



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: November 6, 2018

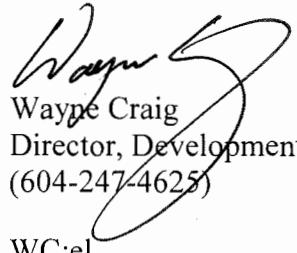
From: Wayne Craig
Director, Development

File: DP 18-822484

Re: Application by Anthem Properties Group Ltd. for a Development Permit at 5191, 5195, 5211, 5231, 5251, 5271, 5273, 5291, 5331 and 5351 Steveston Highway

Staff Recommendation

That a Development Permit be issued which would permit the construction of 43 townhouse units and four secondary suites at 5191, 5195, 5211, 5231, 5251, 5271, 5273, 5291, 5331 and 5351 Steveston Highway on a site zoned “Town Housing – Steveston Highway (Steveston) (ZT85)”.


Wayne Craig
Director, Development
(604-247-4625)

WC:el
Att. 4

Staff Report

Origin

Anthem Properties Group Ltd. has applied to the City of Richmond for permission to develop 43 townhouse units at 5191, 5195, 5211, 5231, 5251, 5271, 5273, 5291, 5331 and 5351 Steveston Highway. Four of the 43 townhouse units are proposed to contain a ground-level secondary suite. The site is being rezoned from “Single Detached (RS1/E)” and “Two-Unit Dwellings (RD1) zones to “Town Housing – Steveston Highway (Steveston) (ZT85)” zone for this project under Bylaw 9841 (RZ 17-765557), which received Third Reading following the Public Hearing on April 16, 2018. The site is currently vacant but previously contained nine single family homes and one duplex.

Frontage improvements including beautification works and storm sewer upgrades were secured through the rezoning process and will be constructed through a separate Servicing Agreement (SA 17-788628). The Servicing Agreement must be entered into prior to final adoption of the rezoning bylaw.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, existing single-family dwellings on lots zoned “Single Detached (RS1/B)”.
- To the east, existing single-family dwellings on lots zoned “Single Detached (RS1/C)” and “Single Detached (RS1/B)”, which are identified for townhouse development under the Arterial Road Land Use Policy.
- To the south, Across Steveston Highway, existing single-family dwellings on lots zoned “Single Detached (RS1/B)” and “Single Detached (RS1/D)”.
- To the west, a seven-unit two-storey townhouse complex on a lot zoned “Low Density Townhouses (RTL1)”.

Rezoning and Public Hearing Results

On March 26, 2018, Council passed a resolution that the Public Hearing notification area for the rezoning application for this project (i.e., RZ 17-765557) be expanded beyond the usual 50 m to include the area outlined on the specified map (Attachment 2) to generally include properties fronting onto Swallow Drive, Wagtail Avenue, Warbler Avenue, Hummingbird Drive, Woodpecker Drive, and Chickadee Court. For consistency, the same notification area will be used for this Development Permit Panel meeting.

The Public Hearing for the rezoning of this site was held on April 16, 2018. At the Public Hearing, the following concerns about rezoning the property were expressed; the response to the concern is provided in *italics*.

1. Proposed Traffic Signal at Swallow Drive

As part of the rezoning a traffic signal was proposed to be installed at Swallow Drive. Due to the concerns raised by area residents regarding the proposed traffic signal, Council directed staff to remove this requirement. Council also directed staff to allow the proposed driveway location to remain but be restricted to right-in/right-out only (i.e., with a raised concrete island in the middle to channelize the right-in and right-out vehicle movements). Registration of a right in/right out only covenant on Title is required prior to Development Permit Issuance. In addition, Council directed staff to amend the rezoning considerations to have the developer's voluntary contribution of \$150,000 be directed towards upgrading the existing pedestrian signal at Steveston Highway and Lassam Road.

2. Parking in the Neighbourhood

The proposed development meets the off-street parking requirement in the Zoning Bylaw; with two residential parking spaces and 0.2 visitor parking spaces for each unit. Four additional parking spaces will also be provided for the four secondary suites proposed.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the “Town Housing – Steveston Highway (Steveston) (ZT85)” zone.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) has reviewed the project and supports it. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Wednesday August 22, 2018 is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘***bold italics***’.

Analysis

Conditions of Adjacency

- The proposed form, massing, and orientation of the buildings are compatible to the existing adjacent developments on the block.
- While three-storey units are proposed along Steveston Highway, the building height is stepped down to two storeys along the side property lines to provide appropriate transition to the adjacent single-family home to the east and two-storey townhouse development to the west.
- Two-storey units in duplex form (seven buildings) and triplex form (one building), as well as the outdoor amenity area are proposed along the rear (north) property line to minimize privacy and overlook concerns.

- Typically, two units per cluster (i.e., duplex buildings) are preferred along the rear yard interface with single-family housing; however, in order to provide a larger outdoor amenity space, one three-unit cluster (i.e., a triplex building) is being considered for the development.
- The existing site grade along the rear (north) property line (within the existing SRW) will be maintained to provide an appropriate transition to the adjacent single-family properties to the north. A 1.8 m tall wood fence will be installed along the rear property line to protect the privacy of the neighbouring single-family homes. A low retaining wall will be installed to the south of the existing SRW to raise the back yards to the ground level of the proposed townhouse units.
- A low retaining wall (approximately 0.3 m high) will be installed along the side property lines with a 1.8 m tall wood fence on top.
- A variety of trees will be planted along the rear and side property lines to enhance the interfaces between the proposed townhouse development and the existing adjacent residential developments.
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.
- Adjacent properties to the east have future potential for redevelopment as townhouses, and the proposed development will not reduce this potential. A statutory right-of-way (SRW) allowing access to/from the adjacent future development site through the subject site (over the internal drive aisle) has been secured at rezoning.

Urban Design and Site Planning

- The site layout includes 19 two-storey units and 24 three-storey units in 13 clusters.
- The layout of the townhouse units is oriented around a single driveway, providing access to the site from Steveston Highway and an east-west internal manoeuvring aisle providing access to the unit garages.
- Vehicle access will be limited to right-in/right-out only and will be provided in the western portion of the site, directly across from Swallow Drive; one separate pedestrian access will be provided in the eastern portion of the site.
- Units along Steveston Highway are designed to have a strong street presence with individual front entrances and yards. Low planting and permeable fencing will create semi-private spaces for those units and a pedestrian-oriented streetscape along Steveston Highway.
- The two-storey townhomes are arranged as duplexes and triplexes along the northern portion of the site to serve as a transition to the existing single-family homes. The low profile of the duplex and triplex form is complementary in scale and character to the single-family homes.
- Four of the three-storey townhouse units in Buildings 4, 6 and 9 (i.e. B2 units) will each contain a 1-bedroom ground-level secondary suite of approximately 30 m^2 (320 ft^2) in size.
- All units will have two vehicle parking spaces in a side-by-side double car garage. An additional surface parking stall will be assigned to each of the secondary dwelling units.
- A total of nine visitor parking spaces, including two accessible visitor parking spaces, will be provided throughout the site. The number of visitor parking spaces proposed is in compliance with the minimum bylaw requirement.

- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with the zoning bylaw requirements.
- The indoor and outdoor amenity spaces are proposed opposite to the vehicle access to the site. The outdoor amenity area will be situated in a central open courtyard at the rear (north) of the site and the indoor amenity building will be located adjacent to the outdoor amenity area.
- The proposed size of the outdoor amenity space exceeds the minimum area recommended by the Development Permit Guidelines.
- The applicant is proposing to provide a portion of the required indoor amenity space on-site with a 65 m^2 (700 ft^2) building; a cash contribution in-lieu (\$24,850.00) of providing the balance of the required indoor amenity space (i.e., 35 m^2 or 376 ft^2) has been secured at rezoning stage.
- A mailbox kiosk will be provided in front of the indoor amenity building.
- The required garbage, recycling and organic waste storage enclosure is proposed adjacent to the indoor amenity building. The enclosures have been incorporated into the design of the indoor amenity building to minimize their visual impact. The proposed location will also be convenient to all of the units.

Architectural Form and Character

- The design of this project follows the West Coast tradition of simple forms and clean lines. The style of architecture is characterized by planar and mass elements, use of natural materials and the use of glass to connect indoor and outdoor spaces.
- Expansive roof overhang creates a sense of shelter and defines the entries to the townhouse units.
- Stepping in building form is achieved by changes in roof plane and massing elements. The step back at the third floor of the three-storey units reduces the scale of the buildings along the street.
- A pedestrian scale is generally achieved along Steveston Highway and the internal drive aisle through the inclusion of variation in building projections, recesses, varying material/colour combinations, landscape features, and the use of individual unit entrances.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, unit entrances, and planting islands along the drive aisle.
- The proposed building materials (composite cement siding, hardie-plank and hardie-panel etc.) are generally consistent with the Official Community Plan (OCP) Guidelines.
- A palette of warm earth tone colours is proposed, with black for the metal railing, gutters/downspouts, and silver for vinyl window frames. Cedar-toned fibre cement panels are used extensively at soffits to bring visual warmth to the exteriors.

Tree Preservation

- Tree preservation has been reviewed at rezoning stage, but was reviewed once again in September, 2018 due to changes in tree condition; a total of 45 bylaw-sized trees on-site (up from 42 trees) are now identified for removal as three additional trees are now assessed as being in poor condition. To compensate for the loss of three additional trees that were

identified for retention at the rezoning stage, three Pyramidal Norway Spruce trees at 4.0 m tall (which exceed the minimum replacement tree size requirement of 3.5 m tall) are proposed to be planted in the outdoor amenity space.

- Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 90 replacement trees are required. The applicant is proposing to plant 125 replacement trees on-site, which exceeds the bylaw requirements, including 28 conifers and 97 deciduous trees.
- Parks Operations staff has authorized the removal of one 34 cm caliper Western Red Cedar tree and a number of hedge rows located along the Steveston Highway frontage due to their poor condition and conflicts with proposed frontage improvements. Compensation of \$1,300 has been secured at rezoning.
- One 60 cm caliper Douglas Fir tree (tag# 942) located on the proposed development site, one 40 cm caliper Pear tree (tag# 979) located on shared property line with the neighbouring property to the north (10801 Hollymount Drive) and five trees (OS002, OS003, OS004, OS005 and OS006) located on neighbouring properties are identified for retention.
- Prior to Development Permit issuance, submission to the City of a Tree Survival Security as part of the Landscape Letter of Credit is required. No Landscape Letter of Credit will be returned until the post-construction assessment report, prepared by the Arborist, confirming the protected trees located on-site survived the construction, is reviewed by staff.
- To ensure the protected trees on-site and on neighbouring properties will not be damaged during construction, tree protection fencing must be installed to City standards prior to any construction activities occurring on-site.
- The applicant has committed to relocate a 20 cm caliper Red Oak tree (tag# 977) on-site to the proposed outdoor amenity area. Proof of a contract with a company specializing in tree relocation to undertake the transplant of this tree, and a Tree Survival Security to the City in the amount of \$5,000, have been secured at rezoning.

Landscape Design and Open Space Design

- The street edge along Steveston Highway has been well defined with landscaping including various trees, shrubs and ground covers. Each block of building will have individual identity with the use of varying trees and shrub planting to allow distinction through colour, texture and form. Each unit will have a private front yard with an outdoor patio to generate animation along the streetscape.
- All units along the rear (north) property line will have a private yard with a patio and a lawn area except for the two units at the northeast corner of the site. These two units will have a raised deck since the existing site grade is to be maintained for tree protection purposes. Construction of the deck will be monitored by the project arborist; a proof of contract with a Certified Arborist for the supervision of all works conducted within, or in close proximity, to tree protection zones have been secured at rezoning.
- Landscaping will be provided along the main east-west internal drive aisle between blocks of buildings to provide vertical green to soften the internal streetscape. Trellis with landscaping and grasscrete in front will be provided at each of the dead ends of the internal drive aisle to provide visual interests at the terminuses.

- Outdoor amenity space is design to be contiguous with an indoor amenity space; a built-in gas barbecue and a harvest table are proposed in close proximity to the amenity building.
- An outdoor ping-pong table is proposed to allow for physical play; and large open lawn areas are proposed for informal play and wellness activities for the residents.
- Natural play elements; including stepping logs and balance logs, as well as vertical agility poles, are proposed within the children's play area for active and creative play.
- Public Art and an interpretive heritage signage for the Spargo House (which was located on the development site) have been incorporated into the landscape design. The Public Art pieces to be installed on site will be arranged by the City's Public Art Program; a contribution of \$52,895.42 has been secured at the rezoning stage. The interpretive heritage signage to be installed on site has been reviewed and approved by the City's Heritage Planner. To ensure the approved design of the interpretive heritage signage will be installed and maintained by the future strata, prior to the issuance of Development Permit, the applicant is required to register a legal agreement on Title to specify the design and the maintenance arrangement.
- Permeable pavers with decorative pattern will be used at the vehicle entrance.
- Pavers will be used at the dead ends of the internal drive aisle and at the intersection of the pedestrian walkway from Steveston Highway and the internal drive aisle to break up the long internal drive aisle. Pavers will also be used to highlight a pedestrian route along the main east-west drive aisle.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$361,014.53 in association with the Development Permit.

Crime Prevention Through Environmental Design

- Site lighting and clear sight lines provide unobstructed views of surrounding area. Walkways are direct and open between buildings and along the internal drive aisle. Walkways and amenity space will be illuminated.
- Plantings near residential entries are low to maximize views and casual surveillance opportunities of common areas.
- Expansive glazing for each unit increases the visual presence and surveillance along Steveston Highway, the amenity area as well as internal walkway and drive aisle.

Sustainability

- At the rezoning stage, the applicant committed to achieving an EnerGuide rating of 82 for the proposed town houses and to pre-ducting all units for solar hot water heating. A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.

- The architect advised that the following design/features will be incorporated into the development:
 - EnergyStar appliances and lighting.
 - EnergyStar windows.
 - Heat recovery ventilators.
 - Low flow fixtures.

Accessible Housing

- The proposed development includes five convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair (i.e., the A6 units). The potential conversion of these units will require installation of a chair lift (where the staircase has been dimensioned to accommodate this in Unit A6's) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Edwin Lee
Planner 1
(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet

Attachment 2: Notification Map

Attachment 3: Excerpt from Advisory Design Panel Meeting Minutes (August 22, 2018)

Attachment 4: Development Permit Considerations



City of Richmond

Development Application Data Sheet

Development Applications Department

DP 18-822484

Attachment 1

Address: 5191, 5195, 5211, 5231, 5251, 5271, 5273, 5291, 5331 and 5351 Steveston Highway

Applicant: Anthem Properties Group Ltd. Owner: Anthem Steveston Developments Ltd.

Planning Area(s): Steveston (Schedule 2.4)

Floor Area Gross: 8137.3 m² Floor Area Net: 5876.9 m²

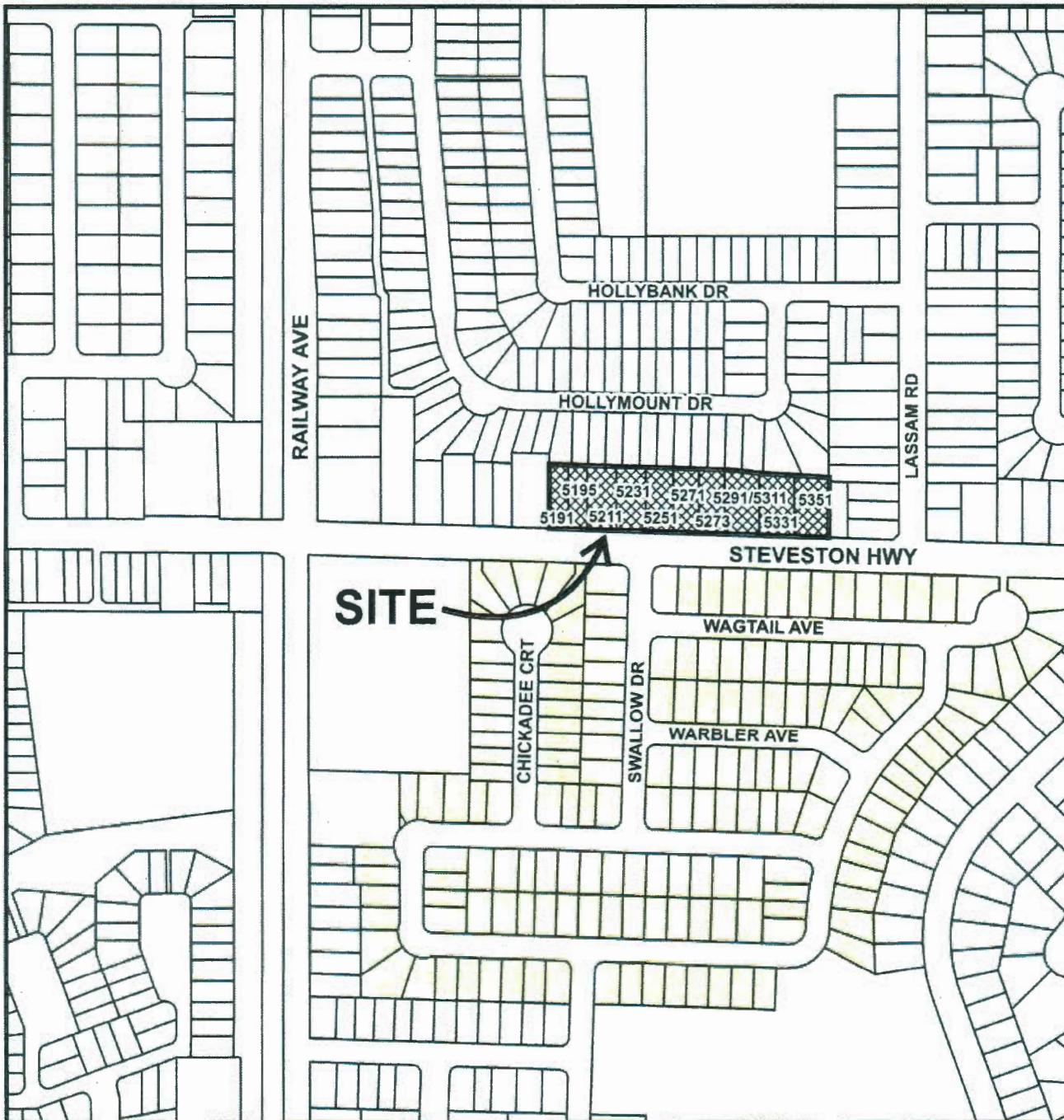
	Existing	Proposed
Site Area:	8970 m ²	8970 m ²
Land Uses:	Single-Family Residential/Two-Family Residential	Multiple-Family Residential
OCP Designation:	Low-Density Residential	No Change
Zoning:	Single Detached (RS1/E) and Two-Unit Dwellings (RD1)	Town Housing - Steveston Highway (Steveston) (ZT85)
Number of Units:	9 single-family homes & 1 duplex	43 townhouse units + 4 secondary suites

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max 0.66	0.66	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	65%	none
Lot Coverage – Landscaping:	Min. 25%	34%	none
Setback – Front Yard (m):	Min. 4.5 m	4.5 m	none
Setback – East Side Yard (m):	Min. 3.0 m	3.36 m	none
Setback – West Side Yard (m):	Min. 3.0 m	3.21 m	none
Setback – Rear Yard (m):	Min. 6.0 m	6.0 m	none
Height (m):	Max. 12.0 m (3 storeys)	9.66 m (3 storeys)	none
Lot Width:	Min. 50.0 m	200.0 m	none
Lot Depth:	Min. 35.0 m	45.0 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit +1 (R) per secondary suite	2 (R) and 0.21 (V) per unit +1 (R) per secondary suite	none
Off-street Parking Spaces – Total:	90 (R) and 9 (V)	90 (R) and 9 (V)	none

Tandem Parking Spaces:	Max. 50% of proposed residential spaces in enclosed garages (86 x Max. 50% = 43)	0	none
Small Car Parking Spaces	Max. 50% when 31 or more spaces are provided on site (99 x Max. 50% = 49)	48	none
Handicap Parking Spaces:	Min. 2% when 11 or more spaces are required (99 x 2% = 2 spaces)	2	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.49 (Class 1) and 0.21 (Class 2) per unit	none
Off-street Parking Spaces – Total:	54 (Class 1) and 9 (Class 2)	64 (Class 1) and 9 (Class 2)	none
Amenity Space – Indoor:	Min. 100 m ² or Cash-in-lieu	65 m ² + Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 43 units = 258 m ²	372 m ²	none



City of
Richmond



	RZ 17-765557	Original Date: 03/26/18 Revision Date: Note: Dimensions are in METRES
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ADDITIONAL NOTIFICATION AREA

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, August 22, 2018 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

1. DP 18-822484 - 43-UNIT TOWNHOUSE DEVELOPMENT

ARCHITECT: Integra Architecture Inc.

PROPERTY LOCATION: 5191, 5195, 5211, 5231, 5251, 5271, 5273, 5291, 5331 and 5351 Steveston Highway

Applicant's Presentation

Nicholas Kasidoulis, Anthem Properties, Shamus Sachs, Integra Architecture Inc., and Mary Chan Yip, PMG Landscape Architects, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the comprehensive package and clear presentation of the project;
- interesting collection of buildings on a linear site; proposed single entry is appropriate for the length of the site;
- not concerned with the asymmetric arrangement of buildings along Steveston Highway; location of the driveway opposite Swallow Drive across Steveston Highway will avoid the possibility of headlights facing directly into townhouse units in the subject site;
- appreciate the arrangement of longer building forms and buffering along Steveston Highway;
- two-storey rear units (i.e., the duplexes and a triplex) provide an appropriate interface with the existing single-family homes to the north;
- appreciate the provision of a generous amenity area and the location of the indoor amenity adjacent to the outdoor amenity space; consolidating garbage and recycling and electrical room into one building form makes sense;
- consider replicating the paving treatment on the internal drive aisle adjacent to the amenity area to other parts of the long the internal drive aisle to break up the length of the asphalt;

Pavers have been implemented intermittently and at the ends.

proposed variation in building forms and heights and articulation of each building will not necessitate the addition of more colours to the proposed colour palette;

- consider the long-term maintenance of the colour of the cedar material;
The developer feels this is a future liability for the strata corporation and will proceed with cementitious material for soffits.
- investigate opportunities for using real wood on the building, e.g. on the soffit;
The developer feels this is a future liability for the strata corporation and will proceed with cementitious material for soffits.
- overall, the design of the project works well;
- appreciate the clear package; landscape plans are helpful;
- appreciate the large outdoor spaces in the development;
- units facing the adjacent single-family homes to the north have nice deep yards considering the City's requirements for these back units, i.e., limited to 2-storey duplexes and triplex;
- appreciate the applicant for providing an arborist report for trees to be removed; applicant could have included identifying species in the tag;
- nice to see generous outdoor spaces in this form of development;
- appreciate that the landscape planning reflects the overhangs in the contemporary buildings;
- proposed outdoor amenity space is nice and large; appreciate the mature existing tree at the back; scale of hard outdoor spaces works;
- consider moving the indoor amenity building closer to the street to make the mail kiosk more accessible to residents; will also provide more breathing room for the large Douglas Fir tree at the back and free up some spaces to enlarge the play area for children;
The small outdoor area has been designed as an informal meeting place for residents when gathering mail each day. Furthermore, low hedges and planting protect this area from the internal drive aisle and entry.
- review the planting between the soft and hard areas in the outdoor amenity area as there is need for more contiguous, useful and active spaces;
With the existing Picea not surviving, the grades in the outdoor amenity can be integrated with the amenity building and surrounding area. The replacement trees have been placed north of the amenity space to allow for more open space for the residents to interact and have a better indoor outdoor relationship. The grades from the amenity building to outdoor patio, to the play space, and to the lawn area are accessible; it allows people to flow from one use to the next. This spatial configuration allows interaction for large group use during social events or as individuals.

- consider appropriate treatment for garbage and recycling in the indoor amenity building to make it a nice visual feature at the entry;
From the outside, the garbage and recycling room will appear as part of the overall amenity building utilizing the same cladding material and windows facing the entry drive. Additional landscaping will be placed in front of the Garbage room to further soften the façade.
- appreciate the package and the unit plans for the convertible units; would appreciate if the model number of the vertical lift that would fit into the space was indicated;
Chair lift is proposed, specification is included in the DP package.
- appreciate the comprehensive package provided by the applicant;
- the project is on the right track to meet EnerGuide 82 rating;
- commend the project's design team for the highly insulated building envelope assemblies;
- the project's mechanical system needs to be clarified;
The units will have electric heat, NG instant hot water heat, and HRV.
- consider introducing variation in accent colours for duplex units along the internal drive aisle where the unit door is side-by-side with the garage door to provide identity to individual units;
As noted in other comments from the ADP panel, we feel there is enough variation in materials that additional variation is not necessary.
- consider introducing the pop-up roof feature of the two-storey duplex units to the three-storey units facing Steveston Highway to maintain a consistent character for the pop-up roofs;
In our opinion, maintaining a third storey without pop-up sections helps to reduce the height of the third floor and allows the project to read more like a two storey structure along Steveston Hwy, which is more in keeping with the existing two storey homes across the street and on each side of the development.
- consider a permeable paving surface treatment for the handicapped parking stalls adjacent to the internal drive aisle;
Permeable paving has been added to handicap parking.
- appreciate the presentation of the project; the smart-looking buildings will become a catalyst for improving the neighbourhood;
- appreciate the treatment of the street, the introduction of the boulevard, layered approach into the front yard, and street-facing townhouse units;
- agree with Panel comment that aligning the right-in, right out entry with Swallow Drive across Westminster Highway makes sense;

- consider a lightly foliaged tree for the front yards of units to avoid shady yards;
The tree species we have proposed in the front yards are 2 maple varieties Acer red rocket and Acer griseum and 1 dogwood variety Cornus 'starlight'. Acer red rocket is has a more columnar growth habit. The narrowness will allow light into the yards. Acer griseum has an open canopy with an upright branch pattern. This openness allows for light into the yards. Cornus 'starlight' has an upright oval crown. This upright growth pattern allows for filter light into the yards. With the selection, we believe that we comply with the intent of the comment.
- appreciate the retention of the large Douglas Fir tree at the back of the indoor amenity building; applicant is advised to be careful in saving the tree;
- appreciate the large outdoor amenity space which is centrally located and not lined up right with the site entry; will enhance the safety of children using the amenity space;
- there is a high density of trees proposed to be planted on the site, except at the amenity area; consider relocating and grouping the conifers farther to the north to free up the lawn area;
Tree will be located to insure a usable amenity area.
- not concerned with grade changes in the amenity area; however, minimize or eliminate steps from the hard area to the soft area;
Steps have been removed.
- consider opening up the children's play area a bit more; could install a barrier to prevent children from crossing the street; also consider improving the surveillance of children using the play area;
Amenity open space has been adjusted to allow the children's play and grass area to be opened up more. A low fence and landscaping have been added to prevent children from running onto the street. Seating areas are available for surveillance.
- consider planting a tree on either side of the visitor parking stall between Buildings 1 and 4 to provide some vegetation on the long stretch of drive aisle; also investigate opportunities for planting in other areas along the long internal drive aisle; look at the Polygon development on No. 2 Road as precedent; applicant is also advised to take necessary precautions to ensure survivability of trees, e.g. putting root barrier around the tree;
Proximity of and location of landscape space beside the visitor stalls prohibit us from planting large trees. It would conflict with the envelope. A hibiscus has been added for a large scale shrub.
- not supportive of the proposal to move the trees on the outdoor amenity area farther to the north as the original location of trees add visual value to the long stretch of buildings and road;

- internal drive aisle ends could be paved to provide additional parking stalls; if not possible, consider planting shrubs; also consider bringing some trees closer into the access;
Planting has been added.
- consider a completely cast-in-place concrete wall for buildings facing Steveston Highway;
*The wall is quite low (12" +/-) above grade and will be blocked by planting.
CIP concrete is used as an architectural detail at the individual entries.*
- proposed public art seems interesting; public artist is encouraged to locate the subject site on the Richmond plats (i.e., maps that show a parcel of land and how it is subdivided into individual lots);
- in general, a well-presented and exciting project;
- appreciate the proposed materials and colours; however, the applicant is advised to be consistent in showing colours of materials in all their presentation materials;
- consider a different treatment for the indoor amenity building to highlight its publicness;
While the materials of the amenity building are similar to the remaining development, extensive use of glass is utilized to distinguish the building and make the building more open and connected to the surrounding amenity area.
- consider variation/differentiation in materials for the gateways and pedestrian paths into the development; will bring diversity to the pedestrian experience along Steveston Highway;
Pavers have been integrated throughout the site within the vehicle areas. In contrast, the pedestrian walkway is finished in concrete to provide a distinct change to allow for a designated pedestrian zone.
- appreciate the applicant for integrating public art at an early stage of the project;
- architecture and landscaping could be framed and synergized with the proposed public art; also consider the interaction of the public with the proposed public art;
Both Pieces of public art have been relocated to the West side of the entry along the pedestrian path for a more direct interaction.
- appreciate the package provided by the applicant; however, consider larger fonts for future packages;
- quality of architecture presents a benchmark for developments along arterial roads in Richmond;
- good layering in the proposed landscaping;
- appreciate the proposed amenity area; the applicant is advised to consider the Panel comments to improve the amenity area;

- the internal drive aisle is very long; consider breaking them up intermittently with pavers; support Panel comments to introduce landscaping along the drive aisle and at the ends to provide visual interest and make them more pedestrian friendly;
Pavers have been implemented intermittently and at the ends. Additional hibiscuses have been added to provide for large scale shrub plantings along the roadway.
- appreciate the provision of a variety of unit types;
- proposed public art piece and location is appropriate;
- variation in materials and colours may not be necessary due to the maturity of articulation and landscaping in the development; and
- no concern with the location of the proposed entry driveway.

Panel Decision

It was moved and seconded

That 18-822484 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



**City of
Richmond**

ATTACHMENT 4

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 5191, 5195, 5211, 5231, 5251, 5271, 5273, 5291, 5331, 5351 Steveston Hwy. **File No.:** DP 18-822484

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Final adoption of the Zoning Amendment Bylaw 9841
2. Registration of a legal agreement on title to restrict access to the property to right in/right out movements only.
3. Registration of a legal agreement on title to ensure that the design of the interpretive heritage signage to be installed on site is consistent with the design approved by the city's heritage planner (as shown in the Development Permit package) and that the interpretive heritage signage will remain on site and will be maintained by the future strata.
4. Receipt of a Letter-of-Credit for landscaping and tree survival security in the amount of \$361,014.53. No Landscape Letter of Credit will be returned until the post-construction assessment report, confirming the protected trees survived the construction, prepared by the Arborist, is reviewed by staff.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Installation of appropriate tree protection fencing around all hedges to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
Should the applicant wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw and issuance of the Development Permit, the applicant will be required to obtain a Tree Permit and submit landscaping security (i.e. \$48,000 in total) to ensure the replacement planting will be provided.
2. Incorporation of energy efficiency, CPTED, sustainability, and accessibility measures in Building Permit plans as determined via the Rezoning and/or Development Permit processes.
3. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
4. Obtain a Building Permit for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
5. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department.
Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site

Initial: _____

investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



City of Richmond

Development Permit

No. DP 18-822484

To the Holder: ANTHEM PROPERTIES GROUP LTD.

Property Address: 5191, 5195, 5211, 5231, 5251, 5271, 5273, 5291, 5331 AND
5351 STEVESTON HIGHWAY

Address: C/O NICHOLAS KASIDOULIS
#300 – 550 BURRARD STREET
VANCOUVER, BC V6C 2B5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$361,014.53 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 18-822484

To the Holder: ANTHEM PROPERTIES GROUP LTD.

