



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: October 4, 2018

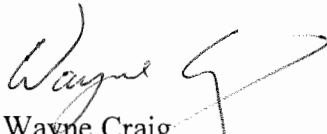
From: Wayne Craig
Director of Development

File: DP 17-794280

Re: **Application by Ciccozzi Architecture Inc. for a Development Permit at 4008
Stolberg Street**

Staff Recommendation

That a Development Permit be issued which would permit the construction of a 196-unit apartment complex at 4008 Stolberg Street on a site zoned "Low Rise Apartment (ZLR22) – Alexandra Neighbourhood (West Cambie)".



Wayne Craig
Director of Development

WC:mm

Att. 2

Staff Report

Origin

Ciccozzi Architecture Inc. has applied to the City of Richmond for permission to develop a 196-unit apartment complex comprised of two (2) four-storey buildings located over a single level parkade at 4008 Stolberg Street on a site zoned “Low Rise Apartment (ZLR22) – Alexandra Neighbourhood (West Cambie)”. The site is currently vacant.

The site was rezoned to the current ZLR22 zone in 2009 (RZ 07-366342). A Development Permit (DP 08-431155) was issued for this site in March, 2014 and lapsed in March, 2016.

Servicing works were constructed as part of the requirements for this project under a Servicing Agreement for the previous rezoning. These include 2.0 m (6.6 ft.) wide concrete sidewalks along with boulevards consisting of grass and street trees facing Stolberg Street, Cambie Road and McKim Way. Prior to Building Permit issuance, the applicant is required to pay for the replacement of street trees and grass as needed, modification of the driveway let-down on Stolberg Street, and removal of the let-down on McKim Way under a City Work Order.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north, across Cambie Road, there is an established single family neighbourhood zoned “Single Detached (RS1/B)”;

To the south, across McKim Way, there is a four storey apartment zoned “Low Rise Apartment (ZLR24) – Alexandra Neighbourhood (West Cambie)”; there are also three large lots zoned “Single Detached (RS1/F)” which are designated in the Area Plan for future low-rise apartment developments;

To the east, there is a four storey apartment zoned “Low Rise Apartment (ZLR24) – Alexandra Neighbourhood (West Cambie)” currently under construction (DP 10-557521); and

To the west, across Stolberg Street, there is a six-storey apartment building with a childcare facility zoned “Low Rise Apartment (ZLR22) – Alexandra Neighbourhood (West Cambie)”.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the West Cambie Area Plan. The proposal is also in compliance with Zoning Bylaw 8500.

Advisory Design Panel Comments

The Advisory Design Panel was in favour of the proposed project. A copy of the relevant excerpt from the Advisory Design Panel Minutes from the June 20, 2018 meeting is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The 1.92 m (6.3 ft.) grade difference between the ground floor of the building and the Cambie Road and McKim Way Street frontages has been necessitated by the high water table and engineering considerations that do not allow the building to be lowered. However, 6.0 m (20.0 ft.) building setbacks to each of these streets has allowed for three levels of landscaping from street level to the main floor level. These building setbacks exceed the minimum zoning setbacks of 4.5 m (14.7 ft.) for Cambie Road and 3.0 m (9.8 ft.) for McKim Way.
- Along these street frontages, there are two retaining walls separating three landscaped levels which effectively obscure the parkade located below the buildings. The brick and concrete retaining walls are punctuated by stairways leading from street level to individual units. The retaining walls nearest the streets range from 1.0 m (3.3 ft.) to 1.2 m (4.0 ft.) in height and are setback a minimum of 1.0 m (3.3 ft.) from the adjacent public sidewalks while the upper retaining walls are less than 0.60 m (2.0 ft.) in height.
- The above-noted retaining walls extend around the site corners onto Stolberg Street, progressively becoming lower until the on-site landscaping becomes level with the street at the middle of the block. The project's driveway at the middle of the block is aligned with the driveway of the existing building on the west side of the street.
- The 6.9 m (23 ft.) building setback to east property line combined with the 6.0 m (20 ft.) setback for the adjacent building to the east provide an overall 12.9 m (43 ft.) separation between the buildings. The abutting parkade podiums are both at the same elevation with raised landscape planters along the east side of the subject property to provide for an attractive landscape transition.

Access and Parking

- The main pedestrian entrances to the buildings are provided near the middle of the block of the Stolberg Street frontage.
- There is an existing mid-block crosswalk on Stolberg Street with curb extensions on each side that provide for a narrower pedestrian crossing distance.
- The parkade will be accessed by a driveway adjacent to this mid-block crosswalk and between the two buildings. This driveway is located near the driveway proposed for the previously approved project (DP 08-431115).
- The one loading space is located adjacent to the driveway with provision for truck maneuvering on-site.
- The project includes 296 resident parking spaces in excess of the 294 required spaces. Approximately 10% of the resident parking or 30 spaces are in tandem format which is

below the maximum 50% permitted. There is a Tandem Parking Covenant (LTO #BB1161265) registered on title ensuring that each pair of tandem spaces are sold or assigned to the same unit.

- The parkade includes the required 40 visitor parking spaces.
- The Development Permit plans include a notation specifying that all parking spaces are provided with 120 volt electrical (Level 1) outlets as required under the City's Zoning Bylaw.
- The residents will be provided with 284 Class 1 (Resident) bicycle parking spaces within the parkade which is in excess of the 245 required parking spaces. Bike racks will be provided to accommodate the required 40 Class 2 (Visitor) bicycle parking spaces.

Urban Design and Site Planning

- Stolberg Street forms the functional front of the project with the parkade entrance, and off-street loading bay and both building lobbies located near the middle of the block. At this point, the street level rises to the level of the main floor of both buildings, thus providing level pedestrian access to the building lobbies.
- Cambie Road is an arterial road located 1.92 m (6.3 ft.) grade below the project's main floor level. There is a large building setback of 6.0 m (20.0 ft.) and parkade setback of 4.7 m (15.4 ft.), well in excess of the respective minimum setbacks of 4.5 m (14.7 ft.) and 1.5 m (4.9 ft.) under the Zoning Bylaw. There is no vehicle access and one small pedestrian access to the podium amenity space for residents.
- McKim Way is a local road also located 1.92 m (6.3 ft.) grade below the project's main floor level. There is a large building setback of 6.0 m (20.0 ft.) and parkade setback of 3.0 m (9.8 ft.), well in excess of the respective minimum setbacks of 3.0 m (9.8 ft.) and 1.5 m (4.9 ft.) under the Zoning Bylaw. There is no vehicle access and one small pedestrian access to the podium amenity space for residents.

Architectural Form and Character

- The two buildings have "L" and "U" shaped footprints and are located on one large common concrete podium parkade that covers most of the site. The buildings' wings face the adjacent streets and open out onto one common central courtyard located between the buildings.
- The west elevation of the project facing Stolberg Street includes an approximately 20 m (66 ft.) separation between the building wings while there is an approximately 31 m (104 ft.) separation between the buildings on the project's east elevation.
- Each of the buildings includes a colonnaded walkway adjacent to the large outdoor planters and the parkade entrance providing attractive pedestrian accesses from Stolberg Street to the podium courtyard amenity space.
- The buildings' façades are articulated with regularly spaced recesses occupied by banks of covered balconies at approximately every 6.0 m (20 ft.) to 8.0 m (24.5 ft.) of building frontage.
- The first floor apartment units include patios with individual walkways leading onto the surrounding public streets to access and to animate the street frontages.

- The majority of the bottom two floors of the buildings' façades are clad in red brick with concrete lintels with this treatment extending to the third floor around the building lobbies facing Stolberg Street.
- The majority of the remainder of the building façades are clad with white hardi panel interspersed with grey painted wood trim. The recessed areas of building façades include brown hardi panel and wood trim to accentuate the depth of the recesses.
- The flat roofs are trimmed with large cornices with larger raised roof sections at each building corner facing Stolberg Street.
- Smaller pop-up roofs punctuate the rooflines above each section of the buildings that contain banks of balconies.

Landscape Design, Open Space Design and Amenity Space

- Along the street frontages, there are two retaining walls separating three landscaped levels which effectively obscure the parkade located below the buildings. These walls are broken-up by stairways leading from street level to individual units.
- The landscape walls at street level range from 1.0 m (3.3 ft.) to 1.2 m (4.0 ft.) with on-site shrubs and trees adjacent to the Cambie Road sidewalk and grass along the McKim Way sidewalk. These walls extend around the site corners onto Stolberg Street, progressively becoming lower until the on-site landscaping becomes level with the street at the middle of the block.
- The middle terrace is heavily landscaped on all street frontages while the upper terrace includes unit patios and landscaping.
- The large central courtyard located on top of the parkade podium includes a water feature, common patios, grassed areas, seating areas and large glass-covered trellises. The outdoor amenity space has a total area of 1,565.5 m² (16,845.5 ft²) which complies with the OCP Development Permit Area guidelines.
- The 653.7m² (7,036 ft²) play area includes a long slide on a raised landscape mound and rope spinner surrounded outdoor rubber play surface which complies with the OCP Development Permit Area guidelines.
- There are community garden plots and a common garden shed provided within the podium courtyard that are provided with hose bibs.
- There are two large irrigated lawns within the courtyard and that allow for passive recreation.
- Along the east side of the central courtyard, there are beech and pine trees, and a fence at the edge of the podium to provide a buffer to the abutting apartment building podium courtyard being constructed at same level to the east.
- Each of the ground floor units facing the central courtyard and adjacent streets are provided with a large private patios.
- The applicant will be required to provide a landscaping security of \$877,459.12 prior to Development Permit issuance.

- There is a total of 627.4 m² (6,753.3 ft²) of indoor recreation space within the two buildings and which includes a gym, taiji room, lounge, a party room and mah-jong rooms. Each building includes more than the 100 m² (1,076 ft²) minimum required under the OCP Development Permit Area guidelines.
- These common amenity spaces have direct access to the interior courtyard and colonnaded walkways noted above.

Crime Prevention Through Environmental Design

- The outdoor amenity area is located within the internal courtyard with limited access points to the adjacent public streets.
- There is a comprehensive lighting plan with bollard lighting and subdued wall-mounted lighting within the central courtyard and along the perimeter of the project facing the public streets.
- The external street frontages and internal courtyards provide significant resident surveillance due to the design of the building and landscaping.

Accessible Housing

- The proposed development includes 20 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Energy and Sustainability

- The project will be connected to the West Cambie District Energy Utility (DEU).
- There is utilization of energy efficient lighting, heating, mechanical systems and appliances as noted in the applicant's Design Rationale.
- There is use of drought-tolerant and native landscape species where possible.

Affordable Housing

Affordable housing units were provided for the subject site at 4008 Stolberg Street within the building on the adjacent site to the west at 9388 Cambie Road as part of the affordable housing contributions applicable to both sites being rezoned to the ZLR22 zone in 2009 (RZ 07-366342).

Alexandra Beautification Contribution

The applicant will provide the Alexandra Area Beatification Contribution at a rate of \$0.60/ft² or \$108,069.48 prior to Development Permit issuance for this site.

Other Alexandra Amenity Area contributions were previously paid at the rezoning stage for this site.

OCP Aircraft Noise Policy

Prior to issuance the Development Permit, the applicant will be required to provide final reports from acoustical and mechanical engineers to the satisfaction of the City that meet the OCP policy requirements for:

- Meeting the ASHRAE 55 “Thermal Environmental Conditions for Human Occupancy standards for interior living spaces”. In that regard, it should be noted that all units will be air conditioned.
- Confirming that the building has been designed and constructed to achieve the CMHC guidelines for interior noise levels.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Mark McMullen
Senior Coordinator - Major Projects

MM:rg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$877,459.12
- Receipt of the Alexandra Beatification Contribution at a rate of \$0.60/ft² or \$108,069.48 (based on the net floor area of 118,115.8 ft²) prior to Development Permit issuance for this site.
- An assignment and assumption agreement with the City, whereby the Owner acknowledges, agrees to and assumes all of the covenants and obligations under the City documents registered on title relating to RZ 07-366342 and DP 08-431155 as if the Owner had originally signed them, including but not limited to an acknowledgment and assumption of the existing agreements and all covenants and obligations of the owner thereunder, including the:
 - District Energy Covenant (LTO #CA3923897)
 - Airport Noise Covenant & SRW (LTO #BB1104464 & #BB1104465)
 - Flood Covenant (LTO #BB1104468)
 - Tandem Parking Covenant (LTO #BB1161265)
- The acoustical and mechanical reports are to be prepared and submitted to the satisfaction of the City as set out in the OCP including:
 - Submission of a final report from the project mechanical P.Eng. confirming that the building has designed to meet the ASHRAE 55 “Thermal Environmental Conditions for Human Occupancy standards for interior living spaces”; and
 - Submission of a final report from an acoustical engineer confirming that the building has been designed and constructed to achieve the CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant will pay for the replacement of any trees and grass within the adjacent boulevards that are dead, dying or otherwise need to be replaced, the modification the driveway let-down on Stolberg Street, removal of the let-down on McKim Way, installation of any City service and DEU connections, and new fire hydrant(s), all to the satisfaction of City Staff under a City Work Order; the applicant may need to engage a civil engineering consultant to assist with the design of these works.
- Payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works which include:
 - Stolberg Street Drainage (Oris) Latecomer Agreement SA 08-434616D
 - Stolberg Street Sanitary Sewer (Oris) Latecomer Agreement SA 08-464616S
 - Alexandra/West Cambie Latecomer Agreement
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ntp/special.htm>).

Prior to future Building Permit issuance or approval of the Phased Strata Plan Declaration, the developer is required to complete the following:

- Submit a Building Code Analysis addressing the phasing of the construction to the satisfaction of the City, receive approval or approval-in-principal of the Phased Strata Declaration (Form P) from the Approving Officer, and register any covenants, easements or other documents required to facilitate the Phased Strata and the phasing of construction as determined by the City and Approving Officer.



DP 17-794280

Attachment 1

Address: 4008 Stolberg Street

Applicant: Ciccozzi Architecture Inc. Owner: 168899 Holding Inc.

Planning Area(s): West Cambie (Alexandra)

Floor Area Gross: 17,886.6 m² Floor Area Net: 16,733.0 m²

	Existing	Proposed	
Site Area:	11,022.3 m ²	11,022.3 m ²	
Land Uses:	Vacant	Apartment complex	
OCP Designation:	Apartment Residential	Apartment Residential	
Zoning:	Low Rise Apartment (ZLR22) – Alexandra Neighbourhood (West Cambie)	Low Rise Apartment (ZLR22) – Alexandra Neighbourhood (West Cambie)	
Number of Units:	None	196 units	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.52	1.52	none permitted
Lot Coverage:	65%	45.4%	none
Setback – Stolberg Street:	2.85 m	4.0 m	none
Setback – Cambie Road:	4.5 m	6.0 m	none
Setback –McKim Way:	3.0 m	6.0 m	none
Setback – Side Yard:	3.2 m (Building) 0.0 (Parkade)	6.9 m (Building) 0.0 (Parkade)	none
Height (m):	Max. 24.0 m	15.9 m	none
Lot Size:	None	None	none
Off-street Parking Spaces – Regular/Visitor:	294 / 40	296 / 40	none
Off-street Parking Spaces – Accessible (included above):	7	8	none
Total off-street Spaces:	334 (Max.)	336	none
Tandem Parking Spaces	167	30	none
Amenity Space – Indoor:	Min. 200 m ²	627.4 m ² in both buildings	none
Amenity Space – Outdoor:	Min. 1,182 m ²	1,565.5 m ²	none

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, June 20 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

**DP 17-794280 - TWO FOUR-STOREY RESIDENTIAL BUILDINGS OVER
SHARED PARKADE WITH 196 APARTMENTS**

ARCHITECT: Ciccozzi Architecture

PROPERTY LOCATION: 4008 Stolberg Street

Applicant's Presentation

Otto Lejeune, Ciccozzi Architecture, and Daryl Tyacke, ETA Landscape Architecture, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the applicant for considering public art; the applicant is encouraged to coordinate with the City's public art planner regarding the location of public art in the project;

Although Public Art is not required as part of this development application, we have provided a number of design features to enhance the public experience. We have incorporated a plazalike feel at the loading area by incorporating a distinct paving patter to delineate the space. We have also included both trellises and colonnades to help soften and animate the space.

- appreciate the articulation of the brick walls as it helps in breaking down the massing and length of the building; brown wood reveals setback also help clarify the language of the building;

Acknowledged.

- consider a different colour for the ground level of the gray-coloured three levels at the east elevation (courtyard) to make it more pedestrian-friendlier;

Considered and incorporated.

- consider further articulation to the west entrance of the outdoor amenity area facing Stolberg Street to enhance its gateway feel; applicant could consider differentiating it from the rest of the building;

Expanded space between buildings facing Stolberg Street more than 20' (from 49' to 70') by redesign of corner units; setting back balconies from street by 5.5'/13.8'; and introducing a FEATURE COLONNADE on both sides of the loading/parkade entry plaza to improve pedestrian accessibility and special quality. As well, the opening facing the courtyard has been increased to more than 70' at ground level (to inside wall of colonnade), and an additional 2', to 51.5', for the building above. Refer to Architectural drawing A1.2

- appreciate the applicant's efforts to provide landscaping and accessibility to pedestrians, e.g. stairways into the mews on the back-east side of the development;

Acknowledged.

- consider accentuating the main entrance along Stolberg Street, e.g. introducing a different texture on the ground could help delineate a pedestrian pathway into the gate; stairway could also be wider;

Considered. See Landscape drawings for added ground treatment.

- appreciate the higher language of the entry foyer for each building; consider further strengthening the gateway language at the corners of both buildings to provide stronger definition to the pedestrian entry;

Acknowledged.

- appreciate the overall landscaping and articulation for the project;

Acknowledged.

- parkade entrance on Stolberg Street appears to be a service entrance due to the location of the garbage and recycling pick-up at the main entrance; consider looking at McKim Way as potential underground parkade entrance;

Considered. Current layout improved to creates a welcoming sense and togetherness for residents in/out of parkade and take advantage of service area open space with good visual connection to courtyard outdoor amenity area from street and parkade entry.

- no problem with the location and articulation of spaces; however, investigate opportunities for widening the gap between the two buildings along Stolberg Street; look at the possibility for a modified U-shape for Building 1 (north building);

Considered. Widened opening facing Stolberg Street >20' to 70' and >2' to 51' facing courtyard at ground level. Compared building shapes and current layout scheme to offer better quality for units and overall outdoor space.

- consider interrupting the long, continuous corridors on the ground floor of the two buildings to allow natural daylight to the corridors and open up more views to the main courtyard spaces to provide a reference point to pedestrians, e.g. through introducing glazing or doorways;

Acknowledged.

- review and confirm the total number of adaptable units in A6.4 of the package;

Confirmed.

- consider installing an outward opening door in lieu of an inward opening door for the den adjacent to the entry foyer for adaptable unit types A1 and Unit A for more efficient use of floor space;

Considered and incorporated.

- Unit type A2 has an awkward space off the dining room; person using the bedroom is required to go out into the living room to get to the adjacent bathroom; consider design development;

Reviewed and revised.

- Unit type B1 has good access;

Acknowledged.

- consider an outward opening door for the powder room in unit types B2 and C;

Acknowledged.

- consider installing a pocket door to the doorway of the master bedroom to the washroom in unit type C to enhance usability;

Acknowledged.

- consider the installation of lazy susans to enhance the use of kitchen cabinet space under the counters;

Reviewed and revised.

- consider an outward opening door for the powder room in Unit C1; also consider installing a pocket door in the ensuite bathroom in the master bedroom to make it more usable;

Reviewed and revised.

- reconsider the lay-out for unit type C1 as the living room and bedroom require access through a corridor into the master bedroom to get to a powder room; also consider the same for unit type C1A

Reviewed and revised.

- living room, bedroom and master bedroom in unit type C3 are all relying on one door to the bathroom;

Reviewed and revised.

- not concerned with building frontages; increasing the building setbacks on Cambie Street and McKim Way helps provide a buffer from the street; appreciate the applicant's efforts to soften the transition from the street level to the ground level units;

Acknowledged.

- main entry points are clear in terms of wayfinding; however, secondary entries need to be more clearly defined for both buildings, in particular the building entry off McKim Way; consider providing a connecting path off McKim Way directly or provide a mid-block connecting point to provide direct access;

Acknowledged; there is no entrance off McKim.

- main building lobbies are well-expressed and clear;

Acknowledged.

- support comments for the applicant to beautify the parkade ramp and staging area for the garbage pick-up; consider creating a plaza-like feel with appropriate ground materials and provide temporary screening for the garbage and recycling bins;

Considered. Added trellis over parkade entry ramp; new planters and colonnades along both sides. At front of the garbage/recycle bins staging area, a nature screen and visual barrier for the garbage and recycle bins.

- consider continuing the trellis connecting the two amenity areas to also cover the driveway ramp to soften the space and make it more welcoming;

Considered. Please see Architectural & landscape revised drawings.

- appreciate the significant amount of contiguous indoor and outdoor amenity spaces for the subject project not typically seen in other similar projects;

Acknowledged.

- consider a double height ceiling for a portion of the north amenity (where the party room is located) to allow more daylight into the space given the size and scale of the amenity space;

Acknowledged.

- in general, lay-out of unit types are functional; however, investigate opportunities to allow more natural daylight into the living room spaces of the internal corner units, i.e. unit types A2 and A2A;

Acknowledged.

- appreciate the alignment of the driveways of the subject development and the building to the west side of Stolberg Street; however, question the symmetrical harmony of the shape of the subject buildings with respect to the adjacent building to the east;

Acknowledged.

- appreciate the proposed outdoor amenity area for the project; nice to see that the programming of the generous amount of outdoor amenity space is not overly prescriptive;

Acknowledged.

- materials palette is well-handled; building frontages are broken up with the brick base; good balance of materials and colours; alternating roof lines help in breaking down the visual mass of the buildings;

Acknowledged.

- City staff is advised to encourage applicants of development projects to consider architectural styles other than those found in the projects' immediate site context to provide diversity of architectural styles in the neighbourhood;

Acknowledged.

- appreciate the applicant's presentation of the project; proposed development is stately-looking and elegant; massing is well-handled and visually broken down;

Acknowledged.

- the model presented by the applicant makes the project easier to understand;

Acknowledged.

- solar aspect of the interior landscape is excellent; applicant has minimized the presence of deeply shaded patios; support the choice of small deciduous trees;

- reconsider the choice of poplars on concrete slab and consider columnar beech trees in lieu;

Considered. See revised Landscape drawing.

- consider introducing a five percent slope on the glass cover of the trellis feature for easier maintenance;

Considered. See revised Landscape drawing. See sheet L-e.1

- applicant should have included grading information in the package provided to Panel; would have been helpful in reviewing the project in advance;

Considered. See revised Landscape drawing.

- appreciate the dog run in the central courtyard; consider installing a hose bib dedicated to the dog run area;

Acknowledged. HB indicated on L-b.5

- consider installing a large Douglas fir tree in the central courtyard considering the size of the landscaped area;

Acknowledged. One of the Pines has been replaced with a Fir

- appreciate the applicant's presentation and the model;

Acknowledged.

- concerned with the loading area; consider design development of the loading area to allow some breathing room and visual and pedestrian permeability; consider relocating some of the columnar trees down the sides of the loading area or wrap the trellis around the side of the building to emphasize the pedestrian circulation beside the loading area;

Acknowledged. Expanded loading area around 3' at driver side and added planters to separate pedestrian walkway/colonnade at building ground level, greatly improving pedestrian accessibility and loading plaza space quality.

- the courtyard is well- programmed; solar exposure is great; concerned with the large trees shading the courtyard; would be nice to have some sunny areas in the courtyard;

Other than the Doug Fir requested in the courtyard, none of the trees are large growing. In addition, the trees have been spaced out a bit more to make the courtyard feel more open

- appreciate the mounding but too much of it will change the character of the landscape;

The mounding is part of the character and is intended to be part of the children's play throughout the project.

- support the comment that it would have been helpful if the applicant had provided a grading plan to help understand the sense of the landscape and public realm;

Acknowledged- a grading plan has been added

- overall, appreciate the treatment of the public realm; also appreciate how the bricks are brought down; nice façade along Cambie Road; appreciate how the landscaping is integrated into the building; and

Acknowledged.

- overall, the project is nicely done.

Acknowledged.

Panel Decision

It was moved and seconded

That DP 17-794280 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



No. DP 17-794280

To the Holder: 168899 Holding Inc.
Property Address: 4008 Stolberg Street
Address: 335 – 8120 Granville Avenue
Richmond, BC V6Y 1P3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #DP17-794280-1 to #DP17-794280-62 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$877,459.12 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 17-794280

To the Holder: 168899 Holding Inc.
Property Address: 4008 Stolberg Street
Address: 335 – 8120 Granville Avenue
Richmond, BC V6Y 1P3

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

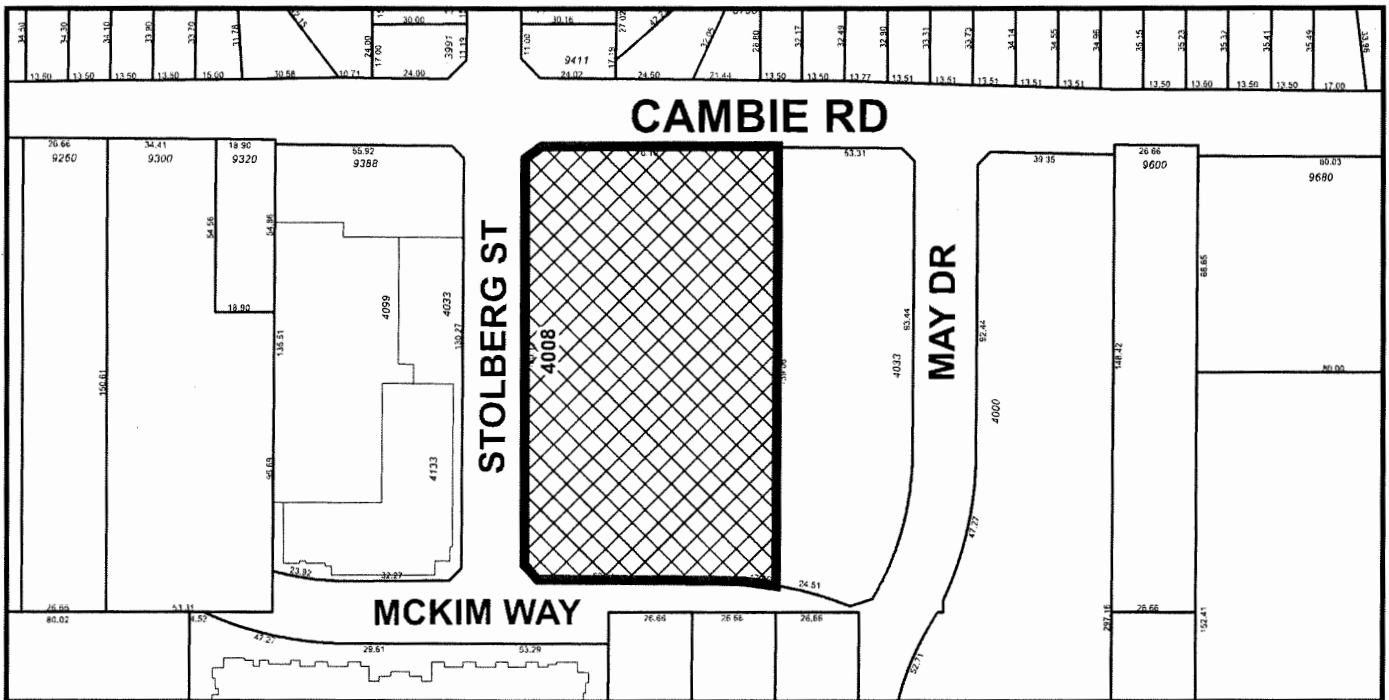
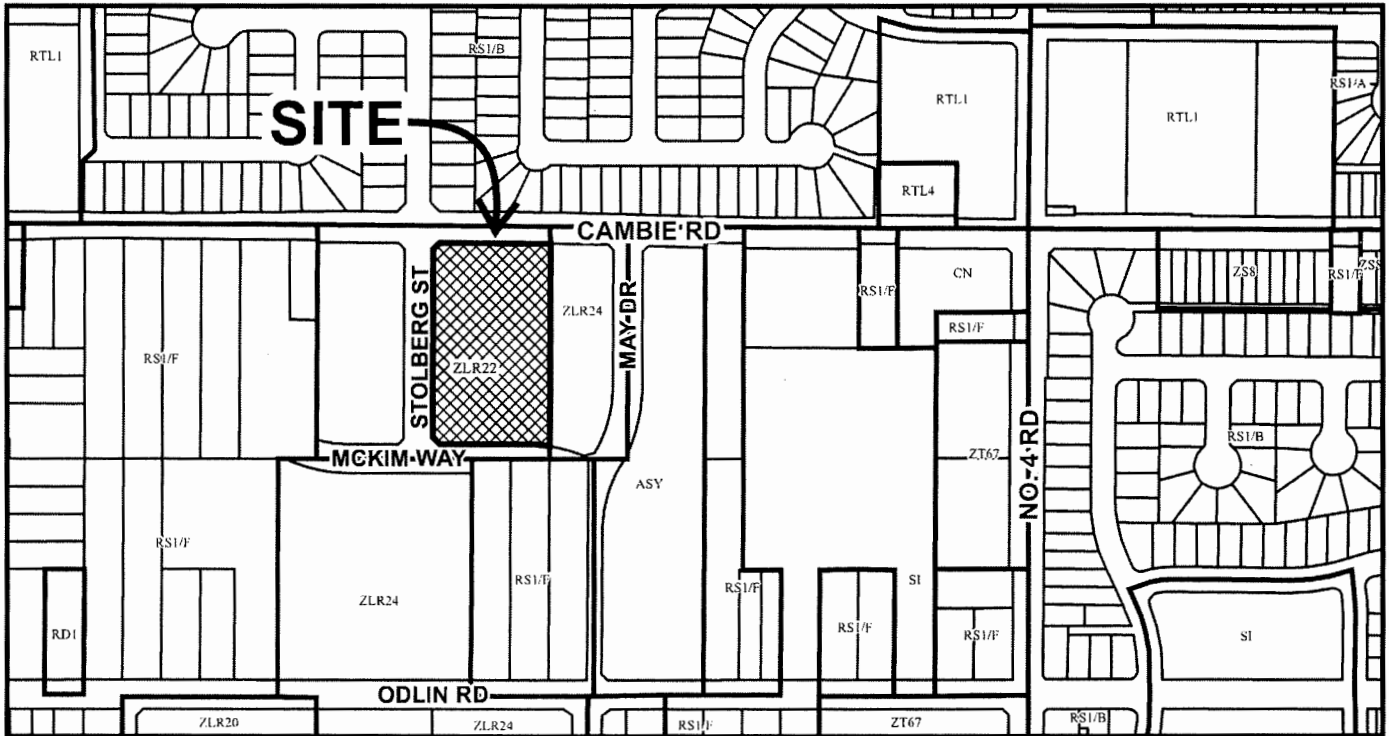
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 17-794280 SCHEDULE "A"

Original Date: 01/09/18

Revision Date:

Note: Dimensions are in METRES

4008, 4018 STOLBERG STREET RESIDENTIAL DEVELOPMENT

MULTI-FAMILY RESIDENTIAL PROPOSAL

CIVIC ADDRESS: 4008, 4018 STOLBERG ST, RICHMOND BC

LEGAL DESCRIPTION: LOT B SECTION 34, BLOCK 5 NORTH RANGE 6 WEST NWD BCP42345

DEVELOPMENT PERMIT RESUBMISSION
SEPT. 20, 2018

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NO.	DATE	DESCRIPTION



PROJECT STATISTICS

CIVIC ADDRESS:	PHASE 1: 4008 STOLBERG STREET, RICHMOND BC PHASE 2: 4018 STOLBERG STREET, RICHMOND BC
LEGAL DESCRIPTION:	LOT B SECTION 34, BLOCK 5 NORTH RANGE 6 WEST NWD BCP42345
SITE AREA:	118,642.6 S.F.
ZONING:	ZL822
DENSITY F.S.R.:	ALLOWED/REQUIRED: 152 + 152 = 304 (AMENITY MAX.) 190,336.6 S.F. / 1,864.3 S.F. 6,753.4 S.F.
LOT COVERAGE:	65.0% 71,177.9 S.F. / 48.4% 53,827.3 S.F.
BUILDING HEIGHT:	24.0 M MAX
SETBACKS:	FRONT YARD (NORTH) (CAMBER ROAD): 4.5 M BUILDING / 15 M PARKADE FRONT YARD (SOUTH) (MCKIM WAY): 3.0 M BUILDING / 1.5 M PARKADE FRONT YARD (WEST) (STOLBERG STREET): 2.85 M BUILDING / 4.0 M SIDE YARD (EAST) (ADJACENT PROPERTY): 3.2 M BUILDING / 6.975 M 0.0 M PARKADE
BUILDING AREA:	LEVEL P1 LEVEL 1 LEVEL 2 LEVEL 3 LEVEL 4
PHASE 1	439.0 S.F. 21,387.2 S.F. 21,754.1 S.F. 21,754.1 S.F. 21,754.1 S.F.
PHASE 2	443.7 S.F. 25,991.7 S.F. 26,335.5 S.F. 26,335.5 S.F. 26,335.5 S.F.
* GROSS BUILDING AREA:	682.7 S.F. 47,378.9 S.F. 48,089.6 S.F. 48,089.6 S.F. 48,089.6 S.F.
EXCLUSIONS/BONUSES:	INDOOR AMENITY: 6,753.4 S.F. ELEC. CLOSET, MECH. DEU. RT. & BOILER RM. BOUNS: 1,708.6 S.F. ELEVATOR & STAIRS: 3,922.4 S.F. BUH UNIT BONUS: 215 S.F. PER UNIT X 20 UNITS (UNITS A1 AND B1): 4,300 S.F. 12,444.4 S.F.
NET BUILDING AREA:	ALLOWED: 152 PROPOSED: 152
DENSITY FSR:	ALLOWED: 150,336.60 S.F. PROPOSED: 150,156.6 S.F.
AMENITY CALC:	ALLOWED: 0.00 PAR: 0.06 PAR: 4,589.6 S.F. / 2,183.9 S.F. / 6,753.4 S.F.
INDOOR AMENITY:	AMENITY @ LV. 1: 1,820 S.M (6.0 S.M PER UNIT) AMENITY @ LV. 2-4: 5910 S.M (30.0 S.M PER UNIT)
OUTDOOR AMENITY:	ALLOWED: 0.00 PAR: 426.4 S.M / 2010 S.M / 6,753.4 S.F.
TOTAL OUTDOOR AMENITY:	ALLOWED: 1,820 S.M (6.0 S.M PER UNIT) PROPOSED: 5910 S.M (30.0 S.M PER UNIT) CHILDREN'S PLAY AREA: 6857 S.M
CHILDREN'S PLAY AREA:	1,820 S.M (6.0 S.M PER UNIT) 1,865 S.M (6.0 S.M PER UNIT) 6857 S.M

* Gross area is calculated to outside face of building and includes tiered balconies on all levels

Total Outdoor Amenity Area includes 3.0 S.M. of the Children's Play Area
PRIVATE OUTDOOR PATIO/BALCONY: EVERY UNIT HAS AN OUTDOOR PATIO/BALCONY AREA OF 6 S.M² DEPTH AS PER SECTIONS 14.4.5.C & D OF THE OCP DPA GUIDELINES

UNIT & PARKING STATISTICS BY PHASE * For Bike & Vehicle Parking detail refer to breakdown at bottom of page

