



To: Development Permit Panel

Date: August 8, 2018

From: Wayne Craig
Director of Development

File: DP 17-787403

Re: **Application by Concord Pacific (Sun Tech) for a Development Permit at 8555 Capstan Way and 3400 No. 3 Road (formerly 8511 Capstan Way and 3360 No. 3 Road)**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a high-rise, high density, mixed use development comprised of 530 dwellings (including 29 affordable housing units), 3,336 m² (35,910 ft²) of retail and office, and a 1,194 m² (12,850 ft²) not-for-profit arts facility at 8555 Capstan Way and 3400 No. 3 Road (formerly 8511 Capstan Way and 3360 No. 3 Road) on lands zoned "Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) - Capstan Village (City Centre)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to allow unenclosed balconies on levels 3 to 12 of the building at the southwest corner of 8555 Capstan Way to project into the required front yard by up to 3.0 m.

Wayne Craig
Director of Development

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Att.

Staff Report

Origin

Concord Pacific (Sun Tech) has applied to the City of Richmond for permission to develop a high-rise, high density, mixed use development at 8555 Capstan Way and 3400 No. 3 Road (formerly 8511 Capstan Way and 3360 No. 3 Road) on lands zoned “Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) - Capstan Village (City Centre)” (Attachment 1).

The subject site is currently vacant, except for a temporary residential sales centre. Bylaw 9780, for rezoning of the subject site (RZ 17-769242) from “Single Detached (RS1/F)”, “Roadside Stand (CR)”, “Auto-Oriented Commercial (CA)”, and “Gas and Service Stations (CG1)” to its current zone, was adopted on July 23, 2018. Through the rezoning, the developer’s lands were subdivided to create two lots separated by a new extension of Hazelbridge Way. Development of the new lots is proposed to include a multi-family residential building on Hazelbridge Way’s east side and a mixed use building on its west side (adjacent to a neighbourhood park and the designated future location of the Capstan Canada Line Station). More specifically, the developer’s proposal includes:

1. 48,348 m² (520,418 ft²) total floor area, comprising:
 - 43,819 m² (471,658 ft²) of multi-family residential uses, including 699 m² (7,528 ft²) for affordable low-end-of-market rental (LEMR) housing (designed and constructed, at the developer’s sole cost and secured in perpetuity with a Housing Agreement); and
 - 4,530 m² (48,760 ft²) of commercial uses, including 3,336 m² (35,910 ft²) of retail and office, together with a 1,194 m² (12,850 ft²) ground floor, commercial unit for use as a privately owned and operated, not-for-profit arts facility for dance, theatre, music, visual, applied, and/or media arts and art education (designed and constructed at the developer’s sole cost and secured in perpetuity with a legal agreement on title);
2. 530 dwellings, including 501 market units and 29 LEMR units;
3. Public open space secured with statutory right-of-ways, including a transit plaza; and
4. Public art.

All off-site improvements required with respect to the subject development, as determined to the satisfaction of Engineering, Transportation, and Parks, were agreed to by the developer through the rezoning. The required works will be designed and constructed, at the developer’s sole cost, through the City’s standard Servicing Agreement processes, which shall include:

1. An initial Servicing Agreement (that the developer entered into prior to rezoning adoption) for Hazelbridge Way, other road works, utility upgrades, park, and transit plaza improvements; and
2. Subsequent Servicing Agreements (that the developer shall enter into prior to lot-by-lot Building Permit issuance) for sidewalk improvements.

No other Servicing Agreement works are required in respect to the subject Development Permit application.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject development is located in the City Centre's rapidly developing Capstan Village area, at the crossroads of No. 3 Road and Capstan Way. Development surrounding the subject site is as follows:

- To the north: A multi-phase, high-rise, high density, mixed use development (under construction), the future location of the Capstan Canada Line Station (targeted for completion in 2021), a neighbourhood park (under construction), and an Early Childhood Development (ECD) Hub (under construction);
- To the east: Existing high-rise, high density, multi-family residential developments separated from the subject site by an existing landscaped mid-block trail (secured with statutory right-of-ways on the neighbouring multi-family lots);
- To the south: Capstan Way and a low-rise, automobile-oriented commercial area designated for future high-rise, high density, mixed use development; and
- To the west: No. 3 Road and a multi-phase, high-rise, high density, mixed use development (under construction), including a City community centre targeted for completion in 2021.

Rezoning and Public Hearing Results

At the rezoning stage, staff identified design issues to be addressed through the subject Development Permit process. These issues generally focussed on the development's Canada Line interface and have been satisfactorily addressed as follows:

1. Prior to rezoning adoption, legal agreements were registered on title, including:
 - The City's standard Canada Line covenant (for noise and nuisance);
 - A covenant restricting Building Permit issuance until the City determines that TransLink's Adjacent Integrated Design (AID) objectives (for minimizing potential interference with guideway and train operations) have been reasonably satisfied; and
 - A "station integration" covenant, transit plaza statutory right-of-way, and Servicing Agreement for the developer's design and construction (at the developer's sole cost) of architectural and landscape features (above and beyond what would have otherwise been acceptable if station integration was not required) for the purpose of enhancing transit rider convenience, comfort, and security (e.g., weather protection, seating, lighting, decorative paving, temporary vendor/food truck locations, and related works within the City's neighbourhood park).

Note: The subject Development Permit includes a preliminary concept for the project's station integration features. The design of these features will be further developed, to the City's satisfaction, in coordination with TransLink's design of Capstan Station, through the City's Servicing Agreement and related transit station design review processes.
2. The Development Permit provides for transit interface features required by TransLink:
 - Below-grade parking has been set back 10 m (33 ft.) from the guideway drip line to minimize potential conflicts with the Canada Line's foundations; and

- Above-grade portions of the development have been set back a minimum of 10 m (33 ft.) from the guideway drip line to protect the guideway from falling objects and other forms of interference; and
3. As per City Centre Area Plan (CCAP) Development Permit Guidelines, residential dwellings are located at least 10 m (33 ft.) from the guideway drip line and 12 m (39 ft.) or more above finished grade (which raises them above the Canada Line trains) to reduce overlook, ambient light, and other potential livability impacts.

The Public Hearing for the rezoning of the subject site was held on January 22, 2018. At the Public Hearing, Council encouraged the developer to consider:

1. Utilizing Solar Energy: The developer has added solar panels to the west lot’s rooftop to provide for the hot water needs of the not-for-profit arts facility.
2. Increasing Family-Friendly Units: The developer has increased the project’s percentage of 3- and 4-bedroom market units from 4% (17 units) to 16% (78 units). (Note: Staff support the developer’s proposed percentage of affordable 3-bedroom units, which remains unchanged at 24% or 7 units.)

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the “Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) - Capstan Village (City Centre)”.

Through the applicant’s rezoning and related Development Permit processes, the developer has satisfied the following development requirements.

1. Affordable Housing: Prior to rezoning adoption, the developer entered into the City’s standard Housing Agreement and a Housing Covenant was registered on title to each lot to secure (in perpetuity) the developer’s commitment to design and construct (on-site, to a turnkey level of finish, and at the developer’s sole cost) 5% of the development’s residential floor area in the form of 29 affordable low-end-of-market rental (LEMR) housing units. The developer has engaged a potential non-profit operator to manage the LEMR units and, in light of input provided by the operator, staff are supportive of the developer’s proposal to cluster the units on each lot. Prior to Development Permit issuance, the existing Housing Covenants will be amended for the purpose of accurately reflecting the specifics of the Development Permit design for each lot (e.g., number, type, and size of units) .

Lot	Affordable Housing		Affordable Unit Mix*			
	Min. Floor Area	Proposed Floor Area	1-BR	2-BR	3-BR	Total
Lot 1 (East)	699 m ² (7,528 ft ²)	699 m ² (7,528 ft ²)	8	4	Nil	12
Lot 2 (West)	1,492 m ² (16,054 ft ²)	1,492 m ² (16,054 ft ²)	3	7	7	17
TOTAL	2,191 m ² (23,583 ft ²)	2,191 m ² (23,583 ft ²)	11	11	7	29

* 100% of the affordable housing units will satisfy Richmond’s Basic Universal Housing (BUH) standards.

2. Village Centre Bonus (VCB): Prior to rezoning adoption, the developer voluntarily agreed to satisfy the terms of the VCB, as set out in the ZMU25 zone, as follows:
 - Cash-in-Lieu Contribution: Payment of funds (prior to rezoning adoption) towards the City's future construction (off-site) of community amenity space (\$3,928,600); and
 - Not-for-Profit Arts Facility: Registration of legal agreements on title to secure the developer's commitment to design and construct (on the west lot, to a turnkey level of finish, and at the developer's sole cost) 10% of the development's maximum permitted VCB bonus floor area in the form of a storefront commercial unit fronting the neighbourhood park (together with parking and related uses/spaces) for the purpose of accommodating (in perpetuity) a privately owned and operated, not-for-profit arts facility, to the satisfaction of the City. In addition, as approved through the rezoning:
 - a) Prior to Development Permit issuance, the developer shall submit a lease or letter of intent with a not-for-profit arts organization, including the developer's commitment to pay for Tenant Improvements and building upgrades (e.g., enhanced mechanical, sprung floors, and large, clear-span/column-free spaces) at no cost to the tenant; and
 - b) Prior to Building Permit issuance, the detailed design of the arts facility shall be reviewed and approved by the Directors of Development and Arts, Culture and Heritage Services to ensure that it satisfies the terms of the rezoning legal agreements.
3. Public Washrooms: Prior to rezoning adoption, legal agreements were registered on title to secure (in perpetuity) the developer's commitment to design and construct (on-site, to a turnkey level of finish, and at the developer's sole cost) two publicly-accessible, privately owned and maintained washrooms along the north side of the west lot. The required facilities have been satisfactorily included in the subject Development Permit. As approved through the rezoning, prior to Development Permit issuance, construction of the washrooms shall be secured to the City's satisfaction with a letter of credit.
4. Capstan Station Bonus (CSB): Prior to rezoning adoption, the developer voluntarily agreed to satisfy the terms of the CSB, as set out in the ZMU25 zone, as follows:
 - Station Construction: Pre-payment of funds (prior to rezoning adoption) towards the future construction of Capstan Station (\$4,564,063); and
 - Public Open Space: Registration of statutory right-of-ways and the transfer of lands (fee simple) to the City to satisfy the CSB's required publicly-accessible open space contribution, which open space includes an expansion of the City-owned neighbourhood park together with the transit plaza and arts space walkway on the developer's west lot and mid-block trail on the east lot (which includes a small dog park).
5. Parking Strategy: Prior to rezoning adoption, legal agreements were registered on title to secure the developer's offer to voluntarily contribute towards various transportation-related features in compliance with Zoning Bylaw requirements for Parking Zone 1A (Capstan Village) and transportation demand management (TDM) parking reductions. The required features have been included in the proposed Development Permit design for the west lot (adjacent to Capstan Station), as follows:
 - Public (Commercial) Parking: 65% of commercial parking (97 spaces) is designated for short-term use by the general public (i.e. hourly and drop-off/pick-up spaces);
 - Car-Share: Three designated car-share parking spaces with electric vehicle (EV) charging equipment are designated on the parkade's ground floor and, prior to Development Permit

- issuance, the developer shall submit a letter of credit for \$75,000 to secure the developer's commitment to provide three car-share vehicles; and
- End-of-Trip Facilities: End-of-trip facilities are provided for the use of commercial tenants in the form of a handicapped-accessible suite of rooms (e.g., showers, change cubicles, toilets, grooming stations, and lockers) co-located with the lot's commercial Class 1 (i.e. secure) bike storage.
6. Tandem Parking: Prior to rezoning adoption, the City's standard covenant was registered on title to limit the use of tandem parking for market dwellings having exclusive use of two spaces.
 7. Electric Vehicle (EV) Charging: Prior to rezoning adoption, legal agreements were registered on title to the west lot securing the developer's commitment to equip 100% of resident parking, 10% of Class 1 (i.e. secure) bike storage, and the west lot's car-share spaces with energized outlets or charging stations, as applicable.
 8. District Energy Utility (DEU): All Capstan Village developments, including the subject development, must be designed and constructed to facilitate their connection to a future City DEU system. Prior to rezoning, legal agreements were registered on title requiring that, among other things, the developer submits an energy modelling report prior to Building Permit approval and enters into a Service Provider Agreement prior to occupancy.
 9. Public Art: Prior to rezoning adoption, legal agreements were registered on title to secure the developer's commitment to voluntarily contribute \$425,090 towards public art within the City park and/or adjacent publicly-accessible on-site open spaces (e.g., transit plaza). Prior to Development Permit issuance, the developer shall prepare a Detailed Public Art Plan, to the City's satisfaction, and submit a letter of credit to secure its implementation.
 10. Transport Canada Height Regulations: The developer has submitted a signed/sealed letter prepared by a surveyor confirming that the height of the proposed development, 47 m (154 ft.) GSC, is in compliance with Transport Canada regulations.
 11. Aircraft Noise: The OCP permits residential and other aircraft noise sensitive uses in this location, subject to specific requirements. Prior to rezoning adoption, the City's standard aircraft noise covenant was registered on title requiring that an acoustic report, prepared by a certified professional and satisfactory to the City, is submitted prior to Building Permit issuance.
 12. View Blockage and Other Development Impacts: Prior to rezoning adoption, the City's standard covenant was registered on title to notify purchasers of potential development impacts and ensure that the developer incorporates reasonable mitigation measures into the design.
 13. Flood Construction Level: Prior to rezoning adoption, the City's standard flood covenant was registered on title, requiring a minimum habitable floor level of 2.9 m (9.5 ft.) GSC or 0.3 m (1.0 ft.) above the crown of the fronting street.
 14. On-Site Tree Removal and Replacement: Through the rezoning process, Council approved the removal and 2:1 replacement of 37 bylaw-size trees, secured with a \$37,000 Letter of Credit. The required security has been submitted as part of the applicant's Tree Removal Permit (T3 18-829120) and the subject Development Permit provides for the required 74 replacement trees.
 15. Phasing: Prior to rezoning adoption, legal agreements were registered on title requiring that, on a lot-by-lot basis, prior to first occupancy of the building on each lot, the developer shall ensure

that, in addition to market residential and commercial space, specified development features are completed to the City's satisfaction generally including, but not limited to, the following:

- Affordable housing, together with all related vehicle parking, Class 1 bike storage, and residential amenity space on the lot (lot-by-lot);
- The not-for-profit arts facility, together with all related vehicle parking, Class 1 bike storage, loading, and related features (west lot only);
- Public washrooms (west lot only);
- Capstan Station integration features (west lot only);
- Indoor and outdoor residential amenity space (lot-by-lot);
- End-of-trip bike facilities for commercial tenants (west lot only);
- Car-share facilities (west lot only);
- Class 1 (residential and commercial) bike storage (lot-by-lot);
- "Public" commercial parking spaces (west lot only);
- Public art (west lot only);
- Loading and waste management facilities (lot-by-lot);
- Electric vehicle (EV) charging equipment for parking and Class 1 bike storage (lot-by-lot);
- On-site, publicly-accessible open spaces (lot-by-lot); and
- Works subject to the rezoning Servicing Agreement and the Servicing Agreement specific to each lot (lot-by-lot).

Zoning Compliance/Variances

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to allow unenclosed balconies on levels 3 to 12 of the building at the southwest corner of 8555 Capstan Way to project into the required front yard by up to 3.0 m.

Staff support the requested variance on the basis that the proposed balcony projections will be limited to one corner of the site, not interfere with public pedestrian circulation or vehicle sightlines, and enhance the streetscape.

Advisory Design Panel (ADP)

On December 14, 2017, the Advisory Design Panel supported the subject Development Permit application moving forward to the Development Permit Panel, subject to the applicant giving consideration to the ADP's comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference, together with the applicant's design response in '***bold italics***' (Attachment 3). All outstanding design issues have been resolved.

Analysis

The developer proposes to construct a high-rise, high density, mixed use development in the heart of Capstan Village, near the future Capstan Canada Line Station, a neighbourhood park, and approved community centre and Early Childhood Development (ECD) Hub. The proposed form of development, which combines articulated streetwall building elements and towers, complies with Zoning Bylaw requirements and the objectives of the CCAP's Development Permit Guidelines. More specifically, the development has successfully demonstrated:

1. A strong urban concept contributing towards a high-density, high-amenity, mixed-use, transit-oriented environment, comprising pedestrian-oriented commercial, a not-for-profit

- arts facility, office, and a variety of dwelling types (including 49% family-friendly, 2- and 3-bedroom units);
2. Variations in massing contributing towards streetscape interest, solar access to usable rooftops, and upper- and mid-level views across the site for residents and neighbours;
 3. An articulated building typology with distinctive forms and features that will contribute towards local identity, pedestrian interest, and a sense of human scale; and
 4. Sensitivity to existing neighbours, by meeting or exceeding minimum recommended tower separation guidelines (e.g., 24 m / 79 ft.) and enhancing public streets and walkways around the perimeter of the site.

Conditions of Adjacency

The subject site is located in Capstan Village, a planned high-rise, mixed use area in proximity to the Canada Line. The proposed development is designed to respect both existing and future surrounding development as follows.

1. To the East: The development responds to its existing residential neighbours by:
 - Limiting building height to 3 storeys along 50% of this frontage;
 - Ensuring that tower spacing between the subject site and its neighbours is at least 24 m (79 ft.), as per CCAP Development Guidelines;
 - Widening the existing landscaped, mid-block trail from approximately 10 m (33 ft.) to 16 m (53 ft.) (which trail widening will be privately owned and maintained, as per the statutory right-of-way registered on the title to the lot prior to rezoning adoption);
 - Providing for complementary uses in the form of townhouses and residential lobbies; and
 - Incorporating landscape features and uses that will enhance the trail's visual appeal and amenity (e.g., a paved walkway, green wall, decorative architectural façade treatments, trees, planting with seasonal colour, and a small fenced dog park for public use).
2. To the North: The development seeks to enhance the City's neighbourhood park and playground and contribute towards a high amenity public realm through:
 - Stepping down the building towards the park to reduce shading and provide a more pedestrian-scale interface;
 - Installing a broad public walkway along the face of the building (including weather protection, seating, and landscape features) to provide for a convenient public pedestrian route between Capstan Station, Hazelbridge Way, and the nearby ECD Hub (under construction);
 - Locating the proposed not-for-profit arts facility along the park-fronting public walkway and enhancing its relationship with the park by orienting its main entrance to the north, installing glazed, garage-style doors offering views and access to arts activities, mounting colourful fins on the façade above, and providing opportunities for public art and temporary art displays along the walkway; and
 - Locating two publicly-accessible (privately owned and maintained) washrooms adjacent to the arts facility, where they will have good surveillance from surrounding active uses and be convenient for people using the park and children's playground.
3. To the West: The development is set back along this frontage to:
 - Satisfy TransLink's requirements for reducing potential interference with train operations;

- Reduce potential Canada Line impacts (e.g., overlook and ambient light) on fronting office and residential occupants; and
 - Enhance transit integration with the public realm through the creation of a large, animated, public transit plaza (secured with a statutory right-of-way), including pedestrian-oriented retail, weather protection and furnishings, public art, trees and planting, special landscape features, and opportunities for seasonal vendors and food trucks.
4. To the South and Along Hazelbridge Way: Townhouse and retail frontages, together with trees, planting, street furnishings, and other landscape features, will enhance the appearance, amenity, and casual surveillance of Hazelbridge Way and the Capstan greenway; while, tower spacing across Hazelbridge Way and between the subject site and future neighbours to the south will be at least 24 m (79 ft.), as per CCAP Development Guidelines.

Urban Design and Site Planning

The proposed form of development takes advantage of the site's irregular shape and its proximity to the Canada Line, neighbourhood park, Capstan greenway, and mid-block trail to create a dynamic, high-density, urban environment that is consistent with CCAP objectives and characterized by:

1. Distinctive towers, in the form of slim slabs articulated with stepped rooflines and expressed cores, that provide for a unique identity and street definition along the curving alignment of Hazelbridge Way, Capstan Way, and the Canada Line;
2. Massing variations, in combination with accessible and inaccessible rooftop landscape treatments, that help to further break down the scale of the buildings, provide for visual interest and varied recreation opportunities, enhance upper-level views from on-site and neighbouring development, and improve daylighting of adjacent park and residential uses;
3. Underground parking that helps to hide services uses from public view, reduce the buildings' bulk, and allow for generous, landscaped, public open spaces at grade (e.g., transit plaza, arts facility walkway, and mid-block trail);
4. Continuous, pedestrian-oriented retail, arts facility, and residential frontages that will contribute towards local livability, complement transit operations, enhance public enjoyment of adjacent park and open space amenities, and help support a lively public realm; and
5. Maximum tower heights that comply with Transport Canada requirements (i.e. 47 m / 154 ft. GSC) and minimum habitable floor elevations that comply with Richmond's flood construction requirements (i.e. 2.9 m / 10 ft. GSC or 0.3 m / 1 ft. above the crown of the fronting street).

Architectural Form and Character

The CCAP encourages the development of a mosaic of distinctive, yet cohesive, urban villages. The subject development aims to satisfy this objective by building on the strong streetwall vocabulary established elsewhere in Capstan Village, while proposing a distinct tower and podium expression. In brief, features include:

1. A layering of dynamic, horizontal forms that contributes towards a modern, minimalist architectural expression including:
 - An active, transparent, commercial/residential ground floor;
 - A distinct podium plane articulated with long residential balconies and playful vertical sun shades along commercial frontages; and

- Slim, slab-like towers that arc gracefully along the site’s street frontages, articulated with balconies and fins that provide rhythm, variety, and visual interest;
2. An integrated landscape approach that provides for planting at all rooftop levels (except for the roofs of the elevator and stair cores);
 3. Quality materials (e.g. white brick, dark marble, and glass balcony guards and canopies) that, together with an unique graphic concrete treatment on the buildings’ expressed elevator and stair cores, contributes towards a distinct identity and high amenity urban environment; and
 4. A subdued, white-grey-black colour palette that, used in combination with variations in texture and punches of bright colour along commercial frontages, helps to break up the massing, reinforce the identity of key public spaces, and project a crisp, contemporary image.

Landscape Design and Open Space Design

For Capstan Village, the CCAP encourages the development of a network of neighbourhood parks, greenways, mid-block walkways, and other landscape features. In addition, Zoning Bylaw requirements in respect to the Capstan Station Bonus require that benefitting developments (including the subject development) provide public open space over and above basic CCAP park standards. The subject developer’s public open space contribution is provided, in part, as a fee-simple expansion of the City-owned neighbourhood park. In addition to this, the development provides for on-site publicly-accessible and private open space features as follows:

1. 2,991 m² (0.7 ac.) of publicly-accessible open space, secured with statutory right-of-ways, including the proposed transit plaza, arts facility walkway adjacent to the park, and mid-block trail expansion;
2. 3,180 m² (0.8 ac.) of residential outdoor amenity space, based on the OCP standard of 6 m² (65 ft²) per dwelling unit, comprising a large, landscaped, multi-use, outdoor space at each building’s podium roof level (co-located with required indoor residential amenity space) and smaller spaces at higher levels, designed to provide for children’s play, strolling, tai chi, socializing, relaxing, outdoor dining, and gardening (i.e. raised plots, tool storage, hose bibs, and related features), together with special landscape and water features;
3. Private outdoor patios and balconies for all dwelling units; and
4. Additional landscaping in the form of residential lobby entrance features, landscape buffers along townhouse frontages, landscaped setbacks along retail frontages, and green roofs.

Shared Indoor Amenity Space

The CCAP requires that multi-family developments comprising more than 200 units provide indoor amenity space at a rate of at least 2 m² (22 ft²) per unit. The subject development exceeds the CCAP minimum lot-by-lot requirement and provides for an attractive range of indoor amenity features co-located with each lot’s podium-level outdoor amenity space (e.g., lap pool, exercise rooms, lounge with kitchen, and games rooms).

Lot	Dwellings	Minimum Requirement	Proposed
Lot 1 (East)	169	338 m ² (3,638 ft ²)	363 m ² (3,907 ft ²)
Lot 2 (West)	361	722 m ² (7,772 ft ²)	755 m ² (8,127 ft ²)

Crime Prevention through Environmental Design (CPTED)

Measures are proposed to enhance safety and personal security including, but not limited to, the following measures.

1. Casual Surveillance: Minimization of blind corners, prominent residential and commercial lobby entrances, co-location of end-of-trip facilities, car-share, and drop-off/pick-up uses on the main floor of the west lot's parkade, clear sightlines to exits within the parkade, glazed vestibules, street-oriented residential and retail units, and pedestrian scale lighting;
2. Territoriality: Landscape buffers and grade changes between public and private spaces; and
3. Target Hardening: Special security features at all residential, commercial, and parking entrances.

Accessible Housing

Richmond's OCP seeks to meet the needs of the city's aging population and people facing mobility challenges by encouraging the development of accessible housing that can be approached, entered, used, and occupied by persons with physical or sensory disabilities. To address the City's policy, the developer proposes to provide:

1. Barrier-free access to all building lobbies and indoor and outdoor amenity spaces;
2. Aging in place features in all dwellings (e.g., stairwell hand rails, lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers); and
3. 133 Basic Universal Housing (BUH) units (i.e. 25% of total units) designed to satisfy all applicable Zoning Bylaw requirements, including 100% of affordable housing (29 units) and 21% of market housing (104 units).

Note: The developer proposes to use the Zoning Bylaw density exclusion of 1.86 m² (20 ft²) for each BUH unit provided.

Sustainability Measures

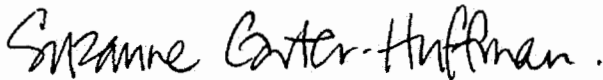
The project's sustainability goal is to provide a cost-effective, high-value development that meets or exceeds City standards (i.e. LEED "Silver" equivalent). The development proposal targets 54 LEED points and responds to City objectives for enhanced long-term environmental, fiscal, and social sustainability as per the attached LEED Checklist (Attachment 4). In brief, among other things the development will include:

1. A full building energy simulation to optimize energy efficiency measures and an enhanced commissioning process to ensure that the building's energy related systems are operating efficiently and as designed;
2. District Energy Utility (DEU) compatible building and mechanical system designs to facilitate a future connection to a City utility;
3. A solar hot water array on the west lot's rooftop to satisfy the hot water needs of the not-for-profit arts facility;
4. Energized electric vehicle (EV) charging equipment for 100% for resident parking spaces (208V - 240V) and 10% of Class 1 (i.e. secure) bike storage (120V);
5. End-of-trip cycling facilities for commercial tenants and employees;

6. Green roofs and vegetated outdoor areas incorporating drought tolerant plants to reduce reliance on irrigation;
7. Low flow/flush plumbing fixtures (e.g., toilets, showers, and faucets) and a high efficiency irrigation system to reduce water usage; and
8. Best practices to optimize air quality and provide a clean and healthy building for occupants.

Conclusions

The proposed development is consistent with Richmond's objectives for the subject property and Capstan Village as set out in the OCP, City Centre Area Plan (CCAP), and Zoning Bylaw. The project's distinctive form, pedestrian-oriented streetscapes, not-for-profit arts facility, affordable and accessible housing, public art, landscaping, and sustainable development measures, together with the developer's concurrent construction of off-site improvements secured through rezoning, will enhance the establishment of Capstan Village as a high-amenity, transit-oriented, urban community. On this basis, staff recommend that the Development Permit be endorsed and issuance by Council is recommended.



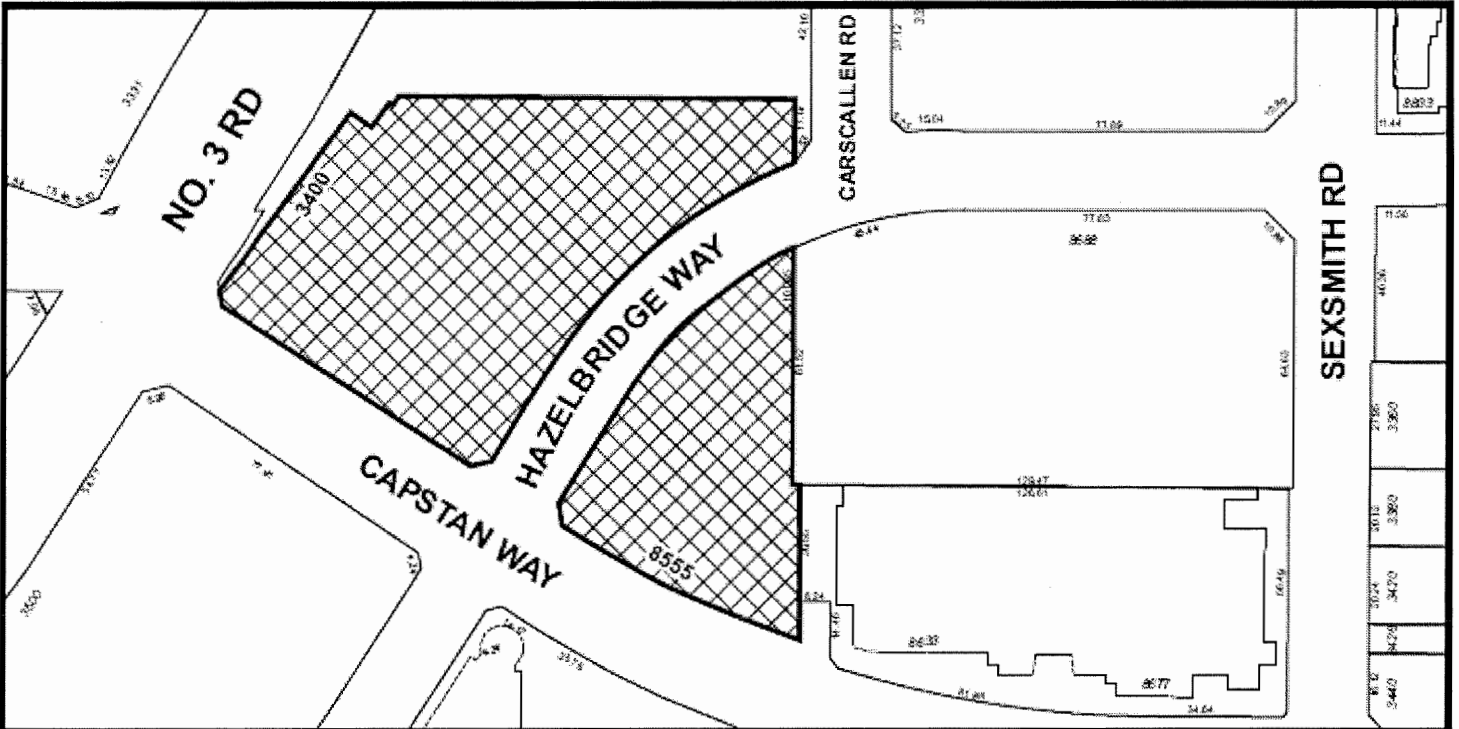
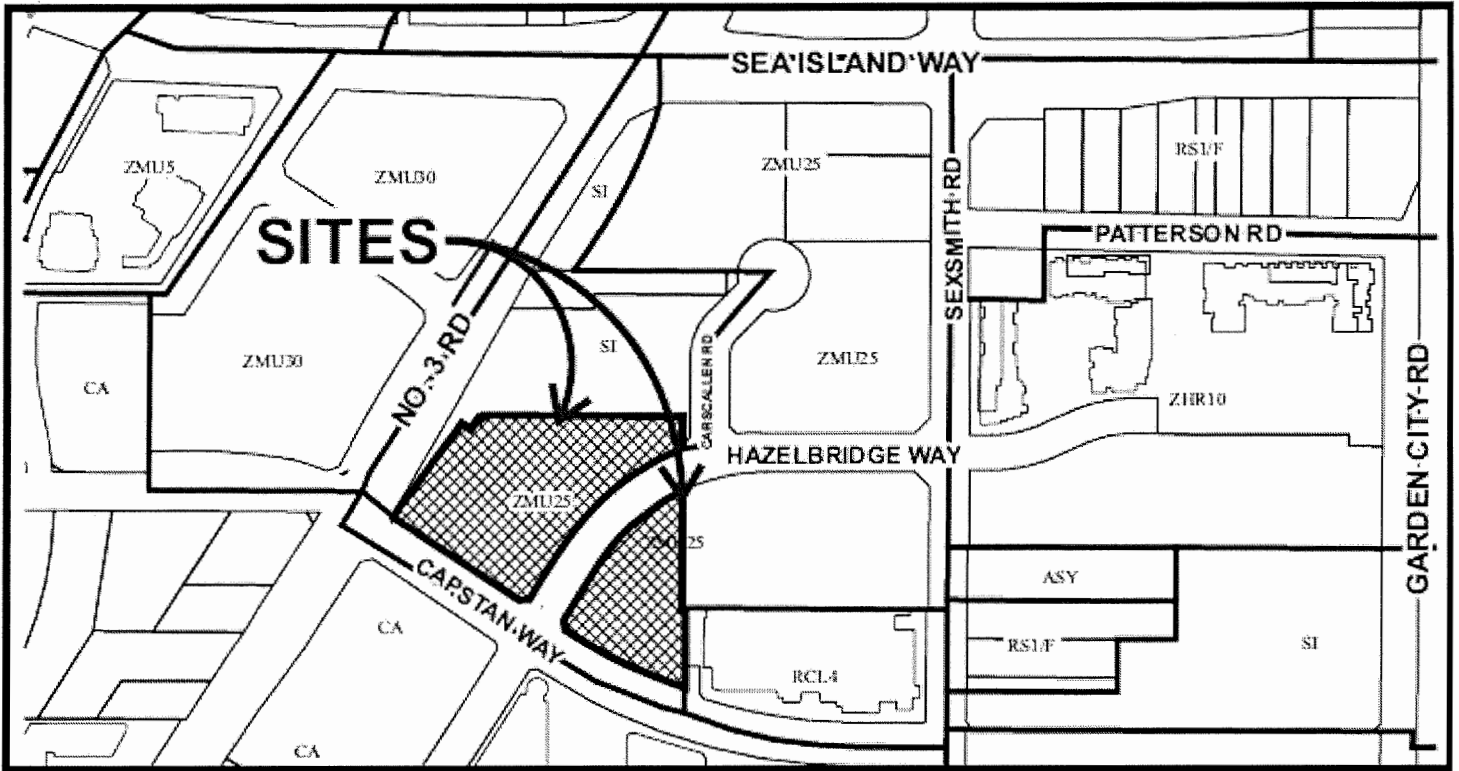
Suzanne Carter-Huffman
Senior Planner / Urban Design

SPC:sch

Attachments:

- 1) Location Map
- 2) Development Application Data Sheet
- 3) Advisory Design Panel Minutes, Thursday, December 14, 2017
- 4) LEED Checklist
- 5) Development Permit Considerations

Attachment 1
Location Map



	<p align="center">DP 17-787403 8555 Capstan Way & 3400 No. 3 Road (formerly 8511 Capstan Way & 3360 No. 3 Road)</p>	<p>Original Date: 10/03/17 Revision Date: 08/01/18 Note: Dimensions are in METRES</p>
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DP 17-787403

Attachment 2

Address: 8555 Capstan Way and 3400 No. 3 Road (formerly 8511 Capstan Way and 3360 No. 3 Road)

Applicant: Concord Pacific (Sun Tech) Owner: Sun Tech City Development Corp.

Planning Area: City Centre (Capstan Village)

Floor Area Gross: 55,778.0 m², excluding parking Floor Area Net: 48,348.4 m²

	Existing	Proposed
Site Area	Lot 1 (East): 3,816.5 m ² Lot 2 (West): 8,048.1 m ²	No change
Land Uses	Temporary residential sales centre	Lot 1 (East): High-rise residential Lot 2 (West): High-rise mixed use
OCP Designation	Mixed Use	No change
City Centre Area Plan (CCAP) Designation	<ul style="list-style-type: none"> ▪ Urban Centre t5 (35 & 45 m) / 2.0 FAR ▪ Capstan Bonus / 0.5 FAR ▪ Village Centre Bonus / 1.0 FAR ▪ Pedestrian-Oriented Retail Precinct ▪ Richmond Arts District 	No change
Aircraft Noise Sensitive Development	<ul style="list-style-type: none"> ▪ "Area 3" – All Aircraft Noise Sensitive Development (ANSD) uses may be considered 	As per existing policy
Zoning	Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25), as amended by Bylaw 9780 (RZ 17-767242)	No change
Number of Units	Nil	530 (limited by covenant on title), including: <ul style="list-style-type: none"> ▪ Lot 1 (East): 169 (157 market & 12 affordable) ▪ Lot 2 (West): 361 (344 market & 17 affordable)
Unit Mix	N/A	50% 1-bedroom & 50% 2, 3 & 4-bedroom, including: <ul style="list-style-type: none"> ▪ Market units: 501, including: <ul style="list-style-type: none"> - 51% 1-BR (254 units) - 34% 2-BR (169 units) - 15% 3-BR (76 units) - Less than 1% 4-BR (2 units) ▪ Affordable units: 29, including: <ul style="list-style-type: none"> - 38% 1-BR (11 units) - 38% 2-BR (11 units) - 24% 3-BR (7 units)
Accessible Housing	N/A	<ul style="list-style-type: none"> ▪ Basic Universal Housing (BUH) units: 133 (25% of total units), including: <ul style="list-style-type: none"> - Market: 104 (21% of market units) - Affordable: 29 (100% of affordable units) ▪ Aging-in-Place: All units not designed to BUH standards shall include aging-in-place features (e.g., blocking in walls for grab bars, lever handles, etc.)

	Bylaw Requirement	Proposed	Variance
Floor Area – Total (max)	50,467.2 m ² , including: <ul style="list-style-type: none"> Lot 1(East): 13,988.5 m² Lot 2 (West): 36,478.7 m² 	48,348.4 m ² , including: <ul style="list-style-type: none"> Lot 1(East): 13,988.5 m² Lot 2 (West): 34,359.9 m² 	None permitted
Floor Area – Non-Residential (max)	6,648.7 m ² , including: <ul style="list-style-type: none"> Lot 1(East): Nil Lot 2 (West): 6,648.7 m² 	4,529.9 m ² , including: <ul style="list-style-type: none"> Lot 1(East): Nil Lot 2 (West): 4,529.9 m², including: <ul style="list-style-type: none"> Office & Retail: 3,336.1 m² Not-for-Profit Arts Facility: 1,193.8 m² (12,850.0 ft²) 	None permitted
Floor Area – Residential, including Market & Affordable Housing (max)	43,818.5 m ² , including: <ul style="list-style-type: none"> Lot 1(East): 13,988.5 m² Lot 2 (West): 29,830.0 m² 	43,818.5 m ² , including: <ul style="list-style-type: none"> Lot 1(East): 13,988.5 m² Lot 2 (West): 29,830.0 m² 	None permitted
Floor Area – Affordable Housing Only (min)	2,190.9 m ² (5% of residential), including: <ul style="list-style-type: none"> Lot 1(East): 699.4 m² Lot 2 (West): 1,491.5 m² 	2,190.9 m ² , including: <ul style="list-style-type: none"> Lot 1(East): 699.4 m² Lot 2 (West): 1,491.5 m² 	None permitted
Lot Coverage:	<ul style="list-style-type: none"> Building & landscaped roofs over parking: 90% max. 	<ul style="list-style-type: none"> 90% 	None
Lot Size	<ul style="list-style-type: none"> Lot 1(East): 3,700 m² min Lot 2 (West): 8,000 m² min. 	<ul style="list-style-type: none"> Lot 1 (East): 3,816.5 m² Lot 2 (West): 8,048.1 m² 	None
Setbacks @ Canada Line (min)	<ul style="list-style-type: none"> Residential @ 12.0 m+ above grade: 10 m to guideway drip line Non-residential: 6.0 m guideway drip line 	<ul style="list-style-type: none"> Residential (typically 15.0 m above grade): 10.0 m to guideway drip line Non-residential: 11.0 m to guideway drip line 	None
Setbacks @ Road & Park (min)	<ul style="list-style-type: none"> 6.0 m min. to a lot line or SRW, but this may be reduced to 3.0 m if proper interfaces are provided 	<ul style="list-style-type: none"> 3.0 m 	None
Setbacks @ Interior Side Yards (min)	<ul style="list-style-type: none"> 3.0 m to a lot line or SRW, but this may be reduced to 0.0 m if proper interfaces are provided 	<ul style="list-style-type: none"> 0.0 m 	None
Setbacks @ Parking Below Finished Grade	<ul style="list-style-type: none"> 0.0 m 	<ul style="list-style-type: none"> 0.0 m 	None
Setbacks - Unenclosed Balcony Projections	<ul style="list-style-type: none"> Max. 1/3 of required yard (1/3 x 3.0 m = 1.0 m max. projection) 	<ul style="list-style-type: none"> Lot 1(East) @ southwest corner of levels 3 to 12: 3.0 m max. projection 	Increase from 1.0 m to 3.0 m
Height	<ul style="list-style-type: none"> 47 m GSC max. 	<ul style="list-style-type: none"> 47 m GSC 	None
Total Parking	Total with 10% TDM reduction: 643 min. <ul style="list-style-type: none"> Residential: 492 min. Non-residential: 148 min. Car-share: 3 	Total:806 <ul style="list-style-type: none"> Residential (incl. Visitors): 653 Non-residential: 150 Car-share: 3 	None

	Bylaw Requirement	Proposed	Variance
Residential Parking (With 10% TDM reduction)	<p>Total with 10% TDM reduction: 492 min.</p> <ul style="list-style-type: none"> Market Units @ 0.9/unit = 452 Affordable Housing @ 0.81/unit = 24 Visitors: 16 <ul style="list-style-type: none"> Lot 1 (East): 50%(0.18/unit) = 16 Lot 2 (West): Nil (Shared with commercial parking) 	<p>Total: 653</p> <ul style="list-style-type: none"> Lot 1 (East): 169 <ul style="list-style-type: none"> Market Housing: 143 Affordable Housing: 10 Visitors: 16 Lot 2 (West): 484 <ul style="list-style-type: none"> Market Housing: 470 Affordable Housing: 14 Visitors: Nil (Shared with commercial parking) 	None
Commercial Parking	<p>Total with 10% DM reduction: 148 min.</p> <ul style="list-style-type: none"> Retail & Office (first 2 floors): 3,162.6 m² gla @ 3.375/100 m² gla = 107 Arts Facility: 41 (Not required for exclusive use, except if so determined via the owner's lease agreement) 	<p>Total: 150</p> <ul style="list-style-type: none"> Lot 1 (East): Nil Lot 2 (West): 150, including 65% (97 spaces) "Public Parking" 	None
Car-Share Parking	<ul style="list-style-type: none"> 3 spaces (as per legal agreement) 	<ul style="list-style-type: none"> 3 spaces 	None
Tandem Parking Spaces	<ul style="list-style-type: none"> Max 50% of Market Residential 	<ul style="list-style-type: none"> Total: 84 spaces (42 pairs) <ul style="list-style-type: none"> Lot 1 (East): Nil Lot 2 (West): 84 spaces (42 pairs) 	None
Off-Street Loading	<ul style="list-style-type: none"> Lot 1 (East): 2 medium truck spaces Lot 2 (West): 4 medium truck spaces 	<ul style="list-style-type: none"> East Lot: 2 medium spaces West Lot: 4 medium spaces 	None
Bike Storage – Class 1	<ul style="list-style-type: none"> Lot 1 (East): 215 Lot 2 (West): 464 <ul style="list-style-type: none"> Residential: 452 Non-residential: 12 	<ul style="list-style-type: none"> Lot 1 (East): 215 Lot 2 (West): 464 <ul style="list-style-type: none"> Residential: 452 Non-residential: 12 	None
Bike Storage – Class 2	<ul style="list-style-type: none"> Lot 1 (East): 34 Lot 2 (West): 91 	<ul style="list-style-type: none"> Lot 1 (East): 34 Lot 2 (West): 91 	None
CCAP Indoor Amenity Space @ 2 m ² /unit	<ul style="list-style-type: none"> Lot 1(East): 169 x 2 m²/unit = 338 m² Lot 2 (West): 361 x 2 m²/unit = 722 m² 	<ul style="list-style-type: none"> Lot 1(East): 363 m² Lot 2 (West): 755 m² 	None
OCP Outdoor Amenity Space @ 6 m ² /unit	<ul style="list-style-type: none"> Lot 1(East): 169 x 6 m²/unit = 1,014 m² <ul style="list-style-type: none"> Incl. 507 m² children's play space Lot 2 (West): 361 x 6 m²/unit = 2,166 m² <ul style="list-style-type: none"> Incl. 600 m² children's play space 	<ul style="list-style-type: none"> Lot 1(East): 1,014 m², including 507 m² children's play space Lot 2 (West): 2,166 m², including 600 m² children's play space 	None
CCAP Additional Landscaped Space @ 10% Net Site Area	<p>877 m², including:</p> <ul style="list-style-type: none"> Lot 1(East): 382 m² Lot 2 (West): 805 m² 	<p>2,991 m² (25%) secured by SRW, including:</p> <ul style="list-style-type: none"> Lot 1 (East): <ul style="list-style-type: none"> Mid-block trail: 677 m² Lot 2 (West): 2,314 m² <ul style="list-style-type: none"> Transit plaza: 849 m² Art space walk: 616 m² <p>Plus additional decorative planting areas</p>	None

Other: Tree replacement compensation submitted prior to rezoning bylaw adoption for the loss of significant trees.

Excerpt from the Minutes from the
Advisory Design Panel Meeting

Thursday, December 14, 2017 – 4:00 p.m.
Richmond City Hall

DP 17-787403 - FOUR-TOWER, HIGH-RISE, MIXED USE, 55,000SQ.M. DEVELOPMENT, INCLUDING 533 UNITS, 4,400SQ.M. OF OFFICE, 1,055 SQ.M. OF COMMERCIAL & 1,194 SQ.M. FOR “ARTS UMBRELLA”, LOCATED NEXT TO THE FUTURE CAPSTAN CANADA LINE STATION

ARCHITECT: GBL Architects
PROPERTY 8511 Capstan Way & 3360 No. 3 Road
LOCATION:

Applicant's Presentation

Amela Brudar, Principal, GBL Architects, Achim Charisius, Architect, GBL Architects, and Grant Brumpton, Principal, PWL Partnership, presented the project and answered queries from the Panel. Peter Webb, Senior VP, Development, Concord Pacific, and Brian Jackson, also commented and answered queries from the Panel.

Panel Discussion

Comments from the Panel were as follows:

- documentation and diagrams provided were helpful in understanding the project;
- appreciate the quality and quantity of renderings included in the package for Panel members; excellent readability of materials brought to the Panel;
- applicant has done a good job in the challenging task of distributing density throughout the proposed development; voids are welcomed and massing decisions are appropriate given the various intersections and proximity to the streets;
- the project is handsome; architecture is simple, timeless, and minimalist;
- like the subdued material and colour palette; use of white, gray and black contrasts is well done; darker coloured streetscape is appropriate; appreciate the high quality of materials in the streetscape, e.g. white brick, dark marble, and graphic architectural concrete; applicant is advised to retain these materials as the project moves forward;
- introducing colours to help animate the lower levels of the building is a good approach; accent colours mitigate the monolithic appearance of the buildings; the applicant is encouraged to use more of this approach in the project;
- proposed landscaping is interesting; appreciate the overall concept of ruggedized and naturalized landscape adjacent to a more formal architecture; appreciate the waterscape and boulders on the podium rooftop's outdoor amenity area;
- consider applying the curving horizontal slab expression along the Capstan Way facade to the tower façade (fronting the inner courtyard on the podium) facing No. 3 Road to provide contrasting tower facades along the west elevation of the proposed development (as viewed from No. 3 Road);
Curving horizontal slab expression has been added to the noted tower.
- planning is thoughtful and well done; commend the applicant for the successful architecture;

- appreciate the proposed sustainability features for the project; the project is on the right track from a sustainability point of view;
- support the architectural design; like the vertical fins on the southwest façade; however, elements such as fins, slab extensions, and balconies which act as solar shades could also give rise to thermal comfort issues;
- suggest that the applicant investigate approaches to resolve thermal comfort issues, e.g. wraparound insulation;

This will be investigated in detail at the Building Permit stage.

- notice the extensive use of glass in the office and arts components which provide daylighting but could also create thermal comfort issues; consider installing spandrel unit system or dynamic glass;
Spandrel has been added to the arts facility. Further investigation into glazing options with respect to thermal comfort will be undertaken at the Building Permit stage.
- huge building façade facing the public park; consider installing additional trees in the park area fronting the arts facility to provide more screening; also consider retaining some existing trees proposed to be removed from the public park site to provide privacy;

Existing trees must be removed to facilitate Capstan Station's construction and will be replaced through the park Servicing Agreement process, to the City's satisfaction. The arts facility has been designed with large, glazed, garage-style doors opening onto a weather-protected walkway to take advantage of its public location and support a variety of active/passive, indoor/outdoor activities.

- consider installing visual translucency to provide screening/privacy to office spaces facing the Skytrain guideway;

Vertical fins installed on the office façade will add visual interest for passers-by and reduce overlook from the trains without compromising views or daylight.

- support the proposed location of public art at the public plaza and the provision of weather protection;
- consider enhancing and increasing the height of planting in front of residential townhouse units to provide privacy screening from passing pedestrians;

Patios have been set back and landscape buffers have been added to increase privacy for occupants of the townhouse unit.

- consider allowing shared use by residents of the green roofs on tower rooftops;

The tower rooftops are designed as extensive green roofs due to airport-related building height restrictions; however, residents will have use of the podium rooftops and various mid-rise rooftop areas.

- appreciate the model and the drawing package; images are good but the finer details are difficult to read;
- like the concrete detail around elevator and stair cores;
- vertical fins are a strong element; significant amount of exposed concrete in the proposed development could give rise to thermal bridging issues; investigate further opportunities for insulation;

This will be investigated in detail at the Building Permit stage.

- support the proposed materials palette;

- consider integrating park and ride in the proposed development;

Car-share (3 spaces with EV charging and vehicles) will be provided on the west lot.

- the proposed development is of high quality and a welcome addition to Richmond; architectural form and character has been successfully resolved; streetwalls are well articulated;
- Hazelbridge Way frontage is dense and urban but successfully addressed through the use of high quality materials and variation of facades;
- the applicant is encouraged to incorporate good wayfinding in the proposed development due to its proximity to the future Capstan Canada Line station;

Wayfinding signage and related features will be incorporated used throughout the project.

- appreciate the applicant incorporating public art at an early stage of the project; also appreciate integrating public art into the architecture and landscaping of the proposed development; the applicant is advised to coordinate with the City's public art planner for the project's public art;

A preliminary public art plan was completed prior to rezoning adoption and a detailed plan(s) will be completed prior to Building Permit issuance.

- support the approach to open up the building towards the public park;
- commend the applicant for a successful project; support other Panel members' comments regarding the architecture of the building;
- appropriate edge treatment is key to the success of the project; proposed edge treatment for each façade is well done, except at the east façade where the portion fronting the proposed mid-block trail appears weak and underdeveloped; consider a stronger rationale for the east elevation of the proposed development;

Mid-block trail façade has been revised and further developed to include a more diverse architectural expression, the incorporation of a green wall, and a publicly-accessible (privately owned and maintained) dog park.

- vertical fins and horizontal expression work well proportionally; fins along the west façade could be better coordinated to provide further animation and enhance visual interest, e.g. could be coordinated with the movement of trains passing by and wrapped cinematically along Capstan Way; and
- a layby along Capstan Way, near the south end of the mid-block trail, would have been helpful to access the entrance to the east lot's southern residential lobby; consider orienting the entrance to Capstan Way (instead of the trail) to make it more prominent and improve wayfinding for motorists.

The lobby has been revised so that it fronts Capstan Way.

Panel Decision

It was moved and seconded

That DP 17-787403 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

Concord Pacific - 8511 Capstan Way
Sustainability Scorecard
Last update: November 2017



Possible Points **110**

Possible Points **14**

Possible Points **26**

Possible Points **10**

Possible Points **35**

Possible Points **6**

Possible Points **4**

Certified 40 to 49 points		Silver 50 to 59 points		Gold 60 to 79 points		Platinum 80 or more points	
Y	Y7	Y7	Y7	Y7	Y7	Y7	Y7
54	9	7	40	Total Project Score & Rating		SILVER	
Sustainable Sites		2.6		Possible Points		2.6	
1	1	1	1	1	1	1	1
Construction Activity Pollution Prevention		3.5		Possible Points		3.5	
3	3	3	3	3	3	3	3
Site Selection		3.6		Possible Points		3.6	
3	3	3	3	3	3	3	3
Development Density and Community Connectivity		3.3		Possible Points		3.3	
3	3	3	3	3	3	3	3
Brownfield Redevelopment		3.4		Possible Points		3.4	
3	3	3	3	3	3	3	3
Alternative Transportation, Public Transportation		3.3		Possible Points		3.3	
3	3	3	3	3	3	3	3
Alternative Transportation, Bicycle Storage & Changing Rooms		3.3		Possible Points		3.3	
3	3	3	3	3	3	3	3
Alternative Transportation, Low-Emitting and Fuel-Efficient Vehicles		3.3		Possible Points		3.3	
3	3	3	3	3	3	3	3
Alternative Transportation, Parking Capacity		3.3		Possible Points		3.3	
3	3	3	3	3	3	3	3
Site Development, Protect and Restore Habitat		3.3		Possible Points		3.3	
3	3	3	3	3	3	3	3
Site Development, Maximize Open Space		3.3		Possible Points		3.3	
3	3	3	3	3	3	3	3
Stormwater Design, Quality Control		3.3		Possible Points		3.3	
3	3	3	3	3	3	3	3
Stormwater Design, Quantity Control		3.3		Possible Points		3.3	
3	3	3	3	3	3	3	3
Heat Island Effect, Non-Roof		3.3		Possible Points		3.3	
3	3	3	3	3	3	3	3
Heat Island Effect, Roof		3.3		Possible Points		3.3	
3	3	3	3	3	3	3	3
Light Pollution Reduction		3.3		Possible Points		3.3	
3	3	3	3	3	3	3	3

Water Efficiency		4		Possible Points		10	
Y	Y7	Y7	Y7	Y7	Y7	Y7	Y7
5	1	1	4	Water Efficiency		10	
2	2	2	2	2	2	2	2
Water Use Reduction		2.4		Possible Points		2.4	
2	2	2	2	2	2	2	2
Water Efficient Landscaping, Reduce by 50%, No Potable Water Use		2.4		Possible Points		2.4	
2	2	2	2	2	2	2	2
Innovative Wastewater Technologies		2.4		Possible Points		2.4	
2	2	2	2	2	2	2	2
Water Use Reduction, 30%, 35%, 40% Reduction		2.4		Possible Points		2.4	
2	2	2	2	2	2	2	2

Energy and Atmosphere		22		Possible Points		35	
Y	Y7	Y7	Y7	Y7	Y7	Y7	Y7
8	3	2	22	Energy and Atmosphere		35	
2	2	2	2	2	2	2	2
Fundamental Commissioning of Building Energy Systems		2		Possible Points		2	
2	2	2	2	2	2	2	2
Minimum Energy Performance		2		Possible Points		2	
2	2	2	2	2	2	2	2
Fundamental Refrigerant Management		2		Possible Points		2	
2	2	2	2	2	2	2	2
Optimize Energy Performance		2		Possible Points		2	
2	2	2	2	2	2	2	2
On-site Renewable Energy		2		Possible Points		2	
2	2	2	2	2	2	2	2
Enhanced Commissioning		2		Possible Points		2	
2	2	2	2	2	2	2	2
Enhanced Refrigerant Management		2		Possible Points		2	
2	2	2	2	2	2	2	2
Measurement & Verification		2		Possible Points		2	
2	2	2	2	2	2	2	2
Green Power		2		Possible Points		2	
2	2	2	2	2	2	2	2

Innovation & Design Process		6		Possible Points		6	
Y	Y7	Y7	Y7	Y7	Y7	Y7	Y7
6	6	6	6	Innovation & Design Process		6	
1	1	1	1	1	1	1	1
Innovation in Design: Exempt SSC7.1 - 100% U/G Parking		1		Possible Points		1	
1	1	1	1	1	1	1	1
Innovation in Design: Exempt SSC4		1		Possible Points		1	
1	1	1	1	1	1	1	1
Innovation in Design: SVM		1		Possible Points		1	
1	1	1	1	1	1	1	1
Innovation in Design: IPMP		1		Possible Points		1	
1	1	1	1	1	1	1	1
Innovation in Design: Exempt MRCS		1		Possible Points		1	
1	1	1	1	1	1	1	1
LEED™ Accredited Professional		1		Possible Points		1	
1	1	1	1	1	1	1	1

Regional Priority		1		Possible Points		4	
Y	Y7	Y7	Y7	Y7	Y7	Y7	Y7
3	3	3	3	Regional Priority		4	
1	1	1	1	1	1	1	1
Durable Building		1		Possible Points		1	
1	1	1	1	1	1	1	1
Regional Priority: SSC2		1		Possible Points		1	
1	1	1	1	1	1	1	1
Regional Priority: WRCS		1		Possible Points		1	
1	1	1	1	1	1	1	1
Regional Priority: MRCS		1		Possible Points		1	
1	1	1	1	1	1	1	1

Sustainability Analysis by Kane Consulting



City of Richmond

REVISED – August 8, 2018 Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

File No.: DP 17-787403

Address: 8555 Capstan Way & 3400 No. 3 Road (formerly 8511 Capstan Way & 3360 No. 3 Road)

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Rezoning Legal Agreements (Development Permit Holds): Satisfy the terms of legal agreements registered on title prior to rezoning adoption (RZ 17-769242) with respect to Lot 1 (East) and Lot 2 (West), which shall include, but shall not be limited to:
 - 1.1. Affordable Housing: For Lot 1 (East) and Lot 2 (West), registration of replacement agreements, as determined to the City's satisfaction, with respect to the Housing Covenant & Rent Charge agreements registered on the lots for the purpose of accurately reflecting the specifics of the approved building design, Housing Units, and Housing Unit Parking Spaces to be constructed on each lot (which shall include, but may not be limited to, final floor plans and summary tables describing the location, type, and size of each Housing Unit). The owner may also be required to execute and register any additional legal agreements required to facilitate the detailed design, construction, operation, and/or management of the Housing Units, as determined to the City's satisfaction.

Lot	Affordable Housing		Affordable Unit Mix*			
	Min. Floor Area	Proposed Floor Area	1-BR	2-BR	3-BR	Total
Lot 1 (East)	699 m ² (7,528 ft ²)	699 m ² (7,528 ft ²)	8	4	Nil	12
Lot 2 (West)	1,492 m ² (16,054 ft ²)	1,492 m ² (16,054 ft ²)	3	7	7	17
TOTAL	2,191 m ² (23,583 ft ²)	2,191 m ² (23,583 ft ²)	11	11	7	29

* 100% of the proposed affordable LEMR housing units will comply for the City's Basic Universal Housing (BUH) standards.
 - 1.2. Public Washrooms: Registration of a replacement agreement, to the City's satisfaction, with respect to the Public Washroom Covenant on Lot 2 (West) for the purpose of providing for a:
 - a) Location plan;
 - b) Design plan; and
 - c) Statutory right-of-way;
 - 1.3. Not-for-Profit Arts Facility (VCB Arts Space): Submission to the City, to the satisfaction of the Director, Arts, Culture and Heritage Services and Director of Development, a signed Arts Space Tenancy Agreement or a signed letter of intent with an Eligible Tenant including the Owner's commitment to construct and install the Tenant Improvements at its sole cost.
 - 1.4. Plans and Reports: Registration of various amendment and/or replacement agreements, as determined to the City's satisfaction, for the purpose of attaching plans and/or reports, prepared by appropriate registered professionals, describing the specifics of the approved Development Permit and/or related features, including:
 - a) Public Art: A Detailed Public Art Plan, to the City's satisfaction, which shall be based on the full value of the developer's public art contribution less 5% for City administration (i.e. at least \$403,835.50) and be implemented in coordination with the development of Lot 2 (West);

- b) View Blockage & Other Development Impacts: For Lot 1 (East) and Lot 2 (West), a report for each lot describing the developer's impact mitigation strategy, to the City's satisfaction; and
 - c) End of Trip Commercial Cycling Facilities & "Class 1" Bike Storage for Non-Residential Uses: For Lot 2 (West), a location plan showing the end-of-trip facilities and commercial tenant bicycle storage.
- 1.5. Letters of Confirmation: Submission of letters from certified professional(s) confirming that the Development Permit design complies with the legal agreements registered on title with respect to:
- a) View Blockage & Other Development Impacts: For Lot 1 (East) and Lot 2 (West), a letter confirming that the building on each lot has been designed in accordance with the reports attached to the agreements registered on the lots.
- 1.6. Letters of Credit: Delivery of Letters of Credit to the City to secure the developer's commitment to the following:
- a) Public Washrooms: \$600,000 for the design and construction of the publicly-accessible (privately owned and maintained) washrooms on Lot 2 (West); and
 - b) Public Art: \$403,835.50 for the implementation of the Detailed Public Art Plan, based on 95% of the developer's total Public Art contribution (i.e. $95\% \times \$425,090 = \$403,835.50$); and
 - c) Car-Share: \$75,000 for the purchase of three car-share vehicles.
- 1.7. Voluntary Cash Contribution: Delivery of a contribution in cash to the City with respect to:
- a) Public Art: \$21,254.50 for City administration costs (to be deposited into the City's Public Art Reserve Fund), based on 5% of the developer's total Public Art contribution (i.e. $5\% \times \$425,090 = \$21,254.50$).
2. Receipt of a Letter of Credit for landscaping in the amount of \$2,491,935.77 (based on the costs estimate provided by a CSLA registered landscape Architect, including 10% contingency), which includes estimates for the following:
- 2.1. Lot 1 (East): \$948,228.77 (i.e. \$158,149.75 for the Mid-Block Trail and \$790,079.02 for other works); and
 - 2.2. Lot 2 (West): \$1,543,707.00 (i.e. \$159,890.50 for the Arts Space Walkway and \$1,383,816.50 for other works).

