



City of Richmond

Report to Committee Planning and Development Department

To: Planning Committee

Date: December 19, 2014

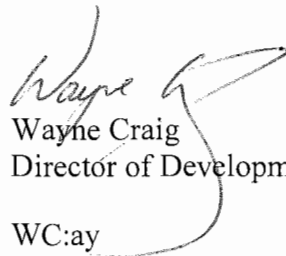
From: Wayne Craig
Director of Development

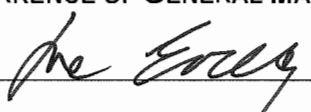
File: RZ 14-669571

Re: Application by Evernu Developments Inc. for Rezoning at 9751 Steveston Highway and 10831 Southridge Road from Single Detached (RS1/E) and Single Detached (RS1/B) to Compact Single Detached (RC2)

Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9187, for the rezoning of 9751 Steveston Highway and 10831 Southridge Road from "Single Detached (RS1/E)" and "Single Detached (RS1/B)" to "Compact Single Detached (RC2)", be introduced and given first reading.


Wayne Craig
Director of Development
WC:ay

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Affordable Housing	<input checked="" type="checkbox"/>	

Staff Report

Origin

Evernu Developments Inc. has applied to the City of Richmond for permission to rezone the properties at 9751 Steveston Highway, currently zoned “Single Detached (RS1/E)”, and 10831 Southridge Road, currently zoned “Single Detached (RS1/B)”, to “Compact Single Detached (RC2)” zone to permit subdivision into five (5) smaller lots with rear lane access along the north property line, from Southridge Road to Southdale Road. Two (2) existing dwellings will be demolished. A map and aerial photograph showing the location of the subject sites is included in Attachment 1. A proposed subdivision plan is provided in Attachment 2.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is included in Attachment 3.

Surrounding Development

To the north, are single-family residential lots zoned “Single Detached (RS1/E)”.

To the east, directly across Southridge Road, are single-family residential lots zoned “Single Detached (RS1/E)”.

To the south, directly across Steveston Highway, is an agricultural lot included in the Agricultural Land Reserve (ALR), zoned “Agriculture and Golf Zones (AG1)” and “Roadside Stand (CR).”

To the west, are two (2) single-family residential lots zoned “Compact Single Detached (RC1)”. Vehicle access to both lots is from a rear lane which connects to Southdale Road. The applicant proposes to extend this lane eastward to connect to Southridge Road.

Related Policies & Studies

2041 Official Community Plan (OCP)

The Official Community Plan (OCP) designation of the proposed sites is “Neighbourhood Residential (NRES)”. The proposed redevelopment is consistent with the OCP land use designation.

Arterial Road Policy

The Arterial Road Policy supports densification along arterial roads. The Arterial Road Policy allows the proposed rezoning and subdivision of the subject properties subject to the applicant dedicating and constructing a fully operational rear lane. The pattern of compact lots with lane access on this block was established with Council approval of the rezoning to create two (2) lots at the corner of Steveston Highway and Southdale Road in 2007 (File # RZ 06-329870). With that development, a rear lane off Southdale Road was dedicated, designed and constructed, and

the rear lane was intended to provide vehicle access for future redevelopment on the rest of the block through the extension of the lane to the east. This development application is consistent with the Arterial Road Policy and the envisioned pattern of redevelopment for this block as it is a proposal to create five (5) compact lots involving land dedication to extend the existing rear lane eastbound.

Flood Management

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw No. 8204. Registration of a flood indemnity covenant on Title is required prior to final adoption of the rezoning bylaw.

Agricultural Land Reserve (ALR) Buffer Zone

The Official Community Plan (OCP) proposes specific land use considerations to protect the City's agricultural land base in the Agricultural Land Reserve (ALR). These include guidelines for providing landscaped setbacks on non-agricultural sites (including single-family residential sites) located in close proximity to ALR lands. The objective of the landscaped setback is to establish a buffer which identifies the urban/rural interface. The proposed redevelopment will provide a 4 m-wide landscaped buffer along the south property line of the five (5) proposed lots. Prior to final adoption of the rezoning bylaw, the applicant is required to register a legal agreement on title to ensure that the ALR landscaping buffer planted along Steveston Highway is maintained and will not be abandoned or removed. The legal agreement would also indicate that the property is located adjacent to active agricultural operations and may be subject to potential agricultural impacts including noise, dust and odour.

Public Consultation

In response to the installation of the rezoning information sign on the subject site, Staff received one (1) phone call from a neighbourhood resident who expressed the following concerns in relation to the proposed redevelopment:

- Impacts of future construction activities and drainage on neighbouring properties.
- Increased traffic and parking congestion.
- Visual impact of the proposed new dwellings on neighbouring properties.
- The proposed removal of trees from the subject sites.

The following information is provided in response to the concerns stated above:

- The applicant has been advised to take necessary precautions at future development stage to mitigate impacts of construction activity on neighbouring properties, including measures outlined within the City's "Good Neighbour Program". Perimeter drainage is required to be installed on all sites undergoing new dwelling construction as part of the Building Permit application review and inspection process.

- Staff have reviewed the proposed redevelopment and have determined that the potential increase in traffic can be accommodated by the existing road network. All persons must comply with vehicle traffic and parking regulations outlined within the City's Traffic Bylaw No. 5870 on all municipal streets, roadways and lanes.
- Conditions for tree preservation and removal are reviewed through the rezoning process. The City's Tree Protection Bylaw No. 8057 ensures that trees on public and private property are not unnecessarily removed or damaged, and that replacement trees are sufficiently provided on-site or compensated for prior to completion of redevelopment. Further information on the proposed tree preservation, removal and landscaping for this application is provided below (see "Trees and Landscaping" Section).
- Staff met with the resident to discuss these concerns. Staff also notified the resident of future stages in the rezoning process in which opportunities for further public input would be provided.

Analysis

Preliminary Architectural and Landscape Plans

To address the treatment of the proposed corner lot interface, the applicant has submitted preliminary architectural plans for proposed building elevations on the future corner lot (see Attachment 5). Prior to final adoption of the rezoning bylaw, the applicant is required to register a legal agreement on title to ensure that the final building design for the proposed corner lot is generally consistent with the attached plans. Future Building Permit plans must also comply with City regulations and Staff will ensure that plans are generally consistent with the registered legal agreement for building design.

The applicant has submitted a preliminary landscape plan for the proposed corner lot (see Attachment 6) to address the following:

- The treatment of the proposed corner lot interface.
- The treatment of the arterial road interface of all five (5) proposed lots along the Steveston Highway frontage.
- The provision of an Agricultural Land Reserve (ALR) buffer along the south property line of all five (5) proposed lots.

Prior to final adoption of the rezoning bylaw, the applicant is required to complete the following items:

- Submission of a Final Landscape Plan, prepared by a Registered Landscape Architect, to the satisfaction of the Director of Development, along with a Landscaping Security based on 100% of the cost estimate provided by the Landscape Architect (including all replacement trees planted on-site, fencing, hard surfaces, landscaping materials and installation costs).

Existing Legal Encumbrances

Two (2) existing covenants are currently registered on title on the east subject site, one (1) which restricts the use of the property to a two-family dwelling (Registration No. BE36861) and one (1) which restricts servicing and vehicle access to the property from Southridge Road (Registration No. BM130344). Prior to final adoption of the rezoning bylaw, the applicant is required to discharge both covenants from title.

Site Servicing and Vehicle Access

There are no site servicing concerns related to the proposed rezoning.

Prior to final adoption of the rezoning bylaw, the applicant is required to dedicate a 6 m-wide laneway along the entire north property line of the subject sites in order to implement the design and construction of the proposed rear lane at Servicing Agreement stage. Vehicle access to all five (5) proposed lots is to be from the proposed rear lane in accordance with Residential Lot (Vehicular) Access Regulation Bylaw No.7222. A restrictive covenant is to be registered on Title for the future corner lot prior to final adoption of the rezoning bylaw to ensure that vehicle access to the future corner lot will be from the rear lane only.

