



**City of  
Richmond**

**Report to Development Permit Panel**

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**To:** Development Permit Panel

**Date:** October 24, 2019

**From:** Wayne Craig  
Director, Development

**File:** DP 18-829207

**Re:** **Application by IBI Group Architects (Canada) Inc. for a Development Permit at  
9520 Beckwith Road**

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**Staff Recommendation**

That a Development Permit be issued which would permit the construction of a seven-storey light industrial and office building at 9520 Beckwith Road on a site zoned "Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)".

  
Wayne Craig  
Director, Development  
(604-247-4625)

WC:mm  
Att. 5

## Staff Report

### Origin

IBI Group Architects (Canada) Inc. has applied to the City of Richmond for permission to develop a seven-storey, 3,757 m<sup>2</sup> (40,436 ft<sup>2</sup>) light industrial and office building at 9520 Beckwith Road on a site zoned “Single Detached (RS1/F)”. The site is currently vacant.

The site is being rezoned from the “Single Detached (RS1/F)” zone to the “Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)” zone for this project under Bylaw 9931 (RZ 18-821103).

The subject application forms a fourth phase to be added to the three-phase development to the south and west on which City Council approved a rezoning to "Light Industrial, Office Hotel (ZI10) – Bridgeport Village (City Centre)" (RZ 10-539048) on September 11, 2017 (Attachment 2). The three phases within this adjacent development include an 11-storey office/light industrial building in Phase 1 to the west at 9466 Beckwith Road (DP 11– 594571) currently under construction, and two hotels to the south at 9455 and 9533 Bridgeport Road on which a further Development Permit (DP 18-825006) to make several changes to the design of the hotels was issued on April 8, 2019.

As part of this three-phase development, a new north-south street will be constructed which straddles the above-noted hotel and office building sites, and connects Bridgeport Road to Beckwith Road. Public access over this road is secured by a Statutory Right-of-Way (SRW). The street was officially named “Jow Street” by Council at their April 8, 2019 meeting. Jow Street is located immediately adjacent to, and provides access to, the subject development site at 9520 Beckwith Road (to be re-addressed to 2777 Jow Street upon Building Permit application being submitted).

The Servicing Agreement (SA 12-611073) for the above-noted three-phase development to the west and south includes improvements to Beckwith Road to which the subject development’s road works will be designed to match as discussed below. This Servicing Agreement also includes the design of the planned adjacent Jow Street.

As a Rezoning Consideration for the subject site, the applicant has made a Servicing Agreement application (SA 19-873503) for the design and construction of the following works:

- Frontage works along Beckwith Road that includes the widening of the southern half of Beckwith Road to accommodate a 2.0 m wide concrete sidewalk, a 1.5 m wide landscaped boulevard, a 1.8 m wide bike lane, a 3.25 m wide curb lane and a 3.1 m wide centre lane.
- Upgrade of the existing 900 mm storm sewer along the development’s Beckwith Road frontage to 1050 mm.
- Removal of the existing 600 mm storm culvert along the development’s Beckwith Road frontage.

## Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

## Background

Development surrounding the subject site is as follows:

- To the north: Across Beckwith Road, existing single-family homes on lots zoned "Single Detached (RS1/F)" and designated "General Urban (T4) Area B – Industrial Reserve: Limited Commercial" within the City Centre Area Plan (CCAP).
- To the east: There are four large retail/commercial buildings on a site zoned "Auto-Oriented Commercial (CA)" and designated "General Urban (T4) Area B – Industrial Reserve: Limited Commercial" within the CCAP.
- To the south: A large lot at 9533 Bridgeport Road (2899 Jow Street) zoned "Light Industrial and Office (ZI10) – Bridgeport Village (City Centre)" and is subject to a Development Permit (DP 18-825006) which authorizes the construction of a 10-storey hotel.
- To the west: A large lot at 9466 Beckwith Road (2788 Beckwith Road) zoned "Light Industrial and Office (ZI10) – Bridgeport Village (City Centre)" and subject to the above-noted approved Development Permit (DP 11-594571) which authorizes the construction of an 11-storey light industrial/office building on this lot.

## Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Completing a Stage 2 Environmentally Sensitive Area (ESA) report as required under the Rezoning Considerations.
  - The Stage 2 ESA Report has been prepared which includes a detailed invasive species removal plan, a construction monitoring plan, a bird strike monitoring and a plan for removing invasive species. The landscape plans were also revised based on the recommendations in the Stage 2 ESA Report as discussed in the ESA sub-section of this report.
- Preparing irrigation plans for the ground level and on the building terraces.
  - Detailed irrigation plans have been prepared and included within the Development Permit landscape plans.
- Including more detail on the building materials and colours within the architectural plans.
  - More detail on the building materials and colours has been included within the architectural plans. This includes the specifications for metal panel cladding, details on the vertical metal fins and other architectural elements on the building facades as well as the colours for each material.

The Public Hearing for the rezoning of this site was held on June 17, 2019. At the Public Hearing, there were no written submissions or verbal submissions.

## **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is in compliance with Zoning Bylaw 8500.

## **Advisory Design Panel Comments**

The Advisory Design Panel was in favour of the proposed project. A copy of the relevant excerpt from the Advisory Design Panel Minutes from July 17, 2019 is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

## **Analysis**

### ***Conditions of Adjacency***

- Beckwith Road and Jow Street present the building's face to the public realm with street-oriented, glazed light-industrial units on the first two floors of the building and the offices above.
- There are separate street-oriented entrances to Beckwith Road and Jow Street for each of the ground-level light industrial units, and a lobby entrance fronting Jow Street for the office space on the upper floors.
- There is an existing landscape buffer to the east side of the proposed building on the adjacent lot that is being enhanced with the planting of three additional Maple trees and shrubs in addition to the six existing Maple trees located along the property line on the adjacent site. At such time that the adjacent lot is re-developed, it is anticipated that a new building would be located immediately adjacent to the subject building in place of this landscaping buffer.
- Along the southern property line, the applicant's Qualified Environmental Professional (QEP) identified that 146 m<sup>2</sup> (1,572 ft<sup>2</sup>) of Environmentally Sensitive Area (ESA), including 10 trees, are to be retained near the south property line. Immediately to the south of this natural on-site ESA, there is natural ESA area on the adjacent site at 9533 Bridgeport Road in which a further ten trees are to be retained and maintained.
- The shadow diagrams of the subject building show that the extent of the shadows during most time of the year fall within the shadows of the approved office building and hotels within the existing, adjacent three-phase development.

### ***Urban Design and Site Planning***

- The architectural character of the building is generally similar to the 11-storey office and light industrial building being constructed on 9466 Beckwith Road to the west of the subject site.
- The building siting, pedestrian and vehicle access are designed to make the building fit into the urban framework created by the approved three-phase development to the west and south.

- To the south, a surface driveway from Jow Street provides access to the parkade and loading bay within the building and is adjacent to the ESA and tree retention area.
- The stepping back of the fifth to seventh floors of the building reduces shadowing and apparent mass of the building on its north and east elevations.

### ***Parking and Access***

- There are 72 parking spaces within the third and fourth floors of the proposed building and four surface parking spaces (including the two accessible parking spaces) in compliance with Zoning Bylaw 8500.
- The project also will include two medium (SU9) on-site loading spaces within the building and have one WB-17 (large) loading space provided within the adjacent development to the west at 9466 Beckwith Road as permitted under Zoning Bylaw 8500.
- There are four surface parking spaces located on the adjacent site at 9466 Beckwith Road (see Architectural Plan A0.09 in the Development Permit). These four parking spaces are for the exclusive use of the subject building. There is also a WB-17 (large) loading space within the parkade on 9466 Beckwith Road to be shared with the subject building. The sole use of the four parking spaces and sharing of the loading space are being secured by registration of a restrictive covenant and easement prior to rezoning adoption. This document will be registered on the subject site at 9520 Beckwith Road and adjacent lot at 9466 Beckwith Road to ensure access to these parking spaces and loading space are available for use in perpetuity by subject development.
- Prior to Development Permit issuance, the owner will be required to grant a statutory right-of-way (SRW) measuring approximately 2.9 m by 75.2 m (9.5 ft. by 246.7 ft.) adjacent to the west side of the subject site on 9466 Beckwith Road for the sidewalk purposes for public pedestrian and bicycle access and to provide general access by the City for servicing and emergency services purposes.

### ***Architectural Form and Character***

- On the prominent elevations facing Beckwith Road and Jow Street, the building is clad in glass curtain wall that includes vision glass and blue spandrel glass panels with occasional louvered panels to allow for ventilation of the light industrial units.
- The visually prominent northwest and southwest corners of the building are anchored with solid vertical elements that extend from street level to above main roof level and are clad in white metal panels.
- Further visual interest is achieved by terracing inwards the fifth and sixth floors of the building on the north, south and east elevations.
- Visual interest is also achieved by cantilevering outward of the third and fourth storeys facing Beckwith Road and Jow Street.
- The east side elevation is located just off the east property facing the side parking lot and concrete side wall of the adjacent Michael's store. To add visual interest to the first four floors, attractive patterning has been added to the building's east wall, behind which are the

parkade and building service areas. The fifth and sixth floors are terraced inward to reduce the massing of the building.

- The seventh floor is effectively a small penthouse set further back from the edge of the sixth floor on all but the south side.
- The terraces on the fifth to seventh floor of the building are well landscaped for design and ESA compensation purposes.

#### ***Landscape Design and Open Space Design***

- The above-noted grove of existing trees along the south property line will be preserved and additional trees planted as discussed below, and secured by a covenant to be registered on Title as part of the Rezoning.
- There are planters adjacent to the sidewalks adjacent to Beckwith Road and Jow Street.
- The terraces on the fifth and seventh floors of the building are designed with large planters with native species for ESA compensation purposes as discussed below.
- The remainder of the seventh floor is comprised of a large patio covered with pavers and planters with shrubs and trees.
- The applicant will be required to provide a security for landscaping in the amount of \$65,754.70 for the ESA plantings and \$165,901.45 for the other landscaping.

#### ***Tree Retention and Replacement***

As part of the rezoning application, the applicant has submitted a Certified Arborist's Report that was reviewed and accepted by the City as follows:

- The 10 large coniferous trees proposed to be retained on the subject site will complement the further 12 trees being protected on the site to the south at 9533 Bridgeport Road on which the above-noted hotel is planned to be built. Together, these on-site and off-site trees form a viable grove of 22 coniferous and deciduous trees. A Tree Survival Security of \$80,000 for these 10 trees will be provided and retained by the City for a period of three years after occupancy of the building as rezoning consideration (see Landscape Plan L-05 within the Development Permit).
- There are 18 trees located on adjacent neighbouring properties, with six trees located on the property to the east and 12 trees are identified on the property to the south; all of which are in good condition and are to be retained and protected under Development Permit (DP 18-825006) issued for the adjacent hotel site.
- There are a total of 27 on-site replacement trees within the Development Permit plans. This exceeds the 26 replacement trees required for 13 trees removed for project. Of these 13 trees, seven are in good condition but are in conflict with the proposed development and six are not good candidates for retention due to health and structure as identified at the time of the Rezoning application.

- To provide a soft green landscape buffer to the east side of the proposed building, the applicant has obtained written approval from the adjacent commercial property owner immediately to the east to allow for the planting the three additional Maple trees and shrubs.

### ***Environmentally Sensitive Area (ESA)***

There is a mapped ESA Development Permit Area along the southern property line of the site.

The strategy for protection of part of the ESA area and providing ESA compensation was developed as part of the Rezoning application process. Given that modification to this ESA is subject to a Development Permit, the applicant engaged a Qualified Environmental Professional (QEP) to assess the ESA area as part of the Rezoning application and prepared a Stage 1 ESA Report. More specifically, the Stage 1 ESA Report identified that the 270 m<sup>2</sup> (2,906 ft<sup>2</sup>) of mapped ESA is comprised of:

- 146 m<sup>2</sup> (1,571.5 ft<sup>2</sup>) of natural area which includes the above-noted 10 trees proposed to be retained near the south property line and that are outside of the adjacent lawn area to the north.
- 143 m<sup>2</sup> (1,539 ft<sup>2</sup>) within the remaining mapped ESA area, comprised mainly of lawn and having very low environmental value to invertebrates and birds.

Staff have reviewed the Stage 1 ESA Report and agreed that the proposed prescription provides both a net gain in quality and quantity over the current on-site ESA natural area 146 m<sup>2</sup> (1,571 ft<sup>2</sup>) to be maintained within the site to be maintained due to the following:

- Preservation of the natural portion of the ESA area at grade level.
- The provision of additional ESA compensation areas on levels 5 and 7 of the building.
- Vertical and lateral connectivity of ESA within the site and on the building.
- The extensive planting of native shrubs on the ground-level ESA area and roof-top ESA compensation areas, with plant species selected for suitability to urban ecosystems.

The Stage 2 ESA report, prepared for the Development Permit application, confirmed that the removed existing 143 m<sup>2</sup> (1,539 ft<sup>2</sup>) ESA area comprised of lawn will be more than compensated for with proposed ESA compensation areas with native species proposed for the building's terraces. In this regard, under the Rezoning Considerations, the City has required that the applicant provide a net gain of 333 m<sup>2</sup> (3,261 ft<sup>2</sup>) of ESA area comprised of the persevered ESA area and ESA compensation areas. The Stage 2 ESA Report and landscape plans in the Development Permit provide for:

- Remaining natural ESA area of 146 m<sup>2</sup> (1,539 ft<sup>2</sup>) with the existing trees is to be maintained, and the understory being enhanced with the removal of invasive of species and the planting of three native trees and shrubs.
- ESA compensation on level 5 of the building of 198 m<sup>2</sup> (2,131 ft<sup>2</sup>) with the planting of native plants and level 7 with 259 m<sup>2</sup> (2,779 ft<sup>2</sup>) with the planting of native shrubs and trees.

As part of the Development Permit required for project, the applicant's QEP has provided a detailed Stage 2 ESA Report and landscape plans (Attachment 4) that:

- Include a detailed invasive species removal plan.
- Provide detailed site planting and construction monitoring plans.
- Provide a plan for removing invasive species in the other identified landscape areas outside of the ground-level on-site and off-site ESA areas to be maintained and the ESA compensation areas.
- Provide irrigation plans for the ground-level ESA and roof-top ESA compensation areas.
- Provide estimates for the value of the ground-level and roof-top portions of the plantings, and the cost of a five-year monitoring plan.

The QEP has also reviewed the design of the building and ESA landscaping made the following recommendations regarding reducing bird strikes follows:

- Accent lighting included in the previous landscaping plans has been removed to reduce the effects of lighting on the ESA.
- Mitigation to reduce the chances of bird collision risk have been incorporated into the building design including:
  - The south side of the building adjacent to the ground level ESA includes design features that will lower the risk of bird collisions including a mixture of frosted glass windows, opaque spandrel glazed windows, metal paneling, concrete wall and mechanical ventilation louvers.
  - The building façade above the Level 5 ESA compensation area includes architectural features including and ventilation louvers as well as deep and highly accentuated walls. Below the Level 5 ESA compensation area is a three-tone painted concrete wall and textured wall that is not hazardous to birds.
  - To ensure that the risk of bird collision monitored after construction, a biologist will visit the site in the morning as part of a baseline assessment twice a month for the first six months after building completion (which will include a migratory period). Annual monitoring will then extend for the following three years. If there are any areas of the building that are found to have an elevated risk the biologist will specify additional bird-strike migration measures.
- That ESA compensation on Level 7 is has a low risk of bird collision as it is on the top floor with a small penthouse limited clear glazing.
- The remainder of the building is also a mix of design features that will reduce the risk of bird collision including the features described above for the ESA compensation areas as well as mechanical louvers and aluminum fins which all break up the nature of the façade along with the changes in color and shape.

As a Rezoning Consideration, there will also be registration of a legal agreement for the purpose of ensuring the planting and maintenance of the above-noted on-site ESA areas and the existing adjacent 256 m<sup>2</sup> (2,756 ft<sup>2</sup>) ESA area on the hotel site at 9533 Bridgeport Road. The covenant also provides for a three-year to five-year monitoring plan, as needed, for the reviewing the performance of the ESA plantings. The applicant will also provide a \$10,000 security for the five-year ESA monitoring plan and an \$11,000 security for the bird strike monitoring plan.

### ***Crime Prevention Through Environmental Design***

- The external street frontages provide significant surveillance from the street-oriented light industrial and office units due to the design of the building.
- The substantial area of windows at the hotel lobbies and ground-level amenity spaces provide clear views onto the exterior pedestrian areas associated with the building and Bridgeport Road. Pedestrian-scale bollard lighting is provided on the sites.

### ***Sustainability***

The proposed development includes the following sustainable features:

- The proposed buildings will continue to meet minimum LEED Silver (version 4) equivalent that provides a range of 52 points up to 73 possible points out of a maximum 110 points with a focus on energy efficient and indoor environmental quality. See Attachment 5 for the LEED checklist (Attachment 5).
- The applicant will be required to register a legal agreement on Title securing the owner's commitment to connect to a District Energy Utility (DEU) that provides that no Building Permit will be issued unless the building is designed with the capability to connect to and be serviced by a DEU. The developer will also be required to provide mechanical drawings and energy modeling, which shall be reviewed by the City and LIEC for compliance with DEU requirements (i.e. capable of connecting to a future DEU system) prior to Building Permit issuance.

### ***Accessibility***

The proposed development also includes the following accessible design elements:

- There are two accessible parking spaces located in close proximity to the main entrance lobbies for the office and light industrial spaces within the building.
- There is a broad sidewalk that provides level access to all of the light industrial units on the ground floor.

### ***Public Art***

The applicant will be providing a \$15,235.16 monetary contribution to the City's Public Art Program as a Rezoning Consideration.

### ***Aircraft Noise Policy & City Noise Bylaw***

The proposed development is located in Area 1A (New Aircraft Noise Sensitive Uses Prohibited) on the Aircraft Noise Sensitive Development Policy. The project includes non-aircraft sensitive uses in compliance with the policy. Thus, there will be registration of an aircraft noise indemnification covenant is required prior to rezoning adoption as part of the rezoning application.

The proposed development must address additional OCP Noise Management Policies related to mixed-use, commercial and ambient noise, as well as other impacts of densification. In this regard, the applicant will also be required to register a legal agreement on Title. This agreement will require that an acoustical engineering report be provided to the City prior to issuance of the Building Permit that confirms that the project mitigates unwanted noise from the building and

that the rooftop HVAC units will not exceed noise levels allowed in the City's Noise Bylaw 8856.

### Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Mark McMullen  
Senior Coordinator - Major Projects  
(604-276-4173)

MM:blg

### Attachments:

- Attachment 1: Development Application Data Sheet
- Attachment 2: Overall Development Site Plan
- Attachment 3: Excerpt from the Advisory Design Panel Minutes
- Attachment 4: ESA Map
- Attachment 5: LEED Scorecard

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$65,754.70 for the ESA plantings and \$165,901.45 for the other landscaping.
- Receipt of a Letter-of-Credit for \$10,000 to secure the five-year environmental monitoring plan and a Letter-of-Credit for \$11,000 to secure the bird strike monitoring plan.
- Granting of an approximately 218 m<sup>2</sup> (2,347 ft<sup>2</sup>) statutory right-of-way measuring approximately 2.9 m by 75.2 m (9.5 ft. by 246.7 ft.) adjacent to the west side of the subject site on 9466 Beckwith Road (2788 Jow Street) for the sidewalk purposes for public pedestrian and bicycle access and general access by the City for servicing and emergency access purposes. The works are to be built by the owner/developer and are to be maintained by the owner. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Make any revisions to the existing SA12-611073 for changes to the design of Jow Street to provide necessary vehicle and pedestrian access and other servicing works for the subject development.
- Summit the following DEU information to Lulu Island Energy Company:
  - a) For review mechanical, plumbing and architectural drawings (in PDF format) showing that a building mechanical system is compatible with the future DEU system and will be able to utilize the DEU for not less than 100% of all the annual space heating and domestic hot water heating for a building as determined in the energy modeling report.
  - b) Submit for review a DEU energy modeling report showing:
    - i. space heating, cooling and domestic hot water heating peak loads and hour by hour consumption, and
    - ii. percentage of annual space heating and domestic hot water requirements supplied by DEU.

- b) Submit for review mechanical, plumbing and architectural drawings (in PDF format) showing that a building mechanical system is compatible with the future DEU system and will be able to utilize the DEU for not less than 100% of all the annual space heating and domestic hot water heating for a building as determined in the energy modeling report.
- c) Confirmation that the room noted as "Combined Mechanical Room": The general guideline for required DEU infrastructure within the building is 6.11m L x 2.83m W x 2.13m H.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).



**DP 18-829207**

**Attachment 1**

Address: 9520 Beckwith Road (2777 Jow Street)

Applicant: IBI Group Architects (Canada) Inc.

Owner: 1128457 B.C. Ltd

Planning Area(s): City Centre Area Plan

Floor Area Gross: 66,843 ft<sup>2</sup> (6,210 m<sup>2</sup>)

Floor Area Net: 40,436 ft<sup>2</sup> (3,757 m<sup>2</sup>)

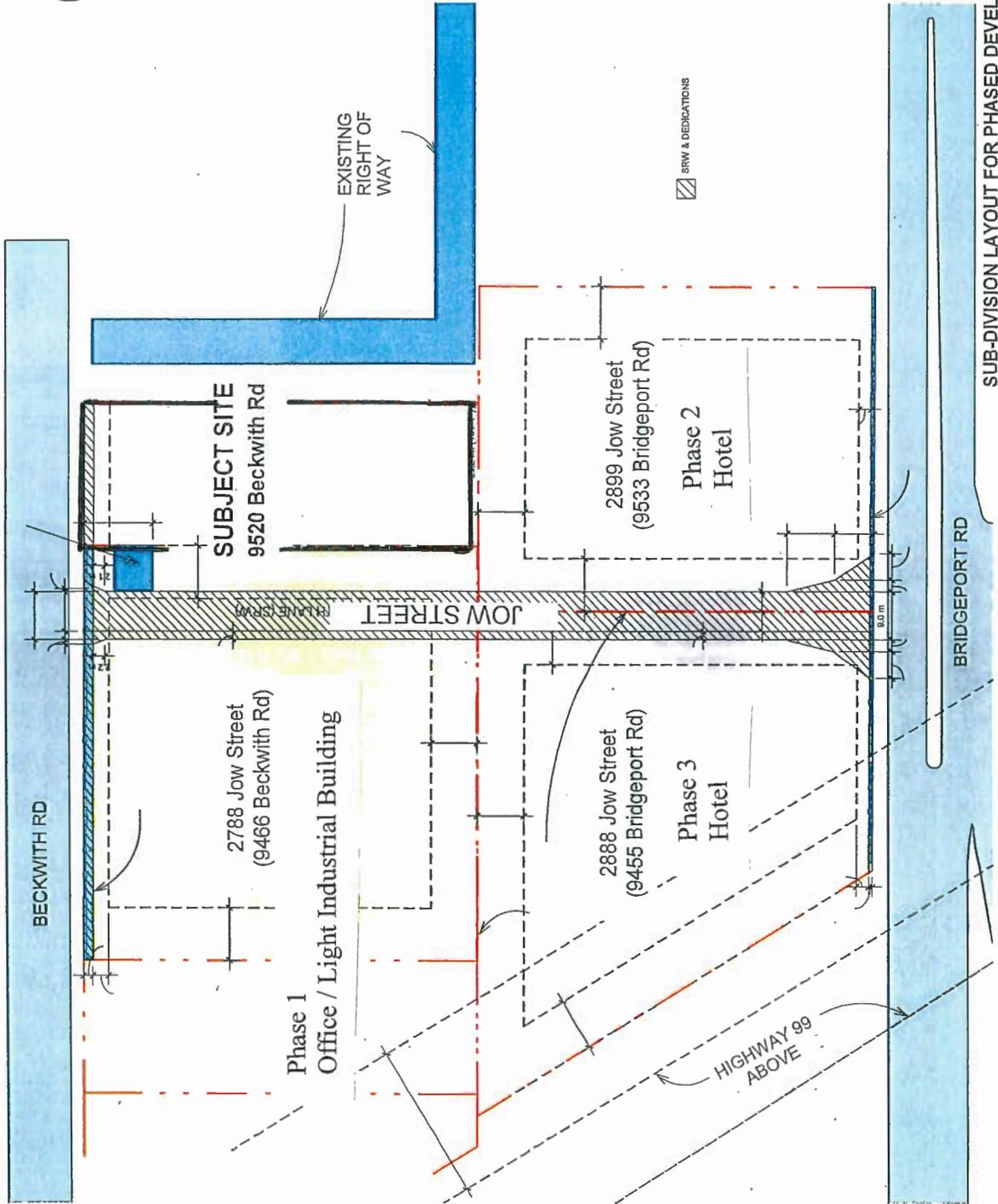
	<b>Existing</b>	<b>Proposed</b>
<b>Site Area:</b>	2,097.7 m <sup>2</sup>	2,043.3 m <sup>2</sup>
<b>Land Uses:</b>	Vacant	Office and Light Industrial
<b>OCP Designation:</b>	MEMP – Mixed Employment	MEMP – Mixed Employment
<b>Zoning:</b>	Single Detached (RS1/F)	Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)
<b>Number of Units:</b>	None	None

	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio:	1.85	1.84	none permitted
Lot Coverage:	Max. 75%	72.72%	none
Setback – Front Yard (Beckwith):	Min. 3.0 m	3.0 m	none
Setback – Side Yard (East):	Min. 0.0 m	0.2 m	none
Setback – Side Yard (West)	Min. 0.5 m	0.7 m	none
Setback – Rear Yard:	Min. 10.0 m	14.1 m	none
Height (m):	Max. 30 m	28.04 m	none
Lot Size:	none	2,043.3 m <sup>2</sup>	none
Off-street Parking Spaces – Regular/Commercial:	74	74	none
Off-street Parking Spaces – Accessible:	2	2	none
Total off-street Spaces:	76	76	none
Tandem Parking Spaces	not permitted	None	none
Amenity Space – Indoor:	N/A	N/A	none
Amenity Space – Outdoor:	N/A	N/A	none



NEW NORTH-SOUTH ROAD CONNECTING BRIDGEPORT RD WITH BECKWITH ROAD

A 1007



SUB-DIVISION LAYOUT FOR PHASED DEVELOPMENT

1/32" = 1'-0"

Excerpt from the Minutes from  
**The Design Panel Meeting**

Wednesday, July 17 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall

1. **DP 18-829207 – 7-STOREY MIXED USE LIGHT INDUSTRIAL AND OFFICE DEVELOPMENT**

ARCHITECT: IBI Group Architects  
LANDSCAPE ARCHITECT: Van der Zalm and Associates  
PROPERTY LOCATION: 9520 Beckwith Road

**Applicant's Presentation**

Salim Narayanan, Architect, IBI Group Architects and Travis Martin, Landscape Architect, van der Zalm + Associates, presented the project and together with Kelly Koome, Arborist, van der Zalm + Associates, answered queries from the Panel on behalf of the applicant.

**Panel Discussion**

*Comments from Panel members were as follows:*

- appreciate the applicant contributing to the City's Public Art Fund; however, the applicant is encouraged to incorporate public art into the project to improve the project's public realm; ***IBI: Applicant appreciates the importance of the project as an integral part of Bridgeport community area, and together with design team makes thoroughgoing efforts to maximally enhance the public realm experience. Applicant believes that the City of Richmond has paramount view in regards of city's public art vision. As follows, and due to site conditions and confined quarters, applicant opts to contribute to City's Public Art Fund.***

- appreciate the high density of tree planting and landscaping along the building's Beckwith Road frontage to provide a buffer to the existing single-family homes to the north; however, consider opening up the landscaped area along the north edge of the site to provide additional pedestrian access to the building from the north and address potential CPTED concerns; ***IBI: Landscaping at North elevation, along Beckwith road, was revised accordingly, to open up the elevation and introduce additional pedestrian connection. See A0.09 and L-02A***
- support the terraced building form stepping away from the east property line at the upper levels to reduce the massing of the building; also appreciate the introduction of vertical elements to break down the horizontal mass of the building; consider further breaking down the building massing particularly at the lower levels to provide a more pedestrian-oriented character to the building; ***IBI: Has been done and no further changes are proposed.***
- support the proposed bollard lighting along the west and north sides of the building;
- consider introducing landscaping around the Pad Mounted Transformer (PMT) fronting Beckwith Road to screen it from pedestrian view; ***IBI: Green hedge was added around PMT, to create aesthetic concealment. See A0.09 and L-02A.***
- consider adding lighting to the loading area on the south side of the building to enhance pedestrian experience and safety at night; ***IBI: Upward accent lights and flood lights were added to increase illumination, accentuate the trees, along South elevation. See L-02A.***
- the model and the applicant's presentation helped clarify the project's concept;
- the scale of the project relative to its site context is appropriate; shape and form of the building is also appropriate for its proposed uses;
- the applicant needs to address concerns regarding lighting and ventilation in the two parking levels inside the building; consider incorporating louver strips into the glass material wrapping the parking levels for ventilation; lighting in the parking levels should match the type of glass material for the parking level walls and reduce headlight glare from inside, e.g. obscure, translucent or spandrel; ***IBI: Extensive louver panels were incorporated at North and South elevations. Furthermore, "staggered" curtain wall panels design at West elevation will provide additional parking ventilation. Re: Glazing – spandrel and frosted glass panels are used interchangeably, to create a desirable lighting effect and reduce/block headlight glare. See elevations A2.01, A2.02, A2.03***
- simplicity of articulation on the southwest corner of the building is appropriate; consider mimicking this approach to the northwest corner that has a corner glass condition; consider a more solid corner treatment; ***IBI: A more solid corner treatment adopted – Long staircase window, on North elevation, was deleted. See A2.01***

- articulation of vertical fins on the west face of the building is effective; appreciate the interlacing of vertical fins that aligns with the two middle parking levels in the building; consider highlighting this condition as the project moves forward; also consider a slightly denser articulation of the vertical fins on the north face of the building to highlight the two middle parking levels;

***IBI: Parking levels at North elevation were further accentuated by introducing mechanical louvers. No further changes are proposed.***

- appreciate the amount of planting in the project and extensive use of native species; concerned on vine planting below Level 5 which is not shown on the planting plan for Level 5 as it is technically not on Level 5; applicant needs to consider provision of maintenance access; ***IBI: Guardrail access will be provided to maintain step-down planter. A fixed ladder is shown on A1.05 (at Gridline L1 between Gridlines D/E).***
- shadow study shows that the north elevation is a dark space most of the time; high density of planting including trees, native shrubs and planters along the Beckwith Road frontage will pose sightline issues; consider keeping the planting low and open up some of the trees to allow more sunlight; ***IBI: Landscaping at North elevation was revised accordingly, to allow more sunlight in. See A0.09 and L-02A***
- support the Panel comment regarding the lack of provision for maintenance access for vines on the lower planter below Level 5; consider installing a permanent ladder structure on the outside to connect the higher Level 5 planter to the lower planter;  
***IBI: Guardrail access will be provided to maintain step-down planter. A fixed ladder is shown on A1.05 (at Gridline L1 between Gridlines D/E).***
- programming on the building rooftop could be enhanced; consider breaking up the 20-foot long planting bed into smaller beds as it is difficult to maintain; the applicant could use the freed space for other uses that would benefit office space users; ***IBI: A break in the landscaping was made.***
- support the retention of existing trees along the south property line and the proposed additional planting of trees on the site;

- the project is nice and compact; however, the applicant needs to integrate into the building design the mechanical and ventilation requirements for the building's intended uses, e.g. provision of louvers for the two lower floors of light industrial uses; Canadian Standard Association (CSA) requirements may also impact the design and programming of the rooftop deck to provide for the mechanical equipment requirements of future medical and dental offices should these be located in the building's office spaces; ***IBI: Ventilation louvers are integrated into Light Industrial levels façade and soffit. See A2.01-04. Specialized, open to sky, mechanical area is allocated on Level 7 to serve present and future mechanical needs, and in coordination with Mechanical consultant.***
- applicant needs to be mindful of interconnecting the two floor levels for light industrial uses as this could impact the required space for vestibules on the ground level; ***IBI: Internal stairs shown in Light Industrial spaces are optional, and subject to future TI if needed.***
- support the incorporation of vertical fins on the building façade; however, some of the fins, particularly the intermediate fins, are not deep enough and need further design development;  
***IBI: Has been done and no further changes are proposed.***
- appreciate the proposed mixed light industrial and office use project which is part of an overall project that includes two hotel buildings and a business centre building;
- support the Panel comment for the applicant to consider at this stage of the project the mechanical and ventilation requirements for office and light industrial spaces and incorporate these into the building design and articulation of building facade, e.g. louvers and mechanical equipment; ***IBI: Mechanical and ventilation requirements are incorporated and coordinated with Mechanical consultant.***
- the proposed loading decks are not well resolved; consider a dedicated and more direct passage from the loading decks to the inside of the building that will not go through the garbage and recycling room; applicant could consider utilizing a portion of the office reception/lobby as a passageway from the loading decks to the inside of the building; ***IBI: Service corridor and Garbage/Recycling area were revised to allow a dedicated passage from the loading facilities.***
- the overall articulation of the building is more successfully shown in the model than in the renderings, e.g. showing the contrast in gray tones;

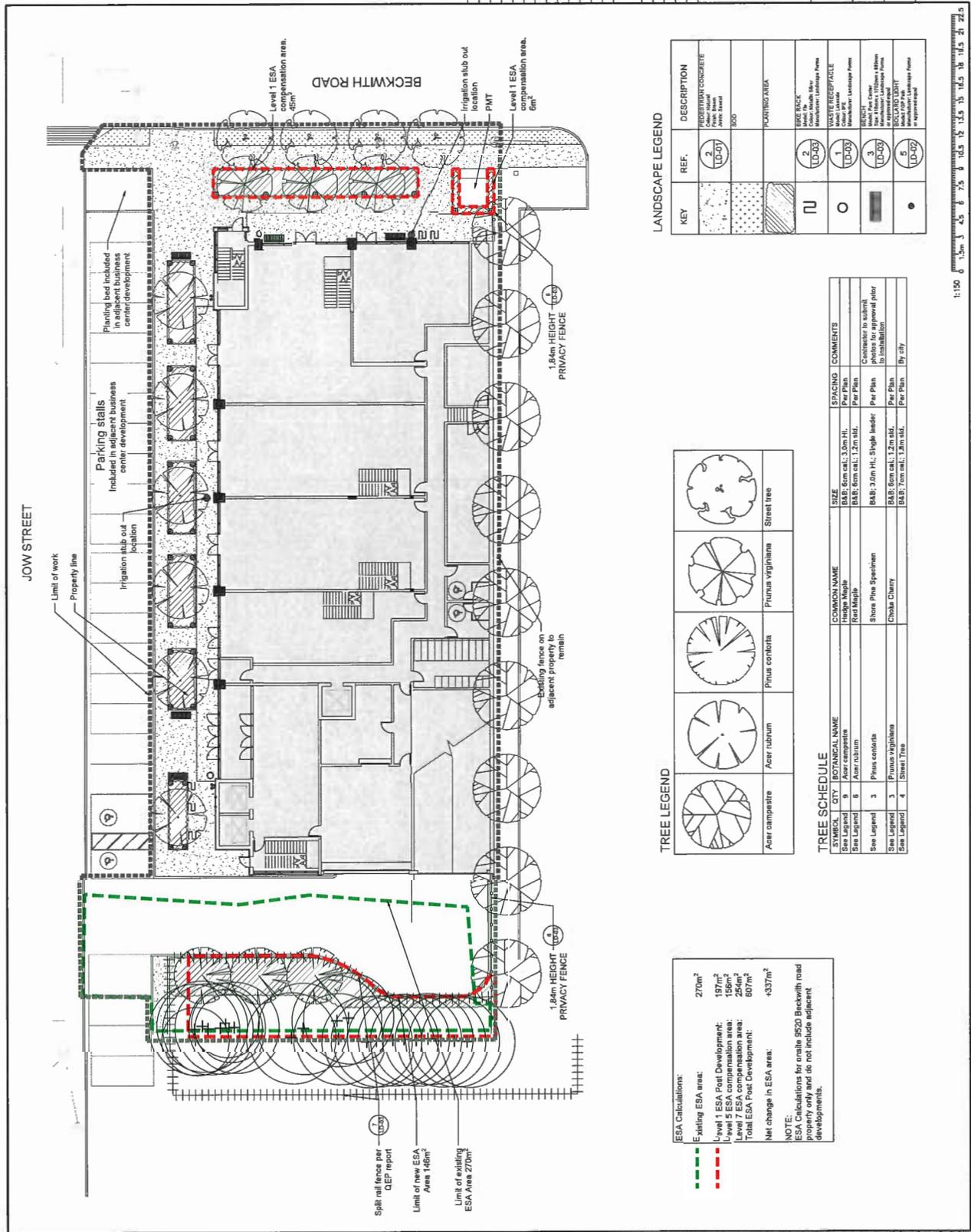
- applicant needs to review the accessibility aspect of the project, e.g. wayfinding for different users of the building, e.g. location of accessible parking; ***IBI: Please, see L-06 for Accessibility Plan. Please, see A0.09 for H/C stalls located at immediate proximity to the main lobby. Accessibility and wayfinding signs will be incorporated throughout in the project within the Building Permit, including electronic H/C door opener at main lobby.***
  
- appreciate the proposed mixed-use building notwithstanding the questions regarding its intended uses;
- the two levels of parking inside the building present an opportunity to repurpose these for other uses as their need diminishes in the future;
- would like to see the definition of the zoning of the subject site and its permitted uses; and
- appreciate how the building fits into the neighbourhood.

**Panel Decision**

It was moved and seconded

***That DP 18-829207 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.***

**CARRIED**



ESA Calculations:  
 Existing ESA area: 270m<sup>2</sup>  
 Level 1 ESA Post Development: 197m<sup>2</sup>  
 Level 5 ESA compensation area: 156m<sup>2</sup>  
 Level 7 ESA compensation area: 254m<sup>2</sup>  
 Total ESA Post Development: 607m<sup>2</sup>  
 Net change in ESA area: +337m<sup>2</sup>

NOTE:  
 ESA Calculations for onsite 9520 Beckwith road development do not include adjacent developments.

