



# City of Richmond

## Report to Development Permit Panel

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To: Development Permit Panel

Date: May 10, 2017

From: Wayne Craig  
Director, Development

File: DP 15-700007


Re: **Application by LANDA Elmbridge Holdings Ltd for a Development Permit at  
7100 Elmbridge Way**

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### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a (15) storey, 26,128 m<sup>2</sup> (281,241 ft<sup>2</sup>), mixed commercial and residential use tower and podium building at 7100 Elmbridge Way on a site zoned "Downtown Commercial (CDT1)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) reduce the parking rate from the standard City-wide parking rate to the City Centre Zone 2 parking rate; and
  - b) allow the unenclosed balconies on building levels 3-16 to project into the required front yard by up to 3.0 m.

  
Wayne Craig  
Director, Development

JD:blg  
Att. 6

## Staff Report

### Origin

LANDA Elmbridge Holdings Ltd has applied to the City of Richmond for a Development Permit in order to construct a 15-storey, 26,128 m<sup>2</sup> (281,241 ft<sup>2</sup>), mixed commercial and residential use podium and tower building at 7100 Elmbridge Way. The site is zoned "Downtown Commercial (CDT1)". There is no rezoning associated with this proposal.

Key components of the proposed development include:

- Floor area comprised of:
  - 1,197 m<sup>2</sup> (12,884 ft<sup>2</sup>) of retail space on the ground level.
  - 24,295 m<sup>2</sup> (261,512 ft<sup>2</sup>) of multi-family residential space above ground level.
- A height of 46.9 m geodetic.
- 257 market dwelling units and 14 affordable housing units.
- 636 m<sup>2</sup> (6,845 ft<sup>2</sup>) of indoor and 2,351 m<sup>2</sup> (25,305 ft<sup>2</sup>) of outdoor common amenity space.
- 377 parking spaces and three loading spaces.

Significant agreements associated with this proposal include a Servicing Agreement, a District Energy Utility Agreement and a Housing Agreement. The Servicing Agreement works include storm and sanitary upgrades, road and lane widenings with associated boulevard improvements, undergrounding of hydro lines along the lane and payment of a latecomer charge of \$57,108.52 (plus interest) prior to Building Permit issuance. Detailed DP Considerations are attached (Attachment 1).

### Background

#### *Site*

The subject site is located in the City Centre's Lansdowne Village on the southeast corner of Elmbridge Way and Gilbert Road (Attachment 2). It currently contains a vacant one-storey building and mature trees.

#### *Surrounding Development*

Development surrounding the subject site is as follows:

- To the North: Across Elmbridge Way, a one storey retail building with surface parking on a site zoned "Industrial Retail (IR1)".
- To the East: Abutting the subject site, a one storey government facility (ICBC) with surface parking on a site zoned "Downtown Commercial (CDT1)".
- To the South: Across the City lane, a three storey medical services building with surface parking on a site under Land Use Contract (LUC 051).
- To the West: Across Gilbert Road, a seven storey government facility (WorkSafeBC) with surface parking zoned "Downtown Commercial (CDT1)".

The surrounding sites have future development potential and may be rezoned consistent with the CCAP in order to develop commercial, residential or mixed-use podium and tower buildings with Floor Area Ratios (FARs) of 2.0 - 3.0 and heights of 35 m - 45 m. Please refer to the

Lansdowne Village and Oval Village Specific Land Use Maps for more detailed context information (Attachment 3).

### **Public Consultation**

Notification Sign: A Development Permit notification sign was installed on the subject property. To date, staff have received no enquiries or comments in response to the sign.

Neighbours – ICBC: The Insurance Corporation of BC has provided a letter acknowledging that it has reviewed the proposed tree removal and the widening of Elmbridge Way and finds the proposed changes acceptable.

### **Staff Comments**

The proposed development has satisfactorily addressed the provisions of the applicable Development Permit Guidelines (Official Community Plan General, Multi-family and Highrise Guidelines and the City Centre Area Plan General and Sub-area Guidelines). In addition, the proposal complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the “Downtown Commercial (CDT1)” zone except for the proposed zoning variances noted below.

### **Zoning Compliance**

Please refer to the attached Development Application Data Sheet (Attachment 4) for a comparison of the proposed development with the relevant bylaw requirements.

### **Zoning Variances**

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) reduce the parking rate from the standard City-wide parking rate to the City Centre Zone 2 parking rate; and

*(Staff support the proposed variance which is consistent with Council policy adopted in June, 2008. The policy provides for the use of City Centre parking rates in lieu of the standard CDT1 parking rates where developments provide affordable housing units in accordance with the CDT1 density bonus provisions.)*

- b) allow the unenclosed balconies on building levels 3-16 to project into the required front yard by up to 3.0 m.

*(Staff support the proposed variance which will accommodate projection of a small area of the continuous balcony banding (averaging 2.41 m<sup>2</sup>) into the required yard on Elmbridge Way starting at the first residential floor (L3) and ending at the roof level deck (L16). The projections range from 1.5 m to 3.0 m, exceeding the 1.0 m permitted by the zoning bylaw. The added balcony projection does not impact the use of the ground level, is offset by recession of the balcony banding on the remainder of the building facade and creates a clearer and more dramatic expression of the building mass when viewed from key vantage points on Elmbridge Way.)*

### Affordable Housing Density Bonusing

The proposed development complies with the affordable housing density bonusing provisions of the CDT1 zone. Five percent of the residential floor area, or approximately 1,215 m<sup>2</sup> (13,076 ft<sup>2</sup>), will be secured as low end market rental dwelling units meeting the basic requirements of Table 1. The proposed units are identified on the Development Permit plans. A Housing Agreement and a Housing Covenant, notated and registered on title respectively, are required prior to final approval of the Development Permit.

Unit Type	Affordable Housing Strategy Requirements			Project Targets (2)	
	Minimum Unit Area	Maximum Monthly Unit Rent (1)	Total Maximum Household Income (1)	Unit Mix	# of Units
Bachelor	37 m <sup>2</sup> (400 ft <sup>2</sup> )	\$850	\$34,000 or less	0%	0
1-Bedroom	50 m <sup>2</sup> (535 ft <sup>2</sup> )	\$950	\$38,000 or less	36%	5
2- Bedroom	80 m <sup>2</sup> (860 ft <sup>2</sup> )	\$1,162	\$46,500 or less	28%	4
3-Bedroom	91 m <sup>2</sup> (980 ft <sup>2</sup> )	\$1,437	\$57,500 or less	36%	5
TOTAL		N/A	N/A	100%	14

(1) May be adjusted periodically, as provided for under adopted City policy.

(2) 100% of affordable housing units shall meet Richmond Basic Universal Housing (BUH) standards or better.

### Advisory Design Panel Comments

The Advisory Design Panel was supportive of the proposed development. Members appreciated the reinterpretation of the typical tower and podium form and the different and innovative style of architecture. A copy of the relevant excerpt from the Panel Minutes, taken March 9, 2016, is attached for reference (Attachment 5). The design response from the applicant has been included in the minutes, identified in '*bold italics*' immediately following each comment.

### Analysis

#### Conditions of Adjacency

The proposed development is designed to respect both existing and future surrounding development as follows.

- To the North, South and West: The subject site is separated from surrounding sites on three sides by City roadways - Elmbridge Way, Gilbert Road and the existing lane at the south. This supports adequate tower separation for future developments and limits negative impacts on sun access, outlook and privacy.
- To the East: The massing strategy for the proposed development, which utilizes two boomerang-shaped, terraced towers rather than three square towers, is intended to provide increased opportunities for western outlook and sun access for both the subject site and the site to its east. As the site to the east is relatively large and fronts a City park to its east, there is adequate massing and tower placement flexibility for future development.
- Private Property Interfaces: Because the design of the proposed development anticipates a similar podium and tower style development to its east, there is a long parkade wall proposed on the shared property line. The applicant proposes to embellish the wall with a diagonal grid of concrete reveals to provide it with interim visual interest.



### ***Urban Design***

The proposed development is designed to enhance City infrastructure and the public realm with a combination of frontage improvements, landscaped ground level open spaces, on-site Public Art and a dynamic building form and character.

- **Off-site Public Realm:** Various improvements to existing utilities and roads are required to support redevelopment of the site with higher density mixed uses.
  - **City Utilities** – Upgrading of fronting utilities will be required along with payment of a latecomer charge before Building permit issuance (\$57,108.52 plus interest).
  - **Private Utilities** – Undergrounding of the overhead wires along the lane is required. All other private utilities must be located on site.
  - **Roads** – Elmbridge Way will be widened to add an additional travel lane and a boulevard (approx. 3.65 m). Gilbert Road will be widened to add a bike lane and a boulevard (approx. 2.45 m). The City lane will be widened to provide additional travel width (approx. 1.5 m). The proposed road adjustments have been supported with a Traffic Impact Analysis submitted by a registered professional and will be secured as dedications.
  - **Boulevards** – The Elmbridge Way and Gilbert Road street cross-sections include standard provisions for a 1.5 m wide grass boulevard with a single row of trees and a 2.0 m wide concrete City sidewalk. Lane frontage improvements include resurfacing of the vehicle travel lanes with asphalt.
- **On-site Public Realm:** Meandering landscaped plazas along Elmbridge Way and Gilbert Road and a tree-lined boulevard and sidewalk parallel to the lane are proposed to supplement the off-site public realm areas.
  - Design qualities of the on-site landscaped areas include:
    - Managed and graduated transitions between the finished elevations of the street, the plaza and the building's ground floor using a variety of steps, accessible ramps and terraced planters.
    - A range of outdoor plaza spaces along the street frontages that mimic alluvial patterns, support desire lines for those rounding the Elmbridge Way/Gilbert Road corner and establish varied outdoor seating areas related to the commercial frontages.
    - Diagonal striped paving patterns with feature paving at key pedestrian and vehicular entries.
    - Soft landscape set in terraced planters that combines trees, shrubs and perennials and is used to provide visual interest and buffer outdoor seating areas.
    - On-site site furnishings that include built-in planter benches and bike racks.
  - Design qualities of the building that enrich the quality of the publically accessible open space include:
    - Commercial uses with extensive glass storefronts opening directly onto both the plazas and the lane.
    - Minimum 70% vision glass on the ground level facing publically accessible areas.
    - An active building amenity space with large windows facing the lane.
    - Residential lobby entrances on Gilbert Road that are highlighted with sculptural concrete porticos.
    - Continuous weather protection provided along the ground level commercial facades.

- Integrated commercial signage using discreet horizontal sign bands over the storefronts.
- **Public Art:** Site-specific Public Art is proposed to be located within the site at the corner of Elmbridge Way and Gilbert Road. A Public Art Plan has been submitted and endorsed by the Richmond Public Art Committee. Implementation of the Plan will be secured with a combination of cash deposit and Letter of Credit and managed through the Public Art process totalling \$211,859.69 (calculated as \$0.83 per residential buildable square foot, excluding affordable housing, and \$0.44 per commercial buildable square foot).

### ***City Centre DP Guidelines***

The proposed form of development is supported with extensive contextual and massing analysis. On this basis, the architect has proposed some alternatives to the more technical DP guidelines. A comparison of the proposed development with the relevant guidelines is provided (Attachment 7). The proposed alternatives are evaluated below.

- **City Block Size** – The subject site is approximately 55 m wide and 145 m deep (average) and does not warrant adding a mid-block pedestrian mews in either direction. However, to support good east-west connectivity for the longer frontage (Gilbert Road), the applicant proposes an enhanced pedestrian environment along the east-west City lane. The building setback from the lane is a total of 5.0 m and integrates a continuous weather protected sidewalk along the building face with a vehicle layby combined with treed boulevard areas adjacent to the lane.
- **Setback/Build-to** – The setback from street frontages ranges from 3.0 m to approximately 11.0 m. The varied setback/build-to is used to create ground level open spaces, reveal views for pedestrians and motorists rounding the corner and provide for more spatially-interesting street cross-sections. These areas are bordered with a continuous three-storey podium streetwall topped by the terraced tower portions of the development.
- **Step Backs** - The guidelines suggest that higher building masses set close to the street be stepped back above the third and fifth levels to enhance the street level pedestrian environment. Because much of the proposed development's building mass is set well back from the street face, the step backs are unnecessary.
- **Tower Floorplate Size** – While the proposed tower floorplate sizes are larger than the CCAP's recommended size, the applicant has done extensive studies of massing options to demonstrate that the proposed two-tower option, with its slightly larger floorplates and wider on-site tower spacing, is superior to a three-tower option, with the CCAP recommended smaller floorplates and narrower on-site tower spacing.

### ***Site and Functional Planning***

The proposed development has been reviewed against site planning and functionality objectives as follows.

- **Flood Protection:** The development must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood covenant is required prior to approval of the application.
- **Pedestrians:** Pedestrian access is provided from both streets and the lane to ground level commercial units and from Gilbert Road to the two residential lobbies. Access is also provided to the ground level commercial/visitor parking from Gilbert Road.

- Cyclists: Bicycle storage is located in secure rooms on the ground level that are accessible from the street and the interior of the parkade. Public bike racks are provided on the ground level at the corner of Elmbridge Way and Gilbert Road.
- Vehicle Access: Vehicle access to parking is provided from both Elmbridge Way and the lane. Registration of a legal agreement on title restricting access to these locations is required as well as registration of a legal agreement on title restricting the Elmbridge Way access to right in/right out vehicular movement, generally as shown in the preliminary road functional drawings (Attachment 6).
- Parking: The parking is located in a four-storey podium ringed with non-parking uses on the road and lane frontages. Legal agreements required to be registered on title for shared commercial and visitor parking and electric vehicle provisions.
- Loading: Most of the truck loading is expected to occur in the proposed layby along the City lane. An additional truck loading space is located within the building at the north end of the site and will be provided with right-in/right access from Elmbridge Way. Loading manoeuvring diagrams have been accepted by Transportation staff. A legal agreement is required to be registered on title for shared commercial and residential loading spaces.
- Waste Management: The waste and recycling storage areas located within the building at the north and south ends of the development. The bins will be moved to a temporary outdoor pick up area adjacent to the lane. A waste management plan has been provided to the satisfaction of Engineering staff.
- On-site Utilities – Hydro and Street Lighting Kiosk: A BC Hydro Vista chamber, LPT and control kiosk are located on-site and adjacent to the street approximately midway along the Gilbert frontage. BC Hydro has declined to support relocation to a more discreet location. As well, the City street lighting control box is proposed to be located in this area. To reduce the visual impact, the equipment is set at sidewalk level and screened with soft landscaping.
- On-site Utilities – DEU: A mechanical room for future Oval Village District Energy Utility connection equipment has been provided.
- Rooftop Mechanical: Rooftop mechanical equipment is located on Levels 4 and 6. The locations are setback from the building edges and equipment will be screened. The elevator overruns do not project significantly from the tower roofs.

### ***Architectural Form and Character***

The form and character of the proposed development fully explores the DP guideline themes of strong horizontal, west coast lifestyle, garden city and green building expression as follows.

- Massing: The proposed massing includes two, horizontally-expressed, terraced tower forms that rise from a horizontally-expressed podium base. This massing approach, along with the use of curvilinear forms, is intended to reference the flow and sedimentation of Richmond's delta geography. It is also intended to provide a dynamic alternative to the typical perpendicular podium and tower forms of development in the surrounding areas.
- Façade Expression: The main building façades are composed of bands of glass window wall and bands of concrete balcony. The windows walls combine vision and multi-coloured spandrel glass in a range of clear and grey shades. The balconies include varied height white and dark grey concrete upstands interspersed with clear and yellow glass guards. The grey and yellow areas are designed to add verticality and dynamism to the façades.
- Ground Level: The ground level includes slanted concrete projecting frames that delineate the different retail areas and the residential lobbies. The white window spandrels add visual

interest to the long façade and echo the overall façade pattern and imagery of water and sedimentation. To preserve the façade character and ensure streetscape animation, a minimum of 70% vision glass is provided.

- **Terracing:** The extensive deck, terrace and balcony areas all contribute to expression of a “sophisticated urban outdoor lifestyle” as referenced in the design guidelines.
- **Skyline/Roofscape:** Like the balconies, the proposed parapets at the top of the terraced towers combine varied height and coloured concrete upstands with clear and yellow glass guards. The height and shape variations (some are angled), patterning of solids and voids and patterning of colours add visual interest to the skyline consistent with the objectives of the design guidelines.

### ***Landscape Form and Character***

- **Ground Level:** The ground level landscape design embraces the alluvial water and sedimentation theme of the overall project: organically-shaped plazas, planters and built-in seating ledges create fluid pedestrian routes between the streets, the lane and the frontage entries and contrasting linear paving patterns suggest sedimentation patterns and lead to the building entries. A significant amount of tree planting is provided at the ground level, including a proposed specimen elm tree at the corner of Elmbridge Way and Gilbert Road (referencing an existing elm tree to be removed for road widening). Public Art will also be incorporated at this location and will be designed to integrate with the planters and elm tree. The ground level plazas include adequate space for west-facing outdoor café seating along the Gilbert Road frontage.
- **Podium Roofs:** The main parking podium roof is fully landscaped with a range of common outdoor spaces for the use of the residents, as described in the Livability - Amenities section. The podium landscaping uses dry riverbeds to provide physical separation between common areas and private patios. A variety of soft landscape mounds planted with trees line the eastern podium edge to add visual interest and screen the project from future development. An additional mounded area, planted with bamboo, is provided in the south courtyard to provide for privacy between units. Two common outdoor areas are provided on the next roof level. These have good western sun access and include walkways, grass and treed areas and seating areas. The podium levels include a variety of outdoor programming as discussed in the Livability - Amenities section of this report.

### ***Tree Protection and Replacement***

Based on the recommendations of the arborist and staff, the following tree measures will be undertaken.

- **Removal** – All on-site trees will be removed. An additional tree that straddles the east property line will be removed with the agreement of ICBC (written approval provided). An existing street tree on the Elmbridge Way boulevard will be removed to accommodate street widening.
- **Protection** – Tree protection is required for trees located on the adjacent site to the east. Please refer to the Tree Management Plan.
- **Replacement** – On-site tree replacement requirements associated with development approval include incorporation of 22 new trees of bylaw size (refer to Landscape Plans) on the ground and podium levels. Off-site tree replacement will require a contribution of \$1,300 to the Tree Compensation Fund.

### ***Livability***

The DP Guidelines include a variety of livability design parameters and the proposed development has addressed them as follows.

- **Amenities**: The areas of the proposed indoor, outdoor and private amenity spaces are generally consistent with guideline expectations. Please refer to the CCAP Development Permit Guidelines Summary. A legal agreement is required to be registered on title requiring unlimited access to and use of common indoor and outdoor amenities for all residents of the building.
  - **Common Indoor Amenity Space** – Three common indoor amenity spaces are provided. A large gym with change rooms is located on the ground level. A lounge is provided on the third level. A larger amenity space, which will be programmed with a combination of entertainment and media rooms, is located on the fourth level and has access to the podium level outdoor amenity space.
  - **Common Outdoor Amenity Space** – A large, multi-purpose common outdoor amenity space is provided on top of the parking podium. Additional south and west facing common outdoor amenity spaces are located on the roof, one level above. Combined, they provide for a good range of activity, sun access and outlook opportunities. Programming for the combined levels includes hot tubs, landscaped hills, a community fire pit, a badminton lawn, strolling paths and outdoor adventure play. All common outdoor areas are provided with automatic irrigation and gas hookups, as needed.
  - **CCAP Supplementary Common Outdoor Space** – An additional area of common outdoor open space is required in the City Centre (10% of net development site area). In the case of this development, the additional area is provided through the ground level plaza spaces, which are discussed in detail in the urban design section in this report.
  - **Private Outdoor Amenity Space** – All units are provided with attached private open space in the form of small or large balconies or small or large roof patios. The highest units are also provided with rooftop decks accessed by stair hatch.
- **Accessibility**: An Accessibility Measures Checklist for the overall development has been provided. General features are also noted in the DP drawings. Further, accessible dwelling units are proposed to be provided as follows.
  - **Aging in Place** – The proposed development will provide aging in place features to accommodate mobility constraints associated with aging in 100% of the units. All of the proposed units incorporate aging in place features. These features include:
    - Stairwell hand rails.
    - Lever-type handles for plumbing fixtures and door handles.
    - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
  - **Basic Universal Housing** – The proposed development includes basic universal housing features in 10% of the market housing units and 100% of the affordable housing units. Basic universal housing units are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw.

- Barrier Free Housing – The proposed development includes one barrier-free unit that is also an Affordable Housing unit. A barrier-free unit is primarily designed for use by a person using a wheelchair but also has accessibility features of value to people with other disabilities.
- Safety (CPTED): The proposed development will include a variety of safety features consistent with the principles of Crime Prevention through Environmental Design as described in the Safety (CPTED) Measures Checklist provided by the applicant. Critical features include:
  - Separation of the residential and more public uses, both in the building and in the parkade.
  - Commercial and residential pedestrian entry and parkade access directly from the street.
  - Natural surveillance of the streets, lane and podium spaces from commercial and residential spaces.
  - Open parkade ramping for visibility.
  - Good lighting and bright finishing of interior and exterior spaces.
- Noise Management: The proposed development must address the impacts of noise on residential uses as follows:
  - Aircraft Noise Sensitive Development Policy – The proposed development is located in Area 3 on the Aircraft Noise Sensitive Development Map. A consultant report regarding sound attenuation measures to be incorporated into the development has been provided. Registration of an aircraft noise covenant is required prior to approval of the application.
  - Mixed Use Noise and Ambient Noise – The proposed development must address additional OCP Noise Management Policies, specifically Mixed Use Noise and Ambient Noise, and registration of associated noise covenants is required prior to approval of the application. A consultant report regarding sound attenuation measures to be incorporated into the development has been provided.
  - Non-Residential Noise – Non-residential uses in this development must meet the requirements of the Noise Regulation Bylaw in order to limit the impacts on nearby residential uses.

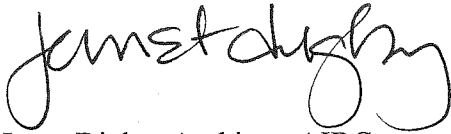
### ***Sustainability***

The proposed development addresses sustainability objectives as follows.

- District Energy Utility: The proposed development will be designed to utilize energy from the Oval Village District Energy Utility when it is implemented. Connection to the future DEU system has already been secured with a legal agreement registered on Title. Currently, the proposed development has not requested the improved energy efficient equipment floor area exclusion.
- Sustainable Design: The proposed development will be designed and constructed to achieve LEED SILVER equivalency. A LEED Silver Equivalency Checklist has been provided by the applicant. In addition, the applicant has provided a Sustainability Measures Checklist that reflects the OCP DP Guidelines expectations.
- GHG Reduction: In addition to integration with the District Energy system, the proposal contributes to GHG reduction by providing extensively landscaped ground level and podium level outdoor areas.

## Conclusions

Staff recommend endorsement of the attached development application proposal. It generally conforms to the provisions of the CDT1 zoning and addresses relevant OCP and CCAP DP Guidelines. The proposed relaxation of the parking rates is consistent with City policy intended to support the development of affordable housing. A variety of off-site improvements will enhance the City's transportation and utility infrastructure. The proposed design of the public realm, architecture and landscape architecture is attractive, functional and liveable. The well-developed alluvial theme, applied to both the building and the landscape, provides for an exciting addition to the City Centre's evolving palette of development styles.



Janet Digby, Architect AIBC  
Planner 3  
(604-247-4620)

JD:blg

Attachment	1	Development Permit Considerations
Attachment	2	Aerial
Attachment	3	Specific Land Use Maps
Attachment	4	Development Application Data
Attachment	5	Advisory Design Panel Minutes
Attachment	6	Preliminary Road Functional Drawings



# City of Richmond

## Development Permit Considerations

**Property Address: 7100 Elmbridge Way**

**No. DP 15-70007**

**Prior to forwarding this application to Council for approval, the developer is required to complete the following:**

***(Subdivision, Dedications and Statutory-Rights-of-Way)***

*With reference to interim and ultimate road and utility functional drawings as determined through the Servicing Agreement process:*

1. Discharge or revision, as applicable, of the following Statutory Right of Way, to the satisfaction of the Director of Engineering:
  - a) Statutory-Right-of-Way – Township of Richmond – G113392.

*Note: Discharges or revisions of private utility Statutory Rights of Way are the responsibility of the owner.*
2. Registration of a subdivision plan on title generally as shown in the Preliminary Survey Plan(s) (Schedule 1), prior to which the following conditions shall be satisfied:
  - a) dedication of:
    - i. approximately 2.45 m along the Gilbert Road frontage for street widening, subject to final dimensions established by the surveyor on the basis of functional plans completed to the satisfaction of the Director of Transportation;
    - ii. approximately 3.65 m along the Elmbridge Way frontage for street widening, subject to final dimensions established by the surveyor on the basis of functional plans completed to the satisfaction of the Director of Transportation;
    - iii. approximately 1.50 along the lane, for lane widening, subject to final dimensions established by the surveyor on the basis of functional plans completed to the satisfaction of the Director of Transportation; and
    - iv. a 4.0 m x 4.0 m corner cut at the intersection of Elmbridge Way and Gilbert Road,
3. Granting of a statutory right of way in favour of the City for street lighting controls, the details of which are to be managed through the Servicing Agreement process.

*Note: Additional statutory rights of way may be required in conjunction with Servicing Agreement approval.*

*Note: Refer also to the District Energy Utility conditions regarding statutory rights of way related to district energy facilities.*

*Note: Refer also to Servicing Agreement conditions regarding statutory rights of way related to private utility connections.*

***(General Covenants and Agreements)***

4. ***(Flood Construction Level)*** Registration of a flood covenant on title, to the satisfaction of the City, identifying the basic minimum flood construction level of 2.9 m GSC for Area A.



5. **(Aircraft Noise)** Registration of an aircraft noise covenant on title, to the satisfaction of the City, suitable for residential uses and a Statutory-Right-of-Way in favour of the Airport Authority.
6. **(Mixed-use Noise)** Registration of a mixed-use noise covenant on title, to the satisfaction of the City that identifies the development as being of mixed-use (residential and commercial).
7. **(Ambient Noise – Development Impacts)** Registration of an ambient noise and development impacts covenant, to the satisfaction of the City, noting that the development is located in a densifying urban area and may be subject to impacts that affect the use and enjoyment of the property including, but not limited to, ambient noise, ambient light, shading, light access, privacy, outlook, vibration, dust and odours from development or redevelopment of public and private land in the surrounding area.
8. **(Commercial Noise)** Registration of a commercial noise covenant on title, to the satisfaction of the City, indicating that commercial uses are required to mitigate unwanted noise and demonstrate that the building envelope is designed to avoid noise generated by the internal use from penetrating into residential areas that exceed noise levels allowed in the City’s Noise Bylaw and that noise generated from rooftop HUAC units will comply with the City’s Noise Bylaw.
9. **(Affordable Housing)** Notation of a Housing Agreement and registration of a Housing Covenant on title to secure 14 affordable housing units, the combined habitable floor area of which shall comprise at least 5% of the subject development’s total residential building area. The terms of the Housing Agreements shall indicate that they apply in perpetuity and provide for the following:

Unit Type	Affordable Housing Strategy Requirements			Project Targets (2)	
	Minimum Unit Area	Maximum Monthly Unit Rent (1)	Total Maximum Household Income (1)	Unit Mix	# of Units
Bachelor	37 m <sup>2</sup> (400 ft <sup>2</sup> )	\$850	\$34,000 or less	0%	0
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TOTAL		N/A	N/A	100%	14

(1) May be adjusted periodically, as provided for under adopted City policy.

(2) 100% of affordable housing units shall meet Richmond Basic Universal Housing (BUH) standards or better.

- a) private outdoor amenity area for each unit consistent with the minimum requirements of the CCAP and OCP Development Permit Guidelines;
- b) full and unlimited access to, and use of, all on-site indoor and outdoor amenity spaces, at no additional charge;
- c) thirteen (13) parking stalls for exclusive use of the occupiers of the Affordable Housing Units at no cost in perpetuity;
- d) full and unlimited access to, and use of, other building facilities including, but not limited to, casual, shared or assigned bicycle storage, visitor parking and related facilities, at no additional charge;

- e) all affordable housing units and related uses (e.g. parking) and amenities (e.g. common outdoor amenity space) to be completed to a turnkey level of finish at the sole cost of the developer and to the satisfaction of Director of Development and Manager, Community Services;
  - f) incorporation and identification of the affordable housing dwelling units and associated facilities in the Development Permit plans, subject to the advice (e.g. changes to unit circumstances and/or confirmation of unit locations) of the Housing Co-ordinator; and
  - g) incorporation and identification of the affordable housing dwelling units and associated facilities in the Building Permit plans, subject to the advice (e.g. changes to unit circumstances and/or confirmation of unit locations) of the Housing Co-ordinator.
10. **(Commercial Indoor Recreation Facilities)** Registration of a covenant or alternative legal agreement on title, to the satisfaction of the City, that prohibits the operation of any “indoor recreation” uses requiring a business license, notwithstanding provisions in the Zoning Bylaw.
  11. **(Site Access)** Registration of a covenant or alternative legal agreement on title, to the satisfaction of the City, ensuring that the only means of car and truck access are via the lane and the Elmbridge Way entry and that there is no access to the site via Gilbert Road.
  12. **(Elmbridge Access)** Registration of a covenant or alternative legal agreement on title, to the satisfaction of the City, ensuring that the Elmbridge vehicular entry is used as a right-in access and right-out egress only.
  13. **(Shared Commercial and Residential Visitor Parking)** Registration of a covenant or alternative legal agreement on title, to the satisfaction of the City, securing the owner's commitment to:
    - a) provide a pool of fifty-five (55) shared commercial/residential visitor parking stalls;
    - b) locate the shared stalls on the ground level of the parkade;
    - c) ensure the shared stalls will remain unassigned;
    - d) ensure the shared stalls will be fully accessible (e.g. entry gate open) during standard business operating hours;
    - e) ensure the visitor use of the shared stalls will be accessible (e.g. buzz entry) during non-standard business hours;
    - f) identify the shared commercial/visitor parking stalls in the Development Permit plans;
    - g) identify the shared commercial/visitor parking stalls in the Building Permit plans; and
    - h) prior to Building Permit issuance granting occupancy, provide wayfinding and stall identification signage for the shared commercial/residential visitor stalls, to the satisfaction of the Director of Transportation.
  14. **(Shared Commercial and Residential Truck Loading)** Registration of a covenant or alternative legal agreement on title, to the satisfaction of the City, securing the owner's commitment to:
    - a) provide a pool of three (3) shared commercial/residential medium size truck loading spaces;
    - b) ensure the shared spaces will remain unassigned;
    - c) identify the shared commercial/visitor medium size truck loading spaces in the Development Permit plans;
    - d) identify the shared commercial/visitor medium size truck loading spaces in the Building Permit plans; and
    - e) prior to Building Permit issuance granting occupancy, provide wayfinding and space identification signage for the shared commercial/residential large size truck loading space, to the satisfaction of the Director of Transportation.

