



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** May 8, 2019

**From:** Wayne Craig  
Director of Development

**File:** DP 17-776441

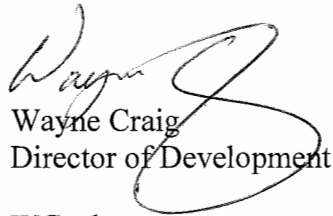
**Re:** **Application by Bismark Consulting Ltd. for a Development Permit at 7000/7002,  
7020 Williams Road & 10060 Gilbert Road**

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### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 15 townhouse units with two secondary suites at 7000/7002, 7020 Williams Road & 10060 Gilbert Road on a site zoned "Medium Density Townhouses (RTM3)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum exterior side yard setback to Gilbert Road from 6.0 m to 4.5 m.



Wayne Craig  
Director of Development

WC:sds  
Att. 3

## Staff Report

### Origin

Bismark Consulting Ltd. has applied to the City of Richmond for permission to develop 15 townhouse units with two secondary suites at 7000/7002, 7020 Williams Road & 10060 Gilbert Road. The subject site is being rezoned from “Two-Unit Dwellings (RD1)” zone and “Single Detached (RS1/E)” zone to “Medium Density Townhouses (RTM3)” zone under Bylaw 9713 (RZ 16-743741), which received third reading following the Public Hearing on May 15, 2017. The subject site previously contained one duplex and two single-family dwellings, which have been demolished.

A Servicing Agreement (SA 18-829000) is associated with the proposal, which is a condition of Building Permit issuance and includes, but is not limited to, the following improvements:

- storm sewer upgrades along the Williams Road frontage;
- new concrete sidewalk and grassed and treed boulevard along the Williams Road and Gilbert Road frontage; and
- a new concrete bus pad at the existing eastbound bus stop on Williams Road.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

To the North: Across Williams Road, a nine unit townhouse development (two and three storeys) on a lot zoned “Low Density Townhouses (RTL4)”, with vehicular access from Williams Road.

To the East: A 34 unit townhouse development (two storeys) on a lot zoned “Low Density Townhouses (RTL1)”, with vehicular access from Williams Road.

To the South: Single-family dwellings on lots zoned “Single Detached (RS1/E)” fronting Gilbert Road, which are identified for townhouse development in the Arterial Road Land Use Policy.

To the West: Across Gilbert Road, single-family dwellings on lots zoned “Single Detached (RS1/E)” fronting Gilbert Road, which are identified for townhouse development in the Arterial Road Land Use Policy.

### Rezoning and Public Hearing Results

The associated rezoning application (RZ 16-743741) was presented to Planning Committee on April 4, 2017 and originally proposed a maximum floor area ratio (FAR) of 0.65 and no secondary suites. The application was supported by Planning Committee, but the applicant was asked to explore options to include secondary suites in the development. In response, the proposal was revised to include two secondary suites and a maximum FAR of 0.68 to

accommodate the suites. The revised proposal was presented at the subsequent Council meeting on April 10, 2017 and the rezoning bylaw received first reading.

The Public Hearing for the rezoning of the subject site was held on May 15, 2017. No concerns regarding the rezoning application were expressed at the Public Hearing and the rezoning bylaw received second and third readings.

Informational signage has been installed on the property and no correspondence has been received regarding the proposal.

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Medium Density Townhouses (RTM3)” zone except for the zoning variance noted below.

### **Zoning Compliance/Variations (staff comments in bold)**

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum exterior side yard setback to Gilbert Road from 6.0 m to 4.5 m.

### ***Staff supports the proposed variance due to the following:***

- ***As per Zoning Bylaw 8500, the west setback along Gilbert Road is considered the exterior side yard setback. In this context, the exterior side yard setback functions as a front yard for the proposed townhouse units along Gilbert Road. The Arterial Road Land Use Policy is generally supportive of reduced front yard setbacks, provided that an appropriate interface with neighbouring properties is provided.***
- ***The reduced exterior side yard setback (6.0 m to 4.5 m) along Gilbert Road allows for an increased interior side yard setback to the rear yards of the adjacent townhouse development to the east. The proposed setback to the east is 4.5 m, which exceeds the minimum required interior side yard setback of 3.0 m.***
- ***The proposed variance is consistent with the setbacks along Gilbert Road for the townhouse development to the north.***
- ***The variance was identified at rezoning and no concerns were raised.***
- ***Due to the required road dedication along Gilbert Road (2.0 m), the distance between the proposed building face and the back of curb on Gilbert Road would be approximately 8.8 m, despite the requested variance.***

### **Advisory Design Panel Comments**

The Advisory Design Panel (ADP) reviewed the proposal on December 20, 2018 and February 6, 2019. The Panel was supportive of the proposed form and character subject to further design development in response to their comments. The current proposal incorporates changes in response to comments from the ADP including:

- Design development of the shared outdoor amenity area along Gilbert Road.
- Reduction of the number of materials and colours proposed for the buildings.
- Design development of the narrow spaces between the three storey units.

A copy of the relevant excerpt from the ADP minutes from December 20, 2018 and February 6, 2019 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in bold italics.

## **Analysis**

### ***Conditions of Adjacency***

- The subject site is bordered by single-family development to the south, which is identified for townhouse development in the Arterial Road Land Use Policy. The existing immediate adjacency to the south is the side yard of a single-family dwelling. In response, the townhouse units along this interface are reduced to two storeys in order to provide an adequate transition to the existing single-family development. In addition, a 7.5 m setback from the south property line to the third floor of any townhouse buildings is provided.
- The direct adjacency to the east is the rear yard of existing two storey townhouse units. The proposed interior side yard setback from the ground floor and second storey to the adjacent development is 4.5 m, which exceeds the minimum required interior side yard of 3.0 m. In addition, a 7.5 m setback from the east property line to the third floor of the proposed townhouse buildings is provided. Duplex units are proposed along this interface, in order to break up the massing.
- The applicant has provided a shadow study to demonstrate how the proposed height and setbacks are articulated to address potential shadowing over adjacent properties to the east and south.
- Windows have been located carefully to avoid adjacent overlook and privacy concerns.
- Retaining walls will be provided along the south and east property lines in order to provide usable yard space for the proposed units (ranging from 0.1 m to 0.46 m in height). The proposed retaining walls will be behind the existing fences (approximately 1.8 m high) to be retained, in order to maintain privacy (cross-sections are provided in Plan #2.G).
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact neighbouring properties.
- The proposal includes roof top decks on 12 of the 15 townhouse units. Staff have worked with the applicant to setback the roof top decks an appropriate distance from the adjacent properties and the street. The proposed townhouse units adjacent to the south property line do not have roof top decks in order to address potential privacy concerns of the adjacent single-family dwelling. The roof top decks along the east property line have been significantly setback (ranging from 8.0 m to 10.3 m from the east property line) in order to address potential overlook and privacy concerns of the adjacent townhouse development.
- Access to the roof top decks is via a hatch structure to minimize visual impact from adjacent properties and the street. The applicant has confirmed compliance of the proposed roof top access structures with the BC Building Code.



- A statutory right-of-way (SRW) allowing access to/from the adjacent future development sites through the subject site (over the entry driveway and internal drive aisle) has been secured at rezoning.

### ***Urban Design and Site Planning***

- Vehicular access to the proposed development is to be from Williams Road through a new driveway at the northeast corner of the site, with future connections to the neighbouring properties to the south, secured by a SRW.
- Road dedication was secured through rezoning, which included a 2.0 m wide road dedication along both Gilbert Road and Williams Road, and a 4 m x 4 m corner cut.
- The layout of the townhouse buildings is oriented around north-south and east-west internal maneuvering drive-aisles, providing access to the unit garages.
- Units along Gilbert Road and Williams Road will have direct pedestrian access from the street and the units along the rear will have access from the internal drive aisle.
- Two of the units will contain a ground-level secondary suite (studio) of approximately 45.8 m<sup>2</sup> (493 ft<sup>3</sup>) and 40.6 m<sup>2</sup> (437 ft<sup>2</sup>) in area, which exceeds the minimum Zoning Bylaw required size (25.0 m<sup>2</sup>), which were secured at rezoning. An additional surface parking stall will be assigned to each secondary suite.
- All townhouse units will have two vehicle parking spaces in a double car garage. Vehicle parking spaces for seven units are proposed in tandem arrangement, for a total of 14 spaces (47% of total required residential parking spaces), which is consistent with the Zoning Bylaw maximum of 50%. A restrictive covenant to prohibit the conversion of the tandem garage area into habitable space has been secured at rezoning.
- A total of three visitor parking spaces will be provided, including an accessible parking space. The number of parking spaces proposed is in compliance with the minimum Zoning Bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with Zoning Bylaw requirements.
- The provision of private outdoor spaces complies with the Development Permit Guidelines (min. 30 m<sup>2</sup> per unit) of the OCP. Units have a variety of private outdoor space, including front yard, rear yard, decks and roof top decks.
- The shared outdoor amenity space is located along Gilbert Road in order to maximize tree retention opportunities. This location also offers casual surveillance from the street and adjacent units. The size of the outdoor amenity area is consistent with the OCP requirement (min. 6.0 m<sup>2</sup> per unit).
- Cash-in-lieu of indoor amenity space was secured through rezoning (\$15,000) consistent with OCP policy.
- The required waste management enclosure, as well as the covered mailbox kiosk, has been incorporated into the design of the buildings to minimize visual impact and is of an appropriate size.

### ***Architectural Form and Character***

- The proposed building form is contemporary with a building mass composed of rectangular shapes, stacked to create varying projections.

- The overall contemporary form and modern architectural expression of the proposal provides for enhanced architectural and built form variation at the corner of Gilbert Road and Williams Road.
- The street fronting units will have individual canopies and varying coloured entry doors. A pedestrian scale is generally achieved along the public streets and internal drive-aisle through the inclusion of variation in building form, projections, recesses, materials/colours and landscape features.
- The proposed building materials include hardie panel, cement board siding, and cultured stone, and are generally consistent with the OCP Design Guidelines.
- The palette of colours, including brown, grey, beige, and white accent colour on the main cladding material, are generally consistent with the contemporary design of the project.
- The proposed roof top decks are setback from the edge and utilize glass as the material for the railing to reduce visual impact from the street.

### ***Landscape Design and Open Space Design***

- Tree preservation was reviewed at rezoning stage where nine on-site trees were identified for removal. Based on a 2:1 tree replacement ratio stated in the OCP, 18 replacement trees on-site are required. The applicant is proposing to plant 18 replacement trees as per the size requirements based on the City's Tree Protection Bylaw.
- One significant Norway Maple tree (tag# 15) (80 cm dbh) located on the subject property was identified for protection. The shared outdoor amenity area was designed around the retained tree. A tree survival security of \$10,000 was secured through rezoning for the retention of this tree.
- The proposal provides a pedestrian-oriented streetscape fronting Gilbert Road and Williams Road with a landscaped edge treatment including a new tree in each front yard, lawn and patio areas, low transparent fencing, and a gate to each street fronting unit.
- All units along the rear will have a private yard with a patio and a lawn area. Various hedges, shrubs and ground covers have been selected to ensure the landscape treatment remains interesting throughout the year.
- Pockets of landscaping will be provided along the drive-aisle between entry doors/garages to soften the internal streetscape. Pedestrian access, tree planting, a variety of shrubs, fencing, and a bench and mailbox structure will be provided at the west end of the internal drive-aisle to provide visual interest at the terminus.
- An accessible wood deck structure around the tree to be retained is provided in the shared outdoor amenity area, along with seating and a variety of planting to activate the space and provide opportunities for social interaction. The wood deck structure also provides accessible access to the children's play area.
- A children's play area is proposed in the shared outdoor amenity area, and play equipment has been chosen to provide different play opportunities (i.e. climbing, social, imagination, balance, motor skills) that can be used by different age groups and for multiple purposes. Seating is provided nearby for caregivers.
- The individual roof top decks will include a hose bib for irrigation and the potential for roof top urban agriculture.
- The vehicle entrance, ends of the drive-aisle and surface parking spaces will be treated with permeable pavers for better water infiltration and variety in paving surfaces.

- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$118,366.60 in association with the Development Permit.

### ***Crime Prevention Through Environmental Design***

- Expansive glazing for each unit increases the visual presence and surveillance along Gilbert Road and Williams Road, the amenity area, as well as the internal drive aisle. All entrances are visible and overlooked by pedestrians or by neighbour's windows.
- Low permeable fencing and low landscaping are provided to maximize clear unobstructed views and casual surveillance opportunities.
- Provision of roof top decks also increases opportunities for natural surveillance and encourage "eyes on the street".
- Landscaping and fencing is provided along the street edge to distinguish the public realm and private space.

### ***Sustainability***

- As the application was submitted prior to the introduction of the Step Code requirement, the applicant has provided a report produced by a Certified Energy Advisor to confirm that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Building Permit drawings.
- The architect advised that the following design/features are incorporated into the proposal:
  - The use of low-flow water fixtures, low-energy lighting and high energy efficiency appliances;
  - High insulation and Energy Star windows to alleviate heating and cooling energy consumption;
  - Durable and long-lasting materials that can reduce building maintenance;
  - Permeable ground cover and planting to absorb rainwater runoff and reduce load on municipal sewers; and
  - Interior paint with low VOC content.

### ***Accessible Housing***

- The proposed development includes two convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a chair lift in the staircase of Unit J and installation of a vertical lift in the stacked storage space of Unit G.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell hand rails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

**Conclusions**

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 3, which has been agreed to by the applicant (signed concurrence on file).

A handwritten signature in black ink, appearing to read 'Steven De Sousa', with a long horizontal stroke extending to the right.

Steven De Sousa  
Planner 1

SDS:cas

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Meeting Minutes of the ADP (December 20, 2018 & February 6, 2019)

Attachment 3: Development Permit Considerations



**DP 17-776441**

**Attachment 1**

Address: 7000/7002, 7020 Williams Road & 10060 Gilbert Road

Applicant: Bismark Consulting Ltd.

Owner: 7000 Williams Property Holdings Ltd.

Planning Area(s): Broadmoor

Floor Area Gross: 2,485.76 m<sup>2</sup> (26,756 ft<sup>2</sup>)

Floor Area Net: 1,716.83 m<sup>2</sup> (18,479 ft<sup>2</sup>)

	Existing	Proposed
<b>Site Area:</b>	2,744 m <sup>2</sup> (29,536 ft <sup>2</sup> )	2,534.3 m <sup>2</sup> (27,279 ft <sup>2</sup> ) Road dedication: 209.7 m <sup>2</sup> (2,257 ft <sup>2</sup> )
<b>Land Uses:</b>	Single-family residential	Multiple-family residential
<b>OCP Designation:</b>	Neighbourhood Residential (NRES)	No change
<b>Zoning:</b>	Two-Unit Dwellings (RD1) and Single Detached (RS1/E)	Medium Density Townhouses (RTM3)
<b>Number of Units:</b>	4	15

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.70	0.68	None permitted
Lot Coverage – Buildings:	Max. 40%	40%	None
Lot Coverage – Non-Porous:	Max. 65%	64%	None
Lot Coverage – Live Landscaping:	Min. 25%	25%	None
Setback – Front Yard (North):	Min. 6.0 m	6.0 m	None
Setback – Exterior Side Yard (West):	Min. 6.0 m	4.5 m	<b>Variance requested</b>
Setback – Interior Side Yard (East):	Min. 3.0 m	4.5 m	None
Setback – Rear Yard (South):	Min. 3.0 m	3.0 m	None
Height:	Max. 12.0 m (3 storeys)	12.0 m (3 storeys)	None
Lot Width:	Min. 40.0 m	46 m	None
Lot Depth:	Min. 35.0 m	54 m	None
Off-street Parking Spaces – Regular (R) / Visitor (V):	Min. 2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit + 1 (R) per secondary suite	None
Off-street Spaces – Total:	Min. 30 (R) and 3 (V) = 33	30 (R) and 3 (V) + 2 (R) for secondary suites = 35	None

Off-street Parking Spaces – Accessible:	Min. 2% = 1	1	None
Tandem Parking Spaces:	Permitted – Max. 50% = 15	14	None
Small Car Parking Spaces:	Max. 50% = 15	9	None
Bicycle Parking Spaces – Class 1:	1.25 per unit	2.0 per unit	None
Bicycle Parking Spaces – Class 2:	0.2 per dwelling unit	0.2 per unit	None
Bicycle Parking Spaces – Total:	19 (Class 1) and 3 (Class 2)	30 (Class 1) and 3 (Class 2)	None
Amenity Space – Indoor:	Min. 50 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 6.0 m <sup>2</sup> per unit = 90 m <sup>2</sup>	90 m <sup>2</sup>	None
Private Space – Outdoor:	Min. 30 m <sup>2</sup> per unit	Complies	None

**Excerpt from the Meeting Minutes of the  
Advisory Design Panel**

**Thursday, December 20, 2018 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall**

**DP 17-776441 – 15-UNIT TOWNHOUSE DEVELOPMENT**

ARCHITECT: Zhao XD Architect Ltd.  
LANDSCAPE ARCHITECT: PMG Landscape Architects  
PROPERTY LOCATION: 7000, 7020, 7002 Williams Road & 10060 Gilbert Road

**Applicant's Presentation**

Xuedong Zhao, Zhao XD Architect Ltd., and Denitsa Dimitrova, M2 Landscape Architects, presented the project and answered queries from the Panel on behalf of the applicant.

**Panel Discussion**

*Comments from Panel members were as follows:*

- the package provided by the applicant lacks information on how the proposed development fits into its larger context;

*The proposed townhouse design follows the City's OCP and Bylaw guidelines and building heights, setbacks and massing are studied and have been demonstrated to fit its neighborhood context (see Sheets A0.1 & A0.2 for additional streetscape elevations, context plans and photos).*

- the applicant needs to consider the relationship between the different pieces of the project, e.g. the nature of the narrow spaces between buildings, e.g. whether the spaces between Buildings 3 and 4 and Buildings 5 and 6 are public or private;

*The space between Buildings 5 and 6 has been improved. The space is generally defined by a fence and visitor parking stall. The portion of the outdoor space fronting utility closet is for maintenance access. A small portion of the space on north is part of fenced private outdoor space for Units A2 and A3. The space between Buildings 3 and 4 has also been improved. Portion of the outdoor space are planted for limited accessibility to pedestrians. A walk path is provided for exit and maintenance purpose (see updated Site Plan A1 and landscape plans). These spaces are generally public with limited accessibility based on landscaping and fence locations.*

- the proposed outdoor amenity area is not centrally located as it is tucked between two buildings on the southwest portion of the site; would not be visible from the rest of the site if the adjacent handicapped parking is occupied;

*The outdoor Amenity Space has been opened up facing the internal drive aisle so that townhouse residents and visitors can easily see it. 8'-7" pathway is proposed to the amenity area. The adjacent accessible parking space can also benefit the visibility of the Amenity space as accessible parking space is more often vacant than other visitor parking spaces. As the amenity space is a central point for the development, the adjacency to the amenity area is an ideal location for accessible parking.*

- proposed location of children's play equipment has been pushed towards the west property line due to the retention of the large Norway Maple tree on the outdoor amenity area; consider providing a seating area for adult supervision of children playing in the play area and look at the impact of the play area to the adjacent townhouse units;

*The design improvements are made for the Amenity area and seating area is proposed (see updated landscape architectural plans).*

- concerned on the tight spaces between buildings; canyon effect is detrimental especially to buildings that do not have direct access to the southern sun; consider animating narrow space between the buildings with windows and design features;

*Spacing between buildings is proposed for breaking up building massing, i.e., two buildings are proposed instead of one large building with more townhouse units. The space between buildings is used merely for a visitor parking, and little public accessibility is intended behind the parking. As mentioned earlier, the space behind parking is used for maintenance and/or exit purposes (see updated Site plan and Landscape architectural plans).*

- rooftop decks will provide great views to the mountains to the north; however, concerned about the proposed wood material for the deck; consider a paver product or another durable material suitable for long-term use;

*Considerations have been studied for the roof deck paving materials. Cedar or treated wood is preferred by developer for the roof deck due to light weight of the material and sustainability attributes. Wood is natural, organic, human friendly and nice to walk-on so that it is an ideal deck material. The material is seen also durable as a part of roof construction assembly as it is also more "friendly" to roof structure and roof membrane than heavier masonry pavers.*



- the overhang in Units A3 and F above the internal drive aisle negatively impacts the pedestrian experience; consider stepping back the massing on the upper levels of these units;

*Parapet walls on top of roof at these locations are removed to reduce the visual weight. Building projection on top floor is intended as a kind of expression of modern architectural style which differs from traditional architectural composition grammars. It also reflect the necessity of third floor layout for the unit interior space function. The overhang provides moreover not only weather covering for 2nd floor deck, but also a sense of enclosure for driveway below where stained cedar soffit is proposed for the projection. The stained cedar soffit provides a natural material, warm and human friendly architectural expression.*

- consider installing appropriate screening for the west end of the east-west internal drive aisle to provide a better interface with the single-family homes across Gilbert Street, e.g. mitigate the headlight glare from vehicles;

*A 6' long wall is extended over the edge at south-west corner of Building 5. It can not only provide a screening for vehicle light (toward neighboring house across the Gilbert Road), but also improves the façade composition of Building 5 (see revised Plans and West Elevation of Building 5). The mailbox is also enlarged for more screening for the same purpose.*

- angled fin on the corner of Williams Road and Gilbert Road is unnecessary and does not add strength to the corner;

*The angled fin is revised to be squared (see revised elevations and perspectives).*

- consider reducing the variety of materials and colours for the buildings to create a stronger form and character to the buildings;

*Metal panel is removed. The proposed materials are limited to James Hardie product and Cultural stone for exterior claddings. The proposed colors for Hardie products are limited only to three colors – Aged Pewter, Arctic white and Cedartone (see revised elevations and notes for exterior finish and color).*

- the applicant is commended for the modern design of the proposed development;

*Design is improved for the Amenity area including children's play area (see revised landscape architectural drawings).*

- the children's play area is isolated; the programming of the area under the tree needs more coherence; also note that the picnic table and playhouse have different design vocabularies and need further refinement;

*Design is improved for the Amenity area including children's play area (see revised landscape architectural drawings).*

- location of bicycle racks is isolated; benches may be needed in this area; review the proposed landscaping along the Gilbert Road frontage as it lacks coherence;

*See improved landscape architectural drawings. Bench is proposed for pedestrian visitor and visitors on bike or from bus, which serves as a waiting or transit use functions. The bench may also be taken by people using mailbox, or used by other people either of the townhouse residents or visitors.*
- tree management plan is unintelligible; information on how many trees are going to be removed and planted on-site would have been appreciated by the Panel;

*See updated tree management plan.*
- a grading plan was missing from the package;

*Key grading data are shown on the architectural Site Plan (Sheet A1). More detailed grading plans are to be provided by project civil engineer and/or landscape architect.*
- the planting plan provided by the applicant is not legible;

*See updated planting plan provided by landscape architect.*
- appreciate the applicant including a shadow study in the package;

*Shadow diagram is updated.*
- the package is lacking; the applicant is encouraged to reference the plans and renderings during the presentation of the project;

*More reference images are included such streetscape and context photos.*
- a checklist for achieving EnerGuide 82 rating was not provided by the applicant;

*See enclosed "Modelled Townhouse energy-efficiency performance and EnerGuide 82 upgrade recommendations" for the project.*
- appreciate the modern design for the proposed development; however, drainage is a serious challenge; concerned about the flat roof decks and potential use of interior stormwater leaders which have maintenance issues;

*Roof drains have been studied and designed. All roof drains are lead to exterior rainwater leaders and no interior stormwater is proposed (see updated Roof Plan and Elevations).*
- Panel appreciates the contemporary design of the project; the project is located in a high visibility area; more details on the site context would have been helpful to the Panel;

*Site context and streetscape are studied. Sheets A0.1 & A0.2 show the Streetscape elevations, Context plans and photos of the neighborhood.*

- concerned on the lack of information in the package provided by the applicant; applicant needs to give more thought to drainage issues, material for the roof decks, flashing details, and strategy to achieve EnerGuide 82 rating;

*Information on roof deck materials and improved roof drainage have been provided and discussed as above. Locations of roof/deck drains are shown on the Roof Plan, as well as on building elevations drawings. As the roof/deck drains are all connected to exterior rainwater leaders, typical construction details including flashing details are to be used. Strategy to achieve EnerGuide 82 rating has also been addressed with enclosed documents.*

- the subject site is constrained as it intends to retain a large tree;

*Noted.*

- there is a lack of coherence on the choice of materials and colours and architectural and landscaping design;

*Improvements are made including removal Metal panel from the material and color palette. As mentioned earlier, cladding materials are limited to James Hardie product and cultural stone for building base. Color variations of the material are intended to animate the building architectural expression. The proposed landscaping including the gate and fence is intended to fit modern and contemporary architectural style.*

- conflicts between the plans provided by the applicant and the model presented to the Panel need to be resolved; and

*Drawings are updated as well as the massing model is also to be updated to be consistent with plans.*

- Hardie reveals is a high quality material, should be identified in package.