PHASE ONE	UNIT SUMMARY:	1 BEDROOM	2 BEDROOM	3 BEDROOM	TOTAL:	REQUIRED:	PER UNIT	TOTAL	PROVIDED:	STALLS
BASIC UNIVERSAL UNIT	RESIDENT:	34	43	14	91	150	PER UNIT	137	153	STALLS
	VISITOR:	4	8	4	16	0.20	PER UNIT	19	19	STALLS
	TOTAL:	38	51	18	107	202	PER UNIT	156	172	STALLS
PARKING SUMMARY:	RESIDENT:	16	16	16	48	1.25	PER UNIT	114	168	STALLS
	VISITOR:	0	0	0	0	0.20	PER UNIT	19	5	STALLS
	TOTAL:	16	16	16	48	1.45	PER UNIT	133	173	STALLS
LOADING BAY:	RESIDENT:	0	0	0	0	1	PER UNIT	1	1	MEDIUM BAY S/U
	VISITOR:	0	0	0	0	0	PER UNIT	0	0	STALLS
	TOTAL:	0	0	0	0	1	PER UNIT	1	1	MEDIUM BAY S/U
PHASE TWO	RESIDENT:	16	79	10	105	1.25	PER UNIT	114	168	STALLS
	VISITOR:	0	0	0	0	0.20	PER UNIT	19	5	STALLS
	TOTAL:	16	79	10	105	1.45	PER UNIT	133	173	STALLS
BASIC UNIVERSAL UNIT	RESIDENT:	16	79	10	105	1.25	PER UNIT	114	168	STALLS
	VISITOR:	0	0	0	0	0.20	PER UNIT	19	5	STALLS
	TOTAL:	16	79	10	105	1.45	PER UNIT	133	173	STALLS
PARKING SUMMARY:	RESIDENT:	16	79	10	105	1.25	PER UNIT	114	168	STALLS
	VISITOR:	0	0	0	0	0.20	PER UNIT	19	5	STALLS
	TOTAL:	16	79	10	105	1.45	PER UNIT	133	173	STALLS
LOADING BAY:	RESIDENT:	0	0	0	0	1	PER UNIT	1	1	MEDIUM BAY S/U
	VISITOR:	0	0	0	0	0	PER UNIT	0	0	STALLS
	TOTAL:	0	0	0	0	1	PER UNIT	1	1	MEDIUM BAY S/U
PHASE ONE & TWO (FULL BUILDOUT)	RESIDENT:	50	122	24	196	1.50	PER UNIT	254	298	STALLS
	VISITOR:	4	8	4	16	0.20	PER UNIT	40	40	STALLS
	TOTAL:	54	130	28	212	1.70	PER UNIT	294	338	STALLS
BASIC UNIVERSAL UNIT	RESIDENT:	50	122	24	196	1.25	PER UNIT	191	245	STALLS
	VISITOR:	4	8	4	16	0.20	PER UNIT	21	44	STALLS
	TOTAL:	54	130	28	212	1.45	PER UNIT	212	289	STALLS
PARKING SUMMARY:	RESIDENT:	50	122	24	196	1.25	PER UNIT	191	245	STALLS
	VISITOR:	4	8	4	16	0.20	PER UNIT	21	44	STALLS
	TOTAL:	54	130	28	212	1.45	PER UNIT	212	289	STALLS
LOADING BAY:	RESIDENT:	0	0	0	0	1	PER UNIT	1	1	MEDIUM BAY S/U
	VISITOR:	0	0	0	0	0	PER UNIT	0	0	STALLS
	TOTAL:	0	0	0	0	1	PER UNIT	1	1	MEDIUM BAY S/U

* ALL VISITOR BIKE PARKING IS PROVIDED ON THE LANDSCAPE PODIUM

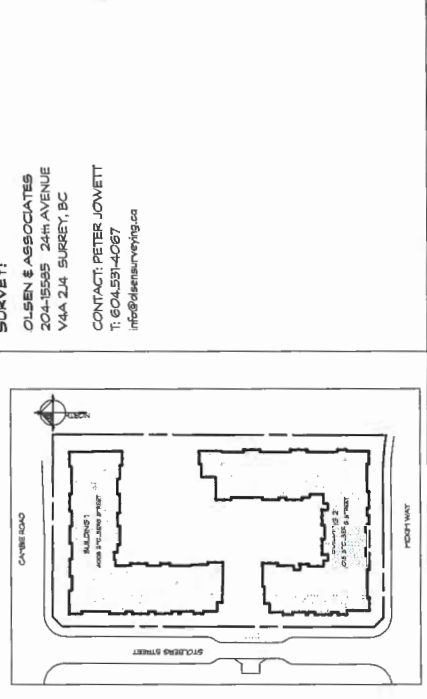
* VEHICULAR PARKING BREAKDOWN
Provided Parking (No. Stalls) RESIDENT VISITOR TOTAL HC / ACCESSIBLE
PHASE ONE 183 19 202 stalls 4 (min. 2 %)
PHASE TWO 113 21 134 stalls 4 (min. 2 %)
FULL BUILDOUT 296 40 336 stalls 8 (min. 2 %)

INCLUDING TOTAL BIKE TENDAM PARKING STALLS

PHASE ONE	HORIZONTAL	VERTICAL	% (33% max.)	TOTAL
168	0	0	0.0%	168
116	0	0	0.0%	116
TOTAL (FULL BUILD OUT)	0	0	0.0%	284

DRAWING LIST

ARCHITECTURAL DRAWINGS	CLIENT:
A00 COVER SHEET	EVERWELL GROUP HOLDING LHM PARTNERSHIP
A01 DESIGN RATIONALE	388 - 400 GRANVILLE AVENUE
A02 CONTEXT PHOTOS	V8Y P3 RICHMOND BC
A03 MATERIAL BOARD	CONTACT: BARBY SAVAGE
A04 SHADOW STUDY	EMAIL: bsavage@everwellgroupmanagement.com
A10 SITE PLAN	ARCHITECT:
A11 PARKADE PLAN	CICOZZI ARCHITECTURE INC.
A12 GARBAGE WASTE MANAGEMENT PLAN	200 - 2339 COLUMBIA STREET
A13 RECYCLING WASTE MANAGEMENT PLAN	VANCOUVER BC
A20 BUILDING 1 - MAIN LEVEL PLAN	V8Y P3
A21 BUILDING 1 - 2ND LEVEL PLAN	CONTACT: ROB CICOZZI
A22 BUILDING 1 - 3RD LEVEL PLAN	T: 604-687-4741
A23 BUILDING 1 - 4TH LEVEL PLAN	F: 604-687-4641
A24 BUILDING 1 - 5TH LEVEL PLAN	EMAIL: rob@cicozziarchitecture.com
A25 BUILDING 2 - MAIN LEVEL PLAN	LANDSCAPE:
A26 BUILDING 2 - 2ND LEVEL PLAN	ETA LANDSCAPE ARCHITECTURE
A27 BUILDING 2 - 3RD LEVEL PLAN	1890 WEST 24th AVENUE
A28 BUILDING 2 - 4TH LEVEL PLAN	V8Y P3 VANCOUVER BC
A29 BUILDING 1 - MAIN LEVEL OVERLAY	CONTACT: DARYL TYACKE
A30 BUILDING 1 - 2ND/3RD/4TH LEVEL OVERLAY	T: 604-683-1456
A31 BUILDING 2 - MAIN LEVEL OVERLAY	F: 604-683-1459
A32 BUILDING 2 - 2ND/3RD/4TH LEVEL OVERLAY	EMAIL: daryl@etas.ca
A40 ELEVATIONS	CIVIL:
A41 ELEVATIONS	H.Y. ENGINEERING AND ASSOCIATES
A42 COURTYARD ELEVATIONS	200-9128 152 ST.
A43 COURTYARD ELEVATIONS	V3R 4E7 SURREY BC
A50 BUILDING SECTIONS	CONTACT: PHIL HARTLEY
A51 BUILDING SECTIONS	T: 604-583-1919
A52 BUILDING SECTIONS	F: 604-583-1737
A60 UNIT A PLANS	SURVEY:
A61 UNIT B PLANS	OLSEN & ASSOCIATES
A62 UNIT C PLANS	204-5565 24th AVENUE
A63 UNIT D PLANS	V4A 2J4 SURREY BC
A64 UNIT SUMMARY	CONTACT: PETER JOVETT



RESIDENTIAL DEVELOPMENT
4008&4018 STOLBERG ST
RICHMOND, BC

DATE:	NOV	NOV	NOV
NO.:	1	2	3

COVER SHEET

NO. 1 / 17420U - 1

NO. 1 / 17420U - 1

NO. 1 / 17420U - 1

NO. 1 / 17420U - 1

NO. 1 / 17420U - 1

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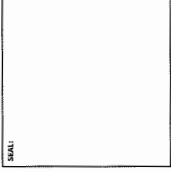
NO. 1 / 17420U - 1

NO. 1 / 17420U - 1

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REVISION:	
NO.	DESCRIPTION:

ISSUE:	
DATE:	DESCRIPTION:
21.12.2027	DP SUBMISSION
06.04.2028	FINAL DP RESUBMISSION
2.05.2028	DP RESUBMISSION
06.06.2028	REBID FOR DP
24.09.2028	REBID FOR DP



CICCOZZI

ARCHITECTURE

200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3Y3
TEL: (604) 687-4741

PROJECT:	
RESIDENTIAL DEVELOPMENT	
4008 STOLBERG STREET RICHMOND, BC	

DRAWN:	CHKD BY:
ENV	RC
SCALE:	PROJECT NO.:
N.T.S.	564

SHEET TITLE:	
DESIGN RATIONAL	

REVISION NO.:	SHEET NO.:
-	A0.01

DESIGN RATIONALE

The Stolberg project site is located on the 4000 block of Stolberg Street south of Cambie Road Road, in the Alexandra neighborhood of West Cambie. The site is bounded by Stolberg Street to the west, Cambie Road to the north, Adjacent site to the east, and McKim Way to the south. The area is primarily a residential neighborhood. To the West and southwest of the site are existing 4-story multi-family residential buildings to the north, are existing 2-story townhomes complex, to the east, a new 4-story multi-family residential site nearing completion.

The project site proposes two 4-story residential buildings over a single-level parkade. Externally, the buildings are sited to create a strong urban edge along the perimeter with higher massing to hold the corners and breaks in the north-south frontages at the mid-block location. Internally, the site opens up to a formal landscaped courtyard with outdoor amenities such as walking paths, edible landscape, children's play area and dog park. The ground level is raised above the podium level will have direct access from their suite to either the fronting street, internal courtyard or living/greenway.

The building indoor amenity, which has a more active area includes a Tall room, Yoga room, Gym and craft room is located within the southern building. And a passive area includes community lounge, party room and kitchen is located within the northern building footprint, both feature direct access from Stolberg Street and to the central courtyard. Locating the amenity in the mass of the building created a larger, uninterrupted central courtyard with greater programming opportunities.

Architecturally, the contemporary east coast brownstone style fits well in the context created by the existing buildings. The buildings are articulated to read as a series of smaller facades by stepping back the building face in some areas and increasing the roof height in others. Breaks between the two buildings provide relief to the street wall and provide a visual connection to the inner landscaped courtyard. Lobbies are centrally and prominently located on Stolberg Street and create a focal point for each building.

Extensive use of masonry on the buildings is a feature of the east coast style and is in keeping with other developments in the area. The top floor is detailed with board and batten siding as a consistent material on all elevations. Punctured window openings with detailed fenestration are highlighted with decorative metal railing and concrete lintels and sills. Roof overhangs are detailed with dentils and corner brackets to add character and identity. Loggias are over height volumes, characterized by brick clad entry columns, custom lighting fixtures and glass and steel entry canopies.

The landscape design for the development provides for an inviting, formal, lush landscaped residential project. It attracts residents, neighbors, and visitors through a friendly street frontage with lush stepping stone planters, and residential patios. Well-defined pathways lead to the generous internal courtyard and amenity green which is defined into a series of outdoor rooms. These outdoor rooms provide the residents and visitors with a multitude of outdoor active and passive recreational opportunities. Trees and formal planting divide the space into open multifunctional lawns, a central gathering space with linear water feature, lawn bowling area, natural play area with climbing wall, urban agriculture with communal herb gardens, and a patio with BBQ off the amenity building. The open and formal courtyard space with low plantings and formally organized walkways have open views throughout the space which is inviting and allows for easy way finding. All season interest in the planting palette and the native and adaptive plant species, as well as quality hardscape materials will ensure the landscape can be enjoyed all year round for years to come.

DEVELOPMENT PERMIT CRITERIA

MULTI-FAMILY DEVELOPMENTS

Protestion-Oriented Streetscapes

- The building siting orients the main facade parallel to the street, creating a desired residential street wall.
- The streetscapes have been designed to animate the street, with the stepped planters and exterior staircases up to the main floor, to provide high level of pedestrian interest along the street edges.
- Windows and doors are oriented toward the street, to animate the building facade, and provide a "human-scale" to the project and added security for the neighborhood.
- The two building entrances from the adjacent streets and are directly accessible from the public sidewalks, indoor walking areas are provided along with outdoor weather protection with an identifiable entrance canopy design.

Building Massing, Scale and Form

- The development includes a variety of unit types and sizes, providing social diversity and opportunities for architectural interest
- The residential character is designed to be unique while at the same time being compatible in the neighborhood.
- The building mass is articulated through the use of projections, recesses, solids and voids, varying roof heights and attention to architectural detailing and decorative elements at the roof line.
- The building facade "breaks" along the east and west facades, providing views into the interior garden court from street level.
- Exterior cladding materials include brick, horizontal and vertical hard-siding, and metal detailing at framed openings, cornice and soffit detailing. The materials are architecturally detailed and placed within the facades to provide visual interest and identity in the various elevations.
- The elevations have been articulated to break the massing with smaller elements designed as vertical components to express a rhythm and interest in the buildings' overall length.

Facade Articulation

- Balconies and decks are designed as integral parts of the building massing and facade composition, maintaining "hard corners" and continuity of the building face with framed openings, rather than open recesses.
- "Punctured" windows in brick veneer are dominant on the lower portions of the building, reducing apparent building mass and height.
- Upper level windows are aligned, extending vertical articulation to the building facade in a well ordered and simple configuration.

Public and Private Views

"Maintain views wherever possible, public off-site views as well as private on-site views"

- The buildings were sited to maximize views both off-site. Immediate views toward existing parks to the north and south, and east along a new pedestrian greenway. New formal views were created to maximize views from the podium level between the two buildings, creating a sense of place and identity and a landmark in the cityscape.
- Views from existing developments were protected with the design of this low-rise development and shadow impacts on on-site open space are minimized with the generous setbacks between the two buildings, providing light and views onto the site and the large open internal courtyard. The site perimeter is adjacent to city streets on 3 sides, and a pedestrian walkway on the 4th, minimizing shadow impact on any neighbouring properties.
- Views are preserved through view corridors with the setback of the building face along the public greenway, enhancing the public open spaces.
- Opportunities are created for views of adjacent parks, gardens, and landscaped areas for residents.
- Siting of the buildings with the wide openings through to internal the landscape provides shared views between developments, providing opportunities for views through and past the site.
- The thoughtful design of the development itself adds value to the existing neighbourhood and creates a good view for other developments.
- The landscaped podium has been designed to provide a variety of activities, both active and passive and provides opportunities to take advantage of internal and exterior views and sun.

Public Realm and Pedestrian Amenity

- "Create a high-quality, vibrant and pedestrian friendly public realm."
- Sunlight Penetration: The height, massing, and siting of the development allows for adequate sunlight penetration to both the adjacent streets and private open space with adequate setbacks, and breaks (approximately 4:1) between the two buildings, and the open internal courtyard area.
- Weather Protection - Rain and Sun Protection: Weather protection is provided with an entry canopy at the common lobby/entry feature, fronting the public sidewalk. The entry design also provides good daylighting into the lobby area with the double height proportion with upper level glazing.
- Wind Protection: The outdoor amenity area is located within the building courtyard, providing areas of wind protection to enhance enjoyment of the outdoors, and to extend the seasonal duration of outdoor activities.

Site Landscaping

"...Enhancing the image of the City of Richmond as the Garden City..."

- Although there were not any eligible trees for preservation on this site, the project includes an abundant landscape design with new landscaping at the perimeter and a fully landscaped podium level.
- The landscape design defines the public space with new boulevard trees that also provide shade as needed.
- The internal courtyard design provides planted areas and minimizes impervious surfaces areas.
- The selected plantings include species that will attract birds, enhancing biodiversity and creating soundscapes.
- Drought resistant plant material is used in order to reduce long-term maintenance requirements and water (reduce irrigation) while still providing for seasonal color, texture and variety.
- A selection of trees chosen to provide shade, reduce wind, and reduce noise or other impacts on the site have been chosen to provide a more sustainable and suitable for all seasons.
- Trees have been "clustered" or aligned to create "outdoor rooms" or define smaller, more intimate areas for people to gather in.
- Trees are placed to frame building elevations and to add visual interest, with low planting material along edges to soften building elevations, maintain a pedestrian scale and provide definition to public walkways and open spaces.
- Public seating is provided where walkways intersect public streets.
- Deciduous trees are provided on the south elevation to reduce summer building heat loads and maximize winter building heat gain.
- Surface Treatment: A variety of colour and textures has been proposed for patios, walkways and open areas.

Public Art

"Promote and facilitate the integration of public art... that expresses the lives of artists and the community..."

- A contribution will be made as required to Richmond's Public Art Reserve.
- "... Provide safe and efficient circulation for vehicles without compromising the pedestrian environment..."
- The parkade entrance is located on a local street, midway between the intersections to the north and south, directly opposite the access point to property to the west, to maximize safety in the pedestrian realm.
- Garbage and recycling collection is located on site, adjacent to the parkade entry. The area is designed for the vehicle to exit the site in a forward motion, minimizing interface with pedestrian traffic and public vehicular access.

Accessibility (Universal Design Principles): Site Accessibility/Circulation

"... ensure that the design of a development enables all people, including people with disabilities, to have full and unrestricted access to every part of a project"

- The main entry lobbies to both buildings are accessible directly from the pedestrian sidewalk along the fronting streets.
- All parking spaces allocated for people with disabilities are located in the parkade, close to the elevator lobbies of each building.
- Accessible access to the outdoor amenity space is provided through both buildings through the upper level lobbies.
- The garden courtyard area is fully accessible with walkways accessing all outdoor amenity areas.

4008 STOLBERG STREET - A MULTI-FAMILY RESIDENTIAL DEVELOPMENT PROPOSAL

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Facade Articulation

- Balconies and decks are designed as integral parts of the building massing and facade composition, maintaining "hard corners" and continuity of the building face with framed openings, rather than open recesses.
- "Punctured" windows in brick veneer are dominant on the lower portions of the building, reducing apparent building mass and height.
- Upper level windows are aligned, extending vertical articulation to the building facade in a well ordered and simple configuration.

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REVISION:	
NO.	DESCRIPTION:

ISSUE:	
DATE	DESCRIPTION:
22.12.2017	DP SUBMISSION
06.04.2018	PARTIAL DP RE-SUBMISSION
13.09.2018	DP RESUBMISSION
06.06.2018	RE-SUBMITTED FOR DP
28.09.2018	RE-SUBMITTED FOR DP



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ARCHITECTURE
200 - 2339 COLUMBIA STREET
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CANADA V5T 3Y3
TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
4008E-4018 STOLBERG ST
RICHMOND, BC

OWNER:	CLIENT:	PROJECT NO.:

SCALE:	PROJECT NO.:
1:1000	564

SHEET TITLE:
MATERIAL BOARD

REVISION NO.:	SHEET NO.:
-	A0.2

BUILDING CHARACTER



PAINTED WOOD TRIM
BENJAMIN MOORE
HC-167 ANTHEAST GREY



G

ALUMINIUM RAILINGS
PRE-FINISHED ALUMINIUM
BLACK



H

ALUMINIUM WINDOWS & CURTAINWALL STOREFRONT
AKZO NOBEL - INTERPON
IRON MOUNTAIN GREY BL257-03000 / 61007-0101



J

BRICK CLADDING
MUTUAL MATERIALS
INCA MISSION



D

CAST IN PLACE CONCRETE
UNPAINTED SMOOTH FINISH



E

PRECAST CONCRETE
UNPAINTED SMOOTH FINISH



F

HARDIE HORIZONTAL SIDING
BENJAMIN MOORE
HC-166 YENDALL CHARCOAL



A

HARDIE HORIZONTAL SIDING
BENJAMIN MOORE
OC-19 'SEAPEARL'



B

HARDIE PANEL SIDING W/ WOOD BATTENS
BENJAMIN MOORE
OC-19 'SEAPEARL' / HC-75 'MARTYVILLE BROWN'



C

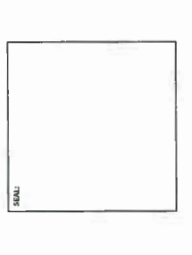


DP 17-17420-3

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REVISION:	DATE:	DESCRIPTION:

ISSUE:	DATE:	DESCRIPTION:
01.01.2017	DP SUBMISSION	
01.02.2018	PARTIAL DP RESUBMISSION	
01.03.2018	DP RESUBMISSION	
01.04.2018	RE-BUILD FOR DP	
01.05.2018	RE-BUILD FOR DP	
01.06.2018	RE-BUILD FOR DP	

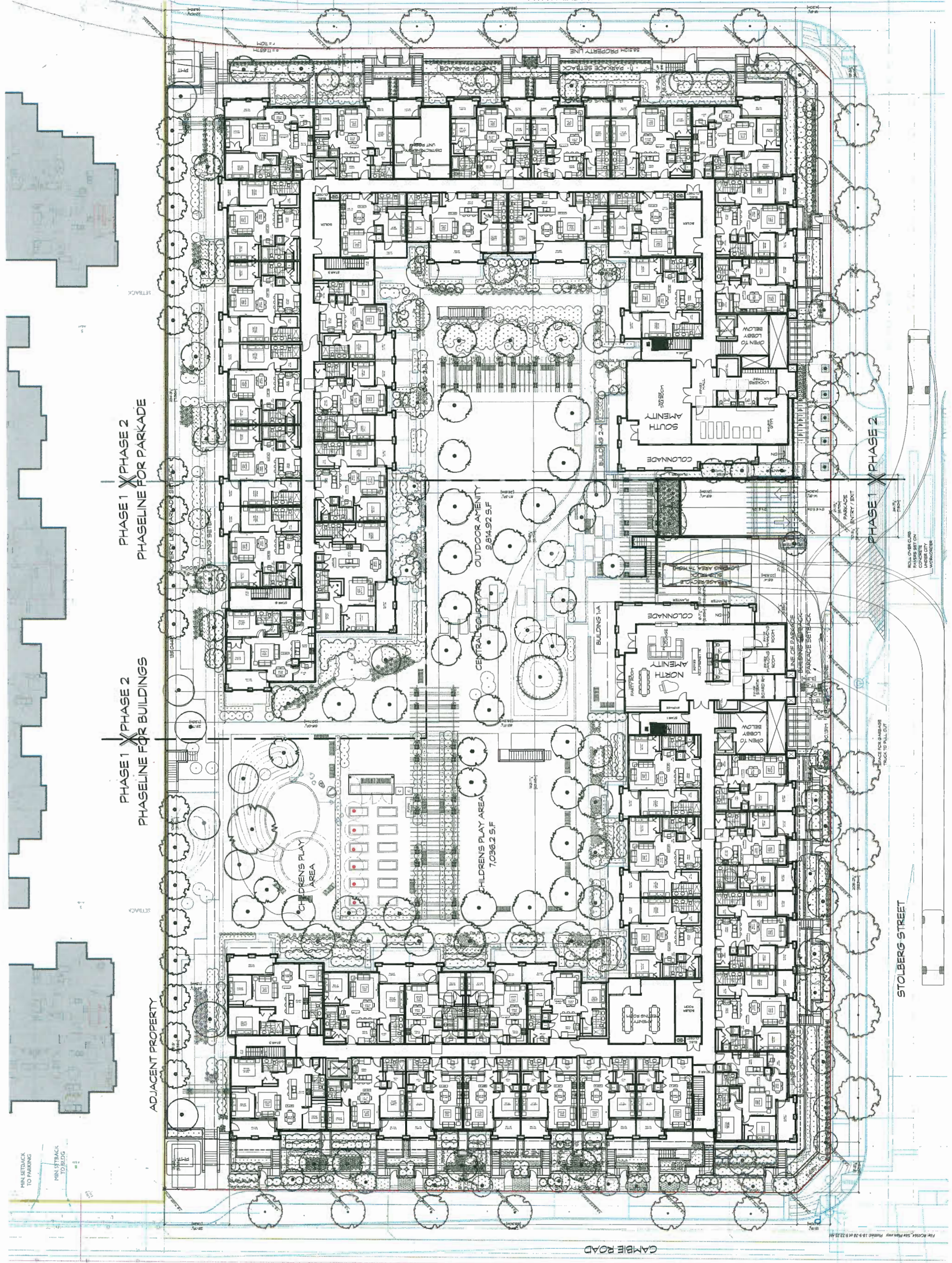


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CANADA V5Y 3Y3
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PROJECT:
RESIDENTIAL DEVELOPMENT
40084015 STOLBERG ST
RICHMOND, BC

DRAWN:	KJV	CHECKED BY:	MC
SCALE:	1/8" = 1'-0"	PROJECT NO.:	564
SHEET TITLE:		SITE PLAN	

REVISION NO.:	-	SHEET NO.:	A1.0
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MIN. SETBACK TO PARKING
MIN. SETBACK TO BLDG

CAMBIE ROAD

STOLBERG STREET

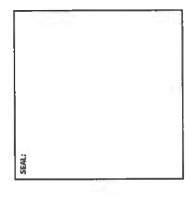
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OP 17-19420U-1

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NO.	DATE	DESCRIPTION

ISSUE:	DATE:	DESCRIPTION:



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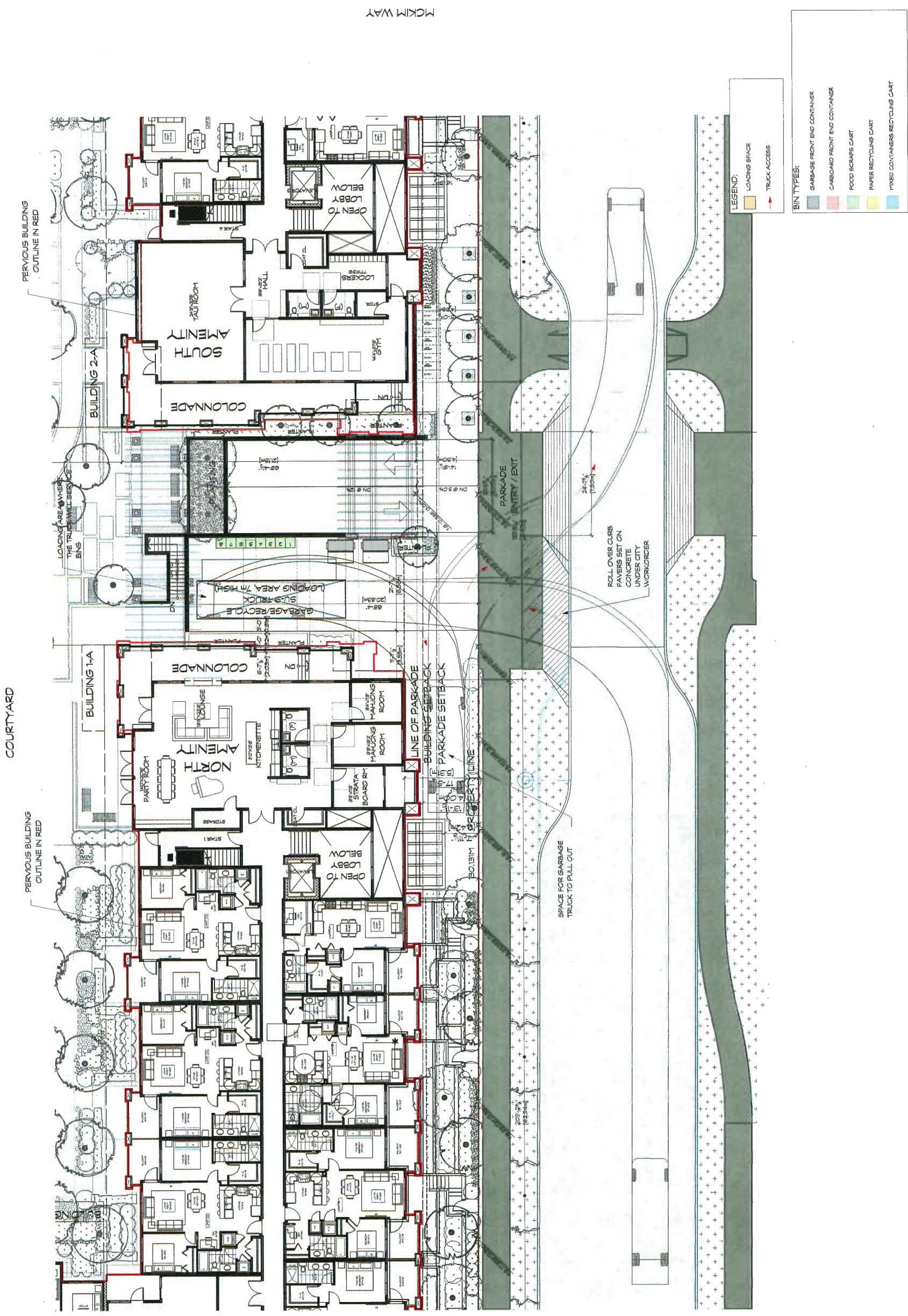
PROJECT:
RESIDENTIAL DEVELOPMENT
400884018 STOLBERG ST
RICHMOND, BC

DATE:	CHECKED BY:	RC

SCALE:	PROJECT NO.:
1/8" = 1'-0"	564

SHEET TITLE:
GARBAGE WASTE MANAGEMENT PLAN

REVISION NO.:	SHEET NO.:
-	A1.2

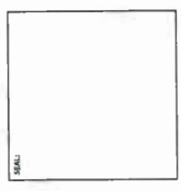


MCKIM WAY

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NO.	DESCRIPTION

ISSUE:	
DATE	DESCRIPTION
20.12.2017	DP SUBMISSION
01.04.2018	PARTIAL DP RE-SUBMISSION
12.07.2018	DP RE-SUBMISSION
01.03.2018	RE-SUBMITTED FOR DP
28.09.2018	RE-SUBMITTED FOR DP



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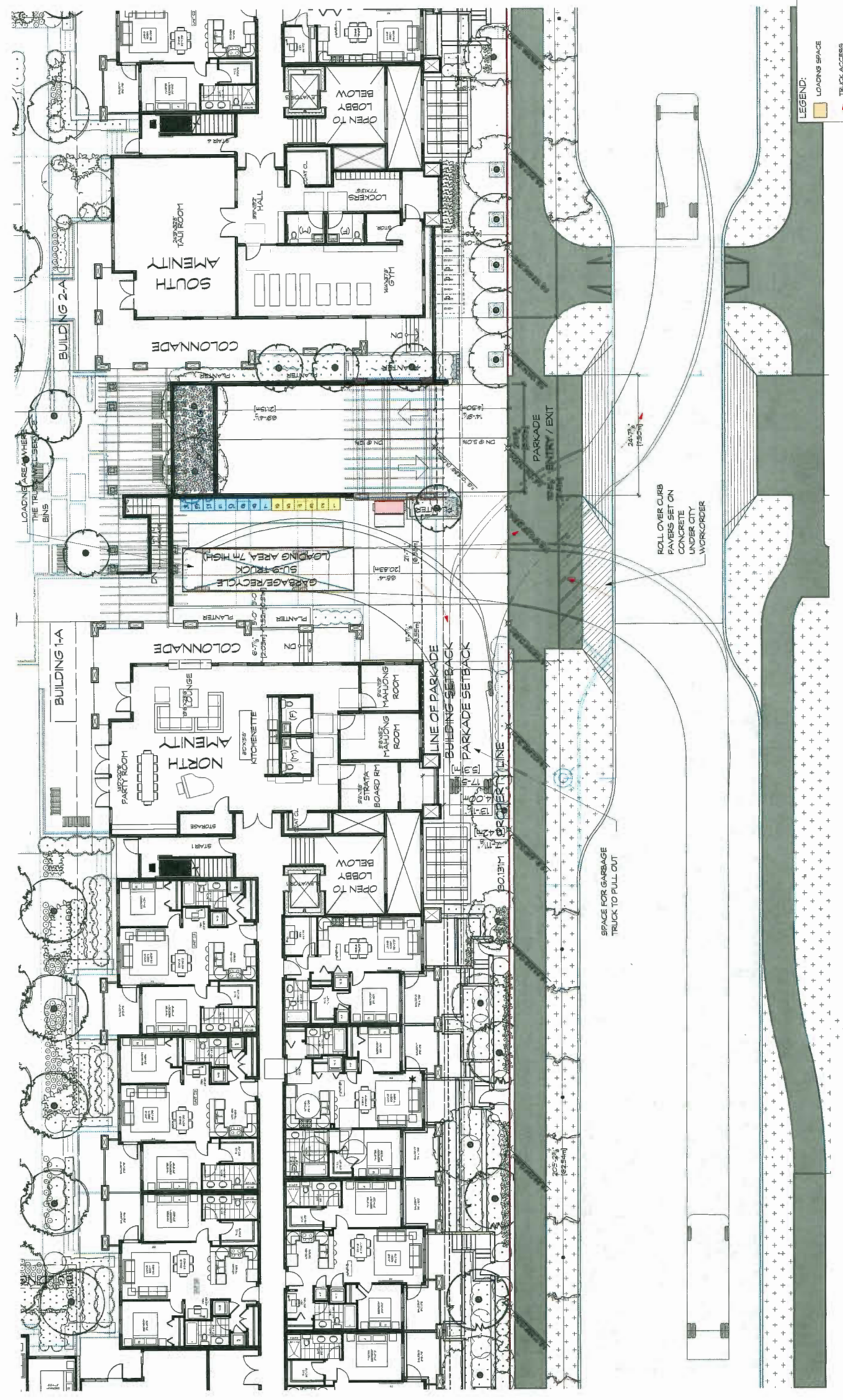
PROJECT: **RESIDENTIAL DEVELOPMENT**
40084018 STOLBERG ST
RICHMOND, BC

DATE: 1/8/17	PROJECT NO.: 564
CLIENT: KVV	ARCHITECT: IC

SHEET TITLE: **RECYCLING WASTE MANAGEMENT PLAN**

SHEET NO.: -	SHEET TITLE: A1.3
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COURTYARD



LEGEND:

- LOADING SPACE
- TRUCK ACCESS

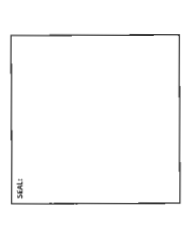
BIN TYPES:

- GARBAGE FRONT END CONTAINER
- CARDBOARD FRONT END CONTAINER
- FOOD SCRAPS CART
- PAPER RECYCLING CART
- MIXED CONTAINERS RECYCLING CART

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NO.	DATE	DESCRIPTION

ISSUE:	DATE:	DESCRIPTION:
1	12.07.2018	CP SUBMISSION
2	05.08.2018	CP REVISION
3	26.03.2018	RE ISSUED FOR CP
4	26.03.2018	RE ISSUED FOR CP



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RESIDENTIAL DEVELOPMENT
400664018 STOLBERG ST
RICHMOND, BC

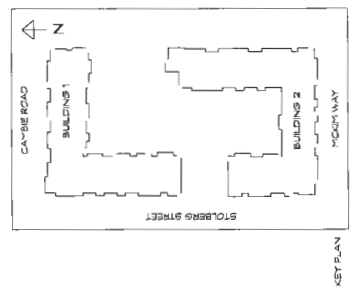
PROJECT:	RESIDENTIAL DEVELOPMENT
DATE:	3/5/18
SCALE:	3/5/18
SHEET TITLE:	BUILDING 1 2ND LEVEL PLAN

REVISION NO.:	-
SHEET NO.:	A2.1

MEASURES PROVIDED FOR RICHMOND BASIC UNIVERSAL HOUSING UNITS (AS NOTED):

- ROUGH WIRING WILL BE PROVIDED AT SUITE ENTRY DOOR TO PROVIDE FOR FUTURE INSTALLATION OF AN AUTOMATIC DOOR OPENER.
- DOORS IN SUITE (AT LEAST ONE BEDROOM, ONE ACCESSIBLE BATHROOM, AND LIVING AREA) SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 800 MM (31").
- DOOR CLEARANCES SHALL BE PROVIDED AT ONE BEDROOM AND ONE BATHROOM.
- DOOR CLEARANCES SHALL BE PROVIDED AT ONE BEDROOM AND ONE BATHROOM.
- FLOOR SURFACES WITHIN SUITE (AND THROUGH BUILDING INTERIOR) SHALL HAVE NO ABRUPT CHANGE IN LEVEL AND FLUSH THRESHOLDS (MAX. 18MM HEIGHT). DOORS TO BALCONIES, PATIOS, DECKS ARE EXEMPT FROM THIS REQUIREMENT.
- MINIMUM ONE ACCESSIBLE WINDOW IN BOTH ONE BEDROOM AND LIVING AREA.
- ACCESSIBLE WINDOW SHALL HAVE A STILL HEIGHT NOT EXCEEDING 750 MM (30") AND SHALL BE OPERATED WITH ONE HAND WITHOUT THE USE OF TOOLS OR DEVICES.
- ELECTRICAL MOUNTING HEIGHTS SHALL CONFORM TO THE FOLLOWING (ALL NOTED ABOVE FINISHER FLOOR LEVEL):
 - LIGHT SWITCHES
 - ELECTRICAL PANELS: 900 MM TO 1200 MM
 - INTERCOMS: 1375 MM - ELECTRICAL & CABLE OUTLETS: PHONE JACKS: 485 MM TO 1200 MM
 - RECEPTACLES: 800 MM TO 1200 MM
- ALL CONTROLS REQUIRE 760 MM (30") CLEAR FLOOR AREA
- LIGHT SWITCHES TO BE ROCKER OR PADDLE STYLE
- AT LEAST ONE BATHROOM SHALL HAVE:
 - TOILET WITH CLEARANCES 400 MM TO 460 MM FROM SIDE WALL ON WHICH A FUTURE BARRIER OR RAILING CAN BE INSTALLED TO ANY OBSTRUCTION ON THE OPPOSITE SIDE AND 400 MM CLEARANCE IN FRONT.
 - A CLEAR FLOOR AREA AT ONE END OF 760 MM X 1200 MM, CENTERED AND POSITIONED FOR A PARALLEL APPROACH
 - A MINIMUM CLEAR AREA OF 510 MM ALONG FULL LENGTH OF BATHTUB
 - EASY TO GRASP (ES LEVER STYLE) FAUCETS
- THE KITCHEN SHALL HAVE ACCESSIBLE COUNTERS AND CLEARANCES SPACE THAT CAN EASILY BE ACCESSED BY PEOPLE WITH DISABILITIES (SS CONTINUOUS COUNTER BETWEEN SINK AND STOVE, ADJUSTABLE SHELVES, ETC.)
- EASY TO GRASP (ES, J OR D STYLE) HANDLES ON CUPBOARDS
- TASK LIGHTING AT SINK, STOVE AND COUNTERS
- TURNABLE COUNTERS AT SINK AND STOVE TO PROVIDE 800 MM UNDER COUNTERS CLEARANCE AT SINK TO ALLOW ACCESSIBLE KNEE SPACE FOR FUTURE CONVERSION OF SINK.
- AT LEAST ONE BEDROOM SHALL PROVIDE A TURNING DIAMETER OF 1500 MM ON ONE SIDE OF A DOUBLE BED AND A CLOSET WHICH HAS A CLEAR OPENING OF 800 MM (BE). CLEAR FLOOR SPACE OF 750 MM X 1200 MM AND A CLOTHES HANGER THAT CAN BE USED BY PEOPLE WITH DISABILITIES
- THE BALCONY OR PATIO SHALL HAVE A MINIMUM DIMENSION OF 1500 MM X 1800 MM AND BE ACCESSED BY A DOOR WITH A MINIMUM CLEAR OPENING OF 800 MM.

