



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** May 21, 2019

**From:** Wayne Craig  
Director, Development

**File:** DP 18-818748

**Re:** **Application by Polygon Fiorella Homes Ltd. for a Development Permit at 3551, 3571, 3591, 3611 and 3631 Sexsmith Road**

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### Staff Recommendation

That a Development Permit be issued which would permit the construction of a high-rise building containing two affordable (work-only) studios for professional artists and approximately 168 dwellings, including 11 affordable (low-end-of-market) units at 3551, 3571, 3591, 3611 and 3631 Sexsmith Road on a site zoned "Residential/Limited Commercial (RCL4)".



Wayne Craig  
Director, Development  
(604-247-4625)

WC:sb  
Att. 5

## Staff Report

### Origin

Polygon Fiorella Homes Ltd. has applied to the City of Richmond for permission to develop a mixed use residential and artist studio high-rise development at 3551, 3571, 3591, 3611 and 3631 Sexsmith Road on a site zoned “Residential/Limited Commercial (RCL4)” (Attachment 1). The developer’s proposal includes:

- 16,321 m<sup>2</sup> (175,674 ft<sup>2</sup>) of multi-family residential uses, including 858 m<sup>2</sup> (9,238 ft<sup>2</sup>) for affordable low-end-of-market rental (LEMR) housing (designed and constructed, at the developer’s sole cost and secured in perpetuity with a Housing Agreement).
- 78 m<sup>2</sup> (839 ft<sup>2</sup>) of community amenity space in the form of two rentable-affordable-work only studio units for professional artists (designed and constructed, at the developer’s sole cost and secured in perpetuity with a legal agreement registered on Title).
- 168 dwelling units, including 11 LEMR units.
- Public open space secured with statutory right-of-ways, including a new Brown Road Plaza, and expansion of the existing north-south mid-block mews. The existing mid-block mews located on the adjacent existing development to the west of the site includes walkway and vehicle access areas, both of which are proposed to be widened.

The site is currently vacant except for preload material. The site is being rezoned from “Single Detached (RS1/F)” to “Residential/Limited Commercial (RCL4)” for this project under Bylaw 9836 (RZ 17-778835), which was given third reading on May 22, 2018.

The required off-site works will be designed and constructed, at the developer’s sole cost, through the City’s standard Servicing Agreement processes as a consideration of rezoning. The required works include the eastward extension of Brown Road to Sexsmith Road, Sexsmith Road improvements, Brown Road Plaza, north-south mid-block mews, and sanitary, storm and water works.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant bylaw requirements.

### Background

The subject development is located in the City Centre’s rapidly developing Capstan Village area, at the crossroads of Sexsmith Road and Brown Road. Development surrounding the subject site is as follows:

To the north: Adjacent to the site is “Union Square”, a low-rise, strata commercial mall that, like the subject site, is designated under the City Centre Area Plan (CCAP) for medium density residential buildings and a limited amount of complementary commercial and other uses (General Urban T5 (35m)).

- To the south: Adjacent to the site is “Continental Shopping Centre”, a low-rise, strata commercial mall that is designated under the CCAP for medium density, mixed use development (General Urban T4 (25m) and Village Centre Bonus). In addition, along this frontage of the subject site, the developer is required to extend Brown Road to Sexsmith Road as part of the CCAP’s “major street” network.
- To the west: Three recently completed, residential towers (Polygon “Avanti”) (DP 12-612510), that, like the subject site, is designated under the City Centre Area Plan (CCAP) for medium density residential buildings and a limited amount of complementary commercial and other uses (General Urban T5 (35m)). This development provided for a portion of Brown Road and a shared north-south mid-block mews with walkway and vehicle access. In addition, along this frontage of the subject site, the developer is required to widen the mid-block mews.
- To the east: Sexsmith Road, beyond which the City is reviewing a rezoning application (RZ 18-836123) submitted by the same developer for a very large, predominantly vacant area (comprising several single-family homes, and open fields). Like the subject site, this area is designated under the City Centre Area Plan (CCAP) for medium density residential buildings and a limited amount of complementary commercial and other uses (General Urban T5 (35m)).

### **Rezoning and Public Hearing Results**

During the rezoning process, staff generally identified that the proposal needed to achieve a more detailed level of design through the subject Development Permit process. This has been satisfactorily addressed as discussed in this report.

The Public Hearing for the rezoning of this site was held on May 22, 2018. Three residents from the adjacent Avanti development submitted emails to the Public Hearing, expressing the following development concerns about rezoning the property:

- Tree Retention: Existing trees were reviewed in the rezoning Staff Report, which included noting that the developer was unable to retain existing trees on the site. The proposed development includes the planting of 53 replacement trees on the site.
- Privacy and View Impacts: Potential privacy and view impacts between the proposed development and existing neighbouring Avanti development to the west of the site are mitigated through building siting and landscape screening. The proposal provides an 8.3 m (27 ft.) building separation along the mid-block mews between the proposed townhouses and the existing neighbouring Avanti townhouses and landscape screening is proposed with the planting of Maple trees which will reach an approximate height of 4.5 m (15 ft.) at maturity. The tower and low-rise building are pushed farther to the east, along the Sexsmith Road edge of the site, providing a 45 m (147 ft.) tower separation. The proposed development will provide attractive views for the neighbourhood. In addition, the tower and low-rise building are located along the east Sexsmith Road edge of the site, minimizing the impacts to existing views from the existing neighbouring Avanti development to the west.

- **Construction Impacts:** The applicant is required to design and construct the subject development in accordance with the BC Building Code safety requirements and not damage neighbouring development. Noise is regulated through the Noise Regulation Bylaw 8856, which limits construction activity noise for a development of this size to 7am through 8pm Monday through Friday, and 10am through 8pm on Saturdays. The applicant is aware of the noise regulation and is also aware of the City’s Good Neighbour Program, which endeavour to manage construction activity impacts (e.g. dust and noise).
- **Construction Traffic Impacts:** The applicant is required to submit a Construction Traffic Management Plan for Transportation Department review and approval prior to Building Permit issuance.

**Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the “Residential/Limited Commercial (RCL4)” zone.

Through the applicant’s rezoning and related Development Permit processes, the developer has satisfied the following development requirements.

1. **Affordable Housing:** Housing Agreement (3551/3571/3591/3611/3631 Sexsmith Road) Bylaw No. 9927 associated with the development proposal was adopted by Council on November 13, 2018 to secure (in perpetuity) the developer’s commitment to design and construct (on-site, to a turnkey level of finish, and at the developer’s sole cost) 5% of the development’s residential floor area in the form of 11 affordable low-end-of-market rental (LEMR) housing units. The developer is engaged in discussions regarding a potential non-profit operator to manage the LEMR units.

Affordable Housing		Affordable Unit Mix*				
Min. Floor Area	Proposed Floor Area	Studio	1-BR	2-BR	3-BR	Total
816 m <sup>2</sup> (8,784 ft <sup>2</sup> )	858 m <sup>2</sup> (9,238 ft <sup>2</sup> )	2	4	3	2	11

\* 100% of the affordable housing units will satisfy Richmond’s Basic Universal Housing (BUH) standards.

2. **Capstan Station Bonus (CSB):** Prior to rezoning adoption, the developer voluntarily agreed to satisfy the terms of the CSB, as set out in the Residential/Limited Commercial (RCL4) zone, as follows:
  - **Station Construction:** Registration of a legal agreement securing pre-payment of funds towards the future construction of Capstan Station, based on the Council-approved contribution rate in effect at the time of Building Permit issuance was secured at rezoning (i.e. current rate is \$8,780.96 per unit, which rate is in effect until September 30, 2019).

- Public Open Space: Registration of statutory right-of-ways (SRW's) and road dedication to the City to satisfy the CSB's required publicly-accessible open space contribution was secured at rezoning, which open space includes Brown Road Plaza, mid-block mews widening, and improvements along Brown Road and Sexsmith Road. As noted in the rezoning Staff Report, the total provided open space of 1,217 m<sup>2</sup> (13,101 ft<sup>2</sup>), exceeds the CSB requirement by 24%.
3. Parking Strategy: Prior to rezoning adoption, legal agreements were registered on Title to secure the developer's offer to voluntarily contribute towards various transportation-related features in compliance with Zoning Bylaw requirements for Parking Zone 1A (Capstan Village) and transportation demand management (TDM) parking reductions. The required features have been included in the required Servicing Agreement secured at rezoning and the proposed Development Permit design, as follows:
    - Cycling Network: Completion of the protected bike route along Brown Road and Sexsmith Road from Cambie Road to Capstan Way through construction of interim on-street bicycle lane improvements north of the subject site to Capstan Way through the required Servicing Agreement process.
    - Electric Bicycle Charging: Provision of energized outlets (120V) for electric bicycle charging; one outlet for every 10 class 1 bicycle storage spaces in each bicycle storage room.
  4. District Energy Utility (DEU): As noted in the rezoning Staff Report, the subject development must be designed and constructed to facilitate their connection to a future City DEU system. The subject development will become part of the City Centre DEU, constructing and transferring ownership of an on-site low carbon energy plant to the City or the City's DEU service provider, Lulu Island Energy Company.
  5. Public Art: A voluntary cash contribution of \$141,925 towards the City's Public Art Program was secured at rezoning.
  6. Transport Canada Height Regulations: The developer has submitted a letter prepared by a BCLS registered surveyor confirming that the maximum height permitted under Transport Canada regulations is 47 m (154 ft.) GSC, which allows for the proposed building height of 42.5 m (132.8 ft.) GSC.
  7. Aircraft Noise: The OCP permits residential and other aircraft noise sensitive uses in this location, subject to specific requirements. The City's standard aircraft noise legal agreement was secured at rezoning. An acoustic report, prepared by a certified professional, was submitted to the City and is required to be included in the Building Permit. The development is required to incorporate glazing upgrades to achieve required interior noise levels.
  8. View Blockage and Other Development Impacts: The City's standard legal agreement was secured at rezoning to notify purchasers of potential development impacts and ensure that the developer incorporates reasonable mitigation measures into the design.
  9. Flood Construction Level: The City's standard legal agreement was secured at rezoning, requiring a minimum habitable floor level of 2.9 m (9.5 ft.) GSC or 0.3 m (1.0 ft.) above the crown of the fronting street.

10. On-Site Tree Removal and Replacement: Through the rezoning process, Council approved the removal of 27 bylaw-size trees, secured with a \$40,000 Letter of Credit, and planting of 53 replacement trees. The subject Development Permit provides for the required 53 replacement trees.

### **Advisory Design Panel Comments**

On January 23, 2019, the Advisory Design Panel (ADP) supported the subject Development Permit application moving forward to the Development Permit Panel, subject to the applicant giving consideration to the ADP's comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference, together with the applicant's design response in '*bold italics*' (Attachment 3). All outstanding design issues have been resolved.

### **Analysis**

The developer proposes to construct a high-rise, high density, limited mixed use development in Capstan Village. The proposed form of development, which combines articulated street wall building elements, a tower, and townhouses, complies with Zoning Bylaw requirements and the objectives of the CCAP's Development Permit Guidelines. More specifically, the development has successfully demonstrated:

- A strong urban concept contributing towards a high-density, high-amenity, environment, comprising of two rentable-affordable-work only studio units for professional artists, pedestrian-oriented publicly accessible park plaza along Brown Road, and a variety of dwelling types (including 84% family-friendly, two-bedroom and three-bedroom units).
- Variations in massing contributing towards streetscape interest, solar access to usable rooftops, and upper- and mid-level views across the site for residents and neighbours.
- An articulated building typology with distinctive forms and features that will contribute towards local identity, pedestrian interest, and a sense of human scale.
- Sensitivity to existing neighbours, by exceeding minimum recommended tower separation guidelines (e.g., 45 m/147 ft. provided, 35 m/115 ft. required) and enhancing public streets and walkways around the perimeter of the site.

### ***Conditions of Adjacency***

The subject site is located in Capstan Village, a planned high-rise, mixed use area in proximity to the Canada Line. The proposed development is designed to respect both existing and future surrounding development as follows.

1. To the east: The development responds to its existing residential neighbours by:
  - Providing three-storey townhouses along most of this frontage.
  - Ensuring that tower spacing across Sexsmith Road and between the subject site and future potential neighbours to the east will be at least 35 m (115 ft.), as per CCAP Development Guidelines.
  - Providing for complementary uses in the form of townhouses, residential lobby and indoor amenity space.

2. To the north: The development is set back along this frontage to:
  - Protect adjacent existing trees on the neighbouring site (e.g., Union Square shopping centre).
  - Accommodate development construction activities on-site. To accommodate future construction of the adjacent property to the north and closing off of the space along the north property line, the developer has agreed to provide statutory right-of-way (SRW) for the purposes of public rights-of-passage (PROP) along the entire north property line of approximately 0.6 m (2 ft.) wide as a consideration of the Development Permit.
3. To the west: The development responds to its existing residential neighbours (e.g., Polygon "Avanti") by:
  - Accommodating the development within a single tower at the site's southeast corner where it serves to maximize tower spacing, exceeds CCAP Development Guidelines tower spacing of at least 35 m by 10 m, and minimize shading and overlook.
  - Providing a coordinated approach to access and circulation through improvements.
  - Widening the existing landscaped, mid-block mews SRW from approximately 3 m (9.8 ft.) to 6 m (19.7 ft.) (which mews widening will be privately owned and maintained, as per the statutory right-of-way secured at rezoning).
  - Providing for complementary uses in the form of townhouses along the mid-block mews walkway.
  - Incorporating landscape features and uses that will enhance the mid-block mews walkway's visual appeal and amenity (e.g., a paved walkway, walkway lighting, trees, and planting).
4. To the south: The development seeks to enhance the neighbourhood's public space network and contribute towards a high amenity public realm through:
  - Providing a Brown Road Plaza public rights-of-passage (PROP) SRW, as secured at rezoning, together with trees, planting, street furnishings, and other landscape features, which will enhance the appearance, amenity, and casual surveillance of Brown Road; while tower spacing across Brown Road and between the subject site and future neighbours to the south will be at least 35 m (79 ft.), as per CCAP Development Guidelines.
  - Stepping down the podium towards the plaza to provide a more pedestrian-scale interface.
  - Locating the two rentable-affordable-work only studio units secured at rezoning in a manner that fronts the Brown Road Plaza and enhancing its relationship with the plaza by orienting its main entrances to the plaza, installing glazed, garage-style doors offering views and access to arts activities and providing opportunities for art activities in the plaza.

### ***Urban Design and Site Planning***

The proposed form of development takes advantage of the site's irregular shape and its proximity to the Canada Line, provision of affordable artist rental work studios and Brown Road Plaza and widening of a north-south mid-block mews to create a dynamic, high-density, urban environment that is consistent with CCAP objectives and characterized by:

1. Distinctive towers, in the form of slim slabs articulated with stepped rooflines and stacked projecting angled balconies that provide for a unique identity and street definition along the curving alignment of Brown Road and Sexsmith Road.
2. Massing variations, in combination with accessible and inaccessible rooftop landscape treatments, that help to further break down the scale of the buildings, provide for visual interest and varied recreation opportunities, and enhance upper-level views from on-site and neighbouring development.
3. Continuous, pedestrian-oriented residential, arts facility, and public plaza frontages that will contribute towards local liveability, enhance public enjoyment of open space amenities, and help support a lively public realm.
4. Service uses, parking, loading, and waste management are accommodated and screened from public view.

### ***Architectural Form and Character***

The CCAP encourages the development of a mosaic of distinctive, yet cohesive, urban villages. The subject development aims to satisfy this objective by building on the strong streetwall vocabulary established elsewhere in Capstan Village, while proposing a distinct tower and podium expression. In brief, features include:

1. A layering of dynamic, horizontal forms that contributes towards a modern, minimalist architectural expression including:
  - An active, transparent, residential/artist studio unit ground floor.
  - A distinct podium articulated with terracing and landscape treatment.
  - Distinct townhouse massing with pedestrian-oriented entries, raised patios and inset balconies.
  - A distinct street wall along the site's Sexsmith Road street frontage, stepped back from street-fronting townhouses and articulated with inset and projecting balconies, material and colour placement that provide rhythm, variety, and visual interest.
  - A slim, slab-like tower that angles gracefully away from the street wall, reflecting the site's curved Sexsmith Road street frontage, articulated with angled end balconies in addition to the inset and projecting balconies, material and colour placement that provide rhythm, variety, and visual interest.
2. An integrated landscape approach that provides for planting at all lower rooftop levels (not the tower roof).
3. Quality materials (e.g. architectural concrete, grey brick, black brick, metal panels, spandrel panels, aluminum frames, and glass guard rails) that contribute towards a distinct identity and high amenity urban environment.
4. A subdued, white-grey-black colour palette that, used in combination with variations in texture and additions of accent colour at residential and artist studio unit entries, on specific



inset balcony return walls, and the north parking structure wall, helps to break up the massing, reinforce the identity of key public spaces, and project a crisp, contemporary image.

***Landscape Design and Open Space Design***

For Capstan Village, the CCAP encourages the development of a network of neighbourhood parks, greenways, mid-block walkways, and other landscape features. In addition, Zoning Bylaw requirements in respect to the Capstan Station Bonus require that benefitting developments (including the subject development) provide public open space over and above basic CCAP park standards. The subject developer’s public open space contribution is provided, in part, as road dedication, and in part 922.9 m<sup>2</sup> (17,262 ft<sup>2</sup>) of publicly-accessible open space, secured at rezoning with statutory right-of-ways, including the proposed Brown Road Plaza and mid-block mews expansion. These publicly-accessible open spaces are being designed and constructed via Servicing Agreement as secured at rezoning.

In addition to the public open space noted above, the development provides for on-site private open space features as follows:

1. 1,661 m<sup>2</sup> (17,879 ft<sup>2</sup>) of residential outdoor amenity space, based on the OCP standard of 6 m<sup>2</sup> (65 ft<sup>2</sup>) per dwelling unit, comprising a large, irrigated landscaped, multi-use, outdoor space at the podium roof level (co-located with required indoor residential amenity space) and smaller urban agriculture space at the lower level, designed to provide for children’s play, strolling, socializing, relaxing, outdoor dining, and gardening (i.e. raised plots, tool storage, hose bibs, and related features).
2. Additional landscaping in the form of residential lobby entrance features, landscape buffers along townhouse frontages, and green roofs. All these landscaped areas will be irrigated.
3. Drought tolerant plants incorporated in green roof and vegetated outdoor areas to reduce reliance on irrigation.
4. Private outdoor patios and balconies for all dwelling units.
5. Prior to forwarding the subject application to Council, the developer is required to provide to the City a Letter-of-Credit for landscaping in the amount of \$557,691.00, as estimated by the project Landscape Architect, to ensure that on-site landscape features are provided in accordance with the Development Permit.

***Shared Indoor Amenity Space***

The OCP requires that multi-family developments comprising 40 units or more provide at least 100 m<sup>2</sup> (1,076 ft<sup>2</sup>) of indoor amenity space. The subject development exceeds the OCP minimum and provides for attractive indoor amenity features located adjacent to the main lobby and at the podium level co-located with the outdoor amenity space (e.g., meeting room and fitness area).

Dwellings	Minimum Requirement	Proposed
168	100 m <sup>2</sup> (1,076 ft <sup>2</sup> )	369 m <sup>2</sup> (3,971 ft <sup>2</sup> )

***Crime Prevention Through Environmental Design***

Measures are proposed to enhance safety and personal security including, but not limited to, the following measures.

1. Casual Surveillance: Minimization of blind corners, prominent residential lobby entrance, drop-off/pick-up visitor parking uses on the main floor of the parkade, clear sightlines to exits within the parkade, glazed vestibules, street-oriented residential and artist studio units, and pedestrian scale lighting.
2. Territoriality: Landscape buffers and grade changes between public and private spaces.
3. Target Hardening: Security features at all residential, artist studio, and parking entrances.

***Accessible Housing***

Richmond's OCP seeks to meet the needs of the city's aging population and people facing mobility challenges by encouraging the development of accessible housing that can be approached, entered, used, and occupied by persons with physical or sensory disabilities. To address the City's policy, the developer proposes to provide:

1. Barrier-free access to all common areas, indoor and outdoor amenity spaces.
2. Aging in place features in all dwellings (e.g., stairwell hand rails, lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers).
3. 32 Basic Universal Housing (BUH) units (i.e. 38% of total units) designed to satisfy all applicable Zoning Bylaw requirements, including 100% of affordable housing (11 units) and 13% of market housing (21 units).

Note: The developer proposes to use the Zoning Bylaw density exclusion of 1.86 m<sup>2</sup> (20 ft<sup>2</sup>) for each BUH unit provided.

***Sustainability Measures***

The project's sustainability goal is to provide a cost-effective, high-value development that meets or exceeds City standards (i.e. LEED "Silver" equivalent). The development proposal targets 54 LEED points and responds to City objectives for enhanced long-term environmental, fiscal, and social sustainability as per the attached LEED Checklist (Attachment 4). In brief, among other things the development will include:

1. A full building energy simulation to optimize energy efficiency measures and an enhanced commissioning process to ensure that the building's energy related systems are operating efficiently and as designed.
2. District Energy Utility (DEU) compatible building and mechanical system designs to facilitate a future connection to a City utility as secured at rezoning. The developer has agreed to construct and transfer ownership of an on-site low carbon energy plant to the City or the City's DEU service provider, Lulu Island Energy Company.

3. A solar array on the tower rooftop. The developer has agreed to register a legal agreement on Title as a Development Permit consideration, ensuring that the proposed solar panels will be installed and maintained for the life of the building. The agreement will include provisions for alternative renewable technologies to replace the solar panel installations provided that equal or better performance is achievable to the satisfaction of the Director of Development and the Director of Building Approvals.
4. Energized electric vehicle (EV) charging outlets for 100% for resident vehicle parking spaces (208V - 240V) and 10% of Class 1 (i.e. secure) bike storage (120V).
5. Low flow/flush plumbing fixtures (e.g., toilets, showers, and faucets) and a high efficiency irrigation system to reduce water usage.
6. Best practices to optimize air quality and provide a clean and healthy building for occupants.

### **Conclusions**

The proposed development is consistent with Richmond's objectives for the subject property and Capstan Village as set out in the Official Community Plan (OCP), City Centre Area Plan (CCAP), and Zoning Bylaw. The project's distinctive form, pedestrian-oriented streetscapes, rentable-affordable-work only studio units for professional artists, affordable and basic universal housing, landscaping, and sustainable development measures, together with the developer's concurrent construction of off-site improvements secured through rezoning, will enhance the establishment of Capstan Village as a high-amenity, transit-oriented, urban community. On this basis, staff recommend that the Development Permit be endorsed and issuance by Council is recommended.



Sara Badyal  
Planner 2  
(604-276-4282)

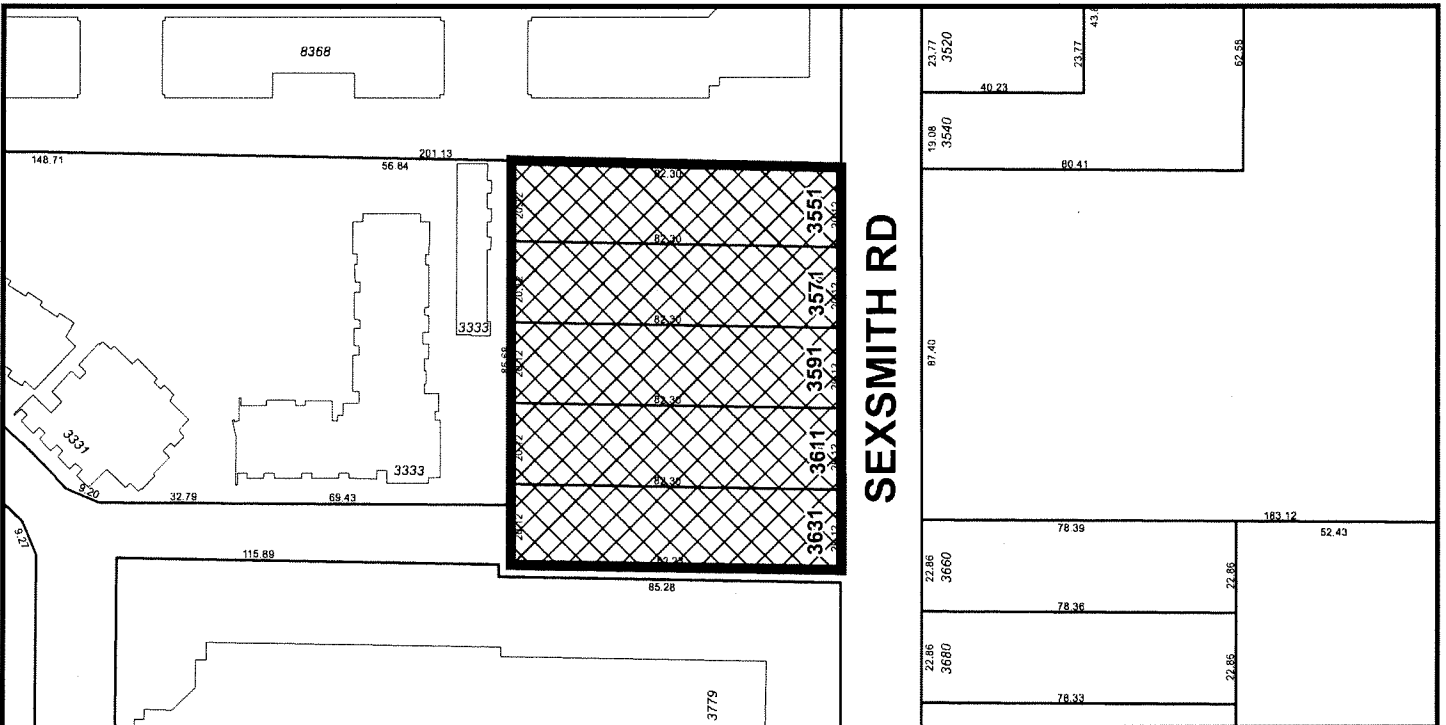
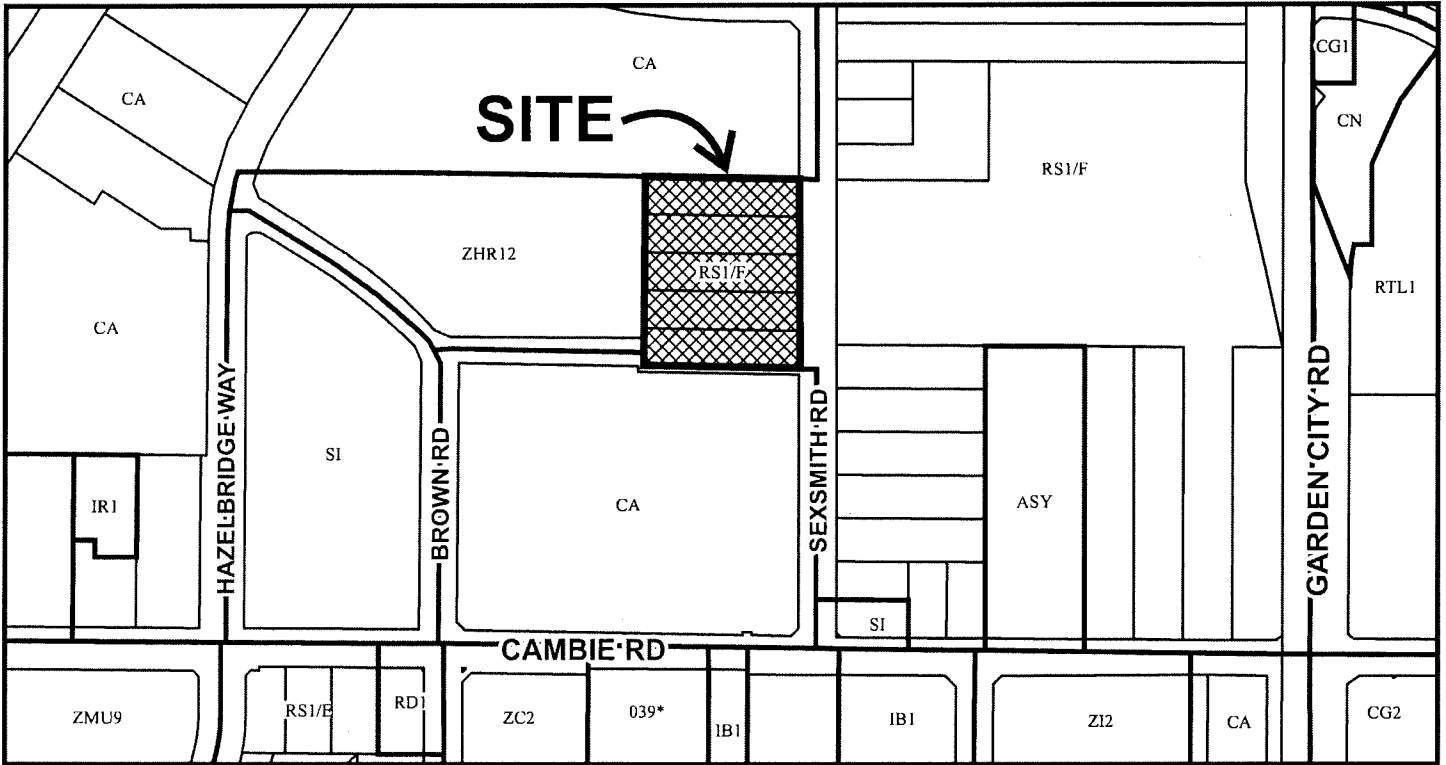
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### Attachments:

- Attachment 1: Location Map
- Attachment 2: Development Application Data Sheet
- Attachment 3: Advisory Design Panel Meeting Minutes Annotated Excerpt (January 23, 2019)
- Attachment 4: LEED Checklist
- Attachment 5: Development Permit Considerations



# City of Richmond



## DP 18-818748

Original Date: 05/10/18

Revision Date:

Note: Dimensions are in METRES



**DP 18-818748**

**Attachment 2**

Address: 3551, 3571, 3591, 3611 and 3631 Sexsmith Road

Applicant: Polygon Fiorella Homes Ltd.

Owner: Polygon Fiorella Homes Ltd, Inc. No. 0750635

Planning Area(s): City Centre (Capstan Village)

	Existing	Proposed
Site Area	Gross site 8,272.5 m <sup>2</sup> (89,044.4 ft <sup>2</sup> ) Road dedications 2,035.1 m <sup>2</sup> (21,905.6 ft <sup>2</sup> ) (includes 294.0 m <sup>2</sup> eligible as Capstan Station Bonus public open space) Net site 6,237.4 m <sup>2</sup> (67,138.8 ft <sup>2</sup> )	6,237.4 m <sup>2</sup> (67,138.8 ft <sup>2</sup> )
Land Uses	<ul style="list-style-type: none"> <li>Large lot single family residential</li> </ul>	High-rise, multi-family residential
OCP Designation	<ul style="list-style-type: none"> <li>Mixed Use</li> </ul>	Complies
CCAP Designation	<ul style="list-style-type: none"> <li>Urban Centre T5 (35 m), allowing for additional building height</li> <li>Proposed Streets</li> </ul>	Complies
Zoning	Residential/Limited Commercial (RCL4) subject to RZ 17-778835	Complies
Units	None	2 rental artist work units 168 residential units (including 11 affordable housing units)

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio (max.)	2.618 FAR (with road dedication)	2.613 FAR	None permitted
Buildable Floor Area	Max. 16,328.5 m <sup>2</sup> (175,758.5 ft <sup>2</sup> )	16,321 m <sup>2</sup> (175,674 ft <sup>2</sup> ), including: - Market: 15,463 m <sup>2</sup> (95%) - Affordable: 858 m <sup>2</sup> (5%)	None permitted
Lot Area	Min. 4,000.0 m <sup>2</sup> (43,055.6 ft <sup>2</sup> )	6,237.4 m <sup>2</sup> (67,138.8 ft <sup>2</sup> )	None
Lot Coverage	Max. 90%	90%	None
Setback – Road	3.0 m (9.8 ft.) min.	East: 3.0 m (9.8 ft.) min. South: 3.0 m (9.8 ft.) min.	None
Setback – Interior Property Line	Nil	West: 3.0 m (9.8 ft.) min. North: 0.6 m (1.9 ft.) min.	None
Setback – Projections	Balconies: 1.0 m (3.3 ft.) max. Architectural features: 0.6 m (2.0 ft.) max Weather protection: To the property line	Projections comply with required setbacks	None
Height	Max. 47 m GSC (154.2 ft.) with park area	42.5 m GSC (132.8 ft.)	None
Parking Spaces	183 total spaces with TDMs, including: 142 Market spaces 9 Affordable housing spaces 31 Visitor spaces 1 Brown Road Studios space	194 total spaces with TDMs, including: 152 Market spaces 10 Affordable Housing spaces 31 Visitor spaces 1 Brown Road Studios space	None
Parking – Accessible Spaces	Min. 2% (4 spaces)	2.6% (5 spaces)	None
Parking – Small Car Spaces	Max. 50% (96 spaces)	46% (88 spaces)	None
Off-Street Loading:	1 medium truck (SU-9) space	1 medium truck (SU-9) space	None

Bicycle Storage	214 class 1 secured bike spaces 34 class 2 bike rack spaces	214 class 1 secured bike spaces 34 class 2 bike rack spaces	None
EV (Energized) Charging for Cars	100% Market parking spaces 100% Affordable parking spaces	100% Market parking spaces 100% Affordable parking spaces	None
EV (Energized) Charging for Bikes	1 duplex (120 V) receptacle per 10 Class 1 bike spaces per bike room	1 duplex (120 V) receptacle per 10 Class 1 bike spaces per bike room	None
Amenity Space – Indoor	Min. 100 m <sup>2</sup> (1,076 ft <sup>2</sup> )	369 m <sup>2</sup> (3,971 ft <sup>2</sup> )	None
Amenity Space – Outdoor	Min. 1,008 m <sup>2</sup> (10,850 ft <sup>2</sup> )	1,661 m <sup>2</sup> (17,879 ft <sup>2</sup> )	None

## Excerpt from the Minutes from The Design Panel Meeting

Wednesday, January 23, 2019 – 4:00 p.m.  
Richmond City Hall

2. DP 18-818748                      One-Tower City Centre Mixed Use Development Including Two Rental  
Affordable Work Artist Studios  
ARCHITECT:                              Franci Architecture  
LANDSCAPE ARCHITECT:              PWL Partnership  
PROPERTY LOCATION:                3551, 3571, 3591, 3611 and 3631 Sexsmith Road

### Applicant's Presentation

Walter Franci, Franci Architecture, and Bruce Hemstock, PWL Partnership, presented the project and together with Robin Glover, Polygon, answered queries from the Panel on behalf of the applicant.

