

Report to Development Permit Panel

То:	Development Permit Panel
From:	Wayne Craig Director, Development

Date: September 5, 2023 **File:** DP 22-023105

Re: Application by 6333 Cooney Road Limited Partnership for a Development Permit at 6333 Cooney Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of a high-rise building containing approximately 81 dwelling units at 6333 Cooney Road on a site zoned "High Rise Apartment (ZHR8) – Brighouse Village (City Centre)".

Wayne Craig Director, Development (604-247-4625)

WC:ak Att. 3

Staff Report

Origin

6333 Cooney Road Limited Partnership on behalf of Cooney Mansions Nominee Ltd. (Directors: Ian Gillespie and Grant Pittam), has applied to the City of Richmond for permission to develop a high-rise building containing approximately 81 dwelling units at 6333 Cooney Road on a site zoned "High Rise Apartment (ZHR8) – Brighouse Village (City Centre)". The site is currently vacant.

The site is zoned "High Rise Apartment (ZHR8) – Brighouse Village (City Centre)". Zoning Bylaw 8500, Amendment Bylaw 8738 (RZ 09-506908) and associated Development Permit (DP 09-506909) were approved by Council on April 10, 2012, and Building Permits issued in 2013. The development did not proceed to construction and the Building Permit was cancelled in 2014. In 2014, the Development Permit expired and the associated Servicing Agreement (SA 11-583906) was closed. Subsequently, a new Development Permit (DP 17-791045) was issued in July 22, 2022. The site was then sold and given the number of changes to the design, character and parking proposed, a new Development Permit (DP 22-023105) was required.

There is an associated Servicing Agreement (SA 19-858294) under staff review, which will be required as a condition of this Development Permit's (DP) issuance. An update to the SA design drawings to reflect current design standards and a new Letter of Credit security are required as a condition of DP issuance. The Servicing Agreement includes, but is not limited to, the design and construction of the new City lane, Cooney Road frontage improvements including new sidewalk and boulevard improvements and sanitary sewer improvements.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north: A 14-storey residential tower that is designated under the City Centre Area Plan (CCAP) for high-density high-rise mixed-use development (Urban Core T6 (45 m)).
To the east: Across Cooney Road, a three-storey townhouse development that is designated under the CCAP for low density low-rise mixed-use development (Urban Centre T5 (25 m)).
To the south: Across a proposed 7.85 m interim width lane, a one-storey single detached house on a lot designated under the CCAP for medium density mid-rise mixed use development (Urban Centre T5 (25 m)).
To the west: Two four-storey wood frame apartment buildings fronting Buswell Street in an area designated under the CCAP for medium density mid-rise mixed-use development (Urban Centre T5 (25 m)).

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "High Rise Apartment (ZHR8) – Brighouse Village (City Centre)" zone.

Advisory Design Panel Comments

The Advisory Design Panel was supportive of this application, subject to consideration of the Panel's comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes from July 6, 2023, is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The development is accommodated within a single tower, located at the southeast corner of the site facing the new lane and Cooney Road to maximize distance from exiting neighbouring residential development and minimize overlook.
- The tower is located away from the north and west property lines and includes landscape buffers to provide more physical and visual separation with neighbouring residential developments. Shrubs and low planting are proposed in front of the three-storey parking podium and the walls treated with a relief pattern and inset panels to provide visual interest. Three townhome units front Cooney Road to provide appropriate transition to adjacent lower density properties.
- The subject development will be accessed from a new City lane required to be constructed along the south edge of the subject site. The original rezoning secured public Rights-of-Way along the south edge of the site for a new City lane and along the Cooney Road frontage for future road widening. These Rights-of-Way areas will be designed and constructed via Servicing Agreement (SA 19-858294) as secured by legal agreement registered on Title. The lane will be widened to ultimate width through the redevelopment of the site to the south.
- The subject site is located within an Aircraft Noise Policy area and all units will be constructed to achieve CMHC interior noise standards. An aircraft noise covenant has been secured on title as part of the previous rezoning application.

Urban Design and Site Planning

- The proposed form of development takes advantage of the site's proximity to the Canada Line and provision of a new City lane to create a high-density urban environment that is consistent with CCAP objectives.
- Access to the site will be from the new lane to the south. Service uses, parking, loading and waste management will be screened from public view.

- The three-storey podium includes a pedestrian-oriented residential frontage, which could accommodate home based business uses, contributing towards local liveability. The podium also accommodates for three levels of parking screened from public view.
- Resident-shared amenity space is provided on the podium roof and includes outdoor amenity space and an indoor amenity room at the northwest corner of the podium roof. Further details on the indoor and outdoor amenity space is provided in the Level 4 floor plan and Landscape Design sections (Plan #17 & 39).

Architectural Form and Character

- The proposed development contributes towards a modern architectural expression including:
 - Three storey podium provides a play of panels to create interest and breakdown of scale.
 - A distinct tower along the site's Cooney Road frontage, stepped back from the streetfacing podium and articulated with inset and projecting balconies, ribbed panels incorporating strong graphic patterning using wood grain finishing and copper tones, together providing rhythm, variety and visual interest.
- A combination of warm pallet, variation in massing and selection of materials helps break up the massing and reinforces a distinct, crisp and contemporary identity for the development.
- The top of the tower is articulated with a sloped profile with the use of glass and spandrel glazing for the penthouse
- Stacked balconies with a staggered (i.e. "zipper" like) design using ribbed metal panels along all facades of the tower, create a distinctive character for the tower.

Transportation

- Parking, loading and waste management are accessed from the new City lane required to be constructed along the south edge of the subject development site. The interim 7.85 m lane width will ultimately be widened to 9.35 m lane width through the redevelopment of the site to the south at a future date.
- The proposed development includes a public Right-of-Way (0.35 m width) along the north edge of the City lane Right-of-Way, to accommodate a wider sidewalk (2.0 m) along the lane for enhanced pedestrian passage, ultimately to the bus mall and Brighouse Canada Line Station when the properties to the west redevelop in the future. The public Right-of-Way has been secured on Title.
- One medium (SU9) on-site loading space is provided adjacent to the new lane. The use of the loading space will be shared with the adjacent site to the south at 6371 Cooney Road in the future. The applicant will provide a public Right-of-Way over the loading space, secured on Title for the shared use.
- A Right-of-Way along the west property line has been secured by public Right-of-Way to accommodate potential future lane network construction.
- The application includes a total of 82 parking spaces including 66 stalls for residential units, 14 visitor parking spaces and two car-share spaces. A total of three accessible parking stalls (two residential and one visitor) will be provided.

- The proposed number of parking spaces is consistent with the parking requirements under the ZHR8 zone and general provisions of the Zoning Bylaw No 8500, subject to the provision of Transportation Demand Measures (TDM) to the satisfaction of the City. A legal agreement on Title will be secured as a condition of DP issuance and will include the following TDMs:
 - Provision of a bicycle maintenance and repair facilities in the development.
 - Additional Class 1 bicycle parking at a rate of 2.0 stalls per unit.
 - Provision of battery charging facilities for all Class 1 bicycle parking spaces.
 - Provision of two car-share vehicles in addition to two on-site parking spaces with EV charging for the car-share vehicles. Lifetime car-share memberships of \$500.00 value are to be attached to each residential unit.
 - Provision of monthly transit passes (two-zone for one year) to 100 per cent of units.
- Provision of 179 bicycle parking spaces provided throughout the site (162 Class 1 and 17 Class 2) in excess of City requirements (only 102 Class 1 required):
 - All the Class 1 spaces are contained in rooms with a maximum of 40 bicycle spaces in compliance with provisions of Zoning Bylaw 8500.
 - 10 Class 2 spaces are proposed along the Cooney Road frontage and seven are proposed along the new south City lane frontage.

Tree Management

- Consistent with the previous Rezoning and Development Permit applications, five on-site trees along the south property line have been permitted removal due to their fair to poor condition and conflict with the required public Right-of-Ways.
- Three trees located on the neighbouring property to the south (6371 Cooney Road) will need to be removed to facilitate the required lane construction. The applicant has written permission from the neighbouring property owner for the removal of these trees as per the previous Development Permit. The applicant is required to obtain a separate tree removal permit for these trees.
- One tree along the Cooney Road frontage is proposed to be removed to accommodate for the require frontage works.
- There are a total of 19 new trees proposed, including the 12 replacement trees included in the Development Permit plans.
 - At street level, four trees consisting of a mix of two Japanese black pines and two Japanese maples are proposed.
 - At Level 3, two Japanese maples and a Japanese black pine are proposed as part of the green roof feature at the southwest corner of the building. A Kousa dogwood is provided for each of the townhome units for a total of six trees at Level 3.
 - The outdoor amenity at Level 4 provides for nine trees including two Japanese stewartias, three Japanese maples and four cherry trees.

Landscape Design and Open Space Design

• The CCAP encourages the provision of additional open space to enhance the urban environment.

The subject development's public open space contributions are provided through public Rights-of-Way secured through the original rezoning. This includes additional public Right-of-Way to accommodate a wider sidewalk (1.85 m) in the south lane and frontage works (landscaped boulevard and sidewalk widening) along the west property line at Cooney Road.

- 556 m² of residential outdoor amenity space is provided, which complies with the OCP guidelines. Outdoor amenity areas comprising a consolidated, irrigated, landscaped, multiuse, outdoor space at the podium roof level co-located with the required indoor residential amenity space. The amenity space has been designed to provide for formal and informal children's play, strolling, socializing, relaxing and outdoor dining.
- Private outdoor patios and balconies are provided for all dwelling units.
- Additional landscaping is provided at the residential lobby entrance, landscaped buffers along the north and west property lines and a green roof on the indoor amenity pavilion.
- Drought tolerant plants are incorporated into the green roofs and vegetated outdoor areas to reduce reliance on irrigation.
- The southwest corner of Level 3 and the roof top of the indoor amenity pavilion features green roofs with significant landscaping and planting areas that will help reduce stormwater flow and provide a pleasant outdoor amenity for the residents.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$539,688.00 in association with the Development Permit.

Indoor Amenity Space

• The OCP requires that multi-family development comprising of 40 units or more are to provide at least 100 m² of indoor amenity space. The subject development meets the OCP minimum and provides for attractive indoor amenity space located adjacent to the outdoor amenity space in the form of a 108 m² enclosed pavilion at the podium roof level. The pavilion features an amenity lounge room and a fitness room.

Crime Prevention Through Environmental Design

CPTED measures enhance safety and personal security in and around the proposed building.

- Casual surveillance is provided through minimizing blind corners, a prominent residential lobby entrance, locating visitor parking uses on the ground floor of the parkade, clear sightlines to exits within the parkade (mirror where needed), glazed vestibules, street-oriented residential entries and lighting in all pedestrian areas.
- Ownership and territorial reinforcement is achieved through landscaping with low-lying hedges and shrubs in addition to pedestrian-oriented lighting.

Accessible Housing

• The proposed development includes 20 adaptable units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair.

These single-storey units are required to comply with the BC Building Code requirements for adaptable housing and will also incorporate all the provisions listed in the Basic Universal Housing (BUH) Features section as set out in the Zoning Bylaw. As such, the density exclusion of 1.86 m^2 (20 ft²) per BUH unit is permitted.

- All adaptable units are provided with Basic Universal Housing features including:
 - lever-type faucets;
 - o rocker or paddle type light switches;
 - at least one bedroom with sufficient space to provide a turning diameter of 1.5 m on one side of a double bed; and
 - wheelchair accessible kitchen with task lighting.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - o stairwell handrails;
 - o lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
- Common areas including the Cooney Road entry lobby and indoor and outdoor amenity spaces are designed to meet BC Building Code's accessibility requirements.

Sustainability

- The project is designed to BC Energy Step Code 2 with a Low Carbon Energy System as secured through the original rezoning and development permit.
- District Energy Utility (DEU) compatible building and mechanical system design is incorporated to facilitate future connection to a City utility. A legal agreement has been registered on Title securing the owner's commitment to connect a DEU and provides that no Building Permit will be issued unless the building is designed with the capability to connect to and be serviced by a DEU. The developer will also be required to provide mechanical drawings and energy modeling, which will be reviewed by the City and Lulu Island Energy Company for compliance with DEU requirements (i.e. capable of connecting to a future DEU system) prior to Building Permit issuance.
- Energized electrical vehicle (EV) charging outlets for 100 per cent of the residential vehicle parking spaces (208 V 240 V), car-share spaces, and 10 per cent of Class 1 secured bicycle storage spaces (120 V).

Servicing Agreement

• The applicant is generally required to design and construct the new City lane, Cooney Road frontage beautification and sanitary sewer improvements. A Servicing Agreement (SA 19-858294) is under staff review and future details are included in the attached Development Permit considerations (Attachment 3).

Legal Agreements and Discharges

The following legal agreements have been registered on Title as part of the previous DP (DP 17-791045) and will apply to the subject DP (DP 22-023105):

- Side Lane Sidewalk SRW (CB71957-62).
- Future Rear Lane Agreement (CB71963-68).
- Noise Covenant (CB71970-80).
- DEU Covenant (CB71981-84).
- Servicing Agreement (CB71985).

Details of the legal agreements can be found in the attached Development Permit considerations (Attachment 3).

The following legal agreement is obsolete and will be discharged from Title:

• Shared Loading By agreement, SRW and Covenant (CB71969 and CB71971), which will be obsolete as a replacement covenant and SRW, with updated loading bay configuration, will be registered on Title.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

Ashley Kwan Planner 1 (604-276-4173)

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- Att. 1: Development Application Data Sheet
 - 2: Advisory Design Panel Meeting Minutes Annotated Excerpt
 - 3: Development Permit Considerations



Development Application Data Sheet Development Applications Department

DP 22-023105				Attachment 1
Address: 6333 Cooney Ro	ad			
Applicant: 6333 Cooney Ro	ad Limited Partnership	Owner:	Cooney Mansions	Nominee Ltd
Planning Area(s): City Cent	re (Brighouse Village)	and the second		Sector Statements
Floor Area Gross: <u>8,057 m²</u>	Floo	or Area Net:	6,559 m²	
	Existing		Prop	osed
Site Area:	2,458 m ²		No Ch	nange
Land Uses:	Vacant		Multi-Family	Residential
OCP Designation:	Mixed-Use		No Ch	nange
Zoning:	High Rise Apartment Brighouse Village (Cit	· /	No Ch	nange
Number of Units:	N/A		8	1
	Bylaw Requirement	P	roposed	Variance
Floor Area Ratio:	Max. 2.67		2.67	none permitted
Lot Coverage:	Max. 70%		70%	None
Setback – Cooney Road:	Min. 3 m		3 m	None
Setback – North Side Yard:	Min. 2.7 m		2.7 m	None
Setback – South Side Yard:	Min. 7.5 m		8.4 m	None
Setback – Rear Yard:	Min. 1.5 m		1.5 m	None
Height (m):	Max. 41 m		41 m	None
Off-street Parking Spaces	99 total spaces including: 81 Residential spaces 18 Visitor spaces	66 Res 14 V 2 Car	/ith TDMs idential spaces isitor spaces Share spaces 82 Total	None
Off-street Parking Spaces – Accessible:	Min 2%		3% (3)	None
Tandem Parking Spaces	Permitted		None	None
Loading Spaces	1 medium truck (SU-9) space	1 medium	truck (SU-9) space	None
Bicycle Storage	Class 1: 102 Class 2: 17		ass 1: 162 lass 2: 17	None

Amenity Space – Indoor:	Min. 100 m ²	108 m²	None
Amenity Space – Outdoor:	Min. 498 m ²	536 m²	None

Attachment 2

Excerpt from the Minutes from The Design Panel Meeting

Thursday, July 6, 2023 – 4:00 p.m. Remote (Webex) Meeting Richmond City Hall

Panel Discussion

Comments from Panel members were as follows:ARCHITECT:Kasian ArclLANDSCAPE ARCHITECT:ConnectionPROPERTY LOCATION:6333 Coone

Kasian Architecture Connection Landscape Architecture 6333 Cooney Road

Applicant's Presentation

Dave Leung, Westbank Corp., Architect Xueying Xing, Kasian Architecture and Interior Design and Planning, and Landscape Architect Ken Larsson, Connect Landscape Architecture, presented the project and together with Christephen Cheng, Bunt and Associates Engineering, answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- commend the applicant for their presentation of the project; Noted with thanks.
- appreciate the proposed exterior metal cladding materials for the project which are a welcome change from many projects in Richmond; metal finishes are better in the long-term than the traditional finishes; *Noted*.
- the project's proposed Transportation Demand Management (TDM) measures are more than adequate considering the project's location in the City Centre Area and proximity to the Brighouse Canada Line station and local bus exchange; *Noted*.
- understand the limited options for the applicant regarding the location of the BC Hydro kiosk due to the compact site; *Noted*.
- overall, the proposed design of the project is well executed and fits well into the neighbourhood; *Noted*.
- the applicant has put a lot of thought on the design and articulation of the building; appreciate the proposed metal exterior cladding materials and colours as they are attractive and unique; *Noted*.
- appreciate the well thought out design and layout of the common outdoor and private amenity spaces; it would be visually appealing to pedestrians and users and enhance their experience; *Noted*.

- appreciate the informative and thorough presentation of the project by the applicant; *Noted*.
- appreciate the provision of 20 adaptable units in the project; would have liked to see fully accessible units provided in the project as well; *Considered. 20 adaptable units meeting the accessibility requirements from BC Building Code will be provided.*
- appreciate that all the indoor and outdoor amenity spaces are accessible, including the bicycle room and dog wash area; *Noted*.
- appreciate the distribution of the adaptable units throughout the proposed building; *Noted*.
- appreciate the details provided for the ramps which were useful to facilitate their evaluation; *Noted*.
- appreciate the project's comprehensive accessibility strategy, including the indoor adaptability details; *Noted*.
- the project provides only two accessible resident parking spaces and one accessible visitor parking space; consider adding more accessible parking stalls due to the increasing older population in the City; *Considered. The design complies with the bylaw* requirements and keeps the same accessible parking count as the original DP. Due to the tight site and added bicycle storage spaces, the design could not accommodate additional accessible parking spaces.
- the design is well done especially the proposed exterior cladding for the building; *Noted.*
- consider including a document in the resident or strata council management guide regarding inspection and maintenance of rooftop patio drainage, stairwells and other spaces in the common outdoor amenity area or outdoor private spaces for residents; the document should ensure that adequate information is provided to avoid any leakage on common and private outdoor amenity spaces; could be included on plumbing drawings and critical drainage information on the guide; *Noted. Slab edges will be treated with roof drains to mitigate leakage on common and private outdoor amenity spaces as noted on DP plans.*
- commend the applicant for the presentation, and the clear information and comprehensive package provided; *Noted*.
- the nature of street section and sidewalk section along Cooney Road appear not consistent with the adjacent properties; investigate further opportunities to integrate with the whole streetscape on this portion of Cooney Road; *Considered. The street and sidewalk section are designed by Civil and approved by the City's Engineering department. The current design raises the windowsill and floor elevation to maintain privacy once the buffer space decreases due to future sidewalk widening as required by the City.*
- the wider sidewalk along Cooney Road results in just approximately a metre of space in front of the townhouse units which could impact the privacy of these units; investigate opportunities to incorporate further landscaping and architectural features to enhance the

privacy of townhouse units; – The live/work units require some visibility at the front for ease of identification for visitors. The current design provides a landscape buffer between the sidewalk and units. The patios have also been recessed to allow for additional transition from the sidewalk to the private outdoor space at the unit entrance. All level 1 spaces are living/dining kitchen and live/work spaces, no bedrooms will be affected.

- the front doors of townhouse units are hidden around the corner and do not provide a sense of direct addressing from Cooney Road; consider more easily visible and identifiable front doors to the units; *Unit number signage will be installed at the front of the patio wall to improve identification.*
- appreciate the architectural articulation of the tower on the Cooney Road elevation; however, the architectural treatment around the corner and on the parkade side is not quite as successful; review the proposed architectural treatment on the parkade side to better integrate it with the overall treatment of the building (e.g., look at the colour of panels on the parkade level); – *The architectural treatment at the north and west parkade faces have been addressed with revisions to panels to provide continuation from the tower facade and additional landscaping through incorporation of green screens.*
- consider how to better integrate the mechanical unit into the outdoor amenity space at the podium level; To provide accessible access to the top of the heat pump roof on L4, a fair amount of accessible ramps will need to be introduced. This will negatively impact the landscaping and introduce multiple elevations rather than having the amenity space contiguously flat and limits the usability and flexibility of the landscaped outdoor area. It is suggested to keep the current design to maximize the usable outdoor space.
- the top of the mechanical unit on podium level 4 appears to be a significant area; the extensive green roof is an acceptable landscaping strategy; however, consider providing a useable outdoor amenity space at the top of the mechanical unit; *Considered. Please see comment above.*
- bicycle parking on Level 3 appears problematic and may not be a suitable location from the cyclist's perspective in terms of safety and convenience; look at the City's requirement for bicycle parking location in a building; also, the bicycle parking on Level 3 significantly compromises the entrance to Unit 301 as it has shared access with bicycle parking; *Plans have been revised to provide a significant amount of Class 1 bicycle parking (106 spaces) at the lower ground level. The exit path for the bicycle storage room at Level 3 has been revised and provides a quite corner for unit 301.*
- appreciate that the children's play area on Level 4 is located on the west side as it would get a good amount of sun exposure; *Noted*.
- would like to see the PMT located on the laneway side than in front of the building; *The Civil consultant (MPT) has already coordinated the PMT location with the City's Engineering department. For clarification, the kiosk is not a PMT. It is a 'Type S' streetlight kiosk, a smaller electrical unit for City streetlight servicing only. Laneway location options assessed, however considerations to avoid encroachment of the building's structural footings and current bicycle parking located along the laneway*

prevented a suitable location to be found. With these considerations, it is preferred to retain the current positon along/facing Cooney Road.

- support the Panel comment to add more buffering from the sidewalk to the townhouse units along Cooney Road; consider installing architectural screening to enhance their privacy; *Low lying shrubs will be provided in front of the townhome entrances to act as a buffer.*
- proposed trees on Levels 3 and 4 do not appear to have adequate soil depth; All tree wells are provided with a 3' soil depth by sinking the tree well plus slightly mounding up berms.
- appreciate the well put together package and presentation; Noted.
- the project design is well executed; Noted.
- landscaping design principles are well executed throughout the common outdoor amenity area; *Noted*.
- the choice of play equipment in the children's play area on the podium level is not consistent with the character of other landscape elements in the children's play area; consider more creative solutions for the children's play area in lieu of just installing a play equipment; *The slide and climbing structure is provided as per direction from the previous DP. Play hut is proposed for imaginative play and the nature based play areas have been integrated with boulders and planting to encourage informal and manipulative play. Play structures facilitating balance, jumping, climbing, and sliding are provided. Patterned and mounded resilient surfaces also act as safety zones for structures and activate spaces to accommodate running, jumping, sliding climbing.*
- ensure that ventilation for the mechanical room is directed away from the common outdoor amenity area; and No ventilation louvers are facing the outdoor amenity spaces as the air intake will be from the parking below and the air exhaust will be at the north façade. All air exhausts are treated with plenum and silencers to meet the acoustic requirements. A letter of assurance has been provided by the Acoustic Engineer.
- consider incorporating planting near the building's outdoor bicycle parking area along Cooney Road. – Considered. There is minimal space for biking, circulation, and entry and benefit for bike rack access from two sides. Decorative paving will be provided, which will be complementary to the main entry space.