Prior to Building Permit* Issuance, the developer must complete the following requirements:

- 1. Rezoning Legal Agreements (Building Permit* Holds): Satisfy the terms of legal agreements registered on title prior to rezoning adoption (RZ 17-769242) with respect to Lot 1 (East) and Lot 2 (West), which shall include, but shall not be limited to:
 - 2.3. Servicing Agreements (SA)*: On a lot-by-lot basis, entrance into Servicing Agreements* (secured with Letters of Credit) for off-site (frontage) works required with respect to the development of Lot 1 (East) and Lot 2 (West), the scope of which agreements was generally determined through the rezoning.
 - 2.4. District Energy Utility (DEU): On a lot-by-lot basis, submission of an energy modelling report for each of Lot 1 (East) and Lot 2 (West) and design each lot with the capability to connect to and be serviced by a DEU, to the satisfaction of the Director of Engineering.
 - 2.5. Not-for-Profit Arts Facility (VCB Arts Space): For Lot 2 (West):
 - a) Approval of the detailed design of the VCB – Arts Space as incorporated in the Building Permit drawings and specifications, together with all ancillary and related spaces and features, as determined to the satisfaction of the Director, Arts, Culture and Heritage Services and Director of Development, in their sole discretion; and
 - b) Submission of a letter of confirmation from the owner's architect confirming that the Building Permit complies with the VCB Arts Space Agreement registered on title.

2. Construction Parking and Traffic Management Plan: On a lot-by-lot basis, submission of a Plan for each lot, to the satisfaction of the Transportation Department. The Management Plan(s) shall include locations for parking for services, deliveries, workers, and loading, applications for any lane closures, and proper construction traffic controls, as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Accessibility: Incorporation of accessibility measures in the Building Permit (BP)* plans for each lot, as determined via the Rezoning and/or Development Permit processes.
4. Construction Hoarding: Obtain a Building Permit (BP)* for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit*. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * Items marked with an asterisk require a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed Copy on File

Signed Date



No. DP 17-787403

To the Holder: Concord Pacific (Sun Tech)

Property Address: 8555 Capstan Way and 3400 No. 3 Road (formerly 8511 Capstan Way and 3360 No. 3 Road)

Address: Sun Tech City Development Corp., Inc. No. 0533040
900 - 1095 West Pender Street, Vancouver, BC V6E 2M6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to allow unenclosed balconies on levels 3 to 12 of the building at the southwest corner of 8555 Capstan Way to project into the required front yard by up to 3.0 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1a to #20 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$2,491,935.77 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 17-787403

To the Holder: Concord Pacific (Sun Tech)

Property Address: 8555 Capstan Way and 3400 No. 3 Road (formerly 8511 Capstan Way and 3360 No. 3 Road)

Address: Sun Tech City Development Corp., Inc. No. 0533040
900 - 1095 West Pender Street, Vancouver, BC V6E 2M6

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

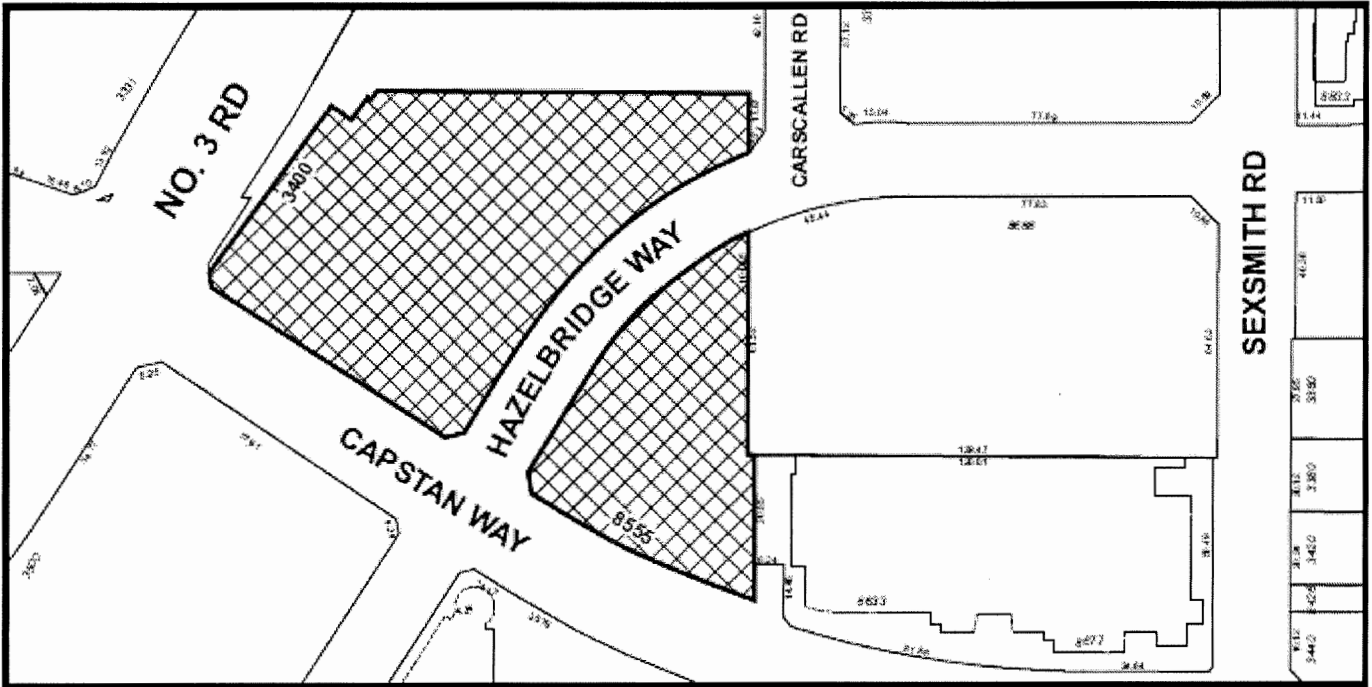
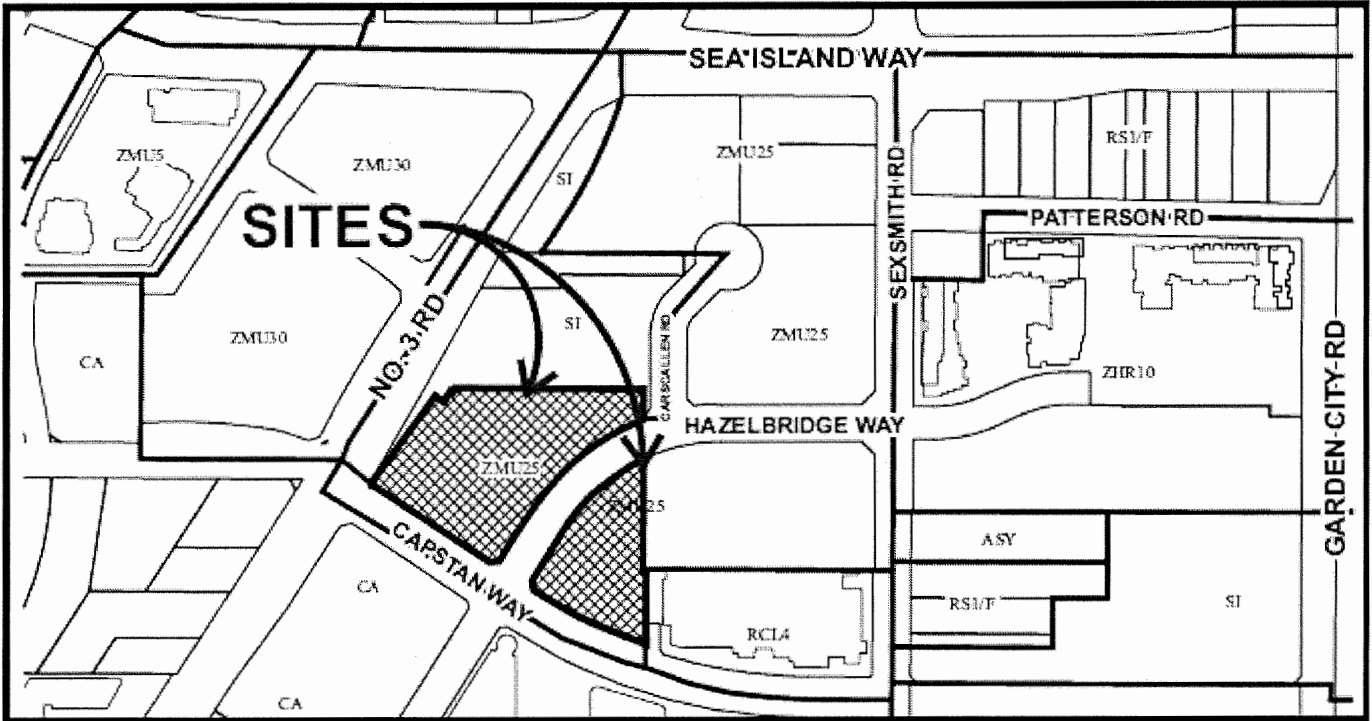
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of
Richmond



DP 17-787403
SCHEDULE "A"
 8555 Capstan Way & 3400 No. 3 Road
 (formerly 8511 Capstan Way & 3360 No. 3 Road)

Original Date: 10/03/17
 Revision Date: 08/01/18
 Note: Dimensions are in METRES

	PERMITTED / REQUIRED	PROPOSED
Net Site Area (min)	<ul style="list-style-type: none"> Lot 1 (East): 3,700 m² min Lot 2 (West): 8,000 m² min. 	<ul style="list-style-type: none"> Lot 1 (East): 3,816.5 m² Lot 2 (West): 8,048.1 m²
Gross Floor Area	<ul style="list-style-type: none"> Not defined 	<ul style="list-style-type: none"> 55,778.0 m², excluding parking
Net Floor Area – Total (max)	<ul style="list-style-type: none"> 50,467.2 m², including: Lot 1 (East): 13,988.5 m² Lot 2 (West): 36,478.7 m² 	<ul style="list-style-type: none"> 48,348.4 m², including: Lot 1 (East): 13,988.5 m² Lot 2 (West): 34,359.9 m²
Non-Residential (max)	<ul style="list-style-type: none"> 6,648.7 m², including: Lot 1 (East): Nil Lot 2 (West): 6,648.7 m² 	<ul style="list-style-type: none"> 4,529.9 m², including: Lot 1 (East): Nil Lot 2 (West): 4,529.9 m², including: Retail & Office: 3,336.1 m² Arts Facility: 1,193.8 m²
Residential (max) (incl. Affordable Housing)	<ul style="list-style-type: none"> 43,818.5 m², including: Lot 1 (East): 13,988.5 m² Lot 2 (West): 29,830.0 m² 	<ul style="list-style-type: none"> 43,818.5 m², including: Lot 1 (East): 13,988.5 m² Lot 2 (West): 29,830.0 m²
Affordable Housing (min)	<ul style="list-style-type: none"> 2,190.9 m² (5% of residential), including: Lot 1 (East): 699.4 m² Lot 2 (West): 1,491.5 m² 	<ul style="list-style-type: none"> 2,190.9 m², including: Lot 1 (East): 699.4 m² Lot 2 (West): 1,491.5 m²
Number of Dwelling Units (max)	Nil	<ul style="list-style-type: none"> 530 (limited by covenant on title), including: Lot 1 (East): 169 (157 market & 12 affordable) Lot 2 (West): 361 (344 market & 17 affordable)
Dwelling Unit Types	<ul style="list-style-type: none"> Not defined 	<ul style="list-style-type: none"> 50% 1-BR (254 Market & 11 Affordable units) 34% 2-BR (169 Market & 11 Affordable units) 16% 3-BR (76 Market & 7 Affordable units) Less than 1% 4-BR (2 Market)
Accessible Dwellings	<ul style="list-style-type: none"> Not defined 	<ul style="list-style-type: none"> 25% (133 units) Basic Universal Housing units: Market Housing: 21% (104 units) Affordable Housing: 100% (29 units) 100% of units include aging-in-place features (e.g., handrails, lever handles & blocking in walls for future grab bar installation)
CCAP Indoor Amenity Space @ 2 m ² /unit	<ul style="list-style-type: none"> Lot 1 (East): 169 x 2 m²/unit = 338 m² Lot 2 (West): 361 x 2 m²/unit = 722 m² 	<ul style="list-style-type: none"> Lot 1 (East): 363 m² Lot 2 (West): 755 m²
OCP Outdoor Amenity Space @ 6 m ² /unit	<ul style="list-style-type: none"> Lot 1 (East): 169 x 6 m²/unit = 1,014 m² Lot 2 (West): 361 x 6 m²/unit = 2,166 m² 	<ul style="list-style-type: none"> Lot 1 (East): 1,014 m², incl. 507 m² play space Lot 2 (West): 2,166 m², incl. 600 m² play space
CCAP Additional Landscaped Space @ 10% of Net Site	<ul style="list-style-type: none"> 877 m², including: Lot 1 (East): 382 m² Lot 2 (West): 805 m² 	<ul style="list-style-type: none"> 2,991 m² (25%) secured by SRW, including: Lot 1 (East): 677 m² Lot 2 (West): 2,314 m² Plus additional decorative planting areas
Lot Coverage (max)	<ul style="list-style-type: none"> Building & landscaped roofs over parking: 90% 	<ul style="list-style-type: none"> 90%
Setbacks @ Canada Line (min)	<ul style="list-style-type: none"> Residential @ 12.0 m+ above grade: 10 m to guideway drip line Non-residential: 6.0 m guideway drip line 	<ul style="list-style-type: none"> Residential (typically 15.0 m above grade): 10.0 m to guideway drip line Non-residential: 11.0 m to guideway drip line
Setback: Road	<ul style="list-style-type: none"> 6.0 m min. to a lot line or SRW, but this may be reduced to 3.0 m if proper interfaces are provided 	<ul style="list-style-type: none"> 3.0 m
Setback: Below Grade	<ul style="list-style-type: none"> 0.0 m 	<ul style="list-style-type: none"> 0.0 m
Setback – Projections	<ul style="list-style-type: none"> Balconies: 1/3 of required setback max. Architectural appurtenances: 0.6 m max Cantilevered roofs: 1.2 m max Weather protection: To the property line 	<ul style="list-style-type: none"> As permitted
Height	<ul style="list-style-type: none"> 47 m GSC 	<ul style="list-style-type: none"> 47 m GSC
Flood Level (Min)	<ul style="list-style-type: none"> 2.9 m (9.5 ft.) GSC or 0.3 m (0.9 ft.) above crown of fronting road 	<ul style="list-style-type: none"> Residential @ 2.9 m (9.5 ft.) GSC Commercial & lobbies @ 0.3 m (0.9 ft.) above crown of fronting road
Loading	<ul style="list-style-type: none"> Lot 1 (East): 2 medium truck spaces Lot 2 (West): 4 medium truck spaces 	<ul style="list-style-type: none"> East Lot: 2 medium spaces West Lot: 4 medium spaces

CITY OF RICHMOND NOTES:

- New Addresses:** The address for the subject property has been updated. Original addresses: 8511 Capstan Way & 3360 No. 3 Road
New addresses:
a. 8555 Capstan Way: Lot 1 (East)
b. 3400 No 3 Road: Lot 2 (West)
- Variances:** Shown on Site Plan (Plan#2)
- Statutory Right-of-Ways (SRWs):** Shown on the Site Plan (PLAN #2).
- Affordable Housing (AH):**
a. Prior to Development Permit (DP) issuance, a Housing Agreement & Covenant will be registered on title.
b. Prior to BP issuance, the AH units, AH parking, AH Class 1 bike storage & AH EV equipment must be shown in the BP plans.
c. AH units are identified on the floor plans & located on:
i. Lot 1 (East): Level 3 only
ii. Lot 2 (West): Levels 5, 6, & 7
d. 100% of affordable units are required to be BUH units & must satisfy Zoning Bylaw requirements.
e. For more information, see the Affordable Housing Plan. (PLAN #15)
- Arts Facility @ Lot 2 (West):**
a. This a not-for-profit, privately-owned and operated facility is secured via legal agreements registered on title and will be designed and constructed by the developer, at the developer's sole cost, to a turnkey level of finish
b. The space is occupies a 1-storey, ground floor space (Air Space Parcel) fronting onto the City park
c. The facility shall be treated as "commercial" for density purposes
d. Parking & bike storage rates are identified on PLAN #1b; however, allocation will be handled via the developer/tenant lease agreement (not through the DP or BP).
e. City Senior Management approval of the facility's design is required prior to Building Permit (BP) issuance. (NOTE: The legal agreements specify a Tenant Improvement budget and the City must be satisfied that the budget is satisfactorily allocated to base building upgrades and other works.)
- Accessibility:**
a. 100% of units are equipped with Aging-in-Place features, including stairwell hand rails, lever-type handles for plumbing fixtures and door handles, and solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers.
b. 133 units are Basic Universal Housing (BUH) units & must satisfy Zoning Bylaw requirements (i.e. 29 affordable housing units & 104 market units) distributed between Lot 1 (East) & Lot 2 (West) as indicated in the Affordable Housing summary table on PLAN #1b.
c. The Zoning Bylaw floor area exemption for the provision of BUH units is permitted.
d. For more information, see the BUH Housing & Aging-in-Place Plan. (PLAN #16)
- Shared Outdoor Amenity Space for Residents:**
a. 100% of spaces shall be for the shared use of market & affordable housing residents.
b. Spaces are marked on the plans & indicated on the Amenity Space Plan. (PLAN #17).
- Shared Indoor Amenity Space for Residents:**
a. 100% of spaces shall be for the shared use of market & affordable housing residents.
b. Spaces are marked on the plans & indicated on the Amenity Space Plan. (PLAN #17)
- Parking & Bike Storage:**
a. Parking & bike storage is summarized on PLAN #1b & shown on the DP plans.
b. At least 65% (97 stalls) of the parking provided with respect to the non-residential uses (retail, office & Arts Facility) on Lot 2 (West) MUST be "Public Parking" (i.e. hourly & drop-off/pick-up spaces on the ground floor & Level 2 +Level 3) for unrestricted use of the general public.
c. Commercial class 1 Bike Storage must be co-located on Level 1 with End-of-Trip Facility (eg. Washrooms, showers, changerooms, & Lockers)
d. Number of small car and handicapped spaces shall comply with the zoning bylaw generally as shown on the floor plans.
e. Tandem parking is permitted for Market Housing parking only.
- Car-Share Parking:** 3 handicap-size spaces required at grade on Lot 2 (West); HOWEVER, 2 adjacent (side-by-side) spaces may overlap by up to 1.2 m
- Electric Vehicle (EV) Facilities:**
a. EV charging equipment shall be provided as indicated on PLAN #1b.
b. The electric vehicle equipment for the Car-Share Parking (i.e. outlets and chargers) shall be installed so that vehicles parked in any of the 3 car-share spaces can easily use the 2 EV chargers.
- Waste Management:**
a. Indicated on the plans, including over-height space for truck operations (i.e. clear of ALL structures & projections).
b. For more information, see the Waste Management Plan. (PLAN #19)
- Heat Pumps:** The DP design proposes to use the City's permitted heat pump exemption.
- Capstan Station Reserve:** The developer's requirement has been pre-paid in full. (No additional payment is required.)

COMMERCIAL SUMMARY – Lot 2 (West) Only

Level	Gross Floor Area	Exemptions	Net Floor Area
1	23,561 SF	0	23,561 SF
2	25,352 SF	154 SF	25,198 SF
TOTAL	48,913 SF = 4,544.17 m²	154 SF = 14.3 m²	48,759 SF = 4,529.9m²

RESIDENTIAL SUMMARY (MARKET & AFFORDABLE HOUSING) – Lot 1 (East) Only

Level	Gross Floor Area	Exemptions (Excl. and Heat Pumps)	BUH Exemption	Amenity Space	Net Floor Area
1	10209	108	0	0	10101
2	8789	2644	0	0	6145
3	13334	872	240	0	12222
4	17877	923	220	3766	12968
5	15626	942	220	0	14464
6	13972	923	120	0	12929
7	14001	921	100	0	12980
8	14001	921	0	0	13080
9	14001	921	0	0	13080
10	14001	921	0	0	13080
11	14001	921	0	0	13080
12	12771	877	0	0	11894
13	4731	379	0	0	4352
14	639	306	0	137	196
TOTAL	167,953sf = 15,603m²	12,579sf = 1,169m²	900sf = 84m²	3,903sf = 363m²	150,570sf = 13,988.5 m²

RESIDENTIAL SUMMARY (MARKET & AFFORDABLE HOUSING) – Lot 2 (West) Only

Level	Gross Floor Area	Exemptions (Excl. and Heat Pumps)	BUH Exemption	Amenity Space	Net Floor Area
1	10,482	199	0	220	10,063
2	5,362	3,561	0	0	1,801
3	12,310	1,609	0	0	10,701
4	34,801	1,671	20.02	7,905	25,205
5	35,149	1,798	160.16	0	33,191
6	34,209	1,724	220.22	0	32,265
7	32,048	1,792	220.22	0	30,036
8	32,315	2,019	220.22	0	30,076
9	32,066	1,785	220.22	0	30,061
10	32,035	1,824	220.22	0	29,991
11	32,064	1,804	220.22	0	30,040
12	30,971	1,813	180.18	0	28,978
13	17,588	1,284	60.06	0	16,244
14	13,616	1,160	20.02	0	12,436
TOTAL	355,016sf = 32982m²	24,043sf = 2,234 m²	1762sf = 164m²	8125sf = 755m²	321,086sf=29,830m²

AFFORDABLE HOUSING SUMMARY

Lot	Net Floor Area	Levels	# 1-BR	# 2-BR	# 3-BR	Total # Units
Lot 1 (East)	699 m ² (7,528 ft ²)	3 only	8	4	Nil	12
Lot 2 (West)	1,492 m ² (16,054 ft ²)	5, 6 & 7	3	7	7	17
TOTAL	2,191 m² (23,583 ft²)	Varies	11	11	7	29

PARKING SUMMARY – Lot 1 (East) Only

Parking Requirements by Use	Units	Vehicle Parking		Class 1 Bikes		Class 2 Bikes	
		Bylaw Min. Rate	Min. #	Bylaw Min. Rate	Min # & Proposed	Bylaw Min Rate	Min # & Proposed
RESIDENTIAL	169	Varies	168	1.25/unit	215	0.2/unit	34
▪ Market Hsg	157	0.9/unit	142	1.25/unit	197	0.2/unit	
▪ Affordable Hsg	12	0.81/unit	10	1.25/unit	18	0.2/unit	
▪ Visitors	169	50% (0.18/unit)	16	N/A	N/A	N/A	
TOTAL	169	Varies	168	Varies	215	Varies	34

PARKING SUMMARY – Lot 2 (West) Only

Parking Requirements by Use	Units & Area	Vehicle Parking		Class 1 Bikes		Class 2 Bikes	
		Bylaw Min. Rate	Min. #	Bylaw Min. Rate	Min # & Proposed	Bylaw Min Rate	Min # & Proposed
RESIDENTIAL	361	Varies	324	1.25/unit	452	0.2/unit	
▪ Market Hsg	344	0.9/unit	310	1.25/unit	430	0.2/unit	73
▪ Affordable Hsg	17	0.81/unit	14	1.25/unit	22	0.2/unit	
▪ Visitors	N/A	Shared with commercial parking		N/A	N/A	N/A	
OTHER	4,356.4 m²	Varies	148	0.27/100 m² gla	12	0.4/100 m² gla	18
▪ Retail & Office	3,162.6 m ²	3.375/100 m ² gla	107				
▪ Arts Space	1,193.8 m ²	41	41				
CAR-SHARE	N/A	N/A	3	N/A	N/A	N/A	N/A
TOTAL	-	Varies	475	Varies	464	Varies	91

*150 spaces include 65% (97) "Public Parking" spaces for short term use of the general public

ELECTRIC VEHICLE (EV) CHARGING EQUIPMENT REQUIREMENTS

Use	Vehicle Parking		Class 1 Bike Storage	
	Rate	Energized Equipment (1)	Rate	Energized Equipment (2)
EAST LOT & WEST LOT				
▪ Market Housing	100%	100%	10%	<ul style="list-style-type: none"> East Lot: 197 bikes x 10% = 20 West Lot: 430 bikes x 10% = 43 NOTE: Actual number to be based on number of spaces at Building Permit stage & at least 1 per 10 bikes or portion thereof in each bike storage room
▪ Affordable Housing	100%	100%	10%	<ul style="list-style-type: none"> East Lot: 18 bikes x 10% = 2 West Lot: 22 bikes x 10% = 3 NOTE: Actual number to be based on at least 1 per 10 bikes or portion thereof in each bike storage room
WEST LOT ONLY				
▪ Car-Share	2	Must be located to facilitate shared use by vehicles in all 3 car-share spaces	N/A	N/A
▪ Commercial	N/A	N/A	10%	2

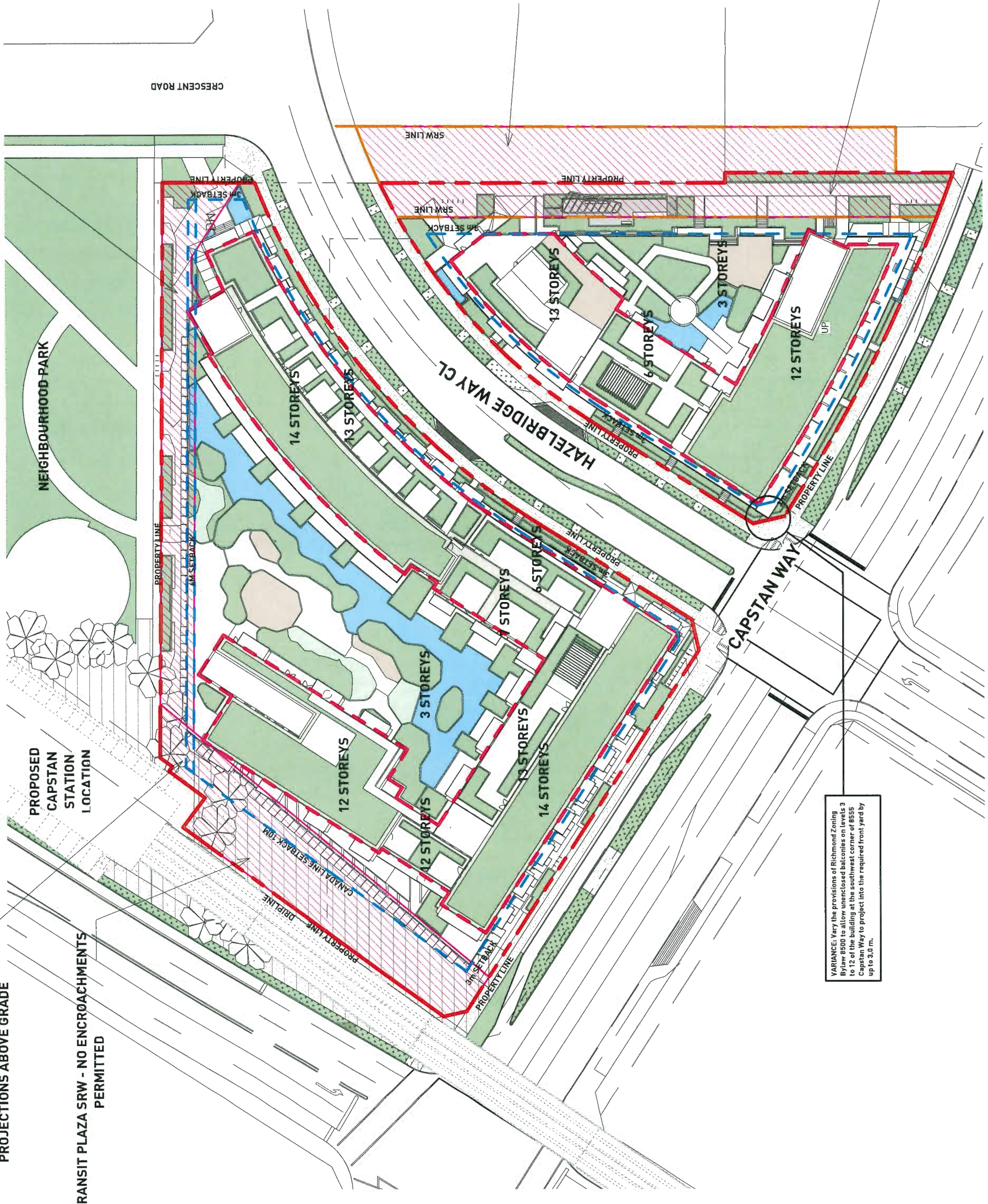
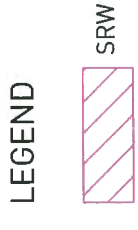
(1) Vehicle Parking "Energized Equipment" means operational 240 V / 40 A circuit and all related infrastructure required for the charging of an electric vehicle, including all electrical equipment (including metering), cabling and associated raceways, and connections AND:

- For Market Housing & Affordable Housing, EXCLUDES electric vehicle supply equipment (EVSE)
 - For Car-Share: INCLUDES electric vehicle supply equipment (EVSE)
- (2) Class 1 Bike Storage "Energized Equipment" means operational 120V duplex outlet for the charging of an electric bicycle and all the wiring, electrical equipment, and related features necessary to supply the required electricity for the operation of such an outlet. Must be located to facilitate shared use by multiple bikes

ARTS SPACE WALKWAY SRW - PARKING PERMITTED
 BELOW GRADE + TYPICAL PROJECTIONS ABOVE
 GRADE

TRANSIT PLAZA SRW - PARKING PERMITTED
 BELOW GRADE + TYPICAL BUILDING
 PROJECTIONS ABOVE GRADE

TRANSIT PLAZA SRW - NO ENCROACHMENTS
 PERMITTED



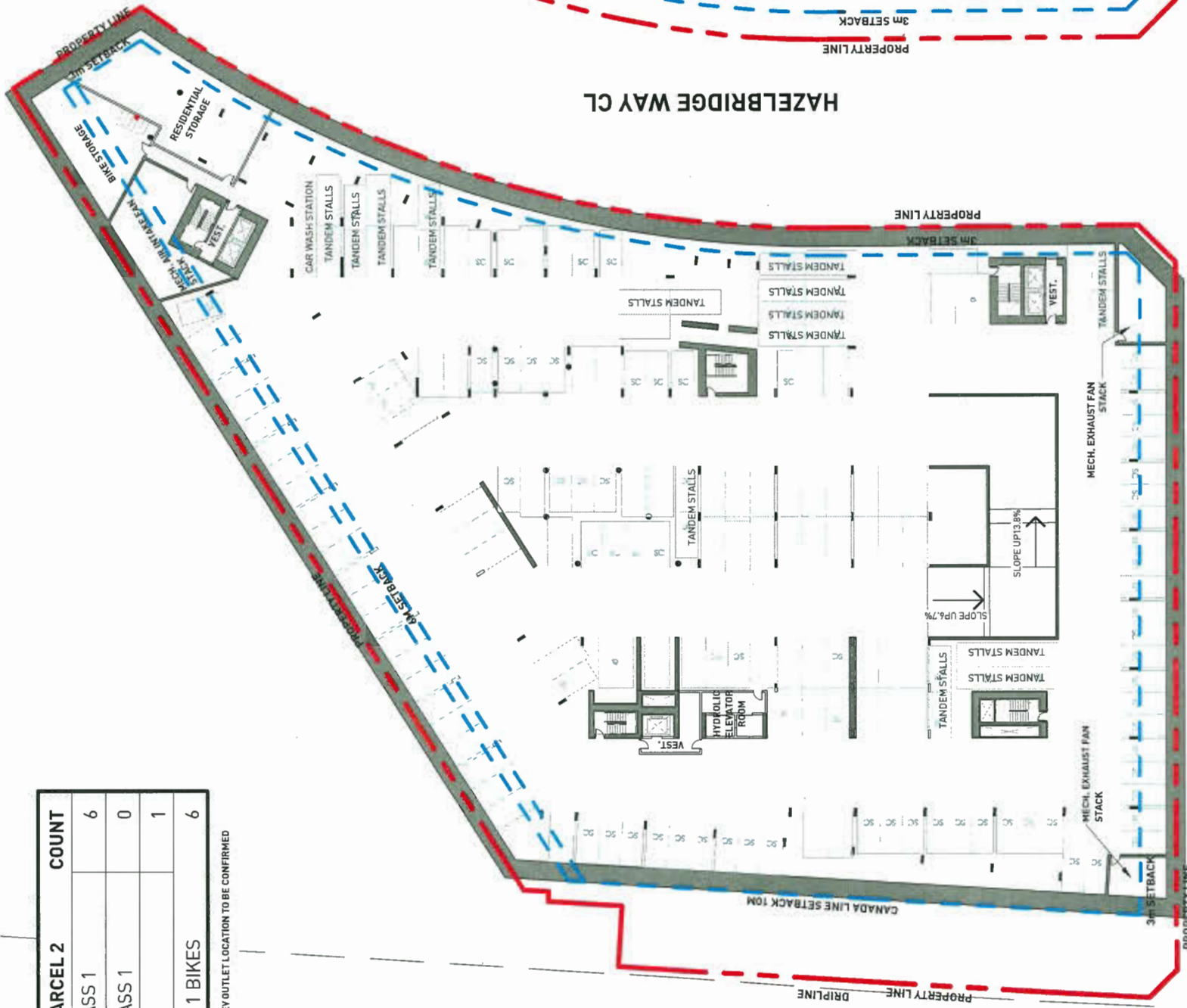
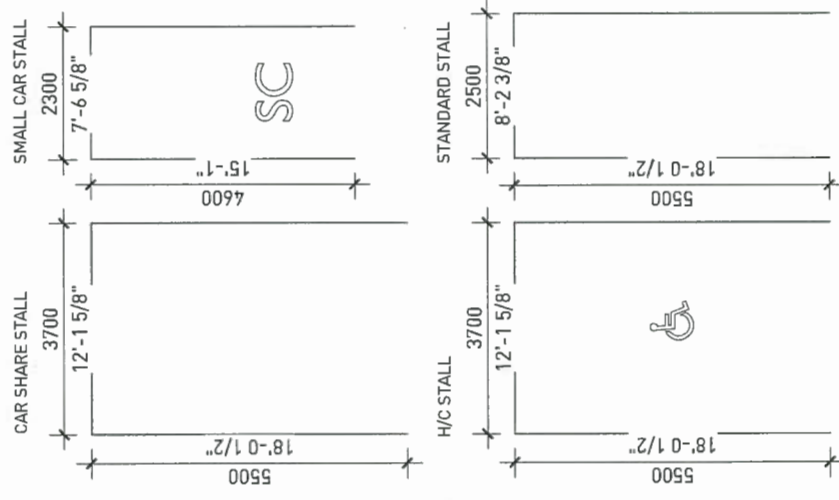
EXISTING MID-BLOCK TRAIL SRW ON
 ADJACENT RESIDENTIAL LOTS

MID-BLOCK TRAIL SRW - PARKING
 PERMITTED BELOW GRADE + LIMITED
 PROJECTIONS ABOVE GRADE

VARIANCE: Vary the provisions of Richmond Zoning
 Bylaw 8500 to allow unenclosed balconies on levels 3
 to 12 of the building at the southwest corner of 8555
 Capstan Way to project into the required front yard by
 up to 3.0 m.

Parking	Color
Car Share	Red
Drop Off (Public Parking)	Light Pink
Commercial Assigned	White
Hourly (Public Parking)	Dark Pink
Residential	Light Blue
Residential Visitor	Light Cyan

P-3 TOTAL PARKING	
BY USE	COUNT
CAR SHARE	0
DROP OFF (PUBLIC PARKING)	0
COMMERCIAL ASSIGNED	0
HOURLY (PUBLIC PARKING)	0
RESIDENTIAL	179
TOTAL P-3 PARKING	179
BY TYPE PARCEL 2	
BY TYPE	COUNT
SMALL CAR	89
ACCESSIBLE	3
STANDARD CAR	87
TOTAL P-3 PARKING	179



CLASS 1 BIKES PARCEL 2	COUNT
RESIDENTIAL CLASS 1	6
COMMERCIAL CLASS 1	0
EV OUTLETS*	1
TOTAL P-3 CLASS 1 BIKES	6

* RED DOT DENOTES TENTATIVE EV OUTLET LOCATION TO BE CONFIRMED

PARKING STALLS

3/32" = 1'-0"

P-3-Overall-DP

1" = 50'-0"

Parking

	Car Share
	Drop Off (Public Parking)
	Commercial Assigned
	Hourly (Public Parking)
	Residential
	Residential Visitor

P-2 TOTAL PARKING	
BY USE	COUNT
CAR SHARE	0
DROP OFF (PUBLIC PARKING)	0
COMMERCIAL ASSIGNED	0
HOURLY (PUBLIC PARKING)	0
RESIDENTIAL	265
TOTAL P-2 PARKING	265
BY TYPE PARCEL 1	
BY TYPE PARCEL 1	COUNT
SMALL CAR	37
ACCESSIBLE	2
STANDARD CAR	44
TOTAL P-2 PARCEL 1 PARKING	83
BY TYPE PARCEL 2	
BY TYPE PARCEL 2	COUNT
SMALL CAR	91
ACCESSIBLE	3
STANDARD CAR	88
TOTAL P-2 PARCEL 2 PARKING	182



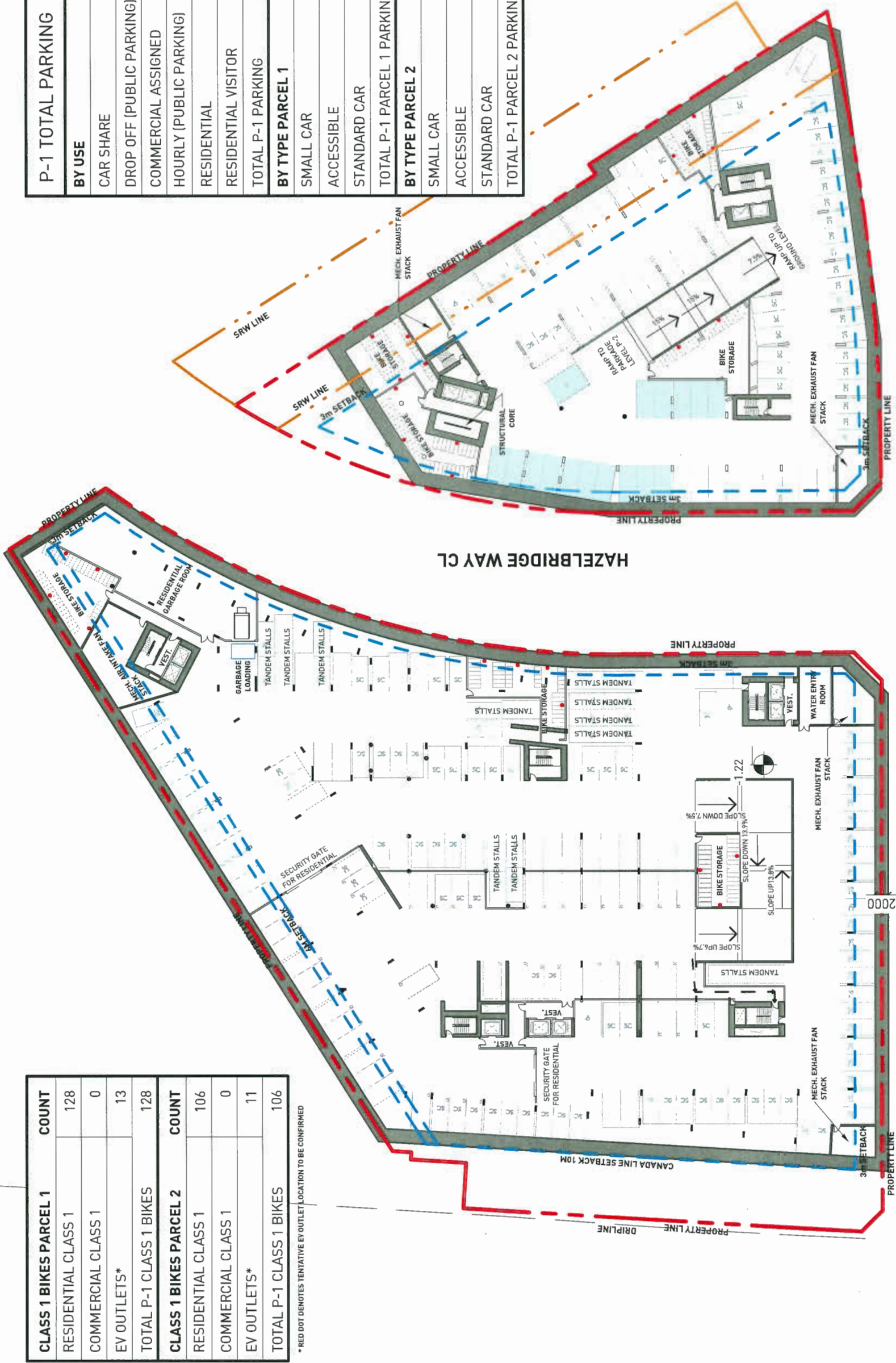
CLASS 1 BIKES PARCEL 1	COUNT
RESIDENTIAL CLASS 1	10
COMMERCIAL CLASS 1	0
EV OUTLETS*	1
TOTAL P-2 CLASS 1 BIKES	10
CLASS 1 BIKES PARCEL 2	COUNT
RESIDENTIAL CLASS 1	196
COMMERCIAL CLASS 1	0
EV OUTLETS*	20
TOTAL P-2 CLASS 1 BIKES	196

* RED DOT DENOTES TENTATIVE EV OUTLET LOCATION TO BE CONFIRMED

Parking

	Car Share
	Drop Off (Public Parking)
	Commercial Assigned
	Hourly (Public Parking)
	Residential
	Residential Visitor

P-1 TOTAL PARKING	
BY USE	COUNT
CAR SHARE	0
DROP OFF (PUBLIC PARKING)	0
COMMERCIAL ASSIGNED	46
HOURLY (PUBLIC PARKING)	0
RESIDENTIAL	193
RESIDENTIAL VISITOR	16
TOTAL P-1 PARKING	255
BY TYPE PARCEL 1	
SMALL CAR	37
ACCESSIBLE	2
STANDARD CAR	47
TOTAL P-1 PARCEL 1 PARKING	86
BY TYPE PARCEL 2	
SMALL CAR	93
ACCESSIBLE	2
STANDARD CAR	67
TOTAL P-1 PARCEL 2 PARKING	169



CLASS 1 BIKES PARCEL 1	COUNT
RESIDENTIAL CLASS 1	128
COMMERCIAL CLASS 1	0
EV OUTLETS*	13
TOTAL P-1 CLASS 1 BIKES	128
CLASS 1 BIKES PARCEL 2	COUNT
RESIDENTIAL CLASS 1	106
COMMERCIAL CLASS 1	0
EV OUTLETS*	11
TOTAL P-1 CLASS 1 BIKES	106

* RED DOT DENOTES TENTATIVE EV/OUTLET LOCATION TO BE CONFIRMED

Commercial

- Arts Facility
- Office
- Retail

Market Units

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom
- Townhouse
- Townhouse

Market BUH Units

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

Affordable BUH Units

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

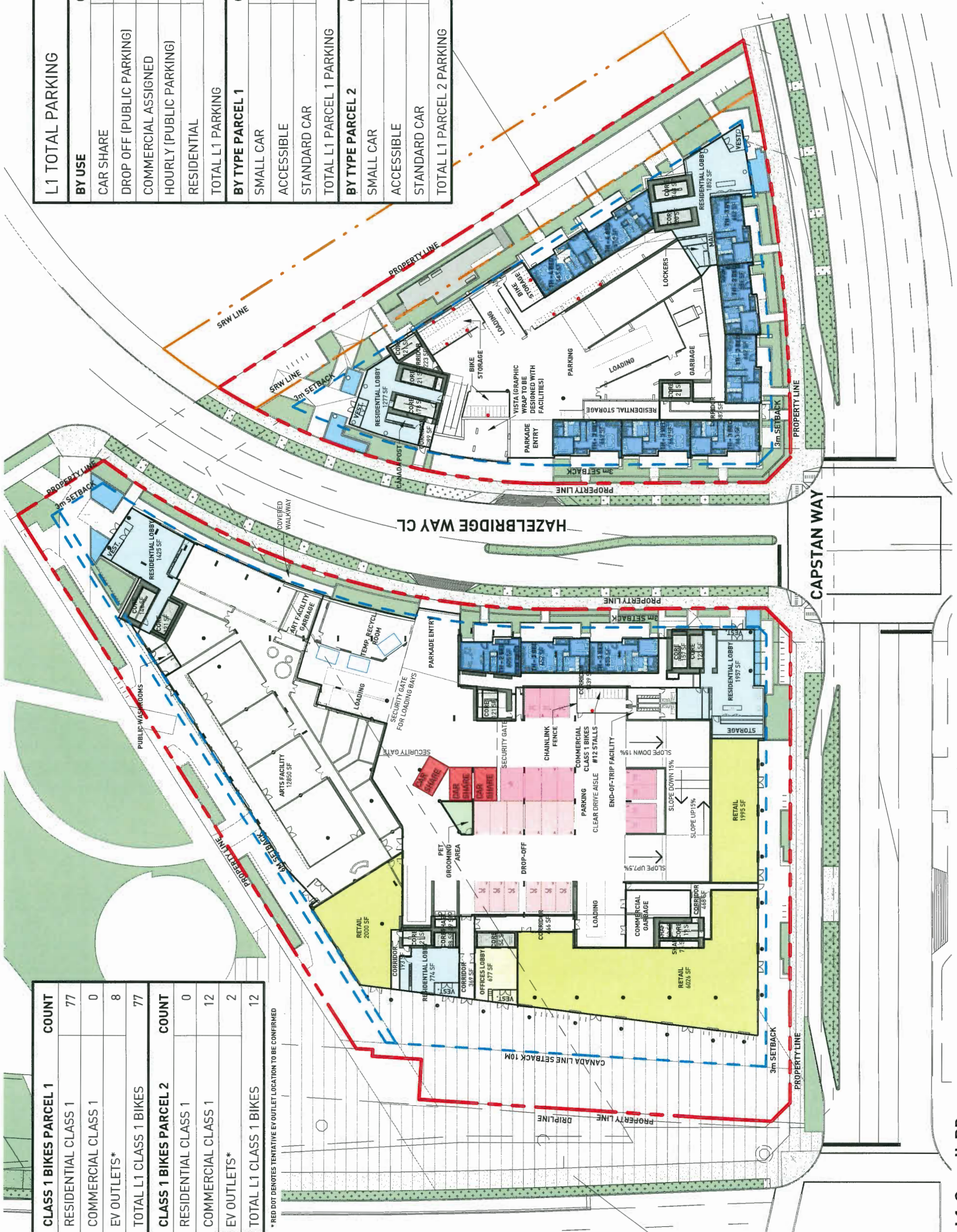
Amenity

- Indoor
- Outdoor

Parking

- Car Share
- Drop Off (Public Parking)
- Hourly (Public Parking)

L1 TOTAL PARKING	
BY USE	COUNT
CAR SHARE	3
DROP OFF (PUBLIC PARKING)	12
COMMERCIAL ASSIGNED	0
HOURLY (PUBLIC PARKING)	11
RESIDENTIAL	0
TOTAL L1 PARKING	26
BY TYPE PARCEL 1	
SMALL CAR	0
ACCESSIBLE	0
STANDARD CAR	0
TOTAL L1 PARCEL 1 PARKING	0
BY TYPE PARCEL 2	
SMALL CAR	13
ACCESSIBLE	1
STANDARD CAR	12
TOTAL L1 PARCEL 2 PARKING	26

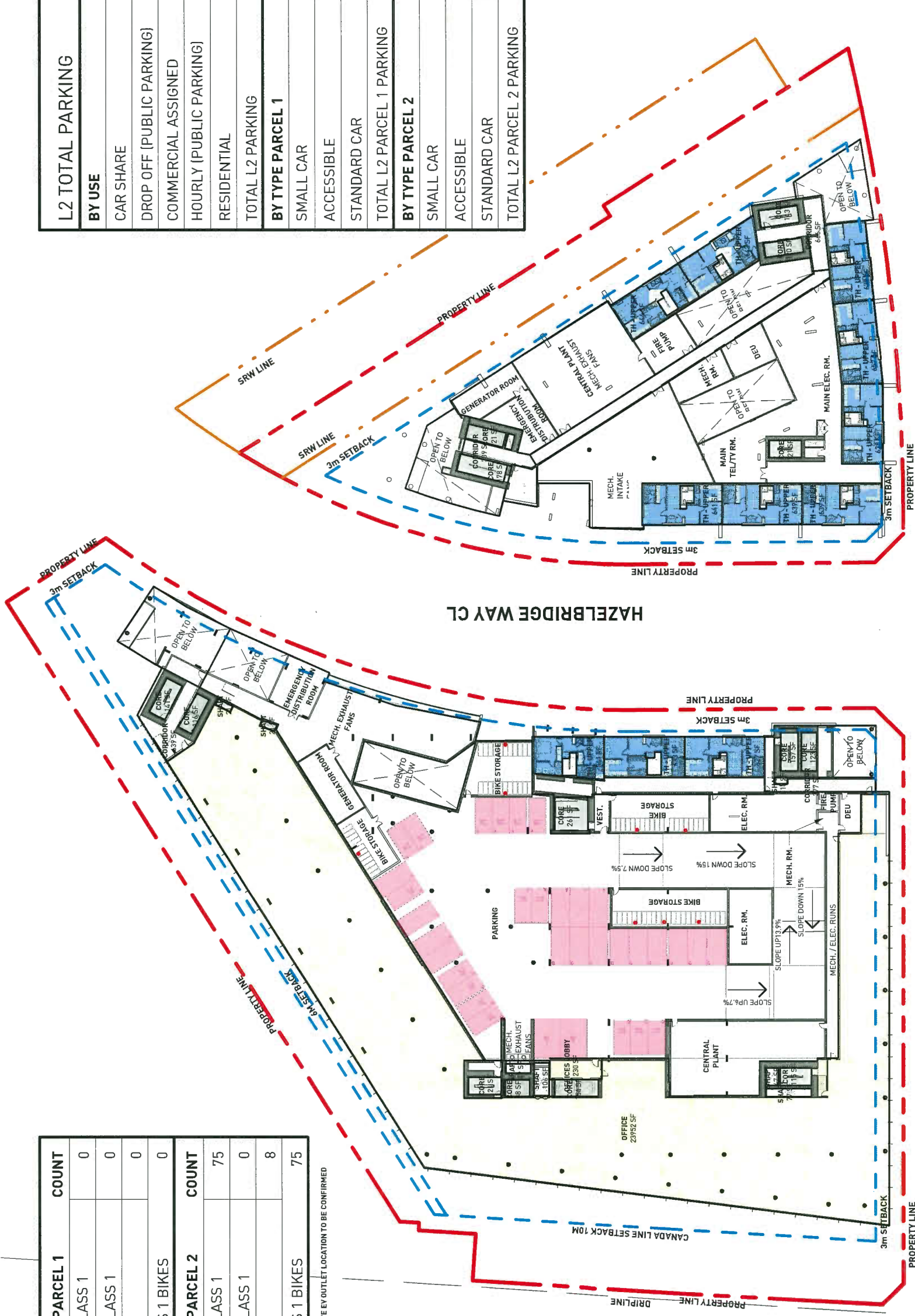


CLASS 1 BIKES PARCEL 1	
RESIDENTIAL CLASS 1	COUNT
RESIDENTIAL CLASS 1	77
COMMERCIAL CLASS 1	0
EV OUTLETS*	8
TOTAL L1 CLASS 1 BIKES	77
CLASS 1 BIKES PARCEL 2	
RESIDENTIAL CLASS 1	0
COMMERCIAL CLASS 1	12
EV OUTLETS*	2
TOTAL L1 CLASS 1 BIKES	12

* RED DOT DENOTES TENTATIVE EV OUTLET LOCATION TO BE CONFIRMED

CLASS 1 BIKES PARCEL 1	COUNT
RESIDENTIAL CLASS 1	0
COMMERCIAL CLASS 1	0
EV OUTLETS*	0
TOTAL L2 CLASS 1 BIKES	0
CLASS 1 BIKES PARCEL 2	COUNT
RESIDENTIAL CLASS 1	75
COMMERCIAL CLASS 1	0
EV OUTLETS*	8
TOTAL L2 CLASS 1 BIKES	75

*RED DOT DENOTES TENTATIVE EV OUTLET LOCATION TO BE CONFIRMED



L2 TOTAL PARKING	
BY USE	COUNT
CAR SHARE	0
DROP OFF (PUBLIC PARKING)	0
COMMERCIAL ASSIGNED	0
HOURLY (PUBLIC PARKING)	34
RESIDENTIAL	0
TOTAL L2 PARKING	34
BY TYPE PARCEL 1	
SMALL CAR	0
ACCESSIBLE	0
STANDARD CAR	0
TOTAL L2 PARCEL 1 PARKING	0
BY TYPE PARCEL 2	
SMALL CAR	16
ACCESSIBLE	5
STANDARD CAR	16
TOTAL L2 PARCEL 2 PARKING	34

Commercial

- Arts Facility
- Office
- Retail

Market Units

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom
- Townhouse
- Townhouse

Market BUH Units

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

Affordable BUH Units

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

Amenity

- Indoor
- Outdoor

Parking

- Car Share
- Drop Off (Public Parking)
- Commercial Assigned
- Hourly (Public Parking)
- Residential
- Residential Visitor

CAPSTAN WAY

HAZELBRIDGE WAY CL

CLASS 1 BIKES PARCEL 1	COUNT
RESIDENTIAL CLASS 1	0
COMMERCIAL CLASS 1	0
EV OUTLETS*	0
TOTAL L3 CLASS 1 BIKES	0
CLASS 1 BIKES PARCEL 2	COUNT
RESIDENTIAL CLASS 1	69
COMMERCIAL CLASS 1	0
EV OUTLETS*	7
TOTAL L3 CLASS 1 BIKES	69

* RED DOT DENOTES TENTATIVE EV OUTLET LOCATION TO BE CONFIRMED

L3 TOTAL PARKING	
BY USE	COUNT
CAR SHARE	0
DROP OFF (PUBLIC PARKING)	0
COMMERCIAL ASSIGNED	7
HOURLY (PUBLIC PARKING)	40
RESIDENTIAL	0
TOTAL L3 PARKING	47
BY TYPE PARCEL 1	
SMALL CAR	0
ACCESSIBLE	0
STANDARD CAR	0
TOTAL L3 PARCEL 1 PARKING	0
BY TYPE PARCEL 2	
SMALL CAR	16
ACCESSIBLE	0
STANDARD CAR	31
TOTAL L3 PARCEL 2 PARKING	47

Commercial

Arts Facility
Office
Retail

Market Units

1 Bedroom
2 Bedroom
3 Bedroom
Townhouse
Townhouse

Market BUH Units

1 Bedroom
2 Bedroom
3 Bedroom

Affordable BUH Units

1 Bedroom
2 Bedroom
3 Bedroom

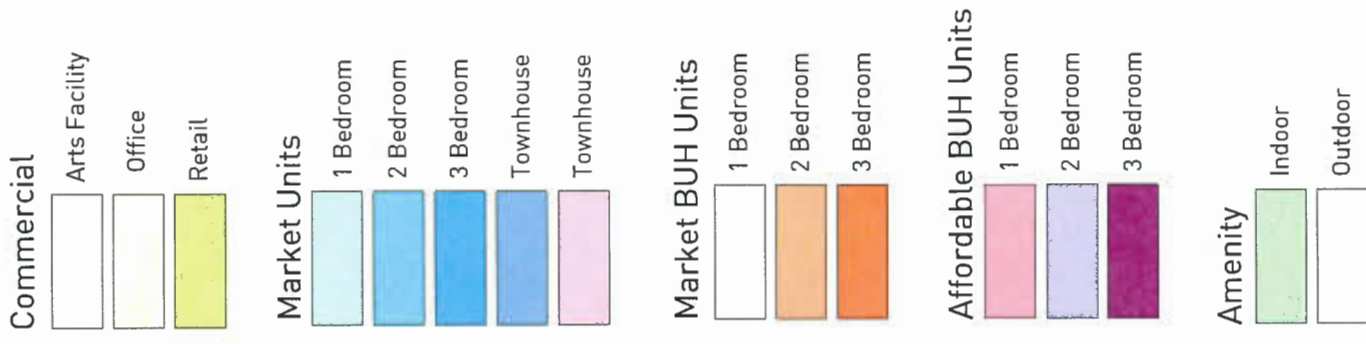
Amenity

Indoor
Outdoor

Parking

Car Share
Drop Off (Public Parking)
Commercial Assigned
Hourly (Public Parking)
Residential
Residential Visitor





VARIANCE: Vary the provisions of Richmond Zoning Bylaw 8500 to allow unenclosed balconies on levels 3 to 12 of the building at the southwest corner of 8555 Capstan Way to project into the required front yard by up to 3.0 m.

Commercial

Arts Facility
Office
Retail

Market Units

1 Bedroom
2 Bedroom
3 Bedroom
Townhouse
Townhouse

Market BUH Units

1 Bedroom
2 Bedroom
3 Bedroom

Affordable BUH Units

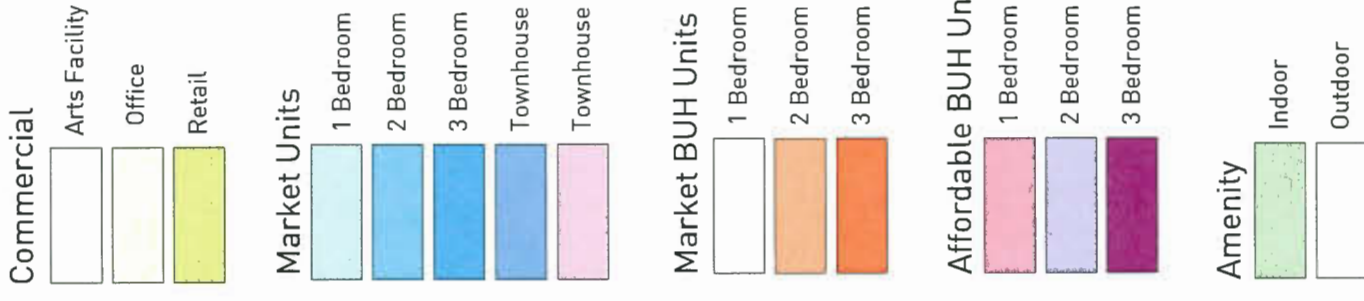
1 Bedroom
2 Bedroom
3 Bedroom

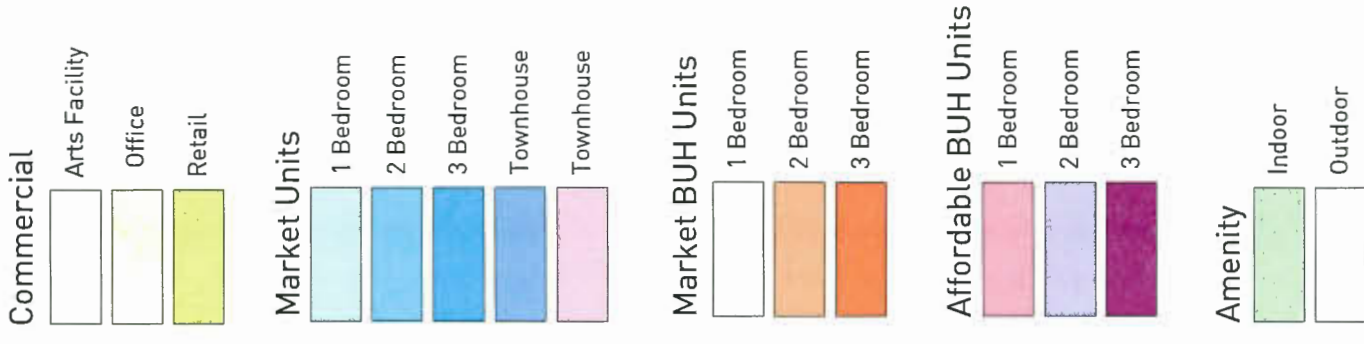
Amenity

Indoor
Outdoor



VARIANCE: Vary the provisions of Richmond Zoning Bylaw 8600 to allow increased balconies on levels 3 to 12 of the building at the southwest corner of 8555 Capstan Way to project into the required front yard by up to 3.0 m.





VARIANCE: Vary the provisions of Richmond Zoning Bylaw 8500 to allow unenclosed balconies on levels 3 to 12 of the building at the southwest corner of 8555 Capstan Way to project into the required front yard by up to 3.0 m.