### Panel Discussion

Comments from Panel members were as follows:

- appreciate the applicant's presentation; like the look and feel of the development – *Noted.*
- ensure that benches to be provided have armrests to enhance accessibility for users – *Incorporated.*
- ensure that all outdoor amenity spaces are accessible, particularly the rooftop terrace on the podium indoor amenity space – *Providing elevator access to indoor amenity roof level is impractical; roof deck has been replaced with extensive green roof area.*
- appreciate the design of the project presented in a clear and legible way – *Noted.*
- provision of artist studios and the public space at the front are appropriate; appreciate the proposed programming and integrated solutions – *Noted.*
- support the proposed location of the urban agriculture garden on Level 2; consider introducing urban agriculture on the common residential outdoor amenity space on the podium adjacent to the children's play area to enable parents to do gardening while watching over their children – *Improved. A separate gardening area on the lower level with direct access to parking for loading is preferred, however an added convenience stair provides direct access between the two levels.*
- the façade design is interesting and successful; no issue with the colour choices; however, the applicant could be bolder in the amount of colours to be used on the façade, e.g. on the concrete panels, slats of wood, and materials on balconies, a splash of significant colours to the main building entrance to provide better identification – *Incorporated. The amount of colour on the residential elevations has been doubled and the range harmonized in a pink/red gradation to refer to the meaning of Fiorella ("flower" in Italian) on the residential building. The random pattern of the varying shades animates the building elevations as viewed on an angle. Colours in the teal/blue palette highlight the residential lobby and artist studios.*
- consider providing weather protection for the outdoor amenity areas of the proposed development – *Improved. A canopy projection was added at the southern end of the indoor amenity building.*
- consider removing or providing further articulation of the parkade exit door due to its visibility from the plaza – *Improved. The exit door, required by code for parkade emergency egress, has been shifted west and incorporated into the wall pattern design.*
- consider turning inward the open side of the concrete walls on three sides of the pad mounted transformer (PMT) so it will not be visible to pedestrians and cyclists – *Improved. BC Hydro stipulates the PMT must be directly accessible from the road so the south side will remain open. The other three sides are concealed by a solid retaining wall with landscape berms (3:1 slope) and access from the south is via grass paving system to visually disconnect it from the park.*
- appreciate the amount of work that the applicant has put into the development – *Noted.*

- the project is well-designed and well-programmed – *Noted.*
- appreciate the provision of artist studios in the proposed development as they animate the public space and make it more friendly; confirm the artist studios have adequate size and layout – *Considered. Artist studio area exceeds the requirement secured at rezoning.*
- proposed colours for the building do not fit well into the neighbourhood – *Noted.*
- in general, the project is good-looking and a nice addition to the area – *Noted.*
- appreciate the amount of planting on the podium; however, the applicant is advised to coordinate effectively with the mechanical and structural engineers to make the proposed landscaping work in detail – *Considered and will be addressed through ongoing consultant coordination.*
- consider installing more benches at the periphery of the shared open space, with some of them covered or shaded by trees – *Additional seating with arm rests were added.*
- appreciate the presentation and the model – *Noted.*
- support the proposed green roofs; nice to see – *Noted.*
- investigate opportunities for providing a common area and/or facilities on the third floor to encourage residents of three-storey townhouse units to use their large decks – *The podium patios of the three-storey townhomes are directly accessible from common areas within the townhomes to allow all occupants to easily enjoy both the townhome patio as well as the shared outdoor amenity.*
- investigate opportunities to provide more visual interest around the artist studio plaza; consider opportunities to make the artist studios more visually prominent and to provide separation privacy to residential units above – *Improved. The plaza paving has been differentiated from that of the park, highlighting the artist studios. Additional electrical receptacles and lighting rails have been added to building columns to facilitate lighting and amplification during special events. Bike racks have been relocated and overhead doors added to allow for better indoor-outdoor interaction.*
- appreciate the sun exposure and amount of planting adjacent to the public open space plaza; consider more connections and more open space around the lobby entry which are not all garden; look at potential maintenance issues for gardens that are deep – *Considered. The approach to the residential lobby is distinct from the artist studio plaza and includes landscaped mounds, seating, and bike storage.*
- consider bringing the colour of the building into the basalt-like brick wall, such as illuminating at night or integrating interesting elements to create a more dynamic civic space and encourage public engagement to it – *Improved. The design of the wall has evolved into three patterns of brick that emulate the arrangement of abalone and grey concrete panels in the residential elevations. Some brick panels site proud of adjacent panels to create shadows and visual interest while providing a calm background to the park.*
- agree with Panel comment to make the artist studios more prominent; consider spilling out of the artist studios into the plaza; consider opening up the whole façade of the artist studios through installing a garage door or sliding door – *Overhead garage doors incorporated.*
- review artist studios to confirm meeting storefront and private working space needs – *Considered with other ADP comment related to artist studios and addressed as noted above.*
- consider the feature wall to the west of the artist studios opportunity to be programmed as an exhibition space – *Considered. The area to the west of the artist studio is a separate SRW with a character that is related to but distinct from the artist studio plaza. As such, the wall will have a direct relationship with the park and design finalized through the required Servicing Agreement secured at rezoning.*
- consider clearly delineating the space on the mews to separate vehicular access to the parkade from pedestrian space for going into the townhouses – *Considered. The mews is paved with pavers of the same colour to retain unity and pedestrian priority rather than emphasizing vehicle traffic and bollards provide pedestrian safety separation.*
- recessed space north of the main building entrance appears dark and hidden; investigate opportunities for treating the north face of the vestibules to open up the recessed space towards the north; consider relocating the bicycle racks from the artist studio frontage to the recessed space to make the space usable and free up the storefront of the artist studios – *Considered. The north wall of the vestibule is opaque to support*



*enterphone and annunciator panel functions. Some bike racks have been relocated to the landscaped area immediately to the north of the vestibule entry.*

- review whether the type 5 studio units on the upper floors located at the inner elbow spot of the larger high-rise building will receive sufficient daylight – **Reviewed. The Type 5 studios have 13’ of horizontal window wall which is consistent with similar conditions at other developments.**
- in general, the project is beautiful – **Noted.**
- appreciate the project; a good solution to the site in terms of massing; appreciate the strength of the tower portion of the massing which has been torqued all the way around the corner – **Noted.**
- consider limiting the use of colours but consistent and deliberate – **Considered with other ADP comments related to colour and addressed as noted above.**
- the terracing of the outdoor amenity spaces and stepping down south is a strong expression of the project; consider continuing this expression down to the ground level; also consider connecting the decks – **Considered. During the early rezoning stage the design team explored connecting the terracing to the urban garden park. The separation of the two areas addresses issues of public versus private separation.**
- appreciate the presentation; also appreciate the shape and form of the project, the extensions, the setbacks, and use of solar shading panels; glass-to-wall ratio is appropriate – **Noted.**
- appreciate the project’s sustainability features, e.g. use of solar PV panels, future connection to the City’s District Energy System, and LEED silver equivalency; consider using heat recovery ventilators as they are more cost-effective and generate savings in terms of energy cost to building users – **Incorporated.**
- slab thickness on level 2 (shown in the building sections) gives rise to ceiling height questions, e.g., with respect to the washrooms above and plumbing; design team needs to look into this – **Considered. The thicker Level 2 slab occurs within storage areas on that floor and not within residential suites.**
- appreciate the applicant contributing to the City’s Public Art Fund – **Noted.**
- appreciate the project and its presentation to the Panel – **Noted.**
- the brick wall facing the urban garden on the south side near Sexsmith Road is monolithic and not pedestrian-scaled; consider reducing the scale and make it more pedestrian-oriented through introducing another brick texture, colour, or banding patterns – **Considered with other ADP comments related to brick wall and addressed as noted above.**
- proposed massing and articulation of townhouses in terms of separating them from the larger building is successful; however, consider further breaking down the massing through further articulation of the individual units to better differentiate/distinguish each unit – **Improved. In order to articulate individual townhomes, each front entry door will receive a different shade of pink from the project colour palette, a recessed vertical band of black brick will define the extent of each home, and address plaques provided.**
- consider accentuating the use of colour accents or spandrel glass accent on the artist studio units to better differentiate/distinguish the artist studio units from the rest of the development – **Incorporated.**
- proposed colours could be muted/toned down and colour contrasts could be lessened to match the overall colour choices for the rest of the building – **Considered with other ADP comments related to colour and addressed as noted above.**

#### Panel Decision

It was moved and seconded

That DP 18-818748 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

## Scorecard

Note: The information on this tab is READ-ONLY. To edit this information, see the Credit Category tabs.



### Integrative Process

Preliminary Y 2 of 2 W 1 Verified 0

IPc Integrative Process

2 of 2 1



### Location and Transportation

Preliminary Y 15 of 15 W 1 Verified 0

LTp Floodplain Avoidance

Required

Not Verified

#### Performance Path

LTc LEED for Neighborhood Development

0 of 15 0

#### Prescriptive Path

LTc Site Selection

8 of 8 1

LTc Compact Development

3 of 3 0

LTc Community Resources

2 of 2 0

LTc Access to Transit

2 of 2 0



### Sustainable Sites

Preliminary Y 3 of 7 W 2 Verified 0

SSp Construction Activity Pollution Prevention

Required

Not Verified

SSp No Invasive Plants

Required

Not Verified

SSc Heat Island Reduction

0 of 2 1

SSc Rainwater Management

1 of 3 1

SSc Nontoxic Pest Control

2 of 2 0



### Water Efficiency

Preliminary Y 5 of 12 W 1 Verified 0

WEp Water Metering

Required

Not Verified

#### Performance Path

WEc Total Water Use

0 of 12 0

#### Prescriptive Path

WEc Indoor Water Use

3 of 6 0

WEc Outdoor Water Use

2 of 4 1



### Energy and Atmosphere

Preliminary Y 12.5 of 37 W 0 Verified 0

EAp Minimum Energy Performance

Required

Not Verified

EAp Energy Metering

Required

Not Verified

EAp Education of the Homeowner, Tenant or Building Manager

Required

Not Verified

EAc Annual Energy Use

12.5 of 30 0

EAc Efficient Hot Water Distribution System

0 of 5 0

EAc Advanced Utility Tracking

0 of 2 0



**Materials and Resources**

Preliminary Y 4 of 9 VI 1.5 Verified 0

MRp	Certified Tropical Wood	Required	Not Verified
MRp	Durability Management	Required	Not Verified
MRc	Durability Management Verification	1 of 1 0	
MRc	Environmentally Preferable Products	1 of 5 1.5	
MRc	Construction Waste Management	2 of 3 0	

**Indoor Environmental Quality**

Preliminary Y 8 of 18 VI 2.5 Verified 0

EQp	Ventilation	Required	Not Verified
EQp	Combustion Venting	Required	Not Verified
EQp	Garage Pollutant Protection	Required	Not Verified
EQp	Radon-Resistant Construction	Required	Not Verified
EQp	Air Filtering	Required	Not Verified
EQp	Environmental Tobacco Smoke	Required	Not Verified
EQp	Compartmentalization	Required	Not Verified
EQc	Enhanced Ventilation	1 of 3 2	
EQc	Contaminant Control	1 of 2 0	
EQc	Balancing of Heating and Cooling Distribution Systems	1 of 3 0	
EQc	Enhanced Compartmentalization	0 of 3 0	
EQc	Combustion Venting	2 of 2 0	
EQc	Enhanced Garage Pollutant Protection	1 of 1 0	
EQc	Low-Emitting Products	2 of 3 0.5	
EQc	No Environmental Tobacco Smoke	0 of 1 0	

**Innovation**

Preliminary Y 1 of 6 VI 0 Verified 0

INp	Preliminary Rating	Required	Not Verified
INc	Innovation	0 of 5 0	
INc	LEED Accredited Professional	1 of 1 0	

**Regional Priority**

Preliminary Y 4 of 4 VI 0 Verified 0

RPc	Regional Priority	4 of 4 0	
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**Point Floors**

The project earned at least 8 points total in Location and Transportation and Energy and Atmosphere	No
The project earned at least 3 points in Water Efficiency	No
The project earned at least 3 points in Indoor Environmental Quality	No

<b>Total</b>	Preliminary Y	54.5 of 110	VI 9	Verified 0
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Certification Thresholds Certified: 40-49, Silver: 50-59, Gold: 60-79, Platinum: 80-110



# City of Richmond

## Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 3551, 3571, 3591, 3611, and 3631 Sexsmith Road

**File No.:** DP 18-818748

### **Prior to Development Permit issuance, the developer is required to complete the following:**

1. Granting of an approximately 0.63 m wide 49.3 m<sup>2</sup> (531 ft<sup>2</sup>) statutory right-of-way for the purposes of public rights-of-passage along the entire north property line. The intent of the right-of-way is to accommodate future redevelopment of the adjacent property construction access and coordination of closing off the area on the subject site between the proposed building and future neighbouring development. The works are to be built by the developer and are to be maintained by the owner. The design must be prepared in accordance with good engineering practice with the objective to optimize public safety and after completion of the works, the Owner is required to provide a certificate of inspection for the works, prepared and sealed by the Owner's Engineer in a form and content acceptable to the City, certifying that the works have been constructed and completed in accordance with the accepted design. Works to be secured via Development Permit.
2. Solar Array: Registration of an agreement on Title, prior to bylaw adoption, ensuring that the proposed solar panels will be installed to the satisfaction of the Director of Building Approvals, maintained for the life of the building and will not be removed without City approval. The agreement will include provisions for alternative renewable technologies to replace the solar panel installations provided that equal or better performance is achievable to the satisfaction of the Director of Development and the Director of Building Approvals.
3. Rezoning Legal Agreements: Satisfy the terms of legal agreements registered on Title prior to rezoning adoption (RZ 17-778835) with respect to the development's Development Permit (e.g. Brown Road Plaza, mid-block mews walkway and driveway, Brown Road Studios rental artist work units, affordable housing low end market rental units, electric vehicle charging infrastructure, and Servicing Agreements).
4. Receipt of a Letter-of-Credit for landscaping in the amount of \$557,691.00.

### **Prior to Building Permit\* issuance, the developer is required to complete the following:**

1. Legal Agreements: Satisfy the terms of legal agreements registered on Title prior to rezoning adoption (RZ 7-778835) and Development Permit approval (DP 18-818748) with respect to the development's Building Permit\*.
2. Accessibility: Incorporation of accessibility measures in Building Permit plans as determined via the Rezoning and/or Development Permit processes.
3. Construction Traffic Management Plan\*: Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
4. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
5. Construction Hoarding: Obtain a Building Permit\* for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act. All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed copy on file

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Signed

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Date



No. DP 18-818748

To the Holder: POLYGON FIORELLA HOMES LTD.  
Property Address: 3551, 3571, 3591, 3611 AND 3631 SEXSMITH ROAD  
Address: C/O ROBIN GLOVER  
900 - 1333 WEST BROADWAY  
VANCOUVER, BC V4H 4C2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #45 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$557,691.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**

**No. DP 18-818748**

To the Holder: POLYGON FIORELLA HOMES LTD.

Property Address: 3551, 3571, 3591, 3611 AND 3631 SEXSMITH ROAD

Address: C/O ROBIN GLOVER  
900 - 1333 WEST BROADWAY  
VANCOUVER, BC V4H 4C2

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7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF

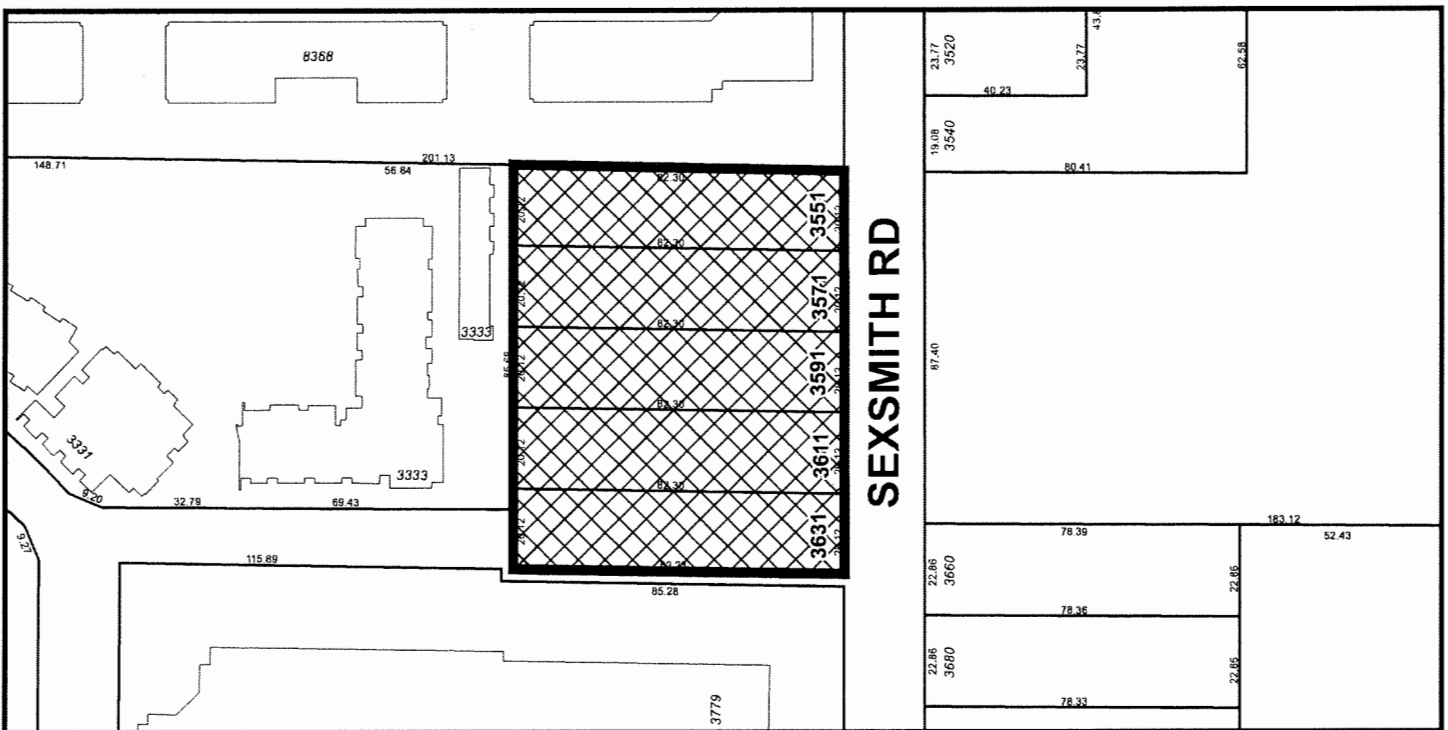
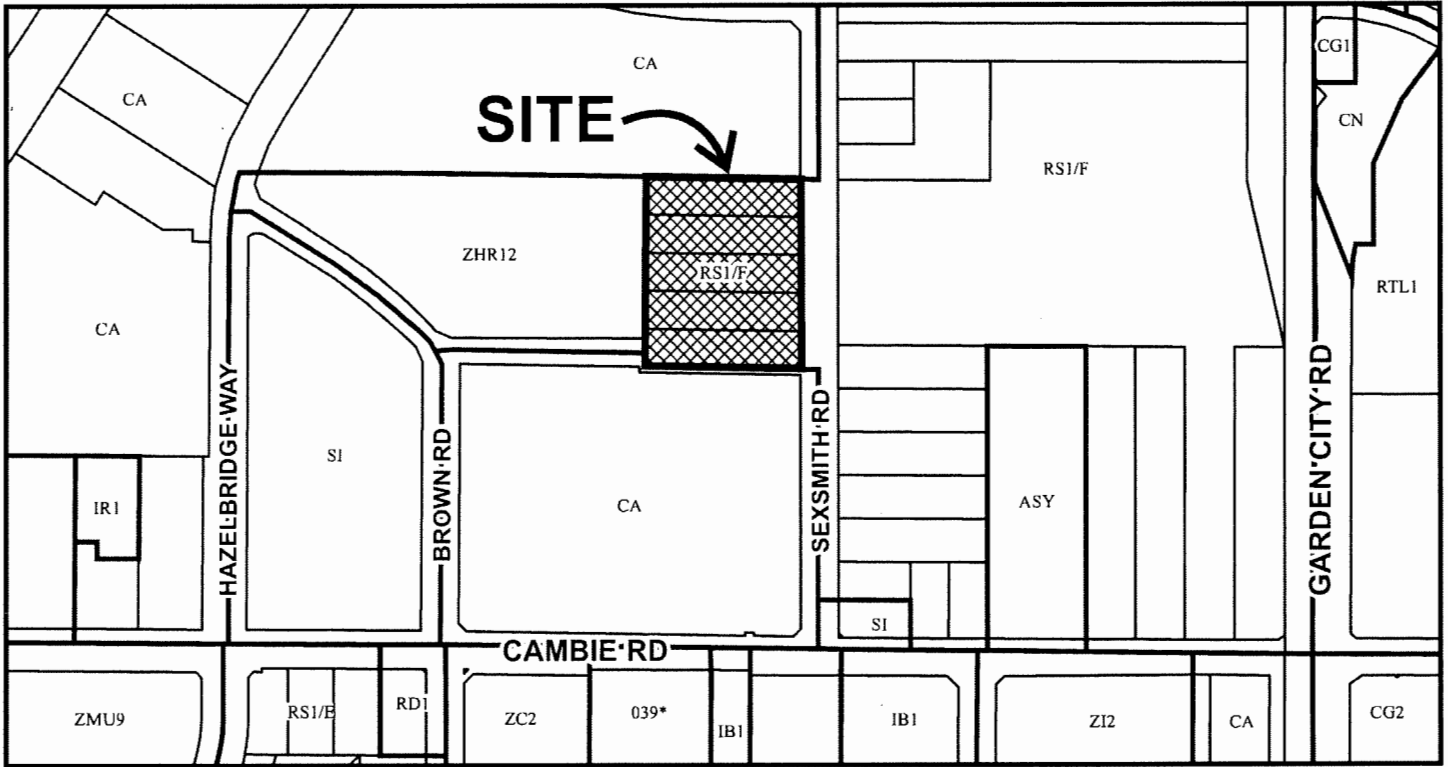
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

\_\_\_\_\_  
MAYOR



# City of Richmond



## DP 18-818748 SCHEDULE "A"

Original Date: 05/10/18

Revision Date:

Note: Dimensions are in METRES



Statistics

Site Address:	3551 to 3631 Seasmith Road
Site Dimensions:	78.31' x 83.69' / 23.87M x 25.51M
Consolidated Site Area	89,050 SF
DCC Road Dedication	18,740 SF
Non-DCC Road Dedication	3,165 SF
Net Site Area (After Deductions)	67,139 SF

Current Zoning:	RCL 4
Proposed Zoning:	RCL 4

Proposed Height:	132'-10.5" / 40.5 M / 42.5 M GSC
Permitted Height:	147'-7.12" / 45.0 M / 47.0 M GSC

Setbacks	Permitted	Proposed
North	-	0.6 M / 2.0 FT
East (Seasmith Road)	3.0 M / 9.8 FT	3.0 M / 9.8 FT
South (Brown Road)	3.0 M / 9.8 FT	3.0 M / 9.8 FT
West (Mid-Block Mews)	-	3.0 M / 9.8 FT

Proposed Site Coverage:	90%
Permitted Site Coverage:	90%

Density F.A.R.	FSR	Area (SF)	Area (SM)	Area (SM)
Permitted Density:		2,618	175,769	16,329
Proposed Density:		2,613	175,411	16,296

Parking Calculation	Required	Count	Ratio	Count
Town and Apartment Housing	157 units	142	0.96	152
1.0 stalls per unit x -10%				
Affordable Housing	11 units	9	0.91	10
0.9 stalls per unit x -10%				
Visitor	168 units	30	0.18	31
2 stalls per unit x -10%				
Artist Studio Required		1		1
<b>Total Residential Required</b>		<b>182</b>		<b>194</b>
Total Accessible Parking Stalls				
192 total spaces x 2% =		4 accessible spaces total		5
4 accessible spaces / 2 =		2 Van-accessible spaces of a total 4 acc. spaces		3
Small Car Stalls				
192 total stalls x 50% =		96		88

<b>Bicycle Space Calculation</b>	Required	Provided
RESIDENTIAL	214	214
1.25 per unit class 1 (1.25 x 168) + 4 Artist Studio		34
0.2 per unit class 2 (0.2 x 168)		66
Vertical (max. 30% x 220 = 66)		148
Horizontal (min. 50% x 220 = 110)		

<b>Loading Calculation</b>	Required	Provided
RESIDENTIAL		1
Medium Size		

<b>Balcony Calculation</b>	Allowed	Provided
Total		10920
Total		10920

Note: All units are provided with balconies, 65 SF / 6 SM minimum area.

Level	Whole Development				Deductions				FSR				
	A # Units	B Unit FSR Area	C Circulation/Service	D Amenity	E Parking	F Studios	G (B+C+D+E) Gross Buildable	H Parking	I Services	J Amenity	K Artist Studios	L (H+I+J+K) Total Deductions	L (G-L) Net FSR
L1	15	8,536	3,260	803	353,134	893	365,733	353,134	0	803	893	353,937	11,796
L2	3	13,013	4,027	0	32,050	49,090	49,090	32,050	2,315	0	0	34,365	14,725
L3	20	19,840	6,716	3,175	0	29,731	29,731	0	4,107	3,175	0	7,282	22,449
L4	17	14,749	2,176	0	0	16,925	16,925	0	616	0	0	616	16,309
L5	17	14,749	2,176	0	0	16,925	16,925	0	616	0	0	616	16,309
L6	17	14,749	2,176	0	0	16,925	16,925	0	616	0	0	616	16,309
L7	17	14,749	2,176	0	0	16,925	16,925	0	616	0	0	616	16,309
L8	17	14,749	2,176	0	0	16,925	16,925	0	616	0	0	616	16,309
L9	13	10,832	2,264	0	0	13,096	13,096	0	616	0	0	616	12,480
L10	8	7,268	1,879	0	0	9,147	9,147	0	1,043	0	0	1,043	8,104
L11	8	7,268	1,292	0	0	8,560	8,560	0	456	0	0	456	8,104
L12	8	7,268	1,292	0	0	8,560	8,560	0	456	0	0	456	8,104
L13	8	7,268	1,292	0	0	8,560	8,560	0	456	0	0	456	8,104
Roof	0	0	2,806	0	0	2,806	2,806	0	0	0	0	2,806	0
<b>Tower Total (SF)</b>	<b>168</b>	<b>155,038</b>	<b>35,700</b>	<b>3,978</b>	<b>385,184</b>	<b>579,508</b>	<b>579,508</b>	<b>385,184</b>	<b>15,335</b>	<b>3,978</b>	<b>370</b>	<b>404,497</b>	<b>175,411</b>
<b>Tower Total (SM)</b>	<b>168</b>	<b>14,403</b>	<b>3,317</b>	<b>370</b>	<b>35,785</b>	<b>53,875</b>	<b>53,875</b>	<b>35,785</b>	<b>1,425</b>	<b>370</b>	<b>370</b>	<b>37,579</b>	<b>16,296</b>

Interior	Area (SF)	Area (SM)	FSR
Amenity Spaces			
Community Amenity	379	35	
Artist Studio 1	460	43	
Artist Studio 2	839	78	0.27
<b>Total</b>	<b>1,678</b>	<b>156</b>	
Residential Amenity			
L1 Lounge	818	76	
L3 Fitness Room	3,175	295	
<b>Total</b>	<b>3,993</b>	<b>371</b>	<b>1.26</b>
<b>Total Interior Amenity</b>	<b>4,832</b>	<b>449</b>	<b>1.53</b>
Exterior			
Residential Amenity			
L3 Podium Residential	10,506	976	
Shared Space	5,005	465	
Children's Play	15,511	1,441	
L3 Podium Total Residential	23,688	2,200	
<b>Total</b>	<b>17,879</b>	<b>1,661</b>	
Community Amenity			
Brown Road Plaza SRW	7,328	680.8	
Mid-Block Mews SRW	2,606	242.1	
<b>Total</b>	<b>9,934</b>	<b>922.9</b>	
<b>Total Exterior Amenity</b>	<b>27,813</b>	<b>2,584</b>	

Notes:

- Development Permit DP 18-818748 is associated with rezoning application RZ. 17-778835
- Public open space to be provided in Mid-Block Mews PROP SRW along west property line and Brown Road Plaza PROP SRW along south property line as per legal agreements.
- Construction access SRW to be provided along north property line as per legal agreement.
- 2 Artist Rental affordable work units to be provided, including 1 van sized parking space, 4 secure bicycle storage spaces and separate garbage/recycling room as per legal agreement.
- 11 Affordable Housing units to be provided as per legal agreement.
- 32 Basic universal housing (BUH) units provided and required to comply with Zoning Bylaw 8500 sub-section 4.16.
- Aging in place features provided in all units (level-style door handles and faucets, LED strip task lighting below washroom vanity mirrors, grab bar blocking at toilets, showers and bathtubs)
- Indoor Amenity space to be provided for the shared use of all residents on level 1 and level 3.
- Building required to demonstrate LEED silver equivalent standard.
- District Energy Utility requirements as per legal agreement.
- Development is required to be designed and constructed to meet indoor acoustic and thermal criteria as per legal agreement.
- Signage to be provided via separate sign permit application and required to comply with Sign Regulation bylaw 9700.
- Off-site and SRW works to be provided via separate required Servicing Agreement SA 17-791396 for west mid-block mews, Brown Road plaza and frontage improvements as per legal agreement.

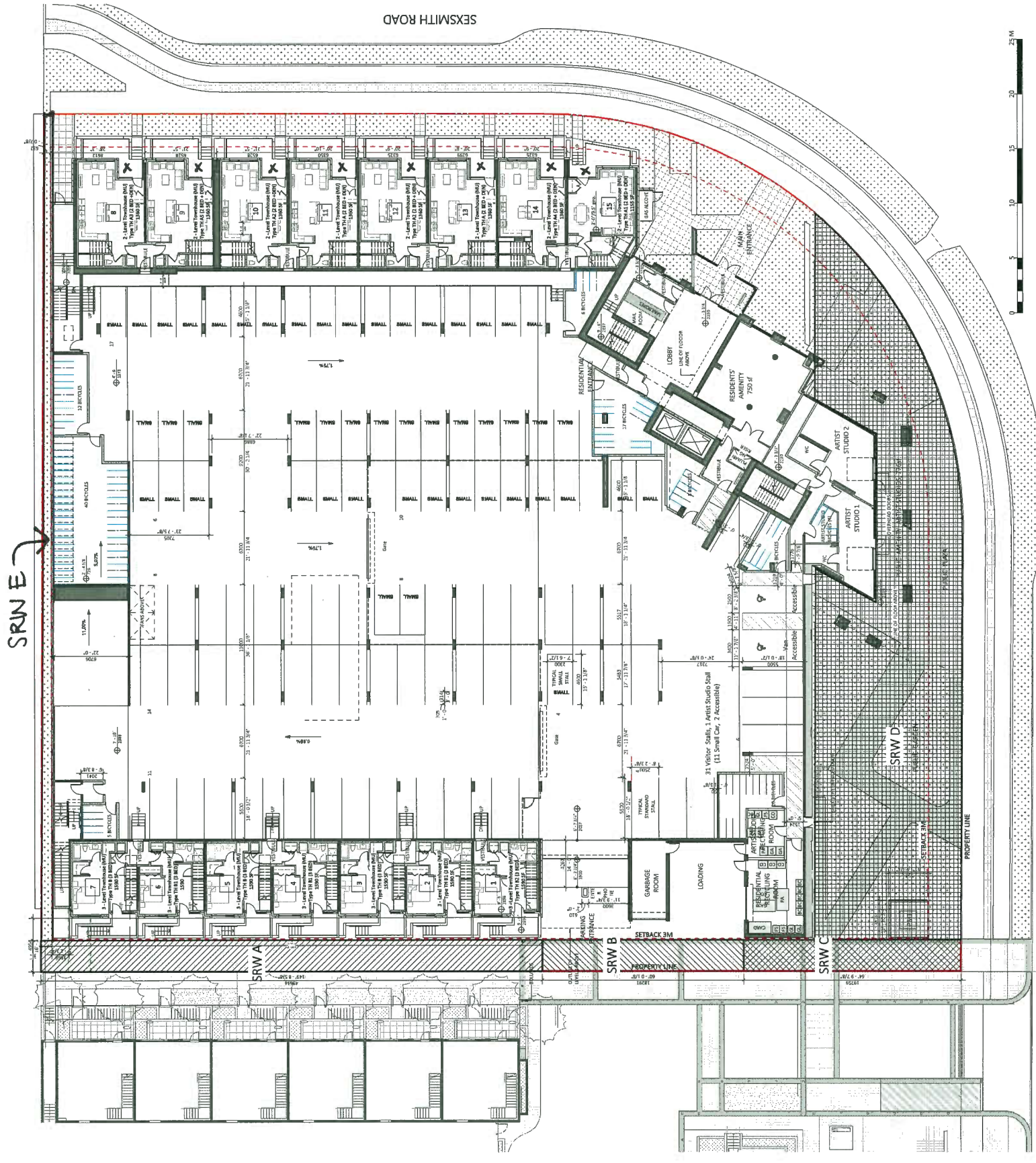
Total Unit Breakdown					
Studio	1 Bed	2 Bed	3 Bed	Total	
528 SF	485-860 SF	645-1360 SF	1160-1608 SF	115	
L1	0	0	7	7	
L2	0	0	2	2	
L3	0	0	9	9	
L4	1	1	13	15	
L5	1	1	2	4	
L6	1	1	13	15	
L7	1	1	13	15	
L8	1	1	13	15	
L9	1	1	10	12	
L10	0	1	3	4	
L11	0	1	4	5	
L12	0	1	4	5	
L13	0	1	4	5	
<b>TOTAL</b>	<b>7</b>	<b>19</b>	<b>110</b>	<b>136</b>	<b>100%</b>
Mix	4%	11%	65%	19%	
Family Unit %			85%		

Affordable Unit Breakdown					
Studio	1 Bed	2 Bed	3 Bed	Total	
528 SF	809 SF	1185 SF	1185 SF	3	
L1	1	1	1	3	
L2	1	1	1	3	
L3	1	1	1	3	
L4	1	1	1	3	
L5	1	1	1	3	
L6	1	1	1	3	
L7	1	1	1	3	
L8	1	1	1	3	
L9	1	1	1	3	
L10	1	1	1	3	
L11	1	1	1	3	
L12	1	1	1	3	
L13	1	1	1	3	
<b>TOTAL</b>	<b>2</b>	<b>4</b>	<b>3</b>	<b>9</b>	<b>100%</b>
Mix	18%	36%	27%	18%	
Family Unit %		45%			

Universal Unit Breakdown					
Studio	1 Bed	2 Bed	3 Bed	Total	
625 SF	860 SF	910 SF	1185 SF	0	
L1	1	8	1	10	
L2	1	1	1	3	
L3	1	1	1	3	
L4	1	1	1	3	
L5	1	1	1	3	
L6	1	1	1	3	
L7	1	1	1	3	
L8	1	1	1	3	
L9	1	1	1	3	
L10	1	1	1	3	
L11	1	1	1	3	
L12	1	1	1	3	
L13	1	1	1	3	
<b>TOTAL</b>	<b>7</b>	<b>13</b>	<b>7</b>	<b>27</b>	<b>100%</b>
Mix	22%	41%	22%	16%	
Family Unit %		58%			



X OUTDOOR SPACE

BROWN ROAD

- SRW Area:
- SRW A: 132.13 SM
  - SRW B: 53.0 SM
  - SRW C: 57.2 SM
  - SRW D: 88.8 SM

1 Floor Plan - Level 1 - SRW  
 1/8" = 1'-0"

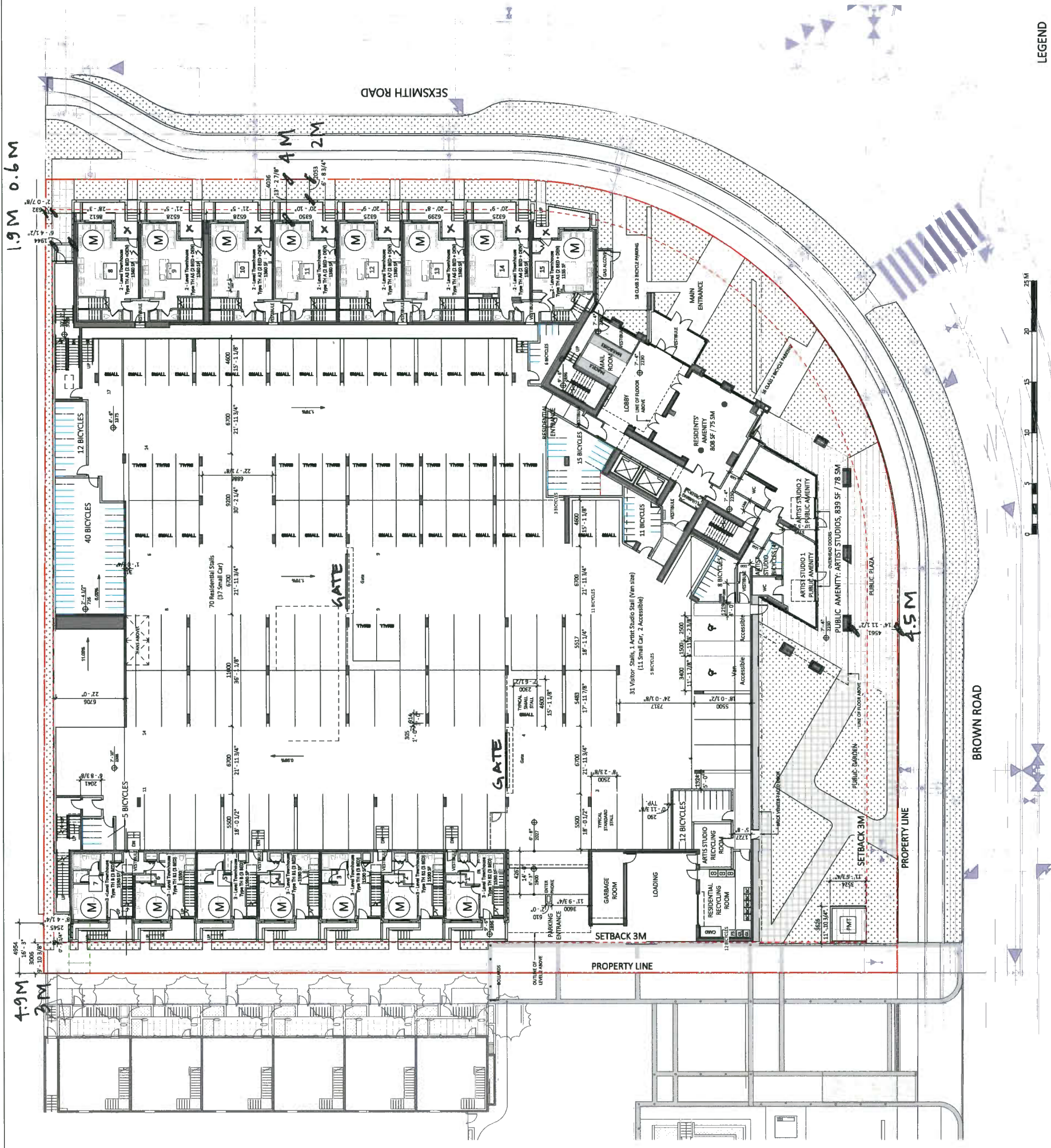
Project Name		Forella	
Project Address		3531 to 3633 Forella Blvd., Broomfield, CO	
Client		Poligen	
Sheet No.		Level 1 - Floor Plan	
Drawn By		Cody	
Checked By		Cody	
Date		11/15/17	
Project No.		21723	
Drawing No.		A-010	

1.9M 0.6M

4.9M

SEXSMITH ROAD

BROWN ROAD



- LEGEND
- (M) Market Units
  - (A) Basic Universal Housing Units Affordable
  - (U) Basic Universal Housing Units
  - X OUTDOOR SPACE