Property Address: 5191, 5195, 5211, 5231, 5251, 5271, 5273, 5291, 5331
AND 5351 STEVESTON HIGHWAY

Address: C/O NICHOLAS KASIDOULIS
#300 – 550 BURRARD STREET
VANCOUVER, BC V6C 2B5

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF ,

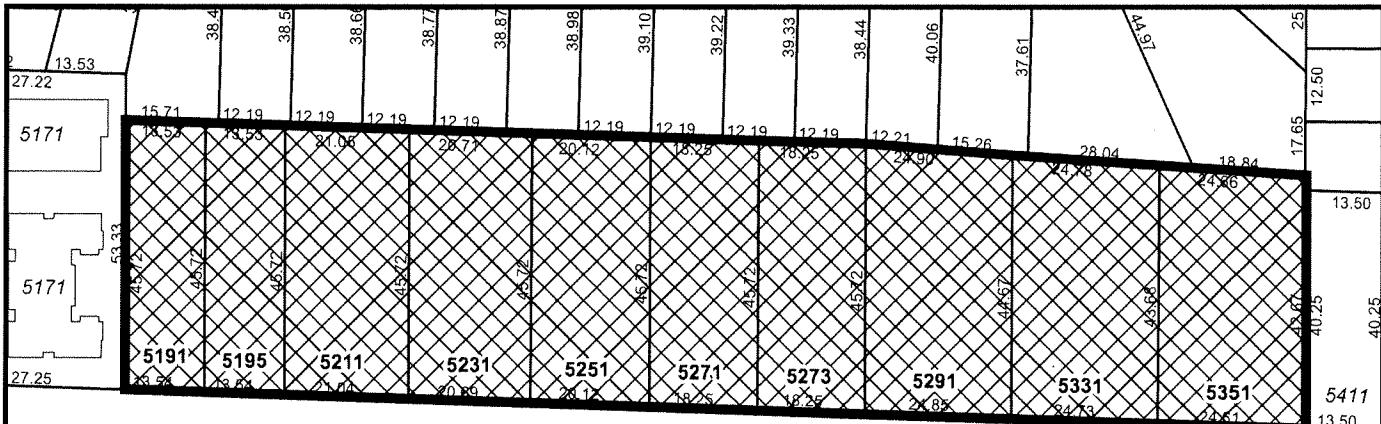
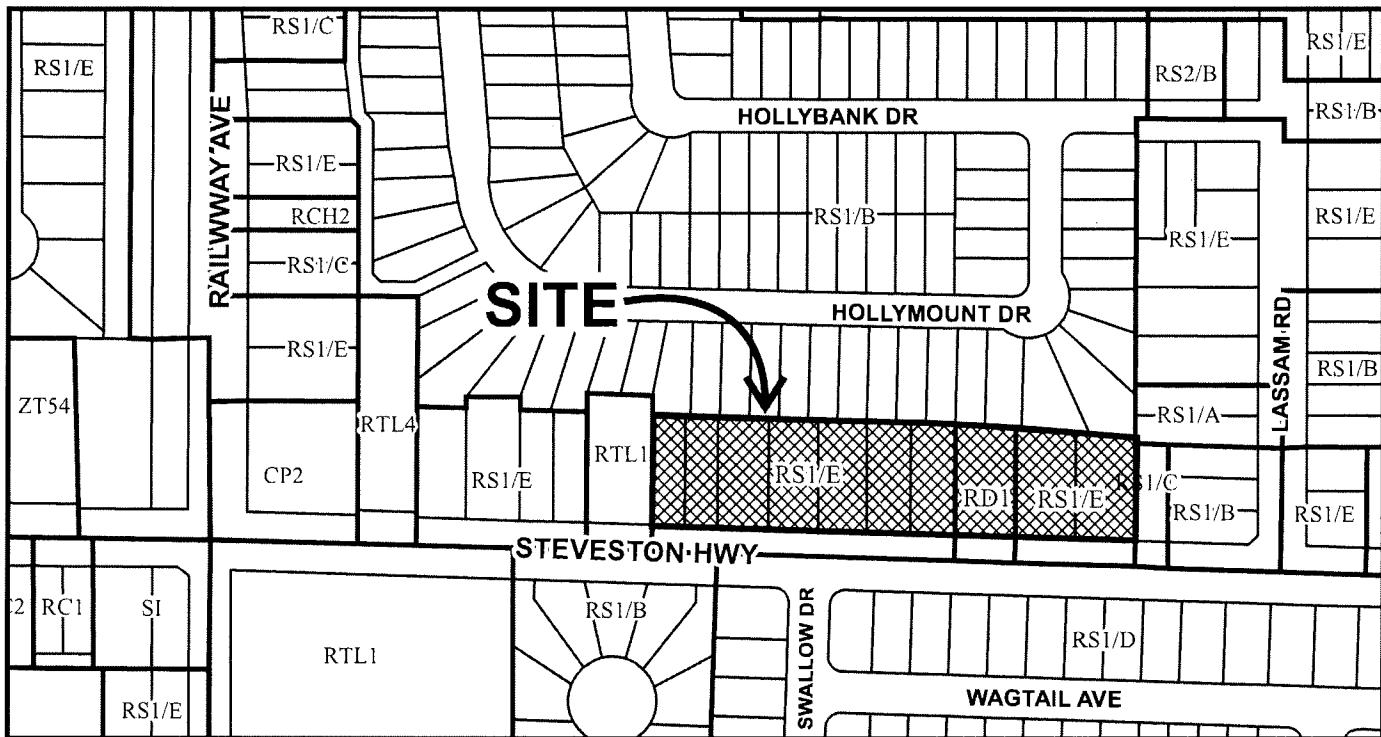
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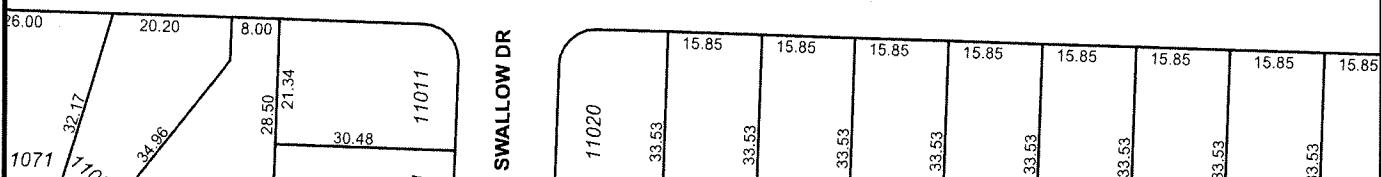
MAYOR



City of Richmond



STEVESTON HWY



**DP 18-822484
SCHEDULE "A"**

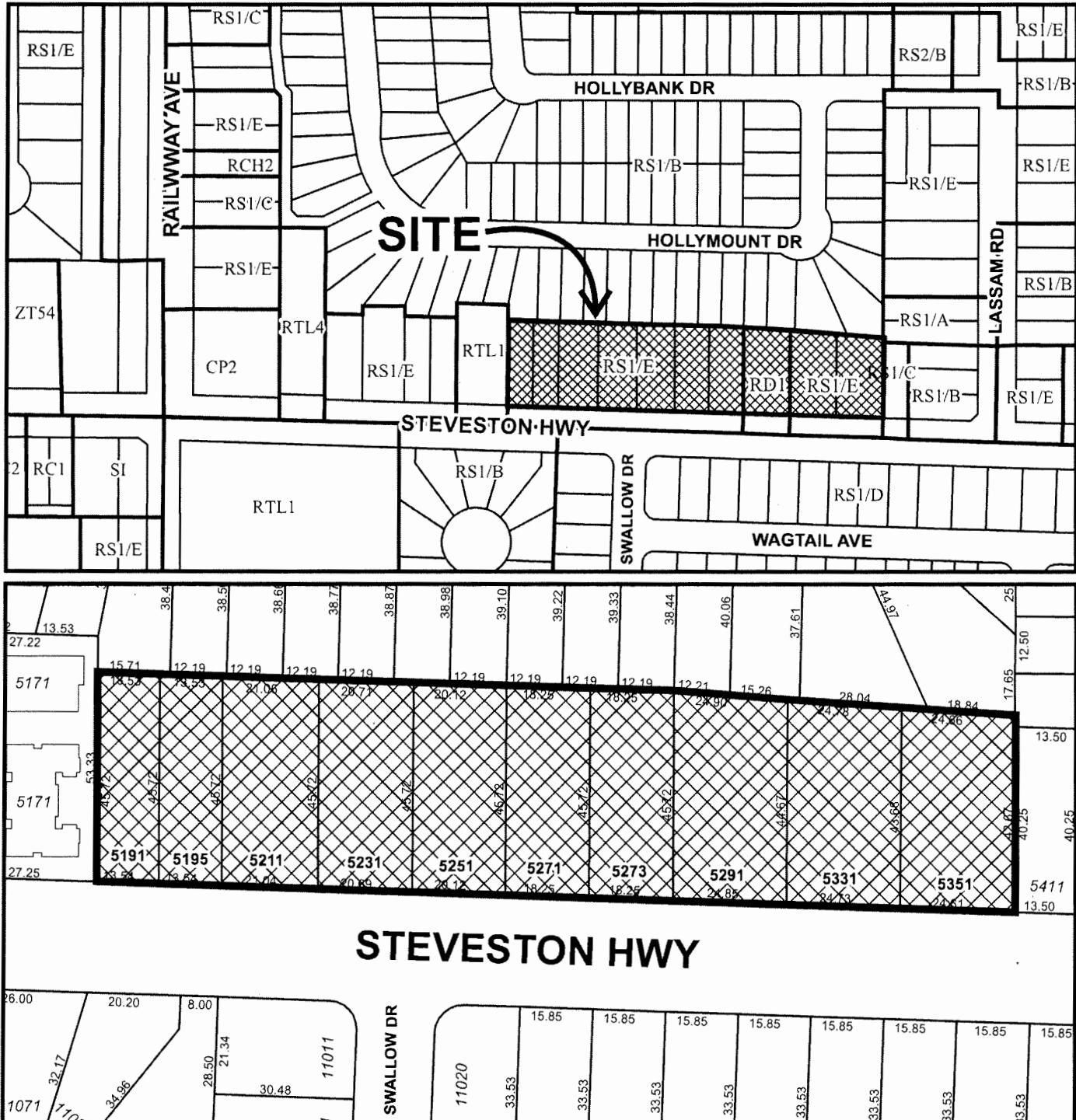
Original Date: 06/14/18

Revision Date:

Note: Dimensions are in METRES



City of Richmond



DP 18-822484

Original Date: 06/14/18

Revision Date:

Note: Dimensions are in METRES



Integra
ARCHITECTURE INC.

2330-200 Granville Street
Vancouver, BC V6C 1S4
www.integra-arch.com
Telephone: 604 688 4220

Project No.: 16392
Date: October 23, 2018

PROJECT DATA

Existing Address: 5211 to 5351 Steveston Highway, Richmond BC
Proposed Address: Steveston Hwy, Richmond BC

Current Address: 5191 to 5351 Steveston Highway, Richmond BC
Proposed Address: Steveston Highway, Richmond BC

Lot, Section, Township, New Westminster District, Plan

Lot, Section, Township, New Westminster District, Plan

Common / Amenity Area

Net Floor Area (sq.ft.)

Exclusion

(sq.ft.)

Covered Area (sq.ft.)

Exemption

(sq.ft.)

1st Open Area (sq.ft.)

Exclusion

(sq.ft.)

2nd Open Area (sq.ft.)

Exclusion

(sq.ft.)

3rd Open Area (sq.ft.)

Exclusion

(sq.ft.)

Star & Entry Exclusion (sq.ft.)

(sq.ft.)

Gauge Exclusion (sq.ft.)

(sq.ft.)

Open Exclusion (sq.ft.)

(sq.ft.)

Common / Amenity Area (sq.ft.)

Exclusion

(sq.ft.)

Net Floor Area (sq.ft.)

Exclusion

(sq.ft.)

Building 01

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PROJECT DATA - EXCLUSIONS

Existing Address: 5211 to 5351 Steveston Highway, Richmond BC
Proposed Address: Steveston Hwy, Richmond BC

Excluding:

Garage (sq.ft.)

1st Stair & Entry Exclusion (sq.ft.)

2nd Stair & Entry Exclusion (sq.ft.)

3rd Stair & Entry Exclusion (sq.ft.)

Covered Area (sq.ft.)

Exempt

Area (sq.ft.)

Exempt

1st Open Area (sq.ft.)

Exclusion

(sq.ft.)

2nd Open Area (sq.ft.)

Exclusion

(sq.ft.)

3rd Open Area (sq.ft.)

Exclusion

(sq.ft.)

Star & Entry Exclusion (sq.ft.)

(sq.ft.)

Gauge Exclusion (sq.ft.)

(sq.ft.)

Open Exclusion (sq.ft.)

(sq.ft.)

Common / Amenity Area (sq.ft.)

Exclusion

(sq.ft.)

Net Floor Area (sq.ft.)

Exclusion

(sq.ft.)

Building 01

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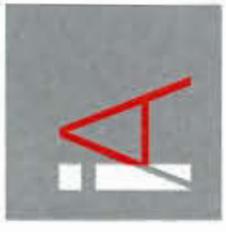
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Vancouver, BC, V6C 1S4
www.integra-arch.com



	Location	Grade (M)			Average M
		SW Corner	NW Corner	NE Corner	
Building 01	Finished Grade	1.75	1.75	1.75	1.75
Building 02	Finished Grade	1.75	1.75	1.75	1.75
Building 03	Finished Grade	1.75	1.75	1.75	1.75
Building 04	Finished Grade	1.75	1.75	1.75	1.75
Building 05	Finished Grade	1.75	1.75	1.75	1.75
Building 06	Finished Grade	1.75	1.75	1.75	1.75
Building 07	Finished Grade	1.75	1.75	1.75	1.75
Building 08	Finished Grade	1.75	1.75	1.75	1.75
Building 09	Finished Grade	1.75	1.75	1.75	1.75
Building 10	Finished Grade	1.75	1.75	1.75	1.75
Building 11	Finished Grade	1.75	1.75	1.75	1.75
Building 12	Finished Grade	1.75	1.75	1.75	1.75
Building 13	Finished Grade	1.75	1.75	1.75	1.75
Amenity Building	Finished Grade	1.75	1.75	1.75	1.75
Site Corners	Finished Grade	1.50	0.98	0.96	1.25
	Average Finished Grade				1.17

SITE PLAN

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- 1" ≈ 30°

October 17, 2018

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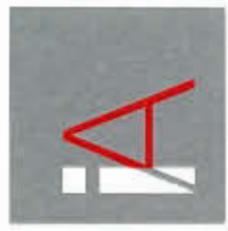
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PLAN #1 B

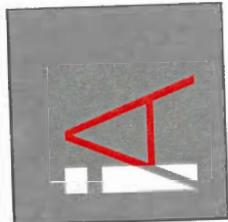
SITE GRADING CALCULATIONS



Integra

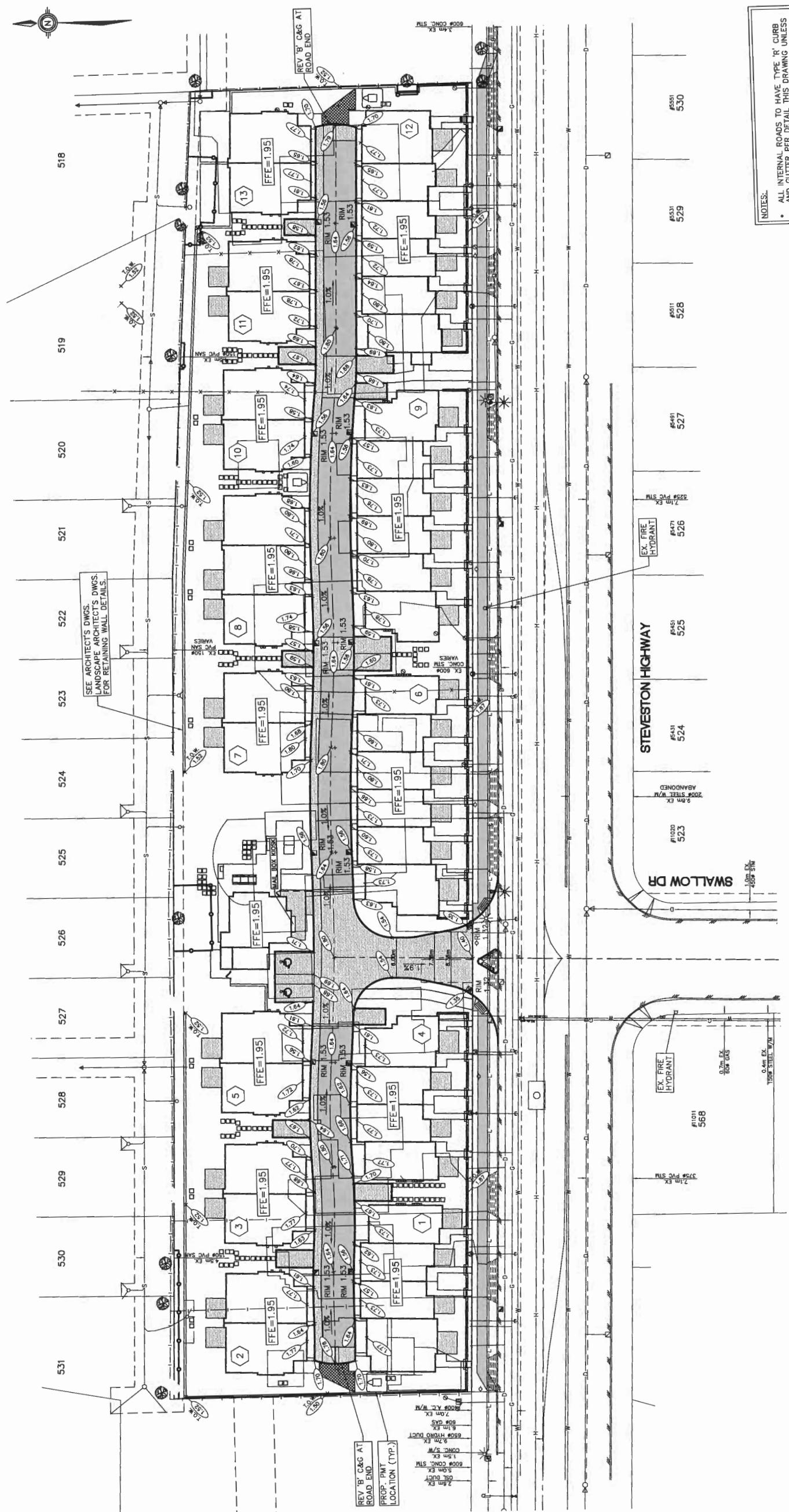
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Vancouver, BC, V6C 1S4
www.integra-arch.com
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- LEGEND**

TYPICAL CROSS SECTION ON SITE ROADWAYS

N.T.S.

(1) 65mm-TYPE 2 ASPHALT
(2) 150mm-19mm MINUS CRUSHED GRAVEL BASE
COMPACTED TO 95% MPMD. PROOF-ROLLING REQUIRED.
(3) 300mm-RIVER SAND SUB-BASE COMPACTED TO 95%
MPMD. PROOF-ROLLING REQUIRED.
(4) SUBGRADE TO BE APPROVED BY GEOTECHNICAL ENGINEER.
(5) UNIT PAVERS C/W 25mm SAND LEVELLING COURSE
(SEE LANDSCAPE DRAWINGS FOR DETAILS)

E. ABOVE NOTED TYPICAL CROSS SECTION HAS BEEN DESIGNED BY
A. OPAQUE CONSULTANTS LTD.
B. ROADWORKS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH
C. OPAQUE CONSULTANTS LTD. GEOTECHNICAL REPORT FILE NO. 14134
D. DATED AUGUST 7, 2016.

NOTES: THE HIGHEST POINT OF THE PROPERTY IS 1.65m
ABOUT THE ROAD LINE.

ANTHEM PROPERTIES
GROUP LTD. [PROJ]

GEORGIA

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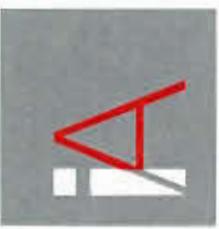
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ONSITE ROAD WORKS & GRADING PLAN	[PROJECT]
164558 - C02	[SCALE]
18:300	[DATE]
AUGUST 03, 2018	[ISSUE]
	[DRAWINGS]

14 20 D. 116 237



Integra

ARCHITECTURE INC.
2330-200 Granville Street
Vancouver, BC V6C 1S4
Telephone: 604 688 4220
www.integra-arch.com

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PROJECT TEAM:

N



STEVESTON HIGHWAY

EXISTING FH
TO BE RELOCATED TO NEW BOULEVARD



[CLIENT]

ANTHEM PROPERTIES

[PROJECT]

GEORGIA

5191-5151 Steveston Hwy
RICHMOND, BC

[TITLE]

FIRE DEPT
ACCESS PLAN

[PROJECT]

16392

1" = 30'

October 15, 2018

[DATE]

12 - DP Resubmission

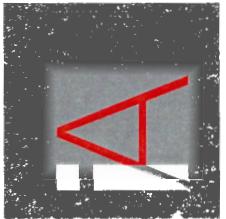
[ISSUE]

[TITLE]

DRAWING

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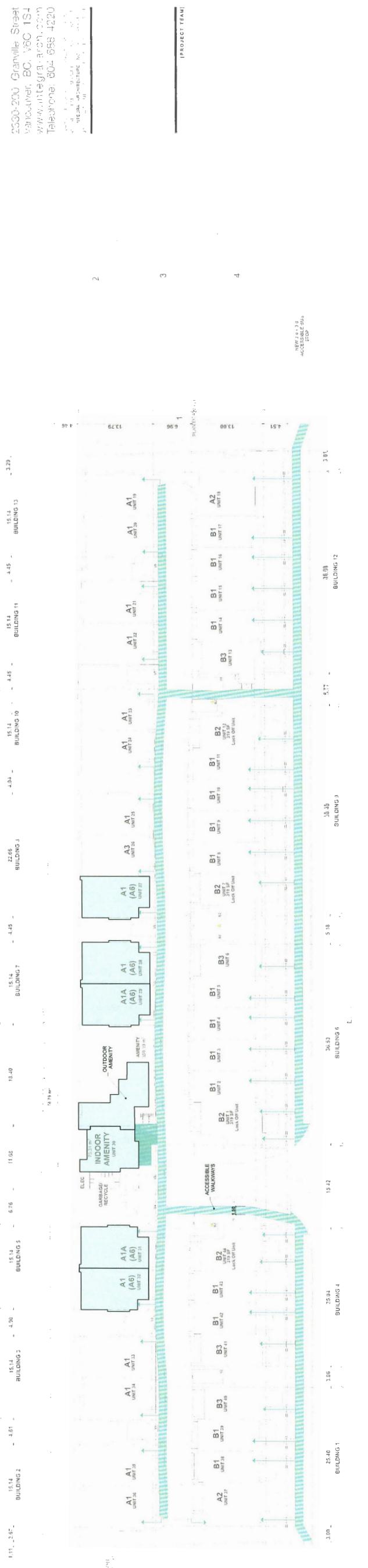
DOP 10-822484
PLAN #2A NOV 06 2018



Integra

ARCHITECTURE INC.

2530-200 Granville Street
Vancouver, BC, V6C 1S4



STEVESTON HIGHWAY

DRIVE
SWALLOW

Pr. 1. $\{1, 2, \dots, n\} \subseteq \mathcal{O}(1) = \mathbb{N}$

ANTHEM PROPERTIES
[CLIENT]

GEORGIA

SITE ACCESSIBILITY

ACCESSIBILI

16392 [PROJECT]

Not to Scale _____ (SCALE) _____ (DATE)

October 15, 2015 _____ [ISSUE]

DRAWING

A-1.005

TREE 977 SITE PREPARATION AND TREE RELOCATION SHOULD BE UNDERTAKEN AT THE BEGINNING OF THE SITE PREPARATION, SUBSEQUENT TO COMPLETION OF DEMOLITION, THE PROJECT ARBORIST MUST BE ON-SITE TO DIRECT PREPARATION OF PLANTING SITE AND TREE RE-LOCATION VIA LOW IMPACT METHODS IN ACCORDANCE WITH ANSI A300 STANDARDS.

RETAINED TREES:
RPZ's WILL NEED TO BE MAINTAINED AND PROTECTED AT THE PRE-EXISTING GRADE WITH NO EXCAVATION, TRENCHING OR FILL PLACEMENT. SOFT LANDSCAPE CONDITIONS ARE REQUIRED FOR FINISHING TREATMENT IN THESE AREAS. ANY SLOPED GRADE TRANSITIONS OR RETAINING WALLS MUST BE INSTALLED FULLY OUTSIDE OF THE RPZ.

16.4ft

2.0m

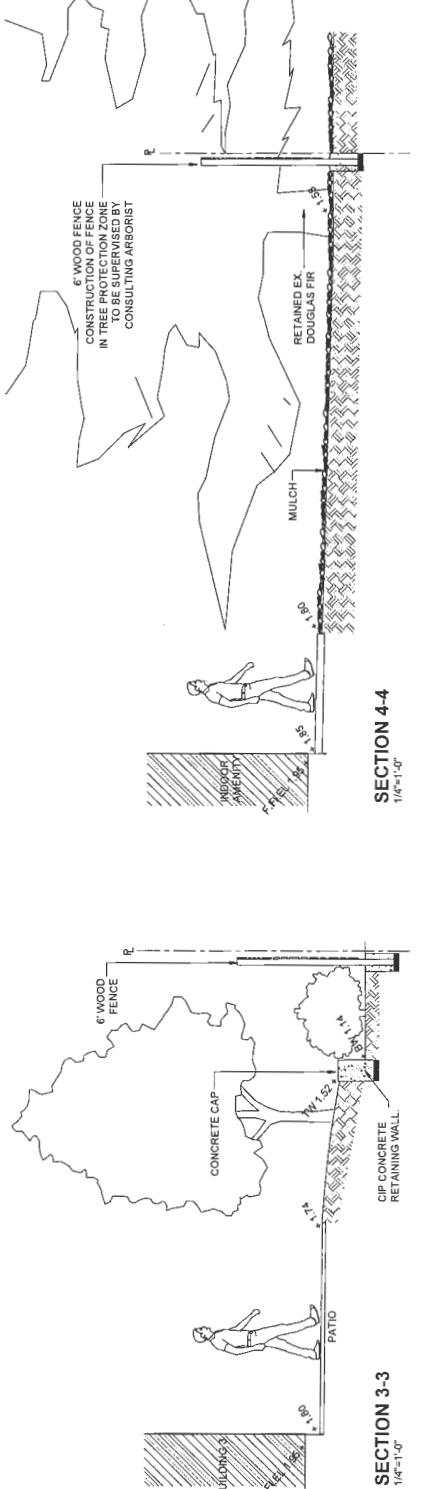
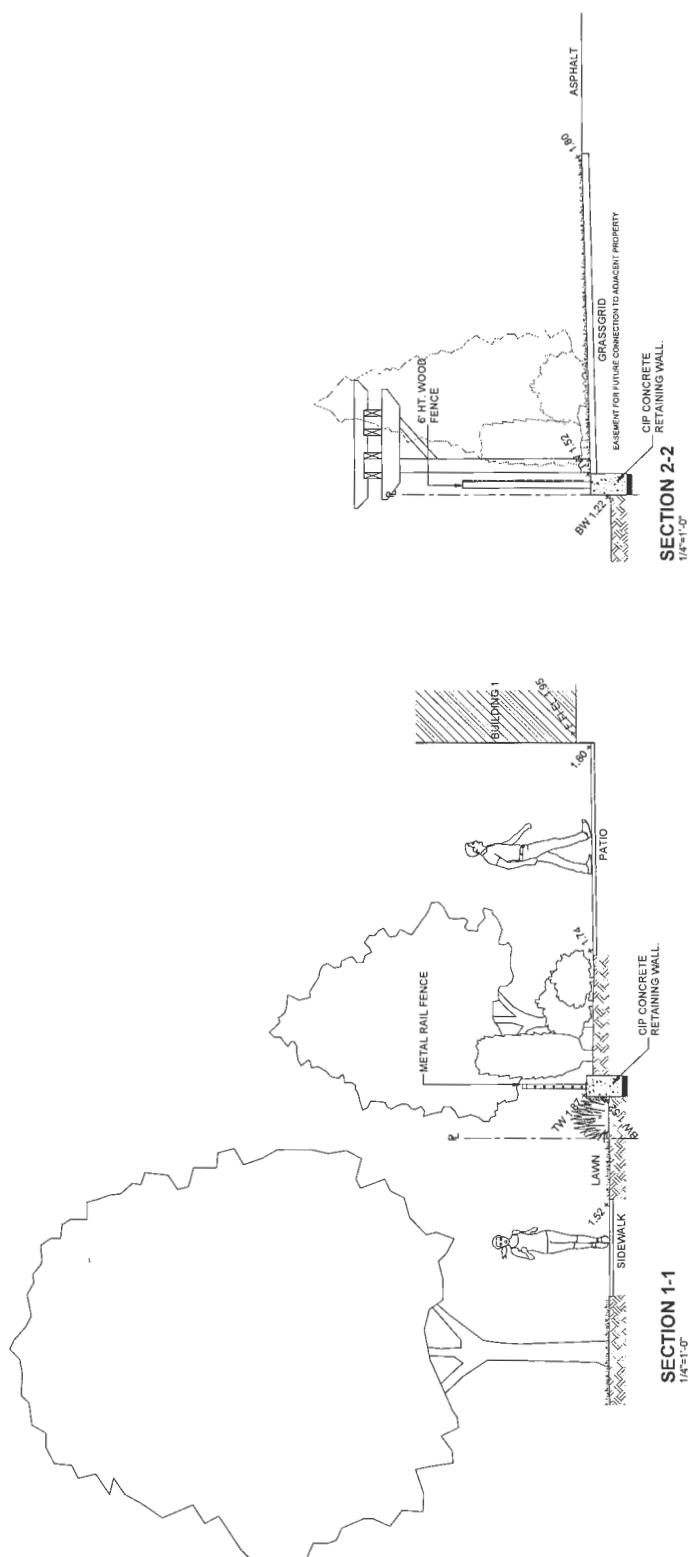
[6.6ft]

TREE INVENTORY - CONDENSED

ACL FILE:16263
DATE: REV 5, SEP 29, 2018

Tag #	Ht	Dbh	Tree Type	Cond	Loc	Action
932		62	Weeping willow	U	ON	Remove
933	20	41	Deodar cedar	U	ON	Remove
934		72	Flowering cherry	M	ON	Remove
935		57	Flowering cherry	U	ON	Remove
936		22 26 24	Walnut	U	ON	Remove
937	20	50	Sawara cypress	M	ON	Remove
938	20	Est. 65	Sawara cypress	M	ON	Remove
939	20	52	Blue spruce	U	ON	Remove
940	20	72	Deodar cedar	U	ON	Remove
941	5	32	Flowering cherry	U	ON	Remove
942	16	60	Douglas-fir	M	ON	RETAIN
943	6	20-32	Western redcedar	M	ON	Remove
944	8	25	Norway spruce	M	ON	Remove
945	8	20	Norway spruce	M	ON	Remove
946	8	22 (Est.)	Norway spruce	M	ON	Remove
947	10	35	Paper birch	U	ON	Remove
948		34	Flowering cherry	U	ON	Remove
949	20	22 (Est.)	Paper birch	U	ON	Remove
950	20	22 (Est.)	Paper birch	U	ON	Remove
951	5	20-22	Western redcedar	M	ON	Remove
952	8	20-31	Western redcedar	U	ON	Remove
953	4	34	Western redcedar	U	ON	REMOVE
954	4	25	Western redcedar	U	ON	Remove
955	4	40	Western redcedar	U	ON	Remove
956	9	19 22	Western redcedar	M	ON	Remove
957	8	22-45	Western redcedar	U	ON	Remove
958	4	20-30	Western redcedar	U	ON	Remove
959		9+9+11+12	Plum	U	ON	Remove
960		8+10+11	Plum	U	ON	Remove
961		30	Lawson cypress	U	ON	Remove
962		29+39	Lawson cypress	U	ON	Remove
963		40	Lawson cypress	U	ON	Remove
964		40	Lawson cypress	U	ON	Remove
965		50	Lawson cypress	U	ON	Remove
966	15	40	Sitka spruce	U	ON	Remove
967	4	36 28	Western redcedar	U	ON	Remove
968		20	Pear	U	ON	Remove
969		49	Flowering cherry	U	ON	Remove
970		22	Pear	U	ON	Remove
971		41	Flowering cherry	U	ON	Remove
972		22	Flowering cherry	M	ON	Remove
973		21+21+25	Sawara cypress	U	ON	Remove
974		11+19+22	Sawara cypress	U	ON	Remove
975		17+18+20	Sawara cypress	U	ON	Remove
976		43	Lawson cypress	U	ON	Remove
977		20	Red oak	M	ON	RETAIN
978		28	Apple	U	ON	Remove
979		40 (est.)	Pear	U	SHARED	RETAIN
980		10 12 16	Cherry	U	ON	Remove
OS 001		20-25	Western redcedar	U	OFF	PROTECT
OS 002		25	Japanese maple	S	OFF	PROTECT
OS 003		12+20+20	Plum	S	OFF	PROTECT
OS 004		60 (est)	Austrian pine	M	OFF	PROTECT
OS 005		30 (est.)	Japanese maple	S	OFF	PROTECT
OS 006		12 15	Plum	U	OFF	PROTECT
C01	2.5	<20	White cedar	M	CITY	REMOVE
C02	1.2	<20	Photinia	U	CITY	REMOVE
C03	2	<20	White cedar	S	CITY	REMOVE
C04		<20	White cedar	S	CITY	REMOVE
C05	4	<20	White cedar	S	CITY	REMOVE
C06	4	<20	White cedar	S	CITY	REMOVE
C07	4	<20	White cedar	S	CITY	PROTECT

DP 18-822484
PLAN #3A
NOV 06 2018

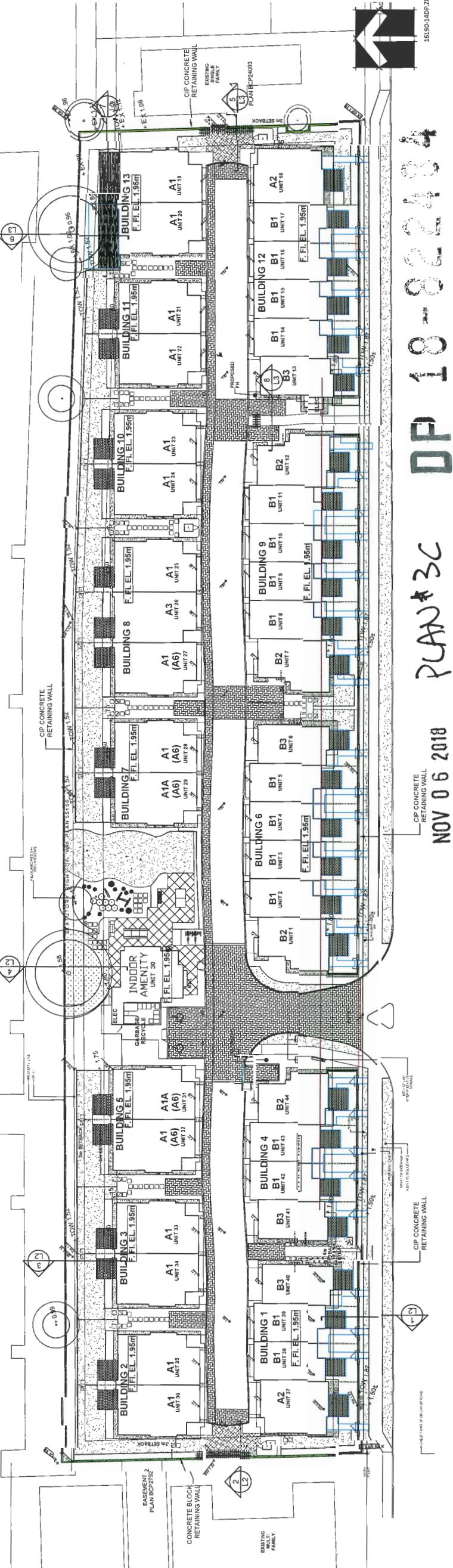


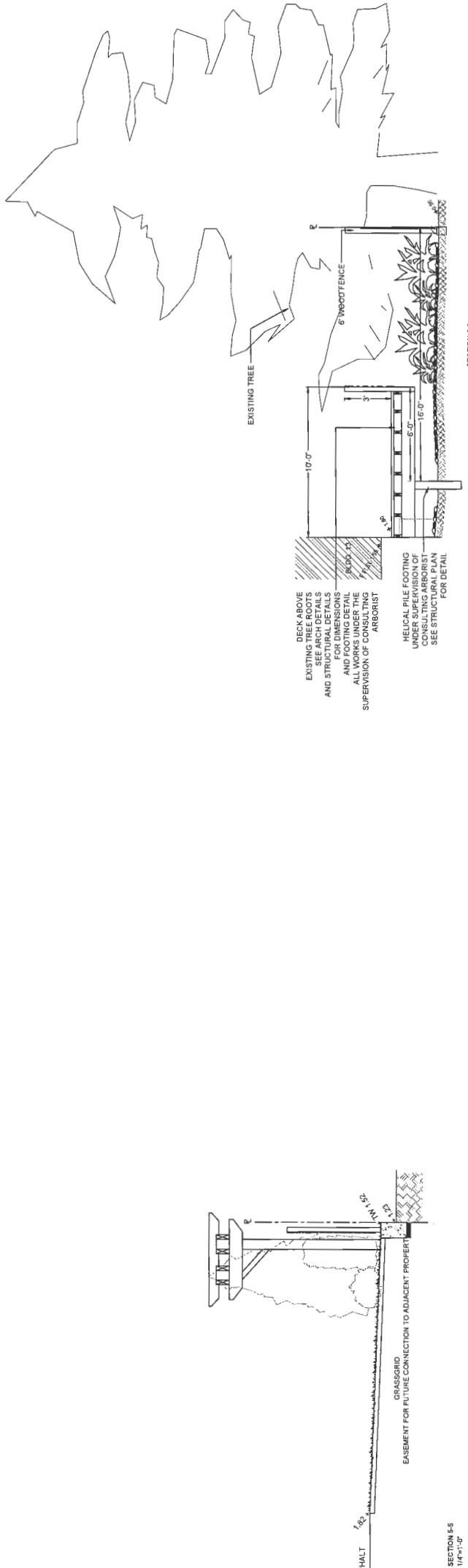
15. 18.OCT.18	NOOK ACCESS - GRAVEL & DIRT STREENT
14. 18.OCT.17	CITY RESUBMISSION4
13. 18.OCT.14	CITY RESUBMISSION4
12. 18.OCT.10	ISSUED FOR BP
11. 18.AUG.09	MCY
10. 18.MAY.07	REVISION PER CLIENT COMMENTS
9. 18.APR.05	SRIRU PLANNING PLAN
8. 18.JAN.03	NEW SITE PLAN
7. 17.DEC.02	NEW SITE PLAN / AMENITY AREA
6. 17.GOV.02	EXISTING TREE LOCATIONS
5. 17.SEP.02	SECTION
4. 17.AUG.01	NEW SITE PLAN COMMENTS
3. 17.APR.00	UPDATED SITE PLAN
2. 17.MAR.99	MA
1. 17.MAR.97	UPDATED SITE PLAN
	VR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

