



To: Development Permit Panel **Date:** September 9, 2012
From: Wayne Craig
Program Coordinator-Development **File:** DP 12-615424
Re: Application by Onni Contracting Ltd. for a Development Permit at
7731 and 7771 Alderbridge Way

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a 659-unit project in four (4), six-storey wood frame buildings over two (2) concrete parking structures located at 7731 and 7771 Alderbridge Way; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) Reduce the required exterior side yard setbacks for portions of partially below-grade parking structures on the proposed Lots 1 and 2 from 3.0 m to 0.0 m respectively along Cedarbridge Way and Gilbert Road;
 - (b) Reduce the required interior side yard setback for limited portions of partially-below grade parking structures from 1.5 m to 0.0 m along the west property line of the proposed Lot 1 and the east property line of the proposed Lot 2;
 - (c) Reduce the required visitor parking from 0.20 spaces/dwelling unit to 0.15 spaces/dwelling unit for the development as a whole; and
 - (d) Relax the requirement for the provision of on-site loading spaces for two (2) WB-17 loading spaces.


Wayne Craig
Program Coordinator-Development

MM:hlg
Att.

Staff Report

Origin

Onni Contracting Ltd. has applied to the City of Richmond for permission to develop a 659-unit project in four (4), six-storey wood frame buildings over two (2) concrete parking structures. Two (2) buildings will be located on top of one (1) large single storey parkade on proposed Lot 1 (West) and Lot 2 (East) on each side of a newly dedicated section of Cedarbridge Way.

The site is currently under application for rezoning from “Industrial Retail (IR1)” to “High Density Low Rise Apartments (RAH2)” (RZ 11-585209) to facilitate this Development Permit application. The applicable Zoning Amendment Bylaw No. 8884 has received third reading with the applicant currently completing the Rezoning Considerations.

As part of the Rezoning Considerations for the development, a Servicing Agreement is being registered on title that will secure the servicing and road works to be completed. No-build covenants are also required to ensure that the necessary servicing works and streets are constructed at the necessary times prior to issuance of building and occupancy permits for the four (4) proposed buildings.

Development Information

Of the 659 units proposed, Buildings 1 and 2, located on top of a parkade to the west of Cedarbridge Way, contain 340 units. Buildings 3 and 4, located on second parkade on the east of Cedarbridge Way, contain 319 units. Lot 1 is proposed to be developed first under a two (2) phase strata for Buildings 1 and 2. Subsequently, Lot 2 is proposed to be developed under a separate two (2) phase strata for Buildings 3 and 4. Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The existing two (2) lots within the subject site of 2.87 ha. (7.09 acres) were created in 1969 as part of the Brighthouse Industrial Estate subdivision along Alderbridge Way. Of note, the western lot was the site of the long-standing Stacey’s Furniture World and the eastern lot now includes a Tim Horton’s amongst numerous other smaller commercial and light industrial tenants.

The existing and proposed development surrounding the subject consolidated site is described as follows:

To the North, lies the former CPR line property which is now owned by the City and will form part of New River Road. Further to the north, one (1) large light industrial building is located on a site zoned as “Industrial Business (IB1).” This site is designated within the CCAP as part of a large future Riverfront Park.

To the South, lies Alderbridge Way with the former Grimm's sausage factory site on the south side of the street. This site is now zoned "Industrial Retail (IR1)" and is the subject of a current rezoning application to rezone the site to a "Residential Limited Commercial (RCL)" zone allow for a higher density, mixed-use development.

To the East, two (2) light industrial / retail buildings are located on site to the east of an adjacent lane and on a site zoned "Industrial Retail (IR1)".

To the West, the Gilbert Road approach to the Dinsmore Bridge forms the north-west boundary of the subject site. The remainder of the site is bounded by the former "V-Tech" building site which is zoned "Industrial Retail (IR1)."

Rezoning and Public Hearing Results

Public Hearings for the rezoning of this site were held on May 22, 2012 and June 18, 2012. At the Public Hearings, the following concerns about rezoning the property were expressed.

There were concerns raised by Tim Horton's Canada (TDL Group Corp.) and local franchise owner, Mr. Mike Raspberry, regarding the applicant's consultation with them on the existing lease for the Tim Horton's located in part of the large existing building at 7771 Alderbridge Way. As result of this concern, the following resolution PH/12 5-6 was made at the May 22, 2012 Public Hearing:

That, in relation to this rezoning, as a further condition of fourth reading of the Bylaw, that any leases registered on title, including the lease in favour of Tim Hortons Canada, would be discharged.

There was also a concern raised by raised in letters from by Ebco Industries Ltd. regarding view corridors mentioned in the Rezoning Staff Report on the project. Staff explained that this report text concerned the context site and potential views towards the north and was not granting any view corridors over the Ebco property. A letter was also sent to Ebco Industries in follow-up.

Following the May 22, 2012 Public Hearing, new information was brought forward by the applicant to staff and Council leading to the above resolution PH/12 5-6 being rescinded and with a second Public Hearing being held and Third Reading being given on June 18, 2012. At this second hearing, similar concerns were raised by TDL Group Corp. and Mike Raspberry and Ebco Industries. A representative from the Jones New York store at 7771 Alderbridge Way also noted they had not been consulted by the applicant. While the tenant concerns are private property matters, staff and Council urged the applicant to communicate with its tenants concerning the future plans for buildings on the project site.

After the second Public Hearing, Onni sent a letter to all of its tenants updating them on the development process, advising that 7731 Alderbridge Way (proposed Buildings 1 and 2 on Lot 1) is scheduled to be re-developed first. The letter also stated that re-development of 7771 Alderbridge Way (proposed Buildings 3 and 4 on Lot 2) was contingent on the rate of market absorption of the first two buildings.

Staff Comments

The proposed development scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, the proposal complies with the intent of the applicable sections of the Official Community Plan (OCP) and the CCAP which designates the site as “Urban Centre (25 m)” and includes the Sub-Area B.2 Mixed-Use Mid-Rise Residential and Limited Commercial Development Permit guidelines.

The proposed application is in compliance with the “High Density Low Rise Apartments (RAH2)” zone of City of Richmond Zoning Bylaw except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the required exterior side yard setbacks for portions of partially below-grade parking structures on the proposed Lots 1 and 2 from 3.0 m to 0.0 m respectively along Cedarbridge Way and Gilbert Road.

(Staff supports the proposed variance for the parkade setbacks on Lots 1 and 2 to the new Cedarbridge Way as the sections of parkade walls located at 0.0 m. are largely located below the Cedarbridge Way street grade where the east-west greenway crosses the street. Short sections of these parkade walls rise up to approximately 0.75 m (2.5 ft.) to meet adjacent terraced planter (see Architectural plan A0.7 and Landscape Plan L3.1).

Similar adjacent terraced planter walls are located between Building 2 and the Gilbert Road allowance property line on the proposed Lot 1 (see Architectural plans A3.04 and A3.06). There will be approximately 20 m (66 ft.) of slightly lower open space between the project property line and the future curb line within the Gilbert Road allowance. As discussed below in this report, the City will be constructing a plaza, pedestrian and cycling paths and locating a major public art work adjacent to this property line within the Gilbert Road allowance. This area will be raised to the level of Gilbert and River Roads which at a similar level to the base of the project’s landscape walls which are located in front of the parkade.

On both Cedarbridge Way and Gilbert Road, lowered parkade ceilings over bike parking and the front vehicle parking have been used to assist in accommodating these planters and hiding the parkade structures.)

- 2) Reduce the required interior side yard setback for limited portions of partially-below grade parking structures from 1.5 m to 0.0 m along the west property line of the proposed Lot 1 and the east property line of the proposed Lot 2;

(Staff supports the proposed variance for the parkade wall and interim retaining wall under Buildings 1 and 2 on the west side of the proposed Lot 1. The proposed retaining wall and parkade wall range from 0.0 m to approximately 2.5 m (8.2 ft.) in height above grade see Architectural plans A3.04 and A3.06).

This condition is largely the result of gradually raising the grade along the North-South greenway along the west side of the site up to the level of the intersecting East-West greenway at the centre of the proposed development site. Currently, there is an approximately 6.0 m (20 ft.) high concrete building located on the subject site with no setback to west property line. This building will be removed when the subject development commences. It is expected that the future development of the site to the west will butt into the parkade and meet the grade of the North-South greenway on the subject site as the greenway will also be provided on the adjacent property.)

(The second variance is for the parkade wall under Buildings 3 and 4 on the east side of the proposed Lot 2 adjacent to a 6.0m (20.0 ft.) lane. The wall ranges between approximately 2.0 m (8.2 ft.) to 3.0 m (9.8 ft.) in height above grade of the adjacent east lane. This condition is an interim condition as a future pedestrian path will be constructed within the east lane at a higher grade rising up to the level of the intersecting East-West greenway. An ultimate grading plan is included within the Development Permit plans that address this future raised pathway with planter walls not exceeding 1.2 m (4.0 ft.) against the final pedestrian pathway elevation (see Architectural plans A3.04 and A3.05). Staff have also discussed this proposed change of grade with the owners of the future development site to the east who will be required to construct the pathway over the current lane alignment as discussed above.)

- 3) Reduce the required visitor parking from 0.20 spaces /dwelling unit to 0.15 spaces /dwelling unit for the development as a whole.

(Staff supports this visitor parking reduction beyond the maximum 10% TDM reduction of 10% to 0.18 spaces/dwelling unit set out under the zoning bylaw. Of note, the TDM Rezoning Considerations allowed for an overall 7.5% reduction in total parking requirements (resident and visitor parking combined) which would allow for flexibility in allocating the 7.5% parking reduction between the resident and visitor parking. As the visitor parking is proposed to be reduced by 25% under the Development Permit (more than the 10% TDM maximum), a formal variance is required. The applicant has agreed to interconnect the visitor parkade intercoms and include parkade entrance signage allowing for visitor parking sharing for Buildings 1 / 2 and Buildings 3 / 4 so each parkade provides the 0.15 visitor spaces for the two buildings located above. This parking reduction was approved by City Transportation and results in having 51 visitor parking spaces located within the parkade on the proposed Lot 1 and 49 visitor spaces located within the parkade on the proposed Lot 2. The TDM package is discussed below in this report.)

- 4) To relax the requirement to provide two (2) large WB-17 loading spaces for the site.

(Staff supports the proposed variance as there will be four (4) medium SU9 loading spaces within the development site with one (1) space being located next to each building's lobby entrance off of Cedarbridge Way. While most moving and delivery trucks will be accommodated by the SU9 spaces on-site, City Transportation has also provided that they will offer temporary on-street loading permits near the building lobbies upon-request on occasion when very large semi-trailers need to load.

Advisory Design Panel Comments

The Advisory Design Panel reviewed the application on July 18, 2012. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

The developer will construct an entirely new River Road from Gilbert Road to the east side of the subject development site where the former CPR line is now located. This section will include two (2) eastbound and two (2) westbound lanes along with an adjacent bi-direction separate bike path and sidewalk immediately to the north of the development.

On the north side of the new River Road, the site containing existing light industrial buildings is designated for the new Riverfront Park in the CCAP. Upon creation of this park, the development will be afforded views of the park, and better views of the Middle Arm of the Fraser River and North Shore mountains in the distance.

There will be widening of the Alderbridge Way to the south, with new sidewalks and treed boulevards being constructed as part of the subject development.

To the west, the existing "V-Tech" building will remain until sometime in the future when the site is redeveloped. As a Greenway, connecting Alderbridge Way with Gilbert Road, is designated in the CCAP along the west property line of the site, the west-half of this greenway of at least 5.0 m (16.5 ft.) will be landscaped and included within a Statutory Right of Way (SROW) to complement the half width of the north-south greenway now being provided on the subject development. To the northwest, the applicant is required to construct the full curb to curb widening of Gilbert Road northward of approximately where this greenway intersects Gilbert Road.

To provide for an additional pedestrian pathway linking Alderbridge Way with New River Road within the wide block between Cedarbridge Way and Minoru Boulevard, Planning, Transportation, Parks and Engineering staff have agreed to close the northerly three-quarters of the lane immediately to the east of the site. With the current application, there will be reconstruction of the southern part of the current lane to the east along with registration of SROW for a sidewalk. The remaining northerly two-thirds of the lane will remain in its current state for the time being. At the time of redevelopment of the current warehouse building immediately to the east, this remaining section will be closed and re-grade and turned into another pedestrian link which will intersect the major East-West greenway crossing the subject and adjacent site. Lastly, Cedarbridge Way will be constructed as part of this application through the development site from Alderbridge Way to New River Road.

Urban Design and Site Planning

The proposed development is composed of a family of four (4) buildings centered on the extension of Cedarbridge Way from Alderbridge Way to the new River Road extension.

Buildings' Orientation: The four (4) buildings have a similar U-shaped building form three (3) sides around the garden courtyards for each building that rises between four (4) to six (6) storeys

above street grade. Differentiation amongst the buildings has been achieved by mainly varying the orientation of the “U” shaped buildings and courtyard openings while differentiating the materials and small-scale facade articulation between Buildings 1 and 4 facing Alderbridge Way and Buildings 2 and 3 facing the New River Road.

View Corridors: View corridors are particularly important due to the proposed riverfront park being developed immediately to the north, and the distant mountain views to the north over the existing warehouses which occupy the site of the future Riverfront Park. The spacing between the buildings across Cedarbridge Way allows for good view corridors north-south and sunlight penetration.

East-West Greenway: The CCAP’s envisioned east-west greenway connects the Oval Village local commercial and major recreational destinations to the Aberdeen Village Commercial and Arts District. The applicant has addressed these components to the satisfaction of Planning, Transportation and Parks Department staff.

The separation between the buildings averages approximately 22 m (72.5 ft.) along the greenway, leaving sufficient area for ground floor patios and common strata property on each side. The greenway will include a 3.5 m (11.5 ft.) wide hard-surfaced public path that extends from the east to the west boundaries of the development, crossing Cedarbridge Way in the centre of the development site. The greenway also includes landscaping on both sides of the hard-surface pathway.

North-South Greenway: This greenway, extending from north to south on the west side of the proposed west Lot 1, will include a 3.5 m (11.5 ft.) hard-surfaced public path which intersects the west end of the east-west greenway. The greenway also includes landscaping on the east of the hard surface path within the 5.0m (16.5 ft.) SROW for east half of the greenway being constructed for the subject development. The future development of the “V-Tech” site to the west will be required to provide the remaining landscaping within a further a 5.0m (16.5 ft.) SROW, thus completing the west side of the north-south greenway.

Gilbert Road Boulevard and Greenway: The development of the greenway on the east side of the very wide unused Gilbert Road allowance, a prominent gateway to the City Centre, remains to be finalized. Given that there will be approximately 20 m (66 ft.) of open space between the project property line and the future Gilbert Road curb in this high visibility area, a plaza, pedestrian and cycling paths, lighting, significant tree planting and a major \$350,000 Landmark Public Art piece is included under the project’s Public Art Plan.

Parking and Transportation Demand Management (TDM): The proposed project includes a total of 871 parking spaces with 462 spaces (including 51 visitor spaces) in the parkade on Lot 1 for Buildings 1 and 2, and 409 spaces (including 49 visitor spaces) within the parkade on Lot 2 for Buildings 3 and 4 (See Architectural plans for full parking statistics). While there are 192 proposed tandem parking spaces, there will be a covenant register on title ensuring that each pair of tandem parking spaces is assigned to the same dwelling unit.

While there is one (1) parkade under Buildings 1 / 2 on Lot 1 and one (1) parkade under Buildings 3 / 4 on Lot 2, each building has its own parkade entrance and adjacent partitioned visitor parking area. Buildings 1 and 2 on Lot 2 have parkade entrances from the west side of Cedarbridge Way. The parkade for Building 3 is located on the east side of Cedarbridge Way while the entrance to the Building 4 parkade is from the east lane near Cedarbridge Way.

The parking includes a combined visitor and resident parking reduction of 7.5% below the parking requirements set out in Zoning Bylaw 8500 subject to the provision of TDM measures included in the Rezoning Considerations (see attached Development Reference Plans). This combined parking TDM reduction includes visitor parking being reduced by 25% from 0.20 to 0.15 spaces/unit on each of Lot 1 (Buildings 1 & 2) and Lot 2 (Buildings 3 & 4) as discussed in the variance section above.

In lieu of this reduction, the City accepts the Developer's offer to voluntarily:

- Contribute \$100,000 to the City for the construction of a 3.0 m (9.8 ft.) bike/pedestrian pathway along the east side of Gilbert Road from the southern end of the applicant's required frontage improvements to Lansdowne Road. (Not eligible for DCC credits.)
- Contribute \$25,000 to the City for a City Centre-type bus shelter. (Not eligible for DCC credits.)
- Enter into an agreement with the City to ensure that the electrical vehicle and bicycle plug-ins be provided as a condition of issuance of the City building and occupancy permits for each building. This will include provision of 20% of the total resident parking spaces in each parkade with electric service for vehicle plug-ins with conduits, circuits breakers and wiring (actual outlets to be provided later by strata owners). Provision of one (1) standard 120 volt electric plug-in for every forty (40) resident bicycle parking spaces.

It should be noted that there will be also on-street parking provided on Cedarbridge Way throughout the day and off-peak on-street parking on Alderbridge Way and River Road over the short to intermediate term.

Bicycle Parking: The proposed project includes a total of 860 resident bicycle parking spaces with 424 resident spaces in the parkade and 68 surface visitor spaces for Buildings 1 and 2; and 436 resident spaces within the parkade and 64 surface visitor spaces for Buildings 3 and 4. The resident and visitor bicycle parking provided meets the minimum requirements of Zoning Bylaw 8500.

Loading Space Requirements: Section 7.13 of Zoning Bylaw 8500 requires that one medium-sized (1) SU9 off-street loading space be provided for each building and one large (1) off-street WB 17 (17 m trucks) loading space be provided for every two (2) buildings. The applicant has accommodated the four (4) required SU9 loading spaces on either side of the East-West greenway junction with Cedarbridge Way. Given the low frequency of use of such large WB17 trucks in a purely residential project, staff supports a variance to relax this requirement as discussed above.

Recycling and Garbage: Each parkade services a pair of buildings and includes one (1) large recycling / garbage room and garbage compactor meeting the size and access requirements of the City's Sanitation Division. However, given the long distance between these rooms and loading bays where recycling trucks will pick-up and given there are over 300 units serviced by each room, the Sanitation Division is requesting that the applicant provide suitable golf carts for recycling movement for each building. The applicant is required to post a security with the City for the provision of these golf carts prior to Development Permit issuance.

Architectural Form and Character

Key Street Walls: This development expresses itself with continuous street walls on Alderbridge Way and New River Road which are two (2) of the major curvilinear streets in the City Centre. The development's units face streets with stairs and entrance doors with design techniques to deliver a townhouse character. As well, the use of stepped patio and landscaped terraces reduce the appearance of the grade difference.

Street Frontage Elevations: The current Alderbridge Way elevation is lower at 1.5 m (4.9 ft.) compared to the New River Road which is located at 2.6 m (8.6 ft.) geodetic elevation. This elevation difference results in a 2.5 m (8.2 ft.) grade difference between Alderbridge Way and the first floor of the adjoining units. To address this grade difference, the patios have been located 1.5 m (4.9 ft.) above street level instead of at the unit ground floor level of 2.5 m (8.2 ft.) above the street. To achieve this grade transition, the stairs have been broken into two (2) sections. Also, cladding materials have been extended over the upper part of the parkade that lies between the unit's floors and the patios, further reducing the appearance of the grade different between street and unit levels. Terraced planters have been located between the unit patios and street level.

The grade difference of approximately 1.4 m (4.6 ft.) on New River Road and Gilbert Road presents far less of a challenge and has been well addressed through the use of terraced planters located between the unit patios and street level. Lastly, Cedarbridge Way begins at the lower Alderbridge Way grade rising to being level with the ground floor of the buildings and the East-West greenway and then falling again to the River Road grade.

Individual tower-like elements have been included at corners of all four (4) buildings to anchor the buildings at the intersections of Cedarbridge Way with Alderbridge Way and the east-west greenway. Also, a prominent tower element has been included at the north-west corner of Building 2 given the prominent view of this building from the adjacent Gilbert and River Roads.

Building Height and Rooflines: Each of the four (4) buildings rises to six (6) storeys in height. The buildings include terraces downward to as low as four (4) storeys to provide for a variety of building form and larger decks for some of the units on the top two (2) floors of each building. The use of inverse gable or butterfly roofs and higher ceilings for the sixth floor in each building provides variety to building masses while also maintaining continuity within the family of buildings in the proposed development.

Building Materials and Articulation: While the buildings are similar, the use of varied architectural building frames, balcony forms, materials, and wall articulation have been utilized to provide for further differentiation between the buildings. Facing Alderbridge Way, Building 1 has a fibre-cement cladding materials with darker brown and grey colours while Building 4 includes both fibre-cement metal panelling with generally brighter colours, including orange.

Facing River Road, Buildings 2 and 3 are designed with more of a mid-20th modernist style with bolder frames, more simple articulation and use of lighter coloured fibre panelling that appears to read as stone in Building 2 and read as concrete in Building 3.

In summary, the massing, articulation, and materials give these wood-frame buildings the appearance of concrete buildings with varied characters.

On-Site Landscape and Amenity Space Design

On-Site Outdoor Amenity: As noted above, the “U” shape buildings provide for large semi-private courtyards while maintaining highly visible smaller water features which provide variety to gardens and create attractive transitions from the semi-private courtyards to adjacent public streets. The typical width of the courtyards from building face to building face is approximately 35 m (115 ft.) which provides privacy and ample room for on-site outdoor amenities and patios for each ground floor unit.

The applicant has responded to staff’s concern about having enlarged play areas included within the courtyards of Buildings 1, 2 and 4 on either side of Cedarbridge Way. Multi-purpose amenity/BBQ areas are provided for the Buildings 1 and 2 courtyards while community garden plots are provided in the Building 2, 3 and 4 courtyards.

The OCP includes on-site open space guidelines for active uses including socializing, children’s play and related use. The additional CCAP guidelines provide for on-site walkways, planting, garden plots, etc. The development includes approximately 5,176 m² (55,714 ft.²) of such on-site socializing areas.

Common Indoor Amenity: A shared indoor amenity space of approximately 951 m² (10,235 ft²) within Building 1, which includes an indoor swimming pool, will open up on a large common courtyard patio. There will also be small meeting rooms of approximately 21m² (230 ft²) in each of Buildings 3 and 4. There will be registration of a reciprocal access easement on the proposed Lots 1 and 2 to ensure that the large proposed indoor recreation space in Building 1 is accessible to all building residents and is constructed in the first phase.

Private Outdoor Amenity: As provided under the OCP DPA guidelines on the minimum private amenity space requirements, the architect has confirmed that each ground level unit has been provided with at least 24 m² (258 ft.²) of patio space and each upper floor unit has been provided with at least 6 m² (65 ft.²) of deck space.

Trees: Of note, while there are no trees on the subject site, staff have requested and reviewed an arborist’s report confirming that the proposed buildings and north-south greenway with a retaining wall (discussed earlier in the report) will not adversely affect several significant trees on the adjacent property to the west.

Summary: In summary, staff feels that the applicant has gone a long way to developing a wood-frame project that has the modern, urban character desired for the City Centre and which responds well to the CCAP’s DPA design guidelines. Particularly, the applicant has responded well to staff and the ADP recommendations to apply high quality, durable materials and undertake modifications to the detailed design of the buildings.

Crime Prevention Through Environmental Design

Casual surveillance of the public streets is provided by the ground-orientated units with individual patios between 1.2 m (4.0 ft.) and 1.5 m (5.0 ft.) above the public sidewalks and front doors facing the streets. The average 22.0 m (72 .5 ft.) spacing between buildings along the east-west greenway provides for sufficient building separation, but also provides for surveillance from the units on the first four (4) floors of the adjacent buildings which are placed at an average setback of 6.0 m (20 ft.) from each side of the 10 m (33 ft.) greenway right-of-way.

Proposed street lighting and on-site lighting fixtures provide for safe pedestrian circulation from streets and along both of the east-west and north-south greenways. The City Centre’s modern “Type 8” lamp standards with “Hestia” style light fixtures are provided on both the greenways and streets. These fixture are outfitted to provide for white light and in such a way to prevent ambient light pollution that conflicts with neighbouring apartment units.

Special attention has been given to open-up the greenway intersections where they intersect with public streets. In particular, the intersection of the east-west greenway with Cedarbridge Way has been opened up to create mini-plazas on each side of Cedarbridge Way by shifting planters and loading spaces away from the greenway. These mini plazas include the four (4) SU9 loading which can read and appear as part of the mini plazas when not occupied by loading trucks.

Public streets and greenways and the semi-public spaces (building courtyards) have been well defined and highly visible from the private patios and decks. Symbolic barriers have been incorporated through changes in vegetation, grade and landscape features. (e.g. low walls, fences and trellises).

Accessibility

The proposed 528 Basic Universal Accessible Housing units are each designated throughout the buildings plans on the attached Development Permit architectural plans which confirm the units meeting all of the accessibility requirements under Section 4.16 of Zoning Bylaw 8500. Compliance with the design requirements will be re-confirmed through the Building Permit process.

Affordable Housing

Following the City’s Affordable Housing Policy, the applicant will be providing 40 affordable housing (low-end market rental) to the satisfaction of the City. The affordable housing units will have a total combined habitable area of at least 5% of the residential floor area ratio (FAR) permitted (not including hallways and common areas) with a minimum 30,931 ft.² combined habitable area to be provided in the assigned buildings planned to be developed in Buildings 1, 3 and 4 as follows:

Location	1 Bedroom	2 Bedroom	Total
Building 1	4	5	9
Building 3	0	8	8
Building 4	8	15	23
Overall Total	12	28	40

The affordable housing units are located on in Buildings 1, 3 and 4 and are designated on the attached Development Permit Architectural Plans which is included under Affordable Housing Bylaw 8936 considered by Planning Committee on September 5, 2012.

Noise Related Aspects of the Proposal

A restrictive covenant is being registered requiring that prior to the Development Permit being issued, the applicant is required to provide reports by a registered professional qualified in acoustics identifying the measures needed to satisfy the “Noise Management” standards set out in the OCP. As the site is temporarily situated in a transitional industrial area and may be subject to noises not typical of other residential neighbourhoods, a covenant was registered on title during the rezoning phase, on this regard.

Public Art

The City has accepted the applicant’s offer to voluntarily provide \$440,411 to Richmond’s Public Art Program. This amount includes a cash contribution of \$139,700 to be provided to the City’s Public Art Reserve Fund for a Landmark Art piece and providing a security to the City for \$300,711 for other Public Art with locations generally shown on sheet L.1.8 of the landscape plans. The applicant has submitted a detailed Public Art Plan which will be reviewed and need to be accepted by Planning and Public Art staff.

District Energy Utility (DEU)

The applicant has agreed to commit to connecting to the proposed City Centre DEU. The DEU terms will be finalized as a Rezoning Consideration include:

- Design and construction of the development’s buildings to facilitate hook-up to a DEU system (e.g., hydronic water-based heating system); and
- Entering into a Service Provision Agreement(s) and statutory right-of-way(s) and/or alternative legal agreements, to the satisfaction of the City.

Sustainability

The applicant has committed to meet the Canadian Green Building Council LEED Silver 2009 criteria . In this regard, Stantec, providing LEED consulting services for the project, has provided the LEED Scorecard confirming how the project meets LEED Silver criteria. A letter of assurance will be required prior to issuance of an occupancy permit for each building confirming meeting the LEED Silver score. The proposed project includes at least 50 points with up to a possible 54 points within the LEED Silver category of 50 to 59 points.

The CCAP requires two LEED criteria to be met, including *Heat Island Effect: Roof Credit* and *Storm Water Management Credit* which have both been met. Other sustainability measures, contained within the development include:

- Permeable pavers have been applied in pedestrian pathways areas to allow for storm water infiltration, and less storm runoff;
- Water efficient landscaping with planting is drought tolerant and many are native species, reducing water use by 50%;

- Domestic water use reduction, including use of low flow fixtures will be specified to conserve water;
- Optimize energy performance with a 25% to 56% energy cost savings;
- Construction waste management, diverting 50% to 75% of waste to recycling; and
- Use of low-emitting interior finishing materials such as adhesives, sealants, paints and carpets.

Conclusions

Issues identified during the Development Permit Application design review process have been considered and addressed, including staff and Advisory Design Panel comments regarding adjacencies and landscape design. In summary, the development:

- Forms a distinctive, modern, wood-frame, high-quality, high-density yet low-rise part of to the Lansdowne Village neighbourhood;
- Completes important sections of the major road network in the CCAP including New River Road east of Gilbert Road and the extension of Cedarbridge Way to New River Road; and
- Provides the first significant section of the major east-west and north-south greenways that will connect Lansdowne Village to the rest of the City Centre.

Therefore, staff recommends support for this Development Permit Application.



Mark McMullen
Senior Coordinator-Major Projects
(604-276-4173)

MM:blg

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt of Minutes from July 18, 2012 Meeting of the Advisory Design Panel

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$826,437 based on an estimate provided by the landscape architect.
- Receipt of security for one (1) recycling golf cart for each of the two (2) parkade recycling/garbage rooms in an amount to secure purchase of such vehicles to the satisfaction of the City.

- The applicant is required to retain a registered professional who is qualified in the design and installation of an air condition, or an alternative cooling system that meets the ASHRAE 55-2004 standard, or subsequent updates as they may occur. Further, the retained registered professional is to certify that any required noise insulation measures have been installed according to the report's recommendations before the building may obtain an Occupancy Permit. Maximum noise levels (decibels) within the dwelling units must be as follows:

Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

Prior to future Building Permit issuance, the developer is required to complete the following:

- Address possible changes to the width, material and elevation of the greenway crosswalk at Cedarbridge Way under the Servicing Agreement to the satisfaction of the City's Planning, Transportation and Parks Departments.
- Incorporation of the above-noted acoustical report's recommendations into the BP drawings.
- Confirmation of accessibility measures under Section 4.16 of Zoning Bylaw 8500 being incorporated into BP drawings for the designated 528 Universal Accessible Units.
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/tp/special.htm>).

Attachment 1

Development Application Data Sheet



City of Richmond
6911 No. 3 Road
Richmond, BC, V6Y 2C1
www.richmond.ca

Development Applications Division

RZ 11-585209

Address: 7731 & 7771 Alderbridge Way

Applicant/Owner: Onni Contracting Ltd.

Owner: Onni 7731 Alderbridge Way Holding Corp. & 7771 Alderbridge Way Holding Corp.

Planning Area(s): City Centre Area (Lansdowne Village)

Floor Area: No change is proposed in maximum permitted floor area or density

	Bylaw Requirement	Proposed Development	Variance
Lot Size (Min.)	<ul style="list-style-type: none"> 2400 m² (25,833 ft²) 	<ul style="list-style-type: none"> Lot 1: 13,288.40 m² (143,040 ft²) Lot 2: 11,885.75 m² (127,937 ft²) 	<ul style="list-style-type: none"> None
Lot Coverage (Max.)	<ul style="list-style-type: none"> 60% for buildings 80% for building and non porous surfaces 	<ul style="list-style-type: none"> Lot 1: building footprint: 45% non-porous surfaces: 69.5% Lot 2: building footprint: 45% non-porous surface: 70.3% 	<ul style="list-style-type: none"> None
FAR	<ul style="list-style-type: none"> 1.2, up to 2.0 FAR of the total site with provision of 5% of total floor area for affordable housing units. 	<ul style="list-style-type: none"> 2.0 FAR of the total site with 20 m Cedarbridge dedication and 5% affordable housing as per the RAH2 zone and Zoning Amendment Bylaw No. 8884 text not deducted. 	<ul style="list-style-type: none"> None
Habitable Floor Elevation (Min.)	<ul style="list-style-type: none"> Residential: 2.9 m geodetic 	<ul style="list-style-type: none"> Residential: 4.064 m geodetic Local exception permitted for one (1) lobby per building. 	<ul style="list-style-type: none"> None
Height (Max.)	<ul style="list-style-type: none"> 25 m, but with specific areas allowing up to 35 m as outlined in CCAP. 	<ul style="list-style-type: none"> Varies, but less than 25 m above finished grade in all cases. 	<ul style="list-style-type: none"> None

	Bylaw Requirement	Proposed Development	Variance
Setbacks (Min.)	<ul style="list-style-type: none"> a) 3.0m @ Alderbridge P/L b) 1.5m @ East Lane P/L c) 3.0m @ River Road P/L d) 3.0m @ Cedarbridge P/L e) 3.0m @ Gilbert P/L f) 1.5m @ West Side P/L 	<ul style="list-style-type: none"> a) 4.8 m for Building 1 and 5.3 m Building 4 @ Alderbridge from PROP b) 0.0m @ East Lane P/L for parkade c) 3.0m @ River Road P/L d) 0.0m @ Cedarbridge Way P/L for parkade e) 0.0m @ Gilbert Road P/L f) 0.0m @ West Side P/L for parkade <p>Based on setback to PROP/SROW on Alderbridge Way; setbacks from the actual property lines are greater.</p>	<ul style="list-style-type: none"> • DVP for interior side west P/L on Lot 1 and east P/L on Lot 2 on from 1.5m to 0.0 m; exterior side for Gilbert Road for Lot 1 and exterior side for Cedarbridge Way for Lots 1 and 2
Off-Street Parking	<p><u>Lot 1: Parkade (Bldgs1/2): 475</u></p> <p>Min Residents/affordable: 407 (max small car: 50%) Min Visitors: 0.2/unit: 68</p> <p>(With maximum 7.5% TDM overall reduction)</p> <p><u>Lot 2 Parkade: (Bldgs 3/4): 438</u></p> <p>Min Residents/affordable: 374 (max small car 50%:) Min Visitors: 0.2/unit: 64</p> <p><i>(Before maximum 7.5% TDM overall reduction and 25% visitor reduction to 0.15 spaces/unit)</i></p>	<p><u>Lot 1: Parkade (Bldgs1/2): 462</u></p> <p>Residents/Affordable: 411 (small car: 49%) Visitors: 51</p> <p><u>Lot 2: Parkade (Bldgs3/4): 409</u></p> <p>Residents/Affordable: 360 (small car: 50%) Visitors: 49</p> <p><i>(With maximum 7.5% TDM overall reduction and 25% visitor reduction to 0.15 spaces/unit)</i></p>	<p>DVP to reduce visitor parking to 0.15 spaces/dwelling unit.</p>
Bicycle Parking	<p><u>Lot 1: Parkade (Bldgs1/2)</u></p> <ul style="list-style-type: none"> • Resident (1.25/unit): 425 • Visitor (0.2/unit): 68 <p><u>Lot 2: Parkade (Bldgs1/2)</u></p> <ul style="list-style-type: none"> • Resident (1.25/unit): 425 • Visitor (0.2/unit): 68 	<p><u>Lot 1: Parkade (Bldgs1/2)</u></p> <ul style="list-style-type: none"> • Resident (1.25/unit): 399 • Visitor (0.2/unit): 68 <p><u>Lot 2: Parkade (Bldgs1/2)</u></p> <ul style="list-style-type: none"> • Resident (1.25/unit): 436 • Visitor (0.2/unit): 64 	<ul style="list-style-type: none"> • None
Loading	<ul style="list-style-type: none"> • 2 medium; 2 large with one being provided for each building with sizes as per Section 7.10.2. To be on-site. 	<ul style="list-style-type: none"> • Required 4 SU9 loading spaces with 1 provided for each of the four buildings. 	<ul style="list-style-type: none"> • DVP to relax the requirement for 2 WB 17 spaces required.

Attachment 2

Excerpt from the Minutes from The Design Panel Meeting

Wednesday, July 18, 2012 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

Panel Discussion

Comments from the Panel were as follows:

- like the roof design, i.e. the butterfly roofs with four different forms and facing different directions; appealing feel for the neighbouring towers and from River Road;

Butterfly roofs are a distinguishing characteristic of the project and serve to unify all four buildings.

- four forms are similar in height and mass and a lot of detail has been introduced to differentiate the four forms; differences are not just in colour and materials but also in forms and details; four forms have subtle differences; applicant has addressed a previous comment of the Panel to differentiate the building in terms of colour and texture;

We have worked with the Staff and the preliminary ADP comments to further differentiate the four buildings in terms of massing and material treatment.

- concern on heat gain on metal panel system and the use of dark colours in Building 4; however, appreciate the right balance in the use of bright colours in small and different areas in comparison to the two field colours;

Metal panels will be properly detailed to ensure heat gain is minimized and ventilation is provided behind panels.

- model presented by the applicant should have been a coloured model; use of materials should have been shown in the model to show the significant and minute details as it would be difficult to see them in the elevations and renderings;

3D views were supplied to suggest materiality of each of the buildings.

- there are a lot of community gardens in the project; like its use in the project but not in the smaller courtyards, i.e. in Buildings 2, 3 and 4; garden plots will diminish the usable space for residents due to their limited use during certain seasons of the year, e.g. during winter when they are mostly dormant and visually unappealing; consider scaling back the community gardens in the courtyards;

Community gardens have been slightly scaled back to make room for other amenities in two of the courtyards. Community gardens can be made to stay more attractive through strata regulations and the use of a management company.

- concern on the central intersection between the roadway and greenway due to truck loading; consider having more intricate pattern for the pavers, e.g. by using two different materials and textures;

Landscape paving patterns have been updated to provide more clear distinction between the different areas. Planting has also been used to establish separation.

- overall, support the project;

Noted

- hope to see aging in place features in the project; consider sliding door access to ensuite washrooms;

Aging in place features will be incorporated at BP stage including; blocking in bathrooms for grab bars, lever handles, pocket doors for washrooms.

- interesting model for the neighbourhood; building is interstitial type; inverted roof is interesting;

We feel that this project provides an alternate form and variety of housing typology to the tower and townhouse developments occurring in the area.

- agree with comment regarding the preponderance of plot gardens in the courtyards;

As mentioned above, community gardens have been reduced and other amenities expanded.

- no major concern with the courtyards; they are distinct from each other and have a lot of programmatic elements that make them useful within a small space; nice hierarchy of spaces in the courtyards;

Thank you

- there is opportunity to create a public realm in the center court that is significant and pedestrian-focused; however, location of loading presents a challenge to this opportunity; need to work with Transportation to figure out how to integrate loading at the center court in a more sensitive way; consider more detail in the crossroads to privilege the walking traffic, e.g. add bollards and designate loading on the street as loading at the center court is a suburban model for loading and not an urban model;

The centre court has been refined to help create good public spaces and incorporate loading. Loading bays have been located closer to the buildings to allow for a wider centre court. Bollards have been added to define the loading spaces.

- reconsider building garden plots as the greenway ROW feels domestic and tends to privatize the place; 4 x 8 ft. timber grids don't enhance visual appeal; consider other ways to achieve urban agriculture that are more civic, e.g. street trees bearing fruit, grape/kiwi vine on a trellis, etc.; need not depend on garden plots to animate the space; greenway should become a really critical walkway link in the emerging neighbourhood;

Greenway garden plots have been removed from the project.

- applicant has not provided information/vision regarding how the western terminus of the greenway might integrate with the properties to the west; similar suggestions for east lane integration; information was requested by the Panel during the rezoning stage; applicant is encouraged to suggest some ideas;

The West end of the greenway is designed to end at the intersection of the North-South greenway per City direction. The East end will terminate at the City East lane as a temporary solution. In the future the East lane will be converted to a greenway by others, which will include raising the elevation of the future greenway to meet the grade of the East-West greenway on the Onni development. This will allow the East West greenway to be extended eastward across neighbouring sites to the east as planned for in the CCAP.

- sections on Alderbridge Way are fairly well resolved; applicant has adequately handled a difficult scenario, i.e. a 2-meter grade change;

We have worked closely with staff to create a pedestrian friendly sidewalk along Alderbridge. This has been achieved by; setting back buildings 1 and 4 from Alderbridge further than the setback allows, providing stepped planters along the front of the parkade, and dropping the front patios of the Alderbridge fronting buildings down from 4.0m to 3.0m

- the project suffers from the model presented to the Panel; the model does not resemble the quality of its design; model should show colours and textures;

3D views were supplied to suggest materiality of each of the buildings. In future, a coloured model will be provided.

- each building works well as standalone but not together as one development; buildings are object buildings, i.e. unique and specialized buildings which stand out differently from each other;

Buildings are differentiated to address site specific conditions, including prominent corners at the northwest, and at the new intersections of Cedarbridge with Alderbridge and River Road. Per the preliminary ADP and previous direction from Staff, we have endeavoured to create more differentiation between the building material and massing. However, there are unifying elements that work to tie all four buildings together as one "precinct", including; butterfly roofs, corner tower element massing at the center of the site, cedarbridge and greenway lobby treatments, material treatment and massing of upper floors, and consistent landscape features.

- buildings are too similar, both in the use of materials and articulation; too much "sameness" in the project; elements are the same but articulated a little bit differently; not enough difference in mass, colour and texture;

See opposing comment above. We have introduced more differentiation between materiality and massing of each building. Since the formal ADP, we have created more distinct volumes within each of the four buildings. This serves to break down the lengths of the buildings into smaller volumes, and create more diverse compositions within each of the buildings.

- the use of the word "monolithic" is not appropriate to describe the buildings which are actually pedestrian friendly and have a residential character;

The word "monolithic" was incorrectly used to describe the heavier base of the buildings relative to the cleaner, lighter top floors.

- concrete look of wood-frame buildings would be difficult to achieve; flashing details would be prevalent; rooftop cantilevers don't work; eyebrow detail will require parapet and thus a deeper profile; waterproofing does not have termination;

Details were developed and presented at ADP that illustrate how we are achieving the appearance of the buildings. Flashing details will be minimized and integrated within the pattern of material panels. Eyebrow details are shown with flashing in places and parapets in other locations where the deeper profile is aesthetically warranted.

- massing of the building needs to be broken down; massing needs relief at certain points on the site; there is need for certain elements to become expressed; The Gardens by Townline is a precedent;

The buildings have been further broken down into distinct volumes. This serves to break down the lengths of the buildings into smaller elements, and create more diverse compositions within each of the buildings. Secondary balconies have been removed in locations to emphasize breaks in the massing similar to what was done at The Gardens project. Rooflines have been adjusted to reinforce corner tower elements.