NO.	DATE	DESCRIPTION
1	5/21/19	ISSUED FOR PERMIT
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100	5/21/19	ISSUED FOR PERMIT

Forella  
 3021 W. 3021 Research Blvd.  
 Richmond, VA

Client: Poligen

Sheet Title:  
 Level 2 -  
 Floor Plan

Scale: 1/8" = 1'-0"

Drawn By: [Symbol]  
 Checked By: [Symbol]  
 Date: 05/20/19  
 Project No.: 21723

Sheet No.:  
 A-011



- LEGEND
- (M) Market Units
  - (A) Basic Universal Housing Units Affordable
  - (U) Basic Universal Housing Units
  - X OUTDOOR SPACE



1 | Floor Plan - Level 2  
 1/8" = 1'-0"



COURTYARD  
 REFER TO LANDSCAPE SHEETS  
 L1.04 AND L1.05 FOR OUTDOOR  
 AMENITY AREA OVERLAYS

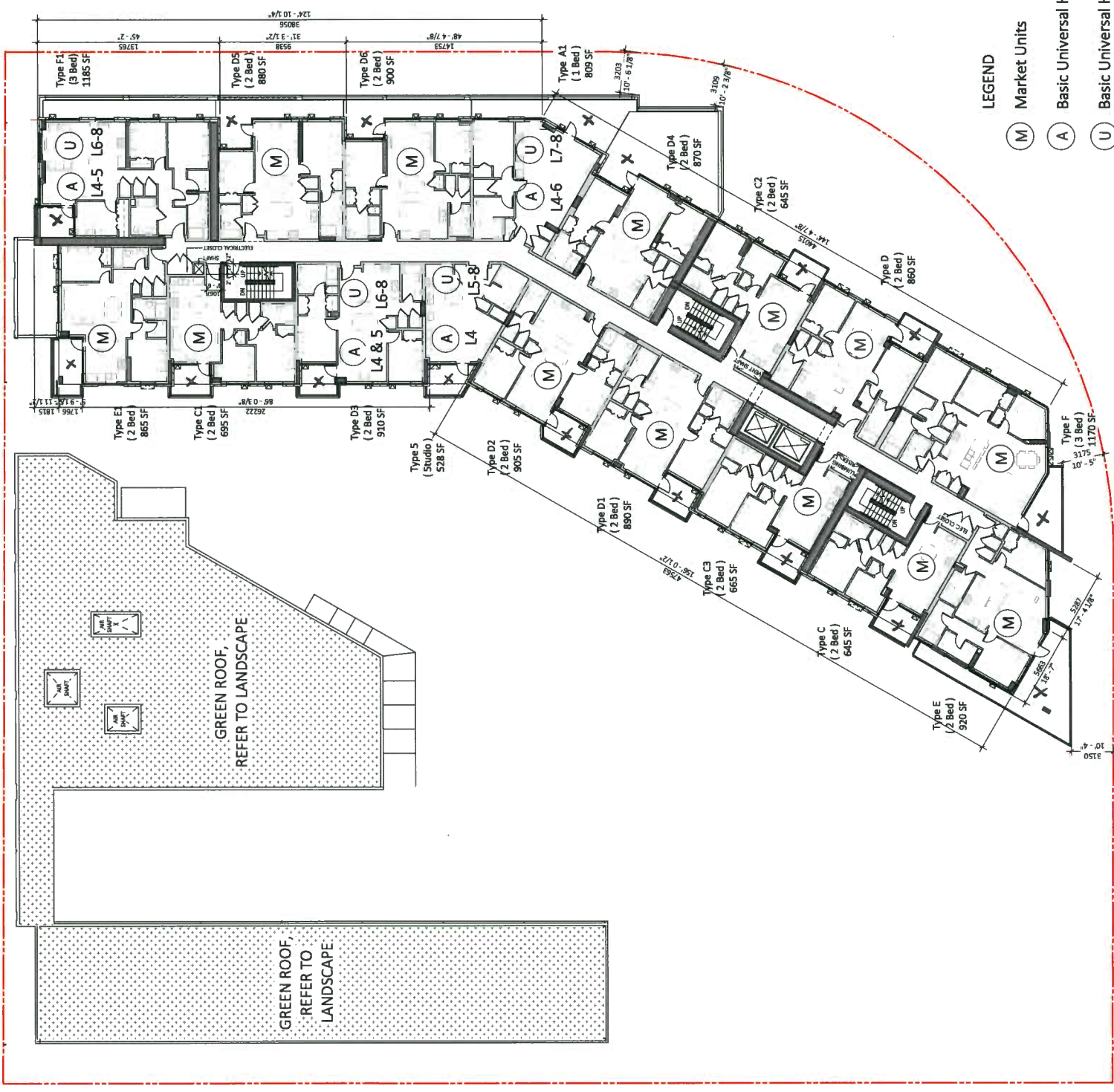
- LEGEND**
- (M) Market Units
  - (A) Basic Universal Housing Units Affordable
  - (U) Basic Universal Housing Units
  - X OUTDOOR SPACE



1 | Floor Plan - Level 3  
 3/32" = 1'-0"

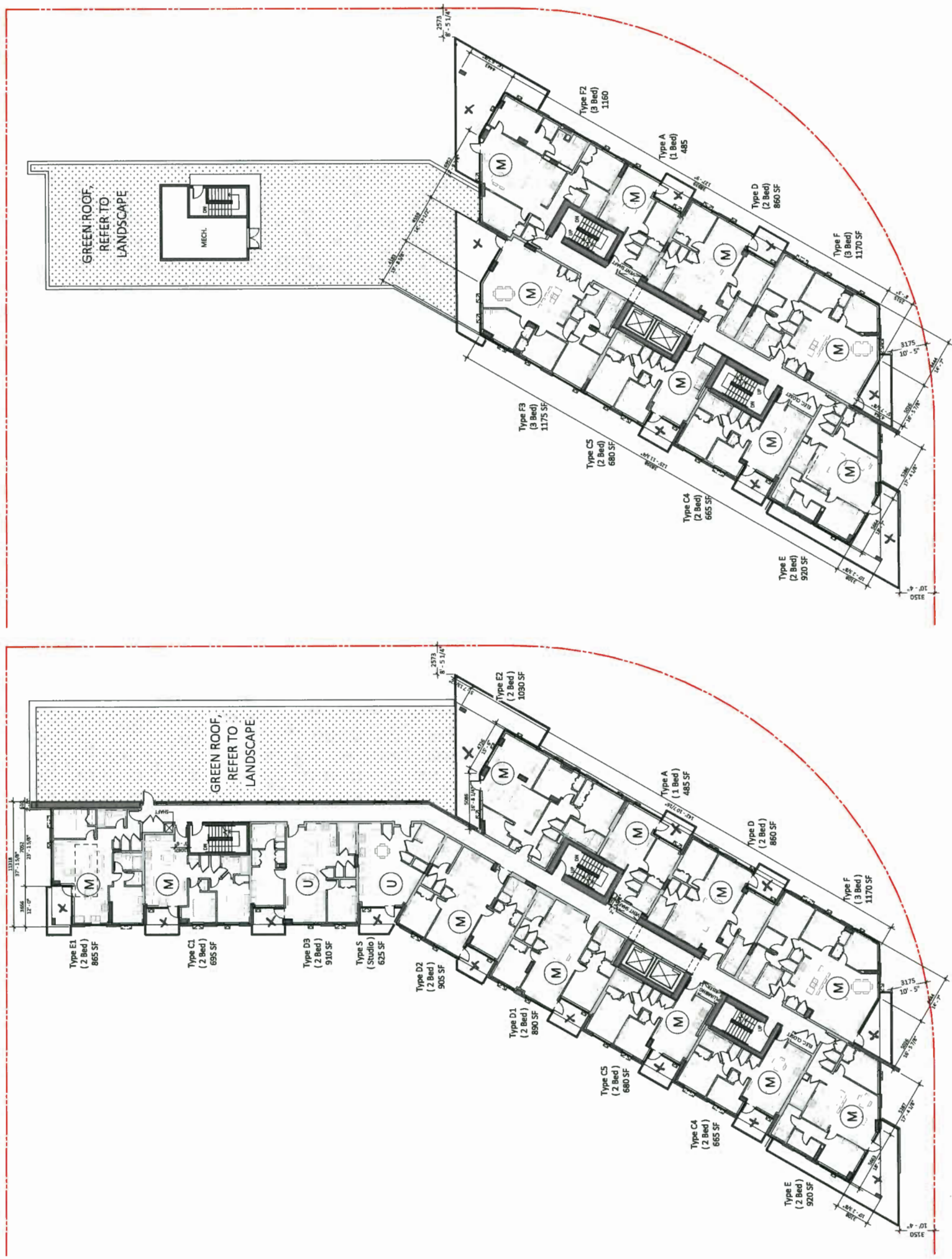
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Legend:  
 (M) Market Units  
 (A) Basic Universal Housing Units Affordable  
 (U) Basic Universal Housing Units  
 X OUTDOOR SPACE



1 | Floor Plan - Levels 4-8  
 3/32" = 1'-0"

Project Name	Florville
Client	2021 to 2023 Development, Raleigh, NC
Architect	FRANCL ARCHITECTURE
Scale	1/8" = 1'-0"
Sheet No.	A-014
Project No.	21723



LEGEND

- (M) Market Units
- (A) Basic Universal Housing Units Affordable
- (U) Basic Universal Housing Units
- (X) OUTDOOR SPACE

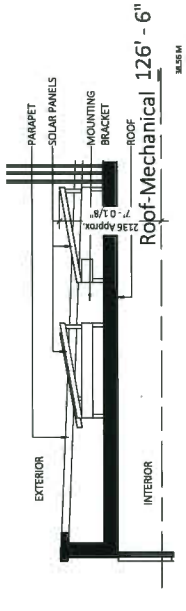
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2 | Floor Plan - Levels 10-13  
 3/32" = 1'-0"

1 | Floor Plan - Level 9  
 3/32" = 1'-0"



SOLAR PANEL PRECEDENTS



Plan 8  
May 21, 2019  
DP 18-818748

NO.	DATE	DESCRIPTION
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Project Title:  
Florella  
2021 to 2023, Charlotte, NC  
Architect: NC

Client: Polypipe

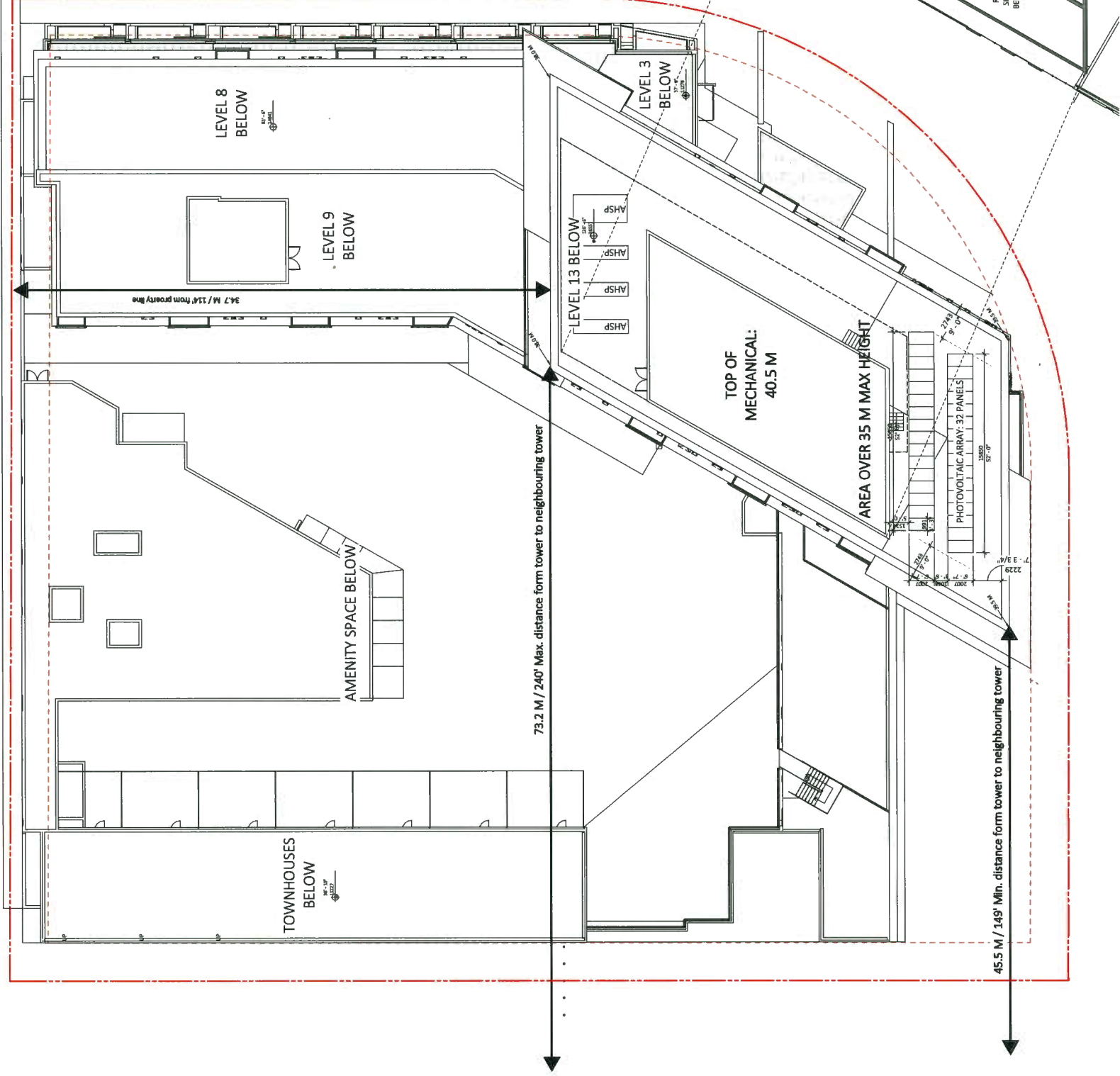
Sheet Title:  
Roof Plan

Drawn By: Ocular  
Checked By:  
Date: 05/21/19  
Project No.: 21723  
Drawing No.: A-015



2 | Floor Plan - Mechanical  
3/32" = 1'-0"

1 | Floor Plan - Roof Plan  
3/32" = 1'-0"





NO.	DATE	DESCRIPTION
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3851 to 3853 Bayview Ave.,  
 Richmond, BC

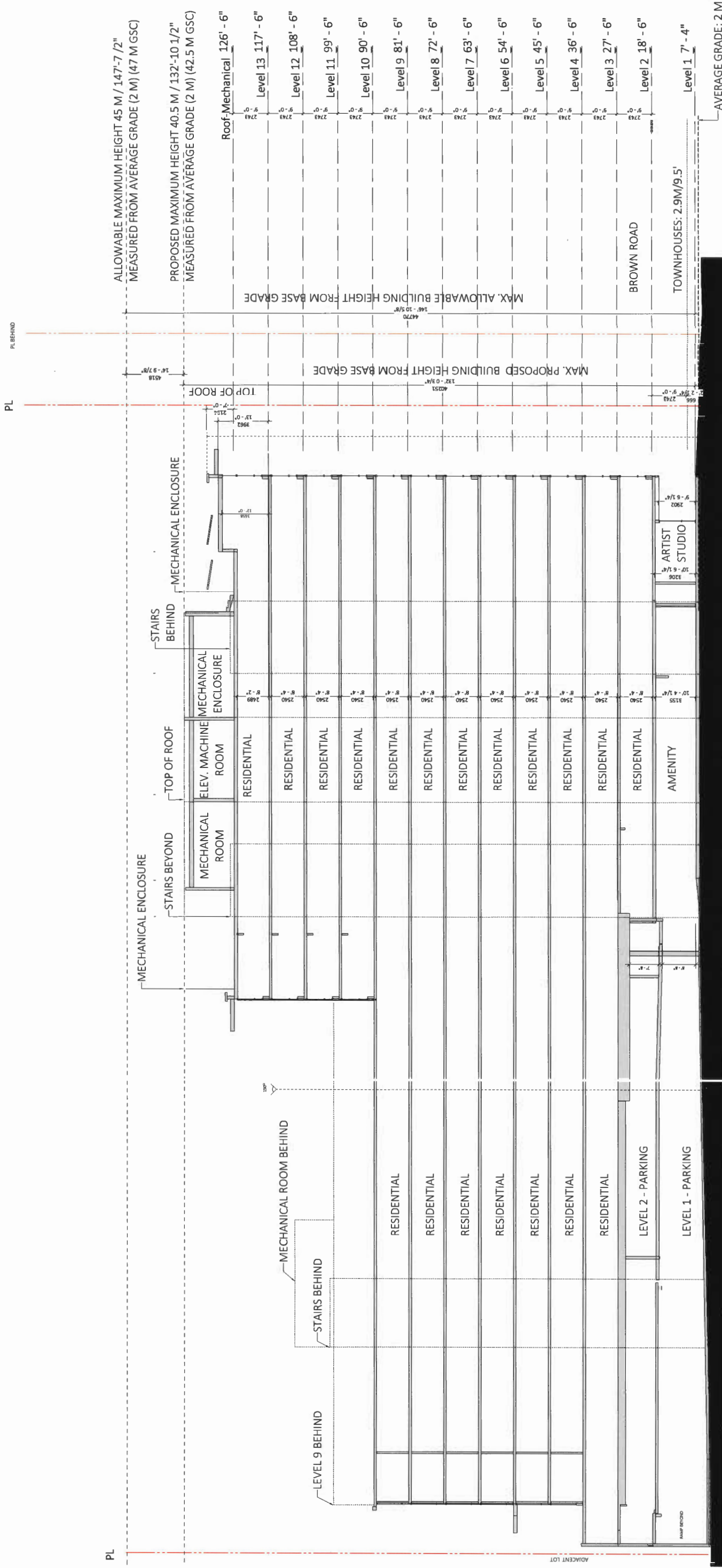
Client: Midway  
 Date: 05/20/19

Scale: 1/8" = 1'-0"

Project No: 21723



Sheet No: A-018  
 Section: 21723



ALLOWABLE MAXIMUM HEIGHT 45 M / 147'-7 1/2"  
 MEASURED FROM AVERAGE GRADE (2 M) (47 M GSC)

PROPOSED MAXIMUM HEIGHT 40.5 M / 132'-10 1/2"  
 MEASURED FROM AVERAGE GRADE (2 M) (42.5 M GSC)

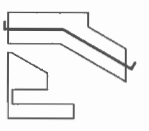
MAX. ALLOWABLE BUILDING HEIGHT FROM BASE GRADE

MAX. PROPOSED BUILDING HEIGHT FROM BASE GRADE

AVERAGE GRADE: 2 M

TOWNHOUSES: 2.9M/9.5'

BROWN ROAD



1 North-South Section  
 1/8" = 1'-0"

PL

PL BEHIND

ADJACENT LOT

1	DATE: 18/05/2019	BY: J. FRANCL
2	DATE: 18/05/2019	BY: J. FRANCL
3	DATE: 18/05/2019	BY: J. FRANCL
4	DATE: 18/05/2019	BY: J. FRANCL
5	DATE: 18/05/2019	BY: J. FRANCL
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14	DATE: 18/05/2019	BY: J. FRANCL
15	DATE: 18/05/2019	BY: J. FRANCL

Project Title: Florella  
 3555 to 3575, Ansonville Road,  
 Richmond, BC

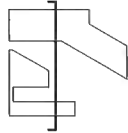
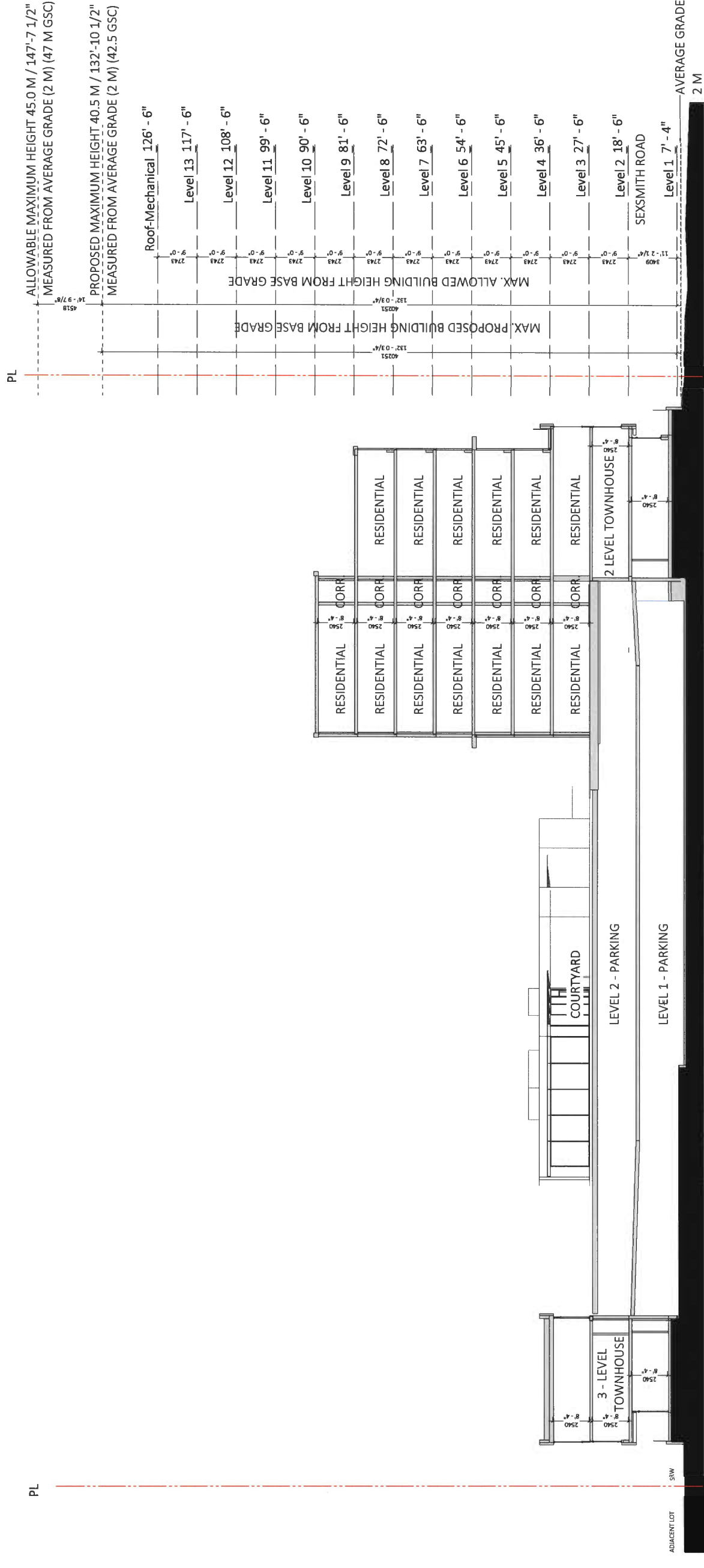
Client: Indegen  
 Date: 11/02/18

Scale: 1/8" = 1'-0"

Sections

Drawn by: J. Francl  
 Checked by: C. Clarke  
 Date: 11/02/18

Sheet No: 21723  
 Project No: A-018A



1 | East-West Section  
 1/8" = 1'-0"

1	DATE: 18/05/2019	BY: J. FRANCL
2	DATE: 18/05/2019	BY: J. FRANCL
3	DATE: 18/05/2019	BY: J. FRANCL
4	DATE: 18/05/2019	BY: J. FRANCL
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15	DATE: 18/05/2019	BY: J. FRANCL

Project Title: Florella  
 3555 to 3575, Ansonville Road,  
 Richmond, BC

Client: Indegen  
 Date: 11/02/18

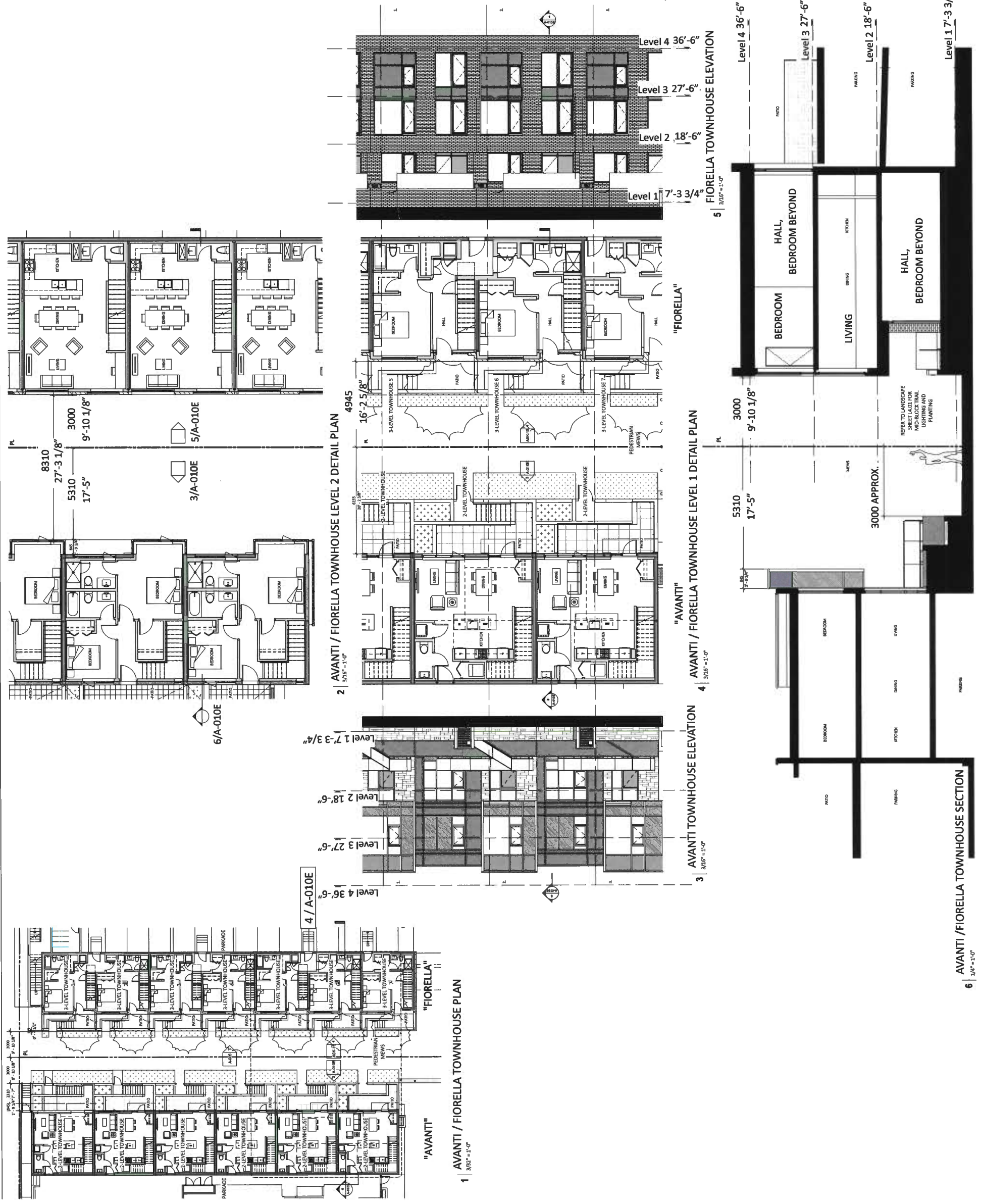
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Sections

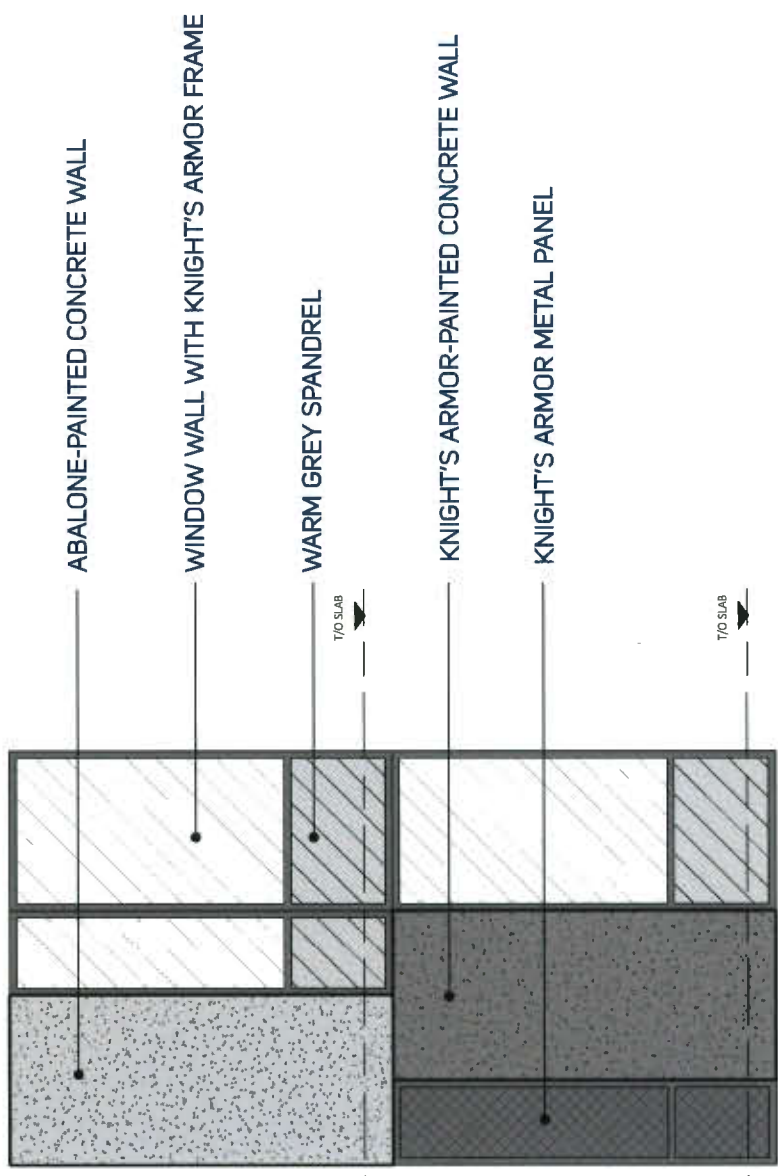
Drawn by: J. Francl  
 Checked by: C. Clarke  
 Date: 11/02/18

Sheet No: 21723  
 Project No: A-018A

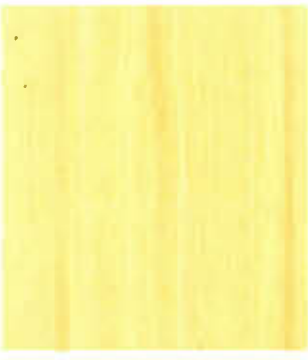
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Project Name: <b>Forella</b> 1551 to 1621 Seventh Street, Richmond, BC	
Client: <b>Polystan</b>	Design by: <b>Chady</b>
Date: <b>04/2019</b>	Scale: <b>1:100</b>
Project No: <b>180217/1201</b>	Drawing No: <b>21723</b>
Drawing Title: <b>Materials</b>	Drawing No: <b>A-019</b>



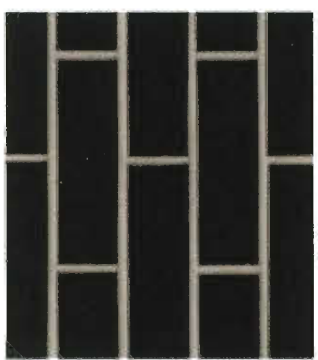
PAINTED CONCRETE, METAL PANEL  
 CLADDING AND WINDOW FRAME  
 PPG 1001-6 KNIGHT'S ARMOR



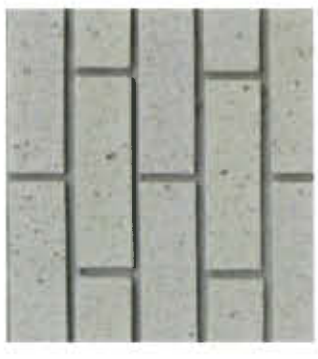
TIMBER ACCENT  
 CLEAR LACQUER BAMBOO



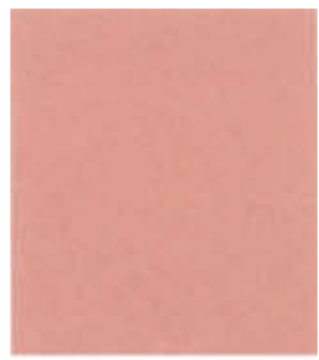
SPANDREL  
 WARM GREY



BRICK  
 BLACK WIRE CUT



BRICK  
 PEWTER



ACCENT COLOUR 2  
 BENJAMIN MOORE -  
 BOUQUET ROSE 2172-50



ACCENT COLOUR 1  
 BENJAMIN MOORE -  
 PINK INNOCENCE 2082-60



ACCENT COLOUR 3  
 BENJAMIN MOORE -  
 CHEROKEE BRICK 2082-30



ACCENT COLOUR 4  
 BENJAMIN MOORE -  
 750 SEABROOK



ACCENT COLOUR 5  
 BENJAMIN MOORE -  
 753 SANTA CLARA



ACCENT COLOUR 6  
 BENJAMIN MOORE -  
 756 VARSITY BLUES

ACCENT COLOURS

The colour is applied to recessed balcony walls adjacent to abalone concrete panels. The colours alternate through the three accent colours. The accent colours emphasize the playful pattern established on the facade with the abalone and grey painted architectural concrete panels.



