



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: September 5, 2023

From: Wayne Craig
Director, Development

File: DP 22-023105

Re: **Application by 6333 Cooney Road Limited Partnership for a Development Permit at 6333 Cooney Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of a high-rise building containing approximately 81 dwelling units at 6333 Cooney Road on a site zoned “High Rise Apartment (ZHR8) – Brighthouse Village (City Centre)”.

Wayne Craig
Director, Development
(604-247-4625)

WC:ak
Att. 3

Staff Report

Origin

6333 Cooney Road Limited Partnership on behalf of Cooney Mansions Nominee Ltd. (Directors: Ian Gillespie and Grant Pittam), has applied to the City of Richmond for permission to develop a high-rise building containing approximately 81 dwelling units at 6333 Cooney Road on a site zoned “High Rise Apartment (ZHR8) – Brighthouse Village (City Centre)”. The site is currently vacant.

The site is zoned “High Rise Apartment (ZHR8) – Brighthouse Village (City Centre)”. Zoning Bylaw 8500, Amendment Bylaw 8738 (RZ 09-506908) and associated Development Permit (DP 09-506909) were approved by Council on April 10, 2012, and Building Permits issued in 2013. The development did not proceed to construction and the Building Permit was cancelled in 2014. In 2014, the Development Permit expired and the associated Servicing Agreement (SA 11-583906) was closed. Subsequently, a new Development Permit (DP 17-791045) was issued in July 22, 2022. The site was then sold and given the number of changes to the design, character and parking proposed, a new Development Permit (DP 22-023105) was required.

There is an associated Servicing Agreement (SA 19-858294) under staff review, which will be required as a condition of this Development Permit’s (DP) issuance. An update to the SA design drawings to reflect current design standards and a new Letter of Credit security are required as a condition of DP issuance. The Servicing Agreement includes, but is not limited to, the design and construction of the new City lane, Cooney Road frontage improvements including new sidewalk and boulevard improvements and sanitary sewer improvements.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: A 14-storey residential tower that is designated under the City Centre Area Plan (CCAP) for high-density high-rise mixed-use development (Urban Core T6 (45 m)).
- To the east: Across Cooney Road, a three-storey townhouse development that is designated under the CCAP for low density low-rise mixed-use development (Urban Centre T5 (25 m)).
- To the south: Across a proposed 7.85 m interim width lane, a one-storey single detached house on a lot designated under the CCAP for medium density mid-rise mixed use development (Urban Centre T5 (25 m)).
- To the west: Two four-storey wood frame apartment buildings fronting Buswell Street in an area designated under the CCAP for medium density mid-rise mixed-use development (Urban Centre T5 (25 m)).

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “High Rise Apartment (ZHR8) – Brighthouse Village (City Centre)” zone.

Advisory Design Panel Comments

The Advisory Design Panel was supportive of this application, subject to consideration of the Panel’s comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes from July 6, 2023, is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘*bold italics*’.

Analysis

Conditions of Adjacency

- The development is accommodated within a single tower, located at the southeast corner of the site facing the new lane and Cooney Road to maximize distance from exiting neighbouring residential development and minimize overlook.
- The tower is located away from the north and west property lines and includes landscape buffers to provide more physical and visual separation with neighbouring residential developments. Shrubs and low planting are proposed in front of the three-storey parking podium and the walls treated with a relief pattern and inset panels to provide visual interest. Three townhome units front Cooney Road to provide appropriate transition to adjacent lower density properties.
- The subject development will be accessed from a new City lane required to be constructed along the south edge of the subject site. The original rezoning secured public Rights-of-Way along the south edge of the site for a new City lane and along the Cooney Road frontage for future road widening. These Rights-of-Way areas will be designed and constructed via Servicing Agreement (SA 19-858294) as secured by legal agreement registered on Title. The lane will be widened to ultimate width through the redevelopment of the site to the south.
- The subject site is located within an Aircraft Noise Policy area and all units will be constructed to achieve CMHC interior noise standards. An aircraft noise covenant has been secured on title as part of the previous rezoning application.

Urban Design and Site Planning

- The proposed form of development takes advantage of the site’s proximity to the Canada Line and provision of a new City lane to create a high-density urban environment that is consistent with CCAP objectives.
- Access to the site will be from the new lane to the south. Service uses, parking, loading and waste management will be screened from public view.

- The three-storey podium includes a pedestrian-oriented residential frontage, which could accommodate home based business uses, contributing towards local liveability. The podium also accommodates for three levels of parking screened from public view.
- Resident-shared amenity space is provided on the podium roof and includes outdoor amenity space and an indoor amenity room at the northwest corner of the podium roof. Further details on the indoor and outdoor amenity space is provided in the Level 4 floor plan and Landscape Design sections (Plan #17 & 39).

Architectural Form and Character

- The proposed development contributes towards a modern architectural expression including:
 - Three storey podium provides a play of panels to create interest and breakdown of scale.
 - A distinct tower along the site's Cooney Road frontage, stepped back from the street-facing podium and articulated with inset and projecting balconies, ribbed panels incorporating strong graphic patterning using wood grain finishing and copper tones, together providing rhythm, variety and visual interest.
- A combination of warm pallet, variation in massing and selection of materials helps break up the massing and reinforces a distinct, crisp and contemporary identity for the development.
- The top of the tower is articulated with a sloped profile with the use of glass and spandrel glazing for the penthouse
- Stacked balconies with a staggered (i.e. "zipper" like) design using ribbed metal panels along all facades of the tower, create a distinctive character for the tower.

Transportation

- Parking, loading and waste management are accessed from the new City lane required to be constructed along the south edge of the subject development site. The interim 7.85 m lane width will ultimately be widened to 9.35 m lane width through the redevelopment of the site to the south at a future date.
- The proposed development includes a public Right-of-Way (0.35 m width) along the north edge of the City lane Right-of-Way, to accommodate a wider sidewalk (2.0 m) along the lane for enhanced pedestrian passage, ultimately to the bus mall and Brighthouse Canada Line Station when the properties to the west redevelop in the future. The public Right-of-Way has been secured on Title.
- One medium (SU9) on-site loading space is provided adjacent to the new lane. The use of the loading space will be shared with the adjacent site to the south at 6371 Cooney Road in the future. The applicant will provide a public Right-of-Way over the loading space, secured on Title for the shared use.
- A Right-of-Way along the west property line has been secured by public Right-of-Way to accommodate potential future lane network construction.
- The application includes a total of 82 parking spaces including 66 stalls for residential units, 14 visitor parking spaces and two car-share spaces. A total of three accessible parking stalls (two residential and one visitor) will be provided.

- The proposed number of parking spaces is consistent with the parking requirements under the ZHR8 zone and general provisions of the Zoning Bylaw No 8500, subject to the provision of Transportation Demand Measures (TDM) to the satisfaction of the City. A legal agreement on Title will be secured as a condition of DP issuance and will include the following TDMs:
 - Provision of a bicycle maintenance and repair facilities in the development.
 - Additional Class 1 bicycle parking at a rate of 2.0 stalls per unit.
 - Provision of battery charging facilities for all Class 1 bicycle parking spaces.
 - Provision of two car-share vehicles in addition to two on-site parking spaces with EV charging for the car-share vehicles. Lifetime car-share memberships of \$500.00 value are to be attached to each residential unit.
 - Provision of monthly transit passes (two-zone for one year) to 100 per cent of units.
- Provision of 179 bicycle parking spaces provided throughout the site (162 Class 1 and 17 Class 2) in excess of City requirements (only 102 Class 1 required):
 - All the Class 1 spaces are contained in rooms with a maximum of 40 bicycle spaces in compliance with provisions of Zoning Bylaw 8500.
 - 10 Class 2 spaces are proposed along the Cooney Road frontage and seven are proposed along the new south City lane frontage.

Tree Management

- Consistent with the previous Rezoning and Development Permit applications, five on-site trees along the south property line have been permitted removal due to their fair to poor condition and conflict with the required public Right-of-Ways.
- Three trees located on the neighbouring property to the south (6371 Cooney Road) will need to be removed to facilitate the required lane construction. The applicant has written permission from the neighbouring property owner for the removal of these trees as per the previous Development Permit. The applicant is required to obtain a separate tree removal permit for these trees.
- One tree along the Cooney Road frontage is proposed to be removed to accommodate for the require frontage works.
- There are a total of 19 new trees proposed, including the 12 replacement trees included in the Development Permit plans.
 - At street level, four trees consisting of a mix of two Japanese black pines and two Japanese maples are proposed.
 - At Level 3, two Japanese maples and a Japanese black pine are proposed as part of the green roof feature at the southwest corner of the building. A Kousa dogwood is provided for each of the townhome units for a total of six trees at Level 3.
 - The outdoor amenity at Level 4 provides for nine trees including two Japanese stewartias, three Japanese maples and four cherry trees.

Landscape Design and Open Space Design

- The CCAP encourages the provision of additional open space to enhance the urban environment.

The subject development's public open space contributions are provided through public Rights-of-Way secured through the original rezoning. This includes additional public Right-of-Way to accommodate a wider sidewalk (1.85 m) in the south lane and frontage works (landscaped boulevard and sidewalk widening) along the west property line at Cooney Road.

- 556 m² of residential outdoor amenity space is provided, which complies with the OCP guidelines. Outdoor amenity areas comprising a consolidated, irrigated, landscaped, multi-use, outdoor space at the podium roof level co-located with the required indoor residential amenity space. The amenity space has been designed to provide for formal and informal children's play, strolling, socializing, relaxing and outdoor dining.
- Private outdoor patios and balconies are provided for all dwelling units.
- Additional landscaping is provided at the residential lobby entrance, landscaped buffers along the north and west property lines and a green roof on the indoor amenity pavilion.
- Drought tolerant plants are incorporated into the green roofs and vegetated outdoor areas to reduce reliance on irrigation.
- The southwest corner of Level 3 and the roof top of the indoor amenity pavilion features green roofs with significant landscaping and planting areas that will help reduce stormwater flow and provide a pleasant outdoor amenity for the residents.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$539,688.00 in association with the Development Permit.

Indoor Amenity Space

- The OCP requires that multi-family development comprising of 40 units or more are to provide at least 100 m² of indoor amenity space. The subject development meets the OCP minimum and provides for attractive indoor amenity space located adjacent to the outdoor amenity space in the form of a 108 m² enclosed pavilion at the podium roof level. The pavilion features an amenity lounge room and a fitness room.

Crime Prevention Through Environmental Design

CPTED measures enhance safety and personal security in and around the proposed building.

- Casual surveillance is provided through minimizing blind corners, a prominent residential lobby entrance, locating visitor parking uses on the ground floor of the parkade, clear sightlines to exits within the parkade (mirror where needed), glazed vestibules, street-oriented residential entries and lighting in all pedestrian areas.
- Ownership and territorial reinforcement is achieved through landscaping with low-lying hedges and shrubs in addition to pedestrian-oriented lighting.

Accessible Housing

- The proposed development includes 20 adaptable units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair.

These single-storey units are required to comply with the BC Building Code requirements for adaptable housing and will also incorporate all the provisions listed in the Basic Universal Housing (BUH) Features section as set out in the Zoning Bylaw. As such, the density exclusion of 1.86 m² (20 ft²) per BUH unit is permitted.

- All adaptable units are provided with Basic Universal Housing features including:
 - lever-type faucets;
 - rocker or paddle type light switches;
 - at least one bedroom with sufficient space to provide a turning diameter of 1.5 m on one side of a double bed; and
 - wheelchair accessible kitchen with task lighting.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell handrails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
- Common areas including the Cooney Road entry lobby and indoor and outdoor amenity spaces are designed to meet BC Building Code's accessibility requirements.

Sustainability

- The project is designed to BC Energy Step Code 2 with a Low Carbon Energy System as secured through the original rezoning and development permit.
- District Energy Utility (DEU) compatible building and mechanical system design is incorporated to facilitate future connection to a City utility. A legal agreement has been registered on Title securing the owner's commitment to connect a DEU and provides that no Building Permit will be issued unless the building is designed with the capability to connect to and be serviced by a DEU. The developer will also be required to provide mechanical drawings and energy modeling, which will be reviewed by the City and Lulu Island Energy Company for compliance with DEU requirements (i.e. capable of connecting to a future DEU system) prior to Building Permit issuance.
- Energized electrical vehicle (EV) charging outlets for 100 per cent of the residential vehicle parking spaces (208 V – 240 V), car-share spaces, and 10 per cent of Class 1 secured bicycle storage spaces (120 V).

Servicing Agreement

- The applicant is generally required to design and construct the new City lane, Cooney Road frontage beautification and sanitary sewer improvements. A Servicing Agreement (SA 19-858294) is under staff review and future details are included in the attached Development Permit considerations (Attachment 3).

Legal Agreements and Discharges

The following legal agreements have been registered on Title as part of the previous DP (DP 17-791045) and will apply to the subject DP (DP 22-023105):

- Side Lane Sidewalk SRW (CB71957-62).
- Future Rear Lane Agreement (CB71963-68).
- Noise Covenant (CB71970-80).
- DEU Covenant (CB71981-84).
- Servicing Agreement (CB71985).

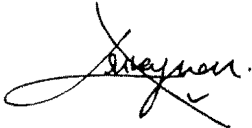
Details of the legal agreements can be found in the attached Development Permit considerations (Attachment 3).

The following legal agreement is obsolete and will be discharged from Title:

- Shared Loading Bay agreement, SRW and Covenant (CB71969 and CB71971), which will be obsolete as a replacement covenant and SRW, with updated loading bay configuration, will be registered on Title.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Ashley Kwan
Planner 1
(604-276-4173)

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- Att. 1: Development Application Data Sheet
2: Advisory Design Panel Meeting Minutes Annotated Excerpt
3: Development Permit Considerations



DP 22-023105

Attachment 1

Address: 6333 Cooney Road

Applicant: 6333 Cooney Road Limited Partnership Owner: Cooney Mansions Nominee Ltd

Planning Area(s): City Centre (Brighthouse Village)

Floor Area Gross: 8,057 m² Floor Area Net: 6,559 m²

	Existing	Proposed
Site Area:	2,458 m ²	No Change
Land Uses:	Vacant	Multi-Family Residential
OCP Designation:	Mixed-Use	No Change
Zoning:	High Rise Apartment (ZHR8) – Brighthouse Village (City Centre)	No Change
Number of Units:	N/A	81

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 2.67	2.67	none permitted
Lot Coverage:	Max. 70%	70%	None
Setback – Cooney Road:	Min. 3 m	3 m	None
Setback – North Side Yard:	Min. 2.7 m	2.7 m	None
Setback – South Side Yard:	Min. 7.5 m	8.4 m	None
Setback – Rear Yard:	Min. 1.5 m	1.5 m	None
Height (m):	Max. 41 m	41 m	None
Off-street Parking Spaces	99 total spaces including: 81 Residential spaces 18 Visitor spaces	With TDMs 66 Residential spaces 14 Visitor spaces 2 Car Share spaces 82 Total	None
Off-street Parking Spaces – Accessible:	Min 2%	3% (3)	None
Tandem Parking Spaces	Permitted	None	None
Loading Spaces	1 medium truck (SU-9) space	1 medium truck (SU-9) space	None
Bicycle Storage	Class 1: 102 Class 2: 17	Class 1: 162 Class 2: 17	None

Amenity Space – Indoor:	Min. 100 m ²	108 m ²	None
Amenity Space – Outdoor:	Min. 498 m ²	536 m ²	None

**Excerpt from the Minutes from
The Design Panel Meeting**

**Thursday, July 6, 2023 – 4:00 p.m.
Remote (Webex) Meeting
Richmond City Hall**

Panel Discussion

Comments from Panel members were as follows:

ARCHITECT: Kasian Architecture
LANDSCAPE ARCHITECT: Connection Landscape Architecture
PROPERTY LOCATION: 6333 Cooney Road

Applicant's Presentation

Dave Leung, Westbank Corp., Architect Xueying Xing, Kasian Architecture and Interior Design and Planning, and Landscape Architect Ken Larsson, Connect Landscape Architecture, presented the project and together with Christephen Cheng, Bunt and Associates Engineering, answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- commend the applicant for their presentation of the project; – *Noted with thanks.*
- appreciate the proposed exterior metal cladding materials for the project which are a welcome change from many projects in Richmond; metal finishes are better in the long-term than the traditional finishes; – *Noted.*
- the project's proposed Transportation Demand Management (TDM) measures are more than adequate considering the project's location in the City Centre Area and proximity to the Brighthouse Canada Line station and local bus exchange; – *Noted.*
- understand the limited options for the applicant regarding the location of the BC Hydro kiosk due to the compact site; – *Noted.*
- overall, the proposed design of the project is well executed and fits well into the neighbourhood; – *Noted.*
- the applicant has put a lot of thought on the design and articulation of the building; appreciate the proposed metal exterior cladding materials and colours as they are attractive and unique; – *Noted.*
- appreciate the well thought out design and layout of the common outdoor and private amenity spaces; it would be visually appealing to pedestrians and users and enhance their experience; – *Noted.*

- appreciate the informative and thorough presentation of the project by the applicant; – *Noted.*
- appreciate the provision of 20 adaptable units in the project; would have liked to see fully accessible units provided in the project as well; – *Considered. 20 adaptable units meeting the accessibility requirements from BC Building Code will be provided.*
- appreciate that all the indoor and outdoor amenity spaces are accessible, including the bicycle room and dog wash area; – *Noted.*
- appreciate the distribution of the adaptable units throughout the proposed building; – *Noted.*
- appreciate the details provided for the ramps which were useful to facilitate their evaluation; – *Noted.*
- appreciate the project's comprehensive accessibility strategy, including the indoor adaptability details; – *Noted.*
- the project provides only two accessible resident parking spaces and one accessible visitor parking space; consider adding more accessible parking stalls due to the increasing older population in the City; – *Considered. The design complies with the bylaw requirements and keeps the same accessible parking count as the original DP. Due to the tight site and added bicycle storage spaces, the design could not accommodate additional accessible parking spaces.*
- the design is well done especially the proposed exterior cladding for the building; – *Noted.*
- consider including a document in the resident or strata council management guide regarding inspection and maintenance of rooftop patio drainage, stairwells and other spaces in the common outdoor amenity area or outdoor private spaces for residents; the document should ensure that adequate information is provided to avoid any leakage on common and private outdoor amenity spaces; could be included on plumbing drawings and critical drainage information on the guide; – *Noted. Slab edges will be treated with roof drains to mitigate leakage on common and private outdoor amenity spaces as noted on DP plans.*
- commend the applicant for the presentation, and the clear information and comprehensive package provided; – *Noted.*
- the nature of street section and sidewalk section along Cooney Road appear not consistent with the adjacent properties; investigate further opportunities to integrate with the whole streetscape on this portion of Cooney Road; – *Considered. The street and sidewalk section are designed by Civil and approved by the City's Engineering department. The current design raises the windowsill and floor elevation to maintain privacy once the buffer space decreases due to future sidewalk widening as required by the City.*
- the wider sidewalk along Cooney Road results in just approximately a metre of space in front of the townhouse units which could impact the privacy of these units; investigate opportunities to incorporate further landscaping and architectural features to enhance the

privacy of townhouse units; – *The live/work units require some visibility at the front for ease of identification for visitors. The current design provides a landscape buffer between the sidewalk and units. The patios have also been recessed to allow for additional transition from the sidewalk to the private outdoor space at the unit entrance. All level 1 spaces are living/dining kitchen and live/work spaces, no bedrooms will be affected.*

- the front doors of townhouse units are hidden around the corner and do not provide a sense of direct addressing from Cooney Road; consider more easily visible and identifiable front doors to the units; – *Unit number signage will be installed at the front of the patio wall to improve identification.*
- appreciate the architectural articulation of the tower on the Cooney Road elevation; however, the architectural treatment around the corner and on the parkade side is not quite as successful; review the proposed architectural treatment on the parkade side to better integrate it with the overall treatment of the building (e.g., look at the colour of panels on the parkade level); – *The architectural treatment at the north and west parkade faces have been addressed with revisions to panels to provide continuation from the tower facade and additional landscaping through incorporation of green screens.*
- consider how to better integrate the mechanical unit into the outdoor amenity space at the podium level; – *To provide accessible access to the top of the heat pump roof on L4, a fair amount of accessible ramps will need to be introduced. This will negatively impact the landscaping and introduce multiple elevations rather than having the amenity space contiguously flat and limits the usability and flexibility of the landscaped outdoor area. It is suggested to keep the current design to maximize the usable outdoor space.*
- the top of the mechanical unit on podium level 4 appears to be a significant area; the extensive green roof is an acceptable landscaping strategy; however, consider providing a useable outdoor amenity space at the top of the mechanical unit; – *Considered. Please see comment above.*
- bicycle parking on Level 3 appears problematic and may not be a suitable location from the cyclist's perspective in terms of safety and convenience; look at the City's requirement for bicycle parking location in a building; also, the bicycle parking on Level 3 significantly compromises the entrance to Unit 301 as it has shared access with bicycle parking; – *Plans have been revised to provide a significant amount of Class 1 bicycle parking (106 spaces) at the lower ground level. The exit path for the bicycle storage room at Level 3 has been revised and provides a quite corner for unit 301.*
- appreciate that the children's play area on Level 4 is located on the west side as it would get a good amount of sun exposure; – *Noted.*
- would like to see the PMT located on the laneway side than in front of the building; – *The Civil consultant (MPT) has already coordinated the PMT location with the City's Engineering department. For clarification, the kiosk is not a PMT. It is a 'Type S' streetlight kiosk, a smaller electrical unit for City streetlight servicing only. Laneway location options assessed, however considerations to avoid encroachment of the building's structural footings and current bicycle parking located along the laneway*

prevented a suitable location to be found. With these considerations, it is preferred to retain the current position along/facing Cooney Road.