Panel Decision

It was moved and seconded That DP 22-023105 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

Attachment 3



Development Permit Considerations

Development Applications Department 6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6333 Cooney Road

File: DP 22-023105

Prior to forwarding this Development Permit application to Council for approval, the owner must complete the following requirements:

- 1. *(Landscape Security)* Receipt of a Letter of Credit for landscaping in the amount of \$539,688.00 as specified on the landscape cost estimate and sealed by the project Landscape Architect (including materials, installation, and 10% contingency)
- 2. (Side Lane Enhanced Sidewalk Statutory Right of Way) Granting approximately 15.4 m² (165.8 ft²) 0.35m wide statutory Right-of-Way for the purposes of Public Rights of Passage and utilities to accommodate an enhanced 1.85m wide sidewalk in the new lane along the south edge of the site and 2m x 2m corner cut at the southwest corner of the site. The works are to be built by the owner and maintained by the owner with the exception of City infrastructure, which is to be maintained by the City. Any works essential for public access within the required statutory Right-of-Way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications and good engineering practice with the objective to optimize public safety.
- 3. (Future Rear Lane Statutory Right of Way) Granting approximately 17.5 m² (188.4 ft²) 1.5m wide statutory Right-of-Way for the purposes of Public Rights of Passage and utilities to accommodate future potential rear lane extension from north boundary of existing SRW plan BCP50328 to south boundary of existing SRW plan BCP20901 along the south edge of the site. The works are to be built by the owner and maintained by the owner with the exception of City infrastructure, which is to be maintained by the City. Any works essential for public access within the required statutory Right-of-Way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications and good engineering practice with the objective to optimize public safety.
- 4. *(City Centre Impacts)* Registration of a legal agreement on title stipulating that the development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlook and reduced privacy, increased ambient noise and increased levels of night-time ambient light, and requiring that the owner provide written notification of this through the disclosure statement to all initial purchasers, and erect signage in the initial sales centre advising purchasers of the potential for these impacts.
- 5. (District Energy Utility) Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
 - a. No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
 - b. If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until:

- i. the building is connected to the DEU, which may include the owner's supplied and installed central energy plant to provide heating and cooling to the building, at no cost to the City, or the City's DEU service provider, Lulu Island Energy Company, on the subject site satisfactory to the City;
- ii. if the City so elects, the owner transfers ownership of the central energy plant on the site, if any, at no cost to the City, or City's DEU service provider, Lulu Island Energy Company, to the City and/or the City's DEU service provider, Lulu Island Energy Company, on terms and conditions satisfactory to the City;
- iii. the owner enters into a Service Provider Agreement with the City and/or the City's DEU service provider, Lulu Island Energy Company, on terms and conditions satisfactory to the City; and
- iv. the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building and the operation of the central energy plant, if any, by the City and/or the City's DEU service provider, Lulu Island Energy Company.
- c. If a DEU is not available for connection, no final building inspection permitting occupancy of a building will be granted until:
 - i. the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
 - ii. the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation ;
 - iii. the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building; and
 - iv. the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.
- 6. (Discharges) Discharge the following charge from title:
 - a. Shared Loading By agreement, SRW and Covenant (CB71969 and CB71971), which will be obsolete as a replacement covenant with SRW will be registered on title.
- 7. (Shared Loading Bay SRW) Granting of an approximately 52.3 m² (563 ft²) statutory Right-of-Way for the purposes of Public Rights of Passage for the shared use at all times of the loading bay with the proposed development and future development on the neighbouring property at 6371 Cooney Road. Any gates are to remain open from 7am to 7pm 7 days a week, and may only be secured if means are provided for the neighbouring property at 6371 Cooney Road to access the loading bay at all other times. The works are to be built by the owner and are to be maintained by the owner. Any works essential for public access within the required statutory Right-of-Way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with good engineering practice with the objective to optimize public safety and after completion of the works, the owner is required to provide a certificate of inspection for the works, prepared and sealed by the owner's Engineer in a form and content acceptable to the City, certifying that the works have been constructed and completed in accordance with the accepted design.
- 8. (*Parking Reduction Strategy*) Registration of a legal agreement on title securing the applicant's offer to voluntary contribute towards various transportation related improvements and secure parking for various uses in compliance with the zoning bylaw requirements and Transportation

Demand Management (TDM) parking reductions, to the satisfaction of the Director of Transportation, including, but not limited to, the following:

- a. Provision of 80 vehicle parking spaces (with 14 vehicle parking spaces reserved for visitors)
- b. <u>Car Share Parking:</u> Registration of a restrictive covenant and Statutory Right-of-Way(s) on title, or alternative legal agreement, subject to the final approval of the Director of Transportation, securing the owner's commitment to provide car share facilities and car share equipment to a car share operator or to the City, at no cost to the car share operator or the City, both as the case may be, the terms of which shall be generally as follows:
 - i. A minimum of two (2) car share spaces parking spaces within the development, along with pedestrian and vehicular access, designed, constructed, equipped and maintained by the owner, at the owner's cost, to be:
 - I. Co-located and located on the ground level of the parkade;
 - 2. Provided with satisfactory pedestrian access;
 - 3. Designed to be safe, convenient, and universally-accessible;
 - 4. Provided with design features, decorative finishing, lighting and signage, as determined through the Development Permit* and Servicing Agreement* processes;
 - 5. Each provided with EV charging for its exclusive use;
 - 6. Accessible to all intended users (e.g. general public, car share operator personnel and car share operator members) at no added cost;
 - 7. Accessible to all intended users as follows:
 - General public 365 days a year for a time period equaling the lengthiest combination of standard business hours and the standard operating hours of local rapid transit; and
 - Car share operator personnel and members 365 days a year for a 24 hours per day (e.g. code entry);
 - 8. Identify the car share stalls in the Development Permit plans;
 - 9. Identify the car share stalls in the Building Permit plans; and
 - 10. Prior to building inspection permitting occupancy, provide wayfinding and stall identification signage for the car share stalls, to the satisfaction of the Director of Transportation.
 - ii. Terms of agreement between the owner and the car share operator, which shall include:
 - 1. A minimum contractual period for the provision of car share services of three years from the first date of building occupancy; and
 - 2. Additional provisions as negotiated by the owner and car share operator (e.g. maintenance, repair and replacement by car share vehicles by the car share operator), or as required by the City, subject to the approval of the Director of Transportation.
 - iii. Supporting submissions provide to the City (Transportation Department) as follows:
 - I. Prior to Development Permit issuance, copy of the letter of intent addressed to the owner from the car share operator outlining the terms of the provision of car sharing services;
 - 2. Prior to Development Permit issuance, a copy of the draft contract between the owner and the car share operator describing the terms of the provision of car sharing services;
 - 3. Prior to building inspection permitting occupancy, a copy of the executed contract between the owner and the car share operator describing the terms of the provision of car sharing services;

- iv. Granting of a Public-Right-of-Passage (PROP) in favour of the City, to secure the car share spaces and the vehicular and pedestrian accesses, subject to the final dimensions established by the surveyor on the basis of functional plans completed to the satisfaction of the Direction of Transportation.
- v. In the event that the car-share facilities are not operated for car-share purposes as intended via the subject rezoning application (e.g., operator's contract is terminated or expires), transfer control of the car-share facilities, to the City, at no cost to the City, with the understanding that the City at its sole discretion, without penalty or cost, shall determine how the facilities shall be used going forward.
- c. <u>Car share memberships:</u> Registration of a restrictive covenant on title, or alternative legal agreement, subject to the final approval of the Director of Transportation, securing the owner's commitment to provide lifetime car share membership of \$500 value for all 81 units, at the owner's cost.
- d. <u>Bicycle Parking Facilities:</u> Registration of a restrictive covenant on title, or alternative legal agreement, subject to the final approval of the Director of Transportation, securing the owner's commitment to provide 2.0 Class 1 bicycle spaces per unit (i.e. 162 spaces) within the building.
- e. <u>Enhanced Bicycle Facilities:</u> The developer/owner shall, at its sole cost, design, install, and maintain on the lot, to the satisfaction of the City as determined via the Development Permit*:
 - i. Bicycle maintenance and repair facility: provide a minimum of one facility for the shared use of all residents, including bicycle repair stand (with tools) and foot pump. A note is required on the Development Permit* and Building Permit*. Appropriate signage is required.
 - ii. E-bike storage: provision of bicycle battery charging facilities for all Class 1 bicycle parking spaces.
 - iii. "No building" shall be permitted, restricting Building Permit* issuance for any building on the lot, until the developer provides for the required enhanced bicycle facilities.
 - iv. "No occupancy" shall be permitted, restricting final Building Permit inspection granting occupancy for any building on the lot, in whole or in part, until the required enhanced bicycle facilities are completed and have received final Building Permit inspection granting occupancy.
- 9. (Servicing Agreement) Enter into a Servicing Agreement* or amend SA 19-858294 for the design and construction of Engineering and Transportation works in accordance with Transportation Association of Canada (TAC) Specifications, updated City Engineering Design Specifications, and applicable Bylaws to the satisfaction of the City. An updated Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to, the following:
 - 1. Road Works
 - a. Road Functional Design Works: Submission of a functional design (road works, interim and ultimate lane works), prepared to the satisfaction of the City, is required. Design to accommodate: Cooney Road frontage improvements and new lane. Works also include street lighting, traffic signage, boulevard landscaping, and street trees. The functional design is to indicate clearly all existing and proposed SRW PROPS, and include the frontage improvements listed below. Unless otherwise specified, all road works are to be designed as per bylaw, TAC Standards and the City's Engineering Design Specifications.

- b. New Lane: Interim lane to City Centre standard with additional sidewalk width. Works to include, from north to south, 1.85 m wide concrete sidewalk with street lighting located to maintain a 1.5 m width of sidewalk free and clear of obstruction, roll-over curb and remaining 6 m to be roadway driving surface approved by the City. Through the Servicing Agreement, decorative pavement treatment may be required to create a more pedestrian friendly environment in the lane.
- II. Water Works
 - a. Using the OCP Model, there is 659.0 L/s of water available at a 20 psi residual at Cooney Road. Based on the proposed development, site requires a minimum fire flow of 220 L/s.
 - b. At the Owner's cost, the Owner is required to:
 - i. Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
 - ii. Review hydrant spacing on all road frontages and install new fire hydrants as required to meet City spacing requirements for commercial land use.
 - iii. Obtain approval from Richmond Fire Rescue for all fire hydrant locations, relocations, and removals, as required.
 - iv. Provide a Right-of-Way for water meter. Exact Right-of-Way dimensions to be finalized during the servicing agreement process.
 - c. At the Owner's cost, the City is to:
 - i. Cut, cap, and remove, the existing water service connections servicing 6333 Cooney Road.
 - ii. Install a new water service connection, complete with meter and meter box, to be located on private property, to serve the proposed development.
- III. Storm Sewer Works
 - a. At the Owner's cost, the Owner is required to:
 - i. Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement design.
 - ii. Ensure trees are not placed on top of the storm sewer main and, follow offset and alignment similar to the existing trees at the Cooney frontage of the property to the north.
 - b. At the Owner's cost, the City is to:
 - i. Cut, cap, and remove the existing storm service connections and inspection chambers servicing the subject site.
 - ii. Install a new storm service connection and type III inspection chamber. If required, the Owner shall provide a statutory Right-of-Way for the inspection chamber at their cost.
 - iii. Complete all tie-ins for the potential works to existing City infrastructure, to be determined by the pipe sizing calculations at the servicing agreement stage.
- IV. Sanitary Sewer Works
 - a. At the Owner's cost, the Owner is required to:
 - i. Install new sanitary sewer along Cook Road from existing manhole SMH58685 at the intersection of Cook Road and Buswell Street to a new manhole at the intersection of Cook Road and Cooney Road (approximately 165 m of 300 mm PVC sanitary sewer).
 - ii. Remove, or abandon and cut and cap, as per MMCD approximately 52 m of existing sanitary sewer between SMH57073 and SMH57072 in the SRW located along the south property line of 6333 Cooney Road.

- iii. Ensure that the existing sanitary sewer along the west property line remains operational during any preload and/or construction phase. If the existing sanitary line is impacted during site preparation or construction of the proposed development then the owner shall be responsible to make the damaged sanitary system operational during the duration of the onsite works (i.e., temporary bypass via pumping, etc.). The damaged sanitary system shall be replaced at the same alignment through the servicing agreement, at the owner's costs, after completion of the site preparation and/or building construction works.
- iv. Ensure no soil fill or building encroaches into the existing sanitary right of way along the west property line.
- v. Owner/Developer of the subject site has agreed to provide an engineering solution certified by a structural engineer stipulating that the footing and foundation design of the parkade will permit excavation to the bottom of the adjacent sanitary line without undermining the parkade structure. The purpose is to facilitate the removal of the existing sanitary sewer along west side and the installation of the new sanitary sewer.
- b. Subject to available funding through the Development Coordinated Works budget and Council approval of funding through the approval of the Development Permit, the City will provide for the construction of the following works. The owner is required to:
 - i. Install new sanitary sewer along Cooney Road from existing manhole SMH57072 to the new manhole (as noted above) at the intersection of Cook Road and Cooney Road (approximately 160 m of 300 mm PVC sanitary sewer). The developer is required to include the design of City funded sanitary main into the servicing agreement design.
 - ii. Prior to commencing City funded sanitary main work on the Cooney Road frontage the developer must provide the City with a minimum 1 year notice of their intended start date, along with a cost estimate for the works to be reviewed by and approved by City staff.
 - iii. Install approximately 52m of new sanitary sewer that is sloped east in the lane along the south property line. This new section of pipe shall be installed at the same alignment as the existing sanitary sewer that's planned for removal in the lane. Tie-in to the west shall be to the new manhole that will replace the sunken manhole at the west end of the proposed lane and tie-in to the east shall be to the existing sanitary manhole at the junction of the proposed lane and Cooney Rd. For info, the purpose of this new pipe section is to divert flows coming from the existing buildings located north of the proposed lane to the new sanitary main to be built by this development in Cooney Rd and Cook Rd. This diversion of flows to Cooney Rd and Cook Rd will reduce the loads being conveyed by the existing aging FRP sanitary pipes in the rear yards south of the proposed lane.
- c. At the Owner's cost, the City is to:
 - i. Complete all tie-ins for the proposed works to existing City infrastructure.
 - ii. Cut, cap, and remove the existing sanitary service connection and inspection chamber servicing the subject site.
 - iii. Install a new service connection off of the existing 300mm PVC sanitary sewer on Cooney Road, complete with inspection chamber. If required, the Owner shall provide a statutory Right-of-Way for the inspection chamber at their cost.
- V. Frontage Improvement Works
 - a. At the Owner's cost, the Owner is required to:
 - i. Provide works to include, from east to west behind existing curb and gutter, grass boulevard (Min. 1.5 m) with street trees and new 2 m wide concrete sidewalk. The new sidewalk and boulevard are to transition to meet the existing frontage

treatments to the north and south of the subject site. Sidewalk alignment with smooth transitions to north and south to be detailed on required road functional plan for City review in order to confirm interim frontage cross section. All existing driveways along the Cooney Road frontage are to be closed permanently. The Owner is responsible for the removal of the existing driveway let-downs and the replacement with sidewalk, boulevard and barrier curb and gutter to match frontage improvements. There are existing utility poles and junction boxes that will need to be relocated at the owner's cost.

- ii. Coordinate with BC Hydro, Telus and other private communication service providers:
 - 1. To pre-duct for future hydro, telephone and cable utilities along all road frontages.
 - 2. Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - 3. To underground overhead service lines.
 - 4. According to the developer, the proposed building is designed to be serviced by a primary BC Hydro service with a unit sub-station within the building. Subsequently, a separate above ground PMT is not required to service the development.
 - 5. To locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory Right-of-Way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory Right-of-Ways that shall be shown on the architectural plans/functional plan, the servicing agreement drawings, and registered prior to SA design approval:

BC Hydro PMT	4.0 x 5.0 m
BC Hydro LPT	3.5 x 3.5 m
Street light kiosk	1.5 x 1.5 m
Traffic signal kiosk	2.0 x 1.5 m
Traffic signal UPS	1.0 x 1.0 m
Shaw cable kiosk	1.0 x 1.0 m
Telus FDH cabinet	1.1 x 1.0 m

- iii. Review street lighting levels along all road and lane frontages, and upgrade as required.
- iv. Decorative street lighting to be provided as per the requirements below:
 - City Streets Cooney Road: Pole colour to be black. Roadway lighting at the back of curb to be Type 3 Decorative Luminaire Pole (LED) – (Reference Drawing L12.6) INCLUDING 1 street luminaire, but EXCLUDING banner arms, flower basket holders, duplex receptacles, and irrigation. Pedestrian lighting is not applicable (i.e. no stand-alone pedestrian poles).

- VI. General Items
 - a. At the Owner's cost, the Owner is required to:

and irrigation.

- i. Provide, prior to start of site preparation works or within the first servicing agreement submission, whichever comes first, a preload plan and geotechnical assessment of preload, dewatering, and soil preparation impacts on the existing utilities fronting the entire development site and provide mitigation recommendations.
- Provide a video inspection report of the existing rear-yard sanitary sewers and storm sewer along the Cooney Road frontages prior to start of site preparation works or within the first servicing agreement submission, whichever comes first. A follow-up video inspection after site preparation works are complete (i.e. preload removal, completion of dewatering, etc.) to assess the condition of the existing utilities is required. Any utilities damaged by the pre-load, de-watering, or other ground preparation shall be replaced at the owner's cost.
- iii. Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for review.
- iv. Submit a proposed strategy at the building permit stage for managing excavation de-watering. Note that the City's preference is to manage construction water onsite or by removing and disposing at an appropriate facility. If this is not feasible due to volume of de-watering, the owner will be required to apply to Metro Vancouver for a permit to discharge into the sanitary sewer system. If the sanitary sewer does not have adequate capacity to receive the volume of construction water, the owner will be required to enter into a de-watering agreement with the City to discharge treated construction water to the storm sewer system.
- v. Not encroach into City Rights-of-Way with any proposed trees, retaining walls, or other non-removable structures.
- vi. Coordinate the servicing agreement design for this development with the servicing agreement(s) for the adjacent development(s), both existing and instream. The owner's civil engineer shall submit a signed and sealed letter with each servicing agreement submission confirming that they have coordinated with civil engineer(s) of the adjacent project(s) and that the servicing agreement designs are consistent. The City will not accept the 1st submission if it is not coordinated with the adjacent developments. The coordination letter should cover, but not be limited to, the following:
 - 1. Corridors for City utilities (existing and proposed water, storm sewer, sanitary and DEU) and private utilities.
 - 2. Pipe sizes, material and slopes.
 - 3. Location of manholes and fire hydrants.
 - 4. Road grades, high points and low points.
 - 5. Alignment of ultimate and interim curbs.
 - 6. Proposed street lights design.
- vii. Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including,

but not limited to, site investigation, testing, monitoring, site preparation, dewatering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with good engineering practice with the objective to optimize public safety and after completion of the works, the Owner is required to provide a certificate of inspection for the works, prepared and sealed by the Owner's Engineer in a form and content acceptable to the City, certifying that the works have been constructed and completed in accordance with the accepted design.

Prior to Building Permit* Issuance, the owner must complete the following requirements:

- 1. (Legal Agreements) Confirmation of compliance with existing and Development Permit legal agreements.
- 2. (Accessibility and Sustainability) Incorporation of special features (including accessibility and sustainable features) in Building Permit (BP) plans as determined via the Development Permit process.
- 3. *(Aircraft Noise Sensitive Development)* Confirmation that the proposed development is designed in a manner that mitigates potential aircraft noise to the proposed dwelling units, including submission of:
 - a. Acoustic report prepared by a registered professional confirming design achieves the following CMHC interior noise level guidelines:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b. Mechanical report prepared by a registered professional confirming design achieves the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
- 4. (*Latecomer Works*) If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
- 5. (Construction Hoarding) The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.
- 6. (Construction Parking and Traffic Management Plan) Submission of a Construction Parking and Traffic Management Plan to the satisfaction of the City's Transportation Department (http://www.richmond.ca/services/ttp/special.htm).

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife
 Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of
 both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene
 these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site,
 the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that
 development activities are in compliance with all relevant legislation.

[signed copy on file]

Signed Date



Development Permit

No. DP 22-023105

To the Holder:	6333 Cooney Road Limited Partnership
Property Address:	6333 Cooney Road
Address:	C/O Dave Leung 1067 W Cordova Street, 6 th Floor Vancouver, BC V6C 1C7

- 1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
- 2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
- 3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #46 attached hereto.
- 4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
- 5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$539,688.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
- 6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit No. DP 22-023105

To the Holder:	6333 Cooney Road Limited Partnership
Property Address:	6333 Cooney Road
Address:	C/O Dave Leung 1067 W Cordova Street, 6 th Floor Vancouver, BC V6C 1C7

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

, .

This Permit is not a Building Permit.

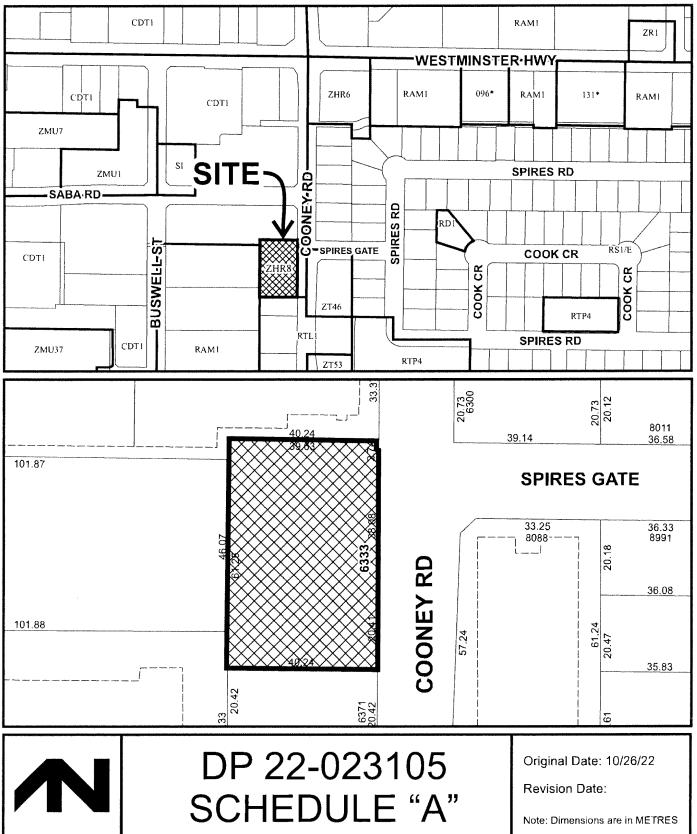
AUTHORIZING RESOLUTION NO. DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR





	DRAWING LIST - ARCHITECTURAL		1
A-001	COVER PAGE / PROJECT DIRECTORY	A-204	1
A-002	RESIDENTIAL UNIT SUMMARY	A-206	1
A-003	RENDERINGS 1	A-207	1
A-004	RENDERINGS 2	A-208	1
A-005	RENDERINGS 3	A-209	1
A-005.1	RENDERINGS 4	A-301	1
A-005.2	RENDERINGS 5	A-302	1
A-005.3	RENDERINGS 6	A-303	1
A-005.4	RENDERINGS 7	A-304	1
A-005.5	RENDERINGS B	A-305	1
A-006	CONTEXT PLAN	A-306	1
A-007	SHADOW STUDIES	A-307	1
A-008	COONEY ROAD STREETSCAPE	A-407	1
A-009	COONEY ROAD SRW	A-501	1
A-100	SURVEY PLAN	A-502	1
A-101	SITE PLAN	A-503	1
A-102	TRUCK ACCESS, BIKE STORAGE NOTE & PARKING NOTES	A-504	
A-102A	TRUCK ACCESS, BIKE STORAGE NOTE & PARKING NOTES	A-505	1
A-103	COVERAGE PLAN	A-506	1
A-121	LEVEL 1 LOWER FLOOR PLAN	A-507	1
A-122	LEVEL 1 FLOOR PLAN	A-508	1
A-123	LEVEL 2 FLOOR PLAN	A-509	1
A-124	LEVEL 3 FLOOR PLAN	A-520	1
A-124A	LEVEL 3 ENLARGED FLOOR PLAN	A-531	1
A-124B	TOWNHOUSE ENLARGED PLANS	A-541	1
A-125	LEVEL 4 FLOOR PLAN	A-801	1
A-125-A	LEVEL 4 ENLARGED FLOOR PLAN	A-802	1
A-126	LEVEL 5-13 FLOOR PLAN	A-803	T
A-127	LEVEL 6 FLOOR PLAN	A-804	T
A-128	LEVEL 7 FLOOR PLAN	A-810	1
A-129	LEVEL 8 FLOOR PLAN	A-1123-R2	T
A-130	LEVEL 9 FLOOR PLAN	A-1124-R2	1
A-131	LEVEL 10 FLOOR PLAN	A-1125-R1	T
A-132	LEVEL 11 FLOOR PLAN	A-1126-R1	1
A-133	LEVEL 12 FLOOR PLAN	A-1127-R1	1
A-134	LEVEL 13 FLOOR PLAN	A-1128-R3	1
A-135	LEVEL 14 PENTHOUSE FLOOR PLAN	A-1129-R3	T
A-136	ROOF PLAN	A-1130-R3	1
A-201	EXTERIOR ELEVATIONS - NORTH	A-1131-R3	1
A-202	EXTERIOR ELEVATIONS - EAST	A-1132-R3	1
A-203	EXTERIOR ELEVATIONS - SOUTH		-

	EXTERIOR ELEVATIONS - WEST
	EXTEROR ELEVATION RENDERING - NORTH
	EXTEROR ELEVATION RENDERING - EAST
	EXTEROR ELEVATION RENDERING - SOUTH
	EXTEROR ELEVATION RENDERING - WEST
	BUILDING SECTION 1
-	BUILDING SECTION 2
	BUILDING SECTION 3
	BUILDING SECTION 4
_	BUILDING SECTION 5
	BUILDING SECTIONS 6 & 7
	BUILDING SECTION 8
	UNIT PLANS - TOWER UNIT ADAPTABLE C3, C5
	STAIR DETAILS ST182
	STAIR DETAILS ST1&2
	STAIR DETAILS ST182
	STAIR DETAILS ST1&2
	STAIR DETAILS ST3
-	STAIR DETAILS TH
	STAIR DETAILS TH EXTERIOR
	STAIR DETAILS PH
	RAMP DETAILS
	ELEVATOR DETAILS
	BATHROOM DETAILS ADAPTABLE
	KITCHEN DETAILS ADAPTABLE
	FAR OVERLAY
	FAR OVERLAY
-	FAR OVERLAY
	EXEMPTED GFA BREAKDOWN
	CODE COMPLIANCE PLANS
-R2	LEVEL 1 DIAGRAM
-R2	LEVEL 2 DIAGRAM
-R1	LEVEL 3 DIAGRAM
-R1	LEVEL 4 DIAGRAM
-R1	LEVELS 5-13 DIAGRAM
-R3	LEVEL 14 DIAGRAM
-R3	NORTH ELEVATION DIAGRAM
-R3	SOUTH ELEVATION DIAGRAM
-R3	WEST ELEVATION DIAGRAM
-R3	EAST ELEVATION DIAGRAM



COONEY ROAD TOWER

6333 COONEY ROAD, RICHMOND, BC

PROJECT TEAM

OWNER WESTBANK 6th FLOOR, 1067 WEST CORDOVA STREET VANCOUVER, BC V6C 1C7 T: 604.685.8986 DL: 604.893.1772 C: 613.619.5565 CONTACT: PHILLIP MacDOUGALL phillip@westbankcorp.com

ARCHITECT

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NOTES: 1. ADAPTABLE UNITS PROVIDED ARE REQUIRED TO COMPLY WITH BC BUILDING CODE ADAPTABLE UNIT STANDARDS. 2. AGING IN PLACE FEATURES PROVIDED ANLL UNITS. (LEVEL-STYLE DOOR HANDLES AND FAUCET, LED STRIP TASK LIGHTING BELOW WASHROOM VANITY MIRRORS, GRAB BAR BLOCKING AT TOILETS, SHOWER AND BATHTUBS) 3. INDORA MAENITY SPACE TO BE PROVIDED FOR THE SHARED USE OF ALL RESIDENTS ON LEVEL 4. 4. BUILDING REQUIRED TO DEMONSTRATE BC ENERGY STEP CODE 2 STANDARD WITH LOW CARBON ENERGY SYSTEM. 5. DISTRICT ENERGY UTILITY REQUIREMENTS AS PER LEGAL AGREEMENT. 6. DEVELOPMENT IS REQUIRED TO BE DISGNED AND CONSTRUCTED TO MEET INDOOR ACOUSTIC AND THERMAL CRITERIA AS PER LEGAL AGREEMENT. 7. MIDENED SUBJORML/S RW TO BE PROVIDED AND CONSTRUCTED TO MEET INDOOR ACOUSTIC AND THERMAL CRITERIA AS PER LEGAL AGREEMENT. 7. MIDENED SUBJORAL/S RW TO BE PROVIDED AND CONSTRUCTED TO MEET INDOOR ACOUSTIC AND THERMAL CRITERIA AS PER LEGAL AGREEMENT. 8. SERVICING AGREEMENT REQUIRED. OF-SITE AND SRW WORKS TO BE PROVIDED VIA SPER LEGAL AGREEMENT. 9. THIS DEVELOPMENT FERMIN PROSEND IN LIGUIS STORES OF LEGAL AGREEMENT. 9. THIS DEVELOPMENT FERMIN POES NOT INCLUDES SIGNAGE ALL SIGNAGE REQUIRED TO COMPLY WITH SIGN AGREEMENT FOR CITY LANG AND FRONTAGE IMPROVEMENTS AS PER LEGAL AGREEMENT. 10. ALL THE COMMON AREAS MEET THE ACCESSIBILITY REQUIRED STORMEY WITH SIGN REGULATION BY UN \$700, INCLUDING SUBMITTING SEPARATE SIGN PERMIT APPLICATIONS AS NEEDED. 10. ALL THE COMMON AREAS MEET THE ACCESSIBILITY REQUIRED TO COMPLY WITH SIGN REGULATION BY UN \$700, INCLUDING SUBMITTING SEPARATE SIGN PERMIT APPLICATIONS AS NEEDED. 11. SLAB EDGE PLANS WILL BE TREATED WITH ROOF DRAINS TO MILEY AND AND PRIVATE OUTDOOR AMENTY SPACES.