*As shown on Sheet A6, reveals/trims are to be aligned with window/door corners, and size of paneling will be maximized as possible to achieve simple, neat and modern expression of the façade. A precedent construction sample photo is shown on Sheet A6.*

### **Panel Decision**

It was moved and seconded

*That DP 17-776441 be referred back to the applicant and return to the Advisory Design Panel subject to the applicant giving consideration to the comments of the Panel.*

**CARRIED**

**Excerpt from the Meeting Minutes of the  
Advisory Design Panel**

**Wednesday, February 6, 2019 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall**

**DP 17-776441 – 15-UNIT TOWNHOUSE DEVELOPMENT**

ARCHITECT: Zhao XD Architect Ltd.  
LANDSCAPE ARCHITECT: PMG Landscape Architects  
PROPERTY LOCATION: 7000, 7020, 7002 Williams Road & 10060 Gilbert Road

**Applicant's Presentation**

Stanford Siu, Bismark Consulting, Xuedong Zhao, Zhao XD Architect, Ltd., and Denitsa Dimitrova, PMG Landscape Architects, presented the project and answered queries from the Panel on behalf of the applicant.

**Panel Discussion**

*Comments from Panel members were as follows:*

- appreciate the applicant's response to the previous comments of the Panel; the detailing of the project is critical; appreciate the significant articulation in the building facades which should be carried through in the detailing;

***Detailing will be an important part of construction design drawings.***

- appreciate the sustainability aspect of using pressure treated wood on the rooftop decks of townhouse buildings; however, consider the use of recycled composite materials for the roof decks as they are lighter, more durable and easier to maintain;

***Pressure treated recycled wood and other recycled composite accessory products will be considered for roof deck construction.***

- reconsider installing flammable gas for barbeque on the roof decks of two units adjacent to both sides of the existing large deciduous tree due to potential safety issues;

***Caution will be taken for gas line installation near the tree for roof deck.***

- appreciate the applicant's move to reduce the variety of materials used on the buildings which provide simplicity of character to the buildings;

***Noted.***

- proposed wood deck under the tree in the outdoor amenity area will have potential maintenance issues due to falling leaves; consider using an alternative material for the wood deck;

***Light weight wood deck is friendly to tree roots, particularly for an elevated decking system. The elevated wood decking also provides good drainage and permeability for the area around tree so that it also benefits the maintenance (in lieu of masonry paving on grade).***

- understand the intent to create a modern language and massing for introducing the overhanging soffit on the south side of Building 6; however, it appears overbearing due to visual constraints placed between the two buildings along the internal drive aisle; massing of the upper two floors appears overbearing;

***Decorative brackets are introduced under the projections for a “supportive structural expression” (see revised elevations).***

- appreciate the applicant removing the angled fin on the corner of Williams Road and Gilbert Road;

***Noted.***

- concerned on the safety issues posed by locating the double car garage in Unit E close to the driveway entry off Williams Road and the garbage and recycling facility at the corner;

***9 m is provided from garage door edge to property line, which meets the City’s requirement.***

- also concerned regarding the significant number of tandem parking on the site without off-street parking as it will give rise to potential safety issues;

***Proposed number of tandem parking meets the City requirement, which balances the land use efficiency (for shorter drive aisle) and usability. Dimensions for the parking space and driveway comply with the requirement.***

- appreciate the two convertible units provided in the project;

***Noted.***

- appreciate the changes to the project; the revised project is a huge improvement over the original project presented to the Panel; appreciate the applicant addressing most of the previous comments from the Panel;

***Noted.***

- consider design development of the entrances to townhouse units to provide more weather protection; look at the design of the canopies and where lines of rain drip down;

***Entrances to all units are provided with canopy for weather protection. Rain drips are workable and more detailed drawings will be provided for construction.***

- agree with Panel comment that the key to the success of the project's architectural design is in the detailing; review the details for the design of the roofs including parapets, internal and external corners, flashing details and matching of different materials and colours;

***Considerations will be taken during construction design drawing phase for materials and colors of the detail.***

- understand the rationale for the proposed exterior rainwater leaders and no interior stormwater drainage; however, the applicant needs to address the high density of rainwater leaders and multiple levels of gutters that may be required; the applicant also needs to look at the detailing issue to be dealt with for stepping roofs;

***Rainwater leader and roof drainage are considered and will be further worked out during construction design drawing phase.***

- agree with Panel comment for the applicant to reconsider the use of pressure treated wood for roof top decks; the pressure treatment process for wood is not necessarily environment-friendly; consider using the appropriate type of composite material for the rooftop decks as there are many types of composite materials; composite material is preferred over wood as it is more durable, easier to maintain and more appropriate for the local weather;

***As mentioned the wood is not only a good material for suitability but also a "natural material", which is considered as a high end sustainable construction practice.***

- details of the roof hatch on roof plan A3-R are not accurate; review and revise the drawing to show the correct way the roof hatch is opened;

***The roof plan is revised with the swing door lines removed.***

- review colour elevations A5, A6 and A7 and revise accordingly to show the correct roof access massing;

***Elevations are revised with correct roof access.***

- appreciate the applicant's presentation; however, the Panel would have appreciated if the applicant had presented how the design has evolved from the original design previously presented to the Panel;

***Presentation and written response have been provided for revisions to address the previous ADP comments which demonstrate how the design has evolved.***

- materials plan for the landscape is difficult to read;

***See updated landscape plans.***

- materials in the outdoor amenity area appear to be in the wrong place; consider relocating the wood deck away from the existing tree to the shady area where the lawn is currently located and provide landscaping around the tree; will provide relief to the tree as the compacted concrete beams underneath the wood deck may negatively impact the tree roots; consider pushing the lawn out into a sunnier area within the outdoor amenity area;

*As tree protection zone is required, the space around tree can therefore be more efficiently utilized as proposed. The quality of the space adjacent to the tree is a high quality “natural” environment that is valuable particularly in urban area. People can experience a very natural green environment which is ideal for a small Outdoor amenity space of the development. As the tree is big in size, the deck around the tree also makes the space more accessible. The lawn at front can be more easily maintained. It also makes the Amenity space visually more open so that a vista within this limited development site can be created.*

- the design of the outdoor amenity area does not currently appear organic; relocating the wood deck to the current lawn area (area E) will provide a softer transition of materials from lawn (in lieu of the wood deck) to fibar and create a more organic feel to the outdoor amenity area; consider using the balancing beams and stepping stones to define the edges between the lawn and fibar;

*Wood deck provides a more “natural” retaining curb and logic boundary for fibar so that the lawn can also easily be kept clean. Contrasts of different landscaping materials usually contribute visual interest of the Amenity area.*

- consider relocating the visitor bicycle racks away from Gilbert Road to a more interior and safer location on the site;

*The proposed bike racks are behind fence and gate which should be safe to use. It is a good location for visiting cyclists to dismount and park their bikes. The space is convenient and easy for way findings.*

- unfortunate that there is no civil plan submitted by the applicant which provides details on the public realm; e.g., connection to the letdowns from the sidewalk;

*Civil plans will be prepared by project civil engineer with required details per City standard through the Servicing Agreement.*

- the landscape treatment in front of the fences along Gilbert Road is successful; consider a similar approach along Williams Road by slightly pulling back the fences and provide soft landscaping between the fence and the sidewalk to enhance the public realm experience for pedestrians;

*See updated landscape plans with improvements.*

- agree with Panel comment regarding the viability of the proposed lawn on the outdoor amenity area;

*See written response provided earlier.*

- consider installing an edging material for the wood deck connecting the internal drive aisle to the outdoor amenity area to provide safety for users, especially people in wheelchairs; and

*See updated landscape plans.*

- would like to see a cane detectible edge on the wooden deck.

*See updated landscape plans.*

- *Sara Badyal read the comments submitted by Jubin Jalili summarized as follows:*
- noted the applicant's inclusion of the EnerGuide energy calculations in the package provided to the Panel; and
- satisfied with the project from a sustainability point of view.

*Noted.*

### **Panel Decision**

It was moved and seconded

***That DP 17-776441 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.***

**CARRIED**

Opposed: Charan Sethi





**Address:** 7000/7002, 7020 Williams Road & 10060 Gilbert Road

**File No.:** DP 17-776441

**Prior to forwarding the application to Council for approval, the developer is required to complete the following:**

1. Final Adoption of Zoning Amendment Bylaw 9713.
2. Receipt of a Letter-of-Credit for landscaping in the amount of \$118,366.60. The letter-of-credit will not be returned until the Letter of Assurance, confirming the landscaping is installed as per the Development Permit, prepared by the Landscape Architect, is reviewed by staff.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility, CPTED and sustainability measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. Enter into a Servicing Agreement\* for the design and construction of servicing works and off-site improvements to the satisfaction of the Director of Engineering. Works include, but may not be limited to:

**Water Works:**

- a. Using the OCP Model, there is 551.0 L/s of water available at a 20 psi residual at the Williams Rd frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
- b. The Developer is required to:
  - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.
  - Install a new water service connection, complete with meter and meter box, off of the existing 250 mm AC water main along Williams Rd.
- c. At Developer's cost, the City is to:
  - Cut and cap the three (3) existing water service connections.
  - Install a new fire hydrant at the Williams Rd frontage.
  - Complete all tie-ins for the proposed works to existing City infrastructure.

**Storm Sewer Works:**

- d. The Developer is required to:
  - Upgrade approximately 65 m of existing 300 mm diameter storm sewer along the Williams Rd frontage to 600 mm. Upgrades are typically manhole to manhole.
  - Cut and cap the three (3) existing storm service connections, and remove inspection chambers.
  - Install a new storm service connection off of the proposed storm sewer along the Williams Rd frontage, complete with inspection chamber.
- e. At Developer's cost, the City is to:
  - Complete all tie-ins for the proposed works to existing City infrastructure.

**Sanitary Sewer Works:**

- f. The Developer is required to:
  - Cut, cap, and remove the existing 150 mm FRP sanitary main within the development site and along the Gilbert Road frontage, as well as all manholes, service laterals, and inspection chambers, and discharge right-of-way.

Initial: \_\_\_\_\_

- Install a new manhole at the southwest corner of the development site and tie-in to existing 150 mm FRP sanitary main.
- Install a new sanitary service connection off of the proposed manhole. The manhole shall serve as an inspection chamber.
- g. At Developer's cost, the City is to:
  - Complete all tie-ins for the proposed works to existing City infrastructure.

**Frontage Improvements:**

- h. The Developer is required to:
  - Coordinate with BC Hydro, Telus and other private communication service providers
    - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
    - To underground overhead service lines.
    - To determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc). These shall be located onsite, as described below.
  - Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:
    1. BC Hydro PMT – 4mW X 5m (deep)
    2. BC Hydro LPT – 3.5mW X 3.5m (deep)
    3. Street light kiosk – 1.5mW X 1.5m (deep)
    4. Traffic signal kiosk – 1mW X 1m (deep)
    5. Traffic signal UPS – 2mW X 1.5m (deep)
    6. Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
    7. Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan
  - Review street lighting levels on all frontages and upgrade as required.

The Developer is required to design and construct frontage improvements along the Williams Road and Gilbert Road frontages. Works include, but may not be limited to:

- a) Williams Road frontage:
  - (1) Construct a new 1.5 m wide concrete sidewalk at the new property line and grass boulevard with street trees behind the existing curb; and
  - (2) Construct a 3.0 m wide x 9.0 m long concrete bus pad with conduit pre-ducting for electrical connection at the existing eastbound bus stop on Williams Road far-side of Gilbert Road (in accordance with TransLink's 'Universal Accessible Bus Stop Design Guidelines').
- b) Gilbert Road frontage: Construct a new 1.5 m wide concrete sidewalk at the new property line and grass boulevard with street trees behind the existing curb.
- c) Vehicle access is to be provided by a single driveway located at the eastern edge of the Williams Road development frontage. All existing driveways along the Williams Road and Gilbert Road development frontages are to be closed permanently. The Developer is responsible for the removal of the existing driveway let-downs and the replacement with barrier curb/gutter, grass/tree boulevard and concrete sidewalk per standards described in these Rezoning Considerations.
- d) The Developer is responsible for the cost of any traffic signal related works that are required as a result of conflict/impact of frontage improvements works and/or utility installations. The required traffic signal works may include: replacement of traffic signal poles and bases; replacement of vehicle detector loops; and traffic signal cabinet. The details of the traffic signal works will be defined as part of the Servicing Agreement detailed site design process.

**General Items:**

- a) The Developer is required to:
  - Provide, within the first SA submission, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
  - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- 4. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
- 5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[Signed copy on file]

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Date



No. DP 17-776441

To the Holder: Bismark Consulting Ltd.  
Property Address: 7000/7002, 7020 Williams Road & 10060 Gilbert Road  
Address: 5003 Minoru Boulevard,  
Richmond, BC V6X 2B1

---

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum exterior side yard setback to Gilbert Road from 6.0 m to 4.5 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #3 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$118,366.60 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 17-776441**

To the Holder: Bismark Consulting Ltd.

Property Address: 7000/7002, 7020 Williams Road & 10060 Gilbert Road

Address: 5003 Minoru Boulevard,  
Richmond, BC V6X 2B1

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

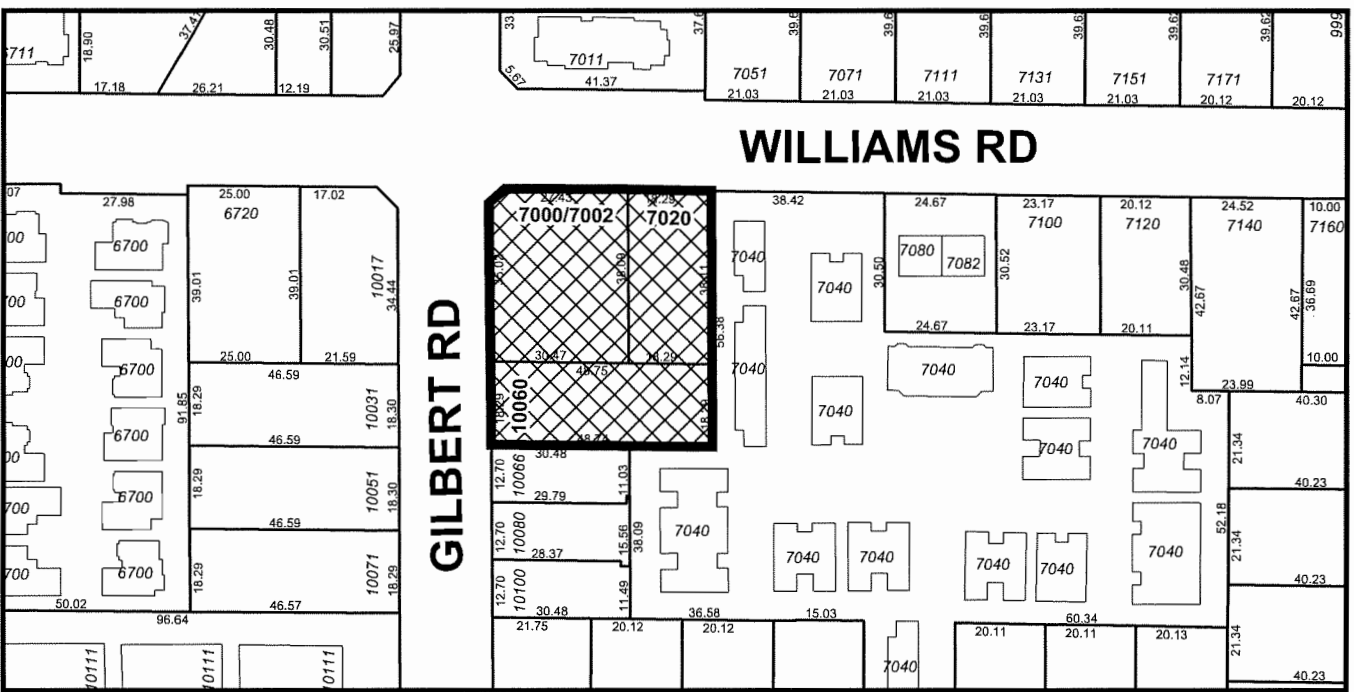
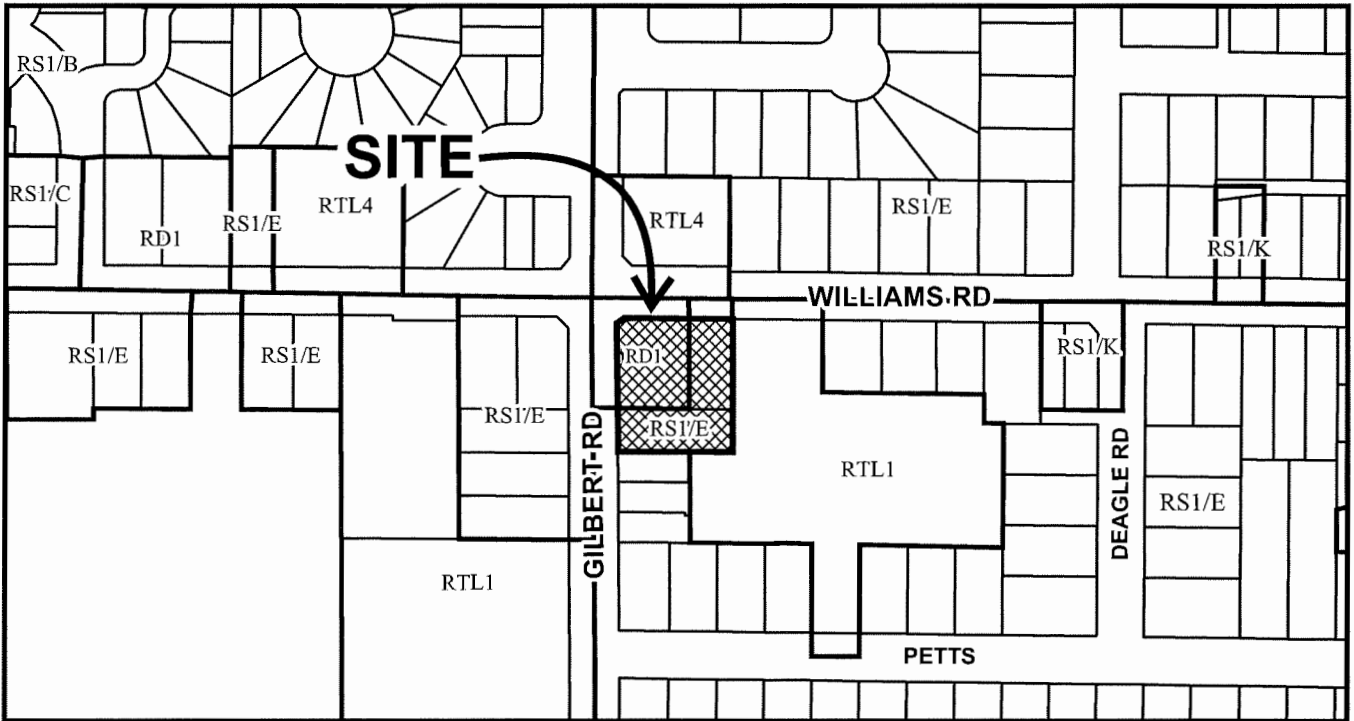
DELIVERED THIS DAY OF , .