Commercial

- Arts Facility
- Office
- Retail

Market Units

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom
- Townhouse
- Townhouse

Market BUH Units

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

Affordable BUH Units

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

Amenity

- Indoor
- Outdoor



Commercial	Arts Facility	1 Bedroom	1 Bedroom	Affordable BUH Units	Indoor
Office	2 Bedroom	2 Bedroom	2 Bedroom	Outdoor	
Retail	3 Bedroom	3 Bedroom	3 Bedroom		
	Townhouse				
	Townhouse				



Commercial

- Arts Facility
- Office
- Retail

Market Units

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom
- Townhouse
- Townhouse

Market BUH Units

- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

Affordable BUH Units

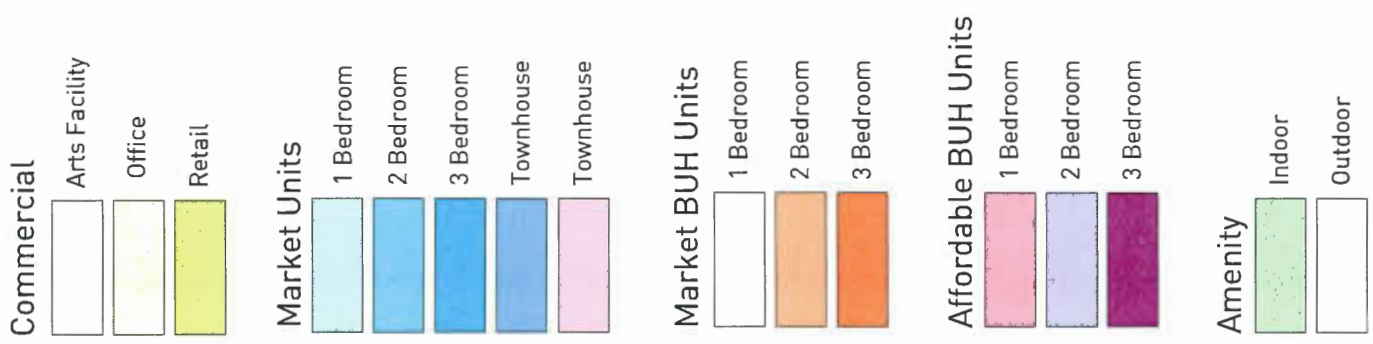
- 1 Bedroom
- 2 Bedroom
- 3 Bedroom

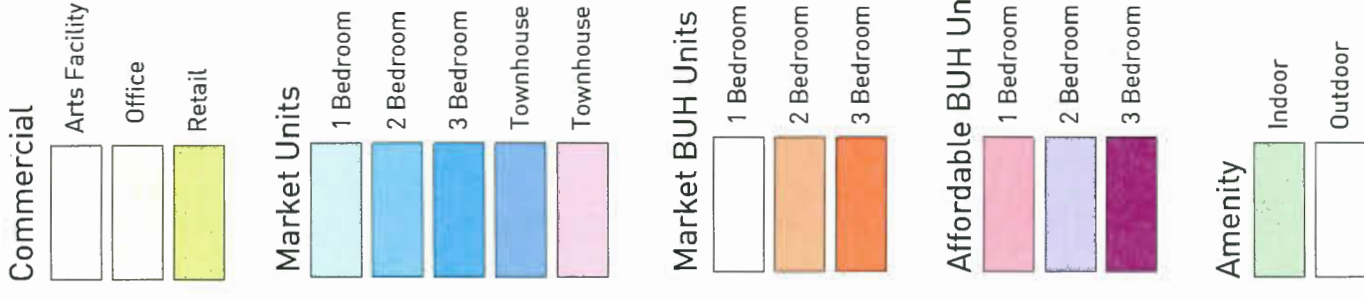
Amenity

- Indoor
- Outdoor



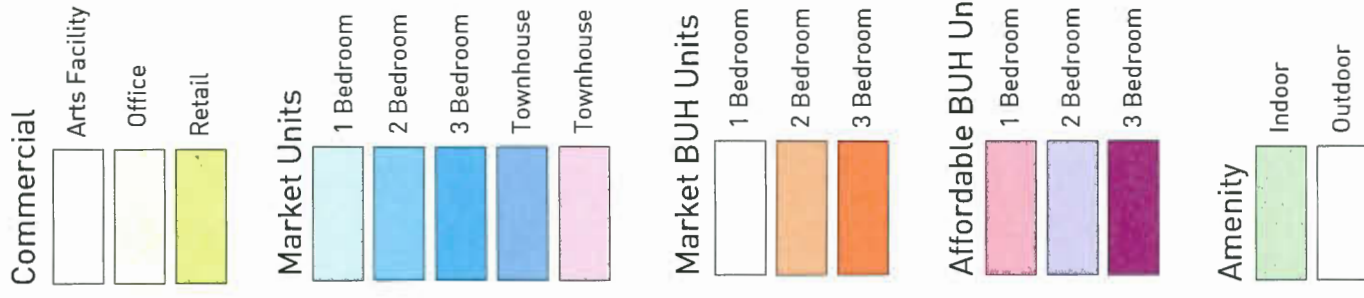
VARIANCE: Vary the provisions of Richmond Zoning Bylaw 8550 to allow projected balconies on levels 3 to 12 of the building at the southeast corner of 8555 Capstan Way to project into the required front yard by up to 3.0 m.

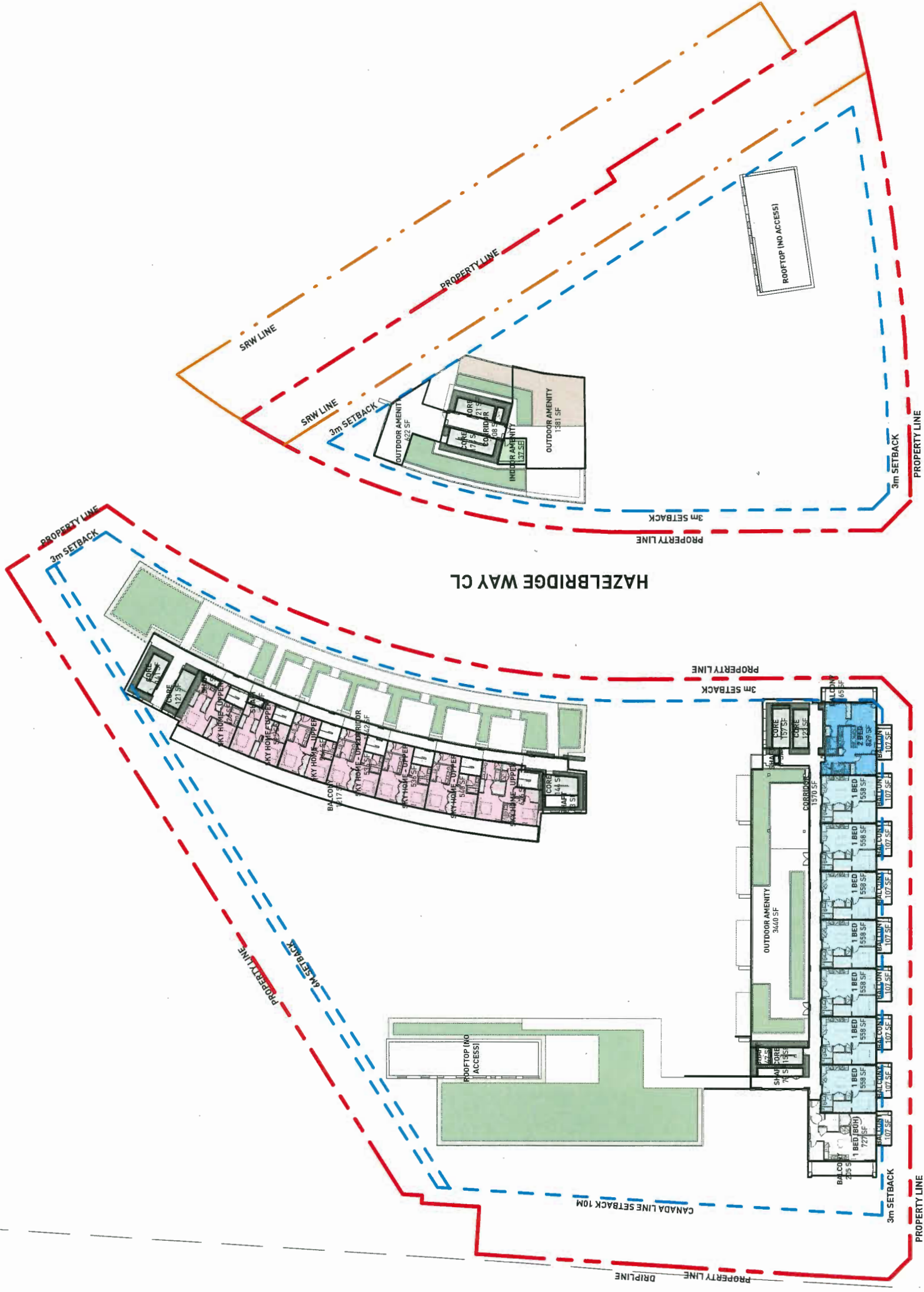
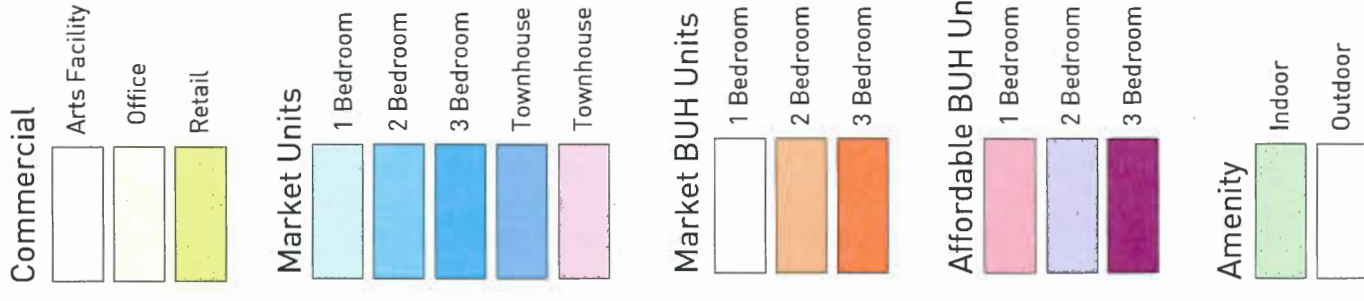




VARIANCE: Vary the provisions of Richmond Zoning Bylaw 8500 to allow unenclosed balconies on levels 3 to 12 of the building at the southwest corner of 8555 Capstan Way to project into the required front yard by up to 3.0 m.

CAPSTAN WAY



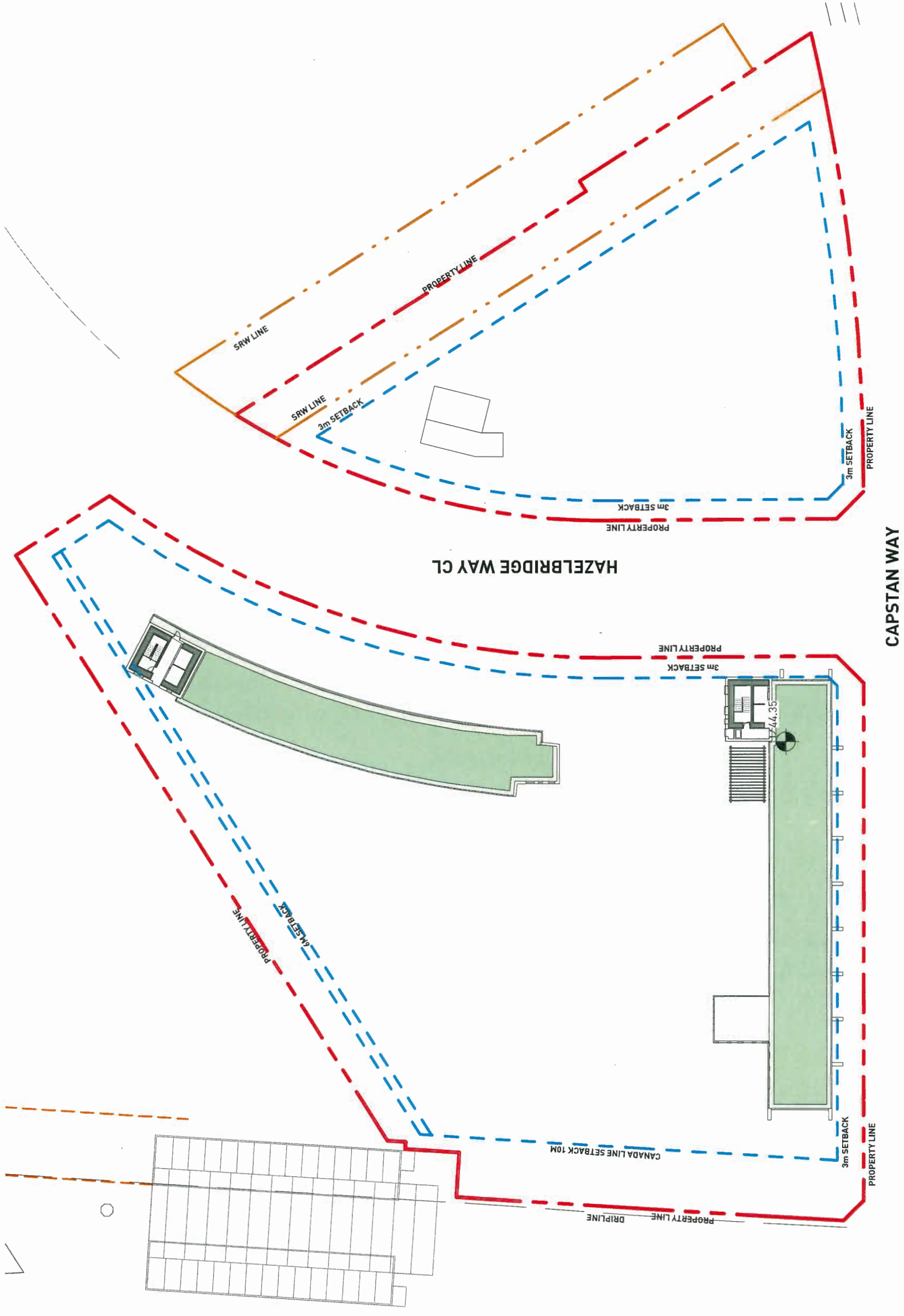
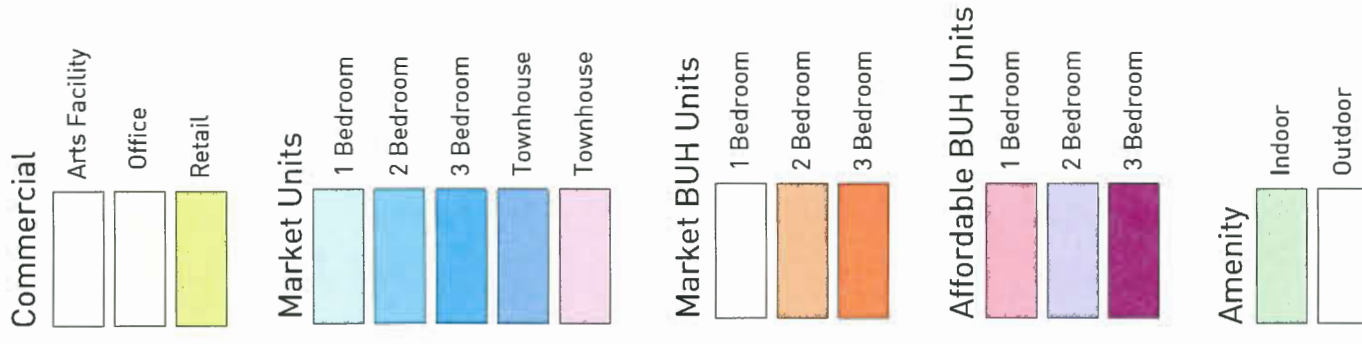


CAPSTAN WAY

DP 17-787403
 AUG 8/18
 PLAN #3r

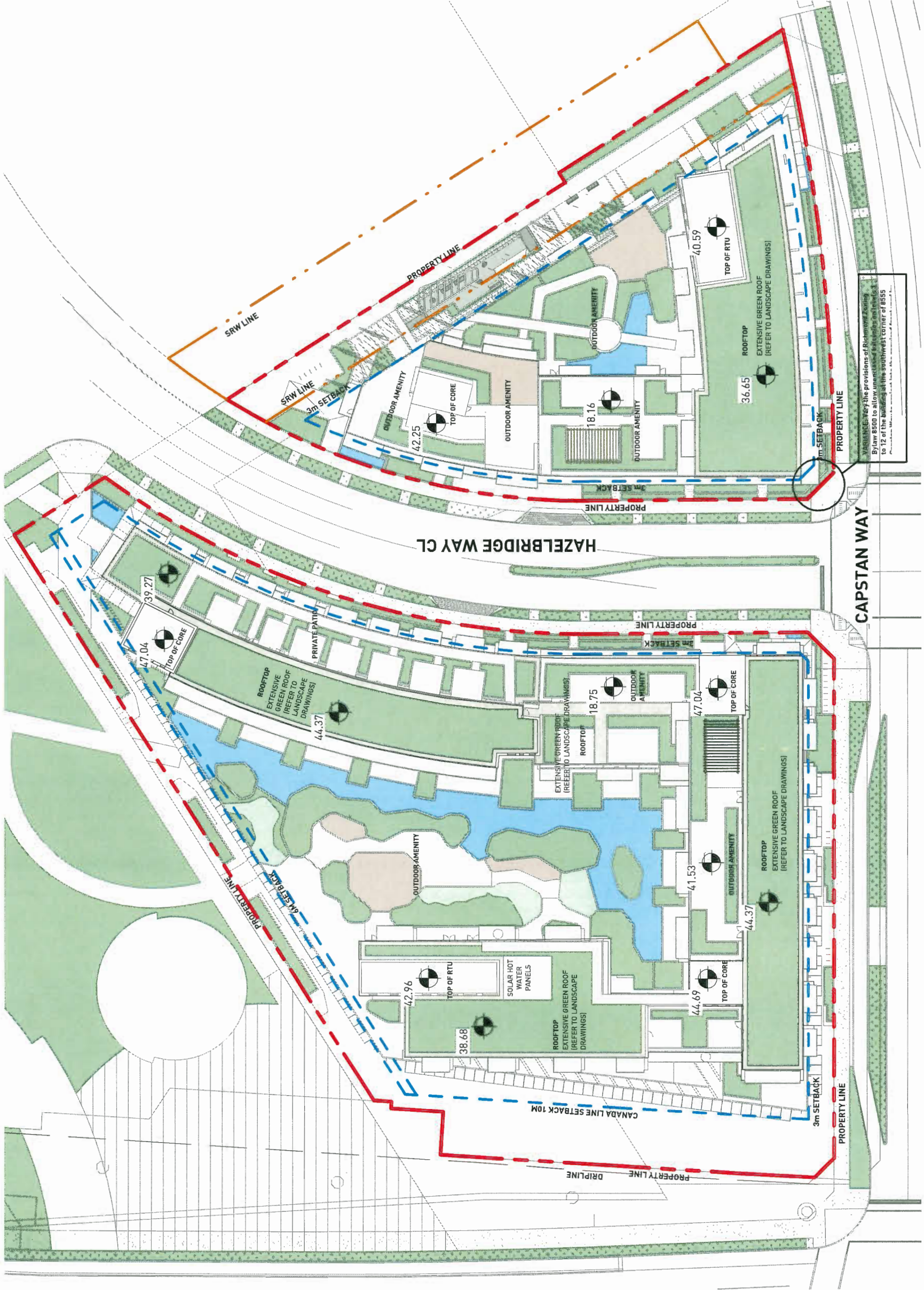
GBLARCHITECTS

8555 Capstan Way and 3400 No. 3 Road
 (formerly 8511 Capstan Way and 3360 No. 3 Road)



L15-Overall-DP
 1" = 50'-0"

Commercial		Arts Facility
		Office
		Retail
Market Units		1 Bedroom
		2 Bedroom
		3 Bedroom
		Townhouse
		Townhouse
Market BUH Units		1 Bedroom
		2 Bedroom
		3 Bedroom
Affordable BUH Units		1 Bedroom
		2 Bedroom
		3 Bedroom
Amenity		Indoor
		Outdoor





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NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
 Concord Station
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4a

ADDRESS
 8511 Capstan Way
 E. No. 3 Road
 Richmond, BC

DRAWING TITLE
 Cover Page

PROJECT NO. 16055
DATE 05 September 2017
FILE NAME 16055 PLAN Master.vwx
PLOTTED 18-8-9
DRAWN PY
REVIEWED

SCALE
 NTS

NORTH

PROJECT NO. 16055
DATE 05 September 2017
FILE NAME 16055 PLAN Master.vwx
PLOTTED 18-8-9
DRAWN PY
REVIEWED

L0.00

PROJECT NAME
 Concord Capstan Station

CIVIC ADDRESS
 8511 Capstan Way & No. 3 Road

LEGAL ADDRESS
 8511 Capstan Way & No. 3 Road
 Richmond, BC

DRAWING CONTENTS

L0.00	Cover Page
L0.01	Precedent Images
L0.02	Precedent Images
L1.00	Legend and Notes
L1.01	Layout and Materials Plan - Ground Level
L1.02	Layout and Materials Plan - Ground Level
L1.03	Layout and Materials Plan - Ground Level
L1.04	Layout and Materials Plan - Level 4
L1.05	Layout and Materials Plan - Level 6
L1.06	Layout and Materials Plan - Level 7
L1.07	Layout and Materials Plan - Level 12
L1.08	Layout and Materials Plan - Level 13
L1.09	Layout and Materials Plan - Level 14
L1.10	Layout and Materials Plan - Level 15
L1.11	Landscape Sections - Upper Levels
L2.01	Grading Plan - Ground Level
L2.02	Grading Plan - Ground Level
L2.03	Grading Plan - Ground Level
L3.00	Planting Legend
L3.01	Planting Plan - Ground Level
L3.02	Planting Plan - Ground Level
L3.03	Planting Plan - Ground Level
L3.04	Planting Plan - Level 4
L3.05	Planting Plan - Level 6
L3.06	Planting Plan - Level 7
L3.07	Planting Plan - Level 12
L3.08	Planting Plan - Level 13
L3.09	Planting Plan - Level 14
L3.10	Planting Plan - Level 15
L4.01	Lighting Plan - Ground Level
L4.02	Lighting Plan - Ground Level
L4.03	Lighting Plan - Ground Level
L4.04	Lighting Plan - Level 4
L4.05	Lighting Plan - Level 6
L4.06	Lighting Plan - Level 7
L4.07	Lighting Plan - Level 12
L4.08	Lighting Plan - Level 13
L4.09	Lighting Plan - Level 14
L5.01	Landscape Details
L5.02	Landscape Details
L5.03	Landscape Details
L5.04	Landscape Details
L5.05	Landscape Details
L5.06	Landscape Details





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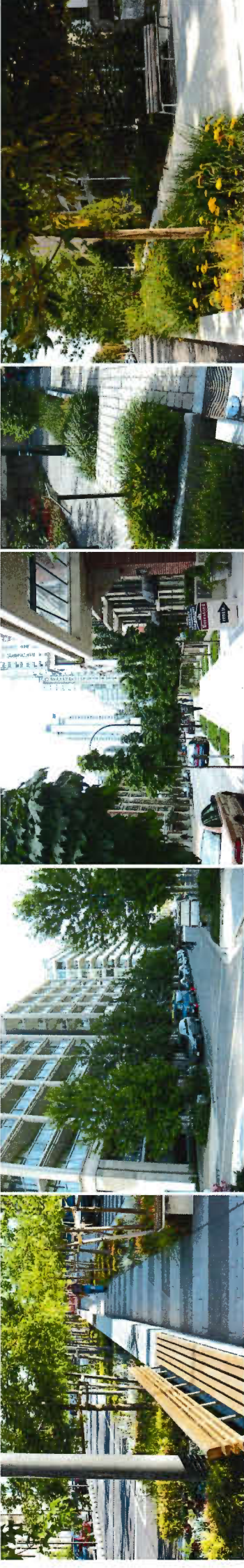


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2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



RAIN GARDENS TOWN HOME STREET FRONTING PAVING INSPIRATION BIKE LANE WITH RAIN GARDENS



RAIN GARDENS STREET PARKING



FOLDED LANDSCAPES FOLDED LANDSCAPES EXTENSIVE GREEN ROOF EXTENSIVE GREEN ROOF TEXTURED LAYERS



WATER FEATURE TEXTURED LAYERS WATER FEATURE



**CONCORD
PACIFIC**

PROJECT
**Concord
Capstan Station**
 DP 17-787403
 August 8, 2018
 PLAN # 4b

ADDRESS
 8511 Capstan Way
 & No. 3 Road
 Richmond, BC

DRAWING TITLE
PRECEDENT IMAGES



SCALE
NTS

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DATE	05 September 2017
FILE NAME	16055 Precedent Images.vwx
PLOTTED	18-8-9
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REVIEWED	

L0.02



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 WWW.GBLINC.COM

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1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



RAIN GARDEN



TRELLIS



PLANTING BEDS WITH SEATING



PLAYSPACES



SEATING



CURVILINEAR ENTRANCES



PAVING INSPIRATION



PLAYSPACES



CONCORD PACIFIC
 PROJECT
Concord Capstan Station
DP 17-787403
 August 8, 2018
PLAN # 4c
 ADDRESS
 8511 Capstan Way
 81 No. 3 Road
 Richmond, BC

DRAWING TITLE
PRECEDENT IMAGES

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PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 Precedent Images.vwx
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	
DRAWING	



SCALE
NTS



GREENWAY



L0.03

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
F1	METAL GATE
F2	METAL CHAIR / BAMBURILL FINISH
F3	BENCH
F4	OUT DOOR BIRD WITH HYDR0 AND GAS CONNECTIONS
F5	BAMBURILL
F6	FIRE PIT
F7	METAL TRELLIS
F8	CHILL LOUNGE
F9	URBAN AGRICULTURE PLANTERS
F10	PICNIC TABLE - CHARLIE TABLE (LANDSCAPE FORMS)
F11	LOUNGE CHAIR AND TABLE SET
F12	HARVEST TABLE
F13	COMPOST BIN
F14	TOOL BOX
F15	LOUNGE CHAIR
F16	BIKE RACK
F17	BUILT IN PLATFORM/ SEATING
F18	TRASH RECEPTACLE

HARDSCAPE LEGEND	
KEY	DESCRIPTION
H1	CIP CONCRETE STAIRS WITH METAL HANDRAIL AND TACTILE WARNING STRIP
H2	CIP CONCRETE WALL/ CURB
H3	CIP CONCRETE FLUSH CURB
H4	CIP CONCRETE CURB REFER TO CIVIL
H5	CIP CONCRETE RAMP WITH METAL HANDRAIL
H6	NATURAL BouldERS
H7	WATER FEATURE POOL REFER TO POOL BOTTOM

PAVING LEGEND	
KEY	DESCRIPTION
P1	CIP CONCRETE PAVING COLOUR: NATURAL
P2	CIP CONCRETE PAVING COLOUR: CHARCOAL
P3	CIP CONCRETE PAVING BROOM FINISH REFER TO CIVIL
P4	CIP CONCRETE PAVING TO MATCH ADJACENT PARK
P5	HYDRAFINISHED SLABS GREY GRANITE
P6	CONCRETE UNIT PAVEMENT TYPE 1 RUNNING BIND
P7	CONCRETE UNIT PAVEMENT TYPE 2 CHARCOAL
P8	CONCRETE UNIT PAVEMENT TYPE 4 RUNNING BIND COLOUR: NATURAL
P9	CONCRETE UNIT PAVEMENT TYPE 5 RUNNING BIND COLOUR: CHARCOAL
P10	STONE PAVEMENT TYPE 1
P11	STONE PAVEMENT TYPE 2
P12	STONE PAVING Granite
P13	ARTIFICIAL LAWN TYPE 1
P14	ARTIFICIAL LAWN TYPE 2
P15	RESILIENT SURFACE 50% BLACK AND 50% RED
P16	MAINTENANCE STRIP
P17	COMPOSITE DECKING
P18	SAND COLOUR: NATURAL
P19	PEBBLE MAT SET TRUE WITH NO ROCKING OR MOVEMENT COLOUR: NATURAL

GRADING LEGEND	
KEY	DESCRIPTION
EL	Existing Elevation
PE	Proposed Elevation
FFEL	Finished Floor Elevation
TTWEL	Proposed Top of Wall Elevation
BBWEL	Proposed Bottom of Wall Elevation
TSWEL	Proposed Top of SIAIR Elevation
BSWEL	Proposed Bottom of SIAIR Elevation
TREL	Proposed Top of Ramp Elevation
BRWEL	Proposed Bottom of Ramp Elevation
TBEWEL	Proposed Top of Bench Elevation

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

LAYOUT AND MATERIALS GENERAL NOTES

- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

GRADING GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% DN ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
- UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
- TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

PLANTING GENERAL NOTES

- ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION.
- SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
- PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
- PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
- PLANTS WILL BE NURSERY GROWN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
- CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.
- EXCAVATING WITHIN EXISTING TREE ROOT SYSTEM / TREE PROTECTION ZONE IS TO BE DONE BY HAND. IF THE CONTRACTOR DOES ENCOUNTER LARGE ROOT SYSTEM CONTACT LANDSCAPE CONSULTANT AND ARBORIST FOR REVIEW PRIOR TO MOVING FORWARD.
- PLACEMENT OF GROWING MEDIUM AND PLANTING MATERIALS WITHIN EXISTING TREE ROOT SYSTEM / TREE PROTECTION ZONE REQUIRES ON-SITE DIRECTION FROM ARBORIST.



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NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



CONCORD
PACIFIC
Concord
Capstan Station
DP 17-787403
August 8, 2018
PLAN # 4d

ADDRESS
 8511 Capstan Way
 Rt No. 3 Road
 Richmond, BC

Legend and Notes

SCALE

PROJECT NO.	18055
DATE	08 September 2017
FILE NAME	18055 PLAN Master.ywx
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	

L1.00

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1	17-9-22	Issued for DP
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PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4e

ADDRESS
 8511 Capstan Way
 & No. 3 Road
 Richmond, BC

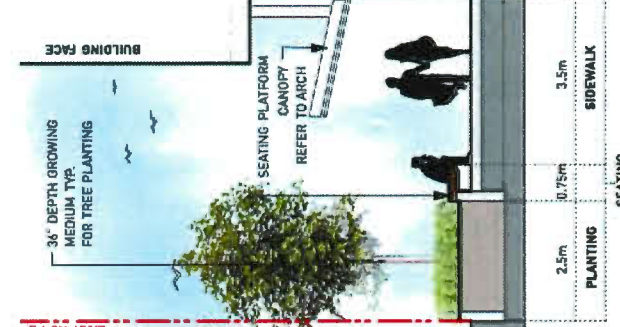
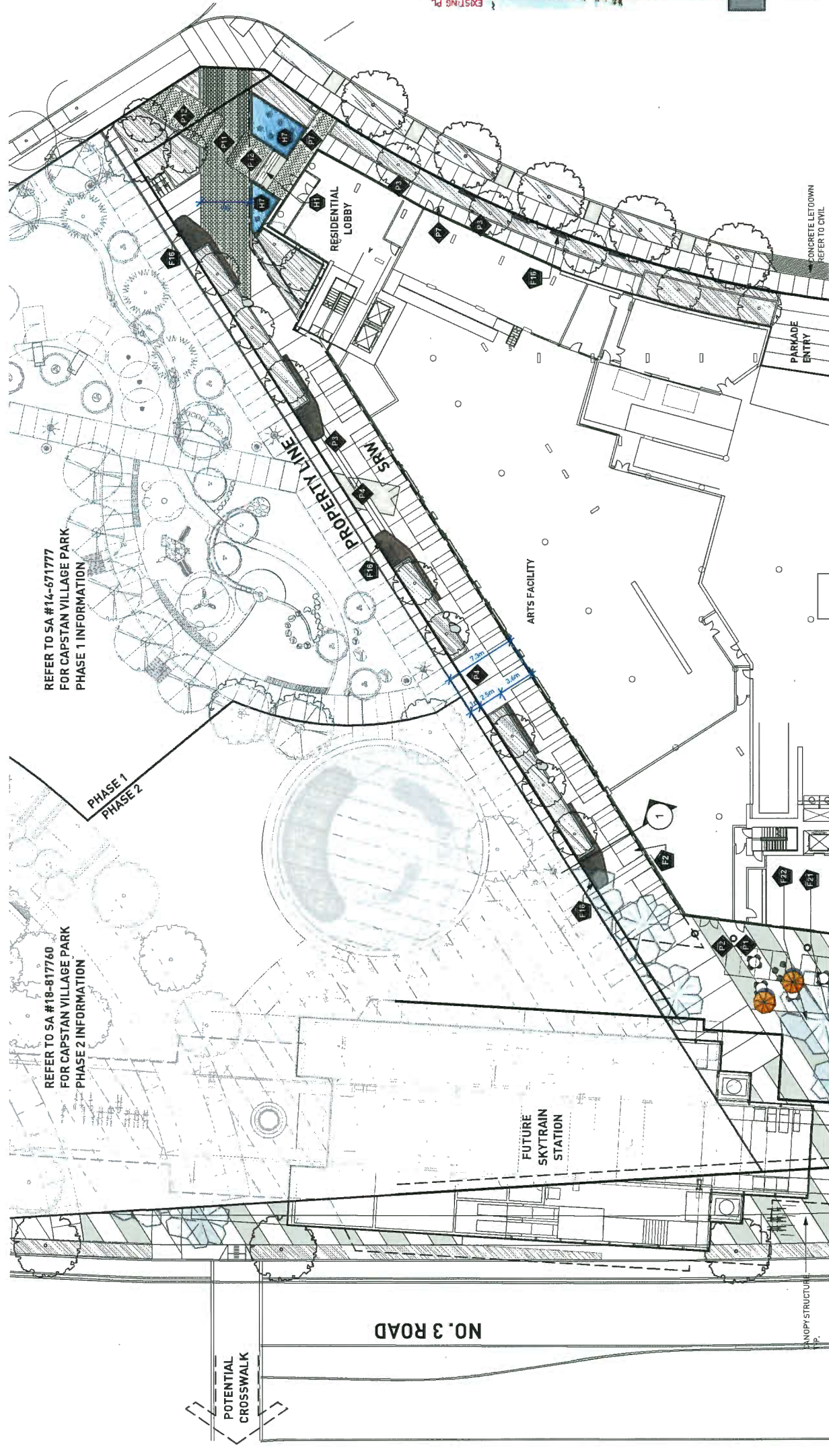
DRAWING TITLE
 Layout and Materials Plan
 Ground Level

SCALE
 AS SHOWN



PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.vwx
PLOTTED	18-8-9
DESIGN	PF
DRAWING	REVISED

L1.01



1 Layout and Materials - Ground Level Art Walkway
 Scale: 1:500

2 Section 1 - Art Walkway
 Scale: 1:150



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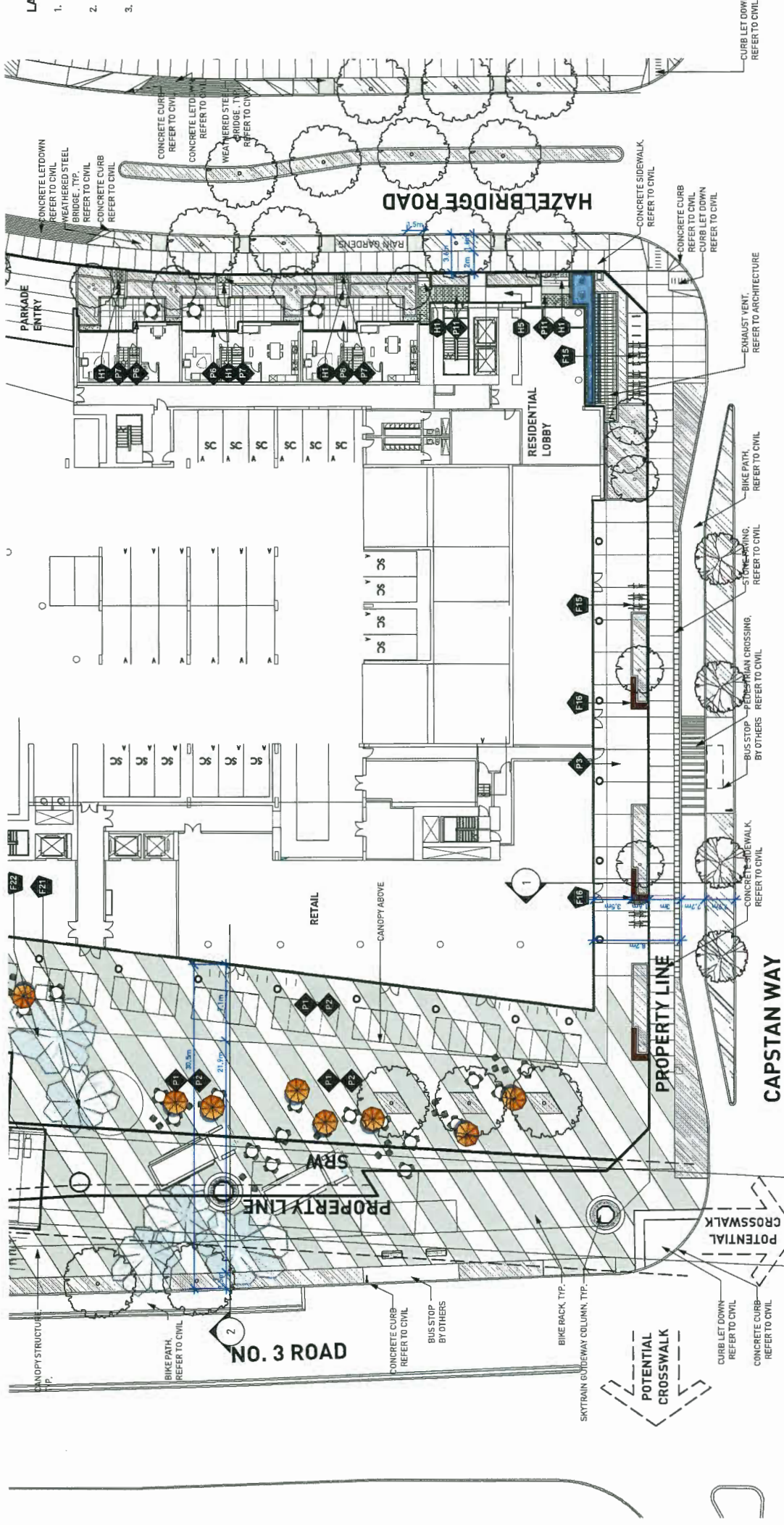
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4	18-8-9	Re-issued for DP



CONCORD
PACIFIC

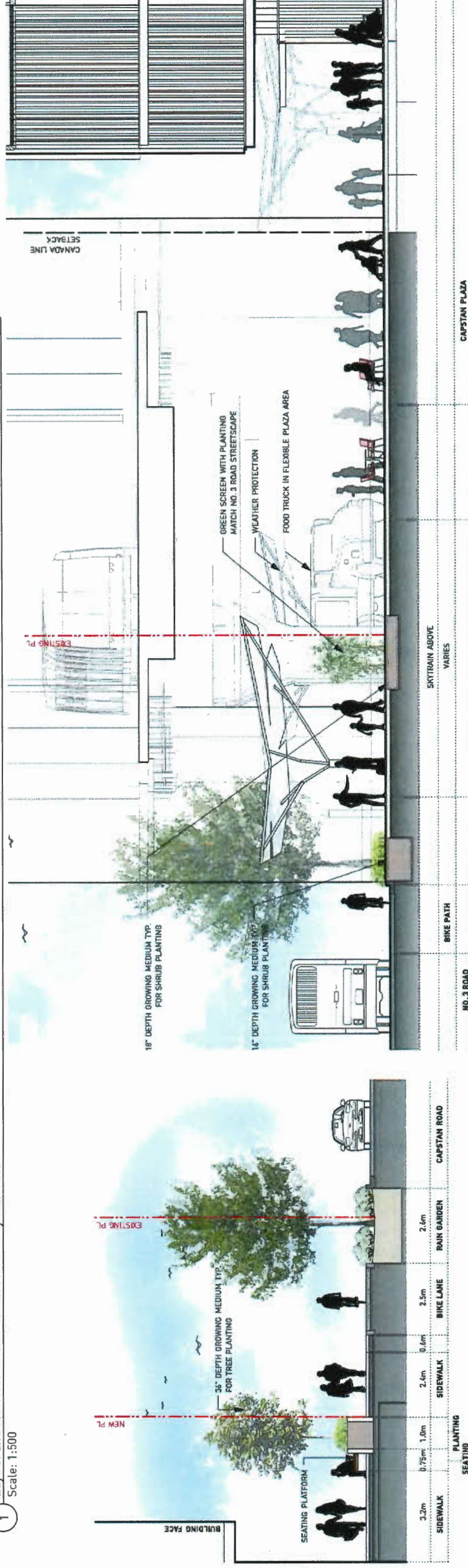
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1 Layout and Materials Plan - Ground Level Skytrain Plaza

Scale: 1:500



3 Section 1 - Capstan Way

1:150

3 Section 2 - Skytrain Plaza

1:150

PROJECT
Concord
Capstan Station

DP 17-787403

August 8, 2018
PLAN # 4f

ADDRESS
8511 Capstan Way
Et. No. 3 Road
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DRAWING TITLE
Layout and Materials Plan
Ground Level

SCALE
AS SHOWN

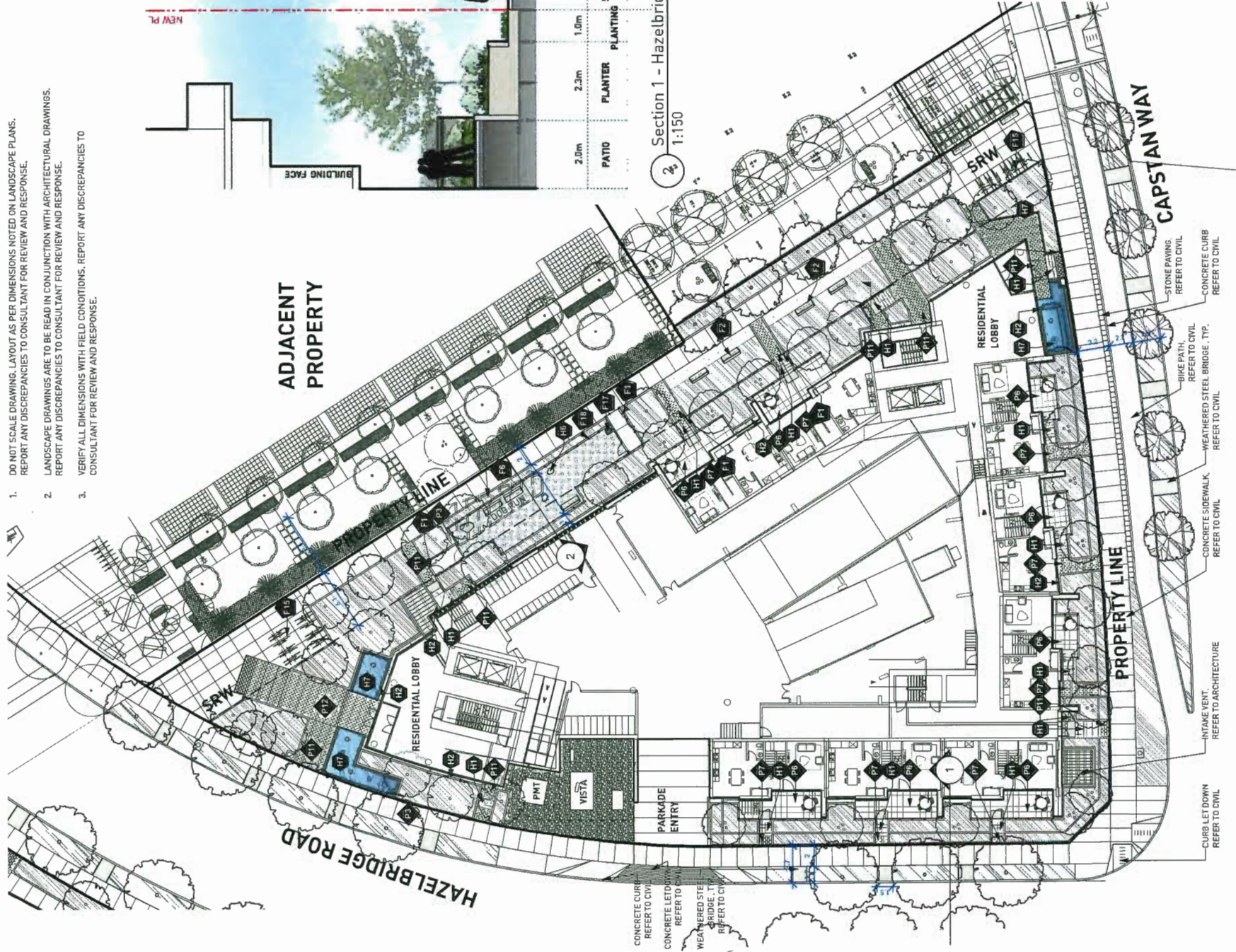


PROJECT NO.	18055
DATE	08 September 2017
FILE NAME	16055 PLAN Master.vwx
NOTED	18-8-9
DRAWN	PT
REVIEWED	
DATE	

L1.02

LAYOUT AND MATERIALS GENERAL NOTES

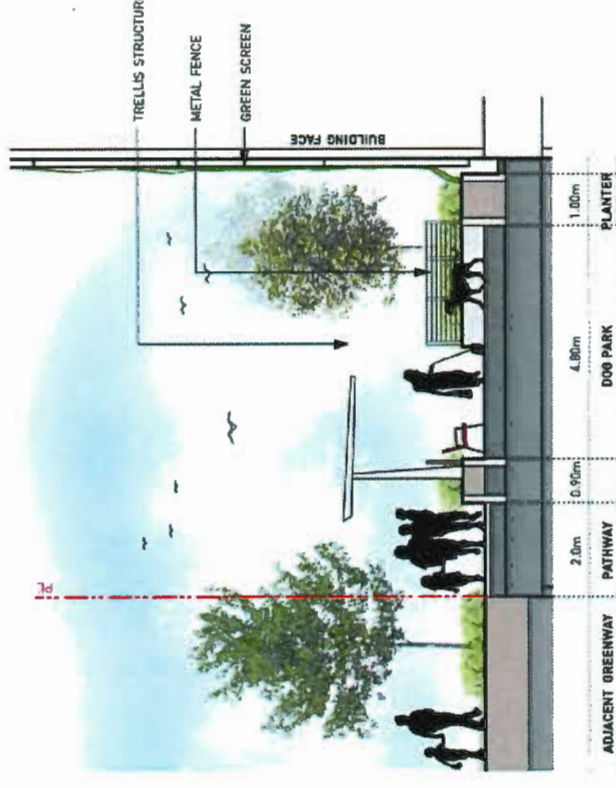
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1 Layout and Materials Plan - Ground Level West Lot
Scale: 1:500



2 Section 1 - Hazelbridge Road
1:150



3 Section 2 - Mid-block Trail
1:150



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**CONCORD
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**Concord
Capstan Station
DP 17-787403
August 8, 2018
PLAN # 4g**

ADDRESS
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**Layout and Materials Plan
Ground Level**

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SCALE
AS SHOWN

PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.wyx
PLOTTED	18-8-9
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L1.03



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3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 41

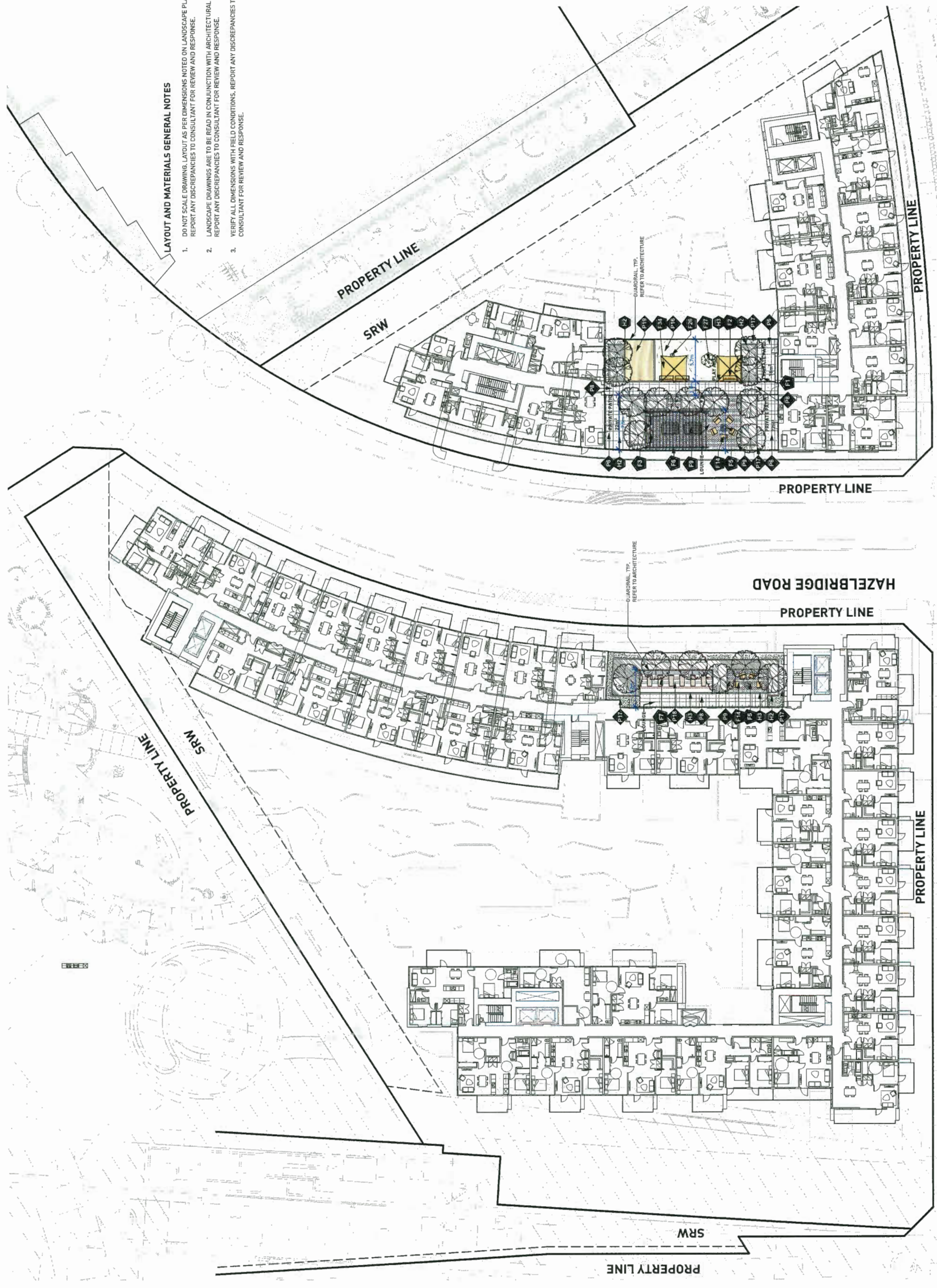
ADDRESS
 8511 Capstan Way
 Et. No. 3 Road
 Richmond, BC

DRAWING TITLE
 Layout and Materials Plan
 Level 6

SCALE
 1:500

PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.vwx
PLOTTED	18-8-9
DRAWN BY	TY
DATE	18-8-9

L1.05





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3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP

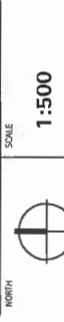


PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4j

ADDRESS
 8511 Capstan Way
 St. No. 3 Road
 Richmond, BC

DRAWING TITLE
 Layout and Materials Plan
 Level 7

SCALE
 1:500

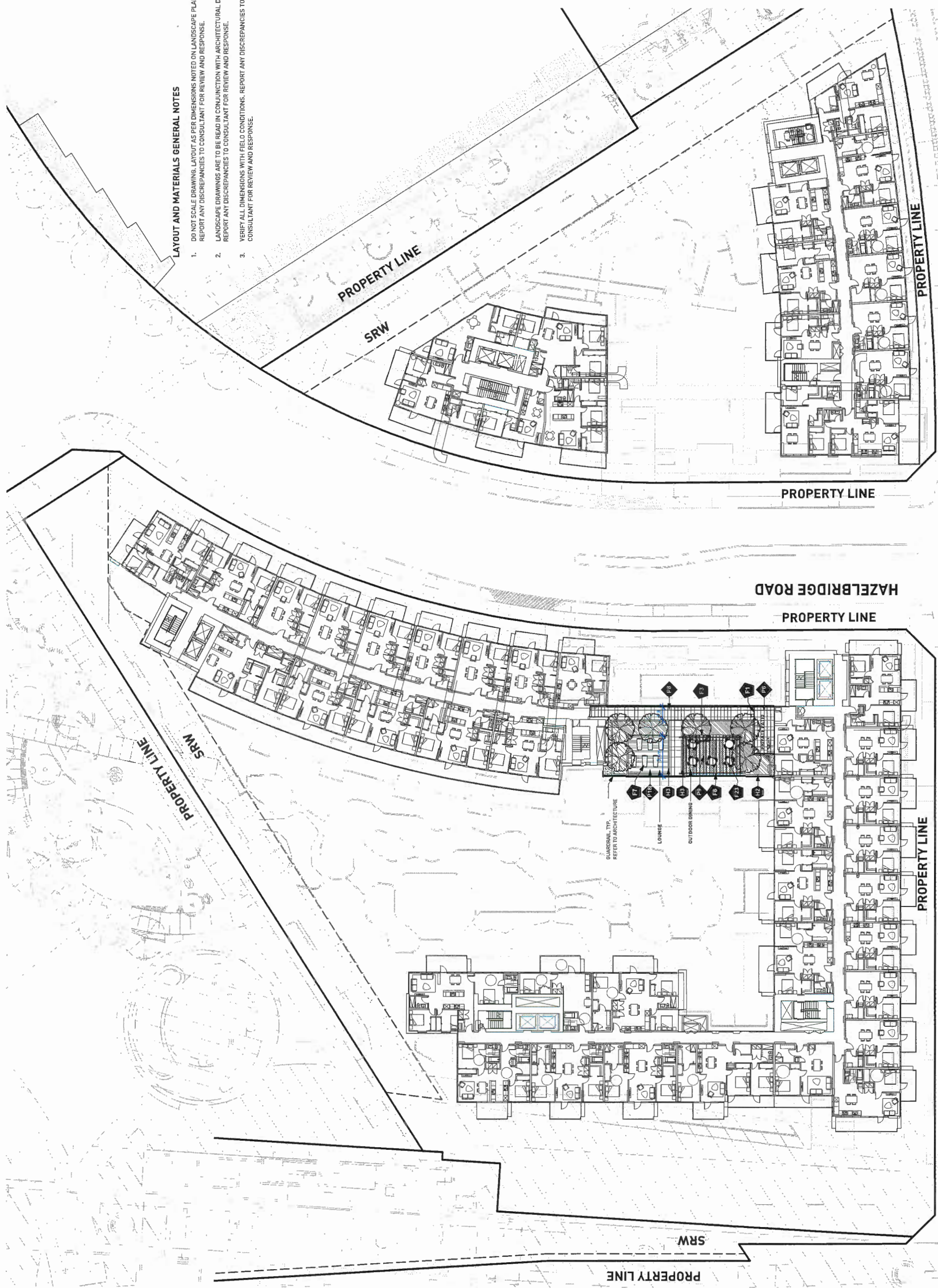


PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.VWX
PLOTTED	18-8-9
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L1.06

LAYOUT AND MATERIALS GENERAL NOTES

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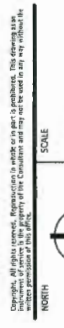
NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4k

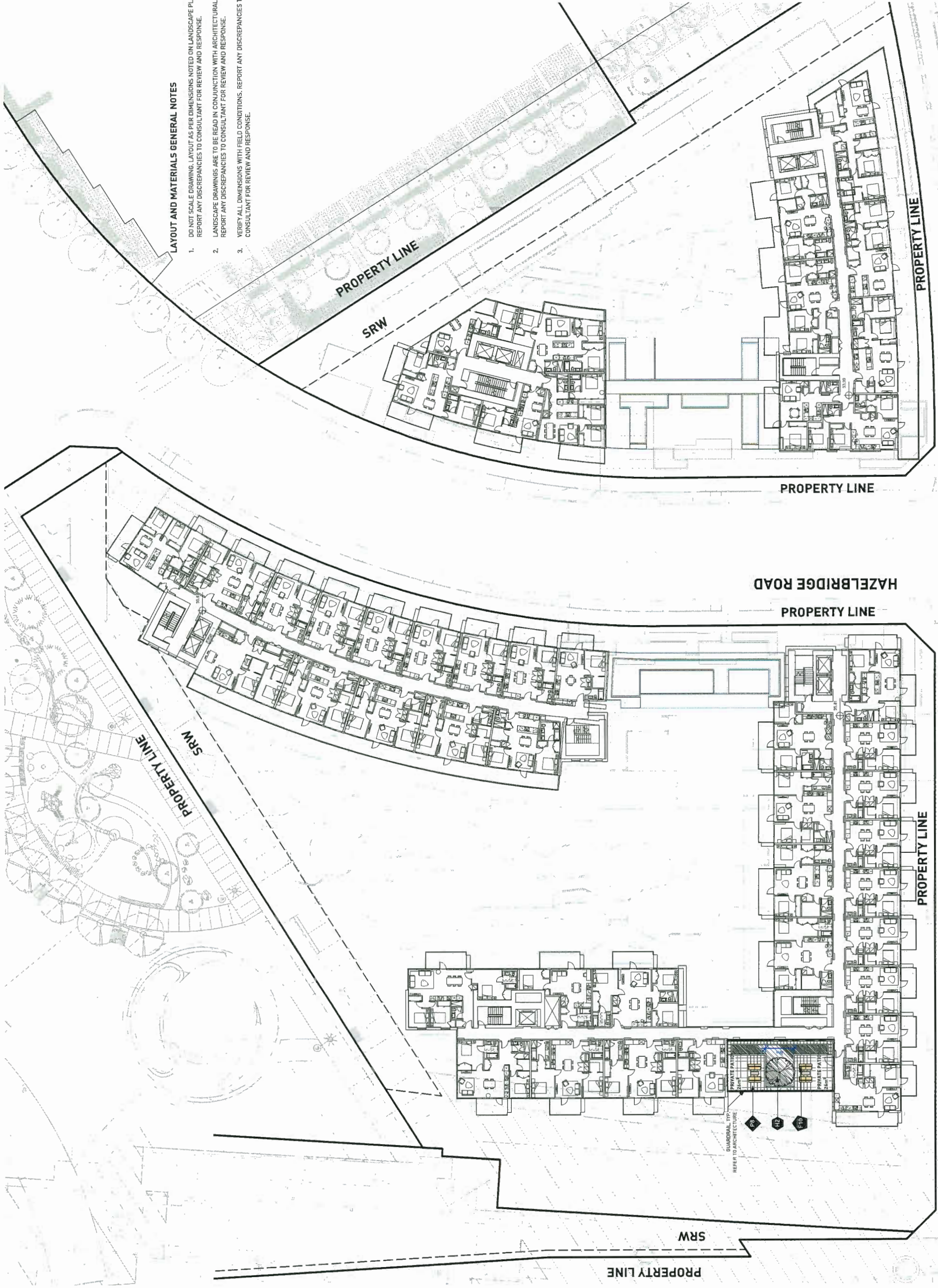
ADDRESS
 8511 Capstan Way
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DRAWING TITLE
 Layout and Materials Plan
 Level 12



PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.vwx
PLOTTED	18-8-9
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DRAWING	

L1.07





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2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 41

ADDRESSES
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DRAWING TITLE
 Layout and Materials Plan
 Level 13

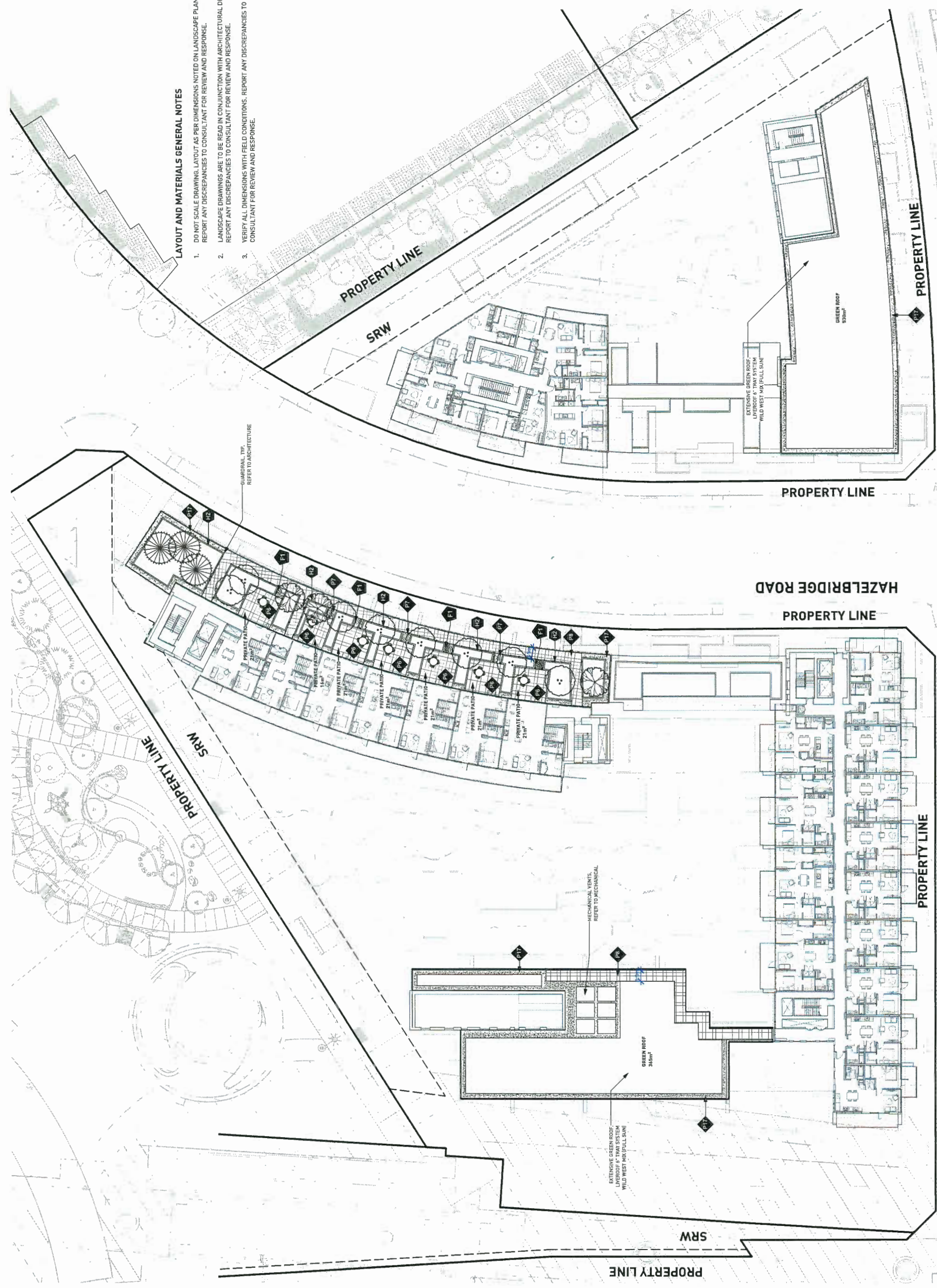
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PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.wvx
PLOTTED	18-8-9
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L1.08