ANTHEM PROPERTIES



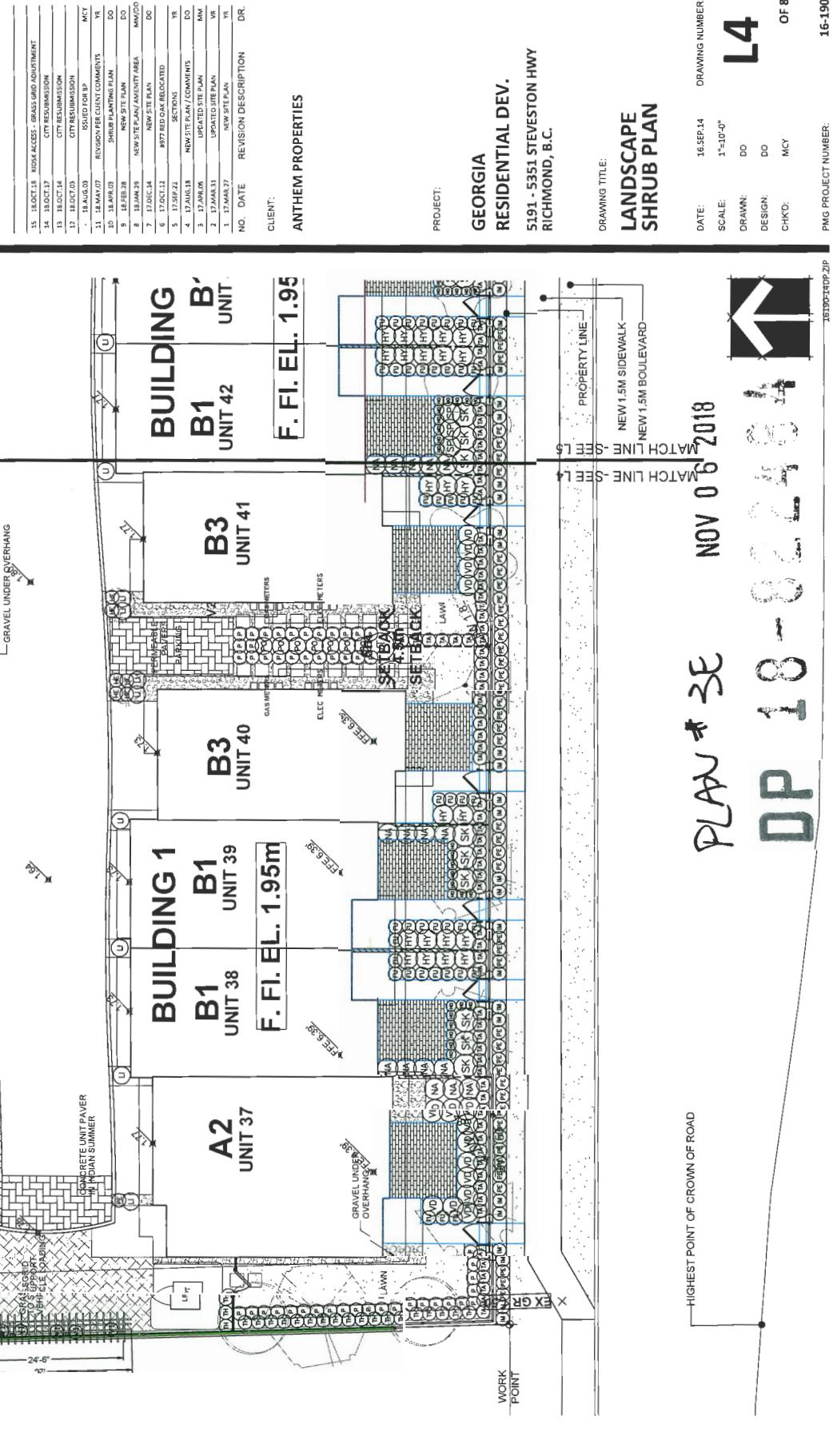




PLANT SCHEDULE				
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB	69	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM
(B)	77	CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOOGWOOD	#2 POT; 50CM
(B)	19	HIBISCUS SYRIACUS	HIBISCUS	4CM CAL; 1.0M STD BASE
(B)	110	HYDRANGEA SERRATA 'BLUEBIRD'	MOUNTAIN HYDRANGEA; LACECAP BLUE	#3 POT; 40CM
(B)	42	LIGUSTRUM TExANUM	GLOBE PRIVET	1M HT; B&B
(B)	15	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	#3 POT; 50CM
(B)	15	RHODODENDRON 'CAROLINE GRACE'	RHODODENDRON; CREAM PINK	#3 POT; 50CM
(B)	24	RHODODENDRON 'UNICLE'	RED FLOWERING CURRANT 'K. EDWARD'	#3 POT; 30CM
(B)	85	RIBES SANCTI JERONIMI 'KING EDWARD'	CARPET ROSE; RED	#2 POT; 80CM
(B)	38	ROSA 'NOIRE'	JAPANESE SKIMMIA	#3 POT; 50CM
(B)	36	SKIMMIA JAPONICA '(10% MALE)	DWARF GOLDMOUND SPIREA	#3 POT; 40CM
(B)	30	SPIRAEA ALPINA 'GOLDMOUND'	HICK'S YEW	1.2M B&B
(B)	310	TAXUS X MEDIA 'HICKSI'	EMERALD GREEN CEDAR	1.8M HT; B&B
(B)	103	THUJA OCCIDENTALIS 'SMARAGD'	DAVID'S VIBURNUM	#2 POT; 90CM
(B)	93	VIBURNUM DAVIDI	DWARF VIBURNUM	#3 POT; 50CM
(B)	111	VIBURNUM THINUS DWARF	BLUE OATGRASS	#1 POT
(G)	70	HELIOTRICHON SEMPERVIRENS	BLOOD GRASS	#1 POT
(G)	148	IMPERATRICA CYANORHA 'RED BARON'	DWARF FOUNTAIN GRASS	#1 POT
(G)	333	PENNSETUM ALOPECUROIDES 'HAMELIN'	FUCHSIA	15CM POT
(P)	180	PENNSETUM ALOPECUROIDES 'HAMELIN'	DAILY	#1 POT; 1.2 FEET
(P)	42	PERENNIAL	HOSTA 'GOODY GREEN' AND GREEN VARIEGATED	9CM POT
(P)	184	HEUCHERA 'CALLIOPE'	SEUMA 'ALBA'	15CM POT
(P)	30	HEUCHERA 'CALLIOPE'	SEDUM 'ALBA'	#1 POT; 1.5CM
(P)	116	HEUCHERA 'ALBIFLORA'	CORAL CARPET STONECROP	#1 POT; 25CM
(P)	17	HEUCHERA 'ALBIFLORA'	JAPANESE SPURGE	#2 POT; STAKED
(P)	321	PACHYSANDRA TERMINALIS	WESTERN SWORD FERN	#2 POT; STAKED
(P)	368	POLYSTICHUM MUNIMUM	HONEYSUCKLE	#2 POT; STAKED
(V)	12	LONICERA X BROWNII 'DROPMORE SCARLET'		

NOTES: *PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF REVIEW TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. *SUBSTITUTIONS/REBATE APPROVAL IS REQUIRED FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUESTS TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BE MADE BY THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERIES. NO PLANT MATERIAL MAY BE USED THAT IS SUBJECT TO A BAN OR RESTRICTION. NO PLANT MATERIAL MAY BE USED THAT IS SUBJECT TO A RESTRICTION ON USE IN THE LOWER MAINLAND. NO PLANT MATERIAL MAY BE USED THAT IS SUBJECT TO A RESTRICTION ON USE IN THE FRASER VALLEY.

NOTES: *PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF REVIEW TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. *SUBSTITUTIONS/REBATE APPROVAL IS REQUIRED FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUESTS TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BE MADE BY THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERIES. NO PLANT MATERIAL MAY BE USED THAT IS SUBJECT TO A BAN OR RESTRICTION. NO PLANT MATERIAL MAY BE USED THAT IS SUBJECT TO A RESTRICTION ON USE IN THE LOWER MAINLAND. NO PLANT MATERIAL MAY BE USED THAT IS SUBJECT TO A RESTRICTION ON USE IN THE FRASER VALLEY.



HIGHEST POINT OF CROWN OF ROAD

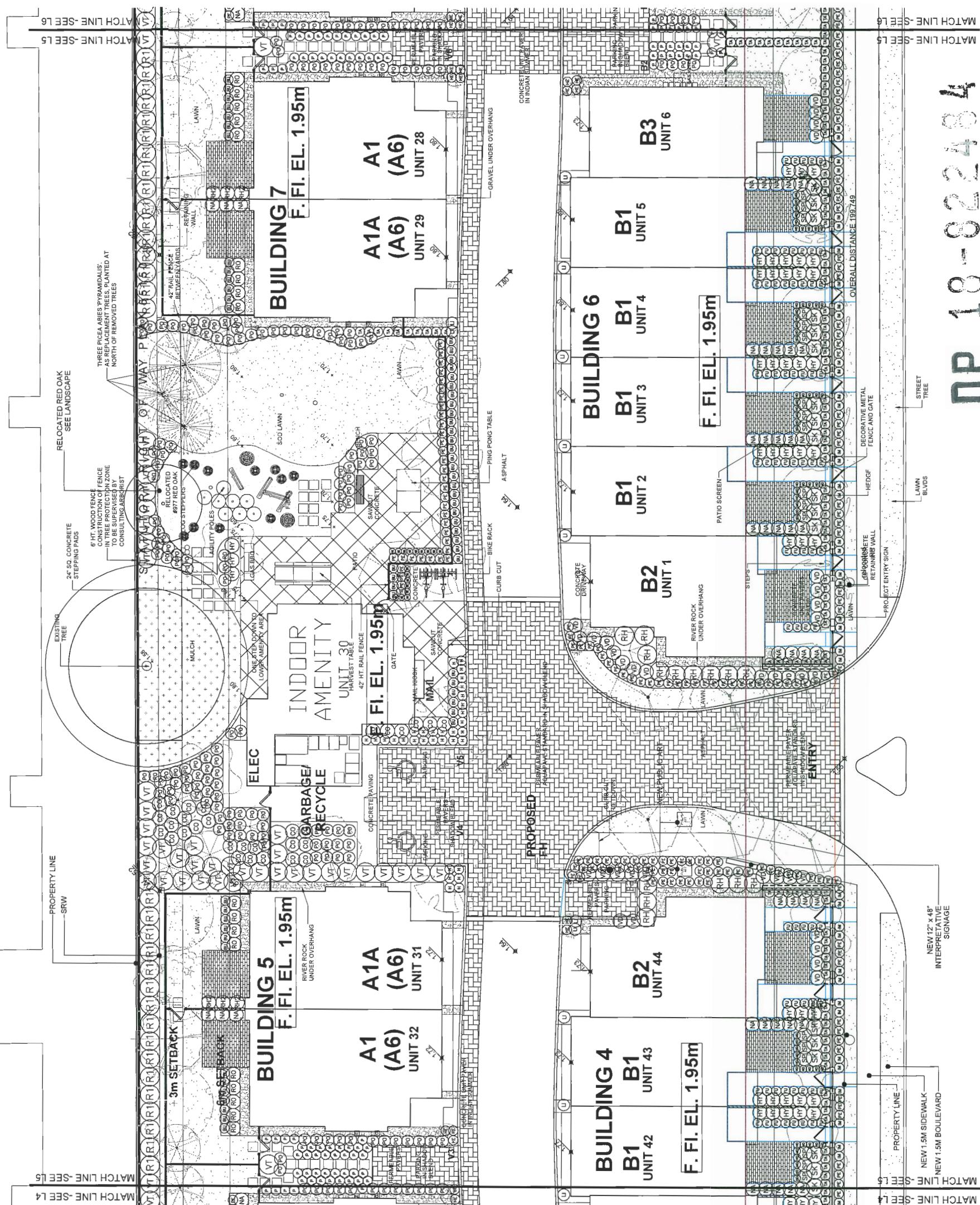
WORK POINT

PROPERTY LINE

NEW 1.5M SIDEWALK

NEW 1.5M BOULEVARD

PROPERTY LINE



NOV 06 2018
PLAN # 3F

OF ROAD

DP 18-022484

STEVESTON HWY

LANDSCAPE SHRUB PLAN

DRAWING TITLE: LANDSCAPE SHRUB PLAN
DATE: 16-SEP-14
SCALE: 1:10'-0"
DRAWN: DO
DESIGN: DO
CHKD: MCY
OF 8

DRAWING NUMBER: L5
DATE: 16-SEP-14
SCALE: 1:10'-0"
DRAWN: DO
DESIGN: DO
CHKD: MCY
OF 8

PMG PROJECT NUMBER: 16-190-14DP/2P
16190-14DP/2P

GEORGIA RESIDENTIAL DEV.
5191 - 5351 STEVESTON HWY
RICHMOND, B.C.
PROJECT: PMG PROJECT NUMBER: 16-190-14DP/2P
16190-14DP/2P

DRAWING TITLE: LANDSCAPE SHRUB PLAN

DRAWING NUMBER: L5
DATE: 16-SEP-14
SCALE: 1:10'-0"
DRAWN: DO
DESIGN: DO
CHKD: MCY
OF 8

DRAWING NUMBER: L5
DATE: 16-SEP-14
SCALE: 1:10'-0"
DRAWN: DO
DESIGN: DO
CHKD: MCY
OF 8

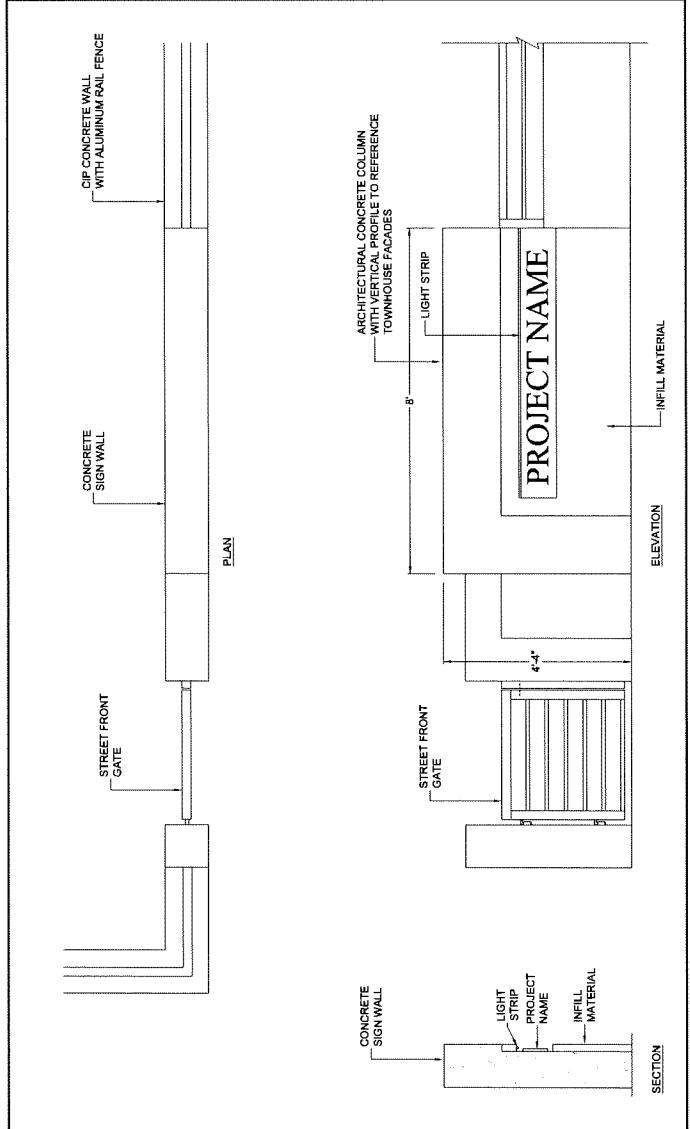




LANDSCAPE
ARCHITECTS

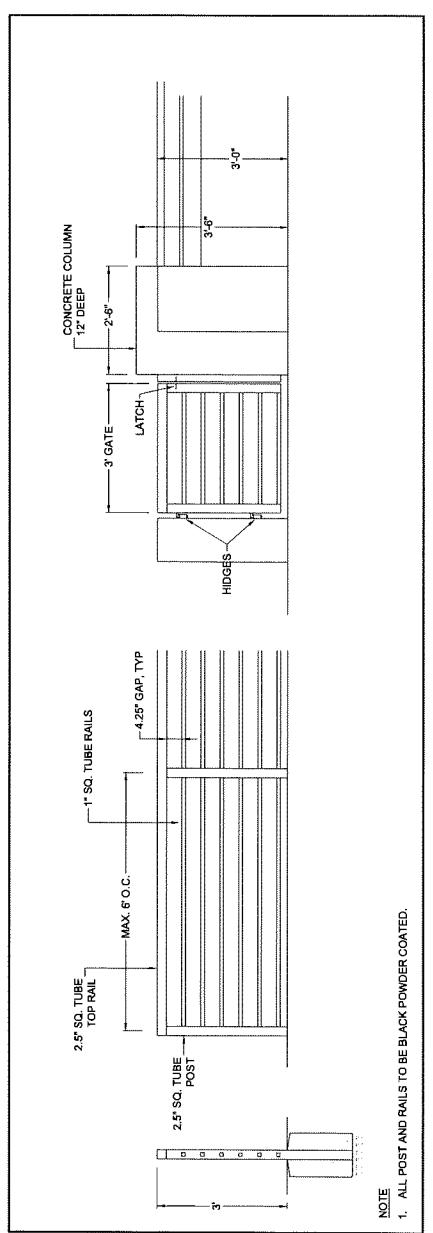
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BENTON BEND, TENNESSEE 37222

SEAL:



2 PROJECT ENTRY SIGN

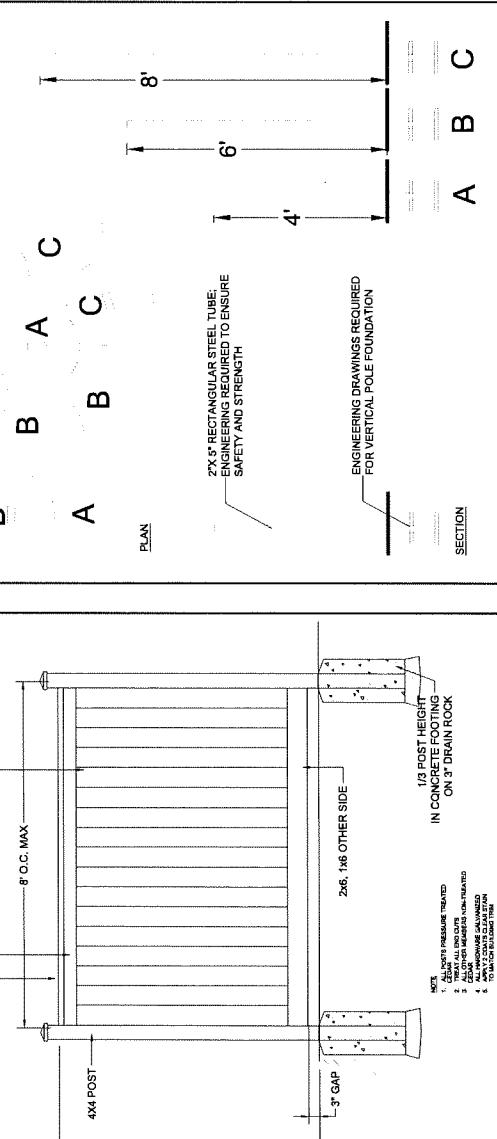
L1 1/2"=1'-0"



PROJECT:
CITY RESUBMISSION
ISSUED FOR BP
REVISOR PER LETER COMMENTS
SHRUB PLANTING PLAN
NEW SITE PLAN
NEW SITE PLAN AREA
NEW SITE PLAN
#97 RED DAK RELOCATED
SECTIONS
NEW SITE PLAN COMMENTS
UPDATED SITE PLAN
UPD SITE PLAN
NEW SITE PLAN
NEW SITE PLAN
NO. DATE
REVISION DESCRIPTION DR:

CLIENT:

ANTHEM PROPERTIES



6 6'-0" HT SOLID WOOD FENCE

L1 1/2"=1'-0"

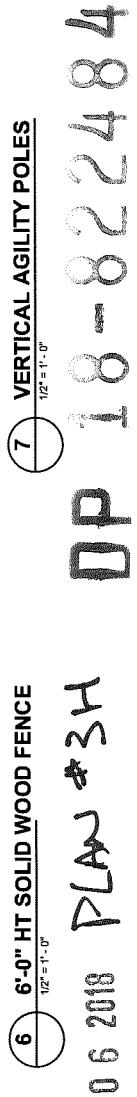
5 STEPPING LOGS AND BALANCE LOGS

L1 1/2" = 1'-0"

16-190-130P ZIP

OF 8

16-190



7 VERTICAL AGILITY POLES

L1 1/2" = 1'-0"

16-190-130P ZIP

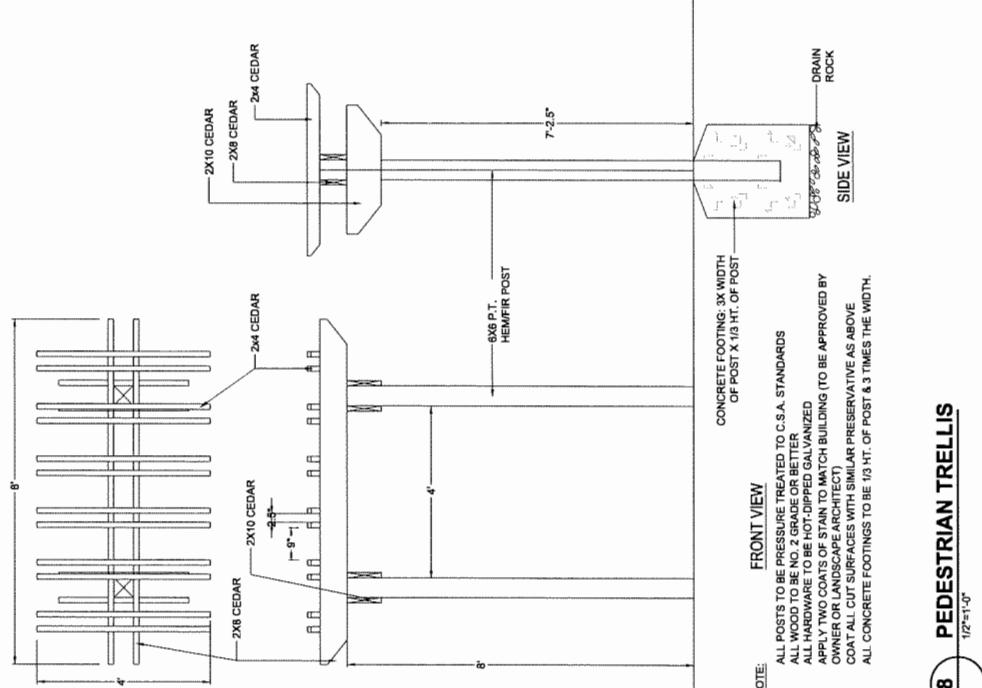
OF 8

16-190



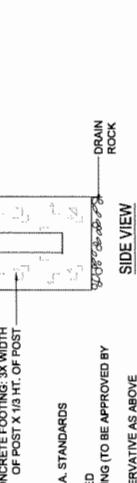
175 STEVENS DR.
Vancouver, BC V6C 6G9
TEL: 604-294-1111 FAX: 604-294-2222

SEAL:

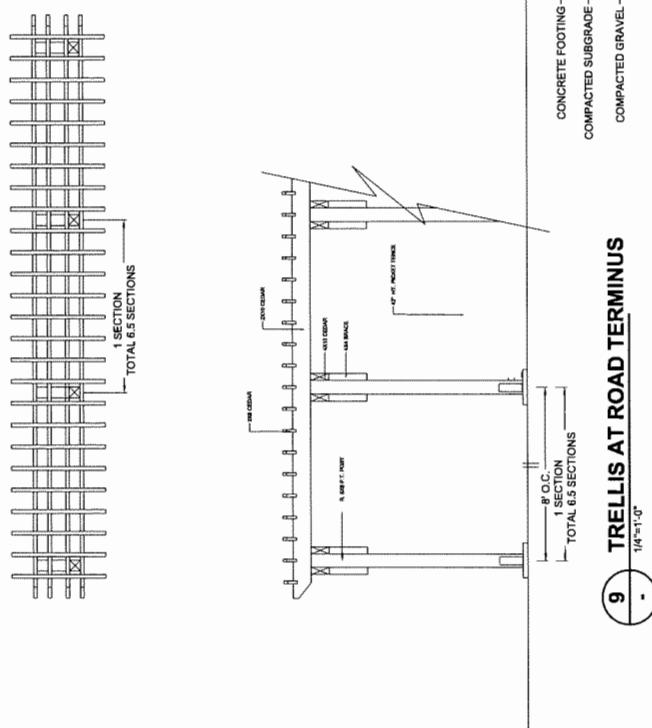


8 PEDESTRIAN TRELLIS

FRONT VIEW
NOTE:
1. ALL POSTS TO BE PRESSURE TREATED TO C.S.A. STANDARDS
2. ALL WOOD TO BE NO. 2 GRADE OR BETTER
3. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED
4. APPLY TWO COATS OF STAIN TO MATCH BUILDING TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT
5. COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE
6. ALL CONCRETE FOOTINGS TO BE 1/3 HT. OF POST & 3 TIMES THE WIDTH.

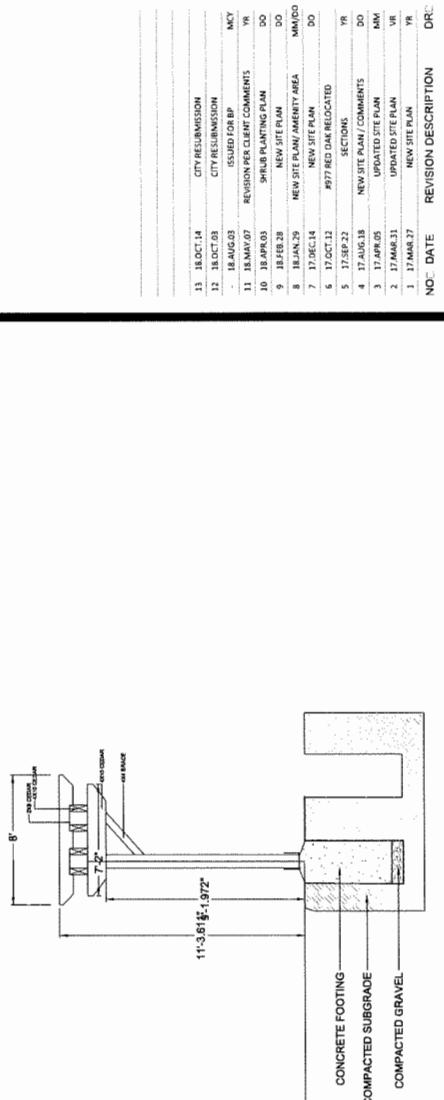


SIDE VIEW



9 TRELLIS AT ROAD TERMINUS

WOOD NOTES:
1. ALL POSTS TO BE PRESSURE TREATED TO C.S.A. STANDARDS
2. ALL WOOD TO BE NO. 2 GRADE OR BETTER
3. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED
4. APPLY TWO COATS OF STAIN - BENJAMIN MOORE ARBOURGATE - SEAGULL GREY
5. COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE
6. ALL FOOTINGS, 3 TIMES THE WIDTH OF THE POST X 1/3 HT. OF THE POST
DRAWING TO BE REVIEWED BY STRUCTURAL ENGINEER
7.



ANTHEM PROPERTIES

CLIENT: PROJECT: DRAWING NUMBER: DATE: SCALE: DRAWN: DESIGN: CH: D: NO: DATE: REVISION DESCRIPTION: DR: OF: DRAWING TITLE: LANDSCAPE DETAILS

GEORGIA RESIDENTIAL DEV.
S191 - 5351 STEVESTON HWY RICHMOND, B.C.

PROJECT:

DRAWING NUMBER:

NOV 06 2018

DP 13-822484

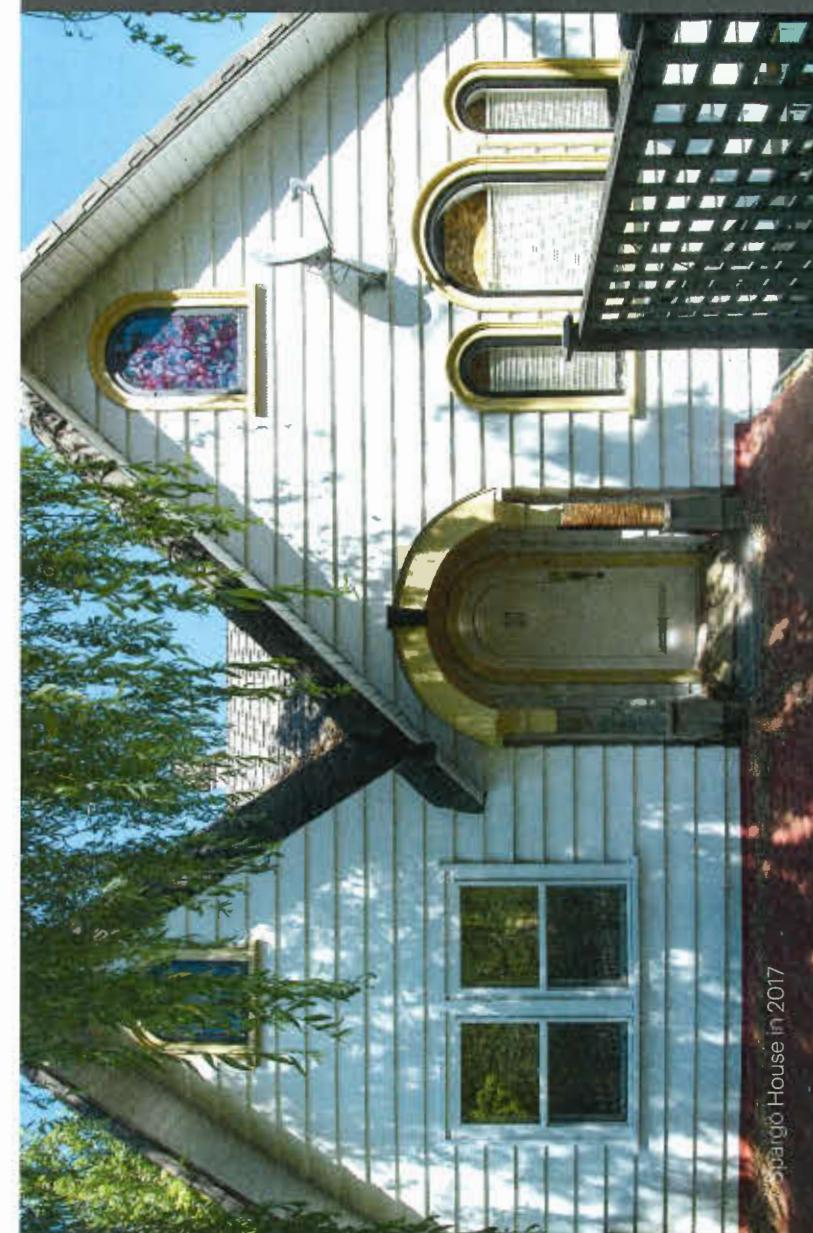
L8

DRAWING NUMBER: DATE: AS SHOWN DO M/C M/C OF: 8

INTERPRETIVE HERITAGE SIGNAGE

PLAN # 35 NOV 06 2018
DP 18-822484

Spargo House (Circa 1930-2018)

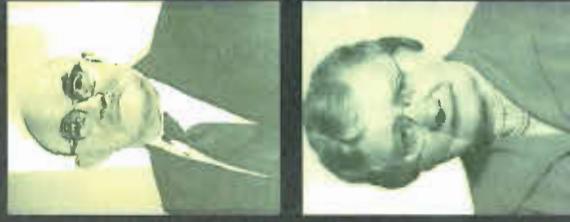


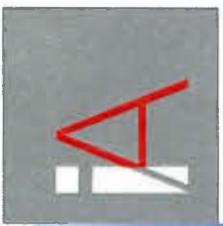
Spargo House in 2017

In the early 1900s, Richmond was known for its rich agricultural land which attracted many immigrants from Europe. James Spargo (Giuseppe Spirito) was a skilled carpenter who immigrated to North America at the turn of the 20th century and settled in Steveston. Like other immigrants, he brought with him architectural styles and woodworking skills from Europe, and built the Spargo House mid-block on Steveston Highway between Railway Avenue and Lassam Road.

