City of Richmond

Report to Development Permit Panel

To:	Development Permit Panel	**Date:**	November 6, 2018
From:	Wayne Craig Director of Development	**File:**	DP 15-708092
Re:	**Development Permit for the Application by 1004732 B.C. Ltd. for a Development Permit at 6840 & 6860 No. 3 Road and 8051 Anderson Road**		

Staff Recommendation

That a Development Permit be issued which would permit the construction of an 11-storey mixed commercial and residential building, including 75 dwelling units and 10,943 m^2 (117,791 ft^2) of commercial space, at 6840 & 6860 No. 3 Road and 8051 Anderson Road on a site zoned "City Centre High Density Mixed Use with Office (ZMU31) – Brighouse Village".

Wayne Craig
Director of Development

WC:sds
Att. 5

Staff Report

Origin

1004732 B.C. Ltd. has requested to revise the subject Development Permit application (DP 15-708092), which proposes to develop an 11-storey, 18,700 m^2 (201,292 ft^2), mixed commercial and residential building at 6840 & 6860 No. 3 Road and 8051 Anderson Road. The Development Permit application was previously endorsed by the Development Permit Panel on November 16, 2017. The original report to the Development Permit Panel, dated October 24, 2017, is provided in Attachment A (previously endorsed plans not attached).

The proposed revisions to the development permit application are minor in nature and reflect amended rezoning considerations approved by Council on October 22, 2018 for the associated rezoning (RZ 14-678448).

The revised rezoning considerations approved by Council removed the consideration requiring off-site statutory rights of way (SRWs) and modified additional considerations consequential to this change. The original rezoning considerations required the applicant to acquire off-site SRWs on three properties to the north of the subject site in order to utilize the evolving east-west lane system for movement of trucks entering and exiting the development. Despite early discussions, the owners of the properties on which the SRWs would be located declined to provide them. Staff worked with the applicant to make minor modifications to the proposed development in order to provide for a turnaround on site with exit onto Anderson Road. Staff notes that, in the future, when the lane is fully secured through redevelopment of the adjacent properties, through movement between Anderson Road and Buswell Street will be feasible.

Development Information

Please refer to the original staff report dated October 24, 2017 (Attachment A) for detailed information regarding the Development Permit application (previously endorsed plans not attached). A red-lined version of the revised Development Application Data Sheet is also provided demonstrating the changes from the previously endorsed Development Permit application (Attachment B).

Staff Comments

The revised Development Permit application includes the changes outlined below. The areas where changes are being proposed from the previously endorsed plans are demonstrated with clouding in Attachment C and are described in detail below. The project Architect and Landscape Architect have also provided letters (Attachment D) confirming that the clouded areas are the only changes made to the original plans endorsed by the Panel.

- A new turnaround area is proposed to be located in the northeast corner of the internal north-south lane, and requires that a portion of the building on the ground, mezzanine and second floors be recessed to provide adequate vehicle maneuvering area and clearance. The applicant has worked with the City's Transportation Department to ensure the turnaround area is functional and acceptable to staff.

- The proposed removal of the building area noted above results in a reduction of 11 vehicle parking spaces (two for commercial, seven for office and two for residential uses). The revised proposal still complies with the minimum required number of vehicle parking spaces as per Zoning Bylaw 8500, as the original proposal exceeded this requirement. Transportation demand management (TDM) measures that were secured as part of the original rezoning application, including end of trip facilities, car share spaces and pedestrian circulation improvements, will promote the use of alternative modes of travel to the site.

- The impacts to the building façade are relatively minor (recessing of the building) and only impact the north elevation facing the future east-west lane. The elevations in the architectural plans have been revised to reflect this change (Attachment C). The finishing on the parkade wall along the lane is consistent with the rest of the façade facing the lane and includes architectural concrete, painted concrete and metal mesh panels to provide visual interest.

- The design of the frontage improvements within the north-south lane and the new turnaround area will be determined through the Servicing Agreement. These will include:
  - Lighting, bollards, curb and gutter, pavement widening and decorative surface treatment for the expanded turnaround area in the interim condition.
  - Cash-in-lieu amount to restore the lane to the ultimate design.

- Through the Servicing Agreement design, a temporary loading bay on Anderson Road will be pursued for large vehicles, and additional signage will be required to identify the location. Once the lane network adjacent to the site expands in the future, any temporary on street loading facility will be removed.

Zoning Compliance/Variance

No variances were proposed in the original Development Permit application, and no variances are being proposed in the revised plans.

Conclusions

1004732 B.C. Ltd. has requested to revise the endorsed Development Permit associated with DP 15-708092 in order to develop an 11-storey, 18,700 m^2 (201,292 ft^2), mixed commercial and residential building at 6840 & 6860 No. 3 Road and 8051 Anderson Road. The applicant has made minor modifications to the design in order to address revised rezoning considerations resulting in the need for an on-site vehicle turnaround. The proposed revised design addresses functional requirements, meets the parking requirements of the Richmond Zoning Bylaw, is consistent with TDM objectives, and is consistent with the form and character of the development that was previously endorsed by the Development Permit Panel.

The list of development permit considerations is included in Attachment E, which has remained unchanged from the previously endorsed Development Permit and has been agreed to by the applicant (signed concurrence on file).

On this basis, staff recommend endorsement of this revised Development Permit application.

Steven De Sousa
Planner 1

SDS:cas

Attachment A: Original Report to Development Permit Panel dated October 24, 2017
Attachment B: Revised Development Application Data Sheet
Attachment C: Revised Plans
Attachment D: Letters from the Architect and Landscape Architect
Attachment E: Development Permit Considerations

City of Richmond

Report to Development Permit Panel

To:	Development Permit Panel	**Date:**	October 24, 2017
From:	Wayne Craig Director, Development	**File:**	DP 15-708092
Re:	**Application by 1004732 BC Ltd for a Development Permit at 6840, 6860 No. 3 Road and 8051 Anderson Road**		

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of an 11-storey, 18,700 m^2 (201,292 ft^2), mixed commercial and residential building at 6840, 6860 No. 3 Road and 8051 Anderson Road on a site zoned "City Centre High Density Mixed Use with Office (ZMU31) - Brighouse Village".

Wayne Craig
Director, Development

JD/SDS:blg
Att. 7

Staff Report

Origin

1004732 BC Ltd. has applied to the City of Richmond for a Development Permit in order to develop an 11-storey, 18,700 m^2 (201,292 ft^2), mixed commercial and residential building at 6840, 6860 No. 3 Road and 8051 Anderson Road. The site is being rezoned from "Downtown Commercial (CDT1)" to "City Centre High Density Mixed Use with Office (ZMU31) - Brighouse Village" under Bylaw 9510 (RZ 14-678448), which received third reading on February 20, 2017.

Key components of the development proposal include:

- A podium, mid-rise and tower form of development.
- Floor area comprised of approximately:
  - 1,149 m^2 (12,371 ft^2) of retail space on the ground level.
  - 9,794 m^2 (105,420 ft^2) of office space in an 11-storey tower component.
  - 7,757 m^2 (83,501 ft^2) of multi-family residential space in a 10-storey mid-rise component.
- A total of 75 dwelling units including:
  - 67 one-storey apartment units (ranging from studio to three-bedroom units).
  - eight two-storey townhouse units.
- 5% of the residential floor area allocated to five affordable housing units.
- 158 m^2 (1,706 ft^2) of indoor and 1,470 m^2 (15,826 ft^2) of outdoor common amenity space.

Through the rezoning, the project requires a Servicing Agreement, a District Energy Utility Agreement and a Housing Agreement. The Servicing Agreement works will include watermain, storm sewer, sanitary sewer and drainage upgrades, on-site and off-site street and lane frontage improvements, and a variety of off-site Transportation Demand Management (TDM) measures.

Background

The subject site is located in the City Centre's Brighouse Village on the northeast corner of No. 3 Road and Anderson Road. The site is currently being prepared for construction.

Development surrounding the subject site is as follows:

To the North: Three lots fronting No. 3 Road developed with low scale commercial buildings and surface parking to the rear. In addition, two lots fronting Park Road developed with low-scale commercial buildings and surface parking facing the street.

To the South: Across Anderson Road, four lots fronting No. 3 Road developed with low scale commercial buildings and surface parking to the rear, and at 8080 Anderson Road, an affordable housing development that was approved with a floor area ratio (FAR) of 3.48 and a height of 43.5 m GSC (DP 12-605094).

To the East: An existing commercial and residential podium and tower development with internal parking. Further to the east, a recently approved mixed-use podium and tower development that is beginning construction (DP 13-645286).

To the West: Across No. 3 Road, the Richmond City Hall precinct with an eight-storey civic building, landscaped grounds and a combination of underground and surface parking. In addition, across No. 3 Road, the Richmond Centre site, which is currently developed with a two-storey mall surrounded by surface parking and is under application for amendment of the OCP (CP 16-752923).

In general, the surrounding area has been, or is likely to be, redeveloped with higher density commercial, residential and mixed used developments consistent with the City Centre Area Plan – Brighouse Village.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on February 20, 2017, and following the Public Hearing the proposed Richmond Zoning Bylaw 8500, Amendment Bylaw 9510 received second and third readings. There were no specific design issues identified by Council, staff or the public to be resolved through the Development Permit process.

Staff Comments

The proposed development scheme attached to this report complies with the provisions of the proposed "City Centre High Density Mixed Use with Office (ZMU31) - Brighouse Village" site-specific zone. The application has satisfactorily addressed the urban design and form and character objectives of the Official Community Plan Policies (General and City Centre Area Plan) and Development Permit Guidelines (General, High-rise Housing and City Centre Area Plan).

Zoning Compliance/Variances

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant bylaw requirements. No variances are proposed.

Affordable Housing Density Bonusing

The proposed development complies with the affordable housing density bonusing provisions of the "ZMU31" zone. Five percent of the residential floor area, or approximately 396 m^2 (4,259 ft^2), will be secured as low-end market rental dwelling units, meeting the basic requirements of Table 1. Although the proposed development is less than 80 units, the developer has chosen to provide the affordable housing on-site rather than provide cash-in-lieu, consistent with the Affordable Housing Strategy at the time.

The proposed units are identified on the Development Permit plans. A Housing Agreement Bylaw and a Housing Covenant are required prior to final approval of the rezoning. The terms of the Housing Agreement will include requirements for integration of the affordable units with the market units, tenant access to the indoor and outdoor common amenity areas, and provision of parking spaces for the affordable housing units at no additional charge.

TABLE 1

Unit Type	Affordable Housing Strategy Requirements			Project Targets (2)	
	Minimum Unit Area	Maximum Monthly Unit Rent (1)	Total Maximum Household Income (1)	Unit Mix	# of Units
Bachelor	37 m^2 (400 ft^2)	$850	$34,000 or less	0%	0
1-Bedroom	50 m^2 (535 ft^2)	$950	$38,000 or less	40%	2
2- Bedroom	80 m^2 (860 ft^2)	$1,162	$46,500 or less	60%	3
3-Bedroom	91 m^2 (980 ft^2)	$1,437	$57,500 or less	0%	0
TOTAL		N/A	N/A	100%	5

(1) May be adjusted periodically, as provided for under adopted City policy.
(2) 100% of affordable housing units shall meet Richmond Basic Universal Housing (BUH) standards or better.

Advisory Design Panel Comments

The Advisory Design Panel was supportive of the proposed development. Members appreciated the reinterpretation of the more typical Richmond tower and podium form and the contributions to the surrounding public realm. A variety of small refinements to the landscape plans and façade details were recommended.

A copy of the relevant excerpt from the Panel Minutes, taken February 22, 2017, is attached for reference (Attachment 3). The design response from the applicant has been included in the minutes, identified in '**bold italics**', immediately following each comment.

Analysis

Proposal Description

The massing of the proposed development is arranged to reflect the allocation of uses on the site. Double height retail spaces line both street frontages at the ground level and screen the internal parking from adjacent streets. The office uses are located in a 46.9 m (GSC) high tower component that overlooks both No. 3 Road and the interior podium-level courtyard. The residential uses are located in a 33.6 m (GSC) high midrise component that overlooks Anderson Road and the interior podium-level courtyard. Both components are set into a podium base, which is sized to express a continuous five-storey streetwall along No. 3 Road and a more residential two-storey scale along Anderson Road. Loading and five levels of parking are located within the podium. A two-storey high north-south lane runs through the podium from Anderson Road to the east-west lane and provides access to the parking entrances and loading bays.

Conditions of Adjacency

The proposed development is designed to respect both existing and future surrounding development as follows:

- <u>To the North – No. 3 Road:</u> The proposed development addresses potential future development to the north by:
  - Providing for a zero-lot line continuous podium/streetwall where the parcels meet.
  - Providing for future tower separation by locating the proposed office tower away from the common property line.

  - Providing an attractive, mid-block landscaped podium that will be visible from the site to the north.
  - Providing interim visual interest for the temporarily exposed wall along the north property line with a combination of architectural concrete, painted concrete, and metal mesh panels.
- To the North – Park Road: The proposed development addresses future development on these sites by:
  - Locating the bulk of the floor area toward the south and west areas of the subject site to support tower location flexibility on the sites to the north.
  - Providing an attractive, mid-block landscaped podium that will be visible from the site to the north.
  - Finishing the parkade wall along the lane with architectural concrete, painted concrete, and metal mesh panels to provide visual interest.
- To the East – Anderson Road: There is an existing mixed commercial and residential podium and tower development immediately to the east of the subject site. The proposed development addresses the existing development by:
  - Locating most of the residential floor area in a mid-rise building with windows oriented to the street and lane rather than to the neighbouring development.
  - Providing landscape screening of podium- and roof-level common amenity areas where they may affect privacy for adjacent units.
  - Reducing the massing along the common property line, by stepping of the podium and provision of building setbacks in various areas above the podium.
  - Treating areas of exposed common wall with architectural reveals to improve the outlook for the adjacent, primarily commercial uses.
  - Providing an attractive outlook for the residents to the multi-level landscaped podium.
- To the South and West – Anderson Road and No. 3 Road: The proposed development is separated from development to the south and west by City streets and is not expected to create significant impacts.

Urban Design - Public Realm

- Off-site Design – The site is located along a section of No. 3 Road that is designated as an "art walk" in the City Centre Area Plan (CCAP). The frontage improvements for the development are proposed to be enriched in terms of the widths of the public realm components, the level of finishing and the inclusion of public art.
  - No. 3 Road – Specific measures include:
    - A wider streetside boulevard, intended to preserve the existing street trees and incorporate a bus pad.
    - A wider bike lane and sidewalk to accommodate cyclist and pedestrian connections to and from the Canada Line station.
    - Materials and street furnishing specifications to be determined through the Servicing Agreement process.
  - Anderson Road – Specific measures include:
    - An interim frontage treatment that leaves the curb in its current location and provides for a 2.0 m wide sidewalk and a 1.85 m wide boulevard.
    - Boulevard to be finished with a combination of hard surfaces, soft landscape and trees.

  - Materials and street furnishing specifications determined through the Servicing Agreement process.
- Anderson Road Adjacent Frontage – As part of the TDM measures, the developer will be undertaking improvements in front of the existing development to the east to both upgrade them and make them consistent with the block face.
- East-West Lane – Specific measures include:
  - Frontage improvements on the north side of the subject site that will be constructed to City standards.
- Public Art – Specific measures include:
  - A Public Art contribution, which has been secured as cash-in-lieu through the rezoning.
  - The contribution will be used in conjunction with contributions from other area developments to establish a comprehensive art installation program along No. 3 Road between Granville Avenue and the Brighouse Canada Line Station.

- On-site Design – The on-site frontage components include the building setback areas along No. 3 Road and Anderson Road and the north-south lane connection accessed from Anderson Road.
  - Design of the ground level areas of the site include:
    - Gradually sloped transitions between the finished elevations of the sidewalk and the building's ground floor entries.
    - A 4.0 m building setback on both the No 3 Road and Anderson frontages that may be used to extend commercial spaces and activity into the outdoors.
    - Soft landscape set in planters combining trees, shrubs and perennials that are used to provide visual interest and define potential outdoor seating areas.
    - An enhanced north-south lane environment with decorative ground and wall finishing, including embedded lighting, to encourage pedestrian use and support public safety.
  - Design features of the building that contribute to the ground level open space include:
    - Commercial uses, with extensive glass storefronts (minimum 70% vision glass), facing the two City streets.
    - Commercial and residential lobby entrances that are inset from the storefronts.
    - Continuous glass-canopy weather protection over the storefronts.
    - Discreet canopies over the commercial and residential lobby entries.

Site and Functional Planning

- Pedestrians – Pedestrian access is provided from the two streets including: to the ground level commercial units on both frontages; from No. 3 Road to the office lobby; and from Anderson Road to the residential lobby. Pedestrian access is provided to the ground level commercial parking area through a parking lobby located on No 3 Road, as well as from the north-south lane.
- Cyclists – Commercial and residential bicycle storage is located in secure rooms in the Level 1 parkade. These have good access to both the drive aisle system and the internal building circulation. Male and female bicycle facilities are provided for the commercial uses as a TDM measure. These were secured by legal agreement through the rezoning.

- Vehicles – Vehicle access is provided from Anderson Road and from the north-south lane. Commercial and residential parking are secured separately and are accessed from both sides of the lane.
- Parking – The proposed parking meets the required parking as per the Zoning Bylaw.
- Loading – Three medium-sized truck-loading spaces are provided and are accessed from the north-south internal lane. Two of the medium truck loading spaces may be combined to create a large-sized truck space, as per the Zoning Bylaw.
- Waste Management – There are two waste storage areas (commercial and residential) at the south end of the development. Pickup will occur in the loading laybys adjacent to the north-south lane.
- On-site Functional Plans – The applicant has provided various draft plans demonstrating the location and functionality of truck manoeuvring, waste management facilities and on-site utilities (Attachment 4).

Architectural Form and Character

- Massing: The proposed massing distinctly expresses the retail, office and residential components of the development, providing good legibility for the building and the public realm. Office uses face No. 3 Road and residential uses face Anderson Road. The tower massing is concentrated toward the two street frontages, which will enhance streetscape definition and animate the streets with active uses.
- Streetscape: The typical required CCAP street setback/build-to line is 3.0 m. Consistent with the site-specific zone, the proposed street-setback/build-to lines are:
  - On No. 3 Road, 3.8 m on the ground level and 0.84 m above the ground level; and
  - On Anderson Road, 3.8 m on the ground level and 1.52 m above the ground level (office tower only). This inverts the more characteristic podium forward and tower back relationship of City Centre development.

  These setbacks were supported by staff at rezoning because:
  - The proposed development already accommodates a deep back-of-curb public realm along No. 3 Road, established to align with the typical Canada Line guideway setback to the north.
  - The proposal provides deeper building setbacks (3.8 m) at the ground level, which add to the effective size of the public realm on both streets.
  - The office tower massing establishes hierarchy between the major and minor streetscapes.
  - In the context of the large treed open space in front of City Hall, a tower forward approach helps to spatially contain and define the street.
  - The alternate form of development adds visual and spatial variety to the overall City building fabric.
- Podium: The internal rooftop podium is wrapped with both commercial and residential uses of different heights and architectural expression. Further, the podium itself is stepped. Together, these elements create a varied and active outdoor environment for the use of the commercial and residential building occupants, as well as for viewing from surrounding developments.
- Skyline: The proposed development has different height massing components, which increases skyline interest. The office tower includes a strong frame element rising above the top floor. These elements define the building at the skyline, as well as masks the more

utilitarian mechanical equipment areas located toward the centre of the roof. The residential midrise includes stepped massing for visual interest, and is topped with the indoor amenity space and a landscaped common outdoor amenity area.

- Façade Expression: The proposed building facades incorporate three different cladding languages. The podium is expressed as a glass box and faced with a simply patterned window wall. The main office and residential components are expressed as framed boxes set into the podium. Inside the frames, the window wall, sunshade and balcony treatments are varied to express the different uses and orientation conditions, as well as to provide visual interest.
  - For the office component, the north and south facades have curtain wall with randomly sized and spaced framing, plus sunshades on the south façade. The east and west façades include additional metal framing along with the random window spacing and sizing. The west façade includes an inset balcony with mock wood grain finishing for added visual interest.
  - The framed portion of the residential component, which faces north and south, has regular window spacing along with mock wood grain finishing on some of the vertical spandrel panels and overhang soffits. The balconies are articulated with a random pattern of clear glass railings and glass railings combined with metal panel upstands. The east walls of the residential component are clad in metal panels with a limited number of window openings and mock wood grain finished metal panels. Horizontal and vertical expression is more or less balanced on the office component whilst the residential component emphasizes horizontal lines.
  - Basic materials used in the project include the metal panels, vision and spandrel glass, architectural concrete and decorative metal screens. Colours for the different materials range from white through grey to blue-grey with the mock wood grain metal panel highlights.

Livability Features

- Accessibility – The proposed development will provide a variety of accessible unit types to address different abilities needs, as identified in the following table and on the architectural floor plans.

Type	Affordable	Market	Intent	Standard
Aging in Place	0	66	- Support mobility and usability	Refer to drawings.
Adaptable + Basic Universal Housing	4	4	- Renovation potential for wheelchair plus added floor area for manoeuvring	
Barrier Free	1	0	- Move in with wheelchair - Includes basic universal housing	

The features related to each accessible unit type are identified on the plans and in the Accessibility Checklist (Attachment 5).

- Safety (CPTED) – The proposed development will include a variety of safety features consistent with the principles of Crime Prevention through Environmental Design as described in the Safety (CPTED) Checklist provided by the applicant (Attachment 6).
- Noise Mitigation – The proposed development will include a variety of features that address aircraft, traffic, land use and ambient urban noise as recommended in the acoustic consultant

report(s) provided by the applicant and subject to legal agreements required through the rezoning. Further to the legal agreements required through rezoning, a commercial noise covenant is required as a Development Permit Consideration.

- Amenity Space - Residential – A range of residential amenity spaces is provided, as follows:
  - Common Indoor Amenity Space – A fitness facility, with direct access to the podium-level outdoor amenity space, and a rooftop gathering space, with access to a rooftop outdoor common amenity space, are proposed.
  - Common Outdoor Amenity Space – Outdoor amenity areas include a large, podium-level open space on Level 5, with hard and soft landscaping and a variety of seating areas; an urban agriculture patio on Level 7; and, a large rooftop patio on Level 10, with a child's play area, a BBQ, seating and games areas. The proposed outdoor amenity areas provide for a good range of activity, sun access and outlook opportunities. All common outdoor areas will be provided with automatic irrigation and gas hook ups.
- Private Outdoor Amenity Space – All residential units are provided with attached private open space in the form of balconies or patios.

Residential Amenity Space	Guideline	Proposed
Amenity Space – Common Outdoor:	938 m^2	1,470 m^2
Amenity Space – Common Child Play:	225 m^2	225 m^2
Amenity Space – Common Indoor:	135 m^2	158 m^2
Amenity Space – Private Outdoor:	450 m^2	1,336 m^2

- Amenity Space - Commercial: A range of commercial amenity space will be provided, including outdoor patios at Levels 4 and 6 and a balcony at Level 9. These patios may or may not be common to the all the office uses, depending on final leasing arrangements. The Level 4 patio is shown in association with a fitness facility for the commercial tenants.

Landscape Form and Character

- Ground Level – The ground level design includes potential for outdoor patio seating or display spaces on both street frontages, as well as an enhanced environment for the north-south lane that runs through the building. The finishing of the storefront patios is cast-in-place concrete paving with a large grid pattern. The patio areas are bordered along No. 3 Road by the adjacent City sidewalk and along the Anderson Road property line by the sidewalk and intermittent raised planters with integrated seating. The planters include deciduous trees for summer shading of the storefront areas. The north-south lane includes special ground, wall and ceiling finishing in the section adjacent to Anderson Road. The finishing includes multi-coloured, irregularly patterned, rectangular strips with staggered embedded lighting.
- Podium Levels – There are a variety of developed outdoor spaces for the commercial and residential podium levels. The proposed landscape design includes a range of paving, planter and trellis shapes, which are located on different levels, but are intended to be read as a whole when viewed from the higher levels of the subject development and from surrounding development. The associated seating areas, activity areas and circulation paths run on the diagonal and offer a geometric counterpoint to the more angular/orthogonal building design. The urban agricultural area has south and west sun exposure and includes raised planters and

small tables with seating. Where needed, landscape screening in the form of trees and hedging provide privacy and/or visual interest for the existing building to the east.

- Rooftop Level – The main communal residential outdoor amenity space is located on the roof of the main residential building component and is directly associated with an indoor amenity space. There is a children play area with ball, Blokx and metal tube play equipment, as well as recreational, eating and lounging areas.
- Letter of Credit – A landscape letter of credit for $705,008.70 is required prior to issuance of the Development Permit.

Sustainability Features

- Sustainability – The proposed development will include a variety of sustainability features, including LEED Silver equivalency, as described in Sustainability Checklist provided by the applicant (Attachment 8).
- Green Roofs – In addition to the landscaped outdoor space, the proposed development includes extensive green roof on Office Level L6.
- District Energy Utility – As a consideration of rezoning, the proposed development will be DEU-ready.

Conclusions

Staff recommends endorsement of the attached development application proposal. It generally conforms to the provisions of the ZMU31 zoning and addresses relevant OCP and CCAP DP Guidelines. The distribution of uses and of building masses provides a strong public realm interface and respects existing and future developments. A variety of off-site and on-site improvements will enhance the City's public realm, transportation and utilities infrastructure. The proposed design of the architecture and landscape architecture is attractive, functional and liveable.

On this basis, staff recommend support of this Development Permit application.

Janet Digby, Architect AIBC
Planner 3
(604-247-4620)

JD: blg

Attachments:

Attachment 1	Development Permit Considerations
Attachment 2	Development Application Data Sheet
Attachment 3	Advisory Design Panel Minutes
Attachment 4	On-site Functional Plans
Attachment 5	Accessibility Measures Checklist
Attachment 6	Safety (CPTED) Measures Checklist
Attachment 7	Sustainability Measures Checklist

Attachment 1

City of Richmond

Development Permit Considerations

File No.: DP 15-708092

Address: 6840, 6860 No. 3 Road & 8051 Anderson Road

Prior to Development Permit issuance, the developer is required to address the following considerations and conditions.

1. Receipt of a Letter-of-Credit for landscaping in the amount of $705,008.70.
2. Registration of a commercial noise covenant on Title, to the satisfaction of the City, indicating that commercial uses are required to mitigate unwanted noise and demonstrate that the building envelope is designed to avoid noise generated by the internal use from penetrating into residential areas that exceed noise levels allowed in the City's Noise Bylaw and that noise generated from rooftop HVAC units will comply with the City's Noise Bylaw.

Prior to Building Permit Issuance, the developer must complete the following requirements:

3. Incorporate information into the Building Permit plans (inclusive of architectural, landscape and other plans, sections, elevations, details, specifications, checklists and supporting consultant work), as well as any additional items referenced in "Schedule B: Assurance of Professional Design and Commitment for Field Review, including but not limited to:
    i. Statutory rights-of-way, easements, encroachments, no build areas, agreements and other legal restrictions.
    ii. Flood construction level(s).
    iii. Use, density, height, siting, building form, landscaping, parking and loading and other zoning provision requirements.
    iv. Approved form and character (e.g. massing, building components, materials, detailing and colour).
    v. Signage size and location.
    vi. Site access and vehicular crossings.
    vii. The required end-of-trip facilities.
    viii. The required car share spaces and signage identification.
    ix. The required shared commercial/visitor parking stalls.
    x. The required EV-charging and EV-ready vehicle parking stalls.
    xi. The details of the truck manoeuvring plan including, but not limited to turning templates and clear height requirements.
    xii. The details of the waste management plan including, but not limited to storage and loading facilities.
    xiii. The location of areas reserved for DEU connection facilities and notations regarding DEU pre-ducting and acceptable in-unit mechanical equipment.
    xiv. The required affordable housing units, including their size and location.
    xv. The required aging in place, basic universal, accessible, adaptable and/or convertible dwelling units, as the case may be, including their associated design features.
    xvi. The identified site and building accessibility measures on the plans, where relevant.
    xvii. The identified safety measures (CPTED) checklist and identification of specific recommended measures on the plans, where relevant.
    xviii. A LEED Checklist with measures recommended by a LEED AP BD+C to achieve LEED Silver equivalency including specific measures to be incorporated into the Building Permit plans.

xix. The additional sustainability measures identified in the sustainability checklist attached to the DP Panel report.

xx. Measures to be incorporated into the Building Permit drawings to achieve the exterior and interior noise levels and other noise mitigation standards articulated in the aircraft, mixed-use, commercial or other noise-related covenants and bylaws, as recommended in acoustic and/or mechanical report submitted with the Development Permit application.

xxi. The required residential common indoor, common outdoor and private outdoor amenity areas including their location, size, use and finishing.

xxii. The location and specifications for landscaping including requirements for automatic irrigation and hose bibs.

xxiii. The location and dimensions of any on-sire and off-site tree protection fencing illustrated in the Arborist Report and/or Tree Management Plan submitted with the DP application.

xxiv. The location and details of any required replacement trees.

4. Submission of fire flow calculations signed and sealed by a professional engineer based on the Fire Underwriter Survey to confirm that there is adequate available water flow.

5. Submission of a Fire Safety Plan applicable for the duration of construction to the satisfaction of the Richmond Building & Fire Departments.

6. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. The plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570. (http://www.richmond.ca/services/ttp/special.htm).

7. Issuance of a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Notes:

1. Some of the foregoing items may require a separate application.

2. Where the Director of Development deems it appropriate, required legal agreements are to be drawn as not only personal covenants of the property owner, but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The legal agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding Permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

3. Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

4. Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act;* which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal Permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on-site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities comply with all relevant legislation.

Excerpt from the Minutes of the

Advisory Design Panel Meeting

Wednesday, February 22, 2017 – 4:00 p.m.
Rm. M.1.003 / Richmond City Hall

2. DP 15-708092 – 12-STOREY HIGH-RISE, HIGH DENSITY MIXED USE RETAIL, OFFICE AND RESIDENTIAL WITH APPROXIMATELY 75 APARTMENTS, INCLUDING 5 AFFORDABLE HOUSING UNITS

ARCHITECT: GBL Architects

PROPERTY LOCATION: 6840 & 6860 No. 3 Road and 8051 Anderson Road

Applicant's Presentation

Daniel Eisenberg, GBL Architects, and Grant Brumpton, PWL Partnership, presented the project and answered queries from the Panel.

Panel Discussion

Comments from the Panel were as follows:

- consider introducing a green roof over the mechanical equipment on the lower office roof to improve its appearance as viewed from the upper floors;

  RESPONSE: The mechanical room has been removed and replaced with a smaller louvered/open-air enclosure for an air-handling unit and heat-rejection units. Please refer to A3.07. The overall area of the green roof has increased.

- consider a bigger tree species on the inside row of street trees along Anderson Road for a more formal landscape treatment and to provide significant canopies along the Anderson Road streetscape; will also provide a more appropriate landscaping treatment to a large south-facing building façade with good sun exposure;

  RESPONSE: A larger tree species will be provided as recommended.

- proposed rooftop amenity spaces are well organized;

- consider introducing structures (e.g., storage shed and harvest table) and informal play space for children to support urban agriculture program area;

  RESPONSE: Storage has been integrated into one of the planters. We believe the area provides sufficient area for informal children's play including riding trikes. Outdoor food preparation and dining facilities are available at other shared amenity areas nearby. We considered adding a harvest table to this amenity area, but it would require the reduction of urban agriculture planter area.

- consider introducing more trees on the rooftop outdoor amenity area for the residential mid-rise to provide shading to the children's play area at the southwest corner; appreciate the indoor amenity area adjacent to the outdoor amenity space;

  RESPONSE: Shade trees have been added.

- consider maximizing the green roof area and making it an intensive green roof in view of the significant sun exposure to the rooftop;

  RESPONSE: Extensive green area has been reduced and accessible roof area has been increased. Program elements have been adjusted to suit.

- appreciate the public aspects of the proposed development, particularly the continuous use of glass façade at ground level; hope that the future development to the north will have an appropriate interface with the subject development;

- appreciate the materials package provided by the applicant which include the design rationale, diagrams, and previous and current proposals; helped the Panel better understand the project;

- support the project in general; overall massing and urban character of the buildings are appropriate for the site context; residential mid-rise with horizontal expression complements the verticality of the office tower; the project will be a good addition to the neighbourhood;

- appreciate the design of the ground level north-south lane under the residential mid-rise building; proposed lighting in the lane will enhance its visibility and visual appeal;

- review the finer details in the materiality of the buildings, e.g., the way in which claddings are joined to each other;

  RESPONSE: Finer details are being developed and will be submitted at BP stage. Please refer to A5.11, A5.13, A5.14, A8.01, A8.02, A8.03, & A8.05.

- consider larger glass panels on the curtain wall on the west facade as opposed to smaller glass panels;

  RESPONSE: Bigger glass panels will be considered (5 ft. modules where possible). Please refer to A10.01 through A10.04.

- patterning of the glazing on the north and south facades of the office tower are different; tie-in the patterning on the two facades of the office tower to enhance the overall visual appeal of the office tower;

  RESPONSE: Both patterns will be revised to tie-in the patterning. Please refer to A10.01 and A10.04.

- consider longer and more elegant louvers on the southern façade of the office tower to provide more shading;

  RESPONSE: Louver details to be provided at BP stage. Please refer to detail #1 on sheet A8.02.

- consider design development to the vertical dividers between the residential units along the continuous balconies in the mid-rise residential building to enhance the appearance of the building;

  RESPONSE: Balcony screen details to be provided at BP stage.

- generally support the proposed cladding materials; however, ensure the proposed alucobond brushed metal finishes are not too reflective;

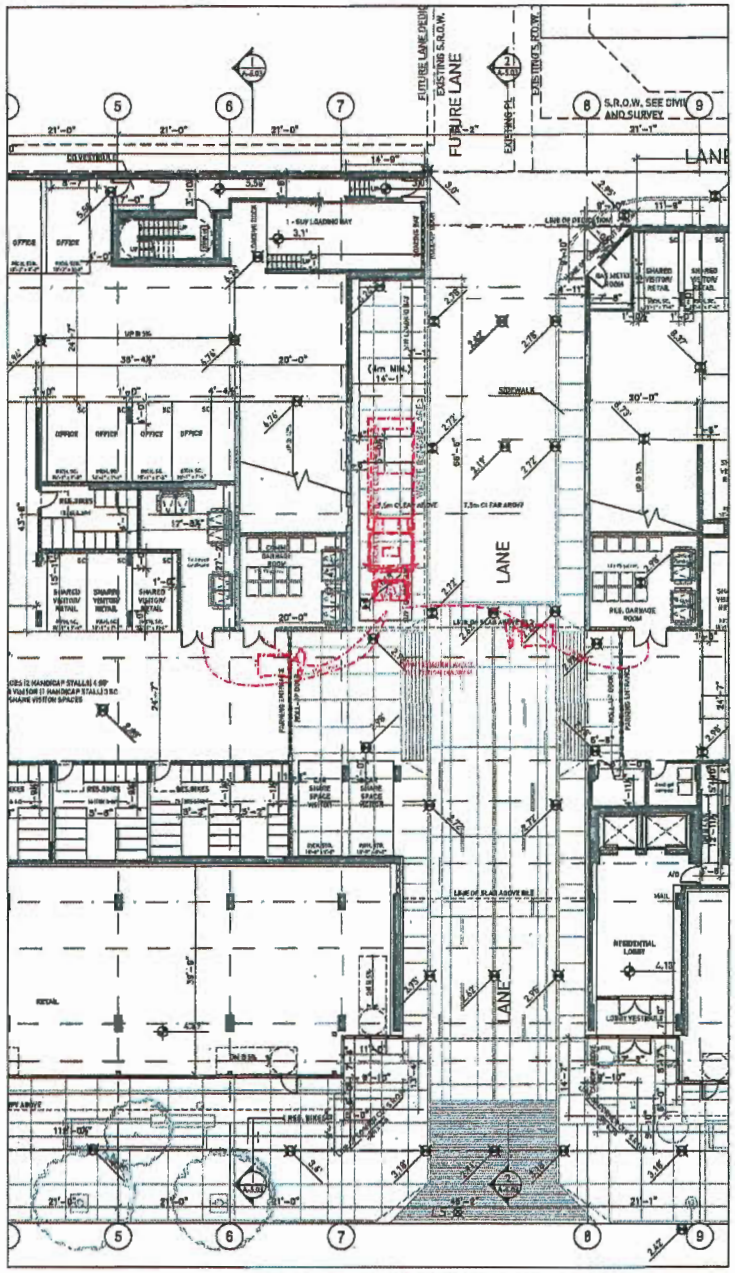
  RESPONSE: A material sample board has been submitted. Applicant will revise materials upon recommendations of Staff.

- applicant has addressed all issues previously raised by the Panel and proposed responses are satisfactory; applicant made a clear presentation on the past and current versions of the proposed development;
- the proposed development is well thought out and will provide a good precedent for other high-density projects in the neighbourhood; and
- the proposed development is supported as it achieves (i) improvements in grade level relationships between the buildings and immediate context, (ii) urban street edges, (iii) appropriate building separations, and (iv) clearly defined spatial boundary.

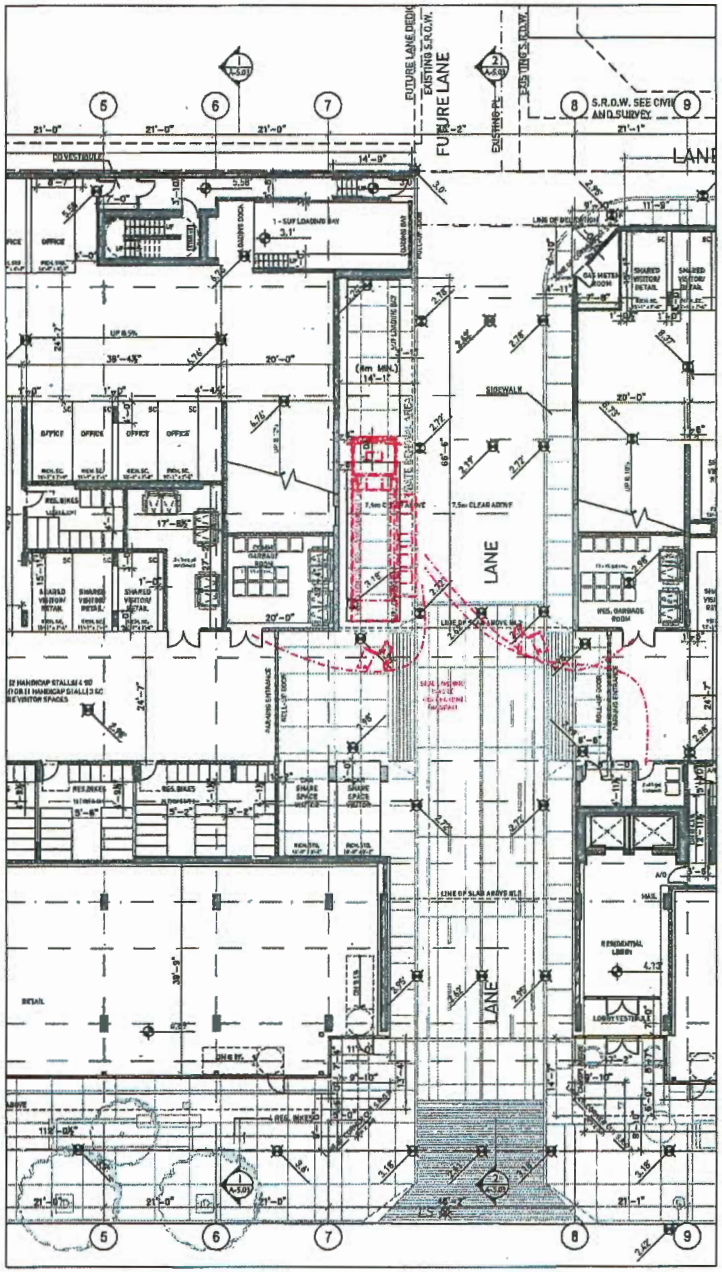
Panel Decision

It was moved and seconded
That DP 15-708092 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



WASTE COLLECTION DIAGRAM - FRONT LOADING



WASTE COLLECTION DIAGRAM - SIDE LOADING

gbl

NOTES

a minimum of 20% of parking stalls to be provided with a 120V receptacle to accommodate electric vehicle charging equipment.

25% of parking stalls to be constructed to accommodate the future installation of electric vehicle charging equipment(e.g. pre-ducted for future wiring)

NO.	DATE	REMARKS
1	[illegible]	CLIENT REVIEW
2	[illegible]	CLIENT REVIEW
3	[illegible]	CLIENT REVIEW
4	[illegible]	CITY REVIEW
5	[illegible]	ISSUED FOR DEVELOPMENT
6	[illegible]	ISSUED FOR DP
7	[illegible]	RE-ISSUED FOR DP
8	[illegible]	RE-ISSUED FOR DP
9	[illegible]	RE-ISSUED FOR DP

N

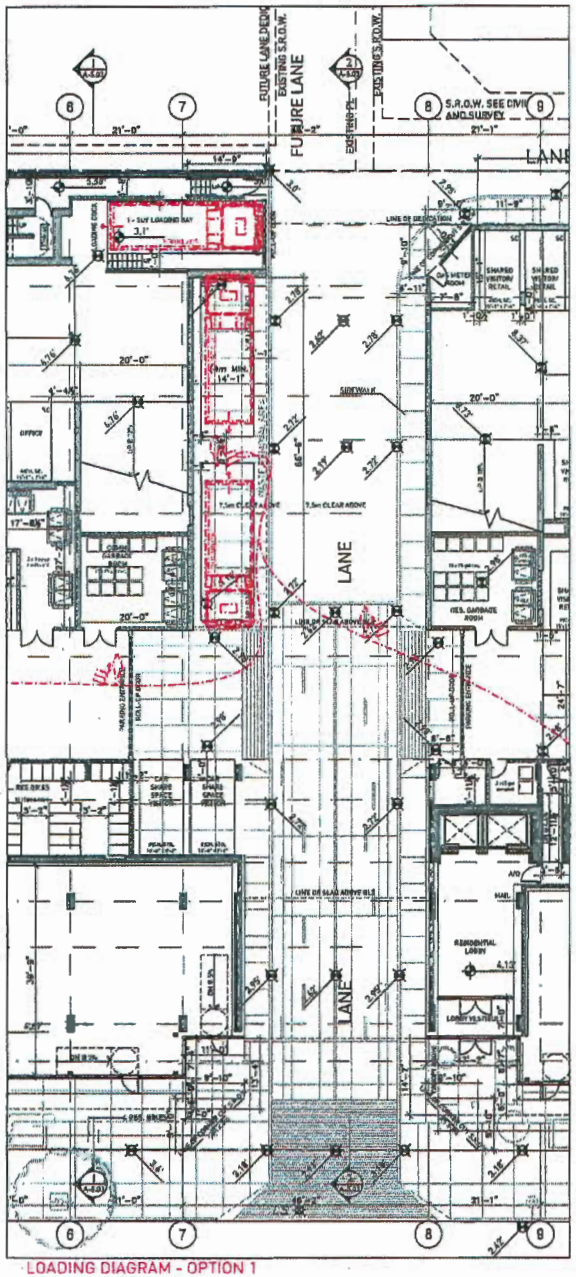
IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

L1 FLOOR PLAN
GARBAGE COLLECTION DIAGRAMS

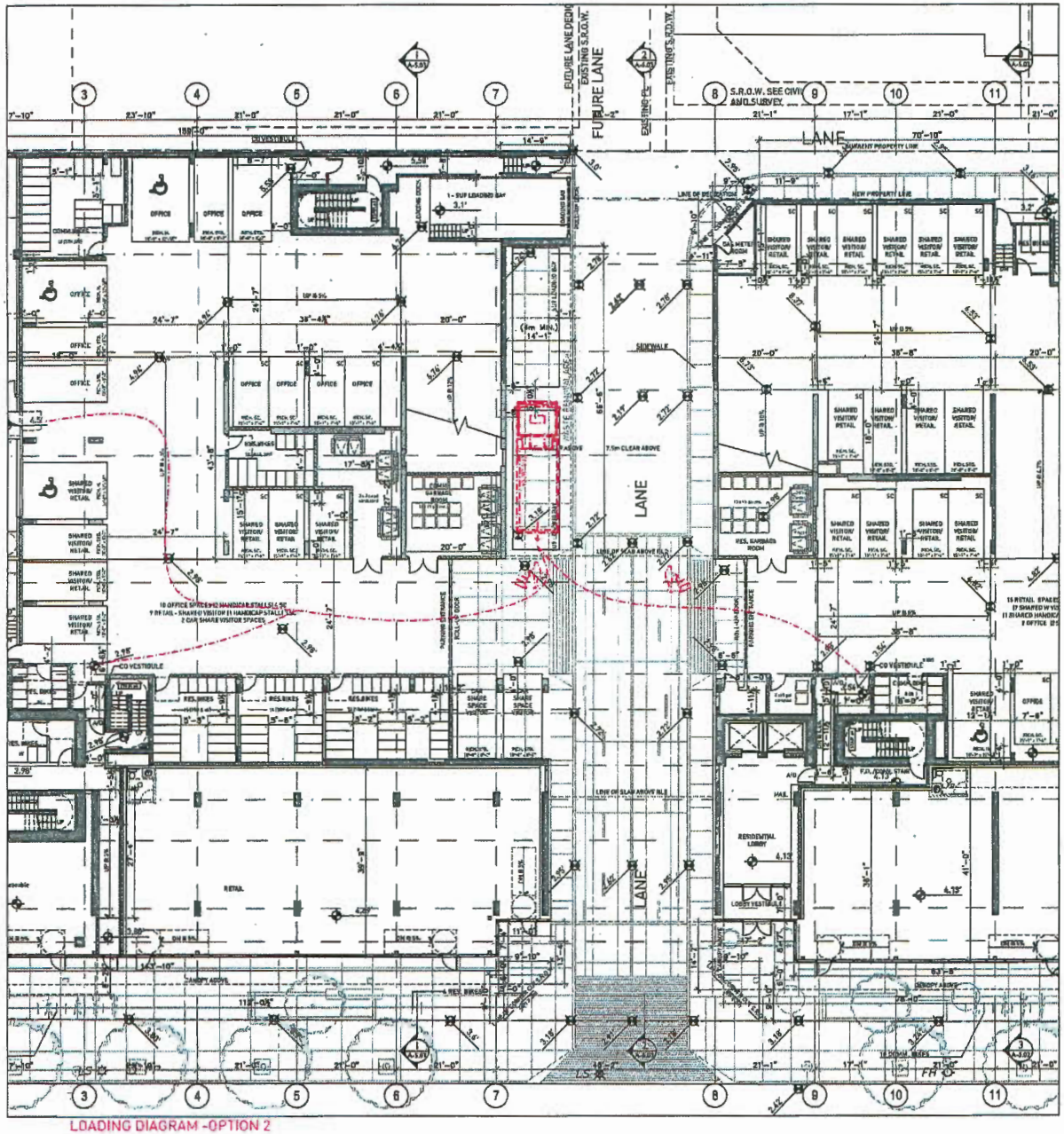
DATE	DATE
DRAWN BY	DE
CHECKED BY	AG
SCALE	1/32"=1'-0"
JOB NUMBER	1441

A-1.07

ATTACHMENT 4



LOADING DIAGRAM - OPTION 1
(TANDEM LOADING)



LOADING DIAGRAM -OPTION 2
SINGLE TRUCK LOADING

gbl

a minimum of 20% of parking stalls to be provided with a 120V receptacle to accommodate electric vehicle charging equipment.

25% of parking stalls to be constructed to accommodate the future installation of electric vehicle charging equipment(e.g. pre-ducted for future wiring)

N

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

L1 FLOOR PLAN
LOADING DIAGRAMS

DATE	DATE
DRAWN BY	DS
CHECKED BY	AG
SCALE	1/32"=1'-0"
JOB NUMBER	1441

A-1.08

Accessibility Measures:

Type	Affordable	Market	Intent	Standard
Aging in Place	0	66	- Support mobility and usability	Per OCP
Adaptable + Basic Universal Housing	4	4	- Renovation potential for wheelchair plus added floor area for manoeuvring	Per BCBC and RZB
Barrier Free	1	0	- Move in with wheelchair - Includes basic universal housing	Per BCDH

DEFINITION OF RESIDENTIAL UNIT TYPES:

AGING IN PLACE: PER OCP, PAGE 3-17, UNITS WILL HAVE HANDRAILS ON BOTH SIDES OF STAIRWELLS, LEVER TYPE HANDLES FOR PLUMBING FIXTURES AND DOORS, AND SOLID BLOCKING IN BATHROOMS TO FACILITATE GRAB BAR INSTALLATION NEAR TOILET, BATHTUB AND SHOWER.

ADAPTABLE (OR "UNIVERSAL ACCESS": PER BCBC 2012 SECTION 3.8, UNITS WILL HAVE CLEARANCES IN FRONT OF DOORS, BATHTUBS, SHOWERS, TOILETS AND VANITIES. KITCHENS WILL HAVE CONTINUOUS COUNTERSPACE BETWEEN RANGE AND SINK. UNITS WILL BE PRE-WIRED FOR INSTALLATION OF VISUAL ALARM SYSTEMS. ALL OUTLETS WILL BE NO LESS THAN 18" AFF AND NO MORE THAN 3' AFF. ALL CONTROLS AND SWITCHES WILL BE NO MORE THAN 48" AFF. SEE BCBC 2012 AND CFT CODE REPORT FOR FURTHER DETAILS.

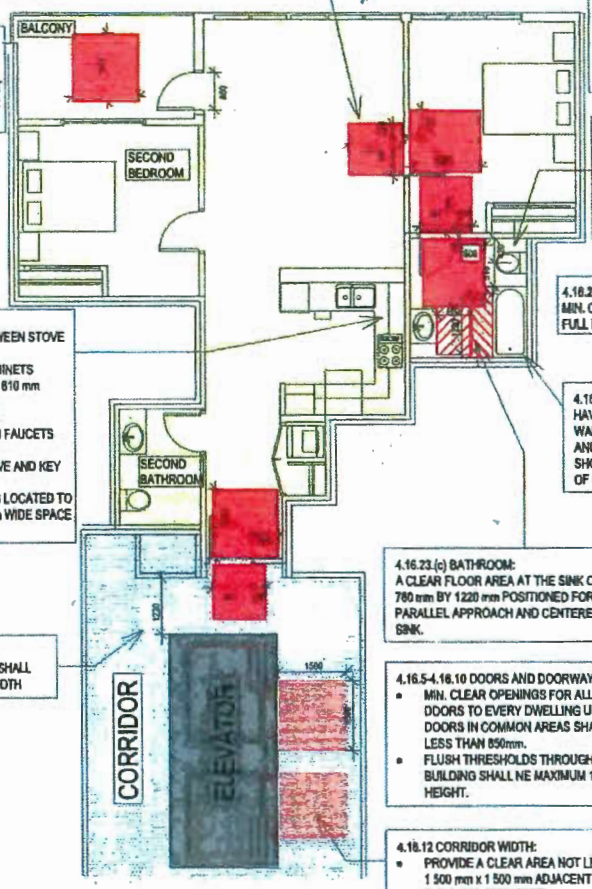
BARRIER FREE: PER OCP PAGE 3-18, UNIT WILL MEET ALL REQUIREMENTS OF ADAPTABLE, OR "UNIVERSAL ACCESS", AS WELL AS: GRAB BARS IN BATHROOMS AT TOILET AND SHOWER / TUB LOCATIONS, COUNTERTOPS NO MORE THAN 32" AFF, VANITIES AND KITCHEN CUPBOARDS WITH KNEE SPACE UNDERNEATH SINK AND RANGE LOCATIONS, ONE WHEEL-IN SHOWER STALL PER UNIT, ALL CORRIDORS AT LEAST 42" WIDE, ALL APPLIANCES TO BE ACCESSIBLE TO 48" AFF.

4.16.11 MANEUVERING SPACE:
DOORWAYS PROVIDING ACCESS TO COMMON LIVING AREAS AND AT LEAST ONE BATHROOM AND ONE BEDROOM:
- CLEAR OPENING WIDTH OF NOT LESS THAN 800 mm.
- WHEN DOOR SWING IS AWAY FROM THIS AREA, NOT LESS THAN 1 220 mm LONG BY A WIDTH EQUAL TO THE DOOR ASSEMBLY PLUS NOT LESS THAN 300 mm
- WHEN THE DOOR SWING IS TOWARD THIS AREA, NOT LESS THAN 1 500 mm LONG BY A WIDTH OF THE DOOR ASSEMBLY PLUS NOT LESS THAN 600 mm
- ENTRY DOORS TO EVERY DWELLING UNIT ARE EXEMPTED FROM THE REQUIREMENT TO PROVIDE THE 1200mm LONG CLEAR AREA AND 300mm OR 600mm CLEAR SPACE IF ROUGH IN WIRING IS PROVIDED FOR FUTURE CONVERSION FOR AN AUTOMATIC DOOR OPENER.

4.16.16-4.16.17 WINDOWS:
- AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM SHALL HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750mm ABOVE THE FLOOR TO AFFORD SEATING VIEWING.
- "ACCESSIBLE" WINDOW HARDWARE ON THE ACCESSIBLE WINDOWS.

4.16.26-4.16.27 BEDROOM AND CLOSET:
- SUFFICIENT SPACE TO PROVIDE A TURNING DIAMETER OF 1500mm ON ONE SIDE OF A DOUBLE BED IN AT LEAST ONE BEDROOM
- CLOTHES CLOSET IN AT LEAST ONE BEDROOM TO HAVE CLEAR OPENING OF 900 mm, CLEAR FLOOR SPACE OF AT LEAST 750x1200mm AND CLOTHES HANGER ROD THAT CAN BE LOWERED TO 1200 mm

4.16.28-4.16.29 PATIOS AND BALCONIES:
- ACCESS DOOR SHALL HAVE A MIN. CLEAR OPENING OF 800 mm.
- MIN. DIMENSION OF 1500x1500 mm (EXCEPT "JULIET" OR "FRENCH" STYLE BALCONY OR PATIO.



4.16.23.(a) BATHROOM:
HAVE A TOILET POSITIONED WITH THE CENTERLINE OF THE TOILET 420 mm TO 480 mm FROM A SIDE WALL ON WHICH GRAB BAR CAN BE INSTALLED AND AT LEAST 510 mm FROM ANY OBSTRUCTION ON THE NON-GRAB BAR SIDE AND AT LEAST 800 mm FROM ANY OBSTRUCTION IN FRONT OF THE TOILET.

4.16.23.(c) BATHROOM:
MIN. CLEAR AREA OF 510 mm IN DEPTH ALONG THE FULL LENGTH OF THE BATHTUB.

4.16.25 KITCHEN:
- CONTINUOUS COUNTER BETWEEN STOVE AND SINK
- ADJUSTABLE SHELVES IN CABINETS
- PULL- OUT WORK BOARDS AT 610 mm HEIGHT
- PULL- OUT CABINET SHELVES
- EASY TO GRASP HANDLES ON FAUCETS AND CUPBOARDS
- TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS
- PLUMBING AND UTILITY PIPES LOCATED TO PROVIDE A POTENTIAL 610mm WIDE SPACE UNDER THE COUNTER

4.16.23.(d) BATHROOM:
HAVE STRUCTURAL REINFORCEMENT IN WALLS BEHIND AND BESIDE THE TOILET AND THE WALLS AROUND THE TUB AND/OR SHOWER TO FACILITATE THE INSTALLATION OF GRAB BARS.

4.16.23.(c) BATHROOM:
A CLEAR FLOOR AREA AT THE SINK OF NOT 760 mm BY 1220 mm POSITIONED FOR A PARALLEL APPROACH AND CENTERED ON THE SINK.

4.16.12 CORRIDOR WIDTH:
- CORRIDORS AND PASSAGEWAYS SHALL BE NOT LESS THAN 1 220 mm IN WIDTH

4.16.5-4.16.10 DOORS AND DOORWAYS:
- MIN. CLEAR OPENINGS FOR ALL ENTRY DOORS TO EVERY DWELLING UNIT AND DOORS IN COMMON AREAS SHALL BE NO LESS THAN 850mm.
- FLUSH THRESHOLDS THROUGH THE BUILDING SHALL NE MAXIMUM 13mm IN HEIGHT.

4.16.12 CORRIDOR WIDTH:
- PROVIDE A CLEAR AREA NOT LESS THAN 1 500 mm x 1 500 mm ADJACENT TO THE ELEVATOR ENTRANCE

4.16.2-4.13.4. BUILDING ACCESS :
- DWELLING UNITS AND AMENITIES TO BE ACCESSIBLE FROM A ROAD AND PARKING
- ACCESS TO ELEVATOR SHALL BE PROVIDED FROM BOTH THE ROAD AND THE ENTRY TO THE ON-SITE PARKING AREA.
- AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED FROM THE MAIN ENTRY.

4.16.19-4.16.22 OUTLETS AND SWITCHES :
- LIGHT SWITCHES AND ELECTRICAL PANELS SHALL BE 900 TO 1200 mm FROM THE FLOOR.
- INTERCOM BUTTONS SHALL BE MAX. 1375 mm FROM THE FLOOR
- ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED 455 TO 1200 mm FROM THE FLOOR.
- THERMOSTAT SHALL BE LOCATED BETWEEN 900 TO 1200 mm FROM THE FLOOR.
- THE OPERABLE PART OF THE CONTROLS SHALL BE LOCATED WITHIN REACH OF A CLEAR FLOOR AREA THAT HAS A WIDTH OF NOT LESS THAN 750mm
- ROCKER OR PADDLE- TYPE LIGHT SWITCHES.

4.16.13-4.16.15 FLOOR SURFACES :
- FLOOR SURFACES THROUGHOUT THE BUILDING, EXCEPT EXTERIOR BALCONY, PATIO AND DECK DOOR SILLS, SHALL HAVE NO ABRUPT CHANGES IN LEVEL (BREAK OF THE FLUSH THRESHOLD OF 13 mm HEIGHT)
- FLOOR SURFACES SHALL BE SLIP RESISTANT.

CFT Engineering Inc.
#800 - 1901 ROSSER AVENUE,
BURNABY, BC V5C 6R6
PH : 604-684-2384
FAX : 604-684-2402

RICHMOND ZONING BYLAW 8500
BASIC UNIVERSAL DESIGN FEATURES

MAY 28, 2013

Safety (CPTED) Measures:

- Entrance to parking from the lane is protected by overhead gates. Additional gate between residential and commercial are provided to minimize theft.
- Well lit parking areas with use of white paint throughout to enhance brightness and security.
- Secured garbage/recycling, storage and bike rooms.
- Electronic security features to lobby and other entries to limit and control access.
- Maximized visibility avoiding end-end corridors.
- Covered portion of the lane will be well lit and finished with high quality graffiti proof wall cladding,
- Glazing in all vestibule doors and enclosed corridors.
- Additional safety windows on side walls of vestibules in parkade for more view angles.
- Continuous retail frontage at grade along both streets with access to parking from one main commercial lob

ATTACHMENT 07

Sustainability Narrative

DATE:	April 1, 2016
TO:	Matt Slagyn, Daniel Eisenberg
FROM:	Kevin Welch
RE:	iFortune Green Building Features

Project Goals
This project and design team are committed to embracing green building
operations. The project will be registered with the Canadian Green Building Co
designation of Silver through LEED® 2009 for New Construction and Major
Compliance.

Green Building Strategy
Measures being implemented to demonstrate iFortune's sustainability perform
represent 54 points in the LEED® 2009 Core & Shell rating system and includ
What follows is a detailed description of how these targets will be reached al
the development, in attempts to reach LEED® Silver:

Sustainable Sites-
The site of the project is located in a dense downtown urban core, with opti
public transit options. Within a 400 m radius (approx. 5 minute walk) the
within 800 m (approx. 10 minute walk) lies access to the Richmond Brig
transit combined with local access to car share vehicles within 400 m, th
advantage for carless commuters.

Urban heat island effect will also be mitigated through the use of parking
and reflective roofing surfaces.

Water Efficiency-
The project will address water management through two design approach
flow plumbing fixtures, the project will be targeting a 40% reduction in th
Secondly, through the selection of drought resistant vegetation and water
provide a smart, integrated, approach to reducing demand on the City's sa
treated water supplies.

Energy and Atmosphere-
To achieve a minimum of five EAc1 credits or a 15% reduction from ASH
high performance building envelope, mechanical system, and electrical de
Refer to Appendix A- iFortune Design Assist Energy Modelling Repor
discussed to achieve such energy performance. View Glass for Office and
and LEED EAc1 points.

In addition to its high performance design, the development will be comm
and energy management of the entire development for the duration of
continued energy savings and environmental benefit beyond the initial des

Materials and Resources-
Construction waste management will be an integral part of the building p
through smart product selection, packaging and transport. Furthermore,

13 Points

will be addressed through a comprehensive waste management plan, detail
diversion of standard debris from landfill. Recycled content will be sought
steel and glass components, reducing the impact of extracting of virgin m
value in the recycling chain and so once the service life of the proposed buil
into new building materials is a viable option.

Indoor Environmental Quality-
To further improve the indoor air quality of the building, interior finishes a
the quantities of harmful Volatile Organic Compounds (VOCs) released
potential air contamination from construction activities, an Indoor Air Qual
construction and pre-occupancy phases to meet and exceed industry st
filtered using MERV 13 filtration where possible to maintain the highest qu

12 Points

Innovation in Design and Regional Priority-
To innovate, the project will consider the use of green education and gr
occupants with the information they need to improve their own overall susta
project. Other opportunities being considered include the use of LED ligh
highly toxic mercury commonly found in florescent lighting fixtures.

As strategies discussed above support a holistic approach to reducing the proj
while simultaneously providing a healthy downtown lifestyle supportive of a red
of LEED, the strategies discussed above are amongst those targeted to achie

Through adoption the proposed energy performance parameters as outlined in
Modeling Report, iFortune's sustainability strategy was able to focus on build
Were the parameters identified for a minimum of 5 EAc1 points not to be in
alternatives would need to be considered:

SSc4.3- Electric Vehicle Charging (3 points)
-Provide class II charging stations for 3% of the project's total parking
-Designate these spaces with signage to be for EV charging only

6 Points

EAc5- Measurement and Verification (3 points)
-Develop a project specific Measurement and Verification plan for instal
the performance of the building's energy conservation measures ove
-Install additional metering and update Energy model after occupancy

Were additional energy savings to be found through the use of the View
commercial buildings. The additional saving found could allow for the eliminati
intensive credits like the following:

SSc5.1- Protect and Restore open Space (1 Point)
-Provide at least 20% of site area in accessible native vegetation

4 Points

MRc3- Regional Materials (1 Point)
-Source 20% (by cost) of project materials within 800 km of the project

Considering these and other options available to the project the LEED Silver e
once the energy performance of the building has been affirmed.

INTEGRAL GROUP

print date 29/03/2016

	Required
lls, Floors, and Roof	1 - 5
	1 - 2
	1
	1 - 2
	1 - 2
	1
ince	Required
Control	Required
	1
	1
During Construction	1
d Sealants	1
oatings	1
tems	1
Vood and Agrifibre Products	1
e Control	1
omfort	1
	1
	1
	1
	1
ormance-(SSc4.1 or SSc7.1)	1
cape Management Plan)	1
ighting)	1
	1
	1
nly: SSc2 - Development Density	1
nly: MRc2 - Construction Waste M	1
nly: WEc3 - Water Use Reduction	1

gbl

GBL ARCHITECTS
131 EAST 8TH AVENUE
VANCOUVER, CANADA V5T 1R8
T 604 736 1156 F 604 731 5279
GBLARCHITECTS.COM

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PLOT INFO.