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MAYOR



# City of Richmond

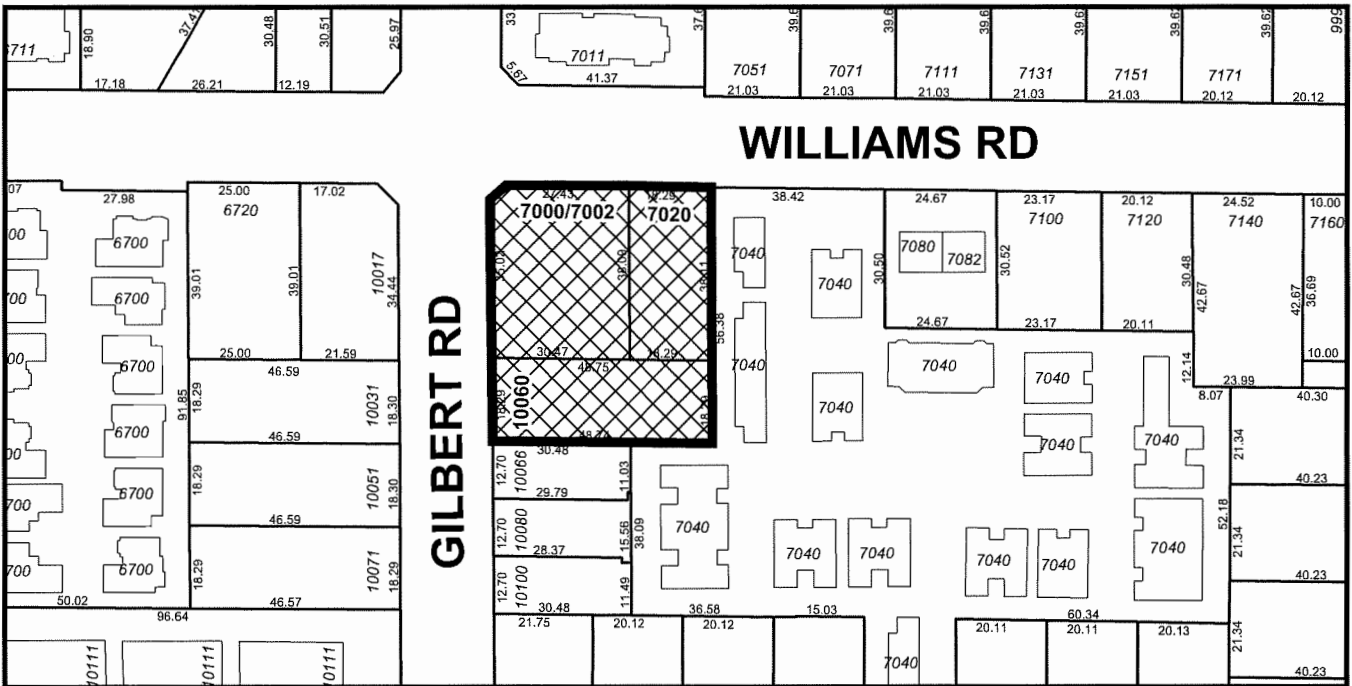
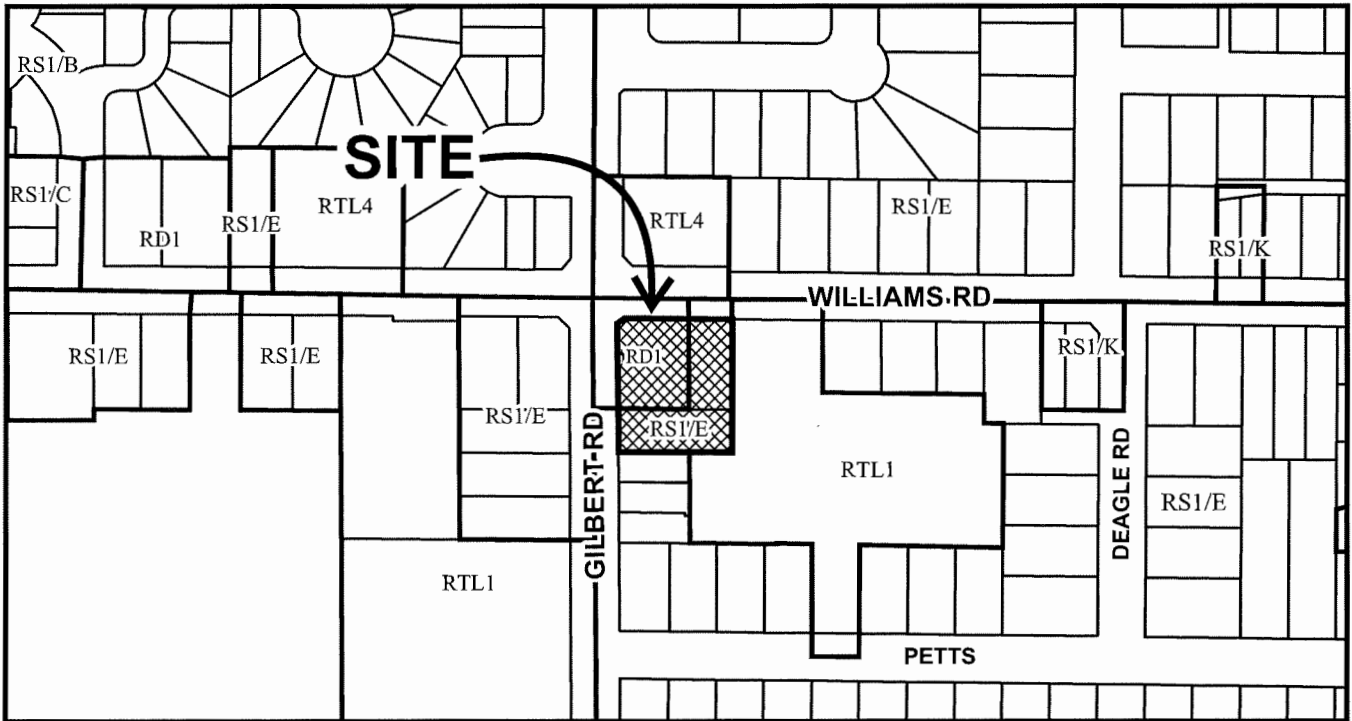


## DP 17-776441 SCHEDULE "A"

Original Date: 07/19/17  
Revision Date: 05/08/19  
Note: Dimensions are in METRES



# City of Richmond



## DP 17-776441

Original Date: 07/19/17

Revision Date: 05/08/19

Note: Dimensions are in METRES



**ZHAO XD  
ARCHITECT  
LTD.**

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Richmond, BC V6X 3J9  
Tel. (604) 275-8882  
Fax (604) 909-1738  
Email: info@zhaoxd.com  
Web: zhaoxd.com

This drawing shall not be used for construction unless it is accompanied by the contract.

24 MAR/19	ADP COMMENTS
19 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18 FEB/17	CITY COMMENTS
29 AUG/16	REZONING APP
Date:	Issued For:

**A** A DETAIL NUMBER  
**B** B LOCATION SHEET  
**C** C DETAIL SHEET

Approval of this drawing by the architect is based on the information provided to the architect. The architect does not warrant the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided by others. The architect is not responsible for the accuracy of the information provided by others. The architect is not responsible for the accuracy of the information provided by others.

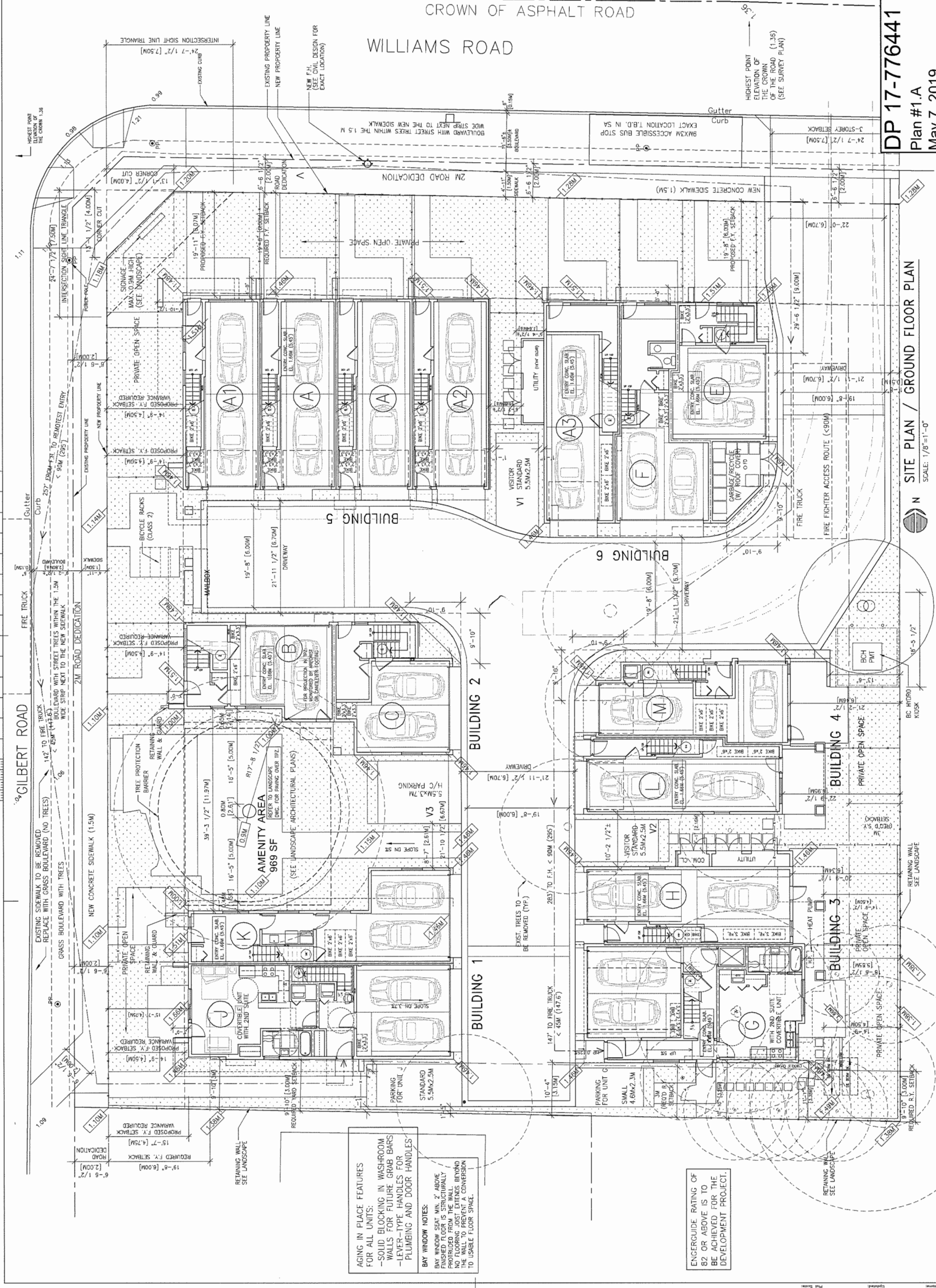
The contractor shall check and verify all pertinent information on the site before construction. The contractor shall check and verify all pertinent information on the site before construction. The contractor shall check and verify all pertinent information on the site before construction.

Project:  
**TOWNHOUSE  
DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.**

7000-20 Williams-10060 Gilbert  
Richmond, BC

Drawing Title:  
**SITE PLAN/  
GROUND FLOOR PLAN**

Date:	Scale:	Drawn By:	Checked By:	Project No.:	Drawing No.:
					A1.02



**AGING IN PLACE FEATURES  
FOR ALL UNITS:**  
- SOLID BLOCKING IN WASHROOM  
WALLS FOR FUTURE GRAB BARS  
- LEVER-TYPE HANDLES FOR  
PLUMBING AND DOOR HANDLES

**BAY WINDOW NOTES:**  
BAY WINDOW SHALL NOT BE ABOVE  
WASHROOM OR IS STRUCTURALLY  
PROHIBITED FROM THE WALL.  
NO FLOORING JOIST EXTENDS BEYOND  
THE WALL TO PREVENT A CONVERSION  
TO USABLE FLOOR SPACE.

**ENERGY RATING OF  
82 OR ABOVE IS TO  
BE ACHIEVED FOR THE  
DEVELOPMENT PROJECT.**

**DP 17-776441**  
**Plan #1.A**  
**May 7, 2019**

**SITE PLAN / GROUND FLOOR PLAN**  
SCALE: 1/8"=1'-0"





**ZHAO XD ARCHITECT LTD.**

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Web: zhaoarch.com

This drawing shall not be used for construction unless it is accompanied by the CONTRACTOR.

24 MAR/19	ADP COMMENTS
19 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18 FEB/17	CITY COMMENTS
29 AUG/16	REZONING APP
Date: Issued For:	

A DETAIL NUMBER  
B LOCATION SHEET  
C DETAIL SHEET

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The contractor shall check one week of permit before proceeding with the work.

Project:  
**TOWNHOUSE DEVELOPMENT AT WILLIAMS RD. & GILBERT RD.**

7000-20 Williams-10060 Gilbert RICHMOND, BC

Drawing Title:  
**PARKING PLAN**

Date:  
Scale:  
Drawn By:  
Checked By:  
Project No.:  
Drawing No.:

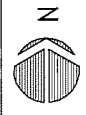
A2.00

CROWN OF ASPHALT ROAD

WILLIAMS ROAD

**DP 17-776441**  
**Plan #1.B**  
**May 7, 2019**

**PARKING PLAN**  
SCALE: 1/8"=1'-0"

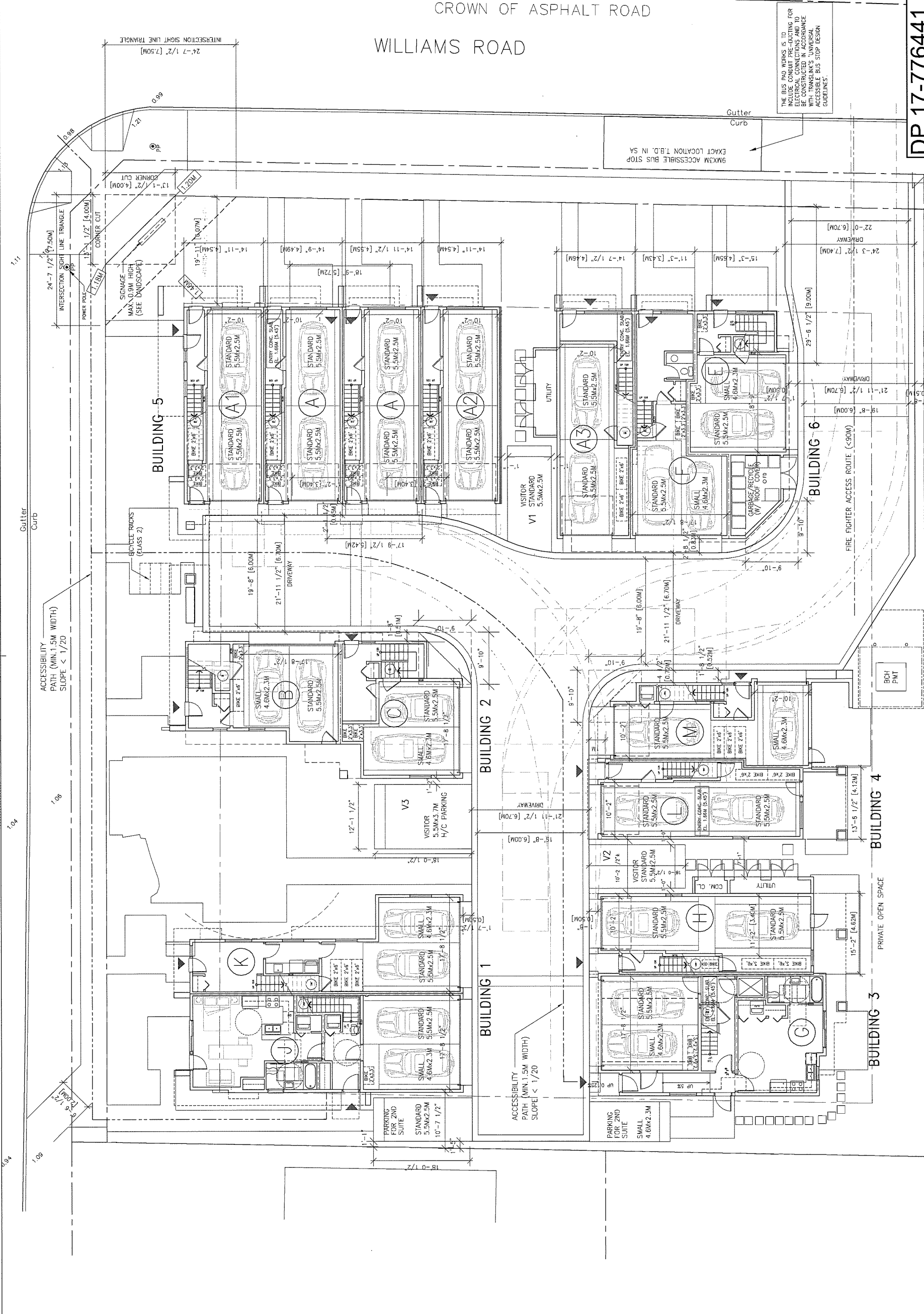


ENERGY RATING OF B2 OR ABOVE IS TO BE ACHIEVED FOR THE DEVELOPMENT PROJECT.

AN ENERGIZED OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARGING OR HIGHER SHALL BE PROVIDED TO ALL INDOOR PARKING SPACES. AND ENERGIZED OUTLETS SHALL BE LABELED FOR THEIR INTENDED USE FOR ELECTRIC VEHICLE CHARGING.

THE BUS PAD WORKS IS TO INCLUDE CONDUIT PRE-LAYING FOR ELECTRICAL CONNECTIONS AND TO BE INSTALLED IN ACCORDANCE WITH TRANSINK'S UNIVERSAL ACCESSIBLE BUS STOP DESIGN GUIDELINES.

9MX3M ACCESSIBLE BUS STOP EXACT LOCATION T.B.D. IN SA



This drawing is NOT to be copied. Use figured dimensions only.

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200

PHI Scale



**ZHAO XD  
ARCHITECT  
LTD.**

#255-11181 Voyageur Way,  
Richmond, BC V6X 3N9  
Tel: (604) 273-8892  
Fax: (604) 593-1738  
Email: info@zhaoxd.com  
Web: zhaoxd.com

This drawing shall not be used for construction without the written consent of the consultant.

24 MAY/19	ADP COMMENTS
19 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18 FEB/17	CITY COMMENTS
29 AUG/16	REZONING APP
Date:	Issued For:

A DETAIL NUMBER  
B LOCATION SHEET  
C DETAIL SHEET

All drawings, specifications and other related documents shall be read in conjunction with the contract documents. No part of this drawing shall be used for construction without the written permission of the Architect. The Architect shall not be responsible for the accuracy of the information provided to the Architect before proceeding with the work.

Project:

**TOWNHOUSE  
DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.**

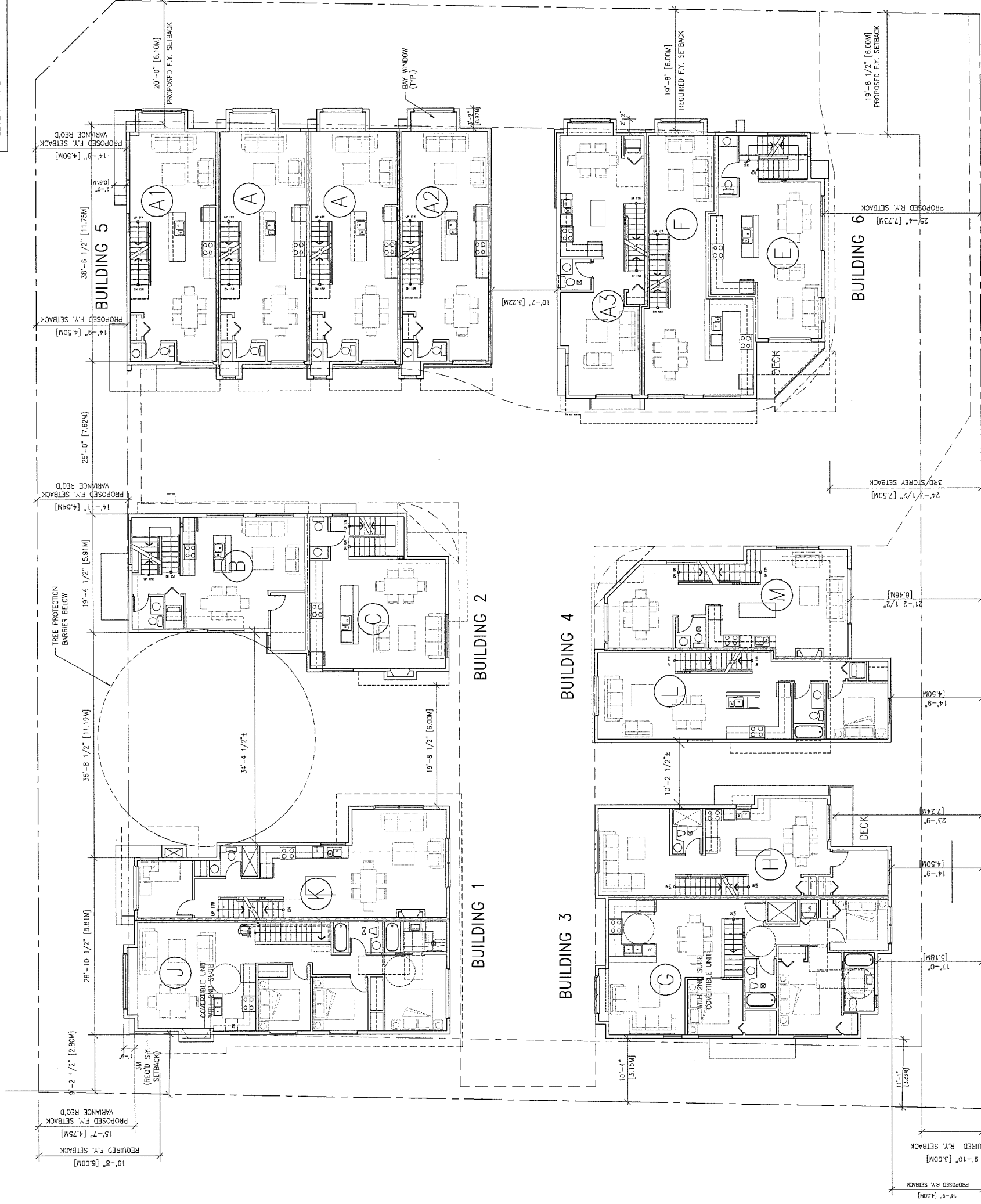
7000-20 Williams - 10080 Gilbert  
RICHMOND, BC

Drawing Title:

**2ND FLOOR PLAN**

Date:	
Scale:	
Drawn By:	
Checked By:	
Project No.:	
Drawing No.:	<b>A2.01</b>

AGING IN PLACE FEATURES FOR ALL UNITS:  
- SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS;  
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES



**BAY WINDOW NOTES:**  
BAY WINDOW SEAT MIN. 2' ABOVE  
FINISHED FLOOR IS STRUCTURALLY  
PROTRUDED FROM THE WALL.  
NO FLOORING JOIST EXTENDS BEYOND  
THE WALL TO PREVENT A CONVERSION  
TO USABLE FLOOR SPACE.

**DP 17-776441**  
**Plan #1.C**  
**May 7, 2019**

ENERGURATE RATING OF 82 OR ABOVE IS TO BE ACHIEVED FOR THE DEVELOPMENT PROJECT.

This drawing is NOT to be scaled. Use figured dimensions only.



#255-11161 Yongeur Way,  
Richmond, BC V6V 3N9  
Tel: (604) 273-9892  
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Email: info@zhaoarch.com  
Web: zhaoarch.com

This drawing shall be used for construction only. It is not to be used for any other purpose without the written permission of the Architect.

24 MAR/19	ADP COMMENTS
19 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18 FEB/17	CITY COMMENTS
29 AUG/16	REZONING APP
Date:	Issued For:

- A DETAIL NUMBER
- B LOCATION SHEET
- C DETAIL SHEET

All drawings, specifications and other related documents shall be read in conjunction with the contract documents. No part of this drawing shall be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the written permission of the Architect.

Project:  
TOWNHOUSE DEVELOPMENT AT WILLIAMS RD. & GILBERT RD.