The Spargo House was an elegant example of the Italianate building style popular with early immigrant farmers who settled in Richmond. The house showcased Italianate design elements and fine craftsmanship including wood columns, arched doors and arched windows.

James (Giuseppe) Spargo and his wife Santina Spargo





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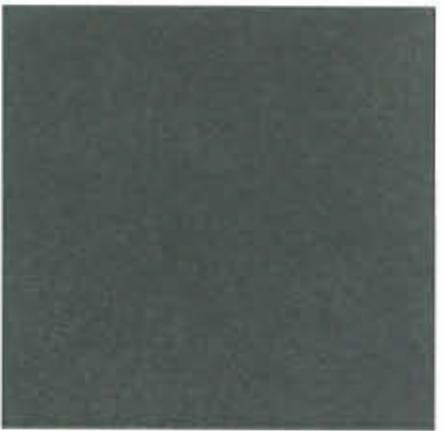
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Telephone: 604 688 4220

[PROJECT TEAM]

[ARCHITECT TEAM]

[CLIENT]

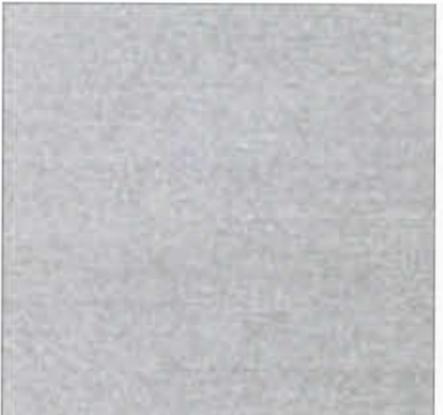
[PROJECT]



B JAMES HARDIE COLLECTION
HardiePanel Lap Siding
Smooth texture
BM 2124-20 Trout Gray



C JAMES HARDIE COLLECTION
HardiePanel Siding
Smooth texture
BM 2134-50 Gull Wing Gray



D WOODTONE RUSTIC SERIES
Horizontal 6" Fibre Cement Cladding
Colour: 'Old Cherry'

E Silver - to match clear anodized
aluminum windows



A JAMES HARDIE COLLECTION
HardiePlank Lap Siding
Select Cedarmill - 6" exposure
Colour: Timber Bark

GEORGIA

5191-5351 Stevenson Hwy
RICHMOND, BC

[TITLE]

[SCALE]

[DATE]

[ISSUE]

[PROJECT]

MATERIALS

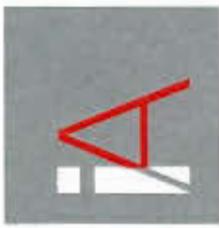
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16392	Not to Scale
October 15, 2018	[DATE]
12 - DP Resubmission	[ISSUE]
Nov 06 2018 PLAN #4 DP 18-822484	[DRAWING]

MATERIAL AND COLOUR LEGEND

Colour	Manufacturer	Reference No.	Elements
Brown	Hardie Plank Lap Siding ColorPlus Smooth texture, 6" exposure	Timber Bark	Black
Blk. Gray	HardiePanel Siding Select Cedarmill texture on Easy Trim	Benjamin Moore Trout Gray 2124-20	Cedar
Lt. Gray	HardiePanel Siding Smooth texture on Easy Trim	Benjamin Moore Gull Wing Gray 2134-50	Woodtone Combed Spruce Trim Boards
Cedar	Woodtone Fiber cement shingle soft	Exterior walls, selected locations	Black
Charcoal	Doors	Exterior walls, selected locations	Black
Black	HandlePanel Siding Smooth texture on Easy Trim	Exterior walls, selected locations	Black
Sliver	Stain/Vinyl Windows & doors	Double glazed vinyl windows & doors	Black
Black	Lindab	To match 1" HandlePanel Boards Pre-finished Aluminum Railing or Clear Safety Glass	Li. Gray

[PROJECT]	
16392	Not to Scale
October 15, 2018	[DATE]
12 - DP Resubmission	[ISSUE]
Nov 06 2018 PLAN #4 DP 18-822484	[DRAWING]

A-0.020



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[ARCHITECT TEAM]

ANTHEM PROPERTIES

GEORGIA

STEVESTON HWY
PERSPECTIVE

[TITLE]
16392
Not to Scale
[SCALE]
October 15, 2018
[DATE]
12 - DP Resubmission
[SUBJECT]

[DRAWING]
A-0.100



STEVESTON HWY PERSPECTIVE

NOV 06 2018
PLAN #4A
DP 18-822484



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[PROJECT TEAM]

[ARCHITECT SEAL]

ANTHEM PROPERTIES

[PROJECT]

GEORGIA

[CLIENT]

5191-5351 Steveston Hwy

RICHMOND, BC

[TITLE]

ENTRY - DRIVE
 AISLE
 PERSPECTIVE

[PROJECT]

16392

Not to Scale

[SCALE]

October 23, 2010

[DATE]

12 - DP Resubmission

[ISSUE]

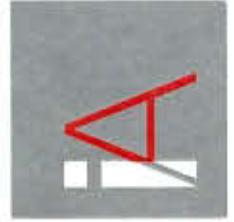
[DRAWING]

PLAN #4B NOV 06 2010
DP 18-822484

ENTRY - DRIVE AISLE PERSPECTIVE



A-0.101



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[PROJECT TEAM]

[ARCHITECT SEAL]

ANTHEM PROPERTIES

[CLIENT]

GEORGIA

5191-5351 Stevenson Hwy
Richmond, BC

[TITLE]

INTERNAL RD
PERSPECTIVE

[PROJECT]

Not to Scale

1 Scale

[DATE]

October 15, 2018

[ISSUE]

12 - DP Resubmission

[DRAWING]

A-0.102

DP 13-822484

PLAN #4C NOV 06 2018



INTERNAL RD PERSPECTIVE



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卷之三

EXISTING TECHNOLOGIES **BUILDING 1** **BUILDING 4** **ENTRY**

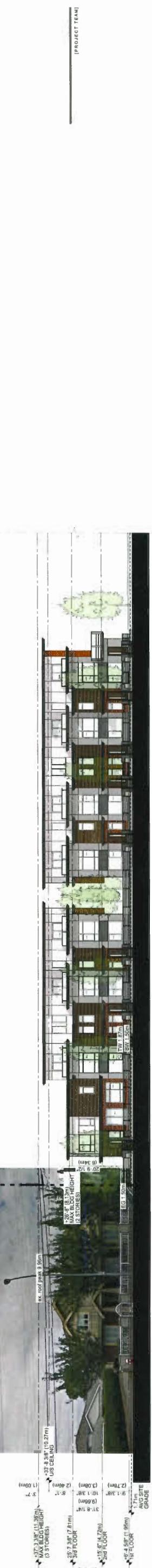
EXISTING TOWNHOMES

BUILDING 1 **BUILDING 4** **ENTRY**

BUILDING 4

ENTRY

STEVESTON HWY STREETSCAPE ELEVATION - SOUTH



LISTING
SINGLE
FAMILY



BUILDING 12

BILL DING 9

XIII DING 6



STATESTON HIGH STREETCARE ELEVATION SOUTH

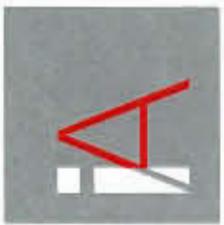
5191-5351 Steveston Hwy
RICHMOND, BC

STREETSCAPE ELEVATIONS

DP 18-822484

PI ARI #4D NOV 06 2018

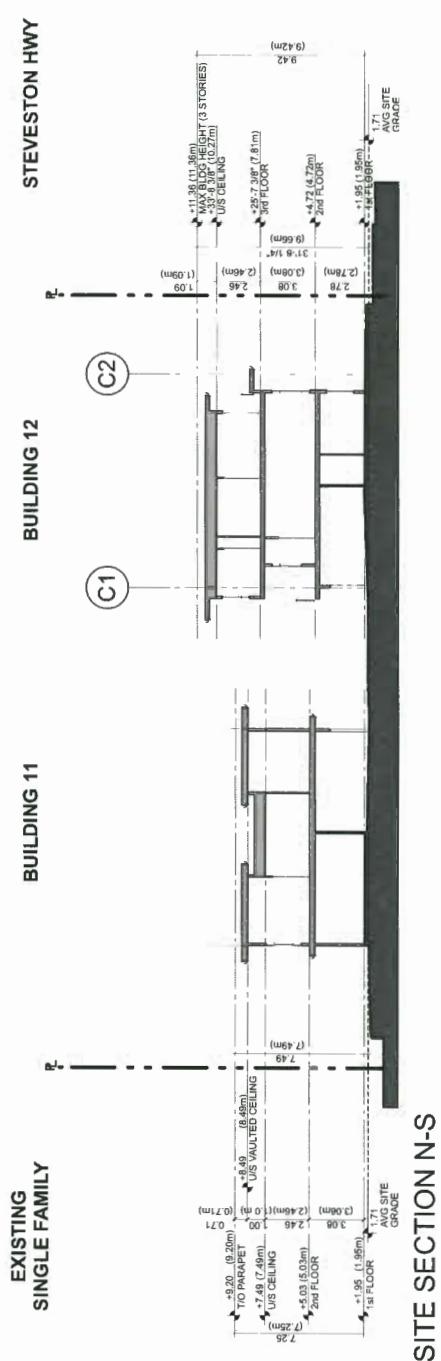
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[ICT TEAM]



EXISTING
TOWNHOMES

BUILDING 1 **BUILDING 4** **ENTRY**

The figure shows an architectural site plan for a building footprint. The footprint is divided into several sections by vertical and horizontal lines. Four circles on the left side point to specific parts of the footprint, labeled 12, 9, 6, and 5 from top to bottom. A circle at the bottom points to a section labeled 2. The plan includes dimensions such as 1.95 (1.9m) for the first floor height, 2.78m for the second floor height, 3.96m for the third floor height, and 2.66m for the fourth floor height. It also indicates a U.S. CEILING height of 2.42m. A note specifies a maximum block height of 8.13 (8.13m) for two stories. The plan also shows a grade level of +1.50m and a site width of 9.96m. A legend at the bottom right indicates 'AVG SITE GRADE'.

SITE SECTION E-W

ANTHEM PROPERTIES

5191-5351 Steveston Hwy

[TITLE]

TÉLÉVISION

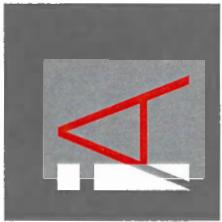
[PROJECT] 16392

October 15, 2018 [DATE]

DRAWING

NOV 06 2018 DIA #4F

SITE SECTION E-W



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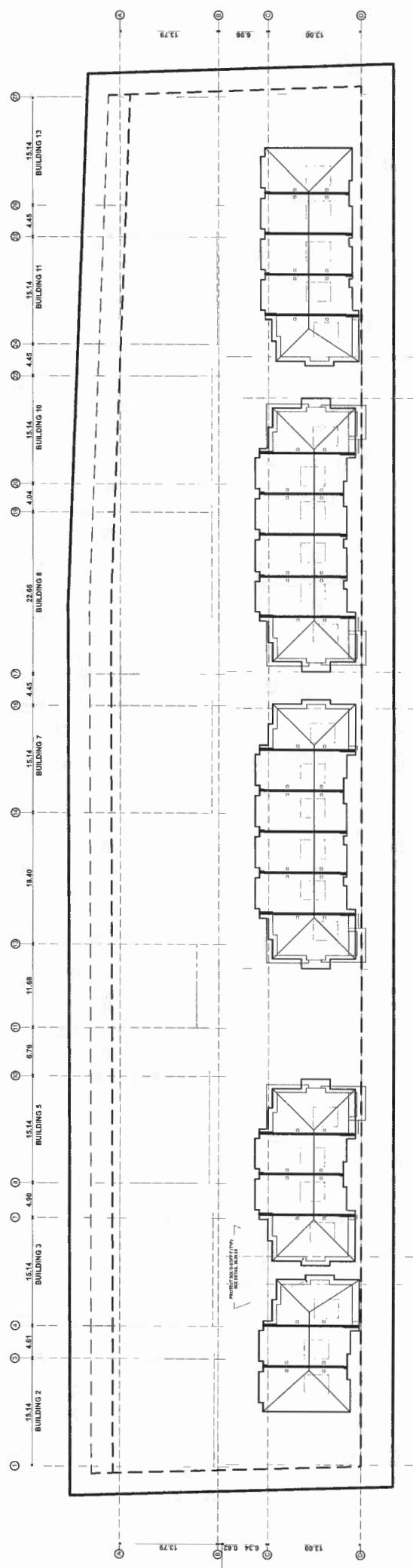
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ANTHEM PROPERTIES

GEORGIA
5191-5351 Stevenson Hwy
RICHMOND, BC

[PROJECT]
[TITLE]
OVERALL ROOF PLAN

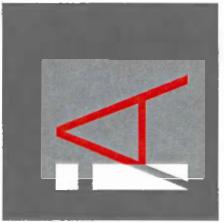
PLAN # 46 NOV 06 2018

DP 18-822484

A-1.400

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1" = 30' [SCALE]
October 15, 2018 [DATE]
12 - DP Resubmission [ISSUE]

[TITLE]
[DRAWING]



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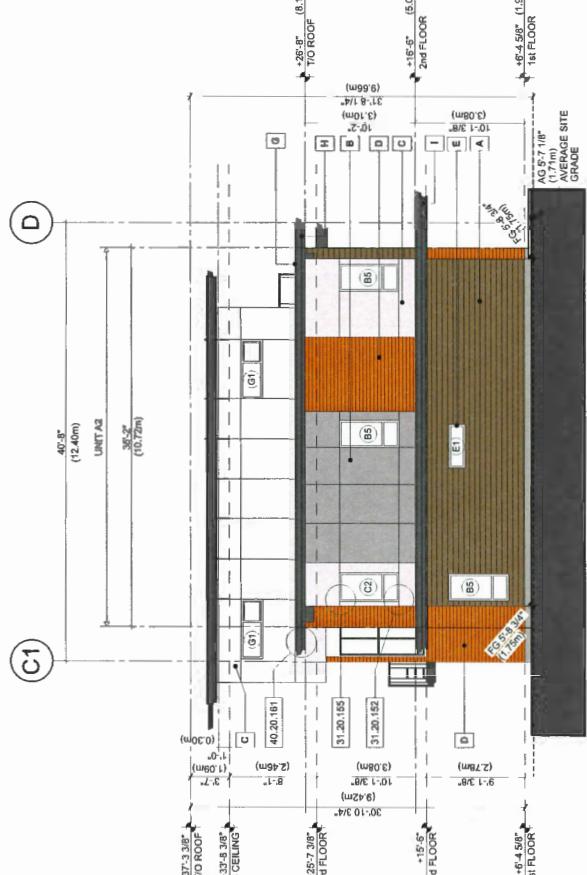
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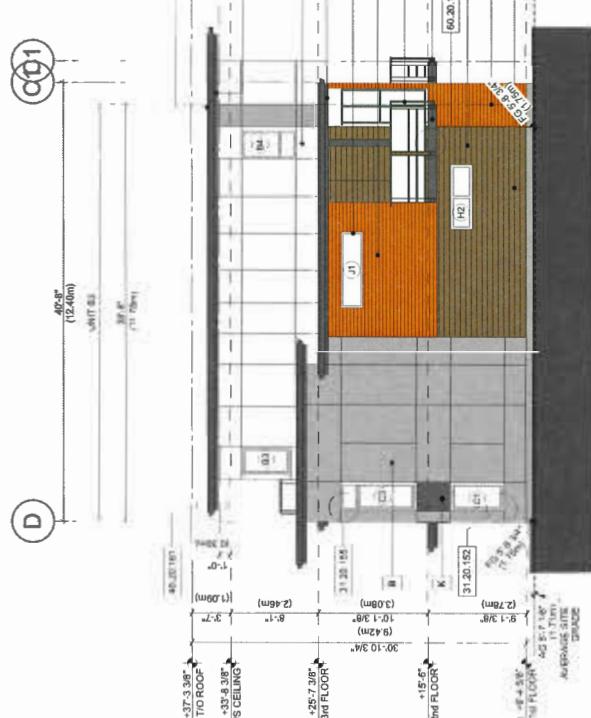
NOT DRAWN TO PROPORTION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

MATERIAL AND COLOUR LEGEND

Colour	Manufacturer	Element	Reference No.	Description
A	Brown	Hardie Plank Lap Siding	Timber Bark	Hardie lap siding - 6" exposure
B	Drk. Gray	Hardie Panel Siding	Benjamin Moore	Exterior walls, selected locations
C	Lt. Gray	Hardie Panel Siding	Trout Gray	Smooth texture on Easy Trim
D	Cedar	Woodstone	Benjamin Moore	Exterior walls, selected locations
E	Silver	Stainline Vinyl	Gull Wing Gray	Smooth texture on Easy Trim
F	Black	Chimney	to match 'H' Hardie Trim Boards	Exterior walls, selected locations

Colour	Manufacturer	Element	Reference No.	Description
G	Black	Malin Metal Ltd.		PvDF Matte Black
H	Ceder	Woodstone		Pre-finished steel flashings and downspouts
I	Black	Combed Spruce Trim Boards		Rooftop overhangs & balconies softail
J	Black	Doors		Supporting Columns
K	Chimney	HardiePanel Siding		Balcony, Roof Facias &
L	Lt. Gray	Garage Doors		Entry & Service Doors

[PROJECT]

ANTHEM PROPERTIES

[CLIENT]

GEORGIA

5191-5351 Stevenson Hwy

RICHMOND, BC

[TITLE]

BUILDING 1

ELEVATIONS

[SCALE]

1/8" = 1'-0"

[DATE]

October 17, 2018

[ISSUE]

12 - DP Resubmission

[DRAWING]

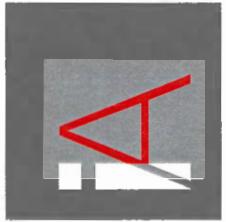
A-2.013

[DRAWING]

D-18-822484

NOV 06 2018

PLANS # 44



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Architect: TUESDAY, INC.
Interior Architect: ANTHEM
Structural Engineer: RPD CONSULTING
MEP Engineer: MECHANICAL SYSTEMS INC.

[PROJECT TEAM]

[ARCHITECT SEAL]

ANTHEM PROPERTIES

[PROJECT]

GEORGIA

5191-5351 Steveston Hwy

Richmond, BC

BUILDINGS
2,3,10,11, & 13 ELEVATIONS

[PROJECT]

16392

1/8" = 1'-0"

[SCALE]

October 15, 2018

[DATE]

12 - DP Resubmission

[ISSUE]

[DRAWING]

A-2.022

DP 18-822484

(1)

(A1)

(A2)

(A3)

(A4)

(A5)

(A6)

WEST ELEVATION

(A1)

(A2)

(A3)

(A4)

(A5)

(A6)

SOUTH ELEVATION

(3)

(1)

(2)

(3)

(4)

(5)

(6)

(7)

(8)

(9)

EAST ELEVATION

(1)

(2)

(3)

(4)

(5)

(6)

(7)

(8)

(9)

(10)

(11)

(12)

NORTH ELEVATION

[PROJECT]

ANTHEM PROPERTIES

[PROJECT]

5191-5351 Steveston Hwy
Richmond, BC

Roof overhangs & balconies soffit

Balcony, Roof Facias & Supporting Columns

Entry & Service Doors

Infill Panels

C/w glazing as shown on door schedule

NOV 06 2018

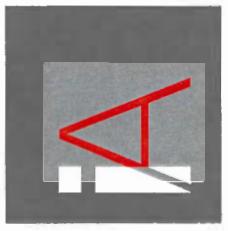
PLAN # 4T**MATERIAL AND COLOUR LEGEND**

Colour to match...

Reference No.

Elements

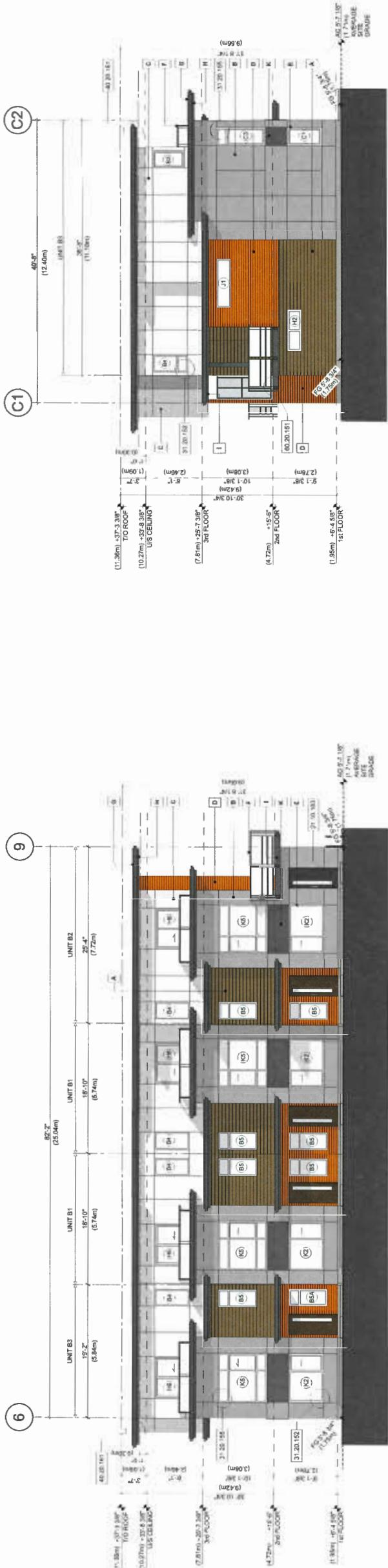
[A] Brown	Hardie Plank Lap Siding Smooth texture, 6" exposure	Timber Bark	PvDF Matte Black
[B] Dk. Gray	HardiePanel Siding Select cedar mill texture on Easy Trim	Benjamin Moore Trout Gray 2124-20	Woodstone 'Old Cherry'
[C] Ll. Gray	HardiePanel Siding Smooth texture on Easy trim	Benjamin Moore Gull Wing Gray 2134-50	Combed Spruce Trim Boards
[D] Cedar	Woodstone Fiber cement siding	Woodstone 'Old Cherry'	Black
[E] Silver	Starline Vinyl	Clair anodized aluminum	HardiePanel Siding Smooth texture on Easy Trim
[F] Black	Lindan	to match 7" HardieTrim Boards	Garage Doors
			Grey



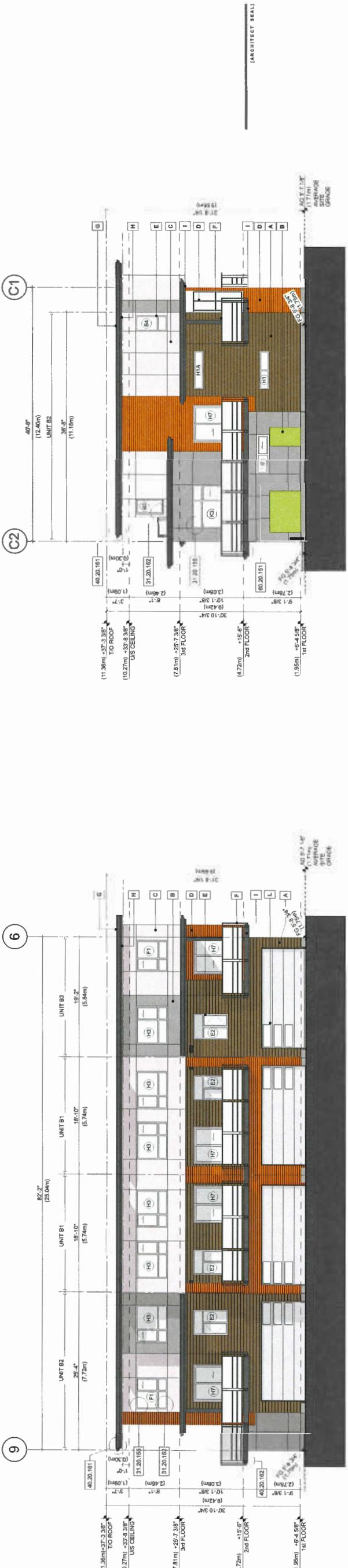
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AND ITS STAFF. INCLUREZ LA DATE DE
INTÉGRA ARCHITECTURE INC. ET CANON
UPTD. 1/1/01 T-E 1/1/13 QM-11



WEST ELEVATION SOUTH ELEVATION



EAST ELEVATION NORTH ELEVATION

MATERIAL AND COLOUR LEGEND

Colour	Manufacturer	Reference No.	Elements	
A Brown	Hardie Plank Lap Siding	Timber Bark	Handle lap siding - 6" exposure	
B Dk. Gray	Hardie Panel Siding Select cedar/mill texture on Easy Trim	Benjamin Moore Trout Gray 2124-20	Exterior walls, selected locations	G Makin Metals Ltd. Black
C Lt. Gray	Hardie-Panel Siding Smooth texture on Easy Trim	Benjamin Moore Gull Wing Gray 2134-50	Exterior walls, selected locations	H Cedar Woodtone Fiber cement plank soffit
D Cedar	Woodtones Fiber cement siding	Woodtone 'Old Cherry'	Exterior walls, selected locations	I Combed Spruce Trim Boards Black
E Silver	Starline Vinyl	Clear anodized aluminum	Double glazed Vinyl windows & doors	J Doors Black
F Black	Lindahl	to match "I" Hardie Trim Boards	Pre-finished Aluminum Railing c/w Clear Safety Glass	K Charcoal HardiePanel Siding Smooth texture on Easy Trim Garage Doors Lt. Gray
				L Infill Panels Lt. gray
				M C/w glazing as shown on door schedule

ANTHEM PROPERTIES

GEOGRAPHY

2404 *Environ Chem Lett* (2006) 14:2399–2404

[1111LE]

BOILING & ELEVATIONS

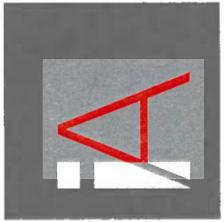
16392

October 17, 2018 [DATE]

12 - DP Resubmission (Issue)

(DRAWING)

DP 18-822484



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[PROJECT TEAM]

[CLIENT]
ANTHEM PROPERTIES
[PROJECT]

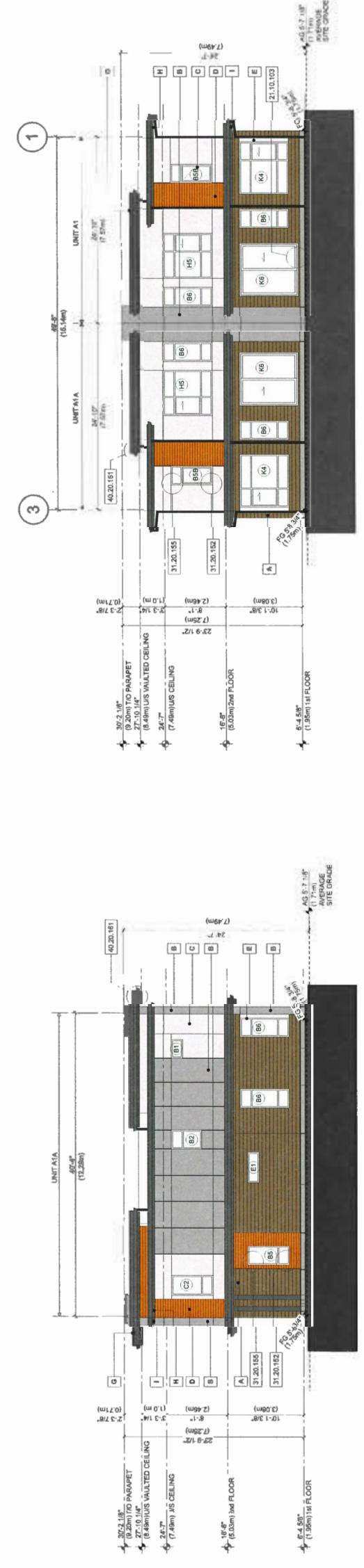
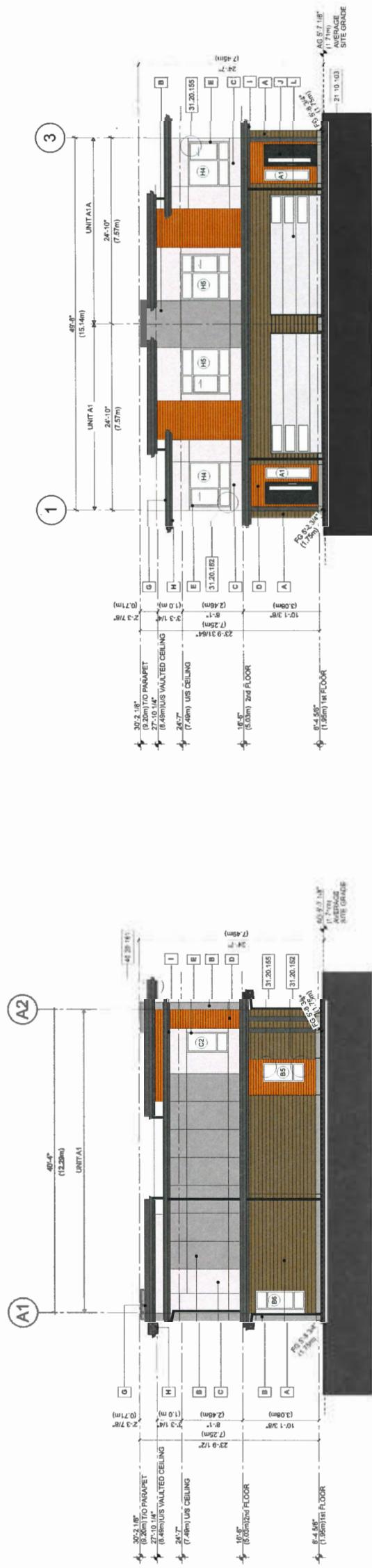
GEORGIA
5191-5351 Stevenson Hwy
Richmond, BC

[PROJECT]
BUILDING 5 ELEVATIONS
16392 [SCALE]
1'0" = 1'-0"

[DATE]
October 15, 2018
12 - DP Resubmission [ISSUE]

[DRAWING]
DP 18-822484 [DRAWING]

A-2.052



MATERIAL AND COLOUR LEGEND

Colour	Manufacturer	Reference No.	Elements
A Brown	Handle Plank Lap Siding ColorPlus	Timber Bark	Handle lap siding - 6" exposure
B Dk. Gray	HandlePanel Siding Select cedar/mill texture on Easy Trim	Benjamin Moore Trout Gray	Exterior walls, selected locations
C Lt. Gray	HandlePanel Siding Smooth texture, 6" exposure on Easy Trim	Benjamin Moore Gull Wing Gray	Exterior walls, selected locations
D Cedar	Woodtone Fiber cement siding	Woodtone Old Cherry'	Exterior walls, selected locations
E Silver	Stainline Vinyl	Cleat shiplap aluminum	Double glazed vinyl windows & doors
F Black	Lindahl	To match 1/4" HardieTrim Boards	Pre-finished Aluminum Railing
G			1/8" Clear Safety Glass
H			Charcoal/
I			HardiePanel Siding Smooth texture on Easy Trim
J			Doors
K			Charcoal/
L			Garage Doors

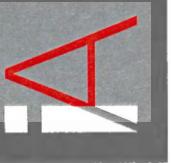
NOV 06 2018
PLAN A4K

DP 18-822484

AG 87.7 18'
AVERAGE
SITE GRADE

[ARCHITECT SEAL]