NOTES

NO DESCRIPTION

REVISIONS

NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
2.	JULY 31 2014	CLIENT REVIEW
3.	NOV 12 2014	CITY REVIEW
4.	DEC 22 2014	ISSUED FOR REZONING
5.	AUG 12 2015	ISSUED FOR DP
6.	AUG 24 2016	RE-ISSUED FOR RZ/DP
7.	DEC 12 2016	RE-ISSUED FOR RZ/DP
8.	MAR 15 2017	RE-ISSUED FOR RZ/DP

N

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

SUSTAINABILITY

DATE	DATE
DRAWN BY	DE
CHECKED BY	AB
SCALE	
JOB NUMBER	A-1.04

City of Richmond

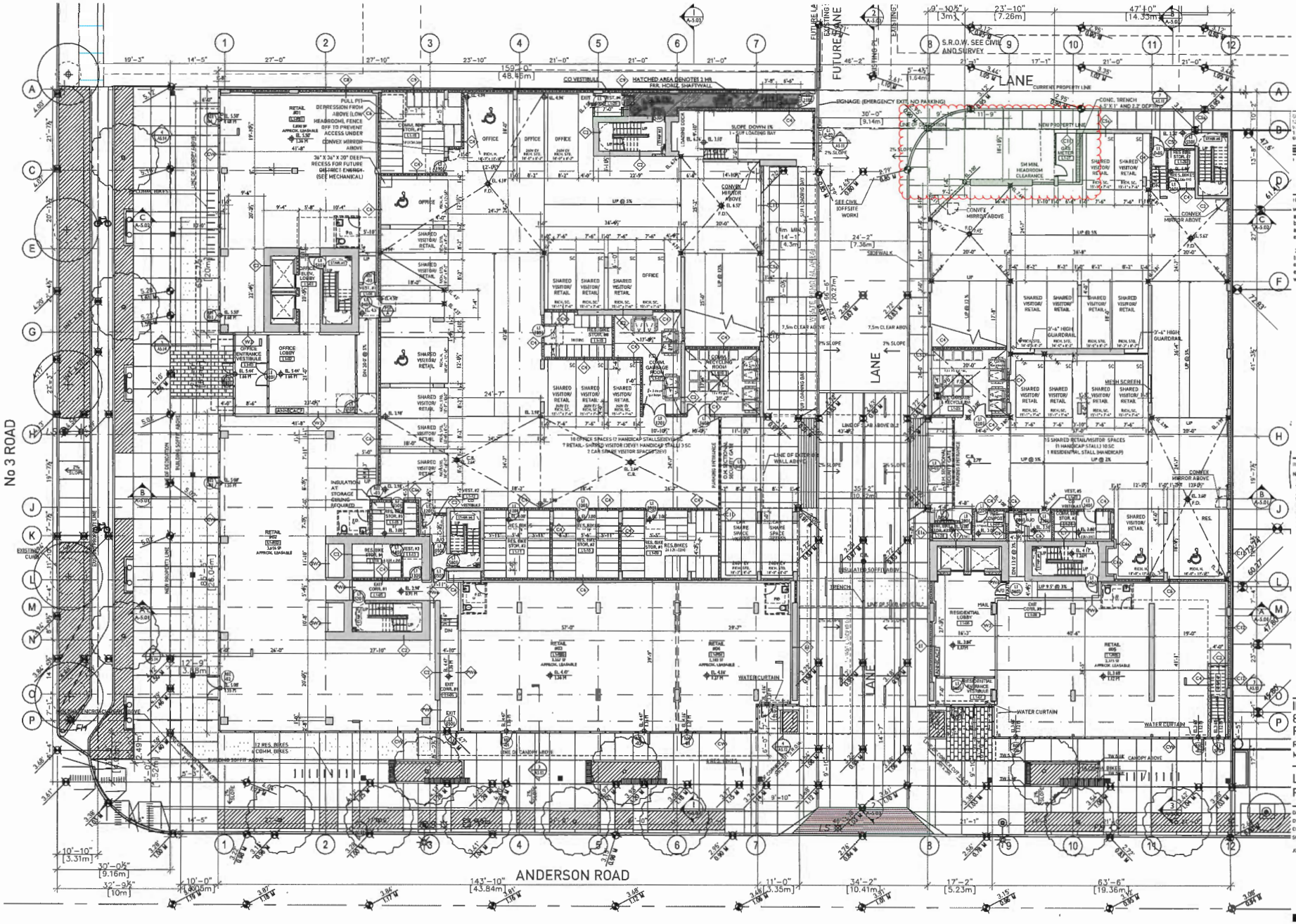
Development Application Data Sheet

DP 15-708092	
Address:	6840, 6860 No. 3 Road & 8051 Anderson Road
Owner/Applicant:	1004732 BC Ltd. (c/o – Matt Stogryn, IFortune Homes)

DP 15-708092 (RZ 14-678448)	Rezoning	Development Permit
Land Uses:	Downtown Commercial/Residential	Downtown Commercial/Residential
Zoning:	ZMU31	ZMU31
Site Area (before and after dedications):	5219.39 m^2 / 4778.50 m^2	5219.39 m^2 / 4778.50 m^2
Net Development Site Area (for floor area calculation):	4881.26 m^2	4881.26 m^2
Number of Residential Units Total:	75 (70 market + 5 LEMR)	75 (70 market + 5 LEMR)

DP 15-708092	Required/Permitted	Proposed	Variance
Residential FAR (max):	1.6	1.59	None
Commercial FAR (max):	2.25	2.24	None
Indoor Amenity Space:	0.1	0.03	None
Total FAR (max:	3.85	3.83	None
Floor Area (max):	18,796 m^2	18,700.64 m^2	None
Lot Coverage (max):	90%	64%	None
Setback – Front Yard (min):	3.8/0.8 m	3.8/0.8 m	None
Setback – Exterior Side Yard (min):	3.8/1.5 m	3.8/1.5 m	None
Setback – Interior Side Yard (min):	0.0 m	0.0 m	None
Setback – Rear Yard (min):	0.0 m	0.0 m	None
Setback – Public Open Space at doorways (min):	1.5 m	1.5 m	None
Height Dimensional (GSC) (max):	47.0 m	46.94 m	None
Height Accessory (max):	12.0 m	n/a	None
Subdivision/Lot Size (min):	4780 m^2	4882 m^2	None
Off-street Parking – Commercial (incl. Accessible, EV) (min):	158	n/a	None
With TDM Reduction (10% on commercial parking):	141	~~152~~143	None
Off-street Parking – Residential (incl. Accessible, EV) (min):	75	~~82~~80	None
With TDM Reduction (0% on residential parking):	n/a	n/a	None
Off-Street Parking – Car Share (min):	2	2	None
Off-street Parking – Total (incl. Accessible, EV, CS) (min):	218	~~236~~225	None

Off-Street Parking – Visitor Parking (shared) (min):	15	15	None
Off-Street Parking – Disabled (Commerc'l + Resident'l) (min):	3+2	3+2	None
Small Car Stalls (max):	50%	48%	None
Class 1 Bicycle Parking – Commercial (min):	25	27	None
Class 2 Bicycle Parking – Commercial (min):	36	44	None
Class 1 Bicycle Parking – Residential (min):	94	94	None
Class 2 Bicycle Parking – Residential (min):	15	15	None
Loading – Medium (min per rezoning):	3	3	None
Loading – Large (min per rezoning):	2	2	None
Amenity Space – Common Outdoor:	938 m^2	1,470 m^2	None
Amenity Space – Common Child Play:	225 m^2	225 m^2	None
Amenity Space – Common Indoor:	488 m^2	158 m^2	None
Amenity Space – Private Outdoor:	450 m^2	1,336 m^2	None



gbl

GBL ARCHITECTS
1304 EAST 8TH AVENUE
VANCOUVER, BRITISH COLUMBIA V5T 1R5
T 604.736.1004 F 604.736.1015
WWW.GBLARCHITECTS.COM

HIGH INFILL

NOTES

NO.	DESCRIPTION
1.	a minimum of 20% of parking stalls to be provided with a 120V receptacle to accommodate electric vehicle charging equipment.
2.	25% of parking stalls to be constructed to accommodate the future installation of electric vehicle charging equipment(e.g. pre-ducted for future wiring)

REVISIONS

NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
2.	JULY 31 2014	CLIENT REVIEW
3.	NOV 12 2014	CITY REVIEW
4.	DEC 22 2014	ISSUED FOR REZONING
5.	AUG 12 2015	ISSUED FOR DP
6.	AUG 26 2016	RE-ISSUED FOR RZ/DP
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9.	OCT. 13 2017	RE-ISSUED FOR RZ/DP COMMENTS
10.	DEC. 4 2017	ISSUED FOR BUILDING PERMIT
11.	SEP. 18 2018	REVISED RZ/DP

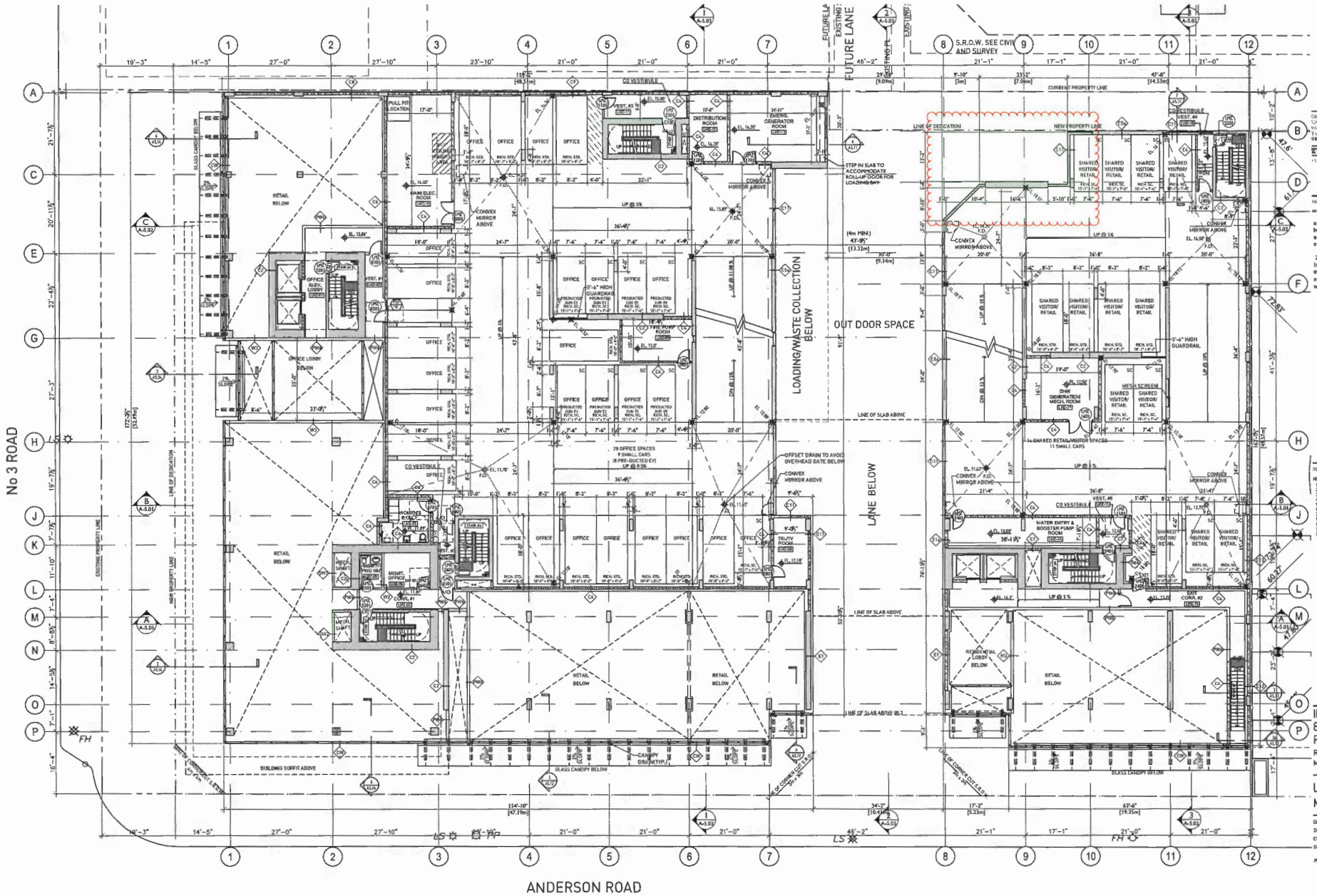
IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

L1
FLOOR PLAN

DATE	DATE
DRAWN BY	BS / MD
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1441

A-3.00

ATTACHMENT C



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1-1047 STEVESTON HIGHWAY
RICHMOND, CANADA V6Y 1W9
T 604.732.1105 F 604.732.1107
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NOTES

NO. DESCRIPTION

a minimum of 20% of parking stalls to be provided with a 120V receptacle to accommodate electric vehicle charging equipment.

25% of parking stalls to be constructed to accommodate the future installation of electric vehicle charging equipmentle.g. pre-ducted for future wiring)

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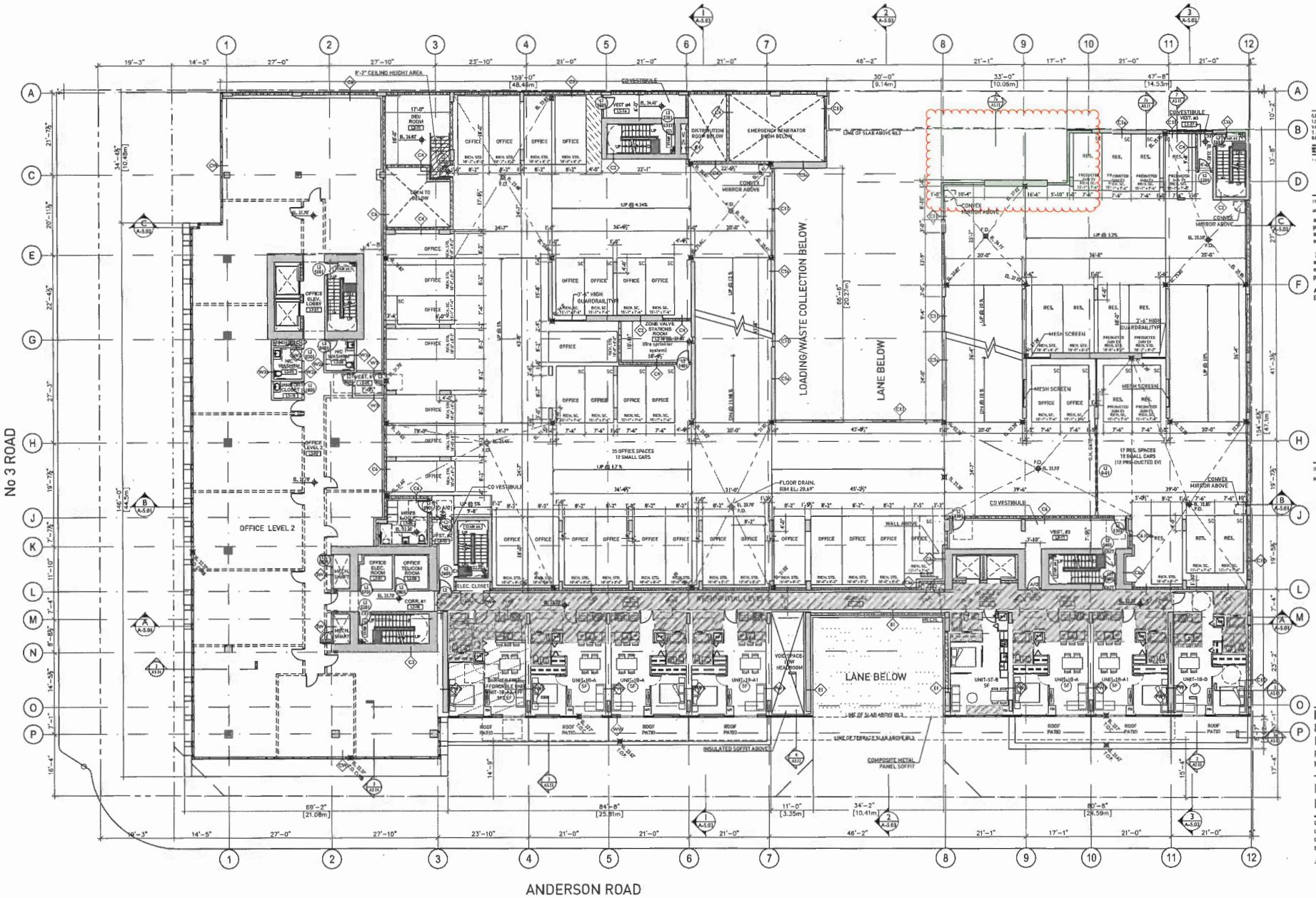
IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

L1
MEZZANINE

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1441

A-3.01



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GBL ARCHITECTS
1.39 EAST 8TH AVENUE
VANCOUVER CANADA V5T 1Ns
T 604 736 1436 F 604 736 3477
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NOTES

NO DESCRIPTION

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ABBREVIATIONS:
B.U.H. =Basic Universal Housing features

REVISIONS

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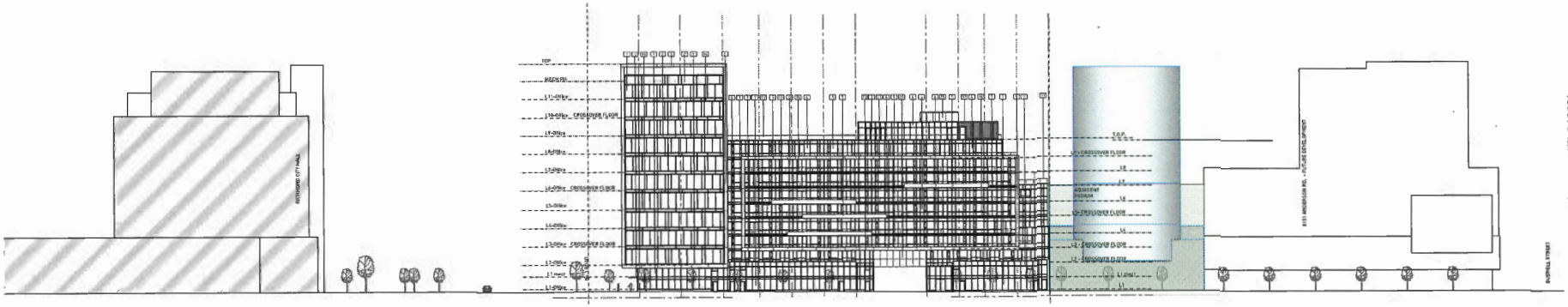
N

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

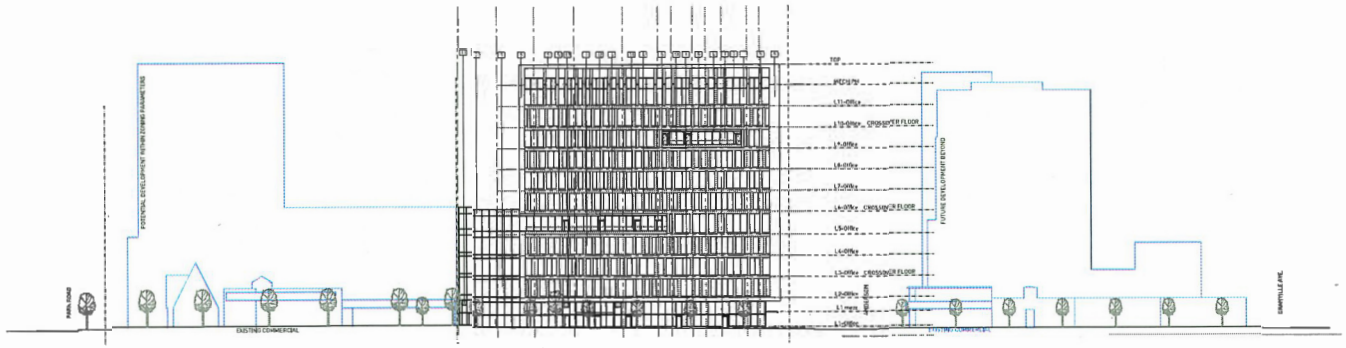
RES. L2 OFFICE. L2
FLOOR PLAN

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1441

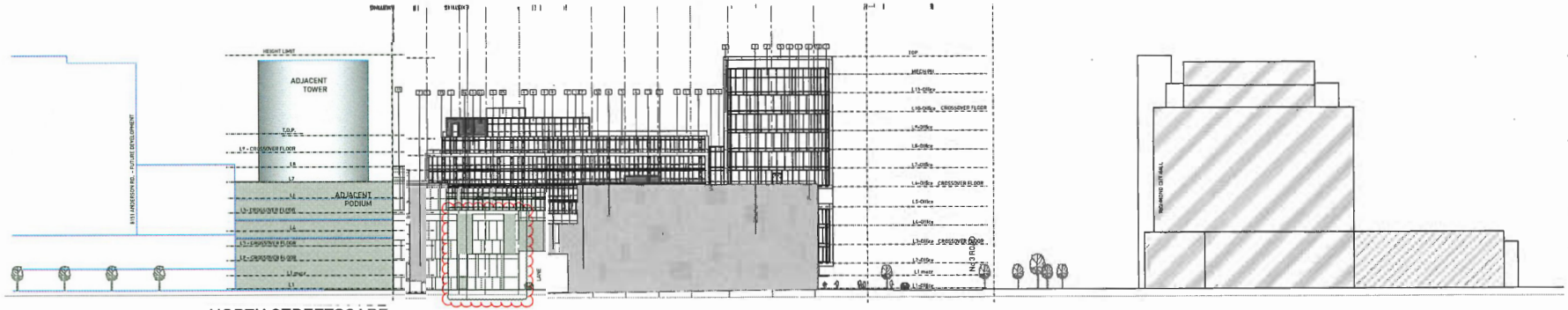
A-3.02



SOUTH STREETSCAPE (ANDERSON ROAD)



WEST STREETSCAPE (No 3 ROAD)



NORTH STREETSCAPE

gbl

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NO.	DATE	REMARKS
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2.	JULY 31 2014	CLIENT REVIEW
3.	NOV 12 2014	CITY REVIEW
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IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

STREETSCAPE ELEVATIONS

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	1/32" = 1'-0"
JOB NUMBER	1441

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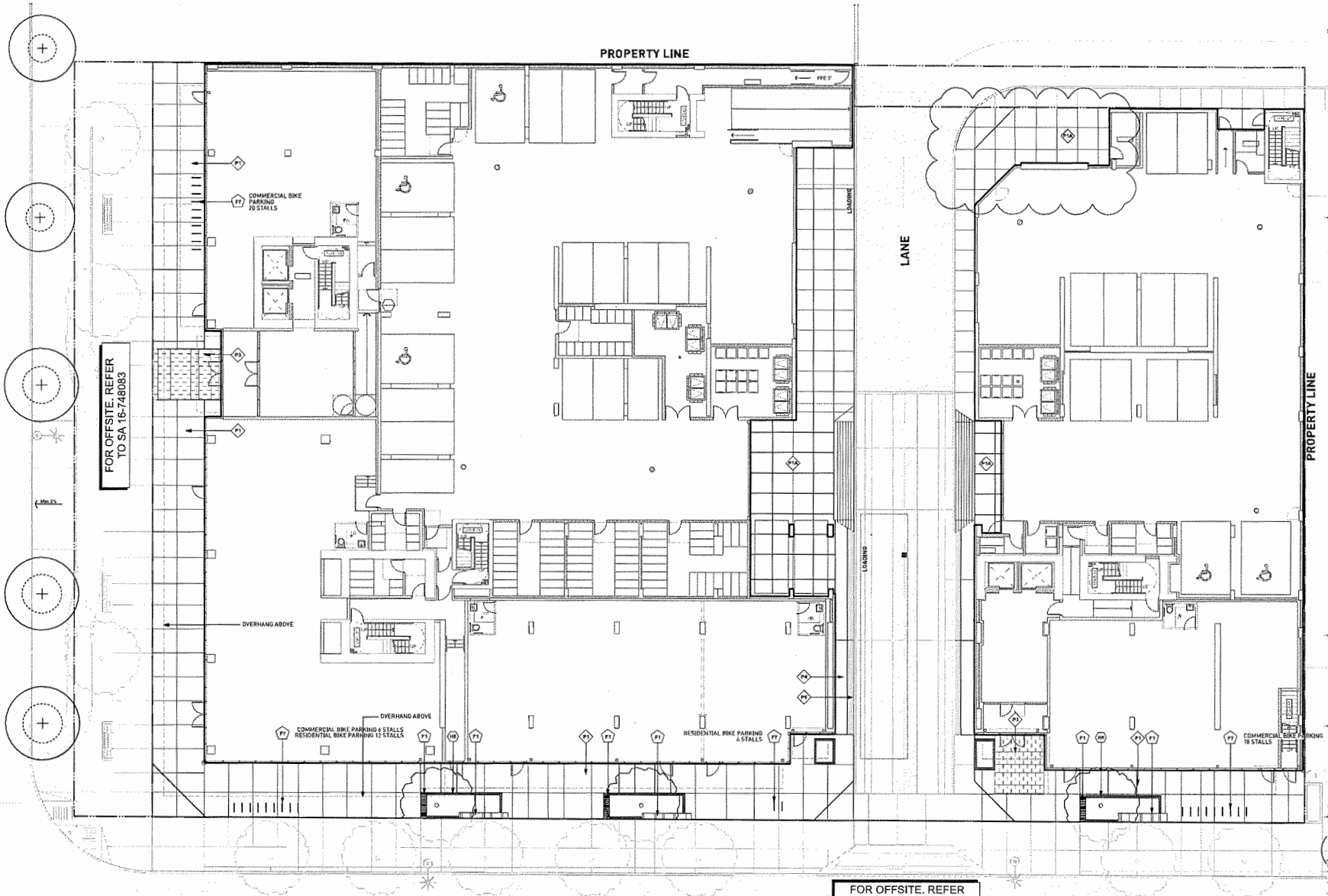

OFF-SITE NOTES:

REFER TO SERVICING AGREEMENT SA 16-748083 FOR OFF-SITE LANDSCAPE INFORMATION

PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/07/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

LAYOUT AND MATERIALS
LEVEL 1

NORTH

SCALE 3/32" = 1'

PROJECT NO. 14104

DATE

FILE NAME 17080 BP PLAN.vwx

PLOTTED 18-8-20 at 9:45:39 AM

DRAWN ZL / MW REVIEWED GB

DRAWING

L 1.01

ATTACHMENT D

Project Name: iFortune Centre

8051 Anderson Road, Richmond

Date: October 17, 2018

No. of Pages: 1

Attention:

Steven De Sousa

Policy Planning Department

City of Richmond,

6911 No. 3 Road
Richmond BC V6Y 2C1

Re: Application for RZ 14-678448

Architectural Summary

No additional changes were made to the previously endorsed DP other than what is identified in the attached clouded sheets.

Daniel Eisenberg

ASSOCIATE PRINCIPAL

ARCHITECT AIBC, MRAIC

GBL ARCHITECTS
139 EAST 8TH AVENUE
VANCOUVER, CANADA V6J 2C9
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F 604 731 5279 GBLARCHITECTS.COM

gbl

EMERGENT ARCHITECTURE

PWL partnership

Steven De Sousa
City of Richmond
6911 No. 3 Road
Richmond, BC
V6Y 2C1

Oct 18, 2018

Re: 6840 & 6860 No. 3 Road and 8051 Anderson Road (DP 15-708092)

Dear Steven De Sousa,

This letter is prepared to confirm that no additional changes were made to the previously endorsed DP other than what is identified in the cloud lines shown in the Landscape Revised RZ/DP package dated 18th September 2018, and the value of the revised landscaping is equivalent to the landscaping contained in the endorsed DP.

Sincerely,
PWL Partnership Landscape Architects Inc.

Grant Brumpton BCSLA AALA CSLA
Principal

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
H. GRANT BRUMPTON
297

PWL Partnership Landscape Architects Inc
5th Floor, East Asiatic House
1201 West Pender Street
Vancouver BC Canada V6E 2V2
www.pwlpartnership.com

T 604.688.6111
F 604.688.6112

City of Richmond

Development Permit Considerations

File No.: DP 15-708092

Address: 6840, 6860 No. 3 Road & 8051 Anderson Road

Prior to Development Permit issuance, the developer is required to address the following considerations and conditions.

1. Receipt of a Letter-of-Credit for landscaping in the amount of $705,008.70.
2. Registration of a commercial noise covenant on Title, to the satisfaction of the City, indicating that commercial uses are required to mitigate unwanted noise and demonstrate that the building envelope is designed to avoid noise generated by the internal use from penetrating into residential areas that exceed noise levels allowed in the City's Noise Bylaw and that noise generated from rooftop HVAC units will comply with the City's Noise Bylaw.

Prior to Building Permit Issuance, the developer must complete the following requirements:

3. Incorporate information into the Building Permit plans (inclusive of architectural, landscape and other plans, sections, elevations, details, specifications, checklists and supporting consultant work), as well as any additional items referenced in "Schedule B: Assurance of Professional Design and Commitment for Field Review, including but not limited to:
   - i. Statutory rights-of-way, easements, encroachments, no build areas, agreements and other legal restrictions.
   - ii. Flood construction level(s).
   - iii. Use, density, height, siting, building form, landscaping, parking and loading and other zoning provision requirements.
   - iv. Approved form and character (e.g. massing, building components, materials, detailing and colour).
   - v. Signage size and location.
   - vi. Site access and vehicular crossings.
   - vii. The required end-of-trip facilities.
   - viii. The required car share spaces and signage identification.
   - ix. The required shared commercial/visitor parking stalls.
   - x. The required EV-charging and EV-ready vehicle parking stalls.
   - xi. The details of the truck manoeuvring plan including, but not limited to turning templates and clear height requirements.
   - xii. The details of the waste management plan including, but not limited to storage and loading facilities.
   - xiii. The location of areas reserved for DEU connection facilities and notations regarding DEU pre-ducting and acceptable in-unit mechanical equipment.
   - xiv. The required affordable housing units, including their size and location.
   - xv. The required aging in place, basic universal, accessible, adaptable and/or convertible dwelling units, as the case may be, including their associated design features.
   - xvi. The identified site and building accessibility measures on the plans, where relevant.
   - xvii. The identified safety measures (CPTED) checklist and identification of specific recommended measures on the plans, where relevant.
   - xviii. A LEED Checklist with measures recommended by a LEED AP BD+C to achieve LEED Silver equivalency including specific measures to be incorporated into the Building Permit plans.
   - xix. The additional sustainability measures identified in the sustainability checklist attached to the DP Panel report.
   - xx. Measures to be incorporated into the Building Permit drawings to achieve the exterior and interior noise levels and other noise mitigation standards articulated in the aircraft, mixed-use, commercial or other noise-related covenants and bylaws, as recommended in acoustic and/or mechanical report submitted with the Development Permit application.

xxi. The required residential common indoor, common outdoor and private outdoor amenity areas including their location, size, use and finishing.

xxii. The location and specifications for landscaping including requirements for automatic irrigation and hose bibs.

xxiii. The location and dimensions of any on-sire and off-site tree protection fencing illustrated in the Arborist Report and/or Tree Management Plan submitted with the DP application.

xxiv. The location and details of any required replacement trees.

4. Submission of fire flow calculations signed and sealed by a professional engineer based on the Fire Underwriter Survey to confirm that there is adequate available water flow.
5. Submission of a Fire Safety Plan applicable for the duration of construction to the satisfaction of the Richmond Building & Fire Departments.
6. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. The plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570. (http://www.richmond.ca/services/ttp/special.htm).
7. Issuance of a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Notes:

1. Some of the foregoing items may require a separate application.

2. Where the Director of Development deems it appropriate, required legal agreements are to be drawn as not only personal covenants of the property owner, but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The legal agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding Permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

3. Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

4. Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act;* which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal Permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on-site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities comply with all relevant legislation.

City of Richmond

Development Permit

No. DP 15-708092

To the Holder:	1004732 B.C. Ltd.
Property Address:	6840 & 6860 No. 3 Road and 8051 Anderson Road
Address:	C/O 415 - 5811 COONEY ROAD RICHMOND, BC V6X 3M1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #79 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of $705,008.70 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

No. DP 15-708092

To the Holder:	1004732 B.C. Ltd.
Property Address:	6840 & 6860 No. 3 Road and 8051 Anderson Road
Address:	C/O 415 - 5811 COONEY ROAD RICHMOND, BC V6X 3M1

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

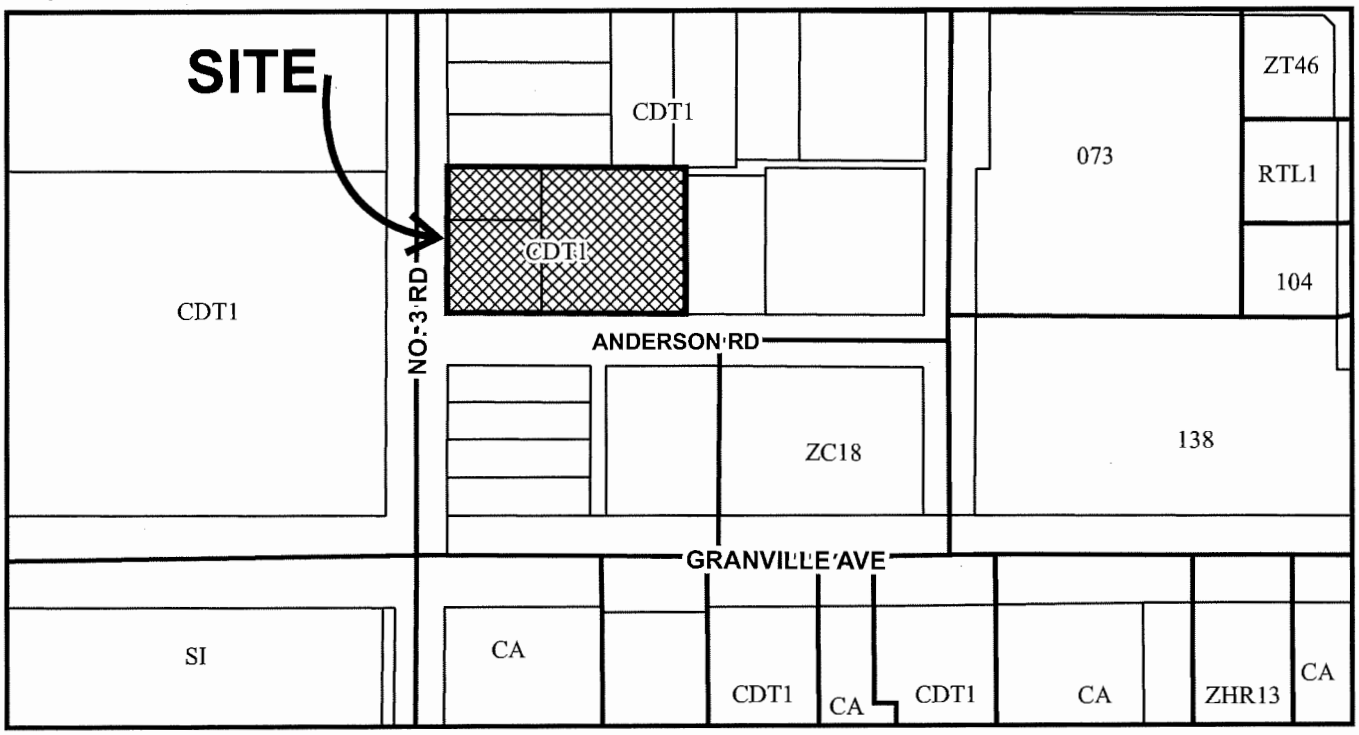
   This Permit is not a Building Permit.

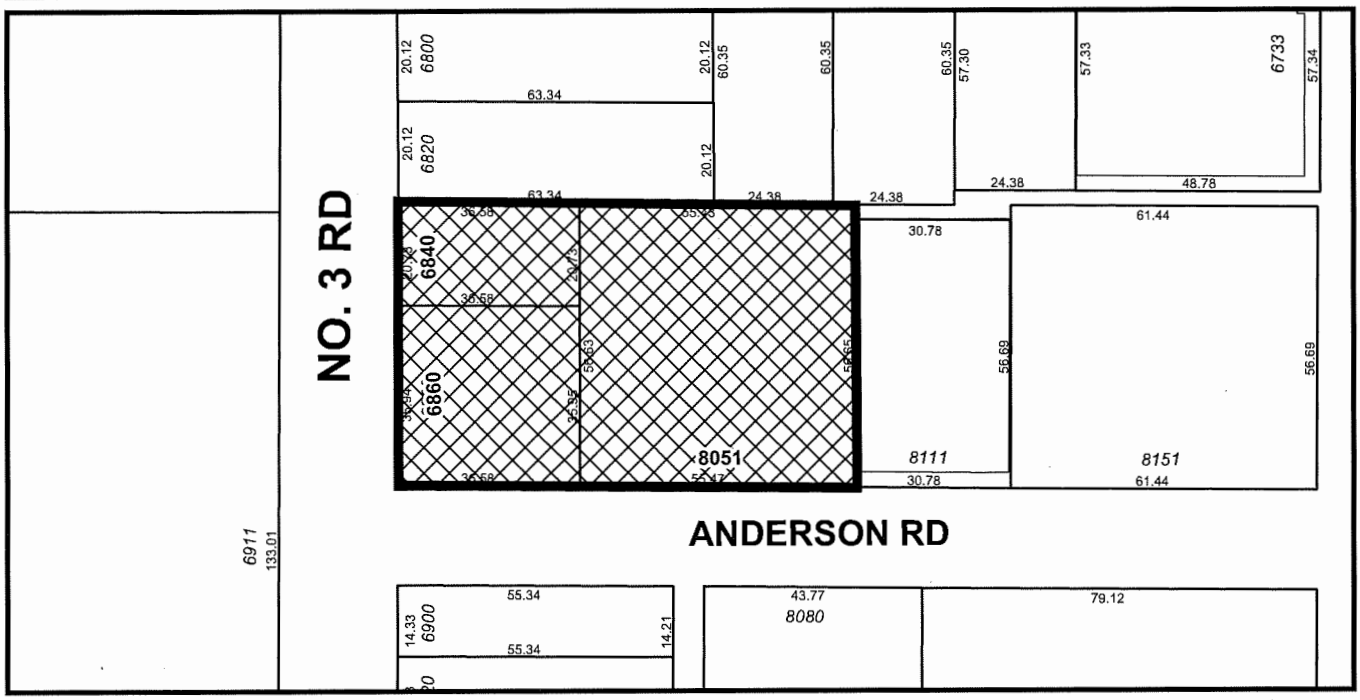
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR

City of Richmond



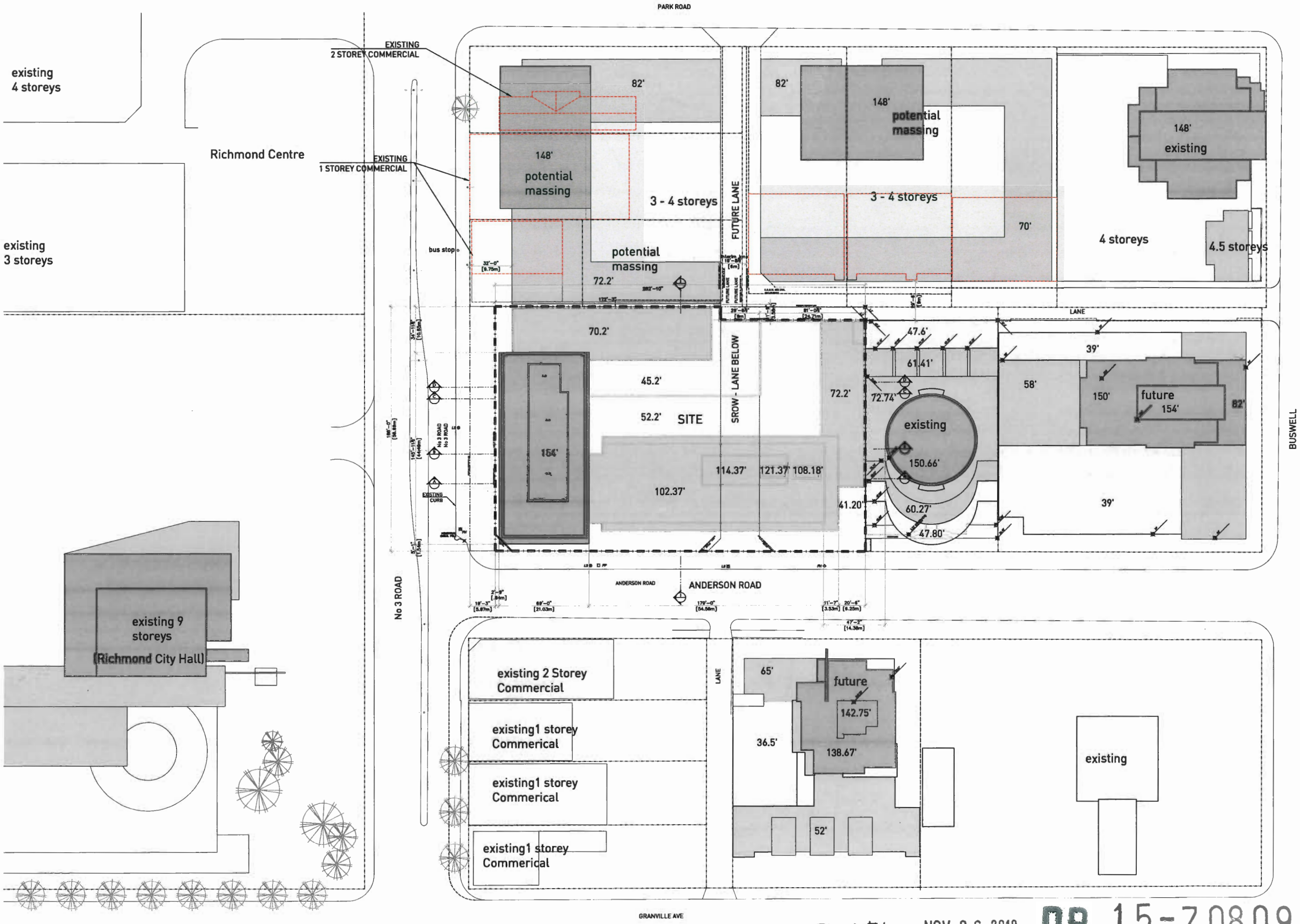


RZ 15-708092
SCHEDULE "A"

Original Date: 09/15/15

Revision Date:

Note: Dimensions are in METRES



PLAN #1 NOV 06 2018 DP 15-708092

gbl

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139 EAST 8TH AVENUE
VANCOUVER, CANADA V5T 1R8
T 604 734 1156 F 604 731 5279
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PLOT INFO.

NOTES

NO	DESCRIPTION

REVISIONS

NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
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N

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

SITE PLAN

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	1/32"=1'-0"
JOB NUMBER	1441

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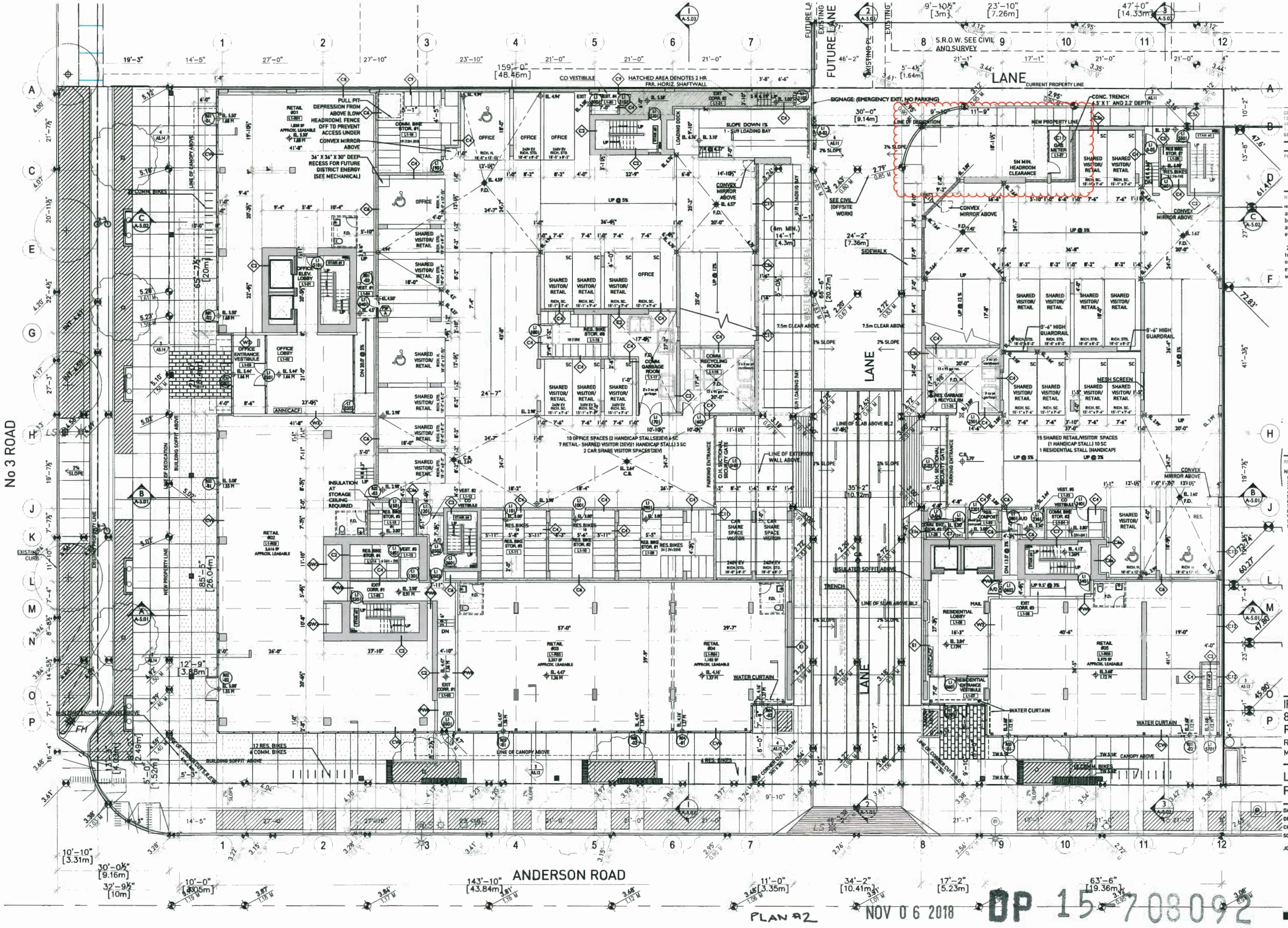

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139 EAST 8TH AVENUE
VANCOUVER CANADA V5T 1R8
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PLOT INFO

NOTES

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N

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

L1
FLOOR PLAN

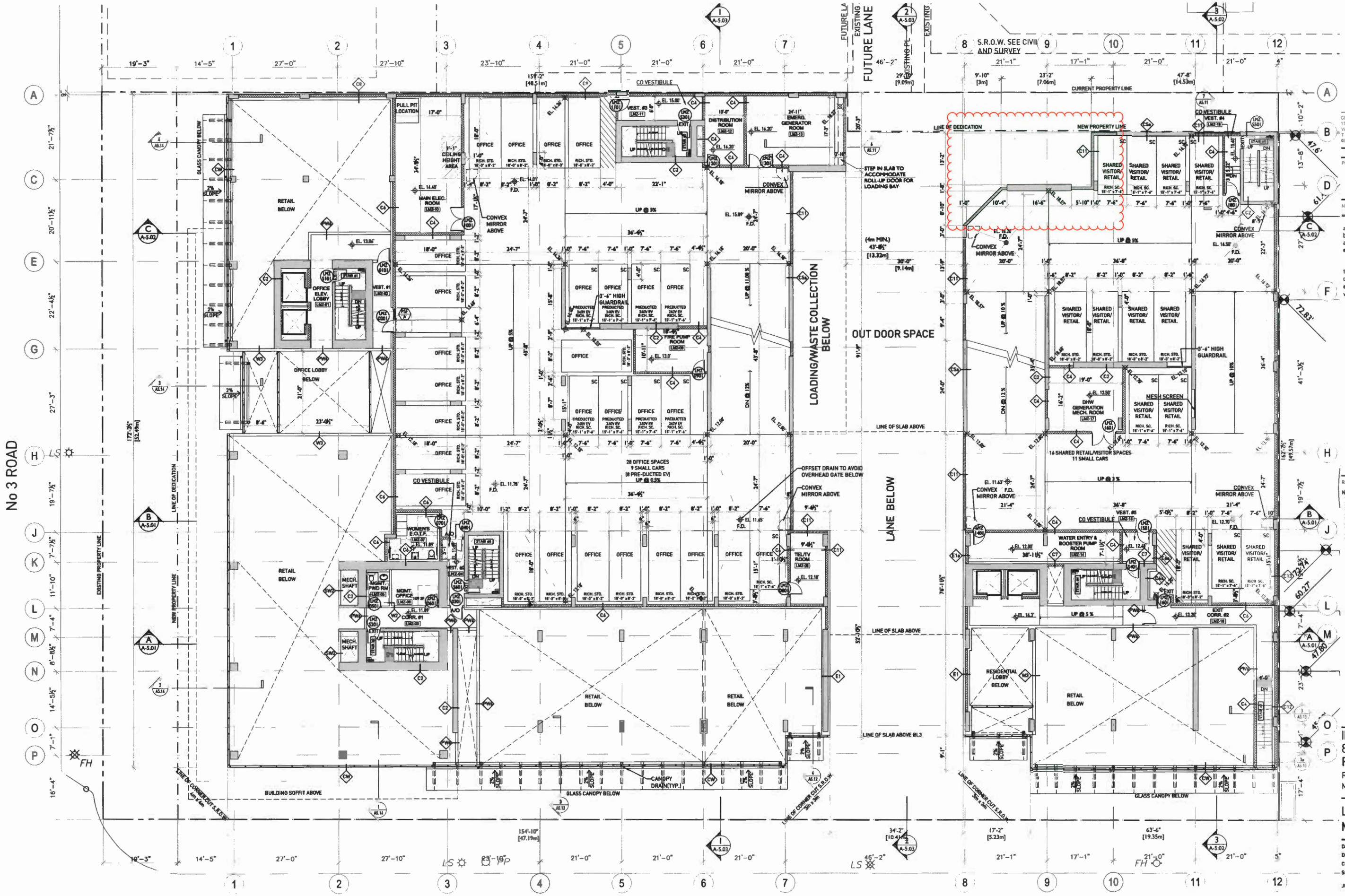
DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1441

A-3.00

PLAN #2

NOV 0 6 2018

DP 15-708092



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GBL ARCHITECTS
179 EAST 8TH AVENUE
VANCOUVER, CANADA V 5T 1R8
T 604 736 1156 F 604 736 5279
GBLARCHITECTS.COM

PLOT INFO

NOTES

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SCALE	3/32"=1'-0"
JOB NUMBER	1441

PLAN #3

NOV 06 2018 DP 15-708092

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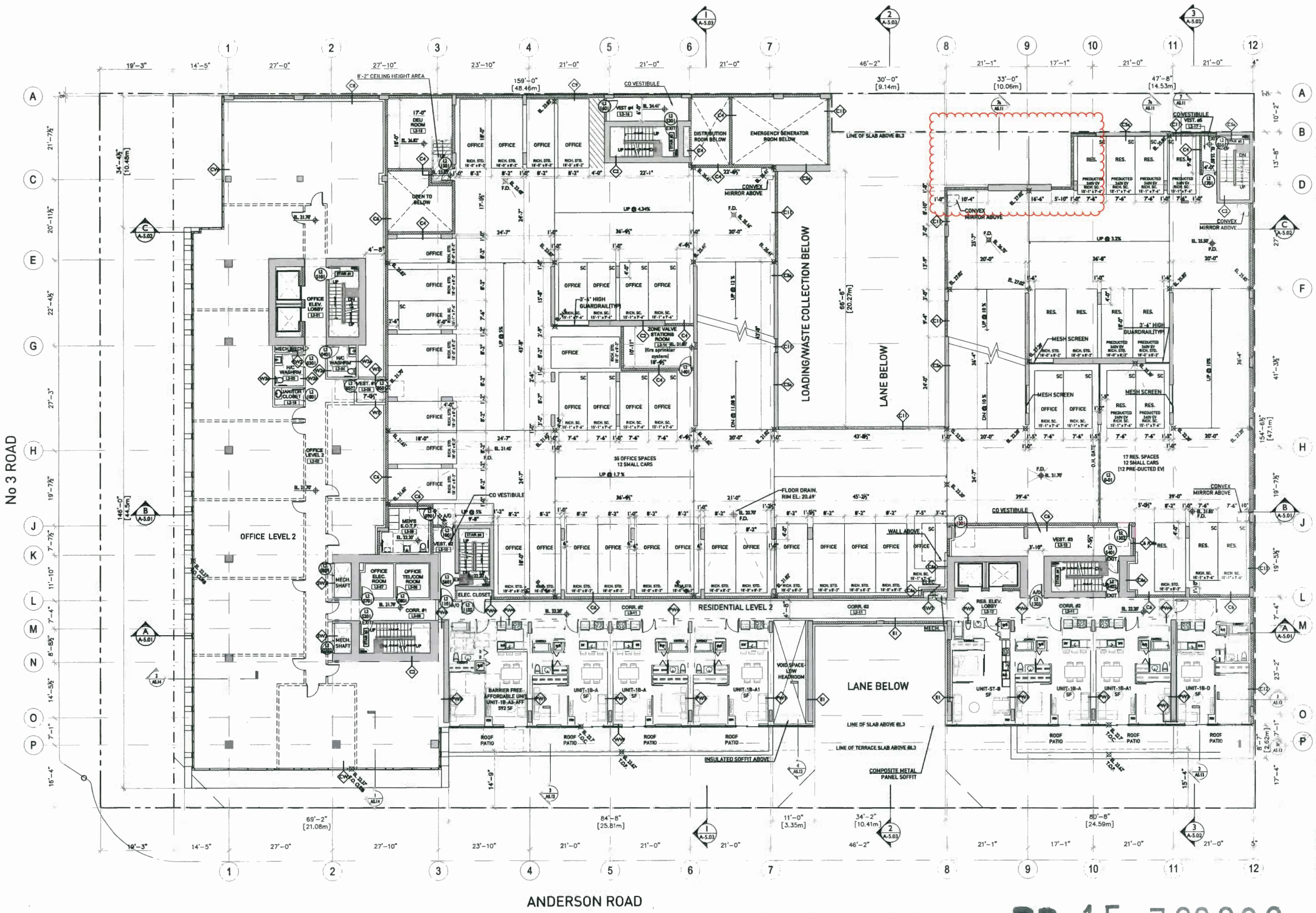

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VANCOUVER CANADA V5T 1R8
T 604 736 1115 F 604 731
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PLOT INFO

NOTES

NO DESCRIPTION

a minimum of 20% of parking stalls to be provided with a 120V receptacle to accommodate electric vehicle charging equipment.

25% of parking stalls to be constructed to accommodate the future installation of electric vehicle charging equipment(e.g. pre-ducted for future wiring)

ABBREVIATIONS:
B.U.H. =Basic Universal Housing features

REVISIONS

NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
2.	JULY 31 2014	CLIENT REVIEW
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8.	MAR 15 2017	RE-ISSUED FOR RZ/DP
9.	OCT. 13 2017	RE-ISSUED FOR RZ/DP COMMENTS
10.	DEC. 4 2017	ISSUED FOR BUILDING PERMIT
11.	SEP. 18 2018	REVISED RZ/DP

N

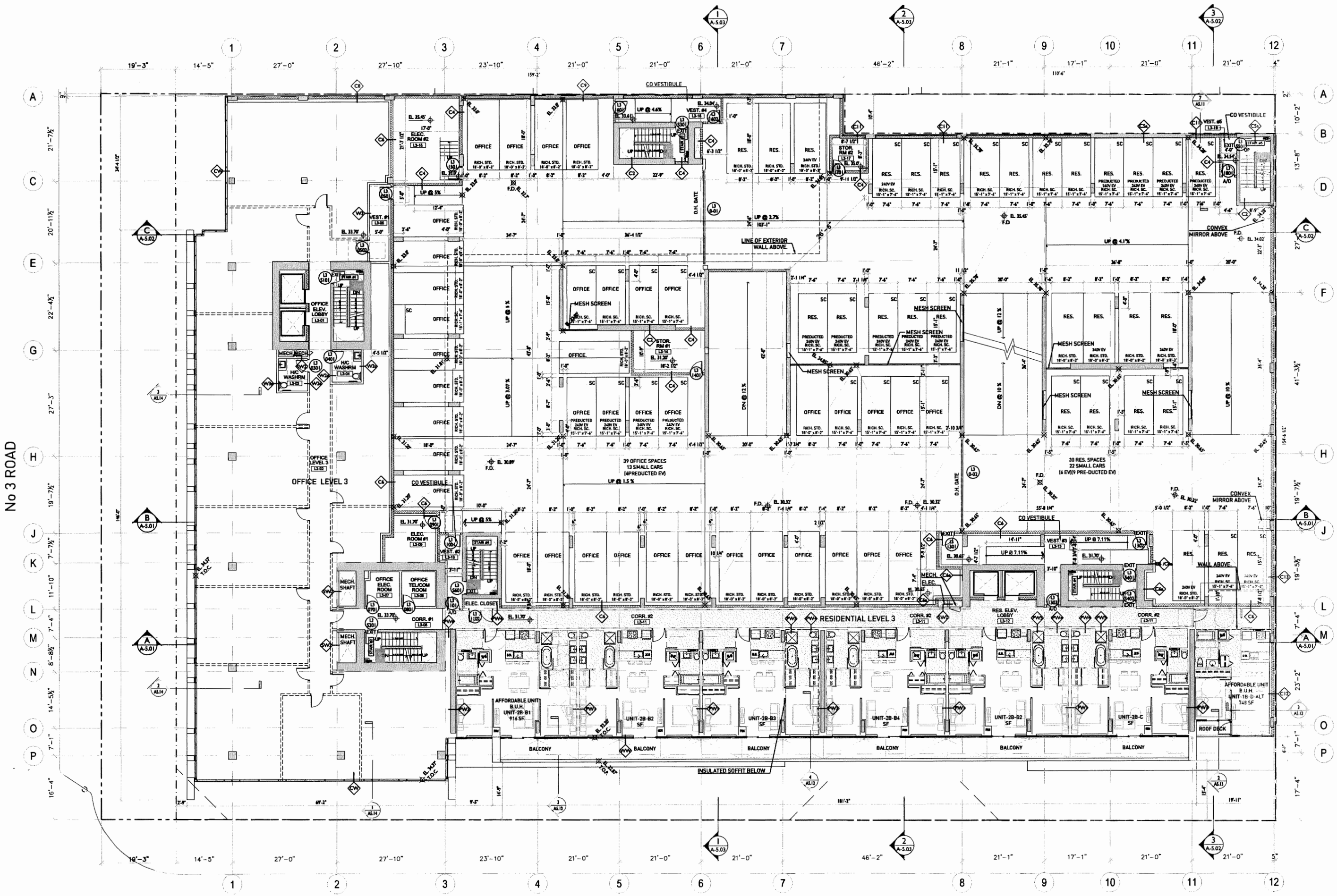
IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

RES. L2 OFFICE. L2
FLOOR PLAN

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1441

PLAN #4 NOV 0 6 2018 DP 15-708092

A-3.02



PLAN #5 NOV 06 2018 DP 15-708092

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1338 WEST 7TH AVENUE
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PLOT INFO

NOTES:

NO DESCRIPTION

a minimum of 20% of parking stalls to be provided with a 120V receptacle to accommodate electric vehicle charging equipment.

25% of parking stalls to be constructed to accommodate the future installation of electric vehicle charging equipment(e.g. pre-ducted for future wiring)

ABBREVIATIONS:
B.U.H. =Basic Universal Housing features

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11.	SEP. 18 2018	REVISED RZ/DP

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

RES. L3 OFFICE. L3
FLOOR PLAN

DATE	DATE
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CHECKED BY	AB
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JOB NUMBER	1441

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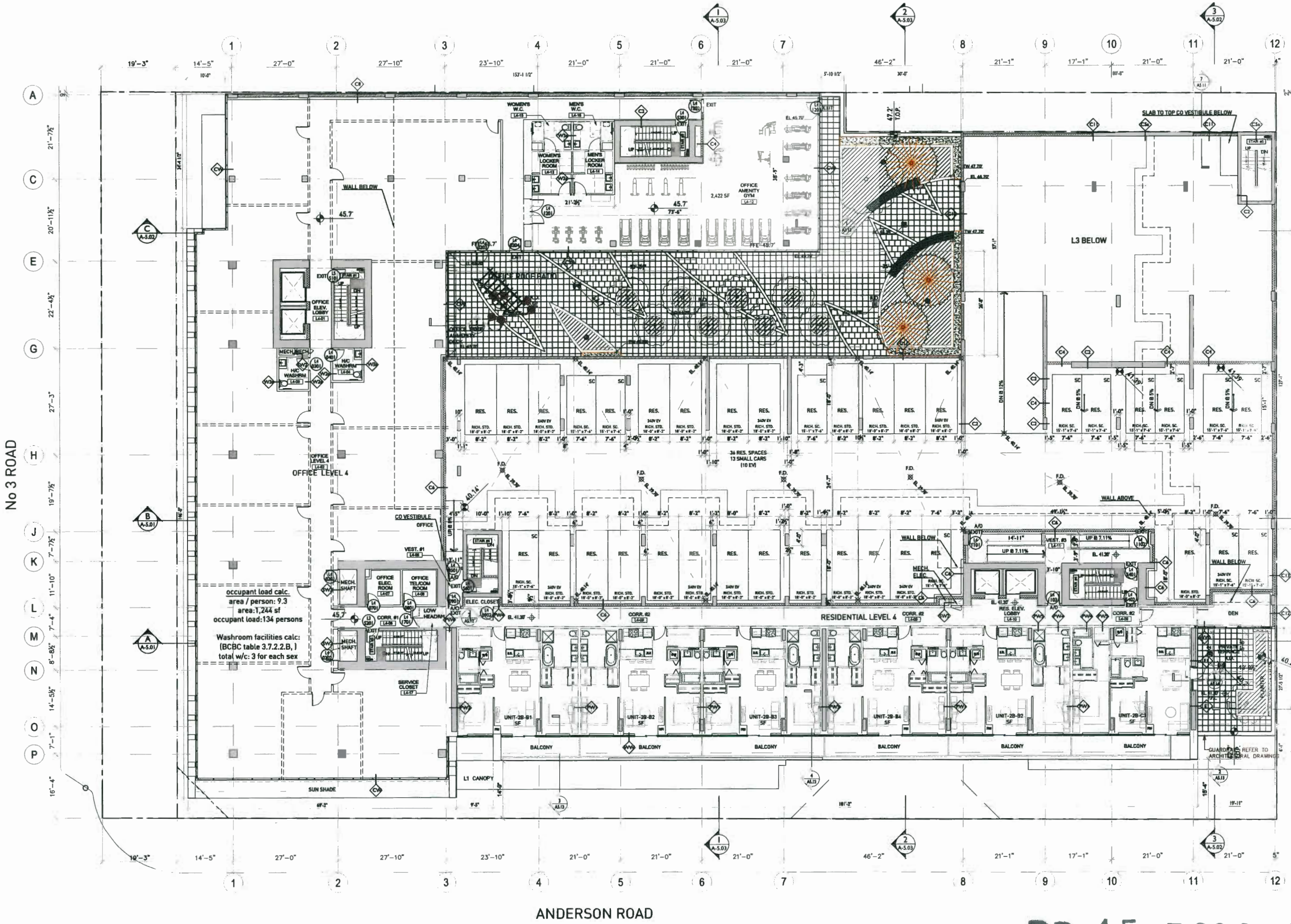

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PLOT INFO

NOTES

NO DESCRIPTION

a minimum of 20% of parking stalls to be provided with a 120V receptacle to accommodate electric vehicle charging equipment.