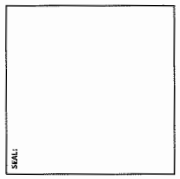
- AGING IN PLACE FEATURES (APPLIES TO ALL UNITS) INCLUDE:**
1. SOLID BLOCKING IN BATHROOMS FOR FUTURE GRAB BAR INSTALLATION
 2. LEVER HANDLES ON SUITE DOOR HARDWARE
 3. 34" CLEAR OPENING TO SUITE ENTRY DOORS



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REVISIONS:	
NO.	DATE / DESCRIPTION

ISSUE:	
DATE	DESCRIPTION
20.03.2018	DP SUB-MISSON
08.09.2018	DP REV-B-MISSON
20.09.2018	RE-DESIGNED FOR DP
20.09.2018	RE-DESIGNED FOR DP



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TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
400864018 STOLBERG ST
RICHMOND, BC

DRAWN:	CHKD BY:
CVV	RC
SCALE:	PROJECT NO.:
3/32" = 1'-0"	564
SHEET TITLE:	
BUILDING 1 4TH LEVEL PLAN	

REVISION NO.:	SHEET NO.:
-	A2.3

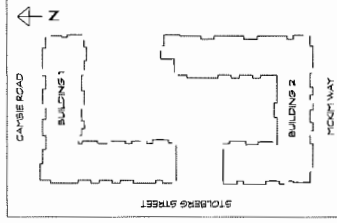


MEASURES PROVIDED FOR RICHMOND BASIC UNIVERSAL HOUSING UNITS (AS NOTED):

- ROUGH WIRING WILL BE PROVIDED AT SUITE ENTRY DOOR TO PROVIDE FOR FUTURE INSTALLATION OF AN AUTOMATIC DOOR OPENER.
- ALL COACHES, REFRIGERATORS, AND ACCESSIBLE BATHROOM AND LIVING AREA SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 800 MM (31.5").
- DOOR CLEARANCES SHALL BE PROVIDED AT ONE BEDROOM AND ONE BATHROOM FOR ALL LH UNITS CONTAINING 2 OR MORE BEDROOMS.
- FLOOR SURFACES WITHIN SUITE (AND THROUGH BUILDING INTERIOR) SHALL HAVE NO CURBS OR THRESHOLDS (WITHIN SUITE) OR CURBS OR THRESHOLDS (OUTSIDE) DOORS TO BALCONY. WATER LEAKS ARE EXCEPT FROM THE REGULARLY MAINTAINED DOORS TO BALCONY.
- MINIMUM ONE ACCESSIBLE WINDOW IN BOTH ONE BEDROOM AND LIVING AREA.
- ACCESSIBLE WINDOW SHALL HAVE A STILL HEIGHT NOT EXCEEDING 200 MM (8.0") AND PROVIDE A OPENING MECHANISM THAT CAN BE OPERATED WITH ONE HAND WITHOUT TIGHT GRASPING, PULLING OR TWISTING.
- ALL ELECTRICAL UNITS SHALL CONFORM TO THE FOLLOWING (ALL NOTED ABOVE FINISHED FLOOR LEVEL):
 - LIGHT SWITCHES
 - INTERCOMS, LETS, ELECTRICAL & CABLE OUTLETS, PHONE JACKS: 455 MM TO 1200 MM
 - THERMOSTATS: 800 MM TO 1200 MM
 - ALL COACHES, REFRIGERATORS, AND BIKES STORAGE AREA
 - LIGHT SWITCHES TO BE ROCKER OR PADLE STYLE
 - AT LEAST ONE BATHROOM SHALL HAVE:
 - TOILET WITH CLEARANCES 420 MM TO 450 MM FROM SIDE WALL ON WHICH A FUTURE GRAB BAR CAN BE INSTALLED; 80 MM CLEARANCE TO ANY OBSTRUCTION ON THE OPPOSITE SIDE; AND 80 MM CLEARANCE IN FRONT;
 - SINK OF 165 MM TO 1220 MM, CENTERED AND POSITIONED FOR A PARALLEL APPROACH
 - A MINIMUM CLEAR AREA OF 80 MM ALONG FULL LENGTH OF BATH-TUB
 - EASY TO GRASP (EG LEVER STYLE) FAUCETS
 - THE KITCHEN SHALL PROVIDE:
 - CLEARANCE AT SUITE ENTRY DOOR AND COORIDOR SPACE THAT CAN EASILY BE ACCESSED BY PEOPLE WITH MOBILITY CHALLENGES (EG CONTRASTS COUNTER BETWEEN SINK AND STOVE, ADJUSTABLE SHELVES, ETC)
 - EASY TO GRASP (EG LEVER STYLE) FAUCETS
 - EASY TO GRASP (EG J OR D STYLE) HANDLES ON CUPBOARDS
 - TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS
 - TURNABLE COUNTERS WITH MINIMUM CLEARANCE TO THE FRONT OF COUNTERS
 - CLEARANCE AT SINK TO ALLOW ACCESSIBLE KNEE SPACE FOR FUTURE CONVERSION OF SINK.
 - AT LEAST ONE BEDROOM SHALL PROVIDE A TURNING DIAMETER OF 900 MM ON ONE SIDE OF A DOUBLE BED AND A CLOSET WHICH HAS A CLEAR OPENING OF 900 MM (883) CLEAR FLOOR SPACE OF 900 MM X 1200 MM AND A CLOTHES HANGER THAT CAN BE USED FROM THE PATIO.
 - THE BALCONY OR PATIO SHALL HAVE A MINIMUM DIMENSION OF 3000 MM X 1500 MM AND BE ACCESSED BY A DOOR WITH A MINIMUM CLEAR OPENING OF 800 MM.

AGING IN PLACE FEATURES (APPLIES TO ALL UNITS) INCLUDE:

- SOLID BLOCKING IN BATHROOMS FOR FUTURE GRAB BAR INSTALLATION
- LEVER HANDLES ON SUITE DOOR-HANDWARE
- 3/4" CLEAR OPENING TO SUITE ENTRY DOORS

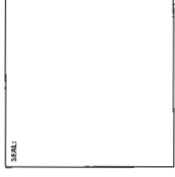


DP 17-794280-11

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REVISION:	
NO.	DESCRIPTION

ISSUE:	
DATE	DESCRIPTION
13.11.17	DP SUB-MISSION
27.12.17	DP REVISION
06.08.2018	RE-SSUED FOR DP
28.09.2018	RE-SSUED FOR DP



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ARCHITECTURE

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VANCOUVER, B.C.
CANADA V5V 3Y3
TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
400854018 STOLBERG ST
RICHMOND, BC

DRAWN: KJV
SCALE: 3/32" = 1/8"
SHEET TITLE:
**BUILDING 2
3RD LEVEL PLAN**

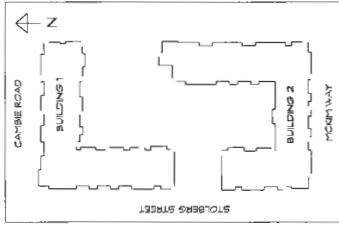
CHECKED BY: RC
PROJECT NO.: 564
SHEET NO.:
A2.6

MEASURES PROVIDED FOR RICHMOND BASIC UNIVERSAL HOUSING UNITS (AS NOTED):

- SLOSH WINDOWS WILL BE PROVIDED AT SUITE ENTRY DOOR TO PROVIDE FOR FUTURE INSTALLATION OF AN AUTOMATIC DOOR OPENER.
- DOORS IN SUITE (AT LEAST ONE BEDROOM, ONE ACCESSIBLE BATHROOM, AND LIVING AREA) SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 800 MM (31").
- DOOR CLEARANCES SHALL BE PROVIDED AT ONE BEDROOM AND ONE BATHROOM FOR ALL UNITS CONTAINING 2 OR MORE BEDROOMS.
- ALL SUITE ENTRY DOORS AND INTERIOR DOORS SHALL HAVE NO SWELT CHANGE IN LEVEL AND PLUS 14 THRESHOLDERS (MAX 18MM HEIGHT) DOORS TO BALCONIES PATIO DECKS ARE EXEMPT FROM THIS REQUIREMENT.
- MINIMUM ONE ACCESSIBLE WINDOW IN BOTH ONE BEDROOM AND LIVING AREA. ACCESSIBLE WINDOW SHALL HAVE A STILL HEIGHT NOT EXCEEDING 750 MM (30") AND PROVIDE A OPENING MECHANISM THAT CAN BE OPERATED WITH ONE HAND WITHOUT STRIKING, PUSHING OR PULLING.
- ELECTRICAL SWITCHES AND OUTLETS SHALL CONFORM TO THE FOLLOWINGS (ALL NOTED ABOVE FINISHED FLOOR LEVEL):
 - LIGHT SWITCHES - 1375 MM - ELECTRICAL & CABLE OUTLETS, PHONE JACKS, 655 MM TO 1200MM.
 - INTERCOMS, 890 MM TO 1390 MM.
 - ALL CONTROLS REQUIRE 1200 MM CLEAR FLOOR AREA.
 - AT LEAST ONE BATHROOM SHALL HAVE:
 - TOILET WITH CLEARANCES 420 MM TO 460 MM FROM SIDE WALL ON WHICH A FUTURE GRAB BAR CAN BE INSTALLED 510 MM CLEARANCE TO ANY OBSTRUCTION ON THE OPPOSITE SIDE AND 800 MM CLEARANCE IN FRONT.
 - TOILET SEAT OR BENCH OF 180 MM X 1200 MM, CENTERED AND POSITIONED FOR A PARALLEL APPROACH.
 - A MINIMUM CLEAR AREA OF 510 MM ALONG FULL LENGTH OF BATH-TUB.
 - EASY TO GRASP (E.G. LEVER STYLE) FAUCETS.
 - THE KITCHEN SHALL PROVIDE:
 - 50% USABLE COUNTER AND CUPBOARDS SPACE THAT CAN EASILY BE REACHED BY A PERSON USING A WALKER (E.G. CONTINUOUS COUNTER BETWEEN SINK AND STOVE, ADJUSTABLE SHELVES, ETC).
 - EASY TO GRASP (E.G. LEVER STYLE) FAUCETS.
 - EASY TO GRASP (E.G. J OR D STYLE) HANDLES ON CUPBOARDS.
 - TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS.
 - PLUMBING AND UTILITY PIPES PROVIDE 800 MM UNDER COUNTERS CLEARANCE AT SINK TO ALLOW ACCESSIBLE KITCHEN FOR FUTURE CONVERSION OF SINK.
 - AT LEAST ONE BEDROOM SHALL PROVIDE A TURNING DIAMETER OF 1800 MM ON ONE SIDE OF A DOUBLE BED AND A CLOSET WHICH HAS A CLEAR OPENING OF 800 MM BELOWED TO 1200 MM.
 - THE ACCENT OR HALL SHALL HAVE A MINIMUM CLEARANCE OF 1800MM X 1800 MM AND BE ACCESSIBLE BY A DOOR WITH A MINIMUM CLEAR OPENING OF 800 MM.

AGING IN PLACE FEATURES (APPLIES TO ALL UNITS) INCLUDE:

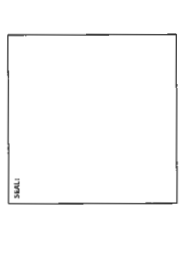
- SOLID BLOCKS IN BATHROOMS FOR 6. FIRE GRAB BAR INSTALLATION
- LEVEL HANDLES ON SUITE DOOR HARDWARE
- 3.5% CLEAR OPENING TO SUITE ENTRY DOORS



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NO.	DATE	DESCRIPTION

ISSUE:	DATE:	DESCRIPTION:



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TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
400854018 STOLBERG ST
RICHMOND, BC

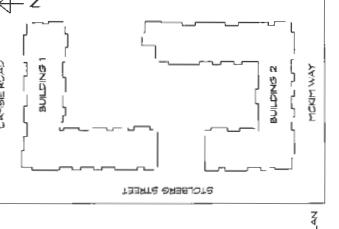
OWNER:	KIV	ORDERED BY:	RC
SCALE:	3/32" = 1'	PROJECT NO.:	B64
SHEET TITLE:	BUILDING 2 4TH LEVEL PLAN		

REVISION NO.:	-	SHEET NO.:	A2.7
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MEASURES PROVIDED FOR RICHMOND BASIC UNIVERSAL HOUSING UNITS (AS NOTED):

- ROLLOUTS WILL BE PROVIDED AT SUITE ENTRY DOOR TO PROVIDE FOR FUTURE INSTALLATION OF AN AUTOMATIC DOOR OPENER.
- DOORS IN SUITE (AT LEAST ONE BEDROOM, ONE ACCESSIBLE BATHROOM, AND LIVING AREA) SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 600 MM (24").
- DOOR CLEARANCES SHALL BE PROVIDED AT ONE BEDROOM AND ONE BATHROOM FOR ALL UNITS CONTAINING 2 OR MORE BEDROOMS.
- ALL SUITE ENTRY DOORS SHALL BE PROVIDED WITH A MINIMUM CLEARANCE OF 1800 MM (70") ABOVE THE FINISHED FLOOR LEVEL.
- SUITE ENTRY DOORS SHALL HAVE NO BALCONY PATIOS DECKS ARE EXCEPT FROM THIS REQUIREMENT.
- MINIMUM ONE ACCESSIBLE WINDOW IN BOTH ONE BEDROOM AND LIVING AREA ACCESSIBLE WINDOW SHALL HAVE A STILL HEIGHT NOT EXCEEDING 750 MM (30") PROVIDES A OPENING MECHANISM THAT CAN BE OPERATED WITH ONE HAND WITHOUT THE USE OF TOOLS.
- ELECTRICAL PANELS SHALL CONFORM TO THE FOLLOWINGS (ALL NOTED ABOVE FINISHED FLOOR LEVEL):
 - LIGHT SWITCHES AND ELECTRICAL PANELS 200 MM TO 1200 MM FROM FINISHED FLOOR.
 - INTERCOM'S 175 MM - ELECTRICAL & CABLE OUTLETS PHONE JACKS: 455 MM TO 1200MM.
 - ALL OUTLETS SHALL BE 200 MM TO 1200 MM.
 - ALL CONTROLS REQUIRE 750 MM (30") CLEAR FLOOR AREA.
 - LIGHT SWITCHES TO BE ROCKER OR PADLE STYLE.
 - AT LEAST ONE BATHROOM SHALL HAVE:
 - TOILET WITH CLEARANCES 420 MM TO 460 MM FROM SIDE WALL ON WHICH A FUTURE GRAB BAR CAN BE INSTALLED 500 MM CLEARANCE TO ANY OBSTRUCTION ON THE OPPOSITE SIDE OF THE TOILET.
 - AT LEAST ONE BATHROOM SHALL HAVE A MINIMUM CLEARANCE OF 750 MM (30") FROM THE TOILET TO THE BATHROOM DOOR.
 - A MINIMUM CLEAR AREA OF 510 MM ALONG FULL LENGTH OF BATH TUB.
 - EASY TO GRASP (ES LEVER STYLE) FAUCETS.
 - THE KITCHEN SHALL PROVIDE:
 - SOMEWHAT COUNTER AND CUPBOARDS BRACE THAT CAN EASILY BE REMOVED TO PROVIDE CLEARANCE FOR WHEELCHAIR ACCESS.
 - ACCESSIBLE COUNTERS (ES. CONTIGUOUS COUNTERS BETWEEN SINK AND STOVE ADJUSTABLE SHELVES ETC).
 - EASY TO GRASP (ES LEVER STYLE) FAUCETS ON CUPBOARDS.
 - EASY TO GRASP (ES J OR D STYLE) HANDLES ON CUPBOARDS.
 - TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS.
 - PLUMBING AND UTILITY PIPES PROVIDE 800MM UNDER COUNTERS CLEARANCE AT SINK TO ALLOW ACCESSIBLE KNEE SPACE FOR FUTURE CONNECTION OF SINK.
 - AT LEAST ONE BEDROOM SHALL PROVIDE A TURNING DIAMETER OF 1500 MM ON ONE SIDE OF A DOUBLE BED AND A CLOSET WHICH HAS A CLEAR OPENING OF 800 MM (31.5"). CLEAR FLOOR SPACE OF 750 MM X 1200 MM AND A CLOTHES HANGER THAT CAN BE LOWERED TO 1200 MM.
 - THE BATHROOM SHALL HAVE A MINIMUM CLEARANCE OF 1500MM X 1200 MM AND BE ACCESSIBLE BY A DOOR WITH A MINIMUM CLEAR OPENING OF 600 MM.

- AGING IN PLACE FEATURES (APPLIES TO ALL UNITS) INCLUDE:**
1. 500 BLOCOS IN BATHROOMS FOR BUBBLE GRAB BAR INSTALLATION
 2. LEVEL HANDLES ON SUITE DOOR - WARDWARE
 3. 33" CLEAR OPENING TO SUITE ENTRY DOORS



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NO.	DATE	DESCRIPTION

DATE	DESCRIPTION
23.12.2017	DP SUBMISSION
05.04.2018	PARTIAL DP RESUBMISSION
13.07.2018	DP RESUBMISSION
05.03.2018	RE-SUBMITTED FOR DP
28.09.2018	RE-SUBMITTED FOR DP



CICCOZZI
ARCHITECTURE

200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3Y3
TEL: (604) 687-4741

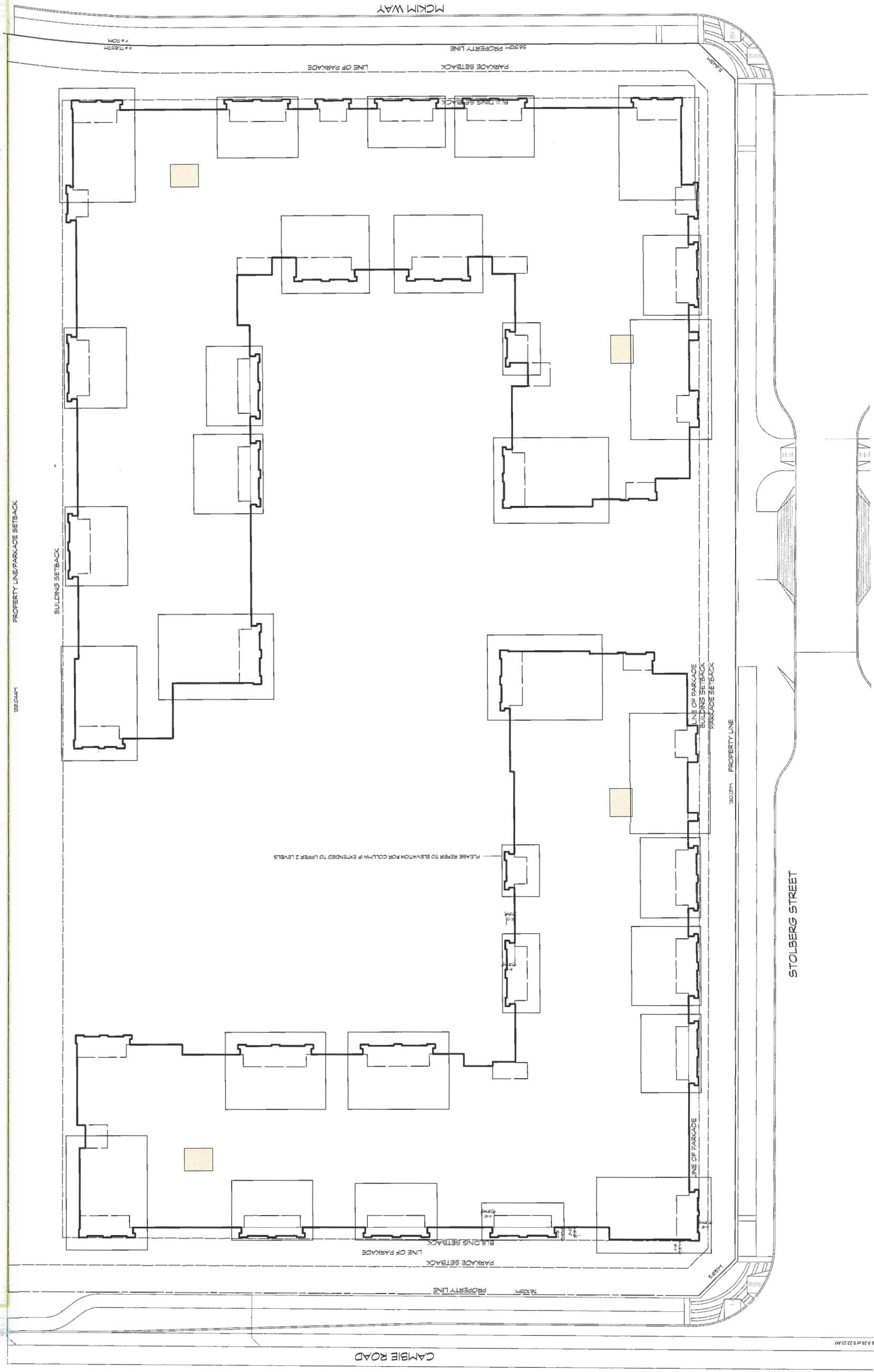
PROJECT:
RESIDENTIAL DEVELOPMENT
4008E4015 STOLBERG ST
RICHMOND, BC

DRAWN	KJV	CHECKED BY	RC

SCALE	PROJECT NO.
1/8" = 1'-0"	5654

SHEET TITLE
ROOF PLAN

EXTENSION NO.	SHEET NO.
-	A2.8

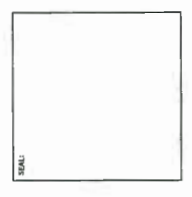


DP 17-794-100-1

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NO.	DATE	DESCRIPTION

ISSUE:	DATE:	DESCRIPTION:



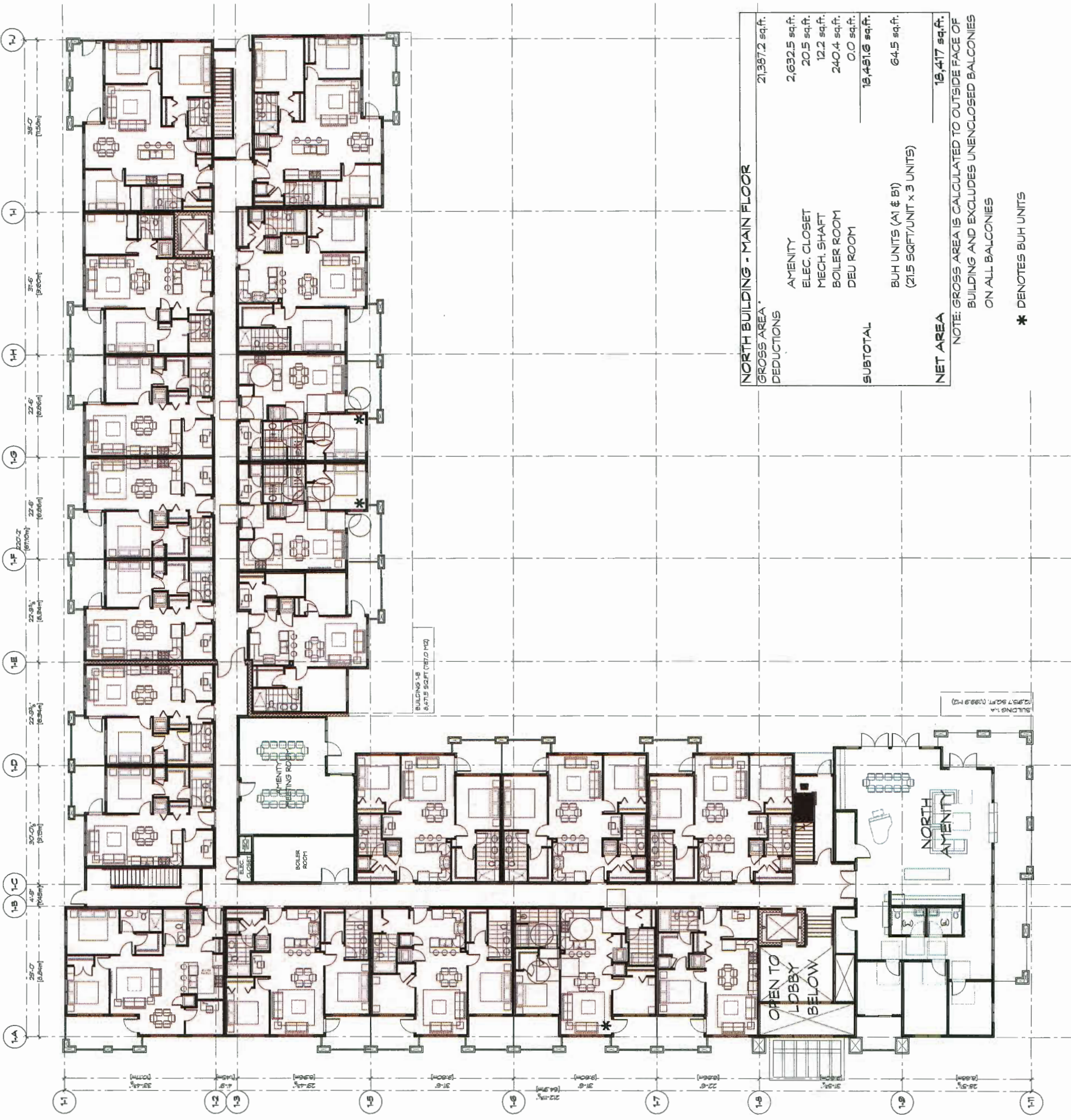
CICOZZI
ARCHITECTURE

200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3Y3
TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
40086408 STOLBERG ST
RICHMOND, BC

DESIGNED BY:	BC
PROJECT NO.:	ESGA
SCALE:	3/32" = 1'
SHEET TITLE:	AREA OVERLAY BUILDING 1 MAIN LEVEL

REVISION NO.:	-
SHEET NO.:	A2.9

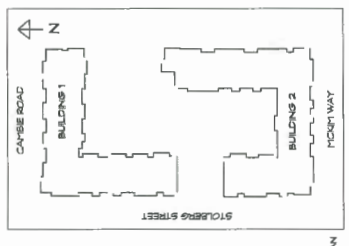


NORTH BUILDING - MAIN FLOOR	
GROSS AREA	21,387.2 sq.ft.
DEDUCTIONS	
AMENITY	2,632.5 sq.ft.
ELEC. CLOSET	20.5 sq.ft.
MECH. SHAFT	12.2 sq.ft.
BOILER ROOM	240.4 sq.ft.
DEU ROOM	0.0 sq.ft.
SUBTOTAL	18,451.6 sq.ft.
BUH UNITS (A1 & B1)	64.5 sq.ft.
(21.5 SQFT/UNIT x 3 UNITS)	
NET AREA	18,417 sq.ft.

NOTE: GROSS AREA IS CALCULATED TO OUTSIDE FACE OF BUILDING AND EXCLUDES UNENCLOSED BALCONIES ON ALL BALCONIES

* DENOTES BUH UNITS

COLOUR LEGEND:
■ BUILDING AREA
■ EXCLUSIONS



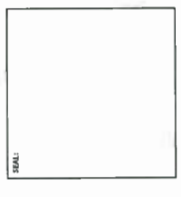
REF PLAN

00 17-79/280-17

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NO.	DATE	DESCRIPTION

DATE	DESCRIPTION
21.12.2017	DP SUB-MISSION
21.12.2017	DP SUB-MISSION
06.04.2018	PARTIAL DP RE-SUB-MISSION
12.07.2018	DP RE-SUB-MISSION
06.08.2018	RE-SUBMITTED FOR DP
26.09.2018	RE-SUBMITTED FOR DP

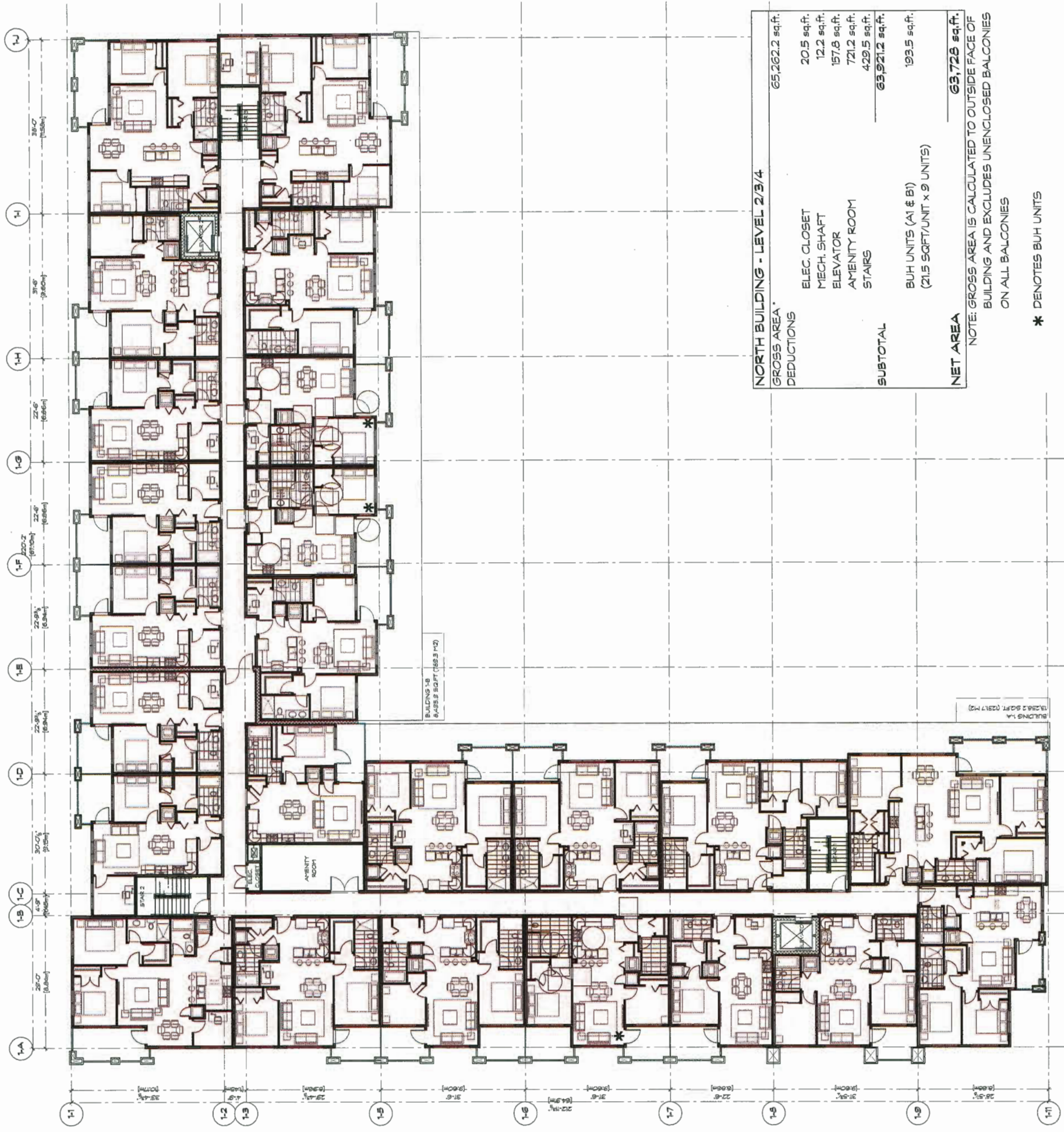


CICCOZZI
ARCHITECTURE
200 - 2335 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3Y3
TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
4008&4015 STOLBERG ST
RICHMOND, BC

DESIGNED BY:	RC
CHECKED BY:	RC
SCALE:	3/32" = 1'0"
PROJECT NO.:	564
SHEET TITLE:	AREA OVERLAY BUILDING 1 LEVEL 2ND/3RD/4TH

SHEET NO.:	-
SHEET SIZE:	A2.10



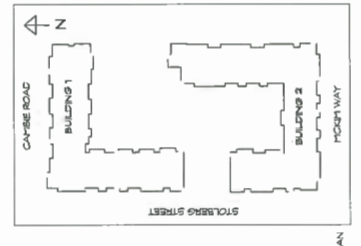
NORTH BUILDING - LEVEL 2/3/4	
GROSS AREA	65,262.2 sq.ft.
DEDUCTIONS	
ELEC. CLOSET	20.5 sq.ft.
MECH. SHAFT	12.2 sq.ft.
ELEVATOR	157.8 sq.ft.
AMENITY ROOM	721.2 sq.ft.
STAIRS	429.5 sq.ft.
SUBTOTAL	63,921.2 sq.ft.
BUH UNITS (A1 & B1) (21.5 SQFT/UNIT x 9 UNITS)	193.5 sq.ft.
NET AREA	63,728 sq.ft.