RESIDENTIAL UNIT SUMMARY	Bachelor	1 Bed + Den	1 Bed	2 Bed	2 Bed Adapt.	3 Bed	Live/Work	Total	Original DP Total	Difference
L1: Ground Level	0	0	0	0	0		3	3	2	1
L2: 2nd Floor	-		ا خار	-		-	-	0	3	-3
L3: 3rd Floor	0	1	0	3	0	0	0	4	4	(
L4: 4th Floor	1	0	0	4	2	0	0	7	7	(
L5 - L13: Typical Floors	0	9	0	36	18	0	0	63	63	(
L14: 14th Floor	0	0	0	1	0	3	0	4	4	(
Subotal	1	10	0	44	20	3	3	81		(
Original DP	1	9	6	44	20	3	0		83	-1
Total (%)	1%	12%	0%	54%	25%	4%	4%			
Original DP Total (%)	1%	11%	7%	53%	24%	4%	0%			

UNIT TYPE SUMMARY	Count	Area (sf)	(m.pa) sarA	ORIGINAL OF UNIT TYPE SUMMARY	Count	Area (sf)	Area (sq.)	
LIVE/WORK UNIT DO	2	1494	139					
LIVE/WORK UNIT D1	1	1515	141	1 BEDROOM LIVE/WORK UNIT A1	1	750	70	
DACUTION 40		204	37	In a cut to put the	14	1400	127	
BACHELOR AO	1	394	3/	BACHELOR UNIT	1	400	37	
	-			1 BEDROOM UNIT B1	2	447	42	
	+			1 BEDROOM UNIT B2	1	526	49	
				1 BEDROOM UNIT B4	2	469	44	
1 BEDROOM + DEN UNIT B1	1	572	53	1 BEDROOM + DEN UNIT B3	9	570	53	
1 BEDROOM + DEN UNIT B2	9	511	47			1	-	
2 BEDROOM UNIT C1	11	848	79	2 BEDROOM UNIT C1	1	843	78	
2 BEDROOM UNIT C2	11	777	72	2 BEDROOM UNIT C2	1	689	64	
2 BEDROOM UNIT C3 L3	1	786	73				1	
2 BEDROOM ADAPTABLE UNIT C3	10	742	69	2 BEDROOM UNIT C3	10	817	76	
2 BEDROOM UNIT C4	9	798	74			1		
2 BEDROOM UNIT C4 L4	1	794	74	2 BEDROOM UNIT C4	10	814	76	
2 BEDROOM ADAPTABLE UNIT C5	10	740	69	2 BEDROOM UNIT C5	9	809	75	
2 BEDROOM UNIT C6	9	880	82	2 BEDROOM UNIT C5A	1	770	72	
2 BEDROOM UNIT C6 L4	1	876	81	2 BEDROOM UNIT C6	10	809	75	
				2 BEDROOM ADAPTABLE UNIT C7	10	810	75	
			1 1 1	2 BEDROOM UNIT C8	1	870	81	
				2 BEDROOM UNIT C9	1	775	72	
				2 BEDROOM ADAPTABLE UNIT C10	10	645	60	
3 BEDROOM UNIT PH4	1	873	81	3 BEDROOM UNIT D1	1	1077	100	
3 BEDROOM UNIT PH2	1	1010	94					
3 BEDROOM UNIT PH1	1	1050	98	3 BEDROOM UNIT D2	1	1205	112	
2 BEDROOM UNIT PH3	1	1033	96	3 BEDROOM UNIT D3	1	1094	102	
Totals	81				83			
FHICULAR PARKING REQUIREMENT - ZHR8	Require	d	Proposed			Original DP	-	
he minimum parking aisle width within the parking structure shall be 6.5m	- moderne	-				arigina pr		
he maximum slope of vehicle ramps within the parking structure shall be 12.25%								
ccesible Parking (incl. in total)		3	3					
Residential @ Min. 1.0 Stall / Unit (Including 3 Live/work Units TH1, TH2, TH3)		1	66	S	84			
Visitor for Residential @ Min. 0.2 Stall / Unit		6	1.1.1					
Visitor for Live/work @ Min. 0.5 Stall / Unit		5	14		17			
ar Share		0	2			C	E C	
otal on-site Vehicular Parking (combined)	9	9	82			101		
ICYCLE REQUIREMENT			-					
25 Space / Unit (Class 1)	10	2	162			105		
		-	478					

17

119

17

18

Total

123

0.2 Space / Unit (Class 2)

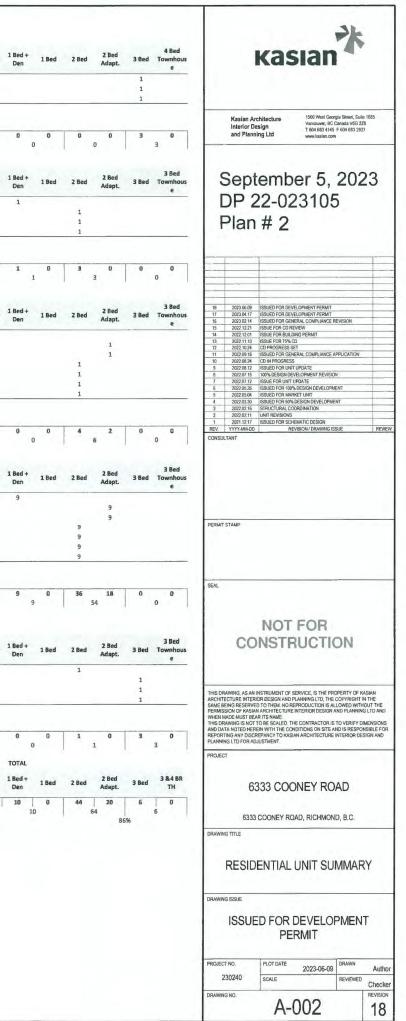
Total Bicycle Parking (combined

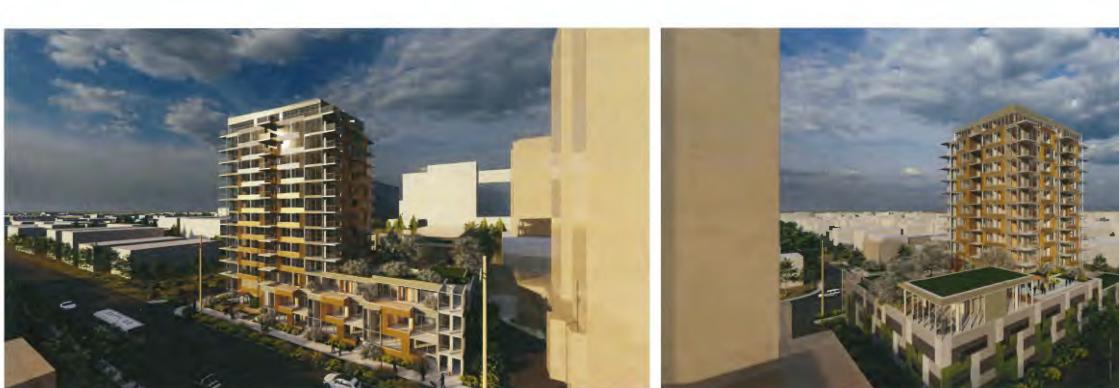
									LIVE/WOR	K UNITS BR	REAKDOW	N			
	Floor Number	Unit #	Unit Area		Outdoor area L1	Outdoor area L2	Outdoor area L3	Number / Floor	Average	Sellable Area/ Floor	Sellable Area/ Floor	Countable Area/ Floor	Total Units/ Floor	Bachelor	1
TH2		DO	1494		68	90	280	1		1494					
TH3	3	DO	1494		63	78	285	1	1501	1494	4503		3		
TH1		D1	1515		83	97	285	1		1515			_		
		Sub Total	4503	Ø				1		4503	4503		3		
Total										4503		-	3	0	-
										SELLABLE			Units	0	
								1	MARKET SA	LE UNITS BI	REAKDOW	N			
	Floor Number	Unit #	Unit Area		Outdo	or area		Number / Floor	Average	Sellable Area/ Floor	Sellable Area/ Floor	Countable Area/ Floor	Total Units/ Floor	Bachelor	1
		B1	572		8	34		1		572					
13		C2 L3	776		2	94		1	745	776	2000	1050			
L3	1	C3 L3	786		3	91		1	746	786	2982	4258	4		
		C1	848	_	(57		1		848					
97.8% Note: Tow	ver Units + L	Sub Total evel 3 TH		a				4		2982	2982 1192 4174	4258	4		
Total										2982 SELLABLE			4 Units	0	
									AADVET CA		DEAKDOW		OTIM		
									VIANNET SA	LE UNITS BI			Tetel		
	Floor Number	Unit #	Unit Area		Outdo	or area		Number / Floor	Average	Sellable Area/ Floor	Area/ Floor	Countable Area/ Floor	Total Units/ Floor	Bachelor	1
		AO	394		1	37		1		394				1	
		C5	740	20		78		1		760					
	1.1	C3	742	20		76		1	3.	762	2.55	1.000			
L4	1	C2 C4 L4	777			0		1	744	777	5211	6783	7		
		C4 L4	794 848			00 57		1		794 848					
		C6 L4	848			21		1		848					
76.8%	-	Sub Total	470	40	3	61		7		5211	5211	6783	7		
												699			
Total										5211		-	7	1	
										SELLABLE			Units	1	
								1	ARKET SA	LE UNITS BI	REAKDOW	N			
	Floor Number	Unit #	Unit Area		Outdo	or area		Number / Floor	Average	Sellable Area/ Floor	Sellable Area/ Floor	Countable Area/ Floor	Total Units/ Floor	Bachelor	1
		B2	511		7	2		1		511					-
		C5	740	20	7	8		1		760					
		C3	742	20	7	6		1		762					
15-13	9	C2	777			0		1	762	777	5336	5621	7		
		C4	798			57		1		798					
		C1	848			57		1		848					
		C6	880		6	59		1		880		-			
94.9%		Sub Total		40				7		5336	48024	50589	63		

	mber	Jnit #	Unit Area											
114					Outdoor area	Roof Deck	Number / Floor	Average	Sellable Area/ Floor	Sellable Area/ Floor	Countable Area/ Floor	Total Units/ Floor	Bachelor	
114		PH4	873		290	589	1		873					-
	. 1	PH2	1010		455	745	1		1010	2000	10.05			
	1	PH1	1050		440	738	1	992	1050	3966	4235	4		
		PH3	1033		196	613	1		1033					
93.6%	5ut	b Total		0			4		3966	3966	4235	4		
Total									3966		2		0	
									SELLABLE			Units	0	
Unit Number Le	egend								Sellable	Sellable	Countable	Total		
A Stud	dio								Area/	Area/	Area/	Units/	Bachelor	1
B 1Be	ed								Floor	Floor	Floor	Floor		
C 2 Be	ed								64686			81	1	
D 3 Be	ed								SELLABLE			Units	1	

63 0 Units 0

48024 SELLABLE





PERSPECTIVE @ NORTH-EAST VIEW





PERSPECTIVE @ SOUTH-WEST VIEW



PERSPECTIVE @ OUTDOR AMENITY NORTH-WEST VIEW

PERSPECTIVE @ OUTDOR AMENITY NORTH-EAST VIEW



PERSPECTIVE @ ROOF TOP NORTH-EAST VIEW

PERSPECTIVE @ ROOF TOP SOUTH-EAST VIEW





PERSPECTIVE @ PARKING NORTH-EAST VIEW





PERSPECTIVE @ PARKING SOUTH-WEST VIEW



VIEW 6







VIEW 3



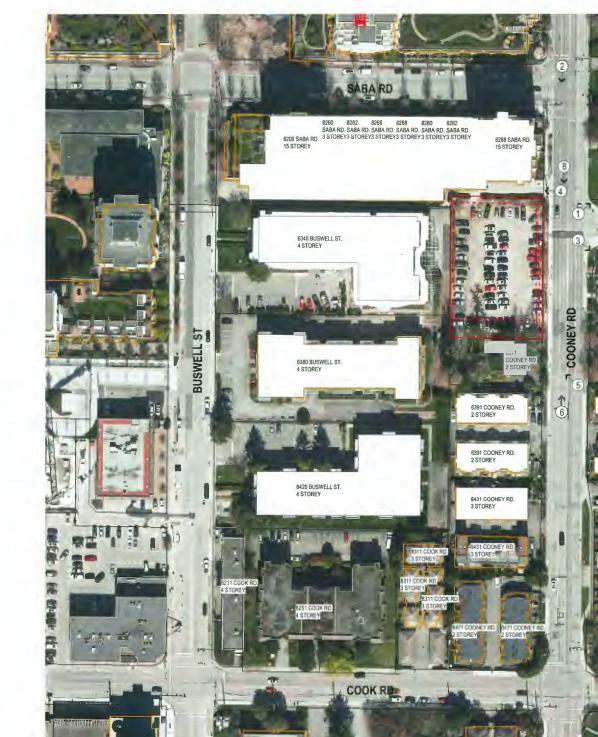
VIEW 2



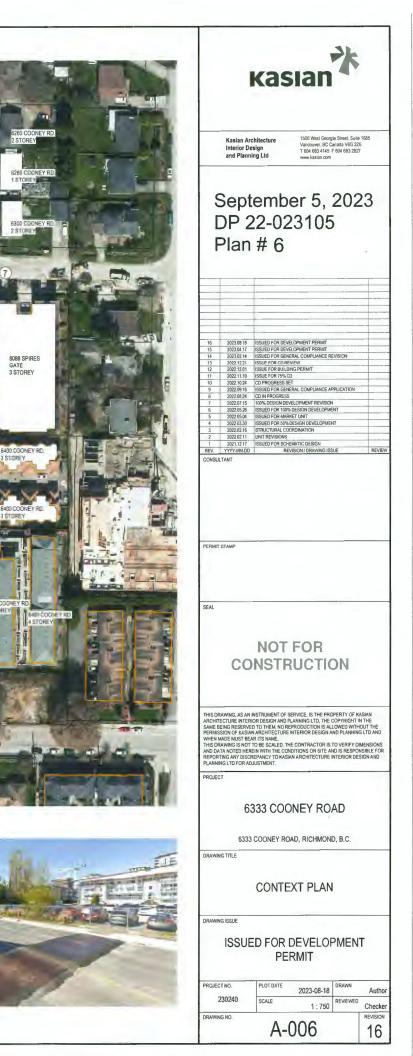
VIEW 1

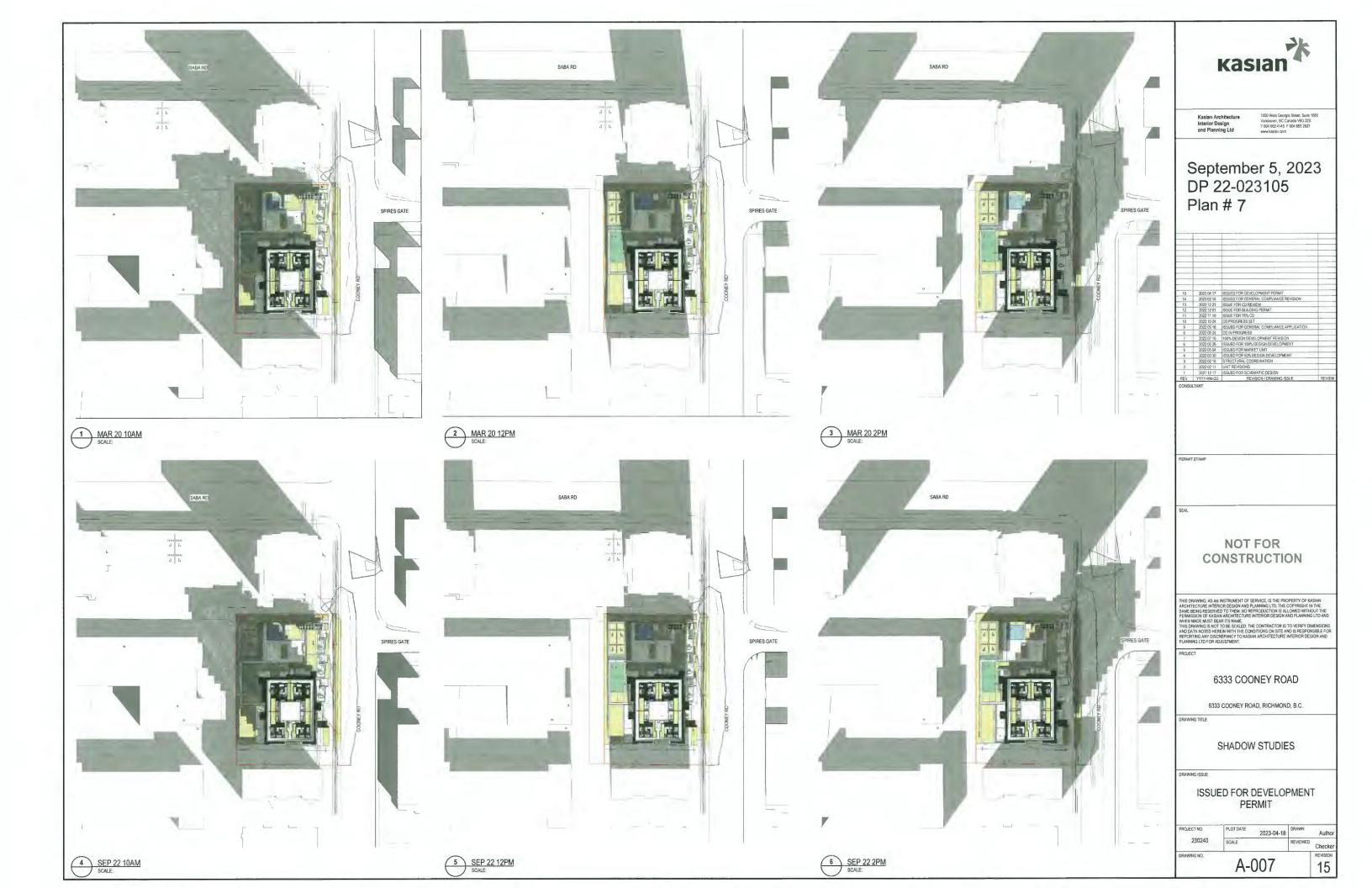


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VIEW 8







PERSPECTIVE @ TOWER ENTRANCE VIEW 1



PERSPECTIVE @ NORTH-EAST TOWNHOUSE VIEW 3



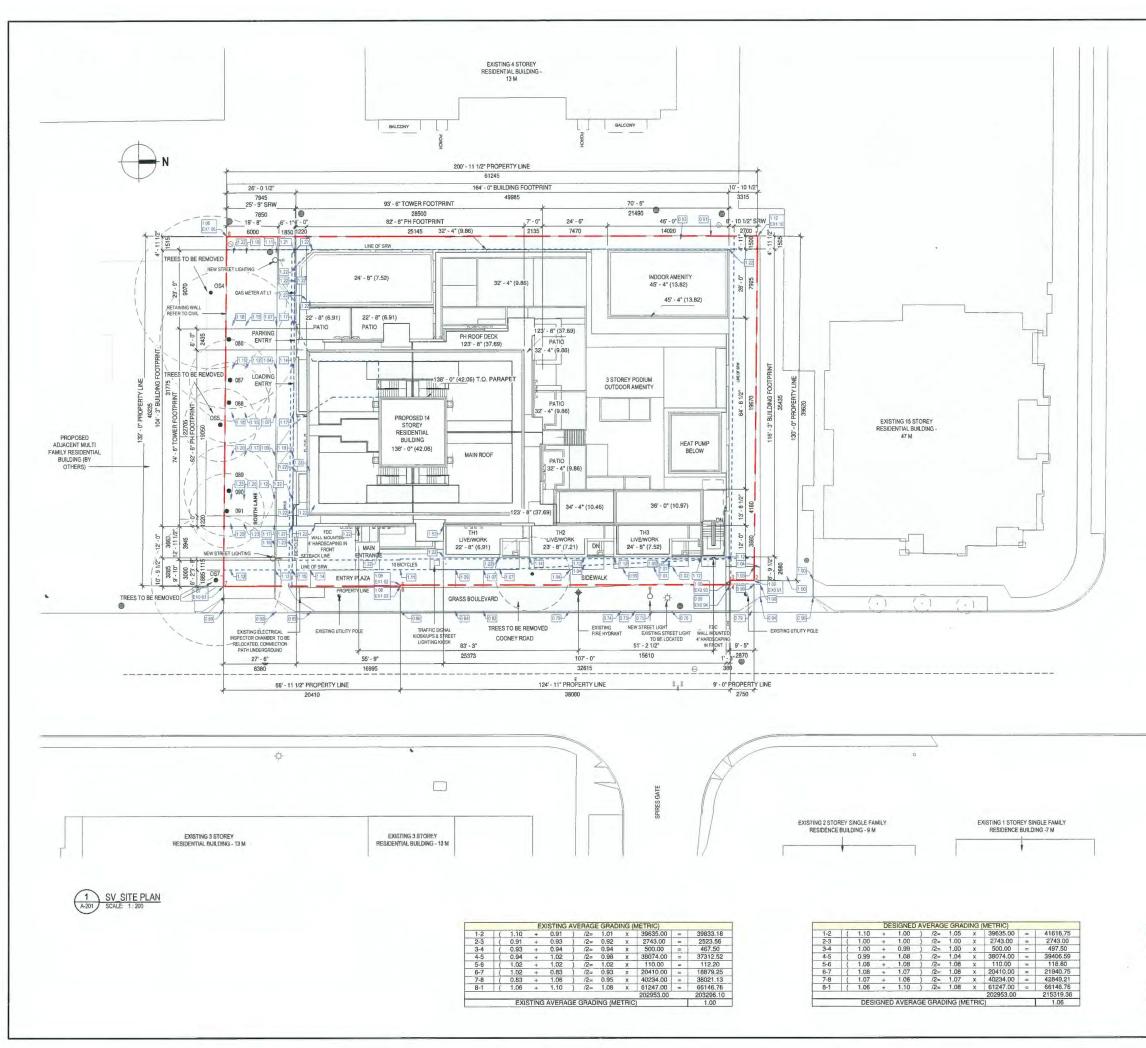
PERSPECTIVE @ TOWNHOUSES NORTH-EAST VIEW