7000-20 Williams - 10060 Gilbert RICHMOND, BC

Drawing Title:  
3RD FLOOR PLAN

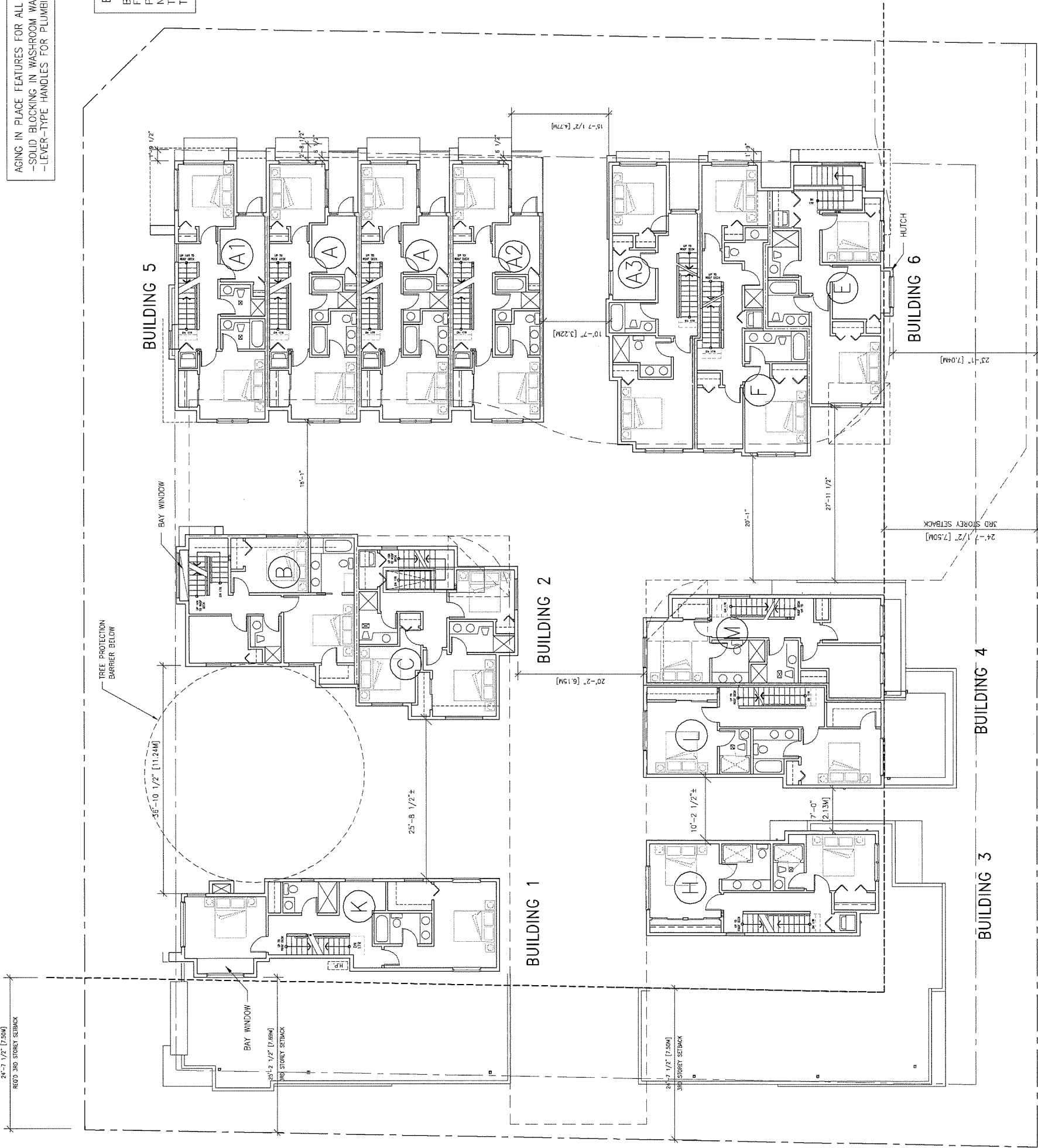
Date:  
Scale:  
Drawn By:  
Checked By:  
Project No.:  
Drawing No.: A2.02

AGING IN PLACE FEATURES FOR ALL UNITS:  
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS;  
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES

BAY WINDOW NOTES:  
BAY WINDOW SEAT MIN. 2' ABOVE FINISHED FLOOR IS STRUCTURALLY PROTRUDED FROM THE WALL. NO FLOORING JOIST EXTENDS BEYOND THE WALL TO PREVENT A CONVERSION TO USABLE FLOOR SPACE.



DP 17-776441  
Plan #1.D  
May 7, 2019



0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 METERS

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 METERS

This drawing is NOT to be scaled. Use figured dimensions only.



**ZHAO XD  
ARCHITECT  
LTD.**

#255-11181 Voyager Way,  
Richmond, BC V6X 3N9  
Tel. (604) 275-8882  
Fax (604) 909-1735  
Email: info@zhaoxd.com  
Web: zhaoxd.com

This drawing shall not be used for construction unless it is accompanied by the CONSULTANT.

24 MAR/19	ADP COMMENTS
19 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18 FEB/17	CITY COMMENTS
29 AUG/16	REZONING APP
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

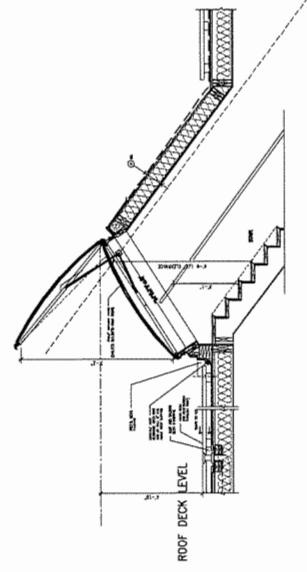
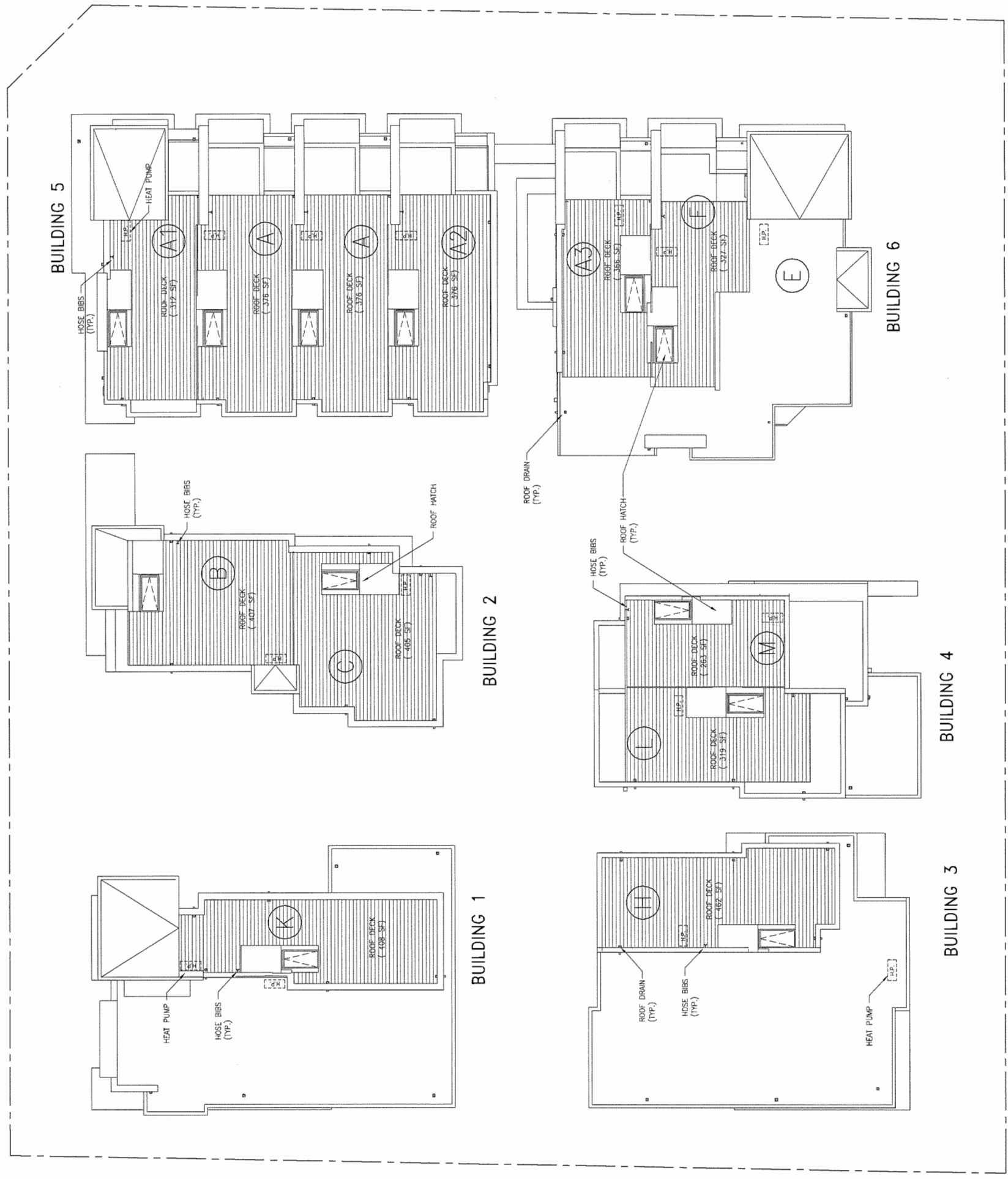
All work specifications and other related documents are the property of the Architect. Reproduction of drawings and related documents, without permission of the Architect, is prohibited. The contractor shall check and verify all pertinent details before proceeding with the work.

Project:  
**TOWNHOUSE DEVELOPMENT AT WILLIAMS RD. & GILBERT RD.**

7000-20 Williams-10060 Gilbert  
RICHMOND, BC

Drawing Title:  
**ROOF & ROOF DECK PLAN**

Date:	Scale:	Drawn By:	Checked By:	Project No.:	Drawing No.:
					<b>A2.03</b>



**TYPICAL ROOF DECK ACCESS DETAIL SECTION**  
SCALE: 1/4"=1'-0"

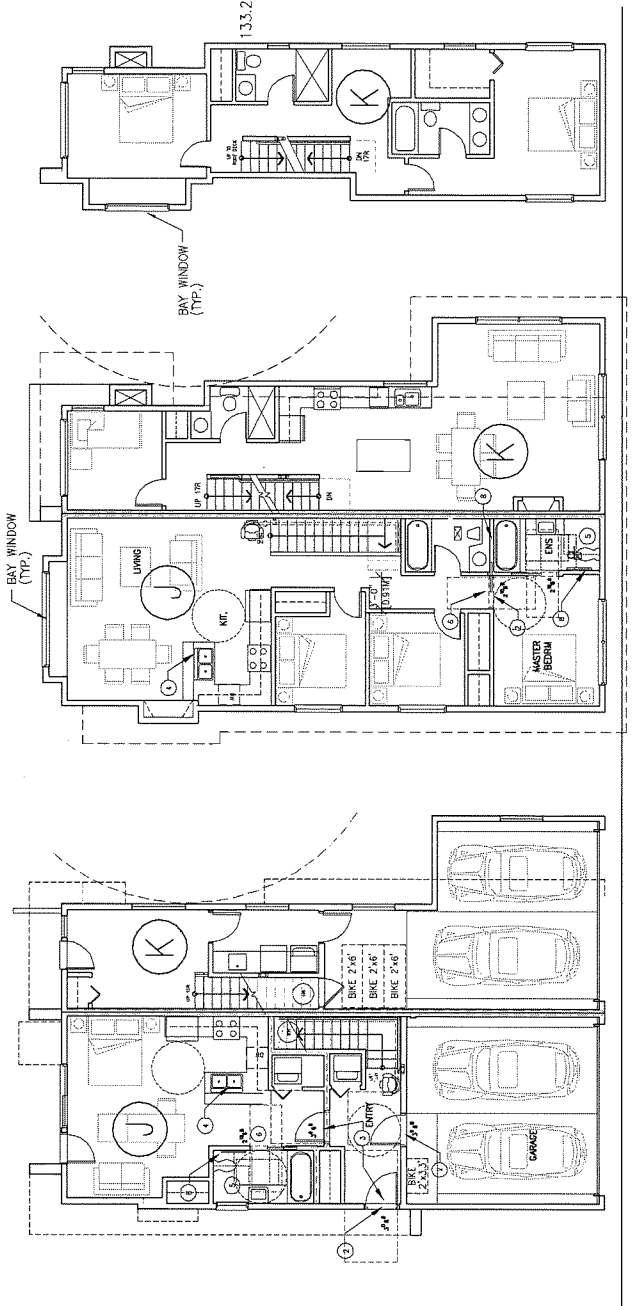
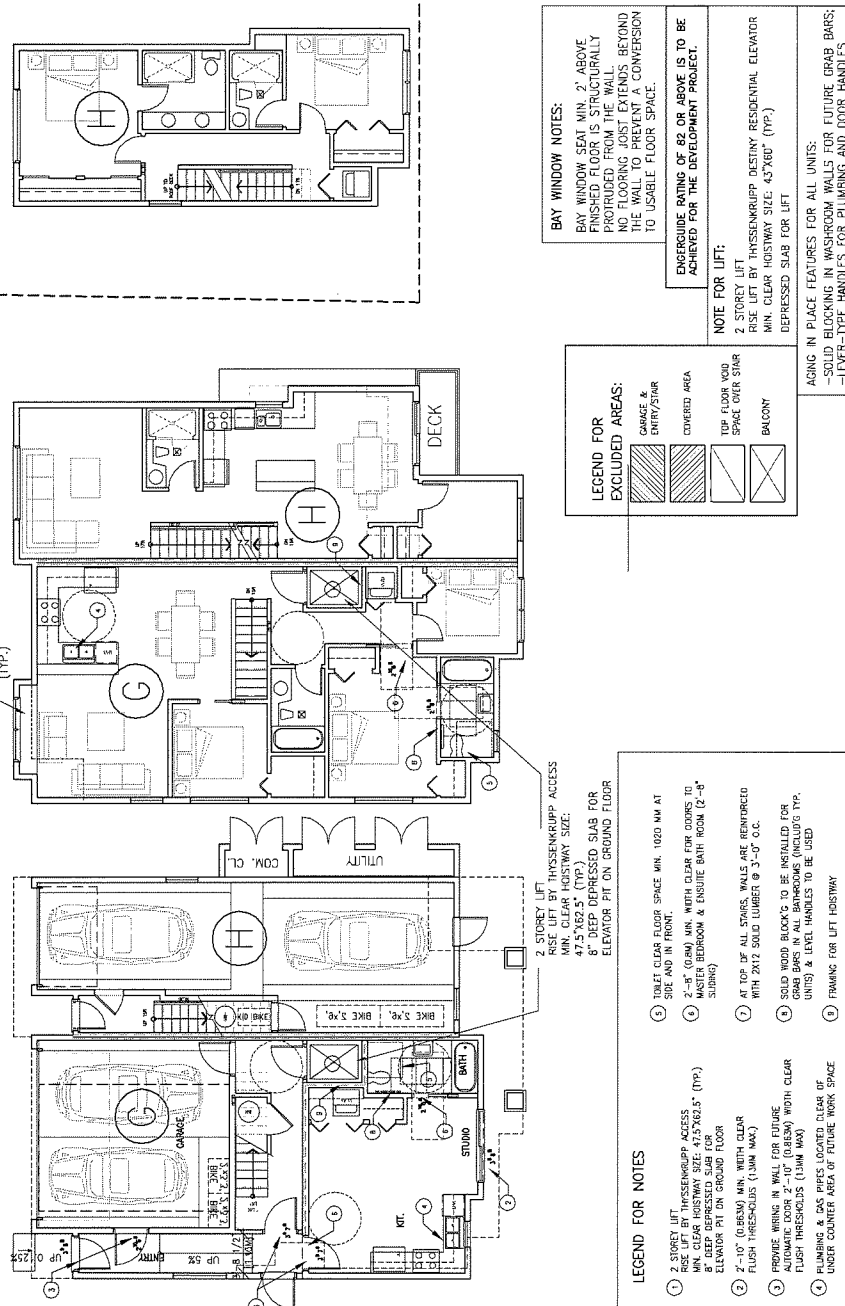
**ROOF PLAN**  
SCALE: 1/8"=1'-0"

**DP 17-776441**  
Plan #1.E  
May 7, 2019

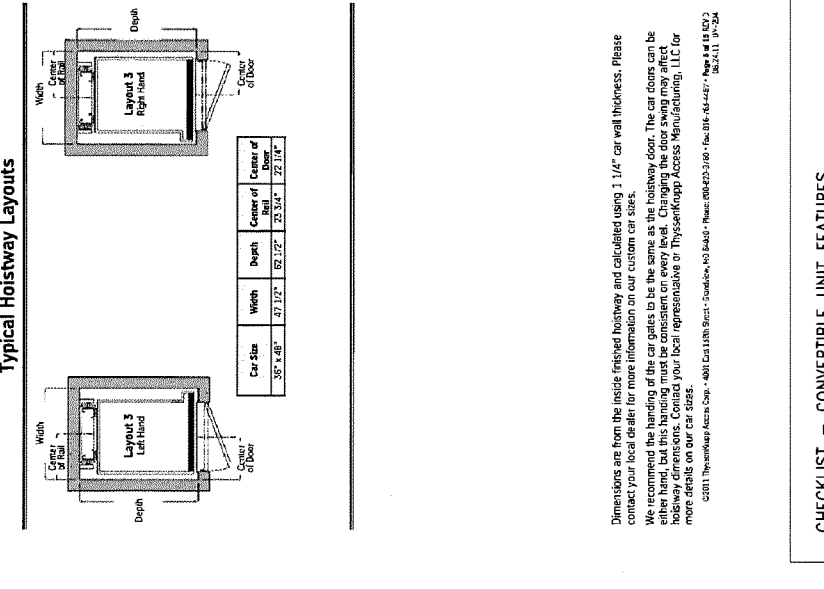
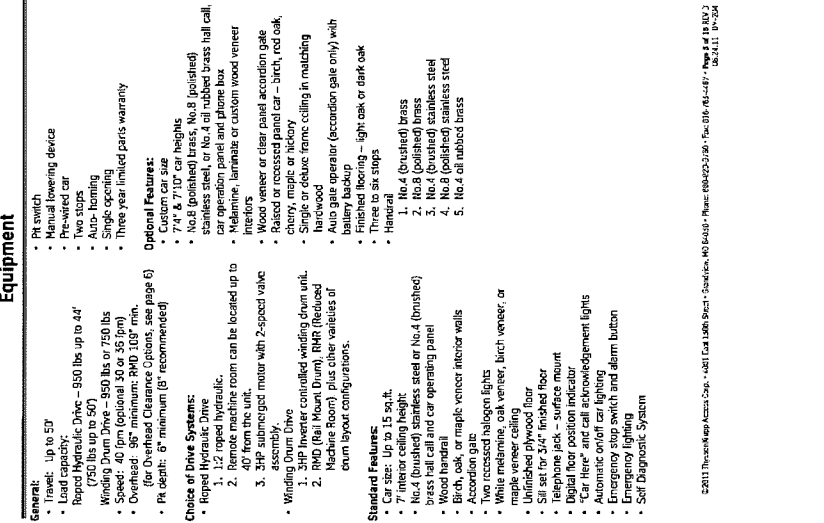
GROUND FLOOR

SECOND FLOOR

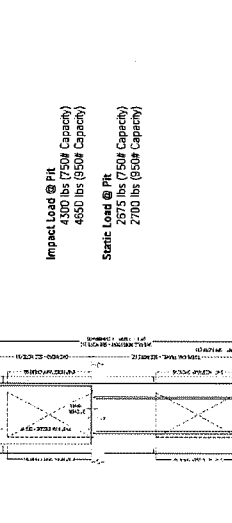
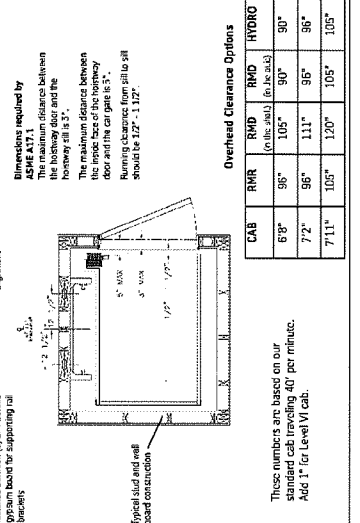
THIRD FLOOR



**UNIT FLOOR PLANS**  
SCALE: 1/8" = 1'-0"



**Recommended Hoistway Construction**



**CHECKLIST - CONVERTIBLE UNIT FEATURES**

- DOORS & DOORWAYS**
- ENTRY DOOR MIN. 863 MM BUT IDEALLY 914MM AND HAVE CLEAR ACCESS.
  - ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH.
  - ENTRY DOOR MIN. 863 MM BUT IDEALLY 914MM AND HAVE CLEAR ACCESS FOR FUTURE AUTOMATIC DOOR OPENERS.
  - INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS NECESSARY TO SECURE ACCESS.
  - PATIO/BALCONY MIN. 863MM CLEAR OPENINGS. NOTE: NOW ACCESSIBLE.
  - ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY BC BUILDING CODE.
  - LEVEL-TYPE HANDLES FOR ALL DOORS.
- VERTICAL CIRCULATION**
- VERTICAL LIFT, DEPRESSIONED SLAB AREA AND LANDING, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE SHIRT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
  - AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2X12 SOLID LUMBER AT 914MM TO CENTRE.
- HALLWAYS**
- MIN. 800 MM WIDTH
- GARAGE**
- MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH
  - ACCESS FROM GARAGE TO LIVING AREA WITH MIN. 800 MM CLEAR DOOR OPENING (2"-8" SLIDING OR 2"-10" SWINGING DOOR SPEC.) AND FLUSH THRESHOLDS MAX. 13 MM HEIGHT
- BATHROOMS (MIN. 1)**
- TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
  - WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION TOILET, TUB AND SHOWER, REINFORCED WITH 2X12 SOLID LUMBER IN ALL BATHROOM, SHOWER, AND TOILET LOCATIONS.
  - SHOWER AND BATH: REINFORCED WITH 2X12 SOLID LUMBER AT 914MM TO CENTRE OF THE PIPE FROM FLOOR LEVEL.
  - PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
  - CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.
  - DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).
  - MIN. 800 MM CLEAR DOOR OPENING (2"-8" SLIDING OR 2"-10" SWINGING DOOR SPEC.) WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT
- KITCHEN**
- CLEAR AREA NEEDED UNDER FUTURE WORK SPACE, PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE.
  - MIN. 800 MM CLEAR DOOR OPENING (2"-8" SLIDING OR 2"-10" SWINGING DOOR SPEC.) WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT.
  - CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
  - 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM
  - MIN. 800 MM CLEAR DOOR OPENING (2"-8" SLIDING OR 2"-10" SWINGING DOOR SPEC.) WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT.
  - LEVEL-TYPE HANDLES FOR PLUMBING FIXTURES.
- WINDOWS**
- MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)
- DUPLICATES & SWITCHES**
- PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, UNDER COUNTER, UNDER SINK, UNDER STOVE, UNDER REFRIG., UNDER SINK, UNDER COUNTER, WITH PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
  - UPGRADE TO FOUR-FLX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.