- courtyards are sterile and enhance the monolithic aspect of the project; water features are contained, i.e. they don't flow from one courtyard to the other; given the monolithic nature of the project, it would have helped if the landscape would have been more grainy to soften the edges in and around the buildings;

Landscape designs have been adjusted to 'loosen up' and relax some of the formal patterns to help address this. Water feature designs don't link between courtyards, but have been designed to connect with people at public and private levels.

- project needs an extra push;

Since formal ADP and per previous responses above, we have further developed the buildings. The tower element on the northwest corner of building 2 has been improved with additional height and more expansive glazing. All four buildings have been improved with more breaks within the building length and differentiated massing elements.

- great presentation materials; comments by the Panel during the preliminary stage have been successfully addressed by the applicant;

Noted

- wood frame buildings do not appear as such as they have a concrete look; hope that this look will survive through the entire development application process; lightening up of the upper levels of the buildings, i.e. 4th, 5th and 6th levels adds to the design of the buildings; hope that this detail will be maintained; and

Though these are wood frame buildings, we will endeavour to carry out the look of the buildings as presented. Detail of the simplified upper levels will be maintained.

- applicant has done a good job in addressing the elevation changes at the street level in terms of landscaping; e.g. through stepping up.

Noted

At this point, Sara Badyal, Planner and Staff Liaison to the Panel, read the following comments of Hal Owens who left the meeting earlier:

- in terms of site context, sensitivity and connectivity to surrounding land uses are generally good; slope up at internal street is a bit steep still with high wall along pedestrian sidewalk; needs some detail at wall or planting;

Internal street is sloping at less than 5% as supported by Transportation. Stepped planters are proposed along the sidewalk that will reduce in height towards the intersection of Cedarbridge and the east-west Greenway.

- site layout is generally okay but not clear how is through access by cars to be discouraged;

Through access by cars is not discouraged. The central crossing of the Greenway and Cedarbridge is proposed to be paved to mark the crossing and link all four buildings with the greenway to the extent permitted by City transportation.

- building character, massing, roof form, facade articulation are generally okay;

Noted

- generally, the applicant has addressed the concerns from the previous presentation; however, prominent corner element is well integrated but still lacks an iconic character that announces this project;

The tower element on the northwest corner of building 2 has been improved with additional height and more expansive glazing. The additional glazing helps to further differentiate the corner element from the rest of the building.

- character of the building is essentially the same, i.e. there is little differentiation other than minor material/colour detail changes;

Additional work has been done to further differentiate the massing within each building, and between the buildings. Stacks of secondary balconies have been removed in key locations to break down the large buildings into smaller volumes. Material treatment of lower levels of each building is quite distinct, upper levels are treated similarly in order to create unity to the project.

- exterior finishes and colours are fairly good but not as robust as what is on the adjacent parcels in the Oval district; may cause this project to look like a “poor neighbour”;

Bright colours have been avoided except as accents. We feel that the more subtle palette will age better, and not be prone to ‘date-ing’ the project.

- landscape design has generally addressed most of the concerns from previous presentation;

Noted

- applicant should show where and how public art is being considered;

Onni has contributed funds at the request of the City for a landmark art piece to be located on City land at the corner of Gilbert and New River Road.

On the development site a number of potential locations for public art have been identified in the Detailed Public Art Plan prepared by ‘Id Public Art Consulting’ who are the public art consultants for the project. Areas that are hubs for pedestrian movement have been identified as potential artworks locations, such as areas along the east-west greenway, north south pedestrian link and around the lobby entrances that front onto the east-west greenway.

- consider enlarging the water features and tie into river garden or canal theme;

This option was previously explored, it was not supported by City staff as there was a need for more usable outdoor space. The elevation changes in the project would make the river or canal theme hard to see and understand at a pedestrian level. Instead, we have tried to make water accessible at a number of different levels.

- consider reducing small bits of colour and instead use a larger or bolder mass or element on each building to differentiate them.

Smaller colour elements on building 4 have been complemented with larger areas of colour at the Greenway lobby and prominent building corners. Mass of all buildings has been broken down into smaller elements to further differentiate each building and to emphasize tower and corner elements.



No. DP 12-615424

To the Holder: ONNI CONTRACTING LTD.
Property Address: 7731 AND 7771 ALDERBRIDGE WAY
Address: C/O MR. ERIC HUGHES, ONNI CONTRACTING LTD.
550 ROBSON STREET – SUITE 300
VANCOUVER, BC V6B 2B7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - (a) Reduce the required exterior side yard setbacks for portions of partially below-grade parking structures on the proposed Lots 1 and 2 from 3.0 m to 0.0 m respectively along Cedarbridge Way and Gilbert Road;
 - (b) Reduce the required interior side yard setback for limited portions of partially-below grade parking structures from 1.5 m to 0.0 m along the west property line of the proposed Lot 1 and the east property line of the proposed Lot 2;
 - (c) Reduce the required visitor parking from 0.20 spaces/dwelling unit to 0.15 spaces/dwelling unit for the development as a whole; and
 - (d) Relax the requirement for the provision of on-site loading spaces for two (2) WB-17 loading spaces.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Architectural and Landscape Architecture Plans labelled Plans 1 to 74 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.

No. DP 12-615424

To the Holder: ONNI CONTRACTING LTD.
 Property Address: 7731 AND 7771 ALDERBRIDGE WAY
 Address: C/O MR. ERIC HUGHES, ONNI CONTRACTING LTD.
 550 ROBSON STREET – SUITE 300
 VANCOUVER, BC V6B 2B7

6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$826,437 ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____
 DAY OF _____, _____

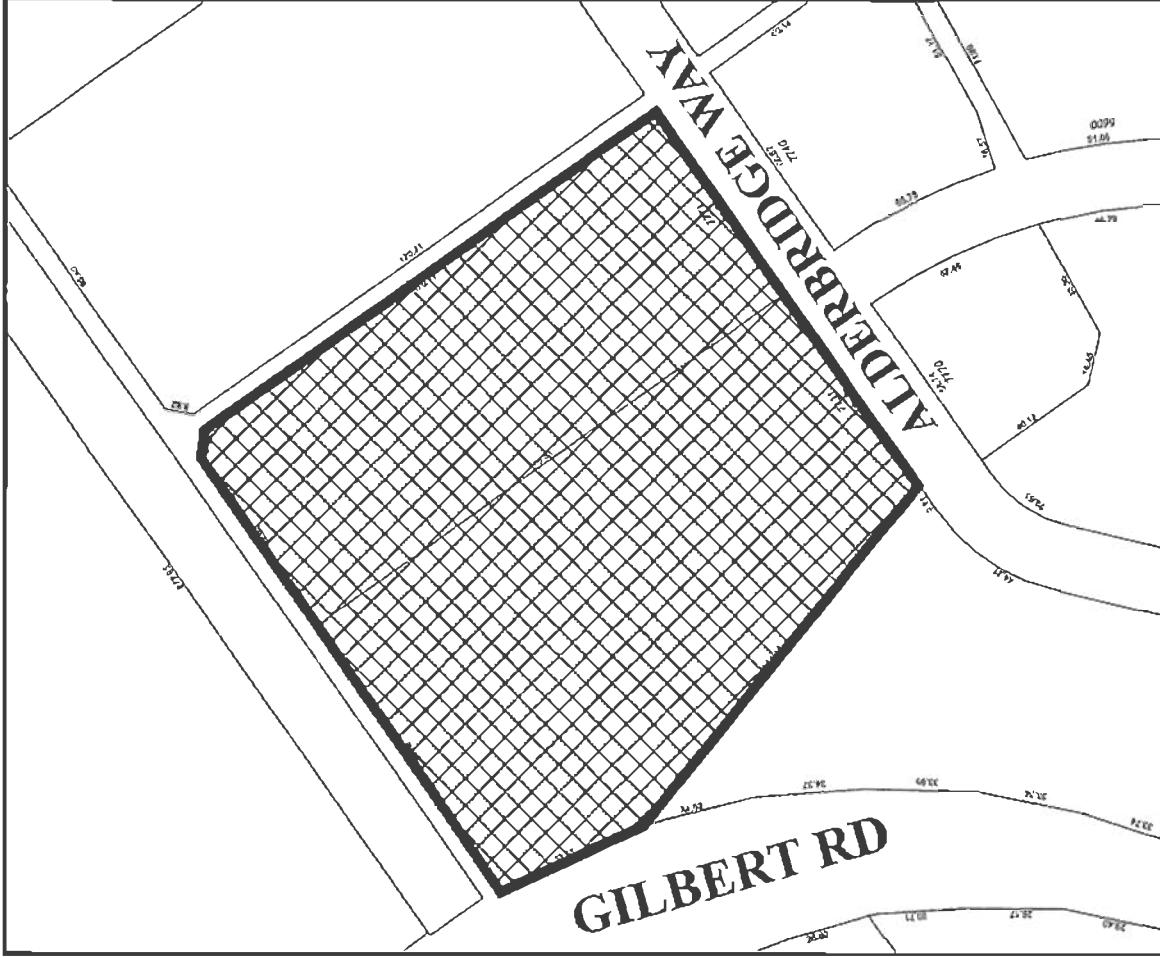
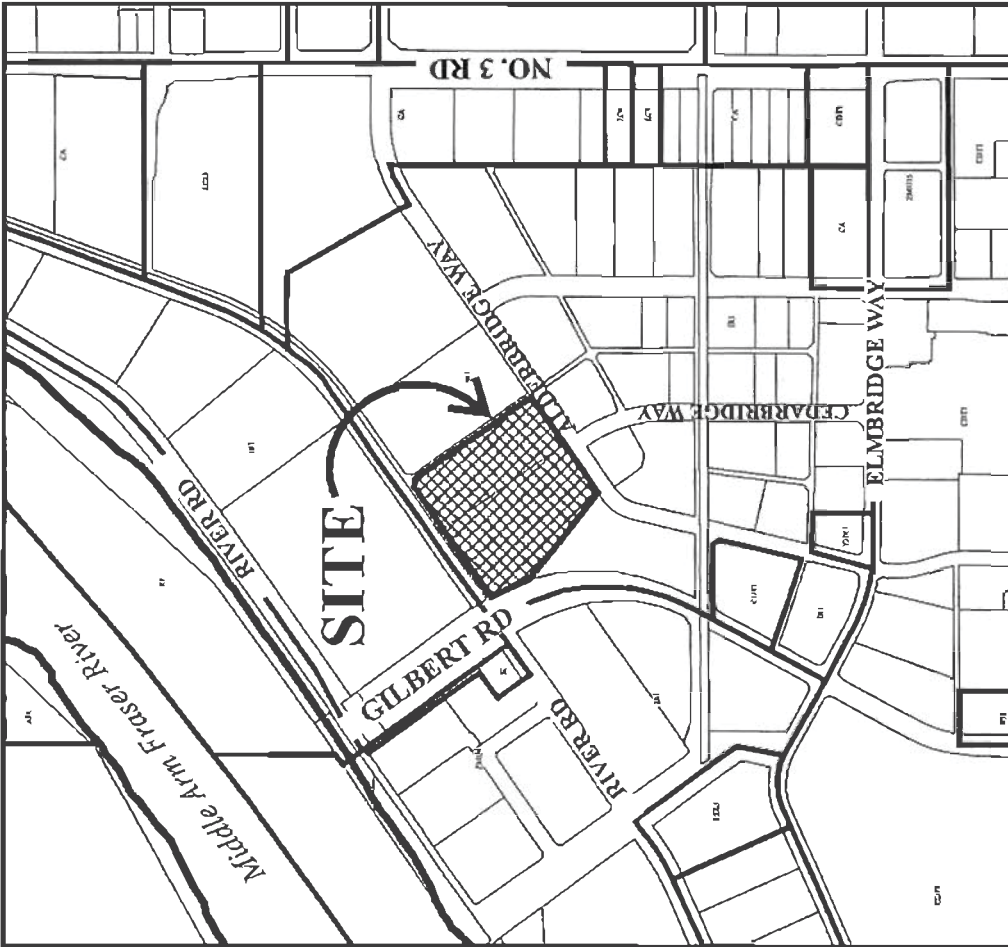
ISSUED BY THE COUNCIL THE

DELIVERED THIS _____ DAY OF _____, _____

 MAYOR



City of Richmond



DP 12-615424 SCHEDULE "A"

Original Date: 07/11/12

Revision Date:

Note: Dimensions are in METRES

PROPOSED UNIT MIX / UNIVERSAL ACCESSIBLE UNITS / FLOOR AREA / AFFORDABLE UNITS:

UNITS	TOTAL	100%	75%	50%	25%	0%	TOTAL	TOTAL	PROPOSED UNIT MIX	UNIVERSAL ACCESSIBLE UNITS	FLOOR AREA	AFFORDABLE UNITS
BUILDING 1 - OVERALL:												
UNIVERSAL ACCESSIBLE UNITS	4	100%					4	164,122 SF			164,122 SF	0
UNIVERSAL ACCESSIBLE UNITS	8	100%					8	328,244 SF			328,244 SF	0
UNIVERSAL ACCESSIBLE UNITS	16	100%					16	656,488 SF			656,488 SF	0
UNIVERSAL ACCESSIBLE UNITS	32	100%					32	1,312,976 SF			1,312,976 SF	0
UNIVERSAL ACCESSIBLE UNITS	64	100%					64	2,625,952 SF			2,625,952 SF	0
BUILDING 2 - OVERALL:												
UNIVERSAL ACCESSIBLE UNITS	1	100%					1	41,847 SF			41,847 SF	0
UNIVERSAL ACCESSIBLE UNITS	2	100%					2	83,694 SF			83,694 SF	0
UNIVERSAL ACCESSIBLE UNITS	4	100%					4	167,388 SF			167,388 SF	0
UNIVERSAL ACCESSIBLE UNITS	8	100%					8	334,776 SF			334,776 SF	0
BUILDING 3 - OVERALL:												
UNIVERSAL ACCESSIBLE UNITS	1	100%					1	41,847 SF			41,847 SF	0
UNIVERSAL ACCESSIBLE UNITS	2	100%					2	83,694 SF			83,694 SF	0
UNIVERSAL ACCESSIBLE UNITS	4	100%					4	167,388 SF			167,388 SF	0
UNIVERSAL ACCESSIBLE UNITS	8	100%					8	334,776 SF			334,776 SF	0
BUILDING 4 - OVERALL:												
UNIVERSAL ACCESSIBLE UNITS	1	100%					1	41,847 SF			41,847 SF	0
UNIVERSAL ACCESSIBLE UNITS	2	100%					2	83,694 SF			83,694 SF	0
UNIVERSAL ACCESSIBLE UNITS	4	100%					4	167,388 SF			167,388 SF	0
UNIVERSAL ACCESSIBLE UNITS	8	100%					8	334,776 SF			334,776 SF	0
BUILDING 5 - OVERALL:												
UNIVERSAL ACCESSIBLE UNITS	1	100%					1	41,847 SF			41,847 SF	0
UNIVERSAL ACCESSIBLE UNITS	2	100%					2	83,694 SF			83,694 SF	0
UNIVERSAL ACCESSIBLE UNITS	4	100%					4	167,388 SF			167,388 SF	0
UNIVERSAL ACCESSIBLE UNITS	8	100%					8	334,776 SF			334,776 SF	0
WEST LOT												
UNIVERSAL ACCESSIBLE UNITS	1	100%					1	41,847 SF			41,847 SF	0
UNIVERSAL ACCESSIBLE UNITS	2	100%					2	83,694 SF			83,694 SF	0
UNIVERSAL ACCESSIBLE UNITS	4	100%					4	167,388 SF			167,388 SF	0
UNIVERSAL ACCESSIBLE UNITS	8	100%					8	334,776 SF			334,776 SF	0
EAST LOT												
UNIVERSAL ACCESSIBLE UNITS	1	100%					1	41,847 SF			41,847 SF	0
UNIVERSAL ACCESSIBLE UNITS	2	100%					2	83,694 SF			83,694 SF	0
UNIVERSAL ACCESSIBLE UNITS	4	100%					4	167,388 SF			167,388 SF	0
UNIVERSAL ACCESSIBLE UNITS	8	100%					8	334,776 SF			334,776 SF	0

* UNIVERSAL ACCESSIBLE UNITS MEET ALL REQUIREMENTS UNDER SECTION 4.16 OF HOUSING ZONING BYLAW 6600 AND ARE IDENTIFIED BY A 'U'
 ** AFFORDABLE HOUSING UNITS ARE IDENTIFIED BY AN 'M'

LEED SCORECARD:

ScoreCard_Aldenbridge_20120820_gs.xls

Riva - Preliminary Scorecard

20-Aug-12
 Passable Points: 110

Section	Points	Weighted Points	Passable Points
1. LEADERSHIP IN DESIGN	15	15	15
2. BUILDING GREENHOUSE GAS EMISSIONS	30	20	15
3. WATER USE	15	15	15
4. ENERGY EFFICIENCY	15	15	15
5. MATERIALS & RESOURCES	15	15	15
6. QUALITY	15	15	15

Note: The project expects to earn the 50 points indicated as 'Yes'. An additional 41 points are indicated as 'Major' and will be evaluated during design.

LEED® Canada NC 2009

Stantec

Scorecard
 Caniside Green Building Council

Plan 1
 Sept 4 2012
 DP 12-615424

TOTAL AVAILABLE UNITS		TOTAL UNITS	
TYPE	NO.	TYPE	NO.
STUDIO	100	STUDIO	100
1 BR	100	1 BR	100
2 BR	100	2 BR	100
3 BR	100	3 BR	100
TOTAL	400	TOTAL	400

TOTAL AVAILABLE SQUARE FEET		TOTAL SQUARE FEET	
TYPE	SQ. FT.	TYPE	SQ. FT.
STUDIO	100,000	STUDIO	100,000
1 BR	100,000	1 BR	100,000
2 BR	100,000	2 BR	100,000
3 BR	100,000	3 BR	100,000
TOTAL	400,000	TOTAL	400,000

TOTAL AVAILABLE PARKING SPACES		TOTAL PARKING SPACES	
TYPE	NO.	TYPE	NO.
STUDIO	100	STUDIO	100
1 BR	100	1 BR	100
2 BR	100	2 BR	100
3 BR	100	3 BR	100
TOTAL	400	TOTAL	400

TOTAL AVAILABLE SQUARE FEET		TOTAL SQUARE FEET	
TYPE	SQ. FT.	TYPE	SQ. FT.
STUDIO	100,000	STUDIO	100,000
1 BR	100,000	1 BR	100,000
2 BR	100,000	2 BR	100,000
3 BR	100,000	3 BR	100,000
TOTAL	400,000	TOTAL	400,000

TOTAL AVAILABLE UNITS		TOTAL UNITS	
TYPE	NO.	TYPE	NO.
STUDIO	100	STUDIO	100
1 BR	100	1 BR	100
2 BR	100	2 BR	100
3 BR	100	3 BR	100
TOTAL	400	TOTAL	400

TOTAL AVAILABLE SQUARE FEET		TOTAL SQUARE FEET	
TYPE	SQ. FT.	TYPE	SQ. FT.
STUDIO	100,000	STUDIO	100,000
1 BR	100,000	1 BR	100,000
2 BR	100,000	2 BR	100,000
3 BR	100,000	3 BR	100,000
TOTAL	400,000	TOTAL	400,000

TOTAL AVAILABLE UNITS		TOTAL UNITS	
TYPE	NO.	TYPE	NO.
STUDIO	100	STUDIO	100
1 BR	100	1 BR	100
2 BR	100	2 BR	100
3 BR	100	3 BR	100
TOTAL	400	TOTAL	400

TOTAL AVAILABLE SQUARE FEET		TOTAL SQUARE FEET	
TYPE	SQ. FT.	TYPE	SQ. FT.
STUDIO	100,000	STUDIO	100,000
1 BR	100,000	1 BR	100,000
2 BR	100,000	2 BR	100,000
3 BR	100,000	3 BR	100,000
TOTAL	400,000	TOTAL	400,000

TOTAL AVAILABLE UNITS		TOTAL UNITS	
TYPE	NO.	TYPE	NO.
STUDIO	100	STUDIO	100
1 BR	100	1 BR	100
2 BR	100	2 BR	100
3 BR	100	3 BR	100
TOTAL	400	TOTAL	400

TOTAL AVAILABLE SQUARE FEET		TOTAL SQUARE FEET	
TYPE	SQ. FT.	TYPE	SQ. FT.
STUDIO	100,000	STUDIO	100,000
1 BR	100,000	1 BR	100,000
2 BR	100,000	2 BR	100,000
3 BR	100,000	3 BR	100,000
TOTAL	400,000	TOTAL	400,000

TOTAL AVAILABLE UNITS		TOTAL UNITS	
TYPE	NO.	TYPE	NO.
STUDIO	100	STUDIO	100
1 BR	100	1 BR	100
2 BR	100	2 BR	100
3 BR	100	3 BR	100
TOTAL	400	TOTAL	400

TOTAL AVAILABLE SQUARE FEET		TOTAL SQUARE FEET	
TYPE	SQ. FT.	TYPE	SQ. FT.
STUDIO	100,000	STUDIO	100,000
1 BR	100,000	1 BR	100,000
2 BR	100,000	2 BR	100,000
3 BR	100,000	3 BR	100,000
TOTAL	400,000	TOTAL	400,000

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TYPE	NO.	TYPE	NO.
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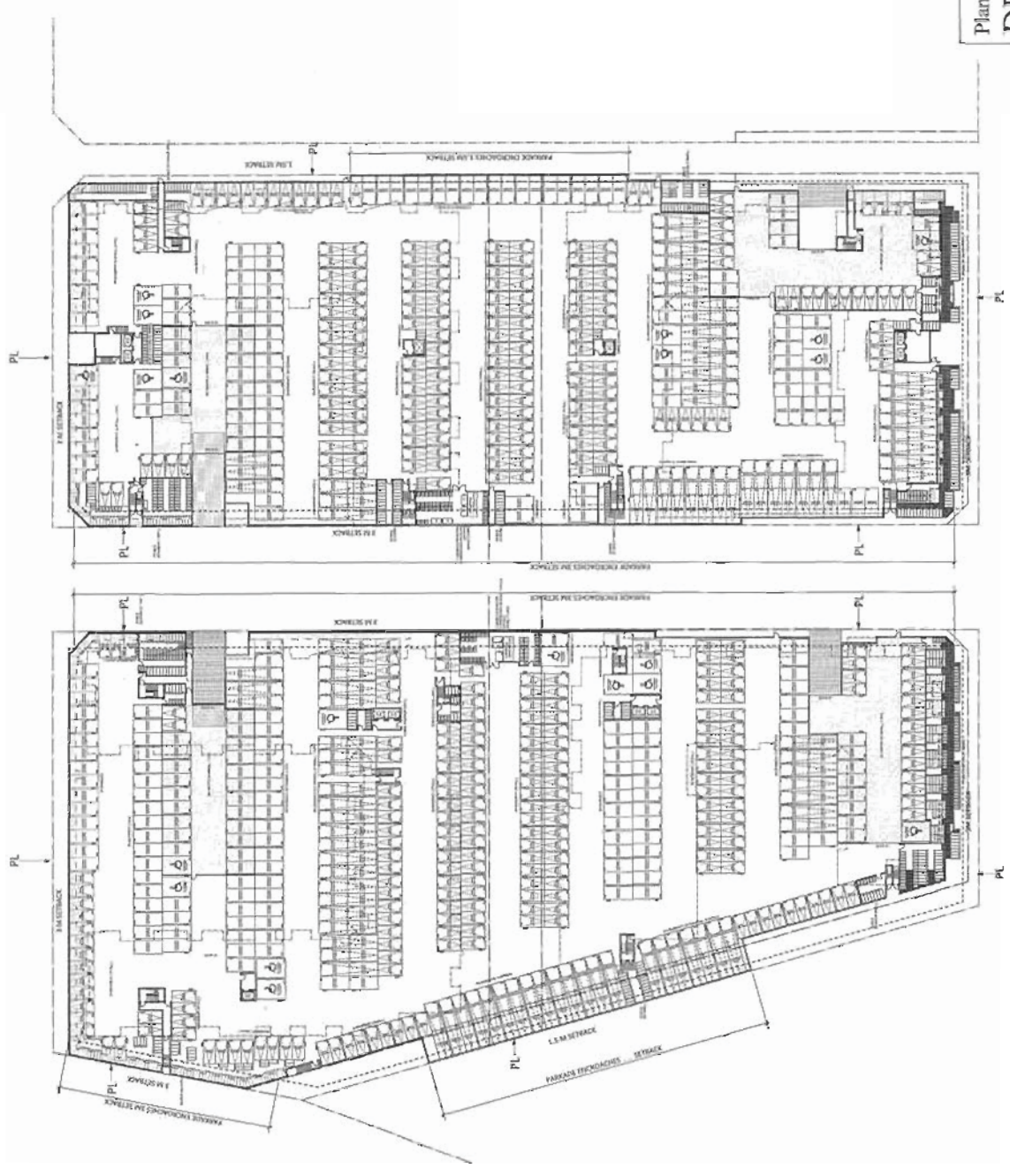
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2 BR	100,000	2 BR	100,000
3 BR	100,000	3 BR	100,000
TOTAL	400,000	TOTAL	400,000

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TYPE	NO.	TYPE	NO.
STUDIO	100	STUDIO	100
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2 BR	100	2 BR	100
3 BR	100	3 BR	100
TOTAL	400	TOTAL	400

TOTAL AVAILABLE SQUARE FEET		TOTAL SQUARE FEET	
TYPE	SQ. FT.	TYPE	SQ. FT.
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2 BR	100,000	2 BR	100,000
3 BR	100,000	3 BR	100,000
TOTAL	400,000	TOTAL	400,000

TOTAL AVAILABLE UNITS		TOTAL UNITS	
TYPE	NO.	TYPE	NO.
STUDIO	100	STUDIO	100
1 BR	100	1 BR	100
2 BR	100	2 BR	100
3 BR	100	3 BR	100
TOTAL	400	TOTAL	400

TOTAL AVAILABLE SQUARE FEET		TOTAL SQUARE FEET	
TYPE	SQ. FT.	TYPE	SQ. FT.
STUDIO	100,000	STUDIO	100,000
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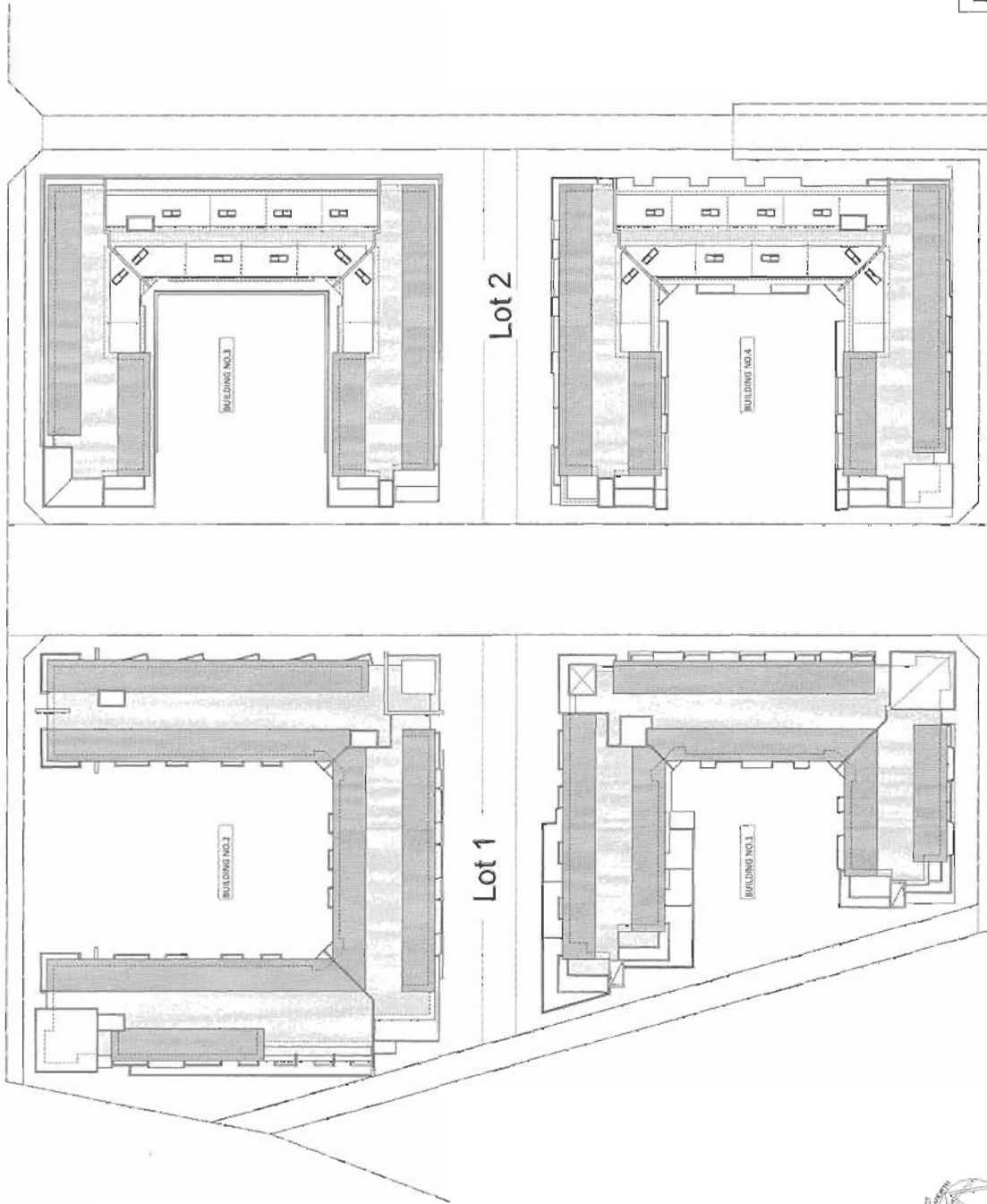
Plan 3 Sept 4 2012
 DP 12-615424

ISSUED:
 PL - PROTECT LINE AFTER
 COMMERCIAL RIGS
 SEGREGATION

APARTMENT DEVELOPMENT
 RIVA
 1000 RIVA DRIVE, SUITE 200
 HOUSTON, TEXAS 77057
 PHONE: 713.865.1234
 FAX: 713.865.1235
 WWW.RIVADIRECT.COM

Yamamoto
 Architecture Inc.
 1000 RIVA DRIVE, SUITE 200
 HOUSTON, TEXAS 77057
 PHONE: 713.865.1234
 FAX: 713.865.1235
 WWW.YAMAMOTOARCHITECTURE.COM

DATE	NO.	DESCRIPTION
09/04/12	A0.2	ISSUED



Plan 4 Sept 4 2012
 DP 12-615424

NO. OF SHEETS	20
NO. OF SHEETS USED	1
DATE	SEP 4 2012
PROJECT	APARTMENT DEVELOPMENT
CLIENT	RIVA DEVELOPMENT LLC
ARCHITECT	YAMAMOTO ARCHITECTURE INC.

RIVA
 DEVELOPMENT LLC
 10000 W. 10TH AVE. SUITE 100
 DENVER, CO 80202

Yamamoto
 Architecture Inc.
 1000 W. 10TH AVE. SUITE 100
 DENVER, CO 80202

SCALE: 1" = 10'
 DATE: 09/04/12
 DRAWN: [Name]
 CHECKED: [Name]

DATE	12-6-12
SCALE	1" = 10'
DATE	09/04/12
DRAWN	[Name]
CHECKED	[Name]
PROJECT	APARTMENT DEVELOPMENT
CLIENT	RIVA DEVELOPMENT LLC
ARCHITECT	YAMAMOTO ARCHITECTURE INC.



East Lane Elevation Showing Section Locations on A3.04 / A3.06

Yamamoto
Architect

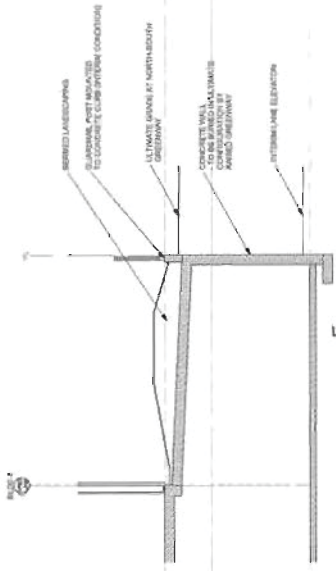
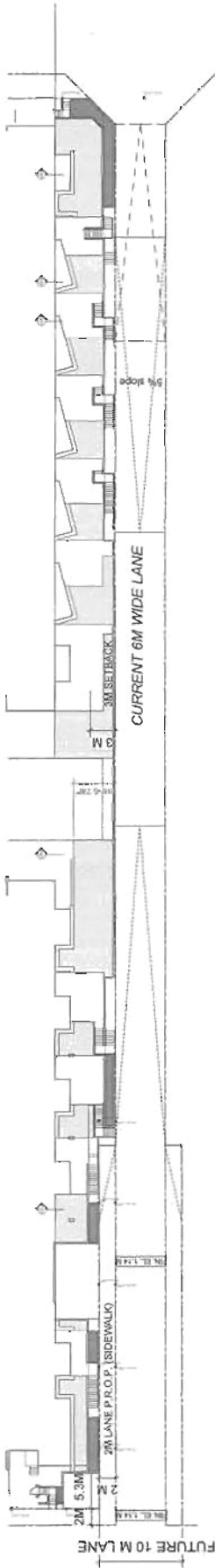
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Plan 5
Sept 4 2012
DP 12-615424

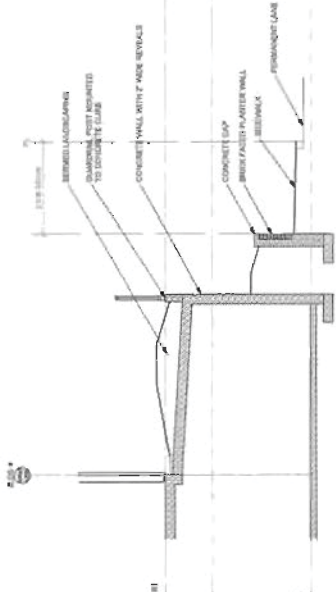
PLAN TITLE
ELEVATIONS
GILBERT / WALKWAY & LANE
SHEET 11-107P
DATE: 09.04.12
SCALE: 1/8"=1'-0"

A3.04
A3.04

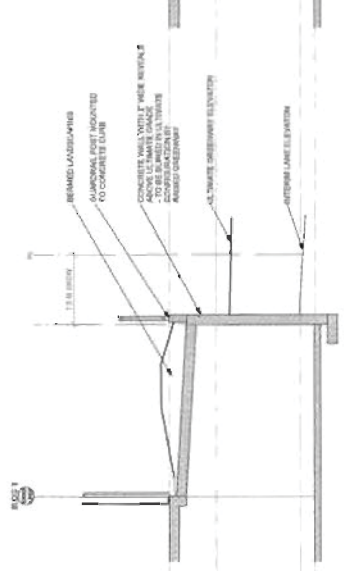
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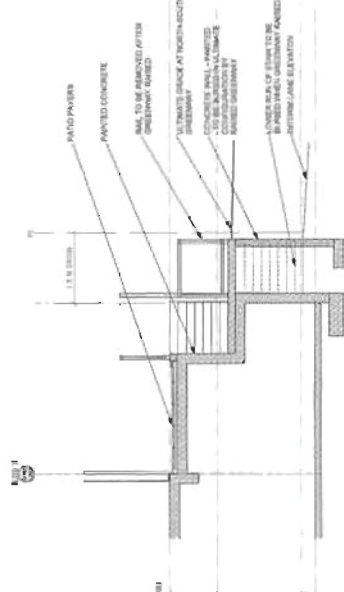
SECTION B - THRU PLANTER AND RAISED GREENWAY
SCALE 1/4" = 1'-0"



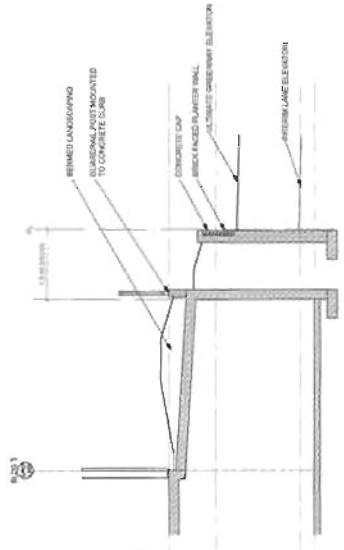
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SCALE 1/4" = 1'-0"



SECTION D - THRU RECESSED PARKADE WALL
SCALE 1/4" = 1'-0"



SECTION C - THRU STAIR LANDING
SCALE 1/4" = 1'-0"



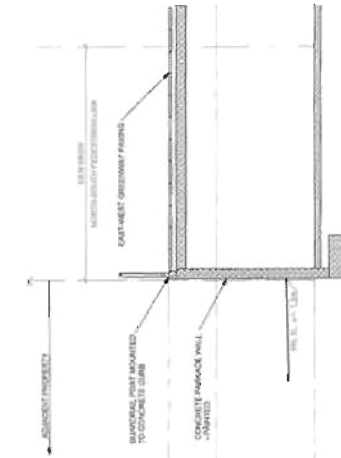
SECTION E - THRU STEPPED PLANTER - NORTHEAST
SCALE 1/4" = 1'-0"

Yanmar
Archite

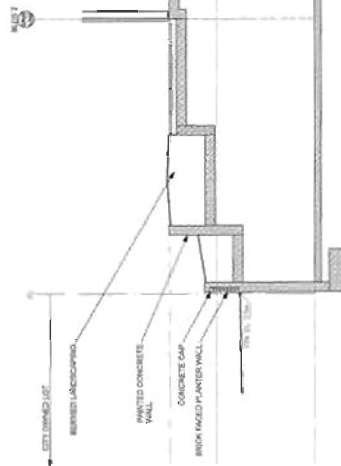
Plan 6 Sept 4 2012
DP 12-615424

OWNER: TILT
ELEVATIONS: GILBERT PARKWAY & LANE
SCALE: 1/4" = 1'-0"
DATE: 08.27.12
SHEET NO: A3.05
PROJECT: 04
DATE: 08.27.12

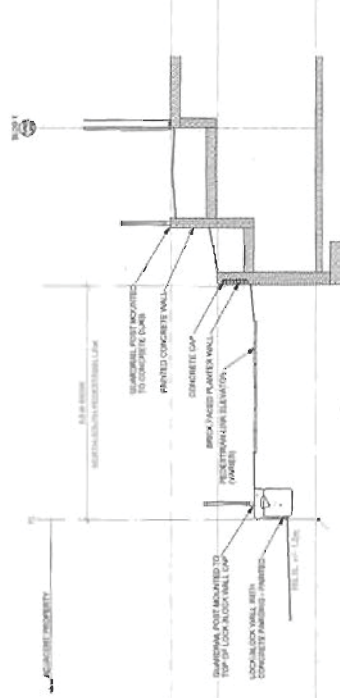
DATE	BY	REVISION



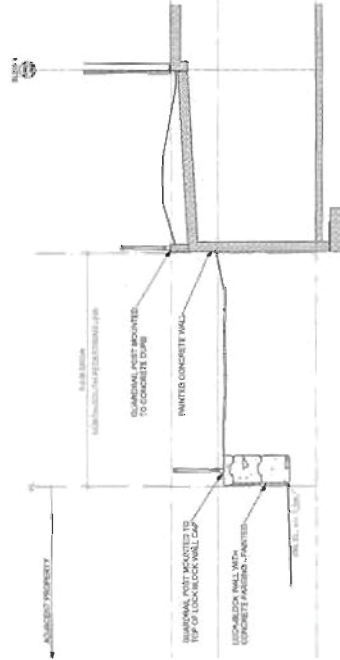
SECTION G - THRU EAST-WEST GREENWAY
SCALE 1/4" = 1'-0"



SECTION F - THRU STEPPED PLANTER - NORTHWEST
SCALE 1/4" = 1'-0"



SECTION I - THRU EAST-WEST GREENWAY
SCALE 1/4" = 1'-0"



SECTION H - THRU EAST-WEST GREENWAY
SCALE 1/4" = 1'-0"

FINISH FLOOR (TO CONC. SLAB)
FIN. SL. 1/2" THICK
FIN. CONC. SLAB
FIN. CONC. SLAB
FIN. CONC. SLAB

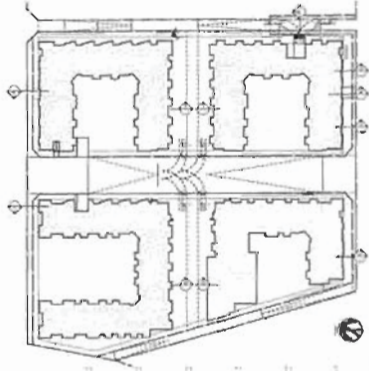
FINISH FLOOR (TO CONC. SLAB)
FIN. SL. 1/2" THICK
FIN. CONC. SLAB
FIN. CONC. SLAB
FIN. CONC. SLAB

Yamamoto Architects
 Plan 7
 Sept 4 2012
 DP 12-615424

PROJECT: 12-615424
 SHEET: A3.06
 DATE: 09/04/12
 SCALE: 1/4" = 1'-0"

ISSUED FOR: ELEVATIONS
 CLIENT: FOR WALKWAY & LAKE

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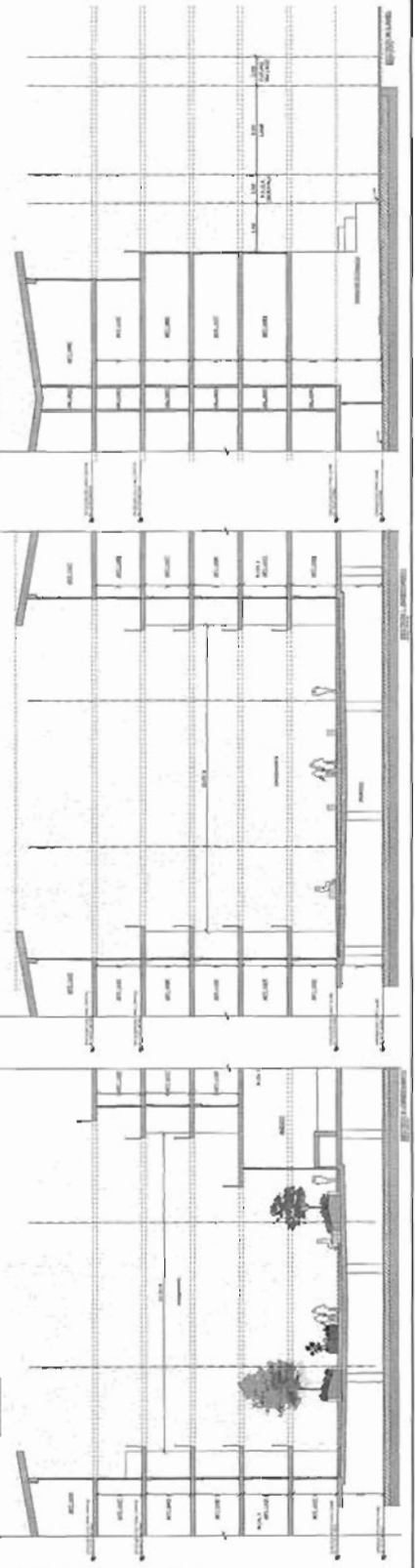
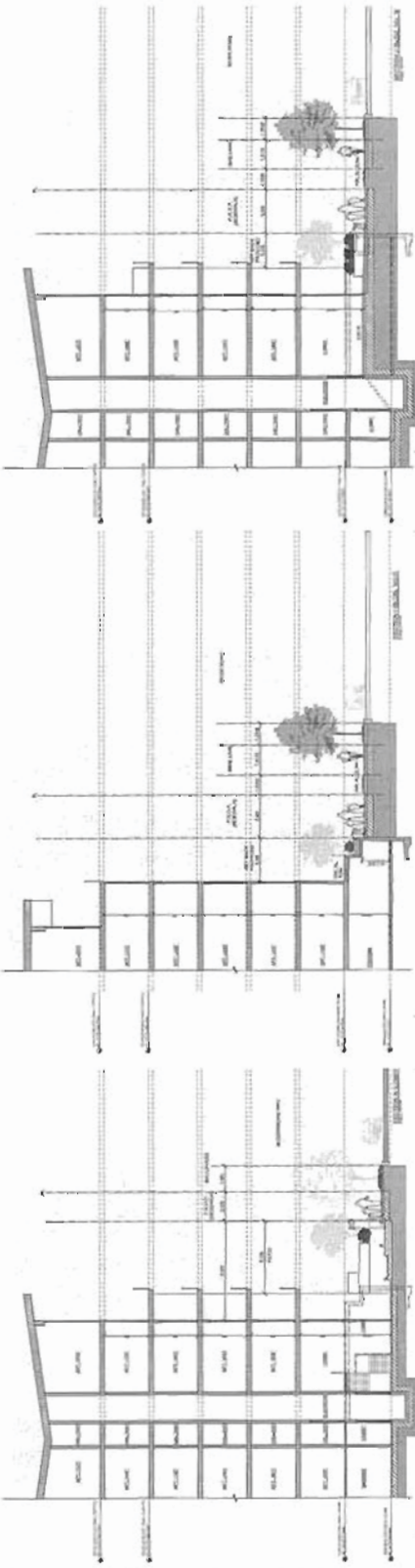
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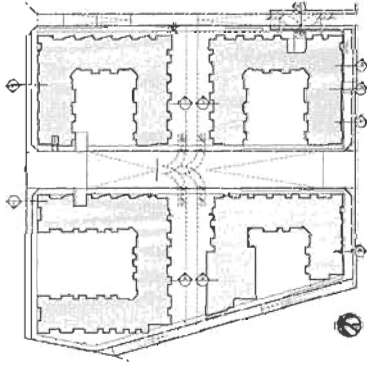
YAMAMOTO ARCHITECTURE INC.
 1000 WEST 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.8888
 WWW.YAMAMOTOARCHITECTURE.COM

RIVA
 Yamamoto
 Architecture Inc.

