



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: December 18, 2018

From: Wayne Craig
Director, Development

File: DP 18-832285

Re: **Application by Aplin & Martin Consultants Inc. for a Development Permit at
8140 Garden City Road**

Staff Recommendation

That a Development Permit be issued which would permit exterior renovations to the existing drive-through restaurant at 8140 Garden City Road on a site zoned "Community Commercial (CC)."


Wayne Craig
Director, Development
(604-247-4625)

WC:jr
Att. 2

Staff Report

Origin

Aplin & Martin Consultants Ltd., on behalf of Farrell Estates Ltd., has applied to the City of Richmond for permission to undertake exterior renovations to the existing drive-through restaurant at 8140 Garden City Road on a site zoned “Community Commercial (CC).” The proposed renovation would affect the building located on the southwest corner of the property. A location map is provided in Attachment 1.

There is no rezoning application associated with this Development Permit application.

Development Information

The subject site is Garden City Shopping Centre, a 32,575 m² property which contains several commercial buildings and surface parking. The applicant proposes to undertake renovations to the exterior of one building, which is located on the southwest corner of the site. The renovations reflect a new corporate brand standard. No changes to other buildings on the site are proposed.

The existing single-storey commercial building contains two commercial retail units (CRU); one of which is the subject drive-through restaurant (Attachment 2). The original Development Permit for this building was issued by Council on June 22, 2009 (DP 08-429636). The applicant proposes exterior changes only, with no changes to the existing landscaping, site circulation, or parking arrangement. No changes to the adjoining CRU are proposed.

Background

Development surrounding the subject site is generally as follows:

- To the north, across Blundell Road: A pub on a property zoned “Pub & Sales (CP2),” and townhouses on lots zoned “Town Housing (ZT46) – South McLennan and Brighthouse Village (City Centre)” and “Town Housing (ZT51) – South McLennan Sub-Area (City Centre).”
- To the east, across Heather Street: Townhouses on a lot zoned “Low Density Townhouses (RTL1),” and single-family dwellings on lots zoned “Single Detached (RS1/E)” and “Single Detached (RS2/A).”
- To the south, across Dixon Avenue: Townhouses on lots zoned “Town Housing (ZT20) – Granville Avenue (Terra Nova) and Dixon Avenue (Ash Street Sub-Area),” “Low Density Townhouses (RTL1),” and “Low Density Townhouses (RTL2);” and single-family dwellings on lots zoned “Single Detached (RS1/B)” and “Single Detached (RS1/C).”
- To the west, across Garden City Road: A commercial building on a lot zoned “Neighbourhood Commercial (CN);” townhouses on lots zoned “Low Density Townhouses (RTL1);” and a single-family dwelling on a lot zoned “Single Detached (RS1/E).”

Staff Comments

The limited scope of the proposed exterior alterations will neither significantly impact the overall existing form of the Garden City Shopping Centre, nor result in an increase in net floor area. Further, the proposed exterior alterations will not introduce any variances to the existing zoning.

Advisory Design Panel Comments

The proposed exterior alterations are limited in scope and will not impact the overall form, massing or site plan of the existing building. Therefore, it was not presented to the Advisory Design Panel for review and comment.

Analysis***Conditions of Adjacency***

- The existing building is located in the southwest corner of the site, across the street from residential uses.
- The existing perimeter landscaping has been maintained at a sufficient height to block vehicle headlights as they circulate on site. No changes to the landscaping are proposed.
- The rooftop mechanical equipment and existing screens will be retained in place. The screens will be repainted to match the proposed colour scheme of the building.
- The proposed white colour scheme with brown and orange trim is more consistent with the surrounding commercial centre than the existing yellow and orange design.

Urban Design and Site Planning

- Site planning, pedestrian movement through the site, and vehicle circulation were reviewed and approved through the Development Permit issued in 2009. Staff are satisfied that the existing condition remains consistent with current urban design guidelines. No changes are proposed.

Architectural Form and Character

- The existing building is clad primarily in stucco painted yellow and brown. Architectural projections above the roofline highlight the building entrances and drive-through pick-up window.
- The proposed renovations would remove the architectural projections and add new fibre cement cladding over top of the existing stucco.
- In areas without new cladding, the existing stucco will be repainted white.
- A signature “boomerang” feature will be added to highlight the roof line. This feature is proposed to be backlit by indirect light. Light fixtures pointed at the building face will provide illumination.
- Changes to the business signage, including both building-mounted signs and a free-standing pylon sign, are proposed, and will be subject to separate permits under Richmond Sign Regulation Bylaw 9700.

Landscape Design and Open Space Design

- Staff conducted a site visit and have determined that the landscaping approved through the previous Development Permit has been maintained in good condition. Therefore, no changes to the landscaping or outdoor spaces are proposed.

Crime Prevention Through Environmental Design

- The proposed exterior renovations will have a limited impact on CPTED principles. Exterior lighting and building glazing will be maintained to provide adequate visibility of the site.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Jordan Rockerbie
Planning Technician
(604-276-4092)

JR:blg

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).