**ZHAO XD ARCHITECT LTD.**  
#255-1181 Veygaour Way,  
Richmond, BC V6X 3M9  
Tel. (604) 275-8882  
Fax. (604) 908-1736  
Email: info@zhaoarch.com  
Web: zhaoarch.com

This drawing shall not be used for construction unless it is accompanied by the architect's seal.

Date:	Issued For:
24 MAR/19	APP COMMENTS
19 NOV/18	APP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18 FEB/17	CITY COMMENTS
29 AUG/16	REZONING APP

**Legend:**  
A: A DETAIL NUMBER  
B: B LOCATION SHEET  
C: C DETAIL SHEET

**Project:**  
TOWNHOUSE DEVELOPMENT AT WILLIAMS RD. & GILBERT RD.

**Location:**  
700C-20 Williams-10060 Gilbert RICHMOND, BC

**Drawing Title:**  
UNIT FLOOR PLANS

**Scale:**  
1/8" = 1'-0"

**Drawn By:**  
Checked By:

**Project No.:**  
Drawing No.:

**Revision:**  
A5.04



SEAL:



**A** The Forest Villa (A-17000)  
BY JAMBETTE



**D** WISHBONE BIKE RACK  
TENAJ Model No TUBR-34,  
in Metallic Silver



**C** Modena Park Bench, Model Number:  
MAL-5, in Metallic Silver  
BY WISHBONE SITE FURNISHINGS

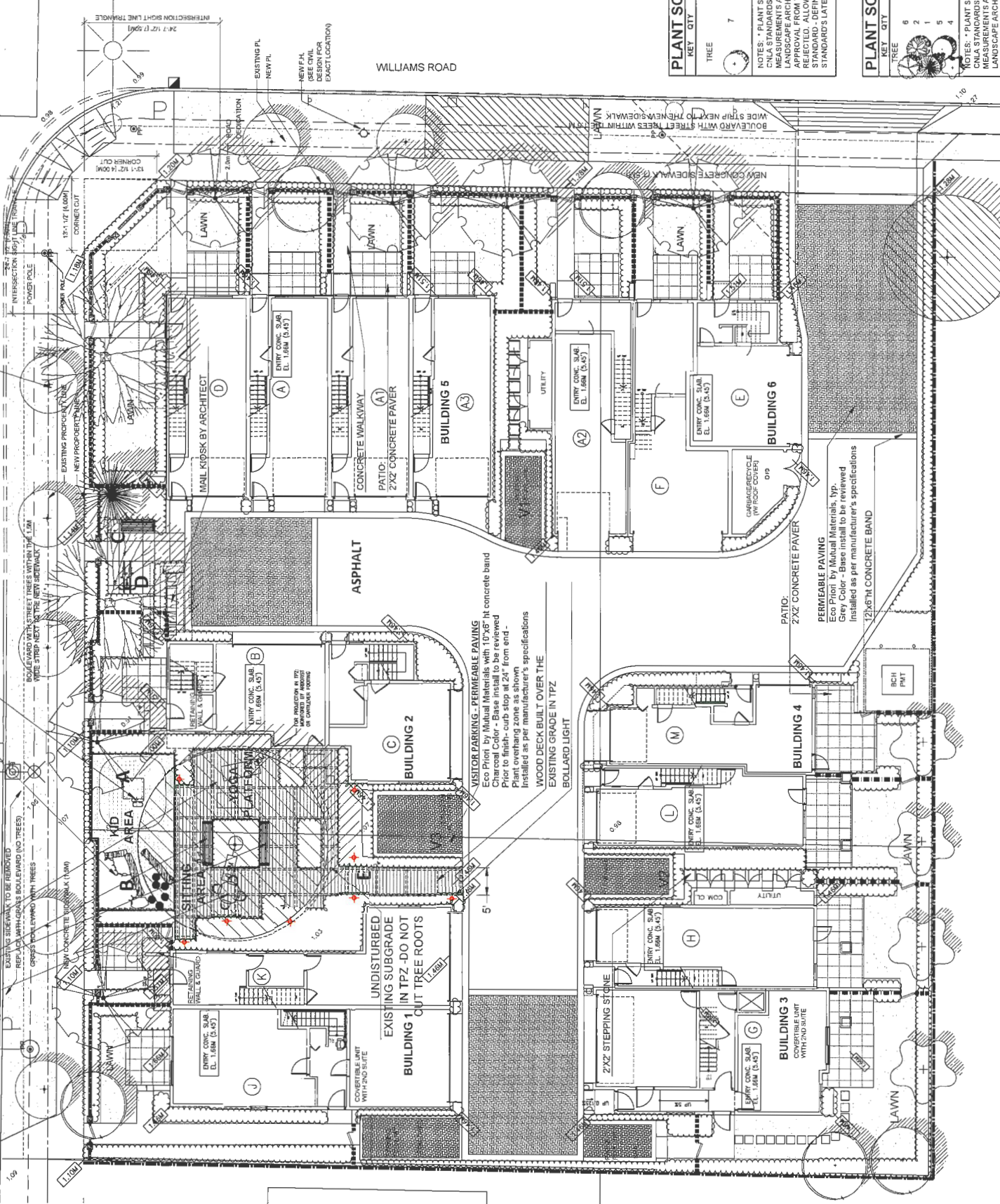


Bollard light EB2936;  
L5-7/8" x W5-7/8" x H36",  
Brushed Nickel by KUZCO

STREET TREES TO BE INSTALLED BY CONTRACTOR PREPARE BOULEVARD WITH CONTINUOUS SOIL CHANNEL 24" DEEP x 4" WIDE SOD LAWN THE SPECIES, SIZE OF TREE GENERAL SPACING AND PLANTING SPECIFICATIONS FOR THE PROPOSED STREET TREE PLANTING ARE TO BE APPROVED BY PARKS DEPARTMENT AND BC HYDRO. SEE OFF-SITE LANDSCAPE PLAN FOR YOUR REFERENCE.

**CHILDRENS PLAY AREA:**  
NATURAL PLAY ELEMENTS  
FLAT ROCKS AND LOGS FOR SITTING, WALKING ON  
PLAY HOUSE ON FIBER RESILIENT SURFACE

EXERCISE PLAZA  
BUILT IN BENCH  
SHOP DRAWING BE PROVIDED TO LA FOR REVIEW AND APPROVAL  
TABLE WITH CHAIRS BY OWNER  
GILBERT ROAD



KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	PMG PROJECT NUMBER: 16-153
TREE	7	STRAX JAPONICUS PINK CHIMES	PINK FLOWERED JAPANESE SNOWBELL	7CM CAL., 1.8M STD. BAB	

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER C/NA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \*\* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \*\*\* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	PMG PROJECT NUMBER: 16-153
TREE	6	ACER RUBRUM 'ARMSTRONG'	COLUMBIAN ARMSTRONG MAPLE	6CM CAL., 2M STD. BAB	
TREE	2	CESCAPIHYLLUM JAPONICUM	KATSURBA TREE	5CM CAL., 1.8M STD. BAB	
TREE	1	CHAMAELIPARIS HOOTATENSIS 'LAUCA'	PENDUL WEEPING NODDIA CYPRESS	4M HT. BAB	
TREE	5	POPULUS TREMULOIDES 'ERECTA'	SWEDISH TREMBLING ASPEN	10CM CAL., 2M STD. BAB	
TREE	4	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN AK	11CM CAL., 1.8M STD. BAB	

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER C/NA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \*\* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \*\*\* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY THE LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

NOTE:  
All soft landscape areas to be irrigated with automatically underground design-build system. Irrigation design and installation to L.A.B.C. Standards, latest edition.

NO.	DATE	REVISION DESCRIPTION	DR.
1	17 FEB 14	NEW SITE PLAN (CFT COMMENTS)	DD
2	17 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
3	17 MAR 15	NEW SITE PLAN	DD
4	17 MAR 15	REVISION AS PER CFT COMMENTS	DD
5	17 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
6	17 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
7	18 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
8	18 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
9	18 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
10	18 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
11	18 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
12	18 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
13	18 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
14	18 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
15	18 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
16	18 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD
17	18 MAR 15	NEW SITE PLAN (CFT COMMENTS)	DD

CLIENT: CANADIAN LIAN CHEN CONSTRUCTION DEVELOPMENTS LTD.

PROJECT:  
**15 UNIT TOWNHOUSE DEVELOPMENT**  
7000-20 WILLIAMS ROAD  
RICHMOND

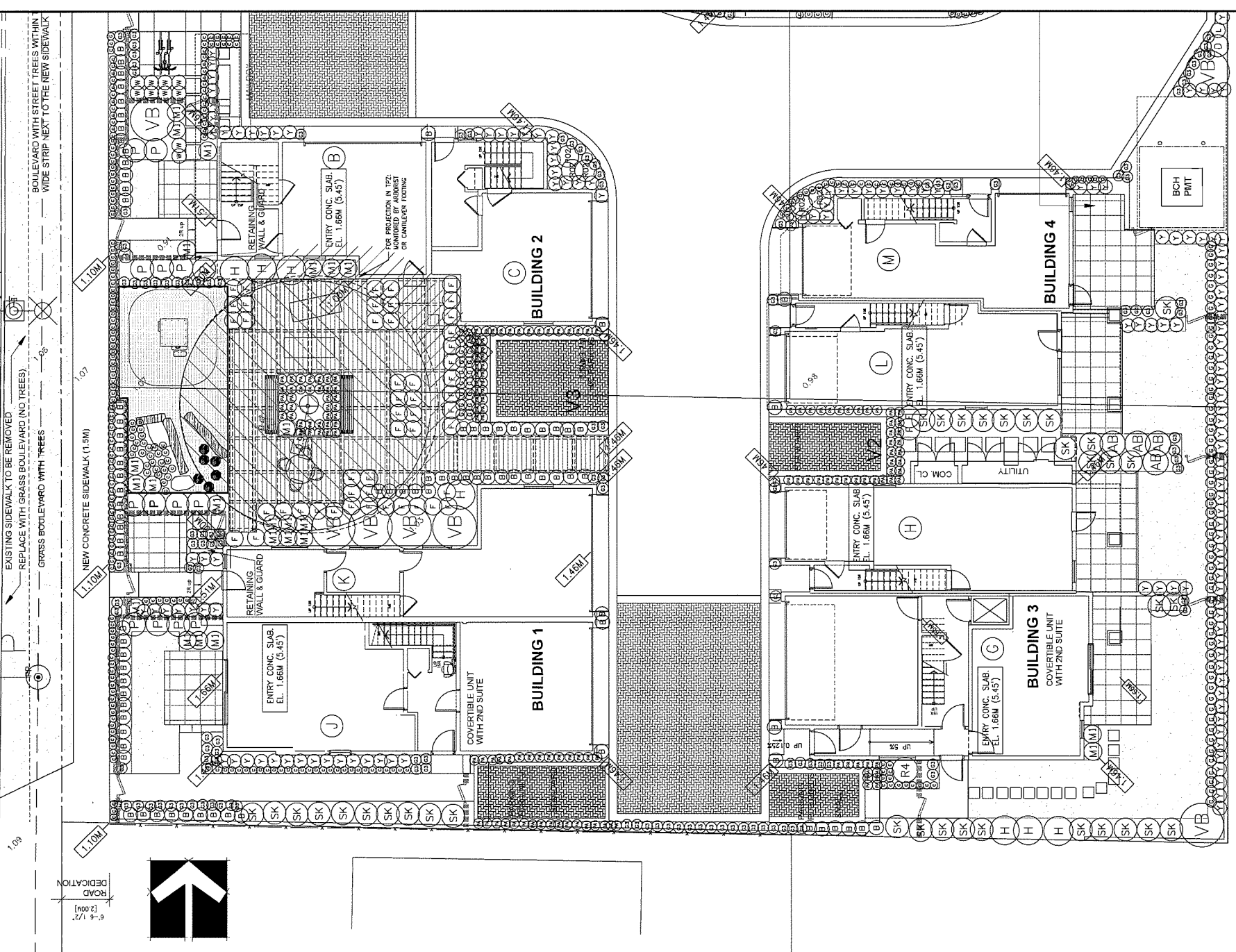
WITH: ZHAO XD ARCHITECT LTD.  
DRAWING TITLE:  
**LANDSCAPE PLAN**

DATE: August 22, 2016  
SCALE: 1/32"=1'-0"  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM  
PMG PROJECT NUMBER: 16-153

**DP 17-776441**  
Plan #2.A  
May 7, 2019



SEAL:



17	19 MAR 20	REVISION AS PER CITY REQUEST	DD
16	19 MAR 20	REVISION AS PER CITY REQUEST	DD
15	19 MAR 20	REVISION AS PER CITY REQUEST	DD
14	19 MAR 20	REVISION AS PER CITY COMMENTS	DD
13	19 MAR 20	REVISED OFF-SITE PLAN	DD
12	19 JAN 21	NEW SITE PLAN	DD
11	19 JAN 21	NEW SITE PLAN	DD
10	19 JAN 21	AS PER REV COMMENTS	DD
9	18 OCT 19	NEW CIVIL PLAN/REVISED FENCE DETAIL	DD
8	18 FEB 08	REVISION AS PER CLIENT REQUEST	DD
7	18 JAN 20	NEW SITE PLAN/CITY COMMENTS	DD
6	17 NOV 22	NEW SITE PLAN/CITY COMMENTS	DD
5	17 SEP 01	REVISION AS PER CITY COMMENTS	DD
4	17 JUN 12	NEW SITE PLAN	DD
3	17 MAR 20	NEW SITE PLAN	DD
2	17 FEB 24	NEW SITE PLAN/CITY COMMENTS	DD
1	17 FEB 24	NEW SITE PLAN/CITY COMMENTS	DD

NO. DATE REVISION DESCRIPTION DR  
CLIENT: CANADIAN LIAN CHEN CONSTRUCTION DEVELOPMENTS LTD.

PROJECT:  
**15 UNIT TOWNHOUSE DEVELOPMENT**  
7000-20 WILLIAMS ROAD  
RICHMOND

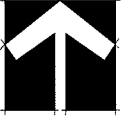
WITH: ZHAO XIAO ARCHITECT LTD.  
DRAWING TITLE:  
**SHRUB PLAN**

DATE: August 23, 2016  
SCALE: 1/8"=1'-0"  
DRAWING NUMBER:  
**10**  
DRAWN: DD  
CHKD: PCM  
PMG PROJECT NUMBER:  
829000-18-10  
OF 17  
16-153

PLANT SCHEDULE - SHRUB		COMMON NAME	PLANTED SIZE / REMARKS
KEY	QTY	BOTANICAL NAME	
SHRUB			
(A)	4	ABELIA EDWARD GOUCHER	#2 POT, 30CM
(B)	173	BUXUS MICROPHYLLA WINTER GEM	#2 POT, 25CM
(C)	7	HYDRANGEA M. 'ENDLESS SUMMER'	#3 POT, 80CM
(D)	25	PIERIS JAPONICA 'VALLEY FIRE'	#3 POT, 80CM
(E)	1	RHOODODENDRON 'CHRISTMAS CHEER'	#3 POT, 90CM
(F)	7	ROSA 'SCARLET MEIDLAND'	#2 POT, 30CM
(G)	46	SKIMMIA JAPONICA (10% MALE)	1M #POT
(H)	235	TAXUS X MEDIA 'HICKSII'	#2 POT, 30CM
(I)	1	VIBURNUM DAVIDII	1M #POT
(J)	20	WEIGELA FLORIDA 'NANA VARIEGATA'	#2 POT, 30CM
GRASS			
(K)	122	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	#1 POT
(L)	500	CAREX 'ICE DANCE'	#1 POT
(M)	25	MISCANTHUS SINENSIS 'LITTLE KITTEN'	#1 POT
(N)	208	PENISSETUM ALOPECUROIDES 'HAMILIN'	#1 POT, HEAVY
PERENNIAL			
(O)	1	LAENOCOLA ANGUSTIFOLIA 'HICCOTE BLUE'	#1 POT
(P)	183	PACHYSANDRA TERMINALIS	#1 POT, 15CM
(Q)	51	POLYSTICHUM MUNIUM	#1 POT, 20CM
(R)			
(S)			
(T)			
(U)			
(V)			
(W)			
(X)			
(Y)			
(Z)			

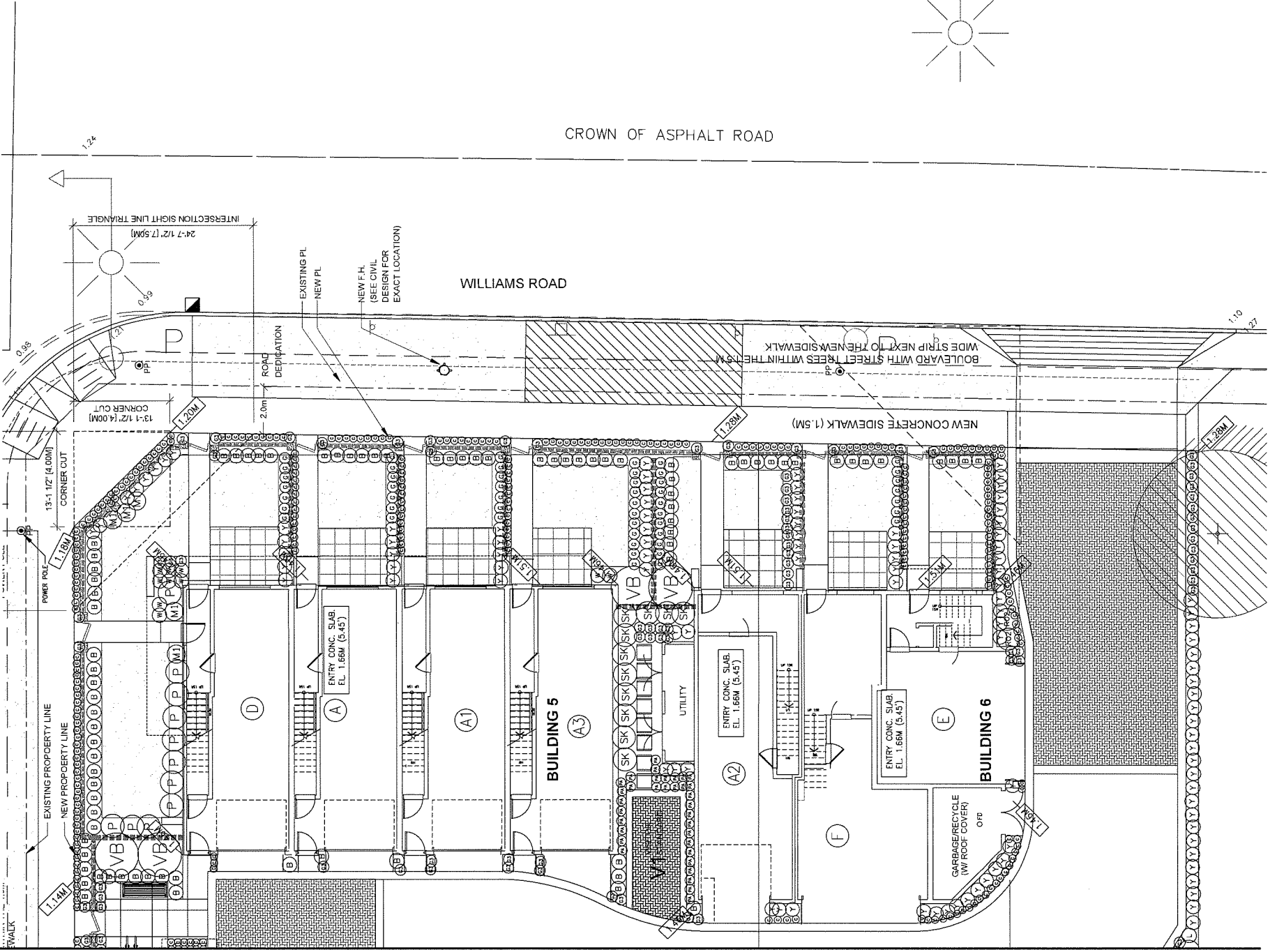
NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES REFERRED TO IN THIS LIST ARE IN INCHES. \* PLANT SIZES ARE APPROXIMATE. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS APPROVED BY ARCHITECT.

**DP 17-776441**  
Plan #2.B  
May 7, 2019



SEAL:

CROWN OF ASPHALT ROAD



17	19.AUG.19	REVISION AS PER CITY REQUEST	DD
16	19.AUG.15	REVISION AS PER CITY REQUEST	DD
15	19.AUG.15	REVISION AS PER CITY REQUEST	DD
14	19.AUG.14	REVISION AS PER CITY COMMENTS	DD
13	19.AUG.08	REVISED OFF-SITE PLAN	DD
12	19.AUG.11	NEW SITE PLAN	DD
11	19.AUG.17	NEW SITE PLAN	DD
10	19.AUG.02	AS PER ADF COMMENTS	DD
9	18.OCT.19	NEW CIVIL PLAN/REVISED FENCE DETAIL	DD
8	18.FEB.08	REVISION AS PER CLIENT REQUEST	DD
7	18.AUG.25	NEW SITE PLAN/CITY COMMENTS	DD
6	17.FEB.22	NEW SITE PLAN/CITY COMMENTS	DD
5	17.FEB.01	REVISION AS PER CITY COMMENTS	DD
4	17.JUN.12	NEW SITE PLAN	DD
3	17.AUG.09	NEW SITE PLAN	DD
2	17.FEB.24	NEW SITE PLAN/CITY COMMENTS	DD
1	17.FEB.24	NEW SITE PLAN/CITY COMMENTS	DD

NO. DATE REVISION DESCRIPTION DR.

CLIENT: CANADIAN LIAN CHEA CONSTRUCTION DEVELOPMENTS LTD.

PROJECT:

**15 UNIT TOWNHOUSE DEVELOPMENT**

7000-20 WILLIAMS ROAD  
RICHMOND

WTR: ZHAO YD ARCHITECT LTD.