PERSPECTIVE @ SOUTH-EAST TOWNHOUSE VIEW 4

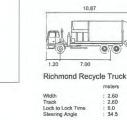


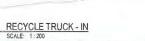
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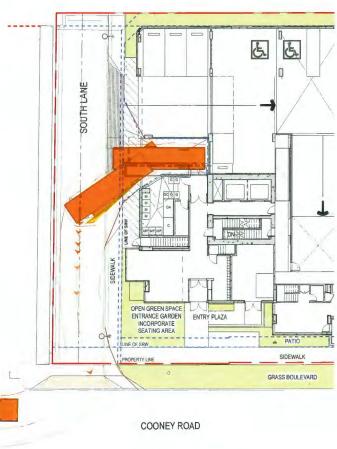
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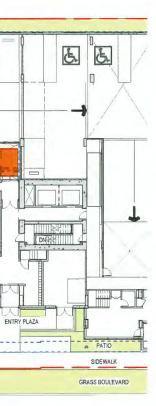




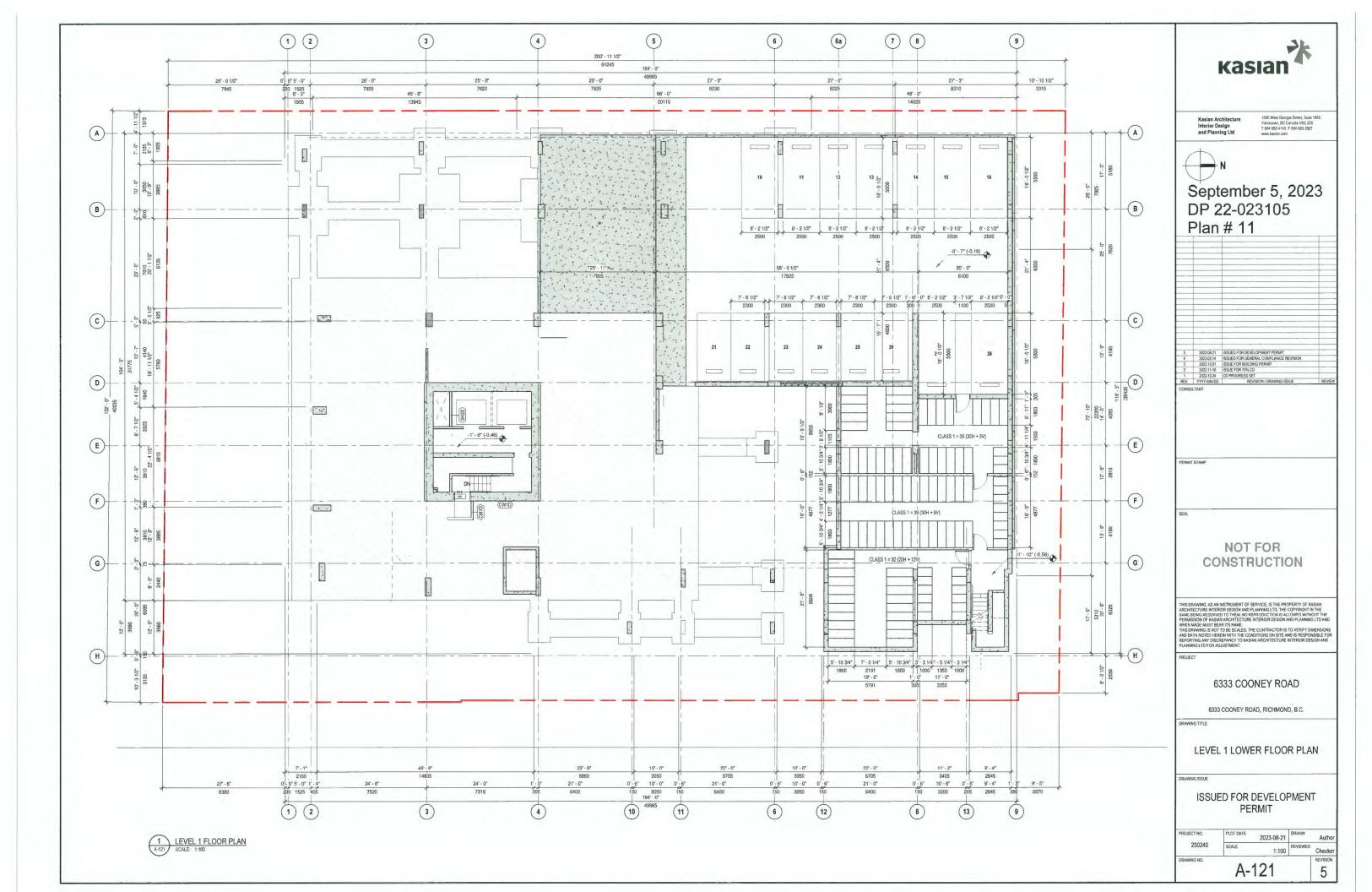


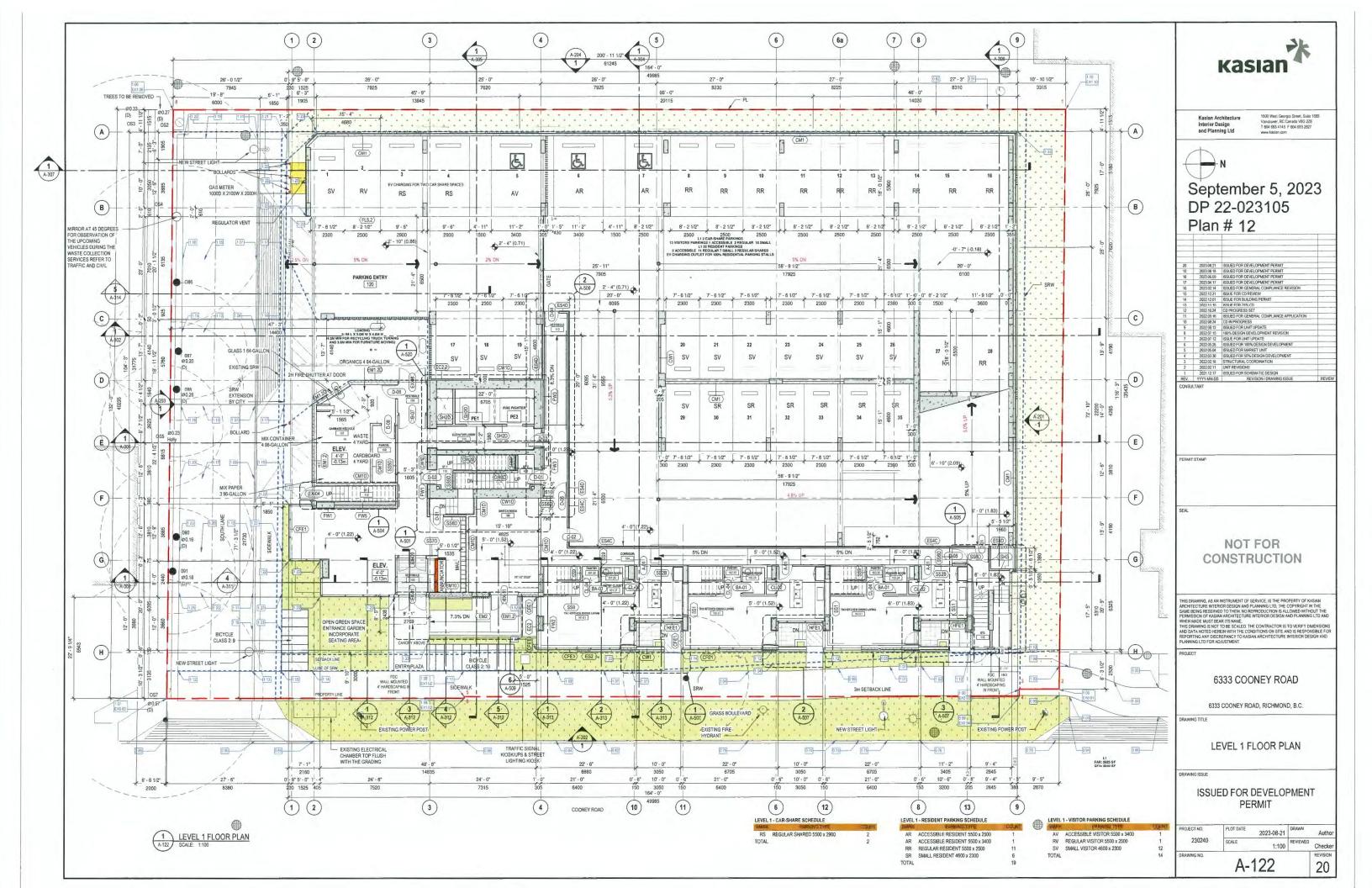


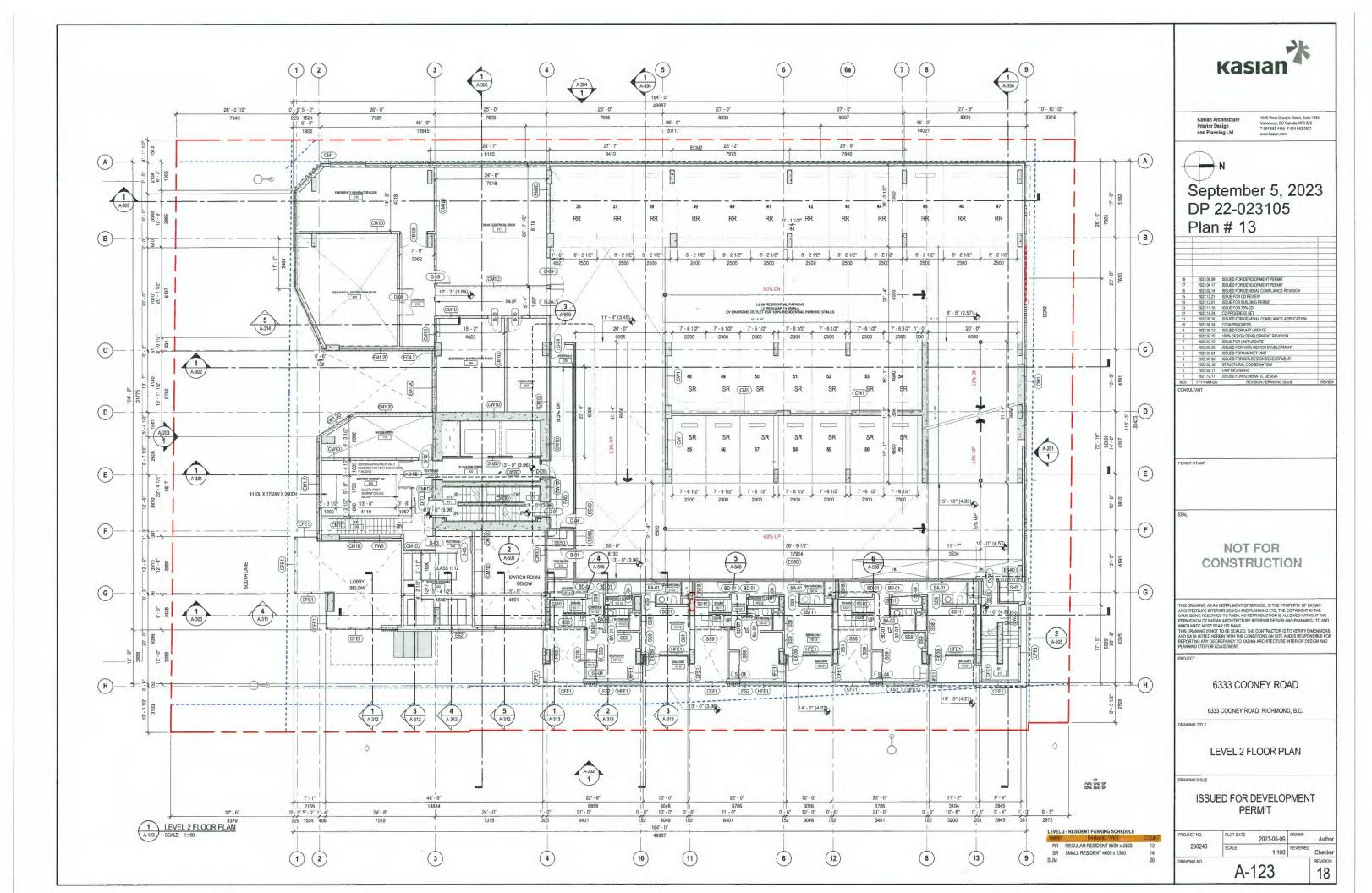


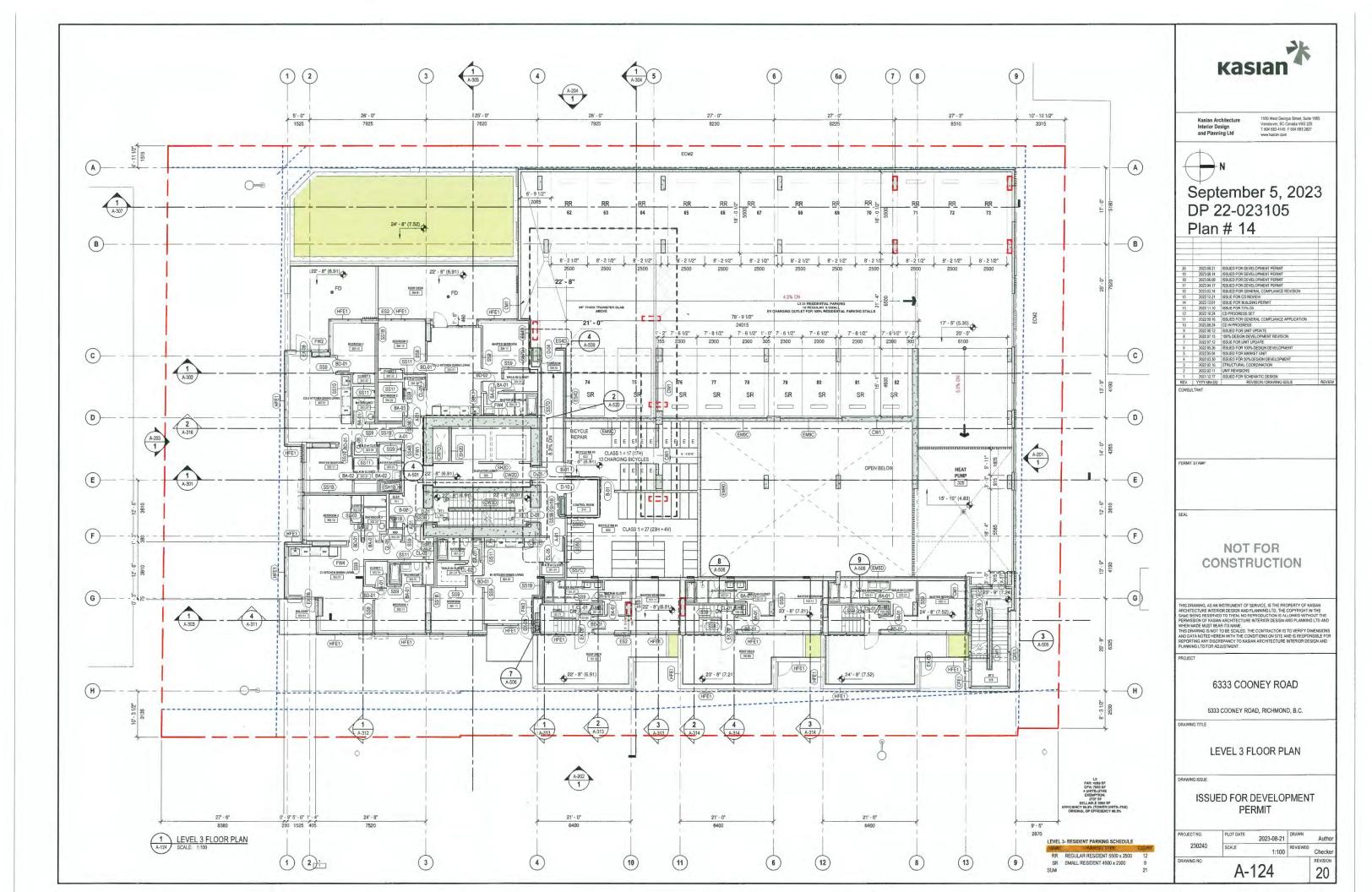


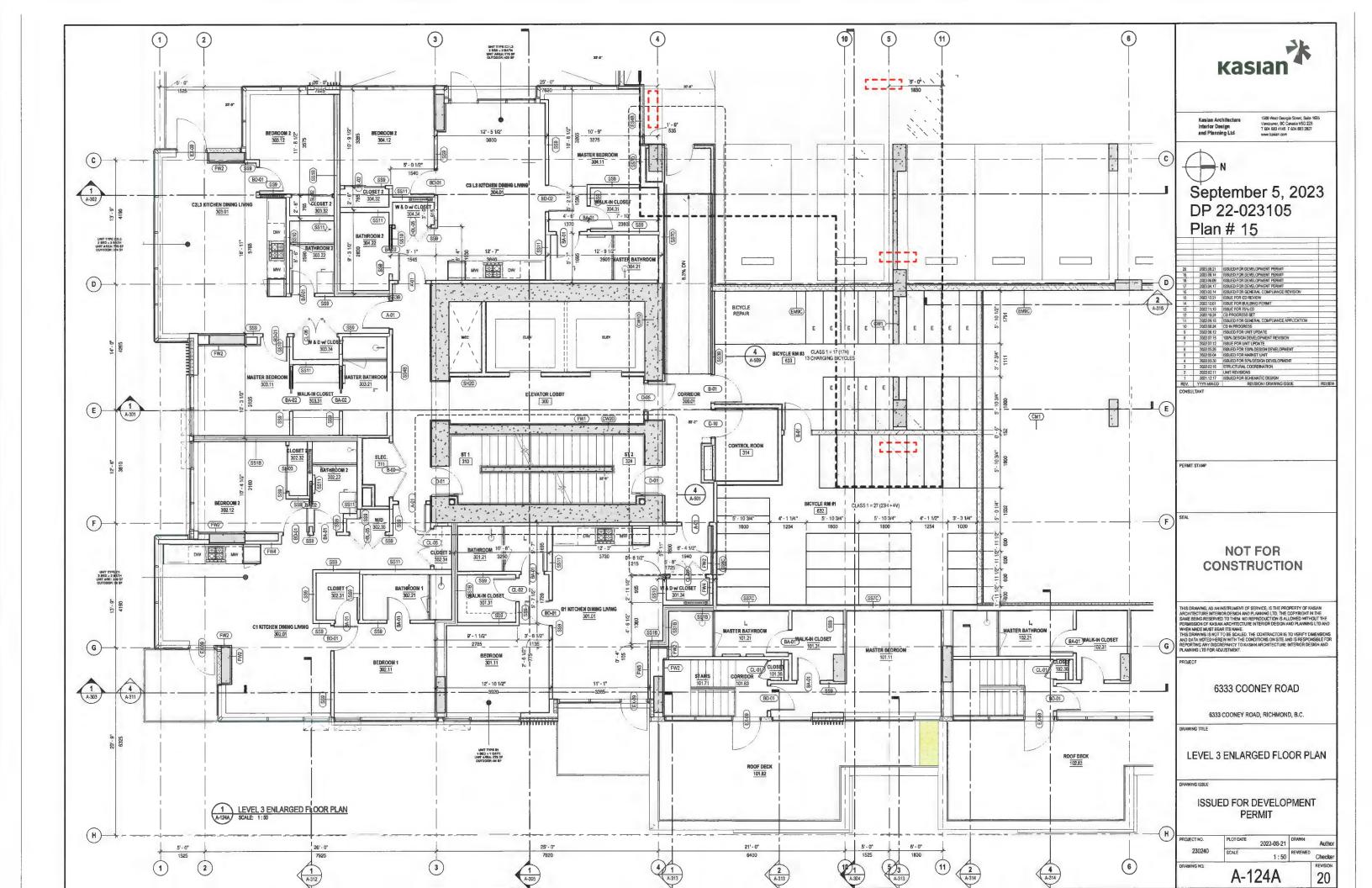
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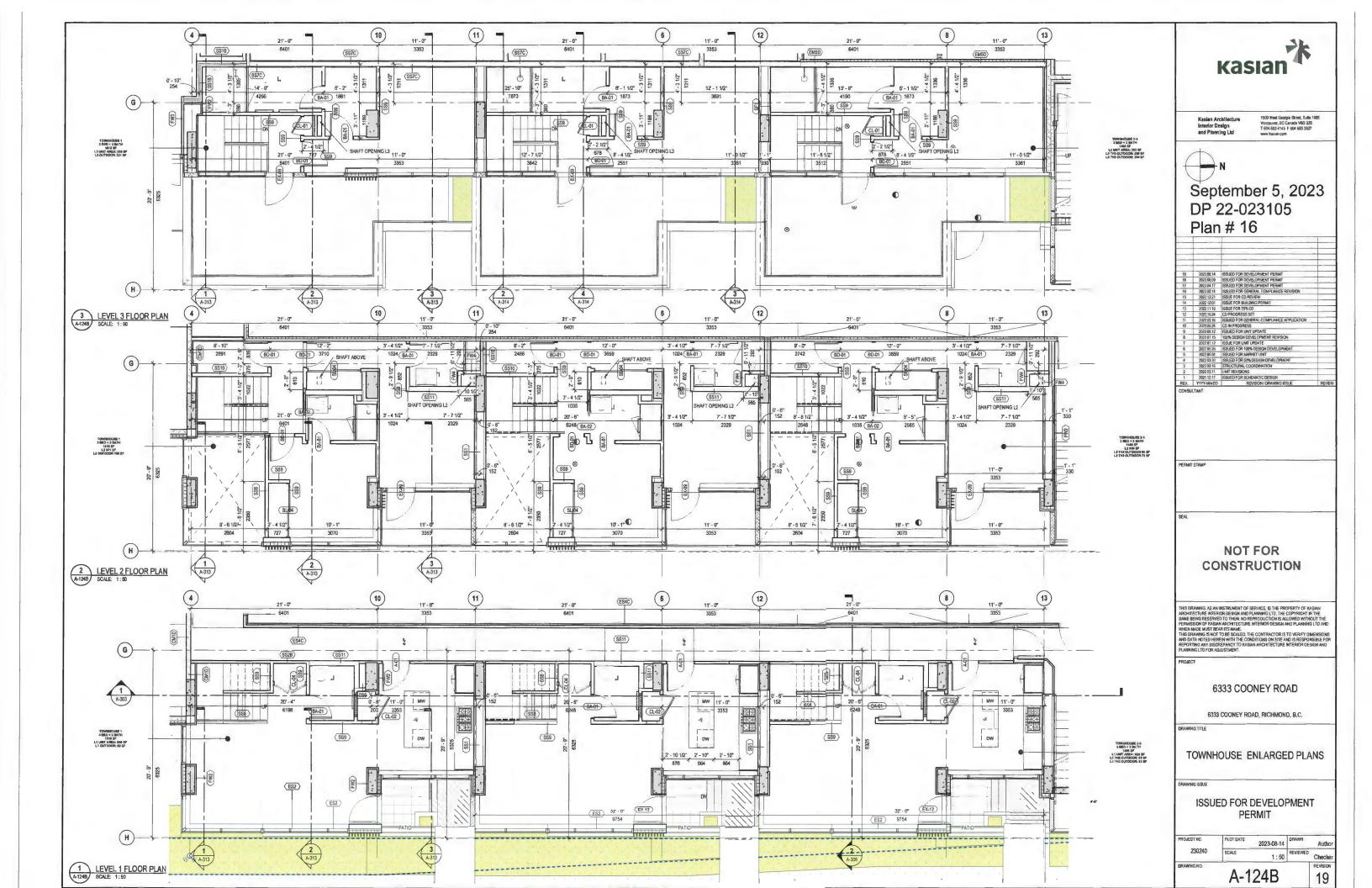


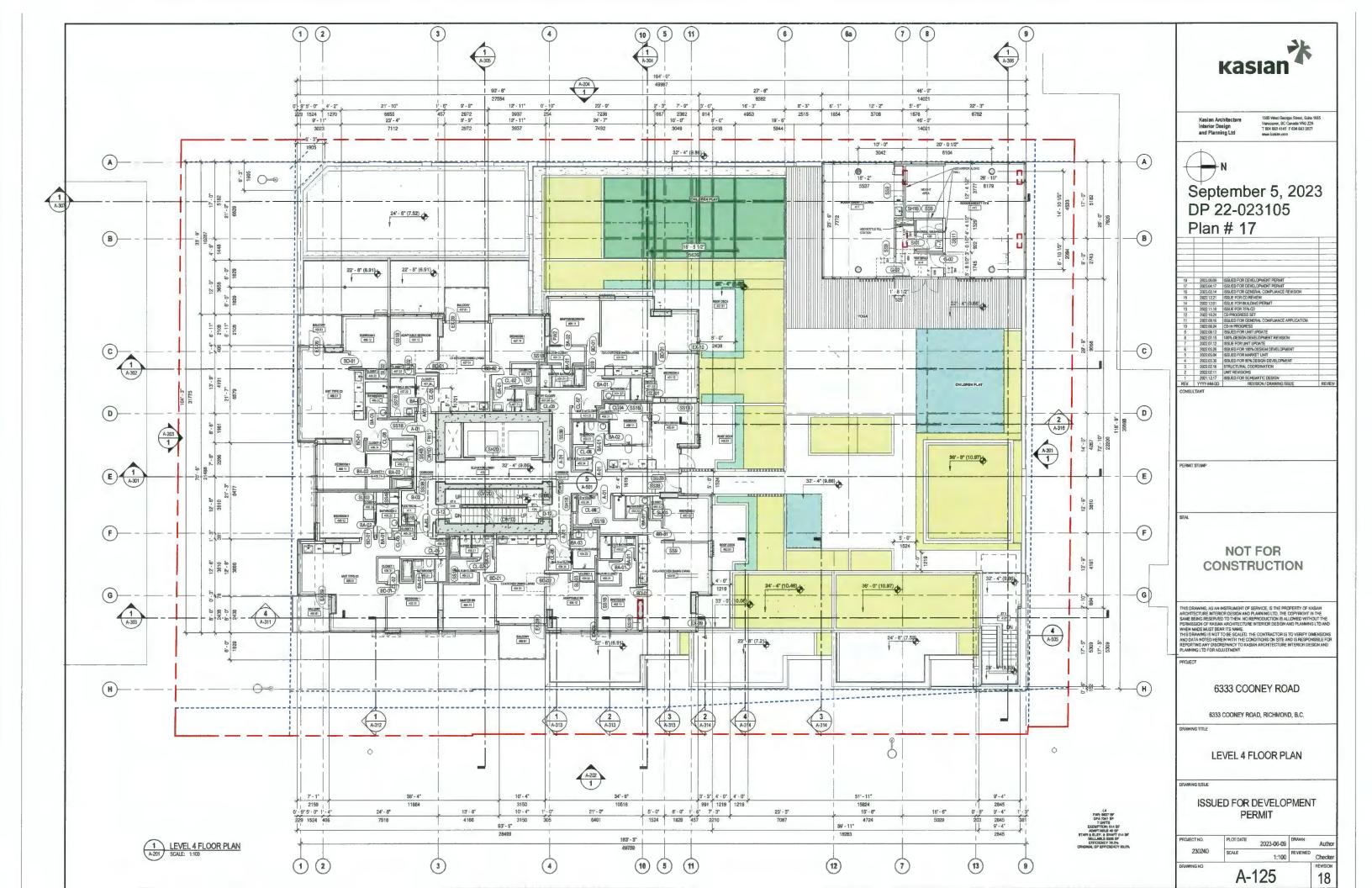


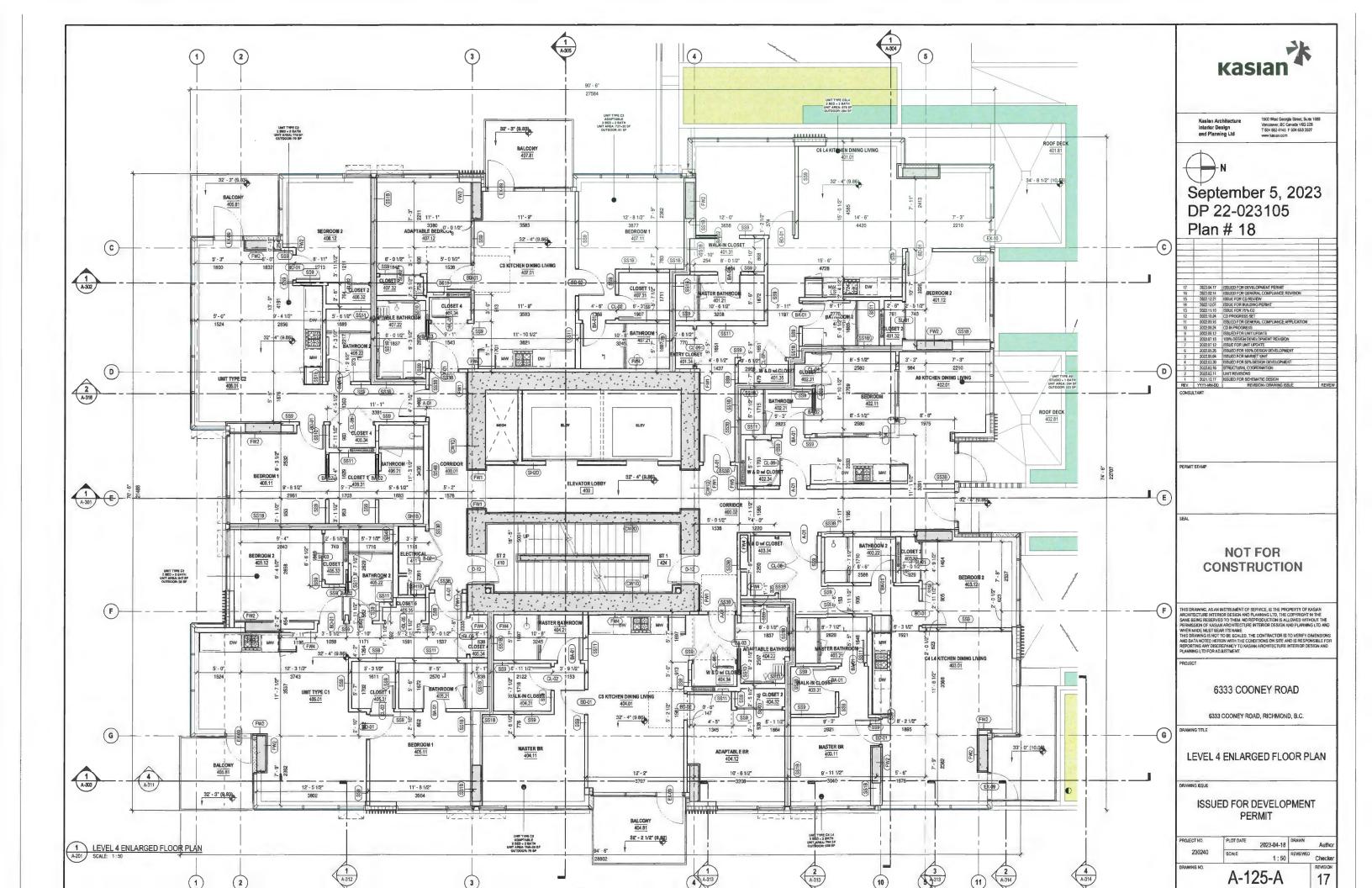


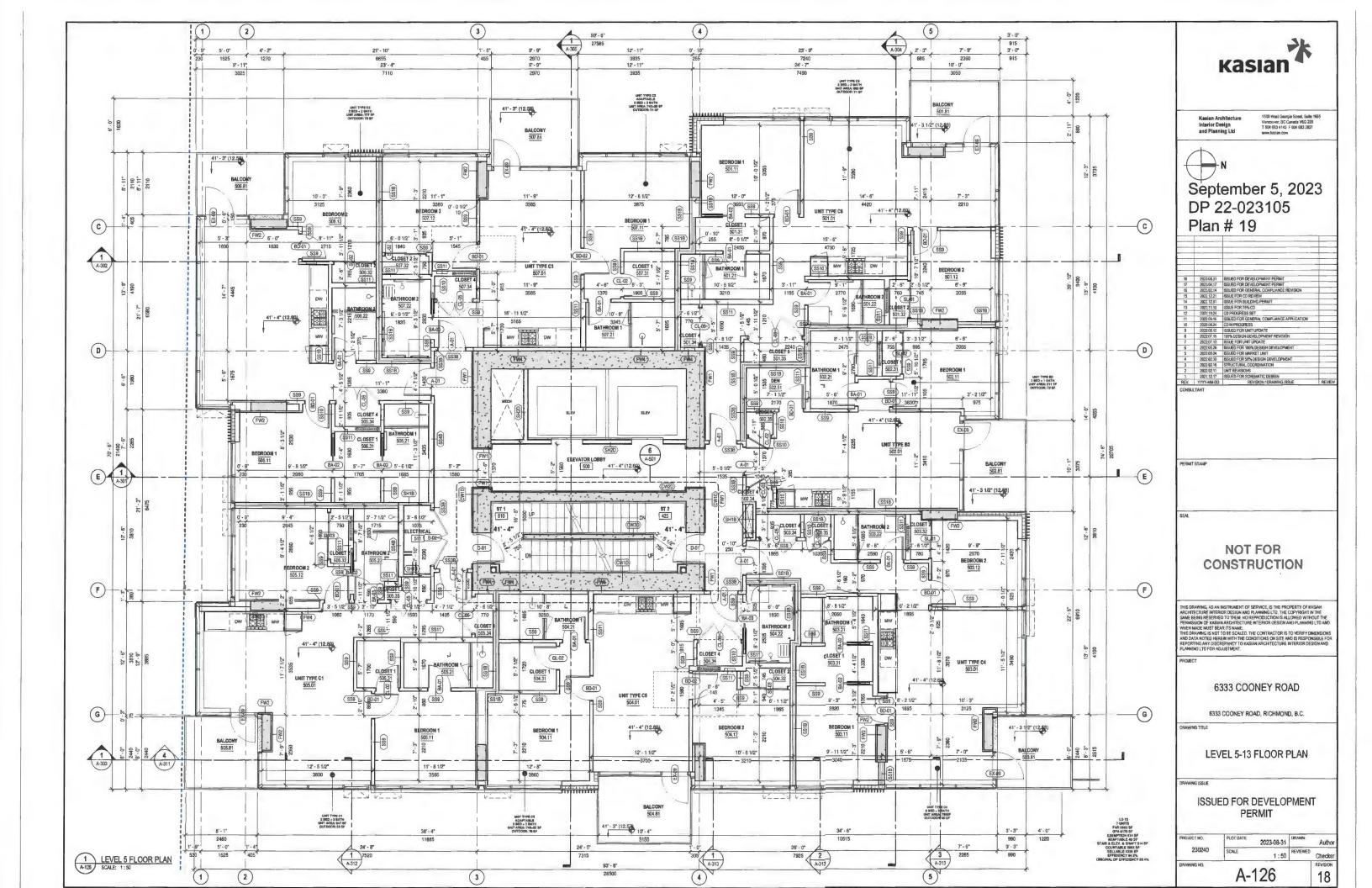


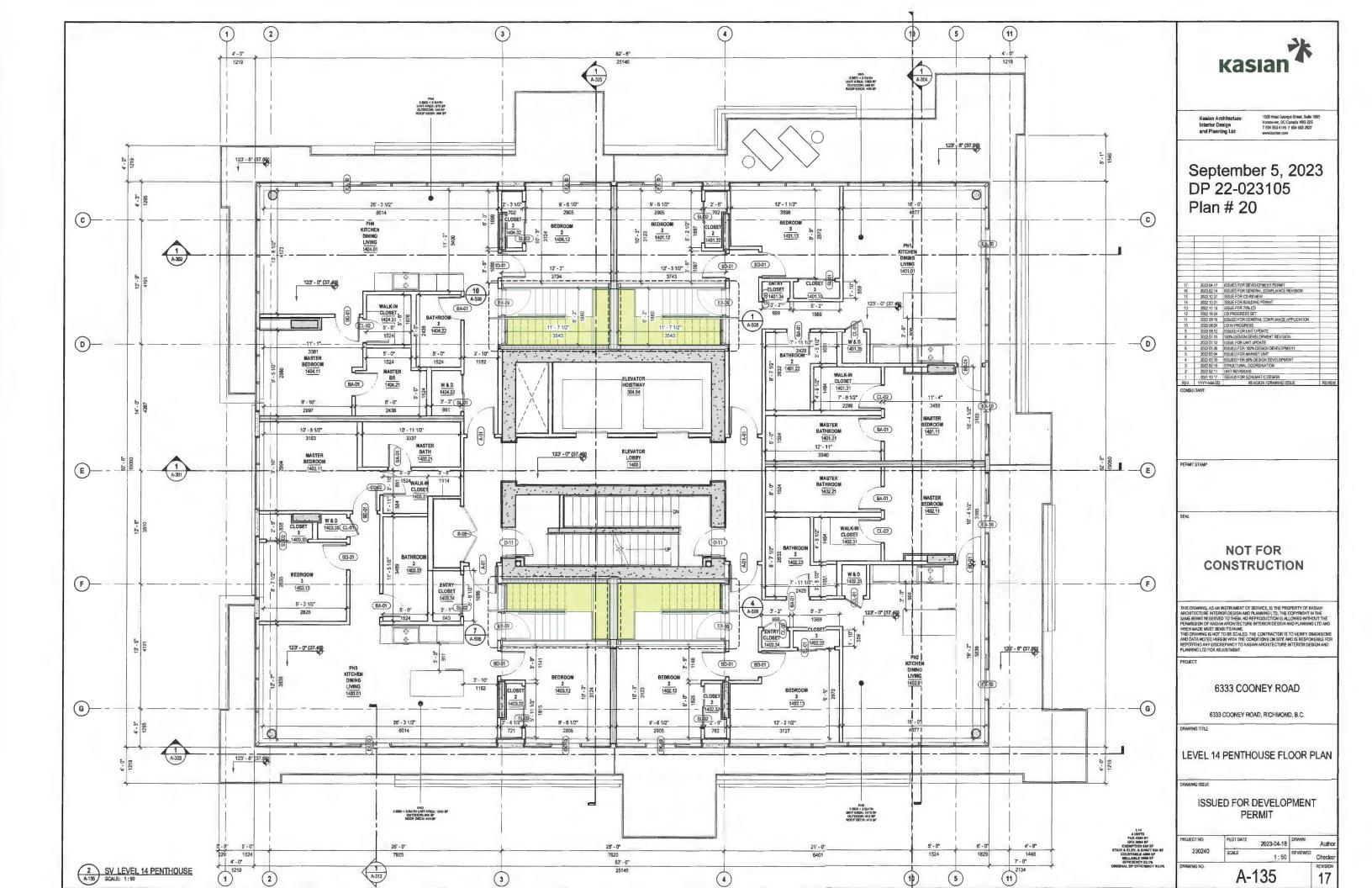


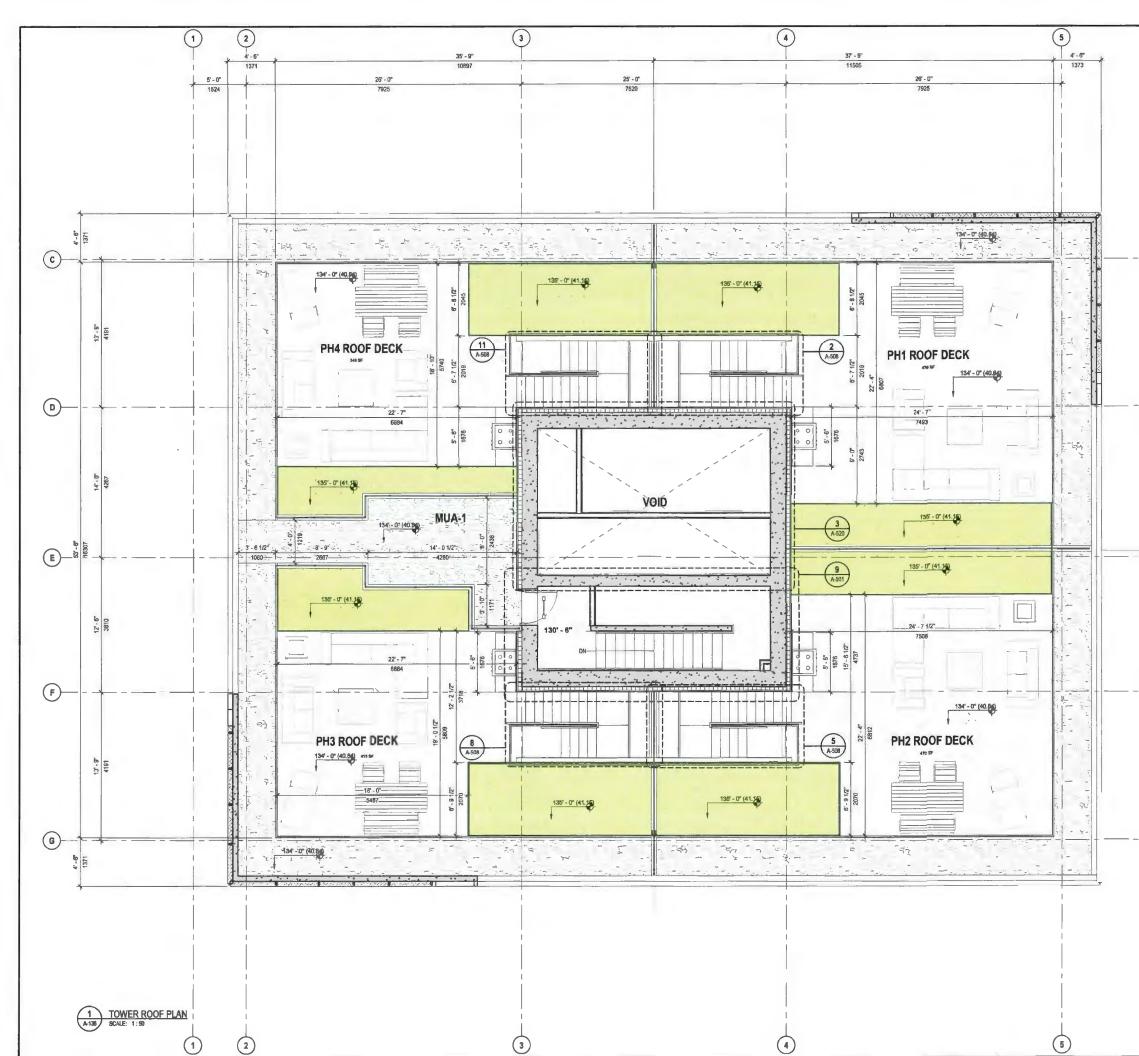


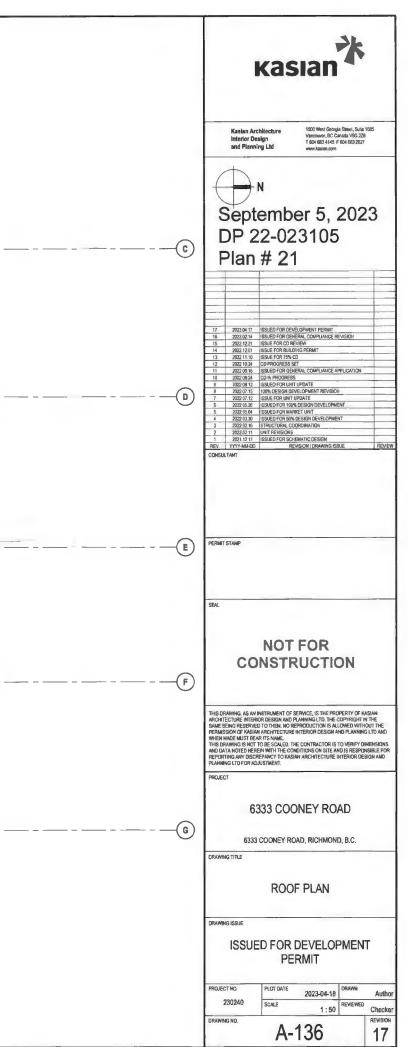














EXTERIOR FINISHES DESCRIPTION

CFE1 CURTAIN WALL CLEAR TRIPLE GLAZING CG1 GLASS AND STRUCTURAL STEEL CANOPY

CSP1 CURTAIN WALL GLAZING SPANDREL

EC3 METAL PANEL SYSTEM RIBBED 4" INSULATION ATTACHED TO CAST-IN-PLACE CONCRETE

EC5 GREEN SCREEN ATTACHED TO CAST-IN-PLACE CONCRETE NO INSULATION EM3.2 CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - DARK CHARCOAL

CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - BLACK

EM5 CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - LIGHT GREY EM11 GREEN SCREEN ATTACHED TO CMU WALL NO INSULATION

RIBBED METAL PANEL SYSTEM WITH INSULATION ATTACHED TO STEEL STUD - BRASS EX05 DOOR EXIT OUTSWING DOUBLE GLAZED

EX09 DOOR BALCONY OUTSWING DOUBLE GLAZED

EX10 PENTHOUSE DOOR SLIDING DOUBLE GLAZED GR1 LAMINATED TEMPERED GLASS RAILING

HFE1 VISION GLASS WINDOW WALL 1 - CLEAR TRIPLE

HSP1 SSG HYBRID WALL SPANDREL GLAZING - LIGHT GREY

HSP2 SSG HYBRID WALL SPANDREL METAL - SILVER

ML1 METAL LOUVER - DARK CHARCOAL

OW1 OPERABLE FRAMELESS WINDOW - WINDOW WALL

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Kasian Architecture Interior Design and Planning Ltd

1500 West Georgia Street, Surte 1685 Vancouver, BC Canada V6G 226 T 604 683 4145 F 604 663 2827 www.kaslan.com

September 5, 2023 DP 22-023105 Plan # 22

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-			_
18	2023.09.01	ISSUED FOR DEVELOPMENT PERMIT	1
17	2023.08.31	ISSUED FOR DEVELOPMENT PERMIT	
16	2023.06 09	ISSUED FOR DEVELOPMENT PERMIT	_
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT	-
14	2023 02.14	ISSUED FOR GENERAL COMPLIANCE REVISION	
13	2022.12.21	ISSUE FOR CD REVIEW	
12	2022.12.01	ISSUE FOR BUILDING PERMIT	-
11	2022 11.10	ISSUE FOR 75% CD	
10	2022 10.24	CD PROGRESS SET	
9	2022 09 16	ISSUED FOR GENERAL COMPLIANCE APPLICATION	
8	2022 08 24	CD IN PROGRESS	
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION	
6	2022 05.26	ISSUED FOR 100% DESIGN DEVELOPMENT	
5	2022 05.04	ISSUED FOR MARKET LINIT	
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT	
3	2022.02.15	STRUCTURAL COORDINATION	
2	2022.02.11	UNIT REVISIONS	
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN	
REV.	YYYY-MM-DD	REVISION / ORAWING ISSUE	REVI

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ROJEC

6333 COONEY ROAD

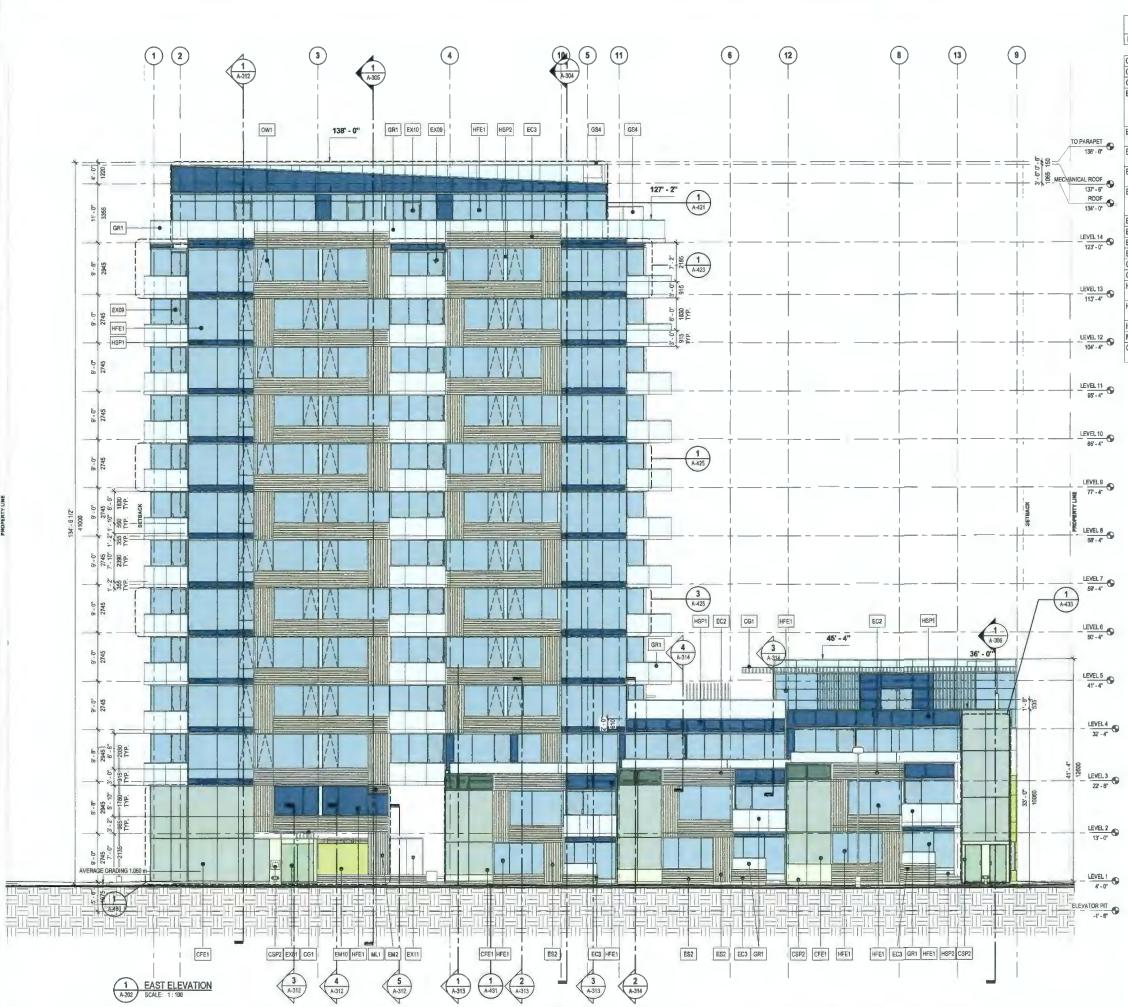
6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