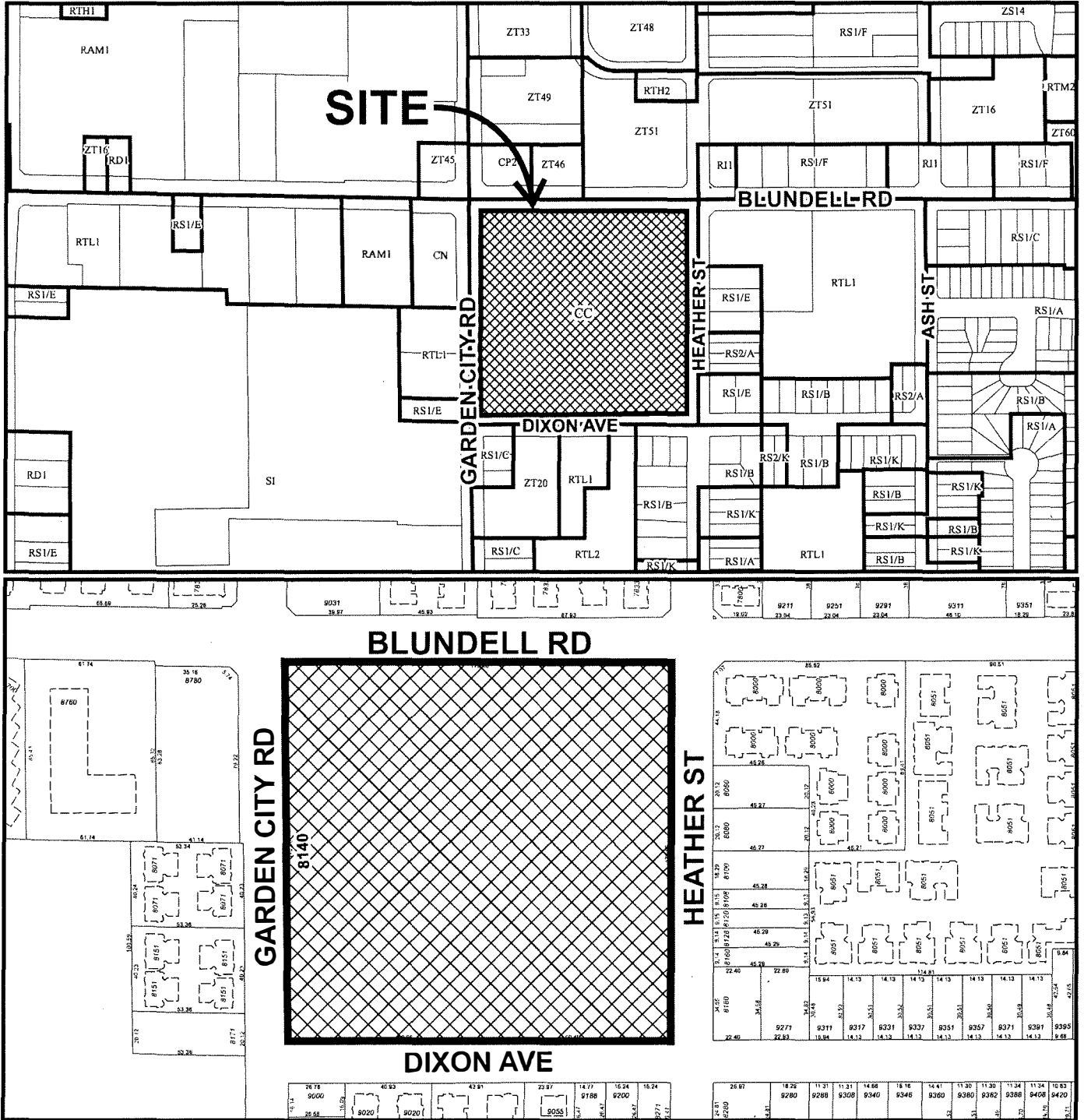
Attachments:

Attachment 1: Location Map and Aerial Photo

Attachment 2: Existing Condition



City of Richmond



DP 18-832285

Original Date: 09/13/18
 Revision Date:
 Note: Dimensions are in METRES



City of Richmond



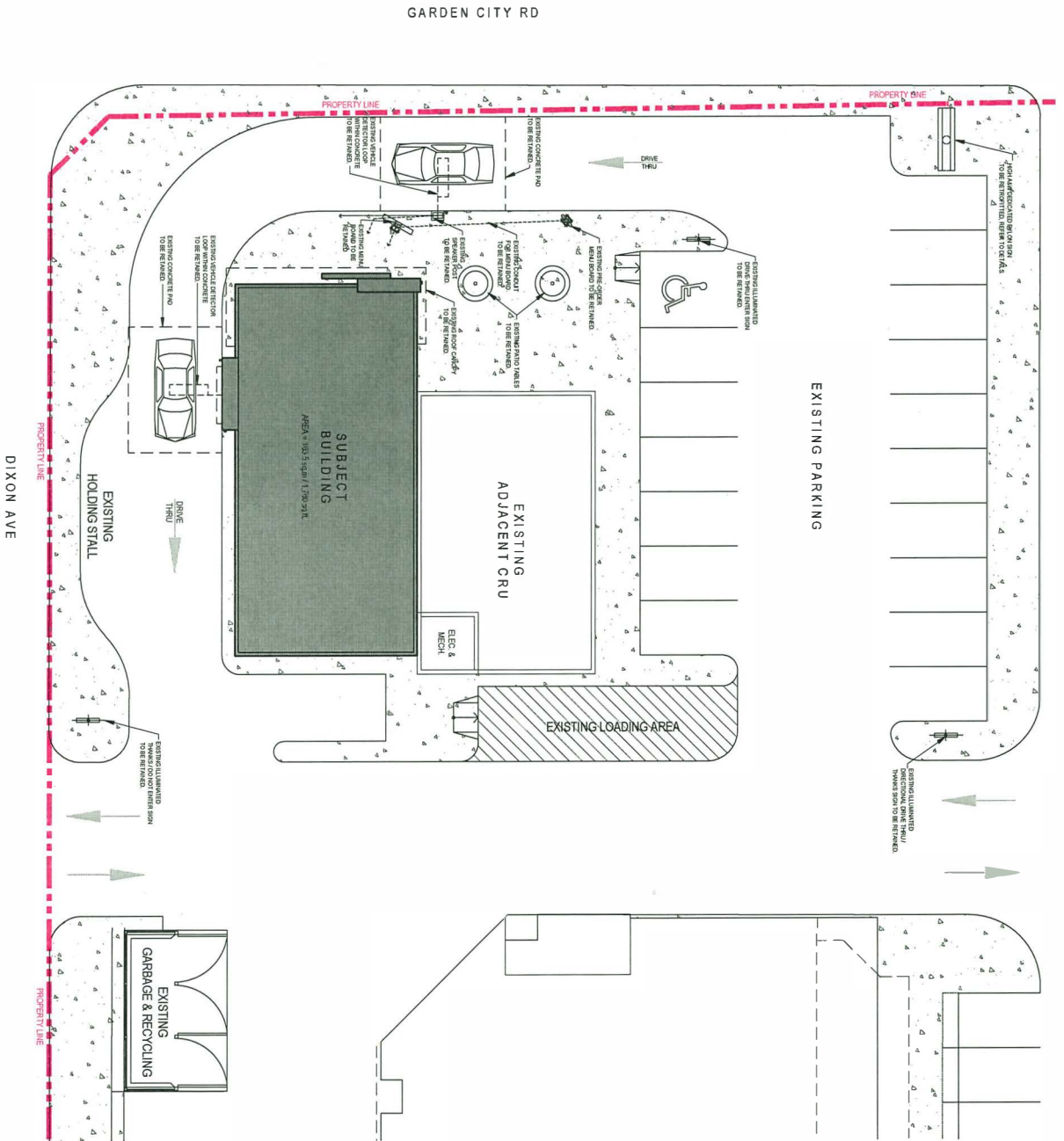
DP 18-832285

Original Date: 12/12/18

Revision Date:

Note: Dimensions are in METRES

1 SITE PLAN
 SCALE: 1/8" = 1'-0"
 DATE: 11/18/2018
 PROJECT: ASU RESTAURANT EXTERIOR RENOVATION



- GENERAL NOTES:**
1. ARCHITECTURAL DRAWINGS SHALL NOT BE SCALED.
 2. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, UTILITIES, ETC. AND REQUIRED CLEARANCES AGAINST THE ARCHITECT'S AND ENGINEER'S PRINTS AND RECORD DRAWINGS OF WORK.
 3. ALL DIMENSIONS OF EXISTING CONDITIONS SHALL BE VERIFIED BY THE ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION.
 4. EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED OR INDICATED BY THE ARCHITECT.
 5. ALL EXISTING DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED OR INDICATED BY THE ARCHITECT.
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 9. ALL EXISTING DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED OR INDICATED BY THE ARCHITECT.
 10. ALL EXISTING DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED OR INDICATED BY THE ARCHITECT.

DATE:	11/18/2018	REVISION:	1
AS NOTED		PROJECT NO.	18-20018
A1.1			

PROJECT:
 ASU RESTAURANT
 EXTERIOR RENOVATION
 814 GARDEN CITY RD
 GARDEN CITY, MO 64501

SITE PLAN



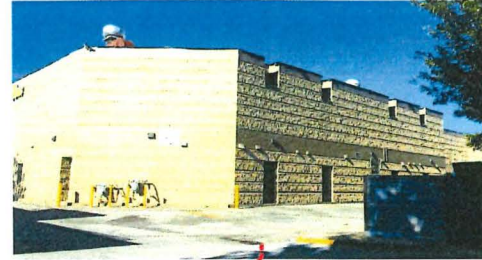
201 - 724-6246
 201 - 724-6247
 201 - 724-6248
 Email: general@aplunmartin.com



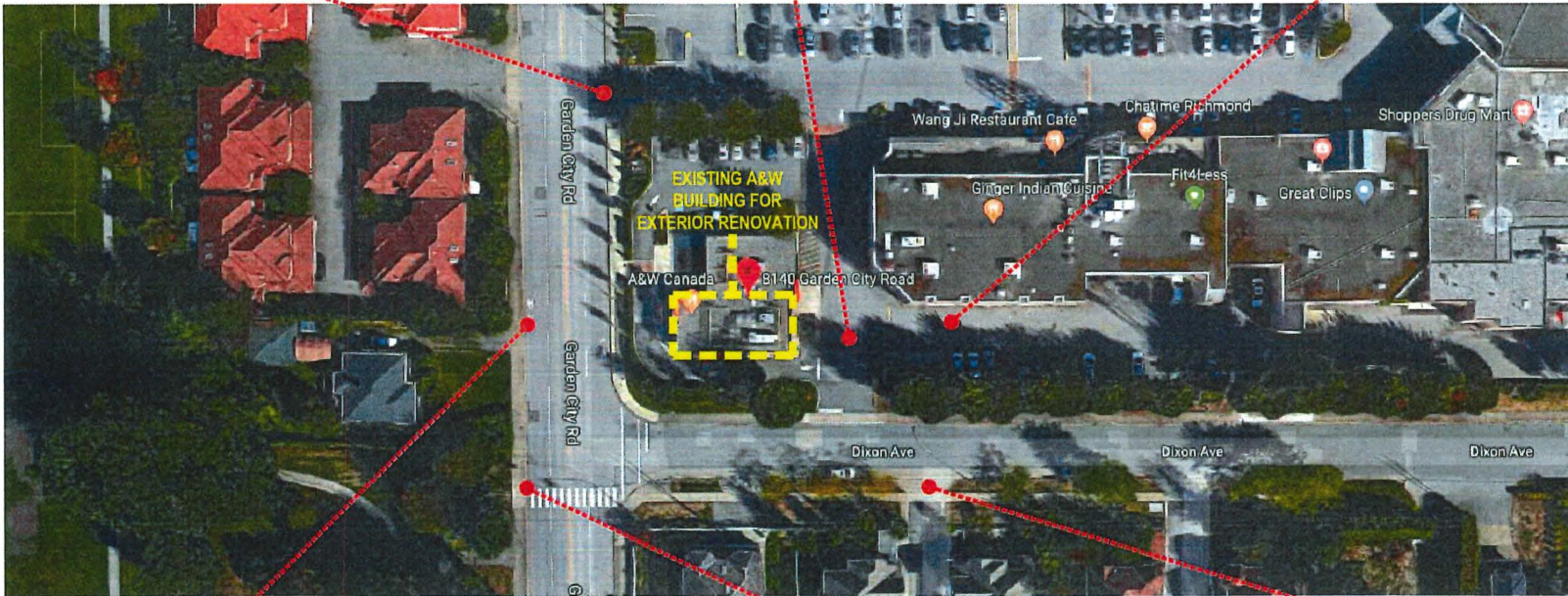
COMMERCIAL COMPLEX (NORTH)



DRIVEWAY FROM DIXON AVENUE (EAST)



COMMERCIAL COMPLEX (EAST)



RESIDENTIAL TO THE WEST (GARDEN CITY ROAD)



SCHOOL YARD (SOUTH WEST)



RESIDENTIAL TO THE SOUTH (DIXON AVE)

REVISIONS

NO.	DATE	DESCRIPTION	BY

**A&W RESTAURANT
 GARDEN CITY
 EXTERIOR RENOVATION**

9146 GARDEN CITY RD
 SURREY, BC
 V3W 2G3

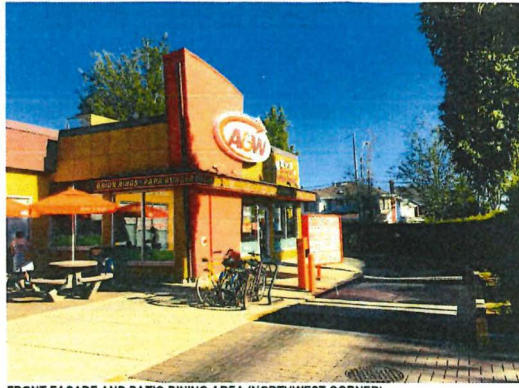
SITE CONTEXT PHOTOGRAPHS

NO.	DATE	DESCRIPTION
HTS 18-2018-01		
A1.2		18-2008

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ADJACENT CRU & PATIO DINING AREA (NORTHWEST CORNER)