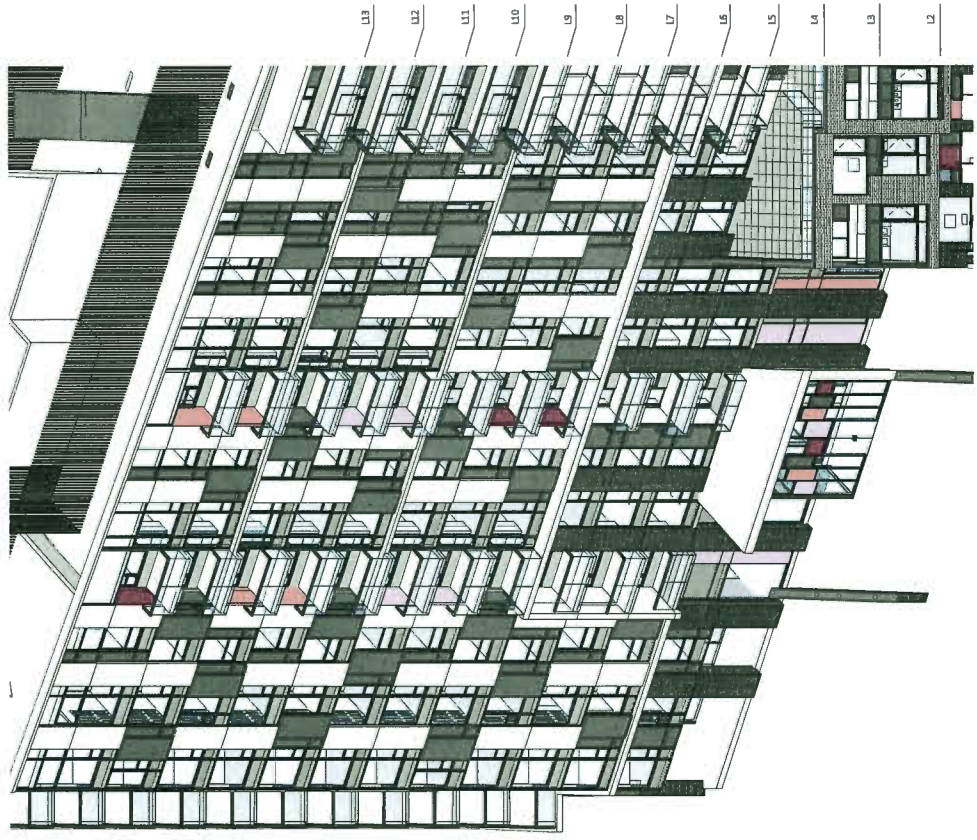
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BENJAMIN MOORE -  
PINK INNOCENCE 2082-60



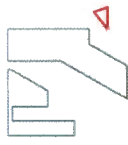
ACCENT COLOUR 2  
BENJAMIN MOORE -  
BOUQUET ROSE 2172-50



ACCENT COLOUR 3  
BENJAMIN MOORE -  
CHEROKEE BRICK 2082-30

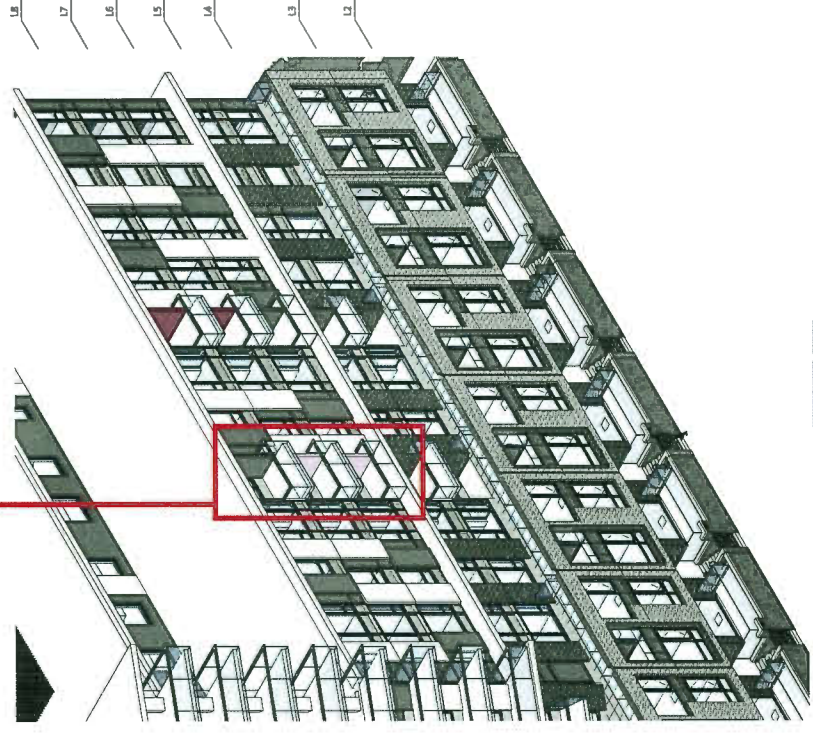


EAST ELEVATION 1



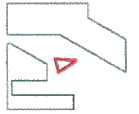
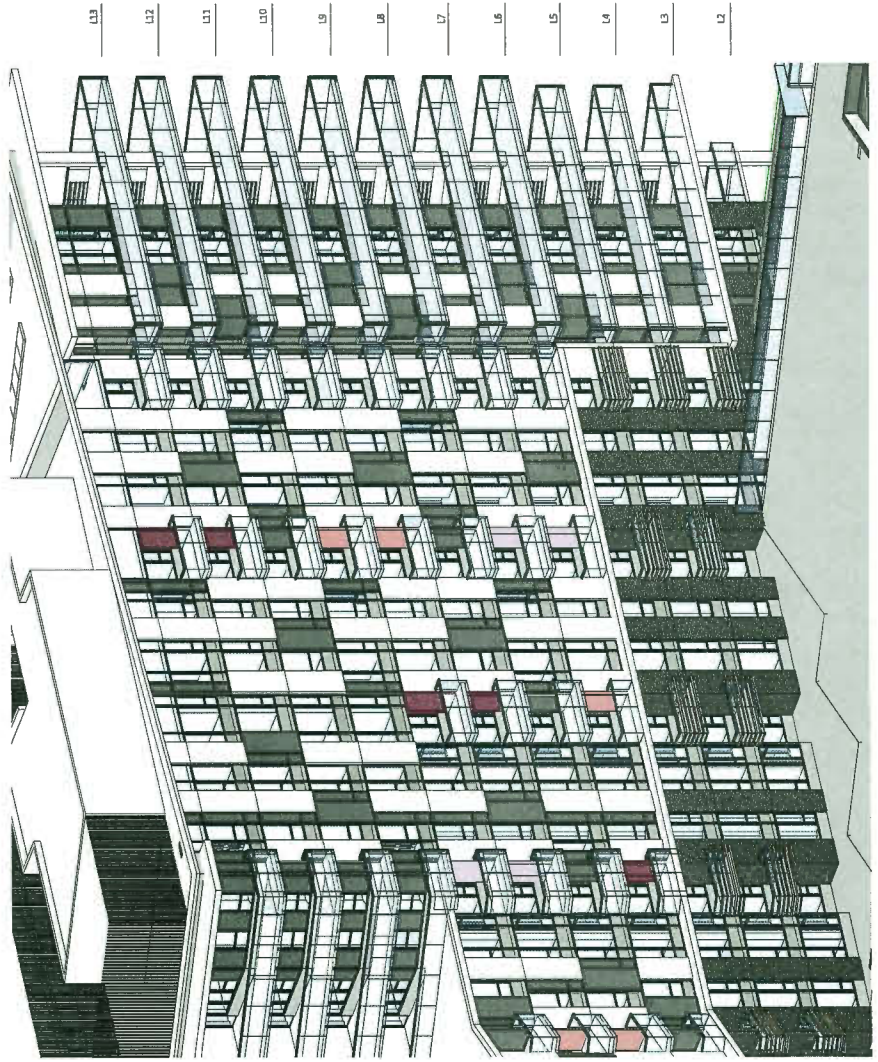
TYPICAL DETAIL

- ABALONE PAINTED CAST-IN-LACE CONCRETE PANEL
- CONCRETE WALL PAINTED WITH ACCENT COLOUR
- INSET BALCONY
- BLACK CHARCOAL (WINDOW WALL, METAL PANEL AND CONCRETE PANEL)

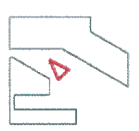
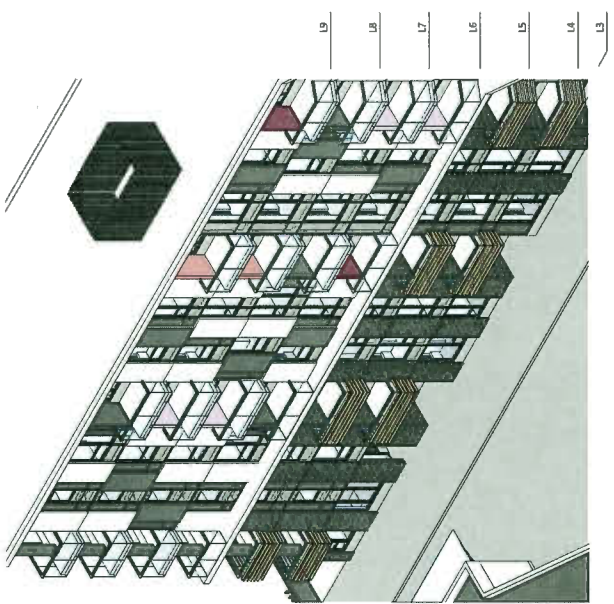


EAST ELEVATION 2





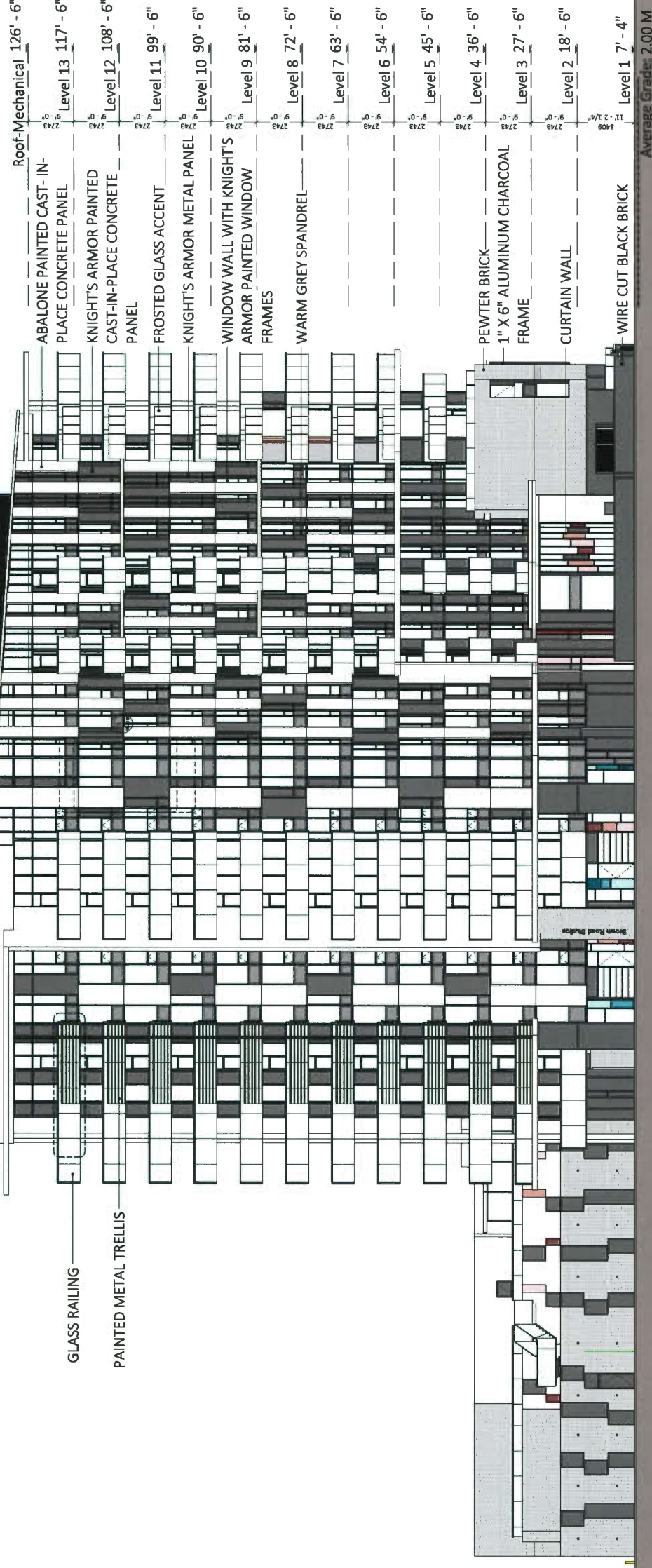
WEST ELEVATION 2



WEST ELEVATION 1

Allowable Max. Height: 147'-7 1/2"/45 M  
Measured From Avg. Grade (2 M) (47 M GSC)

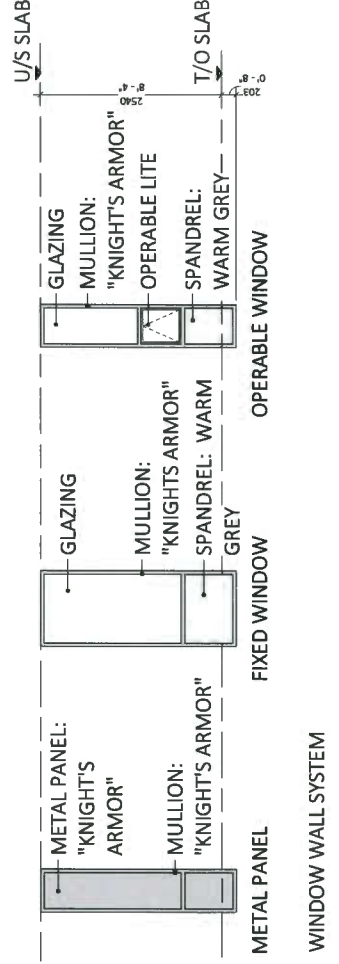
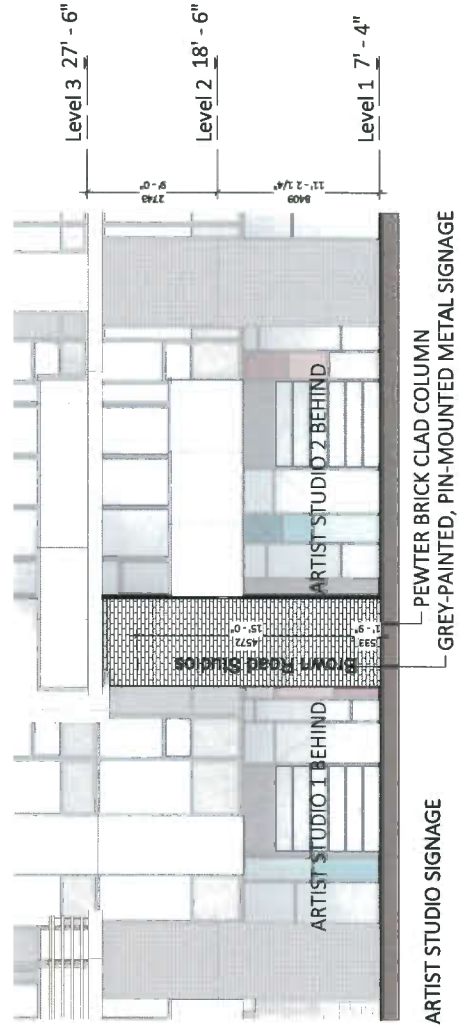
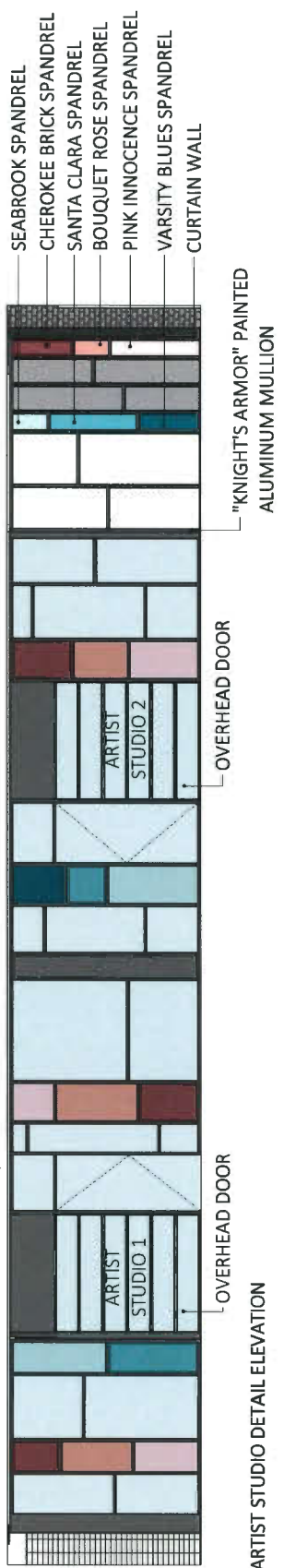
Proposed Max. Height: 132'-10 1/2"/40.5 M  
Measured From Avg. Grade (2 M) (42.5 M GSC)



Plan 15 May 21, 2019  
DP 18-818748

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1 | South Elevation (Brown Road)  
1/8" = 1'-0"



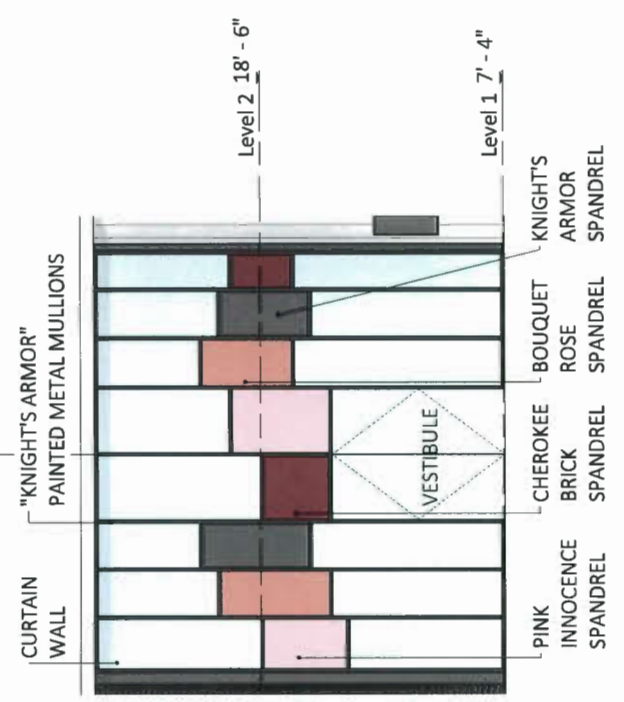
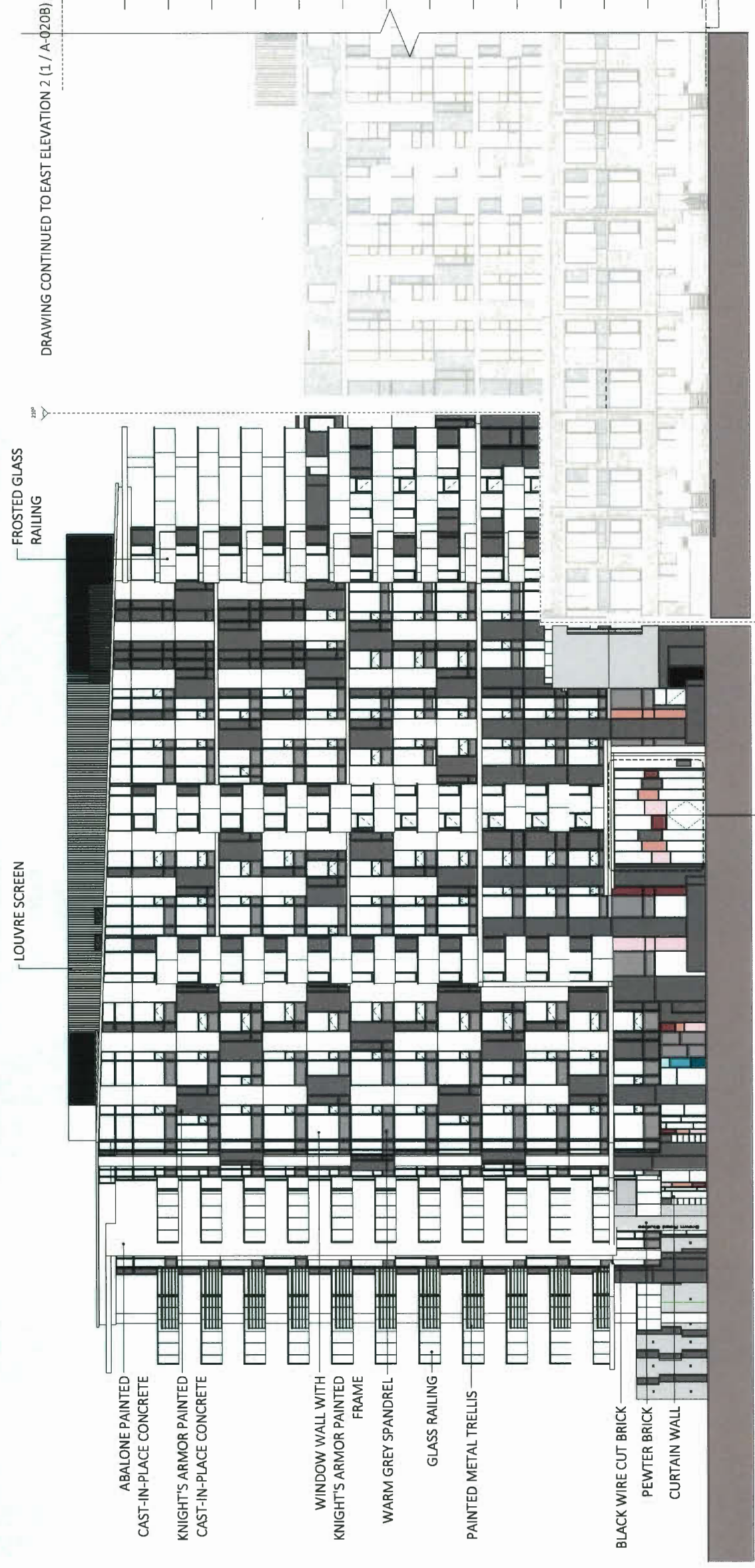
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100	05/21/19	ISSUED FOR PERMIT

Allowable Max. Height: 147'-7 1/2" / 45 M  
 Measured From Avg. Grade (2 M)

Proposed Max. Height: 132'-10 1/2" / 40.5 M  
 Measured From Avg. Grade (2 M)

Roof-Mechanical	126' - 6"
Level 13	117' - 6"
Level 12	108' - 6"
Level 11	99' - 6"
Level 10	90' - 6"
Level 9	81' - 6"
Level 8	72' - 6"
Level 7	63' - 6"
Level 6	54' - 6"
Level 5	45' - 6"
Level 4	36' - 6"
Level 3	27' - 6"
Level 2	18' - 6"
Level 1	7' - 4"

Average Grade: 2.00 M



1 | East Elevation 1 (Sixsmith Road)  
 1/8" = 1'-0"

ENTRY DETAIL ELEVATION

DRAWING CONTINUED TO EAST ELEVATION 2 (1 / A-020B)

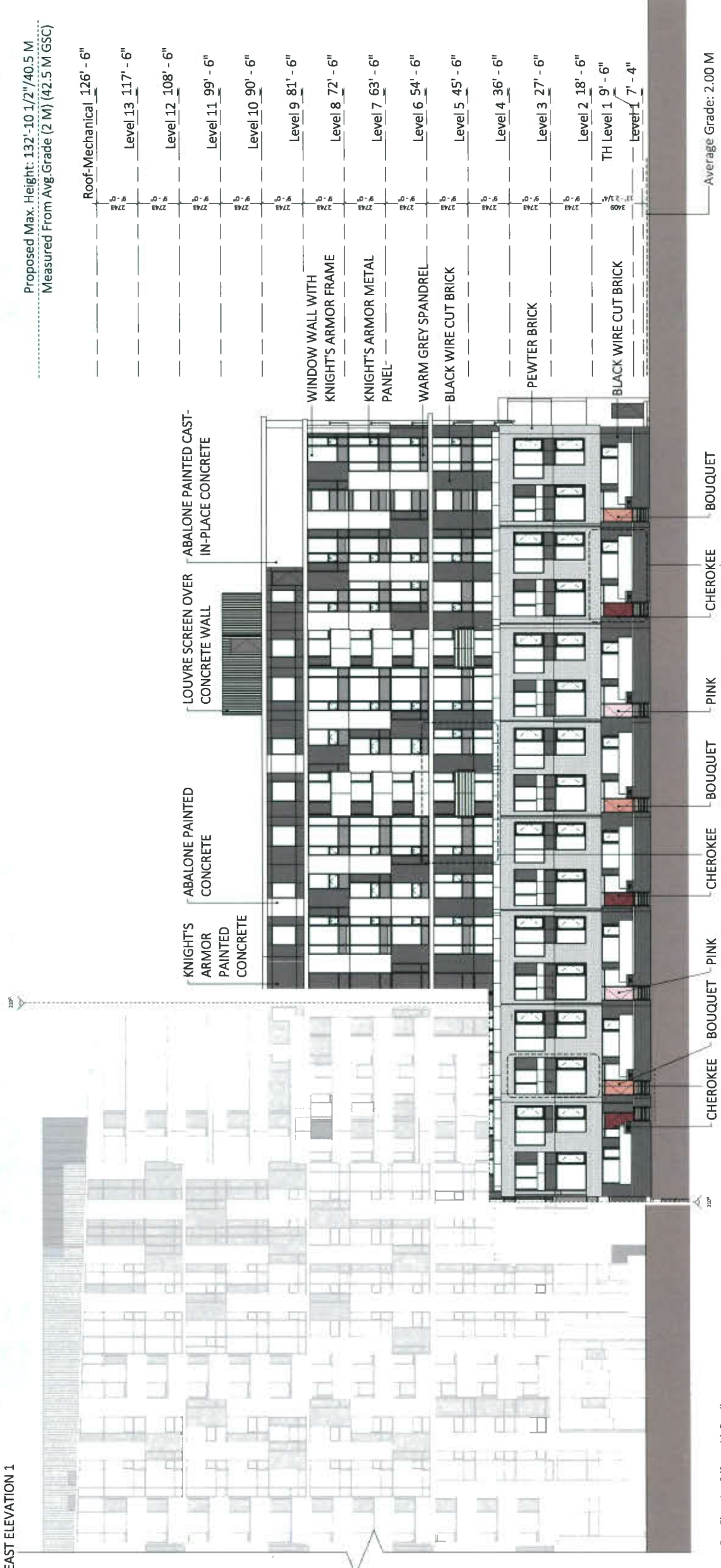


Project Name: <b>Fireella</b>	Client: <b>Religio</b>
Address: <b>3521 to 3523 Swainsford Road, Richmond, BC</b>	Architect: <b>FRANCL ARCHITECTURE</b>
Project No: <b>A-020B</b>	Sheet No: <b>East Elevation 2</b>
Date: <b>11/03/19</b>	Scale: <b>1/8" = 1'-0"</b>
Drawn By: <b>Julian</b>	Reviewed By: <b>Chadler</b>
Project No: <b>21729</b>	Sheet No: <b>A-020B</b>

DRAWING CONTINUED TO  
 1/A-020A EAST ELEVATION 1

Allowable Max. Height: 147'-7 1/2"/45 M  
 Measured From Avg. Grade (2 M) (47 M GSC)

Proposed Max. Height: 132'-10 1/2"/40.5 M  
 Measured From Avg. Grade (2 M) (42.5 M GSC)



1 | East Elevation 2 (Swainsford Road)  
 1/8" = 1'-0"

Roof-Mechanical	126' - 6"
Level 13	117' - 6"
Level 12	108' - 6"
Level 11	99' - 6"
Level 10	90' - 6"
Level 9	81' - 6"
Level 8	72' - 6"
Level 7	63' - 6"
Level 6	54' - 6"
Level 5	45' - 6"
Level 4	36' - 6"
Level 3	27' - 6"
Level 2	18' - 6"
TH Level 1	9' - 6"
Level 1	7' - 4"
Average Grade	2.00 M

KNIGHT'S ARMOR PAINTED CONCRETE  
 ABALONE PAINTED CONCRETE  
 LOUVRE SCREEN OVER CONCRETE WALL  
 ABALONE PAINTED CAST-IN-PLACE CONCRETE

WINDOW WALL WITH KNIGHT'S ARMOR FRAME

KNIGHT'S ARMOR METAL PANEL

WARM GREY SPANDREL

BLACK WIRE CUT BRICK

PEWTER BRICK

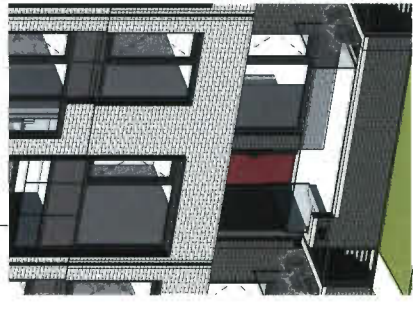
BLACK WIRE CUT BRICK

CHEROKEE BRICK  
 BOUQUET ROSE

PINK INNOCENCE  
 BOUQUET ROSE

CHEROKEE BRICK  
 INNOCENCE PINK

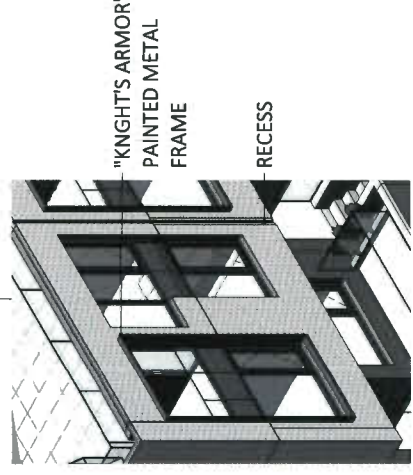
CHEROKEE BRICK  
 BOUQUET ROSE  
 PAINTED DOOR



TOWNHOUSE ENTRY DETAIL



BRICK BALCONY RECESS DETAIL



TOWNHOUSE SHADOW BOX DETAIL

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	05/21/19
2	ISSUED FOR PERMITS	05/21/19
3	ISSUED FOR PERMITS	05/21/19
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100	ISSUED FOR PERMITS	05/21/19

Project Name: **Forella**  
3031 W 30th Avenue, Suite 100  
Denver, CO 80202

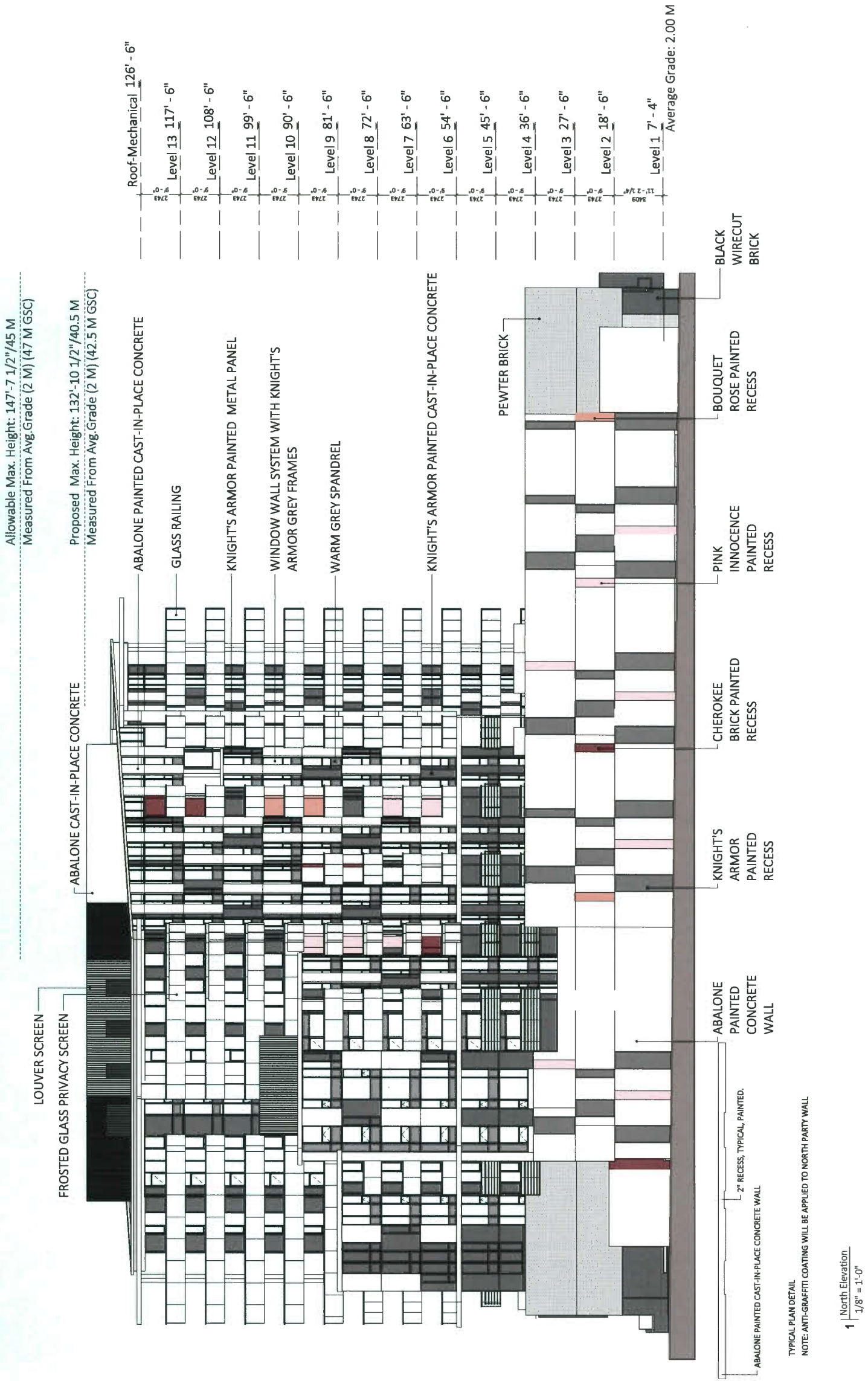
Client: **Allegan**  
Design: **Forella**

Sheet Title: **North Elevation**

Scale: **1/8" = 1'-0"**  
Drawing No.: **A-021**  
Project No.: **21723**



Drawn By: **Forella**  
Checked By: **Forella**  
Date: **05/21/19**  
Project No.: **21723**



Allowable Max. Height: 147'-7 1/2"/45 M  
Measured From Avg. Grade (2 M) (47 M GSC)

Proposed Max. Height: 132'-10 1/2"/40.5 M  
Measured From Avg. Grade (2 M) (42.5 M GSC)

Average Grade: 2.00 M

TYPICAL PLAN DETAIL  
NOTE: ANTI-GRAFFITI COATING WILL BE APPLIED TO NORTH PARTY WALL

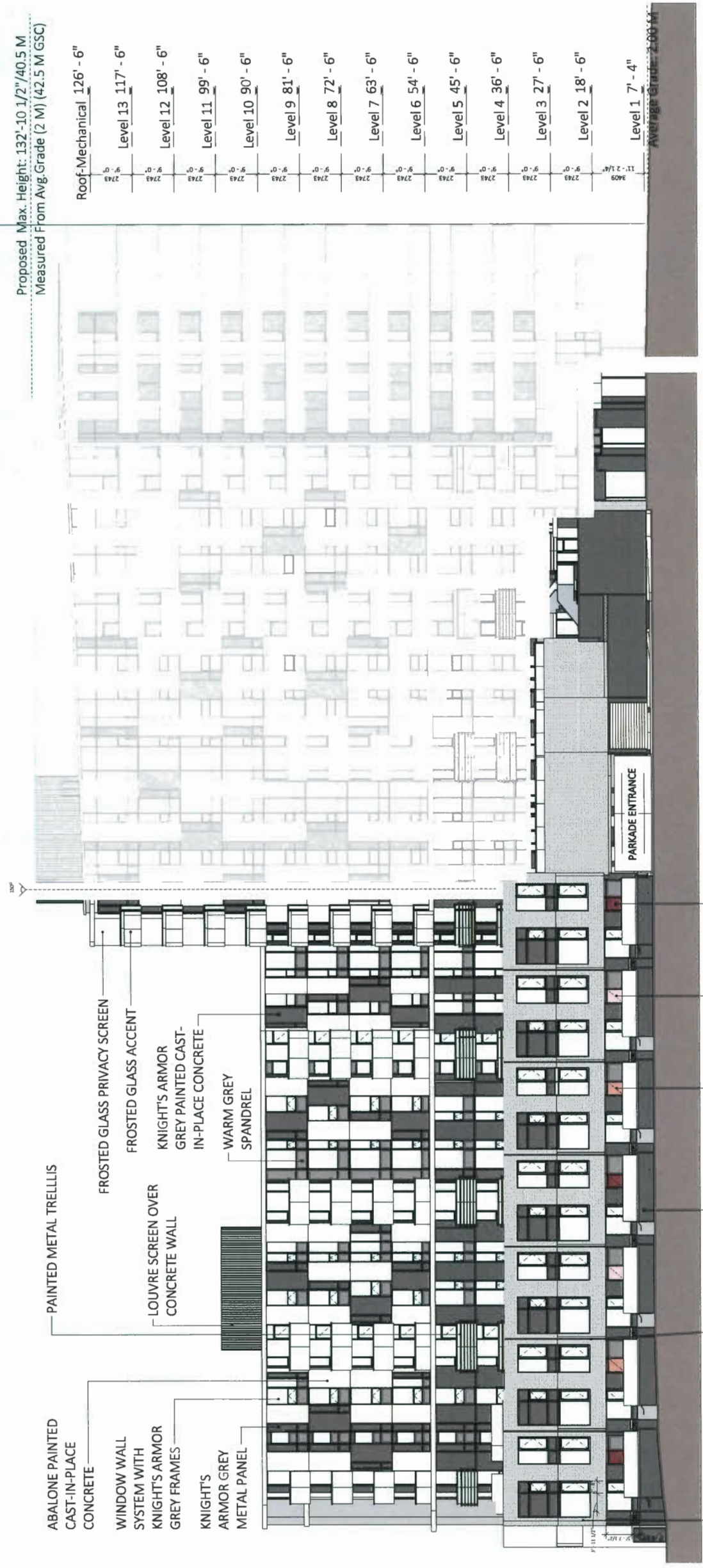
1 | North Elevation  
1/8" = 1'-0"

Roof-Mechanical	126' - 6"
Level 13	117' - 6"
Level 12	108' - 6"
Level 11	99' - 6"
Level 10	90' - 6"
Level 9	81' - 6"
Level 8	72' - 6"
Level 7	63' - 6"
Level 6	54' - 6"
Level 5	45' - 6"
Level 4	36' - 6"
Level 3	27' - 6"
Level 2	18' - 6"
Level 1	7' - 4"

Allowable Max. Height: 147'-7 1/2"/45 M  
Measured From Avg. Grade (2 M) (47 M GSC)

Proposed Max. Height: 132'-10 1/2"/40.5 M  
Measured From Avg. Grade (2 M) (42.5 M GSC)

Roof-Mechanical	126' - 6"
Level 13	117' - 6"
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Level 9	81' - 6"
Level 8	72' - 6"
Level 7	63' - 6"
Level 6	54' - 6"
Level 5	45' - 6"
Level 4	36' - 6"
Level 3	27' - 6"
Level 2	18' - 6"
Level 1	7' - 4"
Average Grade	2.00 M



1 | West Elevation 1 | 1/8" = 1'-0"

Allowable Max. Height: 147'-7 1/2"/45 M  
 Measured From Avg. Grade (2 M) (47 M GSC)

Proposed Max. Height: 132'-10 1/2"/40.5 M  
 Measured From Avg. Grade (2 M) (42.5 M GSC)

Roof-Mechanical 126' - 6"

Level 13 117' - 6"

Level 12 108' - 6"

Level 11 99' - 6"

Level 10 90' - 6"

Level 9 81' - 6"

Level 8 72' - 6"

Level 7 63' - 6"

Level 6 54' - 6"

Level 5 45' - 6"

Level 4 36' - 6"

Level 3 27' - 6"

Level 2 18' - 6"

Level 1 7' - 4"