*Note: Two adjoining medium size truck spaces adjacent to the lane are also intended to be used for provision of large size truck loading.*

15. **(Electric Vehicle Provisions)** Registration of a covenant or alternative legal agreement on title, to the satisfaction of the City, securing the owner's commitment to:
  - a) provide a minimum of 20% of residential parking stalls with a 120 volt receptacle to accommodate electric vehicle charging equipment;
  - b) provide a n additional minimum of 25% of residential parking stalls with pre-ducting to support future installation of electric vehicle charging equipment;
  - c) provide a minimum of one 120 volt receptacle is provided to accommodate electric charging equipment for every 10 Class 1 bike parking stalls;
  - d) identify the electric vehicle stalls in the Development Permit plans;
  - e) identify the electric vehicle stalls in the Building Permit plans; and
  - f) prior to Building Permit issuance granting occupancy, provide wayfinding and stall identification signage for the electric vehicle stalls, to the satisfaction of the Director of Transportation.
16. **(District Energy Utility)** Registration of a covenant or alternative legal agreement, to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU).

*Note: A District Energy Utility covenant has been registered on title (CA5708868 / CA5708869).*

**(Submissions)**

17. **(LEED Checklist)** Submission of a LEED Checklist demonstrating potential to achieve LEED Silver.
 

*Note: Submitted – from E3 Eco Group dated 27 Sep, 2016.*
18. **(Acoustic Report)** Submission of an acoustic and mechanical report and recommendations prepared by an appropriate registered professional, which demonstrates that the interior noise levels and noise mitigation standards comply with the City’s Official Community Plan and Noise Bylaw requirements regarding aircraft, land use and ambient urban noise. The standard required for air conditioning systems and their alternatives (e.g. ground source heat pumps, heat exchangers and acoustic ducting) is the ASHRAE 55-2004 “Thermal Environmental Conditions for Human Occupancy” standard and subsequent updates as they may occur. Maximum interior noise levels (decibels) within the dwelling units must achieve CMHC standards follows:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

*Note: Submitted – from Brown Strachan dated Dec 12, 2016.*

19. **(Arborist Contract)** Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections and a provision for the Arborist to submit a post-construction assessment report to the City for review.

*Note: Submitted – Arbortech Consulting – May 16, 2017.*

20. **(Public Art)** Submission of a Public Art Plan prepared by an appropriate professional and based on the Richmond Public Art Program, City Centre Public Art Plan, and any relevant supplementary City policies, to the satisfaction of the Director of Development and Director, Arts, Culture, and Heritage Services (including review(s) by the Public Art Advisory Committee).

*Note: Submitted – from Cole Projects dated July 19, 2016.*

**(Contributions/Payments/ Letters of Credit)**

21. **(Trees – City Property)** City acceptance of an offer to voluntarily contribute \$1300 (calculated as \$1300 per tree) to the City’s Tree Compensation Fund (Account # 2336-10-000-00000-0000) for the planting of replacement trees within the City.
22. **(Public Art)** City acceptance of the developer’s offer to voluntarily contribute towards Public Art, the terms of which contribution shall include:
- a) a contribution of at least \$211,859.69 (\$0.83 per residential buildable square foot, excluding affordable housing, and \$0.44 per commercial buildable square foot) towards public art, of which 5% shall be paid by cheque to the City Public Art Provision Fund ( Account # 7500-10-000-90337-0000 ) for public art administration and 95% by cheque (Account # 7600-80-000-90173-0000) or letter of credit as security for implementation of the Public Art Plan [  $\$0.83 \times 248,407.01 \text{ sq.ft. plus } \$0.44 \times 12,913.33 \text{ sq.ft.}$  ].
23. **(LOC – Trees, Ecological Network and Landscape)** Submission of a letter of credit for landscaping, including replacement trees, based on 100% of the cost estimate provided by the Landscape Architect, including installation costs, plus a 10% contingency cost.

*Note: Based on estimate of \$1,208,340 from HAPA dated May 2, 2017.*

*Note: To be submitted prior to Council approval.*

**(Miscellaneous)**

24. **(Tree Protection Fencing)** Installation of appropriate tree protection fencing around all trees to be retained (on neighbouring property) as part of the development prior to any construction activities, including building demolition, occurring on-site.

**(Servicing Agreement)**

25. **(Servicing Agreement)** Submission and processing of a Servicing Agreement\* application, completed to a level deemed acceptable by the Director of Engineering, for the design and construction of works associated with the proposed rezoning, subject to the following conditions:

**(Water Works – Engineering)**

- a) Using the OCP Model with the proposed upgrades, there is 707 L/s of water available at a 20 psi residual at the Elmbridge Way frontage and 666 L/s of water available at 20 psi residual at the Gilbert road frontage. Based on your proposed Development your site requires a minimum fire flow of 220 L/s.
- b) The Developer is required to:
  - i. Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.

- ii. Subject to building entrance location and fire department requirements, a new water main and hydrant may be required along the Gilbert Rd frontage. Should a water main be required, it shall run from Elmbridge Way to Westminster Hwy. Subject to funding approval, the City will pay for works beyond the applicant's frontage.
- c) At Developers cost, the City is to:
- i. Cut and cap the existing 50mm water service connection at the water main located at the northeast corner of the development site.
  - ii. Install a new water service connection complete with meter which will be part of the onsite mechanical design
  - iii. Relocate the existing hydrant on Elmbridge Way to the ultimate location.

***(Storm Sewer Works – Engineering)***

- d) The Developer is required to:
- i. Install approximately 75m of 200mm Lane drainage sewer within the proposed Lane (south frontage) complete with manholes and catch basins as required from the Development sites east property line to Gilbert Road.
  - ii. Cut cap and remove approximately 162 meters of existing 200 mm AC storm sewer and 375mm concrete storm sewer on gilbert Rd from STMH3390 to STMH3350.
  - iii. Install approximately 162 meters of new 600mm storm main along Gilbert Rd within roadway from STMH 3390 to STMH 3350 and reconnect existing connections with required manhole(s) as per City specifications.
  - iv. Discharge existing Statutory-Right-of-Way along the proposed sewer at Gilbert Road after the frontage is constructed and operational.
- e) At Developers cost, the City is to:
- i. Tie-in the new 200mm Lane drainage sewer to the existing storm system on Gilbert Rd complete with manhole as required. (Details of this works shall be determined during the SA process).
  - ii. Install a new storm service connection complete with IC along the Elmbridge Way frontage to the existing 900mm storm sewer.

***(Sanitary Sewer Works – Engineering)***

- f) The Developer is required to:
- i. Upgrade the existing 150mm FRP sanitary sewer along the south lane with a 250mm sanitary sewer complete with manholes as required, from the existing manhole SMH6482 located at the southeast corner of 7200 Elmbridge Way, approximately 100m west to the existing inspection chamber SIC1503 located at the south Lane frontage of the development site.
  - ii. Replace existing sanitary inspection chamber at south property line with new manhole.
- g) At Developers cost, the City is to:
- i. Tie-in the proposed 200mm sanitary sewer to the existing manhole SMH6482.
  - ii. Tie-in the existing sanitary services to the new 200mm sanitary sewer as required.

***(Frontage Improvements – Engineering)***

- h) Developer to coordinate with BC Hydro, Telus and other private communication service providers:
- i. To underground Hydro lines within the south laneway from Gilbert Rd to approximately 140m east.

- ii. When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
- iii. To locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements and the locations for the above ground structures. If a private utility company does not require an above ground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of Statutory-Rights-of-Way that shall be shown in the functional plan and registered prior to SA design approval:
  - BC Hydro PMT – 4mW X 5m (deep)
  - BC Hydro LPT – 3.5mW X 3.5m (deep)
  - Street light kiosk – 1.5mW X 1.5m (deep)
  - Traffic signal kiosk – 2mW X 1.5m (deep)
  - Traffic signal UPS – 1mW X 1m (deep)
  - Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
  - Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan
- i) Developer is required to:
  - i. Install Lane upgrades complete with drainage, curb and gutter, sidewalk and street lighting.
  - ii. Dedicate land for all boulevards, sidewalks (2.0m minimum) and lane improvements.
  - iii. Complete other frontage improvements as per Transportation's requirements

***(General Items – Engineering)***

- j) The Developer is required to:
  - i. Review street lighting levels along Gilbert Rd and Elmbridge Way frontage and upgrade lighting as required.
  - ii. Provide, within the first SA submission, a geotechnical assessment of preload and soil preparation impacts on the existing/proposed utilities fronting or within the development site, and provide mitigation recommendations. Storm mains, water mains and sanitary mains that may be impacted such as the one(s) along Gilbert Rd, Elmbridge way and the laneway south of the property are identified as being potentially impacted, the developer will be required to upgrade mains at developer's cost.
  - iii. Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

***(Frontage Improvements – Transportation)***

*(General Note: Servicing Agreement for design and construction to City Centre standards. All requirements subject to final functional design including, but not limited to, the items outlined in this section and any associated required technical changes.)*

- k) The Developer is required to:
- i. for Elmbridge Way:
    - a. use existing centre line as reference, widen existing eastbound traffic lane to provide:
      - 7.55m driving surface (for two eastbound traffic lanes)
      - 0.15m wide curb/gutter
      - 1.5m wide treed / grassed boulevard
      - 2.0m wide concrete sidewalk
  - ii. for Gilbert Road:
    - b. use existing curb along the east side as reference, widen to provide:
      - 1.8m wide on-street bike lane
      - 0.15m wide curb/gutter
      - 1.5m wide treed / grassed boulevard
      - 2.0m wide concrete sidewalk
  - iii. for East/West Lane along the south property line:
    - c. upgrade the lane to provide:
      - a 7.5 m wide pavement & roll over curb on the north side.
  - iv. upgrade the existing traffic signal at Elmbridge Way/Gilbert Road to accommodate the road widening noted above, including but not limited to: signal poles, controller, base and hardware, pole base, detection, conduits (electrical & communications), signal indications, communications cable, electrical wiring, service conductors, APS (Accessible Pedestrian Signals), video cameras, UPS (uninterrupted power supply) and illuminated street name sign(s).

***(Servicing Agreement – Letter of Credit)***

- l) Provision of a Letter of Credit to secure the completion of the works in an amount determined by the Director of Development.

***(Servicing Agreement – LTO Registration)***

- m) Registration of the Servicing Agreement on title.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

26. ***(DP Implementation)*** Incorporate information into the Building Permit plans (inclusive of architectural, landscape and other plans, sections, elevations, details, specifications, checklists and supporting consultant work), as well as any additional items referenced in “Schedule B: Assurance of Professional Design and Commitment for Field Review, including but not limited to:
  - i. statutory rights of way, easements, encroachments, no build areas, agreements and other legal restrictions;
  - ii. flood construction level(s);
  - iii. use, density, height, siting, building form, landscaping, parking and loading and other zoning provisions;
  - iv. approved form and character (e.g. massing, building components, materials, detailing and colour);
  - v. signage size and location;
  - vi. site access and vehicular crossings;
  - vii. the required shared commercial/visitor parking stalls;
  - viii. the required EV-charging and EV-ready vehicle parking stalls;
  - ix. the required shared truck loading spaces

- x. the details of the truck manoeuvring plan including but not limited to turning templates and clear height requirements;
  - xi. the details of the waste management plan including but not limited to storage and loading facilities;
  - xii. the location of areas reserved for DEU connection facilities and notations regarding DEU pre-ducting and acceptable in-unit mechanical equipment;
  - xiii. the required affordable housing units, including their size and location;
  - xiv. the required aging in place, basic universal, accessible, adaptable and/or convertible dwelling units, as the case may be, including their associated design features;
  - xv. the identified site and building accessibility measures on the plans, where relevant;
  - xvi. the identified safety measures (CPTED) checklist and identification of specific recommended measures on the plans, where relevant;
  - xvii. a LEED Checklist with measures recommended by a LEED AP BD+C to achieve LEED Silver equivalent including specific measures to be incorporated into the Building Permit plans;
  - xviii. measures to be incorporated into the Building Permit drawings to achieve the exterior and interior noise levels and other noise mitigation standards articulated in the aircraft and mixed-use noise covenants, as recommended in acoustic and mechanical report submitted with the Development Permit application ;
  - xix. the required common indoor, common outdoor and private outdoor amenity areas including their location, size, use and finishing;
  - xx. the location and specifications for landscaping including requirements for irrigation and hose bibs;
  - xxi. the location and dimensions of any tree protection fencing illustrated in the Arborist Report and/or Tree Management Plan submitted with the DP application; and
  - xxii. the location and details of required replacement trees.
27. Prior to Building Permit issuance the developer must submit a “Construction Parking and Traffic Management Plan” to the Transportation Department. The Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.  
[<http://www.richmond.ca/services/ttp/special.htm>.]
28. Prior to Building Permit issuance the developer must obtain a Building Permit for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
29. Prior to Building Permit issuance, pay a \$57,108.52 latecomer charge plus interest charges in accordance the latecomer agreement for storm works completed by SA 06-333115 Onni/Cressey Developments.

**General Notes:**

- 1. Some of the foregoing items (\*) may require a separate application.
- 2. Where the Director of Development deems it appropriate, legal agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.



All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The legal agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding Permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

3. Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
4. Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal Permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on-site, the services of a Qualified Environmental Consultant.

*For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*

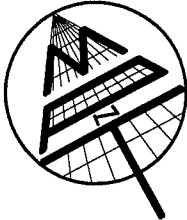
**SKETCH PLAN OF LOT 83 SECTION 5  
BLOCK 4 NORTH RANGE 6 WEST  
NWD PLAN 36650**

**R-16-17984-SKETCH**

PID: 003-833-887

**CIVIC ADDRESS**

**#7100 ELMBRIDGE WAY  
RICHMOND, B.C.**



**LEGEND**

SCALE 1:500



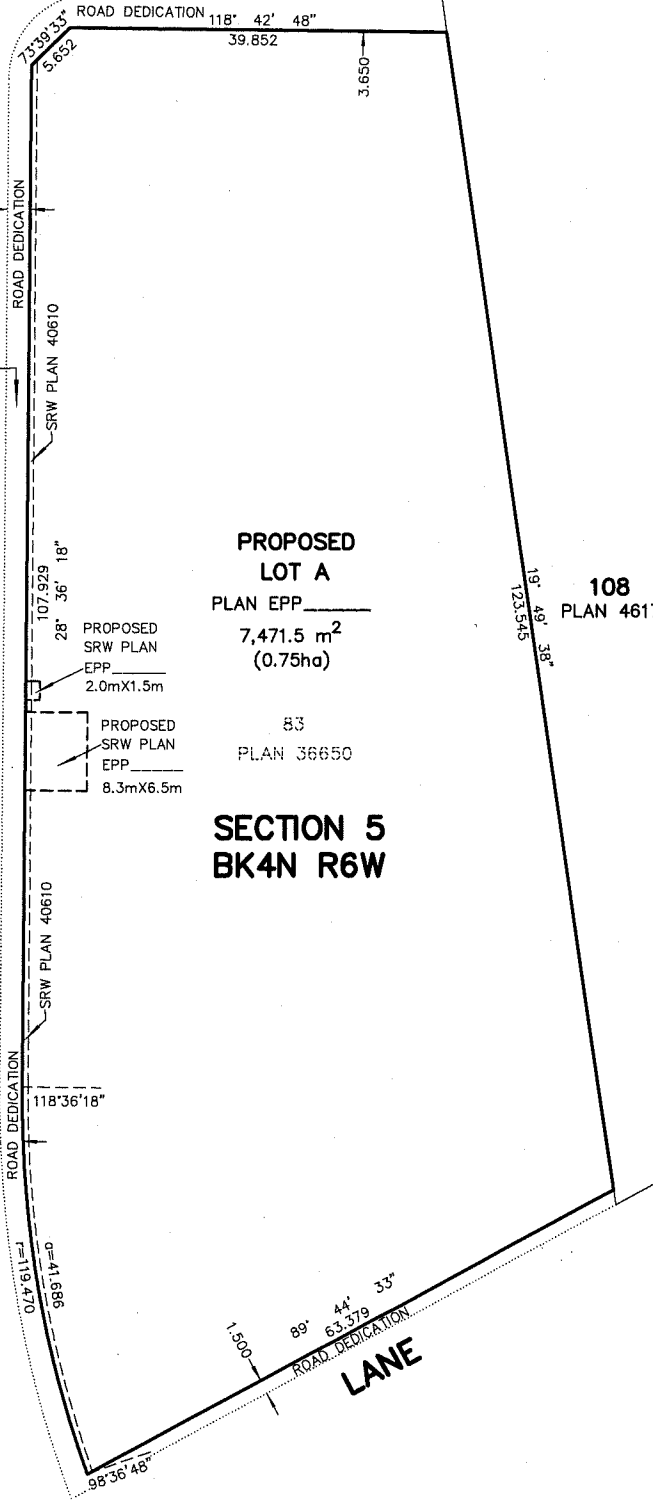
ALL DISTANCES ARE IN METRES

DIMENSIONS ARE PRELIMINARY  
AND ARE SUBJECT TO  
CONFIRMATION BY FIELD SURVEY.

TOTAL ROAD  
DEDICATION  
634.4 m<sup>2</sup>  
(0.06ha)

**GILBERT ROAD**

**ELMBRIDGE WAY**



**PROPOSED  
LOT A  
PLAN EPP \_\_\_\_\_  
7,471.5 m<sup>2</sup>  
(0.75ha)**

83  
PLAN 36650

**SECTION 5  
BK4N R6W**

**108  
PLAN 46173**

**LANE**

**MATSON PECK & TOPLISS**  
SURVEYORS & ENGINEERS  
#320 - 11120 HORSESHOE WAY  
RICHMOND, B.C., V7A 5H7  
PH: 604-270-9331  
FAX: 604-270-4137  
CADFILE: 17984-002-SKETCH-000.DWG

**R-16-17984-SKETCH**

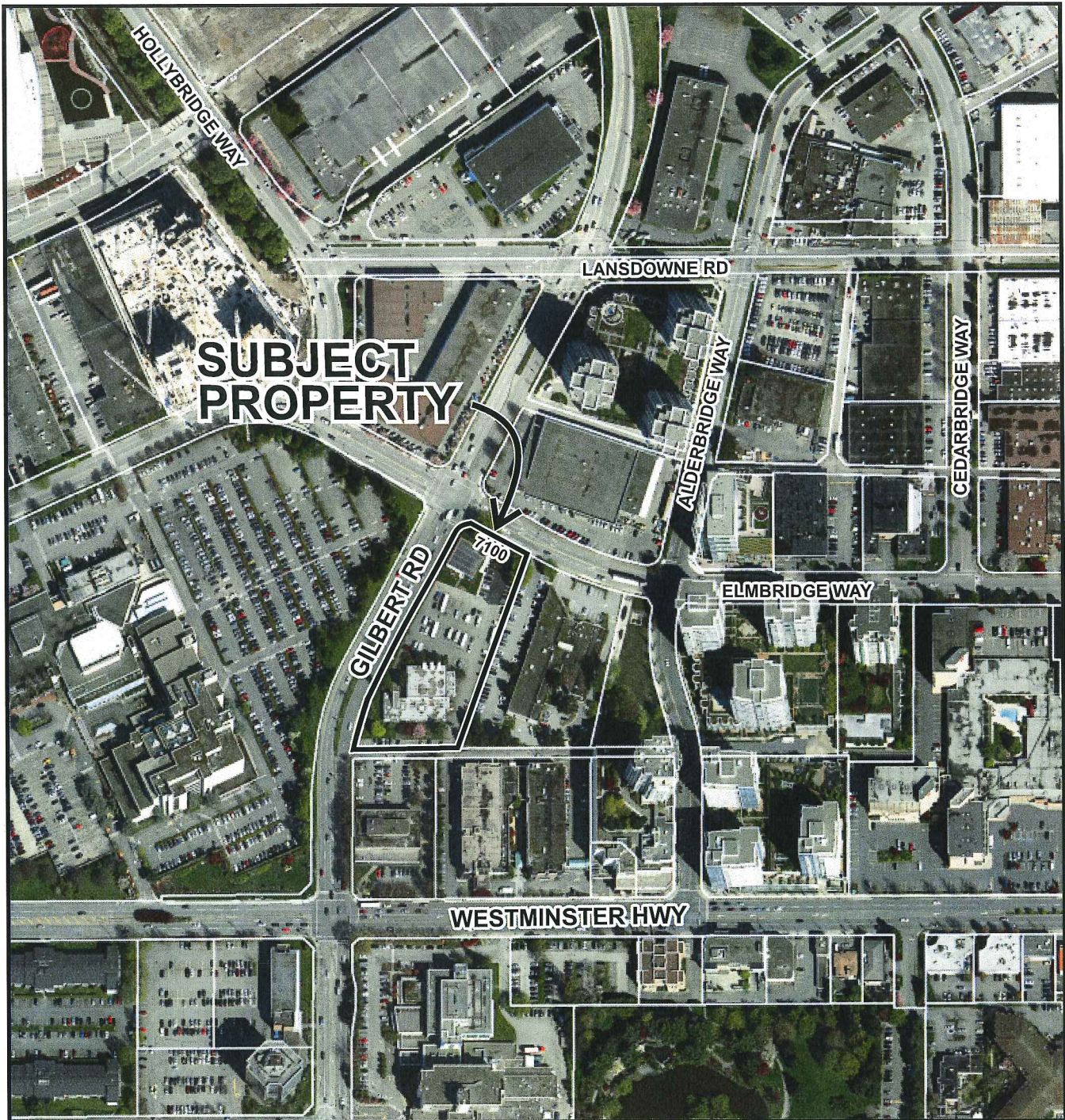
CLIENT REF: XPEC ELMBRIDGE HOLDINGS LTD

**DATE: NOVEMBER 08, 2016**





# City of Richmond



DP 15-700007

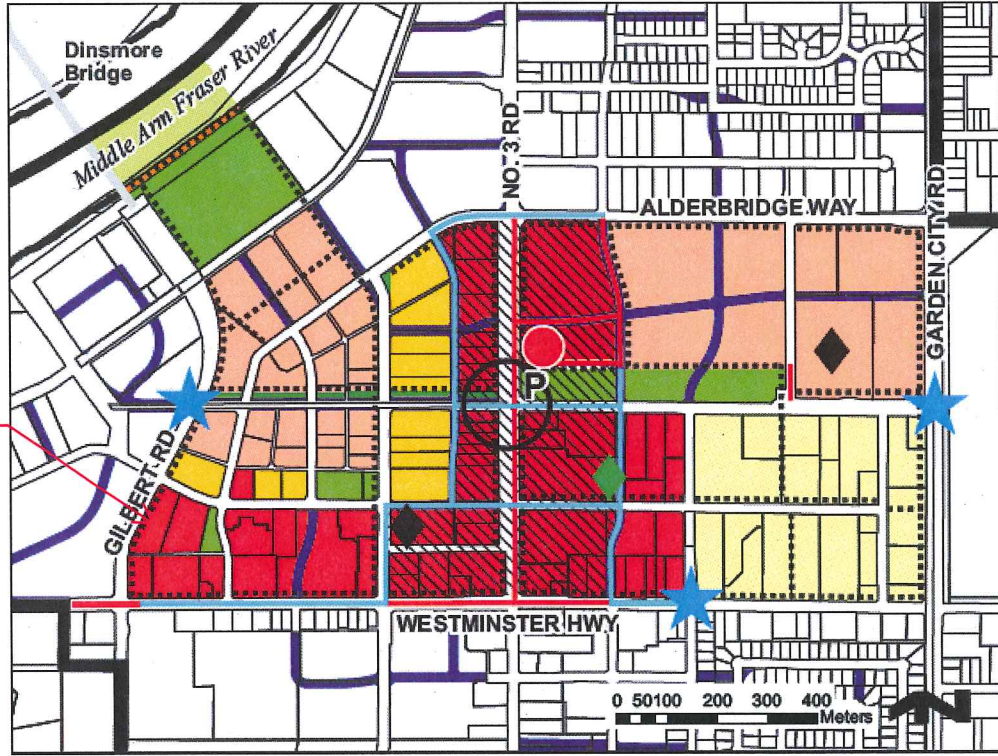
Original Date: 07/08/15

Revision Date:

Note: Dimensions are in METRES

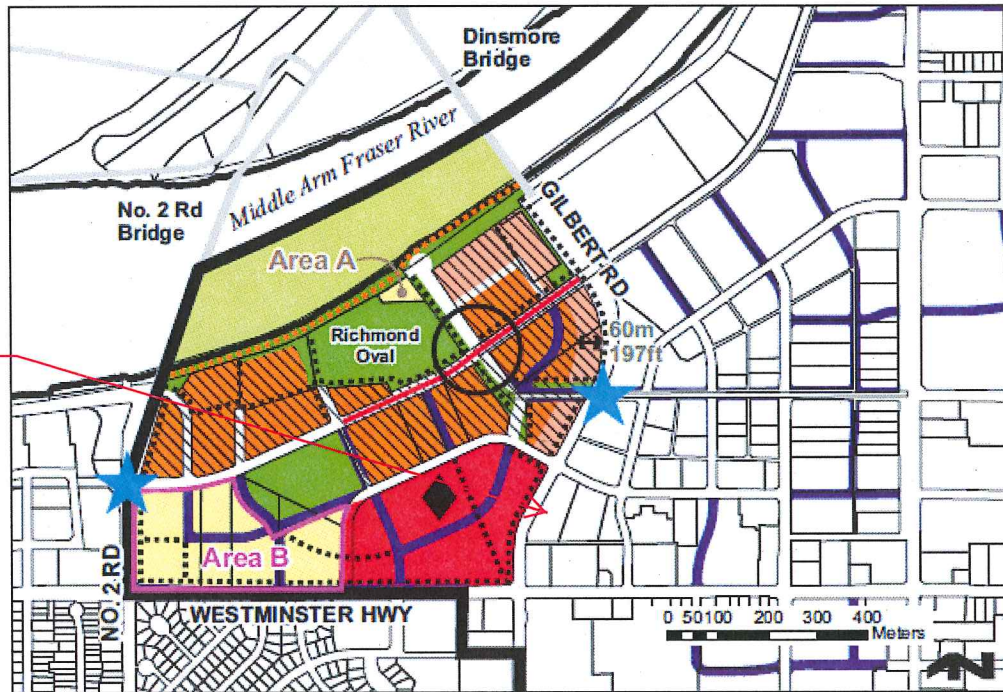


Specific Land Use Map: Lansdowne Village (2031) Bylaws 8427 & 8510  
2010/09/13



SUBJECT SITE

Specific Land Use Map: Oval Village (2031) Bylaws 8685, 8701  
2011/10/24



SUBJECT SITE



<b>DP 15-700007</b>	
<b>Address:</b>	7100 Elmbridge Way
<b>Owner/Applicant:</b>	LANDA Elmbridge Holdings Ltd./ LANDA Elmbridge Holdings Ltd
<b>Planning Area(s):</b>	City Centre Area Plan – Lansdowne Village – Urban Core T6 (45m) – Sub-Area B.3
<b>Other Area(s):</b>	Aircraft Noise Sensitive Use Area 3 / Flood Construction Level 2.9m GSC - Area A

<b>DP 15-700007</b>	<b>Existing</b>	<b>Proposed</b>
OCP Designation:	Downtown Mixed Use	Downtown Mixed Use
Land Uses:	Commercial	Commercial & Residential
Zoning:	CDT1	CDT1
Site Area (before and after dedications):	8,106 m <sup>2</sup>	7,471.6 m <sup>2</sup>
Site Area (for floor area calculation):	N/A	8,106 m <sup>2</sup>
Number of Residential Units Total:	0	271
Number of Affordable Units:	0	14

<b>DP 15-700007 – Zoning Review</b>	<b>CDT1</b>	<b>Proposed</b>	<b>Variance</b>
Base FAR:	3.00	3.00	
Indoor Common Amenity Space Increase:	0.10	0.078	
Community Amenity Density Increase:	0.20	0.0	
Affordable Housing Density Increase:	0.15	0.15	
Childcare or Community Amenity Increase:	0.03	0.0	
Total FAR:	3.48	3.228	
Floor Area per FAR:	28,209 m <sup>2</sup>	26,166 m <sup>2</sup>	
Basic Universal Housing Exemption:	1.86 m <sup>2</sup> / unit	59.86m <sup>2</sup>	
Enhanced Energy Efficient Equipment Exemption:	1.00 m <sup>2</sup> / unit	n/a	
Lot Coverage:	90%	70%	
Setback – Front Yard (min):	6.0/3.0 m	3.0 m plus	
Setback – Exterior Side Yard (min):	6.0/3.0 m	3.0 m plus	
Setback – Interior Side Yard (min):	0.0 m	0.0 m	
Setback – Rear Yard (min):	0.00 m	3.0 m plus	
Setback – Publically Accessible Open Space	1.50 m	> 1.5 m	
Height Dimensional (geodetic):	47.0 m	46.9 m	
Height Accessory:	12.0 m	n/a	
Subdivision/Lot Size:	none	none	
Off-street Parking – Commercial (incl. Accessible, EV, CS):	55	55* shared	
Off-street Parking – Commercial TDM Reduction	max 10%	n/a	
Off-street Parking – Residential (incl. Accessible, EV, CS) (min):	322	322	
Off-street Parking – Residential TDM Reduction	maxi 10%	0%	
Off-Street Parking – Visitor Parking (shared) (min):	55	55* shared	
Off-street Parking – Total (incl. Accessible, EV, CS) (min):	377	377	1.
Off-Street Parking – Disabled (Commercial/ Visitor) (min):	2	2	
Off-Street Parking – Disabled (Resident'l) (min):	7	7	

Tandem Parking Spaces (max):	n/a	n/a	
EV installed	64	65	
EV prepped	80	81	
Class 1 Bicycle Parking – Commercial (min):	3	5	
Class 2 Bicycle Parking – Commercial (min):	5	8	
Class 1 Bicycle Parking – Residential (min):	339	350	
Class 2 Bicycle Parking – Residential (min):	54	59	
Loading – Medium (min):	3	3	
Loading – Large (min):	1	0	shared

1. City Centre parking rates apply per proposed variance and Council policy regarding provision of affordable housing in CDT1 zones.

