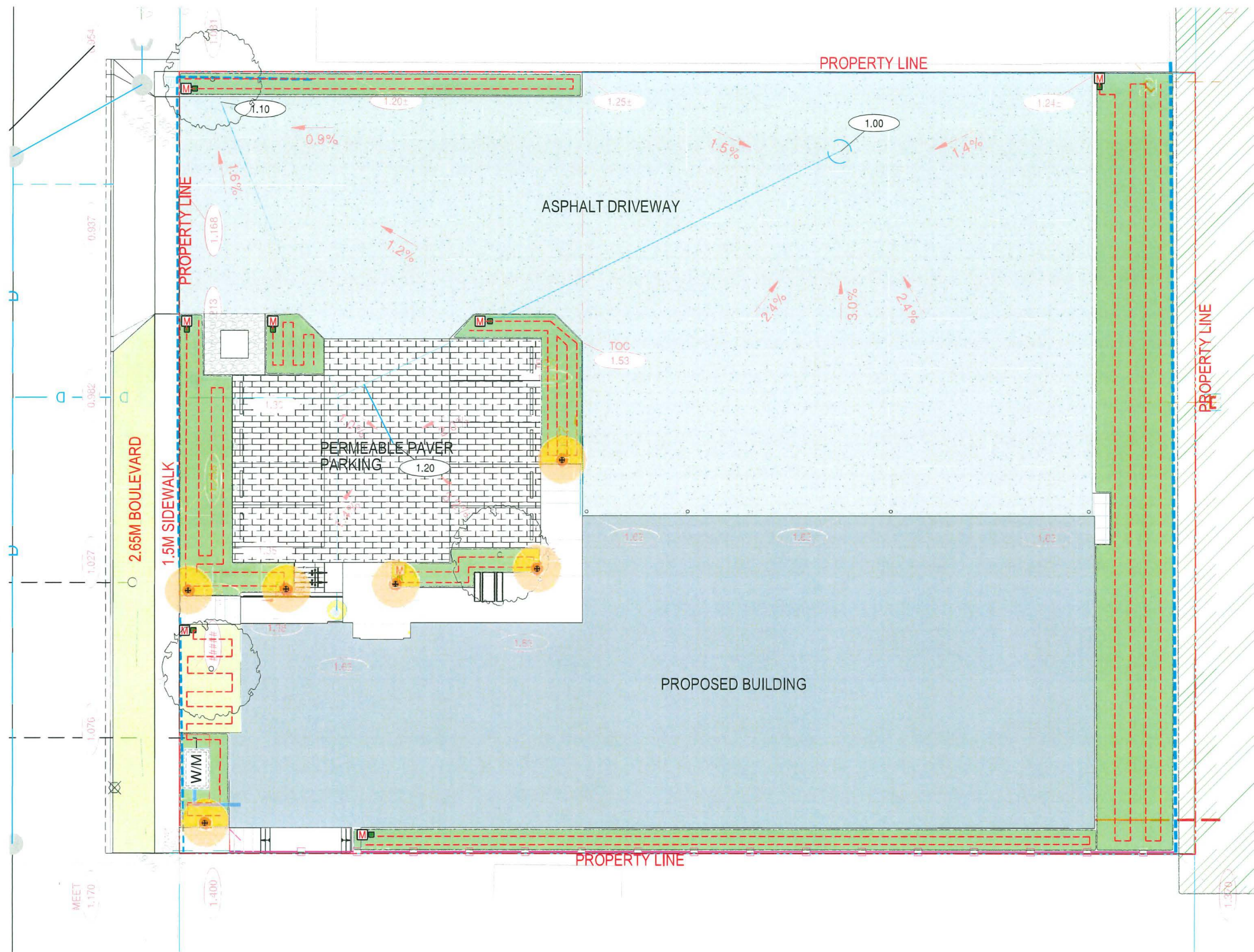
Any required new footings for fence post will use point footing, by low impact method hand digging and footing as small foot print as possible.

The proposed lawn that encroaches into the TPZ must be installed at or near existing grade. No more than 3" of additional good quality landscape soil (not construction fill) may be added into the TPZ.

Ensuring that new planting in the Critical Root Zone is no greater than #1 container (if any).