FRONT FACADE AND PATIO DINING AREA (NORTHWEST CORNER)



FRONT FACADE AND DRIVE-THROUGH SPEAKER AND MENU BOARD (NORTHWEST CORNER)



FRONT FACADE (SOUTHWEST CORNER)



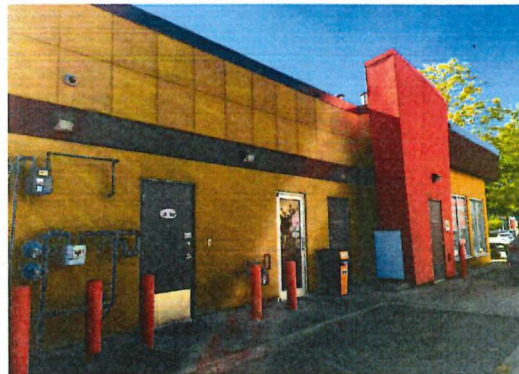
DRIVE-THROUGH ORDER PICK-UP (SOUTHWEST CORNER)



SOUTH FACADE VIEW FROM DIXON AVE (SOUTH)



DRIVE-THROUGH EXIT AND EAST FACADE (SOUTHEAST CORNER)



REAR FACADE (EAST)



PYLON SIGN ALONG GARDEN CITY ROAD ENTRANCE (NORTHWEST)

**APLIN
MARTIN**
Appl & Martin Consultants Ltd.
801 - 12448 82 Avenue, Surrey, B.C. V3W 2E9
Tel: (604) 587-8068, Fax: (604) 597-8061
Email: general@aplins.com

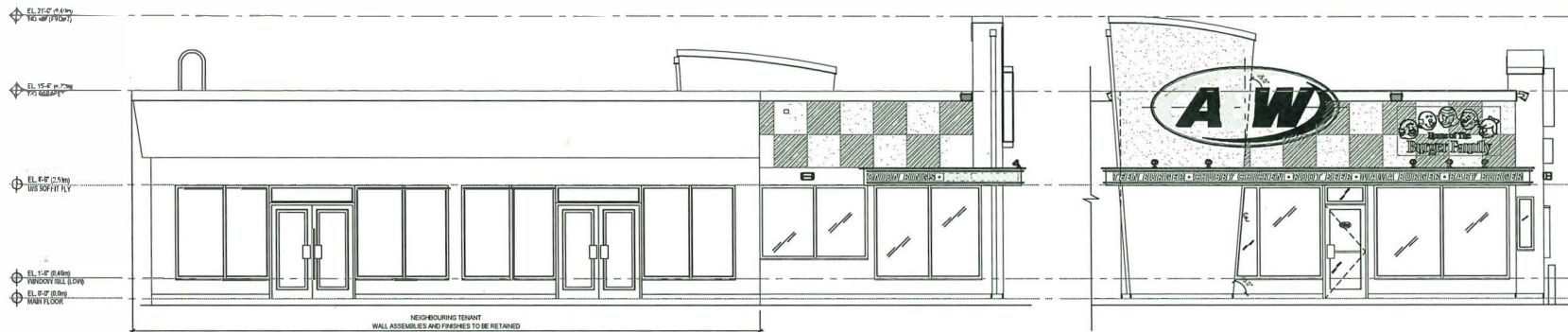
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5. THE CLIENT IS RESPONSIBLE FOR THE SAFETY OF ALL PERSONNEL AND THE PUBLIC DURING THE CONSTRUCTION OF THE PROJECT.

PROJECT
**AGW RESTAURANT
GARDEN CITY
EXTERIOR RENOVATION**
6440 GARDEN CITY RD
RICHMOND, BC
V6V 2W9

EXISTING
CONDITIONS
PHOTOGRAPHS

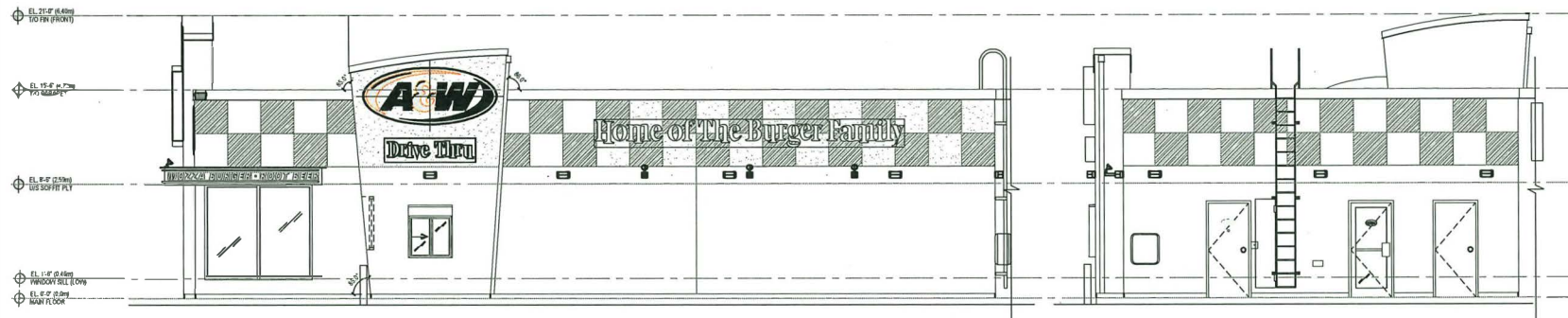
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A1.3		16-2008	

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1 EXISTING EXTERIOR ELEVATION - NORTH
A4.1 SCALE: 1/4" = 1'-0"