- support the Panel comment to add more buffering from the sidewalk to the townhouse units along Cooney Road; consider installing architectural screening to enhance their privacy; – *Low lying shrubs will be provided in front of the townhome entrances to act as a buffer.*
- proposed trees on Levels 3 and 4 do not appear to have adequate soil depth; – *All tree wells are provided with a 3' soil depth by sinking the tree well plus slightly mounding up berms.*
- appreciate the well put together package and presentation; – *Noted.*
- the project design is well executed; – *Noted.*
- landscaping design principles are well executed throughout the common outdoor amenity area; – *Noted.*
- the choice of play equipment in the children's play area on the podium level is not consistent with the character of other landscape elements in the children's play area; consider more creative solutions for the children's play area in lieu of just installing a play equipment; – *The slide and climbing structure is provided as per direction from the previous DP. Play hut is proposed for imaginative play and the nature based play areas have been integrated with boulders and planting to encourage informal and manipulative play. Play structures facilitating balance, jumping, climbing, and sliding are provided. Patterned and mounded resilient surfaces also act as safety zones for structures and activate spaces to accommodate running, jumping, sliding climbing.*
- ensure that ventilation for the mechanical room is directed away from the common outdoor amenity area; and – *No ventilation louvers are facing the outdoor amenity spaces as the air intake will be from the parking below and the air exhaust will be at the north façade. All air exhausts are treated with plenum and silencers to meet the acoustic requirements. A letter of assurance has been provided by the Acoustic Engineer.*
- consider incorporating planting near the building's outdoor bicycle parking area along Cooney Road. – *Considered. There is minimal space for biking, circulation, and entry and benefit for bike rack access from two sides. Decorative paving will be provided, which will be complementary to the main entry space.*

Panel Decision

It was moved and seconded

That DP 22-023105 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6333 Cooney Road

File: DP 22-023105

Prior to forwarding this Development Permit application to Council for approval, the owner must complete the following requirements:

1. **(Landscape Security)** Receipt of a Letter of Credit for landscaping in the amount of \$539,688.00 as specified on the landscape cost estimate and sealed by the project Landscape Architect (including materials, installation, and 10% contingency)
2. **(Side Lane Enhanced Sidewalk Statutory Right of Way)** Granting approximately 15.4 m² (165.8 ft²) 0.35m wide statutory Right-of-Way for the purposes of Public Rights of Passage and utilities to accommodate an enhanced 1.85m wide sidewalk in the new lane along the south edge of the site and 2m x 2m corner cut at the southwest corner of the site. The works are to be built by the owner and maintained by the owner with the exception of City infrastructure, which is to be maintained by the City. Any works essential for public access within the required statutory Right-of-Way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications and good engineering practice with the objective to optimize public safety.
3. **(Future Rear Lane Statutory Right of Way)** Granting approximately 17.5 m² (188.4 ft²) 1.5m wide statutory Right-of-Way for the purposes of Public Rights of Passage and utilities to accommodate future potential rear lane extension from north boundary of existing SRW plan BCP50328 to south boundary of existing SRW plan BCP20901 along the south edge of the site. The works are to be built by the owner and maintained by the owner with the exception of City infrastructure, which is to be maintained by the City. Any works essential for public access within the required statutory Right-of-Way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications and good engineering practice with the objective to optimize public safety.
4. **(City Centre Impacts)** Registration of a legal agreement on title stipulating that the development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlook and reduced privacy, increased ambient noise and increased levels of night-time ambient light, and requiring that the owner provide written notification of this through the disclosure statement to all initial purchasers, and erect signage in the initial sales centre advising purchasers of the potential for these impacts.
5. **(District Energy Utility)** Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
 - a. No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
 - b. If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until:

- i. the building is connected to the DEU, which may include the owner's supplied and installed central energy plant to provide heating and cooling to the building, at no cost to the City, or the City's DEU service provider, Lulu Island Energy Company, on the subject site satisfactory to the City;
 - ii. if the City so elects, the owner transfers ownership of the central energy plant on the site, if any, at no cost to the City, or City's DEU service provider, Lulu Island Energy Company, to the City and/or the City's DEU service provider, Lulu Island Energy Company, on terms and conditions satisfactory to the City;
 - iii. the owner enters into a Service Provider Agreement with the City and/or the City's DEU service provider, Lulu Island Energy Company, on terms and conditions satisfactory to the City; and
 - iv. the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building and the operation of the central energy plant, if any, by the City and/or the City's DEU service provider, Lulu Island Energy Company.
 - c. If a DEU is not available for connection, no final building inspection permitting occupancy of a building will be granted until:
 - i. the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
 - ii. the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation ;
 - iii. the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building; and
 - iv. the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.
6. **(Discharges)** Discharge the following charge from title:
 - a. Shared Loading By agreement, SRW and Covenant (CB71969 and CB71971), which will be obsolete as a replacement covenant with SRW will be registered on title.
7. **(Shared Loading Bay SRW)** Granting of an approximately 52.3 m² (563 ft²) statutory Right-of-Way for the purposes of Public Rights of Passage for the shared use at all times of the loading bay with the proposed development and future development on the neighbouring property at 6371 Cooney Road. Any gates are to remain open from 7am to 7pm 7 days a week, and may only be secured if means are provided for the neighbouring property at 6371 Cooney Road to access the loading bay at all other times. The works are to be built by the owner and are to be maintained by the owner. Any works essential for public access within the required statutory Right-of-Way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with good engineering practice with the objective to optimize public safety and after completion of the works, the owner is required to provide a certificate of inspection for the works, prepared and sealed by the owner's Engineer in a form and content acceptable to the City, certifying that the works have been constructed and completed in accordance with the accepted design.
8. **(Parking Reduction Strategy)** Registration of a legal agreement on title securing the applicant's offer to voluntarily contribute towards various transportation related improvements and secure parking for various uses in compliance with the zoning bylaw requirements and Transportation

Demand Management (TDM) parking reductions, to the satisfaction of the Director of Transportation, including, but not limited to, the following:

- a. Provision of 80 vehicle parking spaces (with 14 vehicle parking spaces reserved for visitors)
- b. Car Share Parking: Registration of a restrictive covenant and Statutory Right-of-Way(s) on title, or alternative legal agreement, subject to the final approval of the Director of Transportation, securing the owner's commitment to provide car share facilities and car share equipment to a car share operator or to the City, at no cost to the car share operator or the City, both as the case may be, the terms of which shall be generally as follows:
 - i. A minimum of two (2) car share spaces parking spaces within the development, along with pedestrian and vehicular access, designed, constructed, equipped and maintained by the owner, at the owner's cost, to be:
 1. Co-located and located on the ground level of the parkade;
 2. Provided with satisfactory pedestrian access;
 3. Designed to be safe, convenient, and universally-accessible;
 4. Provided with design features, decorative finishing, lighting and signage, as determined through the Development Permit* and Servicing Agreement* processes;
 5. Each provided with EV charging for its exclusive use;
 6. Accessible to all intended users (e.g. general public, car share operator personnel and car share operator members) at no added cost;
 7. Accessible to all intended users as follows:
 - General public – 365 days a year for a time period equaling the lengthiest combination of standard business hours and the standard operating hours of local rapid transit; and
 - Car share operator personnel and members – 365 days a year for a 24 hours per day (e.g. code entry);
 8. Identify the car share stalls in the Development Permit plans;
 9. Identify the car share stalls in the Building Permit plans; and
 10. Prior to building inspection permitting occupancy, provide wayfinding and stall identification signage for the car share stalls, to the satisfaction of the Director of Transportation.
 - ii. Terms of agreement between the owner and the car share operator, which shall include:
 1. A minimum contractual period for the provision of car share services of three years from the first date of building occupancy; and
 2. Additional provisions as negotiated by the owner and car share operator (e.g. maintenance, repair and replacement by car share vehicles by the car share operator), or as required by the City, subject to the approval of the Director of Transportation.
 - iii. Supporting submissions provide to the City (Transportation Department) as follows:
 1. Prior to Development Permit issuance, copy of the letter of intent addressed to the owner from the car share operator outlining the terms of the provision of car sharing services;
 2. Prior to Development Permit issuance, a copy of the draft contract between the owner and the car share operator describing the terms of the provision of car sharing services;
 3. Prior to building inspection permitting occupancy, a copy of the executed contract between the owner and the car share operator describing the terms of the provision of car sharing services;

- iv. Granting of a Public-Right-of-Passage (PROP) in favour of the City, to secure the car share spaces and the vehicular and pedestrian accesses, subject to the final dimensions established by the surveyor on the basis of functional plans completed to the satisfaction of the Direction of Transportation.
 - v. In the event that the car-share facilities are not operated for car-share purposes as intended via the subject rezoning application (e.g., operator's contract is terminated or expires), transfer control of the car-share facilities, to the City, at no cost to the City, with the understanding that the City at its sole discretion, without penalty or cost, shall determine how the facilities shall be used going forward.
- c. Car share memberships: Registration of a restrictive covenant on title, or alternative legal agreement, subject to the final approval of the Director of Transportation, securing the owner's commitment to provide lifetime car share membership of \$500 value for all 81 units, at the owner's cost.
 - d. Bicycle Parking Facilities: Registration of a restrictive covenant on title, or alternative legal agreement, subject to the final approval of the Director of Transportation, securing the owner's commitment to provide 2.0 Class 1 bicycle spaces per unit (i.e. 162 spaces) within the building.
 - e. Enhanced Bicycle Facilities: The developer/owner shall, at its sole cost, design, install, and maintain on the lot, to the satisfaction of the City as determined via the Development Permit*:
 - i. Bicycle maintenance and repair facility: provide a minimum of one facility for the shared use of all residents, including bicycle repair stand (with tools) and foot pump. A note is required on the Development Permit* and Building Permit*. Appropriate signage is required.
 - ii. E-bike storage: provision of bicycle battery charging facilities for all Class 1 bicycle parking spaces.
 - iii. "No building" shall be permitted, restricting Building Permit* issuance for any building on the lot, until the developer provides for the required enhanced bicycle facilities.
 - iv. "No occupancy" shall be permitted, restricting final Building Permit inspection granting occupancy for any building on the lot, in whole or in part, until the required enhanced bicycle facilities are completed and have received final Building Permit inspection granting occupancy.
9. **(Servicing Agreement)** Enter into a Servicing Agreement* or amend SA 19-858294 for the design and construction of Engineering and Transportation works in accordance with Transportation Association of Canada (TAC) Specifications, updated City Engineering Design Specifications, and applicable Bylaws to the satisfaction of the City. An updated Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to, the following:
- l. Road Works
 - a. **Road Functional Design Works**: Submission of a functional design (road works, interim and ultimate lane works), prepared to the satisfaction of the City, is required. Design to accommodate: Cooney Road frontage improvements and new lane. Works also include street lighting, traffic signage, boulevard landscaping, and street trees. The functional design is to indicate clearly all existing and proposed SRW PROPS, and include the frontage improvements listed below. Unless otherwise specified, all road works are to be designed as per bylaw, TAC Standards and the City's Engineering Design Specifications.

- b. **New Lane:** Interim lane to City Centre standard with additional sidewalk width. Works to include, from north to south, 1.85 m wide concrete sidewalk with street lighting located to maintain a 1.5 m width of sidewalk free and clear of obstruction, roll-over curb and remaining 6 m to be roadway driving surface approved by the City. Through the Servicing Agreement, decorative pavement treatment may be required to create a more pedestrian friendly environment in the lane.

II. Water Works

- a. Using the OCP Model, there is 659.0 L/s of water available at a 20 psi residual at Cooney Road. Based on the proposed development, site requires a minimum fire flow of 220 L/s.
- b. At the Owner's cost, the Owner is required to:
 - i. Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
 - ii. Review hydrant spacing on all road frontages and install new fire hydrants as required to meet City spacing requirements for commercial land use.
 - iii. Obtain approval from Richmond Fire Rescue for all fire hydrant locations, relocations, and removals, as required.
 - iv. Provide a Right-of-Way for water meter. Exact Right-of-Way dimensions to be finalized during the servicing agreement process.
- c. At the Owner's cost, the City is to:
 - i. Cut, cap, and remove, the existing water service connections servicing 6333 Cooney Road.
 - ii. Install a new water service connection, complete with meter and meter box, to be located on private property, to serve the proposed development.

III. Storm Sewer Works

- a. At the Owner's cost, the Owner is required to:
 - i. Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement design.
 - ii. Ensure trees are not placed on top of the storm sewer main and, follow offset and alignment similar to the existing trees at the Cooney frontage of the property to the north.
- b. At the Owner's cost, the City is to:
 - i. Cut, cap, and remove the existing storm service connections and inspection chambers servicing the subject site.
 - ii. Install a new storm service connection and type III inspection chamber. If required, the Owner shall provide a statutory Right-of-Way for the inspection chamber at their cost.
 - iii. Complete all tie-ins for the potential works to existing City infrastructure, to be determined by the pipe sizing calculations at the servicing agreement stage.

IV. Sanitary Sewer Works

- a. At the Owner's cost, the Owner is required to:
 - i. Install new sanitary sewer along Cook Road from existing manhole SMH58685 at the intersection of Cook Road and Buswell Street to a new manhole at the intersection of Cook Road and Cooney Road (approximately 165 m of 300 mm PVC sanitary sewer).
 - ii. Remove, or abandon and cut and cap, as per MMCD approximately 52 m of existing sanitary sewer between SMH57073 and SMH57072 in the SRW located along the south property line of 6333 Cooney Road.

- iii. Ensure that the existing sanitary sewer along the west property line remains operational during any preload and/or construction phase. If the existing sanitary line is impacted during site preparation or construction of the proposed development then the owner shall be responsible to make the damaged sanitary system operational during the duration of the onsite works (i.e., temporary bypass via pumping, etc.). The damaged sanitary system shall be replaced at the same alignment through the servicing agreement, at the owner's costs, after completion of the site preparation and/or building construction works.
 - iv. Ensure no soil fill or building encroaches into the existing sanitary right of way along the west property line.
 - v. Owner/Developer of the subject site has agreed to provide an engineering solution certified by a structural engineer stipulating that the footing and foundation design of the parkade will permit excavation to the bottom of the adjacent sanitary line without undermining the parkade structure. The purpose is to facilitate the removal of the existing sanitary sewer along west side and the installation of the new sanitary sewer.
- b. Subject to available funding through the Development Coordinated Works budget and Council approval of funding through the approval of the Development Permit, the City will provide for the construction of the following works. The owner is required to:
- i. Install new sanitary sewer along Cooney Road from existing manhole SMH57072 to the new manhole (as noted above) at the intersection of Cook Road and Cooney Road (approximately 160 m of 300 mm PVC sanitary sewer). The developer is required to include the design of City funded sanitary main into the servicing agreement design.
 - ii. Prior to commencing City funded sanitary main work on the Cooney Road frontage the developer must provide the City with a minimum 1 year notice of their intended start date, along with a cost estimate for the works to be reviewed by and approved by City staff.
 - iii. Install approximately 52m of new sanitary sewer that is sloped east in the lane along the south property line. This new section of pipe shall be installed at the same alignment as the existing sanitary sewer that's planned for removal in the lane. Tie-in to the west shall be to the new manhole that will replace the sunken manhole at the west end of the proposed lane and tie-in to the east shall be to the existing sanitary manhole at the junction of the proposed lane and Cooney Rd. For info, the purpose of this new pipe section is to divert flows coming from the existing buildings located north of the proposed lane to the new sanitary main to be built by this development in Cooney Rd and Cook Rd. This diversion of flows to Cooney Rd and Cook Rd will reduce the loads being conveyed by the existing aging FRP sanitary pipes in the rear yards south of the proposed lane.
- c. At the Owner's cost, the City is to:
- i. Complete all tie-ins for the proposed works to existing City infrastructure.
 - ii. Cut, cap, and remove the existing sanitary service connection and inspection chamber servicing the subject site.
 - iii. Install a new service connection off of the existing 300mm PVC sanitary sewer on Cooney Road, complete with inspection chamber. If required, the Owner shall provide a statutory Right-of-Way for the inspection chamber at their cost.

V. Frontage Improvement Works

- a. At the Owner's cost, the Owner is required to:
 - i. Provide works to include, from east to west behind existing curb and gutter, grass boulevard (Min. 1.5 m) with street trees and new 2 m wide concrete sidewalk. The new sidewalk and boulevard are to transition to meet the existing frontage

treatments to the north and south of the subject site. Sidewalk alignment with smooth transitions to north and south to be detailed on required road functional plan for City review in order to confirm interim frontage cross section. All existing driveways along the Cooney Road frontage are to be closed permanently. The Owner is responsible for the removal of the existing driveway let-downs and the replacement with sidewalk, boulevard and barrier curb and gutter to match frontage improvements. There are existing utility poles and junction boxes that will need to be relocated at the owner's cost.

- ii. Coordinate with BC Hydro, Telus and other private communication service providers:
 - 1. To pre-duct for future hydro, telephone and cable utilities along all road frontages.
 - 2. Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - 3. To underground overhead service lines.
 - 4. According to the developer, the proposed building is designed to be serviced by a primary BC Hydro service with a unit sub-station within the building. Subsequently, a separate above ground PMT is not required to service the development.
 - 5. To locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory Right-of-Way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory Right-of-Ways that shall be shown on the architectural plans/functional plan, the servicing agreement drawings, and registered prior to SA design approval:

BC Hydro PMT	4.0 x 5.0 m
BC Hydro LPT	3.5 x 3.5 m
Street light kiosk	1.5 x 1.5 m
Traffic signal kiosk	2.0 x 1.5 m
Traffic signal UPS	1.0 x 1.0 m
Shaw cable kiosk	1.0 x 1.0 m
Telus FDH cabinet	1.1 x 1.0 m

- iii. Review street lighting levels along all road and lane frontages, and upgrade as required.
- iv. Decorative street lighting to be provided as per the requirements below:
 - 1. City Streets – Cooney Road: Pole colour to be black. Roadway lighting at the back of curb to be Type 3 Decorative Luminaire Pole (LED) – (Reference Drawing L12.6) INCLUDING 1 street luminaire, but EXCLUDING banner arms, flower basket holders, duplex receptacles, and irrigation. Pedestrian lighting is not applicable (i.e. no stand-alone pedestrian poles).

2. Lane: Pole colour to be black. Roadway lighting at the back of curb to be Type 3A Custom Decorative Luminaire Pole (Reference Drawing #627046-12-09 / Sheet 10 of 10) INCLUDING 1 post-top luminaire, but EXCLUDING banner arms, flower basket holders, duplex receptacles, and irrigation.

VI. General Items

- a. At the Owner's cost, the Owner is required to:
 - i. Provide, prior to start of site preparation works or within the first servicing agreement submission, whichever comes first, a preload plan and geotechnical assessment of preload, dewatering, and soil preparation impacts on the existing utilities fronting the entire development site and provide mitigation recommendations.
 - ii. Provide a video inspection report of the existing rear-yard sanitary sewers and storm sewer along the Cooney Road frontages prior to start of site preparation works or within the first servicing agreement submission, whichever comes first. A follow-up video inspection after site preparation works are complete (i.e. pre-load removal, completion of dewatering, etc.) to assess the condition of the existing utilities is required. Any utilities damaged by the pre-load, de-watering, or other ground preparation shall be replaced at the owner's cost.
 - iii. Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for review.
 - iv. Submit a proposed strategy at the building permit stage for managing excavation de-watering. Note that the City's preference is to manage construction water onsite or by removing and disposing at an appropriate facility. If this is not feasible due to volume of de-watering, the owner will be required to apply to Metro Vancouver for a permit to discharge into the sanitary sewer system. If the sanitary sewer does not have adequate capacity to receive the volume of construction water, the owner will be required to enter into a de-watering agreement with the City to discharge treated construction water to the storm sewer system.
 - v. Not encroach into City Rights-of-Way with any proposed trees, retaining walls, or other non-removable structures.
 - vi. Coordinate the servicing agreement design for this development with the servicing agreement(s) for the adjacent development(s), both existing and in-stream. The owner's civil engineer shall submit a signed and sealed letter with each servicing agreement submission confirming that they have coordinated with civil engineer(s) of the adjacent project(s) and that the servicing agreement designs are consistent. The City will not accept the 1st submission if it is not coordinated with the adjacent developments. The coordination letter should cover, but not be limited to, the following:
 1. Corridors for City utilities (existing and proposed water, storm sewer, sanitary and DEU) and private utilities.
 2. Pipe sizes, material and slopes.
 3. Location of manholes and fire hydrants.
 4. Road grades, high points and low points.
 5. Alignment of ultimate and interim curbs.
 6. Proposed street lights design.
 - vii. Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including,

but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with good engineering practice with the objective to optimize public safety and after completion of the works, the Owner is required to provide a certificate of inspection for the works, prepared and sealed by the Owner's Engineer in a form and content acceptable to the City, certifying that the works have been constructed and completed in accordance with the accepted design.

Prior to Building Permit* Issuance, the owner must complete the following requirements:

1. **(Legal Agreements)** Confirmation of compliance with existing and Development Permit legal agreements.
2. **(Accessibility and Sustainability)** Incorporation of special features (including accessibility and sustainable features) in Building Permit (BP) plans as determined via the Development Permit process.
3. **(Aircraft Noise Sensitive Development)** Confirmation that the proposed development is designed in a manner that mitigates potential aircraft noise to the proposed dwelling units, including submission of:

- a. Acoustic report prepared by a registered professional confirming design achieves the following CMHC interior noise level guidelines:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b. Mechanical report prepared by a registered professional confirming design achieves the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
4. **(Latecomer Works)** If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
5. **(Construction Hoarding)** The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
6. **(Construction Parking and Traffic Management Plan)** Submission of a Construction Parking and Traffic Management Plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/tp/special.htm>).

