



To: Development Permit Panel

Date: July 8, 2020

From: Wayne Craig
Director, Development

File: DP 20-893127

Re: Application by Design Work Group Ltd. for a Development Permit at 11480 and 11500 Railway Avenue

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of three duplexes at 11480 and 11500 Railway Avenue on a site zoned "Arterial Road Two-Unit Dwellings (RDA)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback to Railway Avenue from 6.0 m to 5.0 m for Proposed Lot 3.

Wayne Craig
Director, Development
(604-247-4625)

WC:jr
Att. 2

Staff Report

Origin

Design Work Group Ltd. has applied to the City of Richmond for permission to develop three duplexes on subdivided lots at 11480 and 11500 Railway Avenue. The site is proposed to be rezoned from “Single Detached (RS1/E)” to “Arterial Road Duplexes (RDA)” under Bylaw 10060 (RZ 17-771371), which received third reading at the Public Hearing on December 16, 2019. The site currently contains two single-family dwellings, which would each be demolished.

A Servicing Agreement is required prior to final adoption of the rezoning bylaw, and includes, but is not limited to, the following improvements:

- New concrete sidewalk and landscaped boulevard along the Railway Avenue frontage.
- Special pavement treatments and paint at the driveway crossings to highlight the existing bike lane on Railway Avenue.
- Construction of a concrete median on Railway Avenue to prevent vehicle turning movements across the northbound travel lane.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, single-family dwellings on lots zoned “Single Detached (RS1/E)” with vehicle access from Railway Avenue.
- To the east, single-family dwellings on lots zoned “Single Detached (RS1/B)” with vehicle access from Kestrel Drive.
- To the south, a single-family dwelling on a property subject to an active application to rezone from the “Single Detached (RS1/E)” zone to the “Arterial Road Duplexes (RDA)” zone, to permit the development of one new duplex (RZ 18- 819258). The associated rezoning bylaw received third reading on June 17, 2019.
- To the west, across Railway Avenue, a single-family dwelling on a lot zoned “Single Detached (RS1/A)” with vehicle access from Garry Street.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Review of the architectural character, scale, and massing to ensure that the proposed duplexes are well designed, fit into the neighbourhood, and do not adversely impact adjacent homes.

- Review of the roof design to ensure it meets the “Residential Vertical Lot Depth Envelope” and “Residential Vertical Lot Width Envelope” requirements under Zoning Bylaw 8500.
- Review of aging-in-place features in all units and the provision of two convertible units.
- Refinement of the proposed site grading to ensure survival of the protected tree, and to provide an appropriate transition between the proposed development and adjacent existing developments.
- Refinement of the driveway and auto court configurations to minimize paved areas on site and explore the opportunity to widen the street fronting units to further animate the public realm.
- Refinement of landscape design including new trees to be planted on site.

The first Public Hearing for the rezoning of this site was held on September 3, 2019. At the Public Hearing, the following concerns about rezoning the property were expressed by members of the public:

- Development in the neighbourhood has resulted in pressure on the limited street parking on Garry Street.

The application was referred back to staff for further consideration of alternative designs to improve the overall site plan and parking, including density. Staff worked with the applicant on a townhouse concept, however the result was a development with the same number of units and a higher proportion of paved area. A revised duplex design that included one additional visitor parking stall on Proposed Lot 3 was then brought forward to a second Public Hearing on December 19, 2020, where the associated bylaw was given third reading.

Staff worked with the applicant to address the previously noted design issues in the following ways:

- The upper storey massing has been reduced to comply with the “Residential Vertical Lot Depth Envelope” and “Residential Vertical Lot Width Envelope”.
- The material palette has been refined and takes inspiration from single-family dwellings in the neighbourhood.
- The site grade will be raised to meet the minimum Flood Construction Level, except for the area within the tree protection zone, which will remain as is. The proposed grade change within the utility statutory right-of-way (SRW) is supported by Engineering staff, as it avoids a potential scenario where the SRW is located in a trench with retaining walls on either side.
- The driveway width and auto court area have been maintained to provide sufficient area for vehicle turning movements on site.
- Additional details on the architectural character, aging-in-place features, and landscape design are provided in the Analysis section of this report.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject

Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Arterial Road Two-Unit Dwellings (RDA)” zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in *bold italics*)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the front yard setback to Railway Avenue from 6.0 m to 5.0 m for Proposed Lot 3.

The proposed variance would be for the duplex located on Proposed Lot 3 only. The proposed variance is a direct result of shifting floor area from the rear unit to accommodate the visitor parking space, and was identified at the rezoning stage. No concerns were raised about the proposed variance at the Public Hearing.

Staff supports the proposed variance as the reduced setback does not detract from the relationship between the building and the public realm. The front yard area, though reduced, includes a porch, walkway, and a layered landscape. Railway Avenue has a wide boulevard in this location, so the building face would be 11.87 m from the back of the curb.

Advisory Design Panel Comments

On June 17, 2020, the Advisory Design Panel supported the subject Development Permit application moving forward to the Development Permit Panel subject to the applicant giving consideration to the Panel’s comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference, together with the applicant’s design response in in ‘*bold italics*’ (Attachment 2).

Analysis

Conditions of Adjacency

- The north side yard abuts the side yard of a single-family dwelling. The site grade will be raised resulting in a 0.4 m (1.3 ft.) retaining wall along the north property line. A new perimeter fence is proposed on top of the retaining wall. The applicant reviewed the location of windows on the neighbouring dwelling when designing the interior spaces, so as to avoid having windows located across from one another.
- The south side yard abuts the side yard of a single-family dwelling, which is proposed to be redeveloped to a similar front-back duplex. The site grade will be raised and it is anticipated that the neighbouring property will also be raised as part of the redevelopment. A new perimeter fence is proposed.
- The rear yard abuts the rear yard of single-family dwellings. This interface includes one retained tree. The site grade will be raised resulting in a 0.6 m (2 ft.) retaining wall along the rear property line, except for within the critical root zone of the protected tree. A perimeter fence is proposed on top of the retaining wall.

Urban Design and Site Planning

- The proposed development involves subdivision to create three properties, each of which would contain one duplex.

- Vehicular access to Proposed Lots 1 and 2 would be from a shared driveway to Railway Avenue. A statutory right-of-way (SRW) agreement establishing this access arrangement has been secured through the rezoning application.
- Vehicular access to Proposed Lot 3 would be from a driveway to Railway Avenue.
- The design of the drive aisle includes permeable pavers within the front yard setback and in the centre of the drive aisle. In addition to increasing permeable surface area, the contrasting paving treatment provides a visual cue for pedestrian circulation routes from the sidewalk to the rear units.
- Each unit fronting Railway Avenue has direct access to the sidewalk, and rear units have access from the drive aisle. These unit entries have been designed and positioned to be visible from the street, aiding wayfinding.
- Each unit has two side-by-side parking spaces in a garage, which also includes space for bicycle parking and waste bin storage. All resident parking spaces are provided with Level 2 EV charging as per Richmond Zoning Bylaw 8500.
- One visitor parking space is shared by Proposed Lots 1 and 2. This parking space is to be included in the shared access SRW secured through the rezoning application. Proposed Lot 3 includes a visitor parking space at the end of the drive aisle.

Architectural Form and Character

- The proposed development contributes to the low-rise residential character of the neighbourhood by using simple massing, pitched roofs, and details inspired by common single-family styles. Each duplex is characterized by a unique architectural style, providing variety in the streetscape while maintaining similar massing. The applicant has chosen to take inspiration from the “Tudor,” “Modern Farmhouse,” and “Craftsman” styles.
- The diverse architecture is unified by a colour palette of grey, beige, and white, with contrasting black, brown, and red elements. Brick and stone veneer, board and batten hardie board, and hardie shingles are used to complement the materials of adjacent single-family dwellings. The proposed materials and colours are consistent with the Official Community Plan (OCP) guidelines and the surrounding neighbourhood character.

Landscape Design and Open Space Design

- There are no bylaw-sized trees on the development site. The existing hedges on the northwest and southeast corners of the subject site are proposed to be removed. Eight new trees are proposed, and include a mix of coniferous and deciduous species.
- One off-site tree on a neighbouring property to the east will be retained. Tree protection fencing is required prior to demolition of the existing buildings, and arborist supervision is required for any works within the tree protection zone. This tree and the required fencing are shown on Plan # 2.
- The proposal includes private outdoor space for each unit consistent with the Official Community Plan (OCP) requirements. Each outdoor space includes both soft and hard landscape elements.
- The front of each property has a layered landscape design including a variety of shrubs and trees. Two waste bin landing areas are provided, and are screened with low shrubs.
- Irrigation is provided for all planted areas.
- A significant amount of permeable pavers are used within the drive aisle, increasing the total permeable surface area to between 50-60% for each proposed lot.

- To ensure that the proposed landscaping works are completed, the applicant is required to provide a Landscape Security in the amount of \$23,656 prior to issuance of the Development Permit.

Crime Prevention Through Environmental Design

- Low fencing and landscaping are provided in the front yard to distinguish public and private space while allowing for casual surveillance of the sidewalk.
- New 1.8 m (6 ft.) fencing is proposed around the perimeter of the site to provide privacy and separation. The proposed fencing will also screen headlight glare from the visitor parking and auto courts.
- Each of the rear units has a covered entry, which provides weather protection and clearly identifies the unit entrance.

Sustainability

- The proposed development is required to achieve Step 1 of the BC Energy Step Code.
- Level 2 EV chagrining is provided in each garage as per Richmond Zoning Bylaw 8500.

Accessible Housing

- Concrete is used along the perimeter of each drive aisle to visually indicate areas of pedestrian circulation. The concrete provides a level surface for the comfort and safety of individuals using mobility aids such as wheelchairs or scooters, as well as those pushing a stroller.
- The proposed development includes two convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair (Unit B on each of Proposed Lots 1 and 3). The potential conversion of these units will require installation of a stair lift.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Jordan Rockerbie
Planner 1
(604-276-4092)

JR:blg

Attachments:

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the draft minutes of the Advisory Design Panel

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit or cash security for landscaping in the amount of \$23,656, based on the cost estimate provided by the landscape designer and inclusive of a 10% contingency.

Prior to a Demolition Permit issuance, the developer is required to complete the following:

- Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.

At Subdivision stage, the developer must complete the following requirements:

- Payment of the current year's taxes, Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, and Address Assignment Fees.
- Registration of a cross-access easement over the driveway, drive aisle, and visitor parking stall shared between the two northern lots.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Incorporation of CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.



DP 20-893127

Attachment 1

Address: 11480 and 11500 Railway Avenue

Applicant: Design Work Group Ltd.

Owner: 1113132 BC LTD

Planning Area(s): Steveston

	Existing	Proposed
Site Area:	1,530.6 m ²	Lot A: 484.1 m ² Lot B: 464.8 m ² Lot C: 544.8 m ²
Land Uses:	Single-family dwellings	Two-unit dwellings
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Single Detached (RS1/E)	Arterial Road Two-Unit Dwellings (RDA)
Number of Units:	Two single-family dwellings	Three two-unit dwellings

Proposed Lot 1	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6 FAR (290.5 m ²)	0.58 FAR (282.55 m ²)	None permitted
Lot Coverage:	Buildings: Max. 45% Non-porous surfaces: Max. 70% Landscaping: Min. 25%	Buildings: 43% Non-porous surfaces: 49% Landscaping: 34%	None
Setback – Front Yard (West):	Min. 6.0 m	6.16 m	None
Setback – Side Yard (North):	Min. 1.2 m	1.24 m	None
Setback – Side Yard (South):	Min. 1.2 m	1.70 m	None
Setback – Rear Yard (East):	Min. 6.0 m	6.33 m	None
Height (m):	Max. 9.0 m	8.19 m	None
Lot Size:	Min. 464.5 m ²	484.1 m ²	None
Off-street Parking Spaces – Resident/Visitor:	Min. 2(R) and 0.2(V) per unit	2(R) and 0.25(V) per unit*	None
Total off-street Spaces:	4(R) and 1(V)	4(R) and 1(V)*	None

* One visitor parking space is shared among all four units on Proposed Lots 1 and 2, which is permitted in the "Arterial Road Two-Unit Dwellings (RDA)" zone

Proposed Lot 2	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6 FAR (278.9 m ²)	0.6 FAR (277.6 m ²)	None permitted
Lot Coverage:	Buildings: Max. 45% Non-porous surfaces: Max. 70% Landscaping: Min. 25%	Buildings: 39% Non-porous surfaces: 44% Landscaping: 28%	None
Setback – Front Yard (West):	Min. 6.0 m	6.04 m	None
Setback – Side Yard (North):	Min. 1.2 m	2.35 m	None
Setback – Side Yard (South):	Min. 1.2 m	1.2 m	None
Setback – Rear Yard (East):	Min. 6.0 m	6.0 m	None
Height (m):	Max. 9.0 m	8.14 m	None
Lot Size:	Min. 464.5 m ²	464.8 m ²	None
Off-street Parking Spaces – Resident/Visitor:	Min. 2(R) and 0.2(V) per unit	2(R) and 0.25(V) per unit*	None
Total off-street Spaces:	4(R) and 1(V)	4(R) and 1(V)*	None
* One visitor parking space is shared among all four units on Proposed Lots 1 and 2, which is permitted in the “Arterial Road Two-Unit Dwellings (RDA)” zone			

Proposed Lot 3	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6 FAR (326.9 m ²)	0.58 FAR (316.4 m ²)	None permitted
Lot Coverage:	Buildings: Max. 45% Non-porous surfaces: Max. 70% Landscaping: Min. 25%	Buildings: 35% Non-porous surfaces: 39% Landscaping: 25%	None
Setback – Front Yard (West):	Min. 6.0 m	5.0 m	Vary by 1.0 m
Setback – Side Yard (North):	Min. 1.2 m	1.2 m	None
Setback – Side Yard (South):	Min. 1.2 m	3.2 m	None
Setback – Rear Yard (East):	Min. 6.0 m	6.33 m	None
Height (m):	Max. 9.0 m	8.99 m	None
Lot Size:	Min. 464.5 m ²	544.8 m ²	None
Off-street Parking Spaces – Resident/Visitor:	Min. 2(R) and 0(V)** per unit	2(R) and 0(V)** per unit	None
Total off-street Spaces:	4(R) and 1(V)	4(R) and 1(V)	None
** Visitor parking is only required when three or more dwelling units share a driveway access			

**Annotated Excerpt from the Draft Minutes from
Advisory Design Panel Meeting**

Wednesday, June 17, 2020 – 4:00 p.m.

DP 20-893127 – THREE ARTERIAL ROAD DUPLEXES

ARCHITECT: Design Work Group Ltd.
LANDSCAPE ARCHITECT: Larry Fiddler, Landscape Designer
PROPERTY LOCATION: 11480 and 11500 Railway Avenue

Applicant's Presentation

Architectural Technologist Michael Lu, Design Work Group Ltd., and Landscape Designer Larry Fiddler, presented the project, and together with Inder Johal, Brick Lane Development, answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the provision of two convertible units in the project; consider installing pocket doors for all washrooms and closets in the convertible units; also consider installing an outward-opening door for the powder room with the hinges installed on the opposite side to provide adequate manoeuvring space for a resident in a wheelchair; ***Pocket doors added where possible. Powder room has outward-opening door***
- consider providing space for future installation of a vertical lift in the convertible units as a chair lift does not work well for a resident in a wheelchair or using a walker considering that a wheelchair is required for each floor level;
- reconsider the proposed location of the garbage collection area as it is sited at the front of the proposed development; consider relocating it to a centralized corner space as landscaping may not provide adequate screening; ***Lot 1 and lot 2 garbage collection areas have been centralized. We are not able to relocate the garbage area as it has to be close to the driveway. We do not want to have lot 3 garbage area to be in the same area as it will be quite a distance for lot 3 rear unit to move their bins. Also it is because there are fences between lot 2 and lot 3.***
- there appears to be no compelling reason for the proposed front yard setback variance;
- appreciate the overall project, particularly the nice elevations and streetscape;

- consider installing permeable pavers for the patios; ***Permeable pavers are added to front and rear units***
- consider installing low acoustical fencing to provide sound barrier for units fronting Williams Road; ***See-thru fencing is added for units fronting Railway Avenue***
- appreciate the duplex typology which is the appropriate approach to increase the density of the area;
- not concerned about the relaxation of the front yard setback as the applicant needs some leeway for the new building typology being introduced in the area;
- like the scale of the duplexes; however, concerned about their different architectural styles; consider minimizing the differences in architectural styles and materials;
- appreciate the distinct architectural styles for the three duplex buildings which fit well with the predominantly single-family dwelling neighbourhood;
- consider incorporating the screening for the future cooling system/unit into the design of the unit so it does not appear as an add-on;
- provision of patios will enhance the livability of the duplex units; would be interesting to see how this will be translated in the rear yards of back units and how the large SRW at the back could be accessed by residents; consider integrating a pathway at the patio on the east side that steps down to the SRW to make it a usable space; ***Retaining walls have been relocated to the property line per Engineering. No steps down required into SRW. SRW can now be part of rear unit green/patio area.***
- appreciate the provision of lawns as these provide usable outdoor spaces; however, consider a stronger balance between the lawn spaces and the buffer spaces along the sidewalk;
- does not support the proposal to install a wall to provide an acoustic barrier as it is not an effective method to mitigate street noise; suggest that the proposed visually porous street frontage be maintained to create a neighbour-friendly character;
- look at the detailing of the retaining wall along the south property line considering the permeable paving treatment of the drive aisle which allow infiltration of ground water into the ground system; ***Permeable pavers and drainage proposed***
- the project is an attractive addition to the neighbourhood;
- support the distinct architectural styles for the three duplex buildings as opposed to one cohesive looking project;
- appreciate the cedar hedge along the front of the property; however, consider installing a light porous fence to mark the edge of the property; and ***Light porous fence added***

- consider incorporating soft landscaping around the two visitor parking stalls. **Landscaping added**

The following comments of Panel member Chris Lee were read into the record by Sara Badyal:

- overall, the proposal is easy to follow; however, would like to see an illustrative or coloured landscape plan for better understanding of the proposal;
- consider the following suggestions relating to the landscape plan:
 - (i) the width of the proposed "pavers walkway" next to the double doors connecting the interior is not sufficient to provide landing space; **Patio added as sufficient landing space**
 - (ii) strongly encourage to introduce additional greenery through planting between buildings and at the back of the buildings; and **Additional planting added**
 - (iii) introduction of low fence fronting the street would provide clearer delineation between public and private spaces. **Low see-thru fencing added**

Panel Decision

It was moved and seconded

That DP 20-893127 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



No. DP 20-893127

To the Holder: DESIGN WORK GROUP LTD.
Property Address: 11480 AND 11500 RAILWAY AVENUE
Address: C/O SUITE 203 - 5066 KINGSWAY
BURNABY, BC V5H 2E7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the front yard setback to Railway Avenue from 6.0 m to 5.0 m for Proposed Lot 3.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #20 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$23,656 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 20-893127

To the Holder: DESIGN WORK GROUP LTD.
Property Address: 11480 AND 11500 RAILWAY AVENUE
Address: C/O SUITE 203 - 5066 KINGSWAY
BURNABY, BC V5H 2E7

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR

This drawing is an instrument of service and shall remain the property of DWG Design Work Group Ltd. All information shown on this drawing is for the project identified and shall not be used for any other project without the written permission of DWG Design Work Group Ltd. The drawings shall be used in accordance with the approved reproduction of the drawings and shall not be used for any other purpose.

Design shall not be used for any other purpose. The Contractor shall be responsible for all dimensions, clearances and structural details to be provided to the Contractor before work is commenced. The Contractor shall be responsible for all construction details and shall be responsible for all construction details and shall be responsible for all construction details.

Do not construct with the information shown on this drawing until it is issued "As-Built" for Construction.

DP 20-893127 PLAN # 1

MAY 17/2020	REVISION FOR DP	▲
FEB 3/2020	ISSUED FOR DP	▲
JUNE 27/2019	REVISION FOR REZONING	▲
JUNE 27/2019	REVISION FOR REZONING	▲
JUNE 12/2019	ISSUED FOR REZONING	▲
DRAWING REVISIONS / ISSUES		

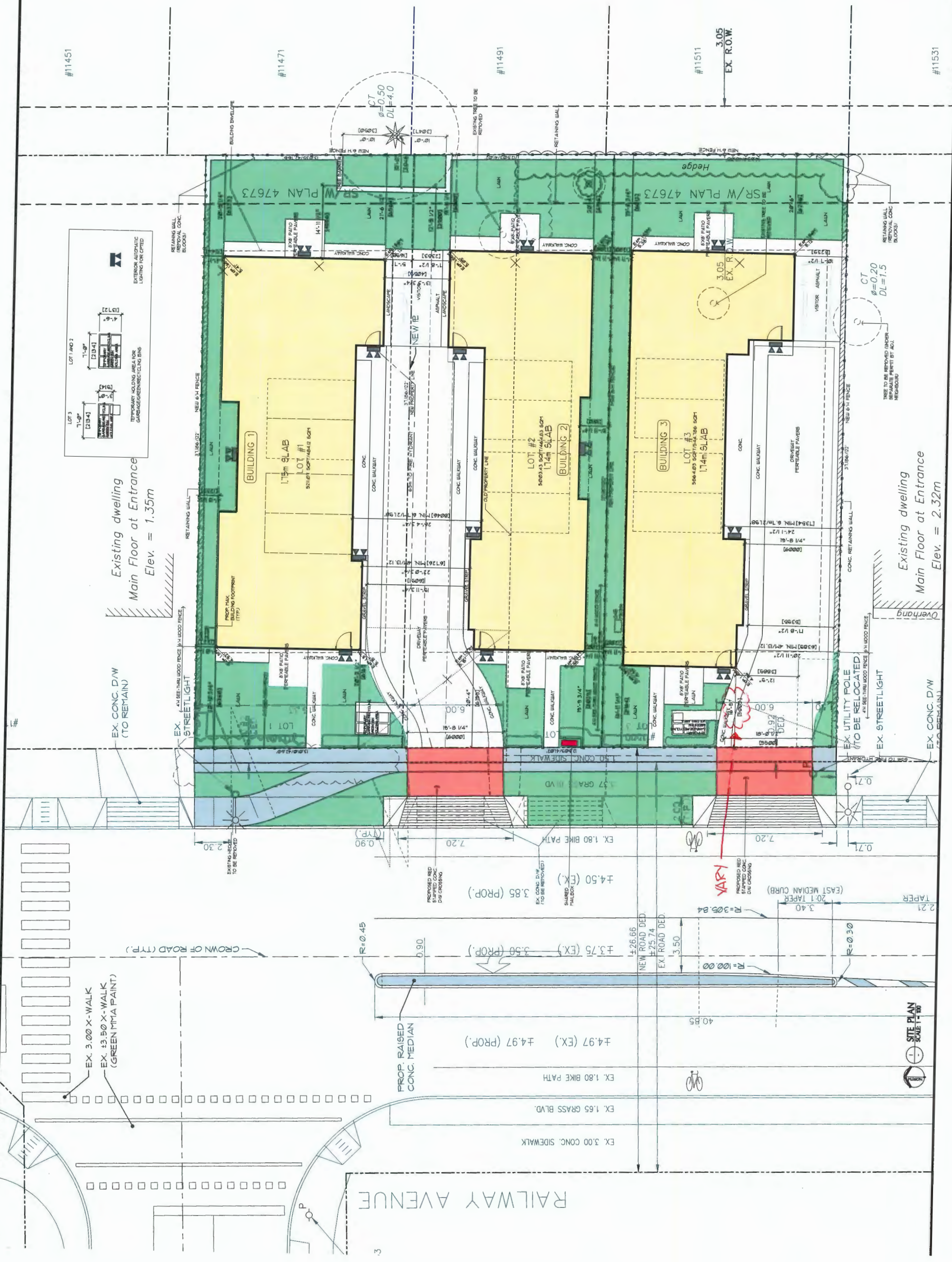
DWG
DESIGN WORK GROUP LTD.

Suite 203, 5065 Highway
Burnaby, BC V5H 1E7
Tel: 604.431.8152
info@designworkgroup.com
www.designworkgroup.com

PROPOSED DUPLEXES

DATE	DATE	DATE	DATE
17/02/20	17/02/20	17/02/20	17/02/20
17/02/20	17/02/20	17/02/20	17/02/20
17/02/20	17/02/20	17/02/20	17/02/20

SCALE: AS SHOWN



SITE PLAN
SCALE 1:100



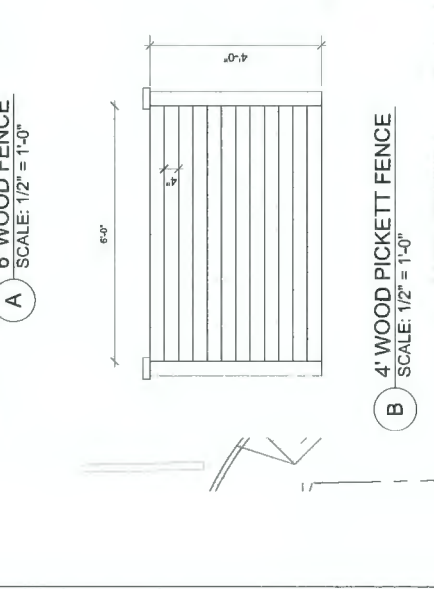
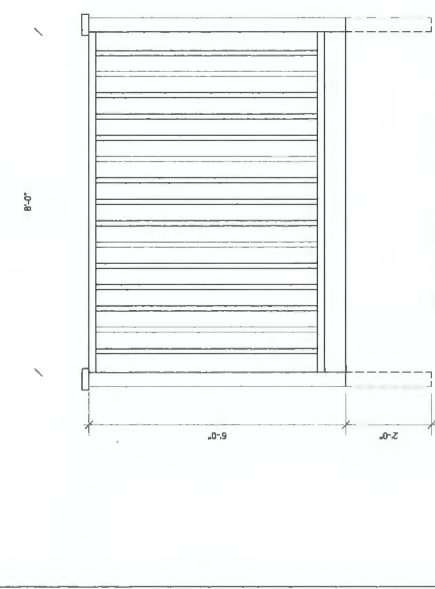
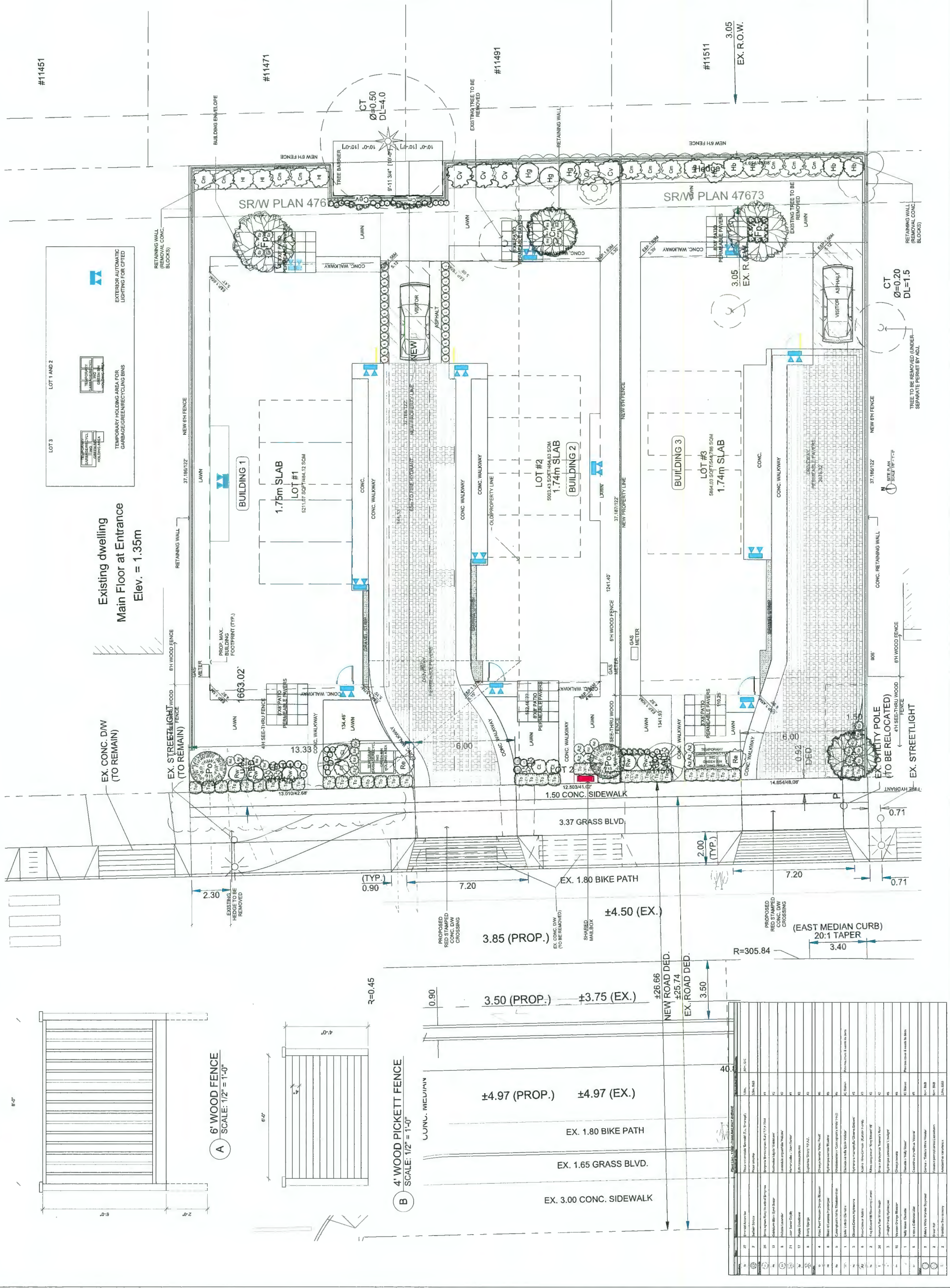
3

DP 20-893127 PLAN # 2

No.	Date	Appr	Revision Notes
1	18-4-12		
2	20-2-3		CITY COMMENTS NEW SITE PLAN
3	20-4-27		PRIOR TO CONDITIONS
4	20-7-3		CITY COMMENTS
5	20-7-8		PLANTS ADDED TO BACK YARDS

















No.	Date	Issue Notes
A	18-5-11	ARCHITECTURE REVIEW

Design Firm: **Larry Fiddler, Certified Landscape Designer**
 CNLABCLNA
 604.816.7712 larryfiddler@telus.net
 Consultant: **DESIGN WORK GROUP**
 Suite 203-5066 Kingsway
 Burnaby, B.C. V5H 2E7
 Project Title: **3 DUPLEXES**
 11480 - 11500 RAILWAY AVE.
 RICHMOND, B.C.
 Sheet No: **L1**
 of 1



No.	Description	Quantity	Unit	Notes
1	6' Wood Fence	100	Linear Feet	
2	4' Wood Pickett Fence	150	Linear Feet	
3	Asphalt	50	Sq. Yards	
4	Concrete Slab	100	Sq. Yards	
5	Grass	200	Sq. Yards	
6	Plantings	100	Individual Plants	
7	Retaining Wall	50	Linear Feet	
8	Walkways	100	Linear Feet	
9	Permeable Pavers	50	Sq. Yards	
10	Gas Meters	10	Units	
11	Streetlights	5	Units	
12	Mailboxes	10	Units	
13	Plantings	200	Individual Plants	
14	Plantings	100	Individual Plants	
15	Plantings	50	Individual Plants	
16	Plantings	50	Individual Plants	
17	Plantings	50	Individual Plants	
18	Plantings	50	Individual Plants	
19	Plantings	50	Individual Plants	
20	Plantings	50	Individual Plants	
21	Plantings	50	Individual Plants	
22	Plantings	50	Individual Plants	
23	Plantings	50	Individual Plants	
24	Plantings	50	Individual Plants	
25	Plantings	50	Individual Plants	
26	Plantings	50	Individual Plants	
27	Plantings	50	Individual Plants	
28	Plantings	50	Individual Plants	
29	Plantings	50	Individual Plants	
30	Plantings	50	Individual Plants	

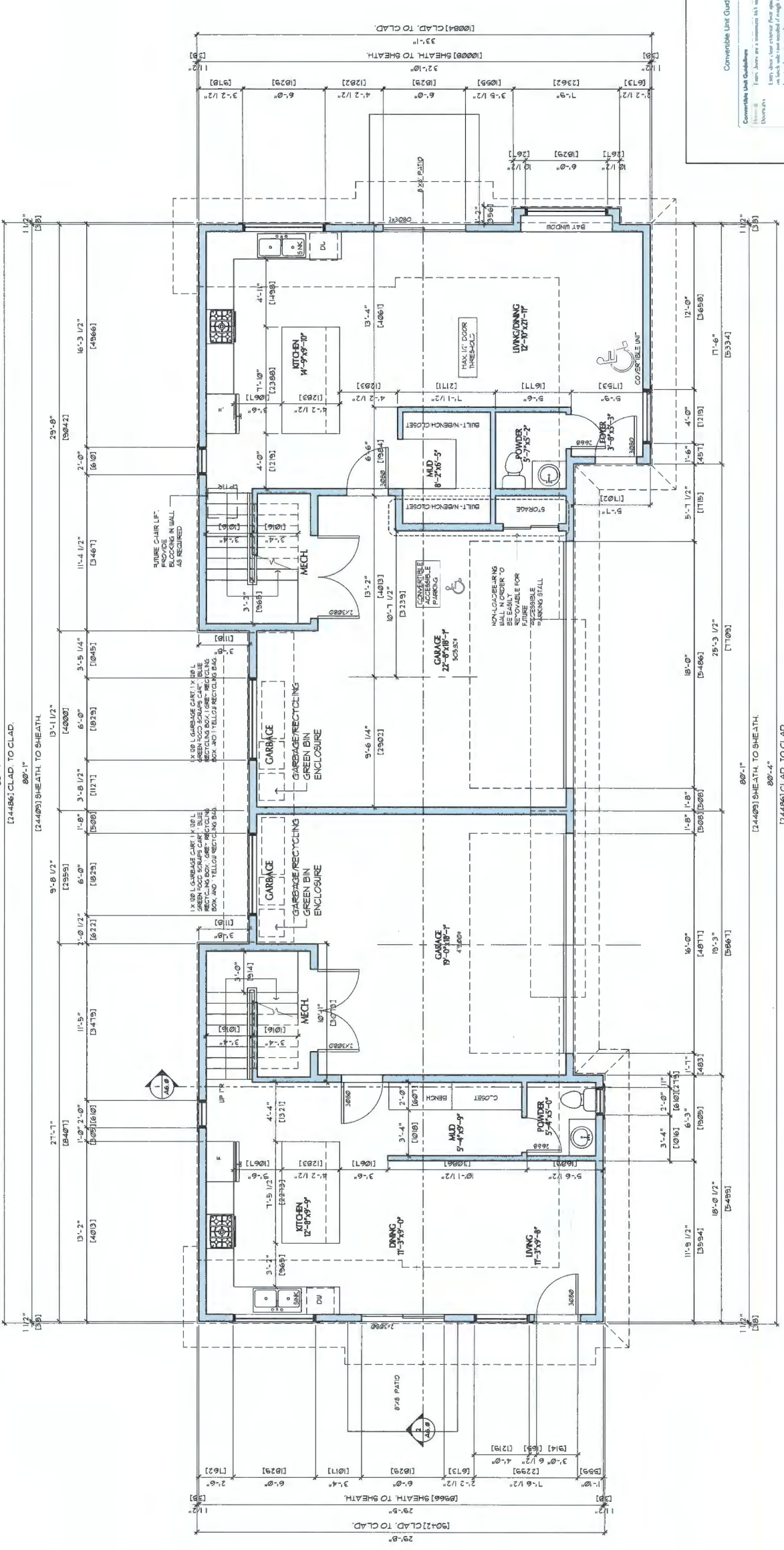
Plant List - 11480 -11500 RAILWAY AVENUE

		Qty	Common Name	Botanical Name	Scheduled Size	Comments
Conifers						
		37	Emerald Arborvitae	Thuja occidentalis 'Emerald' (T.o. 'Smaragd')	1.8m.	.60m. O/C
		2	Serbian Spruce	Picea omorika	3.5m. B&B	
Perennials						
		11	Bressingham Ruby Heartleaf Bergenia	Bergenia 'Bressingham Ruby' P.P.# 7344	#1	
		13	Goldsturm Black Eyed Susan	Rudbeckia fulgida 'Goldsturm'	#2	
		8	Hidcote Lavender	Lavandula angustifolia 'Hidcote'	#2	
		14	Joan Senior Daylily	Hemerocallis x 'Joan Senior'	#1	
		17	Purple Coneflower	Echinacea purpurea	#2	
		8	Shorty Spurge	Euphorbia 'Shorty' P.P.A.F.	#2	
Shrubs						
		4	Aztec Pearl Mexican Orange Blossom	Choisya ternata 'Aztec Pearl'	#5	
		5	Cunningham's White Rhododendron	Rhododendron x 'Cunningham's White' (H-2)	#5	
		6	Hino-Crimson Azalea	Azalea 'Hino-Crimson' (Kurume hybrid)	#3	
		2	King Edward VII Flowering Currant	Ribes sanguineum 'King Edward VII'	#2	
		26	Kramer's Red Winter Heath	Erica x darleyensis 'Kramer's Rote'	#2	
Trees						
		2	Eddie's White Wonder Dogwood	Cornus x 'Eddie's White Wonder'	6cm. B&B	
		2	Green Ash	Fraxinus pennsylvanica Leprechaun	6cm. B&B	
		2	Shadblow Serviceberry	Amelanchier canadensis	2.5m. B&B	

The drawing is in accordance with the property of the owner and is not to be used for any other purpose without the written consent of the architect. The architect assumes no responsibility for the accuracy of the information contained herein, nor for the use of the drawing. The architect shall not be held liable for any damage or injury resulting from the use of the drawing. The architect shall not be held liable for any damage or injury resulting from the use of the drawing. The architect shall not be held liable for any damage or injury resulting from the use of the drawing.

DP 20-893127 PLAN # 4

NOTES
 ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
 ALL INTERIOR CHANGES ARE TO FACE OF FINISH WALL.
 ALL DIMENSIONS ARE TO FACE OF FINISH WALL.
 ALL DIMENSIONS ARE TO FACE OF FINISH WALL.
 ALL DIMENSIONS ARE TO FACE OF FINISH WALL.



MAY 17/2010	ISSUED FOR DP
JUN 3/2010	ISSUED FOR DP
JUN 27/2010	ISSUED FOR REZONING
OCT 29/2010	ISSUED FOR REZONING
JAN 17/2011	ISSUED FOR REZONING
JAN 17/2011	ISSUED FOR REZONING

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 www.designworkgroup.biz

PROPOSED DUPLEXES

PROJECT: 809-488 ROLLERS AVE, RICHMOND, BC

DRAWING TITLE: LOT 1 MAIN FLOOR PLAN

DESIGN	DWG	DATE	REV 01/2011
CHECK	PL	JOB NO.	
DESIGN		DRAWING NO.	
CHECK		SCALE	AS SHOWN

A2.0

Convertible Unit Guidelines for LOT 1 UNIT B

General
 Units shall be constructed in accordance with the applicable building code and all other applicable laws, regulations, codes and standards. The unit shall be constructed in accordance with the applicable building code and all other applicable laws, regulations, codes and standards. The unit shall be constructed in accordance with the applicable building code and all other applicable laws, regulations, codes and standards.

Minimum
 Units shall be constructed in accordance with the applicable building code and all other applicable laws, regulations, codes and standards. The unit shall be constructed in accordance with the applicable building code and all other applicable laws, regulations, codes and standards. The unit shall be constructed in accordance with the applicable building code and all other applicable laws, regulations, codes and standards.

Maximum
 Units shall be constructed in accordance with the applicable building code and all other applicable laws, regulations, codes and standards. The unit shall be constructed in accordance with the applicable building code and all other applicable laws, regulations, codes and standards. The unit shall be constructed in accordance with the applicable building code and all other applicable laws, regulations, codes and standards.

MAIN FLOOR PLAN
 SCALE: 1" = 3'-0"
 LOT 1 - BUILDING 1

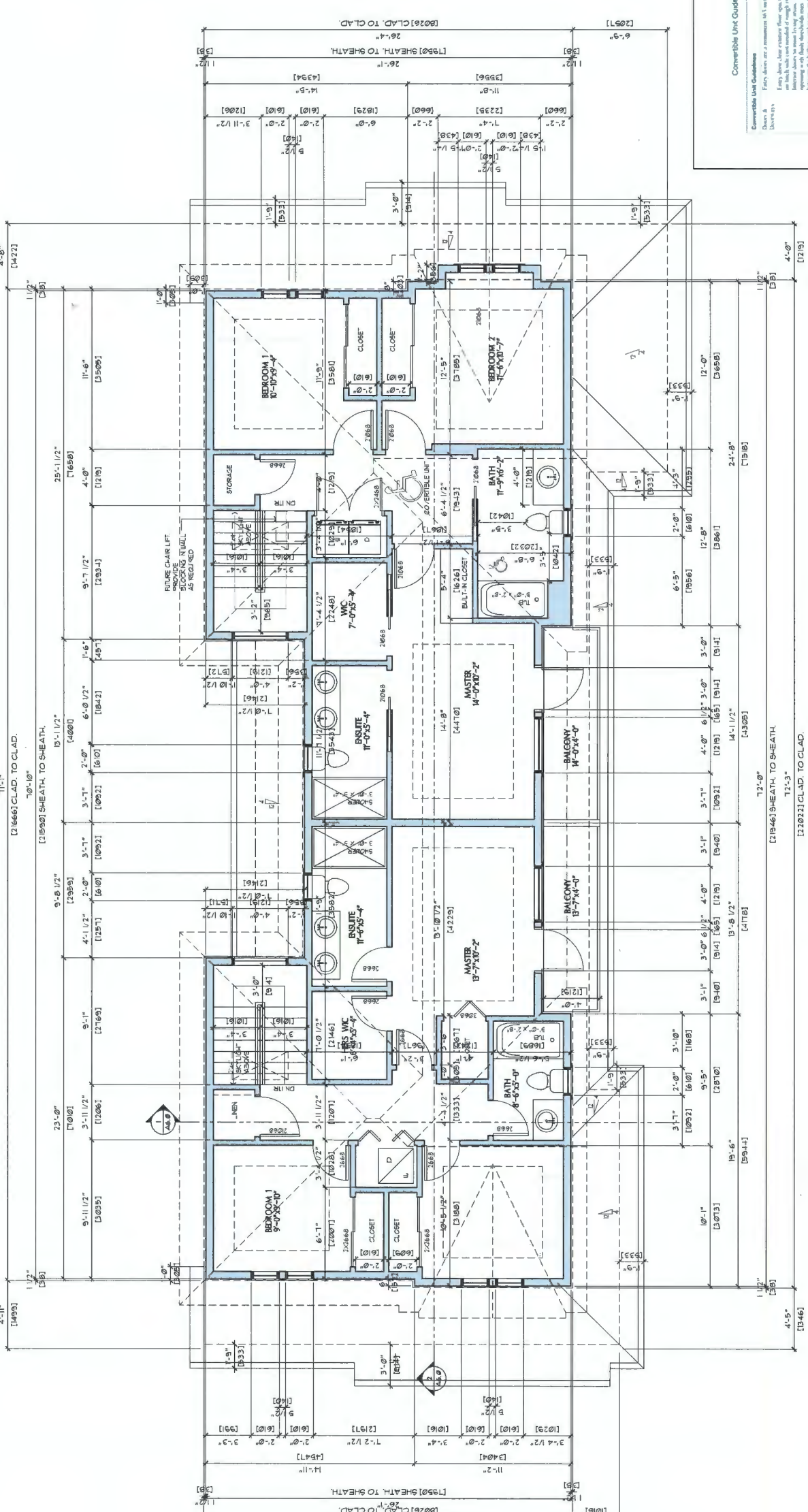
614.44 SF (UNIT A) + 758.42 SF (UNIT B)
 MAIN FLOOR TOTAL : 1372.86 SF
 UNIT A TOTAL : 1388.98 SF/129.04 SM
 UNIT B TOTAL : 852.41 SF/153.51 SM

The drawing is prepared by the architect and is not to be used as a contract document. The architect's responsibility is to provide a design that meets the client's requirements and to ensure that the design complies with all applicable codes and regulations. The architect is not responsible for the construction of the building or for the safety of the building after it has been completed.

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS ARE TO FACE OF FINISH WALL.
 3. DIMENSIONS TO FACE OF FINISH WALL ARE TO FACE OF FINISH WALL.
 4. DIMENSIONS TO FACE OF FINISH WALL ARE TO FACE OF FINISH WALL.
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DP 20-893127 PLAN # 5

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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 5. DIMENSIONS TO FACE OF FINISH WALL ARE TO FACE OF FINISH WALL.



774.54 SF (UNIT A) + 893.99 SF (UNIT B)
 SECOND FLOOR TOTAL : 1668.53 SF
 SCALE 1" = 30'
 LOT 1, BUILDING 1



5880 201, 5880 Brantford
 Brantford, ON N3S 1Y1
 TEL: (519) 751-8152
 info@designworkgroup.ca
 www.designworkgroup.ca

PROJECT
 PROPOSED DUPLEXES

1000 1000 BULLOCK AVE.
 BRANTFORD

DRIVING TITLE
 LOT 1 SECOND FLOOR PLAN

DATE FEB/2018
 JOB NO. -
 DRAWING NO.

SCALE AS SHOWN
A2.1

Convertible Unit Guidelines for LOT 1 UNIT B

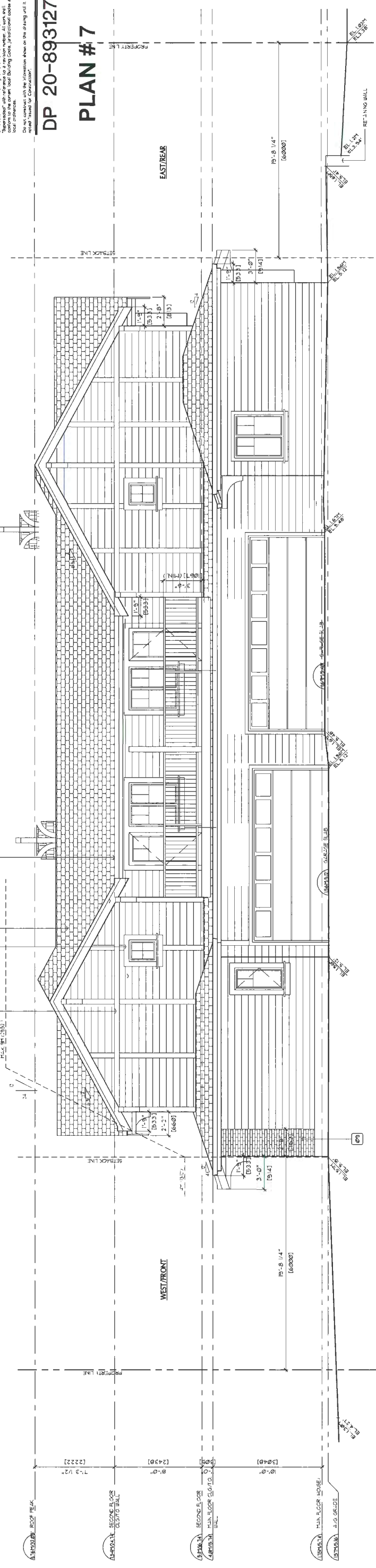
Convertible Unit Guidelines
 Every unit shall be constructed in accordance with the Unit Guidelines and shall be capable of being converted into a separate dwelling unit. The Unit Guidelines shall be used to determine the minimum requirements for a unit to be converted into a separate dwelling unit. The Unit Guidelines shall be used to determine the minimum requirements for a unit to be converted into a separate dwelling unit. The Unit Guidelines shall be used to determine the minimum requirements for a unit to be converted into a separate dwelling unit.

27 May 2013

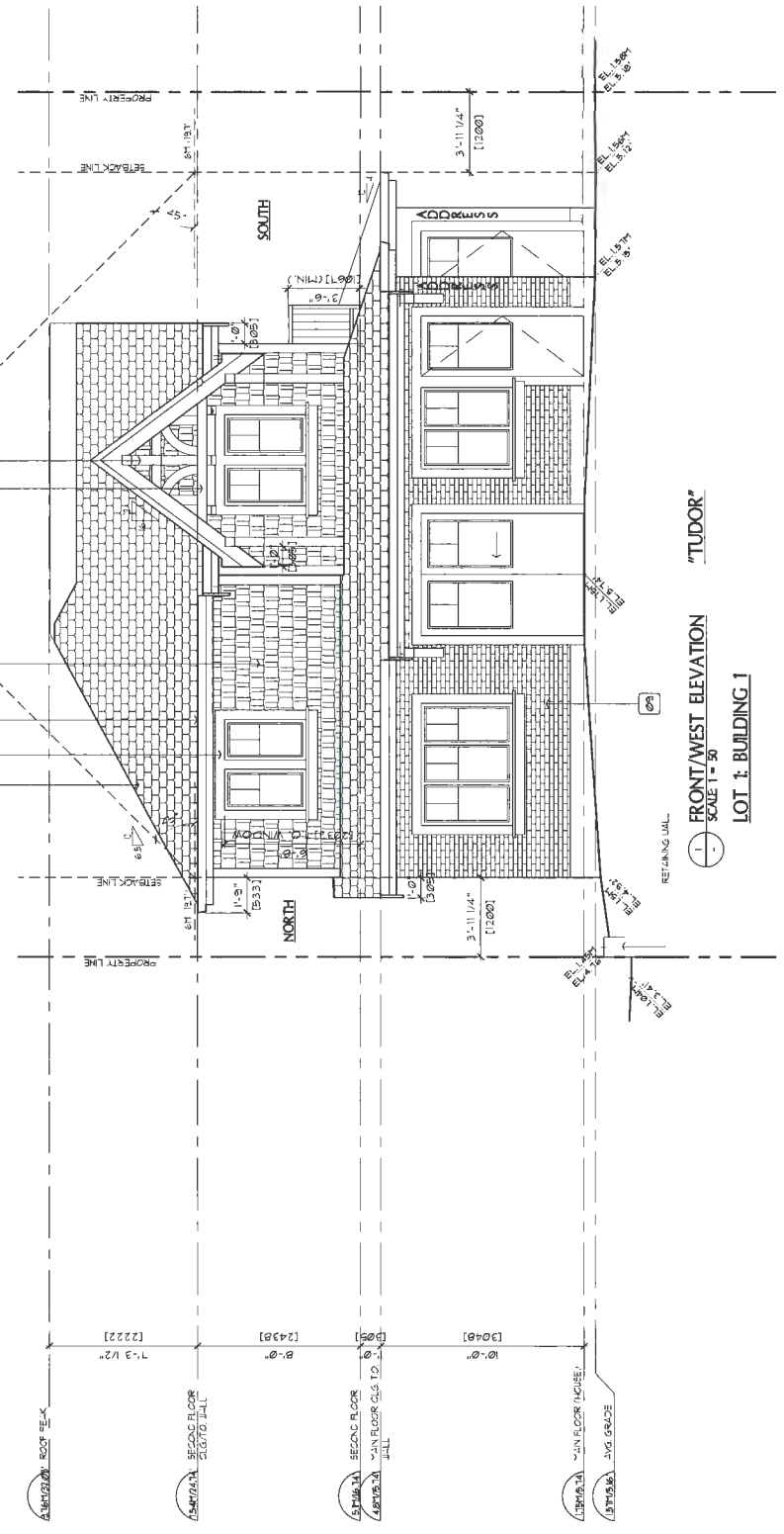
This drawing is a "statement of intent" and is not a contract. It is intended to provide a visual representation of the proposed design and is not to be used for construction purposes. All dimensions and materials are approximate and subject to change without notice. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall verify all dimensions and materials before construction. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall verify all dimensions and materials before construction.

DP 20-893127

PLAN # 7



2. SIDE/SOUTH ELEVATION
SCALE 1" = 30'
LOT 1: BUILDING_1



1. FRONT/WEST ELEVATION
SCALE 1" = 30'
LOT 1: BUILDING_1

LEGEND:

- 01 ASPHALT ROOF SHINGLES
- 02 HARDIE SHINGLES
- 03 1/4" OVER 1/2" S&G A
- 04 VINYL FRAME WINDOWS 6" x 7" FT
- 05 2x4 DECORATIVE WOOD TRIM
- 06 DECORATIVE WOOD KNEE BRACE
- 07 DECORATIVE CORBEL
- 08 METAL GUTTER OVER 2x4 S&G A
- 09 RED BRICK VENEER

Note: All dimensions are in feet and inches unless otherwise specified.

MAY 1/2016	ISSUED FOR DP	△
FEB 3/2016	ISSUED FOR DP	△
MAY 7/2015	ISSUED FOR REZONING	△
OCT 25/2016	ISSUED FOR REZONING	△
JUNE 7/2016	ISSUED FOR REZONING	△
DRAWING REVISIONS / 33025		

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DESIGN WORK GROUP LTD.

5000 303, 5054 Kingsway
Barnaby, BC V8T 1K7
TEL: 604.881.8157
info@dwgmcgroup.ca
www.dwgmcgroup.ca

PROJECT: PROPOSED DUPLEXES

1000 MAGNUS AVENUE
RICHMOND, BC

DRAWING TITLE: LOT 1 WEST AND SOUTH ELEVATIONS

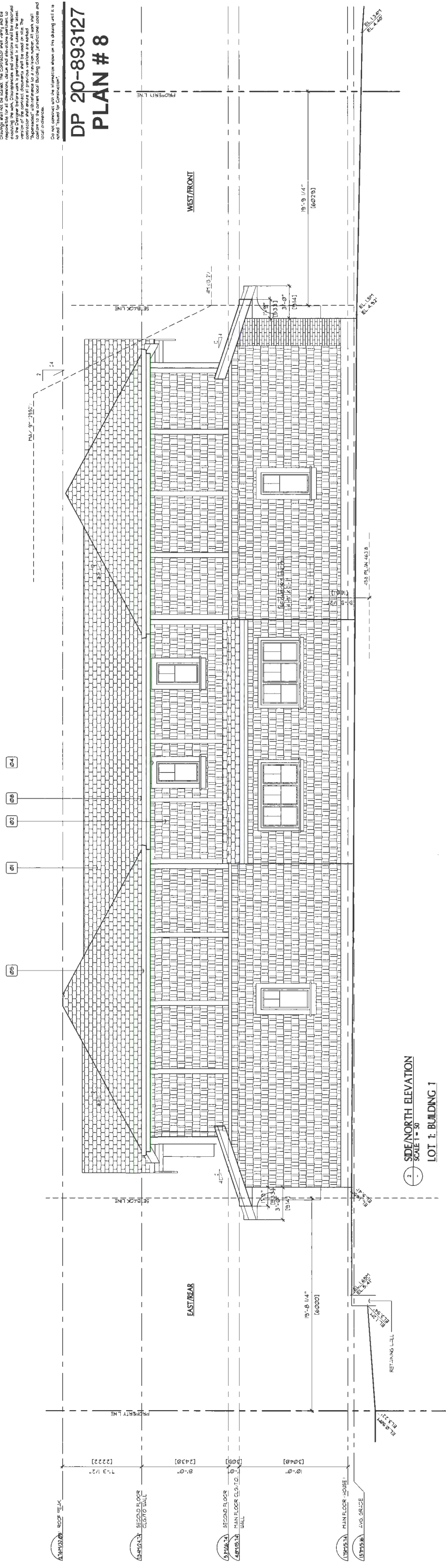
DRAWN BY:	DATE:	FEB 10/2016
CHECKED BY:	JOB NO.:	
DESIGN:	DRAWING NO.:	
CHECKED BY:	SCALE:	A2.3 AS SHOWN

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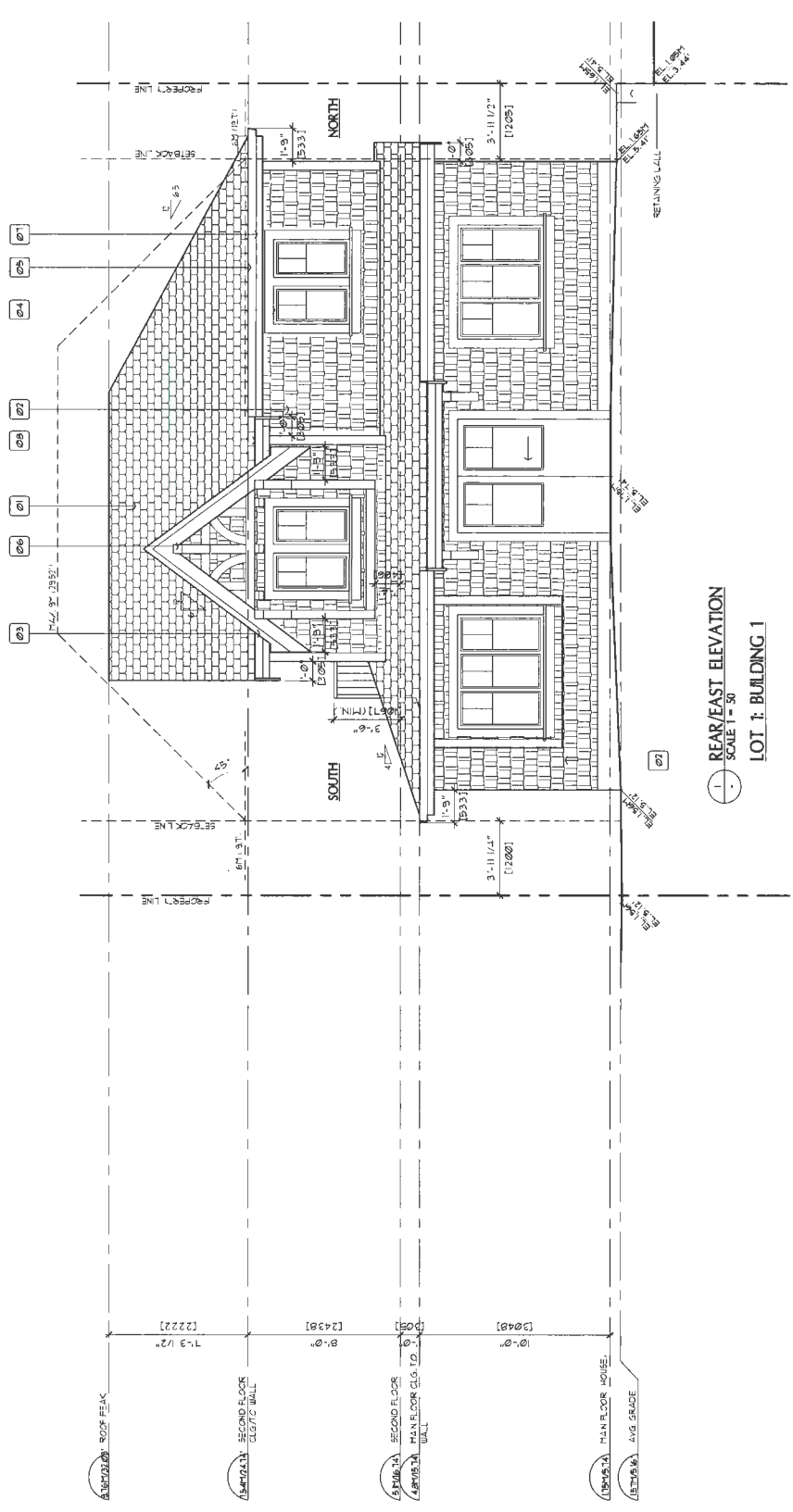
Drawings shall not be used. The Contractor shall verify and be responsible for the accuracy of all dimensions and locations shown on this drawing before work is performed. It is the Contractor's responsibility to confirm all dimensions and locations with the owner and/or other relevant parties before work is performed. The Contractor shall verify all dimensions and locations with the owner and/or other relevant parties before work is performed. The Contractor shall verify all dimensions and locations with the owner and/or other relevant parties before work is performed.

Do not combine with the information shown on any drawing until it is issued by Design Work Group Ltd.

DP 20-893127 PLAN # 8



2 SIDE/NORTH ELEVATION
SCALE 1" = 50'
LOT 1: BUILDING 1



1 REAR/EAST ELEVATION
SCALE 1" = 50'
LOT 1: BUILDING 1

- LEGEND:**
- 01 ASPHALT ROOF SHINGLES
 - 02 HARDIE SHINGLES 5/16"
 - 03 1/4" OBER 2" FASCIA
 - 04 1/4" RAUHE WINDOWS C/H 6" RHT
 - 05 1/4" DECORATIVE WOOD TRIM
 - 06 DECORATIVE WOOD KNEE BRACE
 - 07 DECORATIVE CORBEL
 - 08 METAL GUTTER COVER 2" FASCIA
 - 09 RED BRICK VENEER
- NOTE: SHAZED DASHED LINE DENOTE TOP OF CONCRETE FOR WALL

MAY 1/2020	RE ISSUED FOR DP
FEB 3/2020	ISSUED FOR DP
JAN 07/20	RE ISSUED FOR REZONING
OCT 25/2019	RE ISSUED FOR REZONING
JUNE 07/2019	ISSUED FOR REZONING
DRAWING REVISIONS / ISSUES	

DVG
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www.designworkgroup.ca

PROJ: 2027
PROPOSED DUPLEXES

1508 HURON BULLERY AVE
SCARBO
B.C.

DRAWING FILE
LOT 1: EAST AND WEST
ELEVATIONS

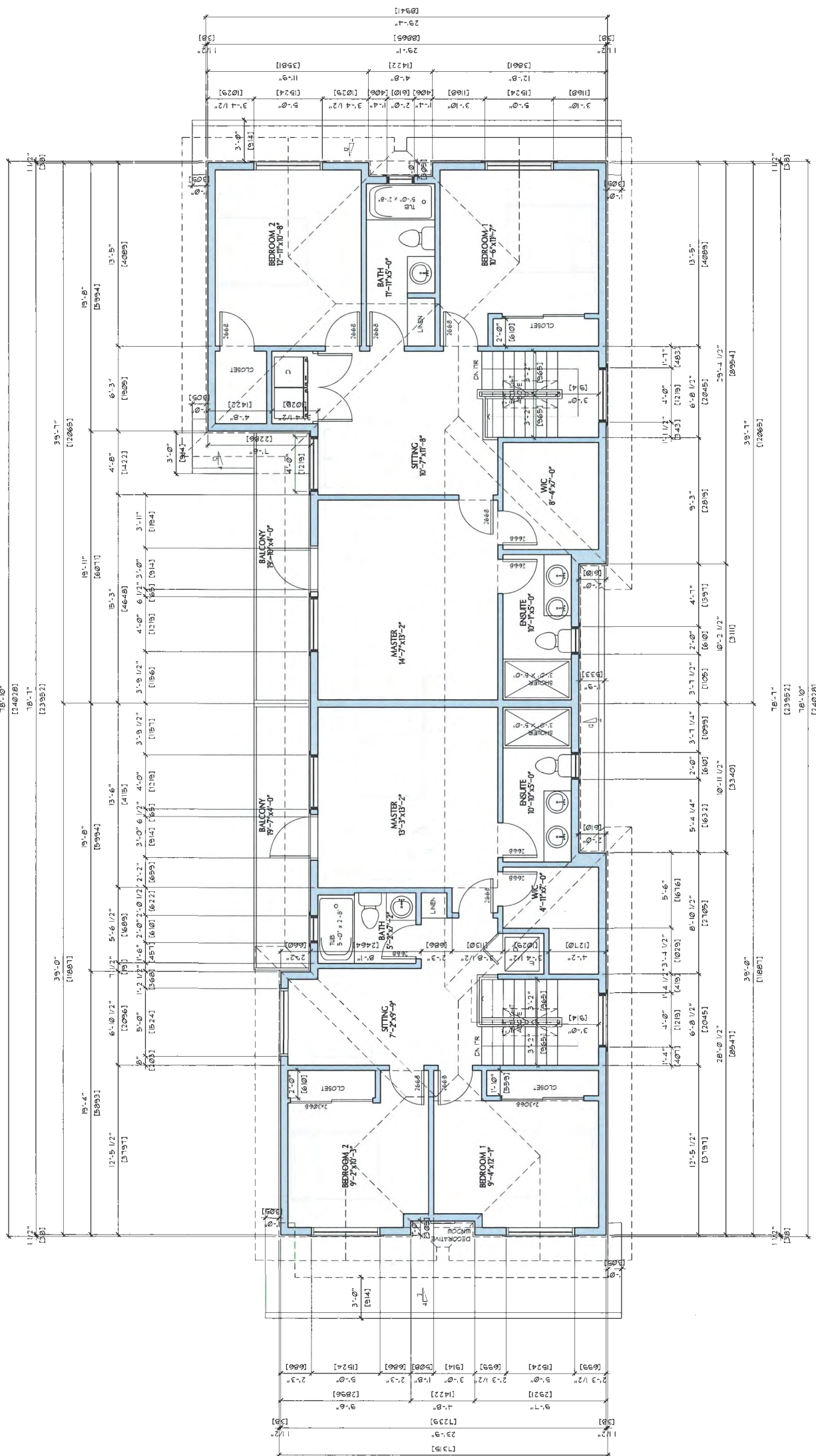
DRAWN: BT
DATE: FEB 2020
CHKD: ML
JOB NO:
DESIGN:
DRAWING NO:
SCALE: AS SHOWN
A2.4

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DP 20-893127

PLAN # 10

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL INTERIOR FINISHES ARE TO FACE OF FINISH WALL.
 3. ALL INTERIOR DOORS ARE TO FACE OF FINISH WALL.
 4. ALL INTERIOR DOORS ARE TO FACE OF FINISH WALL.
 5. ALL INTERIOR DOORS ARE TO FACE OF FINISH WALL.
 6. ALL INTERIOR DOORS ARE TO FACE OF FINISH WALL.
 7. ALL INTERIOR DOORS ARE TO FACE OF FINISH WALL.
 8. ALL INTERIOR DOORS ARE TO FACE OF FINISH WALL.
 9. ALL INTERIOR DOORS ARE TO FACE OF FINISH WALL.
 10. ALL INTERIOR DOORS ARE TO FACE OF FINISH WALL.



87058 SF (UNIT A) + 99176 SF (UNIT B)
 SECOND FLOOR TOTAL - 186234 SF (17302 SM)
 SCALE 1" = 5'
 LOT 2 - BUILDING 2

MAY 1/2020	REVISED FOR DP
FEB 3/12020	ISSUED FOR DP
JUNE 07/2020	REVISED FOR REZONING
OCT 15/2020	REVISED FOR REZONING
JUNE 17/2020	ISSUED FOR REZONING
REVISIONS / ISSUES	



Site: 201, 2062 Kingsway
 Richmond, BC V6V 1K2
 Tel: (604) 681-8153
 info@designworkgroup.bc.ca
 www.designworkgroup.bc.ca

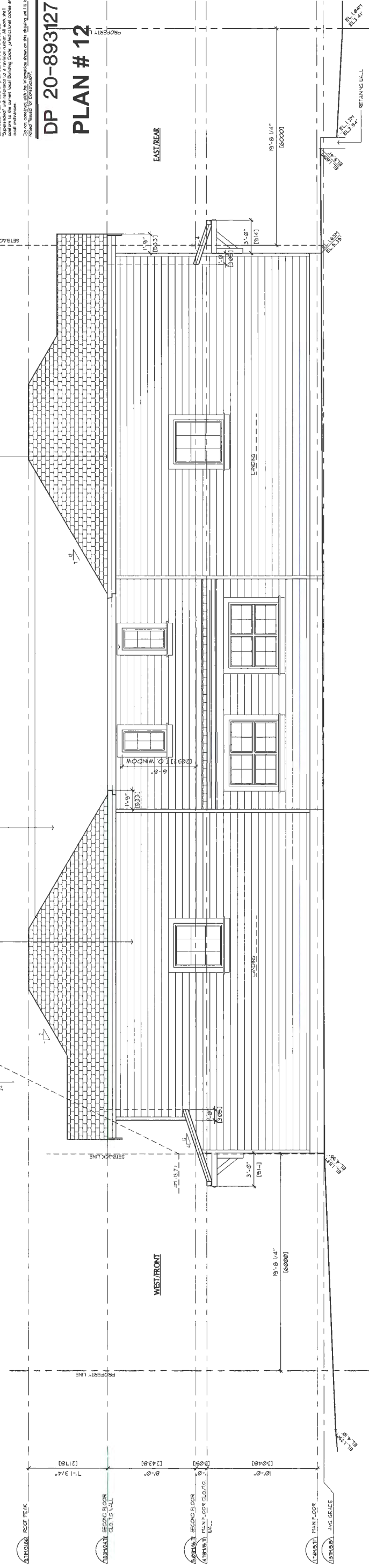
PROJECT
 PROPOSED
 DUPLEXES

1500 HAD HAD GULLEY AVE.
 RICHMOND
 B.C.
 DRAWING TITLE
 LOT 2 SECOND FLOOR PLAN

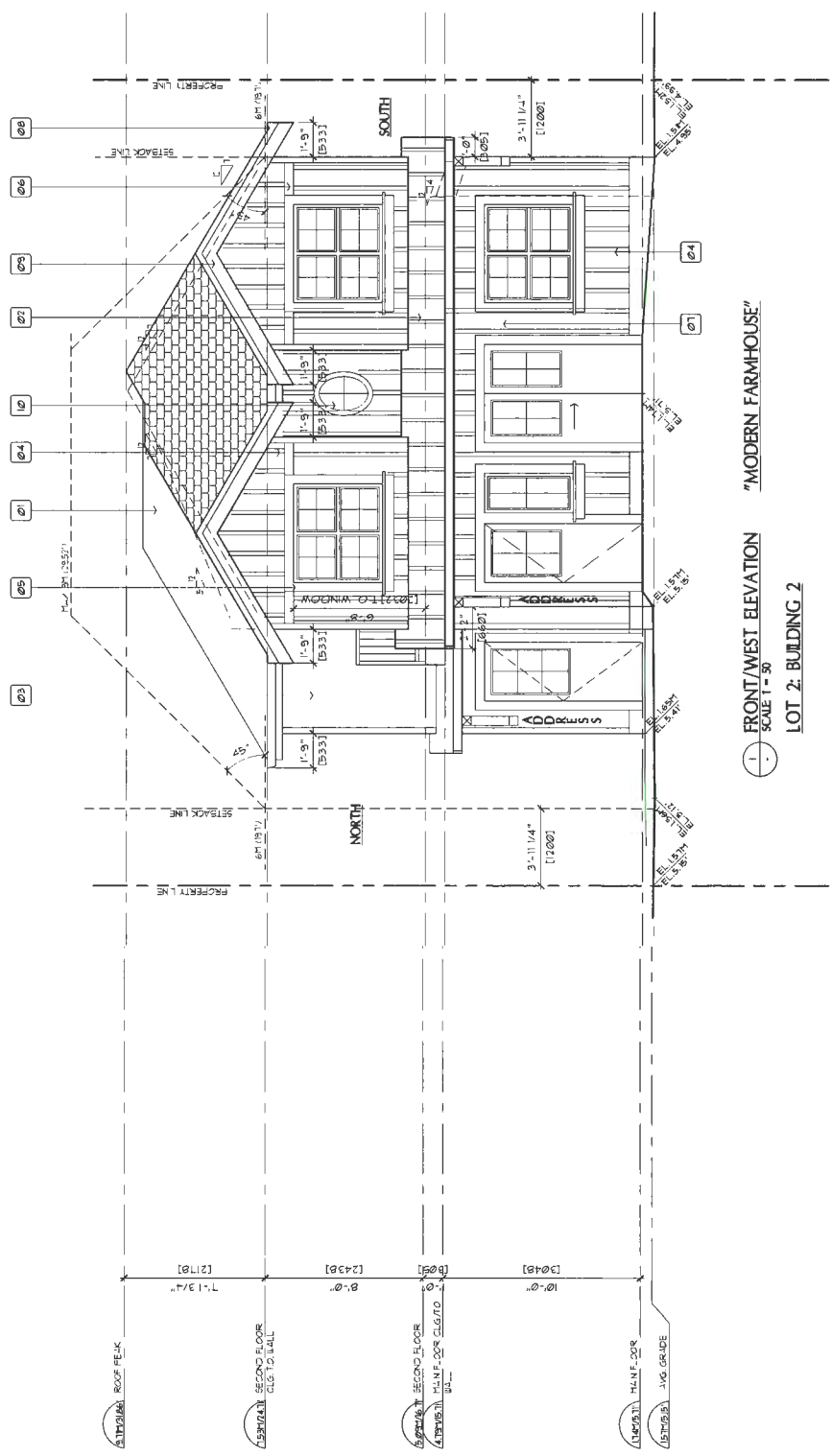
DESIGNER	DATE	REVISION
CHKD	PL	JOB NO.
DESIGN		DRAWING NO.
CHKD		A3.1
SCALE	AS SHOWN	

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DP 20-893127 PLAN # 12



2. SIDE/SOUTH ELEVATION
SCALE 1" = 50'
LOT 2: BUILDING 2



1. FRONT/WEST ELEVATION
SCALE 1" = 50'
LOT 2: BUILDING 2

- LEGEND:**
- 01 ASPHALT ROOF SHINGLES
 - 02 STAND NS BEAT METAL ROOFING
 - 03 HORIZONTAL HARDWOOD Siding
 - 04 HORIZONTAL BOARD AND BUTTEN
 - 05 VINYL FRAMING WINDOWS W/ W/ TRIM
 - 06 2x8 DECORATIVE WOOD TRIM
 - 07 DECORATIVE WOOD KNEE BRACE
 - 08 METAL GUTTER OVER 2x8 FASCIA
 - 09 1/2 OVER 2x8 FASCIA
 - 10 DECORATIVE WINDOW

100% MATCH
NOTE: HATCHED DASHED LINES DENOTE TOP OF CONCRETE FOUNDATION WALL

MAY 1/2019	REVISED FOR DP
FEB 3/2019	ISSUED FOR DP
JUN 12/2018	REVISED FOR REZONING
OCT 25/2018	REVISED FOR REZONING
JUNE 17/2019	ISSUED FOR REZONING
DRAWING REVISIONS / ISSUES	

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Suite 203, 1555 Kingsway
Winnipeg, MB R4N 1Y7
Tel: (204) 681-8153
info@designworkgroup.ca
www.designworkgroup.ca

**PROPOSED
DUPLICES**

PROJECT
1500 AND 1400 BULLY AVE
R0M-000

DRAWING TITLE
LOT 2 WEST AND SOUTH
ELEVATIONS

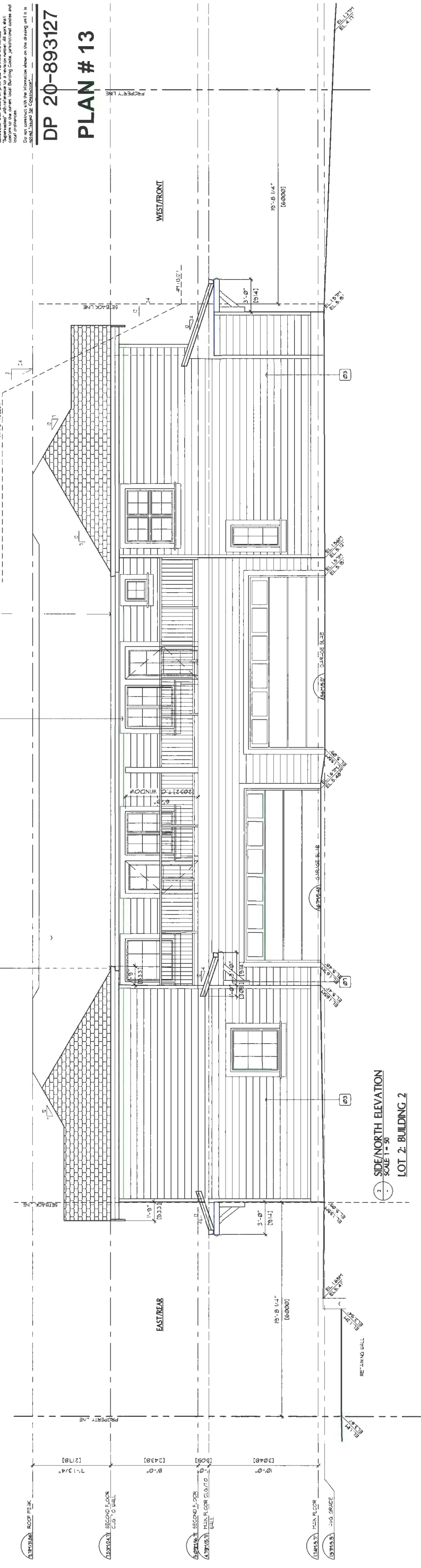
DRAWN BY	DATE	REP/ISSUE
CHECKED BY	APP NO.	
DESIGNED BY	DRAWING NO.	
CHECKED BY	SCALE	A3.3
		AS SHOWN

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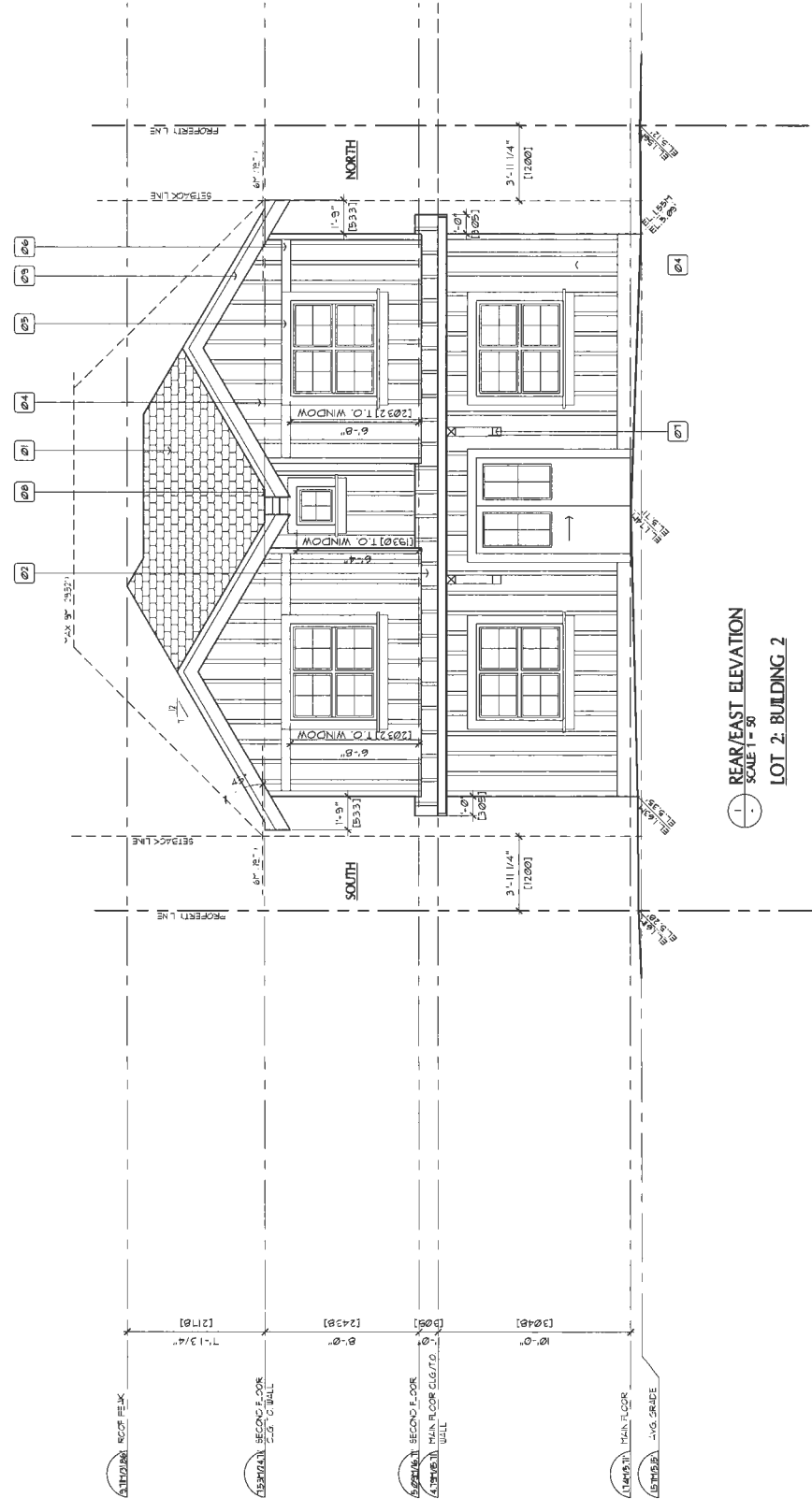
Changes shall not be made to this drawing without the written consent of Design Work Group Ltd. The Contractor shall verify and be responsible for the accuracy of all dimensions and locations of all work to be performed. It is the Contractor's responsibility to ensure that all work is performed in accordance with the current local building codes, applicable codes and local ordinances.

Do not connect with the information shown on this drawing until it is approved by the responsible authority.

DP 20-893127 PLAN # 13



2 SIDE/NORTH ELEVATION
SCALE 1" = 50'
LOT 2 - BUILDING 2



1 REAR/EAST ELEVATION
SCALE 1" = 50'
LOT 2 - BUILDING 2

- LEGEND:**
- 01 ASPHALT ROOF SHINGLES
 - 02 5" AND 1/2" SEAM METAL ROOFING
 - 03 HORIZONTAL LAMBOLE S DS NG
 - 04 1" X 6" BOARD AND BATTEN
 - 05 VENTILATION WINDOWS 1/4" X 1/4"
 - 06 1/4" DECORATIVE WOOD KNEE BRACE
 - 07 DECORATIVE WOOD KNEE BRACE
 - 08 METAL GUTTERS OVER 1/4" FASCIA
 - 09 1/3" OVER 1/4" FASCIA
 - 10 DECORATIVE WINDOW

TOO SMALL
NOTE: HATCHED DASHED LINES DENOTE TOP OF CONCRETE FOR WALL

MAY 1/2019	ISSUED FOR DP
FEB 3/2020	ISSUED FOR DP
JUNE 17/2021	REISSUED FOR REZONING
OCT 25/2021	REISSUED FOR REZONING
JUNE 17/2023	ISSUED FOR REZONING
JANUARY 2023/2023	ISSUES



5412 203, 5066 Kingsway
Burnaby, BC V5H 4E1
Tel: 604.431.8152
info@designworkgroup.ca
www.designworkgroup.ca

PROJECT
**PROPOSED
DUPLEXES**

8808 AND 1400 KILLICK AVE
RICHMOND BC

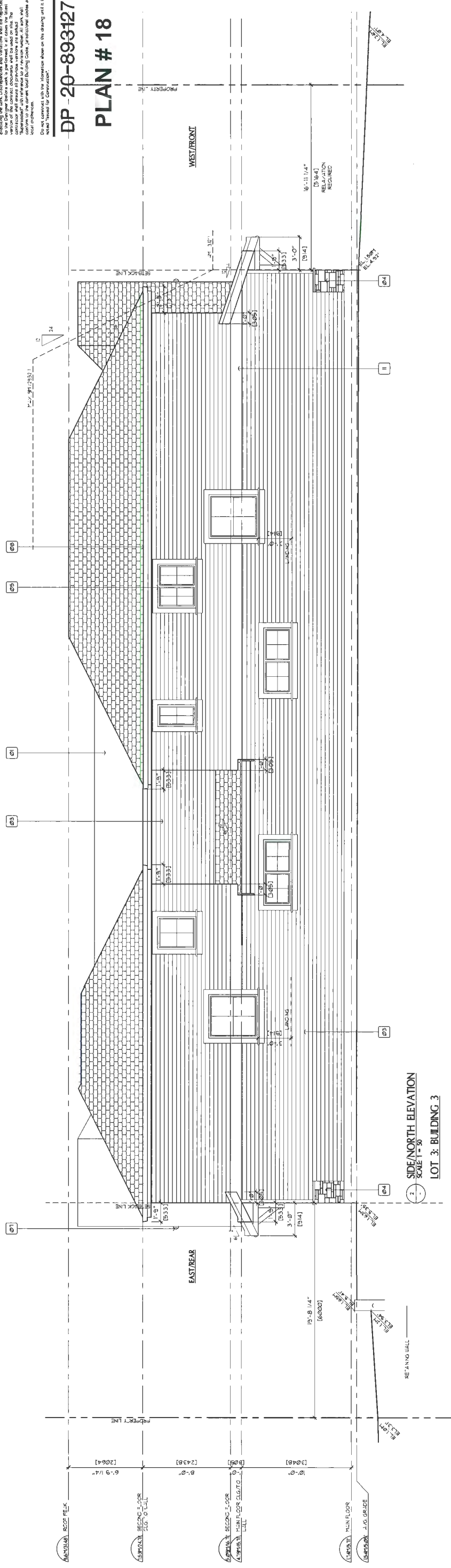
DRAWING TITLE
LOT 2 EAST AND WEST
ELEVATIONS

DRAWN BY DATE REV 0010
CHECKED BY JOB NO.
DESIGNED BY DRAWING NO.
CHECKED BY SCALE AS SHOWN

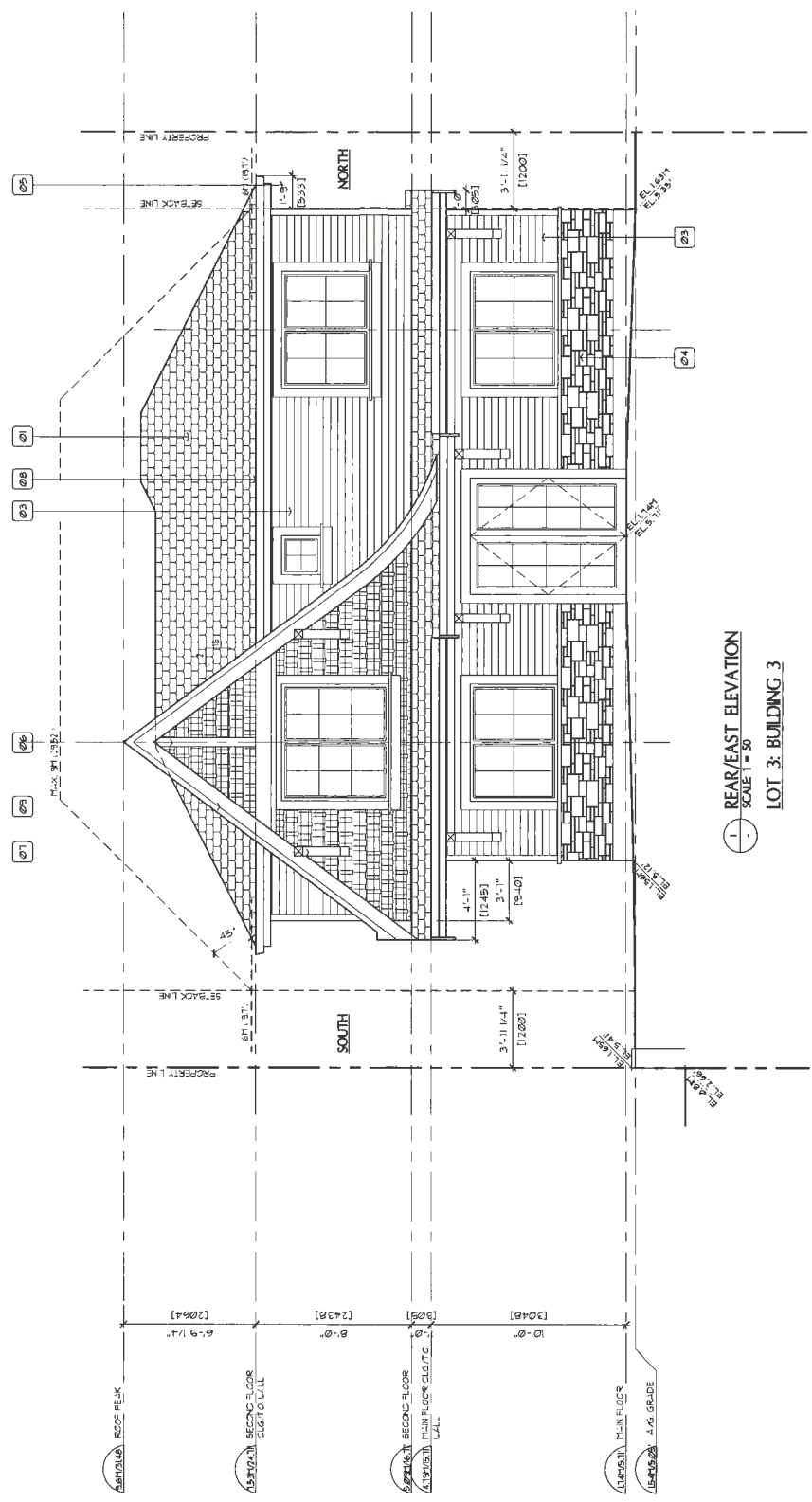
A3.4

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DP-20-893127
PLAN # 18



2 SIDE/NORTH ELEVATION
SCALE 1/8"=1'-0"
LOT 3: BUILDING 3



1 REAR/EAST ELEVATION
SCALE 1/8"=1'-0"
LOT 3: BUILDING 3

- LEGEND:**
- 01 ASPHALT ROOF SHINGLES
 - 02 HARDIE SHAKES
 - 03 HARDIE SOFS
 - 04 STONE CLADDING
 - 05 1/4" X 1/4" WHITE WINDOIS C. #16 TRIM
 - 06 1/4" DECORATIVE WOOD TRIM
 - 07 DECORATIVE WOOD KNEE BRACE
 - 08 METAL GUTTER OVER 1.0 FASCIA
 - 09 1/4" OVER 2x12 FASCIA
 - 10 DECORATIVE METAL RAILING
 - 11 3/4" X 8" BOARD (PAINTED)

NOTE: SHINGLED CLIMBED LINES DENOTE TOP OF CONCRETE FOR WALL

MAY 10/2020	REISSUED FOR DP	△
FEB 3/2020	ISSUED FOR DP	△
JUNE 07/2019	REISSUED FOR REZONING	△
OCT 25/2019	REISSUED FOR REZONING	△
JUNE 07/2019	ISSUED FOR REZONING	△
ISSUING REVISIONS / ISSUES		



Site: 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

PROPOSED DUPLEXES

1500 JAS. HARGREAVILLE AVE
RICHMOND B.C.

DEWANG TIL
LOT 3 EAST AND WEST
ELEVATIONS

DATE	FEB/2020
JOB NO.	-
DESIGN NO.	-
SCALE	A4.4

AS SHOWN

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Designs shall not be scaled. The Contractor shall verify all dimensions and specifications before construction. The Contractor shall be responsible for ensuring the accuracy of all dimensions and specifications. The Contractor shall ensure that all dimensions and specifications are in accordance with the current local building code, functional codes and local ordinances.

Do not construct until the information shown on this drawing is in accordance with the current local building code, functional codes and local ordinances.

DP 20-893127

PLAN # 19



11440 RAILWAY AVE
11460 RAILWAY AVE
11480 RAILWAY AVE
11500 RAILWAY AVE
11540 RAILWAY AVE
11560 RAILWAY AVE
PHOTO STREETSCAPE ALONG RAILWAY AVENUE FACING EAST

SUBJECT PROPERTIES

<p>11440 RAILWAY AVE PATTERNS AND ELEMENTS -SINGLE FAMILY HOUSE -LOT WIDTH (56'-0") -RECTANGULAR HOUSE -2 STOREY APPEARANCE -GABLE ROOF -STUCCO WALL AND BRICK CLADDING WALL FINISH</p>	<p>11460 RAILWAY AVE PATTERNS AND ELEMENTS -SINGLE FAMILY HOUSE -LOT WIDTH (56'-0") -RECTANGULAR HOUSE -2 STOREY APPEARANCE -GABLE ROOF AND GABLE ROOF FINISH -STUCCO WALL AND BRICK CLADDING WALL FINISH</p>	<p>11480/11500 RAILWAY AVE (LOT 1) PATTERNS AND ELEMENTS -TUDOR STYLE -TWO FAMILY HOUSE -LOT WIDTH (44'-0") -RECTANGULAR HOUSE -2 STOREY APPEARANCE -SHINGLE ROOF AND BOARD & BATTEN WALL CLADDING WALL FINISH</p>	<p>11480/11500 RAILWAY AVE (LOT 2) PATTERNS AND ELEMENTS -MODERN FARMHOUSE STYLE -TWO FAMILY HOUSE -LOT WIDTH (46'-0") -RECTANGULAR HOUSE -2 STOREY APPEARANCE -BOARD & BATTEN WALL CLADDING WALL FINISH</p>	<p>11480/11500 RAILWAY AVE (LOT 3) PATTERNS AND ELEMENTS -CRAFTSMAN STYLE -TWO FAMILY HOUSE -LOT WIDTH (46'-0") -RECTANGULAR HOUSE -2 STOREY APPEARANCE -HARDIE SHINGLE SIDING & STONE CLADDING WALL FINISH</p>	<p>11540 RAILWAY AVE PATTERNS AND ELEMENTS -SINGLE FAMILY HOUSE -LOT WIDTH (56'-0") -RECTANGULAR HOUSE -2 STOREY APPEARANCE -GABLE ROOF -STUCCO WALL FINISH</p>	<p>11560 RAILWAY AVE PATTERNS AND ELEMENTS -SINGLE FAMILY HOUSE -LOT WIDTH (71'-0") -RECTANGULAR HOUSE -2 STOREY APPEARANCE -HIP ROOF -MUDD SIDING AND BRICK CLADDING WALL FINISH</p>
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2 STREETSCAPE ALONG RAILWAY AVENUE FACING EAST
SCALE 1" = 16'

PROPOSED COLOUR FRONT ELEVATIONS

Labels in rendering:
 - BLACK ASPHALT SHINGLES
 - BEIGE HARDIE SHINGLES
 - DARK GREY WOOD TRIM
 - WHITE UNCOOLS
 - RED BRICK VENEER
 - BROWN DOORS
 - BLACK ASPHALT SHINGLES
 - CREAM FASCIA AND TRIMS
 - GREY HARDIE SHINGLES
 - BROWN HARDIE SHINGLES
 - BLACK DOORS AND UNCOOLS
 - GREY STONE VENEER
 - WHITE HARDIE BOARD AND BATTEN
 - WHITE WOOD TRIM AND FASCIAS
 - BLACK ALUMI RAILING
 - BLACK DOORS AND UNCOOLS

"TUDOR"
11480/11500 RAILWAY AVE (LOT 1 - BUILDING 1)

"MODERN FARMHOUSE"
11480/11500 RAILWAY AVE (LOT 2 - BUILDING 2)

"CRAFTSMAN"
11480/11500 RAILWAY AVE (LOT 3 - BUILDING 3)

MAY 1/2016	REISSUED FOR DP	△
FEB 3/1/2016	ISSUED FOR DP	△
JUNE 7/2015	REISSUED FOR REZONING	△
OCT 25/2015	REISSUED FOR REZONING	△
JUNE 7/2015	ISSUED FOR REZONING	△
DRAWING REVISIONS / ISSUES		



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PROJECT
PROPOSED DUPLEXES

11480 AND 11500 RAILWAY AVE
D.C.

DRAWING TITLE
STREETSCAPES
& COLOUR ELEVATIONS

DRAWN BY	DATE	REVISION
CHECKED BY	PL	JOB NO.
DESIGN NO.	DRAWING NO.	
CAD		A5.0
SCALE	AS SHOWN	

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Design Work Group Ltd. is not responsible for any errors or omissions in this drawing. The contractor shall verify all dimensions and materials before construction. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for all costs associated with the construction of the project. The contractor shall be responsible for all safety measures during construction. The contractor shall be responsible for all site cleanup and restoration. The contractor shall be responsible for all utility connections and disconnections. The contractor shall be responsible for all final inspections and approvals. The contractor shall be responsible for all final drawings and as-built documents. The contractor shall be responsible for all final payments and invoices. The contractor shall be responsible for all final handover and possession of the project.

DP 20-893127

PLAN # 20

PROPOSED COLOUR FRONT ELEVATIONS









BLACK ASPHALT SHINGLES
 BEIGE HARDIE SHINGLES
 DARK GREY WOOD TRIM
 WHITE WINDOWS
 RED BRICK VENEER
 BROWN DOORS

BLACK ASPHALT SHINGLES
 WHITE HARDIE BOARD AND BATTEN
 WHITE WOOD TRIMS AND FASCIAS
 BLACK ALUM. RAILING
 BLACK DOORS AND WINDOWS

BLACK ASPHALT SHINGLES
 CREAM FASCIAS AND TRIMS
 GREY HARDIE SHINGLES
 BROWN HARDIE SHINGLES
 BLACK DOORS AND WINDOWS
 GREY STONE VENEER

"TUDOR"
 11480/11500 RAILWAY AVE (LOT 1 - BUILDING 1)






	RED BRICK VENEER		BLACK RAILING
	GREY SU 1025 "BLACKDROP" TRIMS/FASCIA/DECORATIVE KNEEBRACES		BEIGE SU 1511 "CHINA DOLL" HARDIE SHINGLES
	BLACK DOORS/WINDOWS RAILING		WHITE HARDIE BOARD + BATTEN HARDIE SIDING TRIMS/FASCIAS

"MODERN FARMHOUSE"
 11480/11500 RAILWAY AVE (LOT 2 - BUILDING 2)

	BLACK DOORS/WINDOWS RAILING		BLACK DOORS/WINDOWS RAILING
	GREY SU 1015 "JEB GRAY" HARDIE SHINGLES		BEIGE SU 1562 "ECOTAN COLL-M" TRIMS/FASCIA/DECORATIVE KNEEBRACES

"CRAFTSMAN"
 11480/11500 RAILWAY AVE (LOT 3- BUILDING 3)

	"BLACK PEARL" LEDGE STONE VENEER		BLACK DOORS/WINDOWS RAILING
	BROWN SU 1039 "ROYCROFT COPPER RED" HARDIE SHINGLES		BLACK DOORS/WINDOWS RAILING

MAY 1/2016	ISSUED FOR DP	
FEB 3/2016	ISSUED FOR DP	
MAY 17/2015	REVISION FOR REZONING	
OCT 25/2015	REVISION FOR REZONING	
JUNE 17/2015	ISSUED FOR REZONING	
DRAWING REVISIONS / ISSUES		

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PROJECT

PROPOSED
 DUPLEXES

11480 AND 11500 RAILWAY AVE
 RICHMOND BC

DRAWING TITLE
 EXTERIOR MATERIALS AND
 COLOURS AND FINISHES

DRAWN BY	DATE	REV	2016
CHECKED BY	APP. NO.		
DESIGN	DRAWING NO.		
CHECKED			
SCALE	AS SHOWN		

A7.0



DP 20-893127 REFERENCE # 1



DP 20-893127 REFERENCE # 2