25% of parking stalls to be constructed to accommodate the future installation of electric vehicle charging equipment(e.g. pre-ducted for future wiring)

REVISIONS

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10.	DEC. 4 2017	ISSUED FOR BUILDING PERMIT
11.	SEP. 18 2018	REVISED RZ/DP

N

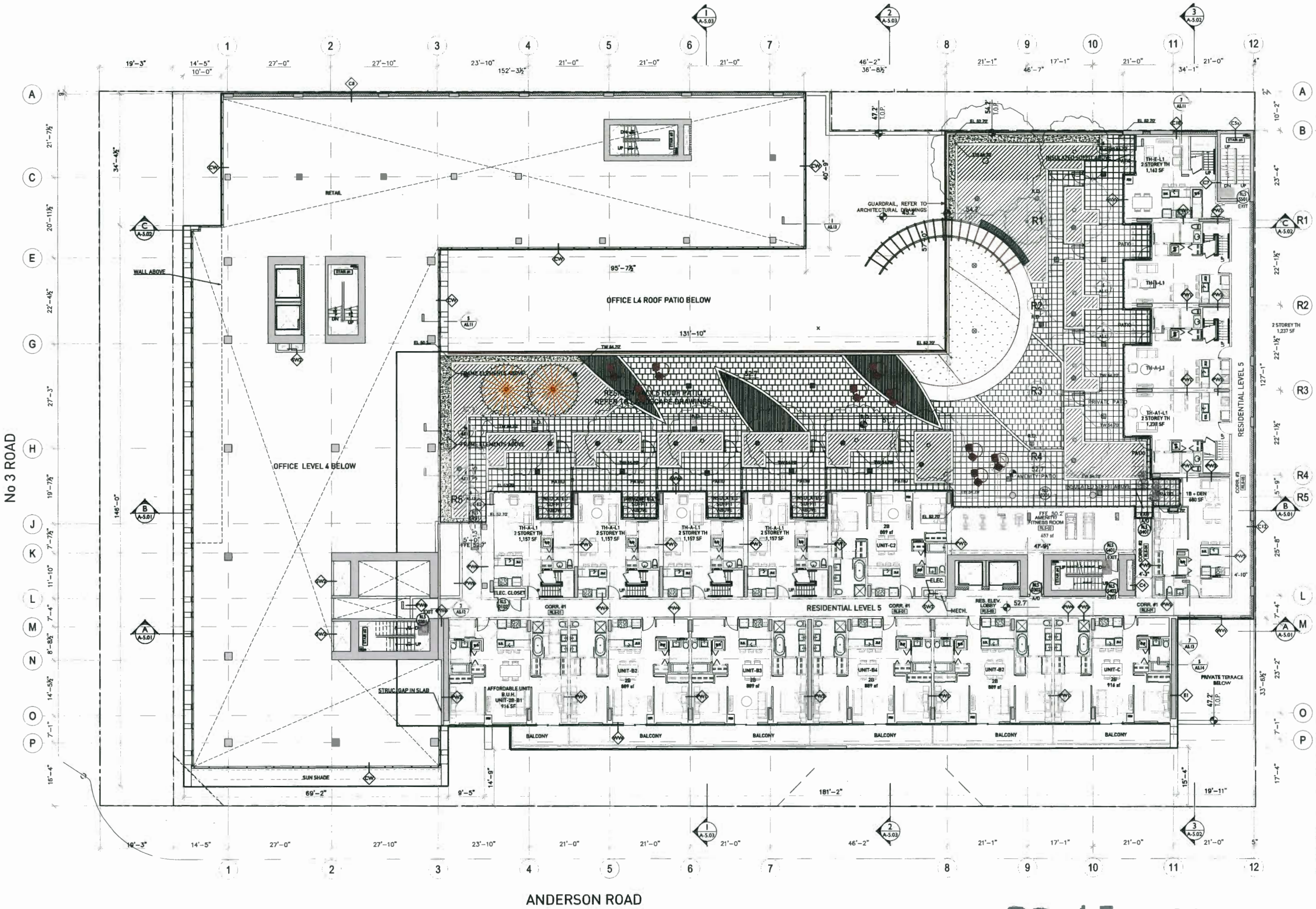
IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

RES. L4 OFFICE. L4
FLOOR PLAN

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1441

PLAN #6 NOV 06 2018 DP 15-708092

A-3.04



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129 EAST 8TH AVENUE
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PLOT INFO

NOTES

NO DESCRIPTION

REVISIONS

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1.	JULY 18 2014	CLIENT REVIEW
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IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

RES. L5
FLOOR PLAN

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1441

PLAN #7 NOV 06 2018 DP 15-708092

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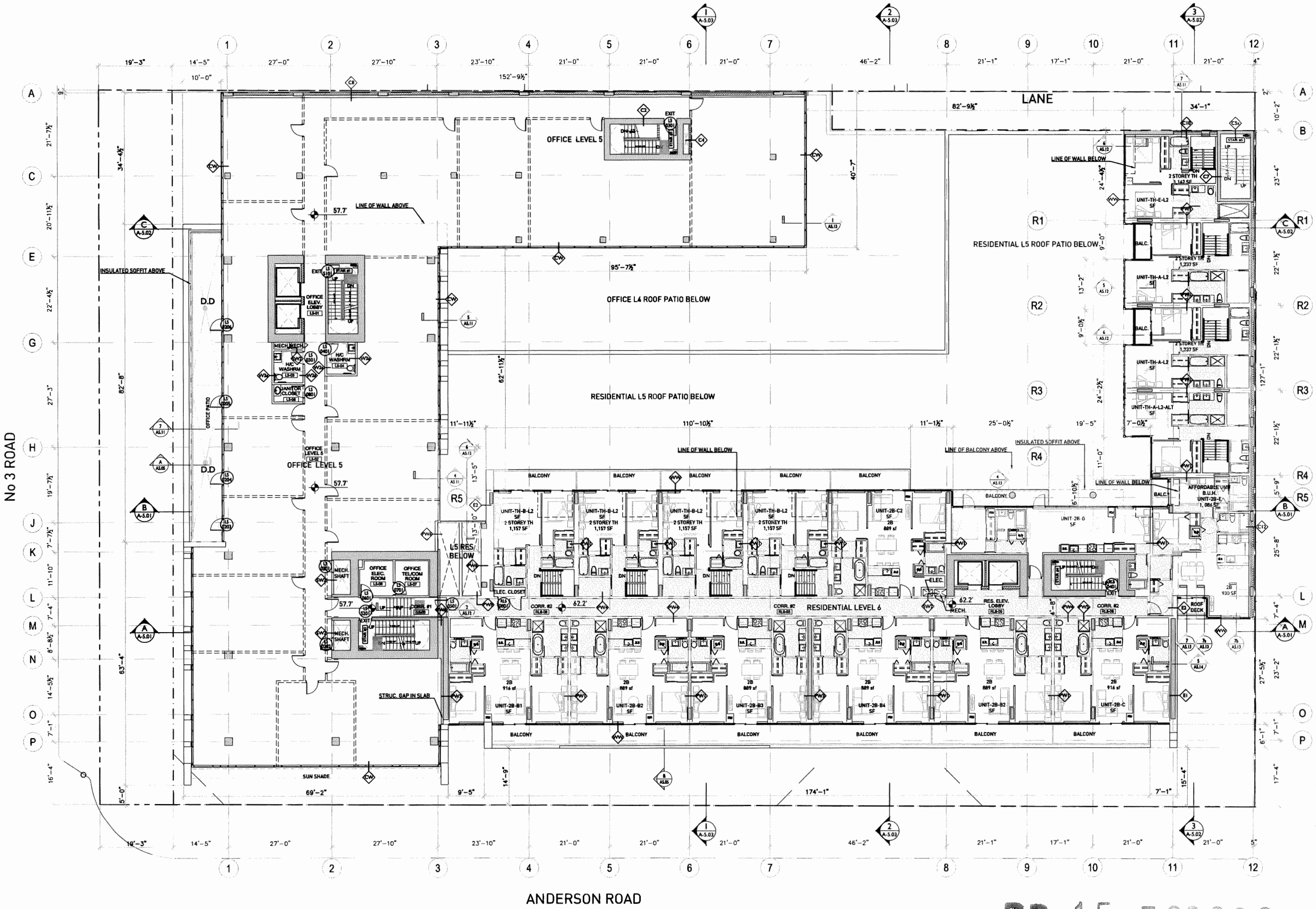

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101-EAST 7TH AVENUE
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PLOT INFO

NOTES

NO.	DESCRIPTION

REVISIONS

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1.	JULY 18 2014	CLIENT REVIEW
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IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

RES. L6 OFFICE. L5
FLOOR PLAN

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1441

PLAN # 8 NOV 0 6 2018 DP 15-708092

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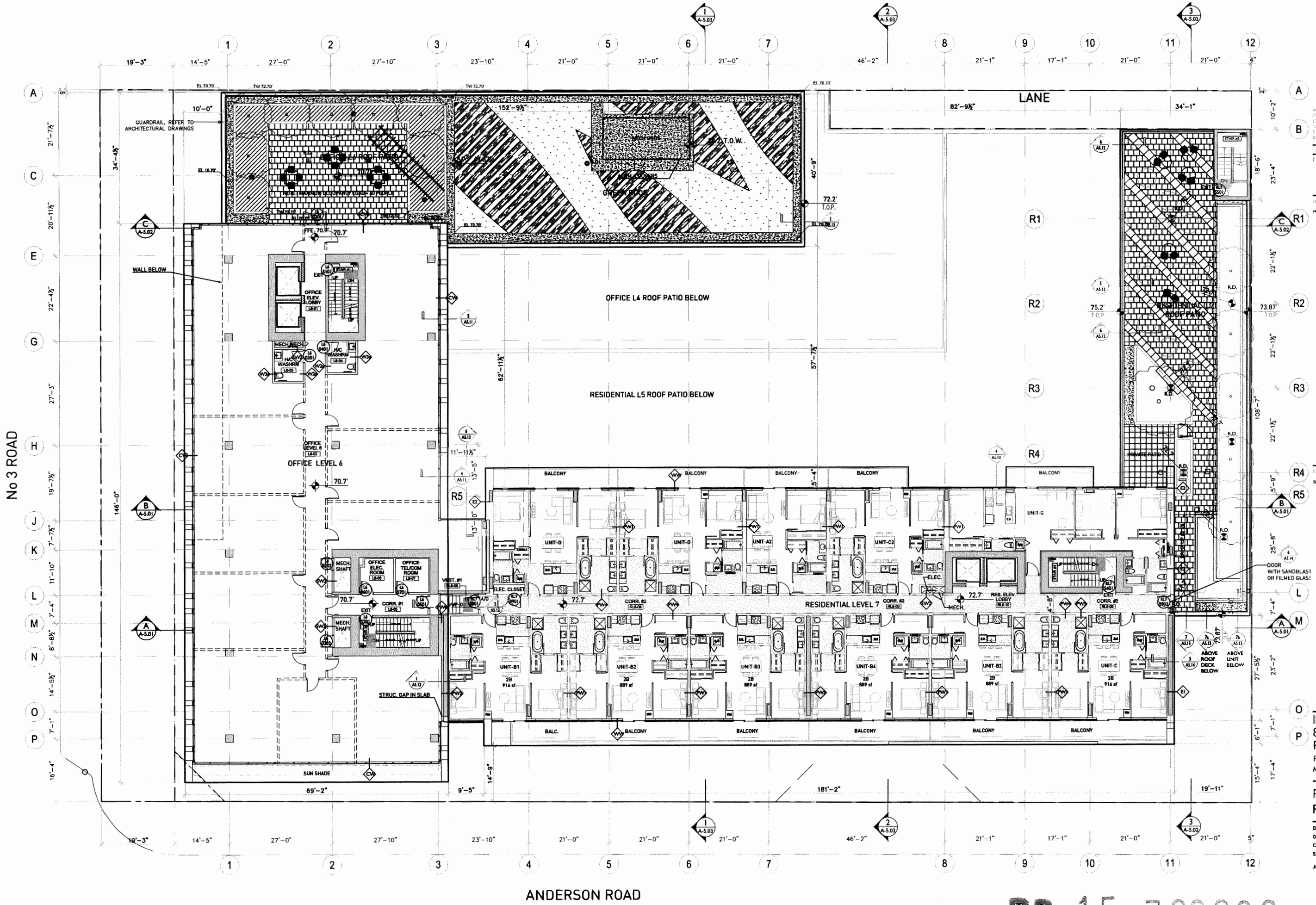

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PLOT INFO

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NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
2.	JULY 31 2014	CLIENT REVIEW
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11.	SEP. 18 2018	REVISED RZ/DP

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IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

RES. L7 OFFICE. L6
FLOOR PLAN

DATE	DATE
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SCALE	3/32"=1'-0"
JOB NUMBER	1441

PLAN 19 NOV 06 2018 DP 15-708092

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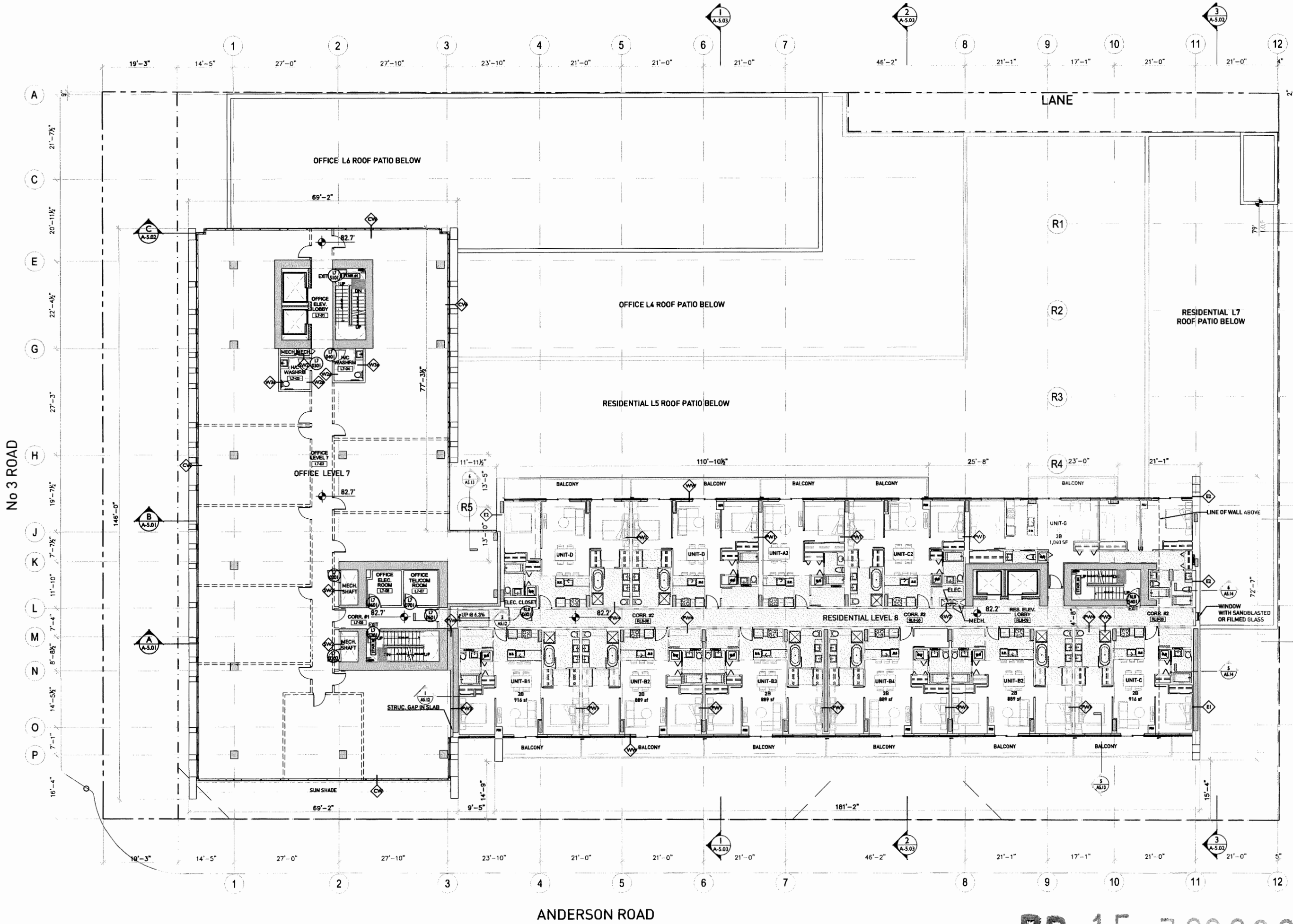

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11th EAST 7th AVENUE
VANCOUVER, CANADA V5T 1R9
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PLOT INFO

NOTES

NO.	DESCRIPTION

REVISIONS

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1.	JULY 18 2014	CLIENT REVIEW
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IFORTUNE Centre Anderson Road
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RES. L8 OFFICE. L7
FLOOR PLAN

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1441

PLAN #10 NOV 06 2018 DP 15-708092

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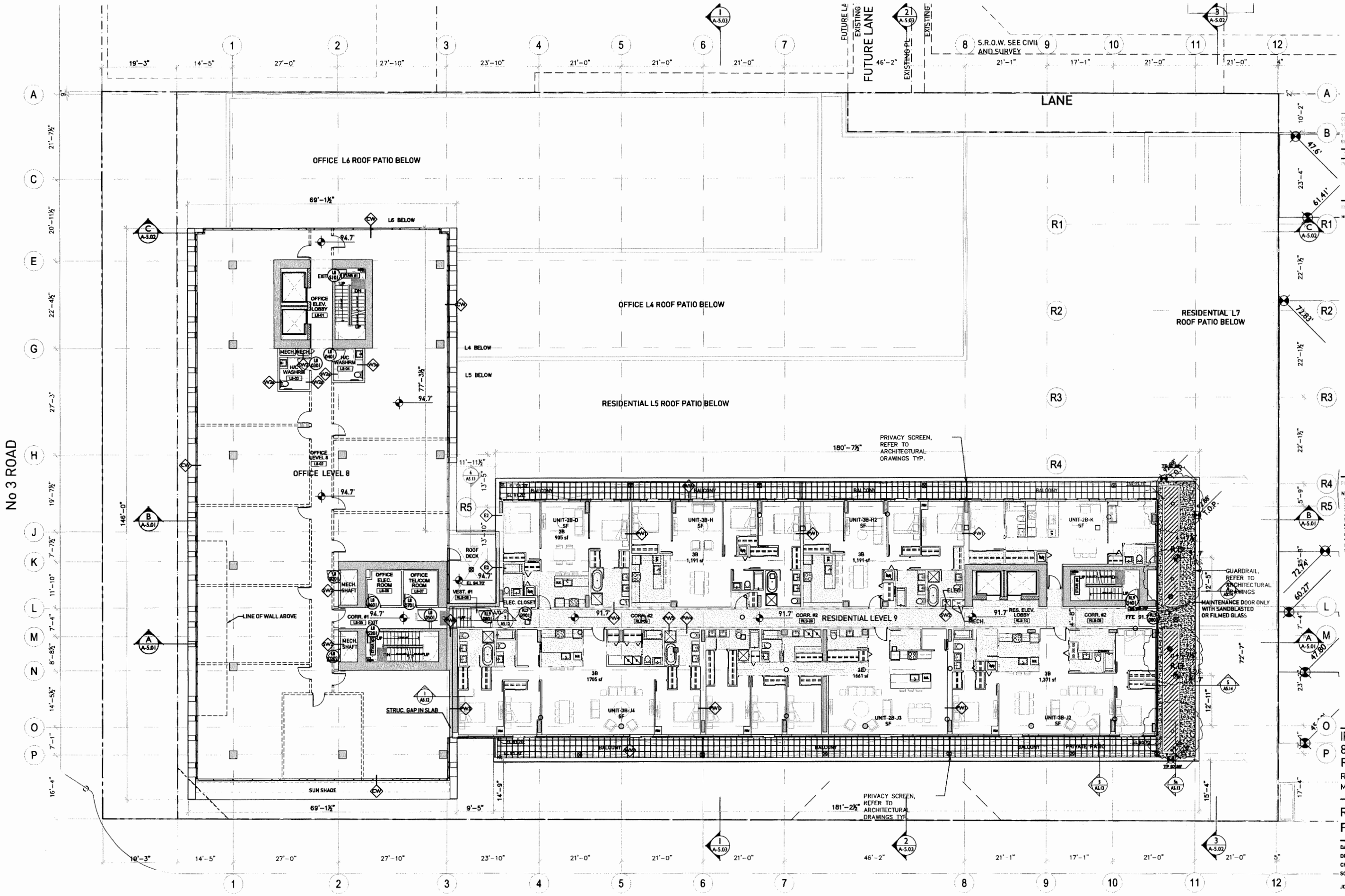

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1	JULY 18 2014	CLIENT REVIEW
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IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

RES. L9 OFFICE. L8
FLOOR PLAN

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
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JOB NUMBER	1441

PLAN #11 NOV 0 6 2018 DP 15-708092

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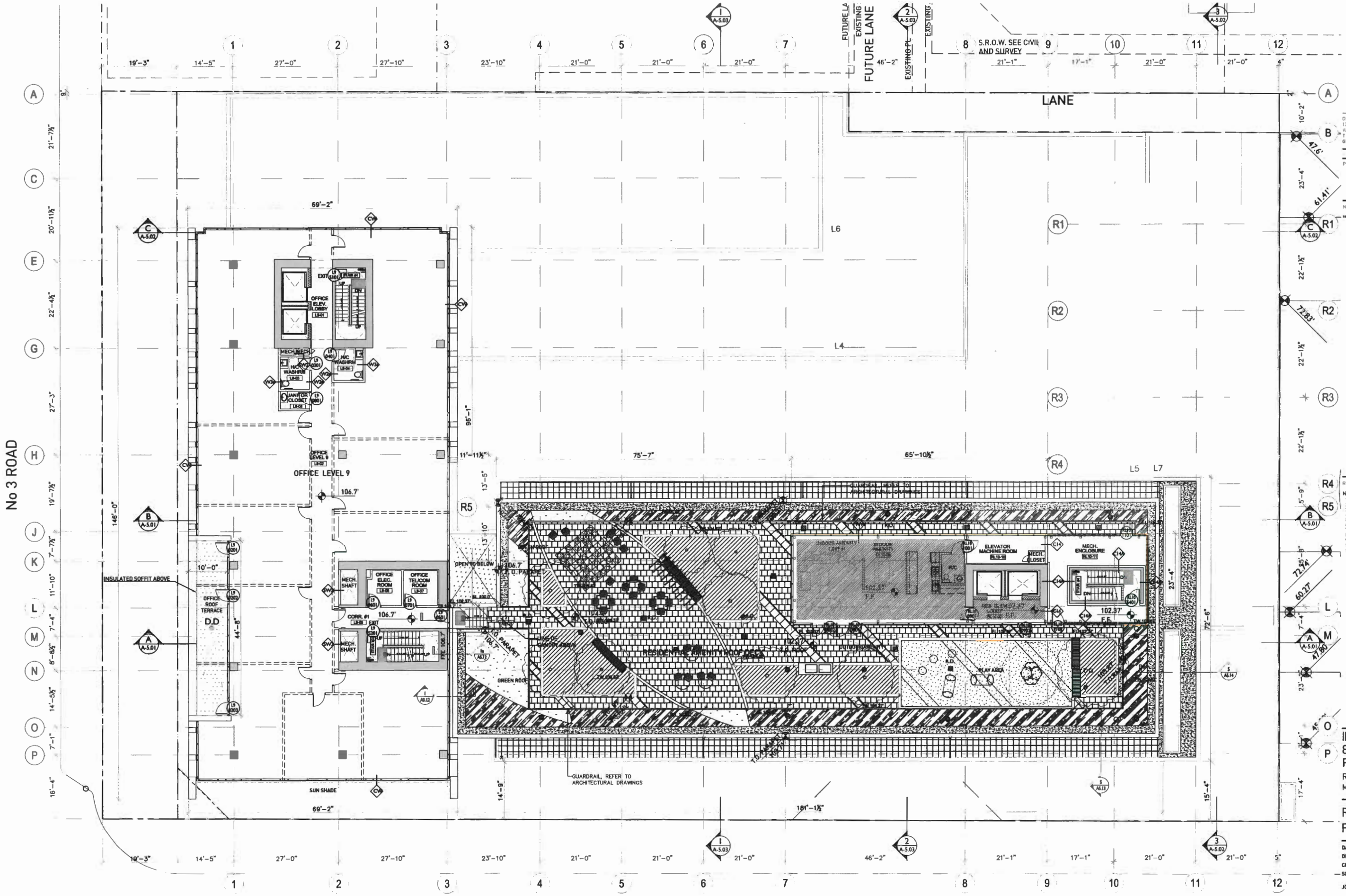

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139 EAST 8TH AVENUE
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PLOT INFO

NOTES

NO.	DESCRIPTION

REVISIONS

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1.	JULY 18 2014	CLIENT REVIEW
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11.	SEP. 18 2018	REVISED RZ/DP

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
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RES. ROOF OFFICE. L9 FLOOR PLAN

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1441

PLAN #12 NOV 0 6 2018 DP 15-708092

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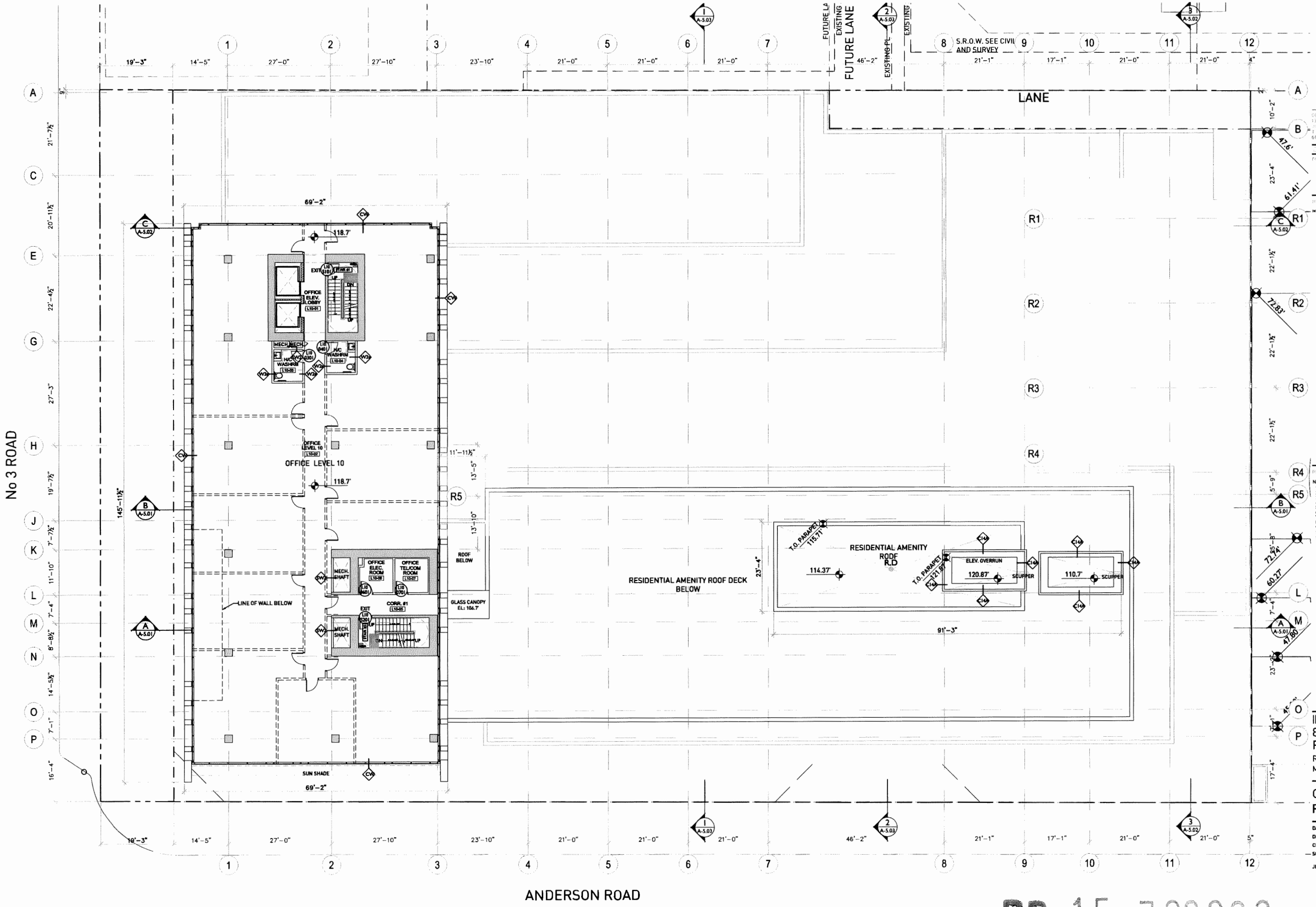

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PLOT INFO

STATUS

NO. DESCRIPTION

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IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

OFFICE. L10
FLOOR PLAN

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1441

PLAN #13 NOV 06 2018 DP 15-708092

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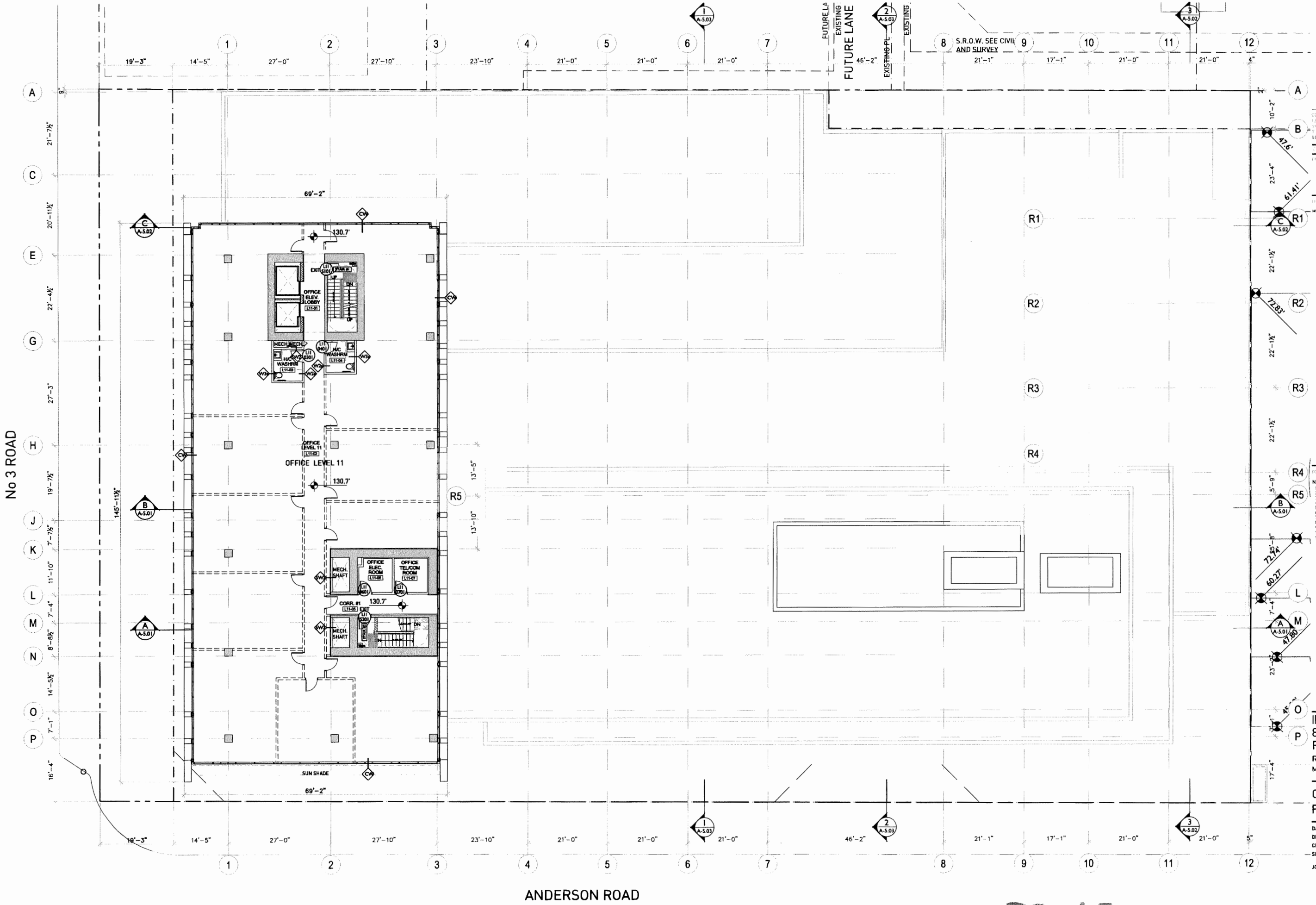

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NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
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OFFICE. L11
FLOOR PLAN

DATE	DATE
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PLAN #14 NOV 06 2018 DP 15-708092

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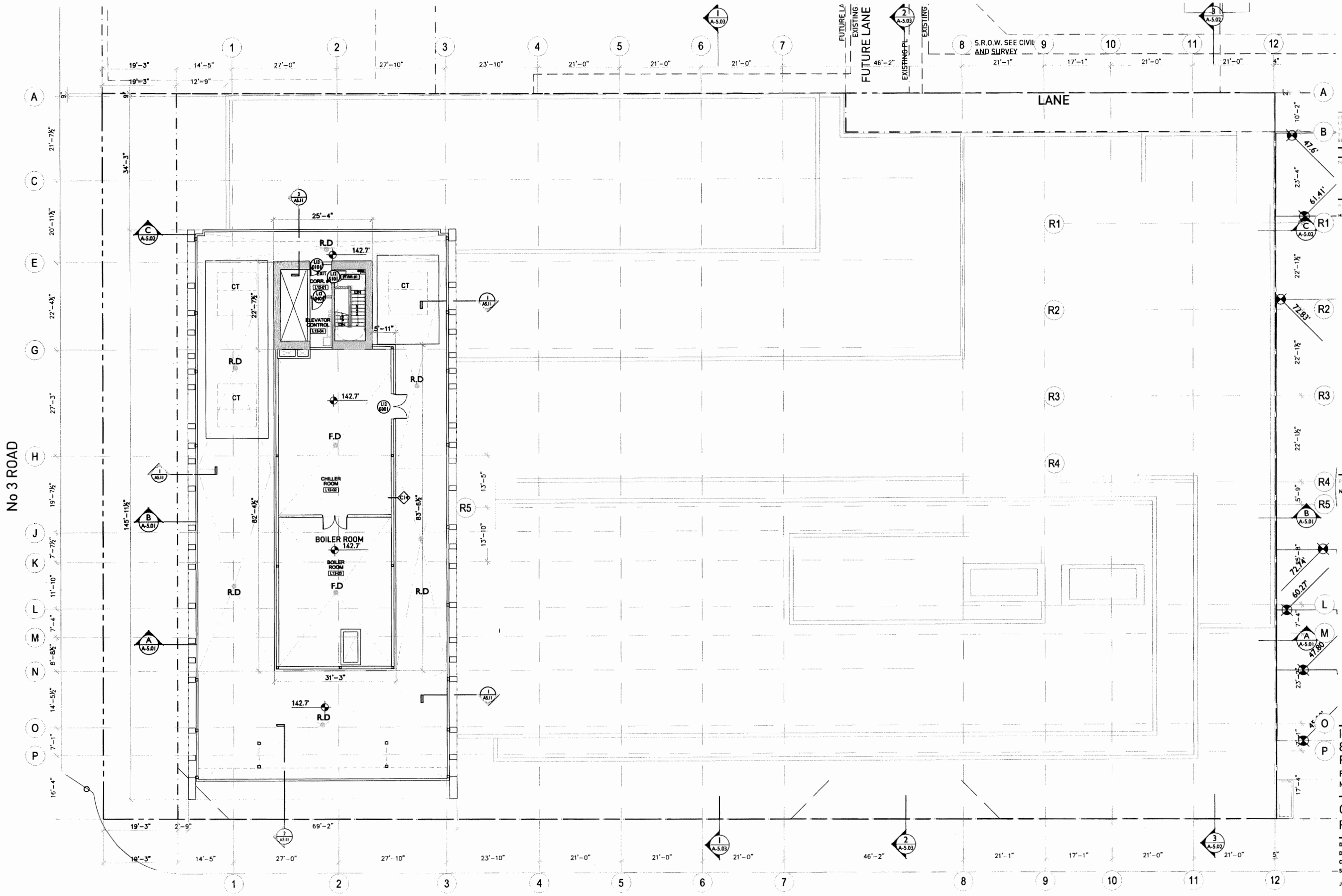

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IFORTUNE Centre Anderson Road
8051 Anderson Road
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RZ 14-678448 / DP 15-708092
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OFFICE ROOF
FLOOR PLAN

DATE	DATE
DRAWN BY	RS / ND
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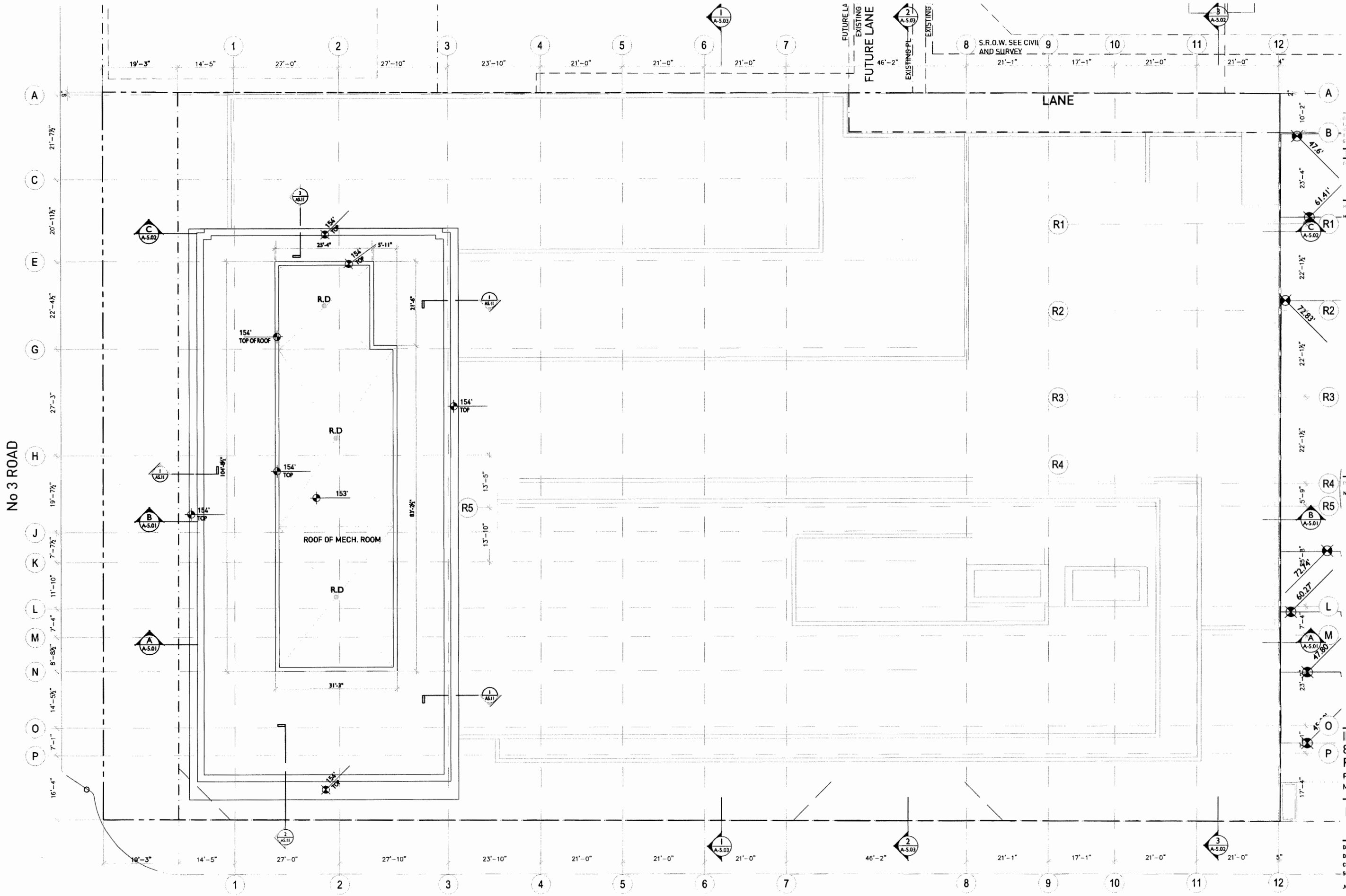
SCALE	3/32"=1'-0"
JOB NUMBER	1441

PLAN #15 NOV 0 6 2018 DP 15-708092

A-3.13



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1.16 EAST 5TH AVENUE
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PURPOSE

NOTES

NO. DESCRIPTION

REVISIONS

NO.	DATE	REMARKS
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IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
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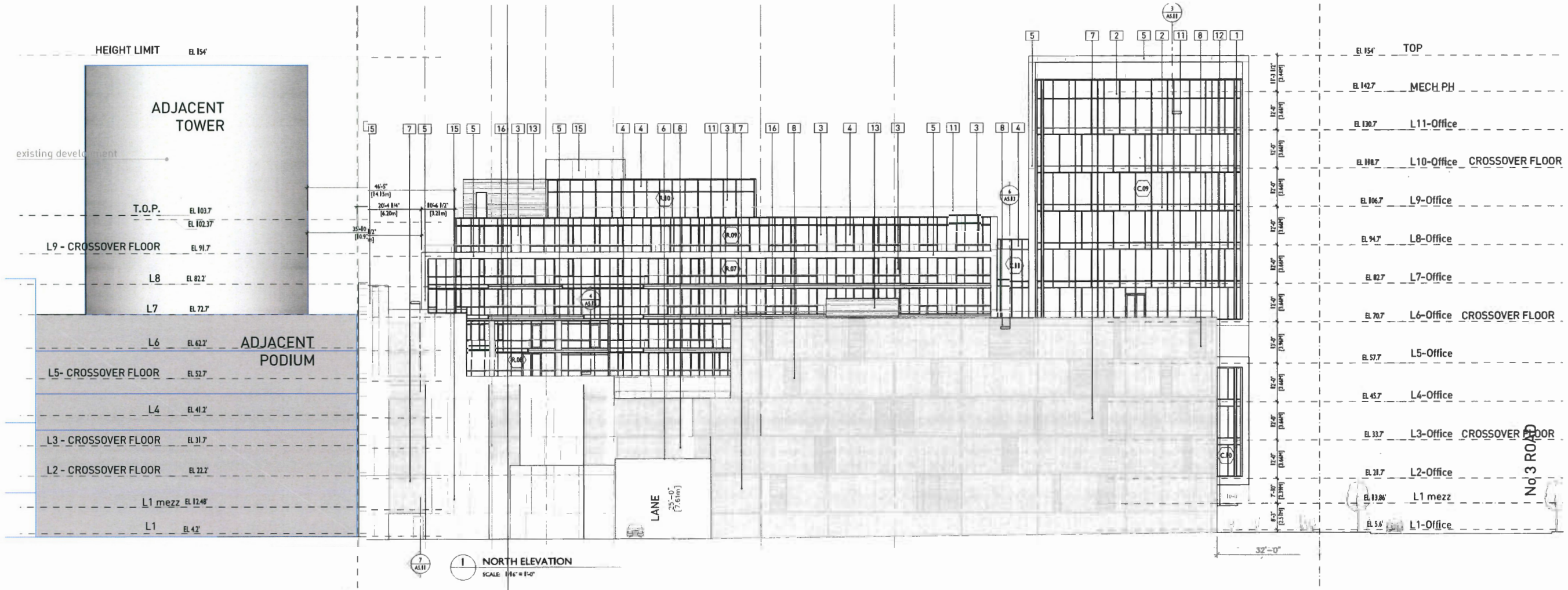
ROOF PLAN

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1441

PLAN #16 NOV 0 6 2018 DP 15-708092

A-3.14



1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

NOV 0 6 2018

DP 15-708092

PLAN #17

MATERIAL LEGEND

NO.	MATERIAL
1	ALUMINUM CURTAIN WALL FRAME WITH VIEW GLASS GLAZING AND CLEAR STRUCTURAL SILICONE JOINTS
2	ALUMINUM CURTAIN WALL FRAME WITH SPANDREL GLAZING AND MULLION CAPS
3	ALUMINUM WINDOW WALL FRAME WITH VISION GLAZING
4	ALUMINUM WINDOW WALL FRAME WITH SPANDREL GLAZING
5	COMPOSITE METAL PANEL CLADDING AT FEATURE FRAME
6	WOOD GRAIN COMPOSITE METAL PANEL CLADDING
7	VERTICAL METAL CLADDING - TYPE I
8	VERTICAL METAL CLADDING - TYPE II
9	HORIZONTAL METAL CLADDING - TYPE I
10	HORIZONTAL METAL CLADDING - TYPE II
11	ALUMINUM GUARDRAIL WITH SAFETY GLAZING
12	PAINTED STEEL CANOPY WITH FROSTED SAFETY GLAZING
13	METAL MECHANICAL LOUVER
14	ALUMINUM SUNSHADE
15	EXPOSED CONCRETE - ARCHITECTURAL FINISH
16	EXPOSED CONCRETE SLAB EDGE WITH TRAFFIC COAT.

*SEE NEXT SHEET FOR COLOUR DESCRIPTIONS

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PLOT INFO.

NOTES

NO DESCRIPTION

REVISIONS

NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
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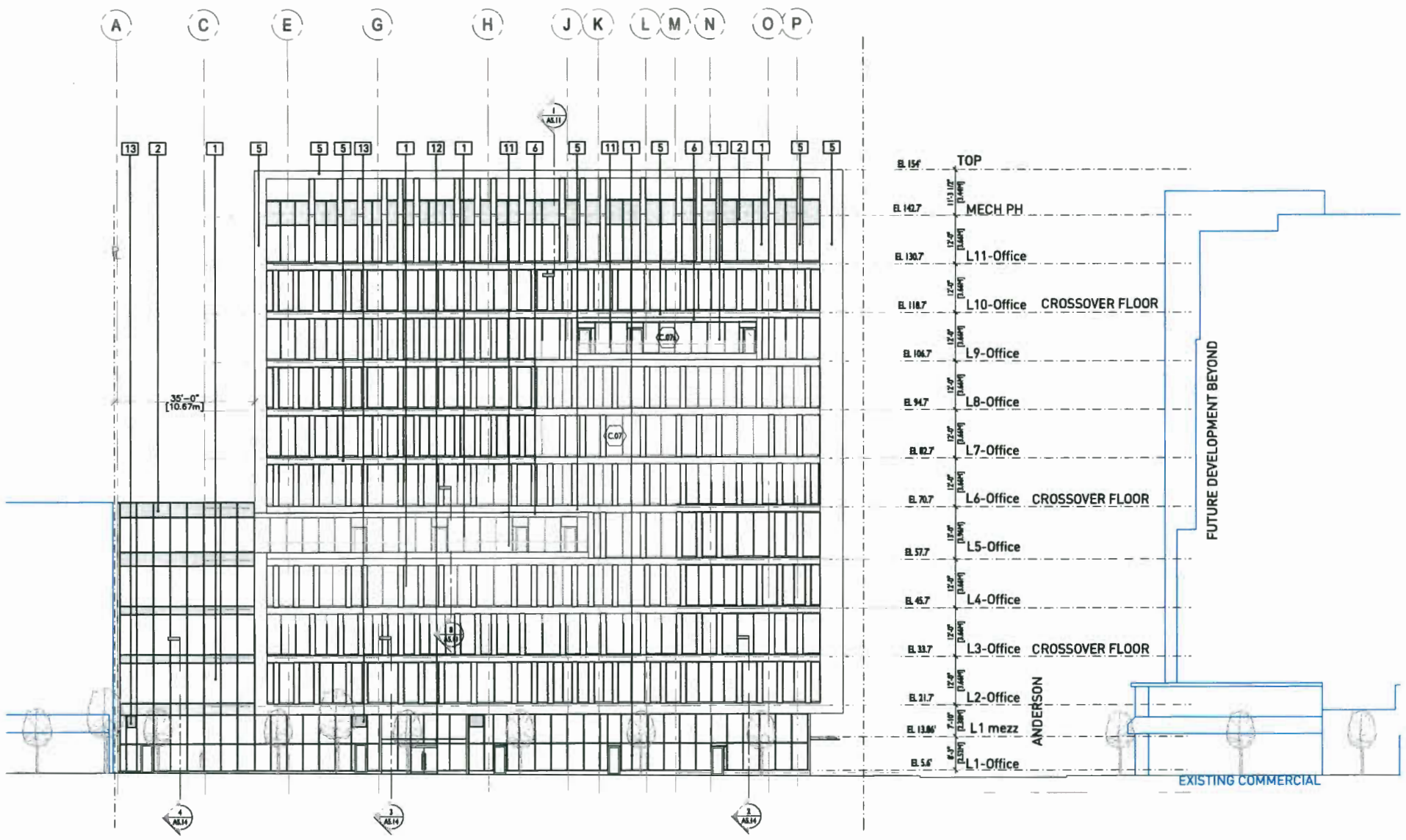
5.	AUG 12 2015	ISSUED FOR DP
6.	AUG 24 2016	RE-ISSUED FOR RZ/DP
7.	DEC 12 2016	RE-ISSUED FOR RZ/DP
8.	MAR 15 2017	RE-ISSUED FOR RZ/DP
9.	OCT. 13 2017	RE-ISSUED FOR RZ/DP COMMENTS
10.	DEC. 4 2017	ISSUED FOR BUILDING PERMIT
11.	SEP. 18 2018	REVISED RZ/DP

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / OP 15-708092
MIXED USE DEVELOPMENT

NORTH & SOUTH ELEVATIONS

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	1/16" = 1'-0"
JOB NUMBER	1441

A-4.01



MATERIAL LEGEND		
NO.	MATERIAL	
1	ALUMINUM CURTAIN WALL FRAME WITH VIEW GLASS GLAZING AND CLEAR STRUCTURAL SILICONE JOINTS	
2	ALUMINUM CURTAIN WALL FRAME WITH SPANDREL GLAZING AND MULLION CAPS	
3	ALUMINUM WINDOW WALL FRAME WITH VISION GLAZING	
4	ALUMINUM WINDOW WALL FRAME WITH SPANDREL GLAZING	
5	COMPOSITE METAL PANEL CLADDING AT FEATURE FRAME	
6	WOOD GRAIN COMPOSITE METAL PANEL CLADDING	
7	VERTICAL METAL CLADDING - TYPE I	
8	VERTICAL METAL CLADDING - TYPE II	
9	HORIZONTAL METAL CLADDING - TYPE I	
10	HORIZONTAL METAL CLADDING - TYPE II	
11	ALUMINUM GUARDRAIL WITH SAFETY GLAZING	
12	PAINTED STEEL CANOPY WITH FROSTED SAFETY GLAZING	
13	METAL MECHANICAL LOUVER	COLOUR TO MATCH WINDOW FRAMES
14	ALUMINUM SUNSHADE	COLOUR TO MATCH WINDOW FRAMES
15	EXPOSED CONCRETE - ARCHITECTURAL FINISH	
16	EXPOSED CONCRETE SLAB EDGE WITH TRAFFIC COAT.	CONTRACTOR TO PROVIDE TRAFFIC COATING AVAILABLE COLOURS FROM MANUFACTURER. (TREMCO VULKEM SYSTEM; OR BASF MASTERSEAL SYSTEM; OR PACIFIC POLYMER 5000/6000 SYSTEM)

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PLOT INFO.

NOTES

NO	DESCRIPTION

REVISIONS

NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
2.	JULY 31 2014	CLIENT REVIEW
3.	NOV 12 2014	CITY REVIEW
4.	DEC 22 2014	ISSUED FOR REZONING
5.	AUG 12 2015	ISSUED FOR DP
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8.	MAR 15 2017	RE-ISSUED FOR RZ/DP
9.	OCT. 13 2017	RE-ISSUED FOR RZ/DP COMMENTS
10.	DEC. 4, 2017	ISSUED FOR BUILDING PERMIT

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

WEST ELEVATION

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	1/16" = 1'-0"
JOB NUMBER	1441

PLAN # 18

NOV 0 6 2018

DP 15-708092

A-4.02

MATERIAL LEGEND		
NO.	MATERIAL	
1	ALUMINUM CURTAIN WALL FRAME WITH VIEW GLASS GLAZING AND CLEAR STRUCTURAL SILICONE JOINTS	
2	ALUMINUM CURTAIN WALL FRAME WITH SPANDREL GLAZING AND MULLION CAPS	
3	ALUMINUM WINDOW WALL FRAME WITH VISION GLAZING	
4	ALUMINUM WINDOW WALL FRAME WITH SPANDREL GLAZING	
5	COMPOSITE METAL PANEL CLADDING AT FEATURE FRAME	
6	WOOD GRAIN COMPOSITE METAL PANEL CLADDING	
7	VERTICAL METAL CLADDING - TYPE I	
8	VERTICAL METAL CLADDING - TYPE II	
9	HORIZONTAL METAL CLADDING - TYPE I	
10	HORIZONTAL METAL CLADDING - TYPE II	
11	ALUMINUM GUARDRAIL WITH SAFETY GLAZING	
12	PAINTED STEEL CANOPY WITH FROSTED SAFETY GLAZING	
13	METAL MECHANICAL LOUVER	COLOUR TO MATCH WINDOW FRAMES
14	ALUMINUM SUNSHADE	COLOUR TO MATCH WINDOW FRAMES
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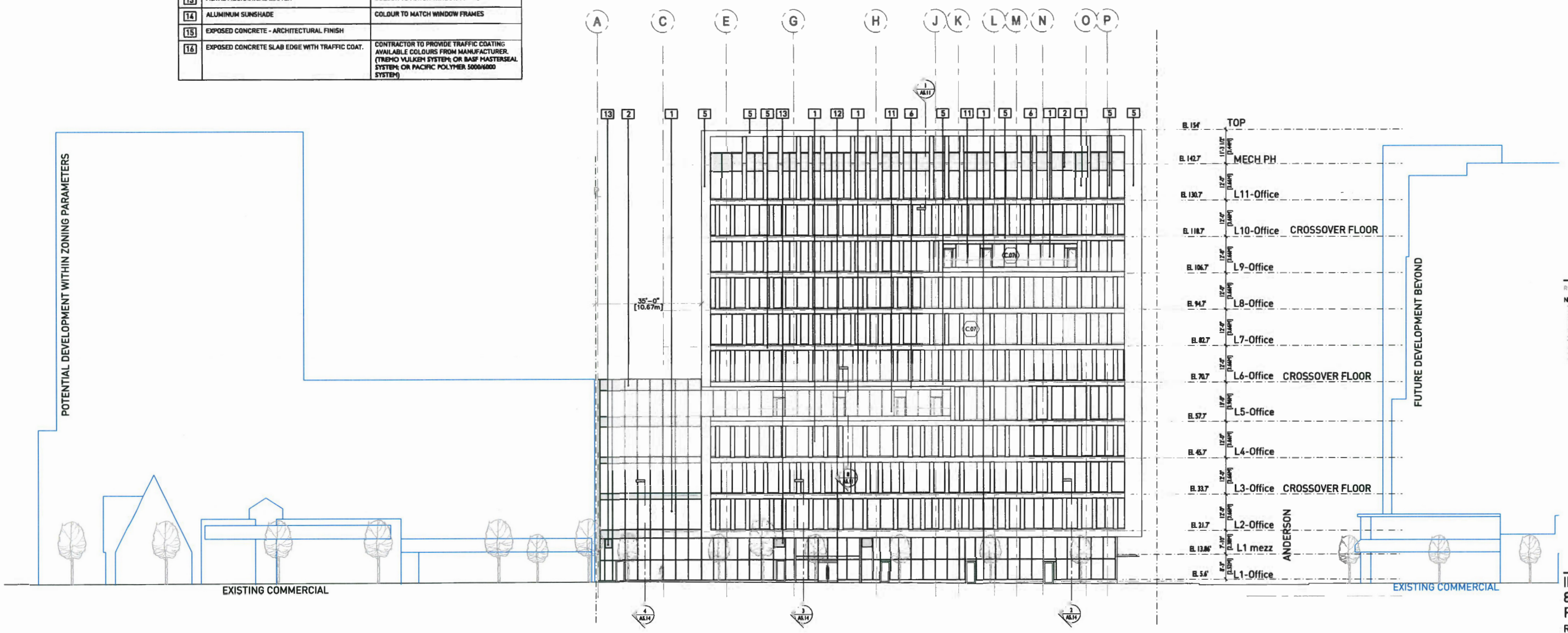

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PLOT INFO.

NOTES

NO	DESCRIPTION

REVISIONS

NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
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9.	OCT. 13 2017	RE-ISSUED FOR RZ/DP COMMENTS
10.	DEC. 4, 2017	ISSUED FOR BUILDING PERMIT

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

WEST ELEVATION

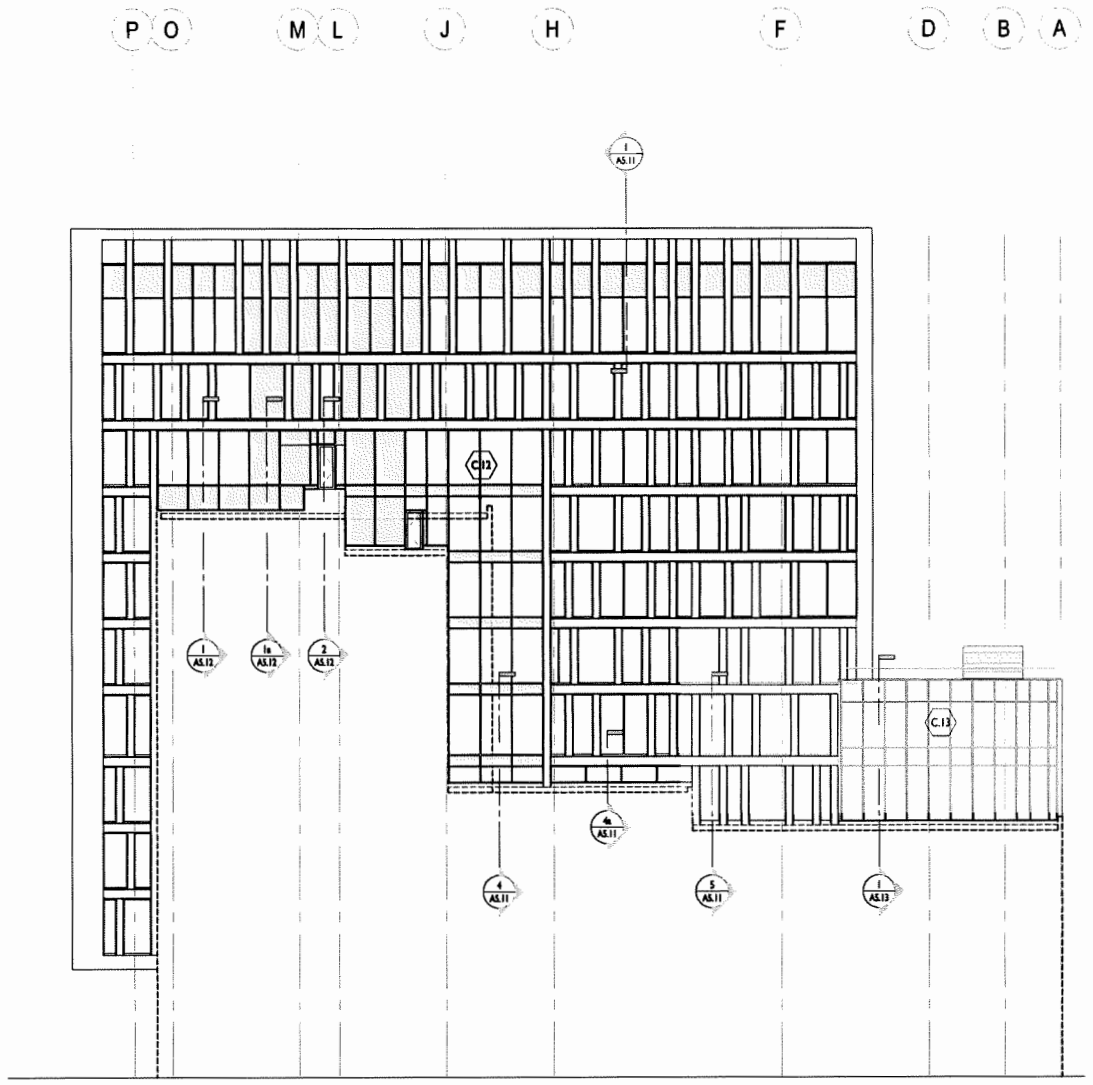
DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	1/16" = 1'-0"
JOB NUMBER	1441

PLAN #19

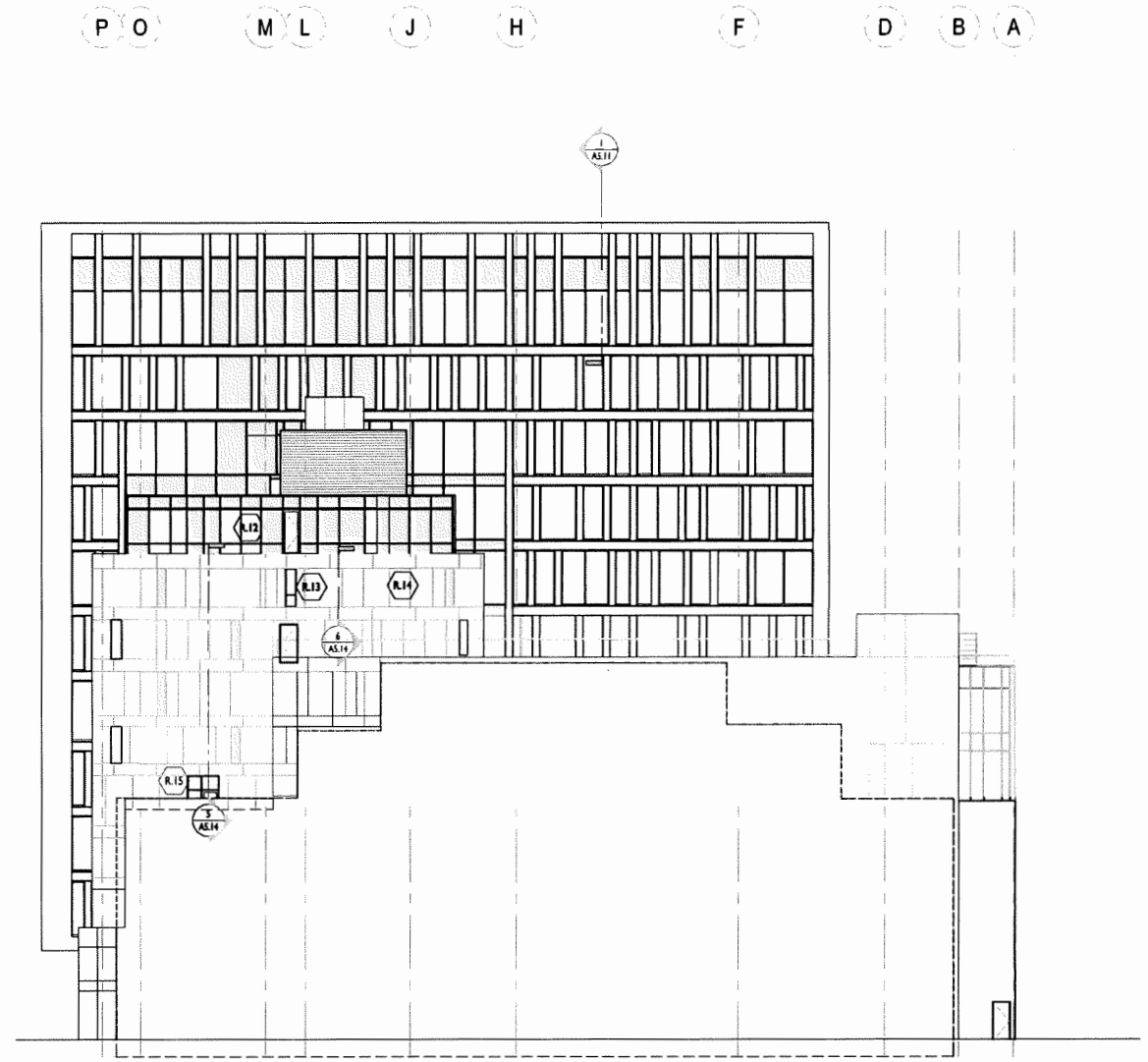
NOV 06 2018

DP 15-708092

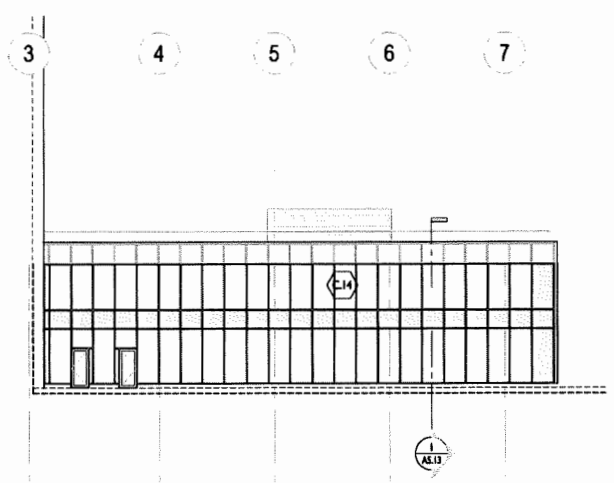
A-4.02



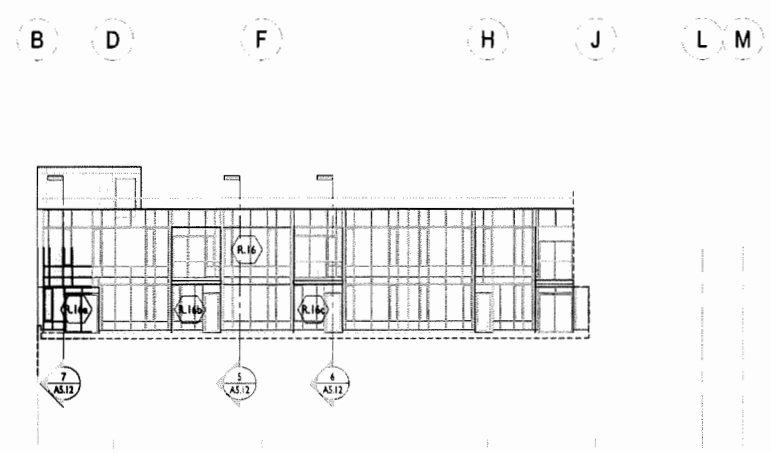
1 EAST ELEVATION
THROUGH COURTYARD AT RESIDENTIAL BLDG
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION
EAST FIRE WALL
SCALE: 1/16" = 1'-0"



3 SOUTH ELEVATION
OFFICE BLDG AT COURTYARD
SCALE: 1/16" = 1'-0"



4 WEST ELEVATION
TOWNHOUSES AT COURTYARD
SCALE: 1/16" = 1'-0"

PLAN #20

NOV 0 6 2018

MATERIAL LEGEND		
NO.	MATERIAL	
1	ALUMINUM CURTAIN WALL FRAME WITH VIEW GLASS GLAZING AND CLEAR STRUCTURAL SILICONE JOINTS	
2	ALUMINUM CURTAIN WALL FRAME WITH SPANDREL GLAZING AND MULLION CAPS	
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PLOT INFO.