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

Initials: _____

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

Signed

Date



No. DP 22-023105

To the Holder: 6333 Cooney Road Limited Partnership

Property Address: 6333 Cooney Road

Address: C/O Dave Leung
1067 W Cordova Street, 6th Floor
Vancouver, BC V6C 1C7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #46 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$539,688.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 22-023105

To the Holder: 6333 Cooney Road Limited Partnership
Property Address: 6333 Cooney Road
Address: C/O Dave Leung
1067 W Cordova Street, 6th Floor
Vancouver, BC V6C 1C7

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

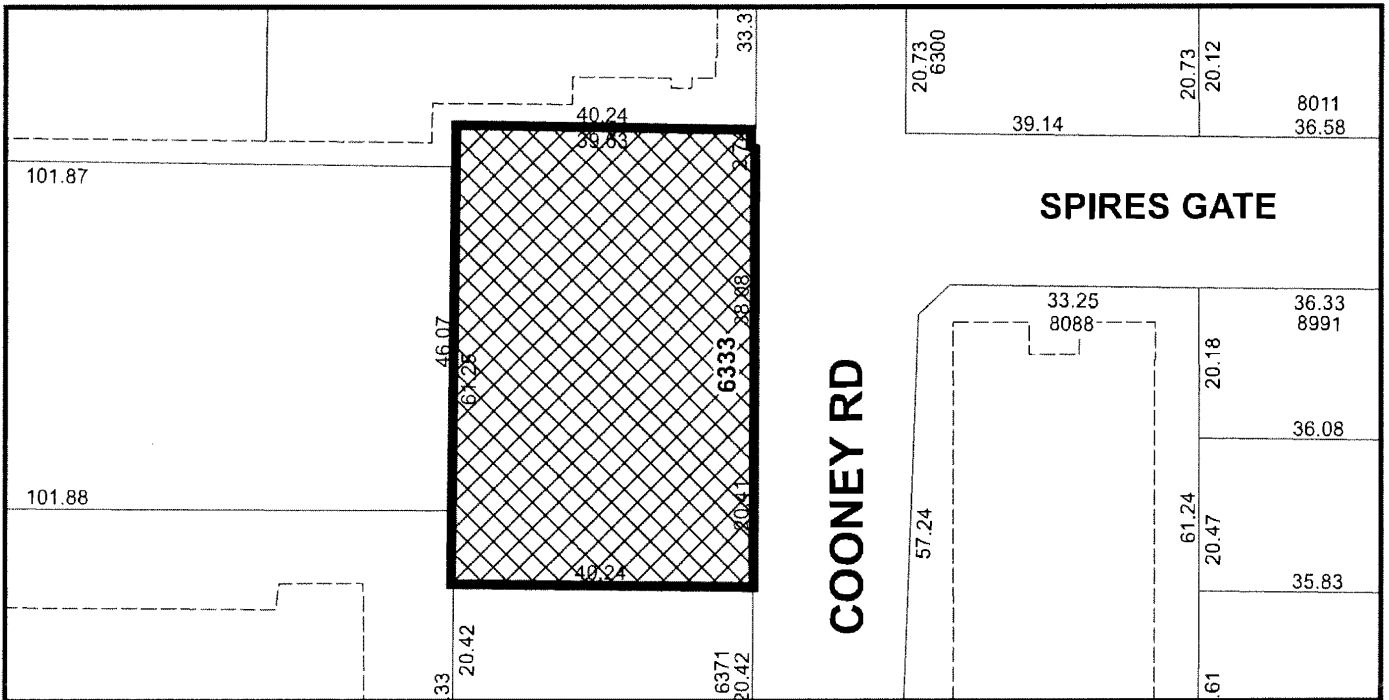
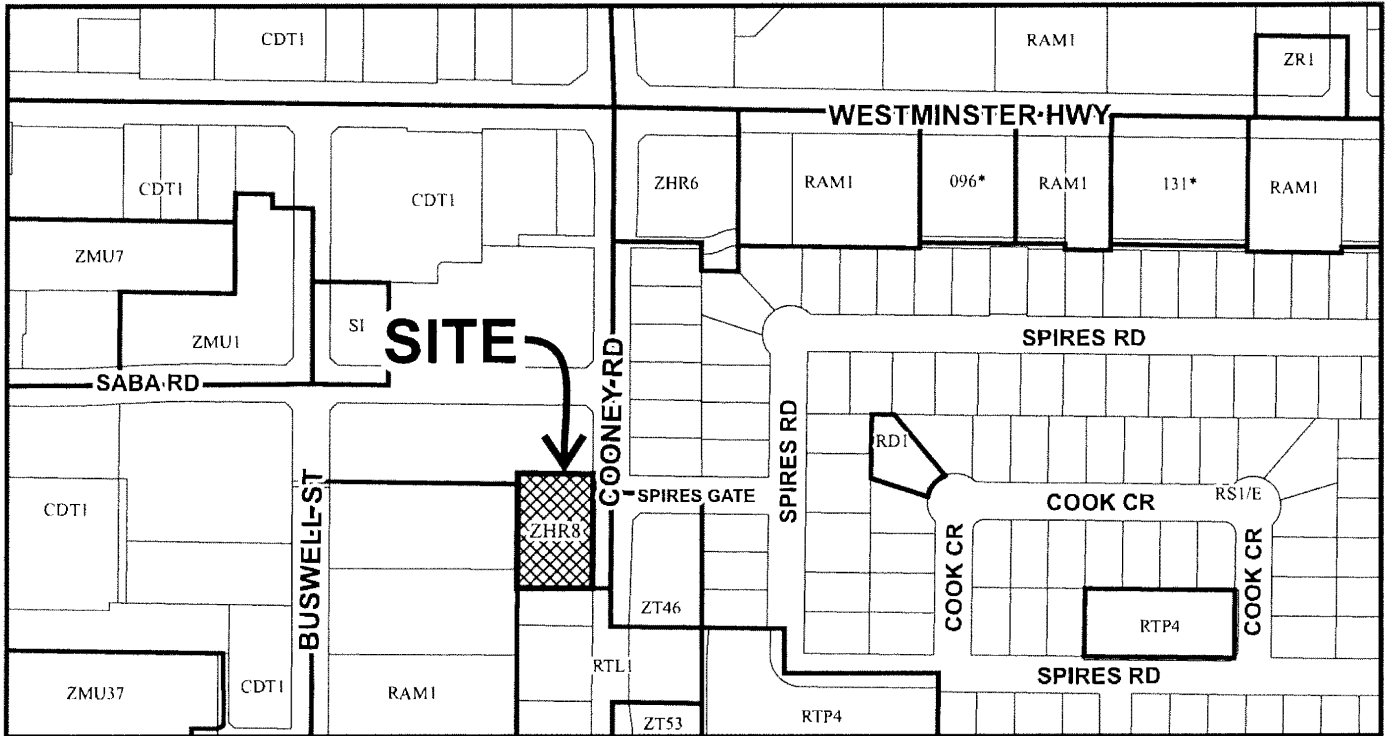
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 22-023105 SCHEDULE "A"

Original Date: 10/26/22

Revision Date:

Note: Dimensions are in METRES

DRAWING LIST - ARCHITECTURAL	
A-001	COVER PAGE / PROJECT DIRECTORY
A-002	RESIDENTIAL UNIT SUMMARY
A-003	RENDERINGS 1
A-004	RENDERINGS 2
A-005	RENDERINGS 3
A-005.1	RENDERINGS 4
A-005.2	RENDERINGS 5
A-005.3	RENDERINGS 6
A-005.4	RENDERINGS 7
A-005.5	RENDERINGS 8
A-006	CONTEXT PLAN
A-007	SHADOW STUDIES
A-008	COONEY ROAD STREETSCAPE
A-009	COONEY ROAD SRW
A-100	SURVEY PLAN
A-101	SITE PLAN
A-102	TRUCK ACCESS, BIKE STORAGE NOTE & PARKING NOTES
A-102A	TRUCK ACCESS, BIKE STORAGE NOTE & PARKING NOTES
A-103	COVERAGE PLAN
A-121	LEVEL 1 LOWER FLOOR PLAN
A-122	LEVEL 1 FLOOR PLAN
A-123	LEVEL 2 FLOOR PLAN
A-124	LEVEL 3 FLOOR PLAN
A-124A	LEVEL 3 ENLARGED FLOOR PLAN
A-124B	TOWNHOUSE ENLARGED PLANS
A-125	LEVEL 4 FLOOR PLAN
A-125-A	LEVEL 4 ENLARGED FLOOR PLAN
A-126	LEVEL 5-13 FLOOR PLAN
A-127	LEVEL 6 FLOOR PLAN
A-128	LEVEL 7 FLOOR PLAN
A-129	LEVEL 8 FLOOR PLAN
A-130	LEVEL 9 FLOOR PLAN
A-131	LEVEL 10 FLOOR PLAN
A-132	LEVEL 11 FLOOR PLAN
A-133	LEVEL 12 FLOOR PLAN
A-134	LEVEL 13 FLOOR PLAN
A-135	LEVEL 14 PENTHOUSE FLOOR PLAN
A-136	ROOF PLAN
A-201	EXTERIOR ELEVATIONS - NORTH
A-202	EXTERIOR ELEVATIONS - EAST
A-203	EXTERIOR ELEVATIONS - SOUTH

DRAWING LIST - ARCHITECTURAL	
A-204	EXTERIOR ELEVATIONS - WEST
A-206	EXTERIOR ELEVATION RENDERING - NORTH
A-207	EXTERIOR ELEVATION RENDERING - EAST
A-208	EXTERIOR ELEVATION RENDERING - SOUTH
A-209	EXTERIOR ELEVATION RENDERING - WEST
A-301	BUILDING SECTION 1
A-302	BUILDING SECTION 2
A-303	BUILDING SECTION 3
A-304	BUILDING SECTION 4
A-305	BUILDING SECTION 5
A-306	BUILDING SECTIONS 6 & 7
A-307	BUILDING SECTION 8
A-407	UNIT PLANS - TOWER UNIT ADAPTABLE C3, C5
A-501	STAIR DETAILS ST1&2
A-502	STAIR DETAILS ST1&2
A-503	STAIR DETAILS ST1&2
A-504	STAIR DETAILS ST1&2
A-505	STAIR DETAILS ST3
A-506	STAIR DETAILS TH
A-507	STAIR DETAILS TH EXTERIOR
A-508	STAIR DETAILS PH
A-509	RAMP DETAILS
A-520	ELEVATOR DETAILS
A-531	BATHROOM DETAILS ADAPTABLE
A-541	KITCHEN DETAILS ADAPTABLE
A-801	FAR OVERLAY
A-802	FAR OVERLAY
A-803	FAR OVERLAY
A-804	EXEMPTED GFA BREAKDOWN
A-810	CODE COMPLIANCE PLANS
A-1123-R2	LEVEL 1 DIAGRAM
A-1124-R2	LEVEL 2 DIAGRAM
A-1125-R1	LEVEL 3 DIAGRAM
A-1126-R1	LEVEL 4 DIAGRAM
A-1127-R1	LEVELS 5-13 DIAGRAM
A-1128-R3	LEVEL 14 DIAGRAM
A-1128-R3	NORTH ELEVATION DIAGRAM
A-1130-R3	SOUTH ELEVATION DIAGRAM
A-1131-R3	WEST ELEVATION DIAGRAM
A-1132-R3	EAST ELEVATION DIAGRAM



COONEY ROAD TOWER

6333 COONEY ROAD, RICHMOND, BC

ISSUED FOR DEVELOPMENT PERMIT

AUG 31ST, 2023



Kasian Architecture
Interior Design
and Planning Ltd

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www.kasian.com

September 5, 2023
DP 22-023105
Plan # 1

REV.	DATE	DESCRIPTION	BY	CHECKED
20	2023.08.31	ISSUED FOR DEVELOPMENT PERMIT		
19	2023.08.21	ISSUED FOR DEVELOPMENT PERMIT		
18	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT		
17	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT		
16	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION		
15	2022.12.21	ISSUE FOR CD REVIEW		
14	2022.12.01	ISSUE FOR BUILDING PERMIT		
13	2022.11.10	ISSUE FOR 75% CD		
12	2022.10.24	CD PROGRESS SET		
11	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION		
10	2022.08.24	CD IN PROGRESS		
9	2022.08.12	ISSUED FOR UNIT UPDATE		
8	2022.07.15	100% DESIGN DEVELOPMENT REVISION		
7	2022.07.12	ISSUE FOR UNIT UPDATE		
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT		
5	2022.05.04	ISSUED FOR MARKET UNIT		
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT		
3	2022.02.16	STRUCTURAL COORDINATION		
2	2022.02.11	UNIT REVISIONS		
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN		

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

COVER PAGE / PROJECT DIRECTORY

DRAWING ISSUE

ISSUED FOR DEVELOPMENT
PERMIT

PROJECT NO.	PLOT DATE	DRAWN	Author
230240	2023-08-31		
DRAWING NO.	SCALE	REVIEWED	Checker
A-001	As Indicated		
			REVISION
			20

PROJECT TEAM

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dan@kane-consulting.ca

WESTBANK 6333 COONEY ROAD, RICHMOND, BC PROJECT DEVELOPMENT STATISTICS

PROJECT OVERALL SITE SUMMARY

Project Civic Address	6333 Cooney Road, Richmond, BC		
Project Legal Description	LOT A, PLAN BCP 20900 AND LOT 132 (EXCEPT PART SUBDIVIDED BY PLAN 36672), PLAN BCP 26602, BOTH OF SECTION 9, BLOCK 4 NORTH, RANGE 6 WEST, NEW WESTMINSTER DISTRICT		
City of Richmond Zoning District / Ordinance Designation	(19.8) ZHR8 High Rise Apartment - Brighthouse Village (City Centre) Ref: [Adopted Bylaw 8738, Apr 10/12]		
Project Site Area	2,458 sq.m	26,450 sq.ft	Same as Issued DP
Allowed / Permitted Building Height (per 19.8.7.1)	41.0 m	134.51 ft	Same as Issued DP
Road Setback (Cooney Road): (per 19.8.6.1)	3.0 m	9.84 ft	Same as Issued DP
West Rear Yard Setback: (per 19.8.6.4)	1.5 m	4.92 ft	Same as Issued DP
North Setback (Adjacent Neighbouring Tower): (per 19.8.6.2)	2.7 m	8.86 ft	Same as Issued DP
South Setback (Adjacent Lane Dedication): (per 19.8.6.3)	7.5 m	24.61 ft	Same as Issued DP

PROJECT AREA STATISTICS

	Permitted	Proposed	Net FAR (sf)	Net FAR (sq.m)	Original DP	Net FAR (sf)	Net FAR (sq.m)
Floor Area Ratio / FAR (per 19.8.4)	2.67	(6,563 sq.m)	2.67	70597.00	2.67	70597	6559
Lot Coverage Permitted (per 19.8.5)	70% Max	1,721 sq.ft	70%		70%		

PROJECT FLOOR AREA RATIO (FAR) BREAKDOWN

Floor Level	Gross Area (sf)	Deductions (sf)	Net FAR (sf)	Net FAR (sq.m)	Original DP FAR (sf)	Difference (sf)	Difference (sq.m)
Level 1	4973	1918	3055	284	2874	181	17
Level 2	6620	4943	1677	156	1928	-251	-23
Level 3	7560	3302	4258	396	3521	737	68
Level 4	7297	514	6783	630	6770	13	1
Level 5	6135	514	5621	522	5695	-74	-7
Level 6	6135	514	5621	522	5695	-74	-7
Level 7	6135	514	5621	522	5695	-74	-7
Level 8	6135	514	5621	522	5695	-74	-7
Level 9	6135	514	5621	522	5695	-74	-7
Level 10	6135	514	5621	522	5695	-74	-7
Level 11	6135	514	5621	522	5695	-74	-7
Level 12	6135	514	5621	522	5695	-74	-7
Level 13	6135	514	5621	522	5695	-74	-7
Level 14 (Penthouse)	5059	824	4235	393	4251	-16	-1
Total	86724	16127	70597	6559	70597	0	0

NOTES:

- ADAPTABLE UNITS PROVIDED ARE REQUIRED TO COMPLY WITH BC BUILDING CODE ADAPTABLE UNIT STANDARDS.
- AGING IN PLACE FEATURES PROVIDED IN ALL UNITS. (LEVEL-STYLE DOOR HANDLES AND FAUCET, LED STRIP TASK LIGHTING BELOW WASHROOM VANITY MIRRORS, GRAB BAR BLOCKING AT TOILETS, SHOWER AND BATHTUBS)
- INDOOR AMENITY SPACE TO BE PROVIDED FOR THE SHARED USE OF ALL RESIDENTS ON LEVEL 4.
- BUILDING REQUIRED TO DEMONSTRATE BC ENERGY STEP CODE 2 STANDARD WITH LOW CARBON ENERGY SYSTEM.
- DISTRICT ENERGY UTILITY REQUIREMENTS AS PER LEGAL AGREEMENT.
- DEVELOPMENT IS REQUIRED TO BE DESIGNED AND CONSTRUCTED TO MEET INDOOR ACOUSTIC AND THERMAL CRITERIA AS PER LEGAL AGREEMENT.
- WIDENED SIDEWALK SRW TO BE PROVIDED ALONG NORTH EDGE OF LANE SRW AS PER LEGAL AGREEMENT.
- SERVICING AGREEMENT REQUIRED. OFF-SITE AND SRW WORKS TO BE PROVIDED VIA SEPARATE REQUIRED SERVICING AGREEMENT FOR CITY LANE AND FRONTAGE IMPROVEMENTS AS PER LEGAL AGREEMENT.
- THIS DEVELOPMENT PERMIT DOES NOT INCLUDE SIGNAGE. ALL SIGNAGE REQUIRED TO COMPLY WITH SIGN REGULATION BYLAW 9700, INCLUDING SUBMITTING SEPARATE SIGN PERMIT APPLICATIONS AS NECESSARY.
- ALL COMMON AREAS MEET THE ACCESSIBILITY REQUIREMENTS ACCORDING TO THE LATEST BC BUILDING CODE.
- SLAB EDGE PLANS WILL BE TREATED WITH ROOF DRAINS TO MITIGATE LEAKAGE IN COMMON AND PRIVATE OUTDOOR AMENITY SPACES.

September 5, 2023
DP 22-023105
Plan # 3

REV	DATE	DESCRIPTION
16	2023.08.31	ISSUED FOR DEVELOPMENT PERMIT
15	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT
14	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT
13	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
12	2022.12.21	ISSUE FOR CD REVIEW
11	2022.12.01	ISSUE FOR BUILDING PERMIT
10	2022.11.10	ISSUE FOR 75% CD
9	2022.10.24	CD PROGRESS SET
8	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET UNIT
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2022.02.16	STRUCTURAL COORDINATION
2	2022.02.11	UNIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

RENDERINGS 1

DRAWING ISSUE

ISSUED FOR DEVELOPMENT
PERMIT

PROJECT NO. 230240 PLOT DATE 2023-08-31 DRAWN Author

SCALE REVIEWED Checker

DRAWING NO. A-003 REVISION 16



PERSPECTIVE @ NORTH-EAST VIEW



PERSPECTIVE @ NORTH-WEST VIEW



PERSPECTIVE @ SOUTH-WEST VIEW



PERSPECTIVE @ SOUTH-EAST TOWER VIEW

September 5, 2023
DP 22-023105
Plan # 4

9	2023.08.31	ISSUED FOR DEVELOPMENT PERMIT	
8	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT	
7	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT	
6	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION	
5	2022.12.21	ISSUE FOR CD REVIEW	
4	2022.12.01	ISSUE FOR BUILDING PERMIT	
3	2022.11.10	ISSUE FOR 75% CD	
2	2022.10.24	CD PROGRESS SET	
1	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION	
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

RENDERINGS 2

DRAWING ISSUE

**ISSUED FOR DEVELOPMENT
PERMIT**

PROJECT NO. PLOT DATE 2023-08-31 DRAWN Author

230240 SCALE REVIEWED Checker

DRAWING NO. REVISION

A-004

9



PERSPECTIVE @ OUTDOOR AMENITY NORTH-WEST VIEW



PERSPECTIVE @ OUTDOOR AMENITY NORTH-EAST VIEW



PERSPECTIVE @ ROOF TOP SOUTH-EAST VIEW



PERSPECTIVE @ ROOF TOP NORTH-EAST VIEW

September 5, 2023
DP 22-023105
Plan # 5

9	2023.08.31	ISSUED FOR DEVELOPMENT PERMIT	
8	2023.06.05	ISSUED FOR DEVELOPMENT PERMIT	
7	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT	
6	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION	
5	2022.12.21	ISSUE FOR CD REVIEW	
4	2022.12.01	ISSUE FOR BUILDING PERMIT	
3	2022.11.10	ISSUE FOR 75% CD	
2	2022.10.24	CD PROGRESS SET	
1	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION	
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

RENDERINGS 3

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	230240	PLOT DATE	2023-08-31	DRAWN	Author
		SCALE		REVIEWED	Checker
DRAWING NO.	A-005			REVISION	9