1771481

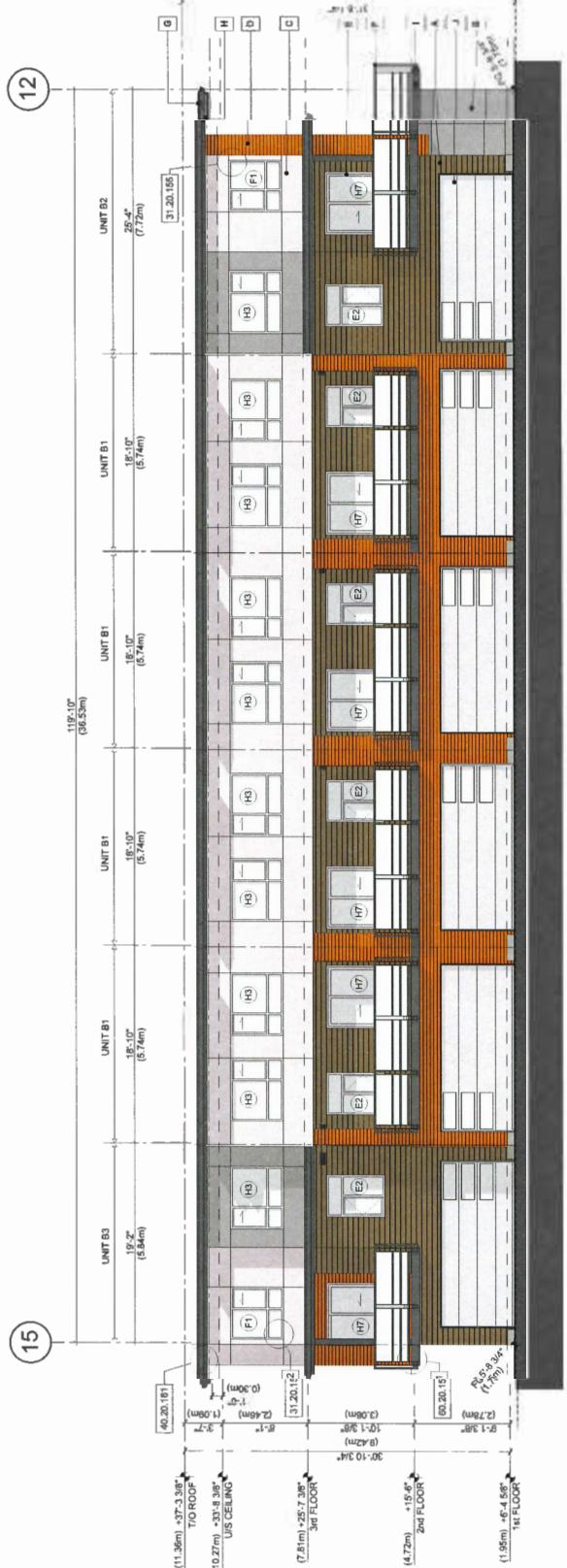
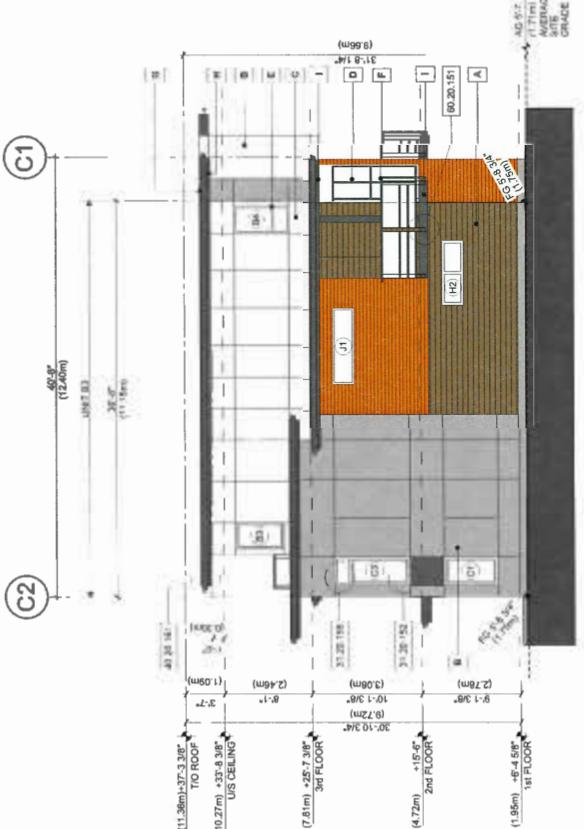
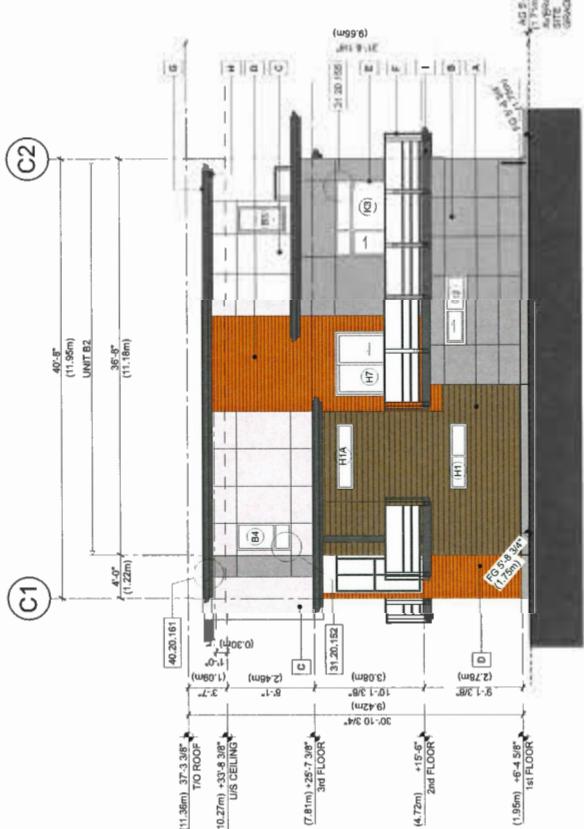


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USLO 961-4011
[PROJECT TEAM]

[PROJECT TEAM]



MATERIAL AND COLOUR LEGEND

Colour	Manufacturer	Reference No.	Elements
A	Brown	Hardie Plank Lap Siding ColorPlus	Timber Bark
B	Blk. Gray	Select cedar/mill texture	Exterior walls, selected locations
C	Lt. Gray	HardiePanel Siding Smooth texture on Easy Trim	Exterior walls, selected locations
D	Cedar	Woodline Fiber cement siding	Exterior walls, selected locations
E	Silver	Starline Vinyl	Double glazed vinyl windows & doors
F	Black	Lindal	to match 1st HardieTrim Boards

[PROJECT]

ANTHEM PROPERTIES
GEORGIA

5191-5351 Steeveson Hwy
RICHMOND, BC

[TITLE]
BUILDING 6 ELEVATIONS

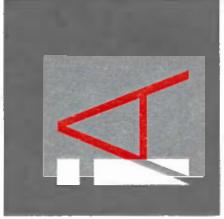
[PROJECT]
16392
1/8" = 1'-0"
October 17, 2018
12 - DP Resubmission

[SCALE]
[DATE]
[ISSUE]
[DRAWING]

A-2.063

PLAN # 4L NOV 06 2018

DP 18-822484



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CORPORATE REGISTERED T.S. NUMBER:
AIC # A1, FIPS FORM 15-1
INTEGA - ARCHITECTURE INC. NO. 2 15407
USPS 901-0117

[PROJECT TEAM]

[ARCHITECT SEAL]

ANTHEM PROPERTIES

[CLIENT]

[PROJECT]

GEORGIA

519-1-351 Sieveson Hwy

RICHMOND, BC

TITLE

BUILDING 7
ELEVATIONS

16392

18" = 1'-0"

SCALE

October 15, 2018

DATE

12 - DP Resubmission

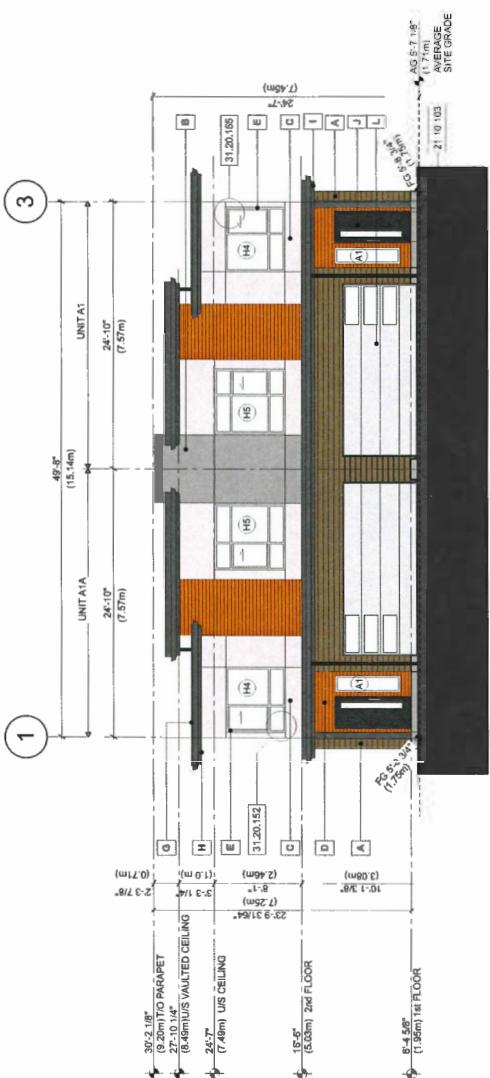
ISSUE

DRAWING

A-2.072

DP 18-822484

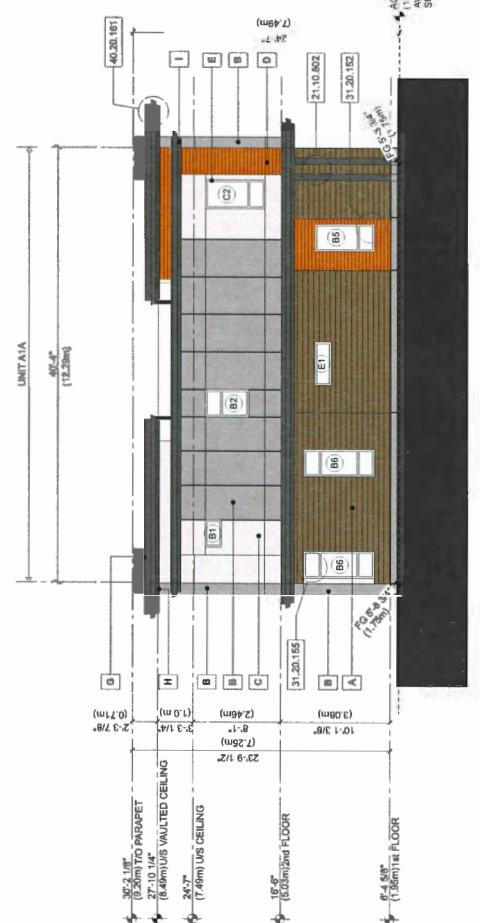
PLAN # 4W



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

MATERIAL AND COLOUR LEGEND

Colour	Manufacturer	Elements
A	Brown	Handle Panel Lap Siding Smooth texture, 6" exposure
B	Dk. Gray	HandlePanel Siding Select cedar/mill texture on Easy Trim
C	Lt. Gray	HandlePanel Siding Smooth texture on Easy Trim
D	Cedar	Woodtone Fiber cement siding
E	Silver	Siding Vinyl
F	Black	Lindahli
G	Black	Malinik Metals Ltd.
H	Cedar	Woodtone Fiber cement plank soffit
I	Black	Combed Spruce Trim Boards
J	Black	Doors
K	Charcoal	Hardiplan Panel Siding Smooth texture on Easy Trim
L	Lt. Gray	Gauge Doors

Colour to match...	Reference No.	Elements
Brown	Handle Panel Lap Siding	Timber Bark
Dk. Gray	HandlePanel Siding	Exterior walls, selected locations
Lt. Gray	HandlePanel Siding	Exterior walls, selected locations
Cedar	Woodtone Fiber cement siding	Exterior walls, selected locations
Silver	Siding Vinyl	Double glazed vinyl windows & doors
Black	Lindahli	Pre-finished Aluminum Railing dw Clear Safety Glass

[CLIENT]

[PROJECT]

[TITLE]

16392

18"

= 1'-0"

SCALE

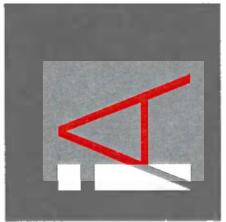
October 15, 2018

DATE

12 - DP Resubmission

ISSUE

DRAWING

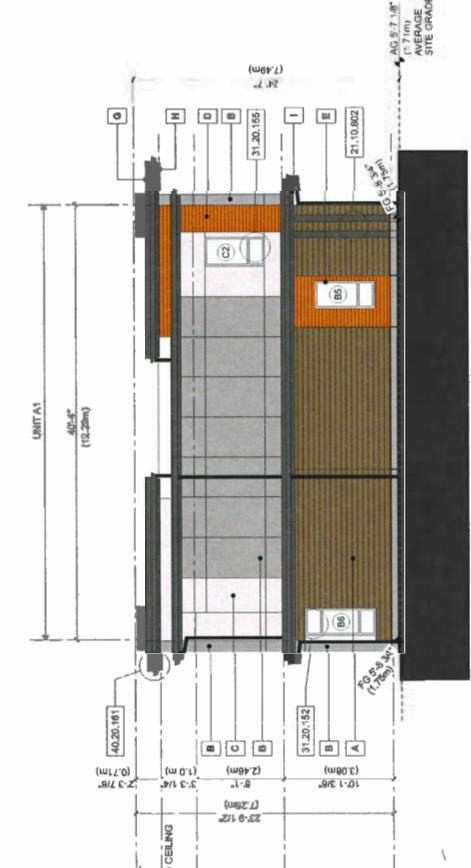


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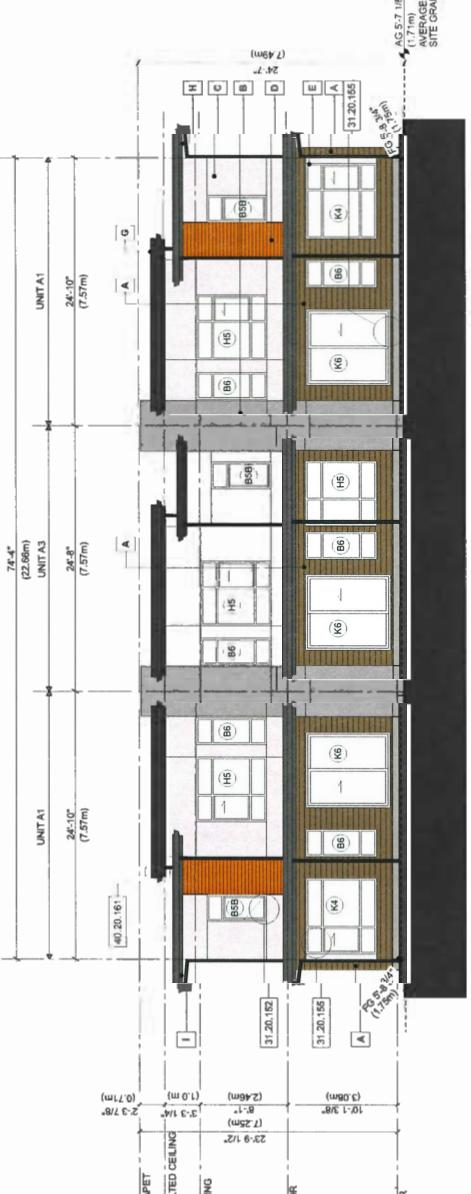
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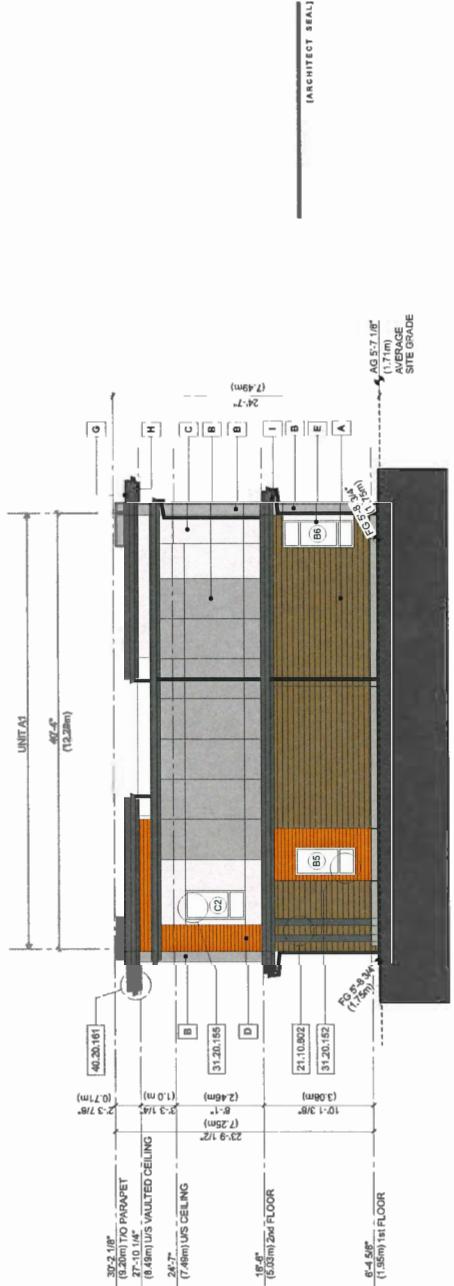
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

MATERIAL AND COLOUR LEGEND

Colour	Manufacturer	Reference No.	Elements	Colour to match...
Brown	Hurdle Panel Lap Siding	Timber Bark	Hurdle lap siding - 6" exposure	
A	CobPlus		Exterior walls, selected locations	Malin Metals Ltd.
Dr. Grey	Hurdle Panel Siding	Benjamin Moore	Woodtone	PVD Matte Black
B	Smooth texture, 6" exposure	Trout Gray	Fiber cement plank soffit	Pre-finished steel flashings and downspouts
Lt. Grey	Selected cedar mill texture	Benjamin Moore	Woodtone	
C	on Easy Trim	Gulf Ning Gray	Old Cherry	
D	HurdlePanel Siding	2124-60	Combed Spruce Trim Boards	Roof overhangs & balconies soffit
Cedar	Smooth texture	Woodtone	Black Knight 2136-10	
E	on Easy Trim	Old Cherry'	Benjamin Moore	Balcony, Roof Fascias & Supporting Columns
Silver	Starline Vinyl	Chair anodized aluminum	Black	Entry & Service Doors
Black	Lindahl	Double glazed vinyl windows & doors	J	
F		To match 1" HurdleTrim Boards	K	DoublePanel Siding
		c/w Clear Safety Glass	L	Iron Gray
				Infill Panels
				Grey
				Gauge doors

ANTHEM PROPERTIES
[CLIENT]
[PROJECT]

GEORGIA

5191-5351 Steeveson Hwy
RICHMOND, BC

BUILDING 8
ELEVATIONS
[TITLE]

16392
1/8" = 1'-0"
October 15, 2018
12 - DP Resubmission
[DATE]
[ISSUE]

16392
1/8" = 1'-0"
October 15, 2018
12 - DP Resubmission
[DATE]
[ISSUE]

16392
1/8" = 1'-0"
October 15, 2018
12 - DP Resubmission
[DATE]
[ISSUE]

16392
1/8" = 1'-0"
October 15, 2018
12 - DP Resubmission
[DATE]
[ISSUE]

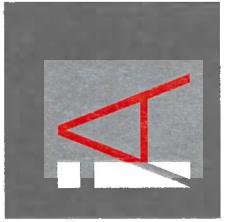
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1/8" = 1'-0"
October 15, 2018
12 - DP Resubmission
[DATE]
[ISSUE]

A-2.082
[DRAWING]

DP 13-822484
[DRAWING]

NOV 06 2018
PLAN # 4N

DP 13-822484
A-2.082



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SOUTH ELEVATION

WEST ELEVATION



NORTH ELEVATION

EAST ELEVATION

MATERIAL AND COLOUR LEGEND	
Colour	Manufacturer
Brown	HARDIE Panel Lap Siding ColorPlus
Dk. Gray	HARDIEPanel Siding Smooth texture, 6" exposure Select cedar/mill texture on Easy Trim
Lt. Gray	HARDIEPanel Siding Smooth texture on Easy Trim
Cedar	Woodtone Fiber cement siding
Silver	Stateline Vinyl
Black	Lindahl
A	Timber Bark
B	Benjamin Moore Trout Gray
C	Benjamin Moore Gull Wing Gray
D	Woodtone 'Old Cherry'
E	Clear anodized aluminum
F	to match 'H Hardie Trim Boards

MATERIAL AND COLOUR LEGEND

GEORGIA

卷之三

519-1-5351 Steveston Hwy
RICHMOND, BC

卷之三

TITLE

BUILDING 9

ELEVATIONS

16392 PROJECT

[6 CALE]

11475

October 17, 2018

12 - DP Resubmission [ISSUE]

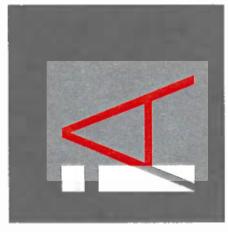
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DIAG # 10 NOV 06 2018

DIAG # 10 NOV 06 2018

DP 18-822484



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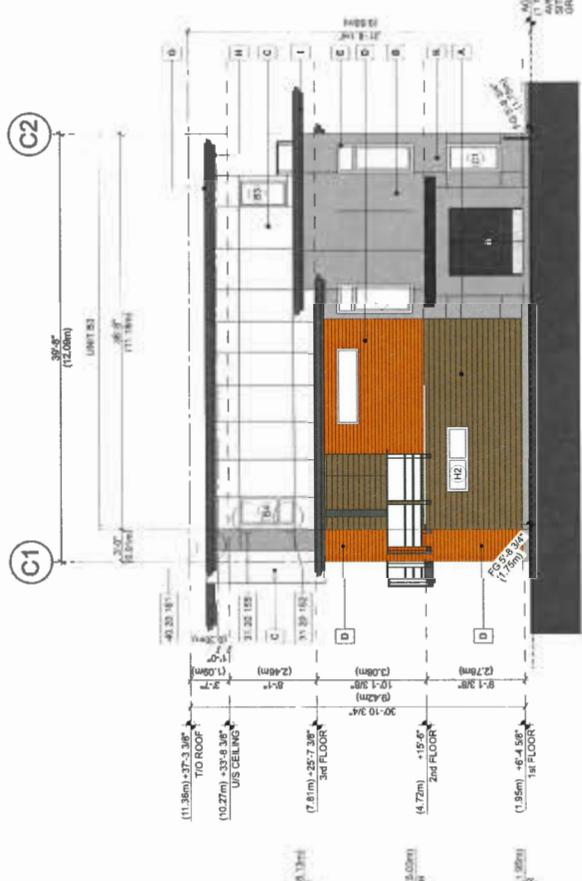
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T: 604.688.4220 F: 604.688.4221

PROJECT TEAM



MATERIAL AND COLOUR LEGEND

Colour	Manufacturer	Reference No.	Elements
A Brown	Hordie Plain Lap Siding	Timber Bark	Horizontal lap siding - 6" exposure
B Dark Gray	ColorPlus	Smooth texture, 6" exposure	Exterior walls, selected locations
C Light Gray	Hardiplank Siding	Select cedar grain texture on Easy Trim	Exterior walls, selected locations
D Cedar	Hardiplank Siding	Smooth texture on Easy Trim	Exterior walls, selected locations
E Silver	Woodtone	Fiber cement siding	Walls, soffit
F Black	Lindah	Clear anodized aluminum	Combination trim boards

G Block	Malin Metals Ltd.	PVD Matte Black	Pre-finished steel fascia and downspouts
H Cedar	Woodtone	Fiber cement plank soffit	Ridge overhangs & balconies soffit
I Block	Combined Spruce Trim Boards	Benjamin Moore Black Knight 2136-10	Balcony, Roof Fascias & Supporting Columns
J Block	Doors	Black	Entry & Service Doors
K Chisel	HandiPanel Siding Smooth texture on Easy Trim	Iron Gray	Wall Panels
L Gray	Double glazed vinyl windows & doors	Light Gray	Door glazing as shown on door schedule

ANTHEM PROPERTIES

5191-5351 Steeleson Hwy
RICHMOND, BC

[TITLE]

16392

[SCALE]

1/8" = 1'-0"

[DATE]

October 15, 2018

[ISSUE]

12 - DP Resubmission

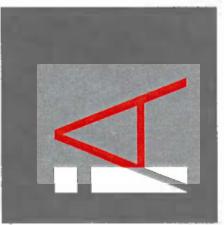
BUILDING 12 ELEVATIONS

[DRAWING]

A-2.123

PLAN #4P NOV 06 2018

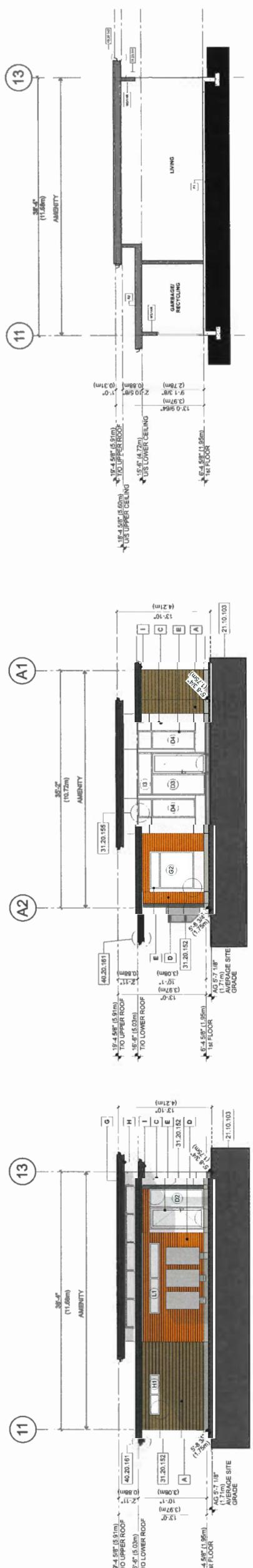
DP 18-822484



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T S DAWSON ADG BIA A
CAMPBELL J A T SIA U SIA
SHAW D A TUE SIA U SIA
HEDDERICK M TUE SIA U SIA
MCLELLAN R WED SIA U SIA
MCNAUL K WED SIA U SIA
MCNAUL K WED SIA U SIA

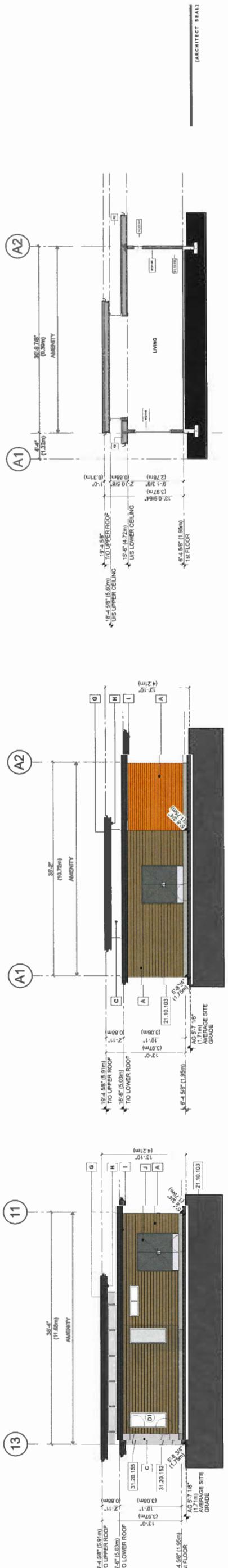
[PROJECT TEAM]



SOUTH ELEVATION

EAST ELEVATION

SECTION A-A



NORTH ELEVATION

WEST ELEVATION

SECTION B-B

MATERIAL AND COLOUR LEGEND	
Colour	Manufacturer
A Brown	Hardie Plank Lap Siding ColorPlus Smooth texture, 6" exposure
B Dk. Gray	HardiePanel Siding Select cedar/mill texture on Easy Trim
C Lt. Gray	HardiePanel Siding Smooth texture on Easy Trim
D Cedar	Woodtone Fiber cement siding
E Silver	Starline Vinyl
F Black	Lindahl

Colour to match... Reference No.

G	Makin Metals Ltd.	PVD Matte Black	Pre-finished steel fascia's and downspouts
H	Woodline Fiber cement plank soffit	Woodline 'Old Cherry'	Rod on eaves & balconies soffit
I	Combed Spruce Trim Boards	Benjamin Moore Black Knight 2136-10	Balcony, Rod Fascias & Supporting Columns
J	Doors	Black	Entry & Service Doors
K	Charcoal	Hardie-Panel Siding Smooth texture on Easy Trim	Infill Panels
L	Garage Doors	Iron Gray	C/w glazing as shown on door schedule
M	Lt. Gray	Lt. gray	

ANTHEM PROPERTIES

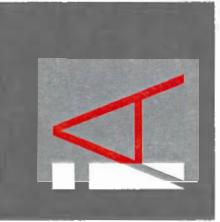
[PROJECT]

GEORGIA

5191-5351 Steveston Hwy
RICHMOND, BC

[TITLE]	[PROJECT]
AMENITY BUILDING	[SCALE]
ELEVATIONS & SECTIONS	[DATE]
	[ISSUE]
16392	1/8" = 1'-0"
	October 15, 2018
	12 - DP Resubmission

[CONTINUED]



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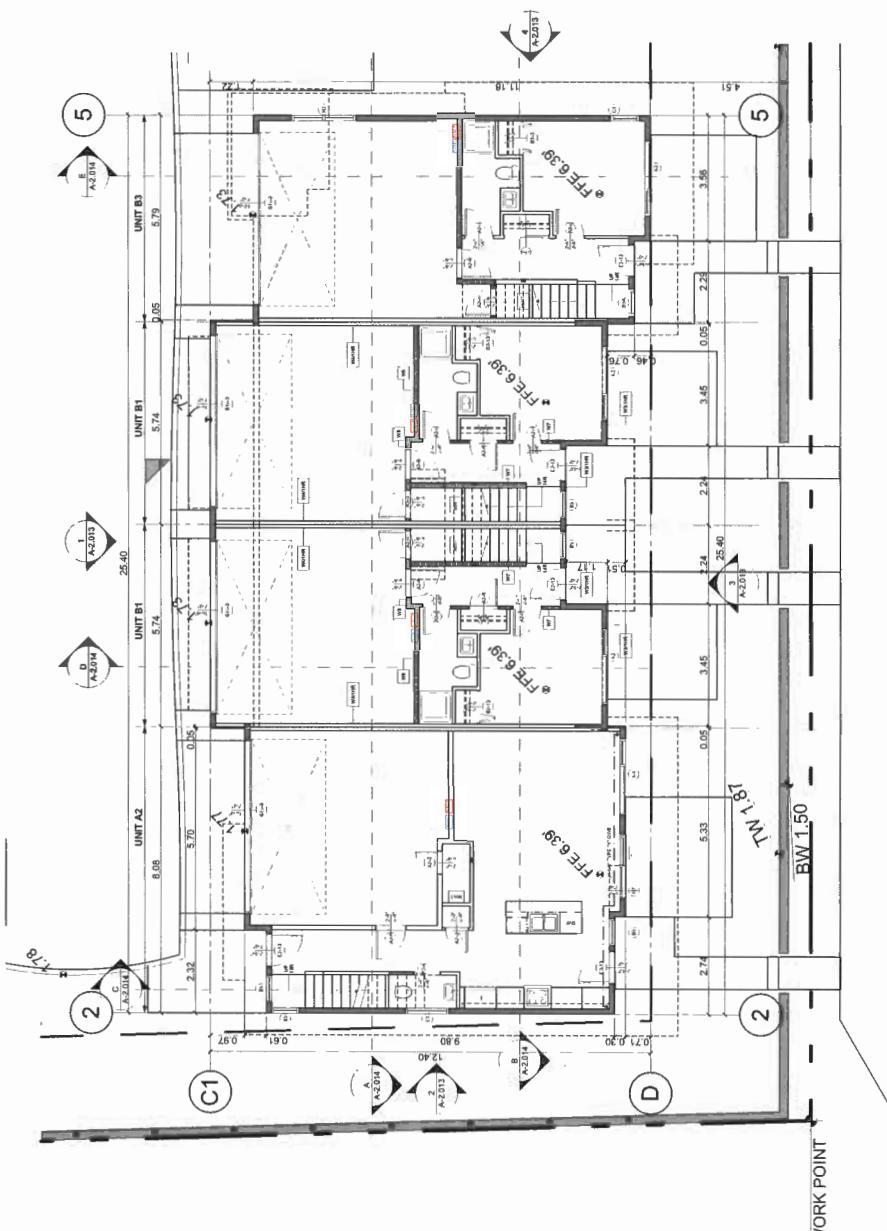
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SYMBOLS AND LEGENDS:

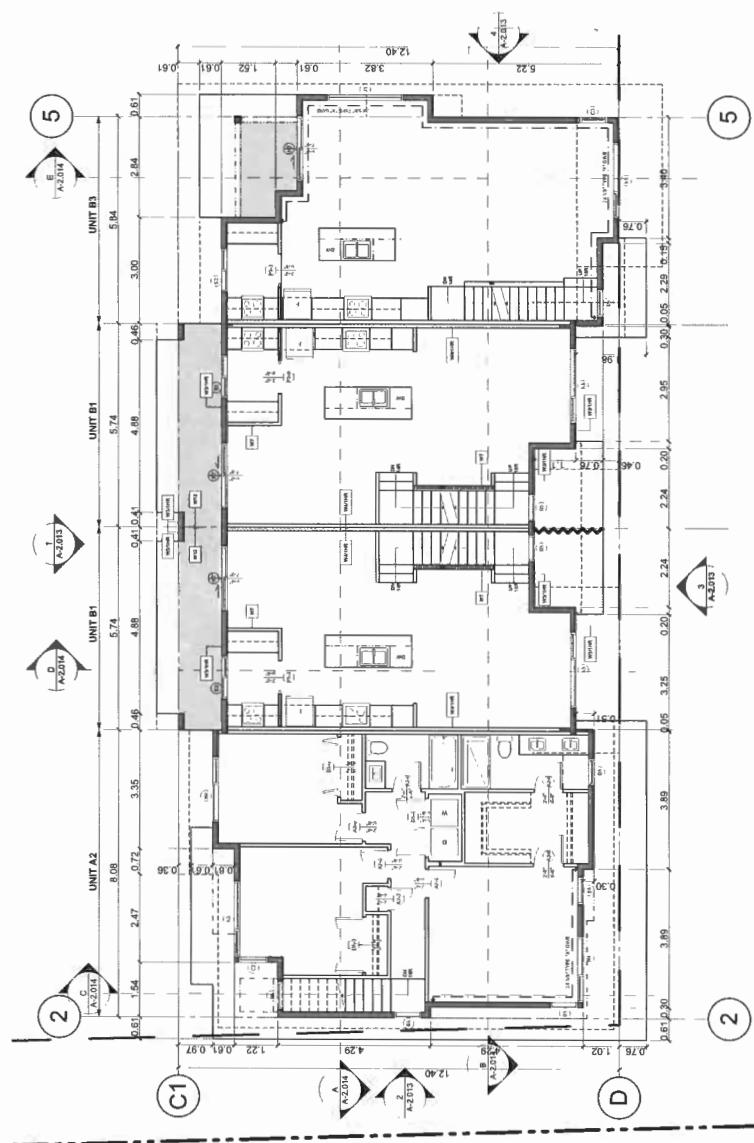
1. REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING WALLS AND SHEAR WALLS.
2. REFER TO UNIT PLAN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF INTERIOR LOAD-BEARING PARTITIONS.
3. DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
4. ALL ALUMINUM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2 1/2' CEILING HEIGHT).
5. SEE INTERIOR CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES.
6. PROVIDE UNIFORMLY DISTRIBUTED UNBLOCKED VENTILATION @ FLAT ROOFS - MIN 1/160 OF INSULATED CEIL AREA.
7. PROVIDE UNIFORMLY DISTRIBUTED UNBLOCKED VENTILATION @ SLOPED ROOFS - MIN 1/800 OF INSULATED CEILING AREA.
8. VENTS SHALL BE ON OPPOSITE SIDES OF THE BUILDING THAT LEAST 50% OF THE REQUIRED VENTILATION IS LOCATED AT THE BOTTOM OF THE SPACE.
9. PROVIDE ONE ATTIC ACCESS HATCH PER EACH CONCEALED ATTIC SPACE. MORE THAN ONE HATCH IS TO BE PROVIDED IF THE ATTIC IS OVER 1000 SQ.FT. AND MAX HATCH SIZE IS 36" X 48". HATCHES ARE TO BE LOCATED IN THE CENTER OF THE ATTIC SPACES. HATCHES ARE TO BE PROVIDED IN THE ATTIC SPACES AS SHOWN IN THE ATTIC UNIT (IT-17 # 2 & IT-18 # 12). WHEN FURNISHING A
10. PROVIDE FIRE SEPARATIONS CONTINUOUS TO THE UNDER SIDE OF ROOF LOCATIONS. NO FRAMING OR TRIM MEMBERS ARE TO PENETRATE FIRE LOCATIONS.
11. PROVIDE FIRE BLOCKS AS PER 9.10.16. NO GROUT OR CONCRETE SPACES, BALCONIES, ROOF PROJECTIONS, & ROOF SPACES WITHIN COMPARTMENTS.
12. PROVIDE FIRE BLOCK MATERIALS AS PER 9.10.16.3.
0.38MM (.015") THICK EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR OSB 2 LAYERS OF 3/4" LUMBER (WITH STaggerED JOISTS), OR 1 1/2" THICK LUMBER. FIRE PADS FOR ALL PENETRATIONS OF FIRE BLOCKS.
13. REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR PLANTINGS AND LAWNS. RETAINING WALLS SUBLIMATE PATIOS AND EGRADING.
14. REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SURFACES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.