Existing Bus Stop

A Coast Mountain Bus Company (CMBC) bus stop identification pole currently exists along the north side of Steveston Highway near the common property line of the subject sites. Prior to subdivision approval, the applicant is required to provide a 3 m x 9 m accessible concrete bus pad along Steveston Highway as part of the frontage upgrade requirements. The exact location of the bus pad is to be determined by CMBC at Servicing Agreement stage.

Trees and Landscaping

A Certified Arborist's Report and proposed Tree Retention Plan were submitted by the applicant. The report identifies eleven (11) bylaw-sized trees on-site and two (2) bylaw-sized trees on neighbouring property recommended for removal. The proposed Tree Retention Plan is included in Attachment 4.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report, conducted an on-site Visual Tree Assessment, and concurs with the Arborist's report as follows:

- Ten (10) trees located on-site should be removed and replaced as they are in poor condition and exhibit significant structural defects.
- One (1) Norway maple tree located near the north property line of the west subject site (Tag# 367) is in good condition but should be removed and replaced as it will conflict with future lane construction.
- Two (2) trees (Tree ID's A and B) located on the neighbouring property north of the west subject site are in good condition and may be protected, but may suffer significant root loss through the construction of the proposed lane.

The applicant has obtained written confirmation from the neighbouring owners' representative indicating that the owners do not have any objections to the removal of the two trees (Tree ID's A and B) located on neighbouring property. If Staff determine at Servicing Agreement stage that the rear lane construction will significantly impact these trees, the applicant must obtain written permission from the owners and assume sole responsibility for all tree removal, tree replacement and compensation costs to remove the two (2) trees. If approval to remove the trees is not granted by the neighbouring owners, the trees must be protected in accordance with the City's Bulletin TREE-03.

Consistent with the 2:1 tree replacement ratio specified in the OCP, a total of twenty (22) replacement trees are required to be planted. The applicant has agreed to plant fifteen (15) replacement trees on-site (three (3) on each subdivided lot) at the following minimum sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Tree	or	Minimum Height of Coniferous Tree
10	6 - 11 cm		3.5 - 6 m
4	8 - 11 cm		4 - 6 m
1	11 cm		6 m

The costs for the fifteen (15) replacement trees to be planted and maintained on-site are to be included as part of the cost estimate of the Landscaping Security, which must be submitted with the Final Landscape Plan prior to final adoption of the rezoning bylaw. To compensate for the seven (7) required replacement trees that cannot be accommodated on-site, the applicant is required to provide a cash-in-lieu contribution in the amount of \$3,500 (\$500/tree) to the City's Tree Compensation Fund for off-site planting, prior to final adoption of the rezoning bylaw.

Affordable Housing Strategy

For single-family rezoning applications, Richmond's Affordable Housing Strategy requires a secondary suite within a dwelling on 50% of new lots created through rezoning and subdivision, or a cash-in-lieu contribution of \$1.00/ft² of total building area towards the City's Affordable Housing Reserve Fund.

The applicant proposes to provide a legal secondary suite in the dwelling on four (4) of the five (5) lots proposed at the subject sites. To ensure that a secondary suite is built on at least three (3) lots, to the satisfaction of the City in accordance with the City's Affordable Housing Strategy, the applicant is required to enter into a legal agreement registered on Title, stating that no final Building Permit inspection will be granted until the secondary suites are constructed to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw. Registration of the legal agreement is required prior to final adoption of the rezoning bylaw. This agreement will be discharged from Title (at the initiation of the applicant) on the lots where the secondary suite is not required by the Affordable Housing Strategy after the requirements are satisfied.

Note: Should the applicant change their mind about the Affordable Housing option selected, a voluntary contribution to the City's Affordable Housing Reserve Fund in-lieu of providing the secondary suite will be accepted. In this case, the voluntary contribution would be required to be

submitted prior to final adoption of the rezoning bylaw, and would be based on \$1.00/ft² of total building area of the single detached dwellings to be constructed (i.e., \$9,632).

Subdivision

At Subdivision stage, the applicant is required to pay servicing costs and enter into a standard Servicing Agreement for the design and construction of engineering infrastructure and frontage upgrades along Steveston Highway, Southridge Road and the proposed rear lane, as outlined in Attachment 7. Works will include water service upgrades, storm sewer works, sanitary sewer works and frontage improvements. The developer will also be required to negotiate and install private utilities.

Financial Impact or Economic Impact

None.

Conclusion

This rezoning application to subdivide two (2) lots into five (5) lots zoned “Compact Single Detached (RC2)” is consistent with the applicable policies and land use designations outlined within the Official Community Plan (OCP).

The applicant has agreed to the list of rezoning considerations (signed concurrence on file) included in Attachment 7.

On this basis, it is recommended that Zoning Bylaw 8500, Amendment Bylaw 9187 be introduced and given first reading.



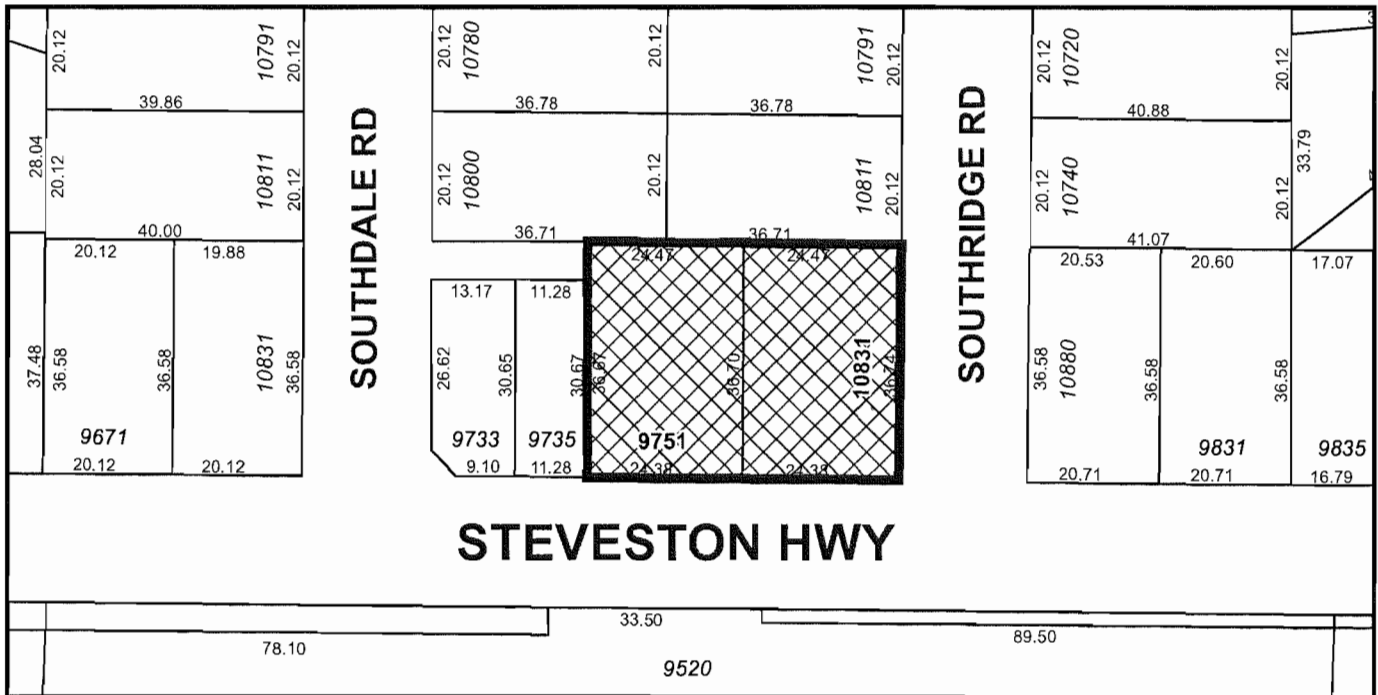
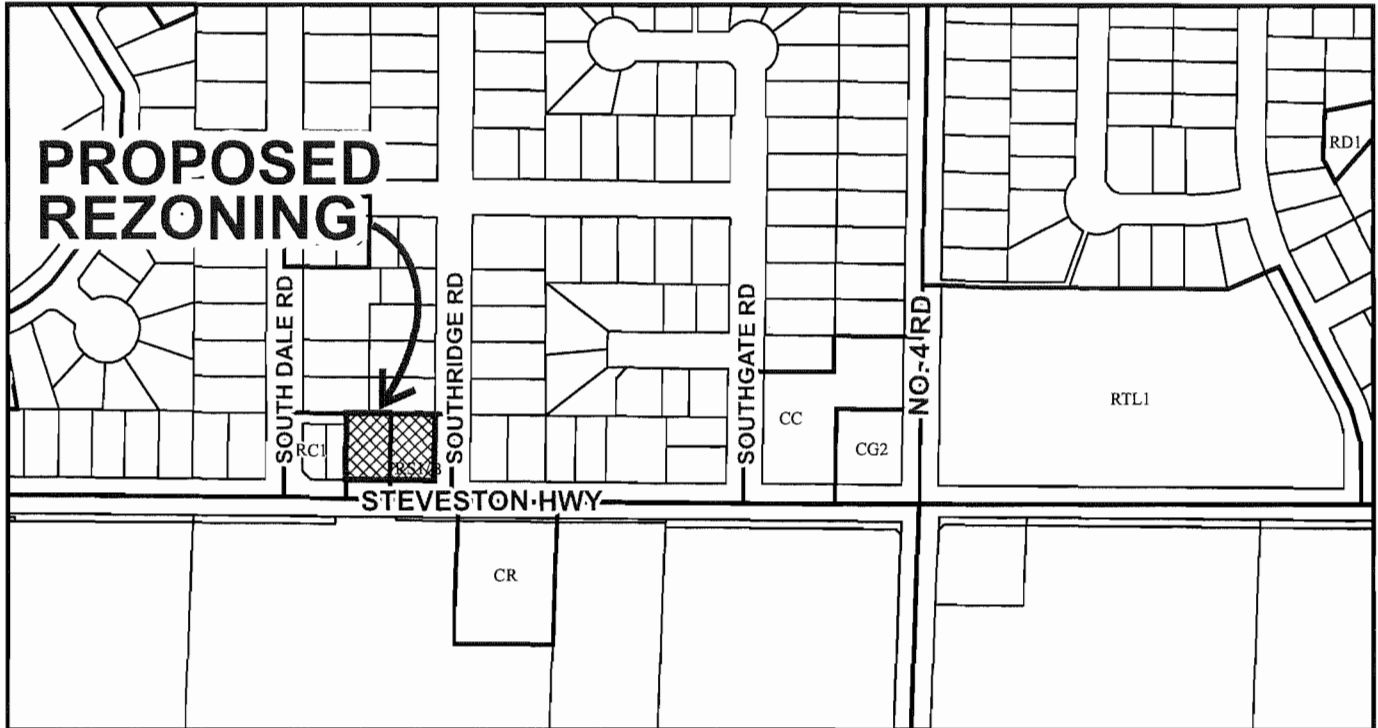
Andrew Yu
Planning Technician (Temp)