TREE LEGEND

	Acer campestre	SIZE	Comments
	Acer rubrum	BAR: 6cm cal.; 3.0m HI.	Per Plan
	Pinus strobus	BAR: 6cm cal.; 1.2m HI.	Per Plan
	Pinus strobus	BAR: 3.0m HI, Single leader	Per Plan
	Pinus strobus	BAR: 6cm cal.; 1.2m HI.	Per Plan
	Pinus strobus	BAR: 7cm cal.; 1.2m HI.	Per Plan
	Pinus strobus	BAR: 7cm cal.; 1.2m HI.	Per Plan
	Pinus strobus	BAR: 7cm cal.; 1.2m HI.	Per Plan
	Pinus strobus	BAR: 7cm cal.; 1.2m HI.	Per Plan
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	Pinus strobus	BAR: 7cm cal.; 1.2m HI.	Per Plan
	Pinus strobus	BAR: 7cm cal.; 1.2m HI.	Per Plan

TREE SCHEDULE

SYMBOL	CITY	BOTANICAL NAME	SIZE	SPACING	COMMENTS
1	1	Acer rubrum	BAR: 6cm cal.; 3.0m HI.	Per Plan	
2	2	Acer rubrum	BAR: 6cm cal.; 1.2m HI.	Per Plan	
3	3	Pinus strobus	BAR: 3.0m HI, Single leader	Per Plan	Contractor to submit photos for approval prior to installation.
4	4	Pinus strobus	BAR: 6cm cal.; 1.2m HI.	Per Plan	
5	5	Pinus strobus	BAR: 7cm cal.; 1.2m HI.	Per Plan	

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	1	WASTE RECEIPT/AREA
	2	WASTE RECEIPT/AREA
	3	WASTE RECEIPT/AREA
	4	WASTE RECEIPT/AREA
	5	WASTE RECEIPT/AREA

1:150 0 1.5m 3 4.5 6 7.5 8 10.5 12 13.5 15 16.5 18 19.5 21 22.5

REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
1	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
3	AD	Issued for Development Permit	Jan 15, 2019
4	AD	Issued for Development Permit	Jan 15, 2019
5	AD	Issued for Development Permit	Jan 15, 2019
6	AD	Issued for Development Permit	Jan 15, 2019
7	AD	Issued for Development Permit	Jan 15, 2019
8	AD	Issued for Development Permit	Jan 15, 2019
9	AD	Issued for Development Permit	Jan 15, 2019
10	AD	Issued for Development Permit	Jan 15, 2019

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
1	AD	Issued for Development Permit	Jan 15, 2019
2	AD	Issued for Development Permit	Jan 15, 2019
3	AD	Issued for Development Permit	Jan 15, 2019
4	AD	Issued for Development Permit	Jan 15, 2019
5	AD	Issued for Development Permit	Jan 15, 2019
6	AD	Issued for Development Permit	Jan 15, 2019
7	AD	Issued for Development Permit	Jan 15, 2019
8	AD	Issued for Development Permit	Jan 15, 2019
9	AD	Issued for Development Permit	Jan 15, 2019
10	AD	Issued for Development Permit	Jan 15, 2019

Drawn: AD  
 Checked: WDC  
 Approved: WDC  
 Scale: 1:150



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 University City, CA 92093  
 Phone: 619.451.1000  
 Fax: 619.451.1001  
 www.vdz.com

# PLANTING PLAN - LEVEL 5



DP2018-29  
 VLD Project #:

Drawing #: L-03B

No.	By	Description	Date
1	JAD	Issued for Development Permit	June 19, 2018
2	JAD	Issued for Development Permit	August 22, 2018
3	JAD	Issued for ADP	July 4, 2018
4	JAD	Issued for Development Permit	June 22, 2018
5	JAD	Issued for Development Permit	June 20, 2018
6	JAD	Issued for Development Permit	June 20, 2018

Project:  
 9520 Beckwith Road

Location:  
 9520 Beckwith Road  
 Richmond, BC

Drawn:  
 AD

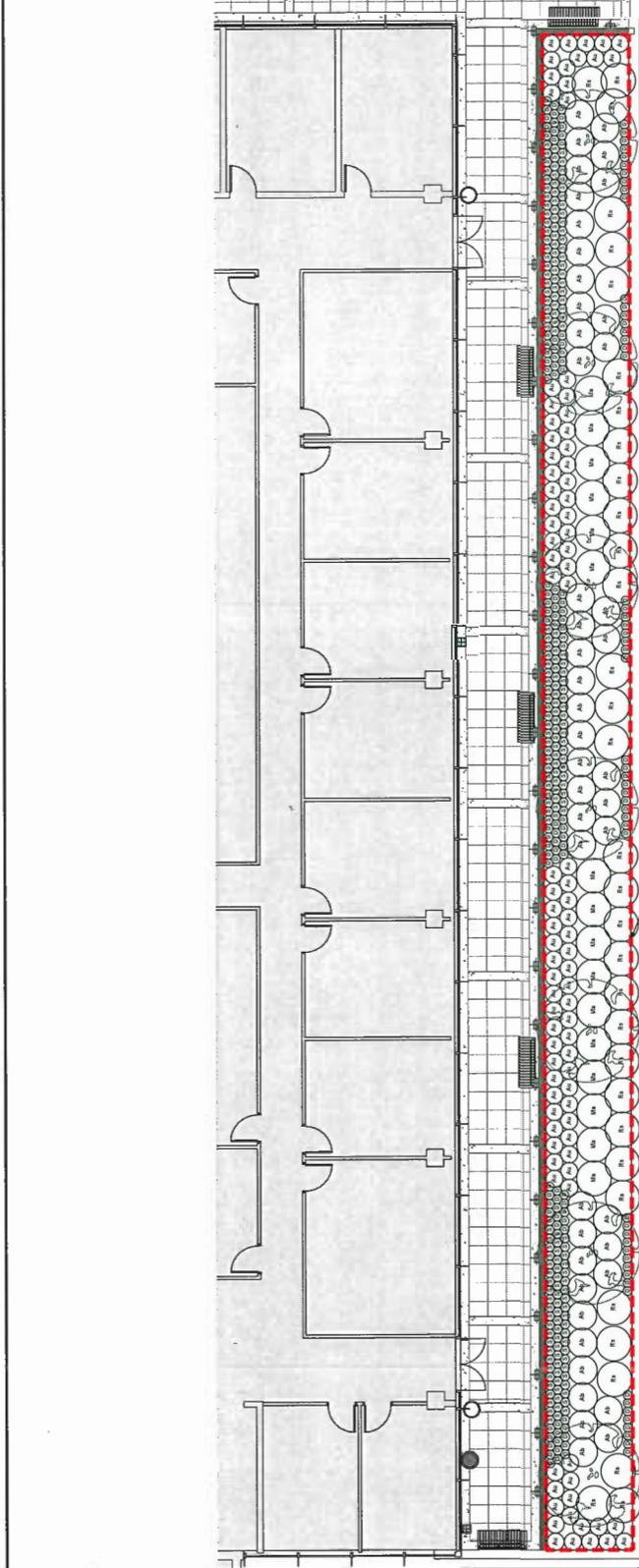
Checked:  
 WJZ

Approved:  
 WJZ

Scale:  
 1:75

Original Sheet Size:  
 24"x36"

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SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	45	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Au	84	Arctostaphylos uva-ursi / Kalm's Laurel	#2 Pot	0.60m
D	144	Daucampsis corymbosa / Tuleed Hair Grass	#2 Pot	0.30m
Ma	18	Malva aquilium / Oregon Grape	#3	1.20m
Ra	33	Ribes sanguineum / Red Flowering Currant	#3	1.20m
S	198	Sedum spathulifolium 'Carnea' / Broadleaf Stonecrop	#1	0.30m

ESA Calculations:  
 Existing ESA area: 270m<sup>2</sup>  
 Level 1 ESA Post Development: 137m<sup>2</sup>  
 Level 5 ESA compensation area: 156m<sup>2</sup>  
 Level 7 ESA Post Development: 254m<sup>2</sup>  
 Total ESA Post Development: 807m<sup>2</sup>  
 Net change in ESA area: +537m<sup>2</sup>

NOTE:  
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractor's expense.
  - Growing medium depths for planting as follows:
    - Shrubs: 450mm
    - Sod: 150mm
    - Tree pits: 1000mm with 300mm (below root ball)
  - 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

1:75



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 1000 West Beaver Creek Road  
 Richmond, BC V6X 3V9  
 Tel: 604.273.8888  
 Fax: 604.273.8889  
 www.vdz.com

PLANTING PLAN - LEVEL 7



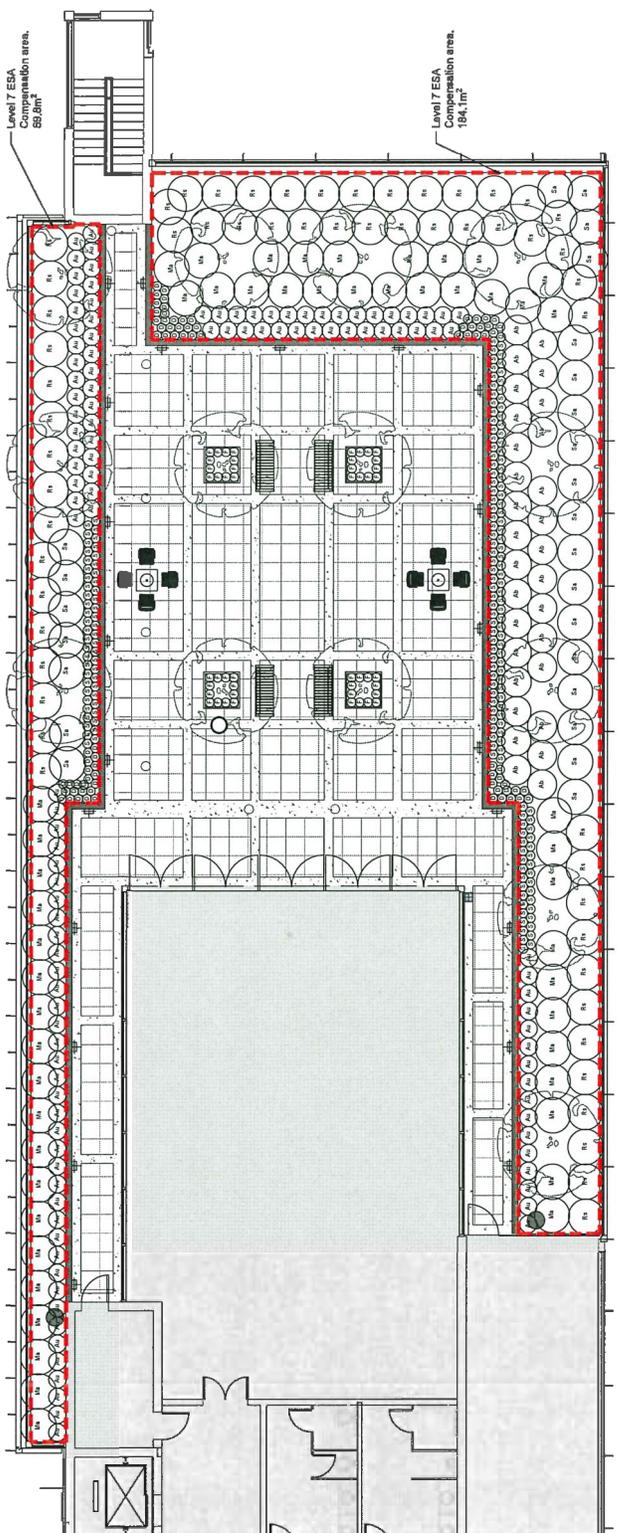
DP2018-29  
 VDC Project #

L-03C  
 Drawing #

No.	By	Description	Date
1	JAD	Issued for Development Permit	Jan 20, 2018
2	JAD	Issued for Development Permit	Feb 20, 2018
3	JAD	Issued for Development Permit	March 13, 2018
4	JAD	Issued for Development Permit	April 10, 2018
5	JAD	Issued for Development Permit	May 15, 2018
6	JAD	Issued for Development Permit	August 22, 2018
7	JAD	Issued for Development Permit	Oct 15, 2018

Project:  
 9520 Beckwith Road  
 Location:  
 9520 Beckwith Road  
 Richmond, BC

Drawn: AO	Checked: MPCZ	Approved: MPCZ	Scale: 1:75
Sheet: 24-M3C	Sheet Title: 24-M3C	Copyright © 2018 van der Zalm + associates Inc. All rights reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of van der Zalm + associates Inc.	



SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	#2 Pot	SPACING
Ab	30	Abies balsamea / Nana's / Dwarf Balsam Fir	#2 Pot	1m
Au	118	Arctostaphylos uva-ursi / Kinnikinnick	#2 Pot	0.60m
D	76	Deschampsia cespitosa / Tufted Hair Grass	#2 Pot	0.30m
F	49	Festuca glauca / Elah Blue / Blue Fescue	#1	0.30m
Ma	51	Mehonia aquilifolium / Oregon Grape	#3	1.20m
Rb	56	Ribes sanguineum / Red Flowering Currant	#3	1.20m
S	181	Stadium spathulifolium / Carnier / Broadleaf Shoneyop	#1	0.30m
Sa	25	Symphoricarpos albus / Common White Snowberry	#3	1.20m

ESA Calculations:  
 Existing ESA area: 270m<sup>2</sup>  
 Level 7 ESA Post Development: 197m<sup>2</sup>  
 Level 7 ESA Compensation area: 254m<sup>2</sup>  
 Total ESA Post Development: 607m<sup>2</sup>  
 Net change in ESA area: +337m<sup>2</sup>

NOTE:  
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
  - Shrubs: 450mm
  - Sod: 150mm
  - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

1:75





No. DP 18-829207

To the Holder: IBI GROUP ARCHITECTS (CANADA) INC.  
Property Address: 9520 BECKWITH ROAD (2777 JOW STREET)  
Address: C/O 1285 WEST PENDER STREET  
VANCOUVER, BC V6E 4B1

---

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #DP18-829207-1 to #DP18-829207-43 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$65,754.70 for the ESA plantings and \$165,901.45 for the other landscaping to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to five years after inspection of the completed ESA plantings and up to one year after inspection of the completed other landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 18-829207**

To the Holder: IBI GROUP ARCHITECTS (CANADA) INC.  
Property Address: 9520 BECKWITH ROAD (2777 JOW STREET)  
Address: C/O 1285 WEST PENDER STREET  
VANCOUVER, BC V6E 4B1

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. \_\_\_\_\_  
DAY OF \_\_\_\_\_, \_\_\_\_\_.

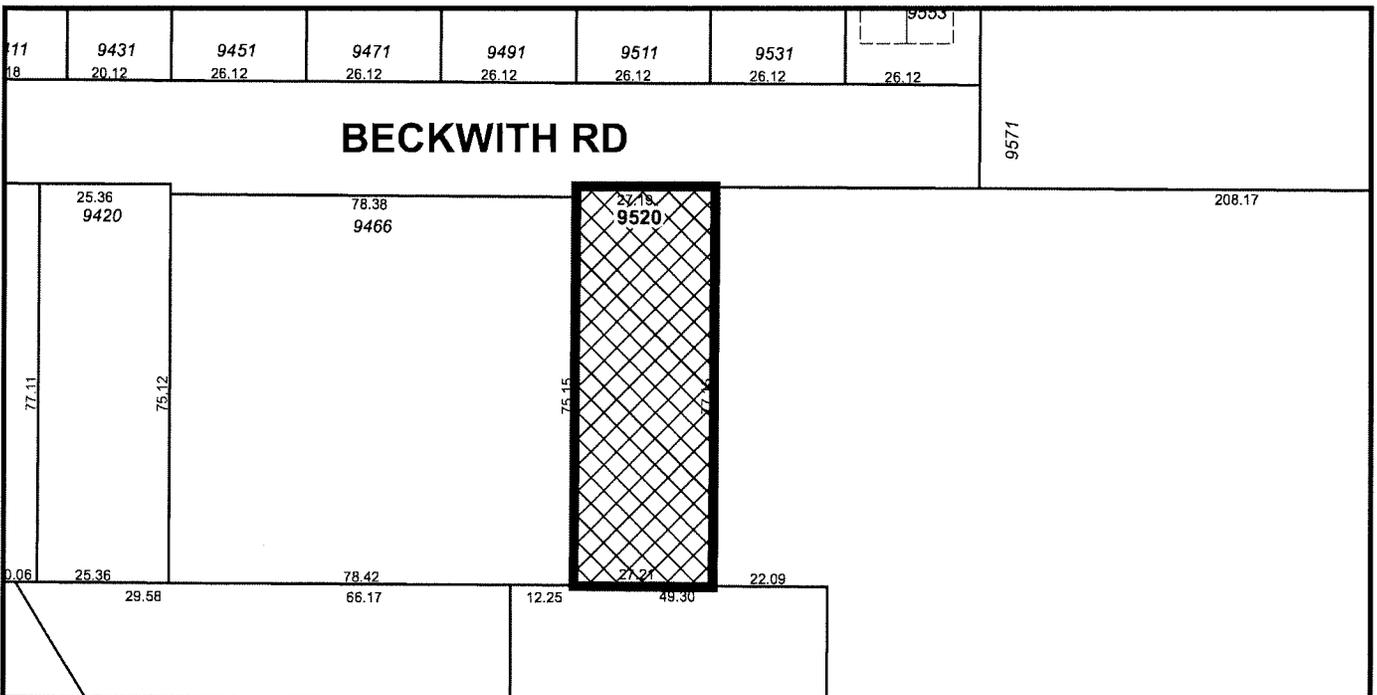
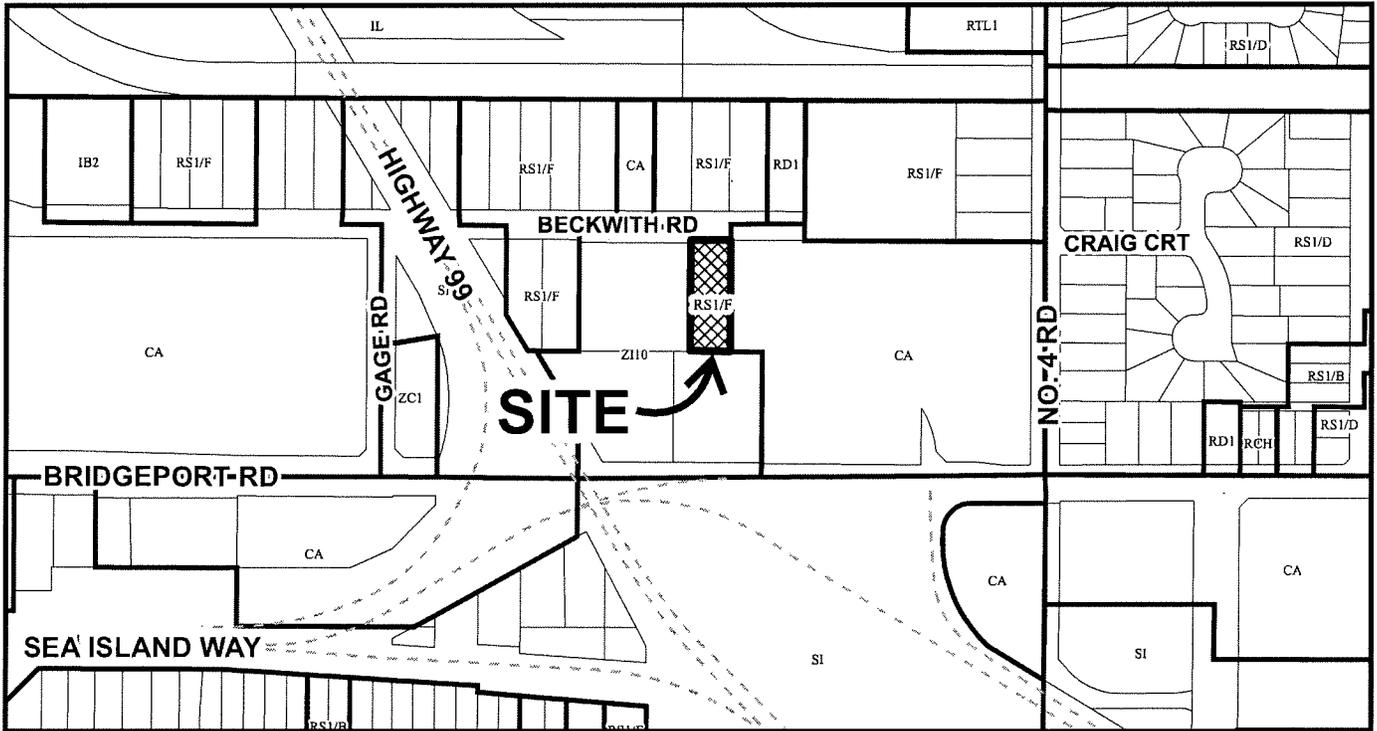
ISSUED BY THE COUNCIL THE

DELIVERED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
MAYOR



# City of Richmond



## DP 18-829207 SCHEDULE "A"

Original Date: 10/24/18

Revision Date:

Note: Dimensions are in METRES

# BRIDGEPORT LOW RISE OFFICE BUILDING

## PROJECT OVERVIEW

The proposed mixed-use commercial project is located at the lot 9520 Beckwith Road (2777 Jow Street) and will form as part of the Bridgeport Hotels & Business Centre Complex that is currently at Building Permit stage. The east neighbour is a commercial complex that includes retail spaces and a restaurant. The immediate north is primarily old residential buildings those are identified for rezoning as Sub Area-A2. The site is approximately 800m (10 – 15 minutes), walking distance from Bridgeport sky train station.

The primary design approach, is to maximize the full potential of the strategic location of the site that is close to major arterial roads, proximity to airport, sky train station and surrounding mixed-commercial uses. The project is in close vicinity to the Bridgeport Road at south, Highway-99 Oak Street Bridge at west and Beckwith Road at north. The proposed Light Industrial/Office commercial uses will be a vibrant addition to the emerging mixed-use neighbourhood.

The building has been designed in 7 levels. The first and second floors will be dedicated to flexible commercial spaces which are primarily light industrial. Provision for internal stairs connecting the two levels are provided for flexibility in having stacked spaces, those may be ideal for light industrial uses. The upper three levels are designed as office spaces that will be useful for single or multiple tenants. The parking stalls are located in the third and fourth floors sandwiched between light industrial and office uses providing clear separation between the uses.

The design for the main elevations - west and north have modular patterns of window system treatments creating a well-balanced character breaking the long leaner mass along the north-south direction. The west facing windows of the office levels have slopping façade to animate the west elevation of the neighbouring Business Centre building by creating visual interest, and providing passive solar shading from the afternoon sun glare. The west elevation of the two storey parking located at the 3<sup>rd</sup> and 4<sup>th</sup> floors, mimic the vocabulary of the elevation of the office in smaller modules of curtain wall treatments creating individuality and harmony at the same time. Expression of window segments in elevational treatments is a theme adopted from the Bridgeport Hotels and Business Centre to create a cohesive experience from the public realm.

The articulated landscape treatment of north-south internal road which is connected to Bridgeport at south and to Beckwith at north serves as the main approach to the building from the west side. The parking entrance and loading areas access is from the south side of building along the latitudinal east-west internal road.

The key effort in the design of the building, was to respect the Richmond OCP guidelines, implement environmentally friendly sustainable design approach and enforce strong design elements that will enhance the City's vision of future mixed-use commercial urban growth for the neighbourhood.



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Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

2019-10-01

# Cover Sheet

## OWNER

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1800-570 GRANVILLE STREET  
VANCOUVER, BC V6C 3P1  
CONTACT: JOHN CHENG  
EMAIL: john@chunghwa.ca

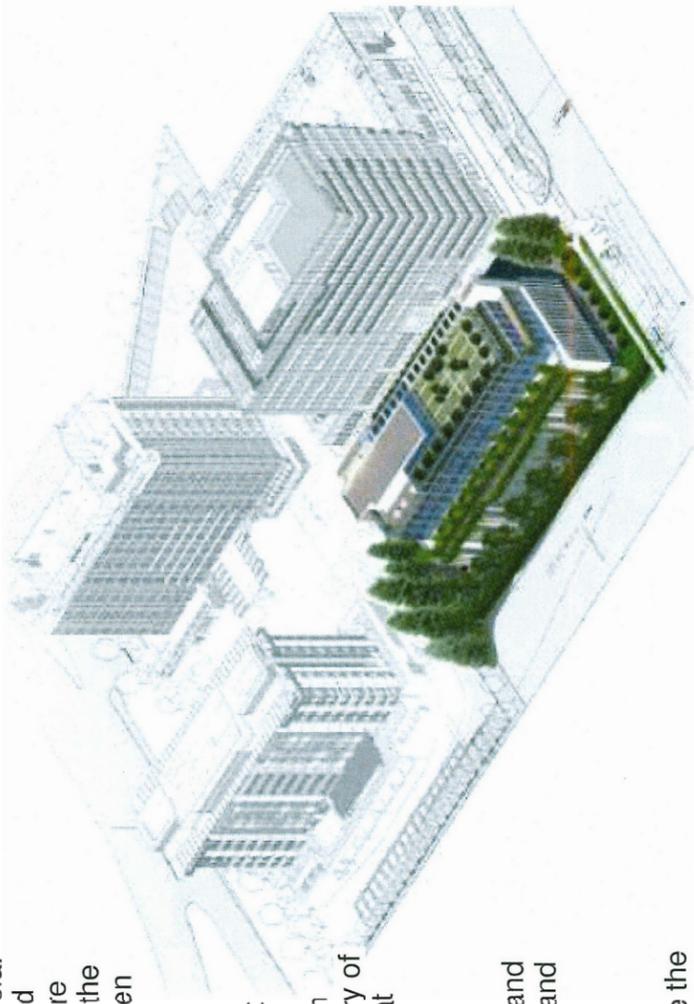
## ARCHITECT

IBI GROUP ARCHITECTS (CANADA) INC.  
SUITE 700 - 1285 WEST PENDER STREET  
VANCOUVER, BC V6E 4B1  
TEL:(604) 683-8797  
FAX:(604) 683-0492  
CONTACT: SALIM NARAYANAN  
EMAIL: SNarayanan@ibigroup.com

PROPERTY ADDRESS 9520 BECKWITH ROAD (2777 Jow Street)

## LEGAL DISCRPTION

Parcel "A" (Explanatory Plan 25441)  
Lots 18 and 19, Section 22, Block 5  
North Range 5 West, New Westminster  
District Plan 8931



9520 BECKWITH RD

A0.01

DP 10-029207-1

# Sub-Area A2 and Drawing List

Sub-Area A.Z: Industrial Reserve - Limited Commercial	
A. Typical Distribution of Uses	<ul style="list-style-type: none"> <li>Ground Floor: light industry and, within 30 m (154 ft.) of designated street frontages, retail, restaurant, and hotel with the exception of 9451, 9491, 9511, 9531 and 9551 Bridgeport Road, which permits retail, restaurant and hotel uses to extend 65 m (213 ft.) from Bridgeport Road.</li> <li>Upper Floors: office, education (including provincial kindergarten to grade 12 programs), and within 50 m (154 ft.) of designated street frontages, restaurant and hotel with the exception of 9451, 9491, 9511, 9531 and 9551 Bridgeport Road, which permit retail, restaurant and hotel uses to extend 65 m (213 ft.) from Bridgeport Road.</li> <li>Parking: within or to the rear of the building and concealed from public view by non-parking uses or screened from public view by a landscape buffer, at least 3 m (10 ft.) deep.</li> </ul>
B. Maximum City Block Size	<ul style="list-style-type: none"> <li>As defined by the Plan's proposed public street and pedestrian linkages network, together with the addition of lanes and alleys where they can attractively and safely provide public access between destinations or break up large blocks to make activities more easily accessible and identifiable.</li> </ul>
C. Minimum Net Development Site Size	<ul style="list-style-type: none"> <li>West of Brown Road: 8,000 m<sup>2</sup> (2.0 ac.)</li> <li>Elsewhere: 2,400 m<sup>2</sup> (0.6 ac.) except that where building height exceeds 25 m (82 ft.), the Minimum Tower Development Site Size should apply.</li> </ul>
D. Net Development Site Coverage	<ul style="list-style-type: none"> <li>90% maximum, exclusive of news and lanes and areas identified for public open space uses (e.g., "pedestrian linkages").</li> </ul>
E. Maximum Building Height	<ul style="list-style-type: none"> <li>Within 50 m (154 ft.) of Bridgeport Road: 35 m (115 ft.). (Additional building height is discouraged.)</li> <li>Elsewhere: 25 m (82 ft.). (Additional building height may be permitted to enhance industrial uses.)</li> </ul>
F. Towers - Above 25 m (82 ft.)	<ul style="list-style-type: none"> <li>Maximum floorplate size: 650 m<sup>2</sup> (6,997 ft<sup>2</sup>).</li> <li>Minimum tower spacing: 35 m (115 ft.).</li> <li>The affected development site should satisfy the Plan's Minimum Tower Development Site Size.</li> </ul>
G. Habitable Floor Elevation	<ul style="list-style-type: none"> <li>Minimum: <ul style="list-style-type: none"> <li>a) for industrial uses: 0.3 m (1.0 ft.) above the crown of the fronting street;</li> <li>b) for non-industrial uses: 2.9 m (9.5 ft.) geoidic.</li> </ul> </li> </ul>
H. Minimum Setbacks	<ul style="list-style-type: none"> <li>For buildings and parking (may vary with the preferred frontage treatment): <ul style="list-style-type: none"> <li>a) public street: 3 m (10 ft.) to the property line;</li> <li>b) publicly-accessible open space: 1.5 m (5 ft.) to the right-of-way boundary;</li> <li>c) interior side and rear yards: <ul style="list-style-type: none"> <li>- adjacent to existing residential uses: 3 m (10 ft.) to the common property line;</li> <li>- elsewhere: nil to the property line or lane right-of-way.</li> </ul> </li> </ul> </li> <li>Parking may encroach into the minimum setbacks where it is concealed from public view and does not compromise the attractiveness or "human scale" of the preferred frontage treatment.</li> </ul>
I. Build-to-Lines	<ul style="list-style-type: none"> <li>Development should aim to present a coordinated, urban image characterized by a continuous streetwall along all fronting public streets. To achieve this, developments are encouraged to: <ul style="list-style-type: none"> <li>a) set building facades at the minimum setback line;</li> <li>b) orient mass buildings so that they present a continuous building facade along all public street frontages or, where this is not possible due to driveways, low development density, etc., effectively afford the facade across any interruptions via decorative fencing, landscaping, public art, or other landscape building features (e.g., pergolas, arcades).</li> </ul> </li> </ul>
J. Preferred Frontage Treatments	<ul style="list-style-type: none"> <li>"Shopfront &amp; Awning", "Stoops &amp; Porches", and "Terraced Units"</li> <li>Setback Encroachments: frontage treatment depth may be reduced, together with the minimum setback from a public street, provided that the combination of building and landscape treatments (e.g., street trees, screening) along the frontage are designed to ensure an attractive, pedestrian- and cyclist-oriented environment appropriate to a high-quality urban - business park.</li> </ul>
K. Landscape Considerations	<ul style="list-style-type: none"> <li>Along site frontages, provide some combination of large-growing street trees, additional trees (especially evergreens) and landscaping designed to provide both necessary security and an attractive, pedestrian and cyclist-friendly image (e.g., screen security fencing with hedges).</li> <li>Avoid locating driveways, parking, or service yards between the building and the street.</li> <li>Ensure that large areas of paving are screened from public view from streets, open spaces, and bridges, and that stormwater run-off and other environmental issues commonly associated with such areas are mitigated.</li> <li>Where possible, provide publicly-accessible trails, greenways, seating, and naturalized areas that enhance public amenity and help to encourage walking and cycling.</li> <li>Adjacent to residential uses, provide a solid fence a minimum of 1.8 m (6 ft.) high, together with evergreen and deciduous trees, shrubs, and other landscape features designed to screen industrial activities and buffer their impact (e.g., noise, overlook, lights) on residential neighbours.</li> <li>Fence off or landscape any underutilized land and ensure adequate lighting and maintenance to avoid an unkempt appearance and discourage vandalism, etc.</li> </ul>
L. Built Form Considerations	<ul style="list-style-type: none"> <li>Public building/joint entrances should open directly onto the public sidewalk or, in the case of especially deep lots (e.g., north side of Breakwater Road), be visible and identifiable from the fronting public street, and be oriented to courtyards accessible from the public sidewalk.</li> <li>Along the north side of Bridgeport Road, development should respect guidelines for the "Bridgeport &amp; Sea Island Airport Gateway Corridor" (Section 3.1.1(C), Distinctive Streetscapes).</li> <li>If a project does not maximize the permitted density on a development site, buildings should be: <ul style="list-style-type: none"> <li>a) sited to facilitate future phases with minimal impact on earlier construction;</li> <li>b) designed to present an attractive, "finished" appearance at each phase of development.</li> </ul> </li> </ul>

Drawn: 0707  
2017/08/14

DRAWING LIST		
Sheet Number	Sheet Name	Drawing Scale
A0.01	Cover Sheet	NTS
A0.02	Overall Aerial View	NTS
A0.03	Sub-Area A2 and Drawing List	NTS
A0.03a	Design Rationale	NTS
A0.03b	Design Rationale	NTS
A0.03c	Design Rationale	NTS
A0.03d	LEED	NTS
A0.04	City Bylaw and Guidelines	NTS
A0.05	Site Map	NTS
A0.06	Survey Plan	NTS
A0.07	Context Plan	1/64" = 1'-0"
A0.08	Project Statistics	NTS
A0.08a	Parking Statistics	NTS
A0.08b	Overall Site Parking Statistics	NTS
A0.09	Site Plan	1" = 20'-0"
A0.10	Schematic Building Setback	1" = 20'-0"
A0.11	Shadow Study	NTS
A0.11a	Shadow Study	NTS
A0.12	Shadow Study	NTS
A0.12a	Shadow Study	NTS
A0.13	Current Site Images	NTS
A0.14	Project Location in the Neighbourhood	NTS
A1.01	Level 01 - Floor Plan	1/16" = 1'-0"
A1.02	Level 02 - Floor Plan	1/16" = 1'-0"
A1.03	Parking Level 03 - Floor Plan	1/16" = 1'-0"
A1.04	Parking Level 04 - Floor Plan	1/16" = 1'-0"
A1.05	Level 05 - Floor Plan	1/16" = 1'-0"
A1.06	Level 06 - Floor Plan	1/16" = 1'-0"
A1.07	Level 07 - Floor Plan	1/16" = 1'-0"
A1.08	Roof Plan	1/16" = 1'-0"
A2.01	North Elevation	1/16" = 1'-0"
A2.02	South Elevation	1/16" = 1'-0"
A2.03	West Elevation	1/16" = 1'-0"
A2.04	East Elevation	1/16" = 1'-0"
A2.04a	Typ. Railing Det.	NTS
A2.05	Streetscapes	1" = 50'-0"
A2.06	South-West View	NTS
A2.07	North-West View	NTS
A2.08	South-East View	NTS
A2.09	Aerial View North-West	NTS

DRAWING LIST		
Sheet Number	Sheet Name	Drawing Scale
A2.10	Aerial View South-West	NTS
A2.11	Aerial from South-West	NTS
A2.12	Aerial View North-East	NTS
A2.13	Public Realm, North-West	NTS
A2.14	Public Realm, South-West	NTS
A2.15	Public Realm, South	NTS
A3.01	Section A-A	1/16" = 1'-0"
A3.02	Section B-B	1/16" = 1'-0"
A3.03	Section C-C	1/16" = 1'-0"
A9.01	QEP	
A9.02	QEP	
A9.03	Mechanical Letters	
A9.04	Landscape Drawings	

Original Adoption: June 19, 1995 / Plan Adoption: September 14, 2009

City Centre Area Plan 3-39



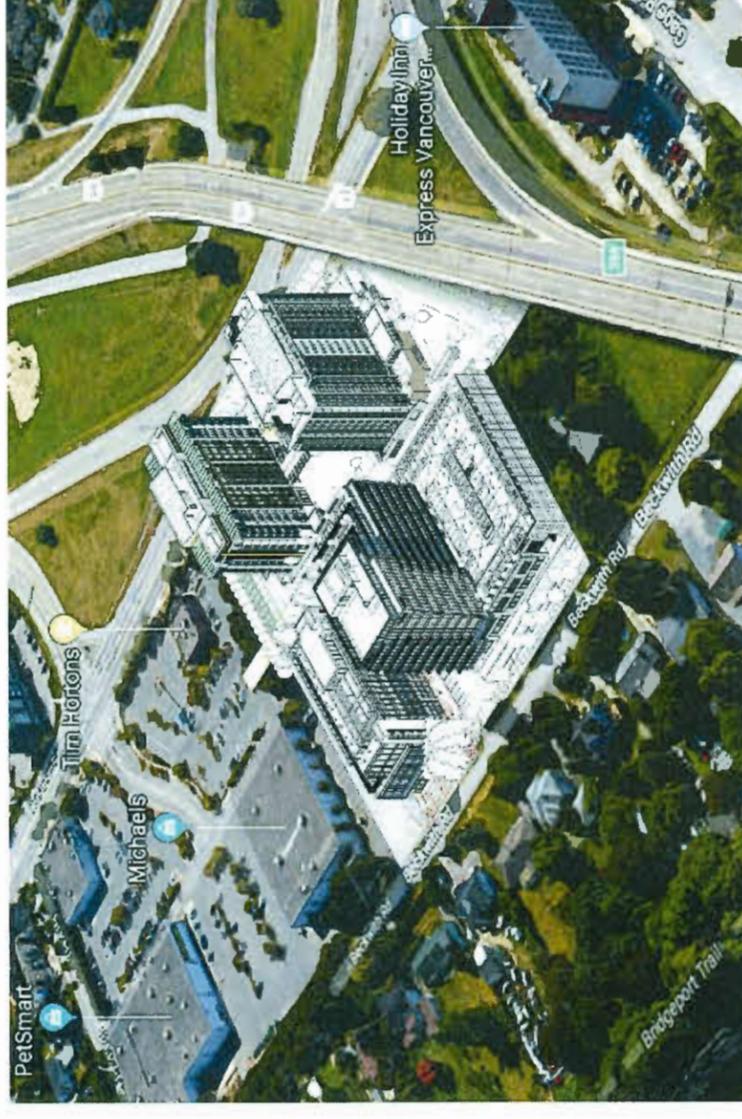
2019-10-01

9520 BECKWITH RD

A0.03

DP 18-829207-2

# Design Rationale



**1.0 Introduction**  
 IBI Group has been retained by Chunghwa Investment to design a mixed-use office and light-industrial development with a high quality of urban design and architecture, consistent with the City of Richmond Official Community Plan and City Centre Area Plan Guidelines and Policies.

**2.0 Context**  
 The proposed mixed-use commercial project is located at the lot 9520 Beckwith Road (2777 Jow Street) and will form as part of the Bridgeport Hotels & Business Centre Complex that are currently at Building Permit and construction stages respectively.

The east neighbor is a commercial complex that includes retail spaces and a restaurant. The immediate north is primarily old residential buildings those are identified for rezoning as Sub Area-A2. The site is approximately 800m (10 – 15 minutes), walking distance from Bridgeport sky train station.

**3.0 Siting**  
 The primary development approach, is to maximize the full potential of the strategic location of the site that is close to major arterial roads, proximity to airport, sky train station and surrounding mixed-commercial uses. The project is in close vicinity to the Bridgeport Road at south, Highway-99 Oak Street Bridge at west and Beckwith Road at north. The proposed Light Industrial/Office commercial uses will be a vibrant addition to the emerging mixed-use neighborhood.

**4.0 Internal Composition**  
 The building has been designed in 7 levels. The first and second floors will be dedicated to flexible commercial spaces which are primarily light industrial. Provision for internal stairs connecting the two levels are provided for flexibility in having stacked spaces, those may be ideal for light industrial uses. The upper three levels are designed as office spaces that will be useful for single or multiple tenants. The parking stalls are located in the third and fourth floors sandwiched between light industrial and office uses providing clear separation between the uses.

**5.0 External Character**  
 The design for the main elevations - west and north have modular patterns of window system treatments creating a well-balanced character breaking the long leaner mass along the north-south direction. The west facing windows of the office levels have slopping facade to animate the west elevation of the neighboring Business Centre building by creating visual interest, and providing passive solar shading from the afternoon sun glare. The west elevation of the two storey parking located at the 3rd and 4th floors, mimic the vocabulary of the elevation of the office in smaller modules of curtain wall treatments creating individuality and harmony at the same time. Expression of window segments in elevational treatments is a theme adopted from the Bridgeport Hotels and Business Centre to create a cohesive experience from the public realm.

The articulated landscape treatment of north-south internal road which is connected to Bridgeport at south and to Beckwith at north serves as the main approach to the building from the west side. The parking entrance and loading areas access is from the south side of building along the latitudinal east-west internal road.

The key effort in the design of the building, was to respect the Richmond OCP guidelines, implement environmentally friendly sustainable design approach and enforce strong design elements that will enhance the City's vision of future mixed-use commercial urban growth for the neighborhood.