2 EXISTING EXTERIOR ELEVATION - WEST
A4.1 SCALE: 1/4" = 1'-0"



3 EXISTING EXTERIOR ELEVATION - SOUTH
A4.1 SCALE: 1/4" = 1'-0"

4 EXISTING EXTERIOR ELEVATION - EAST
A4.1 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. ARCHITECTURAL DRAWINGS SHALL NOT BE SCALED.
2. THE CONTRACTOR SHALL VERIFY / CONFIRM ALL DIMENSIONS, DETAILS, LEVELS AND REQUIRED CLEARANCES. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
3. VARIATIONS AND / OR MODIFICATIONS OF INFORMATION INDICATED ON THESE DRAWINGS SHALL NOT PROCEED WITHOUT WRITTEN PERMISSION / AUTHORIZATION BY THE ARCHITECT.
4. EXISTING CONDITIONS SHOWN ARE BASED ON RECORD DRAWINGS AND / OR ORIGINAL CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
5. ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE CODES AS ADOPTED AND AMENDED BY THE AUTHORITY HAVING JURISDICTION.
6. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
7. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING / FACE OF CONCRETE / MASONRY OR GRID LINE AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
8. ALL DOORS AND WINDOWS IN WOOD STUD WALL SHALL BE DIMENSIONED TO CENTRE OF ROUGH OPENING. ALL WINDOWS IN CONCRETE / MASONRY WALL SHALL BE DIMENSIONED TO EDGE OF ROUGH OPENING.

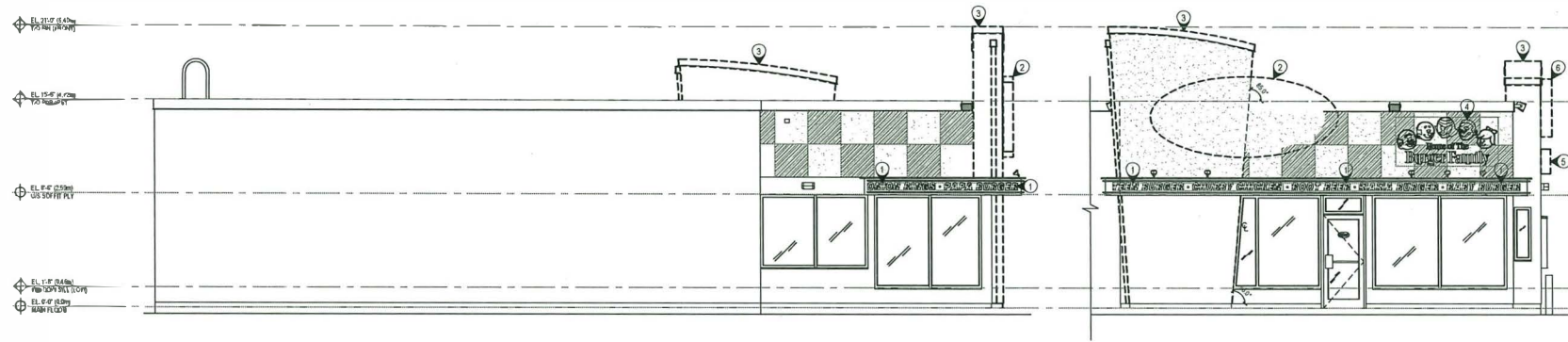
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PROJECT
**A&W RESTAURANT
 GARDEN CITY
 EXTERIOR RENOVATION**
 6140 GARDEN CITY RD
 RICHMOND, BC
 V6Y 2N8

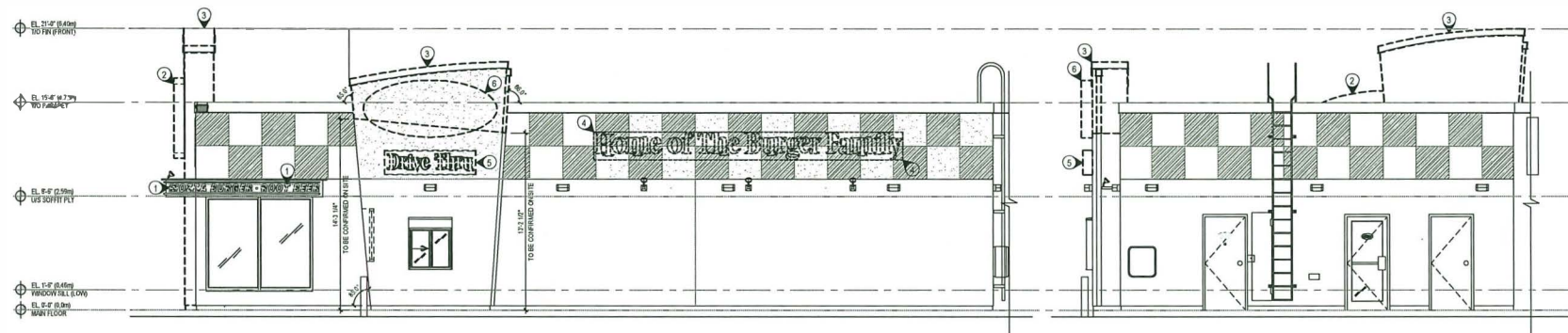
**EXISTING
 EXTERIOR
 ELEVATIONS**

SCALE	REGION
1/4" = 1'-0"	1
A4.1	18-2008



1 EXTERIOR ELEVATION - DEMOLITION (NORTH)
A4.2 SCALE: 1/4" = 1'-0"

2 EXTERIOR ELEVATION - DEMOLITION (WEST)
A4.2 SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION - DEMOLITION (SOUTH)
A4.2 SCALE: 1/4" = 1'-0"

4 EXTERIOR ELEVATION - DEMOLITION (EAST)
A4.2 SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

- 1 EXISTING SIGNS AND LIGHTS TO BE REMOVED. INSTALL NEW FLASHING. REFER TO EXTERIOR ELEVATIONS AND WALL SECTIONS.
- 2 EXISTING 14" AWN SIGN TO BE REMOVED AND RELOCATED. REFER TO EXTERIOR ELEVATIONS AND WALL SECTIONS.
- 3 EXISTING STUCCO FINISH, FLASHING AND PARAPET / WALL ASSEMBLY, TO BE REMOVED. MATCH HEIGHT OF EXISTING LOW PARAPET. PATCH AND REPAIR REMAINING SURFACES AS NECESSARY.
- 4 EXISTING 'HOME OF THE BURGER FAMILY' SIGN, TO BE REMOVED.
- 5 EXISTING DRIVE THRU SIGN, TO BE REMOVED.
- 6 EXISTING 10" AWN LOGO, TO BE REMOVED AND RELOCATED. REFER TO EXISTING ELEVATIONS AND WALL SECTIONS.