PERSPECTIVE @ PARKING NORTH-EAST VIEW



PERSPECTIVE @ PARKING NORTH-WEST VIEW



PERSPECTIVE @ PARKING SOUTH-WEST VIEW



PERSPECTIVE @ PARKING SOUTH-WEST TOP VIEW



VIEW 1



VIEW 2



VIEW 3



VIEW 4



VIEW 5



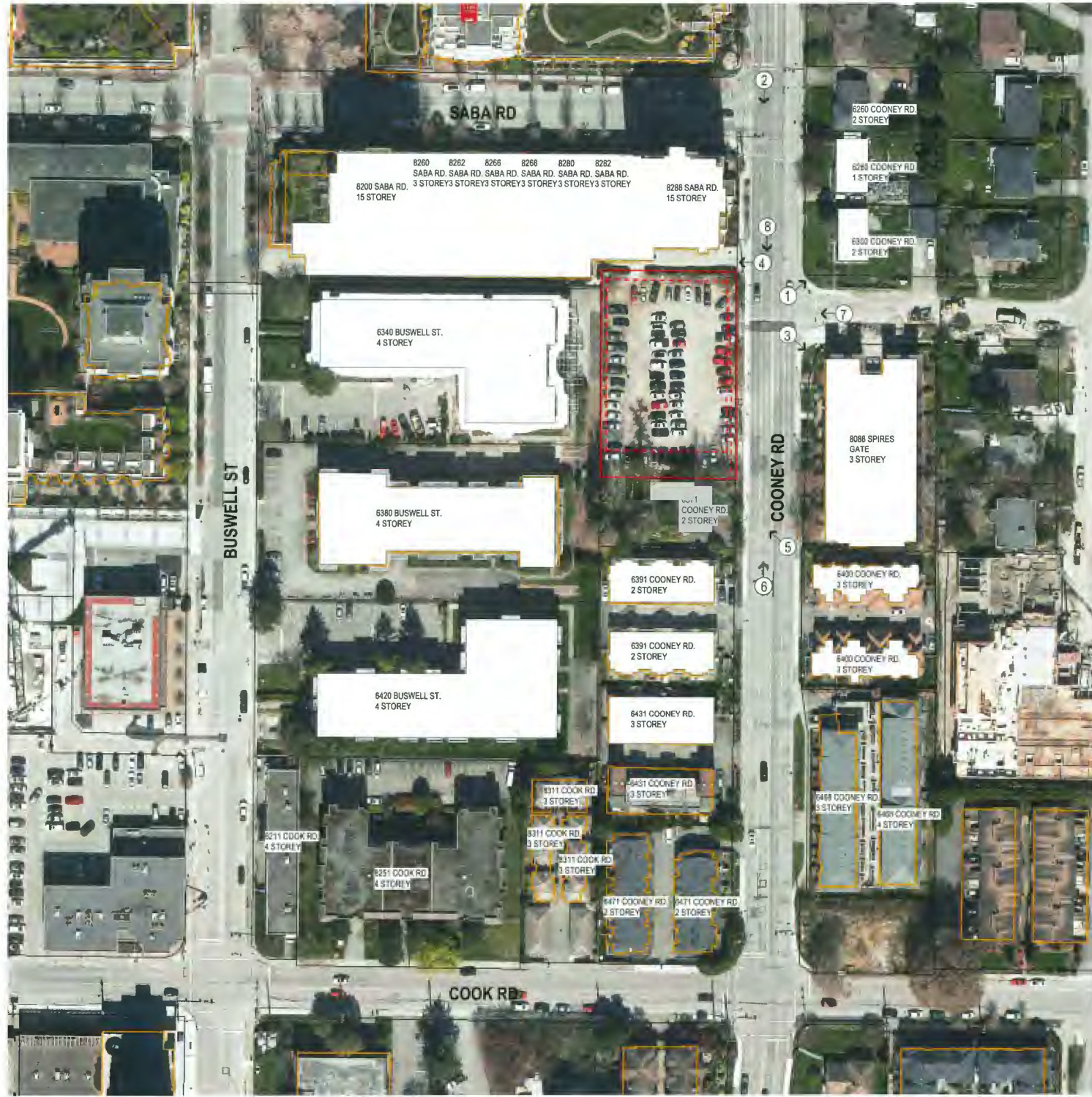
VIEW 6



VIEW 7



VIEW 8



1 CONTEXT PLAN
A-201 SCALE: 1:750

September 5, 2023
DP 22-023105
Plan # 6

16	2023.08.18	ISSUED FOR DEVELOPMENT PERMIT
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
13	2022.12.21	ISSUE FOR CD REVIEW
12	2022.12.01	ISSUE FOR BUILDING PERMIT
11	2022.11.08	ISSUE FOR 75% CD
10	2022.10.24	CD PROGRESS SET
9	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION
8	2022.08.24	CD IN PROGRESS
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET UNIT
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2022.02.16	STRUCTURAL COORDINATION
2	2022.02.11	UNIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

CONTEXT PLAN

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.

230240

PLOT DATE

2023-08-18

DRAWN

Author

SCALE

1:750

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Checker

DRAWING NO.

A-006

REVISION

16

September 5, 2023
DP 22-023105
Plan # 7

15	2023 04 17	ISSUED FOR DEVELOPMENT PERMIT	
14	2023 02 14	ISSUED FOR GENERAL COMPLIANCE REVISION	
13	2022 12 21	ISSUE FOR CD REVIEW	
12	2022 12 01	ISSUE FOR BUILDING PERMIT	
11	2022 11 10	ISSUE FOR 75% CD	
10	2022 10 24	CD PROGRESS SET	
9	2022 05 16	ISSUED FOR GENERAL COMPLIANCE APPLICATION	
8	2022 05 24	CD IN PROGRESS	
7	2022 07 15	100% DESIGN DEVELOPMENT REVISION	
6	2022 05 26	ISSUED FOR 100% DESIGN DEVELOPMENT	
5	2022 05 04	ISSUED FOR MARKET UNIT	
4	2022 03 30	ISSUED FOR 50% DESIGN DEVELOPMENT	
3	2022 02 16	STRUCTURAL COORDINATION	
2	2021 02 11	UNIT REVISIONS	
1	2021 12 17	ISSUED FOR SCHEMATIC DESIGN	
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

SHADOW STUDIES

DRAWING ISSUE

ISSUED FOR DEVELOPMENT
PERMIT

PROJECT NO. 230240

PLOT DATE 2023-04-18

DRAWN Author

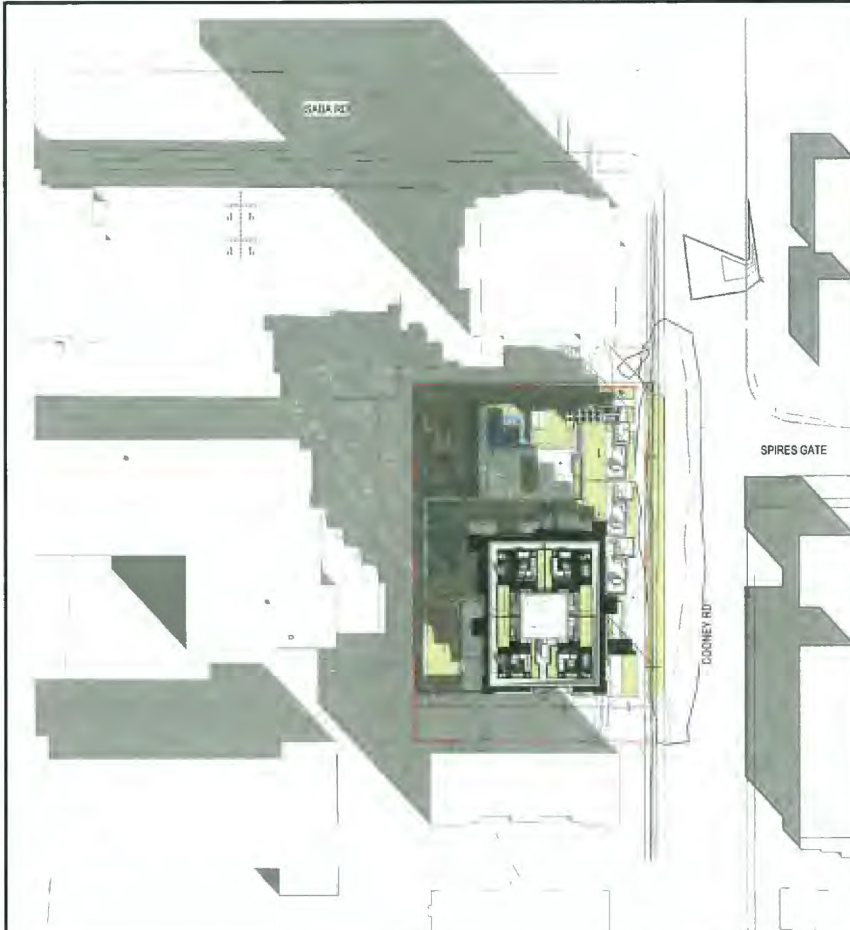
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REVIEWED

Checker

DRAWING NO. A-007

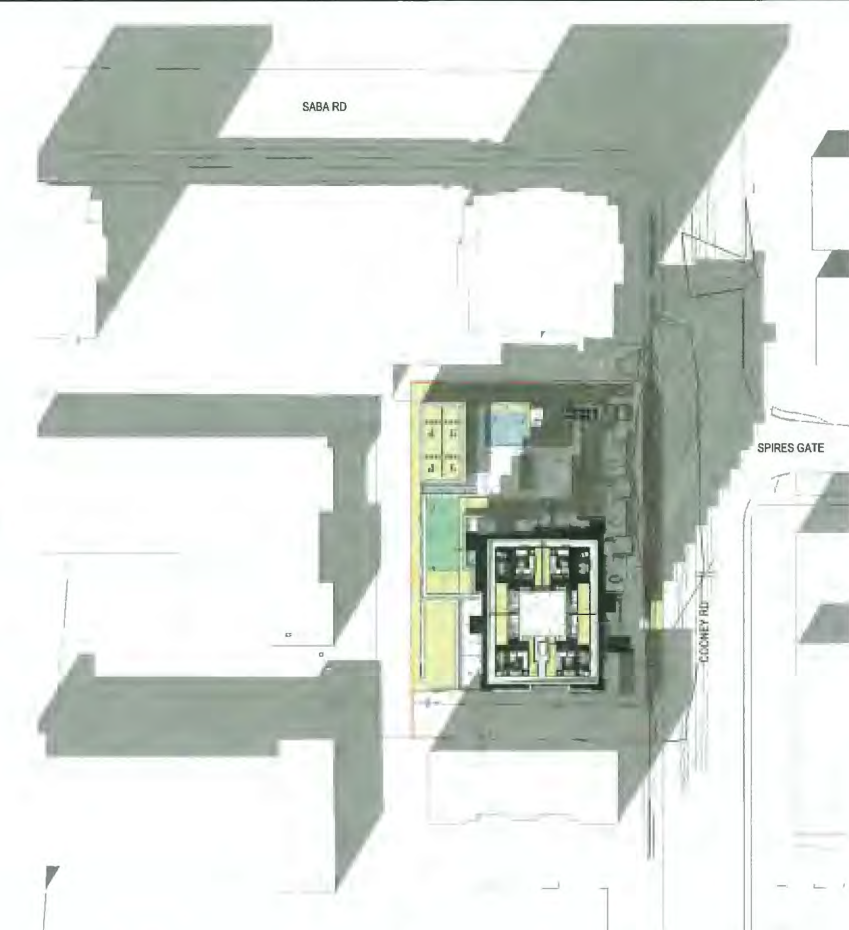
REVISION 15



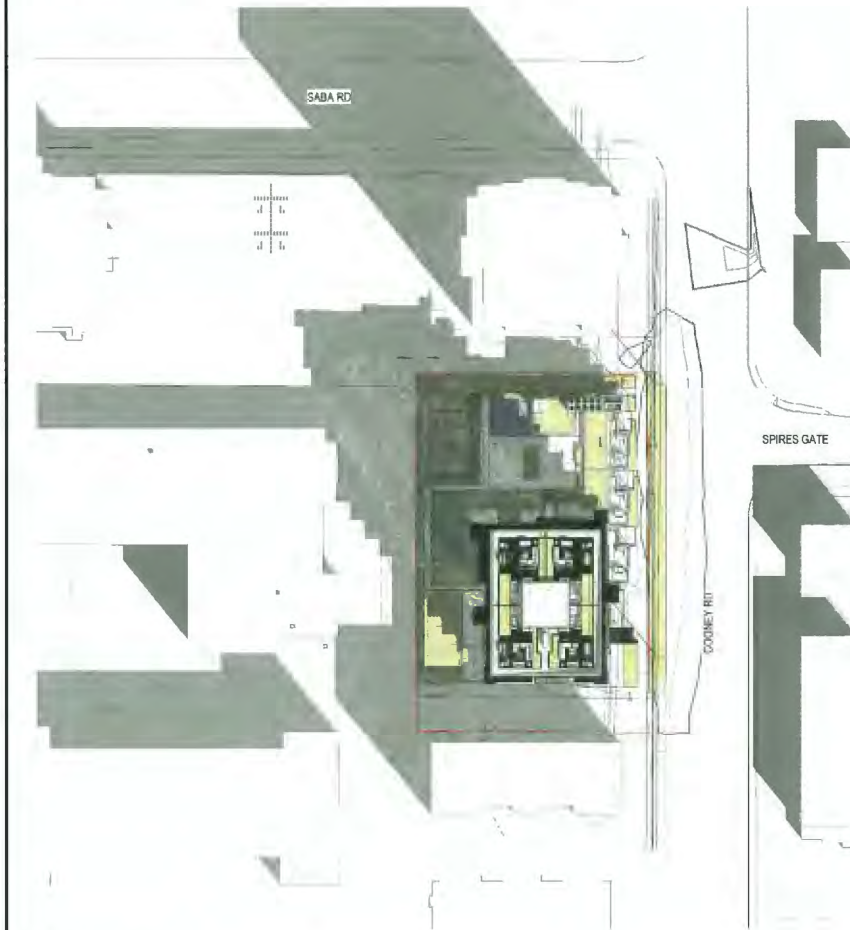
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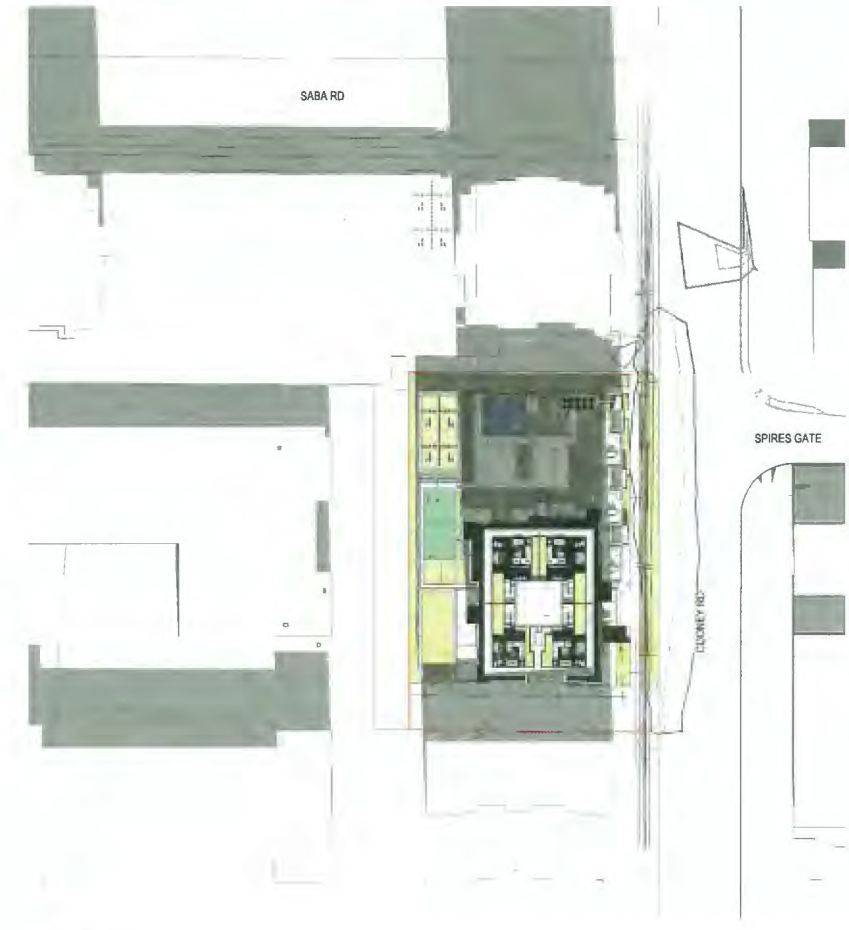
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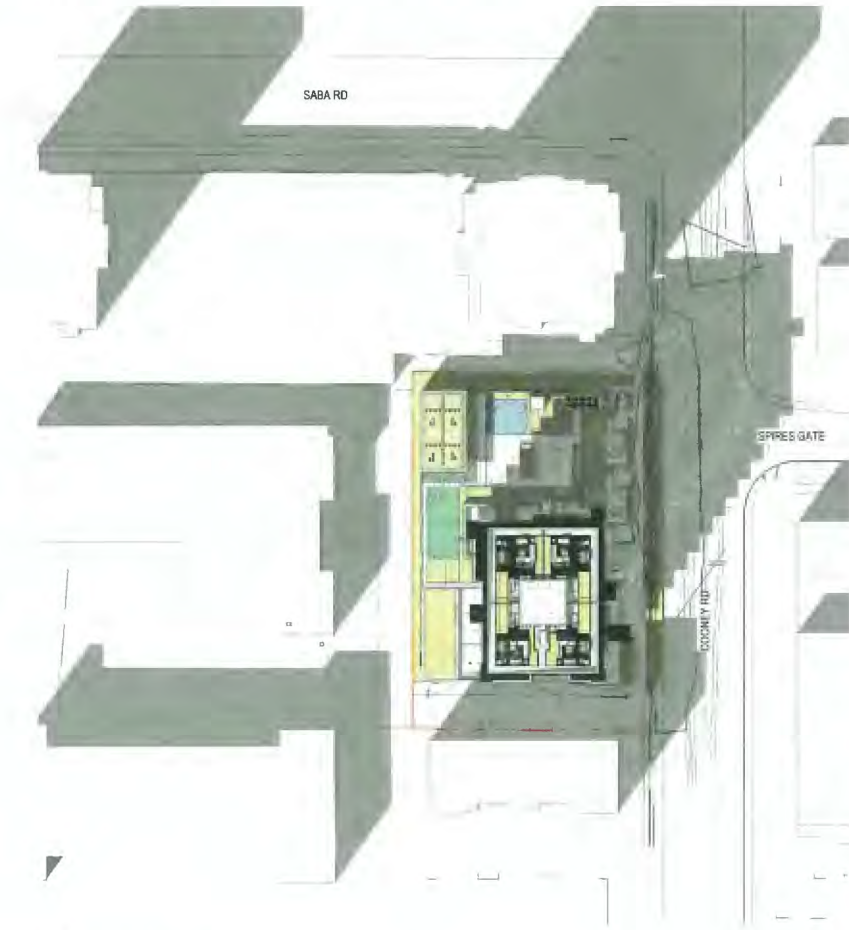
3 MAR 20 2PM
SCALE:



4 SEP 22 10AM
SCALE:



5 SEP 22 12PM
SCALE:



6 SEP 22 2PM
SCALE:



PERSPECTIVE @ TOWER ENTRANCE VIEW 1



PERSPECTIVE @ TOWNHOUSES NORTH-EAST VIEW



PERSPECTIVE @ NORTH-EAST TOWNHOUSE VIEW 3



PERSPECTIVE @ SOUTH-EAST TOWNHOUSE VIEW 4

17	2023-08-31	ISSUED FOR DEVELOPMENT PERMIT
16	2023-08-09	ISSUED FOR DEVELOPMENT PERMIT
15	2023-08-11	ISSUED FOR DEVELOPMENT PERMIT
14	2023-02-14	ISSUED FOR GENERAL COMPLIANCE REVISION
13	2023-12-31	ISSUE FOR REVIEW
12	2023-12-05	ISSUE FOR BUILDING PERMIT
11	2023-11-30	ISSUE FOR VSL CD
10	2023-11-30	10% PROVISIONS SET
9	2023-08-15	ISSUED FOR GENERAL COMPLIANCE APPLICATION
8	2023-08-16	CONTRACTORS
7	2023-07-13	100% DESIGN DEVELOPMENT REVISION
6	2023-06-20	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2023-05-04	ISSUED FOR MARKET UNIT
4	2023-03-30	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2023-03-16	STRUCTURAL COORDINATION
2	2023-02-11	UNIT REVISIONS
1	2023-12-17	ISSUED FOR SCHEMATIC DEVELOPMENT
REV1	2023-08-02	REVISED FOR (GENERAL) ISSUE

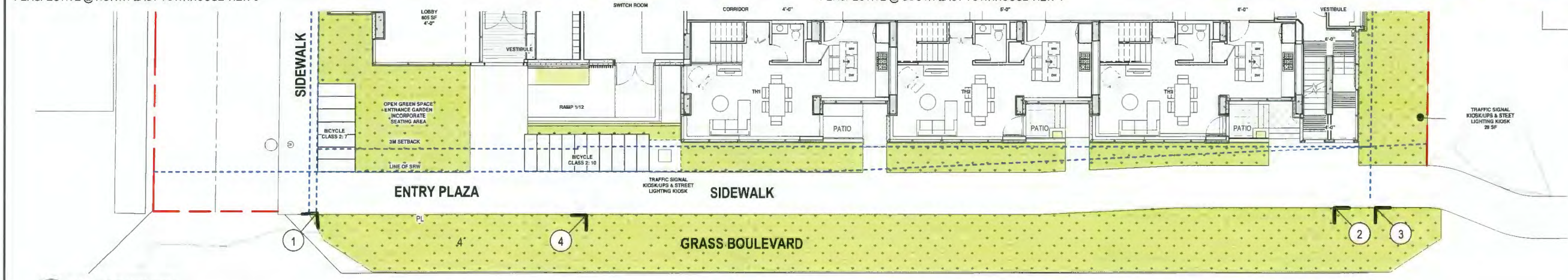
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PROJECT

6333 COONEY ROAD
6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

COONEY ROAD STREETScape

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	Author
230240	2023-08-31	REVIEWED	Checker
DRAWING NO.	SCALE	REVISION	REVISION
A-008	1:100		17

September 5, 2023
DP 22-023105
Plan # 9

REV	DATE	DESCRIPTION	BY	CHKD
18	2023.08.21	ISSUED FOR DEVELOPMENT PERMIT		
17	2023.08.18	ISSUED FOR DEVELOPMENT PERMIT		
16	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT		
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT		
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION		
13	2022.12.21	ISSUE FOR CD REVIEW		
12	2022.12.01	ISSUE FOR BUILDING PERMIT		
11	2022.11.19	ISSUE FOR PH/CD		
10	2022.10.24	CD PROGRESS SET		
9	2022.09.15	ISSUED FOR GENERAL COMPLIANCE APPLICATION		
8	2022.08.24	CD IN PROGRESS		
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION		
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT		
5	2022.05.04	ISSUED FOR MARKET UNIT		
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT		
3	2022.02.16	STRUCTURAL COORDINATION		
2	2022.02.11	UNIT REVISIONS		
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN		
REV	YYYY-MM-DD	REVISION/DRAWING ISSUE		REVIEW