QBC Tree Consulting and Services Ltd. Project Arborist: Matthew Wong Tel: (778) 833-0348 Email: QBCtree@gmail.com	Project Address: 4440 Vanguard Road, Richmond BC	Part B - Tree Management Drawing --- Tree Protection Barrier
	Reference Number: VAN26303 Date of Issue: January 19, 2026 VAN26303-1 April 16, 2026	

DP 24-048989
May 5, 2026
PLAN # 11



- LEGEND:**
- LAWN
 - PLANTING BED
 - HEDGE
 - ASPHALT
 - C.I.P. CONCRETE
 - PERMEABLE PAVER
 - CONCRETE SLAB
 - PROPOSED NEW WOOD FENCE
 - EXISTING CHAINLINK FENCE
 - TREE PROTECTION BARRIER
 - 5-BIKE RACK
REFER TO SPEC
 - BENCH & TABLE
REFER TO SPEC
 - CIVIL ON SITE GRADING
 - CIVIL PROPOSED GRADING
 - MAIN WATER STUB-OUT
 - RAIN BIRD XCZ DRIP KIT VALVE
 - DRIP LINE
 - BOLLARD LIGHT

1 LANDSCAPE IRRIGATION & LIGHTING PLAN
 SCALE 3/32" = 1'-0"



GENERAL NOTES
 1. ALL LANDSCAPE MATERIAL AND CONSTRUCTION TO MEET OR EXCEED THE B.C. LANDSCAPE STANDARD LATEST EDITION.
 2. ALL ELEVATIONS AND DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT.
 3. ANY DISCREPANCIES IN THE DRAWINGS OR MISSING INFORMATION TO BE BROUGHT TO THE NOTICE OF THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK ON SITE.
 4. ALL HARD & SOFT LANDSCAPE SURFACES TO BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING UNLESS OTHERWISE IDENTIFIED.

ISSUES	YYYY.MM.DD	
10		
9		
8		
7		
6		
5		
4	ISSUED FOR DP R3	2026.04.15
3	ISSUED FOR DP R2	2025.12.19
2	ISSUED FOR DP R1	2025.08.14
1	ISSUED FOR DP	2024.10.10

PROJECT NUMBER	LJ06
DRAWN BY	LX / ALZ
CHECKED BY	LX
SCALE	3/32" = 1'-0"



PROJECT	4440 VANGUARD RD RICHMOND, BC
DRAWING TITLE	LANDSCAPE IRRIGATION PLAN

DRAWING NO.	L1.1
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NOTES:

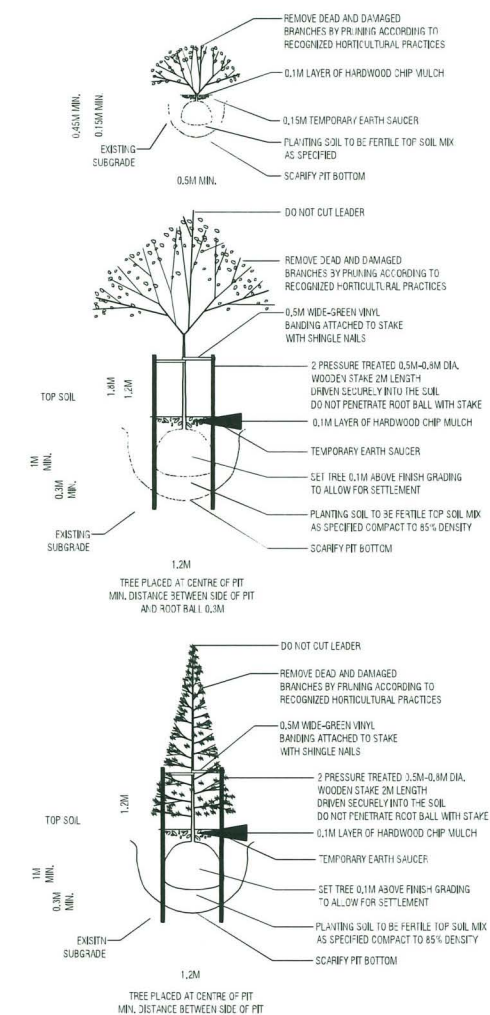
- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCNTA OR BCSLA GUIDELINES.
- TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- AMMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A. GRASSED AREAS: 150MM (6")
 - B. GROUND COVERS: 300MM (12")
 - C. SHRUBS: 450MM (18")
 - D. TREE PITS: 1000MM (40") WITH 300MM(12") (BELOW ROOT BALL)
- LAWN AREAS SHALL BE SODDED WITH #1 PREMIUM RESIDENTIAL SOD.
- ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 350MM (14") O.C.
- ROAD GRADING AND OVERALL SITE GRADING BY CIVIL ENGINEERING/OR ARCHITECTURAL.