GENERAL NOTES:

- 1 ARCHITECTURAL DRAWINGS SHALL NOT BE SCALED.
- 2 THE CONTRACTOR SHALL VERIFY / CONFIRM ALL DIMENSIONS, DATUMS, LEVELS AND REQUIRED CLEARANCES. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
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- 6 ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE.
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- 8 ALL DOORS AND WINDOWS IN WOOD STUD SHALL BE DIMENSIONED TO CENTRE OF ROUGH OPENING. ALL WINDOWS IN CONCRETE / MASONRY WALL SHALL BE DIMENSIONED TO EDGE OF ROUGH OPENING.

REV	DATE	DESCRIPTION	OR	RV
1	APR 27 18	RTD FOR APPROVAL	AGS	R

PROVIDED AND APPROVED AS A INSTRUMENT OF SERVICE, WITH THE EXCEPT OF APPLA SURETY CONTRACTORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

PROJECT: A&W RESTAURANT GARDEN CITY EXTERIOR RENOVATION
816 G GARDEN CITY RD RICHMOND, BC V6Y 2G9

EXTERIOR ELEVATIONS DEMOLITION

SCALE: 1/4" = 1'-0"	REVISION: 1
DRAWING NO: A4.2	PROJECT NO: 18-2008



City of Richmond

Development Permit

No. DP 18-832285

To the Holder: APLIN & MARTIN CONSULTANTS INC.

Property Address: 8140 GARDEN CITY ROAD

Address: 1680 - 13450 102 AVENUE
SURREY, BC V3T 5X3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #2 attached hereto.
4. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.
5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

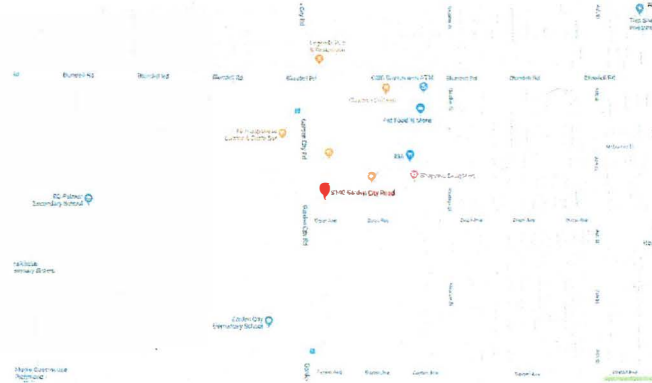
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR

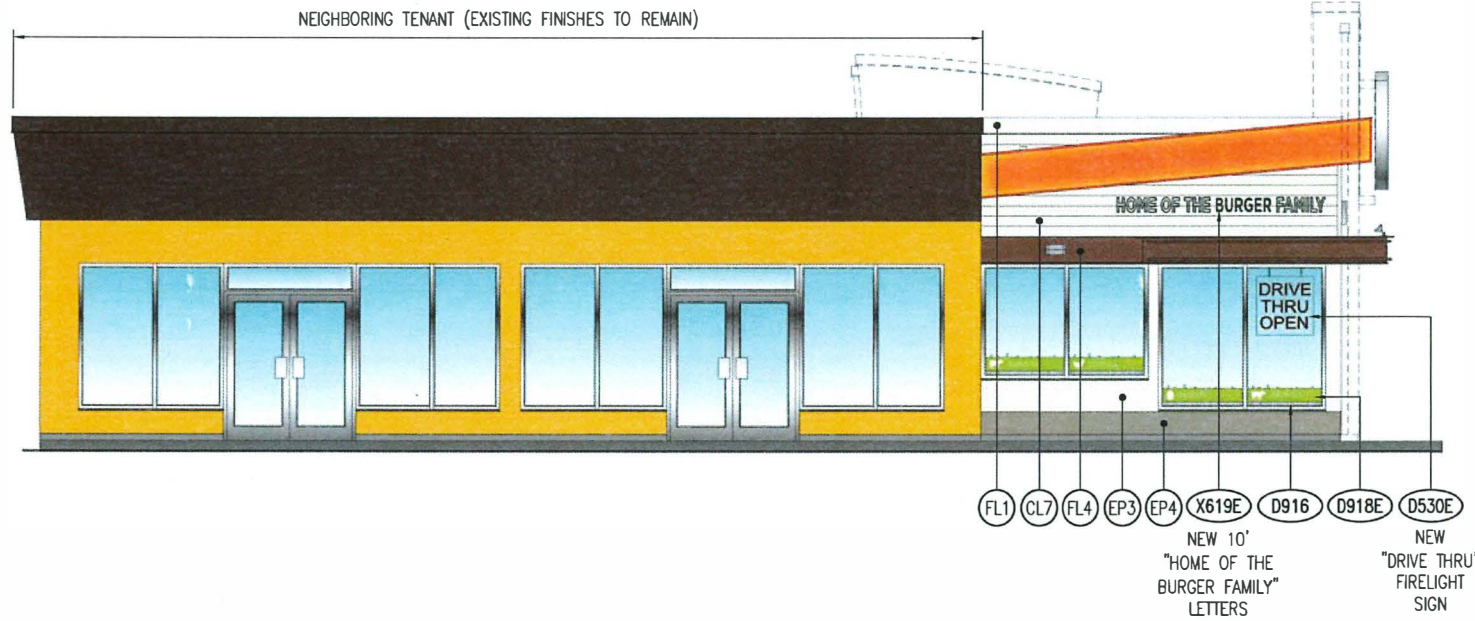
A&W RESTAURANT GARDEN CITY

8140 GARDEN CITY RD
RICHMOND, BC
V6Y 2N9

GENERAL NOTES	SHEET DIRECTORY	CONTRACT REQUIREMENTS																
<p>ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AS ADOPTED AND AMENDED BY THE AUTHORITY HAVING JURISDICTION.</p> <p>THESE DRAWINGS ARE SUPPLIED TO THE CONTRACTOR AND OTHERS FOR THEIR USE FOR THIS SPECIFIC PROJECT. ALL COPIES OF THESE DRAWINGS SHALL REMAIN THE PROPERTY OF APLIN & MARTIN AND SHALL NOT BE REUSED OR REPRODUCED WITHOUT PERMISSION OF APLIN & MARTIN.</p> <p>THE ORGANIZATION OF DOCUMENTS ARE NOT INTENDED TO CONTROL THE DIVISION OF WORK. DIVISION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>THE ORGANIZATION OF DOCUMENTS ARE NOT INTENDED TO CONTROL THE DIVISION OF WORK. DIVISION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY, FACE OF CONCRETE OR GRID LINE AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.</p> <p>CONTRACTOR SHALL VERIFY DIMENSIONS, REQUIRED CLEARANCES, AND POWER AND PLUMBING REQUIREMENTS FOR ALL OWNER AND NIC ITEMS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.</p> <p>EXISTING CONDITIONS SHOWN ARE BASED ON RECORD DRAWINGS AND /OR ORIGINAL CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.</p> <p>ALL CONSULTANTS' AND ARCHITECTS' DRAWINGS AND SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH EACH OTHER.</p> <p>CONTRACTOR TO KEEP AS-BUILT RECORDS OF CONSTRUCTION AND MAKE AVAILABLE TO THE ARCHITECT AT PROJECT CLOSE.</p>	<p><u>ARCHITECTURAL</u></p> <p>A2.0 COVER SHEET A1.1 SITE PLAN A2.1 EXISTING FLOOR PLAN A4.1 EXTERIOR ELEVATIONS - EXISTING A4.2 EXTERIOR ELEVATIONS - DEMOLITION A4.3 EXTERIOR ELEVATIONS - PROPOSED A4.4 EXTERIOR ELEVATIONS - PROPOSED A4.5 EXTERIOR ELEVATIONS - COLOURED A4.6 PYLON SIGN ELEVATIONS A5.1 WALL SECTIONS A6.2 WALL SECTIONS</p>	<p>CORRESPONDENCE: ALL CORRESPONDENCE MUST GO THROUGH THE ARCHITECT SO THAT ALL INFORMATION RELATIVE TO THE PROJECT CAN BE PROPERLY DOCUMENTED, COORDINATED AND TRACKED. ANY PERTINENT CORRESPONDENCE NOT INCLUDING THE ARCHITECT SHALL BE SUBMITTED TO THE ARCHITECT IN THE FORM OF WRITTEN MEETING MINUTES. RFI'S (REQUEST FOR INFORMATION) ANY QUESTIONS / CLARIFICATIONS REQUIRED BY THE CONTRACTOR SHALL BE SUBMITTED IN WRITING (EMAIL) TO THE ARCHITECT IN THE FORM OF A RFI (REQUEST FOR INFORMATION). CONTRACTOR SHALL NUMBER HIS/HER RFI'S SEQUENTIALLY AND INCLUDE ANY SUB-CONTRACTOR RFI'S WITHIN THEIR NUMBERING SYSTEM. SEPARATE SUB-CONTRACTOR RFI'S FORWARDED DIRECTLY TO THE ARCHITECT WILL NOT BE ACCEPTED. THE ARCHITECT MAY ALSO ASK QUESTIONS/CLARIFICATIONS FROM THE CONTRACTOR IN THE FORM OF A RFI. AS/IS (ARCHITECTURAL SUPPLEMENTAL INFORMATION) THE ARCHITECT MAY SUBMIT ADDITIONAL DESIGN INFORMATION DURING THE COURSE OF CONSTRUCTION IN THE FORM OF AN ASI. IF THE CONTRACTOR BELIEVES THE ADDITIONAL INFORMATION CONSTITUTES A CHANGE IN PROJECT COST OR TIME, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT. ASK'S (ARCHITECTURAL SKETCHES) ARCHITECTURAL SKETCHES MAY BE ISSUED DURING THE COURSE OF CONSTRUCTION. THEY WILL ACCOMPANY RFI'S, ASI'S, POOS OR CO'S (CHANGE ORDERS) BUT WILL NOT BE ISSUED ON THEIR OWN. SIMILARLY STRUCTURAL, SSK, MECHANICAL MSK OR ELECTRICAL ESK... MAY BE ISSUED.</p> <p>PROGRESS DRAWS: PROGRESS DRAW APPLICATIONS SHALL BE SUBMITTED TO THE ARCHITECT PER THE REQUIREMENTS OF THE CCDC2 CONTRACT.</p> <p>CHANGES: CHANGES IN THE PROJECT WILL BE ISSUED AS A: CO (CHANGE ORDER) CD (CHANGE DIRECTIVE) PROPOSED CHANGES WILL BE INITIATED BY THE ARCHITECT FOR THE CONTRACTOR TO PRICE AND WILL BE ISSUED AS A: PCO (PROPOSED CHANGE ORDER)</p> <p>SUBMITTALS: EMAIL SUBMITTALS ARE ACCEPTABLE AND ENCOURAGED. CONTRACTOR TO IDENTIFY LONG LEAD ITEMS AT START OF PROJECT. TURN AROUND TIME FOR SUBMITTAL REVIEWS BY THE ARCHITECT SHALL BE MAXIMUM 5 DAYS UNLESS OTHERWISE AGREED. ARCHITECT WILL SUPPLY THE CONTRACTOR WITH A LIST OF SUBMITTALS AT THE CONSTRUCTION KICK-OFF MEETING.</p> <p>SCHEDULES: CONTRACTOR TO KEEP A CURRENT CONSTRUCTION SCHEDULE AND MAKE AVAILABLE TO THE ARCHITECT... GANTT CHARTS ARE PREFERRED.</p> <p>MEETING MINUTES: CONTRACTOR TO KEEP MEETING MINUTES OF ALL CONSTRUCTION MEETINGS INCLUDING MEETINGS WHERE THE ARCHITECT IS NOT PRESENT. MINUTES TO BE EMAILED TO PROJECT TEAM WITHIN 3 DAYS. RECORD DWGS (AS BUILTS): THE CONTRACTOR SHALL KEEP A RECORD OF ALL AS BUILT CONDITIONS AND MAKE AVAILABLE TO THE CONSULTANT AT PROJECT CLOSE. ALL UNDERGROUND PIPING, CONDUITS... SHALL BE DIMENSIONED TO GRID LINES OR SUITABLE REFERENCE POINTS.</p> <p>INSPECTIONS: AT CONSTRUCTION COMMENCEMENT THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO DETERMINE WHAT INSPECTIONS HE/SHE WILL REQUIRE TO PERFORM DURING THE COURSE OF THE PROJECT (REQUIREMENTS DIFFER FROM JURISDICTION TO JURISDICTION). THE CONTRACTOR SHALL THEN BE RESPONSIBLE FOR NOTIFYING THE CITY INSPECTOR WHEN THE WORK IS READY TO BE INSPECTED (USUALLY ONE DAY BEFORE THE REQUIRED INSPECTION - CONFIRM WITH JURISDICTION). THE CONSULTANT SHALL ALSO BE NOTIFIED AT SUCH TIMES (IN WRITING / EMAIL). ALL INSPECTOR CERTIFICATES SHALL BE FILED BY THE CONTRACTOR AND HAND OVER TO THE CONSULTANT AT SUBSTANTIAL COMPLETION.</p> <p>SUBSTANTIAL COMPLETION: SUBSTANTIAL COMPLETION WALK-THRU SHALL BE SCHEDULED MINIMUM 1 WK PRIOR TO PROJECT COMPLETION/CLIENT MOVE-IN. THIS WILL ALLOW ADEQUATE TIME TO CORRECT ALL DEFICIENCIES. ARCHITECT WILL PREPARE A DEFICIENCY LIST AT TIME OF FINAL WALK-THRU AND DISTRIBUTE. CONTRACTOR TO HAND OVER ALL REQUIRED FINAL DOCUMENTATION TO THE ARCHITECT AT FINAL WALK-THRU.</p>																
<p>PROJECT DEVELOPER / GENERAL CONTRACTOR</p> <p>INTERNATIONAL INVESTMENTS INC. 6 - 2054 WHATCOM ROAD ABBOTSFORD, BC V3G 2K8 CONTACT: AHSAN BAZDEALI 604 451-0797 ahsan@prudentmanagement.ca</p> <p>ARCHITECTURAL:</p> <p>APLIN & MARTIN LTD. SUITE 1680- 13450 102 AVENUE SURREY, BC V3T 5X3 CONTACT: ANDY SEEL, ARCHITECT AIBC 604-639-3456 x107 ase@aplinmartin.com</p>	<p>LOCATION PLAN</p> <p>PROPERTY INFORMATION</p> <p>ADDRESS: 8140 GARDEN CITY RD RICHMOND, BC</p> <p>LEGAL DESCRIPTION: LOT 9 SECTION 22 BLK 4N/RSW PL BCP41215</p> <p>PID: 027-939-553</p> 	<p>1 APR 27 16 09:59 FOR BUILDING PERMIT AGRS AI</p> <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>DR</th> <th>RV</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND THEIR MAKE MUST BEAR THE NAME. ALL PRINTS TO BE RETURNED.</p> <p>THIS DRAWING HAS NOT BEEN CHECKED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.</p> <p>PROJECT: A&W RESTAURANT GARDEN CITY EXTERIOR RENOVATION</p> <p>8140 GARDEN CITY RD RICHMOND, BC V6Y 2N9</p> <p>SHEET TITLE: COVER SHEET</p> <table border="1"> <thead> <tr> <th>SCALE</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td>AS NOTED</td> <td>1</td> </tr> <tr> <td>DRAWING NO. A0.0</td> <td>PROJECT NO. 18-2008</td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	DR	RV						SCALE	REVISION	AS NOTED	1	DRAWING NO. A0.0	PROJECT NO. 18-2008
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DP 18-832285