Plan 8 Sept 4 2012
 DP 12-615424

SCALE	DATE	BY	NO.
AS SHOWN	09/04/2012	YAMAMOTO	A0.8
DATE	BY	NO.	
09/04/2012	YAMAMOTO	A0.8	





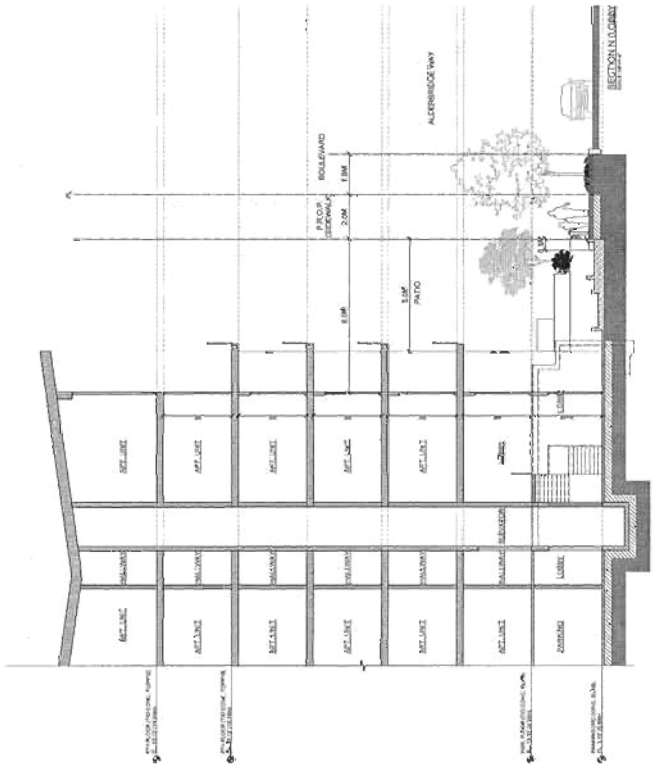
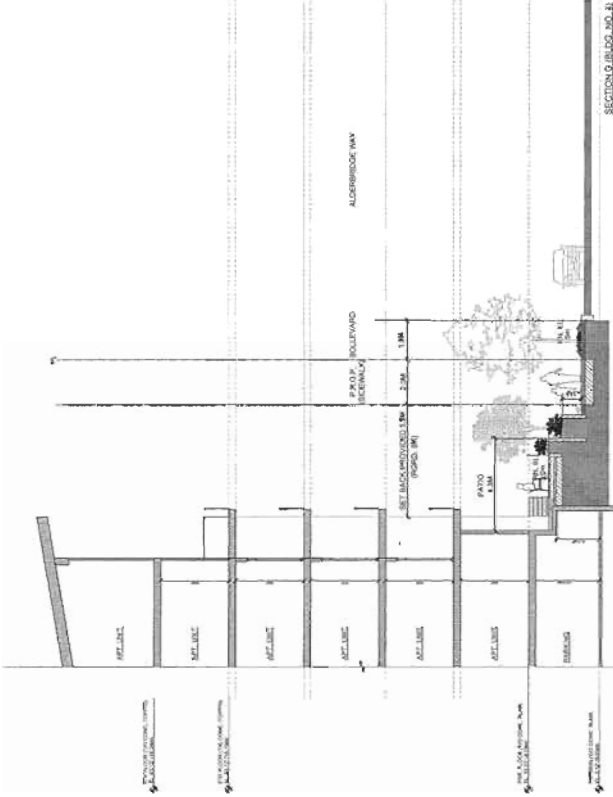
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CONTRACT		

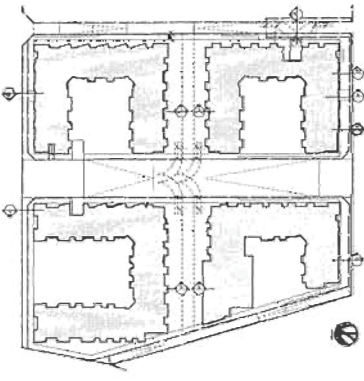
Yamamoto Architecture Inc.
 1000 West 1st Street, Suite 200
 Vancouver, BC V6C 1G7
 TEL: 604.681.2222
 FAX: 604.681.2223
 www.yamamoto-arch.com

Yamamoto
 Architecture Inc.

Plan 10 Sept 4 2012
 DP 12-615424

SCALE	1/8" = 1'-0"	PROJECT NO.	A0.10
DATE	NOV 11 2011	DRAWN BY	
CHECKED BY		DATE	





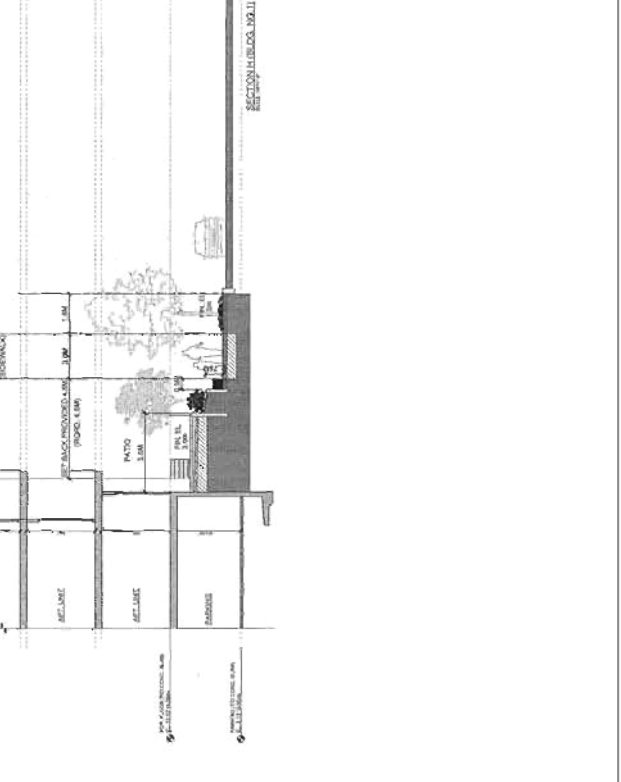
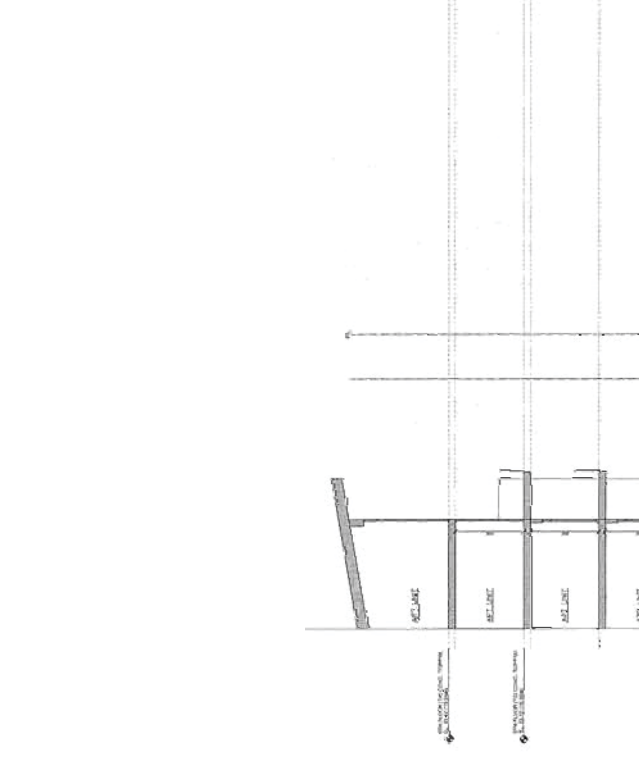
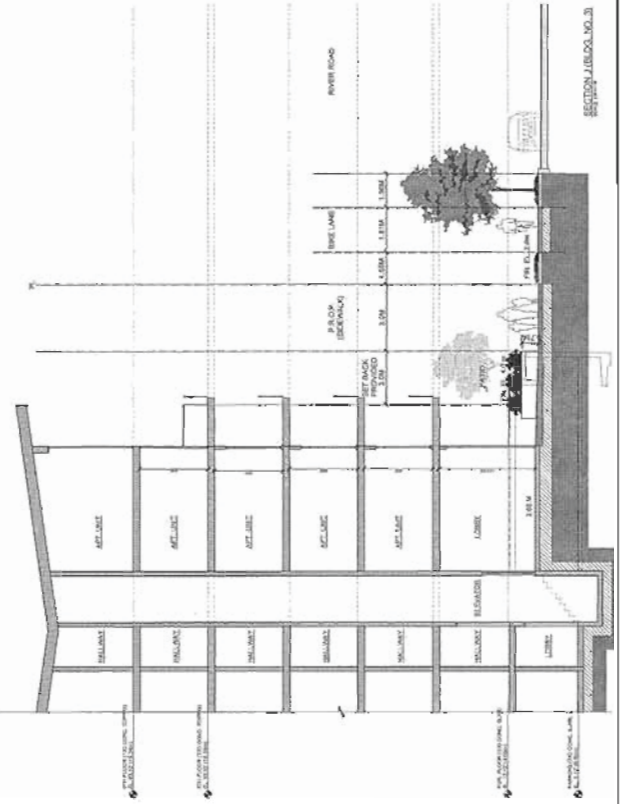
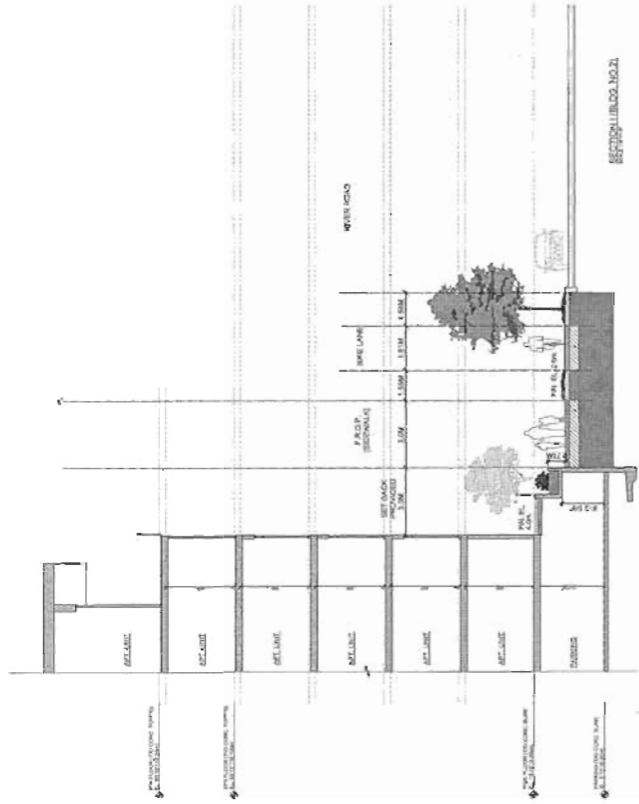
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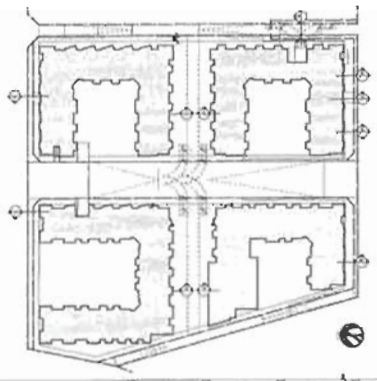
Yamamoto Architecture Inc.
 1000 10th Street, Suite 1000
 Vancouver, BC V6Z 2G7
 Tel: 604.681.2371
 Fax: 604.681.2372
 www.yamamotoarchitecture.com

**Yamamoto
 Architecture Inc.**

Plan 11 Sept 4 2012
DP 12-615424

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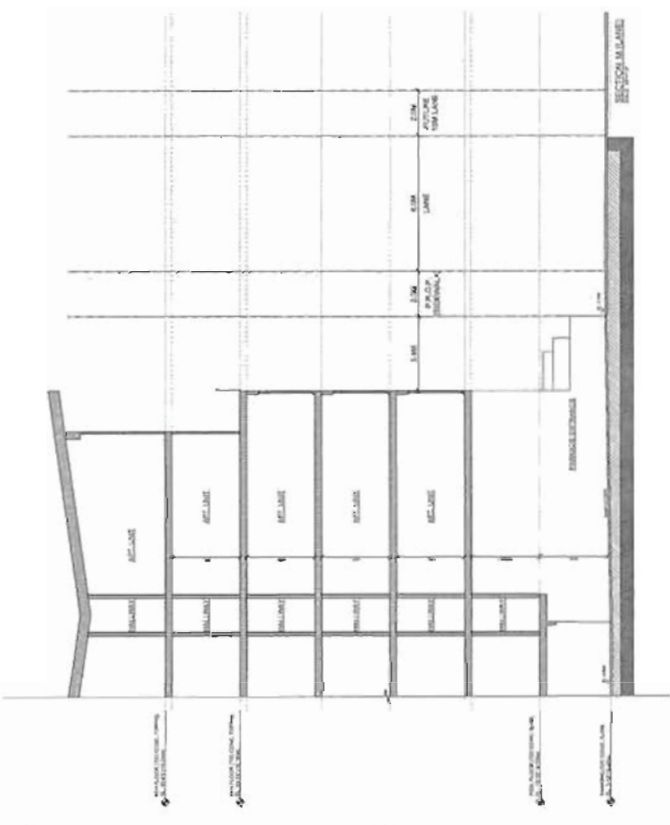
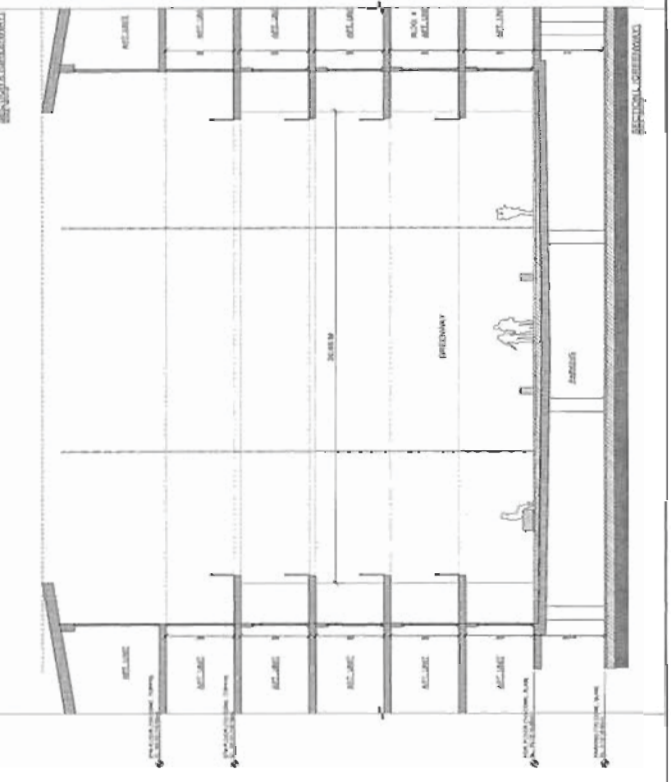
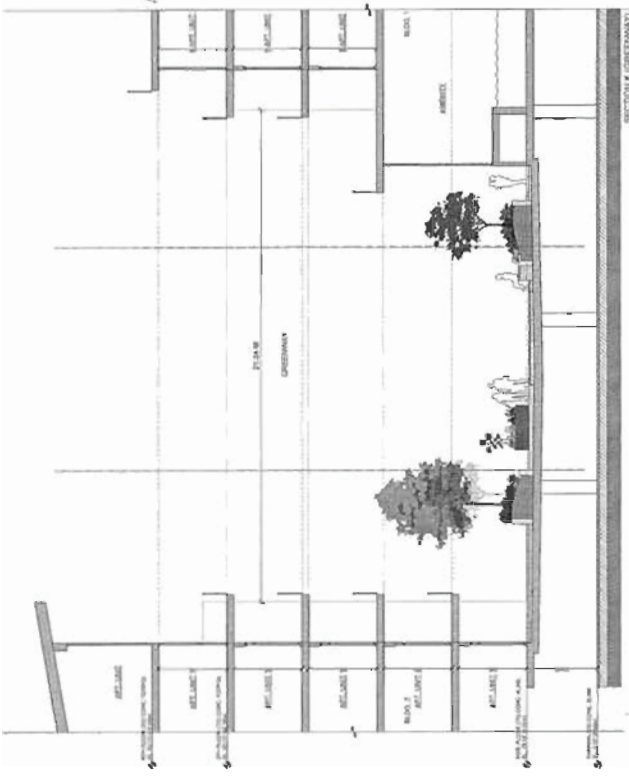
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Yamamoto Architecture Inc.
 1000 West Broadway, Suite 100
 Vancouver, BC V6H 4G1
 Tel: 604.681.1111
 Fax: 604.681.1112
 www.yamamotoarch.com

Yamamoto
 Architecture Inc.

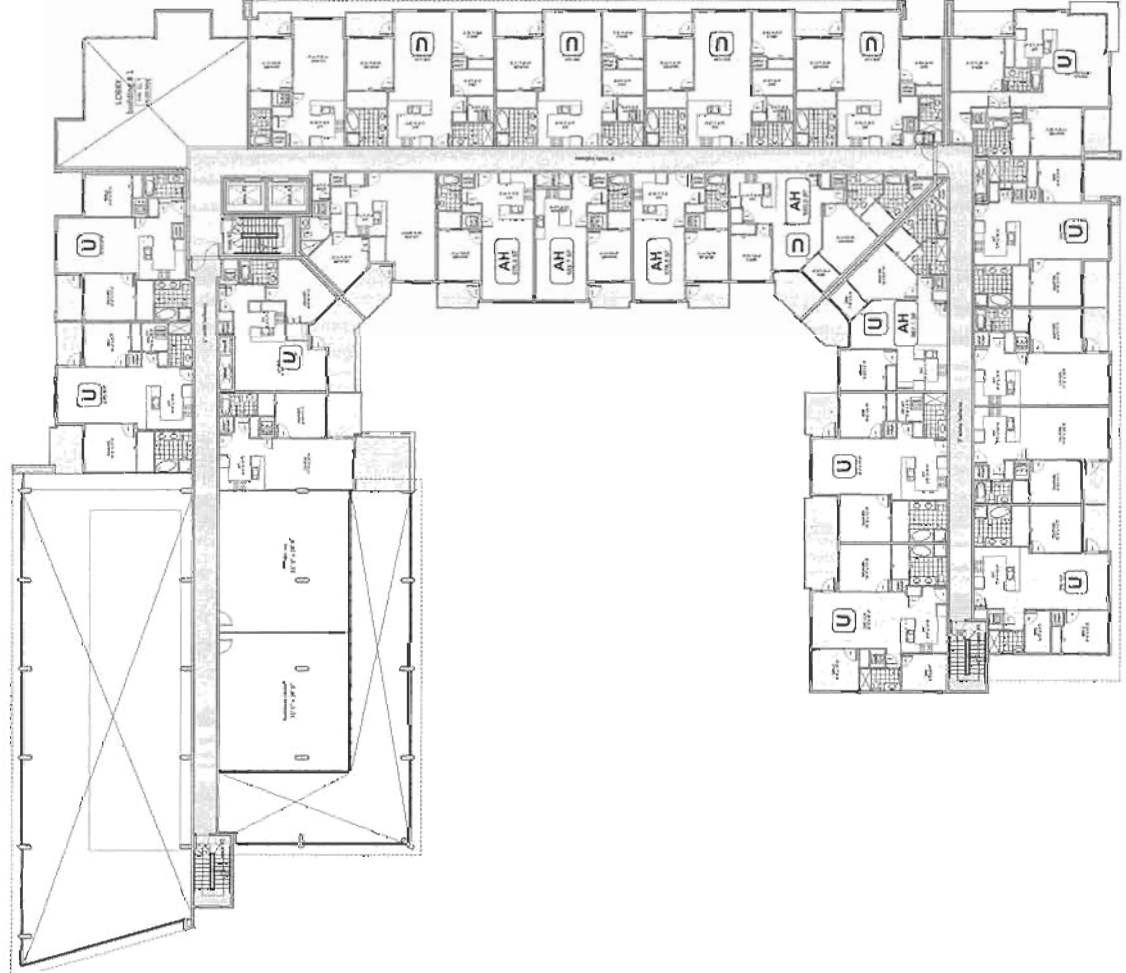
Plan 12 Sept 4 2012
 DP 12-615424

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98	06/05/2012
99	06/05/2012
100	06/05/2012



GENERAL INFORMATION	
DATE DRAWN	06/05/2012
DATE CHECKED	06/05/2012
DATE CANCELLED	
DATE REVISIONS	
DATE	DESCRIPTION
01	06/05/2012
02	06/05/2012
03	06/05/2012
04	06/05/2012
05	06/05/2012
06	06/05/2012
07	06/05/2012
08	06/05/2012
09	06/05/2012
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95	06/05/2012
96	06/05/2012
97	06/05/2012
98	06/05/2012
99	06/05/2012
100	06/05/2012

PROJECT: AMBIVENT DEVELOPMENT
 RIVA
 1100 B. BARRINGTON WAY
 METROPOLIS, IL

Yamamoto
 Architecture Inc.

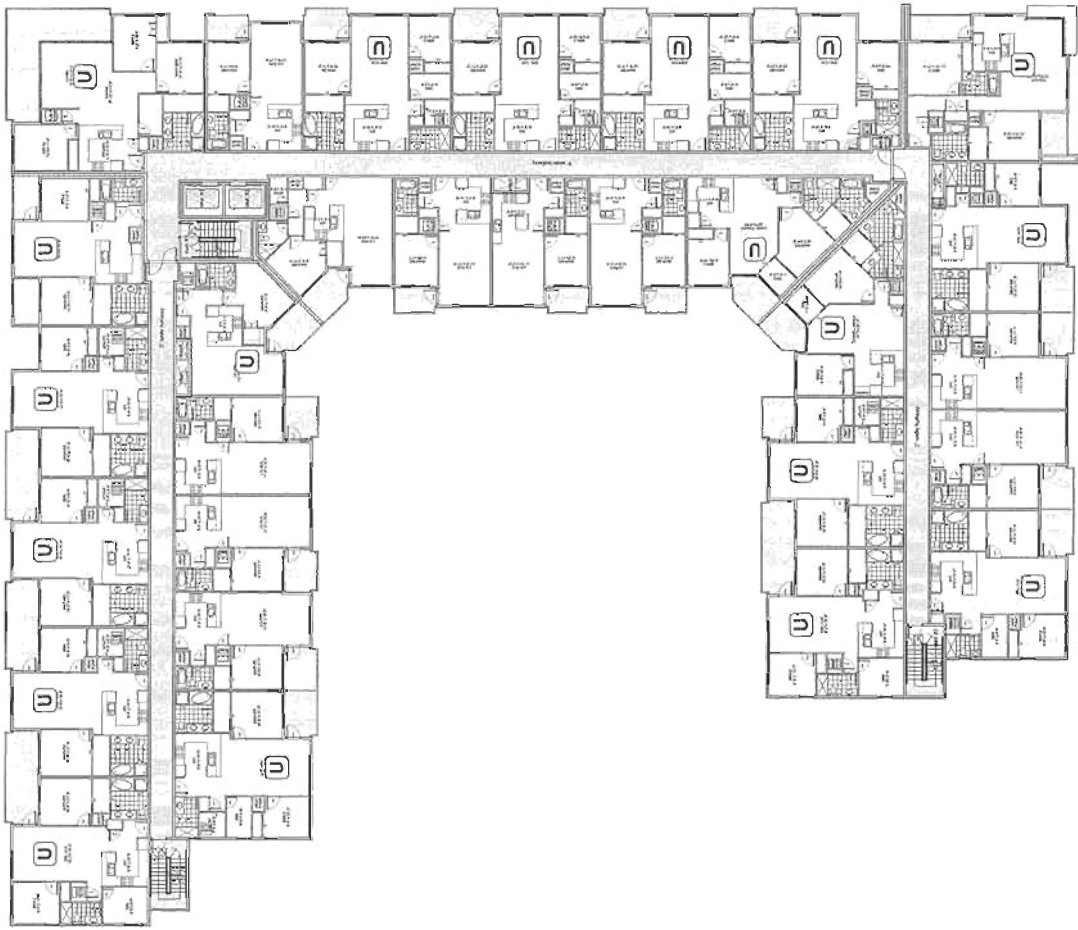
SECOND FLOOR PLAN
 BUILDING 1

Plan 14 Sept 4 2012
 DP 12-615424

SCALE	DATE	BY	CHKD
	06/05/2012		
DRAWN	CHECKED	DATE	BY
PROJECT NO.		A1-12	
SHEET NO.		06	
TOTAL SHEETS		118	

BUILDING 1 - 4TH FLOOR

DATE	11/15/2011	PROJECT	12-615424
SCALE	1/8" = 1'-0"	DATE	11/15/2011
BY	YAMAMOTO	PROJECT	12-615424
DATE	11/15/2011	DATE	11/15/2011
BY	YAMAMOTO	PROJECT	12-615424
DATE	11/15/2011	DATE	11/15/2011
BY	YAMAMOTO	PROJECT	12-615424
DATE	11/15/2011	DATE	11/15/2011
BY	YAMAMOTO	PROJECT	12-615424
DATE	11/15/2011	DATE	11/15/2011
BY	YAMAMOTO	PROJECT	12-615424



NO.	DATE	DESCRIPTION
1	11/15/2011	ISSUED FOR PERMIT
2	11/15/2011	ISSUED FOR PERMIT
3	11/15/2011	ISSUED FOR PERMIT
4	11/15/2011	ISSUED FOR PERMIT
5	11/15/2011	ISSUED FOR PERMIT
6	11/15/2011	ISSUED FOR PERMIT

PROJECT NO. 12-615424
 PROJECT NAME: BUILDING 1 - 4TH FLOOR
 PROJECT LOCATION: 12345 MAIN STREET, WASHINGTON, DC 20001
 PROJECT OWNER: ABC COMPANY, INC.
 PROJECT ARCHITECT: YAMAMOTO ARCHITECTURE, INC.
 PROJECT ENGINEER: JOHN DOE, P.E.
 PROJECT DATE: 11/15/2011

RIVA
 12345 MAIN STREET
 WASHINGTON, DC 20001

Yamamoto Architecture Inc.
 56789 MAIN STREET
 WASHINGTON, DC 20001

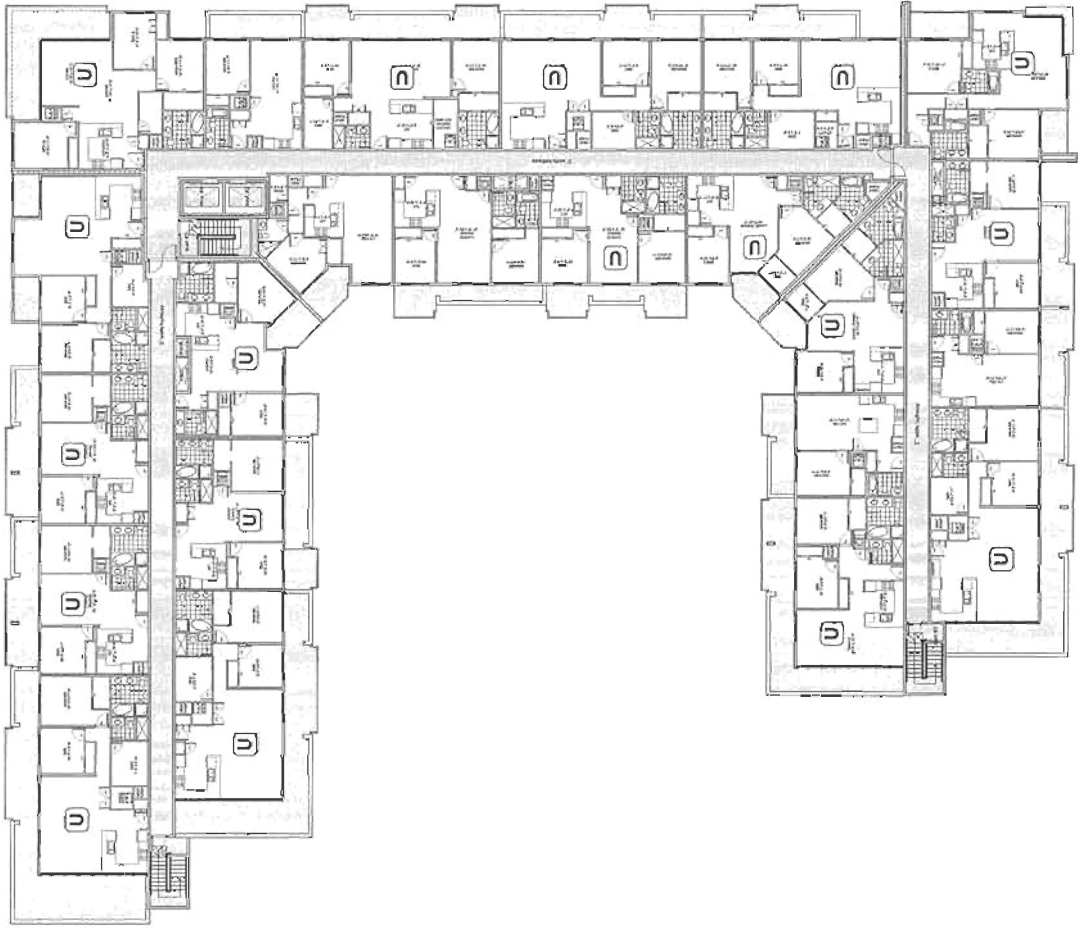
SCALE	1/8" = 1'-0"	SHEET NO.	A1-1.4
DATE	11/15/2011	PROJECT	12-615424
BY	YAMAMOTO	DATE	11/15/2011
DATE	11/15/2011	PROJECT	12-615424
BY	YAMAMOTO	DATE	11/15/2011
DATE	11/15/2011	PROJECT	12-615424
BY	YAMAMOTO	DATE	11/15/2011

Plan 16 Sept 4 2012
 DP 12-615424

BUILDING 1 - 5TH FLOOR

UNIT COUNTS	(APPROXIMATE)
1	1
2	1
3	1
4	1
5	1
6	1
7	1
8	1
9	1
10	1
11	1
12	1
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191	1
192	1
193	1
194	1
195	1
196	1
197	1
198	1
199	1
200	1

ASSOCIATES	2000 N. W. 10TH ST
ARCHITECTS	1000 N. W. 10TH ST
ENGINEERS	1000 N. W. 10TH ST
PLUMBERS	1000 N. W. 10TH ST
ELECTRICIANS	1000 N. W. 10TH ST
MECHANICAL	1000 N. W. 10TH ST
CONTRACTORS	1000 N. W. 10TH ST
LANDSCAPE	1000 N. W. 10TH ST
INTERIORS	1000 N. W. 10TH ST
PAINTERS	1000 N. W. 10TH ST
ROOFERS	1000 N. W. 10TH ST
GLAZIERS	1000 N. W. 10TH ST
SMITHS	1000 N. W. 10TH ST
WELDERS	1000 N. W. 10TH ST
TURNERS	1000 N. W. 10TH ST
COOPERAGE	1000 N. W. 10TH ST
JOINERS	1000 N. W. 10TH ST
CARPENTERS	1000 N. W. 10TH ST
ROOFING	1000 N. W. 10TH ST
DRY WALL	1000 N. W. 10TH ST
PAINTING	1000 N. W. 10TH ST
CEILING	1000 N. W. 10TH ST
CONCRETE	1000 N. W. 10TH ST
FOUNDATION	1000 N. W. 10TH ST
SMITHS	1000 N. W. 10TH ST
WELDERS	1000 N. W. 10TH ST
TURNERS	1000 N. W. 10TH ST
COOPERAGE	1000 N. W. 10TH ST
JOINERS	1000 N. W. 10TH ST
CARPENTERS	1000 N. W. 10TH ST
ROOFING	1000 N. W. 10TH ST
DRY WALL	1000 N. W. 10TH ST
PAINTING	1000 N. W. 10TH ST
CEILING	1000 N. W. 10TH ST
CONCRETE	1000 N. W. 10TH ST
FOUNDATION	1000 N. W. 10TH ST



NAME IN THIS JURISDICTION	ADJUTANT DEVELOPMENT
BOARD	ADJUTANT DEVELOPMENT
DATE	ADJUTANT DEVELOPMENT
BY	ADJUTANT DEVELOPMENT
FOR	ADJUTANT DEVELOPMENT
CONTRACT	ADJUTANT DEVELOPMENT

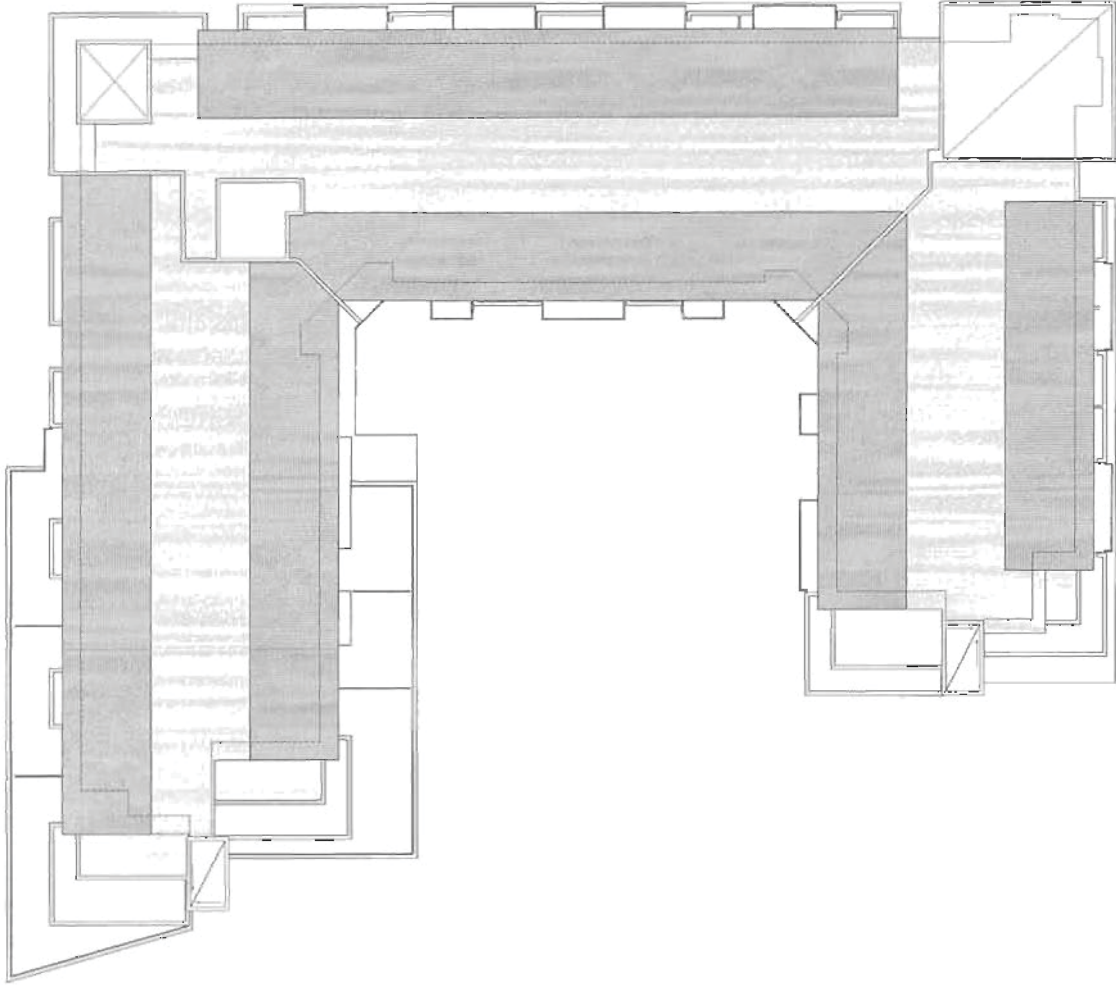
RIVA
 1000 N. W. 10TH ST
 MIAMI, FL 33136

Yamamoto Architecture Inc.
 1000 N. W. 10TH ST
 MIAMI, FL 33136

SCALE: 1/8" = 1'-0"
 DATE: AUG. 26, 2012
 SHEET: 5TH FLOOR PLAN
 BUILDING 1

Plan 17 Sept 4 2012
 DP 12-615424

SCALE	1/8" = 1'-0"
DATE	AUG. 26, 2012
SHEET	5TH FLOOR PLAN
BUILDING	BUILDING 1
PROJECT	ADJUTANT DEVELOPMENT
DATE	SEP 4, 2012
PROJECT	ADJUTANT DEVELOPMENT



Plan 19 Sept 4 2012
 DP 12-615424

NO. 1001	DATE 08/14/12	DESCRIPTION
NO. 1002	DATE 08/14/12	DESCRIPTION
NO. 1003	DATE 08/14/12	DESCRIPTION
NO. 1004	DATE 08/14/12	DESCRIPTION
NO. 1005	DATE 08/14/12	DESCRIPTION
NO. 1006	DATE 08/14/12	DESCRIPTION
NO. 1007	DATE 08/14/12	DESCRIPTION
NO. 1008	DATE 08/14/12	DESCRIPTION
NO. 1009	DATE 08/14/12	DESCRIPTION
NO. 1010	DATE 08/14/12	DESCRIPTION

AMATEUR DEVELOPMENT
 1000 W. 10TH STREET
 SUITE 100
 DENVER, CO 80202

RIVA
 1775 W. ALABAMA STREET
 DENVER, CO 80202

Yamamoto
 Architecture Inc.