DRAWING TITLE:

**SHRUB PLAN**

DATE: August 23, 2016  
SCALE: 1/8"=1'-0"

DRAWING NUMBER: **11**  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM

PMG PROJECT NUMBER: 829000-18-10  
16-153

**PLANT SCHEDULE - SHRUB**

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
(AB)	4	ABELIA EDWARD GOUCHER*	PINK ABELIA	#2 POT; 30CM
(B)	173	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM
(C)	7	HYDRANGEA M. 'ENDLESS SUMMER'	ENDLESS SUMMER BIGLEAF HYDRANGEA	#3 POT; 80CM
(D)	25	PIERIS JAPONICA 'VALLEY FIRE'	VALLEY FIRE PIERIS	#3 POT; 50CM
(E)	1	RHOODODENDRON 'CHRISTMAS CHEER'	CHRISTMAS CHEER RHOODODENDRON	#3 POT; 50CM
(F)	7	ROSA 'SCARLET MEIDLAND'	SCARLET MEIDLAND ROSE	#2 POT; 40CM
(G)	46	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#2 POT; 30CM
(H)	1	TAXUS X MEDIA 'HICKSI'	HICKS' YEW	1M + POT
(I)	238	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#2 POT; 30CM
(J)	11	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	1.0M HT, B&B; TREE FORM
(K)	20	WEIGELA FLORIDA 'NANA VARIEGATA'	DIWARF VARIEGATED WEIBELA	#2 POT; 30CM
GRASS				
(L)	122	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
(M)	500	CAREX 'ICE DANCE'	FROSTED SEDGE	#1 POT
(N)	29	MISCANTHUS SINENSIS 'LITTLE KITTEN'	COMPACT MAIDEN GRASS	#1 POT
(O)	208	FENNETTUM ALOPECUROIDES 'HAMILIN'	DIWARF FOUNTAIN GRASS	#1 POT; HEAVY
PERENNIAL				
(P)	1	LAVERDULA ANGSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER	#1 POT
(Q)	183	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT; 15CM
(R)	51	POLYSTICHUM MUNITUM	WESTERN SWORD FERN*	#1 POT; 20CM

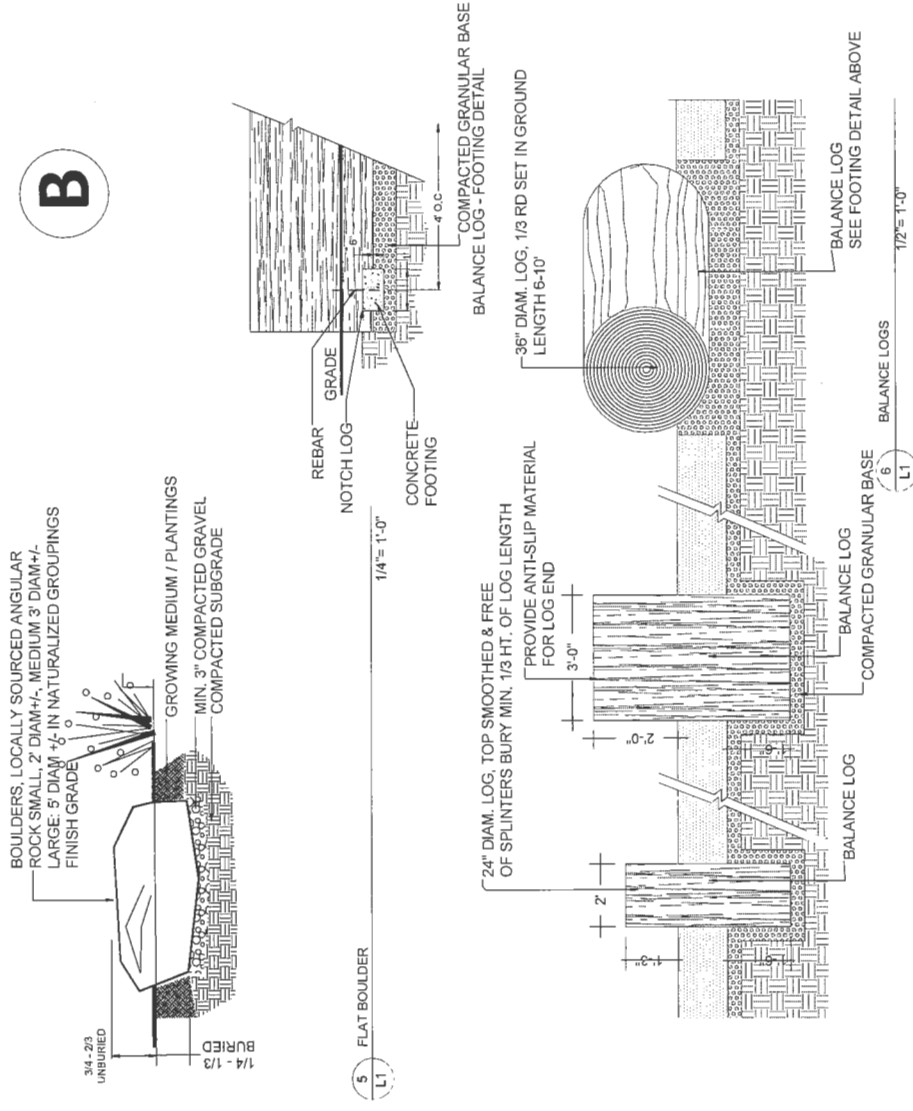
NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. \* AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN MATERIAL FROM A MINIMUM OF FIVE PLANTS PRIOR TO MAKING ANY SUBSTITUTIONS. \* ALL SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT. \* ALL SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT PRIOR TO DELIVERY. \* ALL SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. \* DEFINITION OF CONDITIONS OF AVAILABILITY: \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

**DP 17-776441**  
Plan #2.C  
May 7, 2019

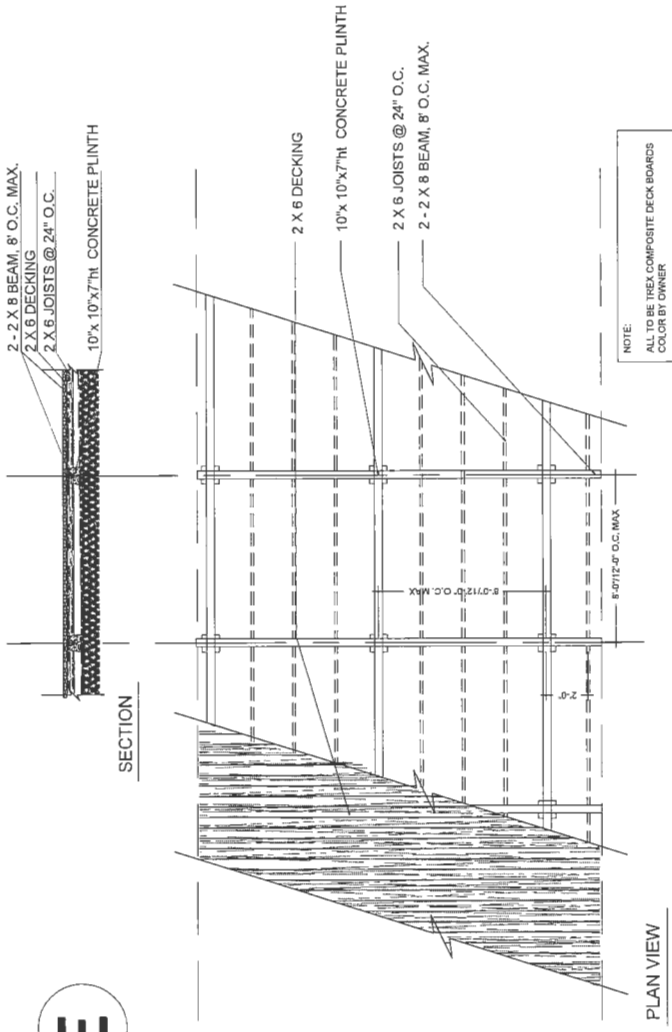


SEAL:

**B**

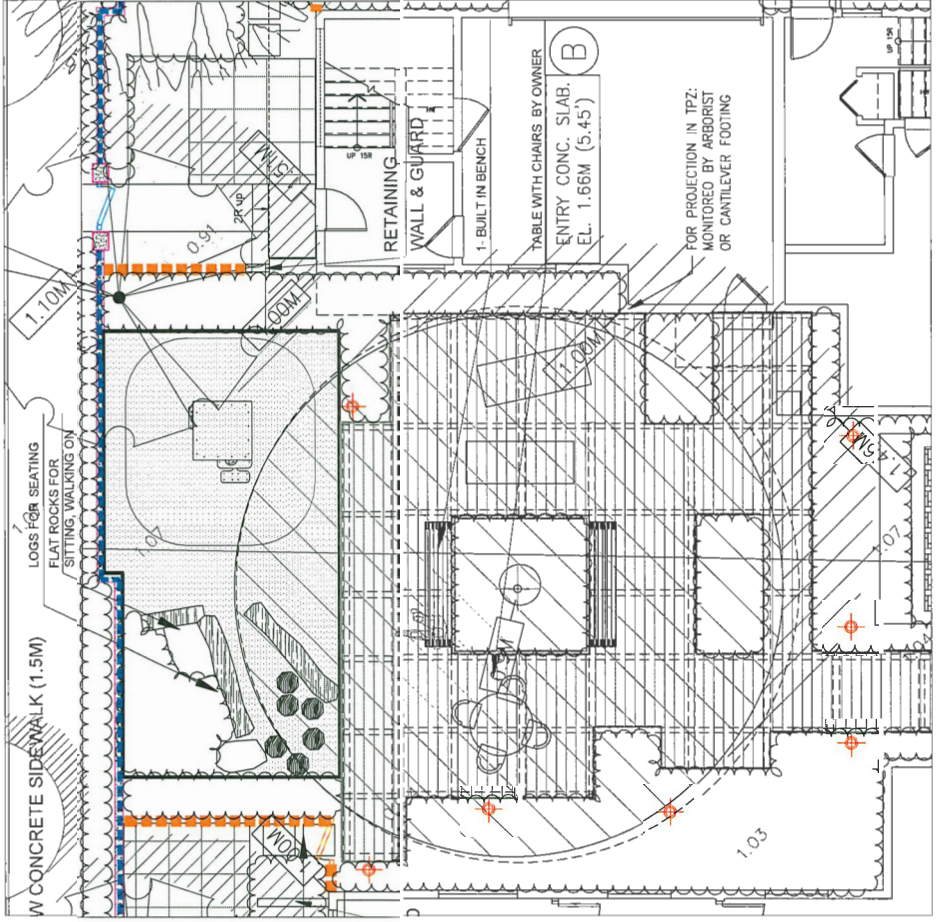


**E**



OVERLOOK DECK PLAN VIEW  
SCALE: 1/4"=1'-0"

**8**  
L1



AMENITY AREA - ENLARGEMENT  
SCALE: 3/16"=1'-0"



**7**  
L1  
DECK UNDER THE EXISTING TREE IN TPZ  
1/2" = 1'-0"

17	19 APR 19	REVISION AS PER CITY REQUEST	DD
16	15 APR 17	REVISION AS PER CITY COMMENTS	DD
15	13 APR 15	REVISION AS PER CITY REQUEST	DD
14	23 MAR 14	REVISION AS PER CITY COMMENTS	DD
13	18 MAR 14	REVISED SITE PLAN	DD
12	13 APR 11	NEW SITE PLAN	DD
11	13 APR 11	AS PER CLIENT COMMENTS	DD
10	13 APR 11	AS PER CLIENT COMMENTS	DD
9	18 FEB 10	NEW CONC. PLAN/REVISED FENCE DETAIL	DD
8	18 FEB 10	REVISION AS PER CLIENT REQUEST	DD
7	18 JAN 10	NEW SITE PLAN/CITY COMMENTS	DD
6	17 NOV 07	NEW SITE PLAN/CITY COMMENTS	DD
5	17 SEP 05	REVISION AS PER CITY COMMENTS	DD
4	17 JUN 12	NEW SITE PLAN	DD
3	17 MAR 09	NEW SITE PLAN	DD
2	17 FEB 08	NEW SITE PLAN/CITY COMMENTS	DD
1	17 FEB 08	NEW SITE PLAN/CITY COMMENTS	DD

NO. DATE REVISION DESCRIPTION DR  
CLIENT: CANADIAN LIAN CHEN CONSTRUCTION DEVELOPMENTS LTD.

PROJECT:  
**15 UNIT TOWNHOUSE DEVELOPMENT**

**7000-20 WILLIAMS ROAD RICHMOND**

WITH ZHAO XID ARCHITECT LTD.  
DRAWING TITLE:  
**LANDSCAPE DETAILS AMENITY AREA**

DATE: August 23, 2016  
SCALE:  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM  
DRAWING NUMBER:  
**12**  
OF 17  
829000-18-10  
PMG PROJECT NUMBER:  
16-153

**DP 17-776441**  
Plan #2.D  
May 7, 2019



SEAL:



17	19 APR 20	REVISION AS PER CITY REQUEST	DR
16	19 APR 17	REVISION AS PER CITY REQUEST	DR
15	19 APR 15	REVISION AS PER CITY REQUEST	DR
14	19 MAR 24	REVISION AS PER CITY COMMENTS	DR
13	15 MAR 09	REVISED OFF-SITE PLAN	DR
12	19 JAN 21	NEW SITE PLAN	DR
11	19 JAN 17	NEW SITE PLAN	DR
10	19 JAN 02	AS PER A/C COMMENTS	DR
9	18 OCT 19	NEW CIVIL PLAN/REVISED FENCE DETAIL	DR
8	18 FEB 08	REVISION AS PER CLIENT REQUEST	DR
7	18 JAN 18	NEW SITE PLAN/CITY COMMENTS	DR
6	17 NOV 22	NEW SITE PLAN/CITY COMMENTS	DR
5	17 SEP 01	REVISION AS PER CITY COMMENTS	DR
4	17 JUN 12	NEW SITE PLAN	DR
3	17 NOV 29	NEW SITE PLAN	DR
2	17 NOV 09	NEW SITE PLAN	DR
1	17 FEB 04	NEW SITE PLAN/CITY COMMENTS	DR
	NO. DATE	REVISION DESCRIPTION	DR

CLIENT: CANADIAN LIAN CHEN CONSTRUCTION DEVELOPMENTS LTD.

PROJECT:  
**15 UNIT TOWNHOUSE DEVELOPMENT**

7000-2D WILLIAMS ROAD  
RICHMOND

WITH ZHAO XD ARCHITECT LTD.

**FENCE PLAN**  
**PLAN**

DATE: August 23, 2016 DRAWING NUMBER:

SCALE: 3/32"=1'-0"

DRAWN: DD

DESIGN: DD

CHKD: PCM

PMG PROJECT NUMBER:

**DP 17-776441**

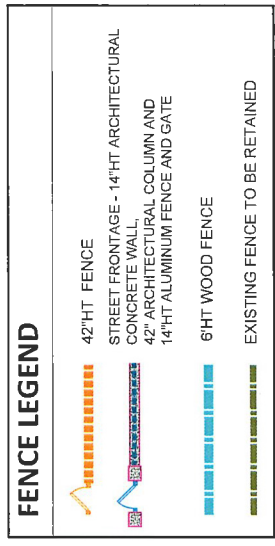
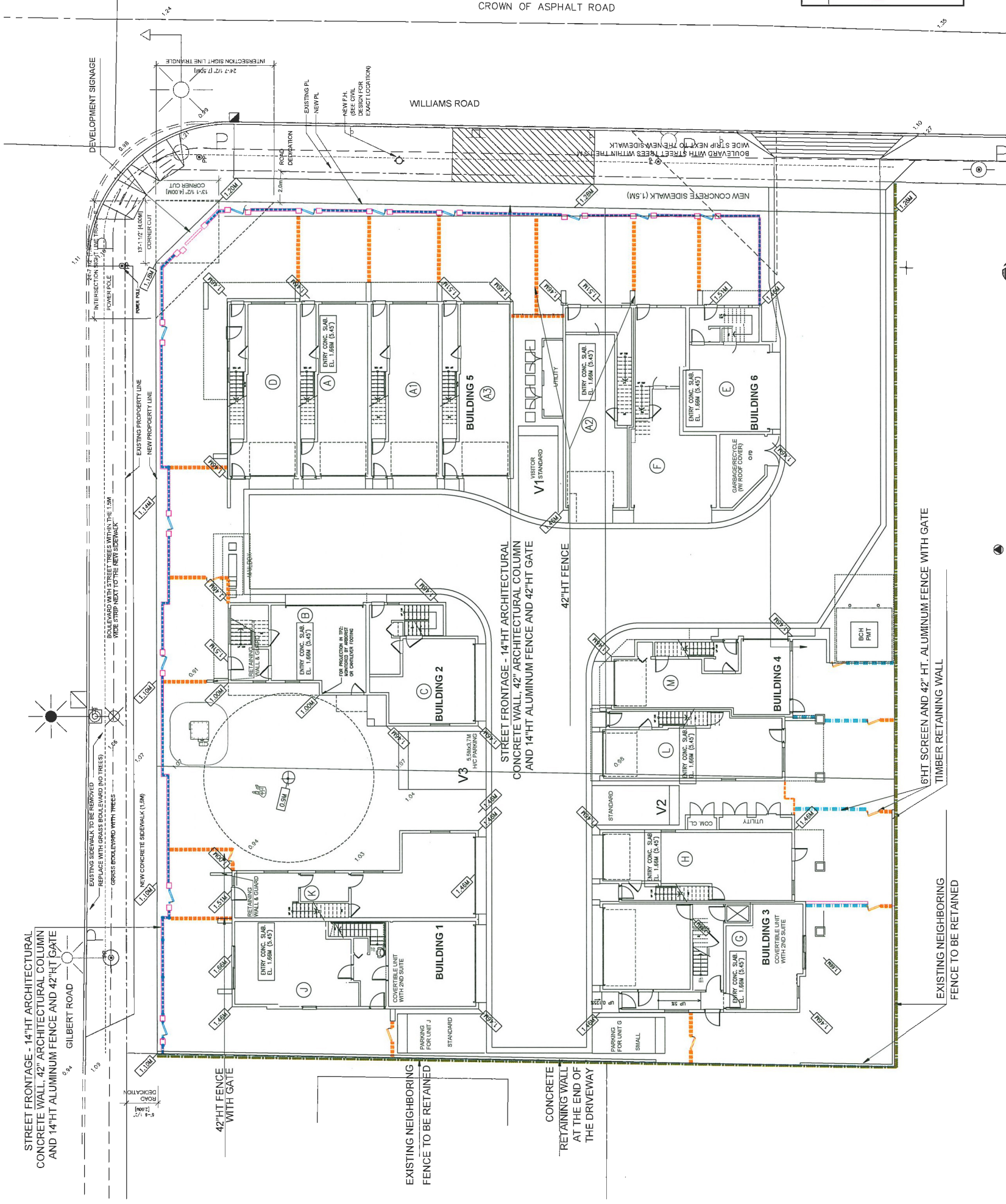
Plan #2.E

May 7, 2019

OF 17

829000-18-10

16-153





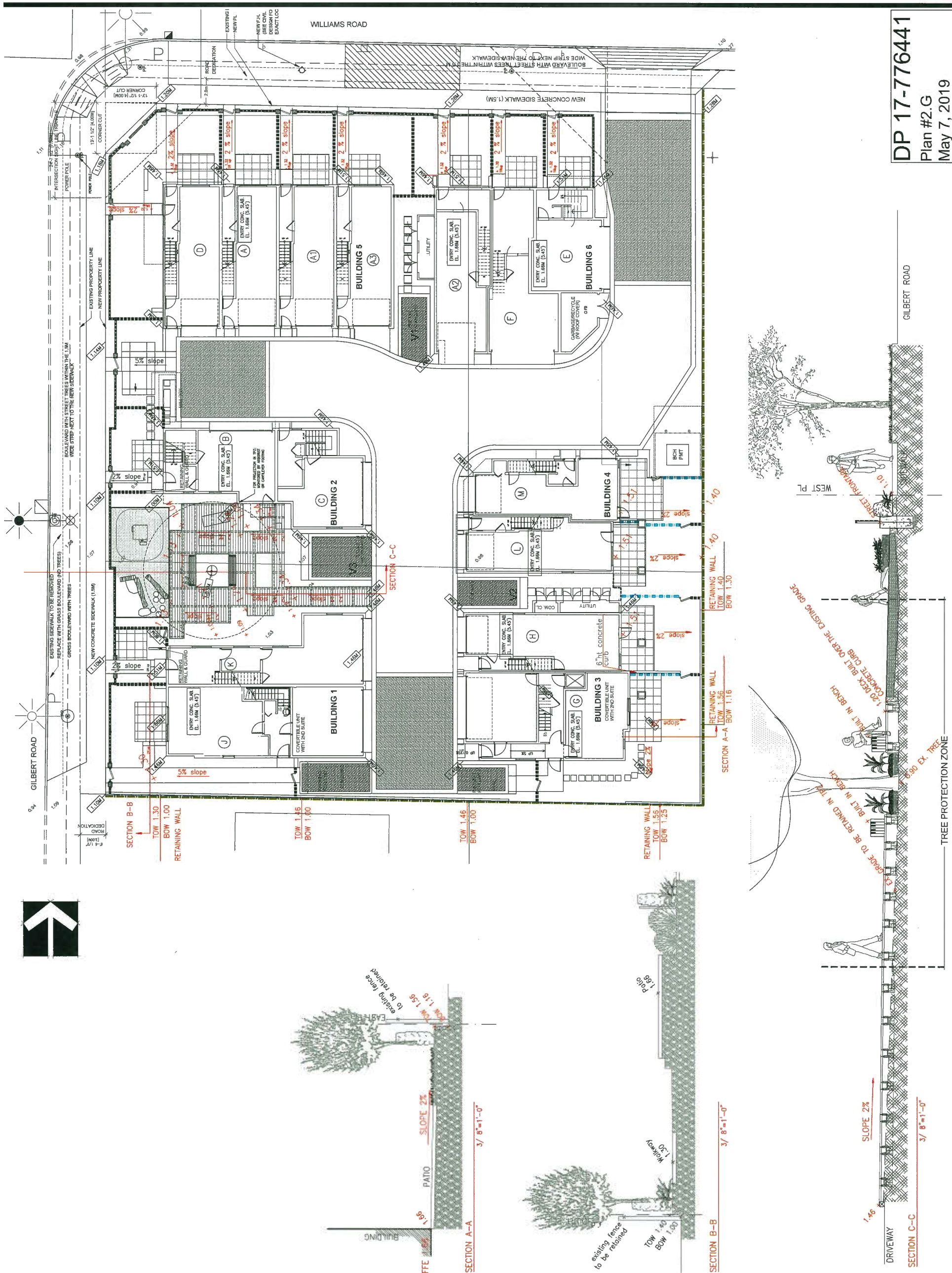


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p: 604.294-0011 : f: 604.294-0022

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
17	13.APR.19	REVISION AS PER CITY REQUEST	DD
18	23.APR.17	REVISION AS PER CITY COMMENTS	DD
19	15.AUG.14	REVISION AS PER CITY COMMENTS	DD
20	15.AUG.14	REVISION AS PER CITY COMMENTS	DD
21	19.MAR.06	REVISED SITE PLAN	DD
22	19.MAR.06	NEW SITE PLAN	DD
23	19.MAR.06	NEW SITE PLAN	DD
24	19.APR.02	AS PER APP COMMENTS	DD
25	18.OCT.19	NEW CIVIL PLAN REVISED FENCE DETAIL	DD
26	18.FEB.08	REVISION AS PER CLIENT REQUEST	DD
27	18.AUG.06	NEW SITE PLAN/CITY COMMENTS	DD
28	17.AUG.02	NEW SITE PLAN/CITY COMMENTS	DD
29	17.AUG.02	REVISION AS PER CITY COMMENTS	DD
30	17.AUG.02	NEW SITE PLAN	DD
31	17.AUG.02	NEW SITE PLAN	DD
32	17.AUG.02	NEW SITE PLAN	DD
33	17.FEB.04	NEW SITE PLAN/CITY COMMENTS	DD
34	17.FEB.04	NEW SITE PLAN/CITY COMMENTS	DD

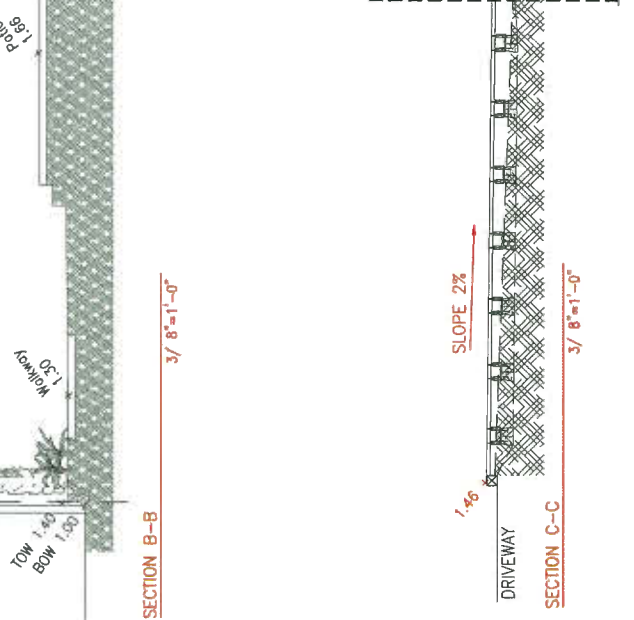
CLIENT: CANADIAN LIAN CHEN CONSTRUCTION DEVELOPMENTS LTD.