Average Grade: 2.00 M

ABALONE PAINTED CAST-IN-PLACE CONCRETE

WARM GREY SPANDREL

KNIGHT'S ARMOR GREY METAL PANEL

ABALONE PAINTED CAST-IN-PLACE CONCRETE

LOUVER SCREEN

FROSTED GLASS PRIVACY SCREEN

WINDOW WALL SYSTEM WITH KNIGHT'S ARMOR GREY FRAMES

LOUVRE SCREEN OVER CONCRETE WALL

FROSTED GLASS ACCENT

FROSTED GLASS ACCENT

KNIGHT'S ARMOR GREY PAINTED CAST-IN-PLACE CONCRETE

WARM GREY SPANDREL

WINDOW WALL SYSTEM WITH KNIGHT'S ARMOR GREY FRAMES

ABALONE PAINTED CAST-IN-PLACE CONCRETE

KNIGHT'S ARMOR GREY METAL PANEL

TRANSPARENT GLASS RAILING

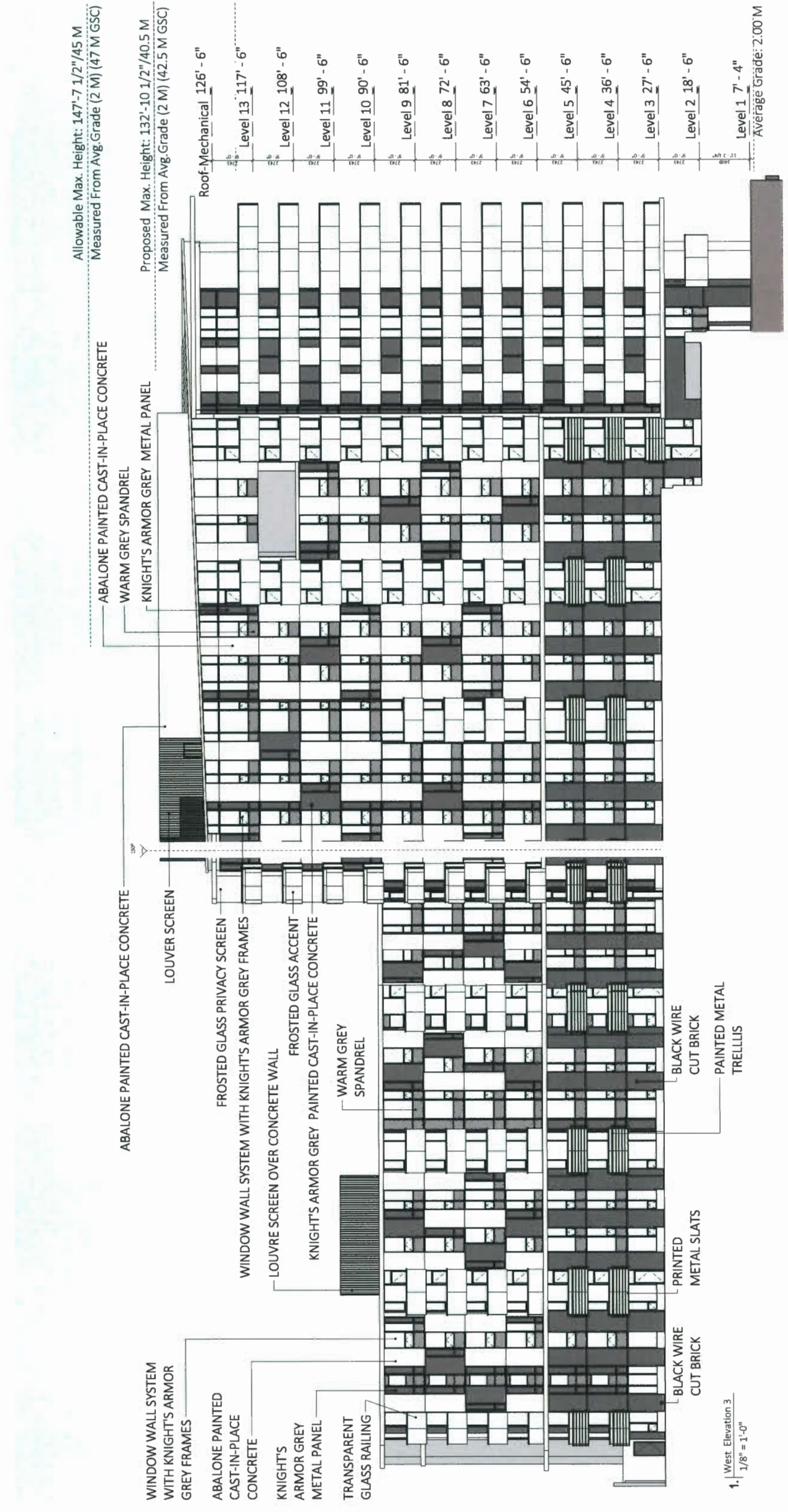
BLACK WIRE CUT BRICK

PRINTED METAL SLATS

BLACK WIRE CUT BRICK

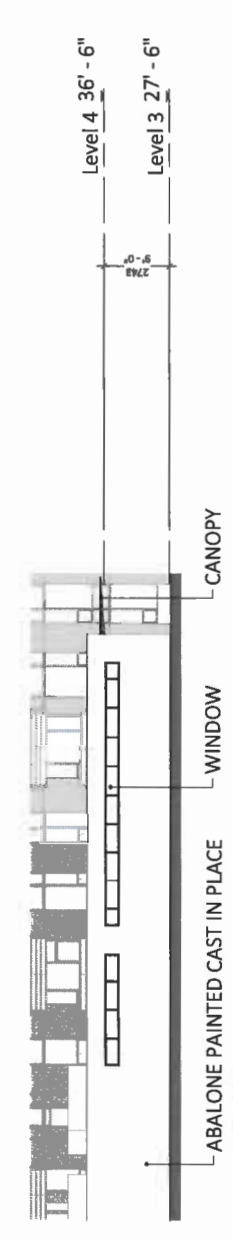
PAINTED METAL TRELLIS

1. West Elevation 3  
 1/8" = 1'-0"

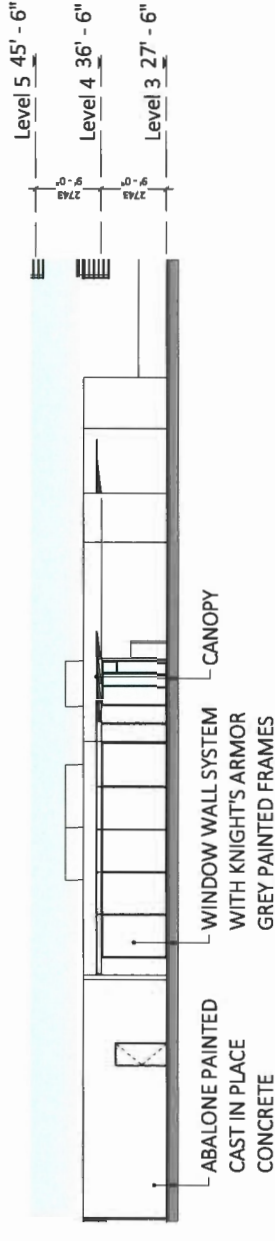




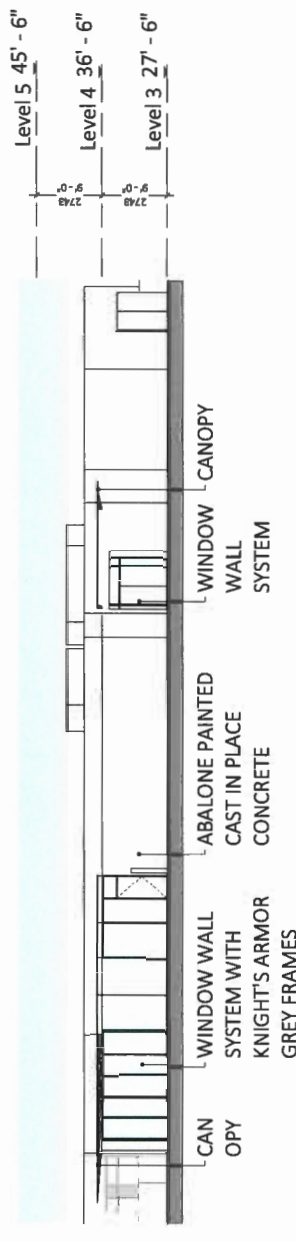
1 | West Townhouse East Elevation (Podium)  
 1/8" = 1'-0"



2 | L3 Amenity West Elevation (Podium)  
 1/8" = 1'-0"

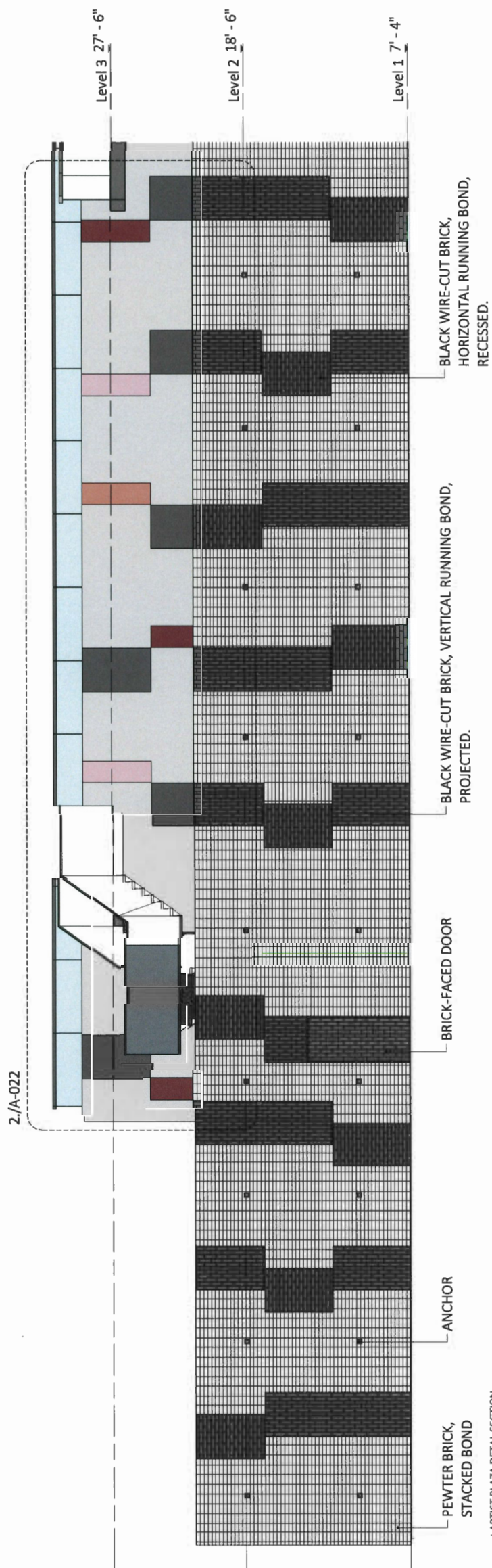


3 | L3 Amenity South Elevation (Podium)  
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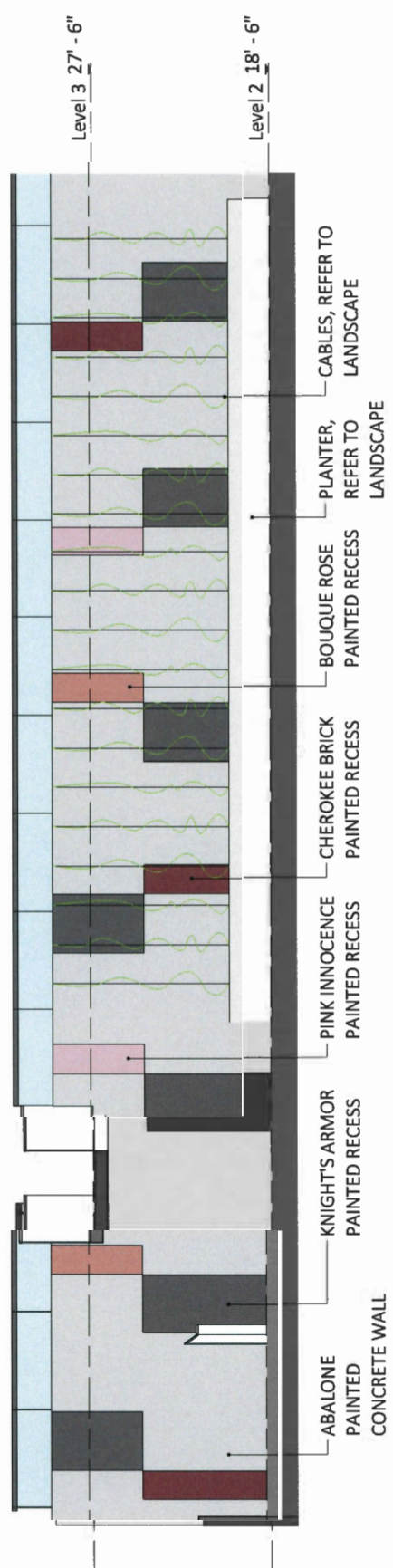


4 | L3 Amenity Southeast Elevation (Podium)  
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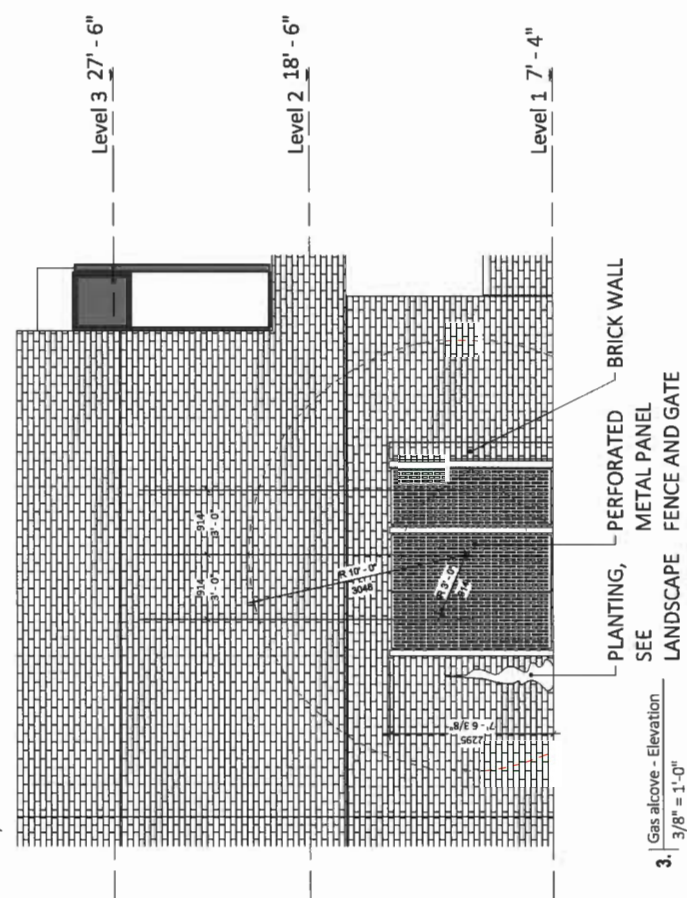
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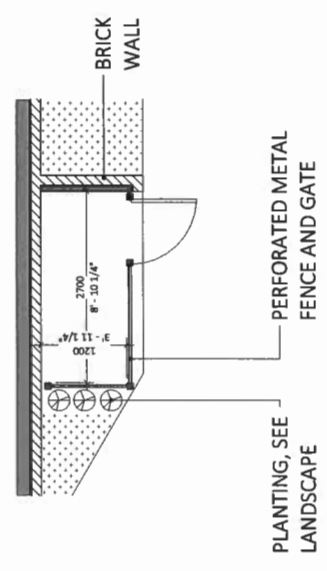
1. | ARTIST PLAZA DETAIL SECTION  
3/8" = 1'-0"



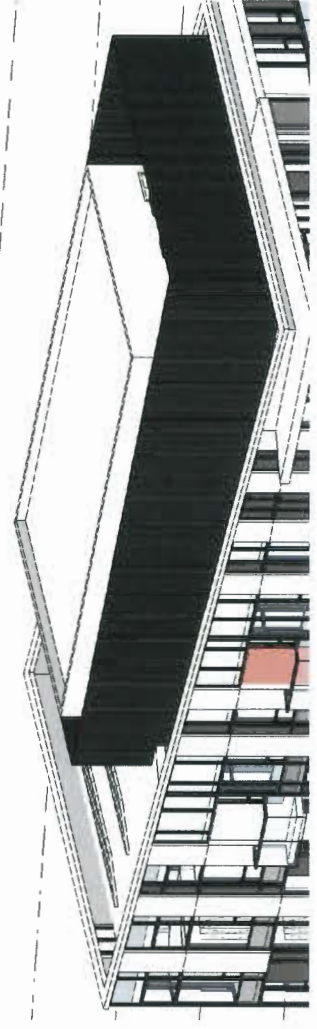
2. | GARDEN DETAIL SECTION  
3/8" = 1'-0"



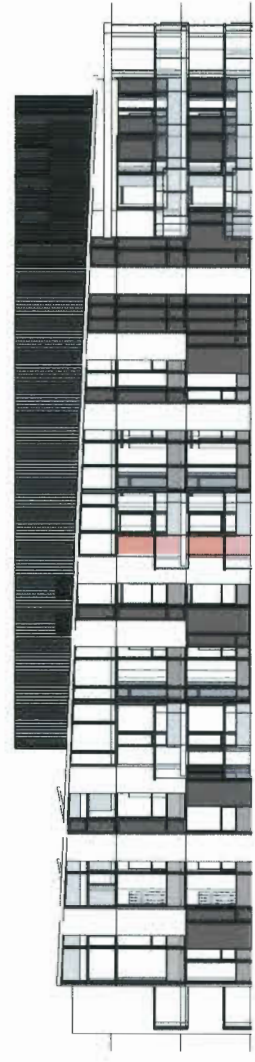
3. | Gas alcove - Elevation  
3/8" = 1'-0"



4. | Gas alcove - Floor Plan  
3/8" = 1'-0"

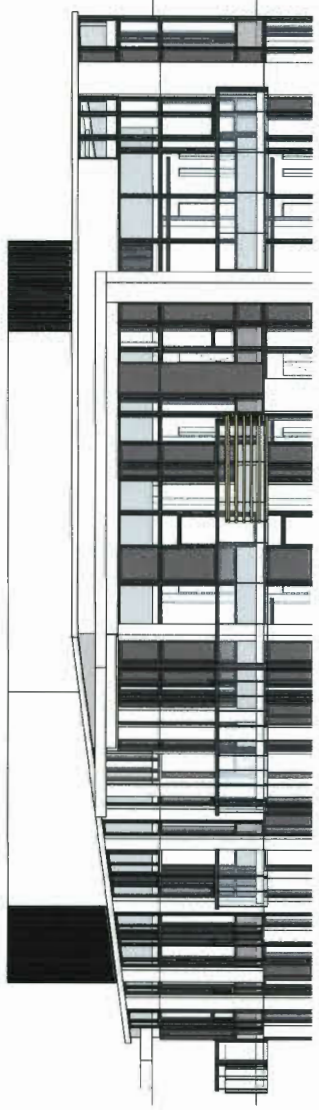


NORTHWEST VIEW



EAST VIEW

TRANSFER THE VERTICAL DESIGN ELEMENTS FROM ALL FACADES INTO THE MECHANICAL ENCLOSURE.



SOUTHWEST VIEW



NORTH VIEW

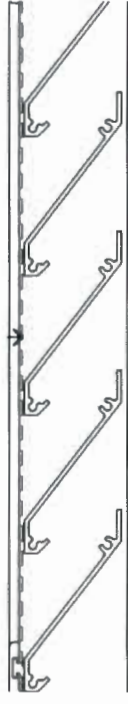


RENDER FROM DP SET SUBMISSION - APRIL 2018

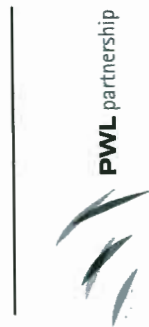
THE BUILDING FORM HAS BEEN BROKEN INTO VARIOUS ELEMENTS THAT ARE STACKED, SLOWLY TERRACING UP AND STEPPING BACK. THE MAIN DESIGN ELEMENTS FOR THE DEVELOPMENT ARE THE VERTICAL CONCRETE PANELS RANDOMLY PLACED OVER THE SURFACE OF THE BUILDING. THE PURPOSE IS TO MAINTAIN THE VERTICAL ELEMENTS FROM THE FACADES AND CARRIED THEM OVER ALL THE WAY INTO THE



PROPOSED LOUVRE PROFILE



CONCEPT IMAGES OF PROPOSED ALUMINUM LOUVRE SCREENS



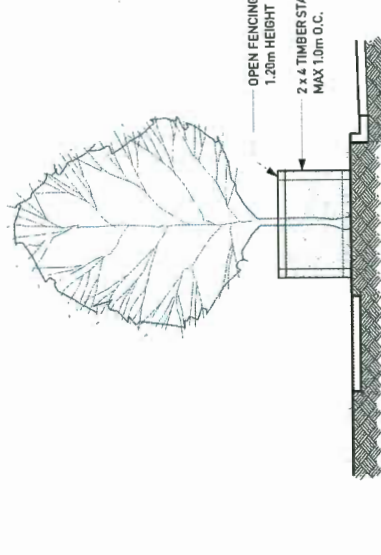
PWL Partnership Landscape Architects Inc.  
 146 Shore Lane, Suite 100  
 Westborough, MA 01581  
 Tel: 508.851.1111  
 Fax: 508.851.1112



REVISIONS AND COVERS  
 NO. DATE DESCRIPTION  
 5 19-5-18 Revised in Response to ACP  
 6 19-4-23 Revised for Final CP Programme

**TREE PROTECTION GENERAL NOTES**

- A. EXCAVATION AROUND TREES**
- EXCAVATION WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
  - DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
  - TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED BY 1.8M (6'-0") HIGH SEMI-PERMANENT CHAIN-LINK FENCING. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- B. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES**
- HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
  - USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
  - RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.
- C. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES**
- TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
  - DO NOT CUT MAIN LATERAL ROOTS.
  - CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
  - ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT (5cm (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.
- D. PROTECTION OF EXPOSED ROOTS**
- DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
    - PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
    - PACK WITH WET PEAT BASS. MAINTAIN MOISTURE.
    - PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
  - TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
  - WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS.

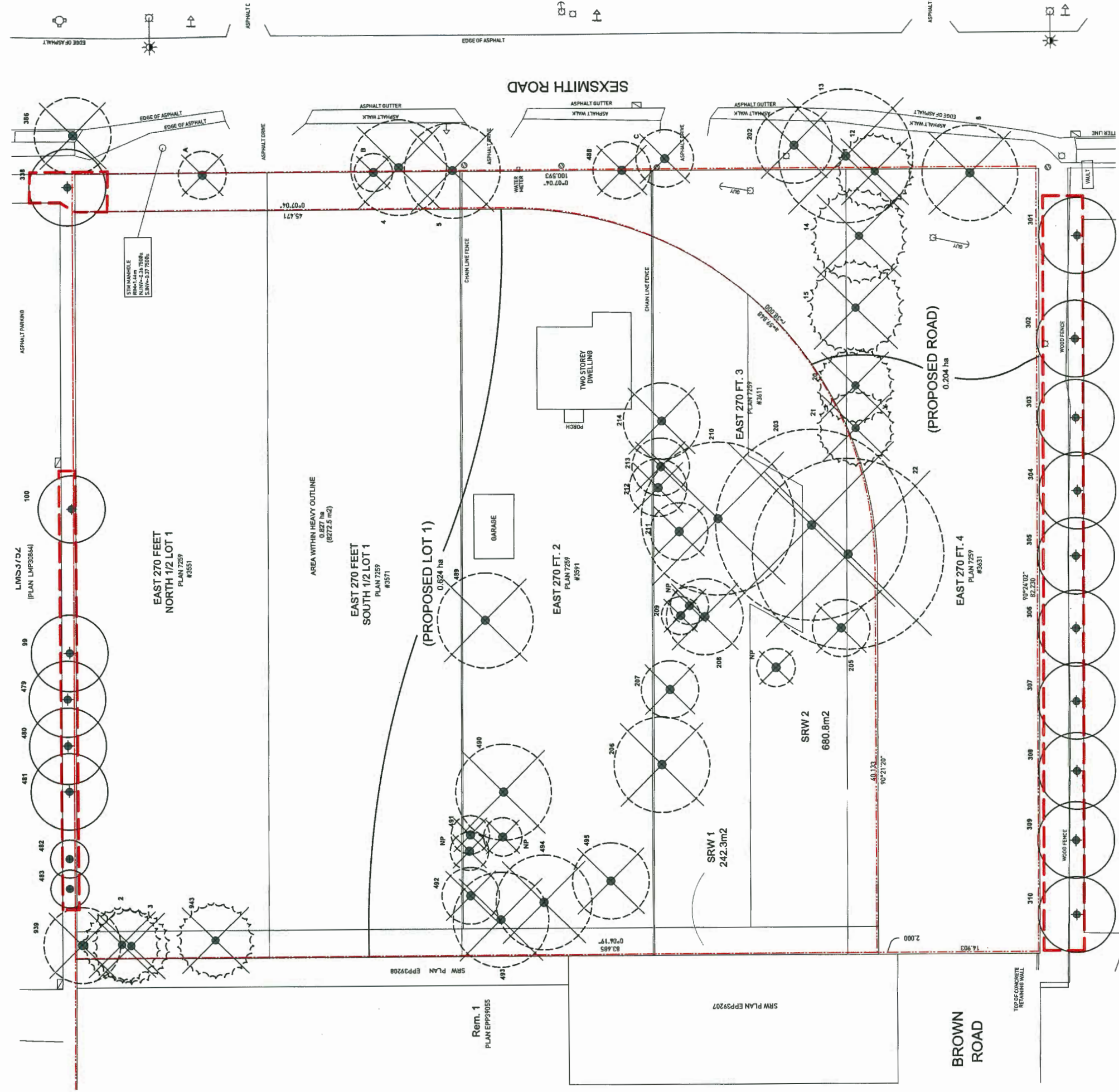


1 TREE PROTECTION BARRIER FENCING DETAIL  
 NTS

**TREE MANAGEMENT LEGEND**

KEY	DESCRIPTION
- - -	TREE PROTECTION BARRIER FENCE
+	DECIDUOUS TREE TO BE RETAINED
⊗	DECIDUOUS TREE TO BE REMOVED
•	CONIFEROUS TREE TO BE RETAINED
⊗	CONIFEROUS TREE TO BE REMOVED
NP	NON PERMIT TREE

**AS PER RZ  
 STAFF  
 REPORT:**  
 ON-SITE PERMIT SIZED TREES REMOVED - 27  
 OFF-SITE SIZED TREES RETAINED - 17  
 OFF-SITE SIZED TREES REMOVED - 12



Plan 24 May 21, 2019  
 DP 18-818748

**TREE MANAGEMENT PLAN**

PROJECT: FIORELLA  
 ADDRESS:  
 DRAWING: L0.02  
 DATE: 19-5-7  
 FILE NAME: 17091 Fiorella Plan.vwk  
 PLOT/D: 17091  
 DRAWN: JO  
 REVISION: BH

SCALE: 1/16"=1'-0"  
 NORTH





PWL Partnership Landscape Architects Inc.  
 100 Floor, East Tower, Suite 1000  
 1001 Bay Street, Toronto, ON M5G 1R7  
 www.pwlpartnership.com  
 T 416-593-8112  
 F 416-593-8113



REVISING AND ISSUES	NO.	DATE	DESCRIPTION
	5	18-3-08	Issued in Response to ADP
	6	18-4-23	Issued for Final DP Response

Plan 25 May 21, 2019  
 DP 18-818748

PROJECT  
**IORELLA**

ADDRESS

DRAWING TITLE  
**LEGENDS AND PRECEDENTS**

PROJECT NO. 17091  
 DATE 19-5-10  
 FILE NAME 17091 Fiorella Plan.vrx  
 PLOTTED  
 DRAWN JO  
 REVISIONS BH  
 DRAWING



**L0.03**

HARDSCAPE LEGEND	
KEY	DESCRIPTION
H1	CIP Concrete Stairs with Handrail
H2	Feature Wall See Architectural Drawings
H3	CIP Concrete Wall
H4	Gate with Brick Plinth
H5	CIP Concrete Planter
H6	Modular Block Wall System

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
F1	Bike Rack
F2	Harvest Table
F3	Metal Trellis
F4	BBQ
F5	Bench w/ armrests
F6	Custom Feature Bench w/ armrests & skateboard deterrents
F7	Play Equipment
F8	Potting Table/Compost/Tool Storage
F9	Garden Planters
F10	Sand Box
F11	Metal Bollard
F12	Light Bollard
F13	Privacy Screen
F14	Vertical Cable Wire System

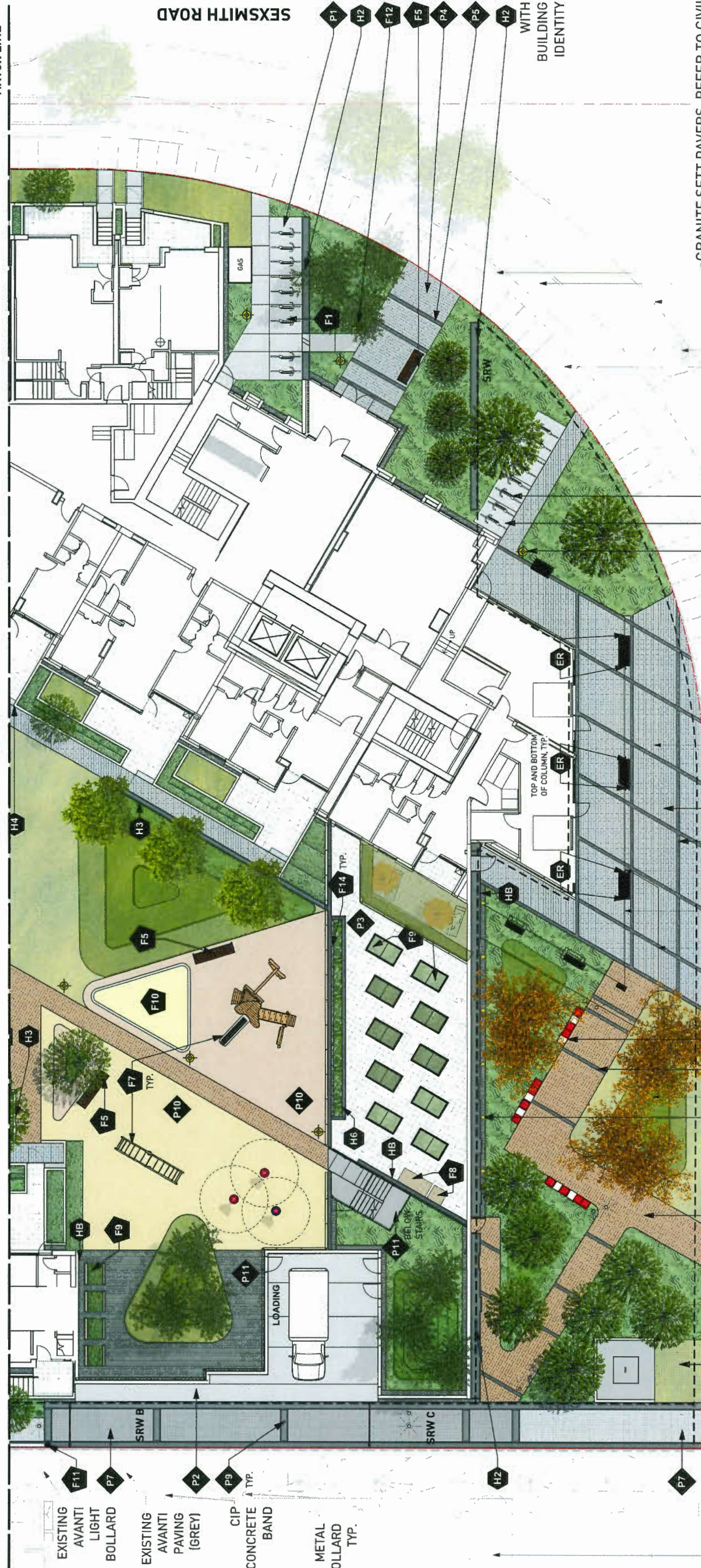
PAVING LEGEND	
KEY	DESCRIPTION
P1	CIP Concrete Paving
P2	CIP Concrete Paving Vehicle Loading
P3	Hydrapressed Pavers
P4	Feature Paving Type 1 Colour: Natural
P5	Feature Paving Type 2 Colour: Charcoal
P6	Feature Paving Type 3 Colour: Moroccan Sunset
P7	Concrete Unit Pavers Colour: Charcoal - Vehicle (Herringbone pattern with solid color course outline)
P8	Concrete Unit Pavers Colour: Natural (Herringbone pattern with solid color course outline)
P9	CIP Concrete Band
P10	Resilient Rubber Surface
P11	River Rock
P12	GrassGrid

GRADING LEGEND	
	Existing Elevation
	Proposed Elevation
	Finished Floor Elevation
	Proposed Top of Wall Elevation
	Proposed Bottom of Wall Elevation
	Proposed Top of Stair Elevation
	Proposed Bottom of Stair Elevation
	Proposed Top of Curb Elevation
	Proposed Bottom of Curb Elevation
	Proposed Top of Ramp Elevation
	Proposed Bottom of Ramp Elevation
	Swale Elevation
	Existing Contour
	Proposed Contour
	Trench Drain
	Perforated Pipe
	Area Drain
	Lawn Basin
	Planter Drain
	Catch Basin
	Road Drain, shown for reference only, see mechanical and architectural drawings

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.



MATCH LINE



SEXSMTTH ROAD

WITH BUILDING IDENTITY

FIORELLA

GRANITE SETT PAVERS, REFER TO CIVIL  
 ASPHALT BIKE PATH, REFER TO CIVIL  
 CONCRETE CURB, REFER TO CIVIL  
 CONCRETE LETDOWN, REFER TO CIVIL  
 CAST IN PLACE CONCRETE SIDEWALK,  
 REFER TO CIVIL

EXISTING AVANTI PAVING (CHARCOAL)

APPROXIMATELY 5' TALL CIP CONCRETE WALL AROUND PMT. NOT IN CONFLICT WITH TREE BRANCHING.

MOUND, TYP.

BROWN ROAD

ARTIST OUTDOOR SPILL OUT SPACE  
 VERTICAL RAIL FOR MOUNTING OF LIGHTING EQUIPMENT FOR PLAZA EVENTS MOUNTED ON EACH COLUMN  
 EXTENT OF BALCONIES ABOVE (+30')

MATERIALS PLAN



PROJECT NO.	17091
DATE	19-5-7
FILE NAME	17091 Fiorella Plans.rvt
PLOTTED	
DRAWN	JD
REVIEWED	BH
DRAWING	

L1.01

Plan 26 May 21, 2019 DP 18-818748

**PWL partnership**

**POLYGON**

**FRANCL ARCHITECTURE**

REGIONS AND ISSUES

NAL DATE DESCRIPTION

S 19-5-08 Issued in Response to ADP

G 19-4-23 Issued for Final DP Response

PROJ. PARTNERSHIP LANDSCAPE ARCHITECTS INC.