PROJECT LOCATION IN THE NEIGHBOURHOOD



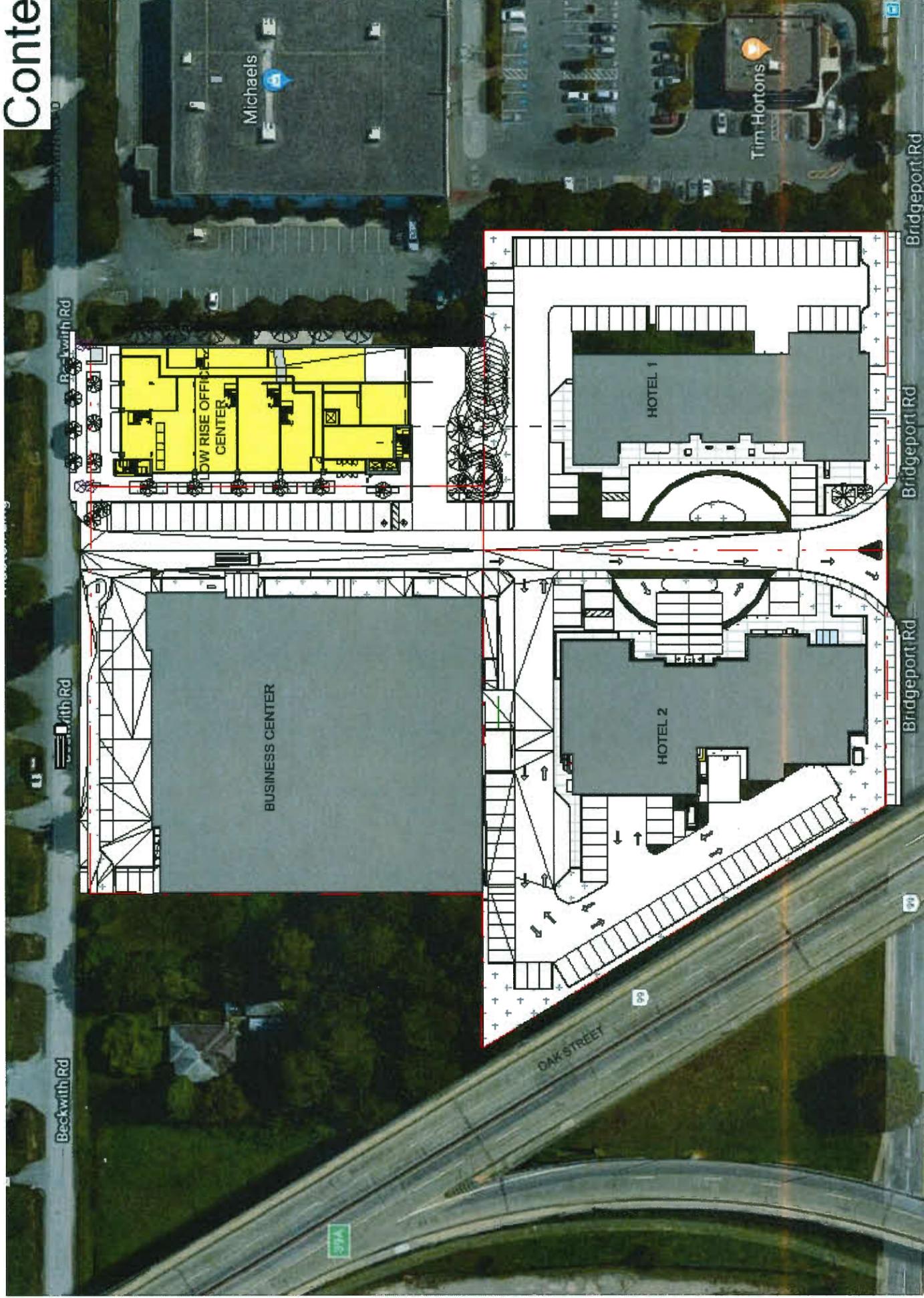
**IBI GROUP ARCHITECTS (CANADA) INC.**  
 700 - 1285 West Pender Street  
 Vancouver BC V6E 4B1 Canada  
 tel 604 683 8797 fax 604 683 0492  
 ibigroup.com

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A0.03a

# Context Plan



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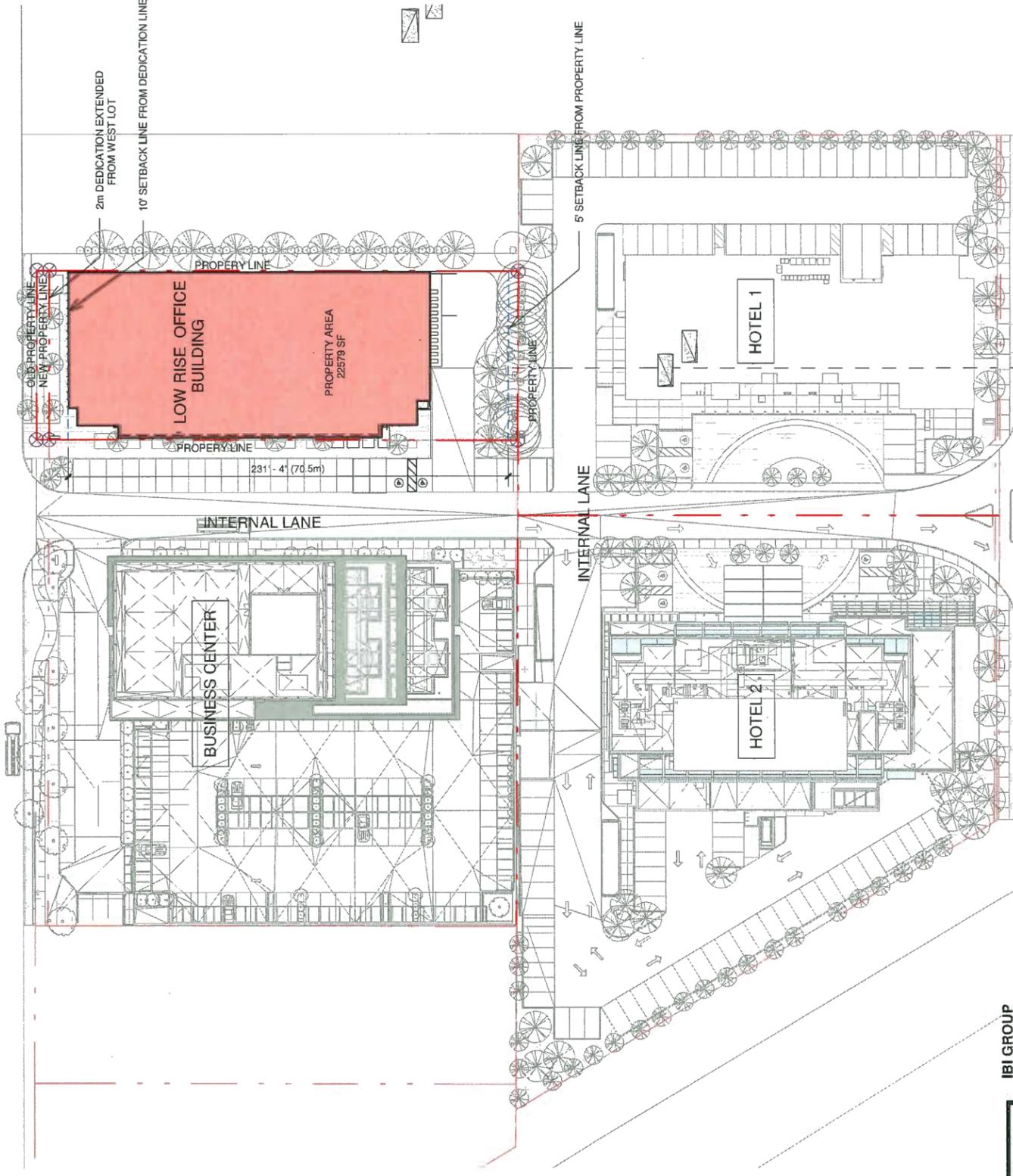
A0.07

DP 18-829207-4



# Schematic Building Setback

BECKWITH ROAD



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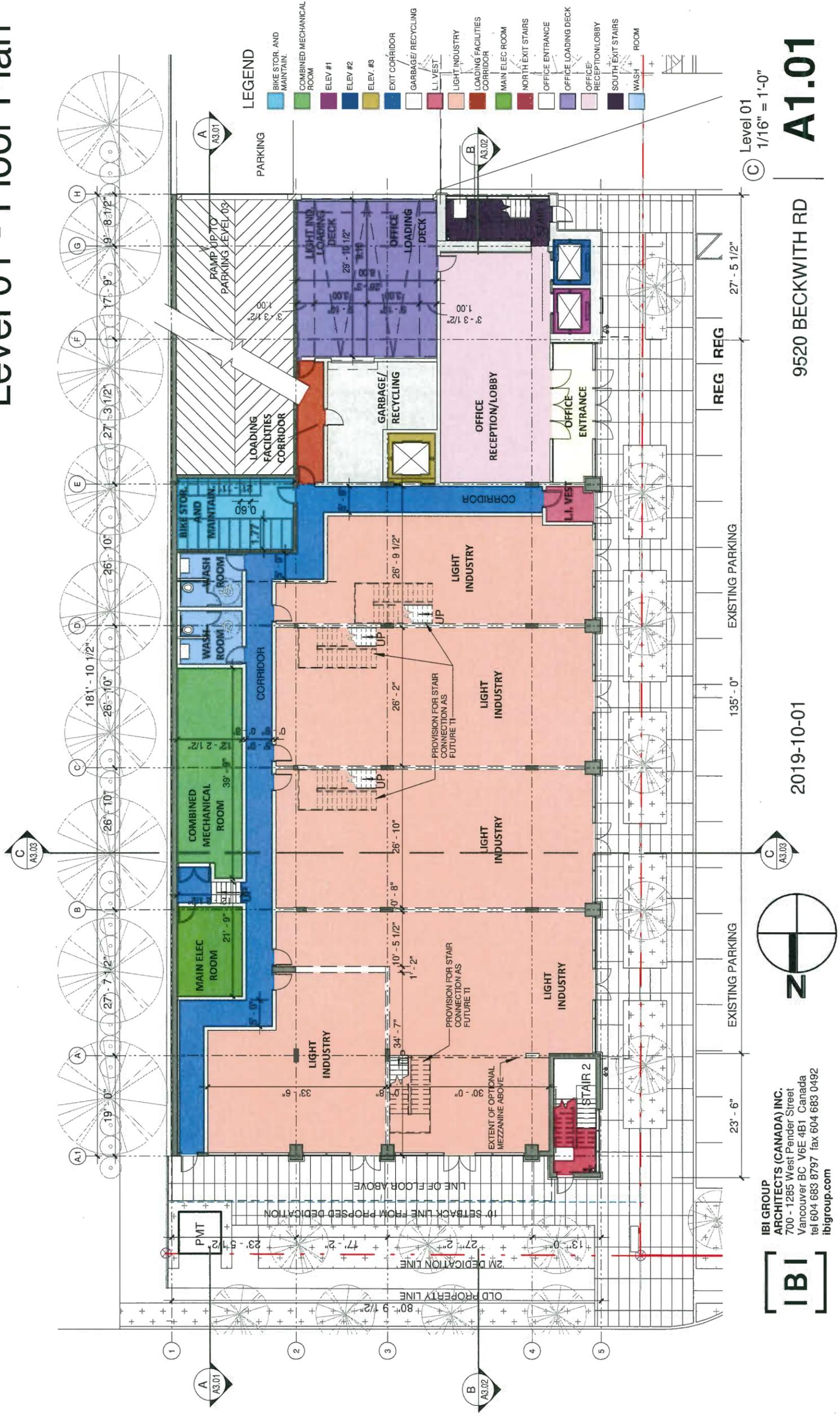
BECKWITH ROAD 2019-10-01

9520 BECKWITH RD

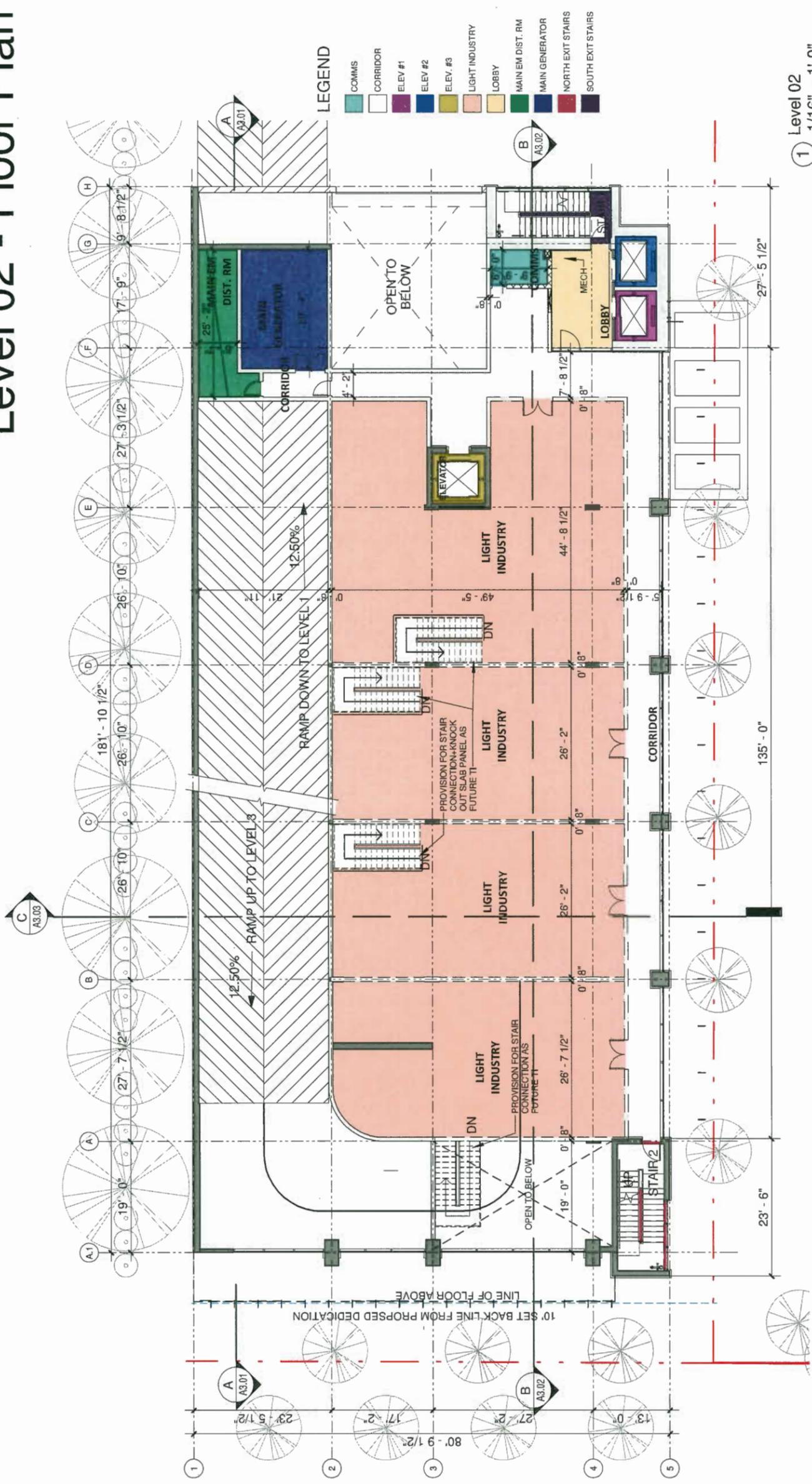
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DP 18-829207-6

# Level 01 - Floor Plan



# Level 02 - Floor Plan



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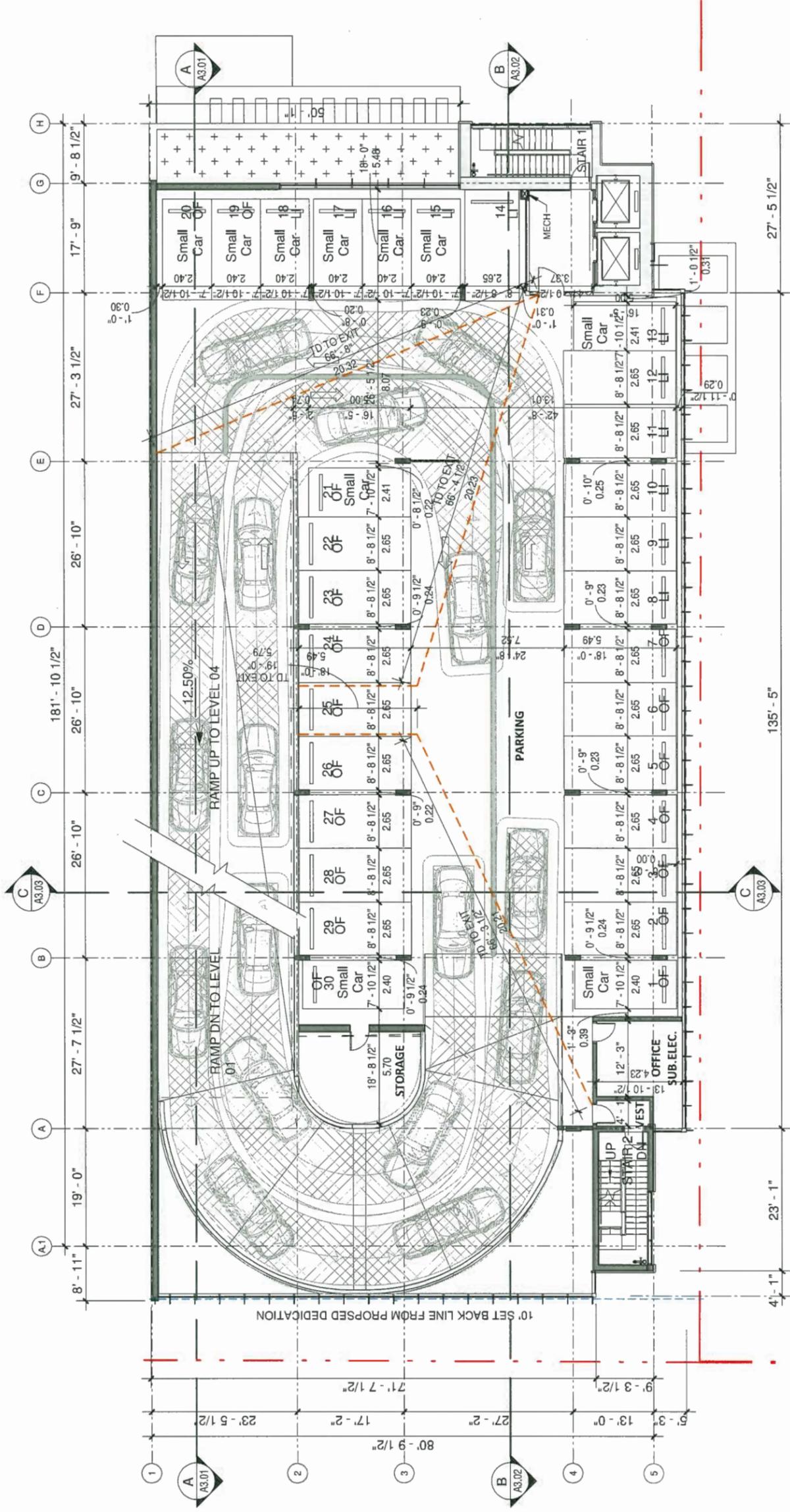
2019-10-01

9520 BECKWITH RD

A1.02

DP 18-829207 -8

# Parking Level 03 - Floor Plan



① Parking Level 03  
1/16" = 1'-0"

## A1.03

9520 BECKWITH RD

2019-10-01

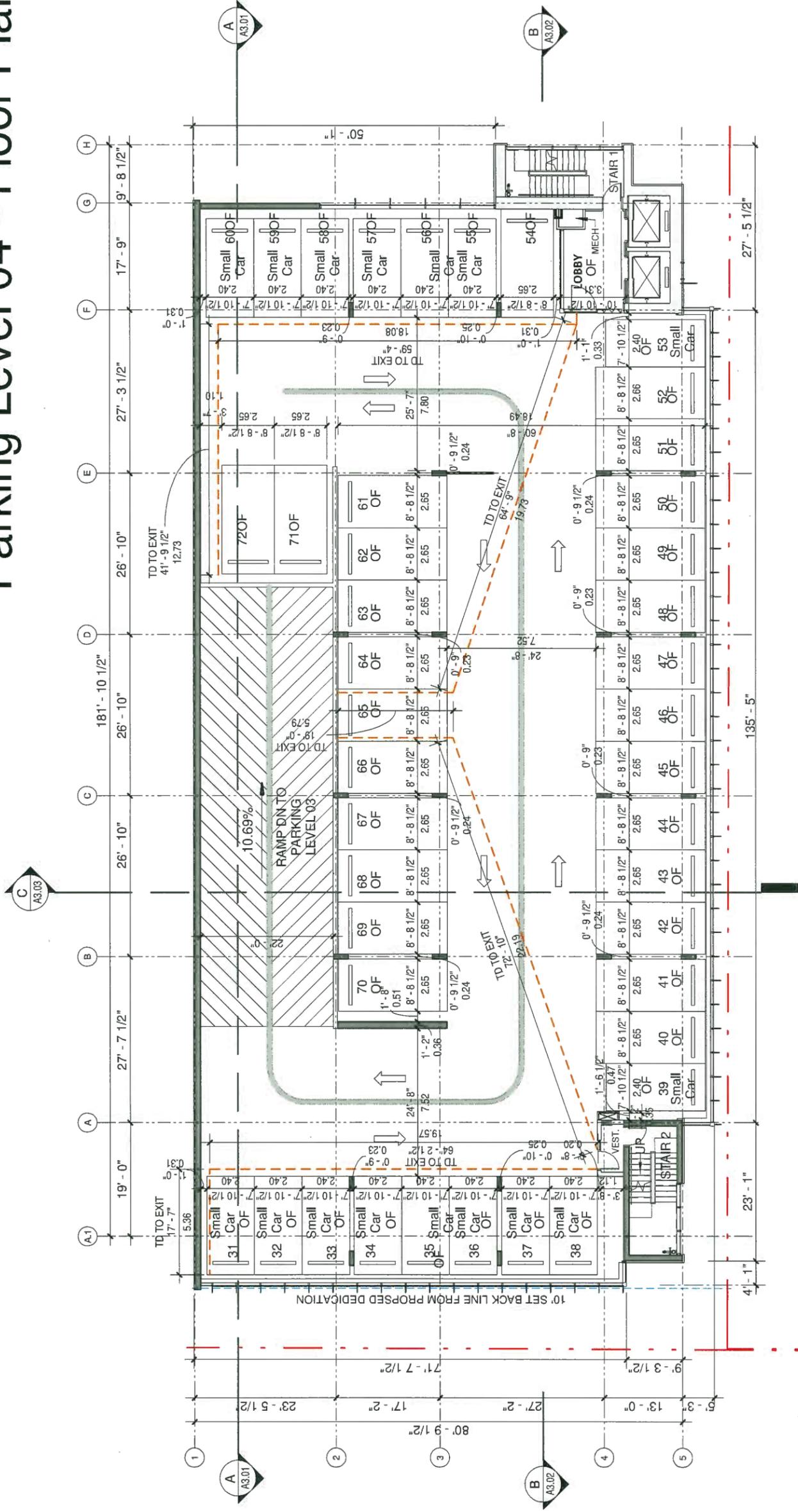


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DP 18-829207-9

# Parking Level 04 - Floor Plan



1 Parking Level 04  
1/16" = 1'-0"

**A1.04**

9520 BECKWITH RD

2019-10-01

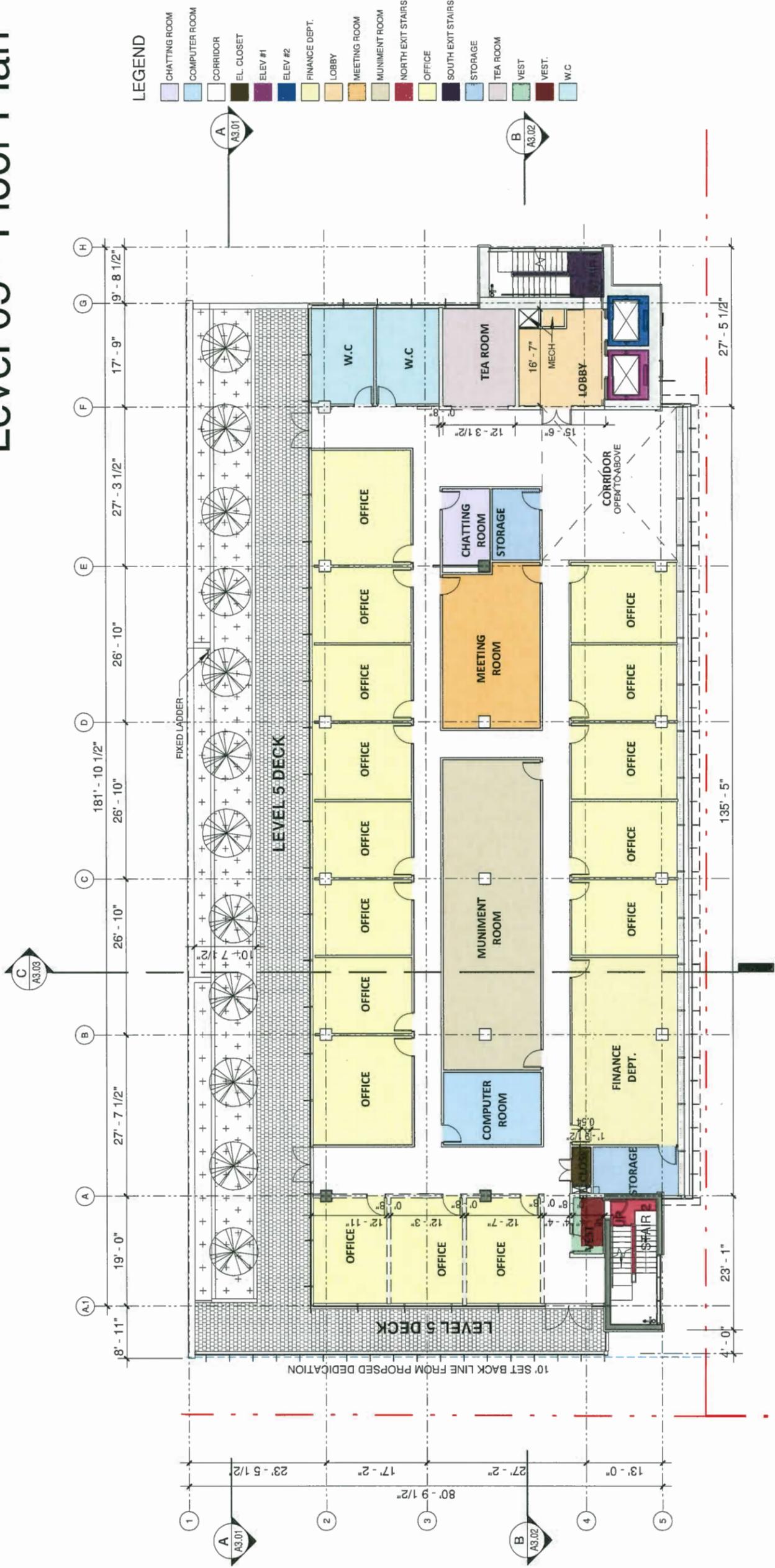


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DP 18-829207-10

# Level 05 - Floor Plan



① Level 05  
1/16" = 1'-0"

9520 BECKWITH RD

2019-10-01

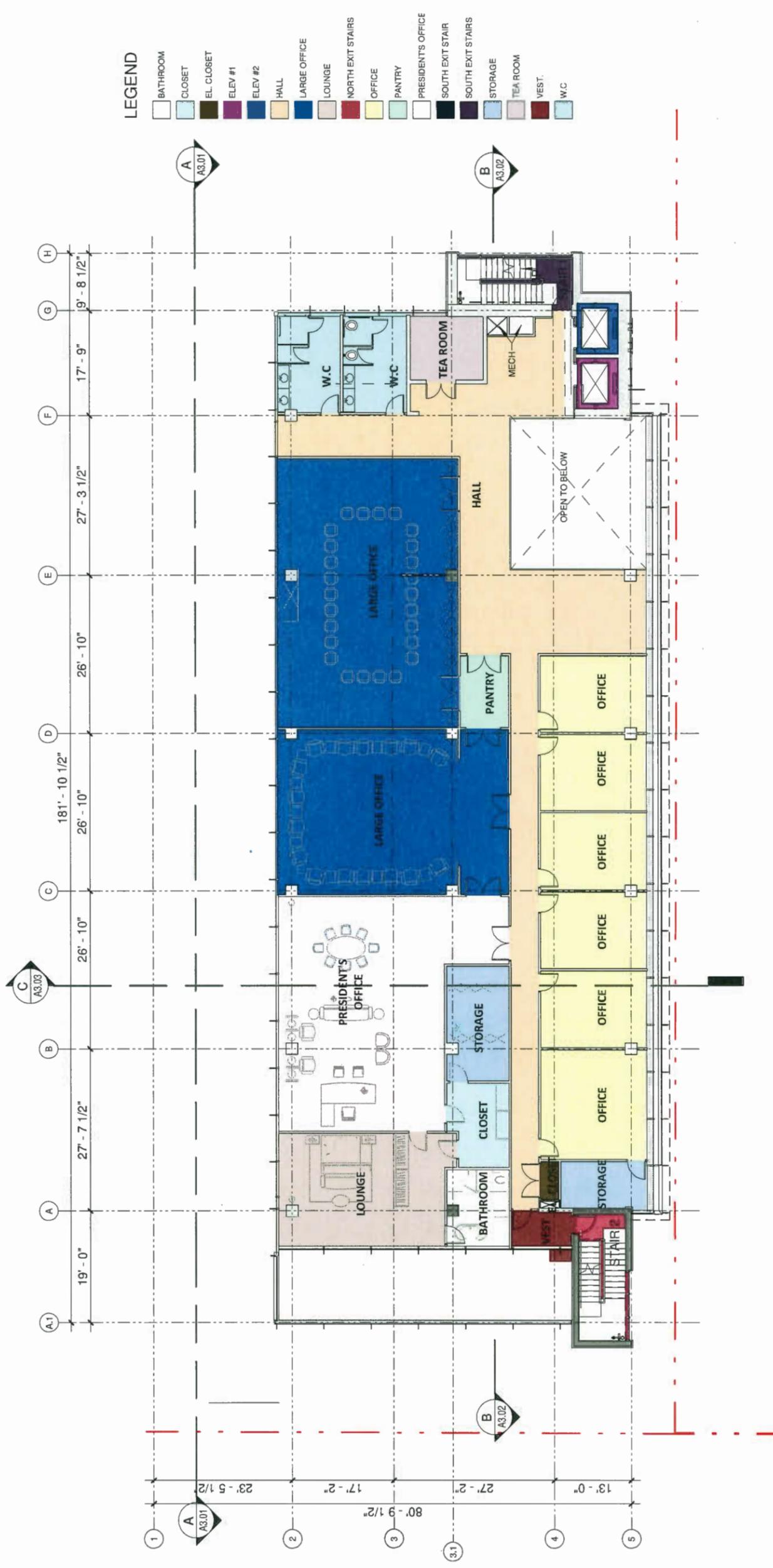


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DP 20 029207 -11

# Level 06 - Floor Plan



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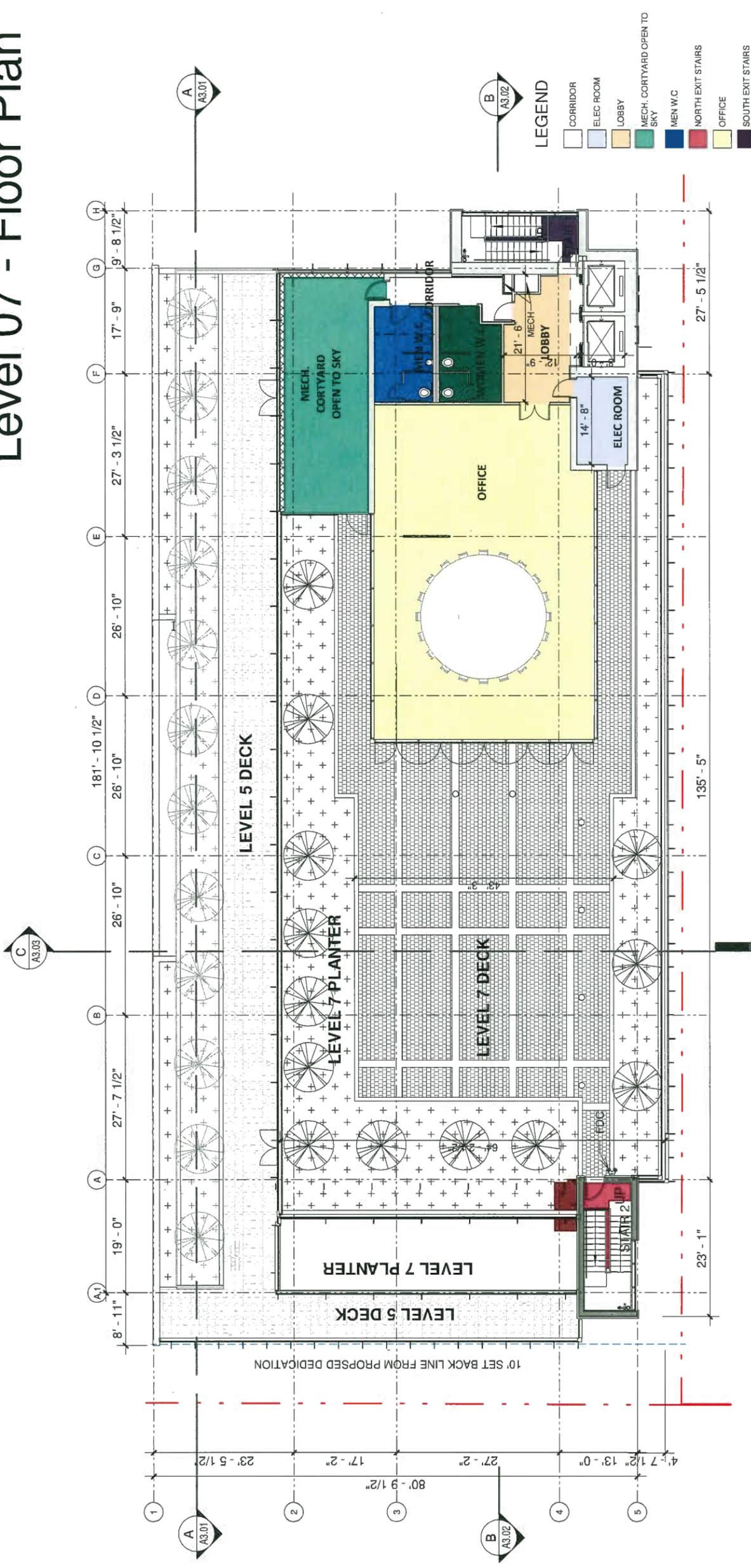
2019-10-01

9520 BECKWITH RD

A1.06

DP 18-829207 - 12

# Level 07 - Floor Plan



**LEGEND**

[White Box]	CORRIDOR
[Light Blue Box]	ELEC ROOM
[Yellow Box]	LOBBY
[Green Box]	MECH. CORTYARD OPEN TO SKY
[Blue Box]	MEN W.C.
[Red Box]	NORTH EXIT STAIRS
[Light Yellow Box]	OFFICE
[Dark Blue Box]	SOUTH EXIT STAIRS
[Dark Red Box]	VEST.
[Dark Green Box]	WOMEN W.C.

① Level 07  
1/16" = 1'-0"

## A1.07

9520 BECKWITH RD

2019-10-01

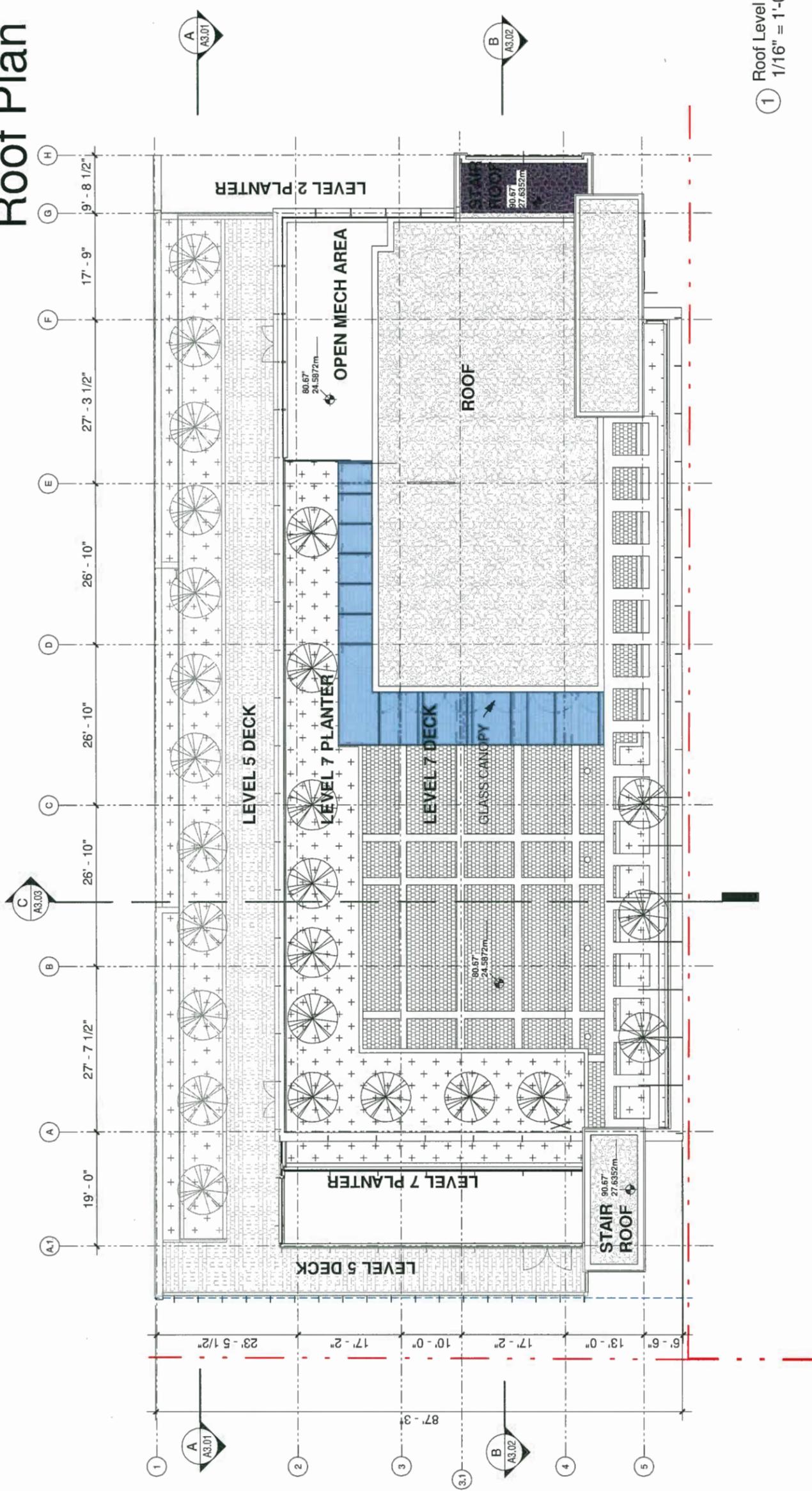


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DP 18-829207 - 13

# Roof Plan



① Roof Level  
1/16" = 1'-0"



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**A1.08**

DP 18-829207-14

# North Elevation

## MATERIAL LIST

- 1A LOW-E GLAZED WINDOW SYSTEM
- 1B FROSTED GLASS WINDOW SYSTEM
- 1C SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE
- 2 STORE FRONT GLAZING - CLEAR
- 3 METAL PANEL CLADDING - WHITE
- 4 3 TONE PAINTED CONCRETE - 2119-40 DARK GRAY, 2119-50 MEDIUM GRAY, 2119-70 LIGHT GRAY (BENJ.MOORE OR SIM)
- 5 MECHANICAL LOUVER - CHARCOAL
- 6 TEXTURED WALL - CONCRETE FORM LINER



① North Elevation  
1/16" = 1'-0"

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**A2.01**

DP 18-829207-15

# South Elevation

## MATERIAL LIST

- 1A LOW-E GLAZED WINDOW SYSTEM
- 1B FROSTED GLASS WINDOW SYSTEM
- 1C SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE
- 2 STORE FRONT GLAZING - CLEAR
- 3 METAL PANEL CLADDING - WHITE
- 4 3 TONE PAINTED CONCRETE - 2119-40 DARK GRAY, 2119-50 MEDIUM GRAY, 2119-70 LIGHT GRAY (BENJ.MOORE OR SIM)
- 5 MECHANICAL LOUVER - CHARCOAL
- 6 TEXTURED WALL - CONCRETE FORM LINER



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**A2.02**

DP 18-829207 - 16

# West Elevation

## MATERIAL LIST

- 1A LOW-E GLAZED WINDOW SYSTEM
- 1B FROSTED GLASS WINDOW SYSTEM
- 1C SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE
- 2 STORE FRONT GLAZING - CLEAR
- 3 METAL PANEL CLADDING - WHITE
- 4 3 TONE PAINTED CONCRETE - 2119-40 DARK GRAY, 2119-50 MEDIUM GRAY, 2119-70 LIGHT GRAY (BENJ.MOORE OR SIM)
- 5 MECHANICAL LOUVER - CHARCOAL
- 6 TEXTURED WALL - CONCRETE FORM LINER



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A2.03

DP 18-829207-17

# East Elevation

## MATERIAL LIST

- 1A LOW-E GLAZED WINDOW SYSTEM
- 1B FROSTED GLASS WINDOW SYSTEM
- 1C SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE
- 2 STORE FRONT GLAZING - CLEAR
- 3 METAL PANEL CLADDING - WHITE
- 4 3 TONE PAINTED CONCRETE - 2119-40 DARK GRAY, 2119-50 MEDIUM GRAY, 2119-70 LIGHT GRAY (BENJ.MOORE OR SIM)
- 5 MECHANICAL LOUVER - CHARCOAL
- 6 TEXTURED WALL - CONCRETE FORM LINER