PLANT LIST: ** BIRD FRIENDLY PLANTS * NATIVE

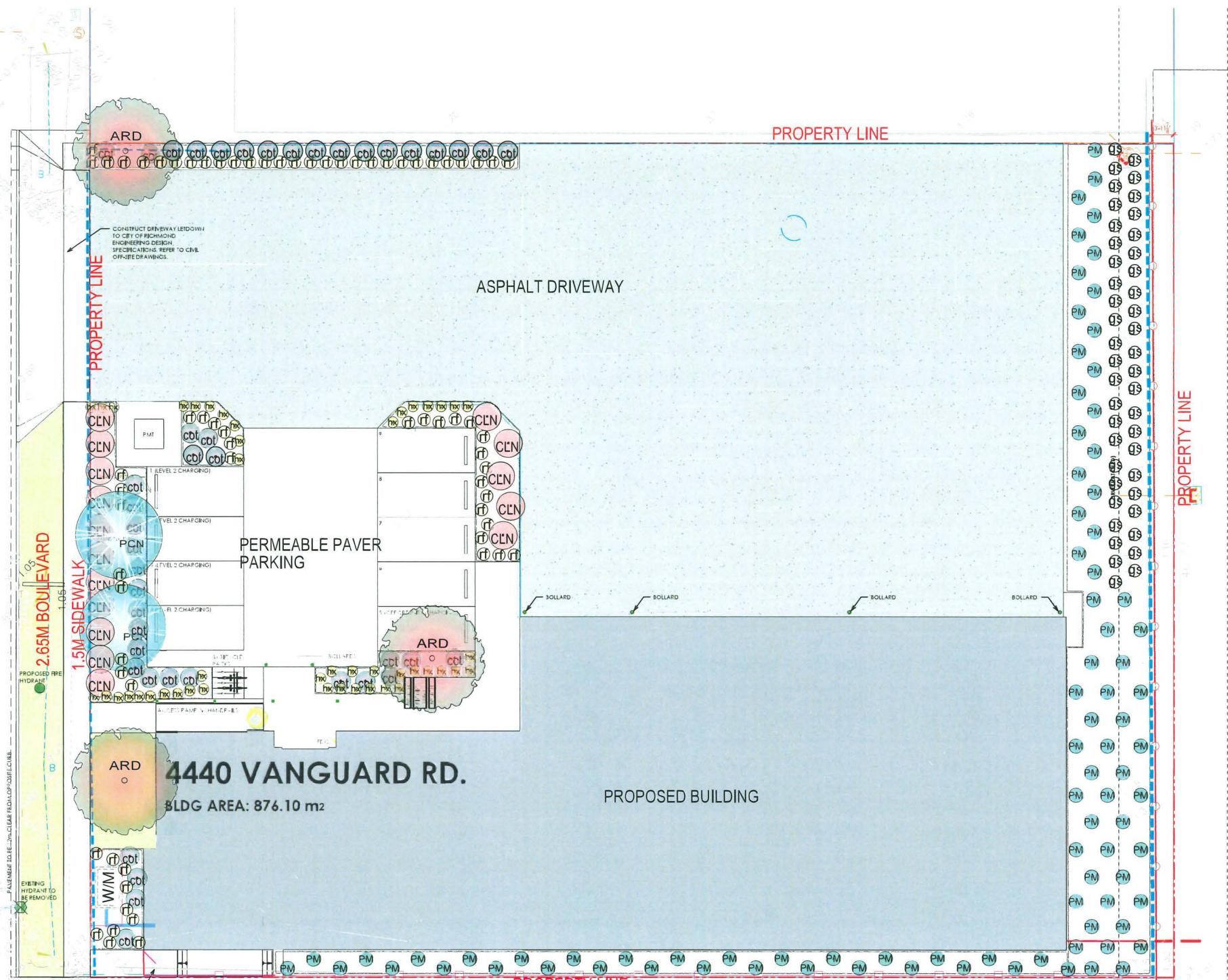
KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE & COND.	MATURE HEIGHT
TREES				
PCN ** 2	PINUS CONTORTA VAR. CONTORTA	SHORE PINE	2.5 M HT. B&B	5-12M HT
ARD *** 3	ACER RUBRUM BOWHALL	BOWHALL RED MAPLE	2.5M HT. B&B	10M HT
SHRUBS & GROUNDCOVERS				
CLN *** 16	CORNUS STOLONIFERA	RED OSIER DOGWOOD	#2 @ 3' O.C.	
cot ** 44	COTONEASTER DAMMERI	BEARBERRY COTONEASTER	#2 POT @ 24" O.C.	
PM 89	POLYSTICHUM MUNITEM	WESTERN SWORD FERN	#2 POT @ 2' O.C.	
gs *** 45	GAULTHERIA SHALLON	SALAL	#2 POT @ 24" O.C.	
GRASS & PERENNIALS				
hx 45	HAKONECHLOA MACRA 'AUREOLA'	GOLDEN JAPANESE FOREST GRASS	40CM O.C.	
rf ** 69	RUDBECKIA FULGIDA var 'GOLDSTRUM'	BLACK EYED SUSAN	#2 POT @ 18" O.C.	