## Advisory Design Panel

Wednesday, March 9, 2016

### 4. DP 15-700007 – 3.0 FAR MIXED RESIDENTIAL AND COMMERCIAL USES PLUS ADDITIONAL FLOOR AREA FOR BUILDING AMENITY SPACE AND AFFORDABLE HOUSING

ARCHITECT: Arno Matis Architecture Inc.

PROPERTY LOCATION: 7100 Elmbridge Way

#### Applicant's Presentation

Architect Arno Matis, Arno Matis Architecture Inc. and Landscape Architect Doug Shearer, Hapa Collaborative, presented the project and answered queries from the Panel.

#### Panel Discussion

*Comments from the Panel were as follows:*

- appreciate the innovative and different style of building architecture; tower floorplates are massive but habitable; introducing vertical grooves is a nice approach; podium design is well articulated; nice to have a change from strict horizontal podium and vertical tower forms;

**RESPONSE:** *Noted;*

- applicant's proposal for one loading bay (second option) along the lane at the south side of the proposed development would be preferable;

**RESPONSE:** *Noted;*

- provide aging-in-place features in all of the residential units; consider increasing the number of affordable units; applicant needs to include accessibility features in the floor plans;

**RESPONSE:** *AH units, and aging-in-place provisions have been developed to meet the City of Richmond Requirements. Refer to Project Statistics;*

- agree with comments in support of the proposal for one loading bay along the lane as it provides more pedestrian accessibility;

**RESPONSE:** *Noted;*

- consider accentuating the pedestrian entries/exits to the building to assist in wayfinding;

**RESPONSE:** *Residential entrances have been developed with additional signage to assist in wayfinding;*

# Advisory Design Panel

## Wednesday, March 9, 2016

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- appreciate the different approach to the podium tower;  
**RESPONSE:** *Noted;*
- agree with comments supporting the provision of one loading bay along the lane;  
**RESPONSE:** *Noted;*
- articulation of building form is suitable for the site;  
**RESPONSE:** *Noted;*
- agree with comments regarding more articulation to the pedestrian entries/exits;  
**RESPONSE:** *The residential lobby entrances have been developed to enhance the presence of the entrances. Refer to Architectural Drawings;*
- commend the applicant for the comprehensive package submitted to the Panel;  
**RESPONSE:** *Noted;*
- appreciate the explanation of the design rationale and the different approach to the podium tower;  
**RESPONSE:** *Noted;*
- building geometry is successful; impact of the long building facades has been minimized;  
**RESPONSE:** *Noted;*
- proportion of glass in the building appears to be more than 50 percent; consider lowering the proportion of glass to mitigate thermal loss;  
**RESPONSE:** *Building envelope performance is proposed to meet LEED silver equivalent standards. Refer to enclosed LEED Checklist;*
- concerned on thermal loss due to horizontal floor slabs projecting out; investigate strategies to mitigate thermal/energy loss;  
**RESPONSE:** *Building envelope performance is proposed to meet LEED silver equivalent standards.*
- simplify the cladding materials in the building, i.e. spandrel could be less pixelated;  
**RESPONSE:** *The building expression and materiality has been developed to reduce the pixelation of the spandrels. Refer to Architectural Drawings;*



## Advisory Design Panel

### Wednesday, March 9, 2016

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- agree with comments to emphasize the pedestrian entries/exits, e.g. through extending the canopies above;  
*RESPONSE: Canopies have been developed and extended at the residential entrance lobby areas to address this comment. Refer to Architecture Drawings*
- also commend the applicant for the package provided to the Panel;  
*RESPONSE: Noted;*
- consider design development to the balcony ends; needs further refinement and sophistication;  
*RESPONSE: Balcony ends have been further developed. Refer to Architecture Drawings;*
- design of the lane should reflect the needs of future residents of the proposed development; provision of a layby for an 18-wheeler truck would not be necessary;  
*RESPONSE: Noted;*
- consider design development to the landscaping of private patios at the podium level to ensure privacy of residents;  
*RESPONSE: Noted. Refer to Landscape Drawings;*
- consider design development to the fireplace at the podium level; needs further refinement and coziness;  
*RESPONSE: Noted. Refer to Landscape Drawings;*
- ensure adequate sunlight for the bamboo planting at the podium level;  
*RESPONSE: Noted. Refer to Landscape Drawings;*
- appreciate the varied planting along the west side of the proposed development;  
*RESPONSE: Noted;*
- review the proposed landscaping for the plaza at the corner of Elmbridge Way and Gilbert Road; consider more hard than soft landscaping to create a more urban feel;  
*RESPONSE: Noted. Refer to Landscape Drawings;*
- ensure the survivability of planting at the rooftop level, e.g. look at the soil volume;  
*RESPONSE: Noted. Refer to Landscape Drawings;*
- incorporate public art in the proposed development;  
*RESPONSE: Noted. (Ref. Appendix O – Public Art Plan )*

# Advisory Design Panel

## Wednesday, March 9, 2016

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- departure from the usual podium tower is refreshing; renderings showing views to the project through the existing towers should have been provided to the Panel;

**RESPONSE:** *Noted;*

- support the recommendation to eliminate one 18-wheeler truck layby along the laneway;

**RESPONSE:** *Noted;*

- support the recommendation to give more attention to the pedestrian entries to make them stand out more;

**RESPONSE:** *Entries have been developed to enhance their visibility.*

*Refer to Architecture Drawings*

- consider design development to the big concrete wall facing the parking entrance to tie in with the proposed development;

**RESPONSE:** *The exposed concrete wall has been developed with an architectural reveal pattern to break up the surfaces and express the cold joints. Refer to Architecture Drawings;*

- consider introducing architectural elements around the base of the CRUs to visually connect the CRUs to the upper levels (e.g. lighting pattern); and

**RESPONSE:** *The architectural vocabulary has been visually connected to the retail podium through the introduction of horizontal spandrel elements. Refer to Architecture Drawings;*

- consider design development to the protruding curved balcony at the southwest corner of the proposed development which appears out of place.

**RESPONSE:** *Noted;*

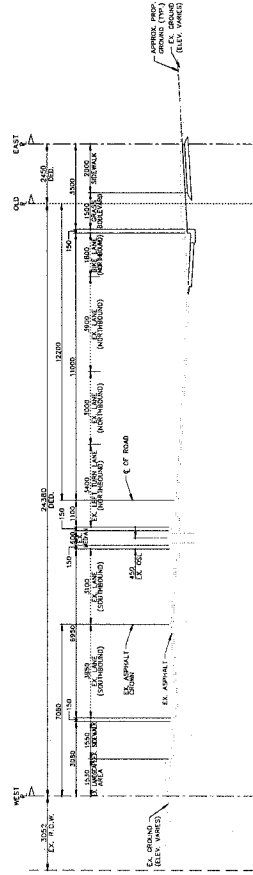
### Panel Decision

It was moved and seconded

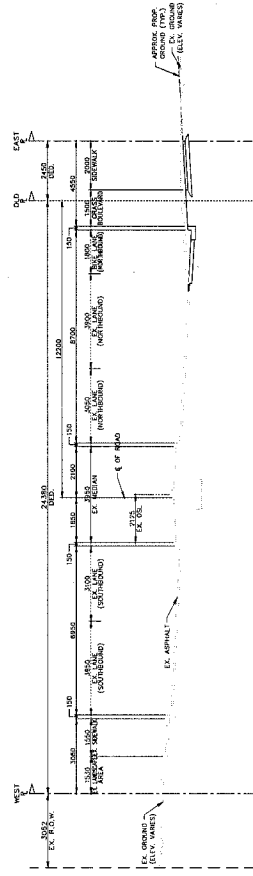
***That DP 15-700007 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.***

**CARRIED**

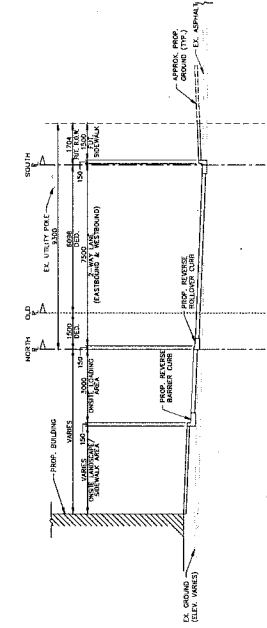




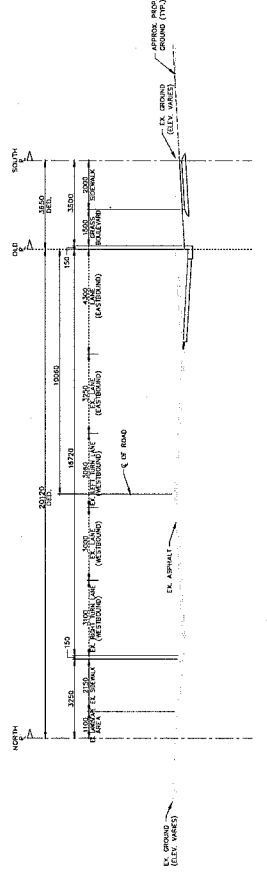
TYP. X-SECTION: GILBERT ROAD  
SCALE: HORIZ. 1:100, VERT. 1:10 (ULTIMATE)



TYP. X-SECTION: GILBERT ROAD  
SCALE: HORIZ. 1:100, VERT. 1:10 (ULTIMATE)



TYP. X-SECTION: ELMERIDGE WAY  
SCALE: HORIZ. 1:100, VERT. 1:10 (ULTIMATE)



TYP. X-SECTION: ELMERIDGE WAY  
SCALE: HORIZ. 1:100, VERT. 1:10 (ULTIMATE)

DESIGN ALL SERVICES

NOTES:

MPT ENGINEERING CO. LTD.  
100-1120 KINGS ROAD, WILLOWDALE, ONT. M2H 1P7 TEL: (416) 291-9331 FAX: (416) 291-4137

XPEC ELMERIDGE HOLDINGS LTD.

MPT DWG. No.: RT2584-FP  
SHT. No.: 2 OF 4

TITLE:

ULTIMATE  
FUNCTIONAL PLAN  
X-SECTIONS

7100 ELMERIDGE WAY  
CITY FILE: DP 15-70007

DWG. No.:

1. 21 DEC/16  
2. 15 DEC/16  
3. 08 DEC/16  
4. 05 NOV/16

A0 ISSUE 'B' - REVISED (FINALIZED) AS PER CITY COMMENTS  
A1 ISSUE 'C' - ISSUED FOR DEVELOPMENT PERMIT  
A2 ISSUE 'D' - ISSUED FOR DEVELOPMENT PERMIT  
A3 ISSUE 'E' - ISSUED FOR DEVELOPMENT PERMIT

REVISIONS



No. DP 15-700007

To the Holder: LANDA ELMBRIDGE HOLDINGS LTD.  
Property Address: 7100 ELMBRIDGE WAY  
Address: C/O 200 - 1550 BURRARD STREET, VANCOUVER, BC V6C 3L6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) reduce the parking rate from the standard City-wide parking rate to the City Centre Zone 2 parking rate; and
  - b) allow the unenclosed balconies on building levels 3-16 to project into the required front yard by up to 3.0 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1A and 1B to #35 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,208,340 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
OF

ISSUED BY THE COUNCIL THE DAY

DELIVERED THIS DAY OF

\_\_\_\_\_  
MAYOR





# MIXED USE DEVELOPMENT, 7100 ELMBRIDGE WAY, RICHMOND, BC.

## PROJECT STATISTICS:

### ZONING INFORMATION + REQUIREMENTS

Project Data  
7100 Elmbriidge Way, Richmond  
4747017

Zoning Information + Requirements	8106/m2	Target
Site Area	87252.21/2	2971
Site Zoning	CDT-1	

Floor Area Ratio	Allowable	Target
CDT-1 zoning (all approved uses)	3	2.995
Additional FAR for amenity space	0.1	0.078
Additional FAR for community amenity space	0.2	0.150
If 5% of total building area is used for affordable housing (min. 4 units)	0.15	0.150
If also uses 1% of total building area for child care or approved amenity	3.48	3.63
Total (sqm)	361.38	361.38
Total (sqft)	3882.31	3882.31

Lot Coverage	Allowable	0.9
Total (sqm)	7295.4	7295.4
Total (sqft)	78527.0	78527.0

Setbacks	Front (metres) *	6
Side, exterior (metres) *	6	
Side, interior (metres)	0	
Rear, with lane (metres)	0	
Rear, without lane (metres)	3	

\* May be reduced to 3.0 m if a City approved interface is provided at the sidewalk and no driveways or loading areas are located along the public road.

Height	Building (metres, GSC)	47
Accessory structures (metres)	12	

Flood Construction Level	Area A (metres, GSC)	2.9
--------------------------	----------------------	-----

Parking Required	per unit	unit	spaces
Residential (Zoning Bylaw 7.5.3.1, Zone 2)	1.1	271	300
Commercial	0.5	14	7
Residential, Affordable Housing	1.4	32	45
Total Residential	2.71	327	352
Visitor, Residential (Zoning Bylaw 7.5.3.1, Zone 2)	0.2	271	55
Childcare	Employee parking (per employee)	0	0
Childcare visitors (per ten children)	0.75	0	0
Commercial (Zoning Bylaw 7.5.4.1, Zone 2)	1 per 100 sqm	0	0
General Retail, 4.2 per 100 m2 GFA on first floor	1196.0	0	0
Restaurant, 8 per 100 m2 GFA up to 350 m2, plus 10 per additional 100 m2	0	0	0

TOTAL REQUIRED	377
Available parking	377
Zoning Bylaw 7.5.14	331
Commercial	46

Electrical Vehicle Parking	per res parking	unit	spaces
REQUIRE	0.2	322	64
FUTURE	0.25	322	80

Loading Facilities	Residential	unit	spaces
Medium (1 space plus 1 per 160 unit over 240) *	271	2	
Large (1 space for every two building over 5-storey) *	2	2	

Commercial	Medium (if >= 1861 m2 GFA, 1 sp plus 1 per 5000 m2 over 1860 m2)	1196.0	1
Large (if >= 1861 m2 GFA, 1 sp for each 5000 m2 over 1860 m2)	1196.0	1	

\* On-site medium-size and large-size loading spaces could be shared.

Bicycle Parking Facilities	per unit	unit	spaces
Residential	1.25	271	338
Class 1	0.2	271	54
Class 2	0.2	271	54
Commercial	per 100 sqm	1196.0	3
Class 1	0.27	1196.0	5
Class 2	0.4	1196.0	5

Shared Amenity Space	unit	spaces
Indoor (2 sqm per unit)	271	548 m2
Outdoor (min 10% site area)	8106m2	810.6 m2
Outdoor (6 sqm per unit)	271	1626 m2

Proposed FAR	2.847
Residential	0.078
Commercial	0.148
Affordable Housing	0.150
TOTAL	3.23

Proposed Lot Coverage	0.70
Total (sqm)	5710.7
Total (sqft)	61470.0

Proposed Setbacks	6 Elmbriidge Way
Front (metres) *	6 Gilbert Road, exterior
Side, exterior (metres) *	0 Interior
Side, interior (metres)	0 Interior
Rear, south (metres)	3 Lane

Proposed Height	Building (metres, GSC)	46.89
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Proposed Top of Levels	CRU (metres, GSC)	1.92
RES (metres, GSC)	8.45	
PARKING (metres, GSC)	0.1	

Proposed Parking	spaces
Residential	300
Commercial	7
Affordable Housing	32
Total Residential	339
Visitor and Commercial	55
Total	394

Proposed Disabled Parking	spaces
Residential	7
Commercial	2

Summary	Total
Res Regular (5.5x2.3m)	171
Res Small (4.0x2.3m)	131
Commy Visitor regular (5.5x2.65m)	95
Total	397

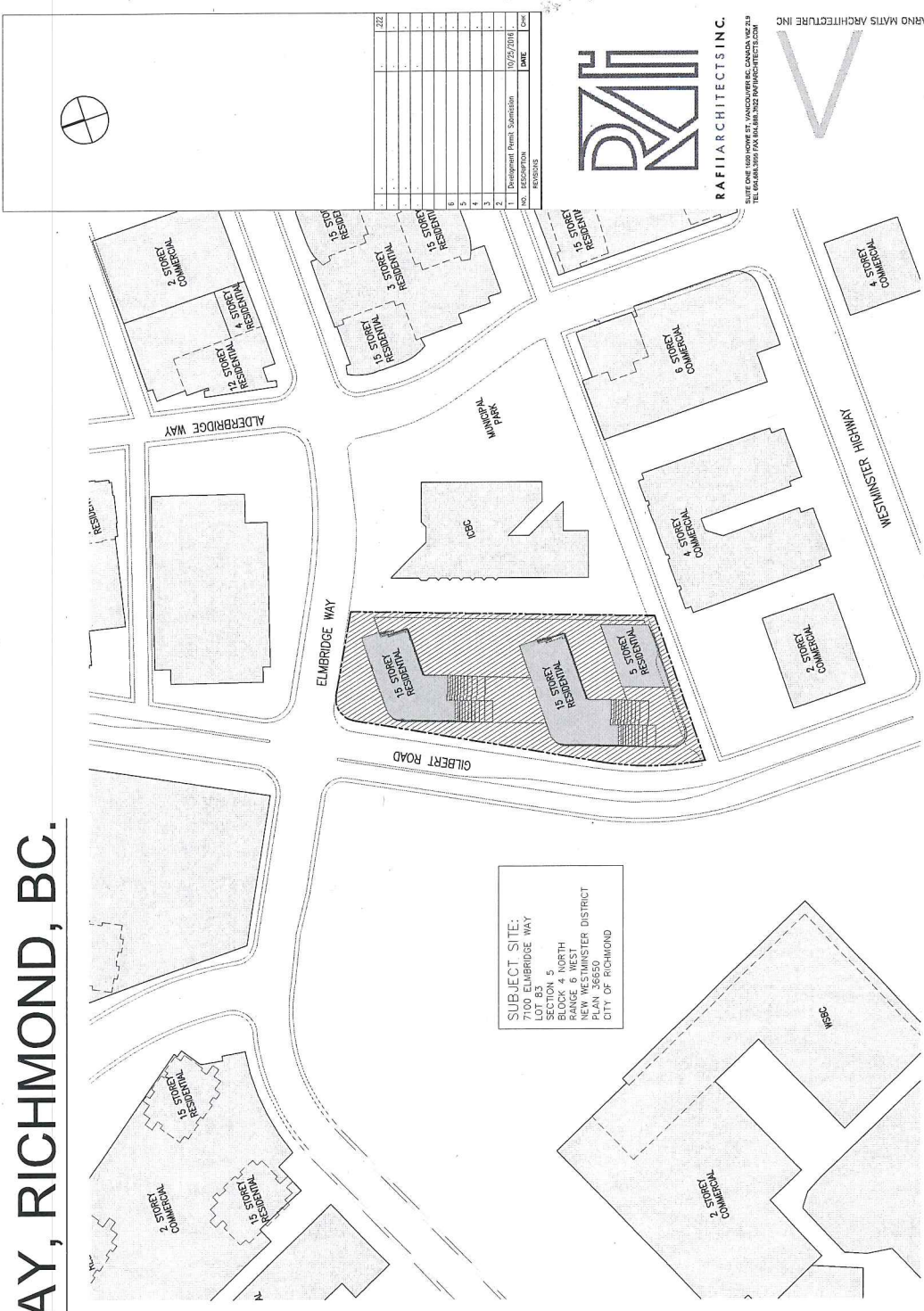
Total Regular Space	236
Total Small Space	131
Total All spaces	377

Proposed EV current	65
Proposed EV current	81

Proposed Loading Facilities	Residential	unit	spaces
Medium (1 space for every two building over 5-storey) *	271	2	
Large (1 space for every two building over 5-storey) *	2	2	

Proposed Bicycle Parking	TOTAL
Residential	350
Class 1	49
Class 2 (Indoor)	10
Class 2 (Outdoor)	10
Commercial	3
Class 1	3
Class 2 (Outdoor)	8

Outdoor Amenity Space Provided	Ground	952 m2
Medium	2351 m2	
Large	207 m2	



SUBJECT SITE:  
7100 ELMBRIDGE WAY  
SECTION 5  
BLOCK 4 WEST  
NEW WESTMINSTER DISTRICT  
PLAN 36550  
CITY OF RICHMOND

1 CONTEXT PLAN  
SCALE 1:1250

UNIT	AREA	CRU	AMENITY	STOR	RESIDENTIAL
L1	41943	12884	3417	1445	3172
L2	59971	0	0	0	0
L3	26250	145	0	0	0
L4	35249	340	1780	3221	3678
L5	27106	120	0	0	26100
L6	21247	60	0	0	20337
L7	20874	3	0	0	19964
L8	19740	60	0	0	18850
L9	19740	60	0	0	18850
L10	18666	30	0	0	17736
L11	18666	30	0	0	17736
L12	17817	1	20	0	16947
L13	17817	1	20	0	16947
L14	17495	850	0	0	16645
L15	17495	850	0	0	16645
FAR TOTALS	452146	41	13284	3873	28639
		0.148	0.078	0.044	2.153

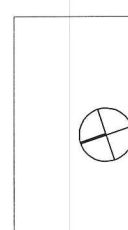
PERM/REQUIRED:	3.00	PROVIDED:	2.997
RESIDENTIAL + STORAGE FAR:	261.737	RESIDENTIAL + STORAGE FAR:	261.537
TOTAL FAR AREA:	31.688	TOTAL FAR AREA:	31.688
AMENITY AREA MIN. REQ. PER UNIT:	271	AMENITY AREA MIN. REQ. PER UNIT:	271
21.5 sq ft (2.0m) per unit	5826.5	21.5 sq ft (2.0m) per unit	5826.5

RESIDENTIAL + STORAGE FAR:	261.737
TOTAL FAR AREA:	31.688
AMENITY AREA MIN. REQ. PER UNIT:	271
21.5 sq ft (2.0m) per unit	5826.5

UNIT MIX	1 BR	2 BR	3 BR	4 BR	5 BR	6 BR	7 BR	8 BR	9 BR	10 BR	TOTAL
APPROXIMATE PER UNIT	1	1	1	1	1	1	1	1	1	1	11
APPROXIMATE PER UNIT	1	1	1	1	1	1	1	1	1	1	11
APPROXIMATE PER UNIT	1	1	1	1	1	1	1	1	1	1	11

PERM/REQUIRED:	3.00	PROVIDED:	2.997
RESIDENTIAL + STORAGE FAR:	261.737	RESIDENTIAL + STORAGE FAR:	261.537
TOTAL FAR AREA:	31.688	TOTAL FAR AREA:	31.688
AMENITY AREA MIN. REQ. PER UNIT:	271	AMENITY AREA MIN. REQ. PER UNIT:	271
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PERM/REQUIRED:	3.00	PROVIDED:	2.997
RESIDENTIAL + STORAGE FAR:	261.737	RESIDENTIAL + STORAGE FAR:	261.537
TOTAL FAR AREA:	31.688	TOTAL FAR AREA:	31.688
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DATE ONE 1600-1000 ST. VANCOUVER, CANADA V6Z 2P9  
TEL: 604.273.7444 FAX: 604.273.7445

RAFI ARCHITECTS INC.



ARNO MATS ARCHITECTURE INC.

7100 Elmbriidge Way  
Richmond, BC  
Canada

PROJECT STATISTICS  
CONTEXT PLAN

TITLE: PROJECT NUMBER: 1  
ISSUE NO.: 1  
DRAWING DATE: 2017/09/23  
DRAWING NUMBER: A.001


DATE: JUN 14 2017  
PLAN # 1A

DP 15-700007









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1	Development Permit Submission	10/25/2014	CHK
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**RAFI ARCHITECTS INC.**  
 RAFI ARCHITECTS INC.  
 SUITE ONE 1800 HWY 101, VANCOUVER, BC, CANADA V6Z 7N9  
 TEL: 604.275.1001 FAX: 604.275.1002 WWW.RAFIARCHITECTS.COM

**MM**  
 ARMO MATIS ARCHITECTURE INC.

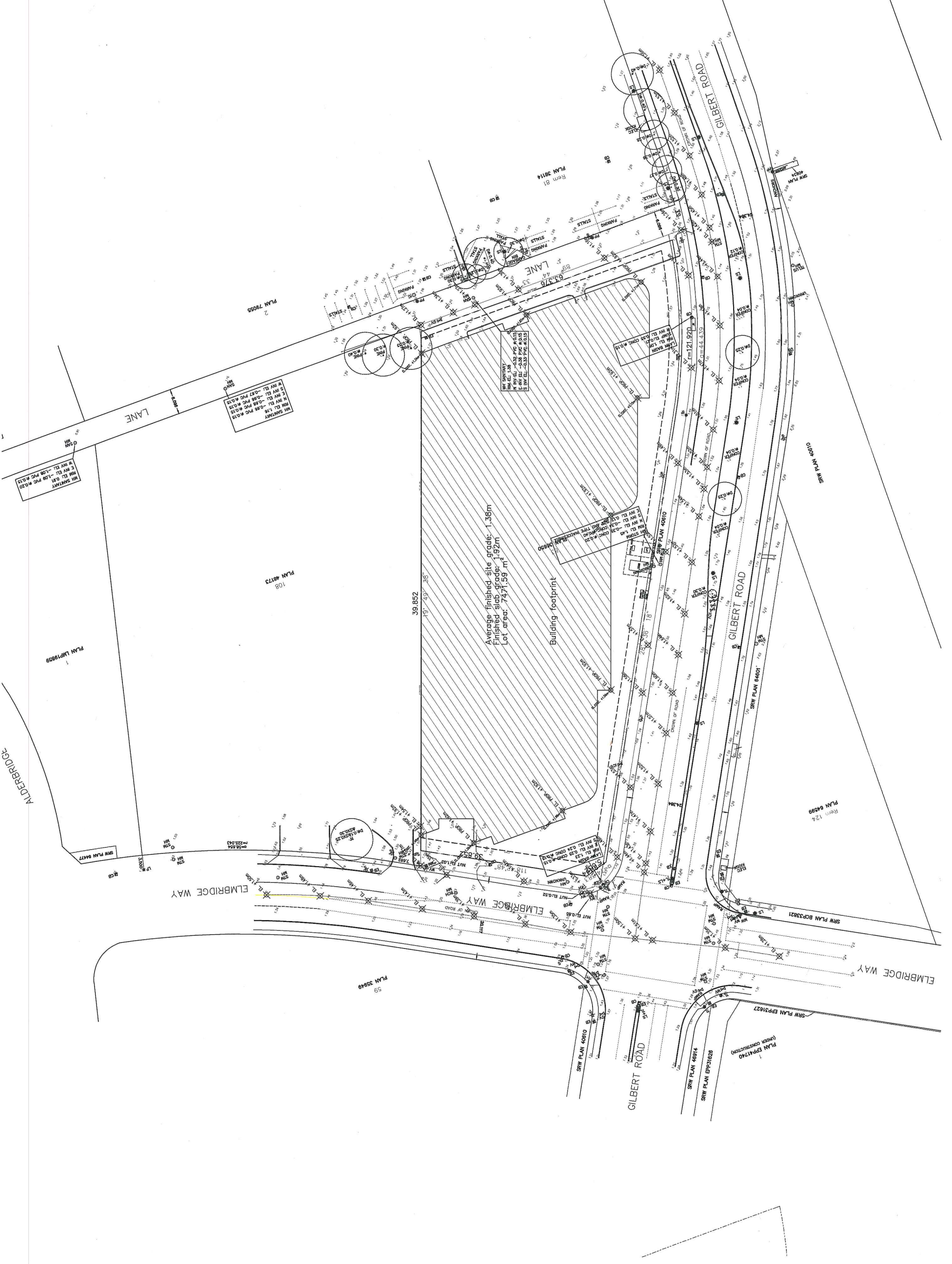
240 GILBERT STREET, VANCOUVER, BC, CANADA V6Z 1P2  
 VANCOUVER, BC, CANADA V6Z 1P2  
 TEL: 604.275.1001 FAX: 604.275.1002 WWW.RAFIARCHITECTS.COM

DESIGN BY	CHK	INT	SCALE
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			2017/05/23

7100 Elmbridge Way  
 Richmond, BC  
 Canada

PROJECT  
**SITE PLAN**

TITLE	ISSUE NO.
PROJECT NUMBER	1
CADD FILE	
DRAWING NUMBER	A.004





**NOTES**

- THE EXISTING FOR COMMERCIAL USE SHOULD BE CLOSED AFTER THE COMMERCIAL HOURS. COMMERCIAL USE DOES NOT HAVE ACCESS TO RESIDENTIAL LOBBY AND AMENITY WITHOUT FOR LET.