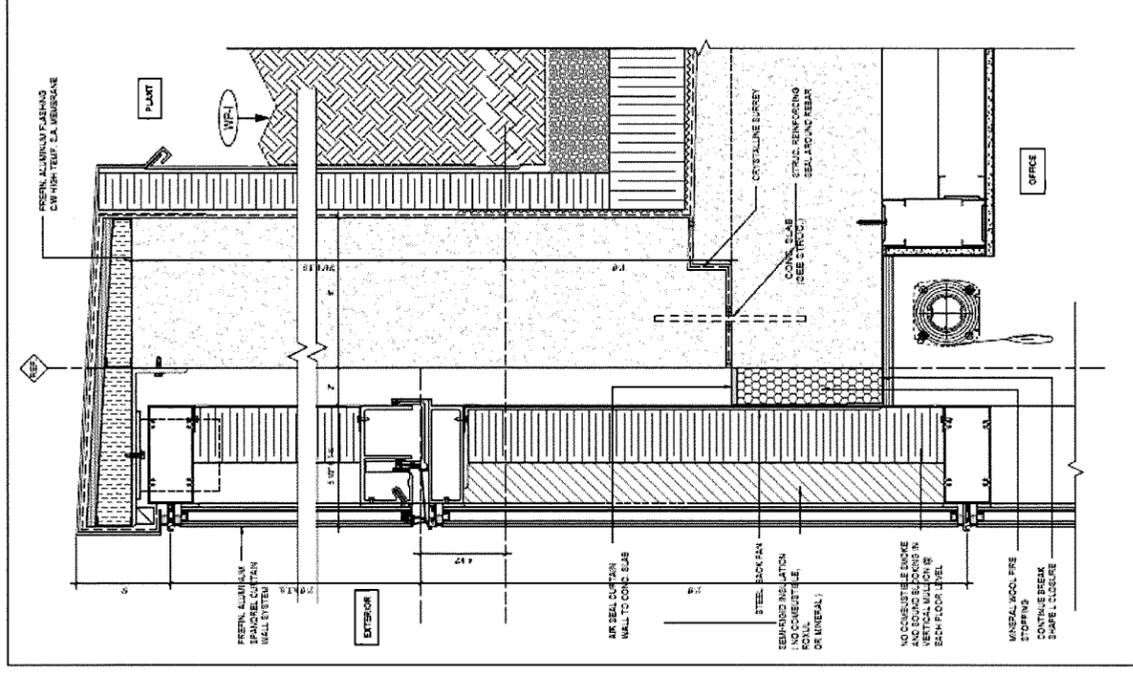
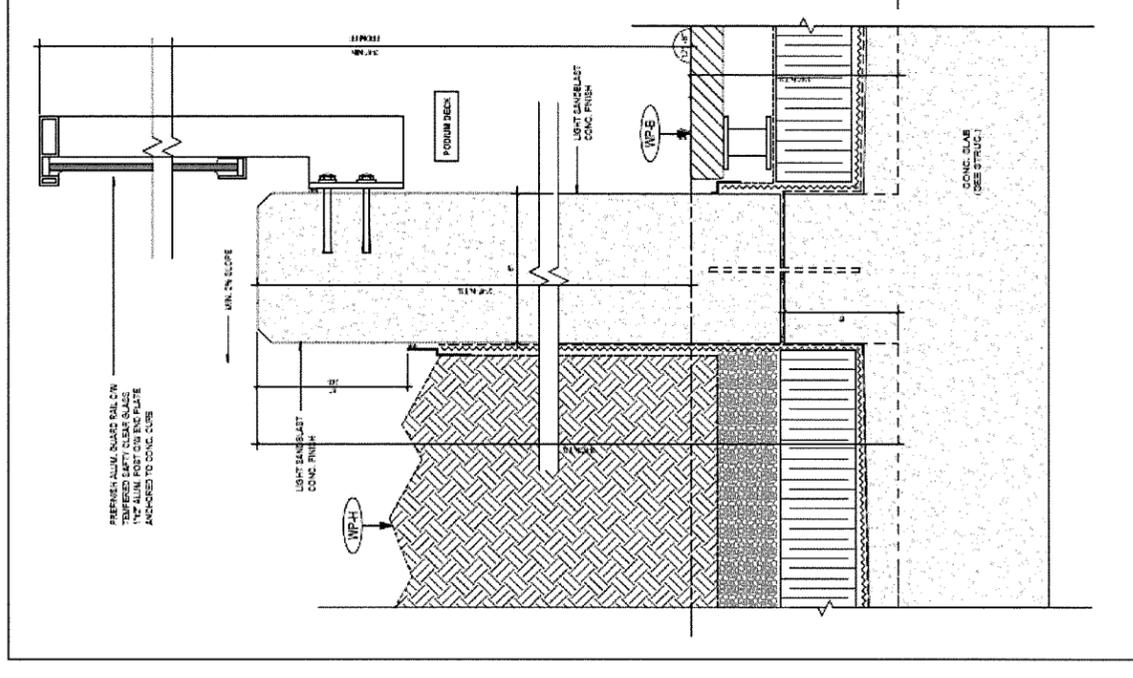


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A2.04

# Typ. Railing Details



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2019-09-25

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**A2.04a**

DP 18-829207 - 19

# Streetscapes



ALONG NORTH SOUTH INTERNAL LANE



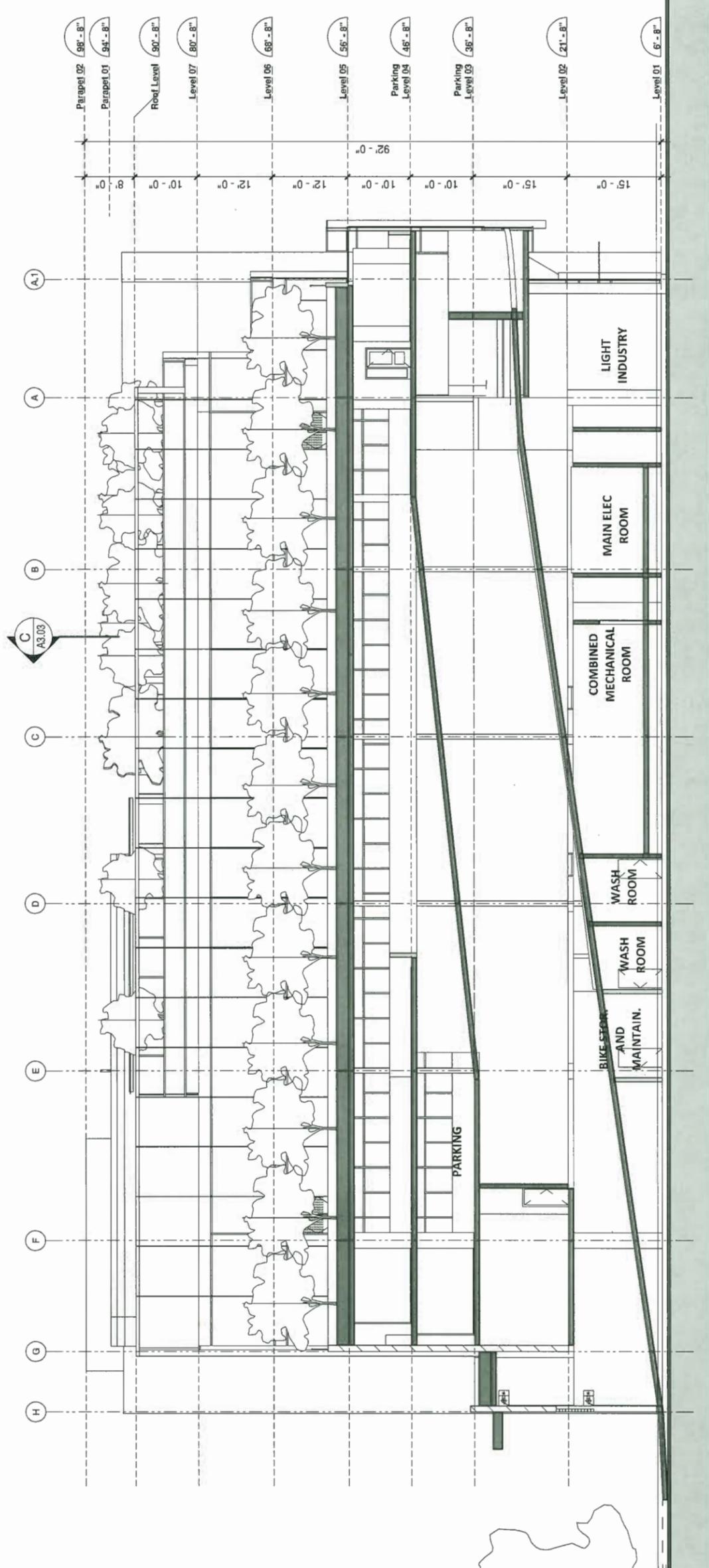
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A2.05

# Section A-A



(A) Section A-A  
1/16" = 1'-0"



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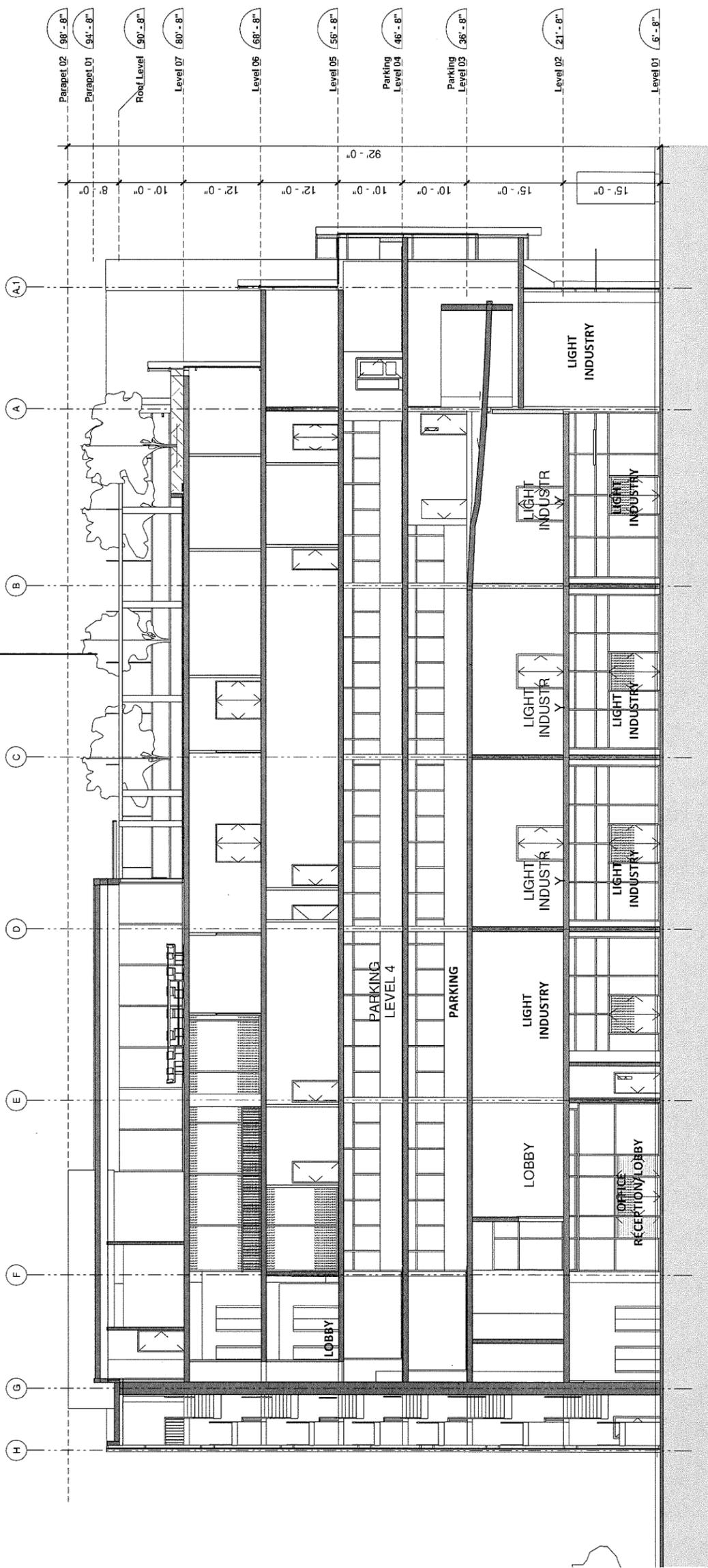
9520 BECKWITH RD

**A3.01**

DP 18-829207-2)

# Section B-B

C  
A3.03



(B) Section B-B  
1/16" = 1'-0"

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**IBI GROUP**  
**ARCHITECTS (CANADA) INC.**  
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 tel 604 683 8797 fax 604 683 0492  
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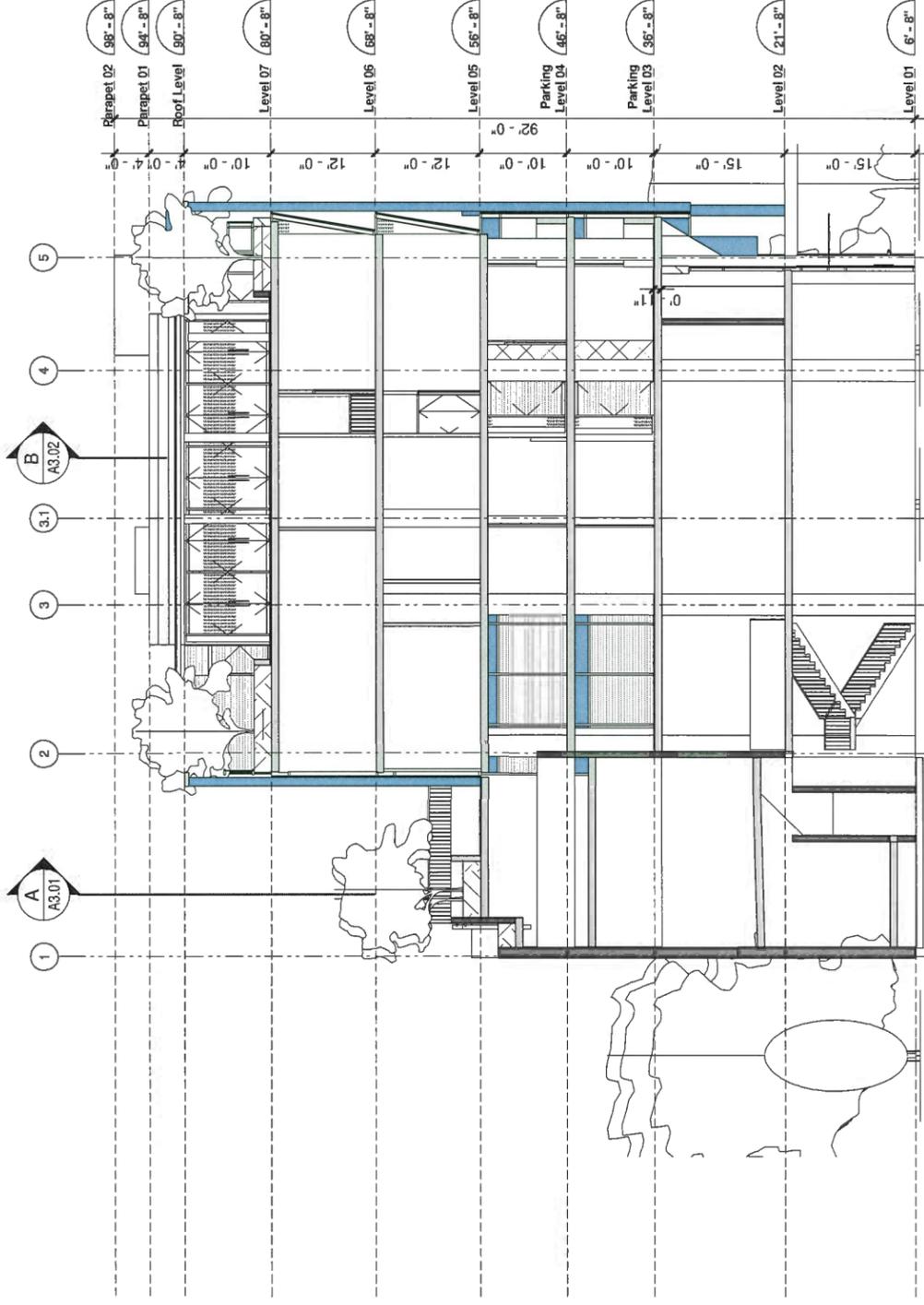
2019-10-01

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**A3.02**

DP 18-829207-22

# Section C-C



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9520 BECKWITH RD

**A3.03**

DP 10-829207-23

# 9520 Beckwith Road

Issued for Development Permit

## Contact Information

van der Zalm + associates Inc.  
Project: Landscape Architecture  
Suite 1 - 20177 97th Avenue  
Langley, British Columbia, V1M 4B9  
T: 604 882 0024 F: 604 882 0042  
Primary project contact:  
Andrew Dantellon  
andrew.dantellon@vdz.ca  
o. 604 546 0331

Altimate contacts (in case away):  
Mark van der Zalm  
mark.vanderzalm@vdz.ca  
mvdz@vdz.ca  
o. 604 546 0520

## Other Key Contacts:

Churchiva Investment Co. Ltd.  
Project Owner  
Unit 1800 - 570 Granville Street  
Vancouver, BC V6C 3P1

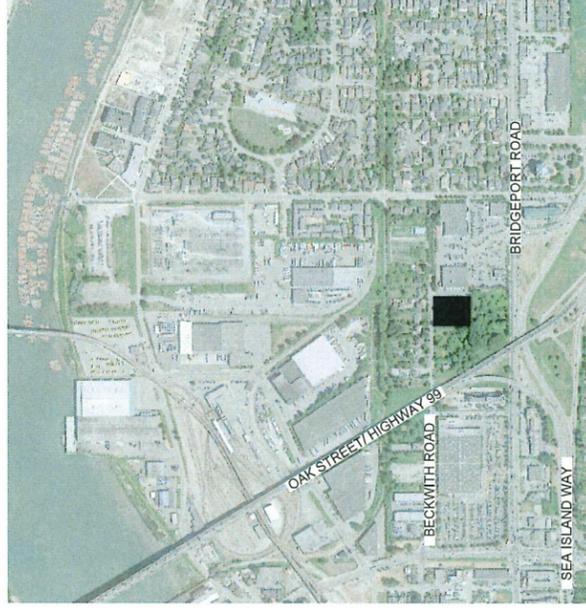
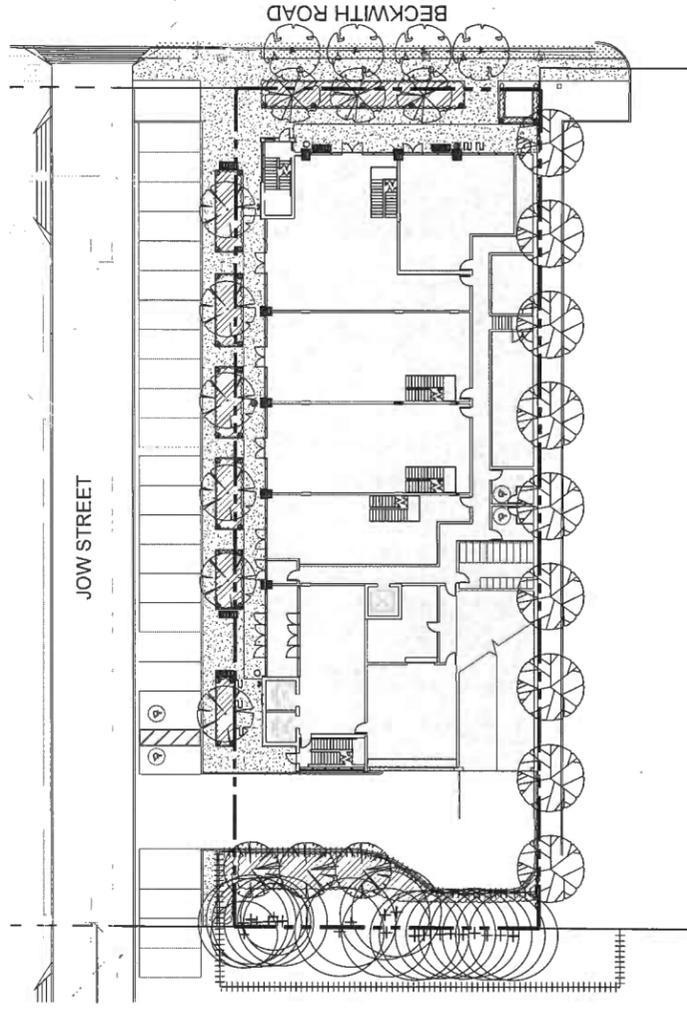
IBI Group Architects Inc.  
Project Building Architecture  
700-1285 West Pender Street  
Vancouver, BC V6E 4B1  
p. 604 682 0191

## NOTES:

- All landscape areas to be fully irrigated.
- All irrigation components to be Rainbird or approved equal.
- 1 soil moisture sensor will be provided in landscape on each level of the building.
- 1 rain sensor will be provided on level 7.
- 50mmØ stub outs for irrigation to be provided on each level as shown.

## Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02A	SITE PLAN - LEVEL 1
L-02B	SITE PLAN - LEVEL 5
L-02C	SITE PLAN - LEVEL 7
L-03A	PLANTING PLAN - LEVEL 1
L-03B	PLANTING PLAN - LEVEL 5
L-03C	PLANTING PLAN - LEVEL 7
L-04	OFFSITE PLAN - ADJACENT SITE TO EAST
L-05	TREE PRESERVATION PLAN
L-06	ACCESSIBILITY PLAN
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LN-01	GENERAL NOTES
IR-01	IRRIGATION PLAN - LEVEL 1
IR-02	IRRIGATION PLAN - LEVEL 5
IR-03	IRRIGATION PLAN - LEVEL 7
IR-04	IRRIGATION DETAILS



van der Zalm + associates Inc.  
Landscape Architecture  
Urban Design + Landscape Architecture  
Suite 1 - 20177 97th Avenue  
Langley, British Columbia  
V1M 4B9  
P: 604.882.0024  
F: 604.882.0042  
info@vdz.ca



Drawing Title: COVER PAGE



VDZ Project #: DP2018-29

Drawing #: L-01

No.	By:	Description	Date
7	AD	Issued for Development Permit	Oct 11, 2019
8	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

REVISIONS TABLE FOR SHEET

Project:  
9520 Beckwith Road

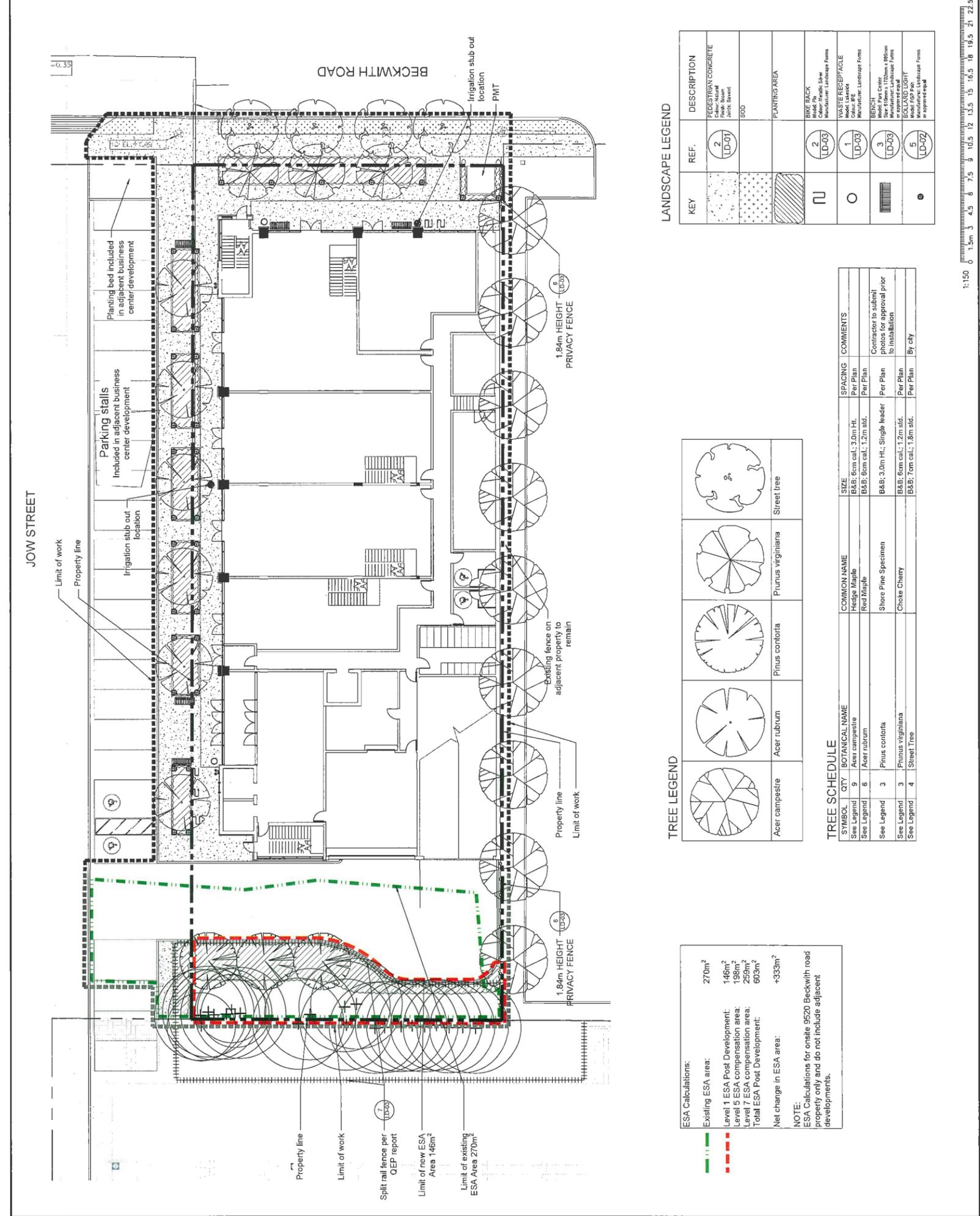
Location:  
9520 Beckwith Road  
Richmond, BC

Drawn: AD  
Checked: MV/DZ  
Approved: MV/DZ  
Original Sheet Size: 24" x 36"

Scale: AS SHOWN

COMPLETION SHALL COVER ALL CONSTRUCTION TO THE CONSULTANT RETAINED PROFESSIONAL LIABILITY POLICY OF THE CONSULTANT. THE WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CONSULTANT'S CONTRACT DOCUMENTS AND THE CONSULTANT'S PROFESSIONAL LIABILITY POLICY OF THE CONSULTANT. THE WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CONSULTANT'S CONTRACT DOCUMENTS AND THE CONSULTANT'S PROFESSIONAL LIABILITY POLICY OF THE CONSULTANT.

DP 18-829207-24



van der Zalm + associates inc.  
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 Urban Design • Landscape Architecture  
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 info@vzassociates.ca

Drawing #: L-02A  
 VZ Project #: DP2018-29  
 Drawing Title: SITE PLAN - LEVEL 1

Project: 9520 Beckwith Road  
 Location: 9520 Beckwith Road  
 Richmond, BC

No.	By	Description	Date
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 28, 2019
3	AD	Issued for Development Permit	March 10, 2019
2	AD	Issued for Development Permit	Feb 25, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

REVISIONS TABLE FOR DRAWINGS  
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Drawn: AD

Checked: MVJZ

Approved: MVJZ

Scale: 1:150

Stamp:

Original Sheet Size: 24" x 36"

CONTRACTOR SHALL CONSULT VAN DER ZALM + ASSOCIATES INC. FOR ALL NECESSARY PERMITS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.

**ESPA Calculations:**

- Existing ESA area: 270m<sup>2</sup>
- Level 1 ESA Post Development: 146m<sup>2</sup>
- Level 5 ESA compensation area: 198m<sup>2</sup>
- Level 7 ESA compensation area: 259m<sup>2</sup>
- Total ESA Post Development: 603m<sup>2</sup>
- Net change in ESA area: +333m<sup>2</sup>

**NOTE:**  
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

**TREE LEGEND**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
See Legend	9	Acer campestre	Hedge Maple	B&B: 6m cal.: 3.0m Ht.	Per Plan	
See Legend	6	Acer rubrum	Red Maple	B&B: 6m cal.: 1.2m std.	Per Plan	
See Legend	3	Pinus contorta	Shore Pine Specimen	B&B: 3.0m Ht.; Single leader	Per Plan	Contractor to submit photos for approval prior to installation
See Legend	3	Pinus virginiana	Choke Cherry	B&B: 6m cal.: 1.2m std.	Per Plan	
See Legend	4	Street Tree	Street Tree	B&B: 7m cal.: 1.8m std.	Per Plan	By city

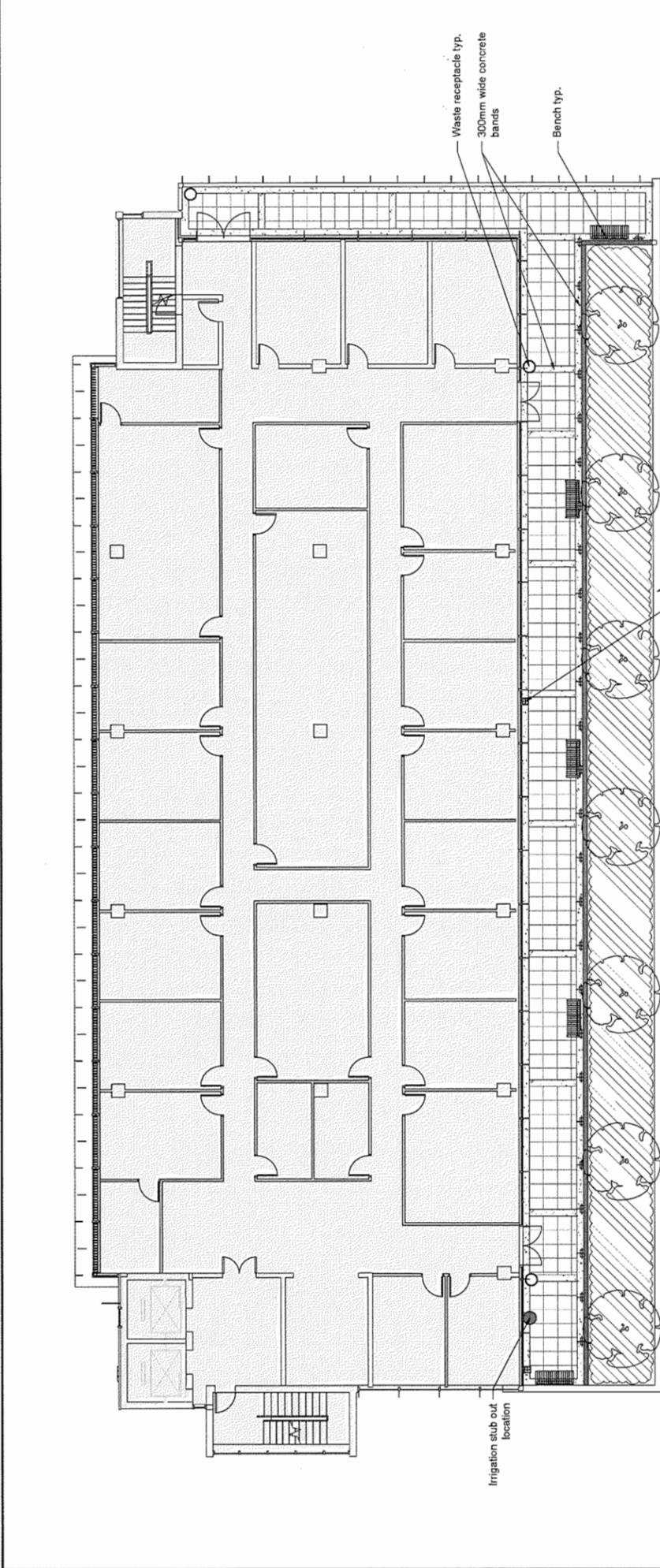
**LANDSCAPE LEGEND**

KEY	REF.	DESCRIPTION
	2 (LD-01)	FEDERAL CONCRETE Finish: Smooth Joint: Sawcut
		SOD
		PLANTING AREA
	2 (LD-03)	WASTE RECEPTACLE Material: Metal Manufacturer: Landscape Forms
	1 (LD-03)	BENCH Material: Metal Manufacturer: Landscape Forms
	3 (LD-03)	Model Pine Center Material: Metal Manufacturer: Landscape Forms
	5 (LD-02)	Model GPP Sign Material: Landscape Forms or approved equal

DP 18-829207-25



Drawing #: L-02B  
 VZ Project #: DP2018-29  
 Drawing Title: SITE PLAN - LEVEL 5



Waste receptacle typ.  
 300mm wide concrete bands  
 Bench typ.

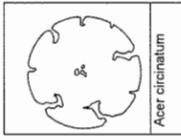
Building parapet wall  
 by Architect  
 Hose bib

Irrigation stub out  
 location

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Symbol]	2 LD-02	HYDRAPRESSED SLABS Color: Sandstone Manufacturer: Stone Slabs Manufacturer: Stone Slabs Manufacturer: Stone Slabs
[Symbol]	1 LD-01	CONCRETE PLANTER WALL Finish: Medium Sandblast
[Symbol]	2 LD-02	HYDRAPRESSED SLABS Color: Charcoal Manufacturer: Stone Slabs Manufacturer: Stone Slabs Manufacturer: Stone Slabs
[Symbol]	1 LD-03	WASTE RECEPTACLE Color: Charcoal Manufacturer: Landscape Forms
[Symbol]	3 LD-03	BENCH Manufacturer: Landscape Forms Manufacturer: Landscape Forms Manufacturer: Landscape Forms
[Symbol]	6 LD-02	WALL LIGHT Manufacturer: Elitetrax

TREE LEGEND - LEVEL 5



TREE SCHEDULE - LEVEL 5

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	7	Acer circinatum	Vine Maple	BAR: 3.0m Ht.	Per Plan

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 28, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Jan 30, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
1	AD	Issued for Development Permit	Jan 30, 2019

Project: 9520 Beckwith Road  
 Location: 9520 Beckwith Road, Richmond, BC

Drawn: AD  
 Checked: MVZ  
 Approved: MVZ  
 Original Sheet Size: 24" x 36"

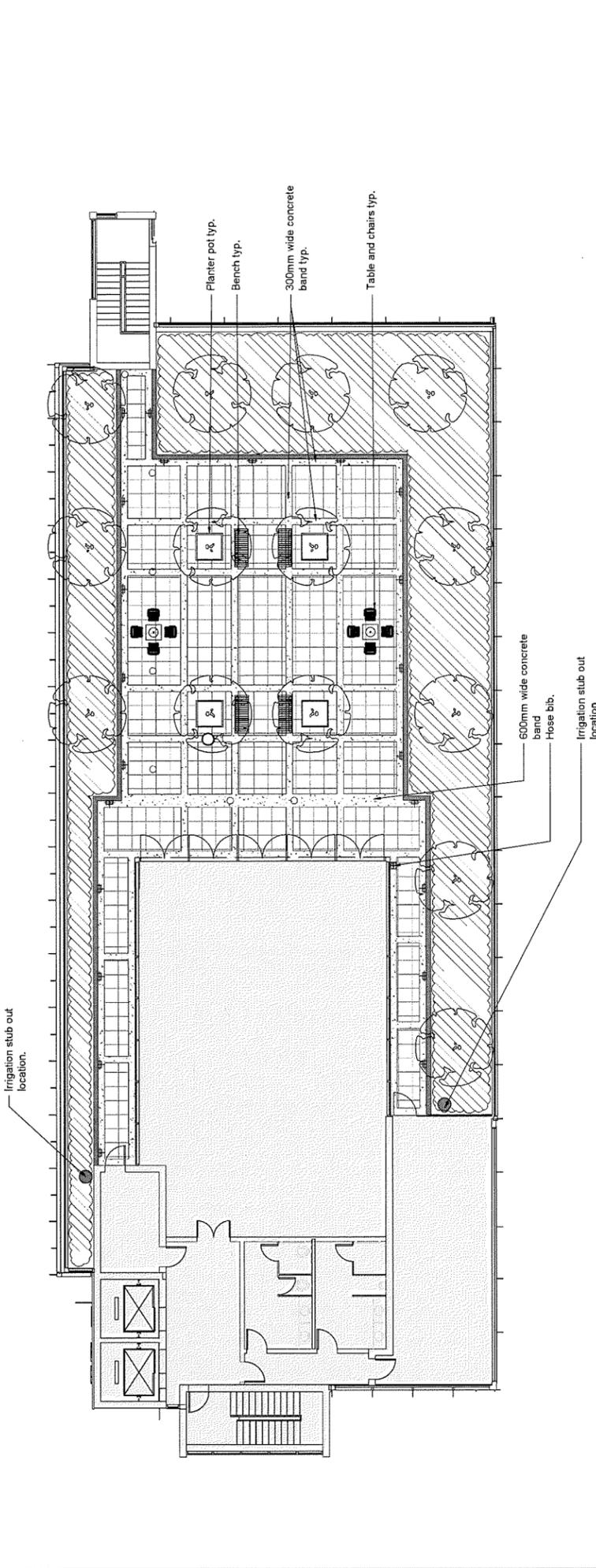
Scale: 1:100

DP 18-2929207-26



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 Fax: 604.273.8889  
 Email: info@vanzalms.com

Drawing # L-02C  
 VZ2 Project # DP2018-29  
 SITE PLAN - LEVEL 7  
 Drawing Title:



TREE LEGEND - LEVEL 7

SYMBOL	QTY	BOTANICAL NAME
See Legend	14	Acer circinatum

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	2 LD-02	HYDRAPRESSED SLABS Colour: Sandalwood Manufacturer: Solum Model: New York Stone System Finish: Medium Sandblast
	1 LD-01	HYDRAPRESSED SLABS Colour: Sandalwood Manufacturer: Solum Model: New York Stone System Finish: Medium Sandblast
	2 LD-02	HYDRAPRESSED SLABS Colour: Sandalwood Manufacturer: Solum Model: New York Stone System Finish: Medium Sandblast
	2 LD-02	HYDRAPRESSED SLABS Colour: Sandalwood Manufacturer: Solum Model: New York Stone System Finish: Medium Sandblast
	1 LD-03	WASTE RECEPTACLE Colour: Light Grey Manufacturer: Landscape Forms
	3 LD-03	BENCH Colour: Cedar Size: 1800mm x 1120mm x 80mm Manufacturer: Landscape Forms
	6 LD-02	WALL LIGHT Colour: Rusted Metal Manufacturer: Solum
	4 LD-03	TABLE AND CHAIRS Colour: Wood Manufacturer: Landscape Forms
	5 LD-03	PLANTER POT Colour: Wood Size: 1210mm x 810mm Type: Wood 190 Gal. Manufacturer: Landscape Forms

TREE SCHEDULE - LEVEL 7

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	14	Acer circinatum	Vine Maple	B&B, 3.0m Ht.	Per Plan



Scale: 1:100  
 Original Sheet Size: 24" x 36"

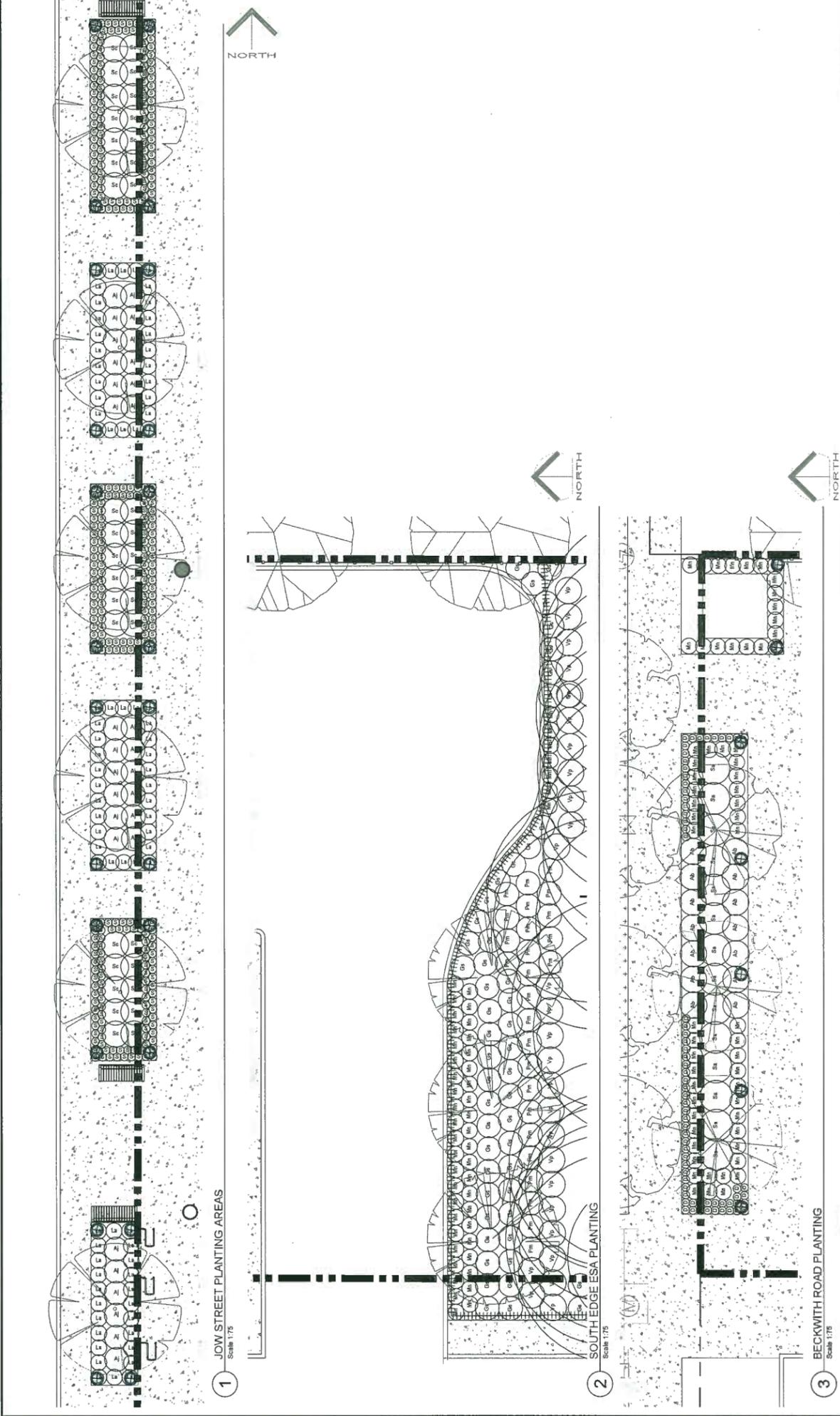


DP 18-829207-27



# PLANTING PLAN - LEVEL 1

Drawing #: L-03A  
VZ Project #: DP2018-29



1. All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
2. Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
3. Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
4. Growing medium depths for planting as follows:
  - a. Shrubs: 450mm
  - b. Sod: 150mm
  - c. Tree pits: 1000mm with 300mm (below root ball)
5. 25mm minus compost mulch to be installed in all shrub planting areas.
6. All landscaped areas to be irrigated.

