



To: Planning Committee
From: Wayne Craig
Director, Development

Date: July 6, 2022
File: RZ 21-930951

Re: Application by Deluxe Custom Homes Ltd. for Rezoning at 7480 Williams Road from the “Single Detached (RS1/E)” Zone to the “Coach House (ZS12) – Broadmoor” Zone

Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 10404, for the rezoning of 7480 Williams Road from the “Single Detached (RS1/E)” zone to the “Coach House (ZS12) - Broadmoor” zone, be introduced and given first reading.

Wayne Craig
Director, Development
(604-247-4625)

WC/NA:blg
Att. 7

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Affordable Housing	<input checked="" type="checkbox"/>	

Staff Report

Origin

Deluxe Custom Homes Ltd. (Baljinder Sanghera), property owner, has applied to the City of Richmond for permission to rezone the property at 7480 Williams Road from the “Single Detached (RS1/E)” zone to the “Coach House (ZS12) - Broadmoor” zone, to permit the property to be subdivided to create two lots. Each lot would have a principal dwelling and an additional smaller dwelling unit above an attached garage, with vehicle access from Williams Road via a shared driveway. A map and aerial photo showing the location of the subject site and surrounding context are included in Attachment 1. A site survey and proposed subdivision plan of the property are included in Attachment 2.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is attached (Attachment 3).

Subject Site Existing Housing Profile

There is currently a single-detached dwelling on the subject site, which will be demolished. The house is also owner occupied with no secondary suite.

Surrounding Development

Existing development immediately surrounding the site is as follows:

To the North: Across Williams Road, are single-detached dwellings on lots zoned “Single Detached (RS1/E)” and “Coach Houses (RCH1)”.

To the South: Fronting Nevis Drive, are single detached dwellings on large lots zoned “Single Detached (RS1/E)”.

To the East: Lots zoned “Coach House (ZS12) - Broadmoor”, each of which contain a principal dwelling and an additional smaller dwelling unit above an attached garage, with vehicle access from Williams Road via shared driveways.

To the West: Lots zoned “Coach House (ZS12) - Broadmoor”, each of which contain a principal dwelling and an additional smaller dwelling unit above an attached garage, with vehicle access from Williams Road via shared driveways.

Related Policies & Studies

Official Community Plan (OCP)

There is no Area Plan for this neighbourhood. The 2041 OCP Land Use Map designation for the subject site is “Neighbourhood Residential”. This redevelopment proposal is consistent with this designation.

Arterial Road Land Use Policy

The south side of this block of Williams Road, between Nevis Drive and Dunoon Drive, is designated “Broadmoor Coach House” on the Arterial Road Housing Development Map in the OCP. The application is consistent with this designation and adjacent properties on the block.

Floodplain Management Implementation Strategy

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on title is required prior to final adoption of the rezoning bylaw.

Public Consultation

A rezoning sign has been installed on the subject property. Staff have not received any comments from the public about the rezoning application in response to the placement of the rezoning sign on the property.

Should the Planning Committee endorse this application and Council grant first reading to the rezoning bylaw, the bylaw will be forwarded to a Public Hearing, where any area resident or interested party will have an opportunity to comment. Public notification for the Public Hearing will be provided as per the *Local Government Act*.

Staff Comments

Background

The subject property is located on the south side of Williams Road, between Nevis Drive and Dunoon Drive, in an established residential neighbourhood in the Broadmoor Planning Area. The south side of this block of Williams Road has seen substantial recent redevelopment through rezoning and subdivision. The subject site is the last remaining Broadmoor Coach House designated lot on the south side of this block of Williams Road with redevelopment potential under current City policy.

As proposed, each new lot would be approximately 15 m wide and 369 m² in area. This proposal is consistent with the existing pattern of redevelopment along the south side of this block of Williams Road.

Site Plan & Architectural Elevations

The Site Plan (Attachment 4) proposed by the applicant is consistent with the building envelope illustrated in the “Coach House (ZS12) – Broadmoor” zone, which involves a principal dwelling and an additional dwelling unit above an attached garage at the rear of each lot, on either side of a shared driveway centered on the proposed common property line. The principal dwellings face the street, while the attached garages and second storey units face the shared driveway.

Prior to rezoning approval, the applicant is required to register a legal agreement on Title to ensure that, upon subdivision of the property, the sole access to the site is from the proposed shared driveway. Prior to subdivision of the property, a cross-access easement is required to be registered on Title, to grant each property the right to use the shared driveway for access.

Consistent with zoning, on-site vehicle parking is proposed as follows:

- Two side-by-side parking spaces for the principal dwellings are proposed within the attached garage on each lot.
- One surface parking space for the additional dwelling unit is proposed within a portion of the rear yard, immediately south of the attached garage on each lot.

The proposed architectural elevations (Attachment 4) provide for an attractive pedestrian-oriented streetscape along Williams Road, through defined main entries with covered porches, columns, window openings, facade projections, and varied primary and secondary roof forms. Each proposed lot will contain private yard space in the rear that maximizes functionality in relation to buildings, sunlight, and parking.

Prior to rezoning approval, the applicant is required to register a legal agreement on Title to ensure that the site plan and architectural elevation plans are generally consistent with those included in Attachment 4. At Building Permit stage, plans must comply with all City regulations, including zoning, and staff will ensure that Building Permit plans are generally consistent with the registered legal agreement for the site plan and building design.

Tree Retention and Replacement

The applicant has submitted a Certified Arborist's Report; which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report assesses two bylaw-sized trees on the subject property and two trees on neighbouring properties.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report and supports the Arborist's findings, with the following comments:

- One tree (tag# 495) is a 23 cm caliper Silver Birch that is in poor condition as it has been previously topped, and exhibits a lot of dead wood in the canopy. It is also in conflict with the proposed building. It is not a good candidate for retention and should be removed and replaced.
- One tree (tag# 496) is a multi-stem 24 cm Magnolia that is in poor condition as it been previously topped. It is also in conflict with the proposed building, therefore, this is not a good candidate for retention and should be removed and replaced.
- Two trees (tag# os1, 30 cm caliper multi-stem Fig; and tag# os2, 24 cm caliper multi-stem Japanese Maple) located on adjacent neighbouring properties are identified to be retained and protected. The applicant is to provide tree protection as per City of Richmond Tree Protection Information Bulletin Tree-03.
- Replacement trees are required at a 2:1 ratio as per the OCP.

In addition to the bylaw sized trees, there is an existing neighbouring hedge along the south property line that is to be retained and will require Arborist supervision when pruning the hedge and doing construction work close to the hedge.

There are also three non-bylaw size trees located on-site and identified on the Tree Management Plan (Attachment 5). The undersized trees have low landscape value and are proposed to be removed.

Tree Replacement and Landscaping

The applicant wishes to remove two on-site trees (Trees # 495 and 496). The 2:1 replacement ratio would require a total of four replacement trees. The applicant has agreed to plant a minimum of two trees on each lot proposed; for a total of four trees. The required replacement trees are to be of the following minimum sizes, based on the size of the trees being removed as per Tree Protection Bylaw No. 8057.

No. of Replacement Trees	Minimum Caliper of Deciduous Replacement Tree	Minimum Height of Coniferous Replacement Tree
4	8 cm	4 m

To ensure that the new required trees are planted and maintained on each lot proposed and that the front yards of the proposed lots are enhanced, the applicant is required to complete the following prior to final adoption of the rezoning bylaw:

- Submit a Landscape Plan prepared by a Registered Landscape Architect, to the satisfaction of the Director of Development. The Landscape Plan must comply with the guidelines of the Arterial Road Land Use Policy in the OCP.
- Submit a Landscaping Security based on 100% of a cost estimate for the proposed Landscape Plan works provided by the Landscape Architect (including materials, installation, and a 10% contingency). The security will be held until construction and landscaping on-site is completed and a site inspection is conducted. The City may retain a portion of the security for a one-year maintenance period to ensure that the landscaping survives. To accompany the landscaping security, a legal agreement that sets the terms for release of the security must be entered into between the applicant and the City.

The applicant has provided a preliminary Landscape Plan and can be found as Attachment 6.

Affordable Housing Strategy

Consistent with the City’s Affordable Housing Strategy, the applicant proposes to provide a coach house of 39-m² (521 ft²) above an attached garage on each of the new lots, for a total of two coach house units.

Site Servicing and Frontage Improvements

At the Subdivision stage, the applicant will be required to:

- Register a cross-access easement on title to grant each property the right to use the shared driveway for access.

- Register a 3.0 m wide Statutory Right-of-Way (SRW) on Title for the sanitary sewer along the south property line, from the west property line to the east edge of the proposed shared driveway.
- Enter into a Servicing Agreement for the design and construction of engineering infrastructure improvements and frontage works. Works are to include, but are not limited to, installation of a new sanitary sewer line across a portion of the rear yard and frontage improvements to Williams Road including closing the existing driveway crossing and installing a new single shared driveway centered on the proposed common property line per Engineering Design Specifications.
- A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement.
- Pay Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, and Address Assignment Fee.

Analysis

This development proposal to permit a subdivision to create two lots, each to contain a principal dwelling and an additional dwelling unit above an attached garage, is consistent with the Arterial Road Land Use Policy in the OCP. It is an infill development proposal along a minor arterial road, along a transit route and is within close proximity to the Broadmoor Neighbourhood Service Centre at the intersection of Williams Road and No. 3 Road (approximately 150 m).

The form of development and architectural character proposed at the subject site is similar to other dwellings with attached second storey dwelling units that have previously been approved on the south side of this block of Williams Road. The proposed design provides for a pedestrian-oriented streetscape along Williams Road, which is consistent with the guidelines for arterial road redevelopment.

Financial Impact

None.

Conclusion

This rezoning application is to permit the subject property to be subdivided to create two lots, each to contain a principal dwelling and an additional dwelling unit above an attached garage, with vehicle access from Williams Road via a shared driveway. Staff supports the proposed rezoning on the basis that it complies with applicable policies and land use designations contained within the OCP, and is consistent with the established pattern of redevelopment on the block.

It is recommended that Richmond Zoning Bylaw 8500, Amendment Bylaw 10404 be introduced and given first reading.