CONSULTANT

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

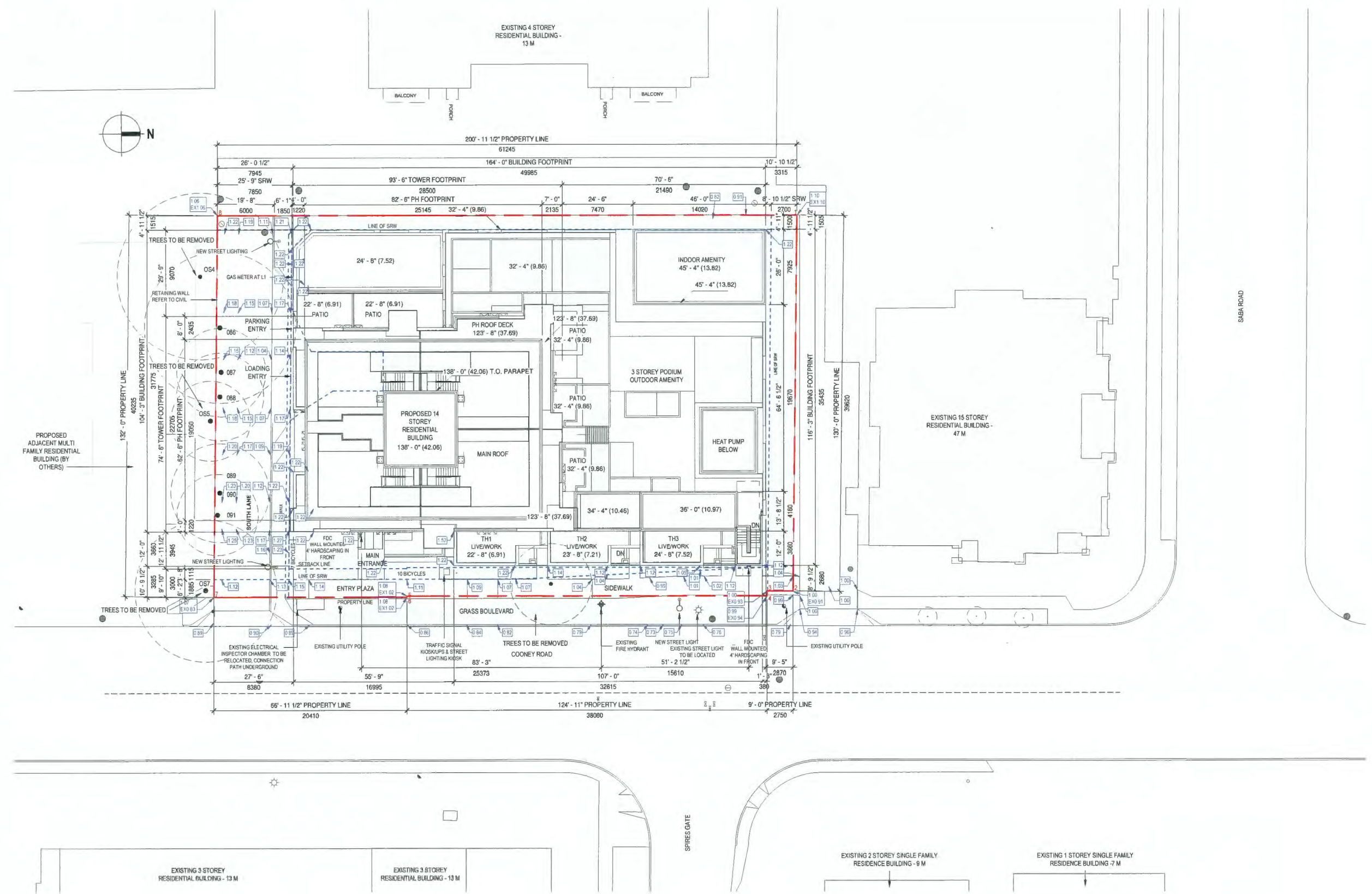
SITE PLAN

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	Author
230240	2023-08-21	REVIEWED	
SCALE	1 : 200	CHECKER	REVISION

DRAWING NO. **A-101** 18



1 SV SITE PLAN
A-201 SCALE: 1:200

EXISTING AVERAGE GRADING (METRIC)				
1-2	(1.10 + 0.91) / 2 = 1.01	x	39635.00	= 39633.16
2-3	(0.91 + 0.93) / 2 = 0.92	x	2743.00	= 2523.56
3-4	(0.93 + 0.94) / 2 = 0.94	x	500.00	= 467.50
4-5	(0.94 + 1.02) / 2 = 0.98	x	38074.00	= 37312.52
5-6	(1.02 + 1.02) / 2 = 1.02	x	110.00	= 112.20
6-7	(1.02 + 0.83) / 2 = 0.93	x	20410.00	= 18879.25
7-8	(0.83 + 1.06) / 2 = 0.95	x	40234.00	= 38021.13
8-1	(1.06 + 1.10) / 2 = 1.08	x	61247.00	= 66146.76
			202953.00	203296.10
			EXISTING AVERAGE GRADING (METRIC)	1.00

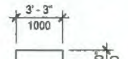
DESIGNED AVERAGE GRADING (METRIC)				
1-2	(1.10 + 1.00) / 2 = 1.05	x	39635.00	= 41616.75
2-3	(1.00 + 1.00) / 2 = 1.00	x	2743.00	= 2743.00
3-4	(1.00 + 0.99) / 2 = 1.00	x	500.00	= 497.50
4-5	(0.99 + 1.08) / 2 = 1.04	x	38074.00	= 39406.59
5-6	(1.08 + 1.08) / 2 = 1.08	x	110.00	= 118.80
6-7	(1.08 + 1.07) / 2 = 1.08	x	20410.00	= 21940.75
7-8	(1.07 + 1.06) / 2 = 1.07	x	40234.00	= 42849.21
8-1	(1.06 + 1.10) / 2 = 1.08	x	61247.00	= 66146.76
			202953.00	215319.36
			DESIGNED AVERAGE GRADING (METRIC)	1.06

PARKING SCHEDULE - OVERALL		
MARK	PARKING TYPE	COUNT
AR	ACCESSIBLE RESIDENT 5500 x 2500	1
AR	ACCESSIBLE RESIDENT 5500 x 3400	1
AV	ACCESSIBLE VISITOR 5500 x 3400	1
RR	REGULAR RESIDENT 5500 x 2500	35
RS	REGULAR SHARED 5500 x 2900	2
RV	REGULAR VISITOR 5500 x 2500	1
SR	SMALL RESIDENT 4600 x 2300	29
SV	SMALL VISITOR 4600 x 2300	12
SUM		82

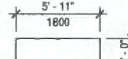
MULTI-FAMILY WASTE ROOM INFORMATION TABLE

SIZE	337 sf (26 sqm)				
LOCATION	GROUND LEVEL @ GRADE				
ACCESS INFORMATION	OPEN TO RESIDENTS 24/7				
NUMBER OF UNITS	81				
BIN TYPE	FOOT PRINT (SQ)	NUMBER OF BINS	COLLECTION SERVICE	WASTE SERVICES PROVIDED	LEGEND
360 L	0.56	4	CITY	MIXED CONTAINERS	M
380 L	0.56	3	CITY	MIXED PAPER	MP
240 L	0.43	4	CITY	GREEN WASTE	G
240 L	0.43	1	CITY	GLASS CONTAINER	GC
3 YD	2.17	1	PRIVATE	CARDBOARD	C
3 YD	2.17	1	PRIVATE	GARBAGE	GA

GENERAL BIKE STORAGE NOTES:

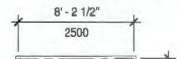


TYPICAL VERTICAL BIKE STORAGE STALL

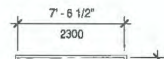


TYPICAL HORIZONTAL BIKE STORAGE STALL

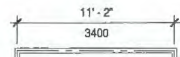
GENERAL PARKING STALLS NOTES:



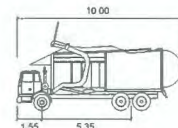
STANDARD PARKING STALL (TYPICAL NO COLUMN ENCROACHMENT ALLOWED)



SMALL CAR PARKING STALL (TYPICAL NO COLUMN ENCROACHMENT ALLOWED)

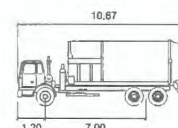


ACCESSIBLE PARKING STALL (TYPICAL NO COLUMN ENCROACHMENT ALLOWED)



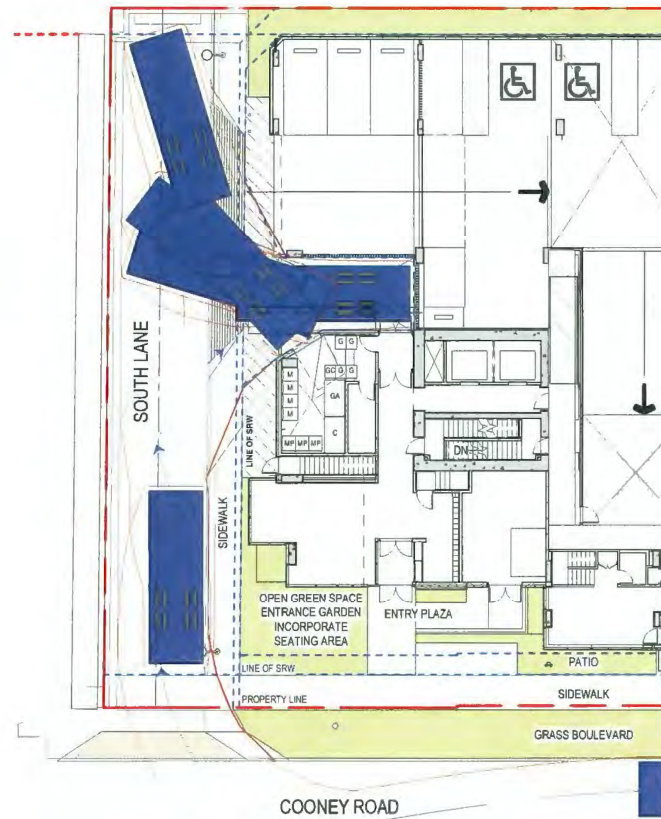
Richmond Private Front Load Garbage Truck

Width	1.55
Track	5.35
Lock to Lock Time	18.0
Steering Angle	27.5

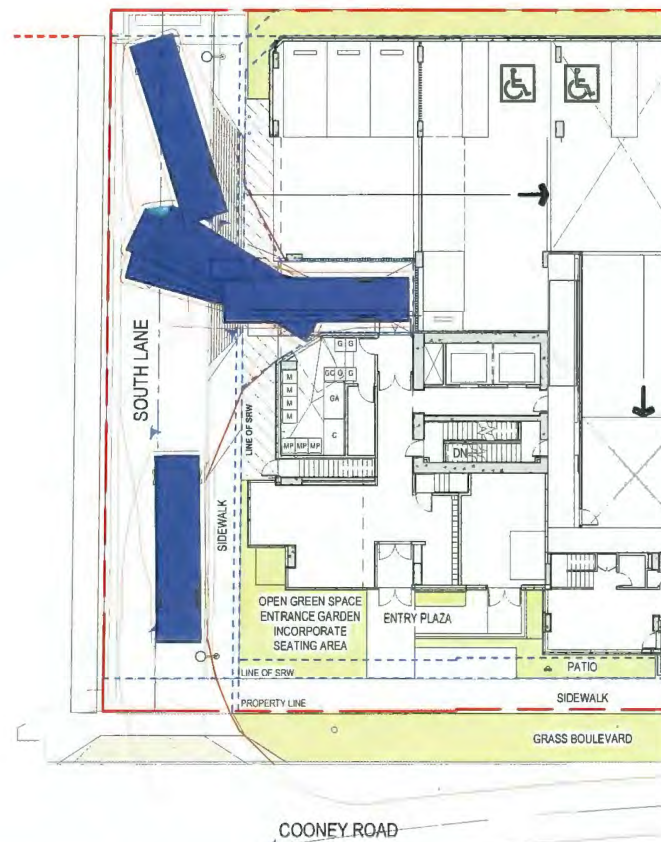


Richmond Recycle Truck

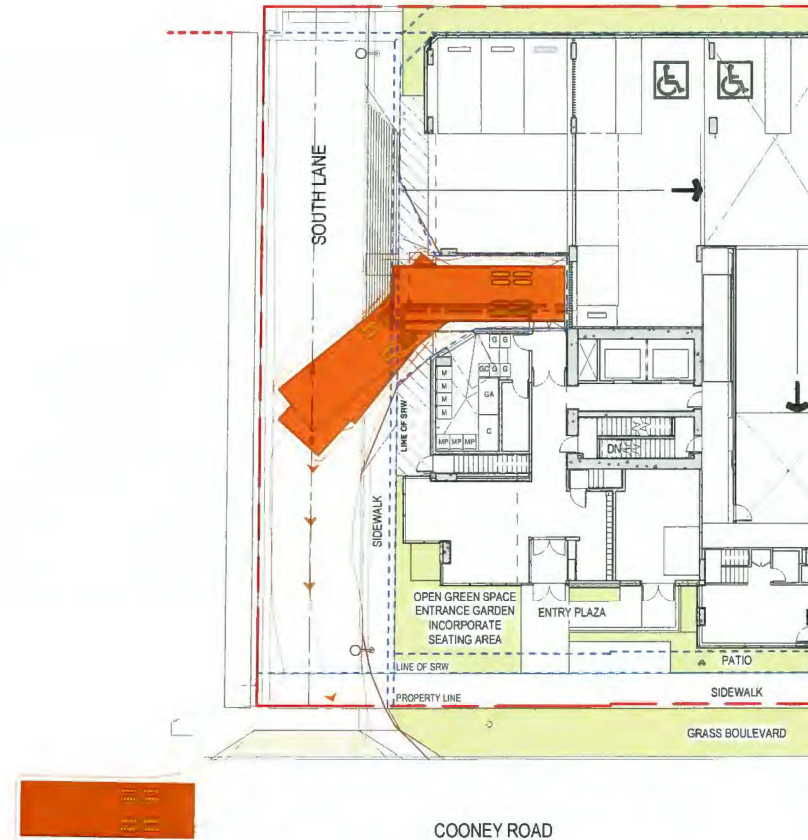
Width	1.20
Track	7.00
Lock to Lock Time	2.60
Steering Angle	6.0
	34.5



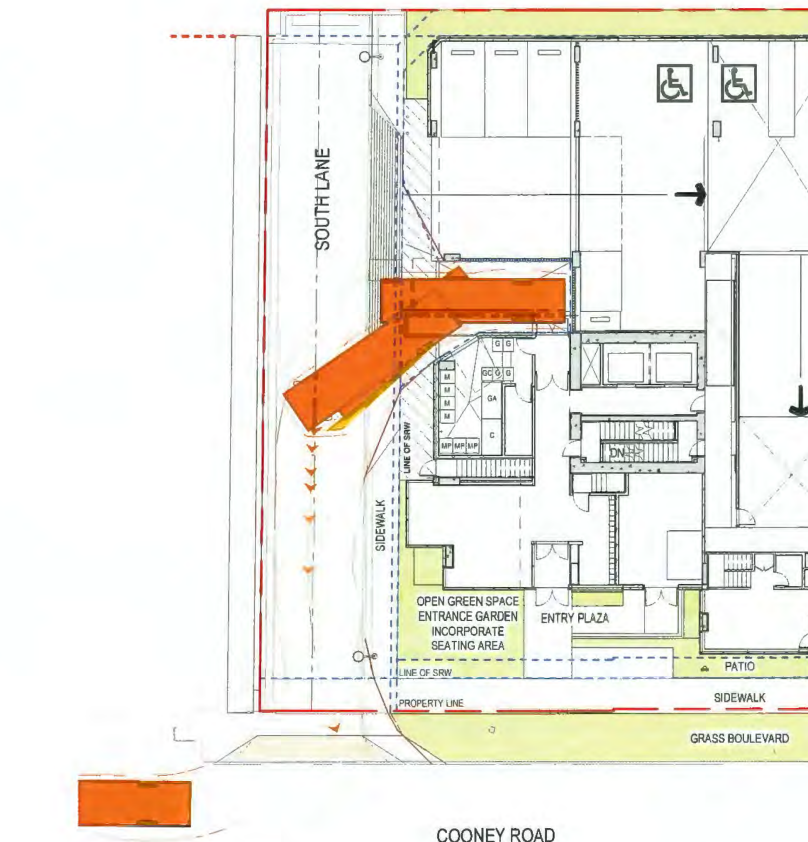
FRONT LOAD GARBAGE TRUCK - IN
SCALE: 1:200



FRONT LOAD GARBAGE TRUCK - OUT
SCALE: 1:200



FRONT LOAD GARBAGE TRUCK - IN
SCALE: 1:200



FRONT LOAD GARBAGE TRUCK - OUT
SCALE: 1:200



September 5, 2023
DP 22-023105
Plan # 10

14	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT
13	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
12	2022.12.21	ISSUE FOR CD REVIEW
11	2022.12.01	ISSUE FOR BUILDING PERMIT
10	2022.11.10	ISSUE FOR 75% CD
9	2022.10.24	CD PROGRESS SET
8	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION
7	2022.08.24	CD IN PROGRESS
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET UNIT
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2022.02.16	STRUCTURAL COORDINATION
2	2022.02.11	UNIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN
REV	YYYYMMDD	REVISION / DRAWING ISSUE

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

TRUCK ACCESS, BIKE STORAGE
NOTE & PARKING NOTES

DRAWING ISSUE

ISSUED FOR DEVELOPMENT
PERMIT

PROJECT NO

230240

PLLOT DATE

2023-05-03

DRAWN

Author

SCALE

As indicated

REVIEWED

Checker

DRAWING NO

A-102

REVISION

14



September 5, 2023
DP 22-023105
Plan # 11

5	2023.08.21	ISSUED FOR DEVELOPMENT PERMIT	
4	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION	
3	2022.12.01	ISSUE FOR BUILDING PERMIT	
2	2022.11.10	ISSUE FOR 75% CD	
1	2022.10.24	CD PROGRESS SET	
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

LEVEL 1 LOWER FLOOR PLAN

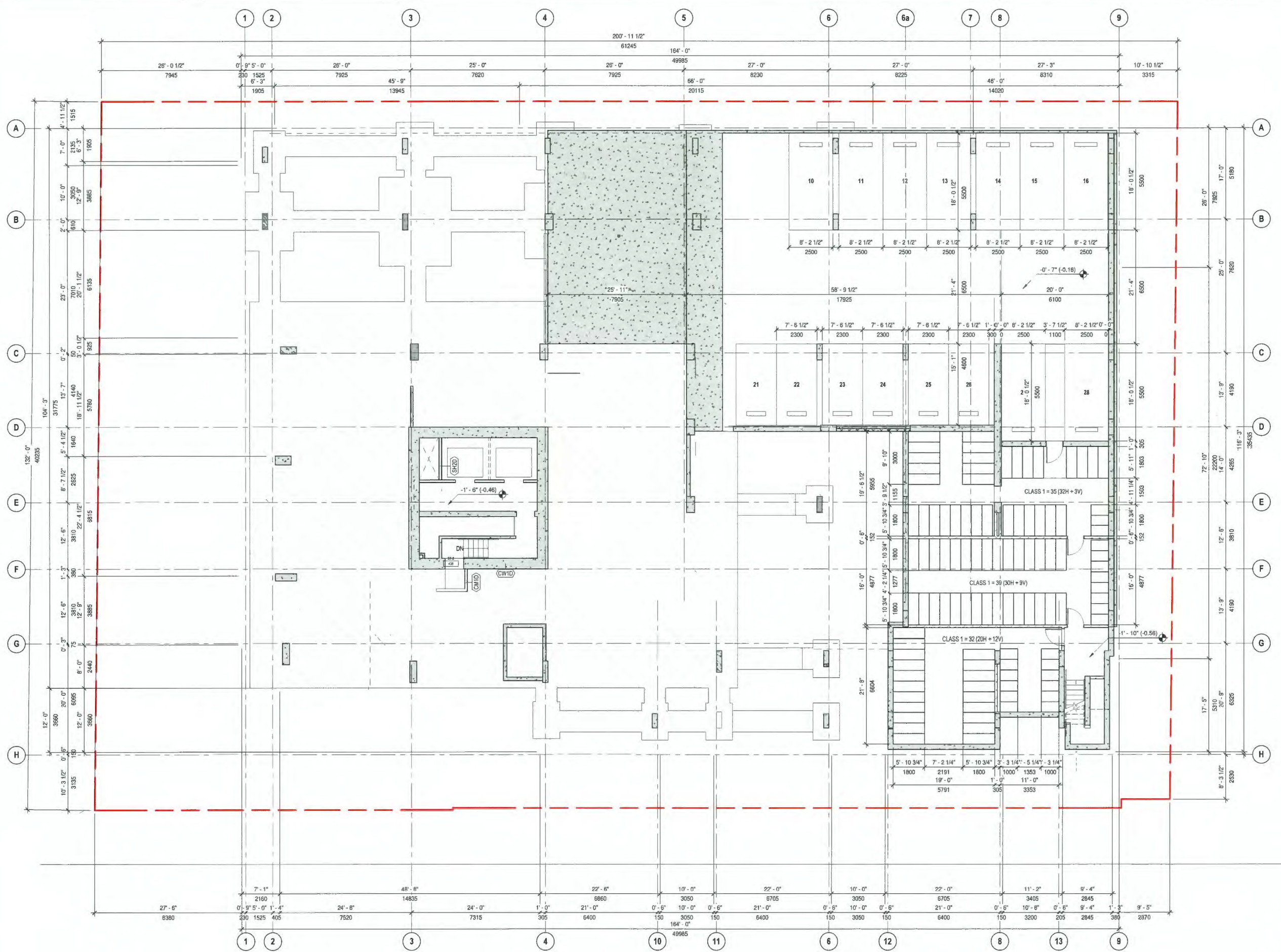
DRAWING ISSUE

ISSUED FOR DEVELOPMENT
PERMIT

PROJECT NO.	PLOT DATE	DRAWN	Author
230240	2023-08-21		
DRAWING NO.	SCALE	REVIEWED	Checker
A-121	1:100		

A-121

5



1 LEVEL 1 FLOOR PLAN
A-121 SCALE: 1:100



September 5, 2023
DP 22-023105
Plan # 12

NO.	DATE	DESCRIPTION	BY	CHKD.
20	2023.08.21	ISSUED FOR DEVELOPMENT PERMIT		
19	2023.08.18	ISSUED FOR DEVELOPMENT PERMIT		
18	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT		
17	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT		
16	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION		
15	2022.12.21	ISSUE FOR CD REVIEW		
14	2022.12.01	ISSUE FOR BUILDING PERMIT		
13	2022.11.10	ISSUE FOR 75% CD		
12	2022.10.24	CD PROGRESS SET		
11	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION		
10	2022.08.24	CD IN PROGRESS		
9	2022.08.12	ISSUED FOR UNIT UPDATE		
8	2022.07.15	100% DESIGN DEVELOPMENT REVISION		
7	2022.07.12	ISSUE FOR UNIT UPDATE		
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT		
5	2022.05.04	ISSUED FOR MARKET UNIT		
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT		
3	2022.02.16	STRUCTURAL COORDINATION		
2	2022.02.11	UNIT REVISIONS		
1	2021.11.17	ISSUED FOR SCHEMATIC DESIGN		

REV: YYYYMMDD REVISION/DRAWING ISSUE REVIEW

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

LEVEL 1 FLOOR PLAN

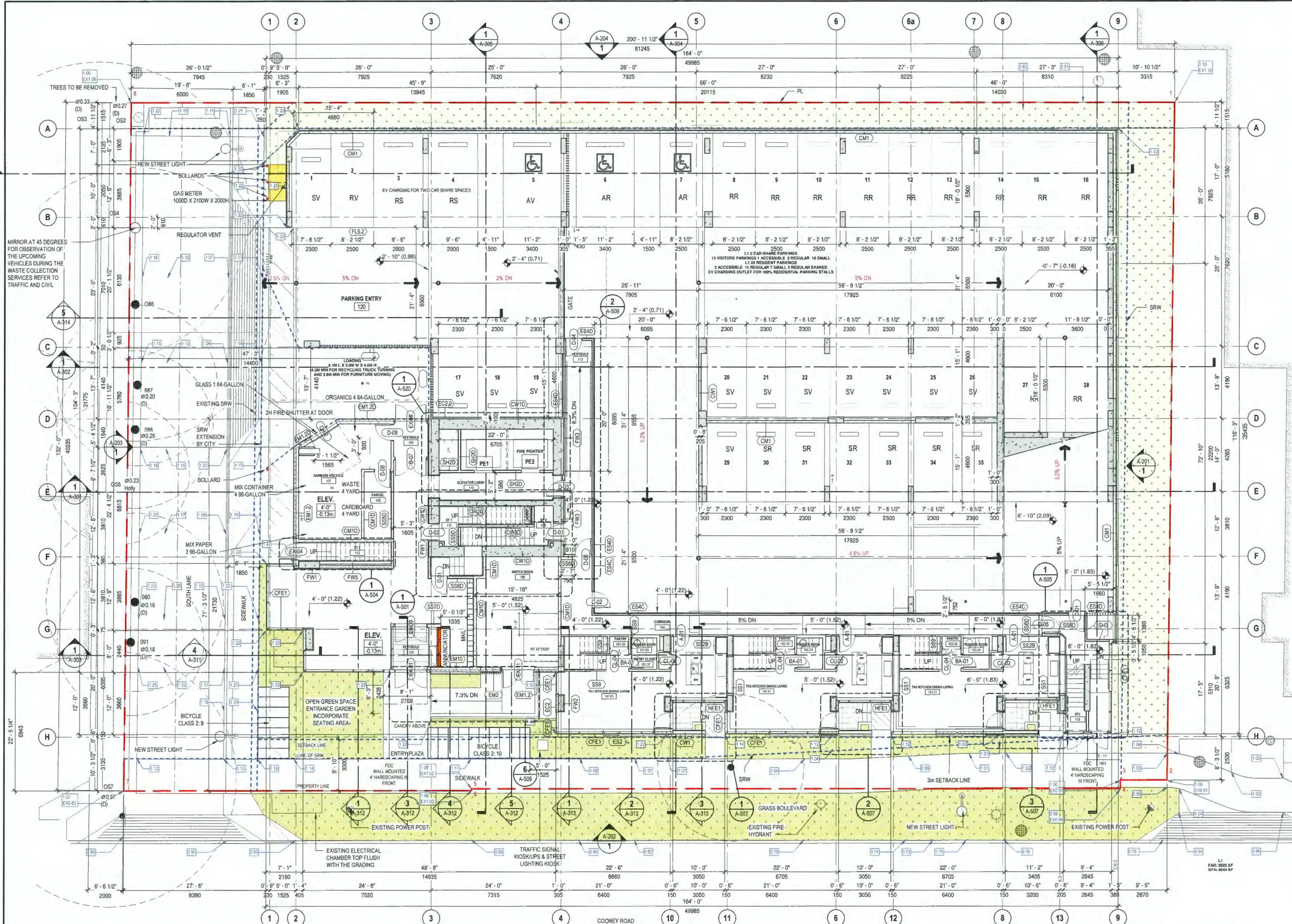
DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	AUTHOR
230240	2023-08-21		

SCALE	REVIEWED	CHECKER
1:100		

DRAWING NO.	REVISION
A-122	20



1 LEVEL 1 FLOOR PLAN
SCALE: 1:100

LEVEL 1 - CAR-SHARE SCHEDULE

MARK	MARK TYPE	COUNT
RS	REGULAR SHARED 5500 x 2900	2
TOTAL		2

LEVEL 1 - RESIDENT PARKING SCHEDULE

MARK	MARK TYPE	COUNT
AR	ACCESSIBLE RESIDENT 5500 x 2500	1
AR	ACCESSIBLE RESIDENT 5500 x 3400	1
RR	REGULAR RESIDENT 5500 x 2500	11
SR	SMALL RESIDENT 4600 x 2300	6
TOTAL		19

LEVEL 1 - VISITOR PARKING SCHEDULE

MARK	MARK TYPE	COUNT
AV	ACCESSIBLE VISITOR 5500 x 3400	1
RV	REGULAR VISITOR 5500 x 2500	1
SV	SMALL VISITOR 4600 x 2300	12
TOTAL		14

September 5, 2023
DP 22-023105
Plan # 13

18	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT
17	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT
16	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
15	2022.12.21	ISSUE FOR CD REVIEW
14	2022.12.01	ISSUE FOR BUILDING PERMIT
13	2022.11.10	ISSUE FOR 75% CD
12	2022.10.24	CD PROGRESS SET
11	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION
10	2022.08.24	CD IN PROGRESS
9	2022.08.12	ISSUED FOR UNIT UPDATE
8	2022.07.15	100% DESIGN DEVELOPMENT REVISION
7	2022.07.12	ISSUE FOR UNIT UPDATE
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET UNIT
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2022.02.16	STRUCTURAL COORDINATION
2	2022.02.11	LIMIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN
REV	YYYYMMDD	REVISION / DRAWING ISSUE REVIEW

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

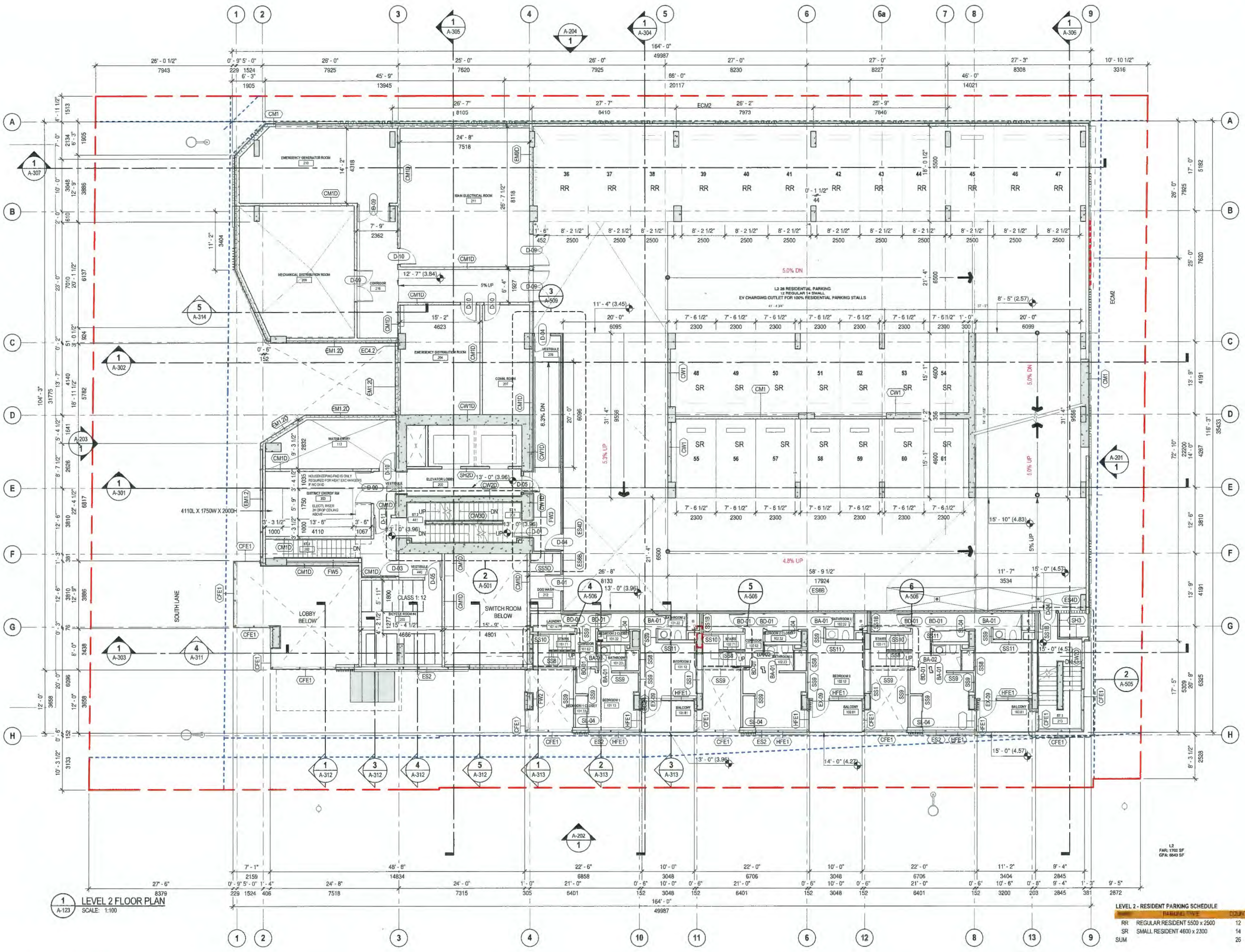
DRAWING TITLE

LEVEL 2 FLOOR PLAN

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	230240	PLOT DATE	2023-09-09	DRAWN	Author
DRAWING NO.	A-123	SCALE	1:100	REVIEWED	Checker
				REVISION	18



LEVEL 2 FLOOR PLAN
SCALE: 1:100

LEVEL 2 - RESIDENT PARKING SCHEDULE

RESIDENT TYPE	COUNT
RR REGULAR RESIDENT 5500 x 2500	12
SR SMALL RESIDENT 4600 x 2300	14
SUM	26



September 5, 2023
DP 22-023105
Plan # 14

20	2023.08.21	ISSUED FOR DEVELOPMENT PERMIT
19	2023.08.14	ISSUED FOR DEVELOPMENT PERMIT
18	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT
17	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT
16	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
15	2022.12.21	ISSUE FOR CD REVIEW
14	2022.12.01	ISSUE FOR BUILDING PERMIT
13	2022.11.10	ISSUE FOR 75% CD
12	2022.10.24	CD PROGRESS SET
11	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION
10	2022.08.24	CD IN PROGRESS
9	2022.08.12	ISSUED FOR UNIT UPDATE
8	2022.07.15	100% DESIGN DEVELOPMENT REVISION
7	2022.07.12	ISSUE FOR UNIT UPDATE
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET UNIT
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2022.02.16	STRUCTURAL COORDINATION
2	2022.02.11	UNIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN

REV: YYYYMMDD REVISION/DRAWING ISSUE REVIEW

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

LEVEL 3 FLOOR PLAN

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO. 230240

PLANT DATE 2023-08-21

DRAWN Author

SCALE 1:100

REVIEWED

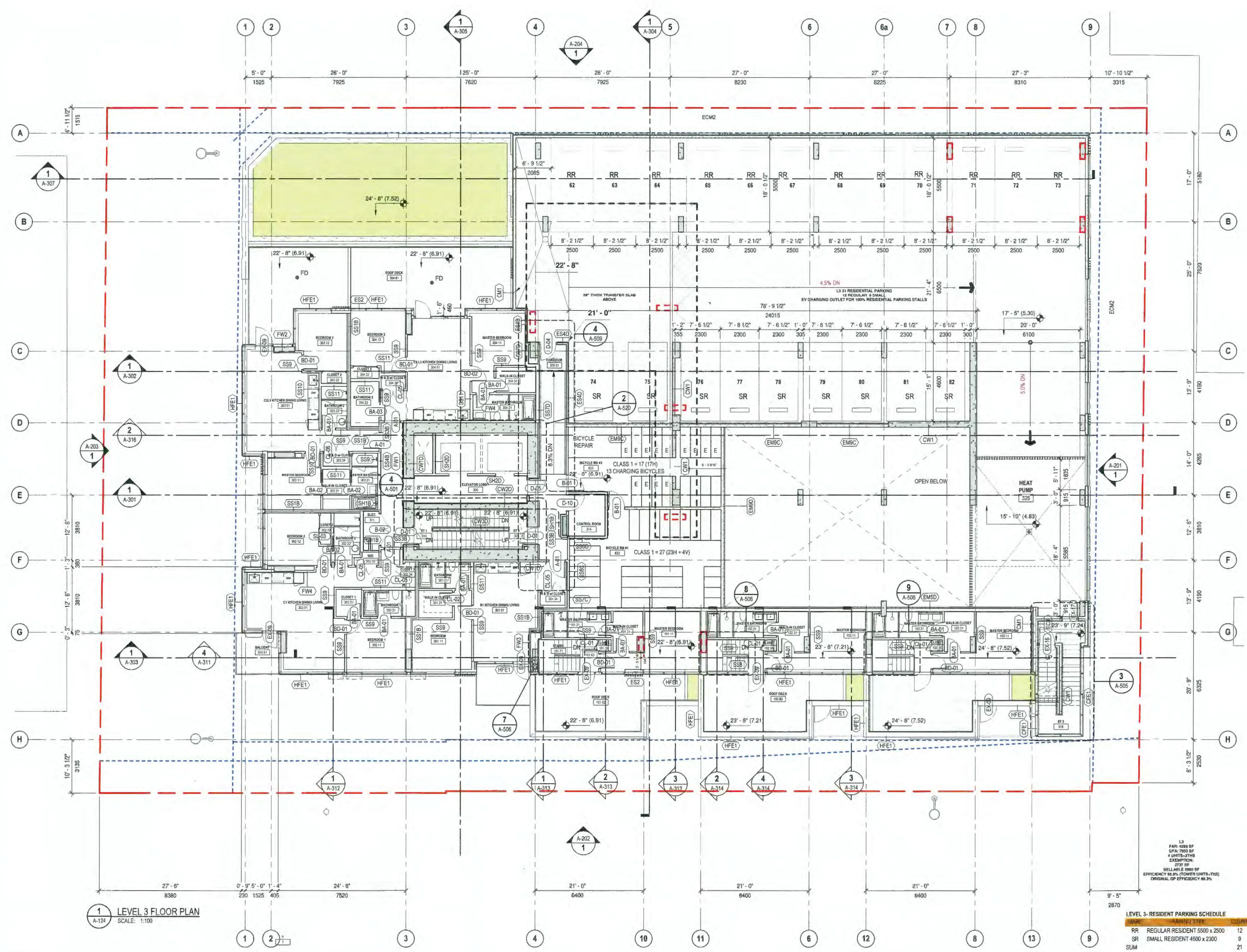
CHECKER

DRAWING NO. A-124

REVISION

A-124

20



1 LEVEL 3 FLOOR PLAN
A-124 SCALE: 1:100

LEVEL 3 - RESIDENT PARKING SCHEDULE

RR	REGULAR RESIDENT 5500 x 2500	12
SR	SMALL RESIDENT 4600 x 2300	9
SUM		21

FAIR: 4238 SF
GFA: 7033 SF
4 UNITS (2718)
EXEMPTION: 2718 SF
SELLABLE 1960 SF
EFFICIENCY 84.9% (TOWER UNITS-TY5)
ORIGINAL OF EFFICIENCY 88.3%



September 5, 2023
DP 22-023105
Plan # 15

26	2023.08.21	ISSUED FOR DEVELOPMENT PERMIT	
19	2023.08.14	ISSUED FOR DEVELOPMENT PERMIT	
18	2023.08.08	ISSUED FOR DEVELOPMENT PERMIT	
17	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT	
16	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION	
15	2022.12.21	ISSUE FOR CD REVIEW	
14	2022.12.01	ISSUE FOR BUILDING PERMIT	
13	2022.11.10	ISSUE FOR 75% CD	
12	2022.10.24	CD PROGRESS SET	
11	2022.09.15	ISSUED FOR GENERAL COMPLIANCE APPLICATION	
10	2022.08.24	CD IN PROGRESS	
9	2022.08.12	ISSUED FOR UNIT UPDATE	
8	2022.07.15	100% DESIGN DEVELOPMENT REVISION	
7	2022.07.12	ISSUE FOR UNIT UPDATE	
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT	
5	2022.05.04	ISSUED FOR MARKET UNIT	
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT	
3	2022.02.15	STRUCTURAL COORDINATION	
2	2022.02.11	UNIT REVISIONS	
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN	
REV	YYYY-MM-DD	REVISION/ DRAWING ISSUE	REVIEW

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

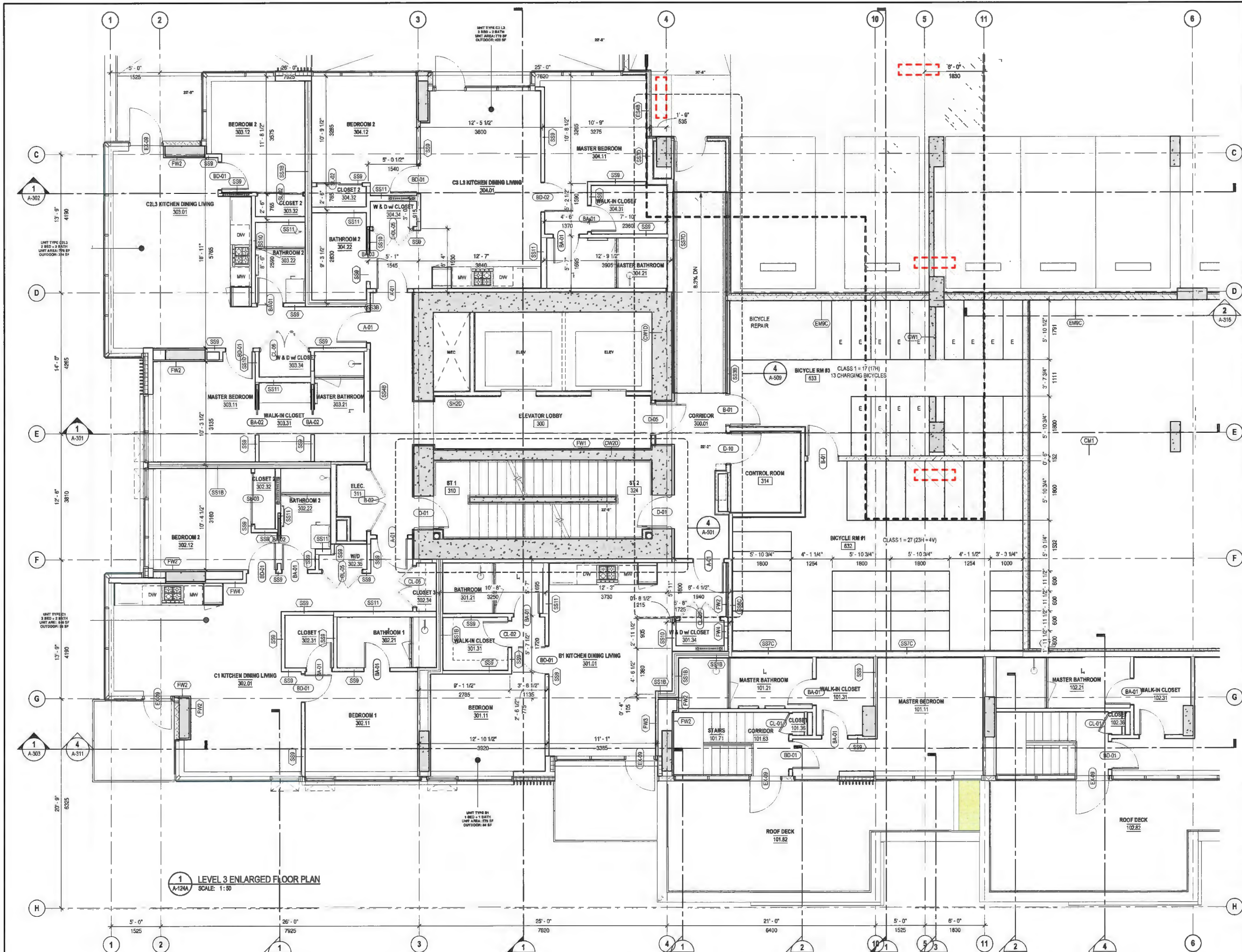
LEVEL 3 ENLARGED FLOOR PLAN

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	Author
230240	2023-08-21	REVIEWED	Checker

