



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: January 8, 2020

From: Wayne Craig
Director, Development

File: DP 18-841057

Re: **Application by Onni 7811 Alderbridge Holding Corp. for a Development Permit at 7811 Alderbridge Way**

Staff Recommendation

That a Development Permit be issued which would :

1. Permit the construction of a mid-rise mixed-use development containing approximately 275 m² (2,960 ft²) of commercial space and 368 dwellings (including 21 affordable housing units) at 7811 Alderbridge Way on a site zoned "Residential/Limited Commercial (RCL2)";
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the number of required on-site large size loading spaces from one to zero.

Wayne Craig
Director, Development
(604-247-4625)

WC:sb
Att. 3

Staff Report

Origin

Onni 7811 Alderbridge Holding Corp. has applied to the City of Richmond for permission to develop a mixed-use mid-rise residential and limited commercial development at 7811 Alderbridge Way on a site zoned “Residential/Limited Commercial (RCL2)”. Key components of the proposal include:

- Second phase of the Riva development, including two buildings (building 5 and building 6) on a site adjacent to the previously approved phase west of the subject site.
- One five-storey mixed-use building; with a ground floor corner commercial retail unit, indoor amenity space, including two guest suites for the residents and five levels of apartments.
- One six-storey residential building with six levels of apartments.
- A common shared one and a half level parking structure that is partially lowered into the site.
- A maximum floor area ratio (FAR) of 2.0 and a maximum height of 25 m.
- A total floor area of approximately 30,752 m² (331,012 ft²) comprised of approximately:
 - 275 m² (2,960 ft²) of commercial space.
 - 30,477 m² (328,052 ft²) of residential space.
- Approximately 368 dwelling units, including:
 - Approximately 347 residential units.
 - 21 affordable housing low end market rental residential units.
- LEED Silver equivalent design and connection to the Oval district energy utility (DEU) system.
- Extension of Minoru Boulevard, widening of Alderbridge Way and widening of River Parkway across the site frontages.
- Provision of public rights-of-passage (PROP) statutory rights-of-way (SRW) for a pedestrian linkage along the west edge of the site, and a pedestrian greenway through the middle of site connecting to the proposed Minoru Boulevard extension and connecting to Cedarbridge Way through an existing greenway in the Phase 1 development.
- Acquisition of the City’s surplus lane lands along the west edge of the site.

The site is comprised of one lot and the abutting surplus City lane along the west edge of the site. The site is vacant and was previously developed with two single-storey industrial retail warehouse buildings and surface parking.

The site is being rezoned from the “Industrial Retail (IR1)” zone to the “Residential/Limited Commercial (RCL2)” zone for this project under Bylaw 9867 (RZ 17-765420).

An associated Servicing Agreement was secured through the rezoning. As secured through the rezoning, the subject development includes: (i) extending Minoru Boulevard along the east property line (interim width to be widened to ultimate width through future development to the east of the subject site); (ii) widening River Parkway to ultimate curb to curb width along the north property line (the north boulevard will be addressed when the future City Park develops); (iii) providing an onsite public pedestrian link from Alderbridge Way to River Parkway;

(iv) extending an on-site public pedestrian link greenway from Cedarbridge Way to connect to Minoru Boulevard; and (v) infrastructure works.

The City is currently constructing River Parkway to connect from Gilbert Road to Cambie Road (interim width until adjacent properties develop), including along the north edge of the subject site. Through the required Servicing Agreement, the applicant's required works are coordinated with the City works.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: Across the proposed River Parkway extension, an existing two-storey industrial business park development that is designated under the City Centre Area Plan (CCAP) for future City park development (Park).
- To the east: Across the proposed Minoru Boulevard extension, an existing industrial retail development that is designated under the CCAP for medium to high density and mid to high height commercial development (Urban Centre T5 (25 m), Urban Centre T5 (35 m, Maximum 33 m site specific), and Village Centre Bonus).
- To the south: Across Alderbridge Way, is an existing industrial retail development with vehicle repair and childcare uses that is designated under the CCAP for medium density mid-rise residential and limited commercial development (Urban Centre T5 (25m)).
- To the west: Phase 1 of the subject RIVA development, consisting of four six-storey residential apartment buildings, is under construction (DP 12-615424) and is subject to the same designation under the CCAP for medium density mid-rise residential and limited commercial development (Urban Centre T5 (25m)).

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on July 16, 2018. At the Public Hearing, no concerns about rezoning the property were expressed.

Staff Comments

The proposed scheme attached to this Staff Report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the "Residential/Limited Commercial (RCL2)" zone except for the zoning variance noted below.

Zoning Compliance/Variances (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the number of required on-site large size loading spaces from one to zero.

(Staff supports the proposed variance as the provision of medium size (SU-9) loading spaces is proposed to be increased from three to four medium size (SU-9) loading spaces. The proposed four medium size (SU-9) loading spaces has been reviewed by Transportation staff and will accommodate expected needs for the residential units and limited commercial area.)

Advisory Design Panel Comments

On April 24, 2019, the Advisory Design Panel (ADP) reviewed and supported the subject Development Permit application moving forward to the Development Permit Panel, subject to the applicant giving consideration to the ADP's comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 2), together with the applicant's design response in '*bold italics*'.

Analysis*Conditions of Adjacency*

- The Alderbridge Way streetscape is enhanced with a mid-block on-site north-south public pedestrian link to River Parkway along the west edge of the subject site, a commercial unit anchored at the corner of Minoru Boulevard, a residential building lobby and stairs to street fronting patios for four ground level apartments. Massing provided along this frontage consists of a five storey mixed-use building, with raised street fronting patios.
- The River Parkway streetscape is enhanced with a mid-block on-site north-south public pedestrian link to Alderbridge Way along the west edge of the subject site, residential building lobby and stairs to street fronting patios for six ground level apartments. Massing provided along this frontage consists of a six-storey residential building with raised street fronting patios.
- The Minoru Boulevard frontage is enhanced with a mid-block onsite east-west public pedestrian link greenway to Cedarbridge Way in the centre of the subject site, the commercial unit anchored at the corner of Alderbridge Way, and stairs to street fronting patios for ground level apartments. Massing provided along this frontage consists of a five-storey mixed-use building, a six-storey residential building and raised street fronting patios at the north and south ends of the block.
- Residential patios are no more than a 1.5 m higher than the fronting City sidewalk. Along Alderbridge Way and Minoru Boulevard, the patios have been lowered and stairs provided inside the units to access the lowered patios.
- Residential patios facing the mid-block onsite east-west public pedestrian link greenway, are approximately 0.3 m lower than the public walkway behind a continuous raised planter.
- The subject development will be accessed from publicly accessible on-site private roads. The north building (building 6) will be accessed from a private road connecting to River Parkway and the south building (building 5) will be accessed from a private road connecting to Alderbridge Way.

- The rezoning secured public Rights-of-Way for public access to on-site private roads, a public pedestrian link between River Parkway and Alderbridge Way, a public pedestrian link greenway between Minoru Boulevard and through Phase 1 to Cedarbridge Way. These Rights-of-Way areas will be designed and constructed via Servicing Agreement as secured by legal agreement registered on Title.
- The proposed residential buildings are setback 9.8 m (32.2 ft) from the west property line, providing landscape buffers to the neighbouring residential first phase of the Riva development and accommodating publicly accessible private roads and the mid-block on-site north-south public pedestrian link between Alderbridge Way and River Parkway.
- The development is accommodated in two U-shaped mid-rise buildings with west facing internal courtyards, to maximize distance from existing neighbouring Phase 1 residential development, and minimize overlook.

Urban Design and Site Planning

- The site is designated Urban Centre T5 (25 m) and Sub-Area B.2 Mixed use – Mid-Rise Residential & Limited Commercial. The proposed form of development takes advantage of the site's proximity to the Canada Line and provision of new City roads, private roads, pedestrian link and greenway to create a high-density urban environment that is consistent with CCAP objectives.
- The proposed building heights comply with NAV Canada building height restrictions.
- The proposal includes envelope upgrades to comply with the OCP aircraft noise policy interior noise levels and legal agreement secured at rezoning.
- The development provides visual interest in height variation with buildings of five and six storeys, and distinctive treatment for each building. Both buildings are articulated with a four-storey dark framing base element that is reflected between the two buildings, stepped massing resulting from inset upper floor areas and stacked balconies and projecting upper floor areas and stacked balconies. A commercial unit and pedestrian-oriented residential frontage of both buildings contributing towards local liveability.
- The buildings sit on a shared parking structure that accommodates one and a half levels of parking, including a level that is partially underground. The parking structure is wrapped with residential patios, residential units and the commercial unit along the three City street frontages.
- Resident-shared outdoor amenity space is mainly provided in the internal courtyards for both buildings and spills out of the building 6 courtyard to connect with a public children's play area along the public pedestrian link greenway. Indoor amenity spaces are provided on levels one and two in building 5 for the shared use of both buildings.
- Service uses, parking, loading and waste management are screened from public view.

Parking and Access

- The proposal includes 514 parking spaces within the parkade, exceeding the Zoning Bylaw requirement.
- 108 tandem parking spaces are proposed and each pair is required to be assigned to the same unit, as secured at rezoning.
- Vehicular and truck access are provided via two publicly accessible private roads required to be constructed along the west edge of the subject development site, one connecting to River Parkway and the other connecting to Alderbridge Way.

- Four medium (SU9) on-site loading spaces are provided adjacent to the private roads.
- Garbage and recycling waste management are accessed from the private roads.
- The owner is required to enter into a legal agreement, ensuring the provision of energized electric vehicle (EV) charging outlets for 100% of resident vehicle parking spaces (208V - 240V) and 10% of Class 1 secure bicycle storage spaces (120V).

Architectural Form and Character

- The proposed development includes a modern architectural expression including:
 - Maximizing the transparency of the active commercial and residential lobby uses on the ground floor.
 - Repeated four-storey masonry framing design treatment on the five and six-storey buildings to break down the vertical and horizontal massing and provide a unifying design element.
 - Building massing articulated with inset and projecting balconies, floor areas and framing elements.
 - Cladding design incorporating strong graphic patterning in white, light grey and dark grey, together providing rhythm, variety and visual interest.
- Quality materials (e.g. cementitious panel, metal panel, brick, aluminum store front frames and vinyl residential frames, and glass guardrails) contribute towards a distinct identity and urban environment.
- The colour palette is mainly white-light grey-dark grey and has red and wood grain accents. When used in combination with variations in massing and materials, helps break up the massing, reinforce the identity of the project and project a crisp, contemporary image.

Landscape Design and Open Space Design

- The CCAP encourages the provision of additional open space to enhance the urban environment. The subject development's public open space contributions are provided through public Rights-of-Way secured at rezoning.
- 2,309 m² (24,854 ft²) of residential outdoor amenity space is provided, exceeding the OCP standard of 6 m² (65 ft²) per dwelling unit, comprising a consolidated, irrigated landscaped, multi-use, outdoor space at the podium roof level mainly located in the building courtyards (outdoor patio space co-located with lounge room indoor residential amenity space), designed to provide for children's play, strolling, urban agriculture, socializing, relaxing, and outdoor dining. The proposed children's play spaces meet the DP guidelines.
- Additional landscaping is provided along the Alderbridge Way, Minoru Boulevard and River Parkway street frontages as well as the north-south pedestrian link and east-west pedestrian link greenway.
- Private outdoor patios or balconies are provided for all dwelling units.
- Existing trees were addressed in the rezoning staff report:
 - On-site Trees: Six existing trees on the subject site (one Weeping Silver Birch and five Douglas Fir trees) were identified for removal and subsequently removed for the following reasons: the Birch tree will be in conflict with the development; and the Douglas Fir trees will be in conflict with required River Parkway road works. There are no adjacent trees on the neighbouring properties.

- Off-site Trees: Three existing trees on the City's River Parkway right-of-way (Cherry, Hawthorn, and Black Cottonwood trees) were identified for removal and subsequently removed by the City as they were all in conflict with the City's River Parkway road works capital project. There are no City street trees in the Alderbridge Way frontage.
- There are a total of 61 new trees included in the Development Permit plans. The number of proposed trees exceeds the tree removal compensation ratio and contributes the proposed green spaces for the residents and neighbourhood. The new trees are secured through the required DP landscaping letter of credit.
- All landscaped areas will be irrigated.
- Prior to forwarding the subject application to Council, the applicant is required to provide to the City a Letter of Credit for landscaping in the amount of \$814,471.00, as estimated by the project Landscape Architect, to ensure that on-site landscape features are provided in accordance with the Development Permit.

Shared Indoor Amenity Space

- The CCAP requires that multi-family development comprising 200 units or more provide indoor amenity space at a standard of 2 m² (21.5 ft²) per dwelling unit. The subject development exceeds the CCAP minimum and provides for 828 m² (8,913 ft²) of indoor amenity space located over two floors in building 5, including two guest suites, gym facilities, a games room and a lounge room adjacent to outdoor amenity space.

Crime Prevention Through Environmental Design

- CPTED measures enhance safety and personal security in and around the proposed building.
- Casual surveillance is provided through minimizing blind corners, prominent residential lobby and commercial entrances, locating visitor and shared visitor/commercial parking close to the entries in the parkade, clear sightlines to exits within the parkade (mirrors where needed), glazed vestibules, and lighting in all pedestrian areas.
- Territoriality is identified through landscape treatment.
- Target hardening security features are provided at all pedestrian and parking entrances.

Accessible Housing

- The proposed development includes 349 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Sustainability Measures

- As secured through the rezoning, the project is required to connect to the City's Oval District Energy Utility, which will supply space heating and domestic hot water heating.

- The project is required to meet step 3 of the BC Energy Step Code and as part of a Building Permit application, an energy modeling report has been submitted showing compliance.

Affordable Housing

- Provision of affordable housing units was secured through the rezoning.
- The proposal includes 21 affordable housing units with a proposed floor area of 1,593 m² (17,147 ft²), including 7 one-bedroom units, 9 two-bedroom units and 5 three-bedroom units.

Public Art

- As secured through the rezoning, the applicant is participating in the City's Public Art Program with a contribution in the amount of \$265,946.46, including installing Public Art on the site.

Servicing Agreement

- As secured through the rezoning, the applicant is generally required to design and construct infrastructure improvements, road widening along Alderbridge Way and River Parkway, extend Minoru Boulevard, intersection improvements at both Minoru intersections, on-site publicly accessible private roads along the north and south edges of the site, an on-site publicly accessible pedestrian link and an on-site publicly accessible pedestrian link greenway extension.

Conclusions

The proposed development is consistent with Richmond's objectives for the subject site and Lansdowne Village as set out in the Official Community Plan (OCP), City Centre Area Plan (CCAP), and Zoning Bylaw except for the requested variance. The project will enhance the Lansdowne Village urban community through its on-site pedestrian, bicycle and private road works, street-fronting commercial space, articulated form, pedestrian-oriented streetscape, basic universal housing feature units, landscaping, and sustainable development measures, including connection to a City District Energy Utility system. The proposed development will also enhance the community through the provision of Public Art on-site, together with the developer's concurrent construction of off-site pedestrian, bicycle and road network improvements secured through the associated rezoning application. The applicant has agreed to complete Development Permit considerations (Attachment 3). On this basis, staff recommend that the Development Permit be endorsed, and issuance by Council is recommended.



Sara Badyal
Planner 2
(604-276-4282)

SB:blg

Attachment 1: Development Application Data Sheet
Attachment 2: Advisory Design Panel Meeting Minutes Annotated Excerpt (April 24, 2019)
Attachment 3: Development Permit Considerations



Development Application Data Sheet
Development Applications Department

DP 18-841057

Address: 7811 Alderbridge Way
 Applicant: Onni 7811 Alderbridge Holding Corp. Owner: Onni 7811 Alderbridge Holding Corp.
 Planning Area(s): City Centre (Lansdowne Village)

	Existing	Proposed	
Site Area	14,645.5 m ² (after 1,052.5 m ² surplus lane acquisition and 4,341.8 m ² road dedication) 15,376 m ² for the purposes of FAR (including additional road dedication for streetscape enhancement)	No Change	
Land Uses	Light Industrial	Mixed-Use	
OCP Designation	Mixed-Use	Complies	
Area Plan Designation	Urban Centre T5 (25m), Sub-area B.2	Complies	
Zoning	Residential/Limited Commercial (RCL2)	Variance noted below	
Number of Units	2 Industrial buildings	1 CRU & 368 apartments, including 21 affordable housing units	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	Max. 2.0, including AH (30,753.2 m ²)	2.0, including AH (30,752 m ²)	None permitted
Lot Coverage	Max. 90%	44%	None
Setback – Alderbridge Way	Min. 3 m	3 m	None
Setback – Minoru Boulevard	Min. 3 m	3 m	None
Setback – West Side Yard	Min. 0 m	9.8 m	None
Setback – River Parkway	Min. 3 m	3.4 m	None
Height	Max. 25 m	22.4 m	
Lot Size	Min. 2,400 m ²	14,645.5 m ²	None
Lot Dimensions	Width: Min. 40 m Depth: Min 40 m	Width: Min. 79.2 m Depth: Min 171.8 m	None
Parking Spaces:	City Centre Zone 2: Resident: 417 Affordable Housing: 19 Visitor/Commercial: 74 Total: 510	Resident: 420 Affordable Housing: 19 Visitor/Commercial: 75 Total: 514	None
Parking – Accessible Spaces	Min. 2%	2.3% (12 spaces)	None
Parking – Small Car Spaces	Max. 50%	49% (250 spaces)	None
Parking – Tandem Spaces	Permitted	108 spaces	None
Off-Street Loading	3 medium truck (SU-9) spaces 1 large truck (WB-17) space	4 medium truck (SU-9) spaces 0 large truck (WB-17) space	No WB-17 space
Bicycle Storage	461 class 1 secure bike spaces 76 class 2 bike rack spaces	461 class 1 secure bike spaces 76 class 2 bike rack spaces	None
EV (Energized) Charging for Cars	100% Resident parking spaces	100% Resident parking spaces	None
Amenity Space – Indoor	Min. 736 m ²	828 m ²	None
Amenity Space – Outdoor	Min. 3,673 m ²	3,819 m ²	None

**Annotated Excerpt from the Minutes from
Advisory Design Panel Meeting
April 24, 2019**

**DP 18-841057 – 2-BUILDING 6-STOREY CITY CENTRE RESIDENTIAL LIMITED
COMMERCIAL MIXED USE DEVELOPMENT**

ARCHITECT: Yamamoto Architecture
LANDSCAPE ARCHITECT: Connect Landscape Architecture
PROPERTY LOCATION: 7811 Alderbridge Way

Applicant's Presentation

Piyush Sanghadia, Yamamoto Architecture, and David Stoyko, Connect Landscape Architecture, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the presentation of the project and the work of the design team; also appreciate the design progression from the previous phase; support the simplified, edited and different treatment and better for it; support the different façades of the two proposed buildings – ***Noted.***
- appreciate the proposed materials palette and the rationale for creating iconic corners on the site; however, consider simplifying the corner treatments to make these more successful – ***Considered.***
- agree with staff comment that the two-storey fifth and sixth floors setback in building 6 appear monolithic; consider providing more architectural interest through (i) addition/variation of materials, (ii) design development of the roofline, e.g., installing weather protection on top of the balconies, or (iii) subtle variation of colours – ***Design Improved with top floor balcony framing which introduces massing, material and colour variety as well as roofline articulation.***
- look at the discrepancy of patio sizes along the public greenway with large patios on the south side as opposed to small patios on the north side – ***Considered. South side patios are larger to take advantage of sun exposure.***
- appreciate the progression of the design of the overall project; the Alderbridge Way elevation of the project is best resolved – ***Noted.***

- pedestrian traffic is expected to be significant along the commercial and lobby spaces on Alderbridge Way; consider installing a weather protection canopy connecting the resident entry lobby covered area and the commercial covered area at the southeast corner of building 5 consistent with the overall design of the building – ***Considered. The two entrances are separated by a bicycle rack area and kept as independent elements as an uncomplicated way to help pedestrians identify each entrance.***
- a corner location for the building 6 lobby at the northeast corner is preferred; if difficult, consider further articulating the entry lobby to make it more apparent from the corner through recessing the first floor level at the corner and/or installing a canopy above – ***Design improved through articulation, materials and colour for contrast to strengthen the residential lobby entrance identity.***
- consider relocating the access stair to the residential unit at the northeast corner of building 6 closer to the corner to provide a buffer to the entry lobby – ***Design improved, stair shifted.***
- appreciate the model and the applicant’s presentation of the project – ***Noted.***
- concerned that residents will have to go through stairs from the residential loading bays in building 6 to get into the courtyard – ***Building 6 courtyard can be accessed from the building 6 loading bays in three ways: adjacent courtyard stairs, courtyard ramp, and parkade elevator.***
- proposed overhead lighting along public greenway is surprising; consider installing low-level lighting – ***The proposed greenway is an extension of the previously approved and constructed greenway through RIVA Phase 1 and the same pedestrian light standard lighting will be provided in the proposed Phase 2.***
- ensure adequate daylight penetration into the inner elbow units of the proposed U-shaped buildings – ***Balconies and canopies around these areas have been proposed to allow natural lighting into the units while still providing the weather protection needed.***
- appreciate the applicant’s clear and thorough presentation – ***Noted.***
- agree with staff comment that the proposed courtyard landscape design has a significant amount of hard landscape materials; applicant could do more to increase the amount of soft landscape – ***Design improved with additional soft landscape in the building 5 courtyard.***
- consider installing soft landscaping to the proposed hardscaped area east of the children’s play area on level 2 courtyard of building 5; applicant could install natural play elements and incorporate some planting; also consider incorporating low planting in the lower seating area – ***Duplicate comment addressed above.***
- appreciate the children’s play area located adjacent to the east-west public greenway; however, consider breaking down the proposed hard edge treatment and introducing a softer edge treatment to allow for more play space for children and better integration with the proposed planting in the area – ***Design improved. Edges of the play area have been softened and broken up by introducing a boulder edge and more planting at the corner.***
- consider installing green roofs on the proposed development to mitigate urban heat island effect – ***Considered. Intensive green roof treatment provided on top of concrete parking structure in building courtyards, east-west greenway and north-south pedestrian link.***

- agree with Panel comment for the applicant to consider installing bollard lighting along the public greenway – ***Duplicate comment addressed above.***
- appreciate the applicant’s presentation of the project; support the proposed sustainability features of the project designed to meet step 3 of the BC Energy Step Code – ***Noted.***
- agree with Panel comment for the applicant to consider introducing more planting on building 5 level 2 courtyard to provide more visual interest and mitigate urban heat island effect – ***Duplicate comment addressed above.***
- wiggling of the public greenway appears arbitrary; consider reinforcing the curved portions of the greenway with berms and planting to provide a rationale for the proposed design of the public greenway – ***The Greenway curve has been reduced to a very gentle curve and the route is much more straight than before. Provision of a gentle curve is preferred for continuity with the curved path provided in the adjacent Phase 1 greenway. The design is per the City guidelines.***
- appreciate the overall design and presentation of the project – ***Noted.***
- appreciate the design of the project and the applicant’s clear presentation; also appreciate the proposed colour palette; overall, the project is successful – ***Noted.***
- appreciate the presentation of the project; wiggling of the public greenway may not be pronounced; however, it may pose a challenge to people with visual impairment; consider incorporating directionality elements into the surface treatment of the public greenway – ***Duplicate comment addressed above. In addition, the design meets ADA requirements.***
- appreciate the project – ***Noted.***
- appreciate the applicant incorporating public art at an early stage of the project; public art will improve the pedestrian realm of the project – ***Noted.***
- the scale and design of the proposed development is preferable than a tower form as it is dense, urban and human friendly, and has a great relationship to the street; would like to see more of this type of project in the City – ***Noted.***

Panel Decision

It was moved and seconded

That DP 18-829234 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



Address: 7811 Alderbridge Way

File No.: DP 18-841057

Prior to forwarding this Development Permit application to Council for approval, the owner must complete the following requirements:

1. (**Landscape Security**) Submission of a Letter-of-Credit for landscaping in the amount of \$855,741.00 as specified on the landscape cost estimate provided and sealed by the project Landscape Architect (including materials, installation and 10% contingency).
2. (**Electric Vehicle (EV) Charging Infrastructure for Vehicles & "Class 1" Bicycle Storage**) Registration of a legal agreement on title, securing the owner's commitment to voluntarily provide, install, and maintain EV charging infrastructure within the buildings on the subject site. More specifically, the minimum required rates for EV charging infrastructure shall be as indicated in the following table or as per the Official Community Plan or Zoning Bylaw rates in effect at the time of Development Permit* approval, whichever is greatest.

User/Use	Energized Outlet – Minimum Permitted Rates	
	Vehicle Parking (1)	"Class 1" (Secured) Bike Storage (2)
Market Residential (i.e. resident parking & bike storage)	1 per parking space (for exclusive use)	1 per each 10 bikes or portion thereof in a bike storage room or locker (which Energized Outlet shall be located to facilitate shared use with bikes in the room/locker)
Affordable Housing (i.e. resident parking & bike storage)	1 per parking space (for exclusive use)	
Market Rental (i.e. resident parking & bike storage)	1 per parking space (for exclusive use)	
Non-Residential (i.e. tenant/employee bike storage)	N/A	1 per each 10 bikes or portion thereof in a bike storage room or locker (which Energized Outlet shall be located to facilitate shared use by bikes when secured in the room/locker)

- i) "Vehicle Parking" "Energized Outlet" shall mean all the wiring, electrical equipment, and related infrastructure necessary to provide Level 2 charging (as per SAE International's J1772 standard) or higher to an electric vehicle.

NOTE: Richmond's Electric Vehicle Charging Infrastructure Bylaw provides that, where an electric vehicle energy management system is implemented, the Director of Engineering may specify a minimum performance standard to ensure a sufficient rate of electric vehicle charging. For the purposes of the Bylaw, electric vehicle energy management system means a system to control electric vehicle supply equipment electrical loads comprised of monitor(s), communications equipment, controller(s), timer(s), and other applicable devices.

- ii) "Class 1 (Secured) Bike Storage" "Energized Outlet" shall mean an operational 120V duplex outlet for the charging of an electric bicycle and all the wiring, electrical equipment, and related infrastructure necessary to provide the required electricity for the operation of such an outlet.

Prior to a Building Permit* being issued, the owner is required to complete the following:

1. (**Legal Agreements**) Confirmation of compliance with Rezoning and Development Permit legal agreements.
2. (**Accessibility, Sustainability and Amenities**) Incorporation of accessibility, sustainability, amenity and Affordable Housing measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. (**Aircraft Noise Sensitive Development**) Confirmation that the proposed development is designed in a manner that mitigates potential aircraft noise to the proposed dwelling units, including submission of:
 - a) Acoustic report prepared by a registered professional confirming design achieves the following CMHC interior noise level guidelines:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

b) Mechanical report prepared by a registered professional confirming design achieves the ASHRAE 55-2004 “Thermal Environmental Conditions for Human Occupancy” standard for interior living spaces.

- 4. (**Construction Parking and Traffic Management Plan**) Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- 5. (**Latecomer works**) If applicable, payment of Latecomer Agreement charges, plus applicable interest associated with eligible latecomer works.
- 6. (**Construction Hoarding**) Obtain a Building Permit* (BP) for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact the Building Approvals Department at 604-276-4285.*

Note:

- * This requires a separate application.
- All Builders Liens on the subject lands must be removed before the subdivision and registration of covenants can occur.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner, but also as covenants pursuant to Section 219 of the *Land Title Act*.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, Letters of Credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on-site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

Signature

Date



No. DP 18-841057

To the Holder: ONNI 7811 ALDERBRIDGE HOLDING CORP.
Property Address: 7811 ALDERBRIDGE WAY
Address: C/O MARCUS JAHENY
550 ROBSON STREET, SUITE 300
Vancouver, BC V6B 2B7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the number of required on-site large size loading spaces from one to zero.

Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #47 attached hereto.

Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.

As a condition of the issuance of this Permit, the City is holding the security in the amount of \$855,741.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 18-841057

To the Holder: ONNI 7811 ALDERBRIDGE HOLDING CORP.
Property Address: 7811 ALDERBRIDGE WAY
Address: C/O MARCUS JAHENY
550 ROBSON STREET, SUITE 300
VANCOUVER, BC V6B 2B7

The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

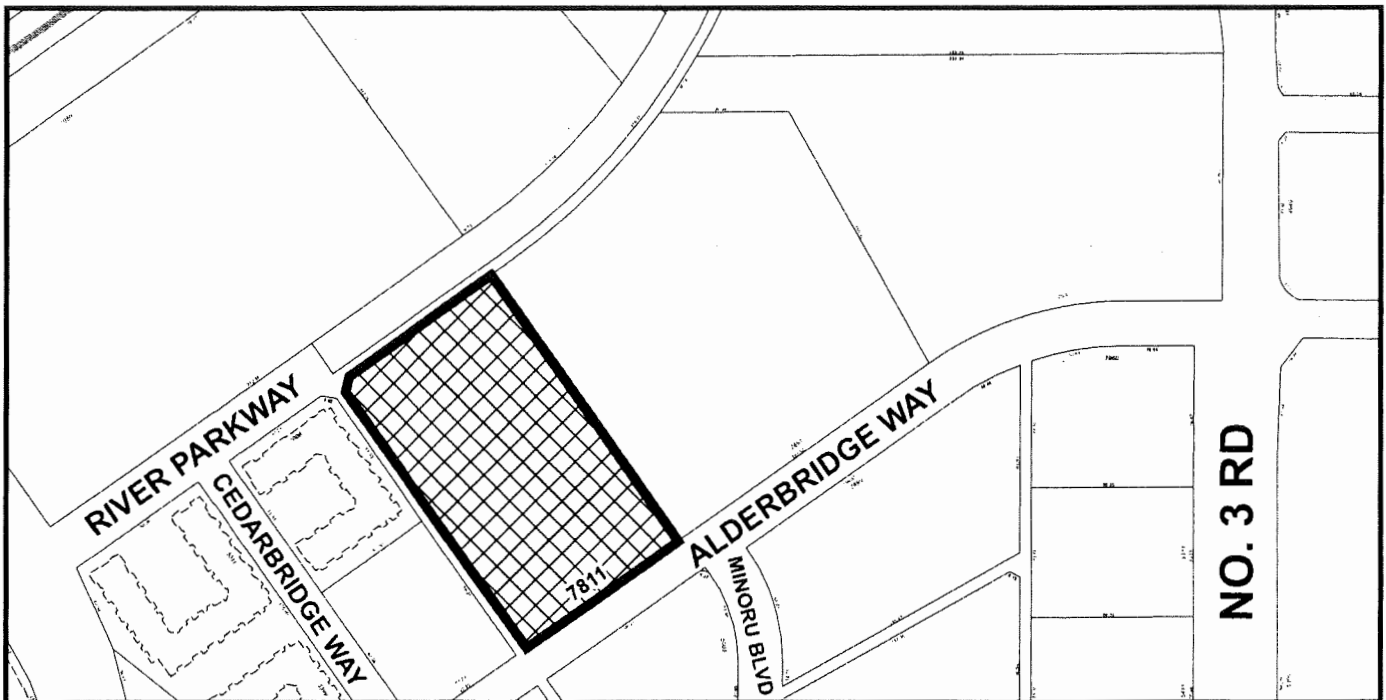
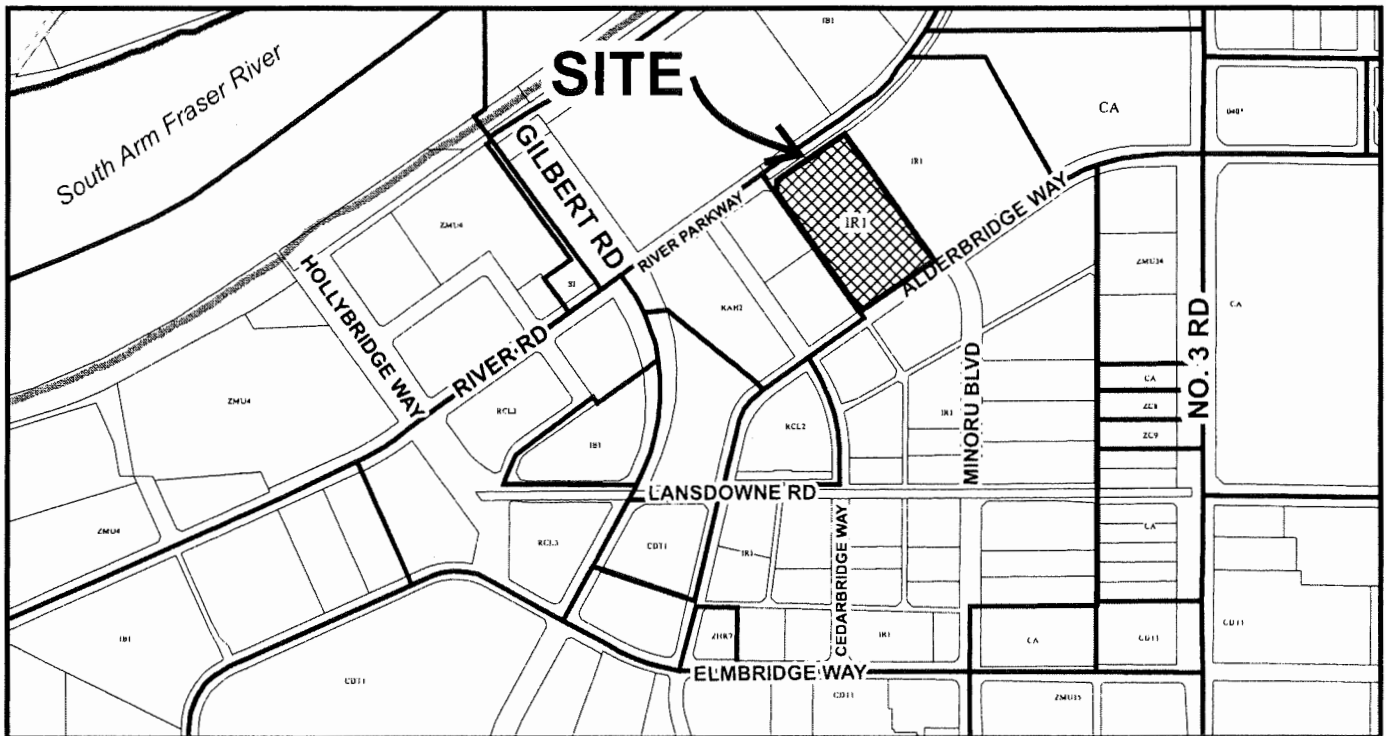
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 18-841057
SCHEDULE "A"

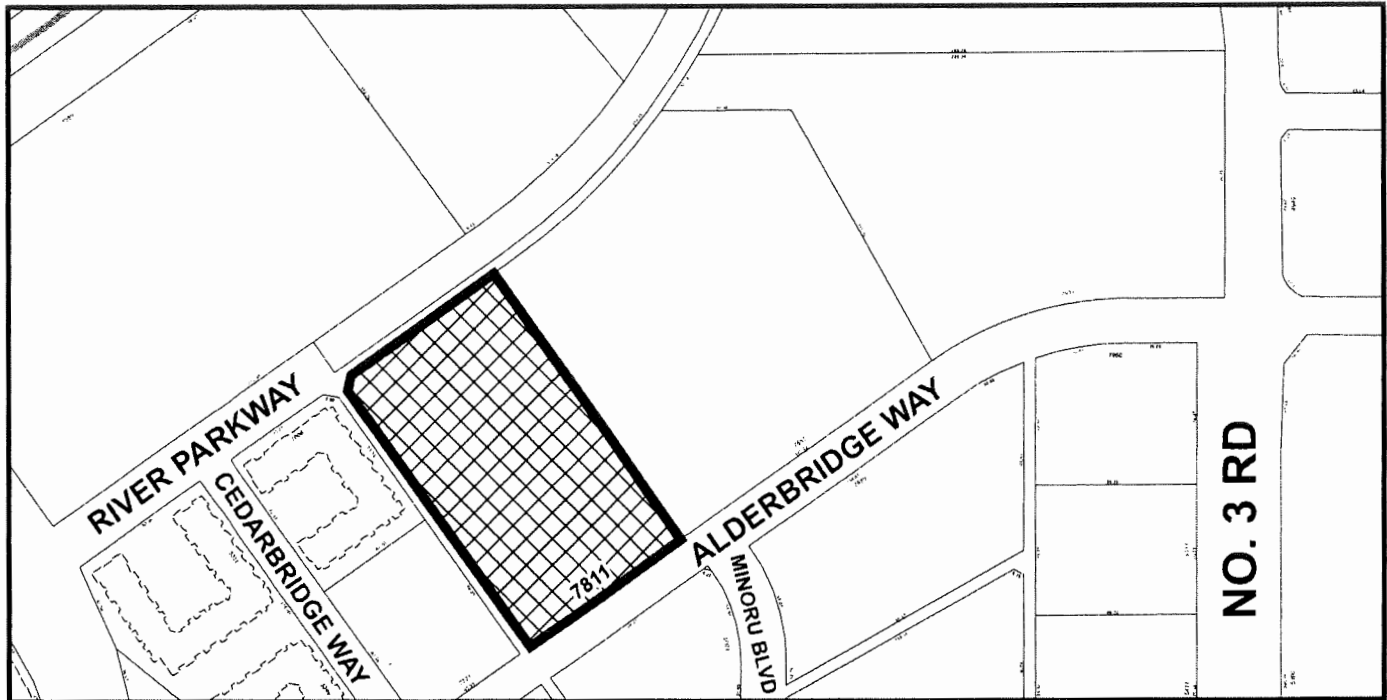
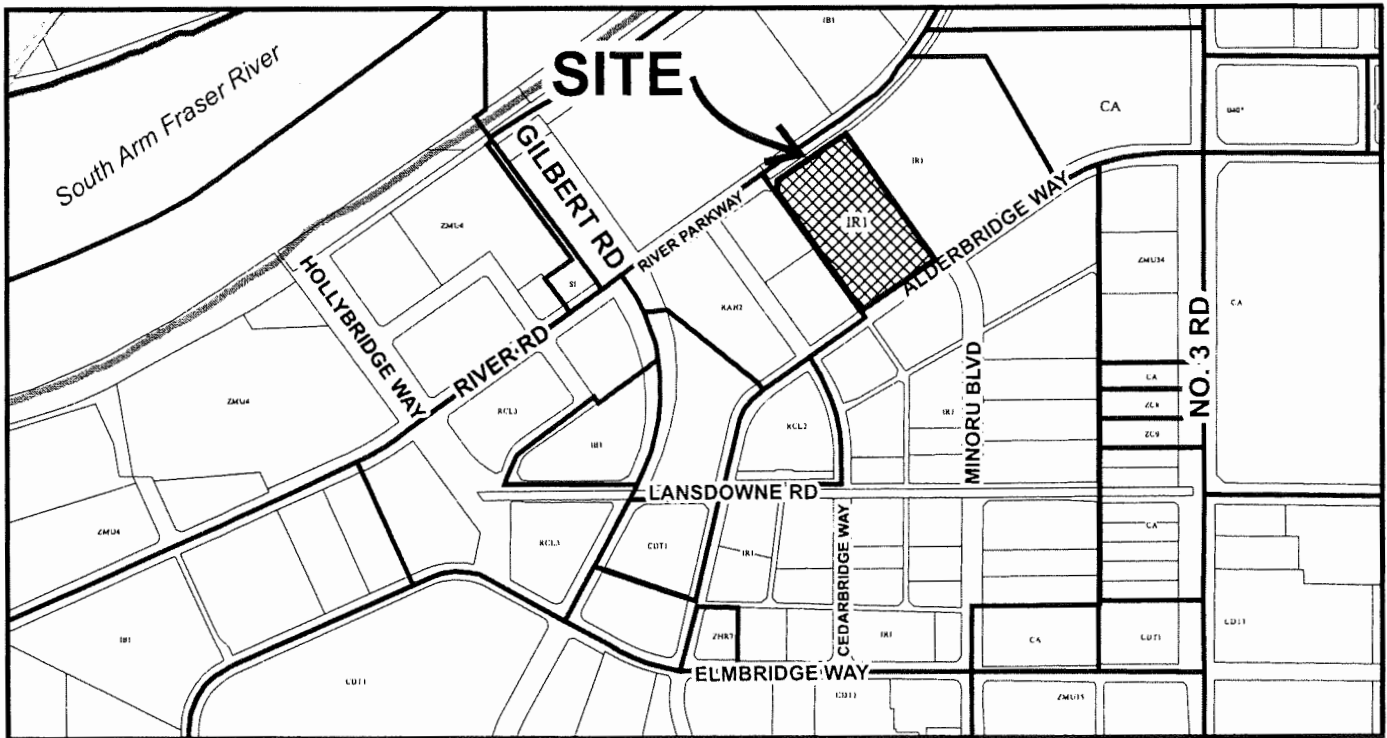
Original Date: 11/23/18

Revision Date:

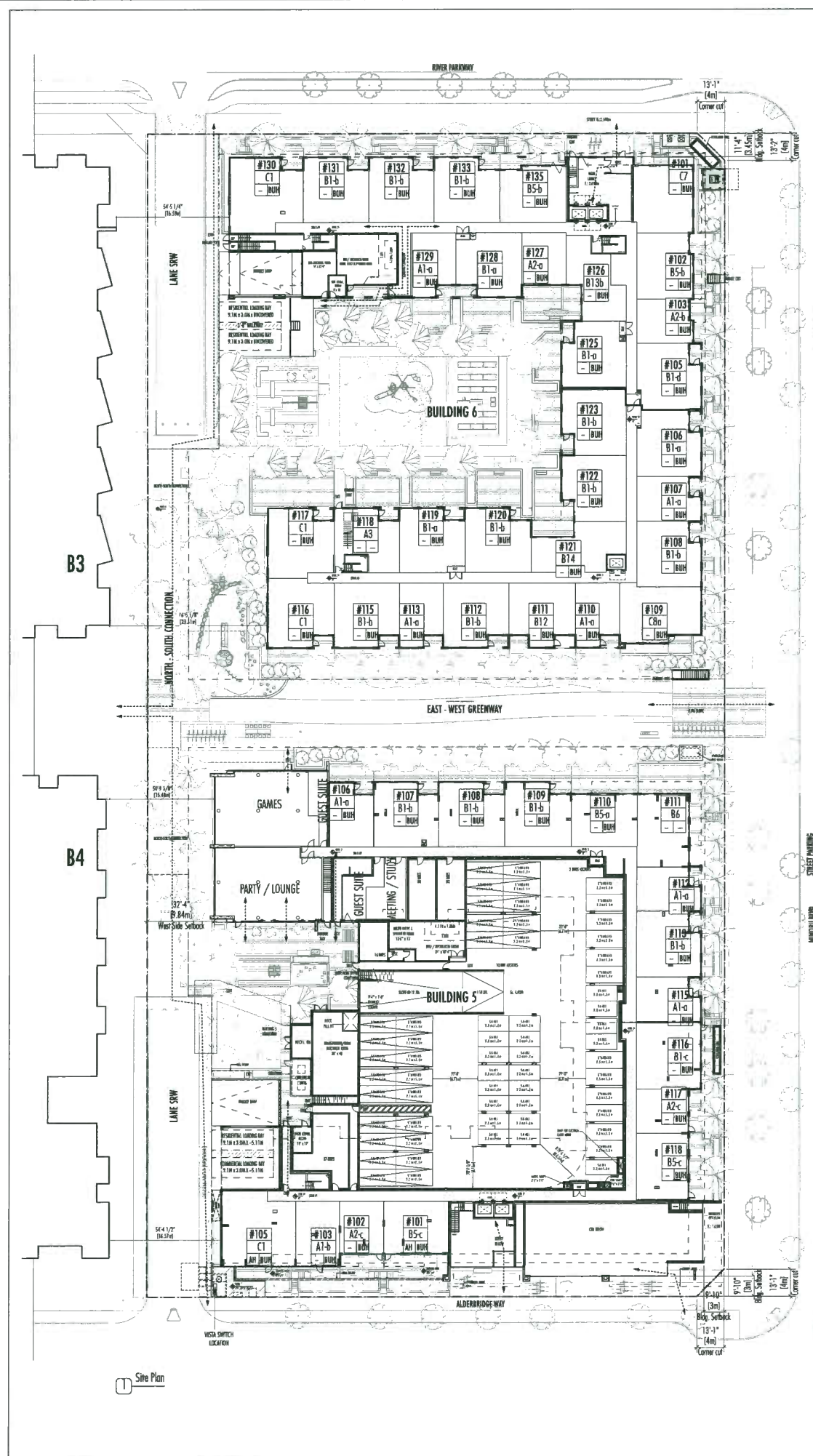
Note: Dimensions are in METRES



City of Richmond



	<h2>DP 18-841057</h2>	<p>Original Date: 11/23/18 Revision Date: Note: Dimensions are in METRES</p>
--	-----------------------	--



AFFORDABLE HOUSING SUMMARY

TOTAL PROPOSED BUILDING AREA FOR RESIDENTIAL USE	30,477 sq m
AFFORDABLE HOUSING AREA TO BE PROVIDED @ 5%	1,524 sq m
AFFORDABLE HOUSING PROPOSED IN B5	1,071 sq m
AFFORDABLE HOUSING PROPOSED IN B6	522 sq m
TOTAL AFFORDABLE HOUSING PROPOSED	1,593 sq m

AFFORDABLE UNITS - BUILDING B5

TYPE	AREA	COUNT
1 BED UNITS		
A5-a	55.93 sq m	7.0
TOTAL	557 sq m	7.0
2 BED UNITS		
B4	83.58 sq m	3.0
B5-a	75.81 sq m	1.0
B5-c	75.84 sq m	1.0
TOTAL	402 sq m	5.0
3 BED UNITS		
C1	115.79 sq m	1.0
C2	98.25 sq m	1.0
C3	98.25 sq m	1.0
TOTAL	312 sq m	3.0
TOTAL	1,071 sq m	15

AFFORDABLE UNITS - BUILDING B6

TYPE	AREA	COUNT
1 BED UNITS (Avg.)		
A5-a	55.93 sq m	7.0
TOTAL	557 sq m	7.0
2 BED UNITS		
B4	83.57 sq m	4.0
TOTAL	332 sq m	4.0
3 BED UNITS		
C1-a	96.78 sq m	1.0
C1	98.04 sq m	1.0
TOTAL	190 sq m	2.0
TOTAL	522 sq m	6

COMMON INDOOR AMENITY 828 sq m

ROOM TYPE	AREA
CARDIO	148.89 sq m
GAMES	162.29 sq m
GUEST SUITE	34.4 sq m
GUEST SUITE	26.39 sq m
MEETING / STUDY	48.25 sq m
PARTY / LOUNGE	170.31 sq m
STEAM/SAUNA	23.29 sq m
VESTIBULE	7.44 sq m
WEIGHT TRAINING	146.53 sq m
YOGA/SPIN/BALLET	41.87 sq m
TOTAL	828 sq m

BUILDING 5 @ NEW RYA

FLOOR	1 BED		2 BED		3 BED		TOTAL UNITS		GROSS AREA	DEDUCTIONS					FAR AREA	AFFORDABLE HOUSING		
	TOTAL	(%)	TOTAL	(%)	TOTAL	(%)	TOTAL	(%)		SERVICE	CIRCULATION	AMENITY	SEE EQUIP. EXEMPTION	UNIT EXEMPTION		1 B	2 B	3 B
B5	13	(74)	21	(74)	3	(10)	37	(74)	2,951 sq m	44 sq m	0 sq m	38 sq m	47 sq m	2,799 sq m	0	1	0	
B6	13	(74)	18	(74)	6	(21)	37	(74)	3,143 sq m	44 sq m	0 sq m	38 sq m	47 sq m	2,991 sq m	3	1	0	
B2	14	(74)	19	(74)	2	(7)	35	(74)	3,237 sq m	44 sq m	387 sq m	36 sq m	45 sq m	2,496 sq m	1	1	1	
B1	6	(74)	9	(74)	1	(3)	16	(74)	2,144 sq m	100 sq m	442 sq m	16 sq m	30 sq m	1,553 sq m	0	1	1	
P1	0	(74)	0	(74)	0	(0)	0	(74)	373 sq m	0 sq m	0 sq m	0 sq m	0 sq m	372 sq m	0	0	0	
UNIT MIX	59	(74)	85	(74)	18	(74)	162	(74)	14,906 sq m	100 sq m	183 sq m	828 sq m	165 sq m	301 sq m	13,409 sq m	7	5	3
	36%		52%		11%		100%	94%								15 Units		

BUILDING 6 @ NEW RYA

FLOOR	1 BED		2 BED		3 BED		TOTAL UNITS		GROSS AREA	DEDUCTIONS					FAR AREA	AFFORDABLE UNITS		
	TOTAL	(%)	TOTAL	(%)	TOTAL	(%)	TOTAL	(%)		SERVICE	CIRCULATION	AMENITY	SEE EQUIP. EXEMPTION	UNIT EXEMPTION		1 B	2 B	3 B
B6	7	(77)	24	(77)	2	(37)	33	(77)	2,901 sq m	58 sq m	0 sq m	36 sq m	45 sq m	2,743 sq m	0	0	0	
B5	7	(77)	26	(77)	2	(37)	35	(77)	2,901 sq m	58 sq m	0 sq m	36 sq m	45 sq m	2,743 sq m	0	1	0	
B4	8	(77)	21	(77)	6	(42)	35	(77)	3,139 sq m	58 sq m	0 sq m	36 sq m	45 sq m	2,901 sq m	0	1	0	
B3	8	(77)	21	(77)	6	(42)	35	(77)	3,159 sq m	58 sq m	0 sq m	36 sq m	45 sq m	3,001 sq m	0	1	0	
B2	8	(77)	21	(77)	6	(42)	35	(77)	3,155 sq m	58 sq m	0 sq m	36 sq m	45 sq m	2,997 sq m	0	1	2	
B1	7	(77)	19	(77)	5	(35)	31	(77)	3,844 sq m	100 sq m	0 sq m	32 sq m	58 sq m	2,877 sq m	0	0	0	
UNIT MIX	45	(77)	134	(77)	37	(77)	206	(77)	18,271 sq m	100 sq m	285 sq m	0 sq m	210 sq m	383 sq m	17,343 sq m	0	4	2
	22%		65%		13%		100%	95%								6 Units		

Unit Summary

FLOOR	1 BED		2 BED		3 BED		TOTAL UNITS		GROSS AREA	DEDUCTIONS					FAR AREA	AFFORDABLE UNITS		
	TOTAL	(%)	TOTAL	(%)	TOTAL	(%)	TOTAL	(%)		SERVICE	CIRCULATION	AMENITY	SEE EQUIP. EXEMPTION	UNIT EXEMPTION		1 B	2 B	3 B
B5	59	(74)	85	(74)	18	(74)	162	(74)	14,906 sq m	100 sq m	183 sq m	828 sq m	165 sq m	301 sq m	13,409 sq m	7	5	3
B6	45	(77)	134	(77)	37	(77)	206	(77)	18,271 sq m	100 sq m	285 sq m	0 sq m	210 sq m	383 sq m	17,343 sq m	0	4	2
Total	104	(74)	219	(74)	45	(74)	368	(74)	33,207 sq m	200 sq m	468 sq m	828 sq m	375 sq m	684 sq m	30,752 sq m	7	9	5
	28%		68%		12%		100%	95%								21 Units		

ACCESSIBILITY STRATEGY:

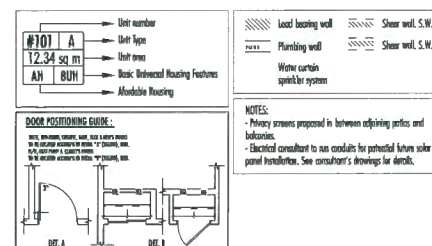
BASIC UNIVERSAL HOUSING FEATURES HAVE BEEN INCORPORATED THROUGH OUT THE PROJECT TO FACILITATE READY ACCESS AND USE OF ALL PUBLIC AMENITIES BY A PERSON WITH A DISABILITY. BUILDING LOBBIES ARE LEVEL WITH SIDEWALK AND ARE WHEEL CHAIR ACCESSIBLE. COMMON OUTDOOR AREAS OF THE EAST WEST GREENWAY AND THE NORTH SOUTH LANE ARE WHEELCHAIR ACCESSIBLE FROM ALDERBRIDGEWAY AT SOUTH WEST CORNER, MINOUR BOULEVARD ON THE EAST AND NEW RIVERPARKWAY AT NORTH WEST. LANDSCAPED COURTYARDS OF BOTH THE BUILDINGS ARE WHEEL CHAIR ACCESSIBLE FROM WITHIN THE BUILDINGS.

EVERY DWELLING UNIT, PUBLIC AMENITY SPACE AND CRU IS WHEEL CHAIR ACCESSIBLE FROM THE ROAD AND ON-SITE PARKING AREA. TO FACILITATE THIS, THE LOBBIES OF BOTH THE BUILDINGS HAVE BEEN DROPPED IN ELEVATION TO MATCH THE SIDEWALK ELEVATION. THE DOORS TO THE MAIN LOBBY ARE PROVIDED WITH AUTOMATIC DOOR OPENERS. ELEVATOR ACCESS IS PROVIDED FROM THESE LOBBIES TO CONNECT TO ALL THE LEVELS OF THE BUILDINGS INCLUDING PARKING LEVELS.

ENTRY DOORS TO ALL UNITS AND COMMON AMENITY AREA CONFORM TO 4.1.6.5, 4.1.6.8 AND 4.1.6.11.D OF GENERAL DEVELOPMENT GUIDELINES. COMMON CORRIDORS ARE MORE THAN 1220 MM WIDE AND PROVIDE MORE THAN 1500MM BY 1500MM ADJACENT TO THE ELEVATOR ENTRANCE.

95% OF TOTAL NUMBER OF UNITS PROPOSED CONFORM TO BASIC UNIVERSAL HOUSING FEATURES LAID OUT IN 4.1.6 OF GENERAL DEVELOPMENT GUIDELINES. OUT OF THIS THERE ARE 98 1-BED UNITS, 205 2-BED UNITS AND 45 3 BED UNITS.

WHEEL CHAIR ROUTING HAS BEEN SHOWN IN RED DOTTED LINE



DATE	DESCRIPTION	STATUS
DEC 19th, 2019	ISSUED FOR OP APPLICATION	
DEC 10th, 2019	REISSUED FOR OP APPLICATION	
NOV 20th, 2019	REISSUED FOR OP APPLICATION	
NOV 6th, 2019	REISSUED FOR OP APPLICATION	
OCT 25th, 2019	REISSUED FOR OP APPLICATION	
SEP 25th, 2019	ISSUED FOR COORDINATION	
JUNE 27th, 2019	REISSUED FOR OP APPLICATION	
APR 24th, 2019	REISSUED FOR OP APPLICATION	
FEB 26th, 2019	ISSUED FOR OP APPLICATION	
	ISSUE	

Copyright. All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE
 202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

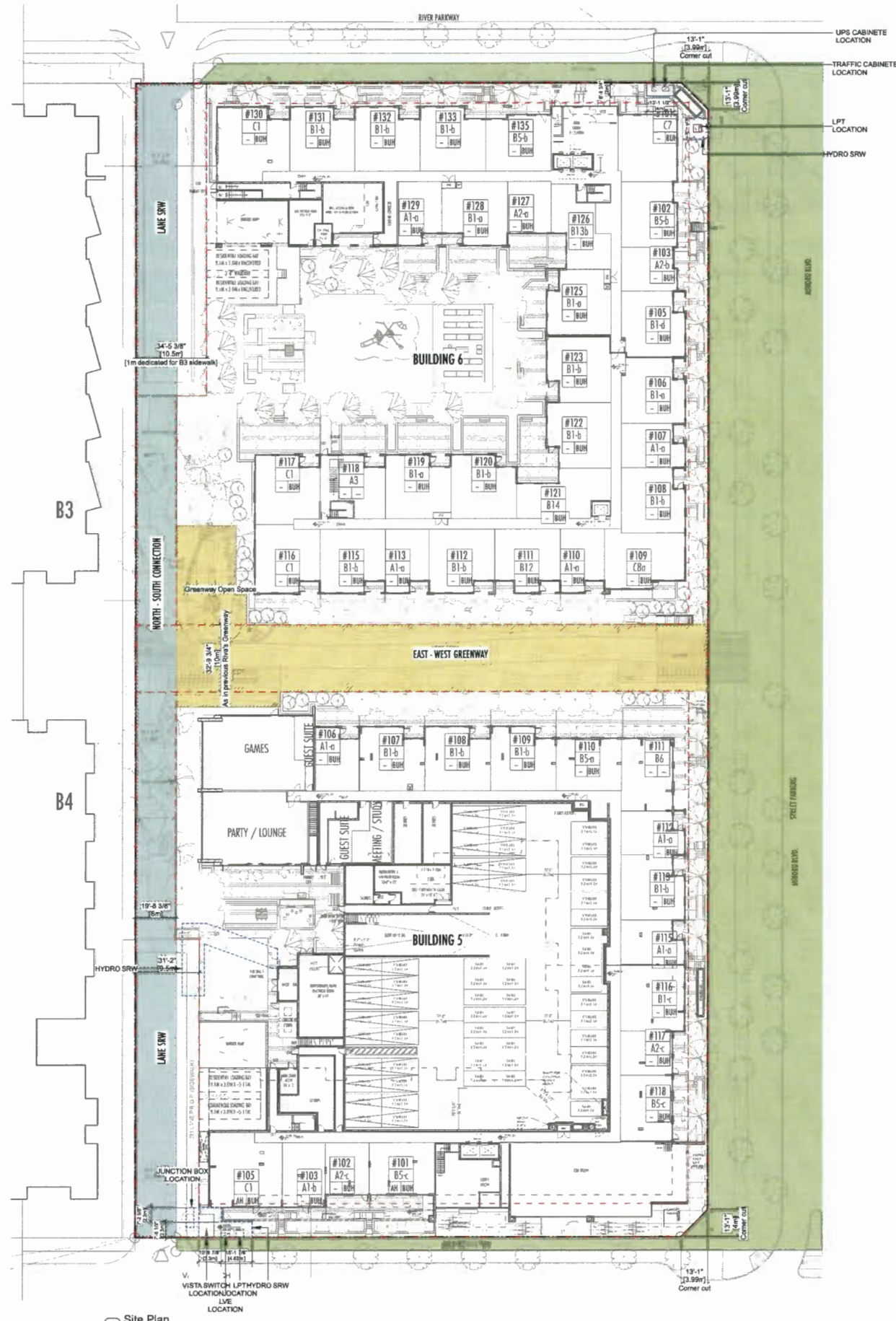
PROJECT -
Residences at Riva-2
 7811 Alderbridge Way
 Richmond, BC

SOURCES SHOWN -
Site Plan

SCALE - 1"=20'0"
 DATE - APR 8, 2019
 DRAWN - FS
 CHECKED -

SHEET NO. -
A.1.01
 PROJ NO. - 1601

DP 18-841057
Plan 2
Jan 2, 2020



- LEGEND:
- Statutory Right of Way - Lane Closing and Removal of Lane Dedication
 - Road Dedication
 - Statutory Right of Way - East-West Greenway

I	DEC 19th, 2019	RE-ISSUED FOR BP APPLICATION
II	DEC 10th, 2019	RE-ISSUED FOR BP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR BP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR BP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR BP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR BP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR BP APPLICATION
A	FEB 26th, 2019	ISSUED FOR BP APPLICATION

NO - DATE - ISSUE -

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing is an instrument of service to the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -

Residences at Riva-2

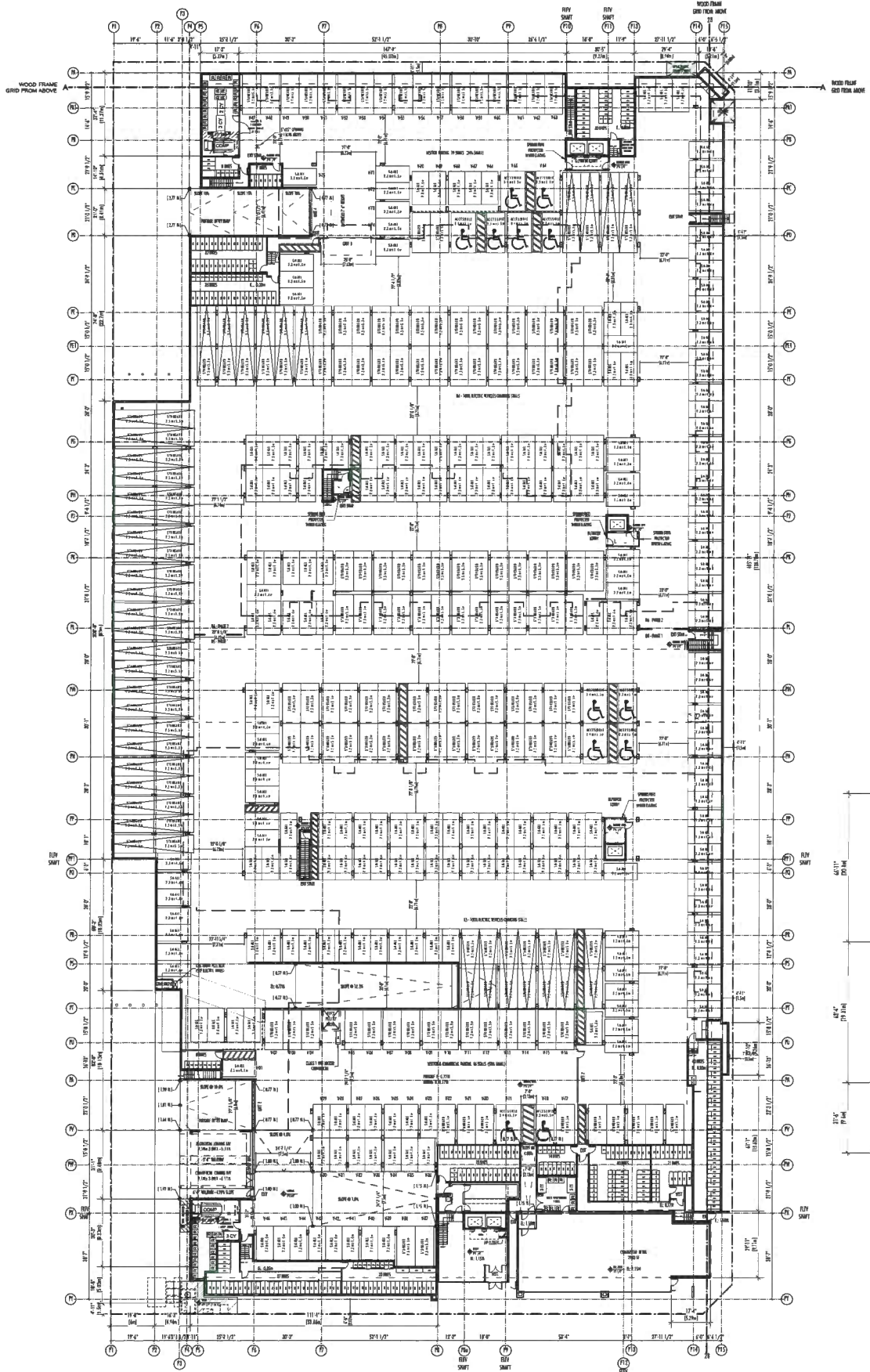
7811 Alderbridgeway
 Richmond, BC

DRAWING TITLE -	
SRW Plan	
SCALE -	SHEET NO. -
1"=20'	A.0.03
DATE -	DATE -
APR 8, 2019	
DRAWN -	PROJECT NO. -
PS	1601

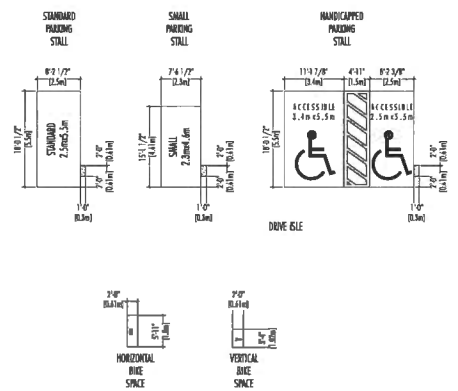


1 Site Plan

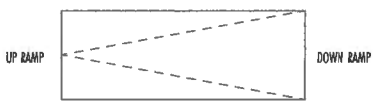
DP 18-841057
 Plan 3
 Jan 2, 2020



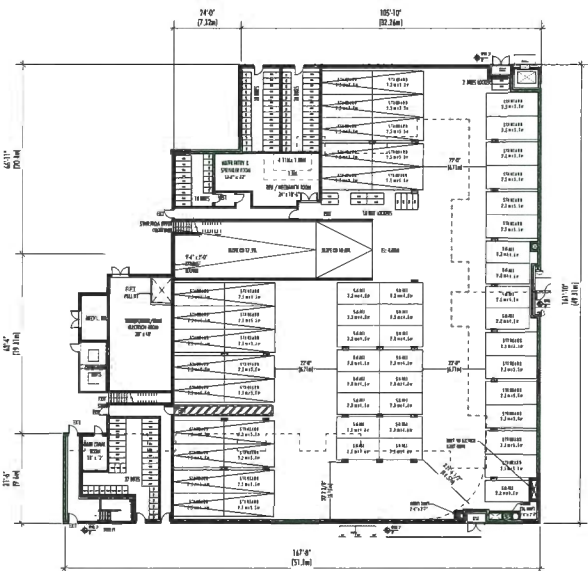
1 Parkade plan - Level P1



3 Parkade Typical Dimensions



4 Typical Ramp Slope Direction



2 Parkade plan - Level 01

PARKING REQUIRED PER BYLAW [D5 & D6]

	UNITS	BYLAW RATIO	Required Parking
TOTAL UNITS	348		
MARKET RESIDENTIAL	347	1.20	417
AFFORDABLE HOUSING	21	0.90	19
TOTAL RESIDENTIAL			436
MARKET VISITORS	347	0.20	70
AFFORDABLE VISITORS	21	0.20	5
TOTAL VISITORS			75
COMMERCIAL (shared w/ visitors)	275 sq.m	4.2/100 sq.m	12.00
TOTAL REQUIRED			511.00

PROVIDED

CAR PARKING	RESIDENTS		VISITORS		TOTAL	%
	level 1	P1	level 1	P1		
STANDARD	12	94	0	38	144	
SMALL	21	196	0	33	250	49% (<50%)
TANDEM	28	80	0	0	108	
ACCESSIBLE	0	8	0	4	12	
TOTAL	61	378	0	75		100%
TOTAL LVL 1	61		75			
TOTAL P1	453		0			

LOADING SPACES REQUIRED

	UNITS	BYLAW RATIO	BYLAW RATIO LARGE	AREA
RESIDENTIAL	348	1 per 240	1 per 2 buildings	1 MEDIUM + 1 LARGE
COMMERCIAL		1 up to 500 sm	N/A	275 sm 1 MEDIUM (undersized)

LOADING SPACES PROVIDED

RESIDENTIAL				2 MEDIUM
COMMERCIAL				1 MEDIUM w/ NAME PLATING

LOADING SPACES PROVIDED

RESIDENTIAL				3 MEDIUM
COMMERCIAL				1 MEDIUM

BIKE STORAGE REQUIRED

RESIDENTIAL	UNITS	BYLAW RATIO	AREA
Class 1	348	1.25	460
Class 2	348	0.20	74
COMMERCIAL			
Class 1		0.27 / 100 sm	275 sm 1
Class 2		0.4 / 100 sm	275 sm 2
TOTAL CLASS 1			461
TOTAL CLASS 2			76 (provided on landscape)

BIKE STORAGE PROVIDED (CLASS 1)

	level 1	P1	Total	%
HORIZONTAL	49	260	309	100% (<33%)
VERTICAL	52	81	133	
TOTAL	121	341	462	347%

- ADOPTED CPTED GUIDELINES:**
- UNDERGROUND PARKING IS PLANNED TO HAVE WELL LIT WALLS, CEILINGS AND WAYFINDING SIGNAGE THROUGH LIGHTING, PAINT.
 - SPACE USAGE AND OWNERSHIP IS CLEARLY DEFINED USING PAINTED CURBS, PARKING SYMBOLS AND LINES.
 - POINTS OF ENTRY TO PARKADE ARE MINIMISED AND CONTROLLED USING LOCKED GATES.
 - DOORS TO HAVE NON-REMOVABLE PIN HINGES



I	DEC 19th, 2019	RE-ISSUED FOR DP APPLICATION
H	DEC 10th, 2019	RE-ISSUED FOR DP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR DP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR DP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR DP APPLICATION
B	APR 04th, 2019	RE-ISSUED FOR DP APPLICATION
A	FEB 26th, 2019	ISSUED FOR DP APPLICATION

Copyright. All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

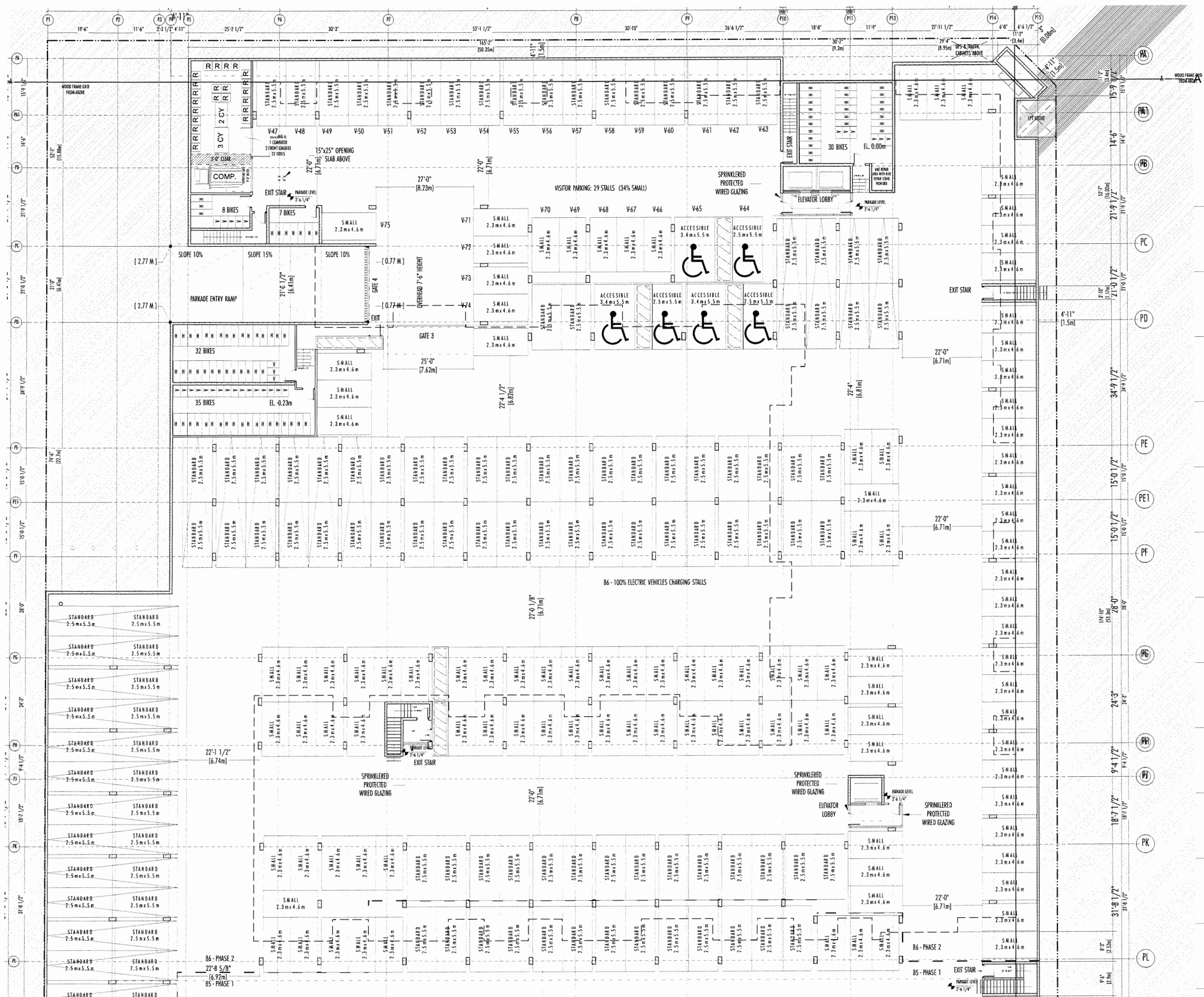
YAMAMOTO ARCHITECTURE
 202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences at Riva-2
 7811 Alderbridge Way
 Richmond, BC

ISSUES -
Parkade Plan

SCALE -	1"=20'0"	SHEET NO. -	A.1.02
DATE -	APR 8, 2019		
DRAWN -	FS		
CHECKED -		NO. IN -	1601

DP 18-841057
Plan 4 a
Jan 2, 2020



H	DEC 11th, 2019	RE ISSUED FOR DP APPLICATION
G	NOV 29th, 2019	RE ISSUED FOR DP APPLICATION
F	NOV 6th, 2019	RE ISSUED FOR DP APPLICATION
E	OCT 25th, 2019	RE ISSUED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE ISSUED FOR DP APPLICATION
B	APR 8th, 2019	RE ISSUED FOR DP APPLICATION
A	FEB 26th, 2019	ISSUED FOR DP APPLICATION

NO - DATE - ISSUE -

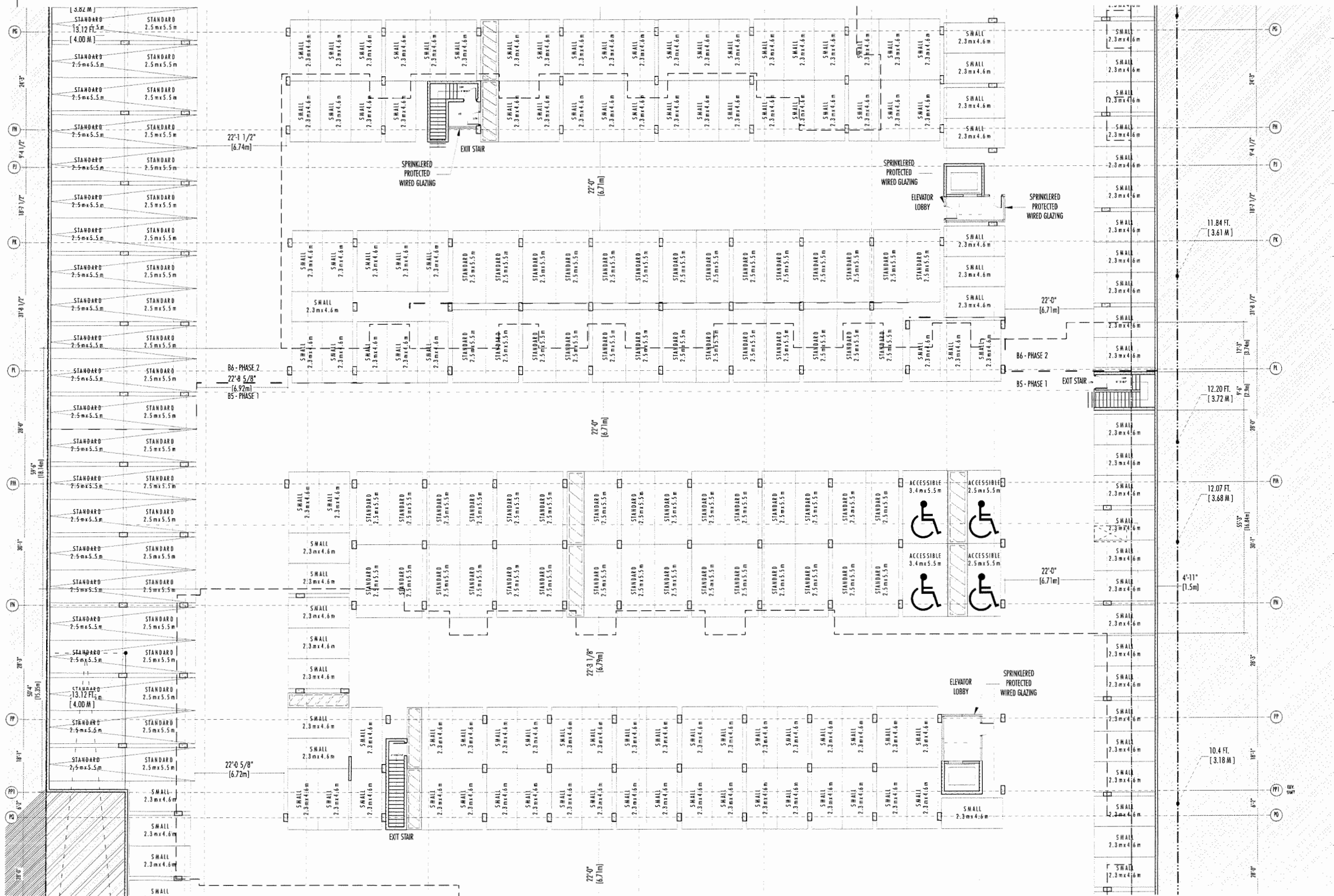
Copyright: All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE
 202 - 33 East 8th Avenue
 Vancouver, BC V6T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences at Rivo-2
 7811 Alderbridge Way
 Richmond, BC

SCALE -	1/8" = 1'-0"	SHEET NO. -	A.1.03
DATE -	APR 8, 2019	ISSUE -	PS
OWNER -	PS	PROJECT NO. -	1401

DP 18-841057 Plan 4 b
 Jan 2, 2020



H	DEC 11th, 2019	ISSUED FOR DP APPLICATION
G	NOV 20th, 2019	REISSUED FOR DP APPLICATION
F	NOV 6th, 2019	ISSUED FOR DP APPLICATION
E	OCT 25th, 2019	ISSUED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUN 27th, 2019	ISSUED FOR DP APPLICATION
B	APR 6th, 2019	ISSUED FOR DP APPLICATION
A	FEB 26th, 2019	ISSUED FOR DP APPLICATION

NO.	DATE	ISSUE

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing is an instrument of service to the property of the architect and may not be used in any way without the written permission of this office.

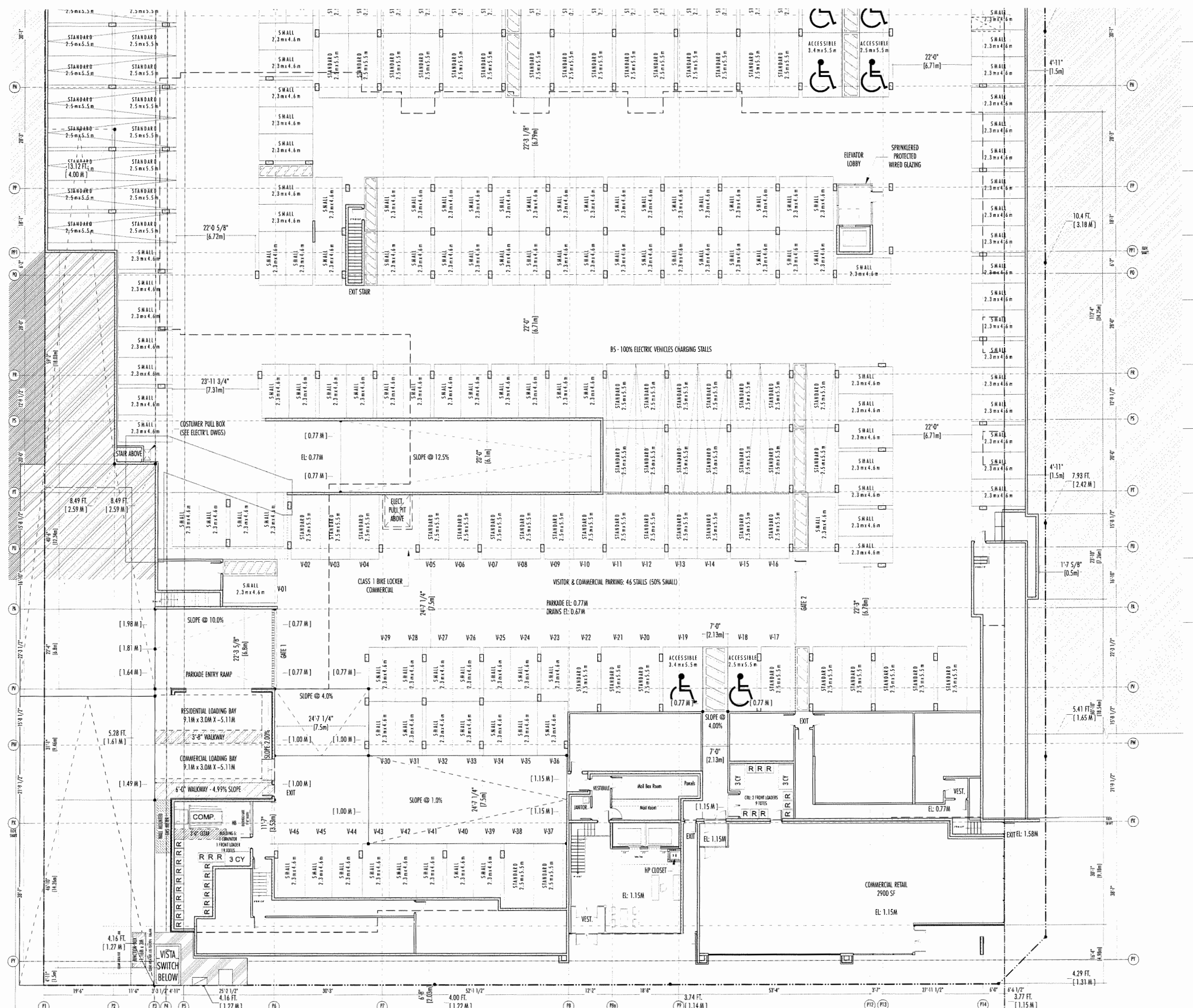
YAMAMOTO ARCHITECTURE
 202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

Residences at Rivo-2
 7811 Alderbridge Way
 Richmond, BC

DATE	
PROJECT	
SCALE	1/8"=1'-0"
DATE	APR 8, 2019
DESIGN	PS
CHECKED	

SHEET NO. - **A.1.04**

DP 18-841057 Plan 4 c
 Jan 2, 2020



MARKET UNITS - BUILDING B5		AVG. SQ. FT.
1 BED UNITS (Avg.)		
TYPE	AREA	SQ. FT.
A1a	5621 sq. ft.	1.0
A1b	5621 sq. ft.	1.0
A1c	5597 sq. ft.	0.9
A1d	5756 sq. ft.	1.0
-	5070 sq. ft.	0.9
A1e	6271 sq. ft.	1.0
A1f	5126 sq. ft.	0.9
A1g	7480 sq. ft.	1.0
TOTAL	2,240 sq. ft.	0.9

2 BED UNITS (Avg.)		AVG. SQ. FT.
TYPE	AREA	SQ. FT.
B1a	8677 sq. ft.	1.0
B1b	8726 sq. ft.	1.0
B1c	8726 sq. ft.	1.0
B1d	9343 sq. ft.	1.0
B1e	7359 sq. ft.	0.9
B1f	8481 sq. ft.	1.0
B1g	8238 sq. ft.	1.0
B1h	7581 sq. ft.	0.9
B1i	7817 sq. ft.	1.0
B1j	7524 sq. ft.	0.9
B1k	8527 sq. ft.	1.0
B1l	7267 sq. ft.	0.9
B1m	6397 sq. ft.	0.8
B1n	6620 sq. ft.	0.9
B1o	7244 sq. ft.	0.9
B1p	6551 sq. ft.	0.9
B1q	7451 sq. ft.	0.9
B1r	7848 sq. ft.	1.0
B1s	8718 sq. ft.	1.0
TOTAL	2745 sq. ft.	0.9

3 BED UNITS (Avg.)		AVG. SQ. FT.
TYPE	AREA	SQ. FT.
C1	11571 sq. ft.	1.0
C2	1625 sq. ft.	0.2
C3	8823 sq. ft.	0.9
C4	9627 sq. ft.	0.9
C5	10670 sq. ft.	1.0
C6	10202 sq. ft.	0.9
C7	10244 sq. ft.	1.0
C8	8538 sq. ft.	0.9
C9	8541 sq. ft.	0.9
C10	10924 sq. ft.	1.0
TOTAL	1,784 sq. ft.	0.9

H	DEC 11th, 2019	RE-ISSUED FOR OP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR OP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR OP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR OP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR OP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR OP APPLICATION
A	FEB 26th, 2019	ISSUED FOR OP APPLICATION

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

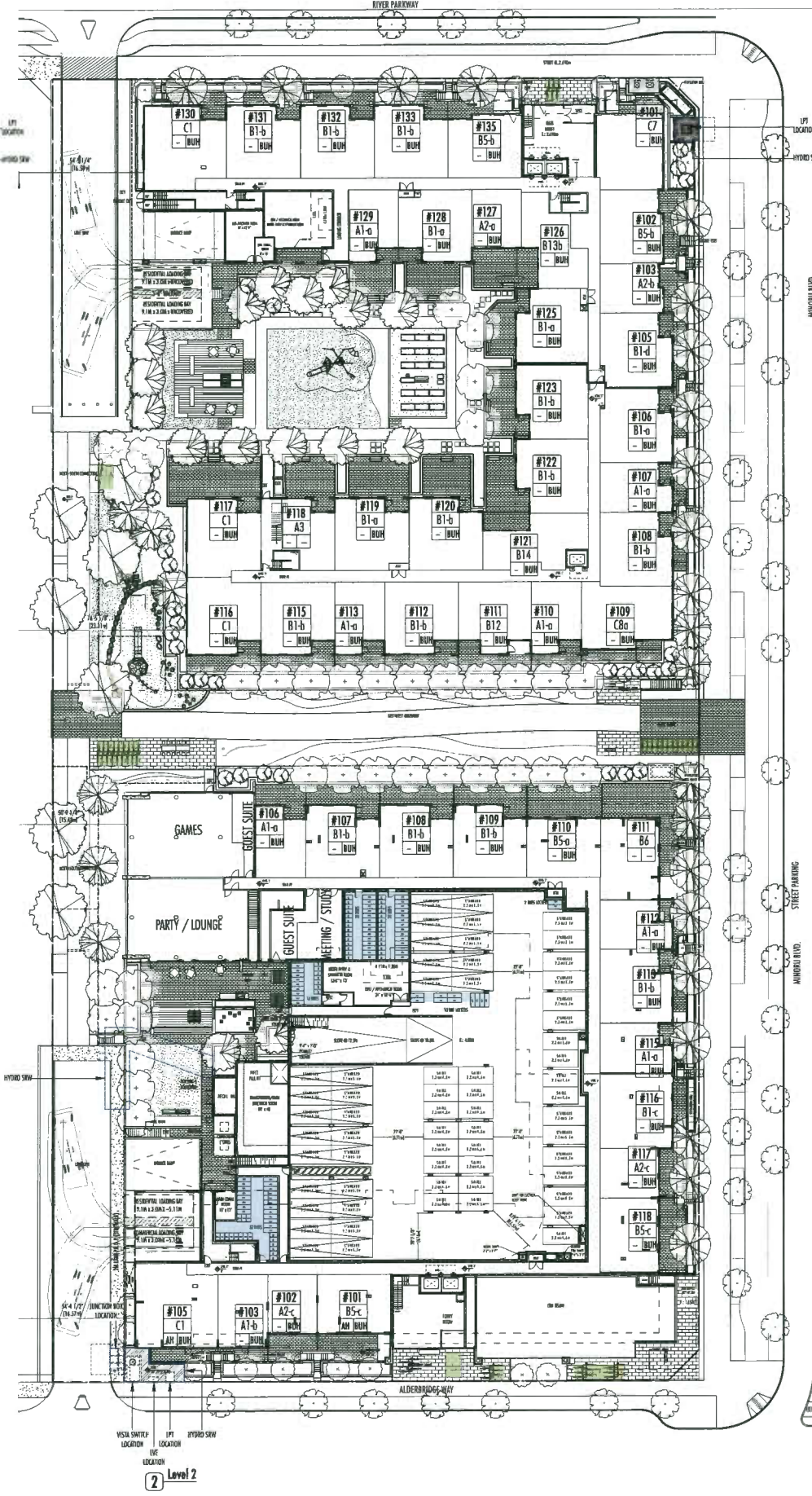
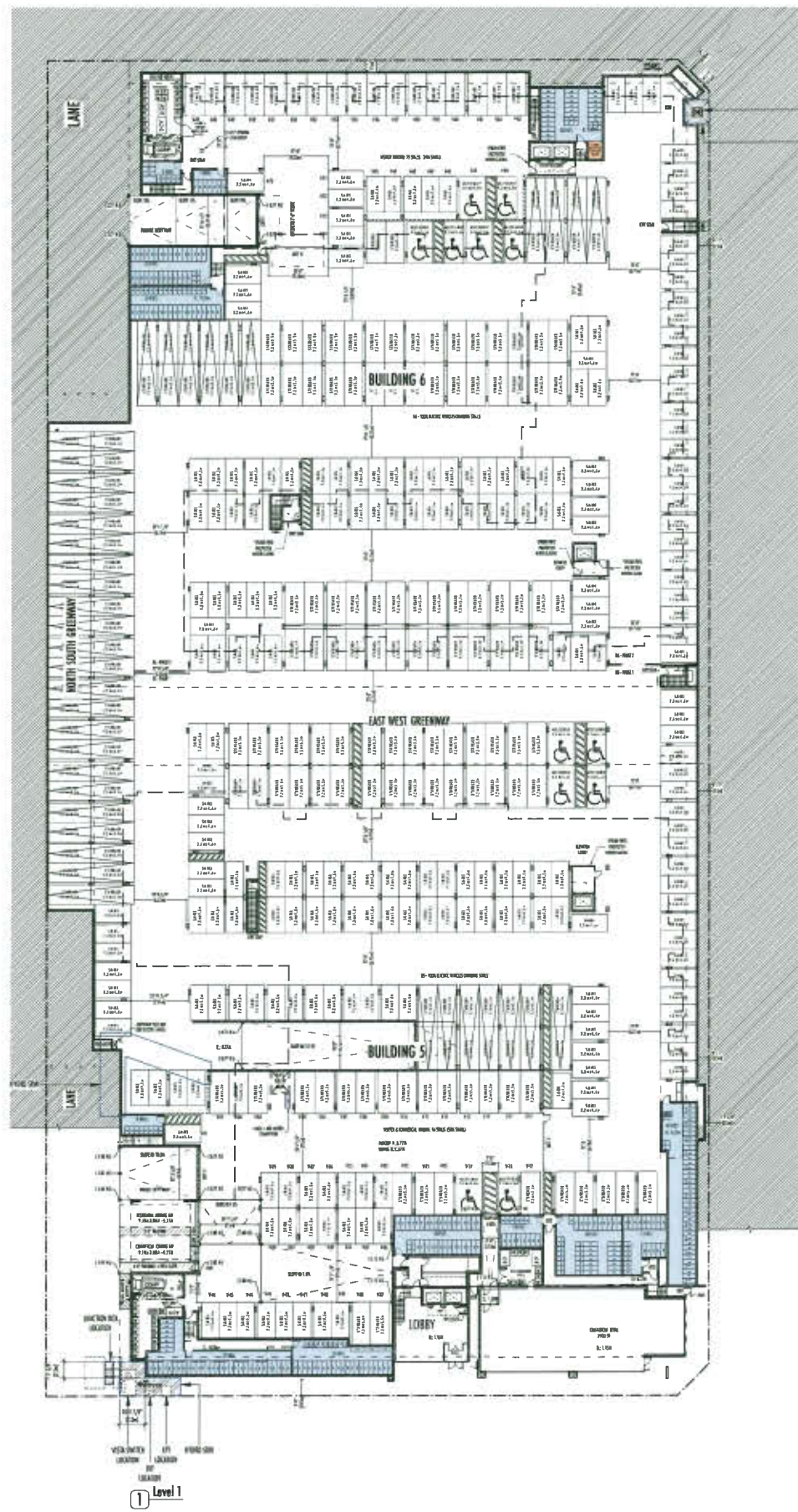
Residences at Riva-2

7811 Alderbridgeway
 Richmond, BC

Parkade Plan

SCALE - 1/8"=1'-0"	SHEET NO. -
DATE - APR 8, 2019	A.1.05
DESIGN - PS	
DRAWN -	PROJ NO - 1601

DP 18-841057 Plan 4 d
 Jan 2, 2020



- LEGEND:
- Class 1 Bike Storage Room
 - Class 1 Bike Storage - Commercial
 - Class 2 Bike Storage - Residential
 - Class 2 Bike Storage - Commercial
 - Bike Repair Area

BIKE STORAGE REQUIRED

RESIDENTIAL	UNITS	BYLAW RATIO	AREA
Class 1	368	L25	460
Class 2	368	R.30	74

COMMERCIAL	UNITS	BYLAW RATIO	AREA
Class 1		0.27 / 100 sqm	275 sqm
Class 2		0.4 / 100 sqm	275 sqm
TOTAL CLASS 1			461
TOTAL CLASS 2			76 (provided on landscape)

BIKE STORAGE PROVIDED (CLASS 1)

	Level 1	P1	Total	%
HORIZONTAL	69	260	329	100% (33%)
VERTICAL	52	81	133	
TOTAL	121	341	462	97 %

I	DEC 19th, 2019	RE-ISSUED FOR RP APPLICATION
II	DEC 10th, 2019	RE-ISSUED FOR RP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR RP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR RP APPLICATION
E	DEC 25th, 2019	RE-ISSUED FOR RP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR RP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR RP APPLICATION
A	FEB 26th, 2019	ISSUED FOR RP APPLICATION
NO	NOE -	ISSUE -

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing is an instrument of service in the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
 Vancouver, BC V6T 1R5
 T - 604 731 1127 F - 604 731 1327

Residences at Rive-2

7811 Alderbridge Way
 Richmond, BC

DRAWING TITLE -
 Class 1 & Class 2 Bike Storage

SCALE -	1"=20'	SHEET NO. -	A.0.06
DATE -	APR 8, 2019		
DESIGN -	PS		
CHECKED -		PROJ NO -	1601





1 B5 EAST ELEVATION
1/4" = 1'-0"



2 B5 NORTH ELEVATION
1/4" = 1'-0"

BUILDING 5 - ELEVATION KEY NOTES :

- 1 PRE FINISHED METAL PANEL - RED
 - 2 FIBRE CEMENT PANEL : LIGHT GRAY
 - 3 FIBRE CEMENT PANEL : CHARCOAL GRAY
 - 4 FIBRE CEMENT PANEL : ARCTIC WHITE
 - 5 WOODGRAIN FINISH CLADDING
 - 6 BRICK CLADDING - DARK GREY
 - 7 DOUBLE GLAZED VINYL FRAMED WINDOW - DARK GREY
 - 8 DOUBLE GLAZED CLEAR ANODIZED ALUM. FRAMED STORE-FRONT WINDOW
 - 9 DOUBLE GLAZED CLEAR WINDOW WALL
 - 10 LOWER PLANTER WALL : FULL BRICK CLADDING
 - 11 LOWER CONCRETE WALL : PAINTED
 - 12 ALUMINUM SIGNAGE MOUNTED TO CANOPY
 - 13 PARKADE GATE & EXIT DOOR : STEEL - PAINTED
 - 14 METAL & GLASS GUARDRAIL
 - 15 FIBRE CEMENT SOFFIT BOARD: ARCTIC WHITE
 - 16 FIBRE CEMENT SOFFIT BOARD: CHARCOAL GREY
 - 17 METAL AND FROSTED GLASS PRIVACY SCREEN
 - 18 METAL SOFFIT: WHITE
- NOTE: ALL SOFFIT TO BE FIBRE CEMENT BOARD - ARCTIC WHITE EXCEPT SPECIFIED OTHERWISE



I	DEC 19th, 2019	RE-ISSUED FOR RP APPLICATION
H	DEC 10th, 2019	RE-ISSUED FOR RP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR RP APPLICATION
F	NOV 04th, 2019	RE-ISSUED FOR RP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR RP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR RP APPLICATION
B	APR 04th, 2019	RE-ISSUED FOR RP APPLICATION
A	FEB 26th, 2019	ISSUED FOR RP APPLICATION
18 -	18B -	ISSUE -

Copyright. All rights reserved.
Reproduction in whole or in part is prohibited.
This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

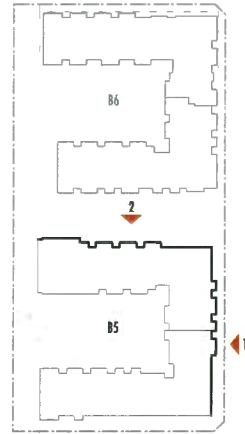
YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
Vancouver, BC V5T 1R5
T - 604 731 1127 F - 604 731 1327

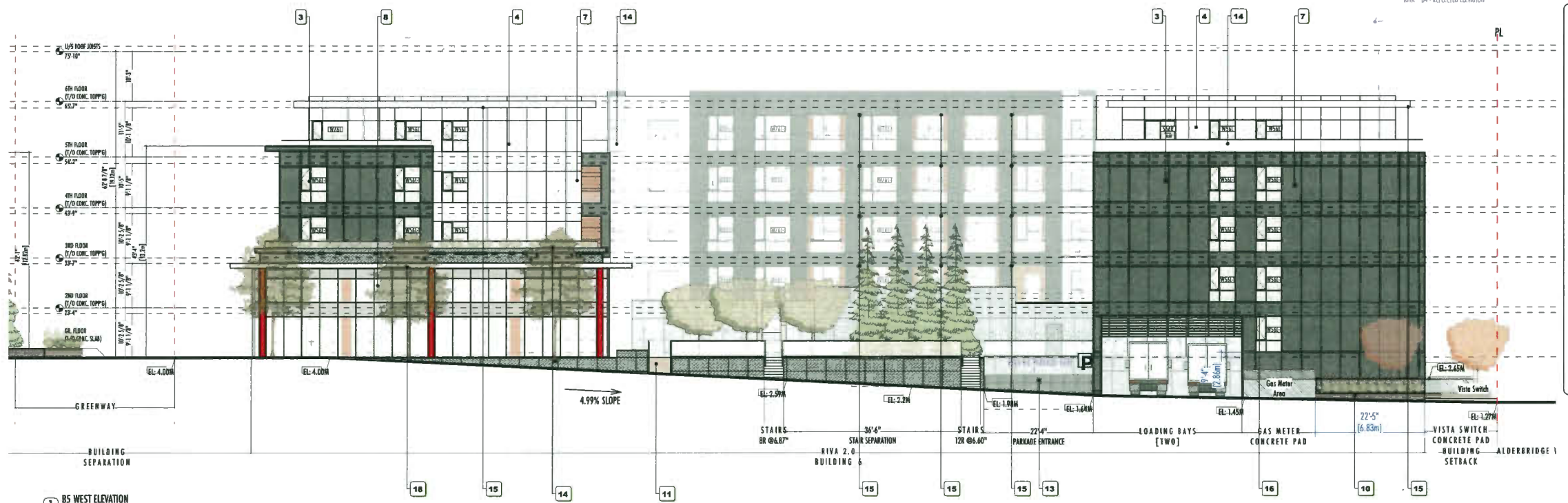
PROJECT -
Residences at Riva-2
7811 Alameda Highway
Richmond, BC

ISSUING FIRM -
Building 5 Elevations

SCALE -	1/8"=1'-0"	SHEET NO. -	A.3.01
DATE -	APR 8, 2019		
DRAWN -	FS		
CHECKED -		PROJ NO. -	1601



DP 18-841057
Plan 6
Jan 2, 2020



1 BS WEST ELEVATION
1/8" = 1'-0"



2 BS SOUTH ELEVATION
1/8" = 1'-0"

- BUILDING 5 - ELEVATION KEY NOTES :**
- 1 PRE FINISHED METAL PANEL - RED
 - 2 FIBRE CEMENT PANEL - LIGHT GRAY
 - 3 FIBRE CEMENT PANEL - CHARCOAL GRAY
 - 4 FIBRE CEMENT PANEL - ARCTIC WHITE
 - 5 WOODGRAIN FINISH CLADDING
 - 6 BRICK CLADDING - DARK GREY
 - 7 DOUBLE GLAZED VINYL FRAMED WINDOW - DARK GREY
 - 8 DOUBLE GLAZED CLEAR ANODIZED ALUM. FRAMED STORE-FRONT WINDOW
 - 9 DOUBLE GLAZED CLEAR WINDOW WALL
 - 10 LOWER PLANTER WALL - FULL BRICK CLADDING
 - 11 LOWER CONCRETE WALL - PAINTED
 - 12 ALUMINUM SIGNAGE MOUNTED TO CANOPY
 - 13 PARKADE GATE & EXIT DOOR - STEEL - PAINTED
 - 14 METAL & GLASS GUARDRAIL
 - 15 FIBRE CEMENT SOFFIT BOARD - ARCTIC WHITE
 - 16 FIBRE CEMENT SOFFIT BOARD - CHARCOAL GRAY
 - 17 METAL AND FROSTED GLASS PRIVACY SCREEN
 - 18 METAL SOFFIT - WHITE
- NOTE: ALL SOFFIT TO BE FIBRE CEMENT BOARD - ARCTIC WHITE EXCEPT SPECIFIED OTHERWISE



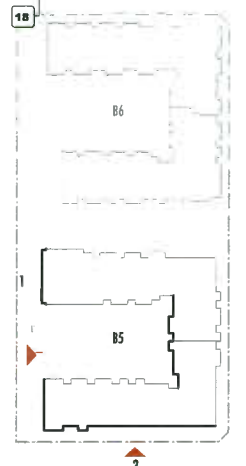
I	DEC 19th, 2019	RE-ISSUED FOR IP APPLICATION
II	DEC 10th, 2019	RE-ISSUED FOR IP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR IP APPLICATION
F	NOV 4th, 2019	RE-ISSUED FOR IP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR IP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR IP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR IP APPLICATION
A	FEB 26th, 2019	ISSUED FOR IP APPLICATION

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of
 the architect and may not be used in any way without the
 written permission of this office.

YAMAMOTO ARCHITECTURE
 202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences at Rivo-2
 7811 Alderbridge Way
 Richmond, BC

DATE	1/8" = 1'-0"	SHEET NO. -
DATE	APR 8, 2019	A.3.02
SCALE	FS	
CHECKED		PROJ NO. - 1601



DP 18-841057
 Plan 7
 Jan 2, 2020



1 BS NORTH ELEVATION - COURTYARD
1/8"=1'-0"



2 BS SOUTH ELEVATION - COURTYARD
1/8"=1'-0"

- BUILDING 5 - ELEVATION KEY NOTES :**
- 1 PRE FINISHED METAL PANEL - RED
 - 2 FIBRE CEMENT PANEL : LIGHT GRAY
 - 3 FIBRE CEMENT PANEL : CHARCOAL GRAY
 - 4 FIBRE CEMENT PANEL : ARCTIC WHITE
 - 5 WOODGRAIN FINISH CLADDING
 - 6 BRICK CLADDING - DARK GREY
 - 7 DOUBLE GLAZED VINYL FRAMED WINDOW - DARK GREY
 - 8 DOUBLE GLAZED CLEAR ANODIZED ALUM. FRAMED STORE-FRONT WINDOW
 - 9 DOUBLE GLAZED CLEAR WINDOW WALL
 - 10 LOWER PLANTER WALL : FULL BRICK CLADDING
 - 11 LOWER CONCRETE WALL : PAINTED
 - 12 ALUMINUM SIGNAGE MOUNTED TO CANOPY
 - 13 PARKADE GATE & EXIT DOOR : STEEL - PAINTED
 - 14 METAL & GLASS GUARDRAIL
 - 15 FIBRE CEMENT SOFFIT BOARD: ARCTIC WHITE
 - 16 FIBRE CEMENT SOFFIT BOARD: CHARCOAL GREY
 - 17 METAL AND FROSTED GLASS PRIVACY SCREEN
 - 18 METAL SOFFIT: WHITE
- NOTE: ALL SOFFIT TO BE FIBRE CEMENT BOARD - ARCTIC WHITE EXCEPT SPECIFIED OTHERWISE



I	DEC 19th, 2019	ISSUED FOR APPLICATION
H	DEC 10th, 2019	REISSUED FOR APPLICATION
G	NOV. 20th, 2019	REISSUED FOR APPLICATION
F	NOV. 6th, 2019	REISSUED FOR APPLICATION
E	OCT 25th, 2019	REISSUED FOR APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUN 27th, 2019	REISSUED FOR APPLICATION
B	APR 8th, 2019	ISSUED FOR APPLICATION
A	FEB. 26th, 2019	ISSUED FOR APPLICATION
NO -	MR -	ISS -

Copyright, All rights reserved.
Reproduction in whole or in part is prohibited.
This drawing is an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
Vancouver, BC V5T 1R5
T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences of Rive-2
7811 Alderbridge Way
Richmond, BC

DRAWING TITLE -
Building 5 Elevations

SCALE -	1/8"=1'-0"	SHEET NO. -	A.3.03
DATE -	APR 8, 2019		
ISSUED BY -	FS		
CHECKED BY -		PROJ NO -	1601





1 B6 EAST ELEVATION
1/8" = 1'-0"



2 B6 NORTH ELEVATION
1/8" = 1'-0"

- BUILDING 6 - ELEVATION KEY NOTES :**
- 1 PRE FINISHED METAL PANEL - WHITE
 - 2 FIBRE CEMENT PANEL : LIGHT GRAY
 - 3 METAL PANEL SIDING, WOODGRAIN FINISH
 - 4 BRICK CLADDING - GREY
 - 5 DOUBLE GLAZED VINYL FRAMED WINDOW - DARK GREY
 - 6 DOUBLE GLAZED CLEAR ANODIZED ALUM. FRAMED STORE-FRONT WINDOW
 - 7 DOUBLE GLAZED CLEAR WINDOW WALL
 - 8 LOWER PLANTER WALL - FULL BRICK CLADDING
 - 9 LOWER CONCRETE WALL - PAINTED
 - 10 PARKADE GATE & EXIT DOOR - STEEL - PAINTED
 - 11 METAL & GLASS GUARDRAIL
 - 12 METAL SOFFIT WHITE
 - 13 METAL AND FROSTED GLASS PRIVACY SCREEN
- NOTE: ALL SOFFIT TO BE FIBRE CEMENT BOARD - ARCTIC WHITE EXCEPT SPECIFIED OTHERWISE



I	DEC 19th, 2019	RE-ISSUED FOR OP APPLICATION
H	DEC 10th, 2019	RE-ISSUED FOR OP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR OP APPLICATION
F	NOV 04th, 2019	RE-ISSUED FOR OP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR OP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUN 27th, 2019	RE-ISSUED FOR OP APPLICATION
B	APR 08th, 2019	RE-ISSUED FOR OP APPLICATION
A	FEB 24th, 2019	ISSUED FOR OP APPLICATION
NO -	DATE -	ISSUE -

Copyright, All rights reserved.
Reproduction in whole or in part is prohibited.
This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

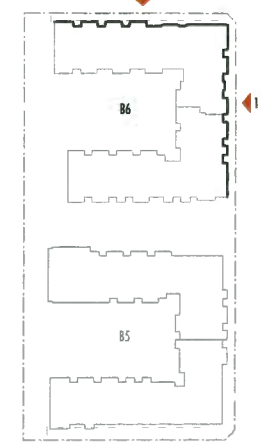
YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
Vancouver, BC V5T 1R5
T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences of Rivo-2
7811 Alderbridge Way
Richmond, BC

DRAWING TITLE -
Building 6 Elevations

SCALE -	1/8" = 1'-0"	SHEET NO. -	A.3.04
DATE -	APR 8, 2019	PROJ NO. -	1601
DRAWN BY -	FS		
CHECKED BY -			



DP 18-841057 Plan 9
Jan 2, 2020



1 B6 WEST ELEVATION
1/8"=1'-0"



2 B6 SOUTH ELEVATION
1/8"=1'-0"

- BUILDING 6 - ELEVATION KEY NOTES :**
- 1 PRE FINISHED METAL PANEL - WHITE
 - 2 FIBRE CEMENT PANEL : LIGHT GRAY
 - 3 METAL PANEL SIDING, WOODGRAIN FINISH
 - 4 BRICK CLADDING - GREY
 - 5 DOUBLE GLAZED VINYL FRAMED WINDOW - DARK GREY
 - 6 DOUBLE GLAZED CLEAR ANODIZED ALUM. FRAMED STORE-FRONT WINDOW
 - 7 DOUBLE GLAZED CLEAR WINDOW WALL
 - 8 LOWER PLANTER WALL : FULL BRICK CLADDING
 - 9 LOWER CONCRETE WALL : PAINTED
 - 10 PARKADE GATE & EXIT DOOR : STEEL - PAINTED
 - 11 METAL & GLASS GUARDRAMP
 - 12 METAL SOFFIT: WHITE
 - 13 METAL AND FROSTED GLASS PRIVACY SCREEN
- NOTE: ALL SOFFIT TO BE FIBRE CEMENT BOARD - ARCTIC WHITE EXCEPT SPECIFIED OTHERWISE



I	DEC 19th, 2019	RE-ISSUED FOR BP APPLICATION
II	DEC 10th, 2019	RE-ISSUED FOR BP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR BP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR BP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR BP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR BP APPLICATION
B	APR 04th, 2019	RE-ISSUED FOR BP APPLICATION
A	FEB 26th, 2019	ISSUED FOR BP APPLICATION

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of
 the architect and may not be used in any way without the
 written permission of this office.

**YAMAMOTO
ARCHITECTURE**

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

Project -
Residences at Riva-2

7811 Alouette Way
 Richmond, BC

Sheet Title -
Building 6 Elevations

Scale - 1/8"=1'-0"

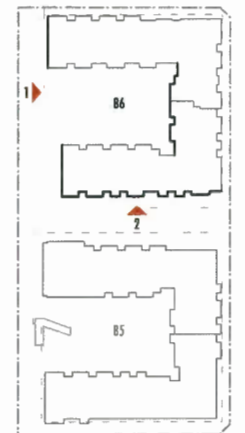
Date - APR 8, 2019

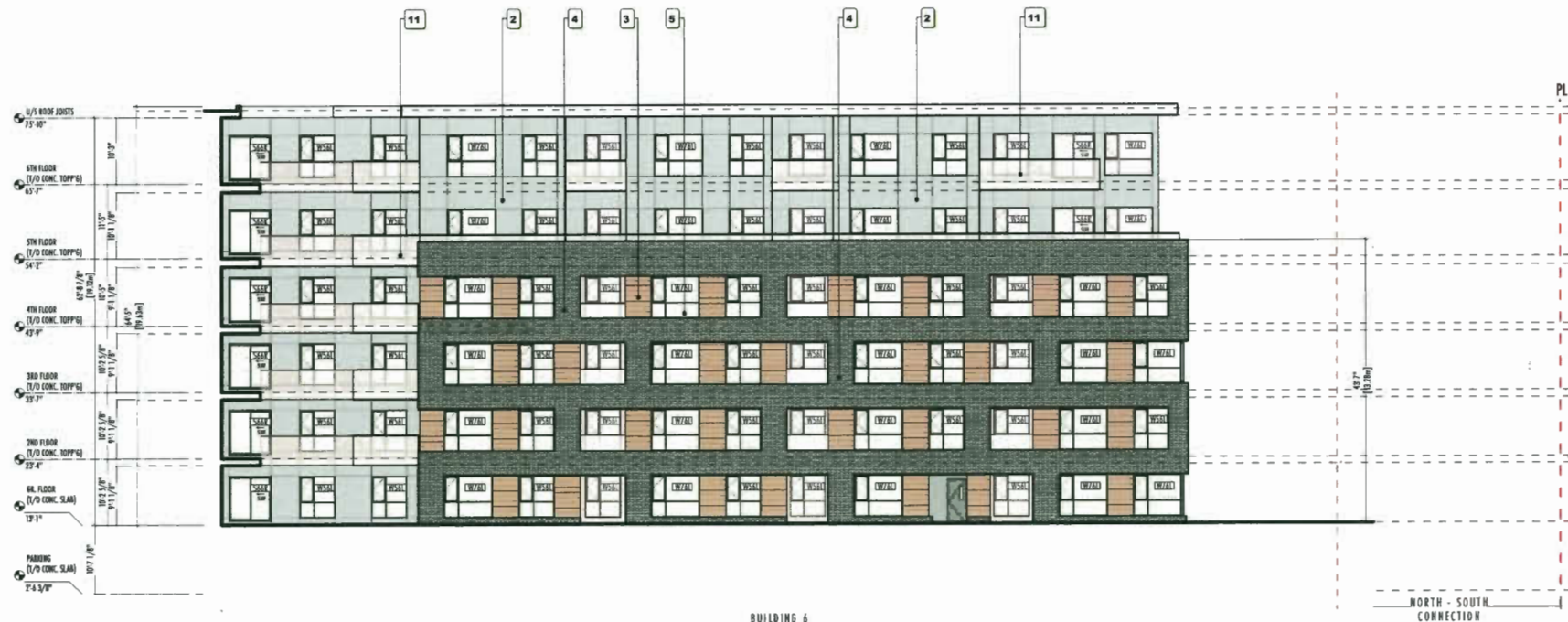
Drawn by - PS

Checked by -

Sheet No. -
A.3.05

Page No. - 1401





1 B6 NORTH ELEVATION - COURTYARD
1/8" = 1'0"



2 B6 NORTH ELEVATION - COURTYARD
1/8" = 1'0"

BUILDING 6 - ELEVATION KEY NOTES :

- 1 PRE FINISHED METAL PANEL - WHITE
 - 2 FIBRE CEMENT PANEL : LIGHT GRAY
 - 3 METAL PANEL SIDING, WOODGRAIN FINISH
 - 4 BRICK CLADDING - GREY
 - 5 DOUBLE GLAZED VINYL FRAMED WINDOW - DARK GREY
 - 6 DOUBLE GLAZED CLEAR ANODIZED ALUM. FRAMED STORE-FRONT WINDOW
 - 7 DOUBLE GLAZED CLEAR WINDOW W/ILL
 - 8 LOWER PLANTER WALL : FULL BRICK CLADDING
 - 9 LOWER CONCRETE WALL - PAINTED
 - 10 PARKING GATE & EXIT DOOR : STEEL - PAINTED
 - 11 METAL & GLASS GLAZIARAIL
 - 12 METAL SOFFIT WHITE
 - 13 METAL AND FROSTED GLASS PRIVACY SCREEN
- NOTE: ALL SOFFIT TO BE FIBRE CEMENT BOARD - ARCTIC WHITE EXCEPT SPECIFIED OTHERWISE



I	DEC 19th, 2019	RE-ISSUED FOR IP APPLICATION
II	DEC 10th, 2019	RE-ISSUED FOR IP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR IP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR IP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR IP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR IP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR IP APPLICATION
A	FEB 26th, 2019	ISSUED FOR IP APPLICATION

Copyright. All rights reserved.
Reproduction in whole or in part is prohibited.
This drawing is an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

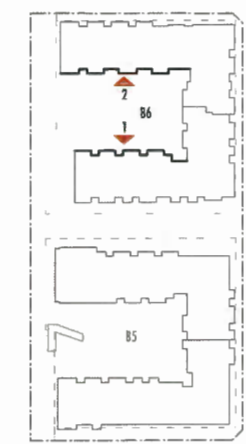
202 - 33 East 8th Avenue
Vancouver, BC V5T 1R5
T - 604 731 1127 F - 604 731 1327

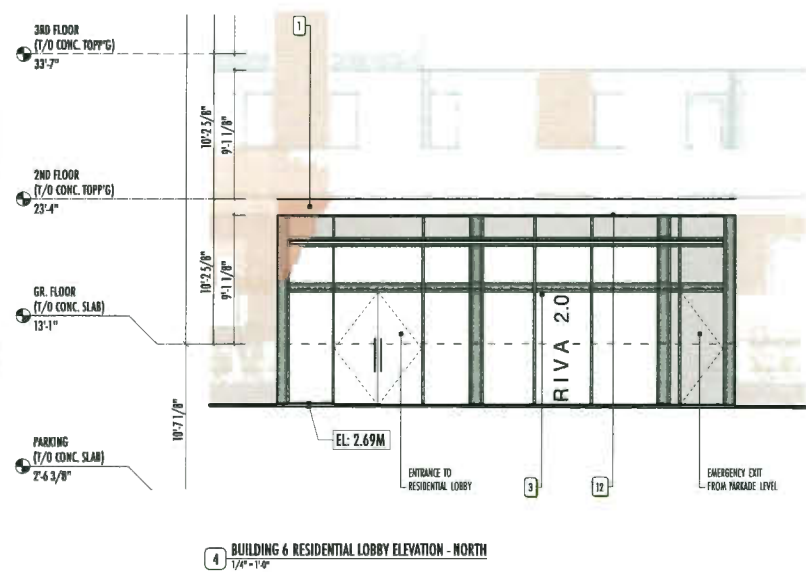
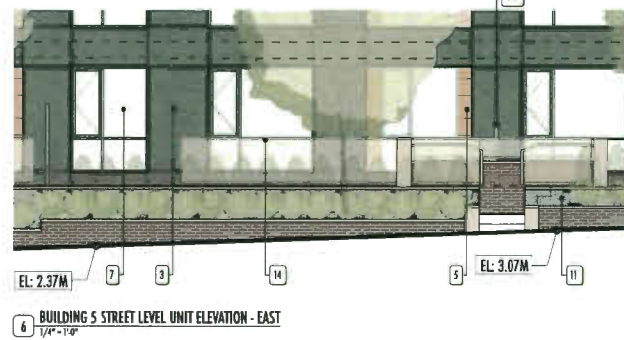
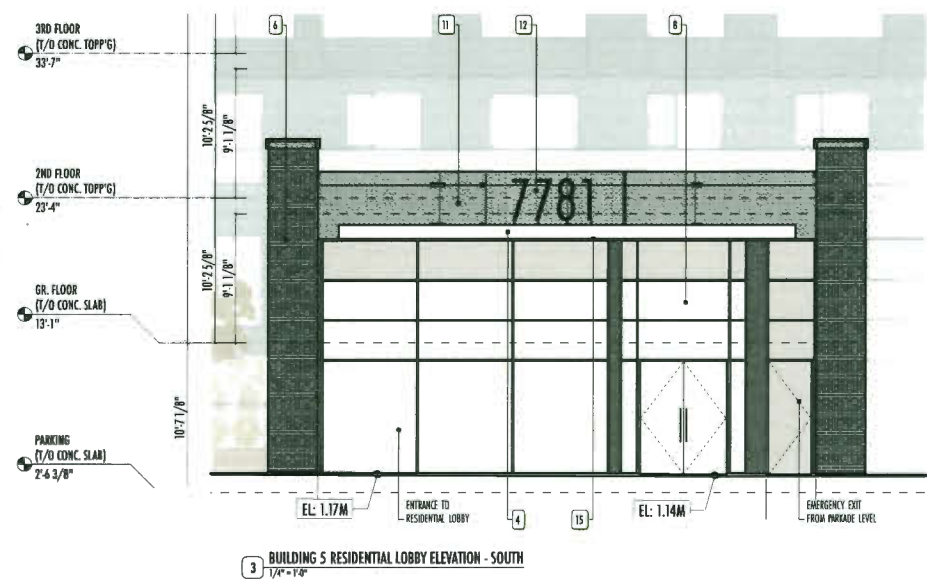
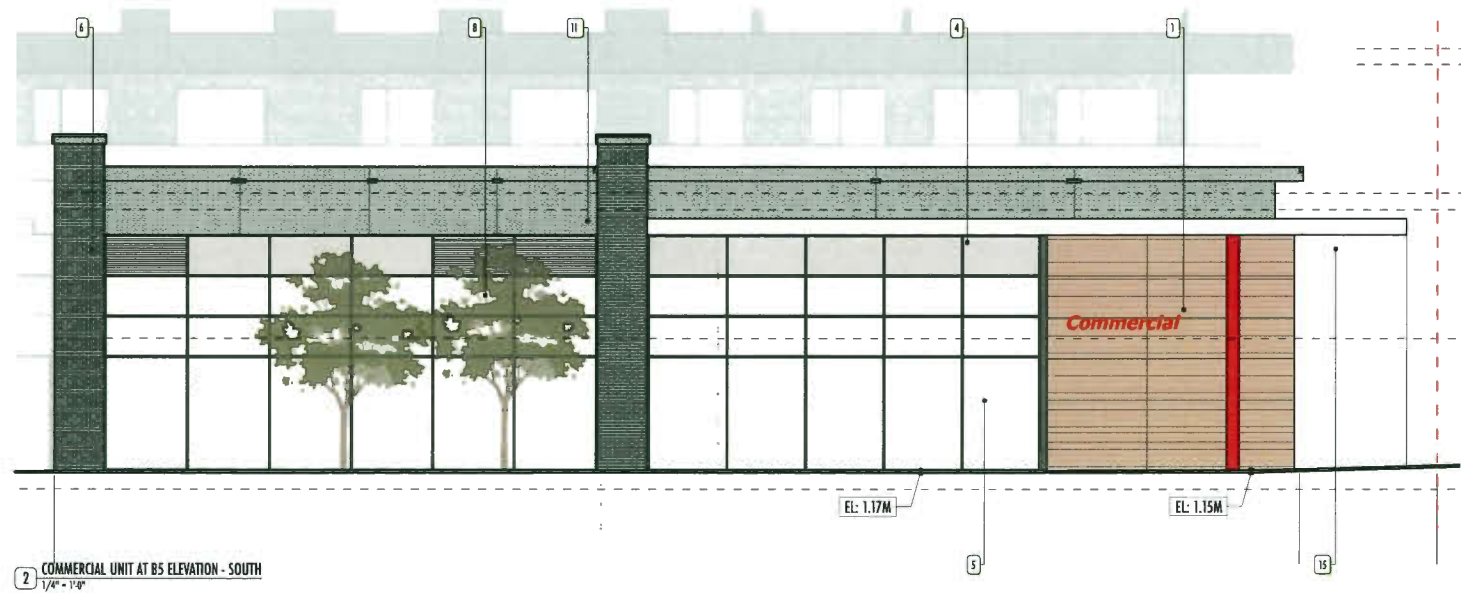
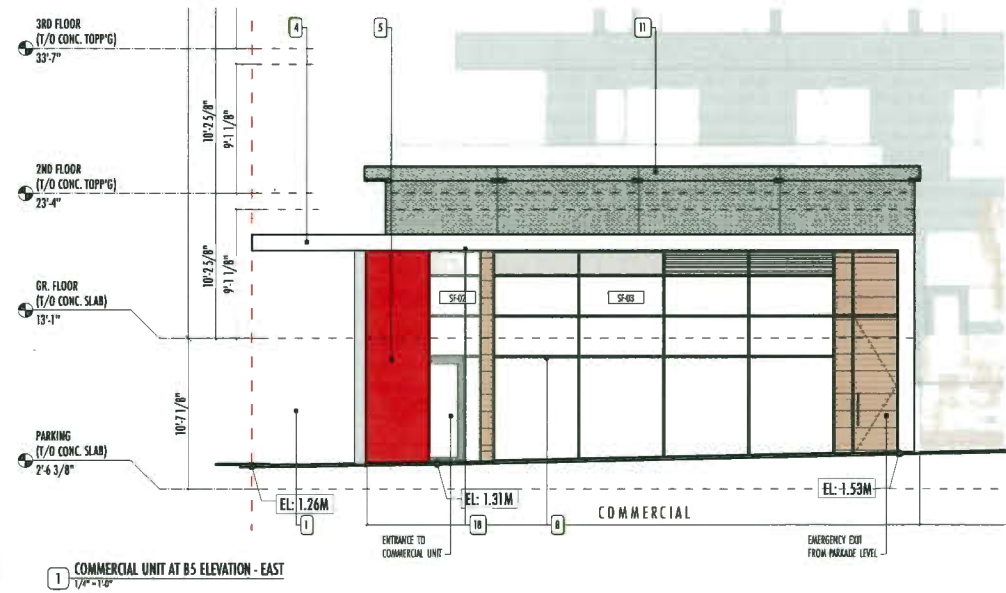
Residences at Rivo-2

7811 Alderbridge Way
Richmond, BC

Building 6 Elevations

SCALE	1/8" = 1'0"	SHEET NO.	A.3.06
DATE	APR 8, 2019		
DESIGNER	PS		
CHECKED		PROJECT NO.	1601





BUILDING 5 - ELEVATION KEY NOTES :

- 1 PRE FINISHED METAL PANEL - RED
 - 2 FIBRE CEMENT PANEL - LIGHT GRAY
 - 3 FIBRE CEMENT PANEL - CHARCOAL GRAY
 - 4 FIBRE CEMENT PANEL - ARCTIC WHITE
 - 5 WOODGRAIN FINISH CLADDING
 - 6 BRICK CLADDING - DARK GREY
 - 7 DOUBLE GLAZED VINYL FRAMED WINDOW - DARK GREY
 - 8 DOUBLE GLAZED CLEAR ANODIZED ALUM. FRAMED STORE-FRONT WINDOW
 - 9 DOUBLE GLAZED CLEAR WINDOW WALL
 - 10 LOWER PLANTER WALL - FULL BRICK CLADDING
 - 11 LOWER CONCRETE WALL - PAINTED
 - 12 ALUMINUM SIGNAGE MOUNTED TO CANOPY
 - 13 PARKADE GATE & EXIT DOOR - STEEL - PAINTED
 - 14 METAL & GLASS GUARDRAIL
 - 15 FIBRE CEMENT SOFFIT BOARD; ARCTIC WHITE
 - 16 FIBRE CEMENT SOFFIT BOARD; CHARCOAL GREY
 - 17 METAL AND FROSTED GLASS PRIVACY SCREEN
 - 18 METAL SOFFIT; WHITE
- NOTE: ALL SOFFIT TO BE FIBRE CEMENT BOARD - ARCTIC WHITE EXCEPT SPECIFIED OTHERWISE

BUILDING 6 - ELEVATION KEY NOTES :

- 1 PRE FINISHED METAL PANEL - WHITE
 - 2 FIBRE CEMENT PANEL - LIGHT GRAY
 - 3 METAL PANEL SIDING; WOODGRAIN FINISH
 - 4 BRICK CLADDING - GREY
 - 5 DOUBLE GLAZED VINYL FRAMED WINDOW - DARK GREY
 - 6 DOUBLE GLAZED CLEAR ANODIZED ALUM. FRAMED STORE-FRONT WINDOW
 - 7 DOUBLE GLAZED CLEAR WINDOW WALL
 - 8 LOWER PLANTER WALL - FULL BRICK CLADDING
 - 9 LOWER CONCRETE WALL - PAINTED
 - 10 PARKADE GATE & EXIT DOOR - STEEL - PAINTED
 - 11 METAL & GLASS GUARDRAIL
 - 12 METAL SOFFIT; WHITE
 - 13 METAL AND FROSTED GLASS PRIVACY SCREEN
- NOTE: ALL SOFFIT TO BE FIBRE CEMENT BOARD - ARCTIC WHITE EXCEPT SPECIFIED OTHERWISE



NO.	DATE	REVISION
I	DEC 19th, 2019	RE-ISSUED FOR RP APPLICATION
II	DEC 10th, 2019	RE-ISSUED FOR RP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR RP APPLICATION
F	NOV 4th, 2019	RE-ISSUED FOR RP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR RP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR RP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR RP APPLICATION
A	FEB 26th, 2019	ISSUED FOR RP APPLICATION

Copyright, all rights reserved. Reproduction in whole or in part is prohibited. This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
Vancouver, BC V5T 1R5
T - 604 731 1127 F - 604 731 1327

Residences at Rivo-2

7811 Alderbridge Way
Richmond, BC

DRAWING TITLE -
Elevation Blow Ups

SCALE - 1/4"=1'-0"

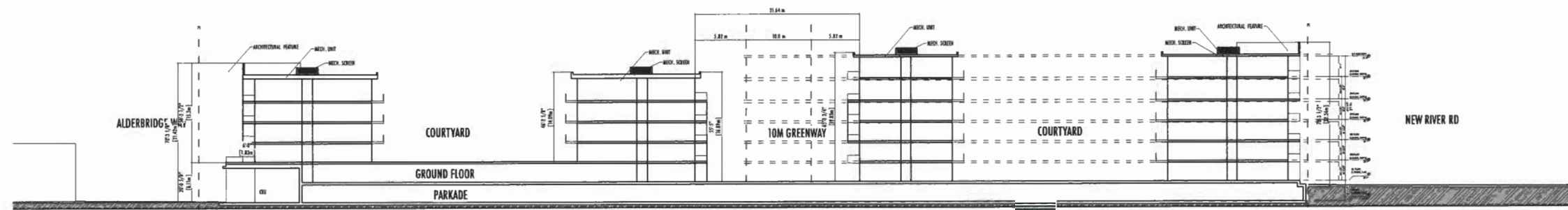
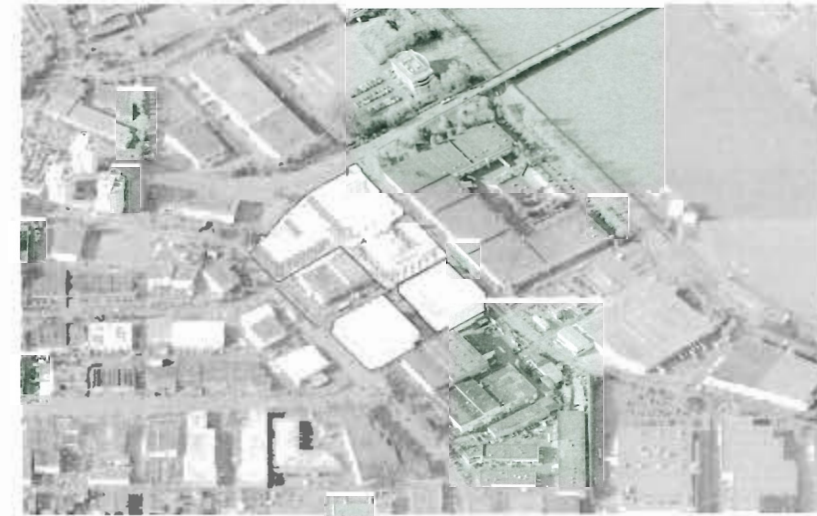
DATE - APR 8, 2019

DRAWN BY - PS

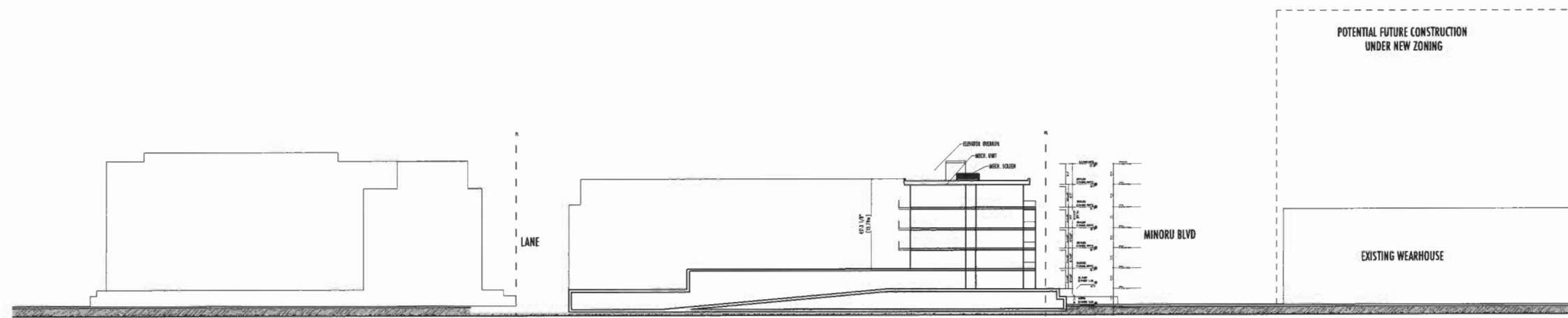
CHECKED BY -

SHEET NO. -
A.3.07

PROJ NO - 1601



4 SITE SECTION AA
1" = 20'



5 SITE SECTION BB
1" = 20'



I	DEC 19th, 2019	ISSUED FOR APPLICATION
H	DEC 10th, 2019	RE-ISSUED FOR APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR APPLICATION
A	FEB 28th, 2019	ISSUED FOR APPLICATION

Copyright. All rights reserved.
Reproduction in whole or in part is prohibited.
This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
Vancouver, BC V6T 1R5
T - 604 731 1127 F - 604 731 1327

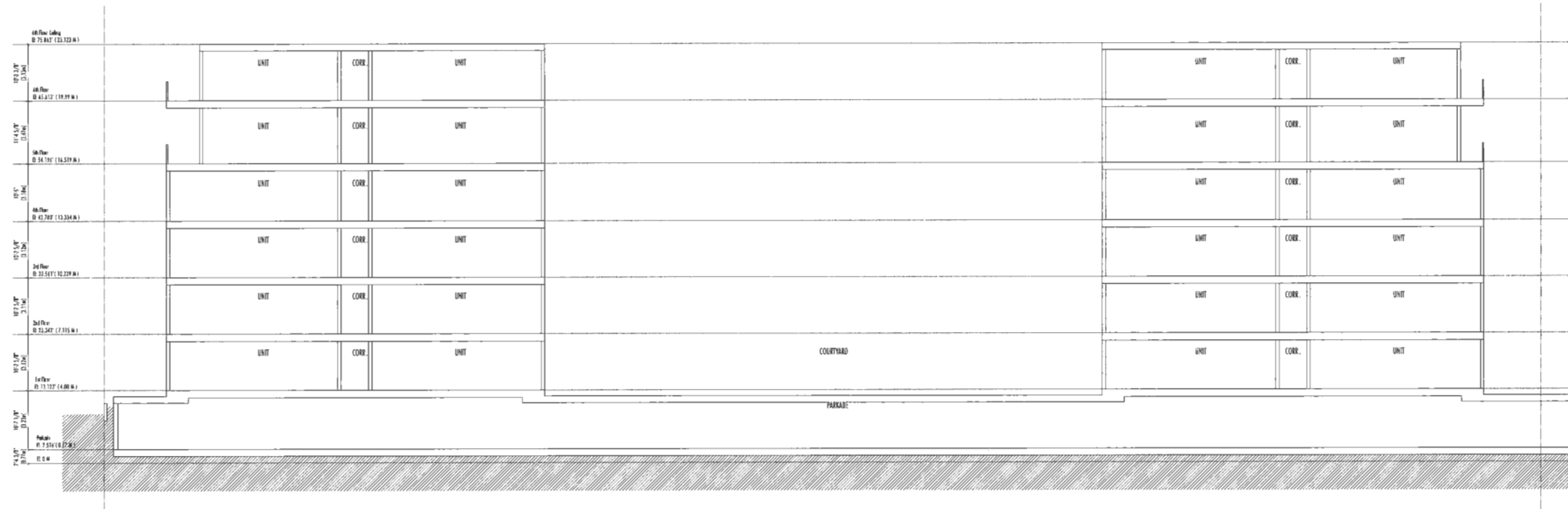
PROJECT -
Residences at Rive-2

7811 Alderbridge Way
Richmond, BC

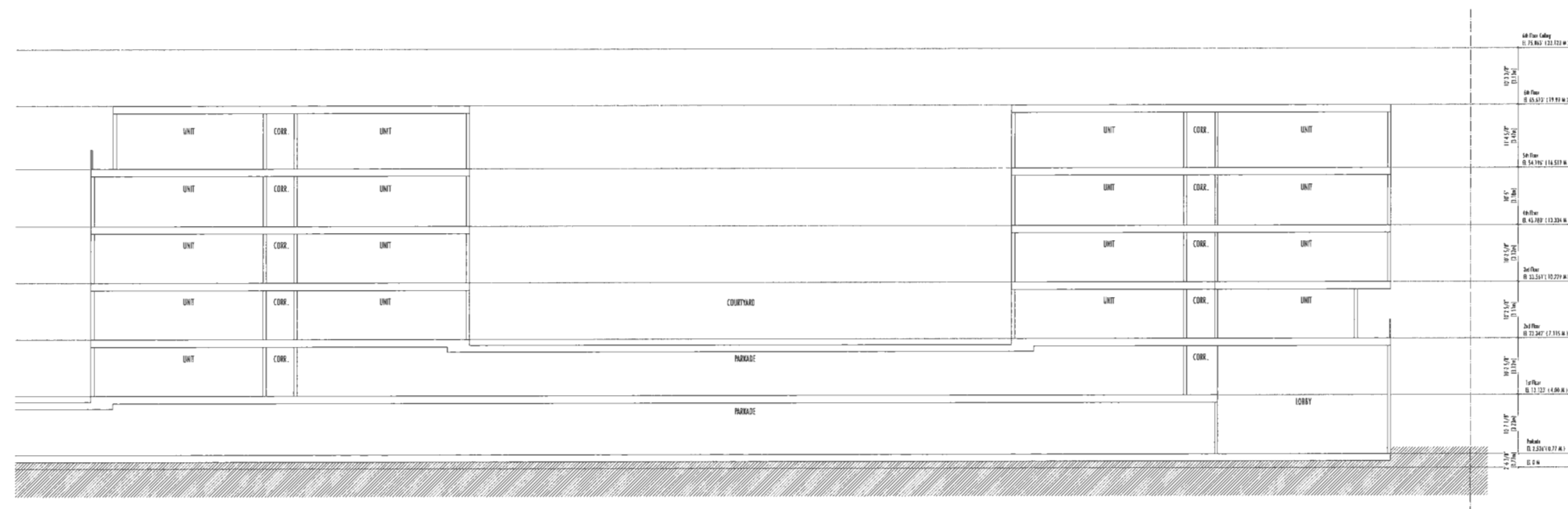
DRAWING TITLE -
Site Sections

SCALE -	1" = 20'	SHEET NO. -	A.0.12
DATE -	APR 8, 2019		
DESIGNER -	PS		
CHECKER -		PROJ NO. -	1601

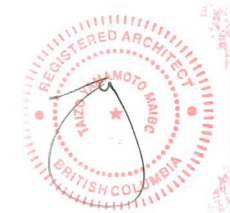
DP 18-841057 Plan 13
Jan 2, 2020



1 B6 North South Section looking East
1/8" = 1'-0"



2 B5 North South Section looking East
1/8" = 1'-0"



I	DEC 19th, 2019	ISSUED FOR BP APPLICATION
II	DEC 10th, 2019	RE-ISSUED FOR BP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR BP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR BP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR BP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR BP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR BP APPLICATION
A	FEB 26th, 2019	ISSUED FOR BP APPLICATION
ME -	ME -	SK -

Copyright. All rights reserved.
Reproduction in whole or in part is prohibited.
This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the office.

**YAMAMOTO
ARCHITECTURE**

202 - 33 East 8th Avenue
Vancouver, BC V5T 1R5
T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences at Rive-2

7811 Aldebridgeway
Richmond, BC

DRAWING TITLE -
Building Sections

SCALE - 1/8" = 1'-0"

SHEET NO -

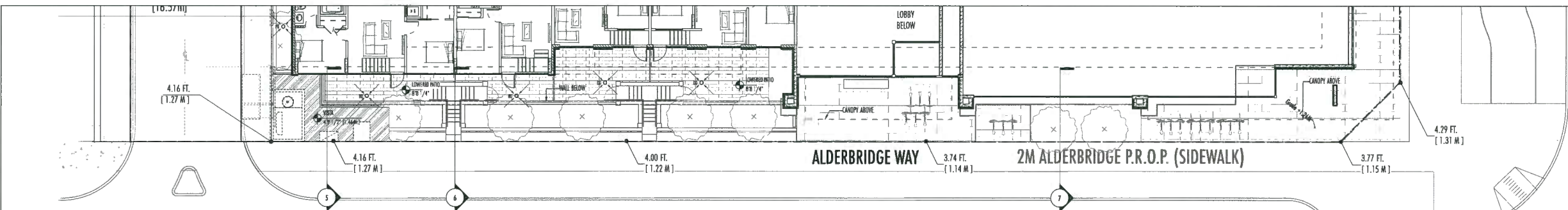
SHEET -

DATE -

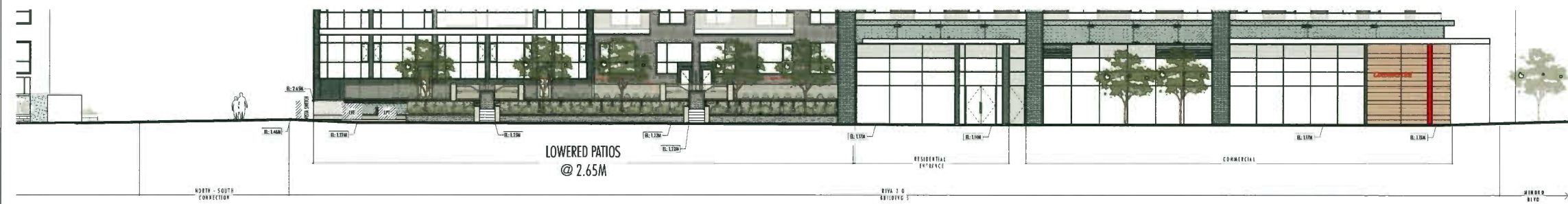
DESIGNED -

A.4.01

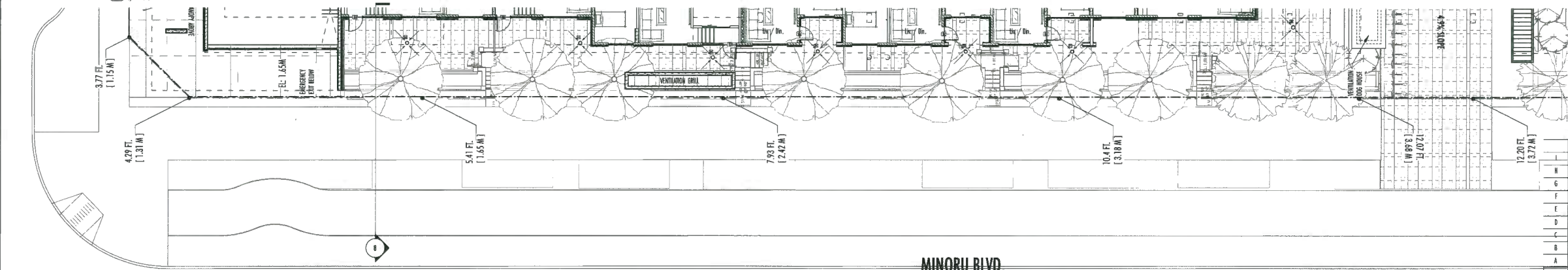
PROJECT NO - 1601



1 PLAN VIEW @ BUILDING 5 ALONG ALDERBRIDGEWAY
1/8" = 1'-0"



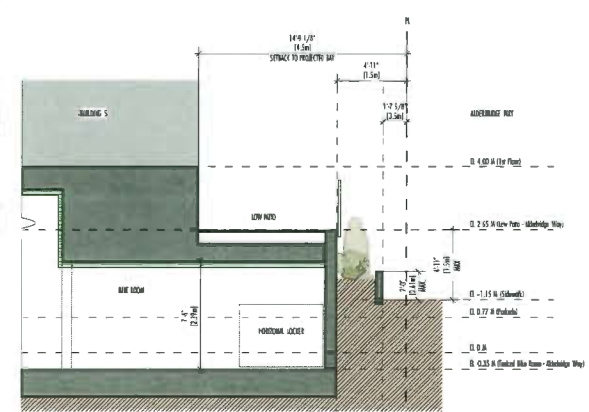
2 STREETScape @ BUILDING 5 ALONG ALDERBRIDGEWAY
1/8" = 1'-0"



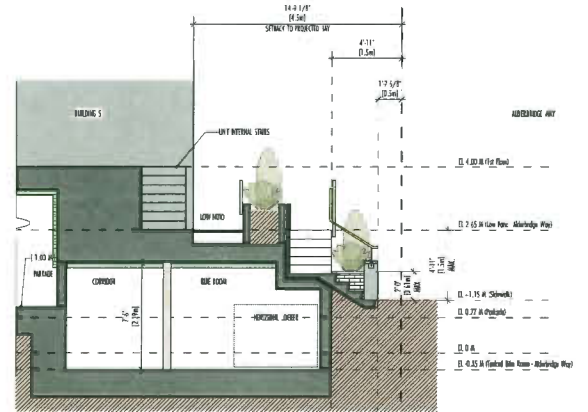
3 PLAN VIEW @ BUILDING 5 ALONG MINORU
1/8" = 1'-0"



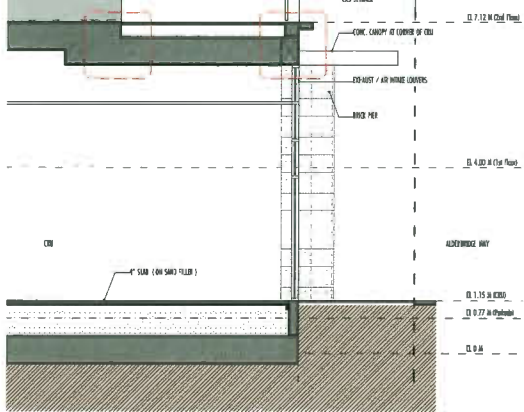
4 STREETScape @ BUILDING 5 ALONG MINORU
1/8" = 1'-0"



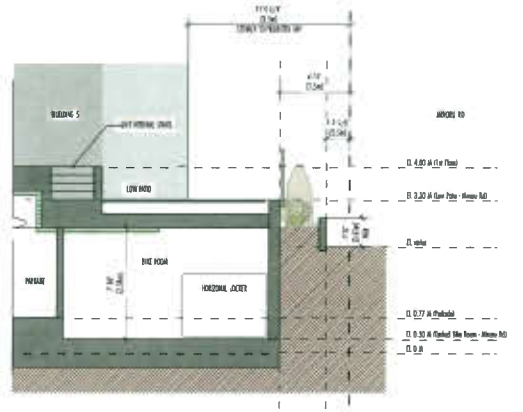
5 SECTION ALONG DROPPED PATIOS ON ALDERBRIDGEWAY
1/4" = 1'-0"



6 SECTION ALONG DROPPED PATIOS ON ALDERBRIDGEWAY
1/4" = 1'-0"



7 SECTION THROUGH CRU AT ALDERBRIDGEWAY
1/4" = 1'-0"



8 SECTION ALONG DROPPED PATIOS ON ALDERBRIDGEWAY
1/4" = 1'-0"



I	DEC 19th, 2019	RE-ISSUED FOR OP APPLICATION
H	DEC 10th, 2019	RE-ISSUED FOR OP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR OP APPLICATION
F	NOV 4th, 2019	RE-ISSUED FOR OP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR OP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR OP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR OP APPLICATION
A	FEB 26th, 2019	ISSUED FOR OP APPLICATION

Copyright. All rights reserved.
Reproduction in whole or in part is prohibited.
This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
Vancouver, BC V6T 1R5
T - 604 731 1127 F - 604 731 1327

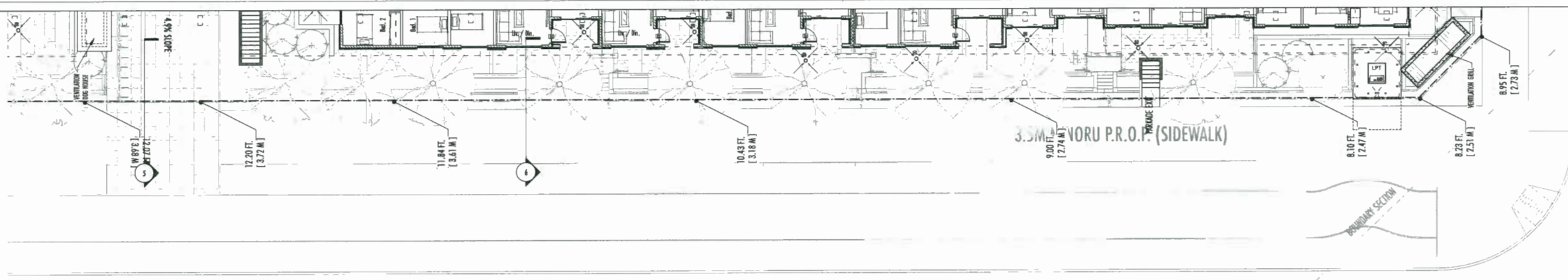
Project -
Residences at Rivo-2

7811 Alderbridge Way
Richmond, BC

Drawing Title -
Street Sections

SCALE -	AS NOTED	SHEET NO. -
DATE -	APR 8, 2019	A.0.10
DESIGN -	PS	
CHECKED -		PROJ NO. - 1601

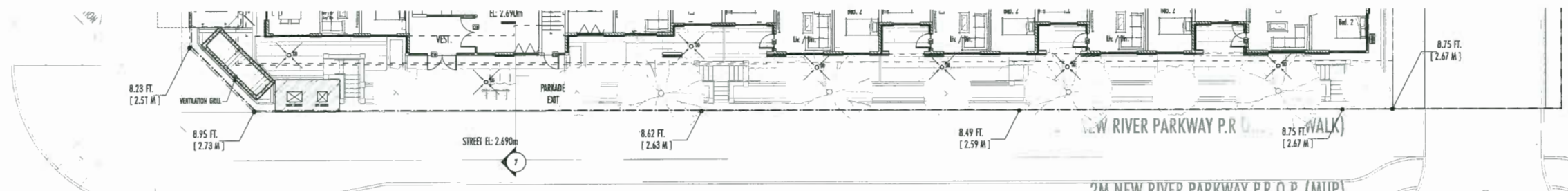
DP 18-841057 Plan 15
 Jan 2, 2020



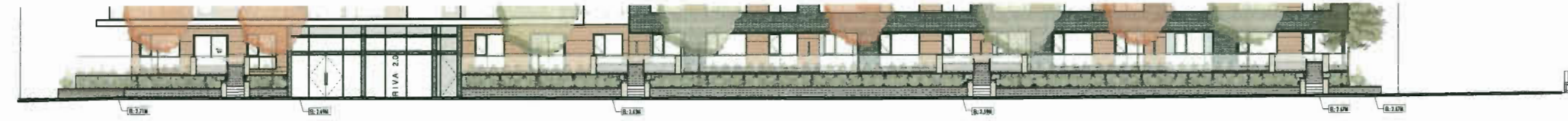
1 PLAN VIEW @ BUILDING 6 ALONG MINORU
1/8" = 1'-0"



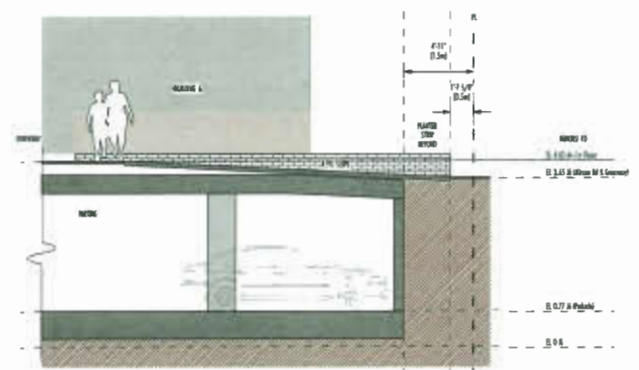
2 STREETScape @ BUILDING 6 ALONG MINORU
1/8" = 1'-0"



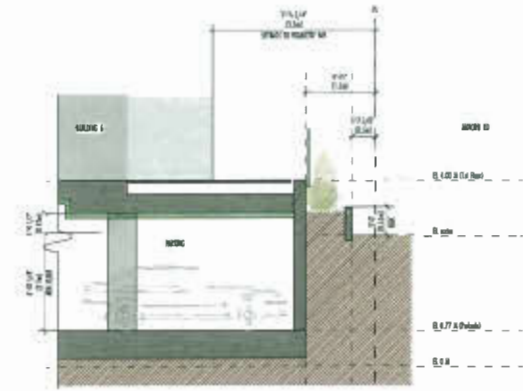
3 PLAN VIEW @ BUILDING 6 ALONG NEW RIVER PARKWAY
1/8" = 1'-0"



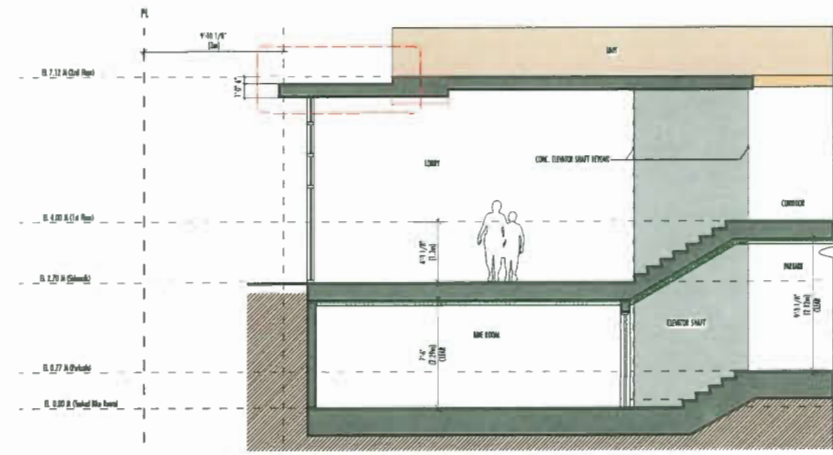
4 STREETScape @ BUILDING 6 ALONG NEW RIVER PARKWAY
1/8" = 1'-0"



5 SECTION ALONG GREENWAY AT MINORU
1/4" = 1'-0"



6 SECTION ALONG PATIOS ON MINORU
1/4" = 1'-0"



7 SECTION THROUGH ENTRANCE LOBBY AT NEW RIVER PARKWAY
1/4" = 1'-0"



I	DEC 19th, 2019	RE-ISSUED FOR RP APPLICATION
II	DEC 10th, 2019	RE-ISSUED FOR RP APPLICATION
G	NOV. 20th, 2019	RE-ISSUED FOR RP APPLICATION
F	NOV. 6th, 2019	RE-ISSUED FOR RP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR RP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR RP APPLICATION
B	APR. 8th, 2019	RE-ISSUED FOR RP APPLICATION
A	FEB. 26th, 2019	ISSUED FOR RP APPLICATION

Copyright. All rights reserved.
Reproduction in whole or in part is prohibited.
This drawing is an instrument of service in the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

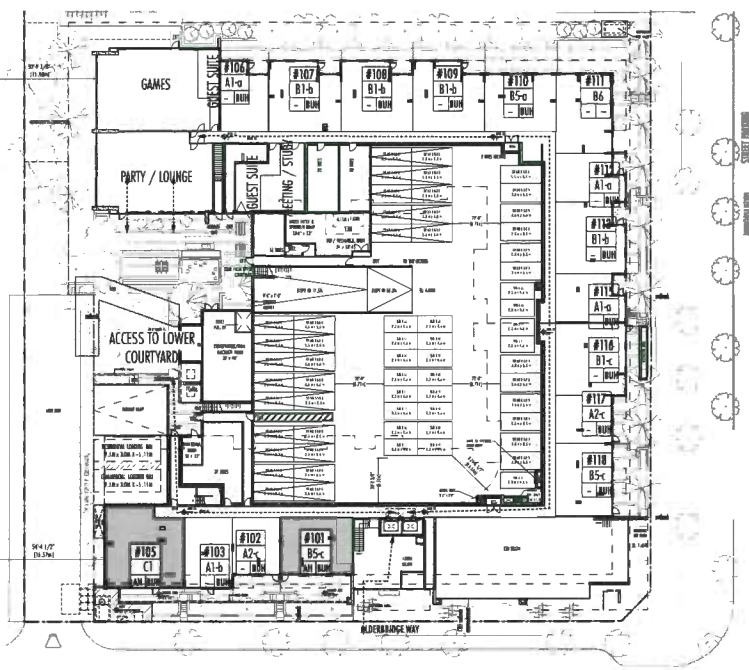
202 - 33 East 8th Avenue
Vancouver, BC V6T 1R5
T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences at Rivo-2

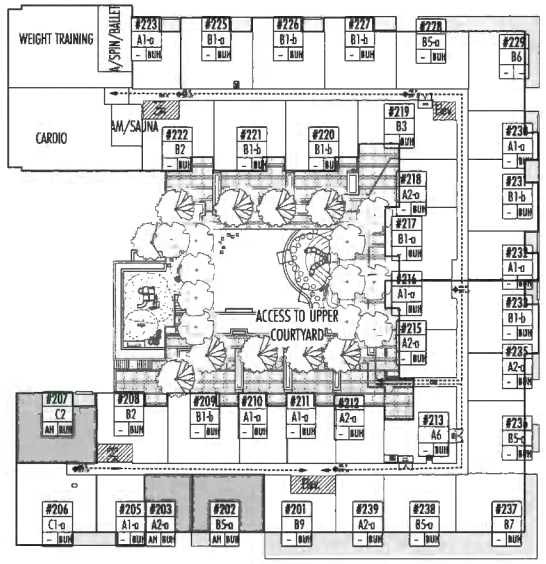
7811 Alderbridge Way
Richmond, BC

DRAWING TITLE -
Street Sections

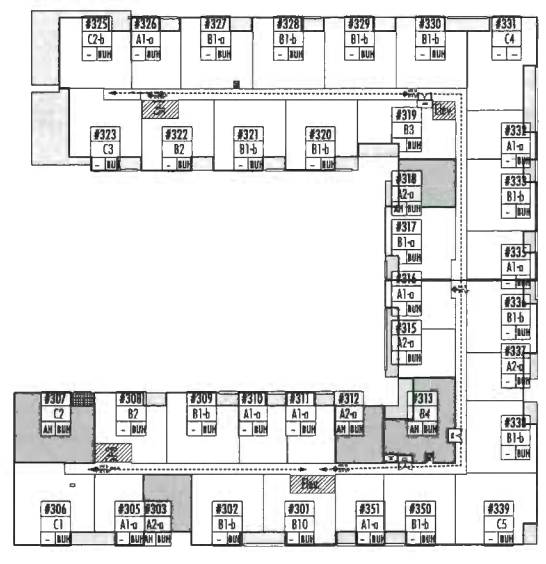
SCALE -	AS NOTED	SHEET NO. -	A.0.11
DATE -	APR 8, 2019	PROJECT NO. -	1601
DRAWN BY -	PS		
CHECKED BY -			



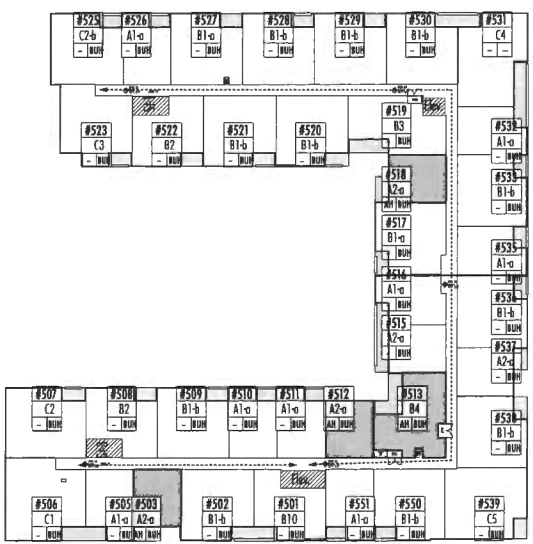
1 Building 5-Ground Lvl.



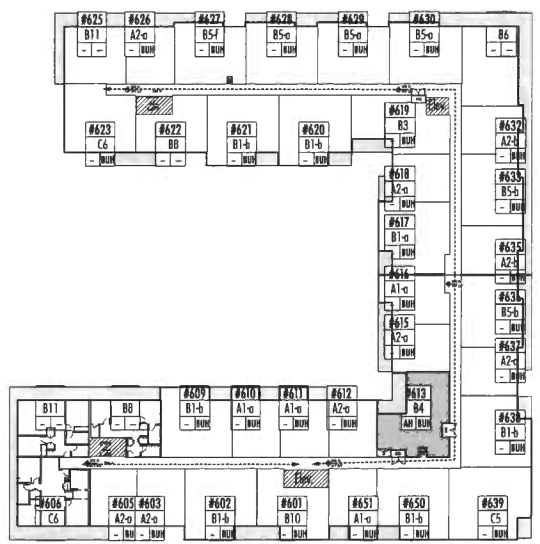
2 Building 5-02 Lvl.



3 Building 5-03 Lvl.



4 Building 5-04 Lvl.



5 Building 5-05 Lvl.

AFFORDABLE HOUSING SUMMARY

TOTAL PROPOSED BUILDING AREA FOR RESIDENTIAL USE:	30,477 sq m
AFFORDABLE HOUSING AREA TO BE PROVIDED @ 5%	1,524 sq m
AFFORDABLE HOUSING PROPOSED IN B5	1,071 sq m
AFFORDABLE HOUSING PROPOSED IN B6	322 sq m
TOTAL AFFORDABLE HOUSING PROPOSED	1,393 sq m

AFFORDABLE UNITS - BUILDING B5

1 BED UNITS		
TYPE	AREA	COUNT
A1-a	50.93 sq m	7.0
TOTAL	357 sq m	7.0
2 BED UNITS		
TYPE	AREA	COUNT
B4	83.58 sq m	3.0
B5-a	75.81 sq m	1.0
B5-c	75.84 sq m	1.0
TOTAL	402 sq m	5.0
3 BED UNITS		
TYPE	AREA	COUNT
C1	115.79 sq m	1.0
C2	98.25 sq m	1.0
C3	98.25 sq m	1.0
TOTAL	312 sq m	3.0
TOTAL	1,071 sq m	15

AFFORDABLE UNITS - BUILDING B6

1 BED UNITS (Avg.)		
TYPE	AREA	COUNT
A1-a	0 sq m	0.0
TOTAL	0 sq m	0.0
2 BED UNITS		
TYPE	AREA	COUNT
B4	83.58 sq m	4.0
TOTAL	334 sq m	4.0
3 BED UNITS		
TYPE	AREA	COUNT
C1-a	96.76 sq m	1.0
C1	99.04 sq m	1.0
TOTAL	195.80 sq m	2.0
TOTAL	522 sq m	6

MARKET UNITS - BUILDING B5 Avg. 74 sq m

1 BED UNITS (Avg.)		
TYPE	AREA	COUNT
A1-a	56.81 sq m	1.0
A1-a	56.82 sq m	1.0
A1-a	55.99 sq m	2.0
A1-a	57.34 sq m	26.0
A1-b	62.92 sq m	1.0
A2-a	50.93 sq m	23.0
A2-b	53 sq m	2.0
A2-c	50.91 sq m	2.0
A6	76.86 sq m	1.0
TOTAL	3,240 sq m	59.0
2 BED UNITS (Avg.)		
TYPE	AREA	COUNT
B1-a	86.17 sq m	4.0
B1-b	87.6 sq m	1.0
B1-b	87.8 sq m	37.0
B1-c	93.62 sq m	1.0
B2	74.9 sq m	4.0
B3	84.89 sq m	4.0
B4	83.58 sq m	3.0
B5-a	75.81 sq m	5.0
B5-c	75.84 sq m	2.0
B5-f	79.12 sq m	1.0
B6	83.22 sq m	3.0
B7	73.87 sq m	1.0
B8	62.81 sq m	2.0
B9	60.38 sq m	1.0
B10	72.46 sq m	3.0
B11	65.55 sq m	1.0
B11	76.55 sq m	1.0
B11	79.94 sq m	5.0
B11	87.18 sq m	4.0
TOTAL	7,045 sq m	85.0
3 BED UNITS (Avg.)		
TYPE	AREA	COUNT
C1	109.34 sq m	2.0
C1	115.79 sq m	1.0
C1-a	109.51 sq m	1.0
C2	98.25 sq m	3.0
C2-b	88.23 sq m	2.0
C3	90.22 sq m	2.0
C4	104.43 sq m	2.0
C5	102.02 sq m	1.0
C5	103.44 sq m	2.0
C6	85.38 sq m	1.0
C6	85.81 sq m	1.0
TOTAL	1,784 sq m	18.0



I	DEC 19th, 2019	ISSUED FOR DP APPLICATION
H	DEC 10th, 2019	RECEIVED FOR DP APPLICATION
G	NOV 20th, 2019	ISSUED FOR DP APPLICATION
F	NOV 6th, 2019	ISSUED FOR DP APPLICATION
E	OCT 25th, 2019	ISSUED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	ISSUED FOR DP APPLICATION
B	APR 8th, 2019	ISSUED FOR DP APPLICATION
A	FEB 26th, 2019	ISSUED FOR DP APPLICATION
NO	DATE	NOTE

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
Vancouver, BC V6T 1R5
T - 604 731 1127 F - 604 731 1327

Residences at Rivo-2

7811 Alderbridge Way
Richmond, BC

BUILDING 5 (B5H + AH)

SCALE	NTS	SHEET NO.	A.0.15
DATE	APR 8, 2019	PROJECT	RESIDENCES AT RIVO-2
DESIGNER	Y	PROJ NO.	1401

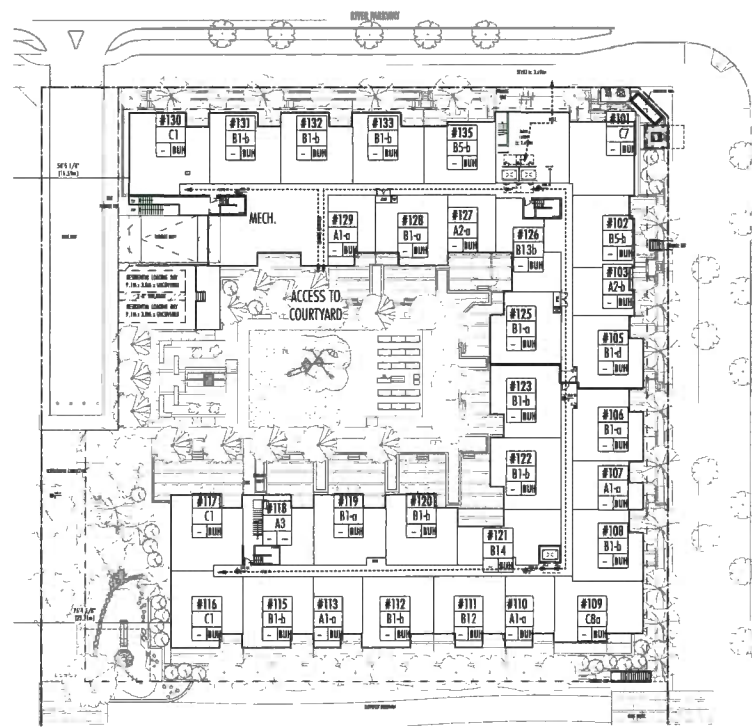
BUILDING 5 @ NEW RIVA

FLOOR	1 BED		2 BED		3 BED		TOTAL UNITS		GROSS AREA	DEDUCTIONS					FAR AREA	AFFORDABLE HOUSING		
	TOTAL	(B5H)	TOTAL	(B5H)	TOTAL	(B5H)	TOTAL	(B5H)		SERVICE	CIRCULATION	AMENITY	EEE EQUIP EXEMPTION	BUR EXEMPTION		1 B	2 B	3 B
B5	13	(13)	21	(14)	3	(3)	37	(30)	2,951 sq m		46 sq m	0 sq m	38 sq m	69 sq m	2,799 sq m	0	1	0
B4	13	(13)	18	(18)	6	(5)	37	(26)	3,142 sq m		46 sq m	0 sq m	38 sq m	69 sq m	2,989 sq m	3	1	0
B3	13	(13)	18	(18)	6	(5)	37	(26)	3,143 sq m		46 sq m	0 sq m	38 sq m	69 sq m	2,991 sq m	3	1	1
O2	14	(14)	19	(18)	2	(2)	35	(24)	3,232 sq m		46 sq m	387 sq m	36 sq m	65 sq m	2,698 sq m	1	1	1
B1	6	(6)	9	(9)	1	(1)	16	(15)	2,136 sq m	100 sq m		442 sq m	16 sq m	30 sq m	1,549 sq m	0	1	1
P1	0	(0)	0	(0)	0	(0)	0	(0)	372 sq m			0 sq m	0 sq m	0 sq m	372 sq m	0	0	0
UNIT MIX	59	(59)	85	(78)	18	(14)	162	(153)	14,975.46 sq m	100 sq m	183 sq m	828 sq m	165 sq m	301 sq m	13,397 sq m	7	5	3
	36%		52%		11%		100%	94%								15 units		

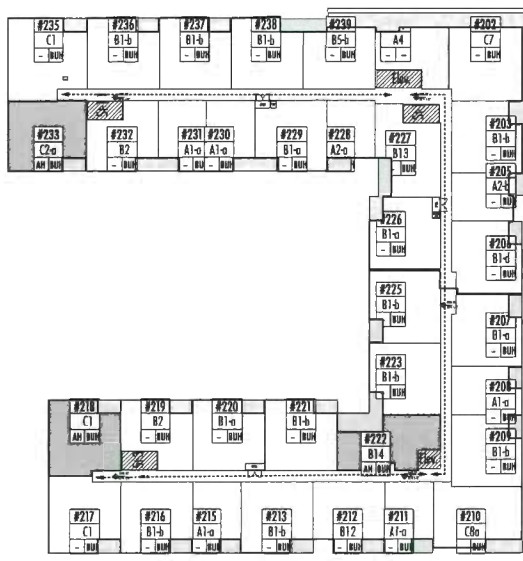
100% OF AH UNITS OF B5 COMPLY WITH BUHF

100% OF AH UNITS OF B5 COMPLY WITH BUHF

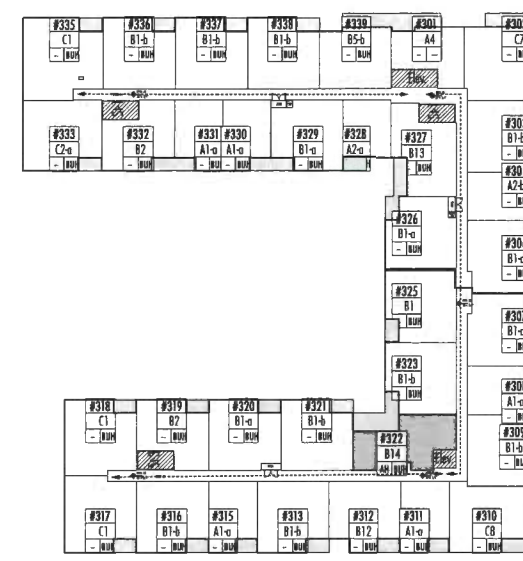
ACCESSIBILITY STRATEGY:
RED DOTTED LINE INDICATES WHEEL CHAIR ROUTE TO COMMON AREAS & AMENITIES



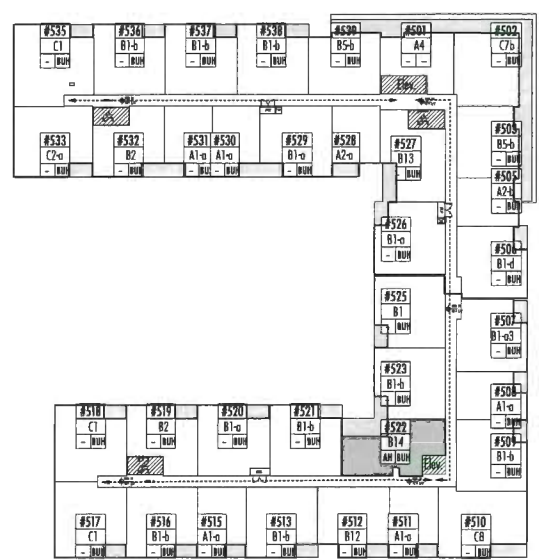
1 Building 6 - Ground Lvl.



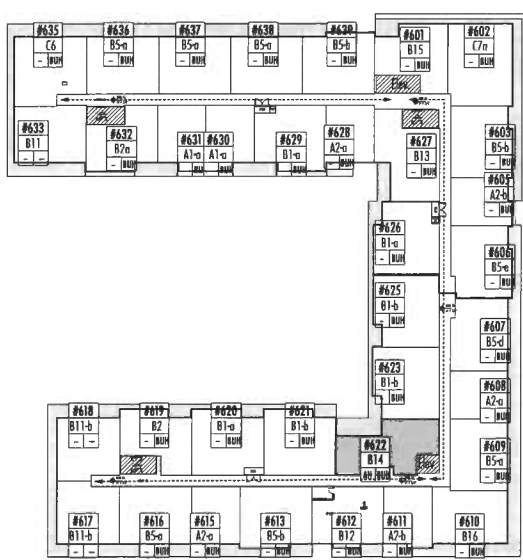
2 Building 6 - 02 Lvl.



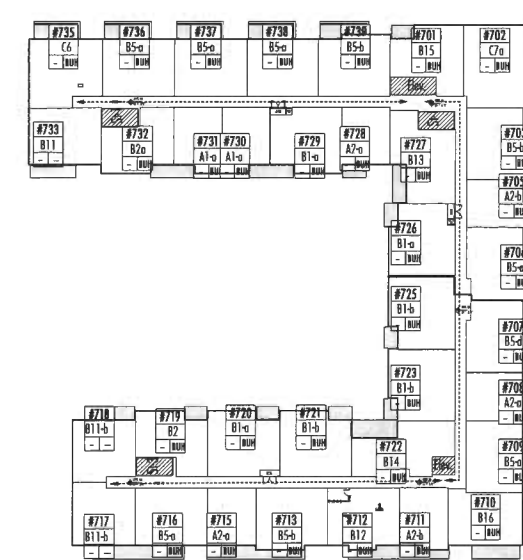
3 Building 6 - 03 Lvl.



4 Building 6 - 04 Lvl.



5 Building 6 - 05 Lvl.



6 Building 6 - Roof

AFFORDABLE HOUSING SUMMARY

TOTAL PROPOSED BUILDING AREA FOR RESIDENTIAL USE	30,477 sq m
AFFORDABLE HOUSING AREA TO BE PROVIDED @ 5%	1,524 sq m
AFFORDABLE HOUSING PROPOSED IN B5	1,071 sq m
AFFORDABLE HOUSING PROPOSED IN B6	522 sq m
TOTAL AFFORDABLE HOUSING PROPOSED	1,593 sq m

AFFORDABLE UNITS - BUILDING B5

1 BED UNITS		
TYPE	AREA	COUNT
A5-a	50.99 sq m	7.0
TOTAL	357 sq m	7.0
2 BED UNITS		
TYPE	AREA	COUNT
B4	83.58 sq m	8.0
B5-a	75.81 sq m	1.0
B5-c	75.84 sq m	1.0
TOTAL	402 sq m	5.0
3 BED UNITS		
TYPE	AREA	COUNT
C1	115.79 sq m	1.0
C2	99.25 sq m	1.0
C2	99.25 sq m	1.0
TOTAL	312 sq m	3.0
TOTAL	1,071 sq m	15

AFFORDABLE UNITS - BUILDING B6

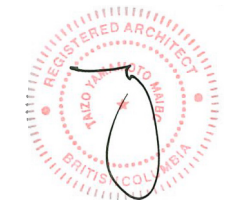
1 BED UNITS (Avg.)		
TYPE	AREA	COUNT
	0 sq m	0.0
TOTAL	0 sq m	0.0
2 BED UNITS		
TYPE	AREA	COUNT
B14	82.12 sq m	4.0
TOTAL	328 sq m	4.0
3 BED UNITS		
TYPE	AREA	COUNT
C5-a	96.79 sq m	1.0
C1	99.24 sq m	1.0
TOTAL	190 sq m	2.0
TOTAL	522 sq m	6

MARKET UNITS - BUILDING B6 AVG. 78 sq m

1 BED UNITS (Avg.)		
TYPE	AREA	COUNT
A1-a	55.85 sq m	4.0
A1-a	57.56 sq m	19.0
A2-a	50.92 sq m	10.0
A2-b	53 sq m	8.0
A3	55.76 sq m	1.0
A4	65.21 sq m	3.0
TOTAL	2,500 sq m	45.0
2 BED UNITS (Avg.)		
TYPE	AREA	COUNT
B1-a	80.77 sq m	4.0
B1-a	81.26 sq m	2.0
B1-a	84.8 sq m	8.0
B1-a	85.29 sq m	4.0
B1-b	83.87 sq m	4.0
B1-b	84.11 sq m	2.0
B1-d	86.04 sq m	2.0
B2	69.41 sq m	4.0
B2	74.9 sq m	6.0
B2a	70.14 sq m	2.0
B5-a	75.81 sq m	10.0
B5-b	79.84 sq m	12.0
B5-d	74.1 sq m	1.0
B5-d	74.11 sq m	1.0
B5-a	75.98 sq m	1.0
B5-a	78.01 sq m	1.0
B11	76.05 sq m	2.0
B11-b	70.42 sq m	4.0
B12	78.09 sq m	2.0
B12	82.65 sq m	4.0
B13	87.21 sq m	5.0
B13b	76.13 sq m	1.0
B14	83.12 sq m	6.0
B15	73.92 sq m	2.0
B16	74.28 sq m	2.0
-	86.19 sq m	4.0
-	87.9 sq m	30.0
TOTAL	71,015 sq m	134.0
3 BED UNITS (Avg.)		
TYPE	AREA	COUNT
-	87.5 sq m	2.0
C1	93.04 sq m	8.0
C1	109.34 sq m	4.0
C2-a	96.78 sq m	3.0
C3	86.8 sq m	2.0
C7	99.47 sq m	2.0
C7-a	98.03 sq m	2.0
C8	100.78 sq m	2.0
C8a	96.41 sq m	2.0
TOTAL	2,410 sq m	27.0

100% OF AH UNITS OF B6 COMPLY WITH BUHF

ACCESSIBILITY STRATEGY:
RED DOTTED LINE INDICATES WHEEL CHAIR ROUTE TO COMMON AREAS & AMENITIES



NO.	DATE	REVISION
I	DEC 19th, 2019	ISSUED FOR I/P APPLICATION
H	DEC 10th, 2019	ISSUED FOR I/P APPLICATION
G	NOV 20th, 2019	ISSUED FOR I/P APPLICATION
F	NOV 4th, 2019	ISSUED FOR I/P APPLICATION
E	OCT 25th, 2019	ISSUED FOR I/P APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	ISSUED FOR I/P APPLICATION
B	APR 04th, 2019	ISSUED FOR I/P APPLICATION
A	FEB 26th, 2019	ISSUED FOR I/P APPLICATION

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
Vancouver, BC V5T 1R5
T - 604 731 1127 F - 604 731 1327

Residences at Riva-2

7811 Alberleyway
Richmond, BC

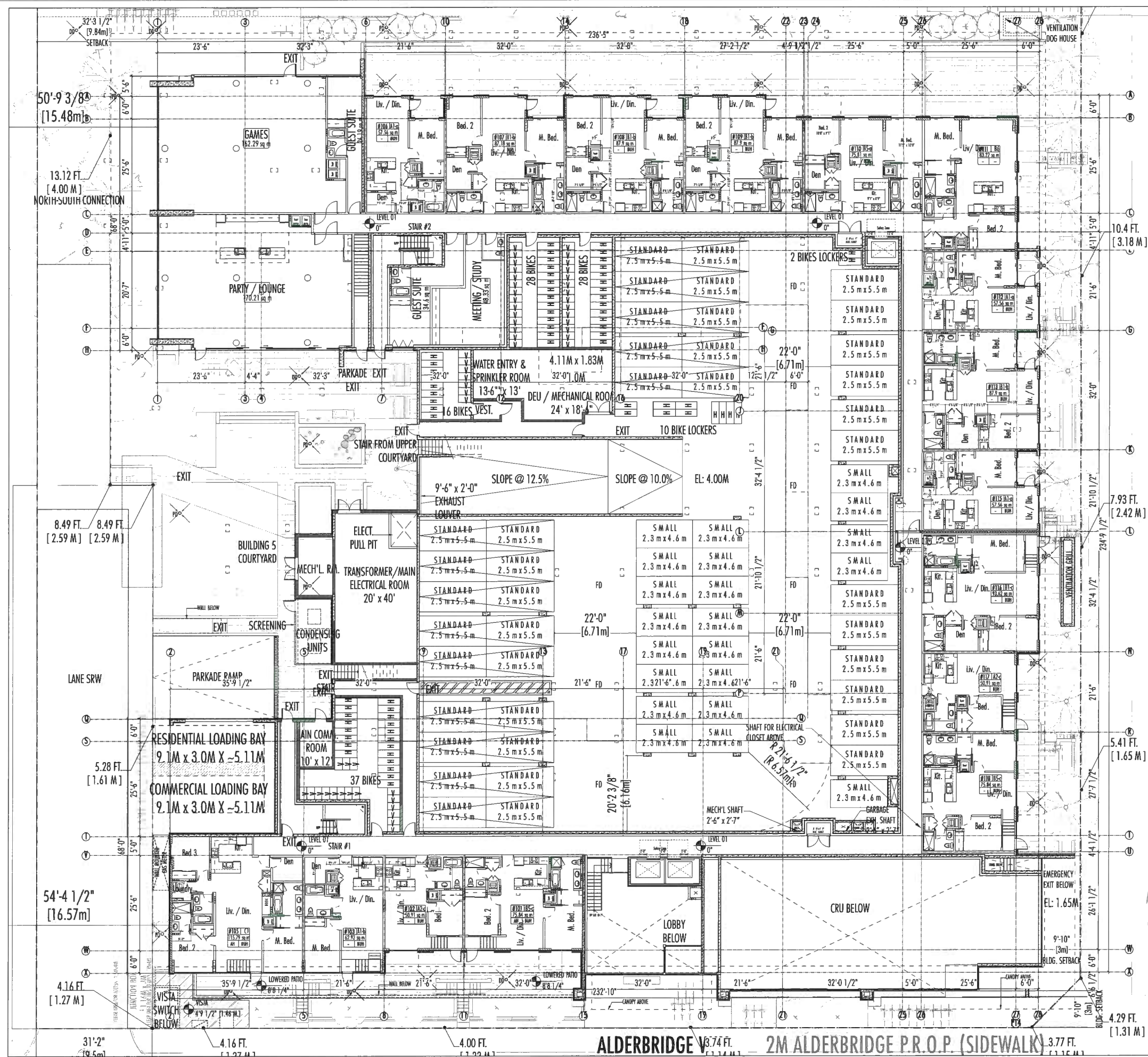
DRAWING TITLE -
BUILDING 6 (BUN + AH)

SCALE - NTS	SHEET NO. -
DATE - APR 8, 2019	A.0.16
DRAWN - FS	
CHECKED -	PROJ NO. - 1601

BUILDING 6 @ NEW RIVA

FLOOR	1 BED		2 BED		3 BED		TOTAL UNITS		GROSS AREA	DEDUCTIONS					FAR AREA	AFFORDABLE UNITS		
	TOTAL	(BUN)	TOTAL	(BUN)	TOTAL	(BUN)	TOTAL	(BUN)		SERVICE	CIRCULATION	AMENITY	EEC EXEMPTION	BUN EXEMPTION		1 B	2 B	3 B
B6	7	(7)	26	(23)	2	(2)	35	(32)	2,893 sq m		58sq m	0sq m	36sq m	65sq m	2,735sq m	0	0	0
B5	7	(7)	26	(23)	2	(2)	35	(32)	2,893 sq m		59sq m	0sq m	36sq m	65sq m	2,734sq m	0	1	0
B4	8	(7)	21	(21)	6	(4)	35	(34)	3,138 sq m		58sq m	0sq m	36sq m	65sq m	2,979sq m	0	1	0
B3	8	(7)	21	(21)	6	(4)	35	(34)	3,159 sq m		58sq m	0sq m	36sq m	65sq m	3,000sq m	0	1	0
B2	8	(7)	21	(21)	6	(4)	35	(34)	3,154 sq m		58sq m	0sq m	36sq m	65sq m	2,995sq m	0	1	2
B1	7	(4)	19	(19)	5	(5)	31	(30)	3,071 sq m	100sq m	0sq m	0sq m	32sq m	58sq m	2,882sq m	0	0	0
Unit mix	45	(41)	134	(128)	27	(27)	206	(197)	18,307.96 sq m	100sq m	291sq m	0sq m	210sq m	383sq m	17,324 sq m	0	4	2
		22%		65%		13%		100%								6		2

100% OF AH UNITS OF B6 COMPLY WITH BUHF



Legend:

- Unit number
- Unit type
- Unit area
- Unit area
- Unit area
- Unit area

DOOR POSITIONING GUIDE:

NOTES:

- Finery covers proposed in between adjoining units and balconies.
- Electrical consultant to run conduits for potential future solar panel installation. See consultant's drawings for details.

MARKET UNITS - BUILDING B5		AVG. 74 sq m	TOTAL	7,045 sq m	85.0
1 BED UNITS (Avg.)		55 sq m	2 BED UNITS (Avg.)		99 sq m
TYPE	AREA	COUNT	TYPE	AREA	COUNT
A1a	56.07 sq m	1.0	C1	109.34 sq m	2.0
A1b	54.05 sq m	1.0	C1	115.79 sq m	1.0
A1c	55.79 sq m	2.0	C1a	109.51 sq m	1.0
A1d	57.36 sq m	20.0	C2	98.25 sq m	3.0
A1e	62.72 sq m	1.0	C3	88.23 sq m	2.0
A2a	50.93 sq m	23.0	C4	104.43 sq m	2.0
A2b	53.00 sq m	2.0	C5	102.00 sq m	1.0
A2c	50.91 sq m	2.0	C5	102.00 sq m	2.0
A6	76.86 sq m	1.0	C5	102.00 sq m	1.0
TOTAL	3,940 sq m	59.0	TOTAL	1,794 sq m	18.0
2 BED UNITS (Avg.)		83 sq m			
TYPE	AREA	COUNT			
B1a	86.17 sq m	4.0			
B1b	87.4 sq m	1.0			
B1c	87.9 sq m	37.0			
B1d	93.82 sq m	1.0			
B2	74.7 sq m	6.0			
B3	84.87 sq m	4.0			
B4	83.50 sq m	3.0			
B5a	75.81 sq m	5.0			
B5c	75.84 sq m	2.0			
B5f	79.12 sq m	1.0			
B6	83.22 sq m	3.0			
B7	79.87 sq m	1.0			
B8	82.81 sq m	2.0			
B9	80.36 sq m	1.0			
B10	72.44 sq m	3.0			
B11	65.55 sq m	1.0			
B12	71.55 sq m	1.0			
B13	79.84 sq m	5.0			
B14	87.38 sq m	4.0			
TOTAL	1,794 sq m	18.0			



REV	DATE	DESCRIPTION
I	DEC 19th, 2019	ISSUED FOR BP APPLICATION
H	DEC 10th, 2019	ISSUED FOR BP APPLICATION
G	NOV 20th, 2019	ISSUED FOR BP APPLICATION
F	NOV 4th, 2019	ISSUED FOR BP APPLICATION
E	OCT 25th, 2019	ISSUED FOR BP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	ISSUED FOR BP APPLICATION
B	APR 08th, 2019	ISSUED FOR BP APPLICATION
A	FEB 26th, 2019	ISSUED FOR BP APPLICATION
01		

Copyright All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing is an instrument of service in the property of the architect and may not be used in any way without the written permission of this office.

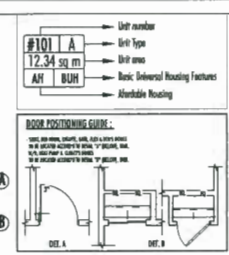
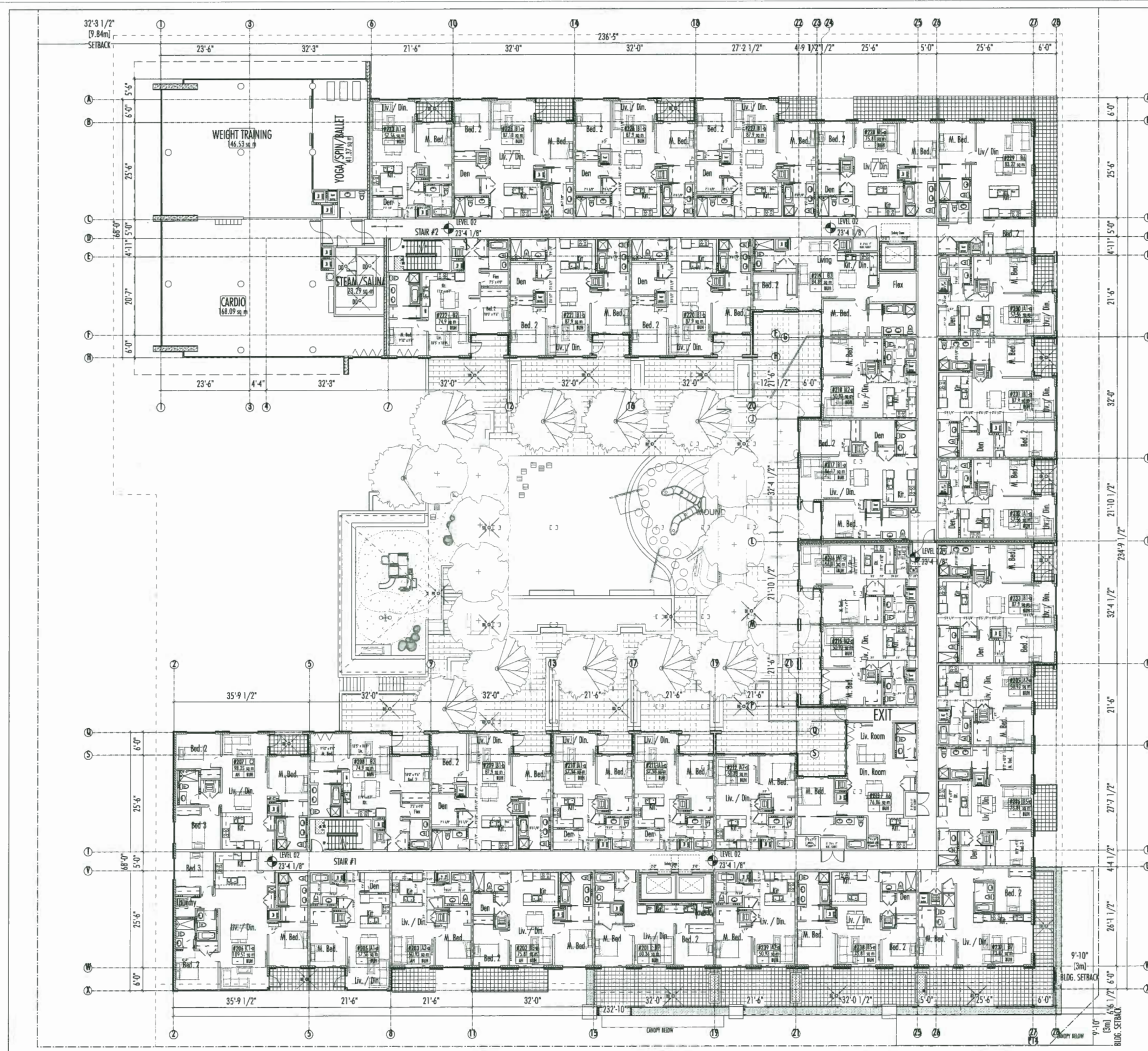
YAMAMOTO ARCHITECTURE
 202 - 33 East 8th Avenue
 Vancouver, BC V6T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences at Riva-2
 7811 Alderbridge
 Richmond, BC

ISSUING TITLE -
B5-LEVEL 01
 SCALE - 1/8"=1'-0"
 DATE - APR 8, 2019
 SHEET NO. -
A.106
 DRAWN - PS
 CHECKED -
 PROJ NO. - 1601

DP 18-841057 Plan 19
Jan 2, 2020

ALDERBRIDGE V 83.74 FT. 25.51 M
2M ALDERBRIDGE P.R.O.P. (SIDEWALK) 3.77 FT. 1.15 M



MARKET UNITS - BUILDING B5 AVG. 74 sq m

1 BED UNITS (Avg.)			55 sq m
TYPE	AREA	COUNT	
A1a	54.81 sq m	1.0	
A1b	54.02 sq m	1.0	
A1c	55.99 sq m	2.0	
A1d	57.56 sq m	10.0	
A1e	42.92 sq m	1.0	
A2a	50.92 sq m	29.0	
A2b	53 sq m	2.0	
A2c	50.91 sq m	2.0	
A6	71.84 sq m	1.0	
TOTAL	3,240 sq m	59.0	

2 BED UNITS (Avg.)			83 sq m
TYPE	AREA	COUNT	
B1a	84.77 sq m	4.0	
B1b	87.4 sq m	1.0	
B1c	87.9 sq m	37.0	
B1d	93.82 sq m	1.0	
B2	74.9 sq m	6.0	
B3	84.87 sq m	4.0	
B4	83.58 sq m	3.0	
B5a	75.81 sq m	5.0	
B5b	75.84 sq m	2.0	
B5f	79.73 sq m	1.0	
B6	82.23 sq m	3.0	
B7	73.87 sq m	1.0	
B8	82.81 sq m	2.0	
B9	82.36 sq m	1.0	
B10	72.46 sq m	3.0	
B11	65.55 sq m	1.0	
B12	76.55 sq m	1.0	
B13	79.84 sq m	5.0	
B14	87.18 sq m	4.0	
TOTAL	7,965 sq m	85.0	

3 BED UNITS (Avg.)			99 sq m
TYPE	AREA	COUNT	
C1	109.34 sq m	2.0	
C1	115.79 sq m	1.0	
C1a	109.51 sq m	1.0	
C2	99.25 sq m	3.0	
C2b	88.23 sq m	2.0	
C3	92.22 sq m	2.0	
C4	104.43 sq m	2.0	
C5	107.02 sq m	1.0	
C5	102.84 sq m	2.0	
C6	85.28 sq m	1.0	
C6	85.61 sq m	1.0	
TOTAL	1,794 sq m	18.0	

NOTES:
 - Floor covers prepared in between adjoining parties and building.
 - Certified consultant to see models for potential future site plan installation. See consultant's drawings for details.



NO.	DATE	DESCRIPTION
I	DEC 19th, 2019	RE-ISSUED FOR BP APPLICATION
H	DEC 10th, 2019	RE-ISSUED FOR BP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR BP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR BP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR BP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR BP APPLICATION
B	APR 08th, 2019	RE-ISSUED FOR BP APPLICATION
A	FEB 26th, 2019	ISSUED FOR BP APPLICATION

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

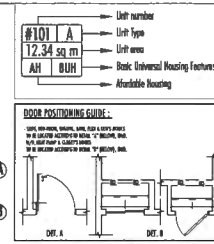
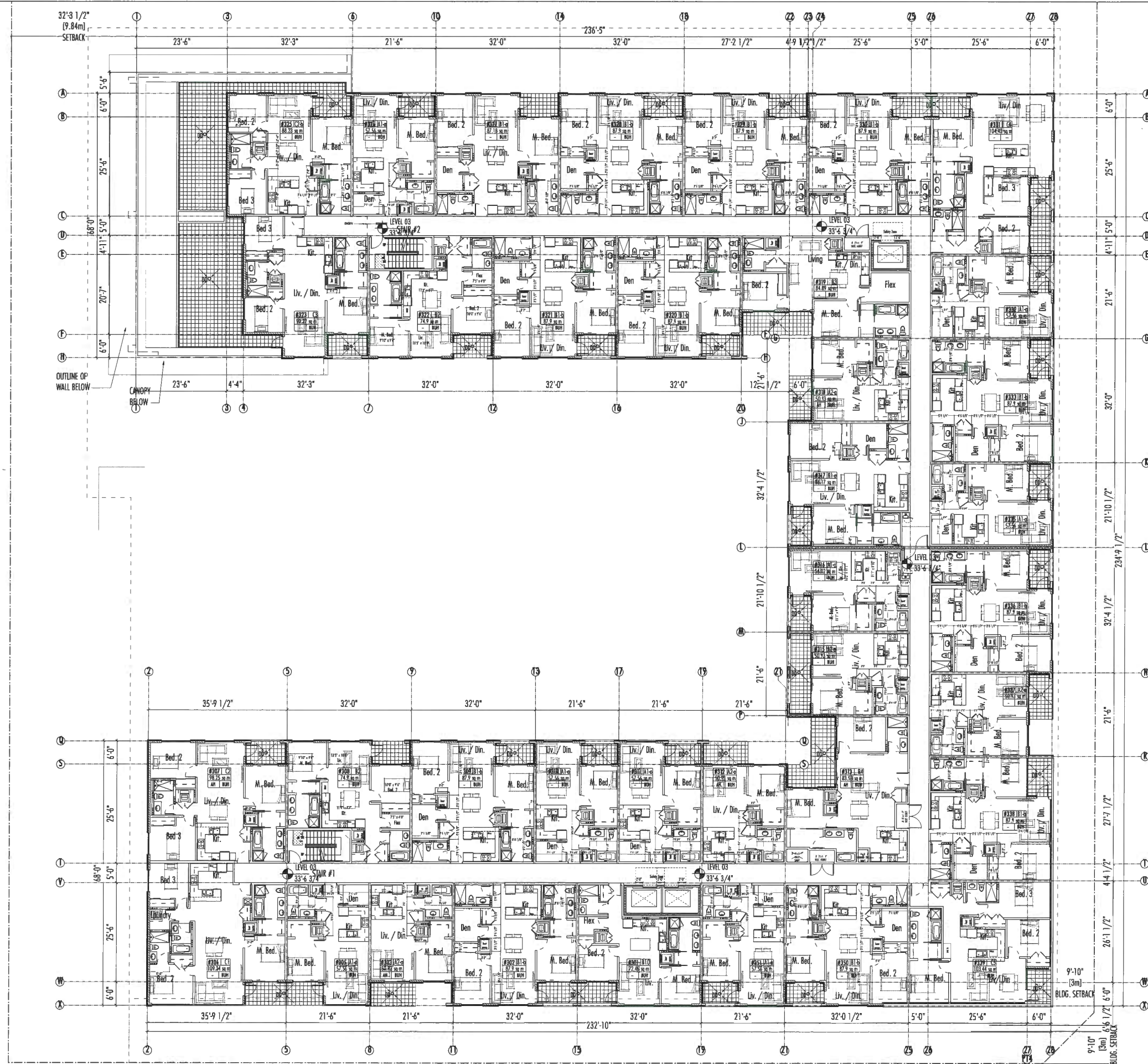
YAMAMOTO ARCHITECTURE
 202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

Residences at Rivo-2
 7811 Alderbridge Way
 Richmond, BC

DRIVING TITLE
 B5-LEVEL 02

SCALE - 1/8"=1'-0"	SHEET NO. -
DATE - APR 8, 2019	A.1.07
DRAWN - JS	
CHECKED -	REV NO. - 1601

DP 18-841057 Plan 20
 Jan 2, 2020



MARKET UNITS - BUILDING B5 Avg. 74 sq m

1 BED UNITS (Avg.)			55 sq m
TYPE	AREA	COUNT	
A1-a	56.81 sq m	1.0	
A1-b	56.02 sq m	1.0	
A1-c	55.99 sq m	2.0	
A1-d	57.56 sq m	34.0	
A2-a	42.92 sq m	1.0	
A2-b	50.89 sq m	29.0	
A2-c	53 sq m	2.0	
A2-d	59.51 sq m	2.0	
A6	74.86 sq m	1.0	
TOTAL	3,240 sq m	59.0	

2 BED UNITS (Avg.) 83 sq m

TYPE	AREA	COUNT
B1-a	86.17 sq m	4.0
B1-b	87.3 sq m	1.0
B1-c	87.3 sq m	37.0
B1-d	93.83 sq m	1.0
B2	71.9 sq m	4.0
B3	84.89 sq m	4.0
B4	83.58 sq m	3.0
B5-a	75.81 sq m	5.0
B5-b	75.84 sq m	2.0
B5-c	79.32 sq m	1.0
B6	83.22 sq m	3.0
B7	73.87 sq m	1.0
B8	42.81 sq m	2.0
B9	40.36 sq m	1.0
B10	72.44 sq m	3.0
B11	65.55 sq m	1.0
B12	74.55 sq m	1.0
-	79.84 sq m	5.0
-	87.18 sq m	4.0
TOTAL	2,945 sq m	85.0

3 BED UNITS (Avg.) 99 sq m

TYPE	AREA	COUNT
C1	109.94 sq m	2.0
C2	115.79 sq m	1.0
C3-a	109.51 sq m	3.0
C3-b	98.25 sq m	1.0
C3-c	88.23 sq m	2.0
C4	90.22 sq m	2.0
C5	104.43 sq m	2.0
C6	102.02 sq m	1.0
C7	103.44 sq m	2.0
C8	85.38 sq m	1.0
C9	85.11 sq m	1.0
TOTAL	1,784 sq m	18.0

NOTES:
 - Primary access proposed in between adjoining parties and adjacent.
 - Electrical consultant to run conduits for potential future water panel installation. See consultant's drawings for details.



NO.	DATE	DESCRIPTION
I	DEC 19th, 2019	ISSUED FOR DP APPLICATION
H	DEC 10th, 2019	ISSUED FOR DP APPLICATION
G	NOV 20th, 2019	ISSUED FOR DP APPLICATION
F	NOV 4th, 2019	ISSUED FOR DP APPLICATION
E	OCT 25th, 2019	ISSUED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	ISSUED FOR DP APPLICATION
B	APR 8th, 2019	ISSUED FOR DP APPLICATION
A	FEB 26th, 2019	ISSUED FOR DP APPLICATION

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

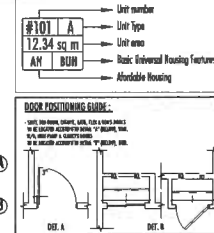
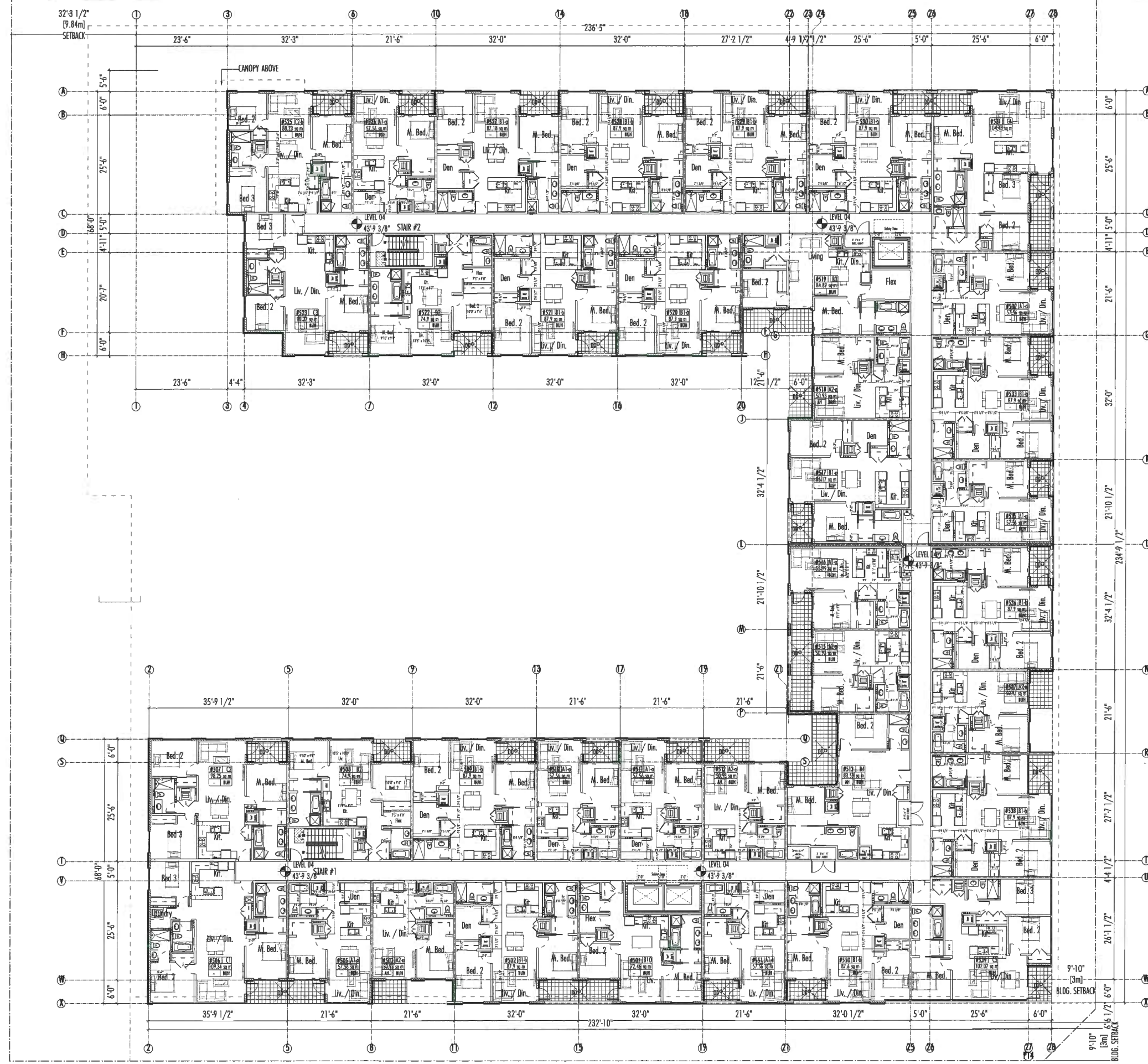
202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
 Residences of Rivo-2
 7811 Alderbridge Way
 Richmond, BC

ISSUING TITLE -
 B5-LEVEL 03

SCALE - 1/8"=1'-0"	SHEET NO. -
DATE - APR 8, 2019	A.1.08
DRAWN - PS	
CHECKED -	PROJ. NO. - 1601

DP 18-841057
 Jan 2, 2020
 Plan 21



MARKET UNITS - BUILDING B5 AVE. 74 sq m

1 BED UNITS (Avg.)			55 sq m
TYPE	AREA	COUNT	
A1-a	56.91 sq m	1.0	
A1-b	56.92 sq m	1.0	
A1-c	55.99 sq m	2.0	
A1-d	57.56 sq m	26.0	
A1-e	43.92 sq m	1.0	
A2-a	55.95 sq m	23.0	
A2-b	53 sq m	2.0	
A2-c	55.91 sq m	2.0	
A2	71.86 sq m	1.0	
TOTAL	3,340 sq m	59.0	

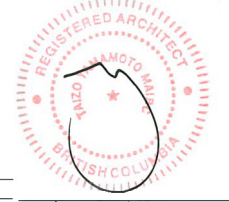
2 BED UNITS (Avg.) 83 sq m

TYPE	AREA	COUNT
B1-a	86.17 sq m	4.0
B1-b	87.6 sq m	1.0
B1-c	87.9 sq m	37.0
B2	79.9 sq m	4.0
B3	84.89 sq m	4.0
B4	83.58 sq m	3.0
B5-a	75.81 sq m	5.0
B5-b	75.84 sq m	2.0
B5-c	79.12 sq m	1.0
B6	85.22 sq m	3.0
B7	73.87 sq m	1.0
B8	42.81 sq m	2.0
B9	40.36 sq m	1.0
B10	72.46 sq m	3.0
B11	45.55 sq m	1.0
B12	74.55 sq m	1.0
B13	79.84 sq m	5.0
B14	87.38 sq m	4.0
TOTAL	7,045 sq m	85.0

3 BED UNITS (Avg.) 99 sq m

TYPE	AREA	COUNT
C1	109.34 sq m	2.0
C2	115.79 sq m	1.0
C3	109.51 sq m	1.0
C4	99.35 sq m	2.0
C5	88.33 sq m	3.0
C6	90.22 sq m	2.0
C7	104.43 sq m	2.0
C8	102.82 sq m	1.0
C9	105.44 sq m	2.0
C10	85.38 sq m	1.0
C11	85.61 sq m	1.0
TOTAL	1,704 sq m	18.0

NOTES:
 - Privacy screens proposed in between adjoining patios and balconies.
 - Electrical consultant to be consulted for potential future solar panel installation. See consultant's drawings for details.



NO.	DATE	DESCRIPTION
I	DEC 19th, 2019	RE-ISSUED FOR DP APPLICATION
H	DEC 10th, 2019	RE-ISSUED FOR DP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR DP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR DP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR DP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR DP APPLICATION
A	FEB 26th, 2019	ISSUED FOR DP APPLICATION

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing is an instrument of service and is the property of the architect and may not be used in any way without the written permission of this office.

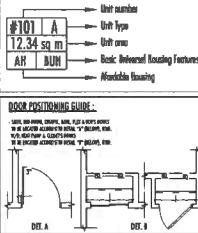
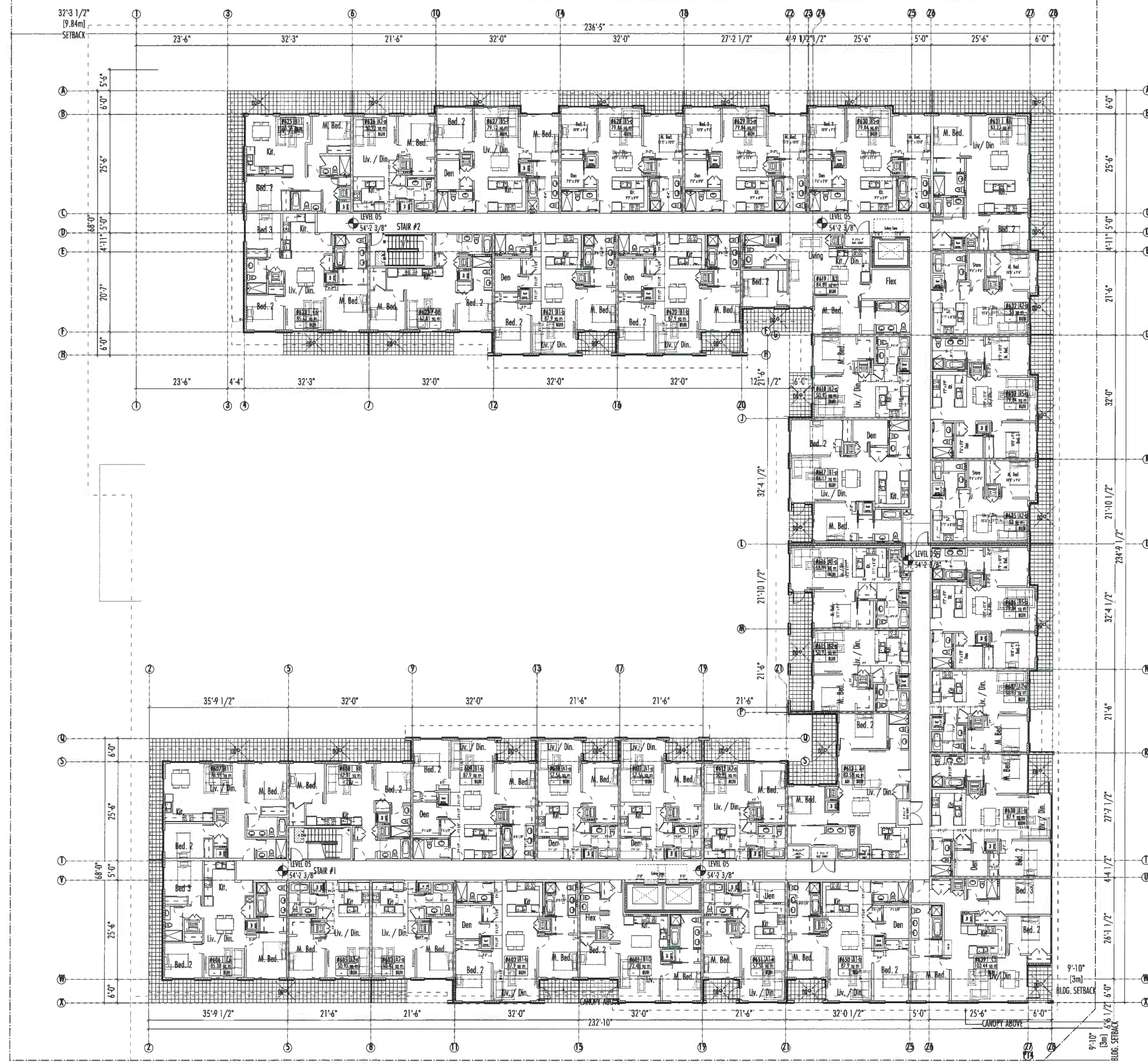
YAMAMOTO ARCHITECTURE
 202 - 33 East 8th Avenue
 Vancouver, BC V6T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT
 Residences at Riva-2
 7811 Alouette Avenue
 Richmond, BC

DRAWING TITLE
 B5-LEVEL 04

SCALE - 1/8"=1'-0"
DATE - APR 8, 2019
DESIGNER - PS
CHECKED -
SHEET NO. - A.1.09
PROJECT NO. - 1601

DP 18-841057 Plan 22
 Jan 2, 2020



MARKET UNITS - BUILDING B5 AVG. 74 sq m

1 BED UNITS (Avg.)			55 sq m
TYPE	AREA	COUNT	
A1-a	56.01 sq m	1.0	
A1-b	56.02 sq m	1.0	
A1-c	55.99 sq m	2.0	
A1-d	57.54 sq m	26.0	
A1-e	42.92 sq m	1.0	
A5-a	50.93 sq m	23.0	
A5-b	53 sq m	2.0	
A5-c	50.91 sq m	2.0	
A5	76.86 sq m	1.0	
TOTAL	3,240 sq m	59.0	

2 BED UNITS (Avg.)			83 sq m
TYPE	AREA	COUNT	
B1-a	80.17 sq m	4.0	
B1-b	87.5 sq m	1.0	
B1-c	87.7 sq m	37.0	
B1-d	93.22 sq m	1.0	
B2	74.9 sq m	4.0	
B3	84.89 sq m	4.0	
B4	85.58 sq m	8.0	
B5-a	75.81 sq m	5.0	
B5-b	75.84 sq m	2.0	
B5-c	79.32 sq m	1.0	
B6	80.22 sq m	2.0	
B7	73.87 sq m	1.0	
B8	61.81 sq m	2.0	
B9	60.26 sq m	1.0	
B10	72.46 sq m	2.0	
B11	65.55 sq m	1.0	
B12	74.55 sq m	1.0	
-	79.84 sq m	5.0	
-	87.18 sq m	4.0	
TOTAL	7,045 sq m	85.0	

3 BED UNITS (Avg.)			99 sq m
TYPE	AREA	COUNT	
C1	109.34 sq m	2.0	
C1-a	115.79 sq m	1.0	
C1-b	109.51 sq m	1.0	
C2	96.25 sq m	2.0	
C3-a	88.23 sq m	3.0	
C3	96.22 sq m	2.0	
C4	104.43 sq m	2.0	
C5	102.82 sq m	2.0	
C6	103.84 sq m	2.0	
C7	85.38 sq m	1.0	
C8	85.61 sq m	1.0	
TOTAL	1,704 sq m	18.0	

NOTES:

- Primary access proposed in between adjacent units and balconies.
- Electrical consultant to run conduits for potential future solar panel installation. See consultant's drawings for details.



NO.	DATE	DESCRIPTION
1	DEC. 19th, 2019	RECEIVED FOR DP APPLICATION
2	DIC. 10th, 2019	RECEIVED FOR DP APPLICATION
3	NOV. 20th, 2019	RECEIVED FOR DP APPLICATION
4	NOV. 6th, 2019	RECEIVED FOR DP APPLICATION
5	OCT. 25th, 2019	RECEIVED FOR DP APPLICATION
6	SEP. 25th, 2019	ISSUED FOR COORDINATION
7	JUNE 27th, 2019	RECEIVED FOR DP APPLICATION
8	APR. 8th, 2019	RECEIVED FOR DP APPLICATION
9	FEB. 26th, 2019	ISSUED FOR DP APPLICATION

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing is an instrument of service in the property of the architect and may not be used in any way without the written permission of this office.

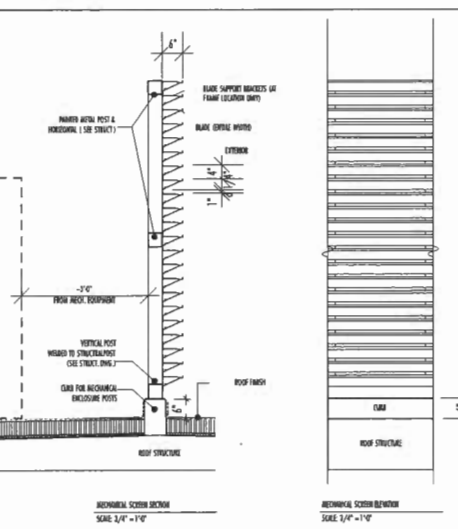
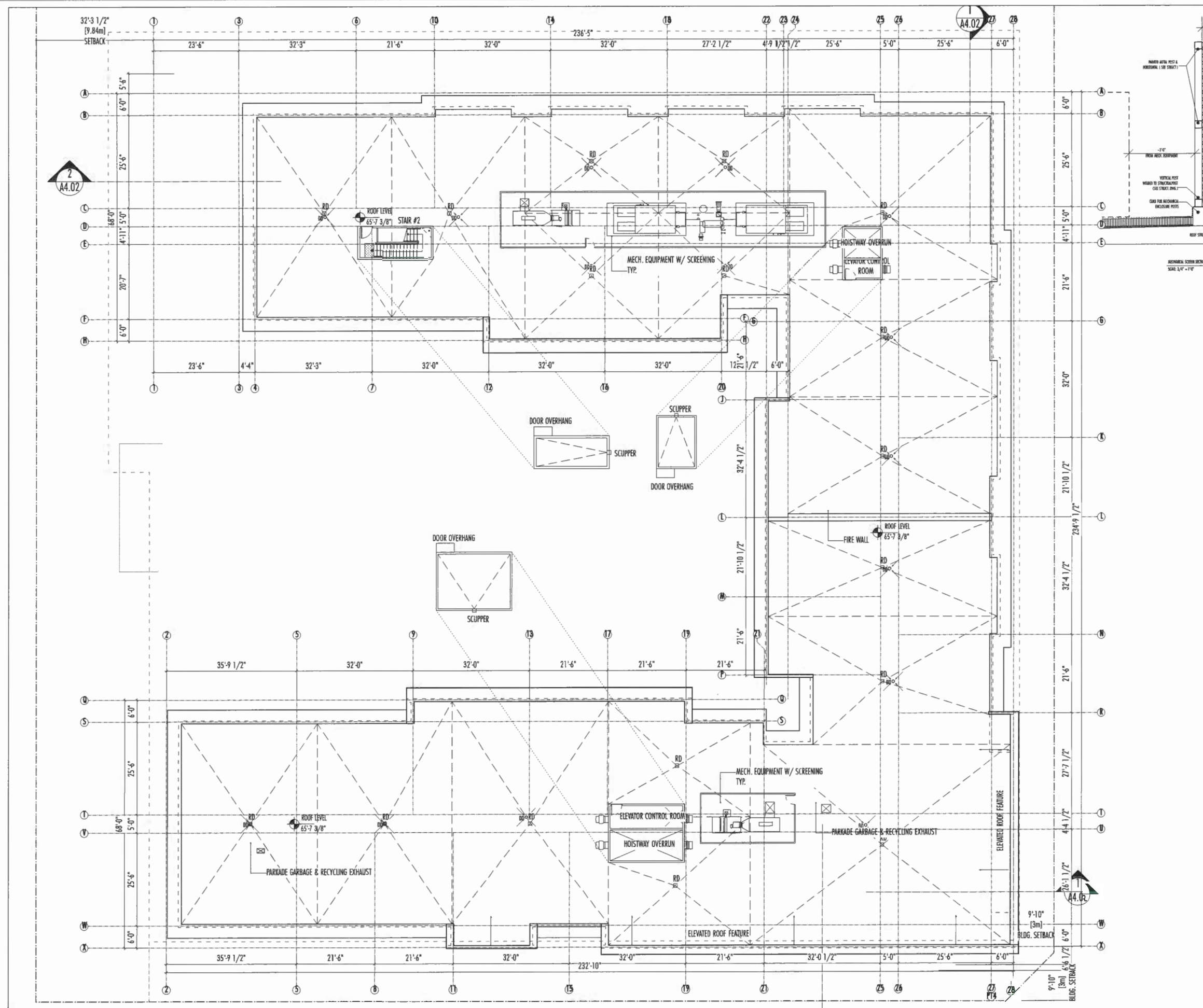
YAMAMOTO ARCHITECTURE
 202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences at Rivo-2
 7611 Alouette Highway
 Richmond, BC

DRAWING TITLE -
B5-LEVEL 05

SCALE - 1/8"=1'-0"	SHEET NO. -
DATE - APR 8, 2019	A.1.10
OWNER - PS	
DRAWN BY -	PROJ NO. - 1601

DP 18-841057
Plan 23
Jan 2, 2020



I	DEC 19th, 2019	RE-ISSUED FOR DP APPLICATION
II	DEC 10th, 2019	RE-ISSUED FOR DP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR DP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR DP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR DP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR DP APPLICATION
A	FEB 26th, 2019	ISSUED FOR DP APPLICATION
REV	DATE	NOTE

Copyright: All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

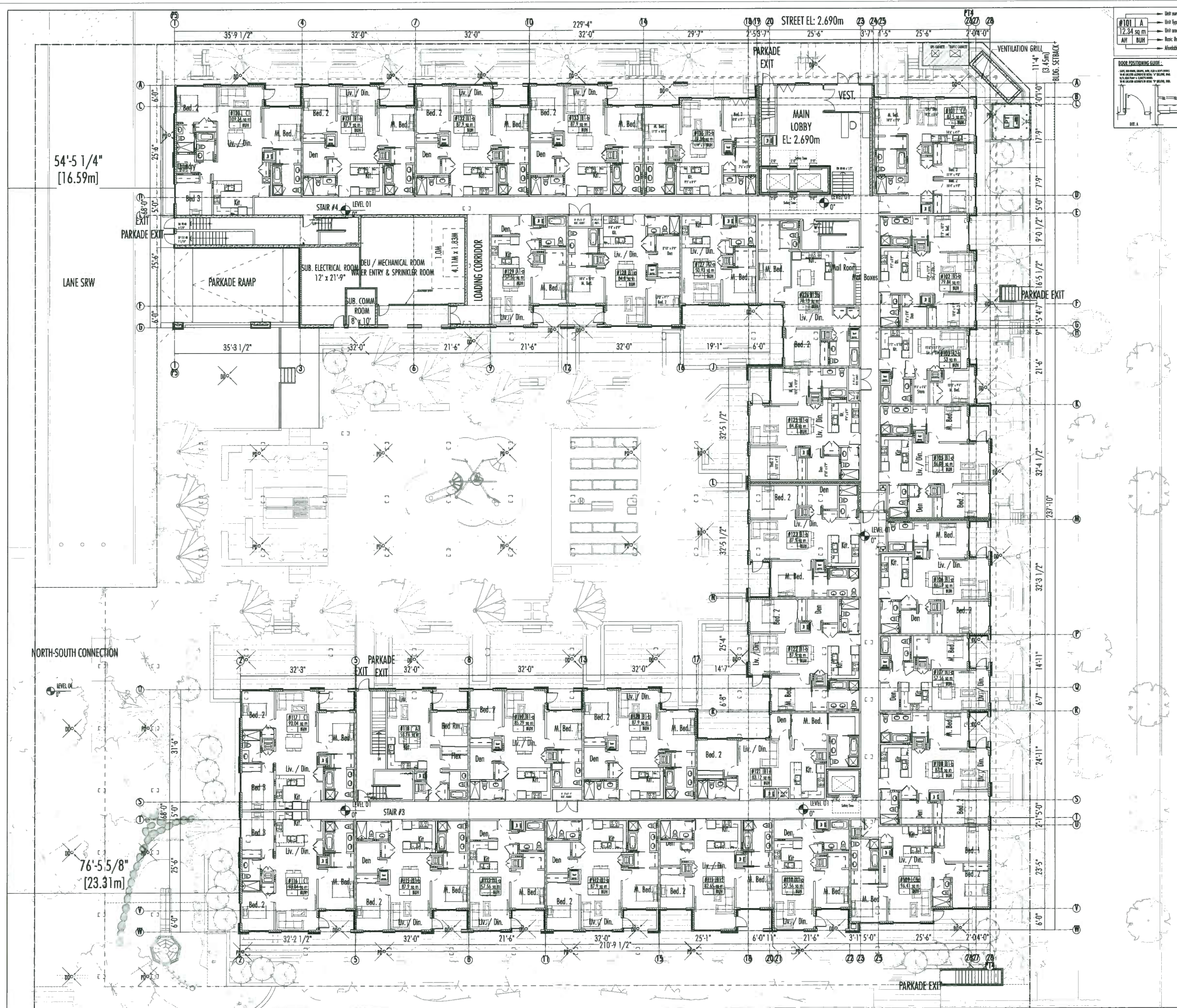
Residences at Riva-2

7811 Alton Highway
 Richmond, BC

B5-ROOF LEVEL

SCALE	1/8"=1'-0"	SHEET NO.	A.1.11
DATE	APR 8, 2019	PROJECT NO.	
DRAWN BY	PS	PROJ. NO.	1601
CHECKED BY			

DP 18-841057 Plan 24
 Jan 2, 2020



#101 A
12.34 sq m
A1 BUR

- Unit number
- Unit type
- Unit area
- Basic Mechanical Finishing Features
- Allowable Loading

LOAD BEARING WALL
Plumbing wall
Water control
Upblast system

SHAR WALL S.W.1
SHAR WALL S.W.2

NOTES:
- Primary systems proposed in between adjoining parties and boundaries.
- Electrical consultant to run conduits for potential future solar panel installation. See consultant's drawings for details.

DOOR FINISHING GUIDE:
DOOR FINISHING GUIDE: SEE CONSULTANT'S DRAWINGS FOR DETAILS.

MINORU BLVD.



I	DEC 19th, 2019	RE-ISSUED FOR DP APPLICATION
H	DEC 10th, 2019	RE-ISSUED FOR DP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR DP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR DP APPLICATION
E	OCT 23rd, 2019	RE-ISSUED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR DP APPLICATION
B	APR 08th, 2019	RE-ISSUED FOR DP APPLICATION
A	FEB 26th, 2019	ISSUED FOR DP APPLICATION

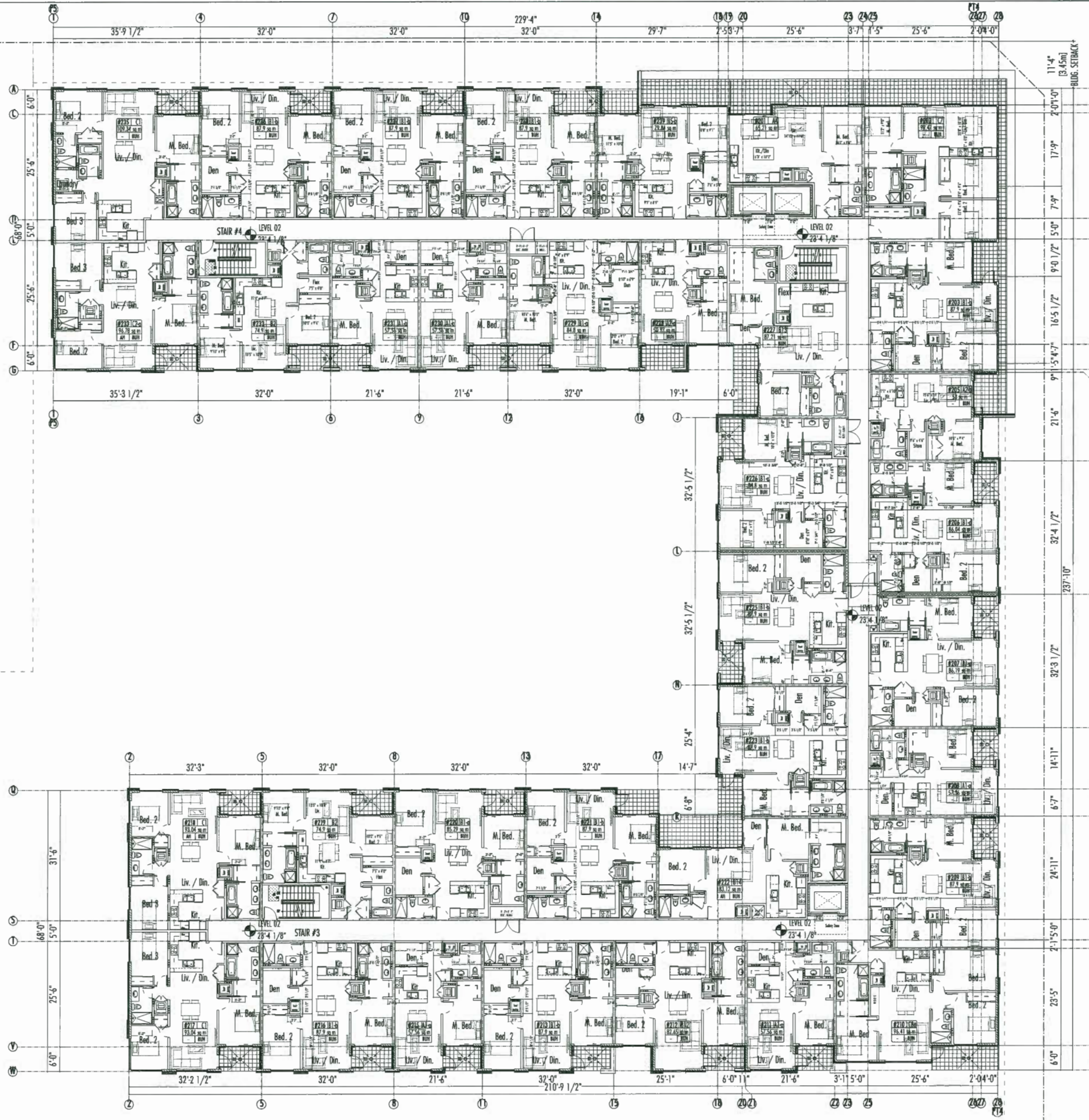
Copyright. All rights reserved.
Reproduction in whole or in part is prohibited.
This drawing is an instrument of service in the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE
202 - 33 East 8th Avenue
Vancouver, BC V5T 1R5
T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences at Rivo-2
7811 Alderbridge Way
Richmond, BC

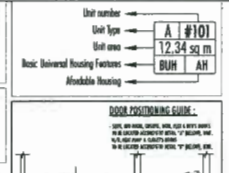
DRAWING TITLE -	B6-LEVEL 01	SHEET NO. -	A.1.12
SCALE -	1/8"=1'-0"	DATE -	APR 8, 2019
DATE -	APR 8, 2019	DRAWN -	J5
CHECKED -		PROJECT NO. -	1601

DP 18-841057 Plan 25
Jan 2, 2020



Shear wall S.W.1. 250x250 Load bearing wall
 Shear wall S.W.2. 250x250 Load bearing wall
 Water curtain
 Sprinkler system

NOTES:
 Privacy screens proposed in between adjoining units and balconies.
 Electrical consultant to run conduits for potential future solar panel installation. See consultant's drawings for details.



MARKET UNITS - BUILDING B6 AVG. 78 sq m

1 BED UNITS (Avg.) 58 sq m

TYPE	AREA	COUNT
A1-a	55.25 sq m	4.0
A1-b	57.54 sq m	19.0
A2-a	50.93 sq m	10.0
A2-b	53 sq m	8.0
A3	55.74 sq m	1.0
A4	65.21 sq m	3.0
TOTAL	2,500 sq m	43.0

2 BED UNITS (Avg.) 82 sq m

TYPE	AREA	COUNT
B1-a	80.77 sq m	4.0
B1-b	81.24 sq m	3.0
B1-c	84.8 sq m	3.0
B1-d	85.29 sq m	4.0
B1-e	83.87 sq m	4.0
B1-f	84.31 sq m	3.0
B1-g	84.84 sq m	4.0
B2	69.41 sq m	2.0
B3	74.9 sq m	4.0
B3a	70.14 sq m	2.0
B3b	75.92 sq m	10.0
B3c	79.84 sq m	12.0
B3d	74.13 sq m	1.0
B3e	74.13 sq m	1.0
B3f	77.96 sq m	1.0
B3g	78.01 sq m	1.0
B3h	74.85 sq m	3.0
B3i	70.62 sq m	4.0
B3j	78.89 sq m	3.0
B3k	82.65 sq m	4.0
B3l	82.21 sq m	5.0
B3m	74.13 sq m	1.0
B3n	83.13 sq m	4.0
B3o	73.99 sq m	3.0
B3p	74.29 sq m	3.0
B3q	86.97 sq m	4.0
B3r	87.9 sq m	30.0
TOTAL	11,815 sq m	134.0

3 BED UNITS (Avg.) 97 sq m

TYPE	AREA	COUNT
-	87.5 sq m	3.0
C1	93.04 sq m	8.0
C1	109.24 sq m	4.0
C2-a	94.78 sq m	3.0
C2-b	84.8 sq m	3.0
C7	99.47 sq m	3.0
C7a	98.88 sq m	3.0
C8	100.78 sq m	3.0
C8a	94.41 sq m	3.0
TOTAL	2,610 sq m	37.0

ROOM POSITIONING GUIDE

UNIT NUMBER	AREA	COUNT
A1-a	55.25 sq m	4.0
A1-b	57.54 sq m	19.0
A2-a	50.93 sq m	10.0
A2-b	53 sq m	8.0
A3	55.74 sq m	1.0
A4	65.21 sq m	3.0
B1-a	80.77 sq m	4.0
B1-b	81.24 sq m	3.0
B1-c	84.8 sq m	3.0
B1-d	85.29 sq m	4.0
B1-e	83.87 sq m	4.0
B1-f	84.31 sq m	3.0
B1-g	84.84 sq m	4.0
B2	69.41 sq m	2.0
B3	74.9 sq m	4.0
B3a	70.14 sq m	2.0
B3b	75.92 sq m	10.0
B3c	79.84 sq m	12.0
B3d	74.13 sq m	1.0
B3e	74.13 sq m	1.0
B3f	77.96 sq m	1.0
B3g	78.01 sq m	1.0
B3h	74.85 sq m	3.0
B3i	70.62 sq m	4.0
B3j	78.89 sq m	3.0
B3k	82.65 sq m	4.0
B3l	82.21 sq m	5.0
B3m	74.13 sq m	1.0
B3n	83.13 sq m	4.0
B3o	73.99 sq m	3.0
B3p	74.29 sq m	3.0
B3q	86.97 sq m	4.0
B3r	87.9 sq m	30.0
TOTAL	11,815 sq m	134.0

3 BED UNITS (Avg.) 97 sq m

TYPE	AREA	COUNT
-	87.5 sq m	3.0
C1	93.04 sq m	8.0
C1	109.24 sq m	4.0
C2-a	94.78 sq m	3.0
C2-b	84.8 sq m	3.0
C7	99.47 sq m	3.0
C7a	98.88 sq m	3.0
C8	100.78 sq m	3.0
C8a	94.41 sq m	3.0
TOTAL	2,610 sq m	37.0

NO.	DATE	DESCRIPTION
I	DEC 19th, 2019	ISSUED FOR IP APPLICATION
H	DEC 10th, 2019	ISSUED FOR IP APPLICATION
G	NOV 20th, 2019	ISSUED FOR IP APPLICATION
F	NOV 4th, 2019	ISSUED FOR IP APPLICATION
E	OCT 25th, 2019	ISSUED FOR IP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	ISSUED FOR IP APPLICATION
B	APR 8th, 2019	ISSUED FOR IP APPLICATION
A	FEB 26th, 2019	ISSUED FOR IP APPLICATION
NO.	DATE	DESCRIPTION

Copyright All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing is an instrument of service to the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

Residences at Kivo-2

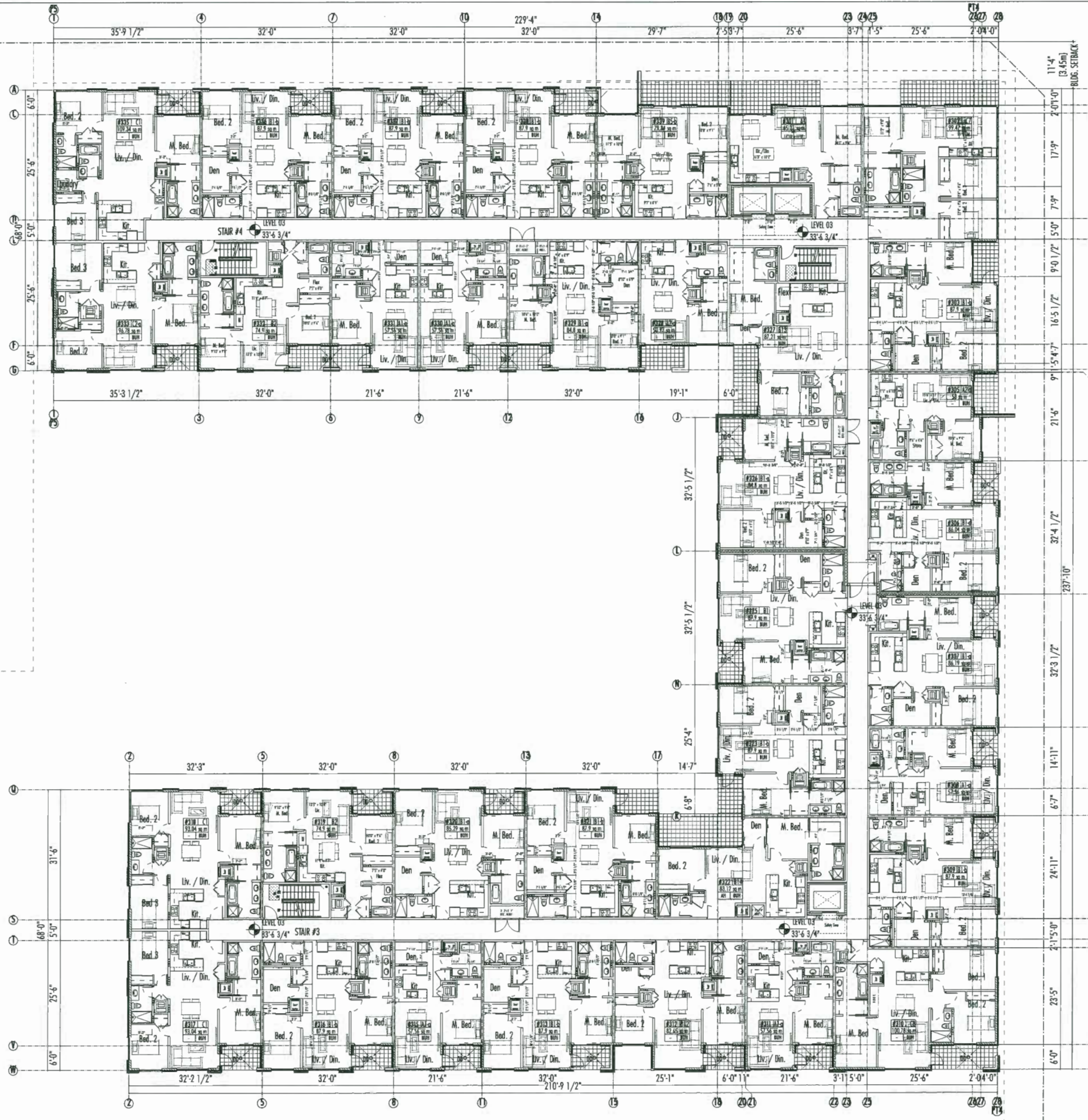
7811 Alhambra Way
 Richmond, BC

PROJECT -
 B6-LEVEL 02

SCALE - 1/8"=1'-0"	SHEET NO. -
DATE - APR 8, 2019	A.1.13
DRAWN - PS	
CHECKED -	PROJECT NO. - 1601



DP 18-841057
 Jan 2, 2020
 Plan 26



Shear wall, S.W.1. Shear wall, S.W.2. Land heating wall Plumbing wall Water curtain Sprinkler system

NOTES:
 1. Phased screens proposed in between adjoining units and balconies.
 2. Electrical consultant to run conduits for potential future solar panel installation. See consultant's drawings for details.



MARKET UNITS - BUILDING B6 AVG. 78 sq m

1 BED UNITS (Avg.)		
TYPE	AREA	COUNT
B1a	55.55 sq m	4.0
B1b	57.54 sq m	19.0
B1c	50.93 sq m	10.0
B1d	53 sq m	8.0
B1e	55.74 sq m	1.0
B1f	45.37 sq m	3.0
TOTAL	2,500 sq m	45.0

2 BED UNITS (Avg.)		
TYPE	AREA	COUNT
B2a	80.77 sq m	4.0
B2b	81.26 sq m	2.0
B2c	84.8 sq m	6.0
B2d	85.29 sq m	4.0
B2e	88.87 sq m	4.0
B2f	84.11 sq m	2.0
B2g	86.04 sq m	4.0
B2h	49.41 sq m	2.0
B2i	74.9 sq m	4.0
B2j	70.14 sq m	2.0
B2k	75.87 sq m	10.0
B2l	79.84 sq m	12.0
B2m	74.3 sq m	1.0
B2n	74.13 sq m	1.0
B2o	77.98 sq m	1.0
B2p	78.01 sq m	1.0
B2q	74.05 sq m	2.0
B2r	70.42 sq m	4.0
B2s	78.09 sq m	2.0
B2t	82.65 sq m	4.0
B2u	87.21 sq m	5.0
B2v	74.13 sq m	1.0
B2w	83.37 sq m	4.0
B2x	73.97 sq m	2.0
B2y	74.28 sq m	2.0
B2z	100.78 sq m	2.0
B2aa	84.41 sq m	2.0
B2ab	87.5 sq m	30.0
TOTAL	11,815 sq m	134.0

3 BED UNITS (Avg.)		
TYPE	AREA	COUNT
B3a	107.5 sq m	2.0
B3b	119.04 sq m	8.0
B3c	109.34 sq m	4.0
B3d	16.78 sq m	3.0
B3e	86.8 sq m	2.0
B3f	99.47 sq m	2.0
B3g	98.83 sq m	2.0
B3h	100.78 sq m	2.0
B3i	94.41 sq m	2.0
TOTAL	2,610 sq m	37.0

UNIT NUMBERING GUIDE

UNIT	AREA	COUNT
B1a	55.55 sq m	4.0
B1b	57.54 sq m	19.0
B1c	50.93 sq m	10.0
B1d	53 sq m	8.0
B1e	55.74 sq m	1.0
B1f	45.37 sq m	3.0
B2a	80.77 sq m	4.0
B2b	81.26 sq m	2.0
B2c	84.8 sq m	6.0
B2d	85.29 sq m	4.0
B2e	88.87 sq m	4.0
B2f	84.11 sq m	2.0
B2g	86.04 sq m	4.0
B2h	49.41 sq m	2.0
B2i	74.9 sq m	4.0
B2j	70.14 sq m	2.0
B2k	75.87 sq m	10.0
B2l	79.84 sq m	12.0
B2m	74.3 sq m	1.0
B2n	74.13 sq m	1.0
B2o	77.98 sq m	1.0
B2p	78.01 sq m	1.0
B2q	74.05 sq m	2.0
B2r	70.42 sq m	4.0
B2s	78.09 sq m	2.0
B2t	82.65 sq m	4.0
B2u	87.21 sq m	5.0
B2v	74.13 sq m	1.0
B2w	83.37 sq m	4.0
B2x	73.97 sq m	2.0
B2y	74.28 sq m	2.0
B2z	100.78 sq m	2.0
B2aa	84.41 sq m	2.0
B2ab	87.5 sq m	30.0
B3a	107.5 sq m	2.0
B3b	119.04 sq m	8.0
B3c	109.34 sq m	4.0
B3d	16.78 sq m	3.0
B3e	86.8 sq m	2.0
B3f	99.47 sq m	2.0
B3g	98.83 sq m	2.0
B3h	100.78 sq m	2.0
B3i	94.41 sq m	2.0
TOTAL	11,815 sq m	134.0

NO.	DATE	DESCRIPTION
1	DEC 19th, 2019	RE-ISSUED FOR DP APPLICATION
2	DEC 10th, 2019	RE-ISSUED FOR DP APPLICATION
3	NOV 20th, 2019	RE-ISSUED FOR DP APPLICATION
4	NOV 6th, 2019	RE-ISSUED FOR DP APPLICATION
5	OCT 25th, 2019	RE-ISSUED FOR DP APPLICATION
6	SEP 25th, 2019	ISSUED FOR COORDINATION
7	JUNE 27th, 2019	RE-ISSUED FOR DP APPLICATION
8	APR 8th, 2019	RE-ISSUED FOR DP APPLICATION
9	FEB 26th, 2019	ISSUED FOR DP APPLICATION
10	-	-

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing is an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences of Rivo-2

7811 Alton Highway
 Richmond, BC

DATE -
B6-LEVEL 03

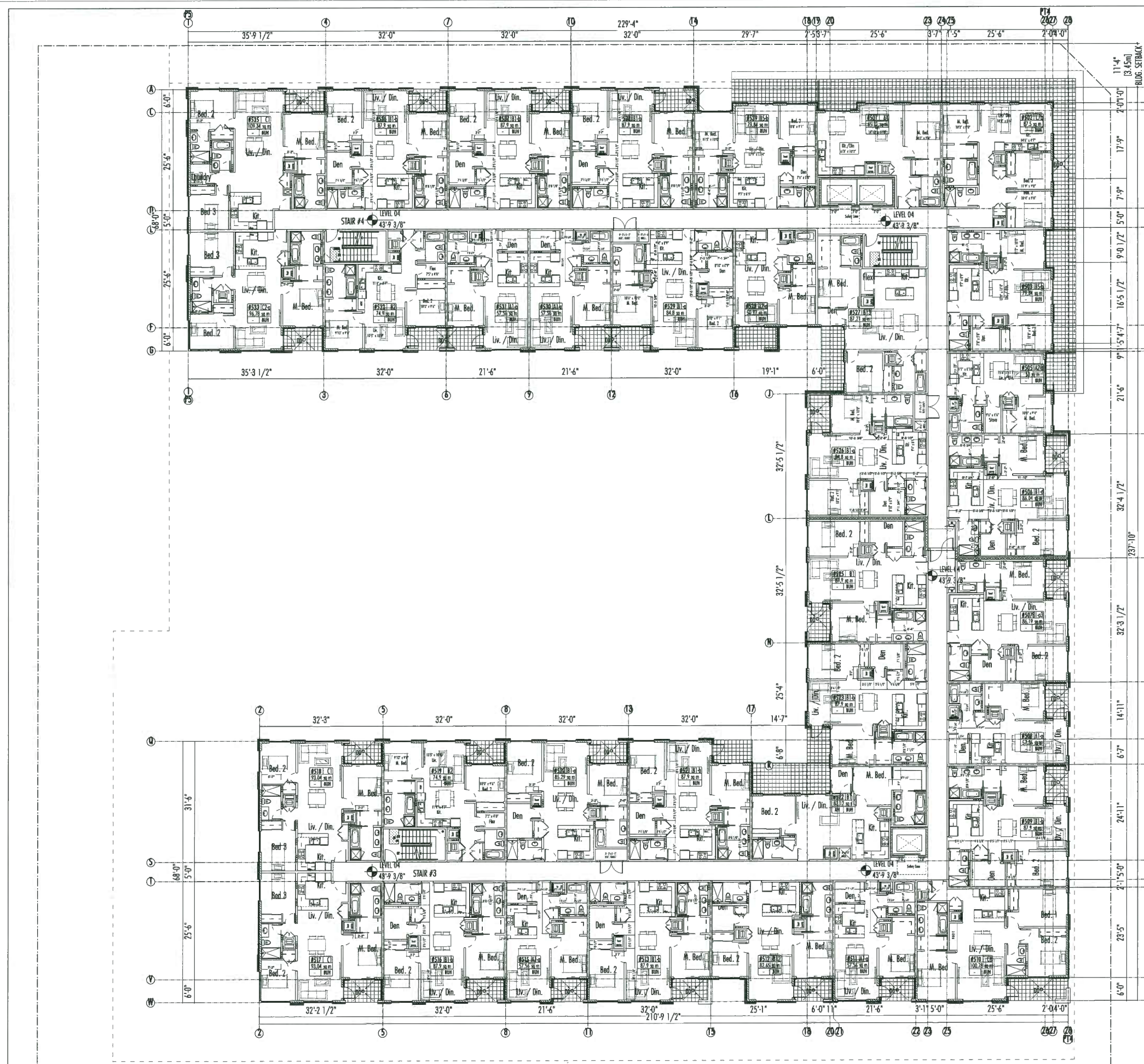
SCALE - 1/8"=1'-0"
 DATE - APR 8, 2019
 DRAWN - PS
 CHECKED -

SHEET NO. -
A.1.14

PROJ. NO. - 1601



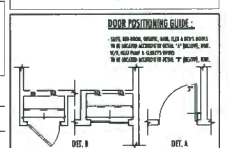
DP 18-841057 Plan 27
 Jan 2, 2020



Shear wall, S.W.1. / Shear wall, S.W.2. / Load bearing wall / Plumbing wall / Water curtain / Fire alarm / Sprinkler system

Unit number: A.1101
 Unit type: 12.54 sq m
 Basic Universal Housing Features: BUSH A1
 Accessible Housing

NOTES:
 Finery covers proposed in between adjoining parties and balconies.
 Electrical consultant to run conduits for potential future solar panel installation. See consultant's drawings for details.



MARKET UNITS - BUILDING B6 AVG. 78 sq m

1 BED UNITS (Avg.)		
TYPE	AREA	COUNT
A1a	55.35 sq m	4.0
A1b	57.54 sq m	19.0
A1c	58.93 sq m	10.0
A1d	53.00 sq m	8.0
A1e	55.74 sq m	1.0
A1f	65.21 sq m	3.0
TOTAL	2,500 sq m	45.0

2 BED UNITS (Avg.)		
TYPE	AREA	COUNT
B1a	80.77 sq m	4.0
B1b	81.24 sq m	2.0
B1c	84.80 sq m	8.0
B1d	86.29 sq m	4.0
B1e	83.87 sq m	4.0
B1f	84.11 sq m	2.0
B1g	86.04 sq m	4.0
B1h	87.41 sq m	2.0
B1i	74.13 sq m	6.0
B1j	67.41 sq m	2.0
B1k	70.14 sq m	2.0
B1l	75.81 sq m	10.0
B1m	79.84 sq m	12.0
B1n	74.13 sq m	1.0
B1o	74.11 sq m	1.0
B1p	77.98 sq m	1.0
B1q	78.01 sq m	1.0
B1r	74.05 sq m	2.0
B1s	70.42 sq m	4.0
B1t	78.09 sq m	2.0
B1u	87.45 sq m	4.0
B1v	87.21 sq m	5.0
B1w	74.13 sq m	1.0
B1x	83.12 sq m	4.0
B1y	73.92 sq m	2.0
B1z	74.28 sq m	2.0
B1aa	86.19 sq m	4.0
B1ab	87.31 sq m	3.0
TOTAL	11,815 sq m	134.0

3 BED UNITS (Avg.)		
TYPE	AREA	COUNT
C1	87.5 sq m	2.0
C2	93.04 sq m	8.0
C3	109.34 sq m	4.0
C4	94.78 sq m	3.0
C5	86.8 sq m	2.0
C6	99.47 sq m	2.0
C7	98.03 sq m	2.0
C8	100.78 sq m	2.0
C9	94.41 sq m	2.0
TOTAL	2,610 sq m	27.0

3 BED UNITS (Avg.)		
TYPE	AREA	COUNT
-	87.5 sq m	2.0
C1	93.04 sq m	8.0
C2	109.34 sq m	4.0
C3	94.78 sq m	3.0
C4	86.8 sq m	2.0
C5	99.47 sq m	2.0
C6	98.03 sq m	2.0
C7	100.78 sq m	2.0
C8	94.41 sq m	2.0
TOTAL	2,610 sq m	27.0

DATE	DESCRIPTION
DEC 19th, 2019	RE-ISSUED FOR DP APPLICATION
DEC 10th, 2019	RE-ISSUED FOR DP APPLICATION
NOV 20th, 2019	RE-ISSUED FOR DP APPLICATION
NOV 4th, 2019	RE-ISSUED FOR DP APPLICATION
OCT 25th, 2019	RE-ISSUED FOR DP APPLICATION
SEP 25th, 2019	ISSUED FOR COORDINATION
JUNE 27th, 2019	RE-ISSUED FOR DP APPLICATION
APR 8th, 2019	RE-ISSUED FOR DP APPLICATION
FEB 26th, 2019	ISSUED FOR DP APPLICATION
-	-

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

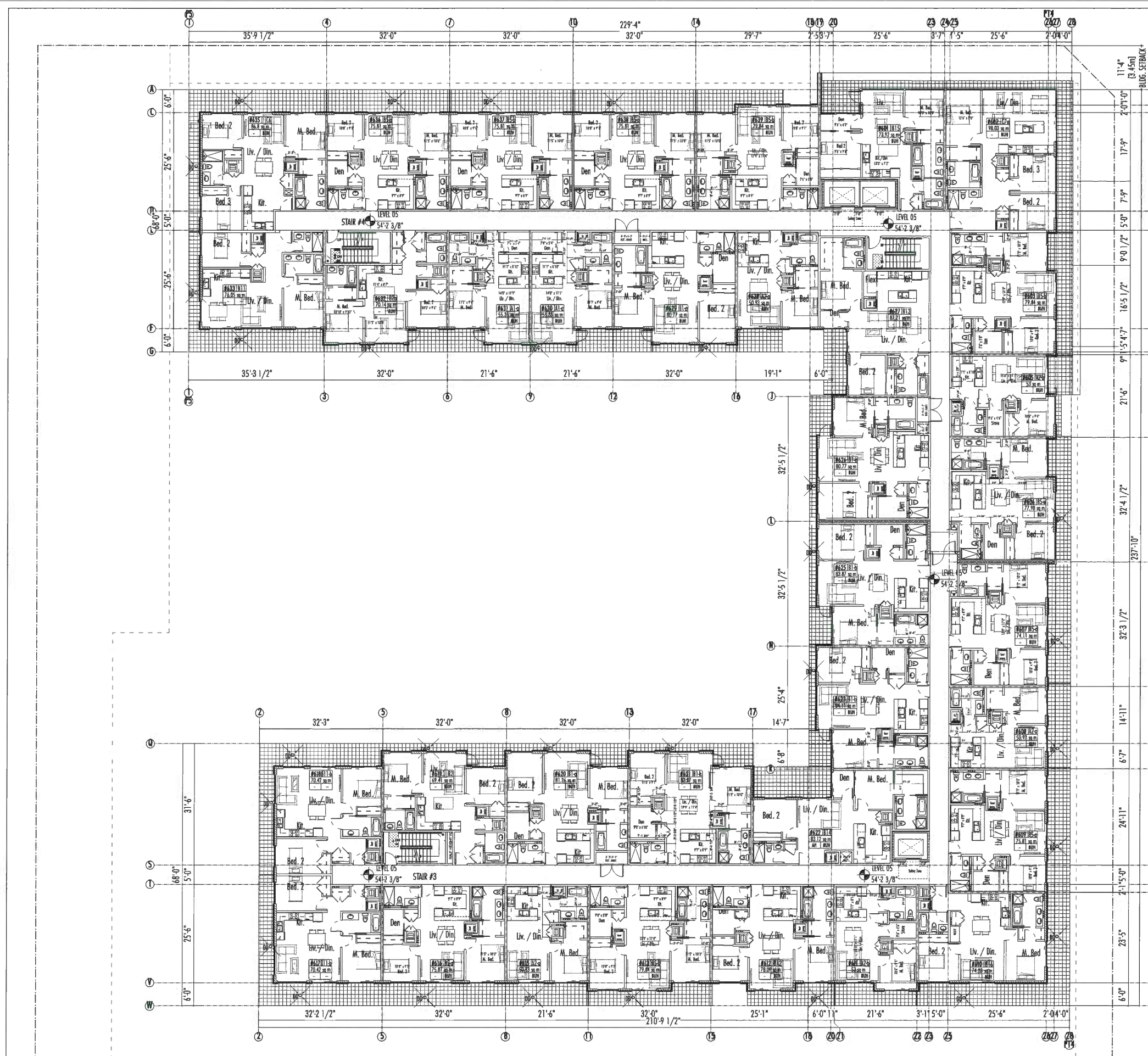
YAMAMOTO ARCHITECTURE
 202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences at Riva-2
 7811 Alderbridge Way
 Richmond, BC

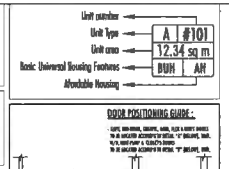
DRAWING TITLE -
B6-LEVEL 04
 SCALE - 1/8"=1'-0"
 DATE - APR 8, 2019
 DRAWN - PS
 CHECKED -
 SHEET NO. -
A.1.15
 PROJECT - 1601



DP 18-841057 Plan 28
 Jan 2, 2020



Show wall S.W.1. Load bearing wall
 Show wall S.W.2. Plumbing wall
 Water curtain Water curtain
 Sprinkler system Sprinkler system



NOTES:
 1. Primary screens proposed in between adjoining patios and balconies.
 2. Electrical consultant to run conduits for potential future solar panel installation. See contractor's drawings for details.

MARKET UNITS - BUILDING 06
 AVG. 78 sq m

1 BED UNITS (Avg.)		
TYPE	AREA	COUNT
A1-a	55.35 sq m	4.0
A1-b	57.54 sq m	19.0
A2-a	50.93 sq m	10.0
A2-b	53 sq m	8.0
A3	55.74 sq m	1.0
A4	45.21 sq m	3.0
TOTAL	2,500 sq m	45.0

2 BED UNITS (Avg.)
 AVG. 82 sq m

2 BED UNITS (Avg.)		
TYPE	AREA	COUNT
B1-a	80.77 sq m	4.0
B1-b	81.36 sq m	2.0
B1-c	84.8 sq m	8.0
B1-d	85.29 sq m	4.0
B1-e	83.87 sq m	4.0
B1-f	84.11 sq m	2.0
B1-g	84.04 sq m	4.0
B2	87.41 sq m	2.0
B2	74.9 sq m	6.0
B3a	70.14 sq m	2.0
B3-a	75.81 sq m	10.0
B3-b	79.84 sq m	12.0
B3-c	74.1 sq m	1.0
B3-d	74.11 sq m	1.0
B3-e	77.98 sq m	1.0
B3-f	78.01 sq m	1.0
B3-g	74.85 sq m	2.0
B3-h	70.42 sq m	4.0
B3-i	78.09 sq m	2.0
B3-j	82.65 sq m	4.0
B3-k	87.21 sq m	5.0
B3-l	76.13 sq m	1.0
B3-m	83.12 sq m	4.0
B3-n	73.97 sq m	2.0
B3-o	74.28 sq m	2.0
B3-p	84.19 sq m	4.0
B3-q	87.9 sq m	30.0
B3-r	87.9 sq m	30.0
TOTAL	11,815 sq m	134.0

3 BED UNITS (Avg.)
 AVG. 97 sq m

3 BED UNITS (Avg.)		
TYPE	AREA	COUNT
C1	87.5 sq m	2.0
C1	93.04 sq m	8.0
C1	107.34 sq m	4.0
C2-a	94.78 sq m	3.0
C2-a	84.8 sq m	2.0
C2-b	99.47 sq m	2.0
C2-c	98.03 sq m	2.0
C2-d	100.78 sq m	2.0
C2-e	94.41 sq m	2.0
TOTAL	2,410 sq m	37.0

1 BED UNITS (Avg.)
 AVG. 78 sq m

1 BED UNITS (Avg.)		
TYPE	AREA	COUNT
D1-a	62.27 sq m	4.0
D1-b	63.87 sq m	4.0
D1-c	64.11 sq m	2.0
D1-d	64.84 sq m	4.0
D2	65.41 sq m	2.0
D2	74.9 sq m	6.0
D3a	70.14 sq m	2.0
D3-a	75.81 sq m	10.0
D3-b	79.84 sq m	12.0
D3-c	74.1 sq m	1.0
D3-d	74.11 sq m	1.0
D3-e	77.98 sq m	1.0
D3-f	78.01 sq m	1.0
D3-g	74.85 sq m	2.0
D3-h	70.42 sq m	4.0
D3-i	78.09 sq m	2.0
D3-j	82.65 sq m	4.0
D3-k	87.21 sq m	5.0
D3-l	76.13 sq m	1.0
D3-m	83.12 sq m	4.0
D3-n	73.97 sq m	2.0
D3-o	74.28 sq m	2.0
D3-p	84.19 sq m	4.0
D3-q	87.9 sq m	30.0
D3-r	87.9 sq m	30.0
TOTAL	11,815 sq m	134.0

2 BED UNITS (Avg.)
 AVG. 82 sq m

2 BED UNITS (Avg.)		
TYPE	AREA	COUNT
E1	87.5 sq m	2.0
E1	93.04 sq m	8.0
E1	107.34 sq m	4.0
E2-a	94.78 sq m	3.0
E2-a	84.8 sq m	2.0
E2-b	99.47 sq m	2.0
E2-c	98.03 sq m	2.0
E2-d	100.78 sq m	2.0
E2-e	94.41 sq m	2.0
TOTAL	2,410 sq m	37.0

3 BED UNITS (Avg.)
 AVG. 97 sq m

3 BED UNITS (Avg.)		
TYPE	AREA	COUNT
F1	87.5 sq m	2.0
F1	93.04 sq m	8.0
F1	107.34 sq m	4.0
F2-a	94.78 sq m	3.0
F2-a	84.8 sq m	2.0
F2-b	99.47 sq m	2.0
F2-c	98.03 sq m	2.0
F2-d	100.78 sq m	2.0
F2-e	94.41 sq m	2.0
TOTAL	2,410 sq m	37.0

NO.	DATE	REVISION
I	DEC 19th, 2019	RE-ISSUED FOR DP APPLICATION
H	DEC 10th, 2019	RE-ISSUED FOR DP APPLICATION
G	NOV. 20th, 2019	RE-ISSUED FOR DP APPLICATION
F	NOV. 6th, 2019	RE-ISSUED FOR DP APPLICATION
E	OCT. 25th, 2019	RE-ISSUED FOR DP APPLICATION
D	SEP. 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR DP APPLICATION
B	APR. 04th, 2019	RE-ISSUED FOR DP APPLICATION
A	FEB. 26th, 2019	ISSUED FOR DP APPLICATION
NO.	NO.	NO.

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing is an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
 Vancouver, BC V6T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
 Residences at Riva-2

7811 Alderbridge Way
 Richmond, BC

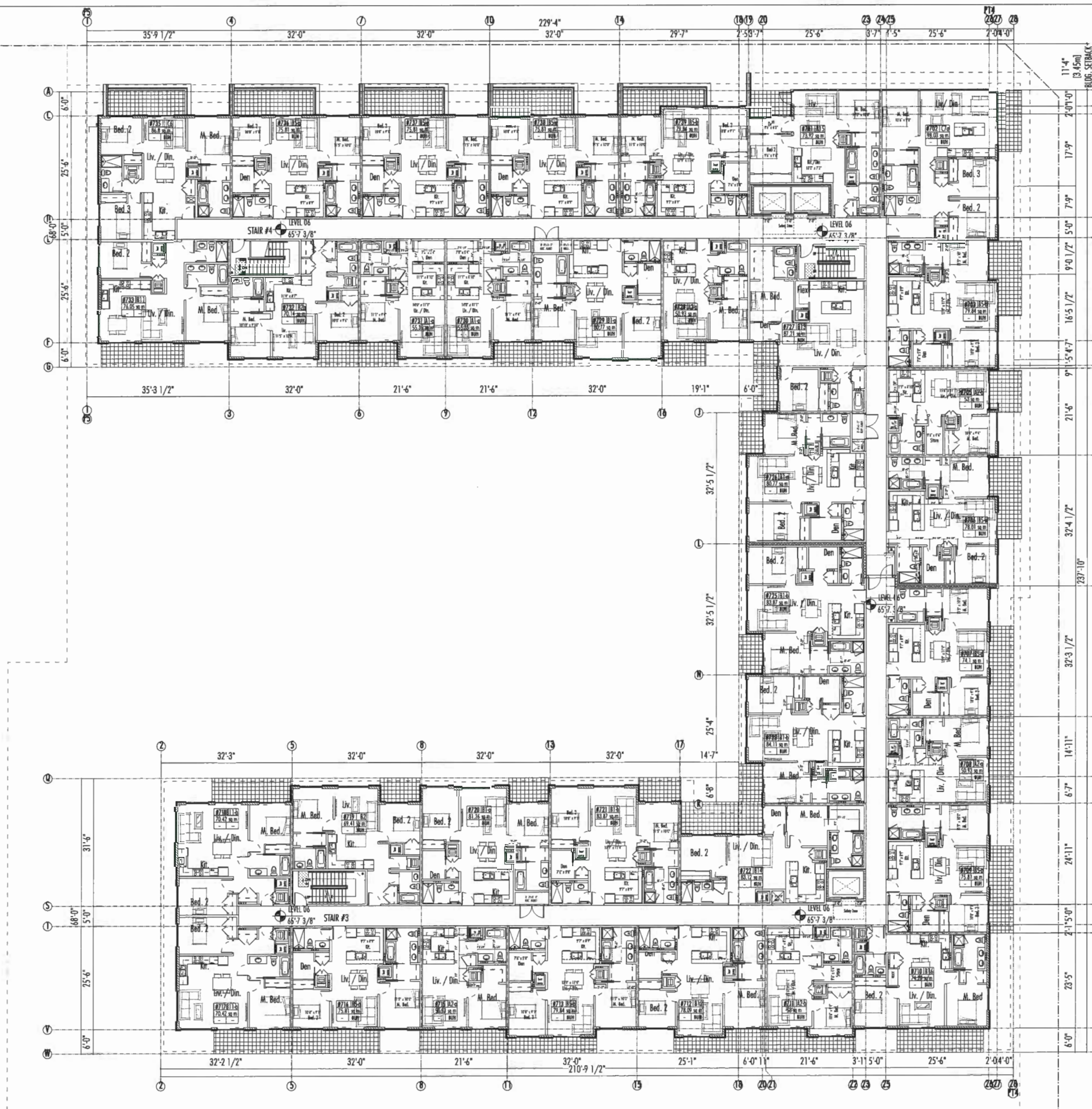
DRAWING TITLE -
 06-LEVEL 05

SCALE - 1/8"=1'-0"
 DATE - APR 8, 2019
 DRAWN - PS

CHECKED -
 PROJECT NO. - 1601

SHEET NO. -
A.1.16





Notes:
 1. Heavy cross proposed in between adjoining parties and indicate.
 2. Electrical consultant to see conditions for potential future solar panel installation. See consultant's drawings for details.

Legend:
 Shear wall, S.W.1. [Symbol] Load bearing wall [Symbol]
 Shear wall, S.W.2. [Symbol] Partitioning wall [Symbol]
 [Symbol] Water curtain [Symbol]
 [Symbol] Sprinkler system [Symbol]

UNIT NUMBER
 Unit Type: A1 #101
 Unit Area: 12.34 sq m
 Basic Internal Finishing Features: BUSH, AIN
 Available Finishing: [Symbol]

DOOR FINISHING GUIDE
 [Symbol] 001
 [Symbol] 002
 [Symbol] 003
 [Symbol] 004
 [Symbol] 005
 [Symbol] 006
 [Symbol] 007
 [Symbol] 008
 [Symbol] 009
 [Symbol] 010
 [Symbol] 011
 [Symbol] 012
 [Symbol] 013
 [Symbol] 014
 [Symbol] 015
 [Symbol] 016
 [Symbol] 017
 [Symbol] 018
 [Symbol] 019
 [Symbol] 020
 [Symbol] 021
 [Symbol] 022
 [Symbol] 023
 [Symbol] 024
 [Symbol] 025
 [Symbol] 026
 [Symbol] 027
 [Symbol] 028
 [Symbol] 029
 [Symbol] 030
 [Symbol] 031
 [Symbol] 032
 [Symbol] 033
 [Symbol] 034
 [Symbol] 035
 [Symbol] 036
 [Symbol] 037
 [Symbol] 038
 [Symbol] 039
 [Symbol] 040
 [Symbol] 041
 [Symbol] 042
 [Symbol] 043
 [Symbol] 044
 [Symbol] 045
 [Symbol] 046
 [Symbol] 047
 [Symbol] 048
 [Symbol] 049
 [Symbol] 050
 [Symbol] 051
 [Symbol] 052
 [Symbol] 053
 [Symbol] 054
 [Symbol] 055
 [Symbol] 056
 [Symbol] 057
 [Symbol] 058
 [Symbol] 059
 [Symbol] 060
 [Symbol] 061
 [Symbol] 062
 [Symbol] 063
 [Symbol] 064
 [Symbol] 065
 [Symbol] 066
 [Symbol] 067
 [Symbol] 068
 [Symbol] 069
 [Symbol] 070
 [Symbol] 071
 [Symbol] 072
 [Symbol] 073
 [Symbol] 074
 [Symbol] 075
 [Symbol] 076
 [Symbol] 077
 [Symbol] 078
 [Symbol] 079
 [Symbol] 080
 [Symbol] 081
 [Symbol] 082
 [Symbol] 083
 [Symbol] 084
 [Symbol] 085
 [Symbol] 086
 [Symbol] 087
 [Symbol] 088
 [Symbol] 089
 [Symbol] 090
 [Symbol] 091
 [Symbol] 092
 [Symbol] 093
 [Symbol] 094
 [Symbol] 095
 [Symbol] 096
 [Symbol] 097
 [Symbol] 098
 [Symbol] 099
 [Symbol] 100

MARKET UNITS - BUILDING B6 AVG. 78 sq m

1 BED UNITS (Avg.) 56 sq m

TYPE	AREA	COUNT
A1-a	55.25 sq m	4.0
A1-b	57.54 sq m	19.0
A2-a	50.79 sq m	10.0
A2-b	53.94 sq m	8.0
A3	55.74 sq m	1.0
A4	45.11 sq m	2.0
TOTAL	2,500 sq m	45.0

2 BED UNITS (Avg.) 82 sq m

TYPE	AREA	COUNT
B1-a	80.77 sq m	4.0
B1-b	81.26 sq m	2.0
B1-c	84.33 sq m	4.0
B1-d	85.29 sq m	2.0
B1-e	88.87 sq m	4.0
B1-f	84.11 sq m	2.0
B1-g	86.04 sq m	4.0
B2	89.41 sq m	2.0
B3	74.93 sq m	4.0
B3a	70.34 sq m	2.0
B3b	75.81 sq m	10.0
B3c	79.84 sq m	12.0
B3d	74.31 sq m	1.0
B3e	74.11 sq m	1.0
B3f	77.98 sq m	1.0
B3g	78.01 sq m	1.0
B3h	74.65 sq m	2.0
B3i	70.42 sq m	4.0
B3j	78.09 sq m	2.0
B3k	82.45 sq m	4.0
B3l	87.21 sq m	5.0
B3m	74.13 sq m	1.0
B3n	83.11 sq m	4.0
B3o	78.91 sq m	2.0
B3p	74.38 sq m	2.0
B3q	84.19 sq m	4.0
B3r	87.31 sq m	8.0
TOTAL	11,815 sq m	134.0

3 BED UNITS (Avg.) 97 sq m

TYPE	AREA	COUNT
C1	95.84 sq m	8.0
C2	109.34 sq m	4.0
C2a	94.78 sq m	8.0
C2b	84.81 sq m	2.0
C2c	99.47 sq m	2.0
C2d	98.83 sq m	2.0
C2e	100.78 sq m	2.0
C2f	94.41 sq m	2.0
TOTAL	2,610 sq m	27.0

3 BED UNITS (Avg.) 97 sq m

TYPE	AREA	COUNT
D1	85.5 sq m	2.0
D2	85.5 sq m	2.0
D3	85.5 sq m	2.0
D4	85.5 sq m	2.0
D5	85.5 sq m	2.0
D6	85.5 sq m	2.0
D7	85.5 sq m	2.0
D8	85.5 sq m	2.0
D9	85.5 sq m	2.0
D10	85.5 sq m	2.0
D11	85.5 sq m	2.0
D12	85.5 sq m	2.0
D13	85.5 sq m	2.0
D14	85.5 sq m	2.0
D15	85.5 sq m	2.0
D16	85.5 sq m	2.0
D17	85.5 sq m	2.0
D18	85.5 sq m	2.0
D19	85.5 sq m	2.0
D20	85.5 sq m	2.0
D21	85.5 sq m	2.0
D22	85.5 sq m	2.0
D23	85.5 sq m	2.0
D24	85.5 sq m	2.0
D25	85.5 sq m	2.0
D26	85.5 sq m	2.0
D27	85.5 sq m	2.0
D28	85.5 sq m	2.0
D29	85.5 sq m	2.0
D30	85.5 sq m	2.0
D31	85.5 sq m	2.0
D32	85.5 sq m	2.0
D33	85.5 sq m	2.0
D34	85.5 sq m	2.0
D35	85.5 sq m	2.0
D36	85.5 sq m	2.0
D37	85.5 sq m	2.0
D38	85.5 sq m	2.0
D39	85.5 sq m	2.0
D40	85.5 sq m	2.0
D41	85.5 sq m	2.0
D42	85.5 sq m	2.0
D43	85.5 sq m	2.0
D44	85.5 sq m	2.0
D45	85.5 sq m	2.0
D46	85.5 sq m	2.0
D47	85.5 sq m	2.0
D48	85.5 sq m	2.0
D49	85.5 sq m	2.0
D50	85.5 sq m	2.0
D51	85.5 sq m	2.0
D52	85.5 sq m	2.0
D53	85.5 sq m	2.0
D54	85.5 sq m	2.0
D55	85.5 sq m	2.0
D56	85.5 sq m	2.0
D57	85.5 sq m	2.0
D58	85.5 sq m	2.0
D59	85.5 sq m	2.0
D60	85.5 sq m	2.0
D61	85.5 sq m	2.0
D62	85.5 sq m	2.0
D63	85.5 sq m	2.0
D64	85.5 sq m	2.0
D65	85.5 sq m	2.0
D66	85.5 sq m	2.0
D67	85.5 sq m	2.0
D68	85.5 sq m	2.0
D69	85.5 sq m	2.0
D70	85.5 sq m	2.0
D71	85.5 sq m	2.0
D72	85.5 sq m	2.0
D73	85.5 sq m	2.0
D74	85.5 sq m	2.0
D75	85.5 sq m	2.0
D76	85.5 sq m	2.0
D77	85.5 sq m	2.0
D78	85.5 sq m	2.0
D79	85.5 sq m	2.0
D80	85.5 sq m	2.0
D81	85.5 sq m	2.0
D82	85.5 sq m	2.0
D83	85.5 sq m	2.0
D84	85.5 sq m	2.0
D85	85.5 sq m	2.0
D86	85.5 sq m	2.0
D87	85.5 sq m	2.0
D88	85.5 sq m	2.0
D89	85.5 sq m	2.0
D90	85.5 sq m	2.0
D91	85.5 sq m	2.0
D92	85.5 sq m	2.0
D93	85.5 sq m	2.0
D94	85.5 sq m	2.0
D95	85.5 sq m	2.0
D96	85.5 sq m	2.0
D97	85.5 sq m	2.0
D98	85.5 sq m	2.0
D99	85.5 sq m	2.0
D100	85.5 sq m	2.0
TOTAL	11,815 sq m	134.0

REVISIONS

NO.	DATE	ISSUE
1	DEC 19th, 2019	RE-ISSUED FOR OP APPLICATION
2	DEC 10th, 2019	RE-ISSUED FOR OP APPLICATION
3	NOV 20th, 2019	RE-ISSUED FOR OP APPLICATION
4	NOV 6th, 2019	RE-ISSUED FOR OP APPLICATION
5	OCT 25th, 2019	RE-ISSUED FOR OP APPLICATION
6	SEP 25th, 2019	ISSUED FOR COORDINATION
7	JUNE 27th, 2019	RE-ISSUED FOR OP APPLICATION
8	APR 8th, 2019	RE-ISSUED FOR OP APPLICATION
9	FEB 26th, 2019	ISSUED FOR OP APPLICATION
10	-	ISSUE

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of the office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences at Rivo-2

7811 Alderbridge Way
 Richmond, BC

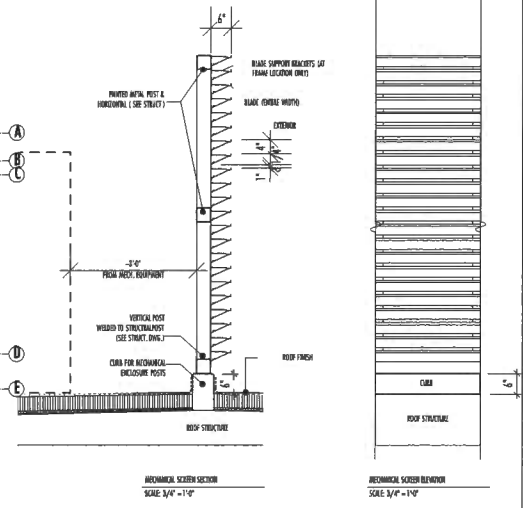
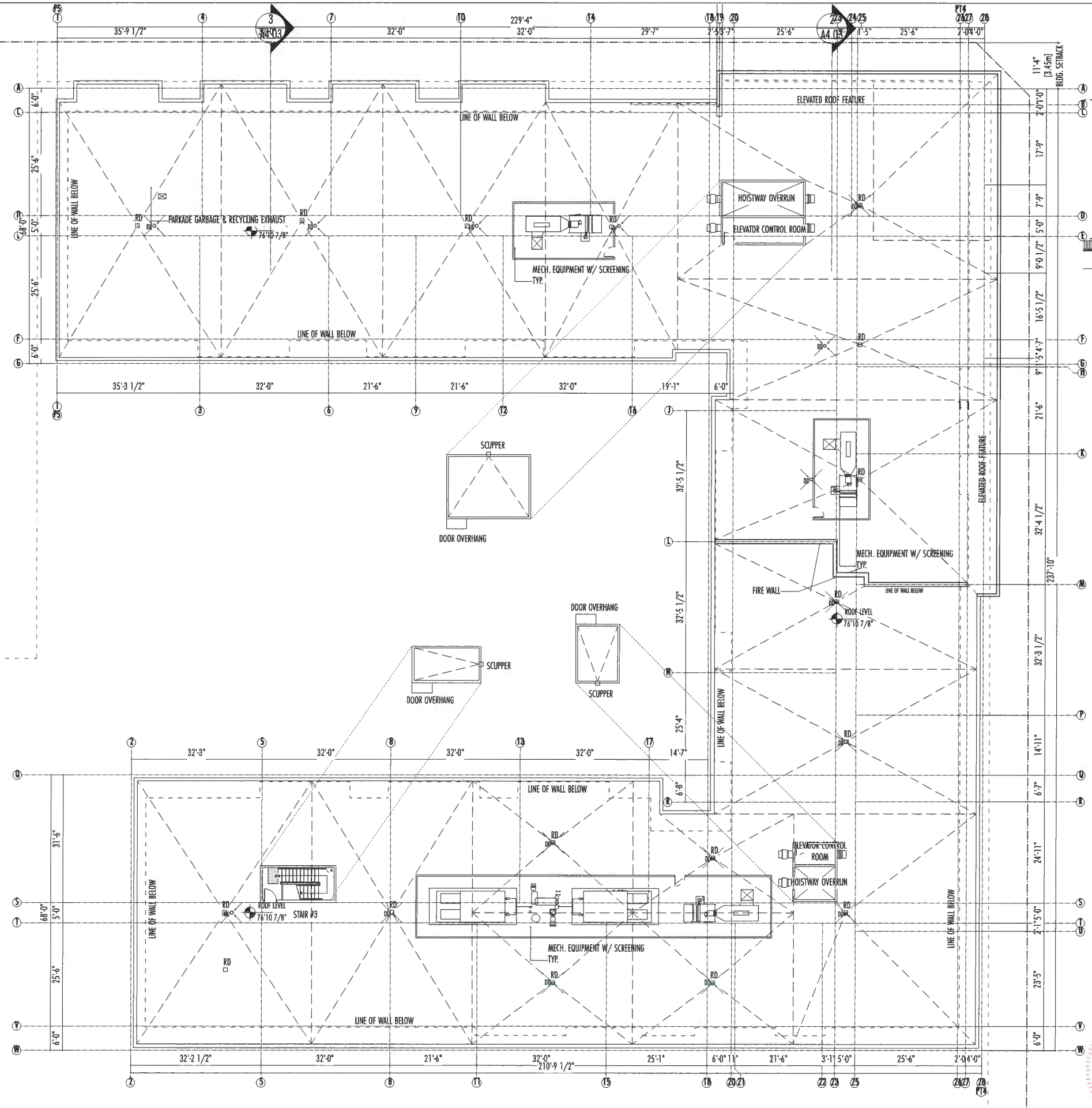
ISSUE TITLE -
B6-LEVEL 06

SCALE - 1/8"=1'-0"
 DATE - APR 8, 2019
 DRAWN - FS
 CHECKED -

SHEET NO. -
A.1.17

PROJ NO. - 1601





I	DEC 19th, 2019	RESUBMITTED FOR DP APPLICATION
H	DEC 10th, 2019	RESUBMITTED FOR DP APPLICATION
G	NOV. 20th, 2019	RESUBMITTED FOR DP APPLICATION
F	NOV. 06th, 2019	RESUBMITTED FOR DP APPLICATION
E	OCT 25th, 2019	RESUBMITTED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RESUBMITTED FOR DP APPLICATION
B	APR. 8th, 2019	RESUBMITTED FOR DP APPLICATION
A	FEB. 26th, 2019	RESUBMITTED FOR DP APPLICATION
REV	DATE	REVISION

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing is an instrument of service in the province of
 the architect and may not be used in any way without the
 written permission of this office.

**YAMAMOTO
 ARCHITECTURE**

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
 Residences at Riva-2

7811 Alburkirkway
 Richmond, BC

DRAWING TITLE -
 86-ROOF LEVEL

SCALE - 1/8"=1'-0"

DATE - APR 8, 2019

DRAWN - FS

CHECKED -

SHEET NO. -

A.1.18

PROJ NO - 1401



DP 18-841057 Plan 31
 Jan 2, 2020



NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY DEPARTMENT OR PERSONNEL OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

INSTALL STRUCTURAL SOIL CELLS FOR STREET TREES ALONG MINORU BLVD REFER TO OFFSITE DRAWINGS

18-10-01	REVISED PLAN SET, 20/01/2020
18-10-02	REVISED PLAN SET, 20/01/2020
18-10-03	REVISED PLAN SET, 20/01/2020
18-10-04	REVISED PLAN SET, 20/01/2020
18-10-05	REVISED PLAN SET, 20/01/2020
18-10-06	REVISED PLAN SET, 20/01/2020
18-10-07	REVISED PLAN SET, 20/01/2020
18-10-08	REVISED PLAN SET, 20/01/2020
18-10-09	REVISED PLAN SET, 20/01/2020
18-10-10	REVISED PLAN SET, 20/01/2020
18-10-11	REVISED PLAN SET, 20/01/2020
18-10-12	REVISED PLAN SET, 20/01/2020
18-10-13	REVISED PLAN SET, 20/01/2020
18-10-14	REVISED PLAN SET, 20/01/2020
18-10-15	REVISED PLAN SET, 20/01/2020
18-10-16	REVISED PLAN SET, 20/01/2020
18-10-17	REVISED PLAN SET, 20/01/2020
18-10-18	REVISED PLAN SET, 20/01/2020
18-10-19	REVISED PLAN SET, 20/01/2020
18-10-20	REVISED PLAN SET, 20/01/2020
18-10-21	REVISED PLAN SET, 20/01/2020
18-10-22	REVISED PLAN SET, 20/01/2020
18-10-23	REVISED PLAN SET, 20/01/2020
18-10-24	REVISED PLAN SET, 20/01/2020
18-10-25	REVISED PLAN SET, 20/01/2020
18-10-26	REVISED PLAN SET, 20/01/2020
18-10-27	REVISED PLAN SET, 20/01/2020
18-10-28	REVISED PLAN SET, 20/01/2020
18-10-29	REVISED PLAN SET, 20/01/2020
18-10-30	REVISED PLAN SET, 20/01/2020
18-10-31	REVISED PLAN SET, 20/01/2020
18-10-32	REVISED PLAN SET, 20/01/2020
18-10-33	REVISED PLAN SET, 20/01/2020
18-10-34	REVISED PLAN SET, 20/01/2020
18-10-35	REVISED PLAN SET, 20/01/2020
18-10-36	REVISED PLAN SET, 20/01/2020
18-10-37	REVISED PLAN SET, 20/01/2020
18-10-38	REVISED PLAN SET, 20/01/2020
18-10-39	REVISED PLAN SET, 20/01/2020
18-10-40	REVISED PLAN SET, 20/01/2020
18-10-41	REVISED PLAN SET, 20/01/2020
18-10-42	REVISED PLAN SET, 20/01/2020
18-10-43	REVISED PLAN SET, 20/01/2020
18-10-44	REVISED PLAN SET, 20/01/2020
18-10-45	REVISED PLAN SET, 20/01/2020
18-10-46	REVISED PLAN SET, 20/01/2020
18-10-47	REVISED PLAN SET, 20/01/2020
18-10-48	REVISED PLAN SET, 20/01/2020
18-10-49	REVISED PLAN SET, 20/01/2020
18-10-50	REVISED PLAN SET, 20/01/2020

connect
 LANDSCAPE ARCHITECTURE

Yamamoto
 Architecture Inc.

285-33 East 8th Ave., Vancouver, BC
 V5T 1S5 | Tel: 604-731-1127 | Fax: 604-731-4327

RIVA 2.0
 778 ALDERBRIDGE WAY
 RICHMOND, BRITISH COLUMBIA

onni

CONNECT LANDSCAPE ARCHITECTURE INC. IS THE DESIGNER OF RECORD FOR THIS PROJECT. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM CONNECT LANDSCAPE ARCHITECTURE INC.

DATE	18-10-01	SCALE
DATE	18-10-02	SCALE
DATE	18-10-03	SCALE
DATE	18-10-04	SCALE
DATE	18-10-05	SCALE
DATE	18-10-06	SCALE
DATE	18-10-07	SCALE
DATE	18-10-08	SCALE
DATE	18-10-09	SCALE
DATE	18-10-10	SCALE
DATE	18-10-11	SCALE
DATE	18-10-12	SCALE
DATE	18-10-13	SCALE
DATE	18-10-14	SCALE
DATE	18-10-15	SCALE
DATE	18-10-16	SCALE
DATE	18-10-17	SCALE
DATE	18-10-18	SCALE
DATE	18-10-19	SCALE
DATE	18-10-20	SCALE
DATE	18-10-21	SCALE
DATE	18-10-22	SCALE
DATE	18-10-23	SCALE
DATE	18-10-24	SCALE
DATE	18-10-25	SCALE
DATE	18-10-26	SCALE
DATE	18-10-27	SCALE
DATE	18-10-28	SCALE
DATE	18-10-29	SCALE
DATE	18-10-30	SCALE
DATE	18-10-31	SCALE
DATE	18-10-32	SCALE
DATE	18-10-33	SCALE
DATE	18-10-34	SCALE
DATE	18-10-35	SCALE
DATE	18-10-36	SCALE
DATE	18-10-37	SCALE
DATE	18-10-38	SCALE
DATE	18-10-39	SCALE
DATE	18-10-40	SCALE
DATE	18-10-41	SCALE
DATE	18-10-42	SCALE
DATE	18-10-43	SCALE
DATE	18-10-44	SCALE
DATE	18-10-45	SCALE
DATE	18-10-46	SCALE
DATE	18-10-47	SCALE
DATE	18-10-48	SCALE
DATE	18-10-49	SCALE
DATE	18-10-50	SCALE

LANDSCAPE
 OVERALL SITE PLAN

L1.0



DP 18-841057 Plan 32
 Jan 2, 2020

LEGEND

KEY	SYMBOL	DETAIL	MATERIAL
1		1-3 L6.0	PAVING TYPE A CIP CONCRETE, REFER TO CIVIL
2		4-6 L6.0	PAVING TYPE B VEHICULAR CONCRETE UNIT PAVER AS SPECIFIED
3a+3b		7-9 L6.0	PAVING TYPE C PEDESTRIAN CONCRETE UNIT PAVER AS SPECIFIED 3a NATURAL, 3b BROWN
4			PAVING TYPE D COMPOSITE WOOD DECKING, REFER TO ARCHITECT
5		2 L6.1	PAVING TYPE E COBBLE DRAIN STRIP AS SPECIFIED
6		5 L6.1	YELLOW CEDAR TIMBER DECKING AS SPECIFIED
7		1-3 L6.2	CUSTOM CIP CONCRETE BENCH AS PER DETAILS
10		3 L6.3	BIKE RACK (4 CLASS B STALLS) SINGLE LOADING (7 CLASS B STALLS) DOUBLE LOADING
11		1 L6.3	TRAFFIC BOLLARD AS PER DETAIL
12		1 L6.1	STEPPING SLABS IN GROUND COVER HYDRAPRESSED SLABS AS SPECIFIED
13		4,6,7 L6.2	TRELLIS AS PER DETAILS
14		4-7 L6.2	BBQ COUNTER AS PER DETAILS
15		4 L6.3	POTTING TABLE AND GREEN BIN PRODUCT AS SPECIFIED
16		2 L6.5	WEEVO PLAY STRUCTURE PRODUCT AS SPECIFIED
17		6 L6.4	CUBE PLAY STRUCTURE PRODUCT AS SPECIFIED
18		1 L6.5	5-12 YEAR PLAY STRUCTURE PRODUCT AS SPECIFIED
19		7 L6.4	BOBBLE RIDER PRODUCT AS SPECIFIED
20		10 L6.4	PLAY HOUSE PRODUCT AS SPECIFIED
21		1 L6.4	PLAY SURFACING ENGINEERED WOOD CHIP SURFACING, CSA APPROVED

KEY	SYMBOL	DETAIL	MATERIAL
22		2 L6.4	BURIED LOG ENDS AS PER DETAILS
24		3 L6.1	UNIT BLOCK WALL, TYP. AS PER DETAILS
25			CONCRETE WALL WITH BRICK FACE, TYP. REFER TO ARCHITECT
26			CONCRETE WALL, TYP. REFER TO ARCHITECT
27		6 L6.6	AGRICULTURAL PLANTER AS PER DETAILS
29		7 L6.3	PICNIC TABLE AS PER DETAILS AND SPECIFICATIONS
30		5 L6.3	TOOL SHED PRODUCT AS SPECIFIED
31		8 L6.2	FREE STANDING BENCH
32			HOSE BIB AT GARDEN AREA
33		6 L6.3	BAR TABLE AND STOOLS REFER TO OFFSITE PLANS
34		2,3 L6.2	CONCRETE BENCH WITH TIMBER BENCH TOP
35		5 L6.4	BOULDERS
36			ARTIFICIAL TURF PLAY FALL SURFACING
37		5 L6.4	PLAY PANELS WITH ANIMAL IMAGES
38		9 L6.4	PLAY/SEAT CUBES COLOURED
39		8 L6.4	DOUBLE HILL SLIDE AND MOUND
40		4 L6.4	POURED IN PLACE RUBBER PLAY FALL SURFACING

NOTES

1. ALL DIMENSIONS ARE METERS UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, AND SPECIFICATIONS.
3. VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
4. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT AND CONSULTANT TEAM PRIOR TO PROCEEDING.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR IS TO PROVIDE A MINIMUM 1% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE WAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES.
6. THE CONTRACTOR IS TO PROTECT ALL EXISTING HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
7. ALL LANDSCAPE TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM.
8. THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

NOTES:
CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR VERIFYING THE APPROPRIATE CONTRACTOR'S IDENTIFICATION OR RESPONSIBILITY OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

20	1-12-14	REVISED	AS PER DETAIL
21	1-12-14	REVISED	AS PER DETAIL
22	1-12-14	REVISED	AS PER DETAIL
23	1-12-14	REVISED	AS PER DETAIL
24	1-12-14	REVISED	AS PER DETAIL
25	1-12-14	REVISED	AS PER DETAIL
26	1-12-14	REVISED	AS PER DETAIL
27	1-12-14	REVISED	AS PER DETAIL
28	1-12-14	REVISED	AS PER DETAIL
29	1-12-14	REVISED	AS PER DETAIL
30	1-12-14	REVISED	AS PER DETAIL
31	1-12-14	REVISED	AS PER DETAIL
32	1-12-14	REVISED	AS PER DETAIL
33	1-12-14	REVISED	AS PER DETAIL
34	1-12-14	REVISED	AS PER DETAIL
35	1-12-14	REVISED	AS PER DETAIL
36	1-12-14	REVISED	AS PER DETAIL
37	1-12-14	REVISED	AS PER DETAIL
38	1-12-14	REVISED	AS PER DETAIL
39	1-12-14	REVISED	AS PER DETAIL
40	1-12-14	REVISED	AS PER DETAIL

connect
LANDSCAPE ARCHITECTURE

Yamamoto
Architecture Inc.

202 - 33 East 8th Ave, Vancouver, BC
V6T 1A5 Tel: 604-731-1127 Fax: 604-731-1327

RIVA 2.0
7781 ALDERBRIDGE WAY
RICHMOND, BRITISH COLUMBIA

DATE: 1-12-14

DATE	1-12-14	SCALE
DRAWN BY	CS	
CHECKED BY	MP	
DATE	01-12-14	
SCALE	AS SHOWN	
DATE	01-12-14	
SCALE	AS SHOWN	

MATERIALS LEGEND
BUILDING 5+6

L1.1

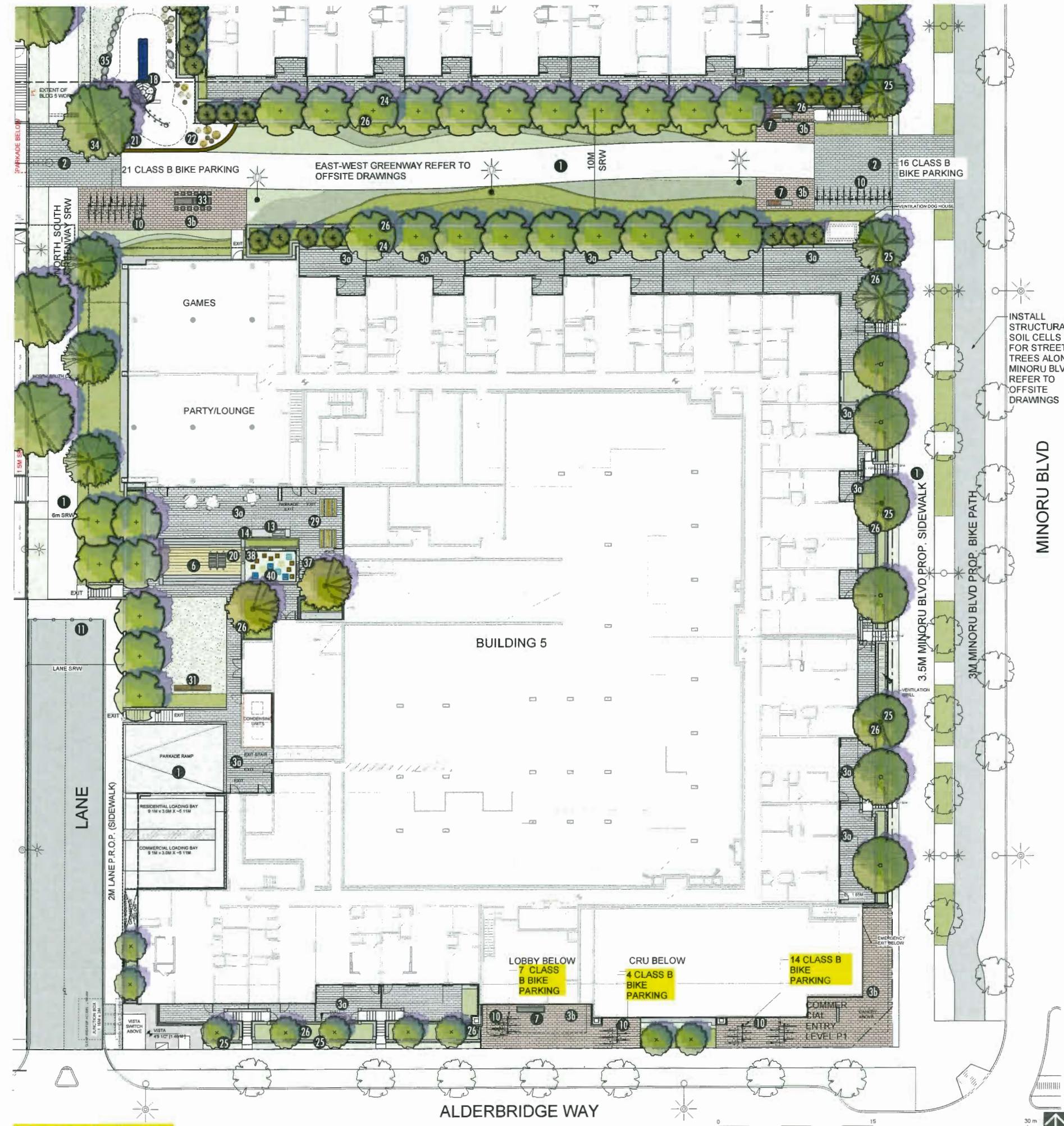
Plan 33
DP 18-841057
Jan 2, 2020

LEGEND

KEY	SYMBOL	DETAIL	MATERIAL
1		1-3 L6.0	PAVING TYPE A CIP CONCRETE, REFER TO CIVIL
2		4-6 L6.0	PAVING TYPE B VEHICULAR CONCRETE UNIT PAVER AS SPECIFIED
3a-3b		7-9 L6.0	PAVING TYPE C PEDESTRIAN CONCRETE UNIT PAVER AS SPECIFIED 3a NATURAL, 3b BROWN
4			PAVING TYPE D COMPOSITE WOOD DECKING, REFER TO ARCHITECT
5		2 L6.1	PAVING TYPE E COBBLE DRAIN STRIP AS SPECIFIED
6		3 L6.1	YELLOW CEDAR TIMBER DECKING AS SPECIFIED
7		1-3 L6.2	CUSTOM CIP CONCRETE BENCH AS PER DETAILS
10		3 L6.3	BIKE RACK (4 CLASS B STALLS) SINGLE LOADING (7 CLASS B STALLS) DOUBLE LOADING
11		1 L6.3	TRAFFIC BOLLARD AS PER DETAIL
12		1 L6.1	STEPPING SLABS IN GROUNDCOVER HYDRAPRESSED SLABS AS SPECIFIED
13		4,6,7 L6.2	TRELLIS AS PER DETAILS
14		4-7 L6.2	BBQ COUNTER AS PER DETAILS
15		4 L6.3	POTTING TABLE AND GREEN BIN PRODUCT AS SPECIFIED
16		2 L6.5	WEEVO PLAY STRUCTURE PRODUCT AS SPECIFIED
17		6 L6.4	CUBE PLAY STRUCTURE PRODUCT AS SPECIFIED
18		1 L6.5	5-12 YEAR PLAY STRUCTURE PRODUCT AS SPECIFIED
19		7 L6.4	BOBBLE RIDER PRODUCT AS SPECIFIED
20		10 L6.4	PLAY HOUSE PRODUCT AS SPECIFIED
21		1 L6.4	PLAY SURFACING ENGINEERED WOOD CHIP SURFACING, CSA APPROVED
22		2 L6.4	BURIED LOG ENDS AS PER DETAILS
24		3 L6.1	UNIT BLOCK WALL, TYP. AS PER DETAILS
25			CONCRETE WALL WITH BRICK FACE, TYP. REFER TO ARCHITECT
26			CONCRETE WALL, TYP. REFER TO ARCHITECT
27		6 L6.6	AGRICULTURAL PLANTER AS PER DETAILS
29		7 L6.3	PICNIC TABLE AS PER DETAILS AND SPECIFICATIONS
30		5 L6.3	TOOL SHED PRODUCT AS SPECIFIED
31		8 L6.2	FREE STANDING BENCH
32			HOSE BIB AT GARDEN AREA
33		6 L6.3	BAR TABLE AND STOOLS REFER TO OFFSITE PLANS
34		2,3 L6.2	CONCRETE BENCH WITH TIMBER BENCH TOP
35		5 L6.4	BOULDERS
36			ARTIFICIAL TURF PLAY FALL SURFACING
37		5 L6.4	PLAY PANELS WITH ANIMAL IMAGES
38		9 L6.4	PLAY/SEAT CUBES COLOURED
39		8 L6.4	DOUBLE HILL SLIDE AND MOUND
40		4 L6.4	POURED IN PLACE RUBBER PLAY FALL SURFACING

NOTES

1. ALL DIMENSIONS ARE METERS UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, AND SPECIFICATIONS.
3. VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
4. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT AND CONSULTANT TEAM PRIOR TO PROCEEDING.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR IS TO PROVIDE A MINIMUM 1% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE WAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES.
6. THE CONTRACTOR IS TO PROTECT ALL EXISTING HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
7. ALL LANDSCAPE TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM.
8. THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT



BUILDING 5 Class B stalls: 7+4+14=25
BUILDING 6 Class B stalls: 51
TOTAL: 76

NOTES:

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION AND DEPTH OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION AND DEPTH OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY DEPARTMENT OR PERSONNEL OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

INSTALL STRUCTURAL SOIL CELLS FOR STREET TREES ALONG MINORU BLVD REFER TO OFFSITE DRAWINGS

MINORU BLVD

NO.	DATE	DESCRIPTION
1	18-01-11	PRELIMINARY LAYOUT
2	18-01-11	PRELIMINARY LAYOUT
3	18-01-11	PRELIMINARY LAYOUT
4	18-01-11	PRELIMINARY LAYOUT
5	18-01-11	PRELIMINARY LAYOUT
6	18-01-11	PRELIMINARY LAYOUT
7	18-01-11	PRELIMINARY LAYOUT
8	18-01-11	PRELIMINARY LAYOUT
9	18-01-11	PRELIMINARY LAYOUT
10	18-01-11	PRELIMINARY LAYOUT
11	18-01-11	PRELIMINARY LAYOUT
12	18-01-11	PRELIMINARY LAYOUT
13	18-01-11	PRELIMINARY LAYOUT
14	18-01-11	PRELIMINARY LAYOUT
15	18-01-11	PRELIMINARY LAYOUT
16	18-01-11	PRELIMINARY LAYOUT
17	18-01-11	PRELIMINARY LAYOUT
18	18-01-11	PRELIMINARY LAYOUT
19	18-01-11	PRELIMINARY LAYOUT
20	18-01-11	PRELIMINARY LAYOUT
21	18-01-11	PRELIMINARY LAYOUT
22	18-01-11	PRELIMINARY LAYOUT
23	18-01-11	PRELIMINARY LAYOUT
24	18-01-11	PRELIMINARY LAYOUT
25	18-01-11	PRELIMINARY LAYOUT
26	18-01-11	PRELIMINARY LAYOUT
27	18-01-11	PRELIMINARY LAYOUT
28	18-01-11	PRELIMINARY LAYOUT
29	18-01-11	PRELIMINARY LAYOUT
30	18-01-11	PRELIMINARY LAYOUT
31	18-01-11	PRELIMINARY LAYOUT
32	18-01-11	PRELIMINARY LAYOUT
33	18-01-11	PRELIMINARY LAYOUT
34	18-01-11	PRELIMINARY LAYOUT
35	18-01-11	PRELIMINARY LAYOUT
36	18-01-11	PRELIMINARY LAYOUT
37	18-01-11	PRELIMINARY LAYOUT
38	18-01-11	PRELIMINARY LAYOUT
39	18-01-11	PRELIMINARY LAYOUT
40	18-01-11	PRELIMINARY LAYOUT

connect
LANDSCAPE ARCHITECTURE

Yamamoto
Architecture Inc.

383 - 33 Ave Rd. Vancouver, BC
V5T 1R3 Tel: 604.731.1127 Fax: 604.731.1327

RIVA 2.0
7781 7781 ALDENBRIDGE WAY
RICHMOND, BRITISH COLUMBIA

omni

NO.	DATE	DESCRIPTION
1	18-01-11	PRELIMINARY LAYOUT
2	18-01-11	PRELIMINARY LAYOUT
3	18-01-11	PRELIMINARY LAYOUT
4	18-01-11	PRELIMINARY LAYOUT
5	18-01-11	PRELIMINARY LAYOUT
6	18-01-11	PRELIMINARY LAYOUT
7	18-01-11	PRELIMINARY LAYOUT
8	18-01-11	PRELIMINARY LAYOUT
9	18-01-11	PRELIMINARY LAYOUT
10	18-01-11	PRELIMINARY LAYOUT
11	18-01-11	PRELIMINARY LAYOUT
12	18-01-11	PRELIMINARY LAYOUT
13	18-01-11	PRELIMINARY LAYOUT
14	18-01-11	PRELIMINARY LAYOUT
15	18-01-11	PRELIMINARY LAYOUT
16	18-01-11	PRELIMINARY LAYOUT
17	18-01-11	PRELIMINARY LAYOUT
18	18-01-11	PRELIMINARY LAYOUT
19	18-01-11	PRELIMINARY LAYOUT
20	18-01-11	PRELIMINARY LAYOUT
21	18-01-11	PRELIMINARY LAYOUT
22	18-01-11	PRELIMINARY LAYOUT
23	18-01-11	PRELIMINARY LAYOUT
24	18-01-11	PRELIMINARY LAYOUT
25	18-01-11	PRELIMINARY LAYOUT
26	18-01-11	PRELIMINARY LAYOUT
27	18-01-11	PRELIMINARY LAYOUT
28	18-01-11	PRELIMINARY LAYOUT
29	18-01-11	PRELIMINARY LAYOUT
30	18-01-11	PRELIMINARY LAYOUT
31	18-01-11	PRELIMINARY LAYOUT
32	18-01-11	PRELIMINARY LAYOUT
33	18-01-11	PRELIMINARY LAYOUT
34	18-01-11	PRELIMINARY LAYOUT
35	18-01-11	PRELIMINARY LAYOUT
36	18-01-11	PRELIMINARY LAYOUT
37	18-01-11	PRELIMINARY LAYOUT
38	18-01-11	PRELIMINARY LAYOUT
39	18-01-11	PRELIMINARY LAYOUT
40	18-01-11	PRELIMINARY LAYOUT

LANDSCAPE PLAN
BUILDING 5 LEVEL 1

L1.3-1

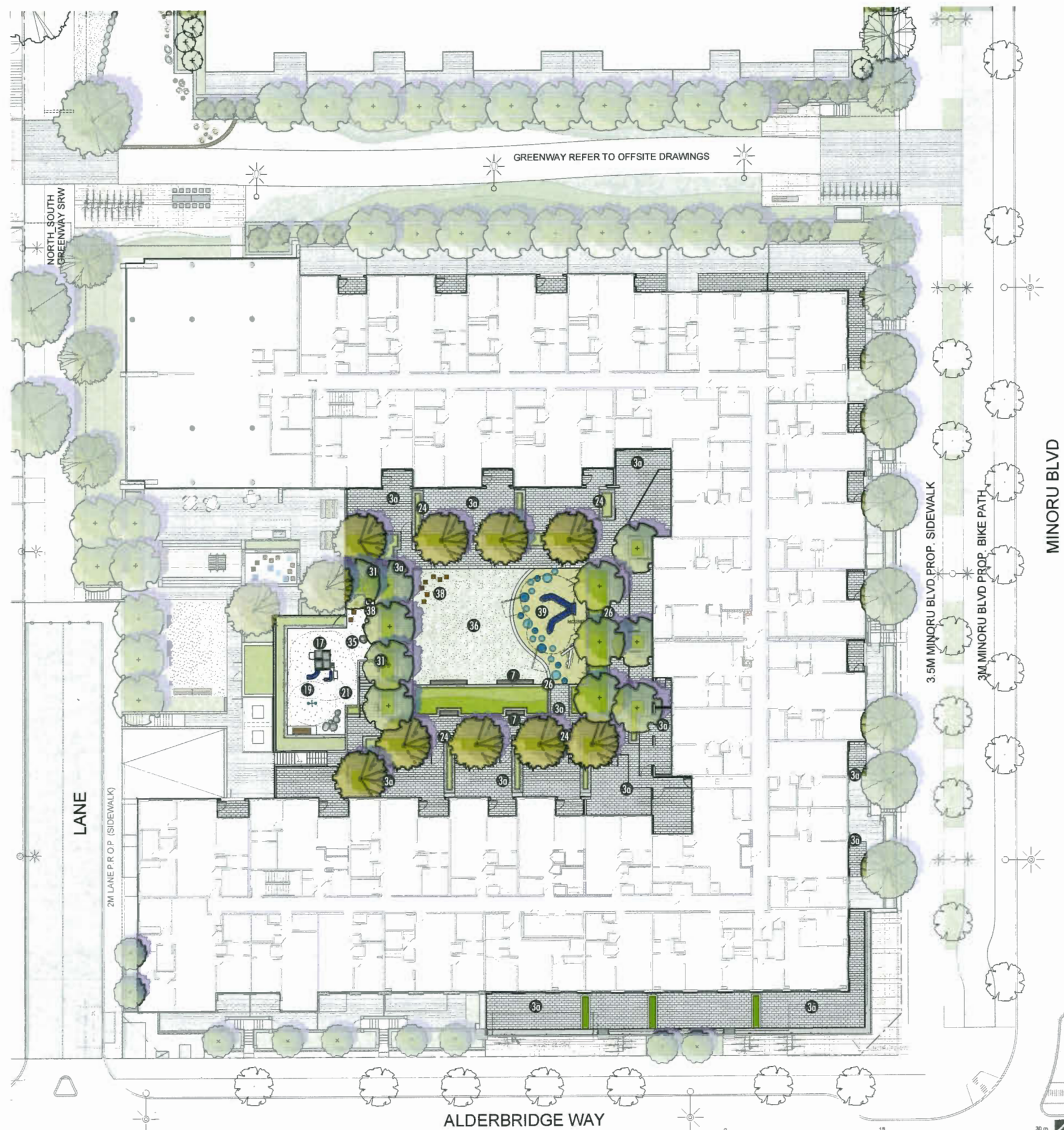
DP 18-841057 Plan 34 a
Jan 2, 2020

LEGEND

KEY	SYMBOL	DETAIL	MATERIAL
1	[Symbol]	PAVING TYPE A	CIP CONCRETE, REFER TO CIVIL
2	[Symbol]	PAVING TYPE B	VEHICULAR CONCRETE UNIT PAVER AS SPECIFIED
3a-3b	[Symbol]	PAVING TYPE C	PEDESTRIAN CONCRETE UNIT PAVER AS SPECIFIED 3a NATURAL, 3b BROWN
4	[Symbol]	PAVING TYPE D	COMPOSITE WOOD DECKING, REFER TO ARCHITECT
5	[Symbol]	PAVING TYPE E	COBBLE DRAIN STRIP AS SPECIFIED
6	[Symbol]	YELLOW CEDAR TIMBER DECKING	AS SPECIFIED
7	[Symbol]	CUSTOM CIP CONCRETE BENCH	AS PER DETAILS
10	[Symbol]	BIKE RACK (4 CLASS B STALLS) SINGLE LOADING (7 CLASS B STALLS) DOUBLE LOADING	
11	[Symbol]	TRAFFIC BOLLARD	AS PER DETAIL
12	[Symbol]	STEPPING SLABS IN GROUNDCOVER	HYDRAPRESSED SLABS AS SPECIFIED
13	[Symbol]	TRELLIS	AS PER DETAILS
14	[Symbol]	BBQ COUNTER	AS PER DETAILS
15	[Symbol]	POTTING TABLE AND GREEN BIN	PRODUCT AS SPECIFIED
16	[Symbol]	WEEVO PLAY STRUCTURE	PRODUCT AS SPECIFIED
17	[Symbol]	CUBE PLAY STRUCTURE	PRODUCT AS SPECIFIED
18	[Symbol]	5-12 YEAR PLAY STRUCTURE	PRODUCT AS SPECIFIED
19	[Symbol]	BOBBLE RIDER	PRODUCT AS SPECIFIED
20	[Symbol]	PLAY HOUSE	PRODUCT AS SPECIFIED
21	[Symbol]	PLAY SURFACING	ENGINEERED WOOD CHIP SURFACING, CSA APPROVED
22	[Symbol]	BURIED LOG ENDS	AS PER DETAILS
24	[Symbol]	UNIT BLOCK WALL, TYP.	AS PER DETAILS
25	[Symbol]	CONCRETE WALL WITH BRICK FACE, TYP.	REFER TO ARCHITECT
26	[Symbol]	CONCRETE WALL, TYP.	REFER TO ARCHITECT
27	[Symbol]	AGRICULTURAL PLANTER	AS PER DETAILS
29	[Symbol]	PICNIC TABLE	AS PER DETAILS AND SPECIFICATIONS
30	[Symbol]	TOOL SHED	PRODUCT AS SPECIFIED
31	[Symbol]	FREE STANDING BENCH	
32	[Symbol]	HOSE BIB AT GARDEN AREA	
33	[Symbol]	BAR TABLE AND STOOLS	REFER TO OFFSITE PLANS
34	[Symbol]	CONCRETE BENCH WITH TIMBER BENCH TOP	
35	[Symbol]	BOULDERS	
36	[Symbol]	ARTIFICIAL TURF PLAY FALL SURFACING	
37	[Symbol]	PLAY PANELS WITH ANIMAL IMAGES	
38	[Symbol]	PLAY/SEAT CUBES COLOURED	
39	[Symbol]	DOUBLE HILL SLIDE AND MOUND	
40	[Symbol]	POURED IN PLACE RUBBER PLAY FALL SURFACING	

NOTES

1. ALL DIMENSIONS ARE METERS UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, AND SPECIFICATIONS.
3. VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
4. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT AND CONSULTANT TEAM PRIOR TO PROCEEDING.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR IS TO PROVIDE A MINIMUM 1% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE WAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES.
6. THE CONTRACTOR IS TO PROTECT ALL EXISTING HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
7. ALL LANDSCAPE TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM.
8. THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.



NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSONNEL OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

NO.	REV.	DESCRIPTION
1	1	ISSUED FOR PERMIT
2	1	ISSUED FOR PERMIT
3	1	ISSUED FOR PERMIT
4	1	ISSUED FOR PERMIT
5	1	ISSUED FOR PERMIT
6	1	ISSUED FOR PERMIT
7	1	ISSUED FOR PERMIT
8	1	ISSUED FOR PERMIT
9	1	ISSUED FOR PERMIT
10	1	ISSUED FOR PERMIT
11	1	ISSUED FOR PERMIT
12	1	ISSUED FOR PERMIT
13	1	ISSUED FOR PERMIT
14	1	ISSUED FOR PERMIT
15	1	ISSUED FOR PERMIT
16	1	ISSUED FOR PERMIT
17	1	ISSUED FOR PERMIT
18	1	ISSUED FOR PERMIT
19	1	ISSUED FOR PERMIT
20	1	ISSUED FOR PERMIT
21	1	ISSUED FOR PERMIT
22	1	ISSUED FOR PERMIT
23	1	ISSUED FOR PERMIT
24	1	ISSUED FOR PERMIT
25	1	ISSUED FOR PERMIT
26	1	ISSUED FOR PERMIT
27	1	ISSUED FOR PERMIT
28	1	ISSUED FOR PERMIT
29	1	ISSUED FOR PERMIT
30	1	ISSUED FOR PERMIT
31	1	ISSUED FOR PERMIT
32	1	ISSUED FOR PERMIT
33	1	ISSUED FOR PERMIT
34	1	ISSUED FOR PERMIT
35	1	ISSUED FOR PERMIT
36	1	ISSUED FOR PERMIT
37	1	ISSUED FOR PERMIT
38	1	ISSUED FOR PERMIT
39	1	ISSUED FOR PERMIT
40	1	ISSUED FOR PERMIT

connect
 LANDSCAPE ARCHITECTURE

Yamamoto
 Architecture Inc.

205 - 25 East 9th Ave, Vancouver, BC
 V5T 1S5 | Tel: 604-751-1127 | Fax: 604-751-1327

RIVA 2.0
 1775 WEST ALBERIDGE WAY
 RICHMOND, BRITISH COLUMBIA

onni

DATE	BY	REVISION
2020-01-20	ML	ISSUED FOR PERMIT
2020-01-20	ML	ISSUED FOR PERMIT
2020-01-20	ML	ISSUED FOR PERMIT
2020-01-20	ML	ISSUED FOR PERMIT
2020-01-20	ML	ISSUED FOR PERMIT

LANDSCAPE PLAN
 BUILDING 6 LEVEL 2

L1.3-2

DP 18-841057 Plan 34 b
 Jan 2, 2020

NOTE: FOR CALLOUT LEGEND REFER TO L1.1



NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSONNEL OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

26	1x10x14	RED CEDAR ROUND TRUNK PLANT
27	1x12x14	RED CEDAR ROUND TRUNK PLANT
28	1x14x14	RED CEDAR ROUND TRUNK PLANT
29	1x16x14	RED CEDAR ROUND TRUNK PLANT
30	1x18x14	RED CEDAR ROUND TRUNK PLANT
31	1x20x14	RED CEDAR ROUND TRUNK PLANT
32	1x22x14	RED CEDAR ROUND TRUNK PLANT
33	1x24x14	RED CEDAR ROUND TRUNK PLANT
34	1x26x14	RED CEDAR ROUND TRUNK PLANT
35	1x28x14	RED CEDAR ROUND TRUNK PLANT
36	1x30x14	RED CEDAR ROUND TRUNK PLANT
37	1x32x14	RED CEDAR ROUND TRUNK PLANT
38	1x34x14	RED CEDAR ROUND TRUNK PLANT
39	1x36x14	RED CEDAR ROUND TRUNK PLANT
40	1x38x14	RED CEDAR ROUND TRUNK PLANT

connect
 LANDSCAPE ARCHITECTURE

Yamamoto
 Architecture Inc.

285 - 23 East 8th Ave., Vancouver, BC
 V5T 1S5 | TEL: 604-251-1127 | FAX: 604-251-1327

PROJECT:
RIVA 2.0
 7751 7TH ALDENBOROUGH WAY
 RICHMOND, BRITISH COLUMBIA

onni

DATE: 01/15/20
 SCALE: 1/8"=1'-0"
 JOB NO: 18-02

DATE:	01/15/20	SCALE:	1/8"=1'-0"
JOB NO:	18-02	DESIGNER:	CE-LL
PROJECT:	RIVA 2.0	DATE:	01/15/20
SCALE:	1/8"=1'-0"	SCALE:	1/8"=1'-0"
JOB NO:	18-02	JOB NO:	18-02

COURTYARD PLAN
 BUILDING 5 LEVEL 2

L1.5



DP 18-841057 Plan 34 c
 Jan 2, 2020

LEGEND

KEY	SYMBOL	DETAIL MATERIAL
1	(1-3) L6.0	PAVING TYPE A CIP CONCRETE, REFER TO CIVIL
2	(4-6) L6.0	PAVING TYPE B VEHICULAR CONCRETE UNIT PAVER AS SPECIFIED
3a-3b	(7-9) L6.0	PAVING TYPE C PEDESTRIAN CONCRETE UNIT PAVER AS SPECIFIED 3a NATURAL, 3b BROWN
4		PAVING TYPE D COMPOSITE WOOD DECKING, REFER TO ARCHITECT
5	(2) L6.1	PAVING TYPE E COBBLE DRAIN STRIP AS SPECIFIED
6	(5) L6.1	YELLOW CEDAR TIMBER DECKING AS SPECIFIED
7	(1-3) L6.2	CUSTOM CIP CONCRETE BENCH AS PER DETAILS
10	(3) L6.3	BIKE RACK (4 CLASS B STALLS) SINGLE LOADING (7 CLASS B STALLS) DOUBLE LOADING
11	(1) L6.3	TRAFFIC BOLLARD AS PER DETAIL
12	(1) L6.1	STEPPING SLABS IN GROUNDCOVER HYDRAPRESSED SLABS AS SPECIFIED
13	(4,6,7) L6.2	TRELLIS AS PER DETAILS
14	(4-7) L6.2	BBQ COUNTER AS PER DETAILS
15	(4) L6.3	POTTING TABLE AND GREEN BIN PRODUCT AS SPECIFIED
16	(2) L6.5	WEEVO PLAY STRUCTURE PRODUCT AS SPECIFIED
17	(6) L6.4	CUBE PLAY STRUCTURE PRODUCT AS SPECIFIED
18	(1) L6.5	5-12 YEAR PLAY STRUCTURE PRODUCT AS SPECIFIED
19	(7) L6.4	BOBBLE RIDER PRODUCT AS SPECIFIED
20	(10) L6.4	PLAY HOUSE PRODUCT AS SPECIFIED
21	(1) L6.4	PLAY SURFACING ENGINEERED WOOD CHIP SURFACING, CSA APPROVED
22	(2) L6.4	BURIED LOG ENDS AS PER DETAILS
24	(3) L6.1	UNIT BLOCK WALL, TYP. AS PER DETAILS
25		CONCRETE WALL WITH BRICK FACE, TYP. REFER TO ARCHITECT
26		CONCRETE WALL, TYP. REFER TO ARCHITECT
27	(6) L6.6	AGRICULTURAL PLANTER AS PER DETAILS
29	(7) L6.3	PICNIC TABLE AS PER DETAILS AND SPECIFICATIONS
30	(5) L6.3	TOOL SHED PRODUCT AS SPECIFIED
31	(8) L6.2	FREE STANDING BENCH
32		HOSE BIB AT GARDEN AREA
33	(6) L6.3	BAR TABLE AND STOOLS REFER TO OFFSITE PLANS
34	(2,3) L6.2	CONCRETE BENCH WITH TIMBER BENCH TOP
35	(5) L6.4	BOULDERS
36	(5) L6.4	ARTIFICIAL TURF PLAY FALL SURFACING
37	(9) L6.4	PLAY PANELS WITH ANIMAL IMAGES
38	(9) L6.4	PLAY/SEAT CUBES COLOURED
39	(8) L6.4	DOUBLE HILL SLIDE AND MOUND
40	(4) L6.4	POURED IN PLACE RUBBER PLAY FALL SURFACING

NOTES

1. ALL DIMENSIONS ARE METERS UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, AND SPECIFICATIONS.
3. VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.
4. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT AND CONSULTANT TEAM PRIOR TO PROCEEDING.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR IS TO PROVIDE A MINIMUM 1% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE WAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES.
6. THE CONTRACTOR IS TO PROTECT ALL EXISTING HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
7. ALL LANDSCAPE TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM.
8. THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT



BUILDING 6 Class B stalls: 7+7+16+21=51

NOTES:

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COUNCILY GOVERNMENT OR RESIDUAL OF HIS INTENTION TO CARRY OUT HIS OPERATIONS.

INSTALL STRUCTURAL SOIL CELLS FOR STREET TREES ALONG MINORU BLVD REFER TO OFFSITE DRAWINGS

NO.	DESCRIPTION	DATE
1	PRELIMINARY LAYOUT	2020-01-15
2	REVISED LAYOUT	2020-01-20
3	REVISED LAYOUT	2020-01-25
4	REVISED LAYOUT	2020-02-05
5	REVISED LAYOUT	2020-02-10
6	REVISED LAYOUT	2020-02-15
7	REVISED LAYOUT	2020-02-20
8	REVISED LAYOUT	2020-02-25
9	REVISED LAYOUT	2020-03-05
10	REVISED LAYOUT	2020-03-10
11	REVISED LAYOUT	2020-03-15
12	REVISED LAYOUT	2020-03-20
13	REVISED LAYOUT	2020-03-25
14	REVISED LAYOUT	2020-04-05
15	REVISED LAYOUT	2020-04-10
16	REVISED LAYOUT	2020-04-15
17	REVISED LAYOUT	2020-04-20
18	REVISED LAYOUT	2020-04-25
19	REVISED LAYOUT	2020-05-05
20	REVISED LAYOUT	2020-05-10
21	REVISED LAYOUT	2020-05-15
22	REVISED LAYOUT	2020-05-20
23	REVISED LAYOUT	2020-05-25
24	REVISED LAYOUT	2020-06-05
25	REVISED LAYOUT	2020-06-10
26	REVISED LAYOUT	2020-06-15
27	REVISED LAYOUT	2020-06-20
28	REVISED LAYOUT	2020-06-25
29	REVISED LAYOUT	2020-07-05
30	REVISED LAYOUT	2020-07-10
31	REVISED LAYOUT	2020-07-15
32	REVISED LAYOUT	2020-07-20
33	REVISED LAYOUT	2020-07-25
34	REVISED LAYOUT	2020-08-05
35	REVISED LAYOUT	2020-08-10
36	REVISED LAYOUT	2020-08-15
37	REVISED LAYOUT	2020-08-20
38	REVISED LAYOUT	2020-08-25
39	REVISED LAYOUT	2020-09-05
40	REVISED LAYOUT	2020-09-10

connect
LANDSCAPE ARCHITECTURE

Yamamoto
Architecture Inc.

203-33 East 8th Ave., Vancouver, BC
V5T 1A2 Tel: 604-771-1127 Fax: 604-771-1127

RIVA 2.0
7781 7781 ALDERBROOKE WAY
RICHMOND, BRITISH COLUMBIA

onni

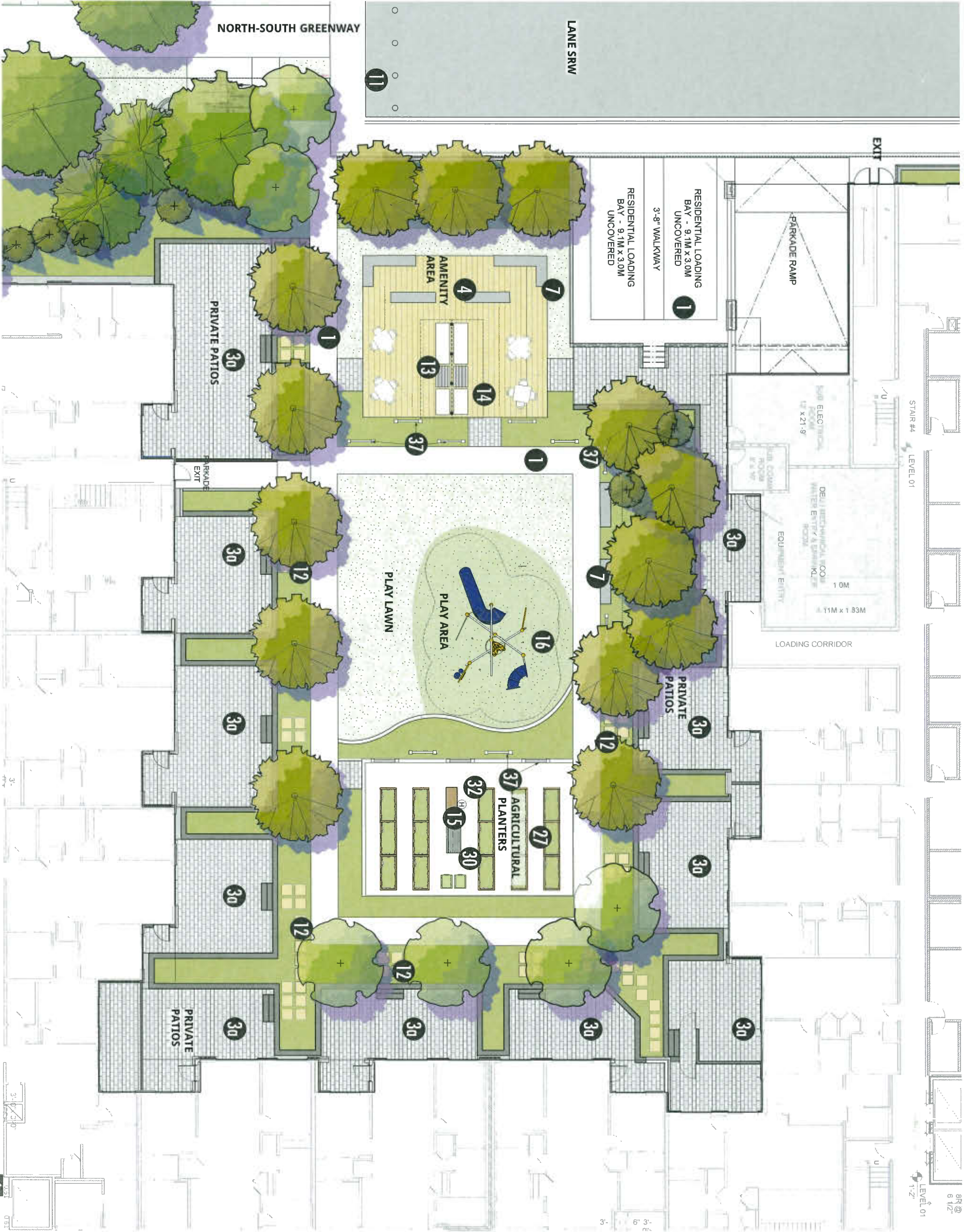
DATE	BY	DESCRIPTION
2020-01-15	ML	PRELIMINARY LAYOUT
2020-01-20	ML	REVISED LAYOUT
2020-01-25	ML	REVISED LAYOUT
2020-02-05	ML	REVISED LAYOUT
2020-02-10	ML	REVISED LAYOUT
2020-02-15	ML	REVISED LAYOUT
2020-02-20	ML	REVISED LAYOUT
2020-02-25	ML	REVISED LAYOUT
2020-03-05	ML	REVISED LAYOUT
2020-03-10	ML	REVISED LAYOUT
2020-03-15	ML	REVISED LAYOUT
2020-03-20	ML	REVISED LAYOUT
2020-03-25	ML	REVISED LAYOUT
2020-04-05	ML	REVISED LAYOUT
2020-04-10	ML	REVISED LAYOUT
2020-04-15	ML	REVISED LAYOUT
2020-04-20	ML	REVISED LAYOUT
2020-04-25	ML	REVISED LAYOUT
2020-05-05	ML	REVISED LAYOUT
2020-05-10	ML	REVISED LAYOUT
2020-05-15	ML	REVISED LAYOUT
2020-05-20	ML	REVISED LAYOUT
2020-05-25	ML	REVISED LAYOUT
2020-06-05	ML	REVISED LAYOUT
2020-06-10	ML	REVISED LAYOUT
2020-06-15	ML	REVISED LAYOUT
2020-06-20	ML	REVISED LAYOUT
2020-06-25	ML	REVISED LAYOUT
2020-07-05	ML	REVISED LAYOUT
2020-07-10	ML	REVISED LAYOUT
2020-07-15	ML	REVISED LAYOUT
2020-07-20	ML	REVISED LAYOUT
2020-07-25	ML	REVISED LAYOUT
2020-08-05	ML	REVISED LAYOUT
2020-08-10	ML	REVISED LAYOUT
2020-08-15	ML	REVISED LAYOUT
2020-08-20	ML	REVISED LAYOUT
2020-08-25	ML	REVISED LAYOUT
2020-09-05	ML	REVISED LAYOUT
2020-09-10	ML	REVISED LAYOUT

LANDSCAPE CONCEPT
BUILDING 6

L1.2

DP 18-841057 Plan 34 d
Jan 2, 2020

NOTE: FOR CALLOUT LEGEND REFER TO L1.1



NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXACT LOCATION AND LAYOUT OF THE PLANTINGS OR MATERIALS SHOWN IN THIS PLAN. THE EXACT LOCATION AND LAYOUT OF THE PLANTINGS AND MATERIALS WILL BE DETERMINED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTINGS AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTINGS AND MATERIALS.

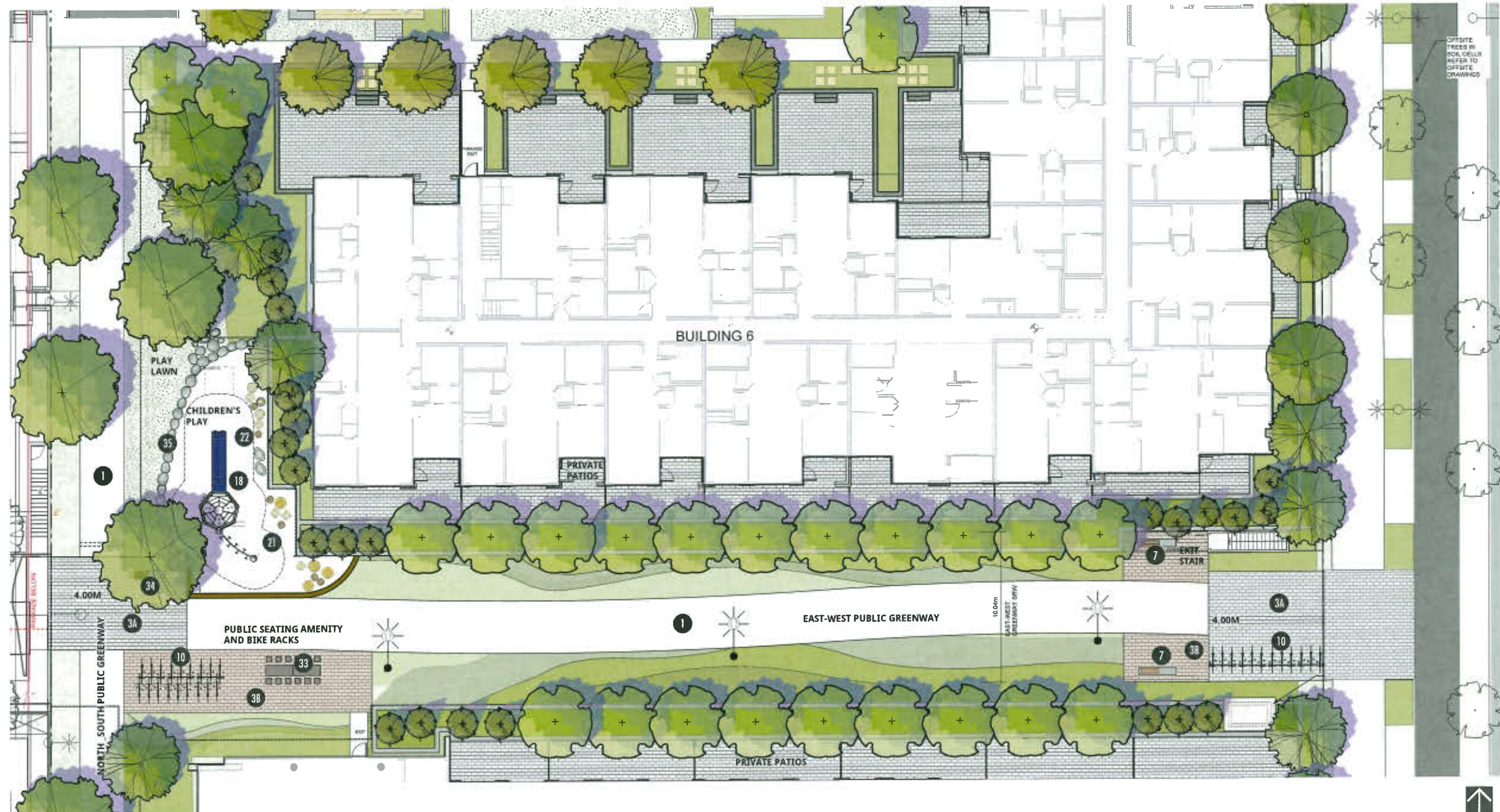
NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	RESIDENTIAL LOADING BAY - 9.1M x 3.0M UNCOVERED	2	SQ. M	150.00	300.00
2	RESIDENTIAL LOADING BAY - 9.1M x 3.0M UNCOVERED	2	SQ. M	150.00	300.00
3	3.8" WALKWAY	1	SQ. M	10.00	10.00
4	AMENITY AREA	1	SQ. M	100.00	100.00
7	TREE	10	EA	10.00	100.00
11	TREE	5	EA	10.00	50.00
12	TREE	10	EA	10.00	100.00
13	TREE	5	EA	10.00	50.00
14	TREE	5	EA	10.00	50.00
15	TREE	5	EA	10.00	50.00
16	PLAY AREA	1	SQ. M	100.00	100.00
27	AGRICULTURAL PLANTERS	1	SQ. M	100.00	100.00
30	PRIVATE PATIOS	10	SQ. M	10.00	100.00
32	AGRICULTURAL PLANTERS	1	SQ. M	100.00	100.00
37	AGRICULTURAL PLANTERS	1	SQ. M	100.00	100.00

Yamanoto Architecture Inc.

RIVA 2.0

connect LANDSCAPE ARCHITECTURE

COURTYARD PLAN BUILDING 6



NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COUNTRY, PROVINCE OR TERRITORY OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

1	PLANTING	PLANTING
2	PLANTING	PLANTING
3	PLANTING	PLANTING
4	PLANTING	PLANTING
5	PLANTING	PLANTING
6	PLANTING	PLANTING
7	PLANTING	PLANTING
8	PLANTING	PLANTING
9	PLANTING	PLANTING
10	PLANTING	PLANTING
11	PLANTING	PLANTING
12	PLANTING	PLANTING
13	PLANTING	PLANTING
14	PLANTING	PLANTING
15	PLANTING	PLANTING
16	PLANTING	PLANTING
17	PLANTING	PLANTING
18	PLANTING	PLANTING
19	PLANTING	PLANTING
20	PLANTING	PLANTING
21	PLANTING	PLANTING
22	PLANTING	PLANTING
23	PLANTING	PLANTING
24	PLANTING	PLANTING
25	PLANTING	PLANTING
26	PLANTING	PLANTING
27	PLANTING	PLANTING
28	PLANTING	PLANTING
29	PLANTING	PLANTING
30	PLANTING	PLANTING
31	PLANTING	PLANTING
32	PLANTING	PLANTING
33	PLANTING	PLANTING
34	PLANTING	PLANTING
35	PLANTING	PLANTING
36	PLANTING	PLANTING
37	PLANTING	PLANTING
38	PLANTING	PLANTING
39	PLANTING	PLANTING
40	PLANTING	PLANTING
41	PLANTING	PLANTING
42	PLANTING	PLANTING
43	PLANTING	PLANTING
44	PLANTING	PLANTING
45	PLANTING	PLANTING
46	PLANTING	PLANTING
47	PLANTING	PLANTING
48	PLANTING	PLANTING
49	PLANTING	PLANTING
50	PLANTING	PLANTING



PUBLIC GREENWAY WITH SEATING AND LAYERED PLANTINGS



PUBLIC BIKE PARKING AND REST STATION



TABLE AND STOOLS

connect
 LANDSCAPE ARCHITECTURE

Yamamoto
 Architecture Inc.

202 - 33 East 8th Ave., Vancouver, BC
 V5T 1S5 Tel: 604-731-1127 Fax: 604-731-1327

RIVA 2.0
 7791, 7781 ALDERBRIDGE WAY
 RICHMOND, BRITISH COLUMBIA

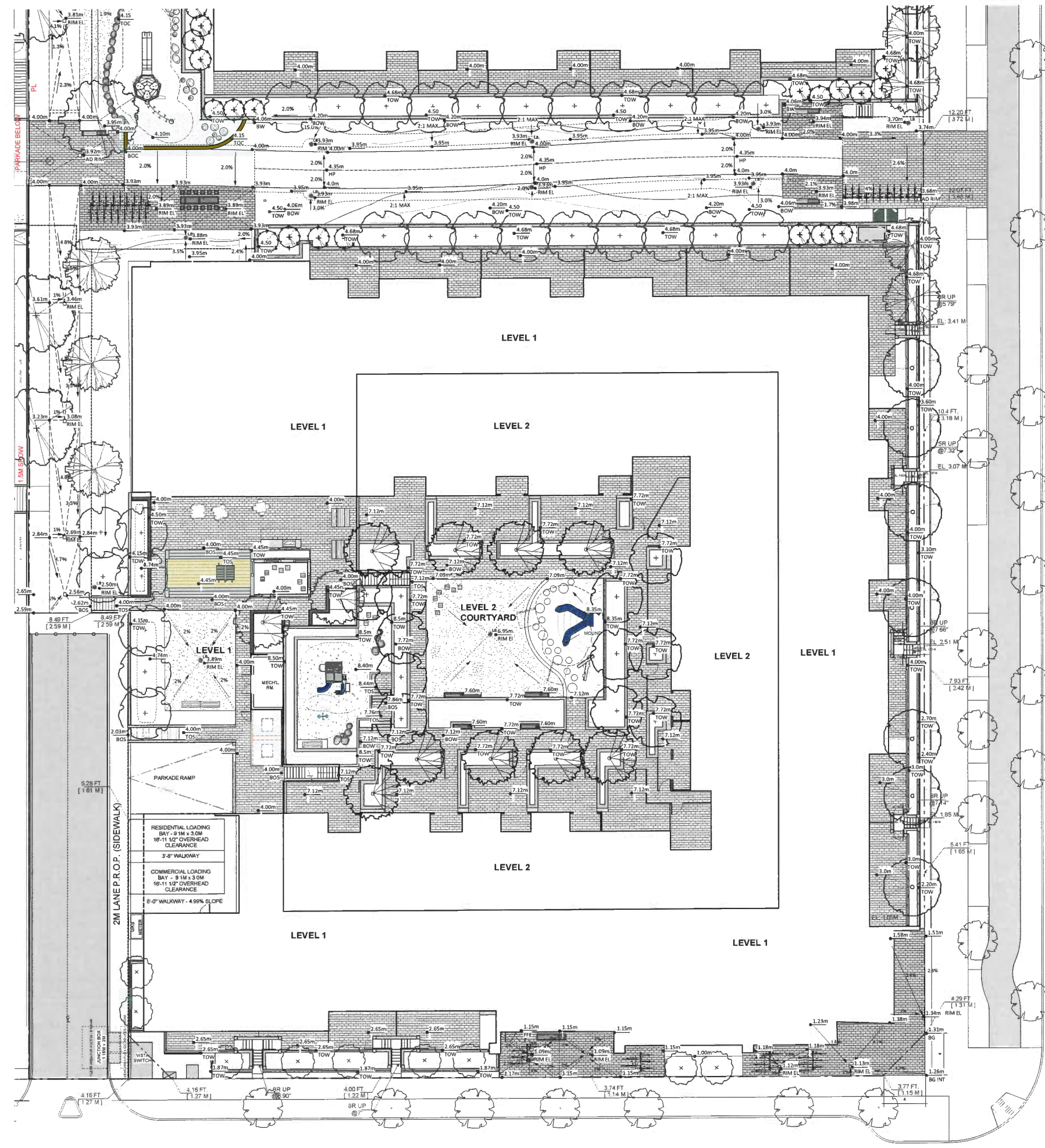
omni

DATE:	1/15/20	28-A
DATE:	01	
SCALE:	1/8" = 1'-0"	
DATE:	02/20	
DATE:		

LANDSCAPE PLAN
 PUBLIC GREENWAY

L1.6

DP 18-841057 Plan 34 f
 Jan 2, 2020



NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, OR AGENCY, OF ANY DISCREPANCIES OR INTENTION TO CARRY OUT ITS OPERATIONS.

1	11.11.17	REVISED FOR PERMITS
2	11.11.17	REVISED FOR PERMITS
3	11.11.17	REVISED FOR PERMITS
4	11.11.17	REVISED FOR PERMITS
5	11.11.17	REVISED FOR PERMITS
6	11.11.17	REVISED FOR PERMITS
7	11.11.17	REVISED FOR PERMITS
8	11.11.17	REVISED FOR PERMITS
9	11.11.17	REVISED FOR PERMITS
10	11.11.17	REVISED FOR PERMITS
11	11.11.17	REVISED FOR PERMITS
12	11.11.17	REVISED FOR PERMITS
13	11.11.17	REVISED FOR PERMITS
14	11.11.17	REVISED FOR PERMITS
15	11.11.17	REVISED FOR PERMITS
16	11.11.17	REVISED FOR PERMITS
17	11.11.17	REVISED FOR PERMITS
18	11.11.17	REVISED FOR PERMITS
19	11.11.17	REVISED FOR PERMITS
20	11.11.17	REVISED FOR PERMITS
21	11.11.17	REVISED FOR PERMITS
22	11.11.17	REVISED FOR PERMITS
23	11.11.17	REVISED FOR PERMITS
24	11.11.17	REVISED FOR PERMITS
25	11.11.17	REVISED FOR PERMITS
26	11.11.17	REVISED FOR PERMITS
27	11.11.17	REVISED FOR PERMITS
28	11.11.17	REVISED FOR PERMITS
29	11.11.17	REVISED FOR PERMITS
30	11.11.17	REVISED FOR PERMITS
31	11.11.17	REVISED FOR PERMITS
32	11.11.17	REVISED FOR PERMITS
33	11.11.17	REVISED FOR PERMITS
34	11.11.17	REVISED FOR PERMITS
35	11.11.17	REVISED FOR PERMITS
36	11.11.17	REVISED FOR PERMITS
37	11.11.17	REVISED FOR PERMITS
38	11.11.17	REVISED FOR PERMITS
39	11.11.17	REVISED FOR PERMITS
40	11.11.17	REVISED FOR PERMITS
41	11.11.17	REVISED FOR PERMITS
42	11.11.17	REVISED FOR PERMITS
43	11.11.17	REVISED FOR PERMITS
44	11.11.17	REVISED FOR PERMITS
45	11.11.17	REVISED FOR PERMITS
46	11.11.17	REVISED FOR PERMITS
47	11.11.17	REVISED FOR PERMITS
48	11.11.17	REVISED FOR PERMITS
49	11.11.17	REVISED FOR PERMITS
50	11.11.17	REVISED FOR PERMITS

connect
 LANDSCAPE ARCHITECTURE

Yamamoto Architecture Inc.

203 - 33 East 8th Ave, Vancouver, BC
 V5T 1R5 Tel: 604-771-1127 Fax: 604-771-1327

RIVA 2.0
 7781 ALDERBROOKE WAY
 RICHMOND, BRITISH COLUMBIA

onni

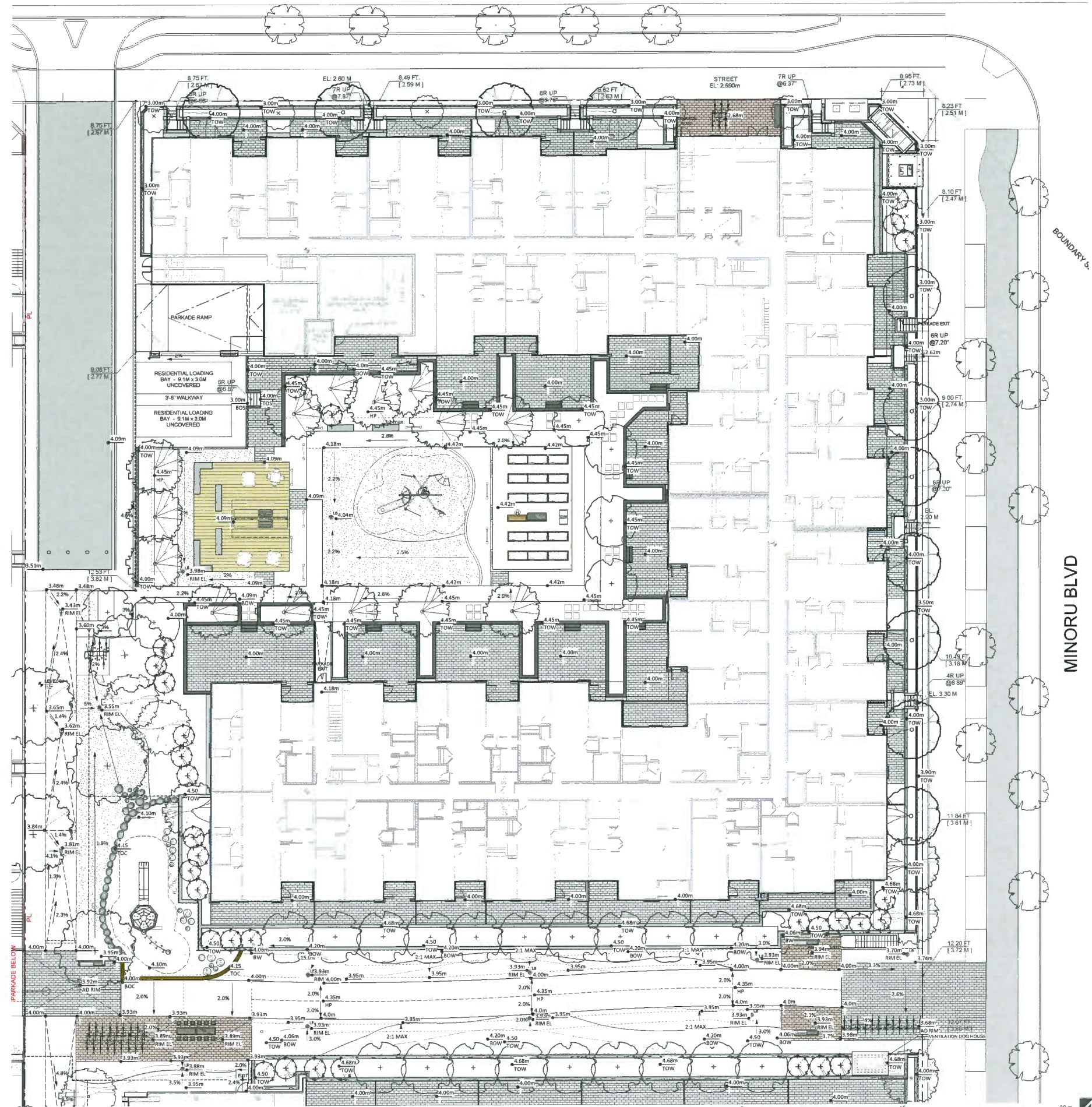
DATE	11/17/17	SCALE	1:1
DRAWN	HTV		
CHECKED	DB		
ISSUED	HTV		
DATE	11/17/17		
BY	HTV		
DATE	11/17/17		
BY	HTV		
DATE	11/17/17		
BY	HTV		

**GRADING PLAN
 BUILDING 5**

L2.1

DP 18-841057 Plan 35 a
 Jan 2, 2020

NEW RIVER PARKWAY



NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE UTILITY DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

10	10/10/18	REVISED FOR DE SIGNMENT REPORT
11	11/15/18	REVISED FOR DE SIGNMENT REPORT
12	11/15/18	REVISED FOR DE SIGNMENT REPORT
13	11/15/18	REVISED FOR DE SIGNMENT REPORT
14	11/15/18	REVISED FOR DE SIGNMENT REPORT
15	11/15/18	REVISED FOR DE SIGNMENT REPORT
16	11/15/18	REVISED FOR DE SIGNMENT REPORT
17	11/15/18	REVISED FOR DE SIGNMENT REPORT
18	11/15/18	REVISED FOR DE SIGNMENT REPORT
19	11/15/18	REVISED FOR DE SIGNMENT REPORT
20	11/15/18	REVISED FOR DE SIGNMENT REPORT
21	11/15/18	REVISED FOR DE SIGNMENT REPORT
22	11/15/18	REVISED FOR DE SIGNMENT REPORT
23	11/15/18	REVISED FOR DE SIGNMENT REPORT
24	11/15/18	REVISED FOR DE SIGNMENT REPORT
25	11/15/18	REVISED FOR DE SIGNMENT REPORT
26	11/15/18	REVISED FOR DE SIGNMENT REPORT
27	11/15/18	REVISED FOR DE SIGNMENT REPORT
28	11/15/18	REVISED FOR DE SIGNMENT REPORT
29	11/15/18	REVISED FOR DE SIGNMENT REPORT
30	11/15/18	REVISED FOR DE SIGNMENT REPORT

connect
 LANDSCAPE ARCHITECTURE

Yamamoto
 Architecture Inc.

302-33 East 8th Ave., Vancouver, BC
 V6T 1K5 Tel: 604.731.1127 Fax: 604.731-1327

RIVA 2.0
 7701 FIVE ALDERBROOK WAY
 RICHMOND, BRITISH COLUMBIA

onni

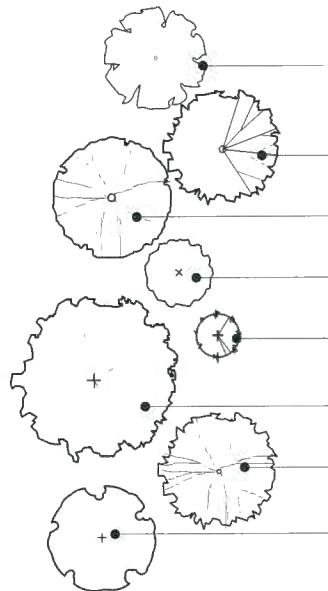
DATE	10/18/18	SCALE
DESIGNED BY		
CHECKED BY		
DATE	10/18/18	SCALE
DESIGNED BY		
CHECKED BY		
DATE		
DESIGNED BY		
CHECKED BY		

GRADING PLAN
 BUILDING 6

L2.0

DP 18-841057 Plan 35 b
 Jan 2, 2020

BUILDING 5+6 PLANT LIST



TOTAL TREES QTY.	BLDG 5 TREES QTY.	BLDG 6 TREES QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE HEIGHT
36	20	16	Offsite Trees	REFER TO OFFSITE DRAWINGS			
23	9	14	Acer palmatum 'Osakazuki'	Osakazuki Japanese Maple	5cm cal., B&B	as shown	8 to 9m
18	7	11	Stewartia pseudocamellia	Japanese Stewartia	7cm cal., B&B	as shown	9 to 10m
15	9	6	Hamamelis x Intermedia	Yellow Flowering Witchhazel	2.5m ht., B&B	as shown	5 to 6m
31	15	16	Picea oronika	Serbian Spruce	3m ht., B&B	as shown	15 to 18m
7	3	4	Quercus palustris	Pin Oak	7cm cal., B&B	as shown	20 to 25m
10	6	4	Quercus robur 'Fastigiata'	Upright English Oak	7cm cal., B&B	as shown	18 to 20m
44	38	6	Styrax japonicus	Japanese Snowbell	5cm cal., B&B	as shown	8 to 9m

TOTAL QTY.	BLDG 5 QTY.	BLDG 6 SHRUBS QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE HEIGHT
99	99	0	Buxus microphylla 'Winter Beauty'	Korean Boxwood	#3 pot	18" o.c	0.9m ht
67	42	25	Ceanothus Victoria	Victoria California Lilac	#5 pot	36" o.c	2m ht
265	193	72	Choisya x dewitteana 'Aztec Pearl'	Aztec Pearl Mock Orange	#5 pot	30" o.c	2m ht
84	71	13	Hydrangea quercifolia	Oakleaf Hydrangea	#5 pot	36" o.c	1.5m ht
58	24	34	Leucothoe fontanesiana	Rainbow Leucothoe	#2 pot	24" o.c	1.5m ht
457	238	219	Ligustrum japonicum	Japanese privit - 1m high	#5 pot	24" o.c	3m ht
84	10	74	Ilex crenata 'Hoogendorn'	Dwarf Japanese Holly	#3 pot	24" o.c	1.2m ht
85	36	49	Rhododendron 'Snow Lady'	White Rhododendron	#5 pot	36" o.c	0.8m ht
146	124	22	Rhododendron 'Daphnoides'	Purple Rhododendron	#5 pot	36" o.c	1.2m ht
271	149	122	Rhododendron 'Dreamland'	Pink Rhododendron	#5 pot	24" o.c	1.2m ht
50	6	44	Ribes alpinum	Alpine Currant	#5 pot	36" o.c	1.5m ht
441	170	271	Sarcococca hookerana 'Humilis'	Himalayan Sweet Box	#2 pot	24" o.c	0.6m ht
175	83	92	Skimmia japonica 'Reevesiana'	Japanese Skimmia	#2 pot	24" o.c	0.9m ht
169	132	37	Spiraea bumulda 'Goldflame'	Goldflame Spiraea	#2 pot	24" o.c	0.9m ht
680	416	264	Taxus x media 'Hicksii'	Hick's Yew - 1.2m high	#5 pot	24" o.c	6m -8m ht

TOTAL QTY.	BLDG 5 QTY.	BLDG 6 FERNS, GROUND COVERS, AND VINES QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE HEIGHT
91	91	0	Blechnum spicant	Deer Fern	#1 pot	18" o.c	0.4m ht
1147	631	516	Epimedium x youngianum 'Roseum'	Bishop's Hat	4"(10cm) pot	15" o.c	0.4m ht
1058	719	338	Fragaria chiloensis	Beach Strawberry	4"(10cm) pot	15" o.c	0.2m ht
774	330	444	Oxalis crassipes	Pink Wood Sorrel	4" (10cm) pot	15" o.c	0.2m ht
11	8	3	Parthenocissus quinquefolia	Virginia Creeper	#1 pot	18" o.c	6m -8m ht
470	336	134	Polystichum munitum	Western Sword Fern	#2 pot	24" o.c	0.6m ht
333	299	34	Waldsteinia temata	Waldsteinia	4"(10cm) pot	18" o.c	0.2m ht

TOTAL QTY.	BLDG 5 QTY.	BLDG 6 GRASSES, PERENNIALS, BULBS, AND ANNUALS QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE HEIGHT
114	114	0	Achillea millefolium	Yarrow	4"(10cm) pot	18" o.c	0.6m ht
12	0	12	Astilbe x rosea 'Peach Blossom'	Pale Salmon-pink Astilbe	#1 pot	18" o.c	0.6m ht
451	178	273	Echinacea purpurea	Purple Cone Flower	4" (10cm) pot	24" o.c	0.6m ht
44	0	44	Hosta 'Sieboldiana'	Hosta	#1 pot	24" o.c	0.5m ht
14	0	14	Hosta 'Fortunei Aureomarginata'	Hosta	#1 pot	24" o.c	0.5m ht
178	178	0	Miscanthus sinensis 'Andante'	Silver Spider Grass	#3 pot	42" o.c	1.5m ht
50	25	25	Rudbeckia hirta	Black-eyed Susan	#1 pot	24" o.c	0.6m ht
406	203	203	Stipa tenuissima	Mexican Feather Grass	#1 pot	24" o.c	0.4m ht

BLDG 5 SEDUM GREEN ROOF
11 m2 Sun Mix Sedum tile Etera

- NOTES:**
- 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
 - 2) All planting shall be in accordance with Canadian Landscape Standard, latest edition.
 - 3) All planting beds to be mulched with 2" (50mm) of Answer Garden Products 'Humus builder' or approved equal.
 - 4) The species and spacing street trees will be confirmed by the City Parks and Recreation Department as a condition of Servicing Agreement at the time of issuance the first building permit.

LANDSCAPE AND PLANTING THEME



LANDSCAPE AND PLANTING THEME



LOW PLANTINGS BETWEEN PATIOS



URBAN AGRICULTURE IN COURTYARDS



PLANTINGS TO PROVIDE PRIVACY AND BUFFERING FOR PRIVATE PATIOS

NOTES:
CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND PLANTING OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND DEPTHS OF ALL UTILITIES AND/OR CONCEALED STRUCTURES. HE/SHE IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO LAUNCH ITS OPERATIONS.

1	10/1/21	REVISED FOR BLDG 5 PERMITS
2	10/1/21	REVISED FOR BLDG 6 PERMITS
3	10/1/21	REVISED FOR BLDG 5 PERMITS
4	10/1/21	REVISED FOR BLDG 6 PERMITS
5	10/1/21	REVISED FOR BLDG 5 PERMITS
6	10/1/21	REVISED FOR BLDG 6 PERMITS
7	10/1/21	REVISED FOR BLDG 5 PERMITS
8	10/1/21	REVISED FOR BLDG 6 PERMITS
9	10/1/21	REVISED FOR BLDG 5 PERMITS
10	10/1/21	REVISED FOR BLDG 6 PERMITS
11	10/1/21	REVISED FOR BLDG 5 PERMITS
12	10/1/21	REVISED FOR BLDG 6 PERMITS
13	10/1/21	REVISED FOR BLDG 5 PERMITS
14	10/1/21	REVISED FOR BLDG 6 PERMITS
15	10/1/21	REVISED FOR BLDG 5 PERMITS
16	10/1/21	REVISED FOR BLDG 6 PERMITS
17	10/1/21	REVISED FOR BLDG 5 PERMITS
18	10/1/21	REVISED FOR BLDG 6 PERMITS
19	10/1/21	REVISED FOR BLDG 5 PERMITS
20	10/1/21	REVISED FOR BLDG 6 PERMITS
21	10/1/21	REVISED FOR BLDG 5 PERMITS
22	10/1/21	REVISED FOR BLDG 6 PERMITS
23	10/1/21	REVISED FOR BLDG 5 PERMITS
24	10/1/21	REVISED FOR BLDG 6 PERMITS
25	10/1/21	REVISED FOR BLDG 5 PERMITS
26	10/1/21	REVISED FOR BLDG 6 PERMITS
27	10/1/21	REVISED FOR BLDG 5 PERMITS
28	10/1/21	REVISED FOR BLDG 6 PERMITS
29	10/1/21	REVISED FOR BLDG 5 PERMITS
30	10/1/21	REVISED FOR BLDG 6 PERMITS
31	10/1/21	REVISED FOR BLDG 5 PERMITS
32	10/1/21	REVISED FOR BLDG 6 PERMITS
33	10/1/21	REVISED FOR BLDG 5 PERMITS
34	10/1/21	REVISED FOR BLDG 6 PERMITS
35	10/1/21	REVISED FOR BLDG 5 PERMITS
36	10/1/21	REVISED FOR BLDG 6 PERMITS
37	10/1/21	REVISED FOR BLDG 5 PERMITS
38	10/1/21	REVISED FOR BLDG 6 PERMITS
39	10/1/21	REVISED FOR BLDG 5 PERMITS
40	10/1/21	REVISED FOR BLDG 6 PERMITS
41	10/1/21	REVISED FOR BLDG 5 PERMITS
42	10/1/21	REVISED FOR BLDG 6 PERMITS
43	10/1/21	REVISED FOR BLDG 5 PERMITS
44	10/1/21	REVISED FOR BLDG 6 PERMITS
45	10/1/21	REVISED FOR BLDG 5 PERMITS
46	10/1/21	REVISED FOR BLDG 6 PERMITS
47	10/1/21	REVISED FOR BLDG 5 PERMITS
48	10/1/21	REVISED FOR BLDG 6 PERMITS
49	10/1/21	REVISED FOR BLDG 5 PERMITS
50	10/1/21	REVISED FOR BLDG 6 PERMITS
51	10/1/21	REVISED FOR BLDG 5 PERMITS
52	10/1/21	REVISED FOR BLDG 6 PERMITS
53	10/1/21	REVISED FOR BLDG 5 PERMITS
54	10/1/21	REVISED FOR BLDG 6 PERMITS
55	10/1/21	REVISED FOR BLDG 5 PERMITS
56	10/1/21	REVISED FOR BLDG 6 PERMITS
57	10/1/21	REVISED FOR BLDG 5 PERMITS
58	10/1/21	REVISED FOR BLDG 6 PERMITS
59	10/1/21	REVISED FOR BLDG 5 PERMITS
60	10/1/21	REVISED FOR BLDG 6 PERMITS
61	10/1/21	REVISED FOR BLDG 5 PERMITS
62	10/1/21	REVISED FOR BLDG 6 PERMITS
63	10/1/21	REVISED FOR BLDG 5 PERMITS
64	10/1/21	REVISED FOR BLDG 6 PERMITS
65	10/1/21	REVISED FOR BLDG 5 PERMITS
66	10/1/21	REVISED FOR BLDG 6 PERMITS
67	10/1/21	REVISED FOR BLDG 5 PERMITS
68	10/1/21	REVISED FOR BLDG 6 PERMITS
69	10/1/21	REVISED FOR BLDG 5 PERMITS
70	10/1/21	REVISED FOR BLDG 6 PERMITS
71	10/1/21	REVISED FOR BLDG 5 PERMITS
72	10/1/21	REVISED FOR BLDG 6 PERMITS
73	10/1/21	REVISED FOR BLDG 5 PERMITS
74	10/1/21	REVISED FOR BLDG 6 PERMITS
75	10/1/21	REVISED FOR BLDG 5 PERMITS
76	10/1/21	REVISED FOR BLDG 6 PERMITS
77	10/1/21	REVISED FOR BLDG 5 PERMITS
78	10/1/21	REVISED FOR BLDG 6 PERMITS
79	10/1/21	REVISED FOR BLDG 5 PERMITS
80	10/1/21	REVISED FOR BLDG 6 PERMITS
81	10/1/21	REVISED FOR BLDG 5 PERMITS
82	10/1/21	REVISED FOR BLDG 6 PERMITS
83	10/1/21	REVISED FOR BLDG 5 PERMITS
84	10/1/21	REVISED FOR BLDG 6 PERMITS
85	10/1/21	REVISED FOR BLDG 5 PERMITS
86	10/1/21	REVISED FOR BLDG 6 PERMITS
87	10/1/21	REVISED FOR BLDG 5 PERMITS
88	10/1/21	REVISED FOR BLDG 6 PERMITS
89	10/1/21	REVISED FOR BLDG 5 PERMITS
90	10/1/21	REVISED FOR BLDG 6 PERMITS
91	10/1/21	REVISED FOR BLDG 5 PERMITS
92	10/1/21	REVISED FOR BLDG 6 PERMITS
93	10/1/21	REVISED FOR BLDG 5 PERMITS
94	10/1/21	REVISED FOR BLDG 6 PERMITS
95	10/1/21	REVISED FOR BLDG 5 PERMITS
96	10/1/21	REVISED FOR BLDG 6 PERMITS
97	10/1/21	REVISED FOR BLDG 5 PERMITS
98	10/1/21	REVISED FOR BLDG 6 PERMITS
99	10/1/21	REVISED FOR BLDG 5 PERMITS
100	10/1/21	REVISED FOR BLDG 6 PERMITS

connect
LANDSCAPE ARCHITECTURE

Yamamoto
Architecture Inc.

203 - 33 East 8th Ave, Vancouver, BC
V6T 1E5 Tel: 604-731-1127 Fax: 604-731-1327

RIVA 2.0
7781 7781 ALDENBRIDGE WAY
RICHMOND, BRITISH COLUMBIA

anni

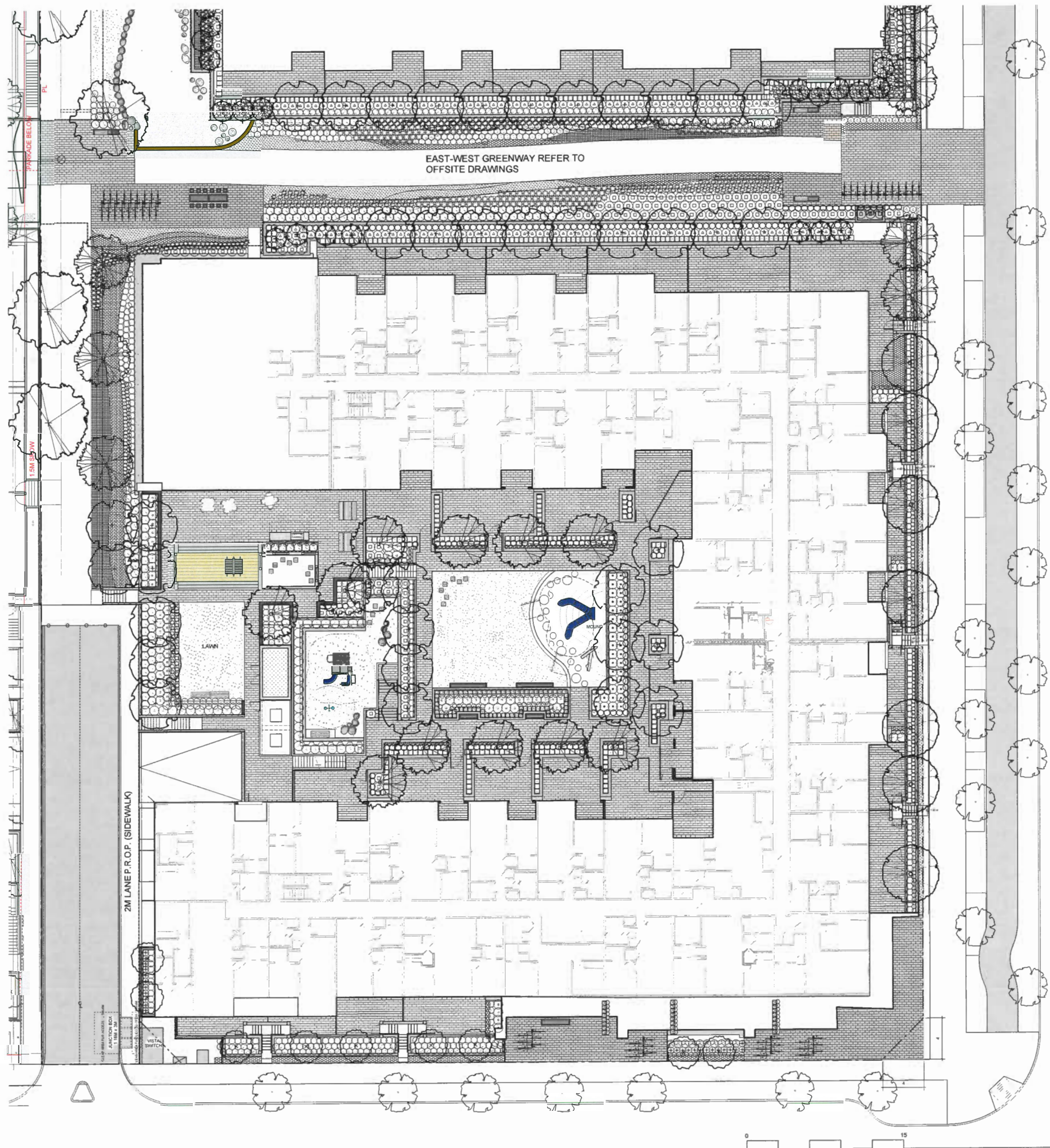
DATE: 10/1/21
BY: JAVIER
CHECKED: JAVIER
SCALE:
JOB NO: 18-841057

PLANT SCHEDULE

L3.0

DP 18-841057
Plan 36
Jan 2, 2020

NOTE:
 1. REFER TO PLANT LIST ON L3.0
 2. ALL PLANTED AREAS TO BE IRRIGATED BY HIGH EFFICIENCY IRRIGATION SYSTEM.



NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION AND ELEVATION OF UTILITIES AND/OR CONCRETE STRUCTURES AT THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND/OR CONCRETE STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY BEHAVIOR OR PERSONS OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

20	15.12.11	PLANTING PLAN (LEVEL 1+2)
21	15.12.11	PLANTING PLAN (LEVEL 1+2)
22	15.12.11	PLANTING PLAN (LEVEL 1+2)
23	15.12.11	PLANTING PLAN (LEVEL 1+2)
24	15.12.11	PLANTING PLAN (LEVEL 1+2)
25	15.12.11	PLANTING PLAN (LEVEL 1+2)
26	15.12.11	PLANTING PLAN (LEVEL 1+2)
27	15.12.11	PLANTING PLAN (LEVEL 1+2)
28	15.12.11	PLANTING PLAN (LEVEL 1+2)
29	15.12.11	PLANTING PLAN (LEVEL 1+2)
30	15.12.11	PLANTING PLAN (LEVEL 1+2)
31	15.12.11	PLANTING PLAN (LEVEL 1+2)
32	15.12.11	PLANTING PLAN (LEVEL 1+2)
33	15.12.11	PLANTING PLAN (LEVEL 1+2)
34	15.12.11	PLANTING PLAN (LEVEL 1+2)
35	15.12.11	PLANTING PLAN (LEVEL 1+2)
36	15.12.11	PLANTING PLAN (LEVEL 1+2)
37	15.12.11	PLANTING PLAN (LEVEL 1+2)
38	15.12.11	PLANTING PLAN (LEVEL 1+2)
39	15.12.11	PLANTING PLAN (LEVEL 1+2)
40	15.12.11	PLANTING PLAN (LEVEL 1+2)
41	15.12.11	PLANTING PLAN (LEVEL 1+2)
42	15.12.11	PLANTING PLAN (LEVEL 1+2)
43	15.12.11	PLANTING PLAN (LEVEL 1+2)
44	15.12.11	PLANTING PLAN (LEVEL 1+2)
45	15.12.11	PLANTING PLAN (LEVEL 1+2)
46	15.12.11	PLANTING PLAN (LEVEL 1+2)
47	15.12.11	PLANTING PLAN (LEVEL 1+2)
48	15.12.11	PLANTING PLAN (LEVEL 1+2)
49	15.12.11	PLANTING PLAN (LEVEL 1+2)
50	15.12.11	PLANTING PLAN (LEVEL 1+2)

connect
 LANDSCAPE ARCHITECTURE INC.

Yamamoto
 Architecture Inc.

305 - 33 East 8th Ave, Vancouver, BC
 V6T 1S7 Tel: 604-251-4127 Fax: 604-251-1327

RIVA 2.0
 THE STEE ALDERBOROUGH WAY
 RICHMOND, BRITISH COLUMBIA



DESIGN	2018	SCALE
DATE	2018	SCALE
DATE	2018	SCALE
DATE	2018	SCALE

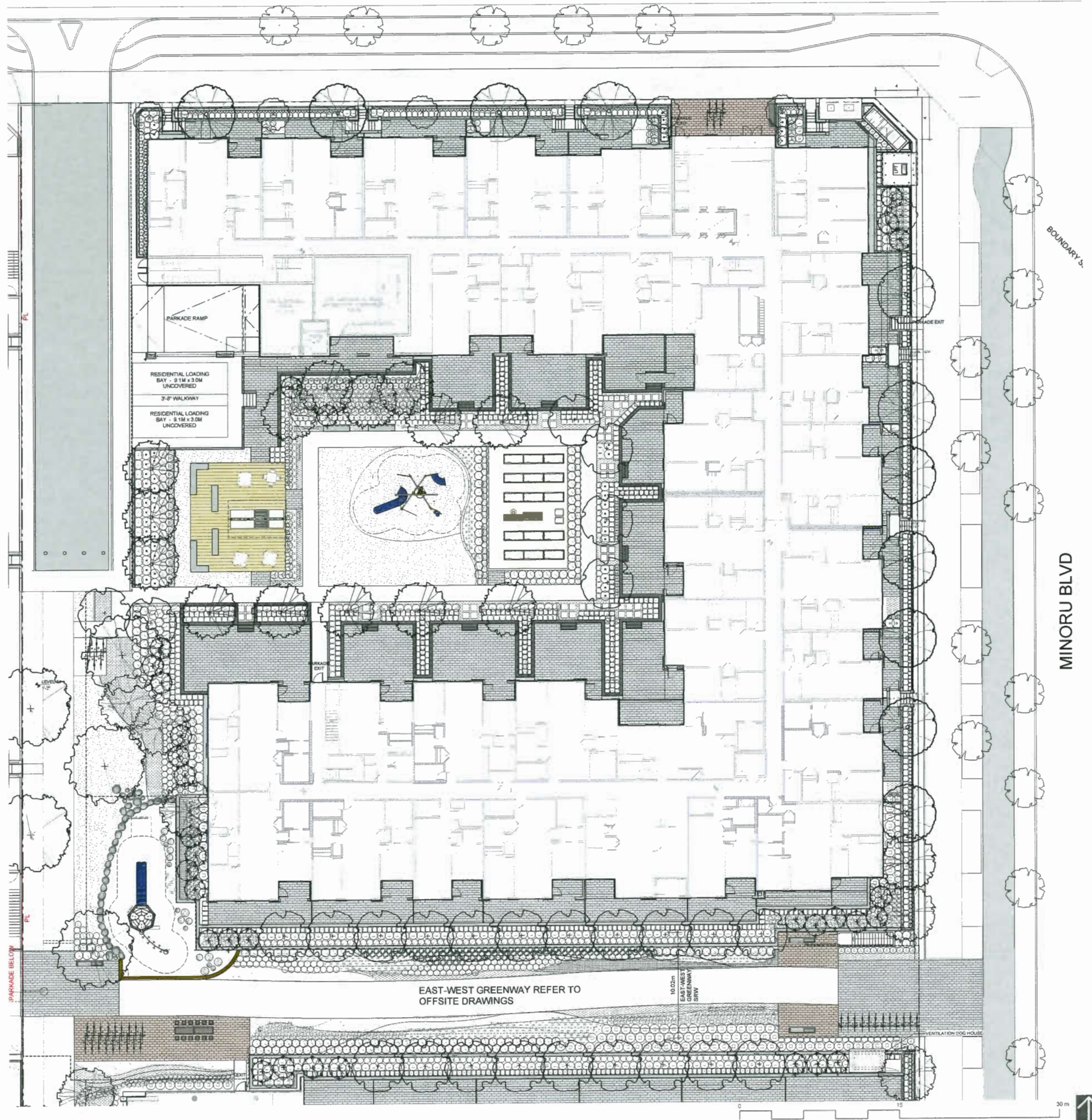
PLANTING PLAN
 BUILDING 5 LEVEL 1+2

L3.2

DP 18-841057
 Plan 37 a
 Jan 2, 2020

NOTE:
 1. REFER TO PLANT LIST ON L3.0
 2. ALL PLANTED AREAS TO BE IRRIGATED BY HIGH EFFICIENCY IRRIGATION SYSTEM.

NEW RIVER PARKWAY



NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES. THIS IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE CROWTHER DEPARTMENT OR PERSONNEL OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

28	13-11-14	REVISION	REVISION
27	13-11-14	REVISION	REVISION
26	13-11-14	REVISION	REVISION
25	13-11-14	REVISION	REVISION
24	13-11-14	REVISION	REVISION
23	13-11-14	REVISION	REVISION
22	13-11-14	REVISION	REVISION
21	13-11-14	REVISION	REVISION
20	13-11-14	REVISION	REVISION
19	13-11-14	REVISION	REVISION
18	13-11-14	REVISION	REVISION
17	13-11-14	REVISION	REVISION
16	13-11-14	REVISION	REVISION
15	13-11-14	REVISION	REVISION
14	13-11-14	REVISION	REVISION
13	13-11-14	REVISION	REVISION
12	13-11-14	REVISION	REVISION
11	13-11-14	REVISION	REVISION
10	13-11-14	REVISION	REVISION
9	13-11-14	REVISION	REVISION
8	13-11-14	REVISION	REVISION
7	13-11-14	REVISION	REVISION
6	13-11-14	REVISION	REVISION
5	13-11-14	REVISION	REVISION
4	13-11-14	REVISION	REVISION
3	13-11-14	REVISION	REVISION
2	13-11-14	REVISION	REVISION
1	13-11-14	REVISION	REVISION

connect
 LANDSCAPE ARCHITECTURE

Yamamoto
 Architecture Inc.
 353-33 East 8th Ave., Vancouver, BC
 V5T 1S5 Tel: 604-731-1127 Fax: 604-731-1327



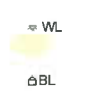



RIVA 2.0
 THE 2019 ALPHABETIC WAY
 RICHMOND, BRITISH COLUMBIA

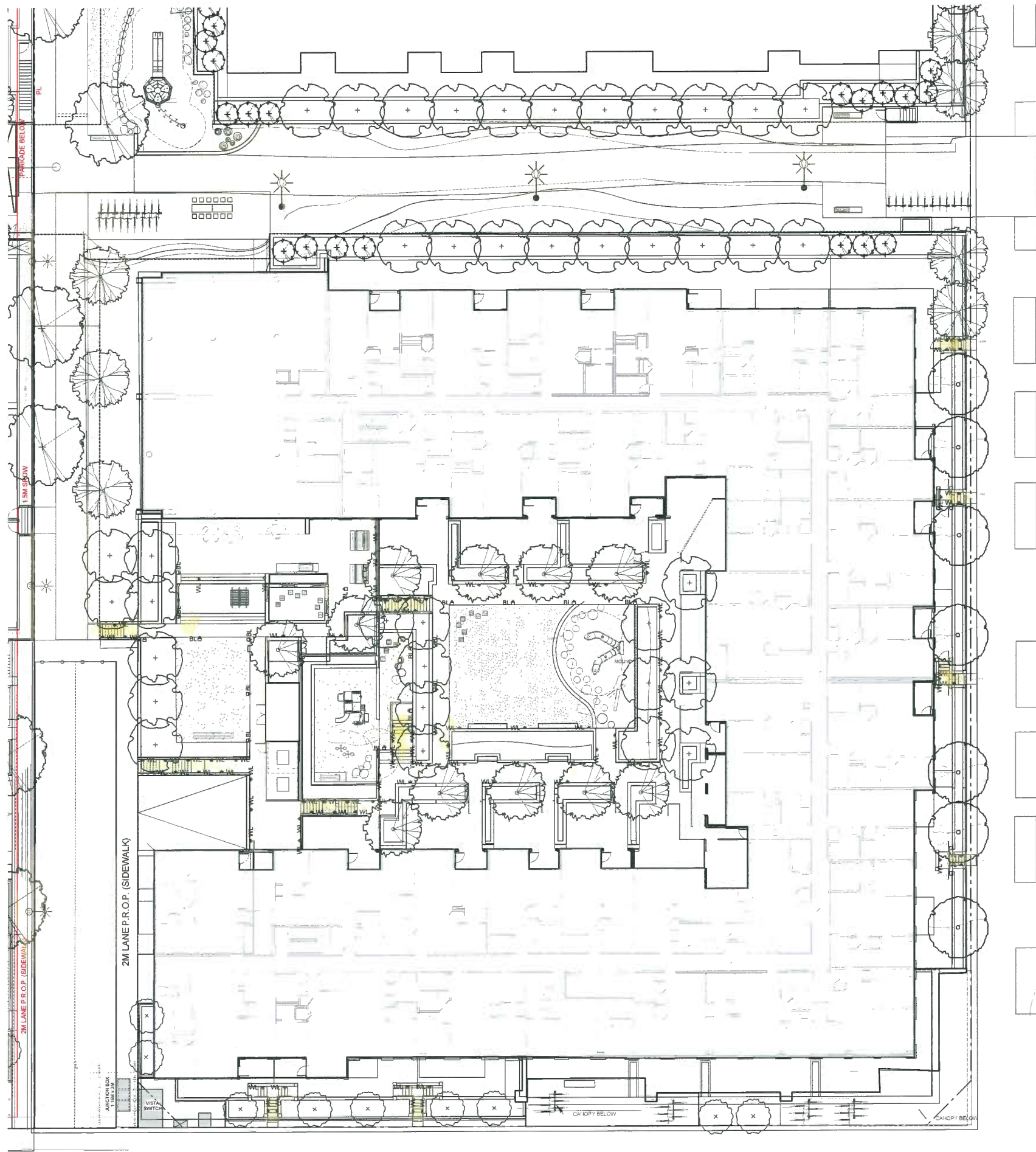
DATE	01	04
DRAWN BY	114	04
CHECKED BY	307	11
DATE	08-05	

PLANTING PLAN
 BUILDING 6

L3.1

DP 18-841057 Plan 37 b
 Jan 2, 2020

LIGHTING LEGEND		
SYMBOL	IMAGE	MATERIAL
		PEDESTRIAN POLE LIGHT (GREENWAY) SCHREDER HESTIA LIGHT ON ROUND TAPERED POLE PER CITY OF RICHMOND STANDARD SPECIFICATION
		EXISTING PEDESTRIAN POLE LIGHT (GREENWAY)
		STAIR OR PATH LIGHT - WALL MOUNTED - 5-1/2" ROUND SLS150-LED-120/277-BLACK FROM LUMUX LIGHTING INC. NOTE: SAME LIGHTS MOUNTED ON CONCRETE BOLLARD
		TRELLIS LIGHT PROVIDER: TEGAN



NOTES:
CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT
GUARANTEE THE EXISTENCE, LOCATION AND ELEVATION
OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE
PROJECT SITE.
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING
THE EXISTENCE, LOCATION AND ELEVATION OF ALL
UTILITIES AND/OR CONCEALED STRUCTURES, AND IS
RESPONSIBLE FOR NOTIFYING THE APPROPRIATE
COMPANY DEPARTMENT OR PERSON(S) OF ITS
INTENTION TO CARRY OUT ITS OPERATIONS.

22	13/12/11	REVISED FOR DE. B. JAMES BROWN
21	13/12/11	REVISED FOR DE. B. JAMES BROWN
20	13/12/11	REVISED FOR DE. B. JAMES BROWN
19	13/12/11	REVISED FOR DE. B. JAMES BROWN
18	13/12/11	REVISED FOR DE. B. JAMES BROWN
17	13/12/11	REVISED FOR DE. B. JAMES BROWN
16	13/12/11	REVISED FOR DE. B. JAMES BROWN
15	13/12/11	REVISED FOR DE. B. JAMES BROWN
14	13/12/11	REVISED FOR DE. B. JAMES BROWN
13	13/12/11	REVISED FOR DE. B. JAMES BROWN
12	13/12/11	REVISED FOR DE. B. JAMES BROWN
11	13/12/11	REVISED FOR DE. B. JAMES BROWN
10	13/12/11	REVISED FOR DE. B. JAMES BROWN
9	13/12/11	REVISED FOR DE. B. JAMES BROWN
8	13/12/11	REVISED FOR DE. B. JAMES BROWN
7	13/12/11	REVISED FOR DE. B. JAMES BROWN
6	13/12/11	REVISED FOR DE. B. JAMES BROWN
5	13/12/11	REVISED FOR DE. B. JAMES BROWN
4	13/12/11	REVISED FOR DE. B. JAMES BROWN
3	13/12/11	REVISED FOR DE. B. JAMES BROWN
2	13/12/11	REVISED FOR DE. B. JAMES BROWN
1	13/12/11	REVISED FOR DE. B. JAMES BROWN
100	13/12/11	REVISED FOR DE. B. JAMES BROWN

connect
LANDSCAPE ARCHITECTURE

Yamamoto
Architecture Inc.

205 - 23 East 80 Ave., Vancouver, BC
V6T 1K5 TEL: 604-271-1127 FAX: 604-271-1327

RIVA 2.0
7701, 77th ALDERMERE WAY
RICHMOND, BRITISH COLUMBIA

onni

FOR MORE INFORMATION, VISIT OUR WEBSITE OR CONTACT US AT THE
ADDRESS OR PHONE NUMBER LISTED ABOVE. THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS THE RESPONSIBILITY OF THE ARCHITECT AND NOT THE LANDSCAPE ARCHITECT.






DATE	1/11/20	BY	DL
CHECKED	DL	DATE	01/11/20
SCALE	AS SHOWN	DATE	01/11/20
JOB NO.	18-841057	DATE	01/11/20
PROJECT	RIVA 2.0		

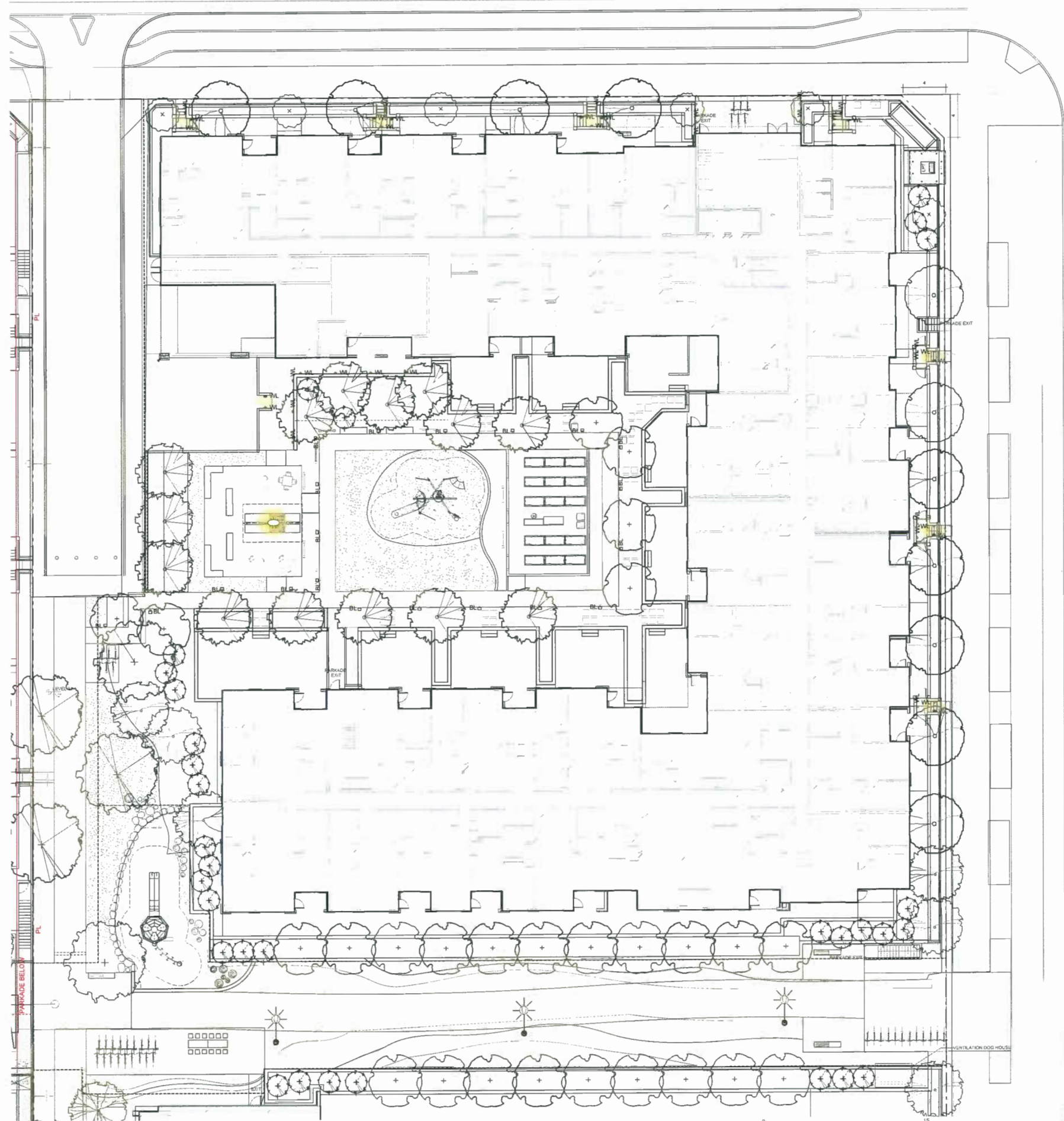


LIGHTING CONCEPT
BUILDING 5

L4.1

DP 18-841057 Plan 38 a
Jan 2, 2020

LIGHTING LEGEND		
SYMBOL	IMAGE	MATERIAL
		PEDESTRIAN POLE LIGHT (GREENWAY) SCHREDER HESTIA LIGHT ON ROUND TAPERED POLE PER CITY OF RICHMOND STANDARD SPECIFICATION
		EXISTING PEDESTRIAN POLE LIGHT (GREENWAY)
		STAIR OR PATH LIGHT - WALL MOUNTED - 5-1/2" ROUND SLS150-LED-120/277-BLACK FROM LUMIX LIGHTING INC. NOTE: SAME LIGHTS MOUNTED ON CONCRETE BOLLARD
		TRELLIS LIGHT PROVIDER: TEGAN



NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT
 GUARANTEE THE EXISTENCE, LOCATION AND ELEVATION OF
 UTILITIES AND/OR CONCEALED STRUCTURES AT THE
 PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING
 THE EXISTENCE, LOCATION AND ELEVATION OF ALL
 UTILITIES AND/OR CONCEALED STRUCTURES, AND IS
 RESPONSIBLE FOR NOTIFYING THE APPROPRIATE
 COMPANY, GOVERNMENT OR PERSONS OF ITS
 INTENTION TO CARRY OUT ITS OPERATIONS.

20	12/15/19	PEDESTRIAN POLE LIGHT
21	12/15/19	PEDESTRIAN POLE LIGHT
22	12/15/19	PEDESTRIAN POLE LIGHT
23	12/15/19	PEDESTRIAN POLE LIGHT
24	12/15/19	PEDESTRIAN POLE LIGHT
25	12/15/19	PEDESTRIAN POLE LIGHT
26	12/15/19	PEDESTRIAN POLE LIGHT
27	12/15/19	PEDESTRIAN POLE LIGHT
28	12/15/19	PEDESTRIAN POLE LIGHT
29	12/15/19	PEDESTRIAN POLE LIGHT
30	12/15/19	PEDESTRIAN POLE LIGHT
31	12/15/19	PEDESTRIAN POLE LIGHT
32	12/15/19	PEDESTRIAN POLE LIGHT
33	12/15/19	PEDESTRIAN POLE LIGHT
34	12/15/19	PEDESTRIAN POLE LIGHT
35	12/15/19	PEDESTRIAN POLE LIGHT
36	12/15/19	PEDESTRIAN POLE LIGHT
37	12/15/19	PEDESTRIAN POLE LIGHT
38	12/15/19	PEDESTRIAN POLE LIGHT
39	12/15/19	PEDESTRIAN POLE LIGHT
40	12/15/19	PEDESTRIAN POLE LIGHT
41	12/15/19	PEDESTRIAN POLE LIGHT
42	12/15/19	PEDESTRIAN POLE LIGHT
43	12/15/19	PEDESTRIAN POLE LIGHT
44	12/15/19	PEDESTRIAN POLE LIGHT
45	12/15/19	PEDESTRIAN POLE LIGHT
46	12/15/19	PEDESTRIAN POLE LIGHT
47	12/15/19	PEDESTRIAN POLE LIGHT
48	12/15/19	PEDESTRIAN POLE LIGHT
49	12/15/19	PEDESTRIAN POLE LIGHT
50	12/15/19	PEDESTRIAN POLE LIGHT
51	12/15/19	PEDESTRIAN POLE LIGHT
52	12/15/19	PEDESTRIAN POLE LIGHT
53	12/15/19	PEDESTRIAN POLE LIGHT
54	12/15/19	PEDESTRIAN POLE LIGHT
55	12/15/19	PEDESTRIAN POLE LIGHT
56	12/15/19	PEDESTRIAN POLE LIGHT
57	12/15/19	PEDESTRIAN POLE LIGHT
58	12/15/19	PEDESTRIAN POLE LIGHT
59	12/15/19	PEDESTRIAN POLE LIGHT
60	12/15/19	PEDESTRIAN POLE LIGHT
61	12/15/19	PEDESTRIAN POLE LIGHT
62	12/15/19	PEDESTRIAN POLE LIGHT
63	12/15/19	PEDESTRIAN POLE LIGHT
64	12/15/19	PEDESTRIAN POLE LIGHT
65	12/15/19	PEDESTRIAN POLE LIGHT
66	12/15/19	PEDESTRIAN POLE LIGHT
67	12/15/19	PEDESTRIAN POLE LIGHT
68	12/15/19	PEDESTRIAN POLE LIGHT
69	12/15/19	PEDESTRIAN POLE LIGHT
70	12/15/19	PEDESTRIAN POLE LIGHT
71	12/15/19	PEDESTRIAN POLE LIGHT
72	12/15/19	PEDESTRIAN POLE LIGHT
73	12/15/19	PEDESTRIAN POLE LIGHT
74	12/15/19	PEDESTRIAN POLE LIGHT
75	12/15/19	PEDESTRIAN POLE LIGHT
76	12/15/19	PEDESTRIAN POLE LIGHT
77	12/15/19	PEDESTRIAN POLE LIGHT
78	12/15/19	PEDESTRIAN POLE LIGHT
79	12/15/19	PEDESTRIAN POLE LIGHT
80	12/15/19	PEDESTRIAN POLE LIGHT
81	12/15/19	PEDESTRIAN POLE LIGHT
82	12/15/19	PEDESTRIAN POLE LIGHT
83	12/15/19	PEDESTRIAN POLE LIGHT
84	12/15/19	PEDESTRIAN POLE LIGHT
85	12/15/19	PEDESTRIAN POLE LIGHT
86	12/15/19	PEDESTRIAN POLE LIGHT
87	12/15/19	PEDESTRIAN POLE LIGHT
88	12/15/19	PEDESTRIAN POLE LIGHT
89	12/15/19	PEDESTRIAN POLE LIGHT
90	12/15/19	PEDESTRIAN POLE LIGHT
91	12/15/19	PEDESTRIAN POLE LIGHT
92	12/15/19	PEDESTRIAN POLE LIGHT
93	12/15/19	PEDESTRIAN POLE LIGHT
94	12/15/19	PEDESTRIAN POLE LIGHT
95	12/15/19	PEDESTRIAN POLE LIGHT
96	12/15/19	PEDESTRIAN POLE LIGHT
97	12/15/19	PEDESTRIAN POLE LIGHT
98	12/15/19	PEDESTRIAN POLE LIGHT
99	12/15/19	PEDESTRIAN POLE LIGHT
100	12/15/19	PEDESTRIAN POLE LIGHT

connect
 LANDSCAPE ARCHITECTURE

Yamamoto
 Architecture Inc.

355 - 13 Ave SW, Vancouver, BC
 V5T 1S6 Tel: 604-271-1127 Fax: 604-271-1527

RIVA 2.0
 7781 ALDERBRIDGE WAY
 RICHMOND, BRITISH COLUMBIA

onni

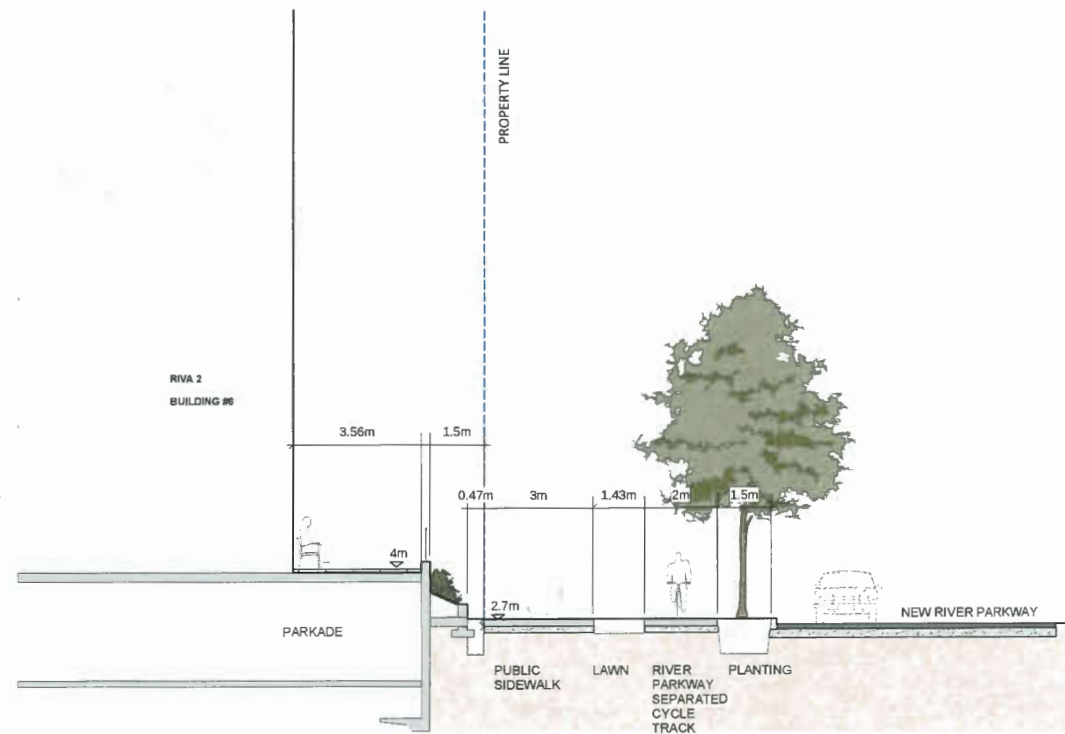
CONNECT LANDSCAPE ARCHITECTURE INC. AND YAMAMOTO ARCHITECTURE INC. ARE NOT RESPONSIBLE FOR THE EXISTENCE, LOCATION AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.

DATE	2020-01-20
SCALE	AS SHOWN
PROJECT	ONNI
CLIENT	ONNI
LOCATION	7781 ALDERBRIDGE WAY, RICHMOND, BC
DATE	2020-01-20
SCALE	AS SHOWN
PROJECT	ONNI
CLIENT	ONNI
LOCATION	7781 ALDERBRIDGE WAY, RICHMOND, BC

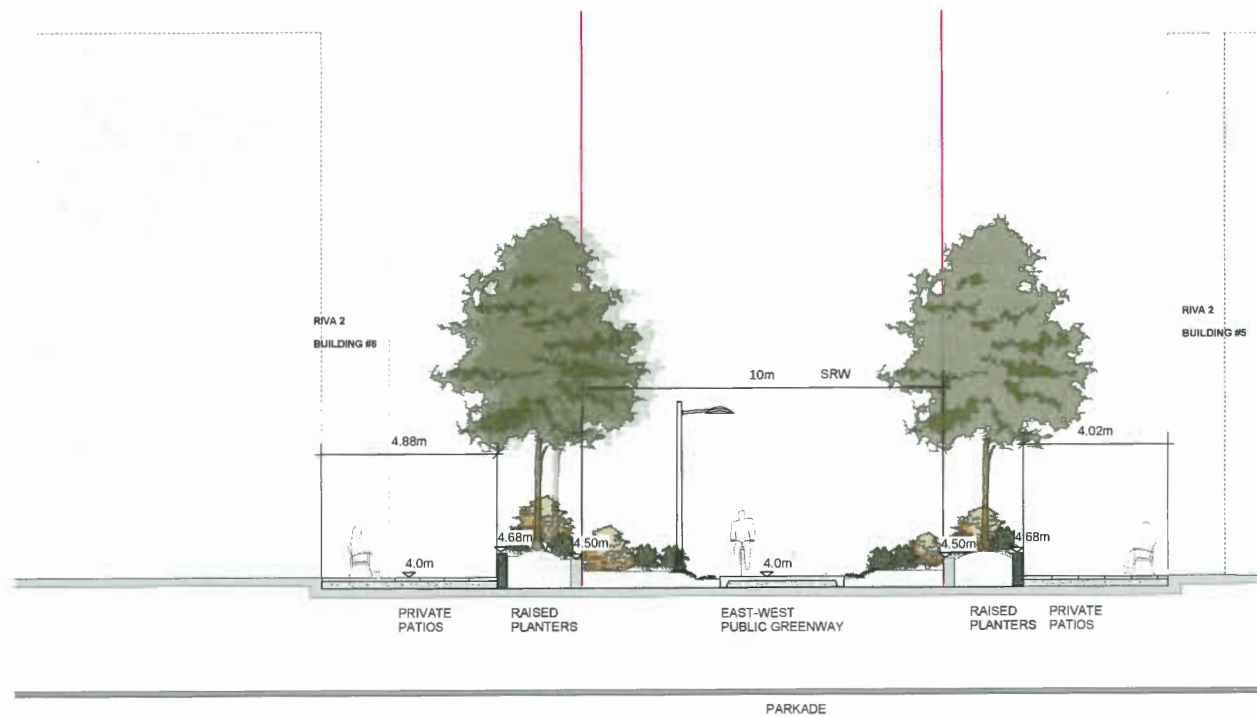
LIGHTING CONCEPT
 BUILDING 6

L4.0

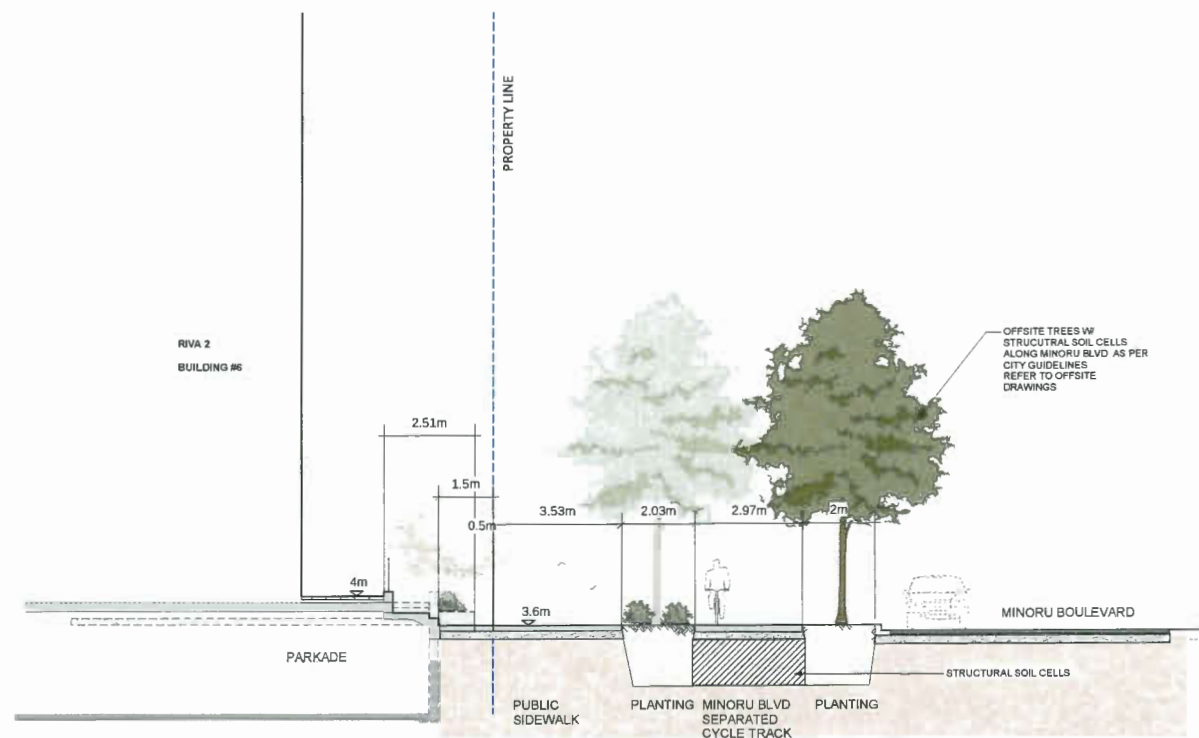
DP 18-841057 Plan 38 b
 Jan 2, 2020



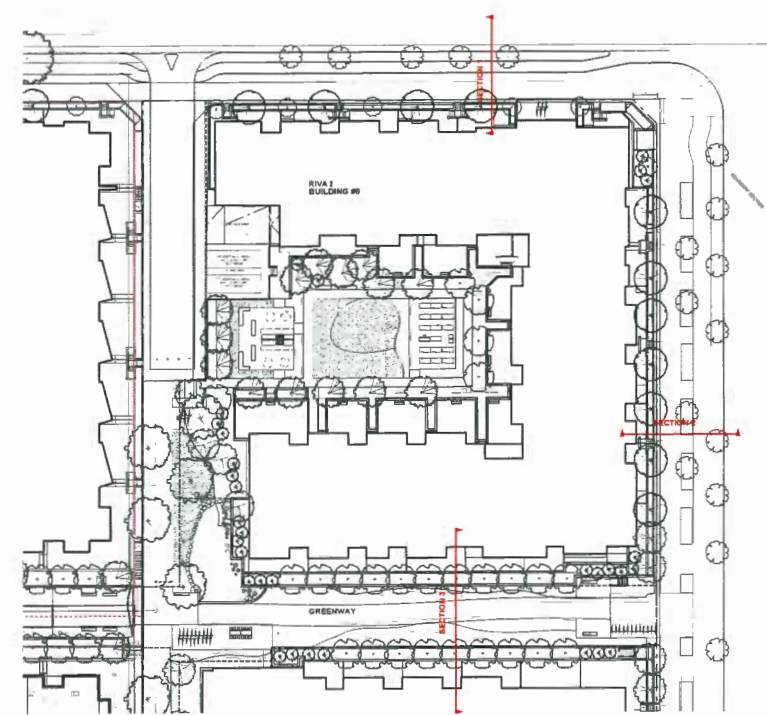
SECTION 1



SECTION 3



SECTION 2



BUILDING 6 KEY PLAN: 1/32"=1'0"

NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR AGENCIES OF ITS INTENTION TO CAUSE BUILT ITS OPERATIONS.

20	1/11/21	REVISED FOR RIBA ALPHABETIC
21	1/11/21	REVISED FOR RIBA ALPHABETIC
22	1/11/21	REVISED FOR RIBA ALPHABETIC
23	1/11/21	REVISED FOR RIBA ALPHABETIC
24	1/11/21	REVISED FOR RIBA ALPHABETIC
25	1/11/21	REVISED FOR RIBA ALPHABETIC
26	1/11/21	REVISED FOR RIBA ALPHABETIC
27	1/11/21	REVISED FOR RIBA ALPHABETIC
28	1/11/21	REVISED FOR RIBA ALPHABETIC
29	1/11/21	REVISED FOR RIBA ALPHABETIC
30	1/11/21	REVISED FOR RIBA ALPHABETIC
31	1/11/21	REVISED FOR RIBA ALPHABETIC
32	1/11/21	REVISED FOR RIBA ALPHABETIC
33	1/11/21	REVISED FOR RIBA ALPHABETIC
34	1/11/21	REVISED FOR RIBA ALPHABETIC
35	1/11/21	REVISED FOR RIBA ALPHABETIC
36	1/11/21	REVISED FOR RIBA ALPHABETIC
37	1/11/21	REVISED FOR RIBA ALPHABETIC
38	1/11/21	REVISED FOR RIBA ALPHABETIC
39	1/11/21	REVISED FOR RIBA ALPHABETIC
40	1/11/21	REVISED FOR RIBA ALPHABETIC
41	1/11/21	REVISED FOR RIBA ALPHABETIC
42	1/11/21	REVISED FOR RIBA ALPHABETIC
43	1/11/21	REVISED FOR RIBA ALPHABETIC
44	1/11/21	REVISED FOR RIBA ALPHABETIC
45	1/11/21	REVISED FOR RIBA ALPHABETIC
46	1/11/21	REVISED FOR RIBA ALPHABETIC
47	1/11/21	REVISED FOR RIBA ALPHABETIC
48	1/11/21	REVISED FOR RIBA ALPHABETIC
49	1/11/21	REVISED FOR RIBA ALPHABETIC
50	1/11/21	REVISED FOR RIBA ALPHABETIC
51	1/11/21	REVISED FOR RIBA ALPHABETIC
52	1/11/21	REVISED FOR RIBA ALPHABETIC
53	1/11/21	REVISED FOR RIBA ALPHABETIC
54	1/11/21	REVISED FOR RIBA ALPHABETIC
55	1/11/21	REVISED FOR RIBA ALPHABETIC
56	1/11/21	REVISED FOR RIBA ALPHABETIC
57	1/11/21	REVISED FOR RIBA ALPHABETIC
58	1/11/21	REVISED FOR RIBA ALPHABETIC
59	1/11/21	REVISED FOR RIBA ALPHABETIC
60	1/11/21	REVISED FOR RIBA ALPHABETIC

connect
 LANDSCAPE ARCHITECTURE

Yamamoto
 Architecture Inc.

202 - 33 East 8th Ave., Vancouver, BC
 V6T 1A3 TEL: 604.731.1327 FAX: 604.731.1327

RIVA 2.0
 7781 1781 ALDERBRIDGE WAY
 RICHMOND, BRITISH COLUMBIA

anni

FOR PROJECT USE ONLY. THIS IS A PRELIMINARY DRAWING. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE ARCHITECT.

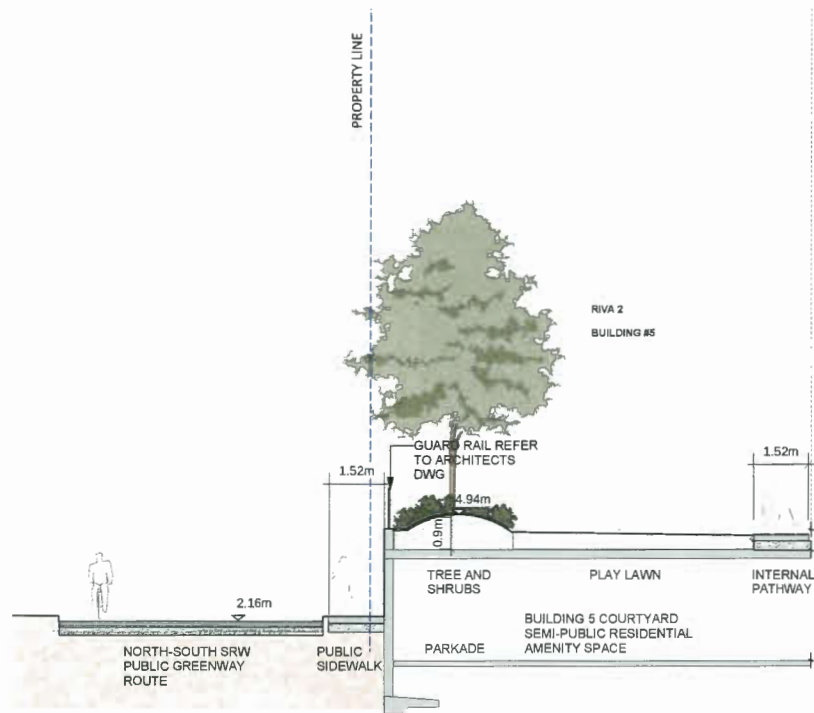
DATE	DATE	DATE
DESIGNED BY	DATE	DATE
CHECKED BY	DATE	DATE
DATE	DATE	DATE
DATE	DATE	DATE

LANDSCAPE SECTIONS
 BUILDING 6

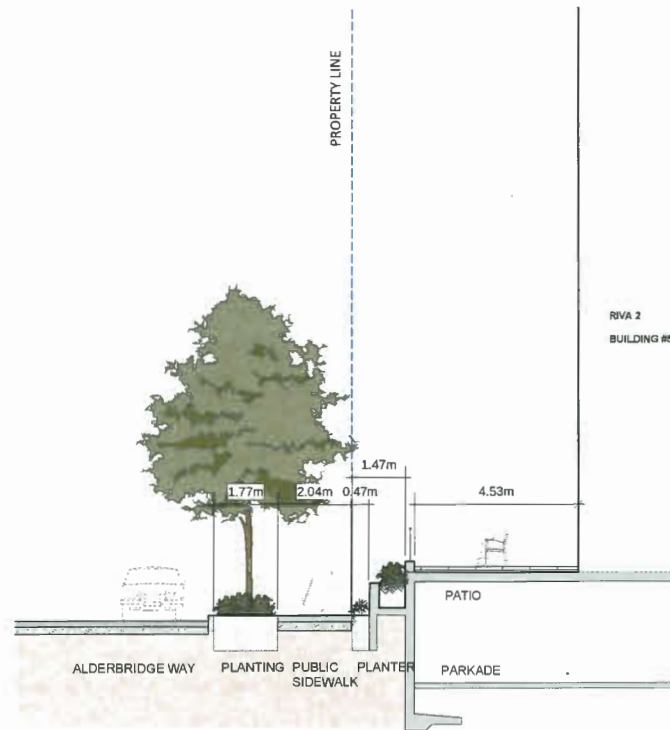
DATE: 01/21/21

L5.0

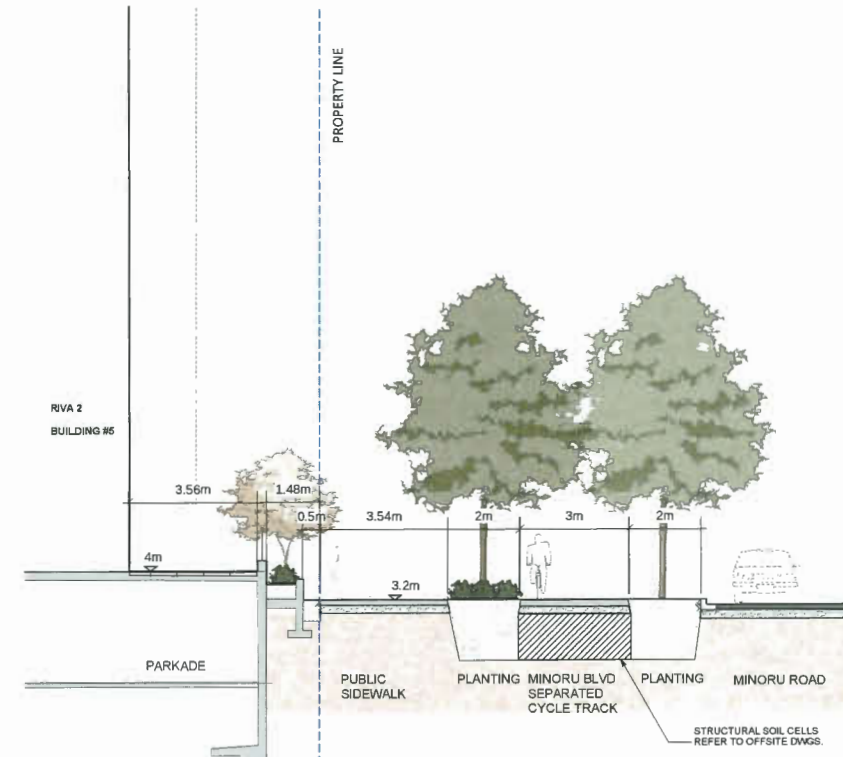
DP 18-841057
 Plan 39
 Jan 2, 2020



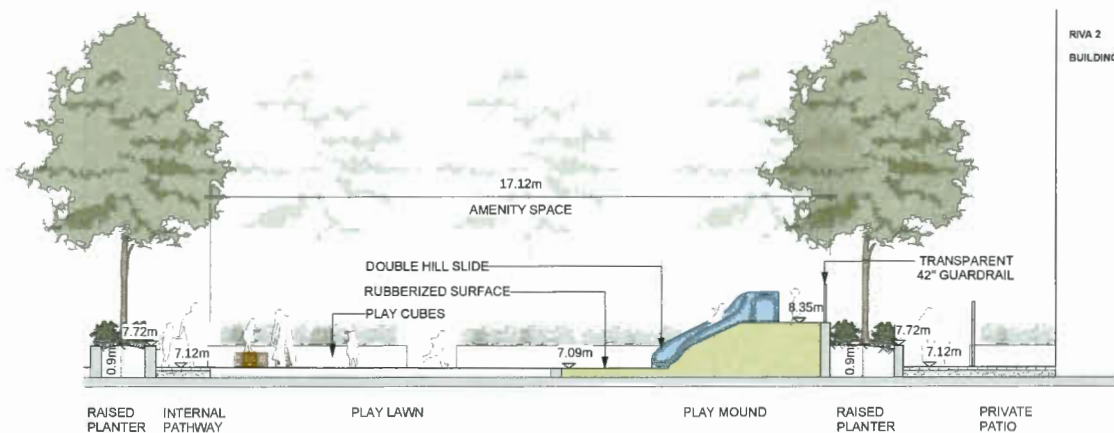
SECTION 4 SCALE: 3/16"=1'0"



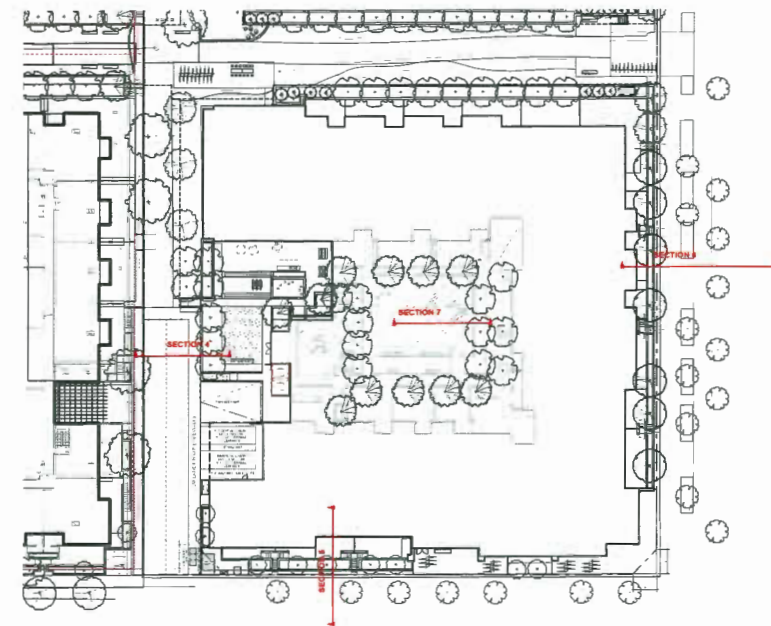
SECTION 5 SCALE: 3/16"=1'0"



SECTION 6 SCALE: 3/16"=1'0"



SECTION 7 SCALE: 3/16"=1'0"



BUILDING 5 KEY PLAN: 1/32"=1'0"

NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND DEPTH OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND DEPTH OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR AGENCIES OF ITS INTENTION TO CARRY OUT ITS OBLIGATIONS.

10	10-01	PLAN	LANDSCAPE ARCHITECTURE
11	10-02	PLAN	LANDSCAPE ARCHITECTURE
12	10-03	PLAN	LANDSCAPE ARCHITECTURE
13	10-04	PLAN	LANDSCAPE ARCHITECTURE
14	10-05	PLAN	LANDSCAPE ARCHITECTURE
15	10-06	PLAN	LANDSCAPE ARCHITECTURE
16	10-07	PLAN	LANDSCAPE ARCHITECTURE
17	10-08	PLAN	LANDSCAPE ARCHITECTURE
18	10-09	PLAN	LANDSCAPE ARCHITECTURE
19	10-10	PLAN	LANDSCAPE ARCHITECTURE
20	10-11	PLAN	LANDSCAPE ARCHITECTURE
21	10-12	PLAN	LANDSCAPE ARCHITECTURE
22	10-13	PLAN	LANDSCAPE ARCHITECTURE
23	10-14	PLAN	LANDSCAPE ARCHITECTURE
24	10-15	PLAN	LANDSCAPE ARCHITECTURE
25	10-16	PLAN	LANDSCAPE ARCHITECTURE
26	10-17	PLAN	LANDSCAPE ARCHITECTURE
27	10-18	PLAN	LANDSCAPE ARCHITECTURE
28	10-19	PLAN	LANDSCAPE ARCHITECTURE
29	10-20	PLAN	LANDSCAPE ARCHITECTURE
30	10-21	PLAN	LANDSCAPE ARCHITECTURE
31	10-22	PLAN	LANDSCAPE ARCHITECTURE
32	10-23	PLAN	LANDSCAPE ARCHITECTURE
33	10-24	PLAN	LANDSCAPE ARCHITECTURE
34	10-25	PLAN	LANDSCAPE ARCHITECTURE
35	10-26	PLAN	LANDSCAPE ARCHITECTURE
36	10-27	PLAN	LANDSCAPE ARCHITECTURE
37	10-28	PLAN	LANDSCAPE ARCHITECTURE
38	10-29	PLAN	LANDSCAPE ARCHITECTURE
39	10-30	PLAN	LANDSCAPE ARCHITECTURE
40	10-31	PLAN	LANDSCAPE ARCHITECTURE

connect
 LANDSCAPE ARCHITECTURE

Yamamoto
 Architecture Inc.

201 22 East 8th Ave, Vancouver, BC
 V5T 1R5 Tel: 604.275.1127 Fax: 604.275.1327

RIVA 2.0
 7781 1781 ALDERBRIDGE WAY
 RICHMOND, BRITISH COLUMBIA

onni

Author	JT	DATE
Checked	JA	
Approved	JT	
Drawn	JA	

LANDSCAPE SECTIONS
 BUILDING 5

L5.1

DP 18-841057
 Plan 40
 Jan 2, 2020

DIMENSION VARIES TO BE CONFIRMED ON SITE
DIMENSION VARIES

DIMENSION VARIES TO BE CONFIRMED ON SITE
DIMENSION VARIES

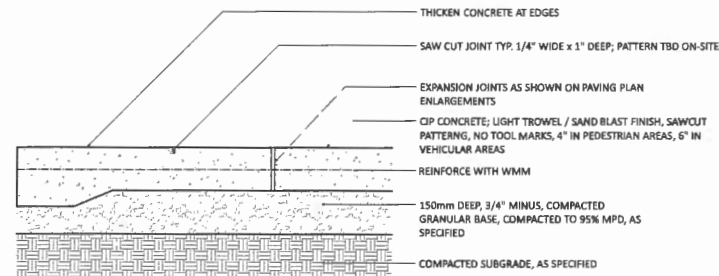


SAW CUT JOINT TYP. 1/4" WIDE x 1" DEEP;
PATTERN TBD ON-SITE

CIP CONCRETE: LIGHT TROWEL / SAND BLAST FINISH,
SAWCUT PATTERNING, NO TOOL MARKS

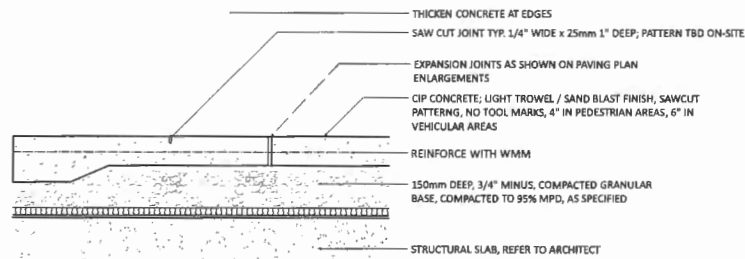
NOTES:
1. DIMENSION VARIES TO BE CONFIRMED ON SITE.

01 PAVING TYPE A, PLAN VIEW: PROP. CIP CONCRETE PAVING
Scale: 1" = 1'-0"



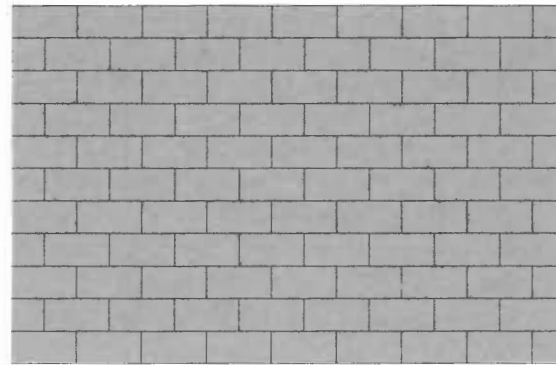
NOTES:
1. CIP CONCRETE SIDEWALK TO MEET CITY OF RICHMOND STANDARDS
2. EXPANSION JOINTS 6m o.c. MAX, PAVING INTERFACE WITH THE PROPERTY LINE, CHANGES IN MATERIAL, CHANGES IN ELEVATION, CONTROL JOINTS @ 1.5m o.c. ADJUST TO SUIT LAYOUT ONSITE.
3. USE TRAFFIC RATED POURED IN-PLACE CONCRETE AND EXPOSED AGGREGATE PAVING IN ALL VEHICLE AREAS TO THICKNESS INDICATED ON CIVIL DRAWINGS

02 PAVING TYPE A, DETAIL: PROP. CIP CONCRETE PAVING ON GRADE, TYP.
Scale: 1 1/2" = 1'-0"



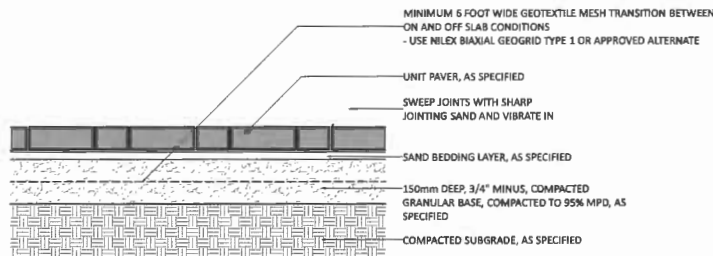
NOTES:
1. CIP CONCRETE SIDEWALK TO MEET CITY OF RICHMOND STANDARDS
2. EXPANSION JOINTS 6m o.c. MAX, PAVING INTERFACE WITH THE PROPERTY LINE, CHANGES IN MATERIAL, CHANGES IN ELEVATION, CONTROL JOINTS @ 1.5m o.c. ADJUST TO SUIT LAYOUT ONSITE.
3. USE TRAFFIC RATED POURED IN-PLACE CONCRETE AND EXPOSED AGGREGATE PAVING IN ALL VEHICLE AREAS TO THICKNESS INDICATED ON CIVIL DRAWINGS

03 PAVING TYPE A, DETAIL: PROP. CIP CONCRETE PAVING ON SLAB, TYP.
Scale: 1 1/2" = 1'-0"



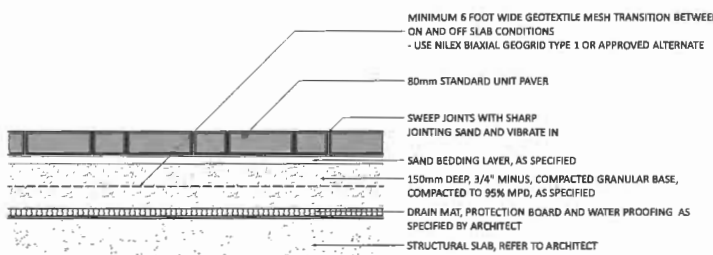
NOTES:
1. 8 7/8" x 7 1/4" STANDARD PAVERS SUPPLIED BY ABBOTSFORD CONCRETE PRODUCTS (800)-663-4091 OR APPROVED EQUAL.
2. THICKNESS: 2 3/8" ONLY.
3. PATTERN: RUNNING BOND.
4. COLOUR: BROWN.
5. CONTRACTOR TO PROVIDE MOCK-UP FOR APPROVAL ONSITE BY LANDSCAPE ARCHITECT.

04 PAVING TYPE B, PLAN VIEW: PROP. VEHICULAR UNIT PAVING
Scale: 1 1/2" = 1'-0"



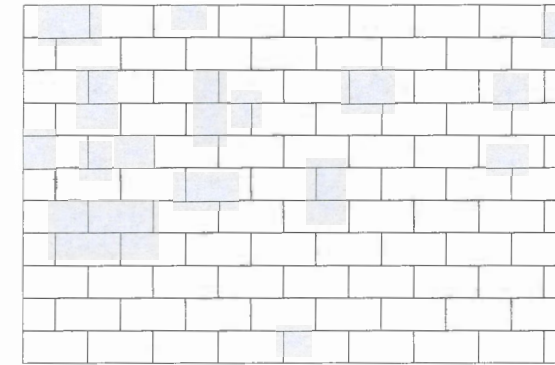
NOTE:
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

05 PAVING TYPE B, DETAIL: PROP. VEHICULAR UNIT PAVING ON GRADE, TYP.
Scale: 1 1/2" = 1'-0"



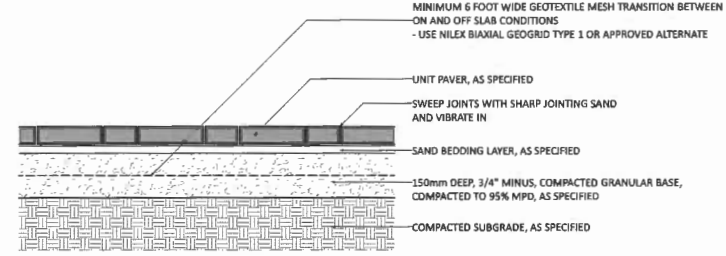
NOTE:
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

06 PAVING TYPE B, DETAIL: PROP. VEHICULAR UNIT PAVING ON SLAB, TYP.
Scale: 1 1/2" = 1'-0"



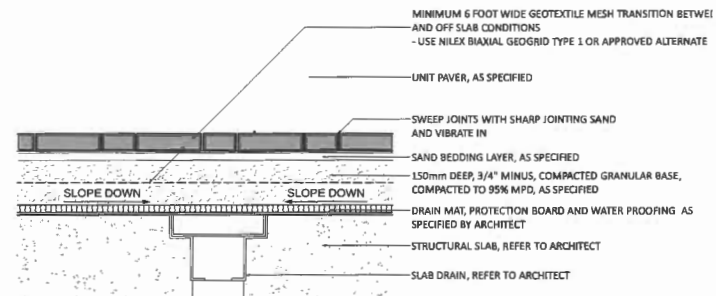
NOTES:
1. 8 7/8" x 7 1/4" STANDARD PAVERS SUPPLIED BY ABBOTSFORD CONCRETE PRODUCTS (800)-663-4091 OR APPROVED EQUAL.
2. THICKNESS: 2 3/8" IN PEDESTRIAN AREAS.
3. PATTERN: RUNNING BOND.
4. COLOUR A: NATURAL AT PRIVATE PATIOS.
COLOUR B: BROWN AT AMENITY, COURTYARD, AND PUBLIC GREENWAY.
5. CONTRACTOR TO PROVIDE MOCK-UP FOR APPROVAL ONSITE BY LANDSCAPE ARCHITECT.

07 PAVING TYPE C, PLAN VIEW: PROP. PEDESTRIAN UNIT PAVING
Scale: 1 1/2" = 1'-0"



NOTE:
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

08 PAVING TYPE C, DETAIL: PROP. PEDESTRIAN UNIT PAVING ON GRADE, TYP.
Scale: 1 1/2" = 1'-0"



NOTE:
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

09 PAVING TYPE C, DETAIL: PROP. PEDESTRIAN UNIT PAVING ON SLAB, TYP.
Scale: 1 1/2" = 1'-0"

NOTES:

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT
WARRANT THE CORRECTNESS, LOCATION AND SCOPE OF
UTILITIES AND/OR STRUCTURAL ELEMENTS OF THE
PROJECT SITE.
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE
EXISTENCE, LOCATION, AND DEPTH OF ALL UTILITIES AND
CONDUCTING STRUCTURAL AND FOUNDATION WORK
NOTING THE APPROPRIATE GOVERNMENT DEPARTMENT OR
AGENCY OF JURISDICTION TO OBTAIN ALL
NECESSARY PERMITS.

18	18-10-00	REVISION FOR DEVELOPMENT PERMIT
19	19-10-00	REVISED FOR DEVELOPMENT PERMIT
20	20-10-00	REVISED FOR DEVELOPMENT PERMIT
21	21-10-00	REVISED FOR DEVELOPMENT PERMIT
22	22-10-00	REVISED FOR DEVELOPMENT PERMIT
23	23-10-00	REVISED FOR DEVELOPMENT PERMIT
24	24-10-00	REVISED FOR DEVELOPMENT PERMIT
25	25-10-00	REVISED FOR DEVELOPMENT PERMIT
26	26-10-00	REVISED FOR DEVELOPMENT PERMIT
27	27-10-00	REVISED FOR DEVELOPMENT PERMIT
28	28-10-00	REVISED FOR DEVELOPMENT PERMIT
29	29-10-00	REVISED FOR DEVELOPMENT PERMIT
30	30-10-00	REVISED FOR DEVELOPMENT PERMIT
31	31-10-00	REVISED FOR DEVELOPMENT PERMIT
32	32-10-00	REVISED FOR DEVELOPMENT PERMIT
33	33-10-00	REVISED FOR DEVELOPMENT PERMIT
34	34-10-00	REVISED FOR DEVELOPMENT PERMIT
35	35-10-00	REVISED FOR DEVELOPMENT PERMIT
36	36-10-00	REVISED FOR DEVELOPMENT PERMIT
37	37-10-00	REVISED FOR DEVELOPMENT PERMIT
38	38-10-00	REVISED FOR DEVELOPMENT PERMIT
39	39-10-00	REVISED FOR DEVELOPMENT PERMIT
40	40-10-00	REVISED FOR DEVELOPMENT PERMIT

connect
LANDSCAPE ARCHITECTURE

Yamamoto
Architecture Inc.

221 - 22 East 6th Avenue, Vancouver, BC
V2T 1Y3 Tel: 604-751-1127 Fax: 604-751-1227

RIVA
Riva 240-7791 and 7811 Alderbridge Way

onni

DESIGN	DP	DATE
CHECKED	DP	
DRAWN	DP	
DATE	18-10-2019	
JOB NO.	18-001	

SHEET TITLE
DETAILS
HARDSCAPE

L6.0

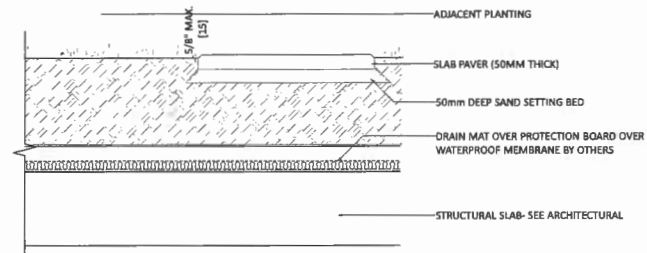
DP 18-841057
Plan 41
Jan 2, 2020

COLOR: CHARCOAL

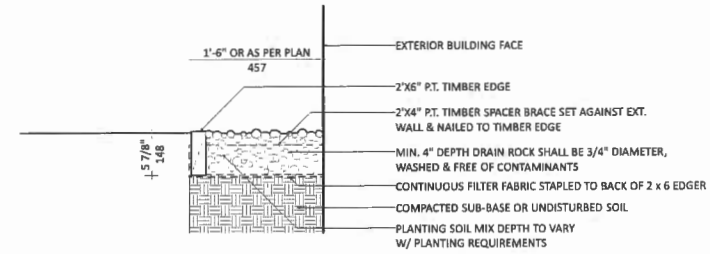


TEXADA HYDRAPRESSED SLABS
 SIZE : STANDARD SIZE (610MM X 610MM X 50MM)
 COLOUR : CHARCOAL
 PATTERN : GRID
 SUPPLIED BY ABBOTSFORD CONCRETE PRODUCTS
 1.800.663.4091

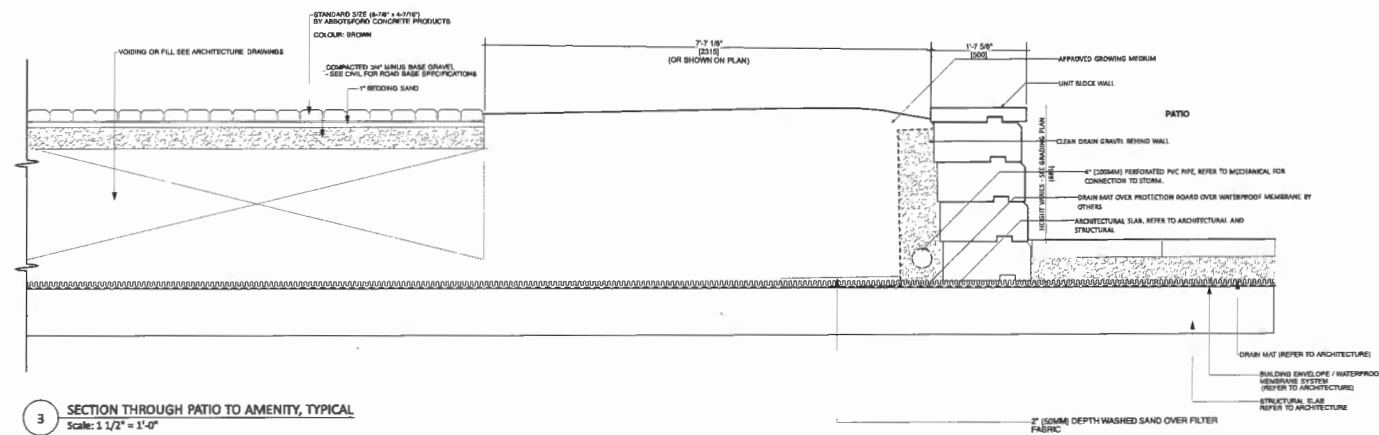
shower dra
 waterproof
 membrane
 structure sl



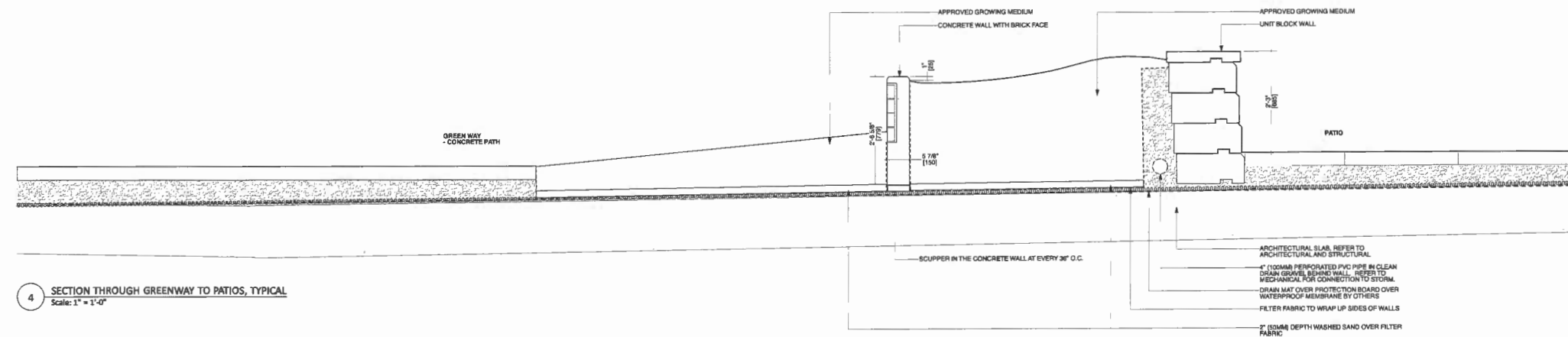
01 STEPPING SLABS IN GROUND COVER
 Scale: 1" = 1'-0"



02 PAVING TYPE E, DETAIL: PROP. COBBLE DRAIN STRIP TYP.
 Scale: 1 1/2" = 1'-0"



3 SECTION THROUGH PATIO TO AMENITY, TYPICAL
 Scale: 1 1/2" = 1'-0"



4 SECTION THROUGH GREENWAY TO PATIOS, TYPICAL
 Scale: 1" = 1'-0"

NOTES:

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE GENERAL LOCATION AND EXTENT OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE GENERAL LOCATION AND EXTENT OF UTILITIES AND/OR CONCEALED STRUCTURES AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANIES CONCERNED ON BEHALF OF THE CLIENT TO LOCATE AND MARK UTILITIES.

10	10-10-20	REVISED FOR DEVELOPMENT PERMIT
11	10-10-20	REVISED FOR DEVELOPMENT PERMIT
12	10-10-20	REVISED FOR REVIEW
13	10-10-20	REVISED FOR DEVELOPMENT PERMIT
14	10-10-20	REVISED FOR DEVELOPMENT PERMIT
15	10-10-20	REVISED FOR DEVELOPMENT PERMIT
16	10-10-20	REVISED FOR DEVELOPMENT PERMIT
17	10-10-20	REVISED FOR DEVELOPMENT PERMIT
18	10-10-20	REVISED FOR DEVELOPMENT PERMIT
19	10-10-20	REVISED FOR DEVELOPMENT PERMIT
20	10-10-20	REVISED FOR DEVELOPMENT PERMIT
21	10-10-20	REVISED FOR DEVELOPMENT PERMIT
22	10-10-20	REVISED FOR DEVELOPMENT PERMIT
23	10-10-20	REVISED FOR DEVELOPMENT PERMIT
24	10-10-20	REVISED FOR DEVELOPMENT PERMIT
25	10-10-20	REVISED FOR DEVELOPMENT PERMIT
26	10-10-20	REVISED FOR DEVELOPMENT PERMIT
27	10-10-20	REVISED FOR DEVELOPMENT PERMIT
28	10-10-20	REVISED FOR DEVELOPMENT PERMIT
29	10-10-20	REVISED FOR DEVELOPMENT PERMIT
30	10-10-20	REVISED FOR DEVELOPMENT PERMIT
31	10-10-20	REVISED FOR DEVELOPMENT PERMIT
32	10-10-20	REVISED FOR DEVELOPMENT PERMIT
33	10-10-20	REVISED FOR DEVELOPMENT PERMIT
34	10-10-20	REVISED FOR DEVELOPMENT PERMIT
35	10-10-20	REVISED FOR DEVELOPMENT PERMIT
36	10-10-20	REVISED FOR DEVELOPMENT PERMIT
37	10-10-20	REVISED FOR DEVELOPMENT PERMIT
38	10-10-20	REVISED FOR DEVELOPMENT PERMIT
39	10-10-20	REVISED FOR DEVELOPMENT PERMIT
40	10-10-20	REVISED FOR DEVELOPMENT PERMIT

connect
 LANDSCAPE ARCHITECTURE

Yamamoto
 Architecture Inc.

2025 - 22 First St. Arlington, Massachusetts, INC
 VET 185 Tel: 800-721-1127 Fax: 800-721-1127

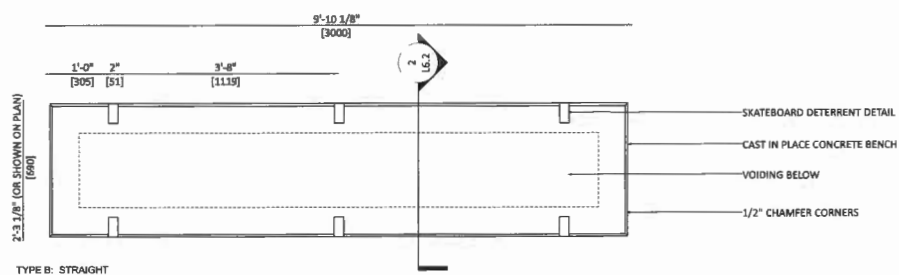
RIVA
 Riva 240, 7751 and 7811 Alderbridge Way
 L201

anni
 ON

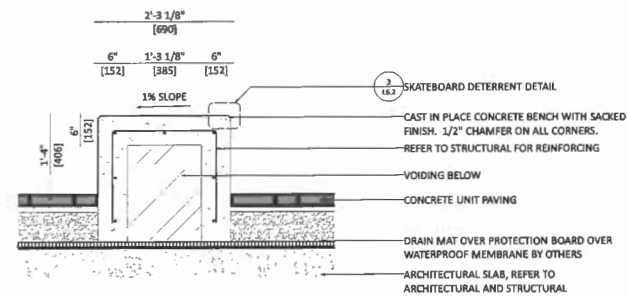
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE THE PROPERTY OF CONNECT LANDSCAPE ARCHITECTURE INC. AND CANNOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

DATE:	NO	SCALE:	AS SHOWN	DATE:	NO
DATE:	NO	SCALE:	AS SHOWN	DATE:	NO
DATE:	NO	SCALE:	AS SHOWN	DATE:	NO

DETAILS
 HARDSCAPE

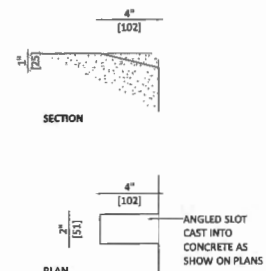


TYPE B: STRAIGHT

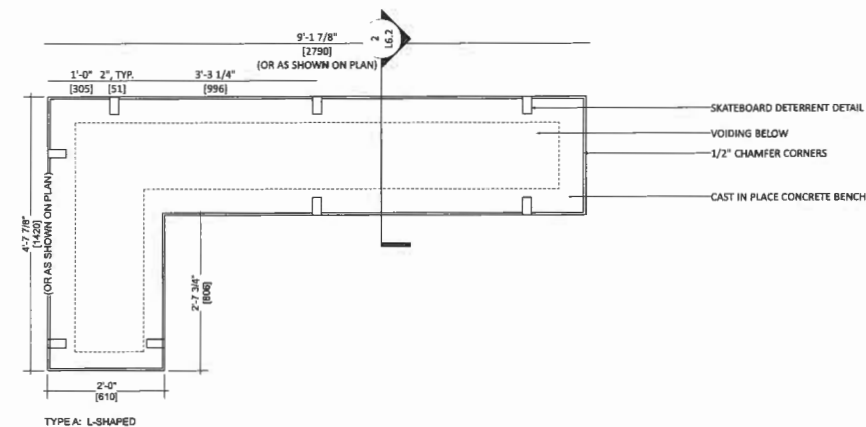


NOTE: MAX SEAT HEIGHT TO BE 14\"/>

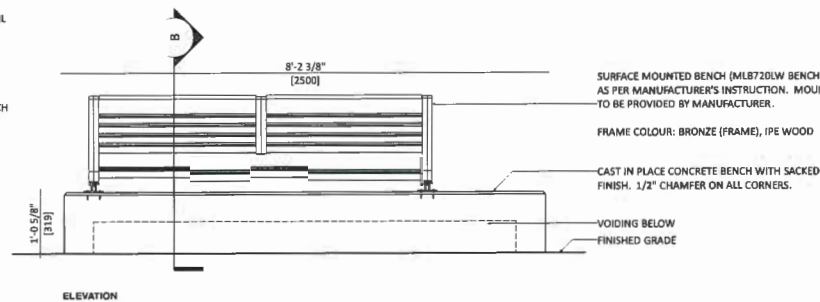
02 CUSTOM CIP CONCRETE BENCH ON SLAB: SECTION
Scale: 1\"/>



02A SKATEBOARD DETERRENT DETAIL
Scale: 3\"/>



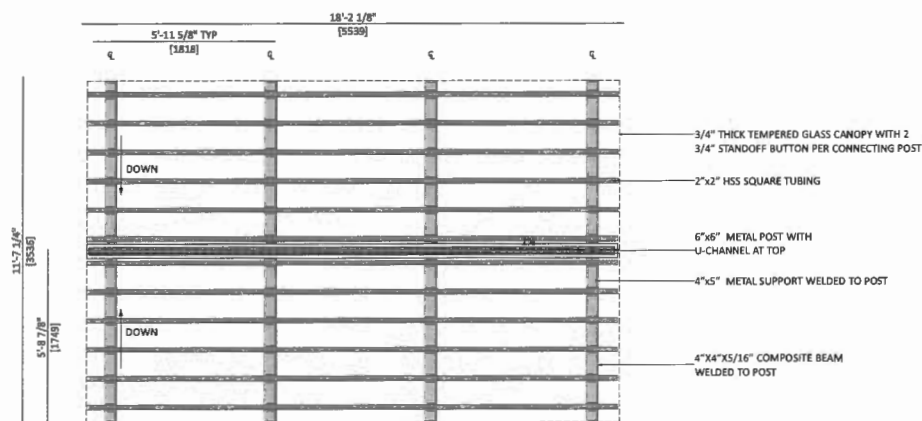
TYPE A: L-SHAPED



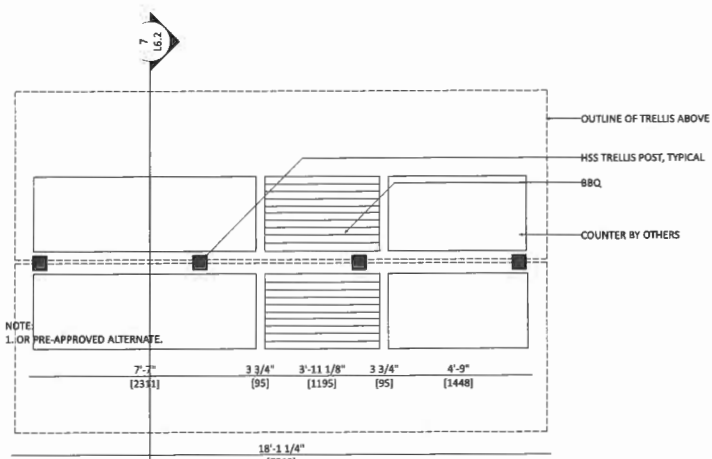
ELEVATION

03 CIP CONCRETE BENCH WITH BENCH TOP- GREENWAY
Scale: 1\"/>

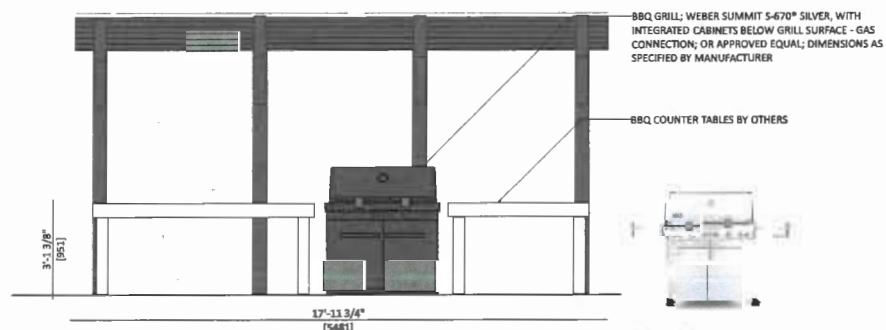
01 CUSTOM CIP CONCRETE BENCH A: PLAN VIEW
Scale: 1\"/>



04 TRELLIS OVER BBQ AND COUNTER: PLAN VIEW
Scale: 1/2\"/>

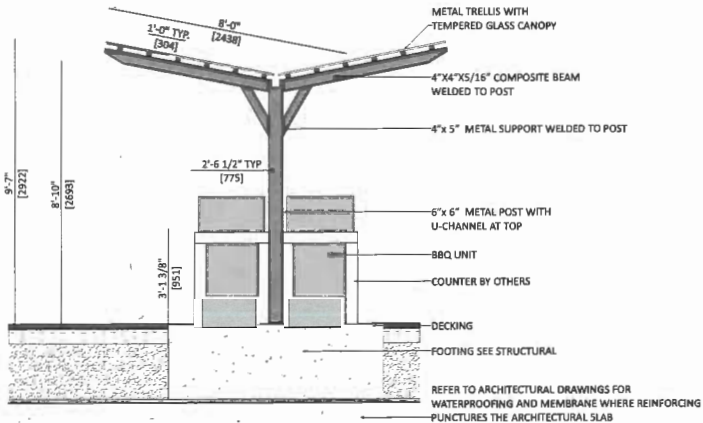


05 BBQ AND COUNTER: PLAN VIEW
Scale: 1/2\"/>

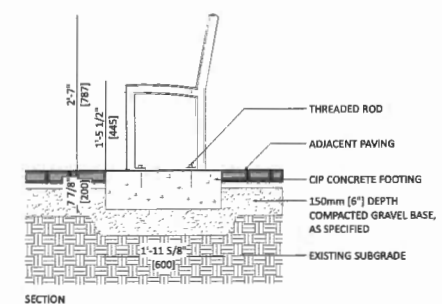


NOTE:
1. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS OF THE METAL TRELLIS FOR REVIEW AND APPROVAL.
2. ALL FASTENERS ARE TO BE HOT-DIPPED GALVANIZED.
3. ALL WELDS TO BE GROUND SMOOTH.
4. MANUAL SHUT OFF VALVE TO BE PROVIDED FOR GAS BARBECUE CONNECTION.
5. BARBECUE GRILL TO BE INSTALLED AS PER MANUFACTURER'S INSTRUCTION.
6. REFER TO SPECIFICATION FOR FINISH AND COLOUR OF TRELLIS STRUCTURE.

06 TRELLIS OVER BBQ AND COUNTER: ELEVATION
Scale: 1/2\"/>



07 TRELLIS OVER BBQ AND COUNTER: SECTION
Scale: 1/2\"/>



08 FREE STANDING BENCH TYPE C
Scale: 1\"/>

NOTES:
1. MODEL: MLB 720W BACKED BENCH BY MAGLIN (800-716-5506).
2. WOOD FINISH: IPE, FRAME COLOR: BRONZE 14 FINE TEXTURED (FRAME)
3. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

NOTES:
CONNECT LANDSCAPE ARCHITECTURE HAS BEEN NOTIFIED OF THE EXISTING LOCATION AND DEPTH OF UTILITIES AND OF CONCRETE STRUCTURE AT THE PROJECT SITE.
THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE EXISTING LOCATION AND DEPTH OF ALL UTILITIES AND FOR CONDUCTING STRUCTURAL AND GEOTECHNICAL INVESTIGATIONS AND FOR PROVIDING ALL NECESSARY CONSTRUCTION DETAILS TO THE CONTRACTOR.
REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND FINISHES UNLESS OTHERWISE SPECIFIED.

01	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
02	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
03	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
04	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
05	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
06	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
07	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
08	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
09	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
10	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
11	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
12	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
13	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
14	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
15	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
16	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
17	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
18	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
19	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
20	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
21	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
22	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
23	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
24	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
25	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
26	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
27	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
28	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
29	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT
30	18-10-18	AS-BUILT FOR DEVELOPMENT PERMIT

connect
LANDSCAPE ARCHITECTURE

Yamamoto
Architecture Inc.

205 - 23 East 8th Avenue, Vancouver, BC
V6T 1R5 Tel: 604-273-1127 Fax: 604-273-1287

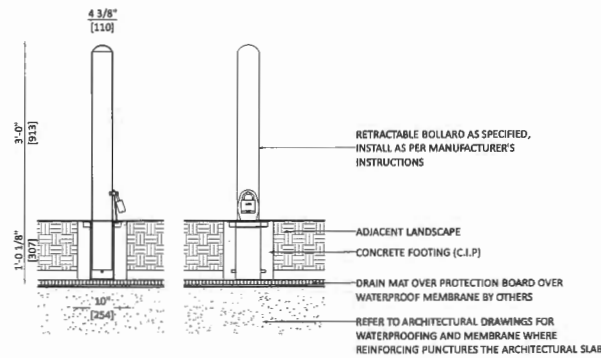
RIVA
LANDSCAPE ARCHITECTURE

240-7791 and 7811 Alberkebygde Way
VANCOUVER, BC

DATE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
SCALE:	AS SHOWN
JOB NO.:	18-40
SHEET TITLE:	DETAILS FURNISHINGS

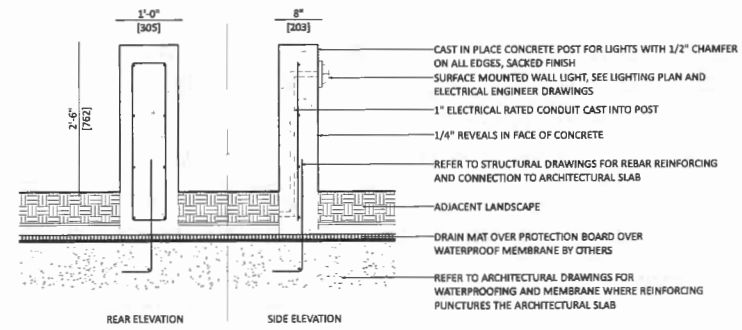
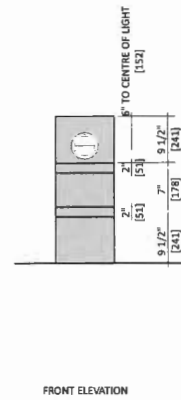
L6.2

PP 18-841057
Jan 2, 2020
Plan 43

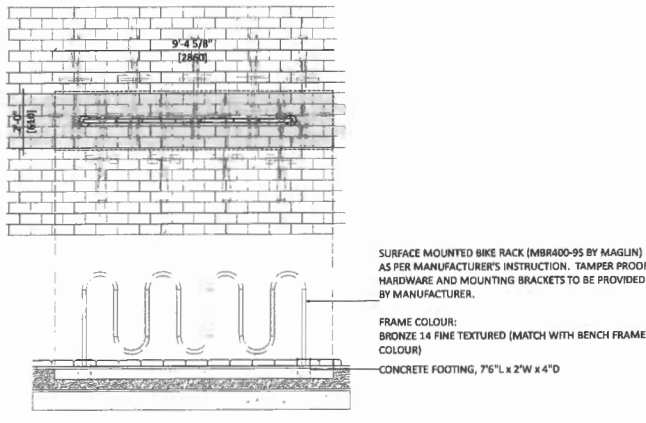
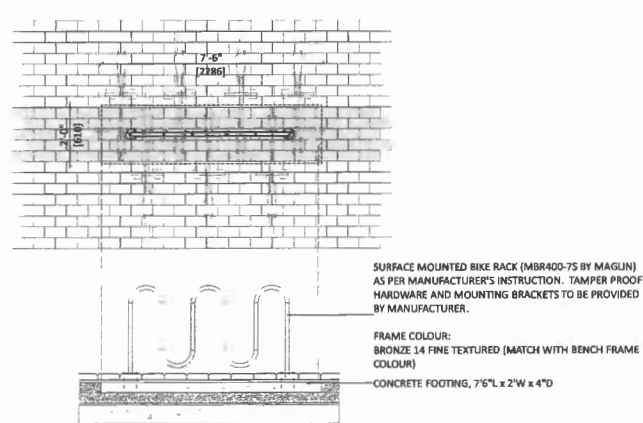


NOTES:
 1. MODEL: R-8902 STAINLESS STEEL REMOVABLE BOLLARD, BY RELIANCE FOUNDRY (1.888.735.5680), OR APPROVED ALTERNATIVE.
 2. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

01 REMOVABLE BOLLARD
 Scale: 1" = 1'-0"



02 LIGHT BOLLARD
 Scale: 1" = 1'-0"



03A BIKE RACK ON SLAB
 Scale: 1/2" = 1'-0"

03B BIKE RACK ON SLAB
 Scale: 1/2" = 1'-0"



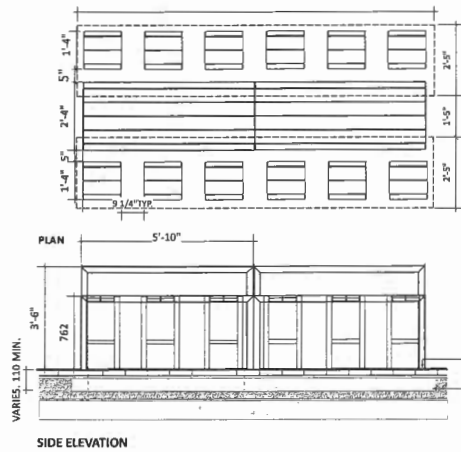
NOTES:
 1. GALVANIZED GREENHOUSE POTTING BENCH, AVAILABLE FROM WARM GREENHOUSES (888) 509-9676, www.warmgreenhouses.com
 2. DIMENSIONS: 19.75" DEPTH, 36" HEIGHT, 45" LENGTH

04 POTTING TABLE
 Scale: 1/2" = 1'-0"



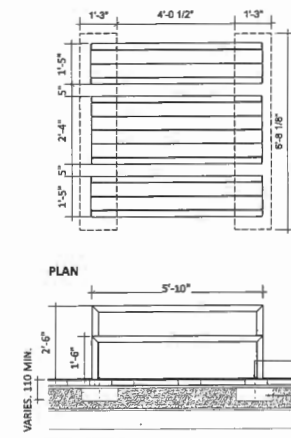
NOTES:
 1. WALL-STORE 6'x2'8" WOOD STORAGE SHED, MODEL #A056, AVAILABLE FROM HOME DEPOT (800)-466-3337
 2. DIMENSIONS: 72" WIDTH, 32" DEPTH, 65" HEIGHT

05 TOOL SHED
 Scale: 1/2" = 1'-0"



MAGLIN MLT81050-BHW
 BAR HEIGHT TABLE
 HEIGHT: 42"
 LENGTH: 70"
 WIDTH: 27.75"
 FINISH: IPE WOOD
 POWDERCOAT COLOUR: BRONZE 14 FINE TEXTURED
 MAGLIN MLT81050B-BHW
 BAR HEIGHT STOOLS
 HEIGHT: 30"
 LENGTH: 15.5"
 WIDTH: 15.5"
 FINISH: IPE WOOD
 POWDERCOAT COLOUR: BRONZE 14 FINE TEXTURED

06 BAR TABLE AND BAR STOOLS
 Scale: 1/2" = 1'-0"



NOTES:
 1. TYPE: MLT81050-W STANDARD TABLE WITH TWO BACKLESS BENCHES BY MAGLIN (1-800-716-6606) OR APPROVED ALTERNATIVE.
 2. TABLE MODEL: MLT81050-W
 3. BENCH MODEL: MLB1050B-W
 4. TABLE DIMENSIONS: 30" (76.2cm) HEIGHT x 70" (177.8cm) LENGTH x 27.75" (70.5cm) DEPTH
 5. BENCH DIMENSIONS: 17.5" (44.5cm) HEIGHT x 70" (177.8cm) LENGTH x 16.5" (41.9cm) DEPTH
 6. MATERIALS: FRAME IS CONSTRUCTED FROM FORMED STEEL AND THE TOPS EMPLOY 1" IPE WOODS
 7. FINISH: ALL STEEL COMPONENTS ARE PROTECTED WITH E-COAT RUST PROOFING
 8. COLOR: BRONZE 14 FINE TEXTURED POWDERCOAT



MAGLIN STANDARD TABLE WITH TWO BACKLESS BENCHES
 MLT81050-W - TABLE, WOOD
 MLB1050B-W - BACKLESS BENCHES, WOOD

07 PICNIC TABLE AND BENCHES
 Scale: 1/2" = 1'-0"

NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION AND DEPTH OF UTILITIES AND/OR CONCEALED STRUCTURES OF THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION AND DEPTH OF ALL UTILITIES AND CONCEALED STRUCTURES AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE GOVERNMENT AGENCY OR AGENCIES OF ANY UTILITIES TO BE PROTECTED OR REMOVED.

18	18-10-00	PROPOSED FOR DEVELOPMENT PERMIT
19	18-10-00	APPROVED FOR DEVELOPMENT PERMIT
16	18-10-00	REVISED FOR DEVELOPMENT PERMIT
17	18-10-00	REVISED FOR PERMIT
18	18-10-00	AS SHOWN FOR DEVELOPMENT PERMIT
19	18-10-00	BY COORDINATION WITH CIVIL
20	18-10-00	REVISED FOR DEVELOPMENT PERMIT
21	18-10-00	APPROVED FOR DEVELOPMENT PERMIT
22	18-10-00	REVISED FOR DEVELOPMENT PERMIT
23	18-10-00	REVISED FOR DEVELOPMENT PERMIT
24	18-10-00	REVISED FOR DEVELOPMENT PERMIT
25	18-10-00	REVISED FOR DEVELOPMENT PERMIT
26	18-10-00	REVISED FOR DEVELOPMENT PERMIT
27	18-10-00	REVISED FOR DEVELOPMENT PERMIT
28	18-10-00	REVISED FOR DEVELOPMENT PERMIT
29	18-10-00	REVISED FOR DEVELOPMENT PERMIT
30	18-10-00	REVISED FOR DEVELOPMENT PERMIT
31	18-10-00	REVISED FOR DEVELOPMENT PERMIT
32	18-10-00	REVISED FOR DEVELOPMENT PERMIT
33	18-10-00	REVISED FOR DEVELOPMENT PERMIT
34	18-10-00	REVISED FOR DEVELOPMENT PERMIT
35	18-10-00	REVISED FOR DEVELOPMENT PERMIT
36	18-10-00	REVISED FOR DEVELOPMENT PERMIT
37	18-10-00	REVISED FOR DEVELOPMENT PERMIT
38	18-10-00	REVISED FOR DEVELOPMENT PERMIT
39	18-10-00	REVISED FOR DEVELOPMENT PERMIT
40	18-10-00	REVISED FOR DEVELOPMENT PERMIT
41	18-10-00	REVISED FOR DEVELOPMENT PERMIT
42	18-10-00	REVISED FOR DEVELOPMENT PERMIT
43	18-10-00	REVISED FOR DEVELOPMENT PERMIT
44	18-10-00	REVISED FOR DEVELOPMENT PERMIT
45	18-10-00	REVISED FOR DEVELOPMENT PERMIT
46	18-10-00	REVISED FOR DEVELOPMENT PERMIT
47	18-10-00	REVISED FOR DEVELOPMENT PERMIT
48	18-10-00	REVISED FOR DEVELOPMENT PERMIT
49	18-10-00	REVISED FOR DEVELOPMENT PERMIT
50	18-10-00	REVISED FOR DEVELOPMENT PERMIT

connect
 LANDSCAPE ARCHITECTURE

Yamamoto
 Architecture Inc.

300 - 55 East 8th Avenue, Vancouver, BC
 V5T 1Y6 Tel: (604) 271-1137 Fax: (604) 751-1327

PROJECT
RIVA
 Riva 340-7791 and 7911 Alderferdy Way

DATE
 2020.01.22

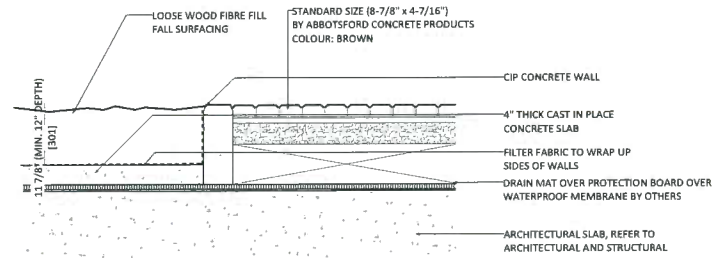
DATE
 2020.01.22

SCALE
 AS SHOWN

JOB NO.
 18-10

DATE PLOTTED
 2020.01.22

DETAILS
 FURNISHINGS



01 PLAY SURFACING DETAIL
Scale: 1" = 1'-0"



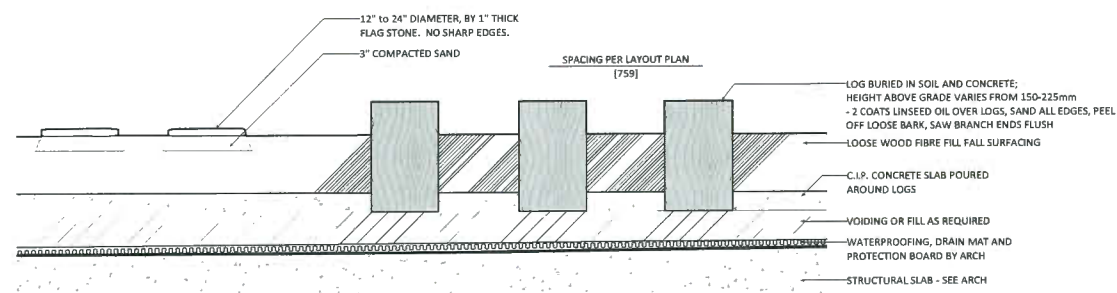
LANDSCAPE STRUCTURES
CUBE PLAY STRUCTURE 2-5 YEARS
AVAILABLE THROUGH HABITAT SYSTEMS
PH: 604.294.4224

06 CUBE PLAY STRUCTURE

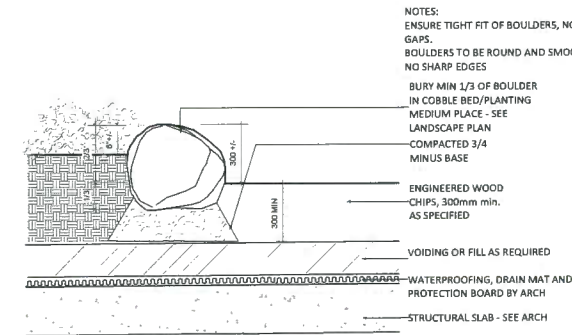


LANDSCAPE STRUCTURES
BOBBLE RIDER
COLOUR: DENIM
AVAILABLE THROUGH HABITAT SYSTEMS
PH: 604.294.4224

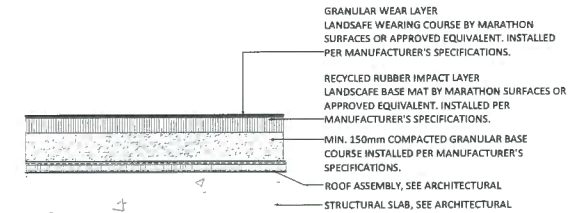
07 BOBBLE RIDER



02 BURIED LOG AND STEPPING STONE IN WOOD FIBRE FILL
Scale: 1" = 1'-0"



03 PLAY AREA BOULDER EDGE
Scale: 1" = 1'-0"



04 RUBBERIZED PLAY FALL SURFACING
Scale: 1" = 1'-0"

habitat
Habitat Systems' Natural Outdoor Learning Environments
The Playhouse

The Playhouse provides a quiet and social seating area for children in a play space. The sheltered structure provides a destination for children to meet on the playground regardless of the weather. Constructed in-house using yellow cedar for the frame and red cedar for the roof slats, the Playhouse is built to resist decomposition and decay in wet environments.

4' x 4' base by 8'2" high
The frame and roof slats are made of yellow cedar. These materials are available in a variety of finishes. Available with 1/2" x 1/2" x 1/2" slats.

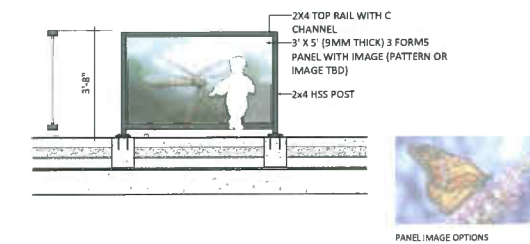
1.866.422.4828 | info@habitat-systems.com | habitat-systems.com

10 TIMBER PLAY HOUSE

LANDSCAPE STRUCTURES
DOUBLE SWOOSH SLIDE ON RUBBER SURFACE MOUND
COLOUR: DENIM
AVAILABLE THROUGH HABITAT SYSTEMS
PH: 604.294.4224

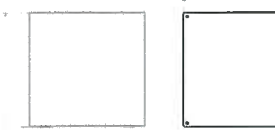


08 DOUBLE HILLSIDE SWOOSH



05 PLAY IMAGE PANEL
Scale: 1/2" = 1'-0"

CUSTOM, 1500, STOOL, HDPC, VINYL GRAPHICS



NOTE: FINAL IMAGE TO BE SELECTED
ALL BLOCKS TO BE SURFACE MOUNT REFER TO MANUFACTURER RECOMMENDATIONS FOR MOUNTING HARDWARE.

09 PLAY CUBES SEATS

NOTES:
CONNECT LANDSCAPE ARCHITECTURE HAS DESIGNATED THIS AS A SPECIAL LOCATION AND IS NOT TO BE USED FOR ANY OTHER PURPOSES.
THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTING LOCATION AND ELEVATION OF ALL UTILITIES AND FOR CONSIDERING THE LOCATION AND ELEVATION OF ALL UTILITIES AND FOR CONSIDERING THE LOCATION AND ELEVATION OF ALL UTILITIES AND FOR CONSIDERING THE LOCATION AND ELEVATION OF ALL UTILITIES.

28	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
29	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
30	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
31	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
32	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
33	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
34	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
35	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
36	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
37	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
38	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
39	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
40	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
41	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
42	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
43	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
44	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
45	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
46	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
47	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
48	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
49	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
50	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
51	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
52	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
53	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
54	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
55	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
56	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
57	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
58	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
59	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK
60	1/2" x 2" x 2"	PRE-CAST CONCRETE BLOCK

connect
LANDSCAPE ARCHITECTURE

Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, BC
V6T 1B3 Tel: 604.275.1127 Fax: 604.275.1127

RIVA
Riva 3-D 7791 and 7811 Aldebridge Way

onn

DESIGN AND DIMENSIONS ARE SUBJECT TO CHANGE

DESIGNED BY	DATE
CHECKED BY	SCALE
DRAWN BY	DATE
DATE	SCALE

DETAILS
PLAY ELEMENTS



ACTIVITIES 5-12 AGE RANGE:
CLIMBING
SLIDING
UPPER BODY STRENGTH (MONKEY BAR)



Riva 2.0 - Greenway
©2014-11 • 12.20.2019

LANDSCAPE STRUCTURES
7 POST NETPLEX WITH DOUBLE SLIDE PLAY STRUCTURE 5-12YEARS
AVAILABLE THROUGH HABITAT SYSTEMS
PH: 604.294.4224

01 NETPLEX PLAY STRUCTURE

ACTIVITIES 2-5 AGE RANGE:
CLIMBING
SLIDING
TUNNEL
MUSIC
SENSORY PANELS



LANDSCAPE STRUCTURES
WEEVOS PLAY STRUCTURE 2-5 YEARS
AVAILABLE THROUGH HABITAT SYSTEMS
PH: 604.294.4224

02 WEEVOS PLAY STRUCTURE



NOTES:

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT WARRANT THE ACCURACY, LOCATION, AND QUANTITY OF UTILITIES AND/OR OBSTACLES EXISTING AT THE PROJECT SITE.
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTING UTILITIES AND QUANTITY OF ALL UTILITIES AND OBSTACLES EXISTING AT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE GOVERNMENT DEPARTMENT OR AGENCIES OF ITS INTENTION TO CARRY OUT ITS OBLIGATIONS.

16	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
15	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
14	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
13	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
12	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
11	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
10	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
9	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
8	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
7	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
6	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
5	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
4	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
3	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
2	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
1	10-10-20	RELEASER FOR DEVELOPMENT PERMIT
100	10-10-20	RELEASER FOR DEVELOPMENT PERMIT

connect
LANDSCAPE ARCHITECTURE

Yamamoto
Architecture Inc.

202 - 23 East 8th Avenue, Vancouver, BC
V5T 1V6 Tel: 604-779-1127 Fax: 604-779-1227

RIVA
Riva 3-6-7791 and 7911 Alderbridge Way

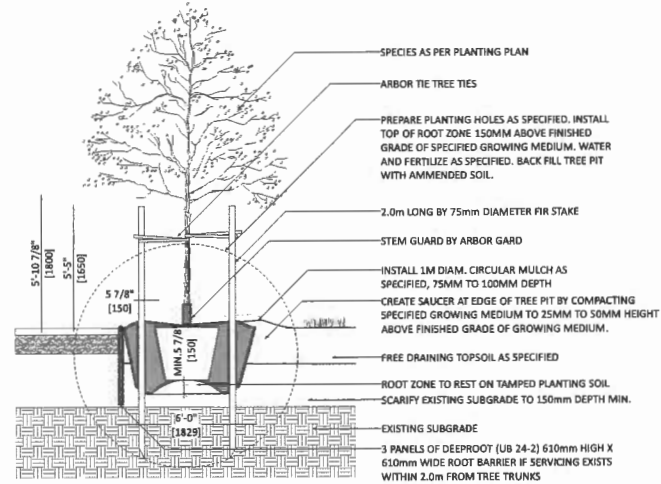
onni

DATE:	10-10-20
PROJECT:	10
SCALE:	AS SHOWN
JOB NO.:	10-00

DETAILS
PLAY ELEMENTS

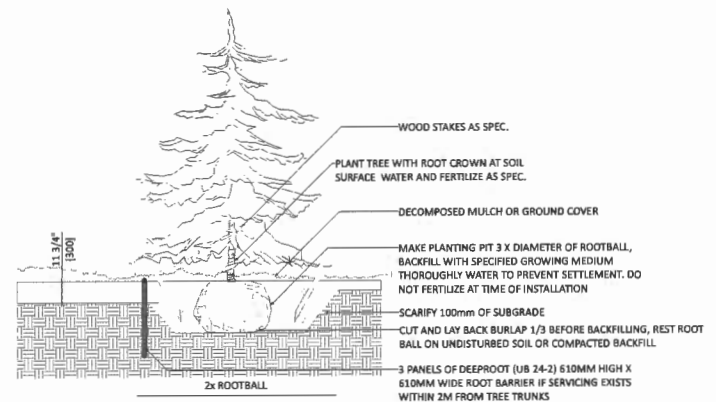
L6.5

DP 18-841057
Jan 2, 2020
Plan 46

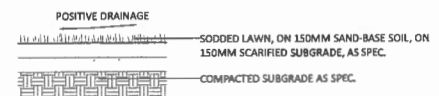


NOTES:
 1. BACKFILL SOIL MUST BE WEED FREE AND PROVIDE GOOD WATER PERCOLATION AND GAS EXCHANGE.
 2. PIT MUST BE WELL DRAINED. IF ADEQUATE NATURAL DRAINAGE DOES NOT OCCUR, ADDITIONAL MEASURES MUST BE PROVIDED TO ENSURE ADEQUATE DRAINAGE. EG: DRAIN ROCK AT BOTTOM OF PIT THAT COLLECTS WATER AND DISPERSES IT FROM THE PIT VIA DRAIN CONNECTED TO STORM, GUTTER, LOWER ELEVATION OR MORE PERMEABLE MEDIUM.
 3. ENSURE TREE MEETS BC LANDSCAPE STANDARD FOR SELECTION, HANDLING, AND PLANTING.

01 DECIDUOUS TREE PLANTING
 Scale: 3/8" = 1'-0"

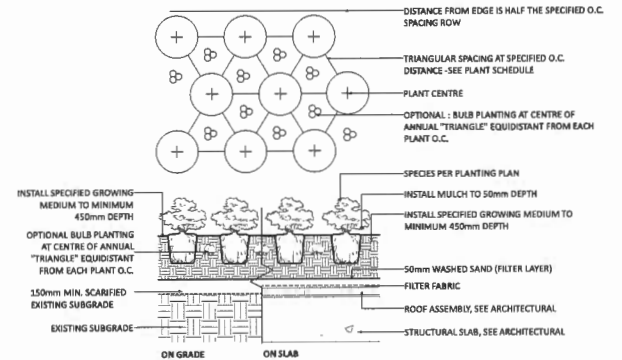


02 CONIFEROUS TREE PLANTING
 Scale: 3/8" = 1'-0"

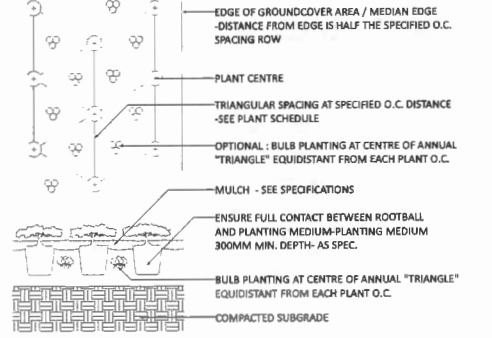


NOTES:
 1. WHERE SLOPES EXCEED 3:1, SURFACE OF SUB-GRADE TO BE TEXTURED WITH HORIZONTAL TRACKS OF BULLDOZER OR SIMILAR EQUIPMENT, AS DIRECTED BY ENGINEER.
 2. COMPACTED SUB-GRADE OR PLANTING SOIL TO BE SCARIFIED AS FOLLOWS: 6" DEPTH SUBGRADE, AND FULL DEPTH OF PLANTING SOIL.

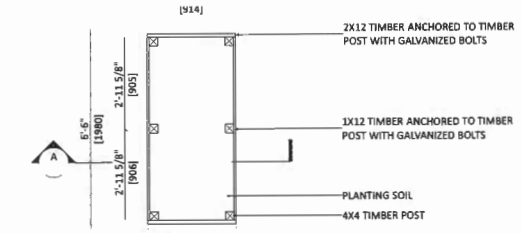
03 PROP. GROUNDCOVER PLANTING, TYP.
 Scale: 1/2" = 1'-0"



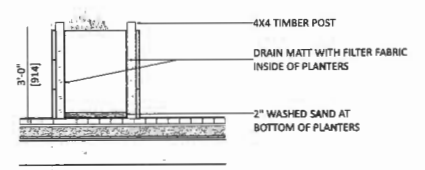
04 PROP. SHRUB PLANTING, TYP.
 Scale: 1/2" = 1'-0"



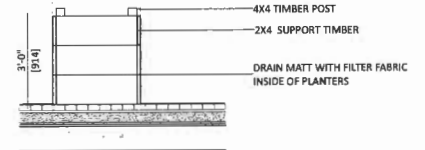
05 PROP. GROUNDCOVER PLANTING, TYP.
 Scale: 1/2" = 1'-0"



PLAN VIEW



SECTION VIEW



ELEVATION VIEW

06 PROP. AGRICULTURAL PLANTER, TYP.
 Scale: 1/2" = 1'-0"

NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC DOES NOT WARRANT THE CORRECTNESS, ACCURACY, AND SUFFICIENCY OF THE INFORMATION AND DATA PROVIDED HEREIN.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTING LOCATION AND DEPTH OF ALL UTILITIES AND FOR CONSIDERING THE LOCATION AND DEPTH OF ALL UTILITIES AND FOR NOTIFYING THE APPROPRIATE AGENCIES OF ANY UTILITIES THAT MAY BE AFFECTED BY THE PROPOSED WORK.

10	19-10-00	REVISION FOR DEVELOPMENT PERMIT
9	19-10-00	REVISION FOR DEVELOPMENT PERMIT
8	19-10-00	REVISION FOR DEVELOPMENT PERMIT
7	19-10-00	REVISION FOR DEVELOPMENT PERMIT
6	19-10-00	REVISION FOR DEVELOPMENT PERMIT
5	19-10-00	REVISION FOR DEVELOPMENT PERMIT
4	19-10-00	REVISION FOR DEVELOPMENT PERMIT
3	19-10-00	REVISION FOR DEVELOPMENT PERMIT
2	19-10-00	REVISION FOR DEVELOPMENT PERMIT
1	19-10-00	REVISION FOR DEVELOPMENT PERMIT
0	19-10-00	REVISION FOR DEVELOPMENT PERMIT

connect
 LANDSCAPE ARCHITECTURE

Yamamoto
 Architecture Inc.

202 - 33 East 1st Avenue, Vancouver, BC
 V6T 1R6 Tel: 604-731-1127 Fax: 604-731-1227

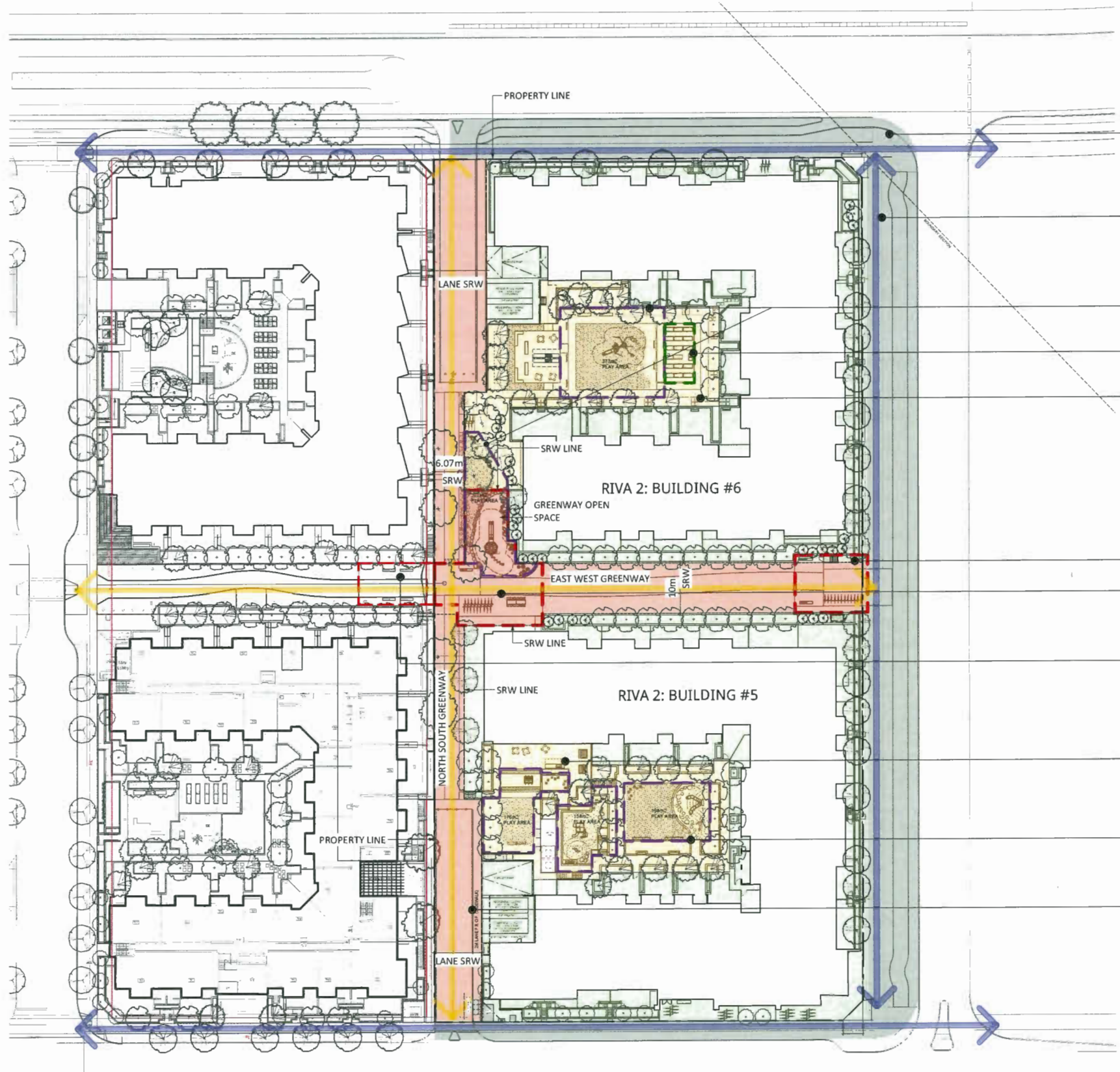
RIVA
 LANDSCAPE ARCHITECTURE
 24-7791 and 7811 Alderbridge Way

DATE: 01/20/20
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 SCALE: AS SHOWN
 DATE: 01/20/20

DETAILS
 PLANTING

L6.6

D/P 18-841057 Plan 47
 Jan 2, 2020



LANDSCAPE OPEN SPACE DIAGRAM

- RIVER ROAD SEPARATED CYCLE TRACK
- MINORU BOULEVARD SEPARATED CYCLE TRACK
- BUILDING 6 TOTAL PLAY SPACE 600 SQ.M. AREA
- BUILDING 6 URBAN AGRICULTURE 15 PLOTS (70 SQ.M. AREA)
- BUILDING 6 COURTYARD SEMI-PUBLIC RESIDENTIAL AMENITY SPACE 1,209 SQ.M. AREA
- GREENWAY ENTRY PLAZA
- GREENWAY PLAZA
- EXISTING GREENWAY PLAZA PUBLIC SEATING
- BUILDING 5 COURTYARD SEMI-PUBLIC RESIDENTIAL AMENITY SPACE 1,100 SQ.M. AREA
- BUILDING 5 TOTAL PLAY SPACE 532 SQ.M. AREA
- NORTH/SOUTH AND EAST/WEST GREENWAY OPEN SPACE AND PUBLIC RIGHT OF WAY. 2,314 SQ.M. TOTAL AREA

- PUBLIC SIDEWALK
- PUBLIC GREENWAY ROUTE
- PLAY AREA
- GREENWAY PLAZA
- URBAN AGRICULTURE

NOTES:
 CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.
 THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERMITS OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

20	1/17/21	REVISED	REVISED
21	1/17/21	REVISED	REVISED
22	1/17/21	REVISED	REVISED
23	1/17/21	REVISED	REVISED
24	1/17/21	REVISED	REVISED
25	1/17/21	REVISED	REVISED
26	1/17/21	REVISED	REVISED
27	1/17/21	REVISED	REVISED
28	1/17/21	REVISED	REVISED
29	1/17/21	REVISED	REVISED
30	1/17/21	REVISED	REVISED
31	1/17/21	REVISED	REVISED
32	1/17/21	REVISED	REVISED
33	1/17/21	REVISED	REVISED
34	1/17/21	REVISED	REVISED
35	1/17/21	REVISED	REVISED
36	1/17/21	REVISED	REVISED
37	1/17/21	REVISED	REVISED
38	1/17/21	REVISED	REVISED
39	1/17/21	REVISED	REVISED
40	1/17/21	REVISED	REVISED
41	1/17/21	REVISED	REVISED
42	1/17/21	REVISED	REVISED
43	1/17/21	REVISED	REVISED
44	1/17/21	REVISED	REVISED
45	1/17/21	REVISED	REVISED
46	1/17/21	REVISED	REVISED
47	1/17/21	REVISED	REVISED
48	1/17/21	REVISED	REVISED
49	1/17/21	REVISED	REVISED
50	1/17/21	REVISED	REVISED
51	1/17/21	REVISED	REVISED
52	1/17/21	REVISED	REVISED
53	1/17/21	REVISED	REVISED
54	1/17/21	REVISED	REVISED
55	1/17/21	REVISED	REVISED
56	1/17/21	REVISED	REVISED
57	1/17/21	REVISED	REVISED
58	1/17/21	REVISED	REVISED
59	1/17/21	REVISED	REVISED
60	1/17/21	REVISED	REVISED

connect LANDSCAPE ARCHITECTURE

Yamamoto Architecture Inc.

303-33 E 4th Ave, Vancouver, BC
 V5T 1S6 | TEL: 604-731-1177 | FAX: 604-731-1327

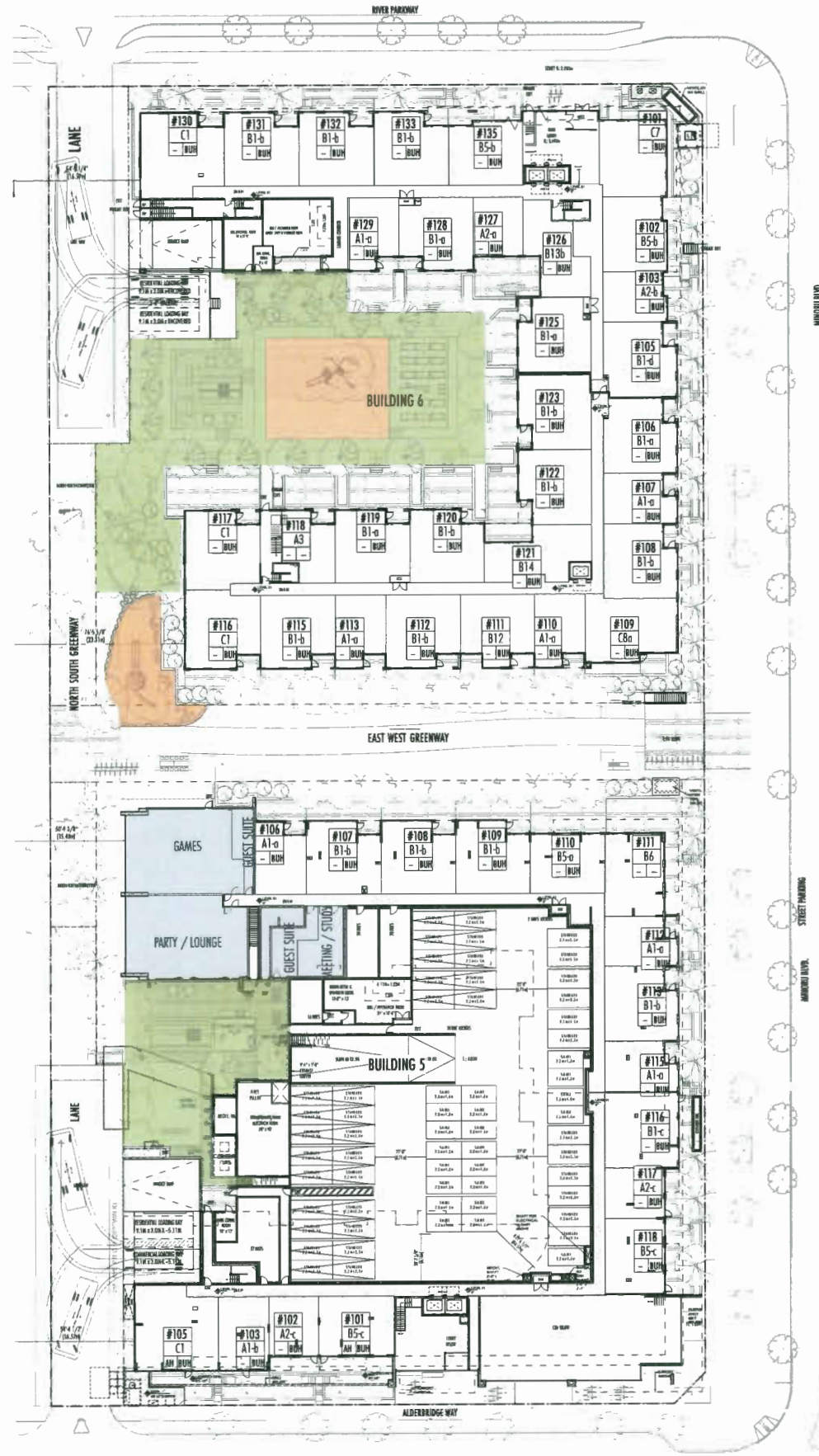
RIVA 2.0
 7281, 7281 ALDERBRIDGE WAY
 RICHMOND, BRITISH COLUMBIA

onni

DATE	2021-01-17
SCALE	1:500
DATE	2021-01-17
DATE	2021-01-17

OPEN SPACE DIAGRAM

DP 18-841057 Reference Plan
Jan 2, 2020



1 Level 1



2 Level 2

- LEGEND:
- Indoor Amenity
 - Outdoor Amenity
 - Children's Play Area

COMMON INDOOR AMENITY	828 sq m
ROOM TYPE	AREA
CARDIO	168.09 sq m
GAMES	102.29 sq m
GUEST SUITE	34.6 sq m
GUEST SUITE	26.19 sq m
MEETING / STUDY	48.33 sq m
PARTY / LOUNGE	170.21 sq m
STEAM/SALINA	23.29 sq m
VESTIBULE	7.44 sq m
WEIGHT TRAINING	146.53 sq m
YOGA/SPIN/BALLET	41.37 sq m
TOTAL	828 sq m

I	DEC 19th, 2019	RE-ISSUED FOR DP APPLICATION
II	DEC 19th, 2019	RE-ISSUED FOR DP APPLICATION
G	NOV 30th, 2019	RE-ISSUED FOR DP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR DP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 17th, 2019	RE-ISSUED FOR DP APPLICATION
B	APR 04th, 2019	RE-ISSUED FOR DP APPLICATION
A	FEB 26th, 2019	ISSUED FOR DP APPLICATION
NO	DATE	ISSUE

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing is an instrument of service to the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

Residences at Riva-2

7811 Alderbridgeway
 Richmond, BC

Common Indoor & Outdoor Amenity Strateg

SCALE	1"=20'	SHEET NO.	A.0.05
DATE	APR 8, 2019		
NO.	P5		
ORIGIN		NO.	1601



DP 18-841057 Reference Plan
 Jan 2, 2020



1 Building 51 - New River Road Perspective

H	DEC 11th, 2019	RE-ISSUED FOR DP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR DP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR DP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR DP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR DP APPLICATION
A	FEB 26th, 2019	ISSUED FOR DP APPLICATION

NO - DATE - ISSUE -

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of
 the architect and may not be used in any way without the
 written permission of this office.

**YAMAMOTO
 ARCHITECTURE**

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences at Riva-2
 7811 Alderbridge Way
 Richmond, BC

DRAWING TITLE -
Building 5 Rendering

SCALE - N/A	SHEET NO. -
DATE - APR 8, 2019	A.3.08
DRAWN - PS	

DP 18-841057 Reference Plan
 Jan 2, 2020



1 Building 06- New River Road Perspective

NO.	DATE	ISSUE
H	DEC 11th, 2019	RE-ISSUED FOR DP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR DP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR DP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR DP APPLICATION
B	APR 09th, 2019	RE-ISSUED FOR DP APPLICATION
A	FEB 26th, 2019	ISSUED FOR DP APPLICATION

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of
 the architect and may not be used in any way without the
 written permission of this office.

**YAMAMOTO
 ARCHITECTURE**

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

Residences at Riva-2
 7811 Alton Highway
 Richmond, BC

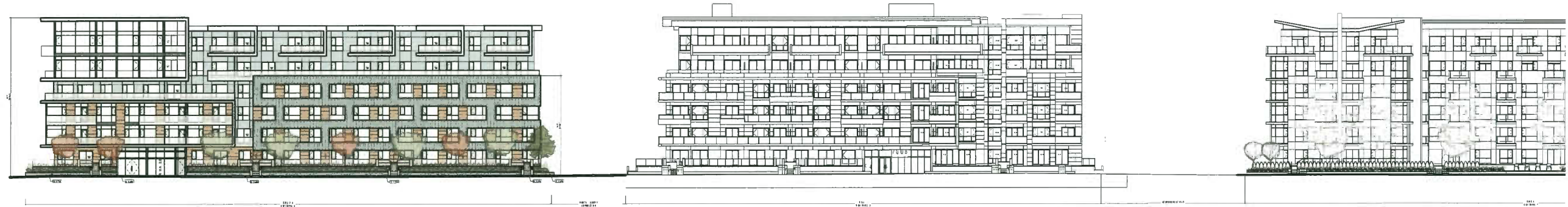
ISSUE NO. -
Building 6 Rendering

SCALE - N/A	SHEET NO. -
DATE - APR 0, 2019	A.3.09
TEAM - PS	

DP 18-841057 Reference Plan
 Jan 2, 2020



1 SE STREETScape ALONG ALDERBRIDGE WAY
1"=30'0"



2 NW STREETScape ALONG NORTH TO SOUTH LANE
1"=30'0"



3 CONTEXT PLAN
1"=30'0"



4 SITE AXO VIEW - EXISTING
1"=30'0"



5 SITE AXO VIEW - PROPOSED
1"=30'0"

I	DEC 19th, 2019	RE-ISSUED FOR DP APPLICATION
II	DEC 10th, 2019	RE-ISSUED FOR DP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR DP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR DP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR DP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR DP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR DP APPLICATION
A	FEB 26th, 2019	ISSUED FOR DP APPLICATION

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of
 the architect and may not be used in any way without the
 written permission of this office.

**YAMAMOTO
ARCHITECTURE**

202 - 33 East 8th Avenue
 Vancouver, BC V6T 1R6
 T - 604 731 1127 F - 604 731 1327

PROJECT -

Residences at Rivo-2

7811 Alderbridge Way
 Richmond, BC

DRAWING TITLE -
Context Streetscapes

SCALE - AS NOTED
 DATE - APR 8, 2019
 DRAWN - JS
 CHECKED -

SHEET NO. -
A.0.08
 PROJ NO. - 1600





1 STREETScape ALONG MINORU RD.
1/4" = 1'-0"



2 STREETScape ALONG NORTH TO SOUTH LANE
1/4" = 1'-0"



I	DEC 19th, 2019	ISSUED FOR BP APPLICATION
II	DEC 10th, 2019	RE-ISSUED FOR BP APPLICATION
G	NOV 20th, 2019	RE-ISSUED FOR BP APPLICATION
F	NOV 6th, 2019	RE-ISSUED FOR BP APPLICATION
E	OCT 25th, 2019	RE-ISSUED FOR BP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	RE-ISSUED FOR BP APPLICATION
B	APR 8th, 2019	RE-ISSUED FOR BP APPLICATION
A	FEB 26th, 2019	ISSUED FOR BP APPLICATION
NO	DATE -	ISSUE -

Copyright. All rights reserved.
Reproduction in whole or in part is prohibited.
This drawing as an instrument of service is the property of the architect and may not be used in any way without the written permission of this office.

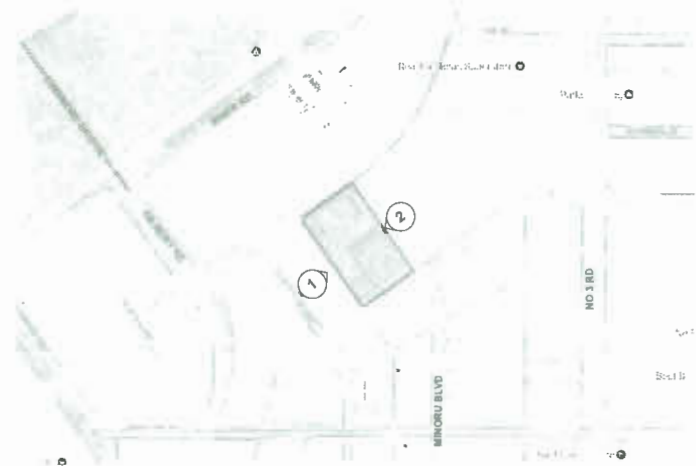
YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
Vancouver, BC V5T 1R5
T - 604 731 1127 F - 604 731 1327

PROJECT -
Residences at Rive-2
7811 Alderfordway
Richmond, BC

DRAWING TITLE -
Streetscapes

SCALE -	AS NOTED	SHEET NO. -	A.0.09
DATE -	APR 8, 2019		
DRAWN -	PS		
CHECKED -		PROJECT NO. -	1681



4 CONTEXT PLAN
1/8" = 1'-0"



5 SITE AXON VIEW - EXISTING
1/8" = 1'-0"



3 SITE AXON VIEW - PROPOSED
1/8" = 1'-0"



1 Context Aerial



5 Alderbridge Way and Minoru Blvd Intersection



7 Gilbert Rd and River Rd Intersection



9 Alderbridge Way Street Elevation



2 Context images refence



3 Gilbert Rd and River Rd Street Elevations



4 Alderbridge Way at Riva 1



6 Gilbert Rd and River Rd Intersection



8 Alderbridge Way Street Elevation



I	DEC 19th, 2019	ISSUED FOR IP APPLICATION
II	DEC 10th, 2019	REISSUED FOR IP APPLICATION
G	NOV 20th, 2019	REISSUED FOR IP APPLICATION
F	NOV 6th, 2019	REISSUED FOR IP APPLICATION
E	OCT 25th, 2019	REISSUED FOR IP APPLICATION
D	SEP 25th, 2019	ISSUED FOR COORDINATION
C	JUNE 27th, 2019	REISSUED FOR IP APPLICATION
B	APR 8th, 2019	REISSUED FOR IP APPLICATION
A	FEB 26th, 2019	ISSUED FOR IP APPLICATION
NO -	DATE -	ISSUE -

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing is an instrument of service in the property of the architect and may not be used in any way without the written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

PMAC -

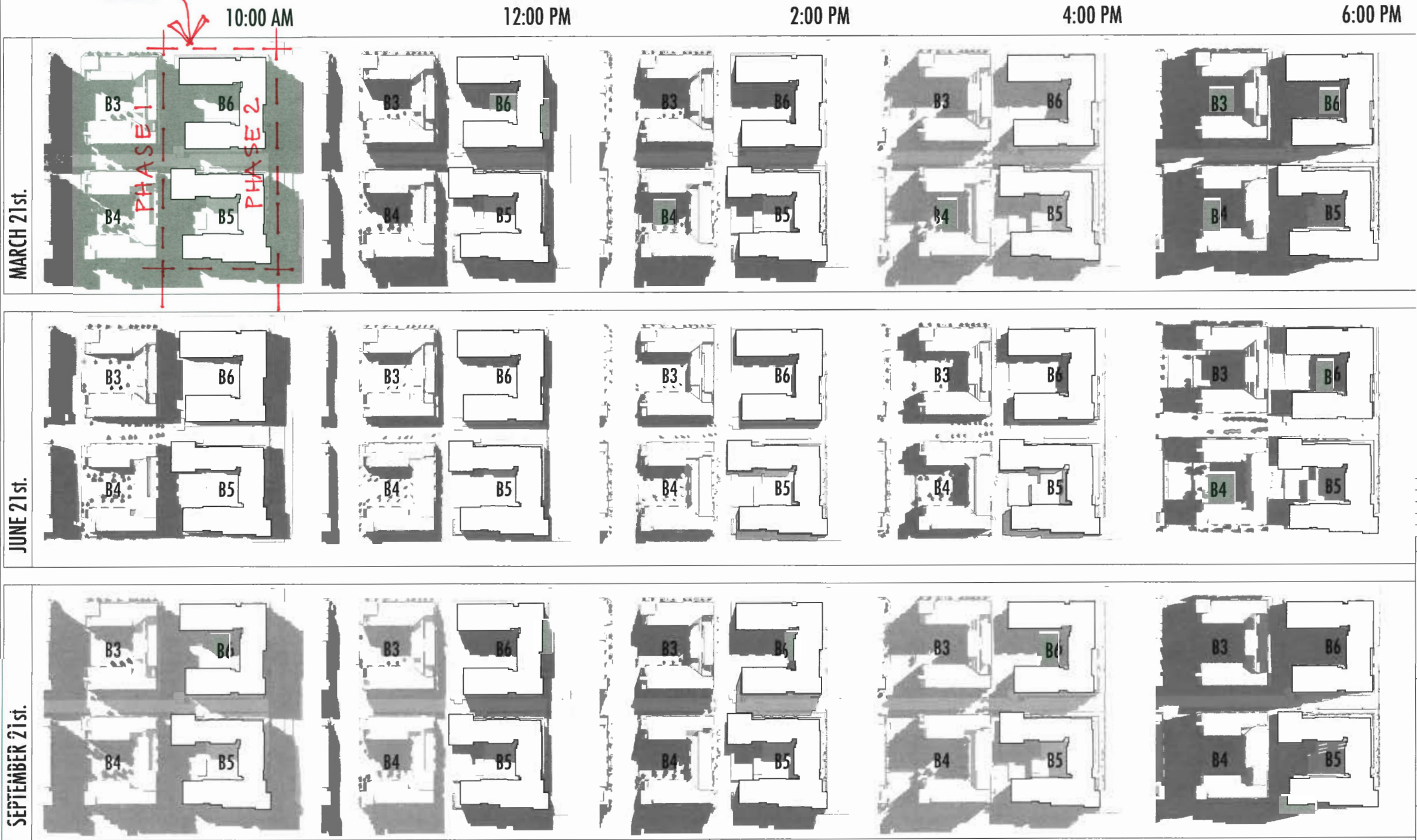
Residences at Riva-2

7811 Alderbridge Way
 Richmond, BC

DRAWING TITLE -
 Context Plan + Context Images

SCALE -	NYS	SHEET NO. -	A.0.07
DATE -	APR 8, 2019		
DRAWN -	PS		
CHECKED -		PROJ NO - 1661	

SUBJECT SITE (TYP.)



E	DEC. 19th, 2019	RE-ISSUED FOR APPLICATION
D	DEC. 11th, 2019	RE-ISSUED FOR APPLICATION
C	JUNE 27th, 2019	RE-ISSUED FOR APPLICATION
B	APR. 26th, 2019	RE-ISSUED FOR APPLICATION
A	FEB. 26th, 2019	ISSUED FOR APPLICATION
NO.	DATE	ISSUE

Copyright. All rights reserved.
 Reproduction in whole or in part is prohibited.
 This drawing as an instrument of service is the property of
 the architect and may not be used in any way without the
 written permission of this office.

YAMAMOTO ARCHITECTURE

202 - 33 East 8th Avenue
 Vancouver, BC V5T 1R5
 T - 604 731 1127 F - 604 731 1327

Residents at Riva-2

Alderbridge
 Richmond, BC

SHADING STUDY -
 Shadow Studies

SCALE -	NTS	SHEET NO. -	A.0.13
DATE -	Jan 24, 2020		
DESIGNER -	VE		
PROJECT -		PROJECT -	1401

DP 18-841057 Reference Plan
 Jan 2, 2020