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
Ab	14	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Aj	57	Azalea japonica 'Gumpo Pink' / Dwarf Pink Azalea	#2 Pot	0.90m
D	68	Deschampsia cespitosa / Tufted Hair Grass	#2 Pot	0.30m
Gs	53	Gaufferia stolonifera / Salal	#1	0.90m
La	80	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	#1	0.60m
Min	209	Mahonia nervosa / Oregon Grape	#2	0.60m
Pm	26	Polystichum munitum / Western Sword Fern	No. 2 pot, densely branched, well established	0.90m
Rs	9	Ribes sanguineum / Red Flowering Currant	#3	1.20m
S	320	Sedum spathulifolium 'Camea' / Broadleaf Stonecrop	#1	0.30m
Sc	36	Spiraea x humalda 'Crispa' / Crisp Leaf Spirea	#2 Pot	1m
Sa	14	Symphoricarpos albus / Common White Snowberry	#3	1.20m
Td	58	Thuja occidentalis 'Degroot's Spire' / Degroot's Spire Arborvitae	1.8m ht	1m
Vp	27	Vaccinium paniculatum / Red Huckleberry	#3	1m

Scale: 1:75

No.	By:	Description	Date
1	AD	Issued for Development Permit	Jan 26, 2019
2	AD	Issued for Development Permit	Feb 28, 2019
3	AD	Issued for Development Permit	March 19, 2019
4	AD	Issued for Development Permit	June 26, 2019
5	AD	Issued for ADP	July 4, 2019
6	DV	Issued for DP ADP UPDATE	August 22, 2019
7	AD	Issued for Development Permit	Oct 11, 2019

Project: 9520 Beckwith Road  
Location: 9520 Beckwith Road, Richmond, BC

Drawn: AD  
Checked: MVZC  
Approved: MVZC  
Original Sheet Size: 24"x36"

Scale: 1:75

**REVISIONS TABLE FOR SHEET**

DP 2018-29-28



van der Zalm + associates inc.  
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 Richmond, BC V6X 3V9  
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 Fax: 604.273.4478  
 www.vdzalms.com

PLANTING PLAN - LEVEL 5

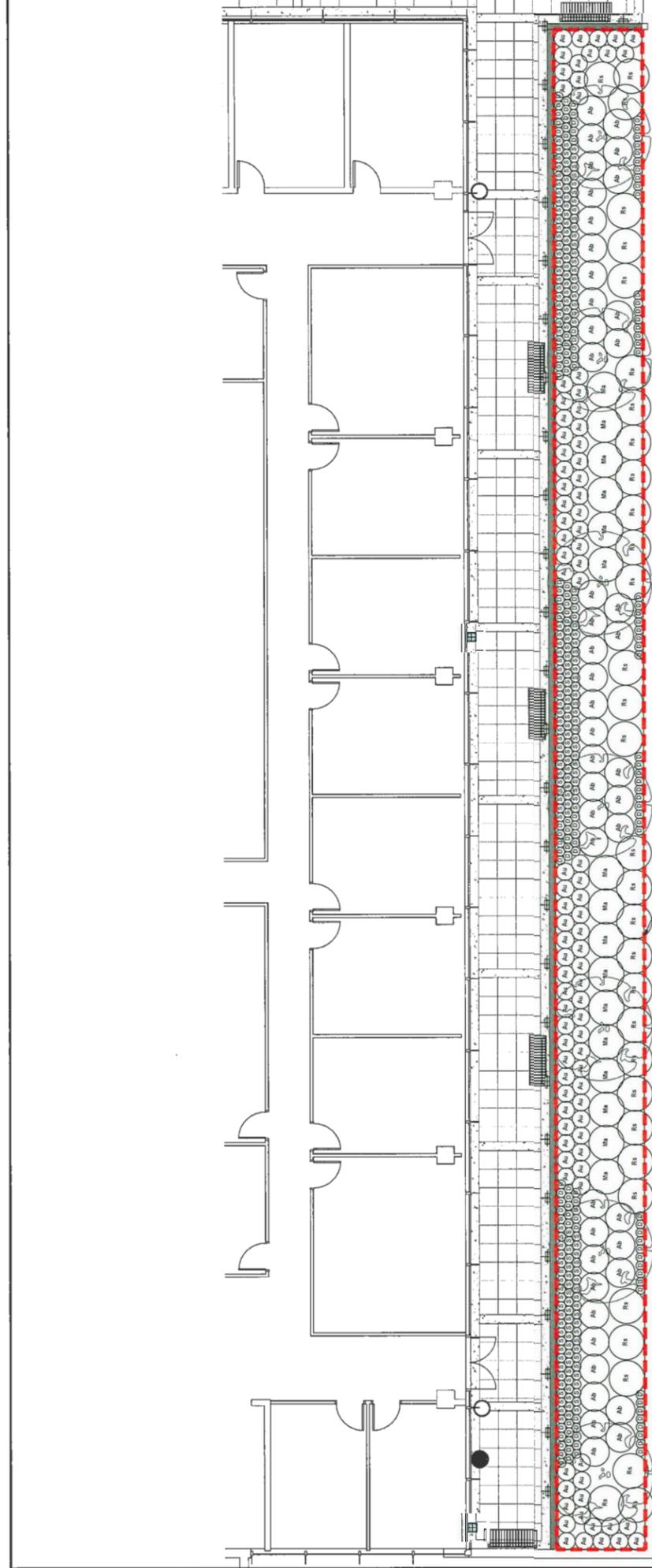


DP2018-29

L-03B

VDZ Project #:

Drawing Title:



Level 5 ESA compensation area: 198m<sup>2</sup>

ESA Calculations:

Existing ESA area:	270m <sup>2</sup>
Level 1 ESA Post Development:	146m <sup>2</sup>
Level 5 ESA compensation area:	198m <sup>2</sup>
Level 7 ESA Post Development:	259m <sup>2</sup>
Total ESA Post Development:	603m <sup>2</sup>
Net change in ESA area:	+333m <sup>2</sup>

NOTE:  
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	45	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Au	94	Arctostaphylos uva-ursi / Kinnikinnick	#2 Pot	0.60m
D	144	Dietschampsia cespitosa / Tufted Hair Grass	#2 Pot	0.30m
Ma	16	Mahonia aquilifolium / Oregon Grape	#3	1.20m
Rs	33	Ribes sanguineum / Red Flowering Currant	#3	1.20m
S	188	Sedum spathulifolium 'Carnea' / Broadleaf Stonecrop	#1	0.30m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
  - Shrubs: 450mm
  - Sod: 150mm
  - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

REVISIONS TABLE FOR SHEET

No.	By:	Description	Date
1	AD	Issued for Development Permit	Feb 26, 2019
2	AD	Issued for Development Permit	Feb 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
4	AD	Issued for Development Permit	June 26, 2019
5	AD	Issued for ADP	July 4, 2019
6	DW	Issued for DP, ADP UPDATE	August 22, 2019
7	AD	Issued for Development Permit	Oct 11, 2019

Project:  
9520 Beckwith Road

Location:  
9520 Beckwith Road  
Richmond, BC

Drawn:  
AD

Checked:  
WVDC

Approved:  
WVDC

Original Sheet Size:  
24"x36"

Scale:  
1/75

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK.



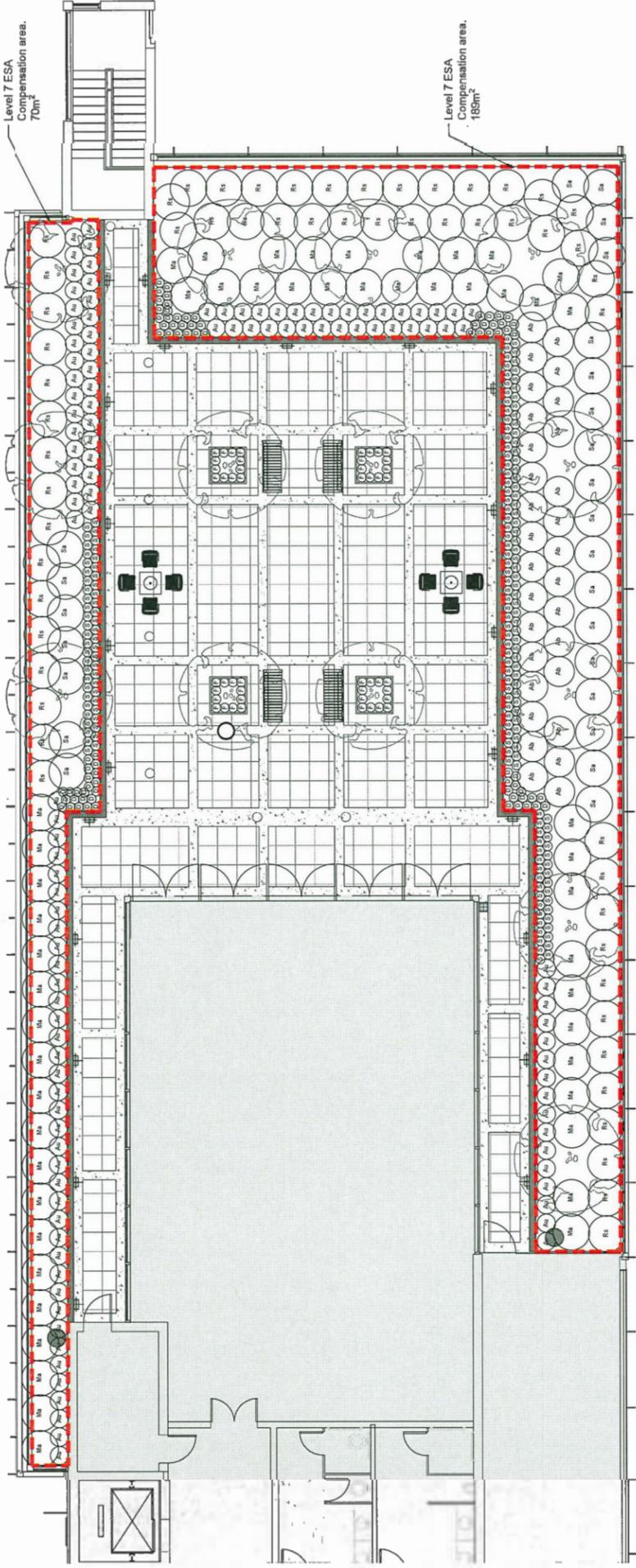
van der Zalm + associates inc.  
 Parks & Recreation • Civil Engineering  
 Urban Design • Landscape Architecture  
 1000 West Broadway, Suite 1000  
 Vancouver, BC V6H 1G5  
 Tel: 604.681.2000  
 Fax: 604.681.2001  
 Email: info@vanzalm.ca

# PLANTING PLAN - LEVEL 7



VDZ Project #:  
 DP2018-29

Drawing #:  
 L-03C



ESA Calculations:  
 Existing ESA area: 270m<sup>2</sup>  
 Level 1 ESA Post Development: 146m<sup>2</sup>  
 Level 5 ESA compensation area: 196m<sup>2</sup>  
 Level 7 ESA compensation area: 256m<sup>2</sup>  
 Total ESA Post Development: 603m<sup>2</sup>  
 Net change in ESA area: +333m<sup>2</sup>

NOTE:  
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	30	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Au	118	Arctostaphylos uva-ursi / Kinnikinnick	#2 Pot	0.60m
D	76	Deschampsia cespitosa / Tufted Hair Grass	#2 Pot	0.30m
F	48	Festuca glauca 'Elijah Blue' / Blue Fescue	#1	0.30m
Ma	51	Mahonia aquifolium / Oregon Grape	#3	1.20m
Rs	56	Ribes sanguineum / Red Flowering Currant	#3	1.20m
S	181	Sedum spathulifolium 'Carnea' / Broadleaf Stonecrop	#1	0.30m
Sa	25	Symphoricarpos albus / Common White Snowberry	#3	1.20m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
  - Growing medium depths for planting as follows:
    - Shrubs: 450mm
    - Sod: 150mm
    - Tree pits: 1000mm with 300mm (below root ball)
  - 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

No.	Rev.	Description	Date
1	AD	Issued for Development Permit	Jan 30, 2019
2	AD	Issued for Development Permit	Feb 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
4	AD	Issued for Development Permit	June 20, 2019
5	AD	Issued for ADP	July 4, 2019
6	AD	Issued for ADP UPDATE	August 22, 2019
7	AD	Issued for Development Permit	Oct 11, 2019

Project:  
 9520 Beckwith Road

Location:  
 9520 Beckwith Road  
 Richmond, BC

Drawn:  
 AD

Checked:  
 WVDZ

Approved:  
 WVDZ

Original Sheet Size:  
 24"x36"

Scale:  
 1:75

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF RICHMOND'S ZONING BY-LAW AND THE RICHMOND LAND DEVELOPMENT CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK.



OFFSITE PLAN - ADJACENT SITE TO EAST

DP2018-29

L-04



van der Zalm + associates inc.  
 Parks & Recreation • Civil Engineering  
 10000 Keele Street • Unit 100  
 Richmond, BC V6X 2K2  
 Tel: 604.273.8200 Fax: 604.273.8202  
 Email: info@vzai.com Website: www.vzai.com

**TREE LEGEND**

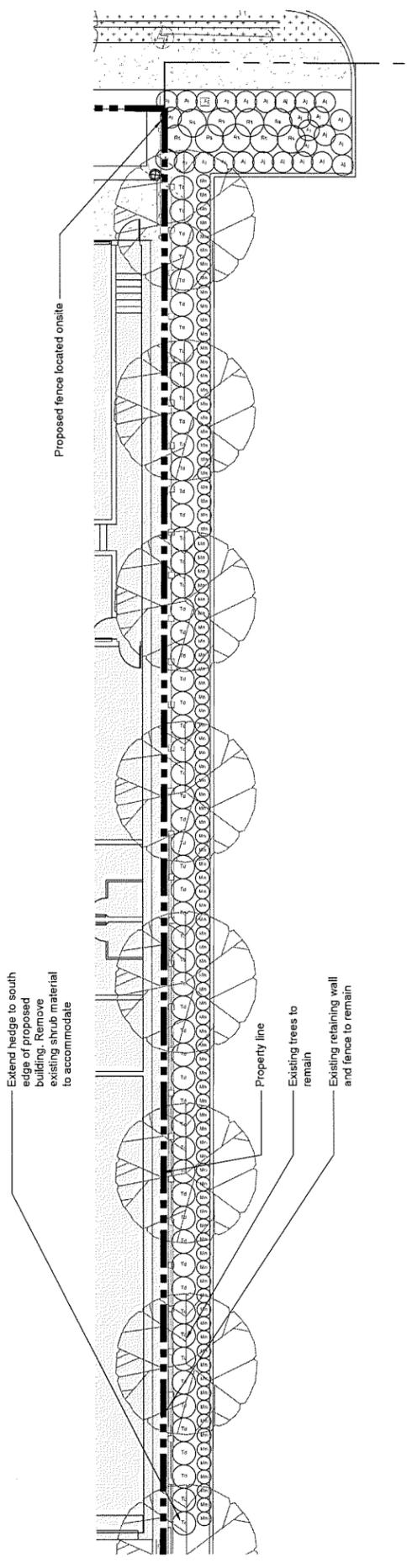
	Acer campestre
--	----------------

**TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	9	Acer campestre	Hedge Maple	B&B, 6cm cal., 3.0m Ht.	Plt Plan

**OFFSITE PLANT SCHEDULE**

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT
A1	27	Azalea japonica / Gumpo Pink / Dwarf Pink Azalea	#2 Pot
Mn	97	Muhlenbergia nervosa / Oregon Grape	#2 Pot
Rc	9	Ribes sanguineum / Red Flowering Currant	#2 Pot
Tc	59	Thuja occidentalis 'Drapacok's Spike' / Dracocok's Spike Cedar	2.5m Ht.



**REVISIONS TABLE FOR DRAWINGS**

No.	By:	Description	Date
1	AD	Issued for Development Permit	Jan 28, 2019
2	AD	Issued for Development Permit	Feb 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
4	AD	Issued for Development Permit	June 26, 2019
5	AD	Issued for ADP	July 6, 2019
6	DV	Issued for DP ADP URGENT	August 22, 2019
7	AD	Issued for Development Permit	Oct 11, 2019

**REVISIONS TABLE FOR SHEET**

No.	By:	Description	Date
1	AD	Issued for Development Permit	Jan 18, 2019
2	AD	Issued for Neighbour Review	Jan 28, 2019

Project: 9520 Beckwith Road  
 Location: 9520 Beckwith Road, Richmond, BC

Drawn: AD  
 Checked: JMVZ  
 Approved: JMVZ  
 Original Sheet Size: 24" x 36"  
 Scale: 1:100

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE WORK AND MAKE ANY ADJUSTMENTS TO THE WORK AS NECESSARY TO MAINTAIN ALL DIMENSIONS AND SETBACKS AS SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

DP 19-829207-31



van der Zalm + associates inc.  
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 V3M 0E5  
 P: 604.882.2024  
 F: 604.882.2022  
 info@vanzalm.com  
 www.vanzalm.com

# TREE PRESERVATION PLAN

Drawing Title: DP2018-29  
 VZD Project #: 9520 Beckwith Rd

Drawing #: L-05

**Tree Protection Zone**  
 The Tree Protection Zone (TPZ) encompasses the drip line of the tree as illustrated in Fig. 1a and 1b.



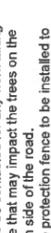
**Fig. 1b - Example of a drip line on a tree with one side pruned.**  
 Note: If the tree is on an adjacent property, the drip line must still be protected on your side of the property line. If the branches have been cut or pruned, the TPZ must protect the original drip line of the tree (Fig. 1b).



**Tree Protection Distance Table**

Tree Height (m)	Tree Diameter (cm)	Distance from Tree (m)	Distance from Tree (ft)
20	8	0.8	3.9
25	10	1.2	4.9
30	12	1.6	6.6
35	14	2.0	8.2
40	16	2.4	9.8
45	18	2.8	11.4
50	20	3.2	13.1
55	22	3.6	14.8
60	24	4.0	16.4
65	26	4.4	18.0
70	28	4.8	19.7
75	30	5.2	21.3
80	32	5.6	23.0
85	34	6.0	24.6
90	36	6.4	26.3
95	38	6.8	27.9
100	40	7.2	29.5

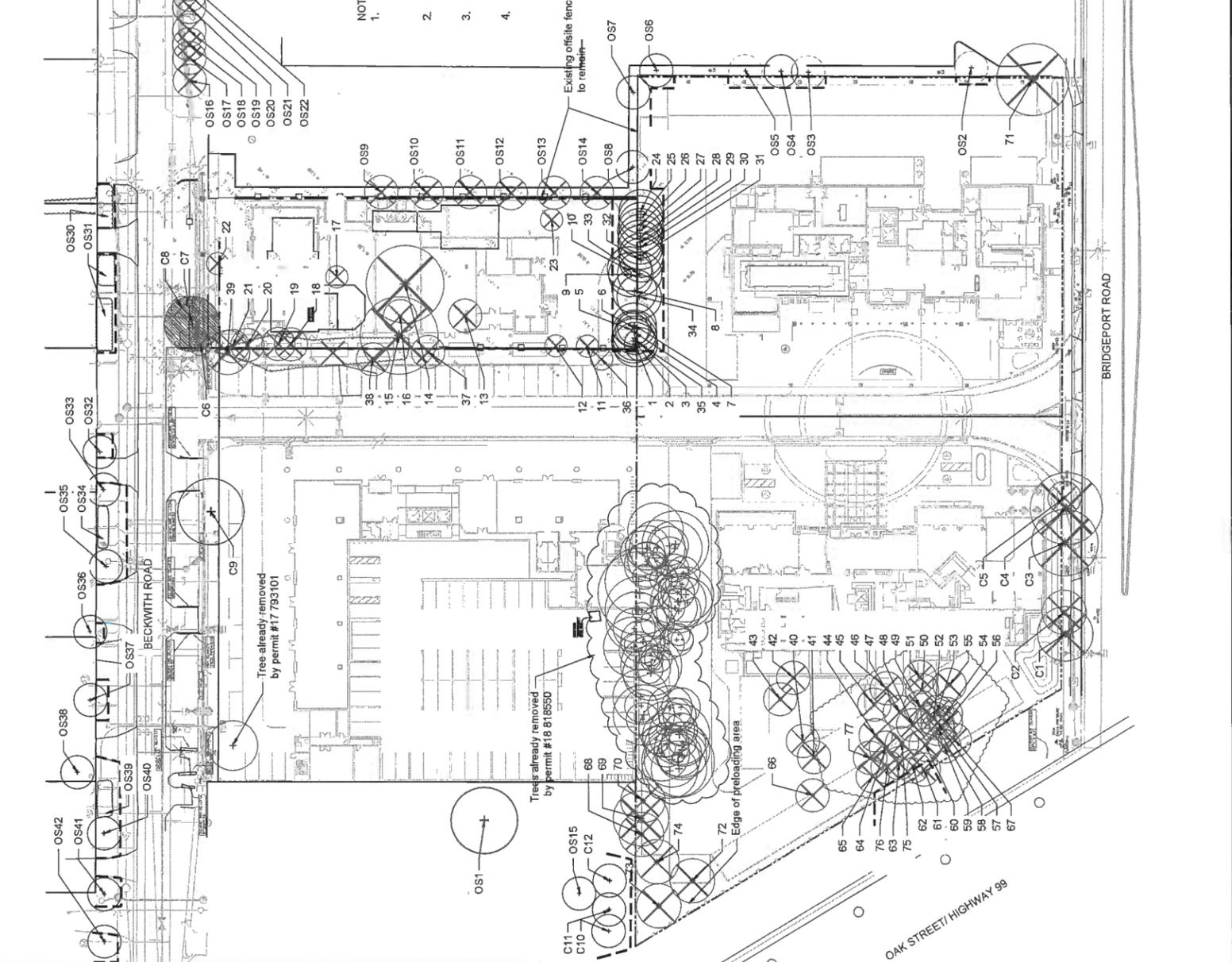
**Tree Protection Zone Signage**  
 All TPZs are required to have signage as shown in Fig. 2. The signage is provided as a standard detail in the Tree Protection Zone Signage Manual. A sign is now available for download from the City of Richmond's Tree Bylaw webpage at [www.richmond.ca/sites/default/files/document/treeprotectionmanual.pdf](http://www.richmond.ca/sites/default/files/document/treeprotectionmanual.pdf). For Tree Protection Barrier inspection requests and enquiries call 604-261-4064.



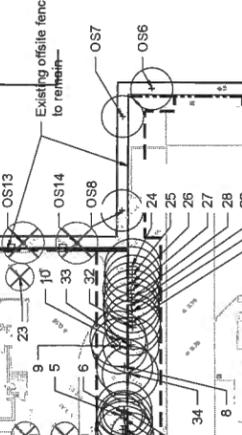
**NOTE:** Failure to maintain tree protection barriers may result in fines of up to \$1100.00 per offence.

## 2 TREE PROTECTION FENCE

NTL 28



**NOTE:**  
 1. Residents on North side of Beckwith Road are to be contacted for any work taking place that may impact the trees on the north side of the road.  
 2. Tree protection fence to be installed to protect any trees that are near the work zones during the road widening.  
 3. Arborist to confirm and approve tree protection fence placement for trees North of Beckwith Road.  
 4. Tree C-7 to be relocated to the arboretum at Garden City Community Park.



**TREE LEGEND**

KEY	REF.	DESCRIPTION
+		Existing Trees
(X)		Existing Trees to be Removed
(O)		Existing Trees to be Relocated
(2)	(ARP-01)	TREE PROTECTION FENCE

- Note:**
- Contact Arborist (Kelly Koome, 778-885-0777, [Kkoome@vzd.ca](mailto:Kkoome@vzd.ca)) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (Typ)
  - Read this plan together with the arborist report prepared by Kelly Koome and dated February 20, 2019.

**REVISIONS TABLE FOR DRAWINGS**  
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No.	By:	Description	Date
1	AD	Issued for Development Permit	Jan 30, 2019
2	AD	Issued for Development Permit	Feb 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
4	AD	Issued for Development Permit	June 28, 2019
5	AD	Issued for Development Permit	July 12, 2019
6	DM	Issued for DP, ADP UPDATE	August 22, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
8	AD	Issued for ADP	July 4, 2018
9	AD	Issued for ADP	July 4, 2018
10	AD	Issued for Development Permit	June 28, 2018
11	AD	Issued for Development Permit	March 19, 2019
12	AD	Issued for Development Permit	Feb 26, 2019
13	AD	Issued for Development Permit	Jan 30, 2019

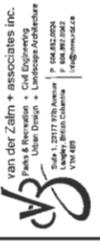
**REVISIONS TABLE FOR SHEET**

No.	By:	Description	Date
1	AD	Issued for Development Permit	Jan 30, 2019
2	AD	Issued for Development Permit	Feb 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
4	AD	Issued for Development Permit	June 28, 2019
5	AD	Issued for Development Permit	July 12, 2019
6	DM	Issued for DP, ADP UPDATE	August 22, 2019
7	AD	Issued for Development Permit	Oct 11, 2019

**Project:** 9520 Beckwith Road  
**Location:** 9466 Beckwith Rd, 9520 Beckwith Rd, Richmond, BC

**Drawn:** FW  
**Checked:** MYDZ  
**Approved:** MYDZ  
**Stamp:**  
**Original Sheet Size:** 24"x36"  
**Scale:** 1:400

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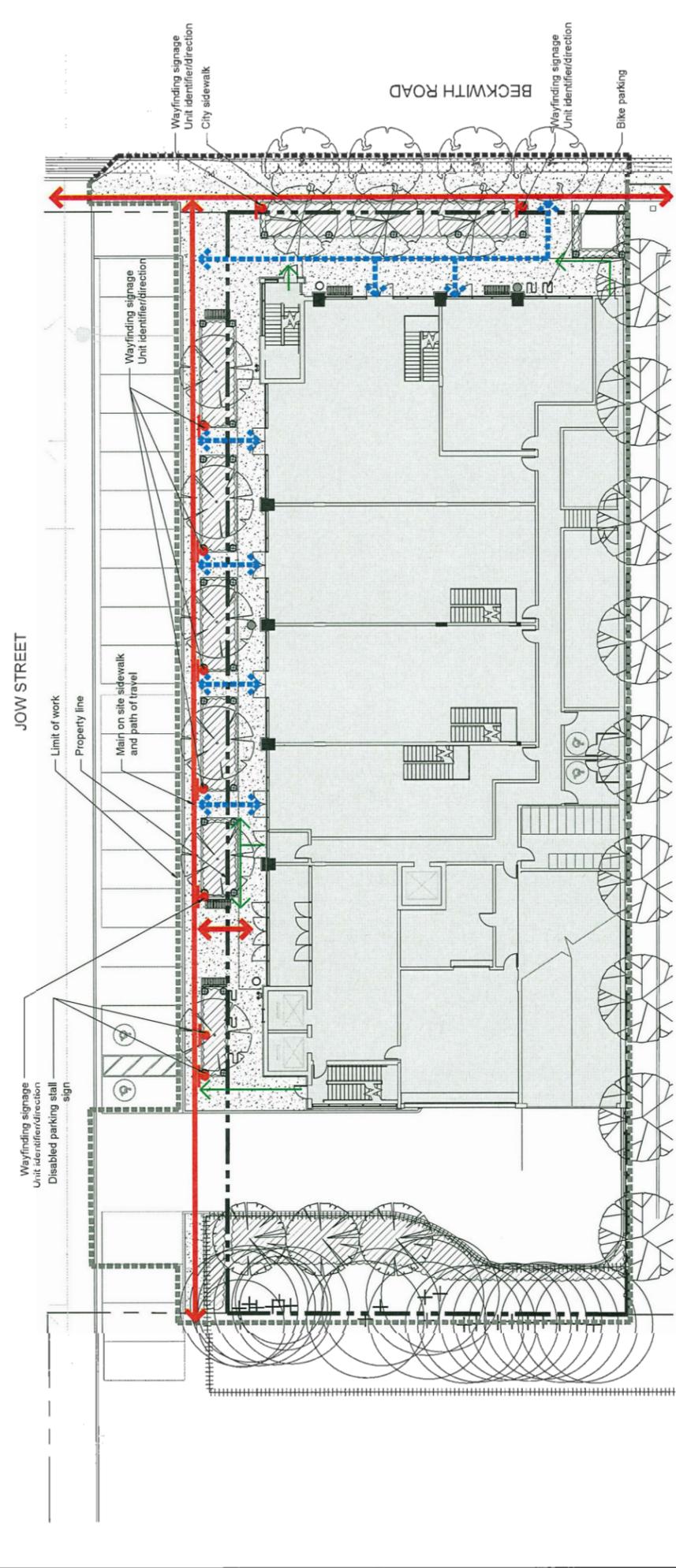


# ACCESSIBILITY PLAN



VDZ Project #: DP2018-29

Drawing #: L-06



### LANDSCAPE LEGEND

KEY	DESCRIPTION
	PRINCIPAL PEDESTRIAN TRAVEL ROUTE
	GROUND FLOOR UNIT ACCESS ROUTES
	STAIRWELL/EMERGENCY EXIT ROUTES

### REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
1	AD	Issued for Development Permit	Jan. 30, 2018
2	AD	Issued for Development Permit	Feb. 20, 2019
3	AD	Issued for Development Permit	March 19, 2019
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5	AD	Issued for ADP	July 4, 2019
6	DM	Issued for DP, ADP UPDATE	August 22, 2019
7	AD	Issued for Development Permit	Oct 11, 2019

### REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project: 9520 Beckwith Road

Location: 9520 Beckwith Road, Richmond, BC

Drawn: AD

Checked: WVDZ

Approved: WVDZ

Original Sheet Size: 24"x36"

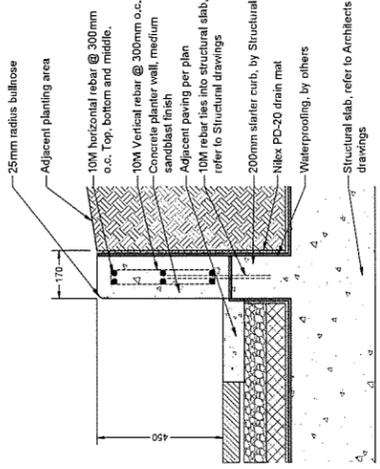
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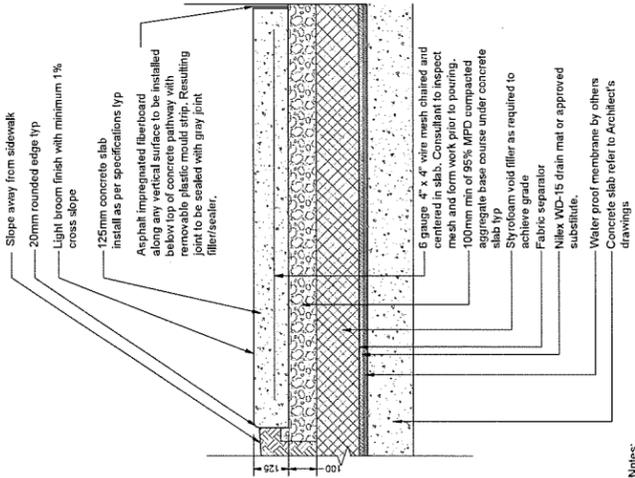
van der Zalm + associates inc. Parks & Recreation • Civil Engineering, Urban Design • Landscape Architecture  
 1000 West Broadway, Suite 200, Vancouver, BC V6H 4B5  
 Phone: 604.681.4444 Fax: 604.681.4445  
 Email: info@vzai.com Website: www.vzai.com

DP 29207-33

NOTE:  
Refer to structural detail for reinforcement and slab tie in requirements

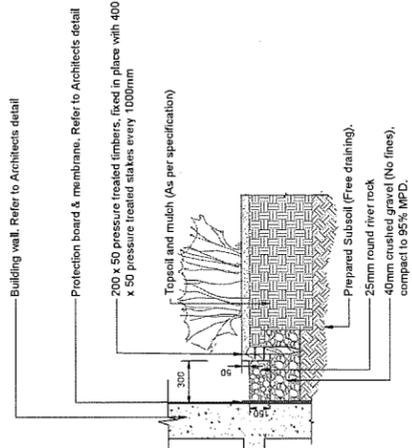


1 CONCRETE PLANTER WALL  
Scale 1:10

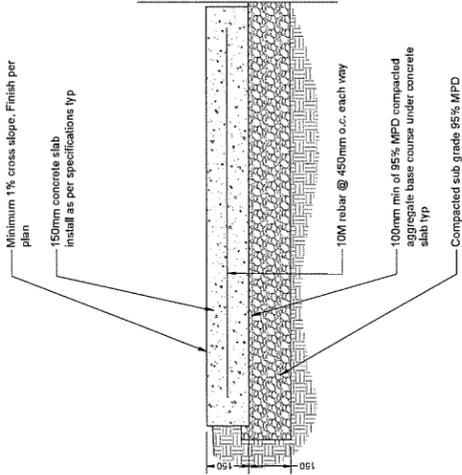


Notes:  
1. Contractor to provide expansion joints where concrete meets all vertical structures  
2. Horizontal scorelines at 1500mm o.c. unless shown otherwise. Refer to plans.  
3. Center scoreline on 150mm smooth finish or to match existing concrete pathway

5 CONCRETE PAVING ON SLAB  
Scale 1:10

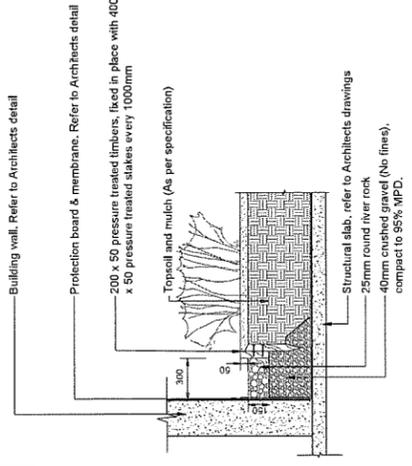


2 DRIP STRIP ON GRADE  
Scale 1:20

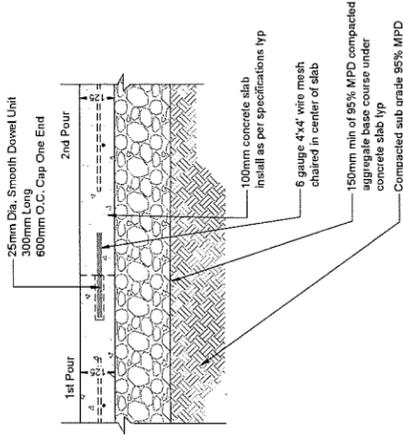


Notes:  
1. Contractor to provide expansion joints where concrete meets all vertical structures  
2. Horizontal scorelines at 1500mm o.c. unless shown otherwise. Refer to plans.  
3. Center scoreline on 150mm smooth finish or to match existing concrete pathway

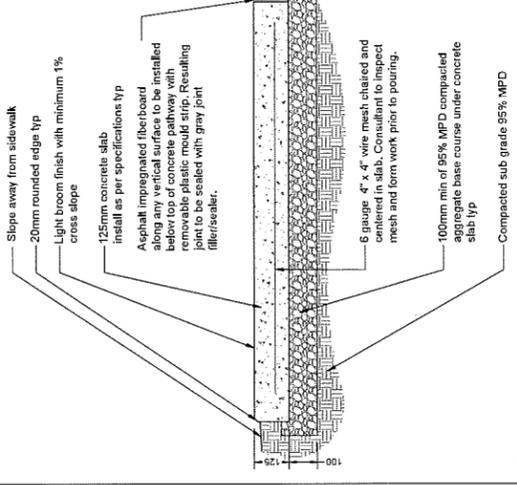
6 VEHICULAR CONCRETE PAVING  
Scale 1:1



3 DRIP STRIP ON SLAB  
Scale 1:20

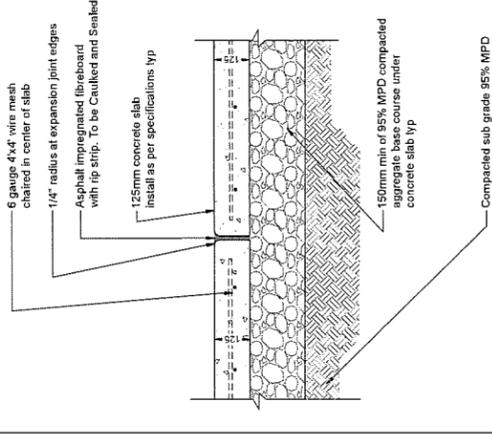


7 CONCRETE COLD JOINT  
Scale 1:10



Notes:  
1. Contractor to provide expansion joints where concrete meets all vertical structures  
2. Horizontal scorelines at 1500mm o.c. unless shown otherwise. Refer to plans.  
3. Center scoreline on 150mm smooth finish or to match existing concrete pathway

4 PEDESTRIAN CONCRETE PAVING  
Scale 1:10



8 CONCRETE EXPANSION JOINT  
Scale 1:10



van der Zalm + associates inc.  
Professional Engineers  
Urban Design + Landscape Architecture  
Suite 1, 2072 17th Avenue  
Langley, British Columbia  
V1V 4G9  
P: 604.882.2002  
F: 604.882.2002  
info@vzai.com

DP2018-29  
VZ Project #

LD-01  
Drawing #

Drawing Title:

Project:  
9520 Beckwith Road

Location:  
9520 Beckwith Road  
Richmond, BC

Drawn:  
AD

Checked:  
WVDZ

Approved:  
WVDZ

Scale:  
AS SHOWN

Original Sheet Size:  
24"x36"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS TO THE CONCRETE PAVING AND TO THE CONCRETE PAVING JOINTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND LOCATIONS.

No.	By	Description	Date
7	AD	Issued for Development Permit	Oct 11, 2019
6	WVDZ	Issued for DP ADP UPDATE	August 22, 2019
5	AD	Issued for AOP	JUL 4, 2019
4	AD	Issued for Development Permit	June 28, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb. 28, 2019
1	AD	Issued for Development Permit	Jan. 30, 2019

No.	By	Description	Date
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 1000 West Beaver Creek  
 Richmond, BC V6X 3V7  
 Tel: 604.273.2500  
 Fax: 604.273.2502  
 Email: info@vzai.com



# DETAILS

LD-02  
 VZ Project #:  
 DP2018-29

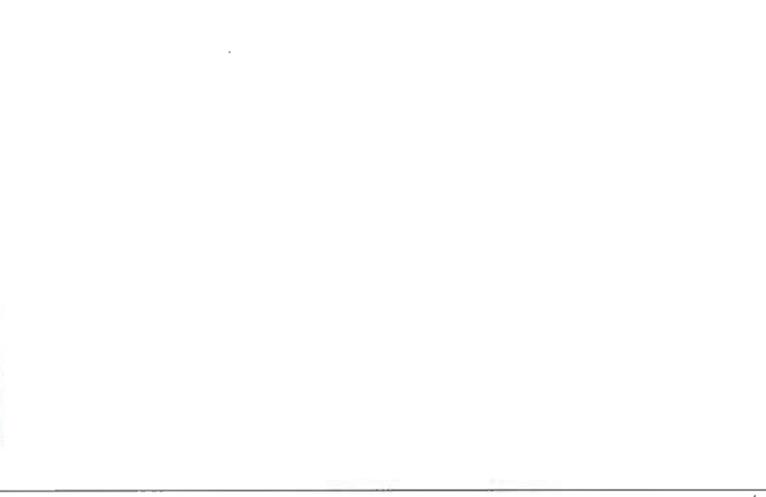
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4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 28, 2019
1	AD	Issued for Development Permit	Jan 28, 2019

## REVISIONS TABLE FOR SHEET

Project:  
 9520 Beckwith Road  
 Location:  
 9520 Beckwith Road  
 Richmond, BC

Drawn: AD	Stamp:
Checked: MVZC	Original Sheet Size: 24"x36"
Approved: MVZC	Scale: AS SHOWN

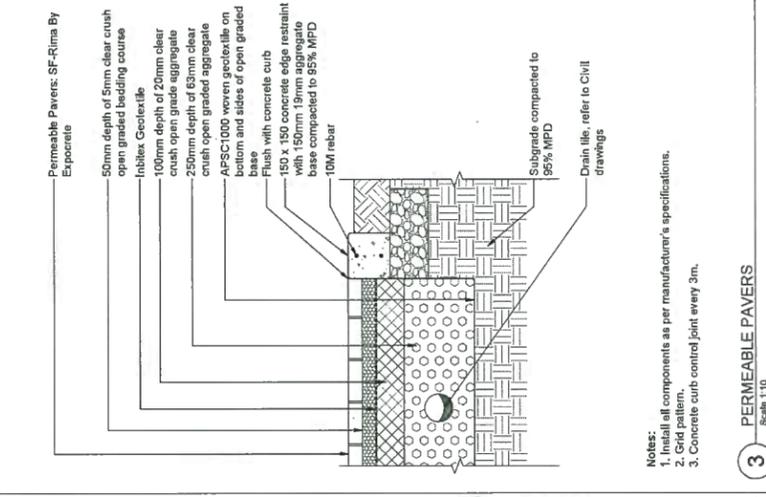
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



Notes:  
 1. All components as per manufacturer's specifications.  
 2. Curb pattern.  
 3. Concrete curb control joint every 3m.