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**RAFI ARCHITECTS INC.**  
 SUITE ONE, 1400 HURON ST. WINDICATED BC, CANADA V6L 2L8  
 TEL: (604) 273-1111 FAX: (604) 273-1112  
 WWW.RAFIARCHITECTS.COM



**MM**  
 260-500 HURON ST. WINDICATED BC, CANADA V6L 2L8  
 TEL: (604) 273-1111 FAX: (604) 273-1112  
 WWW.MMARCHITECTS.COM

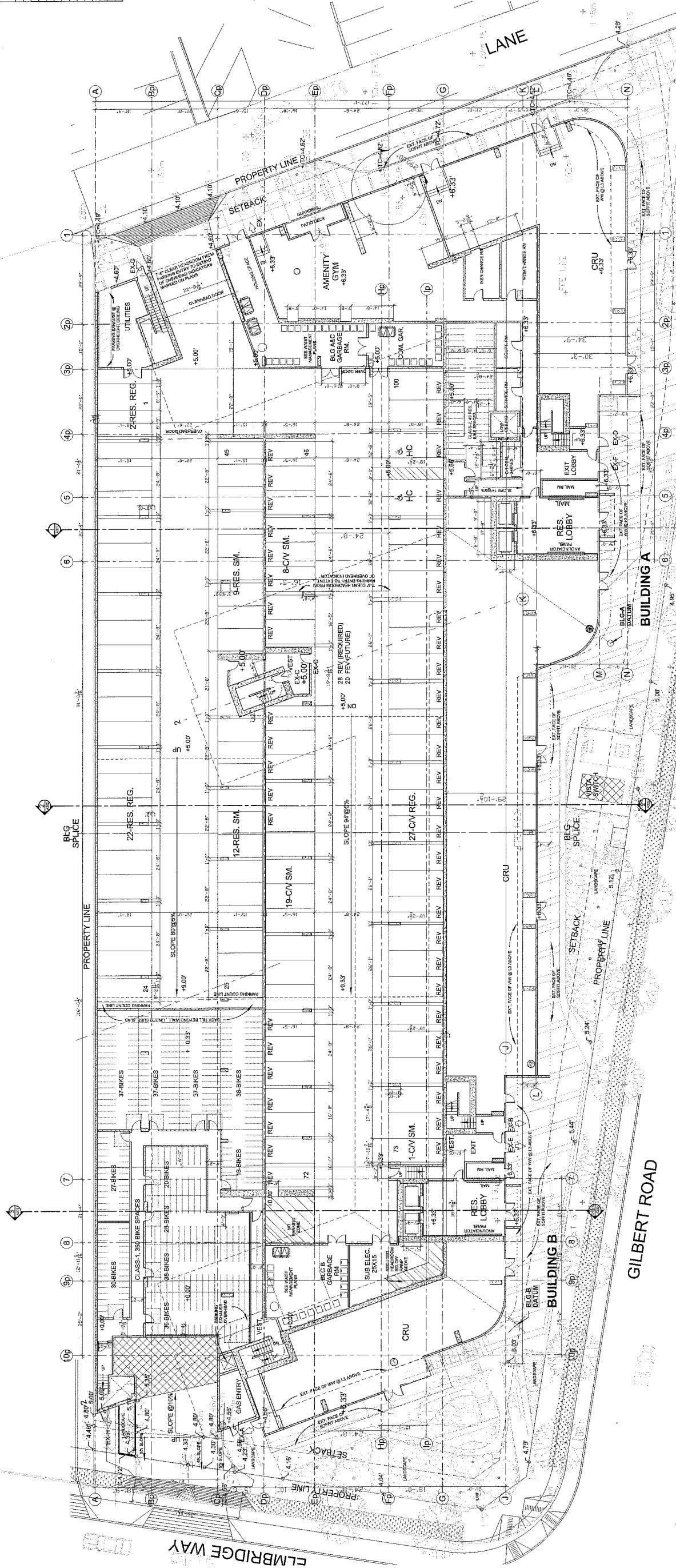
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**7100 Elmbridge Way**  
 Richmond, BC  
 Canada

**LEVEL L01**  
**PLAN (Imperial)**

FILE	PROJECT NUMBER	ISSUE NO.
		1
DRAWING NUMBER	ISSUE NO.	DATE

**A.201-A**



**PARKING STALL TOTALS**  
 COMMERCIAL/VISITORS = 27+28=55  
 RESIDENTIAL REG. = 24+84+51+12=171  
 RESIDENTIAL SMALL = 21+41+77+12=151  
 TOTAL PROVIDED = 377  
 DISABLE PARKING = 7  
 RESIDENTIAL = 7  
 COMMERCIAL = 2

**COMMERCIAL VISITORS** = 55 (271 UNITS @ 0.2)  
 COMMERCIAL = 114 UNITS @ 0.5  
 RESIDENTIAL = 193 UNITS @ 1.2  
 TOTAL REQUIRED = 377 STALLS

**PARKING COUNT**  
 COM. REG. = 27  
 COM. SMALL = 28  
 RES. REG. = 24  
 RES. SMALL = 21  
 TOTAL = 100

**PROVIDED PARKING STALL DIMENSIONS ARE EQUAL OR GREATER THAN THE REQD MINIMUM INDICATED BELOW.**

**REQUIRED MINIMUM PARKING STALL SIZES**  
 COM. & VISITORS: STANDARD = 5.5m X 2.65m  
 = 5.0m X 2.4m  
 RES. & AH, STANDARD = 5.5m X 2.5m  
 = 4.5m X 2.3m

**PARKING STALLS WITHIN DIMENSIONS PROVIDED ARE EQUALLY SPACED OR HAVE INDIVIDUAL DIMENSIONS (THIS IS TO ILLUMINATE LONG FRACTIONAL DIMENSIONS RESULTING FROM IMPERIAL/METRIC CONVERSION).**





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**RAFI ARCHITECTS INC.**  
 5011-101 STREET, VANCOUVER, BC, CANADA V6L 2E9  
 TEL: 604.271.1111 FAX: 604.271.1112

ARNO MATS ARCHITECTURE INC.



261-150 WEST 74th AVE, VANCOUVER, BC, CANADA V6L 1A9  
 1-800-778-1188 (100-84-1181) www.matsarch.com

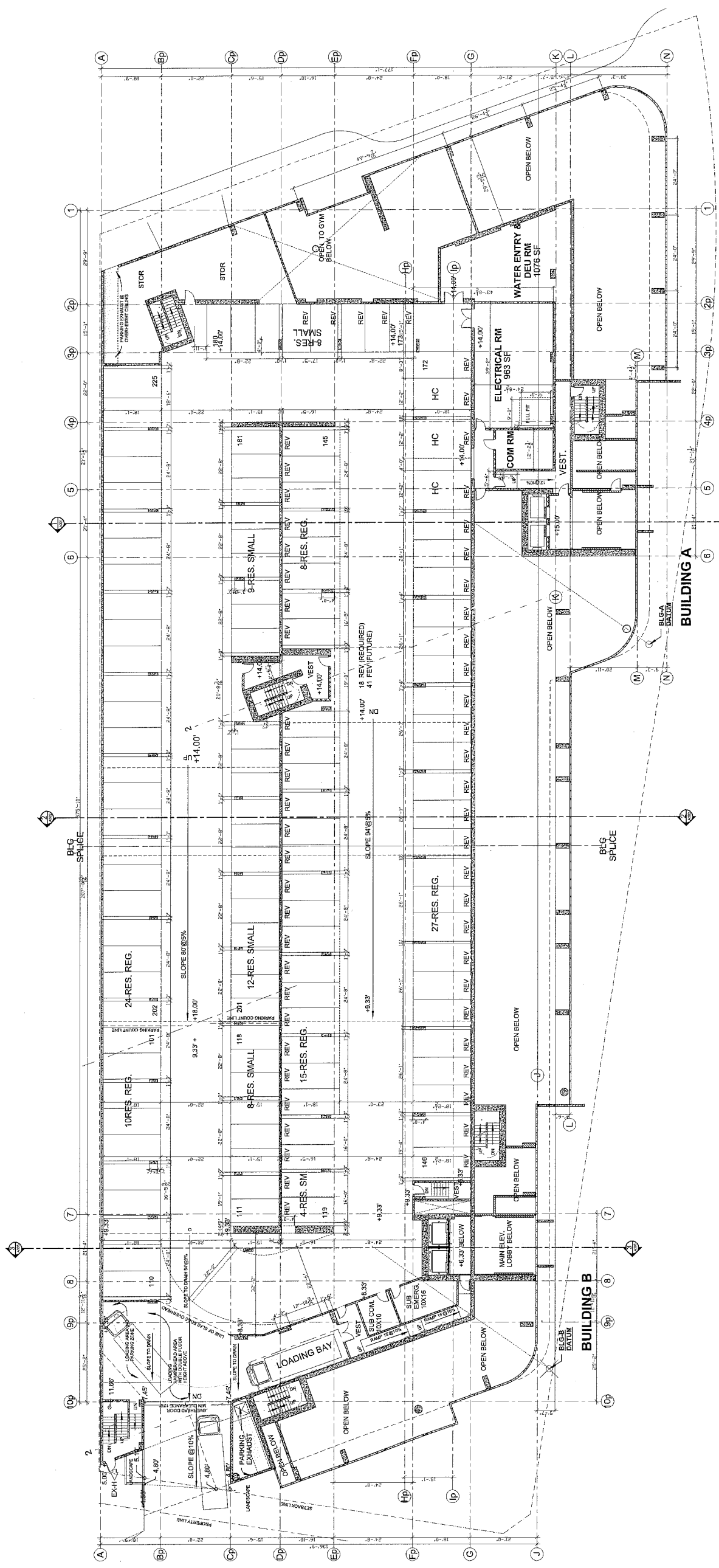
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			DRAWING DATE
			2017/05/23

**7100 Elmbridge Way**  
 Richmond, BC  
 Canada

**PROJECT**  
 LEVEL L02  
 PLAN (Imperial)

TITLE	ISSUE NO.
PROJECT NUMBER	1
DWG FILE	
DRAWING NUMBER	A.202-A

DP 15-700007 JUN 14 2017 PLAN # 4

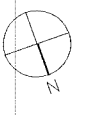


PROVIDED PARKING STALL DIMENSIONS ARE EQUAL OR GREATER THAN THE REQ'D MINIMUM INDICATED BELOW.  
 RES. REG. = 84  
 RES. SMALL = 41  
 TOTAL = 125

REQUIRED MINIMUM PARKING STALL SIZES  
 COM. & VISITORS, STANDARD = 5.0m X 2.65m  
 COM. & VISITORS, SMALL = 5.0m X 2.4m  
 RES. & AP, STANDARD = 5.5m X 2.5m  
 RES. & AP, SMALL = 4.6m X 2.5m

PARKING STALLS WITHIN DIMENSIONS PROVIDED ARE EQUALLY SPACED OR HAVE INDIVIDUAL DIMENSIONS (THIS IS TO ILLUMINATE LONG FRACTIONAL DIMENSIONS RESULTING FROM IMPERIAL/METRIC CONVERSION).

ELECTRIC VEHICLE PLUG-IN:  
 REQUIRED EV @ 20%:  
 FUTURE EV @ 25%:  
 LABEL  
 REV  
 REV



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	05/29/2017	MM
2	REVISIONS		
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**RAFI ARCHITECTS INC.**  
 SUITE ONE 1000 W. ST. W. VANCOUVER, CANADA V6E 2E9  
 TEL: 604.278.7400 FAX: 604.278.7401 WWW.RAFIARCHITECTS.COM



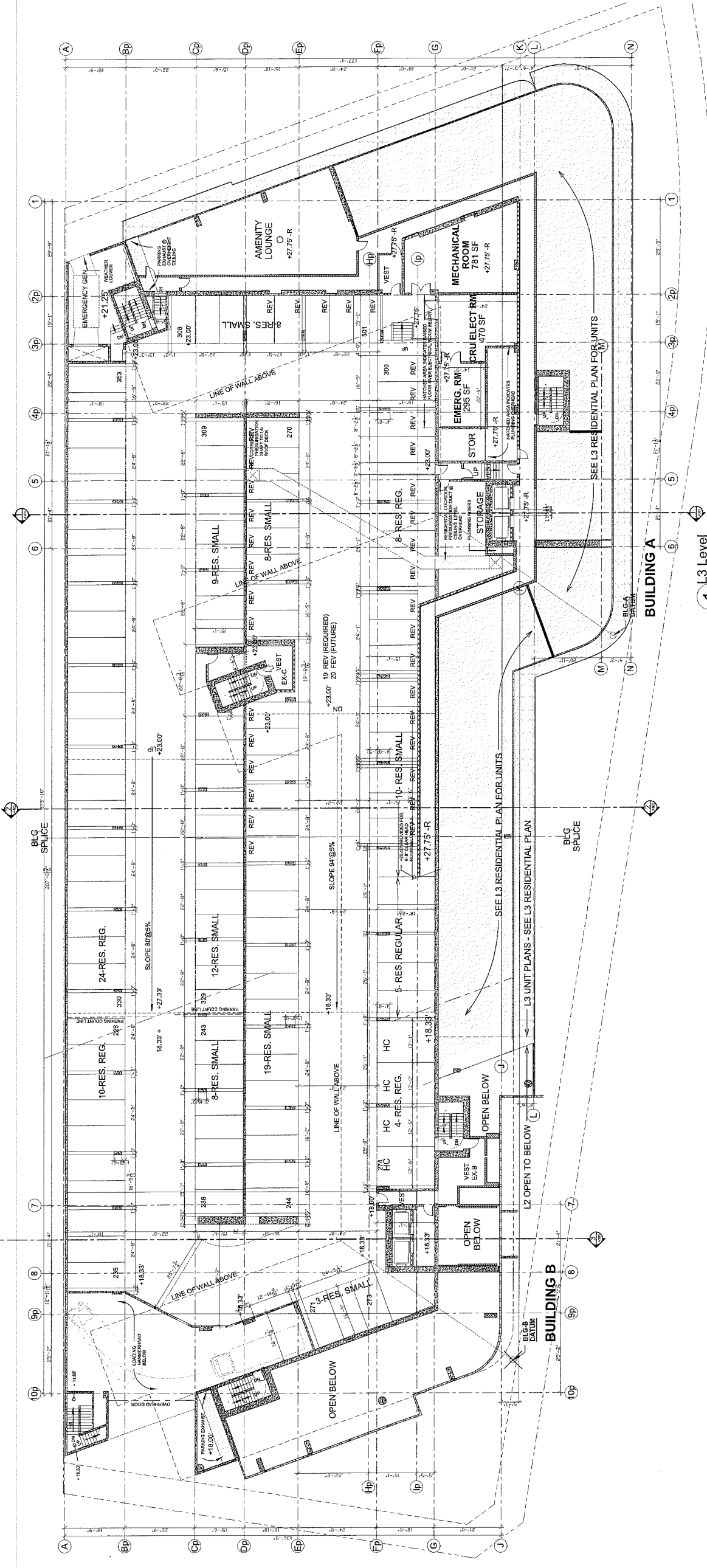
THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF MM ARCHITECTURE (VANALUX) CONSULTANTS INC.

DESIGN BY	CHK	INT	SCALE
			1/16"=1'-0"
			DRAWING DATE
			2017/05/23

**7100 Embridge Way**  
 Richmond, BC  
 Canada

PROJECT  
**LEVEL L03 PARKING PLAN (Imperial)**

TITLE	ISSUE NO.
DWG. NUMBER	1
COORD. FILE	
DRAWING NUMBER	A.203-1A



**PARKING COUNT**  
 RES. REG. = 51  
 RES. SMALL = 77  
 TOTAL = 128

**PARKING STALL TOTALS**  
 COMMERCIAL VISITORS = 27+28=55  
 RESIDENTIAL REG. = 24+84+51+12=171  
 RESIDENTIAL SMALL = 21+41+77+12=151  
 TOTAL PROVIDED = 377  
 DISABLED PARKING = 7  
 RESIDENTIAL = 7  
 COMMERCIAL = 2

COMMERCIAL VISITORS = 55 (271 UNITS @ 0.2)  
 ADULTS (11 AM - 6 PM) = 27 UNITS @ 1.2  
 RESIDENTIAL = 308 (27 UNITS @ 1.2)  
 TOTAL REQUIRED = 377 STALLS

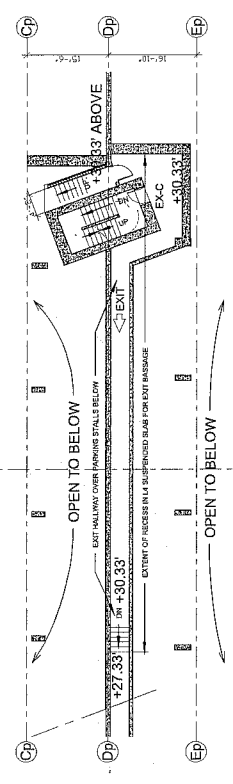
PROVIDED PARKING STALL DIMENSIONS ARE EQUAL OR GREATER THAN THE REQ'D MINIMUM INDICATED BELOW.

**REQUIRED MINIMUM PARKING STALL SIZES**

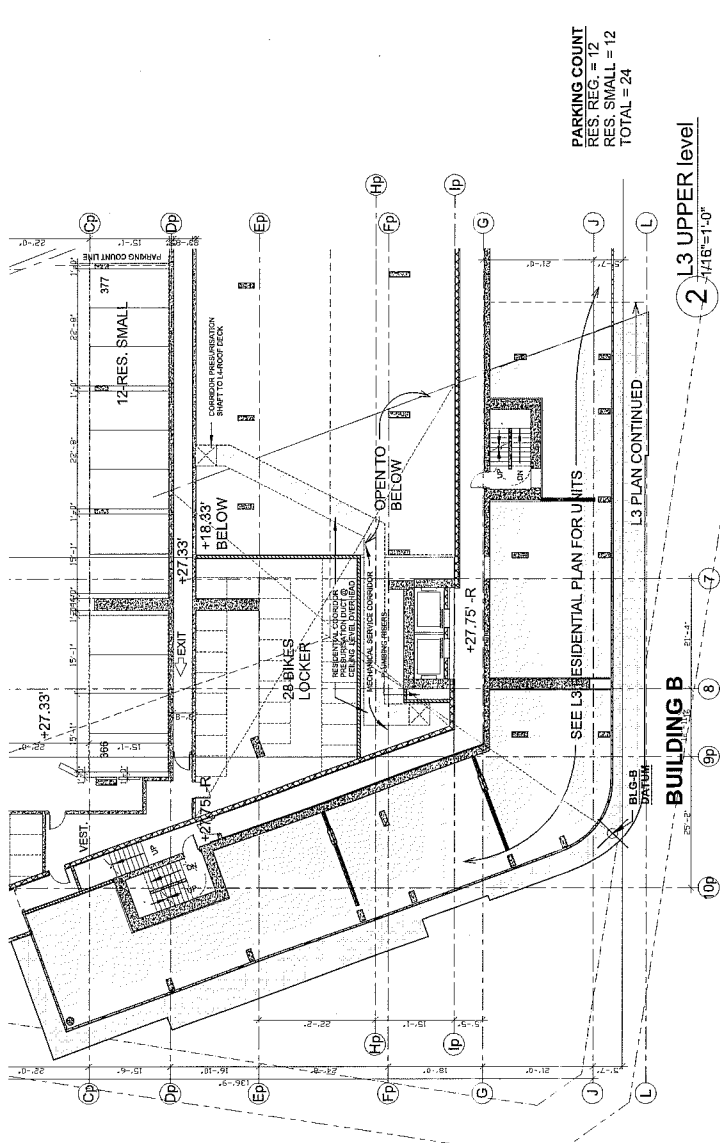
COM. & VISITORS, STANDARD = 5.5m X 2.65m  
 COM. & VISITORS, SMALL = 5.0m X 2.4m  
 RES. & AH, STANDARD = 5.5m X 2.5m  
 RES. & AH, SMALL = 4.6m X 2.3m

PARKING STALLS WITHIN DIMENSIONS PROVIDED ARE EQUALLY SPACED OR HAVE INDIVIDUAL DIMENSIONS; (THIS IS TO ILLUMINATE LONG FRACTIONAL DIMENSIONS RESULTING FROM IMPERIAL/METRIC CONVERSION).

ELECTRIC VEHICLE PLUG-IN: LABEL  
 REQUIRED EV @ 20%: REV  
 FUTURE EV @ 25%: FEV



1 L3 Level  
 1/16"=1'-0"



2 L3 UPPER level  
 1/16"=1'-0"

**PARKING COUNT**  
 RES. REG. = 12  
 RES. SMALL = 12  
 TOTAL = 24

DESIGN BY	CHK	INT	SCALE	1/16"=1'-0"
			DRAWING DATE	2017/05/25
7100 Einbridge Way Richmond, BC Canada				
PROJECT LEVEL L03 UNIT PLAN				
TITLE	PROJECT NUMBER	ISSUE NO.		
	A203	1		
DRAWING NUMBER			A.203-2	

251 GOWAN STREET, VANCOUVER, CANADA V6J 1Z5  
TEL: 604.273.8888 FAX: 604.273.8882 WWW.AMMARCHITECTS.COM

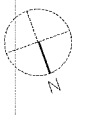


ARND MATIS ARCHITECTURE INC.



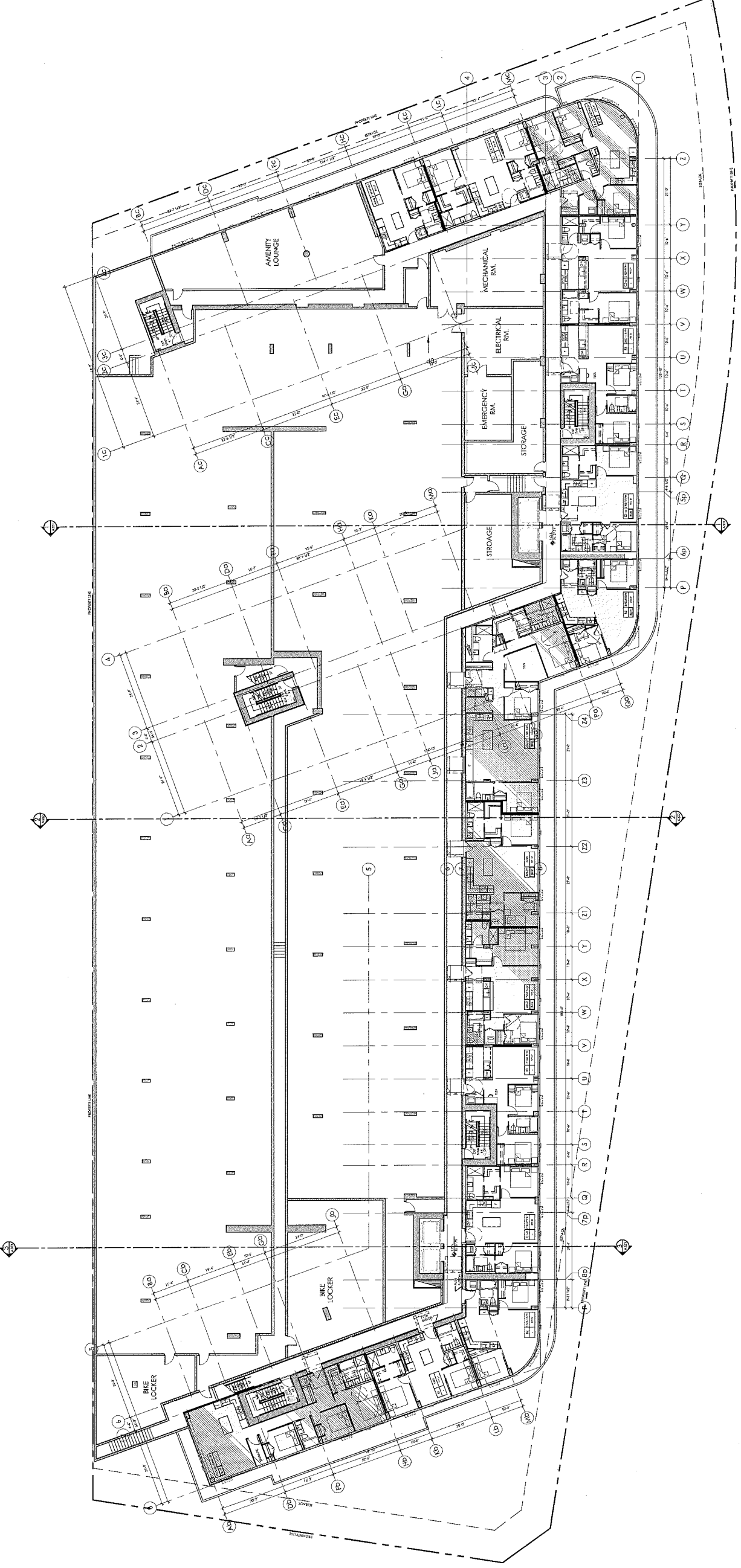
RAI ARCHITECTS INC.  
SUITE ONE 1800 HWY 91, VANCOUVER, BC, CANADA V6L 2L8  
TEL: 604.273.8888 FAX: 604.273.8882 WWW.RAIARCHITECTS.COM

NO.	DESCRIPTION	DATE	BY
1	Preparation of Final Submission	05/25/17	AM
2	Issue for Review		
3	Issue for Review		
4	Issue for Review		
5	Issue for Review		
6	Issue for Review		
7	Issue for Review		
8	Issue for Review		
9	Issue for Review		
10	Issue for Review		



- NOTES**
- ALL UNITS HAVE TO HAVE RICHMOND AGING-IN-PLACE (RAIP) FEATURES. THESE FEATURES INCLUDE: LEVEL FREE WALKWAYS, RAMPWAYS, AND DOORS AND SOLID ELEVATIONS IN WASHROOM WALLS FOR FUTURE GRAB BARS. SEE: TOILET, BATH, AND SHOWER.
  - 10% OF THE MARKET UNITS SHOULD INCORPORATE BASIC UNIVERSAL HOUSING (BUH) FEATURES. SEE: RICHMOND HOUSING BYLAW SECTION 4.
  - ALL AFFORDABLE RENTAL UNITS SHOULD INCLUDE THE BUH FEATURES.

- LEGEND**
- AFFORDABLE HOUSING (AH)
  - BASIC UNIVERSAL HOUSING (BUH)





DRAWN BY	CHK	INT	SCALE	1/16"=1'-0"
			DRAWING DATE	2017/05/25
7100 Elmbridge Way Richmond, BC Canada				
PROJECT				
LEVEL L05 UNIT PLAN				
TITLE	PROJECT NUMBER	ISSUE NO.		
		1		
	GRID FILE			
	DRAWING NUMBER		A.205	

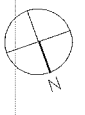
DESIGNED BY: RAFI ARCHITECTS INC. 1000 AVENUE 100, VANCOUVER, BC, CANADA V6Z 2R9  
 DRAWING DATE: 2017/05/25



RAFII ARCHITECTS INC.  
 1000 AVENUE 100, VANCOUVER, BC, CANADA V6Z 2R9  
 TEL: (604) 681-1111 FAX: (604) 681-1112 WWW.RAFIARCHITECTS.COM



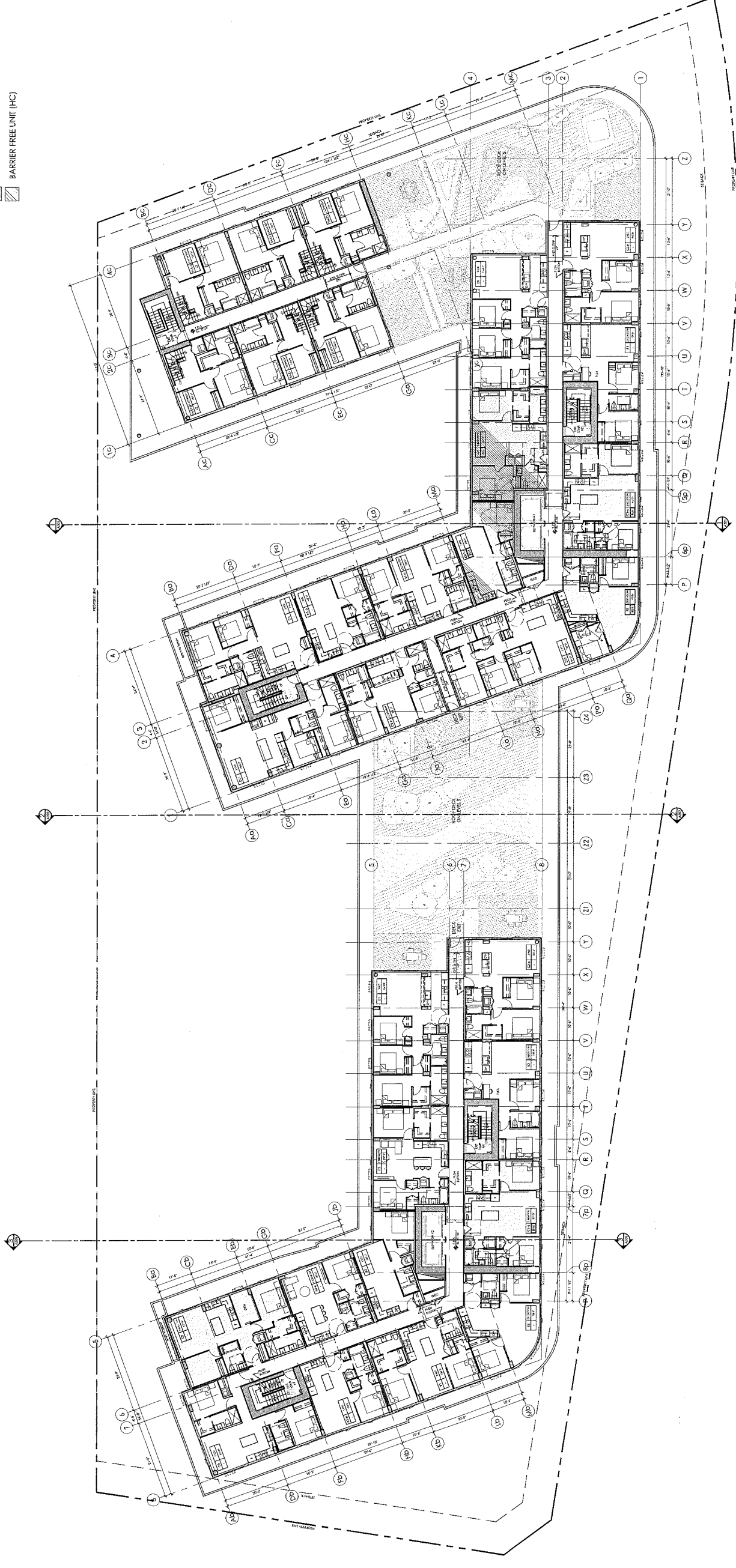
NO.	DESCRIPTION	DATE	BY
1	REVISION		
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**NOTES**

- ALL UNITS HAVE TO HAVE RICHMOND AGING-IN-PLACE (RAIP) FEATURES. THIS INCLUDES: RAMPED ENTRYWAYS, LEVEL TRANSITIONS, LEVEL WALKWAYS, AND SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BEHIND TOILET, BATHIB, AND SHOWER.
- 10% OF THE MARKET UNITS SHOULD INCORPORATE BASIC RAIP FEATURES. THIS INCLUDES: RAMPED ENTRYWAYS, RAMPED TRANSITIONS, AND RAMPED TRANSITIONS TO RICHMOND ZONING BY-LAW 8500, SECTION 4.
- ALL AFFORDABLE RENTAL UNITS SHOULD INCLUDE THE BAH FEATURES.