NOTES

NO	DESCRIPTION

REVISIONS

NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
2.	JULY 31 2014	CLIENT REVIEW
3.	NOV 12 2014	CITY REVIEW
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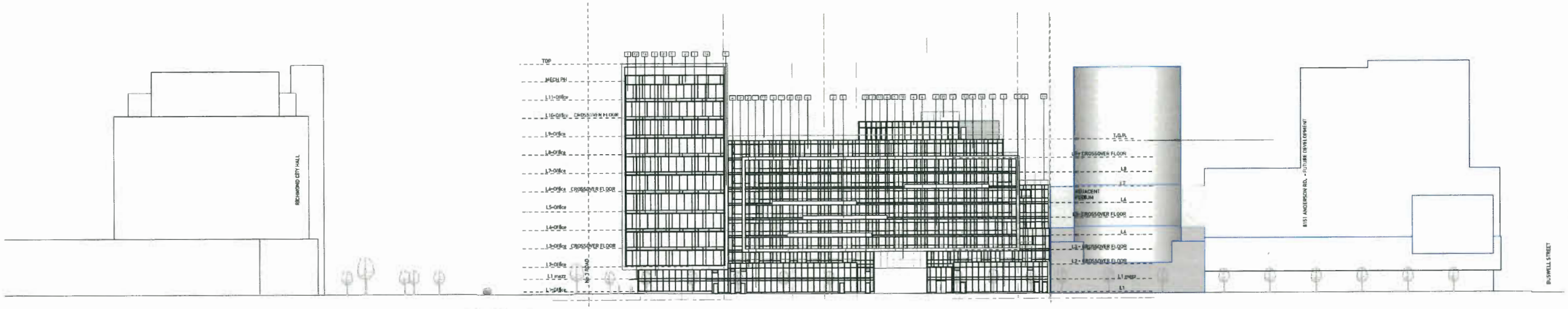
9.	OCT. 13 2017	RE-ISSUED FOR RZ/DP COMMENTS
10.	DEC. 4, 2017	ISSUED FOR BUILDING PERMIT

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

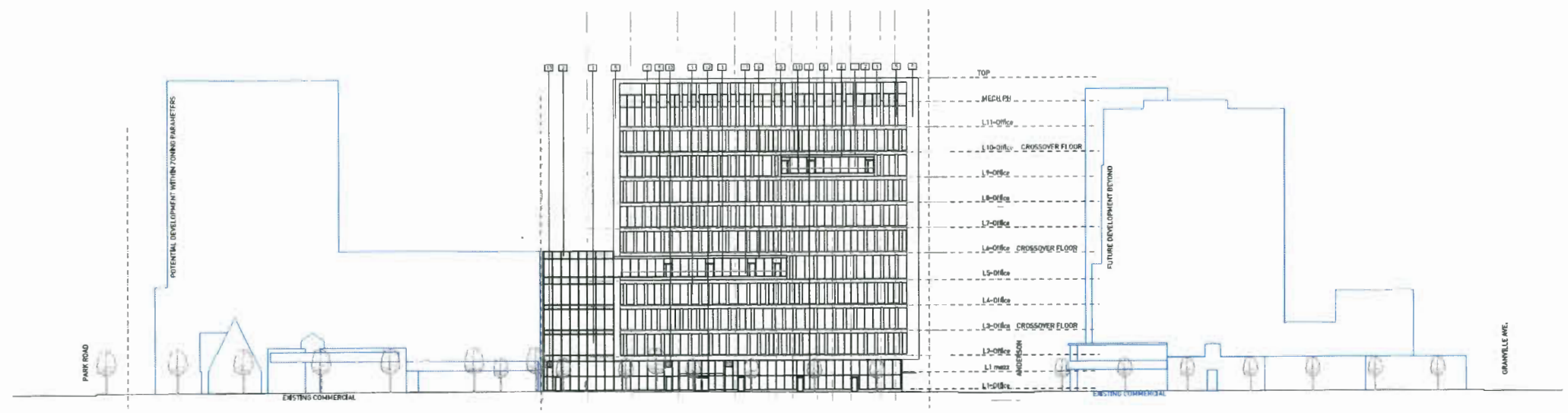
EAST ELEVATION / COURTYARD ELEV.

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	1/16" = 1'-0"
JOB NUMBER	1441

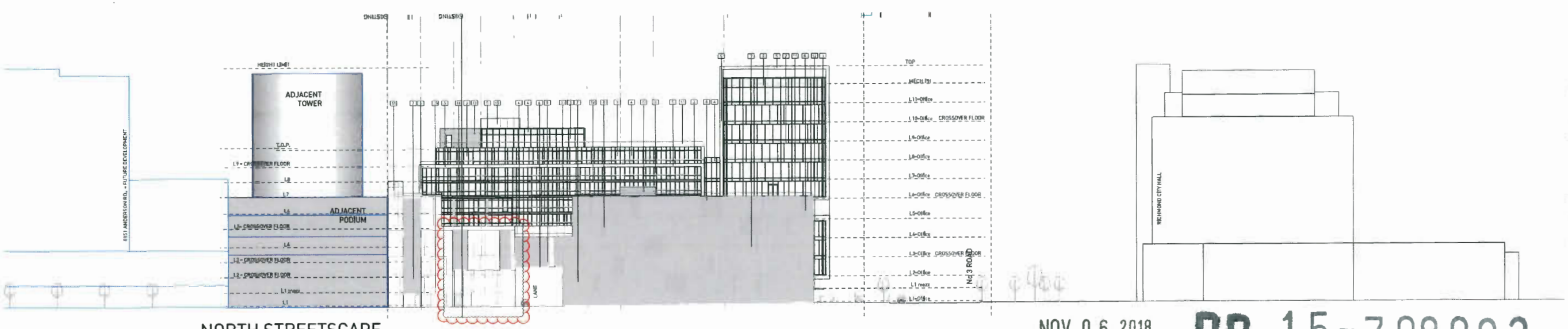
A-4.03



SOUTH STREETSCAPE (ANDERSON ROAD)



WEST STREETSCAPE (No 3 ROAD)



NORTH STREETSCAPE

PLAN #21

NOV 0 6 2018

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NOTES

NO DESCRIPTION

REVISIONS

NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
2.	JULY 31 2014	CLIENT REVIEW
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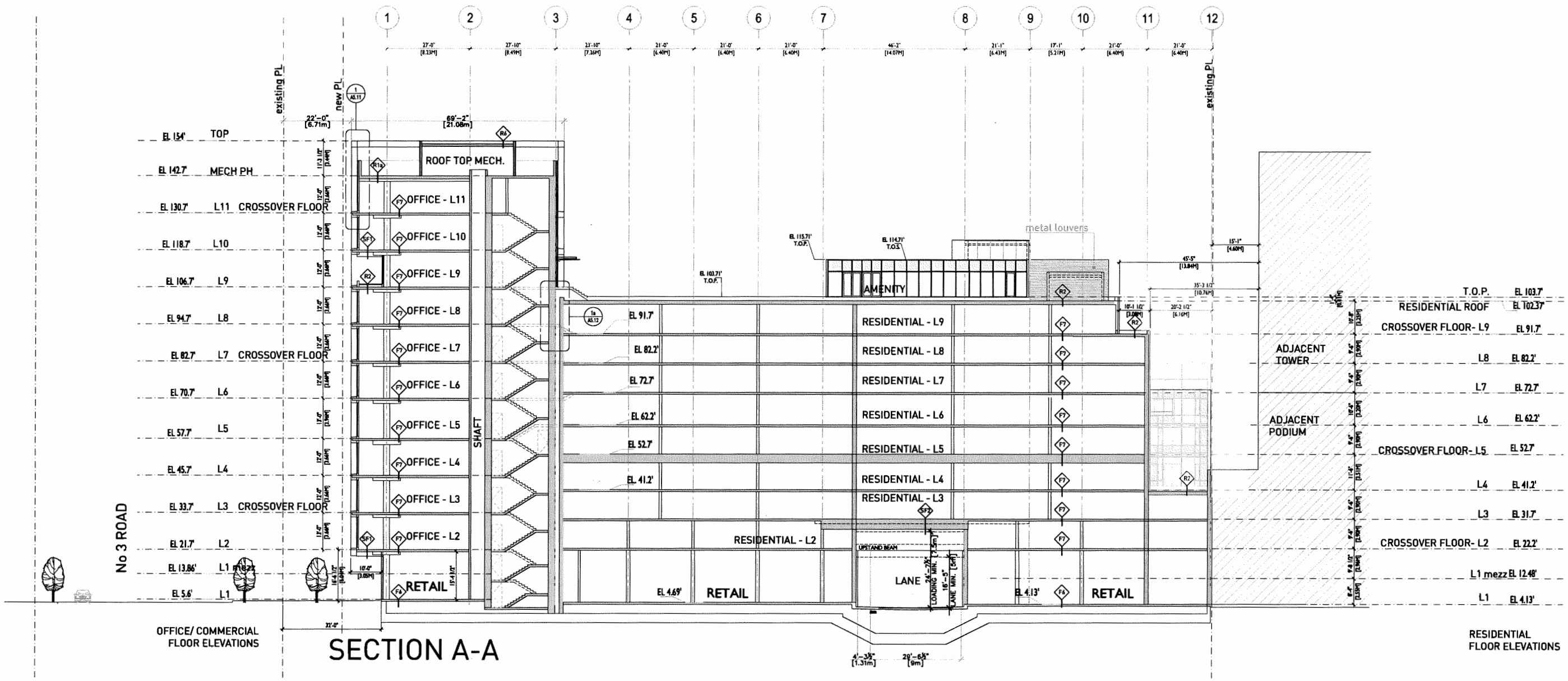
IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

STREETSCAPE ELEVATIONS

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	½" = 1'-0"
JOB NUMBER	1441

A-4.03



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NOTES

NO	DESCRIPTION

REVISIONS

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9.	OCT. 13 2017	RE-ISSUED FOR RZ/DP COMMENTS
10.	DEC. 4 2017	ISSUED FOR BUILDING PERMIT
11.	SEP. 18 2018	REVISED RZ/DP

N

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

SECTION A-A

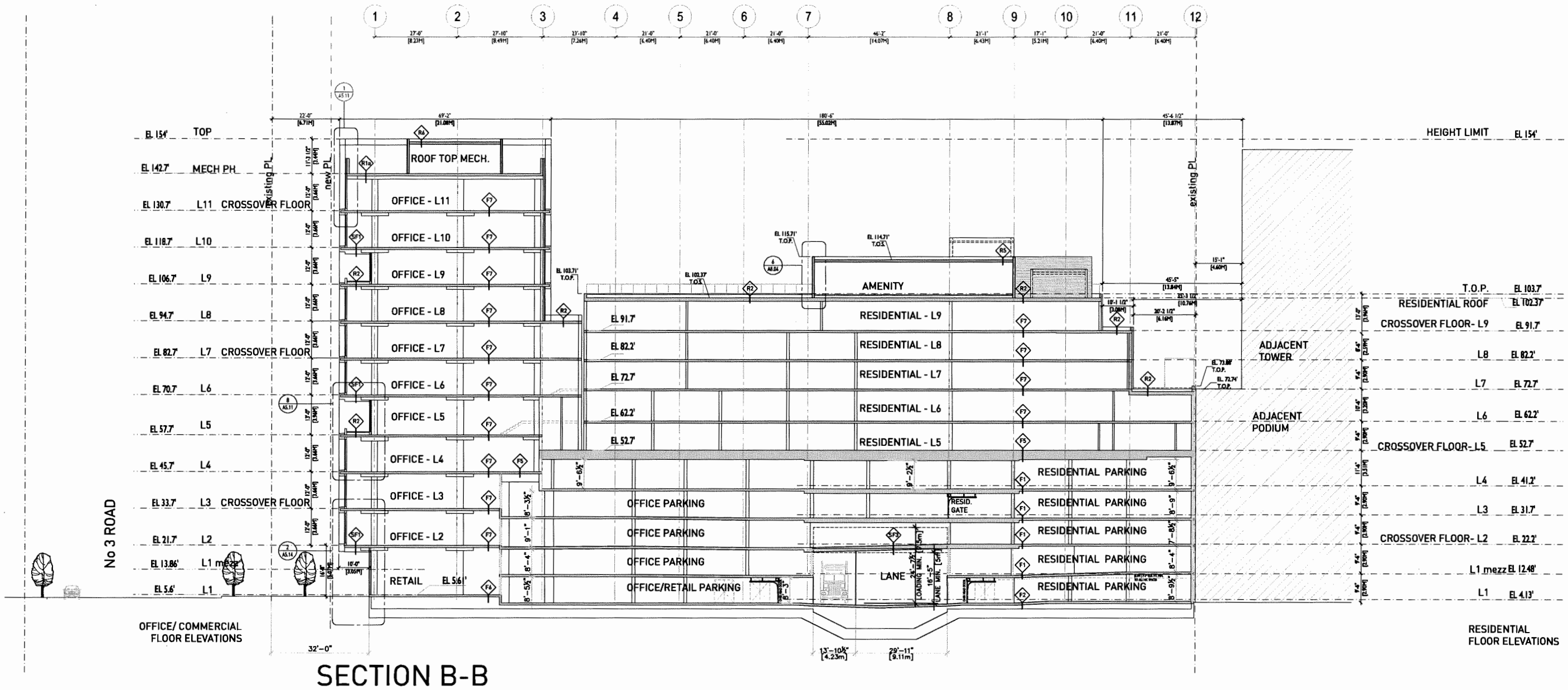
DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	1/16"=1'-0"
JOB NUMBER	1441

PLAN #22

NOV 06 2018

DP 15-708092

A-5.01



SECTION B-B

gbl

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PLOT INFO:

NOTES

NO	DESCRIPTION

REVISIONS

NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
2.	JULY 31 2014	CLIENT REVIEW
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8.	MAR 15 2017	RE-ISSUED FOR RZ/DP
9.	OCT. 13 2017	RE-ISSUED FOR RZ/DP COMMENTS
10.	DEC. 4 2017	ISSUED FOR BUILDING PERMIT
11.	SEP. 18 2018	REVISED RZ/DP

N

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

SECTION B-B

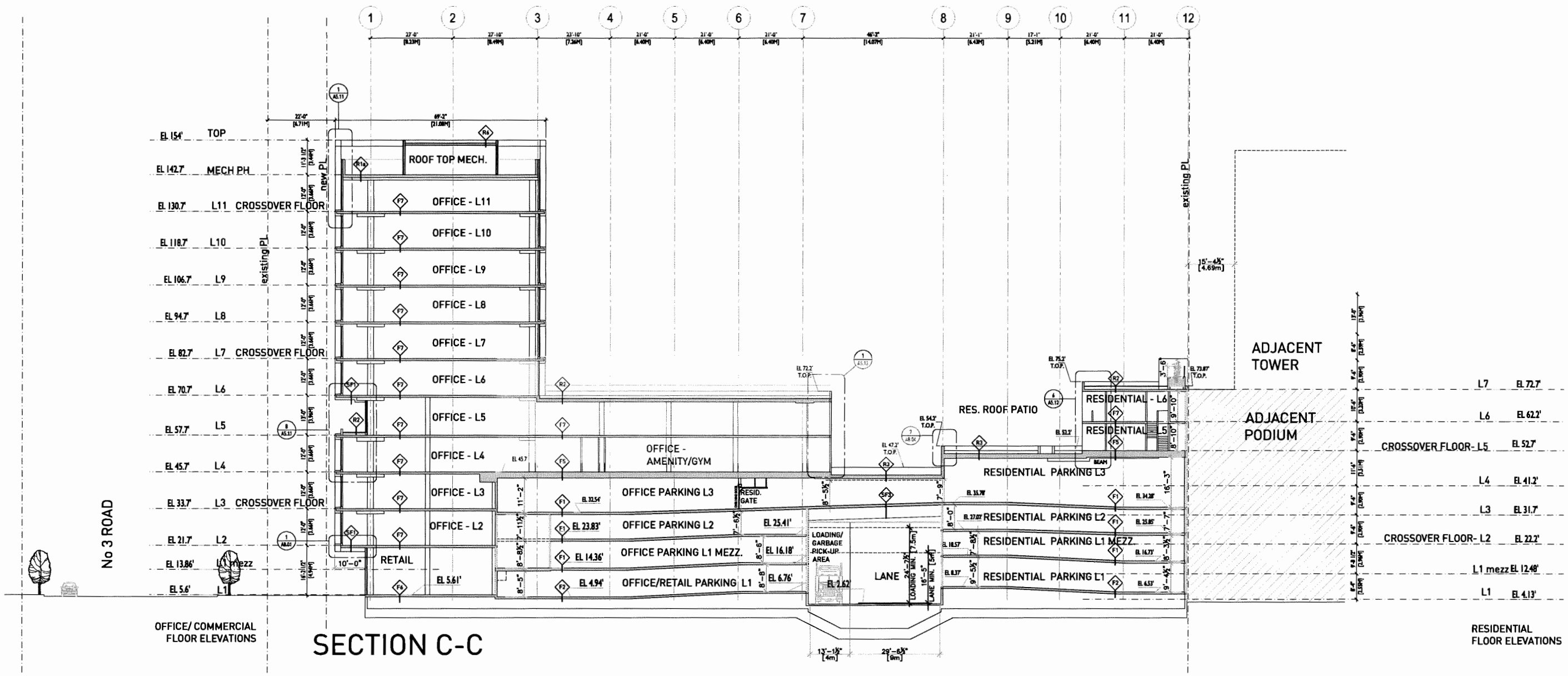
DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	1/16"=1'-0"
JOB NUMBER	1441

PLAN # 23

NOV 0 6 2018

DP 15-708092

A-5.02



SECTION C-C

gbl

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PLOT INFO.

NOTES

NO	DESCRIPTION

REVISIONS

NO.	DATE	REMARKS
1.	JULY 16 2014	CLIENT REVIEW
2.	JULY 31 2014	CLIENT REVIEW
3.	NOV 12 2014	CITY REVIEW
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IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

SECTION C-C

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
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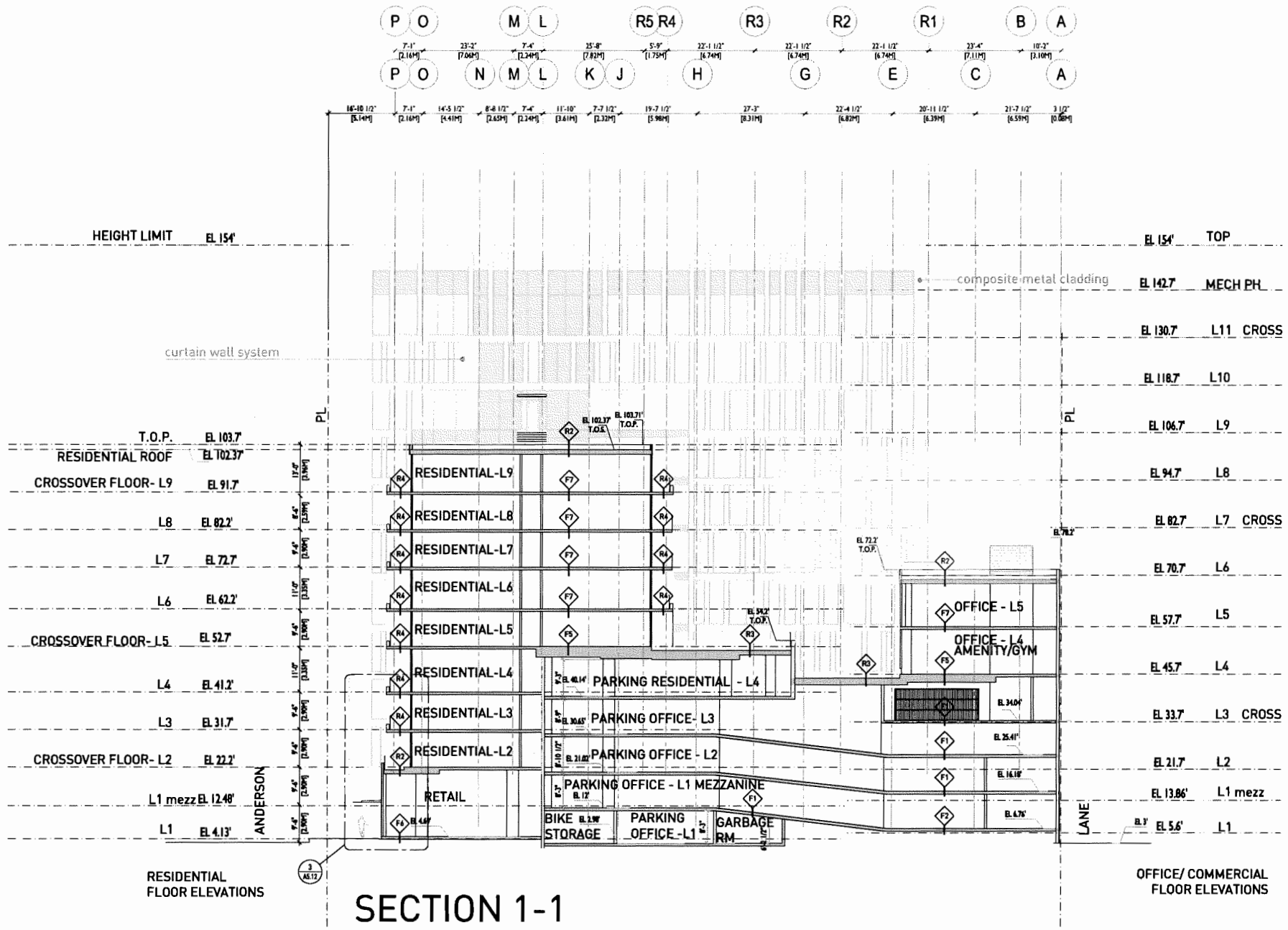
JOB NUMBER	1441

PLAN 924

NOV 0 6 2018

DP 15-708092

A-5.03



SECTION 1-1

PLAN # 25

NOV 0 6 2018

DP 15-708092

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PLOT INFO.

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11.	SEP. 18 2018	REVISED RZ/DP

N

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

SECTION 1-1

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
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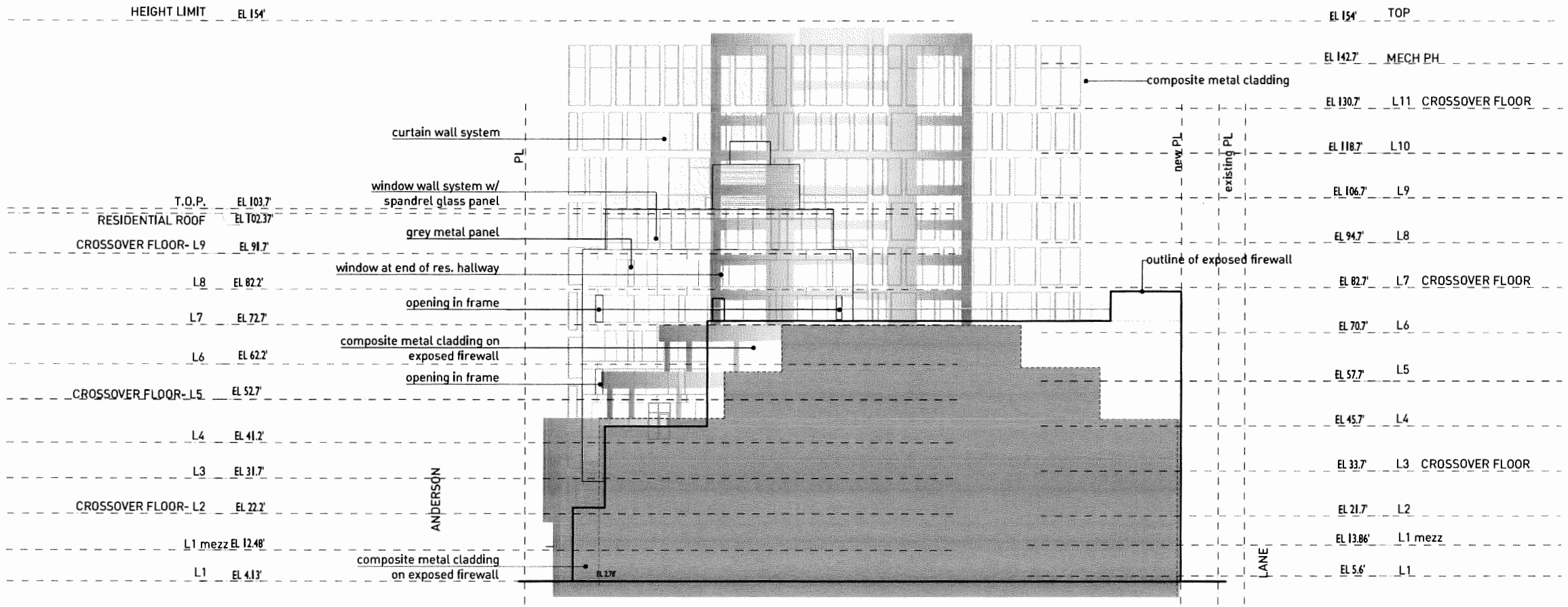

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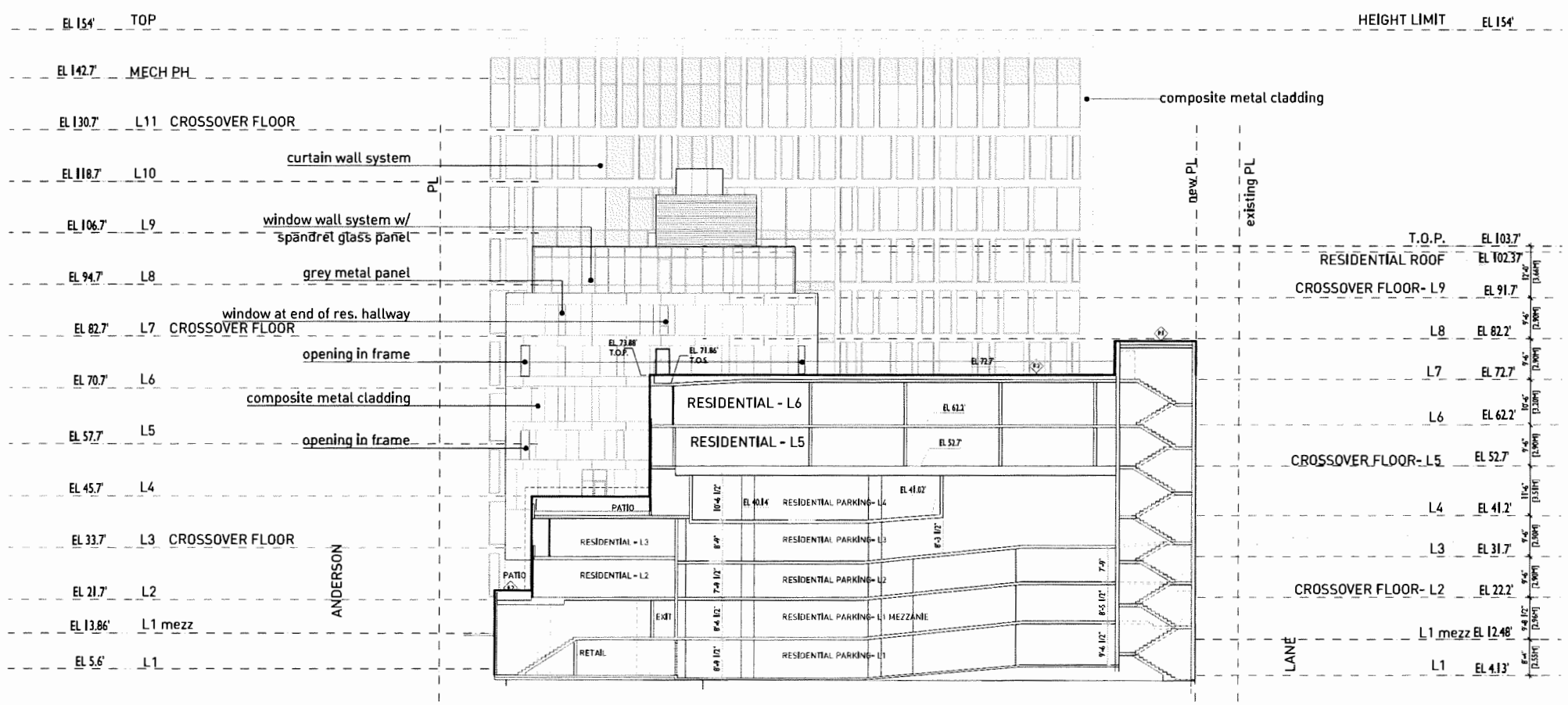

SECTION 3-3

PLAN # 26

NOV 06 2018

DP 15-708092

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1201 EAST 8TH AVENUE
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PLOT DATE:

NOTES:
NO. DESCRIPTION

REVISIONS

NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
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11.	SEP. 18 2018	REVISED RZ/DP

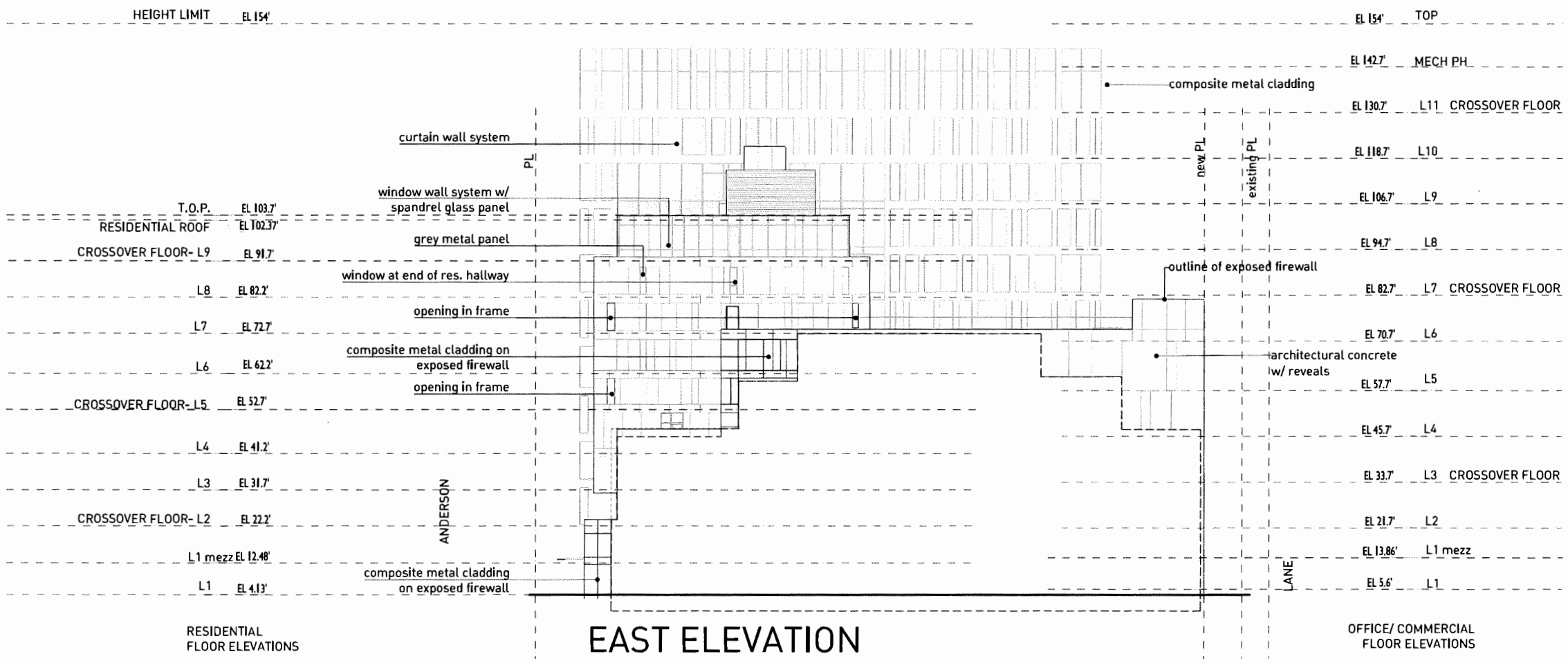
N

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

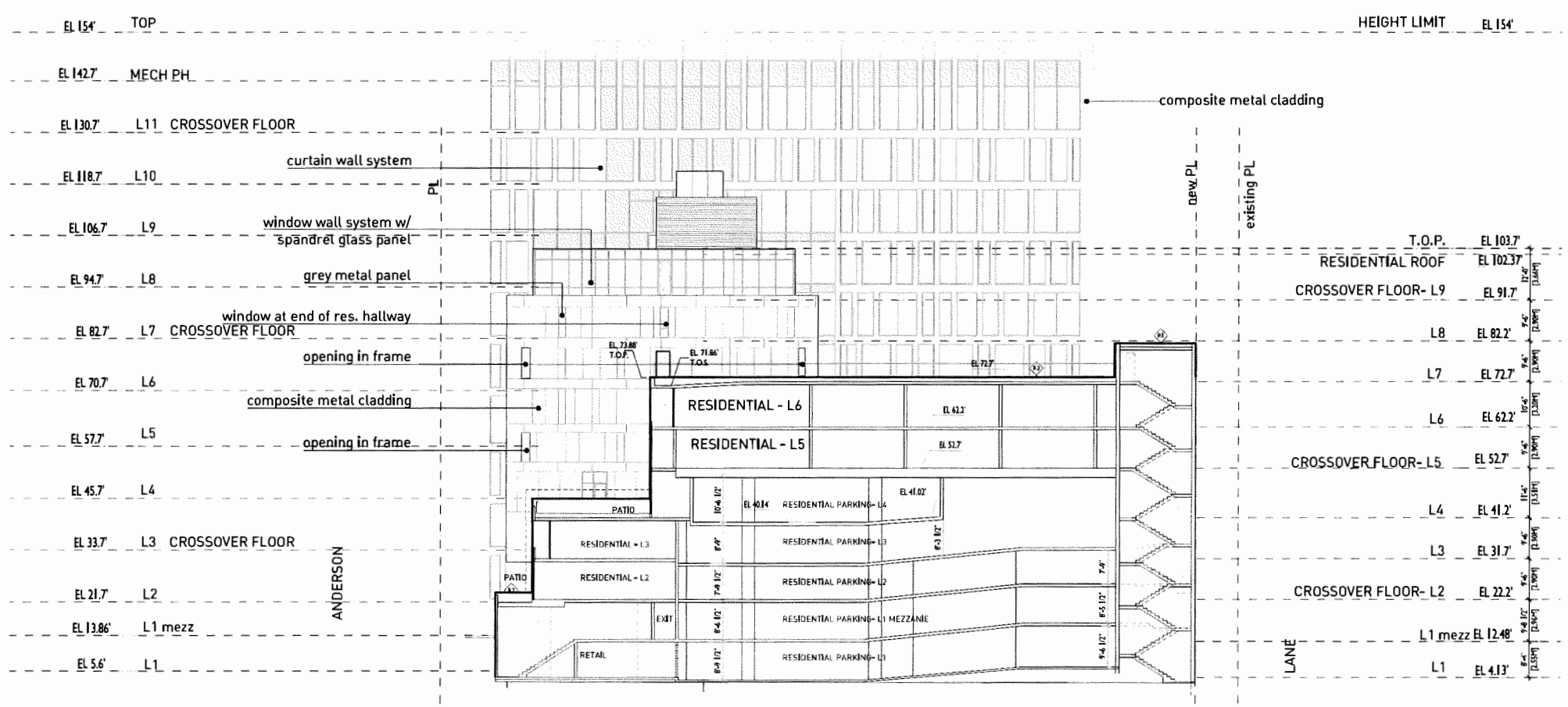
SECTION 3-3

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	1/16"=1'-0"
JOB NUMBER	1441

A-5.04



EAST ELEVATION



SECTION 3-3

PLAN R27

NOV 06 2018

DP 15-708092

gbl

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PROJECT INFO.

STATUS

NO.	DESCRIPTION

REVISIONS

NO.	DATE	REMARKS
1.	JULY 18 2014	CLIENT REVIEW
2.	JULY 31 2014	CLIENT REVIEW
3.	NOV 12 2014	CITY REVIEW
4.	DEC 22 2014	ISSUED FOR REZONING
5.	AUG 12 2015	ISSUED FOR DP
6.	AUG 24 2016	RE-ISSUED FOR RZ/DP
7.	DEC 12 2016	RE-ISSUED FOR RZ/DP
8.	MAR 15 2017	RE-ISSUED FOR RZ/DP
9.	OCT. 13 2017	RE-ISSUED FOR RZ/DP COMMENTS
10.	DEC. 4 2017	ISSUED FOR BUILDING PERMIT
11.	SEP. 18 2018	REVISED RZ/DP

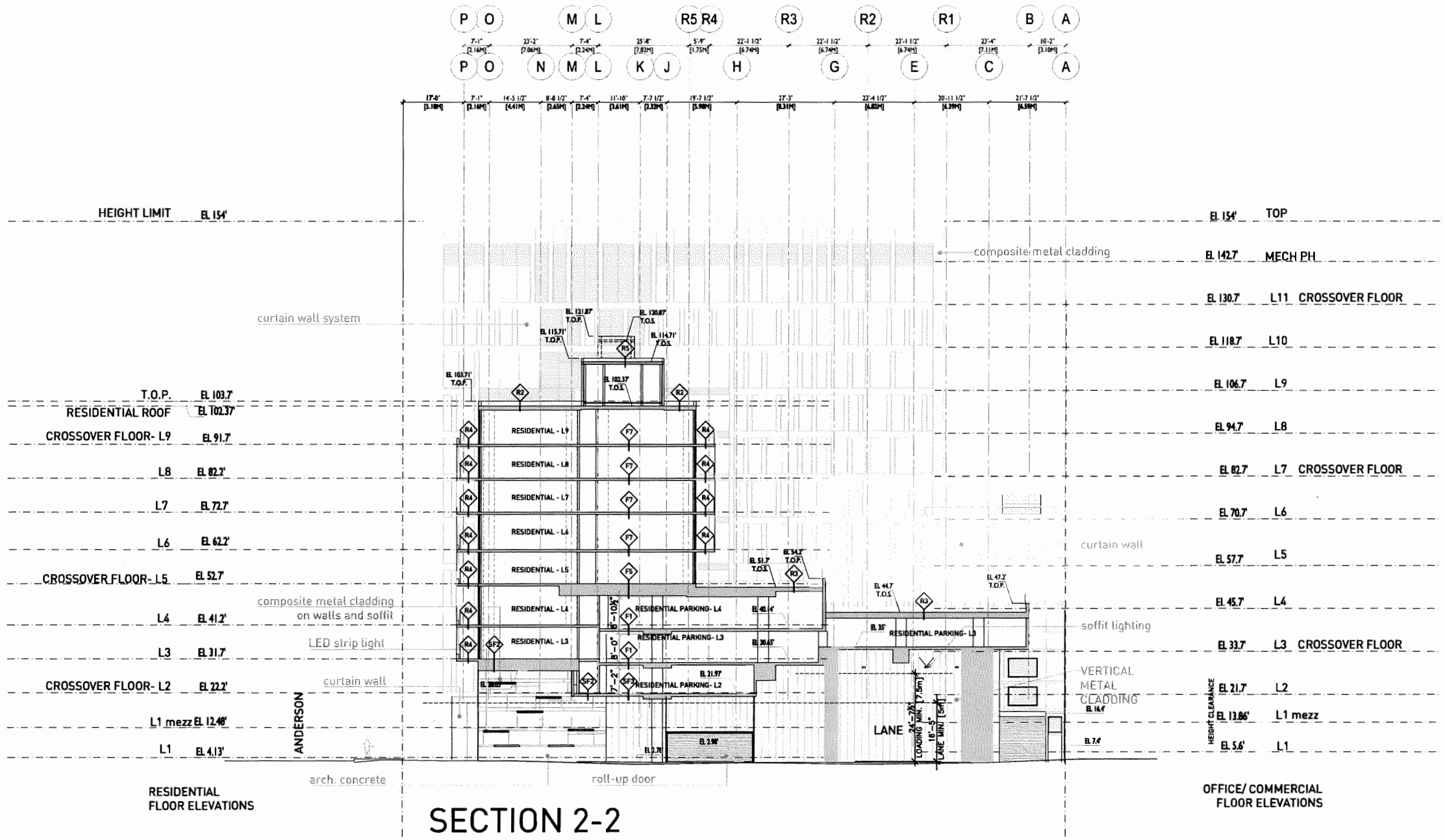
N

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
MIXED USE DEVELOPMENT

SECTION 3-3

DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	1/16"=1'-0"
JOB NUMBER	1441

A-5.04



SECTION 2-2

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PLOT INFO.

NOTES

NO	DESCRIPTION

REVISIONS

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1.	JULY 18 2014	CLIENT REVIEW
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SECTION 2-2

DATE	DATE
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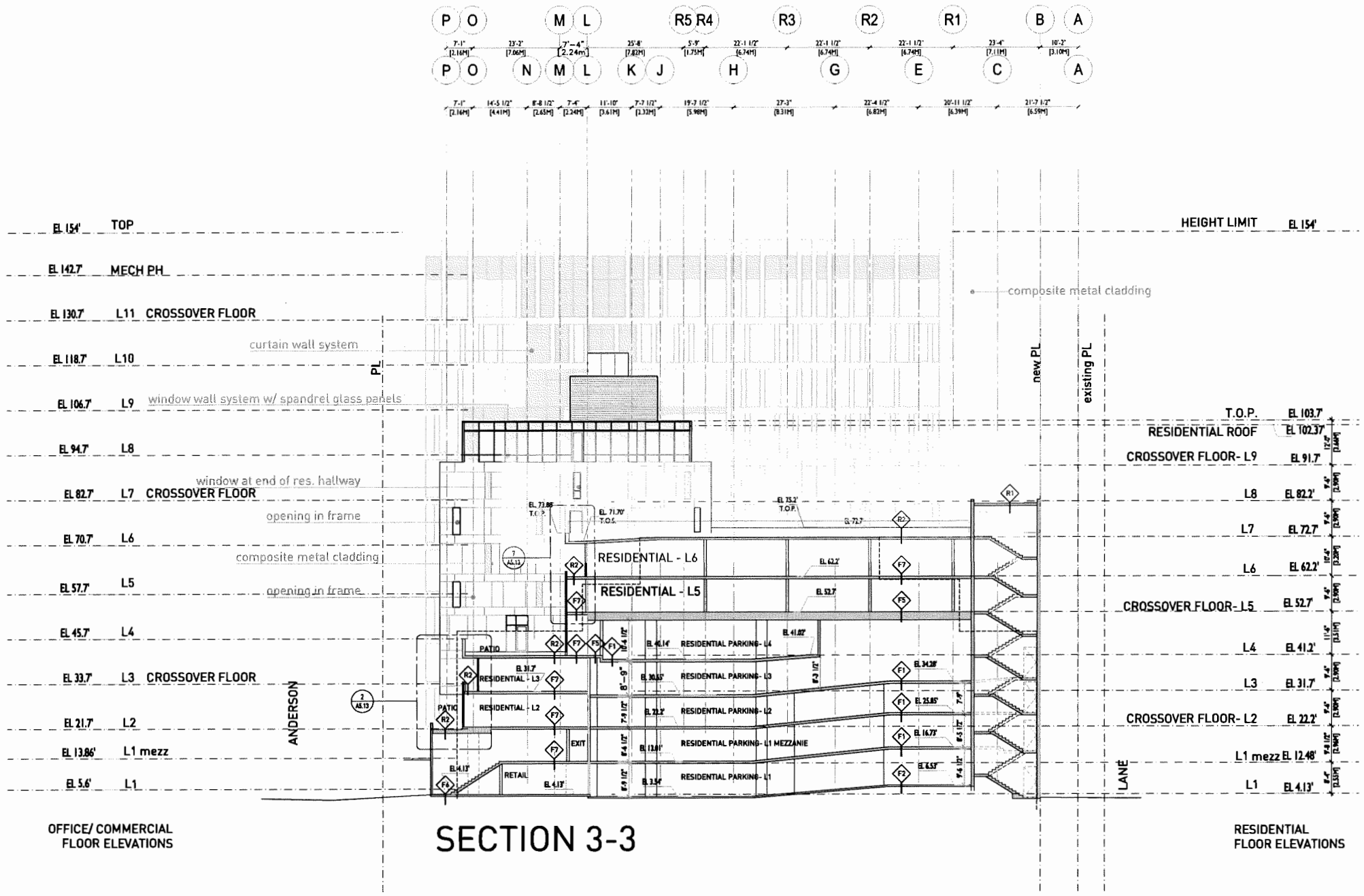
CHECKED BY	AB
SCALE	1/16"=1'-0"
JOB NUMBER	1441

PLAN # 28 NOV 0 6 2018 DP 15-708092

A-5.05



OFFICE/ COMMERCIAL FLOOR ELEVATIONS

SECTION 3-3

RESIDENTIAL FLOOR ELEVATIONS

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PLOT INFO.

NOTES

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REVISIONS

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N

IFORTUNE Centre Anderson Road
8051 Anderson Road
Richmond, BC
RZ 14-678448 / DP 15-708092
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SECTION 3-3

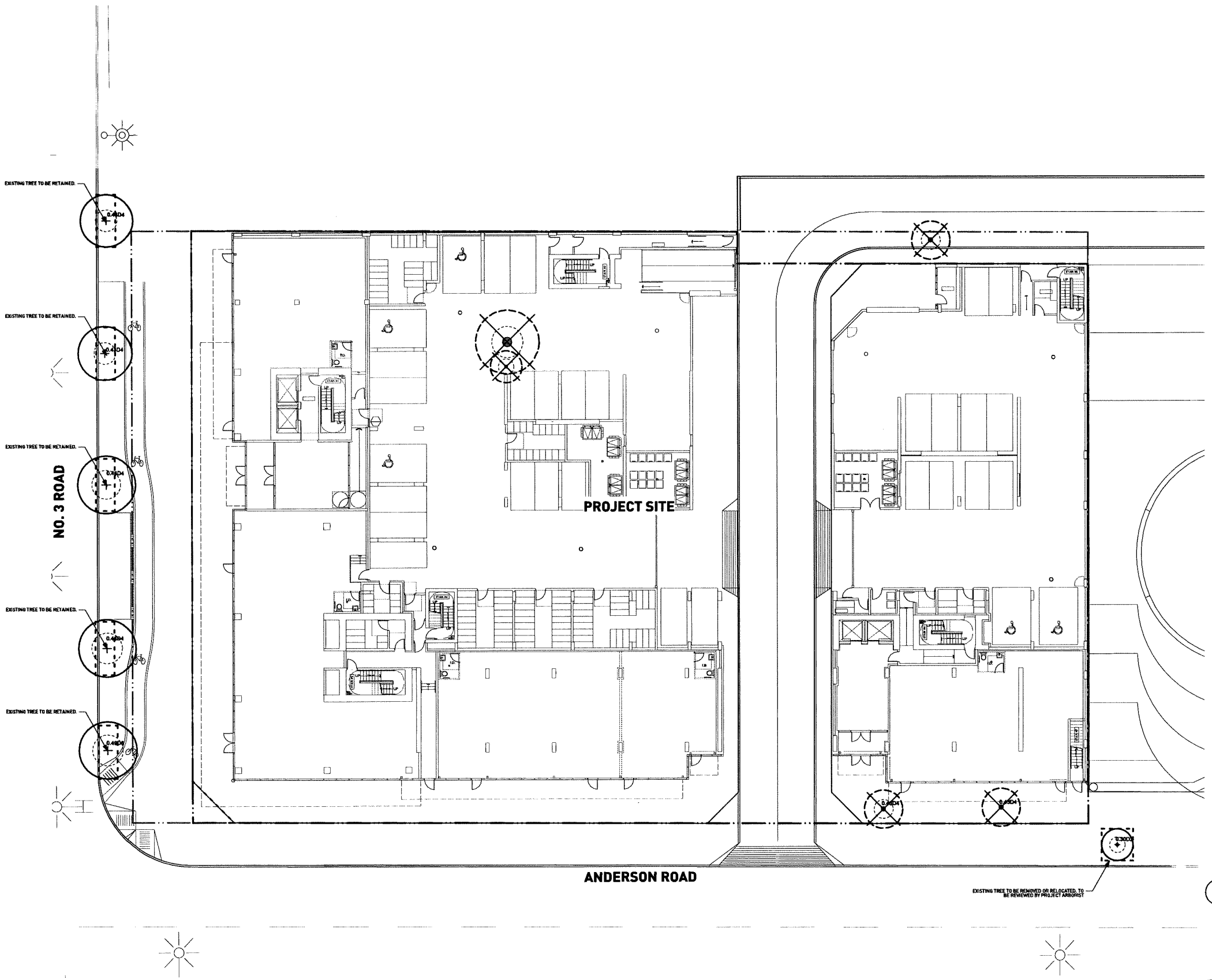
DATE	DATE
DRAWN BY	RS / ND
CHECKED BY	AB
SCALE	1/16"=1'-0"
JOB NUMBER	1441

PLAN #29

NOV 0 0 2018

DP 15-708092

A-5.06



TREE PROTECTION GENERAL NOTES

A. EXCAVATION AROUND TREES

1. EXCAVATION WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
2. DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
3. TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED BY 1.8M (6'-0") HIGH SEMI-PERMANENT CHAIN-LINK FENCING. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.

B. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES

1. HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
2. USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
3. RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.

C. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES

1. TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
2. DO NOT CUT MAIN LATERAL ROOTS.
3. CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
4. ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 150MM (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.

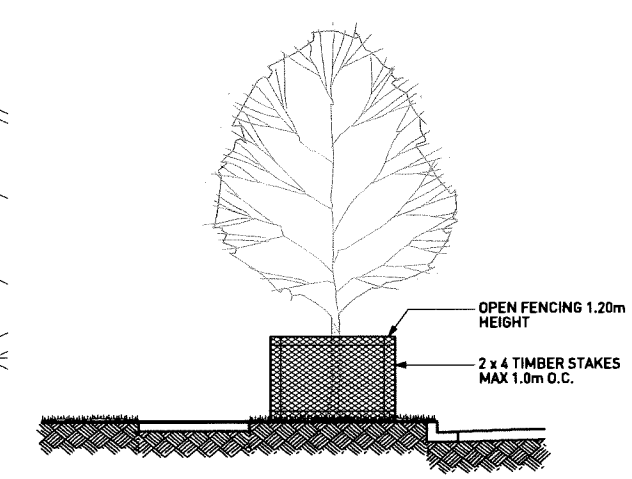
D. PROTECTION OF EXPOSED ROOTS

1. DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:

   A. PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
   B. PACK WITH WET PEAT MOSS. MAINTAIN MOISTURE.
   C. PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.

2. TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
3. WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS.

TREE LEGEND	
CRITICAL ROOT ZONE	DECIDUOUS TREE TO REMOVE
CRITICAL ROOT ZONE	DECIDUOUS TREE TO RETAIN
- - - - -	MINIMUM TREE PROTECTION AREA 2.5M - STRUCTURAL PER ARBORIST REPORT



1 TREE PROTECTION BARRIER FENCING DETAIL
nts

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/09/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
TREE MANAGEMENT PLAN

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NORTH
SCALE 1/16" = 1'

PROJECT NO.	14104
DATE	AUG 2016
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-9-20 at 9:45:39 AM
DRAWN	ZL REVIEWED GB

DRAWING
L 0.01

PLAN # 30 NOV 06 2018 DP 15-708092

GRADING GENERAL NOTES

1. REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
3. GROWING MEDIUM DEPTHS ON ARCHITECTURAL SLAB ARE NOT TO EXCEED THOSE SPECIFIED IN SPECIFICATIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. SLAB DRAINS AND PLANTER SLAB DRAINS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE READ IN CONJUNCTION WITH MECHANICAL ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5. UNLESS OTHERWISE NOTED ALL DRAINS LOCATED IN LAWN OR PLANTED AREAS TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT AS DETAILED ON LANDSCAPE DRAWINGS.
6. UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
7. UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
8. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
9. TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
10. TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

LAYOUT AND MATERIALS GENERAL NOTES

1. DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5. EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
6. REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

GENERAL NOTES

1. ALL LANDSCAPE AREAS TO BE PROVIDED WITH AUTOMATIC IRRIGATION.
2. ALL BALCONIES AND PATIOS TO BE PROVIDED WITH HOSE BIBS.

LANDSCAPE CONSTRUCTION NOTES

CONTRACT DOCUMENTS:

THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE LANDSCAPE CREW ON SITE ALWAYS HAS AND IS WORKING WITH THE LATEST CONTRACT DOCUMENTS (I.E. DRAWINGS, REVISIONS, SITE INSTRUCTIONS, ETC.)

COMPLIANCE:

PWL SHALL NOT ACCEPT RESPONSIBILITY OR LIABILITY AS IT RELATES TO THE LANDSCAPE CONSTRUCTION DUE TO DISREGARDS, ALTERATION OR FAILURE TO COMPLY WITH THE DESIGN, DRAWINGS, SPECIFICATIONS OR RECOMMENDATIONS OF THIS PROJECT DURING THE CONSTRUCTION STAGE.

CONSTRUCTION STAGE FIELD REVIEW:

1. FIELD REVIEW BY PWL SHOULD NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR BUILDING THE PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, CONTROLLING THE PROGRESS, PROVIDING SAFE WORKING CONDITIONS, AND CORRECTING ANY DEVIATIONS FROM THE PROJECT REQUIREMENTS.

2. FIELD REVIEW REPORT BY PWL IS THE STATEMENT OF THE FIELD REVIEWER THAT, TO THE BEST OF HIS OR HER KNOWLEDGE, INFORMATION AND BELIEF, THE INSTALLATION IS IN ACCORDANCE WITH THE GENERAL INTENT OF THE DESIGN AND IN GENERAL COMPLIANCE WITH THE PLAN AND SPECIFICATION ON THIS PROJECT. FIELD REVIEW SERVICES DO NOT ASSUME RESPONSIBILITY FOR THE WORK OF CONTRACTORS.

GRADING LEGEND

EL 0.94	Existing Elevation
EL 0.94	Proposed Elevation
FFE 0.94	Finished Floor Elevation
TW 0.94	Proposed Top of Wall Elevation
BW 0.94	Proposed Bottom of Wall Elevation
	Area Drain
	Slab Drain
	Planter Drain

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

PAVING LEGEND

KEY	DETAIL	DESCRIPTION
P1	1 / L5.01	**PAVING TYPE:** Light Duty CIP Concrete Sidewalk **SUPPLIER:** By Contractor **DESCRIPTION:** N/A **SIZE:** Refer to Civil Enginner and City of Richmond Standards for Assembly **FINISH:** N/A **COMMENT:** N/A
P1A	N / A	**PAVING TYPE:** Heavy Duty CIP Concrete **SUPPLIER:** By Contractor **DESCRIPTION:** N/A **SIZE:** Refer to Civil Enginner **FINISH:** Broom Finish **COMMENT:** Saw Cut 5'0" O/C Or As Shown
P3	4 / L5.01	**PAVING TYPE:** Basalt Stone Paving **SUPPLIER:** Badrock Natural Stone **DESCRIPTION:** Black Tusk Basalt Paver **SIZE:** 24"x 8"x2" **FINISH:** Saw Cut All Sides, Split Top Exposed Face **COMMENT:** Running Bond Pattern.
P4	1 / L5.01	**PAVING TYPE:** Heavy Duty CIP Colour Concrete Paving - Type I **SUPPLIER:** By Contractor **DESCRIPTION:** N/A **SIZE:** Refer to Civil Engineer and City of Richmond Standard for Assembly **FINISH:** Broom Finish. Graphite 8084 (Davies Colours) **COMMENT:** Saw Cut 5'0" O/C Or As Shown
P6	1 / L5.01	**PAVING TYPE:** Heavy Duty CIP Colour Concrete Paving - Type II **SUPPLIER:** By Contractor **DESCRIPTION:** N/A **SIZE:** Refer to Civil Engineer and City of Richmond Standard for Assembly **FINISH:** Broom Finish. Kailua (Davies Colours) **COMMENT:** Saw Cut 5'0" O/C Or As Shown
P6	6 / L5.01	**PAVING TYPE:** Hydrapressed Slab -Type I **SUPPLIER:** Abbotsford Concrete Products **DESCRIPTION:** Texada Series **SIZE:** 2'x2'x2" **FINISH:** Natural. Stack Bond **COMMENT:** Set on Pedestal from Pave-EL Pedestal Systam. Adjust Level to Suit
P7	6 / L5.01	**PAVING TYPE:** Hydrapressed Slab -Type II **SUPPLIER:** Abbotsford Concrete Products **DESCRIPTION:** Texada Series **SIZE:** 2'x2'x2" **FINISH:** Charcoal. Running Bond **COMMENT:** Set on Pedestal from Pave-EL Pedestal System. Adjust Level to Suit
P8	6 / L5.01	**PAVING TYPE:** Hydrapressed Slab -Type III **SUPPLIER:** Abbotsford Concrete Products **DESCRIPTION:** Cortez Series **SIZE:** 2'x2'x2" **FINISH:** Charcoal. Running Bond **COMMENT:** Set on Pedestal from Pave-EL Pedestal System. Adjust Level to Suit
P9	6 / L5.01	**PAVING TYPE:** Hydrapressed Slab -Type IV **SUPPLIER:** Abbotsford Concrete Products **DESCRIPTION:** Texada Series **SIZE:** 2'x2'x2" **FINISH:** Charcoal. Stack Bond **COMMENT:** Set on Pedestal from Pave-EL Pedestal System. Adjust Level to Suit
P10	6 / L5.01	**PAVING TYPE:** Hydrapressed Slab -Type V **SUPPLIER:** Abbotsford Concrete Products **DESCRIPTION:** Texada Series **SIZE:** 2'x2'x2" **FINISH:** Natural. Running Bond **COMMENT:** Set on Pedestal from Pave-EL Pedestal System. Adjust Level to Suit
P11	7 / L5.01	**PAVING TYPE:** Composite Wood Decking **SUPPLIER:** Trex **DESCRIPTION:** Trex Transcend **SIZE:** 1" Square Edge Boards **FINISH:** Spiced Rum **COMMENT:** Contractor to Provide Sample to Approve Finish
P12	8 / L5.01	**PAVING TYPE:** Resilience Surface **SUPPLIER:** Marathon Surface **DESCRIPTION:** Play Surface **SIZE:** Refer to Plans and Details **FINISH:** 50% Beige/ 50% Black **COMMENT:** Refer to Supplier Standards for Installation
P13	N / A	**PAVING TYPE:** Artificial Turf (Putting Green) **SUPPLIER:** Precision Greens (1-888-970-8771) **DESCRIPTION:** Putting Green **SIZE:** Refer to Plans and Details **FINISH:** **COMMENT:** Refer to Supplier Standards for Installation
P14	2 / L5.01	**PAVING TYPE:** CIP Concrete Band **SUPPLIER:** By Contractor **DESCRIPTION:** N/A **SIZE:** Varies. Refer to Layout Plan and Details **FINISH:** Broom Finish. **COMMENT:** Saw Cut 5'0" O/C Or As Shown

SITE FURNISHING LEGEND

KEY	DETAIL	DESCRIPTION
F1	8 / L5.02	**FURNISHING TYPE:** Custom Bench -Type I **SUPPLIER:** By Contractor **DESCRIPTION:** IPE Timber Bench **SIZE:** Refer to Plans and Details **FINISH:** Natural **COMMENT:**
F2	1 / L5.02	**FURNISHING TYPE:** Custom Bench -Type II **SUPPLIER:** By Contractor **DESCRIPTION:** IPE Timber Bench **SIZE:** Refer to Plans and Details **FINISH:** Natural **COMMENT:**
F3	N / A	**FURNISHING TYPE:** Urban Agriculture Planter **SUPPLIER:** Barkman Concrete **DESCRIPTION:** Contempra Planter 105312 **SIZE:** 40"x17" **FINISH:** Colour: Flagstone **COMMENT:**
F4	2 / L5.03	**FURNISHING TYPE:** Outdoor BBQ, Countertop And Sink **SUPPLIER:** By Contractor **DESCRIPTION:** S-460 Weber Gas BBQ **SIZE:** 31"(d)x49"(h)x40"(w) **FINISH:** **COMMENT:** Refer to Plans and Details for Countertop. Gas and Electrical Connections Required
F5	N / A	**FURNISHING TYPE:** Crawl Tunnel (428000099) **SUPPLIER:** REC TEC Industries **DESCRIPTION:** Metal Tunnel **SIZE:** Refer to Manufacturer Specification **FINISH:** **COMMENT:** Refer to Manufacturer Specification, House Keeping Pad Required
F6	N / A	**FURNISHING TYPE:** Storage And Compost **SUPPLIER:** By Contractor **DESCRIPTION:** Custom Compost and Storage **SIZE:** Refer to Plans and Details **FINISH:** **COMMENT:**
F7	8 / L5.01	**FURNISHING TYPE:** Bike Rack **SUPPLIER:** Landscape Forms **DESCRIPTION:** 'Ride' Bike Rack **SIZE:** 4"x28"x26" **FINISH:** **COMMENT:**
F8	N / A	**FURNISHING TYPE:** Play Equipment -Resilient Ball **SUPPLIER:** Marathon Surface **DESCRIPTION:** 3D Rubber Spheres **SIZE:** 350mm, 450mm and 600mm **FINISH:** **COMMENT:** Shop drawings required
F9	N / A	**FURNISHING TYPE:** Play Equipment -Bloqx **SUPPLIER:** REC TEC Industries **DESCRIPTION:** Kompan Climbing Structure **SIZE:** **FINISH:** **COMMENT:**
F10	N / A	**FURNISHING TYPE:** Giant Chess Set **SUPPLIER:** Chess House **DESCRIPTION:** 16" Giant Chess and Checker Pieces **SIZE:** 16". Size Varies. **FINISH:** **COMMENT:**

HARDSCAPE LEGEND

KEY	DETAIL	DESCRIPTION
H1	7 / L5.02	**HARDSCAPE TYPE:** Metal Gate **SUPPLIER:** By Contractor **DESCRIPTION:** Metal Gate **SIZE:** Refer to Details **FINISH:** Aluminium. Powdercoated to Match Architectural Gaurdrail and Handrail Finish. **COMMENT:** Engineered Shop Drawing Required
H2	1 / L5.04	**HARDSCAPE TYPE:** Trellis - Type I **SUPPLIER:** By Contractor **DESCRIPTION:** Level 4 Office **SIZE:** Refer to Layout and Details **FINISH:** All Metal Components to be Powdercoated to Match Architectural Gaurdrail and Handrail Finish. **COMMENT:** Engineered Shop Drawing Required
H3	2 / L5.04	**HARDSCAPE TYPE:** Trellis - Type II **SUPPLIER:** By Contractor **DESCRIPTION:** Level 4 Amenity **SIZE:** Refer to Layout and Details **FINISH:** All Metal Components to be Powdercoated to Match Architectural Gaurdrail and Handrail Finish. **COMMENT:** Engineered Shop Drawing Required
H4	3 / L5.04	**HARDSCAPE TYPE:** Trellis - Type III **SUPPLIER:** By Contractor **DESCRIPTION:** Level 11 Amenity **SIZE:** Refer to Layout and Details **FINISH:** All Metal Components to be Powdercoated to Match Architectural Gaurdrail and Handrail Finish. **COMMENT:** Engineered Shop Drawing Required
H5	1 / L5.05	**HARDSCAPE TYPE:** Trellis - Type IV **SUPPLIER:** By Contractor **DESCRIPTION:** Level 4 Office and Level 5 Amenity **SIZE:** Refer to Layout and Details **FINISH:** All Metal Components to be Powdercoated to Match Architectural Gaurdrail and Handrail Finish. **COMMENT:** Engineered Shop Drawing Required
H6	1,2 / L5.02	**HARDSCAPE TYPE:** CIP Concrete Wall **SUPPLIER:** By Contractor **DESCRIPTION:** Refer to Architectural Drawing for Connection to Slab for Reinforcement and Footing Design. **SIZE:** Refer to Plans and Details **FINISH:** Light Sand Blast Finish **COMMENT:**
H7	3 / L5.02	**HARDSCAPE TYPE:** Maintenance Strip **SUPPLIER:** By Contractor **DESCRIPTION:** Refer to Plans and Details **SIZE:** Varies. Refer to Plans and Details **FINISH:** **COMMENT:**

PLAN # 31 NOV 0 6 2018 DP 15-708092

PWL partnership

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gbl

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 201711120 drawings for previous insurance
02	2018/08/18	Revised R2/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

LEGEND

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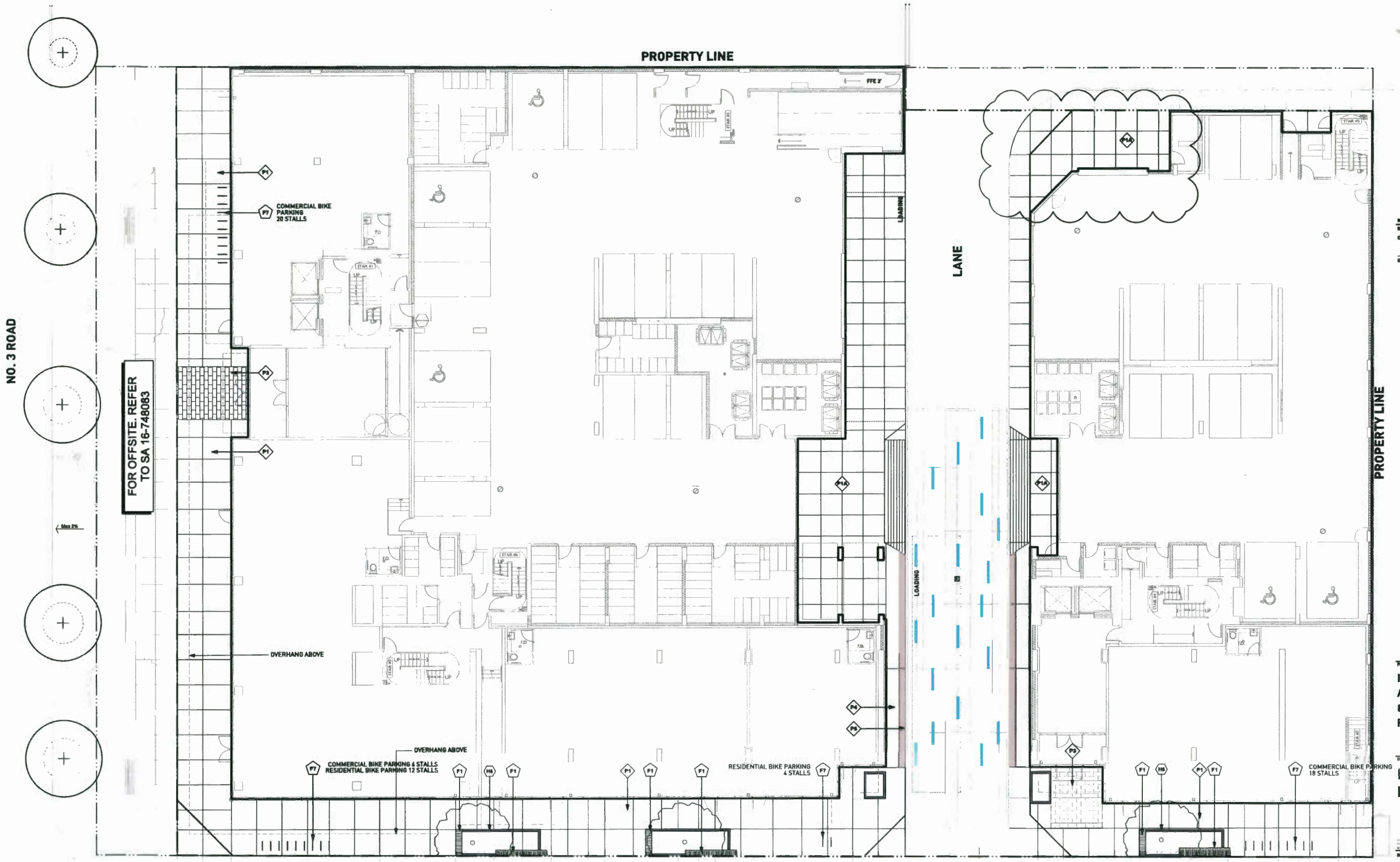
SCALE

PROJECT NO.	14104
DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-8-20 at 10:15:19 AM
DRAWN	ZL / LC REVIEWED GB

DRAWING

L 0.02



OFF-SITE NOTES:

REFER TO SERVICING AGREEMENT SA 16-748083 FOR OFF-SITE LANDSCAPE INFORMATION

FOR OFFSITE. REFER TO SA 16-748083

ANDERSON ROAD

PLAN #32

NOV 06 2018

DP 15-708092

PWL partnership

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01	2018/08/18	See 20171130 drawings for previous issuance
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PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

LAYOUT AND MATERIALS LEVEL 1

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NORTH

SCALE 3/32" = 1'

PROJECT NO. 14104

DATE

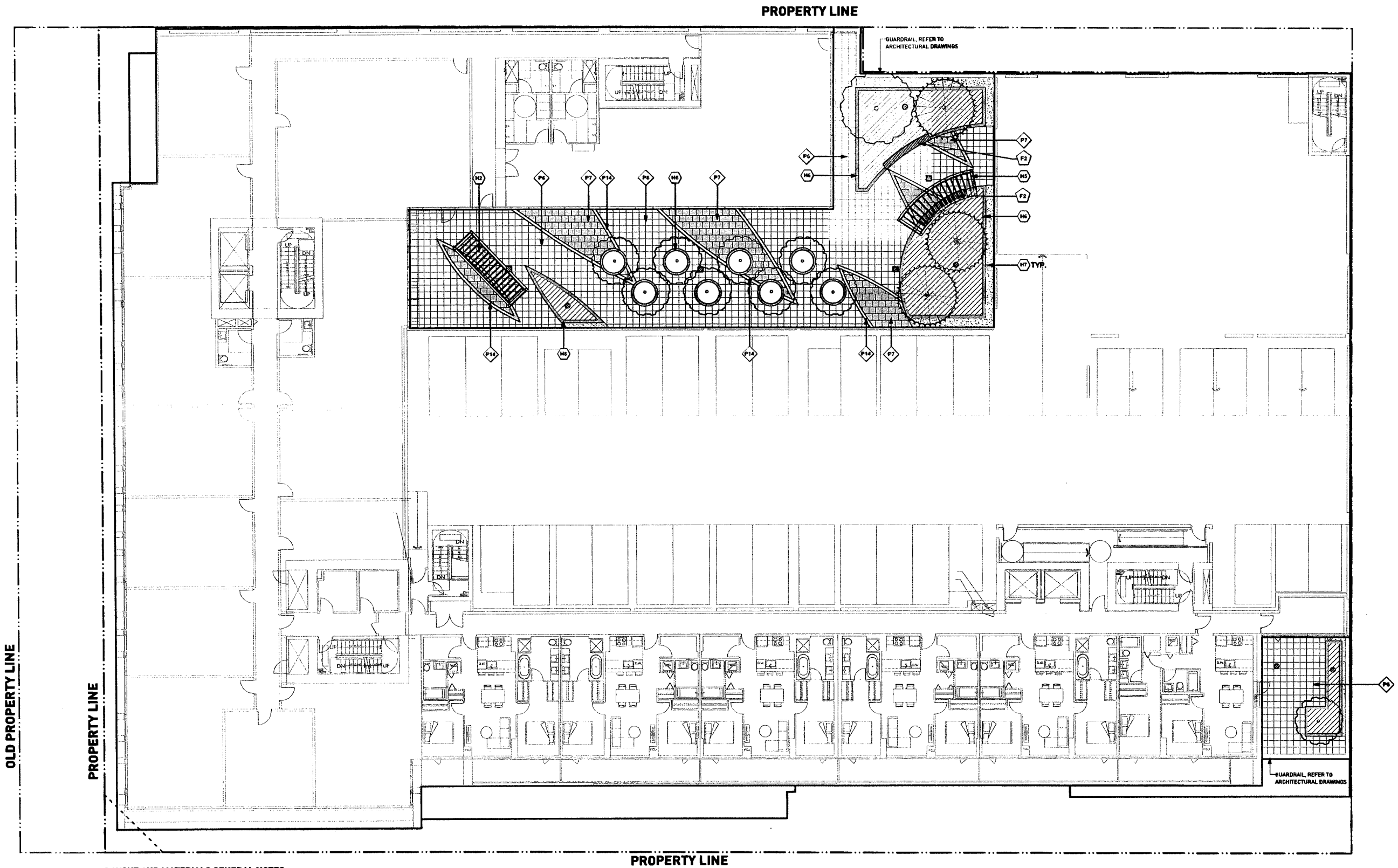
FILE NAME 17080 BP PLAN.vwx

PLOTTED 18-9-20 at 9:45:38 AM

DRAWN ZL / MW REVIEWED GB

DRAWING

L 1.01



LAYOUT AND MATERIALS GENERAL NOTES

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4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

GENERAL NOTES

1. ALL LANDSCAPE AREAS TO BE PROVIDED WITH AUTOMATIC IRRIGATION.
2. ALL BALCONIES AND PATIOS TO BE PROVIDED WITH HOSE BIBS.