NOTE: GROSS AREA IS CALCULATED TO OUTSIDE FACE OF BUILDING AND EXCLUDES UNENCLOSED BALCONIES ON ALL BALCONIES

* DENOTES BUH UNITS

COLOUR LEGEND:

[Red Box]	BUILDING AREA
[Green Box]	EXCLUSIONS

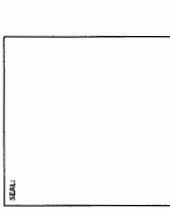


KEY PLAN

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NO.	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION



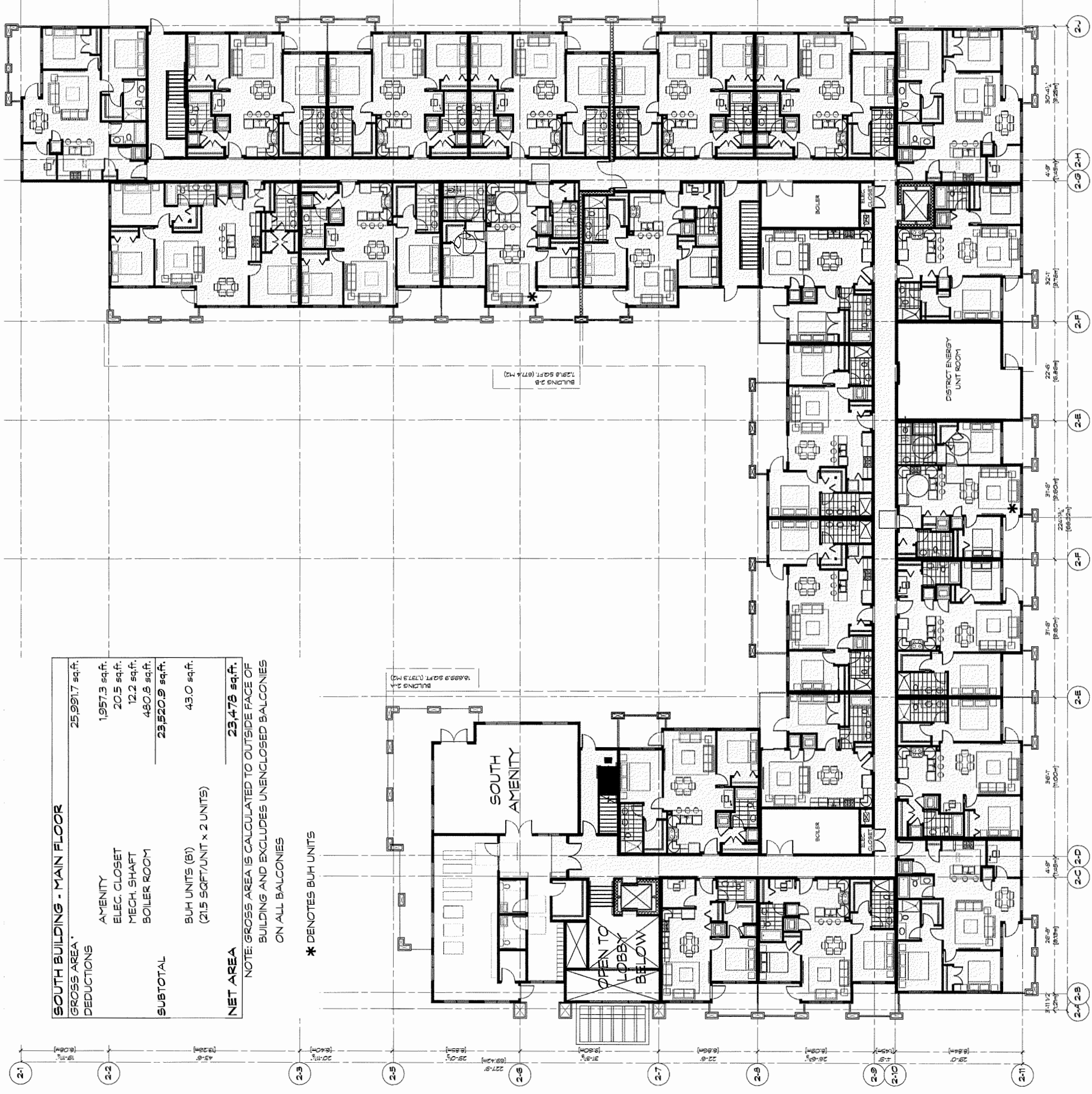
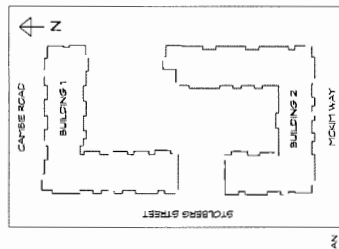
CICCOZZI
ARCHITECTURE
200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3Y3
TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
400864018 STOLBERG ST
RICHMOND, BC

NAME:	KVY	CHECKED BY:	RC
SCALE:	3/32" = 1'-0"	PROJECT NO.:	564
SHEET TITLE:	AREA OVERLAY BUILDING 2 MAIN LEVEL		

REGION NO.:	-	SHEET NO.:	A2.11
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COLOR LEGEND:
 BUILDING AREA
 EXCLUSIONS



SOUTH BUILDING - MAIN FLOOR	
GROSS AREA*	25,991.7 sq.ft.
DEDUCTIONS	
AMENITY	1,957.3 sq.ft.
ELEC. CLOSET	20.5 sq.ft.
MECH. SHAFT	12.2 sq.ft.
BOILER ROOM	480.8 sq.ft.
SUBTOTAL	23,520.9 sq.ft.
BUH UNITS (B1) (21.5 SQFT/UNIT x 2 UNITS)	43.0 sq.ft.
NET AREA	23,478 sq.ft.

NOTE: GROSS AREA IS CALCULATED TO OUTSIDE FACE OF BUILDING AND EXCLUDES UNENCLOSED BALCONIES ON ALL BALCONIES

* DENOTES BUH UNITS

BUILDING 2A
1688.9 SQFT (177.9 M²)

BUILDING 2B
1291.8 SQFT (120.4 M²)

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NO.	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION



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ARCHITECTURE

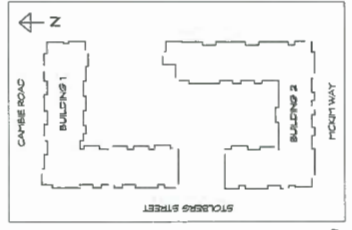
200-2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3Y3
TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
400854018 STOLBERG ST
RICHMOND, BC

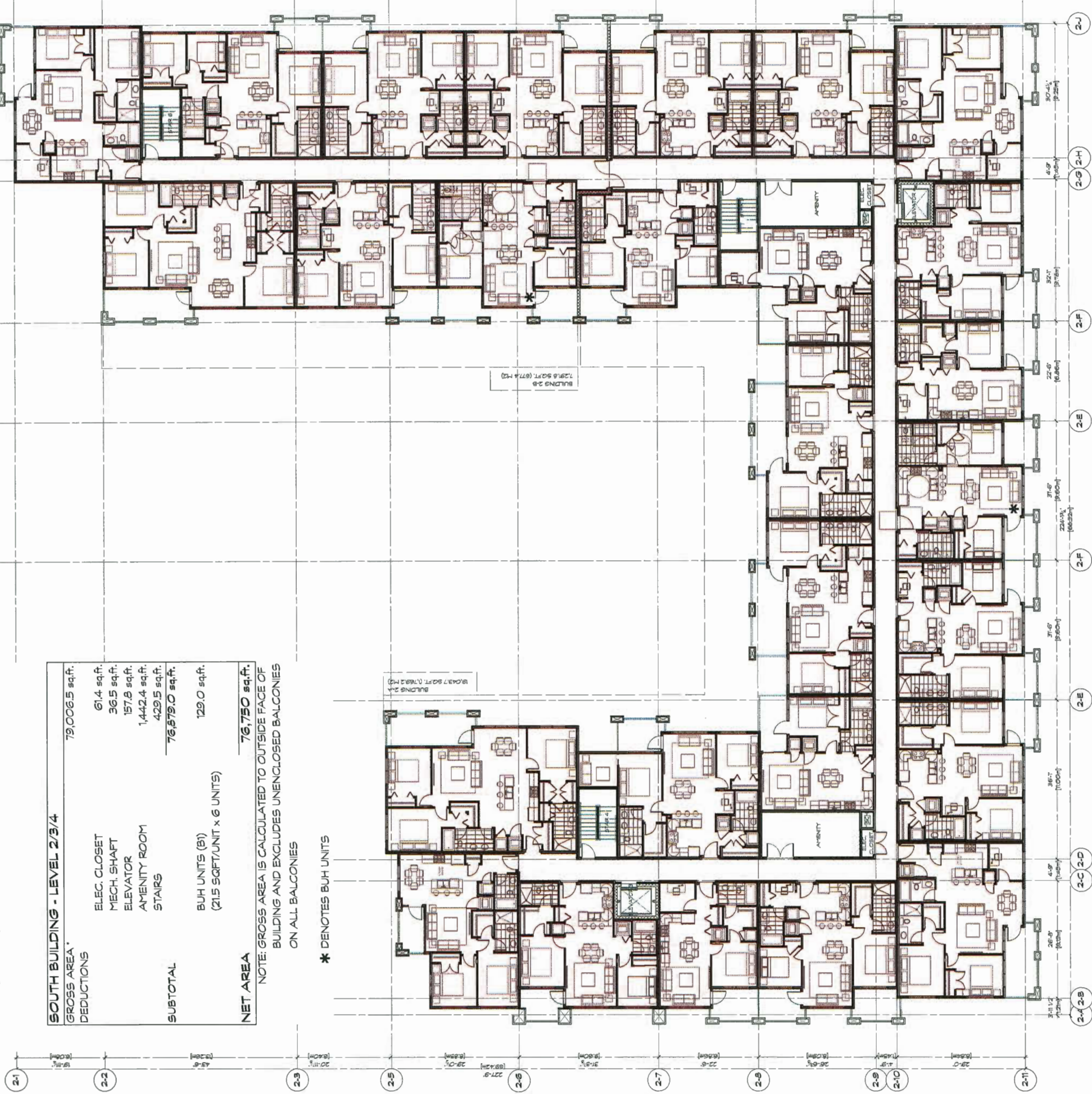
DESIGNER	KJV	CHECKED BY	BC
SCALE	3/32" = 1/8"	PROJECT NO.	564
SHEET TITLE	AREA OVERLAY BUILDING 2 LEVEL 2ND/3RD/4TH		

DATE	-
SHEET NO.	A2.12

COLOR LEGEND:
■ BUILDING AREA
■ EXCLUSIONS



KEY PLAN



SOUTH BUILDING - LEVEL 2/3/4	
GROSS AREA*	79,006.5 sq.ft.
DEDUCTIONS	
ELEC. CLOSET	61.4 sq.ft.
MECH. SHAFT	36.5 sq.ft.
ELEVATOR	157.8 sq.ft.
AMENITY ROOM	1,442.4 sq.ft.
STAIRS	429.5 sq.ft.
SUBTOTAL	76,579.0 sq.ft.
BUH UNITS (B1) (21.5 SQFT/UNIT x 6 UNITS)	129.0 sq.ft.
NET AREA	76,750 sq.ft.

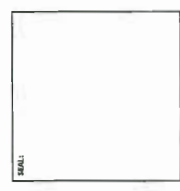
NOTE: GROSS AREA IS CALCULATED TO OUTSIDE FACE OF BUILDING AND EXCLUDES UNENCLOSED BALCONIES ON ALL BALCONIES

* DENOTES BUH UNITS

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REVISION:	
NO.	DESCRIPTION

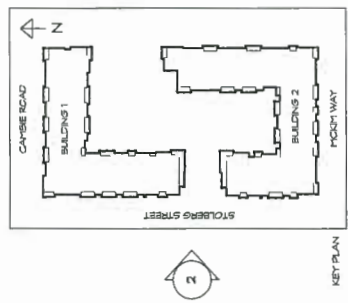
ISSUE:
DATE: 08/03/2016
DESCRIPTION: RE-SUBMITTED FOR DP
DATE: 28/03/2016
DESCRIPTION: RE-SUBMITTED FOR DP



1 NORTH ELEVATION (CAMBIE ROAD)
ALD01 / SCALE 1/8" = 1'-0"



2 WEST ELEVATION (STOLBERG STREET)
ALD02 / SCALE 1/8" = 1'-0"



KEY PLAN

CICCOZZI
ARCHITECTURE
200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3Y3
TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
4008&4018 STOLBERG ST
RICHMOND, BC

DATE:	CHECKED BY:
SCALE:	PROJECT NO.:
1/8" = 1'-0"	564
SHEET TITLE:	
ELEVATIONS	

REVISION NO.:	SHEET NO.:
-	A4.0

OP 17-194280-2

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REVISION:	
NO.	DESCRIPTION

ISSUE:	
DATE	DESCRIPTION
28.09.2018	RE-DESIGNED FOR DP
28.09.2018	RE-DESIGNED FOR DP

SCALE



1 SOUTH ELEVATION (MCKIM WAY)
AL003 SCALE 1/8" = 10'

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ARCHITECTURE

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VANCOUVER, B.C.
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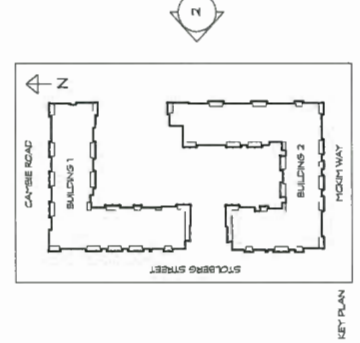


2 EAST ELEVATION (ADJACENT PROPERTY)
AL003 SCALE 1/8" = 10'

PROJECT:
RESIDENTIAL DEVELOPMENT
4008&4016 STOLBERG ST
RICHMOND, BC

SHEET TITLE:	
ELEVATIONS	
DATE:	28.09.2018
SCALE:	1/8" = 10'
CHECKED BY:	SGA
PROJECT NO.:	564

SHEET NO.:	
A4.1	
PREVIOUS SHEET:	-



KEY PLAN

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NO.	DESCRIPTION

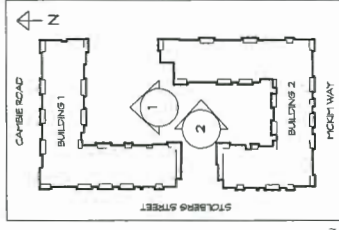
ISSUE:	
DATE	DESCRIPTION
06.04.2018	RE-SUBMITTED FOR DP
28.09.2018	RE-SUBMITTED FOR DP



1 COURTYARD-NORTH ELEVATION
 A1003/3 SCALE 1/8" = 1'-0"



2 EAST ELEVATION (COURTYARD)
 A1003/3 SCALE 1/8" = 1'-0"



KEY PLAN

CICOZZI
 ARCHITECTURE
 200 - 2339 COLUMBIA STREET
 VANCOUVER, B.C.
 CANADA V5Y 3Y3
 TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
 4008&4016 STOLBERG ST
 RICHMOND, BC

NAME:	CICCOZZI ARCHITECTURE
SCALE:	1/8" = 1'-0"
PROJECT NO.:	564
SHEET TITLE: ELEVATIONS	

ANTHONY BUI	SHEET NO.:
-	A4.2

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REVISION:	
NO.	DESCRIPTION

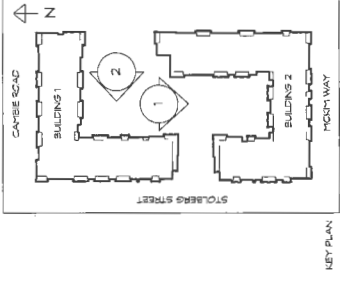
ISSUE:	
DATE	DESCRIPTION
06/02/2018	REISSUED FOR CP
28/09/2018	REISSUED FOR CP



1 COURTYARD- SOUTH ELEVATION
ALCOZAJ SCALE: 1/8" = 1'-0"



2 WEST ELEVATION (COURTYARD)
ALCOZAJ SCALE: 1/8" = 1'-0"



KEY PLAN

CICCOTZI
ARCHITECTURE
200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3Y3
TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
4008&4018 STOLBERG ST
RICHMOND, BC

DATE	DESCRIPTION

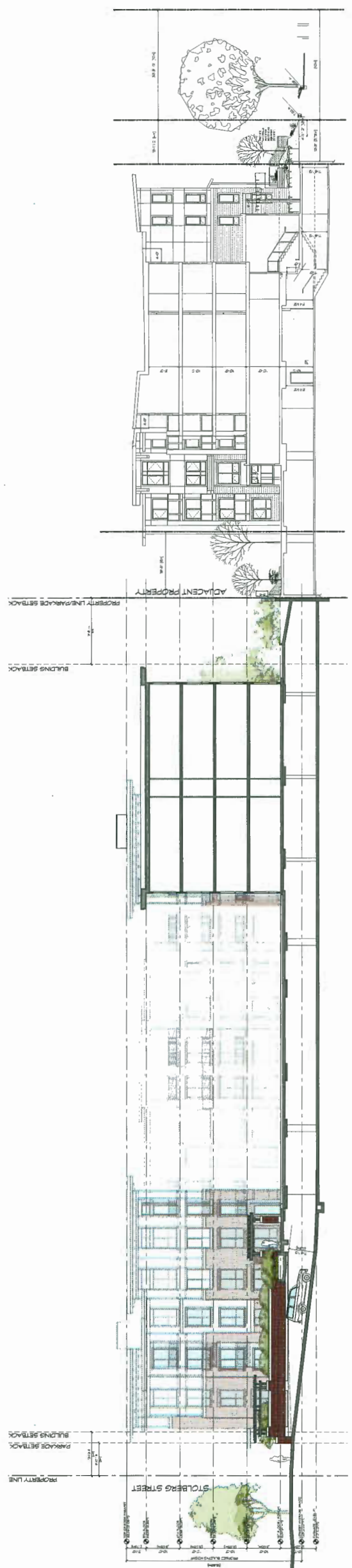
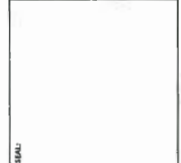
DATE	06/02/2018
SCALE	1/8" = 1'-0"
PROJECT NO.	564
SHEET TITLE	ELEVATIONS

REVISION NO.	-
SHEET NO.	A4.3

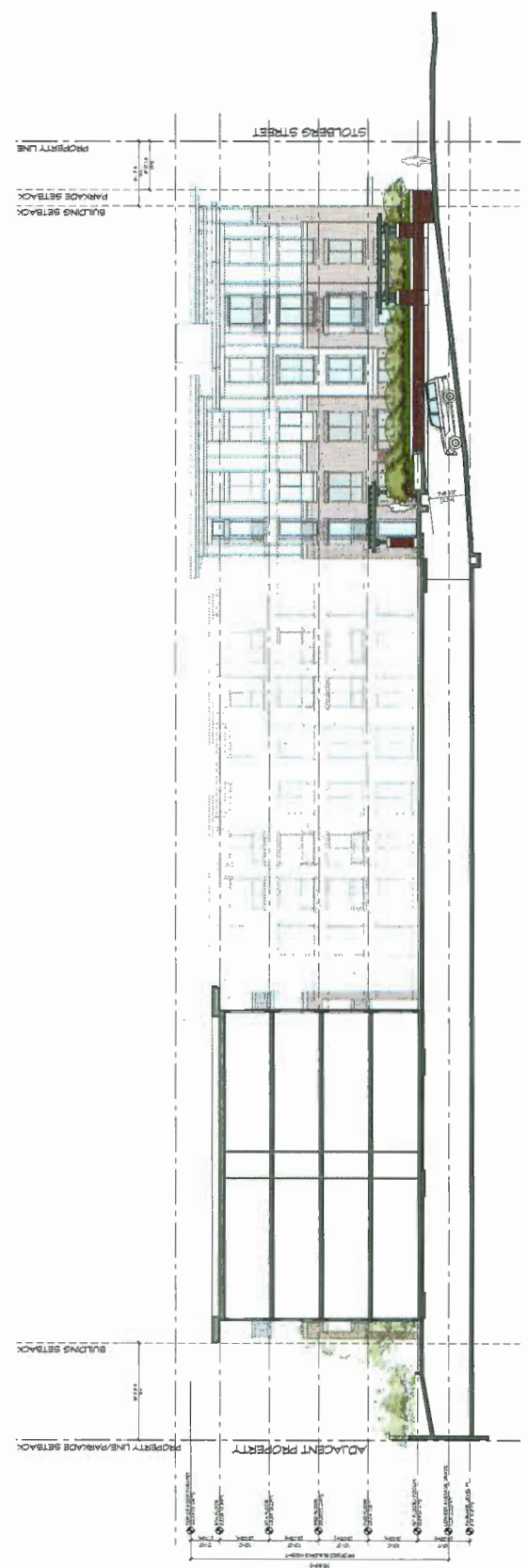
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REVISION:	
NO.	DESCRIPTION

ISSUE:	
DATE	DESCRIPTION
08.03.2018	RE-ISSUED FOR CPP
25.03.2018	RE-ISSUED FOR CPP



A SECTION A
A1/231 / SCALE 1/8" = 1'-0"



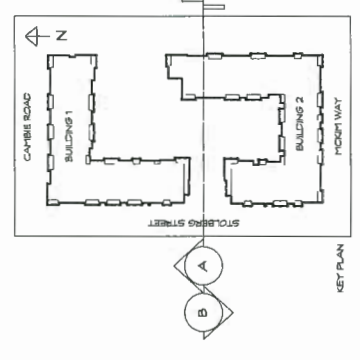
B SECTION B
A1/231 / SCALE 3/32" = 1'-0"

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200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3V3
TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
400264018 STOLBERG ST
RICHMOND, BC

SITE SECTIONS	
DRAWN	CHECKED BY
SCALE: 1/8" = 1'-0"	PROJECT NO.: 5654
SHEET TITLE	

SHEET INFO	
REVISION NO.	SHEET NO.
-	A5.0

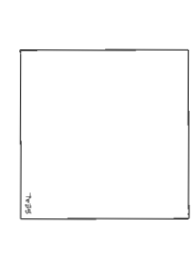


DB 17-747811-75

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REVISION	
NO.	DESCRIPTION

ISSUE	DESCRIPTION
01	PRELIMINARY
02	REVISED FOR LP
03	REVISED FOR LP



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ARCHITECTURE
200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5T 3T3
TEL: (604) 687-4741

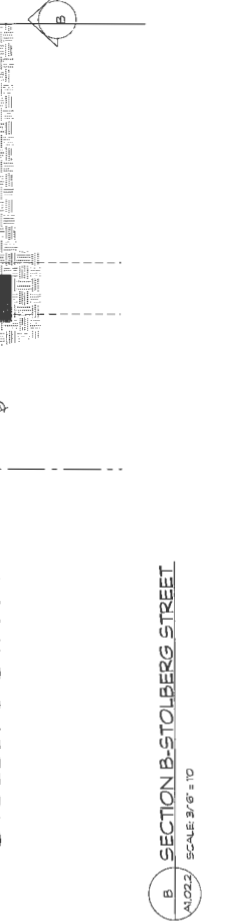
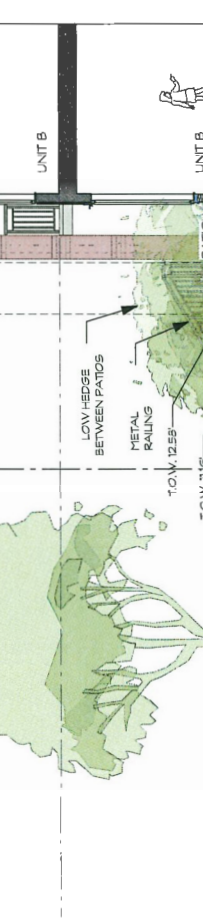
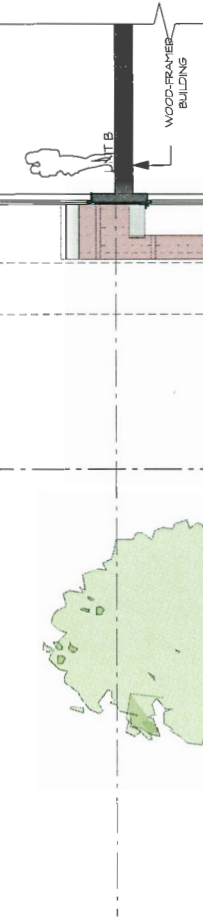
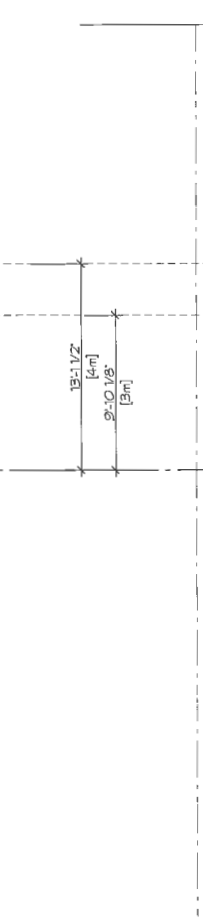
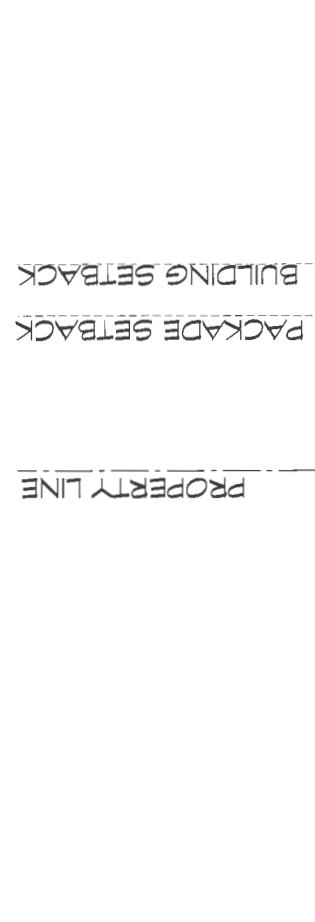
PROJECT
RESIDENTIAL DEVELOPMENT
40084018 STOLBERG ST
RICHMOND, BC

DRAWN		CHECKED BY	
SCALE	PROJECT NO.	SCALE	PROJECT NO.
3/16" = 1'-0"	584		
SHEET TITLE			
SITE SECTIONS			

REVISION NO.	DATE

PRINTING NO. **A5.1**

DP 11174601-26



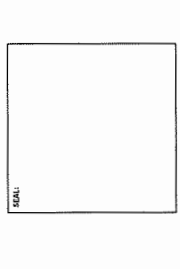
A SECTION A-CAMBIE ROAD
SCALE: 3/16" = 1'-0"

B SECTION B-STOLBERG STREET
SCALE: 3/16" = 1'-0"

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NO.	DATE	DESCRIPTION

ISSUE:
 DATE: 09/21/23
 DESCRIPTION: DP SUBMISSION
 DRAWINGS REVISIONS FOR DP
 28.09.2023 REVISIONS FOR DP

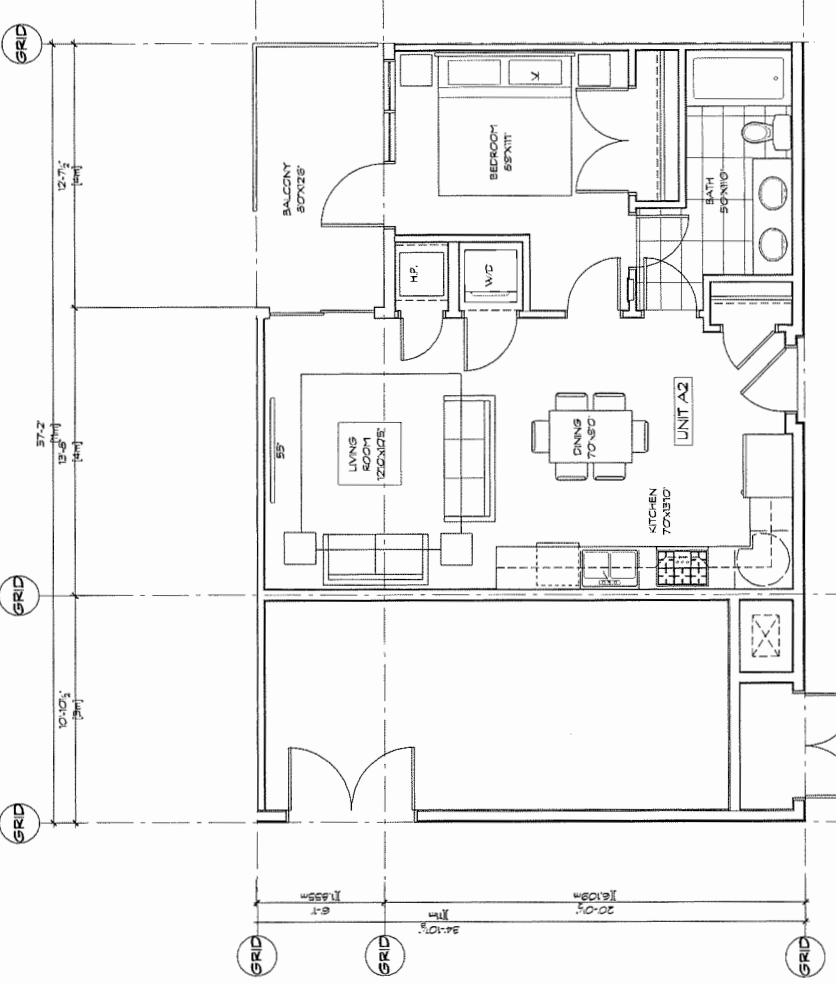


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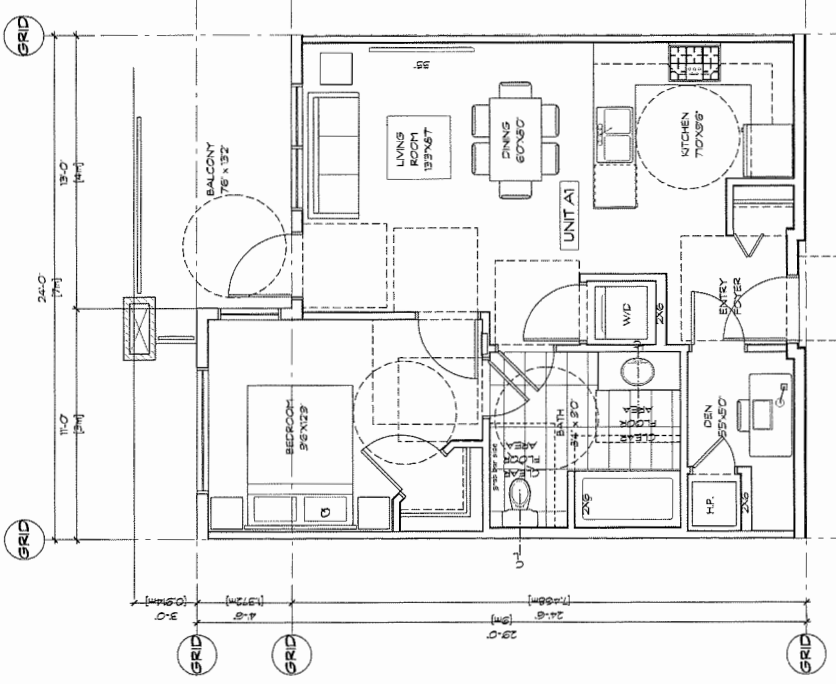
RESIDENTIAL DEVELOPMENT
 40084018 STOLBERG ST
 RICHMOND, BC