- LEGEND**
- AFFORDABLE HOUSING (AH)
  - BASIC UNIVERSAL HOUSING (BUH)
  - BARRIER FREE UNIT (HC)





DESIGN BY	CHK	INT	SCALE
			1/16"=1'-0"
			DRAWING DATE
			2017/05/29
7100 Elmbridge Way Richmond, BC Canada			
PROJECT LEVEL L06 UNIT PLAN			
FILE	PROJECT NUMBER	ISSUE NO.	
	201403	1	
CHKD FILE	DRAWING NUMBER		A.206

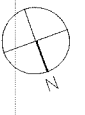
RAFI ARCHITECTS INC. 1400 148 STREET S. RICHMOND, BC CANADA V6V 2B8 TEL: (604) 273-1188 FAX: (604) 273-1187 rafia@rafiaarchitects.com



ARNO MATIS ARCHITECTURE INC. 1400 148 STREET S. RICHMOND, BC CANADA V6V 2B8 TEL: (604) 273-1188 FAX: (604) 273-1187 arno@arnomatishome.com



NO.	DESCRIPTION	DATE	CHK
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7	Approved Plan's Schedule	12/22/2014	CHK
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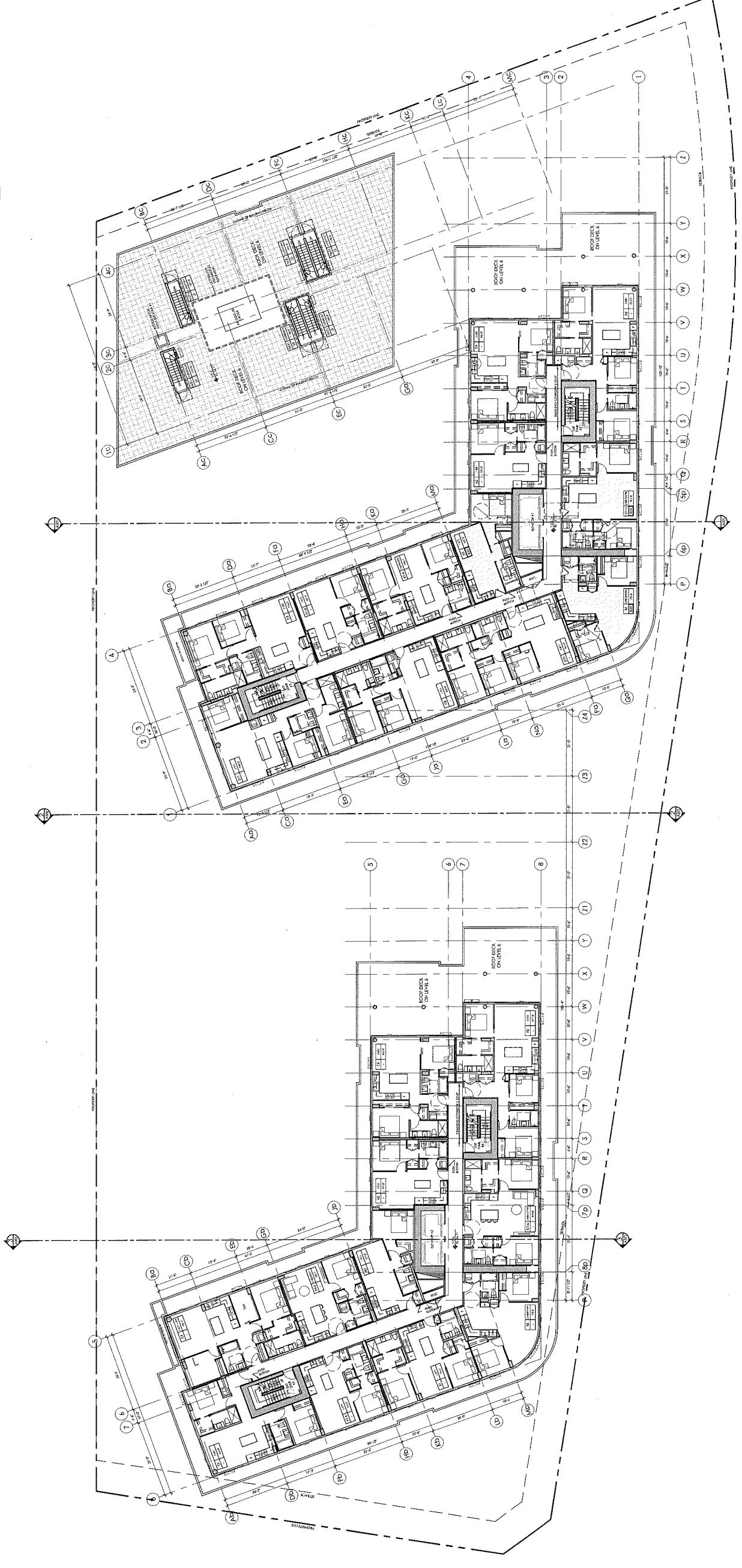


**NOTES**

- ALL UNITS HAVE TO HAVE RICHMOND AGING-IN-PLACE LEVER TYPE HANDLES FOR FURNING FEATURES AND DOORS AND SOUND BLOCKING IN WASHROOM WALLS FOR FUTURE GOOD PANS BATH, TOILET, BATHUB, AND SHOWER.
- SIZE OF THE MARKET UNITS SHOULD INCORPORATE BASIC FEATURES SUCH AS: WALK-IN CLOSET, BATHING TO RICHMOND ZONING BY-LAW 8000, SECTION 4.
- ALL AFFORDABLE RENTAL UNITS SHOULD INCLUDE THE BSH FEATURES.

**LEGEND**

- AFFORDABLE HOUSING (AH)
- BASIC UNIVERSAL HOUSING (BUH)







DESIGN BY	CHK	INIT	SCALE
			1/16"=1'-0"
			DRAWING DATE
			2017/05/25
7100 Elmbridge Way Richmond, BC Canada			
PROJECT			
LEVEL L09 UNIT PLAN			
TITLE	PROJECT NUMBER	ISSUE NO.	
		1	
	DWG FILE		
	DRAWING NUMBER		A.209

250 SAWYER PARK, VANCOUVER, CANADA V6J 4R8  
VANCOUVER (CANADA) VANCOUVER@RARIARCHITECTS.COM



RARI ARCHITECTS INC.  
SUITE ONE FIVE ONE ONE ST. WILCOX AVENUE, CANADA V6J 2L8  
TEL: 604.275.5555 FAX: 604.275.5552 RARIARCHITECTS.COM

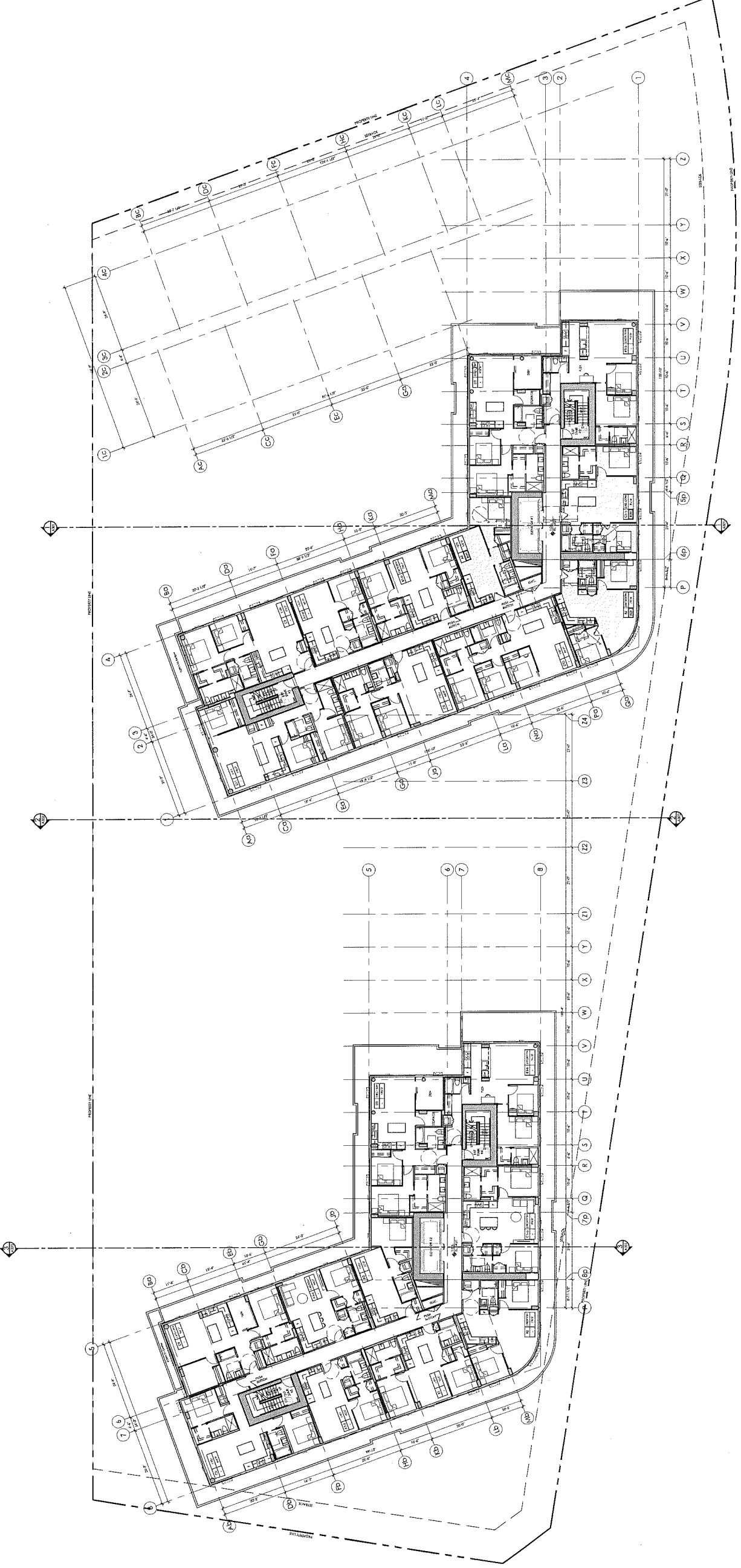


NO.	DESCRIPTION	DATE	CHK
1	REVISION		
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7	REVISION	05/25/17	
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- NOTES**
- ALL UNITS HAVE TO HAVE RICHMOND AGING-IN-PLACE STANDARDS. ALL UNITS MUST HAVE RAMP HANDLES AND LEAS THE HANDLES FOR PLUMBING BATHS AND DOORS. AND SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATHUB, AND SHOWER.
  - 10% OF THE MARKET UNITS SHOULD INCORPORATE BASIC UNIVERSAL HOUSING (BUH) FEATURES. THE REMAINING 90% SHOULD INCORPORATE RICHMOND ZONING BY-LAW 2003, SECTION 4.
  - ALL AFFORDABLE RENTAL UNITS SHOULD INCLUDE THE BUH FEATURES.

- LEGEND**
- AFFORDABLE HOUSING (AH)
  - BASIC UNIVERSAL HOUSING (BUH)



NO.	DESCRIPTION	DATE	CHK
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7	Completed North Staircase	10/27/2016	OK
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**RAFI ARCHITECTS INC.**  
 SUITE ONE 1000 PINE ST. VANCOUVER BC CANADA V6B 2B9  
 TEL: 604.681.8888 FAX: 604.681.8889 www.rafiarchitects.com

**ARNO MATIS ARCHITECTURE INC.**  
 1000 PINE ST. SUITE ONE VANCOUVER BC CANADA V6B 2B9  
 TEL: 604.681.8888 FAX: 604.681.8889 www.arnomatishome.com



RAFI ARCHITECTS INC. VANCOUVER BC CANADA V6B 2B9  
 TEL: 604.681.8888 FAX: 604.681.8889 www.rafiarchitects.com

DESIGN BY	CHK	INT	SCALE
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			DRAWING DATE
			2017/05/25

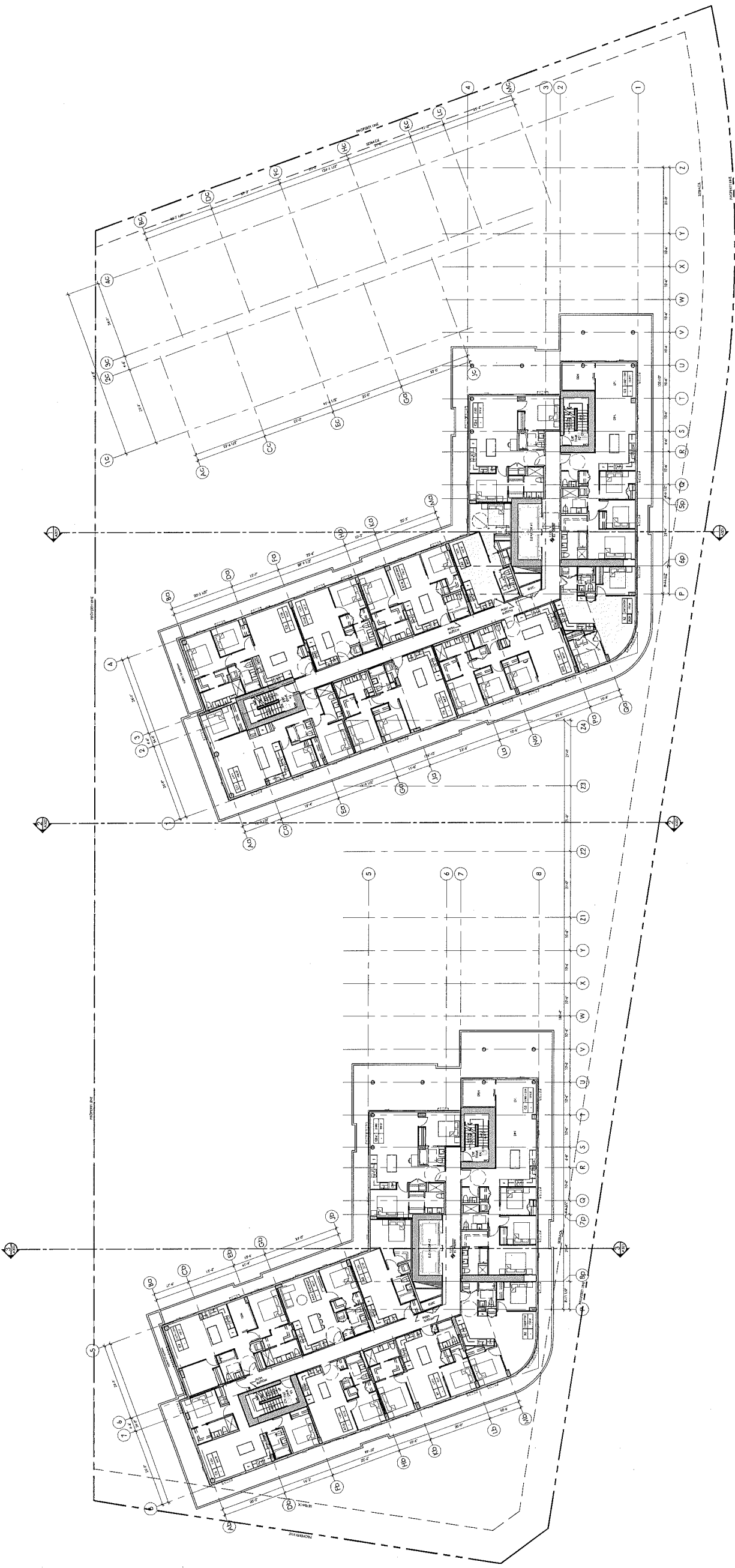
**7100 Elmbridge Way**  
 Richmond, BC  
 Canada

PROJECT  
**LEVEL L10 UNIT PLAN**

TITLE	ISSUE NO.
LEVEL L10 UNIT PLAN	1
PROJECT NUMBER	DRAWING NUMBER
2017043	A.210
3D00 FILE	

- NOTES**
- ALL UNITS HAVE TO HAVE RICHMOND AGING IN PLACE (RAIP) FEATURES FOR FUTURE ADULTS. LEVER TYPE HANDLES FOR PLUMBING FIXTURES AND DOORS. AND ZIG ZAG BLOCKING IN WASHROOM. WALLS FOR FUTURE GRAB BARS UNDER TOILET, SHOWER, AND SHOWER.
  - IDE OF THE MARKET UNITS SHOULD INCORPORATE BASIC RAIP FEATURES. INCLUDING: 1. RAMPING TO RICHMOND ZONING BY LAW 8500, SECTION 4.
  - ALL AFFORDABLE RENTAL UNITS SHOULD INCLUDE THE RAIP FEATURES.

- LEGEND**
- AFFORDABLE HOUSING (AH)
  - BASIC UNIVERSAL HOUSING (BUH)









DESIGN BY	CHK	INT	SCALE	1/16"=1'-0"
			DRAWING DATE	2017/05/23
7100 Eimbridge Way Richmond, BC Canada				
PROJECT				
LEVEL L13 UNIT PLAN				
TITLE	ISSUE NO.			
PROJECT NUMBER	1			
CADD FILE				
DRAWING NUMBER	A.213			

240 UNIVERSITY STREET, VANCOUVER, BC CANADA V6C 2R8  
TEL: 604-276-1400 FAX: 604-276-1401 WWW.RAFIARCHITECTS.COM



ARNO MATS ARCHITECTURE INC.

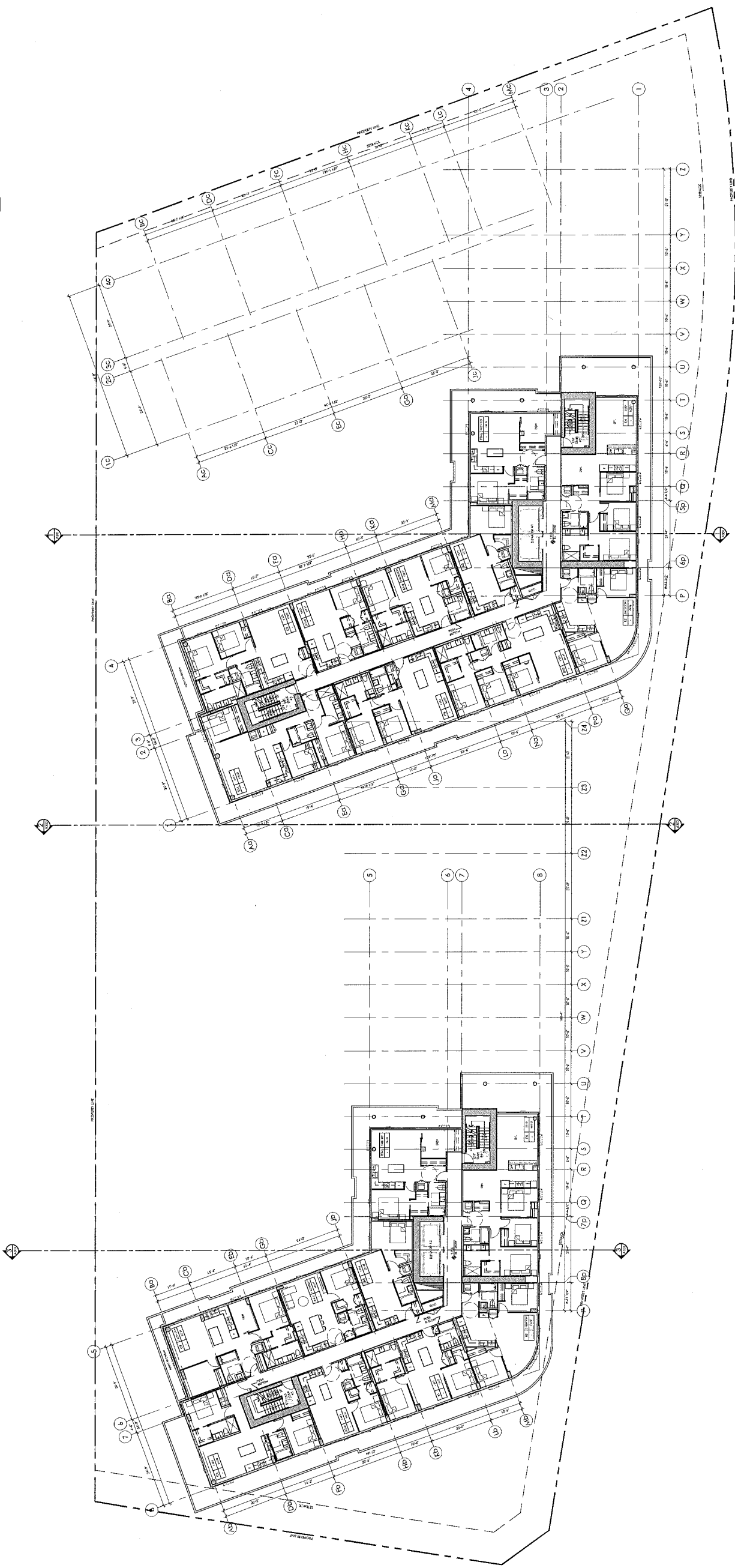


NO.	DESCRIPTION	DATE	CHK
1	Issue for Review	05/23/2017	MM
2	Issue for Construction	05/23/2017	MM
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- NOTES**
- ALL UNITS HAVE TO HAVE RICHMOND AGING-IN-PLACE (RAIP) FEATURES FOR FUTURE ADULTS AND SENIORS. RAIP FEATURES INCLUDE: WALKWAY TO ENTRY, TYPED HANDLES FOR PLUMBING FIXTURES AND DOORS, AND SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS. BATHING TOILET, BATHING, AND SHOWER.
  - 10% OF THE MARKET UNITS SHOULD INCORPORATE BASIC RAIP FEATURES. THE REMAINING 90% SHOULD INCORPORATE TO RICHMOND ZONING BY LAW SECTION 4.1.
  - ALL AFFORDABLE RENTAL UNITS SHOULD INCLUDE THE RAIP FEATURES.

- LEGEND**
- AFFORDABLE HOUSING (AH)
  - BASIC UNIVERSAL HOUSING (BUH)





DESIGN BY	CHK	INT	SCALE	1/16"=1'-0"
			DRAWING DATE	2017/05/25
7100 Elmbridge Way Richmond, BC Canada				
PROJECT LEVEL L14 UNIT PLAN				
TITLE	ISSUE NO.	DRAWING NUMBER		
2017/05/25	1	A.214		

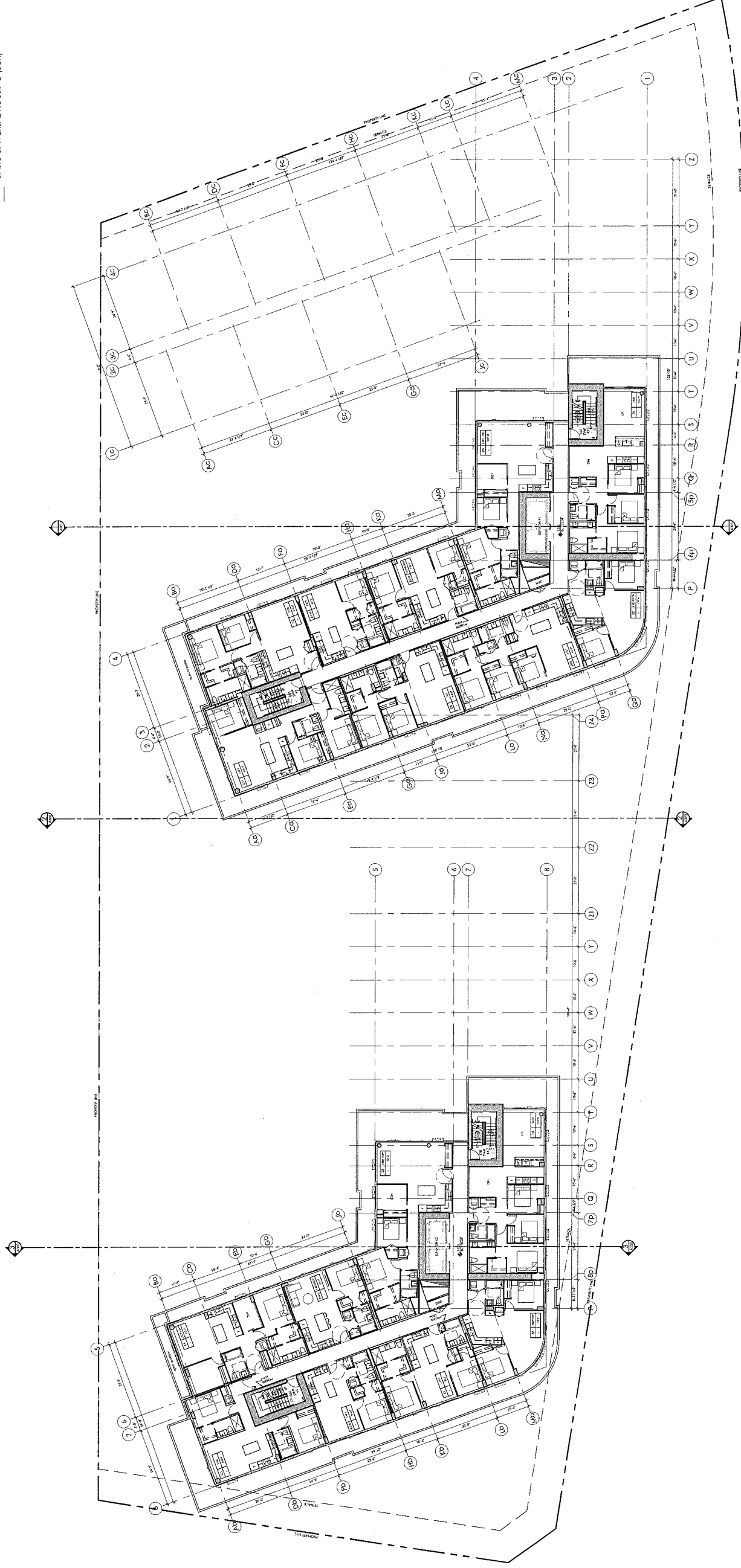
300-540 WEST 76th AVE, VANCOUVER, BC, CANADA V6L 1T2  
1-604-738-0788 (604) 611-1011 [www.rafiarchitects.com](http://www.rafiarchitects.com)



ARND MATIS ARCHITECTURE INC.  
1100 WEST 10th Avenue, Vancouver, BC V6H 1T2  
604-681-1011 [www.arndmatis.com](http://www.arndmatis.com)



NO.	DESCRIPTION	DATE	CHK
1	Developed Permit Submittal	10/02/2016	MM
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- NOTES**
- ALL UNITS HAVE TO HAVE PERMITTED ACCESSIBLE FEATURES. THESE FEATURES INCLUDE STAIRWELL HANDRAILS, LEVEL-TYPE HANDLES FOR PLUMBING FIXTURES AND DOORS, AND ACCESSIBLE TOILETS. ACCESSIBLE TOILETS MUST BE LOCATED IN THE COMMON AREAS (LOBBY, HALLWAY, AND STAIRWAY).
  - USE OF THE MARKET UNITS SHOULD INCORPORATE BASIC UNIVERSAL HOUSING (BUH) FEATURES ACCORDING TO RICHMOND ZONING BYLAW 8500, SECTION 4.
  - ALL AFFORDABLE RENTAL UNITS SHOULD INCLUDE THE BUH FEATURES.

- LEGEND**
- ▨ AFFORDABLE HOUSING (AH)
  - ▤ BASIC UNIVERSAL HOUSING (BUH)

DRAWN BY	CHK	INIT	SCALE	1/16"=1'-0"
			DRAWING DATE	2017/06/29
7100 Elmbridge Way Richmond, BC Canada				
PROJECT				
LEVEL L15 UNIT PLAN				
TITLE	PROJECT NUMBER	ISSUE NO.		
	2017043	1		
	0000 FILE			
DRAWING NUMBER	A.215			

260, 340 WHEAT AVE. VANCOUVER, BC CANADA V6P 2P2  
 604.278.0788 (403) 636-5837 [www.rafiaarchitects.com](http://www.rafiaarchitects.com)



ARNO MATIS ARCHITECTURE INC.

RAFIA ARCHITECTS INC.



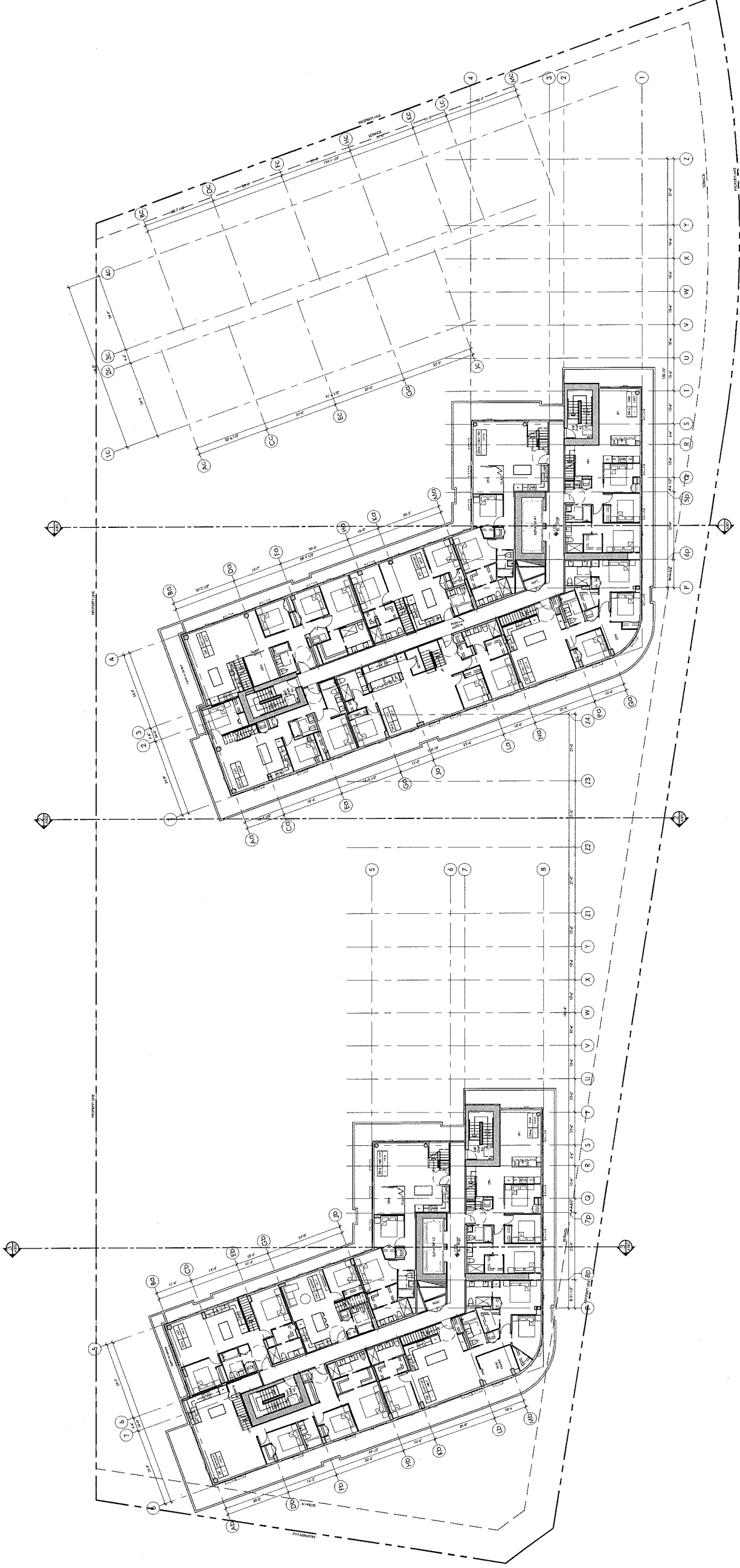
NO.	DESCRIPTION	DATE	CHK
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**NOTES**

- ALL UNITS HAVE TO HAVE RICHMOND AGING-IN-PLACE LEVER TYPE HANDLES FOR FLAMING FIXTURES AND DOORS, AND SOLID BLOCKING IN WARDROOM WALLS FOR FUTURE GRAB BARS (SEE TOILET, BATH, AND SHOWER).
- 10% OF THE MARKET UNITS SHOULD INCORPORATE BASIC UNIVERSAL HOUSING (BUH) FEATURES AS PER RICHMOND ZONING BY-LAW 8039, SECTION 4.
- ALL AFFORDABLE RENTAL UNITS SHOULD INCLUDE THE BUH FEATURES.

**LEGEND**

- AFFORDABLE HOUSING (AH)
- BASIC UNIVERSAL HOUSING (BUH)



TITLE  
PROJECT NUMBER  
201703  
ISSUE NO.  
1  
DRAWING NUMBER  
A.216

PROJECT  
LEVEL ROOF  
PLAN

7100 Elmbridge Way  
Richmond, BC  
Canada

DRAWN BY	CHK	INT	SCALE
			1/16"=1'-0"
			DRAWING DATE
			2017/05/25

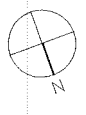
360-540-7827 24 HRS. VANCOUVER, BC, CANADA V6V 1H3  
1501 WEST 104TH AVE. SUITE 101  
VANCOUVER, BC V6P 3C7



ARNO MATS ARCHITECTURE INC.

RAFI ARCHITECTS INC.

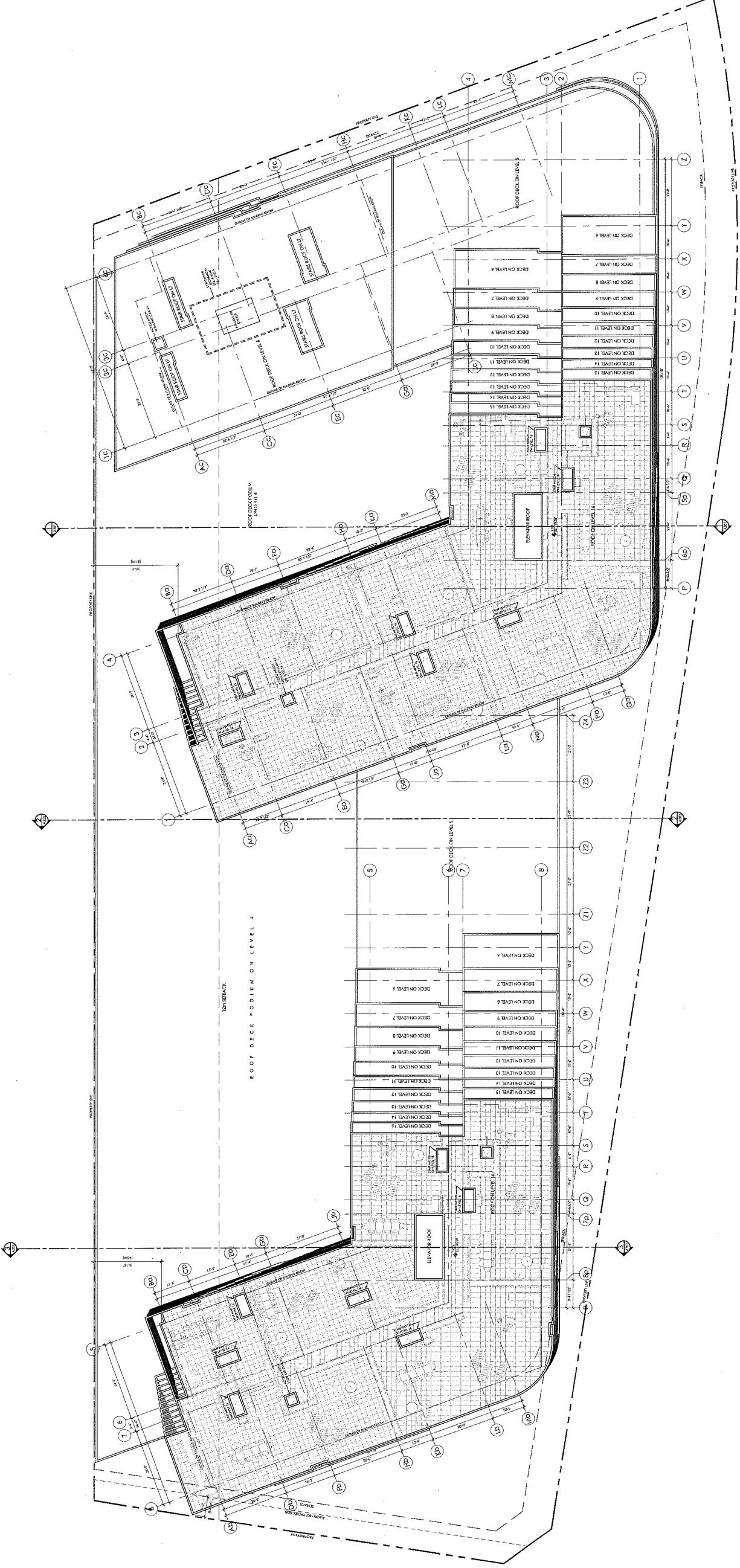
NO.	DESCRIPTION	DATE	CHK
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**NOTES**

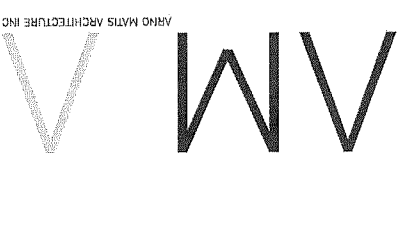
THE MAXIMUM FRONT YARD PROJECTION OVER THE SEAWALK IS 1.83 m. THE PROJECTION AREA IS 4.17 m<sup>2</sup>.

THE MINIMUM FRONT YARD PROJECTION OVER THE SEAWALK IS 0.6 m. THE PROJECTION AREA IS 0.57 m<sup>2</sup>.

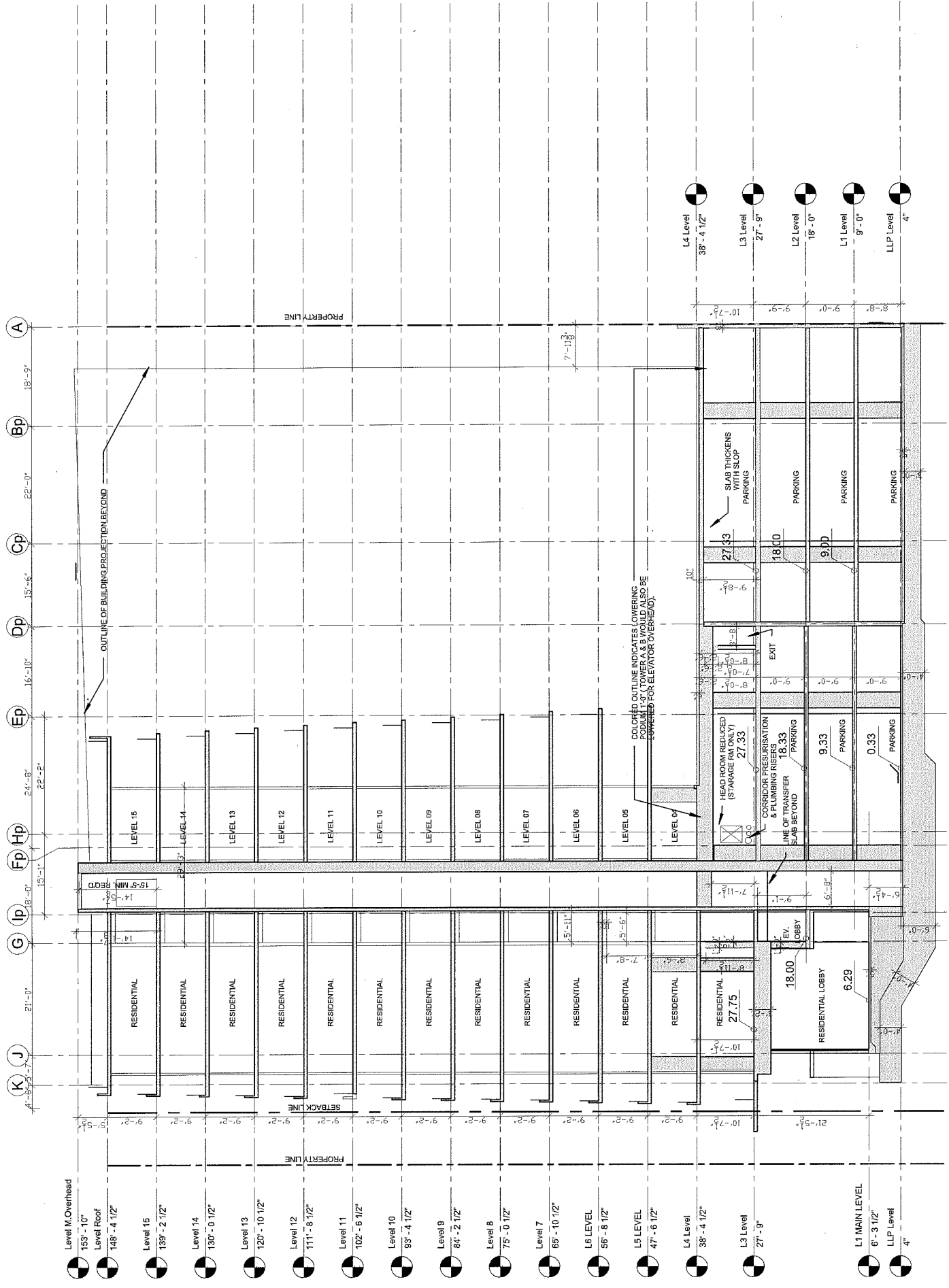


DESIGN BY	CHK	INT	SCALE
			3/32" = 1'-0"
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PROJECT			
7100 Elmbridge Way Richmond, BC Canada			
SECTION 1 PODIUM			
TITLE	PROJECT NUMBER	ISSUE NO.	
	201403	1	
CADD FILE	DRAWING NUMBER		
	A.301		

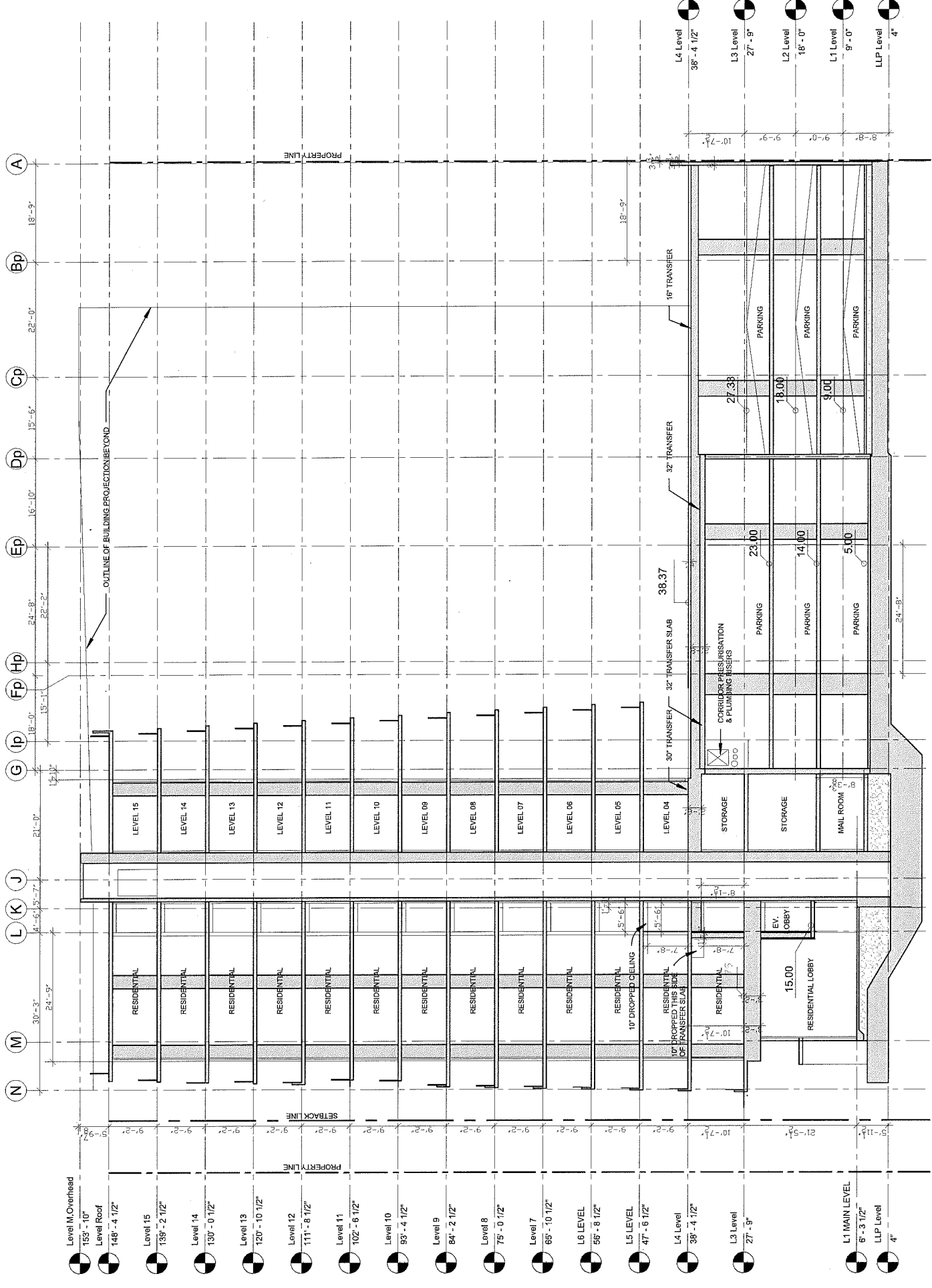
FOR THE CLIENT'S INFORMATION:  
THIS DRAWING IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN AND DOCUMENTATION OF THE PROJECT. THE ARCHITECT DOES NOT PROVIDE ENGINEERING, STRUCTURAL, OR MECHANICAL SERVICES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEES RECEIVED FOR THIS PROJECT.



NO.	DESCRIPTION	DATE	BY
1	Developed Permit Schedule	02/22/2014	
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- Level M Overhead 153' - 10"
- Level Roof 148' - 4 1/2"
- Level 15 139' - 2 1/2"
- Level 14 130' - 0 1/2"
- Level 13 120' - 10 1/2"
- Level 12 111' - 8 1/2"
- Level 11 102' - 6 1/2"
- Level 10 93' - 4 1/2"
- Level 9 84' - 2 1/2"
- Level 8 75' - 0 1/2"
- Level 7 65' - 10 1/2"
- L6 LEVEL 55' - 8 1/2"
- L5 LEVEL 47' - 6 1/2"
- L4 Level 38' - 4 1/2"
- L3 Level 27' - 9"
- L1 MAIN LEVEL 6' - 3 1/2"
- LLP Level 4"

- A 18'-9"
- Bp 82'-0"
- Cp 15'-6"
- Dp 16'-10"
- Ep 24'-8"
- Fp 22'-2"
- G 15'-1"
- Hp 18'-0"
- Ip 14'-10"
- J 21'-0"
- K 4'-6 1/2"
- L 4'-6 1/2"
- M 39'-3"
- N 5'-9"

- L4 Level 38' - 4 1/2"
- L3 Level 27' - 9"
- L2 Level 18' - 0"
- L1 Level 9' - 0"
- LLP Level 4"

NO.	DESCRIPTION	DATE	CHK
1	Designated Permit Submission	01/22/2018	
2			
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**RAFI ARCHITECTS INC.**  
 SUITE ONE 100 HOWE ST. VANCOUVER BC CANADA V6Z 2B9  
 TEL: 604.682.5555 FAX: 604.682.9978 WWW.RAFIARCHITECTS.COM

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DESIGN BY	CHK	INT	SCALE
			3/32" = 1'-0"
			DRAWING DATE
			2017/09/23

7100 Elmbridge Way  
 Richmond, BC  
 Canada

SECTION 3  
 SOUTH TOWER

TITLE	PROJECT NUMBER	ISSUE NO.
		1
DRAWING NUMBER	FILE	ISSUE NUMBER
		A.303



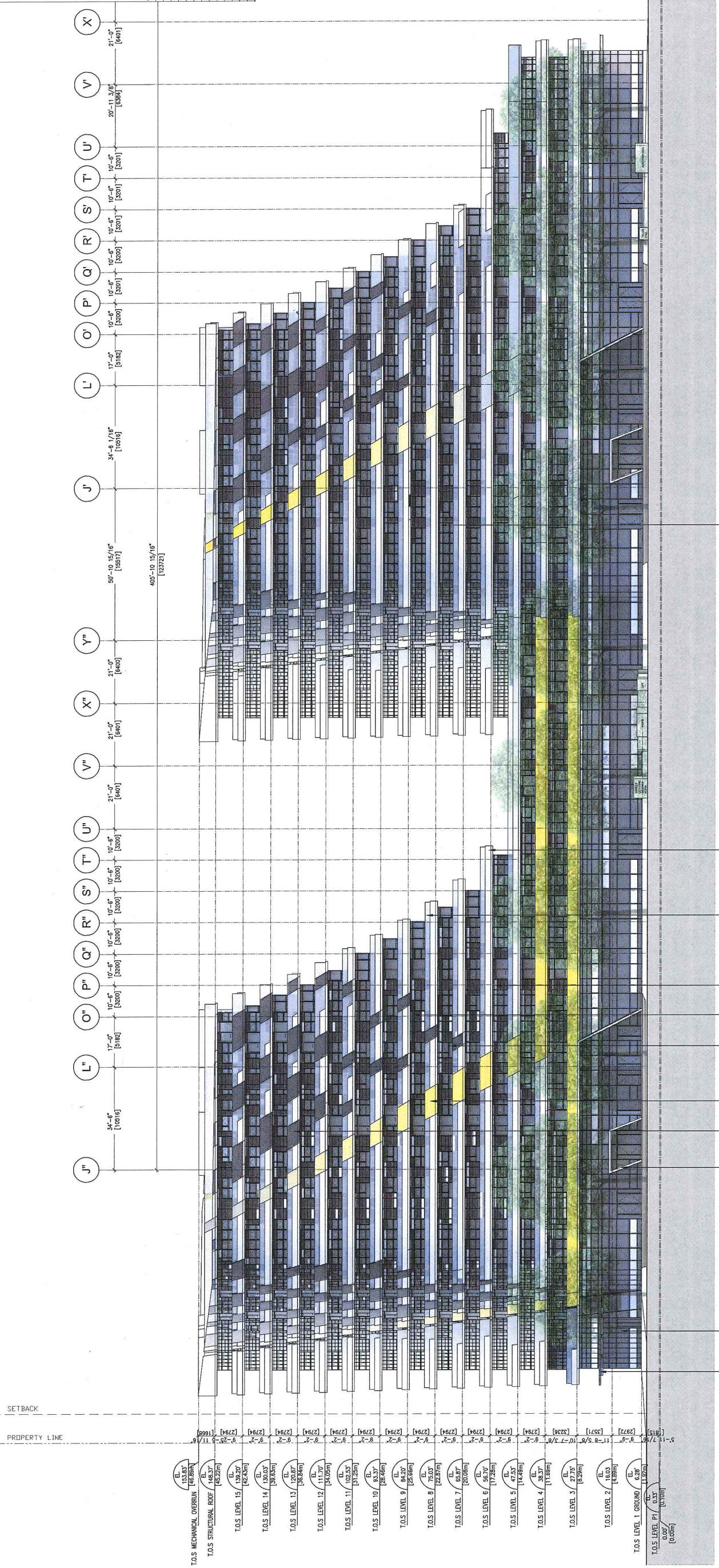
DRAWN BY	CHK	INT	SCALE
			1/16" = 1'-0"
			DRAWING DATE
			2017/09/29
7100 Elmbridge Way Richmond, BC Canada			
PROJECT <b>ELEVATION WEST</b>			
TITLE	ISSUE NO.		
PROJECT NUMBER	1		
DWG FILE			
DRAWING NUMBER	A.401		

**RAFI ARCHITECTS INC.**  
DATE: 016 WINDOVE ST. WINDOVERTER INC. CANADA INC. 218  
1100 UNIVERSITY AVENUE WINDOVERTER INC.

**MM**  
ARNO MATYS ARCHITECTURE INC.

NO.	DESCRIPTION	DATE	BY
1	Developed Permit Submission	10/22/2016	
2			
3			
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12			

PER THE CCAP DP GUIDELINES:  
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	MATERIALS
1	ARCHITECTURAL CONCRETE (WHITE)
2	PAINTED GLASS
3	INSULATED GLAZING UNIT (IGU)
4	STANDARD GREY SPANDREL GLASS
5	GREY VELVET SPANDREL GLASS
6	DARK GREY SPANDREL GLASS
7	DARK GREY PAINTED CONCRETE GUARD
8	GLASS GUARD WITH WHITE ALUMINUM RAILING
9	TWO SIDED CAPTURE SILICONE GLAZED SYSTEM WITH HORIZONTAL GAP (IGU)
10	ENTRY FEATURE WITH WHITE ARCHITECTURAL CONCRETE
11	GLASS CANOPY WITH PROJECTING METAL STRUCTURE PAINTED WHITE, LAMINATED GLASS INFILL PANEL
12	CONCRETE WALL WITH ARCHITECTURAL REVEAL PATTERN

CONSISTENT WITH THE CCAP DP GUIDELINES:

- A MINIMUM OF ONE WINDOW WALL FOR THE GROUND LEVEL RETAIL SPACES AND THE ADJACENT SPACES TO BE MAINTAINED AS TRANSPARENT VISION GLASS IN ORDER TO SUPPORT ANIMATION OF THE STREET AND TO PRESERVE THE HEIGHT OF THE BUILDING CHARACTER.
- AREAS OF SPANDREL PANEL AND/OR OTHER ALTERNATIVES TO VISION GLASS ADDED TO THE WINDOW WALL AT THE GROUND LEVEL SHOULD BE LOCATED AWAY FROM BUILDING CORNERS AND BUILDING ENTRIES. WALL PATTERNING AND SHOULD BE DESIGNED TO BE CONSISTENT WITH OR COMPLEMENTARY TO THE FORMS, MATERIALS AND COLOURS OF THE APPROVED SIGNAGE.
- SIGNAGE SHOULD BE DESIGNED TO BE CONSISTENT WITH OR COMPLEMENTARY TO THE FORMS, MATERIALS AND COLOURS OF THE WINDOW WALLS. BACKLIT SIGNAGE OR SIGNAGE LOCATED ON UNITS NOT INTEGRATED INTO THE WINDOW WALL SYSTEM.

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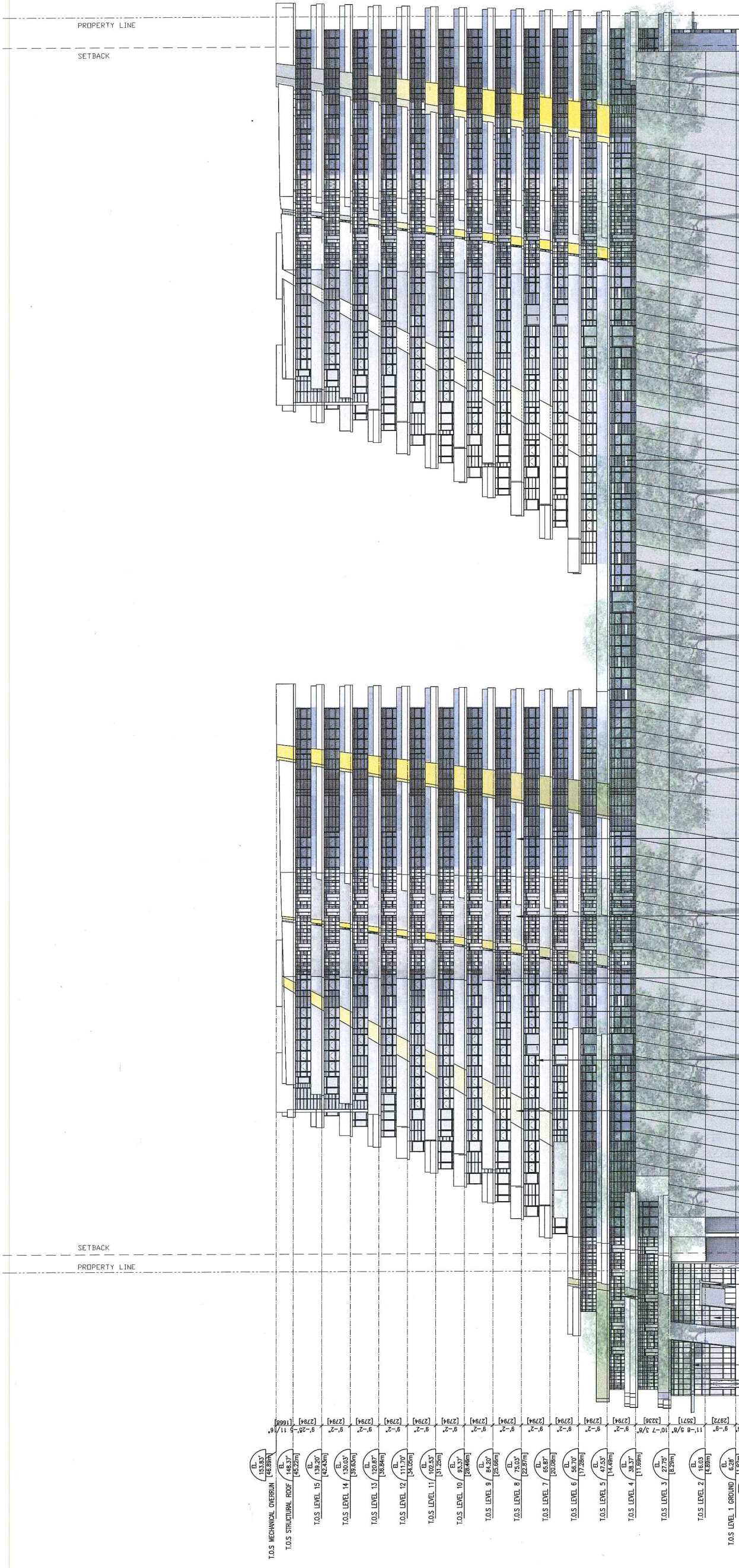
DESIGN BY	CHK	INT	SCALE
			1/16" = 1'-0"
DRAWING DATE			2017/05/29
PROJECT			
7100 Elmbridge Way Richmond, BC Canada			
ELEVATION EAST			
TITLE	PROJECT NUMBER	ISSUE NO.	
	201403	1	
DATE FILE	DRAWING NUMBER		A-402

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NO.	DESCRIPTION	DATE	BY
1	Development Permit Submission	10/22/2016	
2	REVISION		
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MATERIALS	
1	ARCHITECTURAL CONCRETE (WHITE)
2	PAINTED GLASS
3	INSULATED GLAZING UNIT (IGU)
4	STANDARD GREY SPANDREL GLASS
5	GREY VELVET SPANDREL GLASS
6	DARK GREY SPANDREL GLASS
7	DARK GREY PAINTED CONCRETE GUARD
8	GLASS GUARD WITH WHITE ALUMINUM RAILING
9	TWO SIDED CAPTURE SILICONE GLAZED SYSTEM WITH HORIZONTAL GAP (IGU)
10	ENTRY FEATURE WITH WHITE ARCHITECTURAL CONCRETE
11	GLASS CANOPY WITH PROJECTING METAL STRUCTURE PAINTED WHITE, LAMINATED GLASS INFILL PANEL
12	CONCRETE WALL WITH ARCHITECTURAL REVEAL PATTERN











# HAPA

Landscape Architecture  
Urban Design

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**SEDIMENTARY ROCK**  
The region of Richmond is built up from millions of years of sedimentary rock, all layered one on top of the other. Similar to this and the proposed architecture, our design will play with layered materials, pushing and pulling their way through the site.



**FORMAL | NATURAL**  
To heighten the design of the architecture, the landscape will play with formal lines and natural design. Strong linear geometry will be contrasted against swaths of soft naturalistic planting.



**WATER**  
The dry stream of the podium level evokes the flow and movement of water through its form and a gradation of materials.



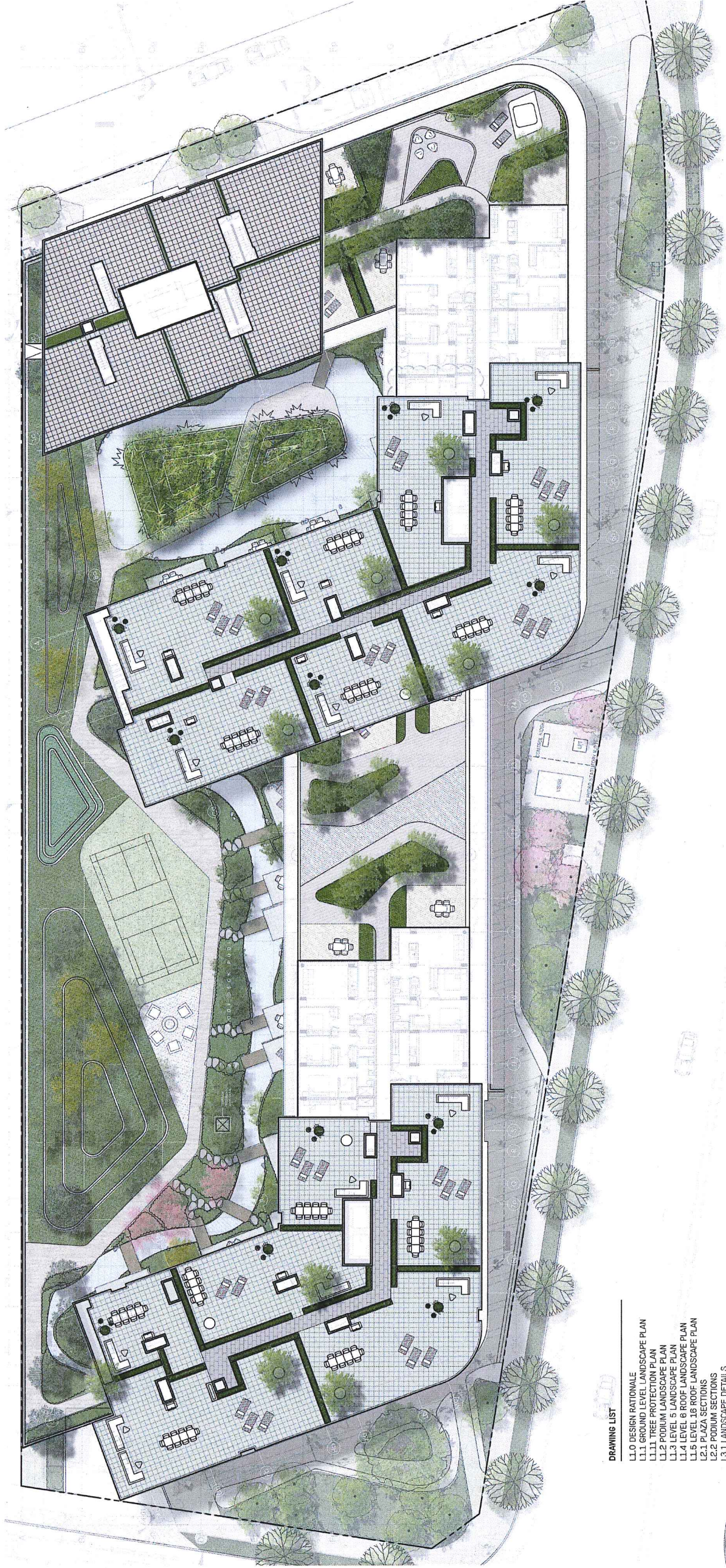
**CONNECTIONS**  
A connected and coherent design language will be employed on all levels. From the roof of the buildings, down through the terraces to the podium park and onto the ground level plaza, the design will be continuous.



**INDOOR | OUTDOOR**  
From the residents amenity spaces to the private patios, the gardens will be seamlessly connected to the inside spaces, with continuous floor levels, paired materials and long vistas.



**FUNCTIONAL**  
To truly be a garden for the residents, the design will incorporate functionally adaptive spaces that can hold many varying uses.



**DRAWING LIST**

- L1.0 DESIGN RATIONALE
- L1.1 GROUND LEVEL LANDSCAPE PLAN
- L1.1.1 TREE PROTECTION PLAN
- L1.2 PODIUM LANDSCAPE PLAN
- L1.3 LEVEL 5 LANDSCAPE PLAN
- L1.4 LEVEL 8 ROOF LANDSCAPE PLAN
- L1.5 LEVEL 18 ROOF LANDSCAPE PLAN
- L2.1 PLAZA SECTIONS
- L2.2 PODIUM SECTIONS
- L3.1 LANDSCAPE DETAILS
- L3.2 LANDSCAPE DETAILS
- L3.3 LANDSCAPE DETAILS

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RICHMOND, BC

**LANDSCAPE RATIONALE**

Date	MAR 09/2016	Drawing Number	
Project No.	1504		L1.0
Scale	1/16" = 1'-0"		
Drawn/Checked	VH/JF		

No.	Description	Date
7	Issued for DP Prior-To Response APR. 19/17	
6	Issued for DP Prior-To Response APR. 03/17	
5	Issued for DP Prior-To Response FEB. 22/17	
4	Issued for DP Prior-To Response DEC. 7/16	
3	Issued for DP Prior-To Draft OCT. 26/16	
2	Issued for ADP MAR. 09/16	
1	Issued for DP JAN. 18/16	

JUN 14 2017 PLAN #27

DP 15-700007



PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
16	CJ	Cercidiphyllum japonicum	Katsura Tree	8.0cm Cal., B&B	Uniform Size & Quality
5	CM	Cornus mas	Cornelian Cherry Wood	6.0cm Cal., B&B	Uniform Size & Quality
18	AC	Acer circinatum	Vine Maple	3.0m (10') ht.	Uniform Size & Quality
1	UA	Ulmus americana	American Elm	8.0cm Cal., B&B	Specimen

PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
350	Bg	Buxus x 'Green Mountain'	Green Mountain Boxwood	#3 Pot. 18" O.C.	Full, Sheared
350	6s	Gaultheria shallon	Sailal	#1 Pot. 18" O.C.	Full
300	Hp	Hebe 'Patty's Purple'	Patty's Purple Hebe	#1 Pot. 18" O.C.	Full
400	Bg	Lavendula angustifolia 'Hidcote'	Hidcote Lavender	#1 Pot. 15" O.C.	Full
250	Sj	Skimmia japonica	Japanese Skimmia	#2 Pot. 24" O.C.	Full
250	Sj	Spiraea betulifolia	Birch-leaf Spiraea	#2 Pot. 36" O.C.	Full
250	He	Helleborus x 'Royal Heritage'	Royal Heritage Hellebore	#1 Pot. 18" O.C.	Full
300	Sp	Sedum 'Purple Emperor'	Purple Emperor Sedum	#1 Pot. 18" O.C.	Full
400	Ru	Rudbeckia fulgida 'Goldstrum'	Goldstrum Coneflower	#1 Pot. 12" O.C.	Full
400	Hm	Hemerocallis 'Chrimson Red'	Red Daylily	#1 Pot. 12" O.C.	Full

NOTES

- All plant material to CLMA and BCSLA standards. Refer to the BCSLA Landscape Standard, latest edition.
- Area of search for plant material: Pacific Northwest, including British Columbia, Washington and Oregon.
- Refer to specification for general conditions, materials and installation requirements.
- All planted areas to have automatic irrigation.



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RICHMOND, BC

PLAZA LEVEL  
LANDSCAPE PLAN

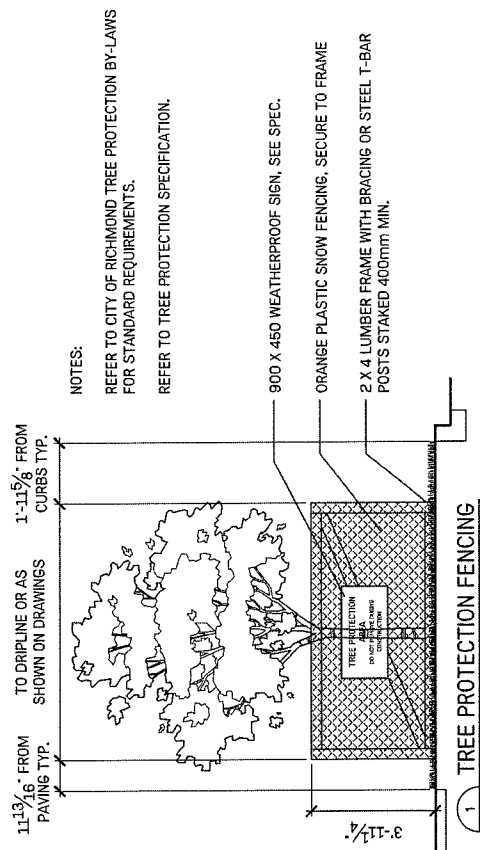
Date: MAR. 09/2016  
Project No.: 1504  
Scale: 1/8" = 1'-0"  
Drawing Number: L1.1  
Drawn: Cheeserl/WH/JF

No.	Description	Date
7	Issued for DP Prior-To Response APR. 19/17	
6	Issued for DP Prior-To Response APR. 03/17	
5	Issued for DP Prior-To Response FEB. 22/17	
4	Issued for DP Prior-To Response DEC. 7/16	
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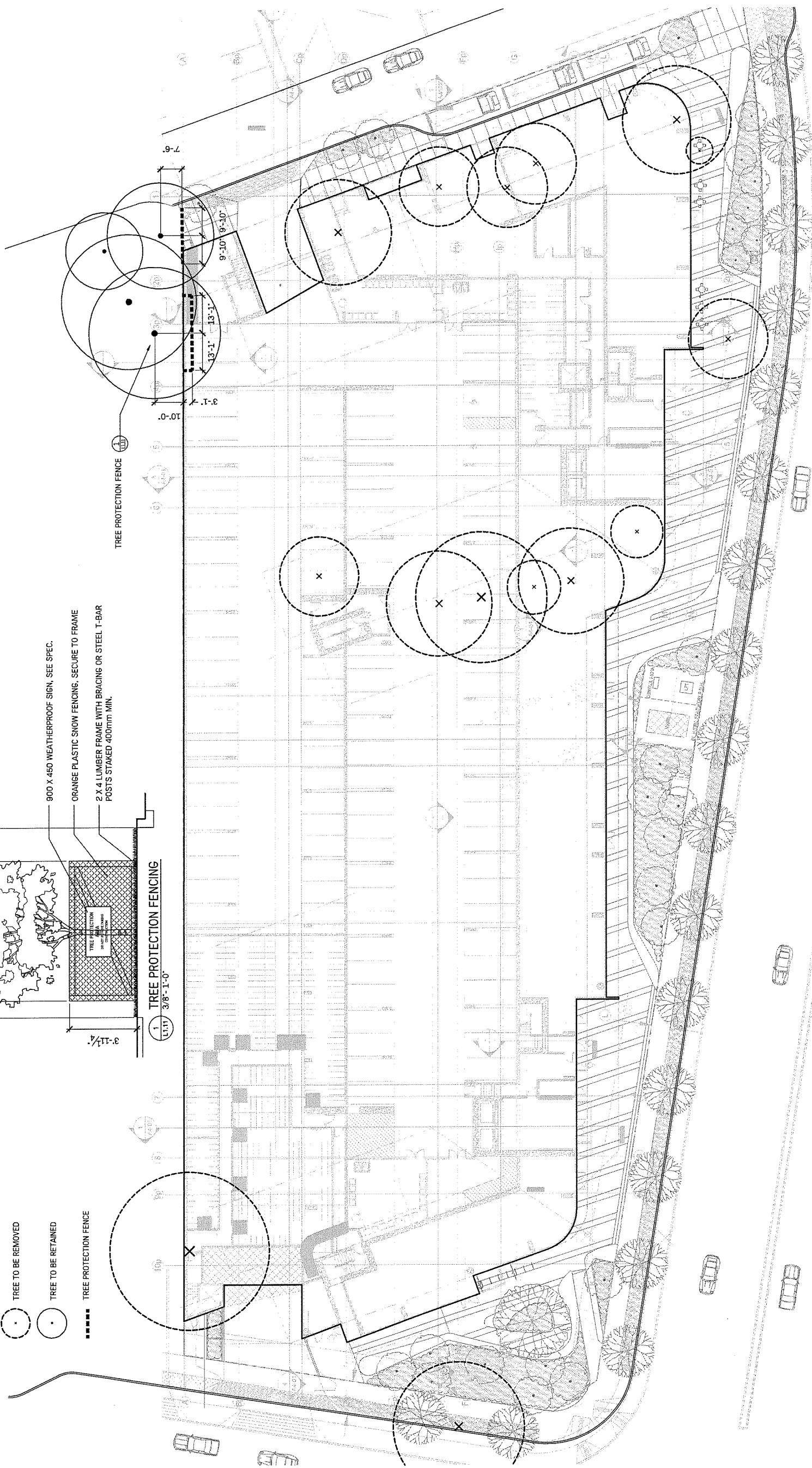


**NOTES:**

REFER TO CITY OF RICHMOND TREE PROTECTION BY-LAWS FOR STANDARD REQUIREMENTS.  
REFER TO TREE PROTECTION SPECIFICATION.

**LEGEND**

- TREE TO BE REMOVED
- TREE TO BE RETAINED
- TREE PROTECTION FENCE



No.	Description	Date
7	Issued for DP Prior-To Response APR. 10/17	
6	Issued for DP Prior-To Response APR. 03/17	
5	Issued for DP Prior-To Response FEB. 22/17	
4	Issued for DP Prior-To Response DEC. 7/16	
3	Issued for DP Prior-To Draft OCT. 28/16	
2	Issued for ADP MAR. 09/16	
1	Issued for DP JAN.18/16	

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PLAZA LEVEL  
TREE MANAGEMENT PLAN

Date	MAR.09/2016	Drawing Number	L1.11
Project No.	1504		
Scale	1/16" = 1'-0"		
Drawn/Checked/Inch/JF			

PLAN # 25

JUN 14 2017

DP 15-700007



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
AC	18	Acer cincinnatum	Vine Maple	2.4m ht. (8' ht.)	Uniform Size & Quality
CK	11	Cornus kousa 'Satomi'	Satomi Dogwood	5cm cal. (2' ht.)	Uniform Size & Quality
PC	7	Pinus contorta var. contorta	Shore Pine	2.4m ht. (8'0" ht.)	Uniform Size & Quality
PT	12	Populus tremuloides	Quaking Aspen	5cm cal. (2' ht.)	Uniform Size & Quality
PY	4	Prunus yedoensis 'Akebono'	Akebono Cherry	7cm cal. (2 1/2' cal.)	Uniform Branching, Dense Tree
Bg	300	Bouteloua gracilis	Mosquito Grass	#1 Pot, 18" O.C.	Well Established
Dc	600	Deschampsia cespitosa	Tufted Hair Grass	#1 Pot, 18" O.C.	Well Established
Je	200	Juncus effusus	Common Rush	#1 Pot, 18" O.C.	Well Established
Ln	350	Luzula nivea	Snowy Wood Rush	#1 Pot, 18" O.C.	Full
Pv	500	Panicum virgatum 'Sherandoan'	Switch Grass	#1 Pot, 18" O.C.	Well Established
Pm	200	Poa macrantha	Seashore Bluegrass	#1 Pot, 18" O.C.	Well Established
Aj	200	Achillea millefolium	Common White Yarrow	#1 pot, 10" O.C.	Well Established
Ag	150	Fragaria chiloensis	Coastal Strawberry	#1 Pot, 15" O.C.	Well Established

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
Gm	100	Geum macrophyllum	Large Leaved Avenas	#1 Pot, 12" O.C.	Well Established
Hb	75	Helleborus orientalis	Lenten Rose	#1 Pot, 18" O.C.	Well Established
La	200	Lupinus arcticus	Arctic Lupin	#1 Pot, 10" O.C.	Well Established
Pa	250	Papaver orientale	Oriental Poppy	#1 Pot, 15" O.C.	Well Established
Ru	150	Rudbeckia fulgida 'Goldstrum'	Goldstrum Coneflower	#1 Pot, 12" O.C.	Well Established
So	150	Spiraea douglasii	Harchack	#1 Pot, 18" O.C.	Well Established
Tv	200	Thymus vulgaris	Thyme	#1 Pot, 12" O.C.	Well Established
Gs	100	Gaultheria shallon	Salal	#1 Pot, 18" O.C.	Well Established
Hq	125	Hydrangea quercifolia	Oakleaf Hydrangea	#3 Pot, 36" O.C.	Well Established

NOTES

- All plant material to CIM and BCSLA standards. Refer to the BCSLA Landscape Standard, latest edition.
- Area of search for plant material: Pacific Northwest, including British Columbia, Washington and Oregon.
- Refer to specification for general conditions, materials and installation requirements.
- All planted areas to have automatic irrigation.
- Large patios to have hose bibs.



**DRAGONS WALK**  
Responding to the architectural 'bands', a stone paved promenade will lead through the entire podium landscape.

**RAISED MOUND**  
Above the surrounding garden, this raised mound will feature a variety of fire eating plants, including the 'Tiger Balm' and 'Fire Eater'.

**PRIVATE PATIOS**  
Wooden decks have views for fire eating plants, with stone tangles or using the same material to provide a shaded space.

**RESIDENTS FIRE PLACE**  
This fire place and seating area provide a central gathering and space for residents playing and mending on the rooftop. Direct gas connection to be provided for the pit.

**DRY STONE RIVERBED**  
Angular crushed rock of various sizes forms the form and that fills with water during heavy rainfall, dissipating to a decorative rock garden on dry days.

**BADMINTON LAWN**  
Sheltered from winds, behind planted mounds, the lawn will be in full sun.

**TUNNEL HILL**  
Middle mound has several tunnel pathways boring through it, doubling as a playful adventure space.

**BAMBOO MOUNTAIN**  
Private spot for reflection, a tranquil route through soft landscapes and dappled shade, leading to a private spot for reflection.



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JUN 14 2017 PLAN # 30

DP 15-700007

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7	Issued for DP Prior-To Response APR, 19/17	
6	Issued for DP Prior-To Response APR, 03/17	
5	Issued for DP Prior-To Response FEB, 22/17	
4	Issued for DP Prior-To Response DEC, 7/16	
3	Issued for DP Prior-To Draft OCT, 26/16	
2	Issued for ADP MAR, 09/16	
1	Issued for DP JAN, 18/16	

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7100 ELMBRIDGE WAY  
RICHMOND, BC

PODIUM LEVEL  
LANDSCAPE PLAN

Date	MAR 09/2016	Drawing Number	
Project No.	1504	Scale	1/16" = 1'-0"
Brand/Species/Qty/UF			L1.2



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
O	AC	20	Acer circinatum	Vine Maple	Uniform Size & Quality
O	CK	7	Cornus mas	Cornelian Cherry Wood	Uniform Size & Quality
O	PI	2	Prunus yedoensis 'Akebono'	Akebono Cherry	Uniform Branching & Dense Tree
Bg	40	Bouteloua gracilis	Mosquito Grass	#1 Pot, 18" O.C.	Full
Dc	40	Deschampsia cespitosa	Tufted Hair Grass	#1 Pot, 18" O.C.	Full
Ln	30	Luzula nivea	Snowy Wood Rush	#1 Pot, 18" O.C.	Full
Pv	45	Panicum virgatum 'Shenandoah'	Switch Grass	#1 Pot, 18" O.C.	Full
Al	15	Achillea millefolium	Common White Yarrow	#1 Pot, 10" O.C.	Full
Ag	20	Fragaria chiloensis	Coastal Strawberry	#1 Pot, 15" O.C.	Full
Bm	10	Geum macrophyllum	Large Leaved Avens	#1 Pot, 12" O.C.	Full
He	15	Helianthus orientalis	Lenient Rose	#1 Pot, 18" O.C.	Full
La	20	Lupinus arcticus	Arctic Lupin	#1 Pot, 10" O.C.	Full

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
Pa	30	Papaver orientale	Oriental Poppy	#1 Pot, 15" O.C.	Full
Ru	15	Rudbeckia fulgida 'Goldstrum'	Goldstrum Coneflower	#1 Pot, 12" O.C.	Full
Sd	10	Spiraea douglasii	Hardhack	#1 Pot, 18" O.C.	Full
Tv	10	Thymus vulgaris	Thyme	#1 Pot, 12" O.C.	Full
Ss	10	Scaltheria shallon	Sail	#1 Pot, 18" O.C.	Full
Hq	5	Hydrangea quercifolia	Oakleaf Hydrangea	#3 Pot, 36" O.C.	Full

Notes

- All plant material to BCNTA and BCSLA standards. Refer to the BCSLA Landscape Standard, latest edition.
- Area of search for plant material: Pacific Northwest, including British Columbia, Washington and Oregon.
- Refer to specification for general conditions, materials and installation requirements.
- All planted areas to have automatic irrigation.
- Large patios to have nose bids.

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PLAN # 81

JUN 14 2017

DP 15-700007

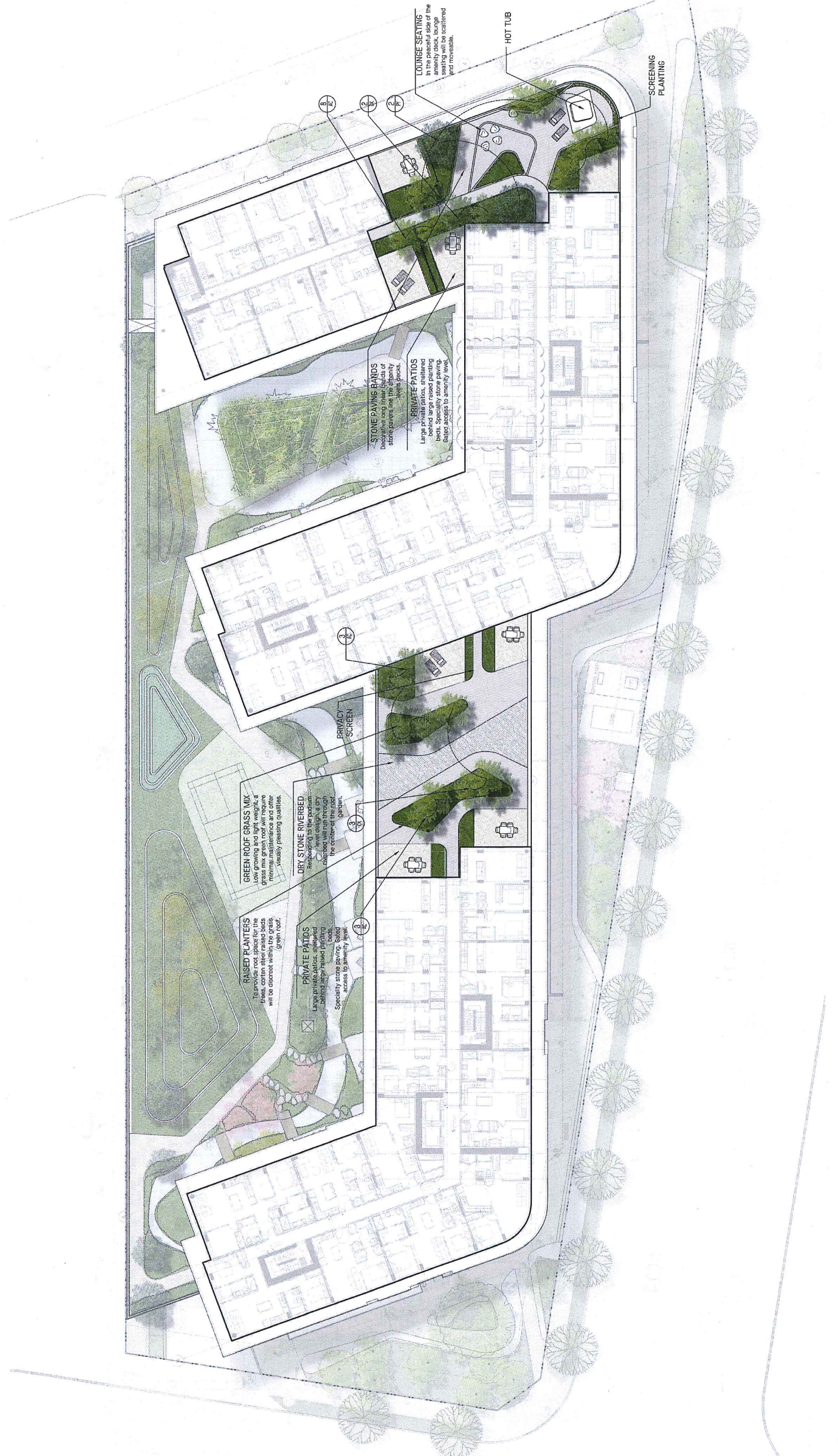
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6	Issued for DP Prior-To Response APR. 03/17	
5	Issued for DP Prior-To Response FEB. 22/17	
4	Issued for DP Prior-To Response DEC. 7/16	
3	Issued for DP Prior-To Draft OCT. 28/16	
2	Issued for ADP MAR. 09/16	
1	Issued for DP JAN. 18/16	

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## LEVEL 5 LANDSCAPE PLAN

Date	MAR. 09/2016	Drawing Number	
Project No.	1504		
Scale	1/16" = 1'-0"		
Drawn/Checked/In/UF			L1.3



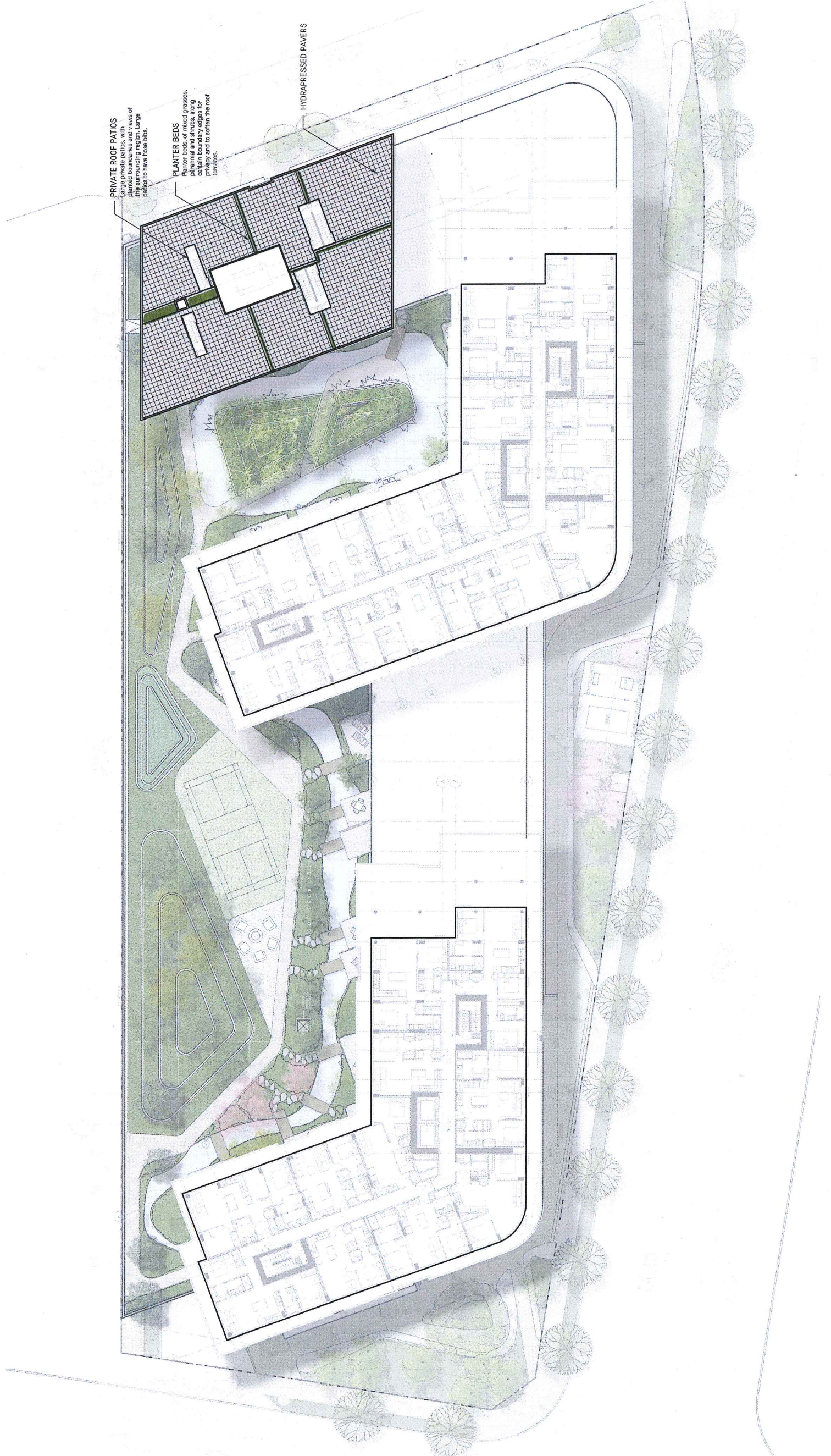


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## LEVEL 6 LANDSCAPE PLAN

No.	Description	Date
7	Issued for DP Prior-To Response APR. 19/17	
6	Issued for DP Prior-To Response APR. 03/17	
5	Issued for DP Prior-To Response FEB. 22/17	
4	Issued for DP Prior-To Response DEC. 7/16	
3	Issued for DP Prior-To Draft OCT. 26/16	
2	Issued for ADP MAR. 09/16	
1	Issued for DP JAN.18/16	



**PRIVATE ROOF PATIOS**  
Large private patios, with planted boundaries and views of the surrounding region. Large patios to have loose lobs.

**PLANTER BEDS**  
Planter beds, of mixed grasses, perennial and shrubs, along contain boundary edges for privacy and to soften the roof terraces.

**HYDRAPRESSED PAVERS**



Plant Schedule

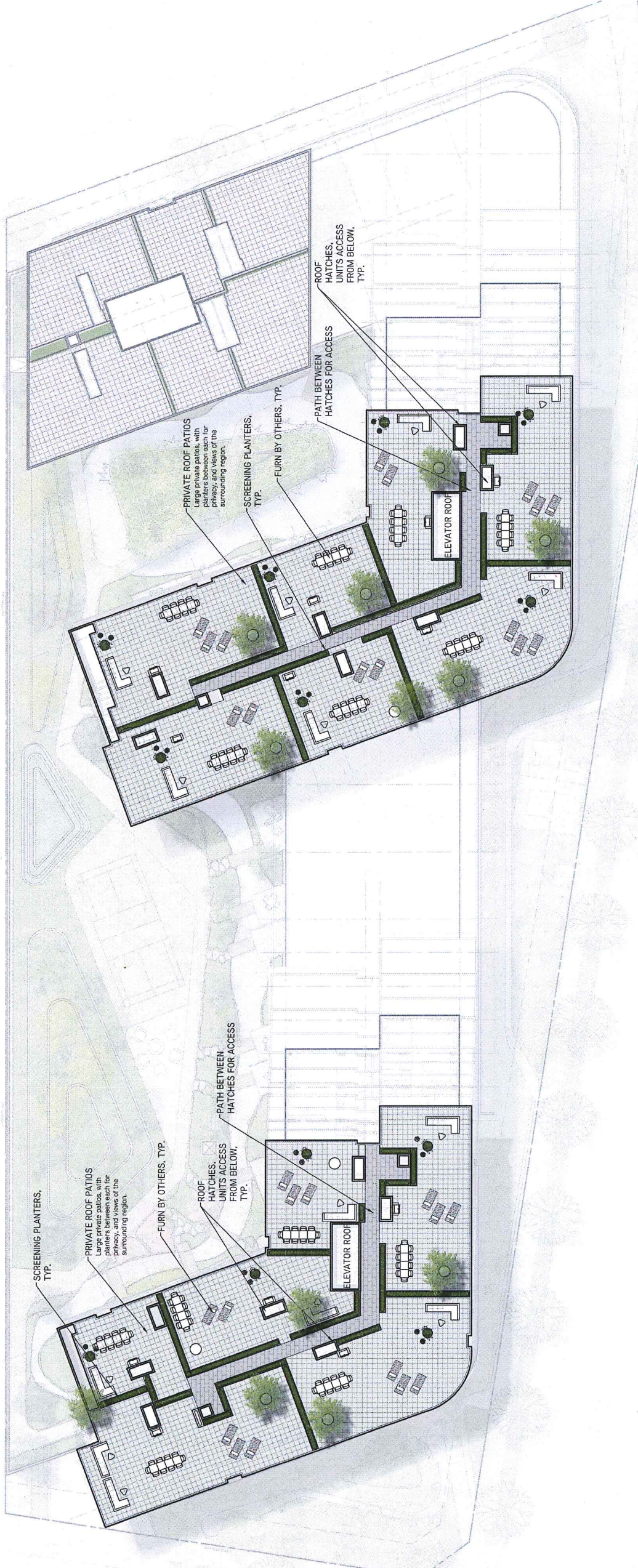
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
Bg	100	Bouteloua gracilis	Mosquito Grass	#1 Pot, 18" O.C.	Full
Dc	100	Deschampsia cespitosa	Tufted Hair Grass	#1 Pot, 18" O.C.	Full
Ln	60	Luzula nivea	Snowy Wood Rush	#1 Pot, 18" O.C.	Full
Pv	60	Panicum virgatum 'Shenandoah'	Switch Grass	#1 Pot, 18" O.C.	Full
Aj	25	Achillea millefolium	Common White Yarrow	#1 pot, 10" O.C.	Full
La	40	Lupinus arcticus	Arctic Lupin	#1 Pot, 10" O.C.	Full

Plant Schedule

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
Ru	25	Rudbeckia fulgida 'Goldstrum'	Goldstrum Coneflower	#1 Pot, 12" O.C.	Full
Sd	20	Spirea douglasii	Hardhack	#1 Pot, 18" O.C.	Full
Tv	20	Thymus vulgaris	Thyme	#1 Pot, 12" O.C.	Full

Notes

- All plant material to CLNA and BCSLA standards. Refer to the BCSLA Landscape Standard, latest edition.
- Area of search for plant material: Pacific Northwest, including British Columbia, Washington and Oregon.
- Refer to specification for general conditions, materials and installation requirements.
- All planted areas to have automatic irrigation.
- Large patios to have hose bibs.