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PROPERTY LINE

HAZELBRIDGE ROAD

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

SRW



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1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-6-9	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4m

ADDRESS
 8511 Capstan Way
 St No. 3 Road
 Richmond, BC

DRAWING TITLE
 Layout and Materials Plan
 Level 14

SCALE
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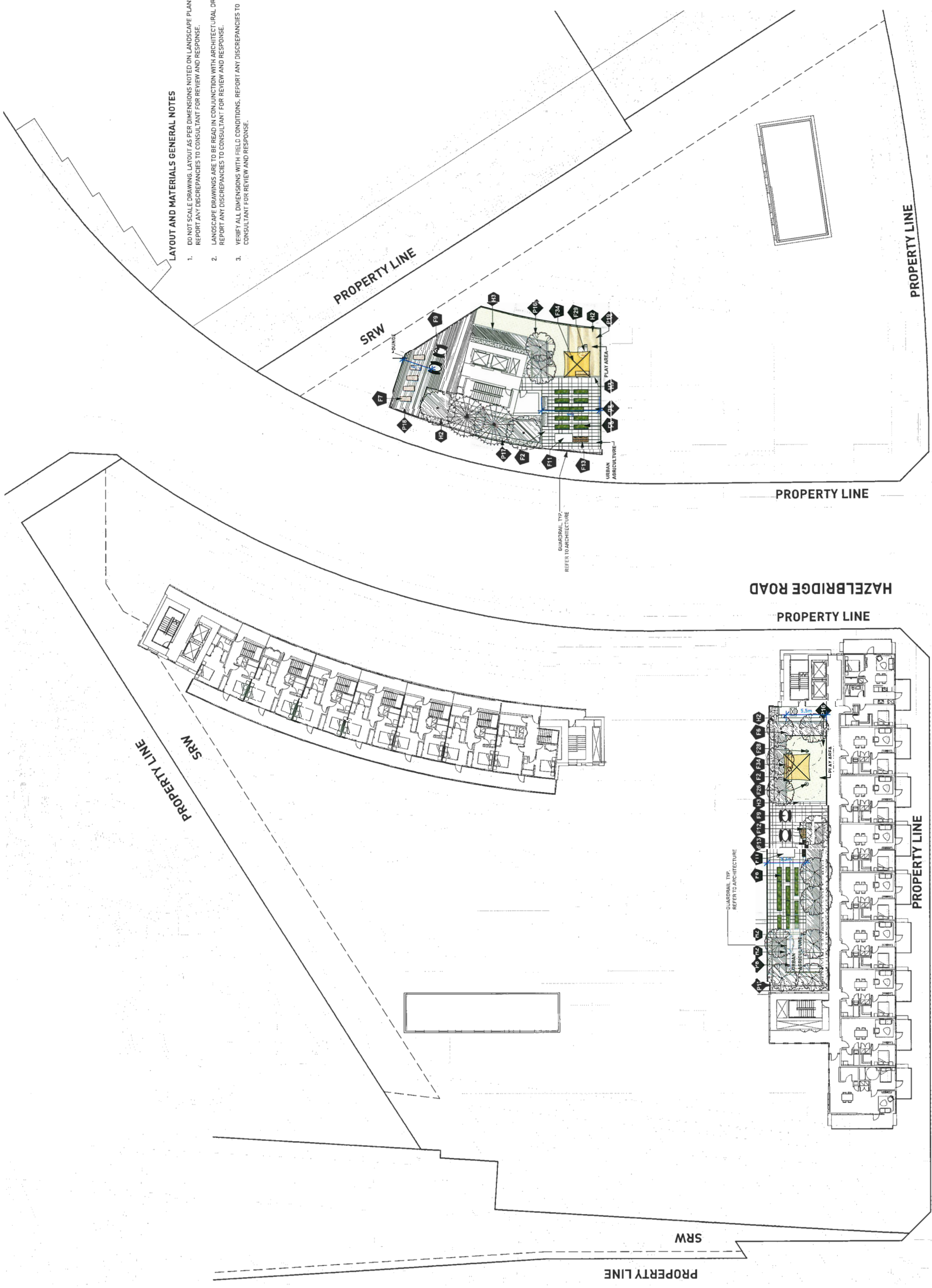


PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.vwx
PLOTTED	18-8-9
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DRAWING	

L1.09

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PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4n

ADDRESS
 8511 Capstan Way
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DRAWING TITLE
 Layout and Materials Plan
 Level 15

SCALE
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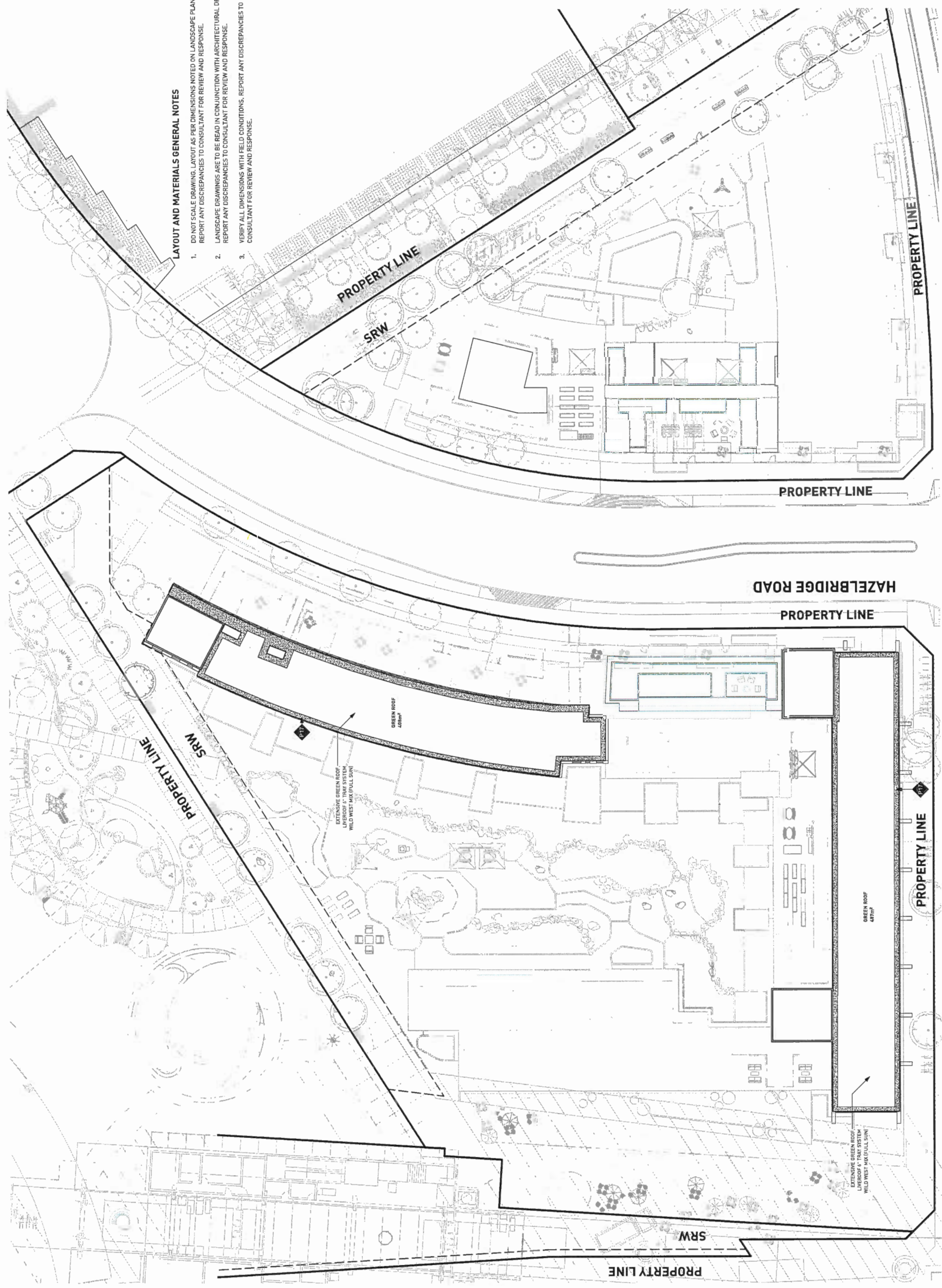


PROJECT NO.	18095
DATE	08 September 2017
FILE NAME	16055 PLAN Master.wkx
FOUNDED	18-8-9
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DATE
 11.10

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4	18-8-9	Re-issued for DP



PROJECT
**Concord
 Capstan Station**
 DP 17-787403
 August 8, 2018
 PLAN # 40

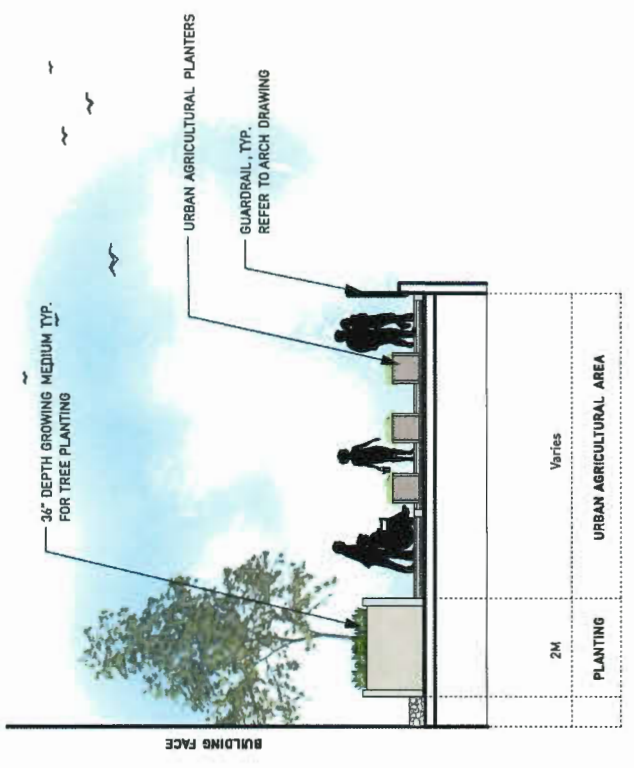
ADDRESSES
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DRAWING TITLE
Landscape Sections

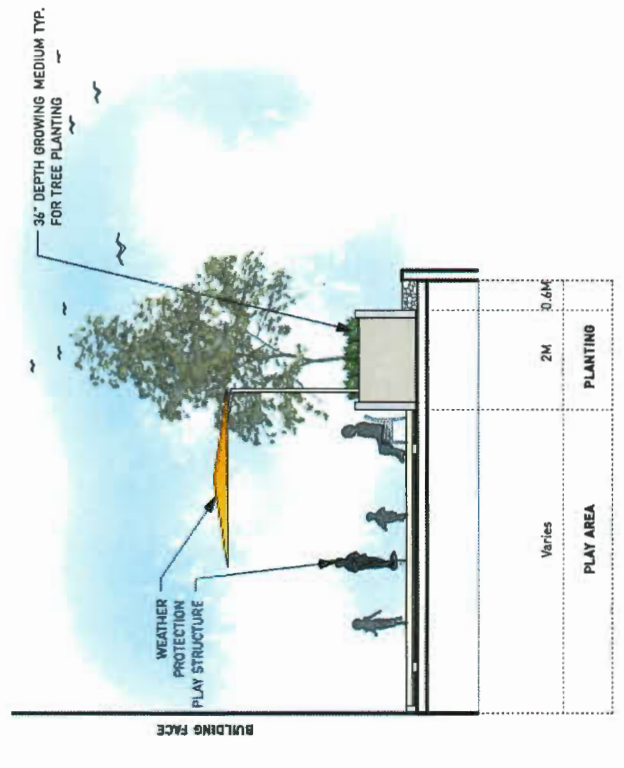
GRAPHIC SCALE

 AS SHOWN

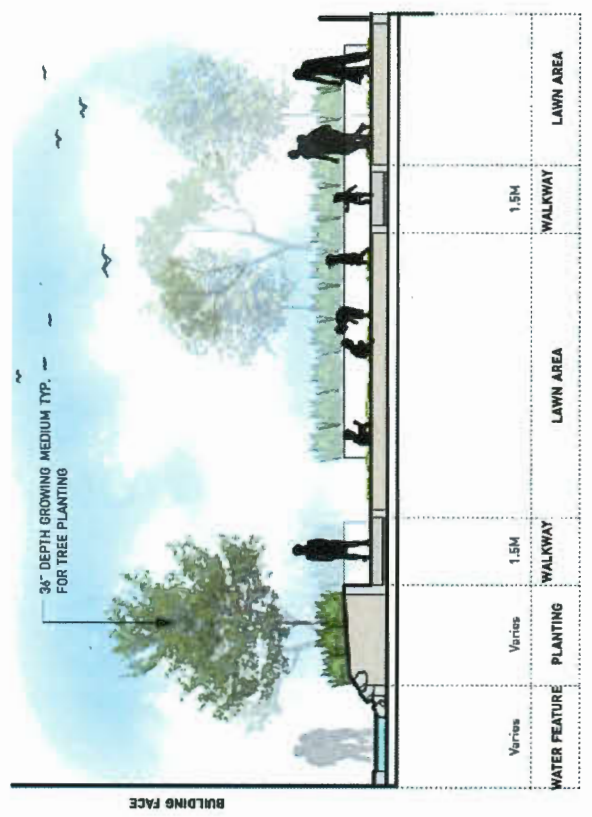
PROJECT NO. 18095
 DATE 05 September 2017
 FILE NAME 16055 PLAN Master.vwx
 PLOTTED 18-8-9
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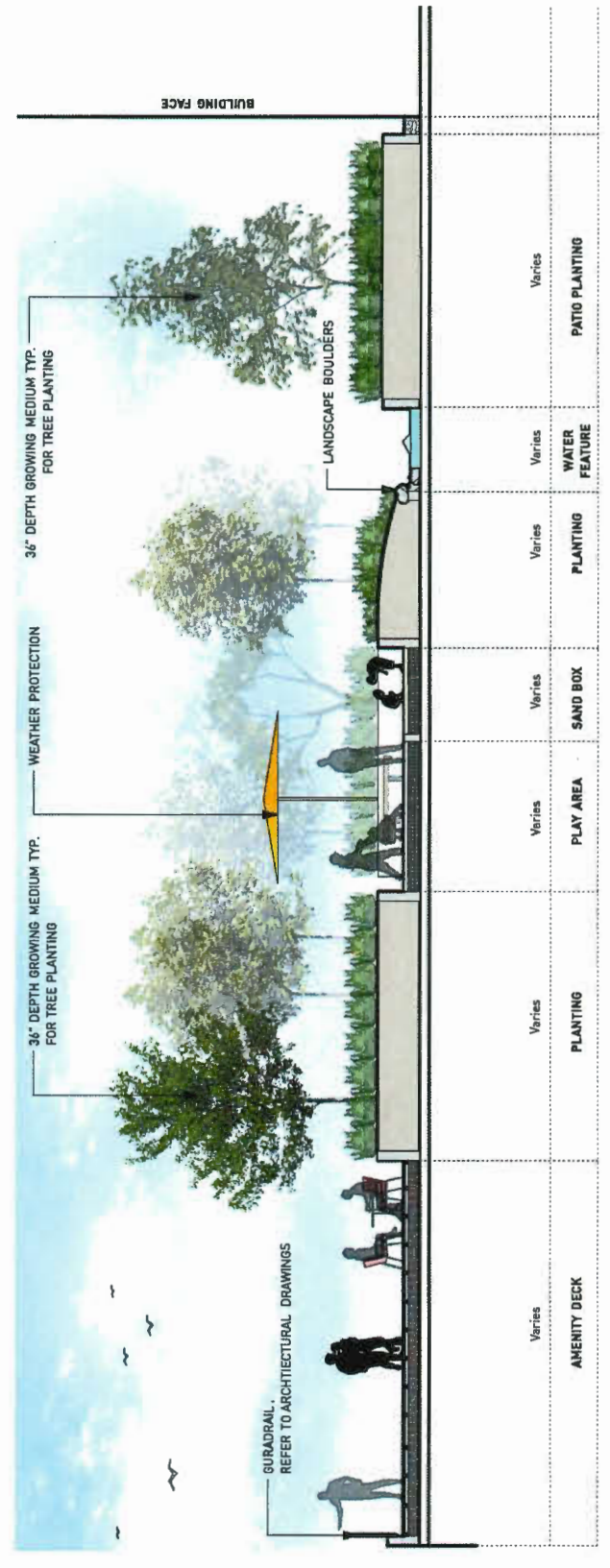
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 1:200



4 Section 4 - Level 14 Urban Agriculture
 1:200



1 Section 1 - Level 4 East Lot
 1:150



3 Section 2 - Level 4 West Lot
 1:150

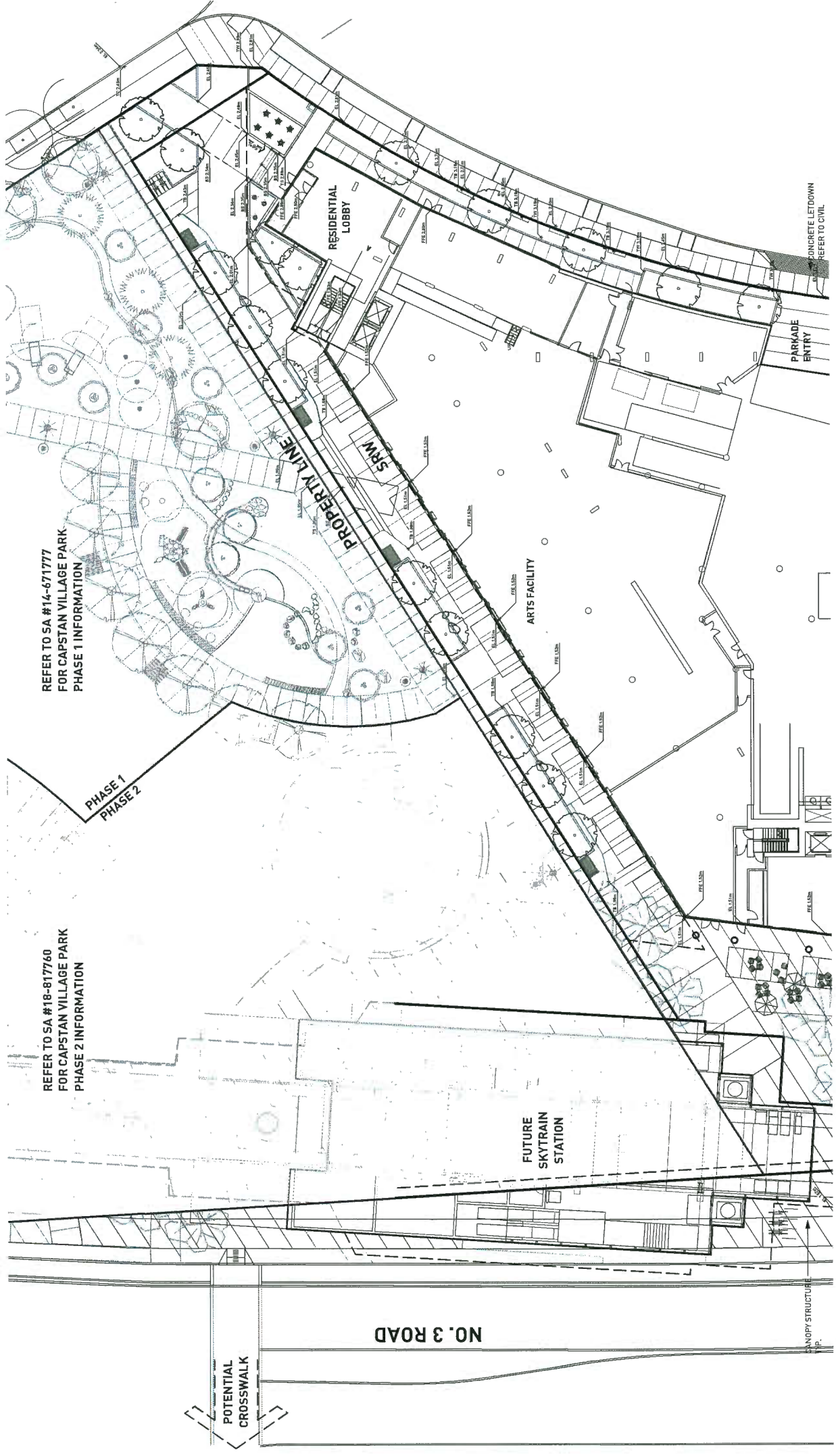
GRADING LEGEND

<td>Proposed Elevation</td>	Proposed Elevation
<td>Proposed Top of Walk Elevation</td>	Proposed Top of Walk Elevation
<td>Proposed Top of Stair Elevation</td>	Proposed Top of Stair Elevation
<td>Proposed Top of Ramp Elevation</td>	Proposed Top of Ramp Elevation
<td>Proposed Top of Bench Elevation</td>	Proposed Top of Bench Elevation

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REFER TO SA #14-671777 FOR CAPSTAN VILLAGE PARK PHASE 1 INFORMATION

REFER TO SA #18-817760 FOR CAPSTAN VILLAGE PARK PHASE 2 INFORMATION



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3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4p

ADDRESS
 8511 Capstan Way
 Et. No. 3 Road
 Richmond, BC

PROJECT TITLE
 Grading Plan
 Ground Level

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DATE	05 September 2017
FILE NAME	16055 PLAN Master.wxw
POSTED	18-8-9
DRAWN BY	PT
REVIEWED	

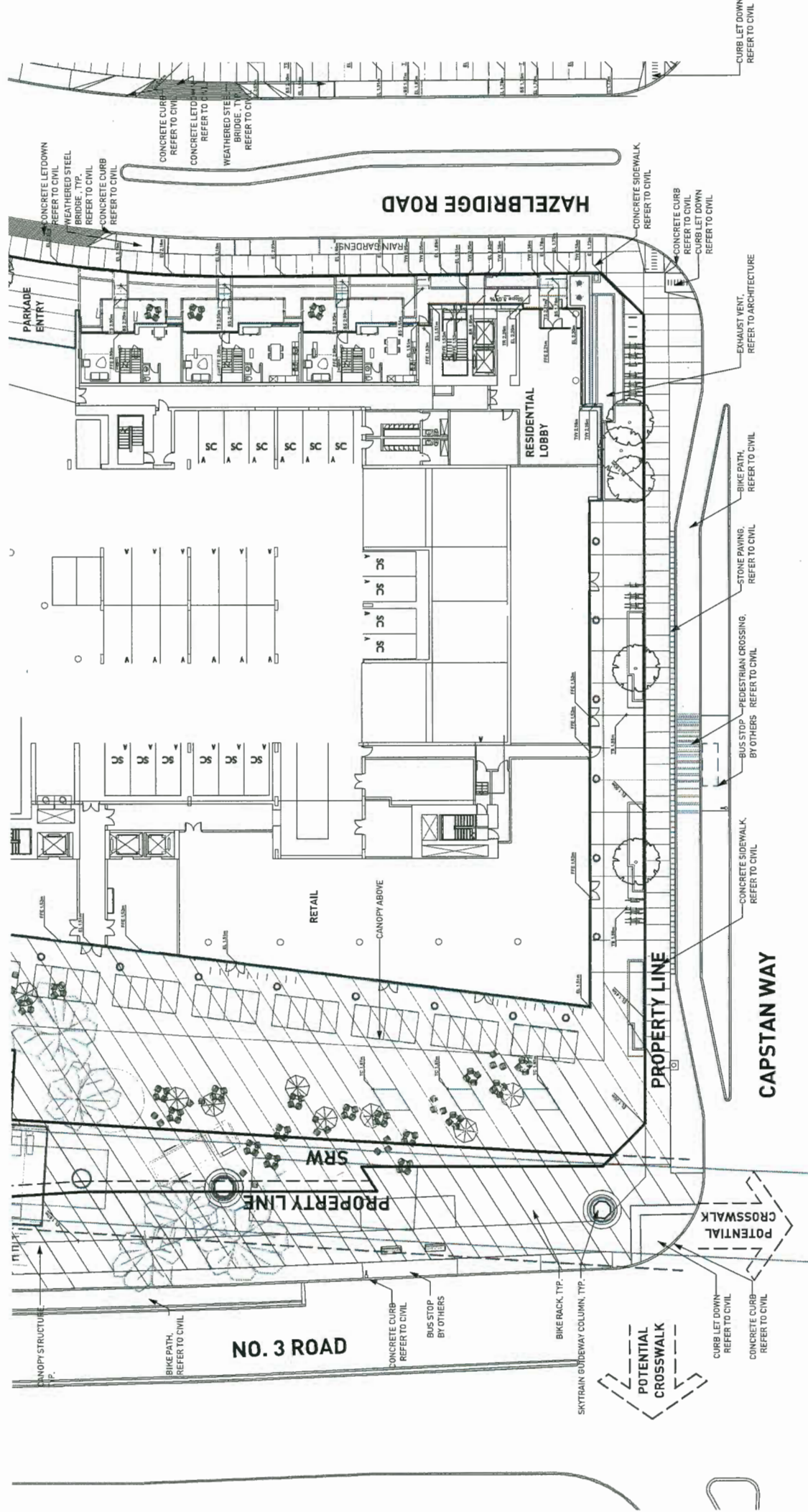
L2.01

GRADING LEGEND	
	Existing Elevation
	Proposed Elevation
	Finished Floor Elevation
	Proposed Top of Wall Elevation
	Proposed Bottom of Wall Elevation
	Proposed Top of Stair Elevation
	Proposed Bottom of Stair Elevation
	Proposed Top of Ramp Elevation
	Proposed Bottom of Ramp Elevation
	Proposed Top of Bench Elevation

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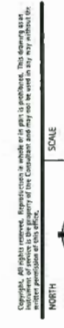
NO.	DATE	DESCRIPTION
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2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
**Concord
 Capstan Station**
 DP 17-787403
 August 8, 2018
 PLAN # 4q

ADDRESS
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 Richmond, BC

PROVISION TITLE
**Grading Plan
 Ground Level**

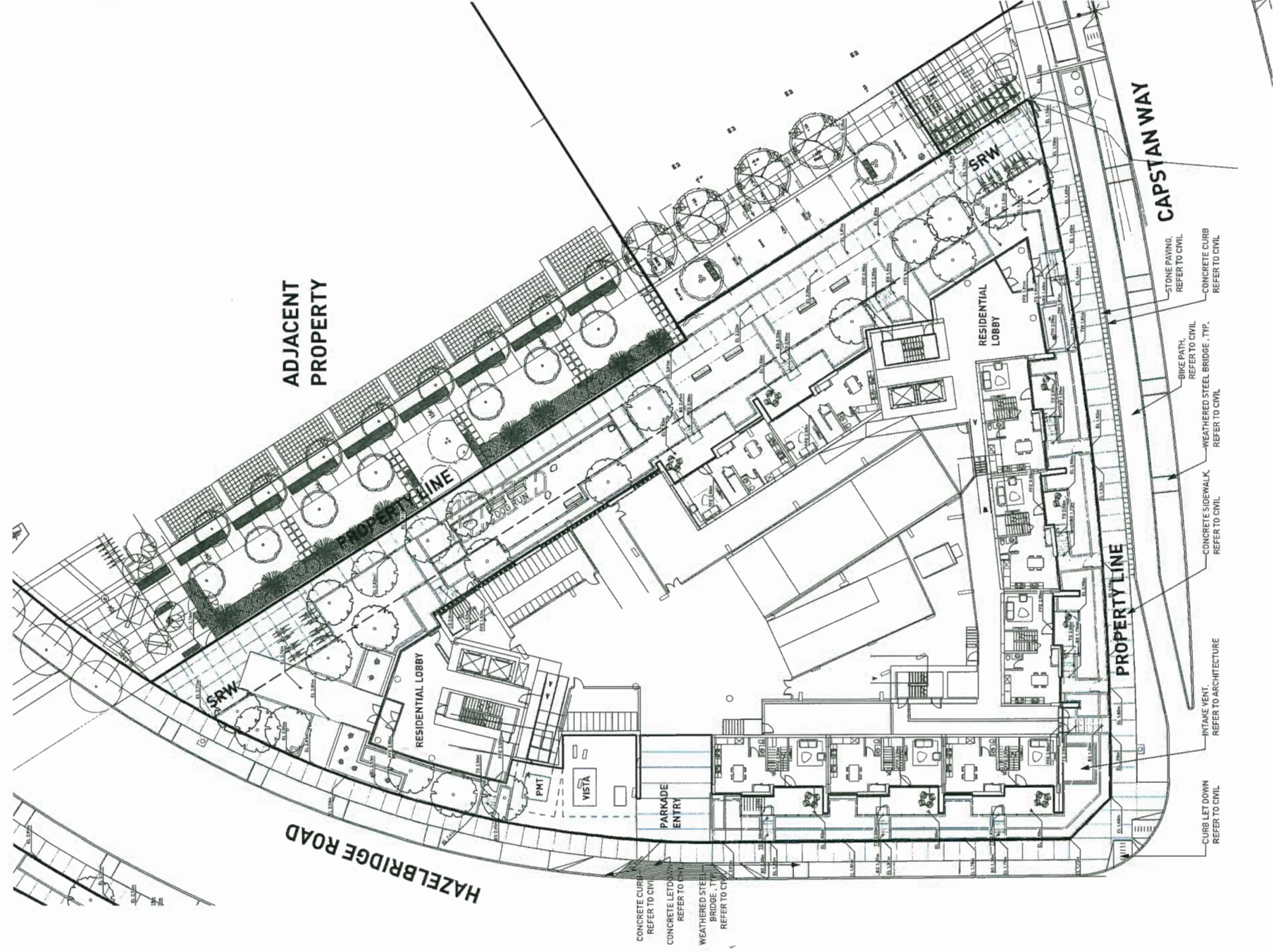


PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.vwx
PLOTTED	18-8-9
DRAWN	PT
CHECKED	

L2.02

GRADING LEGEND	
	Existing Elevation
	Proposed Elevation
	Finished Floor Elevation
	Proposed Top of Wall Elevation
	Proposed Bottom of Wall Elevation
	Proposed Top of Stair Elevation
	Proposed Bottom of Stair Elevation
	Proposed Top of Ramp Elevation
	Proposed Bottom of Ramp Elevation
	Proposed Top of Bench Elevation

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.



GRADING GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
- UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
- TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.



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18-09-22-20
 18-09-22-20
 18-09-22-20
 18-09-22-20

NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4r

ADDRESSES
 8511 Capstan Way
 Rt No. 3 Road
 Richmond, BC

ISSUE TITLE
 Grading Plan
 Ground Level

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PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.wxw
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	

L2.03

Plant List
16055 Capstan Station



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NO.	DATE	DESCRIPTION
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3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



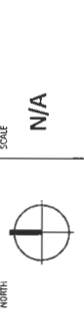
CONCORD
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PROJECT
Concord
Capstan Station
DP 17-787403
August 8, 2018
PLAN # 45

ADDRESS
8511 Capstan Way
Et No. 3 Road
Richmond, BC

DRAWING TITLE
Planting Legend

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PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 Planting Plan.vwx
FIGURE	18-8-9
DRAWN	PT
REVIEWED	

L3.00

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees						
ACR	11	Acer circinatum	Vine Maple	3.0 m ht. (10'-0" ht.)	As Shown	B&B, Nursery grown, minimum 3 stems
AGR	9	Acer griseum	Paper Bark Maple	5 cm cal. (2" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8m) std.
ABD	37	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	3.5 m ht. x 1.8 m w. (8'ht. x 6'w.)	As Shown	B&B, Specimen and densely branched, no included bark
APL	53	Acer palmatum 'Green'	Green Japanese Maple	3.5 m ht. x 1.8 m w. (8'ht. x 6'w.)	As Shown	B&B, Specimen and densely branched, no included bark
ARF	58	Acer rubrum 'Franksred'	Red Sunset Red Maple	8 cm cal. (3" cal.)	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
MGL	54	Magnolia 'Galaxy'	Galaxy Magnolia	6 cm cal. (2.4" cal.)	As Shown	B&B, Well branched, dense tree
PO2	5	Picea omorika	Serbian Spruce	3.5 m ht. (8'-0" ht.)	As Shown	B&B, Well branched, dense tree
PCC	13	Pinus contorta var. contorta	Shore Pine	3.0 m ht. (8'-0" ht.)	As Shown	B&B, Well branched, dense tree
QPL	14	Quercus palustris	Pin Oak	8 cm cal. (3" cal.)	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
SPS	11	Stewartia pseudocamellia	Japanese Stewartia	5 cm cal. (2" cal.)	As Shown	B&B, Well branched, dense tree
SJC	11	Styrax japonica	Japanese Snowbell	6 cm cal. (2 1/3" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8m) std.
Shrubs						
AEG	331	Abelia 'Edward Goucher'	Edward Goucher Abelia	#3 pot	60 cm (24")	Well established
AGP	1794	Azalea 'Gumpo Pink'	Gumpo Pink Azalea	#2 pot	30cm (12")	Well established
AJC	1099	Azalea japonica 'Hino Crimson'	Hino Crimson Japanese Azalea	#2 pot	60cm (24")	Well established
BMW	2126	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#3 pot	38cm (15")	Well established
BSE	1368	Buxus sempervirens	Common Box	#3 pot	38cm (15")	Well established
COB	33	Carex obnupta	Slough Sedge	#1 pot	60 cm (24")	Well established
CTA	25	Choisya ternata 'Aztec Pearl'	Aztec Pearl Mexican Orange Blossom	#3 pot	90cm (36")	Well established
CAE	36	Cornus alba 'Elegantissima'	Variegated Siberian Dogwood	#2 pot	90cm (36")	Well established
CST	34	Cornus sericea 'Flaviramea'	Yellow Twig Dogwood	#2 pot	90cm (36")	Well established
CSK	1113	Cornus sericea 'Kelseyii'	Kelseyii Dogwood	#3 pot	60 cm (24")	Well established, nursery grown
GSH	430	Gaultheria shallon	Salal	#2 pot	45cm (18")	Well established, nursery grown
ICC	77	Ilex crenata 'Convexa'	Japanese Holly	#3 pot	60 cm (24")	Well established
LPL	1337	Lonicera pileata	Privet Honeysuckle	#3 pot	45cm (18")	Well established
MAC	192	Mahonia aquifolium 'Compacta'	Compact Oregon Grape	#3 pot	45 cm (18")	Well established, nursery grown
PMP	18	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	#2 pot	110cm (42")	Well established
RCC	55	Rhododendron 'Christmas Cheer'	Christmas Cheer Rhododendron	#3 pot	60cm (24")	Well established
REL	59	Rhododendron 'Elizabeth'	Elizabeth Rhododendron	#3 pot	75 cm (30")	Well established
RKJ	484	Rhododendron 'Ken Jaweck'	Ken Jaweck Rhododendron	#3 pot	75cm (30")	Well established
RRP	100	Rhododendron 'Ramapo'	Ramapo Rhododendron	#3 pot	75cm (30")	Well established
RW	94	Rhododendron williamsianum	Williams Rhododendron	#3 pot	80cm (32")	Well established
RSA	53	Ribes sanguineum	Flowering Currant	#2 pot	100cm (39")	Well established, nursery grown
RMP	641	Rosa 'Meidiland Pink'	Meidiland Pink Rose	#2 pot	60cm (24")	Well established
SHH	58	Sarcococca hookeriana humilis	Himalayan Sarcococca	#3 pot	45 cm (18")	Well established
SJR	337	Skimmia japonica 'Rubella'	Red Flowered Japanese Skimmia	#3 pot	60cm (24")	Well established
SDG	100	Spiraea douglasii	Douglas Spiraea	#2 pot	60cm (24")	Well established, nursery grown
TXM	168	Taxus x media 'H.M. Eddie'	H.M. Eddie Yew	1.8 m (6'0")	60cm (24")	Well established, dense hedging plant / B & B
VDV	377	Viburnum davidii	David Viburnum	#2 pot	60 cm (24")	Well established
Ground Cover						
AUU	578	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads, Minimum 3 leads, nursery grown
LMB	698	Liriope muscari 'Big Blue'	Big Blue Lily-turf	#1 pot	30 cm (12")	Well established
MRP	494	Mahonia nervosa	Dwarf Oregon Grape	#1 pot	40cm (16")	Well established, nursery grown
PTM	685	Pachysandra terminalis	Japanese Spurge	#1 pot	38cm (15")	10cm (4") height
Perennials						
HNR	153	Helleborus niger	Christmas Rose	#1 pot	45 cm (18")	Well established
IST	186	Iris setosa	Wild Iris	#1 pot	38 cm (15")	Well established
Ornamental Grasses						
CID	1538	Carex morrowii 'Ice Dance'	Variegated Sedge	#1 pot	38 cm (15")	Well established
COS	69	Carex oshimensis 'Evergold'	Evergold Sedge	#1 pot	45 cm (18")	Well established
HSM	104	Helictotrichon sempervirens	Blue Oat Grass	#1 pot	45 cm (18")	Well established
CAR	10	Clematis armandii	Evergreen Clematis	#2 pot	As Shown	Staked, full development
LDS	32	Lonicera 'Dropmore Scarlet'	Climbing Honeysuckle	#2 pot	As Shown	Staked, full development
COB	33	Carex obnupta	Slough Sedge	#1 pot	60 cm (24")	Well established
Ferns						
DRE	71	Dryopteris erythrosora	Autumn Fern	#1 pot	45 cm (18")	Well established
PMU	286	Polystichum munitum	Western Sword Fern	#1 pot	45 cm (18")	Well established, nursery grown

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1	17-9-22	Issued for DP
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3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4t

ADDRESS
 8511 Capstan Way
 Et No. 3 Road
 Richmond, BC

DRAWING TITLE
 Planting Plan
 Ground Level

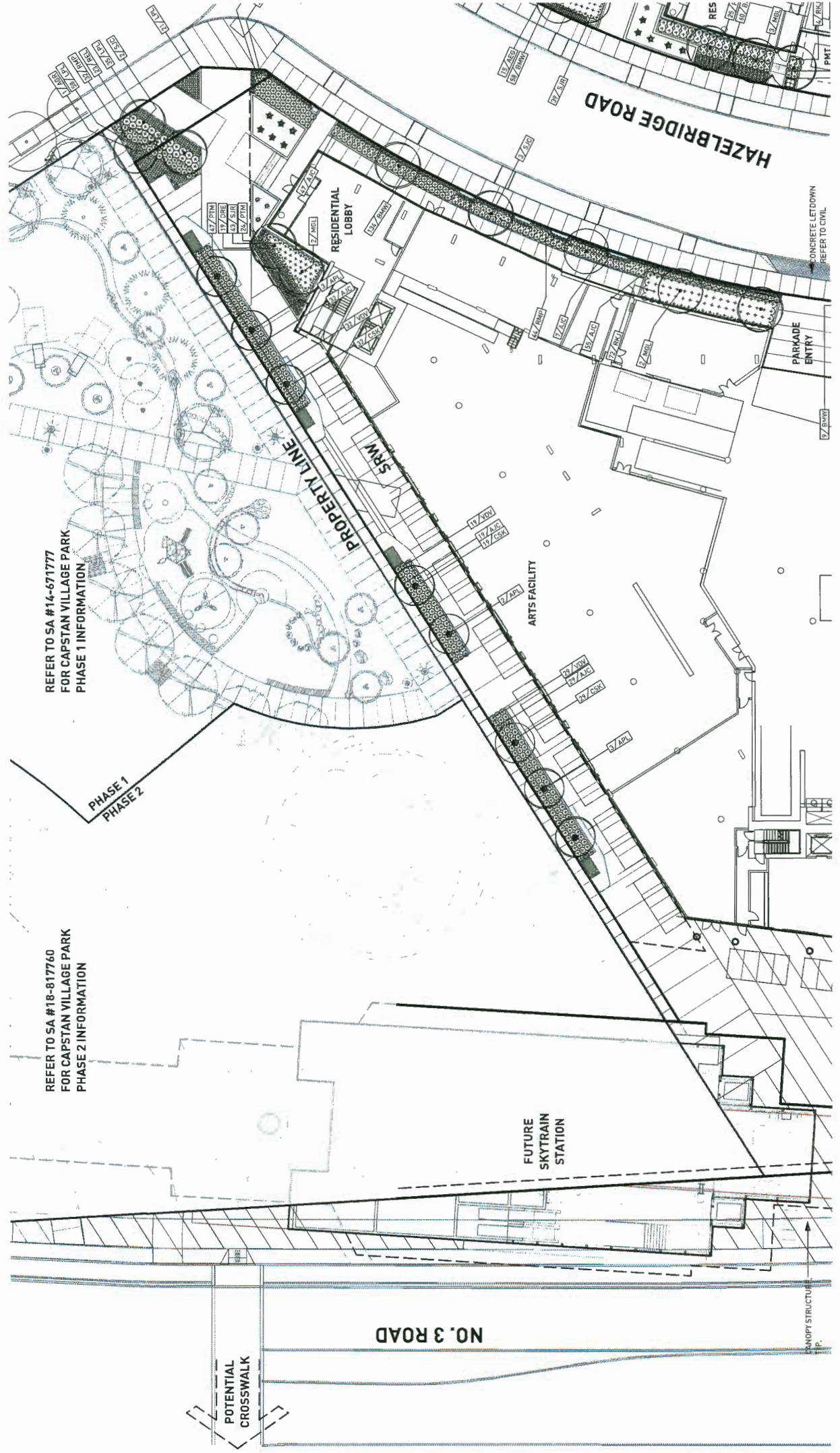
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DATE 05 September 2017
FILE NAME 16055 Planting Plan.vwx
PLOTTED 18-8-9
DRAWN PY
REVIEWED



SCALE
 1:500

PLANTING GENERAL NOTES

- ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION.
- SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
- PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
- PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
- PLANTS WILL BE NURSERY GROWN UNLESS NOTED OTHERWISE.
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NO.	DATE	DESCRIPTION
1	17-09-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-03-09	Re-issued for DP
4	18-08-09	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4u

ADDRESS
 8511 Capstan Way
 Et No. 3 Road
 Richmond, BC

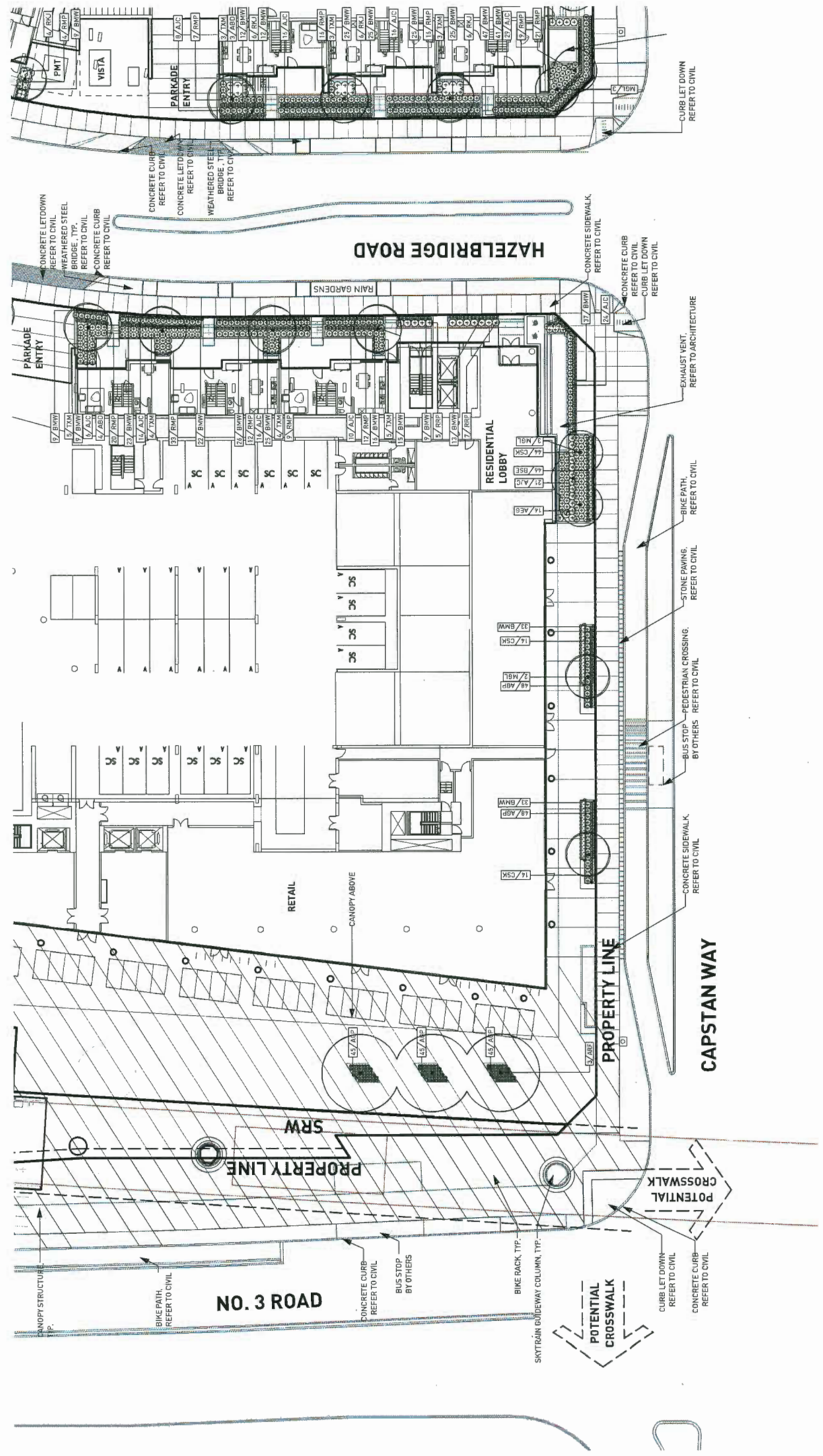
DRAWING TITLE
 Planting Plan
 Ground Level

SCALE
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PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 Planting Plan.ywx
PLOTTED	18-08-09
DRAWN BY	PT
REVIEWED	

L3.02





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 150 West Beaver Creek
 Richmond BC Canada V6E 2T1
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18. 1800 West Beaver Creek
 Richmond BC Canada V6E 2T1
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NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
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4	18-8-9	Re-issued for DP



PROJECT
Concord Station
Capstan Way
DP 17-787403
 August 8, 2018
PLAN # 4V

ADDRESS
 8511 Capstan Way
 8th No. 3 Road
 Richmond, BC

DRAWING TITLE
Planting Plan
Ground Level

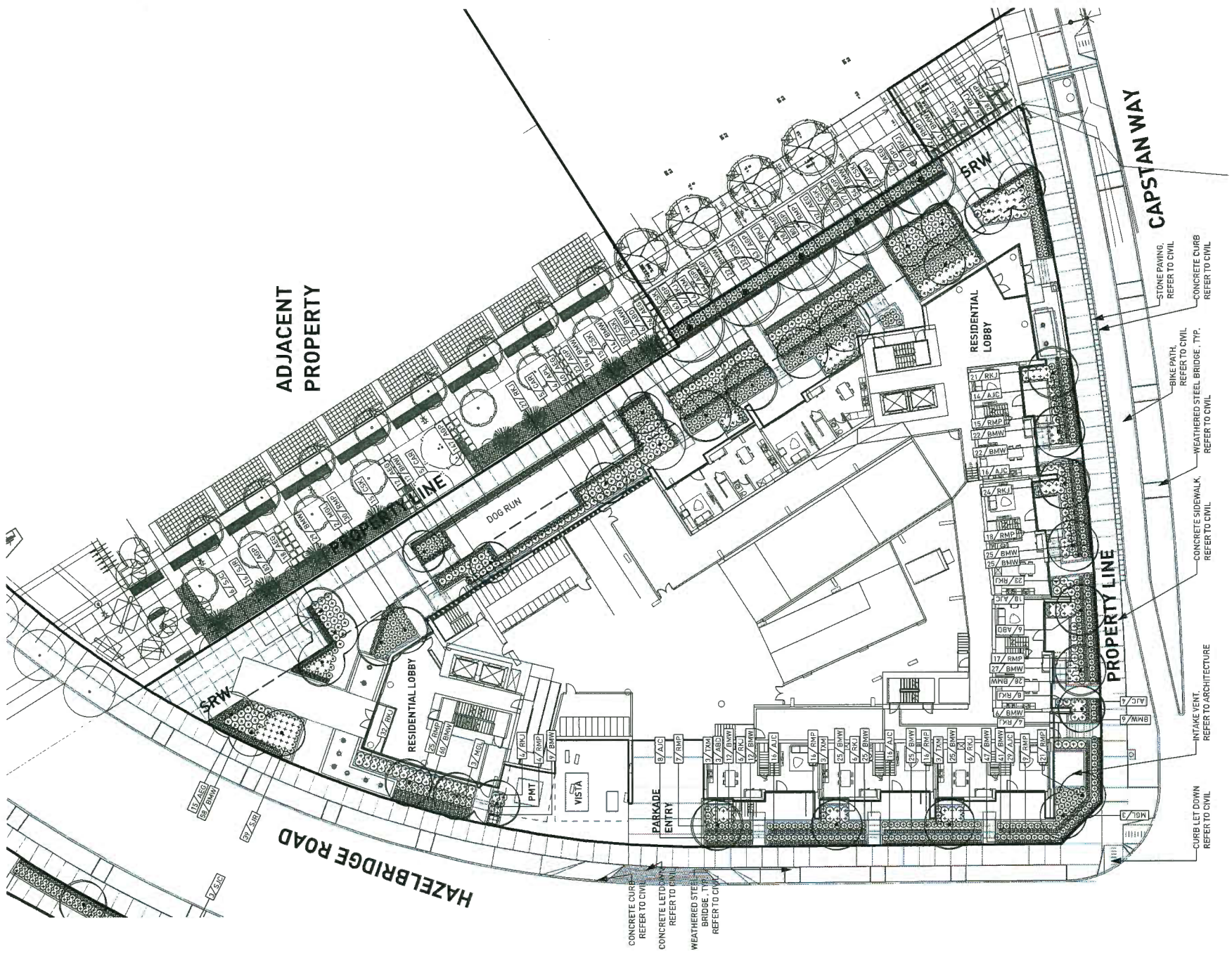
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DATE	05 September 2017
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PLOTTED	18-8-9
DRAWN	PT
REVIEWED	

L3.03

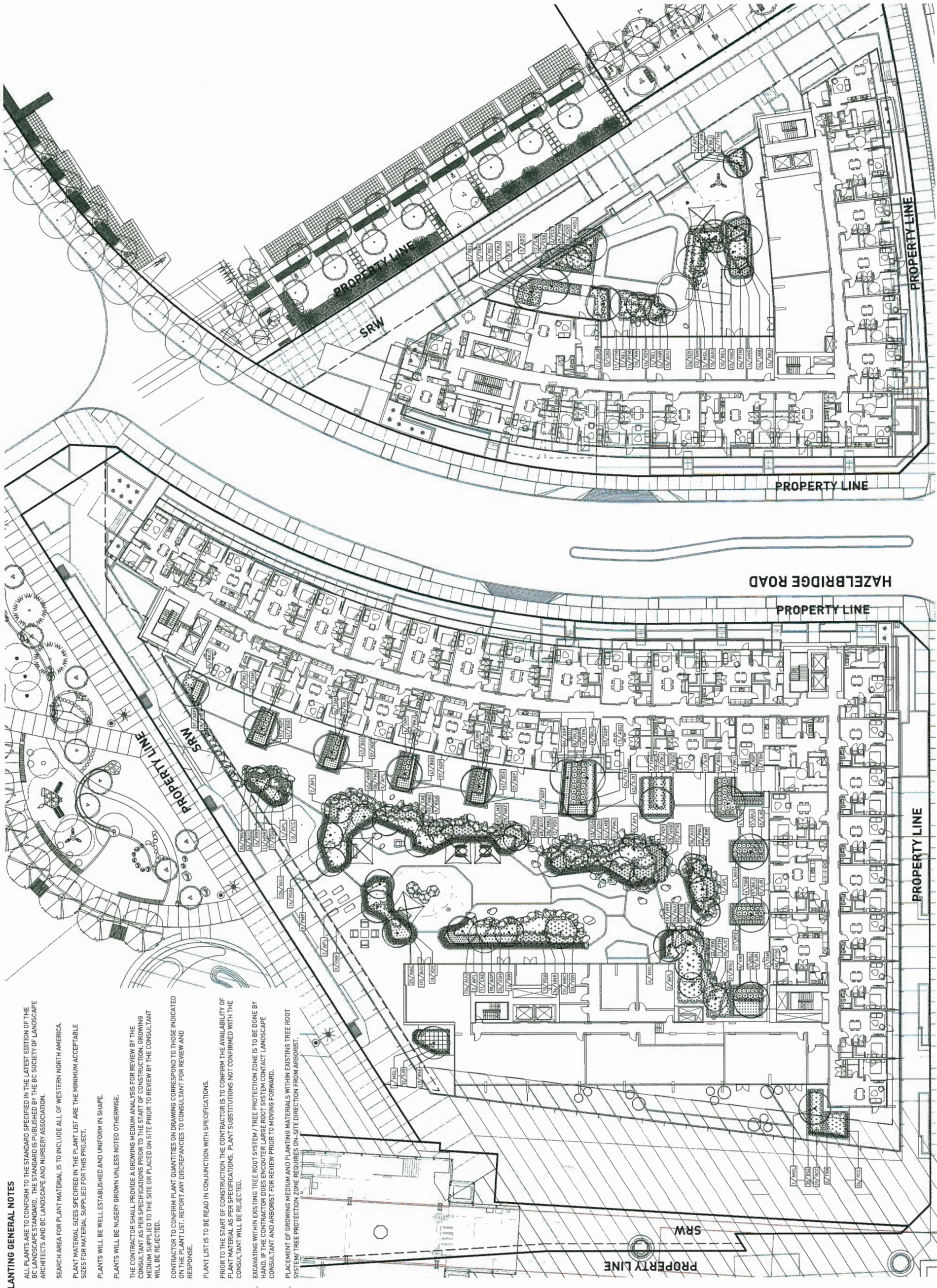
PLANTING GENERAL NOTES

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REV.	DATE	DESCRIPTION
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2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



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 1201 West Broadway Street
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PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4W

ADDRESS
 8511 Capstan Way
 & No. 3 Road
 Richmond, BC

DRAWING TITLE
 Planting Plan
 Level 4

SCALE
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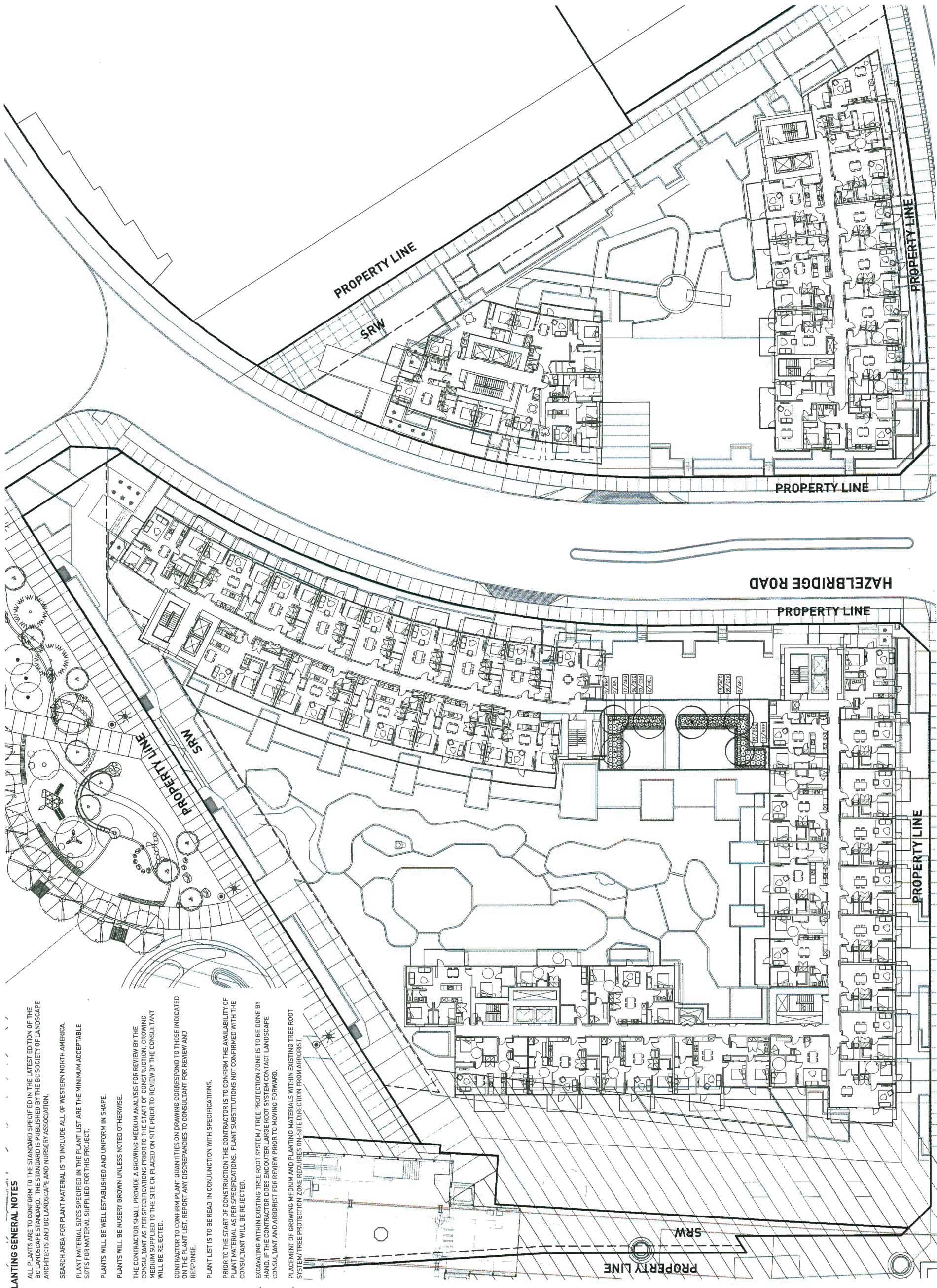


PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 Planting Plan.vwx
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	

L3.04

PLANTING GENERAL NOTES

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NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



**CONCORD
PACIFIC**

PROJECT
Concord
Capstan Station
DP 17-787403
August 8, 2018
PLAN # 4y

ADDRESS
8511 Capstan Way
& No. 3 Road
Richmond, BC

DRAWING TITLE
Planting Plan
Level 7

SCALE
1:500

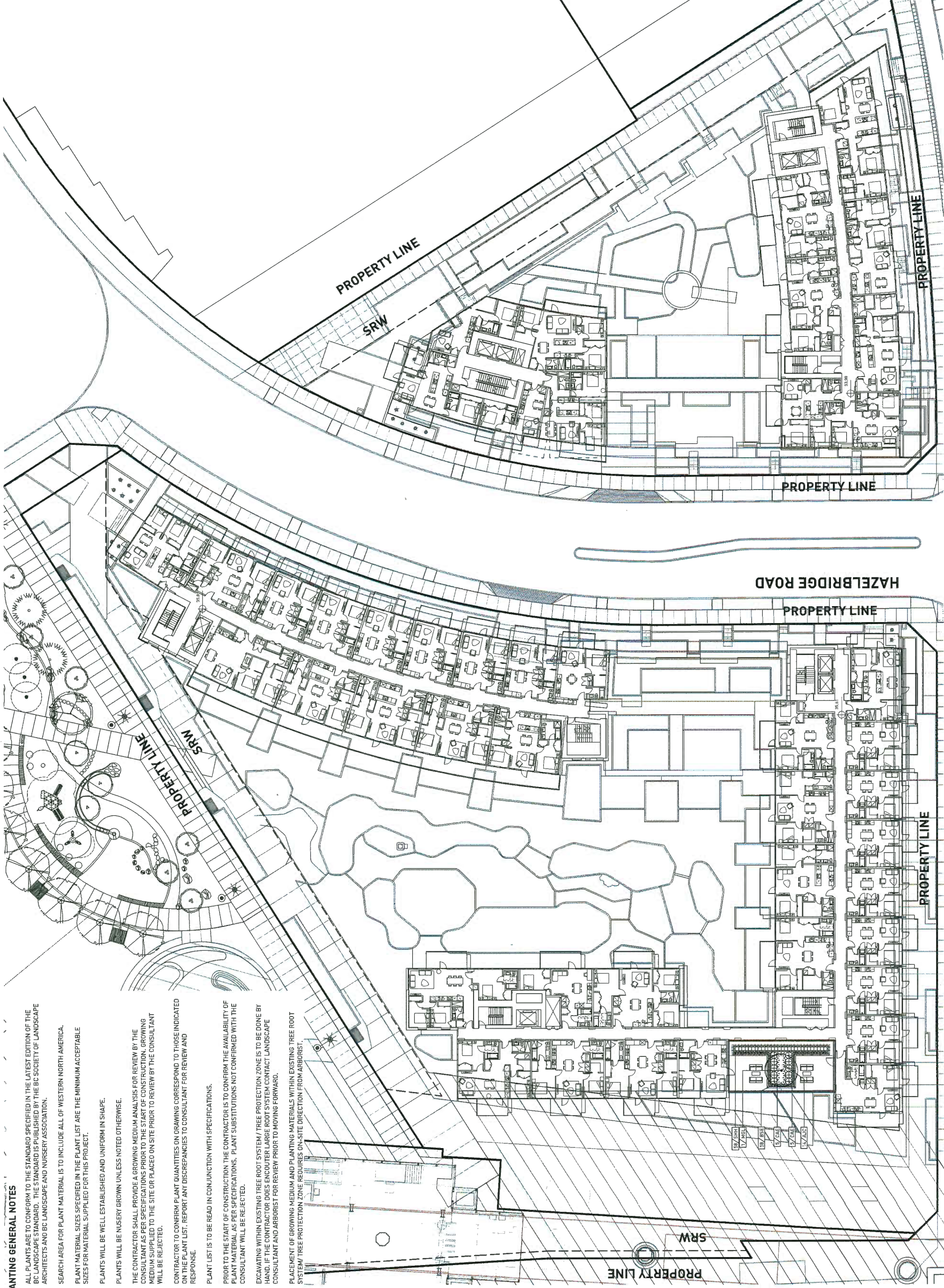


PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 Planting Plan.vwx
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	
DRAWING	

L3.06

PLANTING GENERAL NOTES

1. ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION.
2. SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
3. PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
4. PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
5. PLANTS WILL BE NURSERY GROWN UNLESS NOTED OTHERWISE.
6. THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
7. CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
8. PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
9. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.
10. EXCAVATING WITHIN EXISTING TREE ROOT SYSTEM / TREE PROTECTION ZONE IS TO BE DONE BY HAND. IF THE CONTRACTOR DOES ENCOUNTER LARGE ROOT SYSTEM CONTACT LANDSCAPE CONSULTANT AND ARBORIST FOR REVIEW PRIOR TO MOVING FORWARD.
11. PLACEMENT OF GROWING MEDIUM AND PLANTING MATERIALS WITHIN EXISTING TREE ROOT SYSTEM / TREE PROTECTION ZONE REQUIRES ON-SITE DIRECTION FROM ARBORIST.