FORM: CIV	CREATED: RC
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SHEET TITLE: UNIT A PLANS	

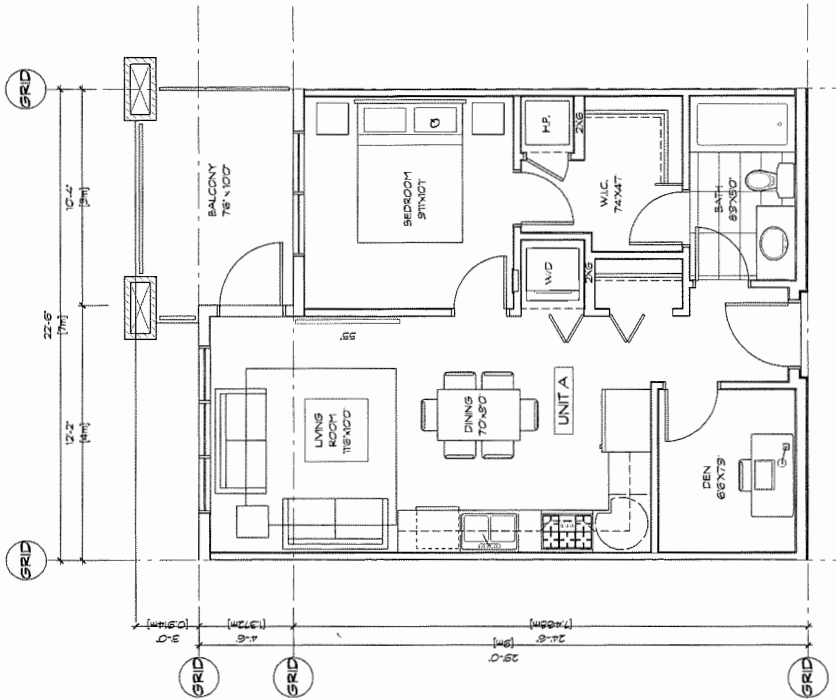
REVISION NO.: -	SHEET NO.: A6.0
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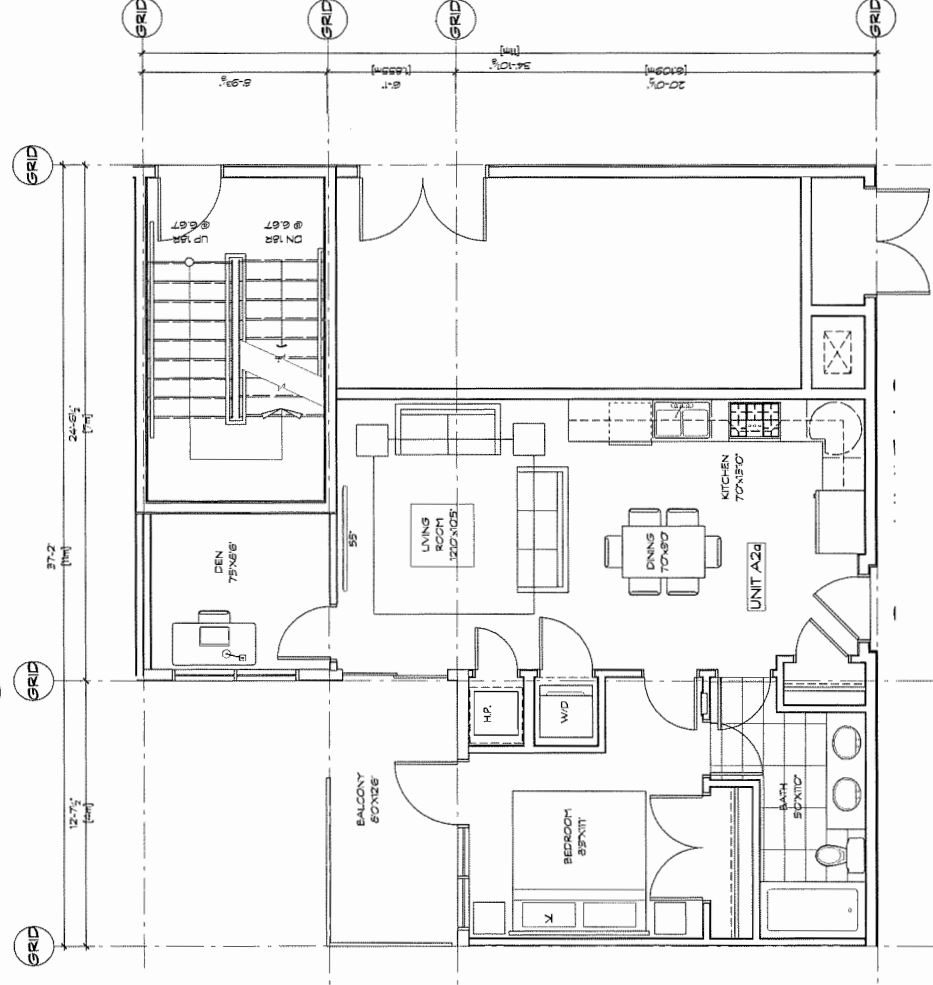
3 UNIT A2 682.1 S.F. (8 UNITS)
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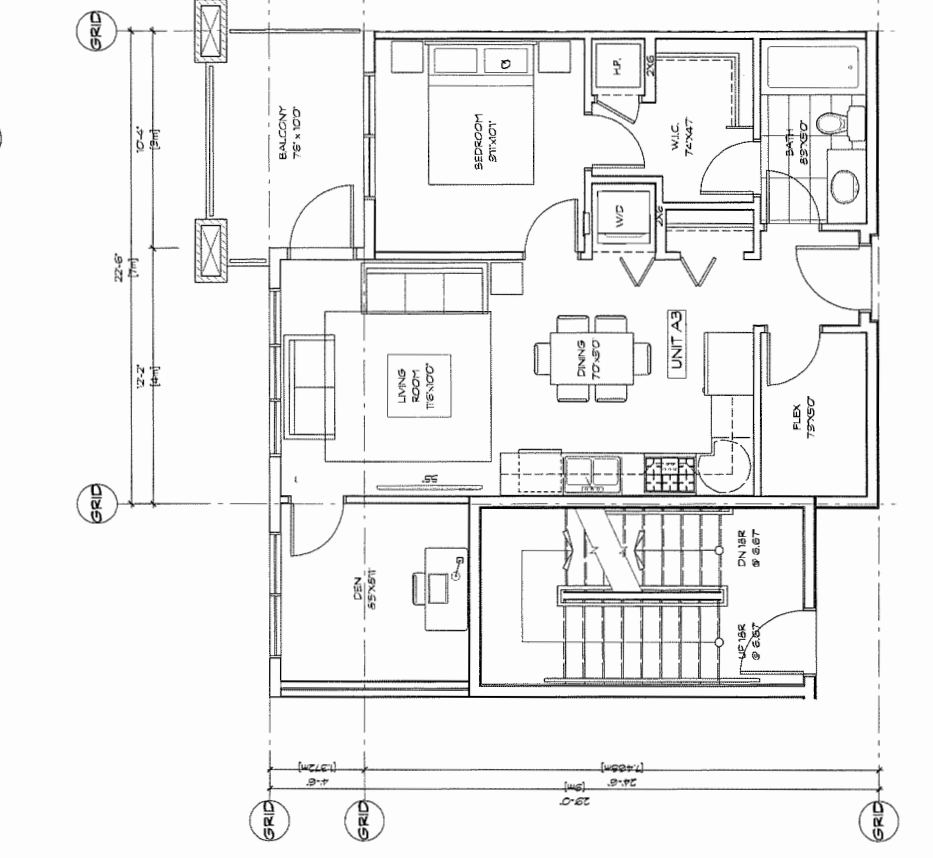
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 SCALE: 1/4" = 1'-0"



1 UNIT A 598.4 S.F. (28 UNITS)
 SCALE: 1/4" = 1'-0"



5 UNIT A2A 272.4 S.F. (3 UNITS)
 SCALE: 1/4" = 1'-0"

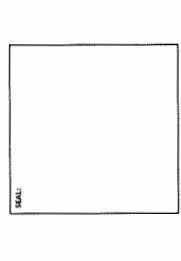


4 UNIT A3 662.1 S.F. (3 UNITS)
 SCALE: 1/4" = 1'-0"

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NO.	DATE	DESCRIPTION

ISSUE:
 DATE: 25.03.2018
 DESCRIPTION: DP 5.0 - REVISION
 DATE: 06.08.2018
 DESCRIPTION: RE-DESIGNED FOR DP
 DATE: 25.03.2018
 DESCRIPTION: RE-DESIGNED FOR DP

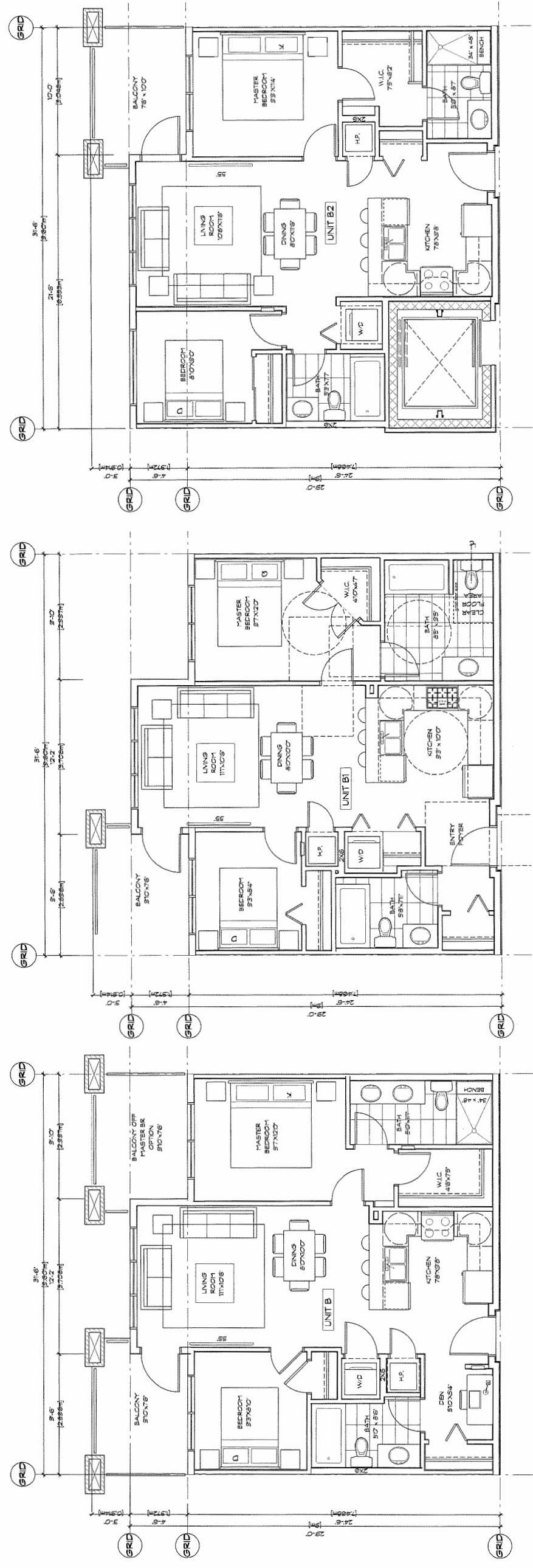


CICCOTZI
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 CANADA V5Y 3Y3
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PROJECT:
RESIDENTIAL DEVELOPMENT
 400884018 STOLBERG ST
 RICHMOND, BC

DRAWN:	CHKD BY:	RC
SCALE:	PROJECT NO.:	564
SHEET TITLE: UNIT B PLANS		

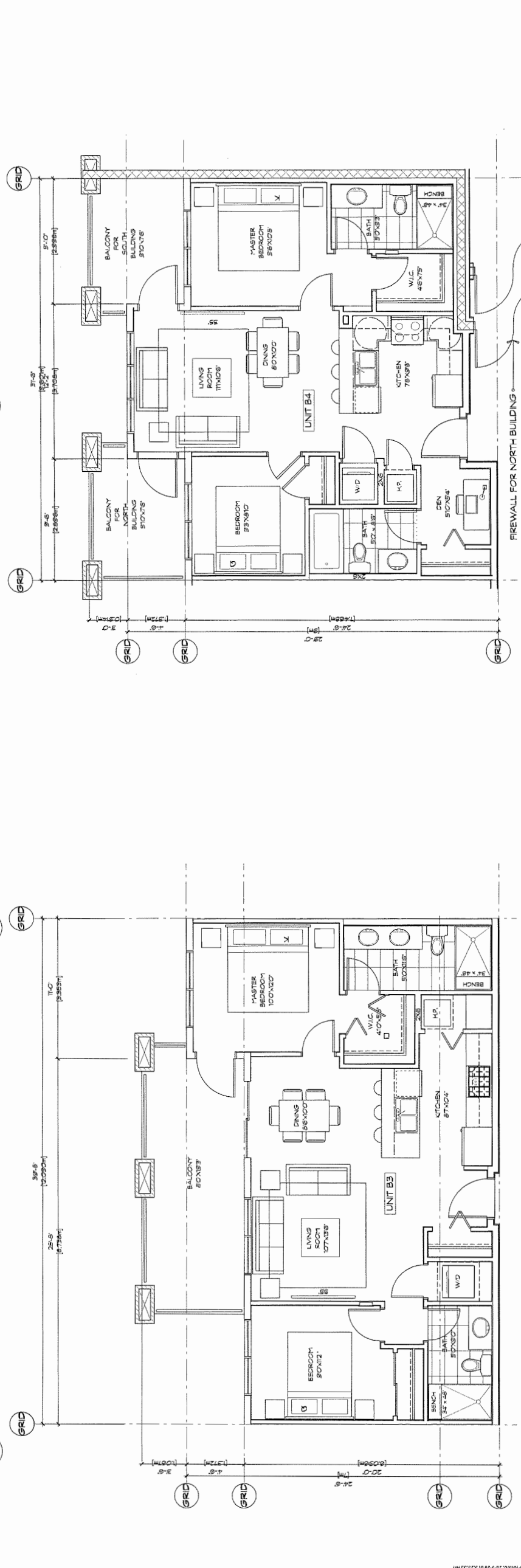
SHEET NO.:	AG.1
SECTION NO.:	-



1 UNIT B 815.8 S.F.
 SCALE: 1/8" = 1'-0"
 (12 UNITS)

2 UNIT B1 815.1 S.F.
 SCALE: 1/8" = 1'-0"
 (12 UNITS)

3 UNIT B2 774.4 S.F.
 SCALE: 1/8" = 1'-0"
 (12 UNITS)



4 UNIT B3 829.1 S.F.
 SCALE: 1/8" = 1'-0"
 (8 UNITS)

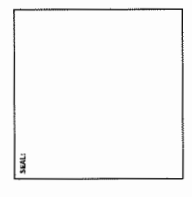
5 UNIT B4 760.2 S.F.
 SCALE: 1/8" = 1'-0"
 (8 UNITS)

OP 17-794280-29

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NO.	DATE	DESCRIPTION

ISSUE:
 DATE: 08.03.2018
 DESCRIPTION: DP SUBMISSION
 DATE: 28.09.2018
 DESCRIPTION: REISSUED FOR DP
 DATE: 28.09.2018
 DESCRIPTION: REISSUED FOR DP



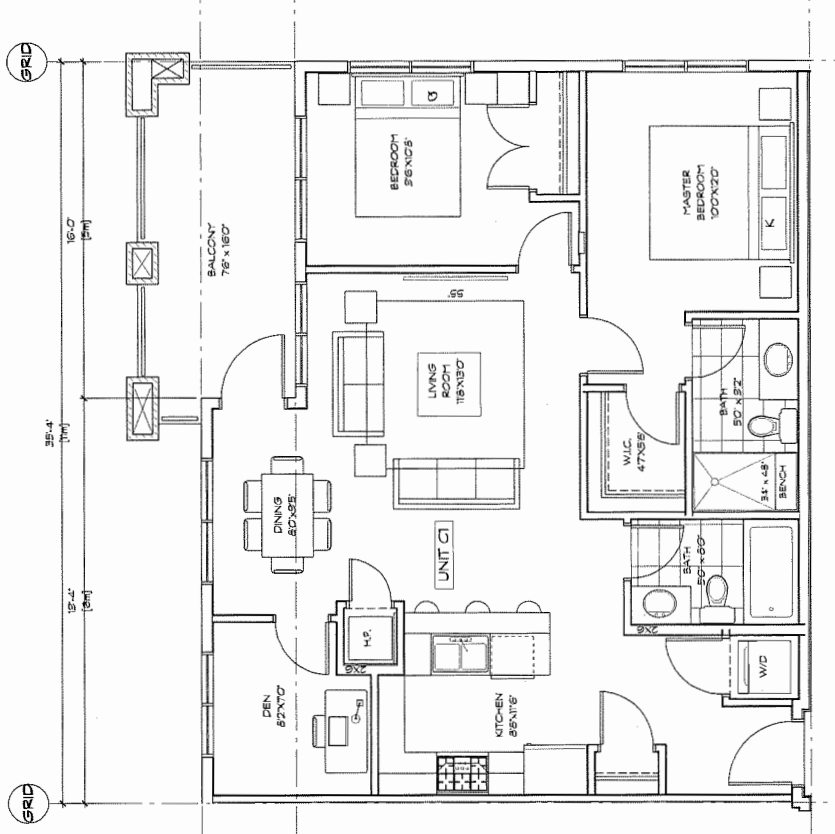
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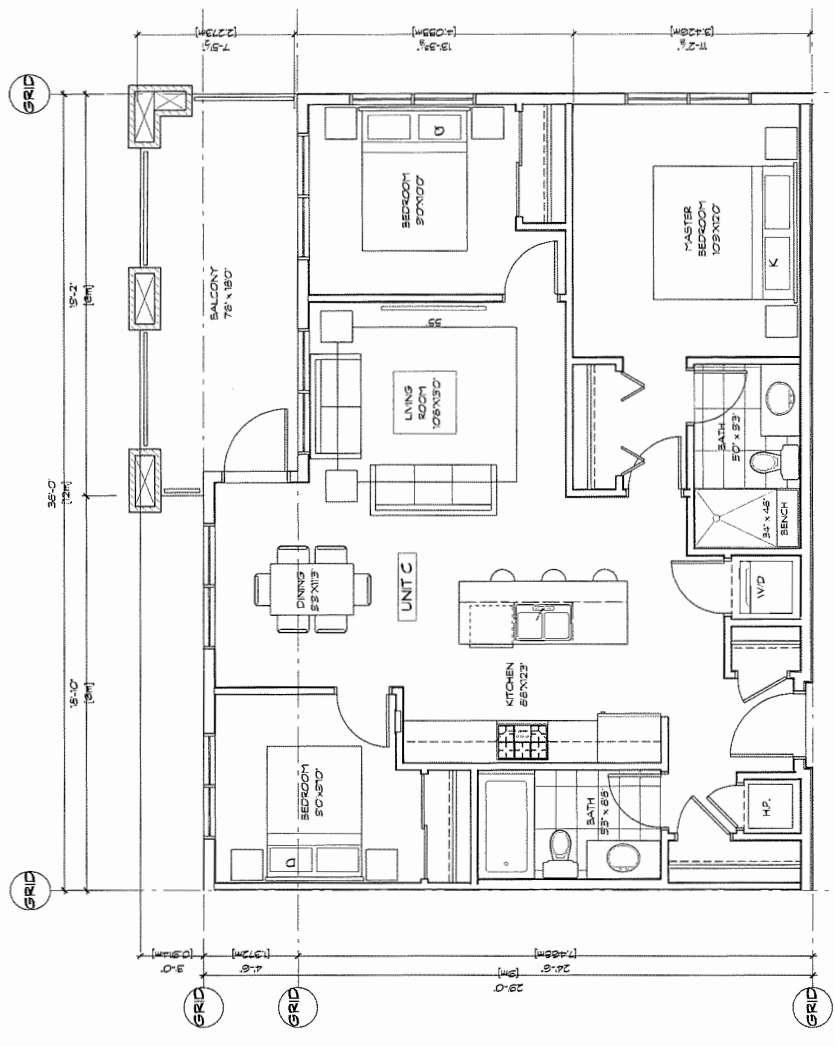
PROJECT:
RESIDENTIAL DEVELOPMENT
 400854018 STOLBERG ST
 RICHMOND, BC

TEAM:	KJV	CREATED BY:	BC
SCALE:	1/2" = 1'-0"	PROJECT NO.:	564
SHEET TITLE: UNIT C PLANS			

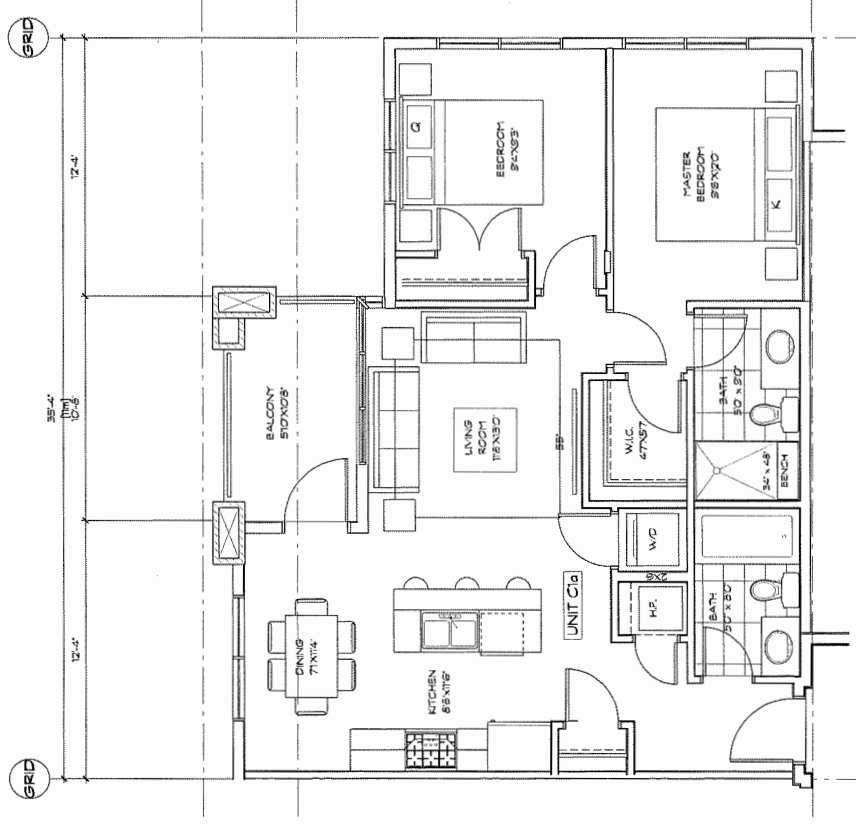
REVISION NO.:	-	SHEET NO.:	A6.2
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1 UNIT C1 940.5 S.F.
 SCALE: 1/4" = 1'-0" (9 UNITS)



2 UNIT C 1008.0 S.F.
 SCALE: 1/4" = 1'-0" (8 UNITS)



3 UNIT C1A 903.8 S.F.
 SCALE: 1/4" = 1'-0" (5 UNITS)

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REVISION:	
NO.	DESCRIPTION

ISSUE:
 DATE: 09.02.2018
 DESCRIPTION: DP SUP-BECON
 DATE: 28.03.2018
 DESCRIPTION: RE-SUBID FOR DP
 DATE: 28.03.2018
 DESCRIPTION: RE-SUBID FOR DP



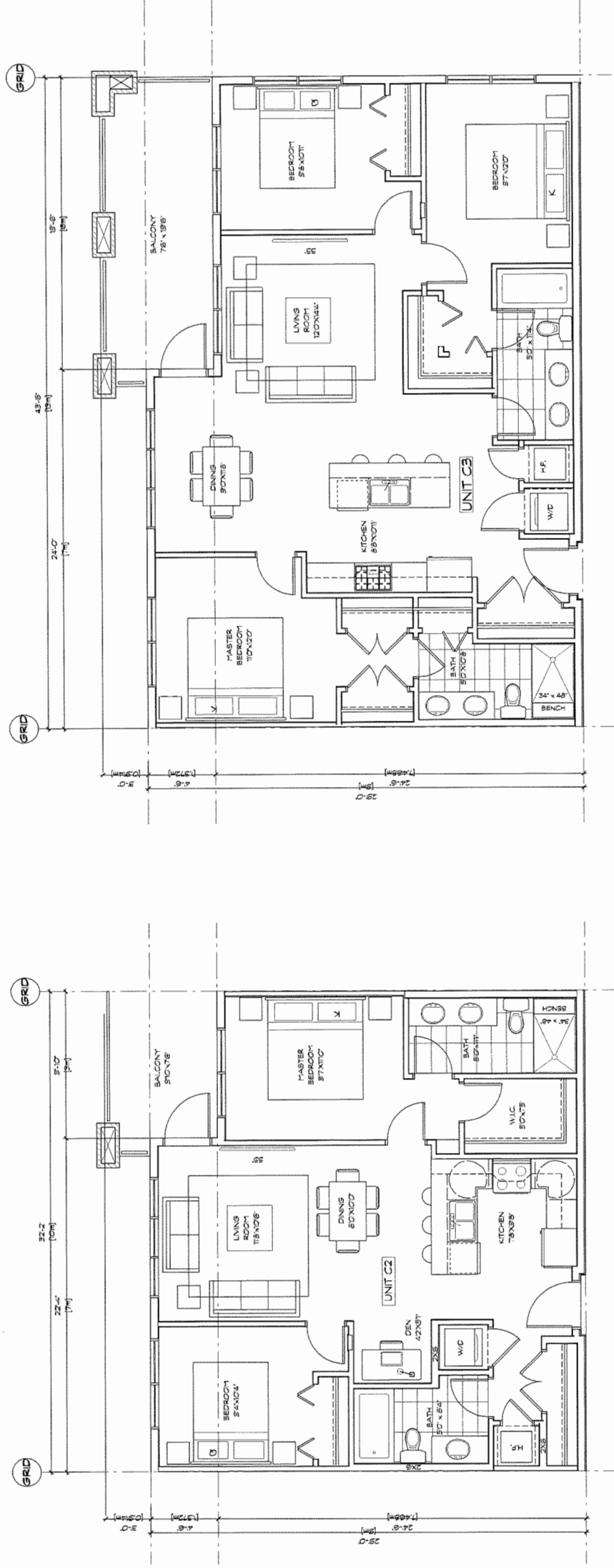
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PROJECT:
RESIDENTIAL DEVELOPMENT
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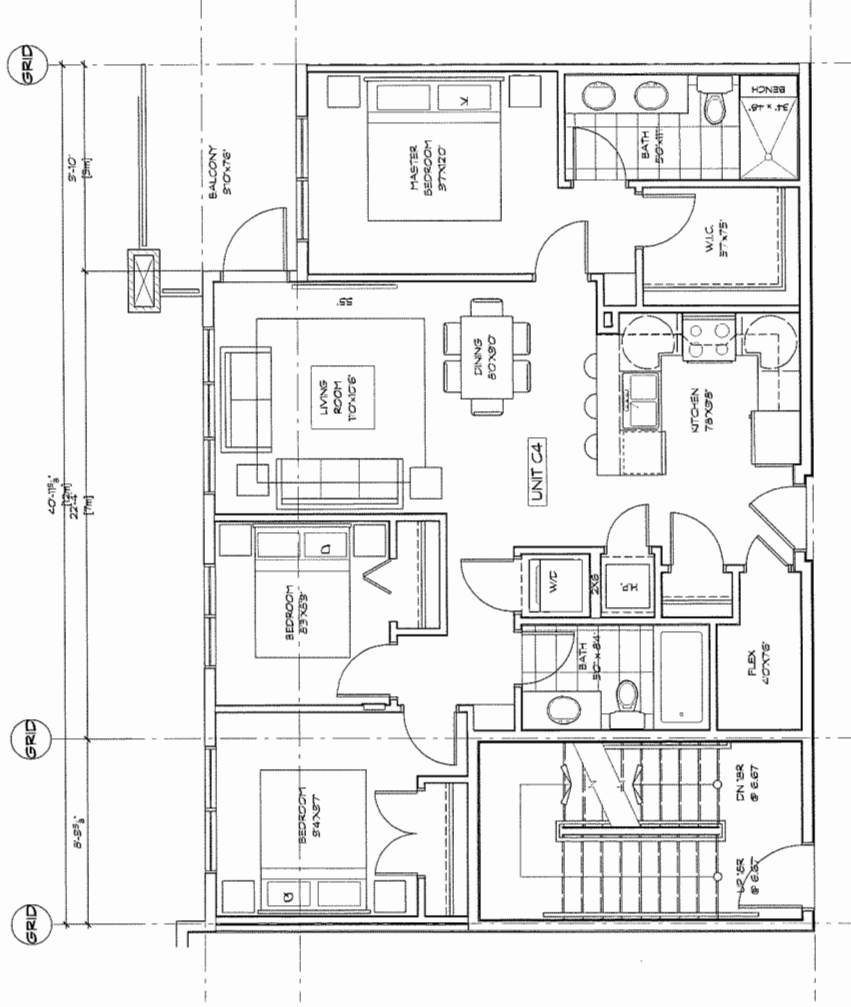
NAME: K.V.	CREATED BY: BC
SCALE: 1/4" = 1'-0"	PROJECT NO.: 264
SHEET TITLE: UNIT C PLANS	

REVISION NO.: -	SHEET NO.: A6.3
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1 UNIT C2 878.5 S.F.
 SCALE: 1/4" = 1'-0" (46 UNITS)

2 UNIT C3 1189.6 S.F.
 SCALE: 1/4" = 1'-0" (10 UNITS)

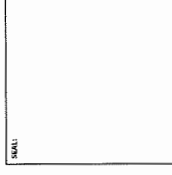


3 UNIT C4 988.0 S.F.
 SCALE: 1/4" = 1'-0" (8 UNITS)

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REVISION:	
NO.	DESCRIPTION

ISSUE:	
DATE	DESCRIPTION
20.02.2018	DP SUB-MISSON
08.02.2018	RE-REVISION FOR DP
28.02.2018	RE-REVISION FOR DP



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ARCHITECTURE

200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3Y3
TEL: (604) 687-4741

PROJECT:
RESIDENTIAL DEVELOPMENT
4008/4018 STOLBERG ST
RICHMOND, BC

DRAWN: KJV	CHECKED BY: RC
SCALE: N.T.S.	PROJECT NO.: 564
SHEET TITLE: UNIT SUMMARY	

REVISION NO.:
-
SHEET NO.:
A6.4

4008/4018 STOLBERG STREET, RICHMOND, UNIT SUMMARY									
UNIT TYPE	FLOOR AREA SQ.FT.	BEDROOM NUMBER	BUILDING LEVELS				TOTAL UNITS	TOTAL AREA PER UNIT TYPE	PERCENTAGE %
			LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4			
UNIT A:	598.4 SQ.FT.	1 BEDROOMS	7	7	7	7	28 UNITS	16,754.6 SQ.FT.	14.3%
UNIT A1:	629.1 SQ.FT.	1 BEDROOMS	2	2	2	2	6 UNITS	5,032.7 SQ.FT.	4.1%
UNIT A2:	599.7 SQ.FT.	1 BEDROOMS	2	2	2	2	6 UNITS	4,797.3 SQ.FT.	4.1%
UNIT A2R:	672.4 SQ.FT.	1 BEDROOMS	0	1	1	1	3 UNITS	2,017.5 SQ.FT.	1.5%
UNIT A3:	682.1 SQ.FT.	1 BEDROOMS	0	1	1	1	3 UNITS	2,046.3 SQ.FT.	1.5%
UNIT B:	815.8 SQ.FT.	2 BEDROOMS	3	3	3	3	12 UNITS	9,789.8 SQ.FT.	6.1%
UNIT B1:	815.1 SQ.FT.	2 BEDROOMS	3	3	3	3	12 UNITS	9,751.5 SQ.FT.	6.1%
UNIT B2:	714.4 SQ.FT.	2 BEDROOMS	2	4	4	4	14 UNITS	10,841.9 SQ.FT.	7.1%
UNIT B3:	829.1 SQ.FT.	2 BEDROOMS	2	2	2	2	6 UNITS	6,833.1 SQ.FT.	4.1%
UNIT B4:	760.2 SQ.FT.	2 BEDROOMS	2	2	2	2	6 UNITS	6,081.5 SQ.FT.	4.1%
UNIT C:	1,008.0 SQ.FT.	3 BEDROOMS	2	2	2	2	6 UNITS	6,063.6 SQ.FT.	4.1%
UNIT C1:	940.5 SQ.FT.	2 BEDROOMS	4	5	5	5	19 UNITS	17,666.6 SQ.FT.	9.7%
UNIT C1R:	821.0 SQ.FT.	2 BEDROOMS	0	1	1	1	3 UNITS	2,483.0 SQ.FT.	1.5%
UNIT C2:	878.9 SQ.FT.	2 BEDROOMS	13	11	11	11	46 UNITS	40,409.1 SQ.FT.	23.5%
UNIT C3:	1,359.9 SQ.FT.	3 BEDROOMS	1	3	3	3	10 UNITS	11,586.5 SQ.FT.	5.1%
UNIT C4:	988.0 SQ.FT.	3 BEDROOMS	0	2	2	2	6 UNITS	5,927.8 SQ.FT.	3.1%
NET SALEABLE FLOOR AREA:			160,107.4 SQ.FT.			196 UNITS			100.0%

BUH UNIT TYPES		
UNIT TYPE	UNIT NUMBER	PERCENTAGE
** REQUIRED 10% OF TOTAL UNITS BY THE CITY OF RICHMOND		
UNIT TYPE:	A1, A2, A2R, A3	25.5%
1 BEDROOM	50	
2 BEDROOM	122	62.2%
3 BEDROOM	24	12.2%
TOTAL:	196 UNITS	100.0%

4008 STOLBERG STREET, RICHMOND (NORTH BUILDING) UNIT SUMMARY									
UNIT TYPE	FLOOR AREA SQ.FT.	BEDROOM NUMBER	BUILDING LEVELS				TOTAL UNITS	TOTAL AREA PER UNIT TYPE	PERCENTAGE %
			LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4			
UNIT A:	598.4 SQ.FT.	1 BEDROOMS	5	5	5	5	20 UNITS	10,976.8 SQ.FT.	21.0%
UNIT A1:	629.1 SQ.FT.	1 BEDROOMS	2	2	2	2	6 UNITS	5,032.7 SQ.FT.	6.8%
UNIT A2:	599.7 SQ.FT.	1 BEDROOMS	0	1	1	1	3 UNITS	1,789.0 SQ.FT.	3.3%
UNIT A2R:	672.4 SQ.FT.	1 BEDROOMS	0	0	0	0	0 UNITS	0.0 SQ.FT.	0.0%
UNIT A3:	682.1 SQ.FT.	1 BEDROOMS	0	1	1	1	3 UNITS	2,046.3 SQ.FT.	3.3%
UNIT B:	815.8 SQ.FT.	2 BEDROOMS	1	1	1	1	4 UNITS	3,263.3 SQ.FT.	4.4%
UNIT B1:	815.1 SQ.FT.	2 BEDROOMS	1	1	1	1	4 UNITS	3,260.9 SQ.FT.	4.4%
UNIT B2:	714.4 SQ.FT.	2 BEDROOMS	1	2	2	2	7 UNITS	8,430.8 SQ.FT.	17%
UNIT B3:	829.1 SQ.FT.	2 BEDROOMS	0	0	0	0	0 UNITS	0.0 SQ.FT.	0.0%
UNIT B4:	760.2 SQ.FT.	2 BEDROOMS	1	1	1	1	4 UNITS	3,040.9 SQ.FT.	4.4%
UNIT C:	1,008.0 SQ.FT.	3 BEDROOMS	2	2	2	2	6 UNITS	6,033.8 SQ.FT.	6.8%
UNIT C1:	940.5 SQ.FT.	2 BEDROOMS	1	1	1	1	4 UNITS	3,761.9 SQ.FT.	4.4%
UNIT C1R:	821.0 SQ.FT.	2 BEDROOMS	0	1	1	1	3 UNITS	2,483.0 SQ.FT.	3.3%
UNIT C2:	878.9 SQ.FT.	2 BEDROOMS	5	4	4	4	17 UNITS	14,933.8 SQ.FT.	16.7%
UNIT C3:	1,359.9 SQ.FT.	3 BEDROOMS	0	1	1	1	3 UNITS	3,479.8 SQ.FT.	3.3%
UNIT C4:	988.0 SQ.FT.	3 BEDROOMS	0	1	1	1	3 UNITS	2,893.5 SQ.FT.	3.3%
NET SALEABLE FLOOR AREA:			71,871.9 SQ.FT.			81 UNITS			100.0%

File: C:\E6\unit plans\unit summary.rvt Plotter: 18-9-2018 12:23:55 AM

4018 STOLBERG STREET, RICHMOND (SOUTH BUILDING) UNIT SUMMARY										
UNIT TYPE	FLOOR AREA SQ.FT.	BEDROOM NUMBER	BUILDING LEVELS				TOTAL UNITS	TOTAL AREA PER UNIT TYPE	PERCENTAGE %	
			LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4				
UNIT A:	598.4 SQ.FT.	1 BEDROOMS	2	2	2	2	8 UNITS	4,797.3 SQ.FT.	1.8%	
UNIT A1:	629.1 SQ.FT.	1 BEDROOMS	0	0	0	0	0 UNITS	0.0 SQ.FT.	0.0%	
UNIT A2:	599.7 SQ.FT.	1 BEDROOMS	2	1	1	1	5 UNITS	2,229.3 SQ.FT.	4.8%	
UNIT A2R:	672.4 SQ.FT.	1 BEDROOMS	0	1	1	1	3 UNITS	2,017.5 SQ.FT.	2.5%	
UNIT A3:	682.1 SQ.FT.	1 BEDROOMS	0	0	0	0	0 UNITS	0.0 SQ.FT.	0.0%	
UNIT B:	815.8 SQ.FT.	2 BEDROOMS	2	2	2	2	8 UNITS	6,526.6 SQ.FT.	7.8%	
UNIT B1:	815.1 SQ.FT.	2 BEDROOMS	2	2	2	2	8 UNITS	6,521.0 SQ.FT.	7.8%	
UNIT B2:	714.4 SQ.FT.	2 BEDROOMS	1	2	2	2	7 UNITS	5,402.8 SQ.FT.	6.7%	
UNIT B3:	829.1 SQ.FT.	2 BEDROOMS	2	2	2	2	8 UNITS	6,833.1 SQ.FT.	7.8%	
UNIT B4:	760.2 SQ.FT.	2 BEDROOMS	1	1	1	1	4 UNITS	3,040.9 SQ.FT.	3.8%	
UNIT C:	1,008.0 SQ.FT.	3 BEDROOMS	0	0	0	0	0 UNITS	0.0 SQ.FT.	0.0%	
UNIT C1:	940.5 SQ.FT.	2 BEDROOMS	3	4	4	4	15 UNITS	14,058.9 SQ.FT.	14.3%	
UNIT C1R:	821.0 SQ.FT.	2 BEDROOMS	0	0	0	0	0 UNITS	0.0 SQ.FT.	0.0%	
UNIT C2:	878.9 SQ.FT.	2 BEDROOMS	6	7	7	7	28 UNITS	25,479.3 SQ.FT.	27.6%	
UNIT C3:	1,359.9 SQ.FT.	3 BEDROOMS	1	2	2	2	7 UNITS	8,178.8 SQ.FT.	6.7%	
UNIT C4:	988.0 SQ.FT.	3 BEDROOMS	0	1	1	1	3 UNITS	2,893.5 SQ.FT.	2.5%	
NET SALEABLE FLOOR AREA:			66,810.2 SQ.FT.			108 UNITS			68,810.3 SQ.FT.	100.0%

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DP 17-794280-32

4008 STOLBERG STREET

for Everwell Group Holding Ltd. Partnership.