PLAN # 33

NOV 0 6 2018

DP 15-708092

PWL partnership

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F 604.688.6113

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

LAYOUT AND MATERIALS
LEVEL 4

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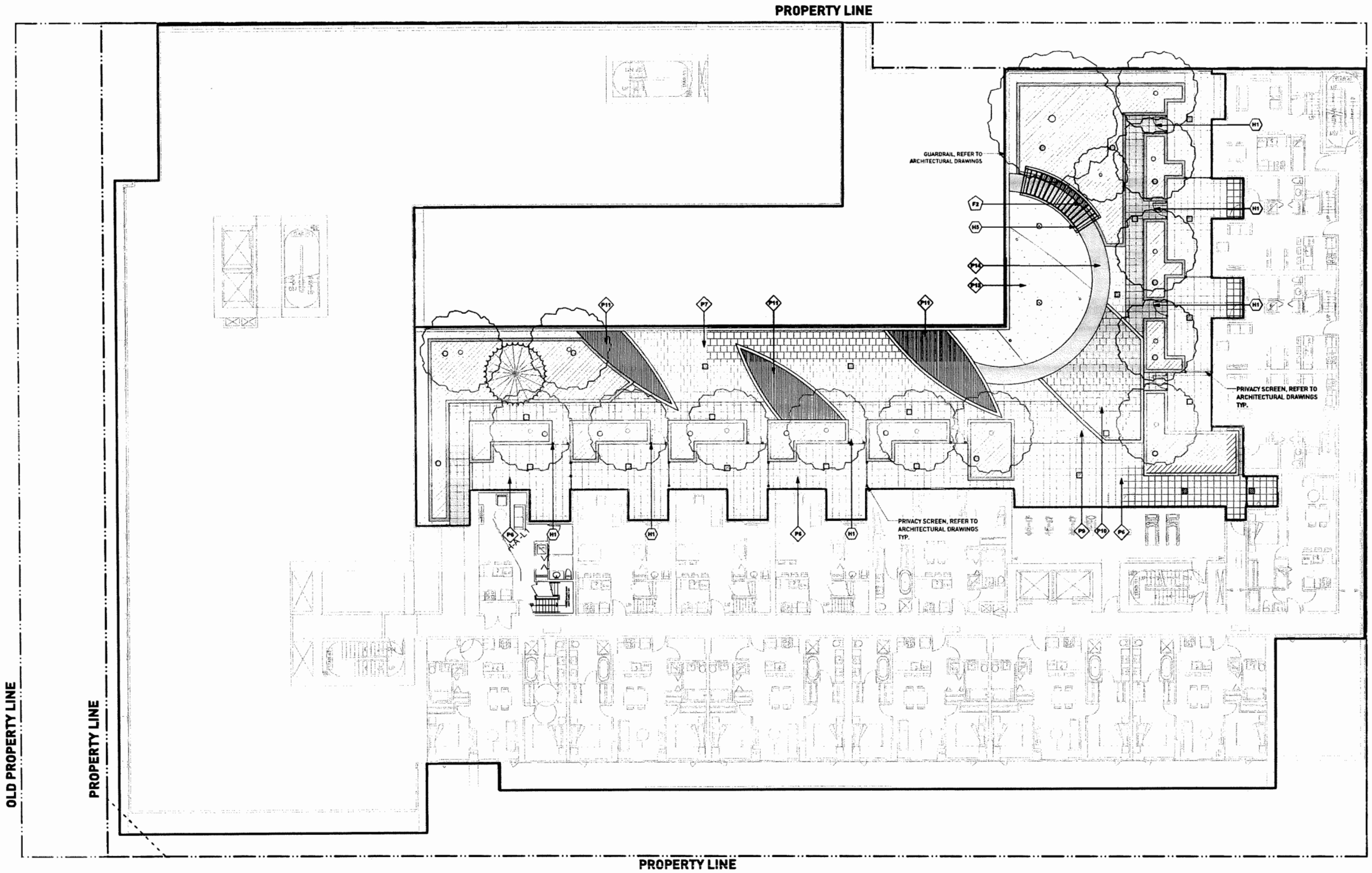
NORTH

SCALE 3/32" = 1'

PROJECT NO.	14104
DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-8-20 at 9:45:39 AM
DRAWN	ZL / LC REVIEWED GB

DRAWING

L 1.02



LAYOUT AND MATERIALS GENERAL NOTES

1. DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
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4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

GENERAL NOTES

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PLAN # 34 NOV 06 2018 DP 15-708092

PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/10	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

LAYOUT AND MATERIALS
LEVEL 5

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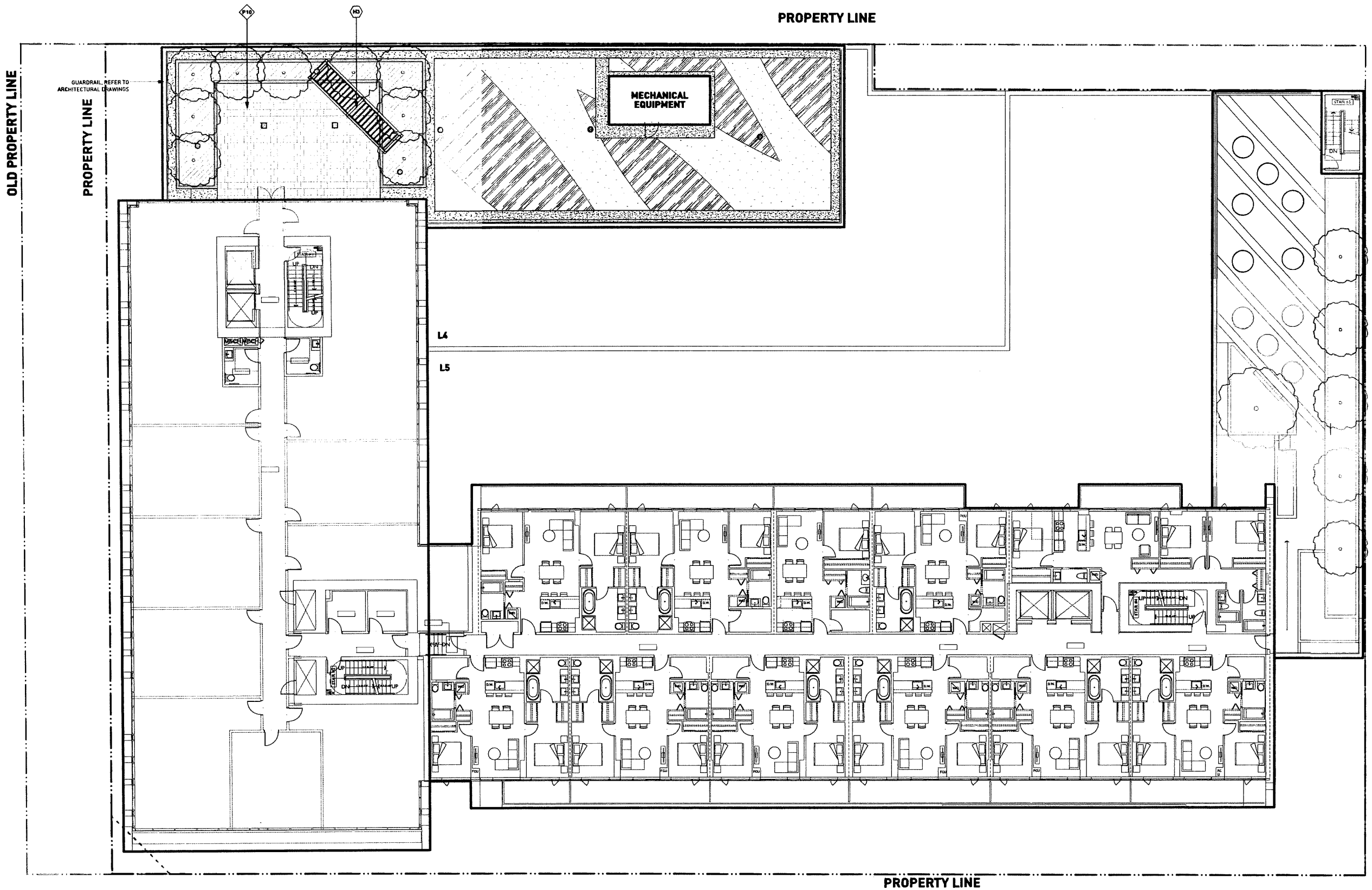
NORTH

SCALE 3/32" = 1'

PROJECT NO.	14104
DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-8-30 at 8:45:29 AM
DRAWN	ZL / LC
REVIEWED	BB

DRAWING

L 1.03



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GENERAL NOTES

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PLAN # 35 NOV 0 6 2018 DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
LAYOUT AND MATERIALS
LEVEL 6

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NORTH
SCALE 3/32" = 1'

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DATE	
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DRAWING
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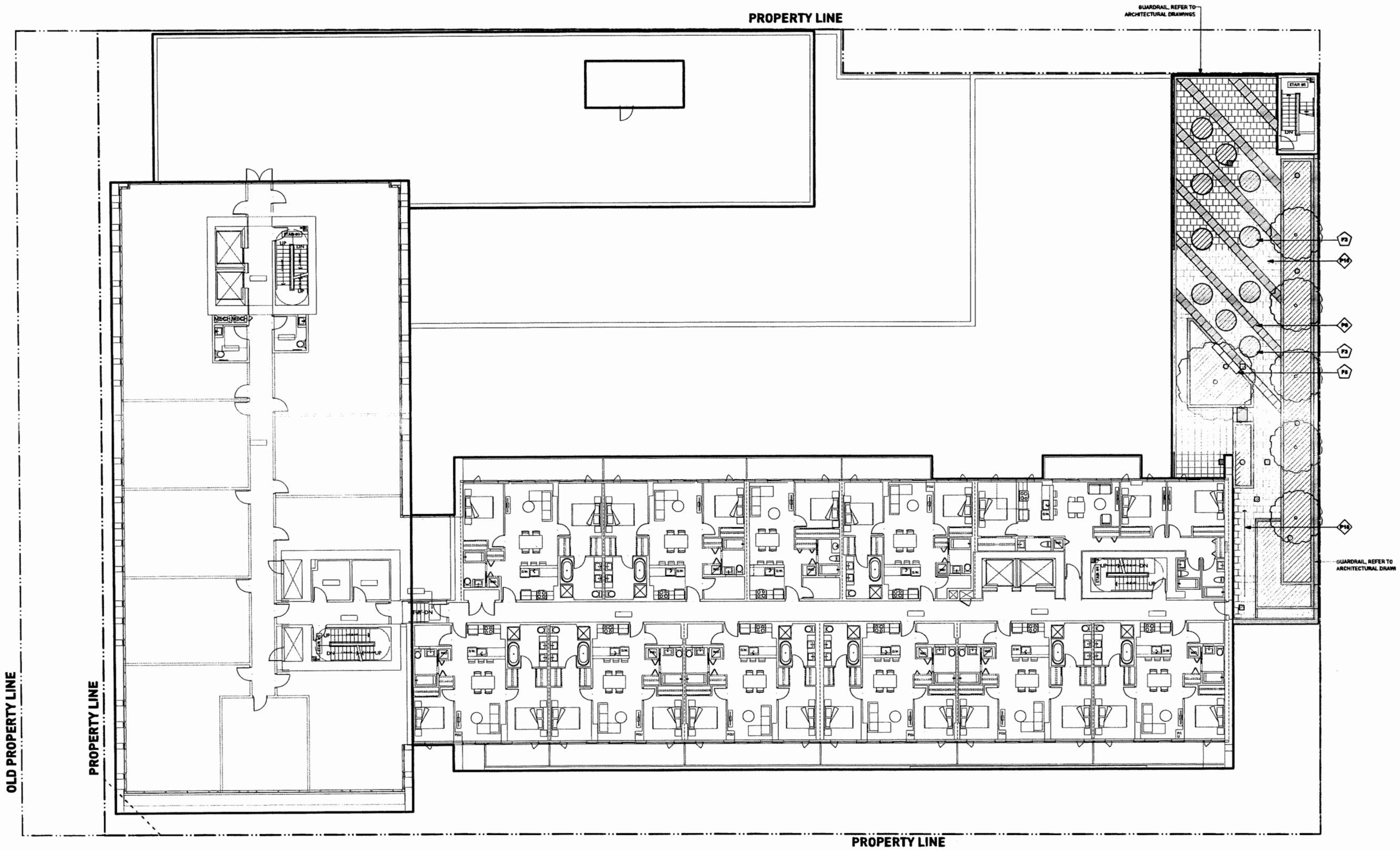

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GENERAL NOTES

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PLAN #36 NOV 0 6 2018 DP 15-708092

PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/10	See 20171130 drawings for previous issuance
02	2018/08/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

LAYOUT AND MATERIALS
LEVEL 7

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NORTH

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PROJECT NO.	14104
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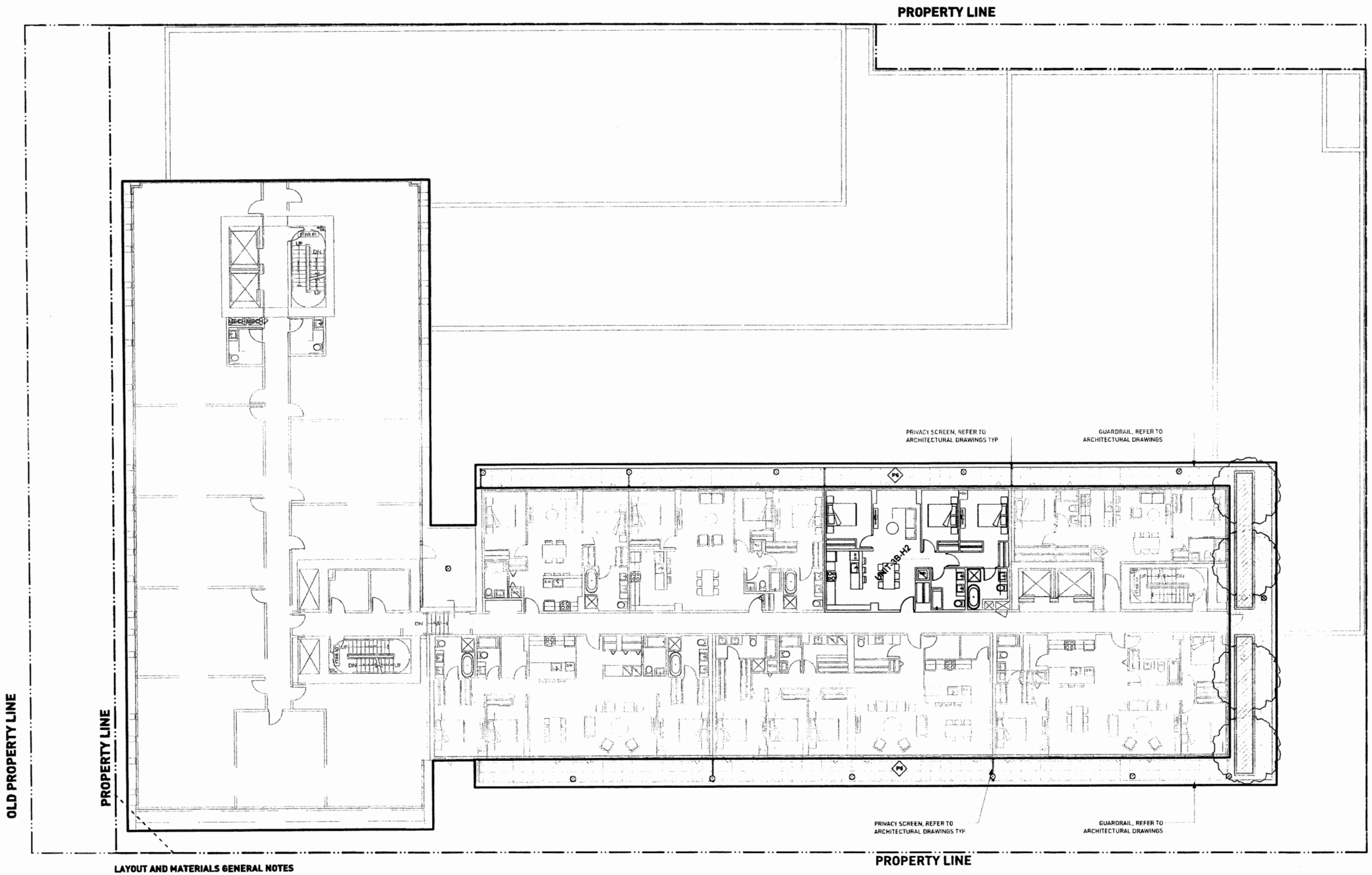
DRAWN	ZL / LC REVIEWED BB

DRAWING

L 1.05



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GENERAL NOTES

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PLAN # 37

NOV 0 6 2018

DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/10	See 20171130 drawings for previous issuance
02	2018/09/10	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

LAYOUT AND MATERIALS
LEVEL 9

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NORTH

SCALE 3/32" = 1'

PROJECT NO.	14104
DATE	
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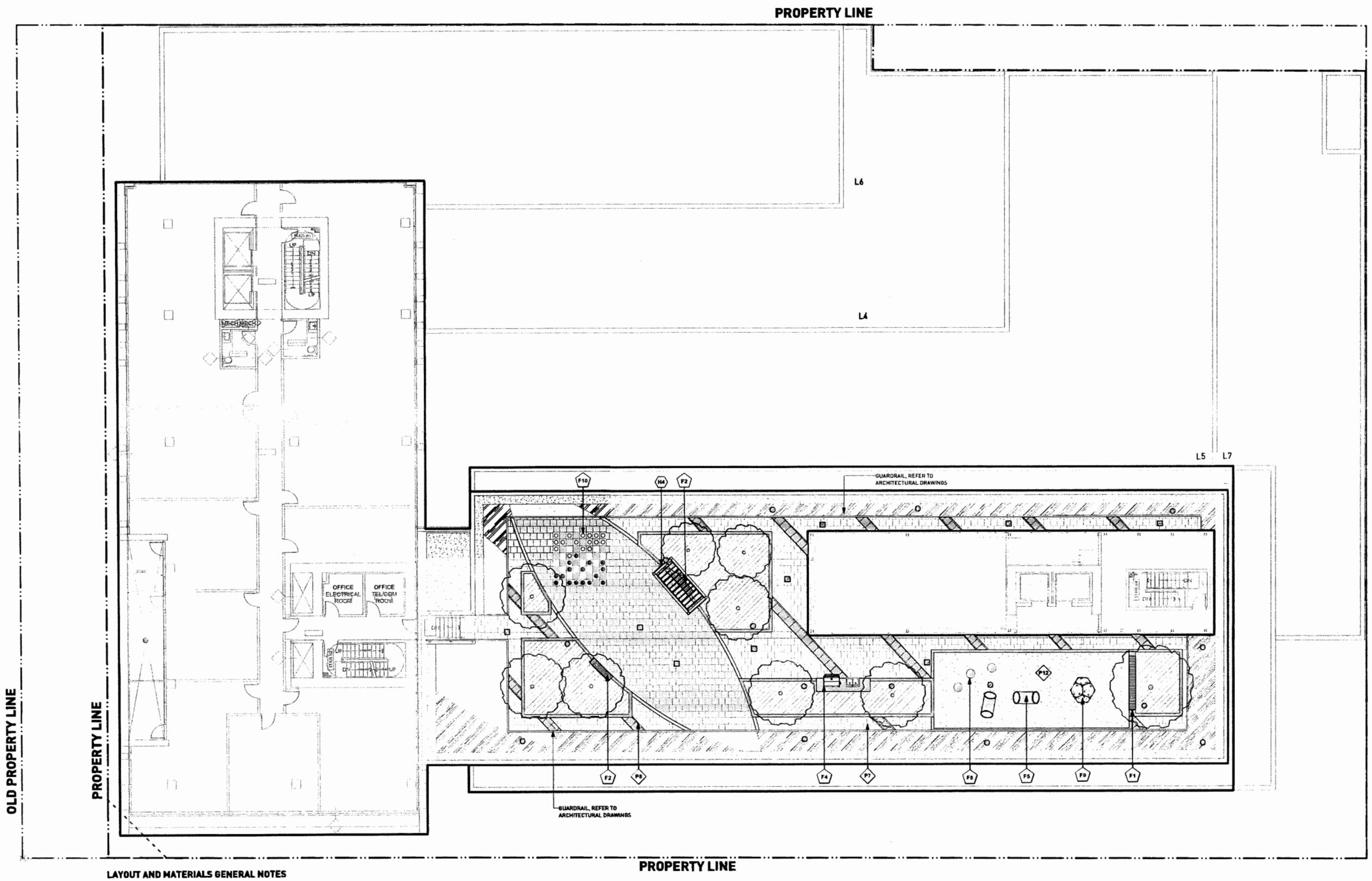
DRAWN	ZL / LC REVIEWED BB

DRAWING

L 1.06



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GENERAL NOTES

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2. ALL BALCONIES AND PATIOS TO BE PROVIDED WITH HOSE BIBS.

PLAN # 38

NOV 0 6 2018

DP 15-708092

PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

LAYOUT AND MATERIALS
LEVEL 11

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NORTH

SCALE 3/32" = 1'

PROJECT NO.	14104
DATE	
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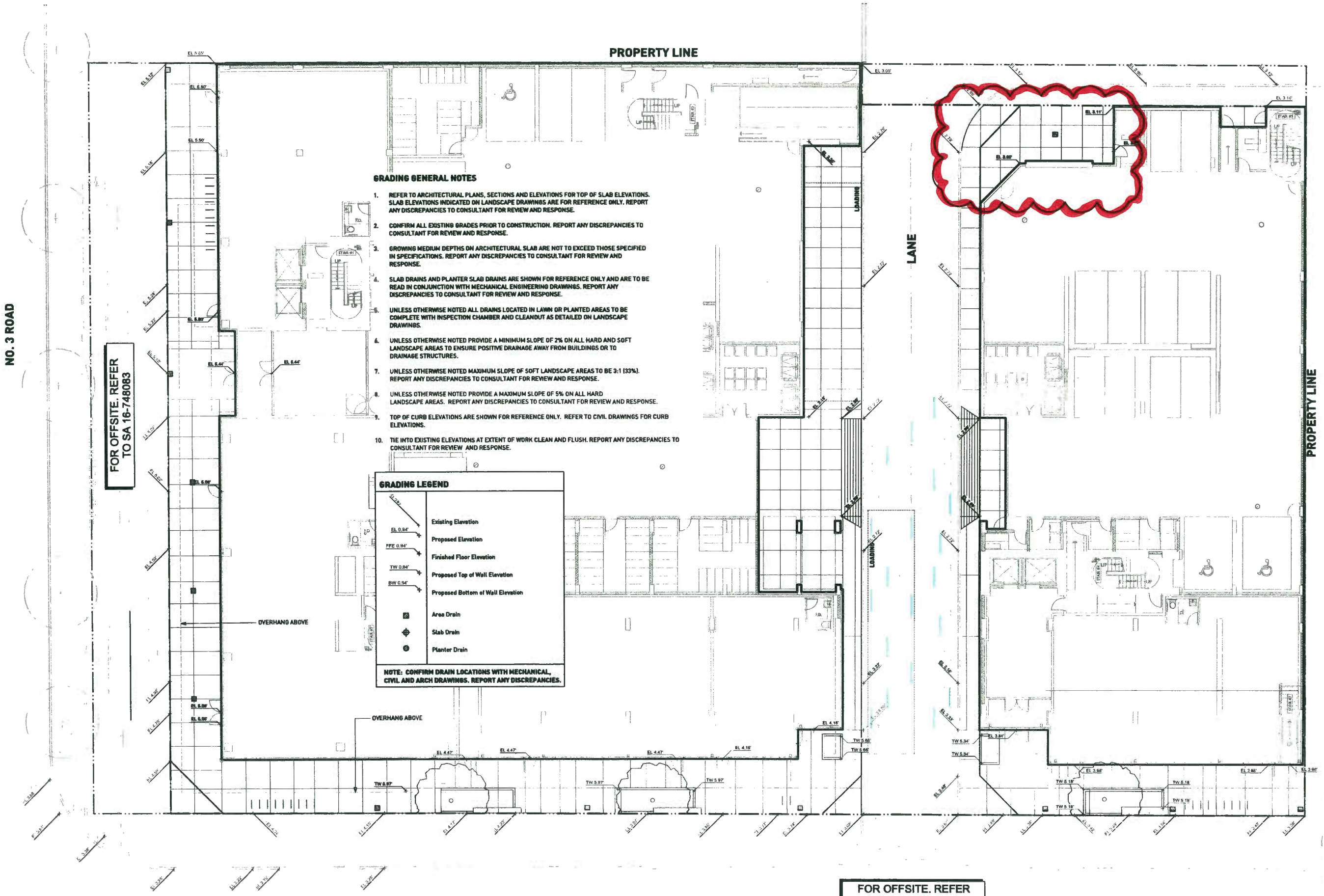
DRAWN	ZL / LC REVIEWED BB

DRAWING

L 1.07



GRADING GENERAL NOTES

1. REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
3. GROWING MEDIUM DEPTHS ON ARCHITECTURAL SLAB ARE NOT TO EXCEED THOSE SPECIFIED IN SPECIFICATIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. SLAB DRAINS AND PLANTER SLAB DRAINS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE READ IN CONJUNCTION WITH MECHANICAL ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5. UNLESS OTHERWISE NOTED ALL DRAINS LOCATED IN LAWN OR PLANTED AREAS TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT AS DETAILED ON LANDSCAPE DRAWINGS.
6. UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
7. UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
8. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
9. TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
10. TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

GRADING LEGEND

EL 0.94'	Existing Elevation
EL 0.94'	Proposed Elevation
FFE 0.94'	Finished Floor Elevation
TW 0.94'	Proposed Top of Wall Elevation
BW 0.94'	Proposed Bottom of Wall Elevation
	Area Drain
	Slab Drain
	Planter Drain

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

OFF-SITE NOTES:

REFER TO SERVICING AGREEMENT SA 16-748083 FOR OFF-SITE LANDSCAPE INFORMATION

FOR OFFSITE. REFER TO SA 16-748083

ANDERSON ROAD

PLAN # 39

NOV 06 2018

DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/10	See 20171130 drawings for previous issuance
02	2018/08/10	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

GRADING
LEVEL 1

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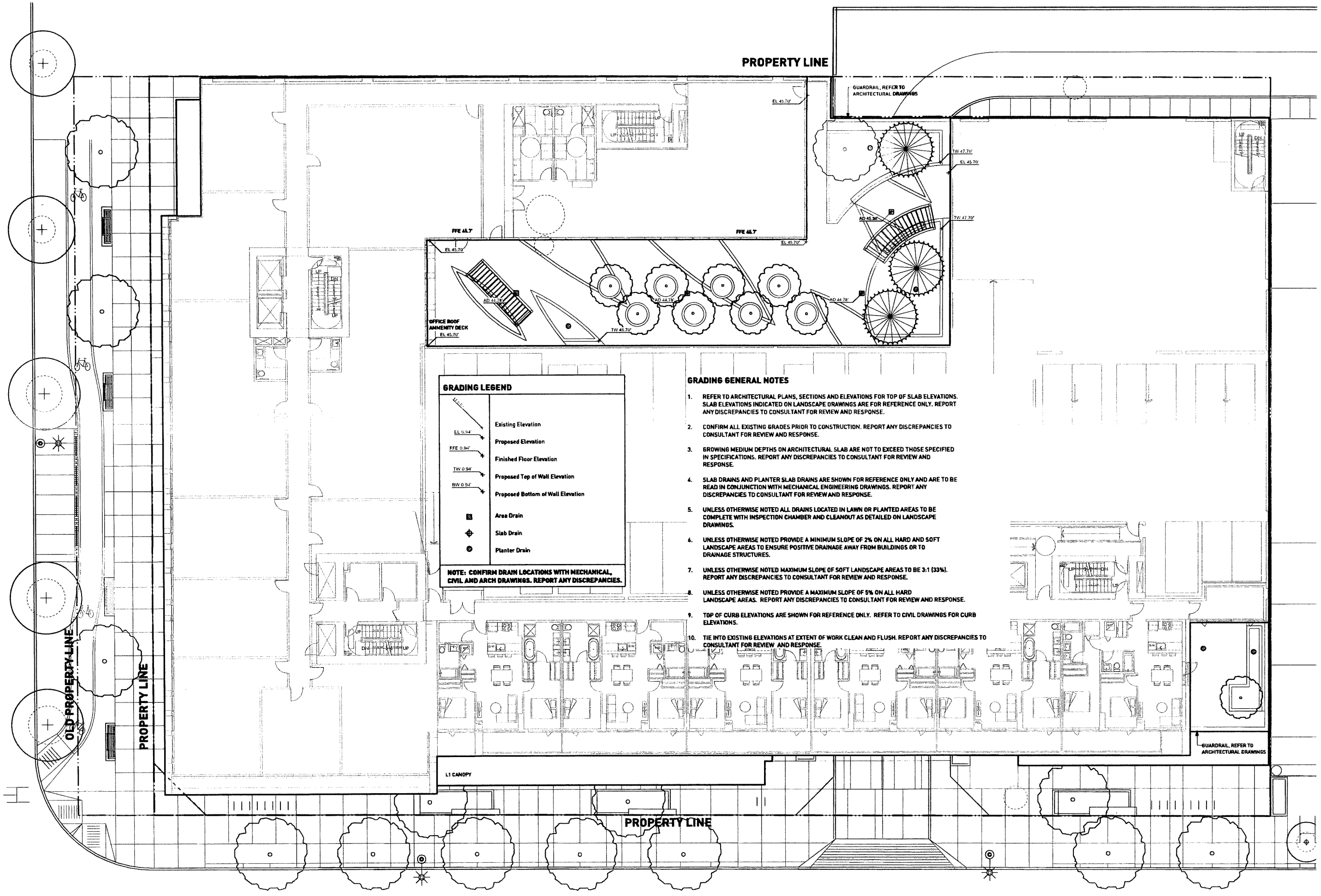
NORTH

SCALE 3/32" = 1'

PROJECT NO. 14104
DATE
FILE NAME 17080 BP PLAN.vwx
PLOTTED 18-8-20 at 9:45:29 AM
DRAWN ZL / LC REVIEWED GB

DRAWING

L 2.01



GRADING LEGEND

EL	Existing Elevation
EL 0.94'	Proposed Elevation
FFE 0.94'	Finished Floor Elevation
TW 0.94'	Proposed Top of Wall Elevation
BW 0.94'	Proposed Bottom of Wall Elevation
	Area Drain
	Slab Drain
	Planter Drain

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

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10. TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

PLAN #40 NOV 06 2018 DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND,BC

DRAWING TITLE

GRADING PLAN LEVEL 4

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NORTH

SCALE 3/32" = 1'

PROJECT NO.	14104
DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-9-20 at 9:45:39 AM
DRAWN	ZL / LC
REVIEWED	GB

DRAWING

L 2.02

GRADING LEGEND

EL 0.94'	Existing Elevation
EL 0.94'	Proposed Elevation
FFE 0.94'	Finished Floor Elevation
TW 0.94'	Proposed Top of Wall Elevation
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	Area Drain
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NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

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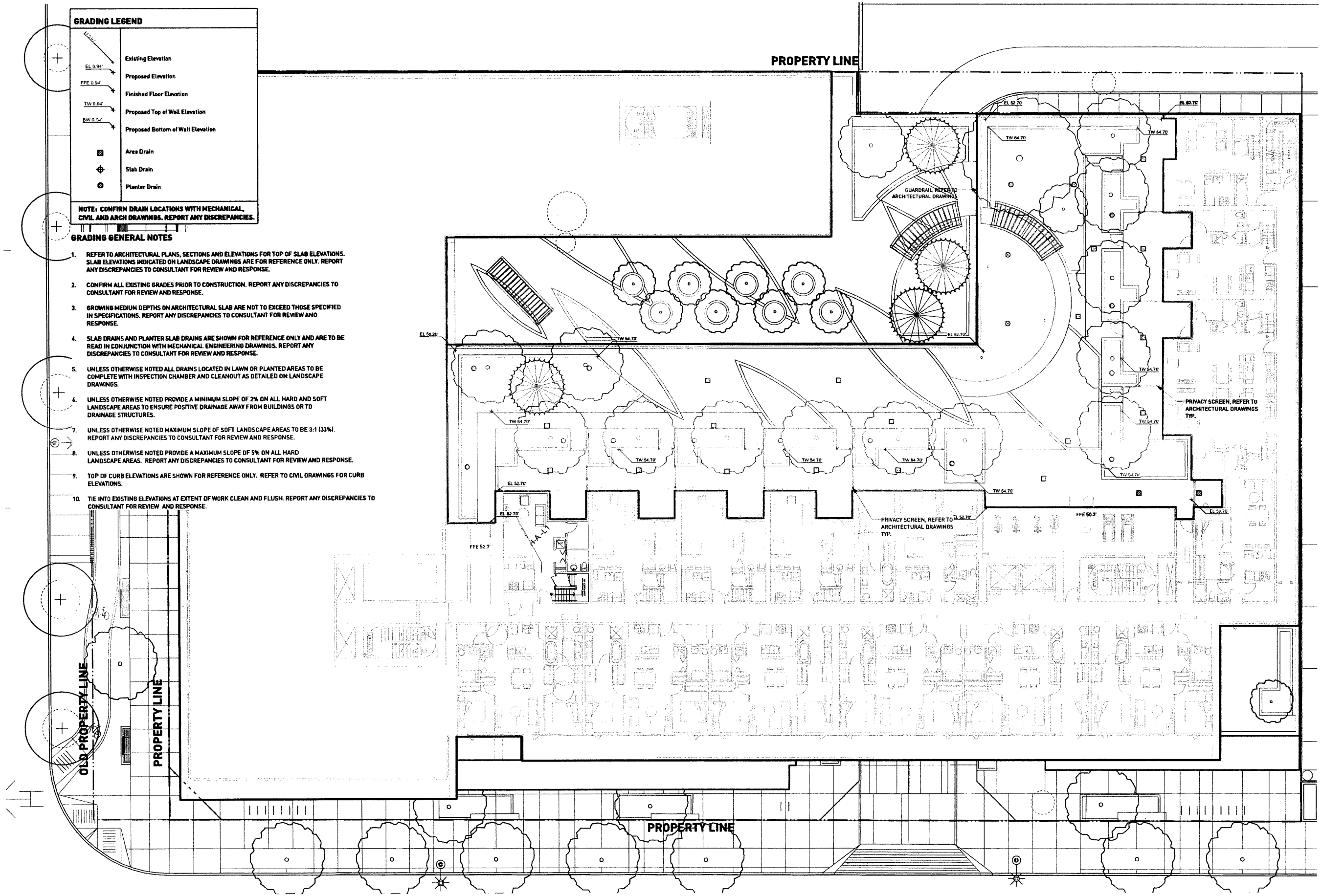

PLAN # 41

NOV 0 6 2018

DP 15-708092

PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/10/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

GRADING PLAN
LEVEL 5

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NORTH

SCALE 3/32" = 1'

PROJECT NO.	14104
DATE	
FILE NAME	17080 BP PLAN.vwx
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DRAWN	ZL / LC REVIEWED GB

DRAWING

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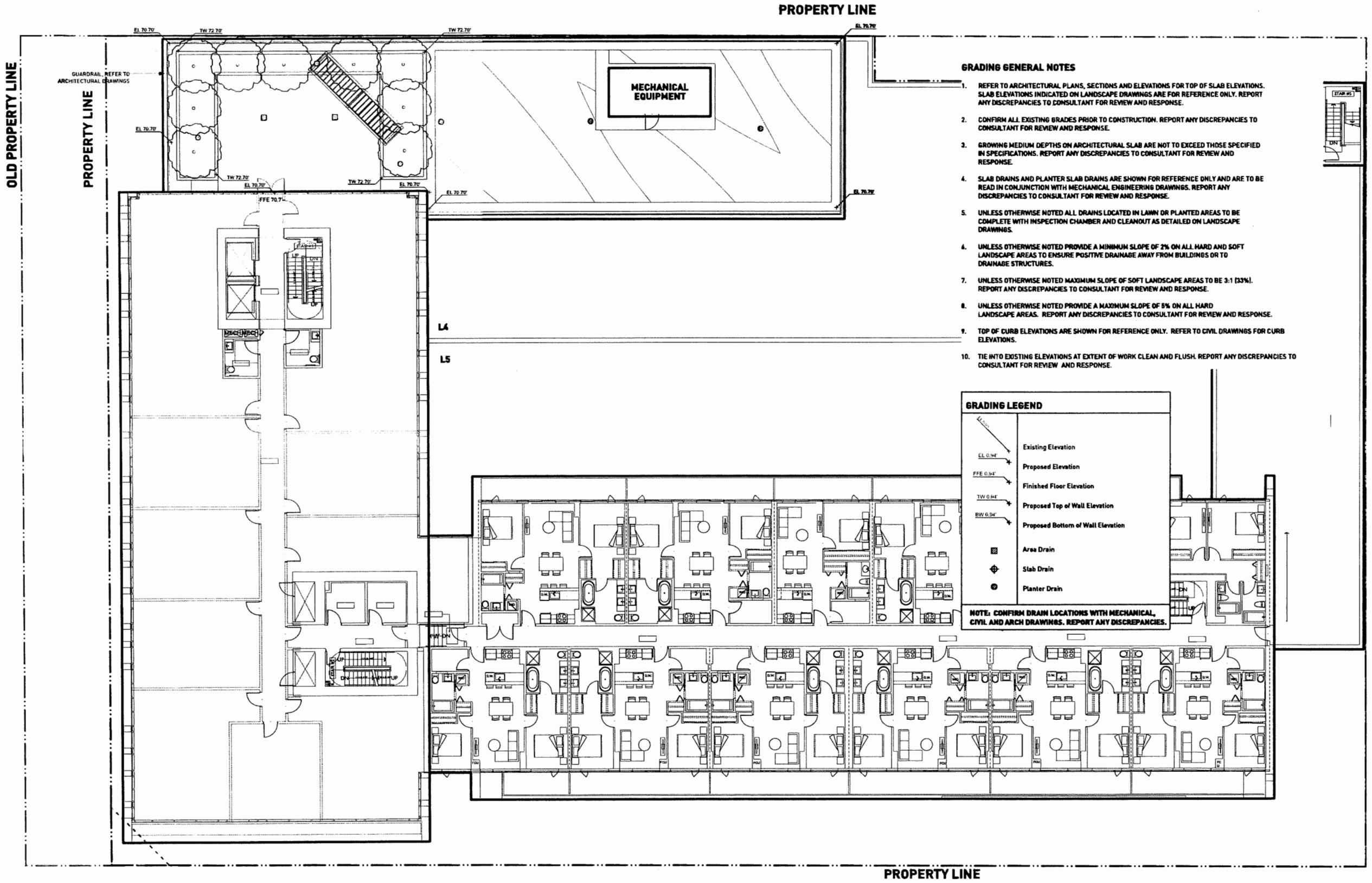

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8. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
9. TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
10. TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

GRADING LEGEND

EL 0.94'	Existing Elevation
EL 0.94'	Proposed Elevation
FFE 0.94'	Finished Floor Elevation
TW 0.94'	Proposed Top of Wall Elevation
BW 0.94'	Proposed Bottom of Wall Elevation
	Area Drain
	Slab Drain
	Planter Drain

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
GRADING PLAN
LEVEL 6

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NORTH

SCALE 3/32" = 1'

PROJECT NO. 14104
DATE
FILE NAME 17080 BP PLAN.vwx
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DRAWN ZL / LC REVIEWED BB
DRAWING

L 2.04

PLAN # 42 NOV 06 2018 DP 15-708092

GRADING GENERAL NOTES

1. REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
3. GROWING MEDIUM DEPTHS ON ARCHITECTURAL SLAB ARE NOT TO EXCEED THOSE SPECIFIED IN SPECIFICATIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. SLAB DRAINS AND PLANTER SLAB DRAINS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE READ IN CONJUNCTION WITH MECHANICAL ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
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6. UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
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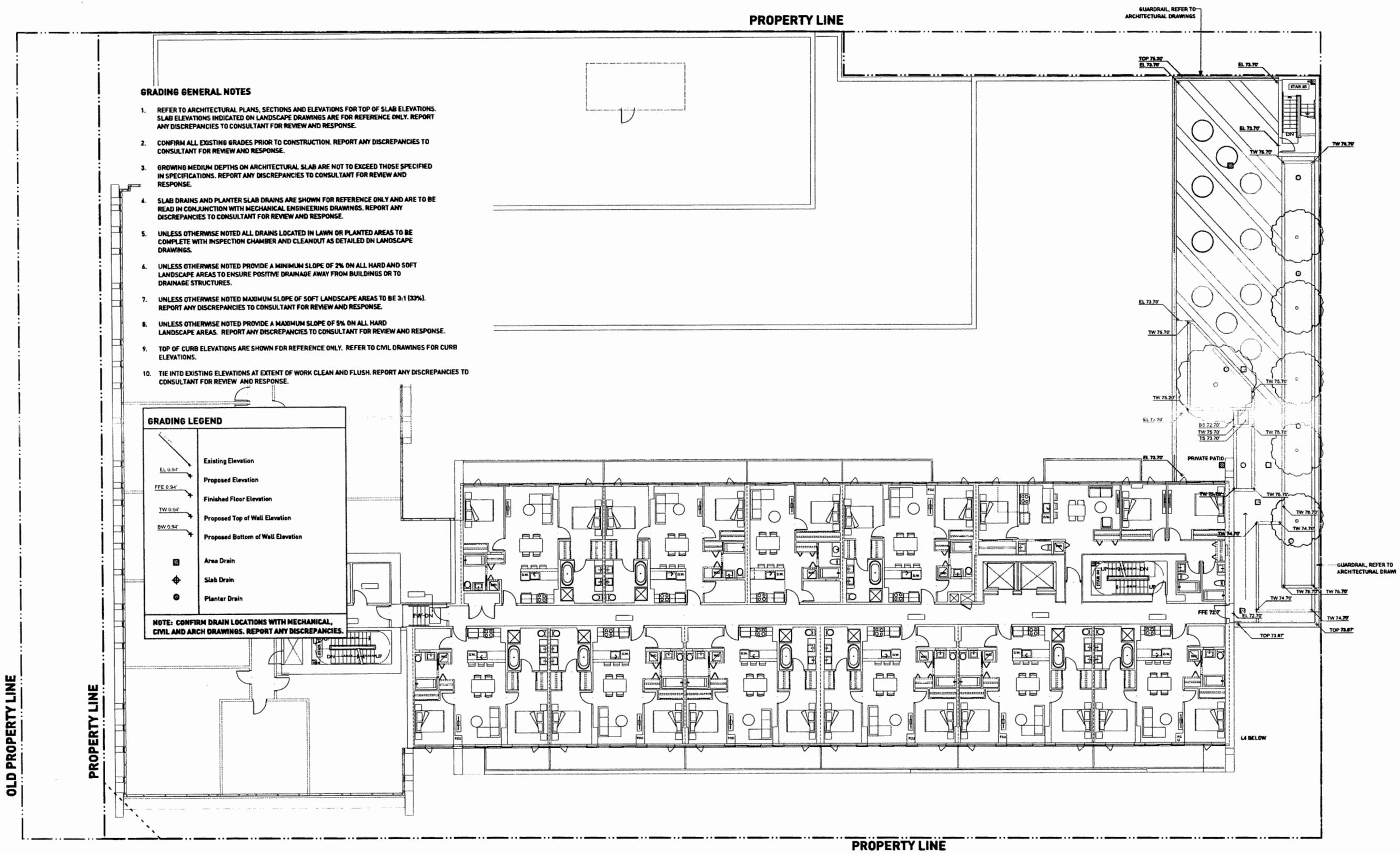
10. TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

GRADING LEGEND

	Existing Elevation
EL 0.94'	Proposed Elevation
FFE 0.94'	Finished Floor Elevation
TW 0.94'	Proposed Top of Wall Elevation
BW 0.94'	Proposed Bottom of Wall Elevation
	Area Drain
	Slab Drain
	Planter Drain

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.



PLAN #43 NOV 06 2018 DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
GRADING PLAN
LEVEL 7

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DRAWING
L 2.05

GRADING GENERAL NOTES

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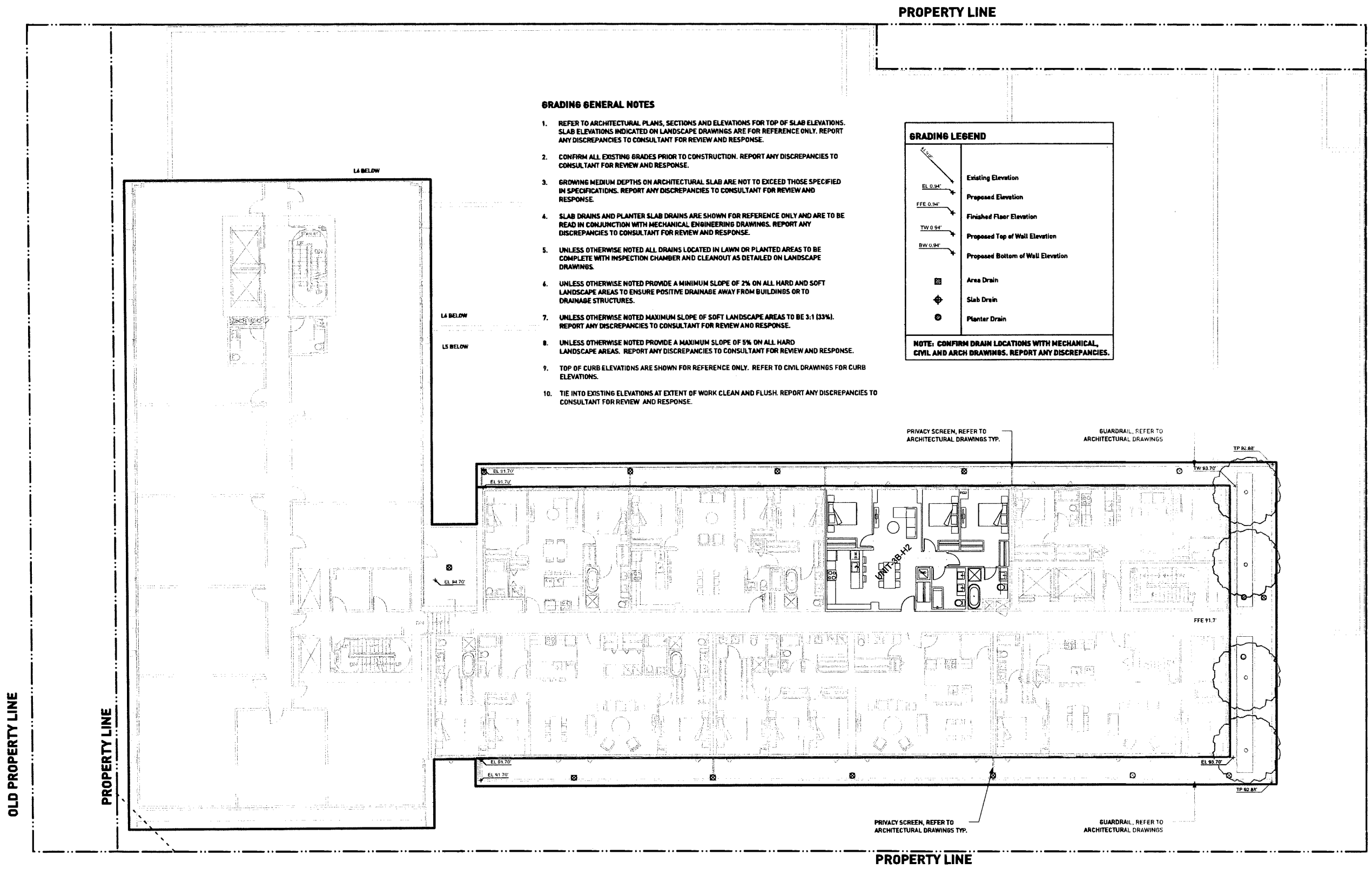
GRADING LEGEND

EL 0.94'	Existing Elevation
EL 0.94'	Proposed Elevation
FFE 0.94'	Finished Floor Elevation
TW 0.94'	Proposed Top of Wall Elevation
BW 0.94'	Proposed Bottom of Wall Elevation
	Area Drain
	Slab Drain
	Planter Drain

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.



PLAN #44 NOV 0 6 2018 DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/16	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
GRADING PLAN
LEVEL 9

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NORTH
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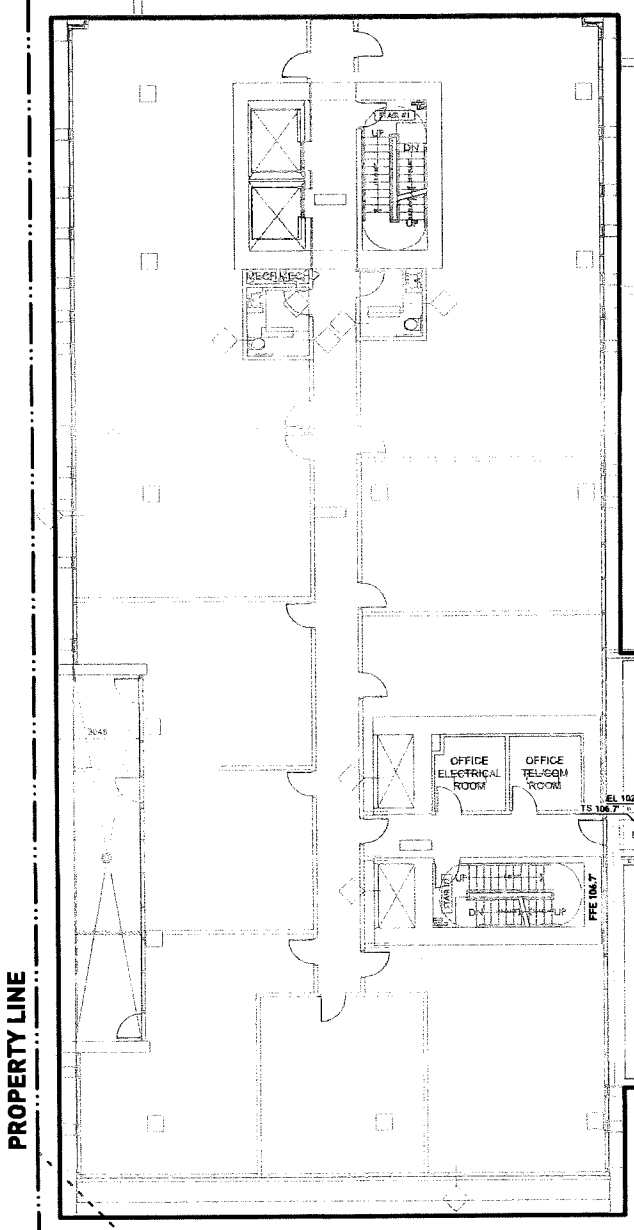
DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-8-20 at 8:45:39 AM
DRAWN	ZL / LC
REVIEWED	BB

DRAWING
L 2.06

PROPERTY LINE

OLD PROPERTY LINE

PROPERTY LINE



GRADING GENERAL NOTES

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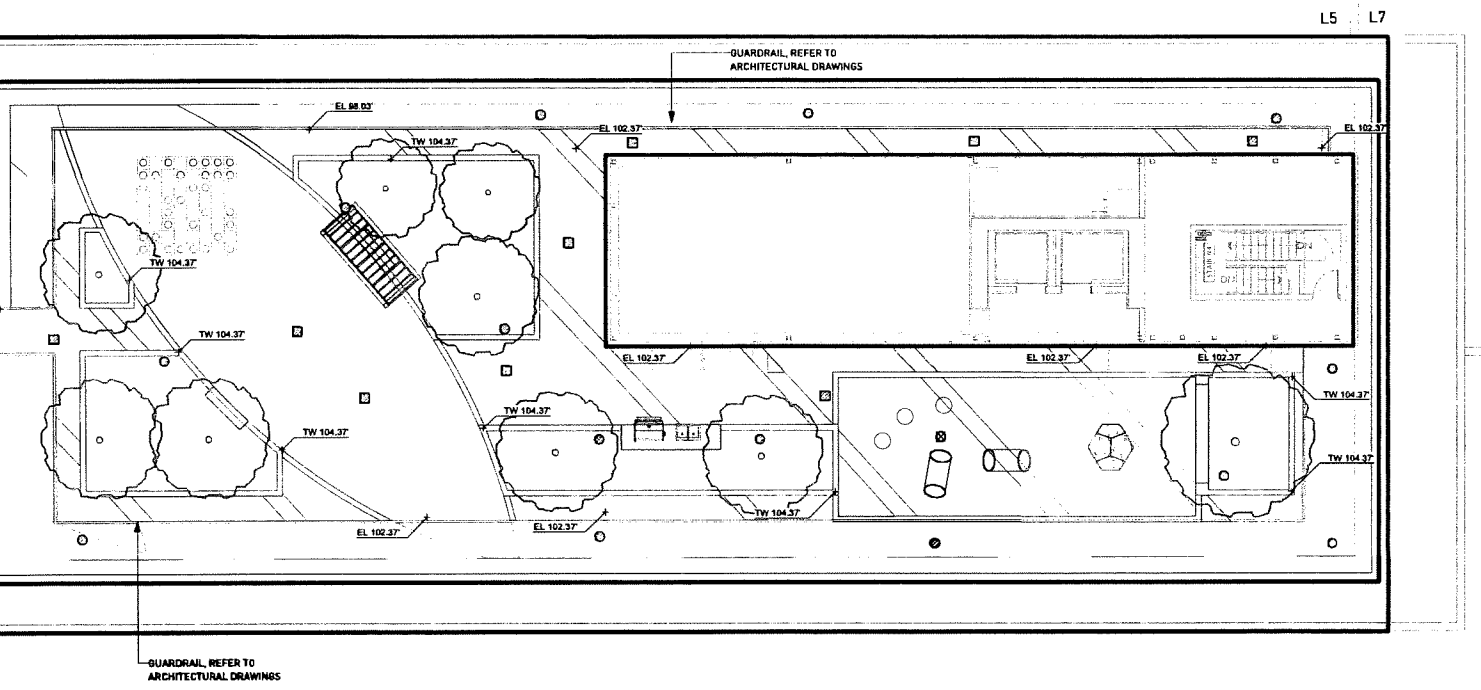
GRADING LEGEND

100.0	Existing Elevation
EL 0.94'	Proposed Elevation
FFE 0.94'	Finished Floor Elevation
TW 0.94'	Proposed Top of Wall Elevation
BW 0.94'	Proposed Bottom of Wall Elevation
	Area Drain
	Slab Drain
	Planter Drain

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.



PROPERTY LINE

PLAN #45 NOV 06 2018 DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/10	See 20171130 drawings for previous issuance
02	2018/09/10	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

GRADING PLAN
LEVEL 11

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NORTH

SCALE 3/32" = 1'

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DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-9-20 at 9:45:39 AM
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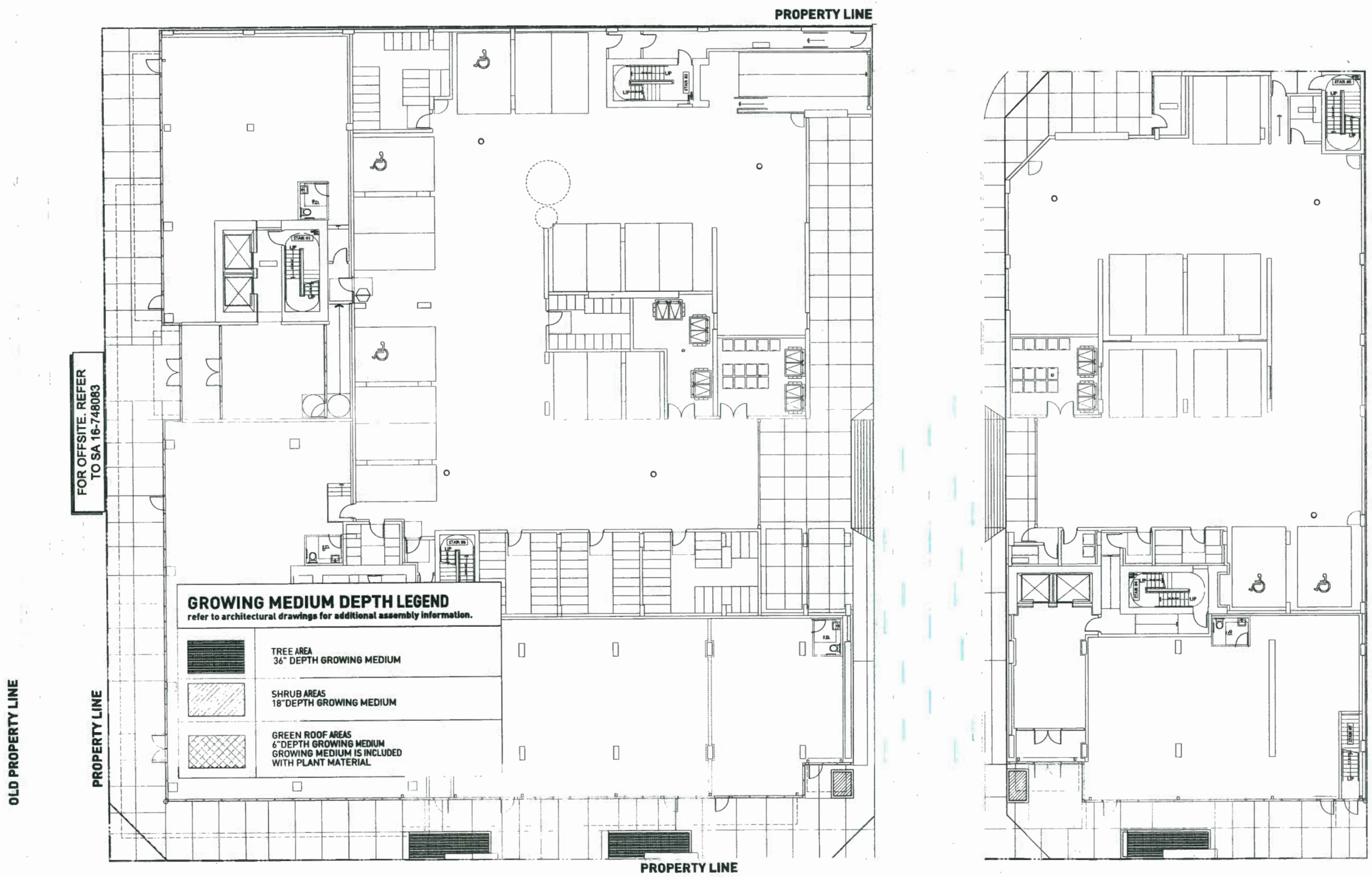
REVIEWED	GB

DRAWING

L 2.07



FOR OFFSITE. REFER TO SA 16-748083

PLAN #46

NOV 06 2018

DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/06/18	See 20171130 drawings for previous issuance
02	2018/06/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
GROWING MEDIUM DEPTH DIAGRAM LEVEL 1

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NORTH
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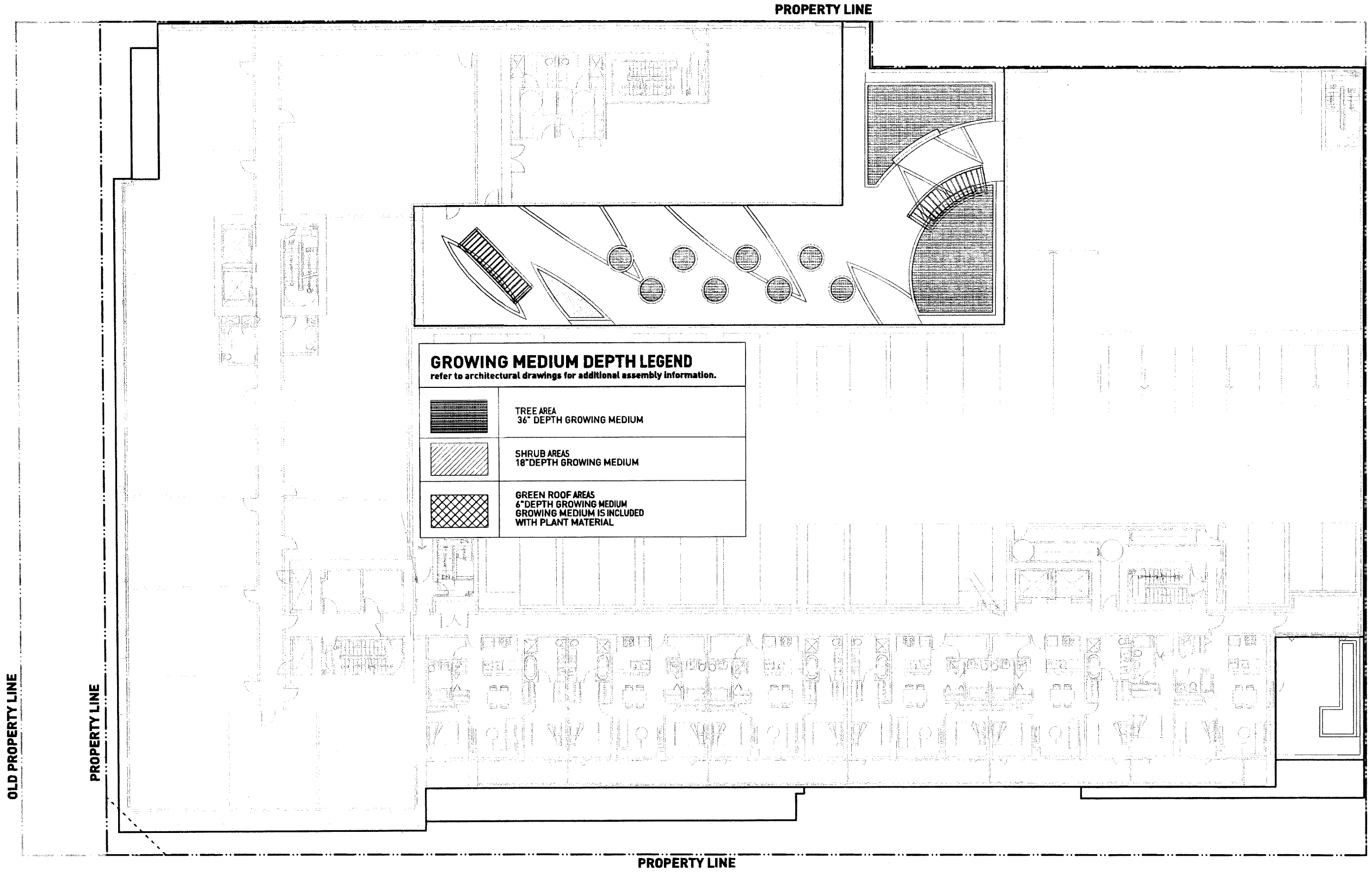
PROJECT NO. 14104
DATE
FILE NAME 17080 BP PLAN.vwx
PLOTTED 18-6-20 at 9:45:39 AM
DRAWN ZL / LC REVIEWED BB
DRAWING L 3.01



GROWING MEDIUM DEPTH LEGEND

refer to architectural drawings for additional assembly information.