PROJECT:  
**15 UNIT TOWNHOUSE DEVELOPMENT**  
7000-20 WILLIAMS ROAD  
RICHMOND

DRAWING TITLE:  
**GRADING PLAN**

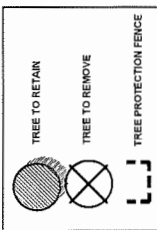
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SCALE: 3/32"=1'-0"  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM  
DRAWING NUMBER:  
**15**  
DF 17  
829000-18-10  
PMG PROJECT NUMBER:  
16-153

**DP 17-776441**  
Plan #2.G  
May 7, 2019





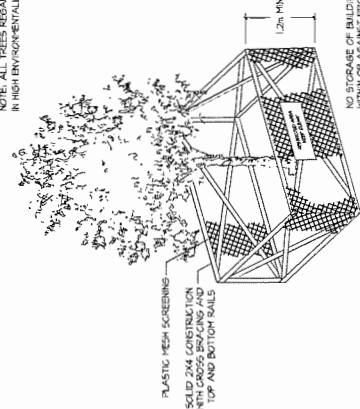
SEAL:



NOTE: ALL TREES REQUIRING OR BEING PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS.

**TREE PROTECTION DISTANCE TABLE**

TRUNK DIAMETER (IN) @ 1.37M	MINIMUM PROTECTION RADIUS (M)
25	1.2
30	1.6
35	2.1
40	2.4
45	2.7
50	3.1
55	3.5
60	3.9
65	4.3
70	4.7
75	5.1
80	5.5
85	5.9
90	6.3
95	6.7
100	7.1



**1A TREE PROTECTION BARRIER**

Tree Information Table

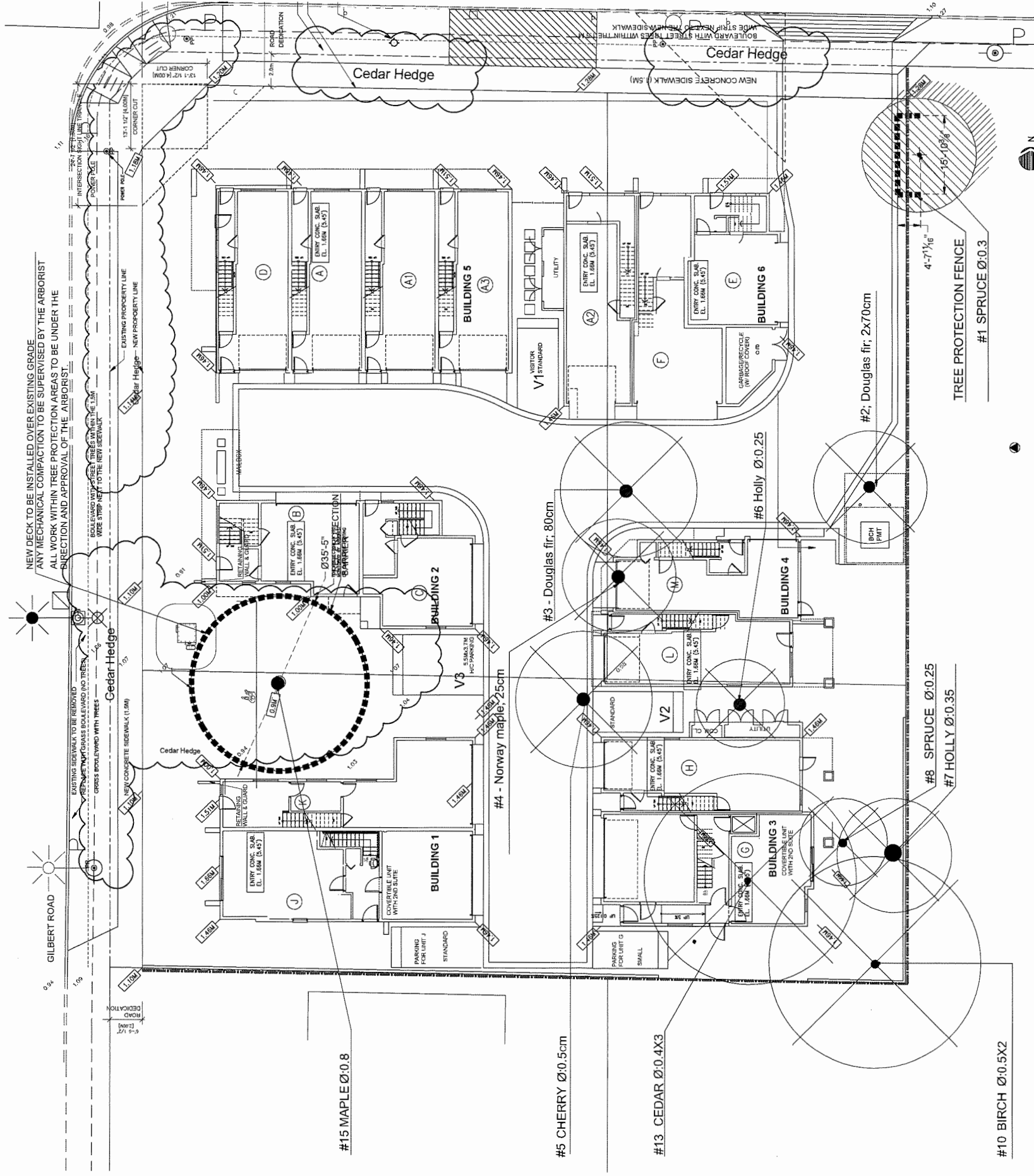
Ref #	Species	Size	Comments	Retention
1	On Site Trees			
2	Douglas Fir	2 x 70cm	Co dominant main stems from the ground. Fine swing. Large tree with wide spreading form. Good health. Located too close to internal road to allow for retention.	Remove
3	Douglas Fir	80cm	Large trunk diameter but not really a large scale tree. Good health. Located within an internal road.	Remove
4	Norway Maple	25cm	Small tree located close to much larger fir. Crowded with one spread form. Good health. Located within driveway for building 4.	Remove
5	Cherry	50cm	Fruiting cherry. Prune to control size in the past. Poor form, good health. Located within the internal roadway.	Remove
6	Holly	20cm	Small tree with co dominant main leaders. Good health, poor form. Located between building 3 & 4.	Remove
7	Holly	35cm	Part of a hedge row off Holly in the south west corner. Crowded form. Not suitable for selective preservation due to poor form.	Remove
8	Blue Spruce	25cm	Part of a cluster of trees in the south west corner. Crowded by other larger trees. Limited live foliage due to shading. Located within building 3 footprint.	Remove
10	Paper Birch	2 x 50cm	Old Birch with extensive borer infestation. Only the lower limbs still alive. Very poor condition. Not suitable for preservation.	Remove
13	Western Red Cedar	3 x 40cm	Large multi stem tree in the south east corner. Largest of the trees in the corner. Fall with bushy form. Good health, poor form. Located within building 3 footprint.	Remove
15	Norway Maple	80cm	Large tree with wide spreading form. Located within a hedge row of species such that there are no live lower limbs, upper canopy spreads out over the hedge row. Good health, poor form. Site plan has been updated to allow a reasonable opportunity preserve this tree.	Retain

9 EXISTING TREES ARE PROPOSED FOR REMOVAL  
18 REPLACEMENT TREES HAVE BEEN PROPOSED AS PER CITY BYLAW

**Replacement Trees**

No of Replacement Trees	Species	Size
6	ACER RUBRUM 'RED SUNSET'	6CM CAL; 2M STD; B&B
2	CERCIDIPHYLLUM JAPONICUM	9CM CAL; 1.8M STD; B&B
1	CHAMAECYPARIS NOOTKATENSIS 'GLAUCA PENDULA'	4.0M HT; B&B
5	POPULUS TREMULOIDES 'ERECTA'	10CM CAL; 2M STD; B&B
4	QUERCUS PALUSTRIS 'GREEN PILLAR'	11CM CAL; 1.8M STD; B&B

**DP 17-776441**  
Plan #2.H  
May 7, 2019



#15 MAPLE Ø:0.8

#5 CHERRY Ø:0.5cm

#13 CEDAR Ø:0.4X3

#10 BIRCH Ø:0.5X2

#2: Douglas fir: 2x70cm

#1 SPRUCE Ø:0.3

#8 SPRUCE Ø:0.25

#7 HOLLY Ø:0.35

#3 - Douglas fir: 80cm

#4 - Norway maple: 25cm

#6 Holly Ø:0.25

NEW DECK TO BE INSTALLED OVER EXISTING GRADE  
ANY MECHANICAL COMPARTMENT TO BE SUPERVISED BY THE ARBORIST  
ALL WORK WITHIN TREE PROTECTION AREAS TO BE UNDER THE DIRECTION AND APPROVAL OF THE ARBORIST

EXISTING SIDEWALK TO BE REMOVED  
REPLACING WITH CONCRETE SIDEWALK AND TREES  
GROSS DEVELOPED WITH TREES

WIDE STRIP NEXT TO THE NEW SIDEWALK  
TO BE MAINTAINED AS OPEN SPACE

NEW CONCRETE SIDEWALK (1.5M)

EXISTING PROPERTY LINE

NEW PROPERTY LINE

INTERSECTION HOIST LANE (TRAIL)

POWER POLE

ROAD DEGRADATION

BOULEVARD WITH STREET LIGHTS WITHIN THE

NEW CONCRETE SIDEWALK (1.5M)

NEW CONCRETE SIDEWALK (1.5M)

NEW CONCRETE SIDEWALK (1.5M)

NEW CONCRETE SIDEWALK (1.5M)

NEW CONCRETE SIDEWALK (1.5M)

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NEW CONCRETE SIDEWALK (1.5M)

NEW CONCRETE SIDEWALK (1.5M)

NEW CONCRETE SIDEWALK (1.5M)

**TREE MANAGEMENT PLAN**

15 UNIT TOWNHOUSE DEVELOPMENT

7000-20 WILLIAMS ROAD RICHMOND

WITH: ZHAO YU ARCHITECT LTD.

DRAWING TITLE

14

OF 17

829000-18-10

16-153

CLIENT: CANADIAN LIAN CHEN CONSTRUCTION DEVELOPMENTS LTD.

NO. DATE REVISION DESCRIPTION DR.

17	19 APR 19	REVISION AS PER CITY REQUEST	DD
16	15 APR 17	REVISION AS PER CITY COMMENTS	DD
15	23 APR 15	REVISION AS PER CITY REQUEST	DD
14	25 MAR 14	REVISION AS PER CITY COMMENTS	DD
13	18 MAR 14	REVISION AS PER CITY COMMENTS	DD
12	19 MAR 14	NEW SITE PLAN	DD
11	19 MAR 14	NEW SITE PLAN	DD
10	19 MAR 14	AS PER RFP COMMENTS	DD
9	18 OCT 13	NEW CIVIL PLAN/REVISED FENCE DETAIL	DD
8	18 FEB 08	REVISION AS PER CLIENT REQUEST	DD
7	18 JAN 16	NEW SITE PLAN/CITY COMMENTS	DD
6	17 NOV 12	NEW SITE PLAN/CITY COMMENTS	DD
5	17 SEP 11	REVISION AS PER CITY COMMENTS	DD
4	17 APR 12	NEW SITE PLAN	DD
3	17 MAR 09	NEW SITE PLAN	DD
2	17 FEB 08	NEW SITE PLAN/CITY COMMENTS	DD
1	17 FEB 08	NEW SITE PLAN	DD

24 MAR/19	ADP COMMENTS
19 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18 FEB/17	CITY COMMENTS
29 AUG/16	REZONING APP
Date:	Issued For:

A	DETAIL NUMBER
B	LOCATION SHEET
C	DETAIL SHEET

All drawings, specifications and other related documents shall be read in conjunction with the contract documents. No part of this drawing shall be altered without the written permission of the Architect. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals.

Project:

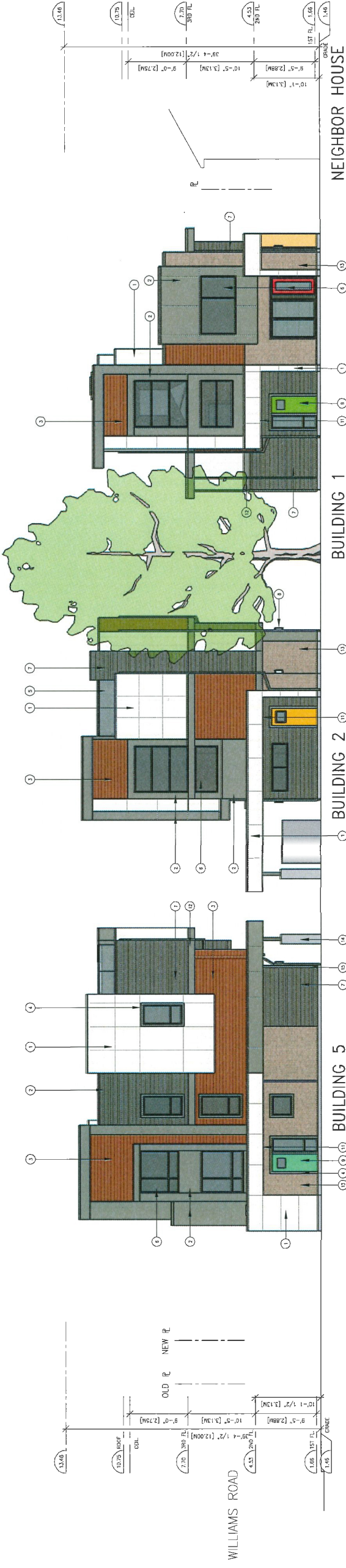
TOWNHOUSE DEVELOPMENT AT WILLIAMS RD. & GILBERT RD.

7000-20 Williams-10060 Gilbert RICHMOND, BC

Drawing Title:  
ELEVATIONS

Date:  
Scale:  
Drawn By:  
Checked By:  
Project No.:  
Drawing No.:  
A3.00

**DP 17-776441**  
**Plan #3.A**  
**May 7, 2019**



**WEST ELEVATIONS**  
SCALE: 1/8"=1'-0"  
(STREET ELEVATION ALONG GILBERT ROAD)

**NORTH ELEVATIONS**  
SCALE: 1/8"=1'-0"  
(STREET ELEVATION ALONG WILLIAMS ROAD)

- EXTERIOR FINISH & COLOR**
- 1 JAMES HARDIE PANELS / ARCTIC WHITE
  - 2 JAMES HARDIE PANELS / Aged Pewter
  - 3 FISHER (CONCRETE BOARD SILING) - CONCRETE 2.0
  - 4 2X4 WOOD TRIM - SEE COLOR ELEVATIONS FOR COLOR
  - 5 GLASS/ALUMINUM GLAZED SYSTEM
  - 6 DOUBLE-GLAZED WINDOWS IN VINYL FRAMES
  - 7 WOOD SILING (1"7) - Aged Pewter
  - 8 LIGHT FIXTURE (MOTION SENSOR LED)
  - 9 HOLLOW CORE DOOR - SEE COLOR ELEVATIONS FOR COLOR
  - 10 GARAGE DOOR: BK-14-555 MARRIPELLER
  - 11 POT LIGHTS AT EACH ENTRY
  - 12 2X12 HORIZONTAL TRIM BOARD C/P FLASHING OVER - Aged Pewter
  - 13 CULTURED STONE BY BORNAL - GREY PROFIT
  - 14 HASKERVELL - Aged Pewter
  - 15 BRONZE LATCH
- \* EXISTING ON FRAME FACING STREET OR ENTRY DIMENARY INCLUDING CONNECTED TURNING SECT. AND GARAGE & ENTRY CLEARANCE





#255-11181 Voyager Way,  
Richmond, BC V6X 3N9  
Tel: (604) 275-8882  
Fax: (604) 505-1736  
Email: info@zhaoxd.com  
Web: zhaoxd.com

The drawing shall be used for construction  
purposes only. It is the responsibility of the contractor  
to verify all dimensions and details.

24 MAR/19	ADP COMMENTS
19 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18 FEB/17	CITY COMMENTS
29 AUG/16	REZONING APP
Date:	Issued For:

A DETAIL NUMBER  
B LOCATION SHEET  
C DETAIL SHEET

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The contractor shall check and verify all project  
dimensions and details before proceeding with the work.

Project:  
**TOWNHOUSE  
DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.**

7000-20 Williams-10060 Gilbert  
RICHMOND, BC

Drawing Title:  
**ELEVATIONS**

Date:  
Scale:  
Drawn By:  
Checked By:  
Project No.:

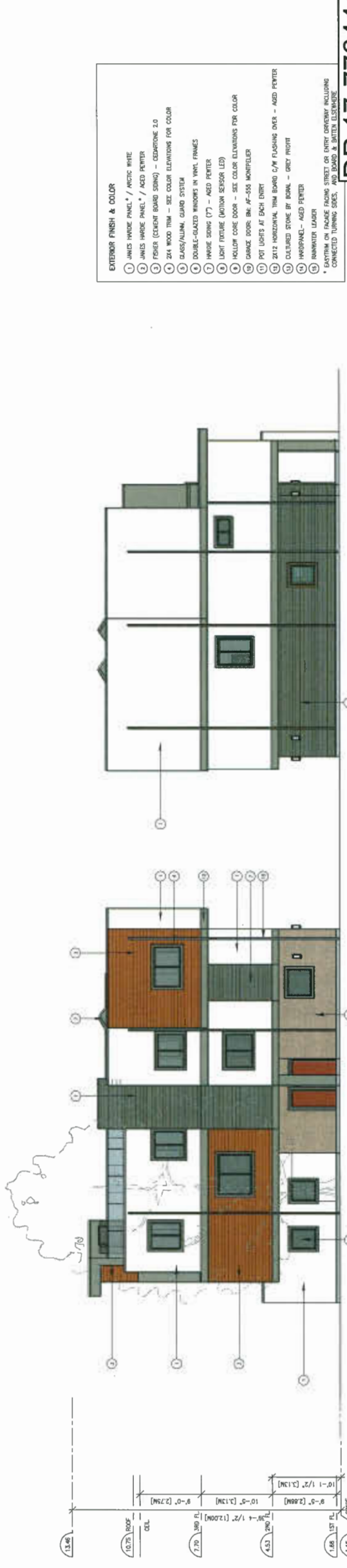
Drawing No.:  
**A3.01**



**SOUTH ELEVATIONS**  
SCALE: 1/8"=1'-0"



**EAST ELEVATIONS**  
SCALE: 1/8"=1'-0"  
(FACING EAST LOT LINE)



**SOUTH ELEVATION BUILDING 2**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION BUILDING 4**  
SCALE: 1/8"=1'-0"

- EXTERIOR FINISH & COLOR**
- ① JAMES HARDIE PANEL / WHITE WIRE
  - ② JAMES HARDIE PANEL / AGED PETER
  - ③ FOSBER (LIGHT BOARD SIDING) - CELESTINE 2.0
  - ④ 2X4 WOOD TRIM - SEE COLOR ELEVATIONS FOR COLOR
  - ⑤ GLASS/ALUMINUM GLAZED SYSTEM
  - ⑥ DOUBLE-GLAZED WINDOWS IN W/CK FRAMES
  - ⑦ W/CK SIDING (7' - AGED PETER
  - ⑧ LIGHT FIXTURE (MOTION SENSOR LED)
  - ⑨ HOLLOW CORE DOOR - SEE COLOR ELEVATIONS FOR COLOR
  - ⑩ GARAGE DOOR: BK AF-555 MONTELEPER
  - ⑪ POT LIGHTS AT EACH ENTRY
  - ⑫ 2X12 HORIZONTAL TRIM BOARD C/W FLUSHING OVER - AGED PETER
  - ⑬ COLOURED STONE BY BORN - GREY FRONT
  - ⑭ HROPPANEL - AGED PETER
  - ⑮ BANNER LEADER
- \* MATCH ON PLANS (CHECK SHEETS AS WELL AS ELEVATIONS INCLUDING  
CONCRETE TURNING BACK, AND BOARD & BATTEN ELEVATION)

**DP 17-776441**  
**Plan #3.B**  
**May 7, 2019**





**ZHAO XD ARCHITECT LTD.**  
 #255-11181 Voyager Way,  
 Richmond, BC V6X 3N9  
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 Fax: (604) 505-1738  
 Email: info@zhaoarch.com  
 Web: zhaoarch.com

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24 MAR/19	ADP COMMENTS
19 NOV/16	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18 FEB/17	CITY COMMENTS
29 AUG/16	REZONING APP
Date:	Issued For:

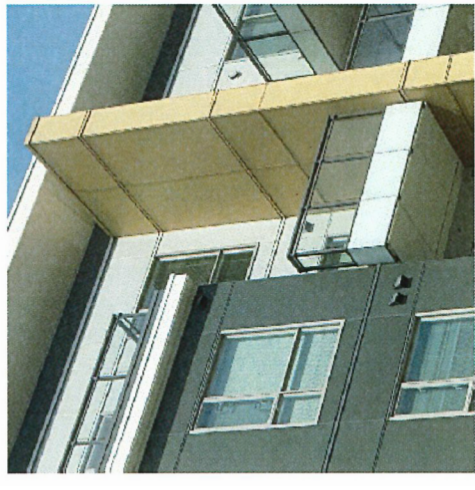
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 B LOCATION SHEET  
 C DETAIL SHEET

Project:  
**TOWNHOUSE DEVELOPMENT AT WILLIAMS RD. & GILBERT RD.**  
 7000-20 Williams-10060 Gilbert RICHMOND, BC