Civic Address: 4008 Stolberg Street, Richmond BC
 Legal Address: ****



1690 West 2nd Avenue
 Vancouver . BC . Canada . V6J 1H4
 t | 604.683.1456 f | 604.683.1459 w | www.etal.ca

CONSULTANT TEAM

OWNER: Everwell Group Holding Ltd. Partnership.
 ARCHITECT: RCA Architects
 LANDSCAPE: ETA Landscape Architecture

ISSUED FOR RE-DP: Sept 28, 2018

DRAWING LIST

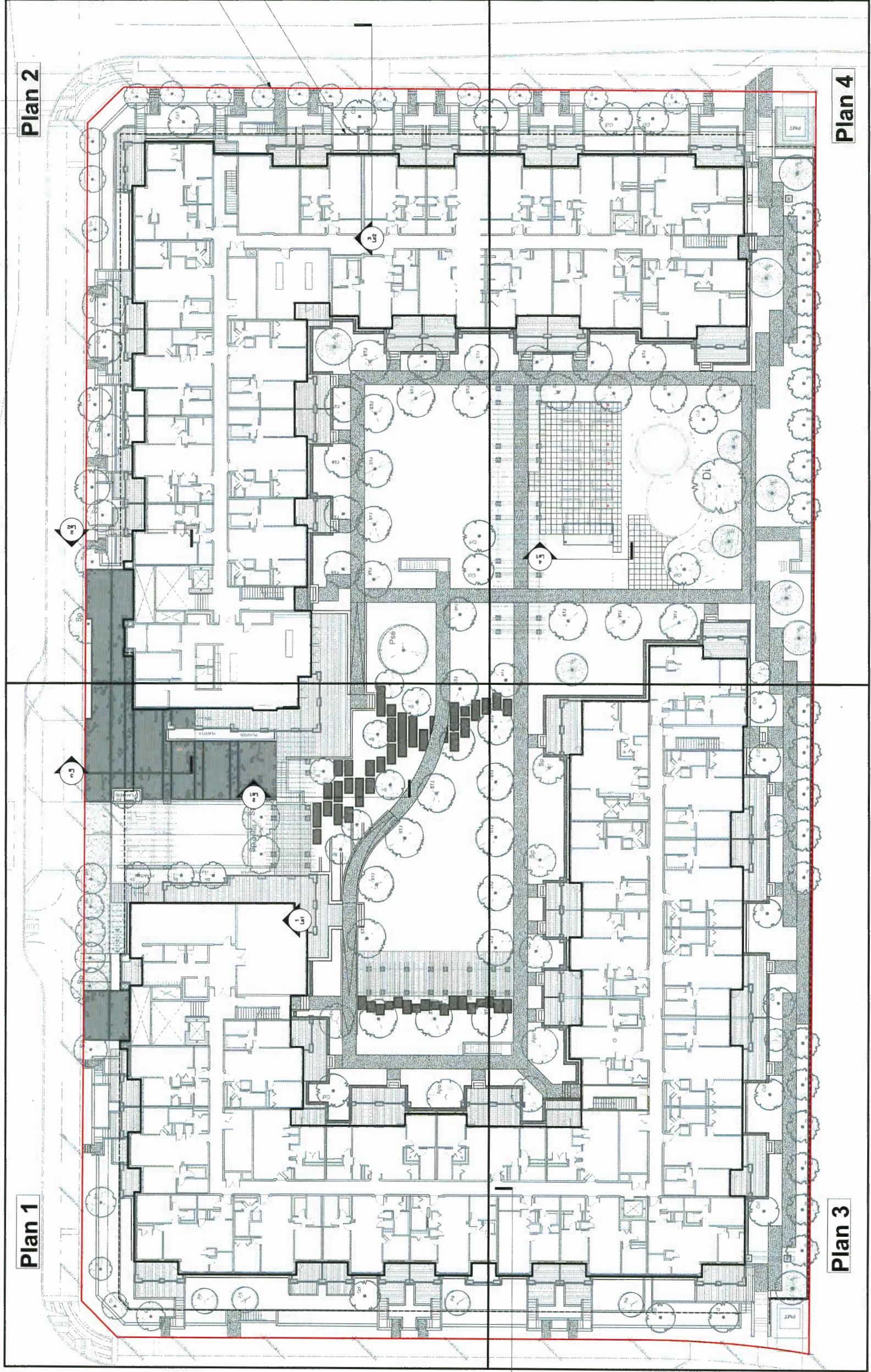
La.1	Landscape Concept Plan
Lb.0	Landscape Key Plan
Lb.1	Landscape Materials: Plan 1
Lb.2	Landscape Materials: Plan 2
Lb.3	Landscape Materials: Plan 3
Lb.4	Landscape Materials: Plan 4
Lb.5	Landscape Materials: Children's Play
Lb.6	Landscape Grading: Plan 1
Lb.7	Landscape Grading: Plan 2
Lb.8	Landscape Grading: Plan 3
Lb.9	Landscape Grading: Plan 4
Lc.1	Landscape Planting: Plan 1
Lc.2	Landscape Planting: Plan 2
Lc.3	Landscape Planting: Plan 3
Lc.4	Landscape Planting: Plan 4
Lc.5	Landscape Irrigation: Plan 1
Lc.6	Landscape Irrigation: Plan 2
Lc.7	Landscape Irrigation: Plan 3
Lc.8	Landscape Irrigation: Plan 4
Ld.1	Landscape Lighting: Plan 1
Ld.2	Landscape Lighting: Plan 2
Ld.3	Landscape Lighting: Plan 3
Ld.4	Landscape Lighting: Plan 4
Ld.5	Landscape Lighting: Specifications
Le.1	Landscape Sections
Le.2	Landscape Sections
Lf.1	Landscape Details - Softscape
Lf.2	Landscape Details - Hardscape
Lf.3	Landscape Details - Site Furnishings

SITE FURNISHINGS		SIZE	MODEL	MANUFACTURER	COMMENT	COLOR	QTY
A1	TIMBER ARBOUR	Varies	WRC	Custom	Wood sill	Stormcloud	3
B1	LAKESIDE PICKET FENCE BENCH	67"	L5800-1	Landscape Forms	Wood sill	Stormcloud	27
B4	WALKWAY	Varies	TBD	Custom		Varies	2
C4	COMPOST BINS	TBD	TBD	Custom			2
P1	POTTLING TABLE	Heavy Timber	Aluminum	Custom	Match Arch. Style	Matte Black	1
F1	FENCE	Aluminum	WRC	Custom		Natural	
F2	SCREEN FENCE	Steel	WRC	Custom		Matte Black	
G1	GATE						

MATERIALS		SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOR	QTY
AB	ALLAN BLOCK WALL		Standard	Allan Block	Aslan Blend Pat.	Rocky Mtn Blend	
CE	CONCRETE EDGE		Cast-In-Place	Custom			
Gr	PEA GRAVEL	<1/2"		Lafarge	Dot Run		
P1	UNIT PAVES		Boardwalk	Barkman	Patio Pavers	Shoreline Slate	
P2	CONCRETE WALKWAY		Cast-In-Place	Custom			
P3	CONCRETE STAIRS	Custom	Cast-In-Place	Sunderland Conc	Graphite (2 lbs 6064)	Dark Grey	
P4	CONCRETE STAIRS	3' x 18" x 4"	Cast-In-Place	Custom	Charcoal Sandblast Finish	Charcoal	
P5	VEHICULAR CONCRETE	10' x 18" x 4"	Cast-In-Place	Barkman	4" depth	Cedar Brown	
P6	GARDEN PAVES	10' x 35" x 2"	Bridgewood	Barkman		natural	
P7	PAVERS 1	24" x 24"	Tevada	Abbotsford Concrete		natural	
P8	PAVERS 2		Piazza	Abbotsford Concrete		Purple	
R1	RUBBER PLAY SURFACE		Pour-In-Place				

PLANT LIST	ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES
TREES	Ag	4	Acer griseum	paperbark maple	as shown	15' full height	full, bushy plants
	Apo	3	Acer palmatum 'Osakazuki'	Japanese maple	as shown	#7 cont.	multistemmed/ bushy plants
	Bn	11	Betula nigra	river birch	as shown	3-4m specimen/ B&B	low branching/ very heights
	Ccf	22	Cercis canadensis forest pansy	Eastern redbud	as shown	5cm cal/ B&B	2m standard/ full crown
	Di	1	Davidia involucrella	dove tree	as shown	5cm B&B	
	Ffd	19	Fagus sylvatica dewyck gold	golden beech	as shown	4m ht. B&B	Full, bushy plants
	Pic	10	Pinus cembra	Swiss Stone Pine	as shown	3.5m ht/ B&B	full/ bushy canopies
	Pse	1	Pseudotsuga menziesii	Douglas Fir	as shown	2.5m ht/ B&B	full/ bushy canopies
	Sil	39	Styrax japonica	Japanese snowbell	as shown	6cm B&B	full/ dense crown
SHRUBS	Al	191	Azalea japonica 'Hino White'	white evergreen azalea		20' #2 cont.	full/ bushy plants
	Azs	73	Azalea schlippenbachii	royal azalea		25' #2 cont.	full/ bushy plants
	Cod	279	Cotoneaster dammeri	beerberry cotoneaster		20' #2 cont.	full/ bushy plants
	Cr	3	Cornus canadensis	Trumpet creeper		30' #2 cont/ staked	full/ bushy plants
	Csp	9	Chaenonelax spiciflora	flowering quince		40' #5 cont.	bushy plants
	Em	4	Echinacea purpurea	Fragrant Dahnie		30' #2 cont.	full/ bushy plants
	Em	94	Echinacea purpurea	Blaze Coneflower		15' #2 cont.	full/ bushy plants
	Es	84	Gaultheria shallon	salal		20' #2 cont.	full/ bushy plants
	Gs	172	Hydrangea paniculata 'Little Lime'	LimeLight Hardy Hydrangea		30' #3 cont.	full/ bushy plants
	Icc	20	Ilex crenata compacta	Japanese Holly		45' 70' #5 cont.	full/ bushy plants
	Icc	191	Ilex crenata compacta	Japanese Holly		15' #5 cont.	full/ bushy plants
	Las-1	112	Liriodie muscari 'Majestic'	Majestic Lilyturf		15' #2 cont.	full/ bushy plants
	Lp	22	Lonicera pileata	box leaf honeysuckle		40' #2 cont.	full/ bushy plants
	Mis	6	Miscanthus sinensis 'Morning Light'	morning light maiden grass		610' #3 cont.	full/ bushy plants
	Mis	569	Miscanthus sinensis 'Morning Light'	morning light maiden grass		20' #3 cont.	full/ bushy plants
	Mr	94	Mahonia repens	Creeping Oregon grape		20' #2 cont.	full/ bushy plants
	Pa	49	Pennisetum alopecuroides	Fountain Grass		25' #4 cont.	full/ bushy
	Pot	49	Physocarpus opulifolius	ninebark		15' #2 cont.	full/ bushy plants
	Pt	563	Potentilla terminalis	Alaska Fern		10' #3' pot	full/ bushy plants
	Rn	50	Rubus idaeus	white rose		30' #2 cont.	full/ bushy plants
	Rn	113	Rubus idaeus	Golden Wonder		10' #2 cont.	full/ bushy plants
	Rng	94	Rubus 'Goldstrut'	Gold Cone		10' #2 cont.	full/ bushy plants
	Rp	94	Rosmarinus officinalis	Common Rosemary		15' #2 cont.	full/ bushy plants
	Rr	94	Rosa rugosa 'Mellozaure'	Pink Mongolian Rose		30' #2 cont.	full/ bushy plants
	Saw	108	Sedum ewersii	Sweet box		15' #1 cont.	Full, bushy plants
	Sh	458	Sarcococca hookeriana	sweet box		15' #2 cont.	Full, bushy plants
	Sk	108	Sedum kimmachi	Mexican sedum		15' #1 cont.	full, bushy plants
	Spa	108	Sedum pachyclados	Gray Stonecrop		15' #1 cont.	full, bushy plants
	Spd	64	Spiraea douglasii	hardhack		25' #2 cont.	full, bushy plants
	Spe	108	Sedum 'Purple Emperor'	autumn Stonecrop		15' #1 cont.	full, bushy plants
	Spl	108	Sedum spurium 'Pink Jewel'	Two-row stonecrop 'Pink Jewel'		15' #1 cont.	full, bushy plants
	Ssi	108	Sedum siboldii	October Daphne		15' #1 cont.	full, bushy plants
	Ssp	108	Sedum spurium 'Green Mantle'	Two-row stonecrop		15' #1 cont.	full, bushy plants
	Tbr	30	Taxus baccata 'Repandens'	swart English yew		30' 1m ht/ B&B	full and bushy
	Tj	9	Trachelospermum jasminoides	star jasmine		15' #2 cont.	staked
	Vh	72	Vaccinium 'Hickel'	Andropogon Fern		15' 1.2m B&B	full, bushy plants
	Vh	303	Vaccinium 'Hickel'	Andropogon Fern		20' #2 cont.	full, bushy plants
	Vn	16	Viburnum opulus 'Roseum'	snowball tree		15' #2 cont.	full, bushy plants
	Vn	16	Viburnum opulus 'Roseum'	snowball tree		35' 1m high B&B	full/ bushy plants
	Vv	27	Viburnum plicatum f. tomentosum	doublefile viburnum		35' 1m high B&B	full/ bushy plants
	Vva	10	Vitis vinifera atropurpurea	Purple Leaf Grape		30' #2 cont/ staked	full/ bushy plants
	Vvc	10	Vitis vinifera concord	Concord Grape		0' #2 cont.	staked
		0				0'	
GROUNDCOVERS/ PERENNIALS							
LAWN				Non-Netted, grown on sand			

NOTES:
 1. ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE BC LANDSCAPE STANDARDS FOR LEVEL 2 'GROOMED LANDSCAPE TREATMENT' IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.
 2. SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON



Plan 2

Plan 4

Plan 1

Plan 3

Property Line
Outline of parkade below

4008 Stolberg Street

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No.	Date	Revision Notes
C	18-9-28	Issued for RCP addressing ADP comments
B	18-9-20	Issued for RCP
A	18-8-7	Issue for ADP

Zone	Approvals	No.	Date	Issue Notes

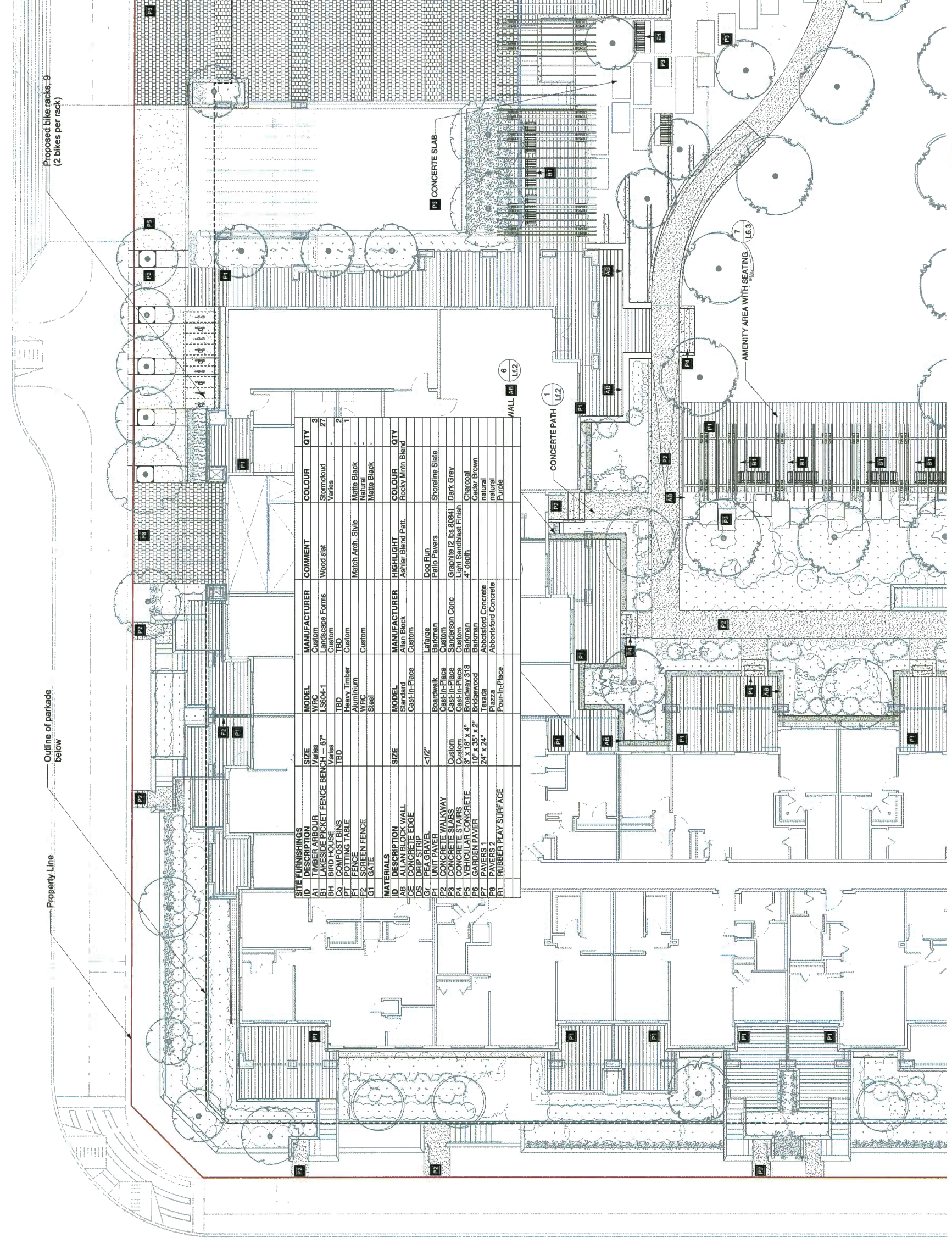
No.	Date	Revision Notes

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Project No: 21746
Client: NTS
Drawing No:
Date: 05/12/2017
Project: 4008 Stolberg Street

Lb. 0
of 30

DP 1 / 174280



NOTE:
Refer to Materials Schedule on Cover Sheet



Project No. 21748
 Drawing No. DT
 Scale 1:100
 Date 06/12/2017
 Project Name 4008 Stolberg Street
 Drawing Title Landscape Materials Plan 1
 Designer eta
 Project Manager
 Designer
 Checker
 Date
 Project Name
 Drawing Title
 Designer
 Project Manager
 Designer
 Checker
 Date

18-9-28 Issued for RFP addressing ADP comments
 19-9-20 Issued for RFP
 19-6-7 Issue for ADP

Revision Notes
 No. Approvals No. Date

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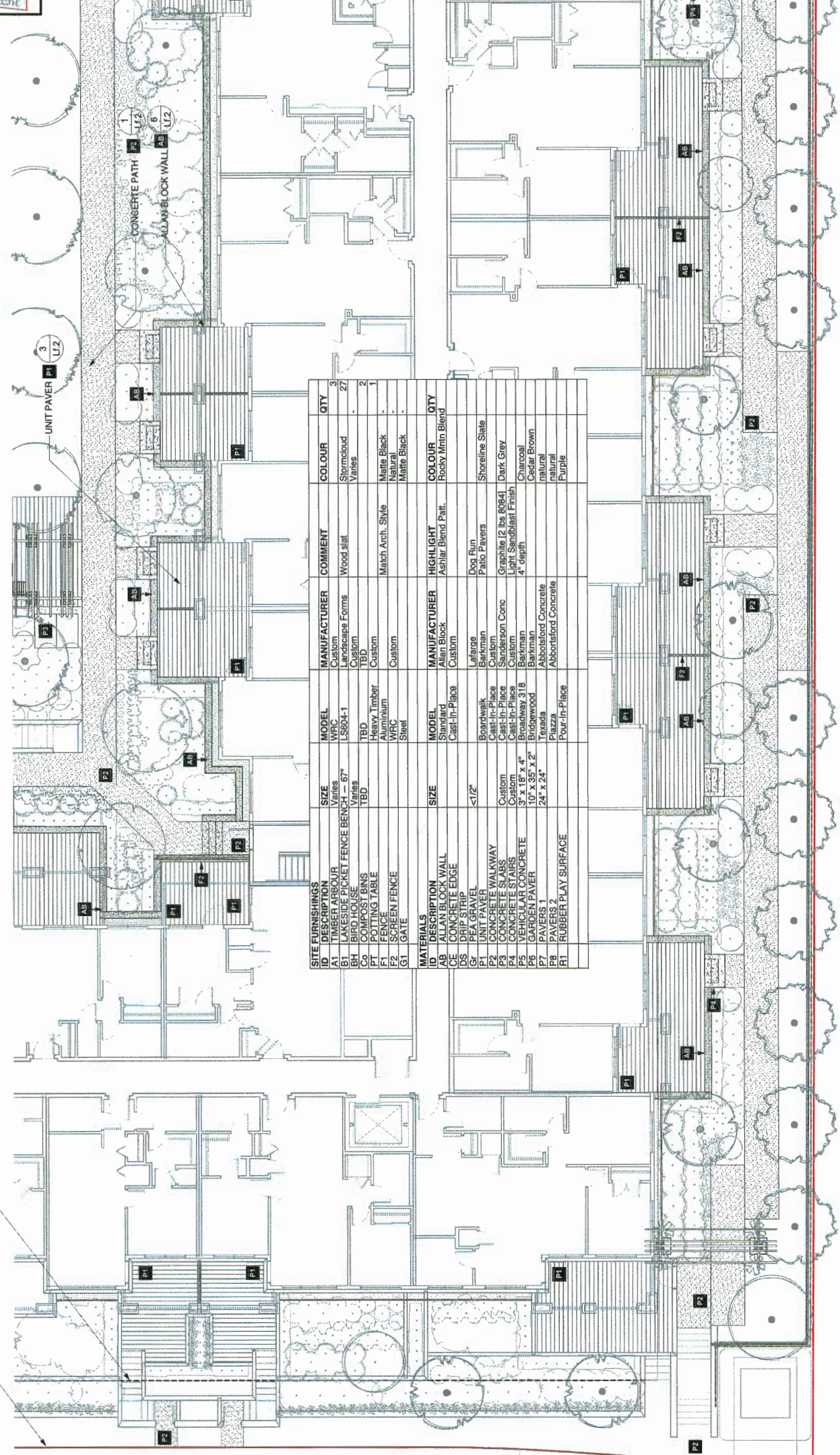
4008 Stolberg Street
 Landscape Materials
 Plan 1

Lb.1
 of
 30

DP 17-794 280-36



Property Line
Outline of parkade
below



SITE FURNISHINGS			
ID	DESCRIPTION	SIZE	MANUFACTURER
A1	TIMBER ARBOUR	Varies	Custom
B1	LAKESIDE PICKET FENCE BENCH - 67"	Varies	LS804-1
BH	BIRDHOUSE	Varies	Custom
C0	COMPOST BINS	TBD	BD
F0	COMPOST TABLE	TBD	Custom
F1	FENCE	Aluminum	Custom
F2	SCREEN FENCE	WRC	Custom
G1	GATE	Steel	Custom
MATERIALS			
ID	DESCRIPTION	SIZE	MANUFACTURER
CE	CONCRETE WALL		AluBlock
CE	CONCRETE EDGE		Custom
DS	DRIP STRIP		Cast-In-Place
G1	PEA GRAVEL	<1/2"	Lafarge
P1	UNIT PAVES		Barkman
P2	CONCRETE WALKWAY		Custom
P3	CONCRETE SLABS		Cast-In-Place
P4	CONCRETE CURB	Custom	Sanderson Conc
P5	VEHICULAR CONCRETE	3" 18" x 4"	Barkman
P6	GARDEN PAVES	10" x 35" x 2"	Barkman
P7	PAVERS 1	24" x 24"	Abbotsford Concrete
P8	PAVERS 2		Abbotsford Concrete
R1	RUBBER PLAY SURFACE		Pour-In-Place

NOTE:
Refer to Materials Schedule on Cover Sheet



4008 Stolberg Street

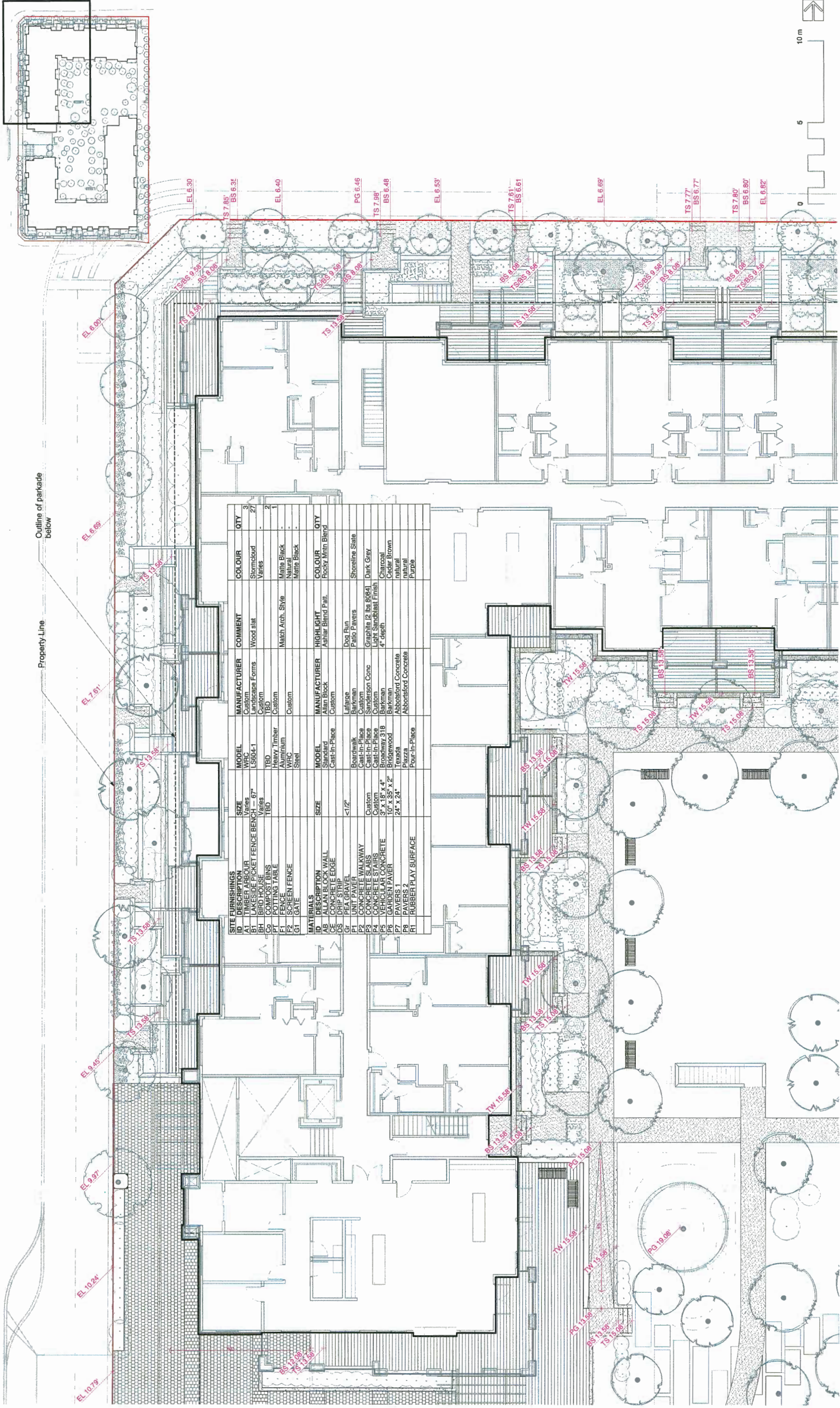
Landscape Materials
Plan 3

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No.	Date	Revision Notes
C	18-9-28	Issued for R4DP addressing ADP comments
B	18-9-20	Issued for R4DP
A	18-5-7	Issue for ADP

Project No: 21748
Drawn By: DT
Checked By: DT
Date: 06/12/2017
Scale: 1:100
Drawing No: Lb.3 of 30
Project Name: 4008 Stolberg Street

DP 1/1-1/24 280-38



Property Line
Outline of parkade
below

SITE FURNISHINGS		SIZE	MANUFACTURER	COMMENT	COLOUR	QTY
A1	TIMBER ARBOUR	Varies	Custom	Wood slat	Stormcloud	3
B1	LAKE SIDE PICKET FENCE BENCH - 67"	Varies	Landscape Forms	Wood slat	Varies	27
BH	BIRD HOUSE	Varies	Custom			2
C0	COMPOST BINS	TBD	TBD			1
F1	FEEDING TABLE	Varies	Custom	Match Arch. Style	White Black	2
F2	SCREEN FENCE	Varies	Custom		Natural	1
G1	GATE	Varies	Custom		White Black	1

MATERIALS		SIZE	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
AB	ALLAN BLOCK WALL	Standard	Allan Block	Astlar Blend Pall.	Rocky Minn Blend	
OS	DRIP STRIP	Standard	Custom			
G2	PEA GRAVEL	<1/2"	Lafarge	Doat Run	Shoreline Slate	
P1	UNIT PAVEMENT	Custom	Barkman	Patio Pavers	Dark Grey	
P2	CONCRETE WALKWAY	Custom	Custom	Graphite 12 lbs 8064J	Dark Grey	
P3	CONCRETE SLABS	Custom	Sanderson Conc	Light Sandblast Finish	Charcoal	
P4	CONCRETE STAIRS	Custom	Custom	4" Depth	Charcoal	
P5	CIRCULAR CONCRETE	3' x 18" 4"	Barkman		Charcoal	
P6	CONCRETE PAVEMENT	24' x 24'	Abbottford Concrete		natural	
P7	PAVERS 1	24' x 24'	Abbottford Concrete		Purple	
P8	PAVERS 2	24' x 24'	Abbottford Concrete		Purple	
R1	RUBBER PLAY SURFACE	Pour-In-Place				

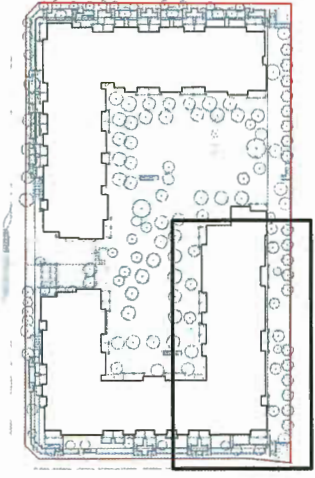
No.	Date	Revision Notes	Zone	Approvals	No.	Date	Issue Notes
C	18-9-28	Issued for RDP addressing ADP comments					
B	18-9-20	Issued for RDP					
A	18-6-7	Issue for ADP					

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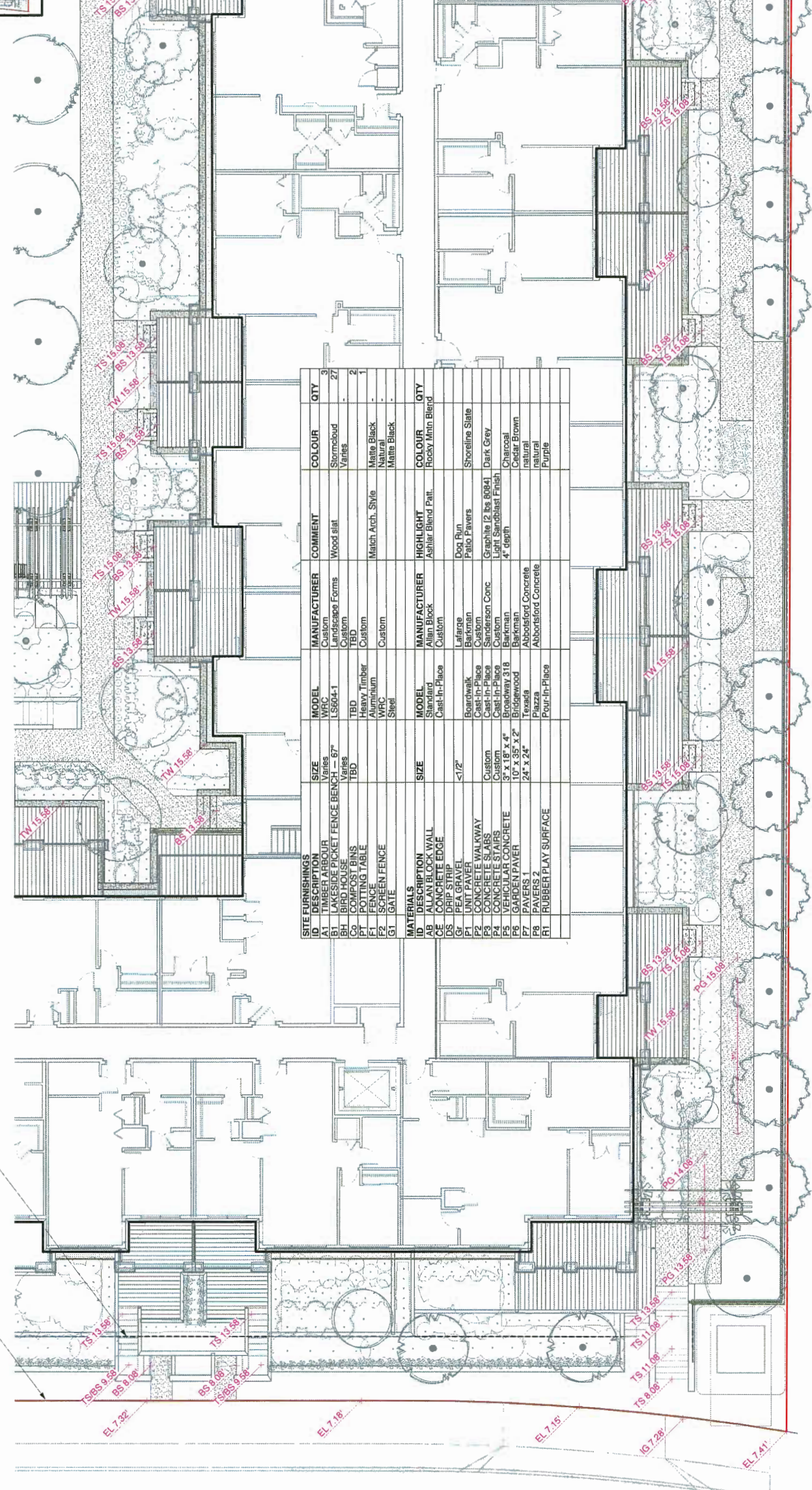
Project Name: 4008 Stolberg Street
 Drawing Title: Landscape Grading Plan 2

Project Number: 21748
 Date: 08/12/2017
 Scale: 1:100
 Drawing No: 30
 Lb.7 of 30