PWL Partnership Landscape Architects Inc.
 5th Floor, 6881 Astor Street
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 100 West 11th Street
 Vancouver, BC V6B 2T9
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NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



**CONCORD
 PACIFIC**

PROJECT
 Concord
 Capstan Station
DP 17-787403
 August 8, 2018
PLAN # 42

ADDRESS
 8511 Capstan Way
 Et No. 3 Road
 Richmond, BC

DRAWING TITLE
 Planting Plan
 Level 12

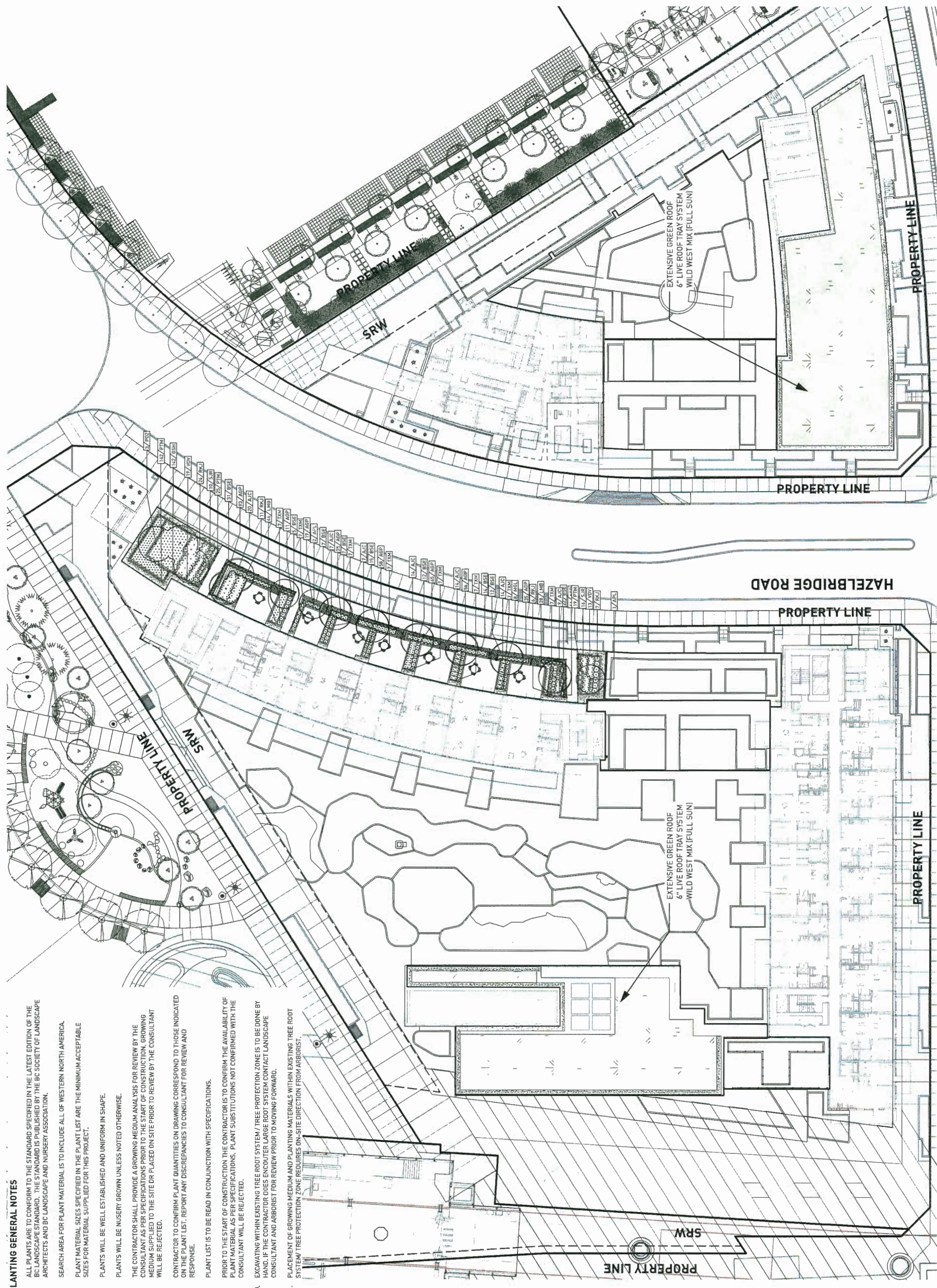


PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 Planting Plan.VWX
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	

L3.07

PLANTING GENERAL NOTES

1. ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION.
2. SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
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PWL Partnership Landscape Architects Inc.
 1201 West Broadway, Suite 100
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 F 604.683.1112



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 Vancouver BC Canada V6E 2Y9
 www.gbl.ca
 P 604.683.1111
 F 604.683.1112

NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



**CONCORD
PACIFIC**

PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4aa

ADDRESS
 8511 Capstan Way
 & No. 3 Road
 Richmond, BC

DRAWING TITLE
 Planting Plan
 Level 13

SCALE
 1:500

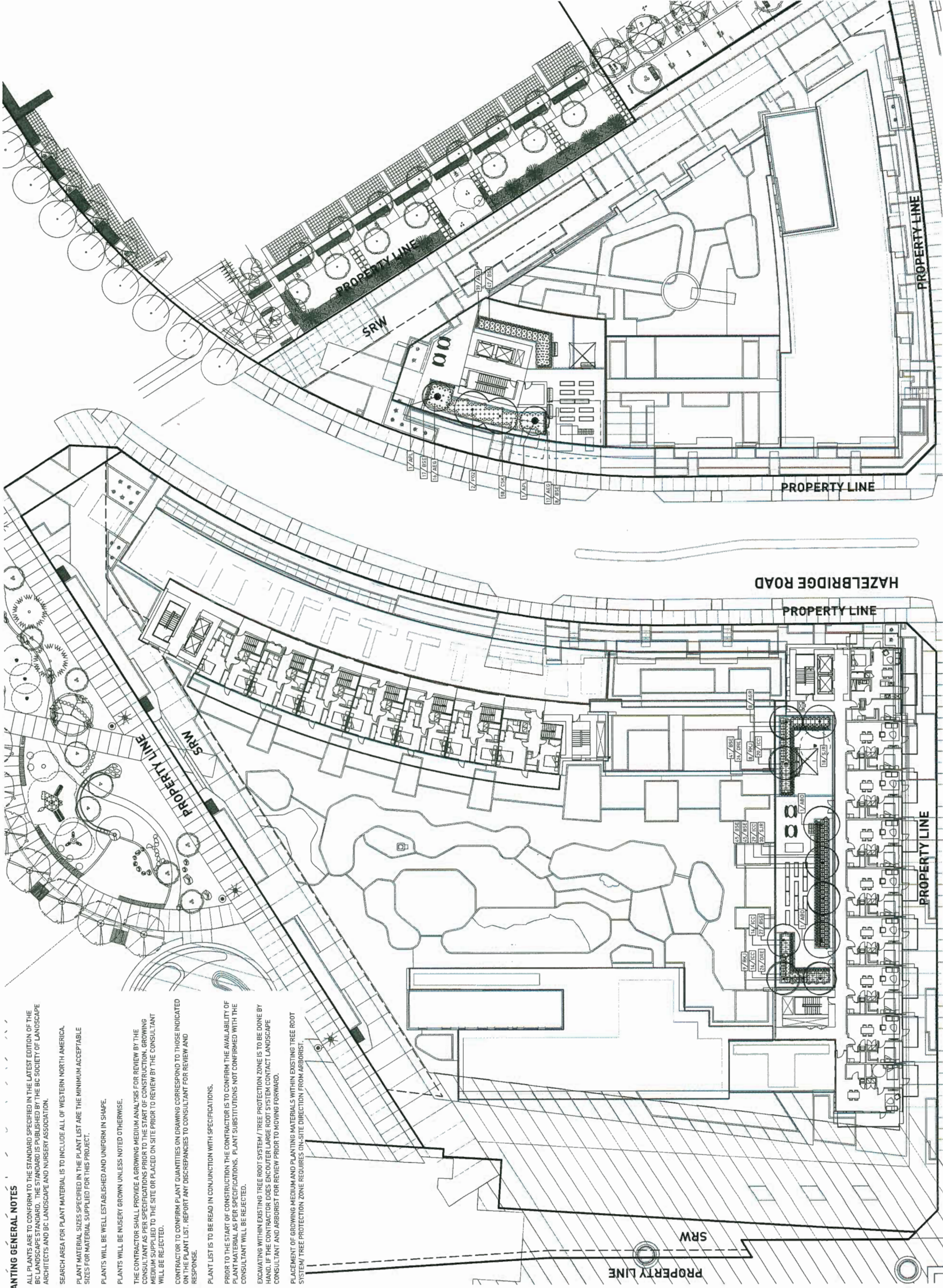


PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 Planting Plan.vwx
NOTED	18-8-9
DRAWN	PT
REVIEWED	
DRAWING	

L3.08

PLANTING GENERAL NOTES

1. ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION.
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PWL Partnership Landscape Architects Inc.
 100 West Pacific Street
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 604.681.1112

NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



**Concord
 Capstan Station**
 DP 17-787403
 August 8, 2018
 PLAN # 4bb

ADDRESS
 8511 Capstan Way
 Et No. 3 Road
 Richmond, BC

DRAWING TITLE
 Planting Plan
 Level 14

Scale
 1:500

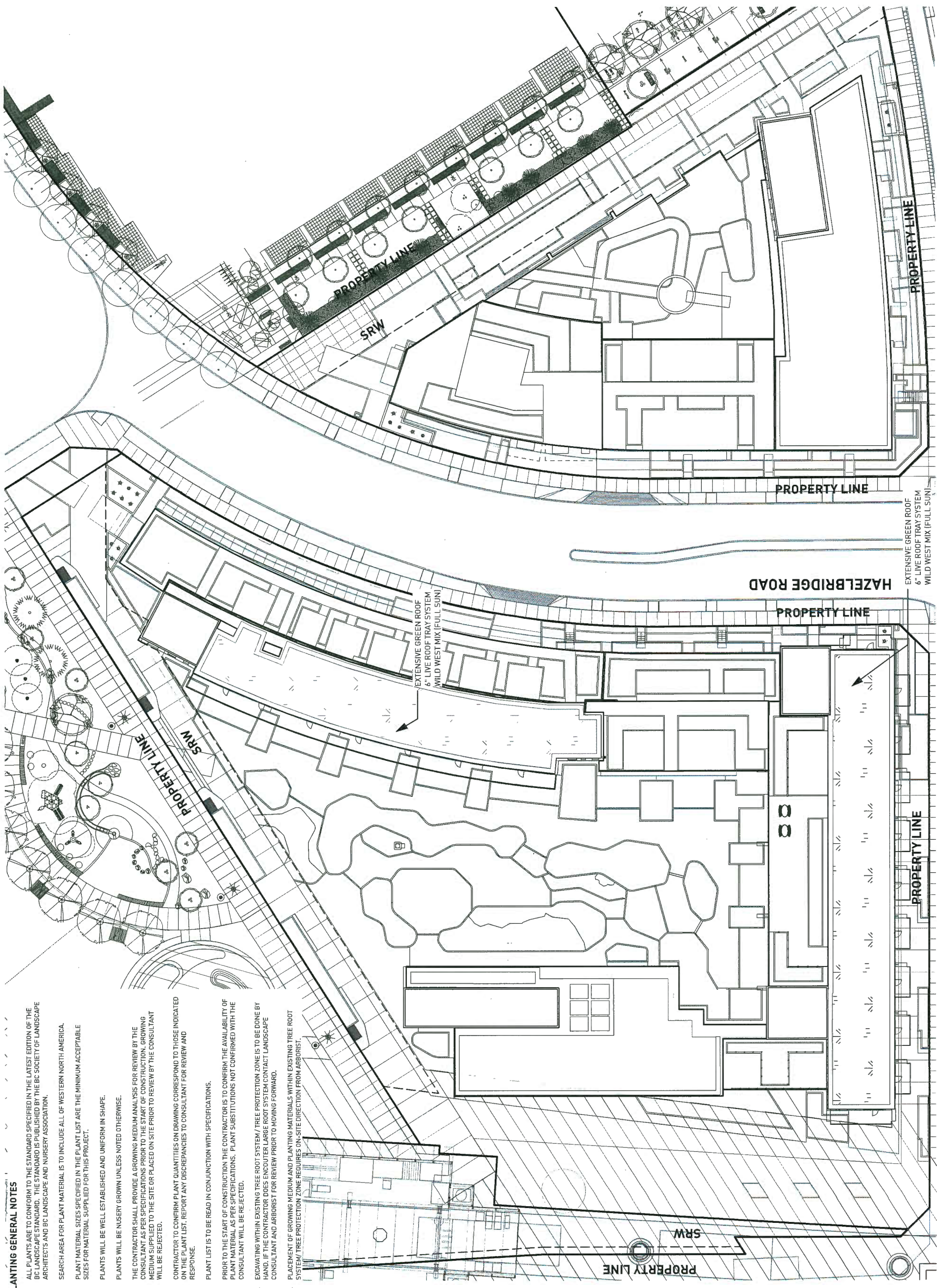


PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 Planting Plan.vwx
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	

L3.09

PLANTING GENERAL NOTES

1. ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION.
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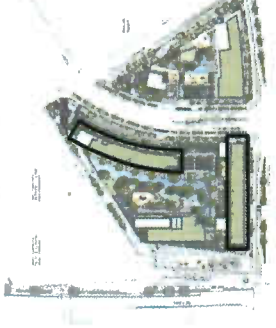
PWL partnership

gbl

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150 West 7th Street
Vancouver BC Canada V6E 0T2
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P 604-681-1111
F 604-681-1112

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



**CONCORD
PACIFIC**

PROJECT
Concord
Capstan Station
DP 17-787403
August 8, 2018
PLAN # 4cc

ADDRESS
8511 Capstan Way
Et No. 3 Road
Richmond, BC

DRAWING TITLE
Planting Plan
Level 15

SCALE
1:500

ORIENTATION
NORTH

PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 Planting Plan.vwx
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	

DRAWING
L3.10



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18, 18B 100 5000
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 Vancouver BC Canada V6C 2P2
 www.gbl.com
 T: 604.681.1111
 F: 604.681.1113

NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



**CONCORD
PACIFIC**

PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4dd

ADDRESS
 8511 Capstan Way
 Rt No. 3 Road
 Richmond, BC

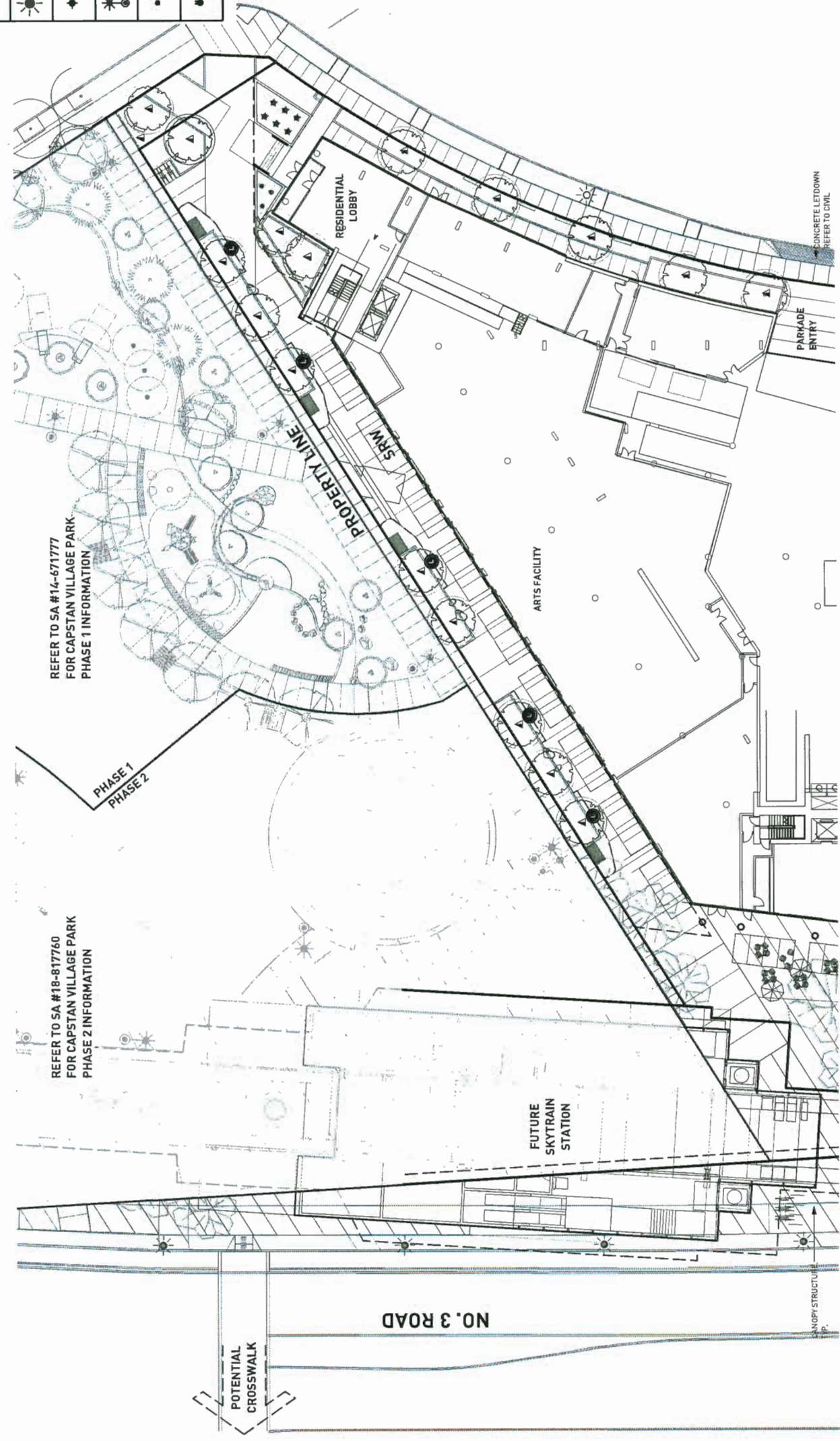
PROPERTY TITLE
 Lighting Plan
 Ground Level

SCALE
 1:200

PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.WX
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	
DRAWING	

L4.01

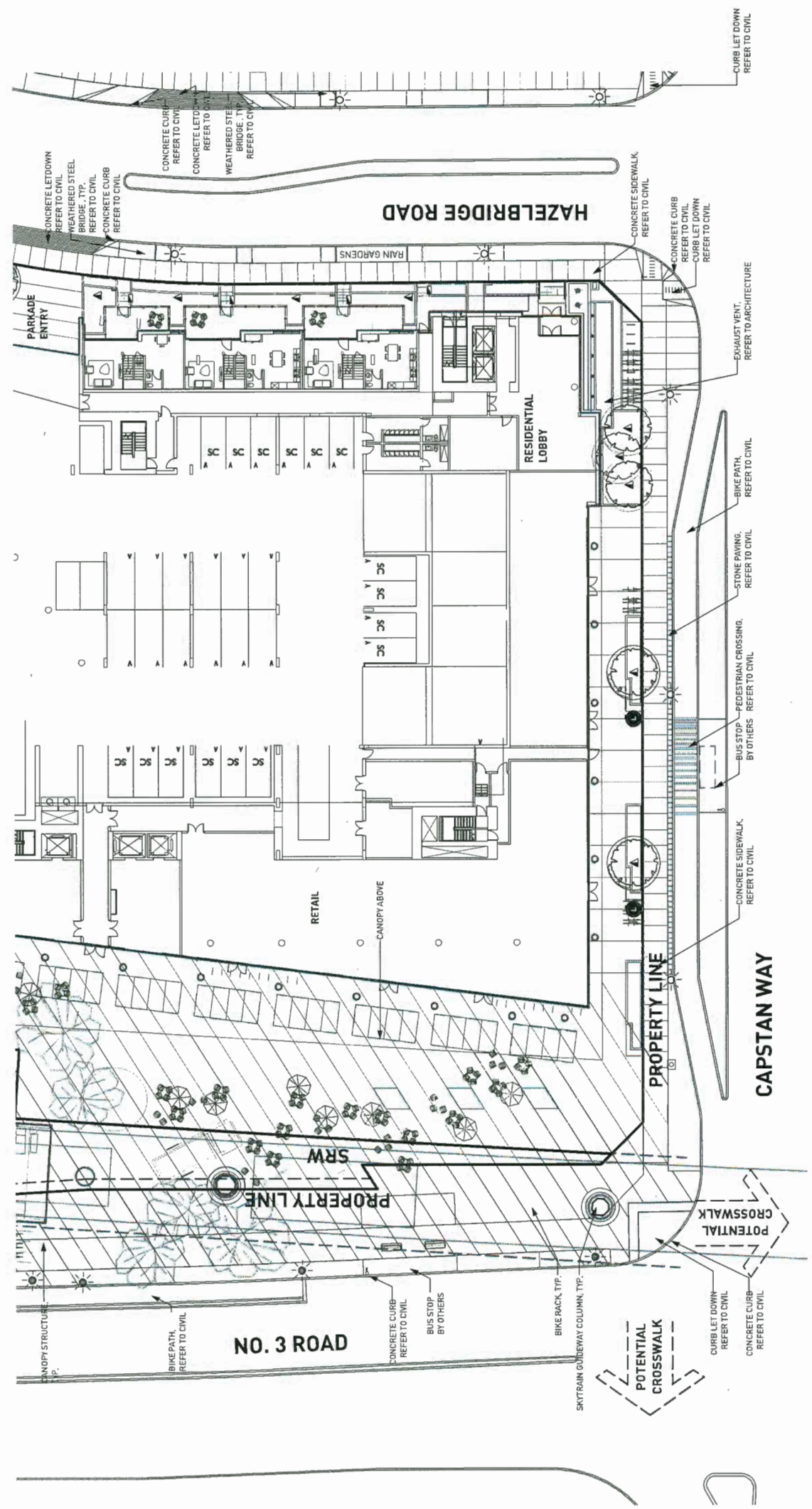
LIGHTING LEGEND	
DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION	
	TYPE 1 - PEDESTRIAN STREET LIGHT
	TYPE 2 - BOLLARD LIGHT
	TYPE 3 - STEP LIGHT/WALL LIGHT
	TYPE 4 - UP LIGHT
	TYPE 5 - LED ROPE LIGHT
	TYPE 6 - LIGHTED RAILING
	TYPE 7 - SUBMERSIBLE ACCENT LIGHT
	TYPE 8 - ENTRY LANTERN
	TYPE 9 - POLE LIGHT (PUBLIC REALM BY OTHERS)
	TYPE 10 - TRELIS LIGHT
	TYPE 11 - POLE LIGHT (CAPSTAN PARK TO MATCH EARLIER PHASE)
	TYPE 12 - POLE LIGHT (MID-BLOCK TRAIL)
	OUTLET FOR SEASONAL LIGHTING



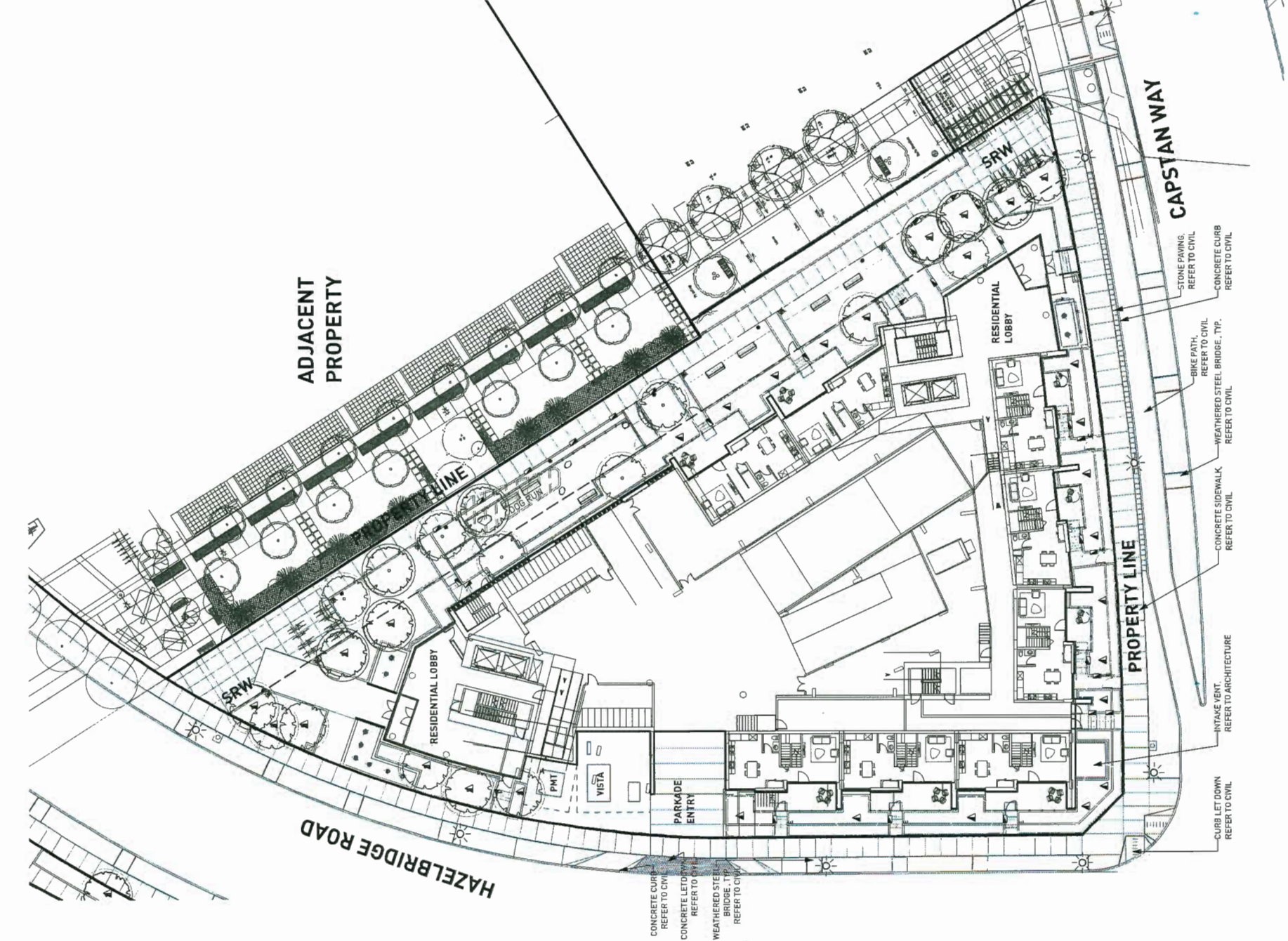
NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



LIGHTING LEGEND	
DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION	
	TYPE 1 - PEDESTRIAN STREET LIGHT
	TYPE 2 - BOLLARD LIGHT
	TYPE 3 - STEP LIGHT/WALL LIGHT
	TYPE 4 - UP LIGHT
	TYPE 5 - LED ROPE LIGHT
	TYPE 6 - LIGHTED RAILING
	TYPE 7 - SUBMERSIBLE ACCENT LIGHT
	TYPE 8 - ENTRY LANTERN
	TYPE 9 - POLE LIGHT (PUBLIC REALM BY OTHERS)
	TYPE 10 - TRELIS LIGHT
	TYPE 11 - POLE LIGHT (CAPSTAN PARK TO MATCH EARLIER PHASE)
	TYPE 12 - POLE LIGHT (MID-BLOCK TRAIL)
	OUTLET FOR SEASONAL LIGHTING



LIGHTING LEGEND	
DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION	
	TYPE 1 - PEDESTRIAN STREET LIGHT
	TYPE 2 - BOLLARD LIGHT
	TYPE 3 - STEP LIGHT/WALL LIGHT
	TYPE 4 - UP LIGHT
	TYPE 5 - LED ROPE LIGHT
	TYPE 6 - LIGHTED RAILING
	TYPE 7 - SUBMERSIBLE ACCENT LIGHT
	TYPE 8 - ENTRY LANTERN
	TYPE 9 - POLE LIGHT (PUBLIC REALM BY OTHERS)
	TYPE 10 - TRELIS LIGHT
	TYPE 11 - POLE LIGHT (CAPSTAN PARK TO MATCH EARLIER PHASE)
	TYPE 12 - POLE LIGHT (MID-BLOCK TRAIL)
	OUTLET FOR SEASONAL LIGHTING



NO.	DATE	DESCRIPTION
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2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



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 510 West 42nd Street
 1201 West 42nd Street
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 www.pwlpartnership.com
 P 604.683.1172



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 VANCOUVER BC V6L 2M6
 TEL: 604.275.8888
 WWW.GBL.COM



PROJECT
**Concord
 Capstan Station**
DP 17-787403
 August 8, 2018
PLAN # 4ff

ADDRESSES
 8511 Capstan Way
 Rt No. 3 Road
 Richmond, BC

DRAWING TITLE
**Lighting Plan
 Ground Level**

SCALE
1:200

PROJECT NO.	18055
DATE	05 September 2017
FILE NAME	18055 PLAN Master.wx
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	

L4.03



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 58 Prince of Wales Avenue
 Vancouver, BC V6C 2K6
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 100 West Broadway
 Vancouver, BC V6C 1A5
 T 604.681.1111
 F 604.681.1112

NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 499

ADDRESS
 8511 Capstan Way
 Et No. 3 Road
 Richmond, BC

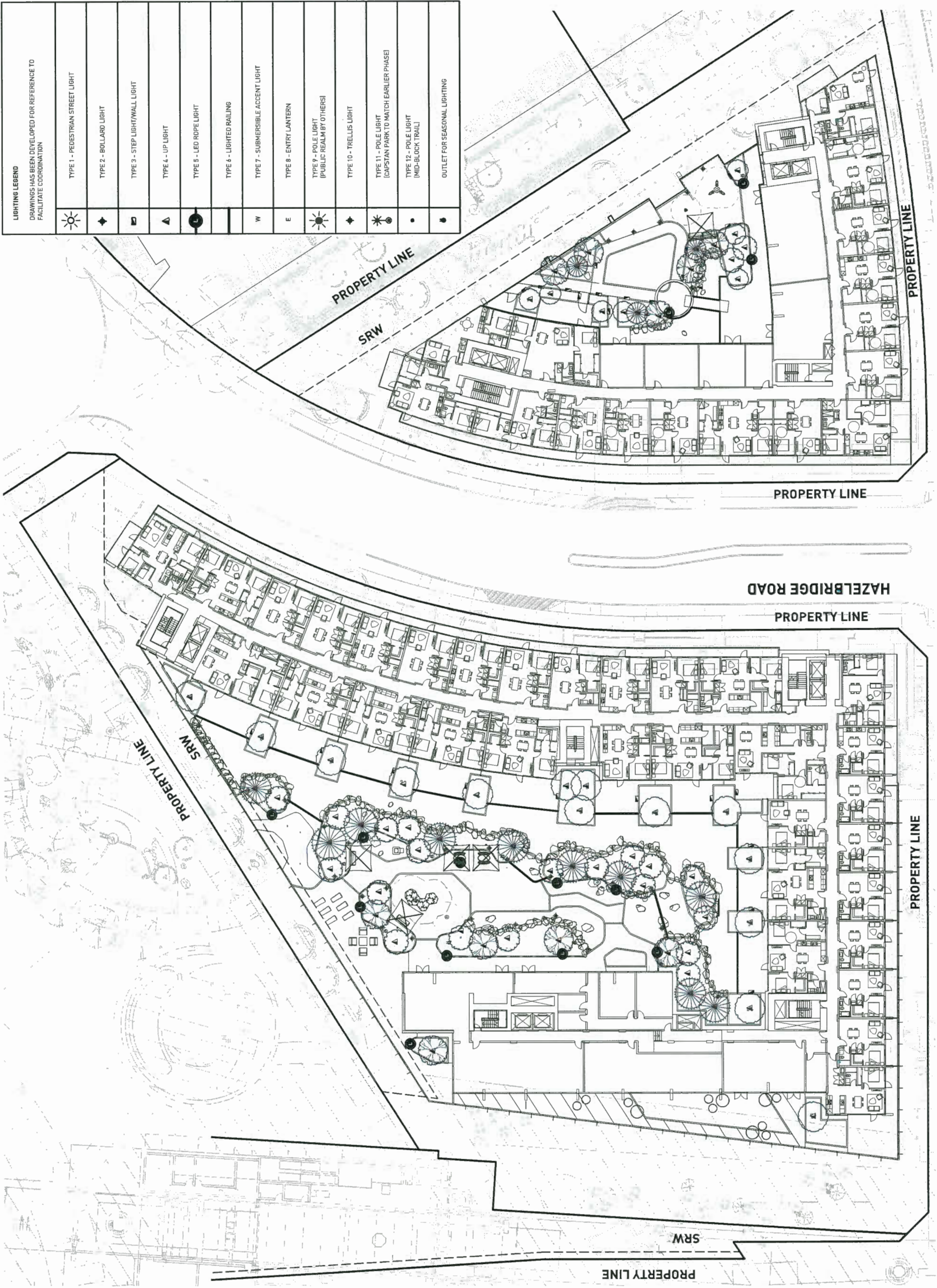
DRAWING TITLE
 Lighting Plan
 Level 4

SCALE
 1:200

PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.vwx
PLOTTED	18-8-9
DRAWN BY	PK
REVIEWED	

L4.04

LIGHTING LEGEND	
DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION	
	TYPE 1 - PEDESTRIAN STREET LIGHT
	TYPE 2 - BOLLARD LIGHT
	TYPE 3 - STEP LIGHT/WALL LIGHT
	TYPE 4 - UP LIGHT
	TYPE 5 - LED ROPELIGHT
	TYPE 6 - LIGHTED RAILING
	TYPE 7 - SUBMERSIBLE ACCENT LIGHT
	TYPE 8 - ENTRY LANTERN
	TYPE 9 - POLE LIGHT (PUBLIC REALM BY OTHERS)
	TYPE 10 - TRELIS LIGHT
	TYPE 11 - POLE LIGHT (CAPSTAN PARK TO MATCH EARLIER PHASE)
	TYPE 12 - POLE LIGHT (MID-BLOCK TRAIL)
	OUTLET FOR SEASONAL LIGHTING





PWL Partnership Landscape Architects Inc.
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 Vancouver, BC V6C 2K4
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 F 604.681.8112



NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4hh

ADDRESS
 8511 Capstan Way
 Et. No. 3 Road
 Richmond, BC

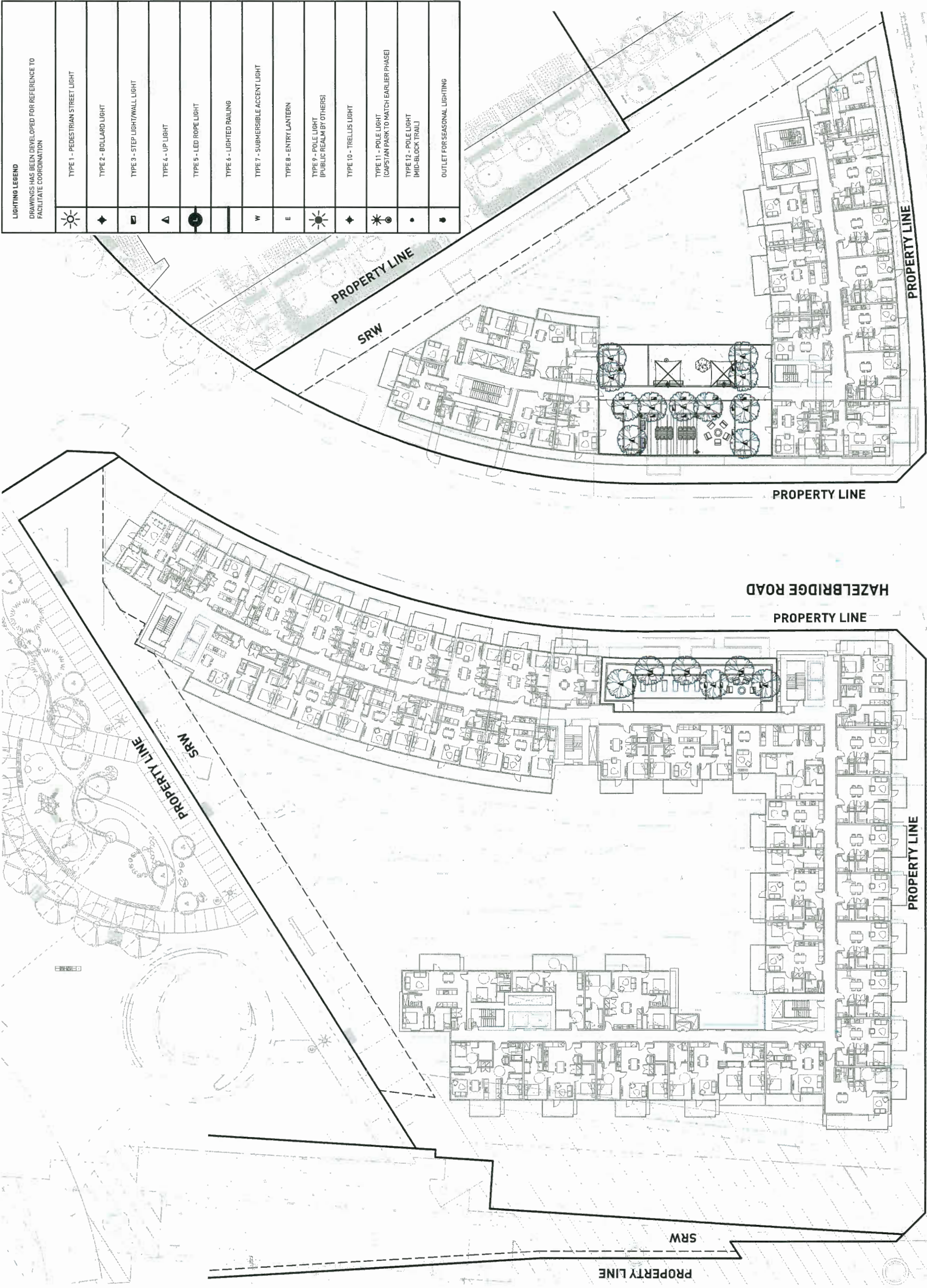
PROPOSAL TITLE
 Lighting Plan
 Level 6

SCALE
 1:200

PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.VWX
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	

L4.05

LIGHTING LEGEND	
DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION	
	TYPE 1 - PEDESTRIAN STREET LIGHT
	TYPE 2 - BOLLARD LIGHT
	TYPE 3 - STEP LIGHT/WALL LIGHT
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	TYPE 12 - POLE LIGHT (MID-BLOCK TRAIL)
	OUTLET FOR SEASONAL LIGHTING



PROPERTY LINE

HAZELBRIDGE ROAD

PROPERTY LINE

PROPERTY LINE

SRW

PROPERTY LINE

PROPERTY LINE

SRW



PWL Partnership Landscape Architects Inc.
 1201 West Pender Street
 Vancouver BC Canada V6E 2Z2
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1800 WEST PENDER STREET
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 TEL: 604.681.1111
 FAX: 604.681.1112
 WWW.GBL.COM

NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4ii

ADDRESS
 8511 Capstan Way
 Et. No. 3 Road
 Richmond, BC

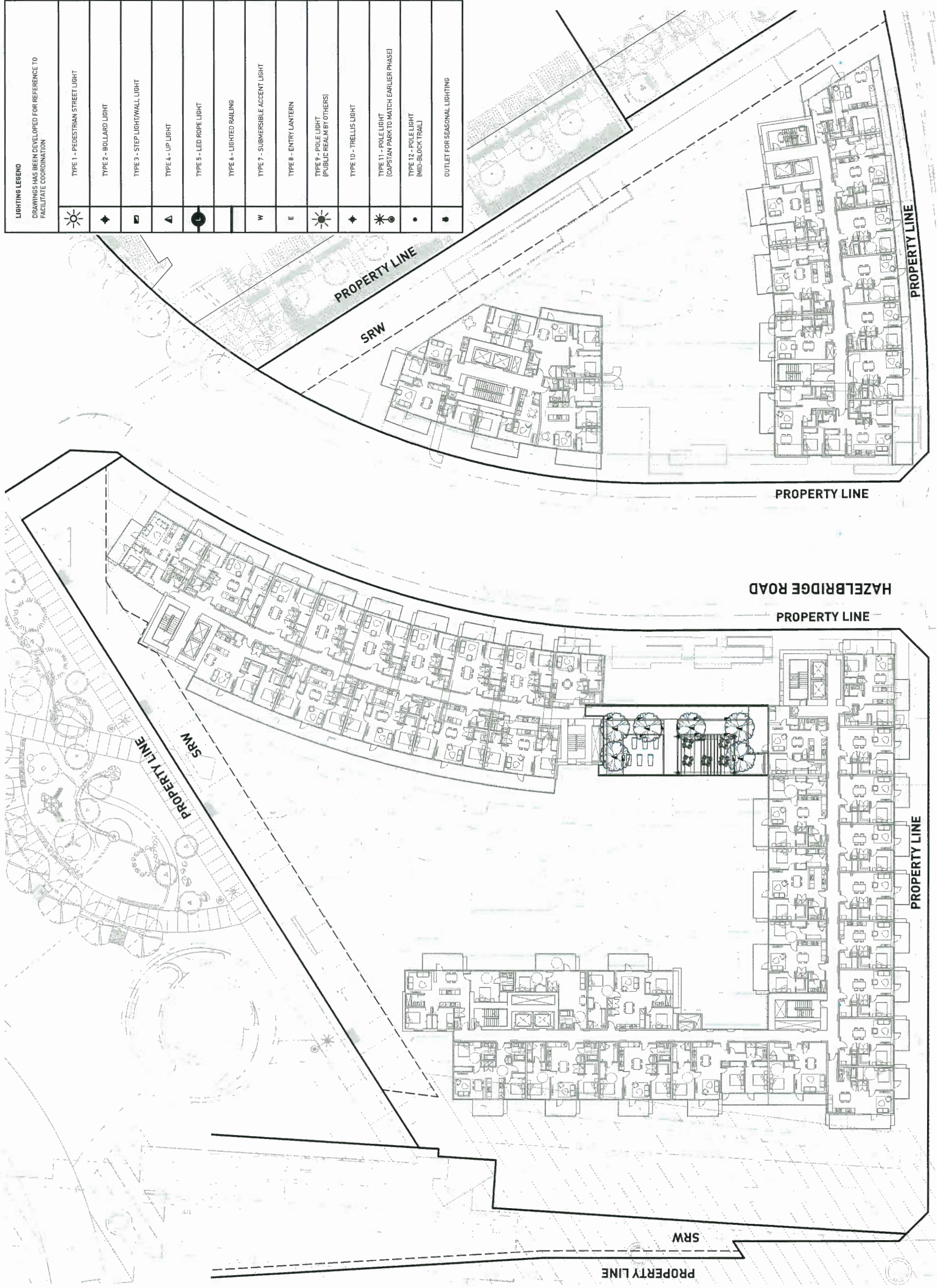
DRAWING TITLE
 Grading Plan
 Level 7

CONCORD PACIFIC
 1800 WEST PENDER STREET
 VANCOUVER, BC V6E 2Z2
 TEL: 604.681.1111
 FAX: 604.681.1112
 WWW.CONCORDPACIFIC.COM

PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.vmx
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	



LIGHTING LEGEND	
DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION	
	TYPE 1 - PEDESTRIAN STREET LIGHT
	TYPE 2 - BOLLARD LIGHT
	TYPE 3 - STEP LIGHT/WALL LIGHT
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	TYPE 6 - LIGHTED RAILING
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	TYPE 10 - TRELIS LIGHT
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	OUTLET FOR SEASONAL LIGHTING



L4.06



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 Vancouver, BC V6H 3G7
 T 604.681.1111
 F 604.681.1112

NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
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PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4ij

ADDRESS
 8511 Capstan Way
 Et. No. 3 floor
 Richmond, BC

DRAWING TITLE
 Lighting Plan
 Level 12

SCALE
 1:200

PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.vwx
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	

L4.07

LIGHTING LEGEND	
DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION	
	TYPE 1 - PEDESTRIAN STREET LIGHT
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	OUTLET FOR SEASONAL LIGHTING





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3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 4kk

ADDRESS
 8511 Capstan Way
 E No. 3 Road
 Richmond, BC

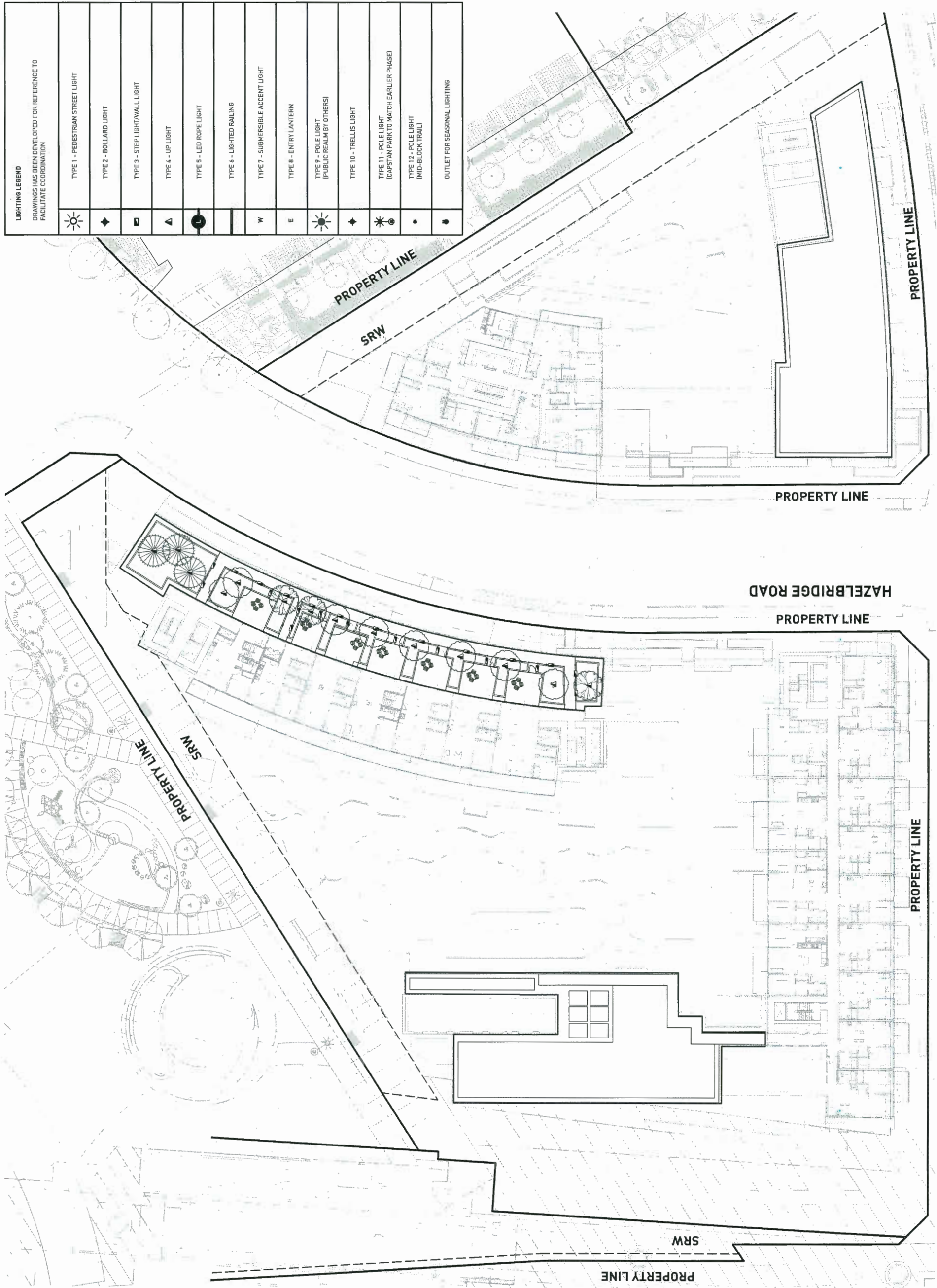
DRAWING TITLE
 Lighting Plan
 Level 13

SCALE
 1:200

PROJECT NO.	18055
DATE	05 September 2017
FILE NAME	16055 PLAN Master.vwx
PLOTTED	18-8-9
DRAWN	PT
REVIEWED	

L4.08

LIGHTING LEGEND	
DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION	
	TYPE 1 - PEDESTRIAN STREET LIGHT
	TYPE 2 - BOLLARD LIGHT
	TYPE 3 - STEP LIGHT/WALL LIGHT
	TYPE 4 - UP LIGHT
	TYPE 5 - LED ROPE LIGHT
	TYPE 6 - LIGHTED RAILING
	TYPE 7 - SUBMERSIBLE ACCENT LIGHT
	TYPE 8 - ENTRY LANTERN
	TYPE 9 - POLE LIGHT (PUBLIC REALM BY OTHERS)
	TYPE 10 - TRELIS LIGHT
	TYPE 11 - POLE LIGHT (CAPSTAN PARK TO MATCH EARLIER PHASE)
	TYPE 12 - POLE LIGHT (MID-BLOCK TRAIL)
	OUTLET FOR SEASONAL LIGHTING





PWL Partnership Landscape Architects Inc.
 1111 West Broadway
 207 West Pender Street
 Vancouver BC Canada V6E 2T2
 www.pwlpartnership.com
 P: 604.681.1111
 F: 604.681.1112



1000 STEVENSON BLVD
 SUITE 200
 VANCOUVER, BC V6L 2K6
 TEL: 604.275.1234
 FAX: 604.275.1235
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NO.	DATE	DESCRIPTION
1	17-9-22	Issued for DP
2	17-10-20	Re-issued for DP
3	18-3-9	Re-issued for DP
4	18-8-9	Re-issued for DP



PROJECT
 Concord
 Capstan Station
 DP 17-787403
 August 8, 2018
 PLAN # 411

ADDRESS
 8511 Capstan Way
 Et. No. 3 Road
 Richmond, BC

DRAWING TITLE
 Lighting Plan
 Level 14

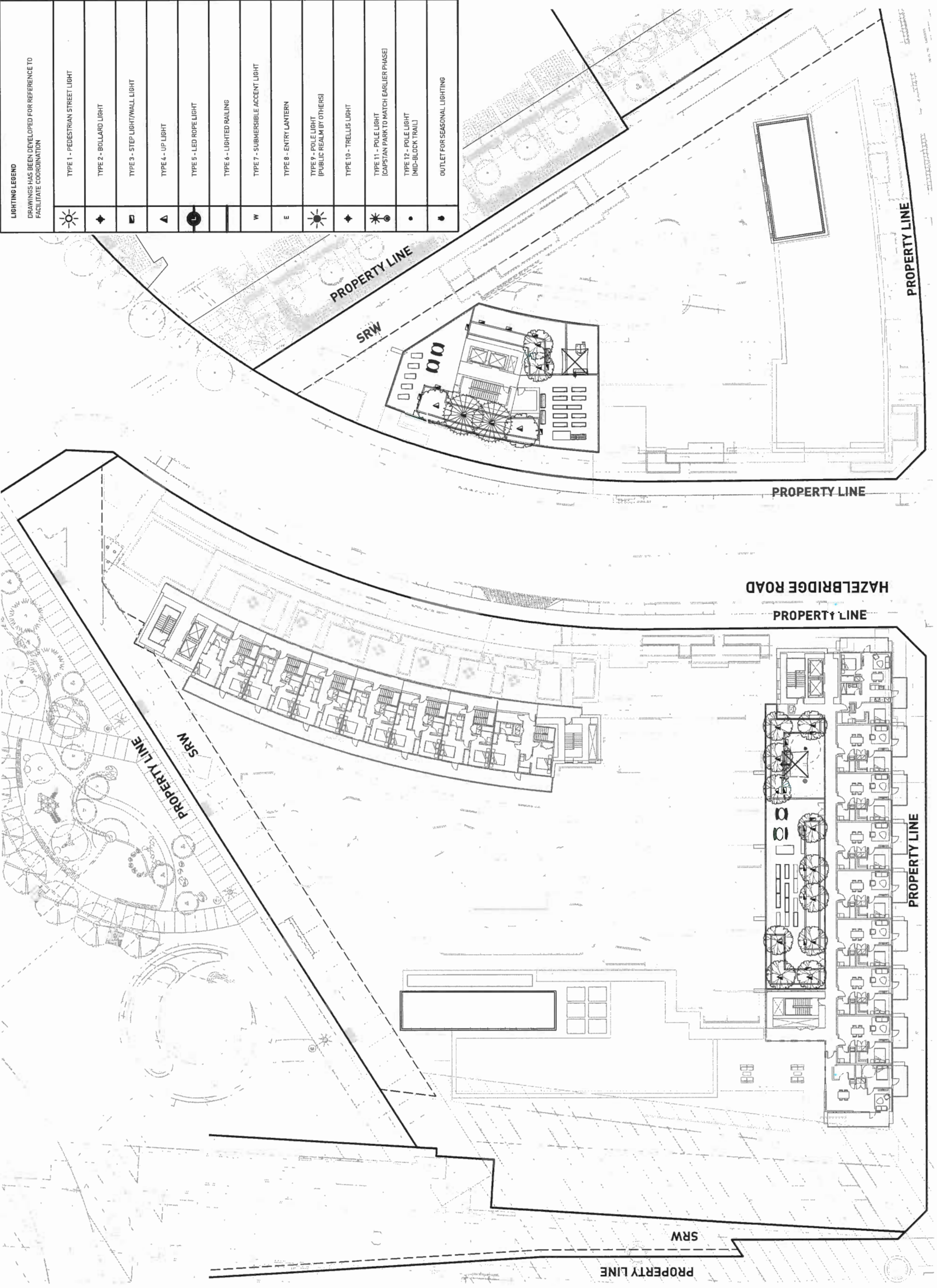
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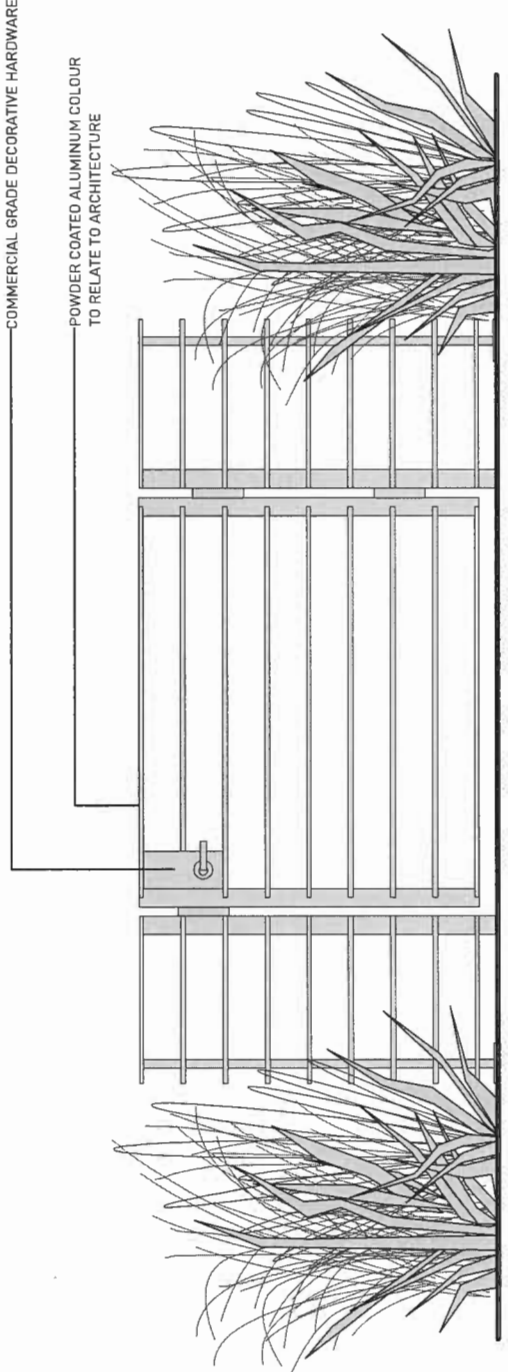


PROJECT NO.	180955
DATE	05 September 2017
FILE NAME	16055 PLAN Master.vwx
PROJECT	18-8-9
DRAWN BY	PT
REVIEWED BY	

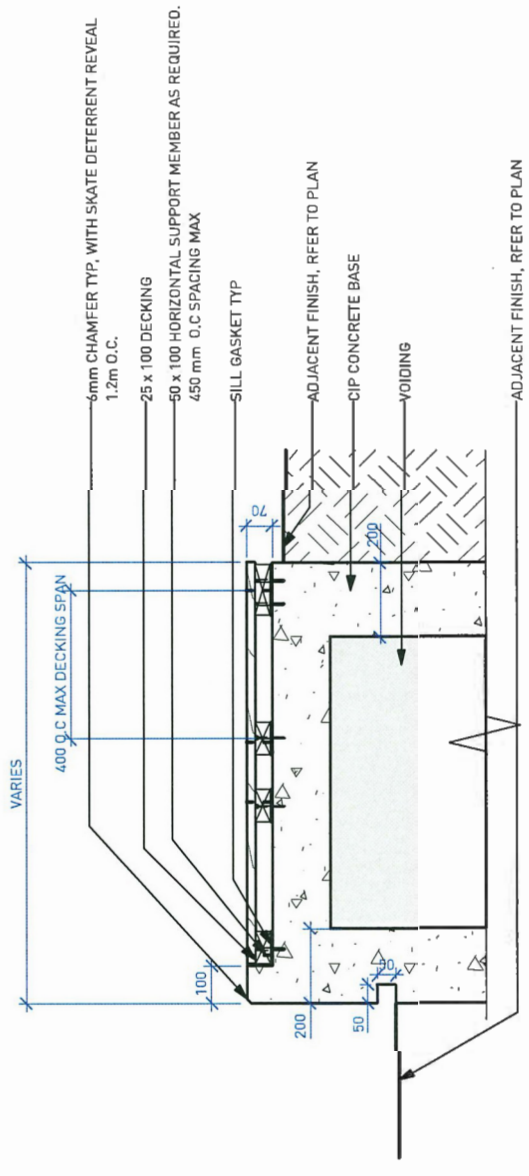
L4.09

LIGHTING LEGEND	
DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION	
	TYPE 1 - PEDESTRIAN STREET LIGHT
	TYPE 2 - BOLLARD LIGHT
	TYPE 3 - STEP LIGHT/WALL LIGHT
	TYPE 4 - UP LIGHT
	TYPE 5 - LED ROPE LIGHT
	TYPE 6 - LIGHTED RAILING
	TYPE 7 - SUBMERSIBLE ACCENT LIGHT
	TYPE 8 - ENTRY LANTERN
	TYPE 9 - POLE LIGHT (PUBLIC REALM BY OTHERS)
	TYPE 10 - TRELIS LIGHT
	TYPE 11 - POLE LIGHT (CAPSTAN PARK TO MATCH EARLIER PHASE)
	TYPE 12 - POLE LIGHT (MID-BLOCK TRAIL)
	OUTLET FOR SEASONAL LIGHTING