100 New Line Avenue, Suite 1000

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NO.	DATE	DESCRIPTION
5	18-3-08	Issued in Response to ADP
6	18-4-23	Issued for Final DP Response

Plan 27 May 21, 2019  
 DP 18-818748

PROJECT  
 FIORELLA

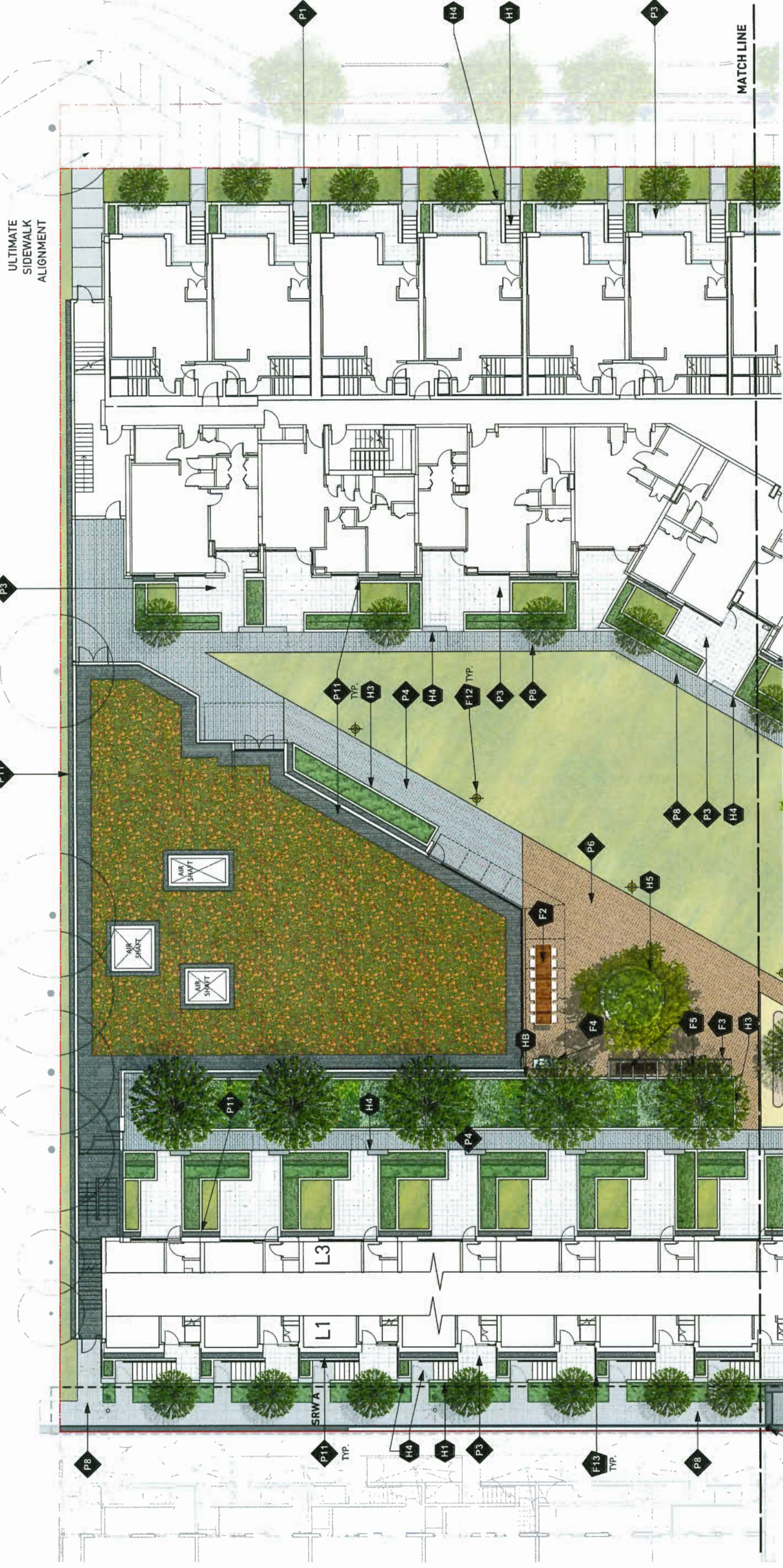
DATE  
 19-5-13

SCALE  
 3/32" = 1'-0"

PROJECT NO.	17081
DATE	19-5-13
FILE NAME	17081 Fiorella Plans.rvt
PLOTTED	
DRAWN	JO
REVIEWED	BH
DRAWING	

L1.02

TEMPORARY  
 SIDEWALK  
 ALIGNMENT  
 (DUE TO ROAD  
 ALIGNMENT,  
 ALIGNMENT,  
 REFER TO CIVIL)



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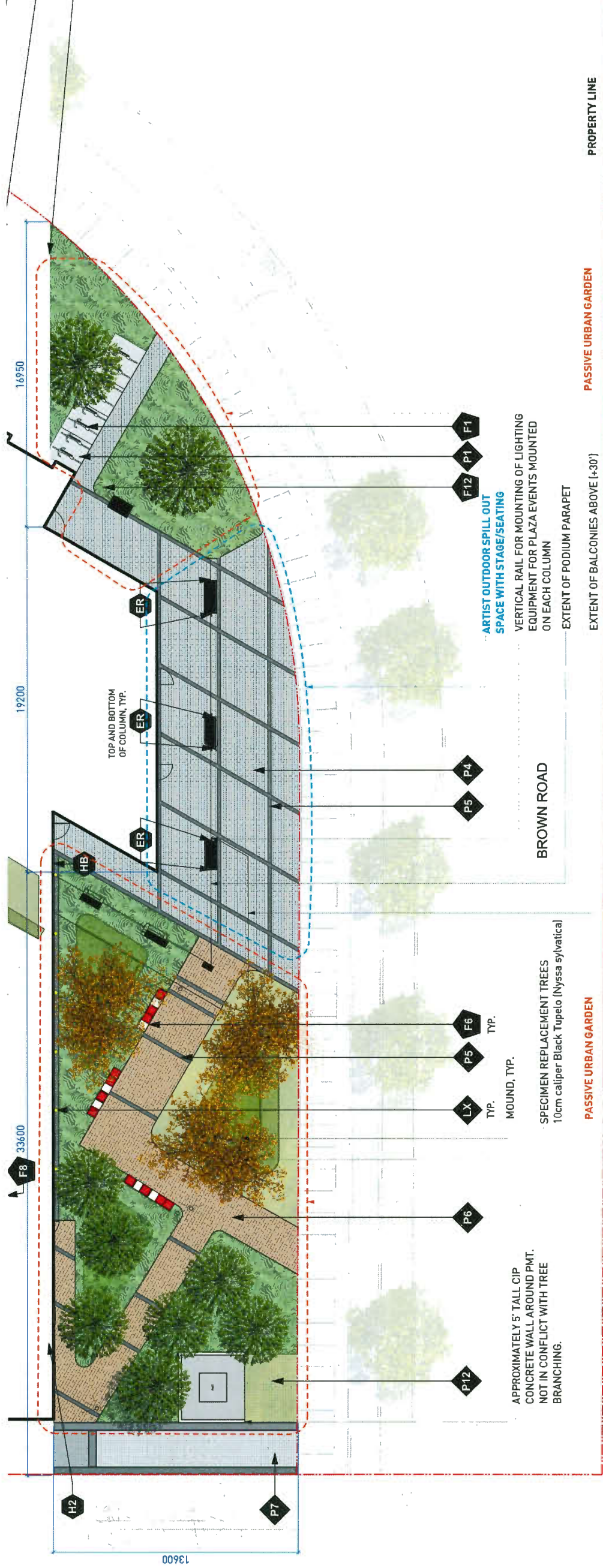


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NO.	DATE	DESCRIPTION
5	19-4-20	Issued for Response to ADP
6	19-4-20	Issued for Final DP Response

Plan 28 May 21, 2019  
 DP 18-818748



PROJECT  
**FIGRELLA**

**Public Open Space**

Fiorella's Brown Road public open space plaza and adjacent urban green create a functional and interesting neighbourhood urban space. The urban plaza provides and outdoor venue for the adjacent artist studios as well as an opportunity for public gathering and neighbourhood activities. The neighbouring passive urban garden, with its rich collection of evergreen flowering plants and custom seats provide a counter point to the plaza for those seeking an opportunity for quiet, contemplative, relaxation.

The geometry and materiality of the plaza, which is comprised of grey concrete unit pavers intersected by charcoal coloured concrete paver bands responds to the orientation and geometry of the building architecture. Several large planted mounds with *Nyssa sylvatica* (Black Tupelo), feature trees coordinated with City of Richmond staff to replace trees removed from the site provide vertical interest and allow for four season plant display. The plant palette is comprised of a selection of evergreen plants that provide a variety of textures, four season colour and urban bird and insect habitat. These plants include; Winter Gem Boxwood, David Viburnum, Thunderbird Evergreen Huckleberry and Berberis. The planting is organized in a series of bands responding to the linear character of the architecture and the geometry of the plaza. The plaza space in front of the artist studios encourages public gathering and display for various artist events and presentations while providing a strong presence on the street. Additional seating in the form of custom metal benches located throughout the public plaza provide a distinct flavour to this space as well as a more intimate experience.

**PUBLIC PLAZA AREA: 7515m<sup>2</sup>**

KEY	DESCRIPTION
<b>P4</b>	Feature Paving Type 1 Colour: Natural
<b>P5</b>	Feature Paving Type 2 Colour: Charcoal
<b>P6</b>	Feature Paving Type 3 Colour: Moroccan Sunset
<b>P7</b>	Concrete Unit Pavers Colour: Charcoal - Vehicle (herringbone pattern with saddle course outlined)
<b>P12</b>	GrassGrid

KEY	DESCRIPTION
<b>H2</b>	Feature Wall See Architectural Drawings

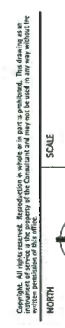
  

SITE FURNISHING LEGEND	
<b>F1</b>	Bike Rack
<b>F6</b>	Custom Feature Bench with armrests and skateboard deterrents

- HB** Hose Bib
- ER** Duplex Electrical Receptacle
- LX** Floodlight for Wall Illumination (staked in granular strip)

PROJECT  
**FIGRELLA**

**PUBLIC PLAZA ENLARGEMENT**

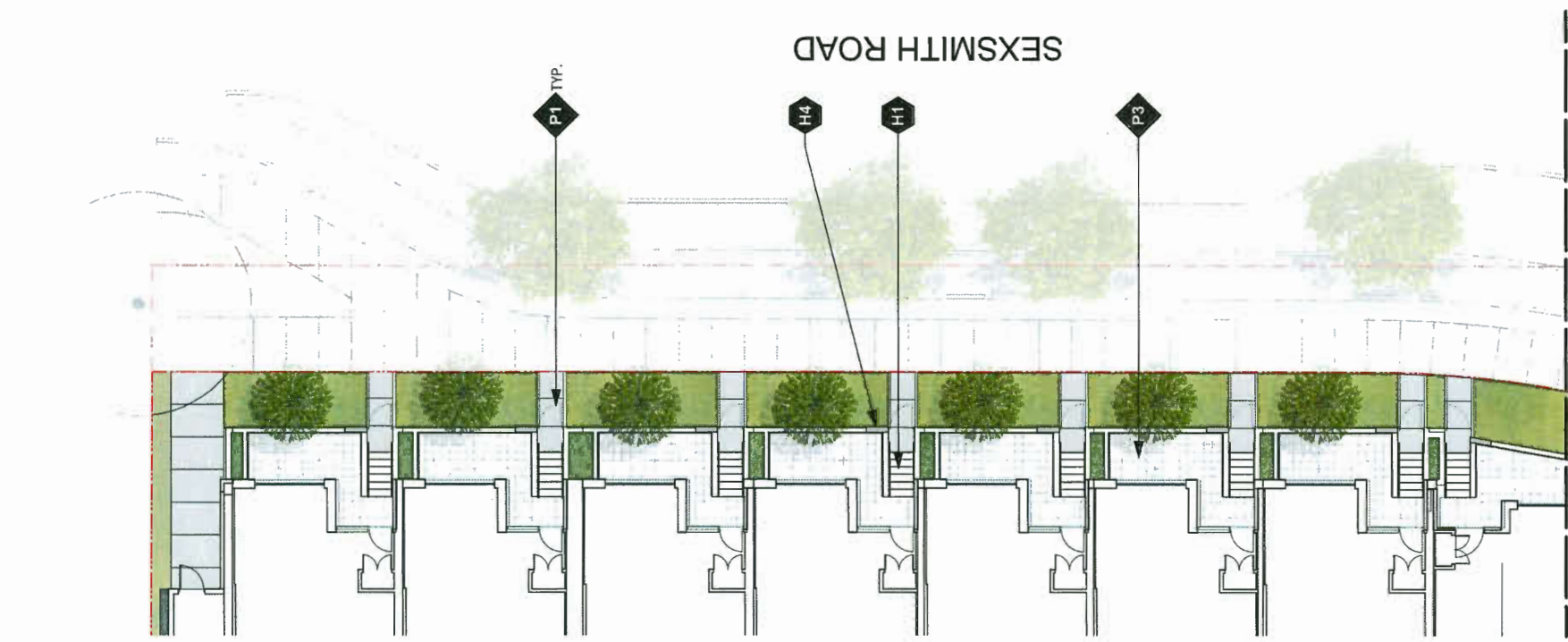
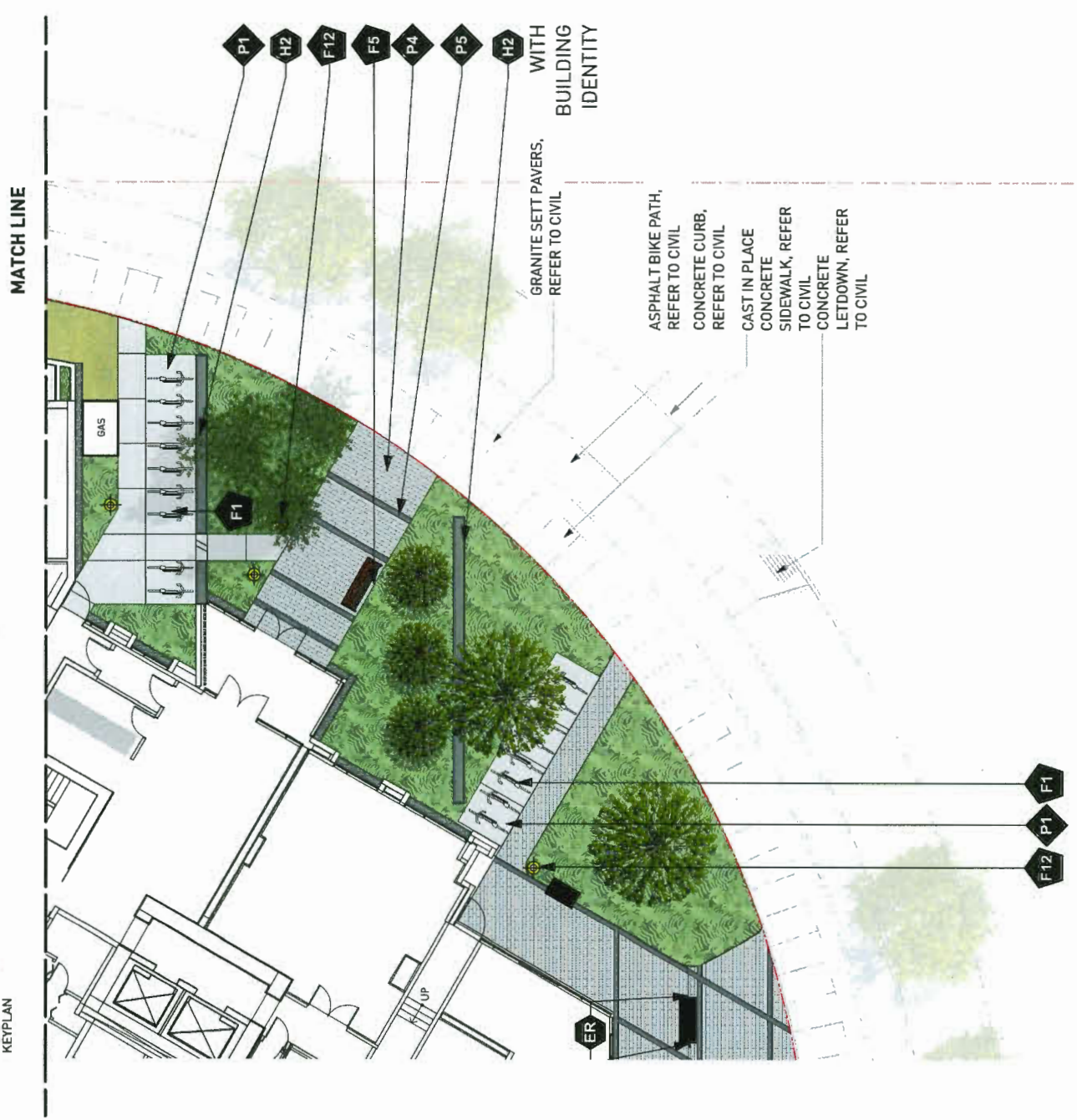


PROJECT NO.	17091
DATE	19-5-7
FILE NAME	17091 Fiorella Plan_V06
PLOTTED	
DRAWN	JO
REVISION	BH
DRAWING	

**L1.03**



KEYPLAN



PAVING LEGEND	
KEY	DESCRIPTION
P1	CIP Concrete Paving
P3	Hydrapressed Pavers
P4	Feature Paving Type 1 Colour: Natural
P5	Feature Paving Type 2 Colour: Charcoal

HARDSCAPE LEGEND	
KEY	DESCRIPTION
H1	CIP Concrete Stairs with Handrail
H2	Feature Wall See Architectural Drawings
H4	Gate with Stone Plinth

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
F1	Bike Rack
F12	Light Bollard

PROJECT  
**FIORELLA**

ADDRESS

CONTRACT TITLE  
**SEXSMITH STREETScape  
PLAN  
ENLARGEMENT**

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PROJECT NO.	17091
DATE	19-5-7
FILE NAME	17091 Fiorella Plan.vwx
PLOTTED	
DRAWN	JO
REVIEWED	BH
DRAWING	

**L1.04**

Plan 29 May 21, 2019  
DP 18-818748

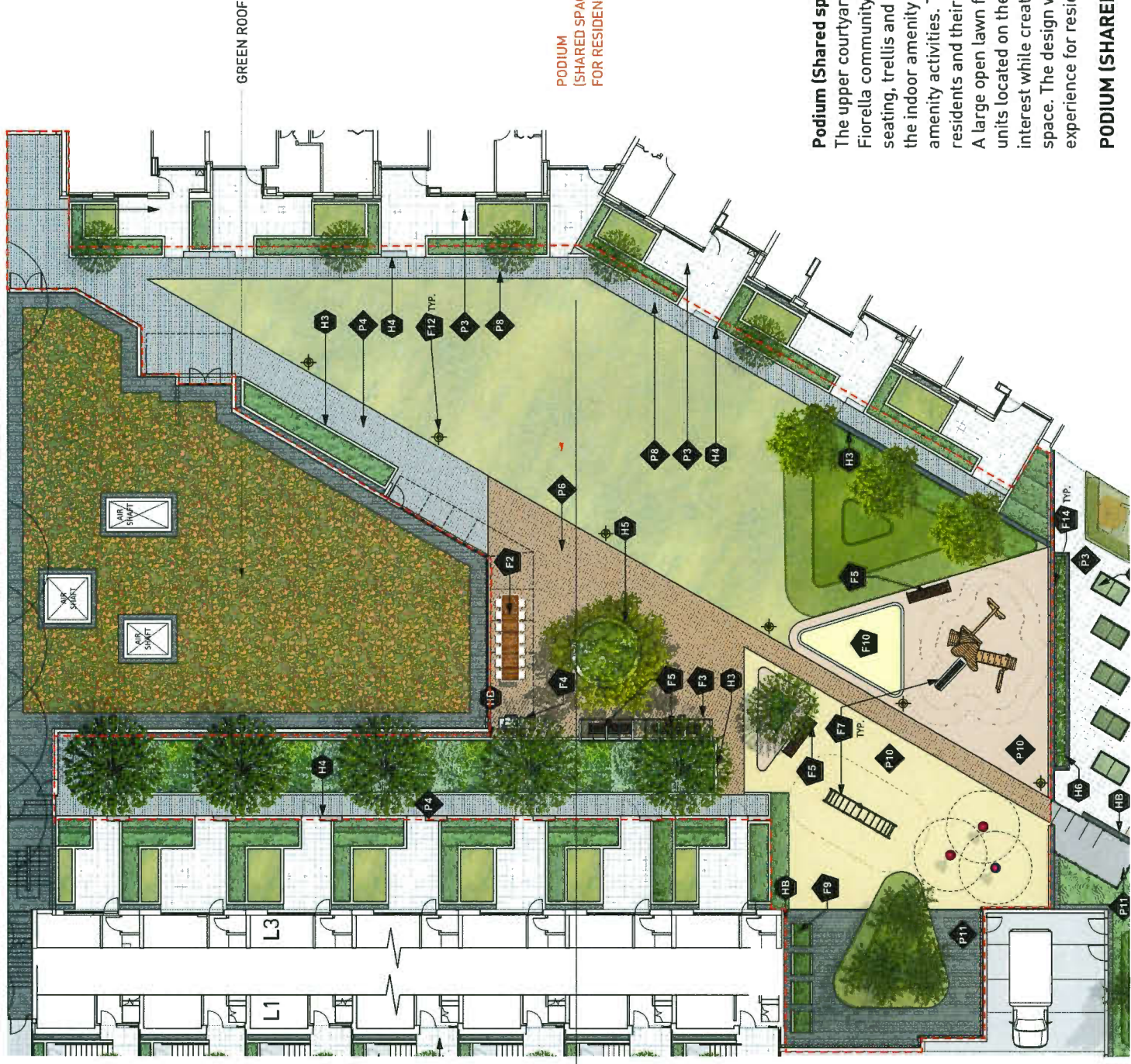
**PWL** partnership

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Vancouver BC Canada V6E 2V6  
www.pwlpartnership.com  
604.488.1111  
1800.488.1111

**POLYGON**

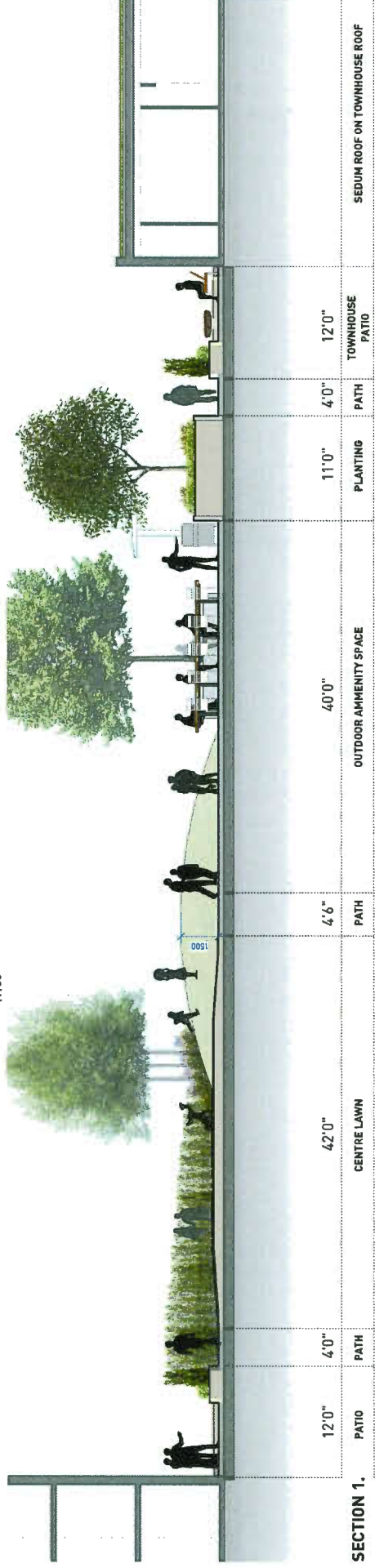
**FRANCL**  
ARCHITECTURE

NO.	DATE	DESCRIPTION
5	19-3-08	Issued in Response to ADP
6	19-4-23	Issued for Final IP Response



**Podium (Shared space for residents)**  
 The upper courtyard provides residents with diverse, shared open space that encourages the Fiorella community to gather, play, garden or just relax. The main gathering area with seating, trellis and BBQs is located in the centre of the podium space. It is directly adjacent to the indoor amenity area ensuring a seamless extension and mutual support of common amenity activities. The children's play area is located in the sunniest part of the site, providing residents and their children with a comfortable place to enjoy throughout all parts of the day. A large open lawn frames the gathering space, while providing a buffer for the residential units located on the patio level. Additional planting adjacent to private patios adds colourful interest while creating a soft buffer between the residential units and the more active central space. The design while fully functional and engaging also creates a positive visual experience for residents to look down onto.

**PODIUM (SHARED SPACE) AREA: 1441m<sup>2</sup>**



HARDSCAPE LEGEND	
KEY	DESCRIPTION
H1	CIP Concrete Stairs with Handrail
H2	Feature Wall See Architectural Drawings
H3	CIP Concrete Wall
H4	Gate with Brick Plinth
H5	CIP Concrete Planter
H6	Modular Block Wall System

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
F1	Bike Rack
F2	Harvest Table
F3	Metal Trellis
F4	BBQ
F5	Bench w/ armrests
F6	Custom Feature Bench w/ armrests & skateboard deterrents
F7	Play Equipment
F8	Potting Table/Compost/Tool Storage
F9	Garden Planters
F10	Sand Box
F11	Metal Bollard
F12	Light Bollard
F13	Privacy Screen
F14	Vertical Cable Wire System

PAVING LEGEND	
KEY	DESCRIPTION
P1	CIP Concrete Paving
P2	CIP Concrete Paving Vehicle Loading
P3	Hydrapressed Pavers
P4	Feature Paving Type 1 Colour: Natural
P5	Feature Paving Type 2 Colour: Charcoal
P6	Feature Paving Type 3 Colour: Moroccan Sunset
P7	Concrete Unit Pavers Colour: Charcoal-Vehicle
P8	Concrete Unit Pavers Colour: Natural
P9	CIP Concrete Band
P10	Resilient Rubber Surface
P11	Granular Paving
P12	GrassGrid

**PWL partnership**

**POLYGON**

**FRANCLIN ARCHITECTURE**

**ENGINEER AND DESIGNER**

NO. DATE DESCRIPTION  
 1 15-3-08 Issued for Response to RUP  
 2 15-4-23 Issued for Final RUP Response

Plan 30 May 21, 2019  
 DP 18-818748

**PROJECT**  
 FIORELLA

**ADDRESS**

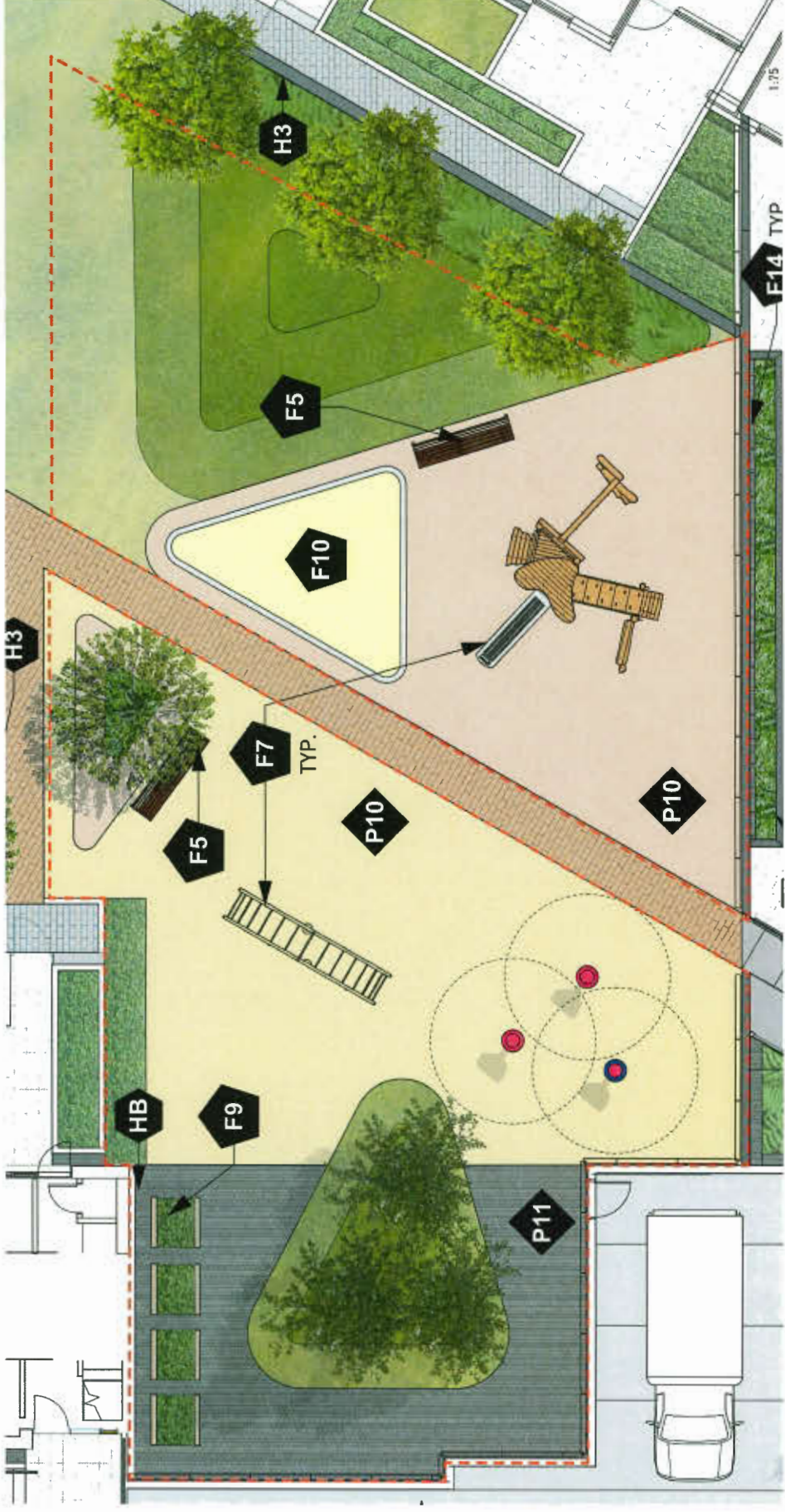
**DRAWING TITLE**  
 COURTYARD AND AMENITY ENLARGEMENT

**SCALE**  
 as shown

**PROJECT NO.** 17091  
**DATE** 19-5-7  
**FILE NAME** 17091 Fiorella Plan30.rvt  
**PLOTTED**  
**DRAWN** JO **REVIEWED** BH

**L1.05**

- HB Hose Bib
- ER Duplex Electrical Receptacle
- LX Floodlight for Wall Illumination (staked in granular strip)



**Children's Play Space**

The children's play area is located in the sunniest part of the site, providing residents and their children with a comfortable place throughout all parts of the day. The play area provide a combination of sand play and traditional equipment together with mounded grass areas and urban agriculture for children.

**Urban Agriculture Area**

Similarly to the play area, the urban agriculture is located in a sunny area, providing residents with planters, potting table with storage and a compost bin. Due to it's exposure this location is a very successful place for urban gardening. A planter at the base of the south facing wall and wire cable vine structure on the wall soften the hard built edge while providing an interesting plant based vertical element.

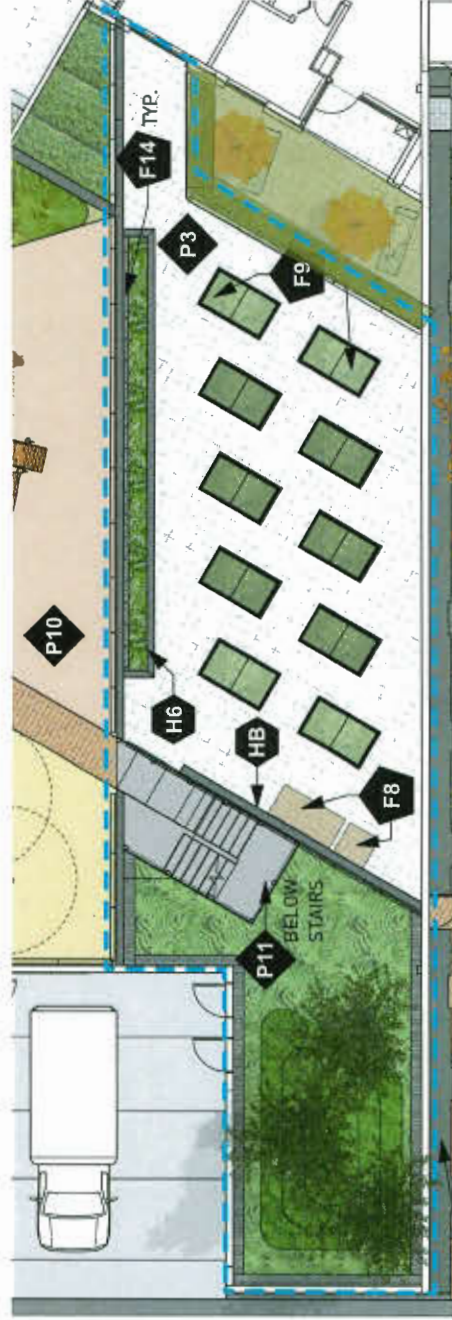
**CHILDREN'S PLAY SPACE AREA: 465m<sup>2</sup>**  
**LEVEL 2 AMENITY - URBAN AGRICULTURE AREA: 220m<sup>2</sup>**

PAVING LEGEND	
KEY	DESCRIPTION
P1	CIP Concrete Paving
P2	CIP Concrete Paving Vehicle Loading
P3	Hydrapressed Pavers
P4	Feature Paving Type 1 Colour: Natural
P5	Feature Paving Type 2 Colour: Charcoal
P6	Feature Paving Type 3 Colour: Moroccan Sunset
P7	Concrete Unit Pavers Colour: Charcoal - Vehicle
P8	Concrete Unit Pavers Colour: Natural
P9	CIP Concrete Band
P10	Resilient Rubber Surface
P11	Granular Paving
P12	GrassGrid

HARDSCAPE LEGEND	
KEY	DESCRIPTION
H1	CIP Concrete Stairs with Handrail
H2	Feature Wall See Architectural Drawings
H3	CIP Concrete Wall
H4	Gate with Brick Plinth
H5	CIP Concrete Planter
H6	Modular Block Wall System

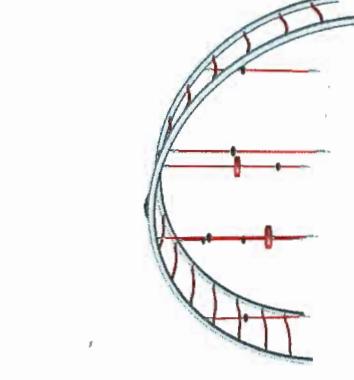
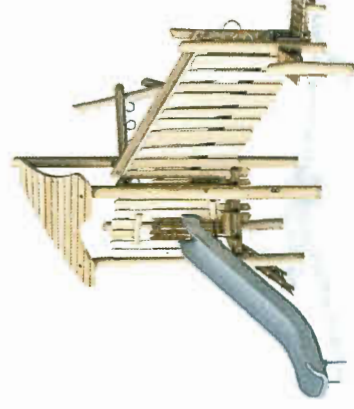
SITE FURNISHING LEGEND	
KEY	DESCRIPTION
F1	Bike Rack
F2	Harvest Table
F3	Metal Trellis
F4	BBO
F5	Bench w/ armrests
F6	Custom Feature Bench w/ armrests & skateboard deterrents
F7	Play Equipment
F8	Potting Table/Compost/Tool Storage
F9	Garden Planters
F10	Sand Box
F11	Metal Bollard
F12	Light Bollard
F13	Privacy Screen
F14	Vertical Cable Wire System

- HB Hose Bib
- ER Duplex Electrical Receptacle
- LX Floodlight for Wall Illumination (staked in granular strip)



Climbing Ladder

Play Tower



1:100

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**POLYGON**

**FRANCL ARCHITECTURE**

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
5	19-3-08	Issued in Response to ADP
6	18-4-23	Issued for Final DP Response

Plan 31 May 21, 2019  
 DP 18-818748

PROJECT  
**FIORELLA**

ADDRESS

**PLAY AREA AND URBAN AG ENLARGEMENT**

SCALE as shown

PROJECT NO. 17091  
 DATE 19-5-7  
 FILE NAME 17091 Fiorella Plan.vwk  
 PLOTTED  
 DRAWN JD  
 CHECKED BH  
 DRAWN

**L1.06**

DP 18-818748  
 Plan 32 May 21, 2019



PWL Partnership  
 100 West 53rd Street  
 New York, NY 10019  
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NO.	DATE	DESCRIPTION
5	19-2-08	Issued in Response to ADP
6	19-4-23	Issued for Final DP Response

PROJECT  
**IORELLA**

ADDRESS

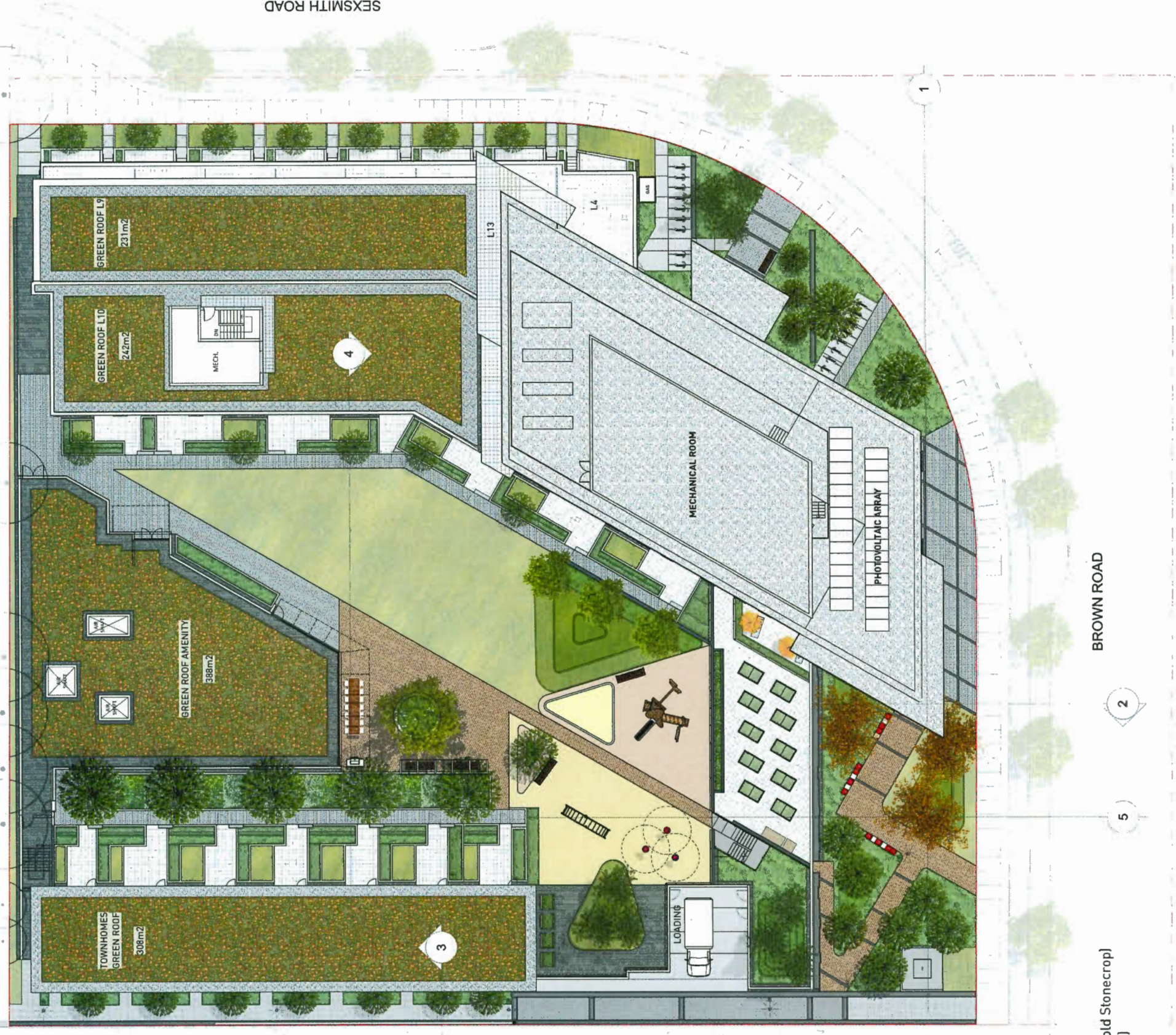
DRAWING TITLE  
**ROOF PLAN**

Scale: 1/16" = 1'-0"

North arrow pointing up.