DP 17-174280-42



Property Line
Outline of parkade
below



SITE FURNISHINGS			
ID	DESCRIPTION	SIZE	QTY
A1	TIMBER ARBOUR	Varies	3
B1	LAKESIDE PICKET FENCE BENCH - 67"	Varies	27
BH	BIRD HOUSE	Varies	27
C0	COMPOST BINS	TBD	2
E1	POTTING TABLE	Heavy Timber	1
F1	SCREEN FENCE	WPC	1
F2	SCREEN FENCE	WPC	1
G1	GATE	Steel	1
MATERIALS			
ID	DESCRIPTION	SIZE	QTY
A0	ALLAN BLOCK WALL	Standard	Rocky Minn Blend
D0	DRIP STRIP	Cast-In-Place	Custom
D1	DRIP STRIP	Cast-In-Place	Custom
D2	DRIP STRIP	Cast-In-Place	Custom
D3	DRIP STRIP	Cast-In-Place	Custom
D4	DRIP STRIP	Cast-In-Place	Custom
D5	DRIP STRIP	Cast-In-Place	Custom
D6	DRIP STRIP	Cast-In-Place	Custom
D7	DRIP STRIP	Cast-In-Place	Custom
D8	DRIP STRIP	Cast-In-Place	Custom
D9	DRIP STRIP	Cast-In-Place	Custom
D10	DRIP STRIP	Cast-In-Place	Custom
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D97	DRIP STRIP	Cast-In-Place	Custom
D98	DRIP STRIP	Cast-In-Place	Custom
D99	DRIP STRIP	Cast-In-Place	Custom
D100	DRIP STRIP	Cast-In-Place	Custom



Project Name: 4008 Stolberg Street
 Project No: 21748
 Drawing No: 11100
 Date: 08/12/2017
 Drawn By: VG
 Checked By: VG
 Project Manager: VG
 Client: 21748 4008 Stolberg Street

Revision Notes

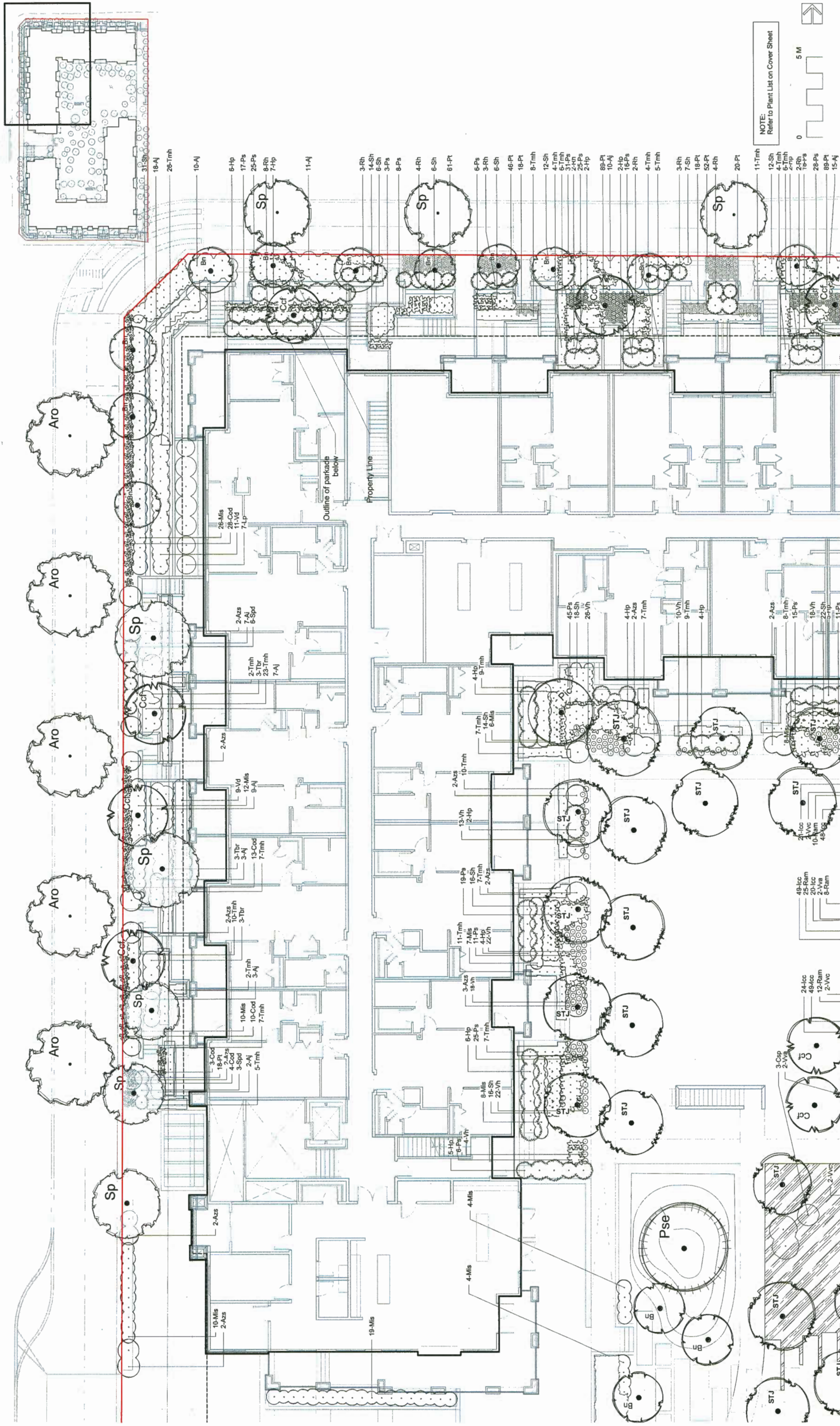
No.	Date	Zone	Approvals	No.	Date	Issue Notes
C	18-9-23					Issued for RCDP addressing ADP comments
B	18-9-20					Issued for RCDP
A	18-6-7					Issue for ADP

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Landscaping Grading
 Plan 3

Lb. 8
 of
 30

DP 17-794200-4



NOTE: Refer to Plant List on Cover Sheet



Project No. 21748
 Date: 08/12/2017
 Drawing No. 1:100
 of 30
 LC.2

4008 Stolberg Street

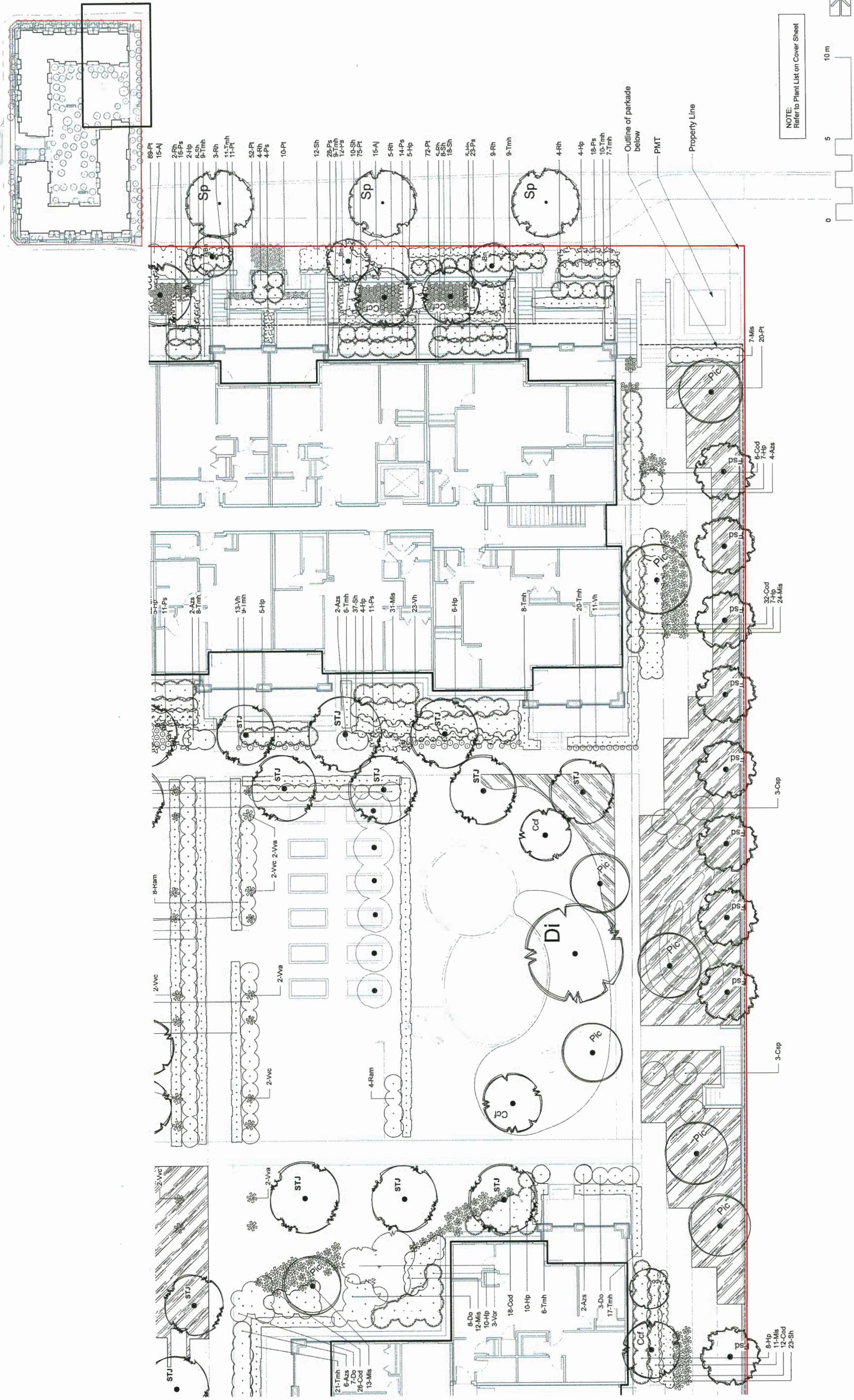
Landscape Planning
 Plan 2

18-09-28 Issued for RCP addressing ADP comments
 18-09-20 Issued for RCP
 18-05-17 Issue for ADP

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No.	Date	Revision Notes	Zone	Approvals	No.	Date	Issue Notes
C	18-09-28	Issued for RCP addressing ADP comments					
B	18-09-20	Issued for RCP					
A	18-05-17	Issue for ADP					

OP 1/17-17420U-46



Project No. 21748
 Date 06/12/2017
 Drawing No. 30

Project Name: 4008 Stolberg Street
 Drawing Title: Landscape Planning Plan 4

Author: DT
 Designer: DT
 Checker: DT

Scale: 1:100

Project Address: 4008 Stolberg Street

Company: eta landscape architecture
 1690 West 2nd Avenue
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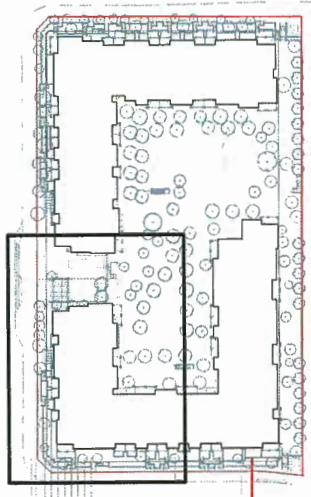
Revision Notes:

No.	Date	Zone	Approvals	No.	Date	Issue Notes
C	19-9-28					Issued for R4DP addressing ADP comments
B	18-9-20					Issued for R4DP
A	18-6-7					Issue for ADP

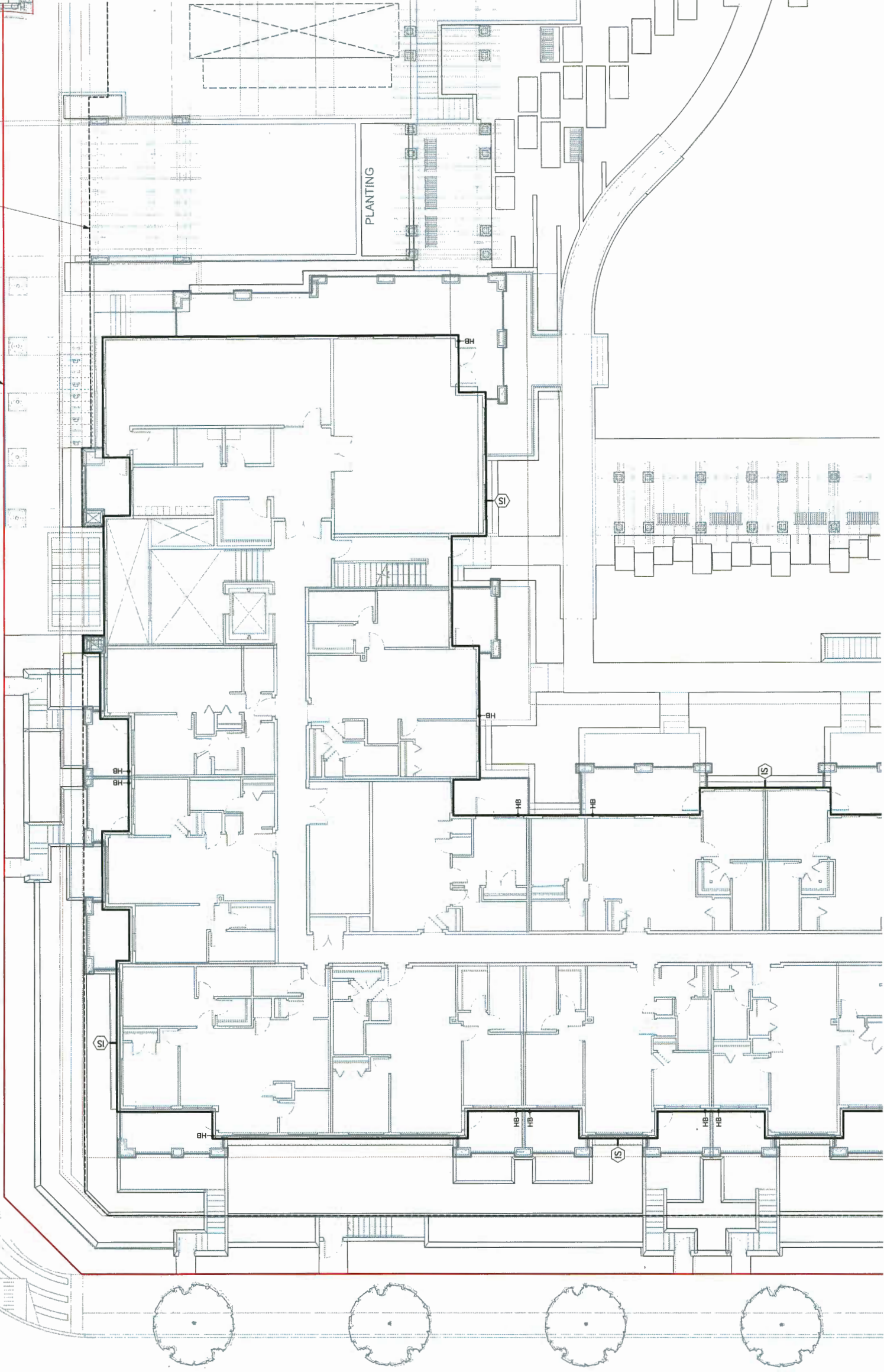
Project Engineer: DT
 Date: 06/12/2017
 Drawing No.: 30

DP 17-794280-48

LC.4



Property Line
Outline of parkade below



LEGEND

- AREAS TO BE IRRIGATED ← HB HOSE BIB
- ⊕ IRRIGATION STUB OUT



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No.	Date	Zone	Approvals	No.	Date	Revision Notes
C	18-9-28					Issued for RfDP addressing ADP comments
B	18-9-20					Issued for RfDP
A	18-6-7					Issue for ADP

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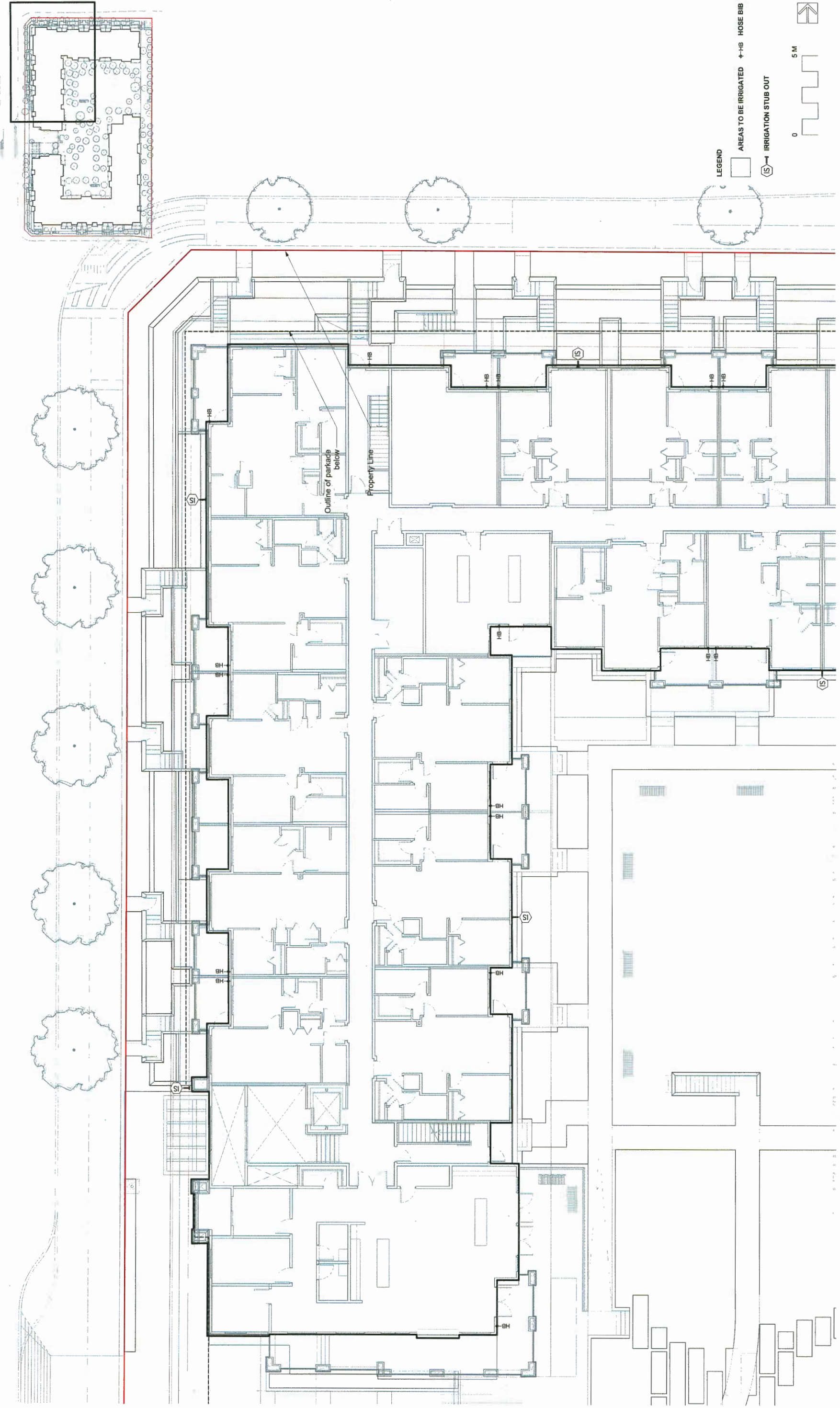
Project No. 21748
Drawn By JG
Checked By
Date 06/12/2017
Project Name 4008 Stolberg Street

Irrigation Planning
Plan 1

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LC-5
of
30

DP 11-174280-49



Project Name: 4008 Stolberg Street
 Project No.: 21748
 Date: 08/12/2017
 Scale: 1:100
 Drawing No.: LC.6
 of 30

Designer: eta landscape architecture
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Issued for RCP addressing ADP comments
 18-9-28
 Issued for RCP
 18-9-20
 Issue for ADP
 18-8-7
 Issue Notes

No.	Date	Revision Notes
C	18-9-28	Issued for RCP addressing ADP comments
B	18-9-20	Issued for RCP
A	18-8-7	Issue for ADP

Legend:
 □ AREAS TO BE IRRIGATED
 ○ SI IRRIGATION STUB OUT
 ○ HB HOSE BIB

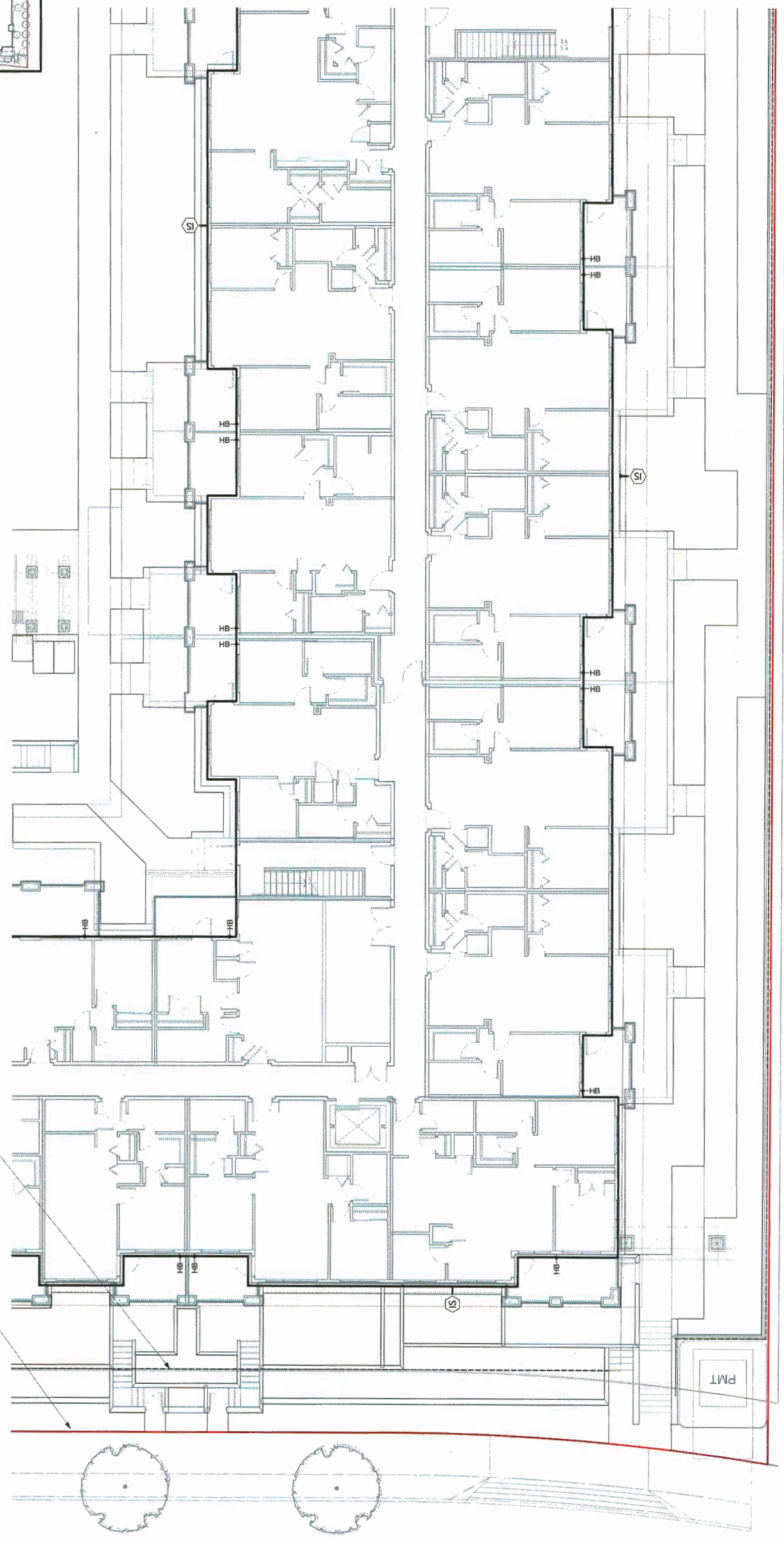
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North Arrow

OP 17774280-50



Property Line
Outline of parkade below



LEGEND
 □ AREAS TO BE IRRIGATED
 → HB HOSE BIB
 (S) IRRIGATION STUB OUT



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No.	Date	Revision Notes	Zone	Approvals	No.	Date	Issue Notes
C	18-9-28	Issued for RCDP addressing ADP comments					
B	18-9-20	Issued for RCDP					
A	18-6-7	Issue for ADP					

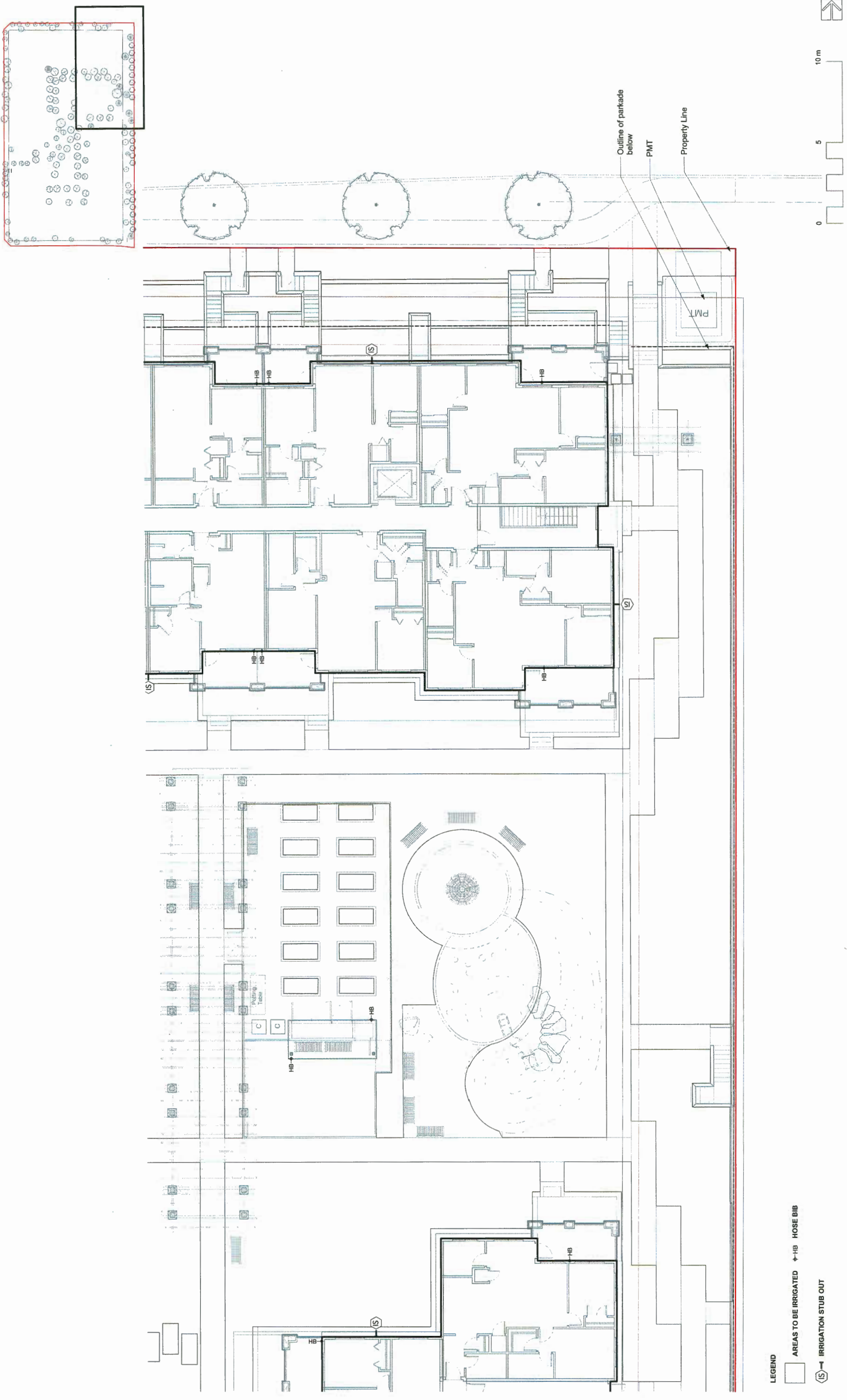
Project Title: 4008 Stolberg Street

Drawing Title: Landscape Irrigation Plan 3

Project Number: 21748
 Drawn By: VG
 Checked By: DT
 Date: 06/12/2017
 Scale: 1:100
 Drawing No.: 21748-008-Stolberg-ave

Lc.7 of 30

OP 17-174280-51



LEGEND
 □ AREAS TO BE IRRIGATED
 ← HB HOSE BIB
 (S) IRRIGATION STUB OUT

4008 Stolberg Street

Irrigation Planning
 Plan 4

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C	18-9-28	Issued for RfDP addressing ADP comments					
B	18-9-20	Issued for RfDP					
A	18-8-7	Issue for ADP					

Project No. 21748
 Date: 06/12/2017
 Scale: 1:100
 Drawing No. LC-8 of 30
 Designer: PM, 2016 Sep 28
 Checker: PM, 2016 Sep 28
 Project: 21748 4008 Stolberg Ave

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OP 17-794280-52



Project No: 21748
 Project Name: 4008 Stolberg Street
 Drawing No: Landscape Lighting Plan 1
 Date: 06/12/2017
 Scale: 1:100
 Drawing By: DT
 Checked By: DT
 Project Manager: DT
 Client: DT

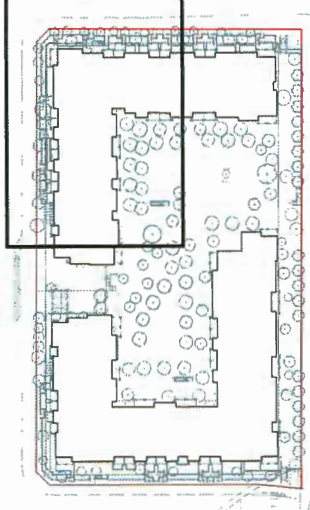
Revision Notes:

No.	Date	Zone	Approvals	No.	Date	Issue Notes
C	18-9-28					Issued for RfCP addressing ADP comments
B	18-6-20					Issued for RfCP
A	18-6-7					Issue for ADP

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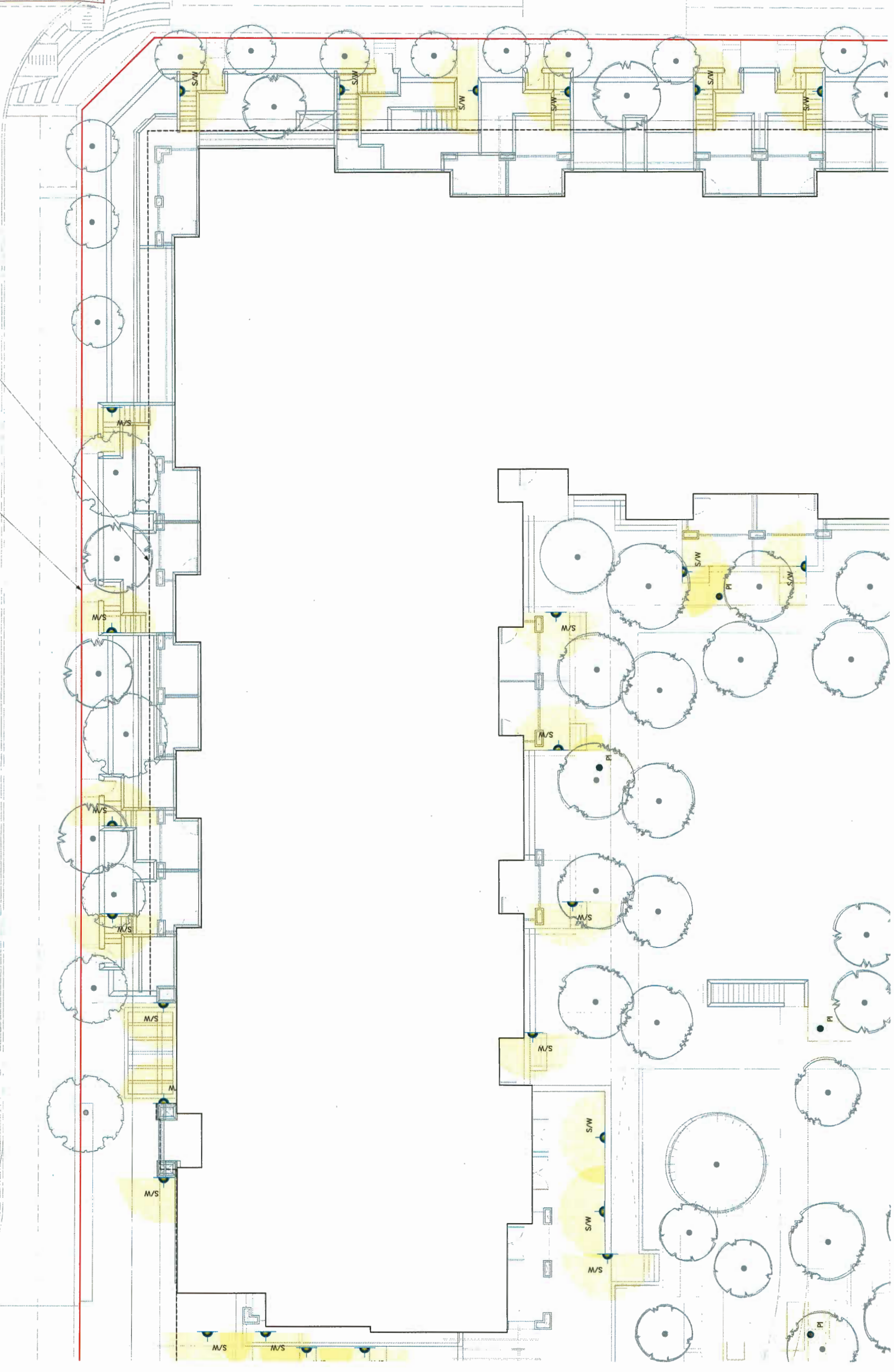
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Ld.1
 of
 30
 DP 11-174280-53



Property Line

Outline of parkade below



LEGEND:

- S/W
- PI
- Bollard
- Downlight



4008 Stolberg Street

landscape architecture

Project No. 21748

Scale 1:100

Date 08/12/2017

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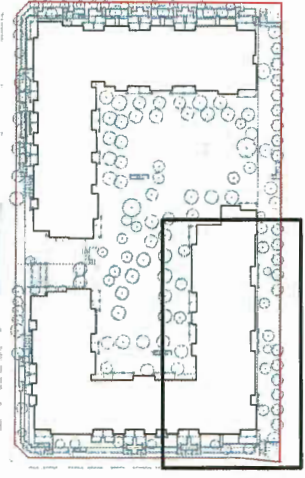
No.	Date	Revision Notes	Zone	Approvals	No.	Date	Issue Notes

