



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: November 19, 2019

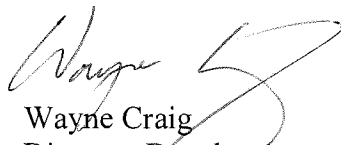
From: Wayne Craig
Director, Development

File: DP 18-822743

Re: **Application by GBL Architects for a General Compliance Ruling at
6340 No. 3 Road**

Staff Recommendation

That the attached plans to apply a public art element to the glazing of the southwest corner of the project facing No. 3 Road and Cook Road, to change the glazing on the second floor west and south elevations of the office building facing No. 3 Road and Cook Road, and include painted design elements on the east elevation of the parkade podium wall facing the lane/pedestrian mews be considered to be in General Compliance with Development Permit (DP 18-822743).



Wayne Craig
Director, Development
(604-247-4625)

WC:mm
Att. 5

Staff Report

Origin

GBL Architects has requested a General Compliance ruling regarding changes to Development Permit (DP 18-822743) for a 15-storey, 53,794 m² (579,027 ft²), mixed-use development at 6340 No. 3 Road on a site zoned “High Density Mixed Use and ECD Hub (ZMU37) – Brighthouse Village (City Centre)” (Attachment 1). The project includes three apartment towers and one office tower located above a large podium that includes interior parking and service areas, and retail space facing the public realm on the north, south and west sides of the project. This Development Permit was endorsed by Development Permit Panel on September 26, 2018, and was approved along with the rezoning for the project (RZ 17-773703) at the October 22, 2018 meeting of Council.

This Staff Report summarizes the proposed modifications to the Development Permit including changes to the glazing of the southwest corner of the project facing No. 3 Road and Cook Road, changes to the glazing on the second floor of the west and south elevations of the office building facing No. 3 Road and Cook Road, and changes to accommodate painted design elements on the east elevation of the building podium facing the lane/pedestrian mews. These proposed changes were also outlined in the Staff Report to the above-noted Development Permit Panel (DP Panel) meeting.

Background

Development surrounding the subject site is as follows:

- To the North: Adjacent, an undeveloped City lot subject to an application (DP 11-593871) to construct a Bus Mall adjacent to the Brighthouse Canada Line Station in keeping with the City Centre Area Plan (CCAP) that was approved on July 22, 2019 and is zoned “Downtown Commercial (CDT1)” (DP 11-584010).
- To the East: Across the north-south City lane, at 6411 Buswell Street, an existing, low scale commercial and office use development and is zoned “Downtown Commercial (CDT1)”.
- To the South: Across Cook Road, existing, low-scale commercial buildings with surface parking and are zoned “Downtown Commercial (CDT1)”.
- To the West: Across No. 3 Road, the Richmond Centre Mall site, which is zoned “Downtown Commercial (CDT1)” and is subject to an Official Community Plan (OCP) amendment application (CP 16-752923), as well as a Development Permit application (DP 17-768248) for the first phase of mall redevelopment and new mixed-use building development, and are pending approval by City Council.

Staff Comments

The proposed changes to the scheme attached to this report are in general compliance with the original Development Permit considered by the Development Permit Panel (Attachment 2). In addition, the modified proposal (Attachment 3) complies with the intent of the applicable sections of the Official Community Plan (OCP), the City Centre Area Plan (CCAP), and is in compliance with the “High Density Mixed Use and ECD Hub (ZMU37) – Brighthouse Village (City Centre)” zone.

Planned Public Art for the Southwest Corner of the Development

Under the approved Development Permit plans, a large triangular public art element is planned to be applied to the angled façade at the southwest corner of the office building facing the intersection of No. 3 Road and Cook Road. The approved plans specifically identified the angled corner area for a special façade treatment to be finished with uniquely coloured and patterned glass to differentiate it from the remainder of the facades. In this regard, the Staff Report to the September 26, 2018 Development Permit Panel stated:

“Once the art concept is determined and the technicalities of its implementation within the facade are fully understood, a General Compliance application will be required to modify the approved Development Permit and a general compliance report will be brought forward to the DP Panel for consideration.”

This corner of the development was included the Public Art Plan proposal at time of review of the original Development Permit plans. In follow-up to this consideration, the Richmond Public Art Advisory Committee (RPAAC) endorsed the Public Art Plan for this project at their meeting on October 16, 2018.

In follow-up to this endorsement by the RPAAC, the City prepared a “Call to Artists” in October, 2018 (Attachment 4). Through this process, City Public Art staff have commissioned Musqueam artist, Thomas Cannell, to prepare the Public Art design, “Sea to Sky”, which is proposed to be applied to the southwest corner of the building (shown in Attachment 3). The artist will work with the art glass fabricator, Franz Mayer of Munich, Germany to translate the artwork onto the glass curtain wall. This firm will use a combination of digital print technology, hand painting and airbrushing to transfer the artwork design into the Insulated Glazing Units (IGUs). The firm has confirmed that this method of production will ensure the artwork will last for a minimum of 40 years. Franz Mayer maintains quality standards to develop new artistic expressions in stained glass and mosaic in restoring historic buildings and creating contemporary projects for artists and architects worldwide. The firm has prepared custom samples of the proposed public art glass which have been reviewed by the applicant, the artist, City Child Care, Public Art and Planning staff (see glass sample photograph in Attachment 5). The artist will work with Franz Mayer and Keltic Development Ltd. to further refine the art glass fabrication technique prior to production of the glass.

The renderings of the selected public art and art glass sample were reviewed by and endorsed by the RPAAC on November 18, 2019.

Proposed Changes to Elevations

The Staff Report to the September 26, 2018 Development Permit Panel meeting also identified two other smaller areas of the building where additional design development detail would need to be provided and reviewed through a General Compliance application.

These areas include:

- *West and South Elevations - Early Childhood Development (ECD) Hub Glazing:* The ECD Hub was proposed have coloured glass applied to its windows on the second floor of the office building facing Cook Road and No. 3 Road and its pedestrian entrance at street level. The coloured glass, which was proposed to include both vision and spandrel panels, was to be coordinated with the glass colours used in the façade over the office tower entry. The original DP Panel Report stated:

“Should the Public Art proposal move forward, the ECD Hub glass design may require modification to ensure an appropriate relationship with the Public Art work colours and design. If so, it would be included in the General Compliance application for the Public Art.”

Upon further review by City Public Art, Project Development and Child Care staff, it has been determined that the same clear vision glass and spandrel panels proposed for rest of the office building should be specified in lieu of coloured glass on the second floor of the ECD Hub. This would also for most of the rooms in the ECD Hub to have a clear, unobstructed view towards the outside. The glazing at the street-level entrance to the ECD Hub has been specified to include coloured glass to be coordinated with the public art element at the southwest corner of the building.

- *East Elevation - North-South Pedestrian Mews:* The north-south pedestrian mews and lane on the east elevation of the office building is bordered on its lower levels by the development's parkade and service rooms. To enliven the pedestrian experience along the mews, the approved Development Permit plans included a notation that artistic decorative finish be applied to the lower levels of the building. The original Staff Report to DP Panel noted that these changes would be advanced for consideration in the General Compliance report along with the proposed Public Art and ECD Hub façade changes, if applicable.

In this regard, the applicant has worked with City staff to revise the lower section of the east elevation to include two painted modern, artistic design elements and complementary landscaping as shown in Attachment 3.

Analysis

Applicable Conditions of Adjacency and Landscape

- The location for the proposed public art element on the angled southwest corner of the building was included within the approved Development Permit plans. The proposed art element and selected coloured art glass will provide a focal point for the plaza at the southwest corner of the building and the adjacent streetcape on No. 3 Road and Cook Road. The variety of colours and textured painting technique will provide a rich and

nuanced form on the glazing of this corner of the building. From further away, the public art element will provide a landmark looking north along No. 3 Road and from the Richmond Centre development to west.

- The removal of the coloured glass proposed for the west and south facing windows of the ECD Hub on the second floor of the office building will remove visual distraction away from the public art on the southwest corner of the building and provide a better visual experience within ECD Hub by providing standard vision glass. There will be several coloured glass panels applied to the glazing to provide a visual cue for the pedestrian entrance to the ECD Hub at street level on No. 3 Road.
- The painted design element applied to the east side of the concrete parkade podium facing the lane/pedestrian mews on the rear side of the building will provide for an interesting visual experience to pedestrians. Furthermore, there have been adjustments to the location of the louvered building vents and the adjacent plantings along the base of the east elevation of the building to soften the appearance of the building and improve the pedestrian experience on the adjacent mews. The 12 Acer Circinatum (Vine Maple) trees with spreading branches have been replaced with 12 columnar Acer Rubrum (Red Rocket Maple) trees. This change from this broader to more slender tree species will provide a better view of the painted design element on the building behind the trees.

Conclusions

GBL Architects has requested a General Compliance ruling for proposed changes to the glazing of the southwest corner of the project facing No. 3 Road and Cook Road, changing the glazing on the ECD Hub on the second floor of the west and south elevations of the office building facing No. 3 Road and Cook Road, and accommodating painted design elements facing the lane/pedestrian mews on the east side of the site.

Staff have no objection to the proposed revisions. Staff recommends support of this General *Compliance request* for the proposed changes to the approved Development Permit.



Mark McMullen
Senior Coordinator - Major Projects
(604-276-4173)

MM:blg

Attachment 1: Context Map

Attachment 2: Relevant Approved Development Permit Plans

Attachment 3: Proposed New Development Permit Plans

Attachment 4: Call to Artists RFP for the Keltic Development, October 2018

Attachment 5: Photograph of Public Art Glass Sample

nuanced form on the glazing of this corner of the building. From further away, the public art element will provide a landmark looking north along No. 3 Road and from the Richmond Centre development to west.

- The removal of the coloured glass proposed for the west and south facing windows of the ECD Hub on the second floor of the office building will remove visual distraction away from the public art on the southwest corner of the building and provide a better visual experience within ECD Hub by providing standard vision glass. There will be several coloured glass panels applied to the glazing to provide a visual cue for the pedestrian entrance to the ECD Hub at street level on No. 3 Road.
- The painted design element applied to the east side of the concrete parkade podium facing the lane/pedestrian mews on the rear side of the building will provide for an interesting visual experience to pedestrians. Furthermore, there have been adjustments to the location of the louvered building vents and the adjacent plantings along the base of the east elevation of the building to soften the appearance of the building and improve the pedestrian experience on the adjacent mews. The 12 Acer Circinatum (Vine Maple) trees with spreading branches have been replaced with 12 columnar Acer Rubrum (Red Rocket Maple) trees. This change from this broader to more slender tree species will provide a better view of the painted design element on the building behind the trees. There has also been a change to planters adjacent to the east wall and a drop in the planter wall height to reduce screening of the proposed painted design element.

Conclusions

GBL Architects has requested a General Compliance ruling for proposed changes to the glazing of the southwest corner of the project facing No. 3 Road and Cook Road, changing the glazing on the ECD Hub on the second floor of the west and south elevations of the office building facing No. 3 Road and Cook Road, and accommodating painted design elements facing the lane/pedestrian mews on the east side of the site.

Staff have no objection to the proposed revisions. Staff recommends support of this General Compliance request for the proposed changes to the approved Development Permit.



Mark McMullen
Senior Coordinator - Major Projects
(604-276-4173)

MM:blg

Attachment 1: Context Map

Attachment 2: Relevant Approved Development Permit Plans

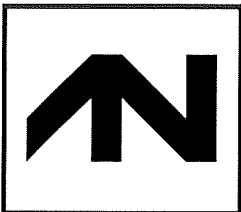
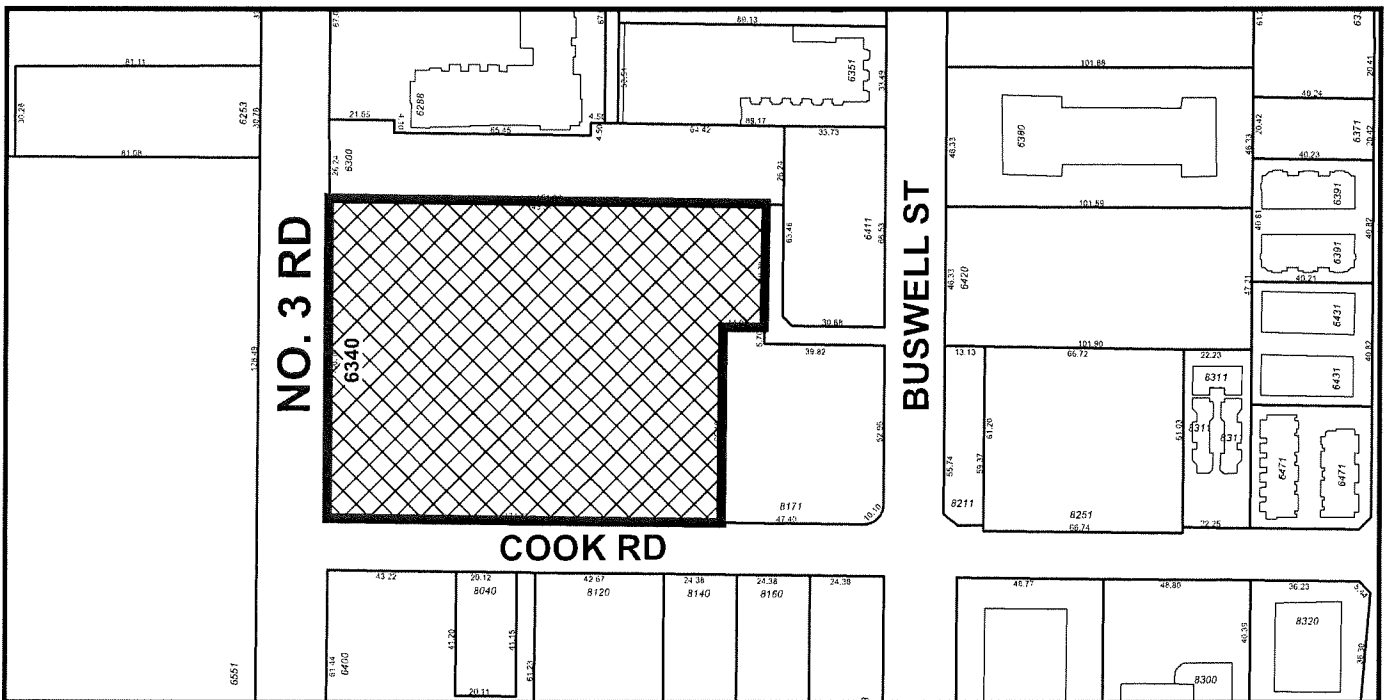
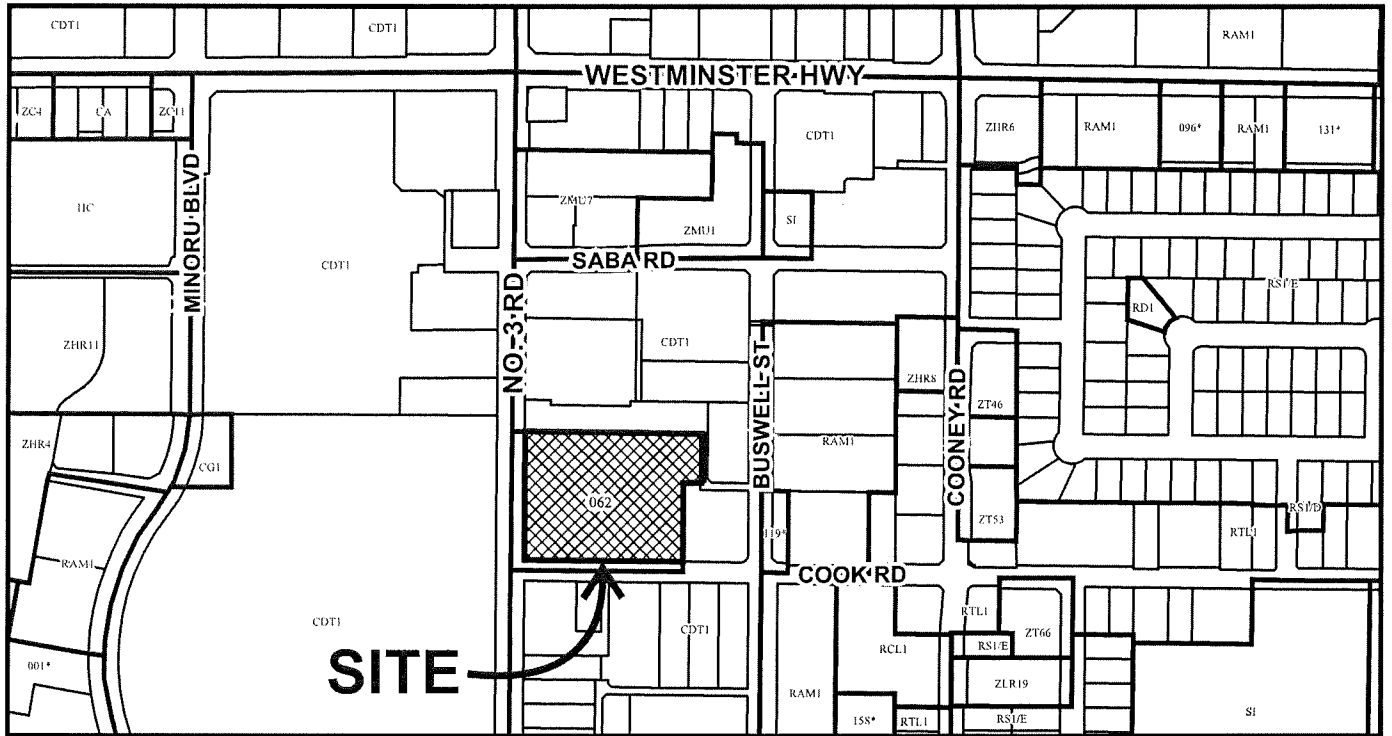
Attachment 3: Proposed New Development Permit Plans

Attachment 4: Call to Artists RFP for the Keltic Development, October 2018

Attachment 5: Photograph of Public Art Glass Sample



City of Richmond



DP 18-822743

Original Date: 06/25/18

Revision Date:

Note: Dimensions are in METRES

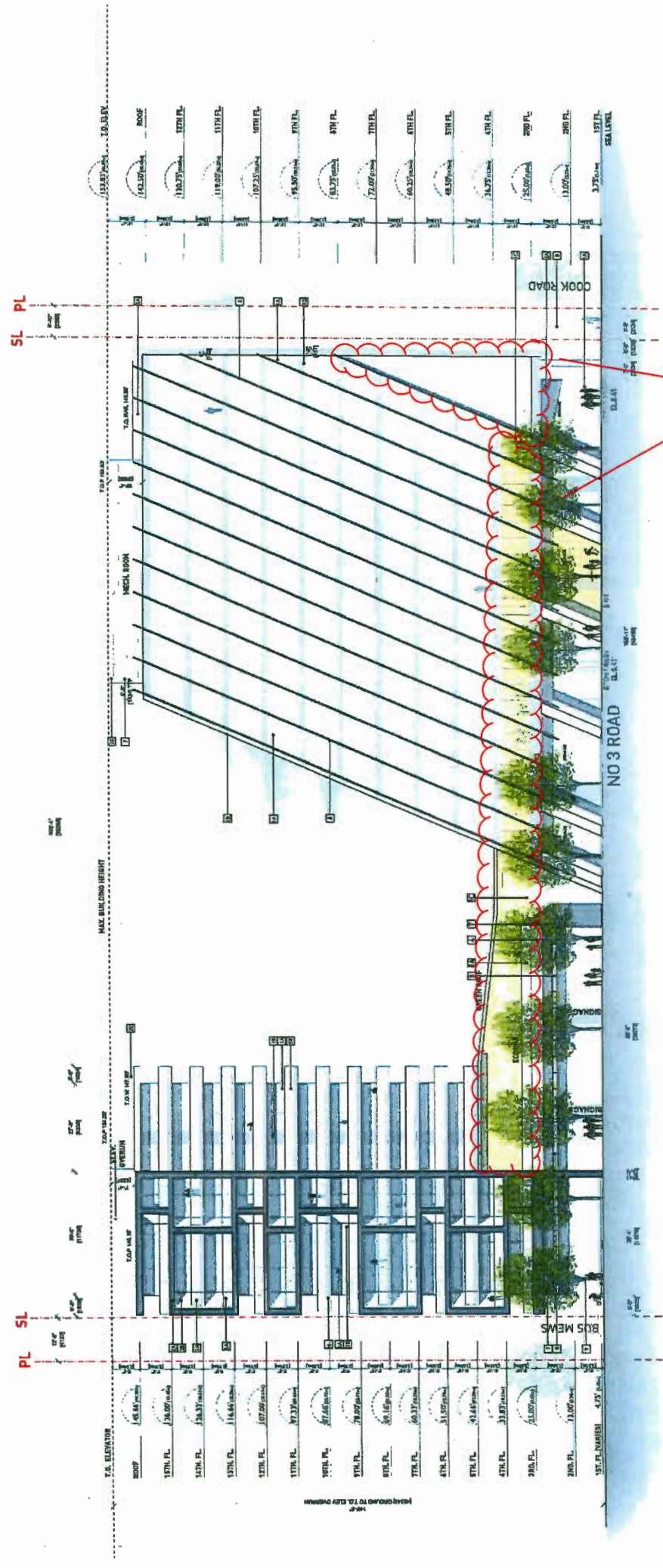
gbl *group inc.*

OP 18-822743

MATERIALS

#	DESCRIPTION	COLOR
1A	CLEAR GLAZING	-
1B	BACK-PAINTED GLAZING SPANDREL	WHITE
1C	COLOURED LAMINATED GLAZING	BRONZE
2A	ALUMINUM COMPOSITE PANEL - FRAME EDGE	WHITE
2B	ALUMINUM COMPOSITE PANEL - FRAME INTERIOR	-
3	CUSTOM PERFORATED METAL SCREENING	NATURAL
4	ARCHITECTURAL CONCRETE	-
5A	GLASS GUARD	-
5B	GLASS GUARD	BRONZE
6	EXTRUDED ALUMINUM SUNSHADE	-
7	ALUMINUM LOUVERS	-
8	GLAZED CANOPY	-
9	STOREFRONT MULLIONS	CHARCOAL

GLAZING NOTES:
 - RESIDENTIAL GLAZING TO BE WINDOWWALL
 - OFFICE TOWER GLAZING TO BE CURTAINWALL
 - GROUND FLOOR RETAIL TO BE STOREFRONT WITH INTEGRATED LOUVERS.



Areas Proposed to be Changed

REVISIONS

NO.	DATE	REMARKS
01	18.03.21	ISSUED FOR I/P
02	18.04.20	REVISION ISSUED FOR I/P
03	18.07.20	DPP DRAFT
04	18.08.19	ISSUED FOR COORDINATION
05	18.08.24	ISSUED FOR I/P

6340 NO 3 RD
 RICHMOND, BC

MIXED-USE
 WEST ELEVATION

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 SCALE: _____
 JOB NUMBER: 1646

A3.01



GBL ARCHITECTS
 201 EASTERN AVENUE
 VANCOUVER, BC V6A 2K1
 TEL: 604.271.1677
 FAX: 604.271.1679
 WWW.GBLARCHITECTS.COM

PLAT INFO

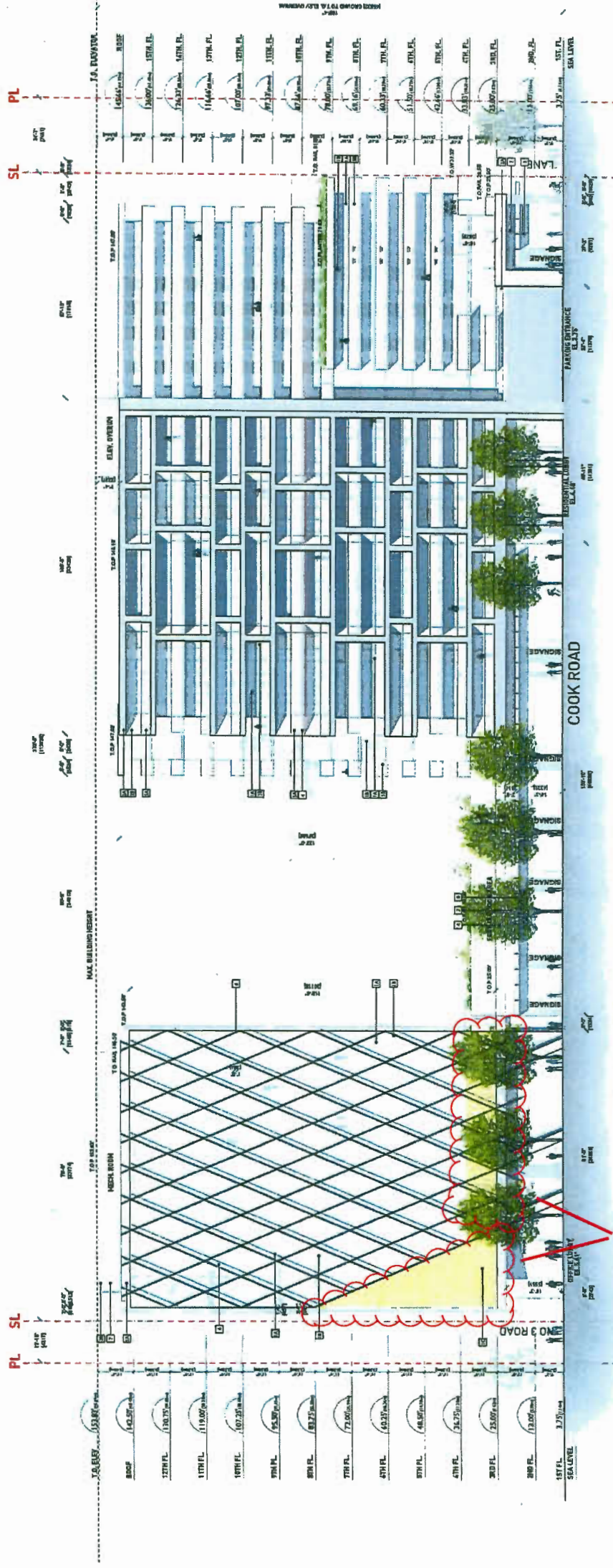
NOTES

DP 18-822743

MATERIALS

#	DESCRIPTION	COLOUR
1A	CLEAR GLAZING	WHITE
1B	BACK-PAINTED GLAZING SPANDREL	WHITES
1C	COLOURED LAMINATED GLAZING	BRONZE
2A	ALUMINIUM COMPOSITE PANEL - FRAME EDGE	WHITE
2B	ALUMINIUM COMPOSITE PANEL - FRAME INTERIOR	NATURAL
3	CUSTOM PERFORATED METAL SCREENING	BRONZE
4	ARCHITECTURAL CONCRETE	CHARCOAL
5A	GLASS GUARD	
5B	GLASS GUARD	
6	EXTRUDED ALUMINIUM SUNSHADE	
7	ALUMINIUM LOUVERS	
8	GLAZED CANOPY	
9	STOREFRONT HULLIONS	

GLAZING NOTES:
 - HORIZONTAL GLAZING TO BE WINDOW WALL
 - OFFICE TOWER GLAZING TO BE CURTAINWALL
 - GROUND FLOOR METAL TO BE STOREFRONT ON INTEGRATED LOUVERS



Areas Proposed to be Changed

REVISIONS

NO.	DATE	REMARKS
01	18.04.21	ISSUED FOR DP
02	18.04.20	REVISION ISSUED FOR DP
03	18.07.20	DPF DRAFT
04	18.08.16	ISSUED FOR COORDINATION
05	18.08.24	ISSUED FOR DPF

6340 NO 3 RD
 RICHMOND, BC

MIXED-USE
 SOUTH ELEVATION

DATE: 18.08.24
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1:200
 JOB NUMBER: 1646

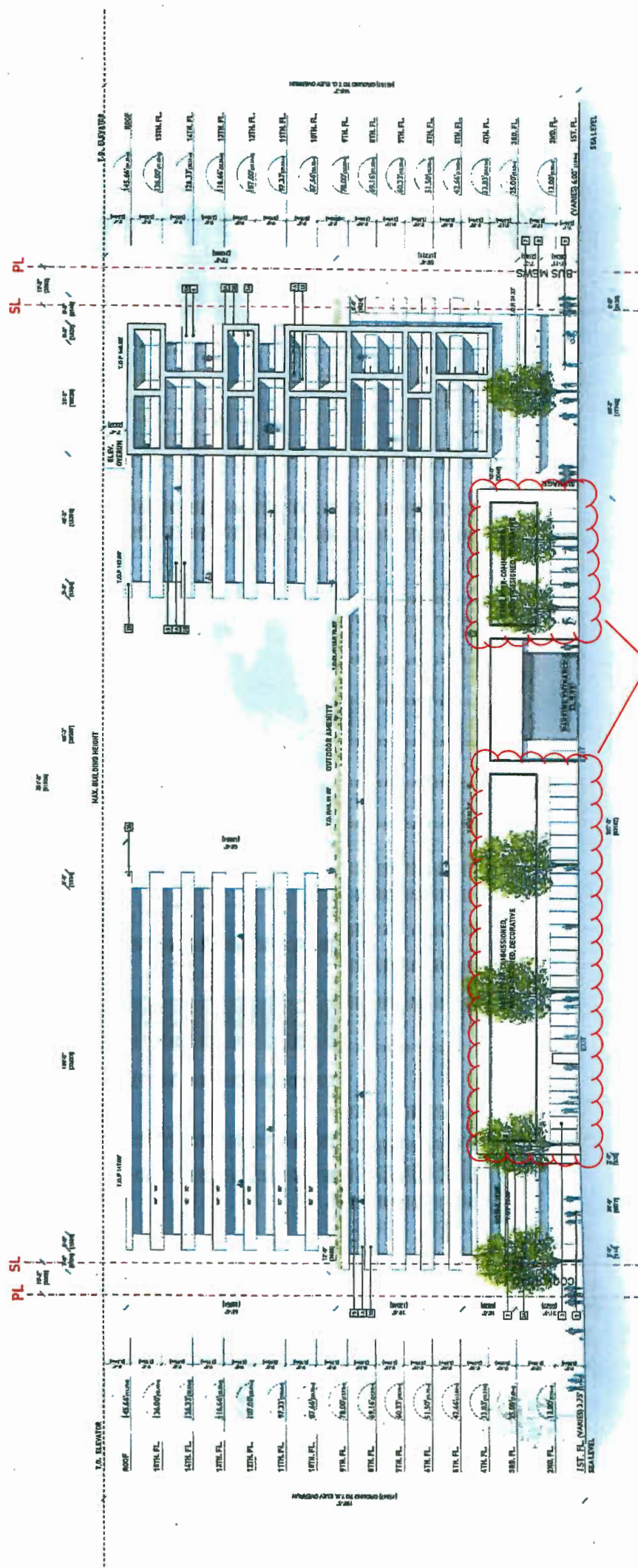
A3.02

OP 18-822743

MATERIALS

#	DESCRIPTION	COLOUR
1A	CLEAR GLAZING	WHITE
1B	BACK-PAINTED GLAZING SPANDREL	VARIES
1C	COLORURED LAMINATED GLAZING	BRONZE
2A	ALUMINUM COMPOSITE PANEL - FRAME EDGE	WHITE
2B	ALUMINUM COMPOSITE PANEL - FRAME INTERIOR	NATURAL
3	CUSTOM PERFORATED METAL SCREENING	
4	ARCHITECTURAL CONCRETE	
5A	GLASS GUARD	
5B	GLASS GUARD	
6	EXTRUDED ALUMINUM SUNSHADE	BRONZE
7	ALUMINUM LOUVERS	
8	GLAZED CANOPY	
9	STOREFRONT MULLIONS	CHARCOAL

GLAZING NOTES:
 - OPERATIONAL GLAZING TO BE WINDOW WALL
 - OPERATIONAL GLAZING TO BE CONTAINMENT WALL
 - OPERATIONAL GLAZING TO BE STOREFRONT LOW INTERMEDIATE LOWERS.



Areas Proposed to be Changed



6340 NO. 3 RD
RICHMOND, BC

MIXED-USE
EAST ELEVATION

DATE
DRAWN BY
CHECKED BY
SCALE
JOB NUMBER

A3.03

DP 18-018-822743
 PWL partnership

gbl

- REVISIONS
- | NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 18-04-18 | ISSUED FOR PERMITS |
| 2 | 18-04-18 | ISSUED FOR PERMITS |
| 3 | 18-04-18 | ISSUED FOR PERMITS |
| 4 | 18-04-18 | ISSUED FOR PERMITS |



Areas Proposed to be Changed

NOTE: Some elements may be refined through coordination of the Service Agreement (S.A.) Frontage Work.

PROJECT
 6340 No. 3 Road

ADDRESS
 6340 No. 3 Road
 Richmond, BC V6V 2B3
 LOT 100 SECTION 9 BLOCK 4
 NORTH OF GAGE ROAD PLAN 44567

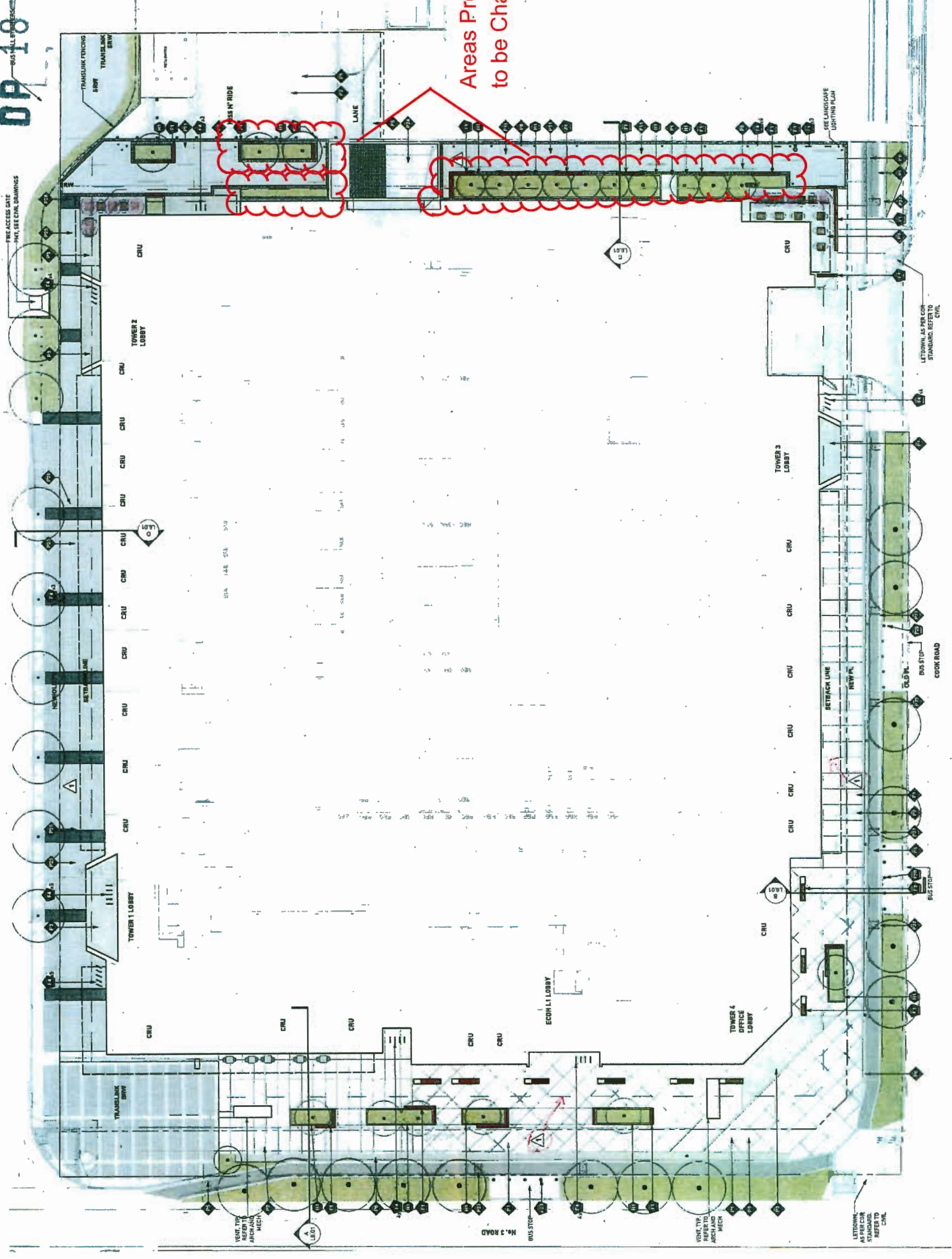
MATERIALS PLAN

Level 1

SCALE
 1:200

PROJECT NO.	17017
DATE	27 March 2018
REVISION	17017 PWL_018A_000000
DATE	18-04-18
DESIGNER	MT
CHECKER	KY

L1_01



#AD

2743

Op 18-89

PWL partnership

gbl

BRITISH COLUMBIA SOCIETY OF
REGISTERED
MEMBER
H. GRANT BRUMPTON
LANDSCAPE ARCHITECT
297

Plant List

6340 No.3 Road, Richmond BC

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
TREES						
ACR	29	Acer circinatum	Vine Maple	3.0m ht. (10'-0" ht.)	As Shown	B&B Nursery grown, minimum 3 stems
AGR	38	Acer glabrum	Paper Bark Maple	5.0m cal. (17" cal.)	As Shown	B&B Uniform branching, dense tree, 6' (1.8m) ht.
AGS	1	Acer palmatum 'Spect'	Japanese Maple	8.0m cal. (26" cal.)	As Shown	B&B Uniform branching, dense tree, 7' (2.1m) ht.
AGA	27	Acer palmatum 'Mikano'	Japanese Maple	8.0m cal. (26" cal.)	As Shown	B&B Uniform branching, dense tree, 7' (2.1m) ht.
ART	1	Acer rubrum 'Red Rocket'	Red Rocket Red Maple	8.0m cal. (26" cal.)	As Shown	B&B Uniform branching, dense tree, 7' (2.1m) ht.
BNI	3	Betula nigra	River Birch	5.0m cal. (17" cal.)	As Shown	B&B, Clump form, well branched
FCI	1	Ficus carica 'Dessert King'	Desert King Fig	5.0m cal. (17" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8m) ht.
HGL	1	Magnolia glauca	Glossy Magnolia	5.0m cal. (17" cal.)	As Shown	B&B, Well branched, dense tree, 6' (1.8m) ht.
HRG	1	Hamamelis virginica	Witch Hazel	2.4m ht. (8'-0" ht.)	As Shown	B&B, Well branched, dense tree, 6' (1.8m) ht.
POR	1	Picea canadensis	Sitka Spruce	2.4m ht. (8'-0" ht.)	As Shown	B&B, Well branched, dense tree
PQ2-1	1	Picea canadensis	Sitka Spruce	2.4m ht. (8'-0" ht.)	As Shown	B&B, Well branched, dense tree
PHG	8	Pinus nigra	Autumn Black Pine	7.0m cal. (22" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8m) ht.
PVA	10	Pinus yunnanensis 'Mikano'	Diyereak Flowering Cherry	8.0m cal. (26" cal.)	As Shown	B&B, Uniform branching, dense tree, 7' (2.1m) ht.
PVL	7	Quercus palustris	Pin Oak	8.0m cal. (26" cal.)	As Shown	B&B, Uniform branching, dense tree, 7' (2.1m) ht.
SHRUBS						
BAW	153	Baccharis myrsinites 'Winter Gem'	Winter Gem Broomrape	45 cm (18")	Well established	Well established
BEN	71	Baccharis myrsinites	Sage	45 cm (18")	Well established	Well established, nursery grown
LP	88	Leucocorypha	Prickly Honeysuckle	45 cm (18")	Well established	Well established
PMP	236	Pinus mugo 'Pumila'	Dwarf Mugo Pine	45 cm (18")	Well established	Well established
RWM	323	Rosa 'White Medallion'	White Medallion Rose	45 cm (18")	Well established	Well established
SHI	1028	Shibubakia 'Nectarinal'	Red Spotted Dogwood	45 cm (18")	Well established	Well established
SLP	159	Skimmia japonica	Japanese Skimmia	45 cm (18")	Well established	Well established
TMA	127	Taxus x media 'H.M.Edge'	H.M.Edge Yew	40 cm (16")	Well established	Well established, dense hedging plant / B & B
YV	156	Viburnum dentatum	Dwarf Viburnum	45 cm (18")	Well established	Well established
GROUND COVER						
AU	272	Arctostaphylos uva-ursi	Kentucky	15 cm (6") leads	Minimum 3 leads	Minimum 3 leads
BE	75	Berberis thunbergii	Emerald Green Wintercreeper	38 cm (15")	Minimum 3 leads	Minimum 3 leads
PIU	377	Polygonum orientale	Japanese Spurge	38 cm (15")	Minimum 3 leads	Minimum 3 leads
PERENNIALS						
LAA	1203	Leucoloma axillare	Tree Lander	45 cm (18")	Well established	Well established
ORV	45	Origanum vulgare	Oregano	36 cm (14")	Well established	Well established
REB	335	Rubus idaeus 'Black-Eyed Susan'	Black-Eyed Susan	45 cm (18")	Well established	Well established
SJA	149	Stachys jamaicensis	Lamb's Ear	38 cm (15")	Well established	Well established
ORNAMENTAL GRASSES						
CAK	77	Chamaecrista x 'Karl Foerster'	Karl Foerster Feather Reedgrass	75 cm (30")	Well established	Well established
COB	41	Carex morrowii 'Ice Dance'	Principled Sedge	45 cm (18")	Well established	Well established
POB	1231	Panicum bispagnum 'Hammer'	Hammer Grass	45 cm (18")	Well established	Well established
HERBACEOUS						
ESP	56	Erythronium albidum	Dwarf Fern	38 cm (15")	Well established, nursery grown	Well established, nursery grown
PMU	717	Polygonum multiflorum	Western Sward Fern	45 cm (18")	Well established, nursery grown	Well established, nursery grown

Extensive green roof on L4 to be 6" LiveRoof trays with sun mix.

Note: All planting to be irrigated with high-efficiency, automated irrigation system

Changes to Plant List Proposed for Changed
Landscape Areas

PROJECT
6340 No. 3 Road

DATE
6340 No.3 Road
Richmond, BC V6Y 2B3
LOT 169 SECTION 8 BLOCK 4
NORTH RANGE 6 NPOD PLAN 41547

PLANT LIST

DATE	N/A
REV	17017
DATE	27 October 2018
BY	17017 Plan, H. Grant Brumpton
DATE	18-8-23
BY	MT
DATE	27

L2_00

11

DP 18-000-822743

PWL partnership

gbl

gbl

NO.	DATE	DESCRIPTION
1	10-24-17	ISSUED FOR PERMIT
2	11-28-17	REVISED PER PERMIT
3	12-14-17	REVISED PER PERMIT
4	12-29-17	REVISED PER PERMIT



NOTE: Some elements may be added through coordination of the Service Agreement (S.A.) Fringe Work.

6340 No. 3 Road

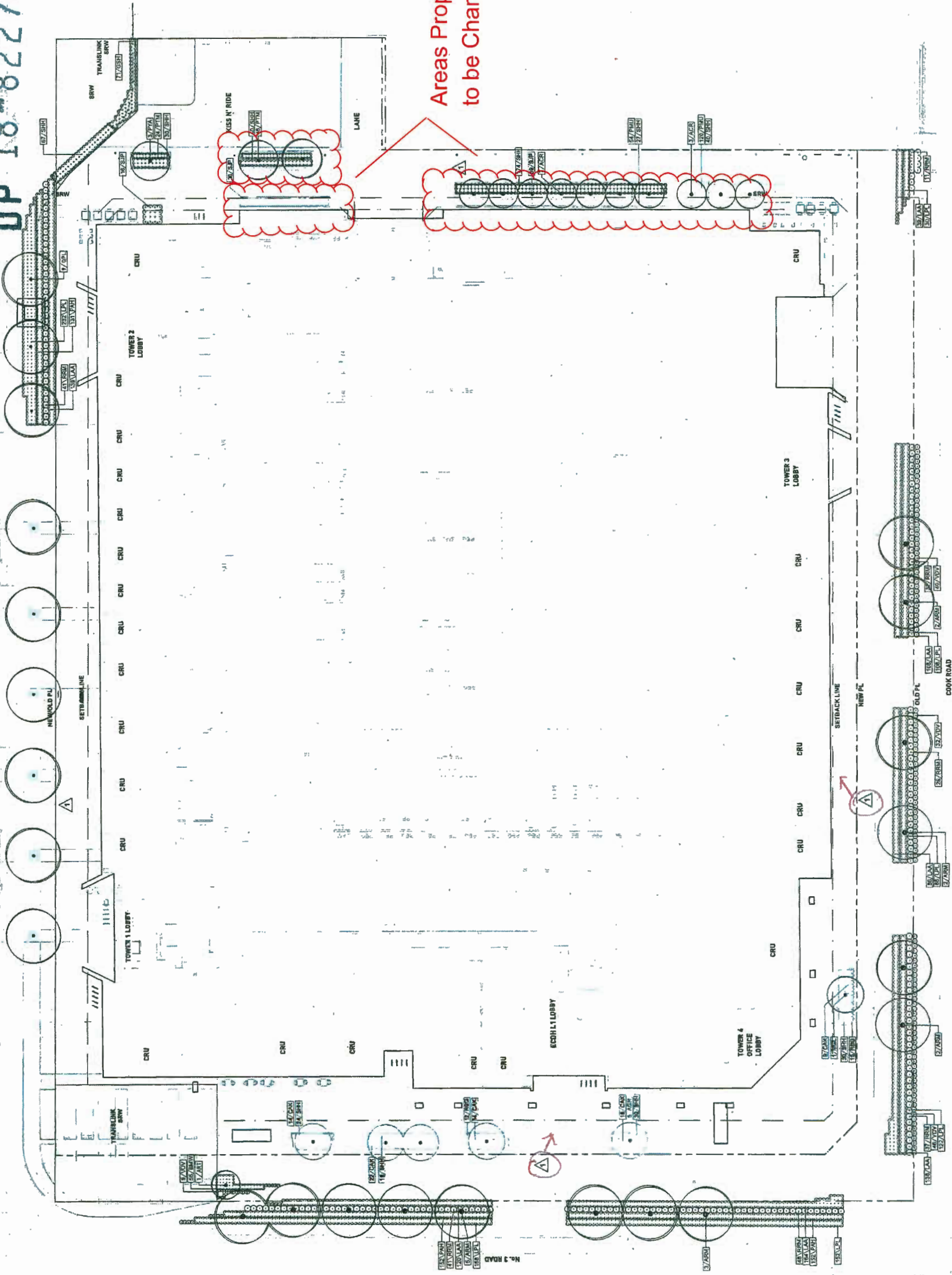
6340 No. 3 Road
Richmond, BC V6V 2B3
LOT 100 SECTION 8 BLOCK 4
NORTH RANGE 5 NWD PLAN 41547

Planting Plan
Level 1



PROJECT NO.	DATE	SCALE
18-000-822743	27 March 2018	1:200

L2_01





GBL ARCHITECTS INC.
 107 EAST 8TH AVENUE
 VANCOUVER, BC CANADA V6T 1B8
 TEL: 604.736.1156
 FAX: 604.736.1507
 WWW.GBLARCHITECTS.COM
 ALL RIGHTS RESERVED. PHOTOGRAPHY BY GBL ARCHITECTS INC. AND NOT BY THE CLIENT.
 NOT TO SCALE.

NOTES

REVISIONS	DATE	DESCRIPTION
25	10/28/19	3D RENDERING

6340 No 3 Rd & Cook
 Richmond, BC

3D RENDERING

DATE	10/27/2019 2:02:16 PM
DRAWN BY	Author
CHECKED BY	Checker
SCALE	
JOB NUMBER	16446

A3.00



AREA OF CHANGE

NO.	DATE	DESCRIPTION
25	10/26/19	DP AMENDMENT



6340 No 3 Rd & Cook
Richmond, BC

3D RENDERING

DATE	11/27/2019 2:02:18 PM
DRAWN BY	Author
CHECKED BY	Checker
SCALE	
JOB NUMBER	16446

A3.00

NO.	DATE	DESCRIPTION
25	10/28/11	DP AMENDMENT

6340 No 3 Rd & Cook
Richmond, BC

WEST ELEVATION

DATE	10/27/2019 1:56:18 PM
DRAWN BY	Author
CHECKED BY	Checker
SCALE	
JOB NUMBER	16446

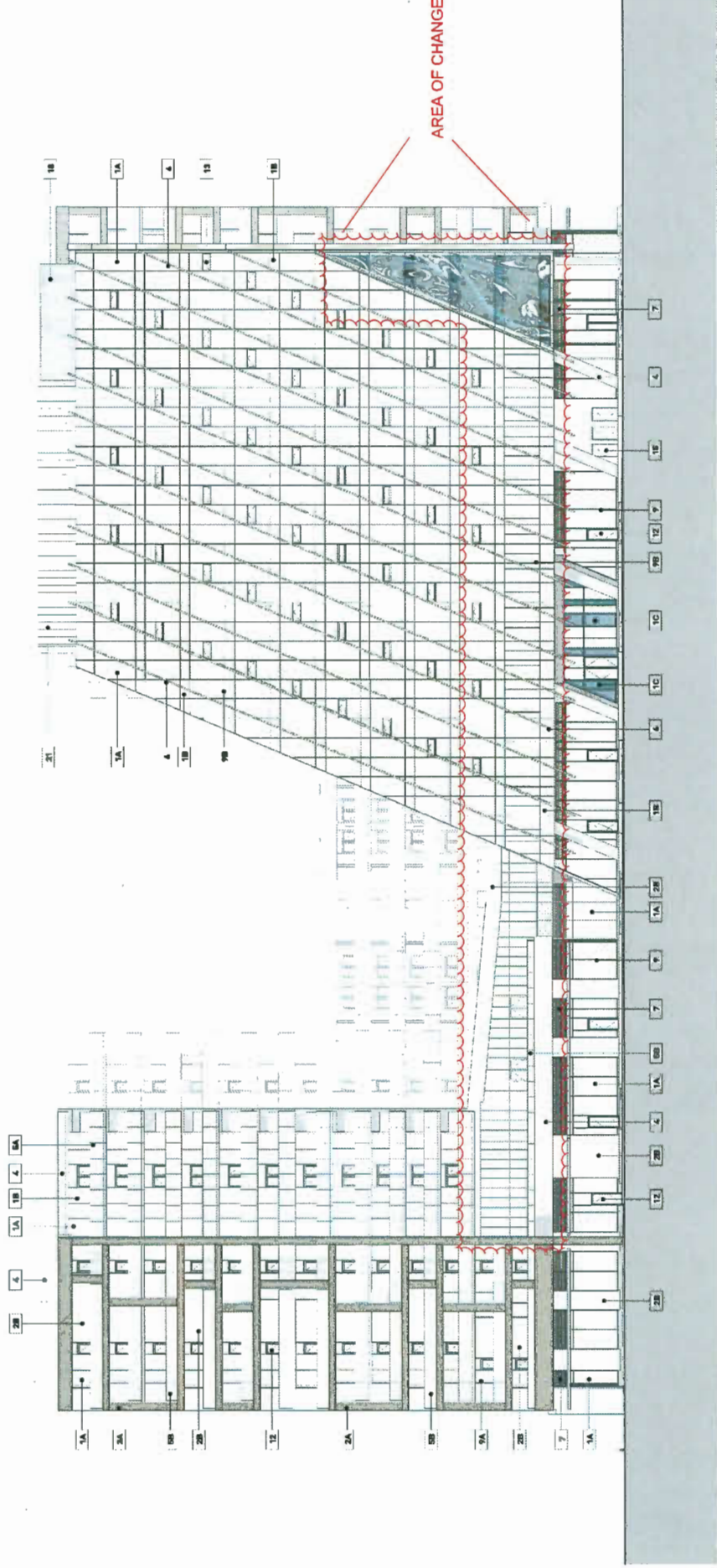
A3.01

MATERIAL LEGEND

TAB	DESCRIPTION
9A	WINDOW-WALL MULLION - WHITE COLOUR
9B	CURTAIN WALL MULLION - ANODIZED ALUMINUM
10	METAL FILLER TO MATCH MULLION COLOUR
11	BALCONY DIVIDER - ALUMINUM WITH FRITTED GLASS
12	SINGLE GLASS DOOR
12B	DOUBLE GLASS DOOR
13	OPERABLE WINDOW
14	PAINTED CONCRETE - ART MURAL
15	METAL SINGLE DOOR
16	METAL SECURITY FENCE
18	METAL SCREEN - PERFORATED
20	METAL MESH GARAGE DOOR
21	FORMED METAL

MATERIAL LEGEND

TAB	DESCRIPTION
1A	CLEAR GLASS
1B	BACK-PAINTED GLAZING SPANDREL - WHITE
1C	COLOURED GLAZING - VARIES - CONFIRM WITH THE ARCHITECT
2A	ALUMINUM PANEL - FRAME EDGE - CHAMPAGNE
2B	ALUMINUM PANEL - FRAME INTERIOR - WHITE
3	CUSTOM PERFORATED METAL SCREENING
4	ARCHITECTURAL CONCRETE - PAINTED
5A	GLASS GUARD - FRITTED
5B	GLASS GUARD - CLEAR
6	EXTRUDED ALUMINUM SUNSHADES - CHAMPAGNE
7	ALUMINUM LOUVERS
8	GLAZED CANOPY
9	STOREFRONT MULLIONS - CHARCOAL COLOUR



REVISIONS	NO.	DATE	DESCRIPTION

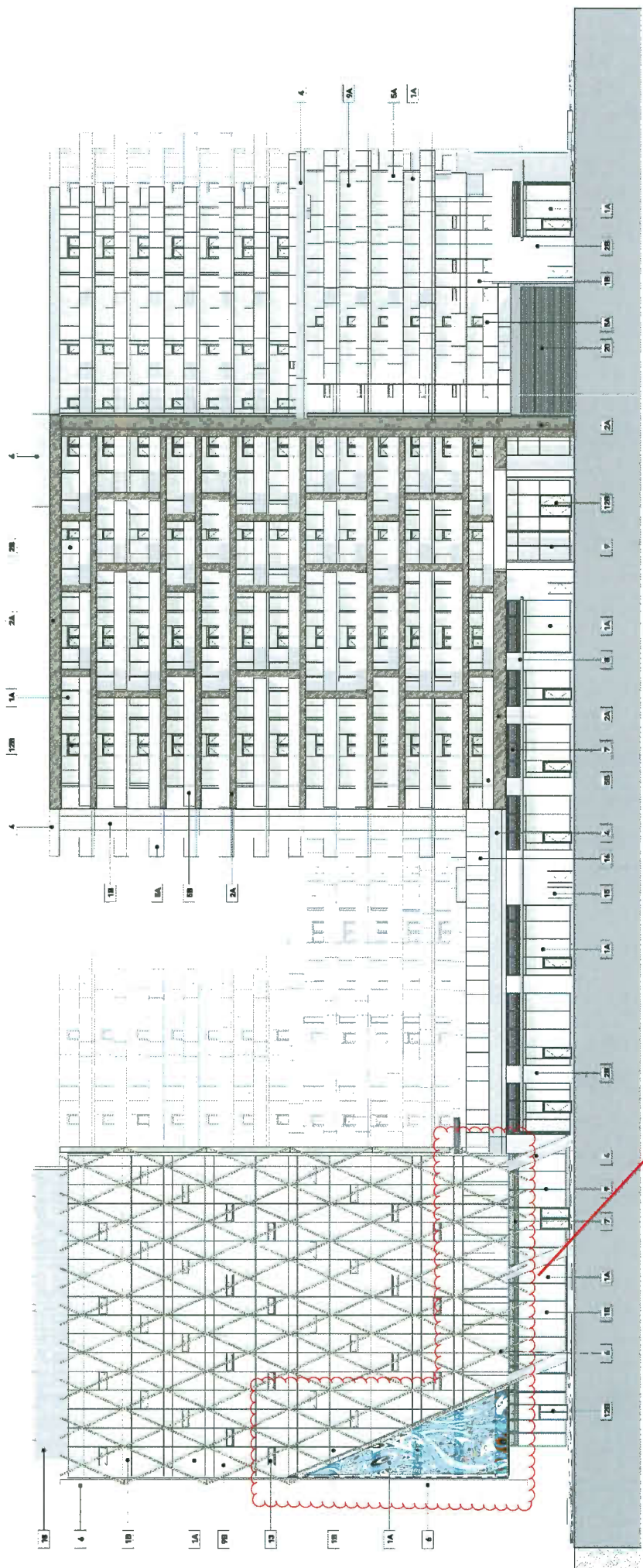
6340 No 3 Rd & Cook
 Richmond, BC

SOUTH ELEVATION

DATE: 10/27/2019 12:13:50 PM
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE:
 JOB NUMBER: 16446

MATERIAL LEGEND	
TAG	DESCRIPTION
9A	WINDOW-WALL MULLION - WHITE COLOUR
9B	CURTAIN WALL MULLION - ANODIZED ALUMINUM
10	METAL FILLER TO MATCH MULLION COLOUR
11	BALCONY DIVIDER - ALUMINUM WITH FRITTED GLASS
12	SINGLE GLASS DOOR
12B	DOUBLE GLASS DOOR
13	OPERABLE WINDOW
14	PAINTED CONCRETE - ART MURAL
15	METAL SINGLE DOOR
16	METAL SECURITY FENCE
18	METAL SCREEN - PERFORATED
20	METAL MESH GARAGE DOOR
21	FORMED METAL

MATERIAL LEGEND	
TAG	DESCRIPTION
1A	CLEAR GLASS
1B	BACK-PAINTED GLAZING SPANDREL - WHITE
1C	COLOURED GLAZING - VARIES - CONFIRM WITH THE ARCHITECT
2A	ALUMINUM PANEL - FRAME EDGE - CHAMPAGNE
2B	ALUMINUM PANEL - FRAME INTERIOR - WHITE
3	CUSTOM PERFORATED METAL SCREENING
4	ARCHITECTURAL CONCRETE - PAINTED
5A	GLASS GUARD - FRITTED
5B	GLASS GUARD - CLEAR
6	EXTRUDED ALUMINUM SUNSHADES - CHAMPAGNE
7	ALUMINUM LOUVERS
8	GLAZED CANOPY
9	STOREFRONT MULLIONS - CHARCOAL COLOUR



AREA OF CHANGE



GBL ARCHITECTS INC.
 137 EAST 5TH AVENUE
 VANCOUVER, BC CANADA V6T 1B6
 TEL: 604 251 1156
 FAX: 604 251 1279
 WWW.GBLARCHITECTS.COM
 REGISTRATION NO. BC 100003597
 REGISTRATION NO. BC 100003598
NOTES

REVISIONS
 NO. DATE DESCRIPTION
 2 10/26/17 07 AMENDMENT

6340 No 3 Rd & Cook
 Richmond, BC

EAST ELEVATION

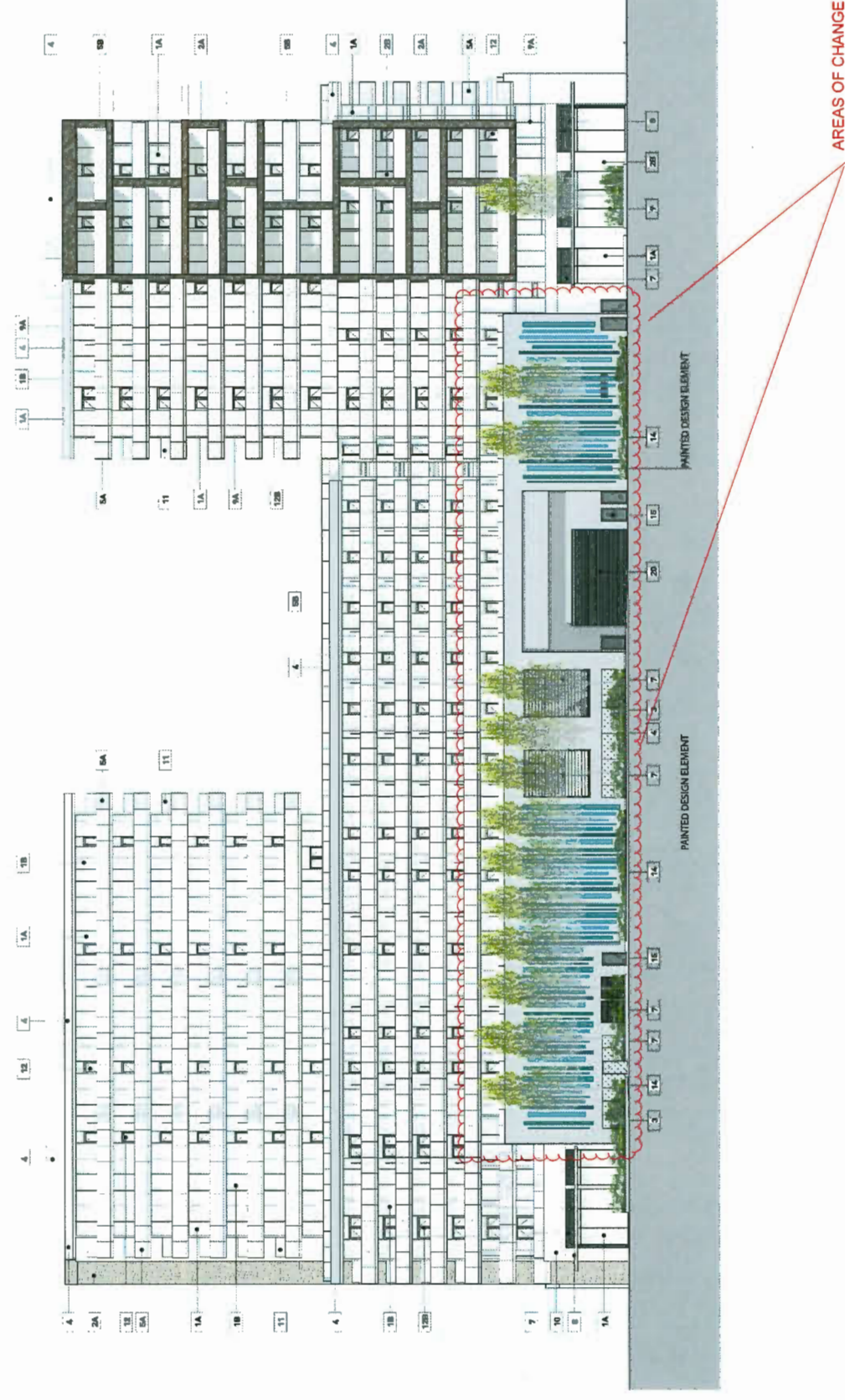
DATE 11/22/2019
 DRAWN BY Author
 CHECKED BY Checker
 SCALE
 JOB NUMBER 16646

MATERIAL LEGEND

TAG	DESCRIPTION
9A	WINDOW-WALL MULLION - WHITE COLOUR
9B	CURTAIN WALL MULLION - ANODIZED ALUMINUM
10	METAL FILLER TO MATCH MULLION COLOUR
11	BALCONY DIVIDER - ALUMINUM WITH FRITTED GLASS
12	SINGLE GLASS DOOR
12B	DOUBLE GLASS DOOR
13	OPERABLE WINDOW
14	PAINTED CONCRETE - ART MURAL
15	METAL SINGLE DOOR
16	METAL SECURITY FENCE
18	METAL SCREEN - PERFORATED
20	METAL MESH GARAGE DOOR
21	FORMED METAL

MATERIAL LEGEND

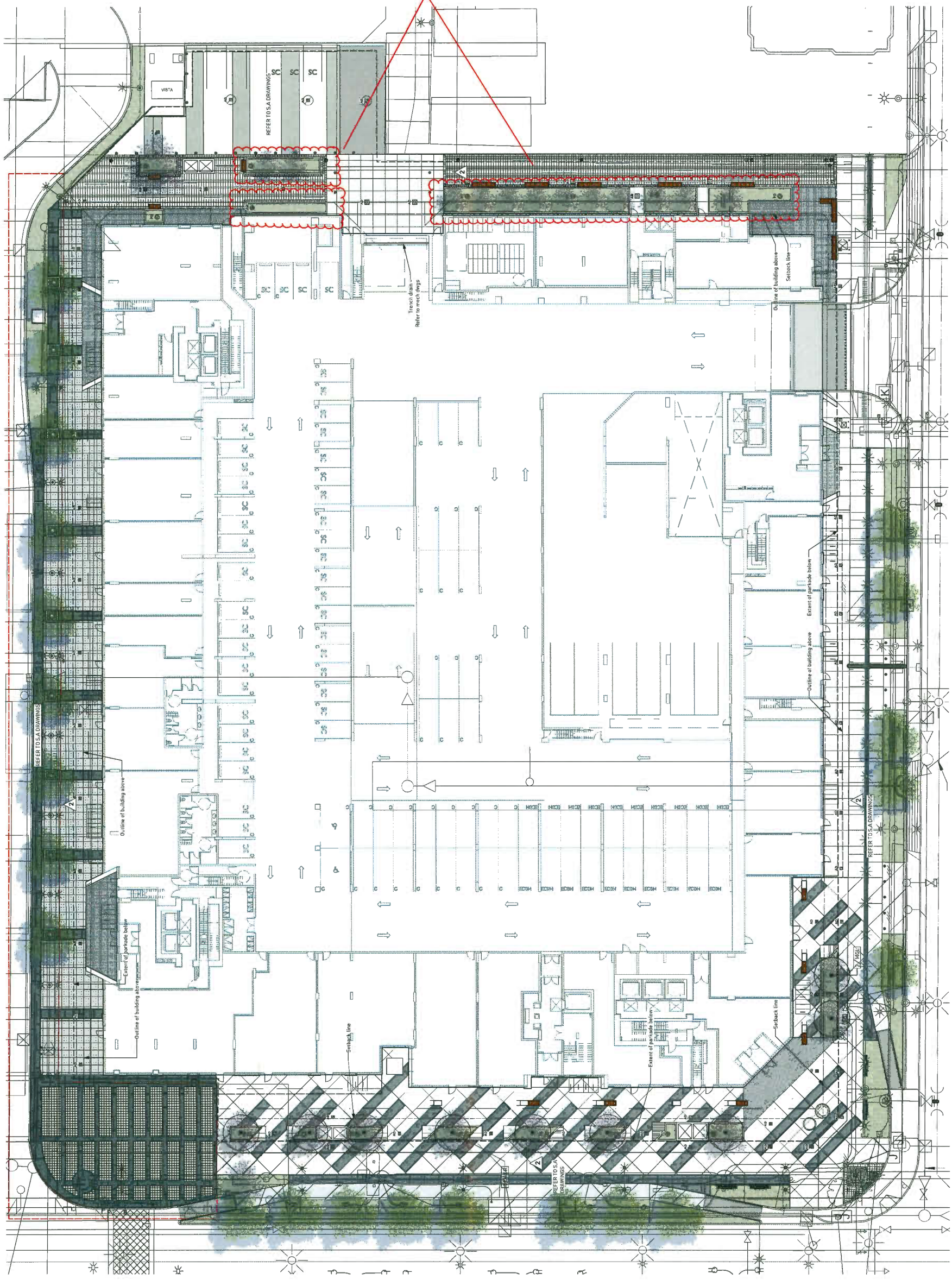
TAG	DESCRIPTION
1A	CLEAR GLASS
1B	BACK-PAINTED GLAZING SPANDREL - WHITE
1C	COLOURED GLAZING - VARIES - CONFIRM WITH THE ARCHITECT
2A	ALUMINUM PANEL - FRAME EDGE - CHAMPAGNE
2B	ALUMINUM PANEL - FRAME INTERIOR - WHITE
3	CUSTOM PERFORATED METAL SCREENING
4	ARCHITECTURAL CONCRETE - PAINTED
5A	GLASS GUARD - FRITTED
5B	GLASS GUARD - CLEAR
6	EXTRUDED ALUMINUM SUNSHADES - CHAMPAGNE
7	ALUMINUM LOUVERS
8	GLAZED CANOPY
9	STOREFRONT MULLIONS - CHARCOAL COLOUR



AREAS OF CHANGE

NO.	DATE	DESCRIPTION
1	2018-10-29	ISSUED FOR PERMIT
2	2018-11-21	ISSUED FOR REVIEW OF AMENDMENT

AREAS OF CHANGE



PROJECT
Paramount

ADDRESS
 6340 No 3 Road
 Richmond, BC V6Y 2B3
 LOT 189 SECTION 9 BLOCK 4
 NORTH RANGE 6 NWD PLAN 41547

DRAWING TITLE
 DP L1 LAYOUT PLAN

NO.	DATE	DESCRIPTION
1	2018-10-29	ISSUED FOR PERMIT
2	2018-11-21	ISSUED FOR REVIEW OF AMENDMENT



SCALE
 N/A

DPA1.01

AREA OF CHANGE

NO.	DATE	DESCRIPTION
1	2019-05-27	ISSUED FOR IP
2	2019-06-20	REVISION ISSUED FOR IP
3	2019-06-20	ISSUED FOR DP
4	2019-09-07	REVISED DP SUBMISSION
5	2019-09-27	ISSUED FOR COS CON. SOCIAL SERV. REVIEW
6	2019-10-09	ISSUED FOR IP
7	2019-10-15	ISSUED FOR IP
8	2019-10-15	ISSUED FOR IP
9	2019-10-15	ISSUED FOR IP
10	2019-10-15	ISSUED FOR IP
11	2019-06-20	ISSUED FOR IP
12	2019-06-20	ISSUED FOR IP
13	2019-06-20	ISSUED FOR IP
14	2019-06-20	ISSUED FOR IP
15	2019-06-20	ISSUED FOR IP
16	2019-06-20	ISSUED FOR IP
17	2019-06-20	ISSUED FOR IP
18	2019-06-20	ISSUED FOR IP
19	2019-06-20	ISSUED FOR IP
20	2019-06-20	ISSUED FOR IP
21	2019-06-20	ISSUED FOR IP
22	2019-06-20	ISSUED FOR IP
23	2019-06-20	ISSUED FOR IP
24	2019-06-20	ISSUED FOR IP
25	2019-06-20	ISSUED FOR IP
26	2019-06-20	ISSUED FOR IP
27	2019-06-20	ISSUED FOR IP
28	2019-06-20	ISSUED FOR IP
29	2019-06-20	ISSUED FOR IP
30	2019-06-20	ISSUED FOR IP
31	2019-06-20	ISSUED FOR IP
32	2019-06-20	ISSUED FOR IP
33	2019-06-20	ISSUED FOR IP
34	2019-06-20	ISSUED FOR IP
35	2019-06-20	ISSUED FOR IP
36	2019-06-20	ISSUED FOR IP
37	2019-06-20	ISSUED FOR IP
38	2019-06-20	ISSUED FOR IP
39	2019-06-20	ISSUED FOR IP
40	2019-06-20	ISSUED FOR IP
41	2019-06-20	ISSUED FOR IP
42	2019-06-20	ISSUED FOR IP
43	2019-06-20	ISSUED FOR IP
44	2019-06-20	ISSUED FOR IP
45	2019-06-20	ISSUED FOR IP
46	2019-06-20	ISSUED FOR IP
47	2019-06-20	ISSUED FOR IP
48	2019-06-20	ISSUED FOR IP
49	2019-06-20	ISSUED FOR IP
50	2019-06-20	ISSUED FOR IP

NOTE: Some elements may be refined through coordination of the Service Agreement (S.A.) Frontage Work.

MUST PRINT IN BLACK AND WHITE

Paramount

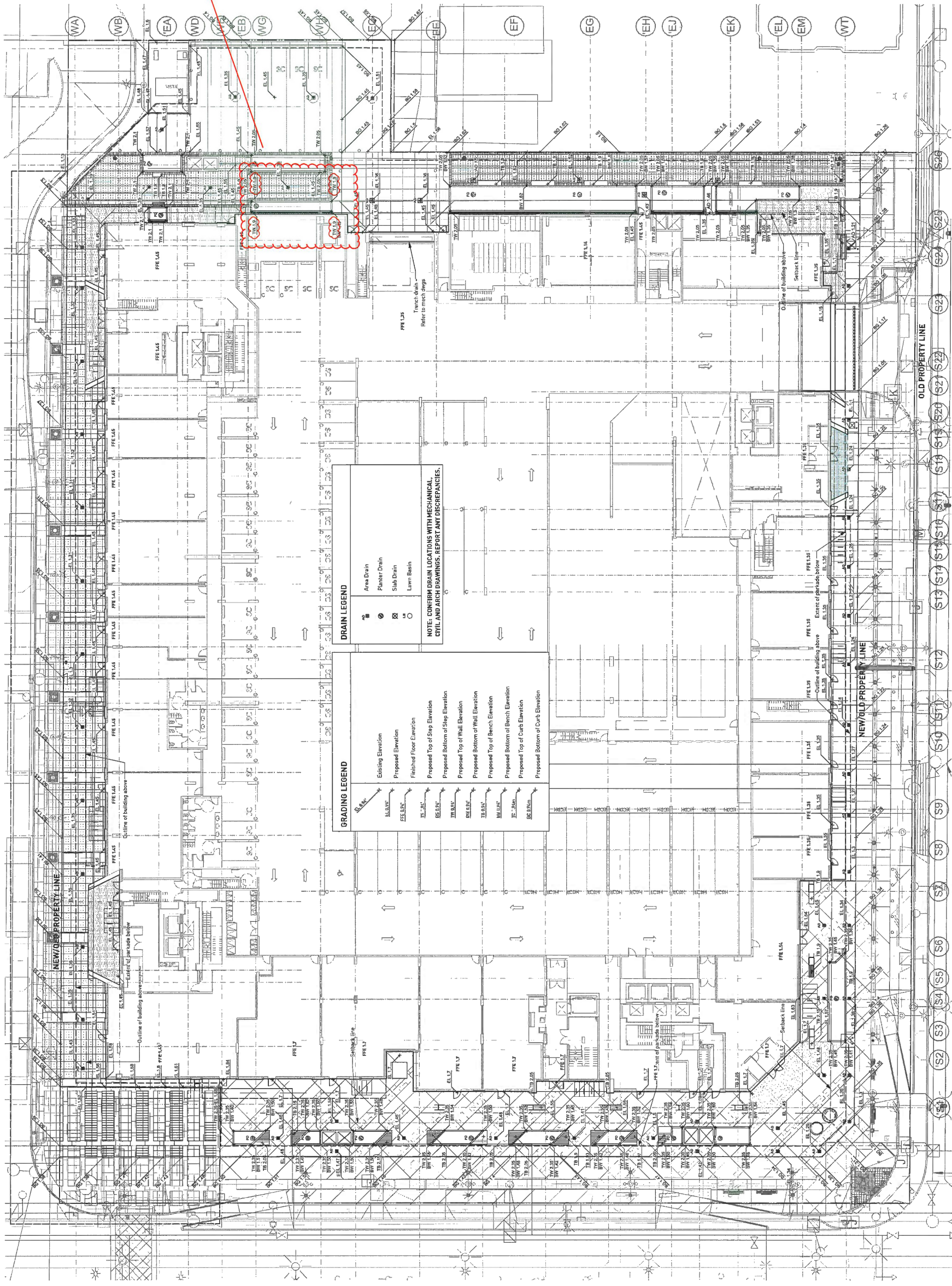
6340 No. 3 Road
 Richmond, BC V6Y 2B3
 LOT 159 SECTION 9 BLOCK 4
 NORTH RANGE 6 NWD PLAN 41547

GRADING PLAN

SCALE: 1:200

PROJECT NO.	170617
DATE	21st November 2019
REVISED	17017 REVISION
REVISED	19-11-21
DESIGNER	MTE/BAE
CHECKER	BAE
DATE	19-11-21
SCALE	1:200
DATE	19-11-21

L2.01



GRADING LEGEND

- Existing Elevation
- Proposed Elevation
- Finished Floor Elevation
- Proposed Top of Step Elevation
- Proposed Bottom of Step Elevation
- Proposed Top of Wall Elevation
- Proposed Bottom of Wall Elevation
- Proposed Top of Bench Elevation
- Proposed Bottom of Bench Elevation
- Proposed Top of Curb Elevation
- Proposed Bottom of Curb Elevation

DRAIN LEGEND

- Area Drain
- Flaker Drain
- Sink Drain
- Lawn Basin

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

- REVISIONS AND NOTES**
1. 2019-06-27 ISSUED FOR DP
 2. 2019-06-27 REVISION ISSUED FOR DP
 3. 2019-06-27 ISSUED FOR DP
 4. 2019-06-27 REVISED FOR SUBMITTAL
 5. 2019-06-27 REVISED FOR CIVIL SOCIAL REV. REVIEW
 6. 2019-06-27 ISSUED FOR DP
 7. 2019-06-27 ISSUED FOR TENDER
 8. 2019-06-27 ISSUED FOR ADDENDUM 1
 9. 2019-06-27 ISSUED FOR BIDDING
 10. 2019-06-27 ISSUED FOR BIDDING
 11. 2019-06-27 ISSUED FOR BIDDING
 12. 2019-06-27 ISSUED FOR BIDDING
 13. 2019-06-27 ISSUED FOR BIDDING
 14. 2019-06-27 ISSUED FOR BIDDING
 15. 2019-06-27 ISSUED FOR BIDDING
 16. 2019-06-27 ISSUED FOR BIDDING
 17. 2019-06-27 ISSUED FOR BIDDING
 18. 2019-06-27 ISSUED FOR BIDDING
 19. 2019-06-27 ISSUED FOR BIDDING
 20. 2019-06-27 ISSUED FOR BIDDING

AREAS OF CHANGE

NOTE: Some elements may be changed through completion of the Service Agreement (S.A.) Framing Work.

MUST PRINT IN BLACK AND WHITE

Paramount

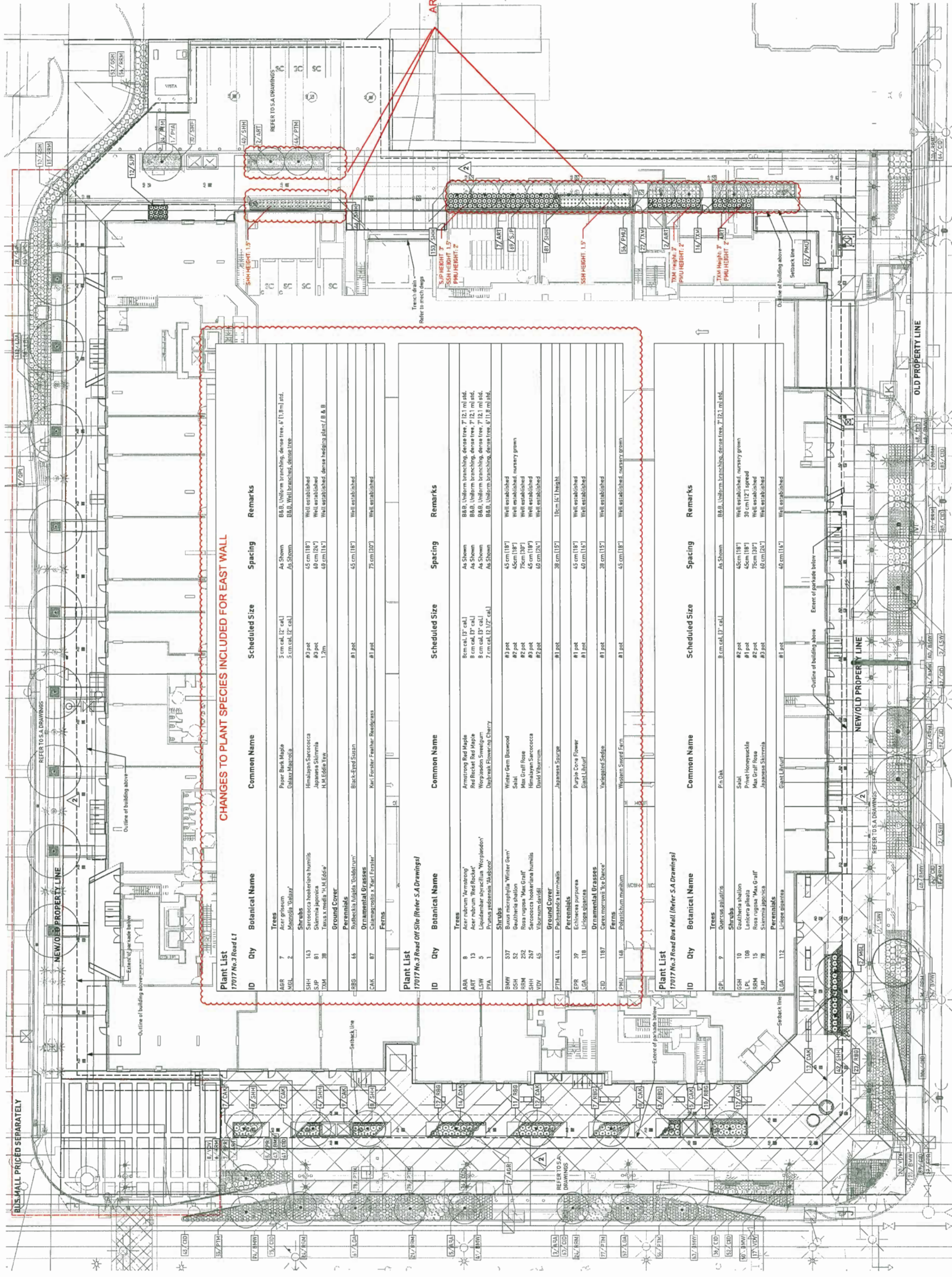
PLANTING PLAN

6340 No. 3 Road
 Richmond, BC V6Y 2B3
 LOT 108 SECTION 8 BLOCK 4
 NORTH RANGE 6 NWD PLAN 41547

SCALE: 1:200

PROJECT NO. 17017
 DATE 21st November 2019
 REVISED 17017 PLANTING
 SHEET 18-11-23
 DRAWN MURRAY HORNBY
 CHECKED BY

L3.01



CHANGES TO PLANT SPECIES INCLUDED FOR EAST WALL

Plant List 17017 No. 3 Road L1

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
AGR	7	<i>Acer griseum</i>	Peeler Bark Maple	5 cm cal. (2" cal.)	As Shown	B&B. Uniform branching, dense tree. 7.121 m tall.
MUL	2	<i>Monarda 'Villar'</i>	Salix Algecira	5 cm cal. (2" cal.)	As Shown	B&B. Well branched, dense tree.
SHI	143	<i>Sarcococca hookeriana humilis</i>	Himalayan Sarcococca	#3 pot	45 cm (18")	Well established
SRM	91	<i>Stemodia japonica</i>	Japanese Stemodia	#2 pot	45 cm (18")	Well established
TRM	38	<i>Thalictrum 'M. Edlin'</i>	M. Edlin	1.2m	49 cm (19")	Well established, dense hedging plant / B & B
Ground Cover						
REB	45	<i>Rubus chingii</i>	Black-Eyed Susan	#1 pot	45 cm (18")	Well established
CAK	87	<i>Carex acutiformis</i>	Her. Forster Feather Reedgrass	#1 pot	75 cm (30")	Well established
Ferns						
PTA	1	<i>Pteris aquilina</i>	Japanese Saururus	#1 pot	38 cm (15")	Well established, nursery grown
SHW	57	<i>Shorea rostrata</i>	Wister Gem Boxwood	#3 pot	45 cm (18")	Well established
SHI	52	<i>Shorea rostrata</i>	Wister Gem Boxwood	#2 pot	45 cm (18")	Well established
SRM	252	<i>Rosa rugosa</i>	Max. Graft Rose	#3 pot	75 cm (30")	Well established
SHI	267	<i>Sarcococca hookeriana humilis</i>	Himalayan Sarcococca	#3 pot	45 cm (18")	Well established
VDV	45	<i>Viburnum davidii</i>	David Viburnum	#2 pot	49 cm (19")	Well established
Ground Cover						
PTM	414	<i>Pachystima terminalis</i>	Japanese Saururus	#1 pot	38 cm (15")	Well established, nursery grown
Perennials						
EPR	37	<i>Echinacea purpurea</i>	Purple Cone Flower	#1 pot	45 cm (18")	Well established
GA	118	<i>Lilopsis spicata</i>	Blind Lilium	#1 pot	49 cm (19")	Well established
Ornamental Grasses						
CID	1187	<i>Carex macrospora</i>	Vegetated Sedge	#1 pot	38 cm (15")	Well established
Ferns						
PNJ	148	<i>Polystichum nudum</i>	Western Spleen Fern	#1 pot	45 cm (18")	Well established, nursery grown

Plant List 17017 No. 3 Road ON Site (Refer S.A. Drawings)

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
ARA	8	<i>Acer rubrum 'Armstrong'</i>	Armstrong Red Maple	8 cm cal. (3" cal.)	As Shown	B&B. Uniform branching, dense tree. 7.121 m tall.
ART	13	<i>Acer rubrum 'Red Rocket'</i>	Red Rocket Red Maple	8 cm cal. (3" cal.)	As Shown	B&B. Uniform branching, dense tree. 7.121 m tall.
LSW	5	<i>Liquidambar styraciflua 'Wrightspider'</i>	Wrightspider Sweetgum	8 cm cal. (3" cal.)	As Shown	B&B. Uniform branching, dense tree. 7.121 m tall.
PTA	1	<i>Pteris aquilina</i>	Japanese Saururus	#1 pot	38 cm (15")	Well established
SHW	57	<i>Shorea rostrata</i>	Wister Gem Boxwood	#3 pot	45 cm (18")	Well established
SHI	52	<i>Shorea rostrata</i>	Wister Gem Boxwood	#2 pot	45 cm (18")	Well established
SRM	252	<i>Rosa rugosa</i>	Max. Graft Rose	#3 pot	75 cm (30")	Well established
SHI	267	<i>Sarcococca hookeriana humilis</i>	Himalayan Sarcococca	#3 pot	45 cm (18")	Well established
VDV	45	<i>Viburnum davidii</i>	David Viburnum	#2 pot	49 cm (19")	Well established
Ground Cover						
PTM	414	<i>Pachystima terminalis</i>	Japanese Saururus	#1 pot	38 cm (15")	Well established, nursery grown
Perennials						
EPR	37	<i>Echinacea purpurea</i>	Purple Cone Flower	#1 pot	45 cm (18")	Well established
GA	118	<i>Lilopsis spicata</i>	Blind Lilium	#1 pot	49 cm (19")	Well established
Ornamental Grasses						
CID	1187	<i>Carex macrospora</i>	Vegetated Sedge	#1 pot	38 cm (15")	Well established
Ferns						
PNJ	148	<i>Polystichum nudum</i>	Western Spleen Fern	#1 pot	45 cm (18")	Well established, nursery grown

Plant List 17017 No. 3 Road Bus Wall (Refer S.A. Drawings)

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
GP	9	<i>Quercus phillyria</i>	Pin Oak	8 cm cal. (3" cal.)	As Shown	B&B. Uniform branching, dense tree. 7.121 m tall.
Shrubs						
SHI	10	<i>Gaultheria phillyria</i>	Sakel	#2 pot	45 cm (18")	Well established, nursery grown
LPL	108	<i>Lonicera pileata</i>	Privet Honeyuckle	#1 pot	38 cm (15")	Well established
SRM	15	<i>Rosa rugosa</i>	Max. Graft Rose	#2 pot	75 cm (30")	Well established
SJP	78	<i>Stemodia japonica</i>	Japanese Stemodia	#3 pot	49 cm (19")	Well established
Perennials						
GA	112	<i>Lilopsis spicata</i>	Blind Lilium	#1 pot	49 cm (19")	Well established

call to artists



Figure 1. Keltic Canada development, architectural rendering by GBL Architects.

Keltic Development

Request for Proposals (RFP)

October 2018

OPPORTUNITY

The City of Richmond Public Art Program is seeking an artist to propose an integrated glass artwork for a new 15-storey, mixed-use commercial and residential development at 6340 No. 3 Road, Richmond, BC. The artist will work in collaboration with a specialist glass fabricator and GBL Architects during production and construction phases of the building.

A two-stage artist selection process will be implemented for this opportunity. For the first stage, artists will be selected based on demonstrated experience, past work and statement of intent. A \$1,500 CAN honorarium will be provided for shortlisted artists to develop a visual concept for the artwork. Artists will be reimbursed for travel and accommodation, up to \$1,000 CAN. Artists will not be responsible for fabrication and installation costs. The project will be funded from Keltic Canada's public art community amenity contribution.

Artist Fee:	\$30,000 CAN
Eligibility:	Open to all artists
Deadline:	Thursday, December 6, 2018, 5:00 p.m. PST
Completion:	Winter 2021

call to artists

PUBLIC ART
RICHMOND

BACKGROUND

The Keltic mixed-used development is currently under construction in Brighthouse Village, the traditional heart and civic focal point of Richmond's City Centre. This neighbourhood is a high priority for the inclusion of public art and creative placemaking initiatives, zoned for high-density, mixed commercial and residential use, with some of the largest buildings in the downtown core. The 15-storey commercial and residential development will include ground level commercial uses, four levels of parking, low-end market rental units and a 19,000-square-foot Early Childhood Development Hub.

The artwork will be in a prominent location on the building facade at the corner of No.3 Road and Cook Street in close proximity to the Brighthouse Canada Line Station, directly across from Richmond Centre. As a large-scale signature artwork in the City Centre, the work will contribute to defining a vibrant and sustainable arts and culture experience in a rapidly growing Brighthouse Village.

THEMATIC FRAMEWORK

Artists are invited to consider the notion of "welcome" within the context of creating safe, accessible and inclusive public realms. The artwork will be in close proximity to Brighthouse Canada Line station, a main gateway and transportation hub in the city centre. This large-scale artwork will contribute to the "No.3 Road Art Walk" experience between Brighthouse Station and Granville Avenue, framing formal streetscape views for passersby travelling north along No.3 Road.

Artists who are shortlisted for this opportunity will have demonstrated experience in creating work that engages the social, cultural and physical characteristics of the site and place. It is the expectation that the work will become a significant and iconic city centre public art experience.

Shortlisted artists will be invited to develop a visual concept for a welcome piece. Artists are not required to provide concept sketches for the first stage application process. Please refer to the submission requirements on page 4 for further information.

LOCATION

The artwork will be integrated into the glass façade of the building at the corner of No.3 Road and Cook Street and cover approximately 88 square metres of glazing. Refer to location plan and architect's renderings beginning on page 6.

ARTIST FEE

An artist fee of \$30,000 will be provided to the commissioned artist. This budget includes (but is not limited to) artist fees, travel, accommodation, design work, consultation work with the specialist glass fabricator and design

call to artists

consultants, administration, travel, photography, insurance and all taxes, excluding GST. The commissioned artist may be required to provide input in public engagement communication strategies. The artist will also be consulted during the selection process for the specialist art glass fabricator. Artists will not be responsible for fabrication and installation costs of the art glass panels. Non-resident artists may be subject to a Non-Resident Withholding Tax.

ARTIST ELIGIBILITY

This call is open to all artists including those who typically work in two-dimensional media. Artists who are currently contracted by the City for a public art commission are not eligible to apply. City of Richmond employees are not eligible to apply.

Experience and skills in digital post-production documentation techniques would be an asset. If working outside of digital media, any two-dimensional artwork will need to be translated into a digital file by the artist before working with the specialist glass fabricator. The artist may be required to engage a contractor to complete this scope of work.

SELECTION PROCESS

A five (5) member selection panel consisting of a combination of artists, art professionals and community representatives will engage in a two stage artist selection process to review all artist submissions.

Shortlisted artists will receive a \$1,500 (CAN) artist honorarium to develop a concept for the artwork and attend an interview to present the concept to the Selection Panel. Shortlisted artists will be reimbursed for travel and accommodation, up to \$1,000 (CAN), upon submission of receipts.

Shortlisted artists will be invited to attend an artist orientation meeting with project stakeholders to meet project stakeholders and ask questions. Attendance can be in-person or remotely via teleconference.

At the conclusion of the process, the panel will recommend one artist and art concept to be reviewed by the Richmond Public Art Advisory Committee and City of Richmond. If approved, the selected artist will enter into a contract with Keltic Canada and the City of Richmond for implementation stages.

ARTIST SELECTION CRITERIA – STAGE ONE

Submissions to the call will be reviewed and decisions made based on:

- Artist's practice and experience as demonstrated through past work.
- Ability of the artist to work with multiple project stakeholders, including community representatives, design and construction consultants as demonstrated through past work.

call to artists

PUBLIC ART
RICHMOND

- Artistic merit of statement of intent in response to the thematic framework.
- Appropriateness of the proposal to the Public Art Program goals: www.richmond.ca/culture/publicart/plans/policy.

ARTIST SELECTION CRITERIA – STAGE TWO

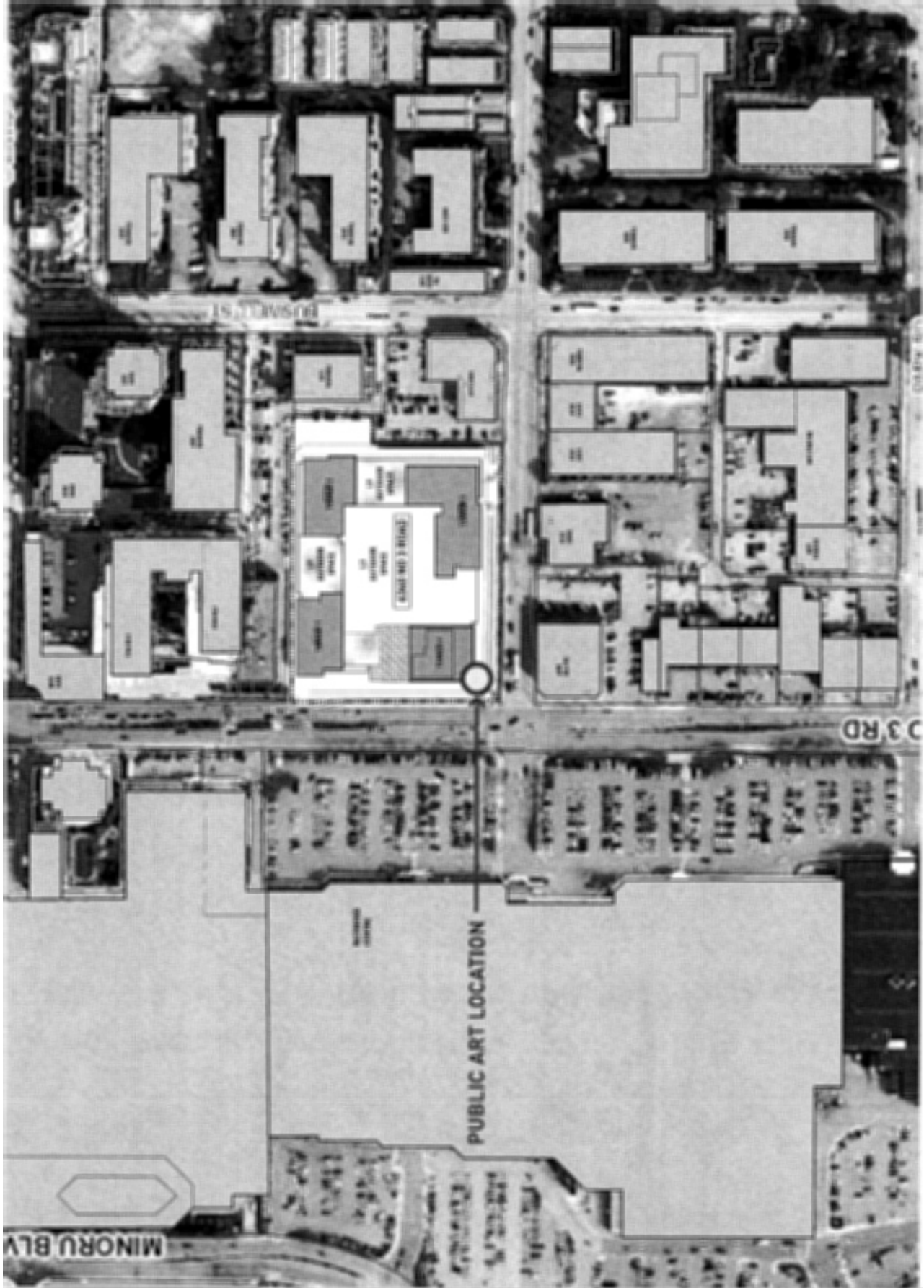
Shortlisted artists and their proposals will be reviewed and decisions made based on:

- Artistic merit of conceptual response to the theme.
- Ability of the artist to work with multiple project stakeholders, including design and construction consultants as demonstrated through past work.
- Use of bold colour palettes, while being sensitive to the needs of the Early Child Development facility located on the 2nd level.
- Artwork suitability and consideration of the professional nature of the businesses and organizations residing in the Keltic Canada development.
- Ability of the artwork to respond to the existing character of the site by taking into account scale, colour, material, texture, content and the physical characteristics of the location and building.
- Appropriateness of the proposal to the Public Art Program goals: www.richmond.ca/culture/publicart/plans/policy

SUBMISSION REQUIREMENTS

E-mail all documentation as one (1) PDF document, not to exceed a file size of 5 MB to: publicart@richmond.ca

- INFORMATION FORM – Please complete the information form attached to this document.
- STATEMENT OF INTENT – 500 words or less, explaining preliminary conceptual approach to the work, artist practice and methodology.
- ARTIST CV – (2 pages maximum). Teams should include one page for each member.
- WORK SAMPLES – Up to ten (10) supporting image examples of previous work. One image per page. Please include artist name(s), title, year, location and medium information on each image page.
- REFERENCES – Three (3) references who can speak to your past accomplishments, experience and expertise. Please provide name, title, contact e-mail and telephone number.



PROJECT: 6340 NO 3 RD
DATE: 11/15/10
SCALE: 1:1000
JOB NO: 1646

DATE: 11/15/10
SCALE: 1:1000
JOB NO: 1646

DATE: 11/15/10
SCALE: 1:1000
JOB NO: 1646



6340 NO 3 RD
RICHMOND, BC

MIXED-USE
CONTEXT PLAN

DATE: 11/15/10
SCALE: 1:1000
JOB NO: 1646

1000 WEST 10TH AVENUE
 VANCOUVER, BC V6H 3G7
 TEL: 604-275-1111
 FAX: 604-275-1112
 WWW.GBLINC.COM

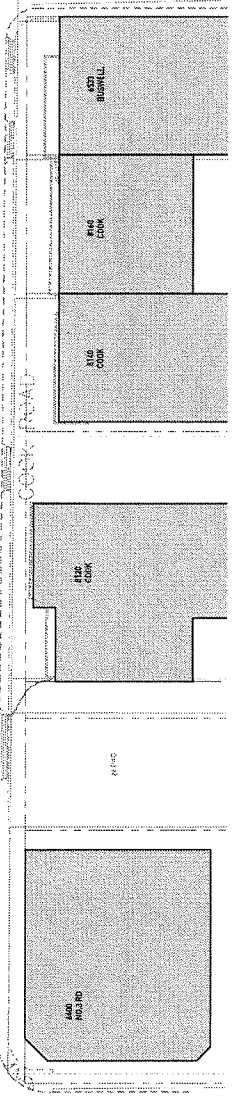
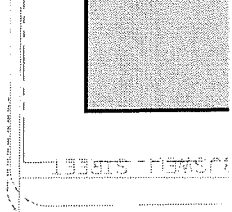
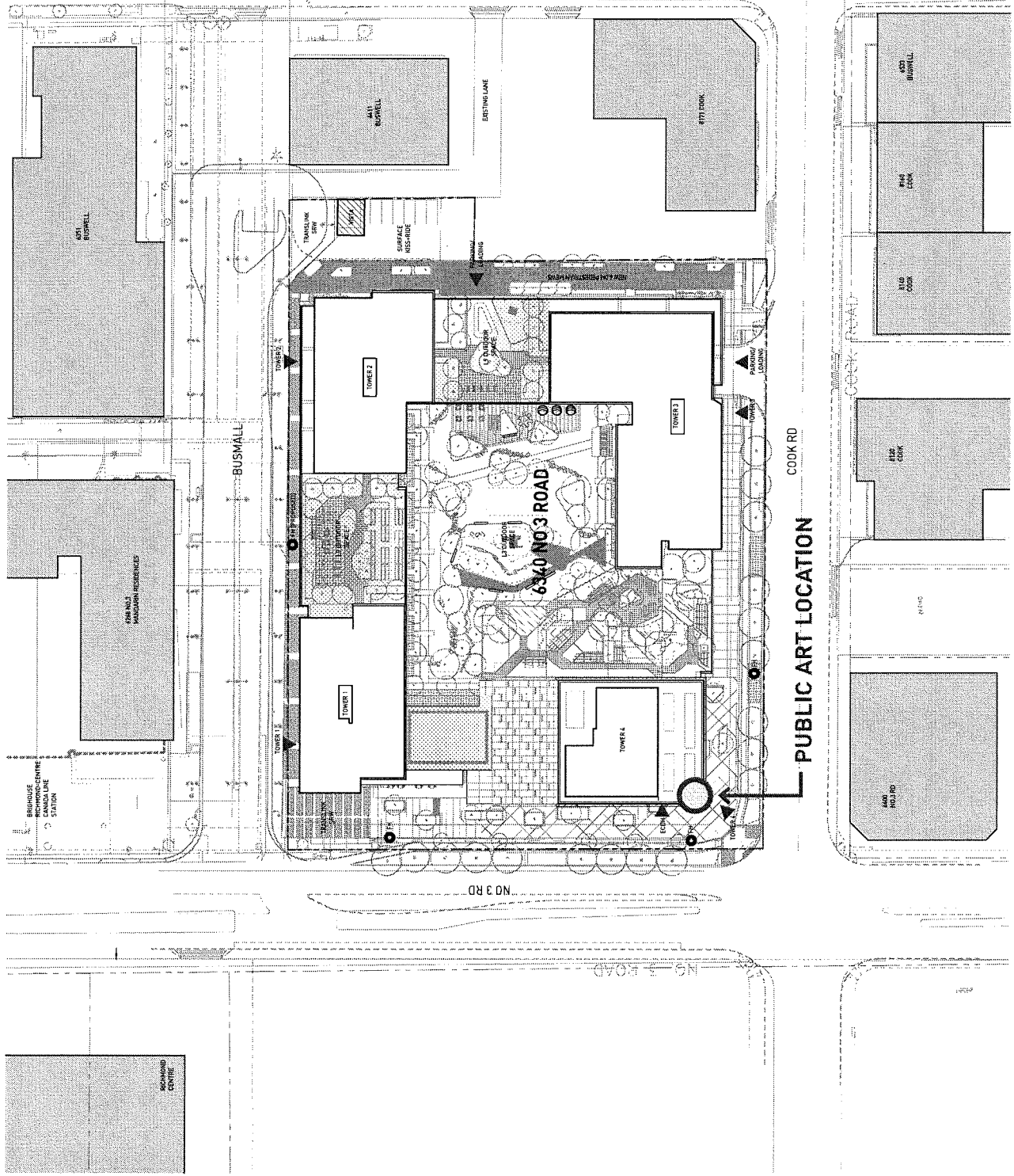
PROJECT NO. 1000
 DATE: 01/15/2014

PREPARED BY: [REDACTED]
 CHECKED BY: [REDACTED]
 DATE: 01/15/2014

6340 NO 3 RD
 RICHMOND, BC

SCALE: 1:500
 JOB NO: 1000

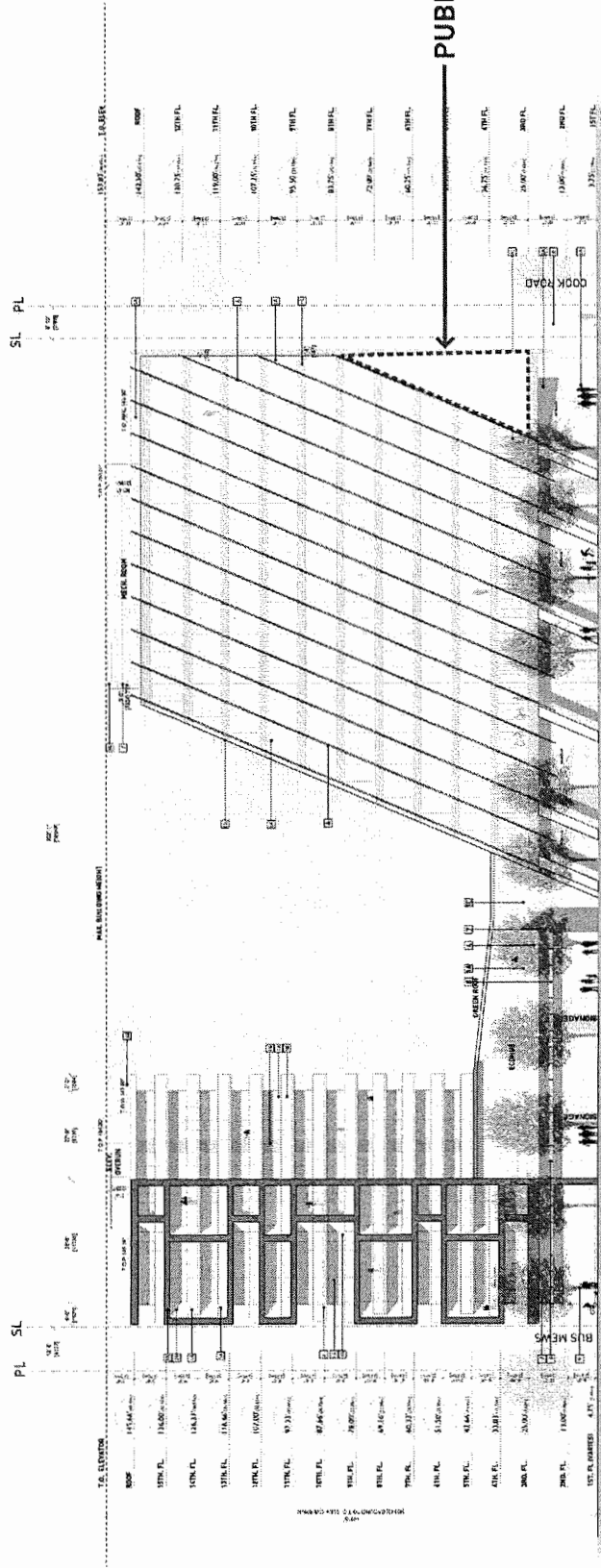
MIXED USE
 SITE PLAN



MATERIALS

- 1. ASPHALT
- 2. CONCRETE
- 3. GRANITE
- 4. BRICK
- 5. METAL
- 6. WOOD
- 7. GLASS
- 8. STAINLESS STEEL
- 9. ALUMINUM
- 10. POLYCARBONATE
- 11. POLYURETHANE
- 12. POLYETHYLENE
- 13. POLYPROPYLENE
- 14. POLYVINYL CHLORIDE
- 15. POLYESTER
- 16. POLYURETHANE
- 17. POLYURETHANE
- 18. POLYURETHANE
- 19. POLYURETHANE
- 20. POLYURETHANE

1. ALL MATERIALS TO BE SUPPLIED BY THE CONTRACTOR.
 2. ALL MATERIALS TO BE INSTALLED BY THE CONTRACTOR.
 3. ALL MATERIALS TO BE MAINTAINED BY THE CONTRACTOR.



NO.	DATE	REVISIONS
01	10/21/21	ISSUE FOR PERMIT
02	10/21/21	ISSUE FOR PERMIT
03	10/21/21	ISSUE FOR PERMIT
04	10/21/21	ISSUE FOR PERMIT
05	10/21/21	ISSUE FOR PERMIT
06	10/21/21	ISSUE FOR PERMIT
07	10/21/21	ISSUE FOR PERMIT
08	10/21/21	ISSUE FOR PERMIT
09	10/21/21	ISSUE FOR PERMIT
10	10/21/21	ISSUE FOR PERMIT
11	10/21/21	ISSUE FOR PERMIT
12	10/21/21	ISSUE FOR PERMIT
13	10/21/21	ISSUE FOR PERMIT
14	10/21/21	ISSUE FOR PERMIT
15	10/21/21	ISSUE FOR PERMIT
16	10/21/21	ISSUE FOR PERMIT
17	10/21/21	ISSUE FOR PERMIT
18	10/21/21	ISSUE FOR PERMIT
19	10/21/21	ISSUE FOR PERMIT
20	10/21/21	ISSUE FOR PERMIT

6340 NO 3 RD
 RICHMOND, BC

MIXED USE
 WEST ELEVATION

DATE	NO.	DESCRIPTION
10/21/21	1	ISSUE FOR PERMIT
10/21/21	2	ISSUE FOR PERMIT
10/21/21	3	ISSUE FOR PERMIT
10/21/21	4	ISSUE FOR PERMIT
10/21/21	5	ISSUE FOR PERMIT
10/21/21	6	ISSUE FOR PERMIT
10/21/21	7	ISSUE FOR PERMIT
10/21/21	8	ISSUE FOR PERMIT
10/21/21	9	ISSUE FOR PERMIT
10/21/21	10	ISSUE FOR PERMIT
10/21/21	11	ISSUE FOR PERMIT
10/21/21	12	ISSUE FOR PERMIT
10/21/21	13	ISSUE FOR PERMIT
10/21/21	14	ISSUE FOR PERMIT
10/21/21	15	ISSUE FOR PERMIT
10/21/21	16	ISSUE FOR PERMIT
10/21/21	17	ISSUE FOR PERMIT
10/21/21	18	ISSUE FOR PERMIT
10/21/21	19	ISSUE FOR PERMIT
10/21/21	20	ISSUE FOR PERMIT

1646
 A3.01

1000 WEST 10TH AVENUE
 VANCOUVER, BC V6H 3G7
 TEL: 604-275-1111
 FAX: 604-275-1112
 WWW.GBLINC.COM

DATE: 10/15/2014
 DRAWN BY: J. BROWN
 CHECKED BY: J. BROWN
 PROJECT: 1666

NO. DATE REVISIONS
 01 10/15/14 ISSUED FOR ITP
 02 10/15/14 REVISIONS FOR COMMENTS
 03 10/15/14 REVISIONS FOR COMMENTS
 04 10/15/14 REVISIONS FOR COMMENTS
 05 10/15/14 REVISIONS FOR COMMENTS

6340 RD 3 RD
 RICHMOND, BC

MIXED-USE
 SOUTH ELEVATION

DATE: 10/15/2014
 DRAWN BY: J. BROWN
 CHECKED BY: J. BROWN
 PROJECT: 1666

A3.02

MATERIALS

- 1. CONCRETE
- 2. BRICK
- 3. GLASS
- 4. METAL
- 5. WOOD
- 6. STONE
- 7. TERRAZZO
- 8. CERAMIC TILE
- 9. CARPET
- 10. PAINT
- 11. PLASTER
- 12. GYPSUM BOARD
- 13. INSULATION
- 14. ROOFING
- 15. FLOORING
- 16. WALL FINISH
- 17. CEILING FINISH
- 18. EXTERIOR FINISH
- 19. INTERIOR FINISH
- 20. MECHANICAL
- 21. ELECTRICAL
- 22. PLUMBING
- 23. HVAC
- 24. LIGHTING
- 25. FURNITURE
- 26. FIXTURES
- 27. EQUIPMENT
- 28. MATERIALS
- 29. FINISHES
- 30. ACCESSORIES

REVISIONS:
 1. REVISIONS TO MATERIALS
 2. REVISIONS TO MATERIALS
 3. REVISIONS TO MATERIALS