DP 15-700007

JUN 14 2017

PLAN # 33

**HAPA**

Landscape Architecture  
Urban Design  
403 - 375 West Fifth Avenue  
Vancouver BC, V5T 1J6  
604 910 4150  
hapac@hapa.com

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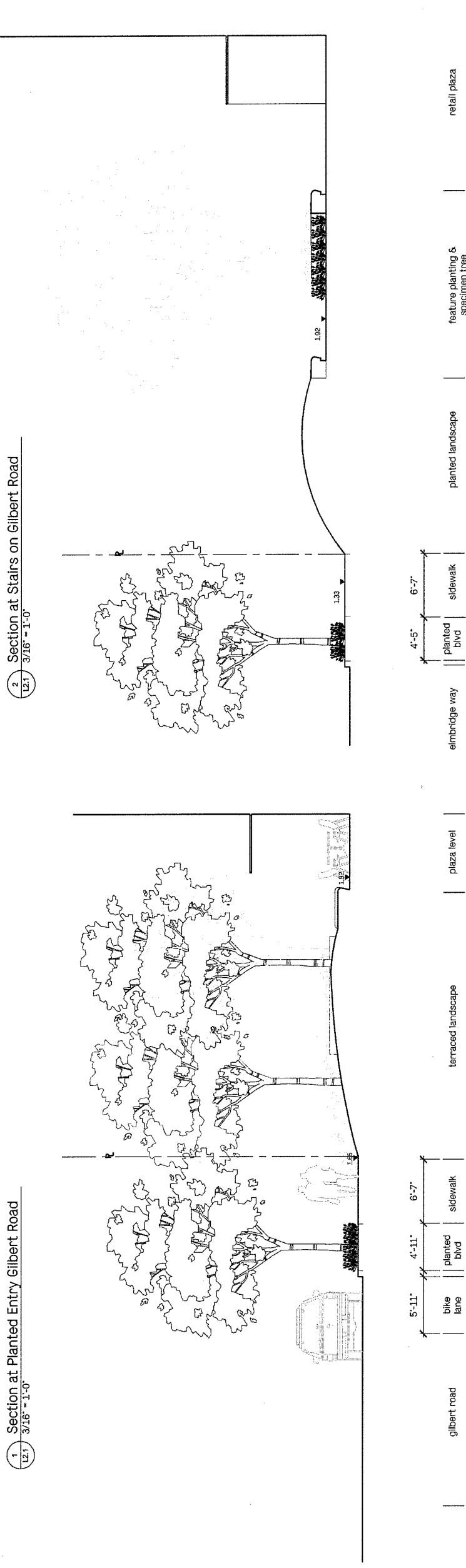
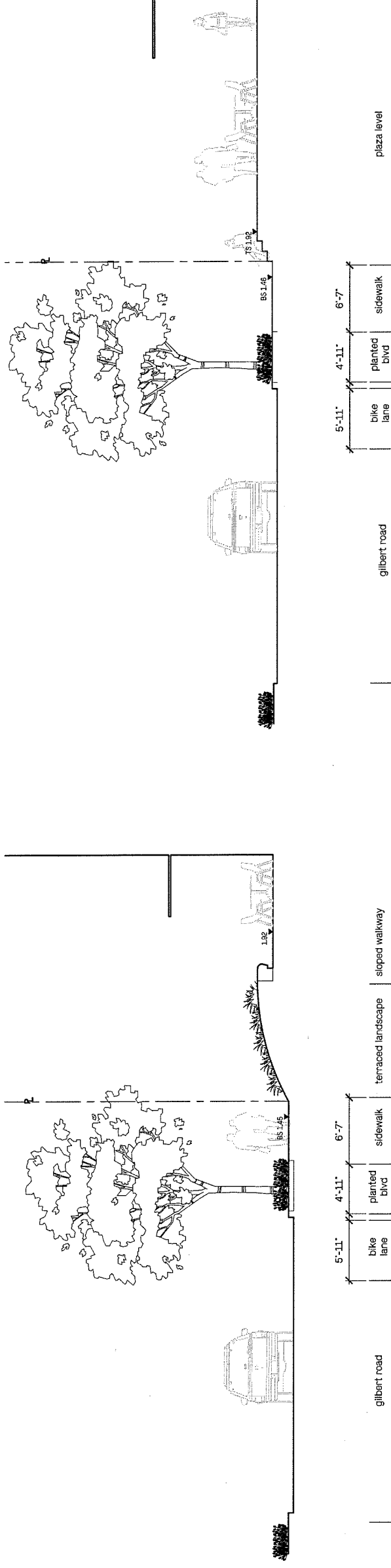
7100 ELMBRIDGE WAY  
RICHMOND, BC

ROOFTOP LEVEL  
LANDSCAPE PLAN

Date: MAR.09/2016 Drawing Number:  
Project No: 1504  
Scale: 1/16" = 1'-0"  
Drawn/Checked: VAK/JF  
**L1.5**

No.	Description	Date
7	Issued for DP Prior-To Response APR. 19/17	
6	Issued for DP Prior-To Response APR. 03/17	
5	Issued for DP Prior-To Response FEB. 22/17	
4	Issued for DP Prior-To Response DEC. 7/16	
3	Issued for DP Prior-To Draft OCT. 26/16	
2	Issued for ADP MAR. 09/16	
1	Issued for DP JAN.18/16	





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RICHMOND, BC

PLAZA LEVEL  
LANDSCAPE SECTIONS

Date: MAR.09/2016 Drawing Number:  
Project No.: 1504  
Scale: AS NOTED L2.1  
Drawn/Checked: B/W/J/F

No.	Description	Date
6	Issued for DP Prior-To Response	MAR. 03/17
5	Issued for DP Prior-To Response	FEB. 22/17
4	Issued for DP Prior-To Response	DEC. 7/16
3	Issued for DP Prior-To Draft	OCT. 26/16
2	Issued for ADP	MAR. 09/16
1	Issued for DP	JAN.18/16

# H A A

Landscape Architecture  
Urban Design

403 - 375 West Fifth Avenue  
Vancouver BC, V5T 1J6  
604 698 4150  
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PLAN # 35

JUN 14 2017

DP 15-700007

No.	Description	Date
6	Issued for DP Prior-To Response APR. 03/17	
5	Issued for DP Prior-To Response FEB. 22/17	
4	Issued for DP Prior-To Response DEC. 7/16	
3	Issued for DP Prior-To Draft OCT. 26/16	
2	Issued for ADP MAR. 09/16	
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RICHMOND, BC

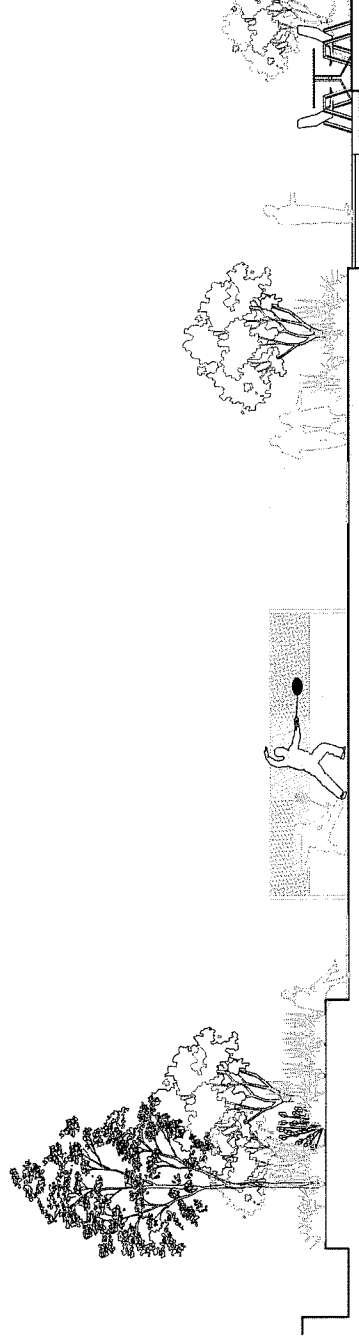
PODIUM LEVEL  
LANDSCAPE SECTIONS

Date: MAR.09.2018  
Project No.: 15004  
Scale: AS NOTED  
Drawing: L2.2  
Drawn/Checked: JH/JF



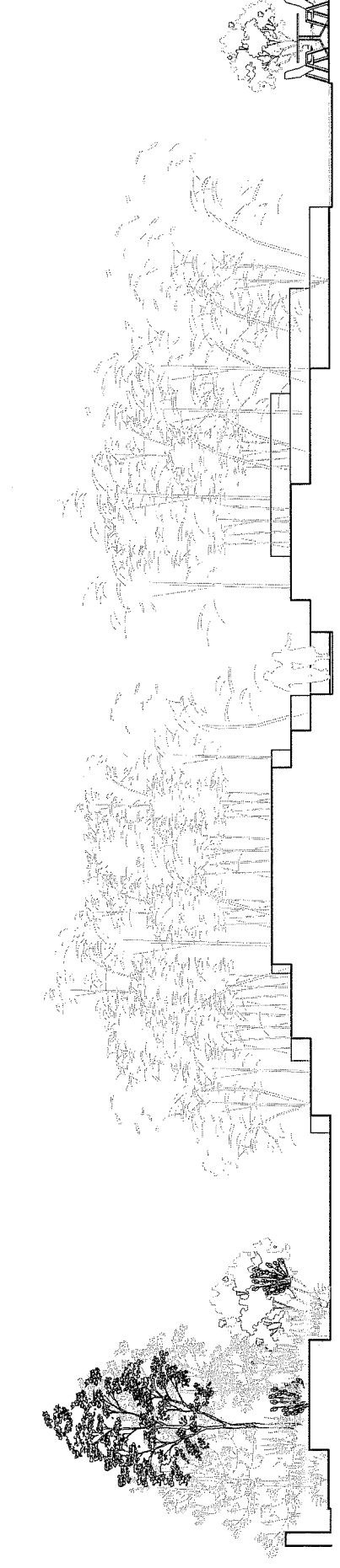
planted mound | sun lawn & sports area's | path | planting bed | residents patios & drystream

1 Typical Section Through Mound, Dragon Walk, Dry Stream  
L2.3 3/16" = 1'-0"



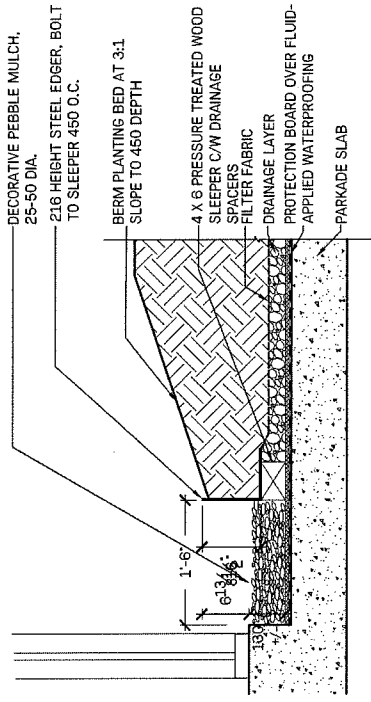
planted mound | sun lawn & sports area's | path | planting bed | residents patios & drystream

2 Section Through Lawn  
L2.3 3/16" = 1'-0"

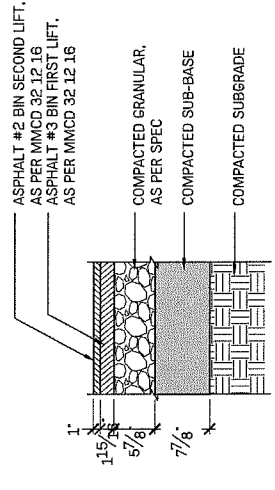


planted mound | dry stream | bamboo mountain | path | bamboo mountain | residents patios & drystream

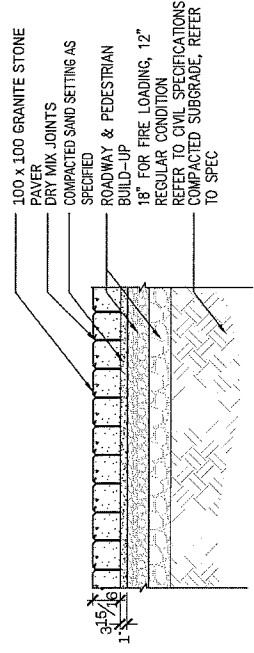
3 Section Through Bamboo Mountain  
L2.3 3/16" = 1'-0"



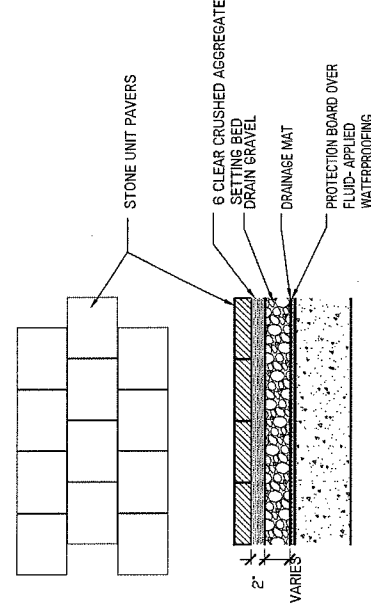
2 BUILDING EDGE TREATMENT  
1/8" 1'-1'-0"



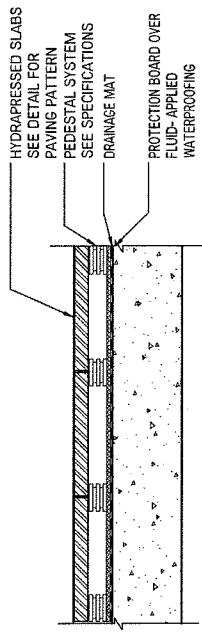
4 ASPHALT PAVING, TYP.  
1/8" 1'-1'-0"



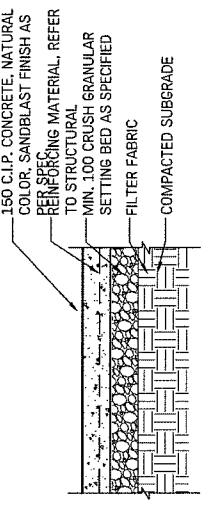
6 FEATURE GRANITE PAVERS  
1/8" 1'-1'-0"



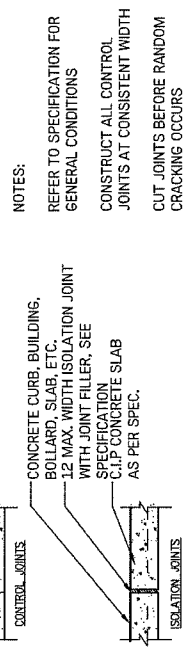
1 UNIT CONCRETE PAVERS, TYP.  
1/8" 1'-1'-0"



3 HYDRAPRESSED SLABS, TYP.  
1/8" 1'-1'-0"



5 CIP CONCRETE, TYP.  
1/8" 1'-1'-0"



NOTES:  
REFER TO SPECIFICATION FOR GENERAL CONDITIONS  
CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH  
CUT JOINTS BEFORE RANDOM CRACKING OCCURS

5 CIP CONCRETE, TYP.  
1/8" 1'-1'-0"

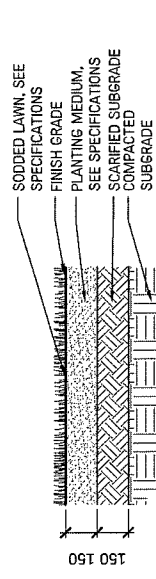
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RICHMOND, BC

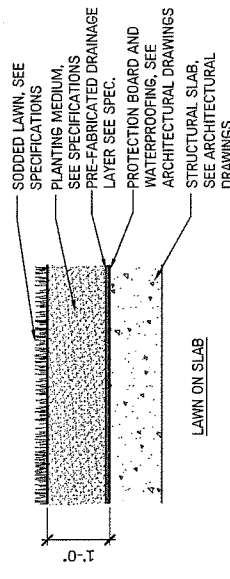
DETAILS  
PAVING

Date: MAR.09/2016  
Project No.: 1504  
Scale: SEE DRAWING  
Drawing No.: 13.1  
Drawing Name: DP/15-700007

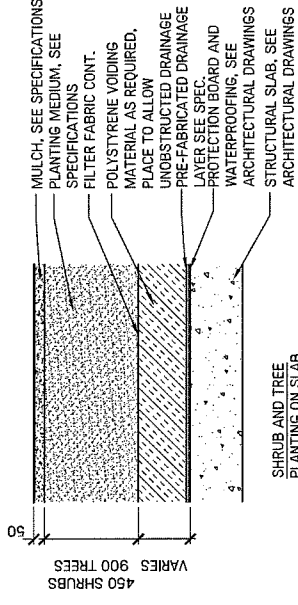
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5	Issued for DP Prior-To Response FEB. 22/17	
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3	Issued for DP Prior-To Draft OCT. 28/16	
2	Issued for ACP MAR. 09/16	
1	Issued for DP JAN.18/16	



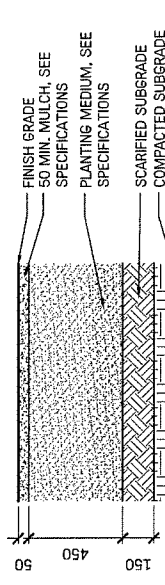
LAWN AREAS ON GRADE



LAWN ON SLAB

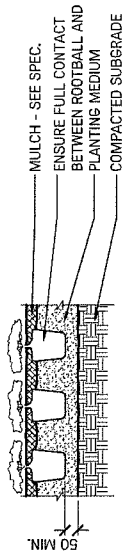
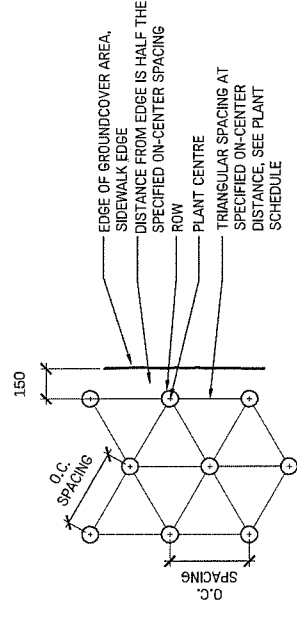


SHRUB AND TREE  
PLANTING ON SLAB

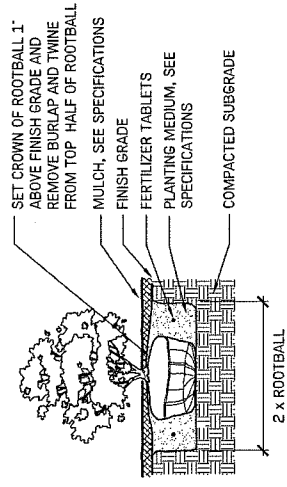


SHRUB PLANTING  
AREAS

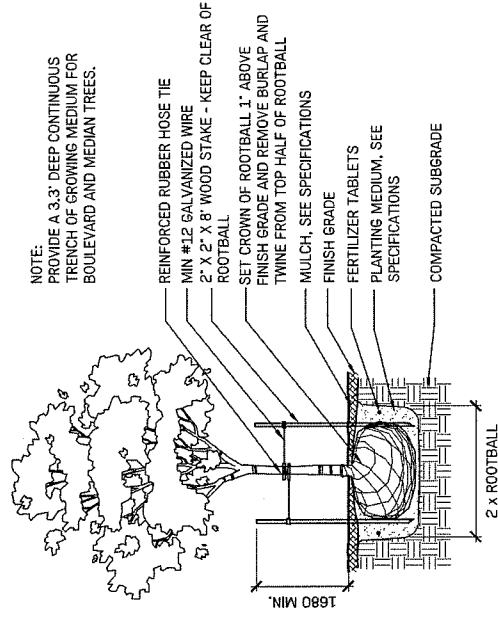
1 SOIL PROFILES  
L3.2 NTS



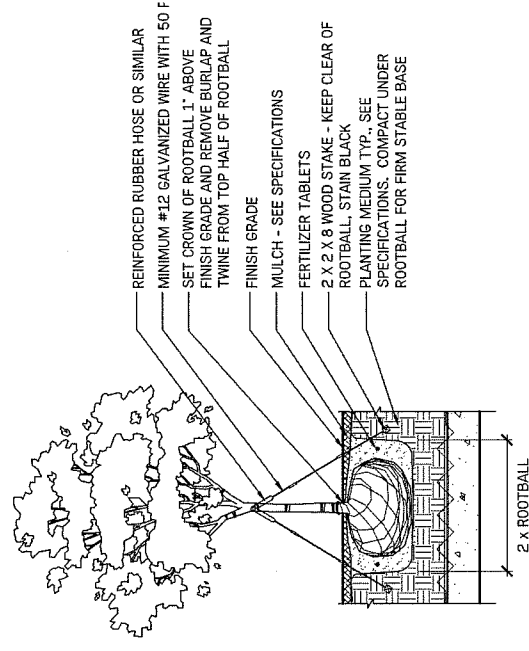
2 GROUND COVER PLANTING, TYP.  
L3.2 NTS



3 SHRUB PLANTING, TYP.  
L3.2 NTS

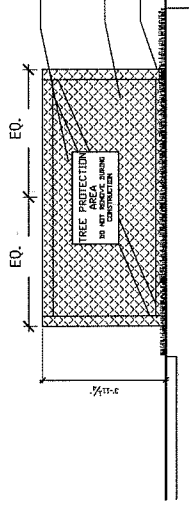


4 TREE PLANTING, TYP.  
L3.2 NTS



5 TREE PLANTING ON SLAB, TYP.  
L3.2 NTS

NOTES:  
REFER TO CITY OF VANCOUVER TREE PROTECTION BY-LAWS FOR STANDARD REQUIREMENTS.  
REFER TO TREE PROTECTION SPECIFICATION.  
900 X 450 WEATHERPROOF SIGN, TO VPB STANDARD. SEE SPEC.  
ORANGE PLASTIC SNOW FENCING, SECURE TO FRAME  
2 X 4 LUMBER FRAME WITH BRACING OR STEEL T-BAR POSTS STAKED 400mm MIN.



6 TREE PROTECTION FENCING  
L3.2

No.	Description	Date
6	Issued for DP Prior-To Response APR. 03/17	
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RICHMOND, BC

DETAILS  
PLANTING

Date	Project No.	Scale	Drawn/Checked/Title
MAR.09/2016	1504	AS NOTED	L3.2



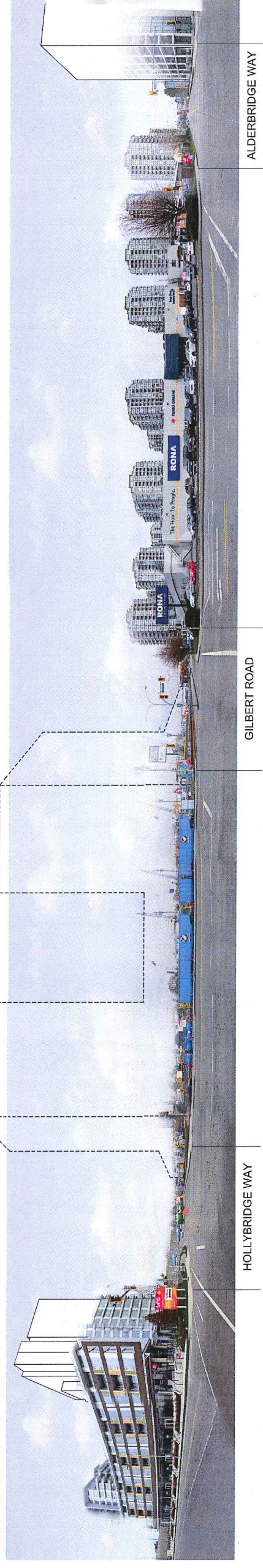








ELMBRIDGE WAY ELEVATION NORTH

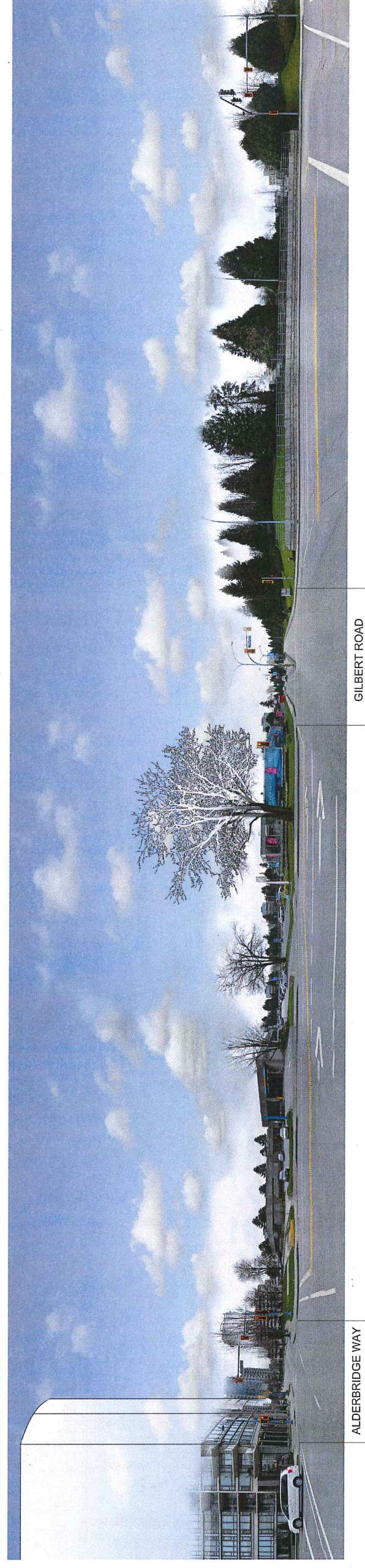


HOLLYBRIDGE WAY

GILBERT ROAD

ALDERBRIDGE WAY

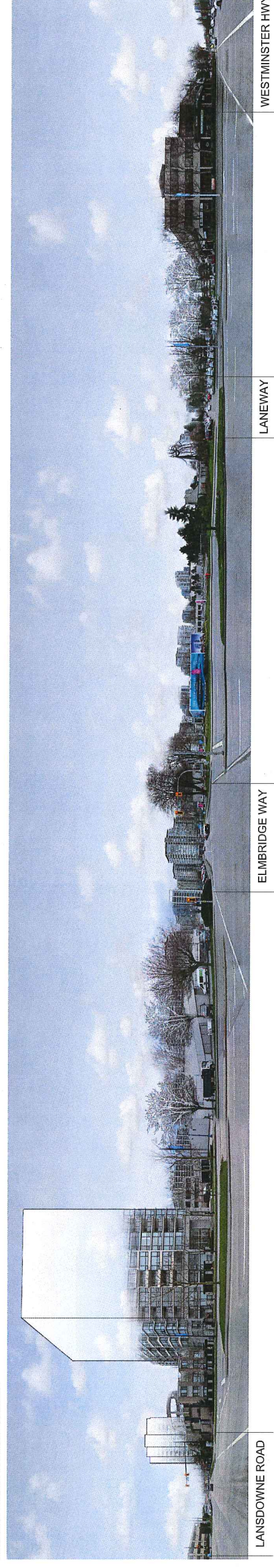
ELMBRIDGE WAY ELEVATION SOUTH



ALDERBRIDGE WAY

GILBERT ROAD

GILBERT ROAD ELEVATION EAST



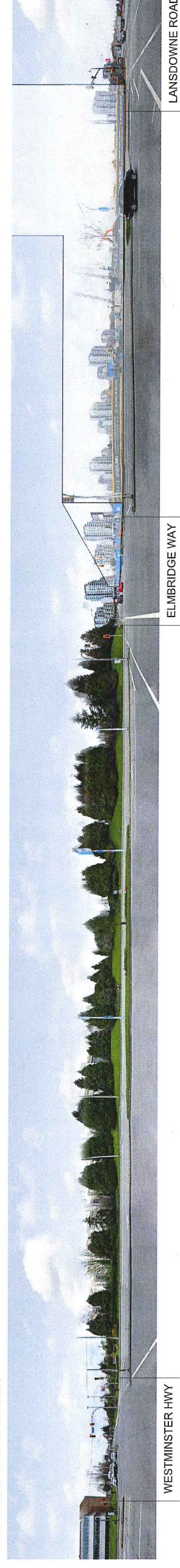
LANSOWNE ROAD

ELMBRIDGE WAY

LANEWAY

WESTMINSTER HWY

GILBERT ROAD ELEVATION WEST



WESTMINSTER HWY

ELMBRIDGE WAY

LANSOWNE ROAD



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DRAWN BY	CHK	INT	SCALE	DRAWING DATE
				2017/05/23

PROJECT  
 7100 Elmbriage Way  
 Richmond, BC  
 Canada

STREETSCAPE  
 PHOTOS

TITLE	PROJECT NUMBER	ISSUE NO.
	2017-103	1

DRAWING NUMBER  
A.005

NO.	DESCRIPTION	DATE	CHK
1	Development Permit Submission	10/27/2016	
2	REVISIONS		
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