1000 W. 10TH STREET
 SUITE 100
 DENVER, CO 80202
 PHONE 303.733.1111
 FAX 303.733.1112
 WWW.YAMAMOTOARCH.COM

NO. 1001	DATE 08/14/12	DESCRIPTION
NO. 1002	DATE 08/14/12	DESCRIPTION
NO. 1003	DATE 08/14/12	DESCRIPTION
NO. 1004	DATE 08/14/12	DESCRIPTION
NO. 1005	DATE 08/14/12	DESCRIPTION
NO. 1006	DATE 08/14/12	DESCRIPTION
NO. 1007	DATE 08/14/12	DESCRIPTION
NO. 1008	DATE 08/14/12	DESCRIPTION
NO. 1009	DATE 08/14/12	DESCRIPTION
NO. 1010	DATE 08/14/12	DESCRIPTION

BUILDING 2 - GROUND FLOOR	
AREA	ACCESSIBLE
UNIT COUNTS	ACCESSIBLE
UNIT COUNTS	ACCESSIBLE
UNIT COUNTS	ACCESSIBLE
TOTAL	UNIT
TOTAL	UNIT
REGISTRATION	21,000 S.F.
RENTAL	1,000 S.F.
PROPOSED UNIT AREA	10,000 S.F.
MECHANICAL UNITS	5

NO. OF UNITS	NO. OF UNITS
NO. OF UNITS	NO. OF UNITS
NO. OF UNITS	NO. OF UNITS
NO. OF UNITS	NO. OF UNITS
NO. OF UNITS	NO. OF UNITS

PROJECT
 APARTMENT DEVELOPMENT
ARCHITECT
 YAMAMOTO ARCHITECTURE INC.
 1777 ALABAMA AVENUE
 BIRMINGHAM, AL 35203

DATE
 09/04/12

PROJECT NO.
 12-615424

SCALE
 1/8" = 1'-0"

DATE
 09/04/12

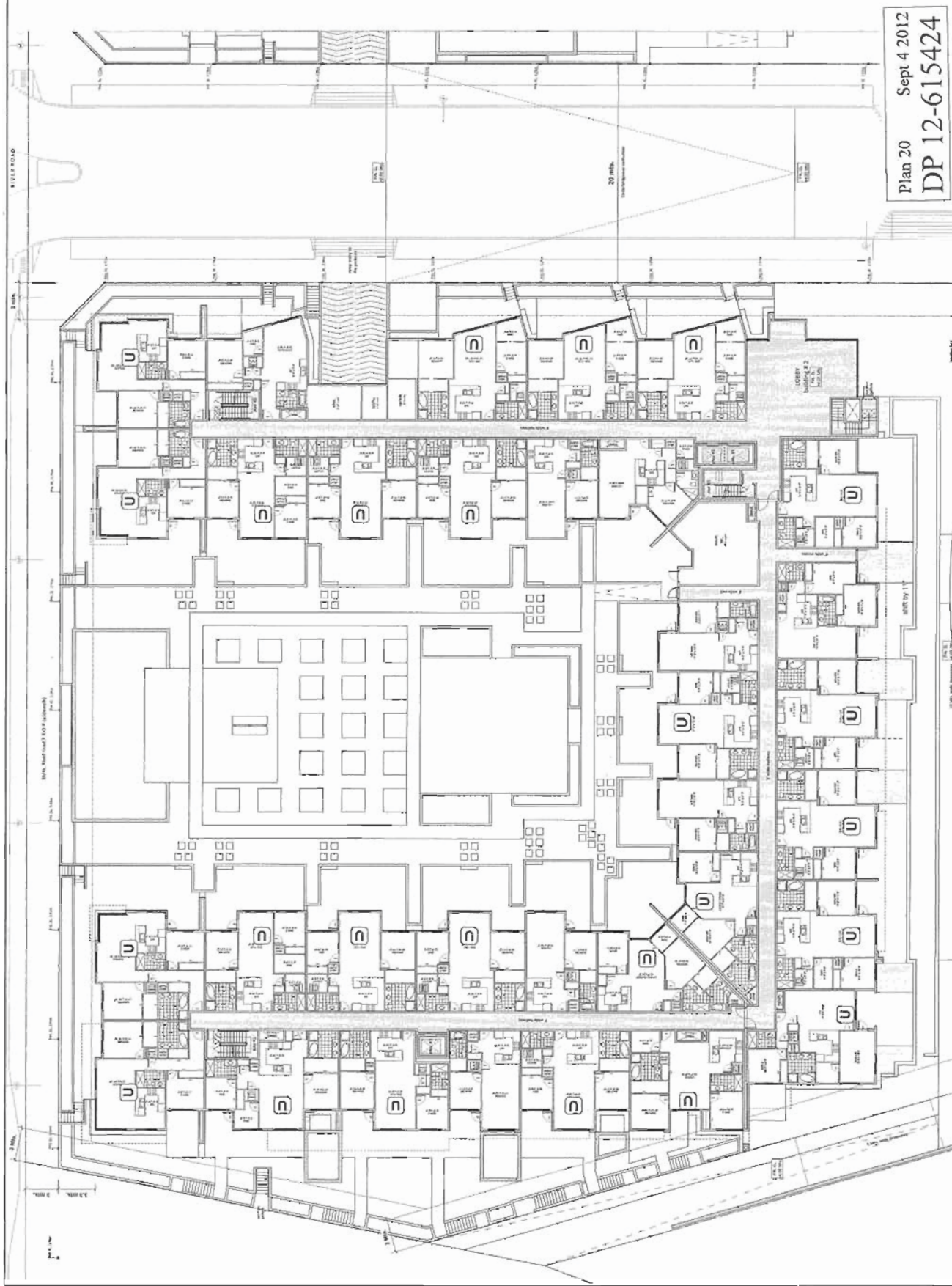
PROJECT NO.
 12-615424

DATE
 09/04/12

PROJECT NO.
 12-615424

DATE
 09/04/12

PROJECT NO.
 12-615424



Plan 20 Sept 4 2012
 DP 12-615424

YAMAMOTO ARCHITECTURE INC.
 1777 ALABAMA AVENUE
 BIRMINGHAM, AL 35203

PROJECT NO.
 12-615424

DATE
 09/04/12

PROJECT NO.
 12-615424

DATE
 09/04/12

PROJECT NO.
 12-615424

DATE
 09/04/12

PROJECT NO.
 12-615424

DATE
 09/04/12

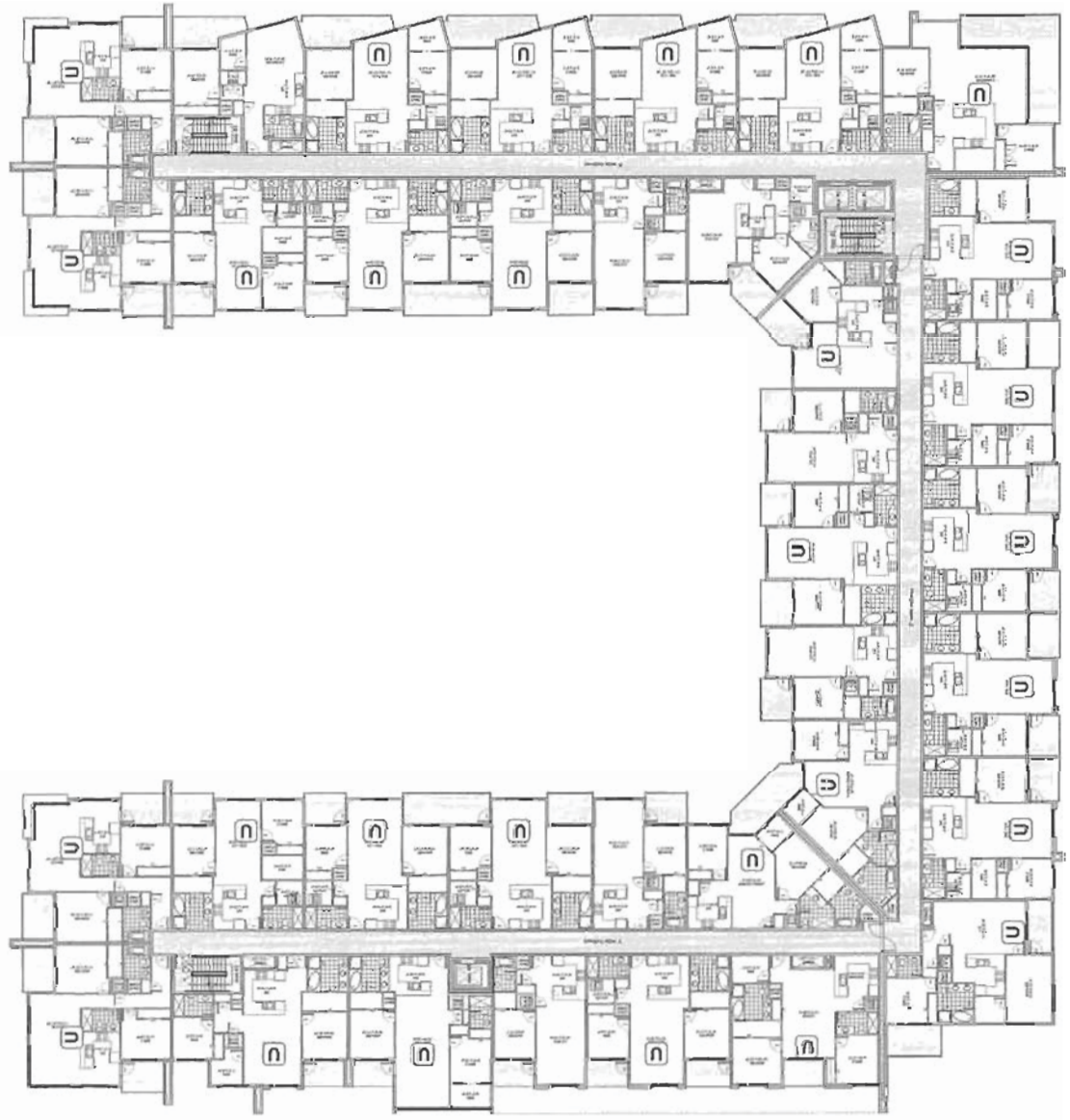
PROJECT NO.
 12-615424

DATE
 09/04/12

PROJECT NO.
 12-615424

BUILDING 2 - 3RD FLOOR

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	09/04/12
2	ISSUED FOR CONSTRUCTION	09/04/12
3	ISSUED FOR OCCUPANCY	09/04/12
4	ISSUED FOR AS-BUILT	09/04/12
5	ISSUED FOR FINAL REVIEW	09/04/12



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	09/04/12
2	ISSUED FOR CONSTRUCTION	09/04/12
3	ISSUED FOR OCCUPANCY	09/04/12
4	ISSUED FOR AS-BUILT	09/04/12
5	ISSUED FOR FINAL REVIEW	09/04/12

AMENITY DEVELOPMENT

RIVA
 1111 ALABAMA AVENUE EAST
 HOUSTON, TX 77002

Yamamoto
 Architecture Inc.

1111 ALABAMA AVENUE EAST
 HOUSTON, TX 77002
 BUILDING 2
 3RD FLOOR PLAN

Plan 22 Sept 4 2012
DP 12-615424

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	09/04/12
2	ISSUED FOR CONSTRUCTION	09/04/12
3	ISSUED FOR OCCUPANCY	09/04/12
4	ISSUED FOR AS-BUILT	09/04/12
5	ISSUED FOR FINAL REVIEW	09/04/12

BUILDING 2 - 4TH FLOOR

DATE	10/22/12	
BY	YAMAMOTO	
REVISIONS		
NO.	DATE	DESCRIPTION
1	10/22/12	ISSUED FOR PERMITS
2	10/22/12	ISSUED FOR PERMITS
3	10/22/12	ISSUED FOR PERMITS
4	10/22/12	ISSUED FOR PERMITS
5	10/22/12	ISSUED FOR PERMITS
6	10/22/12	ISSUED FOR PERMITS
7	10/22/12	ISSUED FOR PERMITS
8	10/22/12	ISSUED FOR PERMITS
9	10/22/12	ISSUED FOR PERMITS
10	10/22/12	ISSUED FOR PERMITS



NO.	DATE	PERSONNEL
1	10/22/12	YAMAMOTO
2	10/22/12	YAMAMOTO
3	10/22/12	YAMAMOTO
4	10/22/12	YAMAMOTO
5	10/22/12	YAMAMOTO
6	10/22/12	YAMAMOTO
7	10/22/12	YAMAMOTO
8	10/22/12	YAMAMOTO
9	10/22/12	YAMAMOTO
10	10/22/12	YAMAMOTO

ADJUSTMENT DEVELOPMENT

RIVA
 1000 W. WASHINGTON ST.
 CHICAGO, IL 60607

Yamamoto
 Architecture Inc.

1000 W. WASHINGTON ST.
 CHICAGO, IL 60607

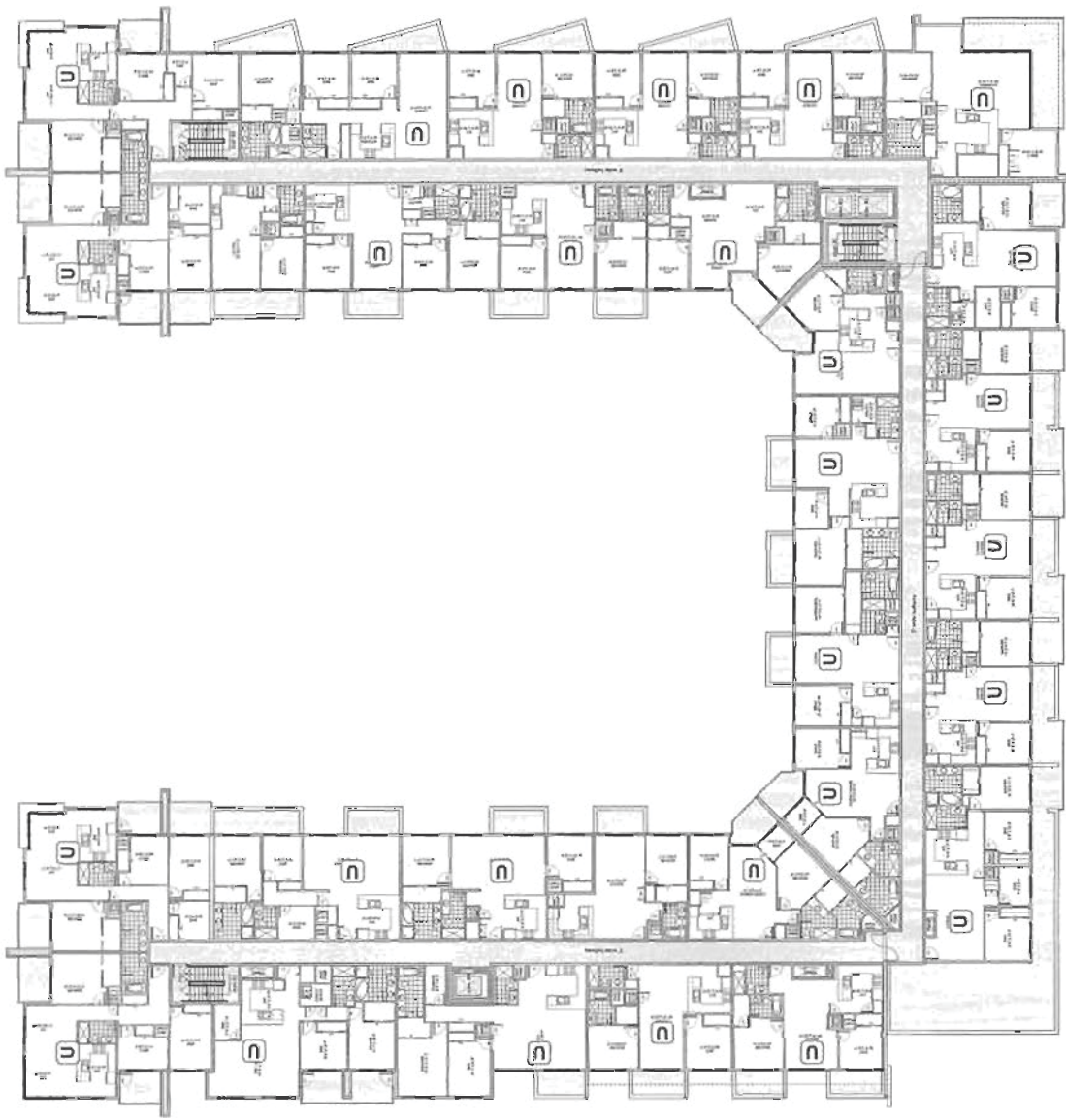
FOURTH FLOOR PLAN
BUILDING 2

Plan 23 Sept 4 2012
 DP 12-615424

DATE	10/22/12	
BY	YAMAMOTO	
REVISIONS		
NO.	DATE	DESCRIPTION
1	10/22/12	ISSUED FOR PERMITS
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4	10/22/12	ISSUED FOR PERMITS
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7	10/22/12	ISSUED FOR PERMITS
8	10/22/12	ISSUED FOR PERMITS
9	10/22/12	ISSUED FOR PERMITS
10	10/22/12	ISSUED FOR PERMITS

BUILDING 2 - 5TH FLOOR

REVISIONS		
NO.	DESCRIPTION	
1	ISSUED FOR PERMITS	
GENERAL NOTES		
1.	SEE ARCHITECTURAL DRAWINGS FOR FINISHES AND DETAILS.	
2.	ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.	
3.	VERIFY ALL FIELD DIMENSIONS PRIOR TO CONSTRUCTION.	
4.	VERIFY ALL MATERIALS AND METHODS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.	
5.	VERIFY ALL MATERIALS AND METHODS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.	
6.	VERIFY ALL MATERIALS AND METHODS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.	
ROOM SCHEDULE		
NO.	ROOM NO.	ROOM NAME
101	101	OFFICE
102	102	OFFICE
103	103	OFFICE
104	104	OFFICE
105	105	OFFICE
106	106	OFFICE
107	107	OFFICE
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200	200	OFFICE



Plan 24 Sept 4 2012
 DP 12-615424

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITS
2	ISSUED FOR PERMITS
3	ISSUED FOR PERMITS
4	ISSUED FOR PERMITS
5	ISSUED FOR PERMITS
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15	ISSUED FOR PERMITS
16	ISSUED FOR PERMITS
17	ISSUED FOR PERMITS
18	ISSUED FOR PERMITS
19	ISSUED FOR PERMITS
20	ISSUED FOR PERMITS

AMBIENT DEVELOPMENT

RIVA
 1775 ALLEGHENY WAY
 PITTSBURGH, PA 15222

Yamamoto
 Architecture Inc.

1775 ALLEGHENY WAY, SUITE 100
 PITTSBURGH, PA 15222
 PH: 412.324.1111
 WWW.YAMAMOTOARCH.COM

DATE	NO.	DESCRIPTION
09/04/2012	01	ISSUED FOR PERMITS

A1-2.5
 00

BUILDING 3 - 5TH FLOOR

UNIT COUNTS	INACCESSIBLE
1	0

APART COUNTS	ACCESSIBLE
33	17

TOTAL	33
APARTS	17

APART COUNTS	ACCESSIBLE
33	17

APART COUNTS	ACCESSIBLE
33	17

APART COUNTS	ACCESSIBLE
33	17

APART COUNTS	ACCESSIBLE
33	17

APART COUNTS	ACCESSIBLE
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APART COUNTS	ACCESSIBLE
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APART COUNTS	ACCESSIBLE
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APART COUNTS	ACCESSIBLE
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APART COUNTS	ACCESSIBLE
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APART COUNTS	ACCESSIBLE
33	17

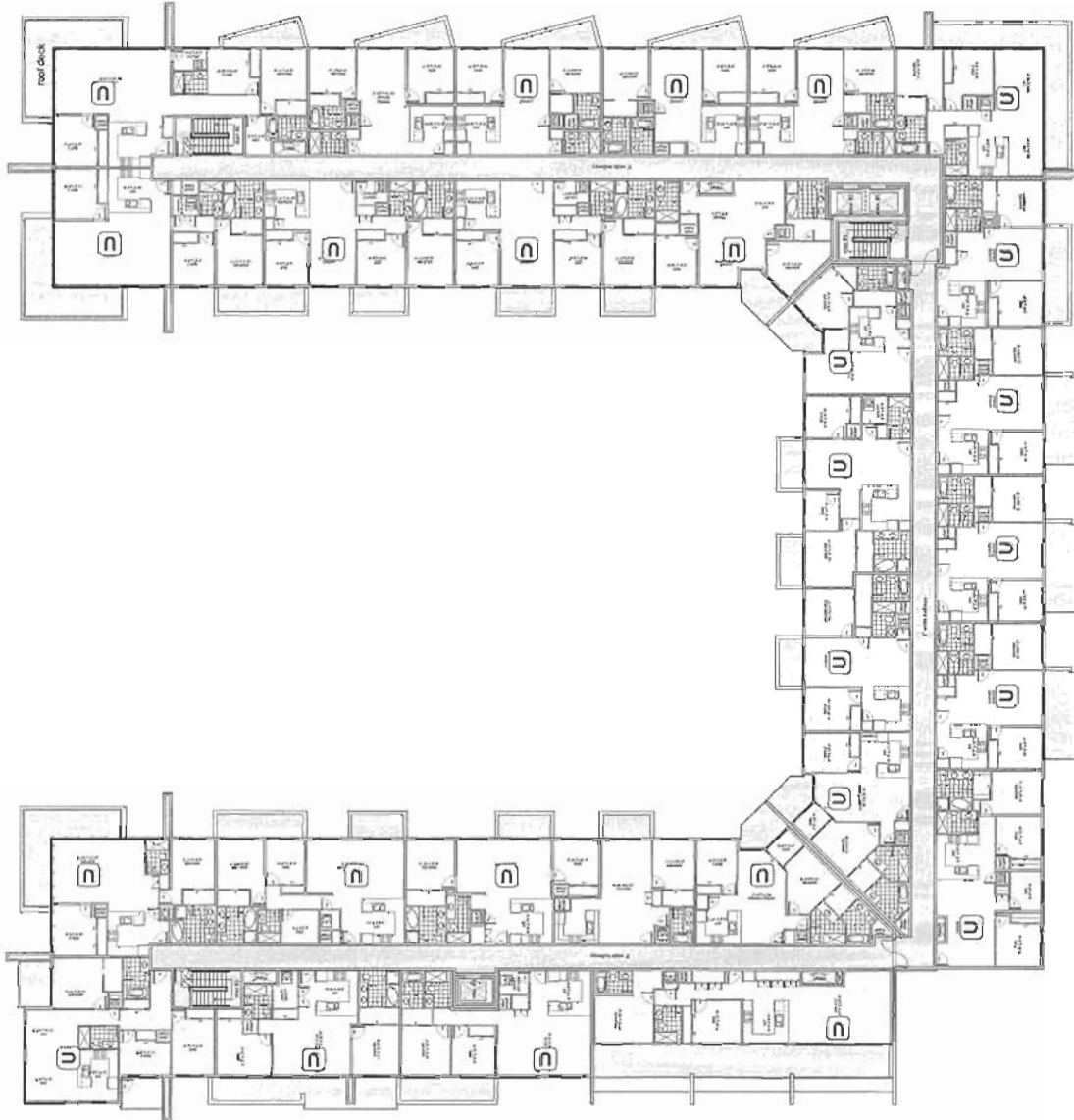
APART COUNTS	ACCESSIBLE
33	17

APART COUNTS	ACCESSIBLE
33	17

APART COUNTS	ACCESSIBLE
33	17

APART COUNTS	ACCESSIBLE
33	17

APART COUNTS	ACCESSIBLE
33	17



NO. OF UNITS	33
NO. OF ACCESSIBLE UNITS	17
TOTAL	50

APARTMENT DEVELOPMENT
 2012.04.04

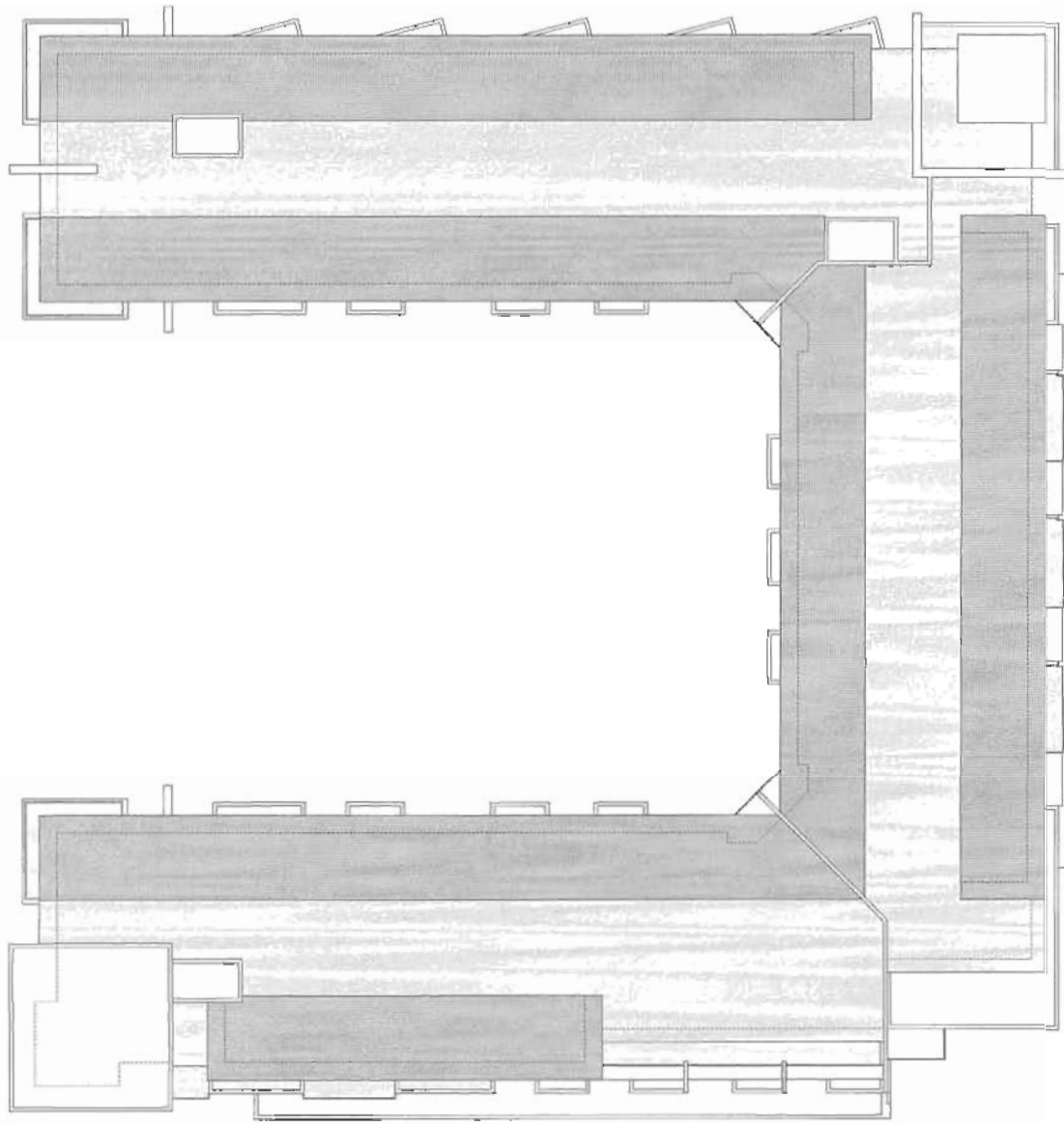
RIVA
 1775 17TH AVE. SUITE 200
 BOSTON, MA 02108

Yamamoto Architecture Inc.

1775 17TH AVE. SUITE 200
 BOSTON, MA 02108
 617-552-1111

SCALE	1/8" = 1'-0"
DATE	APR 23, 2012
PROJECT	A1-2.6
DRAWN BY	DP 12-615424

Plan 25 Sept 4 2012
 DP 12-615424



Plan 26 Sept. 4 2012
 DP 12-615424

NO.	DATE	REVISIONS

PROJECT
 AMBURY DEVELOPMENT

RIVA
 270 WASHINGTON ST
 BOSTON, MA

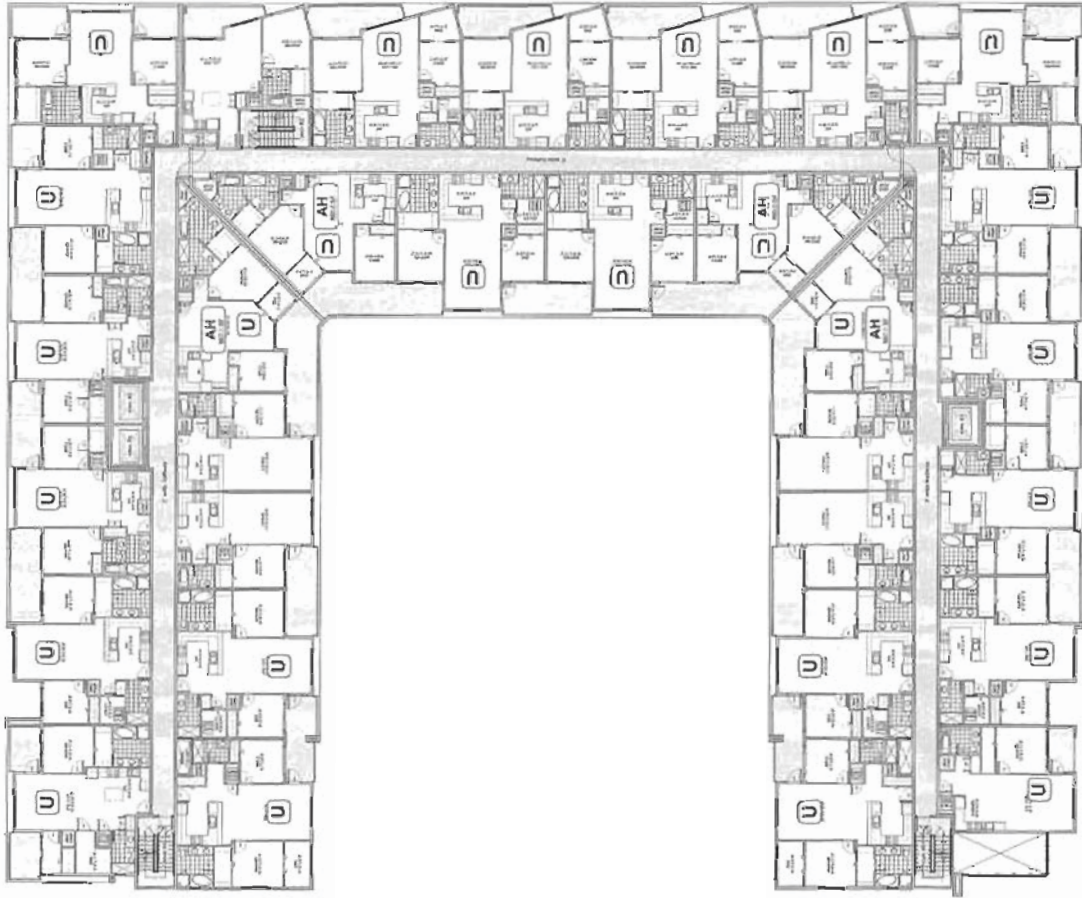
Yamamoto
 Architecture Inc.

1000 WASHINGTON ST
 BOSTON, MA
 02111
 TEL: 617-552-1111
 FAX: 617-552-1112

PROJECT	A1-2.7
DATE	SEP 4 2012
SCALE	AS SHOWN
DESIGNER	YAMAMOTO ARCHITECTURE INC.
CHECKED	
DATE	

BUILDING 3 - 2ND FLOOR:

TYPE	APARTMENTS
UNIT COUNTS	APARTMENTS
UNIT COUNTS	APARTMENTS
UNIT COUNTS	APARTMENTS
UNIT COUNTS	APARTMENTS
TOTAL	APARTMENTS
PROPOSAL:	
PROPOSAL AREA	APARTMENTS
EXISTING AREA	APARTMENTS
PROPOSED AREA	APARTMENTS
PROPOSAL NOTES:	
1. SEE ARCHITECTURAL DRAWINGS FOR UNIT LAYOUTS AND FINISHES.	
2. SEE MECHANICAL DRAWINGS FOR UNIT LAYOUTS AND FINISHES.	
3. SEE ELECTRICAL DRAWINGS FOR UNIT LAYOUTS AND FINISHES.	
4. SEE PLUMBING DRAWINGS FOR UNIT LAYOUTS AND FINISHES.	
5. SEE FINISHES SCHEDULE FOR UNIT LAYOUTS AND FINISHES.	



NO.	DATE	DESCRIPTION
1	09/04/12	ISSUED FOR PERMITS
2	09/04/12	ISSUED FOR PERMITS
3	09/04/12	ISSUED FOR PERMITS
4	09/04/12	ISSUED FOR PERMITS
5	09/04/12	ISSUED FOR PERMITS
6	09/04/12	ISSUED FOR PERMITS
7	09/04/12	ISSUED FOR PERMITS
8	09/04/12	ISSUED FOR PERMITS
9	09/04/12	ISSUED FOR PERMITS
10	09/04/12	ISSUED FOR PERMITS

ARCHITECTURE DEVELOPMENT

RIVA
RIVA ARCHITECTURE INC.
MEMPHIS, TN

Yamamoto
Architecture Inc.

1000 W. WOOD ST., SUITE 200
MEMPHIS, TN 38117
PH: 901.521.1100
WWW.YAMAMOTOARCH.COM

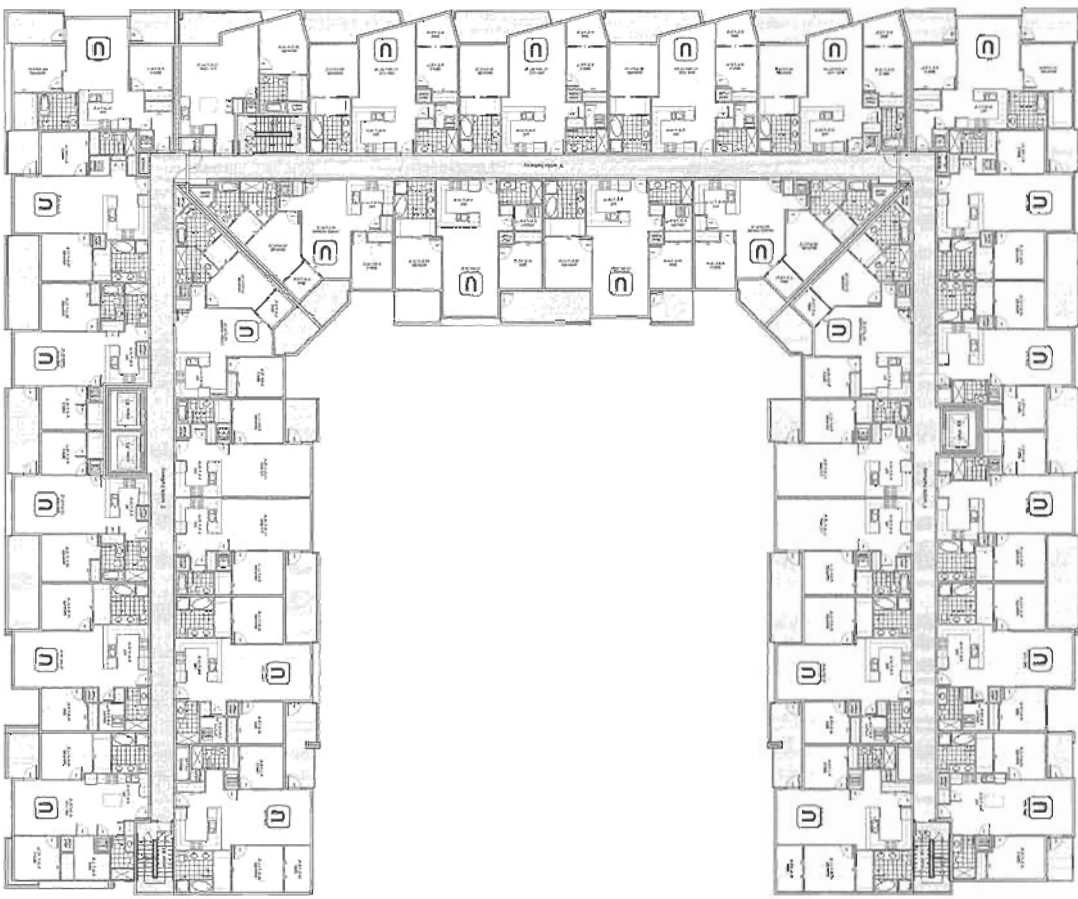
SECOND FLOOR PLAN
BUILDING 3

DATE	09/04/12
SCALE	AS SHOWN
PROJECT NO.	A1-32
DATE	09/04/12
SCALE	AS SHOWN
PROJECT NO.	A1-32
DATE	09/04/12
SCALE	AS SHOWN
PROJECT NO.	A1-32

Plan 27 Sept. 4, 2012
DP 12-615424

BUILDING 3-4TH FLOOR

REVISIONS	
NO.	DESCRIPTION
1	ISSUE FOR PERMIT
2	ISSUE FOR PERMIT
3	ISSUE FOR PERMIT
4	ISSUE FOR PERMIT
5	ISSUE FOR PERMIT
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20	ISSUE FOR PERMIT



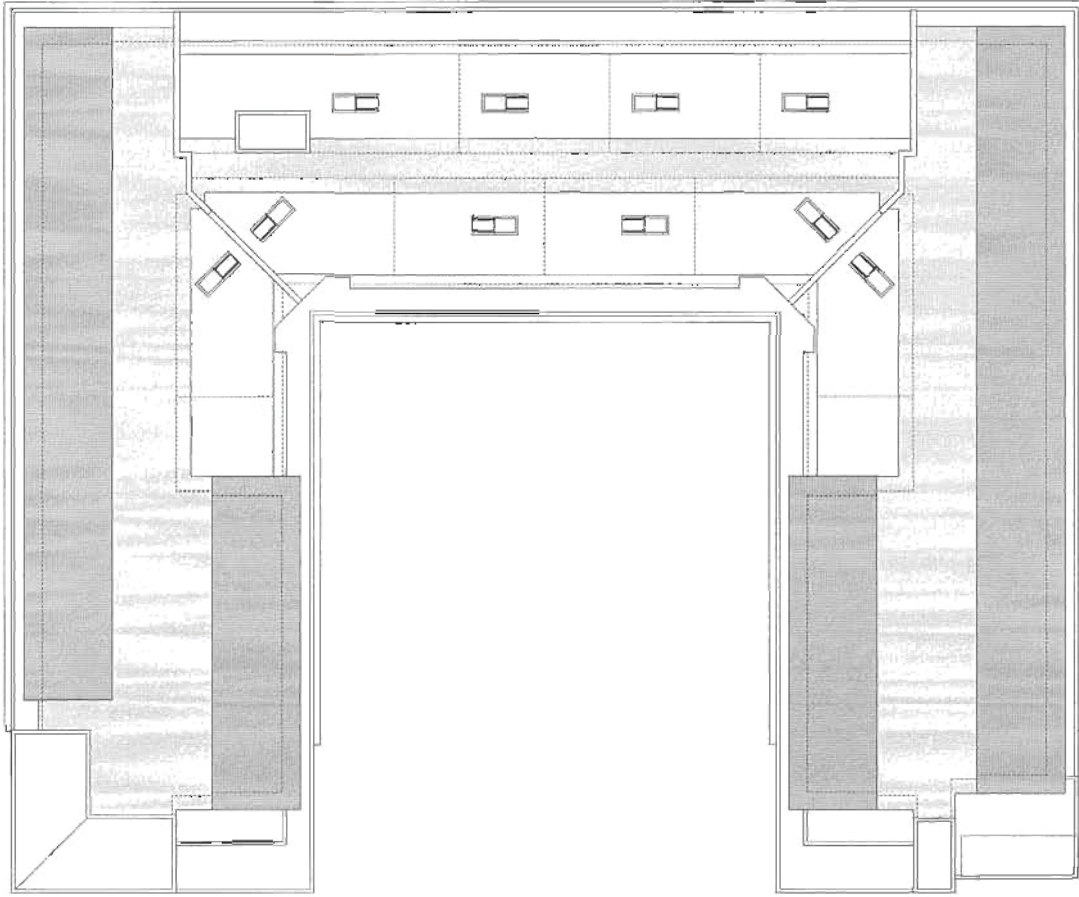
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19	10/10/12	ISSUE FOR PERMIT
20	10/10/12	ISSUE FOR PERMIT

PROJECT
AMATEMENT DEVELOPMENT
RIVA
 1770 17TH AVENUE WEST
 DENVER, CO 80202

Yamamoto
Architecture Inc.
 1875 18TH AVENUE WEST, SUITE 200
 DENVER, CO 80202

DATE	10/10/12
BY	JAM
CHECKED	YAM
SCALE	AS SHOWN
TITLE	4TH FLOOR PLAN
PROJECT NO.	A1-3.4
DATE	09
BY	JAM
CHECKED	YAM

Plan 29 Sept: 4 2012
 DP 12-615424



Plan 32 Sept 4 2012
 DP 12-615424

NO.	DATE	DESCRIPTION
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RIVA
 3711 17TH AVENUE SW
 RICHMOND, B.C.

Yamamoto
 Architecture Inc.