	TREE AREA 36" DEPTH GROWING MEDIUM
	SHRUB AREAS 18"DEPTH GROWING MEDIUM
	GREEN ROOF AREAS 6"DEPTH GROWING MEDIUM GROWING MEDIUM IS INCLUDED WITH PLANT MATERIAL

PLAN # 47 NOV 0 6 2018 DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/08/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

GROWING MEDIUM DEPTH DIAGRAM LEVEL 4

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NORTH

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FILE NAME	17080 BP PLAN.vwx
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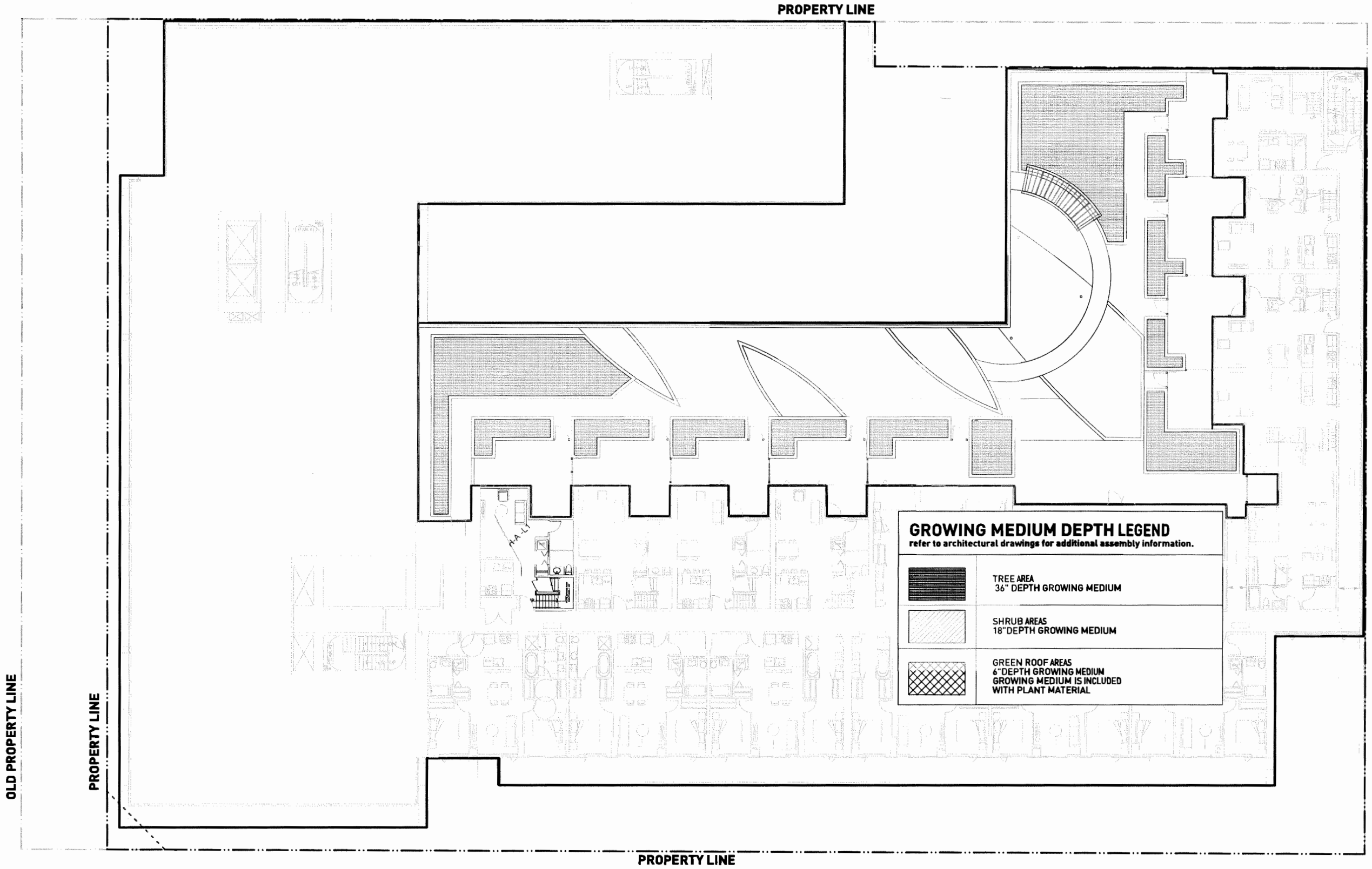
DRAWING

L 3.02



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/09/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

GROWING MEDIUM DEPTH DIAGRAM LEVEL 5

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NORTH

SCALE 3/32" = 1'

PROJECT NO.	14104
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FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-9-20 at 9:45:39 AM
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REVIEWED	GB

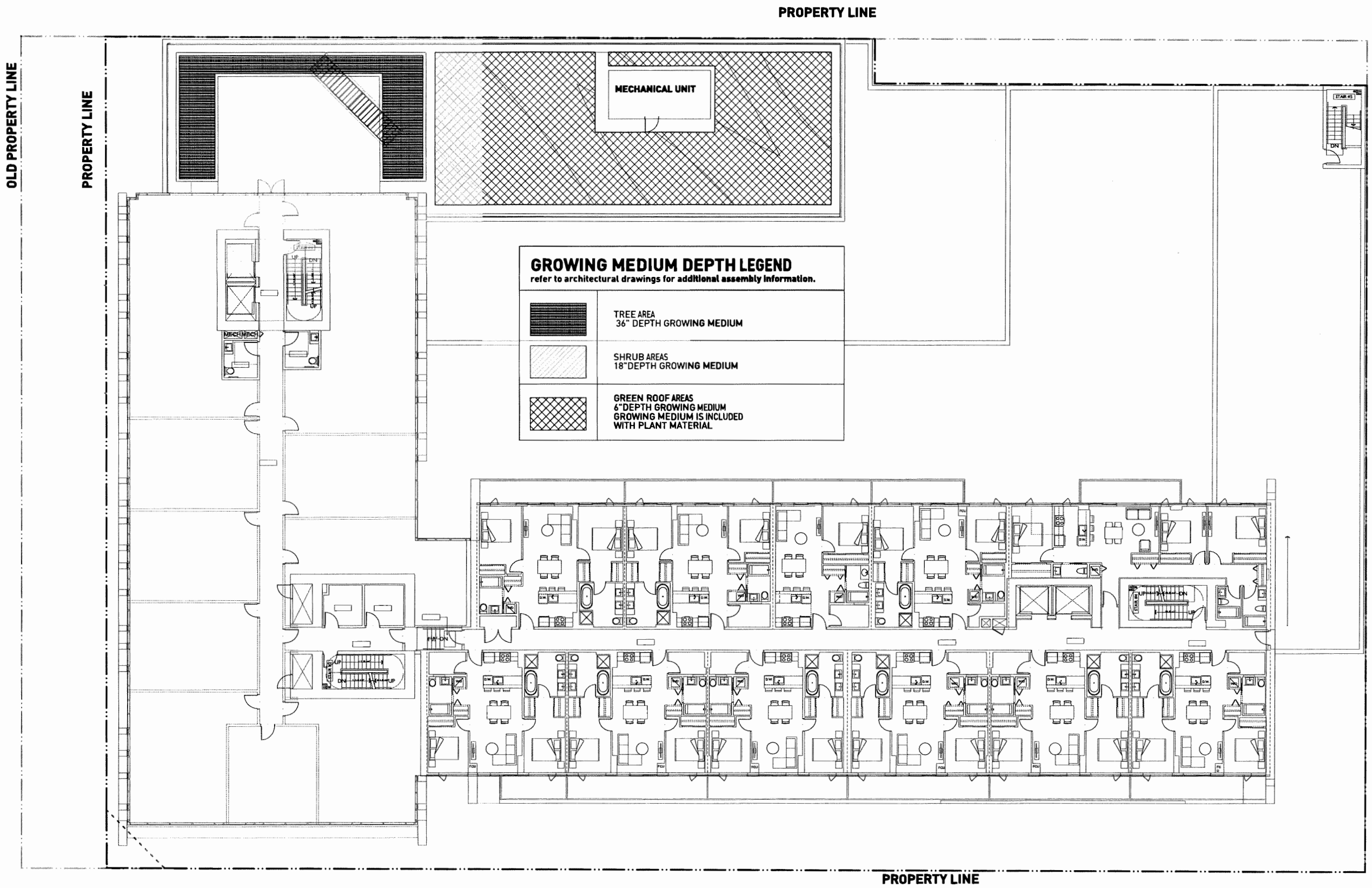
DRAWING

L 3.03

PLAN #48

NOV 0 6 2018

DP 15-708092



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/09/18	See 201711130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
GROWING MEDIUM
DEPTH DIAGRAM
LEVEL 6

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NORTH
SCALE 3/32" = 1'

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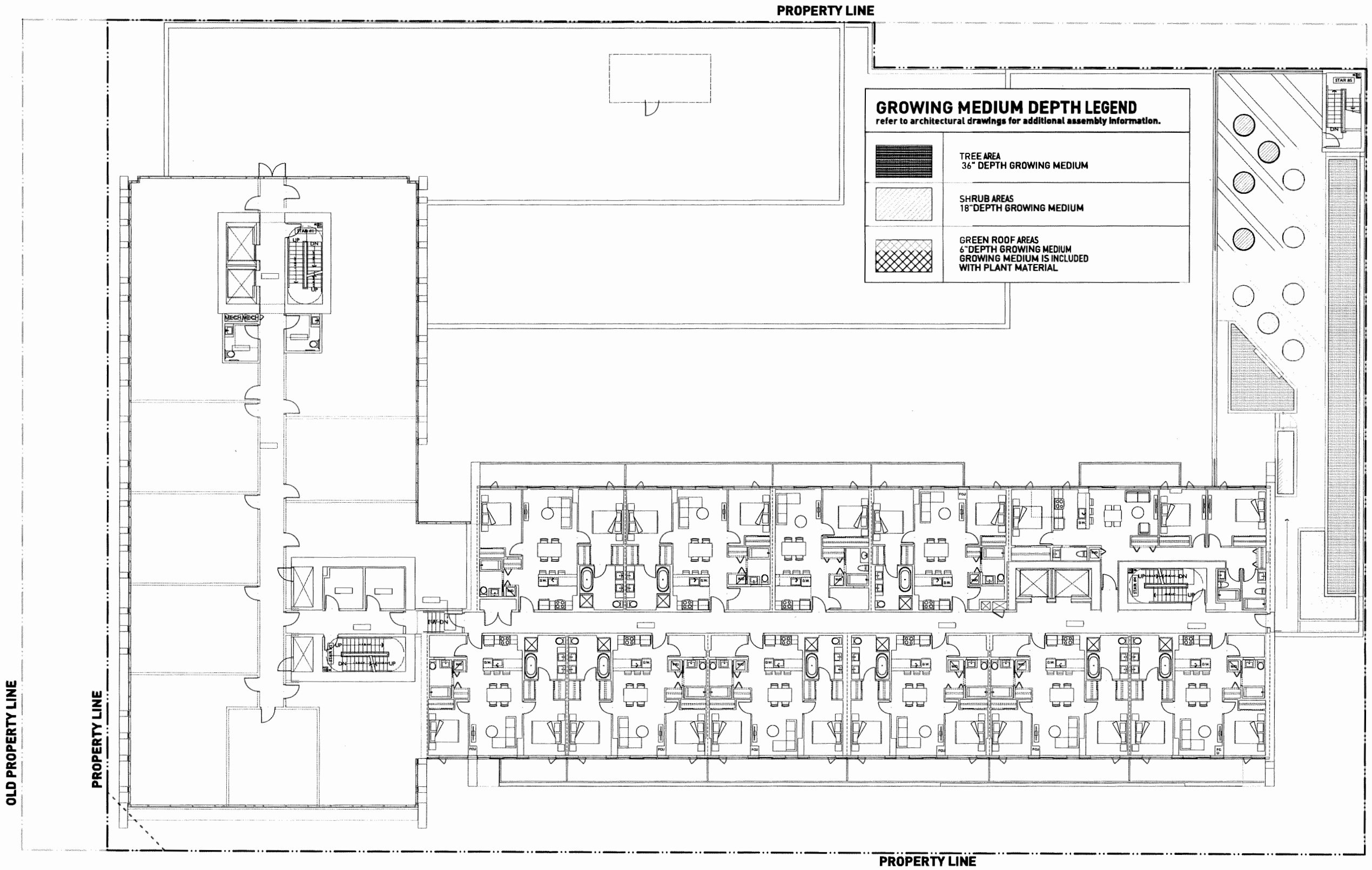
FILE NAME 17080 BP PLAN.vwx
PLOTTED 18-9-20 at 8:45:39 AM
DRAWN ZL / LC REVIEWED GB
DRAWING L 3.04

PLAN # 49 NOV 0 6 2018 DP 15-708092



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/09/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

GROWING MEDIUM DEPTH DIAGRAM LEVEL 7

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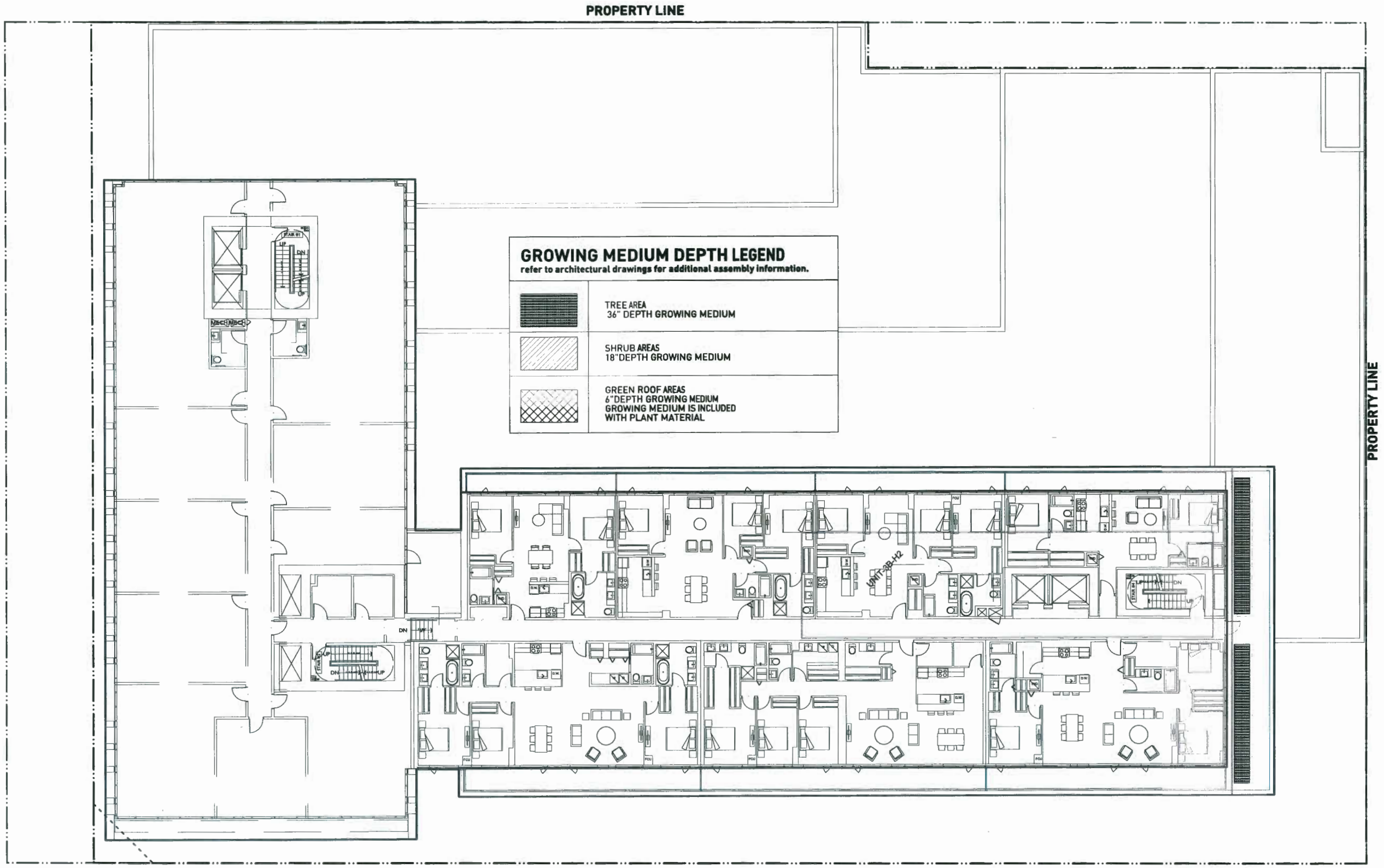
DRAWING

L 3.05

PLAN #50 NOV 0 6 2018 DP 15-708092



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/08/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

GROWING MEDIUM DEPTH DIAGRAM LEVEL 9

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NORTH

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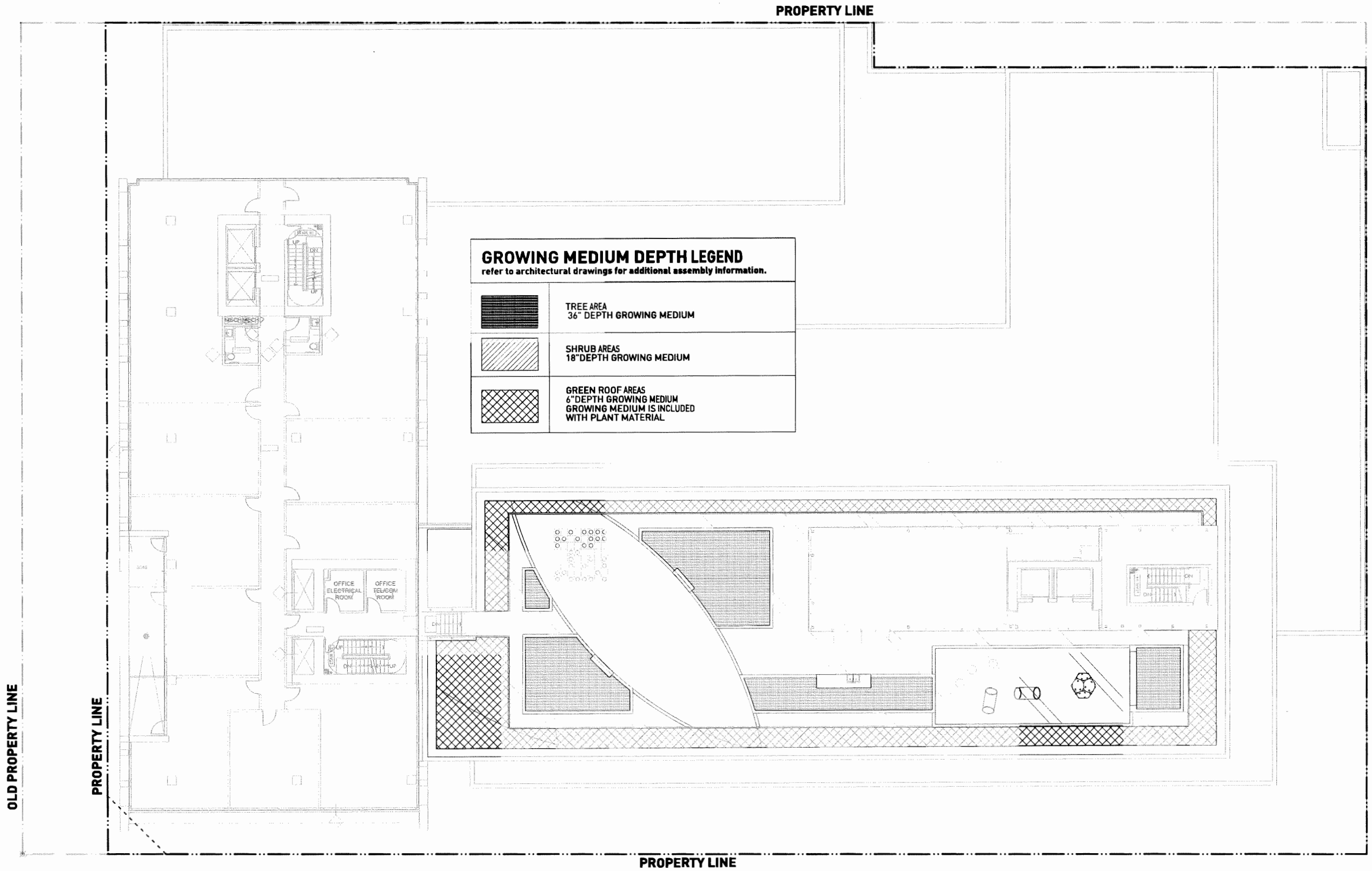
DRAWING

PLAN # 51 NOV 0 6 2018 DP 15-708092

L 3.06



GROWING MEDIUM DEPTH LEGEND

refer to architectural drawings for additional assembly information.

	TREE AREA 36" DEPTH GROWING MEDIUM
	SHRUB AREAS 18"DEPTH GROWING MEDIUM
	GREEN ROOF AREAS 6"DEPTH GROWING MEDIUM GROWING MEDIUM IS INCLUDED WITH PLANT MATERIAL

PLAN # 52 NOV 0 6 2018 DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 201711130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

GROWING MEDIUM DEPTH DIAGRAM LEVEL 11

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NORTH

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PROJECT NO.	14104
DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-9-20 at 9:45:40 AM
DRAWN	ZL / LC REVIEWED GB

DRAWING

L 3.07

Plant List

Hertune Center

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
		Trees				
APL	30	Acer palmatum 'Green'	Green Japanese Maple	---	As Shown	B&B, Specimen and densely branched, no included bark
AGA	3	Amelanchier x grandiflora 'Princess Diana'	Princess Diana Serviceberry	4 cm cal. (1 1/2" cal.)	As Shown	B&B, Multi-stemmed, dense tree
CBF	4	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	5 cm cal. (2" cal.)	As Shown	B&B, Dense plant, good branching within 2' (0.6 m) of ground
MGL	3	Magnolia 'Galaxy'	Galaxy Magnolia	5 cm cal. (2" cal.)	As Shown	B&B, Well branched, dense tree
MKB	4	Magnolia kobus	Kobus Magnolia	7 cm cal. (2 1/2" cal.)	As Shown	B&B, Well branched, dense tree, 6' (1.8 m) std.
POR	5	Picea omorika	Serbian Spruce	3.5 m ht. (11'-6" ht.)	As Shown	B&B, Well branched, dense tree
PCN	1	Pinus contorta	Shore Pine	4.0 m ht. (12'0" ht.)	As Shown	B&B, Well branched, dense tree, nursery grown
SPS	9	Stewartia pseudocamellia	Japanese Stewartia	5 cm cal. (2" cal.)	As Shown	B&B, Well branched, dense tree
TPL	1	Thuja plicata	Western Red Cedar	2.4 m ht. (8'-0" ht.)	As Shown	B&B, Well branched, dense tree, nursery grown
		Shrubs				
BMW	212	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
LPL	140	Lonicera pileata	Privet Honeysuckle	#2 pot	45cm (18")	30 cm (12") spread
REL	51	Rhododendron 'Elizabeth'	Elizabeth Rhododendron	#3 pot	75 cm (30")	Well established
SHH	131	Sarcococca hookeriana humilis	Himalayan Sarcococca	#2 pot	45cm (18")	Well established
SJP	244	Skimmia japonica	Japanese Skimmia	---	60cm (24")	Well established
TXM	110	Taxus x media 'H.M.Eddie'	H.M.Eddie Yew	1.5m	60cm (24")	Well established, dense hedging plant / B & B
TOS	41	Thuja occidentalis 'Smaragd'	Emerald Cedar	1.8m	40 cm (14")	Well established, dense hedging plant / B & B
VDV	45	Viburnum davidii	David Viburnum	#3 pot	60cm (24")	Well established
		Ground Cover				
AUV	39	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#1 pot	38cm (15")	15cm (4") leads. Minimum 3 leads
PTM	639	Pachysandra terminalis	Japanese Spurge	#1 pot	38cm (15")	10cm (4") height
		Perennials				
GMC	250	Geranium macrorrhizum	Bigroot Geranium	#1 pot	38 cm (15")	Well established
HNR	120	Helleborus niger	Christmas Rose	#1 pot	45 cm (18")	Well established
LHI	265	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	#1 pot	40 cm (16")	Well established
RBG	24	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#1 pot	45 cm (18")	Well established
SLA	185	Stachys lanata	Lamb's Ear	#1 pot	38 cm (15")	Well established
		Ornamental Grasses				
CID	599	Carex morrowii 'Ice Dance'	Variegated Sedge	#1 pot	38 cm (15")	Well established
PAL	149	Pennisetum alopecuroides	Fountain Grass	#1 pot	40 cm (24")	Well established
SGG	15	Stipa gigantea	Giant Feather Grass	#1 pot	75 cm (30")	Well established
		Ferns				
BSP	53	Blechnum spicant	Deer Fern	#1 pot	38 cm (15")	Well established, nursery grown
PMU	88	Polystichum munitum	Western Sword Fern	#1 pot	45 cm (18")	Well established, nursery grown

PLANTING GENERAL NOTES

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GENERAL NOTES

1. ALL LANDSCAPE AREAS TO BE PROVIDED WITH AUTOMATIC IRRIGATION.
2. ALL BALCONIES AND PATIOS TO BE PROVIDED WITH HOSE BIBS.

PLAN # 53

NOV 06 2018

DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/09/18	See 20171130 drawings for previous issurance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

PLANT DETAILS

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SCALE: NTS

PROJECT NO.	
DATE	AUG 2015
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-9-20 at 9:45:40 AM
DRAWN	ZL
REVIEWED	GB

DRAWING

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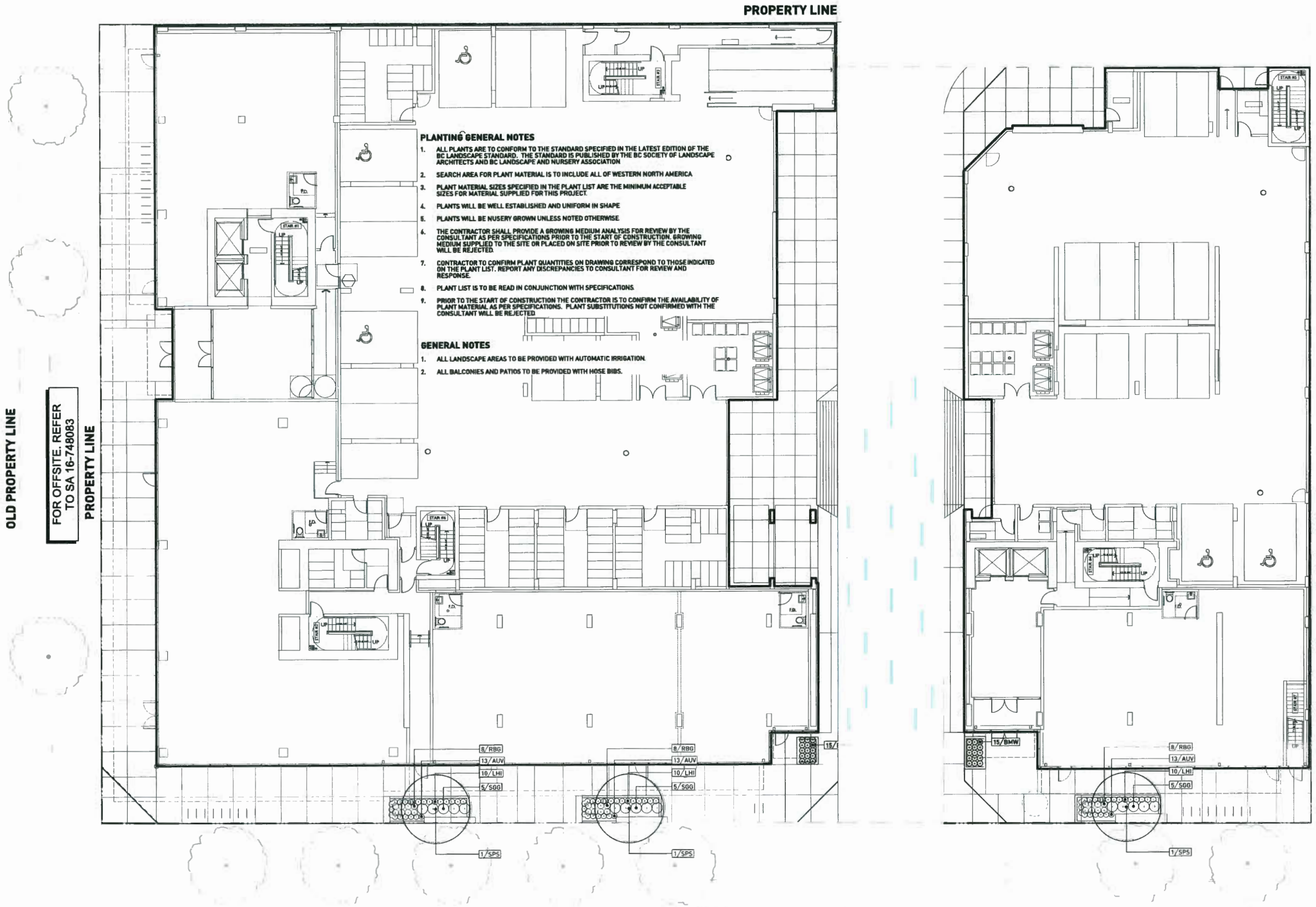

PLANTING GENERAL NOTES

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GENERAL NOTES

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2. ALL BALCONIES AND PATIOS TO BE PROVIDED WITH HOSE BIBS.

OFF-SITE NOTES:

REFER TO SERVICING AGREEMENT SA 16-748083 FOR OFF-SITE LANDSCAPE INFORMATION

PLAN # 54

NOV 0 6 2018

DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

PLANTING PLAN
LEVEL 1

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NORTH

SCALE 3/32"=1'-0"

PROJECT NO.	
DATE	AUG 2018
FILE NAME	17080 BP PLAN.vwx
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DRAWN	ZL REVIEWED GB

DRAWING

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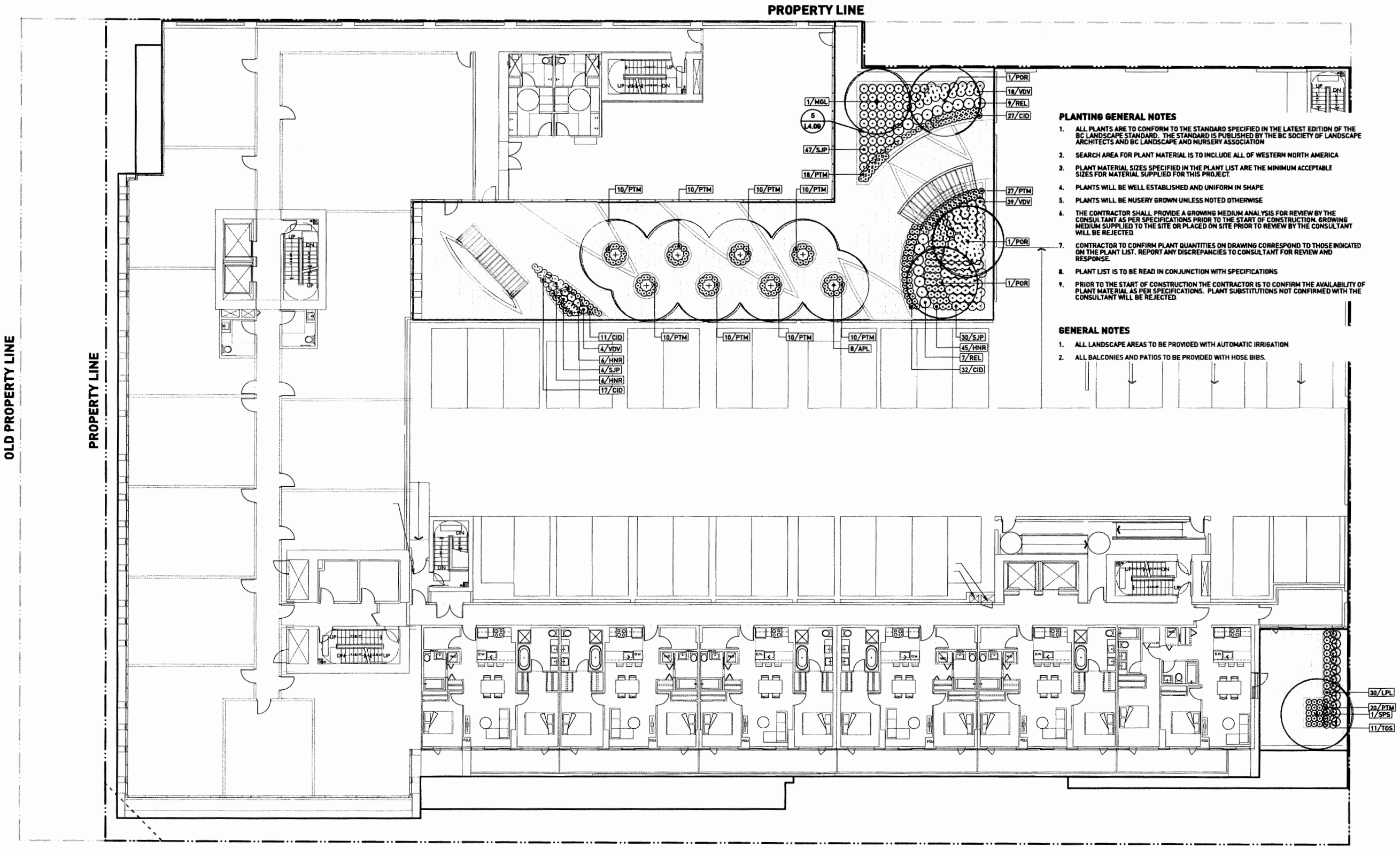

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GENERAL NOTES

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PLAN # 55 NOV 0 6 2018 DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/10	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
PLANTING PLAN
LEVEL 4

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NORTH

SCALE 3/32"=1'-0"

PROJECT NO.
DATE AUG 2015
FILE NAME 17080 BP PLAN.vwx
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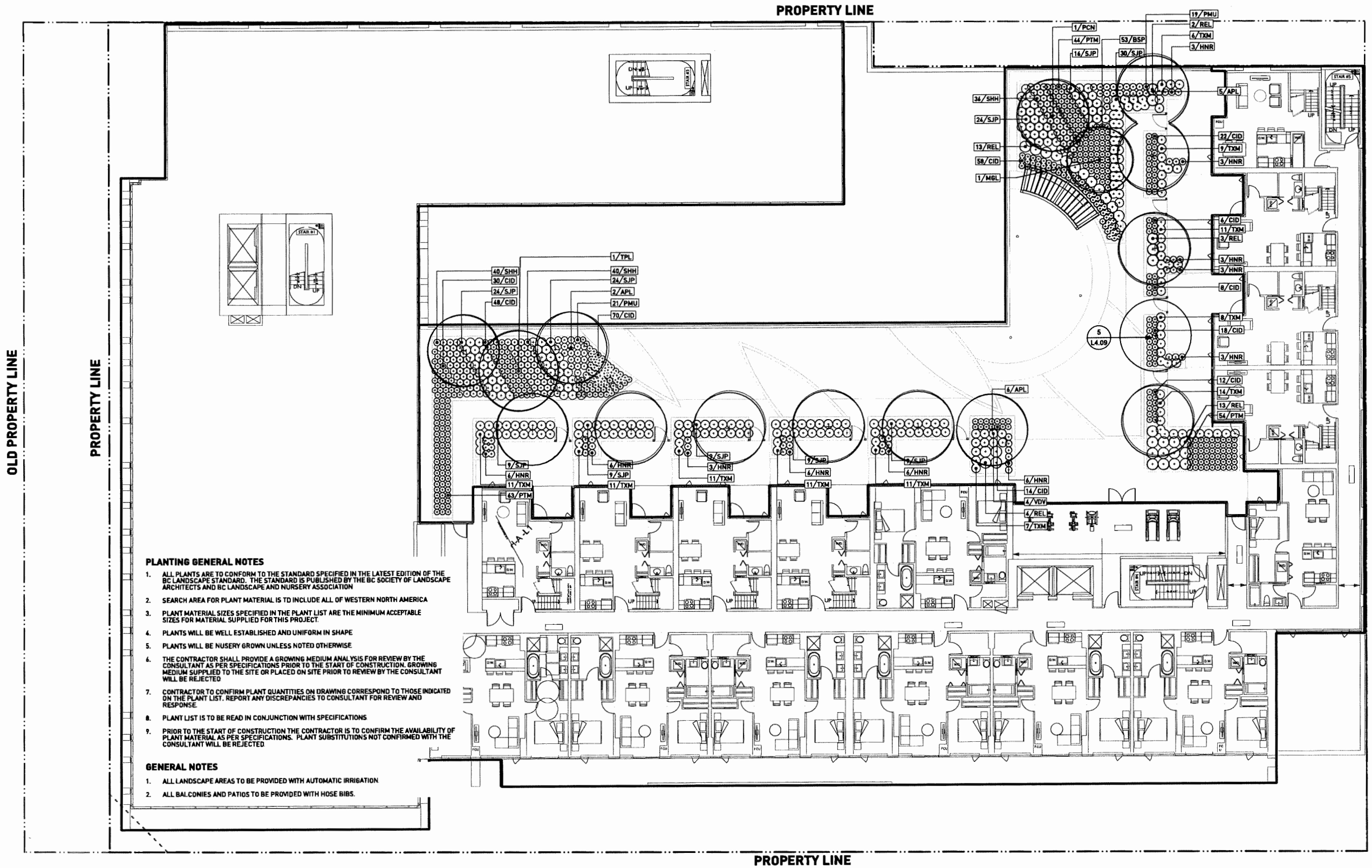
DRAWN ZL REVIEWED GB

DRAWING L 4.03



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GENERAL NOTES

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PLAN #56 NOV 06 2018 DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/09/18	See 20171130 dra/wngs for previous issuance.
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

PLANTING PLAN
LEVEL 5

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NORTH

SCALE 3/32"=1'-0"

PROJECT NO.

DATE AUG 2015

FILE NAME 17080 BP PLAN.vwx

PLOTTED 18-9-20 at 8:45:40 AM

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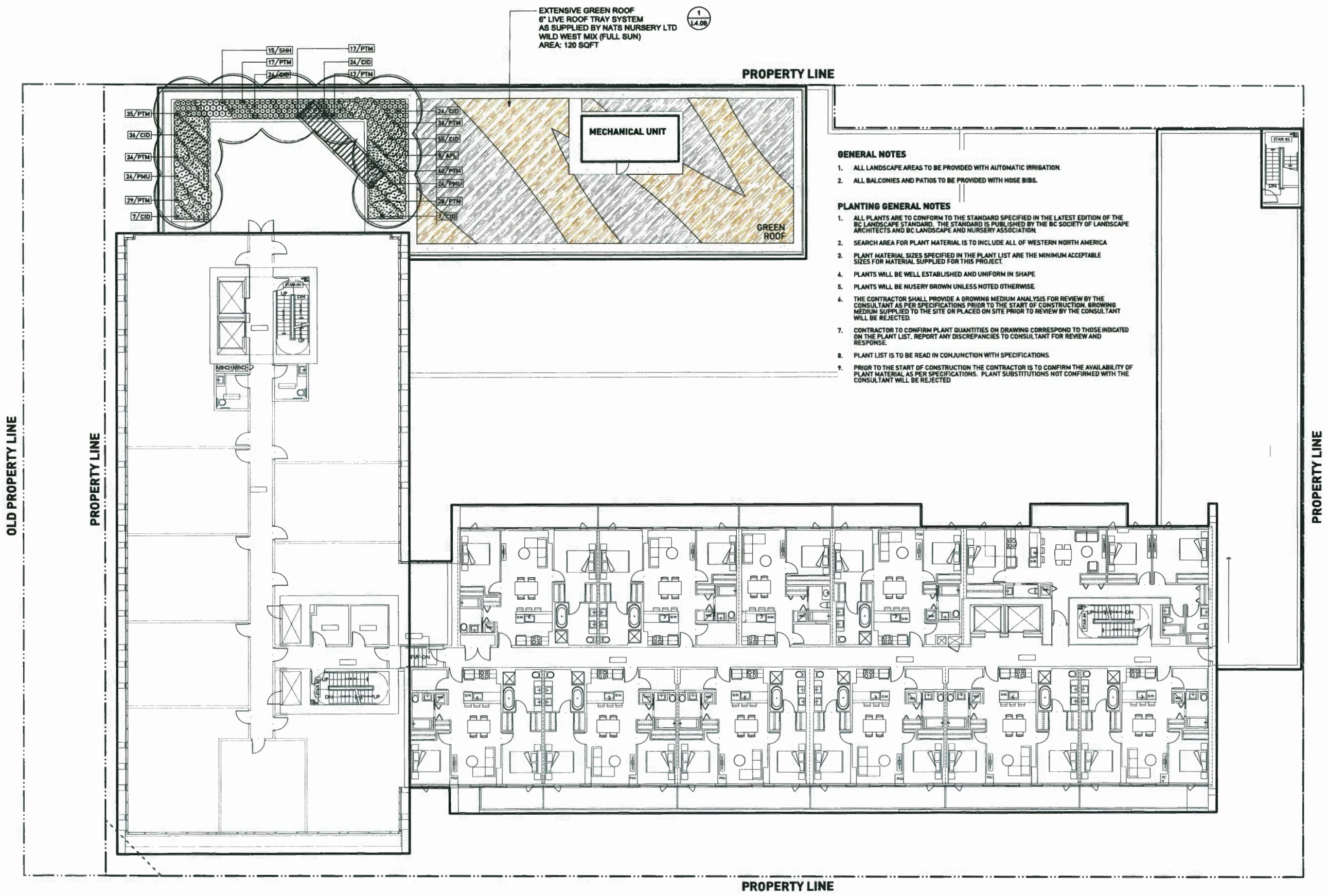

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PLAN # 57 NOV 06 2018 DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

PLANTING PLAN
LEVEL 6

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NORTH

SCALE 3/32"=1'-0"

PROJECT NO.

DATE AUG 2015

FILE NAME 17080 BP PLAN.vwx

PLOTTED 18-8-20 at 8:45:40 AM

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DRAWING

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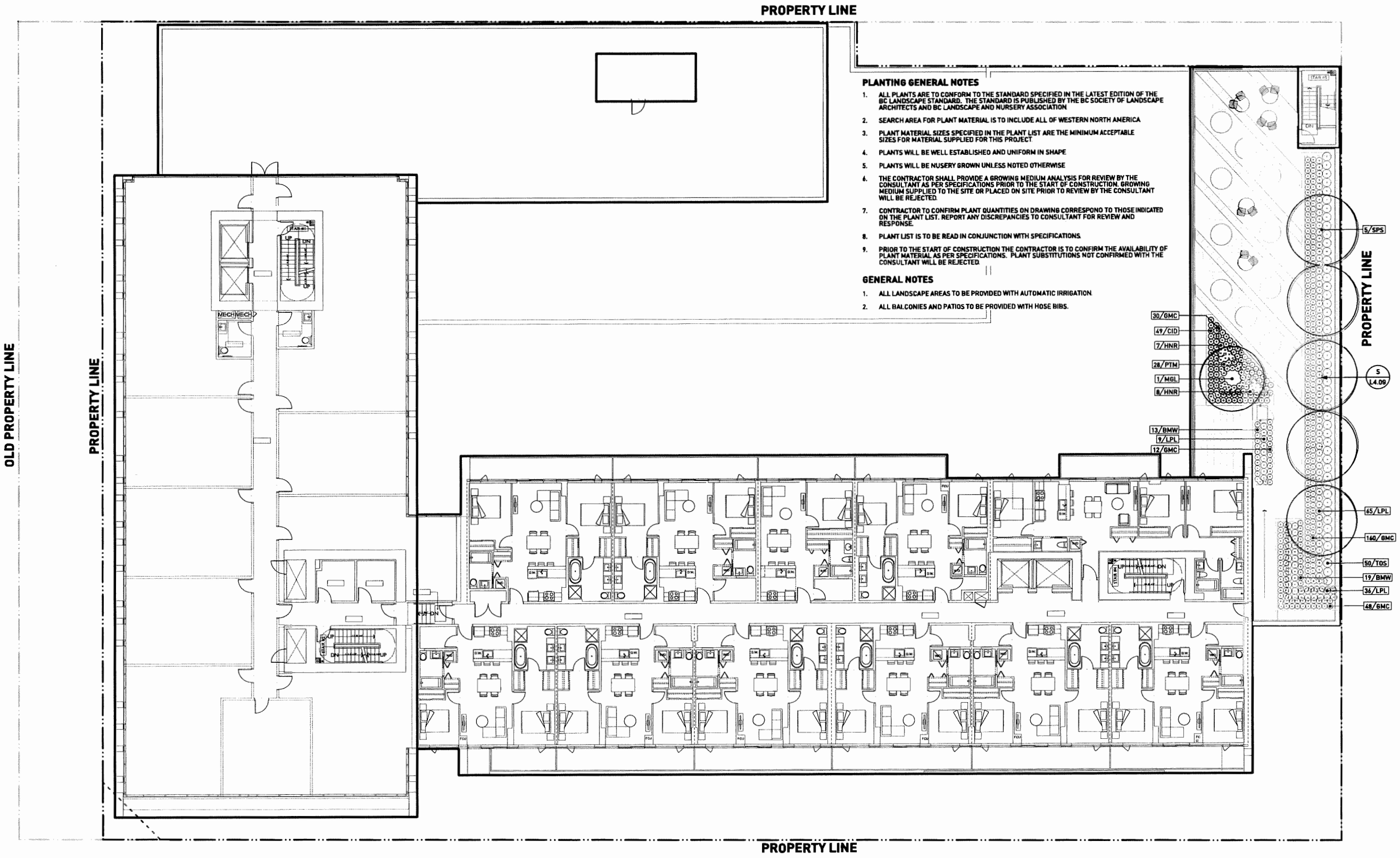

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GENERAL NOTES

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PLAN #58

NOV 0 6 2018

DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 201711130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

PLANTING PLAN
LEVEL 7

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NORTH

SCALE 3/32"=1'-0"

PROJECT NO.

DATE AUG 2015

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DRAWING

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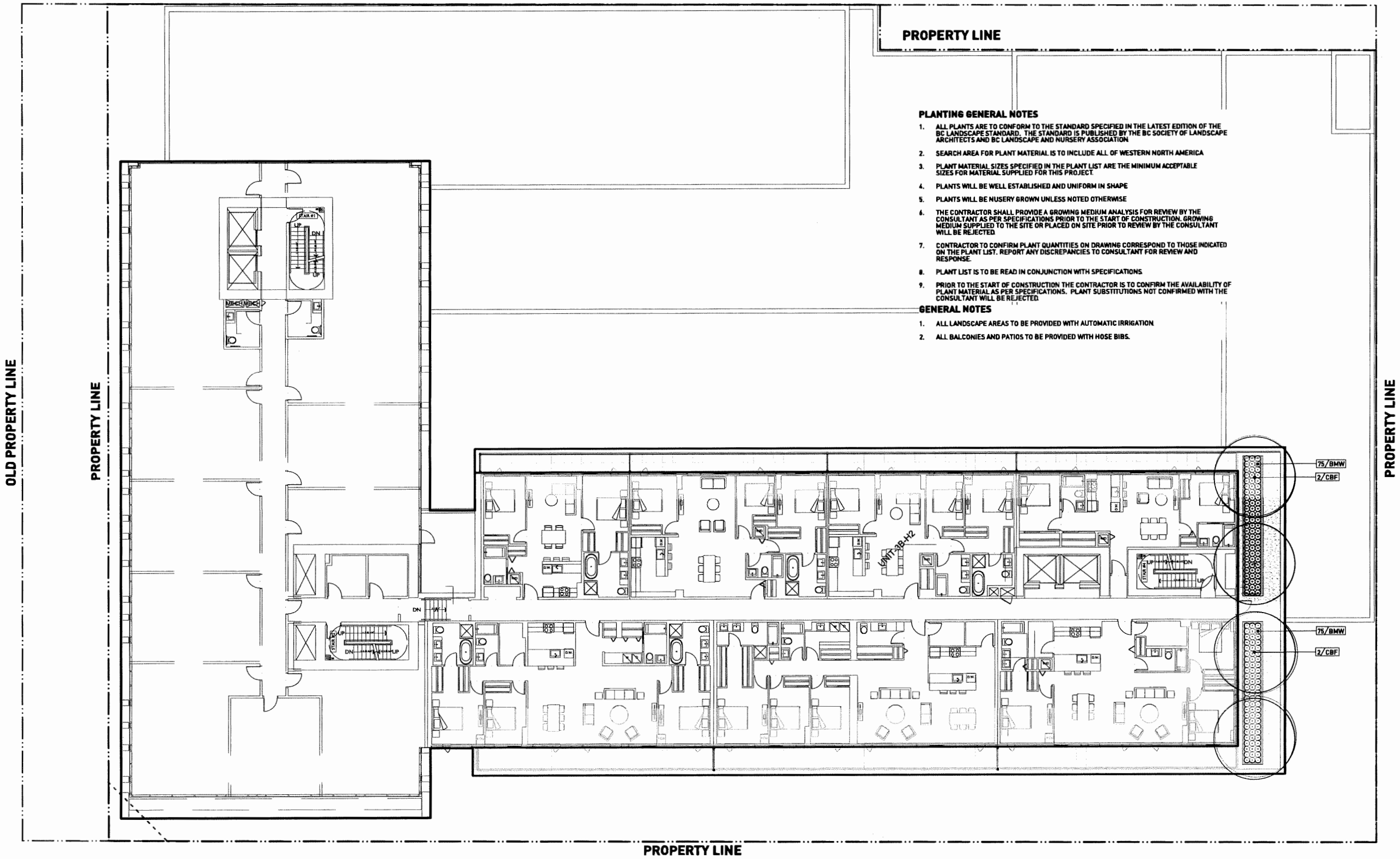

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PLAN #59

NOV 06 2018

DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

PLANTING PLAN
LEVEL 9

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NORTH

SCALE

PROJECT NO.

DATE

FILE NAME 17080 BP PLAN.vwx

PLOTTED 18-9-20 at 8:45:40 AM

DRAWN

REVIEWED

DRAWING

L 4.07

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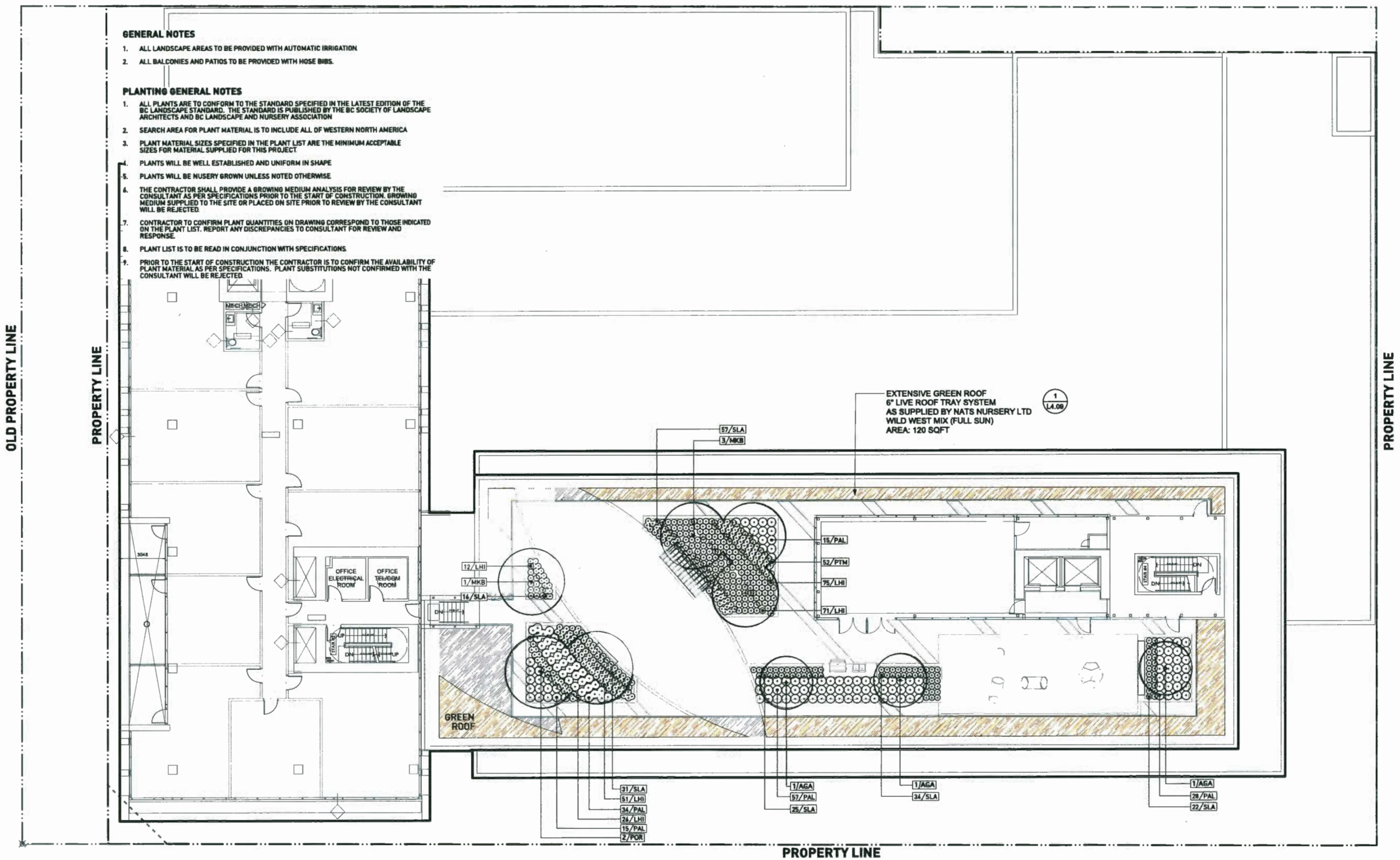

PLAN 960 NOV 0 6 2018 DP 18-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
PLANTING PLAN
LEVEL 11

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NORTH
SCALE 3/32"=1'-0"

PROJECT NO.
DATE AUG 2018
FILE NAME 17080 SP PLAN.vwx
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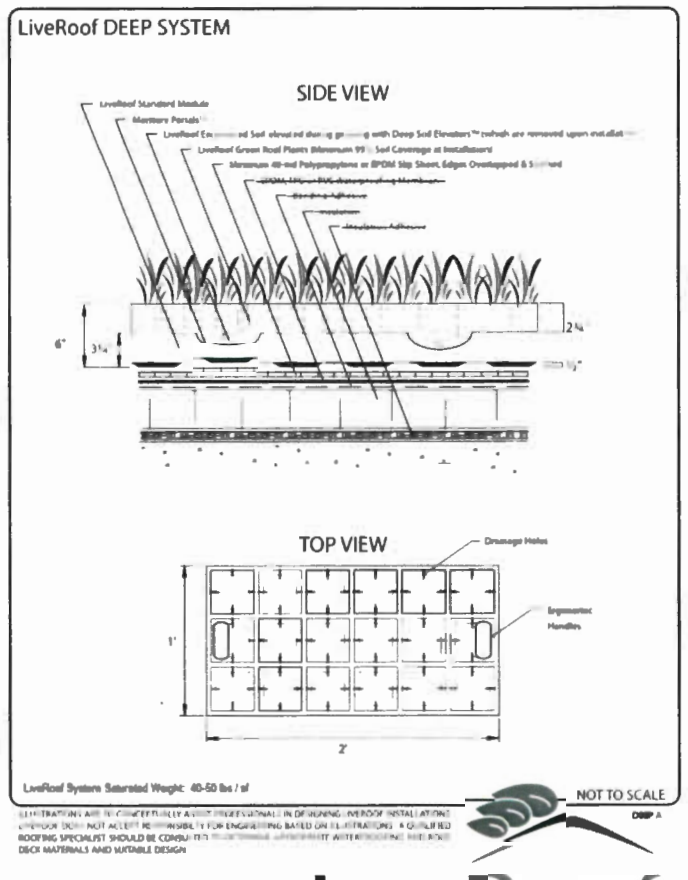
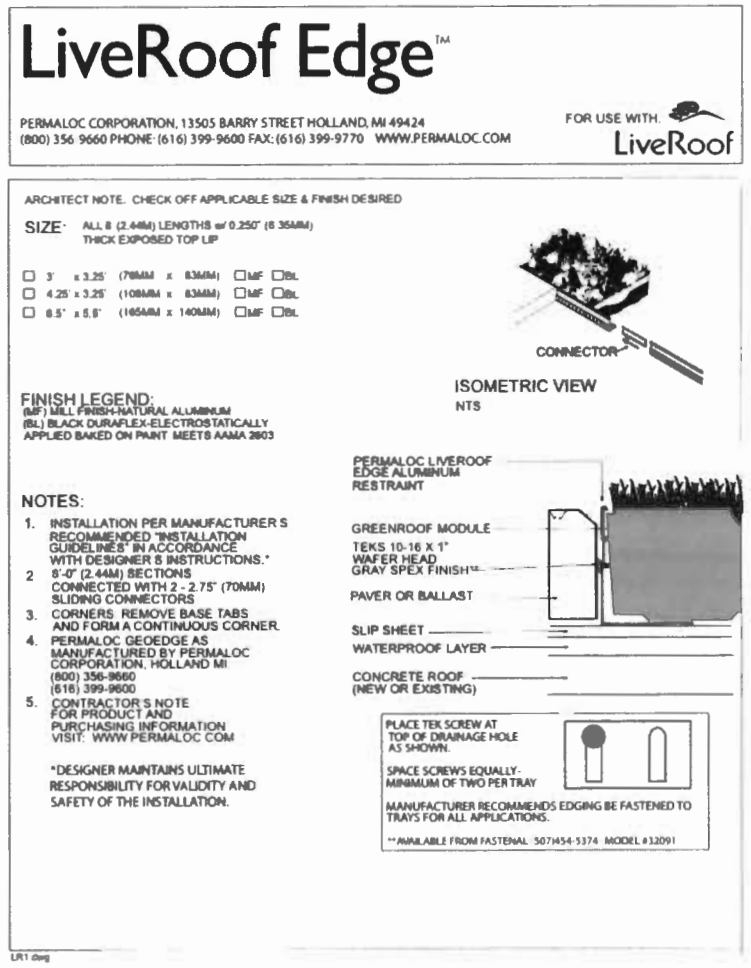
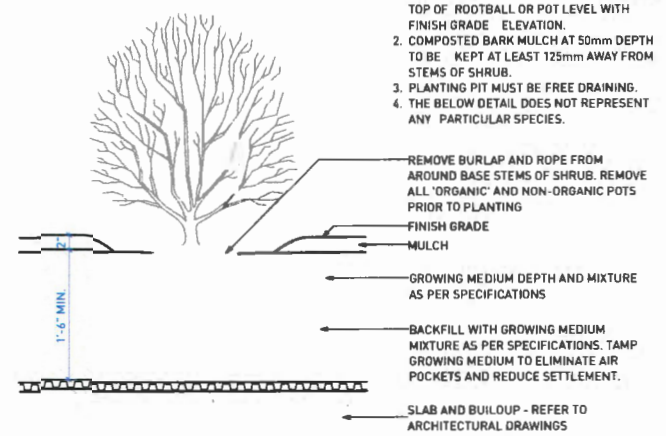
DRAWN ZL REVIEWED GB

DRAWING
L 4.08

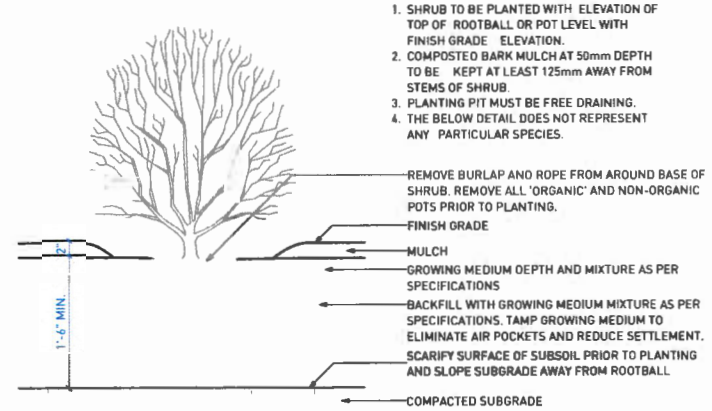


1 GREEN ROOF DETAIL
NTS

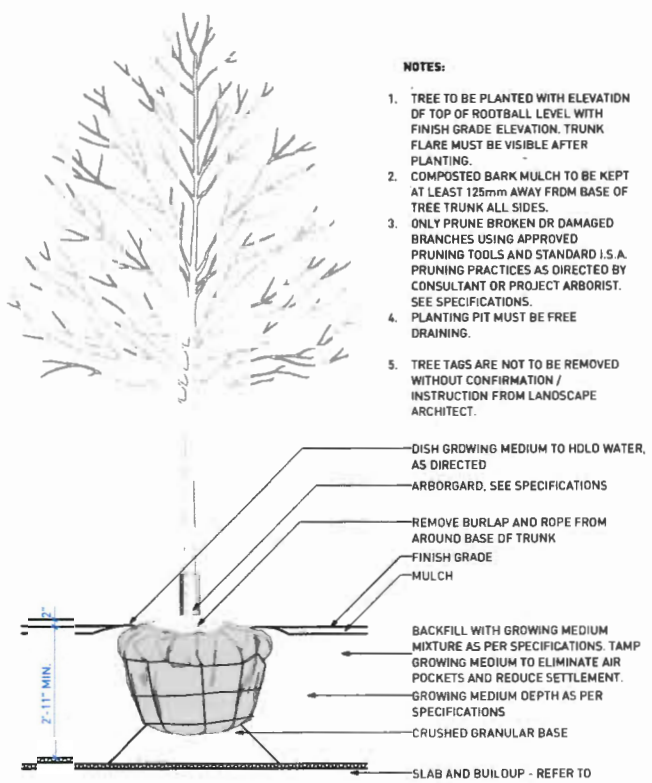




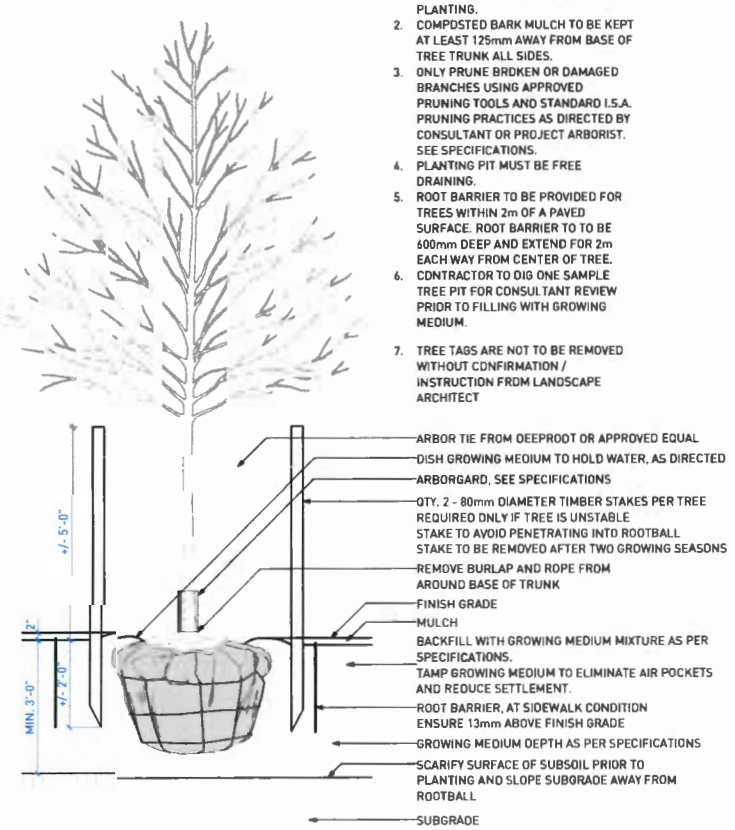
4 SHRUB PLANTING ON SLAB
NTS



5 SHRUB PLANTING ON GRADE
NTS



2 TREE PLANTING ON SLAB
NTS



3 TREE PLANTING ON GRADE
NTS

PLANTING GENERAL NOTES

1. ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION
2. SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA
3. PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT
4. PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE
5. PLANTS WILL BE NURSERY GROWN UNLESS NOTED OTHERWISE
6. THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED
7. CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
8. PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS
9. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED

GENERAL NOTES

1. ALL LANDSCAPE AREAS TO BE PROVIDED WITH AUTOMATIC IRRIGATION
2. ALL BALCONIES AND PATIOS TO BE PROVIDED WITH HOSE BIBS.

PLAN #61

NOV 06 2018

DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/09/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
PLANT DETAILS

SCALE
NTS

PROJECT NO.

DATE	AUG 2015		
FILE NAME	17080 BP PLAN.vwx		
PLOTTED	18-9-20 at 9:45:40 AM		
DRAWN	ZL	REVIEWED	GB

DRAWING
L 4.09

DESIGN BUILD IRRIGATION SYSTEM GENERAL NOTES

1. DESIGN BUILD IRRIGATION DRAWINGS TO BE READ IN CONJUNCTION WITH PLANTING PLANS. CONTRACTOR TO ENSURE THAT LAWN AREAS ARE ZONED SEPARATELY FROM OTHER PLANTED AREAS AS PER SPECIFICATIONS. LAWN AREAS ZONED WITH OTHER PLANTED AREAS WILL BE REJECTED.
2. AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED AS "DESIGN BUILD". REFER TO SPECIFICATIONS FOR DESIGN AND SUBMISSION REQUIREMENTS.
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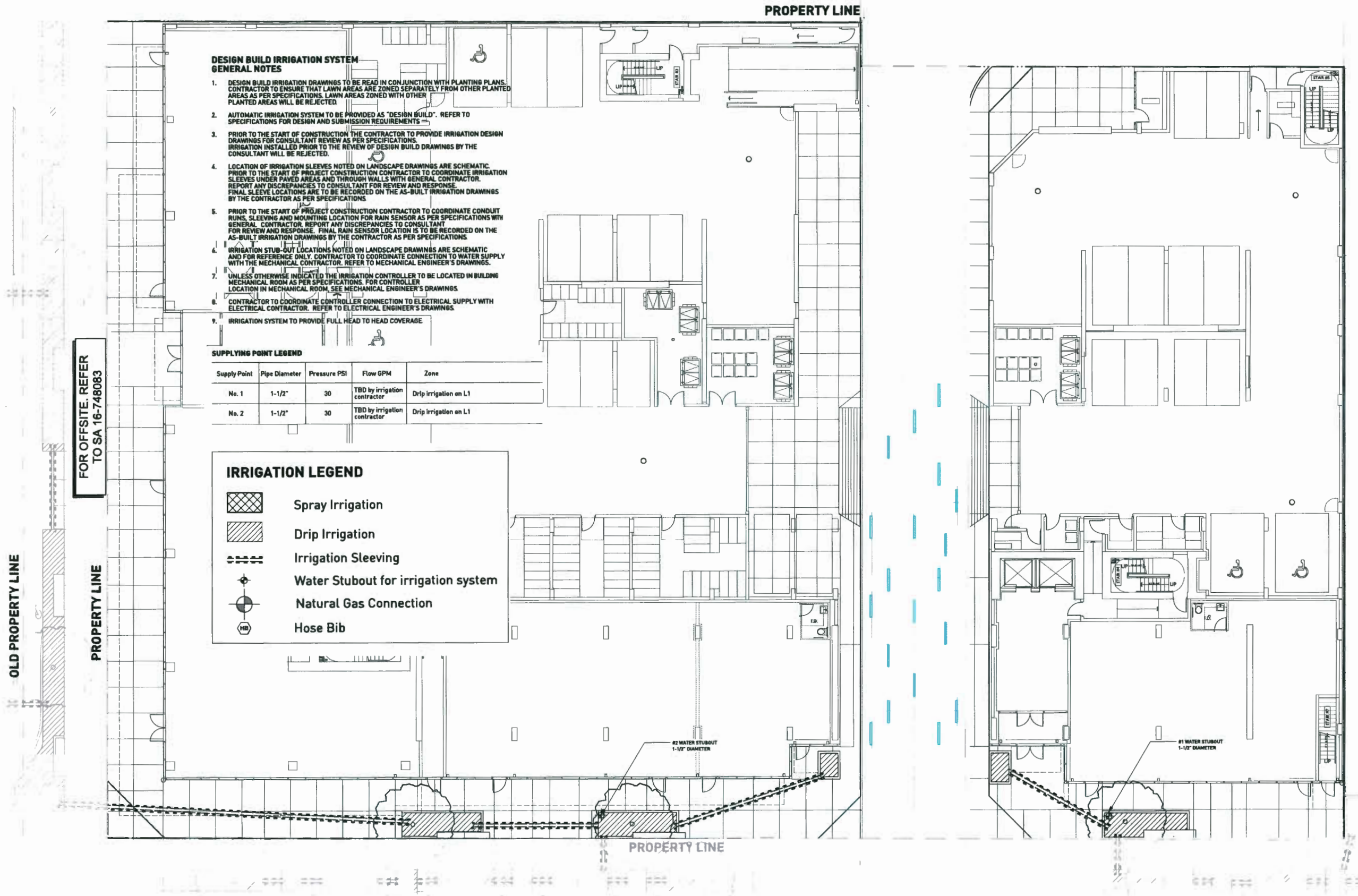
4. LOCATION OF IRRIGATION SLEEVES NOTED ON LANDSCAPE DRAWINGS ARE SCHEMATIC. PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE IRRIGATION SLEEVES UNDER PAVED AREAS AND THROUGH WALLS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL SLEEVE LOCATIONS ARE TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS.
5. PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE CONDUIT RUNS, SLEEVING AND MOUNTING LOCATION FOR RAIN SENSOR AS PER SPECIFICATIONS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL RAIN SENSOR LOCATION IS TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS.
6. IRRIGATION STUB-OUT LOCATIONS NOTED ON LANDSCAPE DRAWINGS ARE SCHEMATIC AND FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE CONNECTION TO WATER SUPPLY WITH THE MECHANICAL CONTRACTOR. REFER TO MECHANICAL ENGINEER'S DRAWINGS.
7. UNLESS OTHERWISE INDICATED THE IRRIGATION CONTROLLER TO BE LOCATED IN BUILDING MECHANICAL ROOM AS PER SPECIFICATIONS. FOR CONTROLLER LOCATION IN MECHANICAL ROOM, SEE MECHANICAL ENGINEER'S DRAWINGS.
8. CONTRACTOR TO COORDINATE CONTROLLER CONNECTION TO ELECTRICAL SUPPLY WITH ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL ENGINEER'S DRAWINGS.
9. IRRIGATION SYSTEM TO PROVIDE FULL HEAD TO HEAD COVERAGE.

SUPPLYING POINT LEGEND

Supply Point	Pipe Diameter	Pressure PSI	Flow GPM	Zone
No. 1	1-1/2"	30	TBD by irrigation contractor	Drip irrigation on L1
No. 2	1-1/2"	30	TBD by irrigation contractor	Drip irrigation on L1

IRRIGATION LEGEND

- Spray Irrigation
- Drip Irrigation
- Irrigation Sleeving
- Water Stubout for irrigation system
- Natural Gas Connection
- Hose Bib



PLAN #62

NOV 06 2018

DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous insurance
02	2018/08/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
IRRIGATION
LEVEL 1

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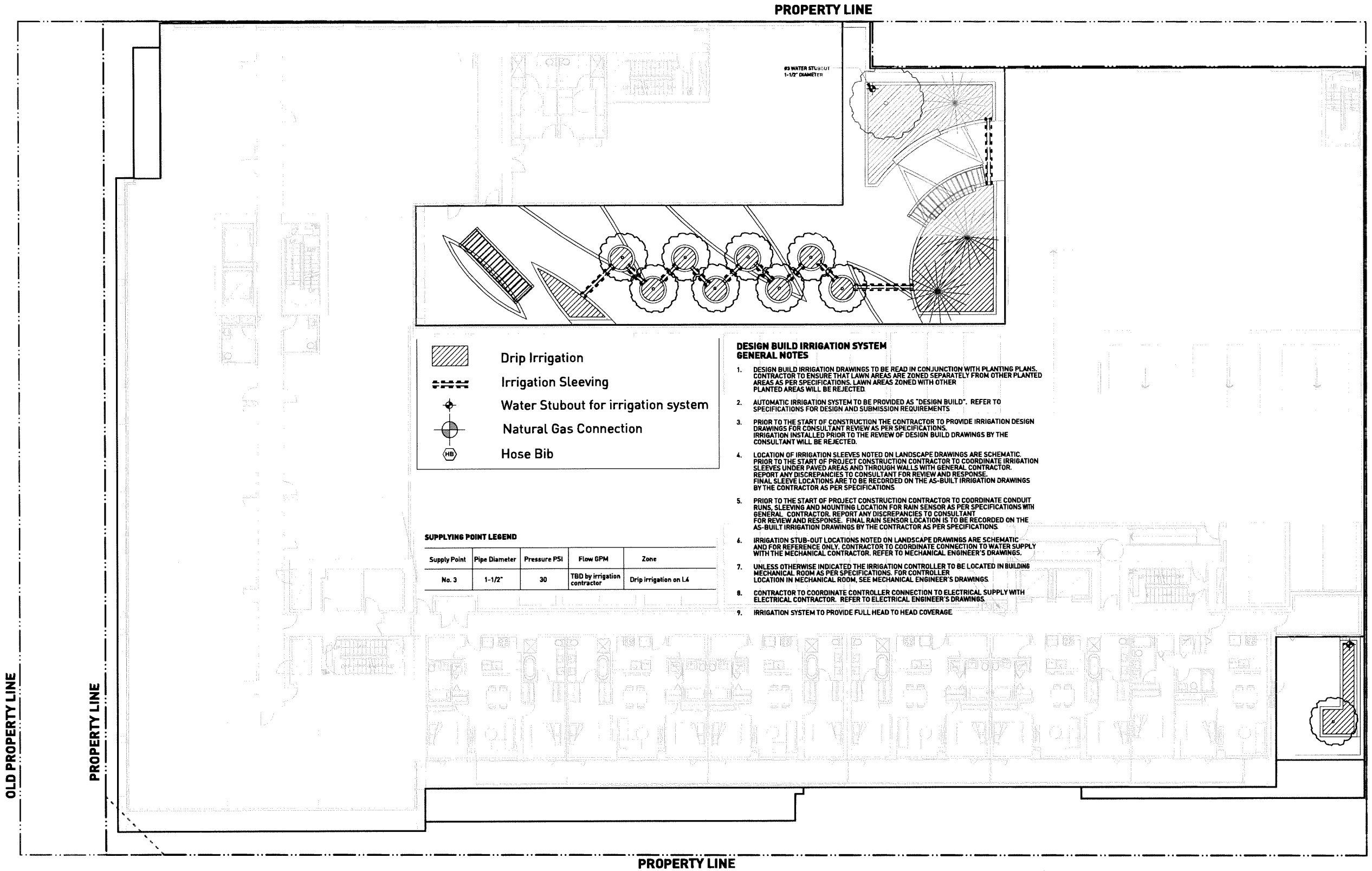
NORTH
SCALE 3/32" = 1'

PROJECT NO. 14104
DATE
FILE NAME 17080 BP PLAN.vwx
PLOTTED 18-8-20 at 8:45:40 AM
DRAWN ZL / LC REVIEWED GB

DRAWING
L 5.01



Drip Irrigation

Irrigation Sleeving

Water Stubout for irrigation system

Natural Gas Connection

Hose Bib

SUPPLYING POINT LEGEND

Supply Point	Pipe Diameter	Pressure PSI	Flow GPM	Zone
No. 3	1-1/2"	30	TBD by irrigation contractor	Drip irrigation on L4

DESIGN BUILD IRRIGATION SYSTEM GENERAL NOTES

1. DESIGN BUILD IRRIGATION DRAWINGS TO BE READ IN CONJUNCTION WITH PLANTING PLANS. CONTRACTOR TO ENSURE THAT LAWN AREAS ARE ZONED SEPARATELY FROM OTHER PLANTED AREAS AS PER SPECIFICATIONS. LAWN AREAS ZONED WITH OTHER PLANTED AREAS WILL BE REJECTED.
2. AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED AS "DESIGN BUILD". REFER TO SPECIFICATIONS FOR DESIGN AND SUBMISSION REQUIREMENTS
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4. LOCATION OF IRRIGATION SLEEVES NOTED ON LANDSCAPE DRAWINGS ARE SCHEMATIC. PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE IRRIGATION SLEEVES UNDER PAVED AREAS AND THROUGH WALLS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL SLEEVE LOCATIONS ARE TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS
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7. UNLESS OTHERWISE INDICATED THE IRRIGATION CONTROLLER TO BE LOCATED IN BUILDING MECHANICAL ROOM AS PER SPECIFICATIONS. FOR CONTROLLER LOCATION IN MECHANICAL ROOM, SEE MECHANICAL ENGINEER'S DRAWINGS.
8. CONTRACTOR TO COORDINATE CONTROLLER CONNECTION TO ELECTRICAL SUPPLY WITH ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL ENGINEER'S DRAWINGS.
9. IRRIGATION SYSTEM TO PROVIDE FULL HEAD TO HEAD COVERAGE.

PLAN #63 NOV 06 2018 DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/09/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

IRRIGATION
LEVEL 4

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NORTH

SCALE 3/32" = 1'

PROJECT NO.	14104
DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-8-20 at 8:45:40 AM
DRAWN	ZL / LC REVIEWED GB

DRAWING

L 5.02

DESIGN BUILD IRRIGATION SYSTEM GENERAL NOTES

1. DESIGN BUILD IRRIGATION DRAWINGS TO BE READ IN CONJUNCTION WITH PLANTING PLANS. CONTRACTOR TO ENSURE THAT LAWN AREAS ARE ZONED SEPARATELY FROM OTHER PLANTED AREAS AS PER SPECIFICATIONS. LAWN AREAS ZONED WITH OTHER PLANTED AREAS WILL BE REJECTED
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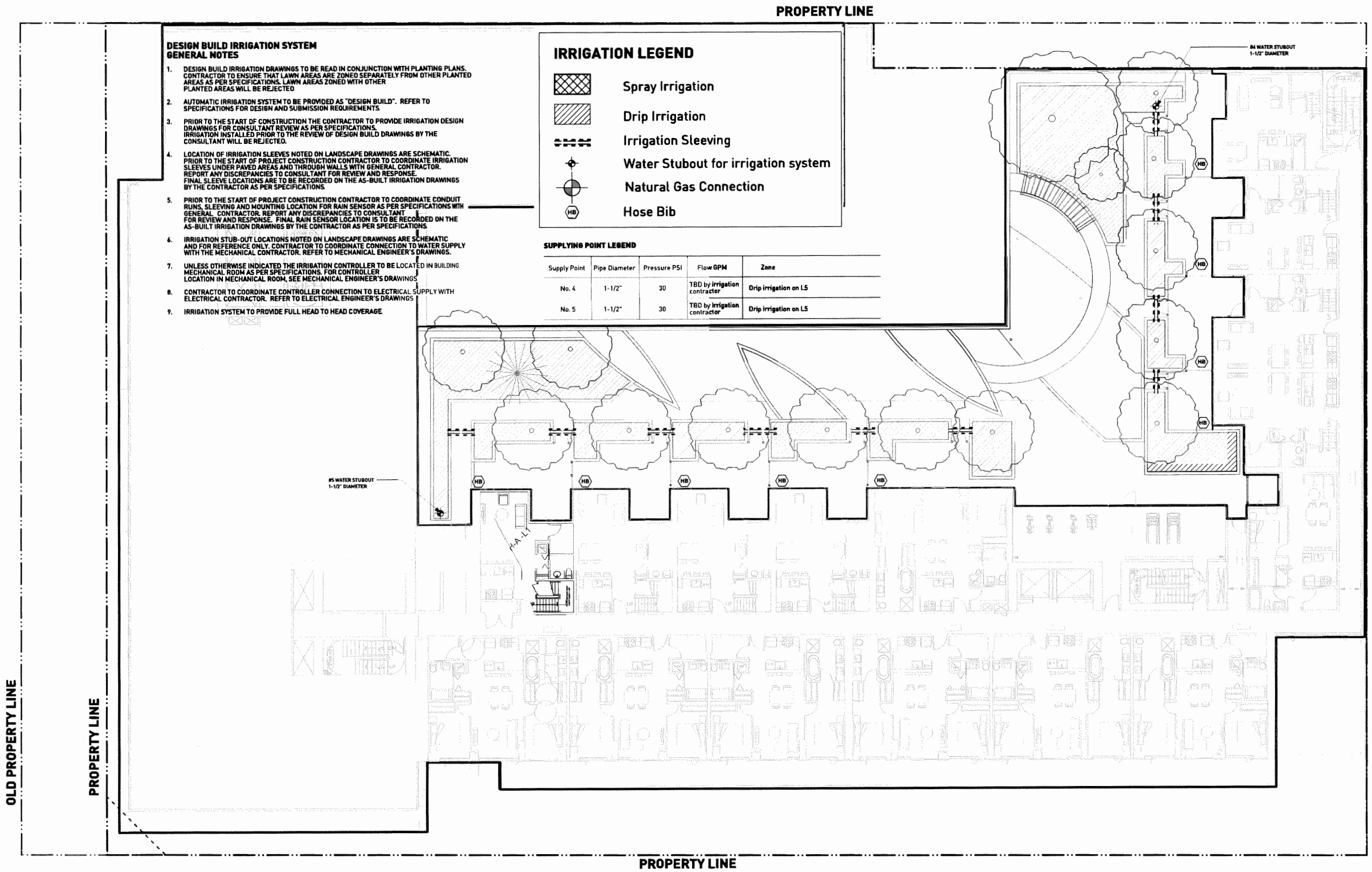
8. CONTRACTOR TO COORDINATE CONTROLLER CONNECTION TO ELECTRICAL SUPPLY WITH ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL ENGINEER'S DRAWINGS
9. IRRIGATION SYSTEM TO PROVIDE FULL HEAD TO HEAD COVERAGE

IRRIGATION LEGEND

- Spray Irrigation
- Drip Irrigation
- Irrigation Sleeving
- Water Stubout for irrigation system
- Natural Gas Connection
- Hose Bib

SUPPLYING POINT LEGEND

Supply Point	Pipe Diameter	Pressure PSI	Flow GPM	Zone
No. 4	1-1/2"	30	TBD by irrigation contracter	Drip irrigation on L5
No. 5	1-1/2"	30	TBD by irrigation contracter	Drip irrigation on L5



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
IRRIGATION
LEVEL 5

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NORTH

SCALE 3/32" = 1'

PROJECT NO. 14104
DATE
FILE NAME 17080 BP PLAN.vwx
PLOTTED 18-8-20 at 9:45:40 AM
DRAWN ZL / LC REVIEWED GB

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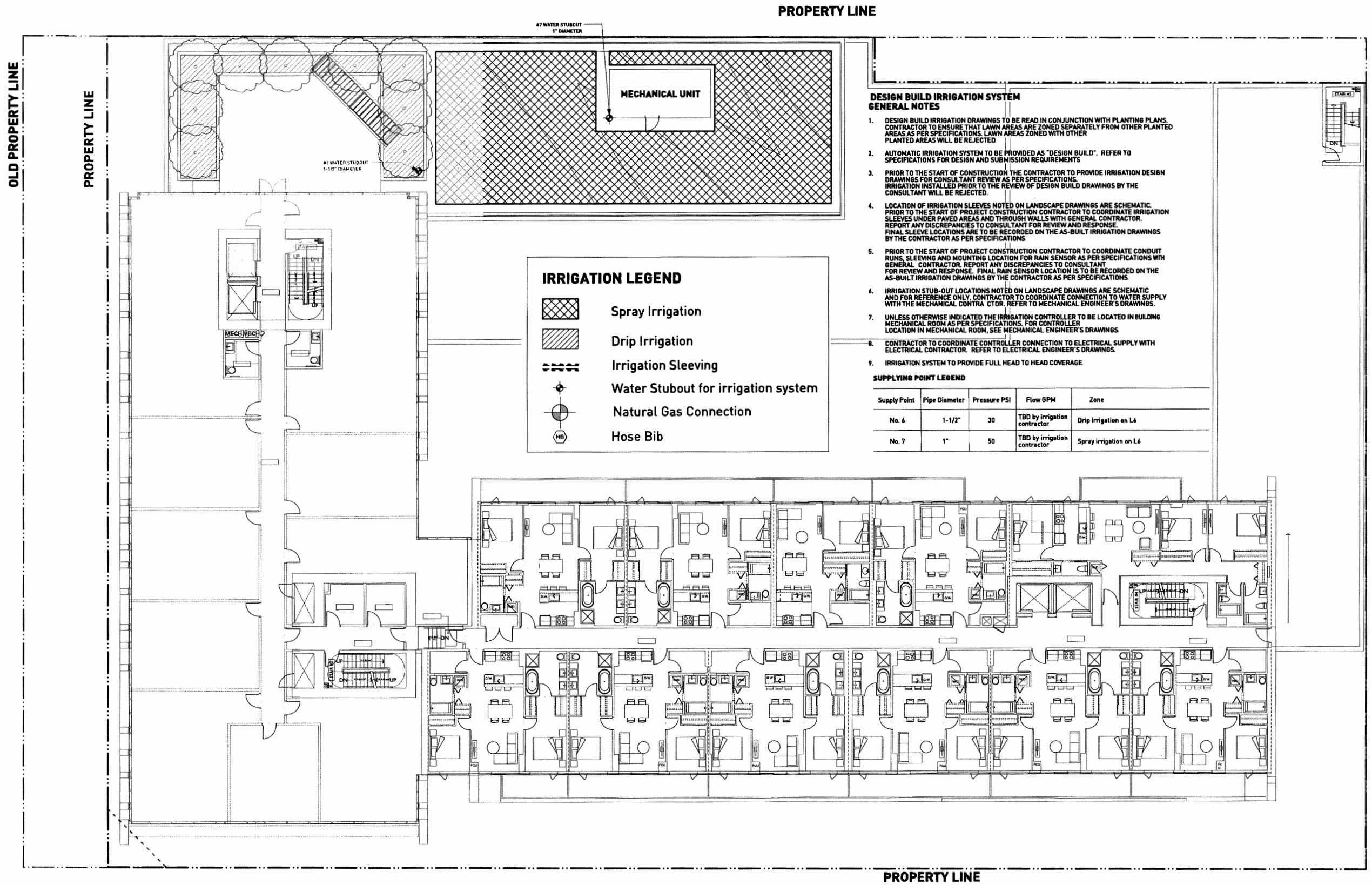
L 5.03

PLAN #64 NOV 06 2018 DP 15-708092



IRRIGATION LEGEND

- Spray Irrigation
- Drip Irrigation
- Irrigation Sleeving
- Water Stubout for irrigation system
- Natural Gas Connection
- HB Hose Bib

DESIGN BUILD IRRIGATION SYSTEM GENERAL NOTES

1. DESIGN BUILD IRRIGATION DRAWINGS TO BE READ IN CONJUNCTION WITH PLANTING PLANS. CONTRACTOR TO ENSURE THAT LAWN AREAS ARE ZONED SEPARATELY FROM OTHER PLANTED AREAS AS PER SPECIFICATIONS. LAWN AREAS ZONED WITH OTHER PLANTED AREAS WILL BE REJECTED.
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7. UNLESS OTHERWISE INDICATED THE IRRIGATION CONTROLLER TO BE LOCATED IN BUILDING MECHANICAL ROOM AS PER SPECIFICATIONS. FOR CONTROLLER LOCATION IN MECHANICAL ROOM, SEE MECHANICAL ENGINEER'S DRAWINGS.
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9. IRRIGATION SYSTEM TO PROVIDE FULL HEAD TO HEAD COVERAGE.

SUPPLYING POINT LEGEND

Supply Point	Pipe Diameter	Pressure PSI	Flow GPM	Zone
No. 6	1-1/2"	30	TBD by irrigation contractor	Drip irrigation on L6
No. 7	1"	50	TBD by irrigation contractor	Spray irrigation on L6

PLAN # 65 NOV 0 6 2018 DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/09/18	See 201711130 drawings for previous insurance
02	2018/09/18	Revised IFZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
IRRIGATION
LEVEL 6

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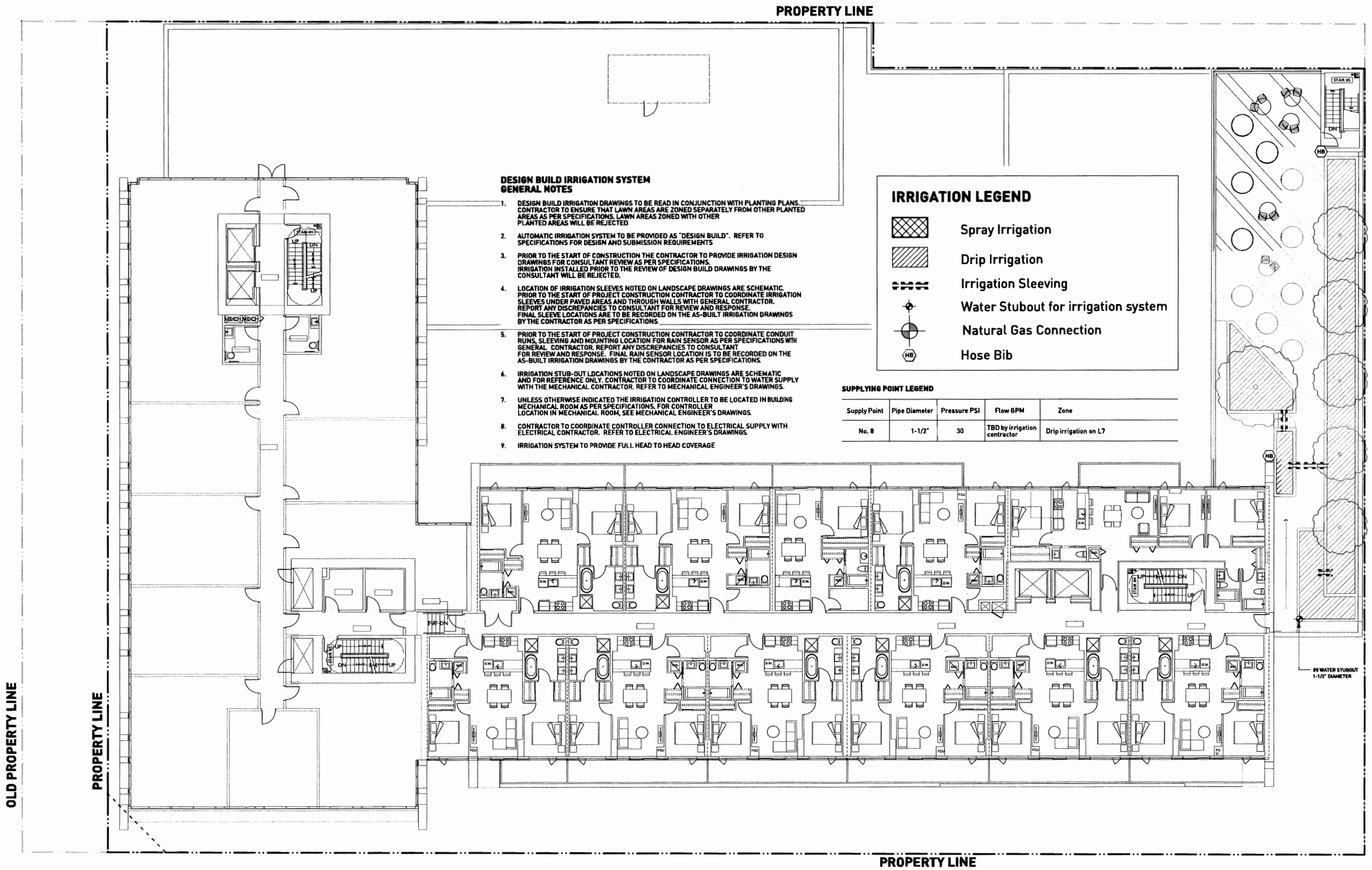
NORTH
SCALE 3/32" = 1'

PROJECT NO. 14104
DATE
FILE NAME 17080 BP PLAN.vwx
PLOTTED 18-8-20 at 9:45:40 AM
DRAWN ZL / LC REVIEWED GB
DRAWING
L 5.04



DESIGN BUILD IRRIGATION SYSTEM GENERAL NOTES

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6. IRRIGATION STUB-OUT LOCATIONS NOTED ON LANDSCAPE DRAWINGS ARE SCHEMATIC AND FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE CONNECTION TO WATER SUPPLY WITH THE MECHANICAL CONTRACTOR. REFER TO MECHANICAL ENGINEER'S DRAWINGS.
7. UNLESS OTHERWISE INDICATED THE IRRIGATION CONTROLLER TO BE LOCATED IN BUILDING MECHANICAL ROOM AS PER SPECIFICATIONS. FOR CONTROLLER LOCATION IN MECHANICAL ROOM, SEE MECHANICAL ENGINEER'S DRAWINGS.
8. CONTRACTOR TO COORDINATE CONTROLLER CONNECTION TO ELECTRICAL SUPPLY WITH ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL ENGINEER'S DRAWINGS.
9. IRRIGATION SYSTEM TO PROVIDE FULL HEAD TO HEAD COVERAGE

IRRIGATION LEGEND

- Spray Irrigation
- Drip Irrigation
- Irrigation Sleeving
- Water Stubout for irrigation system
- Natural Gas Connection
- Hose Bib

SUPPLYING POINT LEGEND

Supply Point	Pipe Diameter	Pressure PSI	Flow GPM	Zone
No. 8	1-1/2"	30	TBD by irrigation contractor	Drip irrigation on L7

PLAN #66

NOV 06 2018

DP 15-708092

PWL partnership

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gbl

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issurance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
IRRIGATION
LEVEL 7

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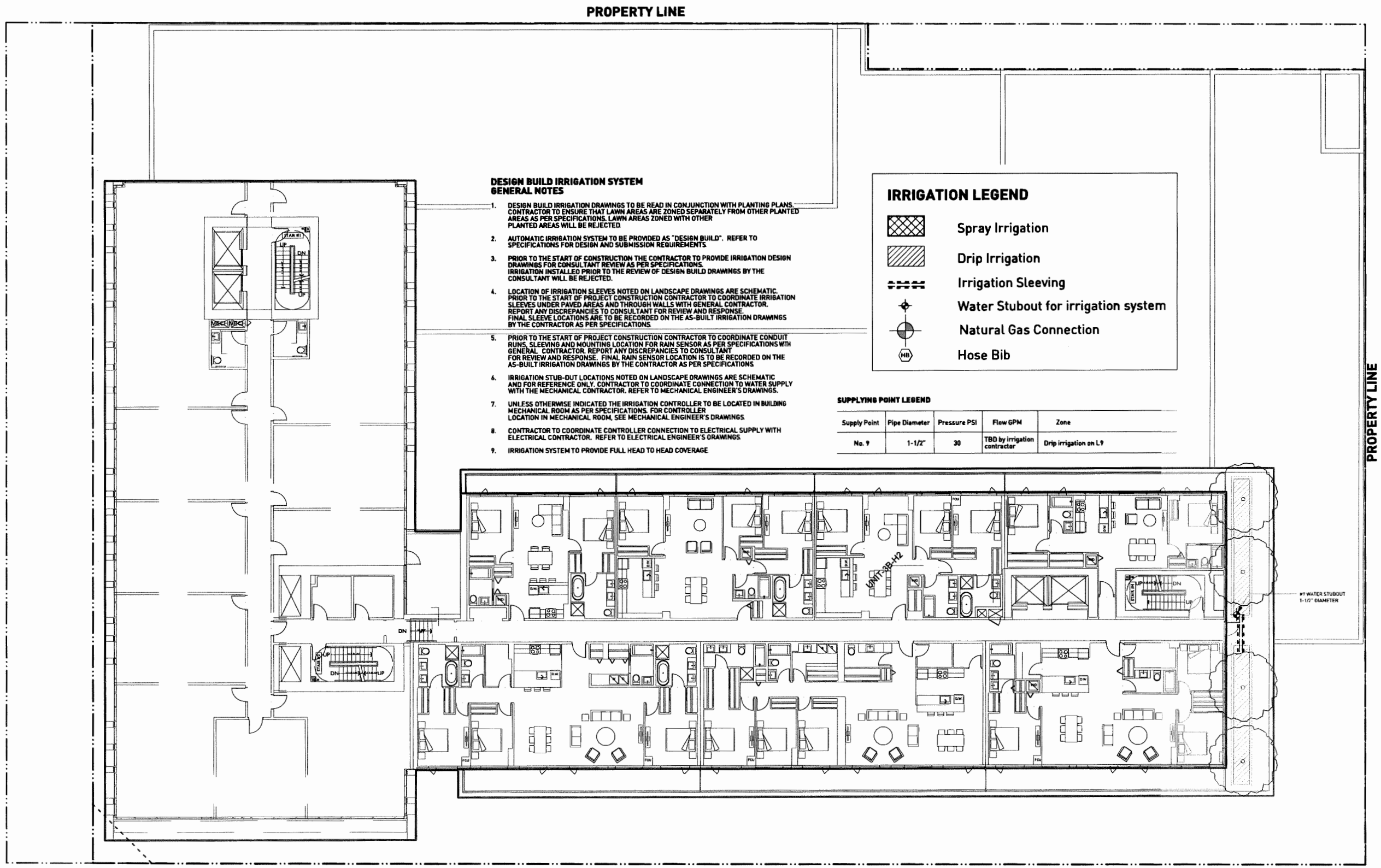
NORTH

SCALE 3/32" = 1'

PROJECT NO. 14104
DATE
FILE NAME 17080 BP PLAN.vwx
PLOTTED 18-8-20 at 9:45:40 AM
DRAWN ZL / LC REVIEWED GB

DRAWING
L 5.05



DESIGN BUILD IRRIGATION SYSTEM GENERAL NOTES

1. DESIGN BUILD IRRIGATION DRAWINGS TO BE READ IN CONJUNCTION WITH PLANTING PLANS. CONTRACTOR TO ENSURE THAT LAWN AREAS ARE ZONED SEPARATELY FROM OTHER PLANTED AREAS AS PER SPECIFICATIONS. LAWN AREAS ZONED WITH OTHER PLANTED AREAS WILL BE REJECTED.
2. AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED AS "DESIGN BUILD". REFER TO SPECIFICATIONS FOR DESIGN AND SUBMISSION REQUIREMENTS.
3. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR TO PROVIDE IRRIGATION DESIGN DRAWINGS FOR CONSULTANT REVIEW AS PER SPECIFICATIONS. IRRIGATION INSTALLED PRIOR TO THE REVIEW OF DESIGN BUILD DRAWINGS BY THE CONSULTANT WILL BE REJECTED.
4. LOCATION OF IRRIGATION SLEEVES NOTED ON LANDSCAPE DRAWINGS ARE SCHEMATIC. PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE IRRIGATION SLEEVES UNDER PAVED AREAS AND THROUGH WALLS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL SLEEVE LOCATIONS ARE TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS.
5. PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE CONDUIT RUNS, SLEEVING AND MOUNTING LOCATION FOR RAIN SENSOR AS PER SPECIFICATIONS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL RAIN SENSOR LOCATION IS TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS.
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7. UNLESS OTHERWISE INDICATED THE IRRIGATION CONTROLLER TO BE LOCATED IN BUILDING MECHANICAL ROOM AS PER SPECIFICATIONS. FOR CONTROLLER LOCATION IN MECHANICAL ROOM, SEE MECHANICAL ENGINEER'S DRAWINGS.
8. CONTRACTOR TO COORDINATE CONTROLLER CONNECTION TO ELECTRICAL SUPPLY WITH ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL ENGINEER'S DRAWINGS.
9. IRRIGATION SYSTEM TO PROVIDE FULL HEAD TO HEAD COVERAGE.

IRRIGATION LEGEND

- Spray Irrigation
- Drip Irrigation
- Irrigation Sleeving
- Water Stubout for irrigation system
- Natural Gas Connection
- Hose Bib

SUPPLYING POINT LEGEND

Supply Point	Pipe Diameter	Pressure PSI	Flow GPM	Zone
No. 9	1-1/2"	30	TBD by irrigation contractor	Drip irrigation on L9

PLAN # 67 NOV 06 2018 DP 15-708092

PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
IRRIGATION
LEVEL 9

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NORTH
SCALE 3/32" = 1'

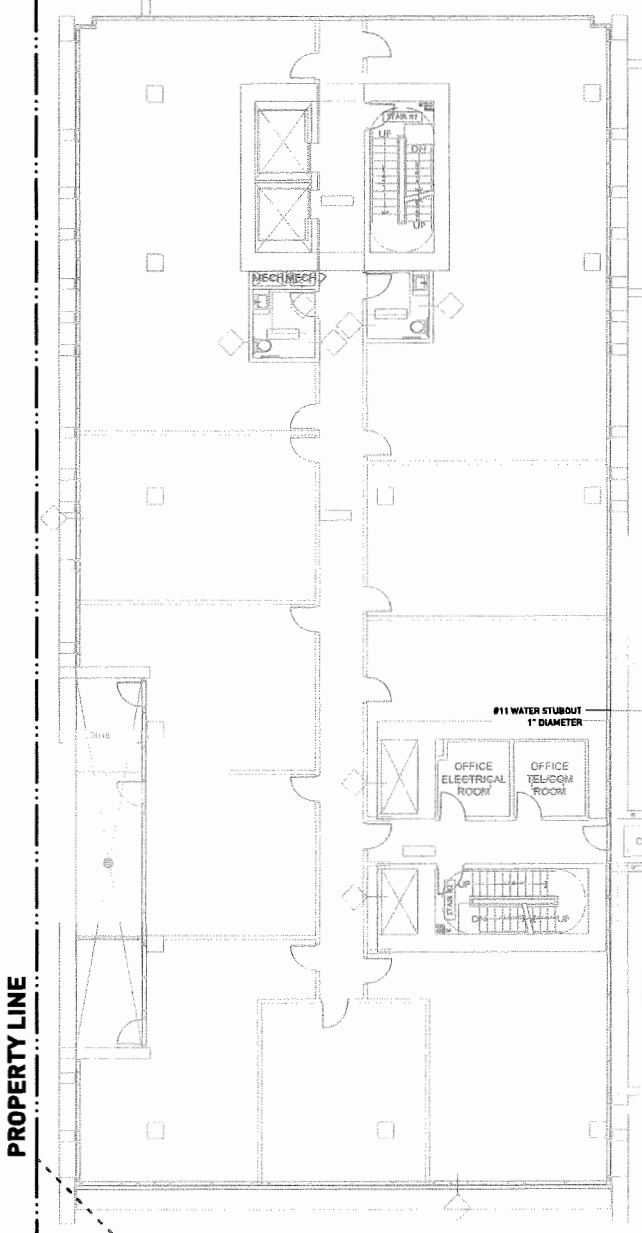
PROJECT NO. 14104
DATE
FILE NAME 17080 BP PLAN.vwz
PLOTTED 18-8-20 at 8:45:40 AM
DRAWN ZL / LC REVIEWED BB

DRAWING
L 5.06

PROPERTY LINE

OLD PROPERTY LINE

PROPERTY LINE



DESIGN BUILD IRRIGATION SYSTEM GENERAL NOTES

1. DESIGN BUILD IRRIGATION DRAWINGS TO BE READ IN CONJUNCTION WITH PLANTING PLANS. CONTRACTOR TO ENSURE THAT LAWN AREAS ARE ZONED SEPARATELY FROM OTHER PLANTED AREAS AS PER SPECIFICATIONS. LAWN AREAS ZONED WITH OTHER PLANTED AREAS WILL BE REJECTED.
2. AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED AS "DESIGN BUILD". REFER TO SPECIFICATIONS FOR DESIGN AND SUBMISSION REQUIREMENTS.
3. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR TO PROVIDE IRRIGATION DESIGN DRAWINGS FOR CONSULTANT REVIEW AS PER SPECIFICATIONS. IRRIGATION INSTALLED PRIOR TO THE REVIEW OF DESIGN BUILD DRAWINGS BY THE CONSULTANT WILL BE REJECTED.
4. LOCATION OF IRRIGATION SLEEVES NOTED ON LANDSCAPE DRAWINGS ARE SCHEMATIC. PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE IRRIGATION SLEEVES UNDER PAVED AREAS AND THROUGH WALLS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL SLEEVE LOCATIONS ARE TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS.
5. PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE CONDUIT RUNS, SLEEVING AND MOUNTING LOCATION FOR RAIN SENSOR AS PER SPECIFICATIONS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL RAIN SENSOR LOCATION IS TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS.
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8. CONTRACTOR TO COORDINATE CONTROLLER CONNECTION TO ELECTRICAL SUPPLY WITH ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL ENGINEER'S DRAWINGS.
9. IRRIGATION SYSTEM TO PROVIDE FULL HEAD TO HEAD COVERAGE.

IRRIGATION LEGEND

- Spray Irrigation
- Drip Irrigation
- Irrigation Sleeving
- Water Stubout for irrigation system
- Natural Gas Connection
- HB Hose Bib

SUPPLYING POINT LEGEND

Supply Point	Pipe Diameter	Pressure PSI	Flow GPM	Zone
No. 10	1-1/2"	30	TBD by irrigation contractor	Drip irrigation on L11
No. 11	1"	50	TBD by irrigation contractor	Spray irrigation on L11

PLAN # 68

NOV 0 6 2018

DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

IRRIGATION
LEVEL 11

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NORTH

SCALE 3/32" = 1'

PROJECT NO. 14104

DATE

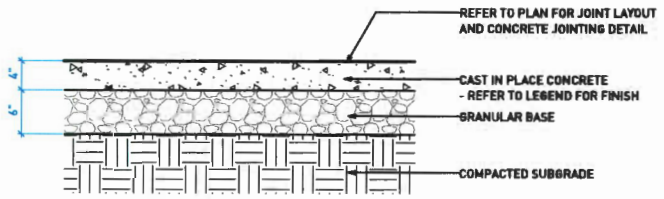
FILE NAME 17080 BP PLAN.vwx

PLOTTED 18-9-20 at 8:45:40 AM

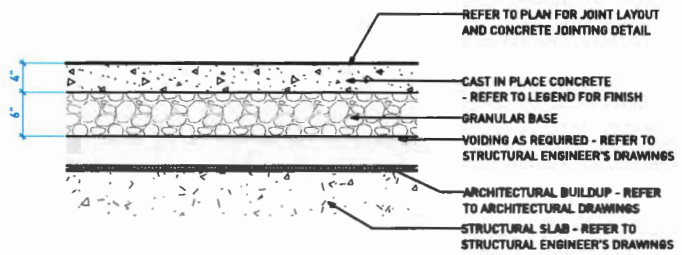
DRAWN ZL / LC REVIEWED GB

DRAWING

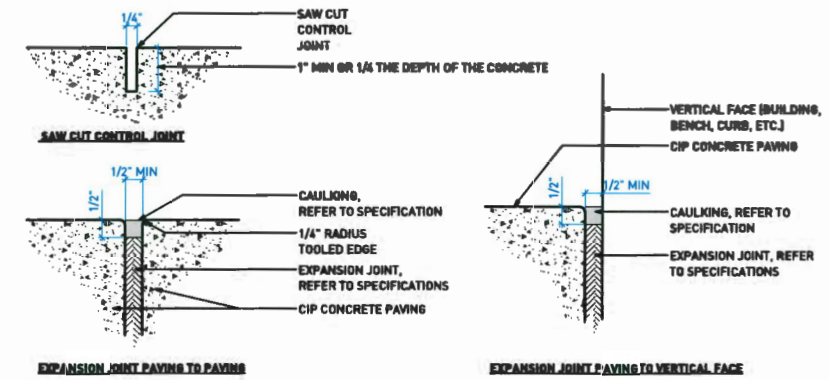
L 5.07



1 CAST IN PLACE CONCRETE ON GRADE LIGHT DUTY
Scale: 1" = 1'-0"



2 CAST IN PLACE CONCRETE ON SLAB: LIGHT DUTY
Scale: 1" = 1'-0"



3 CONCRETE JOINTING
Scale: 6"=1'-0"

PWL partnership

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100 EMPEROR AVENUE
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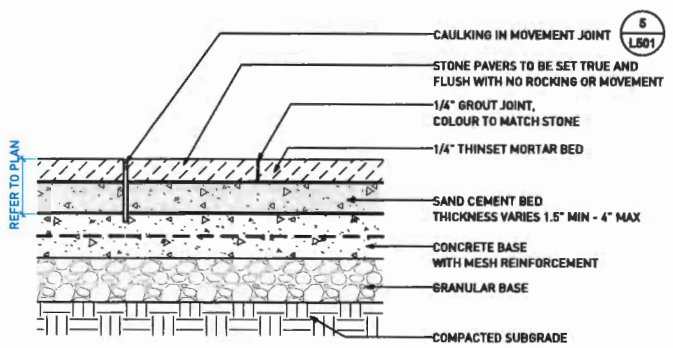
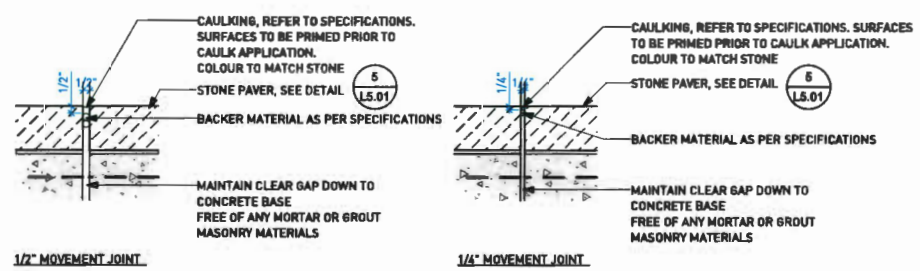
FAX: 204 783 5234

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	17-12-1	Issued for Building Permit
2	18-09-18	Revised RZ/DP



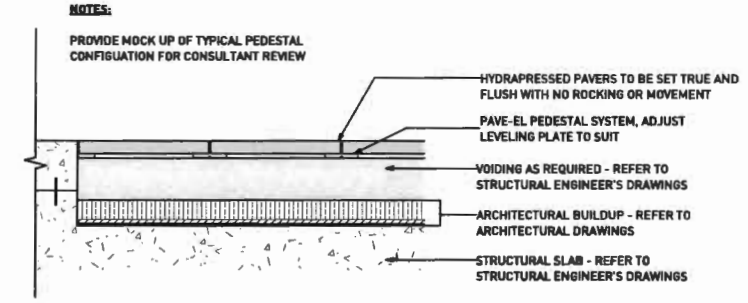
4 STONE PAVER ON SAND CEMENT BED ON GRADE
Scale: 1" = 1'-0"



5 STONE PAVER MOVEMENT JOINT
Scale: 2"-1'-0"

NOTES:

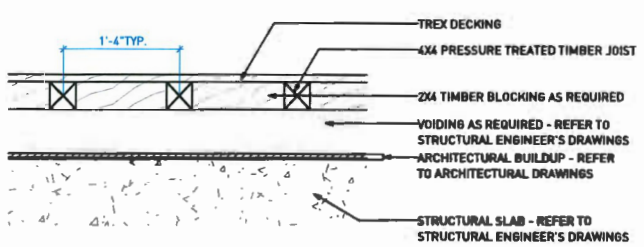
PROVIDE MOCK UP OF TYPICAL PEDESTAL CONFIGUATION FOR CONSULTANT REVIEW



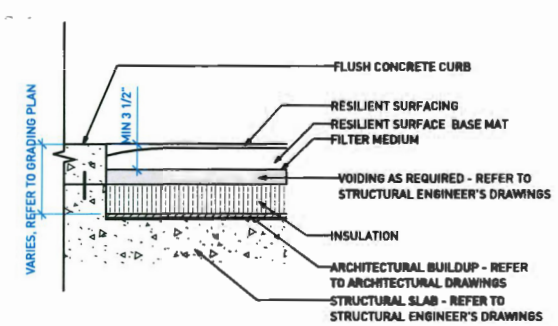
6 HYDRAPRESSED SLAB PAVERS ON SLAB
Scale: 1" = 1'-0"

NOTE:

CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR TREX DECK STRUCUTRE TO CONSULTANT FOR REVIEW, PRIOR TO INSTALLATION

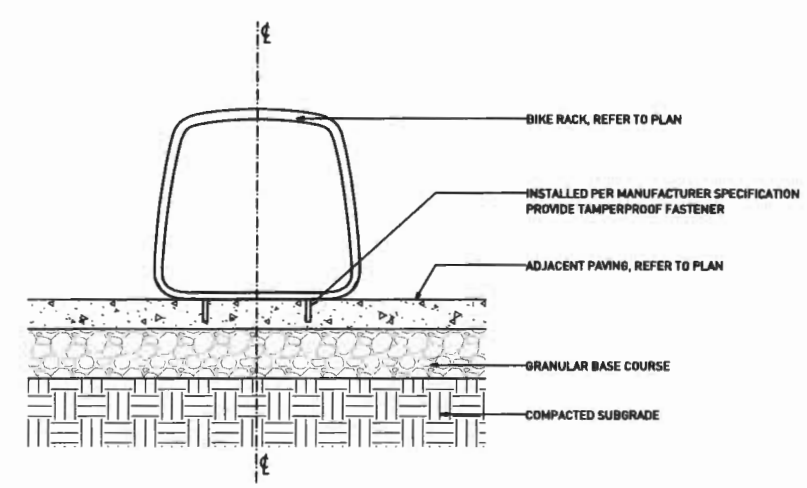


7 TREX DECKING
Scale: 1" = 1'-0"



NOTES:
1. SEE LEGEND FOR PLAY SURFACE MANUFACTURER
2. REFER TO MANUFACTURE'S SPECIFICATIONS REGARDING INSTALLATION
3. CONTRACTOR TO PROVIDE COLOUR SAMPLES TO CONSULTANT FOR APPROVAL PRIOR TO INSTALLATION

8 PERMEABLE RESILIENT PAVING AND FLUSH CONCRETE CURB
Scale: 1" = 1'-0"



9 BIKE RACK ON CONCRETE PAVING
Scale: 1"=1'-0"

PLAN #69

NOV 06 2018

DP 15-708092

PROJECT
IFORTUNE CENTER ANDERSON ROAD

DRAWING TITLE
LANDSCAPE DETAILS

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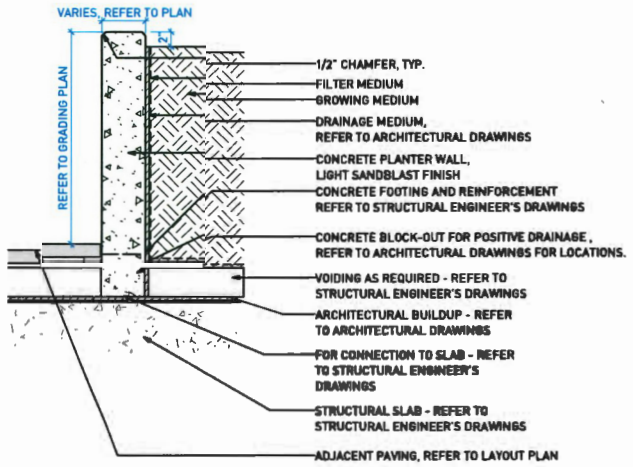
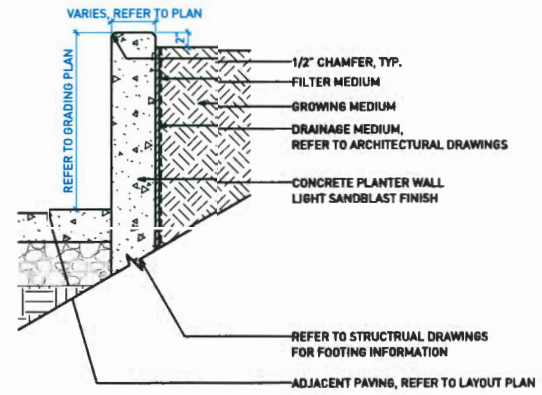
NORTH	SCALE
	AS SHOWN

PROJECT NO.	14104
DATE	MARCH 2017
FILE NAME	17080 Details.vwx
PLOTTED	18-9-20
DRAWN	LC/EL
REVIEWED	GB

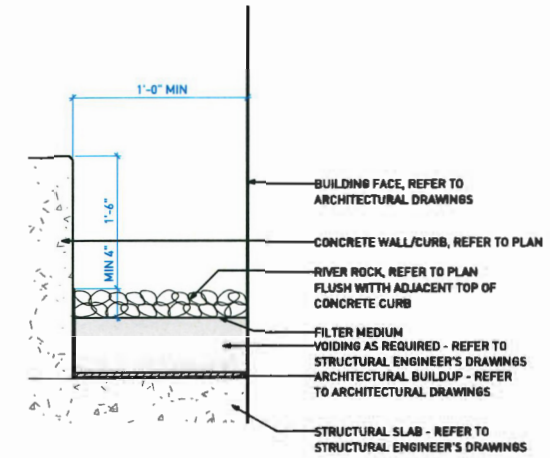
DRAWING
L 6.01



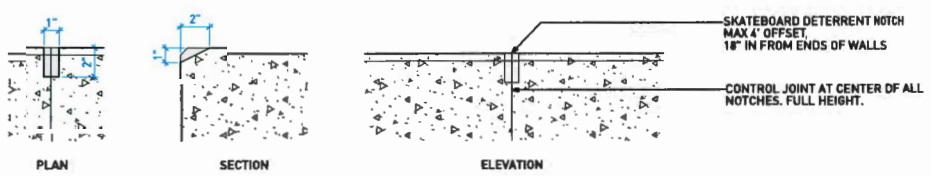
1 CAST IN PLACE CONCRETE WALL/CURB ON SLAB
Scale: 1" = 1'-0"



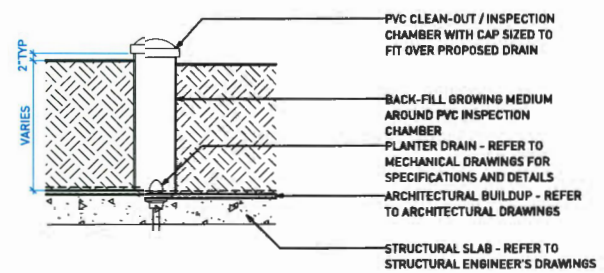
2 CAST IN PLACE CONCRETE WALL ON GRADE
Scale: 1" = 1'-0"



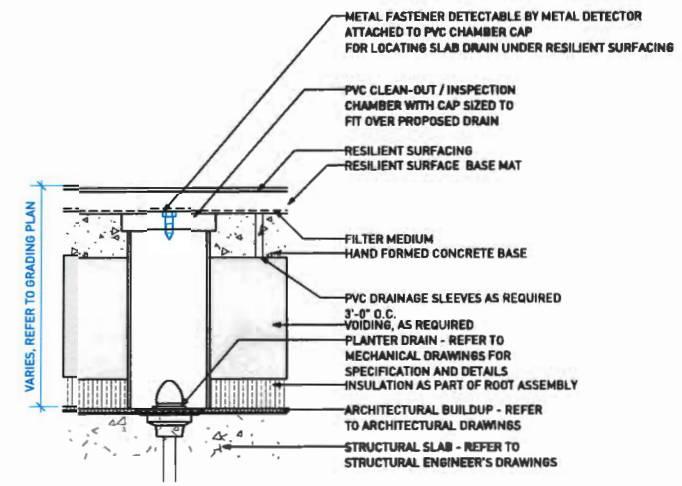
3 MAINTENANCE STRIP
Scale: 1" = 1'-0"



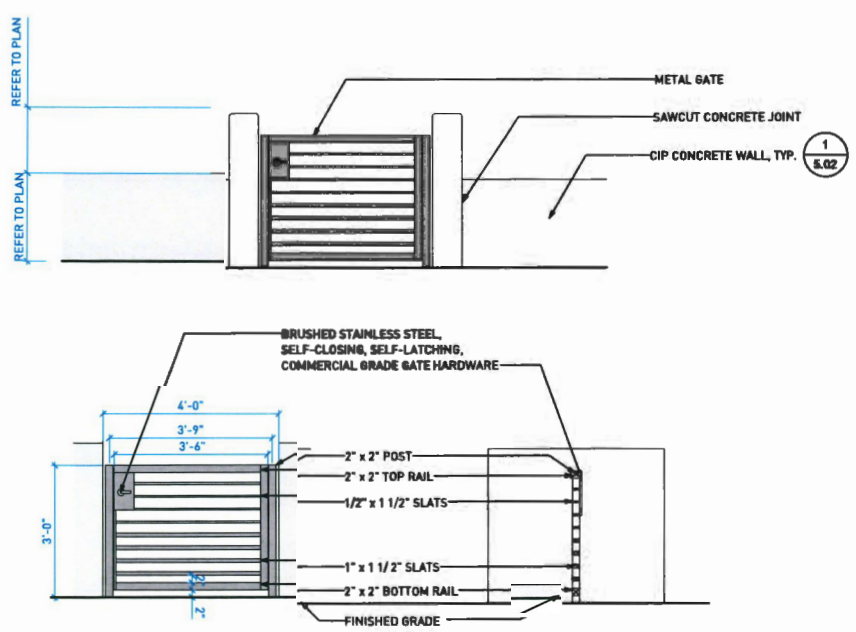
4 ANTI SKATEBOARD REVEAL ON CONCRETE WALL ALONG ANDERSON ROAD
Scale: 2" = 1'-0"



5 PLANTER DRAIN CLEAN-OUT
Scale: 1/2" = 1'-0"



6 SLAB DRAIN CLEAN OUT AT RESILIENT SURFACE
Scale: 1" = 1'-0"



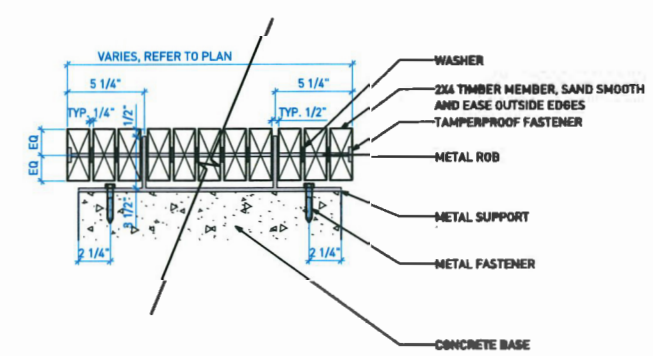
NOTES:

1. PROVIDE SHOP DRAWINGS TO CONSULTANT FOR APPROVAL PRIOR TO FABRICATION.
2. METAL TO BE ALUMINIUM, POWDER COATED SILVER.
3. ALL WELDS TO BE CONTINUOUS AND GROUND SMOOTH; NO SPOT WELDS.
4. PLANS AND DETAILS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS AND SPECIFICATIONS. REPORT ERRORS OR DISCREPANCIES TO CONSULTANT
5. BOLTED CONNECTIONS TO BE ASSEMBLED ON SITE ONLY. RECEPTORS TO BE PRE-DRILLED - NOT TO BE DRILLED ON SITE.

7 METAL GATE
Scale: 1/2" = 1'-0"

NOTES:

1. ALL TIMBER MEMBERS TO BE IPE WOOD
2. ALL FASTENERS TO BE STAINLESS STEEL UNLESS OTHERWISE SPECIFIED
3. ALL STRUCTURAL METAL COMPONENTS TO BE POWDER COATED ACCORDING TO SPECIFICATIONS UNLESS OTHERWISE NOTED, COLOUR TO MATCH ARCHITECTURAL GUARDRAIL/HANDRAIL FINISH.
4. SHOP DRAWINGS TO BE PROVIDED TO CONSULTANT AND STRUCTURAL ENGINEER TO BE SIGNED AND APPROVED PRIOR TO FABRICATION.