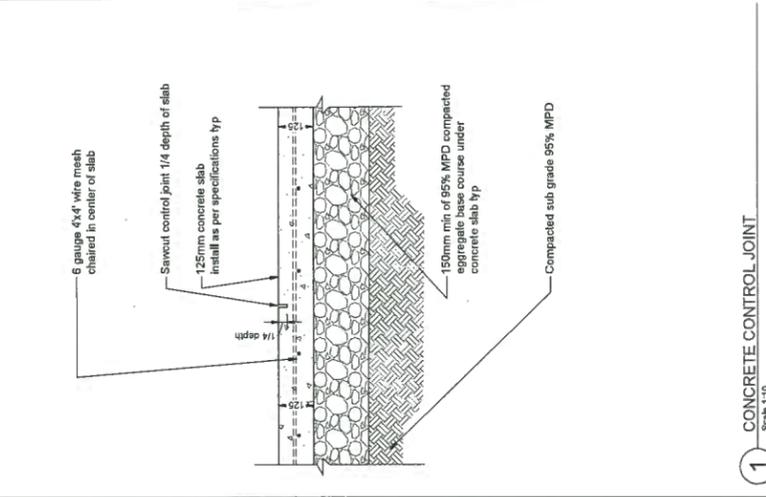
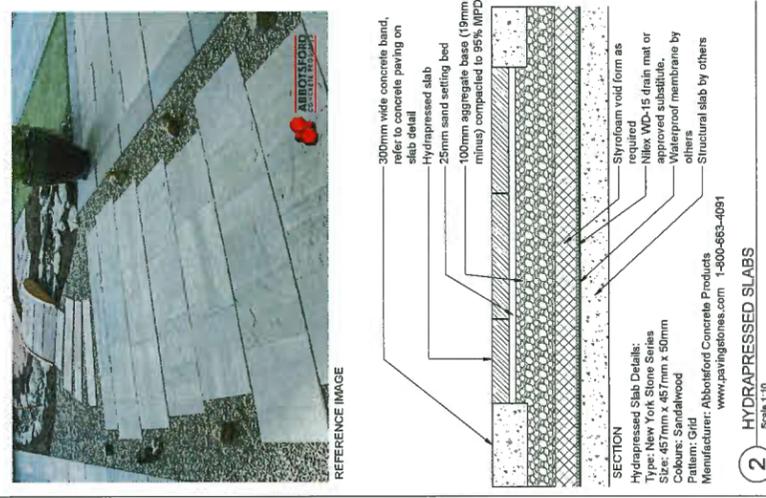
### 3 PERMEABLE PAVERS

Scale: 1:10



### 2 HYDRAPRESSED SLABS

Scale: 1:10



### 1 CONCRETE CONTROL JOINT

Scale: 1:10

### EOS

RECYCLED MATERIAL

TECHNICAL DATA  
 LOAD (CCT) CR: 1000 kg  
 OPTIC: 1000 lumens  
 DELIVERED LUMINE: 1000 lm  
 LUMINAIRE EFFICIENCY: 100 lm/w  
 CENTER BEAM CANDLE POWER: 1000 cd  
 MODEL: EOS  
 FINISH: RAL 9005

ACCESSORY PRODUCTS  
 6.63m x 1.1m x 1.1m  
 1000 lm/w  
 1000 lm/w

RESET

SYSTEMALUX

### EOS

RECYCLED MATERIAL

TECHNICAL DATA  
 LOAD (CCT) CR: 1000 kg  
 OPTIC: 1000 lumens  
 DELIVERED LUMINE: 1000 lm  
 LUMINAIRE EFFICIENCY: 100 lm/w  
 CENTER BEAM CANDLE POWER: 1000 cd  
 MODEL: EOS  
 FINISH: RAL 9005

ACCESSORY PRODUCTS  
 6.63m x 1.1m x 1.1m  
 1000 lm/w  
 1000 lm/w

RESET

SYSTEMALUX

### FGP PATH LIGHT

PRODUCT CODE: 1000

Finish: 303 stainless steel  
 Product Code: 1000  
 Dimensions: 100mm x 100mm x 100mm  
 Weight: 0.5kg

Product Information  
 The FGP Path Light is a modern, minimalist design that provides a warm, ambient glow. It is perfect for use in gardens, walkways, and patios. The light is made of high-quality materials and is designed to last for many years.

Warranty  
 5 Year Limited Warranty

Other  
 1000

### FGP PATH LIGHT

PRODUCT CODE: 1000

Finish: 303 stainless steel  
 Product Code: 1000  
 Dimensions: 100mm x 100mm x 100mm  
 Weight: 0.5kg

Product Information  
 The FGP Path Light is a modern, minimalist design that provides a warm, ambient glow. It is perfect for use in gardens, walkways, and patios. The light is made of high-quality materials and is designed to last for many years.

Warranty  
 5 Year Limited Warranty

Other  
 1000

### 5 BOLLARD LIGHT

N.T.S.

### 6 WALL LIGHT

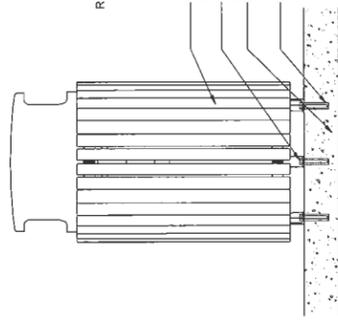
N.T.S.

DP 10-829207-35

NOTES:  
Install per manufacturers specifications



REFERENCE IMAGE



SECTION

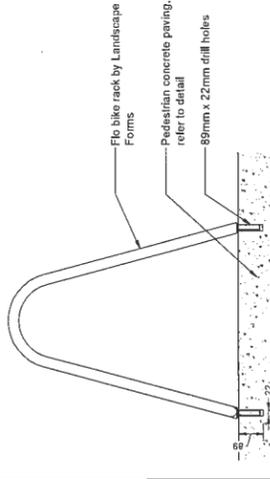
**WASTE RECEPTACLE**  
Model: Gretchen  
Size: 555mm x 1067mm  
Mount: Surface  
Option: Side opening  
Colour: Metallic Silver  
Manufacturer: Landscape Forms  
www.landscapeforms.com

1

WASTE RECEPTACLE  
N.T.S.



REFERENCE IMAGE



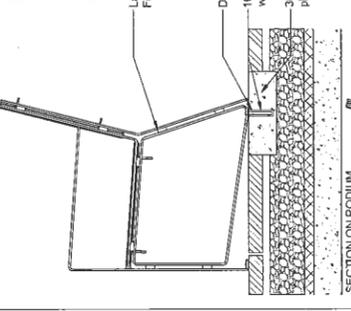
SECTION

**BIKE RACK**  
Model: Flo  
Size: 38mm x 635mm x 686mm  
Mount: Embedded  
Colour: Metallic Silver  
Manufacturer: Landscape Forms  
www.landscapeforms.com

2

BIKE RACK  
N.T.S.

NOTES:  
Install per manufacturers specifications



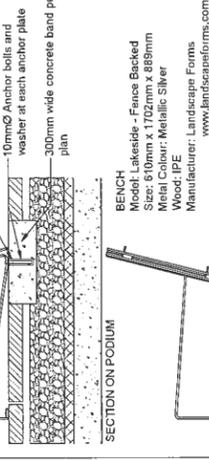
SECTION ON PODIUM

3

BENCH  
N.T.S.



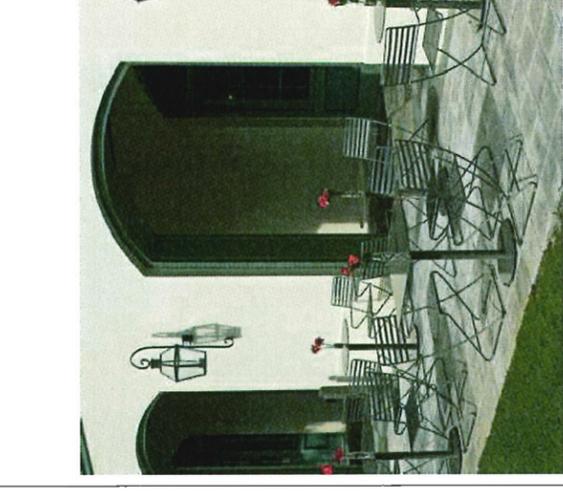
Lakeside bench by Landscape Forms



SECTION ON GRADE

3

BENCH  
N.T.S.



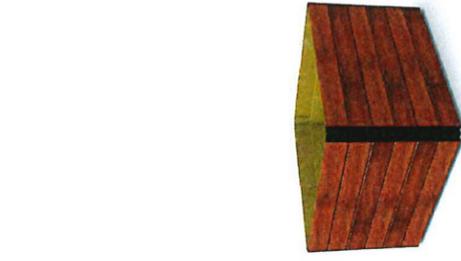
**TABLE AND CHAIRS**  
Model: Parc Center  
Size: 711mm sq.  
Colour: Metallic Silver  
Mount: Free standing  
Manufacturer: Landscape Forms  
www.landscapeforms.com

4

TABLE AND CHAIRS  
N.T.S.



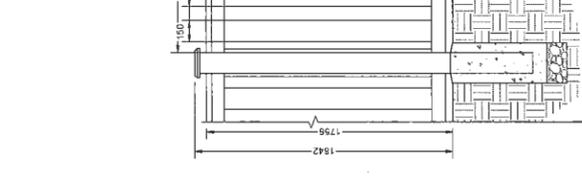
van der Zalm + associates inc.  
Landscape Architecture  
3100 Main Street  
Vancouver, BC V6M 2G1  
Canada  
Phone: 604.682.2204  
Fax: 604.682.2992  
www.vdz.com



**PLANTERS**  
Model: Piro  
Size: 1215mm x 1215mm x 813mm  
Mount: Wood  
Colour: Wood  
Manufacturer: Landscape Forms  
www.landscapeforms.com

5

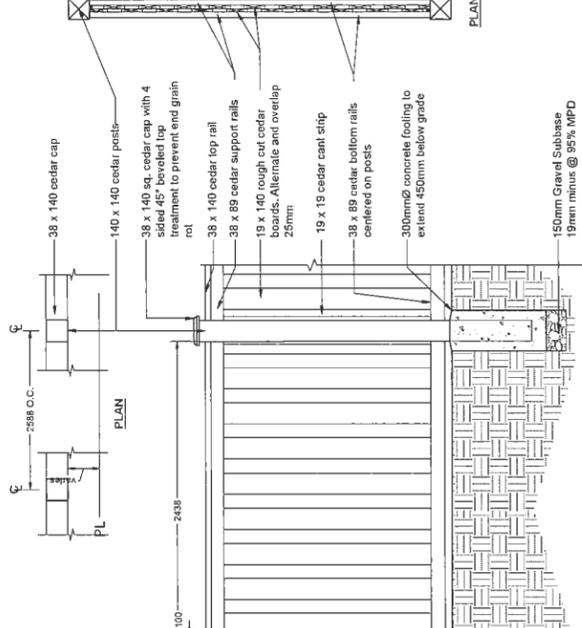
PLANTER POTS  
N.T.S.



6

1.84m HEIGHT PRIVACY FENCE  
Scale 1:20

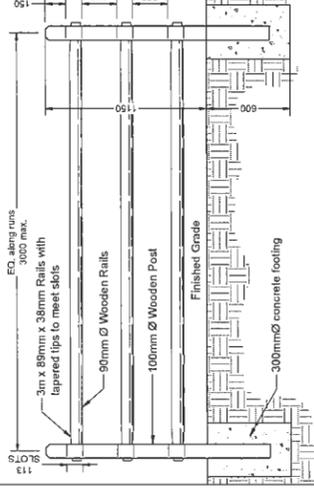
Note:  
1. Fence to be constructed in conformance with the Morgan Creek Design Guidelines part 3.12.  
2. Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.



PLAN

7

SPLIT RAIL FENCE  
Scale 1:20



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4	AD	Issued for Development Permit	June 26, 2019
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1	AD	Issued for Development Permit	Jan. 30, 2019

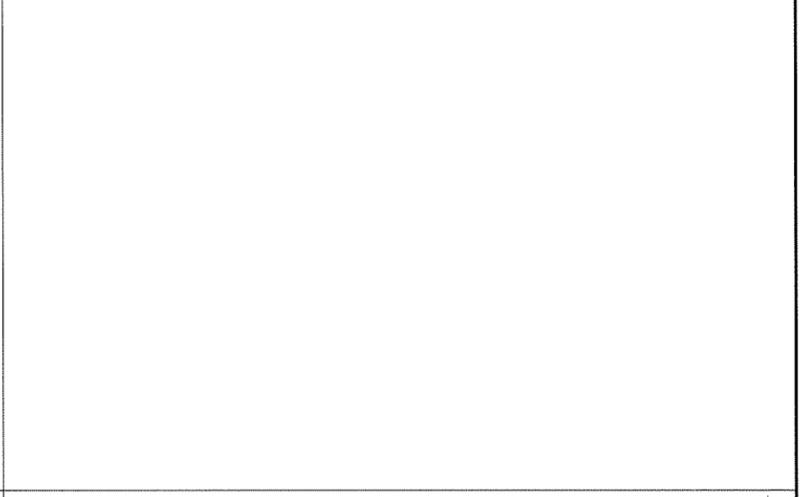
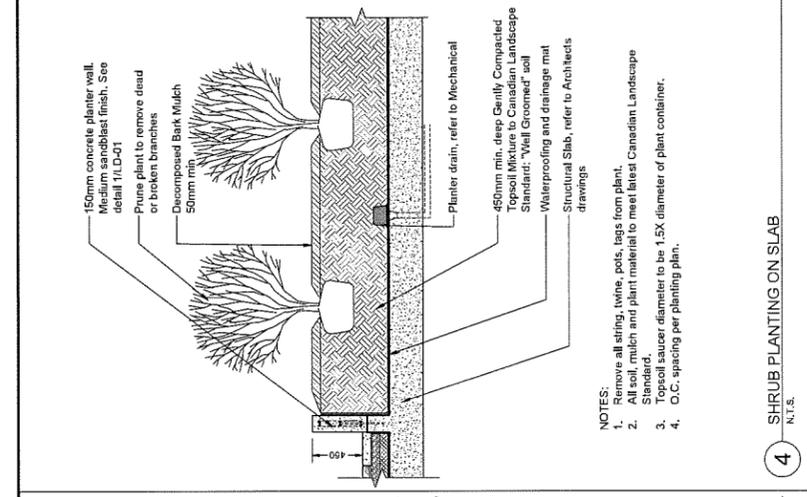
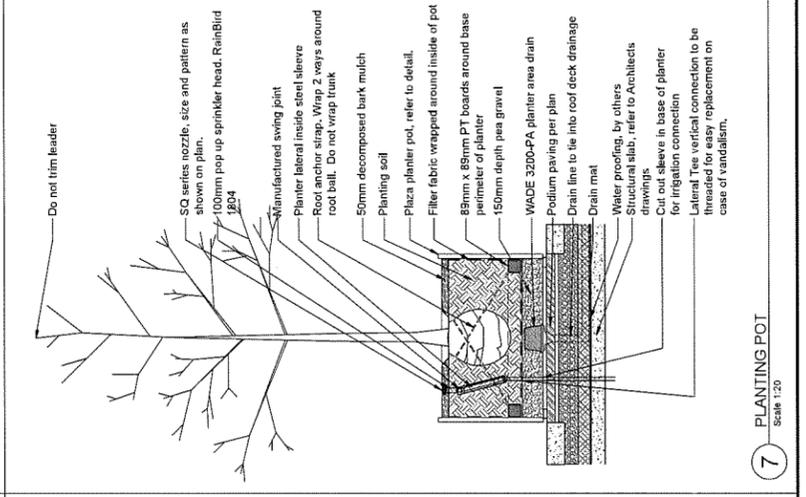
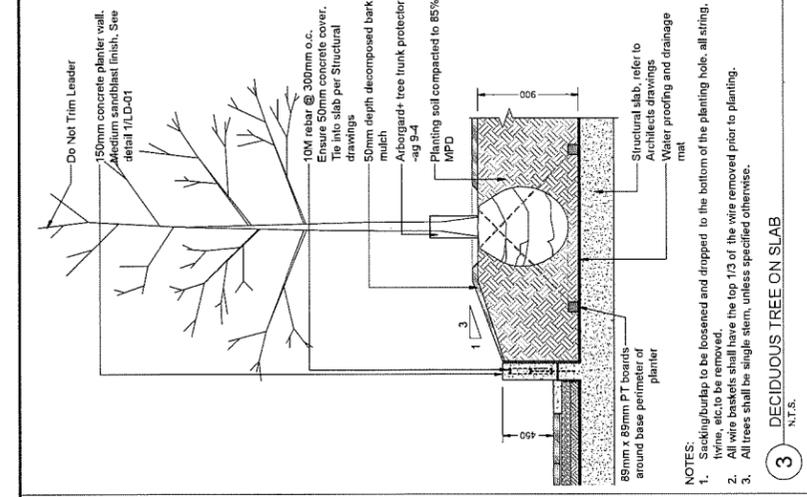
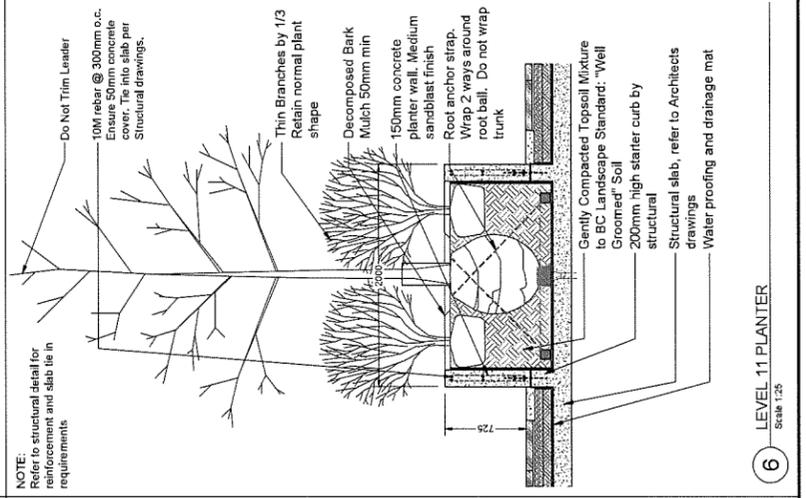
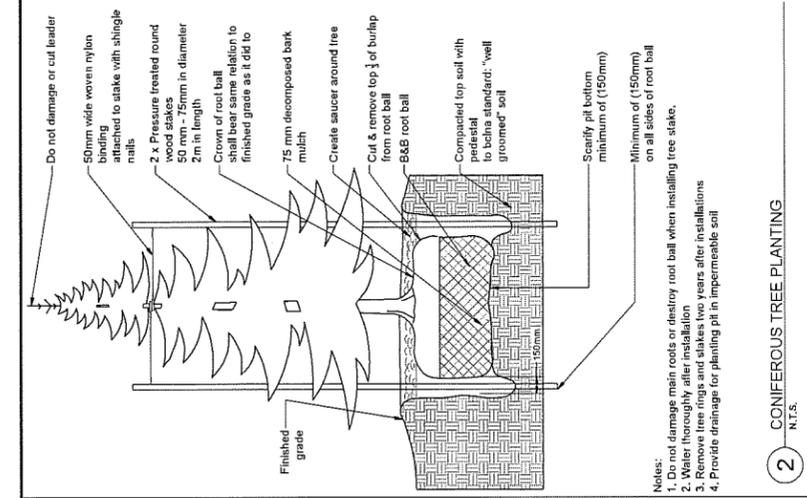
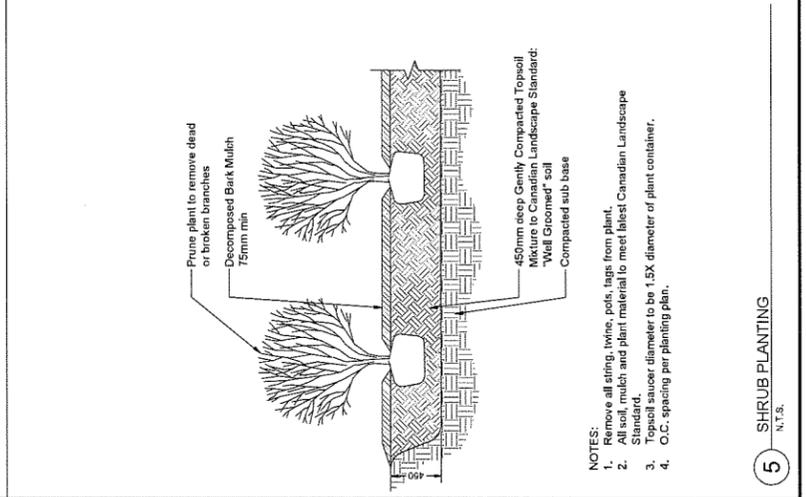
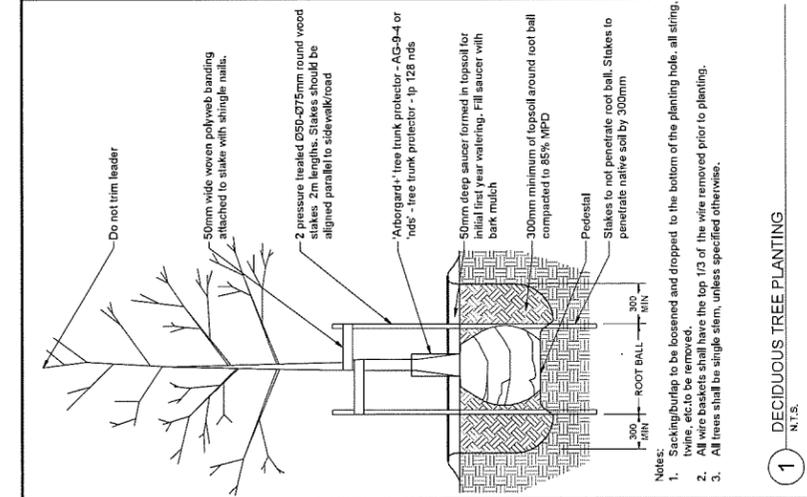
No.	By	Description	Date
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6	AD	Issued for Development Permit	Feb. 26, 2019
7	AD	Issued for Development Permit	Jan. 30, 2019

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Project:  
9520 Beckwith Road  
Location:  
9520 Beckwith Road  
Richmond, BC

Drawn:  
AD  
Checked:  
MVDZ  
Approved:  
MVDZ  
Original Sheet Size:  
24" x 36"

Scale:  
AS SHOWN  
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND CONDITIONS OF WORK AGAINST THE DRAWING TO THE CONTRACT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.



van der Zalm + associates inc. Landscape Architecture  
1500 West Beaver Creek Road, Unit 10, Richmond, BC V6X 1V6  
Tel: 604.271.8200 Fax: 604.271.8202  
www.vdzalm.com

Drawing #: LD-04  
VZ Project #: DP2018-29  
Drawing Title: DETAILS

Project: 9520 Beckwith Road  
Location: 9520 Beckwith Road, Richmond, BC

Drawn: AD  
Checked: MVDZ  
Approved: MVDZ  
Scale: AS SHOWN  
Original Sheet Size: 24" x 36"

No.	By	Description	Date
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP, ADP, UP/DATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 25, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb. 28, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

REVISIONS TABLE FOR SHEET

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## GENERAL LANDSCAPE NOTES:

### PROJECT CONTACT:

1.1 Inquiries regarding landscape drawings should be addressed to the person(s) identified in the contact information on the cover page.

### PROJECT COORDINATION:

2.1 The contractor(s) responsible for completing the landscape scope of work shall conform to the reference standards, submittals process, coordination standards, specifications, and works as defined under the "General Scope" of the master specification (complete).

### DRAWINGS AND SPECIFICATIONS:

3.1 The contractor, sub-contractor, and coordinating trades/suppliers responsible for completing the landscape scope of work is responsible for reviewing the master specification package for the project in conjunction with all consultant drawings, inclusive of landscape.

3.2 Should any drawing or detail conflict with the master specification file the contractor must immediately notify the design team for coordination prior to order, preparation or installation of said conflicting works (typ).

3.3 The contractor(s) responsible for completing servicing, hard and soft landscape works are responsible for providing the landscape architect with a complete "project record copy" of mark-ups or changes to works defined in the Landscape Drawings. This is in addition to any record drawing requests defined under the general scope. The project record copy mark-ups should be completed with red pen if submitted as a hard copy or in red coloured notes if submitted as a PDF.

### LANDSCAPE CONCRETE WORK:

4.1 All concrete shall conform to all standards identified under the master specification and specifications by the Civil Engineer (refer to civil drawings, with references to MMCD specs) (complete). All concrete pour-in-place flatwork to be installed as per section 03.30.20 of the latest MMCD unless otherwise specified indicated in drawing package.

4.2 Concrete reinforcing for vertical landscape cast in place walls shall comply with details and specifications. The general contractor will be responsible for providing a engineer's stamp on shop drawings for all vertical concrete higher than 1.2m (typ).

4.3 All horizontal exterior concrete surfaces shall have a light broom finish or approved equal unless specified otherwise

4.4 All vertical concrete surfaces inclusive of cast in place walls shall have a light sand blast finish or approved equal unless specified otherwise

4.5 The contractor should confirm the locations of control joint patterning and expansion joints with the landscape architect prior to installation for concrete paving surfaces and walls. The contractor is to provide control joints chaulked in place for inspection and approval by the landscape architect prior to installation.

### UNIT PAVING:

5.1 Precast concrete unit pavers or natural stone unit pavers must be provided in a 2m x 2m "mock-up" on site a minimum 2 weeks prior to order of materials for approval by the landscape architect. The mock-up should be installed as per manufacturer's specifications and include any bedding material, pedestals, grouts or mortar specified in project drawings or specifications. Grouts, mortars, sealers, or products that require drying time must have been installed a minimum 48 hours prior to the time of review by the landscape architect.

5.2 All approved unit paving and bedding or joining materials should be installed as per manufacturers specifications

5.3 Professionals should be qualified and experienced (minimum 5 years) in installing paving products specified in landscape drawings

### METALS:

6.1 All metal work shall conform to the master specification for the project (complete)

6.2 Additional references that apply to metal work (may not necessarily be included under the master specification):

### SPEC NOTE: Edit the following for the specific project:

- .1 American Society for Testing and Materials International, (ASTM).
- .1 ASTM A53/A53M\_102], Specification for Pipe, Steel, Black and Hot-Dipped, Zinc-Coated, Welded and Seamless.
- .2 ASTM A121\_199], Specification for Zinc-Coated (Galvanized)

### Steel Barbed Wire.

- .3 ASTM D5116\_197], Standard Guide For Small Scale Environmental Chamber Determinations of Organic Emissions From Indoor Materials/Products.

- .1 CANCGSB\_1\_28\_198], Alkyd, Exterior House Paint.
- .2 CANCGSB\_1\_69\_199], Aluminum Paint.
- .3 CANCGSB\_1\_181\_199], Ready\_Mixed Organic Zinc\_Rich Coating.

- .4 CANCGSB\_1\_GP\_138M\_197], Paint Exterior Latex Type Flat.
- .3 Canadian Standards Association (CSA International).
- .1 CANCSA-A23\_1-100/A23.2-F00], Concrete Materials and Methods of Concrete Construction/Methods of Test for Concrete.
- .2 CSA G42\_11964(R1998)], Galvanized (Zinc-Coated) Steel Farm Field Wire Fencing.
- .3 CSA\_O80 Series\_197], Wood Preservation.
- .4 Environmental Choice Program (ECP).
- .1 CCD-047a-198], Paints, Surface Coatings.
- .2 CCD-47b-198], Stains, Surface Coatings.
- .3 CCD-47c-198], Varnishes, Surface Coatings.
- .4 CCD-048-195], Surface Coatings-Recycled Water-Borne.

6.3 All fences, fasteners and railings shall be submitted via shop drawing and submitted for approval by the landscape architect prior to purchase or installation

6.4 All fasteners used in wood connections (i.e. screws, nails, etc) are to be countersunk and predrilled to prevent wood splitting unless specified otherwise

6.5 All anchor plates, hangers, and affiliated fastener joining materials must meet flush between joining surfaces without gaps, unless specified otherwise

6.6 All metal work shall be treated for protection from corrosion (i.e. Aluminum must be anodized and steel must be galvanized or stainless steel) prior to additional coatings of paints or sealers. This is inclusive of fasteners.

6.7 All metal bonding (i.e. welding or soldering) must be completed and metal work should be treated for protection from corrosion. Bonding work should be concealed by the finishes of the metal work. Sanding or handwork needed to provide a smooth and consistent finish along the bonded metal material should be done to match the finish of the metals used for joining

6.8 All railing heights, picket spacing, and rail spacing should be in accordance with the British Columbia Building Code, CANCSA - Z614-07 and affiliated ASTM standards

6.9 Install a grounding rod on all fences, metal posts or poles taller than 6' (1800mm) in height through the direction of the project electrical engineer. Contractor to confirm the location(s) of said work at the time of project start-up with the electrical engineer and landscape architect

### PLANTING AND PLANTING BEDS

7.1 This section covers supply and installation of all trees, shrubs, and ground covers including bed preparation and topsoil.

### 7.2 Reference Specifications:

Section 32.03.01 Planting of Trees, Shrubs and Ground covers

Section 32.02.01 Site Grading

Section 32.91.21 Topsoil and Finish Grading

Canadian Landscape Standards (latest edition)

British Columbia Nursery Trade Association

7.3 All plant and soil material shall be warranted for (1) year after substantial completion.

7.4 The contractor is responsible to have the landscape architect inspect the site for fine grading in areas where slopes, berms or mounds are used as part of soft landscaping features prior to the installation of plant material. A minimum 7 days notice is required for this review.

7.5 Establishment maintenance must be completed by the landscape contractor through the course of construction/installation, substantial completion and until the time of final acceptance once all deficiencies are deemed as complete. Establishment maintenance practice and procedures are defined under the Canadian Landscape Standard.

7.6 Establishment watering must be completed by the landscape contractor through the course of construction/installation, substantial completion and until the time of final acceptance once all deficiencies are deemed as complete. Establishment watering practice and procedures are defined under the Canadian Landscape Standard.

7.7 The landscape contractor should provide the landscape architect with one week's notice to perform a review at local nurseries who are supplying major plant orders to the site. The landscape architect reserves the right to reject plant material that does not meet drawing specification or Canadian Landscape Standard at any time, despite any review of said materials.

7.8 The landscape contractor must submit a soil report/test report to that shows that growing mediums comply with the standards identified in the Canadian Landscape Standard, latest edition.

7.9 The general contractor shall pay for a minimum two (2) random tests to be performed during the course of construction to confirm that the growing medium being installed on site matches the test approved to the landscape architect. The landscape architect will notify the general contractor of when said tests will occur and soil samples should be mailed out within 48 hours of this notice. Failure to have soil match approved material could result in removal, amendment or reinstallation of appropriate material at the contractor's expense. Soil tests should be sent to Pacific Soil Analysis Incorporated or approved equal testing center.

Pacific Soil Analysis Inc.

Suite 5-11720 Voyageur Way, RICHMOND, BC V6X 3G9

Telephone 604 273 8226

7.10 Landscape mulch shall conform to Canadian Landscape Standards and be installed at depths specified under Canadian Landscape Standard. Mulch must be non-toxic. Mulch should be dark brown or black in colour; red coloured mulch is not permitted unless specified otherwise.

7.11 Filler fabric must be provided in any areas where drain rock is used as a mulch substitute or landscape features, with the exception of dip strips (unless noted otherwise).

7.12 In areas where soft landscaping shall be planted over structural slabs, the contractor must submit, in writing, that the project architect has inspected planters or areas of soft landscape planting and has approved the waterproofing and slab protection present, such that it conforms to contract specifications and drawings. This shall be done prior to any inspections the landscape architect shall make to review growing medium depths or plant installation.

7.13 Should any fertilizers or chemicals be applied to soft landscapes, they must be non-toxic.

7.14 If during excavation obstructions are found to planting areas contractor to contact landscape architect for review and direction.

7.15 Contractor to notify the landscape architect if any invasive species are encountered during construction. This includes but is not limited to Equisetum, Rubus, Hedera, and Fallopia japonica. Contractor is responsible for the removal of all invasives as per the Canadian Landscape Standard.

7.16 Contractor to ensure top soil is properly placed and compacted to ensure plant material does not sink or move during warranty period.

7.17 All planting beds to have cultivated, clean landscape edge unless otherwise specified on drawings.

7.18 A lime of substantial completion all mulch beds to be weed and mushroom free.

7.19 For all landscape rock beds contractor to provide landscape fabric beneath and pressure treated timber edging unless otherwise specified on drawings.

7.20 All soil to meet Canadian Landscape Standards designations for Level 1 well groomed growing media.

### HYDROSEED AND SOD

8.1 This section covers supply and installation of sod and hydroseed for turf grass and native grass areas.

### 8.2 Reference Specifications:

Section 32.95.23 Sodding

Section 32.92.19 Hydraulic Seeding

Section 32.92.20 Seeding

Section 32.91.21 Topsoil and Finish Grading

Canadian Landscape Standards (latest edition)

British Columbia Nursery Trade Association

8.3 The contractor is responsible to have the landscape architect inspect the site for fine grading in areas where sod or seed are used as part of soft landscaping features prior to the installation of sod or seed. A minimum 7 days notice is required for this review. Preparation of sod and seed areas shall conform to BC Landscape Standards, No 1 Turfgrass and No. 1

Canadian seed standards apply as defined through BC Landscape Standards. Installation and maintenance specifications of sod and seed shall apply as defined through BC Landscape Standards.

8.4 Sod to be No.1, Premium or No. 2 Standard non-netted.

8.5 Contractor is responsible for the watering and maintenance of the sod until 55 days post substantial completion.

8.6 For turf areas seed to be Premier Pacific All Purpose Sun& Shade Mix or approved equal unless otherwise specified on drawings. Seed to be installed as per supplier specifications.

8.7 Seeding to take place in the spring (April 1st to June 15th) and fall (August 15th to September 30th). If seeding is to happen outside of these windows contractor to contact landscape architect for adjustments to maintenance requirements.

8.8 Conditions for final acceptance of turf areas are as follows:

- Seeded areas are vigorously growing, the turf is well established and has a healthy green appearance
- Seeded areas do not have any eroded or washed out areas and are free of noxious or invasive weeds.
- No surface growing medium is visible when turf has been mowed to a height of 50mm
- Seed areas have been cut a minimum of 2 times.

8.9 For all native and high-grass seeding contractor to provide 300mm depth of well-groomed top soil

8.10 For all native and high-grass seeding contractor to provide maintenance for a minimum of (1) growing season (Spring to Fall).

### IRRIGATION

9.1 This section covers supply and installation of an automatic irrigation system. If irrigation plans have not been provided contractor to provide design/build solution as per specifications below.

### 9.2 Reference Specifications:

- Irrigation Industry Association of British Columbia Standards
- Canadian Landscape Standard
- All Local Plumbing and Electrical Codes

9.3 The Contractor is responsible for the coordination with the mechanical and electrical Owner's Representative and sub-contractors as well as for coordination of all required sleeves under paved areas.

9.4 Contractor to provide all irrigation operations instructions and user manuals upon substantial completion.

9.5 Contractor to provide as-built drawings for irrigation system at time of substantial completion. As-built drawings to be provided in AutoCAD format.

9.6 Contractor to repair or replace all damaged underground services cause by work in this contract.

9.7 Contractor to confirm head-to-head coverage upon installation. If any conditions arise that do not allow for head-to-head coverage contractor to contact the landscape architect for further direction.

9.8 All irrigation work shall be done by an experienced and competent irrigation contractor having the capabilities a personnel necessary for all phases of the work specified.

9.9 The irrigation contractor shall be a member in good standing of the Irrigation Industry Association of British Columbia.

9.10 All heads to be installed with low-point drainage releases where required.



van der Zalm + associates inc.  
PAUL & CHRISTINA • CIVIL ENGINEERING  
LANDSCAPE ARCHITECTS  
100-11711 107th Avenue  
Langley, British Columbia  
V4W 0B9



## GENERAL NOTES

Drawing Title:

DP2018-29

LN-01

VDZ Project #:

No.	By:	Description	Date
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb. 20, 2019
1	AD	Issued for Development Permit	Jan. 30, 2019

### REVISIONS TABLE FOR DRAWINGS

• Original prepared, the drawing and design in the project of the client, and the design shall be the responsibility of the client. The contractor shall be responsible for the work in the project without any liability.

### REVISIONS TABLE FOR SHEET

No.	By:	Description	Date

### Project:

9520 Beckwith Road

### Location:

9520 Beckwith Road

Richmond, BC

### Drawn:

AD

### Checked:

MVDZ

### Approved:

MVDZ

### Scale:

24" x 36"

### Original Sheet Size:

24" x 36"

OVERALL SHEET LENGTH SHALL CONFORM TO THE CANADIAN STANDARD FOR THE CONSTRUCTION OF DRAWINGS. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED.

DP 2018-29 207 - 38



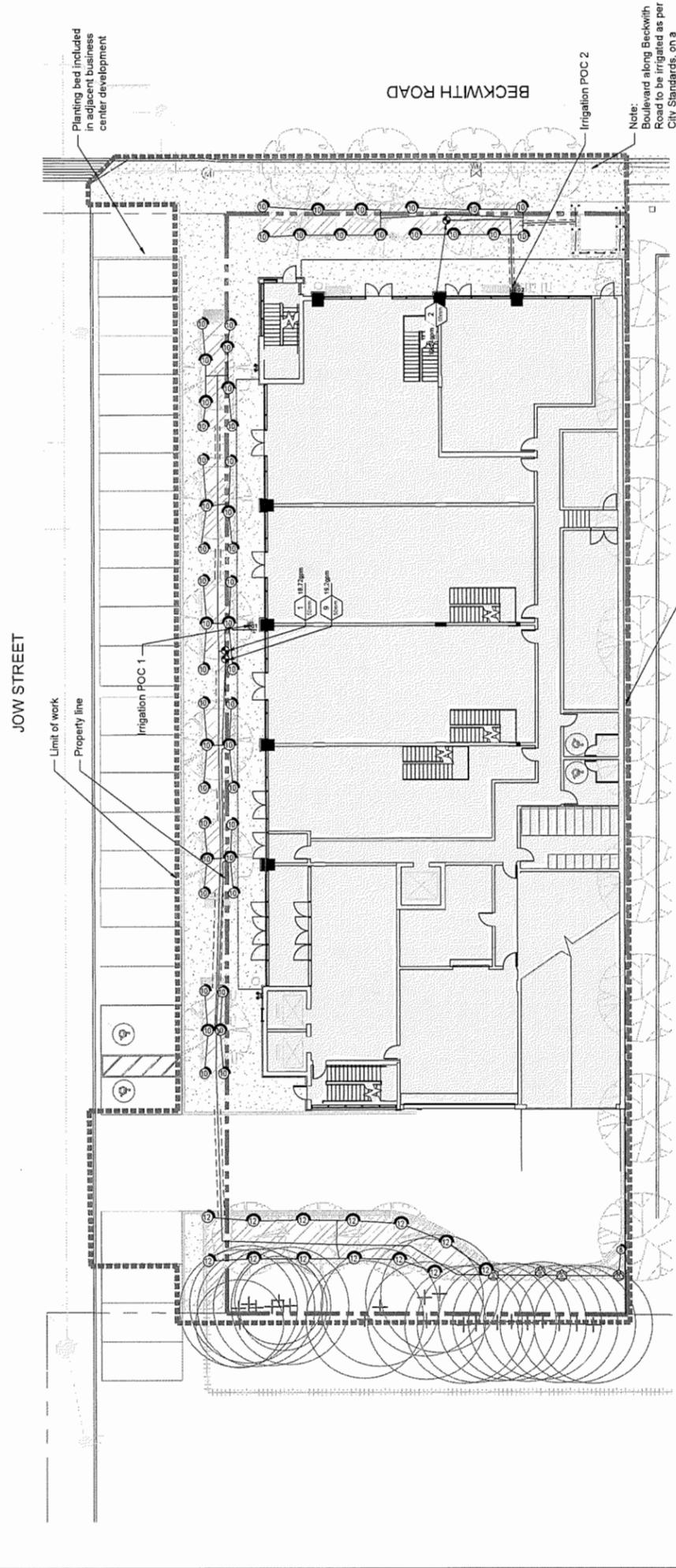
van der Zalm + associates inc.  
 Planning & Design • Landscape Architecture  
 1000 West Broadway • Vancouver, BC V6C 2E5  
 Tel: 604.681.1111 • Fax: 604.681.1112  
 Email: info@vanzalm.com • Website: www.vanzalm.com

# IRRIGATION PLAN - LEVEL 1



VDZ Project #: DP2018-29

Drawing #: IR-01



Note:  
 Boulevard along Beckwith Road to be irrigated as per City Standards, on a separate zone, tied to the on-site water supply. Design subject to servicing agreement.

## IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ABC	PEI	QCM	RADIUS
⊙	Rain Bird 1912-PRS-MP-U15 Strip Series	1	RCS	25	0.5	1,24.6
⊙	Rain Bird 1912-PRS-MP-U18 Strip Series	3	SST	25	1.1	1,24.6
⊙	Rain Bird 1912-PRS-MP-U19 Strip Series	1	90	25	0.2	2.1 m
⊙	Rain Bird 1912-PRS-MP-U12 Series	24	180	25	0.8	2.7 m
⊙	Rain Bird 1912-PRS-MP-U12 Series	28	90	25	0.4	2.7 m
⊙	Rain Bird 1912-PRS-MP-U12 Series	10	180	25	1.2	3.4 m
⊙	Rain Bird 1912-PRS-MP-U12 Series	2	90	25	0.6	3.4 m
⊙	Rain Bird 1912-PRS-MP-U12 Series	1	240	25	1.6	3.4 m

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊙	Rain Bird XST-PC Single Outlet Emitter	6
⊙	Rain Bird 1912-PRS-MP-U15 Strip Series, Flow rates of 3.8 lph/ft, and 7.6 lph/ft. Comes with a 13 mm PFT inlet x barb outlet.	3

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊙	Rain Bird PEB-PRD-100 Plastic Industrial Valve, Low Flow Operating Capability, Globe Configuration, With Pressure Regulator Module.	268.1 m
---	Irrigation Lateral Line: CPVC Schedule 40	13.2 m
---	Irrigation Mainline: PVC Schedule 40	28.8 m

## IRRIGATION NOTES:

- System is based on 25 PSI (1.72 bar) and 30 GPM (1.14 m³/h) at the connection point.
- City pressure at connection point is hovering around 80PSI, pressure regulated down to 50PSI after DCV.
- Contractor to determine pipe layout to ensure system operates as per specifications.
- Velocity in all irrigation lines not to exceed 5' per second. Contractor to adjust pipe size accordingly.
- Minimum pipe size to be 1/2" for all lines.
- All length quantities shown are approximate. Contractor to verify all quantities.
- Back Flow Prevention Valve and Water Meter as per City of Richmond standards. New service boxes sized to contain all required valves and fittings. To match City of Richmond standards.
- Each irrigation line to have 4" SCH 40 PVC leaving under all sidewalks. Steel skirting to be used under all vehicular roads and driveways.
- Contractor to coordinate with civil and mechanical engineer. Allow for proper water distribution through back valve installation.
- Contractor to verify the existence, location and elevation of all underground utilities and services prior to installation of irrigation system.
- Include all irrigation components as per manufacturer's specifications.
- All pipe to be installed at a minimum of 6" below finish grade.
- Min line to be installed at a minimum of 24" below finish grade.
- All irrigation heads in lawn turf areas to be 12" High Pop heads.
- Control wire from the controller to valves shall be a minimum 14-gauge bare type. CSA approves type PE conductors to control pressure and pipe sizing at connection point and install pressure reducer as required.
- Provide all built-in wiring for any changes made to the irrigation plan.
- The irrigation system will be inspected by the consultant upon completion. (dates as per plan).
- Contractor to ensure proper water distribution during the summer season (July - September) and 3 times a week during the shoulder seasons of June and September. Irrigation should not be required for the remainder of the year due to natural precipitation. Plants will be monitored to ensure irrigation is satisfactory and will be adjusted accordingly to the site conditions.

Scale: 1:150  
 Original Sheet Size: 24"x36"  
 Approved: MVDZ  
 Checked: MVDZ  
 Drawn: AD  
 Stamp:



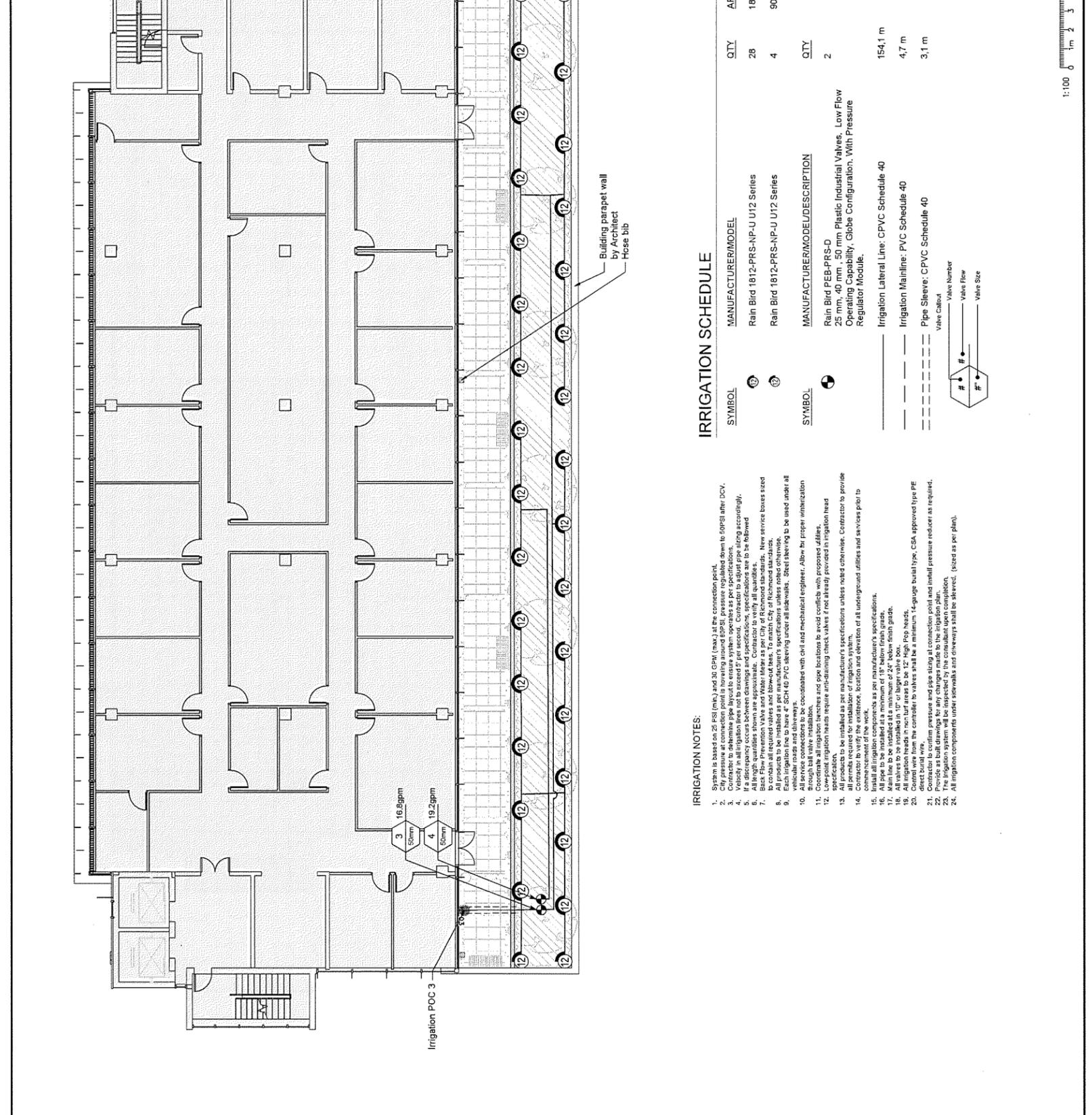
DP 18-829207 - 40

No.	By	Description	Date
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP, ADP, UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 20, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

Project: 9520 Beckwith Road  
 Location: 9520 Beckwith Road, Richmond, BC

Drawn:	Checked:	Approved:	Original Sheet Size:
AD	MV/DZ	MV/DZ	24"x36"

Scale: 1:100  
 (CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO THE CONTRACTOR AT THE PROVISIONS, INCLUDING THE ACCURACY OF THE CONTRACTOR'S MEASUREMENTS AND THE ACCURACY OF THE CONTRACTOR'S MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.)



SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
①	Rain Bird 1812-PRS-NP-U U12 Series	28	180	25	1.2	3.4 m
②	Rain Bird 1812-PRS-NP-U U12 Series	4	90	25	0.6	3.4 m

**IRRIGATION SCHEDULE**

**SYMBOL**  
 ● Rain Bird PEB-PRS-D 25 mm, 40 mm, 50 mm Plastic Industrial Valves, Low Flow Operating Capability, Slope Configuration, With Pressure Regulator Module.  
 --- Irrigation Lateral Line: CPVC Schedule 40  
 --- Irrigation Mainline: PVC Schedule 40  
 --- Pipe Sleeve: CPVC Schedule 40  
 Value Callout  
 # Value Number  
 # Value Flow  
 # Value Size

**IRRIGATION NOTES:**

- System is based on 25 PSI (min.) and 30 GPM (max.) at the connection point.
- City pressure at connection point is hovering around 80PSI, pressure regulated down to 50PSI after DCV.
- Velocity in all irrigation lines not to exceed 5' per second. Contractor to adjust pipe sizing accordingly.
- If a discrepancy occurs between drawings and specifications, specifications are to be followed.
- All fittings shall be approved. Contractor to verify all quantities. New service boxes sized to contain all required valves and blow-out tees. To match City of Richmond standards.
- All products to be installed as per manufacturer's specifications unless noted otherwise.
- Each irrigation line to have 4" SCH 40 PVC sleeving under all sidewalks. Steel sleeving to be used under all through ball valve installation.
- All service connections to be coordinated with civil and mechanical engineer. Allow for proper winterization of irrigation lines and hose bibs to be used with approved additives.
- Lowpoint irrigation heads require anti-siphon check valve if not already provided in irrigation head specification.
- All products to be installed as per manufacturer's specifications unless noted otherwise. Contractor to provide commencement of the work.
- Contractor to verify the existence, location and elevation of all underground utilities and services prior to commencement of the work.
- Install all irrigation components as per manufacturer's specifications.
- Contractor to verify the existence, location and elevation of all underground utilities and services prior to commencement of the work.
- Main line to be installed in 1" or larger valve box.
- All irrigation heads in non-turf areas to be 12" High Pop Heads.
- Contractor to confirm pressure and pipe sizing at connection point and install pressure reducer as required.
- Contractor to confirm pressure and pipe sizing at connection point and install pressure reducer as required.
- Contractor to confirm pressure and pipe sizing at connection point and install pressure reducer as required.
- The irrigation components under sidewalks and driveways shall be sleeved. (sized as per plan).

DP 18-829207 - 41



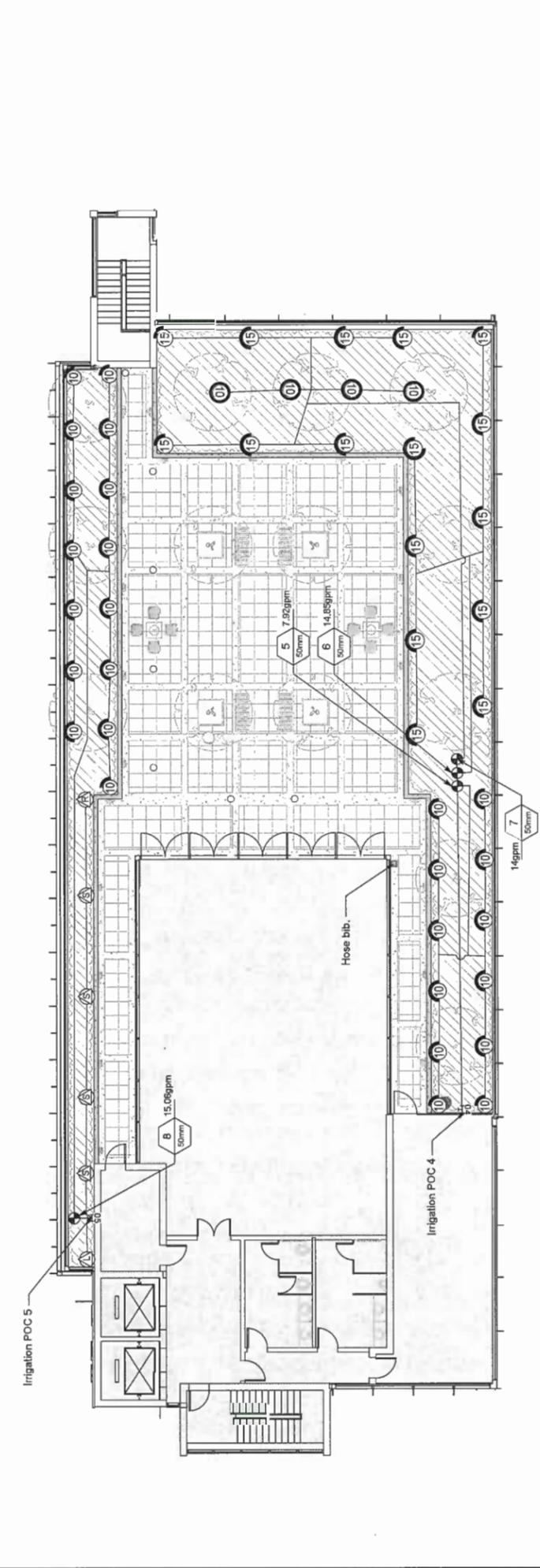
van der Zalm + associates inc.  
 1000 West Beaver Creek Road  
 Suite 100  
 Richmond, BC V6X 3E9  
 Tel: 604.273.8888  
 Fax: 604.273.8889  
 Email: info@vanzalms.com

# IRRIGATION PLAN - LEVEL 7



DP2018-29  
 VZ Project #:

IR-03  
 Drawing #:



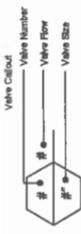
## IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
Ⓐ	Rain Bird 1812-PRS-NP-U 15 Strip Series	1	LCS	25	0.5	1,2x4,6
Ⓑ	Rain Bird 1812-PRS-NP-U 15 Strip Series	1	RCS	25	0.5	1,2x4,6
Ⓒ	Rain Bird 1812-PRS-NP-U 15 Strip Series	4	SST	25	1.1	1,2x6,1
Ⓓ	Rain Bird 1812-PRS-NP-U U10 Series	4	360	25	1.5	2,7 m
Ⓔ	Rain Bird 1812-PRS-NP-U U10 Series	22	180	25	0.8	2,7 m
Ⓕ	Rain Bird 1812-PRS-NP-U U10 Series	5	90	25	0.4	2,7 m
Ⓖ	Rain Bird 1812-PRS-NP-U U15 Series	12	180	25	1.7	4,3 m
Ⓗ	Rain Bird 1812-PRS-NP-U U15 Series	3	90	25	0.8	4,3 m
Ⓘ	Rain Bird 1812-PRS-NP-U U15 Series	1	270	25	2.5	4,3 m

## MANUFACTURER/MODEL/DESCRIPTION

Ⓐ Rain Bird PEB-PRS-D  
 25 mm, 40 mm, 50 mm Plastic Industrial Valves, Low Flow  
 Operating Capability, Globe Configuration, With Pressure  
 Regulator Module.

Ⓒ Irrigation Lateral Line: CPVC Schedule 40  
 16,7 m



## IRRIGATION NOTES:

- System is based on 25 PSI (max) and 30 GPM (max) at the connection point.
- Contractor to determine pipe burial to ensure system operates as per specifications.
- Velocity in all irrigation lines not to exceed 5' per second. Contractor to adjust pipe sizing accordingly.
- If a discrepancy occurs between drawings and specifications, specifications are to be followed.
- Backflow prevention valves and water meter to match City of Richmond standards. New service boxes sized to contain all required valves and blow-down tanks. To match City of Richmond standards.
- All products to be installed as per manufacturer's specifications unless noted otherwise.
- Contractor to verify the existence, location and elevation of all underground utilities and services prior to excavation.
- All service connections to be coordinated with civil and mechanical engineer. Allow for proper venting through ball valve installation.
- Low point irrigation header require anti-siphon check valves if not already provided in irrigation head specification.
- All products to be installed as per manufacturer's specifications unless noted otherwise. Contractor to provide all products to be installed as per manufacturer's specifications.
- Contractor to verify the existence, location and elevation of all underground utilities and services prior to commencement of the work.
- Contractor to verify the existence, location and elevation of all underground utilities and services prior to commencement of the work.
- All pipe to be installed at a minimum of 18" below finish grade.
- Main line to be installed in 10" or larger valve box. Pop heads.
- Contract note from the contractor to valves shall be a minimum 14-gauge build type, CSA approved type PE direct burial wire.
- Contractor to confirm pressure and pipe sizing at connection point and install pressure reducer as required.
- The irrigation system will be inspected by the consultant upon completion.
- All irrigation components under sidewalks and driveways shall be altered. (Noted as per plan).

Scale: 1:100  
 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

Project: 9520 Beckwith Road  
 Location: 9520 Beckwith Road Richmond, BC

Drawn: AD  
 Checked: MVDZ  
 Approved: MVDZ  
 Original Sheet Size: 24"x36"

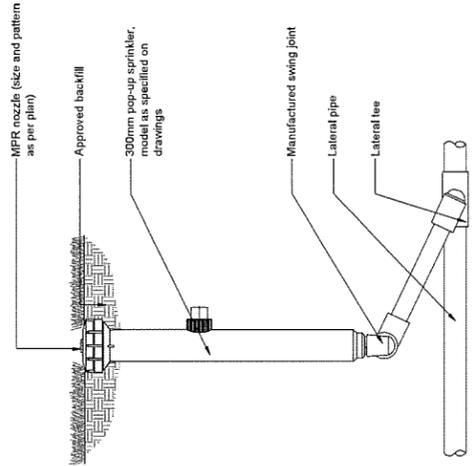
Scale: 1:100

REVISIONS TABLE FOR SHEET

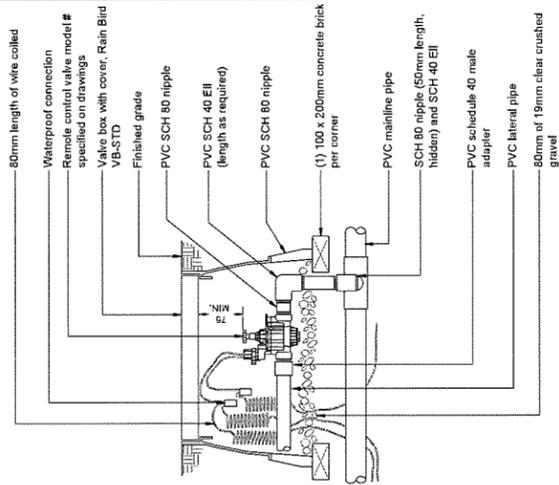
No.	By	Description	Date
1	AD	Issued for Development Permit	Jan 30, 2019
2	AD	Issued for Development Permit	Feb 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
4	AD	Issued for Development Permit	June 26, 2019
5	AD	Issued for ADP	July 4, 2019
6	AD	Issued for Development Permit	August 22, 2019
7	AD	Issued for Development Permit	Oct 11, 2019

DP 18-829207 -42

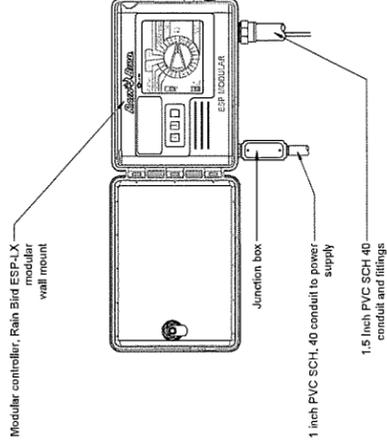
Note:  
Install sprinkler at finished grade



1 IRRIGATION SPRAY HEAD  
N.T.S.



2 IRRIGATION VALVE  
N.T.S.



3 IRRIGATION CONTROLLER  
N.T.S.



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Professional Landscaper  
Urban Design + Landscape Architecture  
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# IRRIGATION DETAILS

IR-04  
Drawing #:  
DP2018-29  
VDZ Project #:

Project:  
9520 Beckwith Road  
Location:  
9520 Beckwith Road  
Richmond, BC

Drawn:  
AD  
Checked:  
MV/DZ  
Approved:  
MV/DZ  
Original Sheet Size:  
24"x36"



Scale:  
AS SHOWN  
CONTRACTOR SHALL VERIFY ALL DIMENSIONS  
AND CONDITIONS BEFORE PROCEEDING  
WITH THE WORK. THE CONTRACTOR SHALL  
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BEFORE PROCEEDING WITH THE WORK.  
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REVISIONS TABLE FOR SHEET

No.	By	Description	Date
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 28, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb. 26, 2019
1	AD	Issued for Development Permit	Jan. 30, 2019

REVISIONS TABLE FOR DRAWINGS  
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DP 18-829207-43

# Overall Aerial View



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

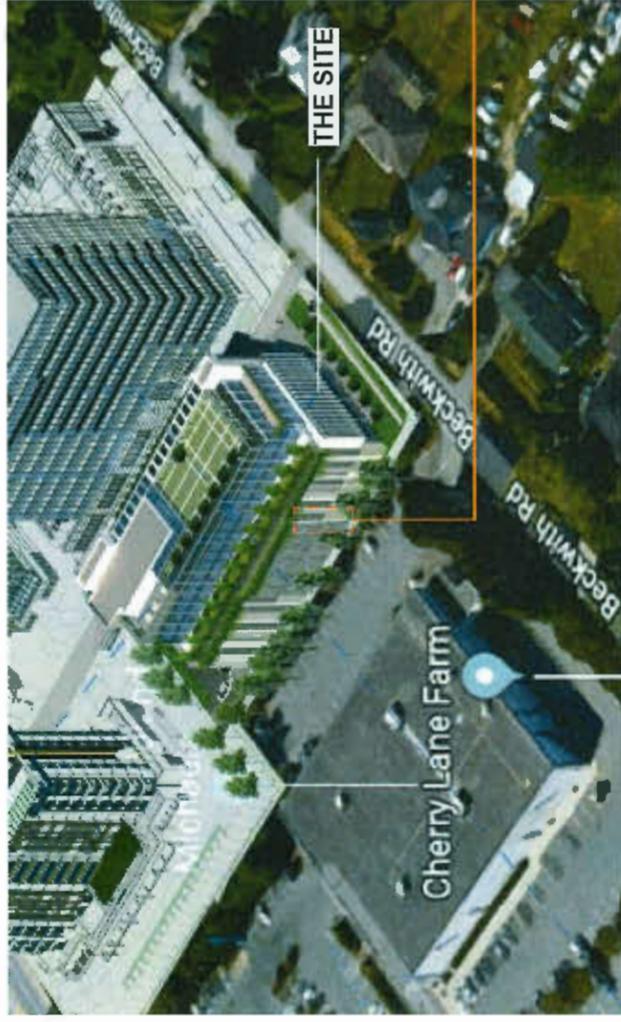
2019-10-01

9520 BECKWITH RD

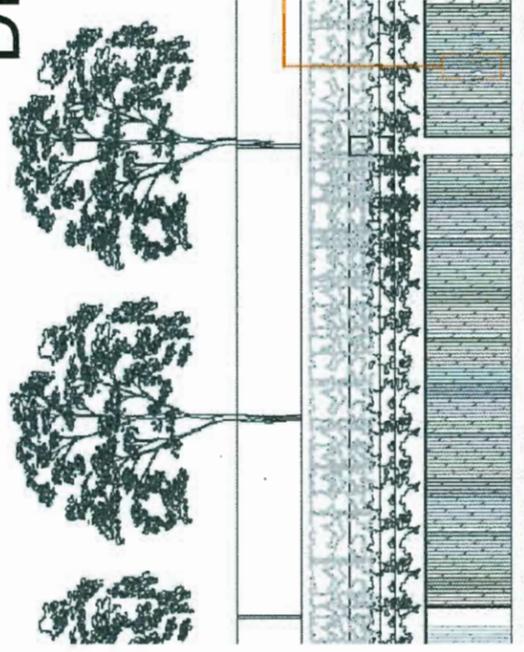
A0.02

DP 19-829207 - Reference

# DESIGN RATIONALE



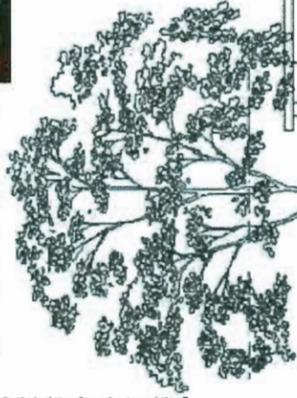
3D VIEW FROM NORTH-EAST



ELEVATION FROM ADJACENT PROPERTY  
TERRACED DECK



TEXTURED WALL  
(OR SIMILAR)



EAST ELEVATION  
VIEW FROM NEIGHBOUR SITE

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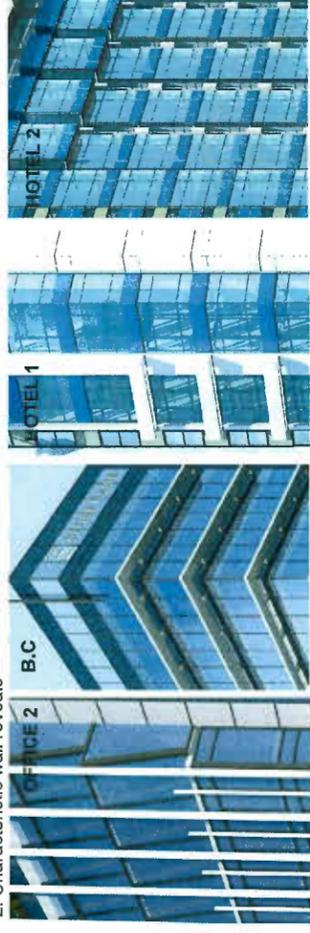
SECTION A-A  
(THROUGH PARKADE EAST WALL)

A0.03b

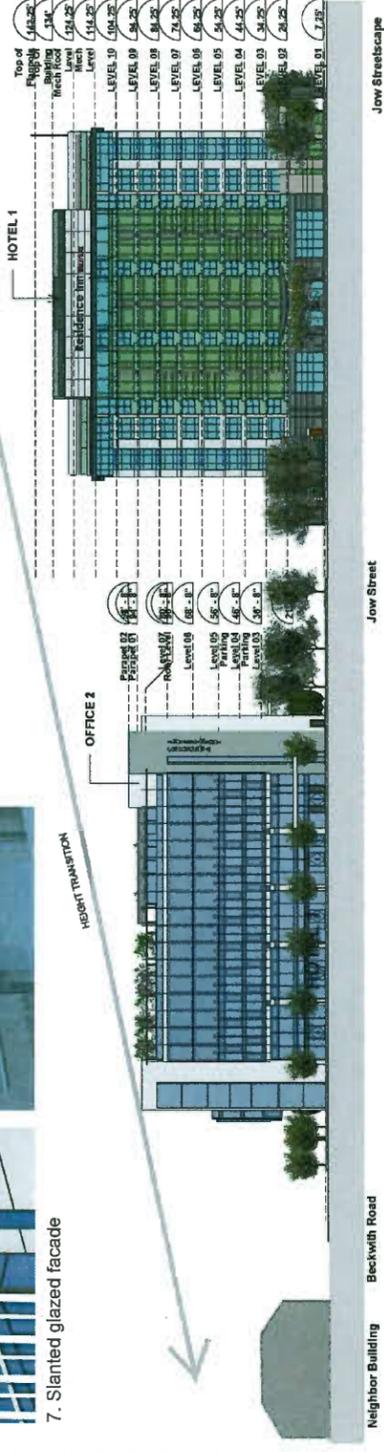
# Design Rationale



7. Slanted glazed facade



7. Slanted glazed facade



Neighbor Building Beckwith Road

Jaw Street

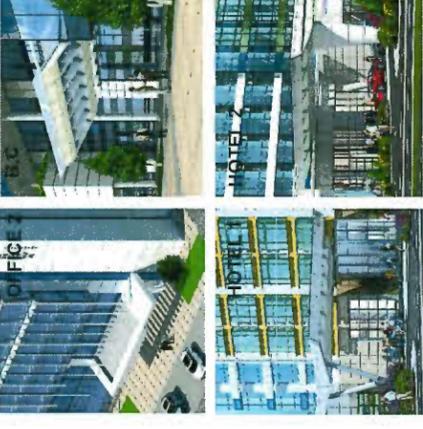
Jaw Streetscape

1. Blue glazing
4. Accentuated linear members
8. Vertical and horizontal sunshades



Boasting clearly a more streamlined industrial look, Office 2 carries over recognizable complementing, yet distinct, design elements from its neighbors - Business Centre and Hotels 1&2:

1. Blue tinted glazing demonstrates a coherent common tone
2. Characteristic wall reveals repeat the familiar motif and further reinforce the similarity
3. Prominent feature canopies create architectonic continuity between all four buildings
4. Accentuated linear members produce visual association within the ensemble
5. Extensive use of green roof and vegetation on the patios ties in with the extensive ground landscaping while contributing to the environment and wellbeing of the inhabitants
6. Setbacks, patios, and podiums add further geometric interest by breaking rigid masses
7. Use of slanted glazed facade as a unique sustainability feature of reflecting the low Western sunlight
8. Another important sustainable element of countering and breaking the sunlight is incorporation of sunshades and extensive vertical elements



3. Prominent main entrance canopies



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DP 18-829207 - Reference

# LEED



## LEED v4 for BD+C: New Construction and Major Renovation Project Checklist

Project Name: Bridgeport Lowrise  
Date: 2019-M06-26

Y	?	N	Credit	Integrative Process
1				1

Y	?	N	Credit	Integrative Process
13	1	0	0	16
				Required
				16
				1
				2
				5
				5
				1
				1
				1

Y	?	N	Credit	Integrative Process
3	4	3	0	10
				Required
				10
				1
				2
				1
				3
				2
				1

Y	?	N	Credit	Integrative Process
7	1	0	0	11
				Required
				11
				2
				2
				6
				2
				1

Y	?	N	Credit	Integrative Process
17	0	0	0	33
				Required
				33
				18
				1
				2
				3
				1
				2



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Burnaby, BC  
V5J 5M8  
T: 604-874-3715  
E: info@e3ecogroup.com

Y	?	N	Credit	Integrative Process
0	4	0	0	13
				Required
				13
				5
				2
				2
				2
				2

Y	?	N	Credit	Integrative Process
10	5	0	0	16
				Required
				16
				2
				3
				1
				2
				1
				2
				3
				1
				1

Y	?	N	Credit	Integrative Process
1	5	0	0	6
				Required
				6
				5
				1

Y	?	N	Credit	Integrative Process
0	0	0	0	4
				Required
				4
				1
				1
				1

Y	?	N	Credit	Integrative Process
52	20	3	0	110
				Possible Points: 110

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110

2019-M06-26

Attn: City of Richmond  
Re: 9520 Beckwith Road by Chungwa

This letter is written to indicate the progress of Bridgeport - Lowrise (9520 Beckwith Road, Richmond, BC) and to present the preliminary sustainability assessment and implementation of green building strategies in the project design. Furthermore, this letter confirms that E3 Eco Group has been engaged by Chungwa to consult on sustainability strategies during the project development to ensure compliance with Rezoning Considerations 19.

For Rezoning Consideration 19:

As clearly stated in the Rezoning Consideration (RZ 18-821103), the project is exempt from complying with Step Code due to its Development Permit Application date being prior to the adoption of Step Code by the City of Richmond. Therefore, a preliminary rating has been carried out following the LEED v4 rating system and sufficient points have been selected and incorporated into the design as to be equivalent to a Silver rating. A follow-up letter and report will be submitted to the City upon project completion.

Supporting Documentation:

Simplified Sustainability Checklist 2019-M06-26

Please contact the undersigned if you have any additional questions.

Kind Regards,

Kaiti Queiroz  
Sustainability Consultant  
Project Manager  
E3 Eco Group Inc.



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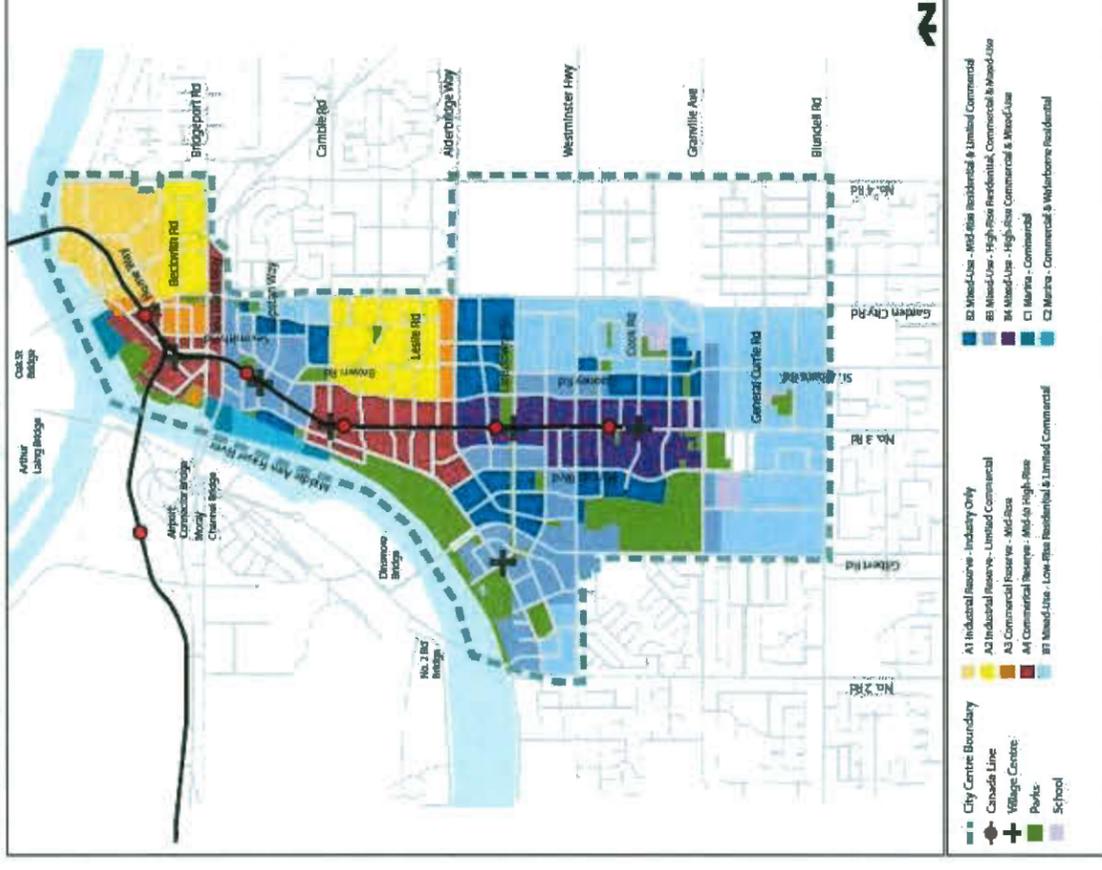
DP 18-829207 - Reference

# City Bylaw and Guidelines

City of Richmond

## Development Permit Sub-Areas Key Map

Bylaw 5041  
2013/07/12



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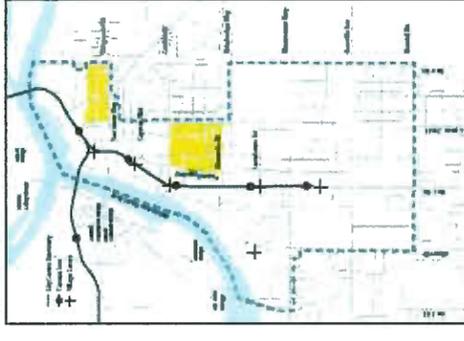
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**5740, 5760, 5800 Minoru Blvd., Richmond**  
Richmond, B.C. Canada Project Number 112938 Issue Date: FEB. 16, 2018

2019-10-01

### 3.2.2 Sub-Area A.2

Industrial Reserve - Limited Commercial



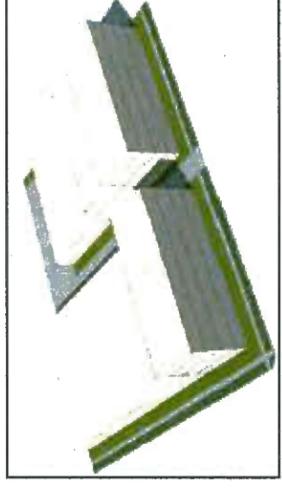
This sub-area is intended for urban business park purposes, including light industrial uses contained within a building (e.g., high technology, processing, distribution, repair), together with office and, along designated frontages, retail, hotel, and related uses, provided that the floor area of non-industrial uses on a development site does not exceed that of industrial uses.

- Predominant Land Use:**
- Industry
  - Mixed Industry/ Commercial
- Key Land Use Restrictions:**
- No non-industrial uses, except commercial (including retail and hotel along designated frontages) where its floor area does not exceed that of industry
  - No aircraft noise sensitive uses, as per City policy
- Maximum Net Density:**
- 1.2 FAR (additional density permitted where this benefits industry)
- Maximum Typical Height:**
- 25-35 m (82 - 115 ft.)

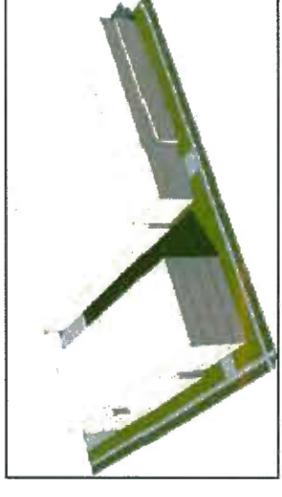
### Sub-Area A.2



Two possible mixed industrial/commercial massing options at 1.2 FAR



2 buildings, each of which is 50% industry and 50% commercial



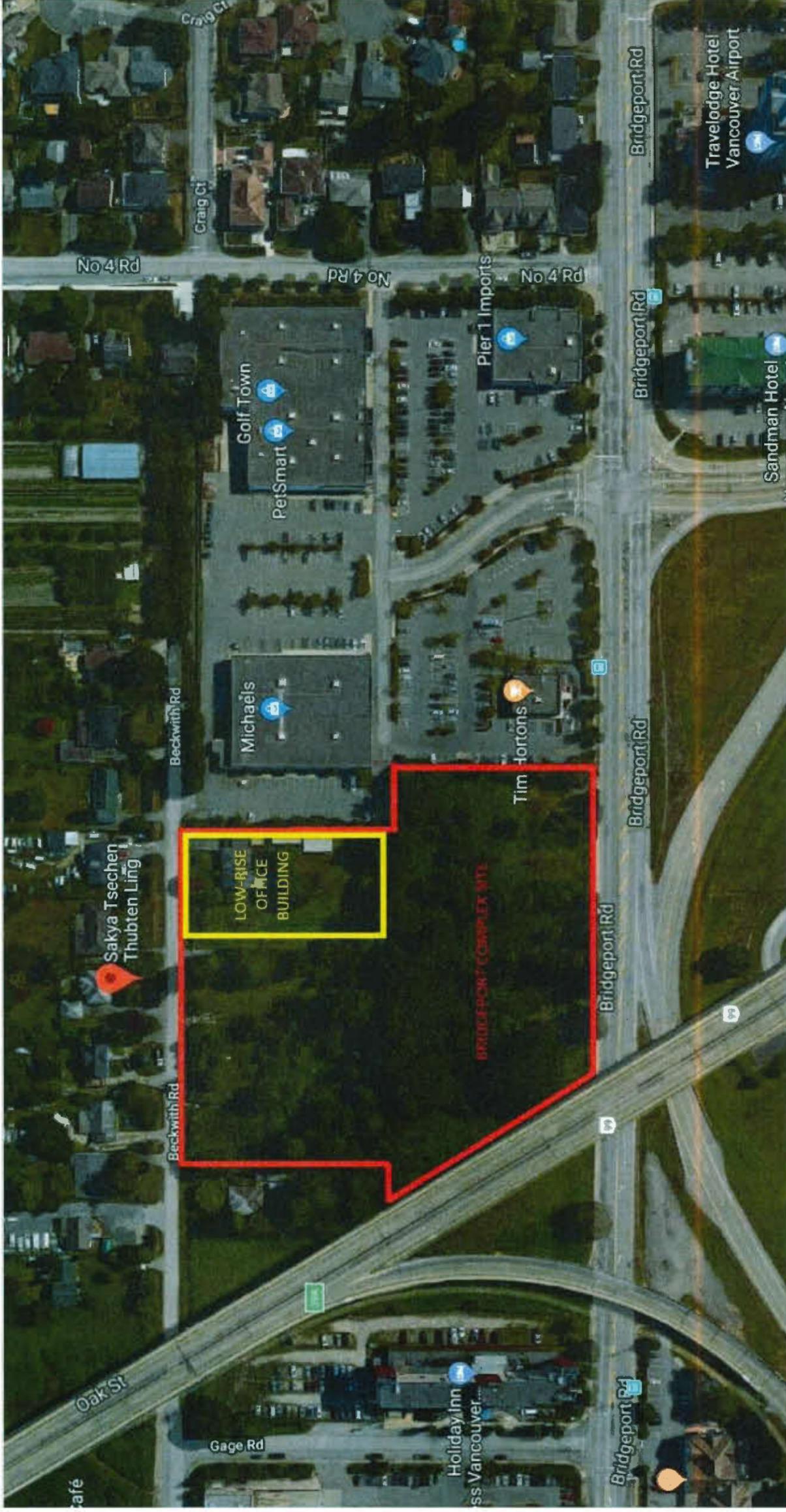
2 buildings, one of which is entirely industrial (right) and one of which is entirely commercial (left).