PROJECT NO. 17081  
 DATE 19-5-7  
 FILE NAME 17081 Fiorella Plan.vwx  
 DRAWN BY JD  
 CHECKED BY BH

**L1.07**



**Sedum - Green Roof Mix:**

- 18% - Sedum spathulifolium (Broad-leaved Stonecrop)
- 21% - Sedum album 'Murale' (Murale Stonecrop)
- 18% - Sedum floriferum 'Weihenstephaner Gold' (Weihenstephaner Gold Stonecrop)
- 20% - Sedum hybridum 'Immergrunchen' (Immergrunchen Stonecrop)
- 13% - Sedum rupestre (Rupestre Stonecrop)
- 10% - Sedum spurium 'Dragons Blood' (Two-Row Stonecrop)



DP 18-818748  
 Plan 33 May 21, 2019



NO.	DATE	DESCRIPTION
5	19-2-08	Issued in Response to ADP
6	19-4-23	Issued for Final DP Response

PROJECT  
**FIORELLA**

DRAWING TITLE  
**LIGHTING PLAN**

PROJECT NO.	171091
DATE	19-5-7
FILE NAME	17091 Fiorella Plan.vwk
PLOTTED	
DRAWN	JD
REVIEWED	BH
DRAWING	

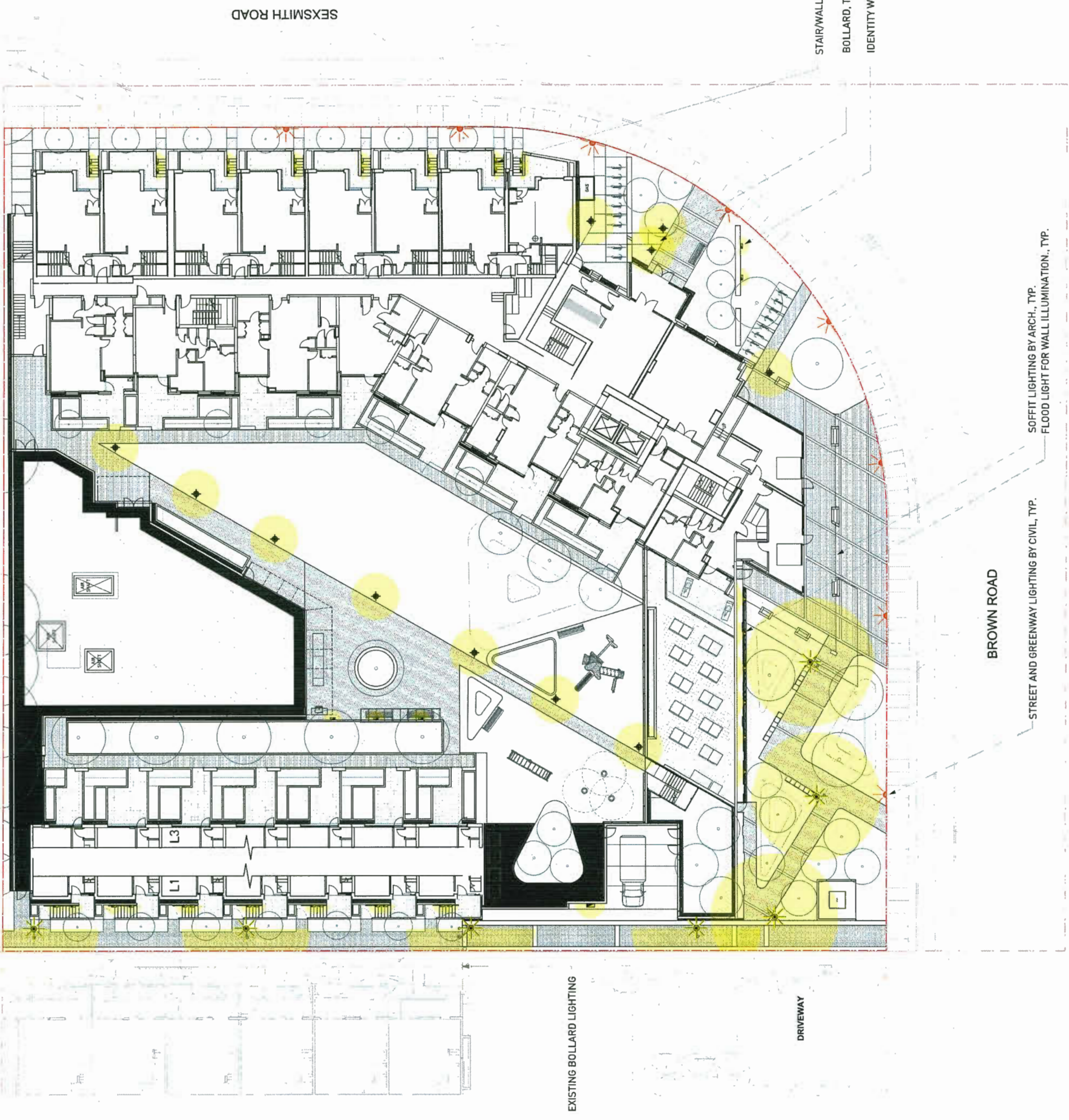
**L1.08**

**LIGHTING LEGEND**  
 DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION BETWEEN CONTRACTORS.  
 REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR FIXTURE TYPES AND LAYOUT. CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONSULTANT FOR COMMENTS.

	TYPE 1 - BOLLARD LIGHT
	TYPE 2 - STEP LIGHT/WALL LIGHT
	TYPE 3 - PEDESTRIAN POLE LIGHT
	TYPE 4 - STREET/GREENWAY LIGHT
	TYPE 5 - FLOOD LIGHTS FOR ACCENTING THE PLAZA WALL



EXISTING BOLLARDS IN THE MEWS



SEXSMITH ROAD

BROWN ROAD

DRIVEWAY

EXISTING BOLLARD LIGHTING

STAIR/WALL LIGHT, TYP.  
 BOLLARD, TYP.  
 IDENTITY WALL LIGHTING

SOFFIT LIGHTING BY ARCH., TYP.  
 FLOOD LIGHT FOR WALL ILLUMINATION., TYP.

STREET AND GREENWAY LIGHTING BY CIVIL, TYP.

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NO.	DATE	DESCRIPTION
5	19-2-08	Issued in Response to ADP
6	19-4-23	Issued for Final DP Response

Plan 34 May 21, 2019  
 DP 18-818748

PROJECT  
**FIORELLA**

ADDRESS

DRAWING TITLE  
**LAYOUT PLAN**

Scale: 1/16" = 1'-0"  
 NORTH

PROJECT NO.	171081
DATE	19-5-7
FILE NAME	17081 Fiorella Plan.vrx
PLOTTED	
DRAWN	JD
REVIEWED	BH
DRAWING	

**L1.09**



SEXSMITH ROAD

BROWN ROAD

DRIVEWAY

LOADING

L1

L3



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 96 Place Saint-Ashley  
 1211 West Beaver Creek Road  
 Richmond Hill, Ontario L4B 1P2  
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 Fax: 905.882.1112



REVISIONS AND ISSUES  
 NO. DATE DESCRIPTION  
 5 19-5-08 Revised in Response to ADP  
 6 19-4-23 Based for final DP Response

Plan 35 May 21, 2019  
 DP 18-818748

PROJECT  
**FIORELLA**

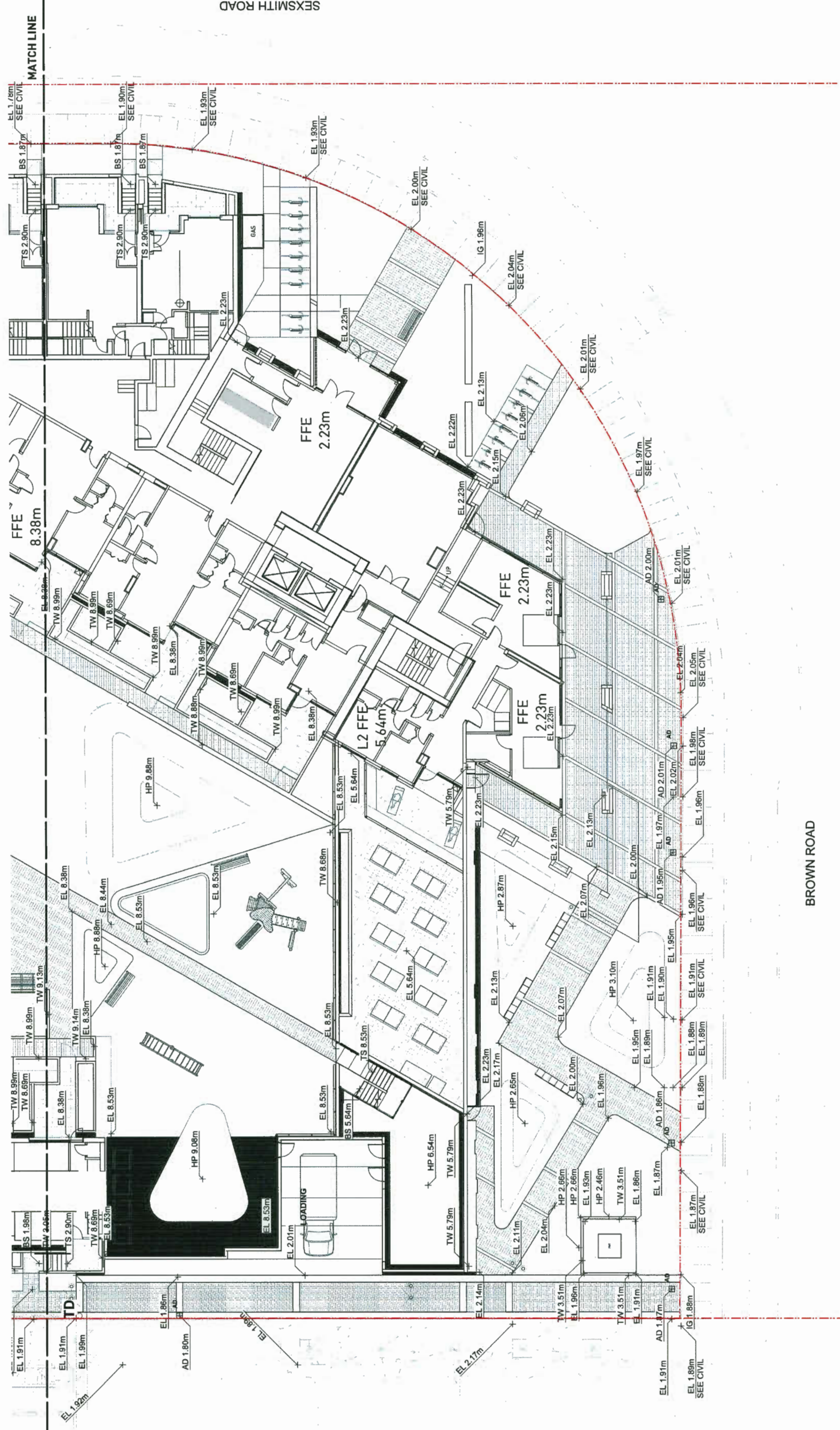
ADDRESS

DRAWING TITLE  
**GRADING PLAN**

Scale: 3/32" = 1'-0"  
 NORTH

PROJECT NO.	17091
DATE	19-5-7
FILE NAME	17091 Fiorella Plan.vwk
PLOTTED	
DRAWN	JD
REVIEWED	BH
DRAWING	

**L2.01**



BROWN ROAD



PWL Partnership Landscape Architects Inc.  
 56 Place, Les Ateliers  
 1000 Avenue de l'Église, 2<sup>e</sup> étage  
 Montréal, Québec H2Z 1K7  
 www.pwlpartnership.com  
 TEL: 514 881 1111  
 FAX: 514 881 1112



REVISIONS AND NOTES  
 NO. DATE DESCRIPTION  
 5 19-08 Revised to Response to ADP  
 6 19-04-23 Based on final DP Response

Plan 36 May 21, 2019  
 DP 18-818748

PROJECT  
 FIORELLA

ADDRESS

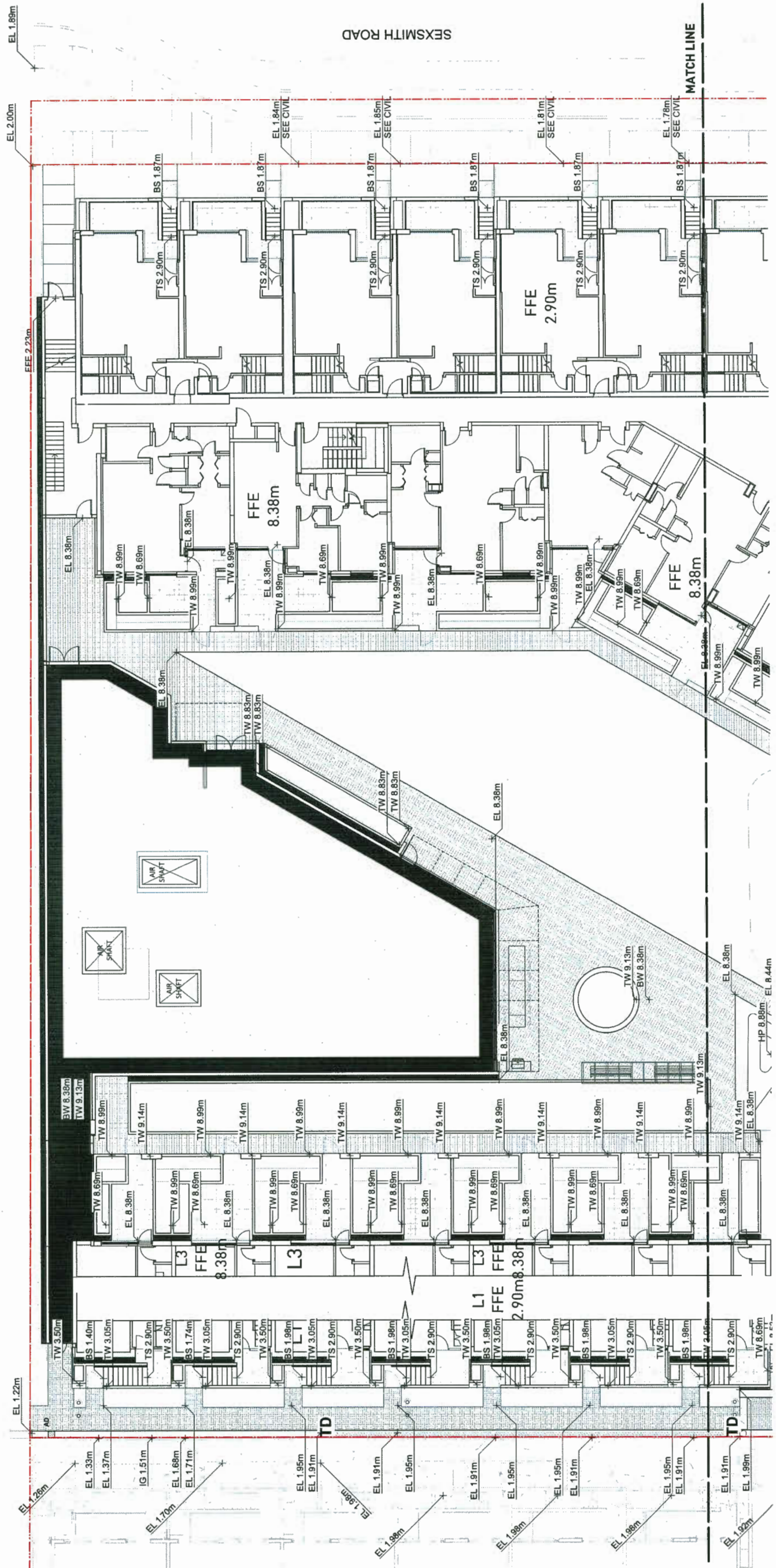
DRAWING TITLE  
 GRADING PLAN

SCALE  
 3/32" = 1'-0"



PROJECT NO. 17091  
 DATE 19-05-7  
 FILE NAME 17091 Fiorella Plan.vwk  
 PLOTTED  
 DRAWN JD  
 REVISIONS BH

L2.02



NO.	DATE	DESCRIPTION
1	19-2-08	Issued in Response to ADP
2	19-4-23	Issued for Final DP Response

Plan 37 May 21, 2019  
DP 18-818748

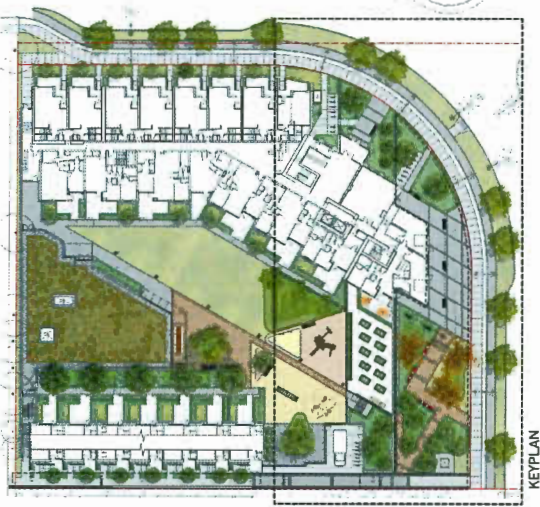
PROJECT  
**FIORELLA**

TITLE  
**PLANTING PLAN**

SCALE  
**3/32"=1'-0"**

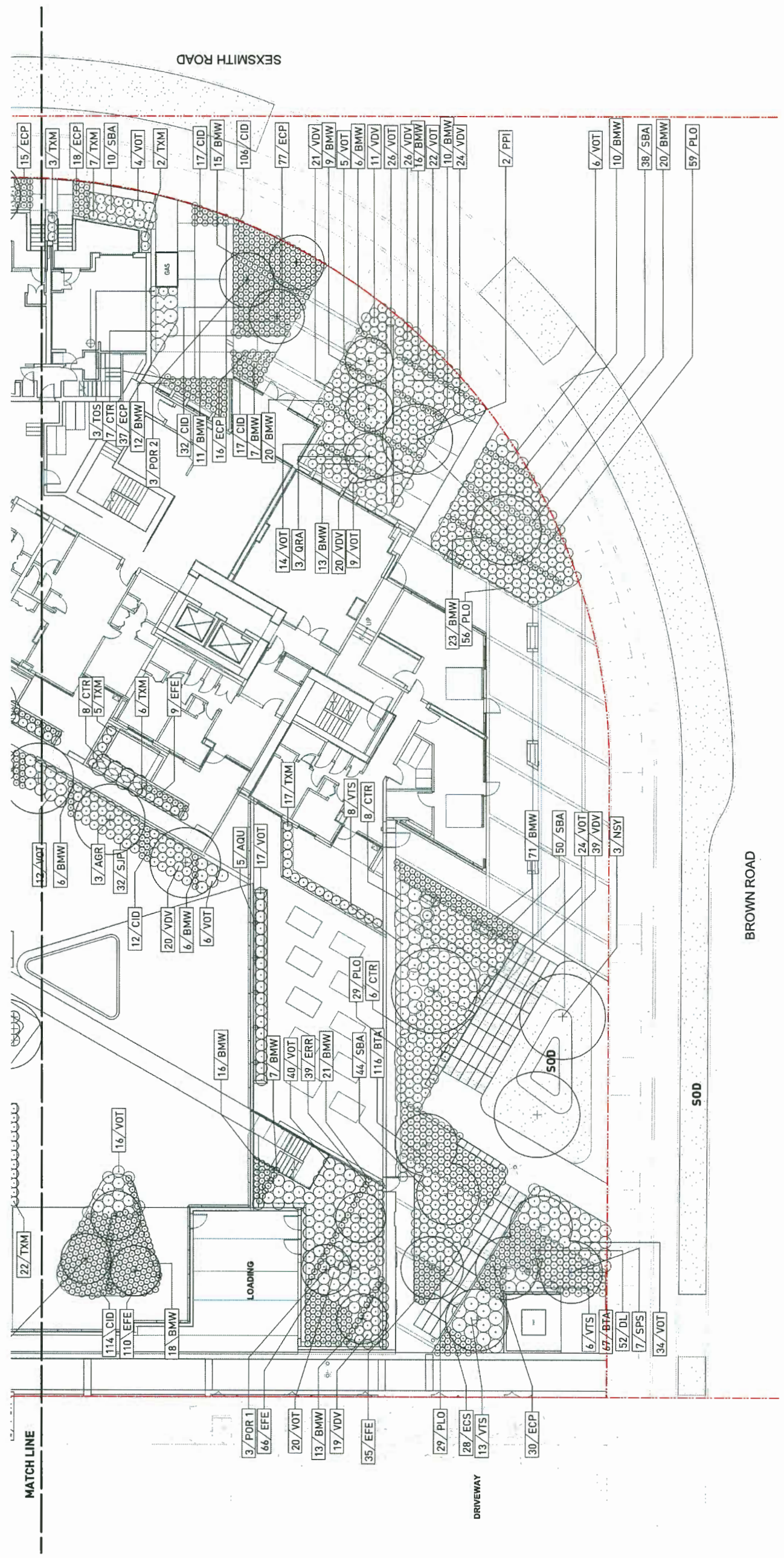
PROJECT NO. 17081  
DATE 18-5-7  
REV. NAME 17081 Fiorella Plan, vpk  
PLATTED  
DRAWN BY  
CHECKED BY  
APPROVED BY

**L3.01\_A**



**LEGEND:**

SOIL CELLS

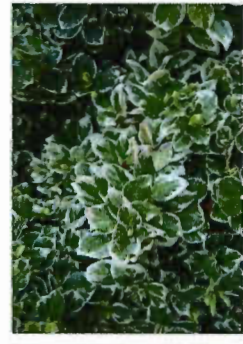




All Landscape and Lawn Areas to be Irrigated

Plant List  
FIORELLA

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks	Mature Size
<b>Trees</b>							
AGF	12	Acer ginnala 'Flame'	Flame Amur Maple	6 cm cal. Standard 2.4 m ht. (8'-0" h As Shown)	As Shown	B&B. Use in cold climates only, single leader	15'-20'
AGR	3	Acer griseum	Paper Bark Maple	6 cm cal. (2.5" cal.)	As Shown	B&B. Uniform branching, dense tree, 6' (1.8m) std.	20'-25'
ARB	1	Acer rubrum 'Bowhall'	Bowhall Red Maple	7 cm cal. (2 1/2" cal.)	As Shown	B&B. Uniform branching, dense tree, 7' (2.1 m) std.	40'-50'
CKO	3	Cornus kousa	Kousa Dogwood	6 cm cal. (2.5" cal.)	As Shown	B&B. Well branched, dense tree	15'-30'
MGR	9	Magnolia grandiflora	Southern Magnolia	7 cm cal. (2 1/2" cal.)	As Shown	B&B. Well branched, dense tree	35'-40'
NSY	3	Nyssa sylvatica	Black Tupelo	10 cm cal. (4" cal.)	As Shown	B&B. Uniform branching, dense tree, 7' (2.5 m) std.	20'-40'
PPI	3	Parrotia persica 'Inge's Ruby Vase'	'IRV' Persian Ironwood	6 cm cal. (2.5" cal.)	As Shown	B&B. Straight trunk, uniform branching, 5' (1.5 m) std.	30'
POR 1	6	Picea omorika	Serbian Spruce	3.5 m ht. (11'-6" ht.)	As Shown	B&B. Well branched, dense tree	35'-45'
POR 2	3	Picea omorika	Serbian Spruce	4.5 m ht. (15'-0" ht.)	As Shown	B&B. Well branched, dense tree	35'-45'
QRA	3	Quercus robur x Alba	Skinny Genes Oak	7 cm cal. (3" cal.)	As Shown	B&B. Well branched, dense tree	15'-30'
SPS	7	Stewartia pseudocamellia	Japanese Stewartia	6 cm cal. (2.5" cal.)	As Shown	B&B. Well branched, dense tree	20'-25'
<b>Shrubs</b>							
BTA	183	Berberis thunbergii 'atropurpurea'	Japanese Barberry	#3 pot	90cm (36")	Well established	
BMW	450	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#3 pot	38cm (15")	Well established	
CTR	91	Cholisia ternata	Mexican Orange Blossom	#3 pot	90cm (36")	Well established	
DL	52	Daphne cneorum	Rose Daphne	#3 pot	65cm (26")	Well established	
PLO	173	Prunus laurocerasus 'Otto Luyken'	Otto Luyken laurel	#3 pot	60cm (24")	Well established	
ERR	141	Rhododendron 'English Roseum'	English Roseum Rhododendron	#3 pot	60cm (24")	Well established	
SHH	105	Sarcococca hookeriana humilis	Himalayan Sarcococca	#3 pot	45cm (18")	Well established	
SJP	37	Skimmia japonica	Japanese Skimmia	#3 pot	60cm (24")	Well established	
SBA	212	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	#3 pot	60cm (24")	Well established	
TXM	283	Taxus x media 'H.M. Eddie'	H.M. Eddie Yew	1.2m B&B	60cm (24")	Well established, dense hedging plant / B & B	
TOS	3	Tuja occidentalis 'Smaragd'	Emerald Cedar	1.5m	60cm (24")	Well established, dense hedging plant / B & B	
VOT	398	Vaccinium ovatum 'Thunderbird'	Thunderbird Evergreen Huckleberry	#3 pot	75cm (30")	Well established, nursery grown	
VDV	302	Viburnum davidii	David Viburnum	#3 pot	60cm (24")	Well established	
VTS	27	Viburnum tinus 'Spring Bouquet'	Spring Bouquet	#3 pot	90cm (36")	Well established	
<b>Ground Cover</b>							
ECP	305	Erica carnea 'Springwood Pink'	Spring Pink Winter Heath	#1 pot	38cm (15")	15cm (6") height	
ECS	28	Erica carnea 'Springwood White'	Dwarf White Heath	#1 pot	38cm (15")	15cm (6") height	
EFE	397	Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Wintercreeper	#1 pot	38cm (15")	25cm (10") spread, Minimum 3 leads	
<b>Perennials</b>							
<b>Ornamental Grasses</b>							
CID	310	Carex morrowii 'Ice Dance'	Variegated Sedge	#1 pot	38 cm (15")	Well established	
<b>Vines</b>							
AQU	5	Akebia quinata	Five Leaf Akebia	#2 pot	As Shown	Staked, 1m (3') leads	
PTC	6	Parthenocissus tricuspidata	Boston Ivy	#1 pot	As Shown	Staked, full development	
<b>Aquatic Plants</b>							
<b>Ferns</b>							
<b>Bulbs</b>							
<b>Sedum - Green Roof (TOTAL AREA - 1246m2)</b>							
18% - Sedum spathulifolium (Broad-leaved Stonecrop)							
21% - Sedum album 'Murale' (Murale Stonecrop)							
18% - Sedum floriferum 'Weihenstephaner Gold' (Weihenstephaner Gold Stonecrop)							
20% - Sedum hybridum 'Immergrunchen' (Immergrunchen Stonecrop)							
13% - Sedum rupestre (Rupestre Stonecrop)							
10% - Sedum spurium 'Dragons Blood' (Two-Row Stonecrop)							



Plan 39 May 21, 2019  
DP 18-818748

PROJECT  
**FIORELLA**

ADDRESS

DRAWING TITLE  
**PLANTING LIST**

Scale: N/A

PROJECT NO: 17091  
DATE: 18-6-7  
REV MAKE: 17091 Fiorella Plan V02  
PLOTTED  
DRAWN: JD  
REVISOR: BH

**L3.02**

PWL partnership

PWL Partnership Landscape Architects Inc  
555 Pine Ave. Suite 100  
Victoria BC Canada V8W 2Z2  
www.pwlpartnership.com  
Tel: 250.688.1111

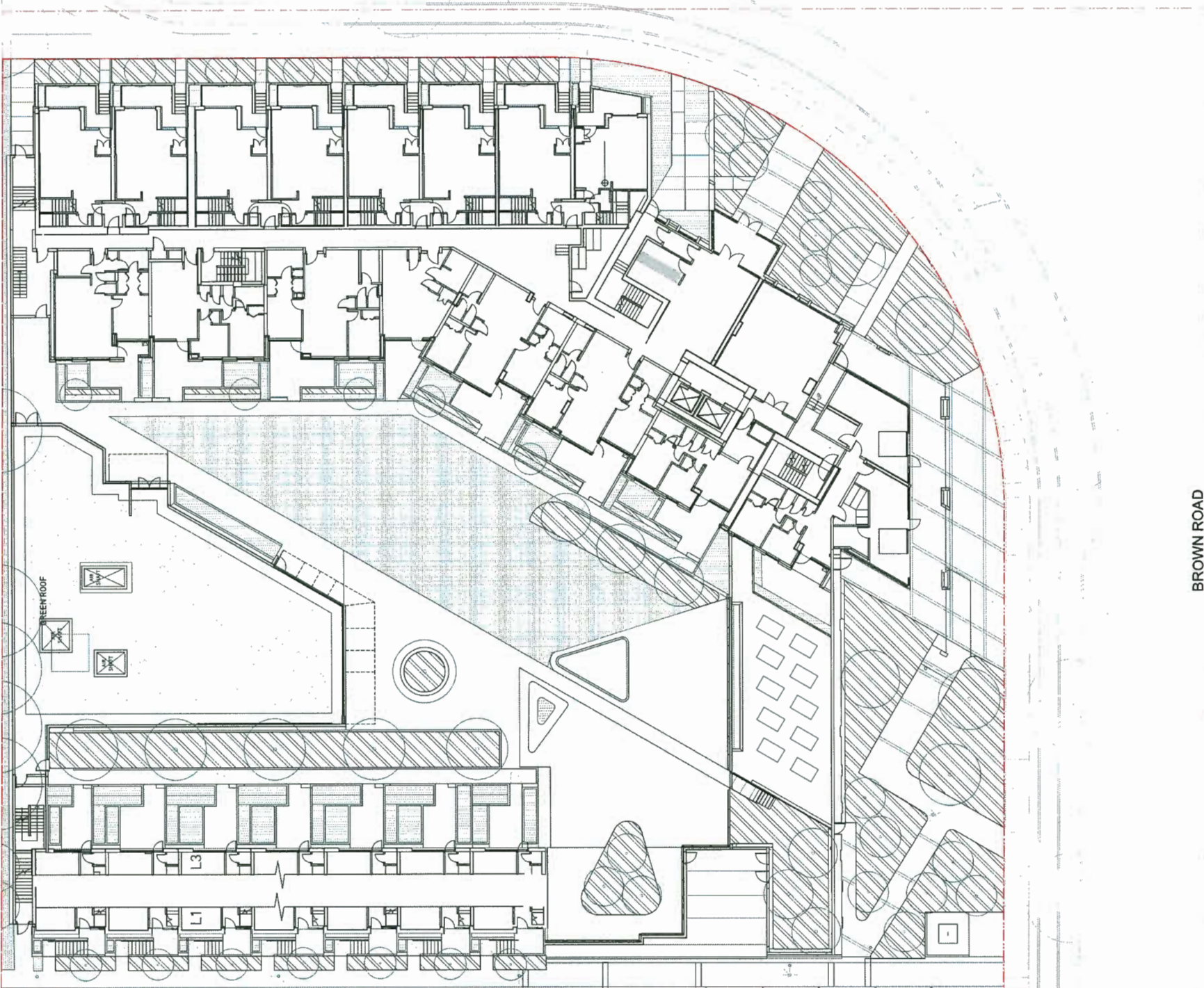
**POLYGON**

**FRANCI**  
ARCHITECTURE

REVISIONS AND NOTES

NO. DATE DESCRIPTION  
5 18-6-08 Issued in Response to ADP  
6 18-6-23 Issued for Final DR Response

SOIL DEPTH LEGEND	
	TREE AREA 36" Depth Growing Medium
	SHRUB AREA 18" Depth Growing Medium
	LAWN AREA 12" Depth Growing Medium
	GREEN ROOF 6" Depth Growing Medium



**PWL** partnership

PWL, a partnership between Polygon Architecture Inc. and Francl Architecture, is a leading architectural and interior design firm. We are currently seeking qualified candidates for the following positions:

**POLYGON**  
ARCHITECTURE

**FRANCL**  
ARCHITECTURE

REVISIONS

NO.	DATE	DESCRIPTION
1	18-05-27	Issue for Review
2	18-05-27	Issue for Review
3	18-05-27	Issue for Review

Plan 40 May 21, 2019  
DP 18-818748

PROJECT: **FIORELLA**

ADDRESS:

TRANSMITTAL:

**SOIL LOADING DIAGRAM**

SCALE: 1/16" = 1'-0"

PROJECT NO.: 17091

SHEET: 18-5-7

SHEET NAME: 17091 Fiorella Plan-view

PLOTTED BY: [Name]

DRAWN BY: [Name]

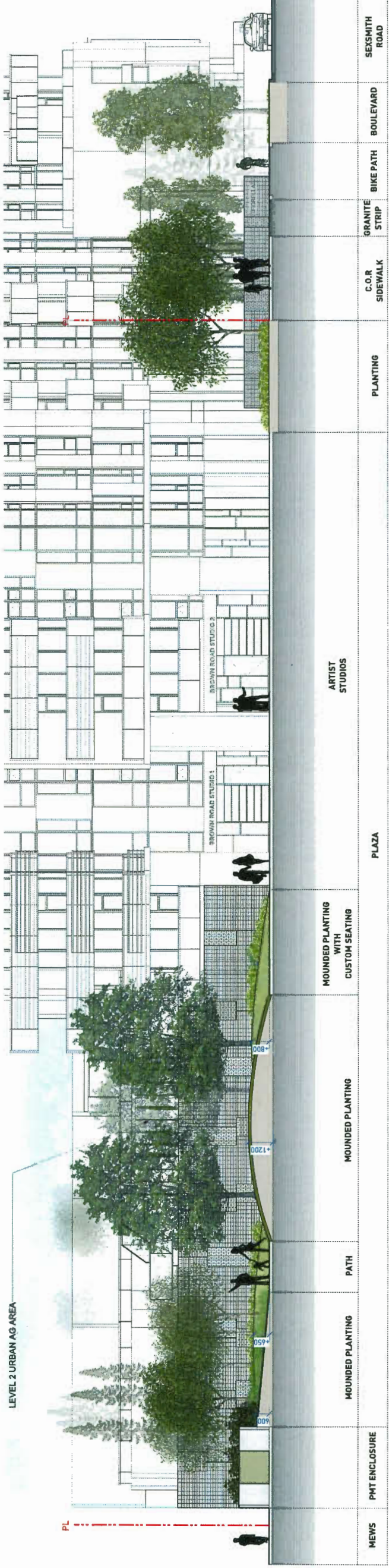
REVIEWED BY: [Name]

DATE: [Date]

**L3.03**

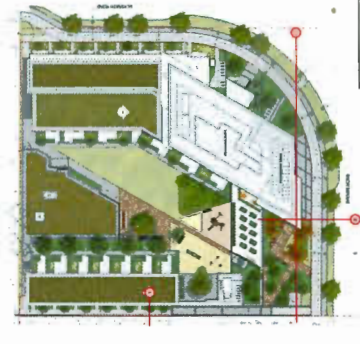


LEVEL 2 URBAN AG AREA



1 SECTION 1  
1/8"=1'-0"

MEWS	PMT ENCLOSURE	MOUNDING PLANTING	PATH	MOUNDING PLANTING	MOUNDED PLANTING WITH CUSTOM SEATING	PLAZA	ARTIST STUDIOS	PLANTING	C.O.R SIDEWALK	GRANITE STRIP	BIKE PATH	BOULEVARD	SEXSMTIH ROAD
------	---------------	-------------------	------	-------------------	--------------------------------------	-------	----------------	----------	----------------	---------------	-----------	-----------	---------------



Plan 41 May 21, 2019  
DP 18-818748

KEYPLAN

PROJECT  
**FIORELLA**

ADDRESS

DRAWING TITLE  
**SECTIONS**

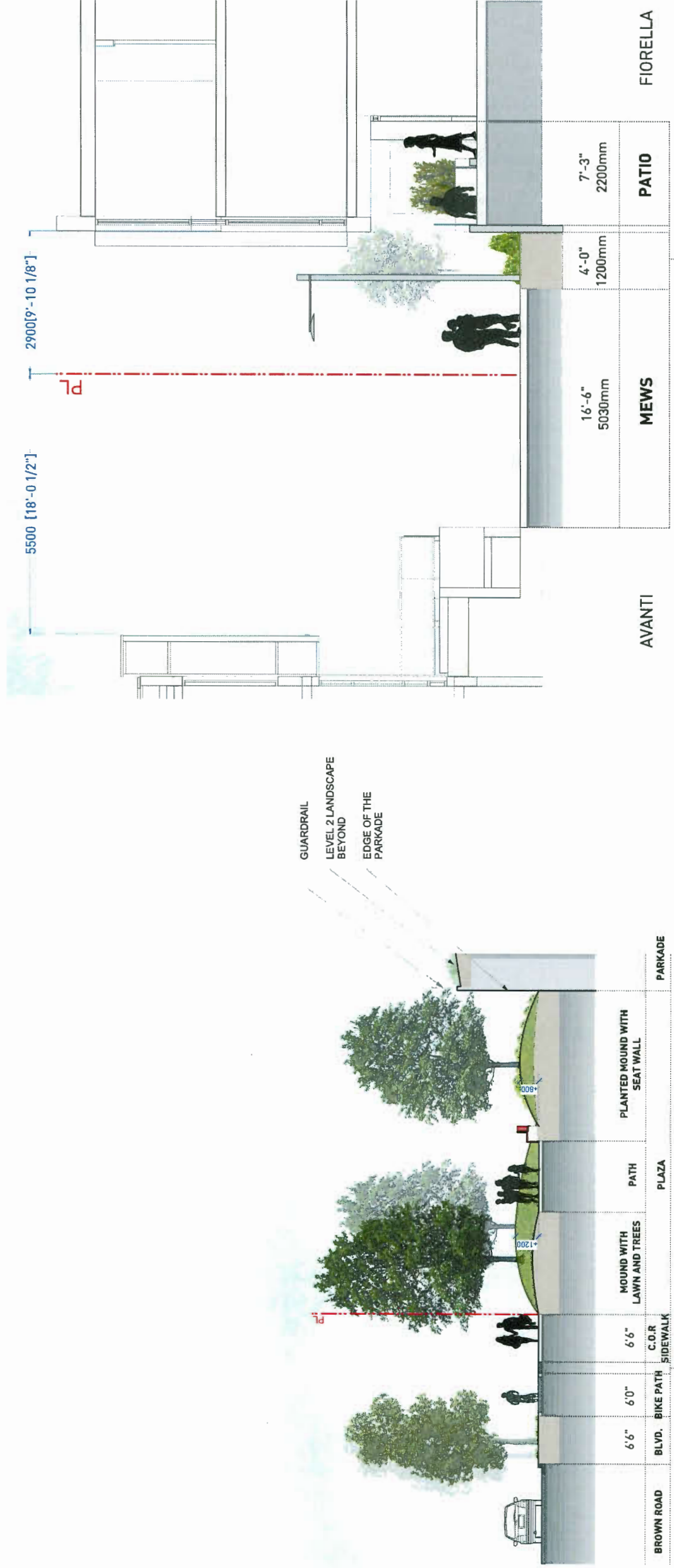
Copyright © 2019 Polygons. All rights reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Polygons.

SCALE  
1/8" = 1'-0"

NORTH

PROJECT NO.	17091
DATE	17091 Fiorella Sections.rvt
FILE NAME	17091 Fiorella Sections.rvt
PLOTTED	19-5-7
DRAWN	JO
REVIEWED	BH
DRAWING	

**L4.01**



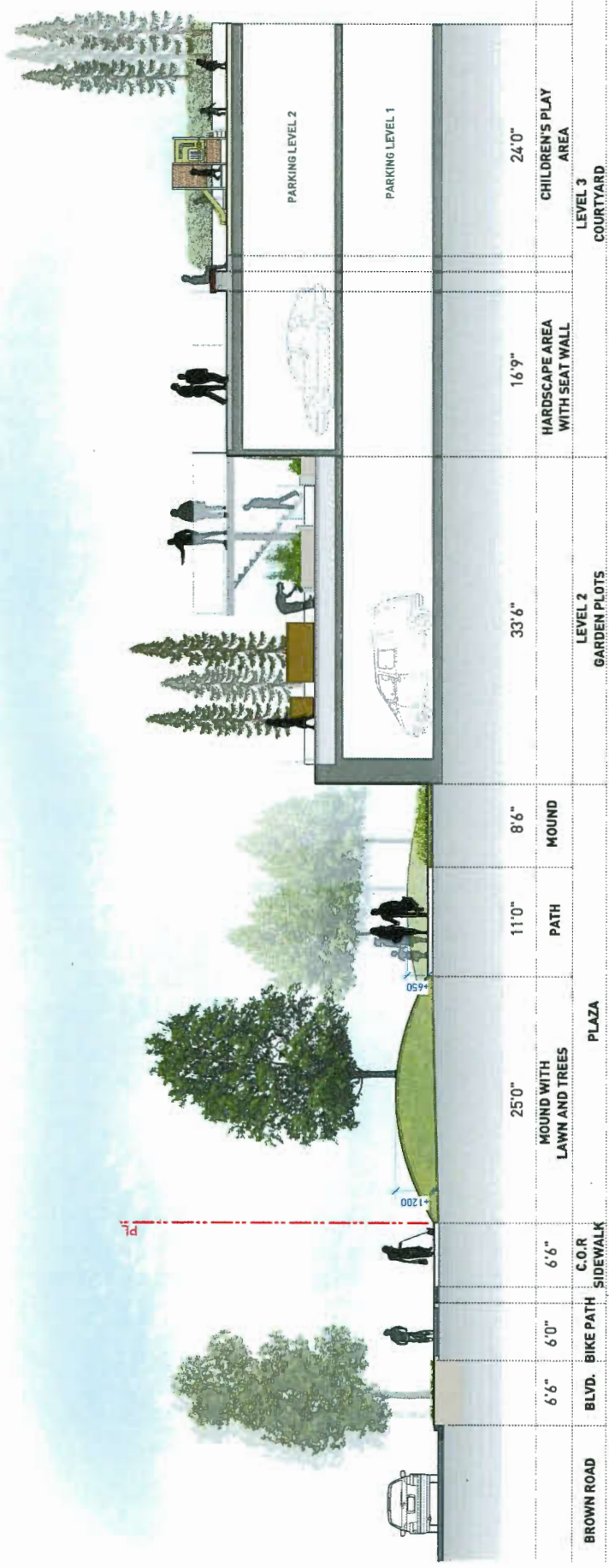
16'-6" 5030mm	4'-0" 1200mm	7'-3" 2200mm	AVANTI	FIORELLA
MEWS	PATIO	PATIO		

3 SECTION 3  
1/4"=1'-0"

SECTION 2  
1/8"=1'-0"



4 SECTION 4  
1/8"=1'-0"



5 SECTION 5  
1/8"=1'-0"



KEYPLAN

Plan 42 May 21, 2019  
DP 18-818748

PROJECT  
**IORELLA**

ADDRESS

DRAWING TITLE  
**SECTIONS**

Scale: 1/8"=1'-0"



PROJECT NO.	17091
DATE	
FILE NAME	17091 Fiorella Sections.vwx
PLOTTED	18-5-7
DRAWN	JD
REVISION	BH
DRAWING	

**L4.02**



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FRANCL  
ARCHITECTURE

NO.	DATE	DESCRIPTION
5	18-4-08	Issued as Response to RFP
6	18-4-23	Issued as Final RFP Response

REVISIONS AND ISSUES	NO.	DATE	DESCRIPTION
	1	18-11-17	Issued for ASDP
	2	18-11-17	Revised for ASDP
	3	18-11-17	Revised for final IP Revisions
	4	18-12-21	Issued for final IP Revisions

PROJECT **FIORELLA**

ADDRESS

SCALE  
**AS SHOWN**

PROJECT NO. **17091**

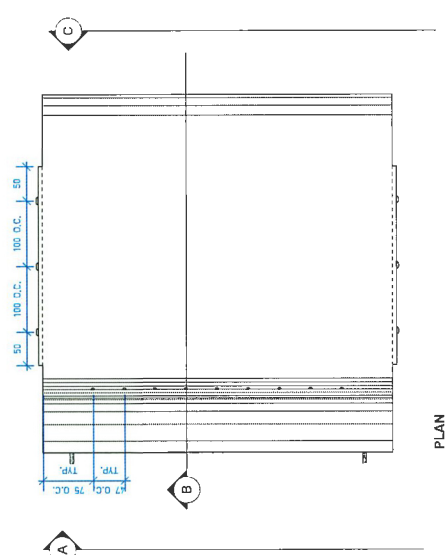
DATE **2018/11/20**

REF NAME **17091 Fiorella Details.rvt**

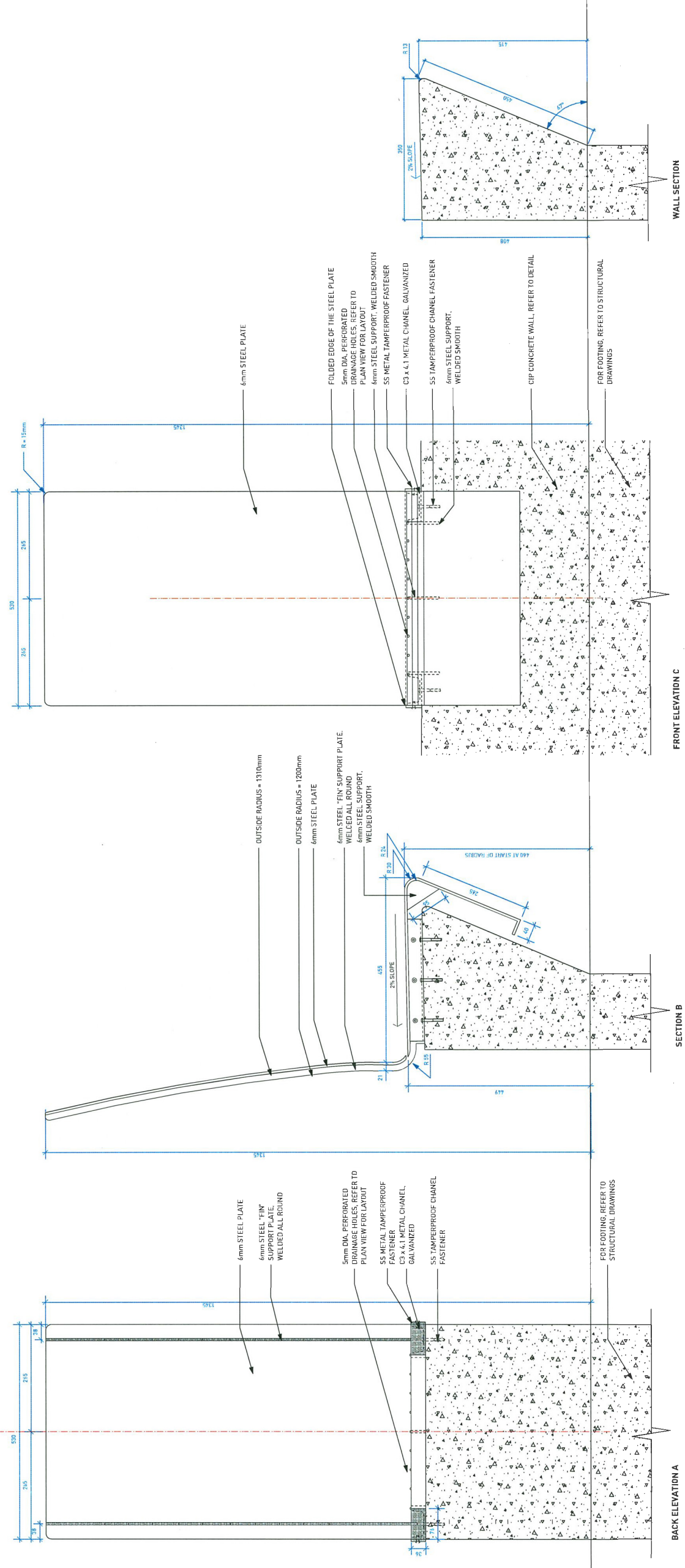
PLOTTED **19-11-18**

DRAWN **JD** CHECKED **BH**

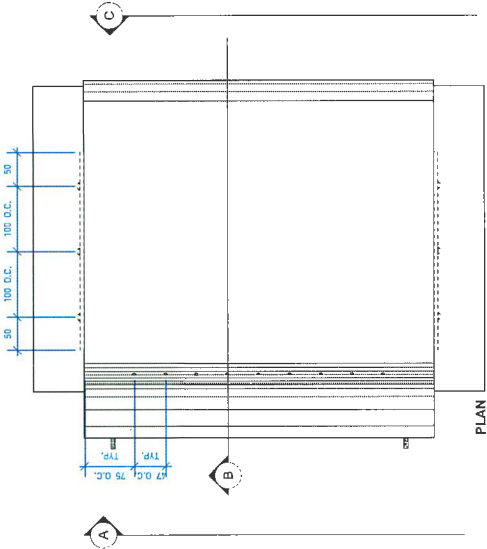
DRAWING



**NOTE:**  
 1. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.  
 2. ALL WELDS TO BE STAINLESS STEEL, AUSTENITIC, WELDED TO STAINLESS STEEL, LONGWELD REF P&I 2004.  
 3. ALL HARDWARE TO BE STAINLESS STEEL, SUS 316L.  
 4. ALL WELDS TO BE OF STANDARD AND AROUND SECTION TO STOP SURF-FIELD WELDING



**1** CUSTOM FEATURE BENCH  
 Scale: 1:5



**NOTE:**  
 1. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE CONSULTANT FOR REVIEW  
 2. ALL METAL TO BE PERFORATED STEEL (LUMINOUS RED BAL. # 5024)  
 3. ALL METAL TO BE GALVANIZED  
 4. ALL METAL TO BE WELDED ALL ROUND  
 5. ALL METAL TO BE WELDED ALL ROUND  
 6. ALL METAL TO BE WELDED ALL ROUND  
 7. ALL METAL TO BE WELDED ALL ROUND  
 8. ALL METAL TO BE WELDED ALL ROUND  
 9. ALL METAL TO BE WELDED ALL ROUND  
 10. ALL METAL TO BE WELDED ALL ROUND

NO.	DATE	DESCRIPTION
1	19-1-7	Issued for ADP
2	19-1-7	Issued for ADP
3	19-4-23	Issued for Final ADP Response
4	19-4-23	Issued for Final ADP Response



Plan 44  
 May 21, 2019  
 DP 18-818748

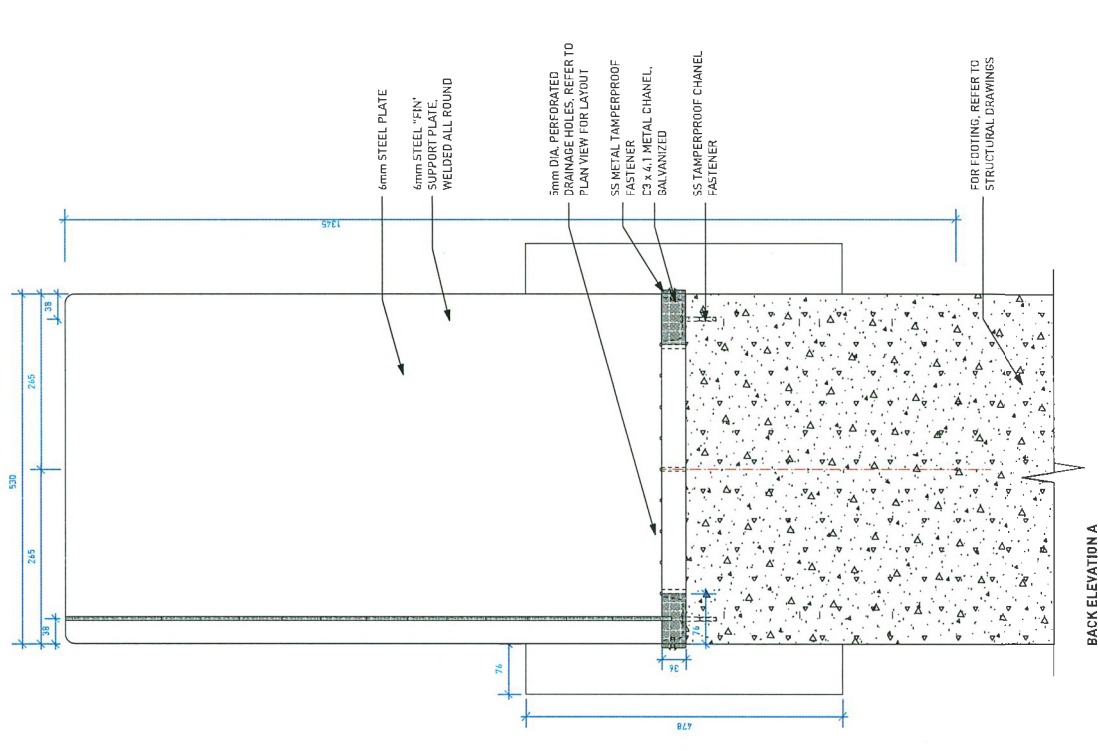
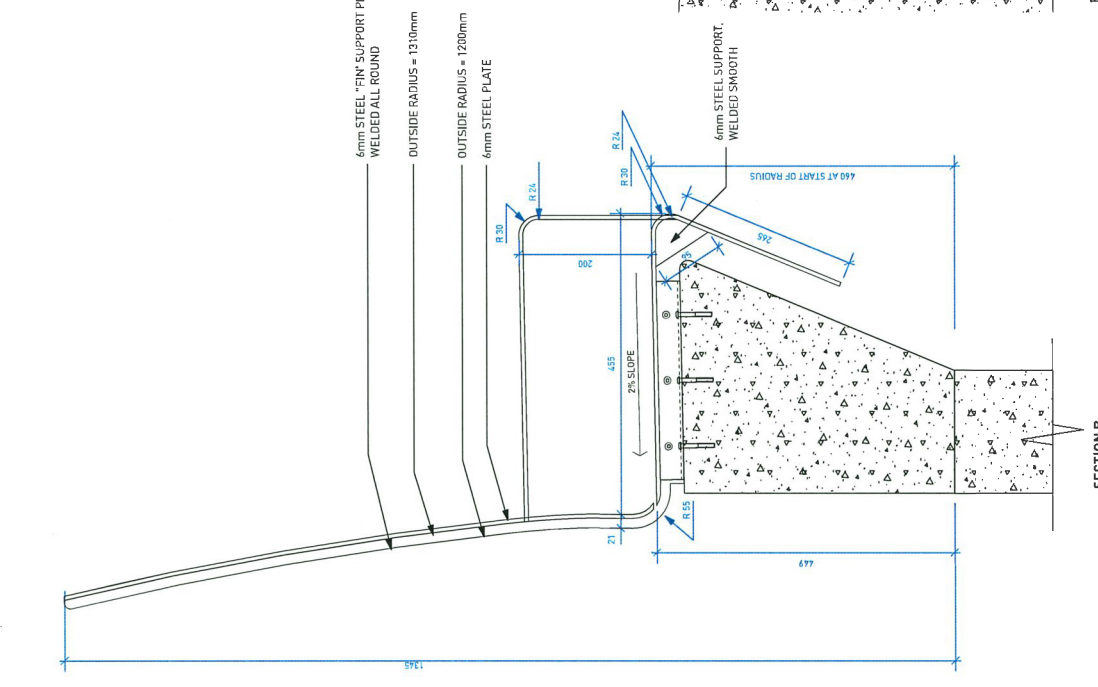
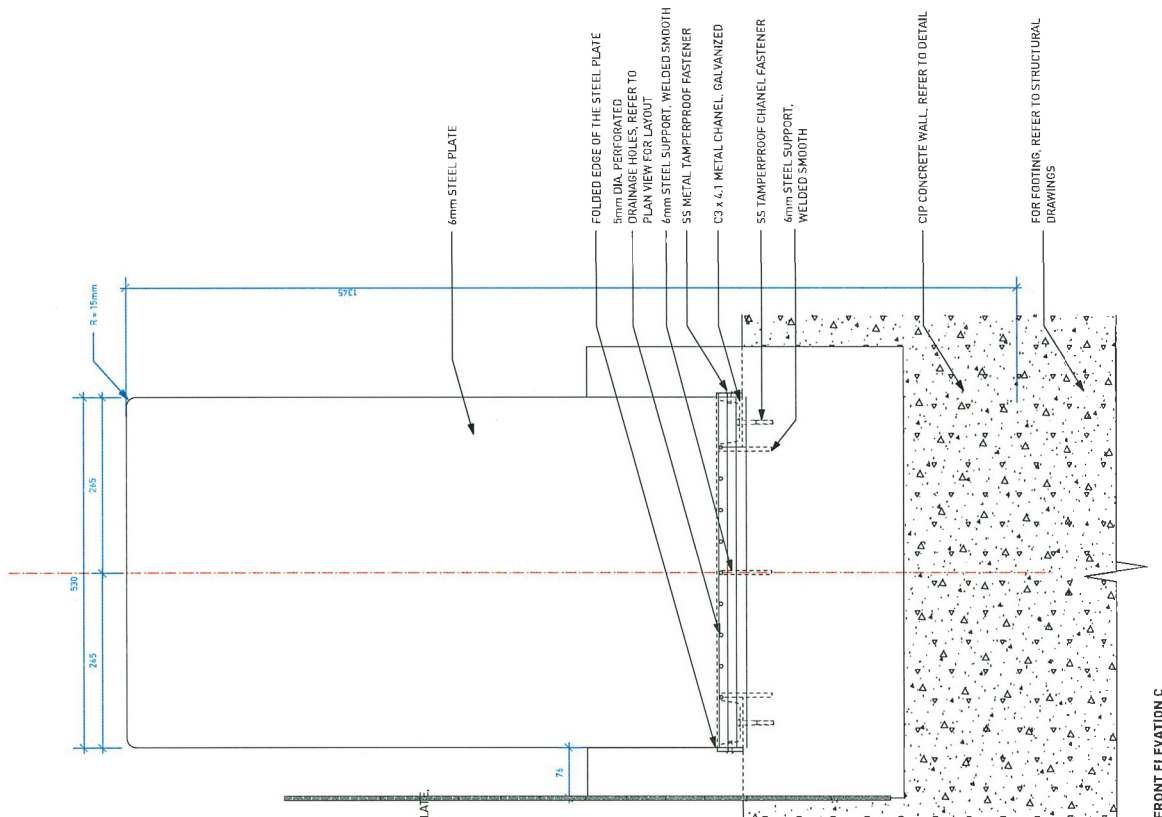
PROJECT  
**FIORELLA**

DRAWING TITLE  
**DETAILS**



SCALE  
**AS SHOWN**

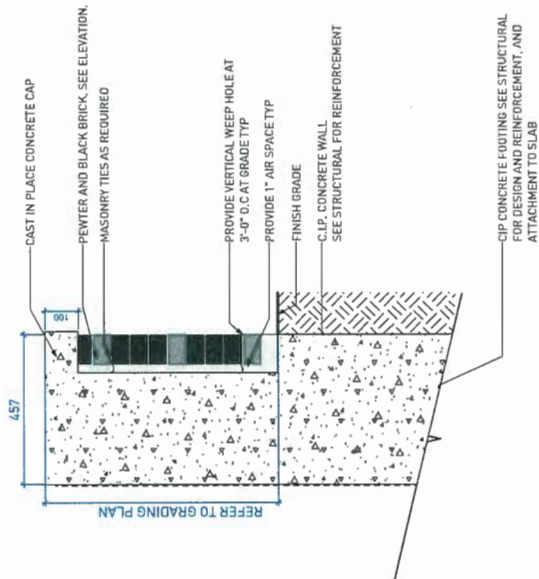
PROJECT NO.	17091
DATE	2018/11/20
FILE NAME	17091 Fiorella Details.vwk
PLOTTED	19-4-18
DRAWN	JD
REVIEWED	BH
CHECKED	



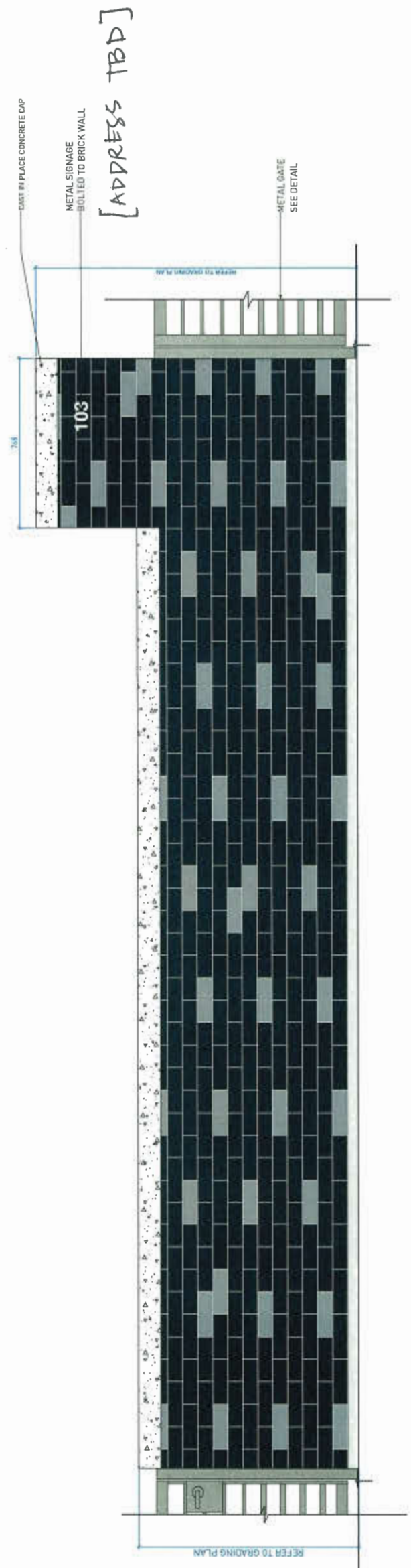


PWL Partnership, Landscape Architecture Inc.  
 101 West Park Avenue  
 Vancouver BC Canada V6E 2T6  
 www.pwland.com  
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REV.	DATE	DESCRIPTION
1	18-1-7	Issued for RFP
2	18-1-7	Issued for RFP
3	18-4-18	Issued for RFP Response
4	18-4-23	Issued for RFP Response



2 BRICK FEATURE WALL (SINGLE SIDE)  
 Scale: 1:10



1 BRICK WALL WITH SIGNAGE (LOWRISE PRIVATE ENTRY)  
 Scale: 1:10

Plan 45 May 21, 2019  
 DP 18-818748

PROJECT  
 FIORELLA

DATE  
 DETAILS

SCALE  
 AS SHOWN



PROJECT NO.	17091
DATE	2018/11/20
REV NAME	17091 Fiorella Details.vwk
PLOTTED	18-4-18
DRAWN	JD
CHECKED	BH
DATE	

<p><b>Project Name:</b> Fiorella  <b>Client:</b> Polypen  <b>Address:</b> 1855 S.W. 18th Street, Fort Lauderdale, FL  <b>Architect:</b> Francl Architecture  <b>Scale:</b> 1/8" = 1'-0"</p>	<p><b>Sheet Title:</b> East Streetscape Elevation  <b>Drawn By:</b> [Name]  <b>Checked By:</b> [Name]  <b>Date:</b> 05/21/19  <b>Project No.:</b> 21723  <b>Revision No.:</b> A-005A</p>
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FIORELLA

UNION SQUARE CENTRE

SEXSMITH ROAD STREETSCAPE

SUBJECT SITE

NO. 18-0000	DATE 05/21/2019	BY 20190521
NO. 18-0000	DATE 05/21/2019	BY 20190521
NO. 18-0000	DATE 05/21/2019	BY 20190521
NO. 18-0000	DATE 05/21/2019	BY 20190521
NO. 18-0000	DATE 05/21/2019	BY 20190521
NO. 18-0000	DATE 05/21/2019	BY 20190521
NO. 18-0000	DATE 05/21/2019	BY 20190521
NO. 18-0000	DATE 05/21/2019	BY 20190521
NO. 18-0000	DATE 05/21/2019	BY 20190521
NO. 18-0000	DATE 05/21/2019	BY 20190521

Project Name: **Fiorella**  
10511 W. 10th Street, Suite 100  
Lawrenceville, GA

Client: **Prologis**

Sheet Title: **Perspectives**

Drawn By: **Autry**  
Reviewed By: **Chen**  
Date: **05/20/19**



Project No. **21723**

Sheet No. **A-005**



**FIORELLA**

**AVANTI PHASE 3**

**SUBJECT SITE**

**BROWN ROAD STREETScape**

NO. 1	DATE	DESCRIPTION
1	05/21/19	ISSUED FOR PERMIT
2	05/21/19	ISSUED FOR PERMIT
3	05/21/19	ISSUED FOR PERMIT
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100	05/21/19	ISSUED FOR PERMIT

Forcella  
3551 N. 101st Street  
Raleigh, NC

Client: Poligen  
Sheet Title: Perspectives

Drawn by: AUCV  
Reviewed by: Coker  
Date: 04/23/19  
Project No.: 21723  
Sheet No.: A-006



PERSPECTIVE LOOKING NORTHEAST



PERSPECTIVE LOOKING NORTHWEST



PERSPECTIVE LOOKING SOUTHWEST



NO.	DATE	DESCRIPTION
1	05/21/19	ISSUED FOR PERMIT
2	05/21/19	ISSUED FOR PERMIT
3	05/21/19	ISSUED FOR PERMIT
4	05/21/19	ISSUED FOR PERMIT
5	05/21/19	ISSUED FOR PERMIT
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7	05/21/19	ISSUED FOR PERMIT
8	05/21/19	ISSUED FOR PERMIT
9	05/21/19	ISSUED FOR PERMIT
10	05/21/19	ISSUED FOR PERMIT

Project Name: Porella  
2021 N. 40th Street, Raleigh, NC

Client: Pivotal

Drawn Title: Lobby and Artist Studio

Drawn By: Author  
Reviewed By: Designer  
Date: 05/21/19



Scale: 1/8" = 1'-0"

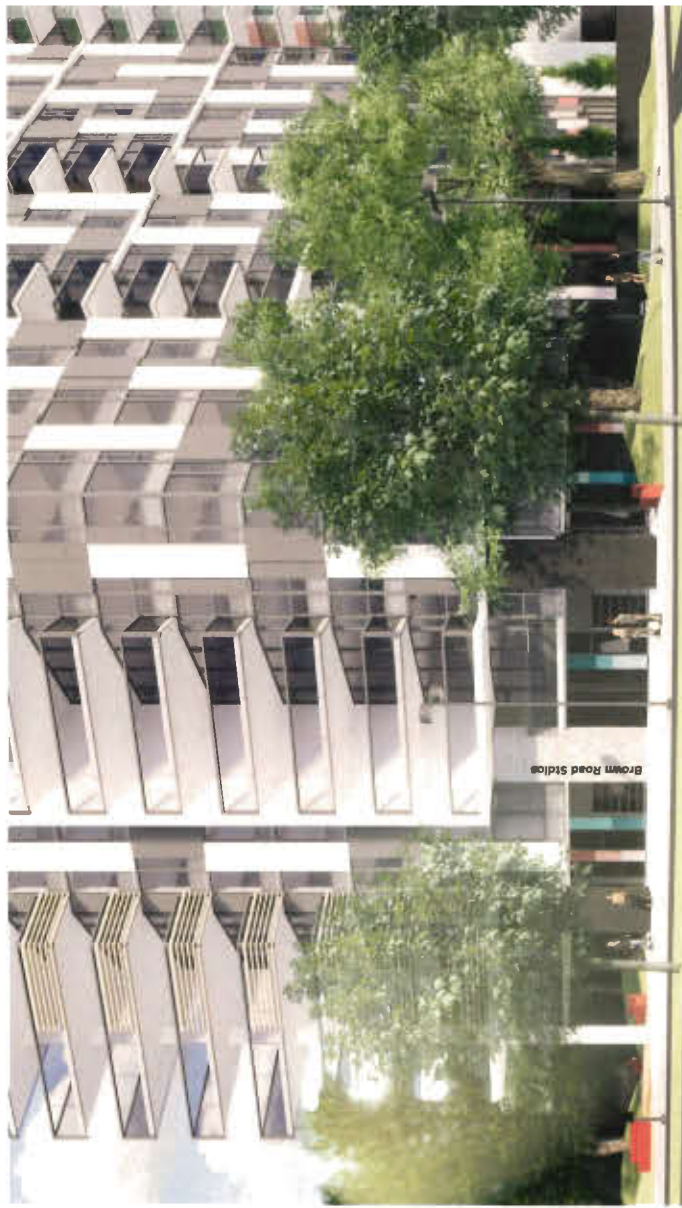
Sheet No.: 21723  
Drawing No.: A-007



ENTRANCE PERSPECTIVE



ARTIST STUDIO PERSPECTIVE LOOKING NORTHEAST



ARTIST STUDIO PERSPECTIVE LOOKING NORTHWEST

No.	Date	Description
1	05/21/2019	ISSUED FOR PERMIT
2	05/21/2019	ISSUED FOR PERMIT
3	05/21/2019	ISSUED FOR PERMIT
4	05/21/2019	ISSUED FOR PERMIT
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8	05/21/2019	ISSUED FOR PERMIT
9	05/21/2019	ISSUED FOR PERMIT
10	05/21/2019	ISSUED FOR PERMIT

Project Name: **Florida**  
2019 to 2021, Durham, NC  
ARCHITECT: FC

Client: **Prologis**

Drawn By: **Author**  
Reviewed By: **Checker**  
Date: **04/20/19**

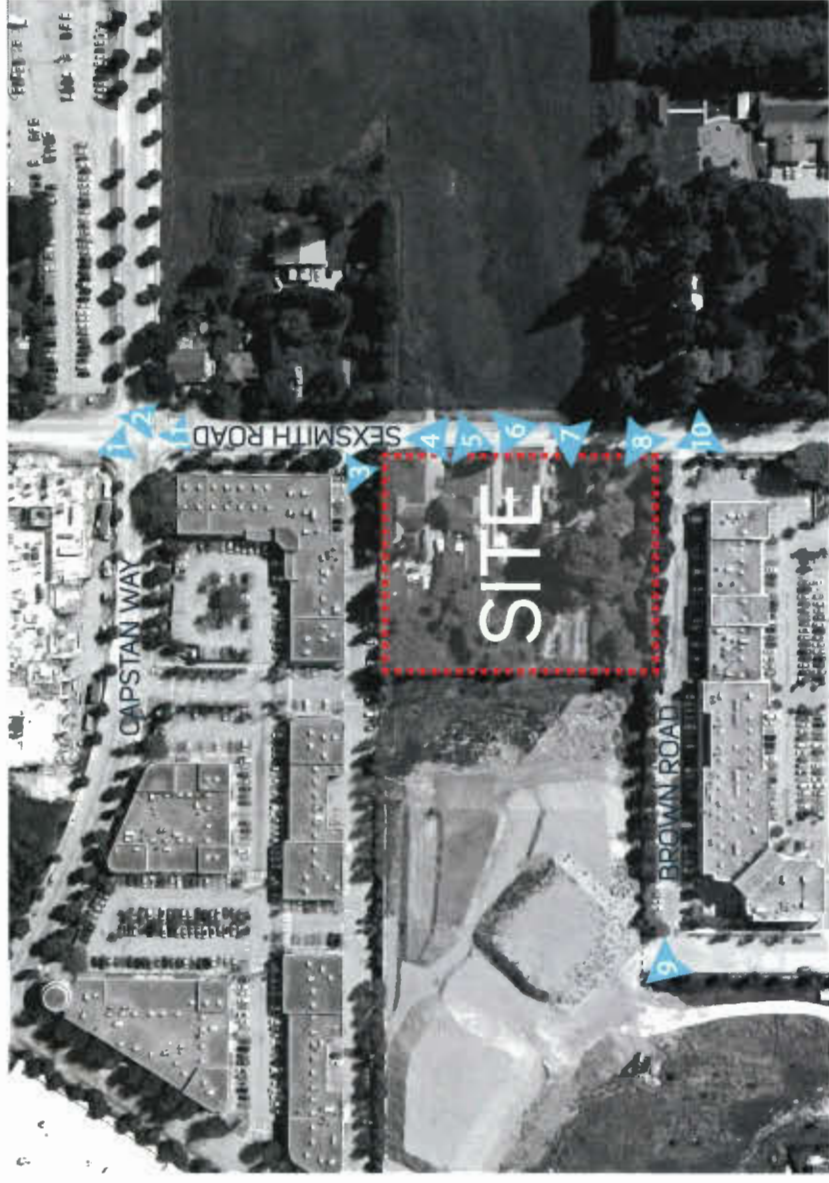
Sheet Title: **Location Plan and Streetscape Images**


Scale: **AS SHOWN**



Project No.: **21723**

Sheet No.: **A-003**



<p>PROJECT NAME: PIRELLA</p> <p>PROJECT ADDRESS: 3551 to 3557 Genesee Street, Greenwood, CO</p> <p>CLIENT: Poligon</p> <p>DESIGNER: Francl Architecture</p> <p>DATE: 04/20/19</p> <p>PROJECT NO: 21723</p> <p>REVISION NO: A-003A</p>	<p>  </p> <p> <b>Location Plan and Streetscape Images</b> </p> <p> <small>                     The images in this plan are intended to provide a visual context for the proposed development. They are not intended to represent the final design or construction of the project. The images are provided for informational purposes only and should not be used for any other purpose without the written consent of Francl Architecture.                 </small> </p> <p>                     Prepared by: Author                      Reviewed by: Checker                      Date: 04/20/19                 </p> <p>                     PROJECT NO: 21723                      REVISION NO: A-003A                 </p>
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