8 TIMBER BENCH TYPE 1 DETAIL
Scale: 2" = 1'-0"

PLAN #70 NOV 06 2018 DP 15-708092

PWL partnership

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GBL ARCHITECTS INC
VANCOUVER BC Canada V6E 4B5
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FAX 604 736 8894

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	17-12-1	Issued for Building Permit
2	18-08-18	Revised RZ/DP

PROJECT
IFORTUNE CENTER
ANDERSON ROAD

DRAWING TITLE
LANDSCAPE DETAILS

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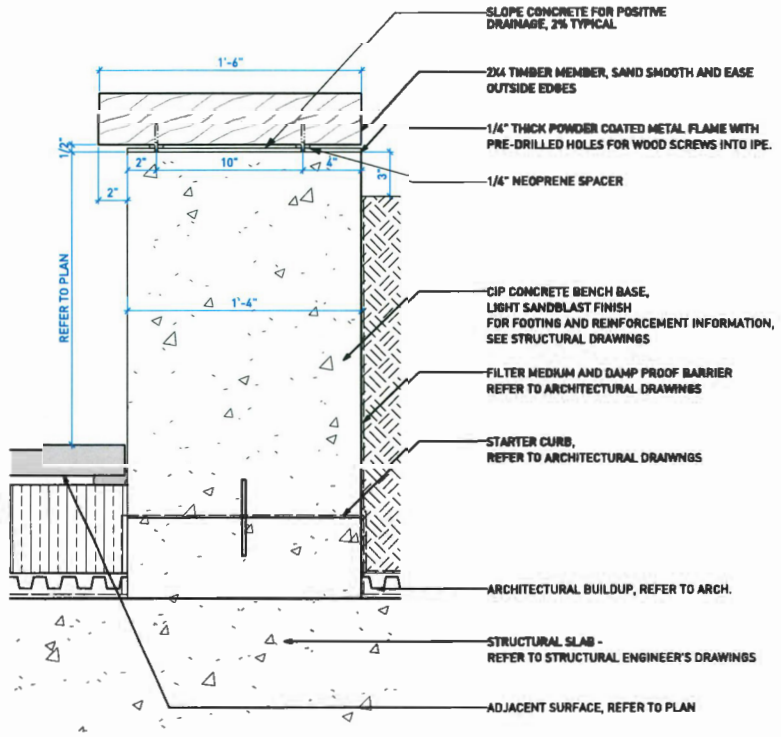
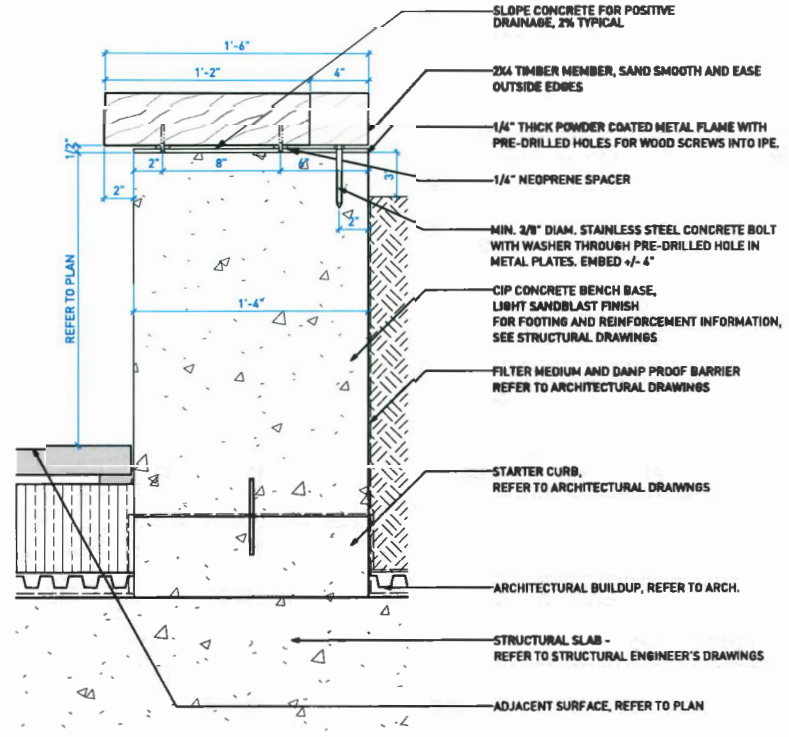
NORTH
SCALE AS SHOWN

PROJECT NO.	14104
DATE	MARCH 2017
FILE NAME	17080 Details.rwx
PLOTTED	18-8-20
DRAWN	LC/ZL REVIEWED GB

DRAWING
L 6.02



TYPICAL SECTION



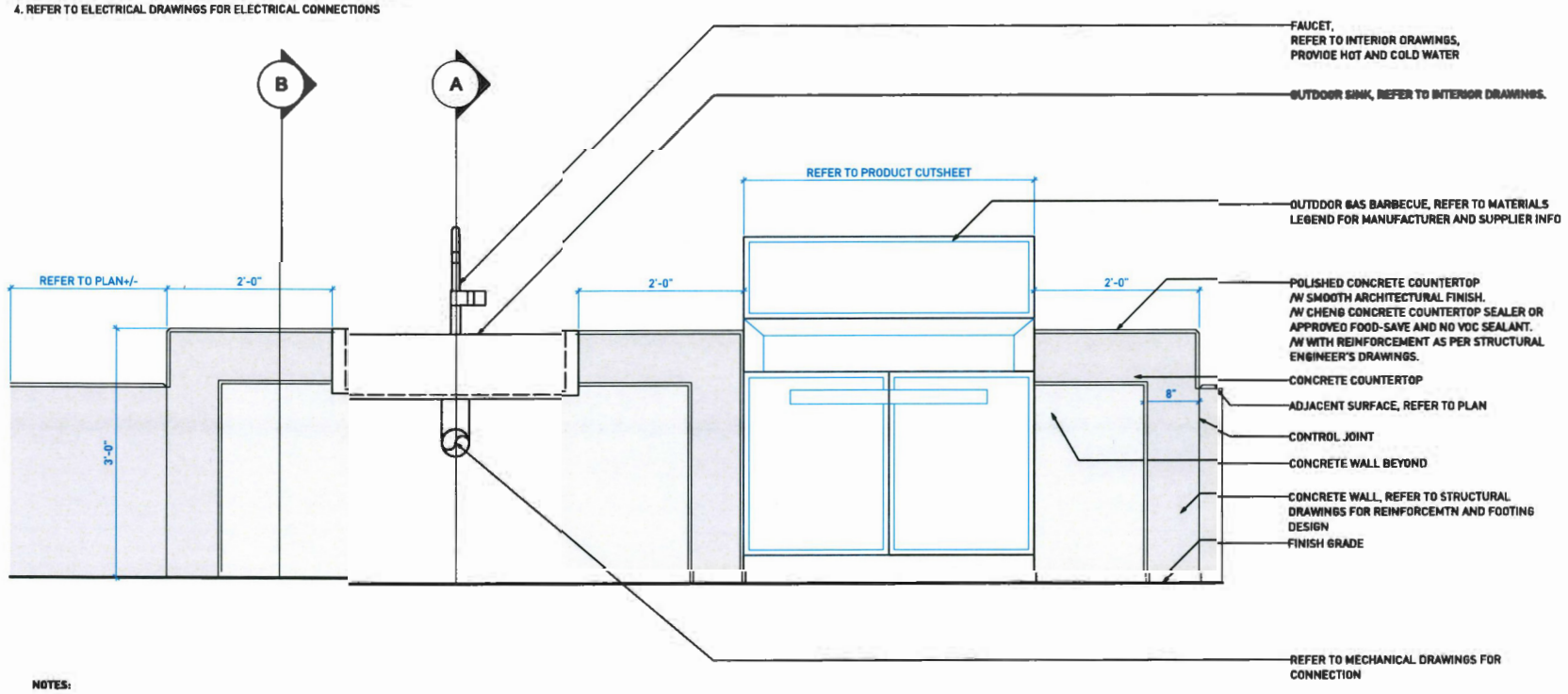
SECTION THROUGH FASTENER TO CONCRETE BASE

1 TIMBER BENCH TYPE 2 DETAIL

Scale: 2" = 1'-0"

GENERAL NOTES:

1. PROVIDE HOT AND COOL WATER FOR SINK, REFER TO MECHANICAL DRAWINGS
2. PROVIDE OUTDOOR SINK SHOP DRAWINGS FOR CONSULTANT REVIEW PRIOR TO CONSTRUCTION
3. REFER TO MECHANICAL DRAWINGS FOR GAS AND WATER CONNECTIONS
4. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL CONNECTIONS



NOTES:

CONTRACTOR TO VERIFY BBQ AND SINK SELECTION DIMENSIONS PRIOR TO INSTALLATION

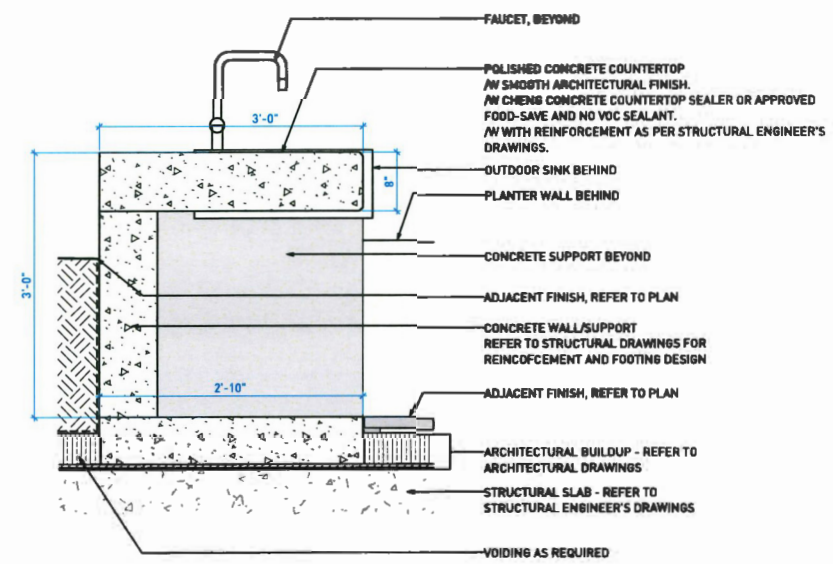
ELEVATION

2 BBQ COUNTERTOP

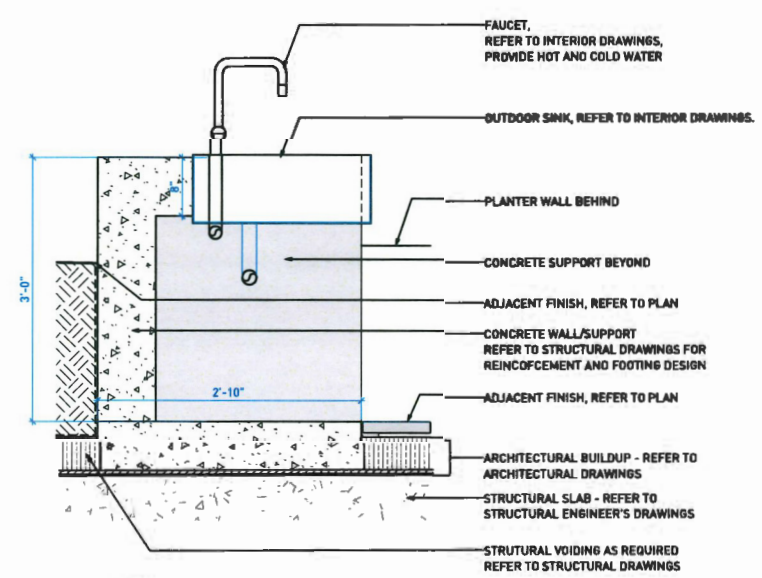
Scale: 1"=1'-0"

NOTES:

1. ALL TIMBER MEMBERS TO BE IPE WOOD
2. ALL FASTENERS TO BE STAINLESS STEEL UNLESS OTHERWISE SPECIFIED
3. ALL STRUCTURAL METAL COMPONENTS TO BE POWDER COATED ACCORDING TO SPECIFICATIONS UNLESS OTHERWISE NOTED, COLOUR TO MATCH ARCHITECTURAL GUARDRAIL/HANDRAIL FINISH.
4. SHOP DRAWINGS TO BE PROVIDED TO CONSULTANT AND STRUCTURAL ENGINEER TO BE SIGNED AND APPROVED PRIOR TO FABRICATION.



SECTION B



SECTION A

PLAN # 71

NOV 0 6 2018

DP 15-708092

PWL partnership

PWL Partnership Landscape Architects Inc
5th Floor, East Asiatic House
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FAX 604 689 7311

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	17-12-1	Issued for Building Permit
2	18-08-18	Revised RZ/DP

PROJECT

IFORTUNE CENTER ANDERSON ROAD

DRAWING TITLE

LANDSCAPE DETAILS

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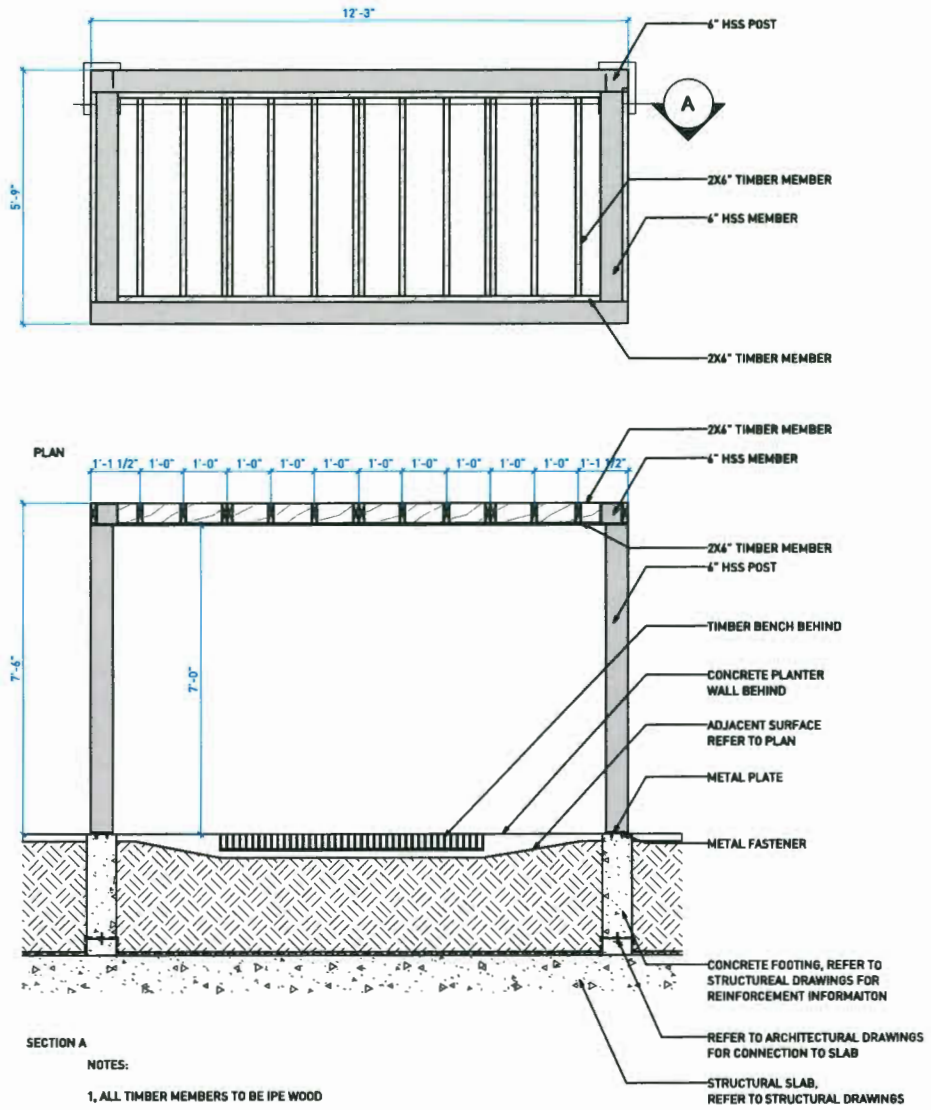
NORTH

SCALE: AS SHOWN

PROJECT NO.	14184
DATE	MARCH 2017
FILE NAME	17080 Details.vwx
PLOTTED	18-8-20
DRAWN	LC/GL
REVIEWED	GB

DRAWING

L 6.03



NOTES:

1, ALL TIMBER MEMBERS TO BE IPE WOOD

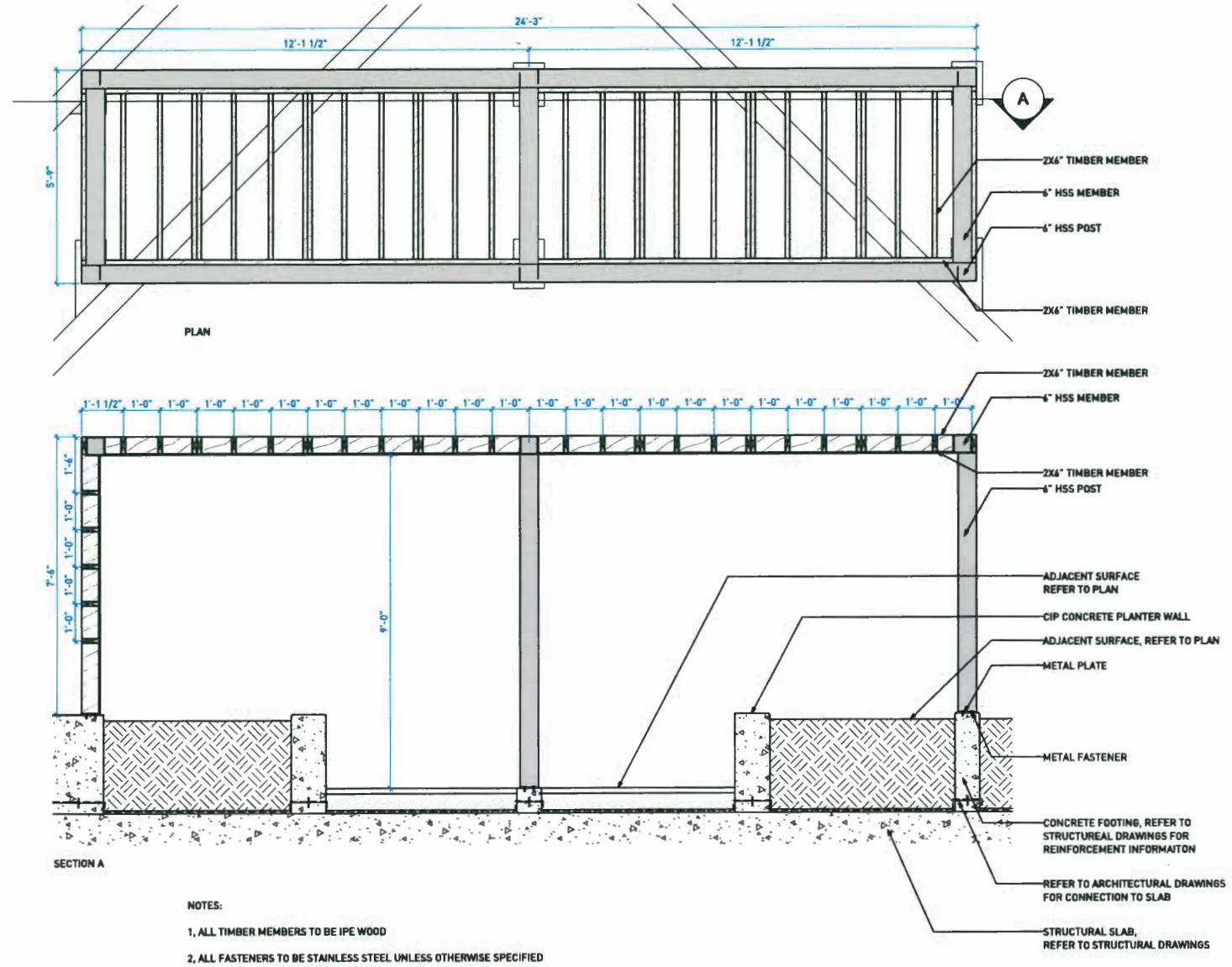
2, ALL FASTENERS TO BE STAINLESS STEEL UNLESS OTHERWISE SPECIFIED

3, ALL STRUCTURAL METAL COMPONENTS TO BE POWDER COATED ALUMINIUM ACCORDING TO SPECIFICATIONS UNLESS OTHERWISE NOTED, COLOUR TO MATCH ARCHITECTURAL GUARDRAIL/HANDRAIL FINISH.

4, ENGINEERED SHOP DRAWINGS TO BE PROVIDED TO CONSULTANT AND STRUCTURAL ENGINEER TO BE SIGNED AND APPROVED PRIOR TO FABRICATION.

1 TRELLIS STRUCTURE TYPE 1 ON LEVEL 11

Scale: 1/2" = 1'-0"



NOTES:

1, ALL TIMBER MEMBERS TO BE IPE WOOD

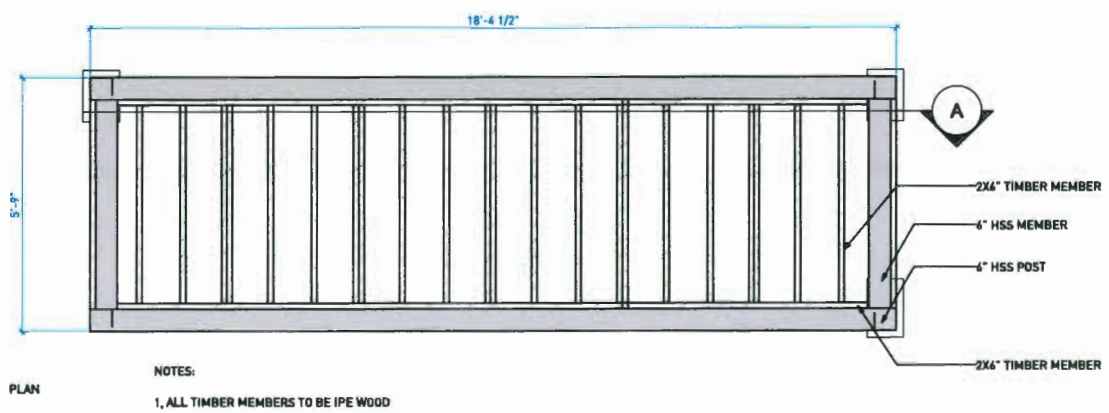
2, ALL FASTENERS TO BE STAINLESS STEEL UNLESS OTHERWISE SPECIFIED

3, ALL STRUCTURAL METAL COMPONENTS TO BE POWDER COATED ALUMINIUM ACCORDING TO SPECIFICATIONS UNLESS OTHERWISE NOTED, COLOUR TO MATCH ARCHITECTURAL GUARDRAIL/HANDRAIL FINISH.

4, ENGINEERED SHOP DRAWINGS TO BE PROVIDED TO CONSULTANT AND STRUCTURAL ENGINEER TO BE SIGNED AND APPROVED PRIOR TO FABRICATION.

2 TRELLIS STRUCTURE TYPE 2 ON LEVEL 6

Scale: 1/2" = 1'-0"



NOTES:

1, ALL TIMBER MEMBERS TO BE IPE WOOD

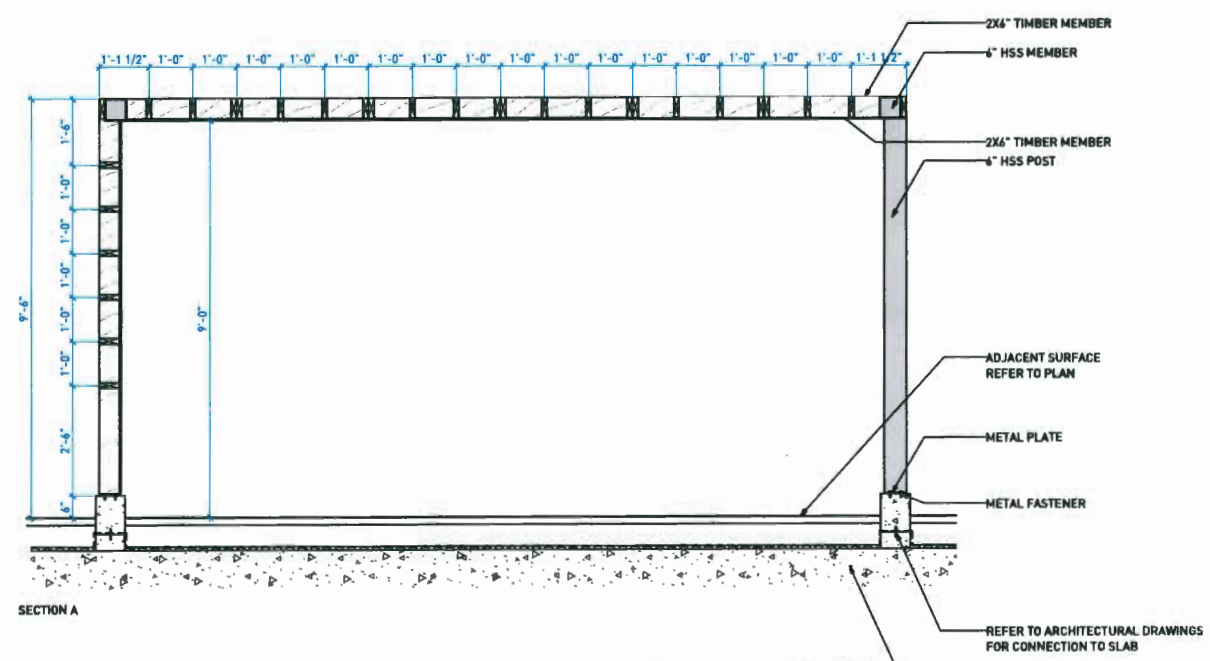
2, ALL FASTENERS TO BE STAINLESS STEEL UNLESS OTHERWISE SPECIFIED

3, ALL STRUCTURAL METAL COMPONENTS TO BE POWDER COATED ALUMINIUM ACCORDING TO SPECIFICATIONS UNLESS OTHERWISE NOTED, COLOUR TO MATCH ARCHITECTURAL GUARDRAIL/HANDRAIL FINISH.

4, ENGINEERED SHOP DRAWINGS TO BE PROVIDED TO CONSULTANT AND STRUCTURAL ENGINEER TO BE SIGNED AND APPROVED PRIOR TO FABRICATION.

3 TRELLIS STRUCTURE TYPE 1 ON LEVEL 4

Scale: 1/2" = 1'-0"



PLAN 972 NOV 0 6 2018 DP 15-708092

PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	17-12-1	Issued for Building Permit
3	18-09-18	Revised RZ/DP

PROJECT

IFORTUNE CENTER
ANDERSON ROAD

DRAWING TITLE

LANDSCAPE DETAIL

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NORTH

SCALE: AS SHOWN

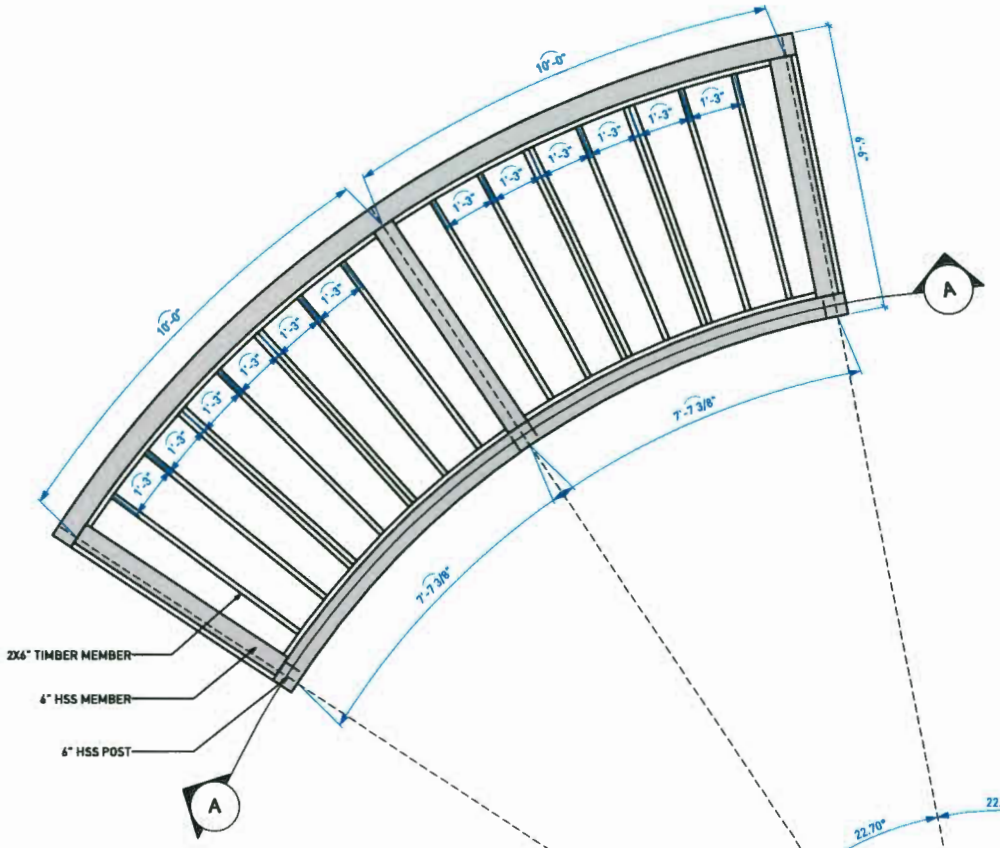
PROJECT NO.	14104
DATE	MARCH 2017
FILE NAME	17080 Details.vwx
PLOTTED	18-9-20
DRAWN	LC/ZL
REVIEWED	GB

DRAWING

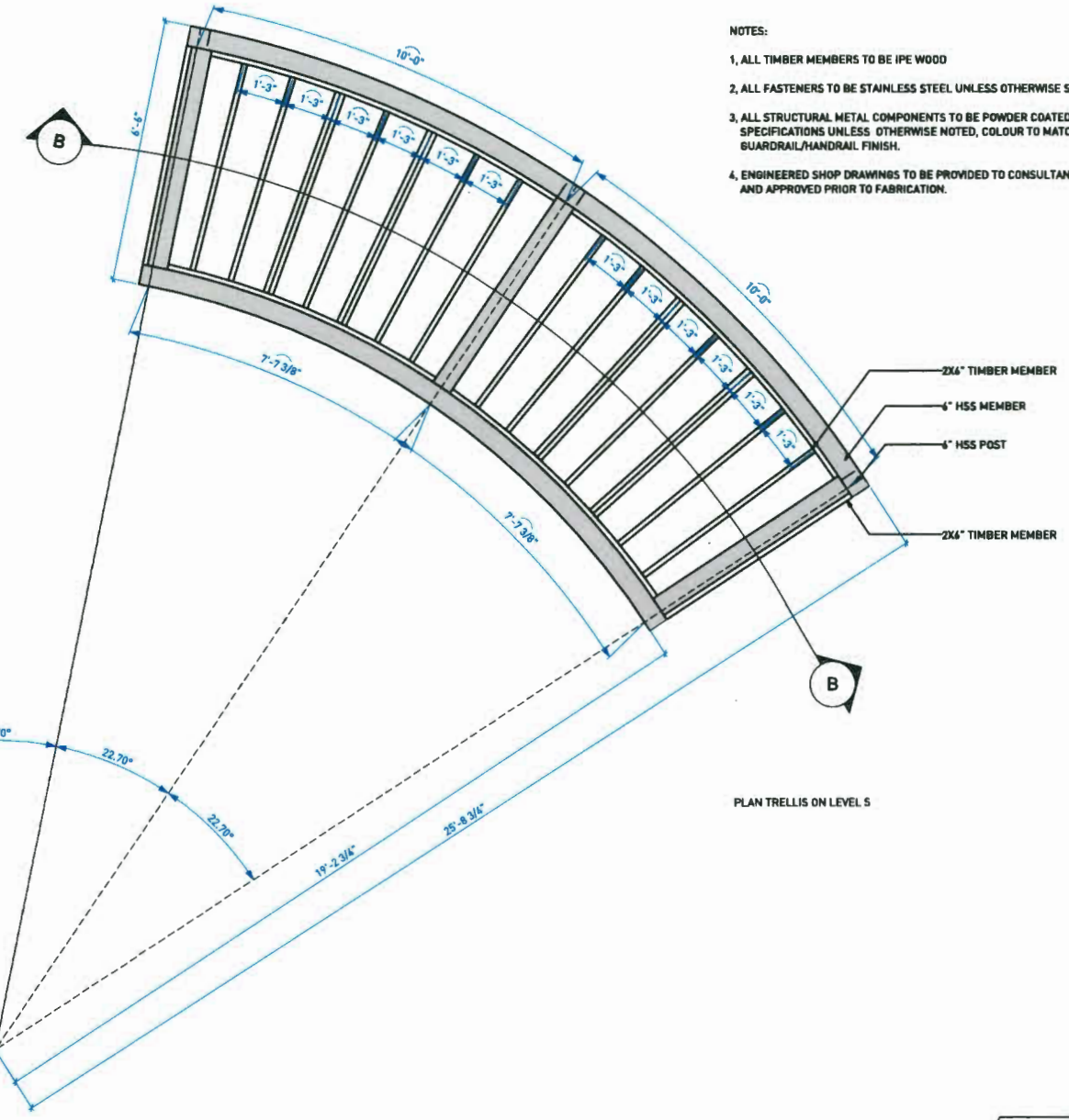
L 6.04

NOTES:

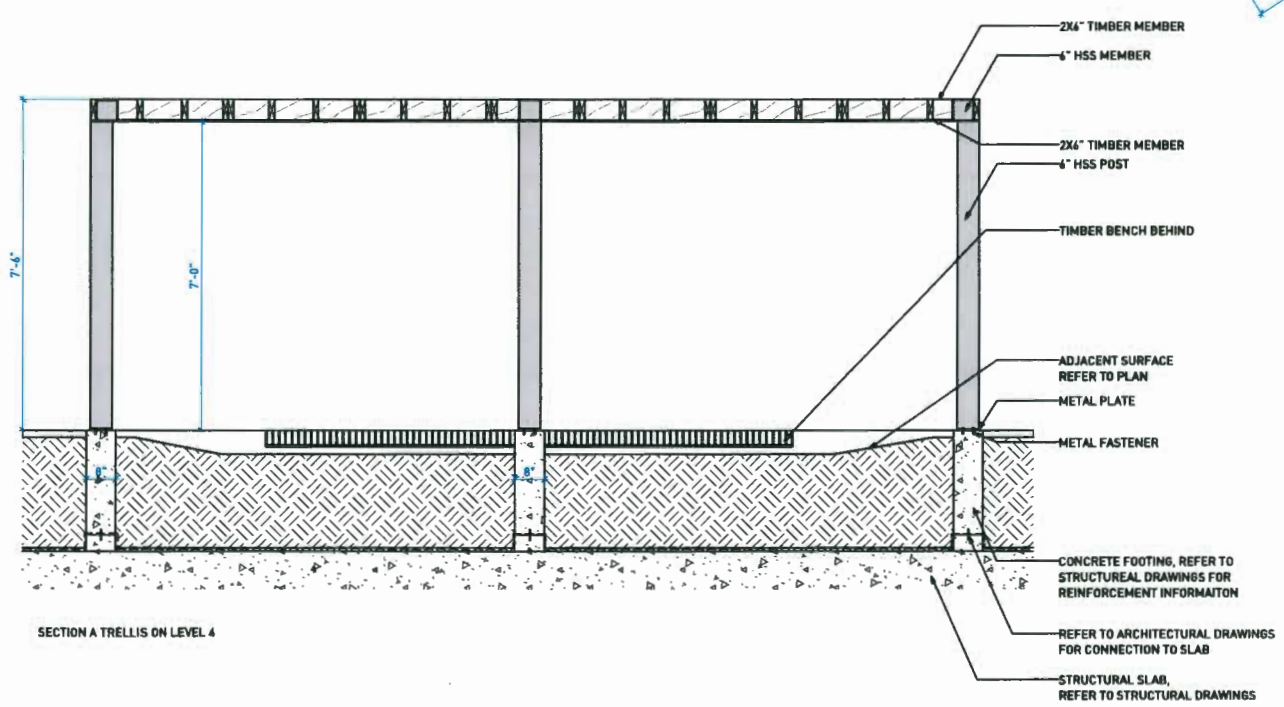
1. ALL TIMBER MEMBERS TO BE IPE WOOD
2. ALL FASTENERS TO BE STAINLESS STEEL UNLESS OTHERWISE SPECIFIED
3. ALL STRUCTURAL METAL COMPONENTS TO BE POWDER COATED ALUMINIUM ACCORDING TO SPECIFICATIONS UNLESS OTHERWISE NOTED, COLOUR TO MATCH ARCHITECTURAL GUARDRAIL/HANDRAIL FINISH.
4. ENGINEERED SHOP DRAWINGS TO BE PROVIDED TO CONSULTANT AND STRUCTURAL ENGINEER TO BE SIGNED AND APPROVED PRIOR TO FABRICATION.



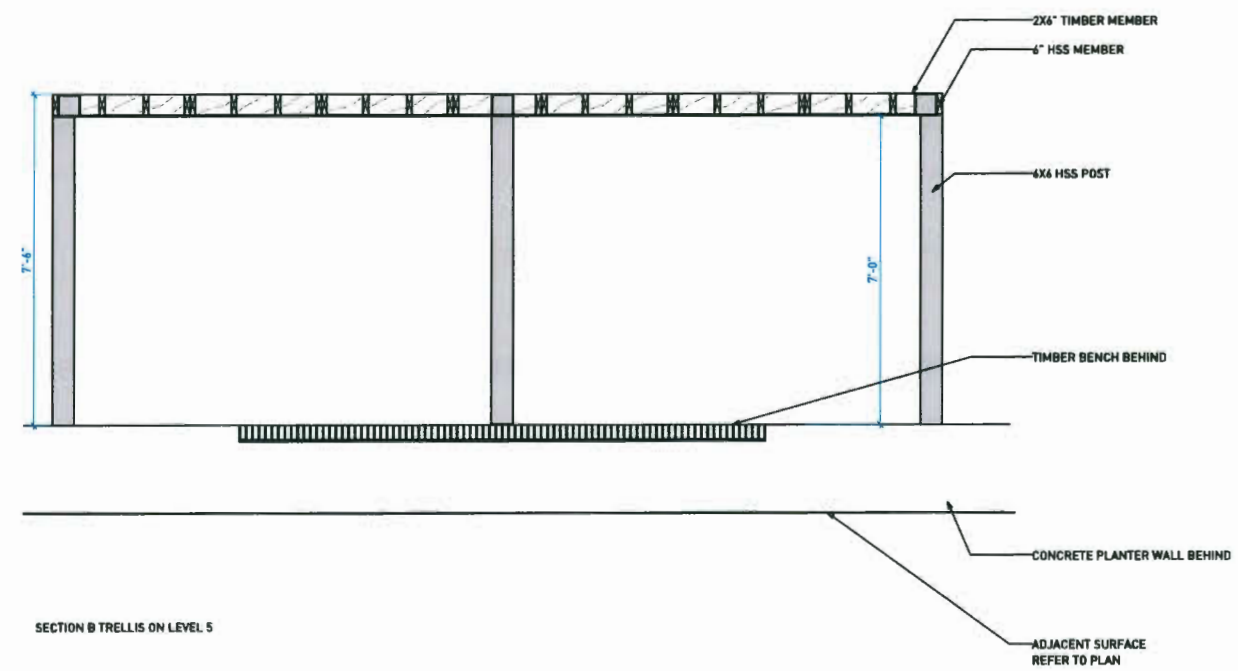
PLAN TRELLIS ON LEVEL 4



PLAN TRELLIS ON LEVEL 5



SECTION A TRELLIS ON LEVEL 4



SECTION B TRELLIS ON LEVEL 5

1 TRELLIS STRUCTURE TYPE 3 ON LEVEL 4 AND 5
Scale: 1/2" = 1'-0"

PLAN #73

NOV 0 6 2018

DP 15-708092

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	17-12-1	Issued for Building Permit
2	18-09-10	Revised RZ/DP

PROJECT
IFORTUNE CENTER
ANDERSON ROAD

DRAWING TITLE
LANDSCAPE DETAIL

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NORTH
SCALE AS SHOWN

PROJECT NO.	14104
DATE	MARCH 2017
FILE NAME	17080 Details.vwx
PLOTTED	18-9-20
DRAWN	LC/ZL
REVIEWED	GB

DRAWING
L 6.05

PROPERTY LINE

BIKE PATH

EXISTING STREET LIGHT

BUS STOP, BY OTHERS

FOR OFFSITE. REFER TO SA 16-748083

OVERHANG ABOVE

OVERHANG ABOVE

PEDESTRIAN LIGHTING. REFER TO SA 16-748083 FOR FURTHER INFORMATION

LETDOWN BY OTHERS

EXISTING STREET LIGHT

LIGHTING LEGEND
REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR FIXTURE SPECIFICATIONS AND LAYOUT

		TYPE 1 - BOLLARD LIGHT
		TYPE 2 - STEP LIGHT/WALL LIGHT
		TYPE 3 - FLUSH MOUNT ACCENT LIGHT
		TYPE 4 - LED STRIP
		TYPE 5 - OUTLET FOR SEASONAL LIGHTING
		TYPE 6 - UP LIGHT

NOTE:

1: LANDSCAPE LIGHTS FORM PART OF THE DEVELOPMENT PERMIT. ANY CHANGES IN QUANITY OR LAYOUT MAY REQUIRE A DEVELOPMENT PERMIT AMENDMENT TO BE SUBMITTED FOR CITY APPROVAL

2: FOR ALL OFF-SITE LIGHTING REFER TO SA 16-748083 FOR FURTHER INFORMATION

LOADING

LANE

LOADING

INGROUND FLUSH LIGHTING. REFER TO SA 16-748083 FOR FURTHER INFORMATION

PROPERTY LINE

FOR OFFSITE. REFER TO SA 16-748083

LET DOWN, TYP.

PLAN #74

NOV 0 6 2018

DP 15-708092

PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/09/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
LIGHTING PLAN
LEVEL 1 - FINAL

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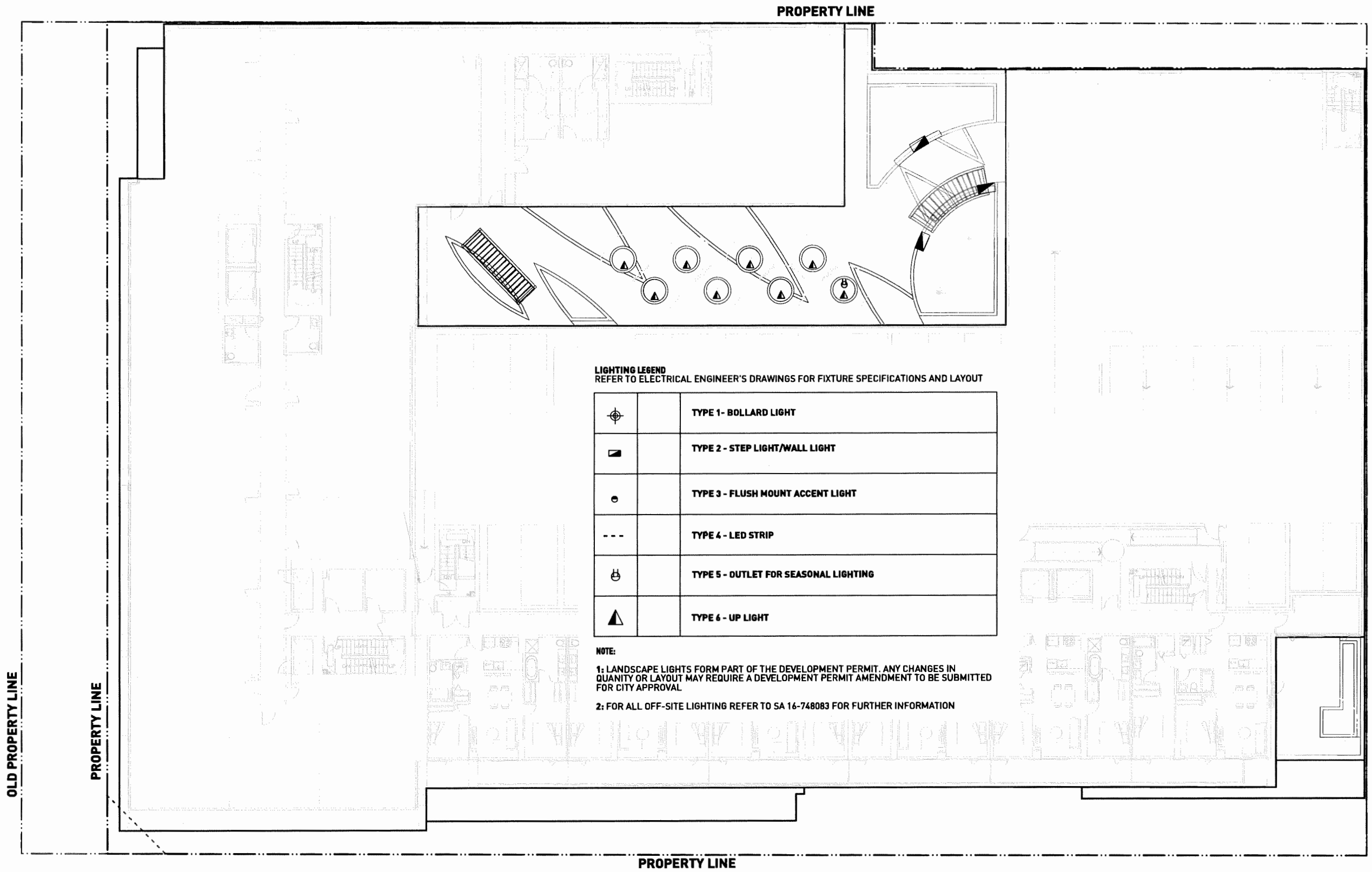
NORTH

SCALE 3/32" = 1'

PROJECT NO. 14184
DATE
FILE NAME 17080 BP PLAN.vwx
PLOTTED 18-9-20 at 11:20:15 AM
DRAWN ZL / MW REVIEWED BB
DRAWING

L 7.01



LIGHTING LEGEND
REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR FIXTURE SPECIFICATIONS AND LAYOUT

		TYPE 1- BOLLARD LIGHT
		TYPE 2 - STEP LIGHT/WALL LIGHT
		TYPE 3 - FLUSH MOUNT ACCENT LIGHT
- - -		TYPE 4 - LED STRIP
		TYPE 5 - OUTLET FOR SEASONAL LIGHTING
		TYPE 6 - UP LIGHT

NOTE:

1: LANDSCAPE LIGHTS FORM PART OF THE DEVELOPMENT PERMIT. ANY CHANGES IN QUANITY OR LAYOUT MAY REQUIRE A DEVELOPMENT PERMIT AMENDMENT TO BE SUBMITTED FOR CITY APPROVAL

2: FOR ALL OFF-SITE LIGHTING REFER TO SA 16-748083 FOR FURTHER INFORMATION

PLAN #75 NOV 06 2018 DP 15-708092

PWL partnership

PWL Partnership Landscape Architects Inc
5th Floor, East Atrium Tower
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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous insurance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
LIGHTING PLAN
LEVEL 4

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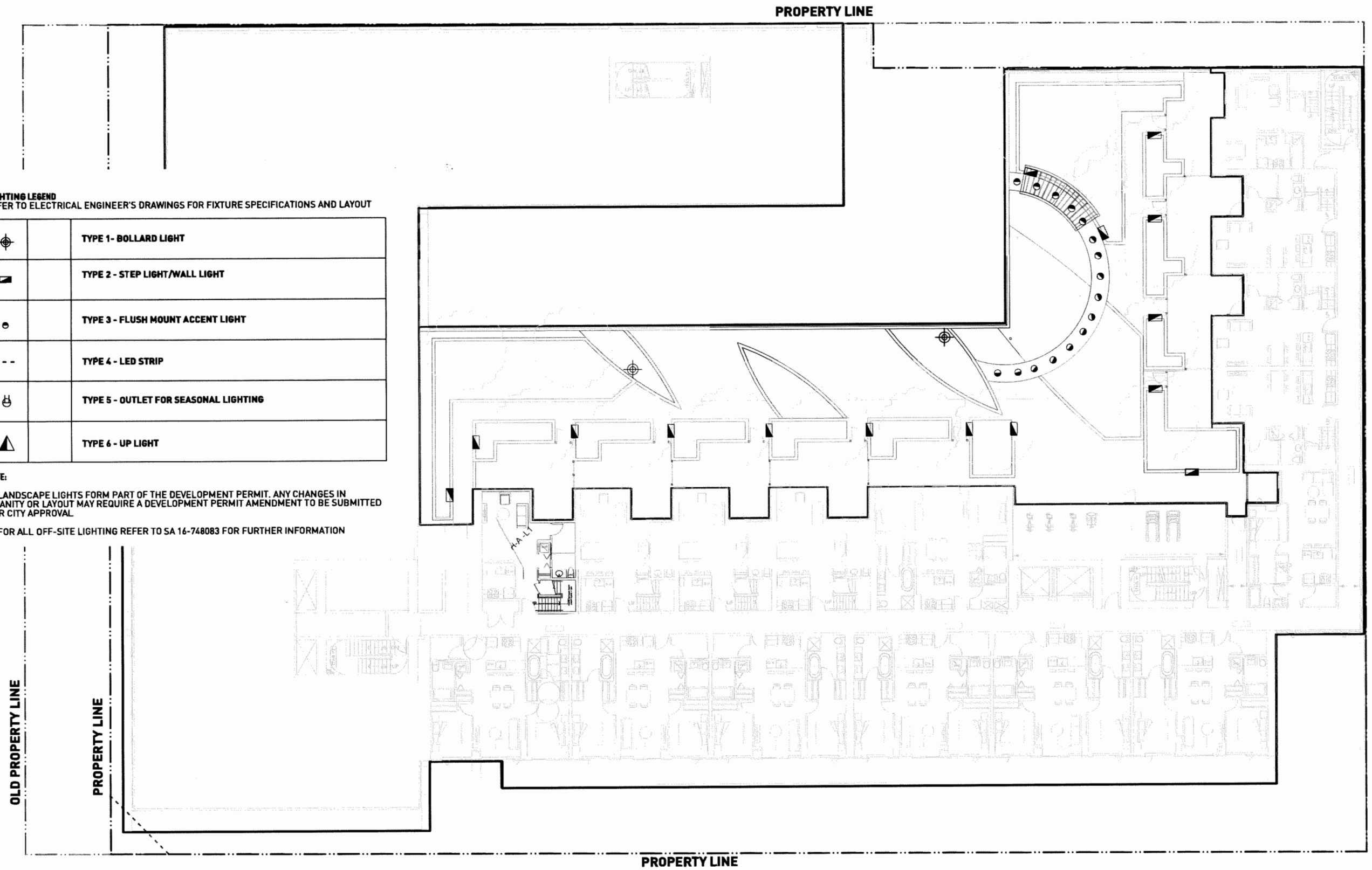
NORTH

SCALE 3/32" = 1'

PROJECT NO. 14104
DATE
FILE NAME 17080 BP PLAN.vwx
PLOTTED 18-8-20 at 10:24:59 AM
DRAWN ZL / MW REVIEWED GB

DRAWING
L 7.02



LIGHTING LEGEND
REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR FIXTURE SPECIFICATIONS AND LAYOUT

		TYPE 1- BOLLARD LIGHT
		TYPE 2 - STEP LIGHT/WALL LIGHT
		TYPE 3 - FLUSH MOUNT ACCENT LIGHT
		TYPE 4 - LED STRIP
		TYPE 5 - OUTLET FOR SEASONAL LIGHTING
		TYPE 6 - UP LIGHT

NOTE:

1: LANDSCAPE LIGHTS FORM PART OF THE DEVELOPMENT PERMIT. ANY CHANGES IN QUANITY OR LAYOUT MAY REQUIRE A DEVELOPMENT PERMIT AMENDMENT TO BE SUBMITTED FOR CITY APPROVAL

2: FOR ALL OFF-SITE LIGHTING REFER TO SA 16-748083 FOR FURTHER INFORMATION

PLAN #76

NOV 06 2018

DP 15-708092

PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	Sec 20171130 drawings for previous insurance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
LIGHTING PLAN
LEVEL 5

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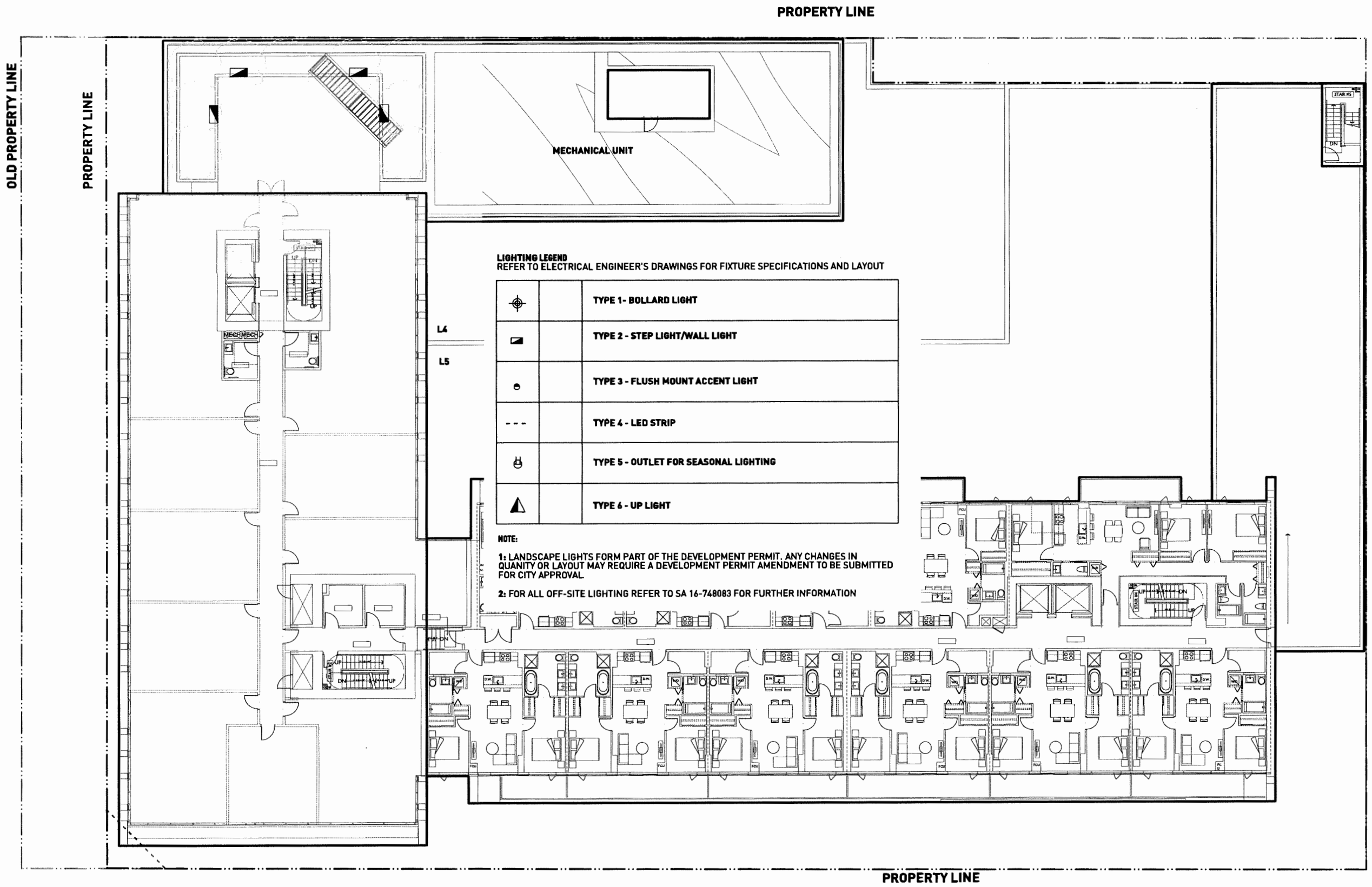
NORTH

SCALE 3/32" = 1'

PROJECT NO.	14104
DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-9-20 at 10:24:50 AM
DRAWN	ZL / MW REVIEWED GB

DRAWING
L 7.03



LIGHTING LEGEND
REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR FIXTURE SPECIFICATIONS AND LAYOUT

		TYPE 1- BOLLARD LIGHT
		TYPE 2 - STEP LIGHT/WALL LIGHT
		TYPE 3 - FLUSH MOUNT ACCENT LIGHT
- - -		TYPE 4 - LED STRIP
		TYPE 5 - OUTLET FOR SEASONAL LIGHTING
		TYPE 6 - UP LIGHT

NOTE:

1: LANDSCAPE LIGHTS FORM PART OF THE DEVELOPMENT PERMIT. ANY CHANGES IN QUANITY OR LAYOUT MAY REQUIRE A DEVELOPMENT PERMIT AMENDMENT TO BE SUBMITTED FOR CITY APPROVAL

2: FOR ALL OFF-SITE LIGHTING REFER TO SA 16-748083 FOR FURTHER INFORMATION

PWL partnership

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F 604.688.6112

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous insurance
02	2018/08/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
LIGHTING PLAN
LEVEL 6

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NORTH

SCALE 3/32" = 1'

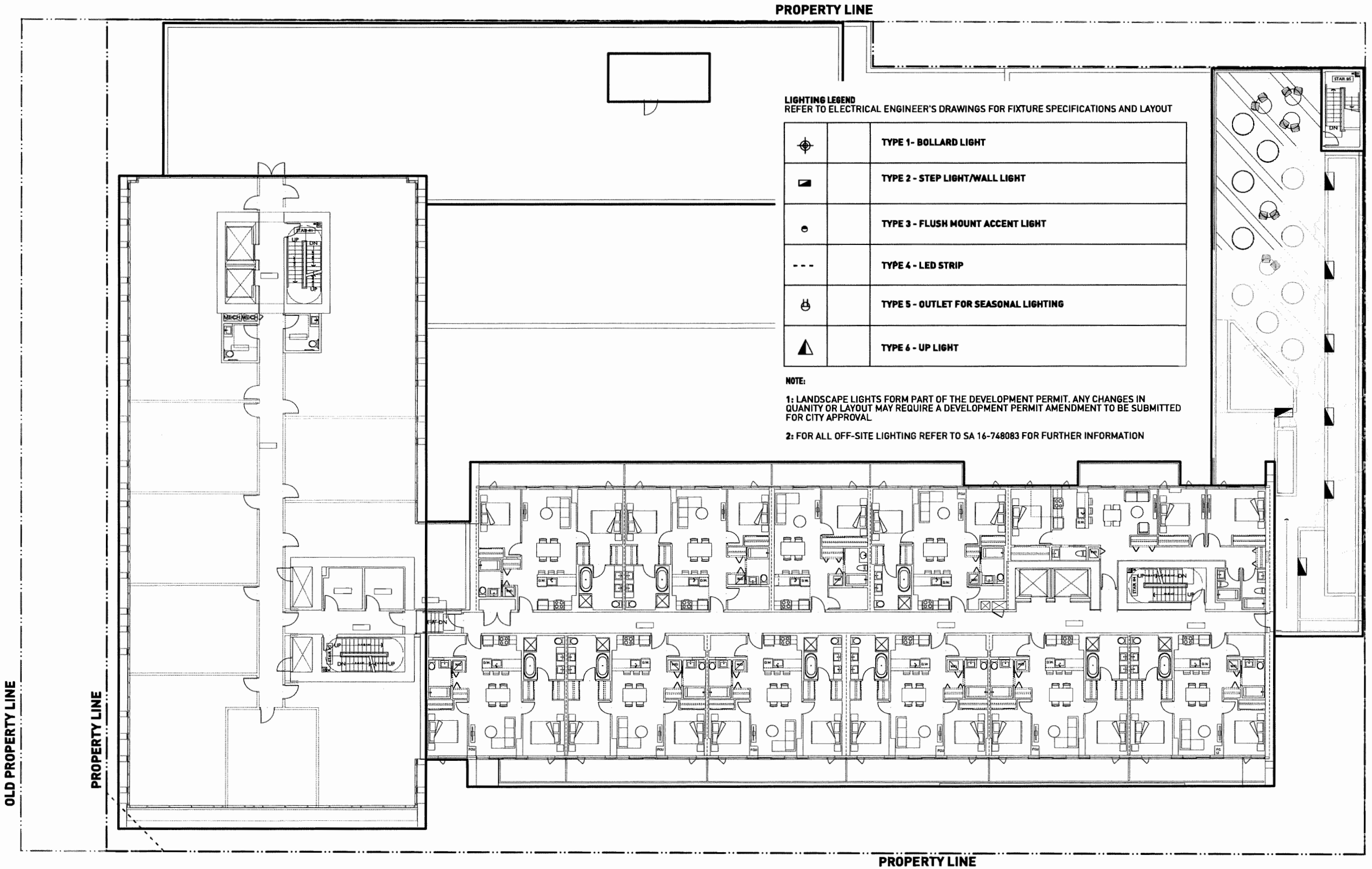
PROJECT NO. 14104
DATE
FILE NAME 17080 BP PLAN.vwx
PLOTTED 18-8-20 at 10:24:41 AM
DRAWN ZL / MW REVIEWED GB

DRAWING
L 7.04

PLAN #77

NOV 06 2018

DP 15-708092



LIGHTING LEGEND
REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR FIXTURE SPECIFICATIONS AND LAYOUT

		TYPE 1- BOLLARD LIGHT
		TYPE 2 - STEP LIGHT/WALL LIGHT
		TYPE 3 - FLUSH MOUNT ACCENT LIGHT
		TYPE 4 - LED STRIP
		TYPE 5 - OUTLET FOR SEASONAL LIGHTING
		TYPE 6 - UP LIGHT

NOTE:

1: LANDSCAPE LIGHTS FORM PART OF THE DEVELOPMENT PERMIT. ANY CHANGES IN QUANITY OR LAYOUT MAY REQUIRE A DEVELOPMENT PERMIT AMENDMENT TO BE SUBMITTED FOR CITY APPROVAL

2: FOR ALL OFF-SITE LIGHTING REFER TO SA 16-748083 FOR FURTHER INFORMATION

PLAN #78

NOV 0 6 2018

DP 15-708092

PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT
IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE
LIGHTING PLAN
LEVEL 7

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NORTH

SCALE 3/32" = 1'

PROJECT NO.	14104
DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-9-20 at 10:24:17 AM
DRAWN	ZL / MW REVIEWED GB

DRAWING
L 7.05

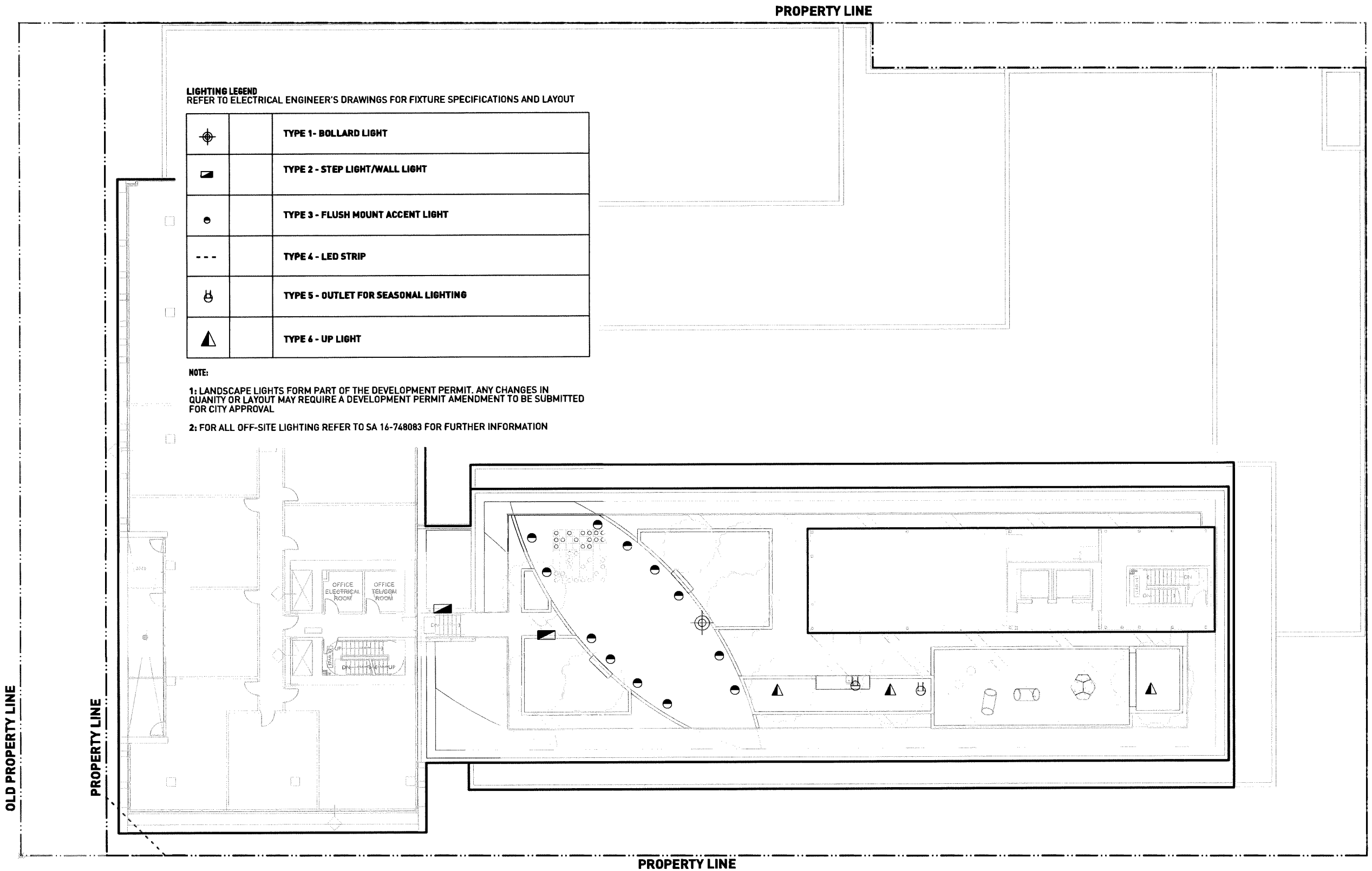
LIGHTING LEGEND
REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR FIXTURE SPECIFICATIONS AND LAYOUT

		TYPE 1- BOLLARD LIGHT
		TYPE 2 - STEP LIGHT/WALL LIGHT
		TYPE 3 - FLUSH MOUNT ACCENT LIGHT
- - -		**TYPE 4 - LED STRIP**
		TYPE 5 - OUTLET FOR SEASONAL LIGHTING
		TYPE 6 - UP LIGHT

NOTE:

1: LANDSCAPE LIGHTS FORM PART OF THE DEVELOPMENT PERMIT. ANY CHANGES IN QUANITY OR LAYOUT MAY REQUIRE A DEVELOPMENT PERMIT AMENDMENT TO BE SUBMITTED FOR CITY APPROVAL

2: FOR ALL OFF-SITE LIGHTING REFER TO SA 16-748083 FOR FURTHER INFORMATION



PLAN #79

NOV 06 2018

DP 15-708092

PWL partnership

PWL Partnership Landscape Architects Inc
5th Floor, East AdaptC House
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Vancouver BC Canada V6E 2V1

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous insurance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

LIGHTING PLAN
LEVEL 11

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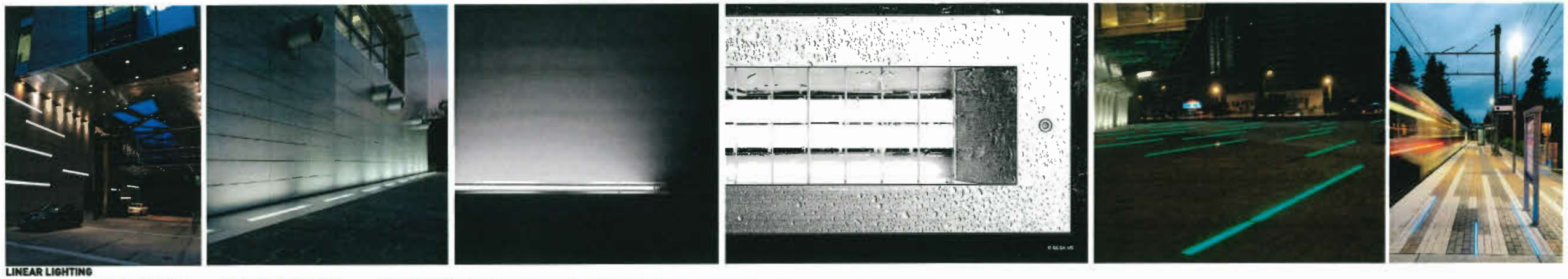
NORTH

SCALE 3/32" = 1'

PROJECT NO.	14104
DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-9-20 at 10:24:10 AM
DRAWN	ZL / MW REVIEWED SB

DRAWING

L 7.06



LINEAR LIGHTING

TRELLIS AND VINES

PLANTERS

PATHWAYS & SEATING

PWL partnership

PWL Partnership Landscape Architects Inc
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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/10	See 201711130 drawings for previous issuance
02	2018/08/10	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

PRECEDENT IMAGES

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SCALE

PROJECT NO.	14104
DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-8-30 at 10:51:06 AM
DRAWN	ZL / LC REVIEWED GB

DRAWING

L 0.03

REFERENCE PLAN

NOV 0 6 2018

DP 15-708092

PLAY SPACES

PLAY SPACES

URBAN AGRICULTURE

PLAY EQUIPMENT

BIKE RACK

BENCH

BENCH

GARDEN STORAGE

BENCH

SEATING

EXTENSIVE GREEN ROOF

EXTENSIVE GREEN ROOF

EXTENSIVE GREEN ROOF

EXTENSIVE GREEN ROOF

RESIDENTIAL PATIO

OUTDOOR FURNITURE

RESIDENTIAL PATIO

OUTDOOR LIVING ROOM

ROOF GARDEN

REFERENCE PLAN

NOV 0 6 2018

DP 15-708092

PWL partnership

PWL Partnership Landscape Architects Inc
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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2018/08/18	See 20171130 drawings for previous issuance
02	2018/09/18	Revised RZ/DP

PROJECT

IFORTUNE CENTRE
ANDERSON ROAD
8501 ANDERSON ROAD
RICHMOND, BC

DRAWING TITLE

PRECEDENT IMAGES

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SCALE

PROJECT NO.	14104
DATE	
FILE NAME	17080 BP PLAN.vwx
PLOTTED	18-9-20 at 10:51:22 AM
DRAWN	ZL / LC REVIEWED GB

DRAWING

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