Landscape Lighting
Plan 2

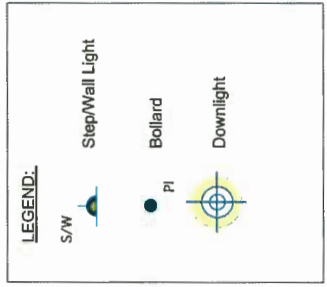
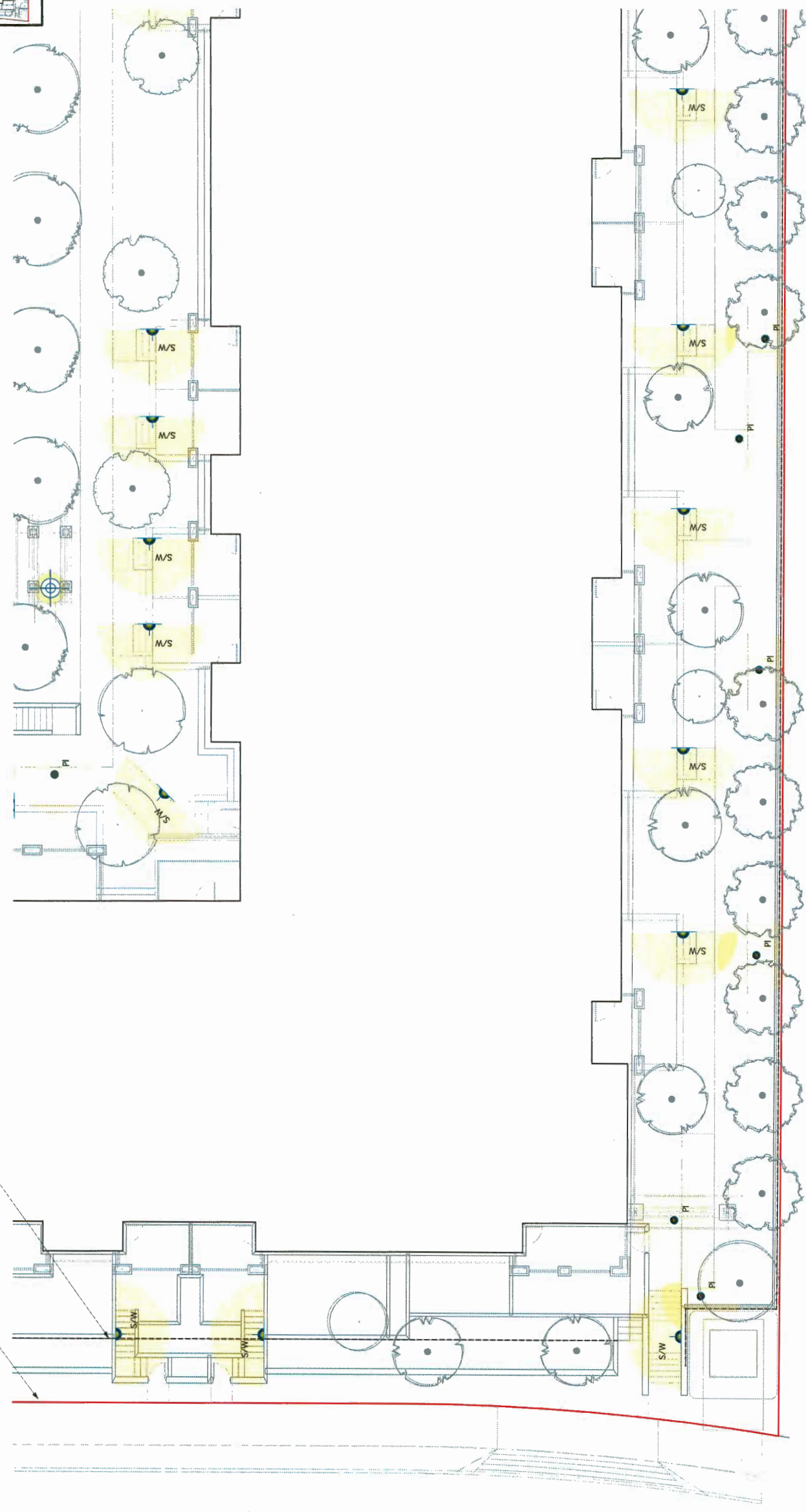
Ld.2

Of 30

DP 17-174280-54



Property Line
Outline of parkade below



Project No: 4008 Stolberg Street
 Project Name: Landscape Lighting Plan 3
 Date: 06/12/2017
 Drawn By: DT
 Checked By: DT
 Project No: 21748
 Date: 11:00
 Drawing No:

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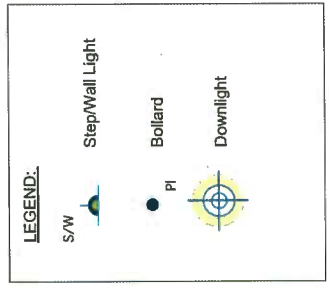
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No.	Date	Revision Notes	Zone	Approvals	No.	Date	Issue Notes
C	18-5-26	Issued for RCDP addressing ADP comments					
B	18-5-26	Issued for RCDP					
A	18-6-7	Issue for ADP					

Ld.3

30 of 30

OP 17-794280-SS



Project No. 21748
 Drawing No. 1:100
 Date: 08/12/2017
 Drawn By: DT
 Checked By: DT
 Reviewed By: DT
 Project: 4008 Stolberg Street
 Drawing Title: Landscape Lighting Plan 4
 Revision Notes:

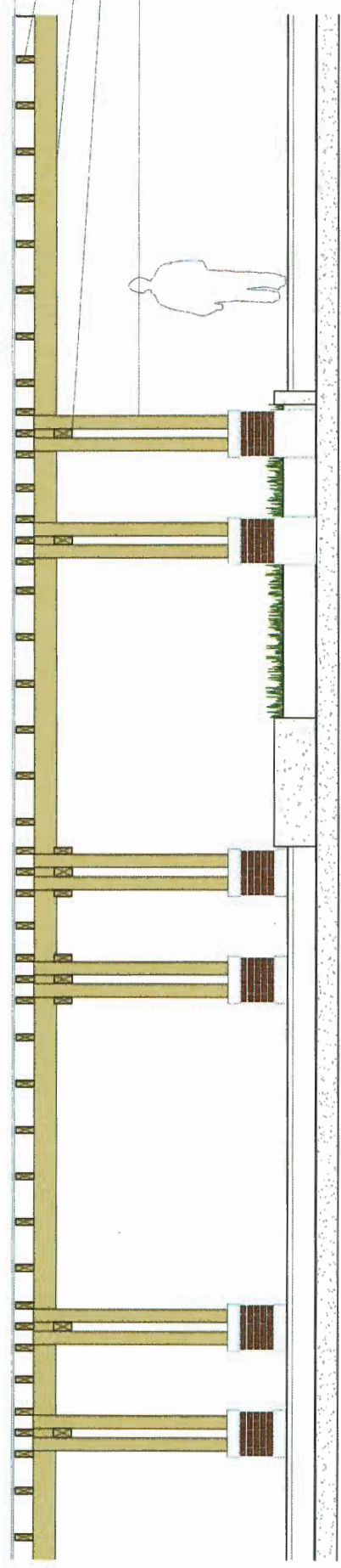
No.	Date	Zone	Approvals	No.	Date	Revision Notes
C	18-9-28					Issued for RldP addressing ADP comments
B	18-9-20					Issued for RldP
A	18-6-7					Issue for ADP
						Issue Notes

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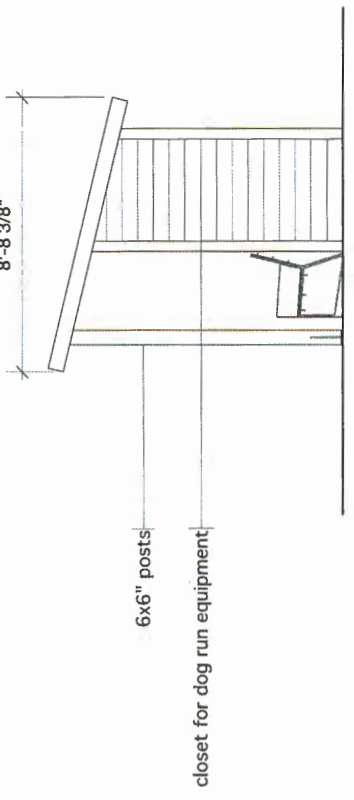
DP 17-174280-56 Ld.4 of 30

Glass cover
3x8 rafters
4x10" beams
4x8" beams
6x6" posts

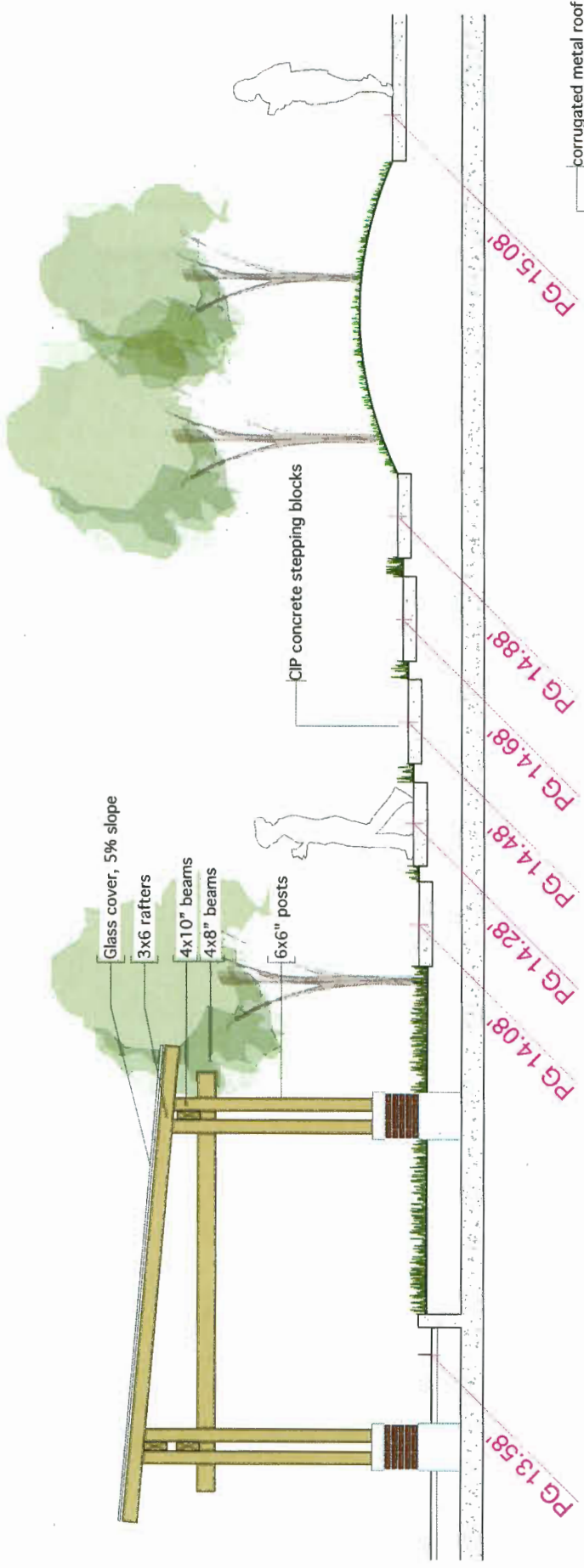


1 Section: West Courtyard and Trellis
Scale: 3/8" = 1'-0"

8'-8 3/8"



6x6" posts
closet for dog run equipment



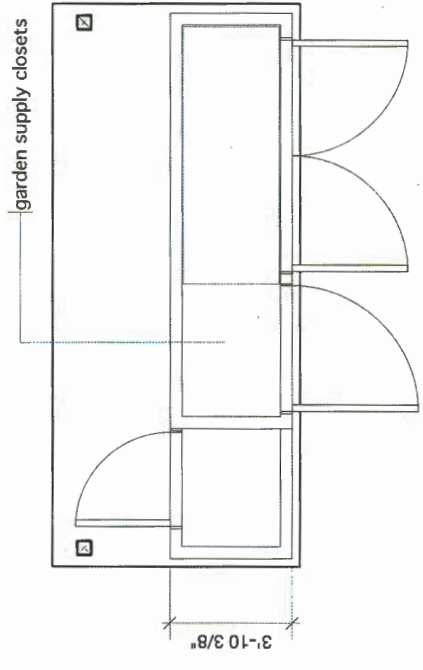
Glass cover, 5% slope
3x6 rafters
4x10" beams
4x8" beams
6x6" posts

CIP concrete stepping blocks

corrugated metal roof

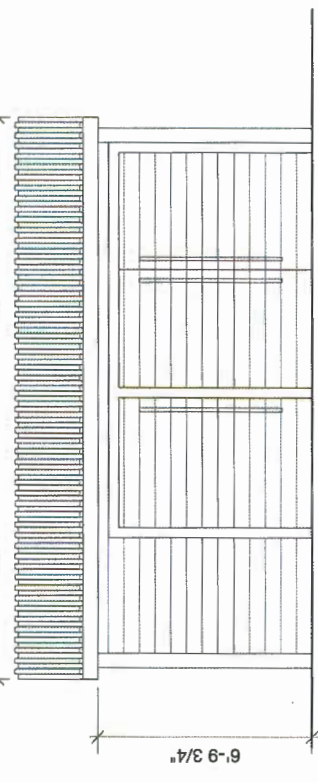
2 North: Courtyard and Trellis
Scale: 3/8" = 1'-0"

NOTE:
Other arbours to be detailed similarly.



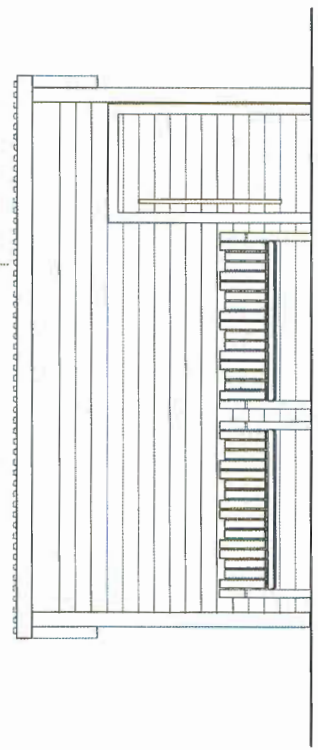
3'-10 3/8"

17'-9 7/8"



6'-9 3/4"

3 Elevation: Garden Storage Shed
Scale: 3/8" = 1'-0"



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No.	Date	Zone	Approvals	No.	Date	Issue Notes
C	18-5-26					Issued for RCP addressing ADP comments
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A	18-6-7					Issue for ADP

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No. Date

Revision Notes

Zone Approvals No. Date Issue Notes

Issued for RCP addressing ADP comments
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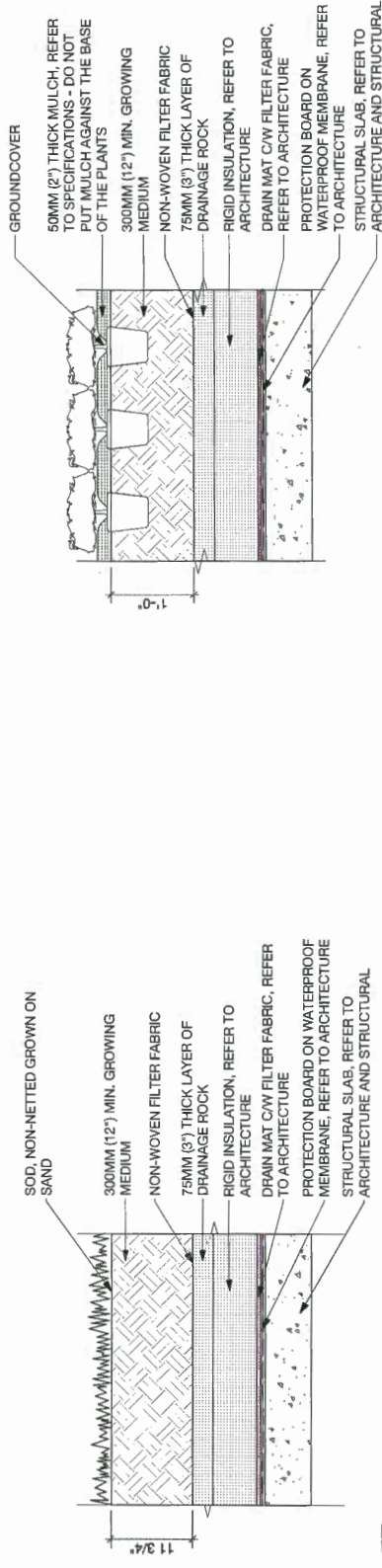
Zone Approvals No. Date Issue Notes

Revision Notes

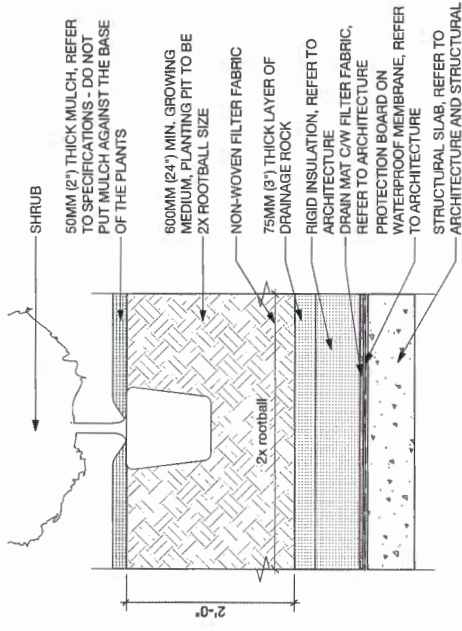
No. Date

Project No. 21746
Drawn as noted
Checked by
Reviewed by
Date 06/12/2017
Project 4008 Stolberg Street
Sheet 30 of 30

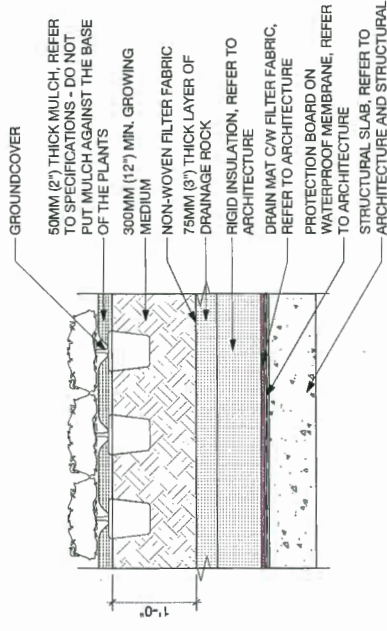
DP 11 / 1744200-58



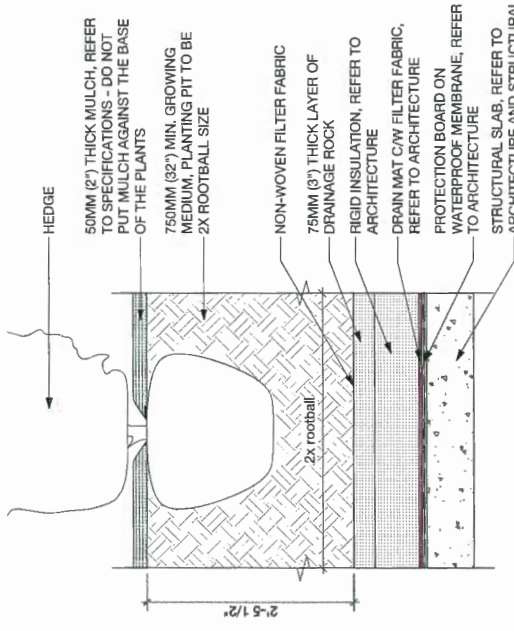
1 Detail: Sod on Slab - typical
Scale: 1" = 1'-0"



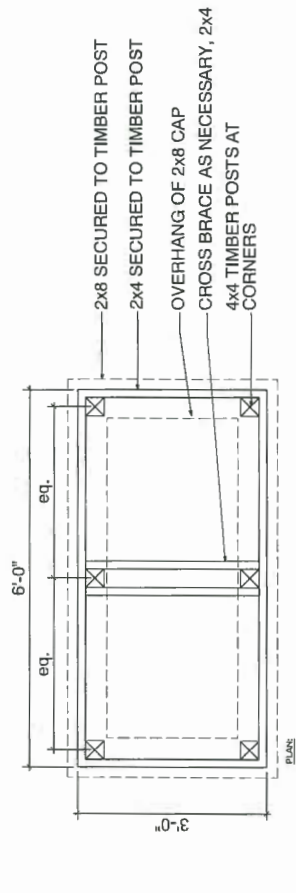
3 Detail: Shrub on Slab - typical
Scale: 1" = 1'-0"



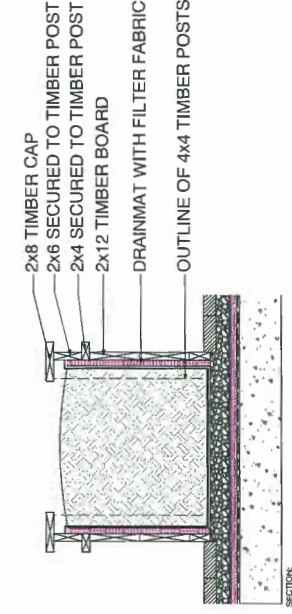
2 Detail: Groundcover on Slab - typical
Scale: 1" = 1'-0"



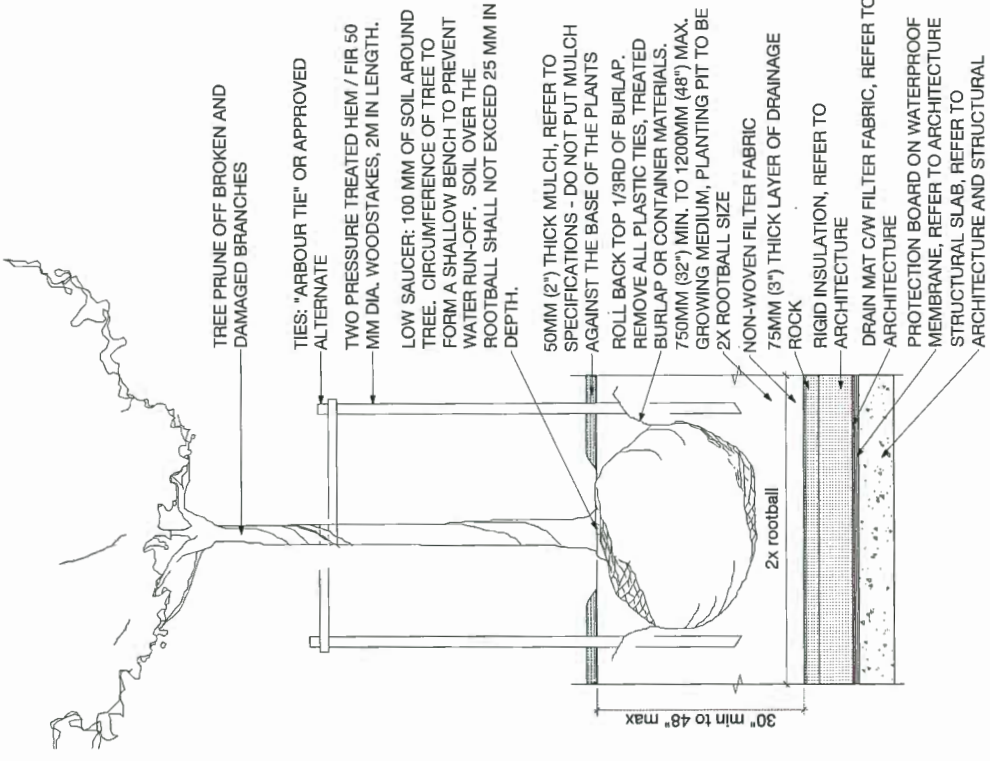
4 Detail: Hedge on Slab - typical
Scale: 1" = 1'-0"



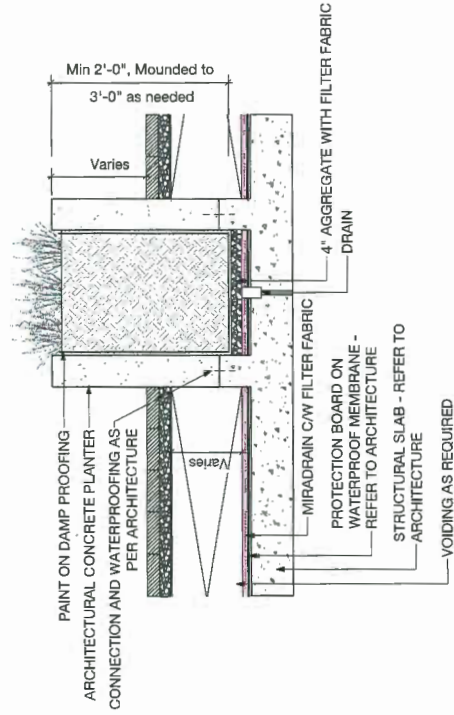
6 Detail: Timber Planter - typical
Scale: 3/4" = 1'-0"



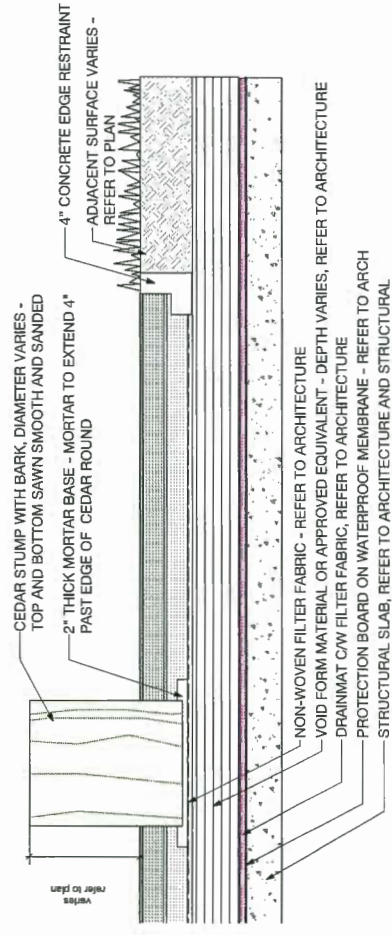
7 Detail: Concrete Planter - typical
Scale: 3/4" = 1'-0"



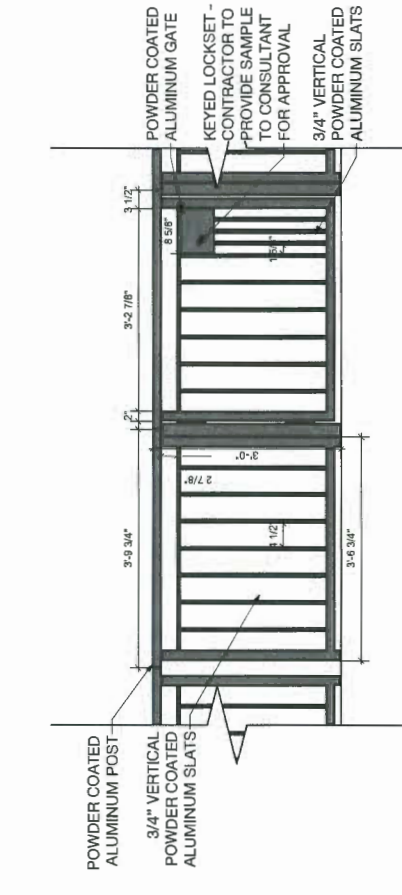
5 Detail: Tree on Slab - typical
Scale: 3/4" = 1'-0"



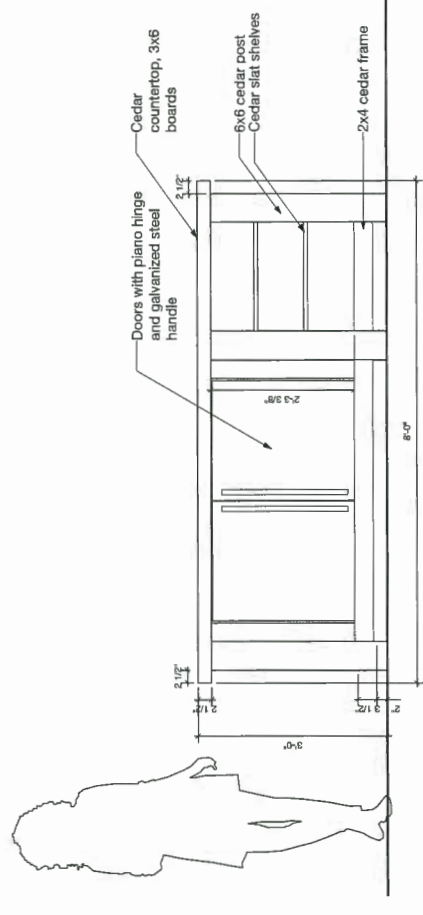
8 Detail: Concrete Planter - typical
Scale: 3/4" = 1'-0"



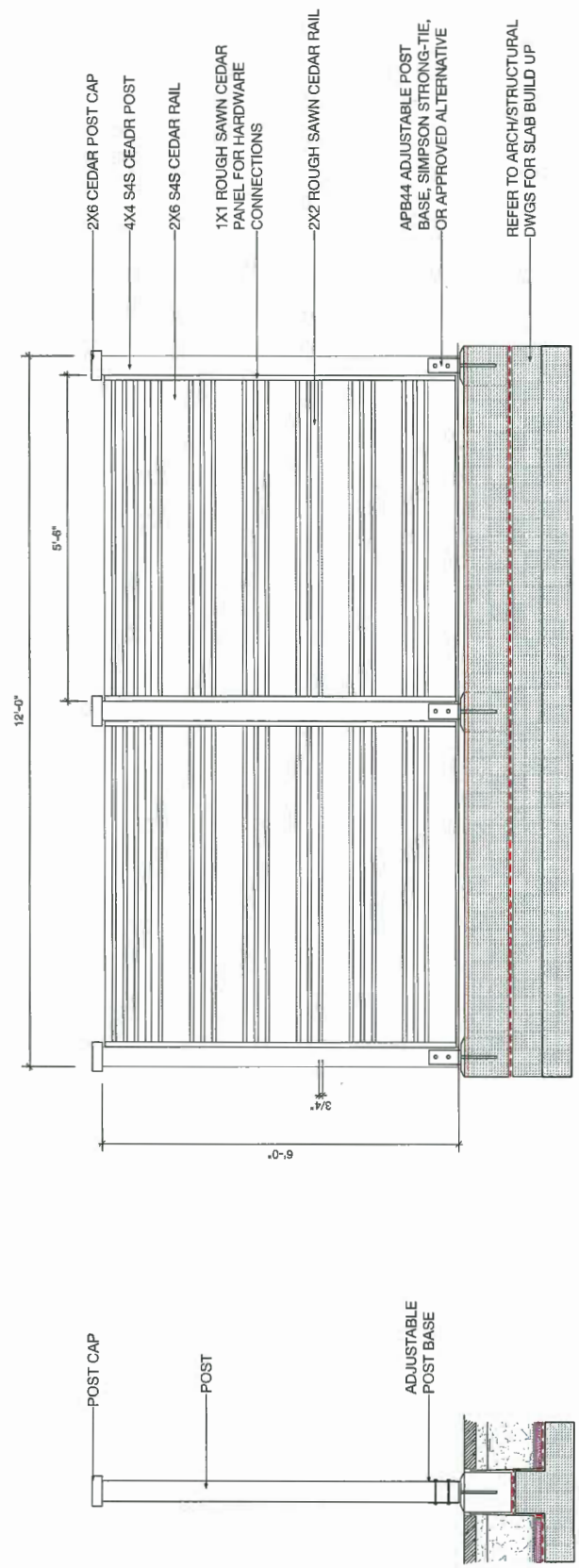
3 Detail: Pour-In-Place Resilient Surfacing w/ Cedar Stump and Edge Restraint
Scale: 3/4" = 1'-0"



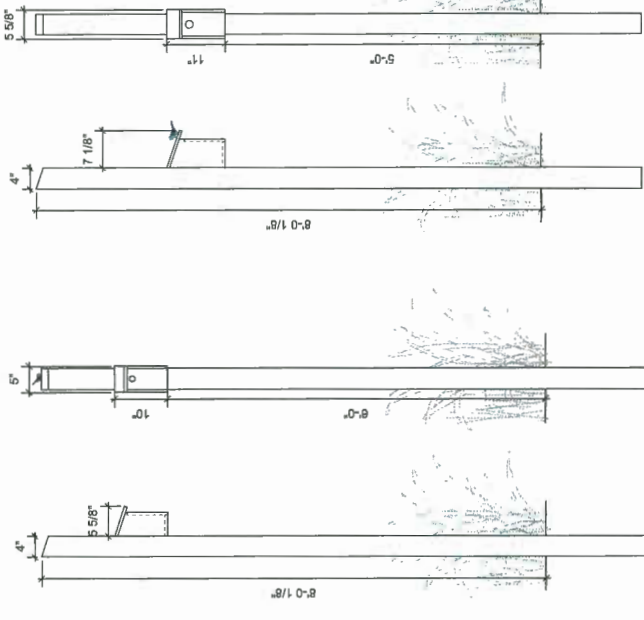
4 Detail: Aluminum Fence w/ Gate
Scale: 3/4" = 1'-0"



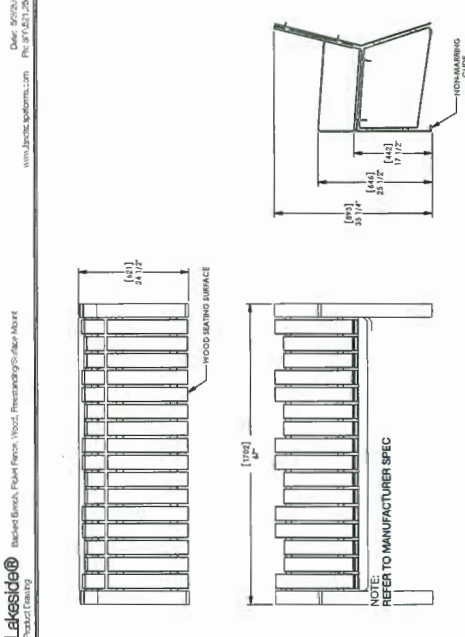
5 Detail: Potting Table
Scale: 3/4" = 1'-0"



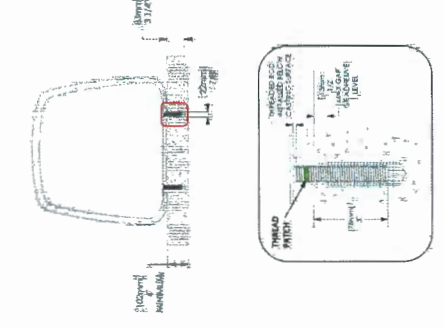
7 Detail: Western Red Cedar Screen Fence
Scale: 3/4" = 1'-0"



6 Detail: Bird Houses
Scale: 3/4" = 1'-0"



8 Detail: "Lakeside" Bench
Scale: 3/4" = 1'-0"



9 Detail: "Ride" Bike Rack
Scale: 3/4" = 1'-0"

No.	Date	Revision Notes
B	18-5-20	Issued for RICDP
A	18-6-7	Issue for ADP
		Date
		Zone
		Approvals
		No.
		Date
		Revision Notes
		Issue Notes

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Design Title: Landscape Details Site Furnishings

Project ID: 21748
Drawn by: DT
Checked by: DT
Reviewed by:
Date: 06/12/2017
Scale: 1/8" = 1'-0"
Sheet No.: 1942800-62
L.f.3 of 30

DP 17-1942800-62

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NO.	DATE	DESCRIPTION

DATE	DESCRIPTION
22.03.2017	DP SUBMISSION
06.04.2018	PARTIAL DP REVISION
12.05.2018	DP REVISION
02.06.2018	RE-SIGNED POE DP
26.08.2018	RE-SIGNED POE DP

NO.	DATE	DESCRIPTION

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TEL: (604) 687-4741

PROJECT
RESIDENTIAL DEVELOPMENT
400864018 STOLBERG ST
RICHMOND, BC

DATE	21.03.2018
SCALE	1:1000
PROJECT NO.	564
SHEET TITLE	CONTEXT PHOTOS

REVISION NO.	-
SHEET NO.	AO.1



LOOKING SOUTH - WEST FROM CAMBIE ROAD



LOOKING SOUTH - WEST FROM CAMBIE ROAD



LOOKING SOUTH - EAST FROM CAMBIE ROAD



LOOKING SOUTH - EAST FROM CAMBIE ROAD



LOOKING SOUTHEAST FROM CAMBIE ROAD



LOOKING SOUTH FROM STOLBERG STREET



LOOKING NORTH - EAST FROM CAMBIE ROAD



LOOKING WEST FROM CAMBIE ROAD



LOOKING SOUTH FROM CAMBIE ROAD



SITE CONTEXT & VICINITY PLAN



DP 11-194280 - Reference