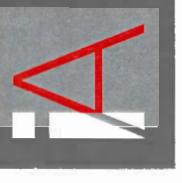
GEORGIA	[TITLE]	[PROJECT]	[SCALE]	[DATE]	[ISSUE]
519-1-5351 Sieveston Hwy RICHMOND, BC	BUILDING 1 - 1st & 2nd FLOOR PLANS	16392	1:50"	October 17, 2018	12 - DP Resubmission

A-2.011
[DRAWING]



1st FLOOR





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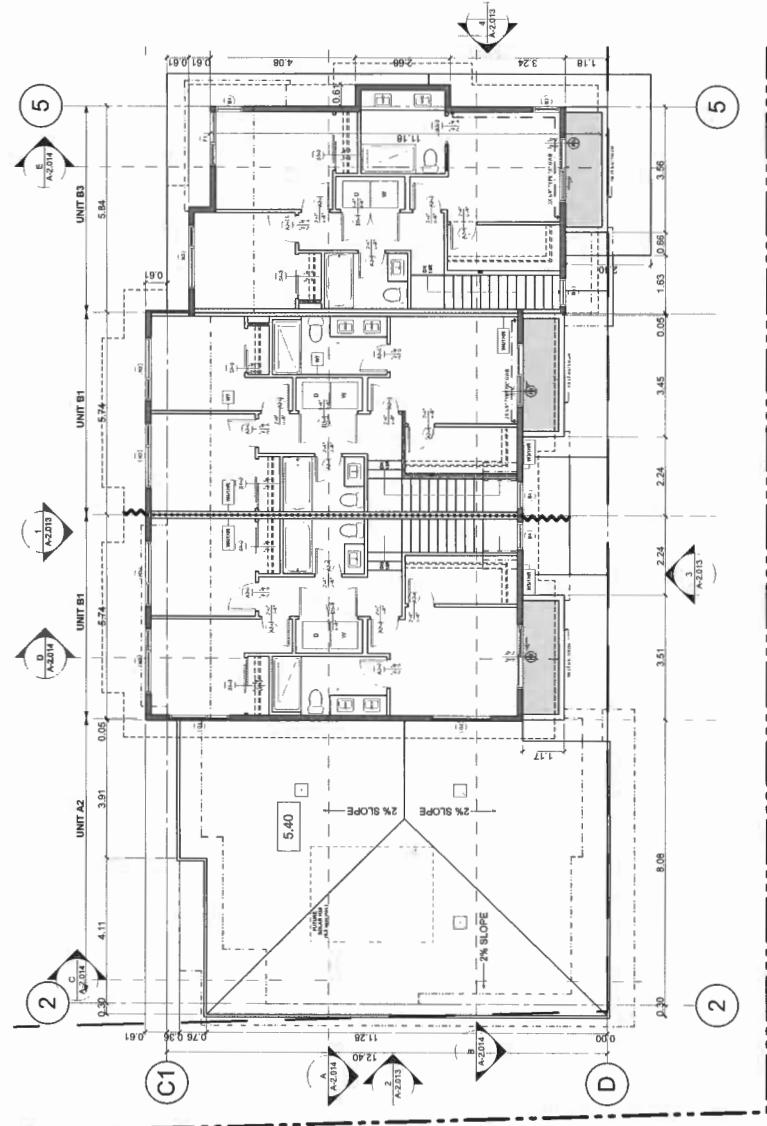
[PROJECT TEAM]

SYMBOLS AND LEGENDS:

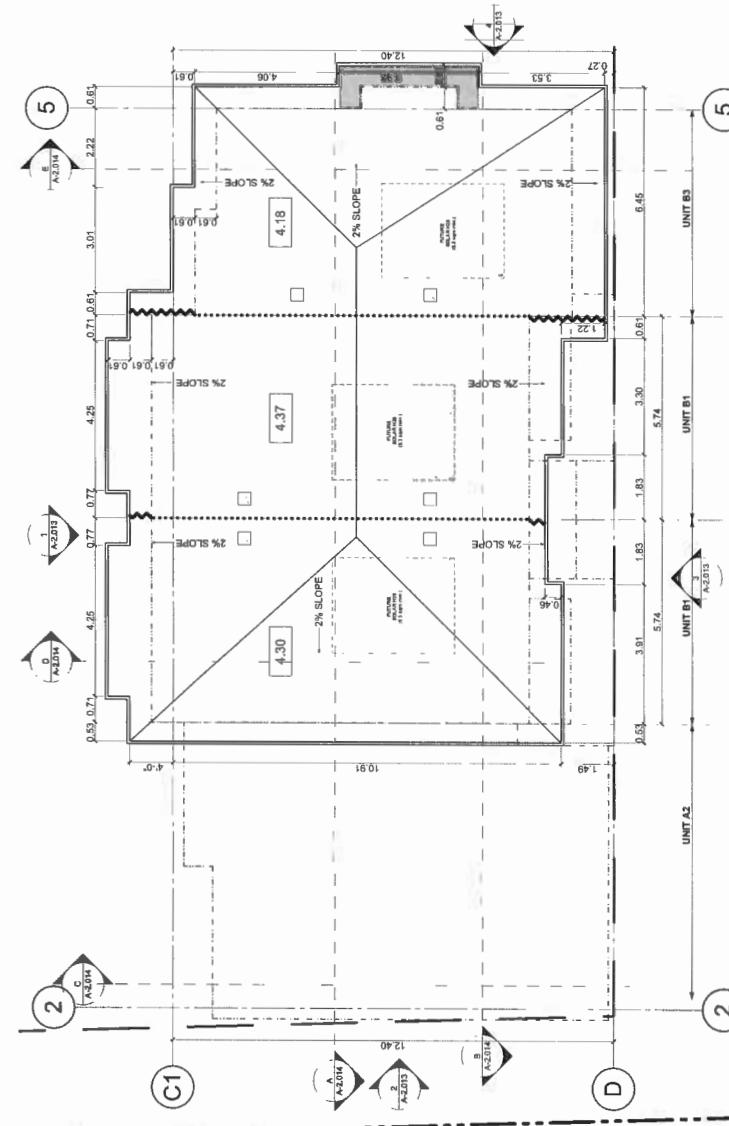
—W20m	INDICATES WALL TYPE/WALL RATING (HR)
— CONCRETE BLOCK WALL	
— CONCRETE WALL	
— EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING	
— PARTY WALL - 1 HOUR FIRE RESISTANCE RATING	
— INTERIOR WALL	
— LOAD BEARING WALL - 1 HOUR FIRE RESISTANCE RATING	
— INTERIOR INSULATED WALL	
— UPSTAND WALL OR LANDSCAPE - NOT FULL HEIGHT	
— SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING	
— CONCRETE COLUMN	
..... FIRE SEPARATIONS TO UNDERSIDE ROOF SHEATHING	
— FIRE BLOCKING	
6.18 MINIMUM SQUARE FEET OF ATTIC / ROOF VENTILATION OF FREE AIR AREA (1.03 SF)	
— VAULTED CEILING ABOVE	
— DROPPED CEILING ABOVE	
— ROOF ACCESS HATCH ABOVE	
— Rain Water Leader	
— Square Hot Water Conduit to Roof (Cap Both Ends) SEE MECH DWARFS	
— Through Wall Flashing	
— Property Line	
— Seabaseline	
— Building Elements Above	
— Building Elements Below	
— Building Elements Beyond	
— Unventilated Roof Assembly (SEE 30.201 DETAIL)	

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[PROJECT TEAM]



3rd FLOOR



ROOF PLAN

REFERENCE PLAN

KEY PLAN

NOV 06 2018



5

2

1

4

6

7

8

10

11

12

13

GEORGIA
5191-5351 Steeple Hwy
RICHMOND, BC

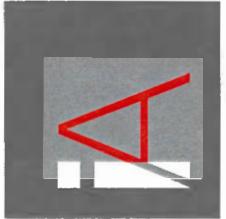
[PROJECT]

BUILDING 1 - 3rd & 4th FLOOR PLANS

16392 [TITLE]
1/8" = 1'-0" [SCALE]
October 15, 2018 [DATE]
12 - DP Resubmission [ISSUE]
[DRAWING]

A-2.012

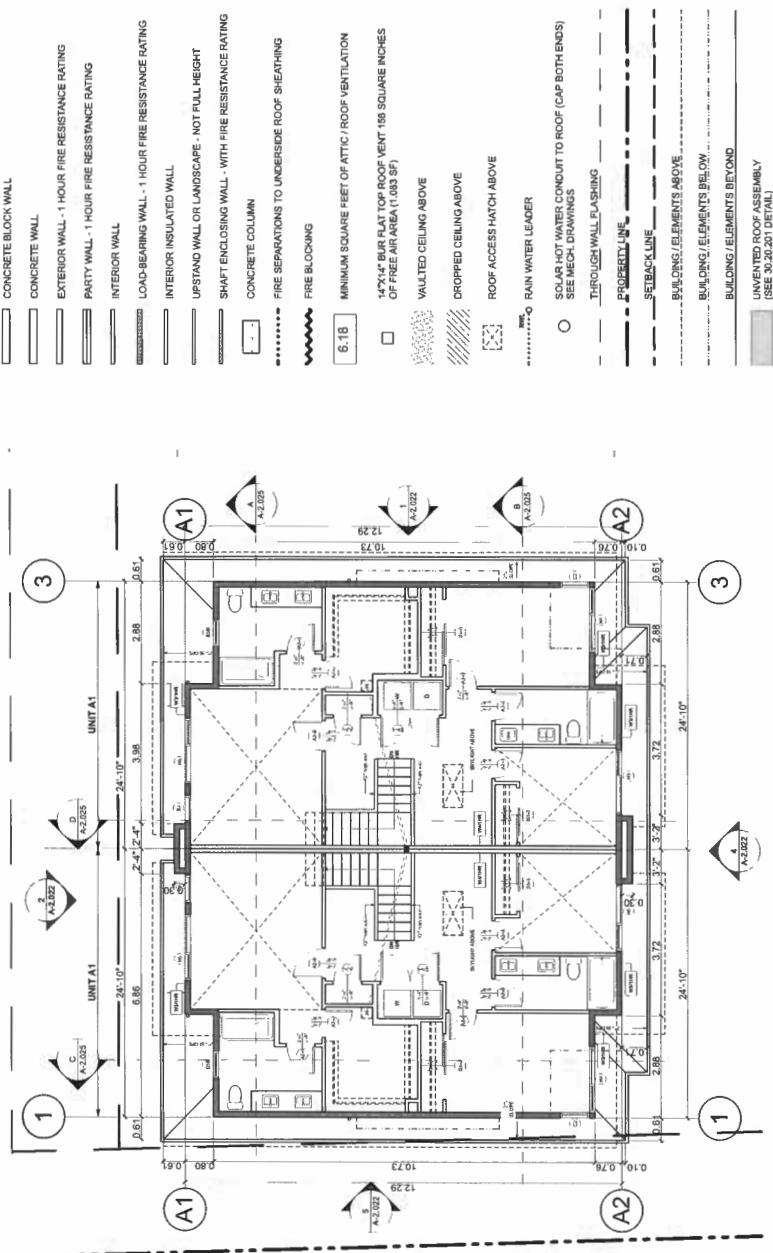
DP 18-822484



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1st FLOOR

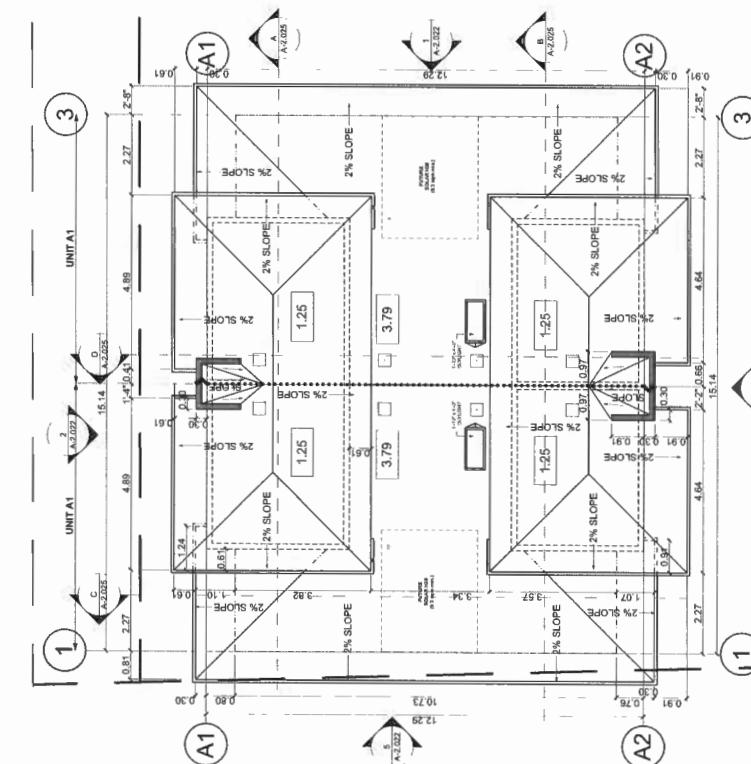
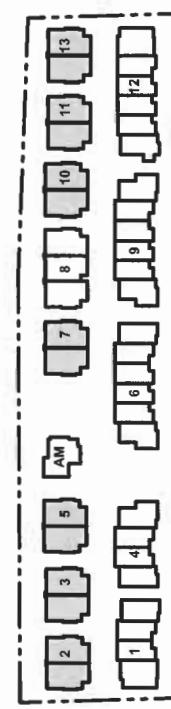
2nd FLOOR

1. REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING PARTITIONS AND SHEAR WALLS.
2. REFER TO UNIT PLAN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF INTERIOR LOAD-BEARING PARTITIONS.
3. DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
4. ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2.1m CEILING HEIGHT).
5. SEE INTERIOR CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES.
6. PROVIDE UNIFORM INSTRIBUTED UNOBSTRUCTED VENTILATION @ FLAT ROOF (MIN 1/160 OF INSULATED CEILING AREA).
7. PROVIDE UNIFORM INSTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED ROOF (MIN 1/160 OF INSULATED CEILING AREA).
8. VENTS SHALL BE ON OPPOSITE SIDES OF THE BUILDING WITH AT LEAST 50% OF THE TOTAL NUMBER OF VENTS LOCATED ON THE SIDE OF THE BUILDING NOT REQUIRED FOR EXHAUST VENTILATION.
9. PROVIDE ONE ATTIC ACCESS HATCH FOR EACH CONCEALED ATTIC SPACE (MORE THAN 2.4m²) AS PER BC 2017 (19.2.12) WHEN SERVING A MAIN AREA OF 12.00 m² AS PER BC 2017 (19.2.12) WHEN SERVING A SINGLE DWELLING UNIT (11.07 x 22.27).
10. PROVIDE FIRE SEPARATIONS CONTINUOUS TO UNDERSIDE OF ROOF SHEATHING AT ALL PARTY WALL CORRIDOR WALL EXIT STAIR & SHOWER LOCATIONS. NO FRAMING OR TRUSS MEMBERS ARE TO PENETRATE FIRE COMPARTMENTS.
11. PROVIDE FIRE BLOCKS AS PER B10.16. BRCG AT ALL CONCEALED SPACES, BACKWALLS, ROOF PITCHFACADES, AND OTHER SPACES NOT IN FIRE COMPARTMENTS.
12. PROVIDE FIRE BLOCK MATERIALS AS PER B10.16.3. 0.38mm SHEET STEEL, 1/2" EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR OSB, 2 LAYERS OF 1" X 4" LUMBER WITH STRAIGHT JOINTS, OR 1 1/2" THICK LUMBER. THE STOP ALL FIRE BLOCKS ARE TO BE 100% FILLED WITH FIRE BLOCKING.
13. REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR FENCING AND LAWN RETAINING WALLS SIDEWALK PATIOS PLANTERS AND FENCING.
14. REFER TO THE DOORS AND ANTI-SLIP SURFACE DRAWINGS FOR DOOR CUT OUTS AND DOOR SWINGS AND THE DESIGN OF DOOR ALARMS, CURB CUTS, AND DOOR SWINGS.
15. REFER TO THE ACoustICAL REPORT FOR THE SPECIFICATIONS FOR WINDOW AND WALL DESIGN.

REFERENCE PLAN

NOV 06 2018

KEY PLAN



ROOF PLAN

BUILDINGS
2,3,,10,11, & 13
FLOOR PLANS

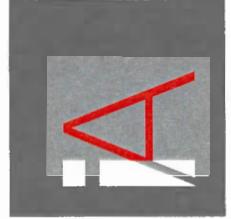
16392
1/8" = 1'-0"
October 15, 2018
12 - DP Resubmission
[PROJECT]
[TITLE]
[DATE]
[ISSUE]

5191-5351 Steveston Hwy
Richmond, BC

GEORGIA

DP 18-822484

A-2.021
[DRAWING]
[PROJECT]



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CAPTION: I.R. = INTEGRATED ROLLING SYSTEM; T = THERMOPlastic; L = LINEAR; U = ULTRALIGHT; F = FIRE; C = CONCRETE
A = ALUMINUM; E = EXTERIOR; I = INSULATED; S = STAINLESS STEEL; G = GLASS; P = POLYCARBONATE; M = METAL; D = DURAFLEX
UH-3 = ULTRA HIGH; ECF = EXTERIOR; ICF = INSULATED; LFE = LINEAR; CCF = CONCRETE
[PROJECT TEAM]

N

SYMBOLS AND LEGENDS:

—W20nr	INDICATES WALL TYPE/WALL RATING (HR)
—CONCRETE BLOCK WALL	
—CONCRETE WALL	
—EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING	
—PARTY WALL - 1 HOUR FIRE RESISTANCE RATING	
—INTERIOR WALL	
—LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING	
—INTERIOR INSULATED WALL	
—UPSTAIR WALL OR LANDSCAPE - NOT FULL HEIGHT	
—SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING	
—CONCRETE COLUMN	
..... FIRE SEPARATIONS TO UNDERIDE ROOF SHEATHING	
~~~~ FIRE BLOCKING	
6-18 MINIMUM SQUARE FEET OF ATTIC / ROOF VENT 15% SQUARE INCHES OF FREE AIR AREA (140 SF)	
VAULTED CEILING ABOVE	
DROPPED CEILING ABOVE	
ROOF ACCESS HATCH ABOVE	
..... RAIN WATER EADER	
O SOLAR HOT WATER CONDUIT TO ROOF (CAP BOTH ENDS) SEE MECH. DRAWINGS	
— THROUGH WALL FLASHING	
— PROPERTY LINE	
— SETBACK LINE	
— BUILDING ELEMENTS ABOVE	
— BUILDING ELEMENTS BELOW	
— BUILDING ELEMENTS BEYOND	
UNVENTED ROOF ASSEMBLY (SEE 30.201 DETAIL)	

1. REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING HATCHES AND REAR WALLS.
2. REFER TO UNIT PLAN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF INTERIOR PARTITIONS.
3. DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
4. ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2.1 m CEILING HEIGHT).
5. SEE INTERIOR CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES.
6. PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ FLAT ROOFS; MIN 1/160 OF INSULATED CEILING AREA.
7. PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED ROOFS; MIN 1/200 OF INSULATED CEILING AREA.
8. VENT SHOWER OPENINGS LOCATED ON THE OUTSIDE OF THE SPACE, AND AT LEAST 25% OF REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE.
9. PROVIDE ONE ATTIC ACCESS HATCH PER EACH CONCEALED ATTIC SPACES, MORE THAN 2.7 m IN HEIGHT WITH ONE MINIMUM AREA OF 500mm² (17.734") AND A MIN AREA OF 0.32m² AS PER BCRC 2012 19.2(2) WHEN SERVING A SINGLE DWELLING UNIT (11.07 x 2.27).
10. PROVIDE FREE PARTITION CONTINUOUS TO UNDERSIDE OF ROOF SHEATHING ON ALL PARTITION WALLS, CORRIDOR WALL EXIT STAIR & SHAFT LOCATIONS. NO FRAMING OR TRUSS MEMBERS ARE TO PENETRATE FIRE COMPARTMENTS.
11. PROVIDE THREE BLOCKS PER LEVEL IN EACH ATTIC, ALL CONCRETE BLOCKS, 300mm HIGH, CHAIN BRACKETS, BALCONIES, ROOF PROJECTIONS, & ROOF SPACES WITHIN FIRE COMPARTMENTS.
12. PROVIDE FIRE BLOCK MATERIALS AS PER 9.10(1)(3). 0.38mm SHEET STEEL, 1/2" EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR OSB, 2MM THICK LUMBER THAT IS TOP NAILER, 1/2" THICK LUMBER, FIRE STOP AROUND ALL TYPES OF FIRE BOUNDARIES.
13. REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR FENCING.
14. REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROAD CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
15. REFER TO THE ACoustICAL REPORT FOR THE SPECIFICATIONS FOR WINDOW AND WALL DESIGN.

[PROJECT TEAM]

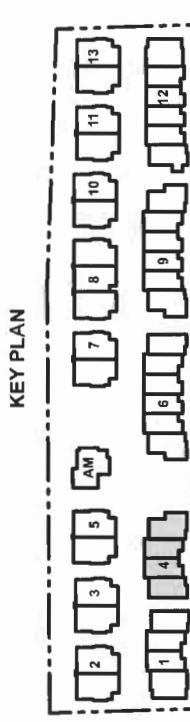
GEORGIA

5191-5351 Stevenson Hwy  
RICHMOND, BC  
[TITLE]  
BUILDING 4 - 1st  
& 2nd FLOOR  
PLANS  
[DRAWING]

16392 [PROJECT]  
1/8" = 1'-0"  
[SCALE]  
October 17, 2018  
[DATE]  
12 - DP Resubmission  
[ISSUE]

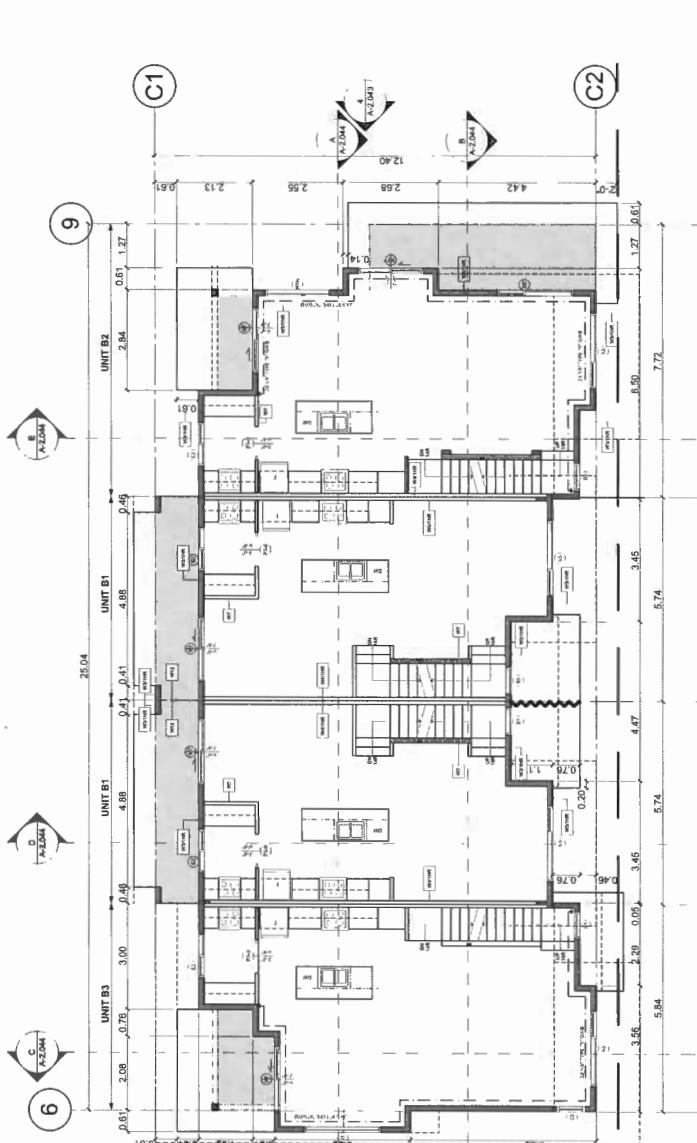
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REFERENCE PLAN  
KEY PLAN  
NOV 06 2018

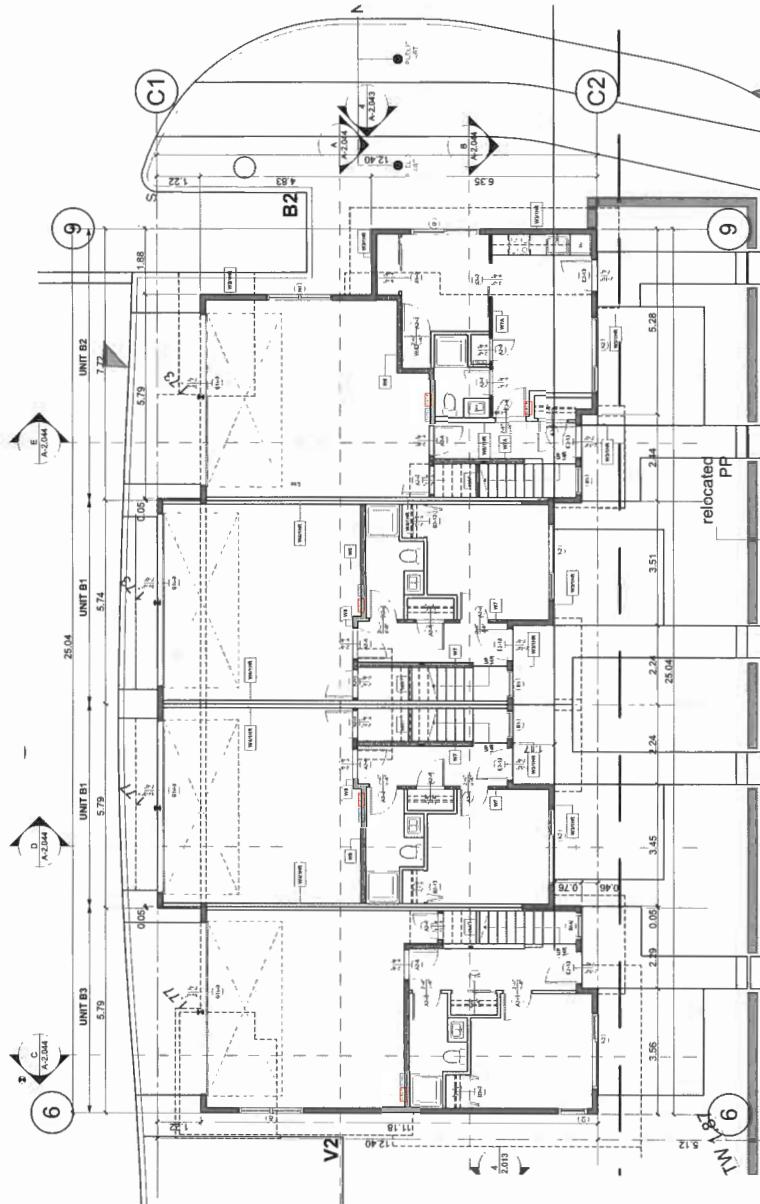


DP 18-822484

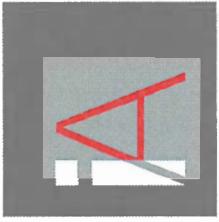
2nd FLOOR



1st FLOOR



A-2.041



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#### SYMBOLS AND LEGENDS:

[WALL]	INDICATES WALL TYPE/WALL RATING (HR)
[CONCRETE BLOCK]	CONCRETE BLOCK WALL
[CONCRETE]	CONCRETE WALL
[EXTERIOR]	EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING
[PARTY]	PARTY WALL - 1 HOUR FIRE RESISTANCE RATING
[INTERIOR]	INTERIOR WALL
[LOAD-BEARING]	LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING
[INSULATED]	INTERIOR INSULATED WALL
[UPSTAIR]	UPSTAIR WALL OR LANDSCAPE - NOT FULL HEIGHT
[SHFT]	SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING
[CONCRETE COLUMN]	CONCRETE COLUMN
[FIRE SEPARATION]	FIRE SEPARATIONS TO UPSIDE ROOF SHEATHING
[CEILING]	DROPPED CEILING ABOVE
[FIRE BLOCKING]	FIRE BLOCKING
[6.1B]	MINIMUM SQUARE FEET OF ATTIC / ROOF VENTILATION
[VENT]	1074" BUR PLAT ROOF VENT 156 SQUARE INCHES OF FREE AIR AREA (1.03 SF)
[WALLED]	WALLED CEILING ABOVE
[HATCH]	ROOF ACCESS HATCH ABOVE
[RDL]	RDL: RAIN WATER LEADER
[SEE MECH DRAWINGS]	SEE MECH. DRAWINGS
[THROUGH WALL FLASHING]	THROUGH WALL FLASHING
[PROPERTY LINE]	PROPERTY LINE
[SETBACK LINE]	SETBACK LINE
[BUILDING ELEMENT ABOVE]	BUILDING ELEMENT ABOVE
[BUILDING ELEMENTS BELOW]	BUILDING ELEMENTS BELOW
[BUILDING ELEMENTS BEYOND]	BUILDING ELEMENTS BEYOND
[UNVENTED ROOF ASSEMBLY]	UNVENTED ROOF ASSEMBLY (SEE 30.201 DETAIL)

[PROJECT TEAM]

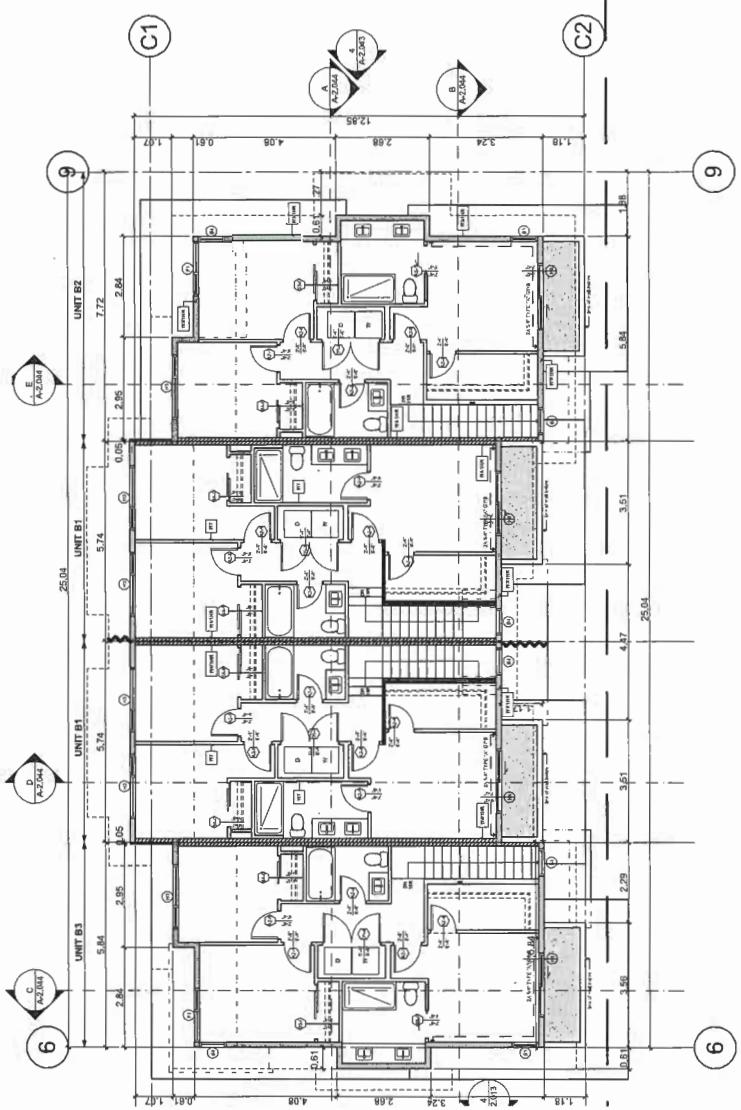


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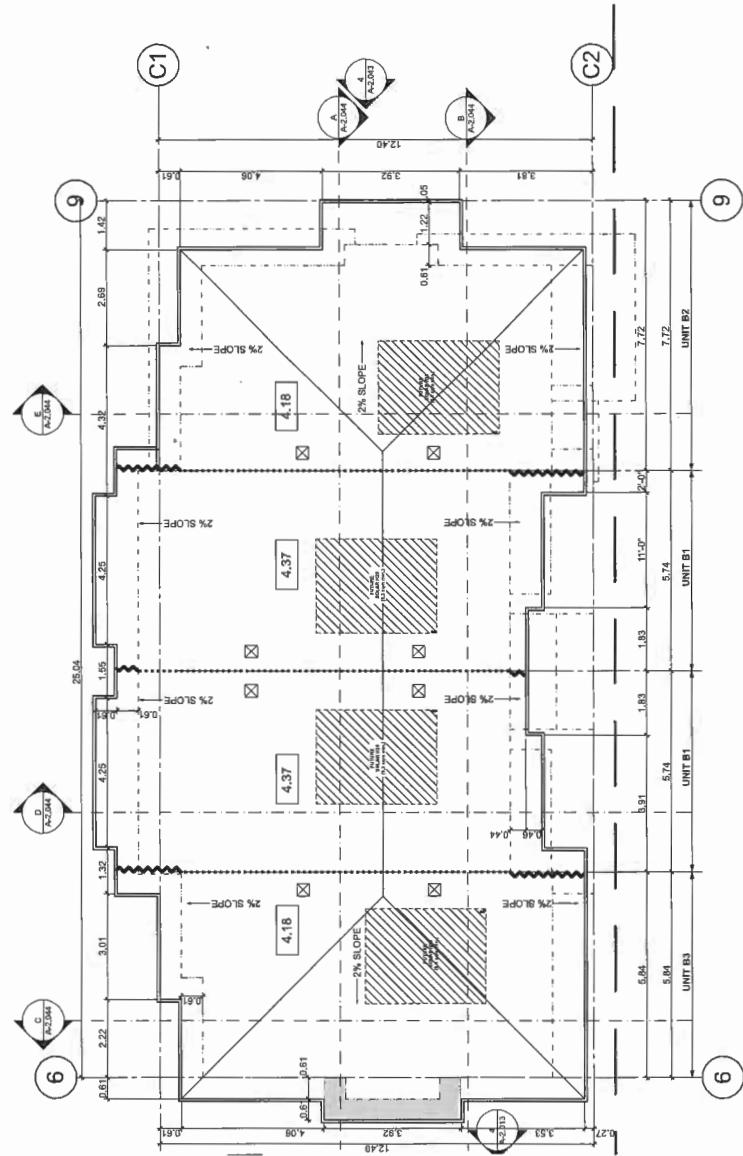
- REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING PARTITIONS AND SHEAR WALLS.
- REFER TO UNIT PLAN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATIONS OF INTERIOR LOAD-BEARING PARTITIONS.
- DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
- ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2.1 IN CEILING HEIGHT).
- SEE INTERIOR CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES.
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ 0.1 AT PROPS. MIN 1/100 OF INSULATED CEILING AREA.
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED CEILING AREA.
- VENTS SHALL BE PROVIDED ON OPPOSITE SIDES OF THE BUILDING, WITH AT LEAST 10% OF REQUIRED OPENINGS LOCATED AT TOP OF THE SPACE AND AT LEAST 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF THE SPACE.
- PROVIDE ONE ATTIC ACCESS (4'x7') PER EACH CONCEALED SPACE MORE THAN 2.0' IN HEIGHT WITH ONE MIN CLEAR FINISHED DIMENSION 800mm (1'7 3/4") AND A MIN AREA OF 2.0m² AS PER BCIC 8.19.2(1.2) WHEN SERVING A SINGLE DWELLING UNIT. (1'-0" x 2'-7")
- PROVIDE FIRE SEPARATIONS CONTINUOUS TO UPSIDE OF ROOF SHEATHING AT ALL PARTY WALL, CORRIDOR WALL, EXIT STAIR & SHAFT LUMBER PENETRATION LOCATIONS. MEMBERS ARE TO ELEVATE FIRE SEPARATION.
- PROVIDE FIRE BLOCKS AS PER 8.10.16.3. DRYWALL SHEETING IS REQUIRED 1/2" THICK, 1/2" X 1/2" TAPERED JOINTS, OR 1/2" THICK LUMBER. FIRE STOP ALL PENETRATIONS OF FIRE BLOCKING.
- REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR EXTERIOR GRADING AND LAYOUT RETAINING WALLS SIDEWALKS PATHS PLANTERS AND FENCING.
- REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB GUTTER, DRIVEWAYS, LOOPS, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY ON OUTSIDE OF THE PROPERTY.
- REFER TO THE ACoustICAL REPORT FOR THE SPECIFICATIONS FOR WINDOW AND WALL THERM.

[ARCHITECT : BIAL]

N



3rd FLOOR



ROOF PLAN

KEY PLAN

REFERENCE PLAN

NOV 06 2018

ANTHEM PROPERTIES

[PROJECT]

16392

1/8" = 1'-0"

[SCALE]

October 17, 2018

[DATE]

12 - DP Resubmission

[ISSUE]

[DRAWING]

BUILDING 4 - 3rd & 4th FLOOR PLANS

16392

1/8" = 1'-0"

[SCALE]

October 17, 2018

[DATE]

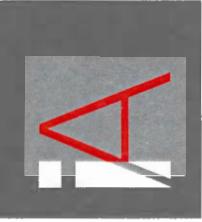
12 - DP Resubmission

[ISSUE]

[DRAWING]

A-2.042

DP 10-822484

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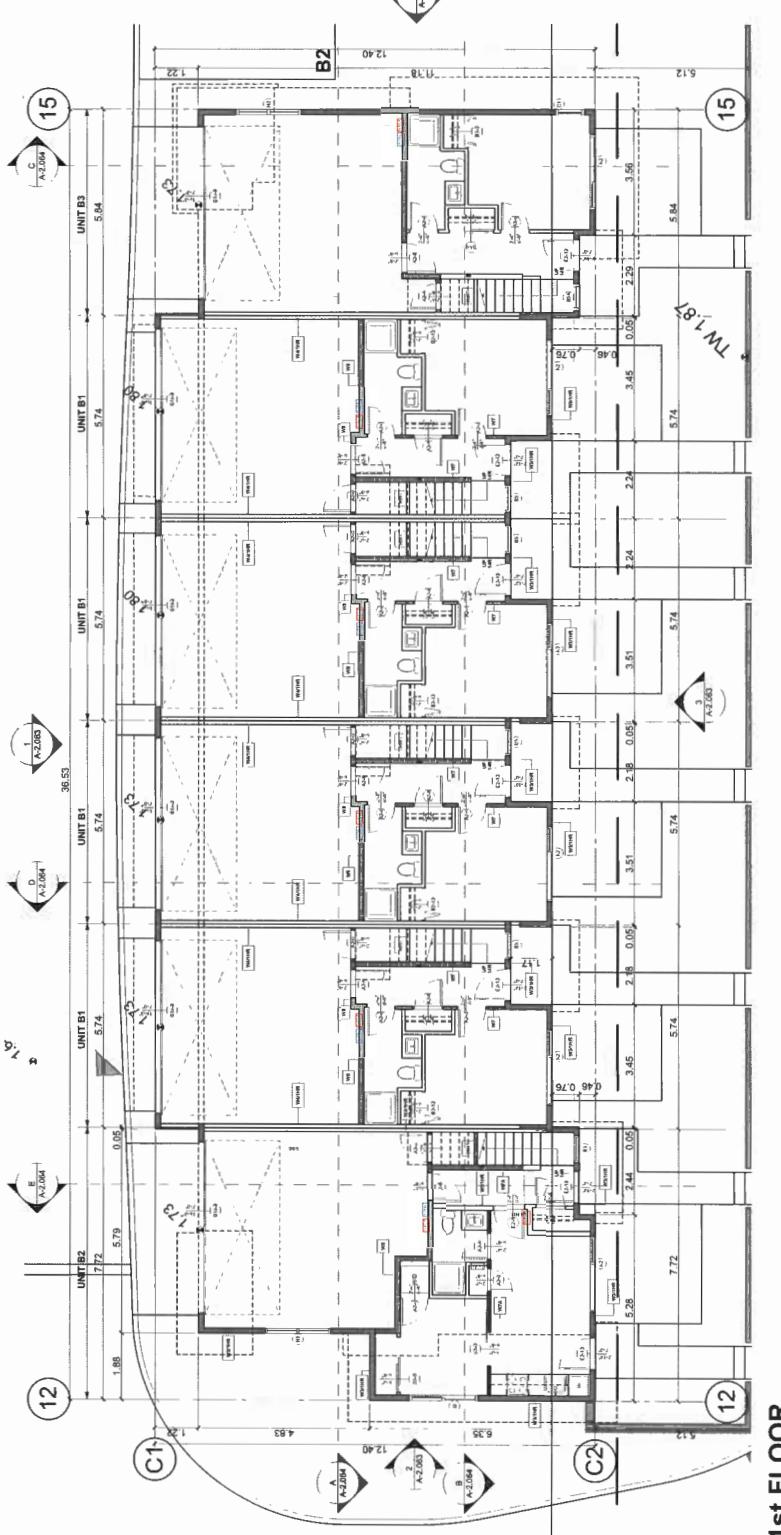
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[PROJECT TEAM]

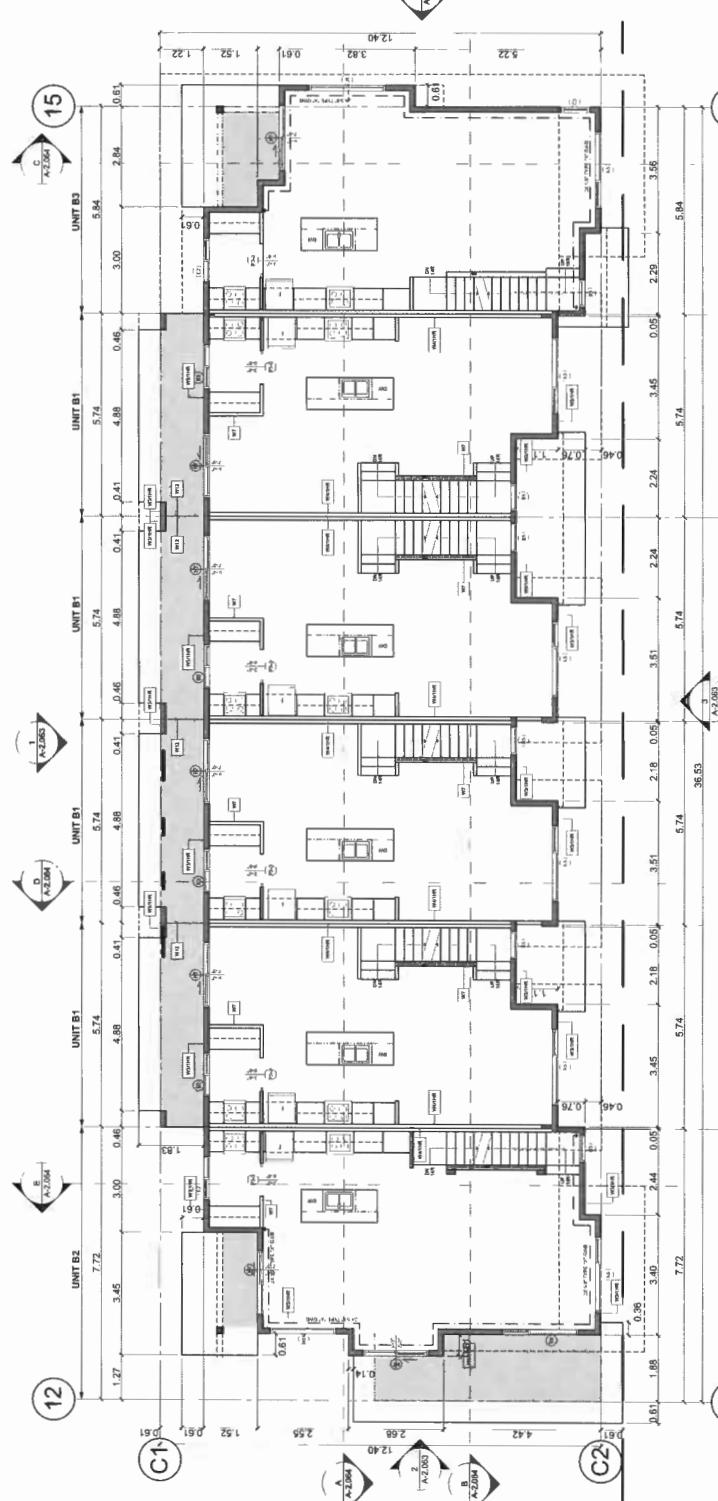
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**SYMBOLS AND LEGENDS:**

[W20/H]	INDICATES WALL TYPE/WALL RATING (HR)
CONCRETE BLOCK WALL	
CONCRETE WALL	
EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING	
PARTY WALL - 1 HOUR FIRE RESISTANCE RATING	
INTERIOR WALL	
LOAD BEARING WALL - 1 HOUR FIRE RESISTANCE RATING	
INTERIOR INSULATED WALL	
UPSTAIR WALL OR LANDSCAPE - NOT FULL HEIGHT	
SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING	
CONCRETE COLUMN	
FIRE SEPARATIONS TO UNDERSIDE ROOF SHEATHING	
FIRE BLOCKING	
14"X14" BUR FLAT TOP ROOF VENT 156 SQUARE INCHES OF FREE AIR AREA (1.03 SF)	6.18
MINIMUM SQUARE FEET OF ATTIC/ROOF VENTILATION	
VAULTED CEILING ABOVE	
DROPPED CEILING ABOVE	
ROOF ACCESS HATCH ABOVE	
RAN WATER LEADER	
SOLAR HOT WATER CONDUIT TO ROOF (CAP BOTH ENDS)	
SEE MECH. DRAWINGS	
THROUGH WALL FLASHING	
— 2 PORED LINE	
— SETBACK LINE	
BUILDING ELEMENTS ABOVE	
BUILDING ELEMENTS BELOW	
BUILDING ELEMENTS BEYOND	
UNVENTED ROOF ASSEMBLY (SEE SD 20201 DE MIL)	



- REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING PARTITIONS AND SHEAR WALLS.
- REFER TO DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATIONS OF ANCHOR POINTS.
- DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
- ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2' IN CEILING HEIGHT).
- SEE INTERIOR CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES.
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ FLAT ROOFS. MIN 1/160 OF INSULATED CEILING AREA.
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED ROOFS. MIN 1/200 OF INSULATED CEILING AREA.
- VENTS SHALL BE ON OPPOSITE SIDES OF THE BUILDING WITH AT LEAST 10% OF REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE AND AT LEAST 25% OF THE BOTTOM OF THE SPACE.
- PROVIDE ONE ACCESS HATCH PER EACH CONCEALED ATTIC SPACE, MORE THAN 2' 0" IN HEIGHT, WITH ONE MIN CLEAR FINISHED DIMENSION 500mm (1'7 3/4") AND A MAX AREA OF 0.3m² AS PER B.C.C. 2012 & 19.2.1 (2) WHEN SERVING A SINGLE DWELLING UNIT. (1-1/2"
- PROVIDE FIRE SEPARATIONS CONTINUOUS TO UNDERSIDE OF ROOF SHEATHING AT ALL PARTY WALL CORRIDOR WALLS AND STAIR & SHAFT CORES. MANUFACTURED PARTITIONS ARE TO SEPARATE FIRE SEPARATIONS.
- PROVIDE FIRE BLOCKS AS PER B.C.C. 2012 & 19.2.1 (2) WHEN SERVING A DRIVEWAY, LOOPS AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
- REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, SIDEWALKS, PLANTERS, AND FENCING.
- REFER TO LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR GRADING AND LAYOUT RETAINING WALLS, SIDEWALKS, PLANTERS AND FENCING.
- REFER TO THE ACoustICAL REPORT FOR THE SPECIFICATIONS FOR WINDOW AND WALL DESIGN.



REFERENCE PLAN  
KEY PLAN

NOV 06 2018

[TITLE]

[DRAWING]

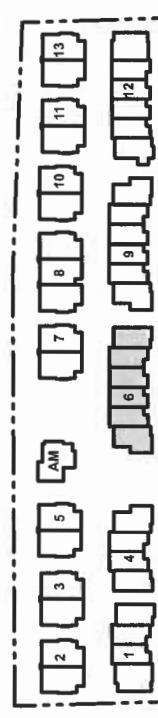
15

12

12

BUILDING 6 1st &  
2nd FLOOR  
PLANS

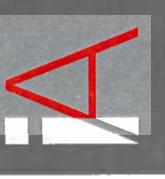
16392 [PROJECT]  
1/8" = 1'-0" [SCALE]  
October 17, 2018 [DATE]  
12 - DP Resubmission [ISSUE]



DP 18-822484

A-2.061





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ARCHITECTURE INC.

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VULV. UN-CUT. MC-TET & CONSULT

[PROJECT TEAM]

N

**SYMBOLS AND LEGENDS:**

W200r	INDICATES WALL TYPE/WALL RATING (Hr)
CONCRETE BLOCK WALL	
CONCRETE WALL	
EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING	
PARTY WALL - 1 HOUR FIRE RESISTANCE RATING	
INTERIOR WALL	
LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING	
INTERIOR INSULATED WALL	
UPSTAIR WALL OR LANDSCAPE - NOT FULL HEIGHT	
SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING	
CONCRETE COLUMN	
FREE SEPARATIONS TO UNDERSIDE ROOF SHEATHING	
FREE BLOCKING	
6.18 MINIMUM SQUARE FEET OF ATTIC / ROOF VENT 158 SQUARE INCHES OF FREE AIR AREA (1,000 SF)	
VALUED CEILING ABOVE	
DROPPED CEILING ABOVE	
ROOF ACCESS HATCH ABOVE	
Rain Water Leader	
Solar Hot Water Conduit to Roof (Cap Both Ends)	
SEE MECH DRAWINGS	
THROUGH WALL FLASHING	
PROPERTY LINE	
SETBACK LINE	
BUILDING ELEMENTS ABOVE	
BUILDING ELEMENTS BELOW	
BUILDING ELEMENTS BEYOND	
UNVENTED ROOF ASSEMBLY	
(SEE 34-2012 DETAIL)	

- REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING PARTITIONS AND REAR WALLS.
- PROVIDE UNIT BLIN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF INTERIOR LOAD-BEARING PARTITIONS.
- DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
- ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM 0.21 m DEEP).
- SEE INTERIOR CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES.
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ FLAT ROOFS - MIN 1/150 OF INSULATED CEILING AREA.
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED ROOFS - MIN 1/300 OF INSULATED CEILING AREA.
- VENTS SHALL BE ON OPPOSITE SIDES OF THE BUILDING WITH AT LEAST 50% OF REQUIRED OPENINGS LOCATED AT TOP OF THE SPACE AND AT LEAST 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF THE SPACE.
- PROVIDE ONE ATTIC ACCESS HATCH PER EACH CONCEALED ATTIC SPACE MORE THAN 2'0" IN HEIGHT WITH ONE MIN CLEAR PITCHED DIMENSION 500mm (1'7 3/4") AND A MIN AREA OF 0.32m² AS PER BCBC 2012 9.19.2 (2) WHEN SERVING A SINGLE DwELLING UNIT (1'-0" x 2'-7")
- PROVIDE FREE SEPARATIONS CONTINUOUS TO UNDERSIDE OF ROOF, LOCATION AND SIZE OF ALL FREE SEPARATIONS TO BE DETERMINED BY FIRE SEPARATION.
- PROVIDE FIRE BLOCKS AS PER 9.10.16. B.C.CAT. ALL CONCEALED SPACES, INCLUDING VERTICAL SPACES GREATER THAN 3m IN HEIGHT, CRAWL SPACES, BALCONIES, ROOF PROJECTIONS, & ROOF SPACES WITHIN FIRE COMPARTMENTS.
- PROVIDE FIRE BLOCK MATERIALS AS PER 9.10.18.3, 1/2" PLYWOOD OR OSB 2 LAYER OF 1/2" LUMBER WITH STAGED JOINTS OR 1 1/2" THICK LUMBER, FIRE STOP ALL PENETRATIONS OF FREE BLOCKING.
- REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR GRADING AND LAYOUT RETAINING WALLS, SIDEWALKS, PATIOS, PLANTERS AND FENCING.
- REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
- REFER TO THE ACoustICAL REPORT FOR THE SPECIFICATIONS FOR WINDOW AND WALL DESIGN.

[ARCHITECT SEAL]

ANTHEM PROPERTIES

[PROJECT]

GEORGIA

[TITLE]

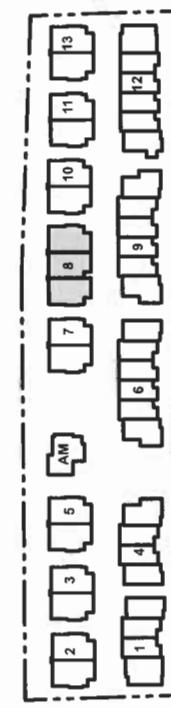
[PROJECT]

**BUILDING 8  
FLOOR PLANS**

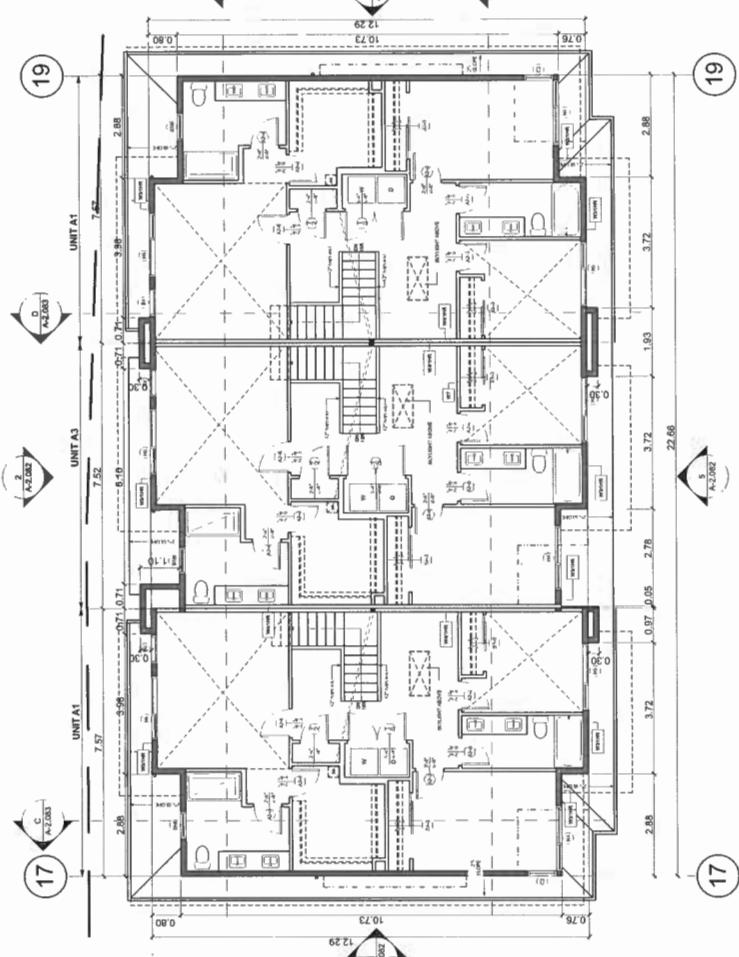
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1/8" = 1'-0" [SCALE]  
October 15, 2018 [DATE]  
12 - DP Resubmission [ISSUE]  
[DRAWING]

NOV 06 2018

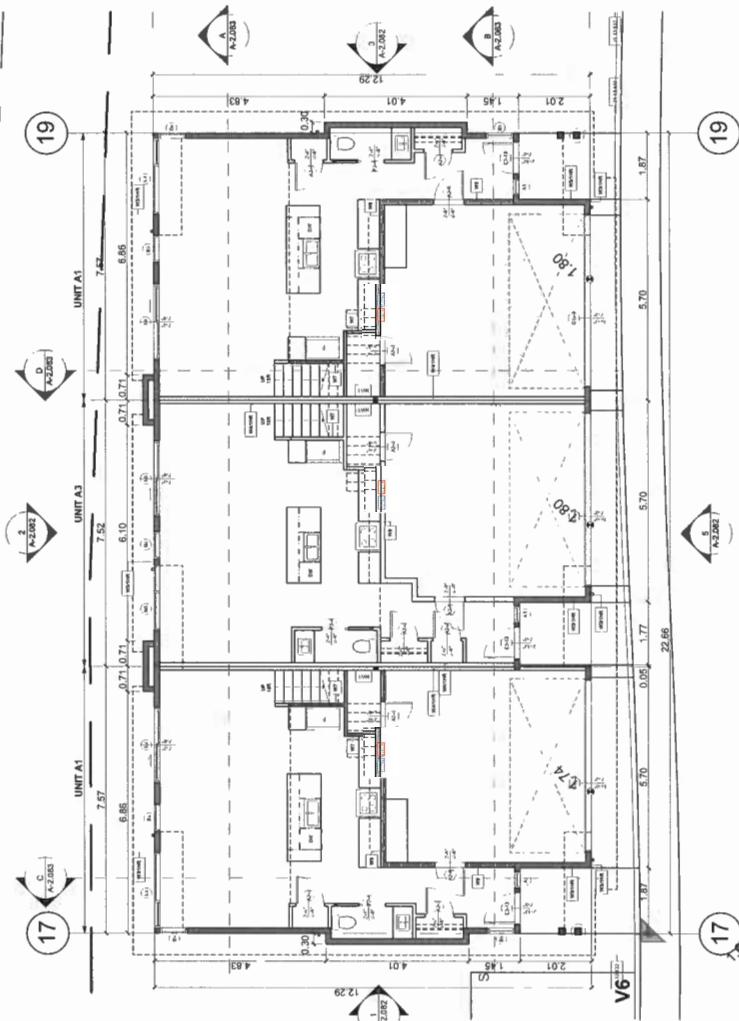
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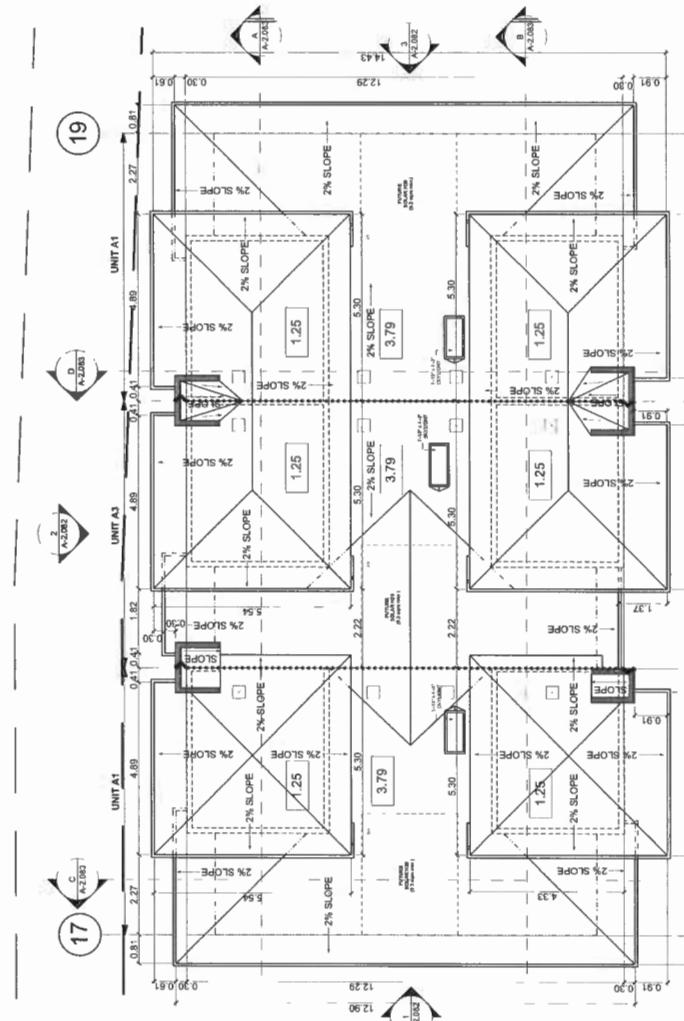
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2nd FLOOR



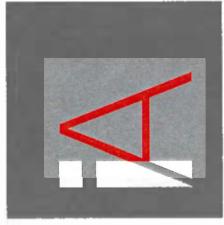
1st FLOOR



ROOF PLAN

DP 13-822484

A-2.081



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AN INTERRA ARCHITECTURE INC. CONSORTIUM  
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CONTRIBUTORS: ALICE GAVRILOFF  
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LEONARD LEE, ARCHITECTURE AND DESIGN  
MICHAEL MCKEE, ARCHITECTURE AND DESIGN  
TOMMY NGUYEN, ARCHITECTURE AND DESIGN  
URBAN PLANNING: THE ANTHEM TEAM

1/8" = 1'-0" [SCALE]  
October 17, 2018 [DATE]  
12-DP Resubmission [ISSUE]  
DRAWINGS [DRAWINGS]

**SYMBOLS AND LEGENDS:**

[WALL]	INDICATES WALL TYPE/WALL RATING (HR)
[CONCRETE BLOCK]	CONCRETE BLOCK WALL
[CONCRETE]	CONCRETE WALL
[EXTERIOR]	EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING
[PARTY]	PARTY WALL - 1 HOUR FIRE RESISTANCE RATING
[INTERIOR]	INTERIOR WALL
[LOAD-BEARING]	LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING
[INTERIOR INSULATED]	INTERIOR INSULATED WALL
[UPSTAIR OR LANDSCAPE]	UPSTAIR OR LANDSCAPE - NOT FULL HEIGHT
[SHAFT ENCLOSING]	SHAFT ENCLOSING WALL - WITH FIRE RESISTANCE RATING
[CONCRETE COLUMN]	CONCRETE COLUMN
[FIRE SEPARATION]	FIRE SEPARATIONS TO UNDERSIDE ROOF SHEATHING
[FIRE BLOCKING]	FIRE BLOCKING
[14X14]	MINIMUM SQUARE FEET OF ATTIC ROOF VENT 156 SQUARE INCHES OF FREE AIR AREA (1.03 SF)
[VAULTED CEILING ABOVE]	VAULTED CEILING ABOVE
[DROPPED CEILING ABOVE]	DROPPED CEILING ABOVE
[ROOF ACCESS HATCH ABOVE]	ROOF ACCESS HATCH ABOVE
[ROOF BLOCKING]	ROOF BLOCKING
[RAINF WATER LEADER]	RAINF WATER LEADER
[SEE MECH. DRAWINGS]	SEE MECH. DRAWINGS
[THROUGH WALL FLASHING]	THROUGH WALL FLASHING
[PROJECT LINE]	PROJECT LINE
[SETBACK LINE]	SETBACK LINE
[BUILDING ELEMENTS ABOVE]	BUILDING ELEMENTS ABOVE
[BUILDING ELEMENTS BELOW]	BUILDING ELEMENTS BELOW
[BUILDING ELEMENTS BEYOND]	BUILDING ELEMENTS BEYOND
[UNVENTED ROOF ASSEMBLY]	UNVENTED ROOF ASSEMBLY

- REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING PARTITIONS AND DRYWALL WALLS.
- REFER TO UNIT PLAN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF INTERIOR PARTITIONS AND CEILINGS.
- DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
- ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2' IN HEIGHT).
- SEE INTERIOR CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES.
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ FLAT ROOFS. MIN 1/150 OF INSULATED CEILING AREA.
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED ROOFS. MIN 1/300 OF INSULATED CEILING AREA.
- VENTS SHALL BE ON OPPOSITE SIDES OF THE BUILDING WITH AT LEAST 50% OF REQUIRED OPENINGS LOCATED AT TOP OF THE SPACE AND AT LEAST 25% OF OPENINGS LOCATED AT THE BOTTOM OF THE SPACE.
- PROVIDE ONE ATTIC ACCESS HATCH PER EACH CONCEALED ATTIC SPACE MORE THAN 2'6" IN HEIGHT WITH ONE MIN CLEAR FLOOR FINISHED DIMENSION 500mm (1'7 3/4") AND A MIN AREA OF 0.32m² AS PER BSC 2012 19.2.1.27 WHEN SERVING A SINGLE DWELLING UNIT (1'-0" x 2'-7")
- PROVIDE FIRE PARTITIONS CONTINUOUS TO UNDERSIDE OF ROOF, STAIR, OR SHAFT, AND A MAXIMUM CLEARANCE OF 12" BETWEEN THE PARTITION AND THE ROOF. NO PENETRATION OF THE PARTITION IS ALLOWED.
- PROVIDE ONE ATTIC ACCESS HATCH PER EACH CONCEALED ATTIC SPACE MORE THAN 2'6" IN HEIGHT WITH ONE MIN CLEAR FLOOR FINISHED DIMENSION 500mm (1'7 3/4") AND A MIN AREA OF 0.32m² AS PER BSC 2012 19.2.1.27 WHEN SERVING A SINGLE DWELLING UNIT (1'-0" x 2'-7")
- PROVIDE FIRE BLOCK MATERIALS AS PER B10.16.3.  
- 0.38mm SHEET STEEL, 1/2" EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR LUMBER, FIRE STOP ALL PENETRATIONS OF FIRE BLOCKING.
- REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR GRADING AND LAYOUT RETAINING WALLS, SIDEWALKS, PATIOS, PLANTERS AND FENCING.
- REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
- REFER TO THE ACUSTICAL REPORT FOR THE SPECIFICATIONS FOR WINDOW AND WALL DESIGN.

GEORGIA

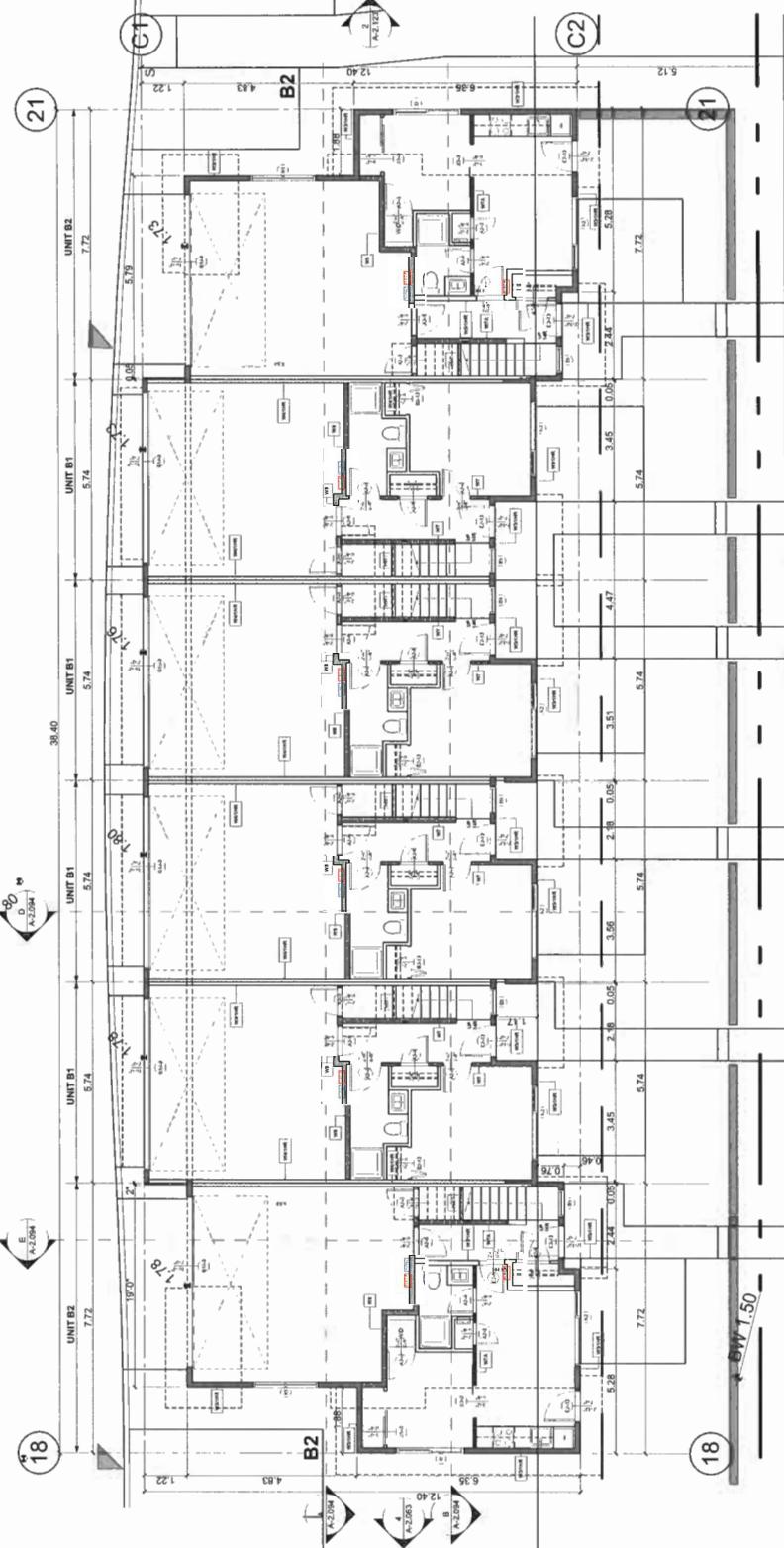
5194-5351 Stewarton Hwy  
RICHMOND, BC, V6V 1Z6  
[PROJECT]

BUILDING 9 1st &  
2nd FLOOR  
PLANS

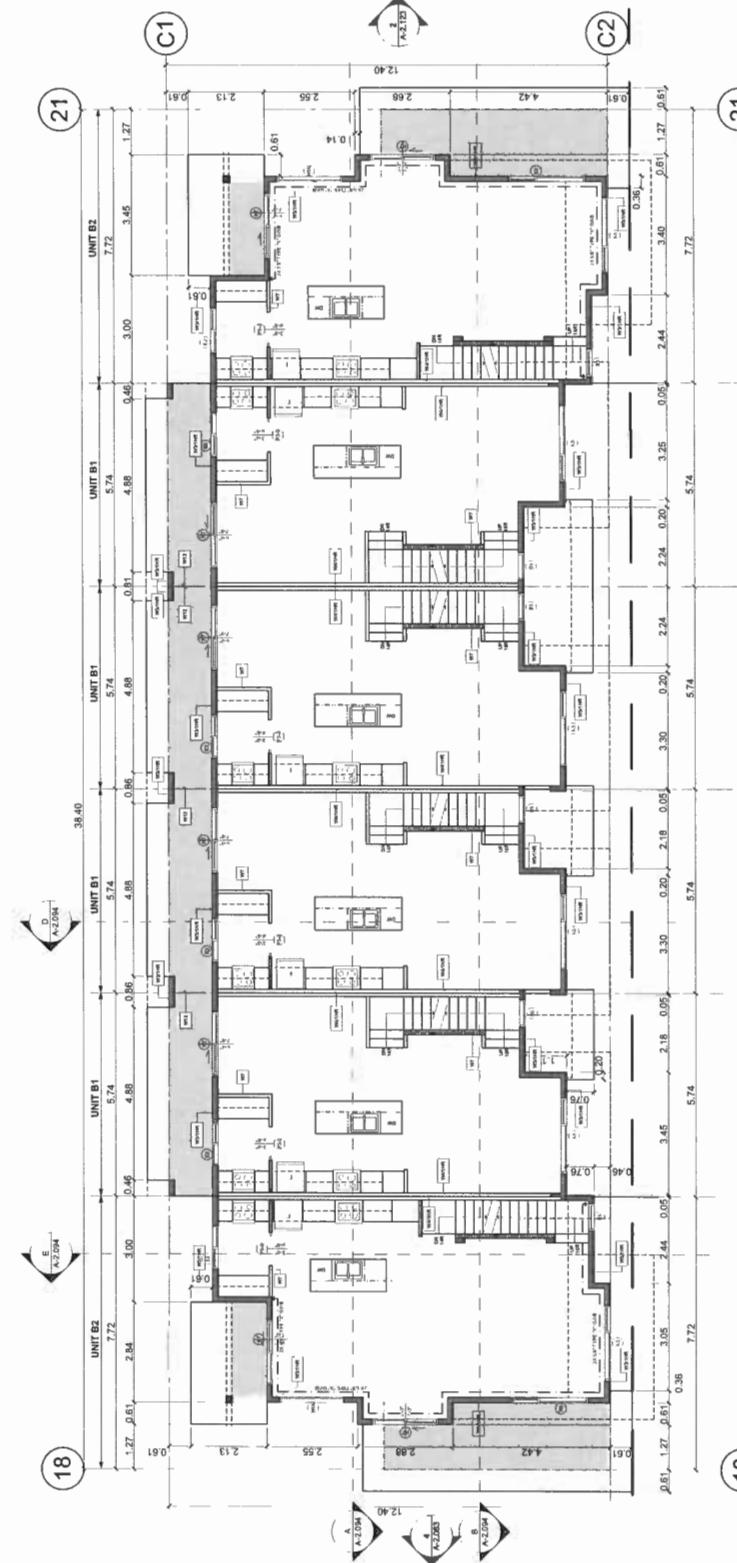
16392 [PROJECT]  
1/8" = 1'-0" [SCALE]  
October 17, 2018 [DATE]  
12-DP Resubmission [ISSUE]  
DRAWINGS [DRAWINGS]

A-2.091

DP 18-822484



1st FLOOR



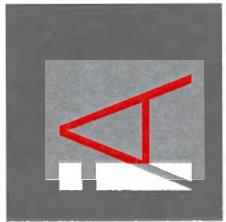
2nd FLOOR

REFERENCE PLAN

KEY PLAN

NOV 06 2018

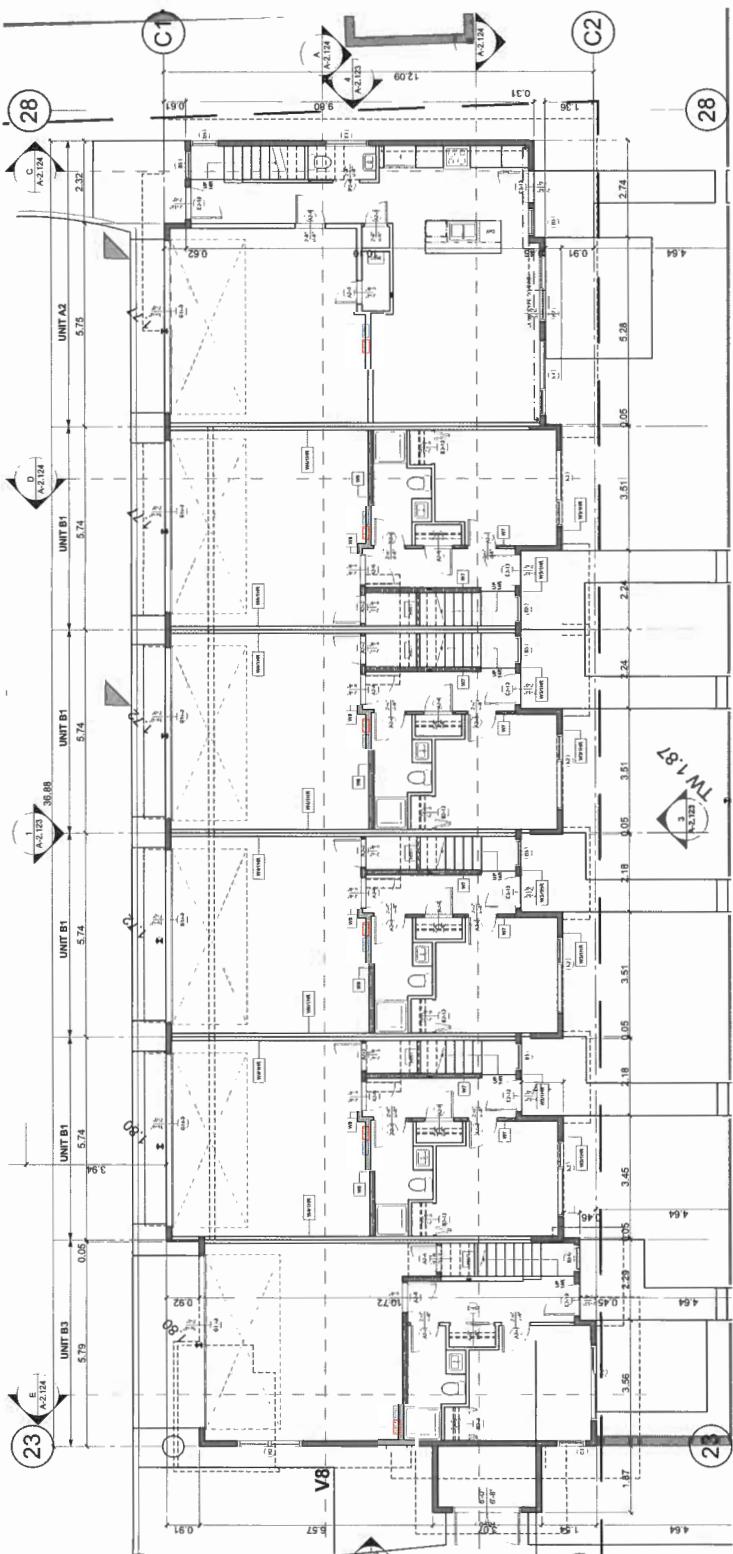
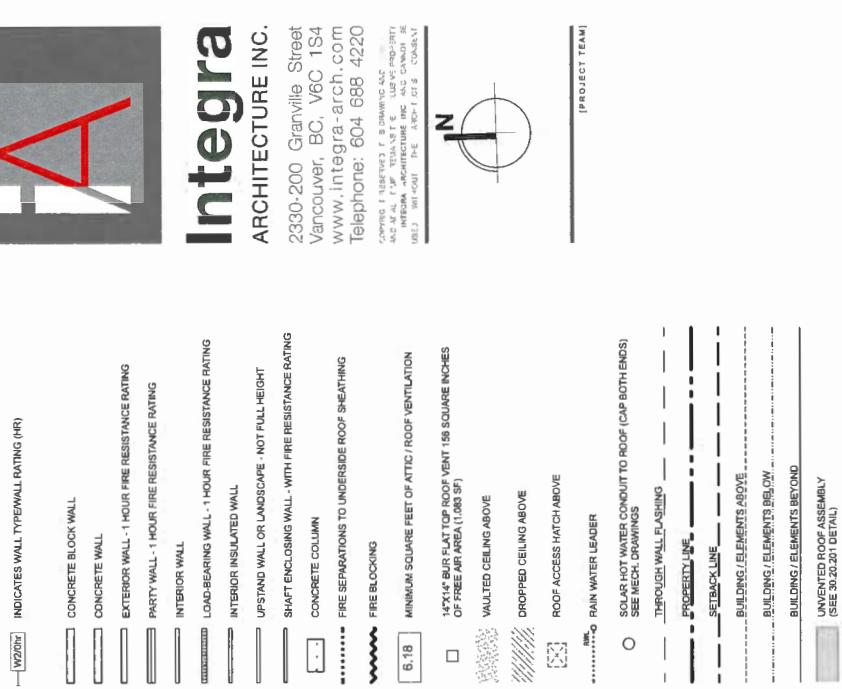




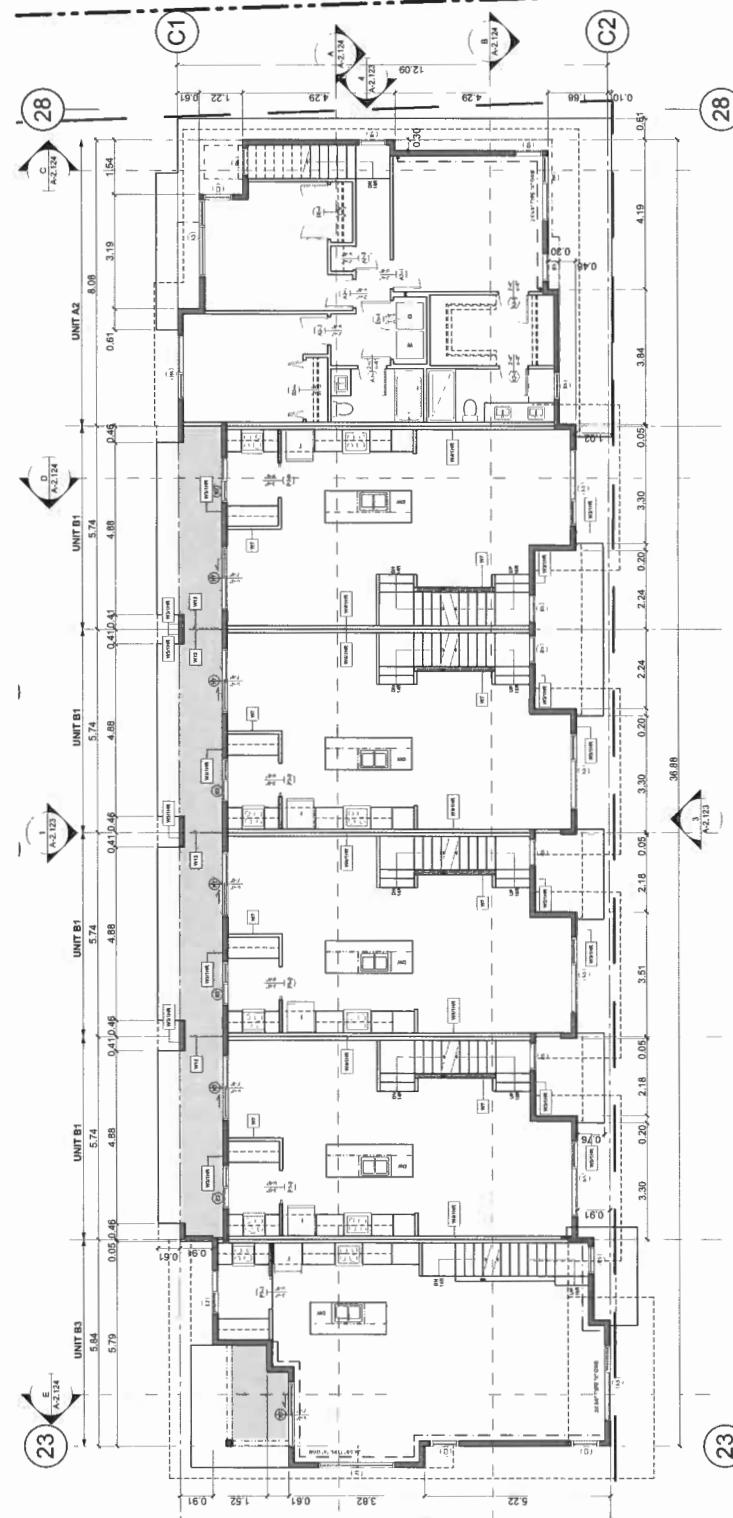
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Vancouver, BC V6C 1S4  
www.integra-arch.com  
Telephone: 604 688 4220

**SYMBOLS AND LEGENDS:**



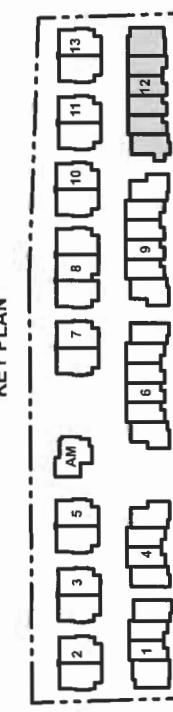
- REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING PARTITIONS AND REAR WALLS.
- REFER TO UNIT PARTITION DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF EXTERIOR SPACING PARTITIONS.
- DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
- ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2.1 IN CEILING HEIGHT).
- SEE INTERIOR CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES.
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ FLAT ROOFS. MIN 1/160 OF INSULATED CEILING AREA.
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED ROOFS. MAX 1/80 OF INSULATED CEILING AREA.
- VENT SHALL BE OF POLYESTER SHEETING, 50% OF THE BUILDING WITH AT LEAST 50% OF VENTILATION OPENINGS LOCATED AT THE BOTTOM OF THE SPACE.
- PROVIDE ONE ATTIC ACCESS HATCH PER EACH CONCEALED DUCTS SPACED NO MORE THAN 20' apart. HATCHES MUST BE LOCATED IN ALL RECESSED SPACES, BALCONIES, ROOF PROJECTIONS, AND ROOF SPACES WITHIN FIRE COMPARTMENTS.
- PROVIDE FIRE BLOCK MATERIALS AS PER B.C. 10.16.3. 0.38mm SHEET STEEL, 1/2" EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR OSB LAYERS, 1/2" LUMBER THIN-SKIN GIRDERS, 1/2" OR 1 1/2" THICK LAMINATE, ETC. DRYWALL IS NOT ACCEPTABLE FOR EXTERIOR FIRE BLOCKING.
- REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR PLANTERS AND FENCING.
- REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
- REFER TO THE ACOUSTICAL REPORT FOR THE SPECIFICATIONS FOR WINDOW AND WALL DESIGN.



**ANTHEM PROPERTIES**  
PROJECT # 519-5351 Steveston Hwy  
RICHMOND, BC

**REFERENCE PLAN**

**KEY PLAN**



NOV 06 2018

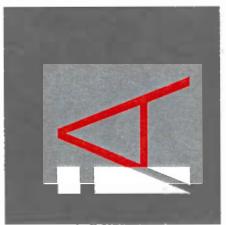
2nd FLOOR

**BUILDING 12 1st & 2nd FLOOR PLANS**

16392  
1/8" = 1'-0"  
October 17, 2018  
12 - DP Resubmission  
[ISSUE]  
[DRAWING]

A-2.121

DP 18-822484



**Integra**

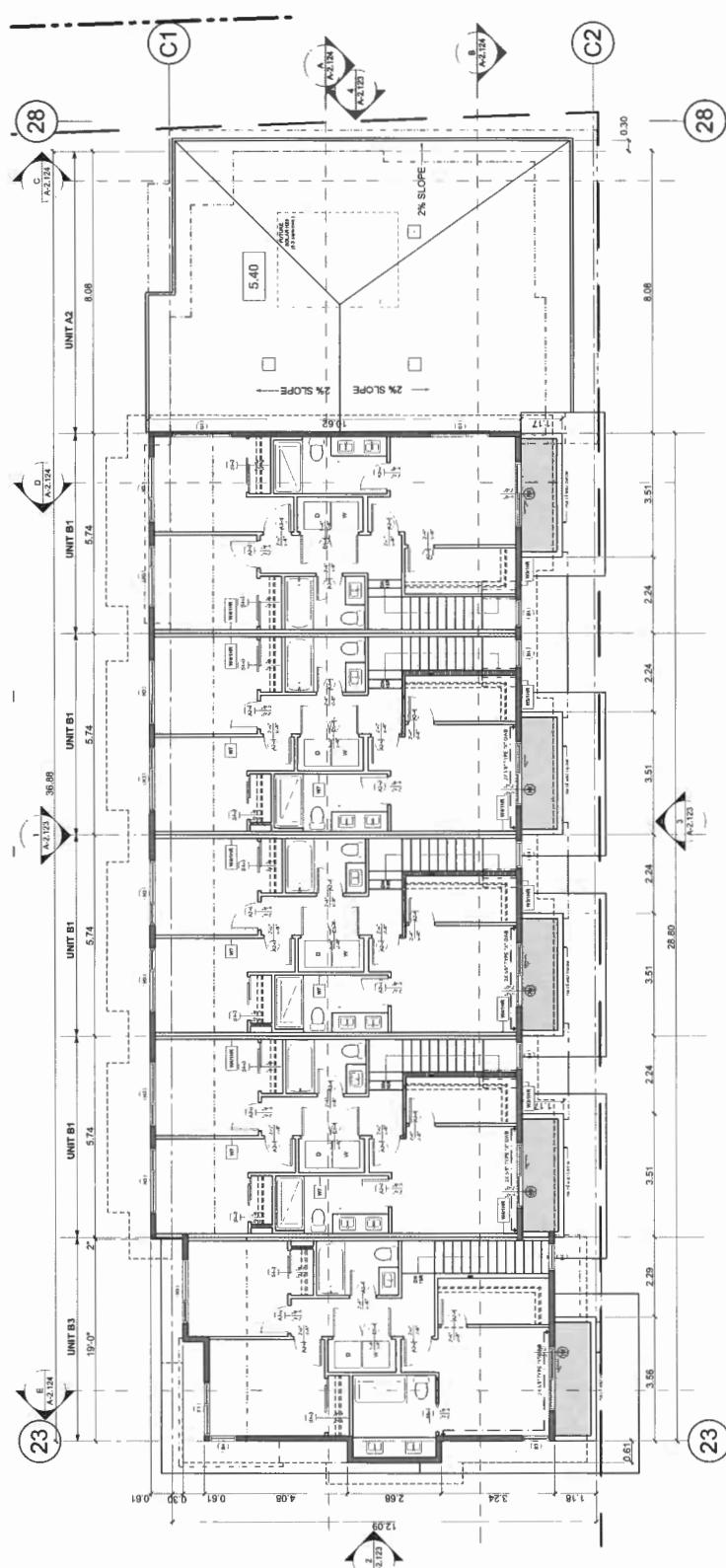
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CANADA  
U.S. PAT. & T.M. OFFICE  
CANADA

**SYMBOLS AND LEGENDS:**

[W2hr]	INDICATES WALL TYPE/WALL RATING (HR)
CONCRETE BLOCK WALL	
CONCRETE WALL	
EXTERIOR WALL - 1 HOUR FIRE RESISTANCE RATING	
PARTY WALL - 1 HOUR FIRE RESISTANCE RATING	
INTERIOR WALL	
LOAD-BEARING WALL - 1 HOUR FIRE RESISTANCE RATING	
INTERIOR INSULATED WALL	
UPSTAIR WALL OR LANDSCAPE - NOT FULL HEIGHT	
SHAFT-ENCLOSING WALL - WITH FIRE RESISTANCE RATING	
CONCRETE COLUMN	
FIRE SEPARATIONS TO UNDERSIDE ROOF SHEATHING	
14"X14" BUR FLAT TOP ROOF VENT 165 SQUARE INCHES OF FREE AIR AREA(1.05 SF)	
MINIMUM SQUARE FEET OF ATTIC / ROOF VENTILATION	
SEE MECH. DRAWINGS	
THROUGH WALL FLASHING	
PROPERTY LINE	
DEBLICLINE	
BUILDING ELEMENTS ABOVE	
BUILDING ELEMENTS BELOW	
BUILDING / ELEMENTS BEYOND	
Rain Water Leader	
UNVENTED ROOF ASSEMBLY	
(SEE 30.20.201 DETAIL)	



3rd FLOOR

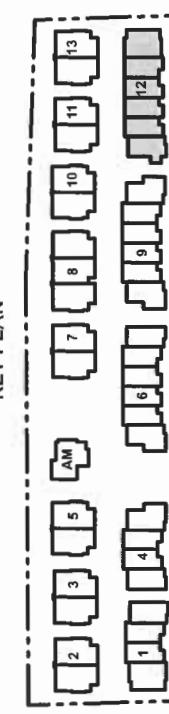
- REFER TO STRUCTURAL CONSULTANT DRAWINGS FOR LOCATION OF ALL LOAD-BEARING PARTITIONS AND SHEAR WALLS.
- REFER TO THERM PLAN DRAWINGS FOR DETAILED DIMENSIONS, INFORMATION, AND LOCATION OF THERM LOAD-BEARING PARTITIONS.
- DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING AND TO CENTRE OF PARTY WALLS.
- ALL BATHROOM CEILINGS ARE TO BE DROPPED TO ACCOMMODATE PLUMBING ABOVE (MINIMUM OF 2.1 M CEILING HEIGHT).
- SEE INTERIOR CONSULTANT DRAWINGS FOR ALL INTERIOR FINISHES.
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ FLAT ROOFS - MIN 1/150 OF INSULATED CEILING AREA.
- PROVIDE UNIFORMLY DISTRIBUTED UNOBSTRUCTED VENTILATION @ SLOPED ROOFS - MIN 1/300 OF INSULATED CEILING AREA.
- VENTS SHOULD BE ON OPPOSITE SIDES OF THE BUILDING WITH AT LEAST 5% OF LIVING SPACES AND AT LEAST 25% OF REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE.
- PROVIDE FIRE BLOCKS AS PER 9.9.16. BLOCAT AT ALL LONG-SIDED SPACES MORE THAN 2.27 M IN LENGTH AND 0.30 M CLEAR FINISHED DIMENSION (500MM (1'7" 3/4") AND A MIN. AREA OF 0.28m² AS PER BSC 2012 9.1.2.1/2) WHEN SERVING A SINGLE DWELLING UNIT (1'10" x 2'-2").
- PROVIDE FIRE SEPARATIONS CONTINUOUS TO OUTSIDE OF ROOF SHEATHING AT ALL PARTITION, CORRIDOR WALL, EXIT STAIR & HALL LOCATIONS. NO FRAMING OR MEMBERS ARE TO PENETRATE FIRE SEPARATIONS.
- PROVIDE FIRE BLOCKS AS PER 9.9.16. BLOCAT AT ALL LONG-SIDED SPACES MORE THAN 2.27 M IN LENGTH AND 0.30 M CLEAR FINISHED DIMENSION (500MM (1'7" 3/4") AND A MIN. AREA OF 0.28m² AS PER BSC 2012 9.1.2.1/2) WHEN SERVING A SINGLE DWELLING UNIT (1'10" x 2'-2").
- PROVIDE FIRE BLOCK MATERIALS AS PER 9.10.16.3. -0.3mm SHEET STEEL, 1/2" EXTERIOR GYPSUM BOARD, 1/2" PLYWOOD OR OSB, 2 LAYERS OF 3/8" OSB, 1/2" GYPSUM BOARD, 1/2" STAGGERED JOISTS, OR 1/2" THICK LUMBER, STEP 24" DECKING, 1/2" GYPSUM BOARD, 1/2" STAGGERED JOISTS, OR 1/2" THICK LUMBER.
- REFER TO THE LANDSCAPE CONSULTANT DRAWINGS FOR FINAL EXTERIOR FENCING, AND LAWN TERRAIN/WALLS SURROUNDING THIS PROPERTY.
- REFER TO CIVIL CONSULTANT DRAWINGS FOR ALL ROADS, CURB, GUTTER, DRIVEWAYS, SLOPES, AND THE DESIGN OF MUNICIPAL STREETS WITHIN THE PROPERTY OR OUTSIDE OF THE PROPERTY.
- REFER TO THE ACoustICAL REPORT FOR THE SPECIFICATIONS FOR WINDOW AND WALL DESIGN.

GEORGIA

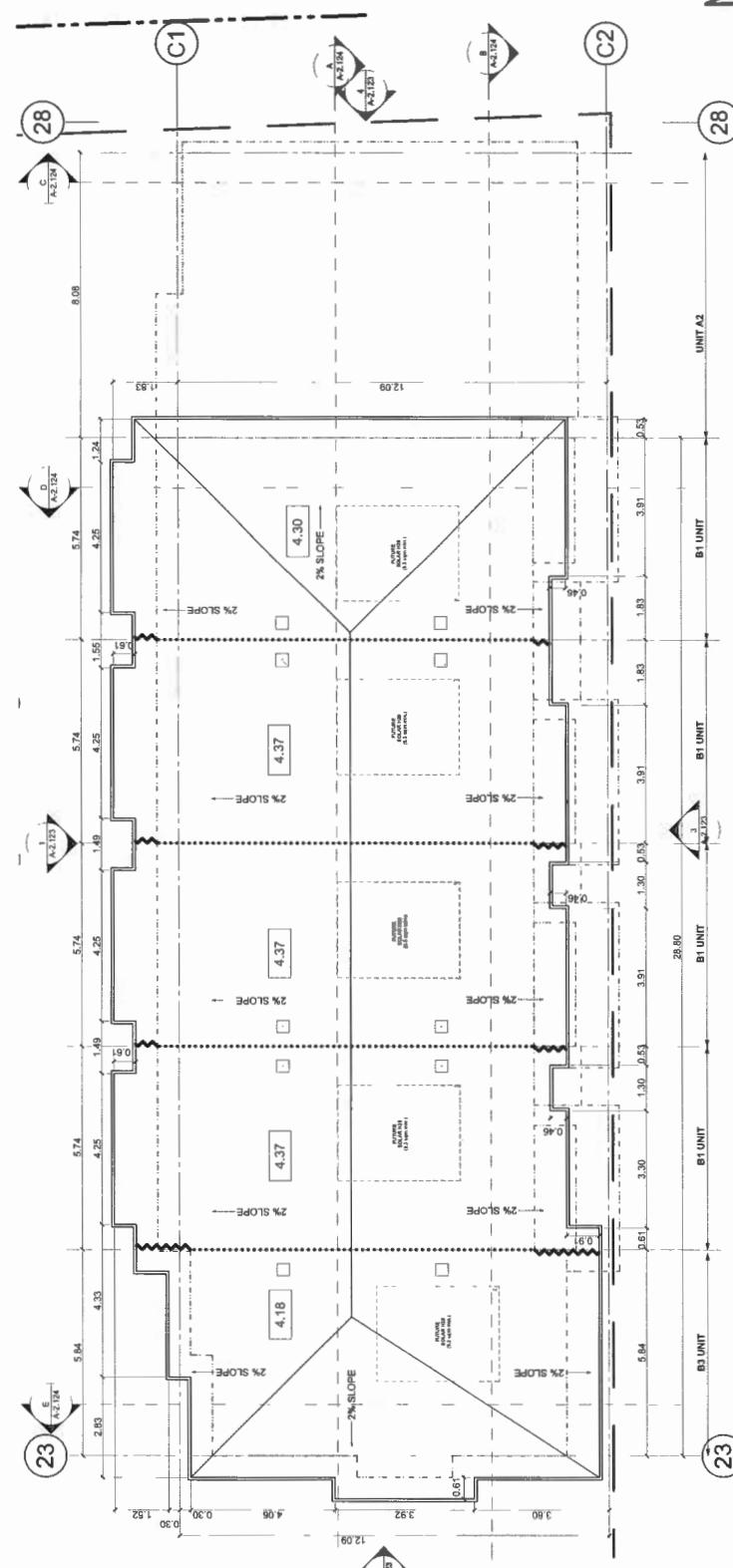
519-5351 Steveson Hwy  
RICHMOND, BC

**BUILDING 12 3rd FLOOR & ROOF PLAN**

KEY PLAN



NOV 06 2018 REFERENCE PLAN



ROOF PLAN

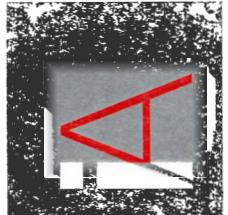
16392 [PROJECT]  
1/8" = 1'-0" [SCALE]  
October 15, 2018 [DATE]  
12 - DP Resubmission [ISSUE]  
[DRAWING]

DP 18-822484

A-2.122







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#### CONVERTIBLE UNIT GUIDELINES

##### DOORS & DOORWAYS

1. ENTRY DOORS ARE A MINIMUM 863 mm BUT IDEALLY 914 mm AND HAVE CLEAR ACCESS.
2. ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 mm DEPTH BY DOOR WIDTH PLUS 600 mm ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRED PROVIDED FOR FUTURE AUTOMATIC DOOR OPENING).
3. INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 mm CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 mm HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAYS (IF NECESSARY TO SECURE ACCESS).
4. PATIO/BALCONY MIN. 860 mm CLEAR OPENING. NOTE HOW ACCESSED.
5. ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
6. LEVER-TYPE HANDLES FOR ALL DOORS.

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7. STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.
8. VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
9. MIN. 900mm WIDTH

10. MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 m GARAGE WIDTH.  
11. ACCESS FROM GARAGE TO LIVING AREA MIN. 800 mm CLEAR OPENING.
12. TOILET CLEAR FLOOR SPACE MIN. 1020 mm AT SIDE AND IN FRONT.
13. WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" x 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
14. LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
15. PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
16. CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.
17. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).

[ARCHITECT SEAL]

##### HALLWAYS

##### GARAGE

- BATHROOM (MIN. 1)
10. MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 m GARAGE WIDTH.  
11. ACCESS FROM GARAGE TO LIVING AREA MIN. 800 mm CLEAR OPENING.

[CLIENT]

##### KITCHEN

[ARCHITECT SEAL]

12. TOILET CLEAR FLOOR SPACE MIN. 1020 mm AT SIDE AND IN FRONT.
13. WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" x 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
14. LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
15. PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
16. CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.
17. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).

[PROJECT TEAM]

##### WINDOWS

[ARCHITECT SEAL]

18. CLEAR AREA NEEDED UNDER FUTURE WORKSPACE, PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 800 mm WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 mm TO 355 mm TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
19. CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
20. 1500 mm TURNING DIAMETER OR TURNING PATH DIAGRAM
21. LEVER TYPE HANDLES FOR PLUMBING FIXTURES
22. MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)

[CLIENT]

##### OUTLETS & SWITCHES

[ARCHITECT SEAL]

23. PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
24. UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE AND RECREATION ROOM.©

**A6 Convertible Unit Upper Floor**

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1:0.50 [SCALE]  
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12 - DP Resubmission [ISSUE]  
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