Nathan Andrews
Planning Technician
(604-247-4911)

NA:blg

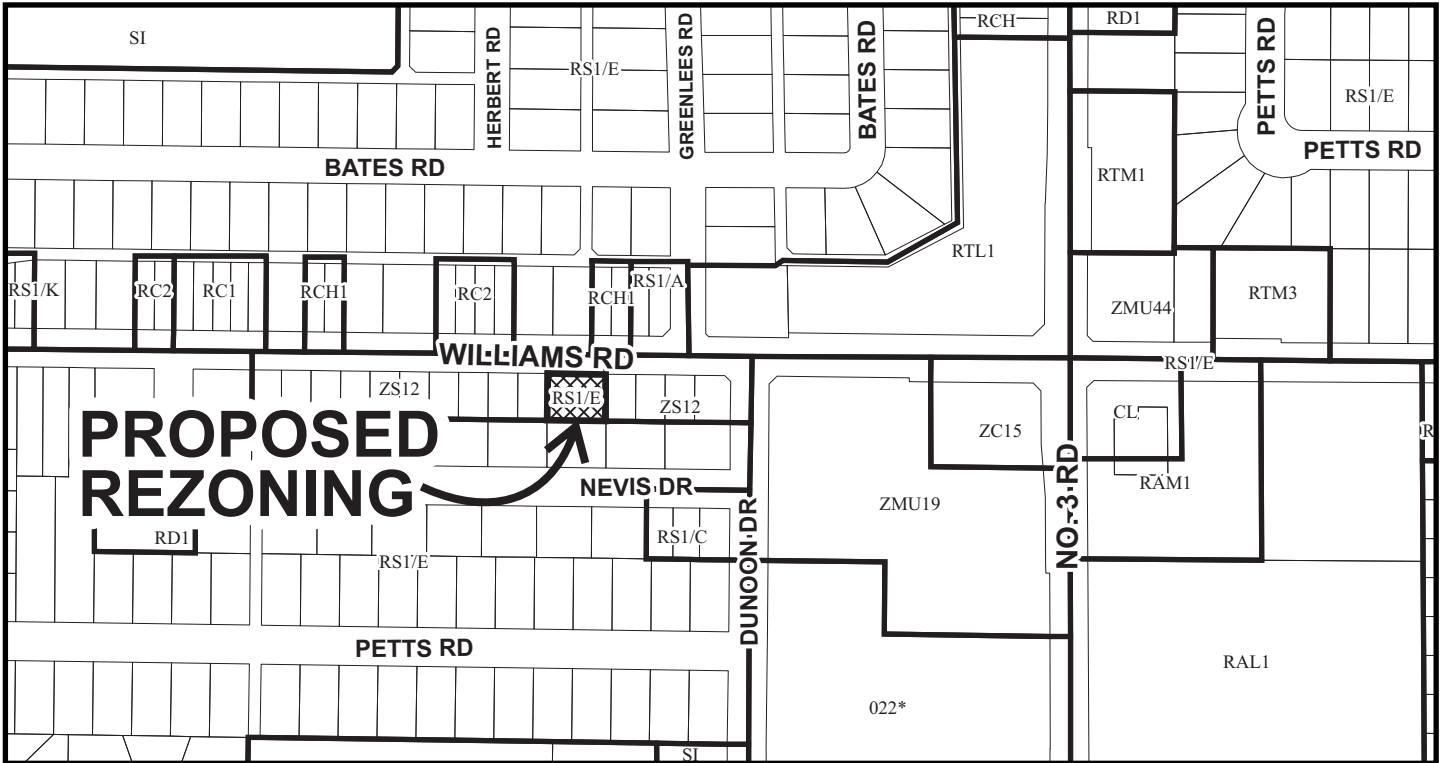
Attachments:

- Attachment 1: Location Map/Aerial Photo
- Attachment 2: Site Survey & Proposed Subdivision Plan
- Attachment 3: Development Application Data Sheet
- Attachment 4: Site Plan & Architectural Elevations
- Attachment 5: Tree Management Plan
- Attachment 6: Preliminary Landscape Plan
- Attachment 7: Rezoning Considerations



City of Richmond

ATTACHMENT 1



7411 10.06	7515 10.06	7531 10.06	7535 10.06	7551 20.12	7571 20.12	7575 10.06	7595 10.06	7599 9.45	7.13
WILLIAMS RD									
5.24 7442	15.24 7446	15.24 7460	15.24 7468	80.48 7480	15.24 7488	15.24 7508	15.24 7518	7520	
24.23	24.23	24.23	24.23	24.23	24.23	24.23	24.23	24.23	24.23
5.24	15.24	15.24	15.24	80.48	15.24	15.24	15.24		
	24.23		4.23	4.23			23		



RZ 21-930951

PLN - 11

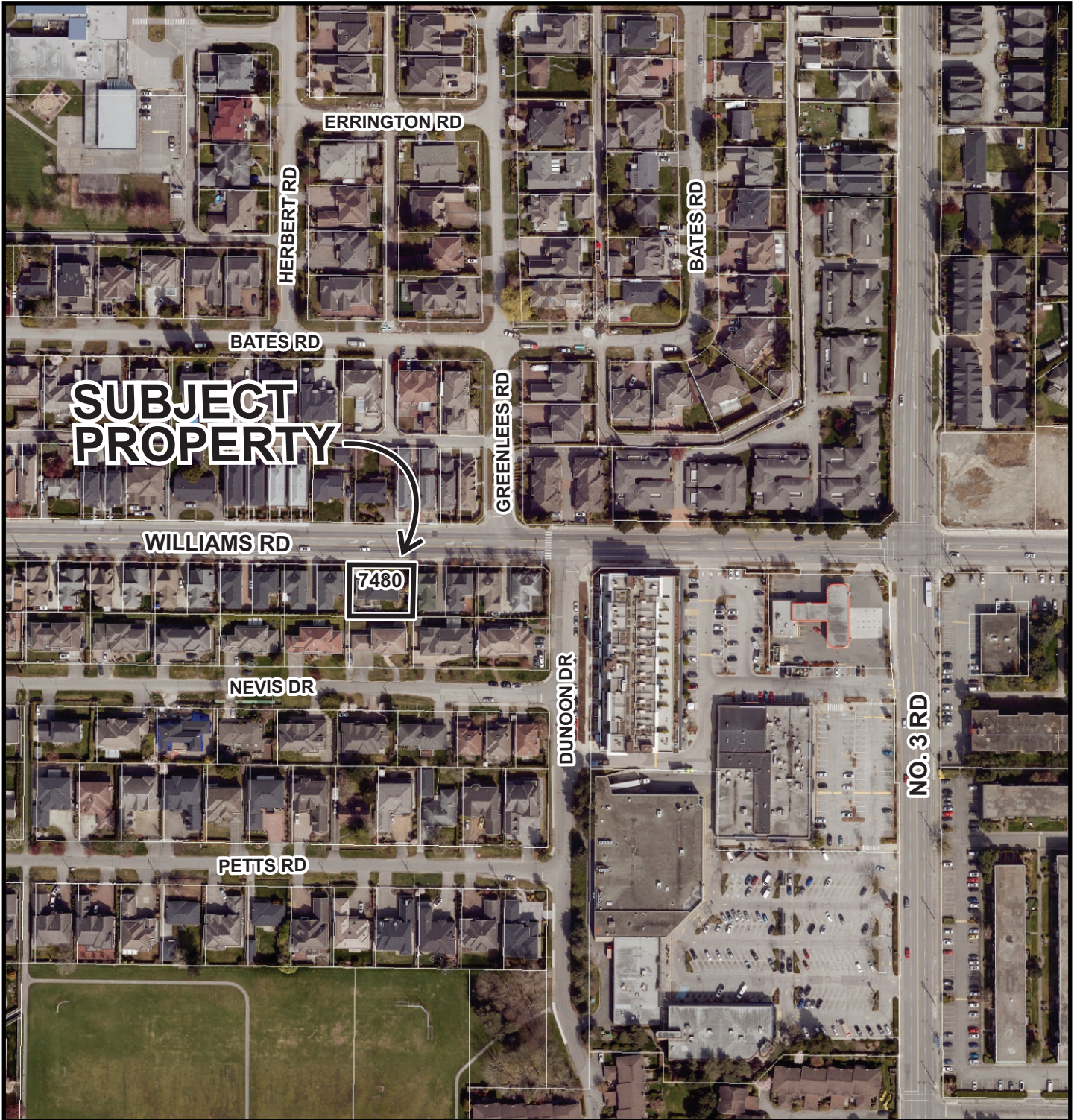
Original Date: 05/13/21

Revision Date:

Note: Dimensions are in METRES



City of Richmond



RZ 21-930951

PLN - 12

Original Date: 05/13/21

Revision Date:

Note: Dimensions are in METRES

**TOPOGRAPHIC SURVEY AND PROPOSED SUBDIVISION OF
LOT 20 SECTION 32 BLOCK 4 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTRICT PLAN 17380**

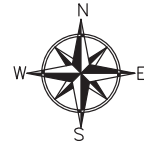
#7480 WILLIAMS ROAD,
RICHMOND, B.C.
P.I.D. 003-602-206

NOTE:

Elevations shown are based on
City of Richmond HPN
Benchmark network.
Benchmark: HPN #234
Control Monument 77H4891
Elevation: 1.125m
Benchmark: HPN #235
Control Monument 77H4885
Elevation: 1.103m

NOTE:

Use site Benchmark Tag #5044 for
construction elevation control.