PROJECT NO. 12-615424
 SHEET NO. 32 OF 37
 DATE: 09/11/12
 DRAWN BY: [Name]
 CHECKED BY: [Name]

SCALE	AS SHOWN
DATE	09/11/12
PROJECT	ADVERTISING BUILDING
SHEET NO.	32 OF 37
TOTAL SHEETS	37
DATE	09/11/12
PROJECT	ADVERTISING BUILDING
SHEET NO.	32 OF 37
TOTAL SHEETS	37

BUILDING & GROUND FLOOR	
NO. 1	APPROVED
NO. 2	APPROVED
NO. 3	APPROVED
NO. 4	APPROVED
NO. 5	APPROVED
NO. 6	APPROVED
NO. 7	APPROVED
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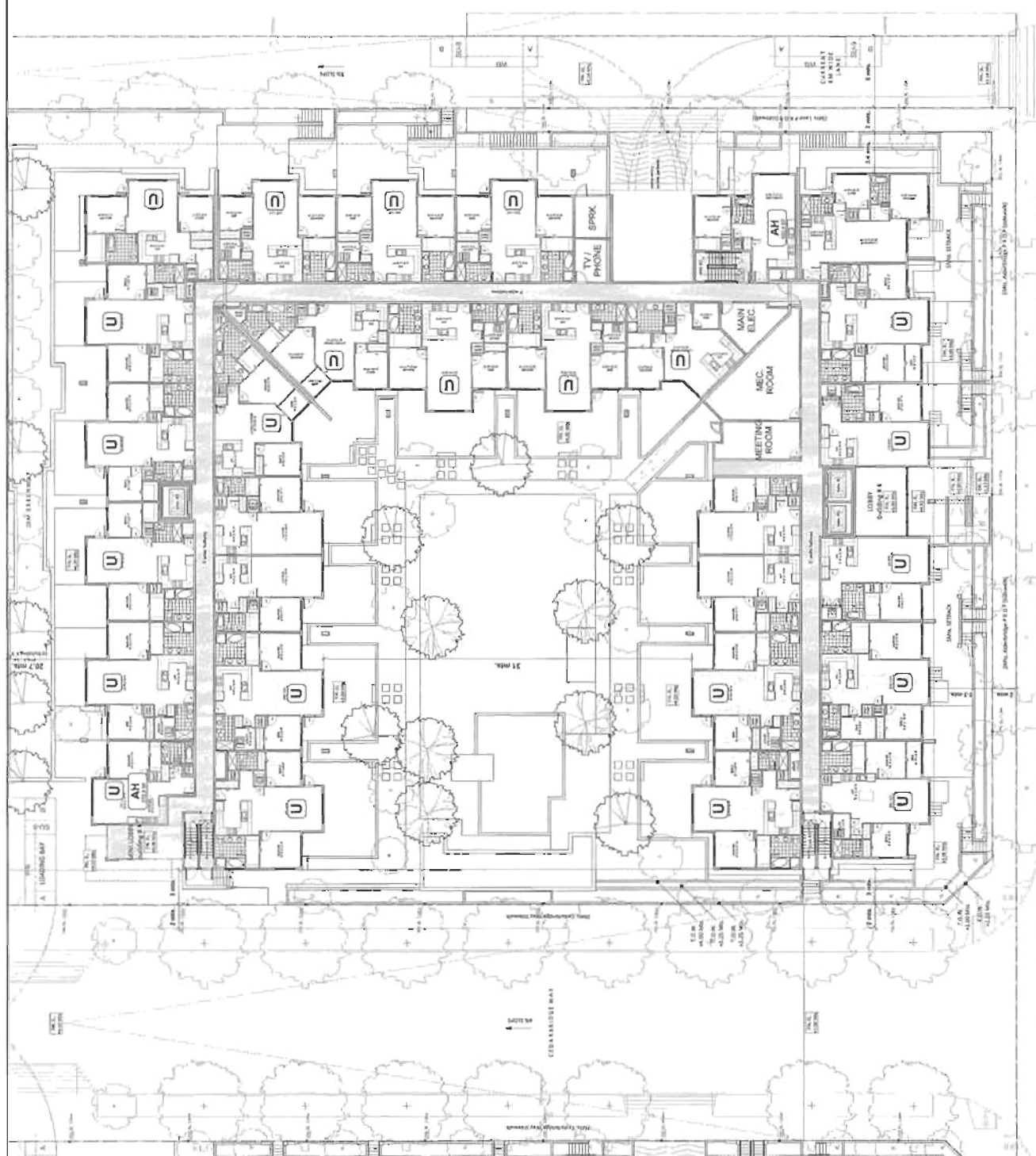
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NO. 99	APPROVED
NO. 100	APPROVED

PROJECT: APARTMENT DEVELOPMENT
 ARCHITECT: YAMAMOTO ARCHITECTURE INC.
 ADDRESS: 1000 W. 10TH AVE. SUITE 1000 DENVER, CO 80202

RIVA
 1000 W. 10TH AVE. SUITE 1000
 DENVER, CO 80202
 YAMAMOTO ARCHITECTURE INC.
 1000 W. 10TH AVE. SUITE 1000
 DENVER, CO 80202

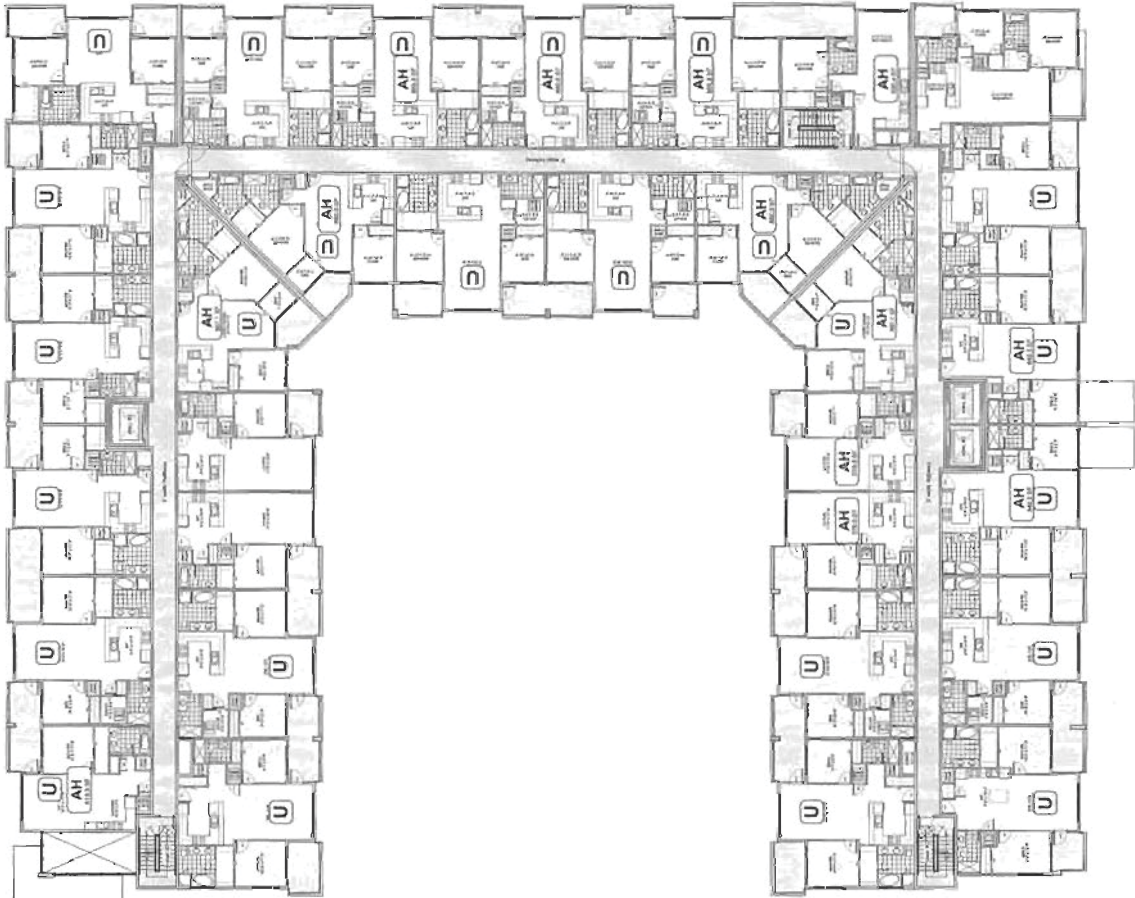
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DATE: 09/04/2012	SCALE: 1/8" = 1'-0"
TITLE: 1ST FLOOR PLAN	BUILDING #
PROJECT: APARTMENT DEVELOPMENT	NO. 1
DATE: 09/04/2012	SCALE: 1/8" = 1'-0"
TITLE: 1ST FLOOR PLAN	BUILDING #
PROJECT: APARTMENT DEVELOPMENT	NO. 1

Plan 33 Sept 4 2012
 DP 12-615424



BUILDING 4 - 2ND FLOOR

PROJECT	
NO. 1	PROJECT NAME
NO. 2	PROJECT ADDRESS
NO. 3	PROJECT CITY
NO. 4	PROJECT STATE
NO. 5	PROJECT ZIP
NO. 6	PROJECT COUNTY
NO. 7	PROJECT PLAT
NO. 8	PROJECT SHEET
NO. 9	PROJECT DATE
NO. 10	PROJECT SCALE
NO. 11	PROJECT DRAWN BY
NO. 12	PROJECT CHECKED BY
NO. 13	PROJECT APPROVED BY
NO. 14	PROJECT DATE
NO. 15	PROJECT SHEET



NO. 16	PROJECT NAME
NO. 17	PROJECT ADDRESS
NO. 18	PROJECT CITY
NO. 19	PROJECT STATE
NO. 20	PROJECT ZIP
NO. 21	PROJECT COUNTY
NO. 22	PROJECT PLAT
NO. 23	PROJECT SHEET
NO. 24	PROJECT DATE
NO. 25	PROJECT SCALE
NO. 26	PROJECT DRAWN BY
NO. 27	PROJECT CHECKED BY
NO. 28	PROJECT APPROVED BY
NO. 29	PROJECT DATE
NO. 30	PROJECT SHEET

RIVA
 1000 WEST ALDER STREET, SUITE 100
 CHICAGO, ILLINOIS 60606
 TEL: 312.467.1000
 FAX: 312.467.1001
 WWW.RIVA.COM

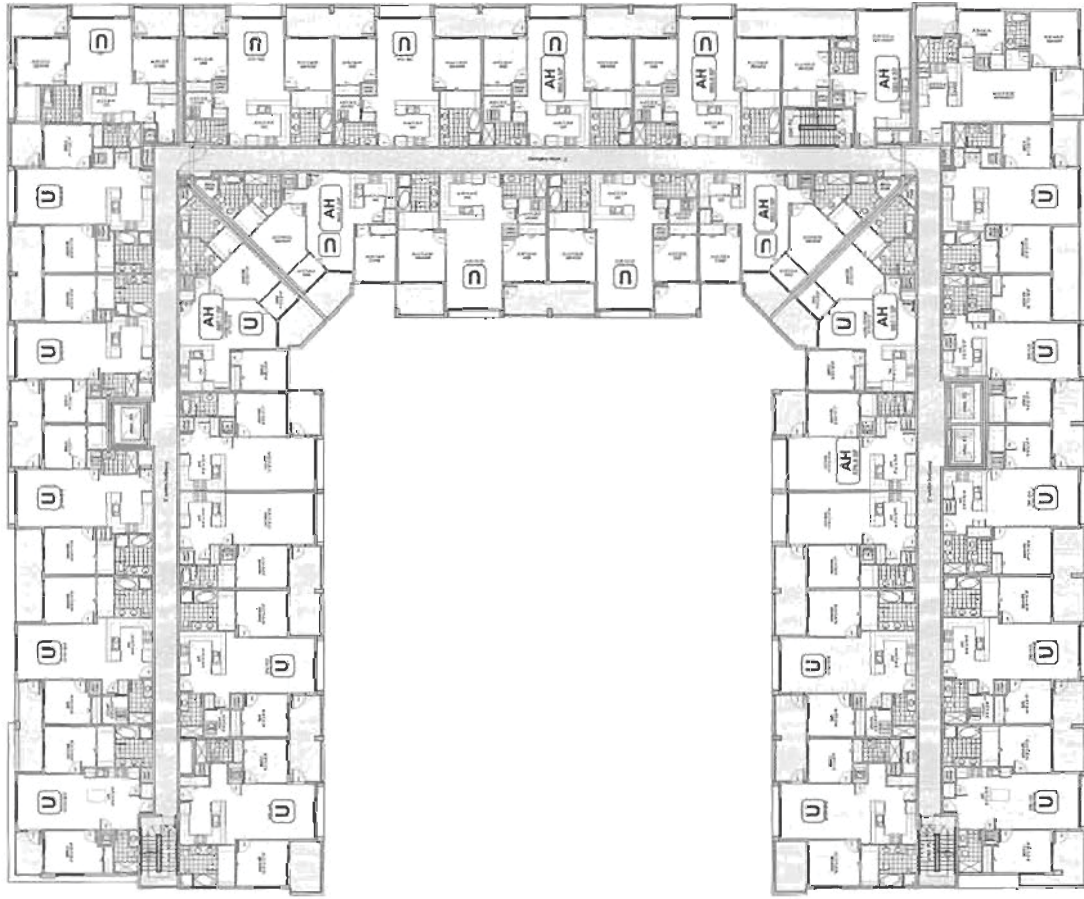
Yamamoto
 Architecture Inc.
 1000 WEST ALDER STREET, SUITE 100
 CHICAGO, ILLINOIS 60606
 TEL: 312.467.1000
 FAX: 312.467.1001
 WWW.YAMAMOTOARCH.COM

NO. 31	PROJECT NAME
NO. 32	PROJECT ADDRESS
NO. 33	PROJECT CITY
NO. 34	PROJECT STATE
NO. 35	PROJECT ZIP
NO. 36	PROJECT COUNTY
NO. 37	PROJECT PLAT
NO. 38	PROJECT SHEET
NO. 39	PROJECT DATE
NO. 40	PROJECT SCALE
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NO. 42	PROJECT CHECKED BY
NO. 43	PROJECT APPROVED BY
NO. 44	PROJECT DATE
NO. 45	PROJECT SHEET

Plan 34 Sept 4 2012
DP 12-615424

BUILDING 4-BED FLOOR

DATE	1	DATE	2012
DESIGNER	YAMAMOTO	ARCHITECT	YAMAMOTO
SCALE	AS SHOWN	PROJECT NO.	DP 12-615424
DATE	1	DATE	2012
DESIGNER	YAMAMOTO	ARCHITECT	YAMAMOTO
SCALE	AS SHOWN	PROJECT NO.	DP 12-615424
DATE	1	DATE	2012
DESIGNER	YAMAMOTO	ARCHITECT	YAMAMOTO
SCALE	AS SHOWN	PROJECT NO.	DP 12-615424
DATE	1	DATE	2012
DESIGNER	YAMAMOTO	ARCHITECT	YAMAMOTO
SCALE	AS SHOWN	PROJECT NO.	DP 12-615424



NO.	DATE	DESCRIPTION
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2	2	ISSUED FOR PERMIT
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9	9	ISSUED FOR PERMIT
10	10	ISSUED FOR PERMIT

AMENITY DEVELOPMENT
PROJECT

RIVA
1000 W. 10TH STREET
MONTGOMERY, AL 36103

Yamamoto
Architecture Inc.

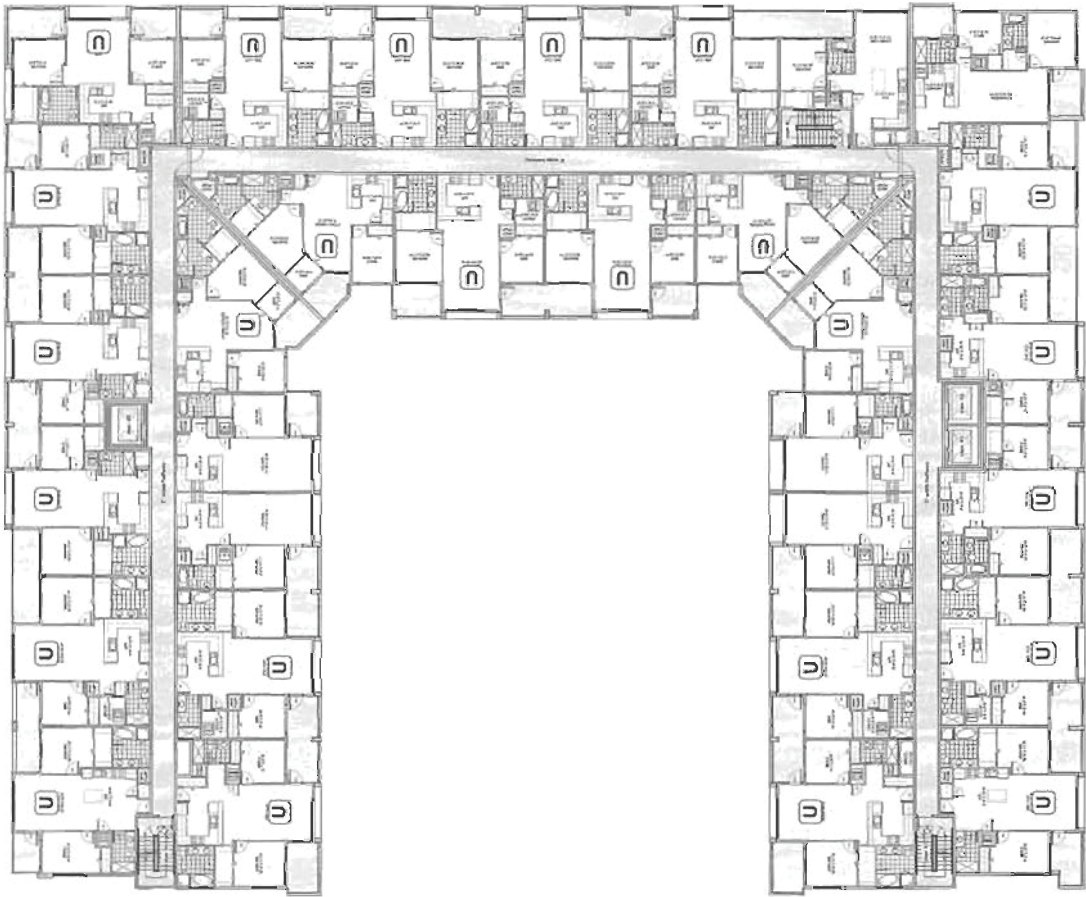
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MONTGOMERY, AL 36103
THIRD FLOOR PLAN
BUILDING 4

DATE	1	DATE	2012
DESIGNER	YAMAMOTO	ARCHITECT	YAMAMOTO
SCALE	AS SHOWN	PROJECT NO.	DP 12-615424
DATE	1	DATE	2012
DESIGNER	YAMAMOTO	ARCHITECT	YAMAMOTO
SCALE	AS SHOWN	PROJECT NO.	DP 12-615424

Plan 35 Sept. 4 2012
DP 12-615424

BUILDING 4 - 4TH FLOOR

PROJECT NO.	12-615424
DATE	09/04/12
PROJECT NAME	APARTMENT DEVELOPMENT
OWNER	AMERICAN DEVELOPMENT
DESIGNER	YAMAMOTO ARCHITECTURE INC.
DATE	09/04/12
PROJECT NAME	APARTMENT DEVELOPMENT
OWNER	AMERICAN DEVELOPMENT
DESIGNER	YAMAMOTO ARCHITECTURE INC.
DATE	09/04/12
PROJECT NAME	APARTMENT DEVELOPMENT
OWNER	AMERICAN DEVELOPMENT
DESIGNER	YAMAMOTO ARCHITECTURE INC.
DATE	09/04/12



NO.	DATE	DESCRIPTION
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AMERICAN DEVELOPMENT
 1000 W. 10TH STREET, SUITE 100
 DENVER, CO 80202
 (303) 733-1111
 WWW.AMERICANDEV.COM

YAMAMOTO ARCHITECTURE INC.
 1000 W. 10TH STREET, SUITE 100
 DENVER, CO 80202
 (303) 733-1111
 WWW.YAMAMOTOARCH.COM

RIVA
 REAL ESTATE DEVELOPMENT
 INCORPORATED, LLC

Yamamoto
 Architecture Inc.

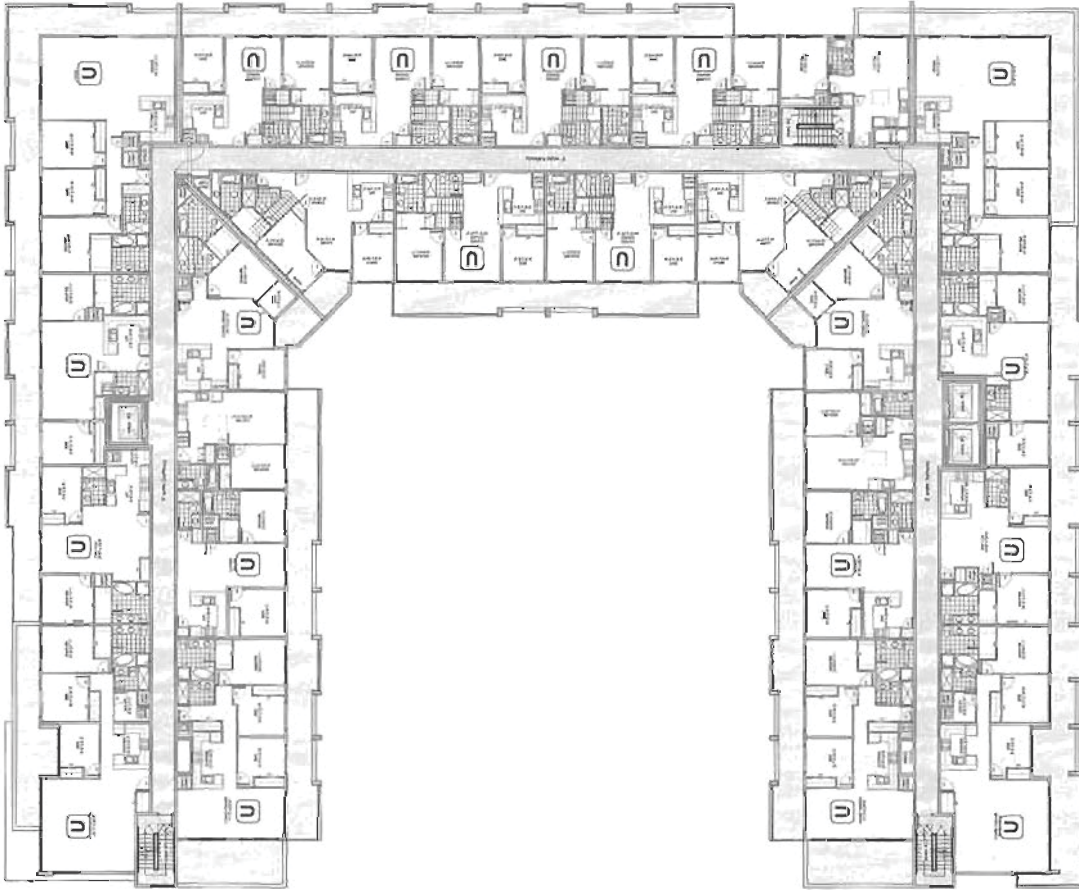
1000 W. 10TH STREET, SUITE 100
 DENVER, CO 80202
 (303) 733-1111
 WWW.AMERICANDEV.COM

PROJECT NO.	12-615424
DATE	09/04/12
PROJECT NAME	APARTMENT DEVELOPMENT
OWNER	AMERICAN DEVELOPMENT
DESIGNER	YAMAMOTO ARCHITECTURE INC.
DATE	09/04/12
PROJECT NAME	APARTMENT DEVELOPMENT
OWNER	AMERICAN DEVELOPMENT
DESIGNER	YAMAMOTO ARCHITECTURE INC.
DATE	09/04/12

Plan 36 Sept 4 2012
 DP 12-615424

BUILDING 4 CITY FLOOR:

UNIT TYPES		UNIT COUNTS	
1BR	1	2BR	1
2BR	1	3BR	1
UNIT TOTALS		UNIT COUNTS	
1BR	1	2BR	1
2BR	1	3BR	1
TOTAL		TOTAL	
1BR	1	2BR	1
2BR	1	3BR	1
REMARKS		REMARKS	
UNIT TYPES		UNIT COUNTS	
TOTAL		TOTAL	
REMARKS		REMARKS	



UNIT TYPES		UNIT COUNTS	
1BR	1	2BR	1
2BR	1	3BR	1
UNIT TOTALS		UNIT COUNTS	
1BR	1	2BR	1
2BR	1	3BR	1
TOTAL		TOTAL	
1BR	1	2BR	1
2BR	1	3BR	1
REMARKS		REMARKS	
UNIT TYPES		UNIT COUNTS	
TOTAL		TOTAL	
REMARKS		REMARKS	

PROJECT:
AMATEUR DEVELOPMENT

RIVA
 1000 ALBANY AVENUE
 ALBANY, N.Y.

Yamamoto
 Architecture Inc.

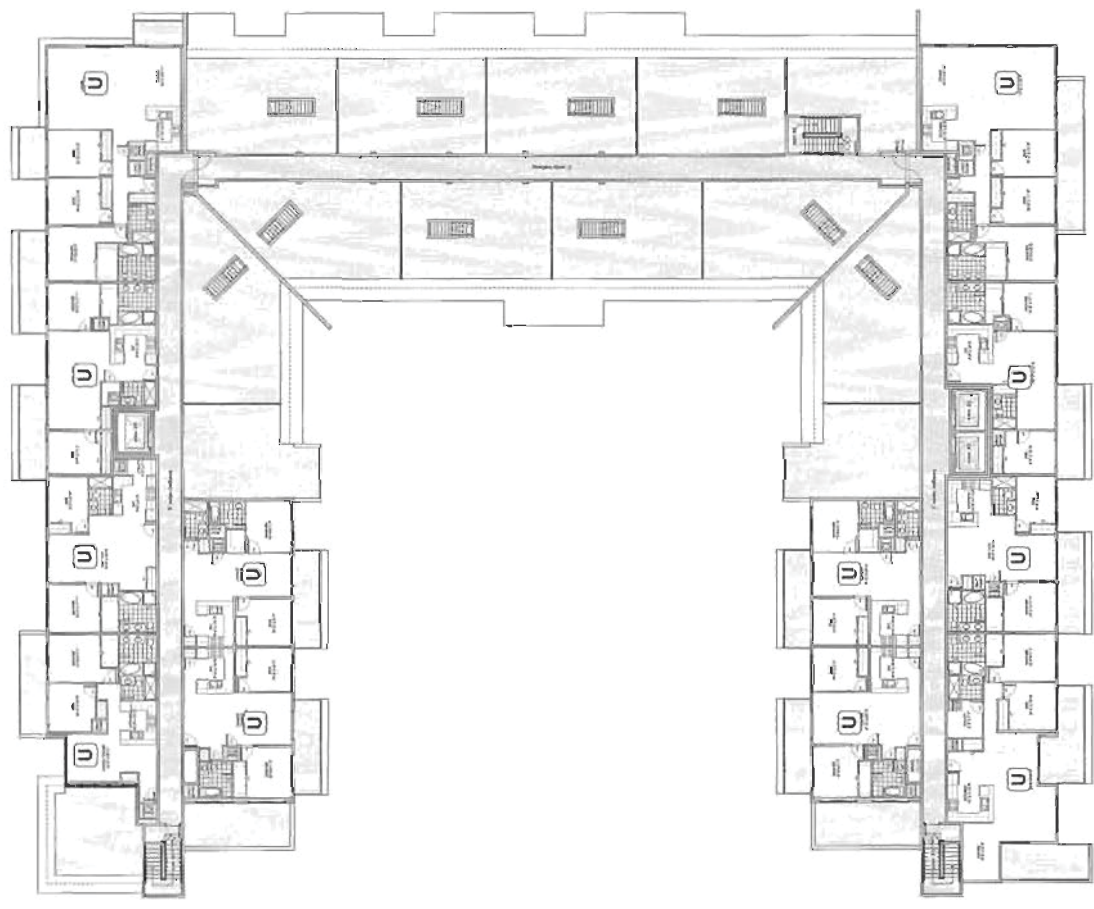
DATE: 09/04/12
BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN

PROJECT:		PROJECT:	
1BR	1	2BR	1
2BR	1	3BR	1
UNIT TOTALS		UNIT COUNTS	
1BR	1	2BR	1
2BR	1	3BR	1
TOTAL		TOTAL	
1BR	1	2BR	1
2BR	1	3BR	1
REMARKS		REMARKS	
UNIT TYPES		UNIT COUNTS	
TOTAL		TOTAL	
REMARKS		REMARKS	

Plan 37 Sept 4 2012
 DP 12-615424

BUILDINGS 4-4TH FLOOR

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITS
2	ISSUED FOR PERMITS
3	ISSUED FOR PERMITS
4	ISSUED FOR PERMITS
5	ISSUED FOR PERMITS
6	ISSUED FOR PERMITS
7	ISSUED FOR PERMITS
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16	ISSUED FOR PERMITS
17	ISSUED FOR PERMITS
18	ISSUED FOR PERMITS
19	ISSUED FOR PERMITS
20	ISSUED FOR PERMITS



NO.	DATE	DESCRIPTION
1	08/28/12	ISSUED FOR PERMITS
2	09/04/12	ISSUED FOR PERMITS
3	09/11/12	ISSUED FOR PERMITS
4	09/18/12	ISSUED FOR PERMITS
5	09/25/12	ISSUED FOR PERMITS
6	10/02/12	ISSUED FOR PERMITS
7	10/09/12	ISSUED FOR PERMITS
8	10/16/12	ISSUED FOR PERMITS
9	10/23/12	ISSUED FOR PERMITS
10	10/30/12	ISSUED FOR PERMITS
11	11/06/12	ISSUED FOR PERMITS
12	11/13/12	ISSUED FOR PERMITS
13	11/20/12	ISSUED FOR PERMITS
14	11/27/12	ISSUED FOR PERMITS
15	12/04/12	ISSUED FOR PERMITS
16	12/11/12	ISSUED FOR PERMITS
17	12/18/12	ISSUED FOR PERMITS
18	12/25/12	ISSUED FOR PERMITS
19	01/01/13	ISSUED FOR PERMITS
20	01/08/13	ISSUED FOR PERMITS

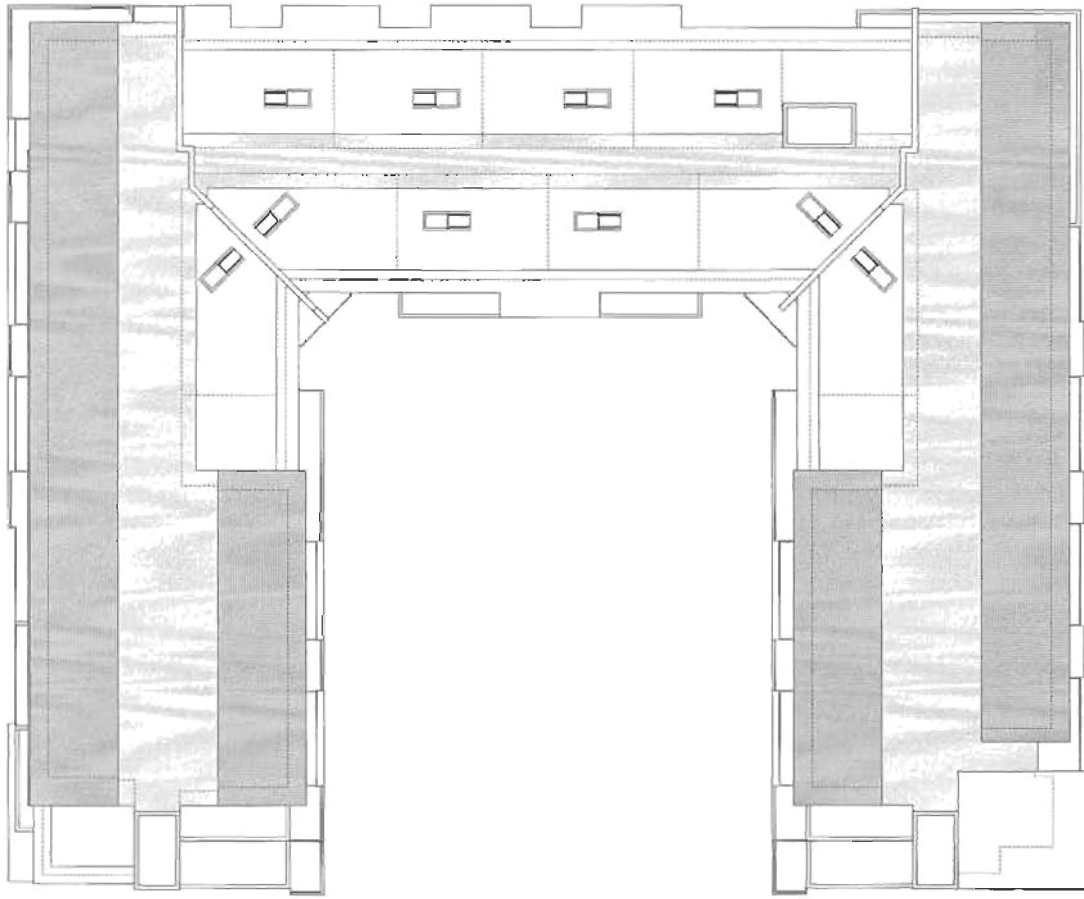
PROJECT
AMBIENT DEVELOPMENT
NO. 4, 2012

RIVA
 401 JEFFERSON AVENUE
 PHILADELPHIA, PA 19107

Yamamoto Architecture Inc.
 1000 Locust Street, Suite 1000
 Philadelphia, PA 19107
 Tel: 215-593-1000
 Fax: 215-593-1001
 www.yamamotoarch.com

DATE	NO.	DESCRIPTION
08/28/12	1	ISSUED FOR PERMITS
09/04/12	2	ISSUED FOR PERMITS
09/11/12	3	ISSUED FOR PERMITS
09/18/12	4	ISSUED FOR PERMITS
09/25/12	5	ISSUED FOR PERMITS
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09/25/12	17	ISSUED FOR PERMITS
09/25/12	18	ISSUED FOR PERMITS
09/25/12	19	ISSUED FOR PERMITS
09/25/12	20	ISSUED FOR PERMITS

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 DP 12-615424



Plan 39 Sept 4 2012
 DP 12-615424

NO. 1	DATE	DESCRIPTION
1	10/11/12	REVISION
2	10/11/12	REVISION
3	10/11/12	REVISION
4	10/11/12	REVISION
5	10/11/12	REVISION

PROJECT
 MANAGEMENT DEVELOPMENT

RIVA
 ARCHITECTURE INC.

Yamamoto
 Architecture Inc.

ROOF PLAN
 BUILDING 1

SCALE	DATE	PROJECT NO.	DATE
1/8" = 1'-0"	10/11/12	A1-4.7	09
DESIGNED BY	DATE	PROJECT NO.	DATE



NOTES:

NO. 1	DATE	DESCRIPTION
1	10/10/11	ISSUED FOR PERMITTING
2	01/10/12	ISSUED FOR PERMITTING
3	02/10/12	ISSUED FOR PERMITTING
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99	02/18/20	ISSUED FOR PERMITTING
100	03/18/20	ISSUED FOR PERMITTING

SHARP & DIAMOND
LANDSCAPE ARCHITECTS INC.
1000 WEST 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.SHARPD.COM

Yamamoto
Architecture Inc.
1000 WEST 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.YAMAMOTOARCH.COM

RIVA
ARCHITECTS
1000 WEST 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.RIVAARCH.COM

onni
ARCHITECTS OF COLORADO
1000 WEST 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.ONNIARCH.COM

LANDSCAPE SITE PLAN

L1.1



- DRAWING LEGEND**
- L1.1 LANDSCAPE SITE PLAN
 - L1.2 LANDSCAPE DETAIL PLAN - BUILDING 4
 - L1.3 COURTYARD DETAIL PLAN - BUILDING 1
 - L1.4 EAST WEST COURTYARD DETAIL PLAN - BUILDING 3
 - L1.5 EAST WEST COURTYARD DETAIL PLAN - BUILDING 2
 - L1.6 ON-SITE PRIVATE AND SHARED OPEN SPACE
 - L1.7 FUTURE LAKE CONDITION
 - L1.8 ON-SITE PERMEABILITY CALCULATIONS
 - L1.9 ON-SITE PERMEABILITY CALCULATIONS
 - L1.10 CENTRAL PLAZA DETAIL PLAN
 - L2.1 PLANT MATERIALS
 - L3.1 LANDSCAPE SECTIONS
 - L3.2 LANDSCAPE SECTIONS
 - L3.3 LANDSCAPE SECTIONS
 - L3.4 LANDSCAPE ELEVATIONS AND DETAILS
 - L4.1 PRECEDENT IMAGES
 - L5.1 PLAY AREA ELEMENTS
 - L5.2 LANDSCAPE DETAILS



Plan 40 Sept 4 2012
DP 12-615424

NOTES



NO.	REVISION	DATE
1	ISSUED FOR PERMITS	
2	REVISED	
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100	REVISED	

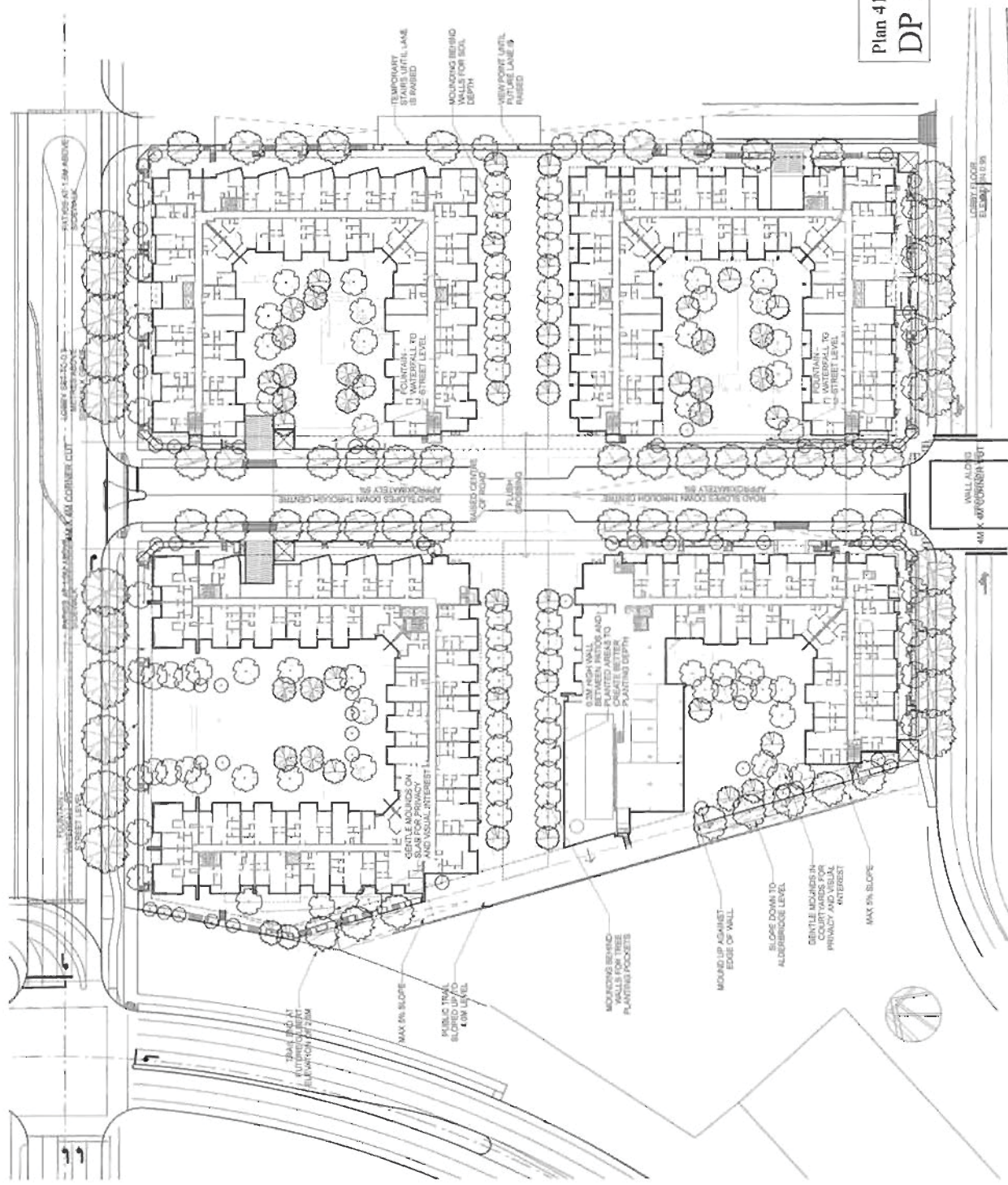
SHARP & DIAMOND
LANDSCAPE ARCHITECTURE INC.
1000 WEST 10TH AVENUE SUITE 100
DENVER, CO 80202
TEL: 303.733.1111 FAX: 303.733.1112

Yamamoto
Architecture Inc.
1000 WEST 10TH AVENUE SUITE 100
DENVER, CO 80202
TEL: 303.733.1111 FAX: 303.733.1112

RIVA
ONNI
ONNI GROUP INC. 1000 WEST 10TH AVENUE SUITE 100
DENVER, CO 80202
TEL: 303.733.1111 FAX: 303.733.1112

Plan 41 Sept 4 2012
DP 12-615424

L12



NOTES



1. SITE PLAN	DATE: 08/15/12
2. LAYOUT PLAN	DATE: 08/15/12
3. PLANTING PLAN	DATE: 08/15/12
4. IRRIGATION PLAN	DATE: 08/15/12
5. LIGHTING PLAN	DATE: 08/15/12
6. FENCE PLAN	DATE: 08/15/12
7. SIGNAGE PLAN	DATE: 08/15/12
8. UTILITY PLAN	DATE: 08/15/12
9. CONSTRUCTION DETAILS	DATE: 08/15/12
10. MATERIAL SCHEDULE	DATE: 08/15/12
11. FINISH SCHEDULE	DATE: 08/15/12
12. LEGEND	DATE: 08/15/12

SHARP & DIAMOND
 LANDSCAPE ARCHITECTS, INC.
 1000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112
 www.sharpdiamond.com

Yamamoto
 Architecture Inc.