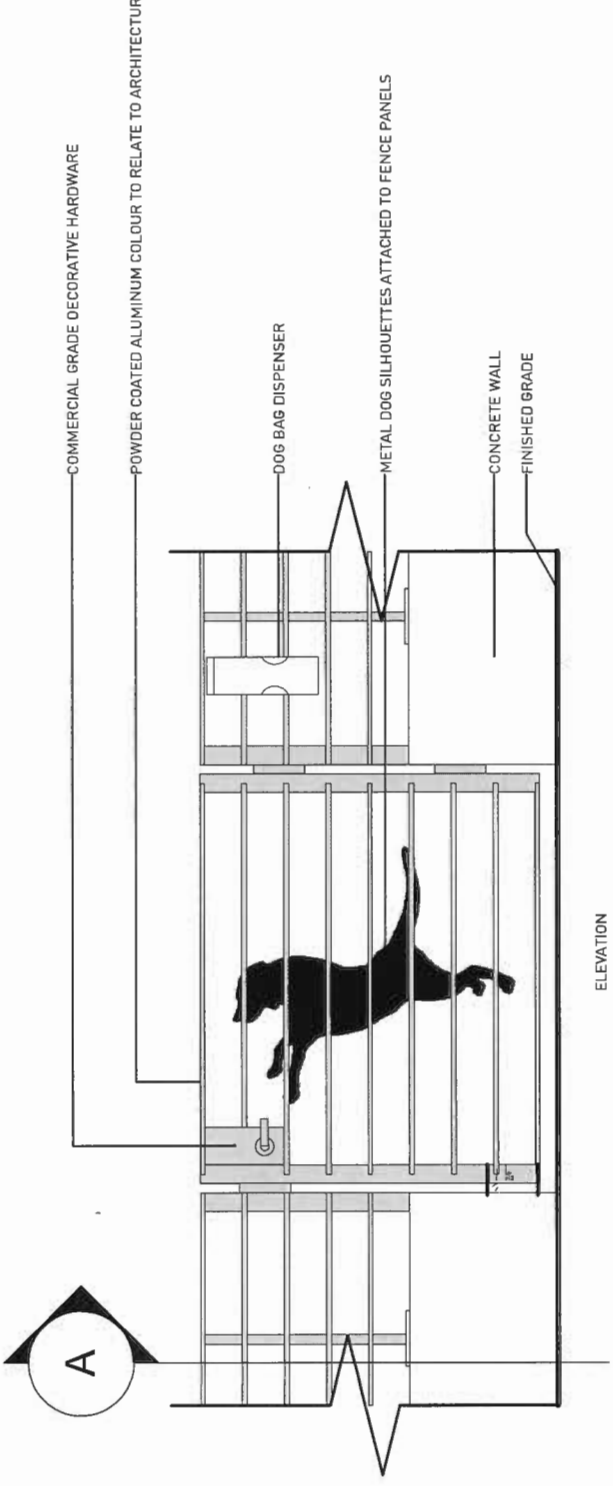




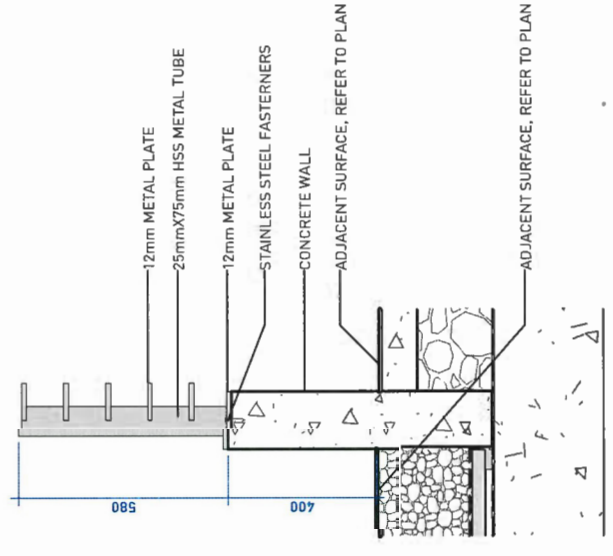
1 Metal Gate for Patio
 Scale: 1:20



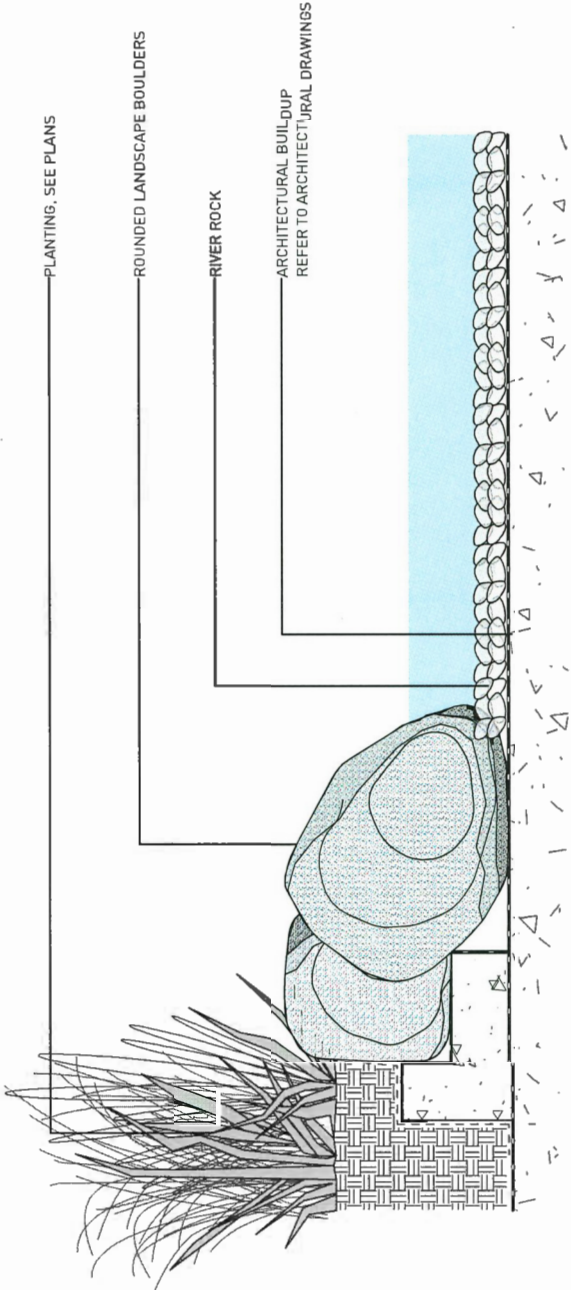
2 Seating Deck
 Scale: 1:20



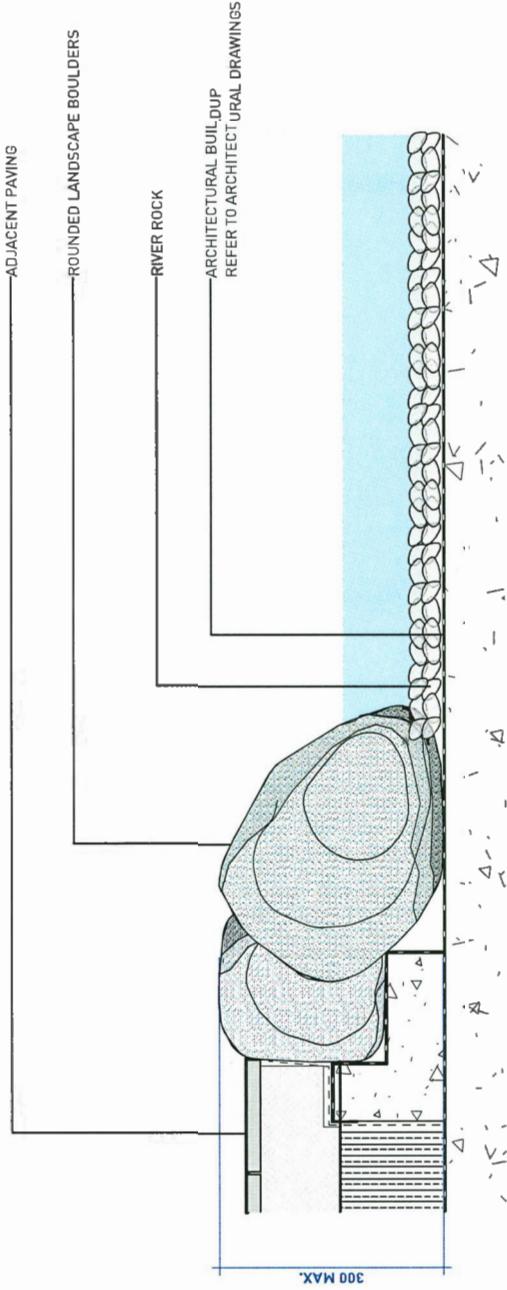
3 Metal Fence and Gate at Dog Park
 Scale: 1:20



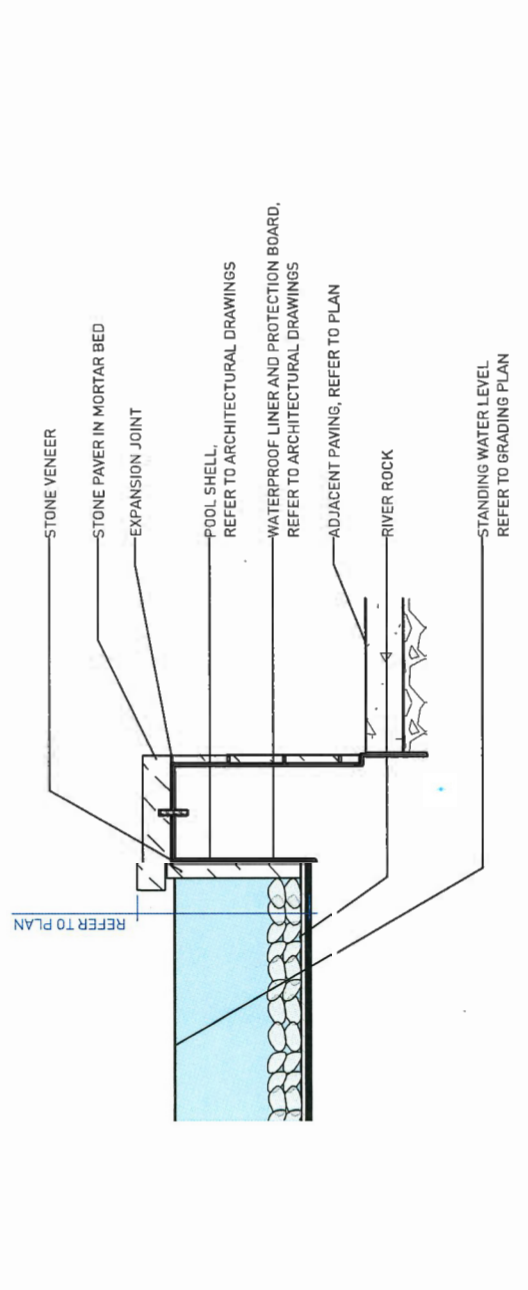
PROJECT NO.	16095
DATE	05 September 2017
FILE NAME	
PLOTTED	
DRAWN	PYZL
REVIEWED	GB



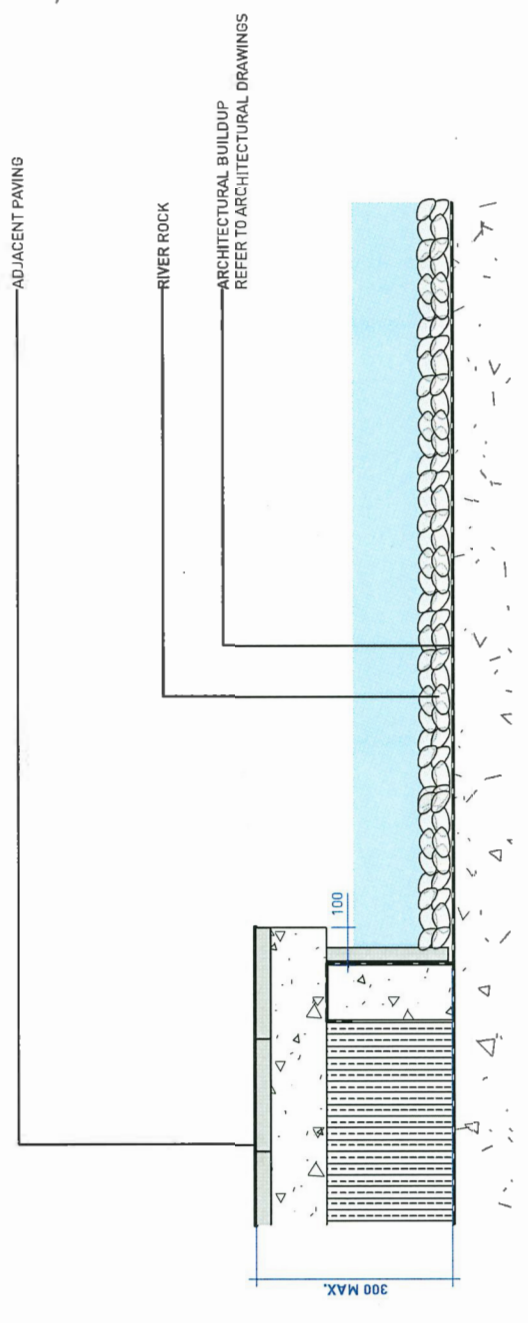
1 Water Feature Edge Type 1 in Amenity Area
Scale: 1:20



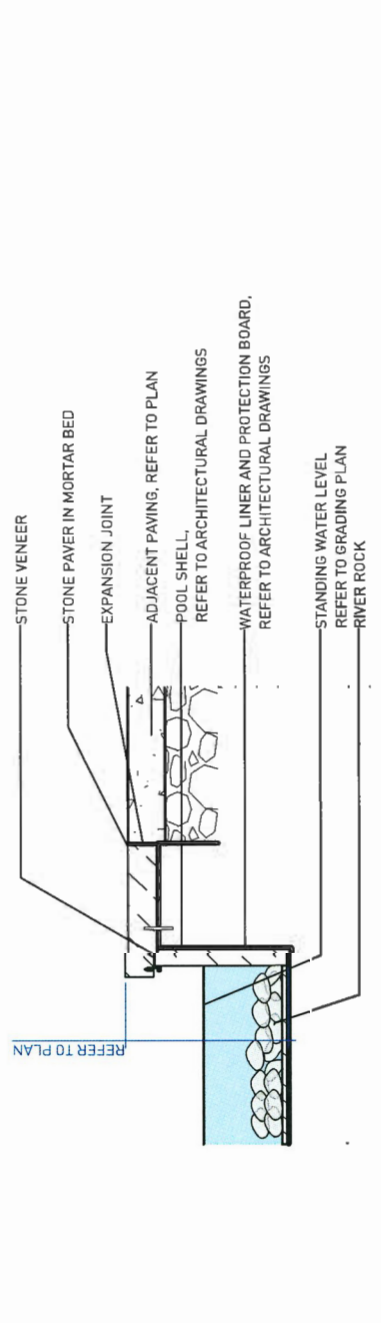
3 Water Feature Edge Type 3 in Amenity Area
Scale: 1:20



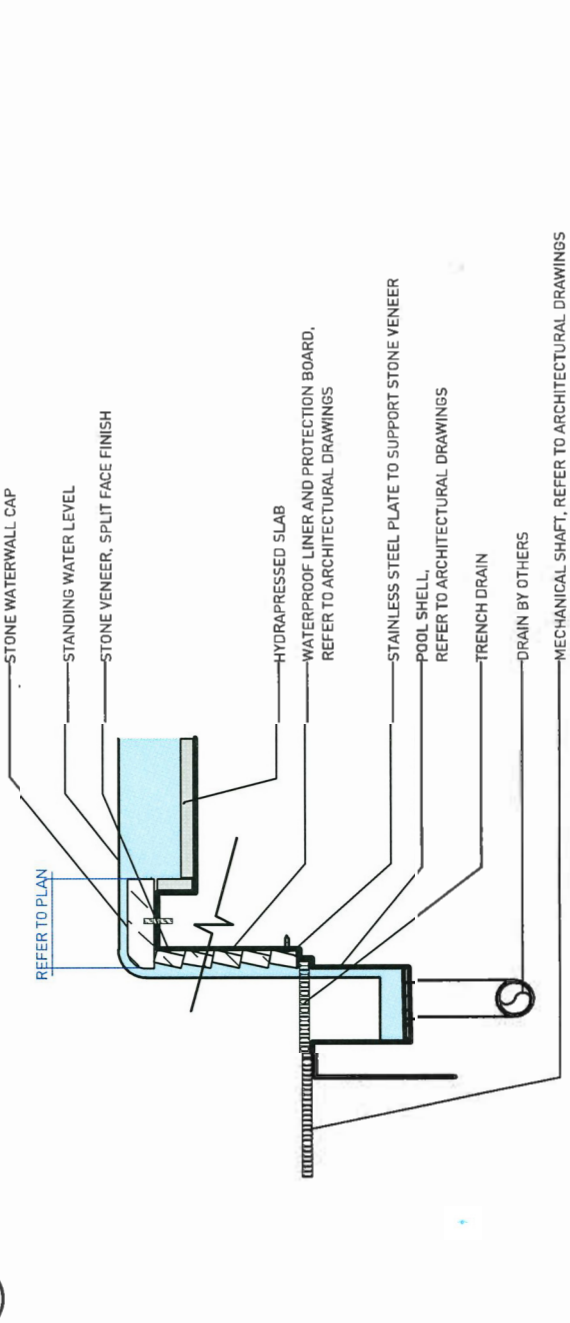
5 Water Feature Edge Type 5 in Amenity Area
Scale: 1:20



2 Water Feature Edge Type 2 in Amenity Area
Scale: 1:20



4 Water Feature Edge Type 4 in Amenity Area
Scale: 1:20



6 Water Feature Edge Type 6 Water Wall Adjacent to Mechanical Shaft
Scale: 1:20



PWL Partnership Landscape Architects Inc.
505 Place East Pacific House
Vancouver BC Canada V6E 2P2
www.pwlpartnership.com
TEL: 604.683.8311
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GBL ARCHITECTURE
1000 WEST 10TH AVENUE
VANCOUVER BC CANADA V6E 2M6
TEL: 604.683.8311
FAX: 604.683.8172

NO.	DATE	DESCRIPTION
1	18-8-9	Re-issued for IP



CONCORD
PACIFIC

PROJECT
Concord Capstan Station

DP 17-787403
August 8, 2018
PLAN # 4nn

ADDRESS
8511 Capstan Way
6 No. 3 Road
Richmond, BC

DRAWING TITLE
Landscape Details

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SCALE	
AS SHOWN	

PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	
PLOTTED	
DRAWN	PYZL
CHECKED	GB

L5.02



PWL Partnership Landscape Architecture Inc.
 100 West Beaver Creek
 Suite 100, Richmond, BC V6X 1Y7
 www.pwlpartnership.com
 Tel: 604.273.1111
 Fax: 604.273.1112

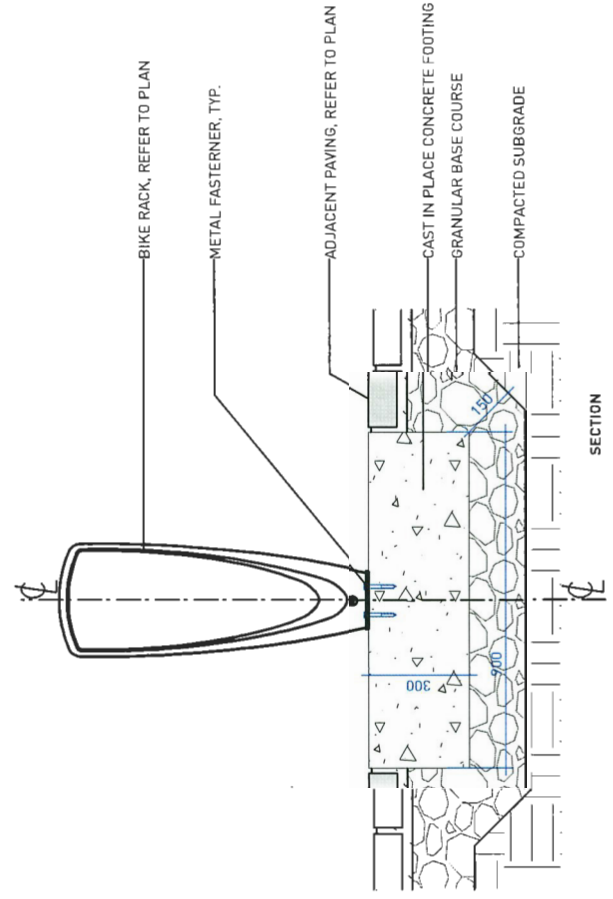


LANDSCAPE ARCHITECTURE
 1100 WEST BEAVER CREEK
 SUITE 100 RICHMOND BC V6X 1Y7
 TEL: 604.273.1111
 FAX: 604.273.1112

NO.	DATE	DESCRIPTION
1	18-8-9	Re-issued for DP



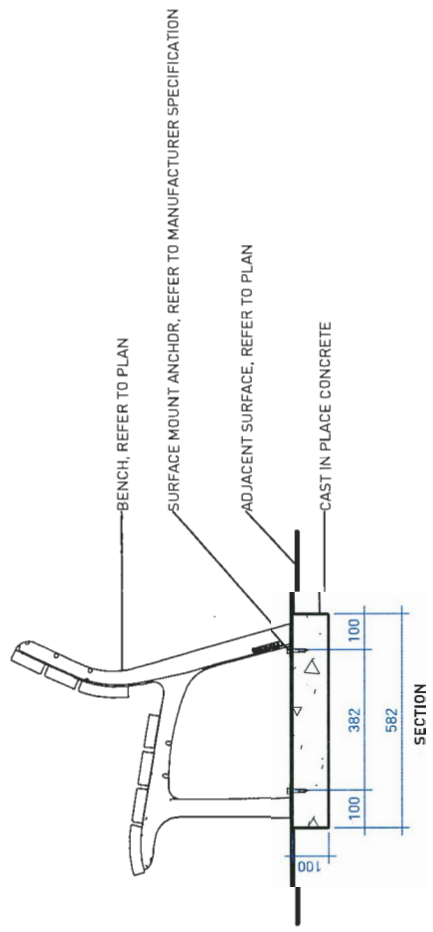
NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO



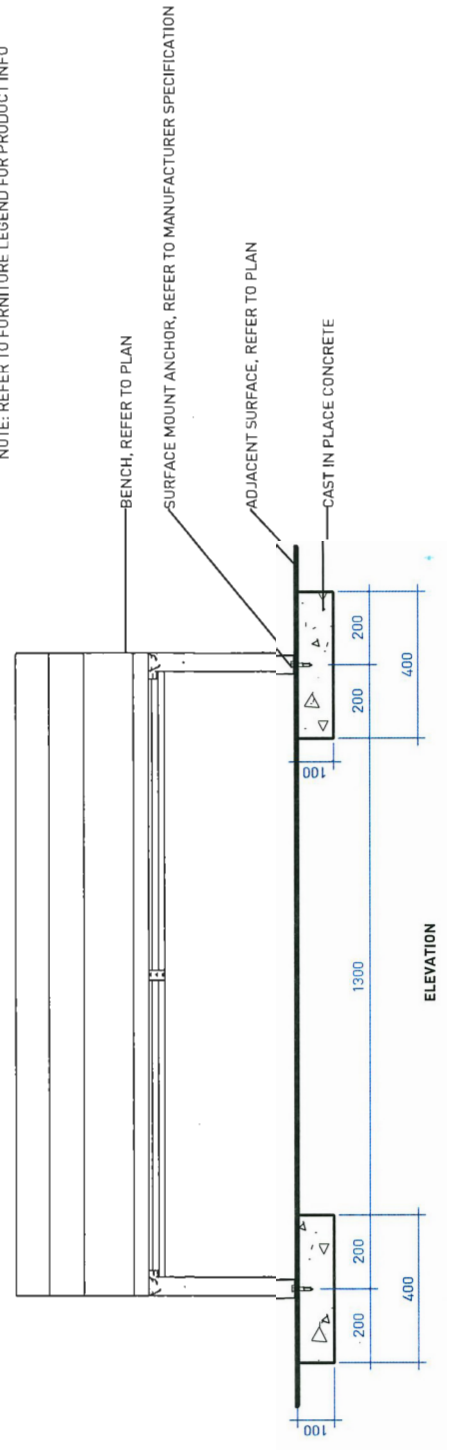
1 Bike Rack on Concrete Footing
 Scale: 1:20



NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO



2 Bench on Concrete Footing
 Scale: 1:20



PROJECT
Concord Capstan Station

DP 17-787403
 August 8, 2018
 PLAN # 400

ADDRESS
 8511 Capstan Way
 Et. No. 3 Road
 Richmond, BC

ISSUANCE TITLE
Landscape Details

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PROJECT		SCALE
PROJECT NO.	16095	AS SHOWN
DATE	05 September 2017	
FILE NAME		
PLOTTED		
DRAWN	PY/ZL	REVIEWED GB
DRAWING		

L5.03



PWL Partnership Landscape Architects Inc.
 100 West 52nd Avenue, Suite 1201
 Toronto, Ontario M5T 1A7
 Tel: 416-593-8888
 Fax: 416-593-8889
 www.pwlpartnership.com

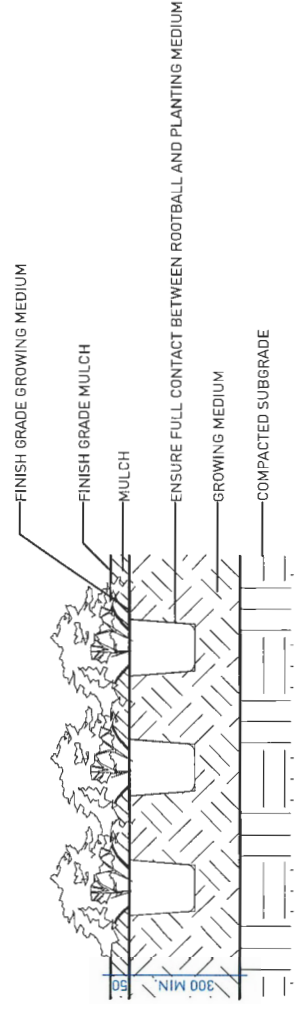


REVISED AND ISSUES	NO.	DATE	DESCRIPTION
	1	18-8-9	Re-issued for DP

NOTES:

- SHRUB TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL OR POT LEVEL WITH FINISH GRADE ELEVATION.
- COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 125mm AWAY FROM STEMS OF SHRUB.
- PLANTING PIT MUST BE FREE DRAINING.
- THE BELOW DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES.

- PLANT TO BE PLANTED WITH TOP OF ROOTBALL LEVEL WITH FINISH GRADE OF GROWING MEDIUM.
- COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS.
- PRUNE ANY BROKEN OR DAMAGED BRANCHES AND DOUBLE LEADERS USING APPROVED PRUNING TOOLS AND STANDARD I.S.A. PRUNING PRACTICES. SEE SPECIFICATIONS.

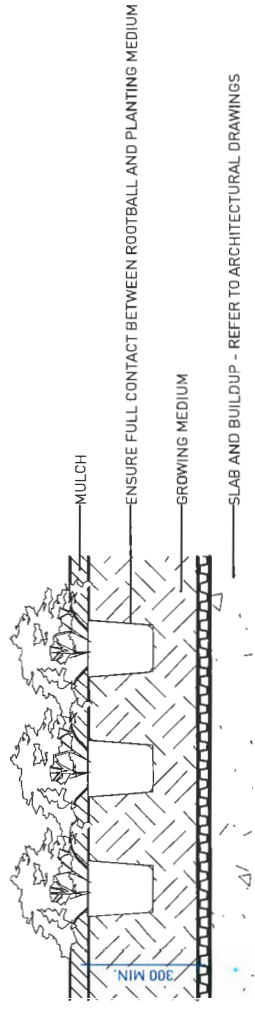


1 Groundcover Planting on Grade

Scale: 1:20

NOTES:

- PLANT TO BE PLANTED WITH TOP OF ROOTBALL LEVEL WITH FINISH GRADE.
- COMPOSTED BARK MULCH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS.
- PRUNE ANY BROKEN OR DAMAGED BRANCHES AND DOUBLE LEADERS USING APPROVED PRUNING TOOLS AND STANDARD I.S.A. PRUNING PRACTICES. SEE SPECIFICATIONS.



3 Groundcover Planting on Slab

Scale: 1:20

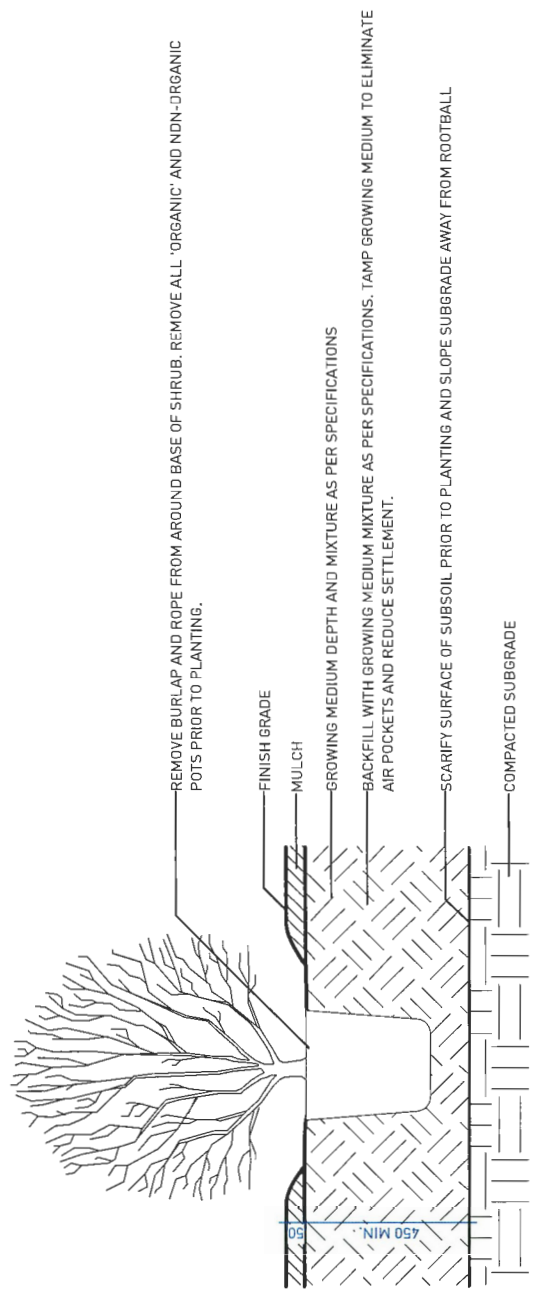
2

Shrub Planting on Grade

Scale: 1:20

NOTES:

- SHRUB TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL OR POT LEVEL WITH FINISH GRADE ELEVATION.
- COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 125mm AWAY FROM STEMS OF SHRUB.
- PLANTING PIT MUST BE FREE DRAINING.
- THE BELOW DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES.



4

Shrub Planting on Slab

Scale: 1:20



CONCORD
PACIFIC

PROJECT
Concord Capstan Station

DP 17-787403

August 8, 2018

PLAN # 4pp

ADDRESS

8511 Capstan Way
 Et No. 3 Road
 Richmond, BC

DESCRIPTION

Landscape Details

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NORTH

SCALE

AS SHOWN

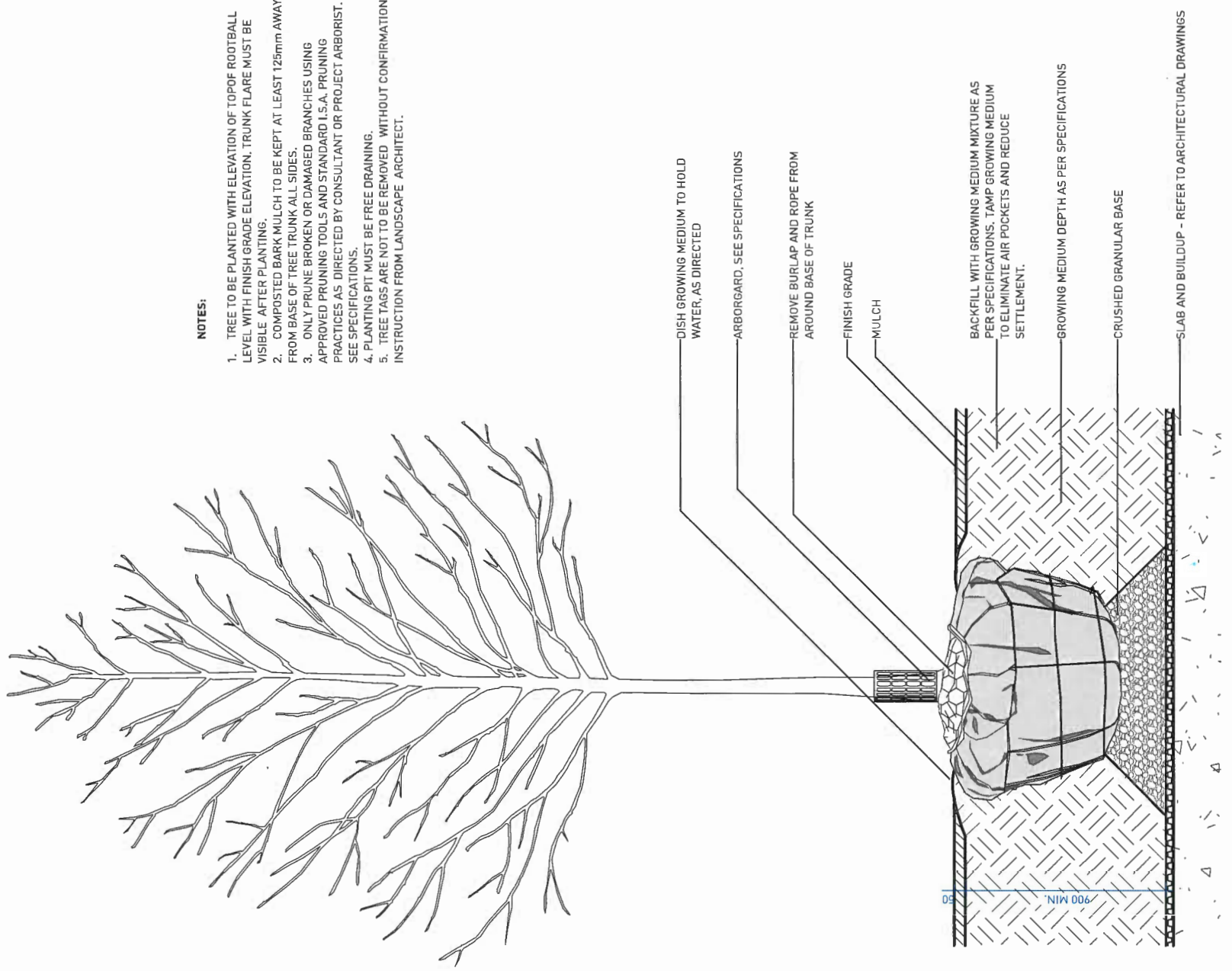
PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	
PLOTTED	
DRAWN	PT/ZL
CHECKED	GB

L5.04

NO.	DATE	DESCRIPTION
1	18-8-9	Re-issued for IP

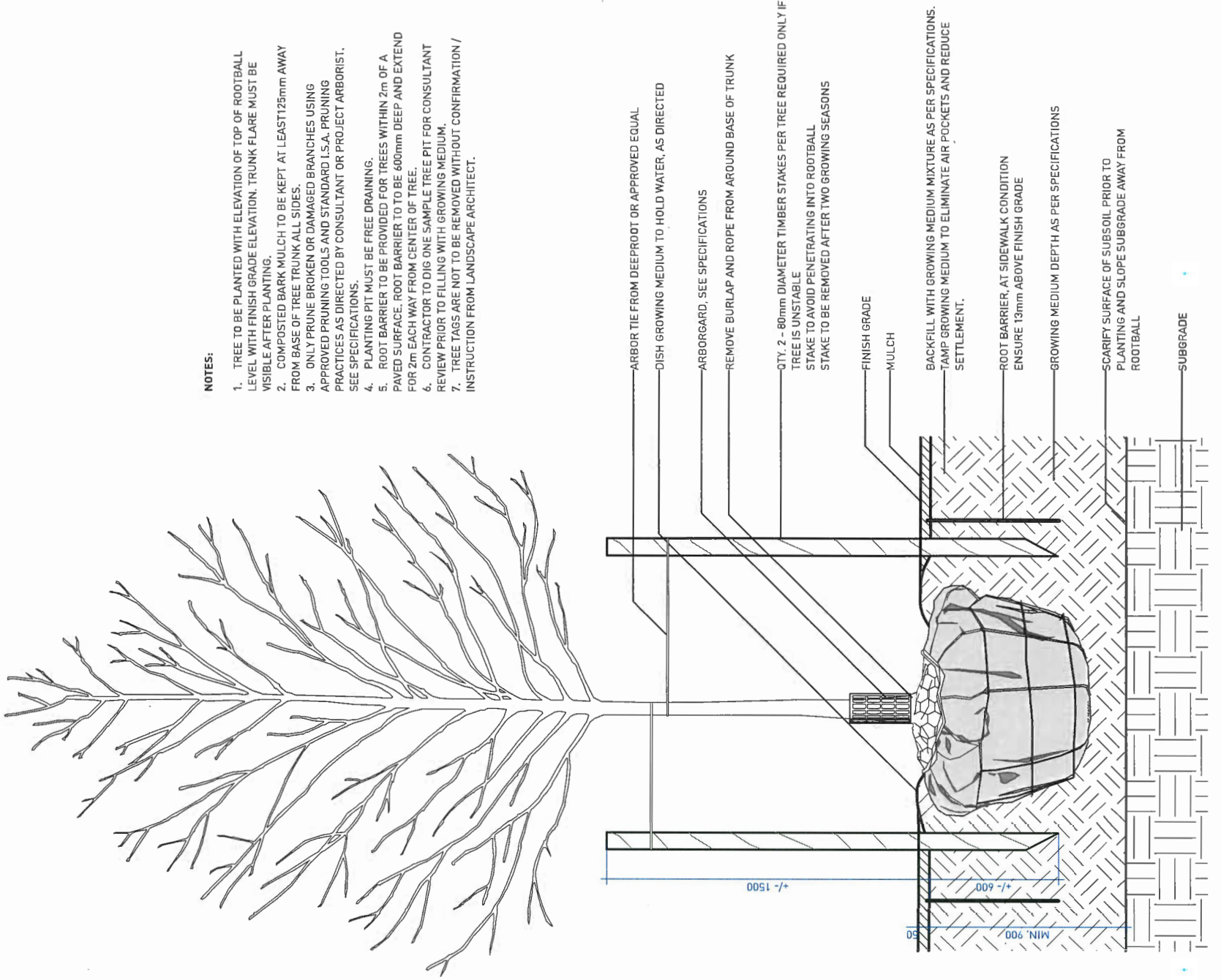
NOTES:

1. TREE TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL LEVEL WITH FINISH GRADE ELEVATION. TRUNK FLARE MUST BE VISIBLE AFTER PLANTING.
2. COMPOSTED BARK MULCH TO BE KEPT AT LEAST 125mm AWAY FROM BASE OF TREE TRUNK ALL SIDES.
3. ONLY PRUNE BROKEN OR DAMAGED BRANCHES USING APPROVED PRUNING TOOLS AND STANDARD U.S.A. PRUNING PRACTICES AS DIRECTED BY CONSULTANT OR PROJECT ARBORIST. SEE SPECIFICATIONS.
4. PLANTING PIT MUST BE FREE DRAINING.
5. TREE TAGS ARE NOT TO BE REMOVED WITHOUT CONFIRMATION / INSTRUCTION FROM LANDSCAPE ARCHITECT.



NOTES:

1. TREE TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL LEVEL WITH FINISH GRADE ELEVATION. TRUNK FLARE MUST BE VISIBLE AFTER PLANTING.
2. COMPOSTED BARK MULCH TO BE KEPT AT LEAST 125mm AWAY FROM BASE OF TREE TRUNK ALL SIDES.
3. ONLY PRUNE BROKEN OR DAMAGED BRANCHES USING APPROVED PRUNING TOOLS AND STANDARD U.S.A. PRUNING PRACTICES AS DIRECTED BY CONSULTANT OR PROJECT ARBORIST. SEE SPECIFICATIONS.
4. PLANTING PIT MUST BE FREE DRAINING.
5. ROOT BARRIER TO BE PROVIDED FOR TREES WITHIN 2m OF A PAVED SURFACE. ROOT BARRIER TO BE 600mm DEEP AND EXTEND FOR 2m EACH WAY FROM CENTER OF TREE.
6. CONTRACTOR TO DIG ONE SAMPLE TREE PIT FOR CONSULTANT REVIEW PRIOR TO FILLING WITH GROWING MEDIUM.
7. TREE TAGS ARE NOT TO BE REMOVED WITHOUT CONFIRMATION / INSTRUCTION FROM LANDSCAPE ARCHITECT.



PROJECT
Concord Capstan Station

DP 17-787403
August 8, 2018
PLAN # 4qq

ADDRESS
8511 Capstan Way
Et. No. 3 Road
Richmond, BC

DATE/TITLE
Landscape Details

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SCALE	
AS SHOWN	

PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	
PLOTTED	
DRAWN	PYZL
REVIEWED	GB

NO.	DATE	DESCRIPTION
1	18-8-9	Re-issued for DP

PROJECT
Concord Capstan Station

DP 17-787403
 August 8, 2018
 PLAN # 4IT

ADDRESS
 8511 Capstan Way
 Et No. 3 Road
 Richmond, BC

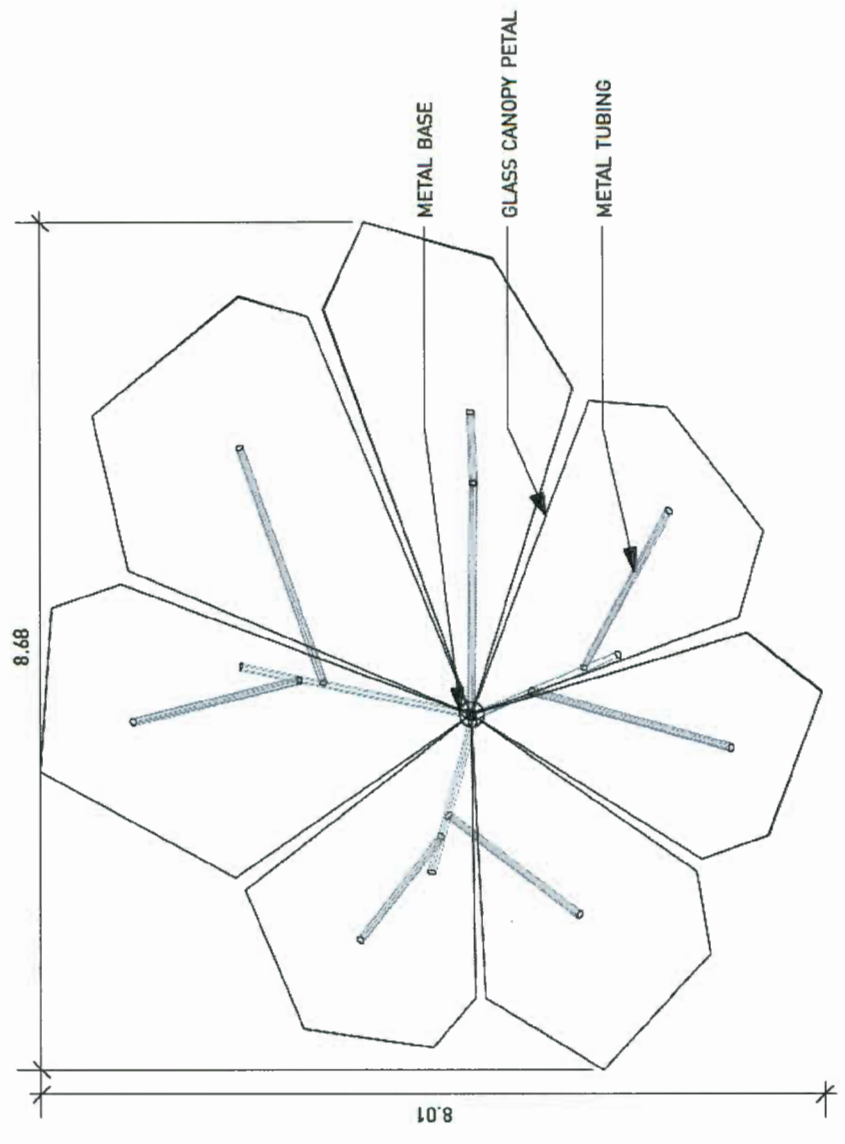
DRAWING TITLE
Landscape Details

NOTES
 1. All dimensions are in millimeters unless otherwise specified. No liability is accepted for errors or omissions. All dimensions and notes are subject to change without notice.

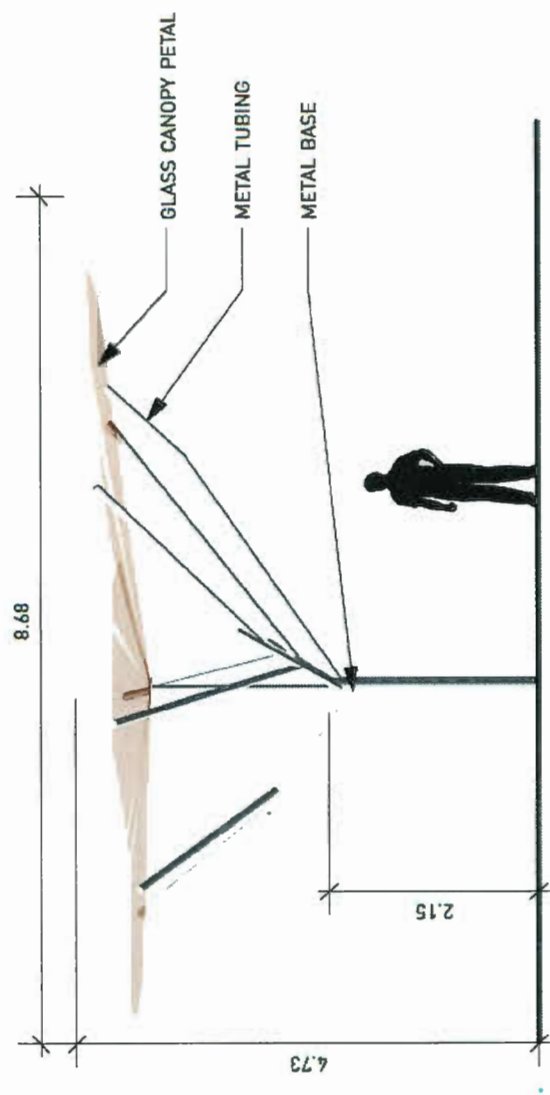
SCALE
 AS SHOWN

PROJECT NO.	16055
DATE	05 September 2017
FILE NAME	
PLOTTED	
DRAWN	PT/ZL
REVIEWED	GB

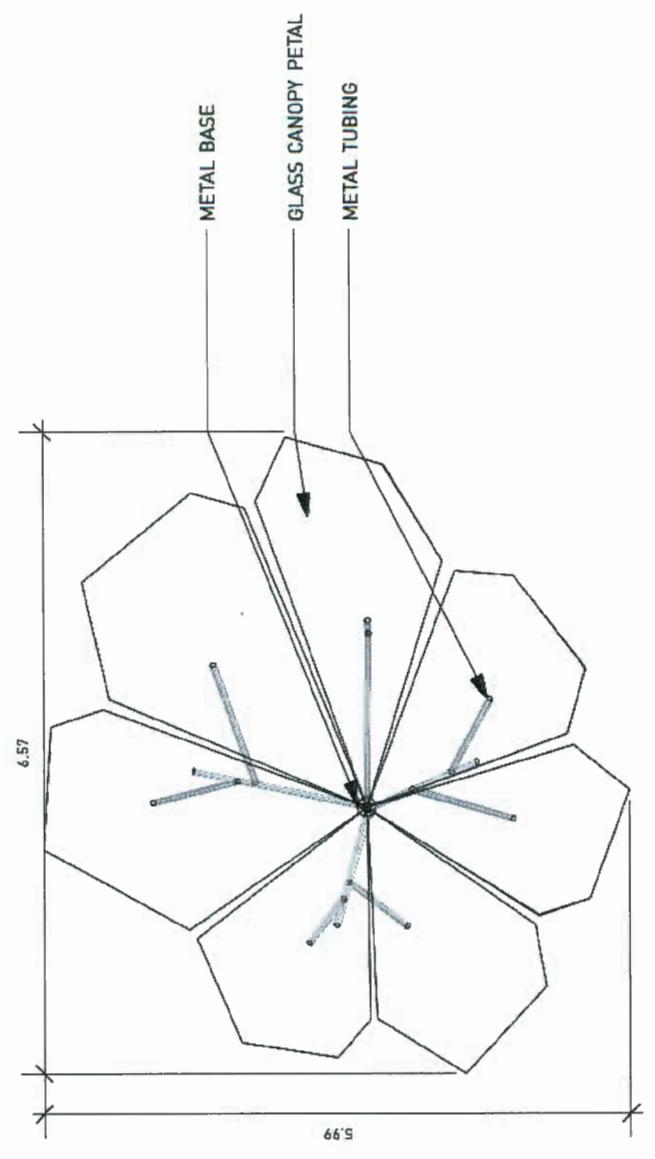
L5.06



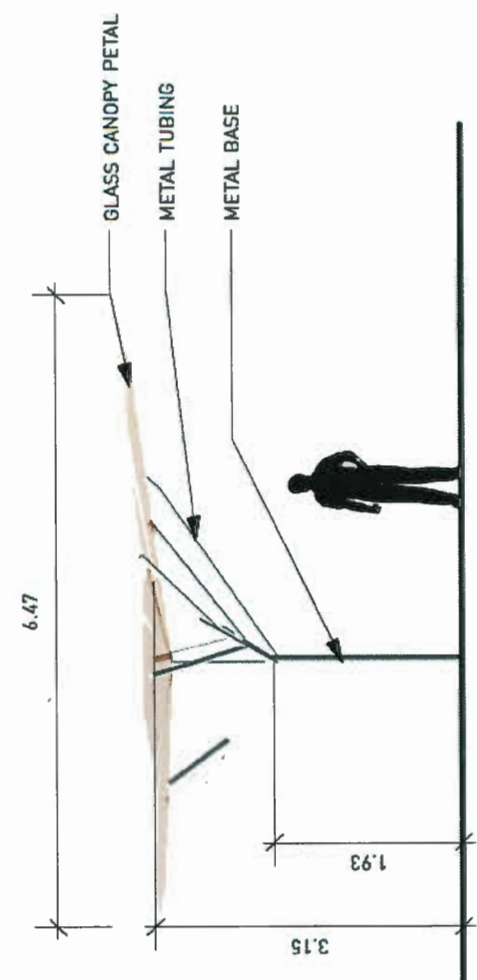
1 Canopy Structure Type 1 - Plan
 Scale: 1:75



2 Canopy Structure Type 1 - Section
 Scale: 1:75



3 Canopy Structure Type 2 - Plan
 Scale: 1:75

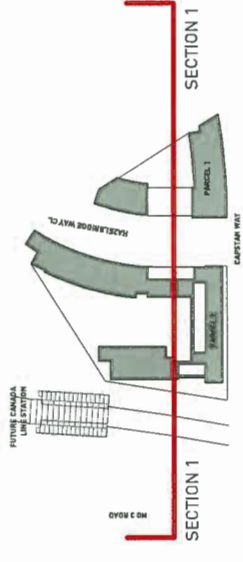


4 Canopy Structure Type 2 - Section
 Scale: 1:75

DP 17-787403
 AUG 8/18
 PLAN #5a

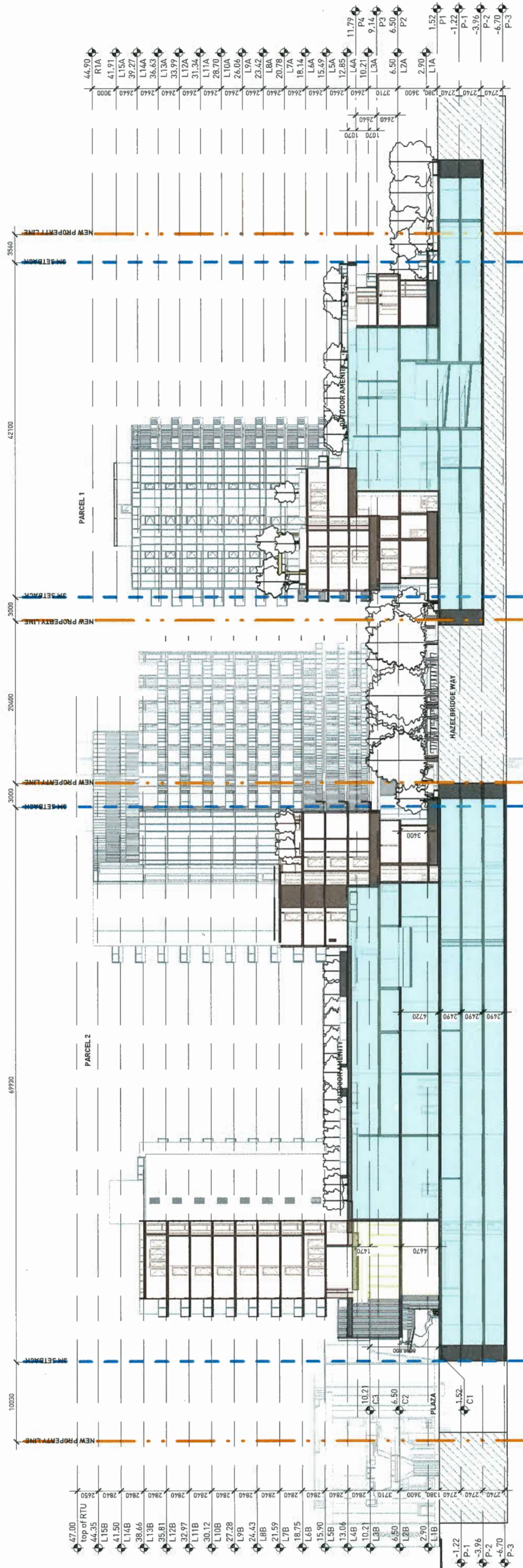
GBLARCHITECTS

8555 Capstan Way and 3400 No. 3 Road
 (formerly 8511 Capstan Way and 3360 No. 3 Road)



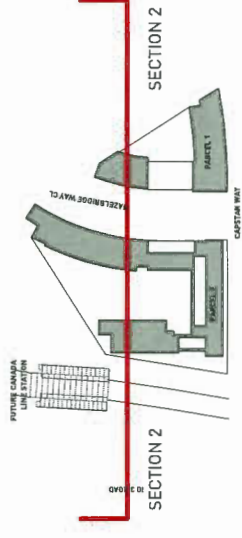
- Residential
- Commercial
- Parking, Loading, Services & Mech




Parking, Loading, Services & Mech

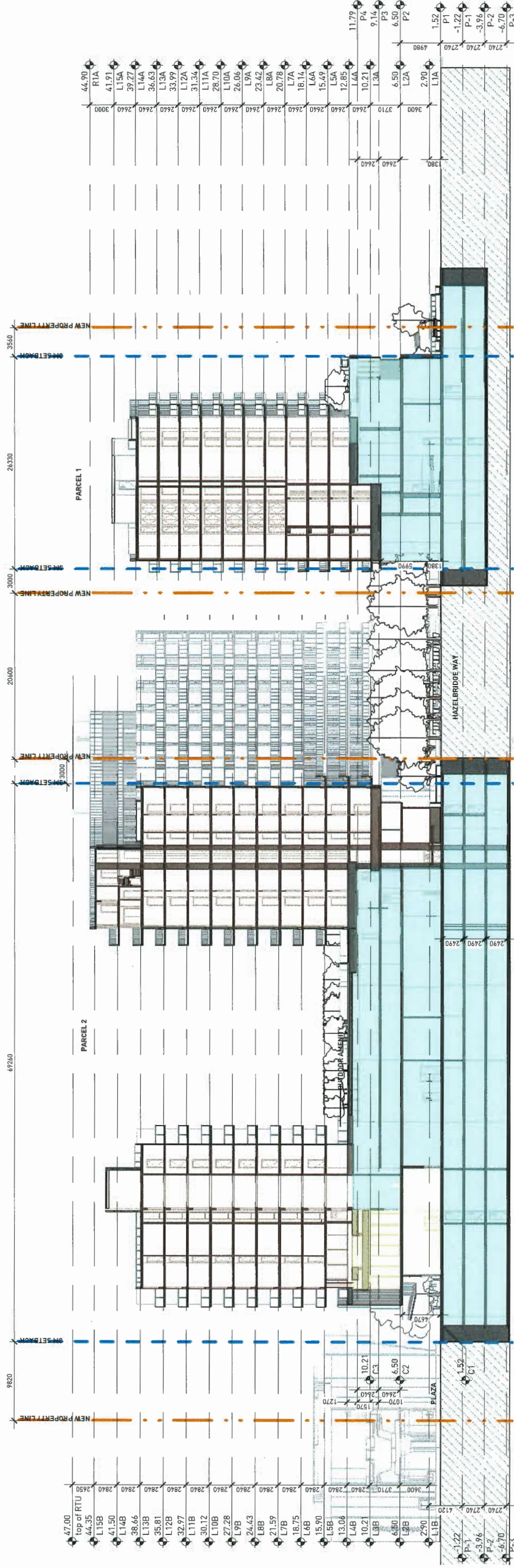


Section 1-1

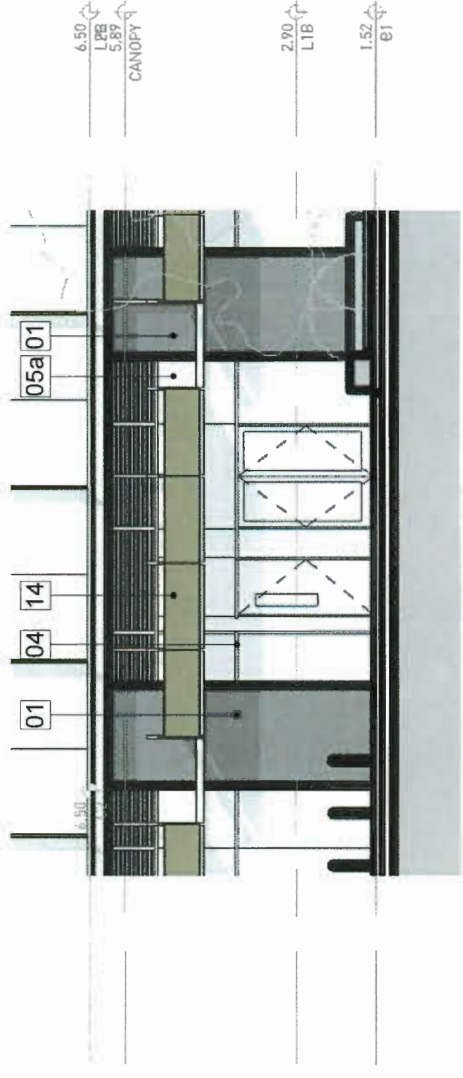
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-  Residential
-  Commercial
-  Parking, Loading, Services & Mech

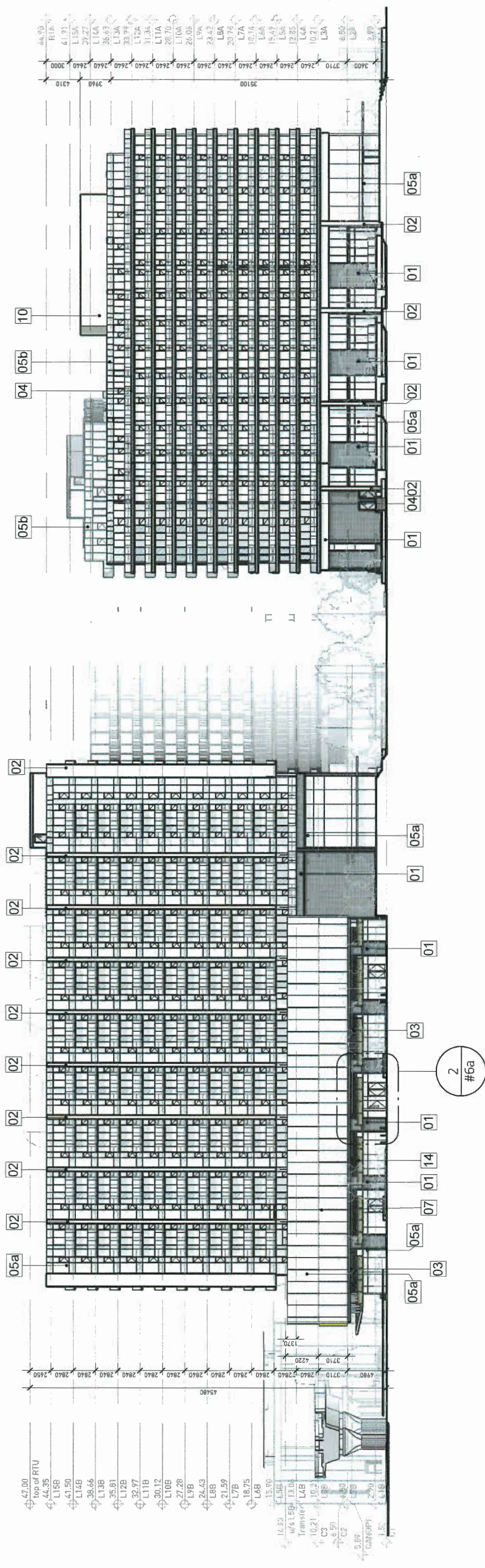
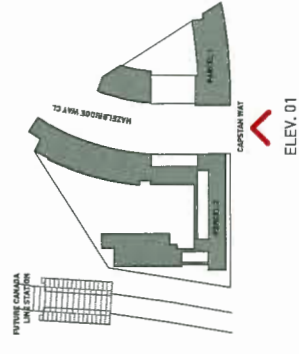


MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	Stone	Black
02	Brick	White
03	Custom Metal Screening	Textured
04	Glazed Guardrail	Clear
05a	Clear Glazing (Anodized Alum. Frame)	Clear
05b	Spandrel Glazing (Anodized Alum. Frame)	Light Gray
07	Accent Mullion (Anodized Alum.)	Yellow
10	Architectural Concrete	Textured
11	Wood Panel	Walnut
12	Custom Decorative Fritted Glass to Match Architectural Concrete	White
13	Custom Metal Decorative Screening	Yellow
14	Suspended Canopy with Fritted Glass to Match Architectural Concrete	Yellow



Elevation 01-South-Capstan Way - Retail

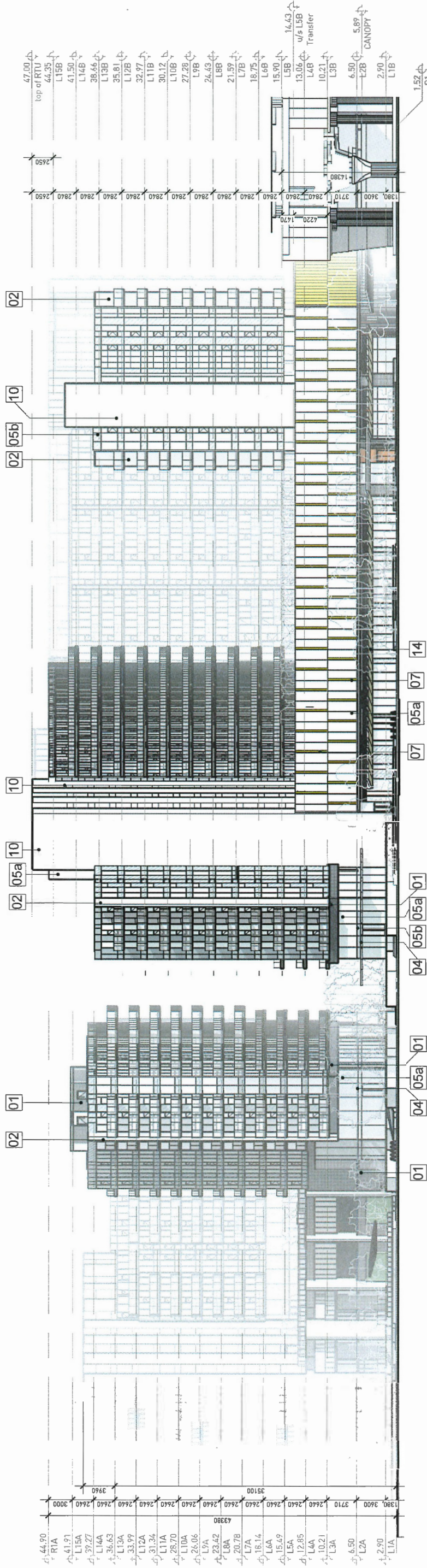
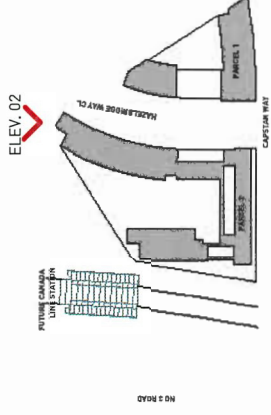
3/32" = 1'-0"



Elevation 01-South-Capstan Way

1 : 500

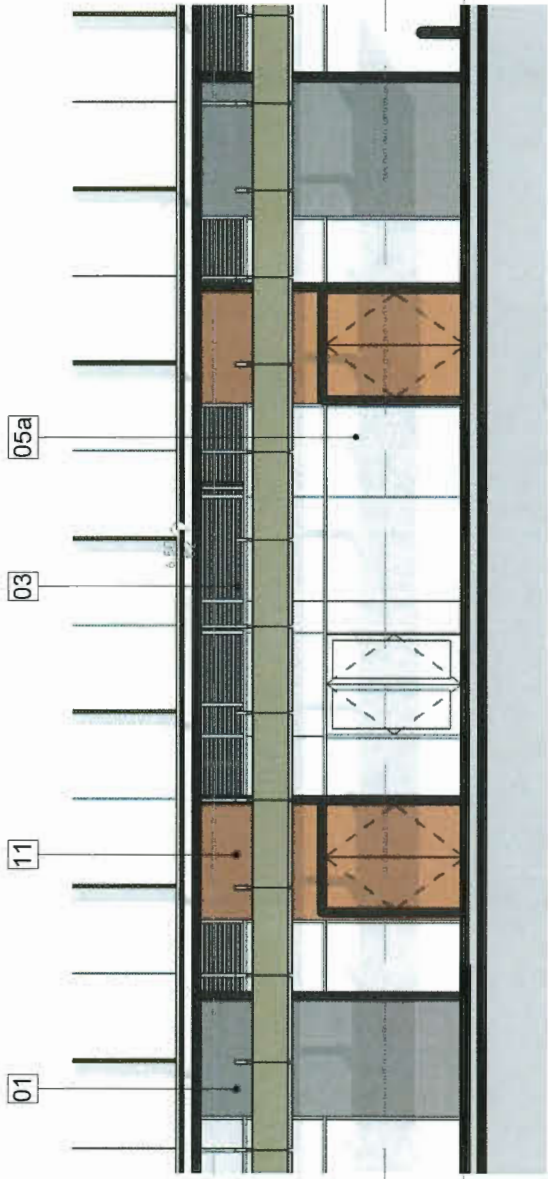
MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	Stone	Black
02	Brick	White
03	Custom Metal Screening	Textured
04	Glazed Guardrail	Clear
05a	Clear Glazing [Anodized Alum. Frame]	Light Gray
05b	Spandrel Glazing [Anodized Alum. Frame]	Yellow
07	Accent Mullion [Anodized Alum.]	Yellow
10	Architectural Concrete	Walnut
11	Wood Panel	Walnut
12	Custom Decorative Fritted Glass to Match Architectural Concrete	White
13	Custom Metal Decorative Screening	Yellow
14	Suspended Canopy with Fritted Glass to Match Architectural Concrete	Yellow



Elevation 02-North

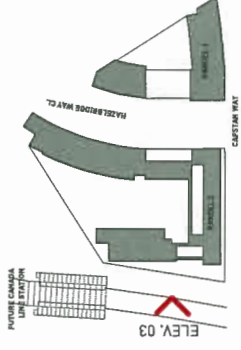
1 : 500

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	Stone	Black
02	Brick	White
03	Custom Metal Screening	Textured
04	Glazed Guardrail	Clear
05a	Clear Glazing (Anodized Alum. Frame)	Light Gray
05b	Spandrel Glazing (Anodized Alum. Frame)	Yellow
07	Accent Mullion (Anodized Alum.)	Yellow
10	Architectural Concrete	Textured
11	Wood Panel	Walnut
12	Custom Decorative Fritted Glass to Match Architectural Concrete	White
13	Custom Metal Decorative Screening	Yellow
14	Suspended Canopy with Fritted Glass to Match Architectural Concrete	Yellow

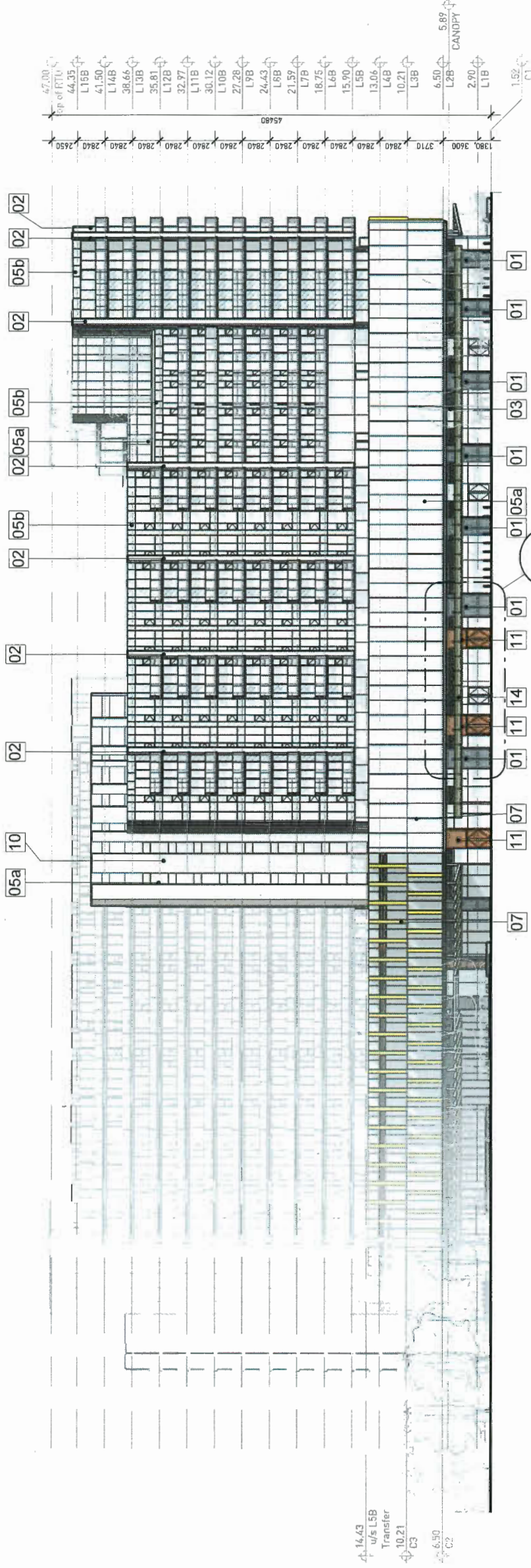


Elevation 03-West-Skytrain -Retail

3/32" = 1'-0"



- 6.50 L15B
- 5.89 CANOPY
- 2.90 L1B
- 1.52 B1



- 14.43 w/s L5B Transfer
- 10.21 C3
- 6.30 C2

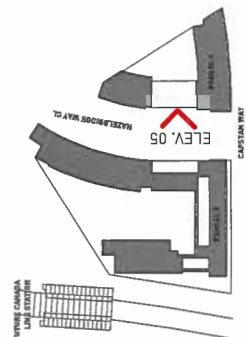
Elevation 03-West-Skytrain

1 : 500

DP 17-787403
 AUG 8/18
 PLAN #6e

GBLARCHITECTS

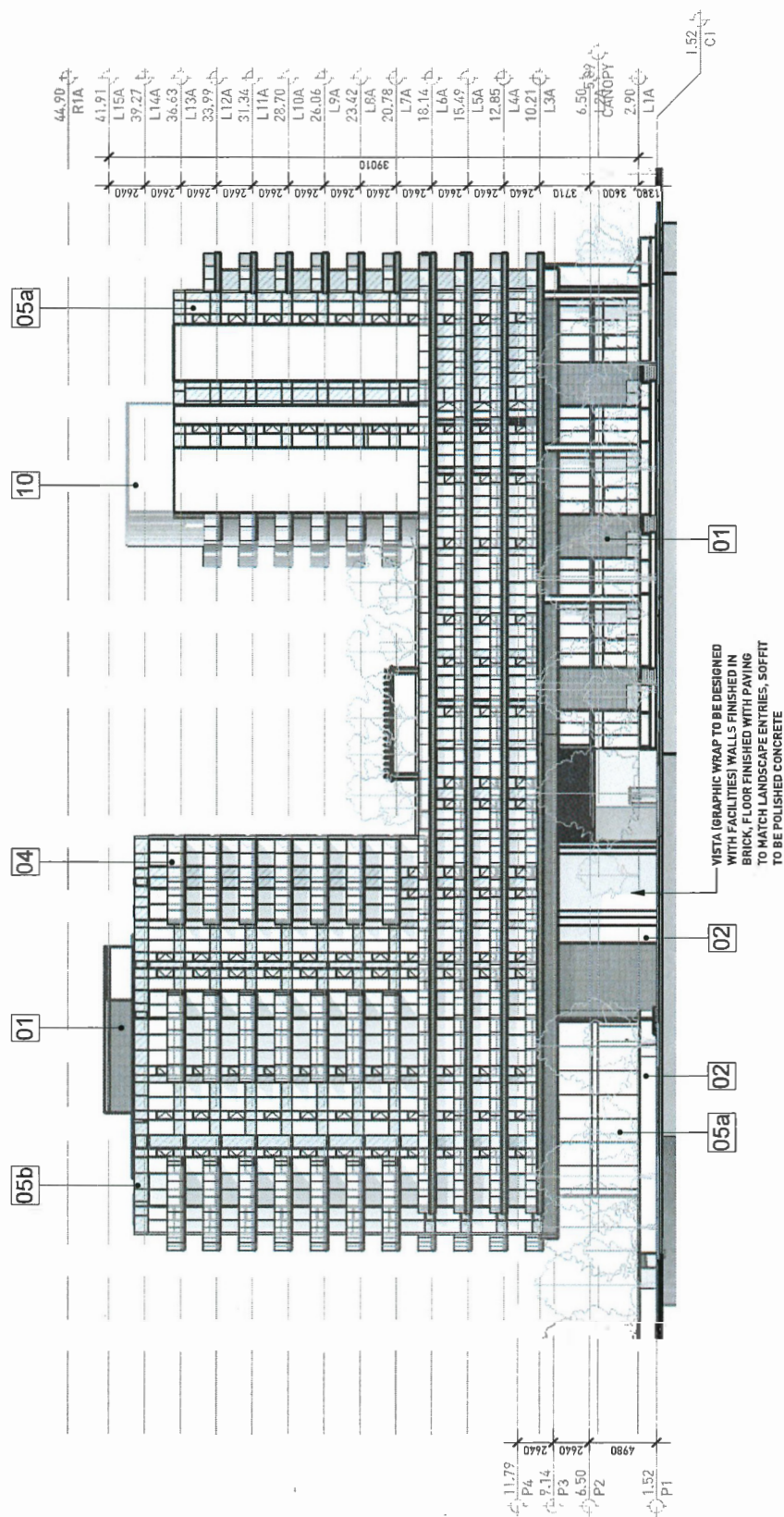
8555 Capstan Way and 3400 No. 3 Road
 (formerly 8511 Capstan Way and 3360 No. 3 Road)



NOV 11 2018



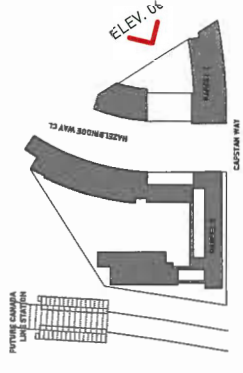
MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	Stone	Black
02	Brick	White
03	Custom Metal Screening	Textured
04	Glazed Guardrail	Clear
05a	Clear Glazing (Anodized Alum. Frame)	Light Gray
05b	Spandrel Glazing (Anodized Alum. Frame)	Yellow
07	Accent Mullion (Anodized Alum.)	Yellow
10	Architectural Concrete	Textured
11	Wood Panel	Walnut
12	Custom Decorative Fritted Glass to Match Architectural Concrete	White
13	Custom Metal Decorative Screening	Yellow
14	Suspended Canopy with Fritted Glass to Match Architectural Concrete	Yellow



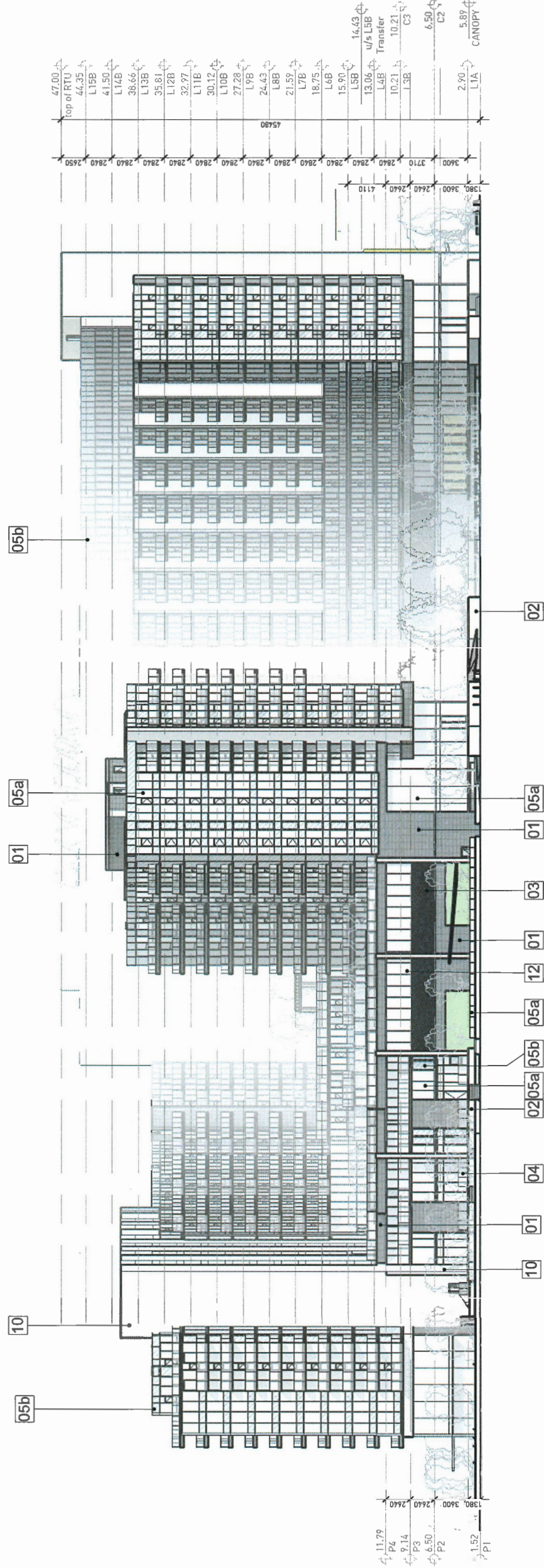
Elevation 05-East-Hazelbridge Way

1 : 500

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	Stone	Black
02	Brick	White
03	Custom Metal Screening	Textured
04	Glazed Guardrail	Clear
05a	Clear Glazing (Anodized Alum. Frame)	Light Gray
05b	Spandrel Glazing (Anodized Alum. Frame)	Yellow
07	Accent Mullion (Anodized Alum.)	Textured
10	Architectural Concrete	Walnut
11	Wood Panel	White
12	Custom Decorative Fritted Glass to Match Architectural Concrete	White
13	Custom Metal Decorative Screening	Yellow
14	Suspended Canopy with Fritted Glass to Match Architectural Concrete	Yellow



0604 E 06



Elevation 06-East-Greenway

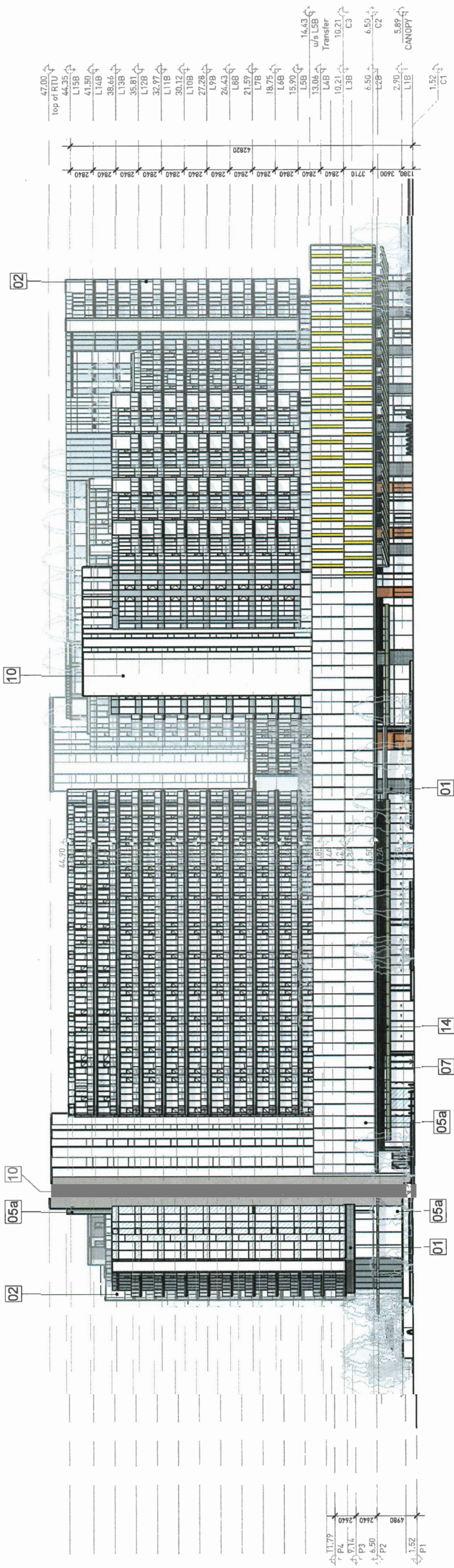
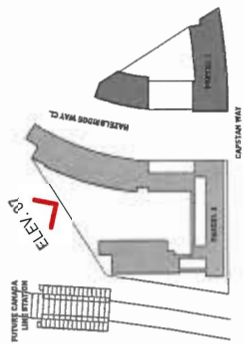
1 : 500

DP 17-787403
 AUG 8/18
 PLAN #6g

GBLARCHITECTS

8555 Capstan Way and 3400 No. 3 Road
 (formerly 8511 Capstan Way and 3360 No. 3 Road)

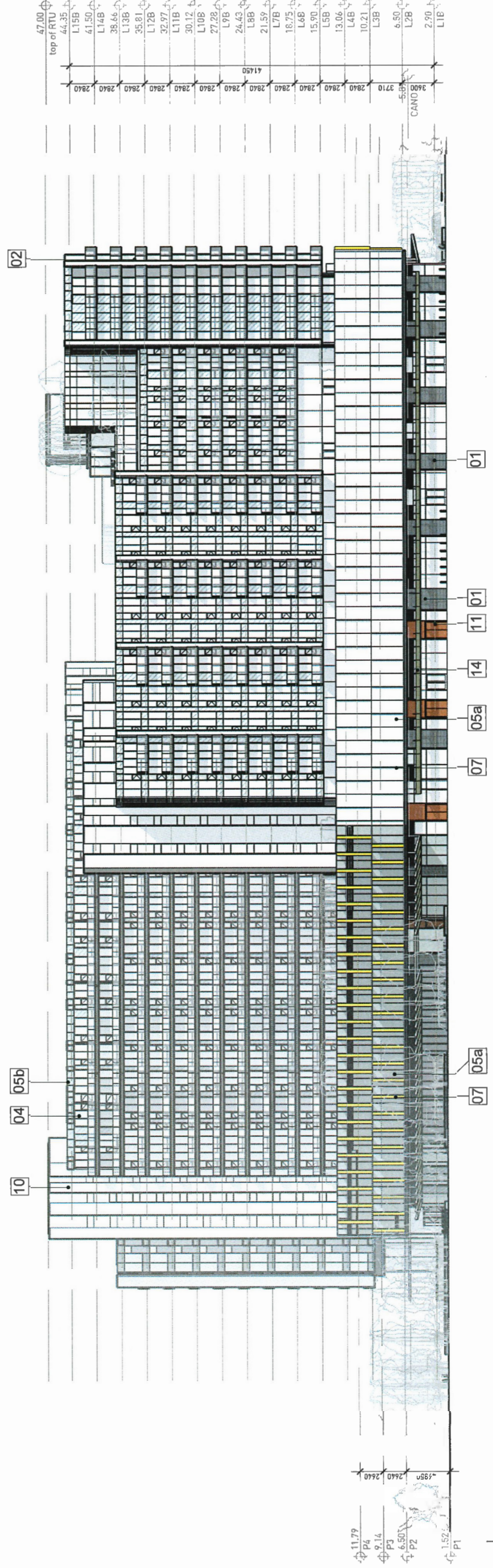
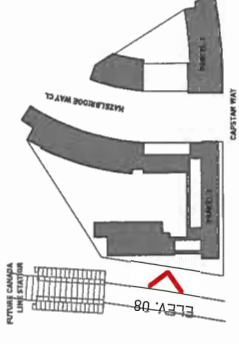
MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	Stone	Black
02	Brick	White
03	Custom Metal Screening	Textured
04	Glazed Guardrail	Clear
05a	Clear Glazing (Anodized Alum. Frame)	Clear
05b	Spandrel Glazing (Anodized Alum. Frame)	Light Gray
07	Accent Mullion (Anodized Alum.)	Yellow
10	Architectural Concrete	Textured
11	Wood Panel	Walnut
12	Custom Decorative Fritted Glass to Match Architectural Concrete	White
13	Custom Metal Decorative Screening	Yellow
14	Suspended Canopy with Fritted Glass to Match Architectural Concrete	Yellow



Elevation 07-North-Park Elevation

1 : 500

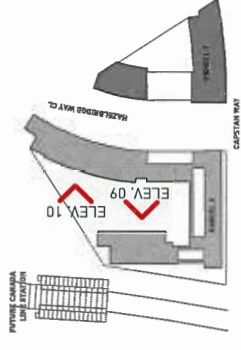
MATERIAL LEGEND		
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03	Custom Metal Screening	Textured
04	Glazed Guardrail	Clear
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05b	Spandrel Glazing (Anodized Alum. Frame)	Light Gray
07	Accent Mullion (Anodized Alum.)	Yellow
10	Architectural Concrete	Textured
11	Wood Panel	Walnut
12	Custom Decorative Fritted Glass to Match Architectural Concrete	White
13	Custom Metal Decorative Screening	Yellow
14	Suspended Canopy with Fritted Glass to Match Architectural Concrete	Yellow



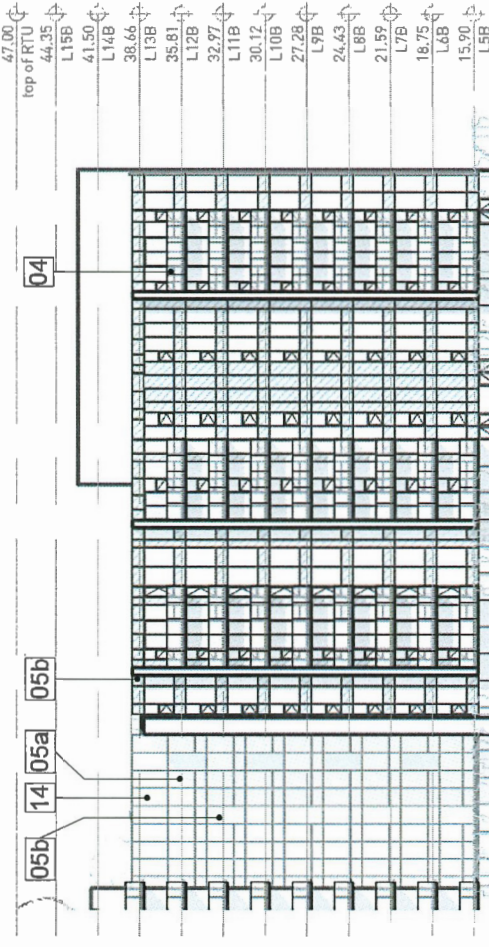
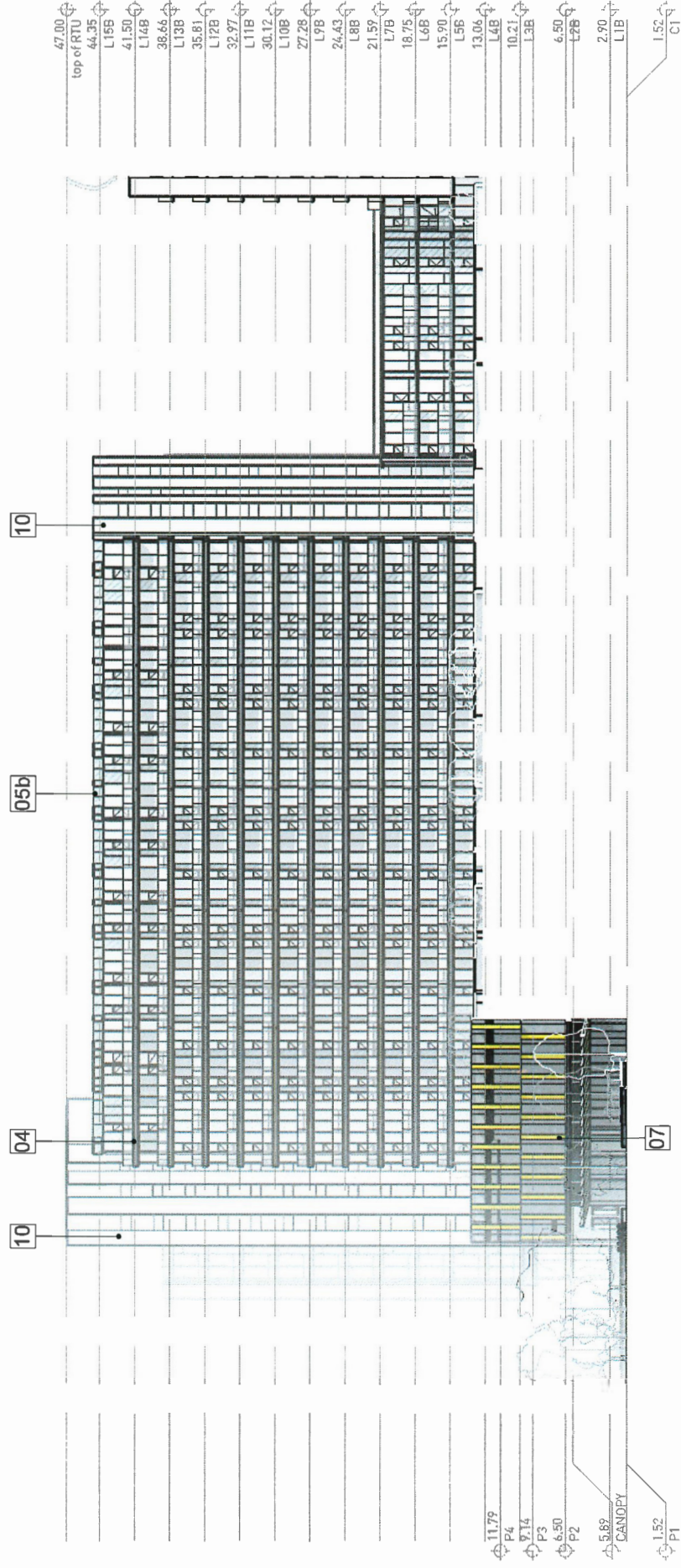
Elevation 08-Parcel 02

1 : 500

MATERIAL LEGEND		
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05b	Spandrel Glazing (Anodized Alum. Frame)	Yellow
07	Accent Mullion (Anodized Alum.)	Textured
10	Architectural Concrete	Walnut
11	Wood Panel	Walnut
12	Custom Decorative Fritted Glass to Match Architectural Concrete	White
13	Custom Metal Decorative Screening	Yellow
14	Suspended Canopy with Fritted Glass to Match Architectural Concrete	Yellow



09m CON



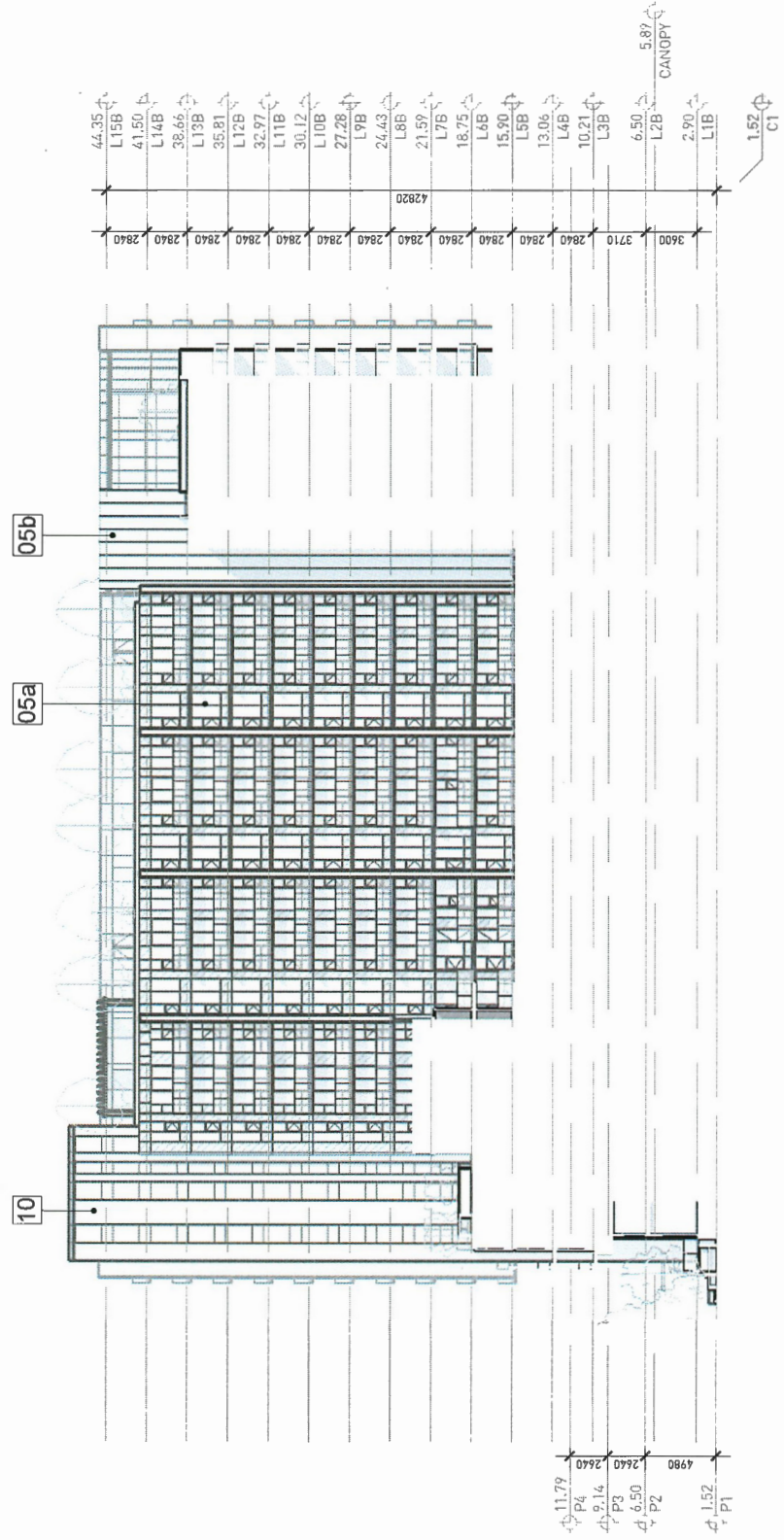
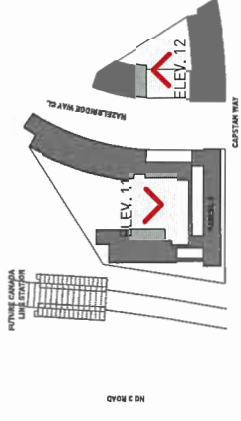
Elevation 10-Parcel 02

1 : 500

Elevation 09-Parcel 02

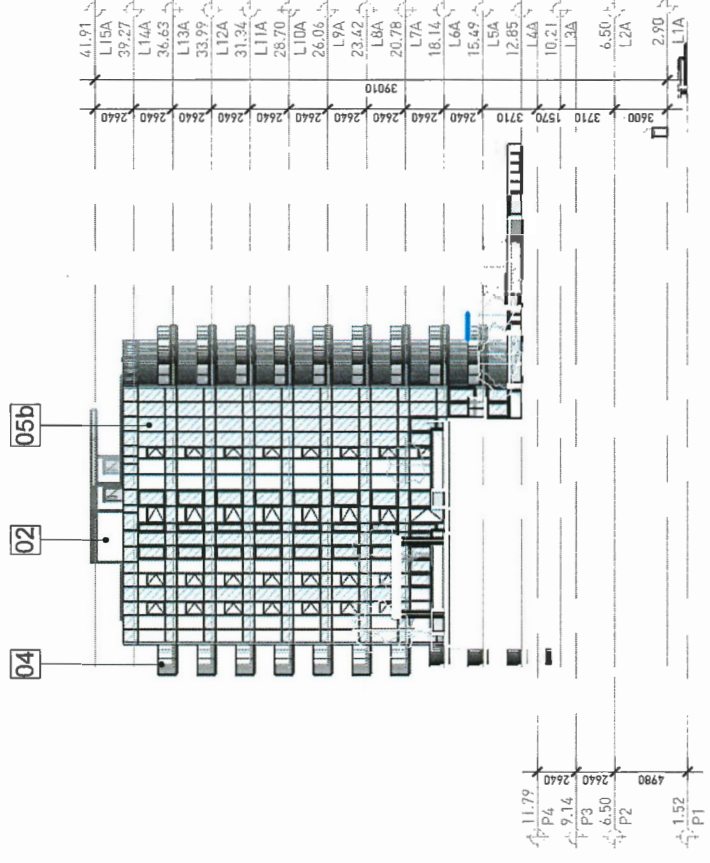
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MATERIAL LEGEND		
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02	Brick	White
03	Custom Metal Screening	Textured
04	Glazed Suardrail	Clear
05a	Clear Glazing (Anodized Alum. Frame)	Light Gray
05b	Spandrel Glazing (Anodized Alum. Frame)	Yellow
07	Accent Mullion (Anodized Alum.)	Yellow
10	Architectural Concrete	Textured
11	Wood Panel	Walnut
12	Custom Decorative Fritted Glass to Match Architectural Concrete	White
13	Custom Metal Decorative Screening	Yellow
14	Suspended Canopy with Fritted Glass to Match Architectural Concrete	Yellow



Elevation 11-Parcel 02

1 : 500



Elevation 12-Parcel 01

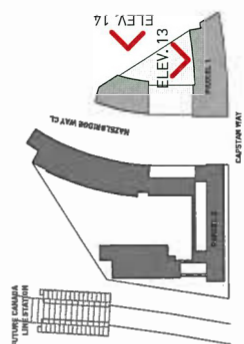
1 : 500

DP 17-787403
 AUG 8/18
 PLAN #6k

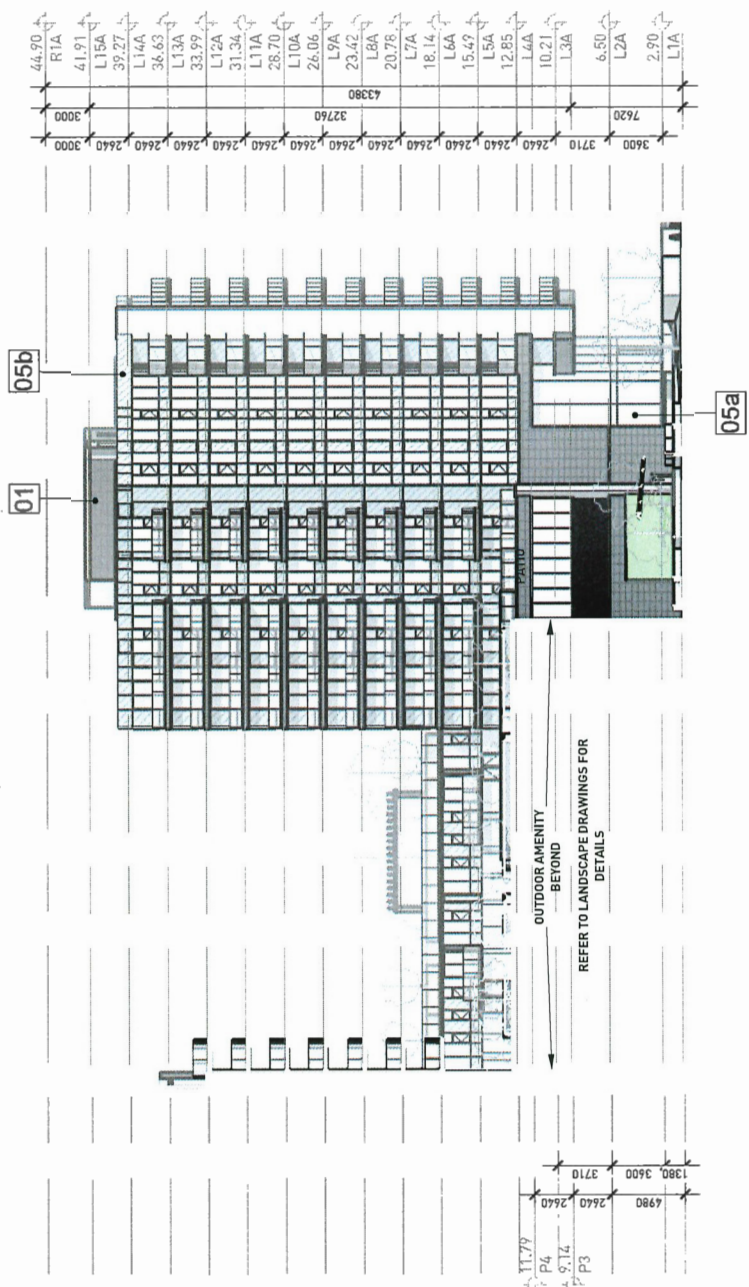
GBLARCHITECTS

8555 Capstan Way and 3400 No. 3 Road
 (formerly 8511 Capstan Way and 3360 No. 3 Road)

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	Stone	Black
02	Brick	White
03	Custom Metal Screening	Textured
04	Glazed Guardrail	Clear
05a	Clear Glazing (Anodized Alum. Frame)	Light Gray
05b	Spandrel Glazing (Anodized Alum. Frame)	Yellow
07	Accent Mullion (Anodized Alum.)	Textured
10	Architectural Concrete	Walnut
11	Wood Panel	White
12	Custom Decorative Fritted Glass to Match Architectural Concrete	Yellow
13	Custom Metal Decorative Screening	Yellow
14	Suspended Canopy with Fritted Glass to Match Architectural Concrete	Yellow

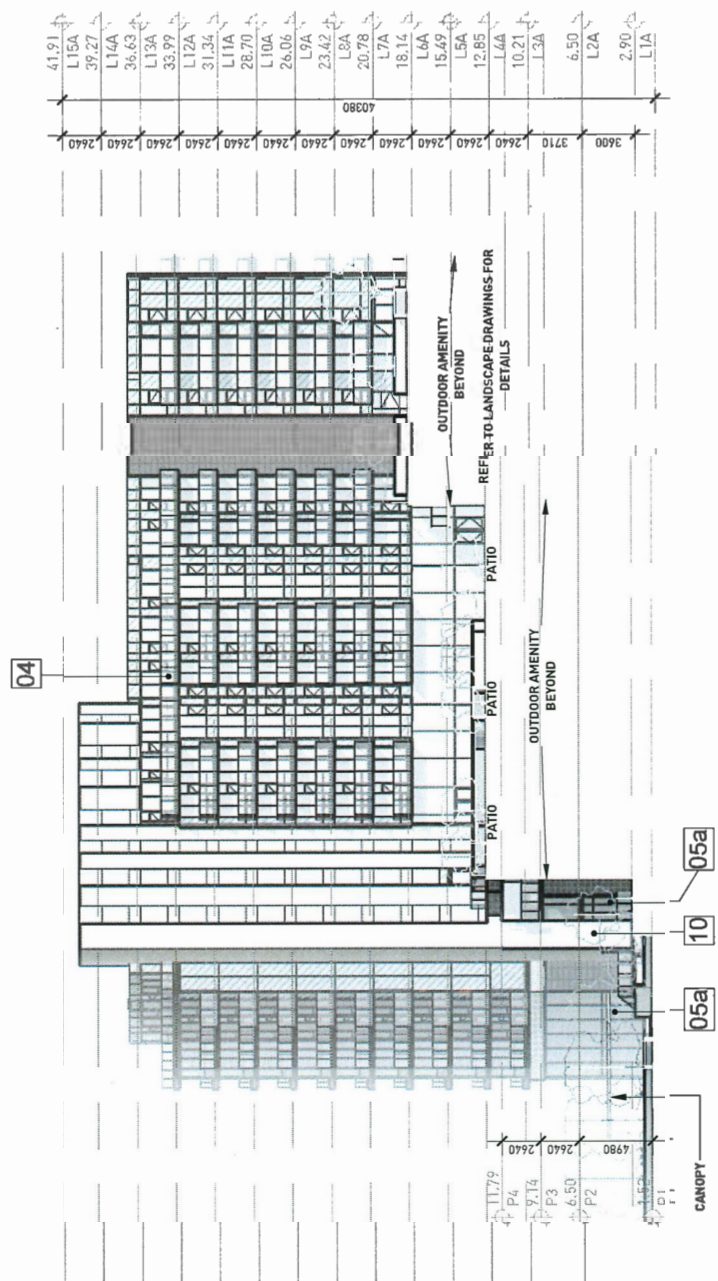


EXISTING WALKWAY



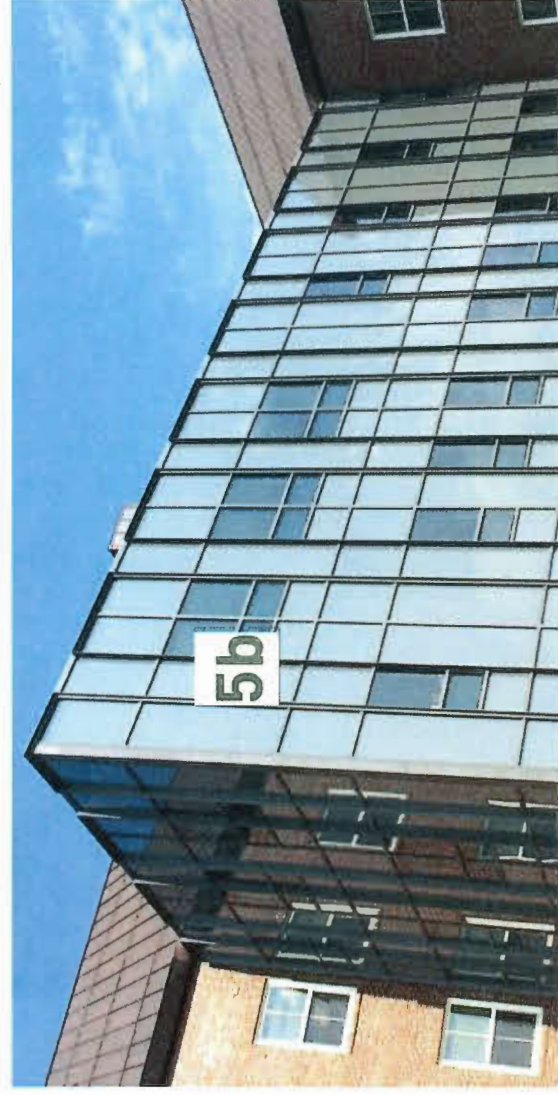
Elevation 14-Parcel 01

1 : 500



Elevation 13-Parcel 01

1 : 500



MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	Stone	Black
02	Brick	White
03	Custom Metal Screening	Textured
04	Glazed Guardrail	Clear
05a	Clear Glazing (Anodized Alum. Frame)	Clear
05b	Spandrel Glazing (Anodized Alum. Frame)	Light Gray
07	Accent Mullion (Anodized Alum.)	Yellow
10	Architectural Concrete	Textured
11	Wood Panel	Walnut
12	Custom Decorative Fritted Glass to Match Architectural Concrete	White
13	Custom Metal Decorative Screening	Yellow
14	Suspended Canopy with Fritted Glass to Match Architectural	Yellow

Colour Legend

1	4	07
2	5a	10
3	5b	11

GBLARCHITECTS

8555 Capstan Way and 3400 No. 3 Road
(formerly 8511 Capstan Way and 3360 No. 3 Road)

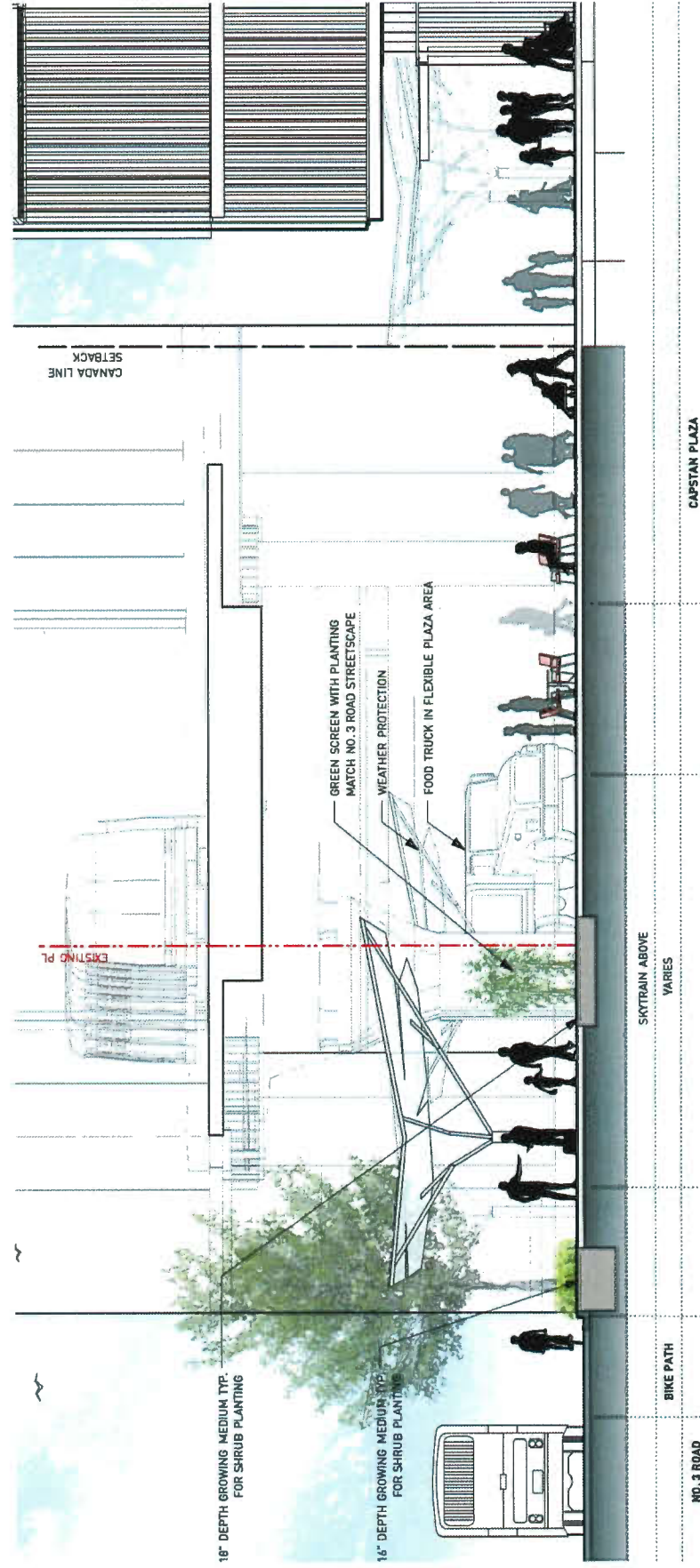
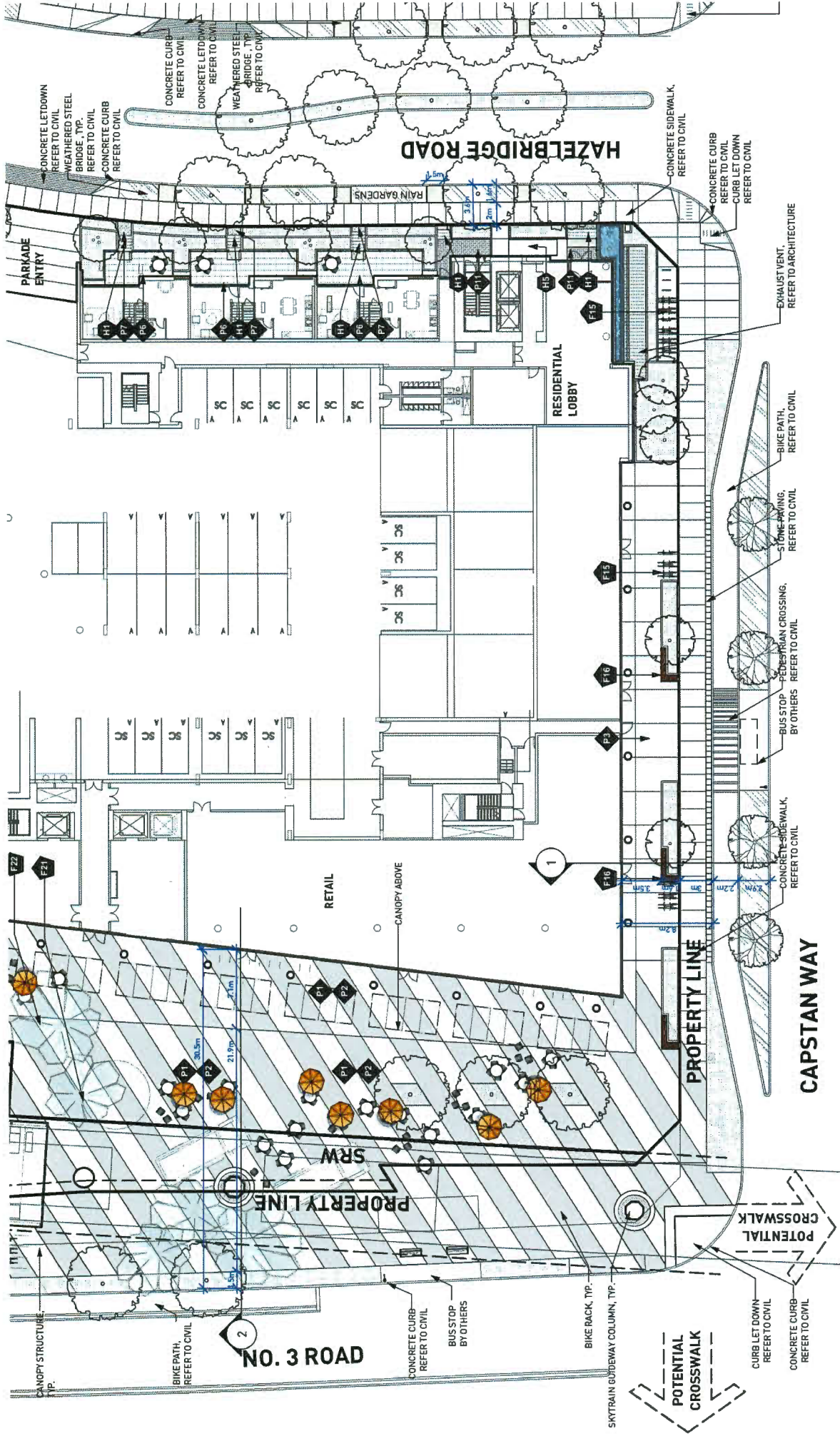