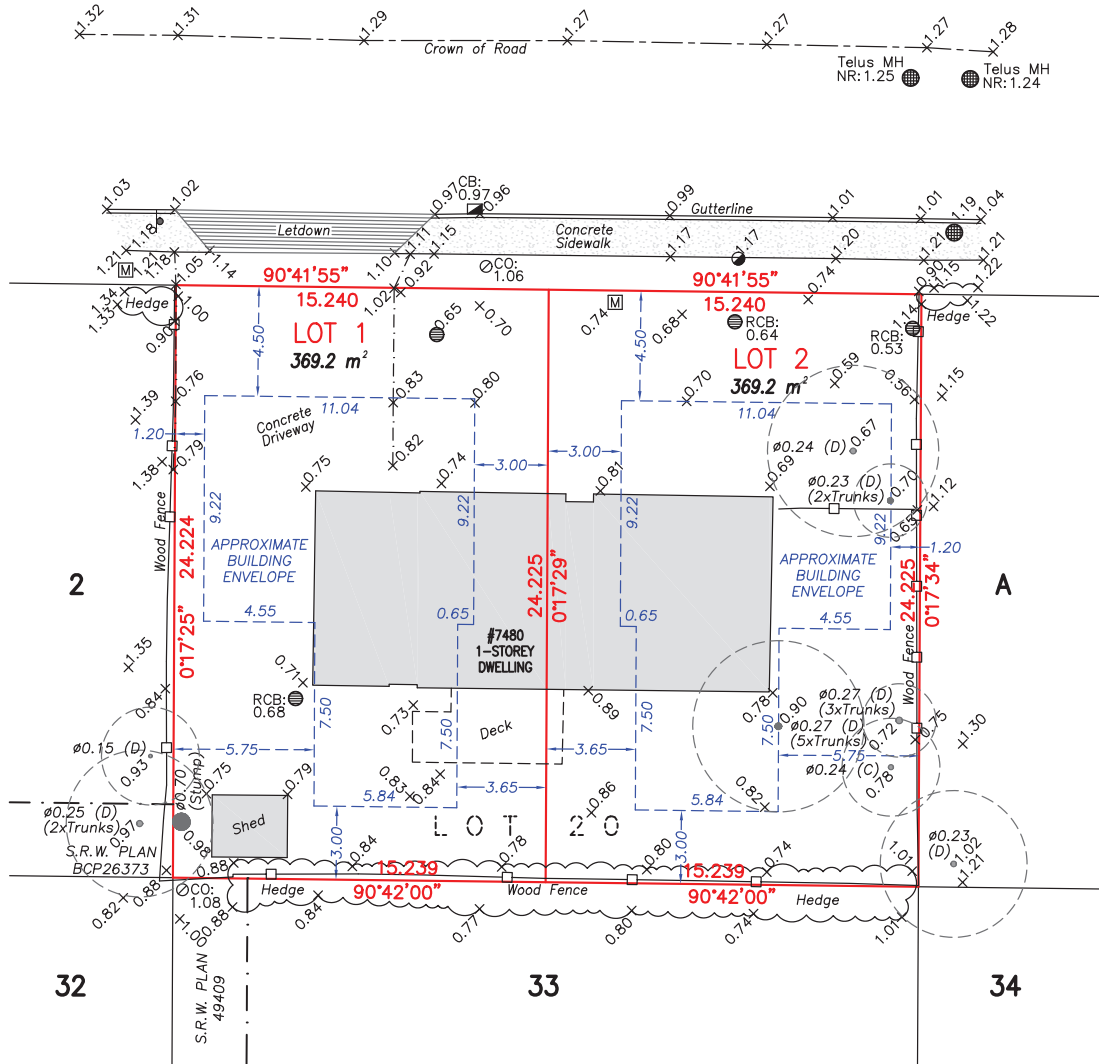
SCALE: 1:200



ALL DISTANCES ARE IN METRES AND DECIMALS
THEREOF UNLESS OTHERWISE INDICATED

Nail in aluminum
Tag #5044
Site Benchmark
Elevation: 1.08m

WILLIAMS ROAD



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J. C. Tam and Associates
Canada and B.C. Land Surveyor
115 - 8833 Odlin Crescent
Richmond, B.C. V6X 3Z7
Telephone: (604) 214-8928
Fax: (604) 214-8929
E-mail: office@jctam.com
Website: www.jctam.com
Job No. 7628
FB-396 P72-76
Drawn By: WK

LEGEND:

- (C) denotes conifer
- (D) denotes deciduous
- denotes catch basin
- denotes round catch basin
- Ⓜ denotes water meter
- ⊕ denotes manhole
- denotes cleanout
- ⊙ denotes sign
- ⦿ denotes power

CERTIFIED CORRECT:
LOT DIMENSION ACCORDING TO
FIELD SURVEY.

JOHNSON C. TAM, B.C.L.S., C.L.S.

January 25th, 2021.

DWG No. 7628-Topo

PLN - 13



RZ 21-930951

Attachment 3

Address: 7480 Williams Road

Applicant: Deluxe Custom Homes Ltd.

Planning Area(s): Broadmoor

	Existing	Proposed
Owner:	Deluxe Custom Homes Ltd.	To be determined
Site Size (m²):	738.4 m	Lot 1: 369.2 m ² Lot 2: 369.2 m ²
Land Uses:	Single-family dwelling	Two principal dwellings, each with an additional dwelling unit above an attached garage
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Single Detached (RS1/E)	Coach House (ZS12) - Broadmoor
Number of Units:	1	4
Other Designations:	Arterial Road Land Use Policy Broadmoor Coach House	Arterial Road Land Use Policy Broadmoor Coach House

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.55, together with an additional 0.10 provided the lot contains one (1) or more dwelling units with less than 60.0 m ² of gross floor area	0.55 plus 0.10	none permitted
Buildable Floor Area*:	239.98 m ² on each lot	232.1 m ² on each lot	
Lot Coverage (% of lot area):	Building: Max. 45% Non-porous Surfaces: Max. 70% Live Landscaping: Min. 20%	Building: Max. 45% Non-porous Surfaces: Max. 70% Live Landscaping: Min. 20%	none
Min. Lot Size:	N/A	N/A	none
Building Envelope:	Buildings shall not be sited outside the building envelope identified in Diagram 1, Section 15.12.6.2 of the ZS12 zone	Buildings are proposed to be sited within the building envelope identified in Diagram 1, Section 15.12.6.2 of the ZS12 zone	none
Height (m):	Max. 9.0 m	Max. 9.0 m	none

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
On-Site Vehicle Parking Spaces:	2 spaces per primary dwelling unit + 1 space per additional dwelling unit	2 spaces per primary dwelling unit + 1 space per additional dwelling unit	none
Off-street Parking Spaces – Total:	3	3	none

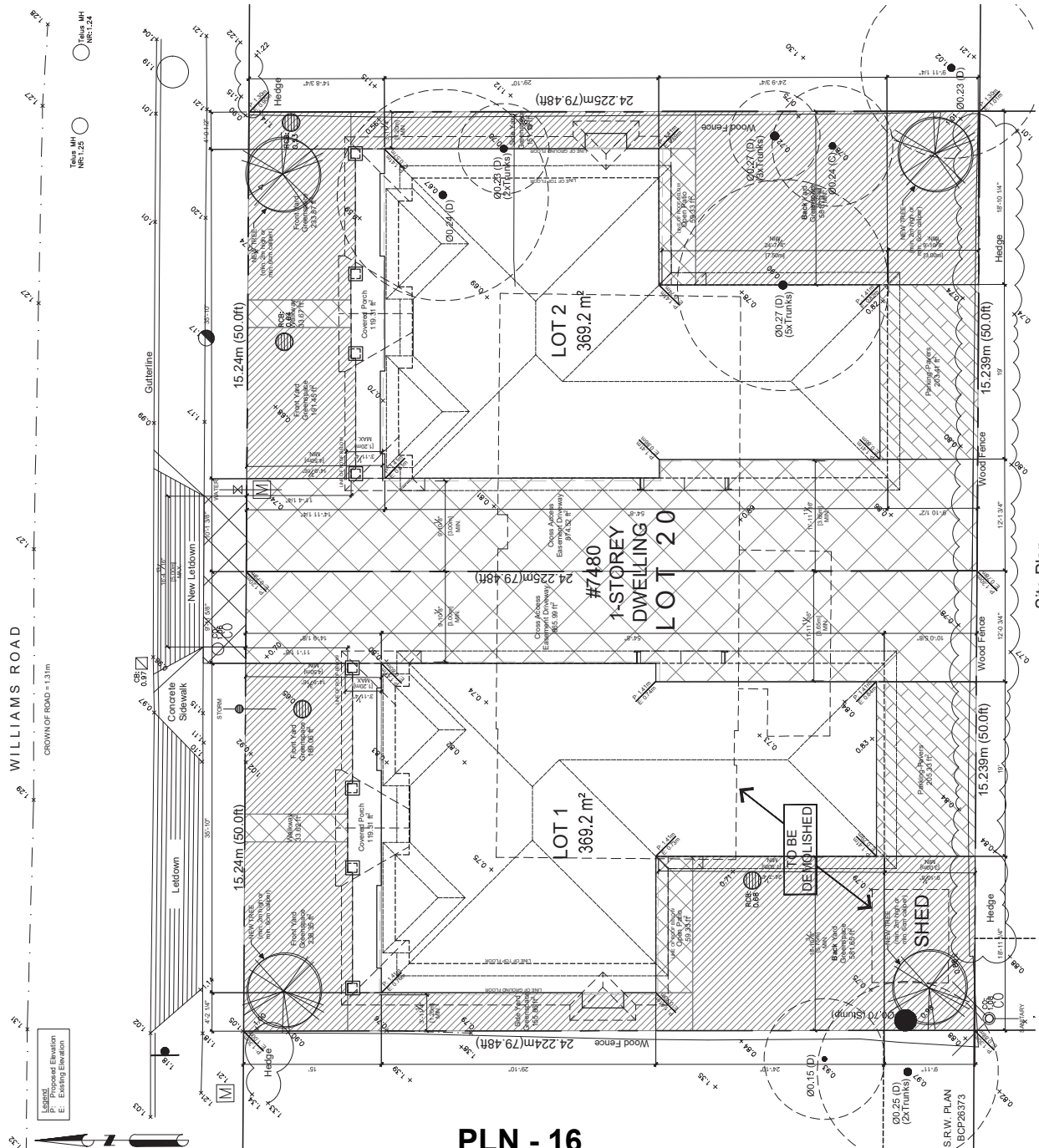
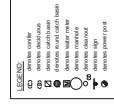
* Preliminary estimate; not inclusive of garage; exact building size to be determined through zoning bylaw compliance review at Building Permit stage.