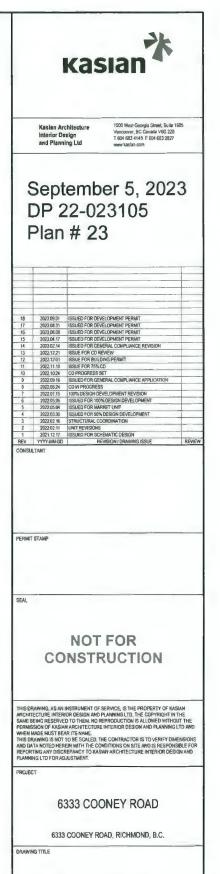
EXTERIOR ELEVATIONS - NORTH

DRAWING ISSUE

DRAWING NO.	A-2	201		REVISION 18
230240	SCALE	1:100	REVIEWED	Checker
PROJECT NO.	PLOT DATE	2023-09-01	DRAWN	Author



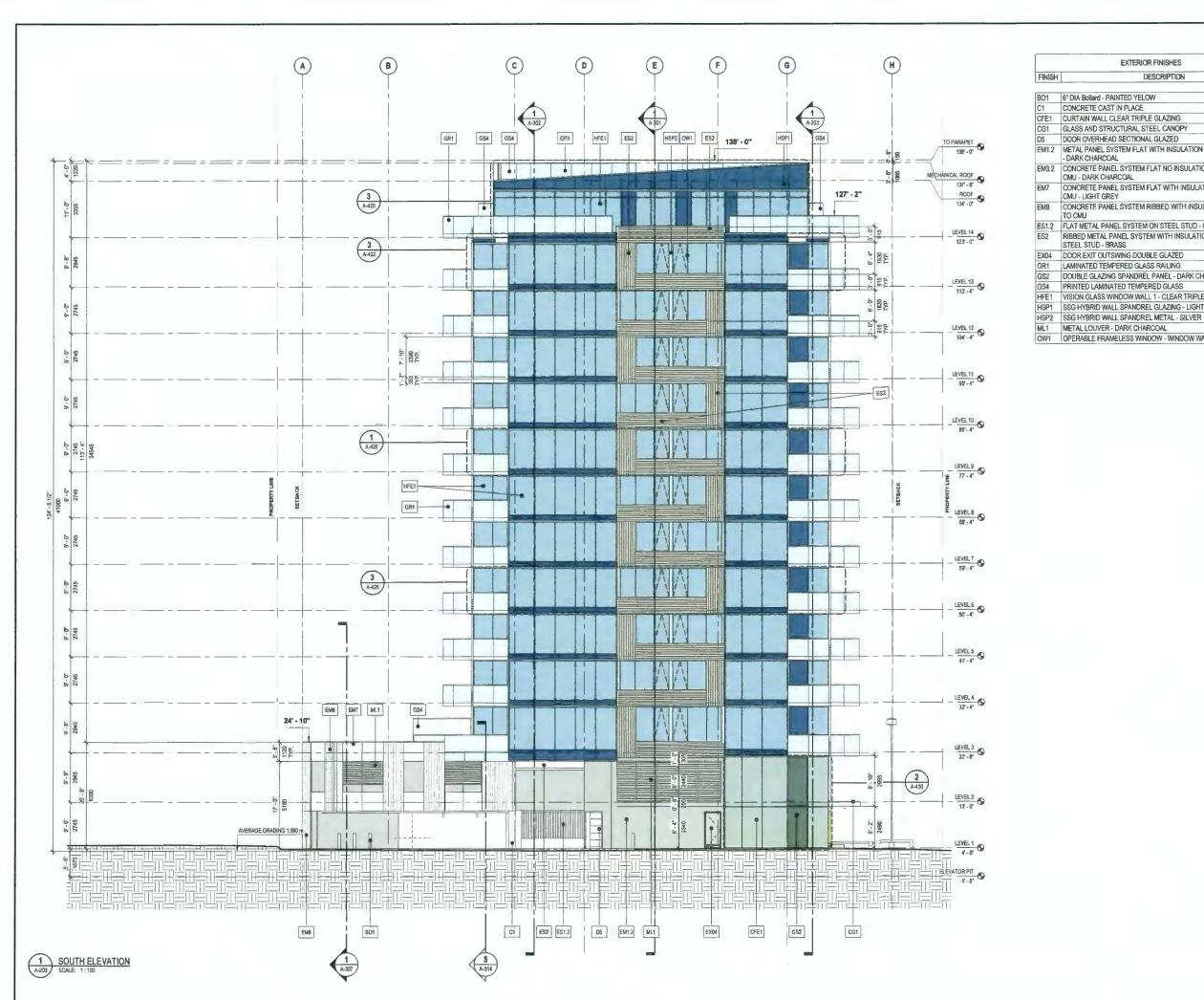
	EXTERIOR FINISHES
FINISH	DESCRIPTION
CFE1	CURTAIN WALL CLEAR TRIPLE GLAZING
CG1	GLASS AND STRUCTURAL STEEL CANOPY
CSP2	CURTAIN WALL METAL SPANDREL
EC2	METAL PANEL SYSTEM FLAT 4" INSULATION ATTACHED TO CAST-IN-PLACE CONCRETE EC2.1 BRASS EC2.2 DARK CHARCOAL EC2.3 SILVER EC2.4 BLACK
EC3	METAL PANEL SYSTEM RIBBED 4" INSULATION ATTACHED TO CAST-IN-PLACE CONCRETE
EM2	METAL PANEL SYSTEM RIBBED WITH INSULATION ATTACHED TO CMU - BRASS
EM10	GREEN SCREEN ATTACHED TO CMU WALL WITH INSULATION
ES2	RIBBED METAL PANEL SYSTEM WITH INSULATION ATTACHED TO STEEL STUD - BRASS
EX01	DOOR ENTRY OUTSWING DOUBLE GLAZED
EX09	DOOR BALCONY OUTSWING DOUBLE GLAZED
EX10	PENTHOUSE DOOR SLIDING DOUBLE GLAZED
EX11	DOOR OUTSWING PAINTED METAL
GR1	LAMINATED TEMPERED GLASS RAILING
GS4	PRINTED LAMINATED TEMPERED GLASS
HFE1	VISION GLASS WINDOW WALL 1 - CLEAR TRIPLE
HSP1	SSG HYBRID WALL SPANDREL GLAZING - LIGHT GREY
HSP2	SSG HYBRID WALL SPANDREL METAL - SILVER
ML1	METAL LOUVER - DARK CHARCOAL
OW1	OPERABLE FRAMELESS WINDOW - WINDOW WALL



EXTERIOR ELEVATIONS - EAST

DRAWING ISSUE

DRAWING NO.	A-2	202		18
230240	SCALE	1 : 100	REVIEWED	Checker
PROJECT NO.	PLOT DATE	2023-09-01	DRAWN	Author



EXTERIOR FINISHES DESCRIPTION

BO1 6" DIA Bollard - PAINTED YELOW CONCRETE CAST IN PLACE

CFE1 CURTAIN WALL CLEAR TRIPLE GLAZING

CG1 GLASS AND STRUCTURAL STEEL CANOPY

DOOR OVERHEAD SECTIONAL GLAZED

EM1.2 METAL PANEL SYSTEM FLAT WITH INSULATION ATTACHED TO CMU - DARK CHARCOAL

EM3.2 CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - DARK CHARCOAL

EM7 CONCRETE PANEL SYSTEM FLAT WITH INSULATION ATTACHED TO

CONCRETE PANEL SYSTEM RIBBED WITH INSULATION ATTACHED

FLAT METAL PANEL SYSTEM ON STEEL STUD - CHARCOAL GRAY RIBBED METAL PANEL SYSTEM WITH INSULATION ATTACHED TO STEEL STUD - BRASS

EX04 DOOR EXIT OUTSWING DOUBLE GLAZED

GR1 LAMINATED TEMPERED GLASS RAILING

GS2 DOUBLE GLAZING SPANDREL PANEL - DARK CHARCOAL

HSP1 SSG HYBRID WALL SPANDREL GLAZING - LIGHT GREY

HSP2 SSG HYBRID WALL SPANDREL METAL - SILVER

ML1 METAL LOUVER - DARK CHARCOAL

OW1 OPERABLE FRAMELESS WINDOW - WINDOW WALL



Kasian Architecture Interior Design and Planning Ltd

1500 Weat Georgia Street, Suite 1685 Vancouver, BC Canada V9G 226 T 804 683 4145 F 604 683 2827 www.kaslas.com

September 5, 2023 DP 22-023105 Plan # 24

2023.09:01 ISSUED FOR DEVELOPMENT PERMIT 2023.09:01 ISSUE FOR DEVELOPMENT PERMIT 2023.09:01 ISSUE FOR DEVELOPMENT PERMIT 2023.12:01 ISSUE FOR DEVELOPMENT REVISION 3023.01:02:01 ISSUE FOR DEVELOPMENT REVISION 3023.01:02:01:01 ISSUE FOR DEVELOPMENT REVISION 3023.02:03:01 ISSUE FOR BURDENCEMENT REVISION 3023.03:01 ISSUE FOR BURDENCEMENT REVISION 3023.03:01 ISSUE FOR BURDENCEMENT 3023.03:01 ISSUE FOR BURDENCEMENT 3023.03:01 ISSUE FOR BURDENCEMENT 3023.03:01 ISSUE FOR BURDENCEMENT 3023.03:01 ISSUE FOR BURDENCOMENT

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6333 COONEY ROAD

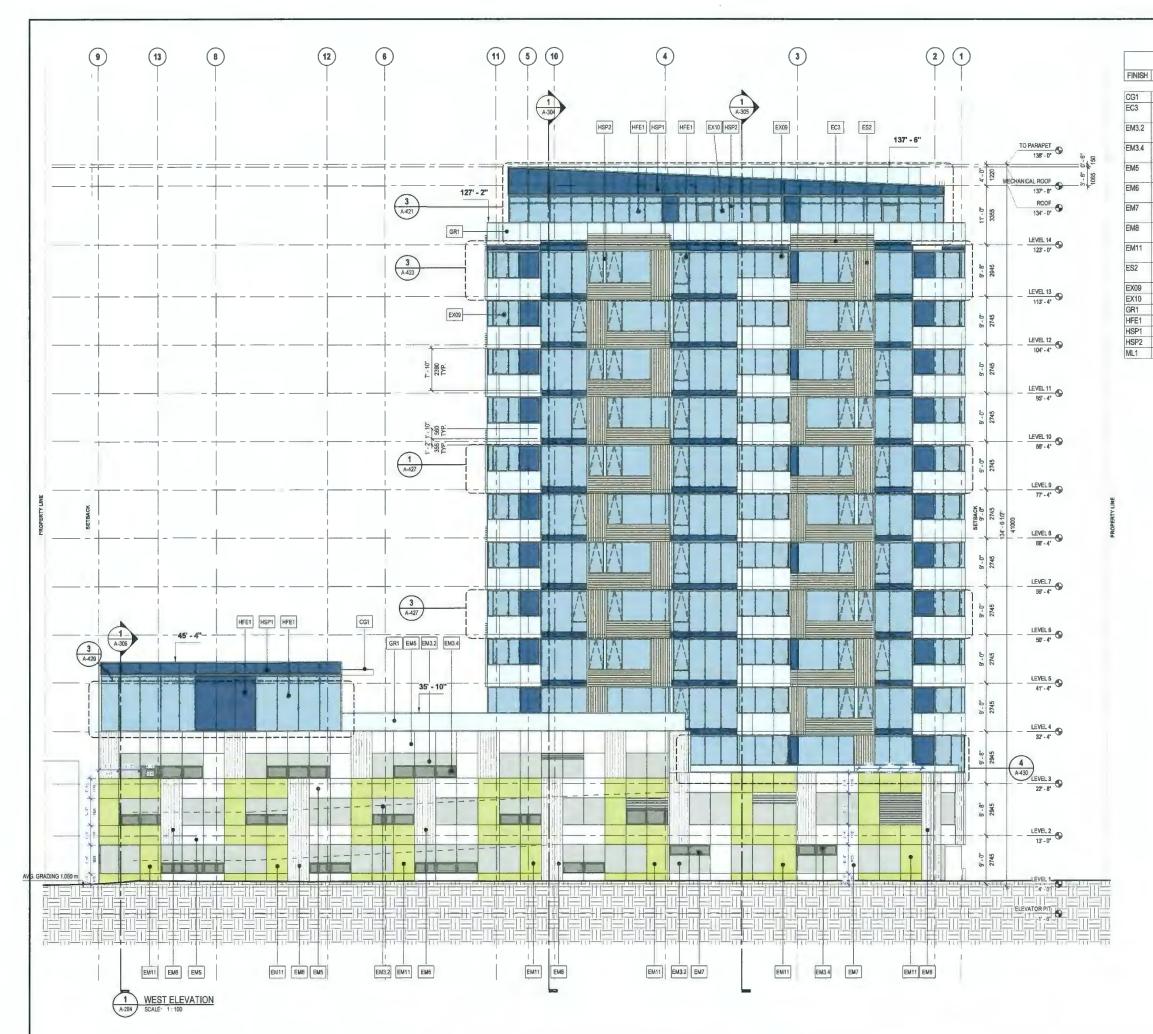
6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

EXTERIOR ELEVATIONS - SOUTH

RAWING ISSUE

DRAWING NO.	A-2	203		REVISION 18
230240	SCALE	1:100	REVIEWED	Checker
PROJECT NO.	PLOT DATE	2023-09-01	DRAWN	Author



EXTERIO	RFINISHES
D.	HOLTOHOO

	EVIE OVI HUDDED
FINISH	DESCRIPTION
CG1	GLASS AND STRUCTURAL STEEL CANOPY
EC3	METAL PANEL SYSTEM RIBBED 4" INSULATION ATTACHED TO CAST-IN-PLACE CONCRETE
EM3.2	CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - DARK CHARCOAL
EM3.4	CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - BLACK
EM5	CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - LIGHT GREY
EM6	CONCRETE PANEL SYSTEM RIBBED NO INSULATION ATTACHED TO CMU
EM7	CONCRETE PANEL SYSTEM FLAT WITH INSULATION ATTACHED TO CMU - LIGHT GREY
EM8	CONCRETE PANEL SYSTEM RIBBED WITH INSULATION ATTACHED TO CMU
EM11	GREEN SCREEN ATTACHED TO CMU WALL NO INSULATION
ES2	RIBBED METAL PANEL SYSTEM WITH INSULATION ATTACHED TO STEEL STUD - BRASS
EX09	DOOR BALCONY OUTSWING DOUBLE GLAZED
EX10	PENTHOUSE DOOR SLIDING DOUBLE GLAZED
GR1	LAMINATED TEMPERED GLASS RAILING
HFE1	VISION GLASS WINDOW WALL 1 - CLEAR TRIPLE
HSP1	SSG HYBRID WALL SPANDREL GLAZING - LIGHT GREY
HSP2	SSG HYBRID WALL SPANDREL METAL - SILVER
ML1	METAL LOUVER - DARK CHARCOAL



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September 5, 2023 DP 22-023105 Plan # 25

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18	2023.09.01	ISSUED FOR DEVELOPMENT PERMIT	
17	2023.05.01	ISSUED FOR DEVELOPMENT PERMIT	-
16	2023.08.31	ISSUED FOR DEVELOPMENT PERMIT	
			-
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT	-
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION	
13	2022.12.21	ISSUE FOR CD REVIEW	_
12	2022.12.01	ISSUE FOR BUILDING PERMIT	
11	2022.11.10	ISSUE FOR 75% CD	
10	2022.10.24	CD PROGRESS SET	
9	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION	
8	2022.08.24	CD IN PROGRESS	
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION	
6	2022 05.26	ISSUED FOR 100% DESIGN DEVELOPMENT	
5	2022.05.04	ISSUED FOR MARKET UNIT	
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT	
3	2022.02.16	STRUCTURAL COORDINATION	
2	2022.02.11	UNIT REVISIONS	
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN	
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

EXTERIOR ELEVATIONS - WEST

WING ISSUE

	A-2	204		18	
DRAWING NO.				REVISION	
230240	SCALE	1:100	REVIEWED	Checker	
PROJECT NO.	PLOT DATE	2023-09-01	DRAWN	Author	



EXTEROR ELEVATION RENDERING - NORTH

EXTEROR ELEVATION RENDERING - EAST



EXTEROR ELEVATION RENDERING - SOUTH

EXTEROR ELEVATION RENDERING - WEST

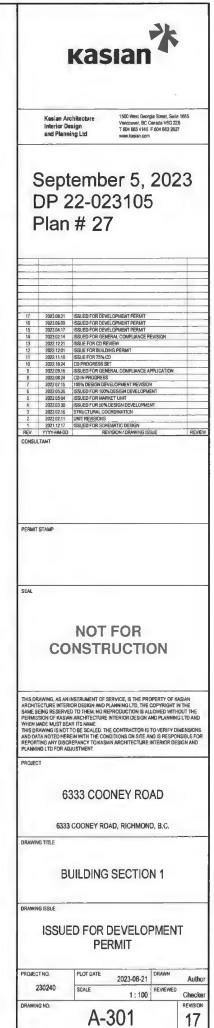


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 8-82 8482		00M . CLOSET 1 1306.31 04THROOM1 1306.21	ELEVATOR LOBBY	UNIT TYPE 82	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0		
<u>8</u> .0		00M 1 CLOSET 1 1205.31 ATHROOM 1 1205.21	ELEVATOR LOBBY		BALCONY 1202.81		- +
8. 0. 2745	BEDRU 110	00M CLOSET 1 105.31 ATHROOM 1106.21	ELEVATOR LOBBY	UNIT TYPE B2 [1102	BALCONY 1002 81		
8-0-		DOM CLOSET 1 1008.31 (ATHROOM 1 1006.21 1	ELEVATOR LOBBY		BALCONY 3 1002.81 1		
		DOM CLOSET 1 906.31 ATHROOM 1 906.21	ELEVATOR LOBBY	UNIT TYPE 62 902.01	BALCONY 902.81		
134-6-112* 41000 2745 2745 - - - -		00M CLOSET 1 806.31 HATHROOM 1	ELEVATOR LOBBY		BALCONY 802.81		
34.0.		000 CLOSET 1 70631 ATHROOM 7 70621	ELEVATOR LOBBY		BALCONY 702.81		
5. 5. 5. 6. 5. 4. 6.		ATHROOM LK-IN CLOS ET 11 B005 3MAL TER BEDROOM 600.21 J	ELEVATOR LOBBY 5 5	B2 KITCHEN DINING LIVING 60201	BALCONY 60281		
2.45 2.45		11 506.31 WATHROOM 1 506.21		UNIT TYPE B2 502.01	BALCONY 502.61		
		11 406.31 ATHROOM 1 400.01	ELEVATION LOBBY J. SP 28 88 20 20 20 20 20 20 20 20 20 20 20 20 20				OOR AMENITY
	і мазтер 90 1 1 1 1 1 1 1 1	11 WILK-IN CLOSET <u>30333</u> Aas ER BATHROOM <u>303.21</u>	ELEVATOR LOBBY 50 97	CONTROL 30001 CONTROL ROOM 314 633 633		8-10- 2440	
58			LEVATOR LOBBY 5 St	VESTIBULE 206 , 12" - 11"	PARKING LEVEL 2 [215]	9512	
AVERAGE GRADE 1.060 m		AGE RECYCLE PARCEL LOBBY	ELEVATOR LOBBY 0.0 5522	Vestibule 113 3'-11"	PARKING LEVEL 1 115	LEVEL 1 1 115	
			11-10° 5-6°				

BUILDING SECTION 1 A-301 SCALE: 1:100

NATURE FROM





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3. 1087										ANICAL ROOF 137 - 6 ROOF 137 - 0	Kasian Architecture 1500 West Georgie Street, Suite 1685 Interior Design 7604 Kist 145 F 606 528 and Planning Ld www.kasian.com
9-8 2946 3363		Unerr	рик влаское вы колос чих вл - - - - - - - - - -	ROOM CLOSET 1 1307.31 1 1307.31	а реперсиятелие лике шестр на					$\frac{136-0^{\circ}}{123-0^{\circ}}$	September 5, 2023 DP 22-023105 Plan # 28
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		Unit Trye c2 506 01 Unit Trye c2 406 01	C3 KITCHEN DIMING 1006ET2 407.32 ADAPTABLE BEDROOM 407.12	507.11 507.31 507.51 507.00 CLOSET 1 MASTER ATTROOM 407.31 407.31	501.01 501.12 C61.4 KITCHEN EBDROOM 2 DINING LIVING 401.12	33'-4" 3	1 A-310 1			$-\frac{1EVEL 5}{4f'-4'} \odot$	NOT FOR CONSTRUCTION
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	<u>WATER TOBLE -1.019 m</u> 									4-0°	6333 COONEY ROAD, RICHMOND, B.C. DRAWING TITLE BUILDING SECTION 2
		1									DRUMING ISSUE ISSUED FOR DEVELOPMENT PERMIT
	UILDING SECTION 2 XALE: 1:100							venne or	Phila	10E35	PROJECT NO. PLOT DATE 2023-06-09 DRAWN Author 230240 SCALE 1:100 REVEMED Checker DRAWING NO. A-302 16 16

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										BALCONY				= = = = = = = = = = = = = = = = = = = =	
3353				,				123' - 8"		1402.81			 		
2946 	·	BALCONY 1305.81	UNIT TYPE C1	8EDRCOM 1 1305.11	BEDROOM 1 1304.11	UNIT TYPE C5 1304.01	BED ROOM 2 1304.12	BEDROCM 1 1303.11	UNIT TYPE C4	BALCONY 1303.81					
gr - 0' 2743		BALCDNY 1205.81	UNIT TYPE C1 1205.01	BEDROOM 1 1205.11	BEDROOM 1 1204.11	UNIT TYPE C5 1204.01	BEDROOM 2 1204.12	BEDROOM 1 1203.11	UNIT TYPE C4 1203	BALCONY 1203.81					
9' - 0' 2743		BALCDW: 1105.81	UNIT TYPE C1 105.01	BEDROOM 1 1105.11	BEDROOM 1 1104.11	UNIT TYPE C5 1104.01	BEDROON 2 1104.12	BEDROOM 1 1103.11	UNIT TYPE C4 1103.01	BALCONY					
9 - 0" 2743	[.	BALCDIVY 1005.81	UNIT TYPE C1 1005.01	BEDROOM 1 1005.11	BEDROOM 1 1004.11	UNIT TYPE C5 1004.01	BEDROOM 2 1004.12	BEDROOM 1 1003.11	UNIT TYPE C4	BALCONY 1003.81					
8 0 ⁻ 2743		BALCONY 905.81	UNIT TYPE C1 905.01	BEDROOM 1 905.11	BEDROOM 1 904.11	UNIT TYPE CS <u>804.01</u>	BEDROOM 2 904.12	8E0ROOM 1 903.11	UNIT TYPE C4	BALCONY 903.81		1			
134' - 6 1/2" 4 1000 2743		BALCONY	UNIT TYPE C1 805.01	BEDROOM 1 805.11	BEDROOM 1 804.11	UNIT TYPE C5 804.01	BED ROOM 2 804.12	BEDROC M 1 803.11	UNIT TYPE C4 803.01	BALCONY 803.81					
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8'-0" 2743	4 (A311)	BALCDM	UNIT TYPE C1 605.01	MASTER BEDROOM	MASTER BEDROOM	UNIT TYPE C2 604.01	ADAPTABLE BR	MASTER BR 603.11	C4 KITCHEN DINING LIVING 603.01	BALCONY 603.81					
8'-0" 2743		BALCDNY	UNIT TYPE C1	BEDROOM 1 505.11	BEDROOM 1 504.17	UNIT TYPE C5	BEDROOM 2 504.12	BEOROOM 1 503.11	UNIT TYPE C4	BALCONY 503.81					(1) (A.317)
9'-0" +		BALCDNY	UNIT TYPE C1	BEDROOM 1 405.11	MASTER BR 404.11	C5 KITCHEN DINING LIVING 404.01	ADAPTABLE BR	MASTER BR 403.11	C4 L4 KITCHEN DRNING LIVING 403.01		34' - 4"	ROOF DECK	36' - 0"		
		BALC DIVY	C1 KITCHEN DINING LIVING 302.01	BEDROOM)	BEDROOM 301.11	B1 KITCHEN DINING LIVING 301.01	CORRID 101.63		MASTER	7.8°		STER BEDROOOd			BEDROOM & CV
3' - 8" 2946 2946				BICYCLE ROOM #4 205	BICYCLE ROOM #4 205		STAIRS 101.71	BATHROOM 1 101.23	BEDROOM 2 5 2	STAIRS 102.71	BATHROOM 1 102.23	BEDROOM TO SE	STAIRS 103.71	103.23	BEDROON & B
8 0. 2743			LOBB	VESTBULE	LOBBY 105	SWITCH ROOM		POWDER ROOM 101.24	KITCHEN DINING LIVING 101.01		рочу <u>рек коом</u> <u>102.24</u> ТН	2 KITCHEN LOUS		POWDER ROCM	
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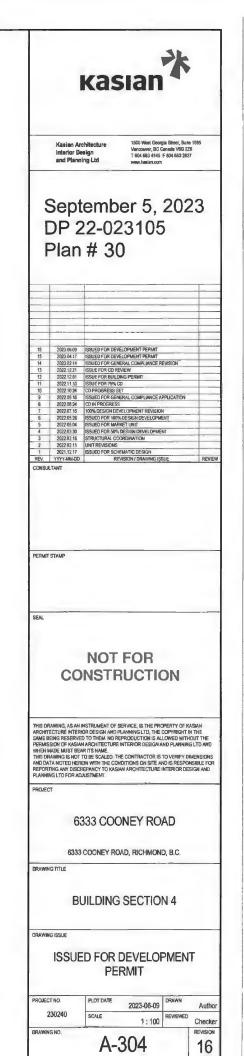