2200 16th Street, Suite 1000, Denver, CO 80202
 TEL: 303.733.1111 FAX: 303.733.1112
 www.yamamoto.com

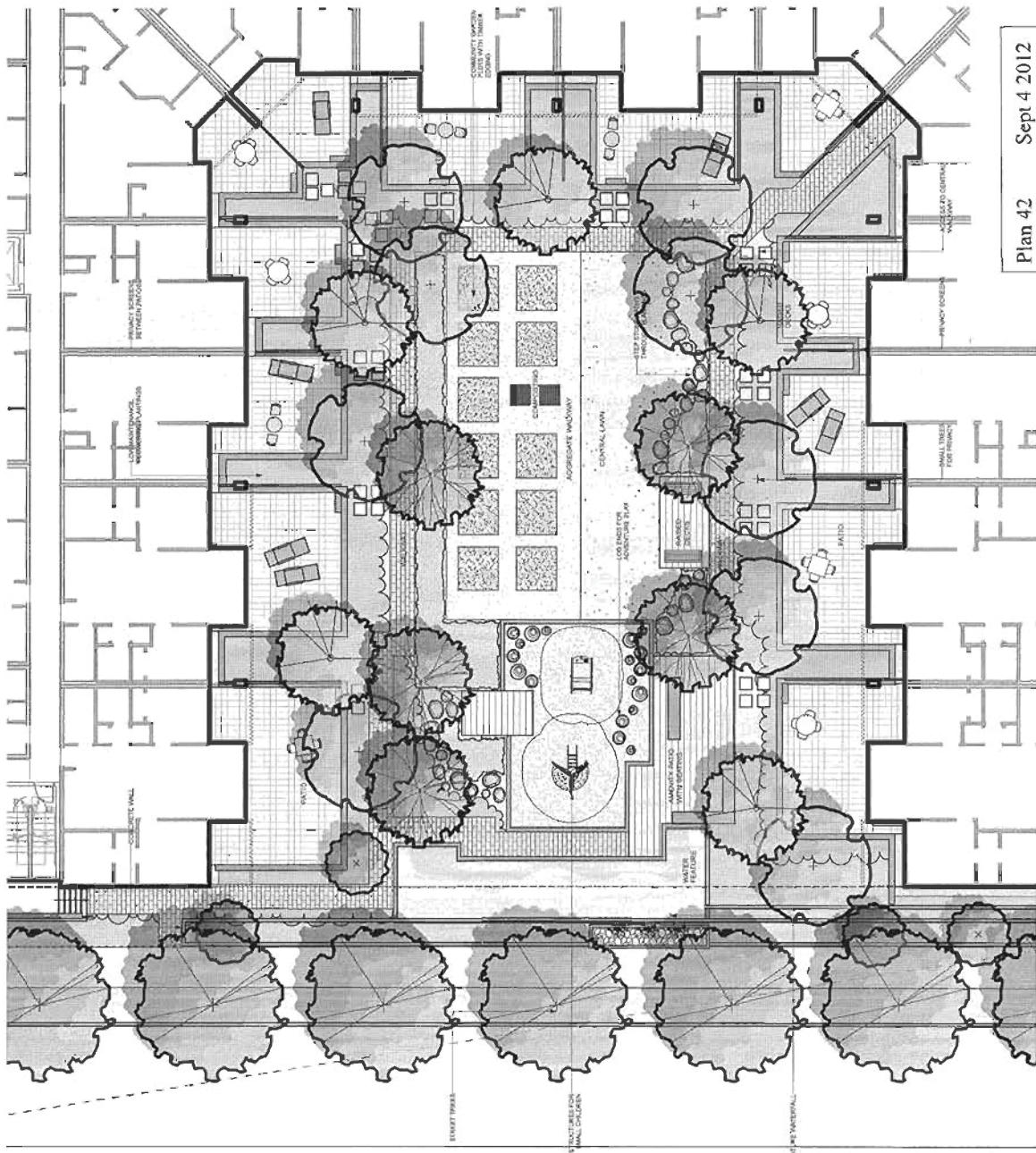
RIVA

onni
 OFFICE OF COMMUNITY DESIGN

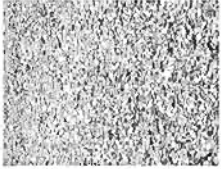
DATE	08/15/12
SCALE	AS SHOWN
PROJECT	BUILDING 4 COURTYARD
SHEET	DETAIL PLAN
TITLE	
DESIGNED BY	
CHECKED BY	
APPROVED BY	

BUILDING 4
COURTYARD
DETAIL PLAN

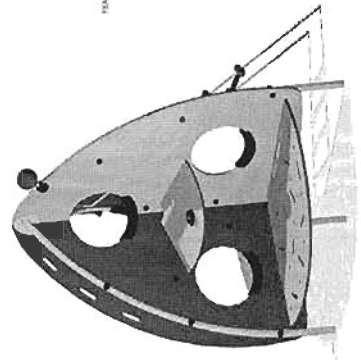
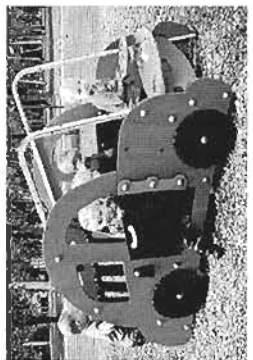
L1.3



Plan 42 Sept 4 2012
 DP 12-615424



WOOD FIBRE FALL SURFACING



KOMPAN CLIMBY STRUCTURE



NOTES:

1.	REVISION	DATE	BY	DESCRIPTION
1.	ISSUED FOR PERMITS	08/07/12	JL	REVISED PER CITY COMMENTS
2.	REVISED	08/14/12	JL	REVISED PER CITY COMMENTS
3.	REVISED	08/14/12	JL	REVISED PER CITY COMMENTS
4.	REVISED	08/14/12	JL	REVISED PER CITY COMMENTS
5.	REVISED	08/14/12	JL	REVISED PER CITY COMMENTS
6.	REVISED	08/14/12	JL	REVISED PER CITY COMMENTS
7.	REVISED	08/14/12	JL	REVISED PER CITY COMMENTS
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19.	REVISED	08/14/12	JL	REVISED PER CITY COMMENTS
20.	REVISED	08/14/12	JL	REVISED PER CITY COMMENTS



Yamamoto Architecture Inc.

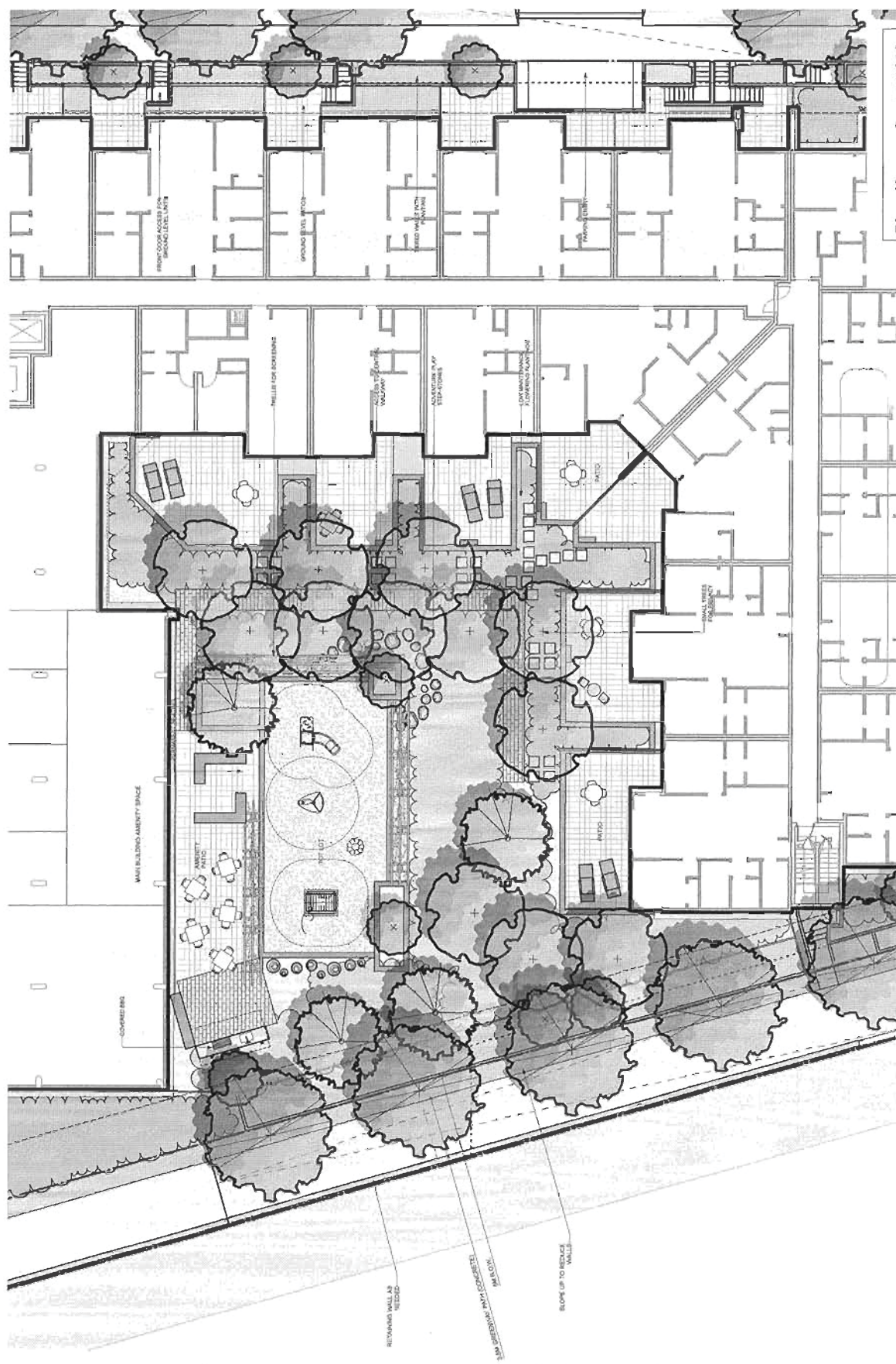
1000 W. 12TH AVE. SUITE 1000 DENVER, CO 80202
 TEL: 303.733.1111 FAX: 303.733.1112

RIVA
 ONNI
 OFFICE OF COMMUNITY DESIGN

PROJECT:	
OWNER:	
DATE:	
SCALE:	
SHEET NO.:	
SHEET TITLE:	

BUILDING 1
 COURTYARD
 DETAIL PLAN

L1.4



Plan 43 Sept 4 2012
 DP 12-615424

NOTES



1	DATE	DESCRIPTION
1	12-12-12	ISSUED FOR PERMIT
2	12-12-12	ISSUED FOR PERMIT
3	12-12-12	ISSUED FOR PERMIT
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20	12-12-12	ISSUED FOR PERMIT

SHARP & DIAMOND
 EXPERIENCE MANAGEMENT INC.
 1000 W. 10th Street, Suite 100
 Denver, CO 80202
 Tel: 303.733.1111
 Fax: 303.733.1112
 www.sharpdiamond.com

Yamamoto
 Architecture Inc.
 1000 W. 10th Street, Suite 100
 Denver, CO 80202
 Tel: 303.733.1111
 Fax: 303.733.1112
 www.yamamoto.com

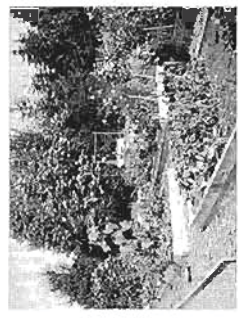
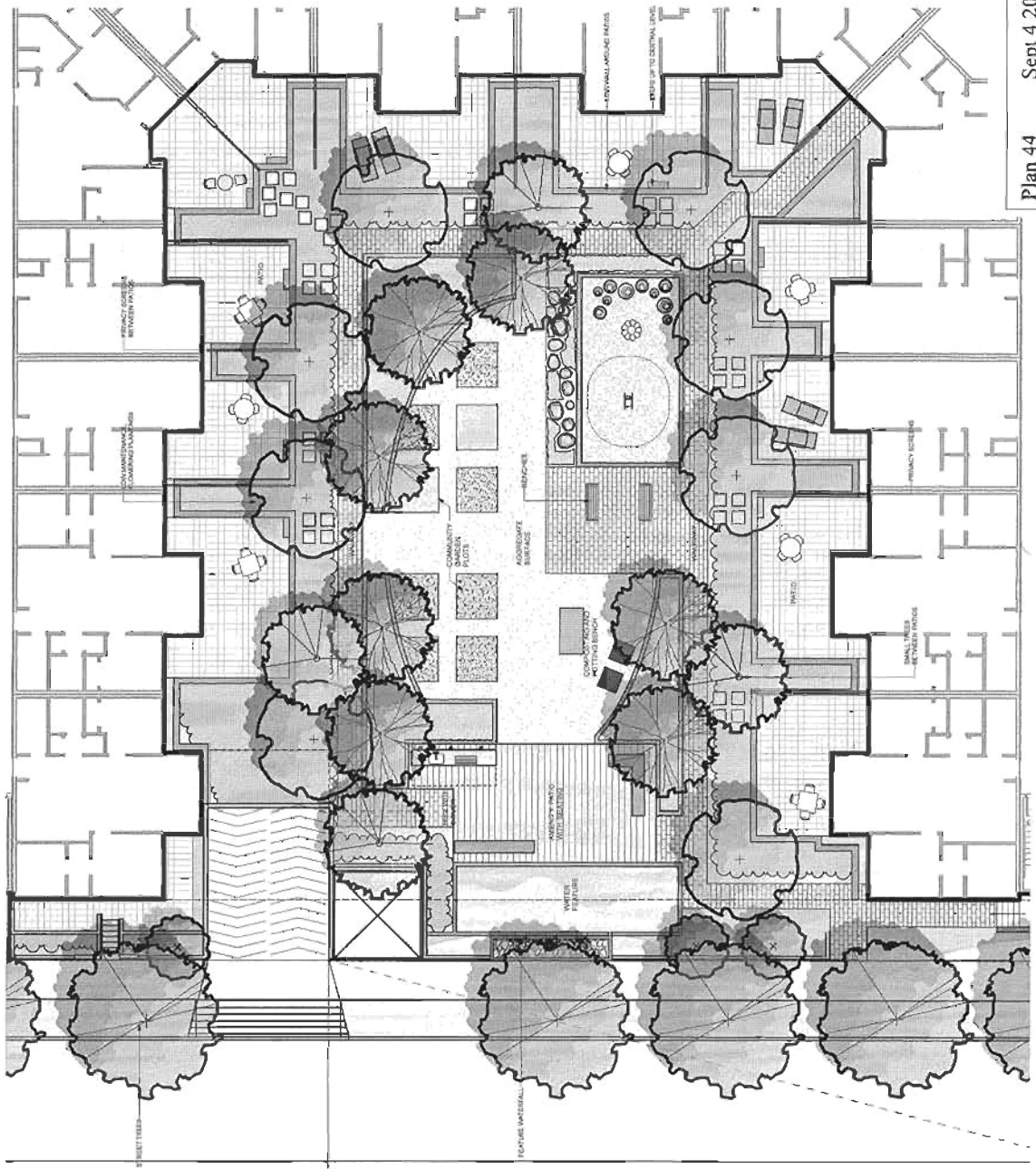
RIVA
 1000 W. 10th Street, Suite 100
 Denver, CO 80202
 Tel: 303.733.1111
 Fax: 303.733.1112
 www.riva.com

onni
 1000 W. 10th Street, Suite 100
 Denver, CO 80202
 Tel: 303.733.1111
 Fax: 303.733.1112
 www.onni.com

BUILDING 3
COURTYARD
DETAIL PLAN

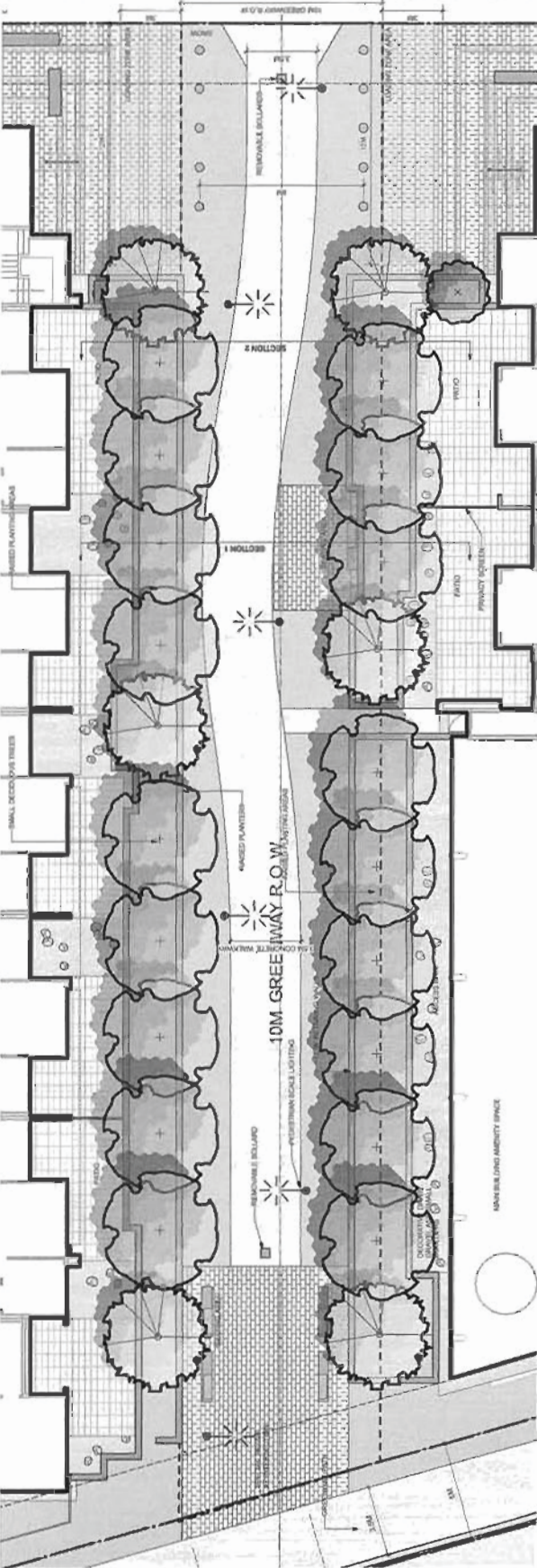
L1.5

Plan 44 Sept 4 2012
 DP 12-615424



COURTYARD GARDENING PRECEDENTS

NOTES:



NO.	DESCRIPTION	DATE
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2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
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 NEW YORK, NY 10018
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 WWW.SHARPD.COM

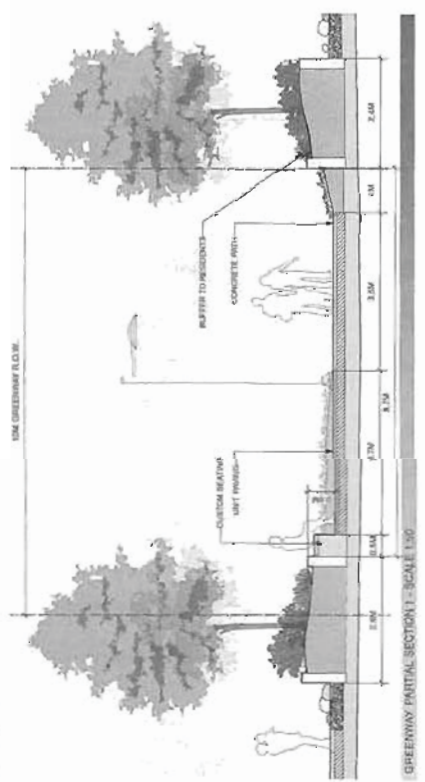
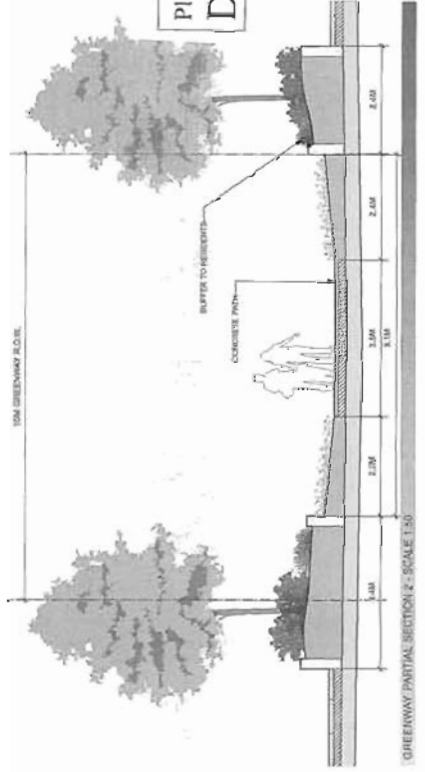
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 Architecture Inc.
 1000 BROADWAY, SUITE 1000
 NEW YORK, NY 10018
 TEL: 212 693 8800
 WWW.YAMAMOTOARCH.COM

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EAST / WEST
 COMMUNITY GARDEN
 GREENWAY

L1.6



GREENWAY PARTIAL SECTION 2, SCALE 1:30

GREENWAY PARTIAL SECTION 1, SCALE 1:30

NOTES:



NO.	REVISION	DATE
1	ISSUE FOR PERMITTING	09/04/12
2	ISSUE FOR PERMITTING	09/04/12
3	ISSUE FOR PERMITTING	09/04/12
4	ISSUE FOR PERMITTING	09/04/12
5	ISSUE FOR PERMITTING	09/04/12
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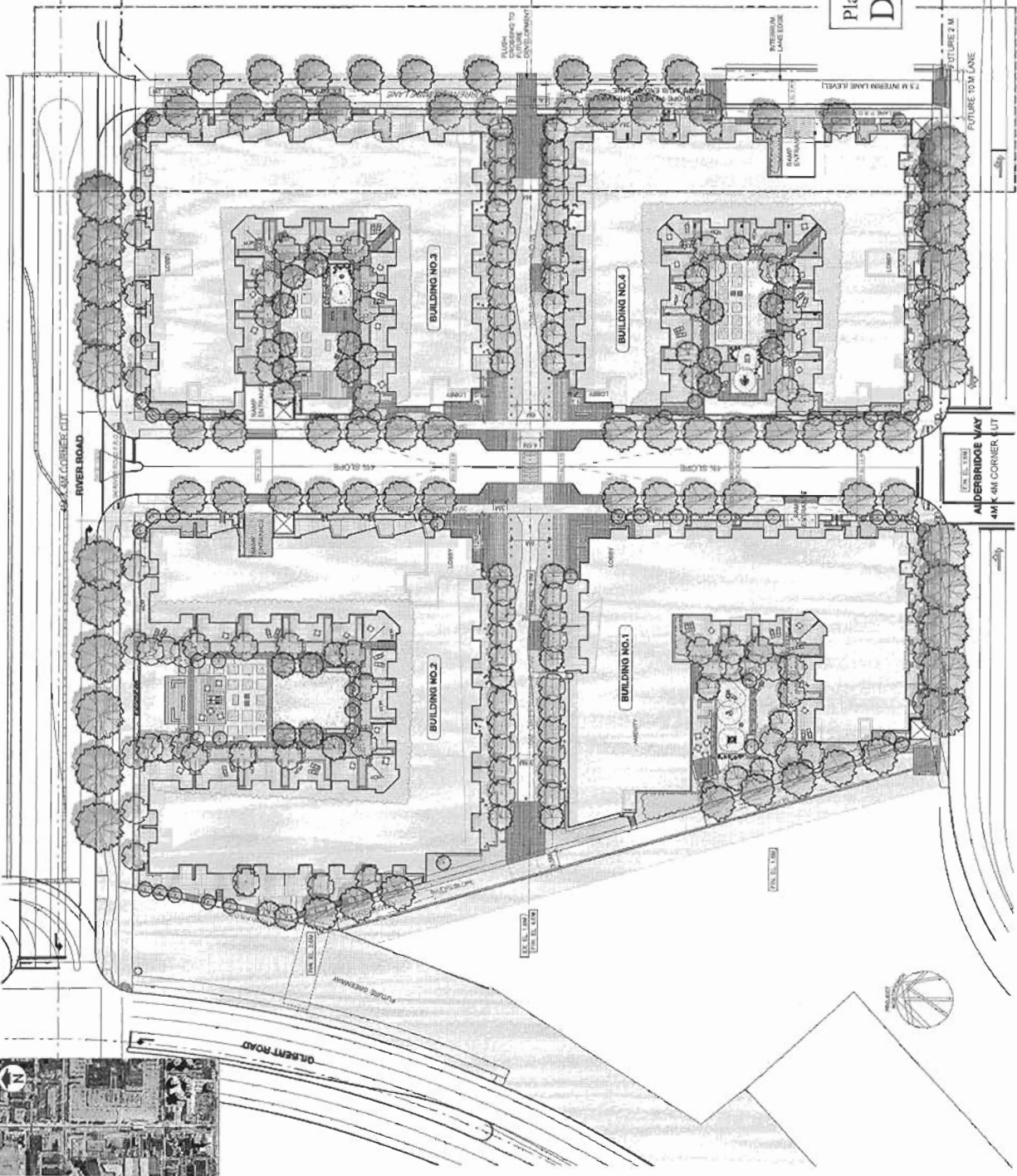
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 1000 WEST 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112
 www.sharpanddiamond.com

Yamamoto
 Architecture Inc.
 1000 WEST 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112
 www.yamamotoarchitecture.com

RIVA
 ARCHITECTS
 1000 WEST 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112
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WILSON PARKWAY
 FUTURE LANE GREENWAY
 FUTURE 10M LANE
 FUTURE 2 M



L1.7

NOTES

1.	DATE	DESCRIPTION
12	12/15/2011	ISSUED FOR PERMITTING
11	08/15/2011	ISSUED FOR PERMITTING
10	08/15/2011	ISSUED FOR PERMITTING
9	08/15/2011	ISSUED FOR PERMITTING
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1	08/15/2011	ISSUED FOR PERMITTING



SHARP & DIAMOND
 ARCHITECTS ASSOCIATES P.A.
 2000 West 12th Street
 Suite 1000
 Vancouver, BC V6H 2T6
 Tel: 604-681-1122
 Fax: 604-681-1123

Yamamoto
 Architecture Inc.

200 West 12th Street, Suite 1000
 Vancouver, BC V6H 2T6
 Tel: 604-681-1122
 Fax: 604-681-1123

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ON-SITE PRIVATE AND
 SHARED OPEN SPACE
 AND PROPOSED PUBLIC
 ART PLAN

L1.8



**ON-SITE PRIVATE AND SHARED OPEN SPACE
 AND PROPOSED PUBLIC ART PLAN**

STATISTICS / LEGEND

- SHARED OPEN SPACE**
 - TOTAL OUTDOOR SHARED AMENITY AREA: 5,176 SQ.M. (55,714 SQ.FT.)
 - REQUIREMENTS AT 8 SQ.M. PER UNIT
 - 660 TOTAL UNITS = 5,280 SQ.M. SHARED AMENITY SPACE
- INDOOR SHARED AMENITY AREA:**
 - BLDG 1 (SHARED BY BLDG 2): 1,832 SQ.M.
 - BLDG 3: 21 SQ.M.
 - BLDG 4: 21 SQ.M.
 - TOTAL INDOOR SHARED AMENITY AREA: 1,874 SQ.M. (20,171 SQ.FT.)
- PRIVATE OPEN SPACE**
 - MINIMUM PRIVATE OPEN SPACE AT GROUND LEVEL = 24 SQ.M. AREA
 - MEDIAN PRIVATE OPEN SPACE AREA AT GROUND LEVEL = 48.5 SQ.M. AREA
 - REQUIREMENTS AT 20 SQ.M. PER UNIT MINIMUM PRIVATE OPEN SPACE AREA FOR URBAN CENTRE (15) (GROUND LEVEL) AND 6 SQ.M. BALCONY SIZE
 - THE NUMBER OF BALCONIES PER BUILDING
 - BLDG 1: 161, BLDG 2: 221, BLDG 3: 195, AND BLDG 4: 212
 - TOTAL BALCONIES: 789
 - TOTAL BALCONY SPACE: 4,734 SQ.M. (50,946 SQ.FT.)

PUBLIC ART

- POTENTIAL ART LOCATIONS
- POTENTIAL LANDMARK ART LOCATION

NOTE:
 ALL PROPOSED PUBLIC ART LOCATIONS SUBJECT TO PUBLIC ART COMMITTEE AND STAFF REVIEW FOLLOWING PUBLIC ART POLICY

NOTES

1	PROVIDE	CONCRETE	CONCRETE
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 ARCHITECTURAL ARCHITECTURE INC.
 1000 W. 10th Street, Suite 100
 Denver, CO 80202
 Phone: 303.733.1111
 Fax: 303.733.1112
 www.sharpanddiamond.com

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 Architecture Inc.
 1000 W. 10th Street, Suite 100
 Denver, CO 80202
 Phone: 303.733.1111
 Fax: 303.733.1112
 www.yamamotoarchitecture.com

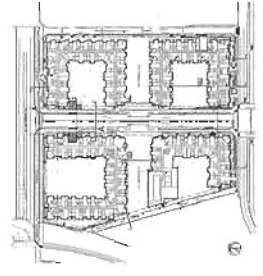
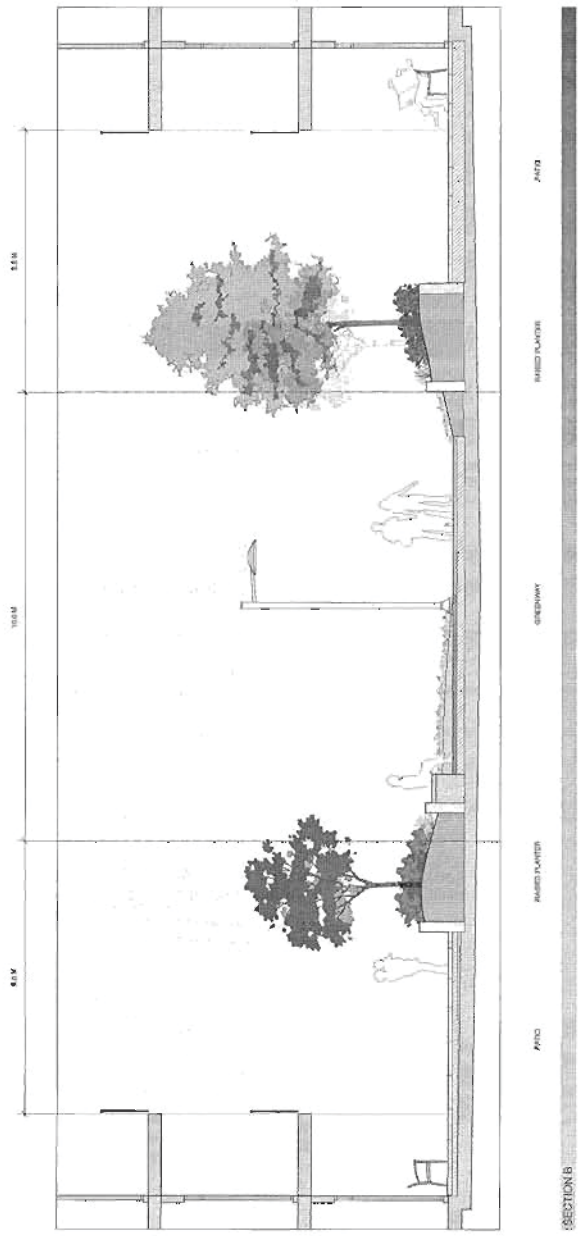
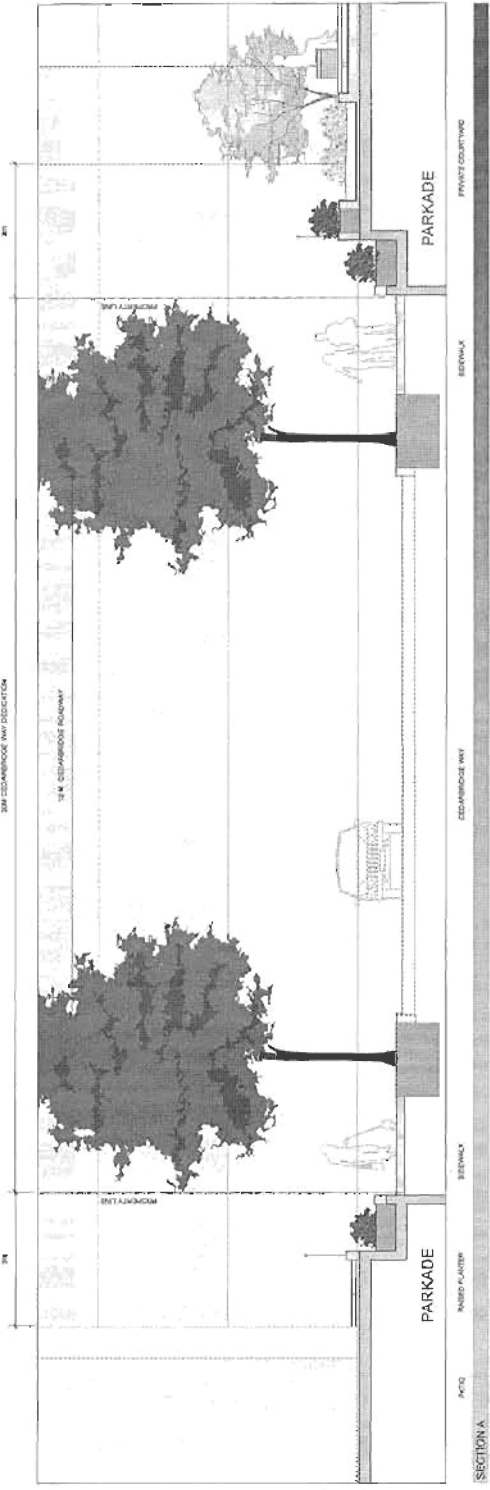
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 1000 W. 10th Street, Suite 100
 Denver, CO 80202
 Phone: 303.733.1111
 Fax: 303.733.1112
 www.riva.com

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 1000 W. 10th Street, Suite 100
 Denver, CO 80202
 Phone: 303.733.1111
 Fax: 303.733.1112
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LANDSCAPE SECTIONS

L3.1



NOTES:

1.	PROPERTY LINE	FIN. EL. 1.5m
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Yamamoto
Architecture Inc.

1000 West 10th Street
Suite 100
Portland, OR 97204
Phone: 503.227.1111
Fax: 503.227.1122

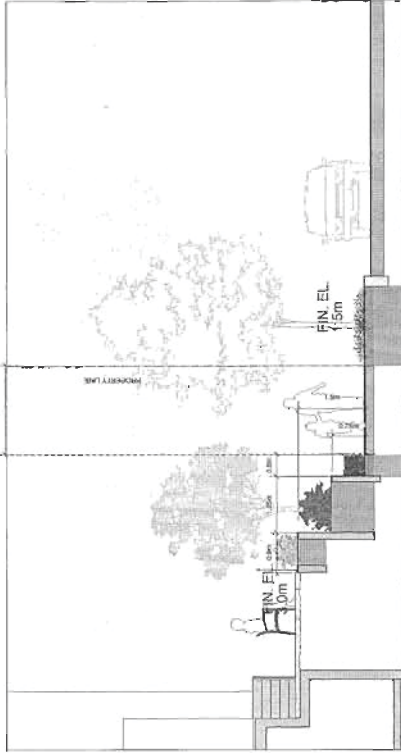
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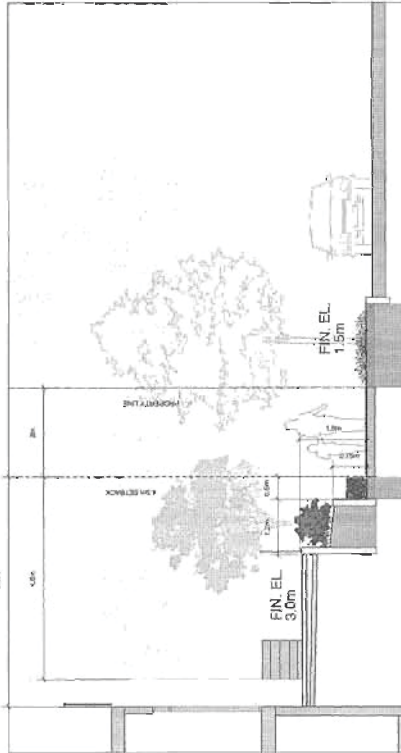
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DP 12-615424

LANDSCAPE SECTIONS

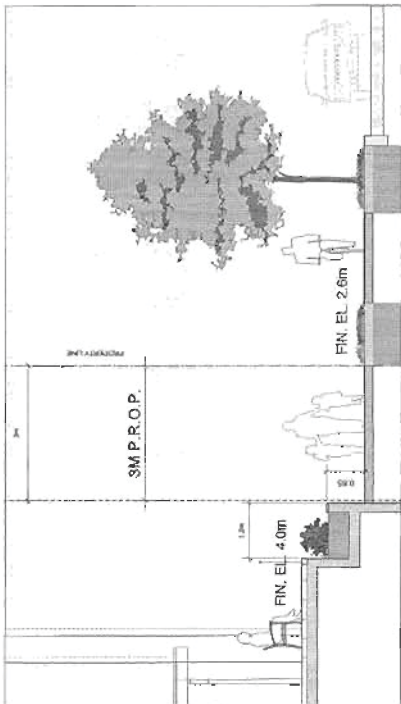
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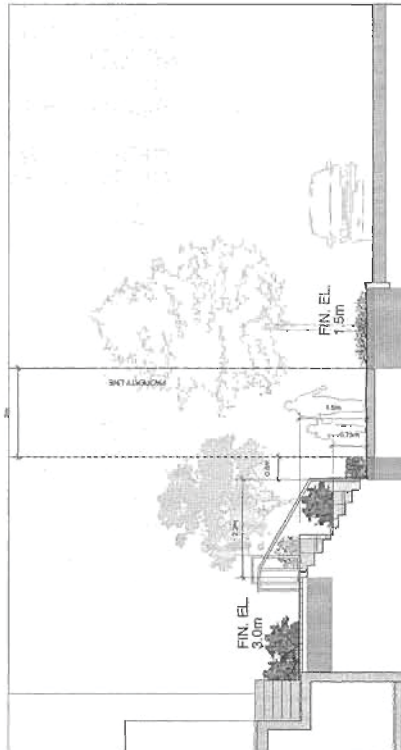
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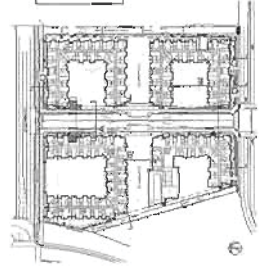
SECTION H



SECTION C



SECTION G



KEY PLAN

NOTES

1. SITEWORK	2. EXISTING	3. NEW	
4. CONCRETE	5. ASPHALT	6. GRAVEL	
7. SAND	8. SOIL	9. MULCH	
10. PLANTING	11. FURNITURE	12. LIGHTING	
13. SIGNAGE	14. WALLS	15. FENCES	
16. PAINT	17. FINISHES	18. MATERIALS	
19. UTILITIES	20. STRUCTURES	21. LANDSCAPE	
22. HARDSCAPE	23. SOFTSCAPE	24. IRRIGATION	
25. DRAINAGE	26. EROSION CONTROL	27. ACCESSIBILITY	
28. SUSTAINABILITY	29. ENERGY EFFICIENCY	30. WATER MANAGEMENT	
31. AIR QUALITY	32. SOUND ATTENUATION	33. CLIMATE RESILIENCE	
34. BIODIVERSITY	35. CULTURAL HERITAGE	36. COMMUNITY ENGAGEMENT	
37. MONITORING & EVALUATION	38. DOCUMENTATION	39. MAINTENANCE	40. ADAPTATION



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Architecture Inc.