LOT 1

SITE COVERAGE AND LIVE LANDSCAPING:	
FRONT YARD LANDSCAPING REQUIREMENT CALCULATION: 55% OF FRONT YARD (738.16ft ²):	405.99ft ² (55%)
PROPOSED LANDSCAPING:	427.41ft ² (57.90%)
LIVE LANDSCAPING REQUIREMENT CALCULATION:	
20% OF LOT AREA (3,973.7ft ²):	794.74ft ² (20%)
FRONT YARD LANDSCAPING:	427.41ft ²
SIDE YARD LANDSCAPING:	156.89ft ²
REAR YARD LANDSCAPING:	581.65ft ²
TOTAL PROPOSED:	1,164.95ft ² (29.32%)
SITE COVERAGE FOR IMPERMEABLE AREAS CALCULATION:	
MAXIMUM ALLOWABLE 70%:	2,781.60ft ² (70%)
SFD FOOTPRINT:	1,525.03ft ²
DECK:	850.82ft ²
WALKWAY/PATIO:	119.31ft ²
COVID PORCH:	59.33ft ²
REAR OPEN PATIO:	59.33ft ²
TOTAL IMPERMEABLE AREAS:	2,603.28ft ² (65.51%)
EXISTING ROAD CENTRE LINE GRADE ELEV.: 1.31M	
EXISTING ROAD CORNER ELEV.: 1.28M	
PROPOSED AVERAGE LOT GRADE ELEV.: 1.28M	
FINISHED GRADE AT HOUSE CORNERS ELEV.: 1.41M	
TOP OF SLAB ELEV. = 1.61M	
BUILDING HEIGHT MEASURED FROM: 1.41M	

LOT 2

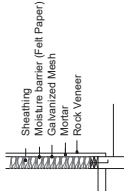
SITE COVERAGE AND LIVE LANDSCAPING:	
FRONT YARD LANDSCAPING REQUIREMENT CALCULATION: 55% OF FRONT YARD (738.16ft ²):	405.99ft ² (55%)
PROPOSED LANDSCAPING:	425.32ft ² (57.62%)
LIVE LANDSCAPING REQUIREMENT CALCULATION:	
20% OF LOT AREA (3,973.7ft ²):	794.74ft ² (20%)
FRONT YARD LANDSCAPING:	425.32ft ²
SIDE YARD LANDSCAPING:	151.19ft ²
REAR YARD LANDSCAPING:	581.79ft ²
TOTAL PROPOSED:	1,158.30ft ² (29.15%)
SITE COVERAGE FOR IMPERMEABLE AREAS CALCULATION:	
MAXIMUM ALLOWABLE 70%:	2,781.60ft ² (70%)
SFD FOOTPRINT:	1,525.03ft ²
DECK:	874.52ft ²
WALKWAY/PATIO:	33.67ft ²
COVID PORCH:	119.31ft ²
REAR OPEN PATIO:	59.33ft ²
TOTAL IMPERMEABLE AREAS:	2,611.86ft ² (65.73%)
EXISTING ROAD CENTRE LINE GRADE ELEV.: 1.31M	
EXISTING ROAD CORNER ELEV.: 1.28M	
PROPOSED AVERAGE LOT GRADE ELEV.: 1.28M	
FINISHED GRADE AT HOUSE CORNERS ELEV.: 1.41M	
TOP OF SLAB ELEV. = 1.61M	
BUILDING HEIGHT MEASURED FROM: 1.41M	



PLN - 16

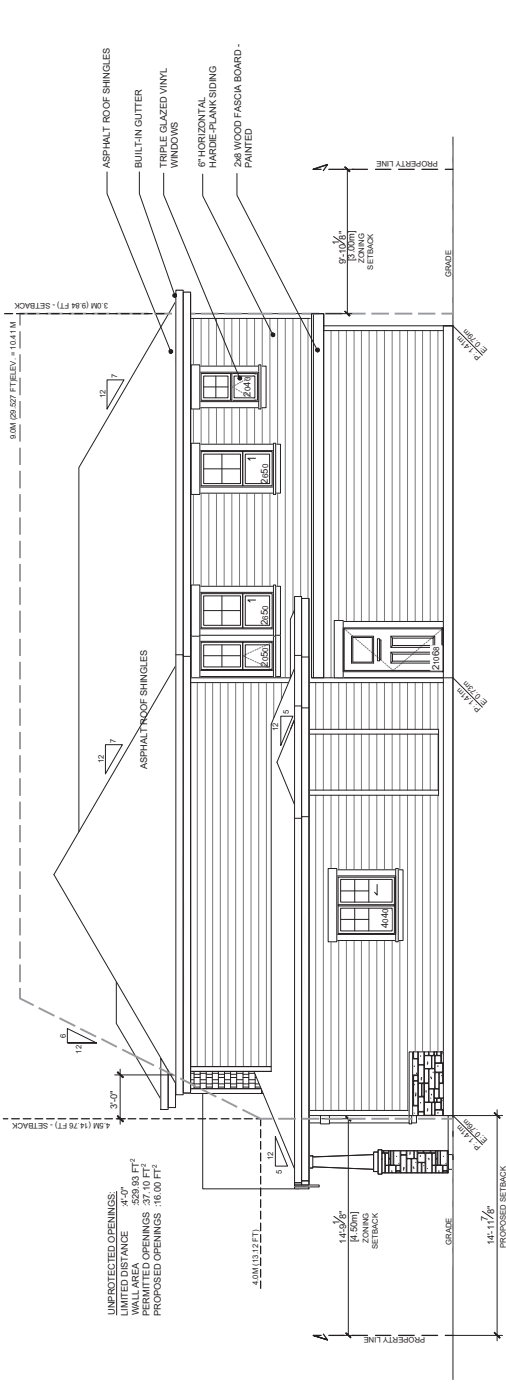
Site Plan
Scale 3/16" = 1'-0"

ROCK VENEER ROCK DETAIL :

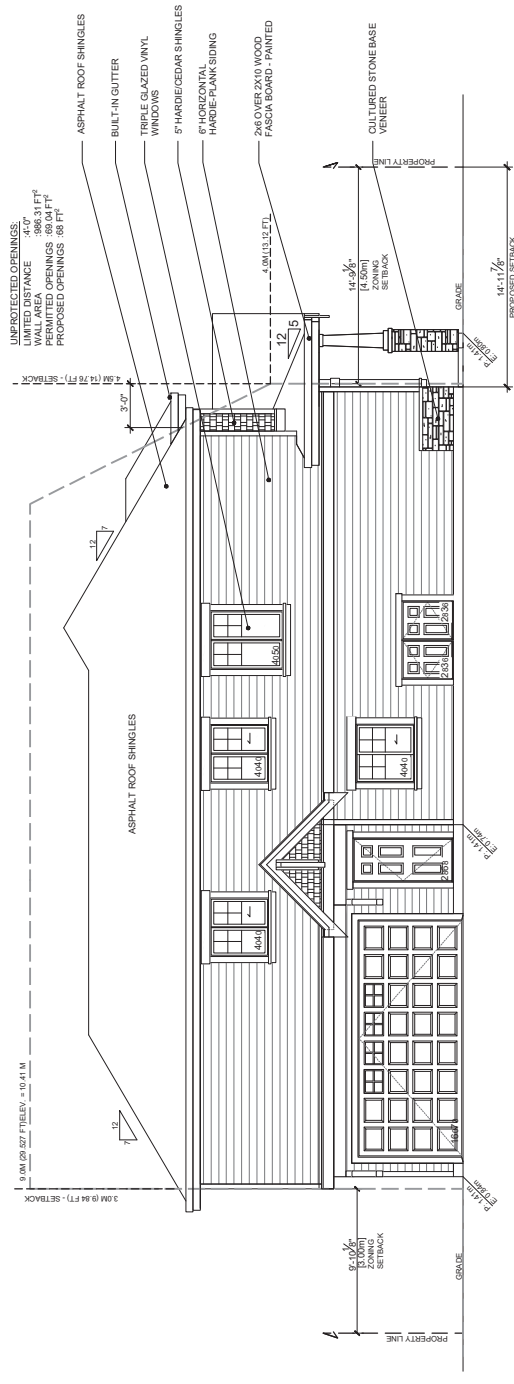


SPECIFICATIONS:
THE INSTALLATION OF THE ROCK VENEER TO COMPLY WITH 2012 CBC

- APPLICATION:**
1. APPLY 15 LB. FELT PAPER USING 2" GALVANISED ROOFING NAILS OR STAPLES TO WOOD JAMBS WITH PLYWOOD SHEATHING USING MIN. 1/2" GALVANISED ROOFING NAILS OR STAPLES.
 2. APPLY GALVANIZED MESH TO THE LATH AND COMPLETELY COVER THE MORTAR FOR AN OVERALL THICKNESS OF 1/2".
 3. SELECT ROCK OR VENEER ROCK, APPLY THE MORTAR AND PLACE EACH ROCK ON THE MORTAR FACE.
 4. FILL IN THE GAPS BETWEEN THE ROCK VENEERS WITH MORTAR.
 5. USE A BLUNT INSTRUMENT TO RACK OUT THE ROUGH PIECES.
- FOR ADDITIONAL PROTECTION, AN MASONRY SEALER FOR ADDITIONAL PROTECTION.