AY:rg

- Attachment 1: Location Map and Aerial Photograph
- Attachment 2: Preliminary Subdivision Plan
- Attachment 3: Development Application Data Sheet
- Attachment 4: Proposed Tree Retention Plan
- Attachment 5: Preliminary Architectural Elevation Plan
- Attachment 6: Preliminary Landscape Plan
- Attachment 7: Rezoning Considerations



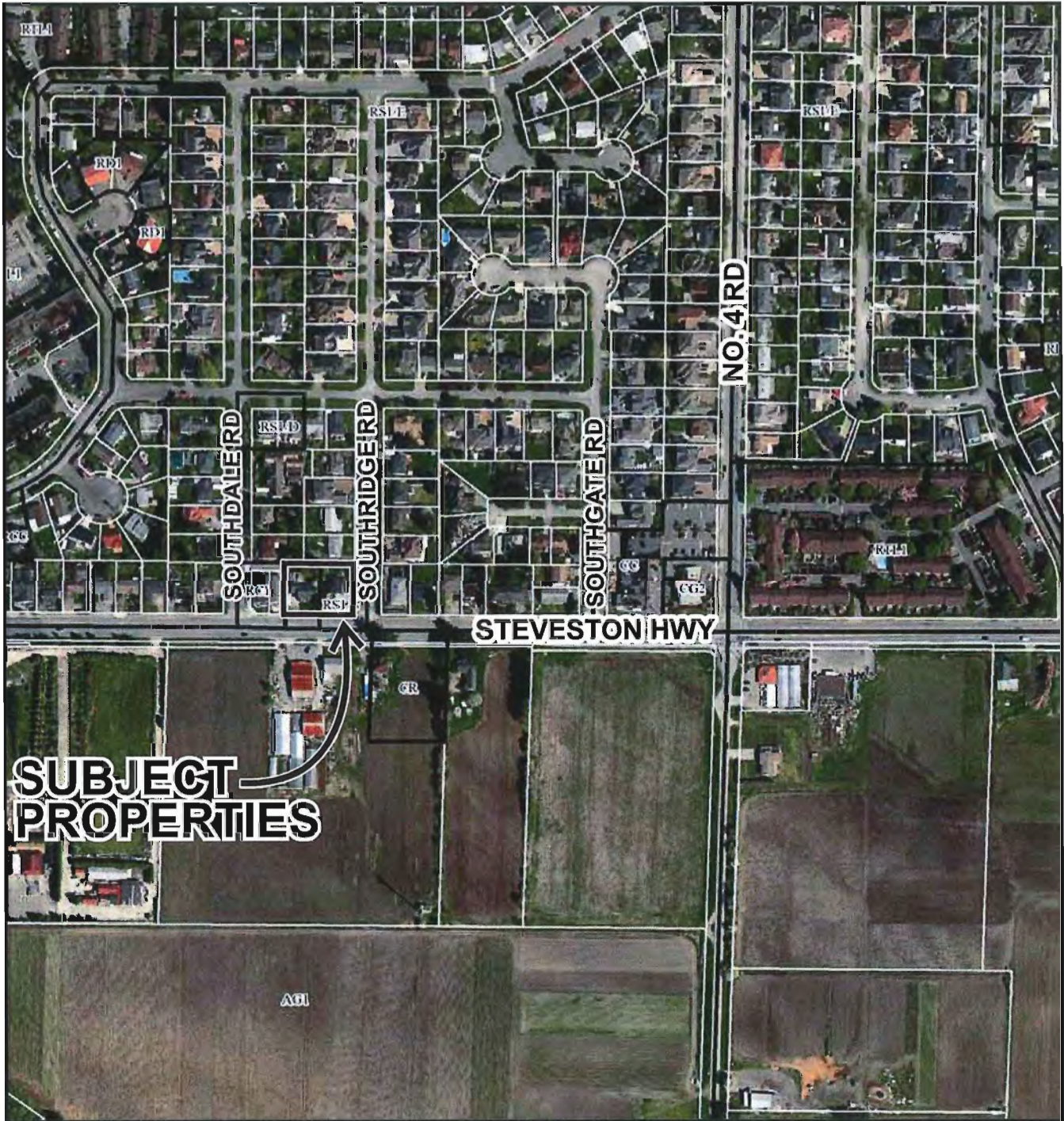
City of
Richmond



	<h1>RZ 14-669571</h1>	<p>Original Date: 08/27/14 Revision Date: 01/08/15 Note: Dimensions are in METRES</p>
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City of
Richmond



RZ 14-669517

Original Date: 08/27/14

Revision Date:

Note: Dimensions are in METRES

CNCL - 417

NOTES:

- Lot dimensions are derived from field survey.
- Elevations are based on the HPN Datum and are derived from HPN #204 (02H2452) situated at the intersection of No. 3 Road and Steveston Highway. Elevation = 1.56 metres.
- Building envelope shown is just an approximate interpretation of City Zoning Bylaws. Consult Planning Department for final building envelope prior to design.
- All trees and stumps have been plotted as required by Richmond Tree Protection Bylaw No. 8051.
- All elevations along curb lines are gutter levels.
- All dimensions are to exterior faces unless otherwise noted.
- Symbols plotted are for illustrative purposes and are not representative of their true size.