DRAWING NO.	REVISION
A-124A	20



1 LEVEL 3 ENLARGED FLOOR PLAN
SCALE: 1:50

September 5, 2023
DP 22-023105
Plan # 16

REV	DATE	DESCRIPTION	BY	CHKD
19	2023.08.14	ISSUED FOR DEVELOPMENT PERMIT		
18	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT		
17	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT		
16	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION		
15	2022.12.21	ISSUE FOR CD REVIEW		
14	2022.12.01	ISSUE FOR BUILDING PERMIT		
13	2022.11.10	ISSUE FOR 75% CD		
12	2022.10.24	CD PROGRESS SET		
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10	2022.08.24	CD IN PROGRESS		
9	2022.08.12	ISSUED FOR UNIT UPDATE		
8	2022.07.15	100% DESIGN DEVELOPMENT REVISION		
7	2022.07.17	ISSUE FOR UNIT UPDATE		
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT		
5	2022.05.04	ISSUED FOR MARKET UNIT		
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT		
3	2022.02.18	STRUCTURAL COORDINATION		
2	2022.02.11	UNIT REVISIONS		
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN		

CONSULTANT

PERMIT STAMP

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

TOWNHOUSE ENLARGED PLANS

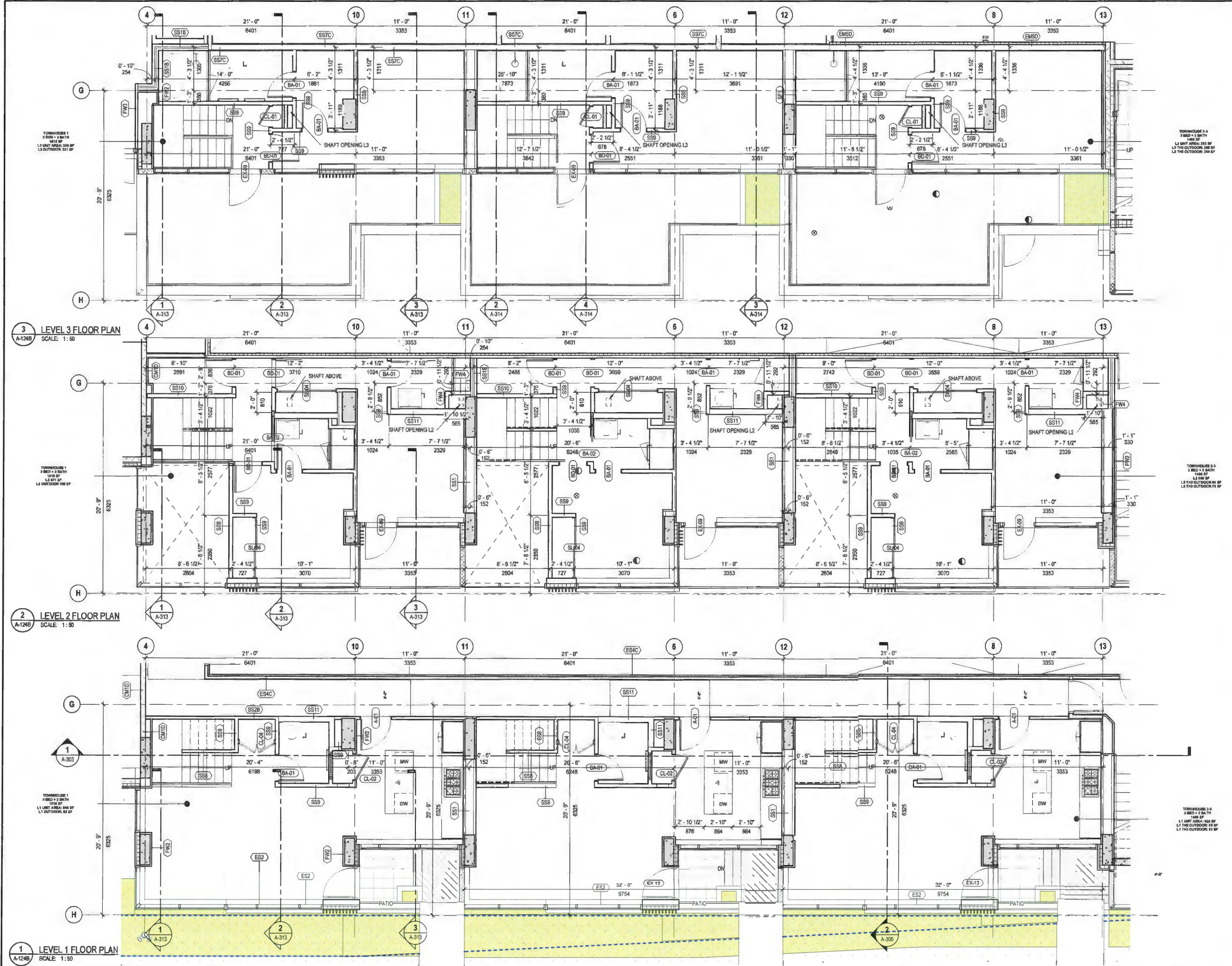
DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	DATE	DRAWN	AUTHOR
230240	2023-08-14		

SCALE	REVIEWED	CHECKER
1:50		

DRAWING NO.	REVISION
A-124B	19



3 LEVEL 3 FLOOR PLAN
SCALE: 1:50

2 LEVEL 2 FLOOR PLAN
SCALE: 1:50

1 LEVEL 1 FLOOR PLAN
SCALE: 1:50

TOWNHOUSE 2-3
3 BED + 3 BATH
1486 SF
L1 UNIT AREA: 388 SF
L2 THE OUTDOOR: 288 SF
L3 THE OUTDOOR: 288 SF

TOWNHOUSE 1
3 BED + 3 BATH
1486 SF
L1 UNIT AREA: 388 SF
L2 THE OUTDOOR: 288 SF

TOWNHOUSE 1
3 BED + 3 BATH
1486 SF
L1 UNIT AREA: 388 SF
L2 THE OUTDOOR: 288 SF

TOWNHOUSE 2-3
3 BED + 3 BATH
1486 SF
L1 UNIT AREA: 388 SF
L2 THE OUTDOOR: 288 SF
L3 THE OUTDOOR: 288 SF

September 5, 2023
DP 22-023105
Plan # 17

19	2022.06.09	ISSUED FOR DEVELOPMENT PERMIT	
17	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT	
16	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION	
14	2022.12.01	ISSUE FOR BUILDING PERMIT	
15	2022.12.21	ISSUE FOR CD REVIEW	
14	2022.12.01	ISSUE FOR BUILDING PERMIT	
13	2022.11.10	ISSUE FOR 75% CD	
12	2022.10.24	CD PROGRESS SET	
11	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION	
10	2022.08.24	CD IN PROGRESS	
9	2022.08.12	ISSUED FOR UNIT UPDATE	
8	2022.07.15	100% DESIGN DEVELOPMENT REVISION	
7	2022.07.12	ISSUE FOR UNIT UPDATE	
6	2022.05.25	ISSUED FOR 100% DESIGN DEVELOPMENT	
5	2022.05.04	ISSUED FOR MARKET UNIT	
4	2022.03.30	ISSUED FOR 90% DESIGN DEVELOPMENT	
3	2022.02.16	STRUCTURAL COORDINATION	
2	2022.02.11	UNIT REVISIONS	
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN	
REV	YYYY-MM-DD	REVISION/DRAWING ISSUE	REVIEW

CONSULTANT

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

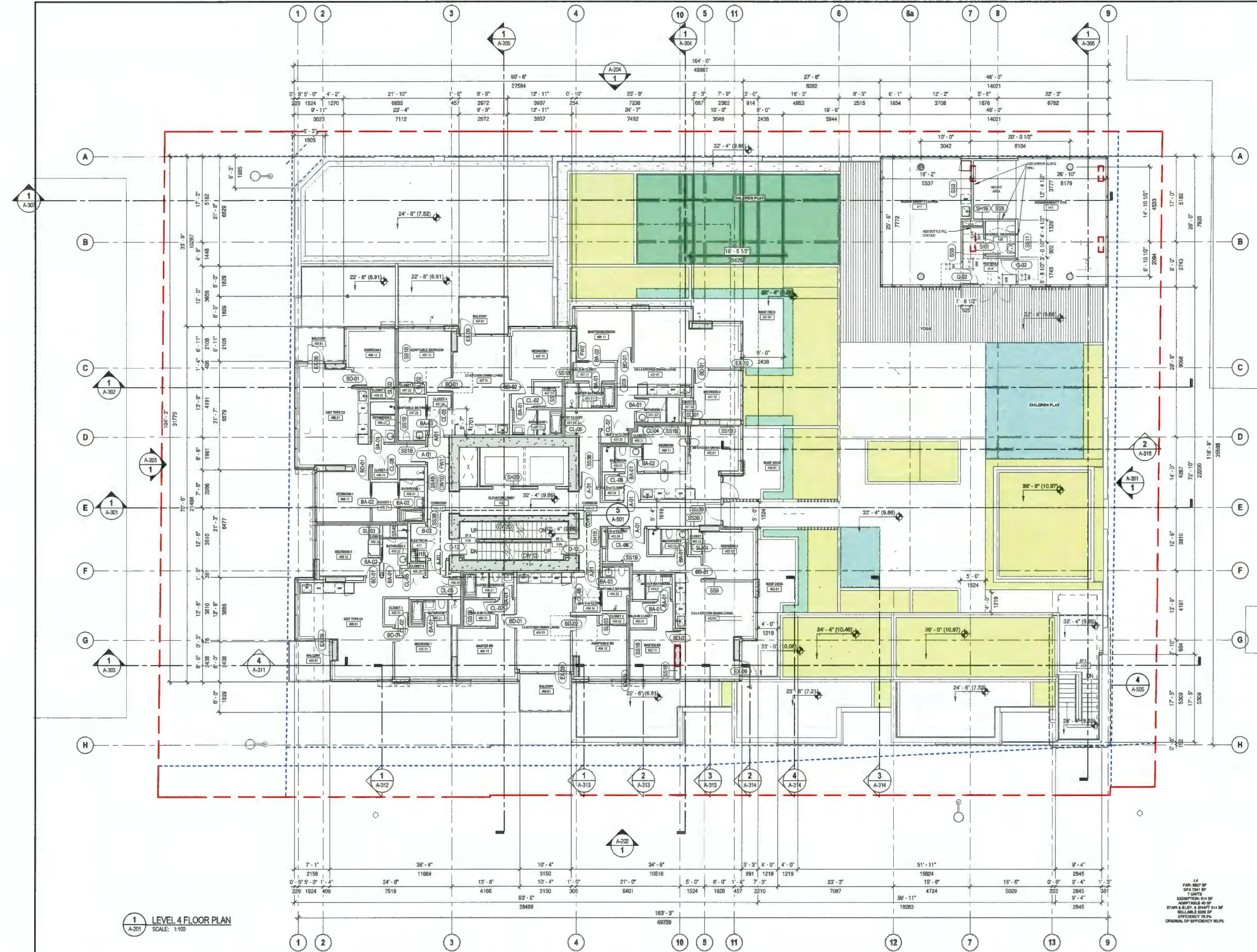
DRAWING TITLE

LEVEL 4 FLOOR PLAN

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	230240	PLOT DATE	2023-06-09	DRAWN	Author
DRAWING NO.	A-125	SCALE	1:100	REVIEWED	Checker
					REVISION
					18



1 LEVEL 4 FLOOR PLAN
SCALE: 1:100

L4
FAR: 827 SF
GFA: 751 SF
7 UNITS
EXEMPTION: 914 SF
RESIDENTIAL 40 SF
STAIR & ELEV. & SHAFT 814 SF
BELL AREA 50 SF
EFFICIENCY 79.3%
ORIGINAL OF EFFICIENCY 80.0%



September 5, 2023
DP 22-023105
Plan # 18

REV	DATE	DESCRIPTION	BY	CHKD
17	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT		
16	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION		
15	2022.12.21	ISSUE FOR CD REVIEW		
14	2022.12.01	ISSUE FOR BUILDING PERMIT		
13	2022.11.15	ISSUE FOR 75% CD		
12	2022.10.24	CD PROGRESS SET		
11	2022.09.15	ISSUED FOR GENERAL COMPLIANCE APPLICATION		
10	2022.08.24	CD IN PROGRESS		
9	2022.08.12	ISSUED FOR UNIT UPDATE		
8	2022.07.15	100% DESIGN DEVELOPMENT REVISION		
7	2022.07.12	ISSUE FOR UNIT UPDATE		
6	2022.05.25	ISSUED FOR 100% DESIGN DEVELOPMENT		
5	2022.05.04	ISSUED FOR MARKET UNIT		
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT		
3	2022.02.16	STRUCTURAL COORDINATION		
2	2022.02.11	UNIT REVISIONS		
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN		

CONSULTANT

PERMIT STAMP

SEAL

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

LEVEL 4 ENLARGED FLOOR PLAN

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.

230240

DATE

2023-04-18

DRAWN

Author

SCALE

1:50

REVIEWED

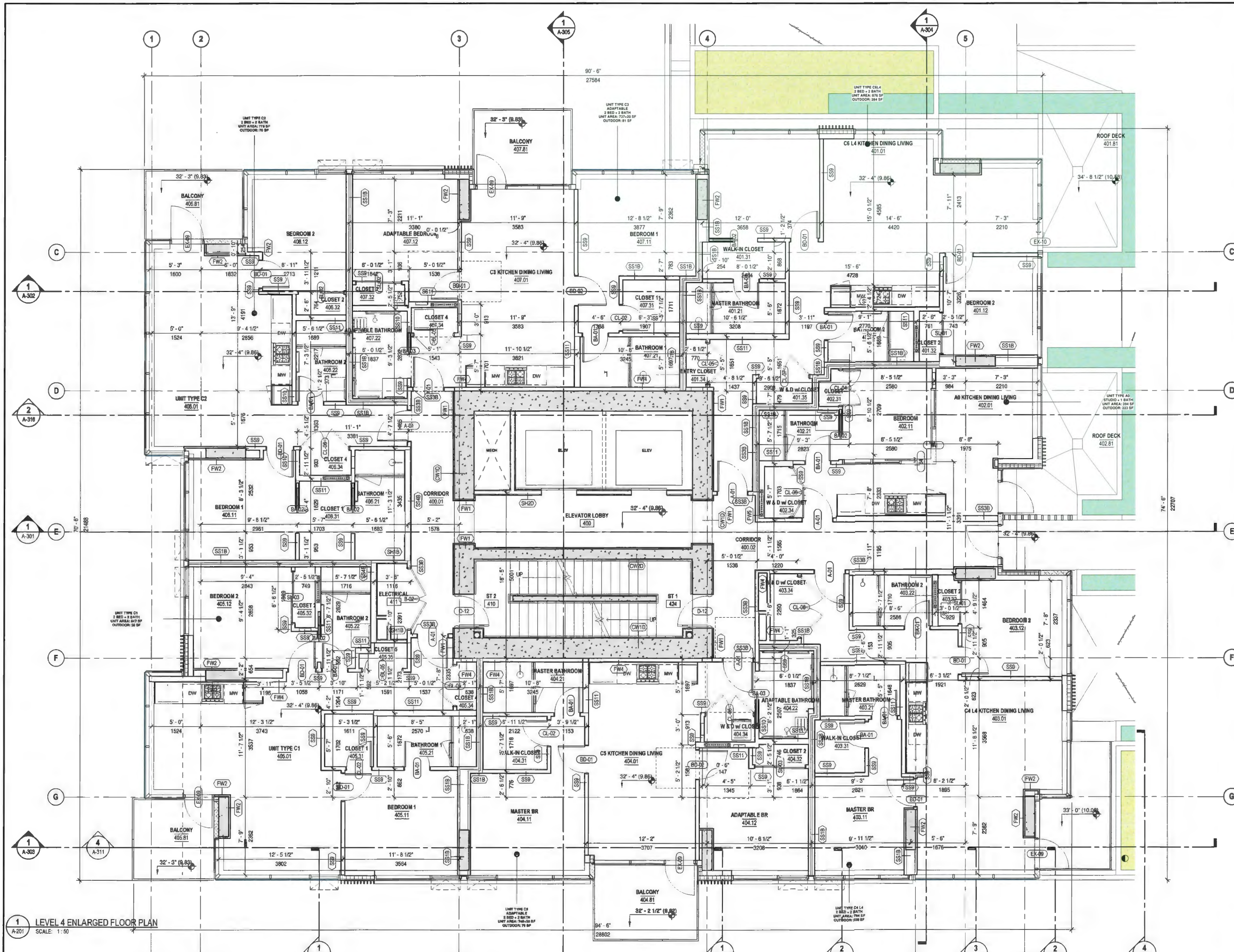
Checker

DRAWING NO.

A-125-A

REVISION

17



1 LEVEL 4 ENLARGED FLOOR PLAN
A-201 SCALE: 1:50

REV	DATE	DESCRIPTION	BY	CHKD
18	2023.08.31	ISSUED FOR DEVELOPMENT PERMIT		
17	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT		
16	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION		
15	2022.12.21	ISSUE FOR CD REVIEW		
14	2022.12.21	ISSUE FOR BUILDING PERMIT		
13	2022.11.10	ISSUE FOR 75% CD		
12	2022.10.24	CD PROGRESS SET		
11	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION		
10	2022.08.04	CD IN PROGRESS		
9	2022.08.12	ISSUED FOR UNIT UPDATE		
8	2022.07.15	100% DESIGN DEVELOPMENT REVISION		
7	2022.07.12	ISSUE FOR UNIT UPDATE		
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT		
5	2022.05.04	ISSUED FOR MARKET UNIT		
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT		
3	2022.02.18	STRUCTURAL COORDINATION		
2	2022.02.11	UNIT REVISIONS		
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN		

CONSULTANT	PERMIT STAMP	SEAL

NOT FOR CONSTRUCTION

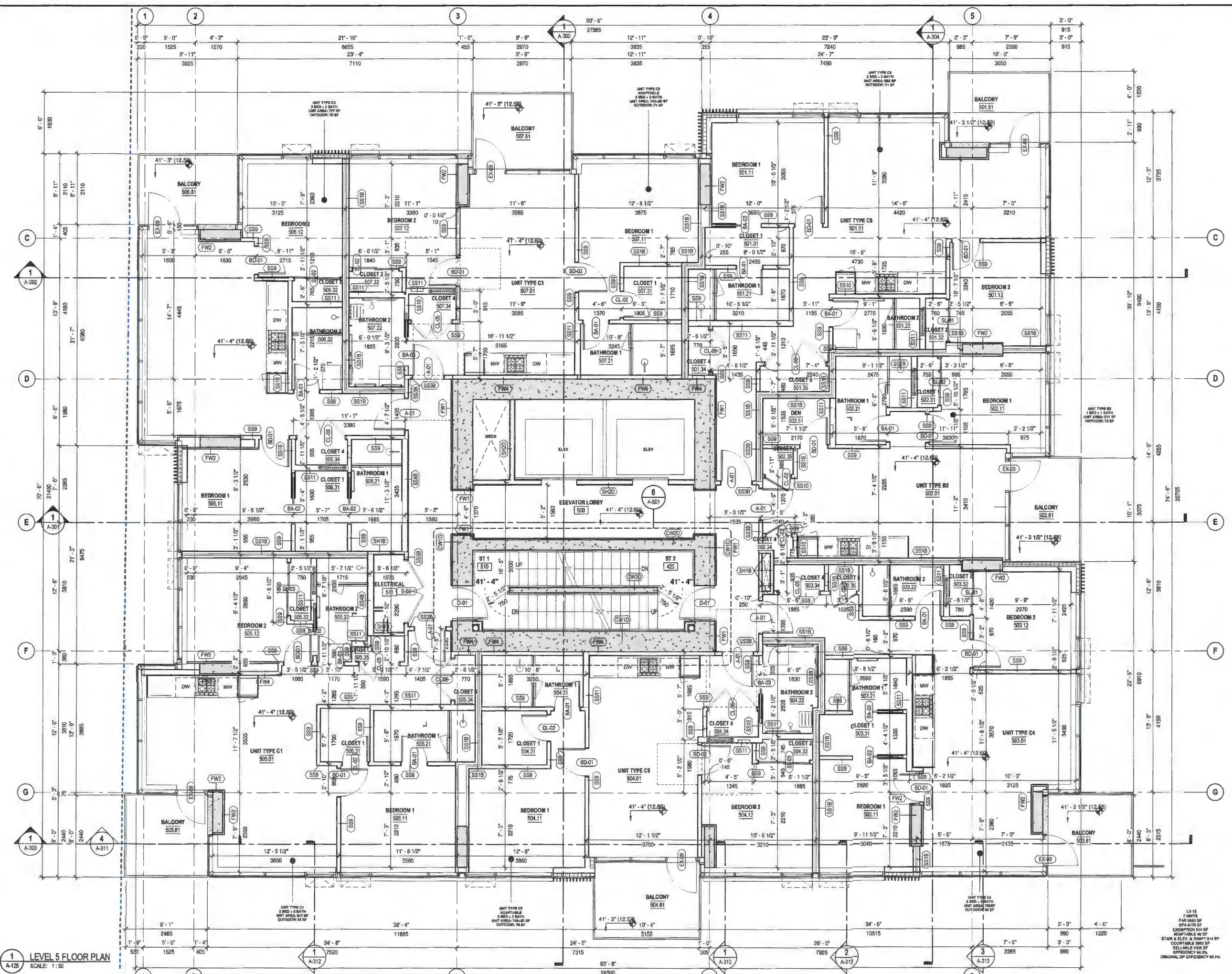
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PROJECT
6333 COONEY ROAD
6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE
LEVEL 5-13 FLOOR PLAN

DRAWING ISSUE
ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	2023-08-31	DRAWN	Author
230240	SCALE	1 : 50	REVIEWED	Checker
DRAWING NO.	A-126		REVISION	18



LEVEL 5 FLOOR PLAN
SCALE: 1:50

LS-13
7 UNITS
FAR 5883 SF
GFA 6170 SF
EXEMPTION 514 SF
ADAPTABLE 40 SF
STAIR & ELEV. & SHWY 214 SF
COUNTERTOP 286 SF
SELLABLE 328 SF
EFFICIENCY 84.3%
ORIGINAL DP EFFICIENCY 82.4%