Side (West) Elevation
Scale 1/4" = 1'-0"

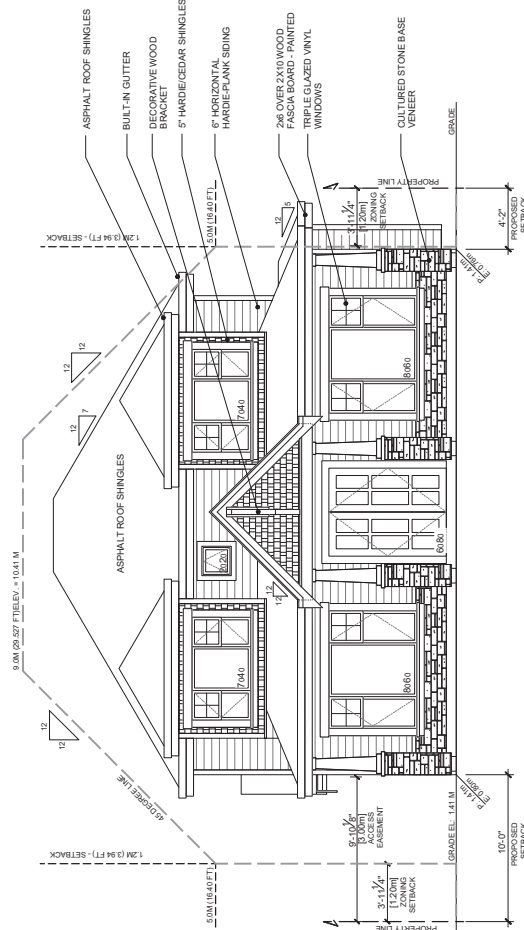
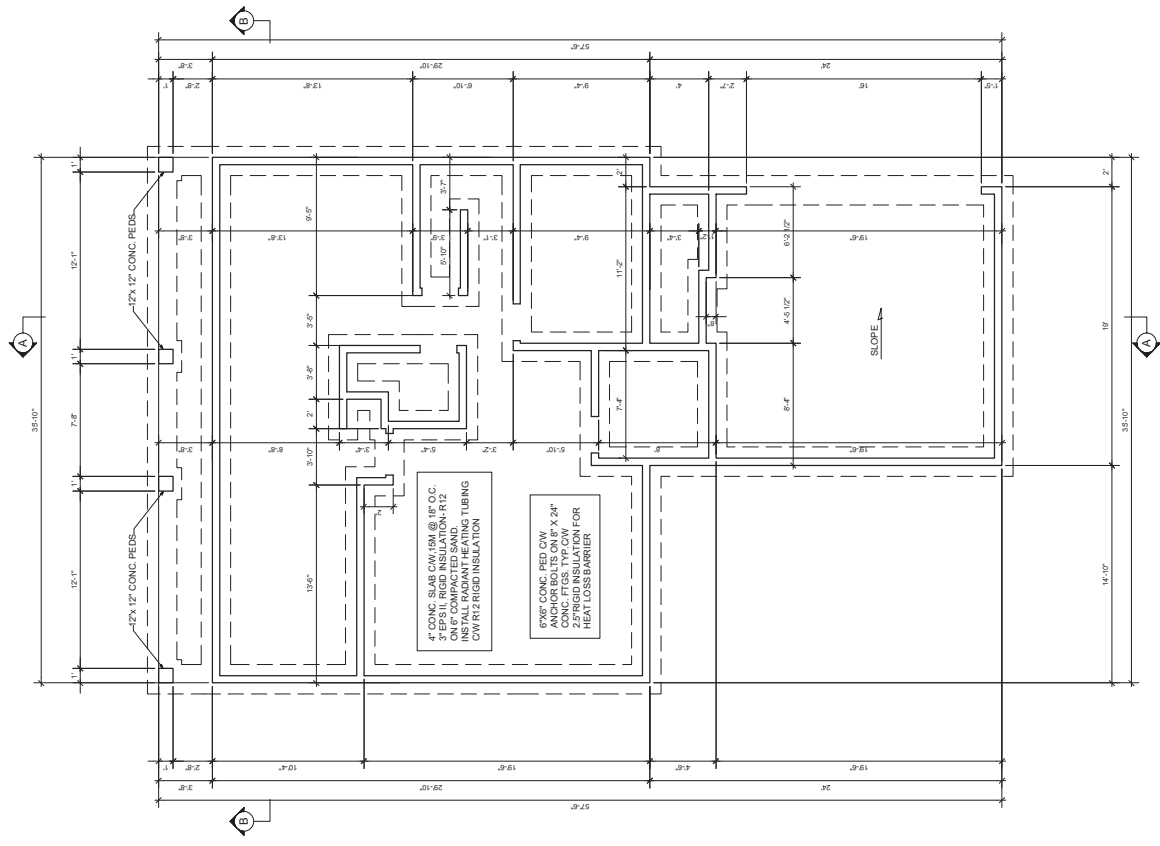


Side (East) Elevation
Scale 1/4" = 1'-0"

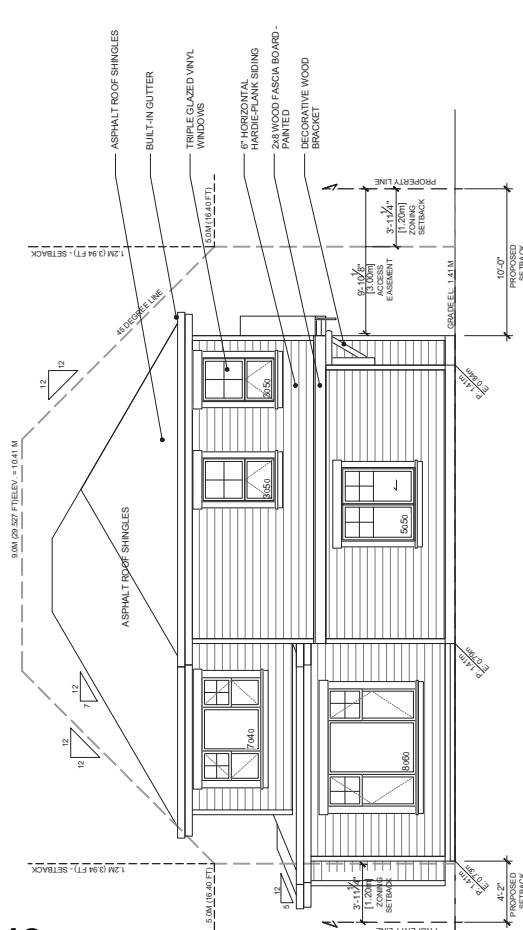
Ventura Design
7480 Williams Rd. Lot 1 - Sk. 5

Foundation Plan

Scale 1/4" = 1'-0"

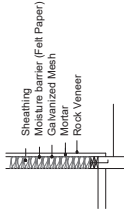


Front (North) Elevation
Scale 1/4" = 1'-0"



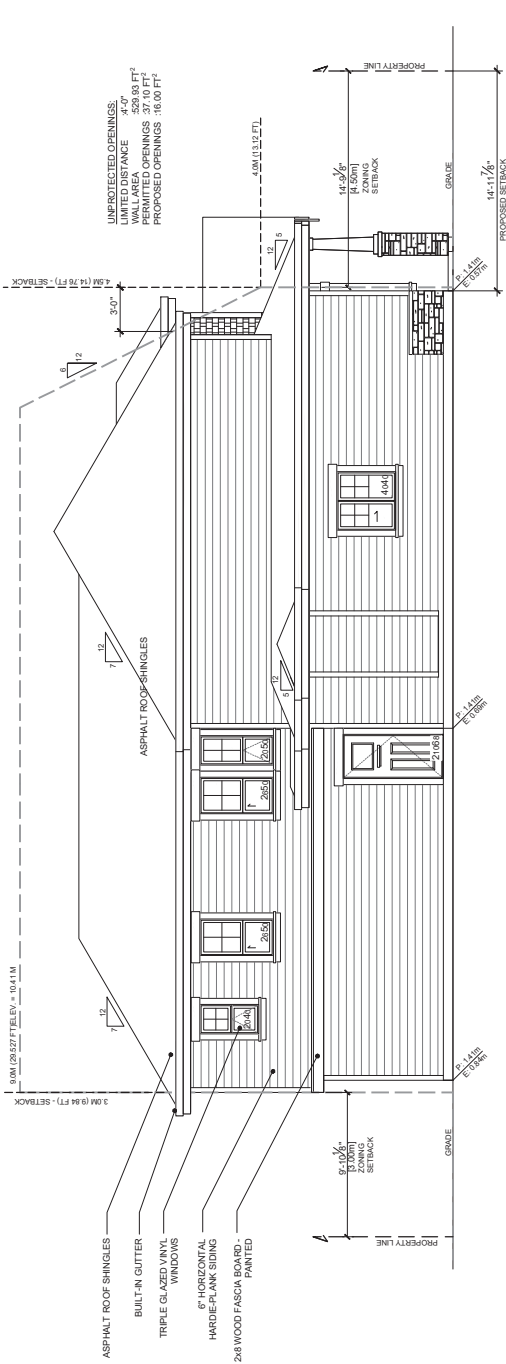
Rear (South) Elevation
Scale 1/4" = 1'-0"

ROCK VENEER ROCK DETAIL :

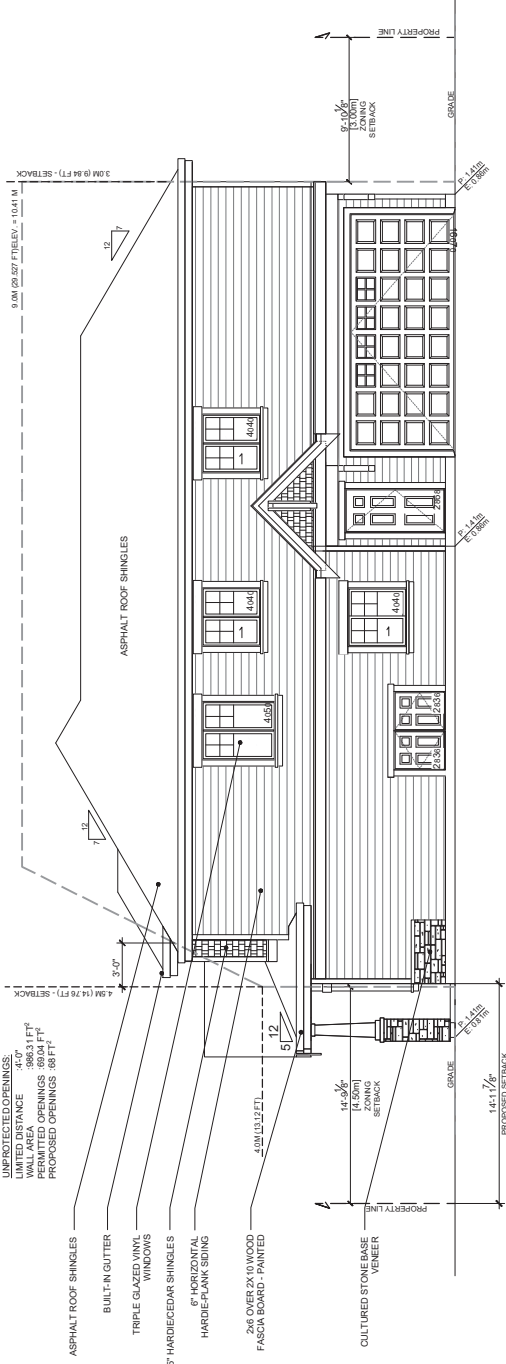


SPECIFICATIONS:
THE INSTALLATION OF THE ROCK VENEER TO COMPLY WITH 2012 CBC

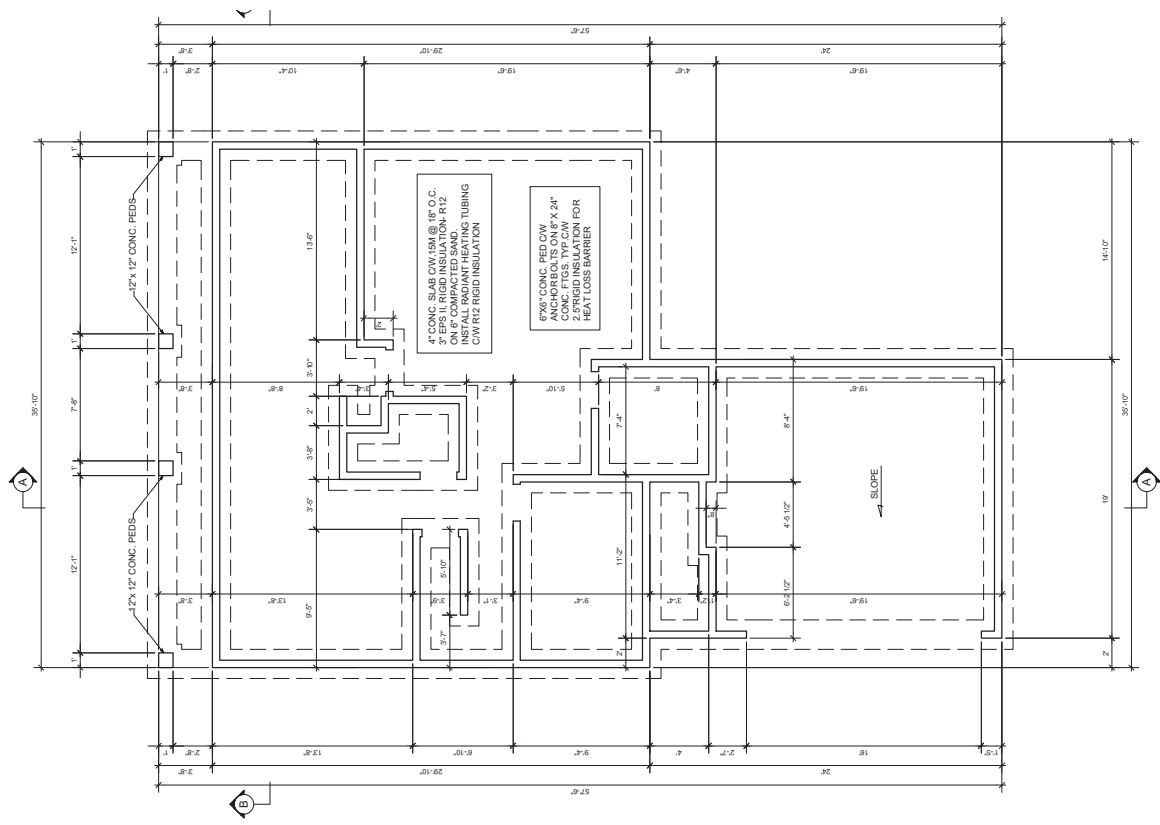
- APPLICATION:**
1. APPLY 15 LB. FELT PAPER USING 2" GALVANISED ROOFING NAILS OR STAPLES TO WOOD JAMBS WITH PLYWOOD SHEATHING USING MIN. 1/2" GALVANISED ROOFING NAILS OR STAPLES.
 2. APPLY GALVANIZED MESH TO THE LATH AND COMPLETELY COVER THE MORTAR FOR AN OVERALL THICKNESS OF 1/2".
 3. SELECT ROCK OR VENEER ROCK, APPLY THE MORTAR AND PLACE EACH ROCK ON THE MORTAR FACE.
 4. FILL IN THE GAPS BETWEEN THE ROCK VENEERS WITH MORTAR.
 5. USE A BLUNT INSTRUMENT TO RACK OUT THE ROUGH PIECES.
- FOR ADDITIONAL PROTECTION, MASONRY SEALER FOR ADDITIONAL PROTECTION.



Side (West) Elevation
Scale 1/4" = 1'-0"

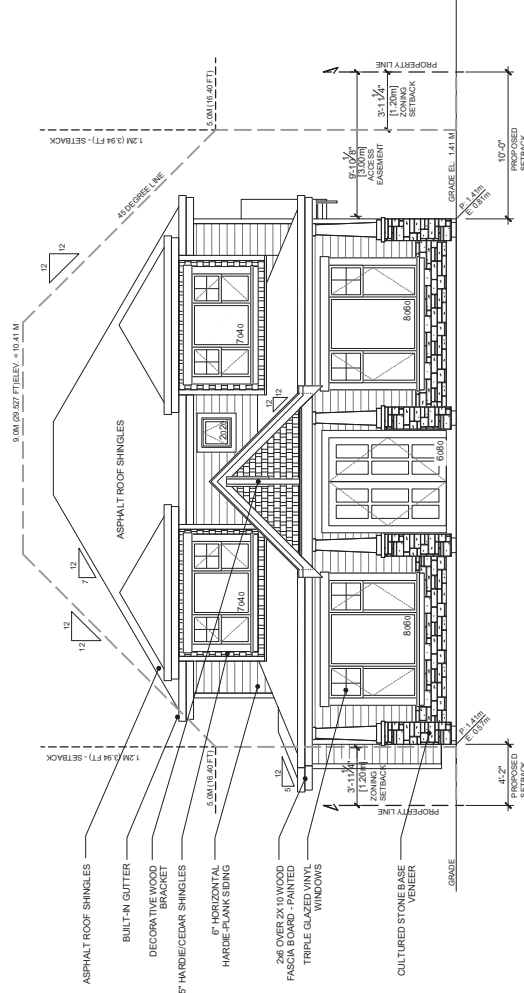


Side (East) Elevation
Scale 1/4" = 1'-0"

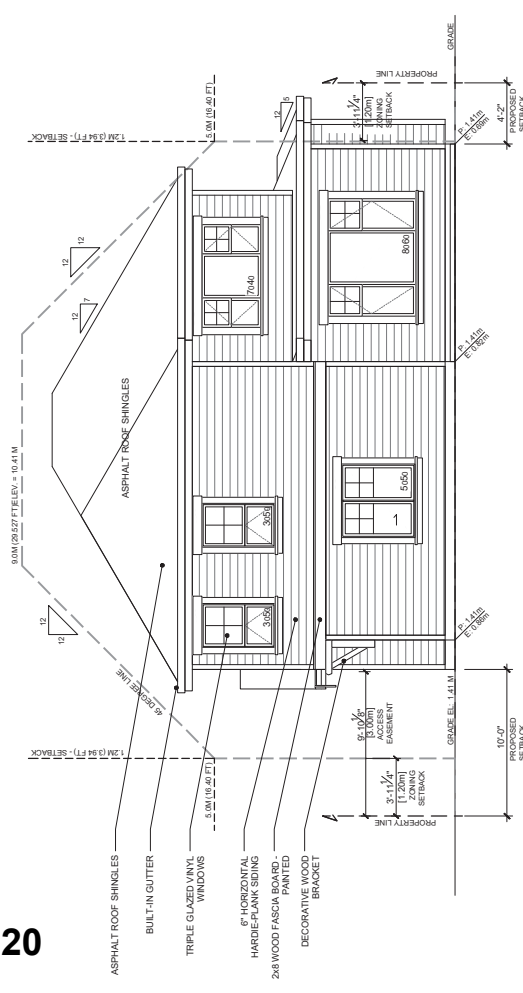


Ventura Design
 7480 Williams Rd - Lot 2 - S1.6

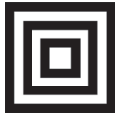
Foundation Plan
 Scale 1/4" = 1'-0"



Front (North) Elevation
 Scale 1/4" = 1'-0"



Rear (South) Elevation
 Scale 1/4" = 1'-0"



**HOMING
LANDSCAPE
ARCHITECTURE**
VANCOUVER, BC CANADA V6H 1R9
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

THIS DRAWING IS THE PROPERTY OF HOMING LANDSCAPE ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED WITHIN THE DOCUMENT. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF HOMING LANDSCAPE ARCHITECTURE. ALL RIGHTS ARE RESERVED. PROCEEDING WITH WORKS.