LEGEND:

- LAWN
- PLANTING BED
- HEDGE
- ASPHALT
- C.I.P. CONCRETE
- PERMEABLE PAVER
- CONCRETE SLAB
- PROPOSED NEW WOOD FENCE
- EXISTING CHAINLINK FENCE
- TREE PROTECTION BARRIER
- 5-BIKE RACK REFER TO SPEC
- BENCH & TABLE REFER TO SPEC



VANGUARD RD.



Arborist Notes For Existing Tree 1382-1437:
 A 6' high wooden fence is proposed on the east property line. The excavation for the fence posts may not encounter any structural roots nor cause significant root damage. Hand digging for the fence posts should be done. If a machine with an auger attachment is used, then 3/4" minimum plywood (or similar) shall be used under the machine to prevent compaction of soil. Arborist supervision is recommended during the installation of the wooden fence along the east property line.
 No other construction impacts are expected.


1 LANDSCAPE PLANTING PLAN
 SCALE 3/32" = 1'-0"



 WWW.RPLPROJECTS.COM lu@rplprojects.com 604-338-5035	GENERAL NOTES 1. ALL LANDSCAPE MATERIAL AND CONSTRUCTION TO MEET OR EXCEED THE B.C. LANDSCAPE STANDARD LATEST EDITION. 2. ALL ELEVATIONS AND DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT. 3. ANY DISCREPANCIES IN THE DRAWINGS OR MISSING INFORMATION TO BE BROUGHT TO THE NOTICE OF THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK ON SITE. 4. ALL HARD & SOFT LANDSCAPE SURFACES TO BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING UNLESS OTHERWISE IDENTIFIED.	ISSUES 11	ISSUES 10 9 8 7 6 5 4 3 2 1	ISSUES 10 9 8 7 6 5 4 3 2 1	PROJECT NUMBER L106	DRAWN BY LX / ALZ	CHECKED BY LX	SCALE 3/32" = 1'-0"	SIGN & SEAL 	PROJECT 4440 VANGUARD RD RICHMOND, BC	DRAWING TITLE LANDSCAPE PLANTING PLAN	DRAWING No. L2
	PROJECT 4440 VANGUARD RD RICHMOND, BC											

500 SERIES

MTB-0510-00001
 Legacy # MLPT510-S



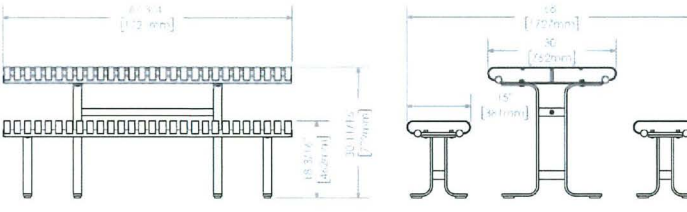
MATERIALS: Table top and seats are made from solid steel flat bar and 4.5" steel tube. Table end is wheelchair accessible.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The table is delivered pre-assembled.

TO SPECIFY: Select MTB-0510-00001
 Choose
 - Powdercoat Color

TABLE HEIGHT: 30.69" (77.9cm) TABLE LENGTH: 67.75" (172.1) TOTAL WIDTH: 66" (167.7cm) WEIGHT: 372.23lbs (169kg)



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BENCH INSTALLATION

BENCHES (6 FT)

- Anchoring hole layouts vary slightly by model type
- Place bench on foundation and mark for drilling to ensure proper installation
- Unless otherwise noted, there are 4 - 1/2" mounting holes per bench. We suggest 3/8" concrete anchors.

Diagram 1

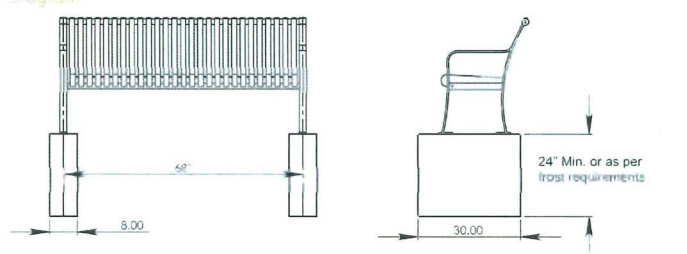
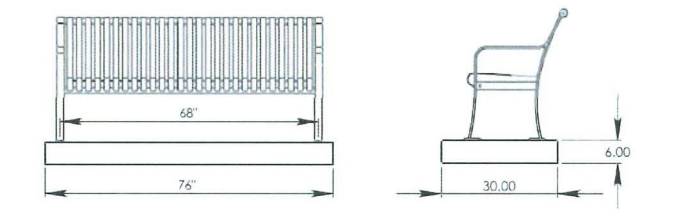


Diagram 2



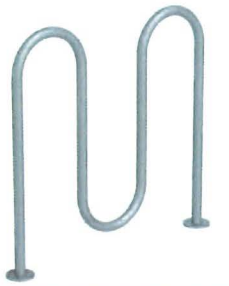
Drilling Details:
 Benches can be lagged to the paving stones directly. For a more secure installation, we suggest pouring a concrete footing beneath the pavers. To install furniture, drill through the pavers and into the concrete. Using long lag bolts, furniture can be bolted down through the pavers and lagged into the concrete footing. Concrete footing can also be poured to bring mounting surface up to the same level as the pavers.

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400 SERIES

MBR-0400-00007
 Legacy # MBR400-5-S



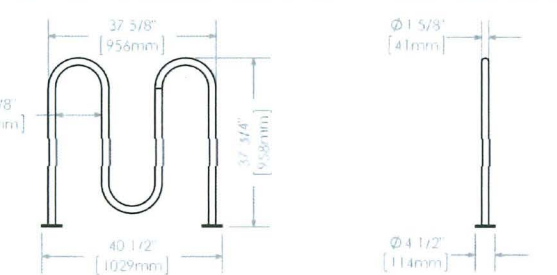
MATERIALS: All parts of the MBR-0400 Series Bicycle Racks are made from H.S. Steel tube. This bike rack can hold up to 5 bicycles.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bike racks are delivered pre-assembled. It is available with a surface mount installation.

TO SPECIFY: Select MBR-0400-00007
 Choose
 - Powdercoat Color

HEIGHT: 37.75" (95.9cm) LENGTH: 37.63" (95.6cm) DIAMETER: 1.63" (41.4cm) WEIGHT: 39.27lbs (17.8kg)



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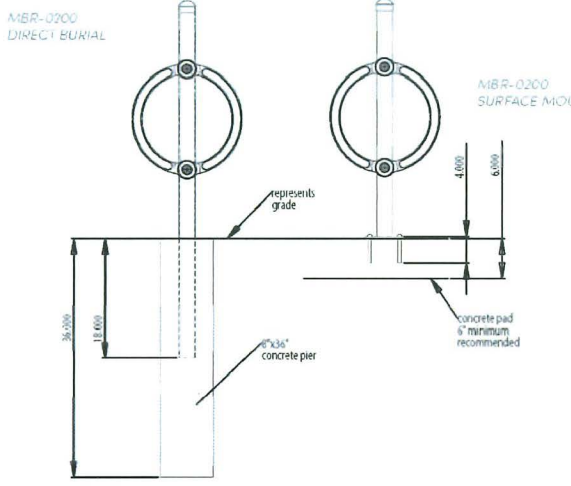
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BIKE RACK INSTALLATION

BIKE RACKS

Surface Mount
 Anchoring hole layouts vary by model type. Pre-drilled 1/2" holes are provided in the mounting plates. Place bike rack on foundation and mark for drilling to ensure proper installation. We suggest 3/8" concrete anchors.

Direct Burial
 Set bike rack in wet cement ensuring that it is supported in a plumb position as cement hardens.



For paving stone installation, concrete footing can be poured to bring mounting surface up to the same level as the pavers.



As a guideline, we suggest installing 100, 200, 500, 1600 Series and Iconic Collection bike racks 72" apart when installed parallel (in a straight line) and 32-36" apart when installed perpendicular (facing each other).

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1 MAGLIN 500 SERIES - 510 CLUSTER SEATING BENCH DETAILS
 SCALE NTS

2 BIKE RACK SPECIFICATION - MAGLIN 400 SERIES - 400 BIKE RACK
 SCALE NTS

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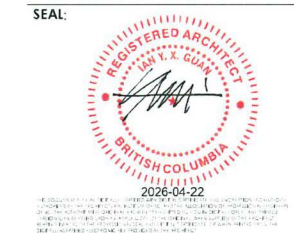
NO.	DATE	DESCRIPTION
REVISIONS:		
8	APRIL 17, 2026	DP 4 SUBMISSION
7	JAN 30, 2026	DP 3 SUBMISSION

ISSUE:



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www.gradualarchitecture.com



PROJECT NAME:
4440 VANGUARD RD. INDUSTRIAL BUILDING

4440 VANGUARD RD., RICHMOND, B.C.

DRAWN BY:	ISSUE #
GA	8
SCALE:	PROJECT NO.
AS SHOWN	GA-G229

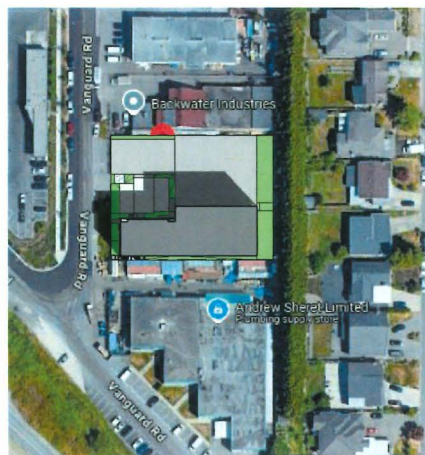
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SHEET TITLE
SOLAR STUDY

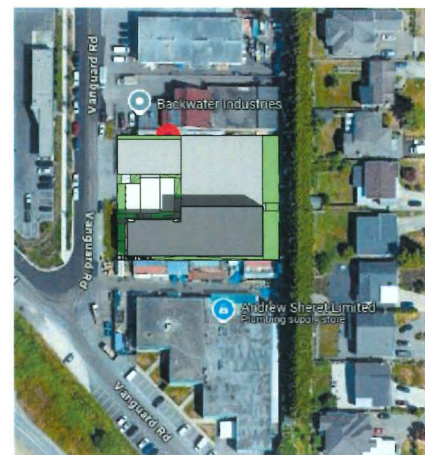
REVISION NO:	SHEET NO:
	A0.3

CP STAMP:

CITY STAMP:



SPRING/FALL EQUINOX 10AM



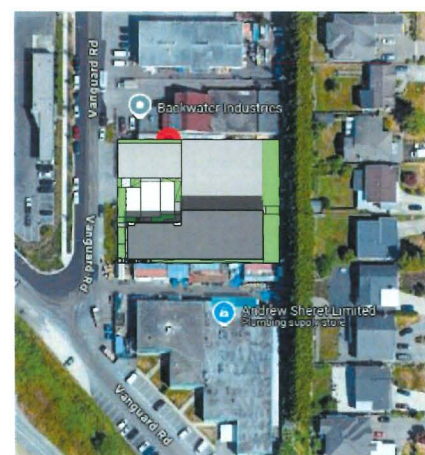
SUMMER SOLSTICE 10AM



WINTER SOLSTICE 10AM



SPRING/FALL EQUINOX 12PM



SUMMER SOLSTICE 12PM



WINTER SOLSTICE 12PM



SPRING/FALL EQUINOX 2PM



SUMMER SOLSTICE 2PM



WINTER SOLSTICE 2PM

DP 24-048989
May 5, 2026
REFERENCE PLAN