AERIAL VIEW

VIEW OF PARCEL 2 LOOKING SOUTH

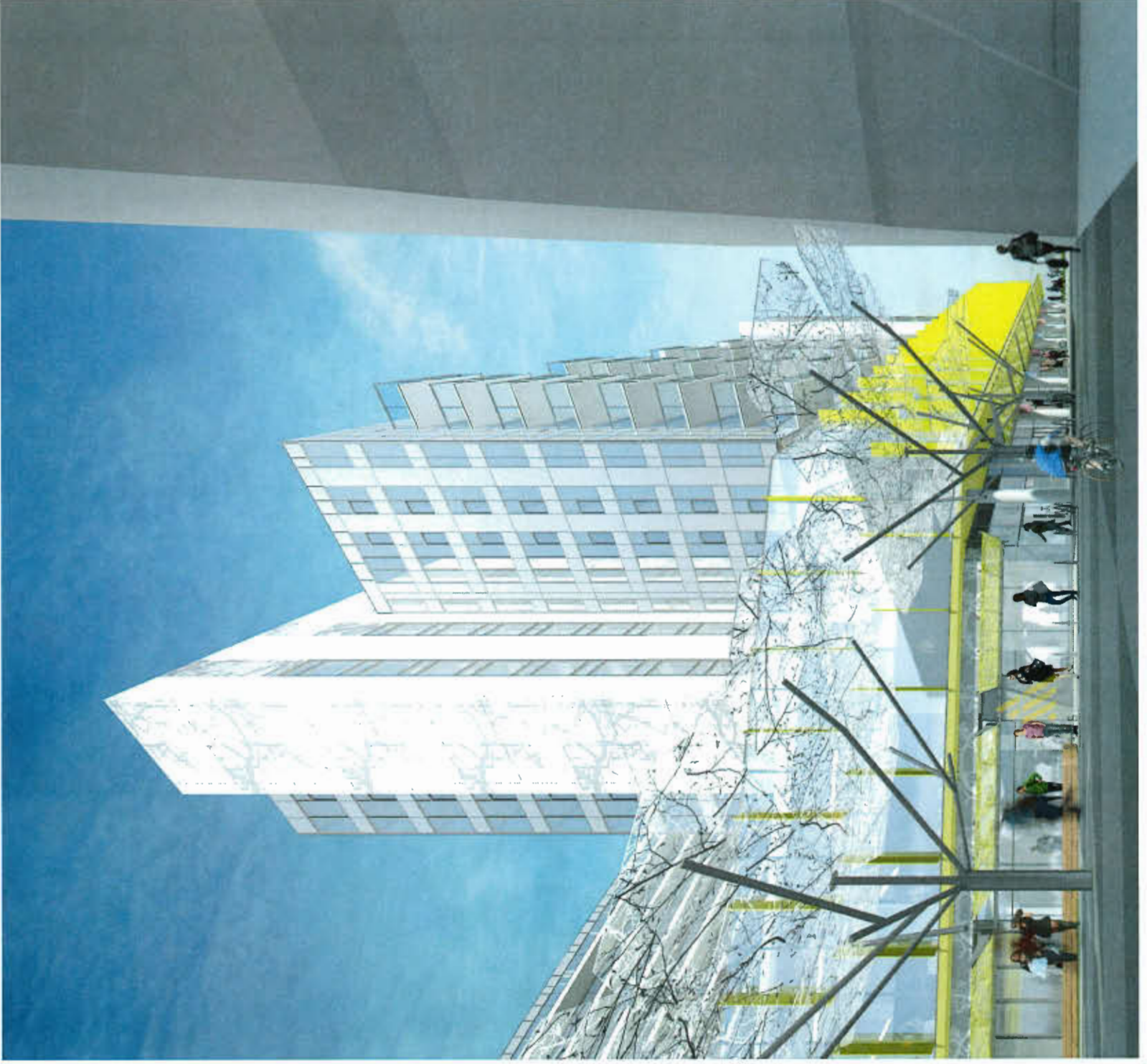


VIEW OF PARCEL 2 LOBBY AND ARTS FACILITY ELEVATION FROM PARK





VIEW LOOKING NORTH AT PUBLIC PLAZA, PARCEL 2 COMMERCIAL IN FOREGROUND



VIEW LOOKING SOUTH FROM PARK, PARCEL 2 COMMERCIAL IN FOREGROUND



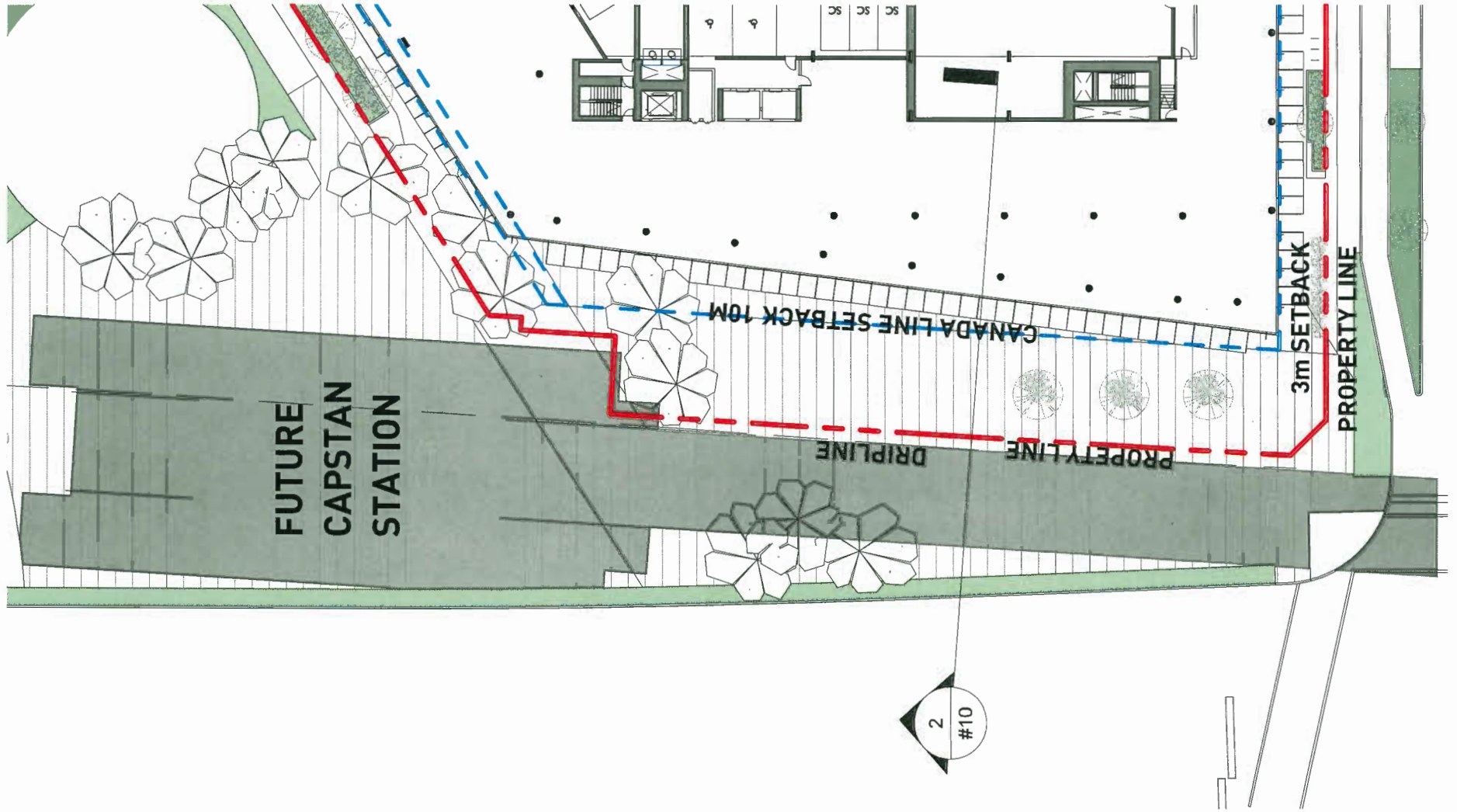
VIEW LOOKING NORTH AT PUBLIC PLAZA, PARCEL 2 COMMERCIAL IN FOREGROUND



VIEW LOOKING SOUTH AT PUBLIC PLAZA, PARCEL 2 COMMERCIAL IN FOREGROUND

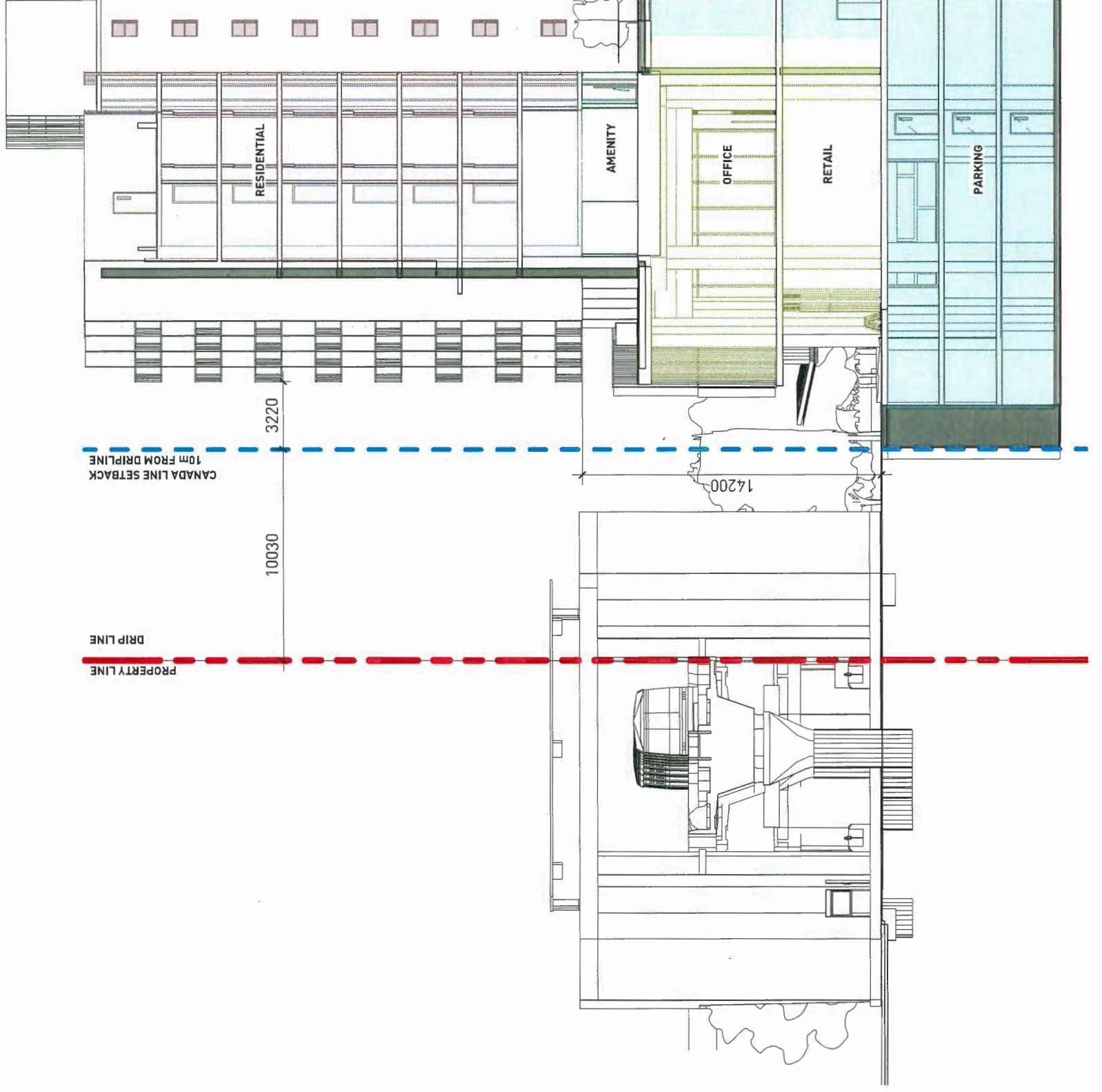


VIEW LOOKING AT CAPSTAN WAY, PARCEL 2 COMMERCIAL IN FOREGROUND



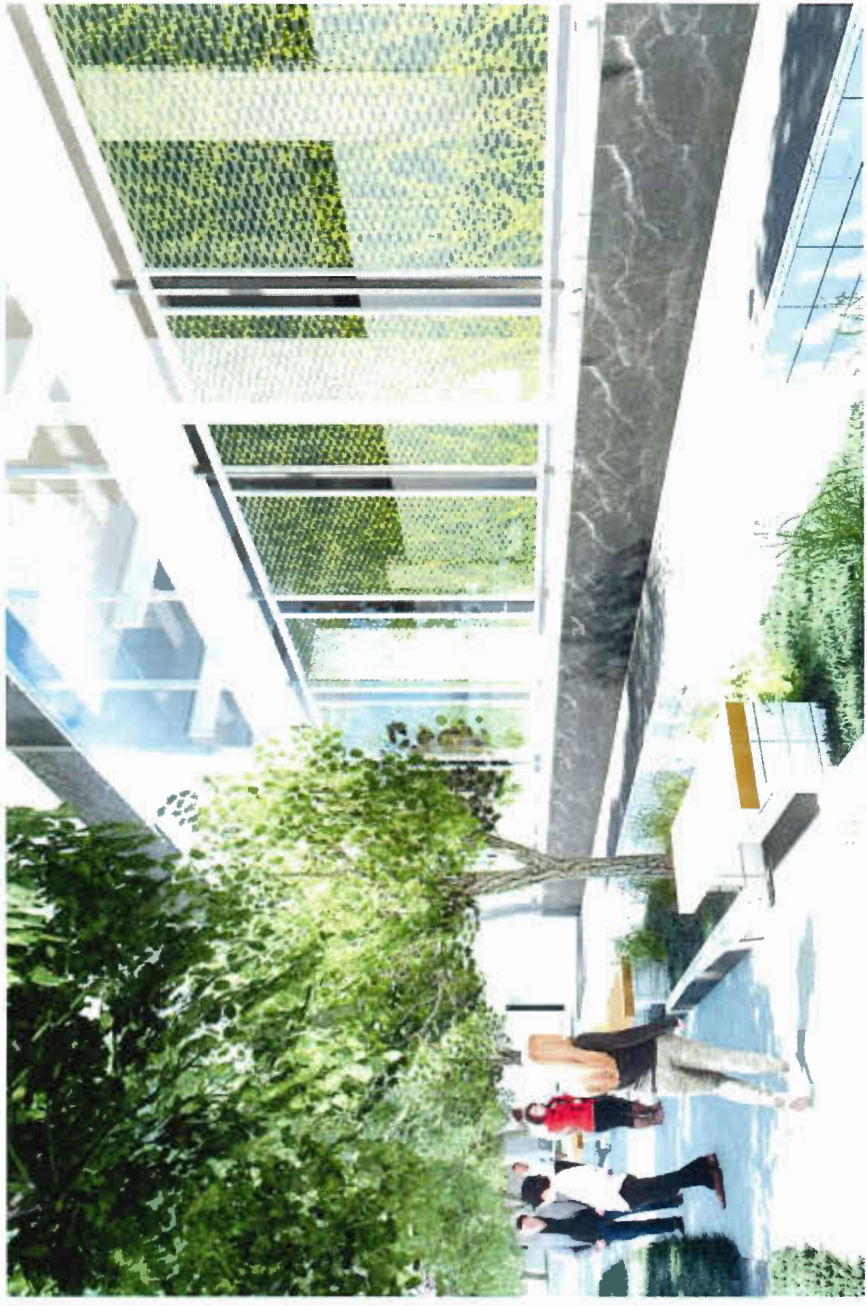
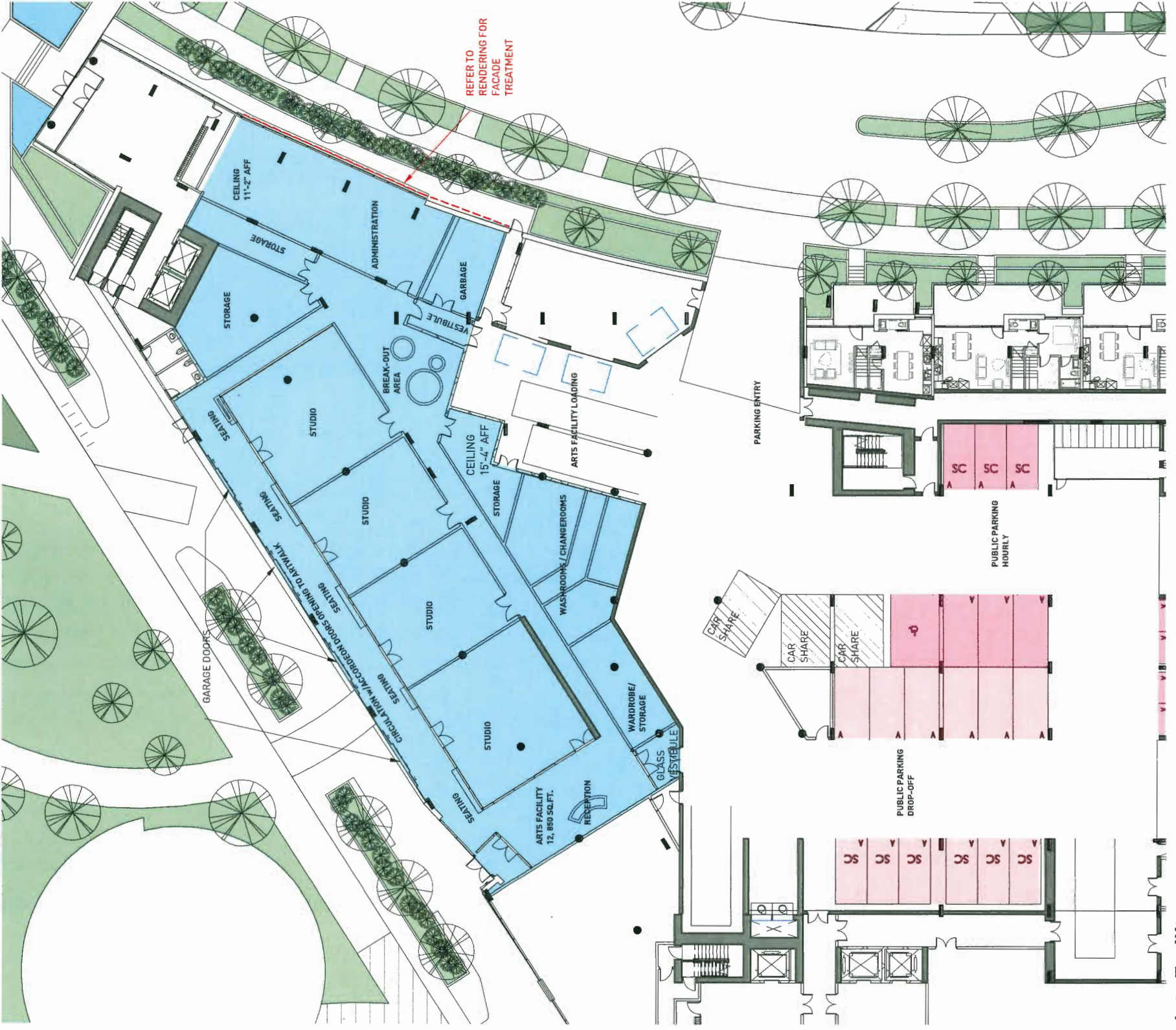
CANADA LINE ADJACENT PLAN

1" = 40'-0"



CANADA LINE ADJACENT SECTION

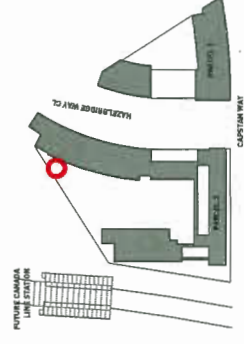
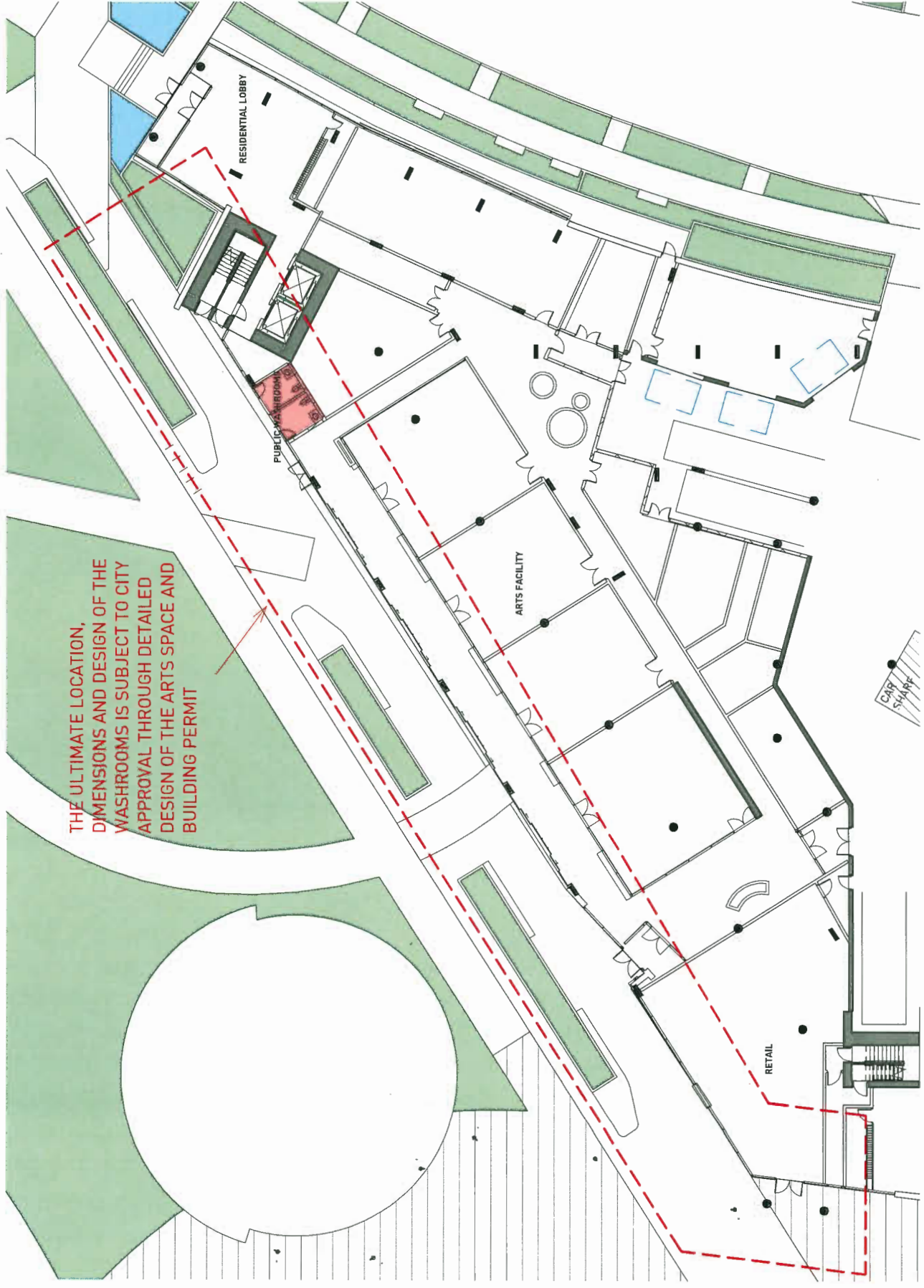
1" = 20'-0"



ORNAMENTAL METAL SCREEN, PROUD OF CW GLAZING, LASER-CUT PATTERN TO MATCH BRANCHES ON CONCRETE, SUSPENDED FROM STAINLESS STEEL RODS WHICH ARE MOUNTED TO CANOPY (TOP) AND MARBLE PLINTH (BASE). (REFER TO RENDERING ABOVE ('ARTS FACILITY FACADE ON HAZELBRIDGE WAY'))

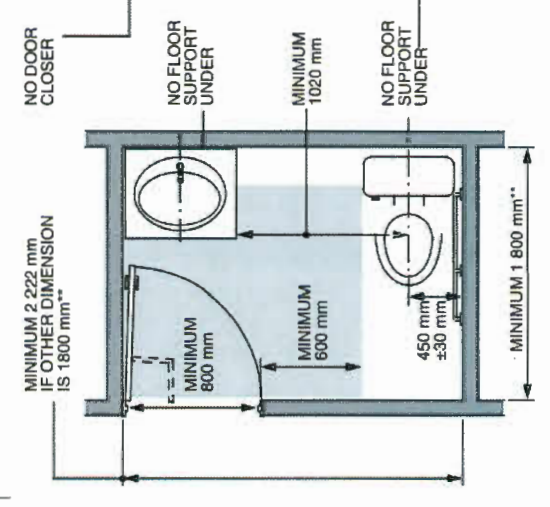


VIEW LOOKING FROM PARK AT ARTS FACILITY

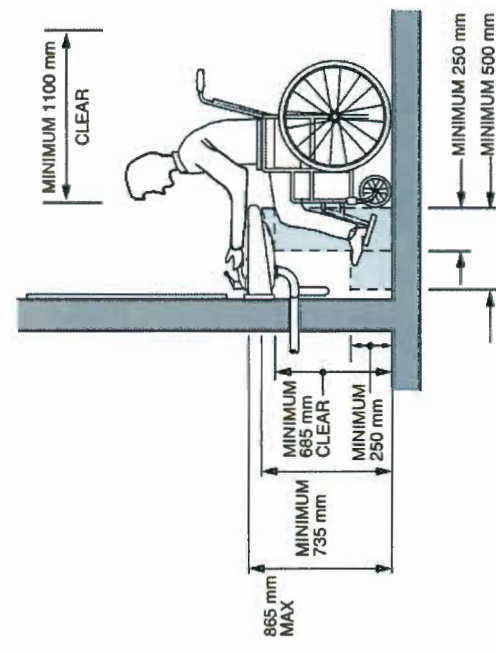
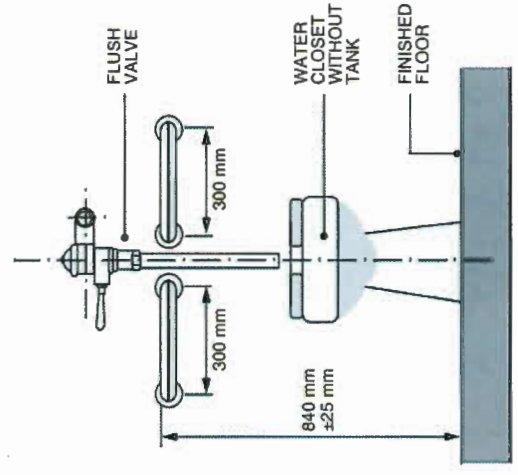


Public Washrooms

1" = 30'-0"



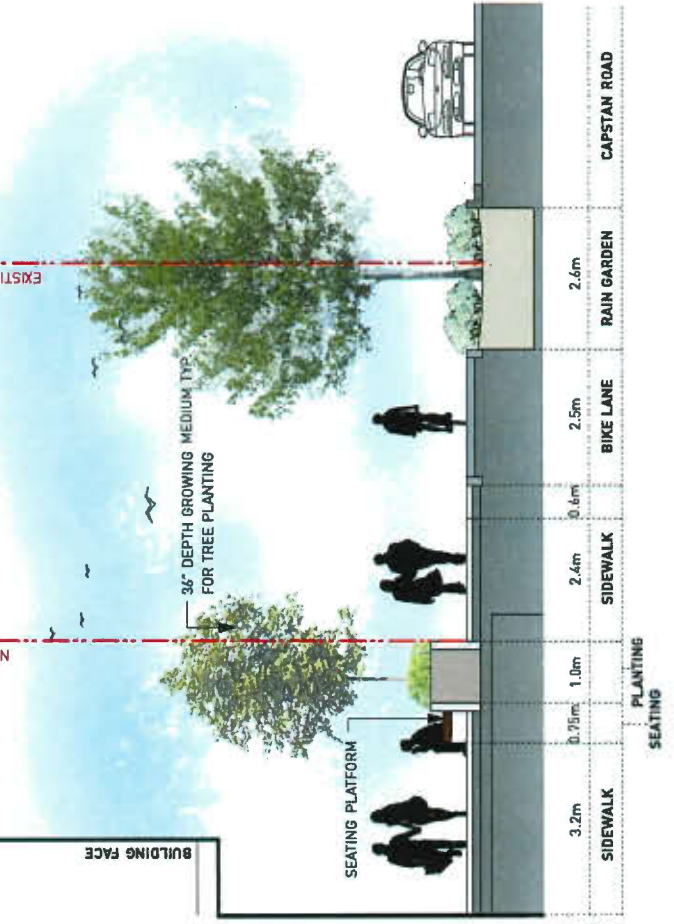
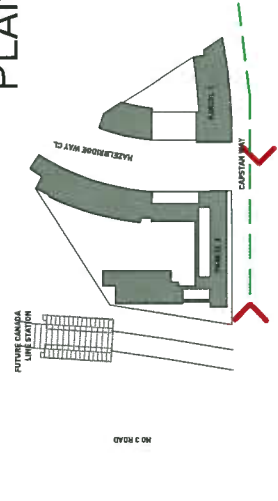
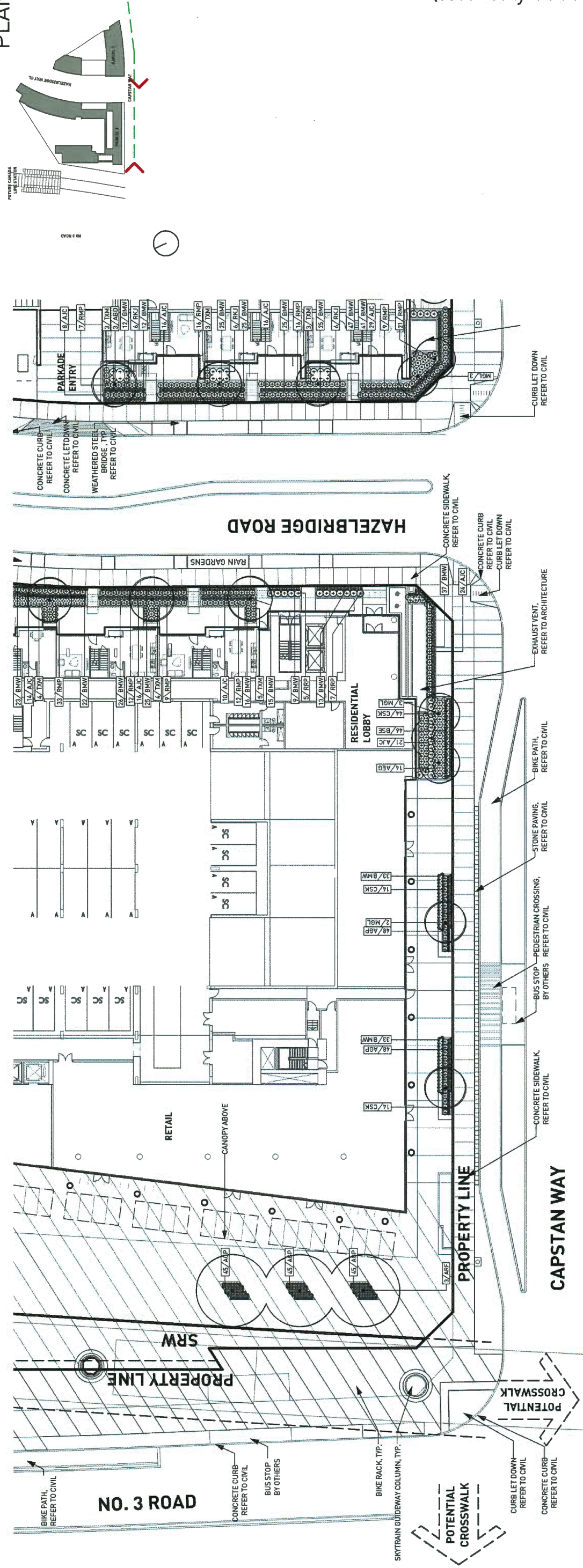
**MINIMUM FLOOR AREA 4.0 m² WITH NO DIMENSION LESS THAN 1750 mm



**ACCESSIBILITY REQUIREMENTS PER BCBC 2012
IMAGES TAKEN FROM THE BUILDING ACCESS HANDBOOK 2014**

BOTH PUBLIC WASHROOMS WILL:

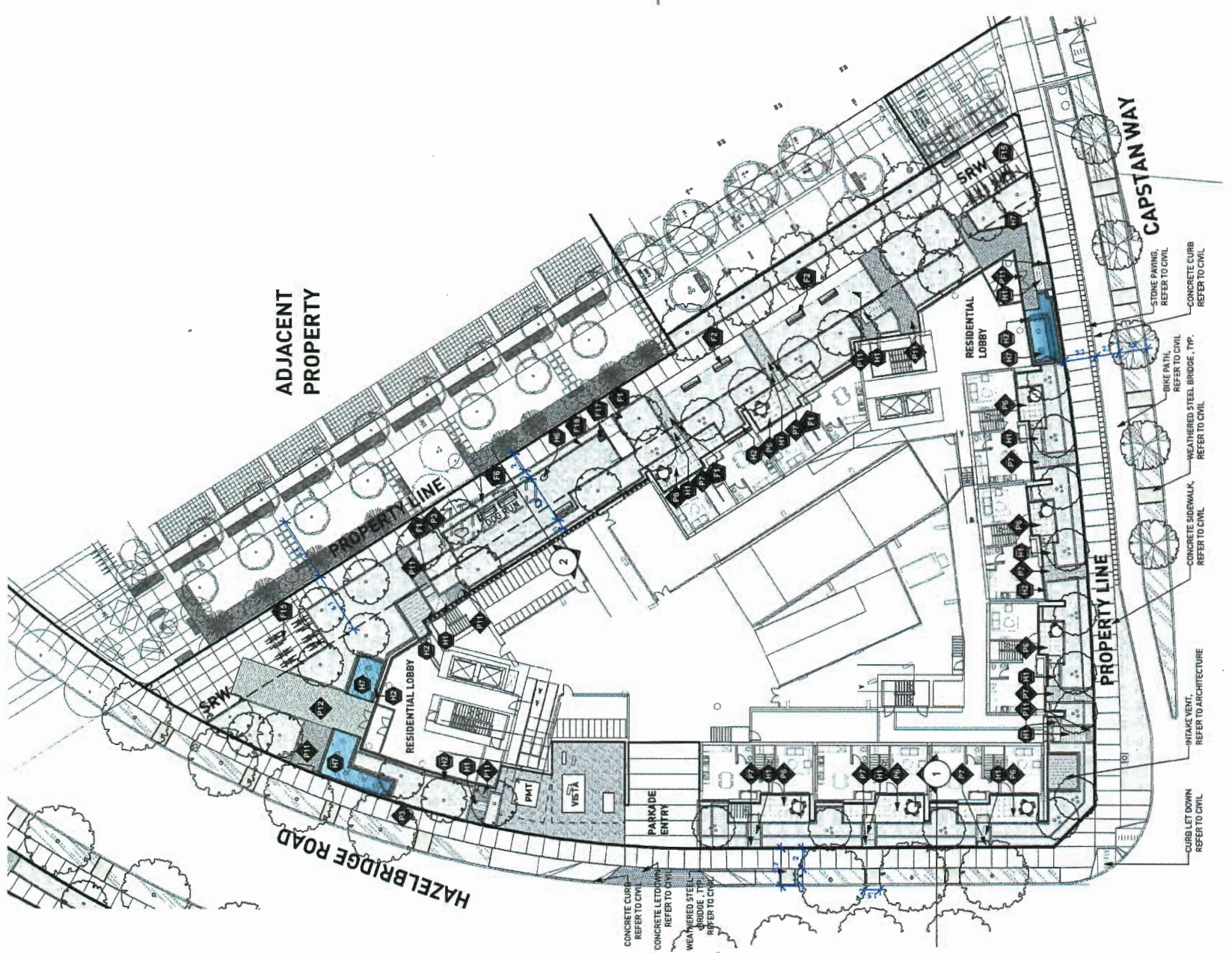
- BE UNIVERSALLY ACCESSIBLE AND MEET IMAGE REQUIREMENTS BELOW
- INCLUDE A CHANGING TABLE
- INCLUDE A HANDICAPPED TOILET AND SINK
- INCLUDE A MIRROR
- INCLUDE A WASTE RECEPTACLE
- HAVE ENOUGH SPACE FOR A FAMILY TO USE



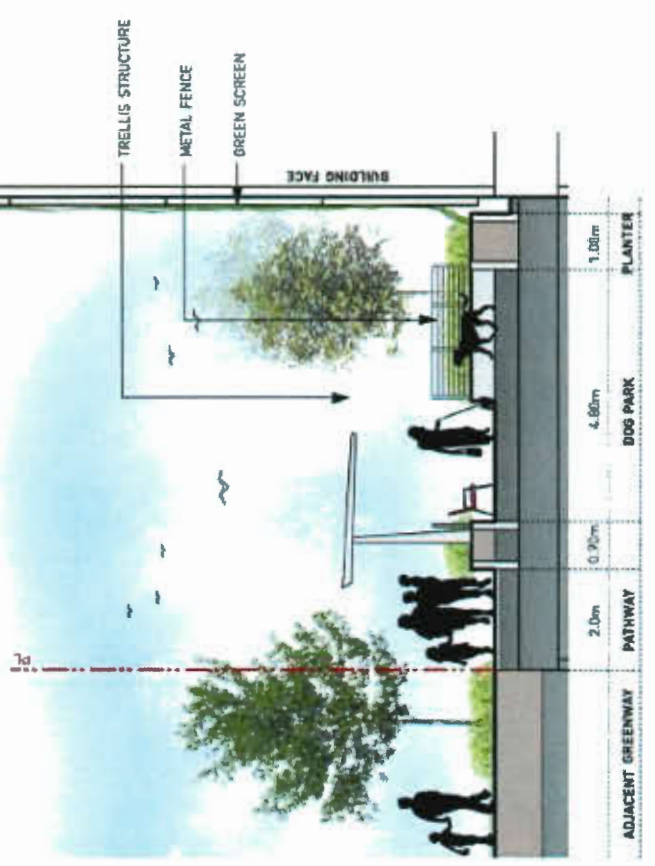
VIEW LOOKING EAST ALONG CAPSTAN WAY WITH PARCEL 2 COMMERCIAL IN FOREGROUND



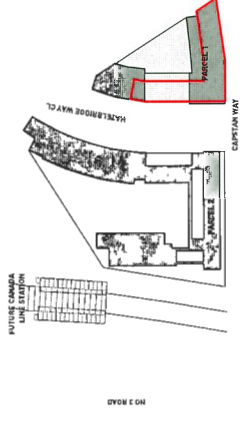
VIEW LOOKING NORTHWEST AT INTERSECTION OF CAPSTAN WAY + HAZELBRIDGE WAY



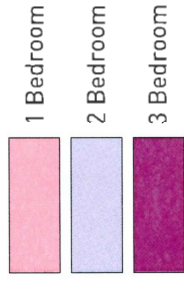
VIEW FROM CAPSTAN WAY LOOKING NORTH AT MID-BLOCK TRAIL



3 Section 2 - Mid-block Trail
 1:150

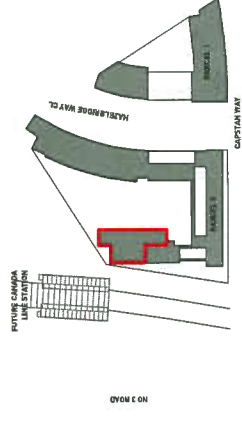


Affordable BUH Units

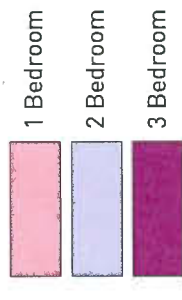


Affordable Housing Proposed Lvl 3		
Level	Name	Count
Parcel 1 (East)		
L3A	1 BED (AH - BUH)	8
1 BED (AH - BUH)		8
L3A	2 BED (AH - BUH)	4
2 BED (AH - BUH)		4
Parcel 1 (East)		12

TOTAL AFFORDABLE AREA PARCEL 2 = 699.4 m2



Affordable BUH Units



Level	Name	Count
Parcel 2 (West)		
L5A	1 BED (AH - BUH)	1
L5A	2 BED (AH - BUH)	2
L5A	3 BED (AH - BUH)	2
L5A		5
L6A	1 BED (AH - BUH)	1
L6A	2 BED (AH - BUH)	2
L6A	3 BED (AH - BUH)	2
L6A		5
L7A	1 BED (AH - BUH)	1
L7A	2 BED (AH - BUH)	3
L7A	3 BED (AH - BUH)	3
L7A		7
Parcel 2 (West)		17

TOTAL AFFORDABLE AREA PARCEL 2 = 1491.5 m2



L5 Affordable Housing Key Plan

1/32" = 1'-0"

L6 Affordable Housing Key Plan

1/32" = 1'-0"

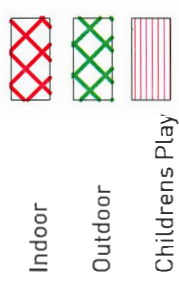
L7 Affordable Housing Key Plan

1/32" = 1'-0"

Residential

Amenity Areas Required

Units	Area Per Unit	Total Required
Parcel 1 (East)		
Indoor	2m ² /21.3 SF	338m ² /3638 SF
Outdoor	6m ² /64.58 SF	1014m ² /10915 SF
Parcel 2 (West)		
Indoor	2m ² /21.53 SF	722m ² /7772 SF
Outdoor	6m ² /64.58 SF	2166m ² /23313 SF



CHILDREN'S PLAY AREA L6	
PARCEL 1	PARCEL 2
93 m ²	0 m ²



L6-Amenity Key Plan

1" = 100'-0"

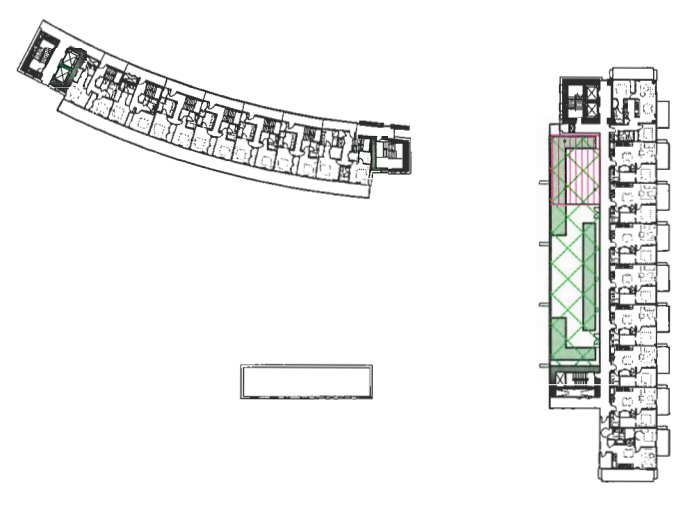
CHILDREN'S PLAY AREA L4	
PARCEL 1	PARCEL 2
321 m ²	516 m ²



L4-Amenity Key Plan

1" = 100'-0"

CHILDREN'S PLAY AREA L14	
PARCEL 1	PARCEL 2
93 m ²	84 m ²



L14-Amenity Key Plan







1" = 100'-0"

Amenity Areas - Proposed		
Level	Area (SF)	Area (m ²)
Parcel 1 (East)		
INDOOR AMENITY		
L4A	3766 SF	350 m ²
L14A	137 SF	13 m ²
INDOOR AMENITY		
	3902 SF	363 m ²
OUTDOOR AMENITY		
L4A	6349 SF	590 m ²
L6A	3562 SF	331 m ²
L14A	1381 SF	128 m ²
L14A	622 SF	58 m ²
OUTDOOR AMENITY		
	11914 SF	1107 m ²
Parcel 2 (West)		
INDOOR AMENITY		
L1A	220 SF	20 m ²
L4A	7905 SF	734 m ²
INDOOR AMENITY		
	8124 SF	755 m ²
OUTDOOR AMENITY		
L4A	23680 SF	2200 m ²
L6A	2013 SF	187 m ²
L7A	2183 SF	203 m ²
L14A	3440 SF	320 m ²
OUTDOOR AMENITY		
	31317 SF	2909 m ²

L7-Amenity Key Plan

1" = 100'-0"

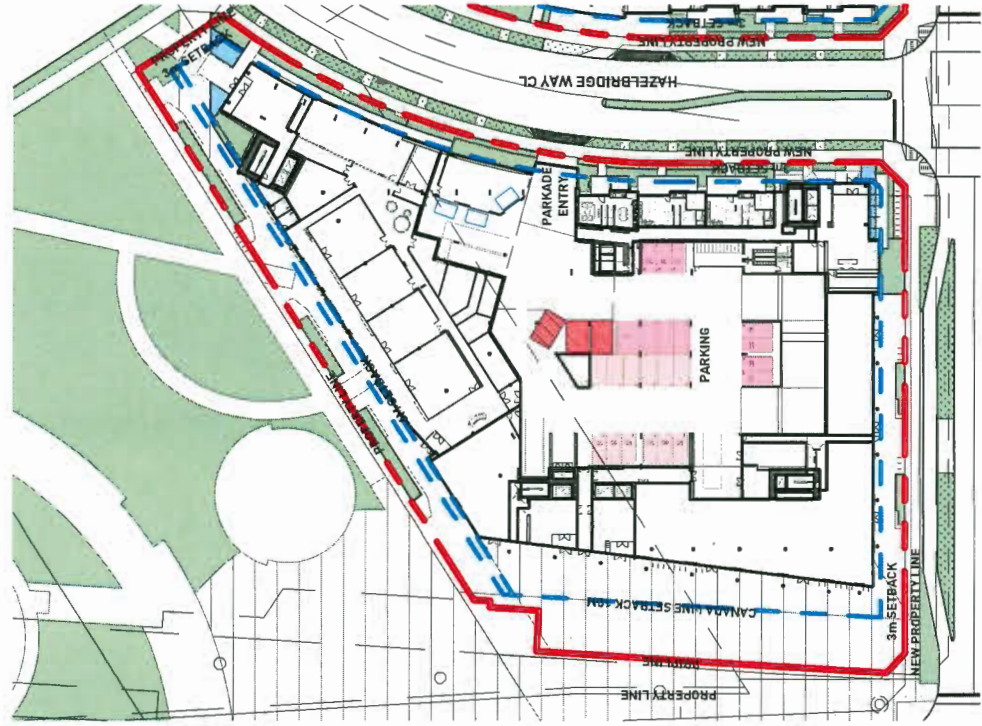
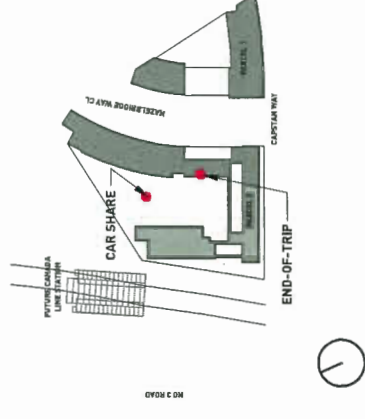
Parking

	Car Share
	Drop Off (Public Parking)
	Commercial Assigned
	Hourly (Public Parking)
	Residential
	Residential Visitor

L3 TOTAL PARKING	
TYPE	COUNT
CAR SHARE	0
DROP OFF (PUBLIC PARKING)	0
COMMERCIAL ASSIGNED	7
HOURLY (PUBLIC PARKING)	40
RESIDENTIAL	0
TOTAL L3 PARKING	47

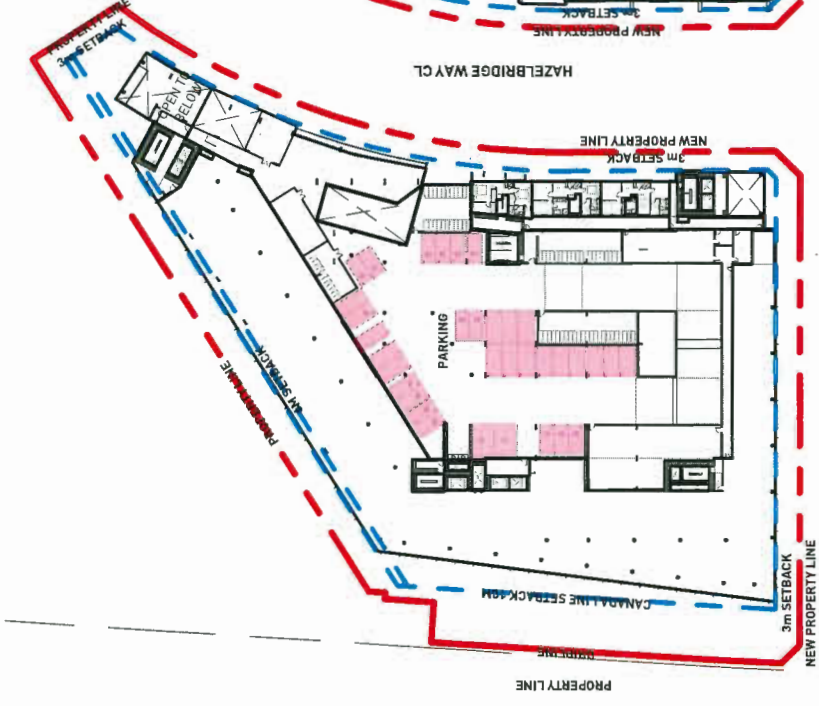
L2 TOTAL PARKING	
TYPE	COUNT
CAR SHARE	0
DROP OFF (PUBLIC PARKING)	0
COMMERCIAL ASSIGNED	0
HOURLY (PUBLIC PARKING)	34
RESIDENTIAL	0
TOTAL L2 PARKING	34

L1 TOTAL PARKING	
TYPE	COUNT
CAR SHARE	3
DROP OFF (PUBLIC PARKING)	12
COMMERCIAL ASSIGNED	0
HOURLY (PUBLIC PARKING)	11
RESIDENTIAL	0
TOTAL L1 PARKING	26



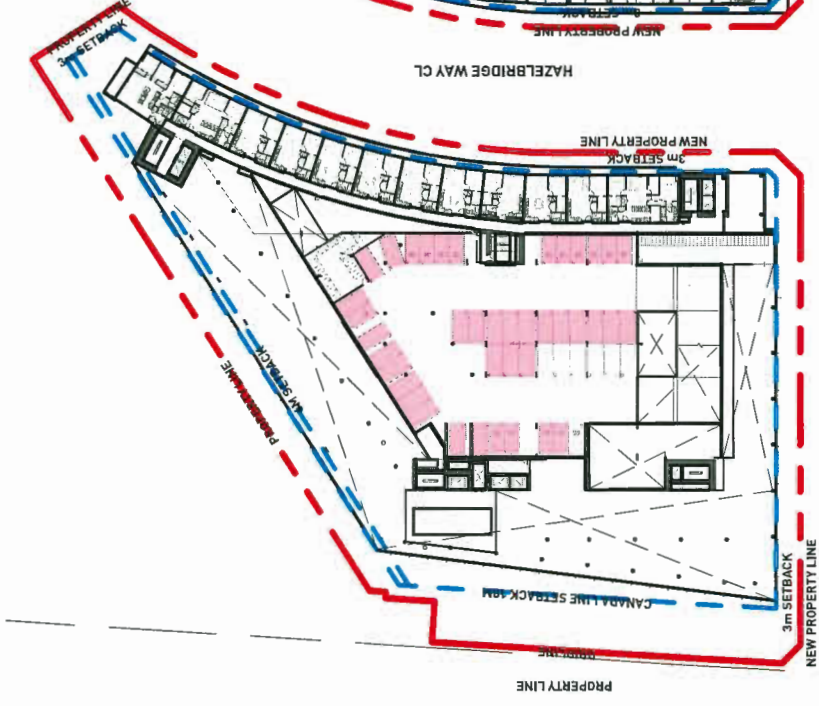
L1-Overall-DP

1" = 100'-0"



L2-Overall-DP

1" = 100'-0"



L3-Overall-DP

1" = 100'-0"



L1-WASTE OVERLAY

1 : 750

Legend

- Compactor Truck Path/Maneuvering
- Garbage Truck Path/Maneuvering
- Garbage and Recycling Rooms
- Loading Area
- Mixed Containers
- Refundable Beverage Containers
- Mixed Paper
- Glass
- Food Scraps/Yard Trimmings
- Corrugated Cardboard
- Garbage

Bins Provided Parcel 1		
Type	Count	
Residential		
Mixed Containers	8	
Refundable Beverage	5	
Mixed Papers	6	
Glass	2	
Food Scrap	8	
Cardboard	1	

Number of Required Bins

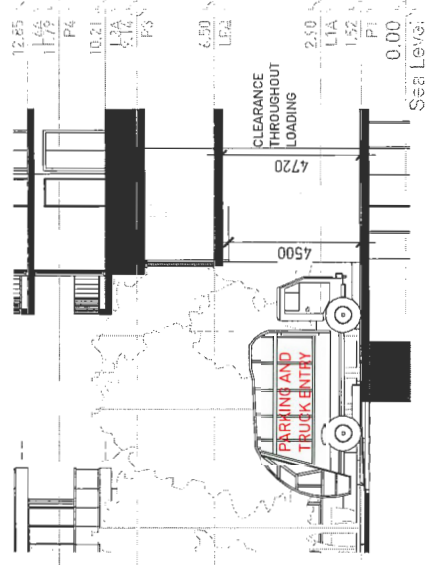
Residential	Quantity	Size of Bin
Mixed Containers	8	360L
Refundable Beverage Containers	5	240L
Mixed Paper	6	360L
Glass	2	240L
Food Scraps and Yard Trimmings	8	240L
Corrugated Cardboard	1	4yd3
Garbage	4	8yd3

Storage Space Required

Residential
 72.91 m² 785 SF

NOTES:

- Residential Garbage and Recycling Rooms located on Ground Level. Compactors will be installed for Residential Garbage for both Parcels 1 and 2.
- All the Garbage Rooms must be provided with proper ventilation, drainage to sewer and faucet to wash Bin.
- For the complete truck movements analysis, refer to Traffic Analysis Sheet.
- Collection Frequency 1x per week.



Section 2 - Entry Clearance

1 : 250



Section 3 - Truck Clearance

1 : 250

Bins Provided Parcel 2	
Type	Count
Arts Facility	
Cardboard	1
Food Scrap	1
Garbage	1
Glass	1
Mixed Containers	4
Mixed Papers	9
Refundable Beverage	1
Office	
Cardboard	1
Food Scrap	7
Garbage	2
Glass	1
Mixed Containers	3
Mixed Papers	6
Refundable Beverage	1
Residential	
Cardboard	2
Food Scrap	15
Glass	4
Mixed Containers	16
Mixed Papers	12
Refundable Beverage	9
Retail	
Cardboard	1
Food Scrap	1
Garbage	1
Glass	1
Mixed Containers	1
Mixed Papers	4
Refundable Beverage	1

Number of Bins Required

Arts Facility	Quantity	Size of Bin
Mixed Containers	4	360L
Refundable Beverage Containers	1	240L
Mixed Paper	9	360L
Glass	1	240L
Food Scraps and Yard Trimmings	1	240L
Corrugated Cardboard	1	3yd3
Garbage	1	3yd3
Office		
Mixed Containers	3	360L
Refundable Beverage Containers	1	240L
Mixed Paper	6	360L
Glass	1	240L
Food Scraps and Yard Trimmings	7	240L
Corrugated Cardboard	1	4yd3
Garbage	1	3yd3
Residential		
Mixed Containers	16	360L
Refundable Beverage Containers	9	240L
Mixed Paper	12	360L
Glass	4	240L
Food Scraps and Yard Trimmings	15	240L
Corrugated Cardboard	2	8yd3
Garbage	3	360L
Garbage	8	8yd3
Retail		
Mixed Containers	1	360L
Refundable Beverage Containers	1	240L
Mixed Paper	4	360L
Glass	1	240L
Food Scraps and Yard Trimmings	1	240L
Corrugated Cardboard	1	3yd3
Garbage	1	3yd3

Storage Space Required

Arts Facility	29.05 m ²	312.69 SF
Office	31.21 m ²	335.94 SF
Residential	142.92 m ²	1538.38 SF
Retail	18.97 m ²	204.19 SF

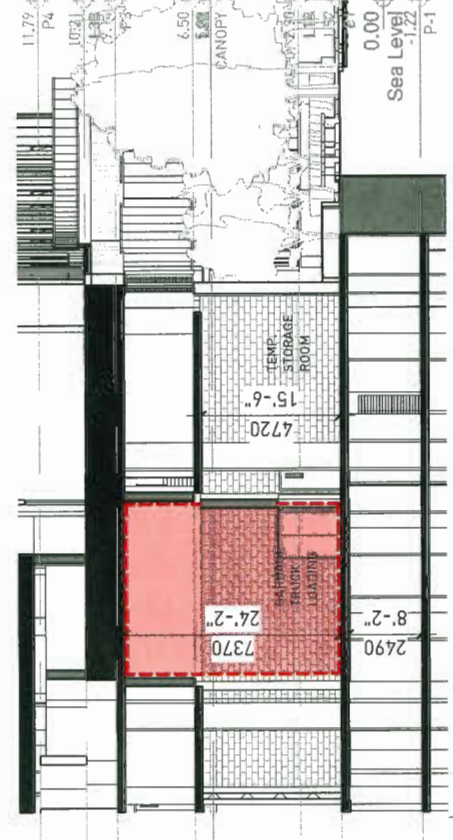
NOTES:

- All the calculations were based in the spreadsheet tool provided along with the updated Waste Management Guidelines.
- Waste Management Strategy Parcel 2: Retail, Office and Arts Facility Garbage and Recycling Rooms Located on Ground Level, Residential Garbage and Recycling Rooms located on Level P-1 and moved to Temporary Storage Room for collection.
- Compactors will be installed for Residential Garbage for both Parcels 1 and 2.
- All the Garbage Rooms must be provided with proper ventilation, drainage to sewer and faucet to wash Bin.
- For the complete truck movements analysis, refer to Traffic Analysis Sheet.
- Collection Frequency 1x per week.



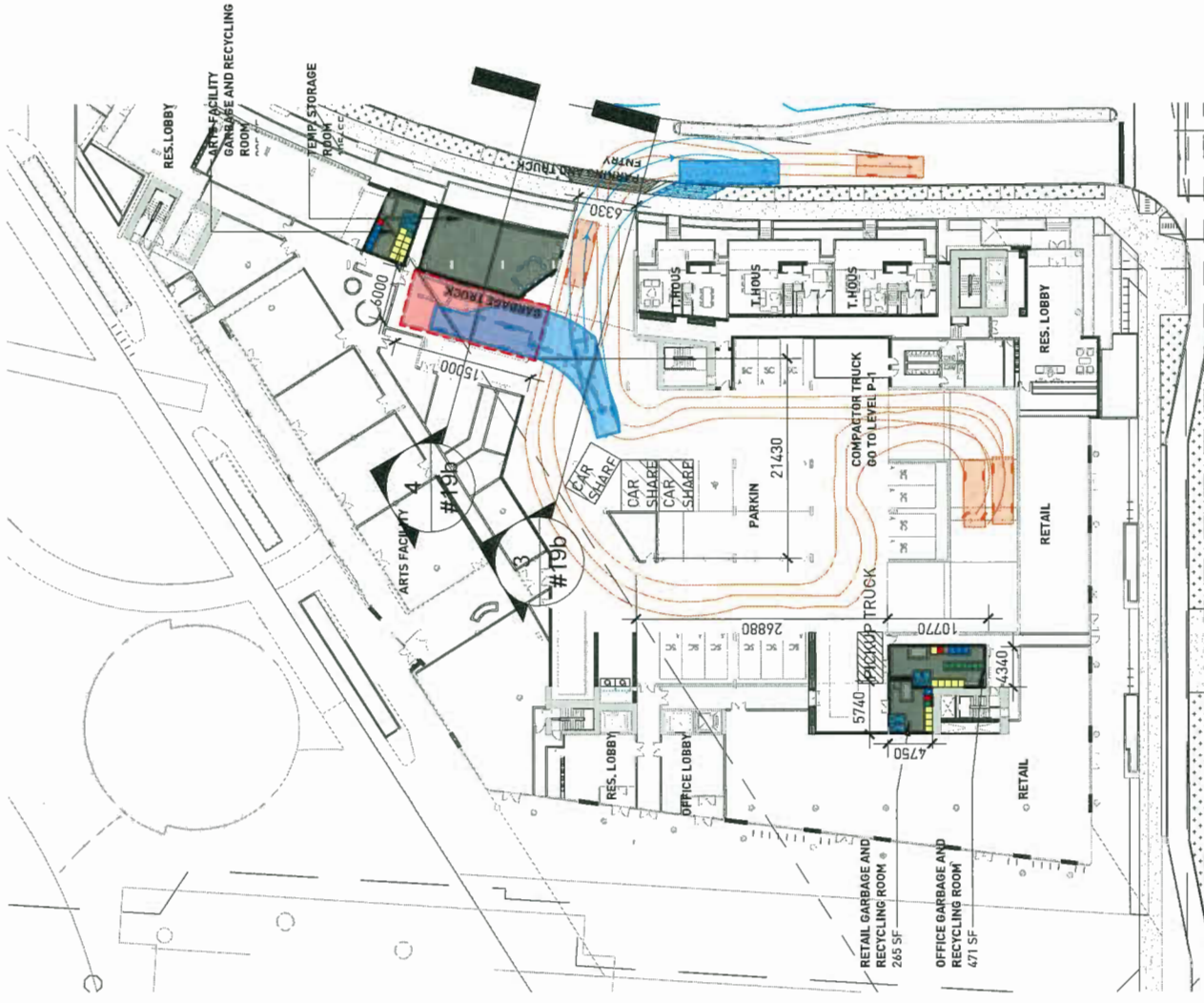
P-1-WASTE OVERLAY PARCEL 2

1 : 750



Section 4 - Truck Clearance

1 : 250



L1-WASTE OVERLAY PARCEL 2

1 : 750

Legend

- █ Compactor Truck Path/Maneuvering
- █ Garbage Truck Path/Maneuvering
- █ Garbage and Recycling Rooms
- Loading Area
- █ Mixed Containers
- █ Refundable Beverage Containers
- █ Mixed Paper
- █ Glass
- █ Food Scraps/Yard Trimmings
- █ Corrugated Cardboard
- █ Garbage

Section 3 - Entry Clearance

1 : 250

SIGNAGE

1. Townhouse Signage
 - Aluminum cast numbers and finishes to complement white brick and black marble.
2. Parakade Signage
 - Entry signage and defined wayfinding for each elevator core.
3. Plaza Retail Signage
 - Laser cut/sculptural/blade signs.
4. Plaza Signage
 - For wayfinding to the lobbies, park, and Skytrain.
 - Corporate signage.
5. Address Signage
 - Plinth with metal signage on concrete base.
6. Real Estate Signage
 - Aluminum plate with acrylic lettering on concrete base.

7. Retail Signage
 - Suspended tenant blade.



1 SIGNAGE - TOWNHOUSE

ref:



2 SIGNAGE - PARKADE

ref:



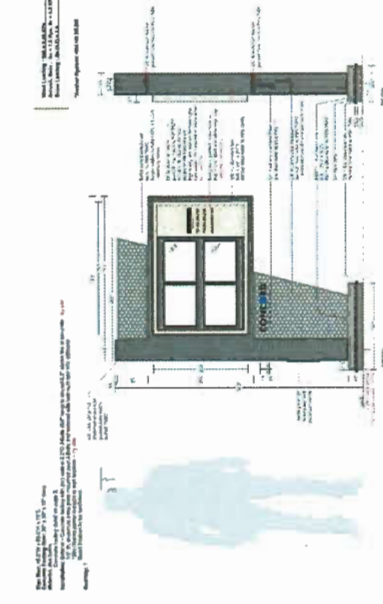
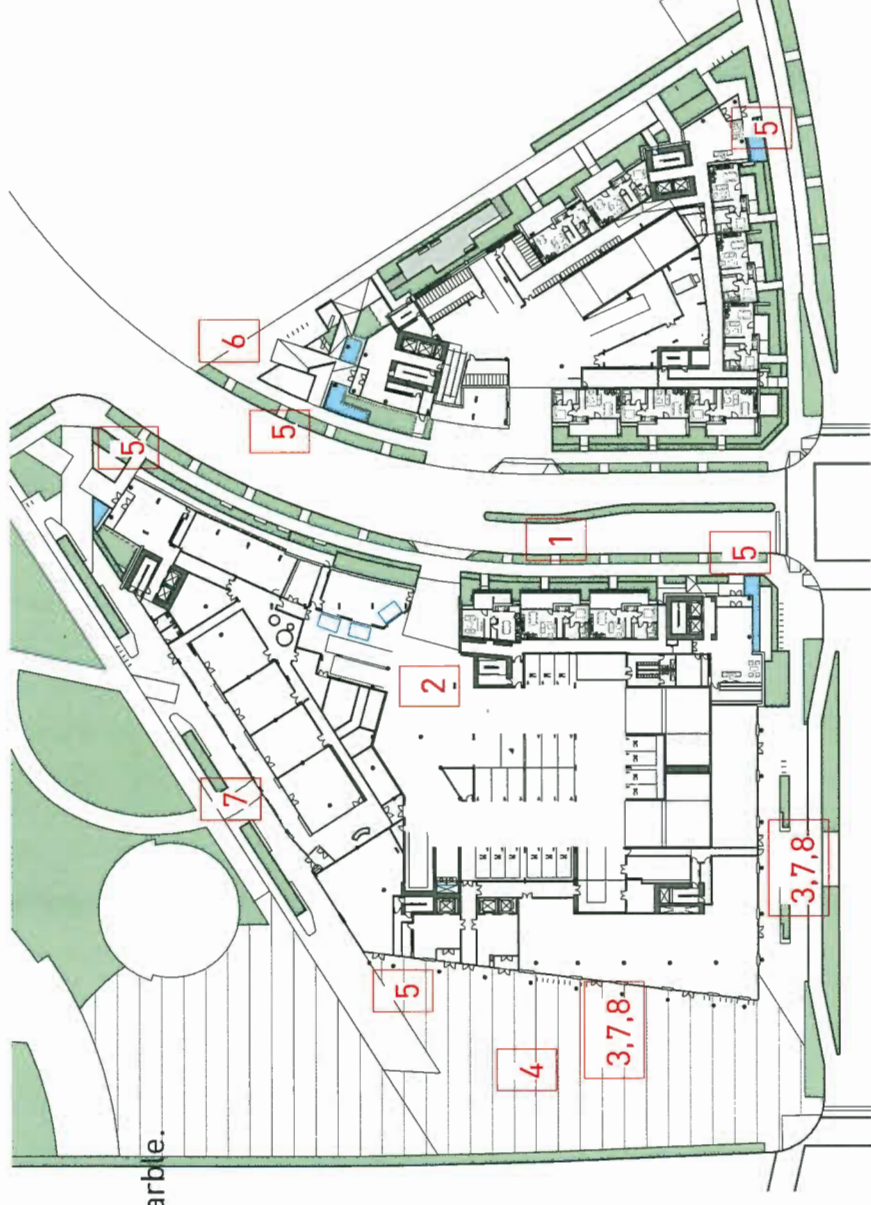
3 SIGNAGE - RETAIL

ref:



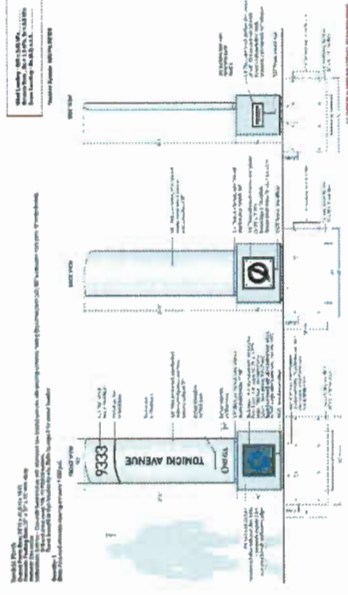
4 SIGNAGE - PLAZA

ref:



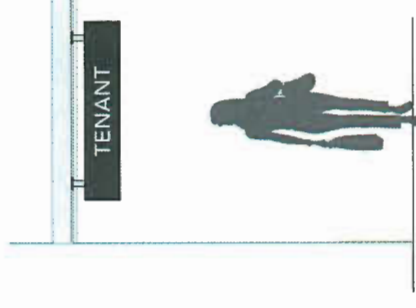
5 SIGNAGE - ADDRESS

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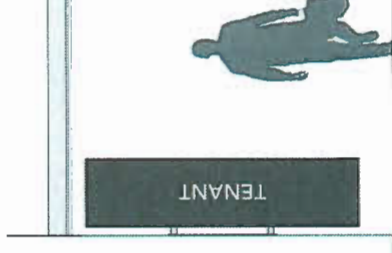
6 SIGNAGE - REAL ESTATE

ref:



7 SIGNAGE - RETAIL SUSPENDED

ref:



8 SIGNAGE - RETAIL BLADE

ref: