



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: June 2, 2020

From: Wayne Craig
Director, Development

File: DP 17-782793

Re: Application by Christopher Bozyk Architects Ltd. for a General Compliance to Development Permit (DP 17-782793) at 4331 Vanguard Road (formerly 4331 and 4431 Vanguard Road)

Staff Recommendation

That the attached plans to change the location of the proposed green wall feature and add new sustainability features be considered to be in General Compliance with the approved Development Permit (DP 17-782793).

Wayne Craig
Director, Development
(604-247-4625)

JR:blg
Att. 3

Staff Report

Origin

Christopher Bozyk Architects Ltd. has requested a General Compliance ruling regarding changes to the approved Development Permit (DP 17-782793) for a three-storey, 8,576 m² commercial industrial development at 4331 Vanguard Road (formerly 4331 and 4431 Vanguard Road) on a site zoned “Industrial Retail (IR1)” (Attachment 1). The project entails a vehicle storage and repair facility, showroom, and car wash. The Development Permit was endorsed by the Development Permit Panel on August 29, 2018, and was issued with the associated Zoning Text Amendment Bylaw (ZT 16-740866) adopted by Council on February 25, 2019.

The requested General Compliance ruling is related to the proposed relocation of a green wall feature on the south elevation of the building. The attached plans show the proposed relocation and the addition of new sustainability features.

Background

Development surrounding the subject site is as follows:

- To the North and East: Medium sized industrial lots (0.12 ha to 0.25 ha) (0.3 ac. to 0.6 ac.) all zoned “Industrial Retail (IR1)” and used for various general industrial purposes (auto repair, equipment rental shops, roofing and woodworking facilities, home interior products, etc.).
- To the South: An east-west leg of Vanguard Road and Highway 99.
- To the West: Shell Road, the Shell Road rail corridor and Highway 99.

Staff Comments

The proposed changes to the plans attached to this report are in general compliance with the original approved Development Permit (Attachment 2). In addition, the modified proposal (Attachment 3) complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the “Industrial Retail (IR1)” zone, except for the building height variance included in the original Development Permit.

Analysis

Proposed Changes to the Green Wall Feature

- The approved Development Permit includes a 90.6 m² (975 ft²) feature green wall on the south elevation of the building, which frames the building entrance. The planting material covers a portion of this wall, with the remainder clad in black metal panels.
- The proposed revisions would relocate the green wall to the west elevation and reduce the area to 54.8 m² (580 ft²). The proposed black metal panels would be extended across the entrance wall in place of the plantings. These changes to the entry are proposed to bring the development in line with the corporate branding standard of the occupant.

- No change to the planting material in the green wall is proposed. The applicant has confirmed that reduced area of the green wall continues to provide an environmental benefit to the site.
- The City is holding a \$148,500 Landscape Security for the installation of the original proposed green wall based on a cost estimate provided by the applicant. A new security is not required.

Environmental Sustainability

- The approved Development Permit for this site incorporated a number of sustainability initiatives in addition to the aforementioned green wall. A 586 m² (6,309 ft²) green roof composed of sedum tiles will be installed over the showroom roof to help reduce heat island effect. On-site storm water management will be used to collect and store surface storm water for use in on-site irrigation. New landscaping is provided on all three frontages and within the parking area, and includes 35 new trees. Finally, rooftop solar panels are included to help offset the electrical demand.
- To compensate for the reduction in area of the green wall, two new sustainability initiatives are proposed: an apiary and EV charging stations.
- An apiary consisting of two beehives is proposed in the landscaped area on the west side of the site. The applicant has indicated that additional hives may be added, and that the apiary will be maintained by the owner with honey harvesting performed annually.
- The approved landscape plan has an emphasis on flowering plant species appropriate for pollinators. The landscape design is intended to recreate a wildflower meadow, and the proposed apiary would be located in the largest landscaped area.
- The proposed apiary and pollinator-friendly landscaping advance the City's objectives of supporting urban agriculture and strengthening the local food system. The proposal also aligns with the recently launched "Richmond Nectar Trail," which encourages residents and businesses to plant pollen-rich plants enabling bees and other pollinators to traverse the city.
- The City is holding a \$268,172.26 Landscape Security for the on-site landscaping based on the landscape plan and cost estimate provided by the applicant. The proposed apiary has been added to the landscape plan, and a new security is not required.
- Two publicly accessible electric vehicle charging stations are proposed, which would provide Level 2 charging to a total of four vehicles. These charging stations are shown on the site plan next to the entry plaza.

Conclusions

Christopher Bozyk Architects Ltd. has requested a General Compliance ruling for proposed changes to a green wall feature and the addition of new sustainability features.

Staff have no objection to the proposed changes. Staff recommend support of this General Compliance request for the proposed changes to the approved Development Permit.

A handwritten signature in black ink, appearing to read 'J. Rockerbie'.

Jordan Rockerbie
Planner 1
(604-276-4092)

JR:blg

Attachments:

Attachment 1: Location Map

Attachment 2: Relevant Approved Development Permit Plans

Attachment 3: Proposed New Development Permit Plan

CHRISTOPHER BOZYK ARCHITECTS LTD

414-611 ALEXANDER STREET VANCOUVER BC V6A 1E1
PHONE (604) 251-3440 FAX (604) 251-3446

WMALES
McLELLAND
CONSTRUCTION

GENERAL NOTES:

- PROPOSED DEVELOPMENT TO COMPLY WITH CITY OF RICHMOND OFFICIAL COMMUNITY PLAN, APPLICABLE ZONING AND BUILDING BYLAWS AND BC BUILDING CODE 2012
- BYLAW 5345 COMPLIANCE - PER ATTACHMENT 2 (100 POINTS) METHOD: STORM WATER MANAGEMENT - SEE CIVIL DRAWINGS/REPORT
- WATER FROM RETENTION TANK UTILIZED FOR IRRIGATION & CAR WASH
- LANDSCAPING MEASURES - SEE LANDSCAPE DRAWINGS
- CONIC PAVING DESIGN & GREEN ROOF - SEE LANDSCAPE DRAWINGS
- EXTERNAL GRADES TO SLOPE AWAY FROM BLDG 2% RECOMMENDED
- CONIC PAVING 4" THICK TYP. EXIST DOOR PAD 48" X 48"
- MOVEMENTS JOINTS @ MAX 7'-0" O.C. / PATTERNS T.B.C. BY ARCHITECT
- FINISH: BROOM TEXTURED W/ SMOOTH ROUNDED EDGING
- GAS METER CONC. SLAB, FENCE ENCLOSURE & PROTECTION BOLLARDS - AS APPLICABLE - TO TERAEN GAS SPECIFICATIONS
- TRANSFORMER CONC. SLAB & PROTECTION BOLLARDS TO BE HYDRO SPECIFICATIONS. SEE ALSO ELECTRICAL DRAWINGS
- FIRE LANE PAVING DESIGN TO SHOW TRUCK LADING PER COB REQUIREMENTS/BCOVENANT RATING NOTIFICATION
- STORAGE TO BE REPORTED TO FDS REQUIREMENTS & APPROVAL
- FO ADDRESSING: TO BE VISIBLE FROM STREET APPROACH & OF CONTRASTING COLOUR, TO CONNECTION & PRIVATE HYDRANT: IN COMPLIANCE W/ HPA & SCBC
- INDICATION ON DWGS PER PRIOR CONSULTATION W/ FDS
- SITE SECURITY LIGHTING STANDARDS LIGHTING TO BE DOWNWARD FOCUSED, TO MITIGATE LIGHT POLLUTION
- ALL PARKING LINES TO BE PAINTED AS SHOWN, SPACES FOR THE DISABLED TO BE CLEARLY MARKED BY A PAINTED WHEELCHAIR SYMBOL & COMPLIANT SIGN
- NEW CONC. DRIVEWAY CROSSINGS AND CURB RAMP TO SECTION 3: BCSC 2011 AND CITY STANDARDS

STATISTICS:

ZONE	IR1 (INDUSTRIAL RETAIL)
USE (PERMITTED):	VEHICLE STORAGE (252 LUMBS)
ACCESSORY USES:	PRE-OWNED VEHICLE REPAIR PRE-OWNED VEHICLE SALES
SITE AREA (NO DEDICATION DEDUCTED)	100,143 SF / 4.54 A
COVERAGE (MAX 60%)	47,295 SF / 47.2%
FSR, AND GREEN DECK EXCL (MAX 1.00):	22,312 SF / 22.3%
GROSS FLOOR AREAS:	
MAIN FL - WORKSHOP AND VEHICLE STO:	37,380 SF
- CAR WASH:	2,320 SF
2ND FL - VEHICLE STO & ROOFED RAMP:	38,925 SF
3RD FL - SHOWROOM (8.02% / GFA - MAX 10%):	10,015 SF
- LOBBY & ROOFED RAMP:	2,680 SF
VEHICLE STO & PARKING (OPEN DECK):	29,435 SF
GROSS TOTAL:	122,145 SF (11,347 SM)
HEIGHT (MAX 12M - SEE VARIANCE APPLICATION):	48 FT / 14.62 M
SETBACKS:	
REAR SETBACK NORTH (0 M):	5 FT / 1.5 M
STREET SETBACK EAST (2.0 M):	12.5 FT / 3.8 M
SIDE SETBACK WEST (0 M):	10.25 FT / 3.1 M
FRONT SETBACK SOUTH (3.0 M):	18.33 FT / 5.6 M
PARKING:	
REQUIRED:	108
WORK SH DETAIL SH. SERVICE, ENTR, CAR WASH (RECD 31.745 @ 0.175=30 + 18 BAYS)=48 + 2	
WASH BAYS (12, 80)	
SHOWROOM (RECD 10.015 @ 0.175=28)	
MAIN, 2ND, 3RD FL VEHICLE STORAGE N/A	
PROVIDED:	108
SMALL CARS INCL (MAX 50%):	54,500%
HC SPACES INCL (2% RECD & PROVIDED):	2/2%
BIKE PARKING:	
REQUIRED:	8 CLASS 1 / 8 CLASS 2
OWNED VEHICLE STORAGE: MAIN FLOOR=19,864SF +	
2ND FL=4,468SF + 3RD FLOOR=11,372SF. TOTAL=	
31,705SF	
CLASS 1 / LOCKABLE:	31,850 @ 0.27 / 1,076 = 23
CLASS 2 / RACKS:	31,850 @ 0.27 / 1,076 = 23
PROVIDED:	23 CLASS 1 / 23 CLASS 2
LOADING:	
REQUIRED:	1 LARGE + 2 MEDIUM
1 * (11,348 - 1,850) / 5,000 = 2M	
1 LARGE + 2 MEDIUM	
PROVIDED:	(LARGE SHARED W/ MEDIUMS AS PERMITTED)

JUN 27-JUL 2018	ADP RESPONSE RE-ISSUE, JUL 20, A.1.1 REVISED
MAY 07 '18	ISSUED FOR ADP
APR 18 '18	DP REISSUE A.1.1, A.4.0
APR 05 '18	DP REISSUE A.1.1, A.4.0, A.5.0
MAR 12 '18	DP REISSUE A.1.1, A.2.1-A.2.3, A.3.0-A.5.0, A.8.1
AUG 19 '17	ISSUED FOR DEVELOPMENT PERMIT
REV	DATE DESCRIPTION

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Within dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

4431 & 4331 VANGUARD RD
PROPOSED VEHICLE STORAGE FACILITY

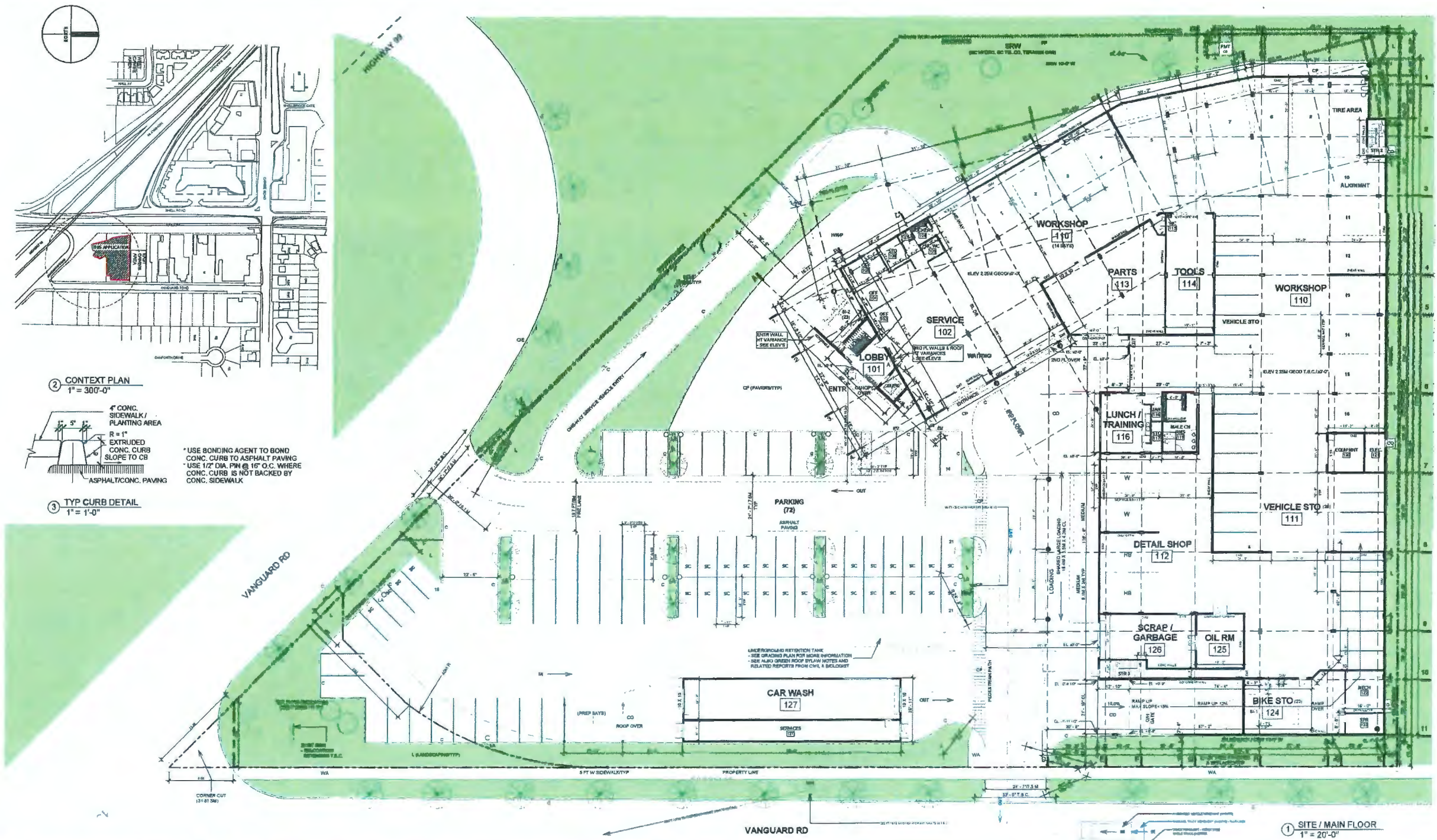
DEV. PERMIT APPLICATION #DP 17-782793

SITE / MAIN FL PLAN
STATS

SCALE: As indicated START DATE: JUN 27, 2018 DRAWN: PQ
PROJECT NUMBER: 215003

A.1.1

Plan #1



VIEW FROM SOUTH WEST

GENERAL LEGEND:

- EXIST GRADE ELEV
- NEW GRADE ELEV T.B.C
- ANNUNCIATOR PANEL
- BIKE PARKING - LOCKABLE CLASS 1
- BIKE PARKING - RACKS CLASS 2
- NEW CONC. CURB
- EXIST CURB
- CONC. PAVING
- CONC. UNIT PAVERS
- DROP CURB TO CODE
- ELEC. VEHICLE CHARGING
- 8 FT H CHAINLINK FENCE W/ GATES
- GAS METER T.B.C
- EXIST MUNICIPAL FIRE HYDRANT
- NEW FIRE HYDRANT
- NEW PRIVATE HYDRANT
- HOLDING BAY
- LANDSCAPING AREA
- SEE LANDSCAPE DWGS
- LAMP STANDARDS
- EXIST POWER POLE
- PAD MOUNTED TRANSFORMER
- TRENCH DRAIN
- T.B.C. TO BE CONFIRMED
- CONC. WALK
- WASH BAY

OBTAINED APPROVALS:

- ENVIRONMENTAL REMEDIATION / MOE RELEASE: REZ & DP RELEASE OBTAINED (LTR OF MAR 14 2017)
- MOE PRELIMINARY DETERMINATION OF NON-CONTAMINATION (LTR OF APR 12 2018)

PENDING APPROVAL / DOCUMENTATION:

- REZONING TEXT AMENDMENT (APPL #21 16-740888): IN PROGRESS - CONSOLIDATION AWAITED
- CONSOLIDATIONSUBDIVISIONCOVENANT OF LOTS 21 & 22 ROAD DEDICATION, SRW REGISTRATION: IN PROGRESS

DP VARIANCE APPLICATION:

- MAX BLDG HEIGHT OF 12 M TO BE INCREASED TO 12.65 M FOR SHOWROOM ROOF, 12.94 M FOR SHOWROOM WALLS AND 14.17 M FOR ENTRANCE WALL & SHOWROOM ROOF EQUIPMENT & SCREENS - SEE ALSO ELEVATIONS

FENCE DETAILING & IMAGE: SEE A.2.1

LEGAL DESCRIPTION:

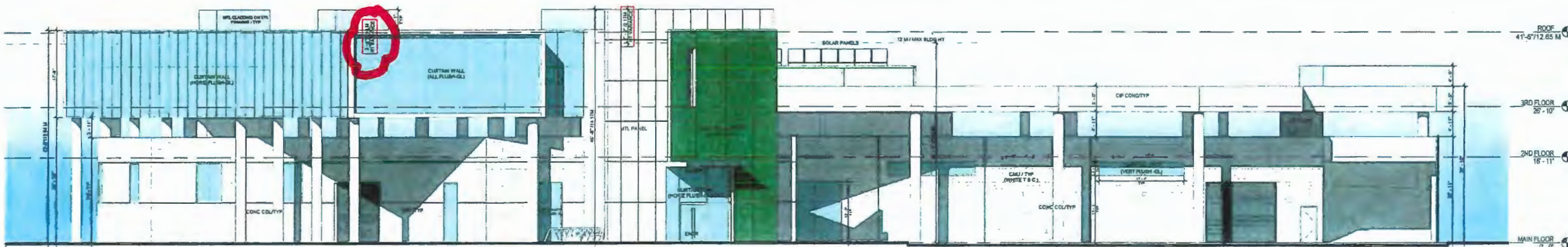
LOT 21, PL 22001 AND LOT 22, PLAN 23693, BOTH OF SECTION 36, BL 5 NORTH, RANGE 6 WEST, NEW WESTMINSTER DISTRICT

CIVIC ADDRESS:

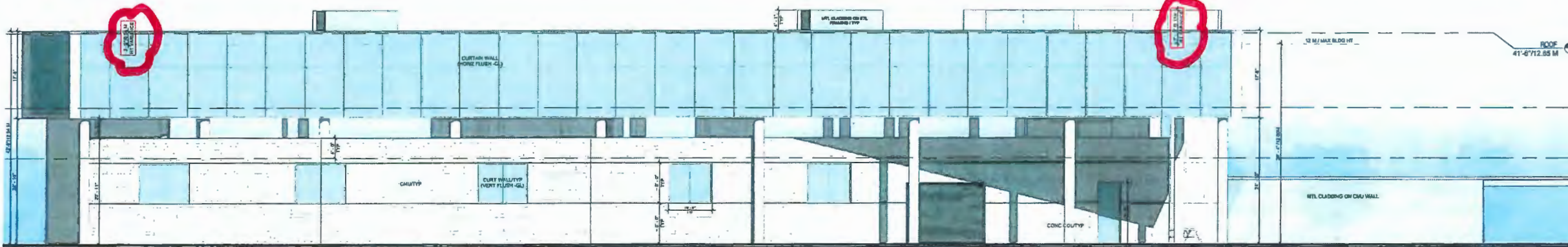
4431 & 4331 VANGUARD ROAD, RICHMOND, BC

SURVEY INFORMATION:

CAMERON LAND SURVEYING LTD.
B.C. LAND SURVEYORS
UNIT 206 - 16095 FRASER HIGHWAY SURREY,
B.C. V4N 0G2 PHONE: 604-597-3777
FAX: 604-597-3783 FILE: 5912-TP



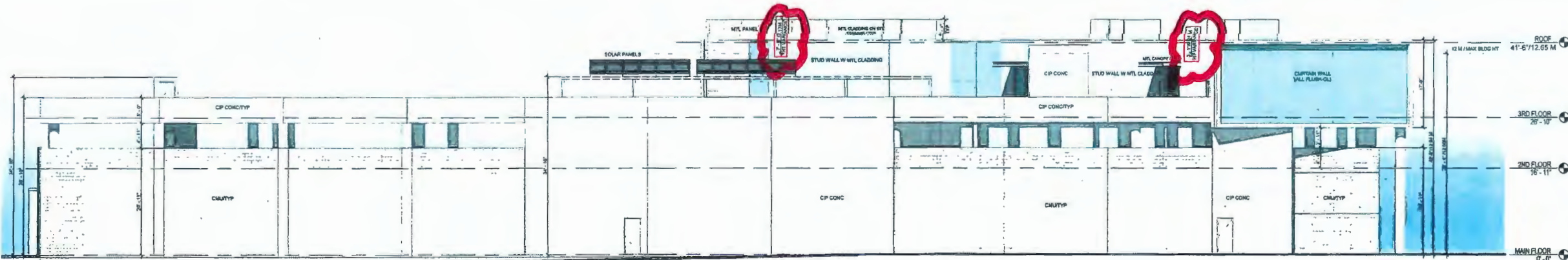
1 SOUTH ELEVATION
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"



3 EAST ELEVATION
3/32" = 1'-0"



4 NORTH ELEVATION
3/32" = 1'-0"

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WMALES
McLELLAND
CONSTRUCTION

REV	DATE	DESCRIPTION
JUN 27 '18	ADP-RESPONSE RE-ISSUE	
MAY 07 '18	ISSUED FOR ADP	
APR 18 '18	DP REISSUE A.1.1, A.4.0	
APR 05 '18	DP REISSUE A.1.1, A.4.0, A.5.0	
MAR 12 '18	DP REISSUE A.1.1, A.2.1-A.2.3, A.3.0-A.5.0, A.6.1	
AUG 18 '17	ISSUED FOR DEVELOPMENT PERMIT	

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- FACADE MATERIAL & COLOURS:**
- PREFINISHED METAL CLADDING: HORIZONTAL CORRUGATED PROFILE SILVER COLOUR / "SAIGN METALS GALVALUME" OR SIMILAR
 - PREFINISHED METAL PANELING (ACM): BMV CORPORATE WHITE / "ALCAN BONE WHITE" OR SIMILAR
 - EXPOSED CIP CONCRETE WALLS: CLEAR MATT SILICONE SEALER OR SIMILAR
 - CONCRETE MASONRY (CMU) GENERAL: LIGHT GREY PAINT FINISH / "BENJAMIN MOORE 2121-SI STORMY MONDAY" OR SIMILAR
 - CONCRETE MASONRY (CMU) ACCENT T.B.C.: BMV CORPORATE WHITE PAINT FINISH / "BENJAMIN MOORE P.M.1 SUPER WHITE" OR SIMILAR
 - CURTAIN WALLSTOREFRONT - DOUBLE GLAZING: NATURAL/CLEAR ANODIZED ALUMINUM FRAMING VISION GLASS: CLEAR LOW E / "GUARDIAN SUNGUARD SUPERNUTRAL 54" OR SIMILAR
 - EXPOSED FEATURE STEEL PAINT FINISH / GENERAL & FENCE: SILVER METALLIC / "3M0 ALUMINUM" OR SIMILAR
 - METAL CAP FLASHINGS: PREFINISH TO MATCH WALL COLOUR
 - METAL DOORS & FRAMES: PAINT FINISH - COLOUR TO MATCH ADJACENT WALL COLOUR
 - METAL OVERHEAD DOOR: PREFINISHED (WHITE/SIMILAR)

4431 & 4331 VANGUARD RD
PROPOSED VEHICLE STORAGE FACILITY

DEV. PERMIT APPLICATION #DP 17-782793

ELEVATIONS

SCALE: As indicated START DATE: JUN 27, 2016 DRAWN: PD
PROJECT NUMBER: 215003

A.4.0

Plan #6

Variances are cloud outlined

AUG 29 2018

DP 17-782793



3 VIEW FROM SHELL (WEST)



2 VIEW FROM VANGUARD EAST



1 VIEW FROM VANGUARD SOUTH

REV	DATE	DESCRIPTION
JUN 27-JUL 20'18	ADP-RESPONSE RE-ISSUE, JUL 20' A.1.1 REVISED	
MAY 07'18	ISSUED FOR ADP	
APR 18'18	DP REISSUE A.1.1, A.4.0	
APR 06'18	DP REISSUE A.1.1, A.4.0, A.5.0	
MAR 12'18	DP REISSUE A.1.1, A.2.1-A.2.3, A.3.0-A.5.0, A.5.1	
AUG 18'17	ISSUED FOR DEVELOPMENT PERMIT	

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4431 & 4331 VANGUARD RD
PROPOSED VEHICLE STORAGE FACILITY
DEV. PERMIT APPLICATION #DP 17-782793
PERSPECTIVES

SCALE	START DATE: JUL 27, 2016	DRAWN: ELL
PROJECT NUMBER		215009

A.5.0

Plan #7

DP 17-782793
AUG 29 2018

TREE SCHEDULE				PMG PROJECT NUMBER: 16-144
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
4		CORNUS KOUSA	KOUSA DOGWOOD	2.5M HT, BUSH FORM, B&B
11		GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR	6CM CAL: 2M STD, B&B
14		PICEA OMORICA 'BRUNS'	SERBIAN SPRUCE	3M HT, B&B
15		STREET TREE 2	FINAL SPECIES LOCATION AND QUANTITY TO BE CONFIRMED WITH CITY	
8		THUJA PLICATA 'EXCELSA'	WESTERN RED CEDAR	2.5M HT, B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY



CORNUS KOUSA



GINKGO BILOBA 'PRINCETON SENTRY'



THUJA PLICATA 'EXCELSA'

SHRUBS: FRAMING / LOW HEDGING



EUONYMUS ALATUS 'COMPACTA'



LONICERA PILEATA



MAHONIA X MEDIA 'CHARITY'

PLANTING FOR NATIVE POLLINATORS



ROSA RUGOSA 'RUBRA'



SYMPHORICARPOS ALBUS 'MAGIC BERRY'



SPIRAEA JAPONICA 'LITTLE PRINCESS'



LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE'

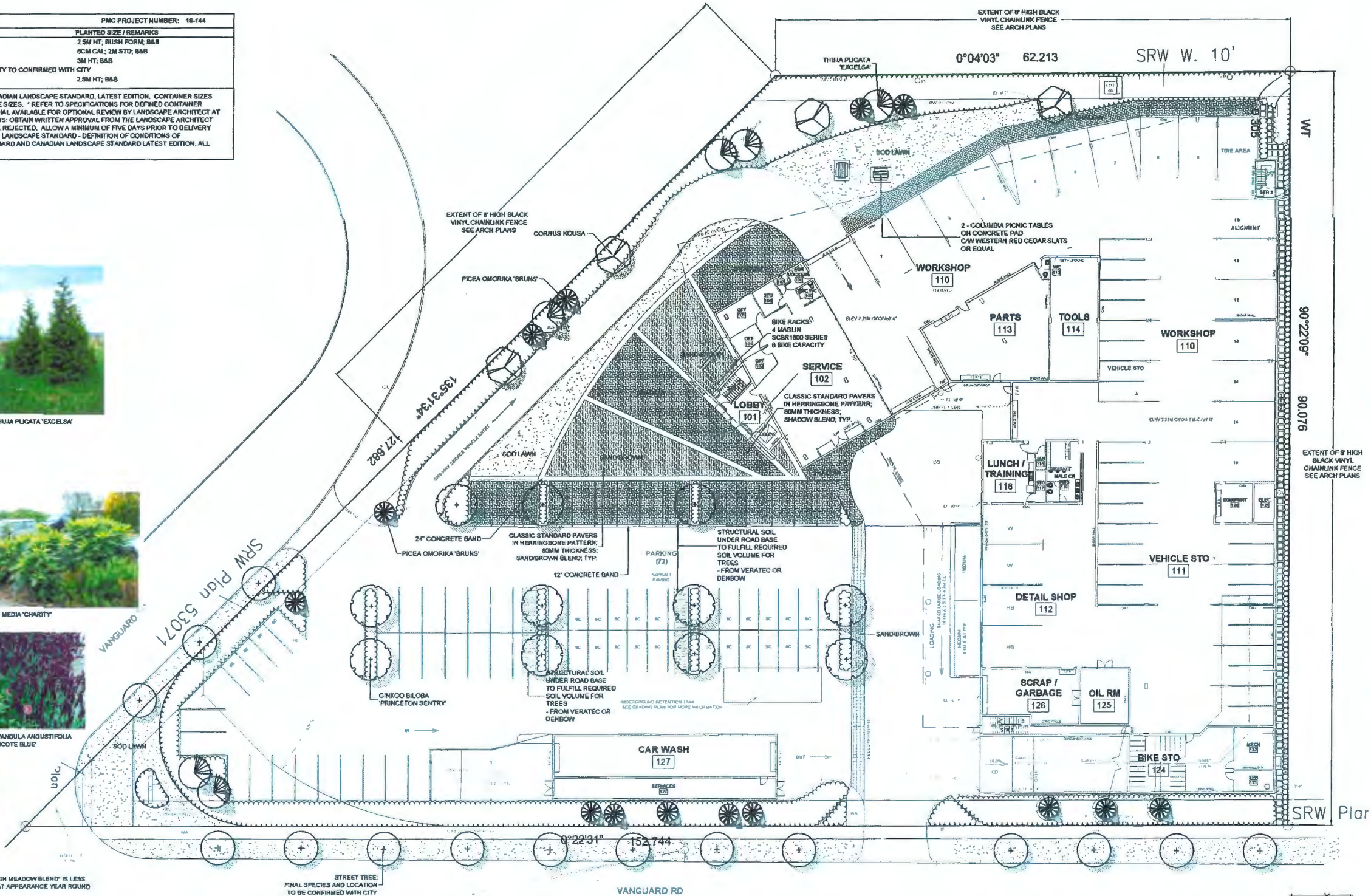
WILDFLOWER MEADOW



MEADOW EDGES GIVE MEADOWS A NEAT, TIDY APPEARANCE WHILE STILL BURSTING WITH COLOUR AND FLORAL ABUNDANCE.



WEST COAST SEEDS 'KNEE-HIGH MEADOW BLEND' IS LESS THAN 24" HIGH, KEEPING A NEAT APPEARANCE YEAR ROUND



pmg
LANDSCAPE
ARCHITECTS

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Burnaby, British Columbia, V5C 6G9
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CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
10	16.AUG.19	REVISOR PER COMMENTS	MAC
9	16.JUL.17	REVISE PER COMMENTS/ADD GREEN ROOF	DO
8	16.MAY.06	BP SUBMISSION	
7	16.MAY.06	BP SUBMISSION	
6	16.APR.05	UPDATE PER NEW SITE PLAN	ODG
5	16.APR.04	STREET TREE NOTE	DO
4	16.FEB.03	PREP SITE PLAN / CITY COMMENTS	DO
3	17.JAN.13	NEW SITE PLAN	DO
2	17.JAN.17	NEW SITE PLAN	DO
1	16.AUG.04	NEW SITE PLAN	MM

PROJECT:

AUTO WEST BMW
VANGUARD ROAD
RICHMOND, BC

SEAL:

DRAWING TITLE:

LANDSCAPE
PLAN

DATE: 16.JUL.19
SCALE: 1"=20'-0"
DRAWN: MR
DESIGN: MR
CHKD: MCY
DRAWING NUMBER:

PMG PROJECT NUMBER: 16-144



16144-9.ZIP

L1

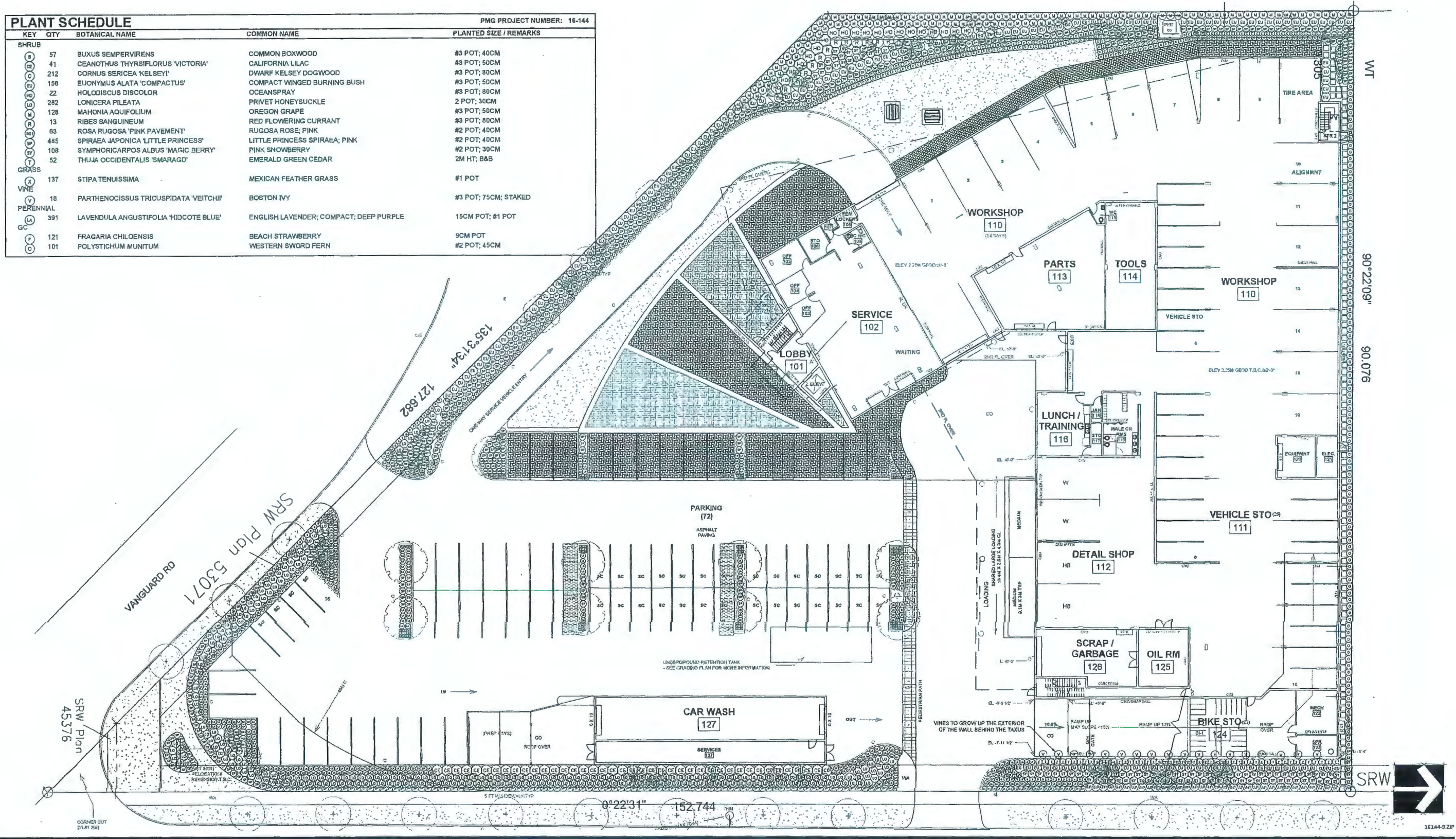
OF 3

Plan #8

AUG 29 2018

DP 17-782793

PLANT SCHEDULE				PMG PROJECT NUMBER: 16-144
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
57		BUXUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT; 40CM
41		CEANOTHUS THYRSIFLORUS 'VICTORIA'	CALIFORNIA LILAC	#3 POT; 50CM
212		CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD	#3 POT; 80CM
156		EUONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT; 50CM
22		HOLODISCUS DISCOLOR	OCEANSPRAY	#3 POT; 80CM
282		LONICERA PILEATA	PRIVET HONEYSUCKLE	2 POT; 30CM
128		MAHONIA AQUIFOLIUM	OREGON GRAPE	#3 POT; 50CM
13		RIBES SANGUINEUM	RED FLOWERING CURRANT	#3 POT; 80CM
63		ROSA RUGOSA 'PINK PAVEMENT'	RUGOSA ROSE, PINK	#2 POT; 40CM
485		SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA; PINK	#2 POT; 40CM
108		SYMPHORICARPOS ALBUS 'MAGIC BERRY'	PINK SNOWBERRY	#2 POT; 30CM
52		THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	2M HT; B&B
GRASS				
137		STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT
VINE				
18		PARTHENOCISSUS TRICUSPIDATA 'VEITCHII'	BOSTON IVY	#3 POT; 75CM; STAKED
PERENNIAL				
391		LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER; COMPACT; DEEP PURPLE	15CM POT; #1 POT
GC				
121		FRAGARIA CHILOENSIS	BEACH STRAWBERRY	9CM POT
101		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#2 POT; 45CM



pmg
LANDSCAPE
ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 284-0011 ; f: 604 284-0022

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NO.	DATE	REVISION DESCRIPTION	DR.
10	16 JUL 13	REVISE PER COMMENTS	MC
9	16 JUL 13	REVISE PER COMMENTS/ADD GREEN ROOF	DO
8	16 MAY 06	DP SUBMISSION	
7	16 JAN 06	WP SUBMISSION	
6	16 APR 05	UPDATE PER NEW SITE PLAN	CLS
5	16 APR 04	STREET TREE NOTE	DO
4	16 FEB 05	NEW SITE PLAN / CITY COMMENTS	DO
3	17 JUL 13	NEW SITE PLAN	DO
2	12 JAN 17	NEW SITE PLAN	DO
1	16 JAN 04	NEW SITE PLAN	MA

PROJECT:
AUTO WEST BMW
VANGUARD ROAD
RICHMOND, BC

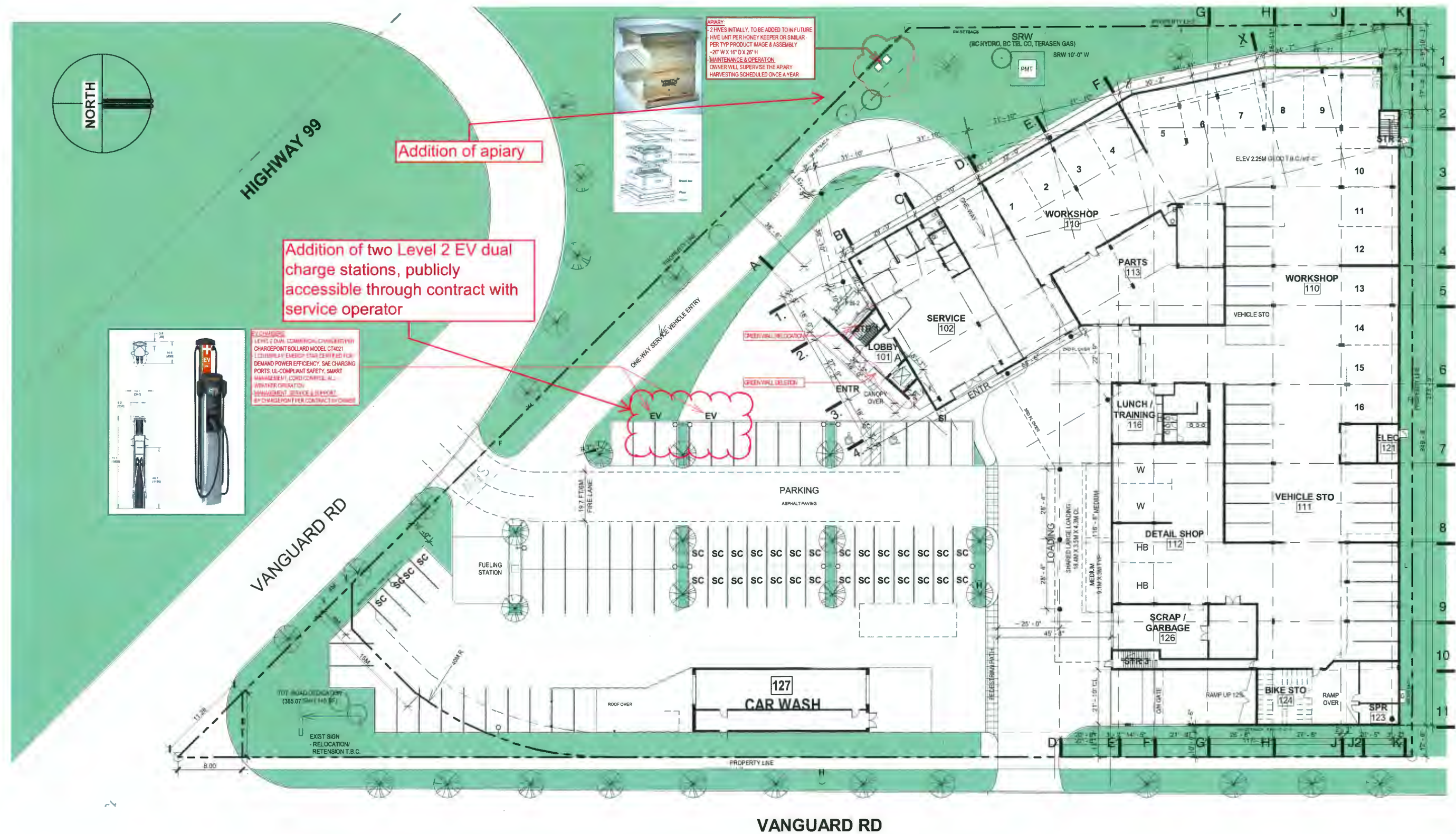
SEAL:
DRAWING TITLE:
LANDSCAPE PLAN

DATE: 16 JUL 13
SCALE: 1"=16'-0"
DRAWN: MR
DESIGN: MR
CHKD: MCY
DRAWING NUMBER:
L2
PMG PROJECT NUMBER: 16-144

Plan #9

AUG 29 2018

DP 17-732793



① SITE PLAN
1" = 40'-0"

DP GENERAL COMPLIANCE APPLICATION

4331 VANGUARD RD

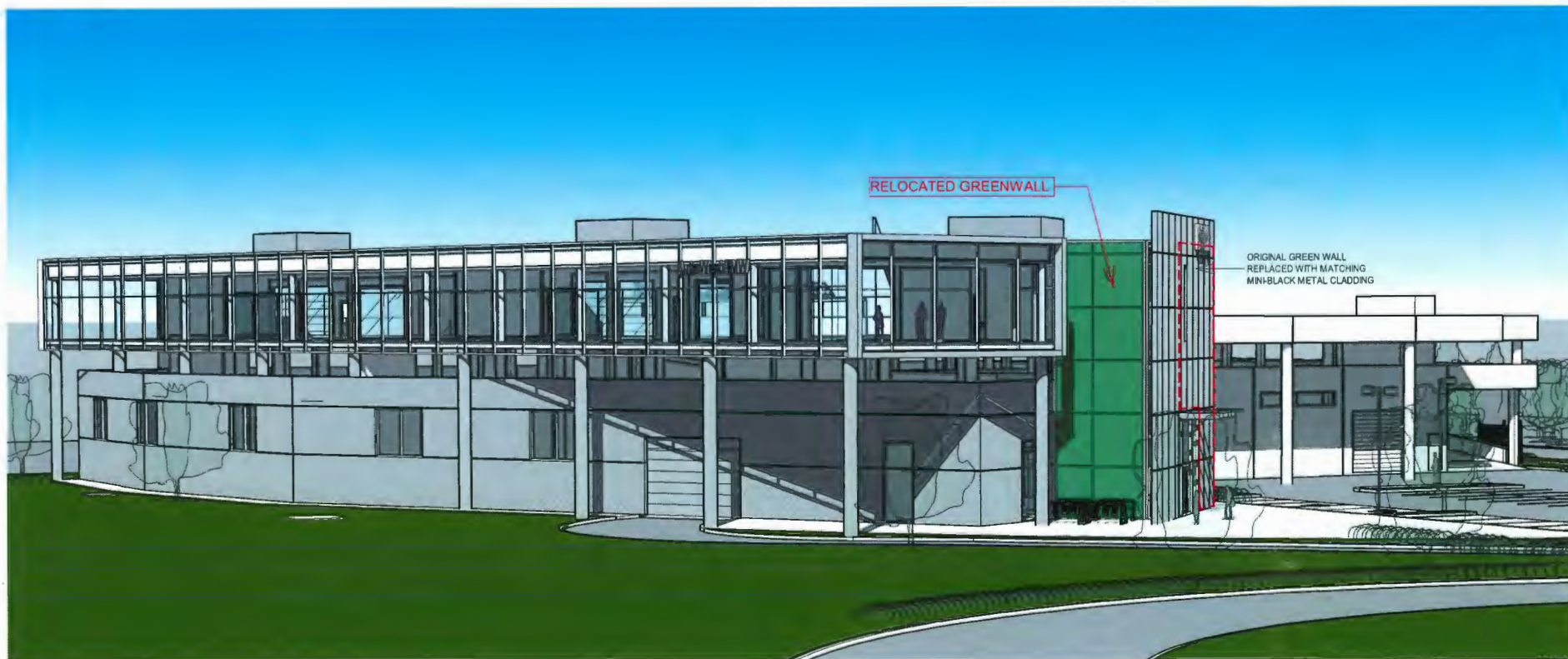
**CHRISTOPHER
BOZYK ARCHITECTS LTD**
414 - 611 ALEXANDER STREET VANCOUVER BC V6A 1E1
PHONE (604) 251-3440 FAX (604) 251-3848

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PROPOSED GREEN WALL RELOCATION & APIARY ADDITION

SCALE:
DATE: MAY 26, 2020 PROJECT NUMBER: 215003

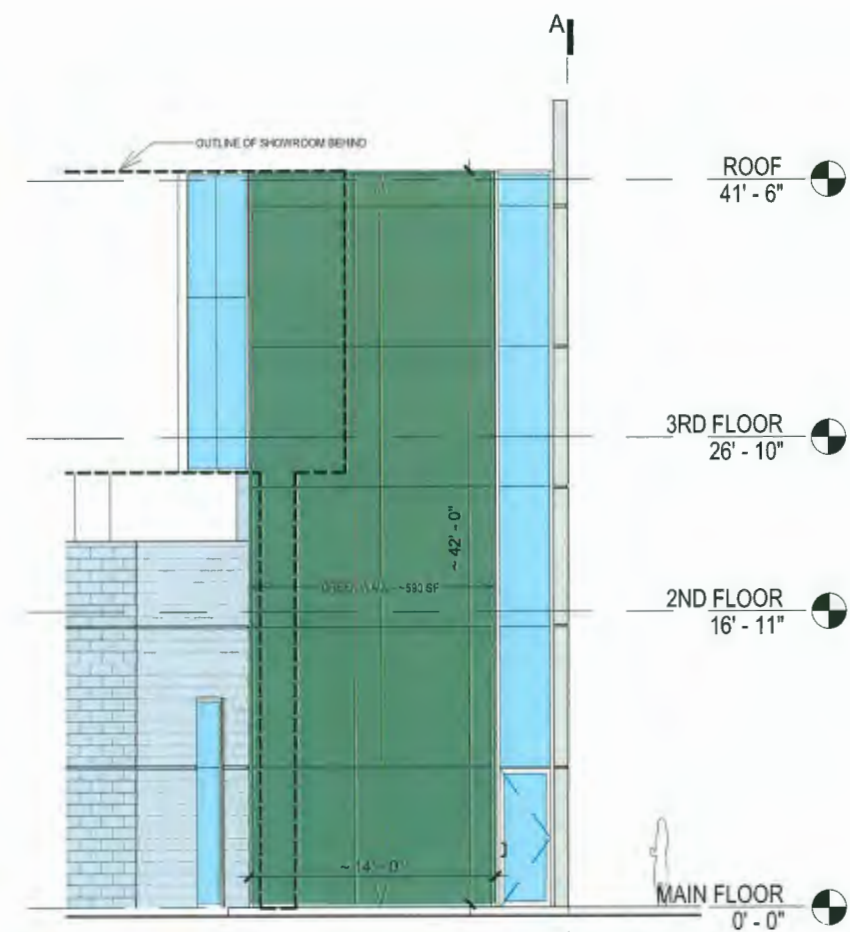
SK1



2 APPROX S-W VIEW FROM HIGHWAY 99

GREEN WALL SPECIFICATION:

SPECIFICATION PER APPROVED DP & PROVIDED PRODUCT DATA: PATENT GREEN WALL SYSTEM "SEMPERGREENWALL" OR SIM APPROVED



1 NEW GREEN WALL / S-W ELEVATION
3/32" = 1'-0"

DP GENERAL COMPLIANCE APPLICATION

4331 VANGUARD RD

**CHRISTOPHER
BOZYK ARCHITECTS LTD**
414-811 ALEXANDER STREET VANCOUVER BC V6A 1E1
PHONE (604) 251-3440 FAX (604) 251-3948

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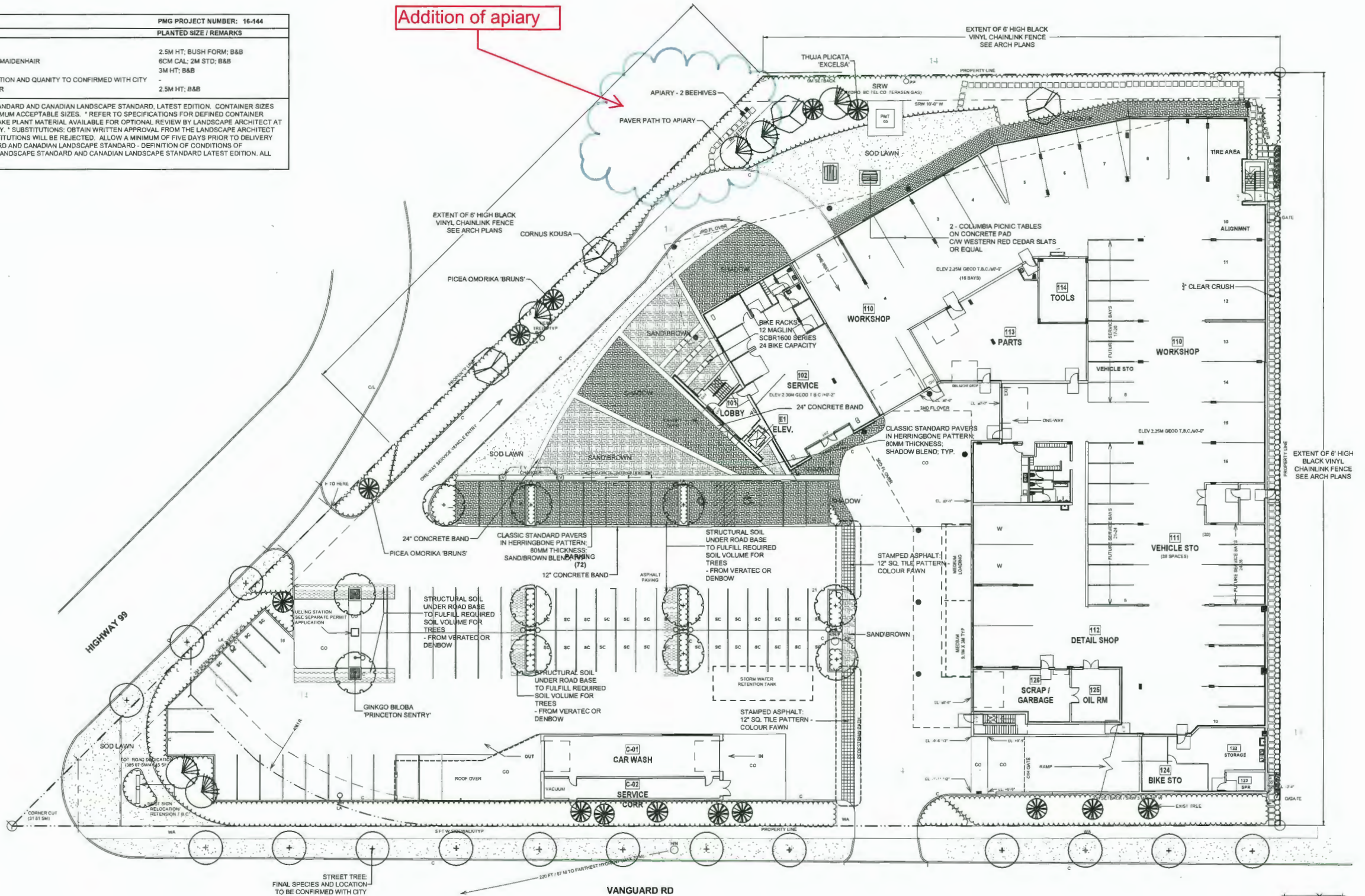
PROPOSED GREEN WALL RELOCATION

SCALE:
DATE: MAY 25, 2020 PROJECT NUMBER: 215003

SK2

TREE SCHEDULE				PMG PROJECT NUMBER: 16-144
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	4	CORNUS KOUSA	KOUSA DOGWOOD	2.5M HT; B&B
	11	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR	6CM CAL; 2M STD; B&B
	14	PICEA OMORIKA 'BRUNS'	SERBIAN SPRUCE	3M HT; B&B
	15	STREET TREE 2	FINAL SPECIES LOCATION AND QUANTITY TO BE CONFIRMED WITH CITY	-
	6	THUJA PLICATA 'EXCELSA'	WESTERN RED CEDAR	2.5M HT; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



13	28.APR.11	REVISE EDIT PATH	DO
12	19.MAR.26	IPC	MM
11	19.MAR.20	REVISED ROOF DECK PLANTING	MM
10	19.JAN.17	ISSUED FOR TENDER	MCY
9	18.JUL.19	REVISE PER COMMENTS	MC
8	18.JUN.27	REVISE PER COMMENTS/ADD GREEN ROOF	DO
7	18.MAY.06	DP SUBMISSION	DO
6	18.MAY.06	BP SUBMISSION	DO
5	18.APR.05	UPDATE PER NEW SITE PLAN	CLG
4	18.APR.04	STREET TREE NOTE	DO
3	18.FEB.05	NEW SITE PLAN / CITY COMMENTS	DO
2	17.JUL.13	NEW SITE PLAN	DO
1	27.JAN.17	NEW SITE PLAN	DO
1	16.AUG.14	NEW SITE PLAN	MM

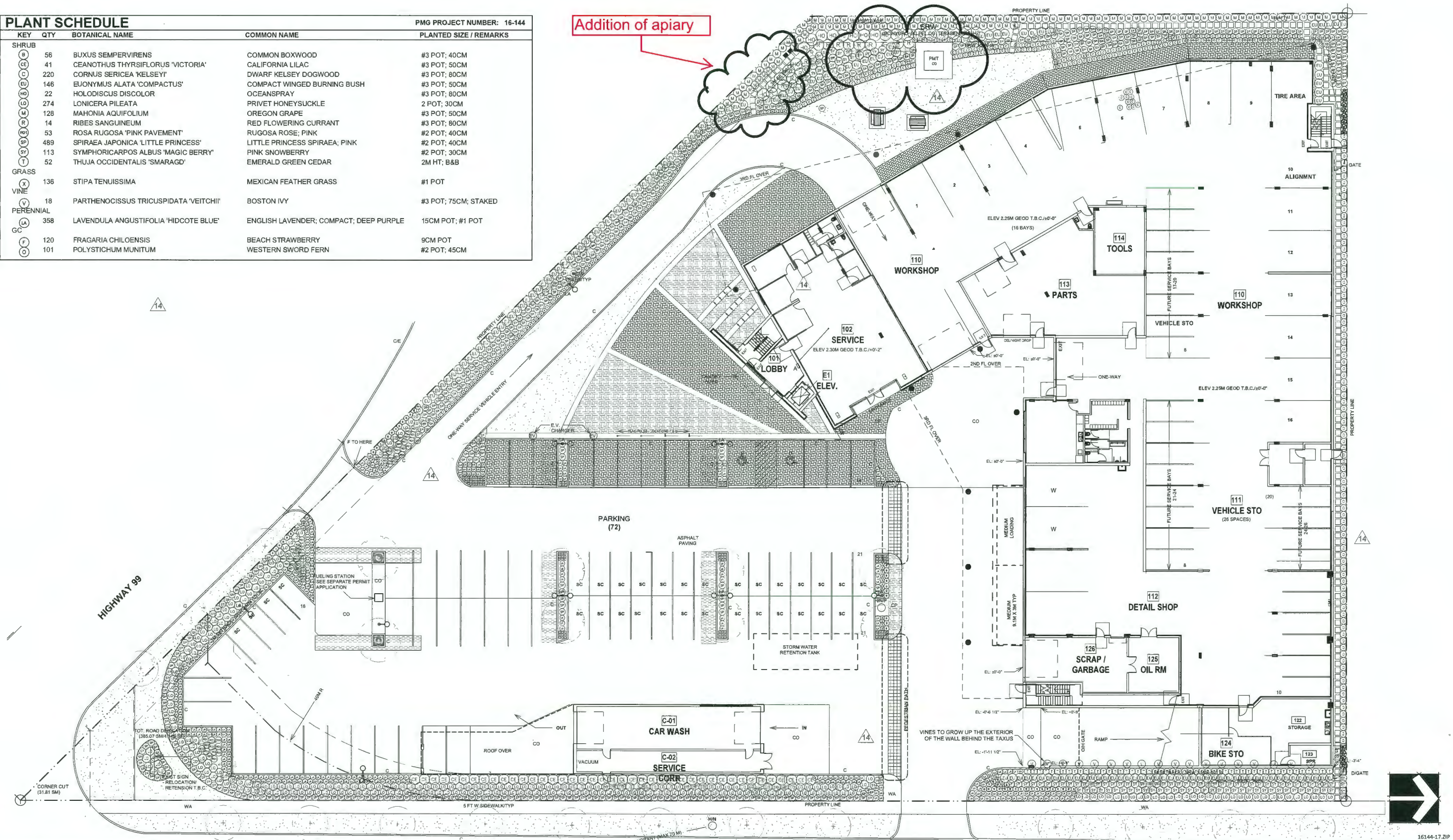
NO.	DATE	REVISION DESCRIPTION	DR.
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16	20.MAY.25	APIARY ADDED	MM
15	19.OCT.15	SHRUB RELOCATION; PLANT LIST	MM
14	19.AUG.14	SITE PLAN COORDINATION	MM

NO.	DATE	REVISION DESCRIPTION	DR.
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PLANT SCHEDULE				PMG PROJECT NUMBER: 16-144
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
B	56	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT; 40CM
CE	41	CEANOTHUS THYRSIFLORUS 'VICTORIA'	CALIFORNIA LILAC	#3 POT; 50CM
C	220	CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD	#3 POT; 80CM
EU	146	EUONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT; 50CM
HO	22	HOLODISCUS DISCOLOR	OCEANSPRAY	#3 POT; 80CM
LO	274	LONICERA PILEATA	PRIVET HONEYSUCKLE	2 POT; 30CM
M	128	MAHONIA AQUIFOLIUM	OREGON GRAPE	#3 POT; 50CM
R	14	RIBES SANGUINEUM	RED FLOWERING CURRANT	#3 POT; 80CM
RO	53	ROSA RUGOSA 'PINK PAVEMENT'	RUGOSA ROSE; PINK	#2 POT; 40CM
SP	489	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA; PINK	#2 POT; 40CM
SY	113	SYMPHORICARPOS ALBUS 'MAGIC BERRY'	PINK SNOWBERRY	#2 POT; 30CM
T	52	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	2M HT; B&B
GRASS				
X	136	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT
VINE				
V	18	PARTHENOCISSUS TRICUSPIDATA 'VEITCHII'	BOSTON IVY	#3 POT; 75CM; STAKED
PERENNIAL				
LA	358	LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER; COMPACT; DEEP PURPLE	15CM POT; #1 POT
GC				
F	120	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	9CM POT
O	101	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#2 POT; 45CM

Addition of apiary



13	19.APR.11	REVISE EXIT PATH	DO
12	19.MAR.26	IFC	MM
11	19.MAR.20	REVISED ROOF DECK PLANTING	MM
10	19.JAN.17	REVISED FOR TENDER	MCY
9	18.JUL.19	REVISE PER COMMENTS	MC
8	18.JUN.27	REVISE PER COMMENTS/ADD GREEN ROOF	DO
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1	17.JAN.17	NEW SITE PLAN	DO
1	16.AUG.04	NEW SITE PLAN	MM
NO.	DATE	REVISION DESCRIPTION	DR.

16	20.MAY.25	APIARY ADDED	MM
15	19.OCT.35	SHRUB RELOCATION; PLANT LIST	
14	19.AUG.14	SITE PLAN COORDINATION	MM
NO.	DATE	REVISION DESCRIPTION	DR.

PROJECT:

AUTO WEST BMW
VANGUARD ROAD
RICHMOND, BC

SEAL:

DRAWING TITLE:

LANDSCAPE
PLAN

DATE: 16.JUL.19
SCALE: 1"=16'-0"
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CHK'D: MCY

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L2

OF 5

16-144