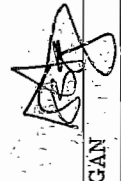
- ⊕ denotes hydro pole.
- ⊙ denotes lamp standard.
- tw denotes top of wall.
- bw denotes bottom of wall.
- ⊖ denotes catch basin
- ⊙ denotes manhole
- ⊙ denotes sanitary manhole
- ⊙ denotes storm manhole
- ⊙ denotes gas valve
- ⊙ denotes water valve
- ⊙ denotes water meter
- ⊙ denotes hydrant
- ⊙ denotes sign post
- ⊙ denotes anchor
- ⊙ denotes tree stump.
- ⊙ height (centimetres)
- ⊙ diameter (centimetres)
- ⊙ denotes tree.
- ⊙ drip line radius (metres)
- C=coniferous
- D=deciduous
- ⊙ diameter (centimetres)

Attachment 2

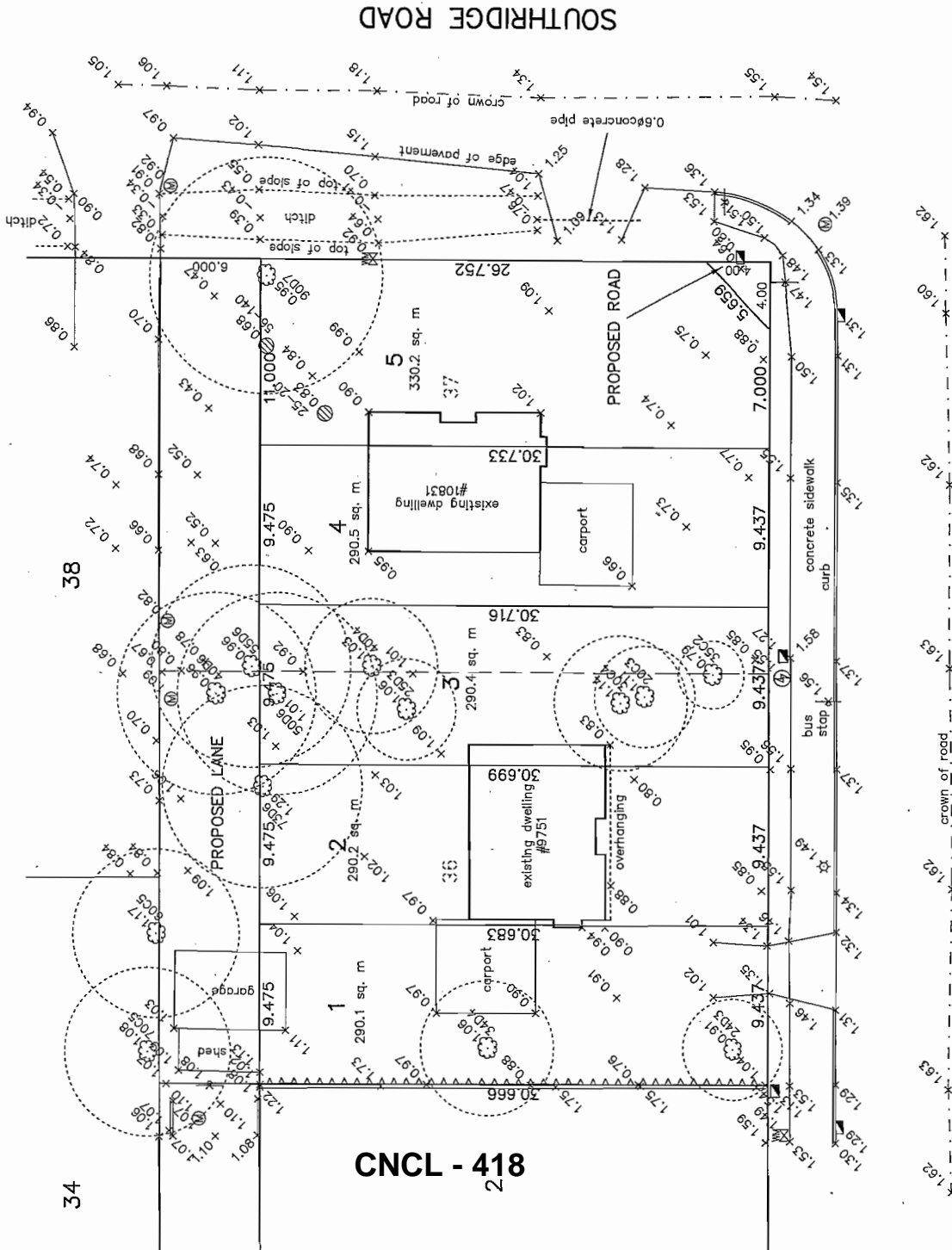
CIVIC ADDRESS
 9751 STEVESTON HIGHWAY
 10831 SOUTHRIDGE ROAD
 RICHMOND, B.C.

ZONING: RC2

CERTIFIED CORRECT.
 DATED THIS 14TH DAY OF JULY, 2014



LOUIS NGAN B.C.L.S.



CNCL - 418



RZ 14-669571

Attachment 3

Address: 9751 Steveston Highway and 10831 Southridge Road

Applicant: Evernu Developments Inc.

Planning Area(s): Broadmoor

	Existing	Proposed
Owner:	Evernu Developments Inc.	TBD
Site Size (m²):	Existing west lot: 896 m ² Existing east lot: 897 m ²	Proposed lot 1: 290.1 m ² Proposed lot 2: 290.2 m ² Proposed lot 3: 290.4 m ² Proposed lot 4: 290.5 m ² Proposed lot 5: 330.2 m ²
Land Uses:	Single family residential	No change
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Single Detached (RS1/E) Single Detached (RS1/B)	Compact Single Detached (RC2)
Number of Lots:	2	5

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	Max. 0.60	none permitted
Lot Coverage – Building:	Max. 50%	Max. 50%	none
Lot Coverage – Building, Structures, Non-porous surfaces:	Max. 70%	Max. 70%	none
Lot Coverage – Landscaping with live plant material:	Min. 20%	Min. 20%	none
Setbacks – Front and Rear Yards (m):	Min. 6 m	Min. 6 m	none
Setbacks – Interior Side Yard (m)	Min. 1.2 m	Min. 1.2m	none
Setbacks – Exterior Side Yard (m)	Min. 3 m	Min. 3 m	none
Height:	Max. 2½ storeys	Max. 2½ storeys	none
Lot Size (m ²)	Min. 270 m ²	Proposed lot 1: 290.1 m ² Proposed lot 2: 290.2 m ² Proposed lot 3: 290.4 m ² Proposed lot 4: 290.5 m ² Proposed lot 5: 330.2 m ²	none
Lot Width (m)	Min. 9.0 m	Proposed lot 1: 9.5 m Proposed lot 2: 9.5 m Proposed lot 3: 9.5 m Proposed lot 4: 9.5 m Proposed lot 5: 11.8 m	none

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Lot Depth (m)	Min. 24 m	Proposed lot 1: 30.7 m Proposed lot 2: 30.7 m Proposed lot 3: 30.7 m Proposed lot 4: 30.7 m Proposed lot 5: 28.7 m	none
Lot Frontage (m)	Min. 9.0 m	Proposed lot 1: 9.4 m Proposed lot 2: 9.4 m Proposed lot 3: 9.4 m Proposed lot 4: 9.4 m Proposed lot 5: 12.7 m	none

Other: Tree replacement compensation required for loss of significant trees.

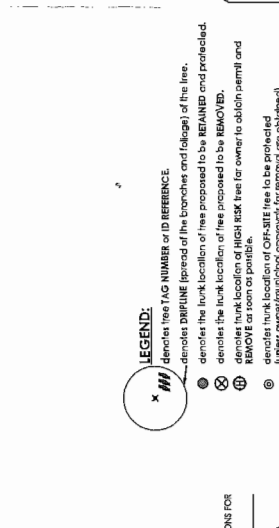
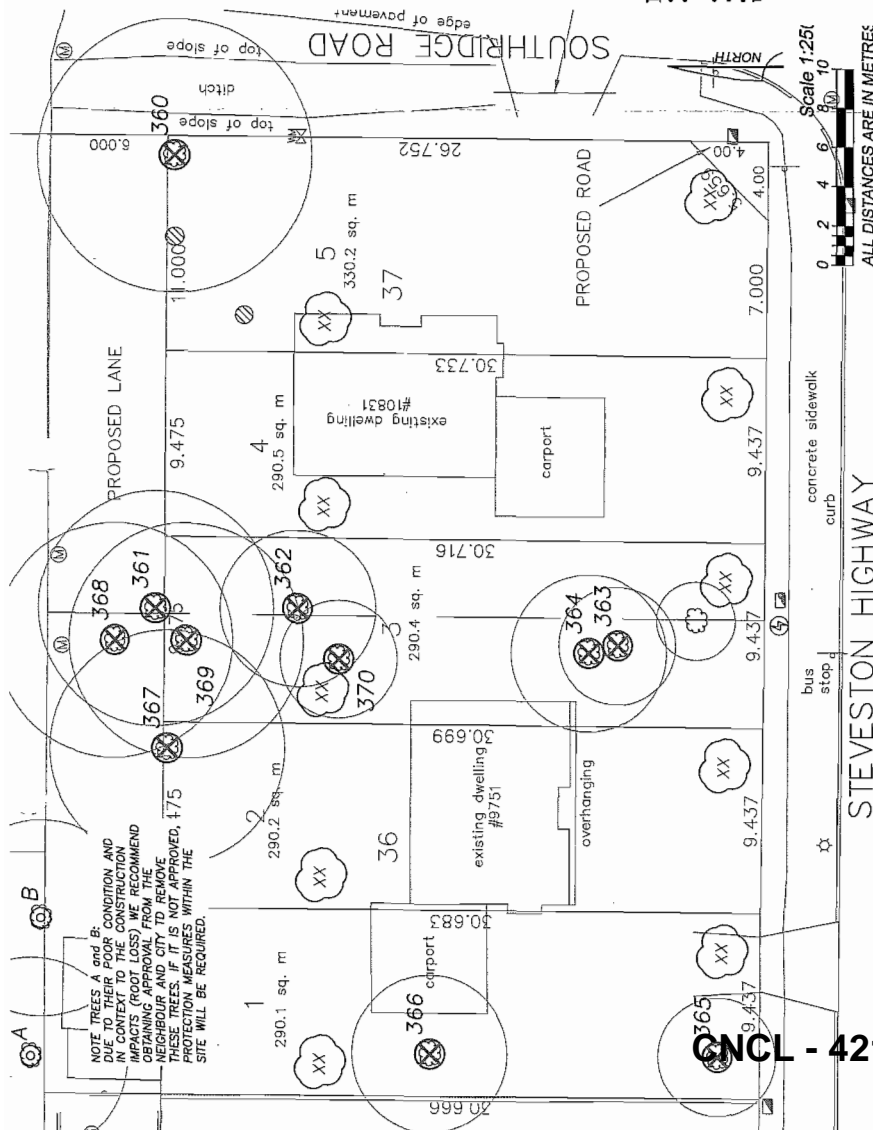
TREE PROTECTION GUIDELINES:

- TREE PROTECTION ZONE SETBACKS:** The tree protection zone (TPZ) setbacks are established as directed by this plan. Provide a suitable setback to ensure adequate root protection to maintain tree health and live. The tree protection zone setbacks shall be in accordance with the following table. The setbacks shall be measured from the trunk to the edge of the TPZ. Setback setbacks shall also apply to the overhead portions of the tree (limbs, branches and foliage), even if these limbs extend outside of the TPZ setback.
- Branches must be checked for the specified alignments and setbacks, maintained in good condition until the project reaches substantial completion, and the trunks and gullies implemented as directed herein through to the completion of the landscaping phase. The trunks and gullies must be installed in accordance with the specifications and setbacks. The tree protection zone setbacks shall be measured from the trunk to the edge of the TPZ. The setbacks shall be measured from the trunk to the edge of the TPZ. The setbacks shall be measured from the trunk to the edge of the TPZ.
- SHRUBS AND FERNS:** Any shrubs and ferns within the TPZ shall be preserved. Any shrubs and ferns within the TPZ shall be preserved. Any shrubs and ferns within the TPZ shall be preserved.
- TREE PROTECTION AND CLEANING OPERATIONS:** A large scale and cleaning team contain a TPZ and/or there is whittling treatment required to trim, seal edge irregularities along the perimeter of the land clearing area, and/or when a tree is to be removed, the trunk shall be whittled to remove its canopy. The trunk shall be whittled to remove its canopy. The trunk shall be whittled to remove its canopy.
- PROTECTIVE FENCING:** Protective fencing shall be installed around the TPZ. The fencing shall be installed around the TPZ. The fencing shall be installed around the TPZ.
- SOIL PROTECTION:** Soil shall be protected within the TPZ. The soil shall be protected within the TPZ. The soil shall be protected within the TPZ.

Tag #	HT (m)	Sp (cm)	Dih (cm)	Tree Type	Condition	Observations	Action
361	38			Cherry	M	Asymmetrical crown due to proximity of adjacent tree. Bark stripped at 1m.	Remove
362	22x21x20-18			MH, oah	U	Multiple stems attach at base with long back inclusion. Historic excessive crown rate pruning to 5m above grade. Large historic pruning wounds now decayed.	Remove
363	24			Shore pine	M	Embedded in crown of adjacent tree. Asymmetrical crown due to proximity of adjacent tree.	Remove
364	35			Australian pine	M	Embedded in crown of adjacent tree. Asymmetrical crown due to proximity of adjacent tree.	Remove
365	7	2	27	Holly	U	Growing below 60cm. Dead top.	Remove
366	24-17x15			Cherry	U	Dying. Historically topped at 3m. Large historic pruning wounds at base and throughout crown.	Remove
367	70			Norway maple	M	Damaged stem at base. Leader attached at 4m with long back inclusion and no forming.	Remove
368	29x27			Cherry	U	Several corks observed at base. Two stems attach at base with long back inclusion.	Remove
369	39			Bitch	U	Multiple leader attach at 2.5m with long back inclusion.	Remove
370	19x17			Pear	U	Two leader attach at base with long back inclusion. Asymmetry and lean due to proximity and shading of adjacent trees.	Remove
A	59			Western redcedar	U	Historically topped at 5m. Replacement leader carry entire crown. Marm attached at base.	Retain - Remove
B	70			Grand fir	U	Historically topped at 4m. Replacement leader at 4m. Marm attached at base, carry entire crown. Partial failure observed in replacement leader at attachment. Historically crown rate pruned to 5m.	Retain - Remove

TREE INVENTORY AND ASSESSMENT LIST:

- Tag # denotes the tag number of the tree as shown on drawings.
- HT and Sp denote the height and spread (radius of crown) of the tree in metres as measured or estimated by the assessor. If applicable, height and spread are not applicable for grove or forest stands.
- Dih denotes the diameter of the trunk, measured at 1.4m above grade or as per appropriate standard (i.e. For full stem trees).
- Condition denotes the condition of the tree, measured according to the current industry standard. See report and drawings for details.
- Observations denote any observations or notes regarding the tree, including current development status. See report and drawings for details.
- Action denotes the recommended action for the tree.



- LEGEND:**
- x # denotes tree TAG NUMBER or ID REFERENCE.
 - denotes the trunk location of the branches and foliage of the tree. Further oval/multi-lobed ovals are shown to be retained and protected. REMOVE or stem as possible.
 - denotes trunk location of HIGH RISK tree for owner to obtain permit and remove or stem as possible.
 - denotes trunk location of OFF-SITE tree to be protected.
 - denotes NON-BIOLAM underside line (measured by project cabinet).
 - denotes SETBACKS.
 - denotes the TREE PROTECTION ZONE or back alignment.
 - denotes the location of the tree to be removed.

SUGGESTED PLANT LIST:

PLEASE USE BOTANICAL NAME WITH COMMON NAME FOR ALL SPECIES AND SPECIES. PLANTING LOCATIONS MUST MEET MANIFESTA REQUIREMENTS FOR ANIMALS AND SPECIES. PLANTING LOCATIONS MUST MEET MANIFESTA REQUIREMENTS FOR ANIMALS AND SPECIES.

SMALL PLANT SPECIES	BOTANICAL NAME	COMMON NAME
AP	ACER GRESBIA	RED SWAMP WHITE
AP	ACER PALMATA	RED SWAMP WHITE
AP	ACER RUBRA	RED SWAMP WHITE
AP	ACER RUBRA	RED SWAMP WHITE
AP	ACER RUBRA	RED SWAMP WHITE
AP	ACER RUBRA	RED SWAMP WHITE
AP	ACER RUBRA	RED SWAMP WHITE
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ARBORTECH CONSULTING a division of **ACL GROUP**

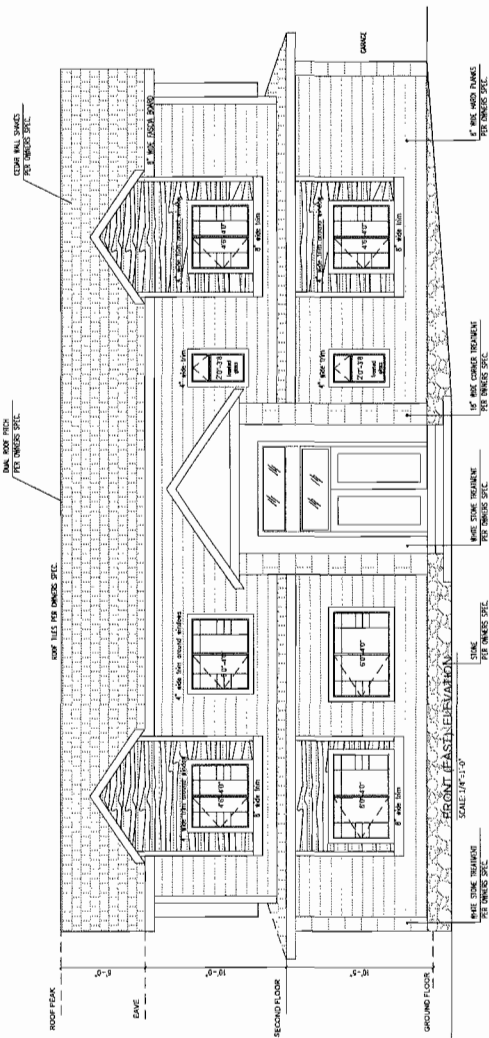
HEAD OFFICE: SERVING METRO VANCOUVER AND BRITISH COLUMBIA
 SUITE 200 - 3740 CHATHAM STREET, RICHMOND, BC CANADA V7E 2Z3 p. 604.275.5484
 SUITE 100 - 1508 VICTORIA LANE, WEST VANCOUVER, BC CANADA V2S 8A3 p. 604.755.7132

TREE MANAGEMENT DRAWING
 PROJECT: **BP APPLICATION**
 ADDRESS: **9751 STEVESTON HWY RICHMOND**
 CLIENT: **EVERNU DEVELOPMENTS**
 SHEET: **1 OF 1**
 REV # DATE COMMENTS

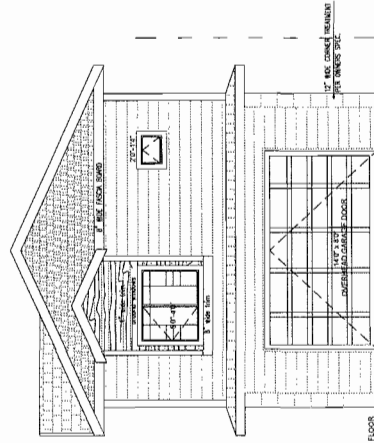
0 JUL 29, 2014 INITIAL SUBMISSION
 1 JUL 29, 2014 INITIAL SUBMISSION

PLAN NOTES:
 The plan is based on drawings supplied by the project owner (PCL). Engineer: P. H. (PCL) and/or Design Team. The plan is based on drawings supplied by the project owner (PCL). Engineer: P. H. (PCL) and/or Design Team. The plan is based on drawings supplied by the project owner (PCL). Engineer: P. H. (PCL) and/or Design Team.

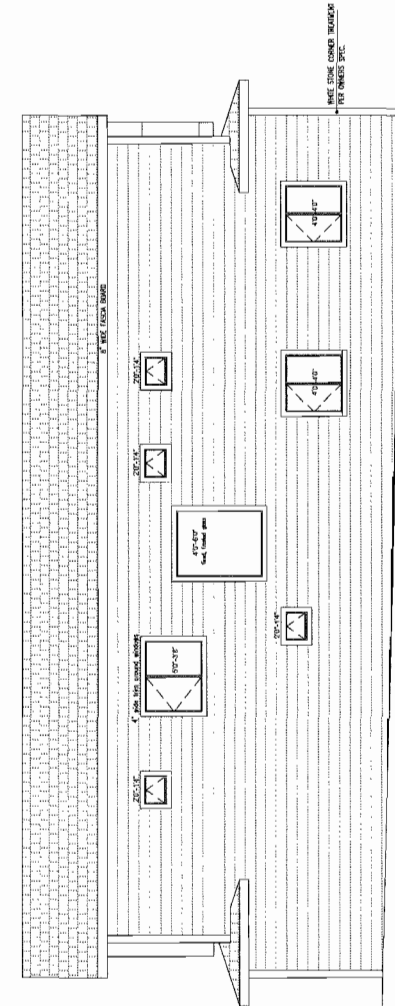
NOTE: PRELIMINARY



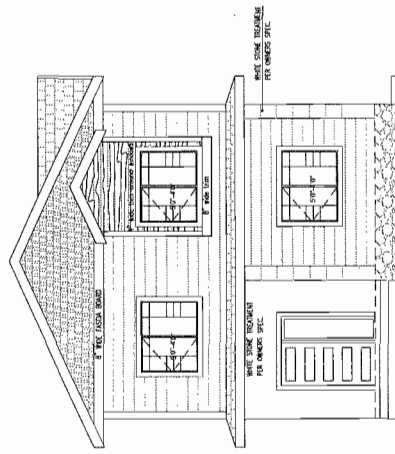
CNCL - 422



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



REAR (WEST) ELEVATION
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"

NOTE:
- PRELIMINARY ELEVATIONS ONLY.
- PRELIMINARY ELEVATIONS SHALL COMPLY WITH
- WITH ALL CITY REGULATIONS AT BUILDING
- PERMIT STAGE.

The architect shall retain full copyright
ownership and shall not be held
responsible for the preparation of
any other drawings or specifications
prepared by the contractor.
Design shall not be liable.

NO. REVISIONS

DATE

Olga Efimov
604-722-5480
olefimov@telus.net

CLIENT
EVERNU DEVELOPMENTS INC.
10031 SOUTHBRIDGE ROAD
RICHMOND, B.C.

DRAWING TITLE
PRELIMINARY
ELEVATIONS

DRAWN BY: OLGA
SCALE: 1/4" = 1'-0"
DATE: NOV 2014
DRAWING NUMBER
1

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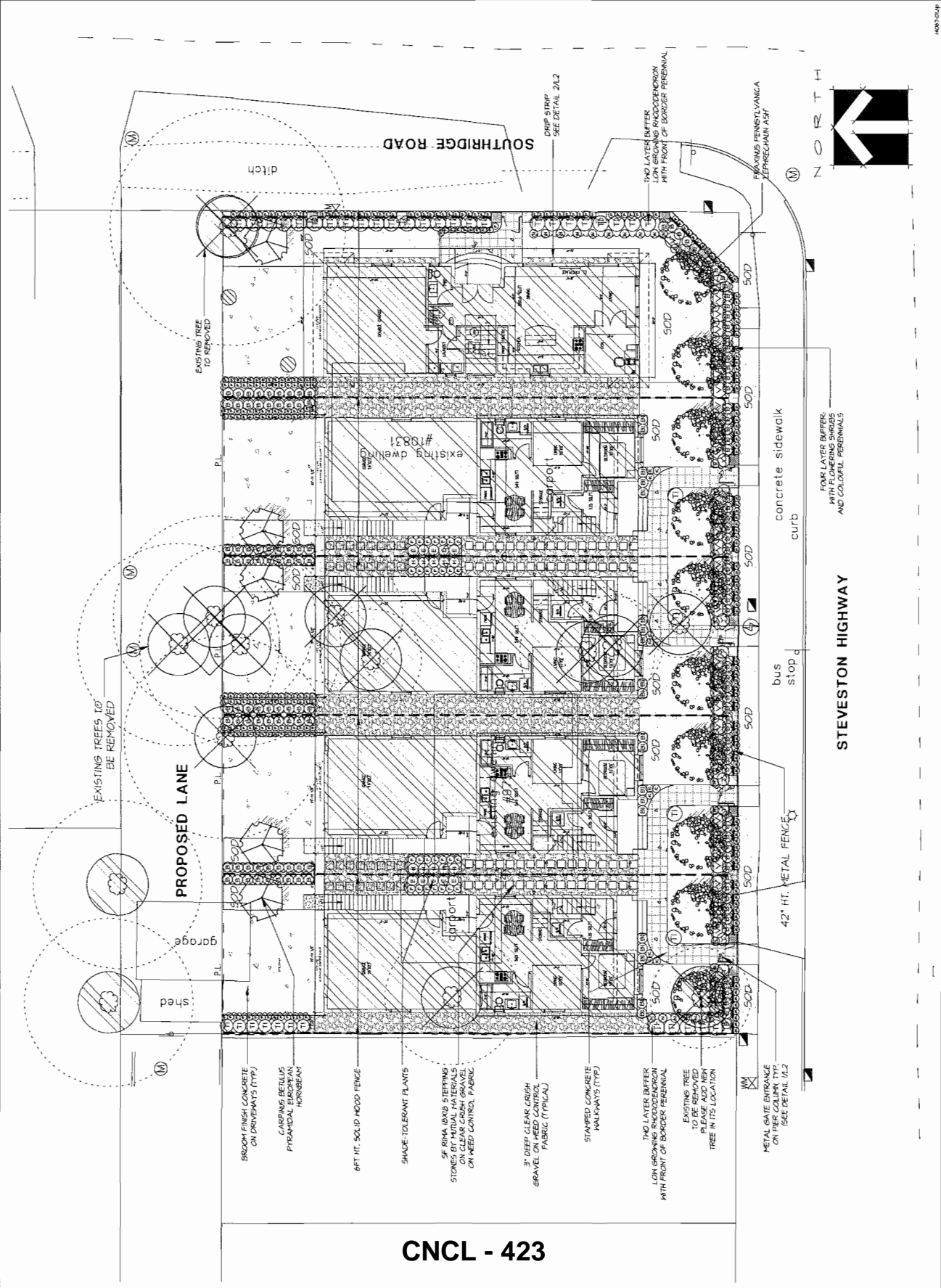


M2 LANDSCAPE ARCHITECTURE
 #230 - 26 Lorne Mews
 New Westminster, British Columbia
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com

NO.	DATE	REVISION	BY	CHK.
1		ISSUE FOR PERMIT		
2		REV. CITY COMMENTS		
3		REV. 20 LANEWAY PER ALIAS REQUEST BY		
4		PERMANENT ROAD		
5		LANDSCAPE ARCHITECTURE		

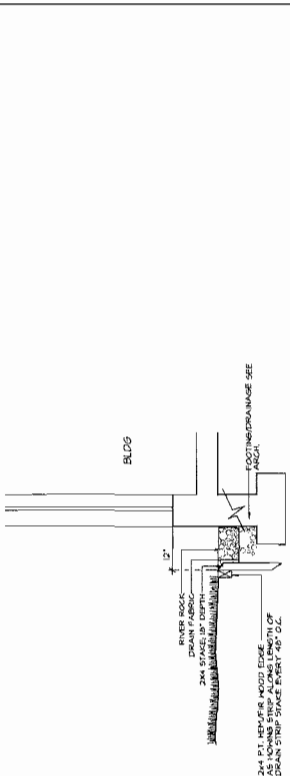
PROJECT:
 5-UNIT RESIDENTIAL DEVELOPMENT
 1801 Steveston Road, Steveston BC

DRAWING TITLE	
DATE:	DATE: 11/11/17
SCALE:	SCALE: 1/8"=1'-0"
DRAWN:	DRAWN: M2LA
DESIGN:	DESIGN: M2LA
CHECKED:	CHECKED: M2LA
M2LA PROJECT NUMBER:	1801
DRAWING NUMBER:	L1
JOB NO:	1801

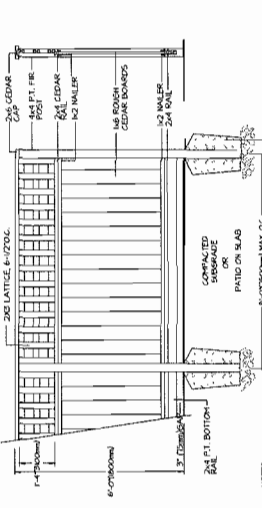


CNCL - 423

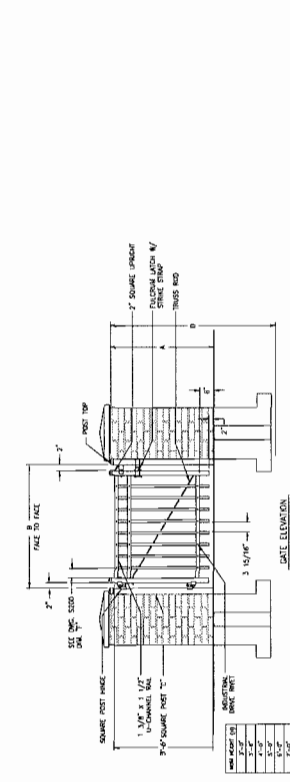
NOTE: PRELIMINARY



2 Drip Strip Detail
 SCALE: 1/4" = 1'-0"



3 Metal Gate Detail
 SCALE: 1/2" = 1'-0"



4 Metal Fence Detail
 SCALE: 1/2" = 1'-0"

KEY QTY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER: 14067	PLANTED SIZE / REMARKS
1	CASTANEA BETULUS (CASTANEA)	PRINCIVAL BACCHAN HORSECHAM	5/4" CAL 8/8	60" CAL 1/2" STD 8/8
2	FRAXINUS PENNSYLVANICA (FRAXINUS)	LITTLE-LEAF BOX	42 POT	
3	BIUNYDIA NIGRA (BIUNYDIA)	HYDRANGEA	42 POT	
4	HYDRANGEA ARBORESCENS (HYDRANGEA)	HYDRANGEA	42 POT	
5	TRICHODENDRON YAU (TRICHODENDRON)	HECK'S TEA	1 1/2" B&B	
6	TAXUS MEDIA (TAXUS)	DAVID'S YEW	42 POT	
7	VIORNIUM (VIORNIUM)	VIORNIUM	50" POT	
8	NERITA X VERANICA (NERITA)	CANTINI	1" POT, 200PH	
9	ROSA PRINCEPS (ROSA)	ROSA	1" POT, 200PH	
10	ROSA PRINCEPS (ROSA)	ROSA	1" POT, 200PH	
11	ROSA PRINCEPS (ROSA)	ROSA	1" POT, 200PH	
12	ROSA PRINCEPS (ROSA)	ROSA	1" POT, 200PH	
13	ROSA PRINCEPS (ROSA)	ROSA	1" POT, 200PH	
14	ROSA PRINCEPS (ROSA)	ROSA	1" POT, 200PH	
15	ROSA PRINCEPS (ROSA)	ROSA	1" POT, 200PH	
16	ROSA PRINCEPS (ROSA)	ROSA	1" POT, 200PH	
17	ROSA PRINCEPS (ROSA)	ROSA	1" POT, 200PH	
18	ROSA PRINCEPS (ROSA)	ROSA	1" POT, 200PH	
19	ROSA PRINCEPS (ROSA)	ROSA	1" POT, 200PH	
20	ROSA PRINCEPS (ROSA)	ROSA	1" POT, 200PH	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE B.C. LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER DATA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER LANDSCAPE APPROVED AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OR PLANT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE CONSIDERED AS A VIOLATION OF THE CONTRACT. * PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

5 Plant Schedule
 SCALE: 1/2" = 1'-0"

NOTE: PRELIMINARY

DATE:	12-11-07
SCALE:	1/4" = 1'-0"
DRAWN BY:	MJH
DESIGN BY:	MJH
CHECK:	

LANDSCAPE DETAILS

DRAWING TITLE:
5-FUNIT RESIDENTIAL DEVELOPMENT
 1831 Squawtop Road, Richmond BC

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			



City of Richmond

Rezoning Considerations

Development Applications Division
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 9751 Steveston Highway and 10831 Southridge Road

File No.: RZ 14-669571

Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9187, the developer is required to complete the following:

1. Six (6) m wide rear lane dedication along the entire north property line of the development properties to match the existing lane to the west.
2. 4 m x 4 m corner cut dedication at the northwest corner of the intersection between Steveston Highway and Southridge Road.
3. Submission of a Landscape Plan, prepared by a Registered Landscape Architect, to the satisfaction of the Director of Development, and deposit of a Landscaping Security based on 100% of the cost estimate provided by the Landscape Architect, including installation costs. The Landscape Plan should:
 - comply with the guidelines of the OCP's Arterial Road Policy and should not include hedges along the front property line;
 - include a mix of coniferous and deciduous trees;
 - include the dimensions of tree protection fencing as illustrated on the Tree Retention Plan attached to this report; and
 - address the corner lot interface
 - comply with the OCP's guidelines for providing an Agricultural Land Reserve (ALR) landscaped buffer along the south property line of the subdivided lots
 - include the fifteen (15) required replacement trees with the following minimum sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Tree	or	Minimum Height of Coniferous Tree
10	6 - 11 cm		3.5 - 6 m
4	8 - 11 cm		4 - 6 m
1	11 cm		6 m

If required replacement trees cannot be accommodated on-site, a cash-in-lieu contribution in the amount of \$500/tree to the City's Tree Compensation Fund for off-site planting is required.

4. City acceptance of the developer's offer to voluntarily contribute \$3,500 (\$500/tree) to the City's Tree Compensation Fund for the planting of replacement trees within the City.
5. Registration of a flood indemnity covenant on title.
6. Registration of a legal agreement on title ensuring that the only means of vehicle access to the proposed corner lot is from the proposed rear lane.
7. Registration of a legal agreement on title to ensure that the Agricultural Land Reserve (ALR) landscaped buffer planted along the Steveston Highway (south) frontage on all five (5) proposed lots is maintained and will not be abandoned or removed. The legal agreement would also indicate that the property is located adjacent to active agricultural operations and may be subject to potential agricultural impacts including noise, dust and odour.
8. Registration of a legal agreement on Title to ensure that the final building design on the proposed corner lot is generally consistent with the submitted preliminary architectural plans.
9. Registration of a legal agreement on Title to ensure that no final Building Permit inspection is granted until a secondary suite is constructed on three (3) of the five (5) future lots, to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw.

CNCL - 425

Initial: _____

Note: Should the applicant change their mind about the Affordable Housing option selected prior to final adoption of the Rezoning Bylaw, the City will accept a voluntary contribution of \$1.00 per buildable square foot of the single-family developments (i.e. \$9,632) to the City's Affordable Housing Reserve Fund in-lieu of registering the legal agreement on Title to secure a secondary suite.

10. Discharge of Covenant Registration No. BE36861 from title of the property at 10831 Southridge Road.
11. Discharge of Covenant Registration No. BM130344 from title of the property at 10831 Southridge Road.

At Demolition Permit* stage, the developer must complete the following requirements:

1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.

At Subdivision* stage, the developer must complete the following requirements:

1. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements. Works include, but may not be limited to the following: .

Water Works:

- Using the OCP Model, there is 777 L/s of water available at a 20 psi residual at the Steveston Highway frontage, and 393 L/s of water available at a 20 psi residual at the Southridge Road frontage. Based on the proposed development, the site requires a minimum fire flow of 95 L/s. Once the applicant has confirmed the building design at the Building Permit stage, the applicant must submit fire flow calculations signed and sealed by a professional engineer based on the Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) to confirm that there is adequate available flow.
- Reuse the existing 25 mm diameter water connection from Southridge Road for servicing the eastern-most lot after the subdivide, and install four new 25 mm diameter connections complete with meter boxes at the new property lines from Steveston Highway.

Storm Sewer Works:

- Upgrade to the frontage storm system is required to the scope outlined below. Details to be finalized in the Servicing Agreement designs:
 - Upgrade the existing 525 mm diameter storm sewer on Steveston Highway from manhole to manhole to 750 mm diameter, including upsizing the manholes at both ends to 1350 mm diameter.
 - Upgrade the frontage ditch/culvert along Southridge Road to 600 mm diameter storm sewer, including a new manhole at the new lane dedication.
 - Extend the existing centre lane drainage sewer from the west to Southridge Road, and install new ICs/CBs as necessary.
 - Reuse the existing storm connection at the southwest corner to service the western-most lot after the subdivision.
 - Remove all other existing storm connections and ICs fronting Southridge Road and Steveston Highway. Install two new storm ICs and connections at the common property lines between the subdivided lots for service.

Sanitary Sewer Works:

- Upgrade to the rear yard sanitary system is required to the scope outlined below. Details to be finalized in the Servicing Agreement designs:
 - Remove the existing sanitary sewer, manhole, IC and connections in the existing ROW, then discharge the ROW.
 - Relocate SMH2242 south to align with the existing sanitary sewer behind 9733-9735 Steveston Highway, and install new 200 mm sanitary sewer in the new lane dedication complete with a new manhole and two ICs and service connections.

- The westerly lot can be serviced with a new IC and connection tie-in directly to the existing manhole SMH54479 in the lane way behind 9735 Steveston Highway.

Frontage Improvements – Steveston Highway:

- Maintain the existing curb on the north side of Steveston Highway.
- Provide a minimum 1.5 m wide treed boulevard (back of curb).
- Provide a 1.5 m wide sidewalk.
- Construction of a 3 m x 9 m accessible concrete bus pad on Steveston Highway. Location to be determined by CMBC during Servicing Agreement stage. A 0.5 m x 9 m SROW on the Steveston Highway frontage will be required for the future bus shelter concrete pad.

Frontage Improvements – Southridge Road:

- Half Road pavement widening to 5.6 m is required.
- Construct a new curb and gutter.
- Provide a minimum 1.5 m wide treed boulevard.
- Provide a 1.5 m wide sidewalk at the east property line.

Other Frontage/Rear Lane Improvements:

- Dedication of a 6 m wide strip of land is required along the north property line of the subject sites for the new lane, which must match the existing lane to the west and connect through to Southridge Road. The new lane must be built up to current City standard and match the configuration of the existing lane to the west.
- A 4 m x 4 m corner cut is required at the northwest corner of the intersection between Steveston Highway and Southridge Road.

Private Utilities:

- Developer is responsible for under-grounding of the property's Hydro and Telus service along Steveston Highway. The developer shall provide private utility companies with the required rights-of-ways for their equipment (e.g. Vista, PMT, LPT, SAC Pad, kiosks, etc.) and/or to accommodate the future under-grounding of the overhead lines. These equipments must be located on private property and not within the City's ROWs or Public Rights of Passage and not impact public amenities such as sidewalks, boulevards and bike paths. The developer is responsible for coordination with private utility companies.
- Sidewalk restoration may be required due to the undergrounding of electrical and/or telecommunication services.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

Signed

Date



Richmond Zoning Bylaw 8500
Amendment Bylaw 9187 (RZ 14-669571)
9751 Steveston Highway & 10831 Southridge Road

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

- 1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it "COMPACT SINGLE DETACHED (RC2)".

P.I.D. 004-311-515

Lot 36 Section 34 Block 4 North Range 6 West New Westminster District Plan 15745

P.I.D. 004-036-816

Lot 37 Section 34 Block 4 North Range 6 West New Westminster District Plan 15745

- 2. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9187".

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

Series of horizontal lines for recording readings and conditions.

CITY OF RICHMOND APPROVED by BK APPROVED by Director or Solicitor al

MAYOR

CORPORATE OFFICER