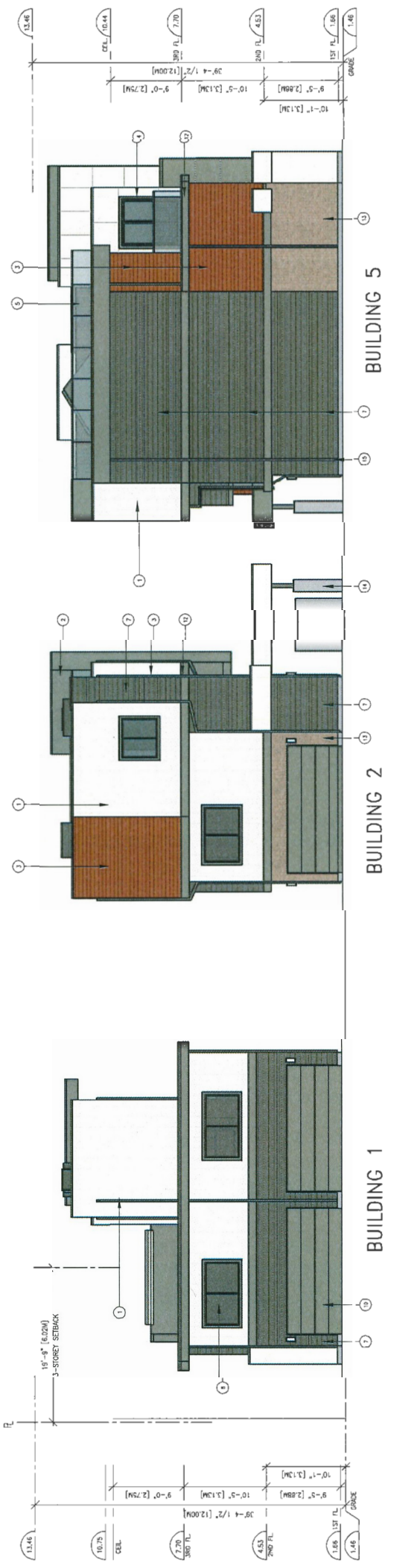
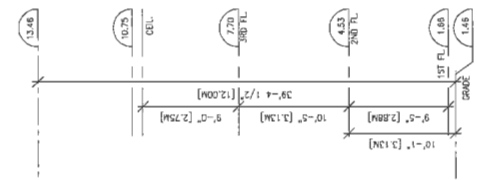
Drawing Title:  
**ELEVATIONS**

Date:  
 Scale:  
 Drawn By:  
 Checked By:  
 Project No.:  
 Drawing No.: **A3.02**

- EXTERIOR FINISH & COLOR**
- ① JAMES HARDIE PANEL / ARCTIC WHITE
  - ② JAMES HARDIE PANEL / ACID PENTR
  - ③ FISHER (CLMENT BOARD SINK) - CLMSTONE 2.0
  - ④ 204 WOOD TRIM - SEE COLOR ELEVATIONS FOR COLOR
  - ⑤ CLAS/ALUM. CURB SYSTEM
  - ⑥ DOORBEL-GLAZED WINDOWS IN VINYL FRAMES
  - ⑦ HMOE SINK (7) - ACID PENTR
  - ⑧ LIGHT FIXTURE (MOTION SENSOR LED)
  - ⑨ HOLLOW CURB DOOR - SEE COLOR ELEVATIONS FOR COLOR
  - ⑩ GARAGE DOOR IN. #1-555 MONTELLER
  - ⑪ POT LIGHTS AT EACH ENTRY
  - ⑫ 2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - ACID PENTR
  - ⑬ CULTURED STONE BY BIRAL - GREY PROFIT
  - ⑭ HMO-PANEL - ACID PENTR
  - ⑮ INVERTER LEADER
- \* EASTERN ON FACED FACING STREET OR EVERY BAYWIDE INCLUDING CONNECTED TURNING SIDES, AND BOARD & BATTEN ELEVATIONS

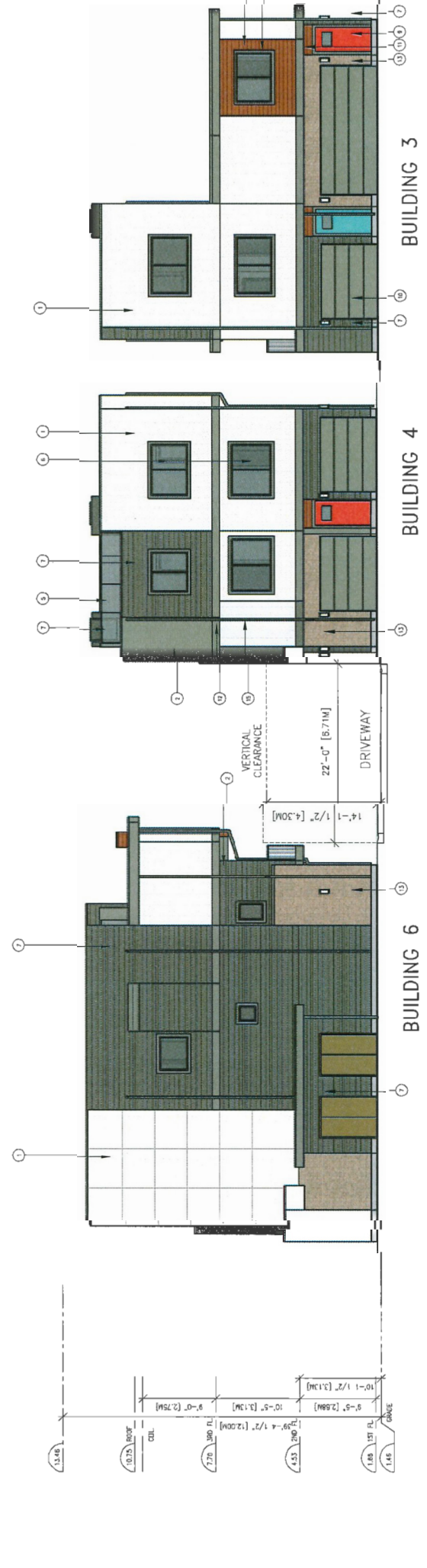


**PRECEDENT SAMPLE OF PANELS & TRIMS**  
 TRIMS TO ALIGN WITH WINDOW/DOOR CORNERS  
 MAXIMUM SIZED PANELING AS POSSIBLE



**EAST ELEVATIONS**  
 SCALE: 1/8"=1'-0"

(UNIT A3)  
 Limiting Volume: 5'-10" (1.78M)  
 Exposed wall area: 1078.2 SF (100.2 SM)  
 Proposed glazed openings: 1738.5 SF (161.8 SM)  
 Proposed glazed openings: 107.7 SF



**WEST ELEVATIONS**  
 SCALE: 1/8"=1'-0"

(UNIT A3)  
 Limiting Volume: 5'-10" (1.78M)  
 Exposed wall area: 1278.5 SF (118.8 SM)  
 Proposed glazed openings: 1738.5 SF (161.8 SM)  
 Proposed glazed openings: 107.7 SF

**DP 17-776441**  
**Plan #3.C**  
**May 7, 2019**



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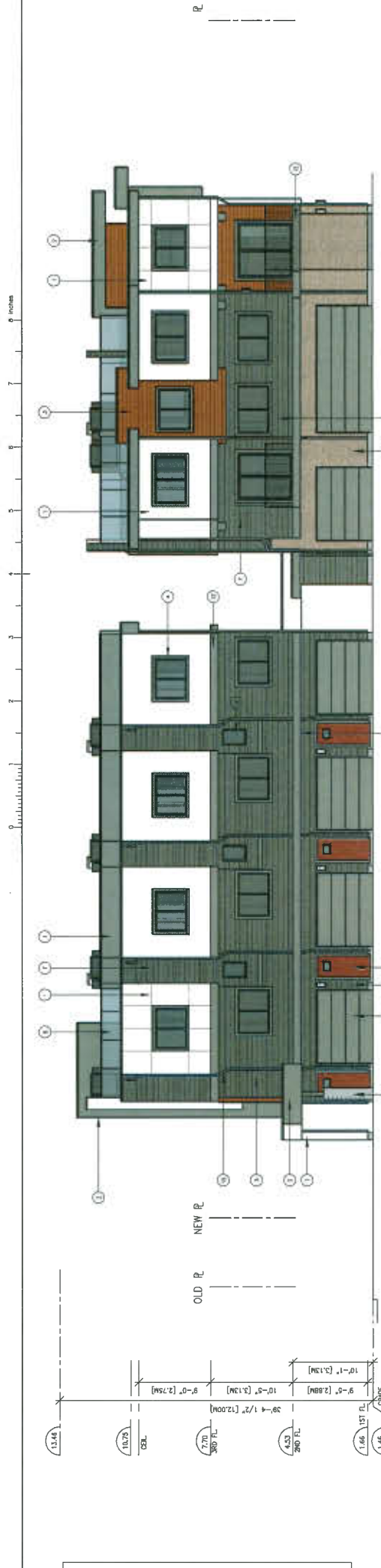
24 MAR/19	ADP COMMENTS
19 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18 FEB/17	CITY COMMENTS
29 AUG/16	REZONING APP
Date:	Issued For:
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C	C DETAIL SHEET

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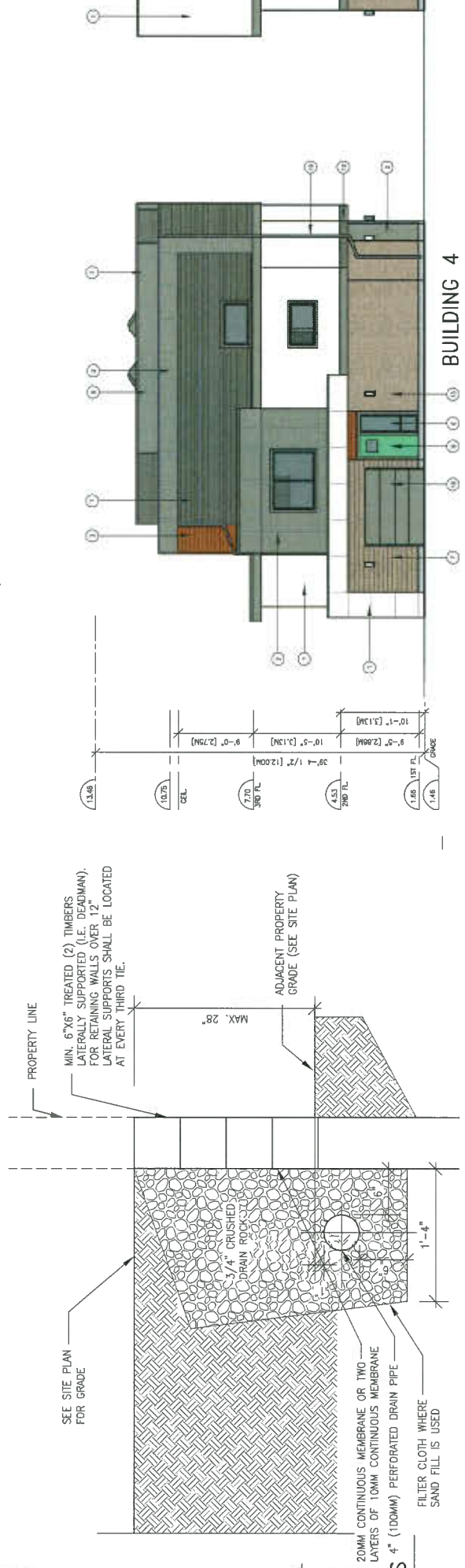
Project:  
**TOWNHOUSE DEVELOPMENT AT WILLIAMS RD. & GILBERT RD.**  
7000-20 Williams-10060 Gilbert RICHMOND, BC

Drawing Title:  
**ELEVATIONS**  
Date:  
Scale:  
Drawn By:  
Checked By:  
Project No.:  
Drawing No.:  
**A3.03**

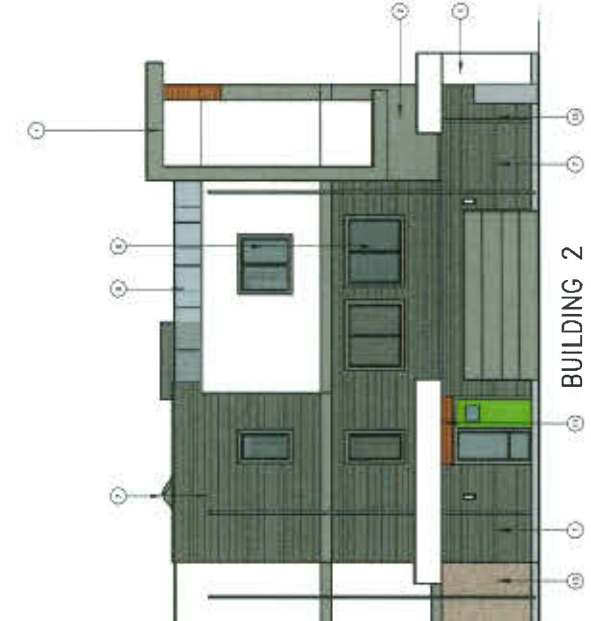
- EXTERIOR FINISH & COLOR**
- ① JAMES HARDIE PANEL / ARCTIC WHITE
  - ② JAMES HARDIE PANEL / ACID PETER
  - ③ FISHER (CEMENT BOARD SIDING) - CEDARSTONE 2.0
  - ④ 2x4 WOOD TRIM - SEE COLOR ELEVATIONS FOR COLOR
  - ⑤ GLASS/ALUM. GARAGE SYSTEM
  - ⑥ DOUBLE-GLAZED WINDOWS IN VINYL FINISHES
  - ⑦ HARDIE SIDING (7") - ACID PETER
  - ⑧ LIGHT FUTURE (MOTION SENSOR LED)
  - ⑨ YELLOW CORE DOOR - SEE COLOR ELEVATIONS FOR COLOR
  - ⑩ GARAGE DOOR (BK. #4-555 MONTELEONE)
  - ⑪ POT LIGHTS AT EACH ENTRY
  - ⑫ 2x12 HORIZONTAL TRIM BOARDS C/W FLASHING OVER - ACID PETER
  - ⑬ CULTURED STONE BY BORNAL - GREY PRIMITI
  - ⑭ HANDPAVEL - ACID PETER
  - ⑮ RAINWATER LEADER
- \* SYSTEM ON FACADE FACING STREET OR ENTRY DRIVEWAY INCLUDING CONNECTED TURNING SIDES, AND BOARD & BATTEN ELSEWHERE



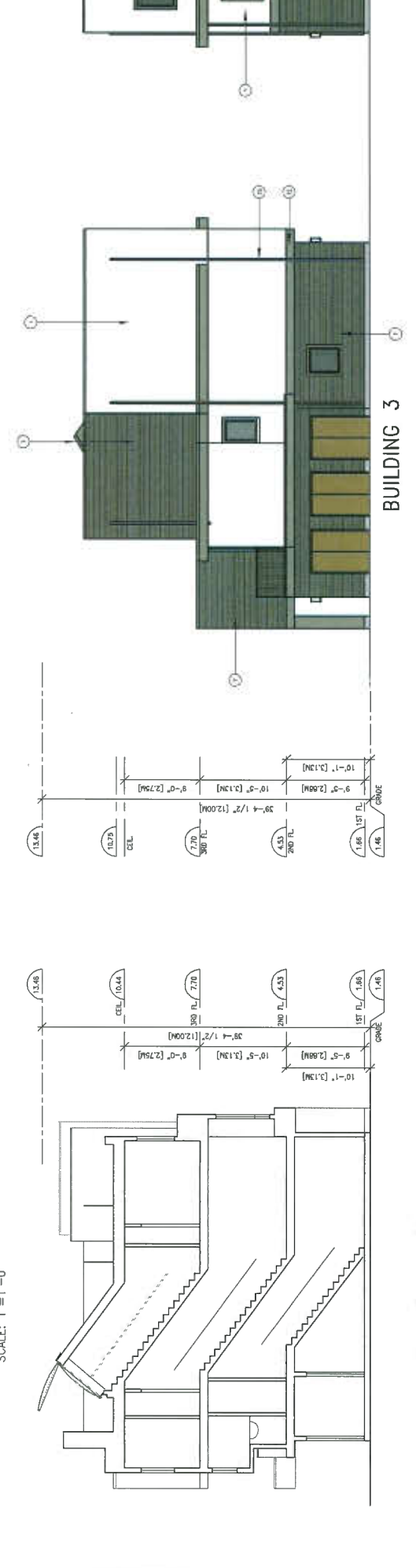
**BUILDING 5**  
**BUILDING 6**  
**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**SECTION DETAIL - RETAINING WALL FENCE POSTS**  
SCALE: 1"=1'-0"



**BUILDING 2**  
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**BUILDING 3**  
**BUILDING 1**  
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**CROSS SECTION (BUILDING 5)**  
SCALE: 1/8"=1'-0"





VIEW 1



VIEW 2



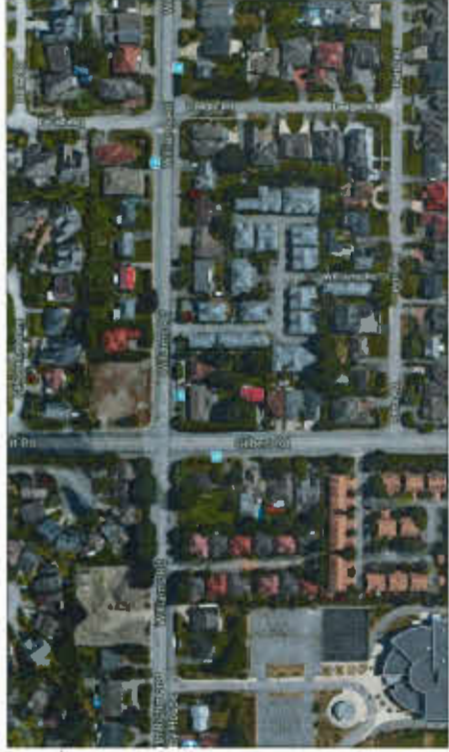
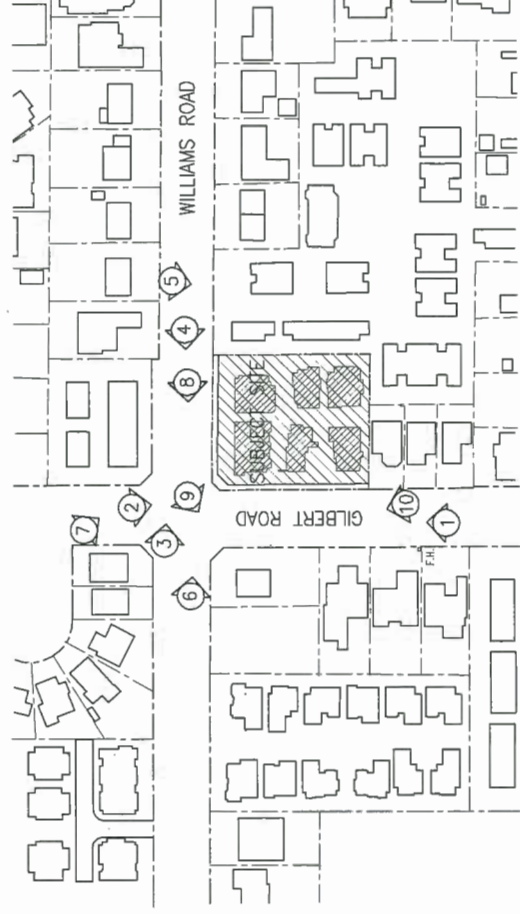
VIEW 3



VIEW 4



VIEW 5



VIEW 6



VIEW 7



VIEW 8



VIEW 9



VIEW 10



VIEW 11

**Z**  
**ZHAO XD**  
**ARCHITECT**  
**LTD.**

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Drawing Title:  
**CONTEXTUAL PLAN & PHOTOS**

Date:  
 Scale:  
 Drawn By:  
 Checked By:  
 Project No.:  
 Drawing No.:

**DP 17-776441**  
**REFERENCE PLAN**  
**May 7, 2019**

**A-0.1**





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Date:
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Drawn By:
Checked By:
Project No.:
Drawing No.:

A4.00



**DP 17-776441**  
**REFERENCE PLAN**  
**May 7, 2019**

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0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 millimetres

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 metres



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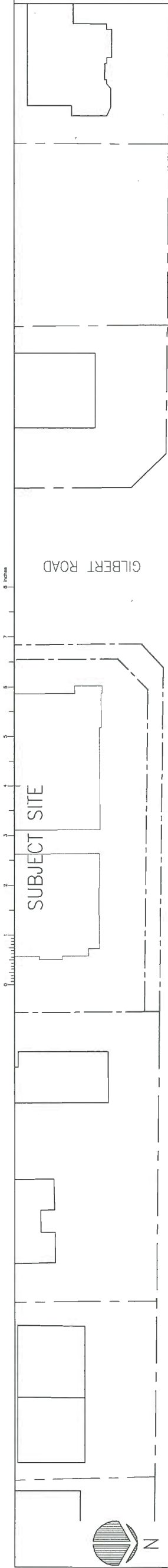
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DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.

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RICHMOND, BC

Drawing Title:  
STREETSCAPE  
ELEVATIONS

Date:  
Scale:  
Drawn By:  
Checked By:  
Project No.:

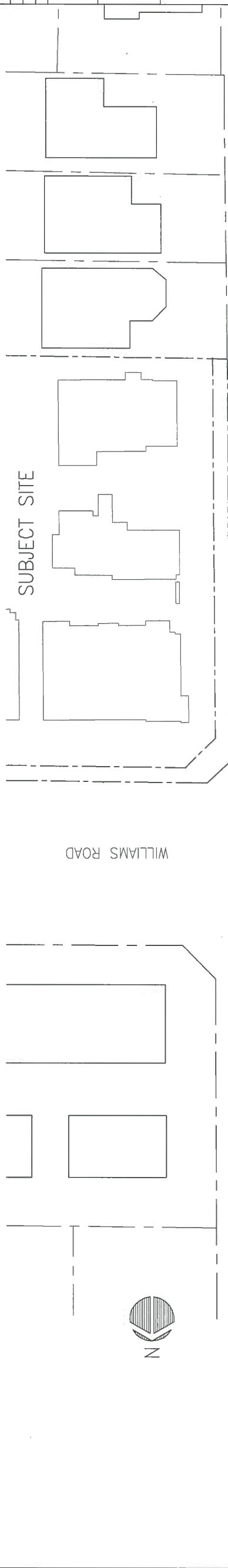
Drawing No.:  
A-0.2



WILLIAMS ROAD



STREETSCAPE ALONG WILLIAMS ROAD



WILLIAMS ROAD

GILBERT ROAD



STREETSCAPE ALONG GILBERT ROAD

**DP 17-776441**  
**REFERENCE PLAN**  
May 7, 2019

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 millimetres

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Scale:  
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Checked By:  
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Drawing No.: **A0.02**



**DP 17-776441  
REFERENCE PLAN  
May 7, 2019**

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 METERS

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 METERS

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