NO.	Date	Revisions
1	2022-05-08	ISSUED FOR REZONING APPLICATION

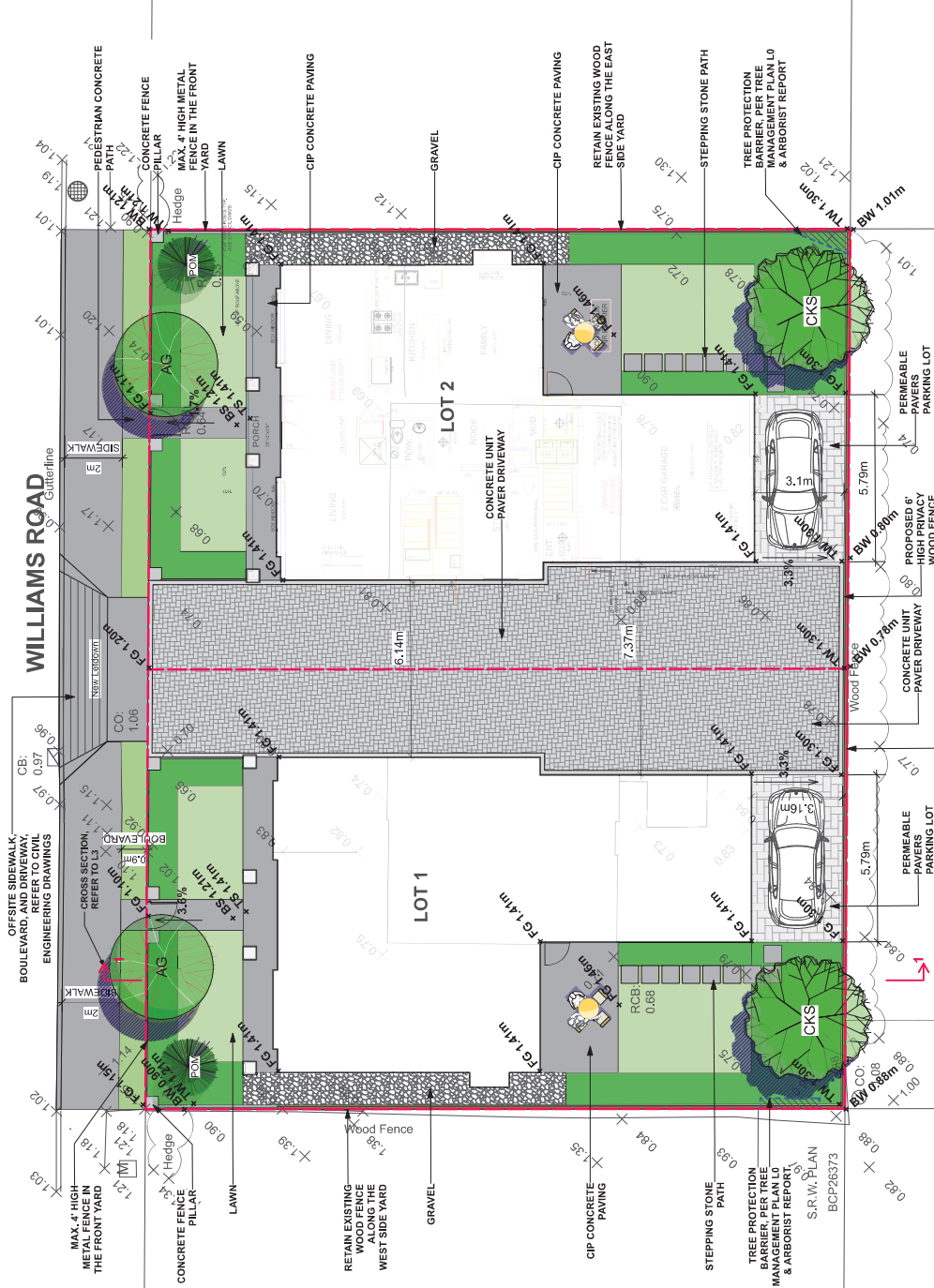
7480 WILLIAMS ROAD

PROJECT ADDRESS:
7480 WILLIAMS ROAD,
RICHMOND, BC, CANADA

PROJECT NUMBER: 22-07
SCALE: 1:100
DRAWN BY: EL
REVIEWED BY: EL

Landscape Layout and Grading Plan

L1



LOT COVERAGE SUMMARY:

LOT 1 SITE AREA:	389.16 m ²
PERMEABLE PAVING:	80.89 m ²
GRAVEL AREA:	13.20 m ²
LOT 2 SITE AREA:	389.17 m ²
PERMEABLE PAVING:	80.89 m ²
GRAVEL AREA:	13.20 m ²

ABOUT 22% OF LOT 1 AREA IS LANDSCAPING WITH LIVE PLANT MATERIALS
ABOUT 30% OF LOT 1 AREA IS POROUS SURFACE

LOT 2 SITE AREA: 389.17 m²
LIVE PLANT MATERIAL AREA: 80.54 m²
TOTAL POROUS SURFACE AREA: 106.68 m²
GRAVEL AREA: 13.20 m²
ABOUT 22% OF LOT 2 AREA IS LANDSCAPING WITH LIVE PLANT MATERIALS
ABOUT 30% OF LOT 2 AREA IS POROUS SURFACE

GRADING NOTES

- DO NOT SCALE DRAWINGS.
- ALL GRADING INFORMATION IS PRELIMINARY ONLY.
- REFER TO CIVIL DRAWINGS OFF-SITE ROAD GRADING INFORMATION.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS.
- ALL EXISTING SURVEY INFORMATION APPROXIMATE. VERIFY ALL EXISTING GRADES WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING TREES AND UTILITIES. VERIFY THE LOCATION AND DEPTH OF UTILITIES WITH THE CONSULTANT TEAM PRIOR TO PROCEEDING.
- UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO DRAINAGE UTILITIES. SOFT LANDSCAPE AREAS TO BE A MINIMUM 0.1% SLOPE.

LANDSCAPE LEGENDS

SYMBOL	MATERIALS
[Pattern]	CIP CONCRETE PAVING
[Pattern]	CONCRETE UNIT PAVEMENT FOR DRIVEWAY
[Pattern]	PERMEABLE PAVEMENT FOR PARKING LOT
[Pattern]	GRAVEL
[Pattern]	LAWN
[Pattern]	PLANTING BED
[Pattern]	6"-8" HIGH WOOD FENCE
[Pattern]	MAX. 4" HIGH METAL FENCE
[Pattern]	STEPPING STONE PATH

LANDSCAPE NOTES

- DO NOT SCALE DRAWINGS.
- LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
- VERIFY ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
- THE LOCATION OF ALL PROPOSED HARDSCAPE AND SOFT PLANTINGS ARE TO BE FLAGGED OUT ON-SITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL OFF-SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS.
- LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, WALLS, PLANTING, ETC., TO BE CONFIRMED WITH CITY OF RICHMOND PRIOR TO INSTALLATION.

GRADING LEGEND

KEY	DESCRIPTION
+FG 1.30m	PROPOSED SPOT ELEVATIONS
+TW 1.60m	PROPOSED TOP OF WALL ELEVATION
+BW 1.30m	PROPOSED BOTTOM OF WALL ELEVATION
+TS 1.41m	PROPOSED TOP OF STAIR ELEVATION
+BS 1.21m	PROPOSED TOP OF STAIR ELEVATION
2%	SLOPE PERCENTAGE
[Symbol]	EXISTING ELEVATIONS, PER SURVEY



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Revisions

NO.	Date	Note
1	2022-05-08	ISSUED FOR REZONING APPLICATION

7480 WILLIAMS ROAD

PROJECT ADDRESS:
7480 WILLIAMS ROAD,
RICHMOND, BC, CANADA

PROJECT NUMBER: 22-07

SCALE: 1:100

DRAWN BY: EL

REVIEWED BY: EL

**Planting Plan &
Plant List**

L2

WILLIAMS ROAD



PLANTING NOTES:

- 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
- 2) All planting shall be in accordance with CSLA Landscape Standard, latest edition.
- 3) The Landscape Contractor shall ensure that the on-site planting medium/soil meets the Specification & recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.
- 4) Minimum planting medium depths:
 lawn - 67/150mm
 groundcover - 127/300 mm
 shrubs - 187/450 mm
 trees - 247600 mm (around & beneath rootball)
- 5) All plant material to be supplied on the job site must be obtained from a nursery participating in the BCLNA Phytophthora ramorum Certification Program.

ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)					
AG	Acer glabrum	Paperbark Maple	2	5cm cal.	replacement tree
CKS	Pinus japonica 'Suzuki'	Pin. Japanese Dogwood	2	8cm cal.	replacement tree
PO4	Picea canadica	Sequoia Spruce	2	40cm height	replacement tree
SHRUBS					
Az1	Aspid. japonica 'Gumpo Pink'	Gumpo Pink Azalea	10	#2 pot	
Sh1	Shumoa japonica	Shumoa Japanese	21	#2 pot	
Sh2	Shumoa japonica	Shumoa Japanese	31	#2 pot	
Ver1	Veronica oceanica 'Thunderbolt'	Thunderbolt Veronica heuchera	10	#2 pot	
PERENNIALS & GROUNDCOVERS					
Isa	Isorandia arvensis	English Spice Lavender	13	#2 pot	
pl1	Polystichum muricatum	Waxtail sword fern	28	#1 pot	
ORNAMENTAL GRASSES & BAMBOOS					
cm	Carex morrowii	Ice Dance Japanese Sedge	60	#1 pot	
Isa	Isorandia arvensis	English Spice Lavender	28	#1 pot	
VINES					



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WRITTEN PERMISSION OF THE ARCHITECT.
LANDSCAPE ARCHITECTS TO OBTAIN THE
LATEST REVISIONS TO THIS DRAWING,
PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
1	2022-05-08	ISSUED FOR REZONING APPLICATION

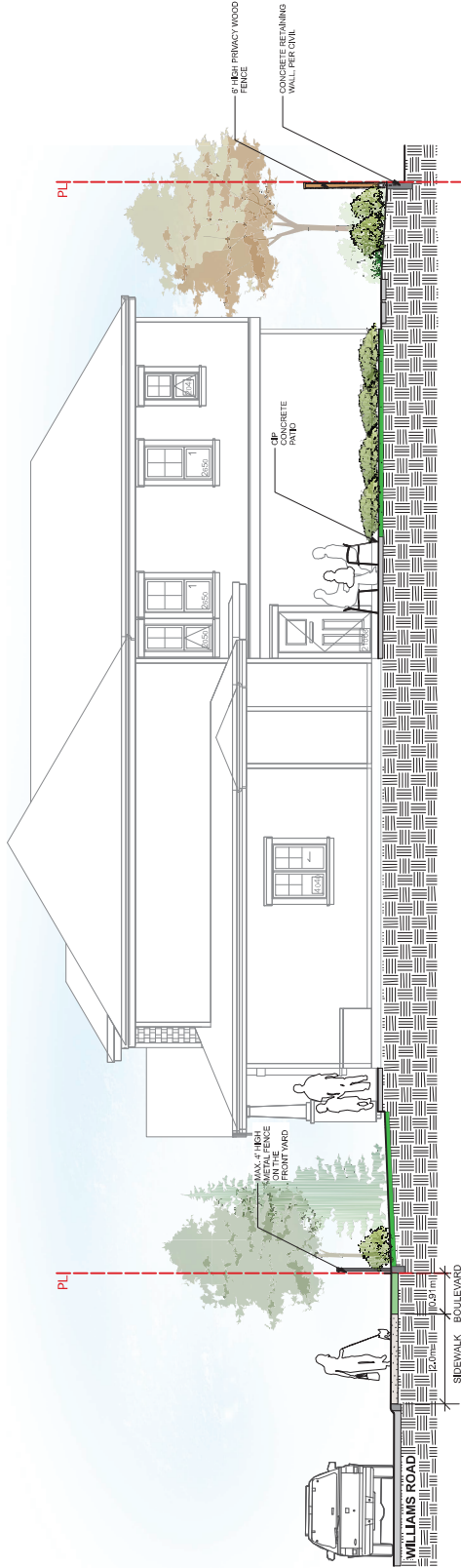
**7480 WILLIAMS
ROAD**

PROJECT ADDRESS:
7480 WILLIAMS ROAD,
RICHMOND, BC, CANADA

PROJECT NUMBER: 22-07
SCALE: AS SHOWN
DRAWN BY: EL
REVIEWED BY: EL

**Cross Section and
Details**

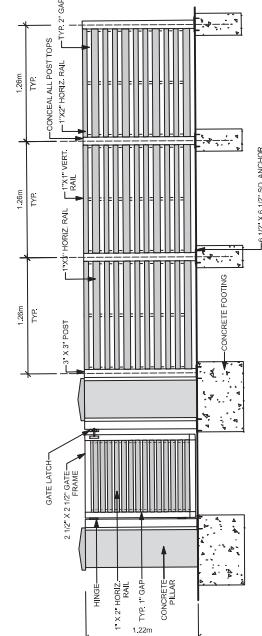
L3



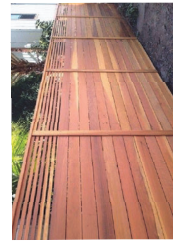
1 CROSS SECTION
Scale: 1/32"



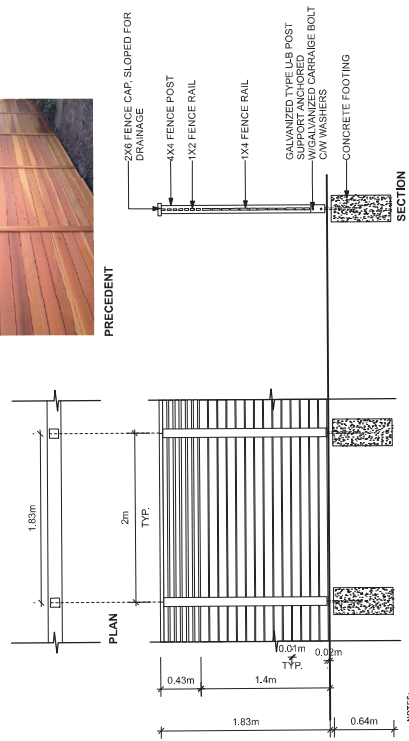
PROVIDE SHOP DRAWINGS FOR APPROVAL BY CONSULTANT PRIOR TO FABRICATION AND INSTALLATION OF FENCE.



2 4' HIGH ALUMINUM FENCE AND GATE
Scale: 1/25"



PRECEDENT



3 6' HIGH WOOD PRIVACY SCREEN
Scale: 1/25"

- NOTES:**
1. ALL WOOD EXPOSED TO VIEW SHALL BE C AND BETTER CLEAR CEDAR.
 2. ALL WOOD SHALL BE STRAIGHT, SOUND, AND FREE OF SPLITS, WARPS, GRACKS, LARGE KNOTS, AND OTHER DEFECTS.
 3. WOOD PRESERVATIVE TO BE USED SHALL BE OLYMPIC MAXIMUM WATERPROOFING SEALANT, "CEDAR TREAT".
 4. ALL CUTS TO BE SQUARE AND CLEAN.
 5. ALL METAL FITTINGS TO BE GALVANIZED OR WHERE NOTED - STAINLESS STEEL.
 6. ALL STRUCTURAL FASTENERS TO BE GALVANIZED CARBIDE BOLTS (IE: TRILLIS) AND GATE.



Address: 7480 Williams Road

File No.: RZ 21-930951

Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 10404, the developer is required to complete the following:

1. Submission of a final Landscape Plan, prepared by a Registered Landscape Architect, to the satisfaction of the Director of Development, and deposit of a Landscaping Security based on 100% of the cost estimate provided by the Landscape Architect (including fencing, paving, and installation costs). The Landscape Plan should:
 - Comply with the applicable guidelines of the OCP's Arterial Road Policy and should not include hedges along the front property line;
 - Include a mix of coniferous and deciduous trees;
 - Include the dimensions of tree protection fencing as illustrated on the Tree Retention Plan attached to this report; and
 - Include the required minimum (4) replacement trees.
2. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the off-site trees to be retained on the neighbouring property to the west (7468 Williams Road) and east (7488 Williams Road) (Trees #os1 and os2), and any pruning required for the hedge to south along the south property line (7471 Nevis Drive). The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
3. Registration of a flood indemnity covenant on Title (2.9 m GSC – Area A).
4. Registration of a legal agreement on title to ensure that, upon subdivision of the property, the sole access to the site is from the proposed shared driveway.
5. Registration of a legal agreement on title to ensure that the plans at Building Permit stage are generally consistent with the site plan, architectural elevation plans, and landscape plan included in Attachment 4 and 6 to this report.

At Demolition* stage, the following must be completed:

- Installation of tree protection fencing on-site around the off-site trees to be retained on the neighbouring property to the west (7468 Williams Road) and east (7488 Williams Road) (Trees #os1 and os2). Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin TREE-03. Tree protection fencing must be installed prior to demolition of the existing dwelling and must remain in place until construction and landscaping on the proposed lots is completed.

At Subdivision* stage, the following must be completed:

- Payment of Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, and Address Assignment Fee.
- Registration of a cross-access easement on title to grant each property the right to use the shared driveway for access.
- The granting of a 3.0 m wide Statutory Right-of-Way (SRW) for the sanitary sewer along the south property line, from the west property line of the subject site to the east edge of the proposed shared driveway.
- Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements and frontage works. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to,

Water Works:

- a) Using the OCP Model, there is 324 L/s of water available at a 20 psi residual at the Williams Road frontage. Based on your proposed development, your site requires a minimum fire flow of 95 L/s.
- b) At Developer's cost, the Developer is required to:
 - i) Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
 - ii) Cut and cap at main the existing water connection and remove water meter on the Williams Road frontage.
 - iii) Install two new service connections complete with water meters per City standards on the Williams Road frontage to service Lot A and Lot B.
 - iv) Provide a SRW for the water meter. Minimum SRW dimensions to be the size of the meter box (from the City of Richmond supplementary specifications) + any appurtenances (for example, the bypass on W2o-SD) + 0.5 m on all sides. Exact SRW dimensions to be finalized during the building permit process (or via the servicing agreement process, if one is required).
- c) At Developer's cost, the City will:
 - i) Complete all tie-ins for the proposed works to existing City infrastructure.

Storm Sewer Works:

- d) At Developer's cost, the Developer is required to:
 - i) Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement design.
 - ii) Inspect existing storm service connections on the north property line of Lot A and Lot B. Reuse if in good condition to service Lot A and Lot B.
- e) At Developer's cost, the City will:
 - i) Complete all tie-ins for the proposed works to existing City infrastructure.

Sanitary Sewer Works:

- f) At Developer's cost, the Developer is required to:
 - i) Not start onsite excavation or foundation construction until completion of rear-yard sanitary works by City crews.
 - ii) Provide a 3m wide utility SRW along the south property line to contain the proposed sanitary main.
 - iii) Install a new sanitary line 200mm diameter PVC aligned east-west approximately 15m complete with a manhole located at the common property line of Lot A and Lot B.

- iv) Install a new dual sanitary sewer service connection near the south common property line to service Lot A and Lot B.
- v) Cut and cap the existing sanitary sewer service connection near the southwest corner of Lot A.
- g) At Developer's cost, the City will:
 - i) Complete all tie-ins for the proposed works to existing City infrastructure.

Street Lighting:

- h) At Developer's cost, the Developer is required to:
 - i) Review street lighting levels along all road and lane frontages, and upgrade as required.

Frontage Works:

- i) Closing the existing driveway crossing and installing a new single shared driveway crossing centered on the proposed common property line.
- j) A functional design of the frontage is required demonstrating the correct width of the driveway in accordance with Engineering Design Specifications (min. 6.0 m and 7.5 m max.).
- k) A new curb and gutter and min. 1.5m wide concrete sidewalk behind new curb along the site's frontage. Utility pole relocations may be required to allow for proper sidewalk clearance. The area behind the sidewalk to the property line is to be landscaped boulevard.

General Items:

- l) At Developer's cost, the Developer is required to:
 - i) Complete other frontage improvements as per Transportation requirements (above).
 - ii) Not encroach into City SRWs with any proposed trees, retaining walls, or other non-removable structures. Retaining walls proposed to encroach into SRWs must be reviewed by the City's Engineering Department.

At Building Permit* Stage, the developer must complete the following requirements:

- Plans must comply with all City regulations, including zoning, and plans must be generally consistent with the site plan, architectural elevation plans, and landscape plan included in Attachment 4 and 6 of this report, in accordance with the legal agreement registered on title at rezoning stage.
- Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. The Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



Richmond Zoning Bylaw 8500
Amendment Bylaw 10404 (RZ 21-930951)
7480 Williams Road

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

- 1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it "COACH HOUSE (ZS12) - BROADMOOR".

P.I.D. 003-602-206

Lot 20 Section 32 Block 4 North Range 6 West New Westminster District Plan 17380

- 2. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 10404".

FIRST READING

PUBLIC HEARING

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

Horizontal lines for signature and approval marks.

CITY OF RICHMOND APPROVED by [Signature] APPROVED by Director or Solicitor [Signature]

MAYOR

CORPORATE OFFICER