PLAN 1A



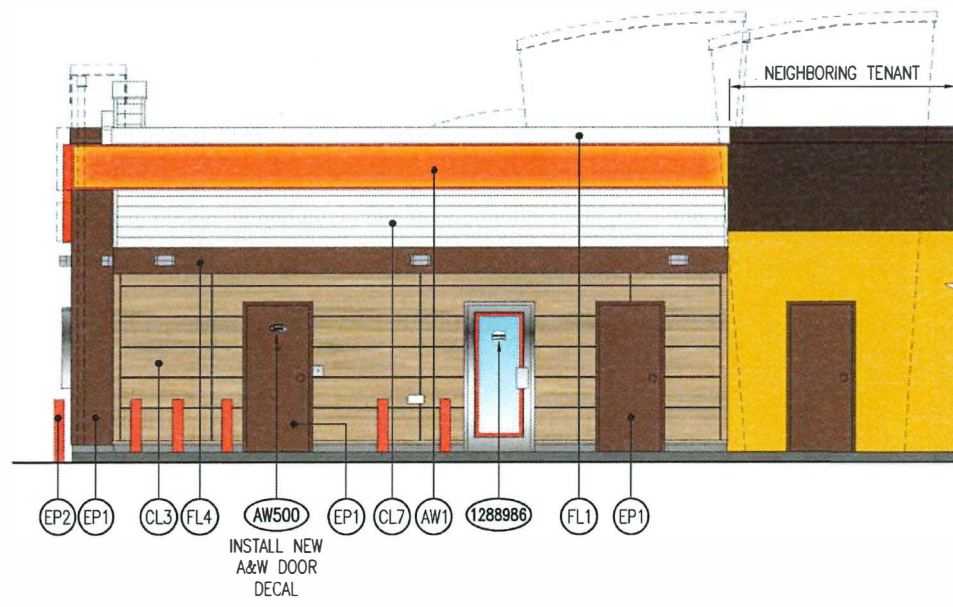
1 PROPOSED EXTERIOR ELEVATION - NORTH
A4.5 SCALE: NTS



2 PROPOSED EXTERIOR ELEVATION - WEST
A4.5 SCALE: NTS



3 PROPOSED EXTERIOR ELEVATION - SOUTH
A4.5 SCALE: NTS



4 PROPOSED EXTERIOR ELEVATION - EAST
A4.5 SCALE: NTS

REV	DATE	DESCRIPTION	DR	RV
2	AUG 07 15 15:53	FOR DEVELOPMENT PERMIT	RSIAG	AI
1	APR 27 15 15:53	FOR BUILDING PERMIT	RSIAG	AI

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PROJECT:
A&W RESTAURANT
GARDEN CITY
EXTERIOR RENOVATION

8140 GARDEN CITY RD
RICHMOND, BC
VEY 2N9

**COLOURED
EXTERIOR
ELEVATIONS**

SCALE	REVISION
NTS	1
DRAWING NO.	PROJECT NO.
A4.5	18-2008

DP 18-832285

PLAN 2C