1000 West 41st Street, Vancouver, BC V6L 2B2
Tel: (604) 681-1117 Fax: (604) 681-1127
www.yamamoto.com

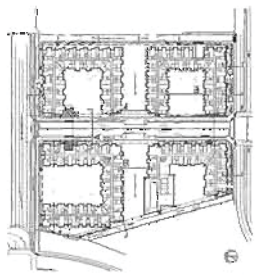
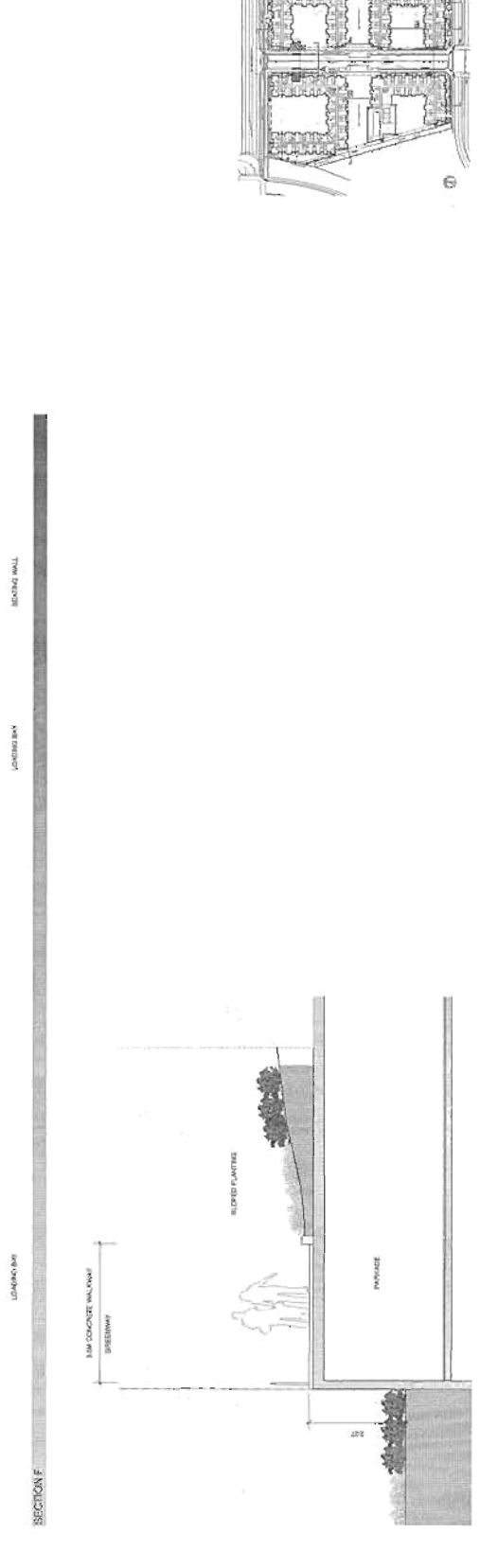
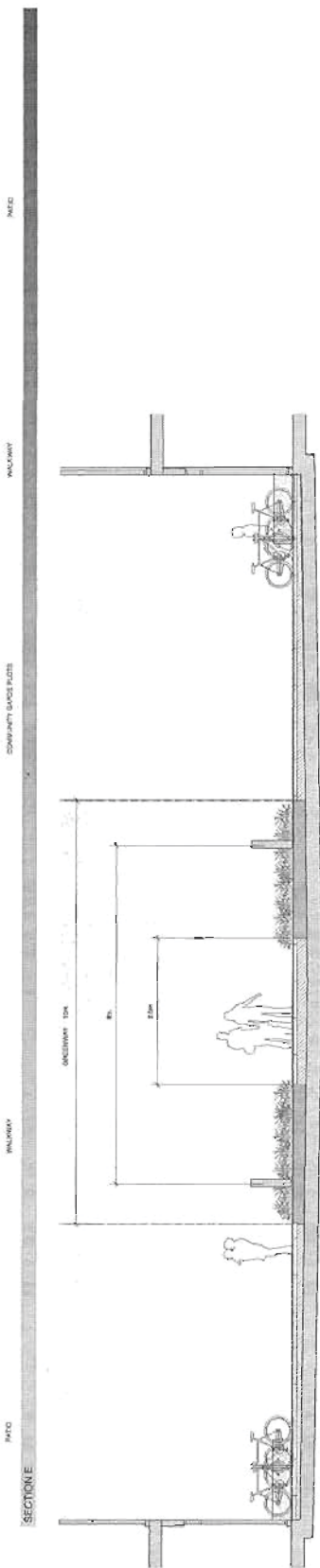
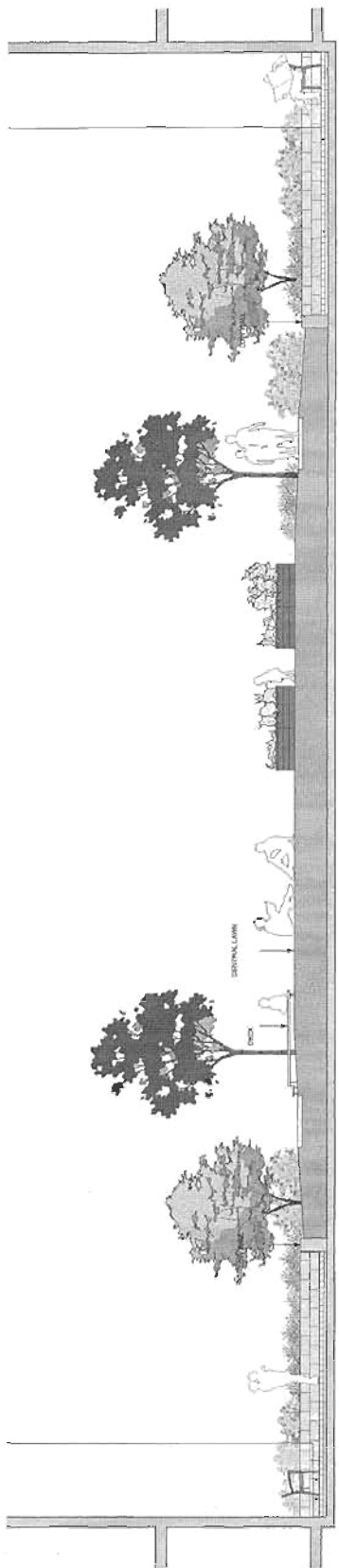
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Plan 52 Sept 4 2012
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LANDSCAPE SECTIONS

L3.3



KEY PLAN

NOTES:

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	
2	REVISED PER COMMENTS	
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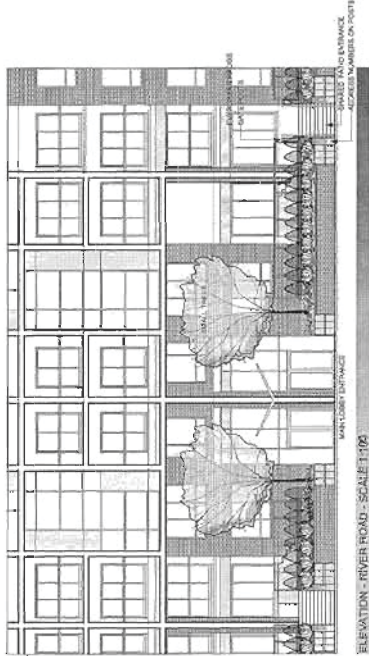
1000 WEST 10TH AVENUE, SUITE 100
DENVER, CO 80202-1117
TEL: 303.733.1117 FAX: 303.733.1117



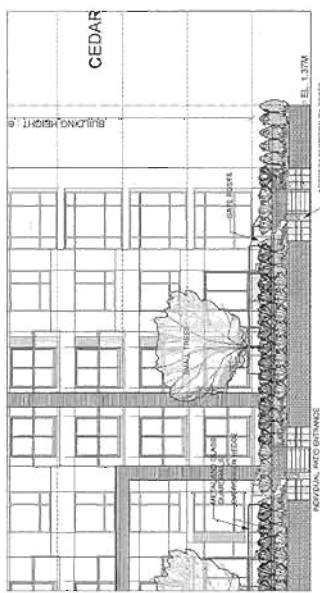
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LANDSCAPE ELEVATIONS
AND DETAILS

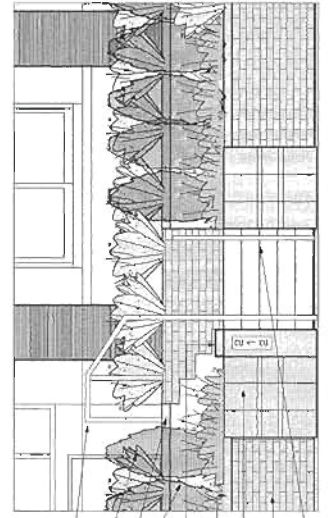
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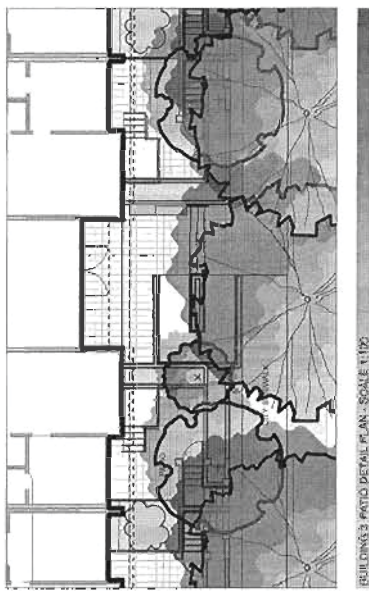
ELEVATION - RIVER ROAD - SCALE 1:100



ELEVATION - ALDERBRIDGE WAY - SCALE 1:100



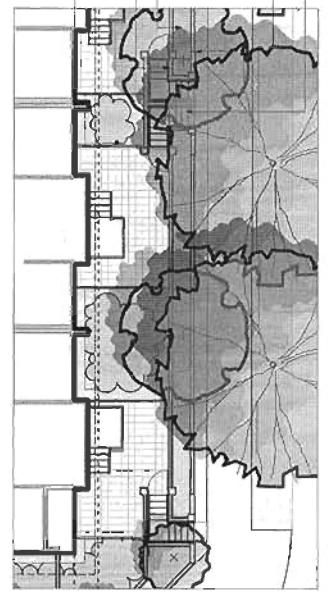
DETAIL ELEVATION - TYPICAL STREET LEVEL UNIT ENTRY - SCALE 1:25



BUILDING 3 PATIO DETAIL PLAN - SCALE 1:100



BUILDING 1 PATIO DETAIL PLAN - SCALE 1:100

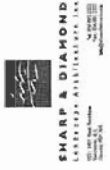


BUILDING 4 PATIO DETAIL PLAN - SCALE 1:100

- GRASS AND ANTEPASTE
- HEDGE FOR PRIVACY
- CONCRETE REAR WALL
- PLANTINGS IN BETWEEN WALLS
- CONCRETE SIDEWALK WITH ACCESS IN REAR PLANT
- CONCRETE CURB ON BRICK WALLS
- CONCRETE WALL WITH HORIZONTAL AND VERTICAL REINFORCEMENT
- BRICK WALL - SOLID BRICK ARCHITECTURAL BRICK
- CONCRETE STAIRS

NOTES:

1.	COMPACT SITE	MINIMUM 10% SLOPE
2.	SLIDE	MINIMUM 16" CLEARANCE
3.	CLIMB	MINIMUM 16" CLEARANCE
4.	PLATFORM	MINIMUM 16" CLEARANCE
5.	WALKWAY	MINIMUM 16" CLEARANCE
6.	NET	MINIMUM 16" CLEARANCE
7.	ROPE	MINIMUM 16" CLEARANCE
8.	SLIDE	MINIMUM 16" CLEARANCE
9.	CLIMB	MINIMUM 16" CLEARANCE
10.	PLATFORM	MINIMUM 16" CLEARANCE
11.	WALKWAY	MINIMUM 16" CLEARANCE
12.	NET	MINIMUM 16" CLEARANCE
13.	ROPE	MINIMUM 16" CLEARANCE
14.	SLIDE	MINIMUM 16" CLEARANCE
15.	CLIMB	MINIMUM 16" CLEARANCE
16.	PLATFORM	MINIMUM 16" CLEARANCE
17.	WALKWAY	MINIMUM 16" CLEARANCE
18.	NET	MINIMUM 16" CLEARANCE
19.	ROPE	MINIMUM 16" CLEARANCE
20.	SLIDE	MINIMUM 16" CLEARANCE
21.	CLIMB	MINIMUM 16" CLEARANCE
22.	PLATFORM	MINIMUM 16" CLEARANCE
23.	WALKWAY	MINIMUM 16" CLEARANCE
24.	NET	MINIMUM 16" CLEARANCE
25.	ROPE	MINIMUM 16" CLEARANCE
26.	SLIDE	MINIMUM 16" CLEARANCE
27.	CLIMB	MINIMUM 16" CLEARANCE
28.	PLATFORM	MINIMUM 16" CLEARANCE
29.	WALKWAY	MINIMUM 16" CLEARANCE
30.	NET	MINIMUM 16" CLEARANCE
31.	ROPE	MINIMUM 16" CLEARANCE
32.	SLIDE	MINIMUM 16" CLEARANCE
33.	CLIMB	MINIMUM 16" CLEARANCE
34.	PLATFORM	MINIMUM 16" CLEARANCE
35.	WALKWAY	MINIMUM 16" CLEARANCE
36.	NET	MINIMUM 16" CLEARANCE
37.	ROPE	MINIMUM 16" CLEARANCE
38.	SLIDE	MINIMUM 16" CLEARANCE
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40.	PLATFORM	MINIMUM 16" CLEARANCE
41.	WALKWAY	MINIMUM 16" CLEARANCE
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86.	SLIDE	MINIMUM 16" CLEARANCE
87.	CLIMB	MINIMUM 16" CLEARANCE
88.	PLATFORM	MINIMUM 16" CLEARANCE
89.	WALKWAY	MINIMUM 16" CLEARANCE
90.	NET	MINIMUM 16" CLEARANCE
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92.	SLIDE	MINIMUM 16" CLEARANCE
93.	CLIMB	MINIMUM 16" CLEARANCE
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96.	NET	MINIMUM 16" CLEARANCE
97.	ROPE	MINIMUM 16" CLEARANCE
98.	SLIDE	MINIMUM 16" CLEARANCE
99.	CLIMB	MINIMUM 16" CLEARANCE
100.	PLATFORM	MINIMUM 16" CLEARANCE



Yamamoto
Architecture Inc.

2001 10th Street, San Francisco, CA 94103
Tel: 415.774.1177 Fax: 415.774.1178

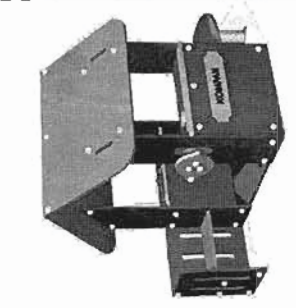
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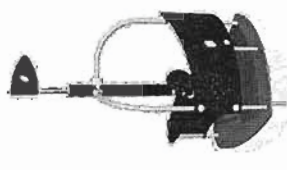
Plan 55 Sept 4 2012
DP 12-615424

LANDSCAPE PLAY
AREA ELEMENTS

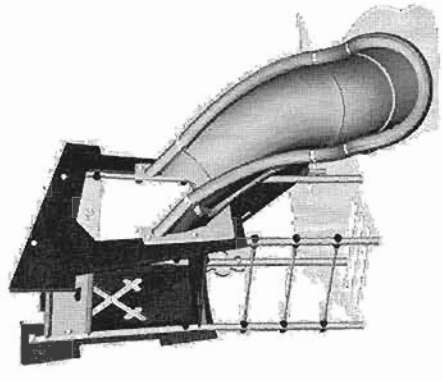
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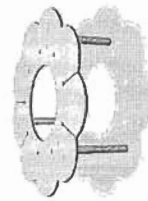
KOMPAN HOUSE M7000P



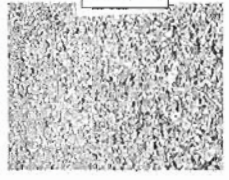
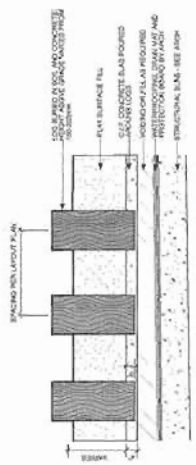
KOMPAN EXPLORER ELE4000B



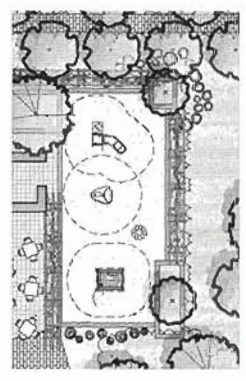
KOMPAN SMALL TOWER MSC641SP



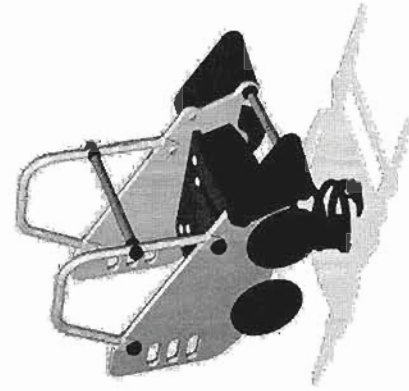
KOMPAN DASHY DESK WITH HOLE 26001P



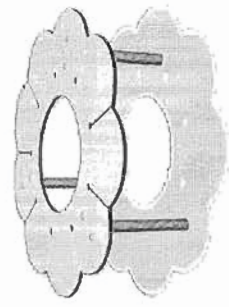
WOOD FIBRE FALL SURFACING



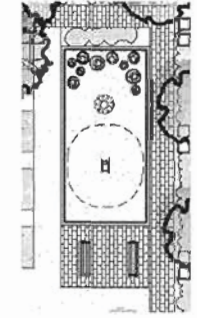
BUILDING 1 PLAY AREA TOYS



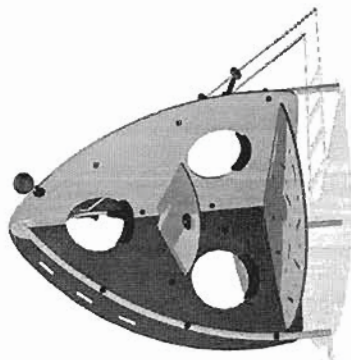
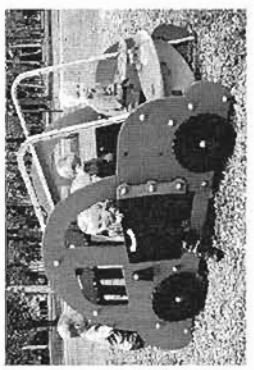
KOMPAN FRONTLOADER MT71P



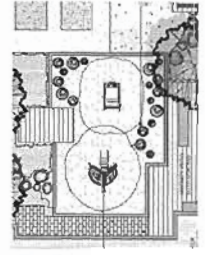
KOMPAN DASHY DESK WITH HOLE 26001P



BUILDING 1 PLAY AREA TOYS



KOMPAN CLIMBY STRUCTURE



BUILDING 1 PLAY AREA TOYS

NOTES:

1	REVISION	DATE	BY	APP'D
2	REVISION	DATE	BY	APP'D
3	REVISION	DATE	BY	APP'D
4	REVISION	DATE	BY	APP'D
5	REVISION	DATE	BY	APP'D
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49	REVISION	DATE	BY	APP'D
50	REVISION	DATE	BY	APP'D



SHARP & DIAMOND
ARCHITECTS
1111 11th Street, Suite 100
San Francisco, CA 94107
Tel: 415.398.2100
Fax: 415.398.2101

Yamamoto
Architecture Inc.

RIVA
ARCHITECTS
1000 Market Street, Suite 1000
San Francisco, CA 94102
Tel: 415.440.1100
Fax: 415.440.1101

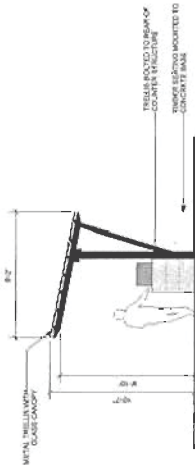
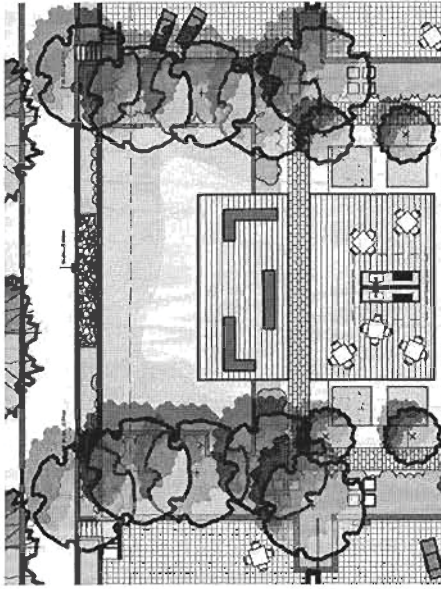


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OFFICE OF CONSTRUCTION
1000 Market Street, Suite 1000
San Francisco, CA 94102
Tel: 415.440.1100
Fax: 415.440.1101

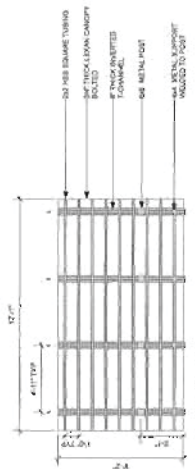
Plan 56 Sept 4 2012
DP 12-615424

PRELIMINARY
LANDSCAPE DETAILS
WATER FEATURES

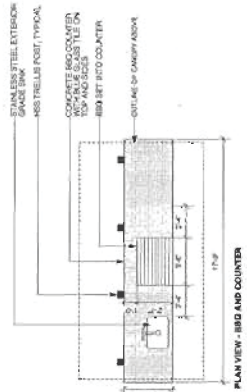
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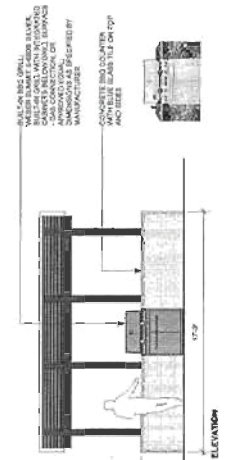
SECTION



PLAN VIEW - TRELLIS

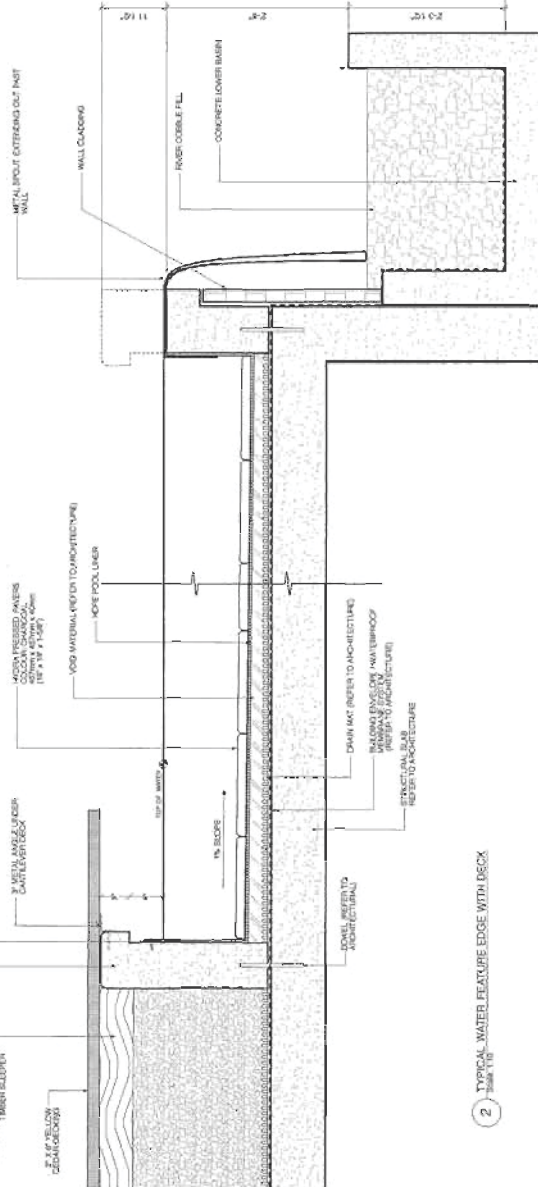


PLAN VIEW - BIG AND COUNTER



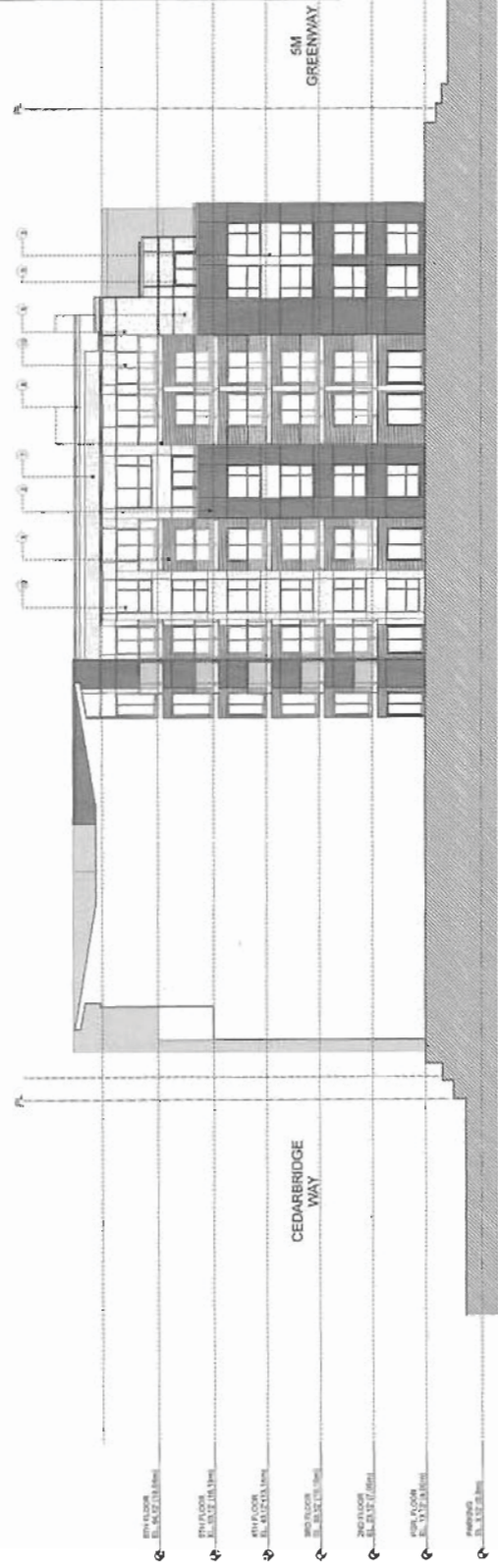
ELEVATION

1 COVERED BIG AND COUNTER

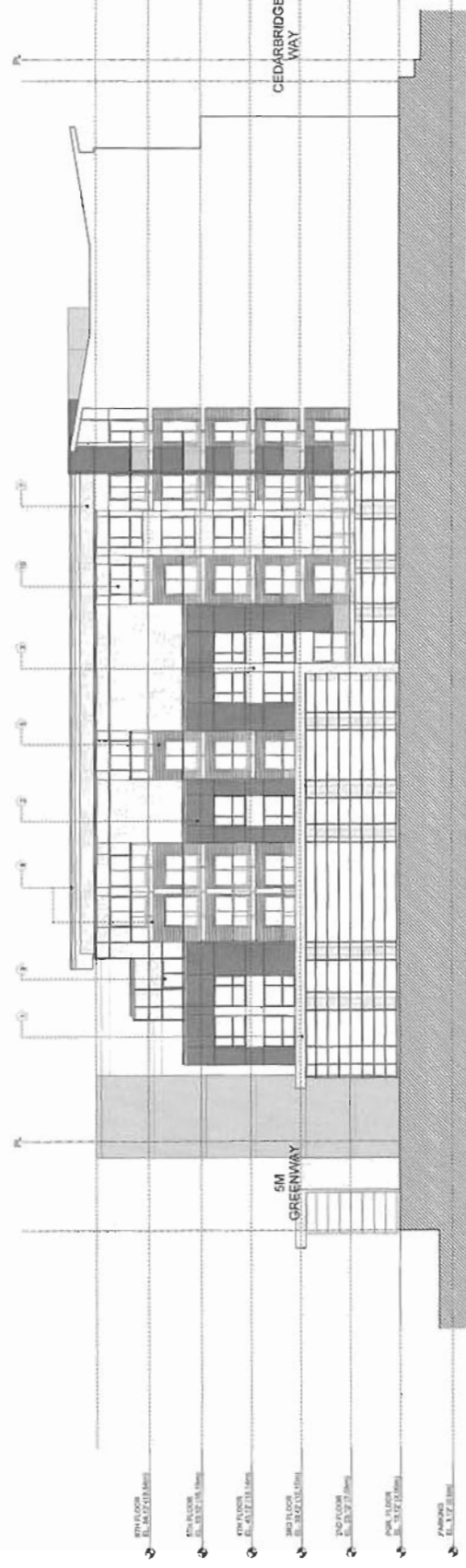


2 TYPICAL WATER FEATURE EDGE WITH DECK

- BUILDING 1 - ELEVATION KEY NOTES:**
- 1) FINISH CONCRETE WALL, GRANULAR FILL, FINISH UP TO 100' IN TO 100'
 - 2) FINISH CONCRETE WALL, GRANULAR FILL, FINISH UP TO 100' IN TO 100'
 - 3) FINISH CONCRETE WALL, GRANULAR FILL, FINISH UP TO 100' IN TO 100'
 - 4) FINISH CONCRETE WALL, GRANULAR FILL, FINISH UP TO 100' IN TO 100'
 - 5) FINISH CONCRETE WALL, GRANULAR FILL, FINISH UP TO 100' IN TO 100'
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 - 49) FINISH CONCRETE WALL, GRANULAR FILL, FINISH UP TO 100' IN TO 100'
 - 50) FINISH CONCRETE WALL, GRANULAR FILL, FINISH UP TO 100' IN TO 100'



BUILDING 1 COURT YARD SOUTH ELEVATION



BUILDING 1 COURT YARD NORTH ELEVATION

Plan 59 Sept 4 2012
 DP 12-615424

NO.	DATE	DESCRIPTION
1	09/04/12	ISSUED FOR PERMIT
2	09/04/12	ISSUED FOR PERMIT
3	09/04/12	ISSUED FOR PERMIT
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5	09/04/12	ISSUED FOR PERMIT
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7	09/04/12	ISSUED FOR PERMIT
8	09/04/12	ISSUED FOR PERMIT
9	09/04/12	ISSUED FOR PERMIT
10	09/04/12	ISSUED FOR PERMIT

PROJECT: APARTMENT DEVELOPMENT
 RIVA
 CEDARBRIDGE WAY
 YAMAMOTO ARCHITECTURE INC.
 BUILDING NO. 1
 COURT YARD ELEVATIONS

NO.	DATE	DESCRIPTION
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2	09/04/12	ISSUED FOR PERMIT
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8	09/04/12	ISSUED FOR PERMIT
9	09/04/12	ISSUED FOR PERMIT
10	09/04/12	ISSUED FOR PERMIT

BUILDING 1 - ELEVATION KEY NOTES:

- 1) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 2) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 3) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 4) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
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- 39) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 40) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 41) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 42) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 43) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 44) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 45) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 46) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 47) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 48) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 49) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE
- 50) HORIZONTAL TRIM (CORNER) - FINISHED BY CLS WITH POLYURETHANE



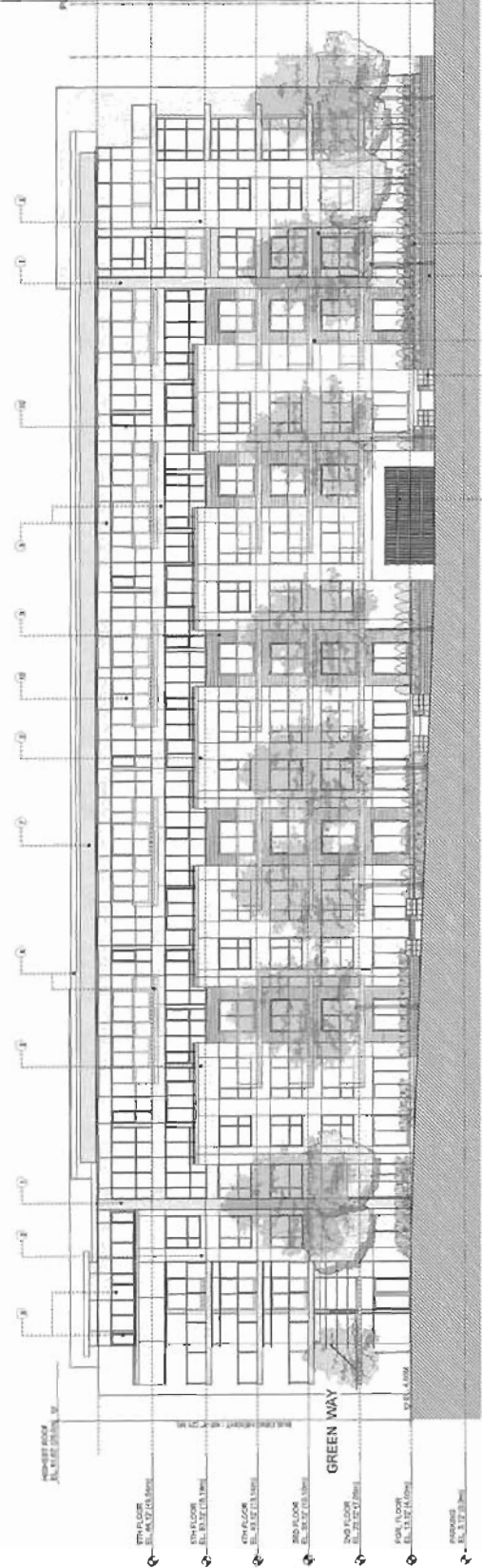
BUILDING 1 DETAIL ELEVATION (AT ALDERBRIDGE WAY AND CEDARBRIDGE WAY)

Yamam Architect
 Plan 60 Sept 4 2012
 DP 12-615424

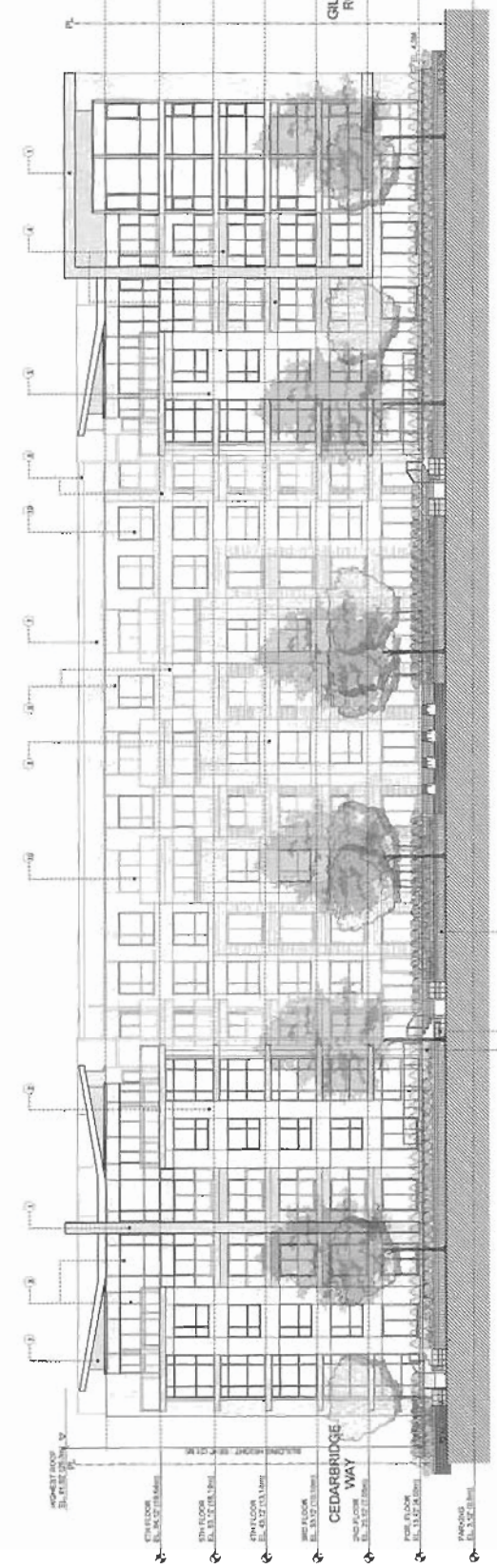
BUILDING NO. 1
 DETAIL ELEVATION 1
 SHEET NO. A2-1.4
 DATE: 09/04/12
 SCALE: 1/8" = 1'-0"
 DRAWN BY: [Name]
 CHECKED BY: [Name]

YAMAM ARCHITECTS, INC.
 1000 WEST ALDERBRIDGE WAY
 RICHMOND, B.C.

- BUILDING 2 - ELEVATION KEY NOTES:**
- 1) PANEL JOINTS SHALL BE FINISHED BY THE FINISH CONTRACTOR.
 - 2) FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.
 - 3) FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.
 - 4) FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.
 - 5) FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.
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 - 48) FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.
 - 49) FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.
 - 50) FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.



BUILDING 2 EAST ELEVATION (CEDARBRIDGE WAY)



BUILDING 2 NORTH ELEVATION (RIVER ROAD)

NO.	DATE	DESCRIPTION
1	10/11/2011	ISSUED FOR PERMIT
2	02/14/2012	ISSUED FOR PERMIT
3	02/14/2012	ISSUED FOR PERMIT
4	02/14/2012	ISSUED FOR PERMIT
5	02/14/2012	ISSUED FOR PERMIT
6	02/14/2012	ISSUED FOR PERMIT
7	02/14/2012	ISSUED FOR PERMIT
8	02/14/2012	ISSUED FOR PERMIT
9	02/14/2012	ISSUED FOR PERMIT
10	02/14/2012	ISSUED FOR PERMIT

RIVA
 APARTMENT DEVELOPMENT
 1775 CITY CENTER DRIVE
 INDIANAPOLIS, IN 46204

Yamamoto Architecture Inc.

1775 CITY CENTER DRIVE
 INDIANAPOLIS, IN 46204
 PHONE: 317.444.1111
 FAX: 317.444.1112
 WWW.YAMAMOTOARCH.COM

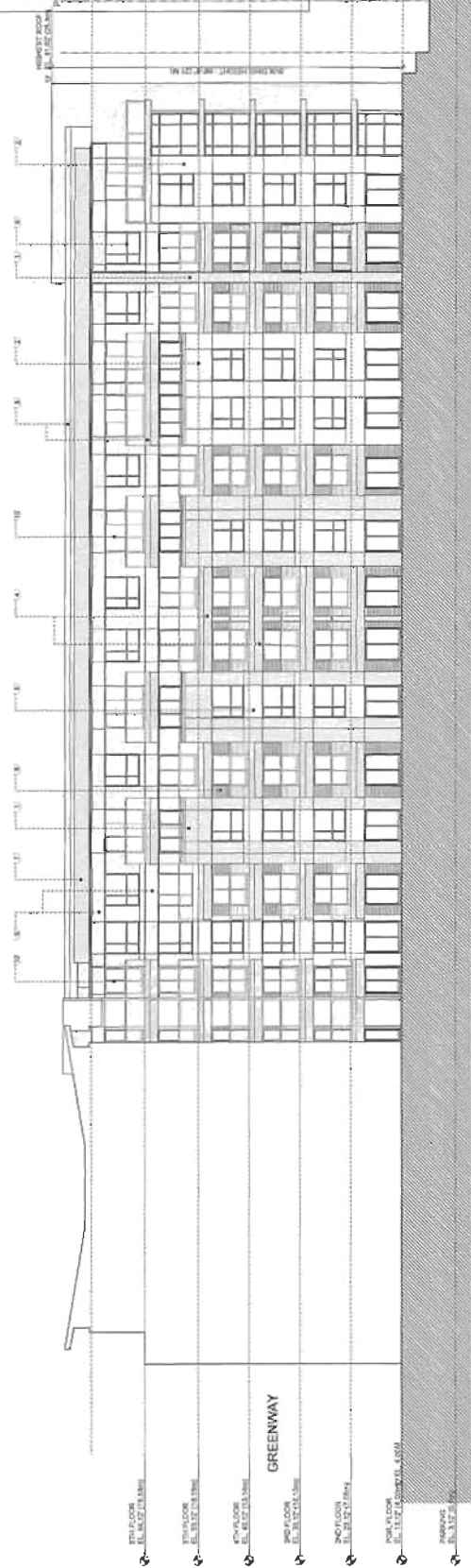
BUILDING NO. 7
 EAST NORTH ELEVATIONS

DATE	10/11/2011	PROJECT NO.	A2-2.2
DRAWN	ACB/BJB	SHEET NO.	01
CHECKED		TOTAL SHEETS	01
SCALE			

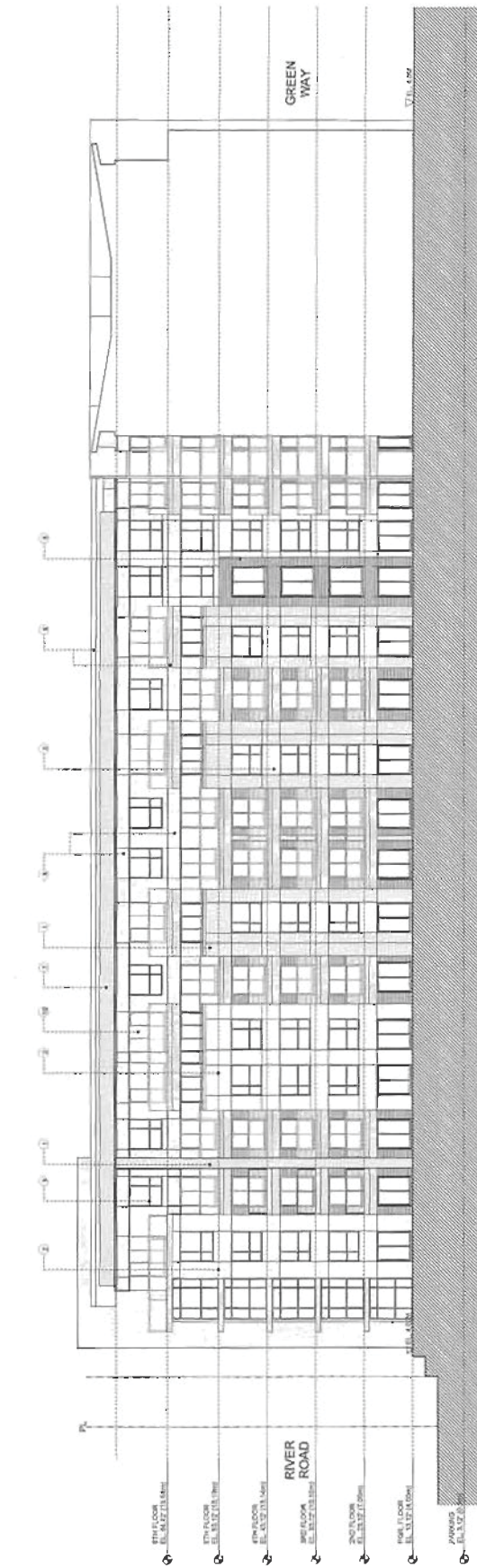
Plan 62 Sept 4 2012
 DP 12-615424

BUILDING 2 - ELEVATION KEY NOTES:

- 1) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 2) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 3) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 4) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 5) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 6) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
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- 8) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 9) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 10) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 11) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 12) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 13) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 14) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 15) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 16) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 17) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 18) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 19) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR
- 20) THESE CURVED FACED BRICK WALLS ARE FINISHED UP TO THE FINISH FLOOR



BUILDING 2 COURT YARD WEST ELEVATION



BUILDING 2 COURT YARD EAST ELEVATION

NO.	DATE	REVISION
1	08/20/12	ISSUE FOR PERMITTING
2	08/20/12	ISSUE FOR PERMITTING
3	08/20/12	ISSUE FOR PERMITTING
4	08/20/12	ISSUE FOR PERMITTING
5	08/20/12	ISSUE FOR PERMITTING
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16	08/20/12	ISSUE FOR PERMITTING
17	08/20/12	ISSUE FOR PERMITTING
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19	08/20/12	ISSUE FOR PERMITTING
20	08/20/12	ISSUE FOR PERMITTING