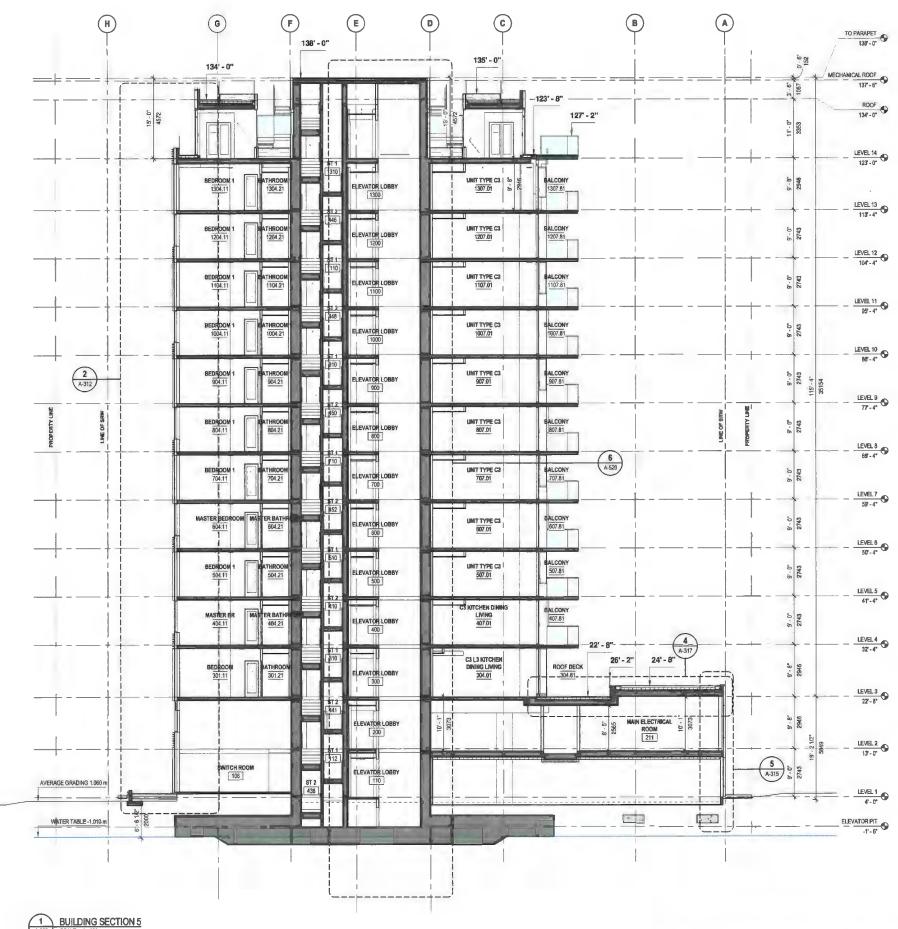
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ISSUED FOR DEVELOPMENT PERMIT	DRAWING TITLE BUILDING SECTION 3								
PROJECT NO. PLOT DATE 2022.06.00 DRAWN									
070040	6-09 Autho	20							
1:100 Che	100 Checke REVISION		_	_					

H	G	F	E	D	С	B	A	TO PARAPET 138' - 0"
	 		137'-6"	134'-0"			185	MECHANICAL ROOF
								ROOF 137-6 136-0
4					123' - 8"		110	3353
		TYPE C4 BATHROOM	42 UNIT TYPE B2	CLOSET 1 CLOSET 2	UNIT TYPE C5			LEVEL 14 123'-0"
		303.01 1 <u>303.22</u>	1 <u>302.01</u> B	1302.11	1301.01			LEVEL 13 113 - 4*
		1203 EATHROOM	A 2 UNIT TYPE 82 1202.01 B	CLOSET 1 CLOSET 1 CLOSET 2 1202.31 1202.11	UNIT TYPE C6 1201.01		.0 .0	2743
		TYPE C4	AIZ UNIT TYPE B2	CLOSET 1 CLOSET 2	UNIT TYPE C6		·	EVEL 12 104"-4"
		103.01	I 1102 B	ROOM 1102.31 1102.11				LEVEL 11 95-4*
		1777FE C4 BATHROOM 003.01 1003.22	A2 UNIT TYPE B2 1002.01 B	CLOSET 1 CLOSET 2. 1002.31 1001.32	UNIT TYPE C6		0	2743
		TYPE C4 BATHROOM	A2 UNIT TYPE B2		UNIT TYPE CS		·	LEVEL 10 86'-4' •
¥		<u>903.01</u> <u>903.22</u>	<u>902.01</u> B	902.11 902.11	<u>901.01</u>			$-\frac{\text{LEVEL 9}}{\pi \cdot 4^{\circ}} \Theta$
HOPERTY LIN		TYPE C4 8ATHROOM 303.01 803.22	A2 UNIT TYPE B2 802.01 B	CLOSET 1 CLOSET 2 BEDROOM 1 802.31 801.32 802.11	UNIT TYPE C6 801.01		LINE STORY	2743 2743 40840 40840
		TYPE C4 BATHROOM 703.01 703.22	A2 UNIT TYPE B2	CLOSET 1 CLOSET 2 701.32				EVEL 8 68'-4"
		703.01 703.22		360R001 1 702.31 702.11	701.01			LEVEL 7 58'-4"
		IVING BATHROOM	82 KITCHEN DINING LIVING 602.01	CLOSET 2 602.11 602.31 601.32	C6 KITCHEN DINING LIVVING 601.01	1	5°-0	5773
		TYPE C4 EATHROOM 503.01 503.22		CLOSET 1 CLOSET 1 501.32	UNIT TYPE C6			LEVEL 6 50'-4"
		303.07		502.11 507.32	C6 L4 KITCHEN			LEVEL 5 41'- 4"
	Dive	HOTCHEN HG LIVING 103.01 HG LIVING	KITCHEM	BEDRODIM 402.11 401.32	DINING LIVING	CHILDREN PLAY 32'-4"		5143
22' - 8" ROOF DEC			BICYCLE R		3 8" 1118			LEVEL 4 37-4**
<u>۱01.82</u>		532 59	(CINI) 633		2337	PARKING 20' - 5'' 3 20' - 5'' 315		
101.81	BEDROOM 2 101.12	PARNING LEVEL 5 2 in 215	2743	- 4 12	2609	PARKING LEVEL 2 11' - 2 1/2"	8636 9 - 8"	4 (4) (4) (4)
	FTH1, KITCHEN CORRIDO	PARKING				[215]		
AVERAGE GRADE 0 99m	DINING 104 LIVING 101.01	LEVEL 1 80 1 10 115	5488	tv 99 to tv to tv to tv	8' - 2'	PARKING LEVEL 2'-3'' 115		AVERAGE GRADING 0.990 m
WATER TABLE 1.01m	-		1	-				ELEVATOR P/T -1'-6"
						1		
				1				
				1				

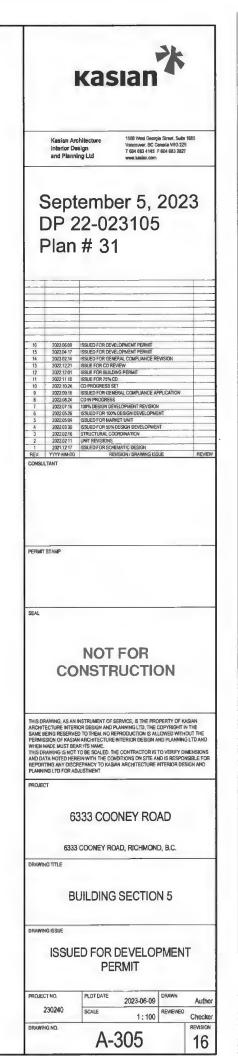
1 BUILDING SECTION 4 A304 SCALE: 1:100

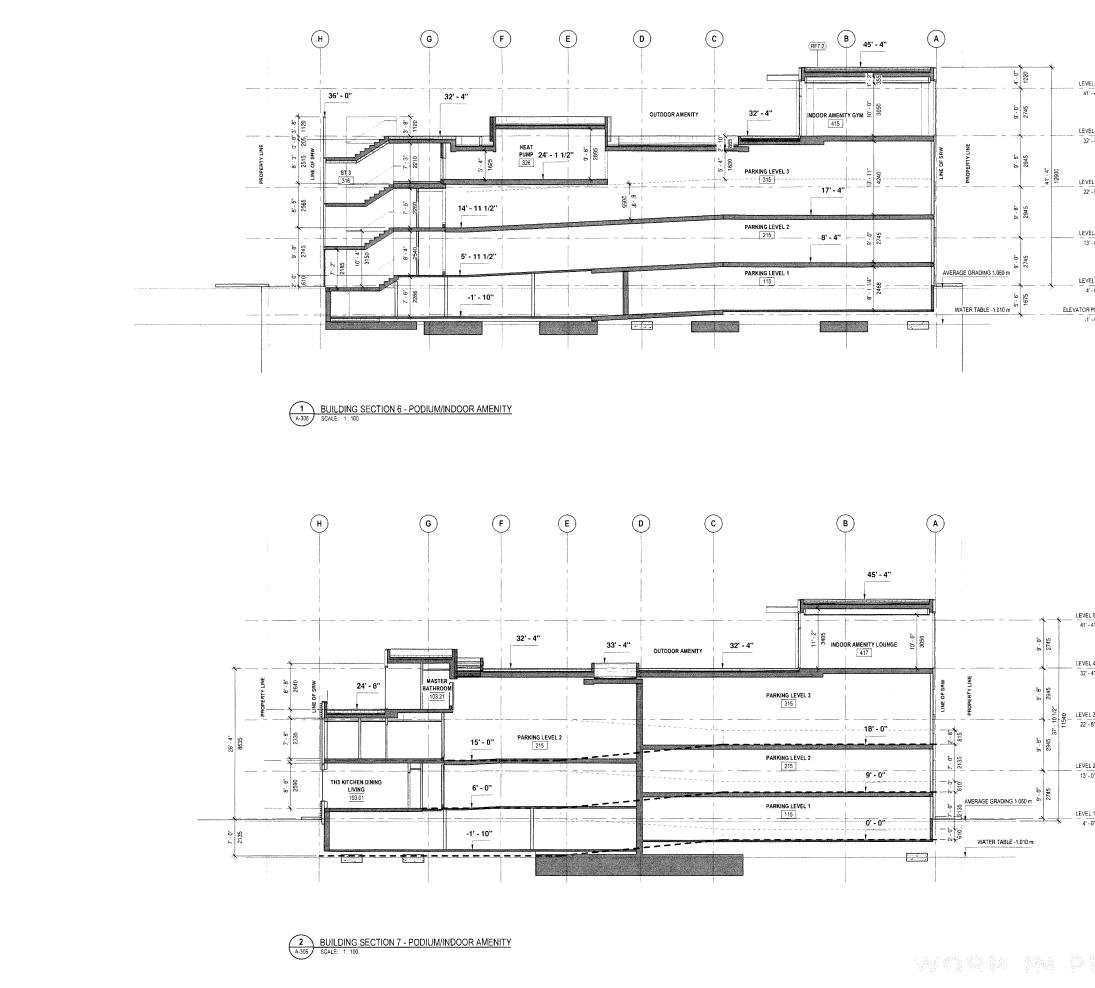
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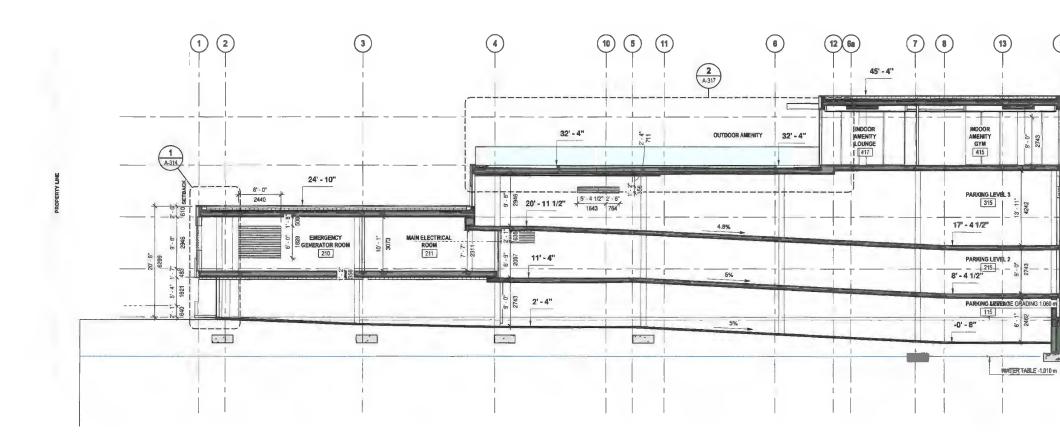


1 BUILDING SECTION 5 A305 SCALE: 1:100



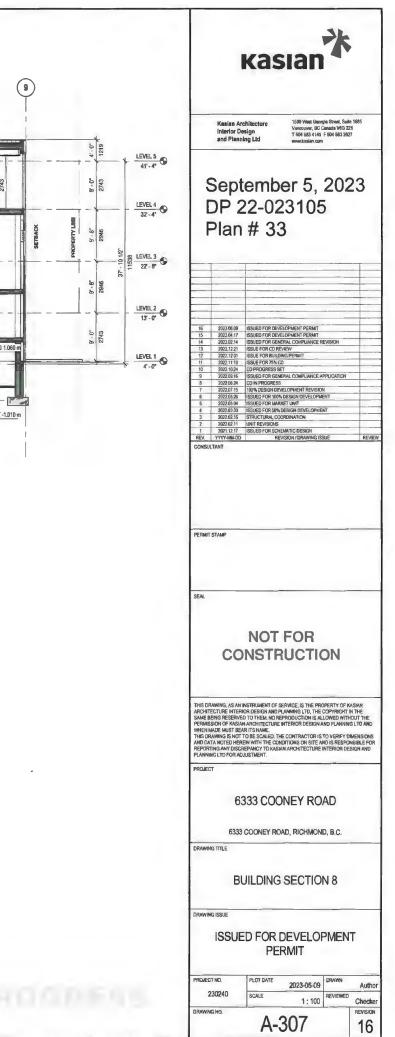


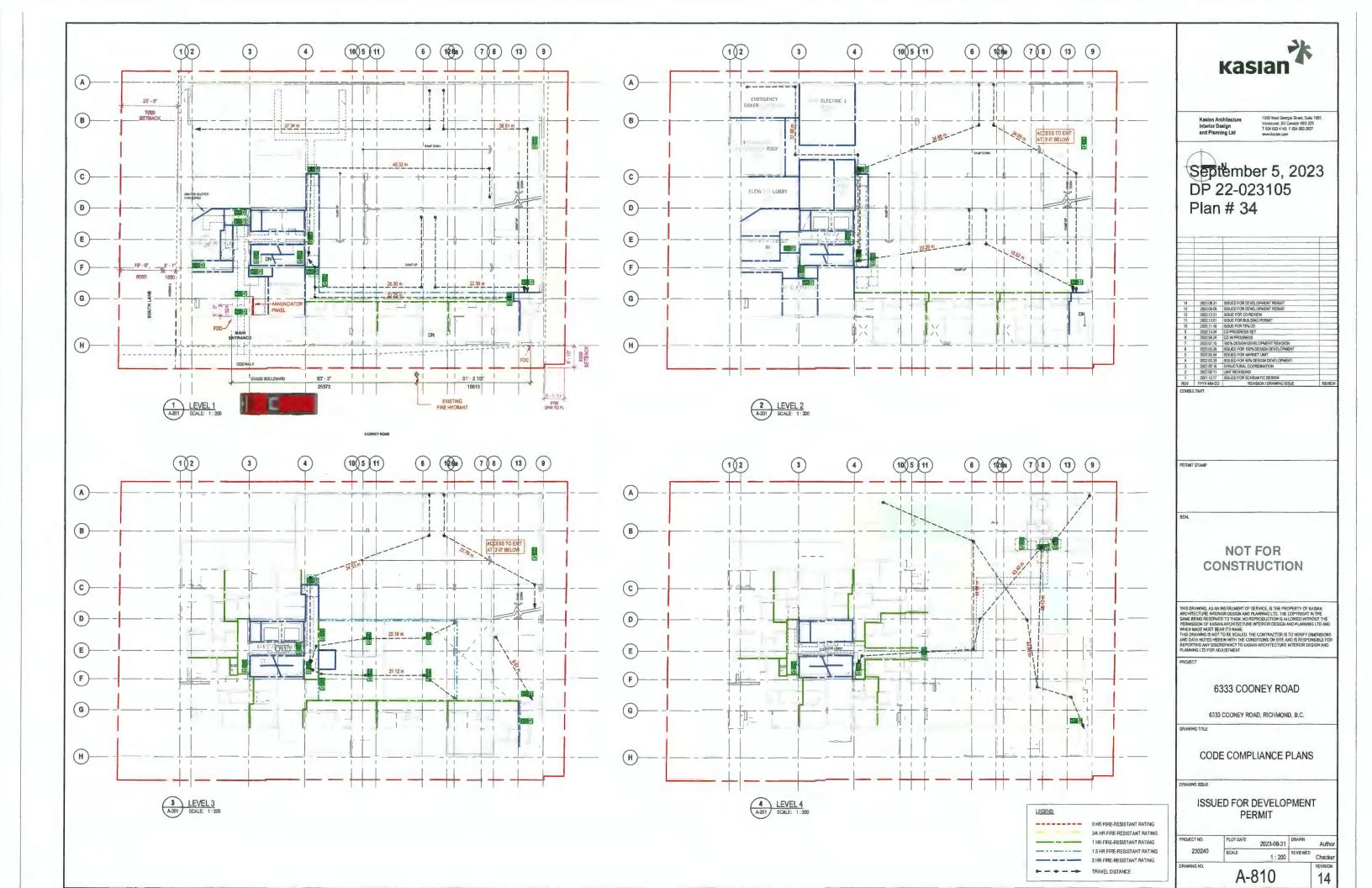
	казіап
EL 6 r-4"	Kacian Architecture 1500 Weil Georgia Sireet, Suka 1885
<u>EL 4</u> 2-4' 🚱	Interior Design and Planning Ltd September 5, 2023
EL 3 2-8"	DP 22-023105 Plan # 32
EL 2 • • 0'	
<u>ret 1</u> ₩	17 2023 08 21 ISSUED FOR DEVELOPMENT PERMIT 18 2023 06 (9) ISSUED FOR DEVELOPMENT PERMIT 19 2023 01 (9) ISSUED FOR DEVELOPMENT PERMIT 14 2023 01 (8) ISSUED FOR DEVELOPMENT PERMIT 14 2023 01 (8) ISSUED FOR DEVELOPMENT PERMIT 12 2022 11 ISSUE FOR DEVELOPMENT PERMIT 13 2022 12 (2) ISSUE FOR DEVELOPMENT
	12 2022 1201 ISSUE FOR BULDING PERMIT 11 2022 110 SSUE FOR STAS CD 10 2022 110 SSUE FOR STAS CD 10 2022 110 SSUE FOR ORERS SET 10 2022 1024 CD PROCRESS SET 11 2022 1054 CD PROCRESS SET 12 2022 105 SSUE DOR GREERAL COMPLIANCE APPLICATION 6 2022 65.4 SSUE DOR 105% DESIGN DEVELOPMENT REVISION 6 2022 65.5 SSUE DOR 105% DESIGN DEVELOPMENT 7 2022 61.5 SSUE DOR 50% DESIGN DEVELOPMENT 3 2022 61.5 SSUE DOR 50% DESIGN DEVELOPMENT 3 2022 61.5 SSUE DOR 50% DESIGN DEVELOPMENT 1 2021 201.5 SSUE DOR 50% DESIGN DEVELOPMENT 2000 AUT 117
	PERNIT STAMP
<u>L5</u> _4 [−] ●	NOT FOR CONSTRUCTION
¹⁴ /4 ⁴ ↔	THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF KASIAN ACCHTECTURE, INTERIOR DESIGN AND PLANNING I.T. THE COPYRIGHT IN THE SAME BENG RESERVED TO THEM NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF ASIAN AROUTI CUTURE INTERIOR OSIGN AND PLANNIS I.D. AND THIS DRAWING IS NOT TO BE SCALED THE CONTRACTOR IS TO VERIFY DIMENSIONE AND DRA'NOTED HERRIN WITH THE CONTRACTOR IS TO VERIFY DIMENSIONE REPORTING ANY DISCREPANCY TO ASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNIS (TO FGA DUSTRIEST.
L2_0'	PROJECT 6333 COONEY ROAD
L1 0°	6333 COONEY ROAD, RICHMOND, B.C. DRAWING TITLE
	BUILDING SECTIONS 6 & 7
	ISSUED FOR DEVELOPMENT PERMIT
ROGRESS	PROJECT NO. PLOT DATE 2023-08-21 DRAWN Author 230240 SCALE 1 : 100 REVEWED Checker DRAWING NO A-306 17

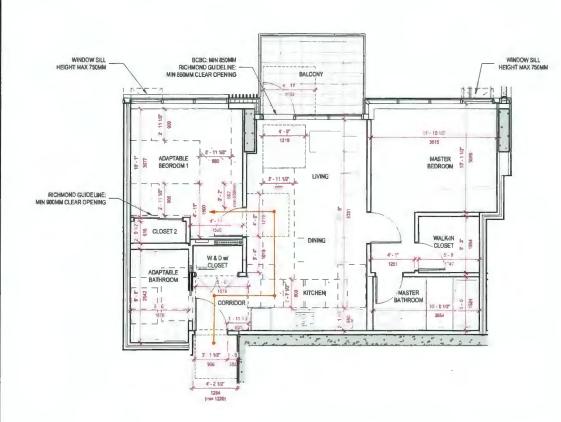


1 BUILDING SECTION 8 - PODIUM SCALE: 1:100

WORK IN F







UNIT TYPE C3 - 2 BED + 2 BATH ADAPTABLE

UNIT AREA 742 + 20 SF PATIO/ BALCONY AREA 76 SF

UNIT TYPE C3 - ROOM SCHEDULE

Name	Area
ADAPTABLE BATHROOM	47.67 ft ²
ADAPTABLE BEDROOM	117.02 ਜਿ
C3 KITCHEN DINING LIVING	220.20 ft ²
CLOSET 2	10.61 ft ^a
CORRIDOR	25.50 ft ²
MASTER BATHROOM	50.10 ft ²
MASTER BEDROOM	136.91 ft ²
W & D W CLOSET	11.73 🕅
WALK-IN CLOSET	29.97 ft*
TOTAL	649.70 ft ^a

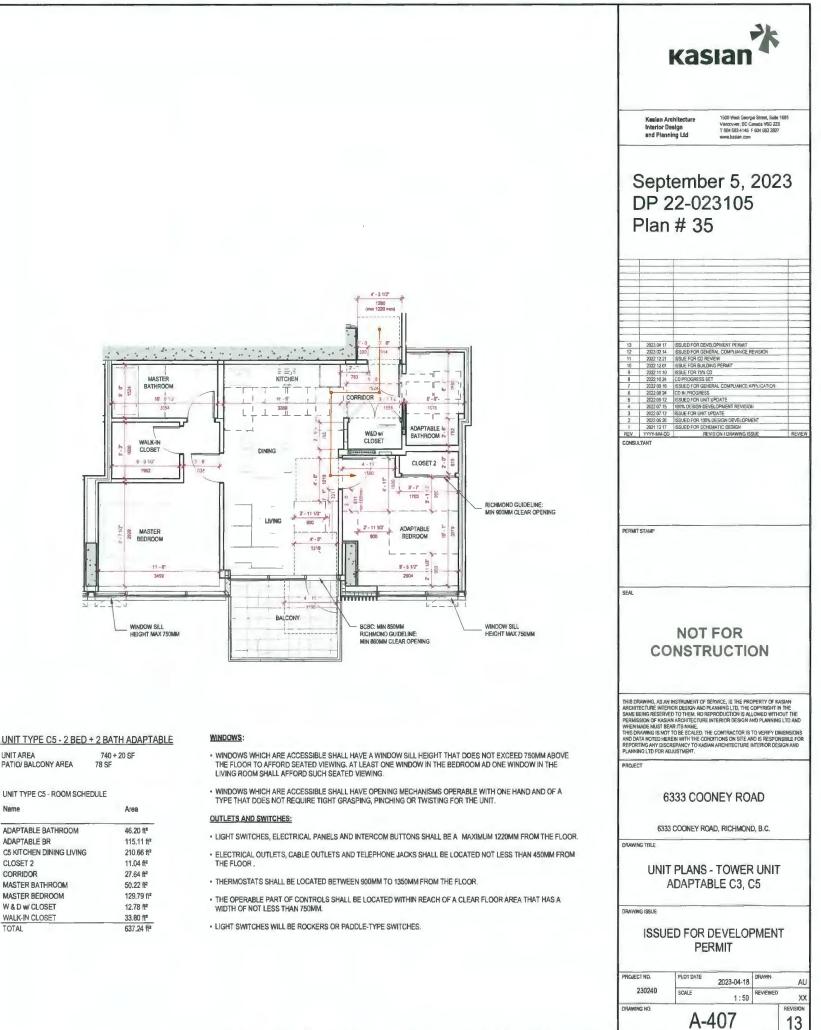
WINDOWS:

 WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750MM ABOVE
 THE FLOOR TO AFFORD SEATED VIEWING. AT LEAST ONE WINDOW IN THE BEDROOM AD ONE WINDOW IN THE LIVING ROOM SHALL AFFORD SUCH SEATED VIEWING.

WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE OPENING MECHANISMS OPERABLE WITH ONE HAND AND OF A TYPE THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING FOR THE UNIT.

OUTLETS AND SWITCHES:

- . LIGHT SWITCHES, ELECTRICAL PANELS AND INTERCOM BUTTONS SHALL BE A MAXIMUM 1220MM FROM THE FLOOR.
- · ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED NOT LESS THAN 450MM FROM THE FLOOR .
- THERMOSTATS SHALL BE LOCATED BETWEEN 900MM TO 1350MM FROM THE FLOOR.
- THE OPERABLE PART OF CONTROLS SHALL BE LOCATED WITHIN REACH OF A CLEAR FLOOR AREA THAT HAS A WIDTH OF NOT LESS THAN 750MM.
- · LIGHT SWITCHES WILL BE ROCKERS OR PADDLE-TYPE SWITCHES.



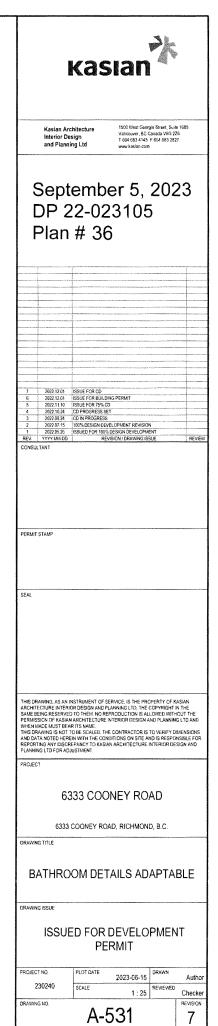
UNIT TYPE C5 - 2 BED + 2 BATH ADAPTABLE UNIT AREA

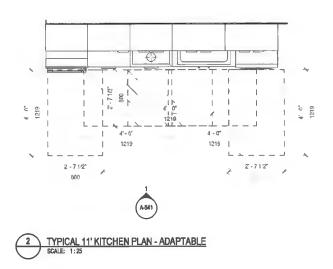
PATIO/ BALCONY AREA

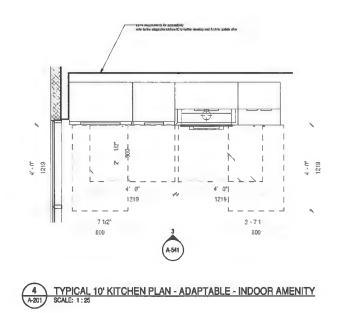
UNIT TYPE C5 - ROOM SCHEDUL	.E
Name	,
ADAPTABLE BATHROOM	

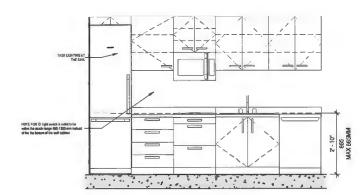
ADAPTABLE BATHROOM	46.201
ADAPTABLE BR	115.11
C5 KITCHEN DINING LIVING	210.66
CLOSET 2	11.041
CORRIDOR	27.64
MASTER BATHROOM	50.22
MASTER BEDROOM	129.79
W & D w/ CLOSET	12.78 1
WALK-IN CLOSET	33.60
TOTAL	637.24



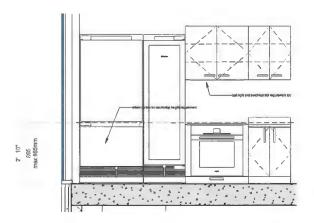




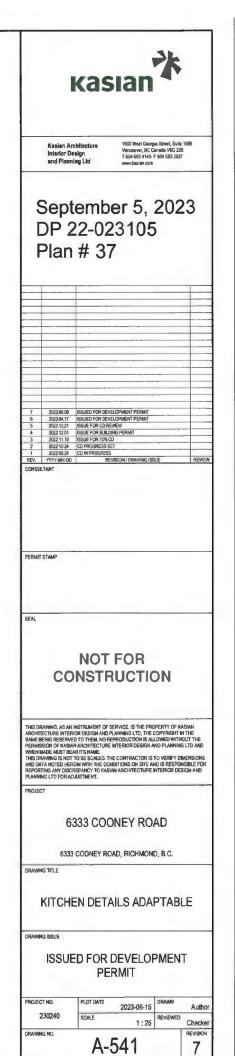




1 TYPICAL 11' KITCHEN ELEVATION - ADAPTABLE A541 SCALE 1:25







OVERALL SITE PLAN



connect LANDSCAPE ARCHITECTURE westbank September 5, 2023 DP 22-023105 Plan # 38

WESTBANK COONEY ROAD PAGE 01 OF 09

SITE PLAN LEVEL 4 AMENITY DECK













September 5, 2023 DP 22-023105 Plan # 39

WESTBANK COONEY ROAD PAGE 02 OF 09

OVERALL SITE PLAN LEVEL 3, 5 & 14



COONEY ROAD

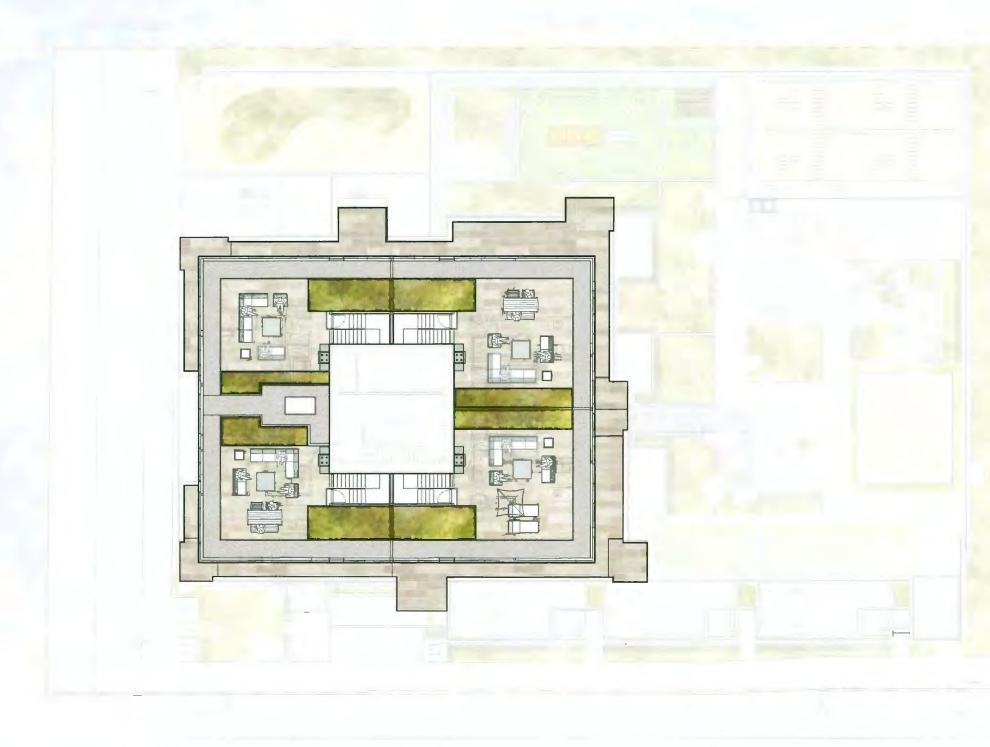


westbank

September 5, 2023 DP 22-023105 Plan # 40

WESTBANK COONEY ROAD PAGE 03 OF 09

OVERALL SITE PLAN LEVEL 15



COONEY ROAD



September 5, 2023 DP 22-023105 Plan # 41



WESTBANK COONEY ROAD PAGE 04 OF 09

PLANTING DESIGN PLANTING PALETTE

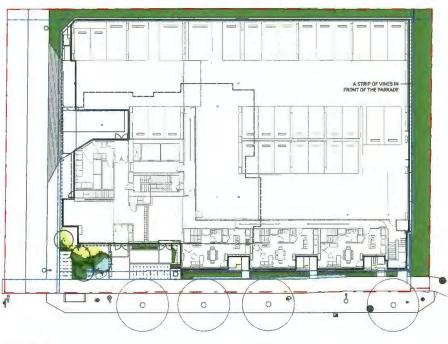
PLANTING LIST

Connect LANDSCAPE ARCHITECTURE

		BOTANICAL NAME			
ONSITE		70550			
		TREES			
AP	7	ACER PALMATUM 'OSAKAZUKI'	JAPANESE MAPLE		B, MULTI-STEM
AF	,	ACER FALMATOM USANALUN	JAPANESE MAPLE	DOM GAL. DE	ID, MOLINGILIA
•) ск	3	CORNUS KOUSA	KOUSA DOGWOOD	BCM CAL. B	B, MULTI-STEM
PT A	3	PINUS THUNBERGII 'THUNDERHEAD'	JAPANESE BLACK PINE	4M HT.	
V PS	4	PRUNUS SARGENTII 'RANCHO'	CHERRY TREE	8CM CAL.	
_					
+	2	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	BCM CAL.	
		HEDGE			
	39	TAXUS X MEOIA 'HICKSII'	YEW HEDGE	1.2 M HT.	600MM 0.C
	39	LONICERA NITIDA	HONEYSUCKLE HEDGE	#5 POT	600MM 0.C
		SHRUBS			
	104	AZALEA JAPONICA 'HINO WHITE'	HINO WHITE AZALEA	#2 POT	600MM 0.C
	104	DEUTZIA GRACILIS 'NIKKO'	SLENDER DEUTZIA	#2 POT	600MM 0.C
	276	GAULTHERIA SHALLON	SALAL	#1 POT	300MM 0.C
	66	LONICERA PILEATA	BOX-LEAF HONEYSUCKLE	#3 POT	750MM 0.C
	104	NANDINA DOMESTICA 'MOON BAY'	HEAVENLY BAMBOO	#2 POT	600MM 0.C
	66	SKIMMIA JAPONICA	JAPANESE SKIMMIA	#3 POT	750MM 0.C
-	104	VACCINIUM OVATUM 'THUNDERBIRD'	EVERGREEN HUCKLEBERRY	#2 POT	600MM 0.C
-		FERNS			
	8	ATHYRIUM OTOPHORUM	LADY FERN	#2 POT	450MM 0.C
	8	BLECHNUM SPICANT	DEER FERN	#2 POT	450MM 0.C
	10	POLYSTICHUM MUNITUM	SWORD FERN	#2 POT	450MM 0.C
		GRASSES			
	35	HAKONECHLOA MACRA 'ALL GOLD'	JAPANESE FOREST GRASS	#2 POT	600MM 0.0
	35	IMPERATA CYLINDRICA 'RED BARON'	JAPANESE BLOOD GRASS	#2 POT	600MM 0.0
	35	OPHIOPOGON JAPONICUS	GREEN MONDO GRASS	#2 POT	600MM 0.C
	35	PENNISETUM ORIENTALE 'KARLEY ROSE'	FOUNTAIN GRASS	#2 POT	600MM 0.0
		GROUNDCOVERS, PERENNIALS, VINES			
	48	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	#1 POT	300MM 0.0
	60	AKEBIA QUINATA	CHOCOLATE VINE	#1 POT	300MM 0.0
	21	IRIS TENAX	OREGON IRIS	#1 POT	450MM 0.0
	21	MAHONIA REPENS	CREEPING OREGON GRAPE	#2 POT	450MM 0.0
	24	OXALIS OREGANA	REDWOOD SORREL	#1 POT	300MM 0.C
	60	LONICERA CILIOSA	ORANGE HONEYSUCKLE	#1 POT	300MM 0.0
	24	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT	300MM 0.0
	48	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	#1 POT	300MM 0.C
		LIVEROOF EXTENSIVE GREEN ROOF PRE-GR	OWN TRAY SYSTEM		
	289	ACHILLEA MILLEFOLIUM	COMMON YARROW		
	sqm	ALLIUM CERNUM	NODDING ONION		
	adau	ASTER SUBSCPICATUS	DOUGLAS ASTER		
		BRODIAEA HYACINTHINA	FOOL'S ONION		
		CAMASSIA QUAMISH	COMMON CAMMAS		
		CAREX PANSA	DUNE SEDGE		
		FRAGARIA CHILOENSIS	COASTAL STRAWBERRY		
OFF-SITE					
OLL-OLLE		OFF-SITE TREES			
		TO CITY OF RICHMOND STANDARD			
		OFF-SITE LAWN	•		

LEVEL 1

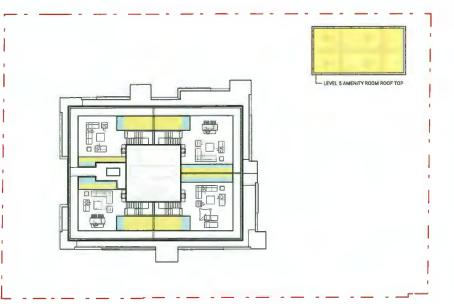




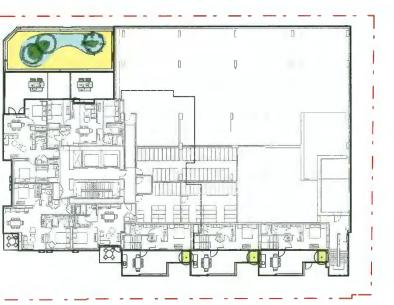
LEVEL 4



<u>LEVEL 5 & 15</u>



September 5, 2023 DP 22-023105 Plan # 42



WESTBANK COONEY ROAD PAGE 05 OF 09

PLANTING DESIGN REPRESENTATIVE PLANT



















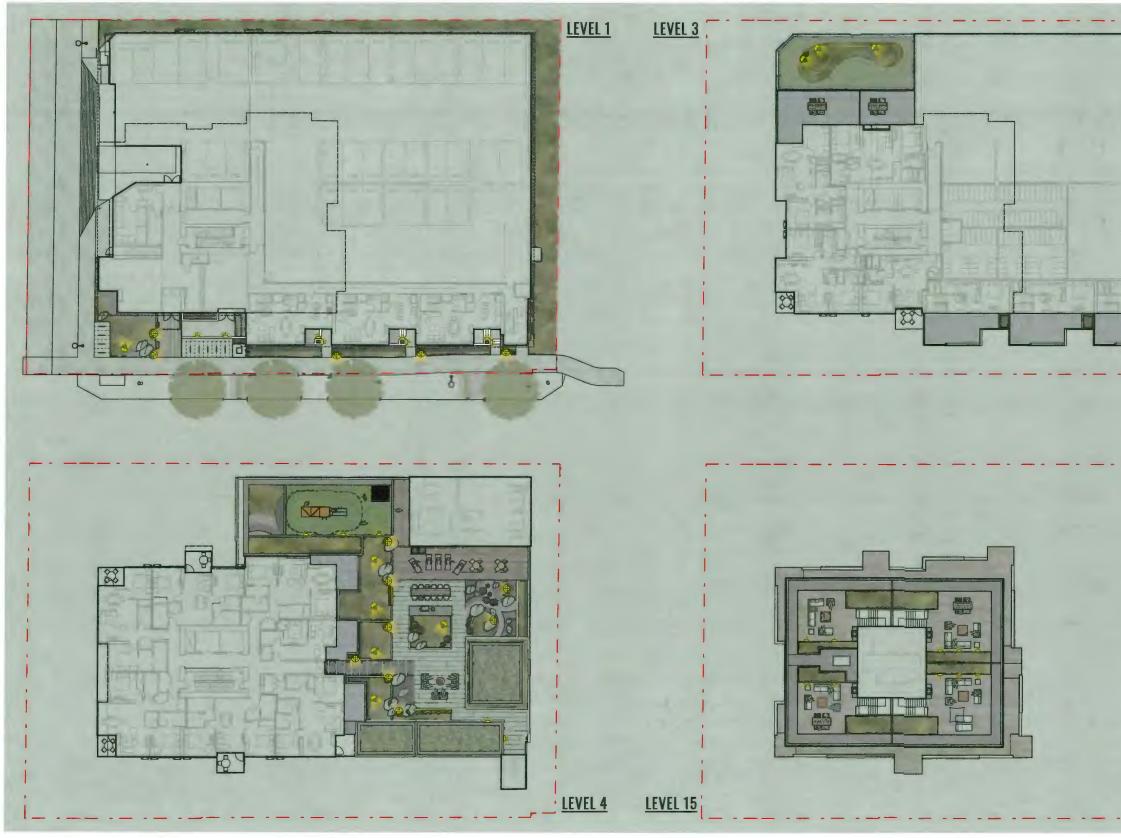






WESTBANK COONEY ROAD PAGE 06 OF 09

LIGHTING CONCEPT





September 5, 2023 DP 22-023105 Plan # 44



LIGHTING LEGEND



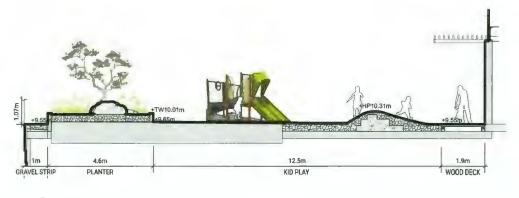
LED STRIP LIGHT

NOTE: LIGHTING SHOWN IS CONCEPTUAL ONLY. FINAL LOCATION, PRODUCTS, AND SPECIFICATIONS TO BE AS PER ELECTRICAL.

WESTBANK COONEY ROAD PAGE 07 OF 09

SECTIONS



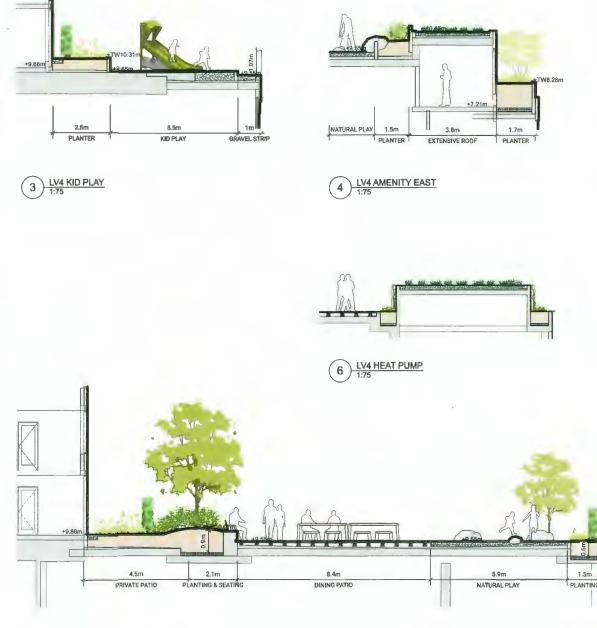


5 <u>LV4 KID PLAY</u> 1:75



(7) LV ROOF AMENITY 1:75

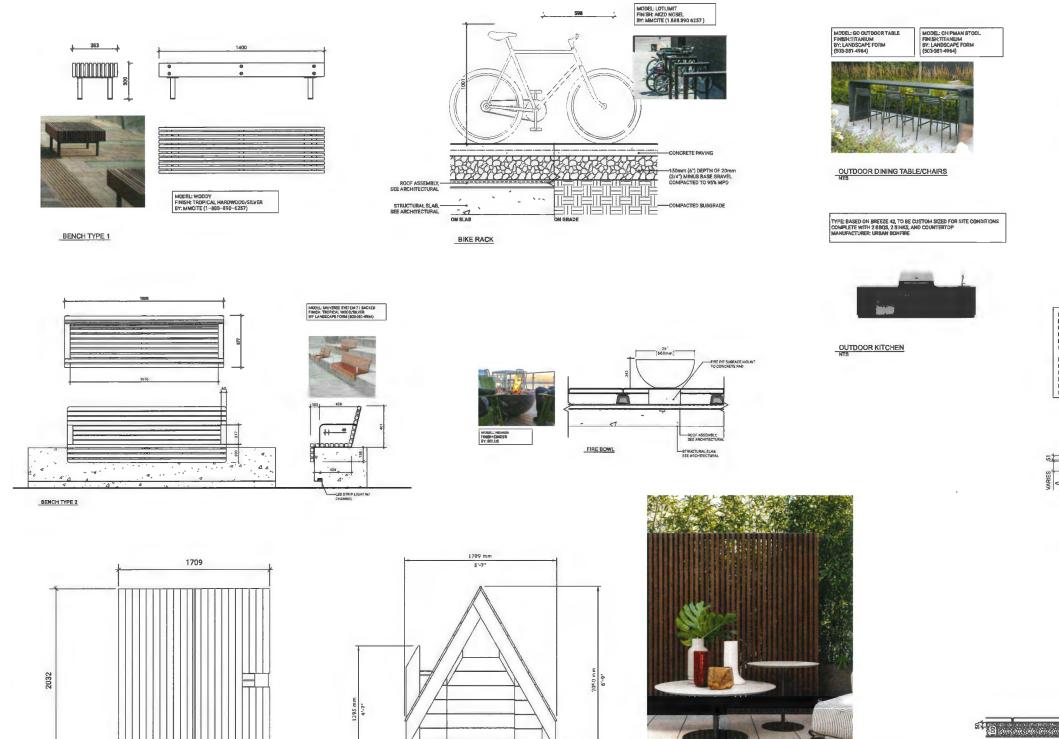




8 Section 1 - LV4 AMENITY 1:75 September 5, 2023 DP 22-023105 Plan # 45

WESTBANK COONEY ROAD PAGE 08 OF 09

DETAILS



WOOD HUT



SUPPLIER: EARTHSCAPE PLAY PRODUCT: ALPINE HUT

WOOD TRELLIS

_____ NOTES: 1. TRELLIS DETAILS PER ARCH'S FIN WAL NOTE: USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

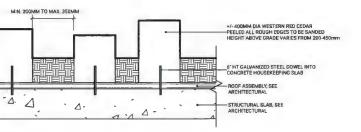
CONCRETE SLAB PAVER ON SLAB

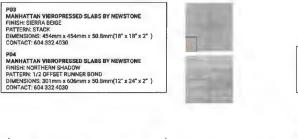
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WOOD STUMP

September 5, 2023 DP 22-023105 Plan # 46





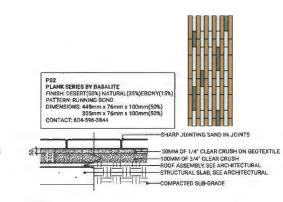
TYPICAL ADJUSTABLE PEDESTAL SYSTEM ON 40 PSI INSULATION

ROOF ASSEMBLY ON STRUCTURAL SLAB, -PER ARCHITECTURAL

CREWJACK PEDESTALS
COMMERCIAL GRADE
VAILABLE THROUGH OLDCASTLE WESTILE
VEIGHT BEARING CAPACITY: 1000 LBS (FOS:
EIGHT RANGE: 0"-24"
OES UP TO 36" WITH BISON BRACE SYSTEM

	Model No.	Description	Range
	B1	Adjumble Federat	1 (/4* - 2* (39 - 51 min)
8	82	Adjumatic Pedesal	2* 3* 157 - 76 sea
8	82	A spoteble Pedintal	3" - 4 344" (76 123 illions)
I	E-1	Adjustable Federati	4 348° - 2 3/4° 4121 - 197 mmi

CONCRETE SLAB PAVER ON PEDESTAL



SHARP JOINTING SAND IN JOINTS - 50MM OF 1/4" CLEAR CRUSH ON GEOTEXTILE -100MM OF 3/4" CLEAR CRUSH -ROOF ASSEMBLY, SEE ARCHITECTURAL -STRUCTURAL SLAB, SEE ARCHITECTURAL

NUTE: USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

ENTRY UNIT PAVER

WESTBANK COONEY ROAD