Original Adoption: June 19, 1995 / Plan Adoption: September 14, 2009 City Centre Area Plan 3-38

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DP 18-829207 - Reference

# Site Map



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A0.05

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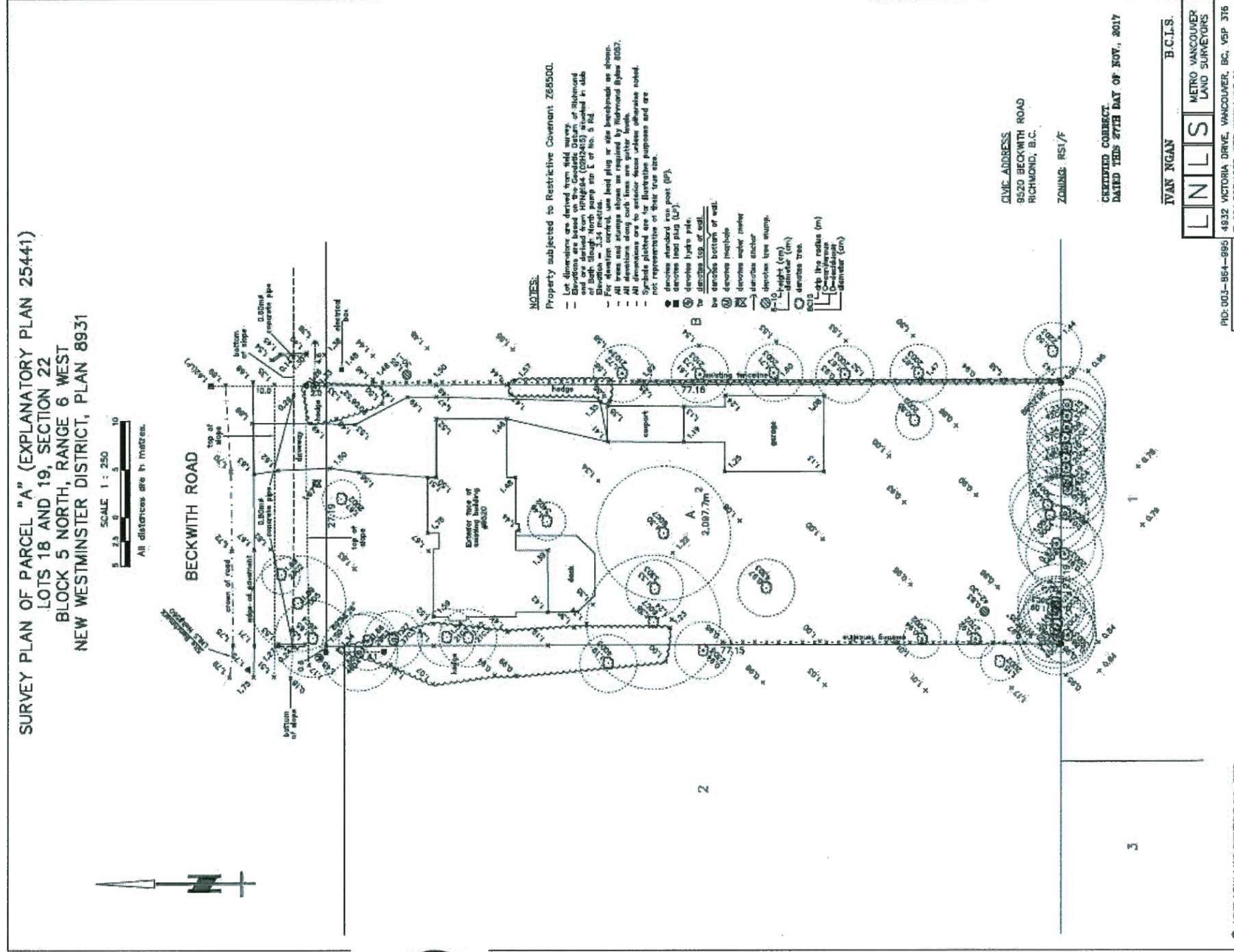


2019-10-01

9520 BECKWITH RD

**A0.06**

DP 18-829207-Reference



# Project Statistics

PROJECT STATISTICS			
9520 Beckwith Rd.			
ZONING SUB-AREA	A EA-B; SUB AREA : A2 (EXPECTING OVERLAP)		
SITE AREA (BEFORE DEDICATION) (S.F.)	22,579		
SITE AREA (AFTER DEDICATION) (S.F.)	21,994		
FAR ALLOWED (S.F.)	FSR 1.85 PER AREA-B (T4) TARGET: FSR 1.85 (T4) 40,689		
FAR PROVIDED (S.F.)	40,436		
DIFFERENCE (S.F.)	FSR 1.84 - 253		
	FSR (S.F.)	MECH./PARKING (S.F.)	GROSS (S.F.)
LOW RISE OFFICE	40,436	26,407	66,843
BIKE PARKING SUMMARY			
	CLASS 1	CLASS 2	TOTAL
LOW RISE OFFICE	REQ 9 PROV 14	REQ 12 PROV 15	REQ 21 PROV 29
LOADING SUMMARY			
	OFFICE	LIGHT INDUSTRIAL	COMMENTS
MEDIUM SIZE SPACE	1	1	1 PER EACH USE
LARGE SIZE SPACE		1	SHARED WITHIN 50M ON BECKWITH 9466

AREA BREAKDOWN					
	FSR		FAR SUB-TOTAL	NON FSR (MECH./PARKING)	GROSS FLOOR AREA
	LIGHT INDUSTRY	OFFICE			
7		2,780	2,780	159	2,939
6		9,117	9,117		9,117
5		10,409	10,409		10,409
4				13,115	13,115
3				9,878	9,878
2	7,244	180	7,404	1,140	8,544
1	8,996	1,730	10,726	2,115	12,841
TOTAL	16,240	24,196	40,436	26,407	66,843
FLOOR AREA RATIO	40.2%	59.8%	TOTAL FLOORS AREA / FAR PROVIDED		
CAR PARKING REQUIRED (BEFORE TDM REDUCTION)	13	63			
CLASS 1 BICYCLE PARKING REQUIRED	3	6	7 HORIZONTAL+7 VERTICAL PROVIDED		
CLASS 2 BICYCLE PARKING REQUIRED	3	9	15 PROVIDED ON SITE WITHIN 15M OF MAIN ENTRANCE		
NOTE	PARKING RATIO CALCULATED BASED ON THE GROSS LEASABLE FLOOR AREA PER SECTION 7.7		PARKING RATIO CALCULATED BASED ON THE GROSS LEASABLE FLOOR AREA PER SECTION 7.7		
GROSS LEASABLE FLOOR AREA	13,224	22,290			
TOTAL BUILDING SITE COVERAGE	TOTAL SITE AREA	TOTAL BUILDING COVERAGE W/PROJECTIONS	TOTAL BUILDING SITE COVERAGE PERCENTAGE		
	21,994	15,995	72.72%		



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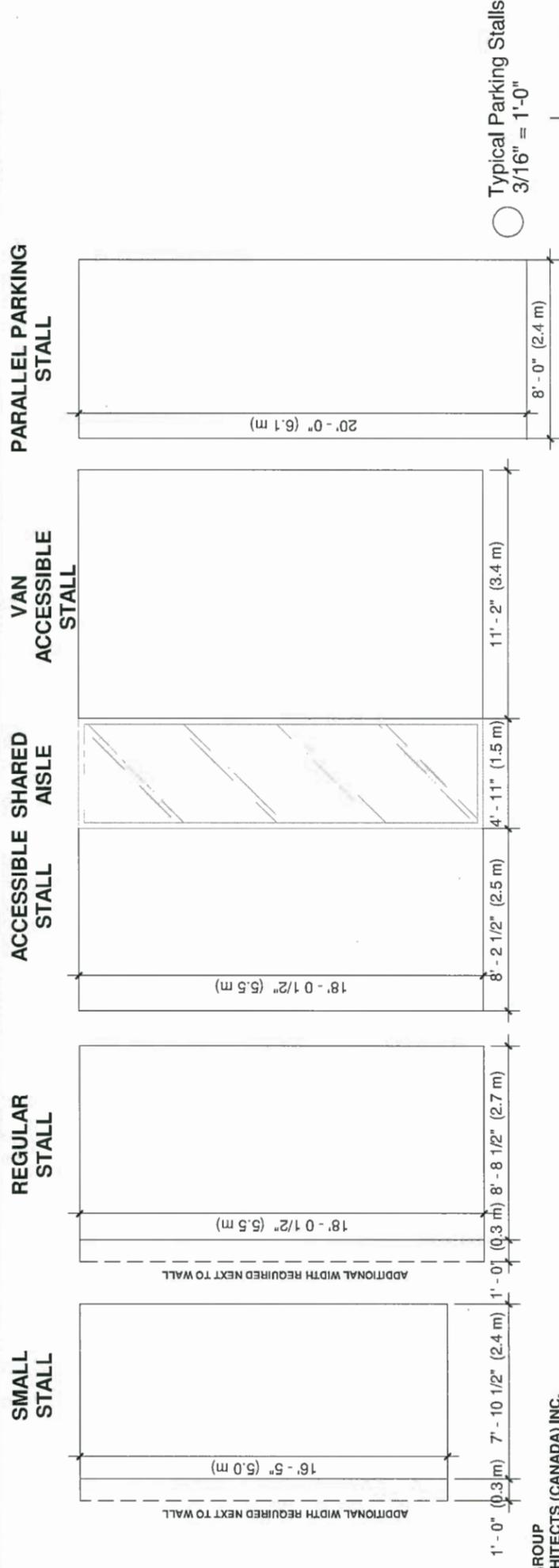
A0.08

DP 18-829207-Reference

# Parking Statistics

PARKING RATIO		PARKING BREAKDOWN		
REQUIRED BASED ON BYLAW		HC STALLS 2% OF EACH LAND USE	SMALL STALLS 50%MAX OF EACH LAND USE	REGULAR STALLS
LOW RISE OFFICE	LIGHT INDUSTRY	1	4 33%	8 67%
	OFFICE	1	21 34%	41 66%
<b>TOTAL</b>		2 (3%)	25 (33%)	49 (64%)
PROPOSED PARKING		TOTAL		
BY PHASE		76		
<b>TOTAL</b>		76		

NOTE: PARKING RATIO CALCULATED BASED ON THE GROSS LEASABLE FLOOR AREA PER SECTION 7.7 (SEE A0.08)



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DP 18-829207-Reference

# Overall Site Parking Statistics

VEHICULAR PARKING		REFERENCE: Section 7.13 Of the Bylaw						PARKING PROVIDED		TOTAL
		REQUIRED			WITH 10% TDM Reduction			BY PHASE	LOCATION	
		REQUIRED BASED ON BYLAW	REQ. PARKING BASED ON SHARED OFFICE/HOTEL REDUCTION	ALL OTHER TIMES	MON. TO FRI. 8am TO 5pm	MON. TO FRI. 8am TO 5pm	ALL OTHER TIMES			
HOTEL 01	BR. UNITS	56 (0.5 per /unit)	30% REDUCTION	0% REDUCTION	0% REDUCTION	0% REDUCTION	0% REDUCTION	56	ON SITE	67
	CONFERENCE	10		74	47	67				
	LOUNGE & BREAKFAST	(10 per /1078 SF) 8								
	SUB-TOTAL	74						56		
HOTEL 02	BR. UNITS	100 (0.5 per /unit)	30% REDUCTION	0% REDUCTION	10% REDUCTION	0% REDUCTION	0% REDUCTION	61	ON SITE	120
	CONFERENCE	15		133	84	120				
	LOUNGE & RESTAURANT	(10 per /1078 SF) 19								
	SUB-TOTAL	133						61		
BUSINESS CENTER	OFFICE SPACE	295 (3 per /1078 SF)	0% REDUCTION	15% REDUCTION	0% REDUCTION	15% REDUCTION	15% REDUCTION	249	ON SITE	249
	CONFERENCE	10		268	284	241				
	RESTAURANT	10								
	EXTERIOR PARKING							34		
	P1 PARKING							3		
P2 PARKING							55			
P3 PARKING							68			
P4 ROOF PARKING							89			
SUB-TOTAL	315							11	SHARED OFF SITE PARK. HOTEL 1	
TOTAL	522							59	SHARED OFF SITE PARK. HOTEL 2	
PROVIDED AS OFFSITE PARKING FOR 9520 BECKWITH ROAD		480		475	414	428		319		436
GRAND TOTAL										432
									(4 STALLS SURPLUS)	-4



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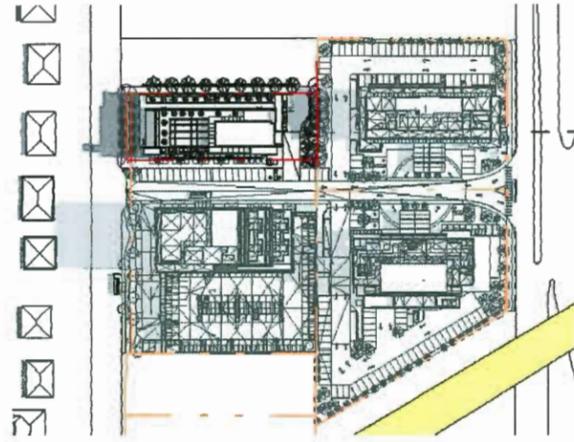
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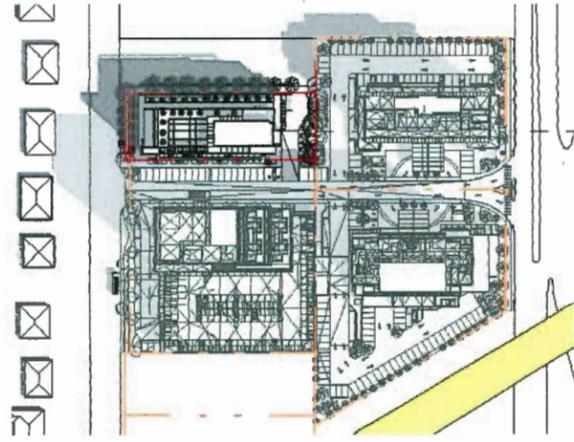
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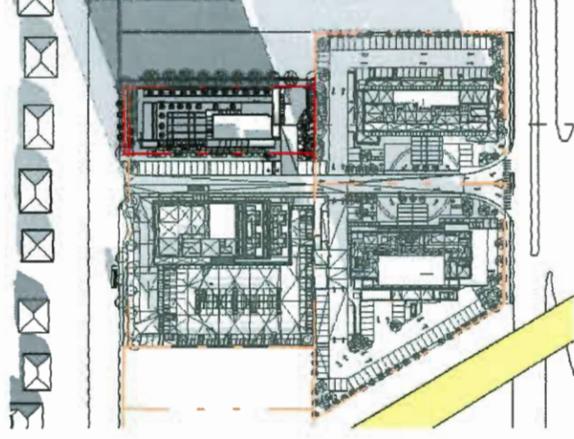
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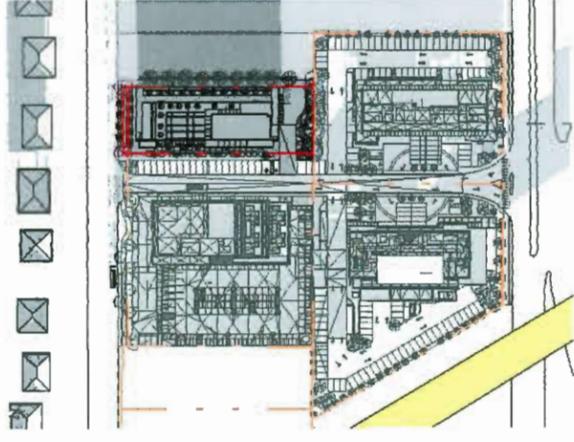
MARCH 21  
@ 10am



MARCH 21  
@ 12pm



MARCH 21  
@ 2pm



MARCH 21  
@ 4pm



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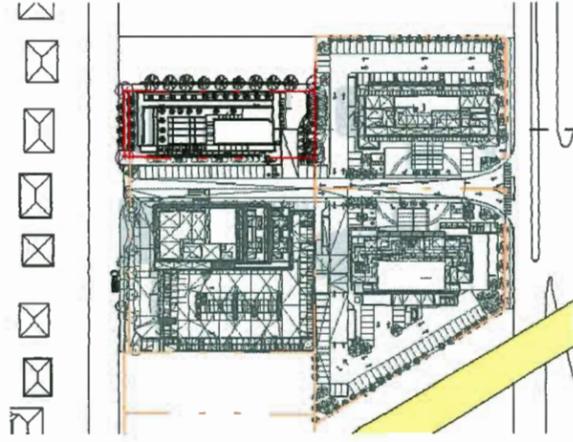
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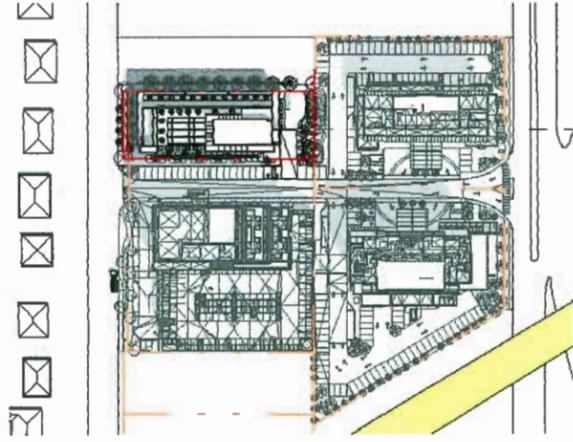
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DP 18-829207 - Reference

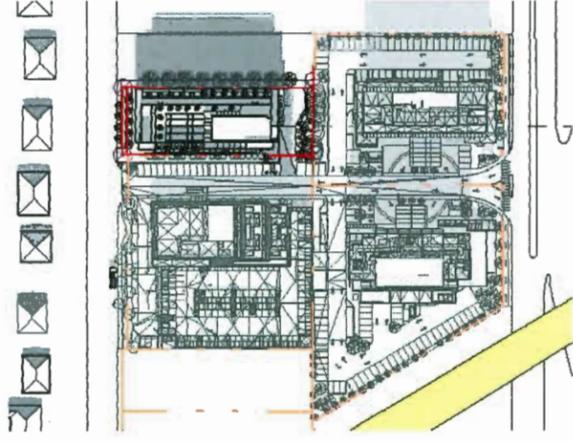
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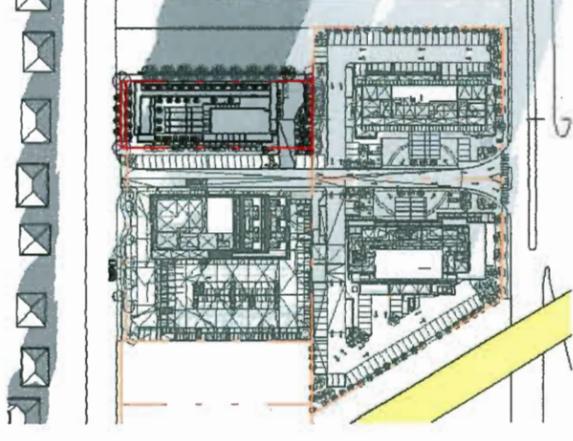
JUNE 21  
@10am



JUNE 21  
@ 12pm



JUNE 21  
@2pm



JUNE 21  
@4pm



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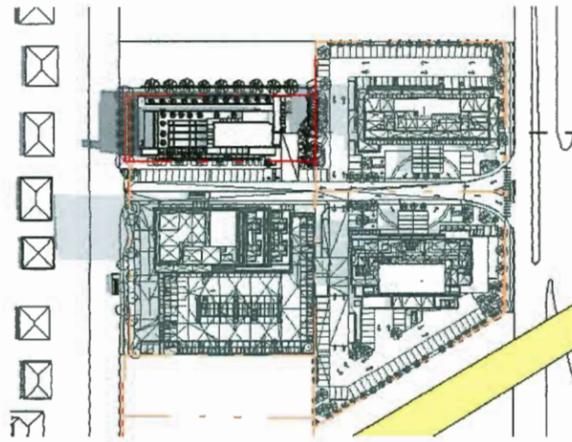
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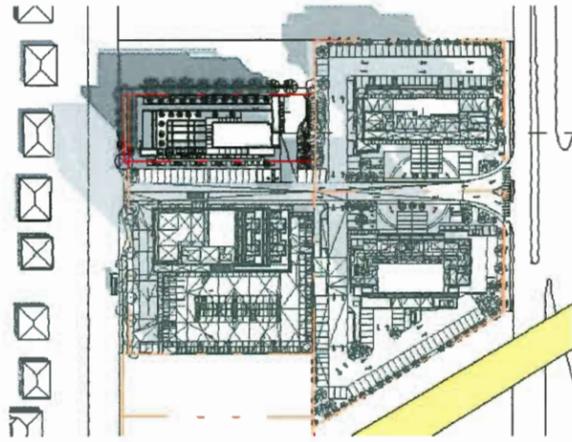
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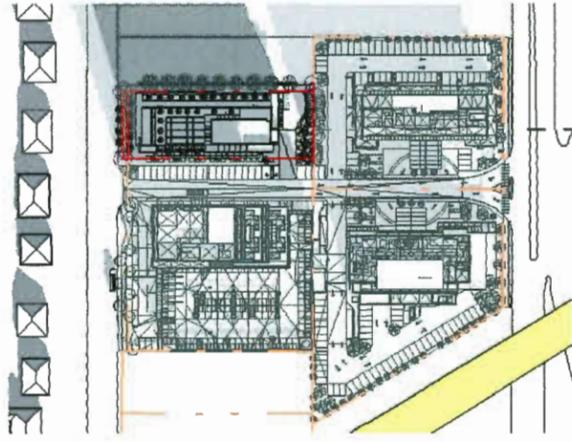
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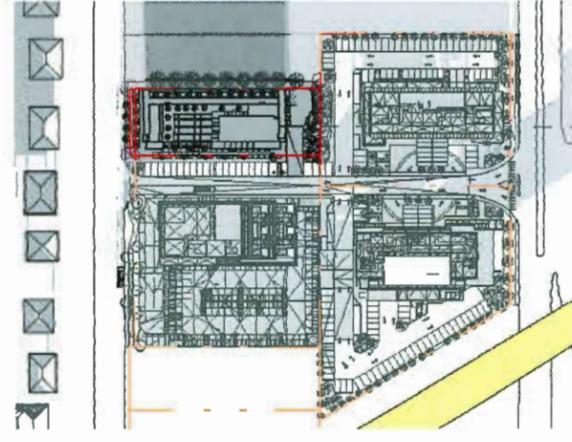
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@ 10am



SEPTEMBER 22  
@ 12pm



SEPTEMBER 22  
@ 2pm



SEPTEMBER 22  
@ 4pm



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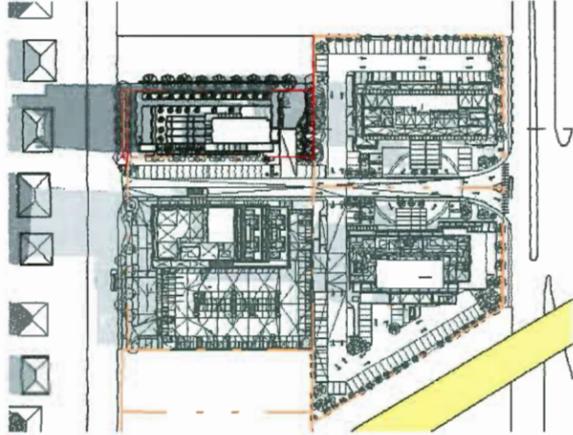
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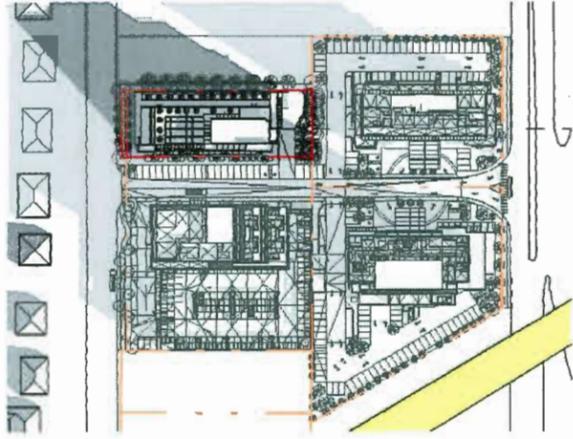
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**DP 18-829207 - Reference**

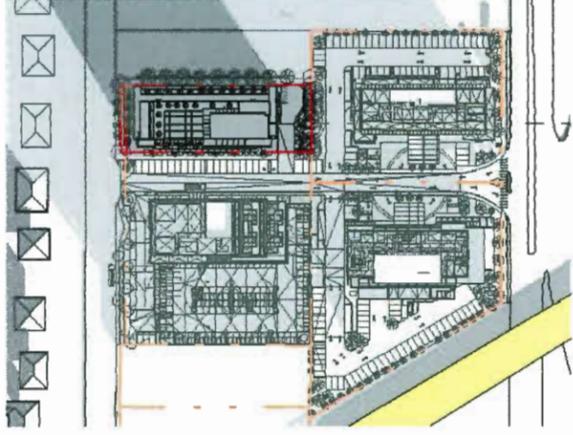
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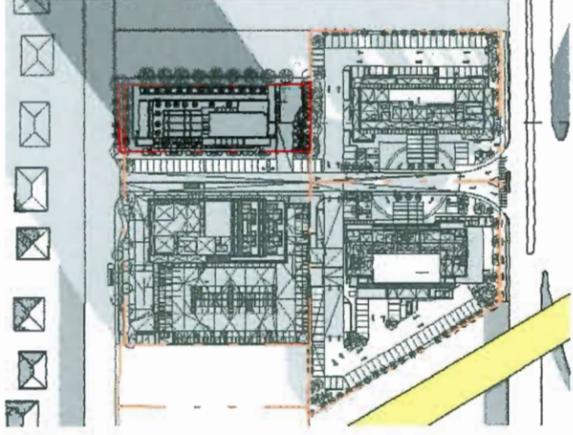
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@ 10am



DECEMBER 21  
@ 12pm



DECEMBER 21  
@ 2pm



DECEMBER 21  
@ 4pm



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**DP 18-829207-Reference**

# Current Site Images



1) AERIAL VIEW FROM BRIDGEPORT ROAD



2) EAST SIDE NEIGHBOUR



3) AERIAL VIEW TO THE NORTH NEIGHBOUR



KEY PLAN



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A0.13

# Project Location in the Neighbourhood



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**A0.14**

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# South-West View



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**A2.06**

DP 10-829207-reference

# North-West View



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2019-08-26

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A2.07

DP 18-829207-Reference

# South-East View



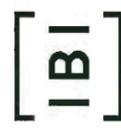
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A2.08

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# Aerial View South-West



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A2.10

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# Aerial from South-West



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**A2.11**

**DP 18-829207-Reference**

# Aerial View North-East



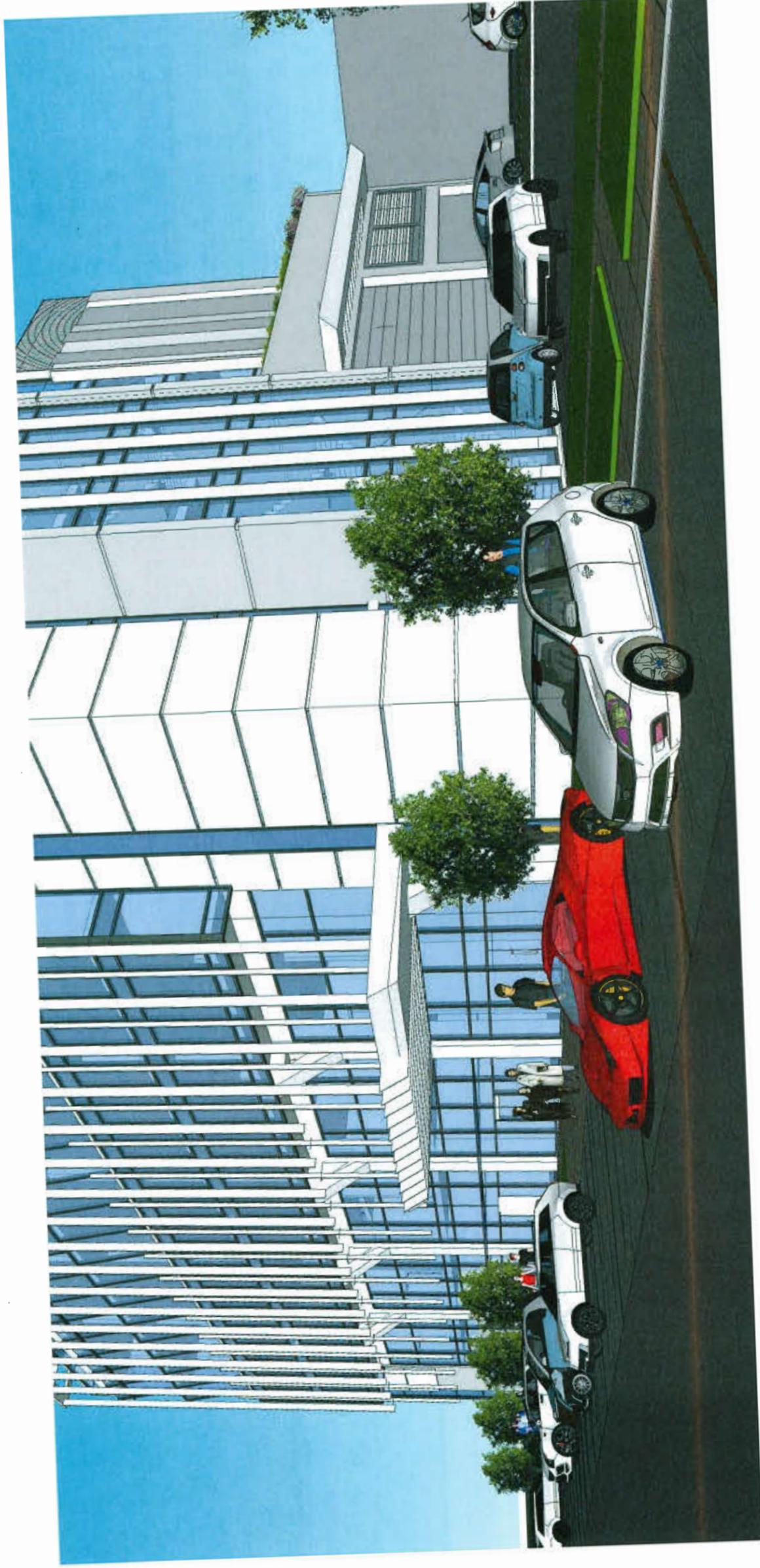
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2019-08-26

| A2.12

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# Public Realm, South-West



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**A2.14**

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# Public Realm, South



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A2.15

DP 31-829207-Reference



# QEP

June 26, 2019

City of Richmond  
6911 No. 3 Road  
Richmond, BC  
V6Y 2C1

**Attention:** Mr. Mark McMullen, Senior Coordinator – Major Projects  
**Subject:** Environmentally Sensitive Area Stage 2 Memo  
9520 Beckwith Road (2777 Jow Street), Richmond, BC.

## 1. INTRODUCTION

The Site was retained by Chunghwa Property Management Co. Ltd. (herein referred to as Chunghwa) to provide a memo to the City of Richmond describing the processes that will be undertaken to ensure that the approved 603 m<sup>2</sup> of Environmental Sensitive Area (ESA) enhancement and compensation described in the Development Permit Area (DPA) Application (dated April 4, 2019) will be successful and that the form and function of ESA will be maintained. The ESA will include areas on the ground and the two green roofs (Levels 5 and 7).

The items required to be addressed include the following:

- Invasive species management plan
- detailed site planting plan;
- construction monitoring plan;
- Irrigation plan, and,
- estimate of planting monitoring costs.

## 2. BACKGROUND

The Site at 9520 Beckwith Road (2777 Jow Street) (Photo 1) is bounded by Highway 99 to the west, undeveloped land and Bridgeport Road to the south, a commercial area to the east and residential to the north (Figure 1). The ESA in Richmond's Official Community Plan (OCP) was shown to overlap with approximately 270 m<sup>2</sup> of the southern portion of the site and is a part of a larger polygon that extends north to the City owned Bridgeport Trail, northwest to the Beckwith Road/Highway 99 overpass, and south to Bridgeport Road.

The Upland Forest ESA has been classified in the Environmental Network (EN) as a Site < 10 ha, one of the 6 key components that comprise the EN. The EN is managed by Richmond's Environmental Management Network Strategy. During the Development Permit Application phase Chunghwa designed a net gain in ESA compensation after buildout. In consultation with the City of Richmond it was noted that there will be

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mitigation measures required to protect the ESA habitat present during and after buildout. In the following sections, the items required to be addressed as part of ESA Phase 2 will be described.

## 2.1 INVASIVE SPECIES MANAGEMENT PLAN

WSP noted that invasive species are present at the Site. When created the invasive management plan will address the removal of the invasive species and the protocol for disposing of the non-native species. In addition, removing invasive plant species before the vegetation enhancement will key for successful new plant establishment.

An invasive species management plan will be developed and include removal of any invasive species specified for the ESA compensation areas and the other identified Landscape Areas outside of the ESA. Following municipal bylaws and best management practices, the Invasive Species Management Plan should include detailed descriptions on:

- Prevention
- Eradication
- Containment
- Strategic Control
- Treatment and Restoration

## 2.2 SITE PLANTING PLAN

Landscaping and habitat creation have been designed to compensate and create a net gain for the ESA loss, provide habitat for birds and pollinators and in some areas, and create pedestrian movement through the Site. The landscape planting plan is included as an attachment.

## 2.3 CONSTRUCTION MONITORING PLAN

Preparation of a site-specific Construction Environmental Management Plan (CEMP) will identify potential environmental project impacts and environmental protection measures to be implemented specifically around the ESA.

Under the CEMP the following items at a minimum should be addressed:

- Work procedures and Environmental Protection Measures consistent with the objectives of the project.
- Applicable bylaws, best management practices and regulatory requirements;
- Environmental Monitoring and Incident Reporting documentation and reporting requirements;
- Spill Response Measures including emergency spill response plan, reporting instructions, and documentation;
- Erosion and Sediment Control;
- Soil and Water Management;

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City of Richmond

WSP  
No 191-00811-00  
June 2019

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## 2.4 IRRIGATION PLAN

An Irrigation plan will be developed following the building permit submission. Generally, a high efficiency irrigation system that meets LEED water reduction credits of 50% of the baseline figures should be implemented. This would most likely involve using a drip irrigation system with a central control system, high efficiency pressure reducing valves and soil moisture and rainfall sensors.

## 2.5 ESTIMATE OF PLANT MONITORING COSTS

An estimate of monitoring costs has been included based on the understanding that yearly monitoring of the ESA plant restoration and compensation areas will be required for three to five years. The monitoring will include a yearly assessment of the form and function of the restored and enhanced ESA and the completion of a summary memo/figure. If after three years the biologist determines that the ESA is functioning as such, then the monitoring can be stopped.

## 2.6 PRE-CLEARING BIRD NEST SURVEY

The bird window within which bird nest pre-clearing surveys are required is April 1 to August 31 (Bird Studies Canada). As per the DPA Application the surveys will be completed within the first 3-4 hours after sunrise and would not be undertaken during periods of inclement weather (heavy rain) or under windy conditions (Beaufort Sea Scale > 2). The length of the survey timing will depend on the QEPs assessment of the habitat and level of bird activity and will include an area of 30 m outside the disturbance area. Observed nests should be considered active until an assessment can determine status. A no work zone will be placed around any active nests and the QEP will determine the set back. The buffer zone will depend on a number of factors including: surrounding vegetation cover, species sensitivity, existing disturbance, and the type of construction activity. If an active nest is present, a management plan can be completed to ensure that this is not disturbed by the construction.

The Biologist conducting the survey will be an experienced wildlife biologist and Qualified Environmental Professional (QEP) that has completed multiple years of pre-clearing bird surveys. A pre-clearing bird nest survey is required to ensure compliance with the federal Migratory Birds Convention Act and the provincial Wildlife Act. It is understood that if no nesting birds or nests are located the tree falling would commence within 48 hours.

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# QEP

### 3. QEP FIVE YEAR MONITORING PLAN

Based on the requirements for plant monitoring, WSP assumes that one visit per year, plus preparation will be required. Therefore, the following lump sum fee can be anticipated:

TASK	FEE
Plant monitoring (per year)	\$ 2,000
Five Year Total (plus applicable taxes)	\$ 10,000

Should environmental monitoring be required during the project, WSP can provide these services and the fees can be determined once the plans detailed in the previous sections have been completed.

### 4. CLOSURE

This memo was prepared by WSP Canada Inc. The assessment represents the conditions at the subject property only at the time of the assessment and is based on the information referenced and contained herein. The conclusions presented respecting current conditions represent the best judgment of the assessors based on current environmental standards. WSP Canada Inc. attests that to the best of our knowledge, the information presented in this report is accurate. The information in this report should be evaluated, interpreted, and implemented only in the context of the assignment. The use of this memo or any of its parts for other projects without written permission of the Client and WSP Canada Inc. is solely at the user's own risk. This report must be reviewed and approved by the relevant regulating agencies prior to being relied on for planning and/or construction purposes.

We trust that this meets your immediate requirements. Should you have any questions or require additional information or clarification, please contact the undersigned.

Yours truly,  
WSP Canada Inc.

Yours sincerely,

Christie Lucas, B.Sc, EP  
Environmental Scientist

Reviewed By:

Karen Truman, B.Sc, RP Bio.  
Senior Biologist

Attachments: Landscape Planting Plan

ESA Stage 2 Memo  
9520 Beckwith Road, Richmond, BC  
City of Richmond

WSP  
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June 2019

ESA Stage 2 Memo  
9520 Beckwith Road, Richmond, BC  
City of Richmond

WSP  
No 191-00811-00  
June 2019

### REFERENCES

Bird Studies Canada. Nesting Calendar Query Tool. 2019. Available at: <https://www.birdscanada.org/volunteer/pnw/fnest/varming.jsp?lang=en&lang=en> Accessed Jan. 2019.



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A9.02

DP 18-829207 - Reference

# Mechanical Letters



June 25, 2019

Byron Chen  
 Chunghwa Investment (Canada) Co. Ltd.  
 Unit 1800 – 570 Granville St.  
 Vancouver BC V6C 3P1,  
 Canada



July 3, 2019  
 IBI Group  
 Suite 700 – 1285 West Pender Street,  
 Vancouver, BC, V6E 4B1  
 CANADA

Attn: Roman Binenbaum,

**RE: 9520 BECKWITH ROAD, RICHMOND – ADP Submission**

VANCOUVER  
 MELBOURNE  
 SYDNEY  
 BRISBANE  
 PERTH  
 CANBERRA  
 ADELIDE  
 GOLD COAST  
 AUCKLAND  
 CHRISTCHURCH  
 WELLINGTON  
 LONDON  
 HONGKONG

Dear Byron,

**Bridgeport Low Rise Office Building – 9520 Beckwith Road (2777 Jow Street)  
 Mechanical Equipment Placement**

We are pleased to confirm that the all HVAC and DEU equipment will fit within the building and screened area on the roof.

Regards,

**NORMAN DISNEY & YOUNG**

Ben Ng  
 Associate

W:\V0850\1\085340014 - Letters\8534\_0004-03 Low Rise Office Building\_Mechanical Equipment Placement.docx

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 Tel: 604 734 8338 [www.ndy.com](http://www.ndy.com) [www.ndy.com](http://www.ndy.com)  
 807 MANAGEMENT CANADA INC. 12700002



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**DP 18-829207-Reference**

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 ADELIDE  
 GOLD COAST  
 AUCKLAND  
 CHRISTCHURCH  
 WELLINGTON  
 LONDON  
 HONGKONG  
 KUALA LUMPUR  
 (License)

Dear Roman,

We refer to the captioned project 9520 Beckwith Road, Richmond and wish to advise that the mechanical systems have been designed to the requirements of the Lulu Island Energy Company (LIEC) and is compatible for interconnection with LIEC's future District Energy Utility (DEU). Furthermore, the designs include allowances for the District Energy Utility to provide heating only.

We trust this meets with your understanding and ask that you advise if you have any questions.

Regards,

**NORMAN DISNEY & YOUNG**

Ben Ng  
 Associate

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