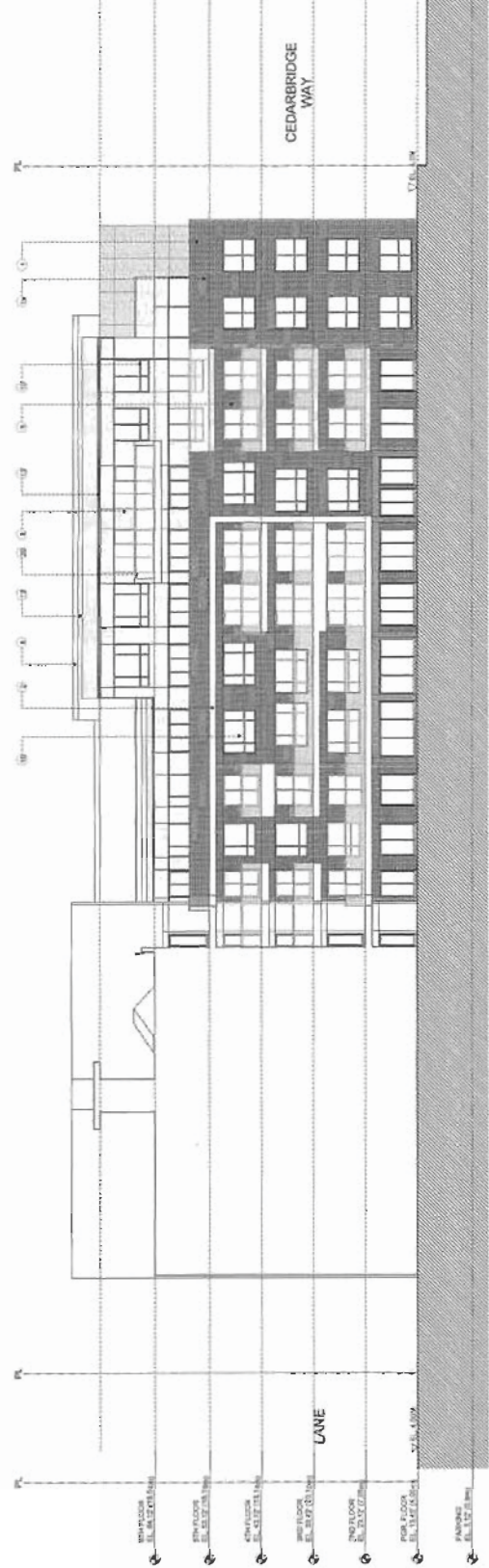
APARTMENT DEVELOPMENT
RIVA
 1001 17TH AVENUE SOUTH
 HOUSTON, TX 77056

Yamamoto
 Architecture Inc.
 1001 17TH AVENUE SOUTH
 HOUSTON, TX 77056

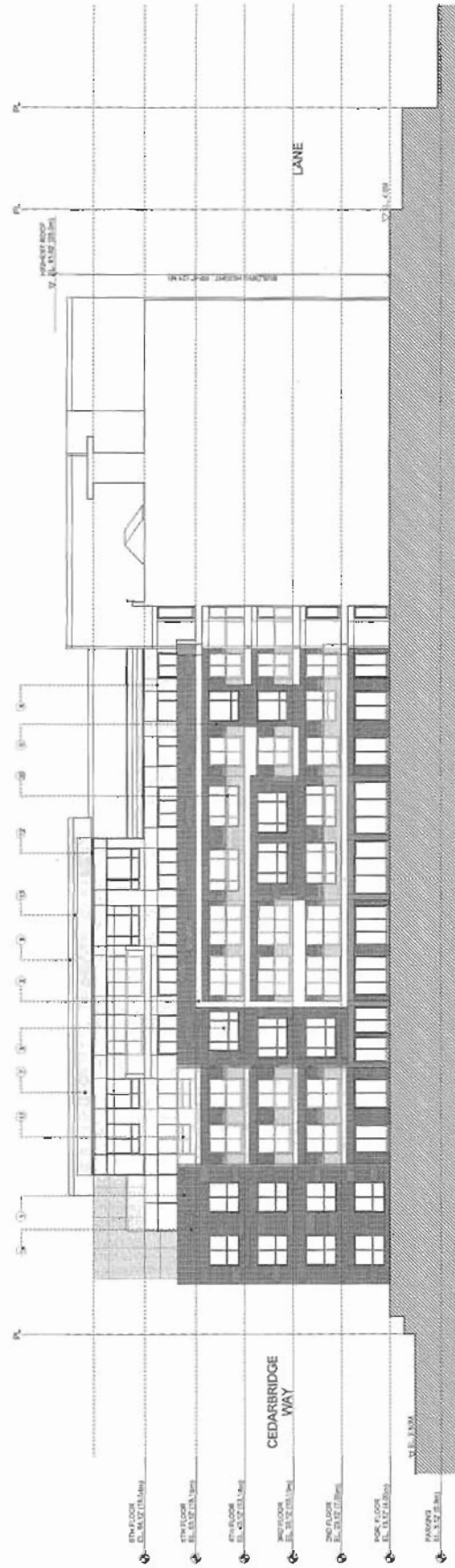
NO.	DATE	REVISION
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2	08/20/12	ISSUE FOR PERMITTING
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4	08/20/12	ISSUE FOR PERMITTING
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16	08/20/12	ISSUE FOR PERMITTING
17	08/20/12	ISSUE FOR PERMITTING
18	08/20/12	ISSUE FOR PERMITTING
19	08/20/12	ISSUE FOR PERMITTING
20	08/20/12	ISSUE FOR PERMITTING

Plan 63 Sept 4 2012
DP 12-615424

- BUILDING 3 - ELEVATION KEY NOTES:**
- 1) FINISHES: INTERIOR: WALLS: PLASTER; FLOORS: POLISHED CONCRETE; CEILING: POP; EXTERIOR: BRICK; ROOF: BURR
 - 2) WINDOW SIZES: 30" x 48" (SINGLE); 36" x 60" (DOUBLE); 48" x 72" (TRIPLE); 60" x 84" (QUAD)
 - 3) WINDOW SPACING: 12" ON CENTER
 - 4) WINDOW FINISH: ALUMINUM CLAD GLAZING SYSTEMS
 - 5) WINDOW OPERATIONS: DOUBLE-HUNG; CASING; SLIDING GLASS DOOR
 - 6) WINDOW COORDINATION: WITH INTERIOR FINISHES
 - 7) WINDOW COORDINATION: WITH EXTERIOR FINISHES
 - 8) WINDOW COORDINATION: WITH LANDSCAPE ARCHITECTURE
 - 9) WINDOW COORDINATION: WITH SITE PLAN
 - 10) WINDOW COORDINATION: WITH OTHER BUILDINGS
 - 11) WINDOW COORDINATION: WITH CITY REGULATIONS
 - 12) WINDOW COORDINATION: WITH HISTORIC DISTRICT REGULATIONS
 - 13) WINDOW COORDINATION: WITH NEIGHBORHOOD CHARACTER
 - 14) WINDOW COORDINATION: WITH ARCHITECTURAL STYLE
 - 15) WINDOW COORDINATION: WITH BUILDING PROGRAM
 - 16) WINDOW COORDINATION: WITH USER REQUIREMENTS
 - 17) WINDOW COORDINATION: WITH BUDGET CONSTRAINTS
 - 18) WINDOW COORDINATION: WITH SCHEDULE CONSTRAINTS
 - 19) WINDOW COORDINATION: WITH AVAILABILITY OF MATERIALS
 - 20) WINDOW COORDINATION: WITH CONSTRUCTION SEQUENCE
 - 21) WINDOW COORDINATION: WITH MAINTENANCE REQUIREMENTS
 - 22) WINDOW COORDINATION: WITH ENERGY EFFICIENCY REQUIREMENTS
 - 23) WINDOW COORDINATION: WITH SOUND ATTENUATION REQUIREMENTS
 - 24) WINDOW COORDINATION: WITH VENTILATION REQUIREMENTS
 - 25) WINDOW COORDINATION: WITH SAFETY REQUIREMENTS
 - 26) WINDOW COORDINATION: WITH SECURITY REQUIREMENTS
 - 27) WINDOW COORDINATION: WITH ACCESSIBILITY REQUIREMENTS
 - 28) WINDOW COORDINATION: WITH AESTHETIC REQUIREMENTS
 - 29) WINDOW COORDINATION: WITH FUNCTIONAL REQUIREMENTS
 - 30) WINDOW COORDINATION: WITH DURABILITY REQUIREMENTS



BUILDING 1 COURT YARD SOUTH ELEVATION



BUILDING 1 COURT YARD NORTH ELEVATION

NO. OF SHEETS	1 OF 1
DATE	SEP 4 2012
PROJECT	APARTMENT DEVELOPMENT
CLIENT	RIVA REALTY GROUP, INC.
ARCHITECT	YAMAMOTO ARCHITECTURE INC.
SCALE	AS SHOWN
DATE	SEP 4 2012
PROJECT	APARTMENT DEVELOPMENT
CLIENT	RIVA REALTY GROUP, INC.
ARCHITECT	YAMAMOTO ARCHITECTURE INC.
SCALE	AS SHOWN
DATE	SEP 4 2012

RIVA
 REALTY GROUP, INC.
 1000 BROADWAY, SUITE 1000
 NEW YORK, NY 10003

Yamamoto
 Architecture Inc.
 1000 BROADWAY, SUITE 1000
 NEW YORK, NY 10003

BUILDING NO. 3

DATE	9/4/12
SCALE	AS SHOWN
PROJECT	APARTMENT DEVELOPMENT
CLIENT	RIVA REALTY GROUP, INC.
ARCHITECT	YAMAMOTO ARCHITECTURE INC.
SCALE	AS SHOWN
DATE	9/4/12

Plan 67 Sept 4 2012
DP 12-615424

BUILDING 3 - ELEVATION KEY NOTES:

- ① PERE-CEMENT PANEL (SMOOTH) - PAINTED UP XX
- ② PERE-CEMENT PANEL (TEXTURED) - PAINTED UP CL BRICK JACK IN THE PALLET
- ③ PERE-CEMENT PANEL (GRANULAR) - PAINTED UP CL W/KNY FEATHER
- ④ BRICK (STACKED) - 100 WHITE
- ⑤ -
- ⑥ HIDE-UP-UP (UP BRICK) (RECEPT) - PAINTED UP CL BRICK (SAME AS 14)
- ⑦ HIDE-UP-UP (ALUM. TRIM) - PAINTED UP CL BRICK (SAME AS 14)
- ⑧ HIDE-UP-UP (WOODLINE) (SMOOTH) - PAINTED UP CL BRICK (SAME AS 14)
- ⑨ PERE-CEMENT PANEL (SMOOTH) - PAINTED UP CL W/KNY FEATHER
- ⑩ DOUBLE GLAZED CLEAR ANKIZED ALUM. FRAMED STOREFRONT WINDOW
- ⑪ ALUM. FRAMED QUARD - WHITE W/ PROTECTED TEMPERED GLASS
- ⑫ HIDE-UP-UP (UP BRICK) (RECEPT) - PAINTED UP CL BRICK (SAME AS 14)
- ⑬ ALUMINUM BRIDGE ADAPTED TO GRADY
- ⑭ LORER BRICK WALL - COLORED ARCHITECTURAL BRICK (UP OR BRICK SMOOTH)
- ⑮ UPPER CONCRETE WALL - LIGHT GRAY ALUM. CONCRETE PANEL
- ⑯ UPPER CONCRETE WALL - LIGHT GRAY ALUM. CONCRETE PANEL
- ⑰ PARKADE GATE - EXIST COOR. STEEL - PAINTED
- ⑱ GROUND FLOOR ALUMINUM FRAMED FINALE BRICK ALUM.
- ⑳ FINISH (TYPE E) PERE-CEMENT PANEL IN FRONT OF BALUSTERS
- ㉑ ALUM. FRAMED QUARD - WHITE W/ PROTECTED TEMPERED GLASS
- ㉒ ALUMINUM OF CL BRICK JACK IN THE PALLET



Yr
 An
 Plan 68
 Sept 4 2012
 DP 12-615424

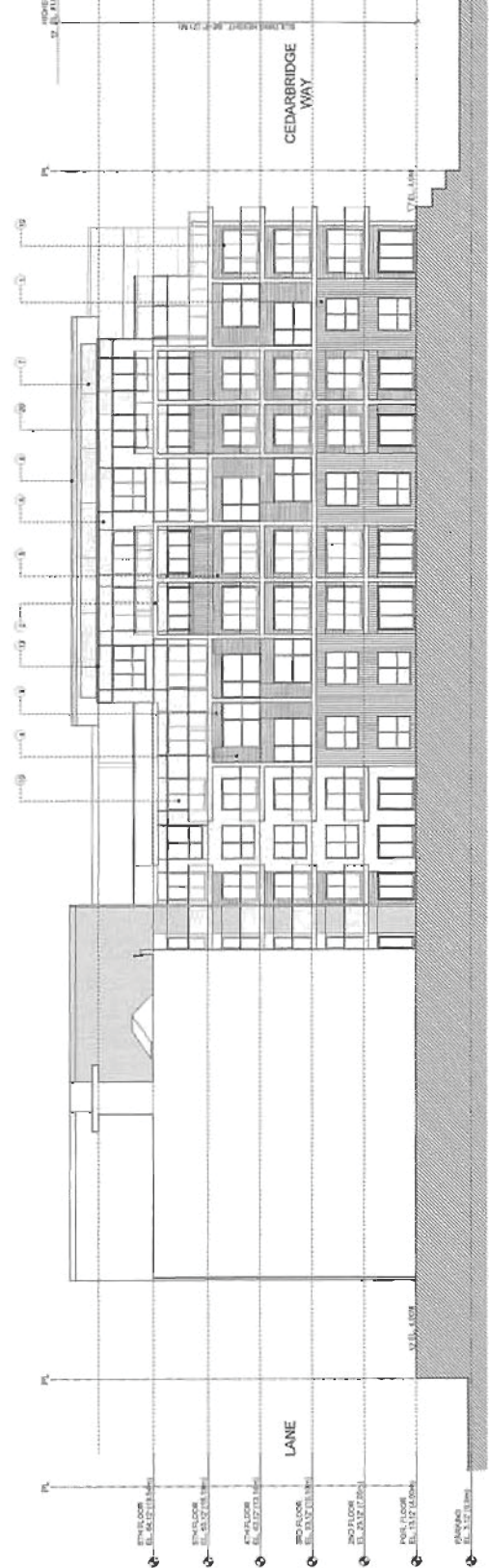
BUILDING NO.3
 DETAIL ELEVATION 2
 SCALE: 1/8" = 1'-0"
 DATE: APR. 20. 2012
 DRAWN BY: [Name]
 CHECKED BY: [Name]

SHEET NO. A2-3.4
 TOTAL SHEETS: 1000

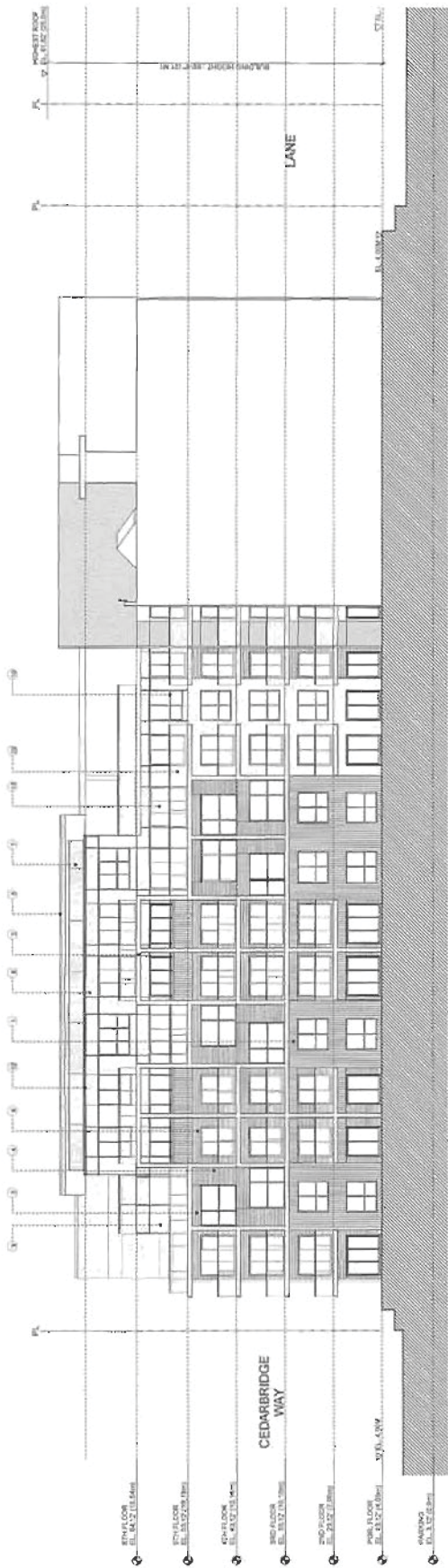
BUILDING 3 DETAIL ELEVATION (AT ALDERBRIDGE WAY AND LANE)

PROJECT NO.	12-615424
DATE	SEP 4 2012
DRAWN BY	[Name]
CHECKED BY	[Name]

- BUILDING 4 - ELEVATION KEY NOTES:**
- ① METAL PANELS (PARTS SUBSTITUTED) FINISHED BY SS BRASS GRIP
 - ② METAL PANELS FINISHED BY SS BRASS GRIP
 - ③ METAL PANELS FINISHED BY SS BRASS GRIP
 - ④ METAL PANELS FINISHED BY SS BRASS GRIP
 - ⑤ METAL PANELS FINISHED BY SS BRASS GRIP
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 - ㊾ METAL PANELS FINISHED BY SS BRASS GRIP
 - ㊿ METAL PANELS FINISHED BY SS BRASS GRIP



BUILDING 4 COURT YARD NORTH ELEVATION



BUILDING 4 COURT YARD SOUTH ELEVATION

NO.	DATE	DESCRIPTION
1	10/15/11	ISSUED FOR PERMITS
2	11/15/11	ISSUED FOR PERMITS
3	12/15/11	ISSUED FOR PERMITS
4	01/15/12	ISSUED FOR PERMITS
5	02/15/12	ISSUED FOR PERMITS
6	03/15/12	ISSUED FOR PERMITS
7	04/15/12	ISSUED FOR PERMITS
8	05/15/12	ISSUED FOR PERMITS
9	06/15/12	ISSUED FOR PERMITS
10	07/15/12	ISSUED FOR PERMITS
11	08/15/12	ISSUED FOR PERMITS
12	09/15/12	ISSUED FOR PERMITS
13	10/15/12	ISSUED FOR PERMITS
14	11/15/12	ISSUED FOR PERMITS
15	12/15/12	ISSUED FOR PERMITS

PROJECT: APARTMENT DEVELOPMENT
 RIVA
 YAMAMOTO ARCHITECTURE INC.
 YAMAMOTO ARCHITECTURE INC.

DATE: 08/15/12
 DRAWN BY: J. YAMAMOTO
 CHECKED BY: J. YAMAMOTO
 PROJECT NO.: 12-615424
 SHEET NO.: 42-4.3
 BUILDING NO. 4

Plan 71 Sept 4 2012
 DP 12-615424

BUILDING 4 COURT YARD SOUTH ELEVATION

RIVA

APARTMENT DEVELOPMENT
7731, 7771 ALDERBRIDGE WAY
RICHMOND, B.C.



LEED SCORECARD:

ScoreCard_Leidongpa_20120923_23_06

LEED® Scorecard of B209212

610 E. 70th Street, Vancouver, BC V6N 1C1

Category	Requirement	Score	Weight	Points
LEED-ND (v2009) - Core + Shell	1.1.1	1	1	1
	1.1.2	1	1	1
	1.1.3	1	1	1
	1.1.4	1	1	1
	1.1.5	1	1	1
	1.1.6	1	1	1
	1.1.7	1	1	1
	1.1.8	1	1	1
	1.1.9	1	1	1
	1.1.10	1	1	1
	1.1.11	1	1	1
LEED-ND (v2009) - Interior	2.1.1	1	1	1
	2.1.2	1	1	1
	2.1.3	1	1	1
	2.1.4	1	1	1
	2.1.5	1	1	1
	2.1.6	1	1	1
	2.1.7	1	1	1
	2.1.8	1	1	1
	2.1.9	1	1	1
	2.1.10	1	1	1
	2.1.11	1	1	1
LEED-ND (v2009) - Energy & Atmosphere	3.1.1	1	1	1
	3.1.2	1	1	1
	3.1.3	1	1	1
	3.1.4	1	1	1
	3.1.5	1	1	1
	3.1.6	1	1	1
	3.1.7	1	1	1
	3.1.8	1	1	1
	3.1.9	1	1	1
	3.1.10	1	1	1
	3.1.11	1	1	1
LEED-ND (v2009) - Water Efficiency	4.1.1	1	1	1
	4.1.2	1	1	1
	4.1.3	1	1	1
	4.1.4	1	1	1
	4.1.5	1	1	1
	4.1.6	1	1	1
	4.1.7	1	1	1
	4.1.8	1	1	1
	4.1.9	1	1	1
	4.1.10	1	1	1
	4.1.11	1	1	1
LEED-ND (v2009) - Materials & Resources	5.1.1	1	1	1
	5.1.2	1	1	1
	5.1.3	1	1	1
	5.1.4	1	1	1
	5.1.5	1	1	1
	5.1.6	1	1	1
	5.1.7	1	1	1
	5.1.8	1	1	1
	5.1.9	1	1	1
	5.1.10	1	1	1
	5.1.11	1	1	1
LEED-ND (v2009) - Indoor Environmental Quality	6.1.1	1	1	1
	6.1.2	1	1	1
	6.1.3	1	1	1
	6.1.4	1	1	1
	6.1.5	1	1	1
	6.1.6	1	1	1
	6.1.7	1	1	1
	6.1.8	1	1	1
	6.1.9	1	1	1
	6.1.10	1	1	1
	6.1.11	1	1	1
LEED-ND (v2009) - Innovation & Leadership	7.1.1	1	1	1
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	7.1.7	1	1	1
	7.1.8	1	1	1
	7.1.9	1	1	1
	7.1.10	1	1	1
	7.1.11	1	1	1

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USGBC is an equal opportunity and affirmative action employer. Minorities and women are encouraged to apply.

STATISTICS:

STAT	UNIT	VALUE	DATE
PROPOSED FLOOR AREA	SQ. FT.	32,022	08/17
EXISTING FLOOR AREA	SQ. FT.	17,431	08/17
NET SITE AREA	SQ. FT.	10,527	08/17
AVAILABLE FLOOR AREA	SQ. FT.	15,000	08/17
PROPOSED FLOOR AREA	SQ. FT.	32,022	08/17
NET SITE AREA AFTER CONFORMANCE DEDUCTION	SQ. FT.	13,262	08/17
AVAILABLE FLOOR AREA	SQ. FT.	17,431	08/17
TOTAL	SQ. FT.	23,179	08/17

1/3 based on the floor area with an area including the units for the proposed building.
2/3 based on the floor area with an area including the units for the proposed building.
4/3 based on the floor area with an area including the units for the proposed building.

PARKING SPACE REQUIREMENTS:

Category	Requirement	Score	Weight	Points
TOTAL NUMBER OF UNITS	1.1	1	1	1
	1.2	1	1	1
	1.3	1	1	1
	1.4	1	1	1
	1.5	1	1	1
	1.6	1	1	1
	1.7	1	1	1
	1.8	1	1	1
	1.9	1	1	1
	1.10	1	1	1
	1.11	1	1	1
GARAGE PROVISIONS	2.1	1	1	1
	2.2	1	1	1
	2.3	1	1	1
	2.4	1	1	1
	2.5	1	1	1
	2.6	1	1	1
	2.7	1	1	1
	2.8	1	1	1
	2.9	1	1	1
	2.10	1	1	1
	2.11	1	1	1
NET GARAGE PROVISIONS	3.1	1	1	1
	3.2	1	1	1
	3.3	1	1	1
	3.4	1	1	1
	3.5	1	1	1
	3.6	1	1	1
	3.7	1	1	1
	3.8	1	1	1
	3.9	1	1	1
	3.10	1	1	1
	3.11	1	1	1

LOADING SPACE REQUIREMENTS:

Category	Requirement	Score	Weight	Points
TOTAL PROVIDED	1.1	1	1	1
	1.2	1	1	1
	1.3	1	1	1
	1.4	1	1	1
	1.5	1	1	1
	1.6	1	1	1
	1.7	1	1	1
	1.8	1	1	1
	1.9	1	1	1
	1.10	1	1	1
	1.11	1	1	1

PROPOSED UNIT MIX / UNIVERSAL ACCESSIBLE UNITS / FLOOR AREA / AFFORDABLE UNITS:

Project / Unit Type	Count	Area (sq. ft.)	Accessible	Affordable	Total
Project 1 - Overall	10	32,022	1	0	10
Project 2 - Overall	10	32,022	1	0	10
West Lot	10	32,022	1	0	10
Building 1 - Overall	10	32,022	1	0	10
Building 2 - Overall	10	32,022	1	0	10
Building 3 - Overall	10	32,022	1	0	10
Building 4 - Overall	10	32,022	1	0	10
East Lot	10	32,022	1	0	10
Overall	10	32,022	1	0	10

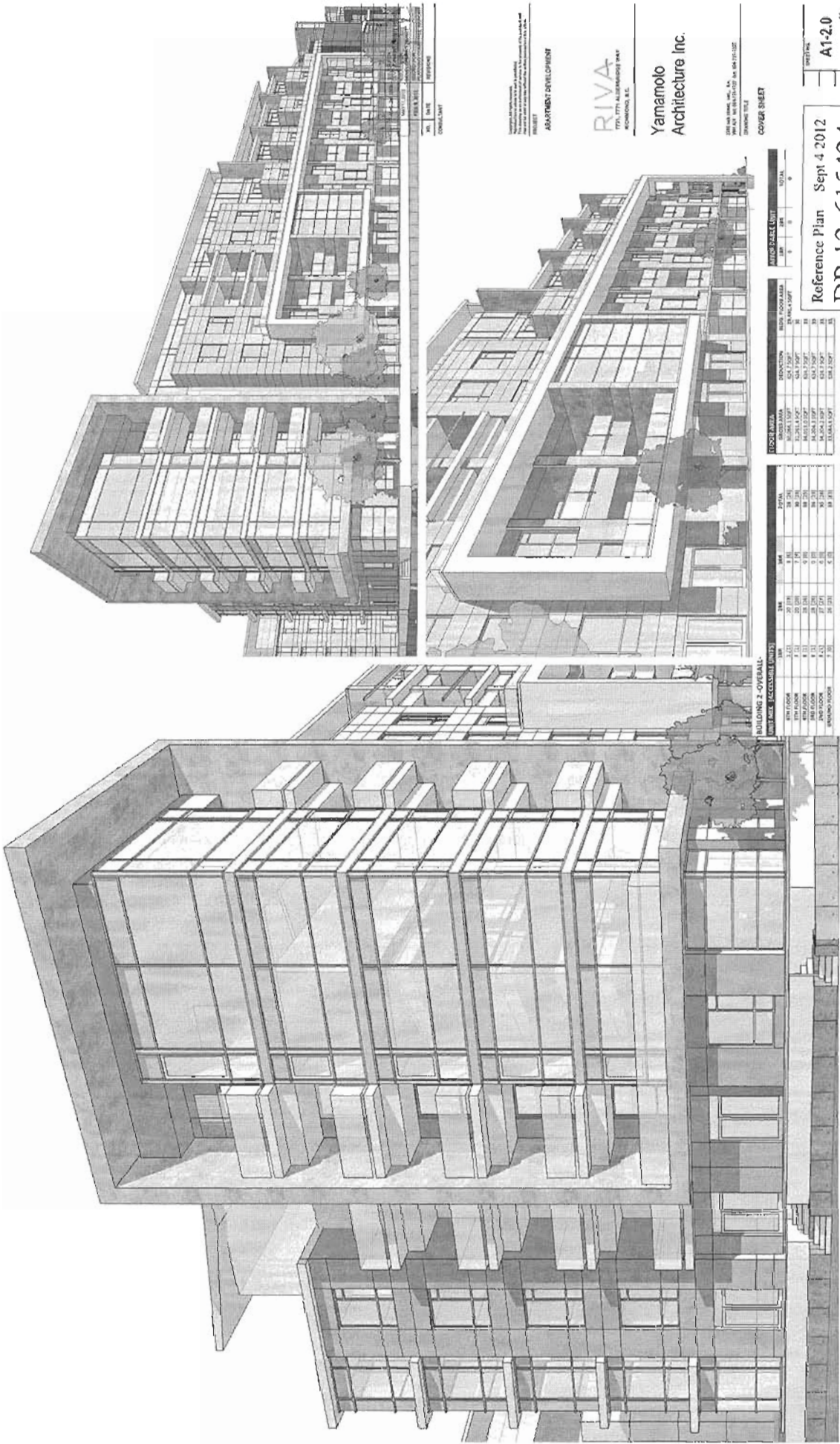
* UNIVERSAL ACCESSIBLE UNITS MEET ALL REQUIREMENTS UNDER SECTION 4.16 OF RICHMOND ZONING BY-LAW 8500 AND ARE IDENTIFIED BY A 'U'

** AFFORDABLE INCLUDING UNITS ARE IDENTIFIED BY AN 'AF'

Reference Plan Sept 4 2012
DP 12-615424

Yamamoto Architecture Inc.

PANEL
AUG. 29, 2012



UNITS & SQUARE FEET

UNIT TYPE	NO. OF UNITS	SQ. FT.	TOTAL
STUDIO	10	1,000	10,000
1-BED	20	2,000	20,000
2-BED	30	6,000	18,000
3-BED	10	3,000	30,000
TOTAL	70	12,000	78,000

FLOOR AREA

FLOOR	AREA (SQ. FT.)	PERCENTAGE
1ST FLOOR	10,000	12.5%
2ND FLOOR	10,000	12.5%
3RD FLOOR	10,000	12.5%
4TH FLOOR	10,000	12.5%
5TH FLOOR	10,000	12.5%
6TH FLOOR	10,000	12.5%
7TH FLOOR	10,000	12.5%
8TH FLOOR	10,000	12.5%
9TH FLOOR	10,000	12.5%
10TH FLOOR	10,000	12.5%
TOTAL	100,000	100%

FINISHES & MATERIALS

ITEM	QUANTITY	UNIT	PRICE	TOTAL
CONCRETE	100	YD	100	10,000
STEEL	50	TON	200	10,000
BRICK	100,000	BRICK	100	10,000,000
GLASS	10,000	SQ. FT.	100	1,000,000
WOOD	100	YD	100	10,000
PAINT	100	YD	100	10,000
TOTAL				20,020,000

FINISHES & MATERIALS

ITEM	QUANTITY	UNIT	PRICE	TOTAL
CONCRETE	100	YD	100	10,000
STEEL	50	TON	200	10,000
BRICK	100,000	BRICK	100	10,000,000
GLASS	10,000	SQ. FT.	100	1,000,000
WOOD	100	YD	100	10,000
PAINT	100	YD	100	10,000
TOTAL				20,020,000

FINISHES & MATERIALS

ITEM	QUANTITY	UNIT	PRICE	TOTAL
CONCRETE	100	YD	100	10,000
STEEL	50	TON	200	10,000
BRICK	100,000	BRICK	100	10,000,000
GLASS	10,000	SQ. FT.	100	1,000,000
WOOD	100	YD	100	10,000
PAINT	100	YD	100	10,000
TOTAL				20,020,000

FINISHES & MATERIALS

ITEM	QUANTITY	UNIT	PRICE	TOTAL
CONCRETE	100	YD	100	10,000
STEEL	50	TON	200	10,000
BRICK	100,000	BRICK	100	10,000,000
GLASS	10,000	SQ. FT.	100	1,000,000
WOOD	100	YD	100	10,000
PAINT	100	YD	100	10,000
TOTAL				20,020,000

FINISHES & MATERIALS

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CONCRETE	100	YD	100	10,000
STEEL	50	TON	200	10,000
BRICK	100,000	BRICK	100	10,000,000
GLASS	10,000	SQ. FT.	100	1,000,000
WOOD	100	YD	100	10,000
PAINT	100	YD	100	10,000
TOTAL				20,020,000

FINISHES & MATERIALS

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WOOD	100	YD	100	10,000
PAINT	100	YD	100	10,000
TOTAL				20,020,000

FINISHES & MATERIALS

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STEEL	50	TON	200	10,000
BRICK	100,000	BRICK	100	10,000,000
GLASS	10,000	SQ. FT.	100	1,000,000
WOOD	100	YD	100	10,000
PAINT	100	YD	100	10,000
TOTAL				20,020,000

FINISHES & MATERIALS

ITEM	QUANTITY	UNIT	PRICE	TOTAL
CONCRETE	100	YD	100	10,000
STEEL	50	TON	200	10,000
BRICK	100,000	BRICK	100	10,000,000
GLASS	10,000	SQ. FT.	100	1,000,000
WOOD	100	YD	100	10,000
PAINT	100	YD	100	10,000
TOTAL				20,020,000

FINISHES & MATERIALS

ITEM	QUANTITY	UNIT	PRICE	TOTAL
CONCRETE	100	YD	100	10,000
STEEL	50	TON	200	10,000
BRICK	100,000	BRICK	100	10,000,000
GLASS	10,000	SQ. FT.	100	1,000,000
WOOD	100	YD	100	10,000
PAINT	100	YD	100	10,000
TOTAL				20,020,000

PROJECT: APARTMENT DEVELOPMENT
 ARCHITECT: YAMAMOTO ARCHITECTURE INC.
 1000 10TH AVENUE, SUITE 1000, DENVER, CO 80202
 PHONE: (303) 733-1111
 WWW.YAMAMOTOARCHITECTURE.COM

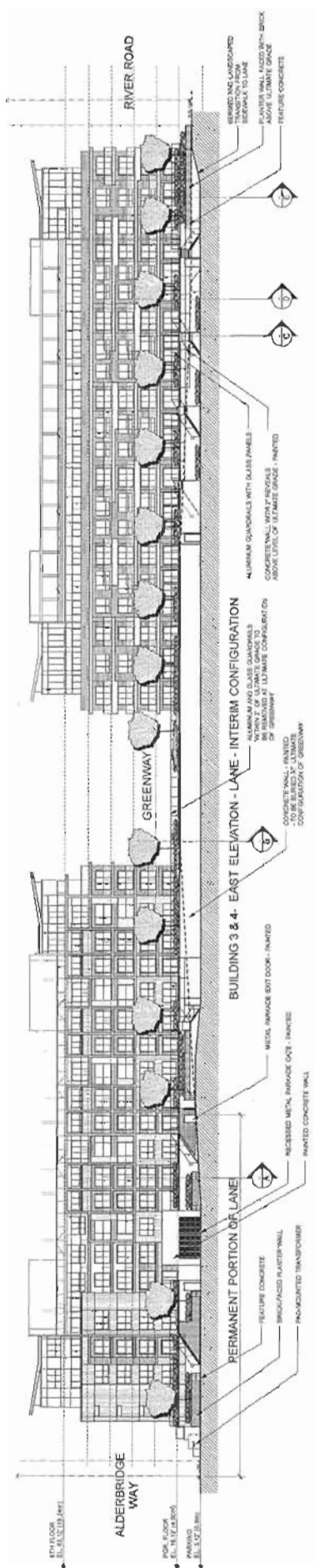
DATE: 09/04/2012
 DRAWING NO: A1-2.0
 SHEET NO: 08

REFERENCE: DP 12-615424

APARTMENT DEVELOPMENT
 RIVA
 1000 10TH AVENUE, SUITE 1000
 DENVER, CO 80202

Yamamoto Architecture Inc.
 1000 10TH AVENUE, SUITE 1000
 DENVER, CO 80202

COVER SHEET



Yamamoto
Architecture Inc.

PROJECT
APARTMENT DEVELOPMENT

DATE
ELEVATIONS

PROJECT NO.
RBM CONFIGURATION

Reference Plan Sept 4 2012
DP 12-615424

NO.	DATE	DESCRIPTION
1	09/04/12	ISSUED FOR PERMIT
2	09/04/12	ISSUED FOR PERMIT
3	09/04/12	ISSUED FOR PERMIT
4	09/04/12	ISSUED FOR PERMIT
5	09/04/12	ISSUED FOR PERMIT
6	09/04/12	ISSUED FOR PERMIT
7	09/04/12	ISSUED FOR PERMIT
8	09/04/12	ISSUED FOR PERMIT
9	09/04/12	ISSUED FOR PERMIT
10	09/04/12	ISSUED FOR PERMIT



Yaniamolo
Architecture

PLANNING DEVELOPMENT

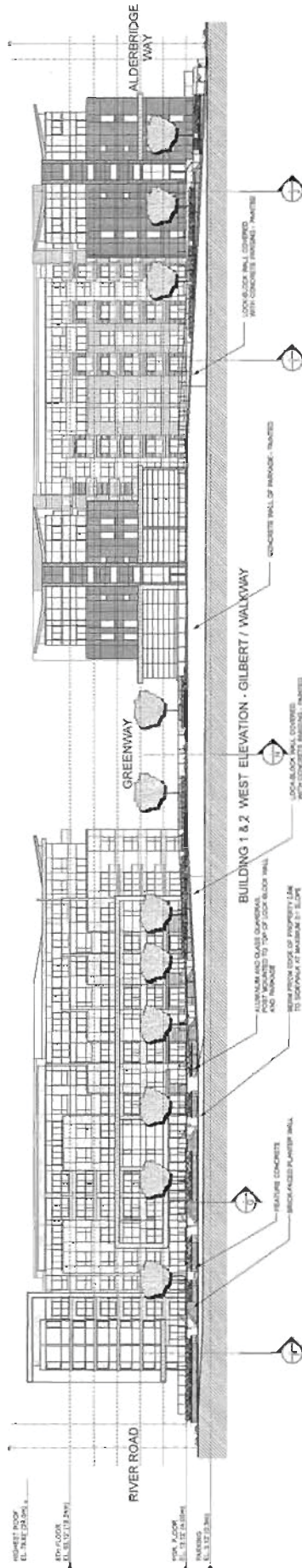
ELEVATIONS
LANE - ULTIMATE CONFIGURATION

Reference Plan Sept. 4 2012
DP 12-615424

DATE: 11/11/11
BY: ABB/PH
SCALE: 1/8" = 1'-0"
SHEET: A0.5
REVISIONS

NO.	DATE	BY/CHKD
1	11/11/11	ABB/PH

SCALE: 1/8" = 1'-0"
DATE: 11/11/11
BY: ABB/PH
SHEET: A0.5
PROJECT: LANE - ULTIMATE CONFIGURATION



Yoramoto Architecture Inc.

PROJECT: APARTMENT DEVELOPMENT

SUBJECT: ELEVATIONS

Reference Plan Sept 4 2012

DP 12-615424

DATE: 12/12/12

SCALE: 1/8" = 1'-0"

PROJECT NO: A0.6

NO.	DATE	DESCRIPTION
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2	01/15/13	REVISIONS
3	02/15/13	REVISIONS
4	03/15/13	REVISIONS
5	04/15/13	REVISIONS
6	05/15/13	REVISIONS
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98	01/15/21	REVISIONS
99	02/15/21	REVISIONS
100	03/15/21	REVISIONS

NOTES

1	DATE	DESCRIPTION
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3	11/15/12	REVISION: PERMITS
4	12/01/12	REVISION: PERMITS
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28	12/01/13	REVISION: PERMITS
29	12/15/13	REVISION: PERMITS
30	01/01/14	REVISION: PERMITS

SHARP & DIAMOND
ARCHITECTS PLANNERS INC.
1000 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.SHARPD.COM

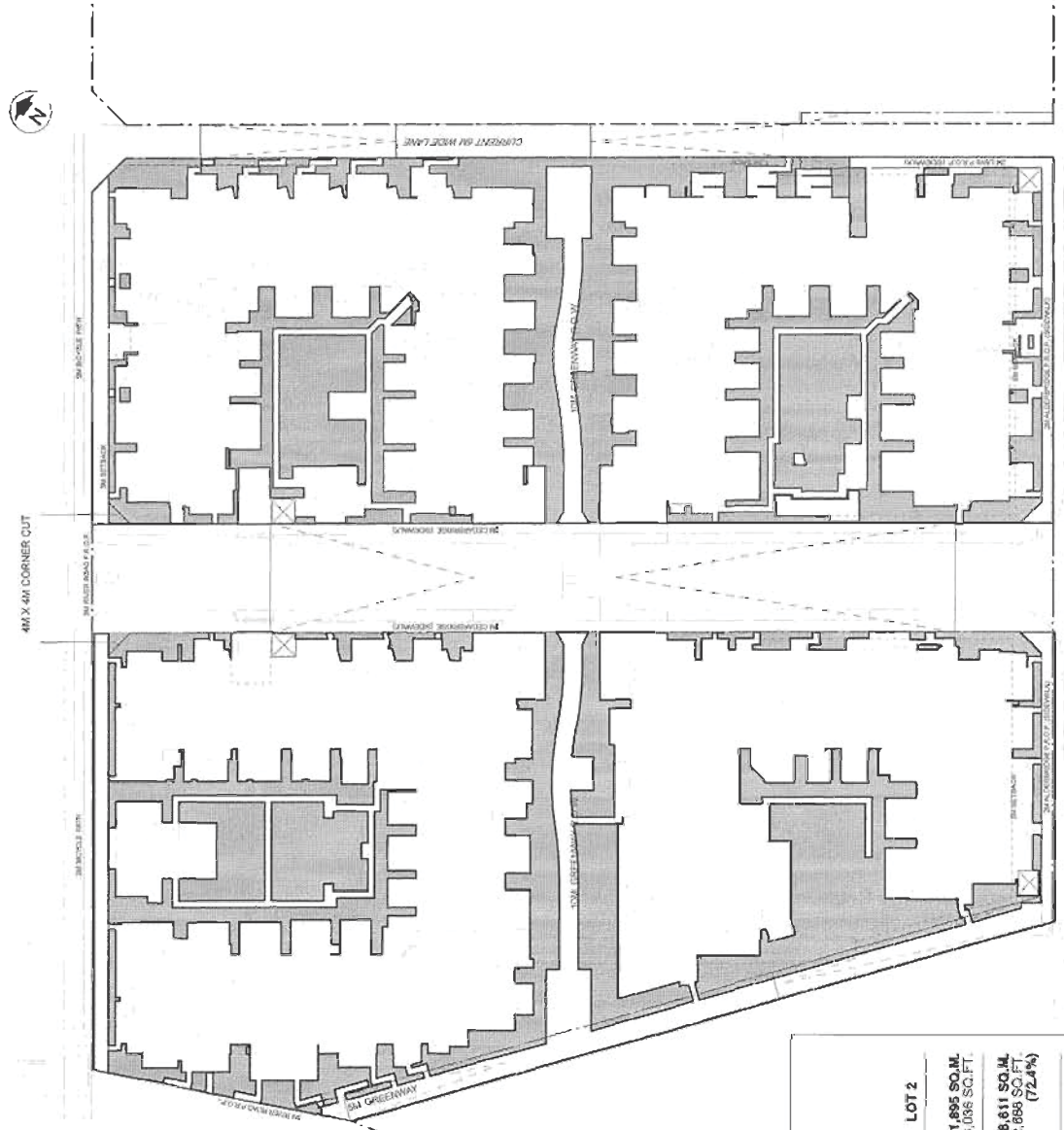
Yamamoto
Architecture Inc.
2000 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.YAMAMOTOARCH.COM

RIVA
2000 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.RIVAARCH.COM

oni
GROUP OF COMPANIES
2000 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.ONIARCH.COM

DATE	10/15/12
PROJECT	ON-SITE LANDSCAPE PERMEABLE AREAS
CLIENT	
LOCATION	
SCALE	
DRAWN BY	
CHECKED BY	
DATE	

L1.9



Reference Plan Sept 4, 2012
DP 12-615424

LOT 2

4M X 4M CORNER CUT

LOT 1

ON-SITE PERMEABILITY CALCULATIONS

STATISTICS / LEGEND

	LOT 1	LOT 2
TOTAL AREA	13,300 SQ.M. 143,160 SQ.FT.	11,895 SQ.M. 128,068 SQ.FT.
HARD SURFACE AREA (INCLUDES ALL PAVED SURFACES AND ROOF SURFACES)	8,757 SQ.M. 105,022 SQ.FT. (73.4%)	8,611 SQ.M. 92,868 SQ.FT. (72.4%)
SOFT SURFACE AREA (INCLUDES ALL SOFT LANDSCAPE AREAS AND PERMEABLE PAVED SURFACES)	4,543 SQ.M. 38,137 SQ.FT. (26.6%)	3,284 SQ.M. 35,348 SQ.FT. (27.6%)