September 5, 2023
DP 22-023105
Plan # 20

REV	DATE	DESCRIPTION	BY	CHKD
17	2023 04 17	ISSUED FOR DEVELOPMENT PERMIT		
16	2023 02 14	ISSUED FOR GENERAL COMPLIANCE REVISION		
15	2022 12 21	ISSUED FOR CD REVIEW		
14	2022 12 07	ISSUE FOR BUILDING PERMIT		
13	2022 11 10	ISSUE FOR 75% CD		
12	2022 10 24	CD PROGRESS SET		
11	2022 09 15	ISSUED FOR GENERAL COMPLIANCE APPLICATION		
10	2022 08 29	CD IN PROGRESS		
9	2022 08 11	ISSUED FOR UNIT UPDATE		
8	2022 07 15	100% DESIGN DEVELOPMENT REVISION		
7	2022 07 12	ISSUE FOR UNIT UPDATE		
6	2022 05 26	ISSUED FOR 100% DESIGN DEVELOPMENT		
5	2022 05 04	ISSUED FOR MARKET UNIT		
4	2022 03 30	ISSUED FOR 50% DESIGN DEVELOPMENT		
3	2022 02 16	STRUCTURAL COORDINATION		
2	2022 02 11	UNIT REVISIONS		
1	2021 12 17	ISSUED FOR SCHEMATIC DESIGN		
REV	YYYY-MM-DD	REVISION DRAWING ISSUE		REVIEW

CONSULTANT	PERMIT STAMP	SEAL

NOT FOR CONSTRUCTION

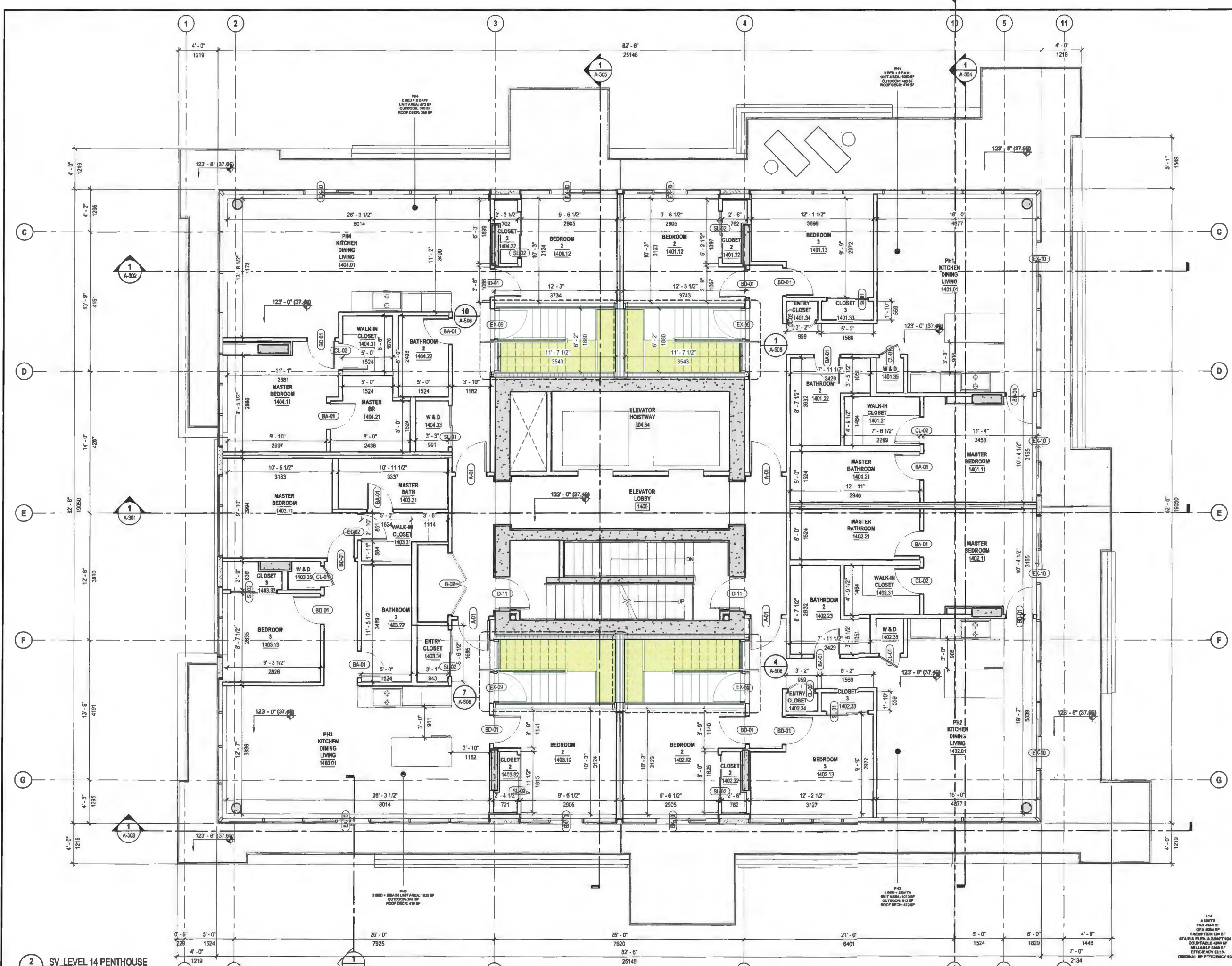
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PROJECT
6333 COONEY ROAD
6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE
LEVEL 14 PENTHOUSE FLOOR PLAN

DRAWING ISSUE
ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO. 230240	PLOT DATE 2023-04-18	DRWNN Author
SCALE 1:50	REVIEWED Checker	REVISION
DRAWING NO. A-135		17





September 5, 2023
DP 22-023105
Plan # 21

REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
17	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT	
16	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION	
15	2022.12.21	ISSUE FOR CD REVIEW	
14	2022.12.21	ISSUE FOR BUILDING PERMIT	
13	2022.11.10	ISSUE FOR 75% CD	
12	2022.10.24	CD PROGRESS SET	
11	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION	
10	2022.08.24	CD IN PROGRESS	
9	2022.08.12	ISSUED FOR UNIT UPDATE	
8	2022.07.15	100% DESIGN DEVELOPMENT REVISION	
7	2022.07.12	ISSUE FOR UNIT UPDATE	
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT	
5	2022.05.04	ISSUED FOR MARKET UNIT	
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT	
3	2022.02.16	STRUCTURAL COORDINATION	
2	2022.02.11	UNIT REVISIONS	
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN	

CONSULTANT

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

ROOF PLAN

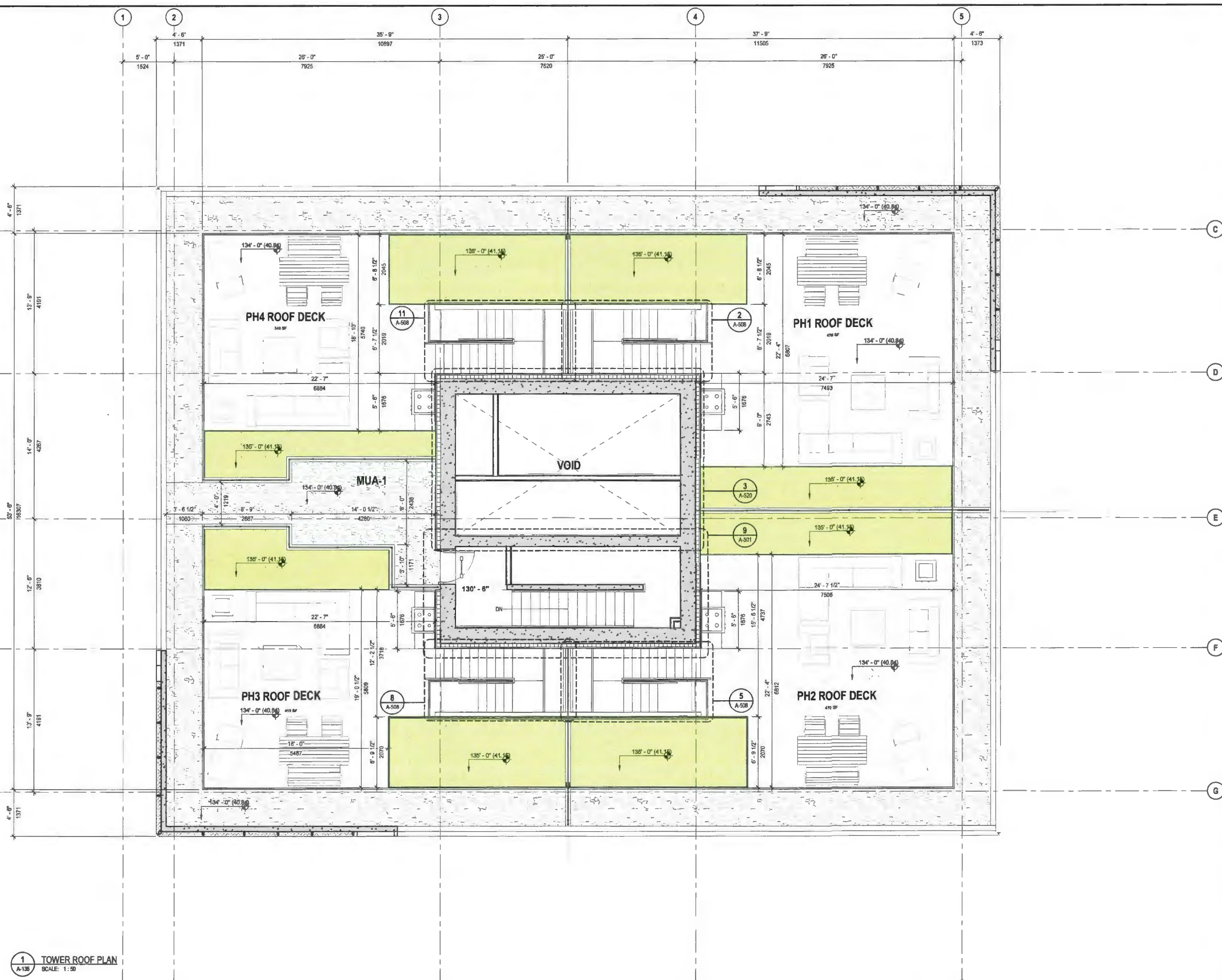
DRAWING ISSUE

ISSUED FOR DEVELOPMENT
PERMIT

PROJECT NO. 230240 PLOT DATE 2023-04-18 DRAWN Author

SCALE 1:50 REVIEWED Checker

DRAWING NO. A-136 REVISION 17

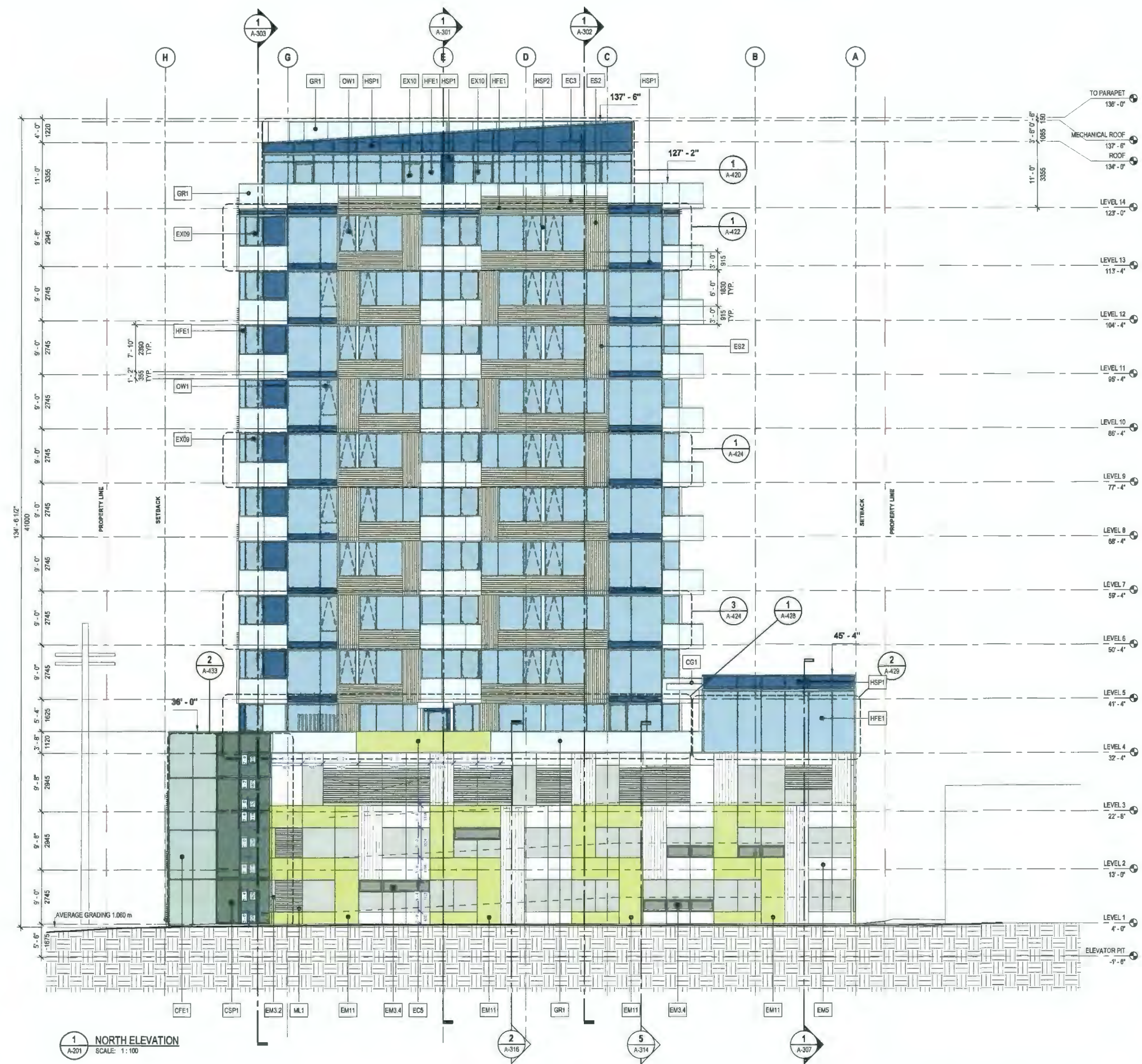


1 TOWER ROOF PLAN
A-136 SCALE: 1:50

September 5, 2023
DP 22-023105
Plan # 22

REV	DATE	DESCRIPTION
18	2023.09.01	ISSUED FOR DEVELOPMENT PERMIT
17	2023.08.31	ISSUED FOR DEVELOPMENT PERMIT
16	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
13	2022.12.21	ISSUE FOR CD REVIEW
12	2022.12.01	ISSUE FOR BUILDING PERMIT
11	2022.11.10	ISSUE FOR 75% CD
10	2022.10.26	CD PROGRESS SET
9	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION
8	2022.08.24	CD IN PROGRESS
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET UNIT
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2022.02.16	STRUCTURAL COORDINATION
2	2022.02.11	UNIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN

EXTERIOR FINISHES	
FINISH	DESCRIPTION
CFE1	CURTAIN WALL CLEAR TRIPLE GLAZING
CG1	GLASS AND STRUCTURAL STEEL CANOPY
CSP1	CURTAIN WALL GLAZING SPANDREL
EC3	METAL PANEL SYSTEM RIBBED 4" INSULATION ATTACHED TO CAST-IN-PLACE CONCRETE
EC5	GREEN SCREEN ATTACHED TO CAST-IN-PLACE CONCRETE NO INSULATION
EM3.2	CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - DARK CHARCOAL
EM3.4	CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - BLACK
EM5	CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - LIGHT GREY
EM11	GREEN SCREEN ATTACHED TO CMU WALL NO INSULATION
ES2	RIBBED METAL PANEL SYSTEM WITH INSULATION ATTACHED TO STEEL STUD - BRASS
EX05	DOOR EXIT OUTSWING DOUBLE GLAZED
EX09	DOOR BALCONY OUTSWING DOUBLE GLAZED
EX10	PENTHOUSE DOOR SLIDING DOUBLE GLAZED
GR1	LAMINATED TEMPERED GLASS RAILING
HFE1	VISION GLASS WINDOW WALL 1 - CLEAR TRIPLE
HSP1	SSG HYBRID WALL SPANDREL GLAZING - LIGHT GREY
HSP2	SSG HYBRID WALL SPANDREL METAL - SILVER
ML1	METAL LOUVER - DARK CHARCOAL
OW1	OPERABLE FRAMELESS WINDOW - WINDOW WALL



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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

EXTERIOR ELEVATIONS - NORTH

DRAWING ISSUE

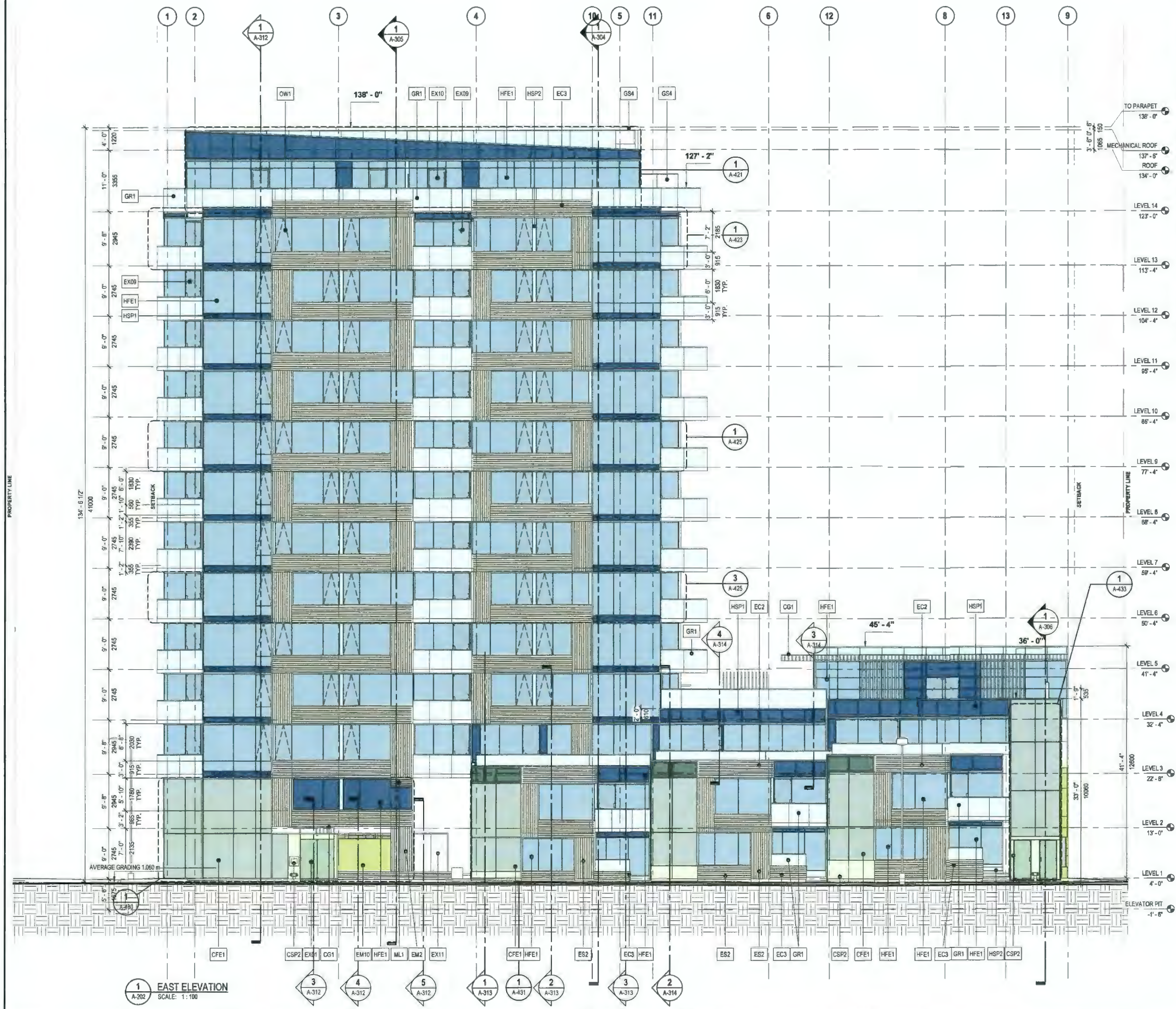
ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	Author
230240	2023-09-01	Author	Author
DRAWING NO.	SCALE	REVIEWED	Checker
A-201	1:100	Checker	Checker
		REVISION	18

September 5, 2023
DP 22-023105
Plan # 23

REV	DATE	DESCRIPTION
18	2023.09.01	ISSUED FOR DEVELOPMENT PERMIT
17	2023.08.31	ISSUED FOR DEVELOPMENT PERMIT
16	2023.08.09	ISSUED FOR DEVELOPMENT PERMIT
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
13	2022.12.21	ISSUE FOR CD REVIEW
12	2022.12.01	ISSUE FOR BUILDING PERMIT
11	2022.11.10	ISSUE FOR 75% CD
10	2022.10.24	CD PROGRESS SET
9	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION
8	2022.08.24	CD IN PROGRESS
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET UNIT
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2022.02.16	STRUCTURAL COORDINATION
2	2022.02.11	UNIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN

EXTERIOR FINISHES	
FINISH	DESCRIPTION
CFE1	CURTAIN WALL CLEAR TRIPLE GLAZING
CG1	GLASS AND STRUCTURAL STEEL CANOPY
CSP2	CURTAIN WALL METAL SPANDREL
EC2	METAL PANEL SYSTEM FLAT 4" INSULATION ATTACHED TO CAST-IN-PLACE CONCRETE EC2.1 BRASS EC2.2 DARK CHARCOAL EC2.3 SILVER EC2.4 BLACK
EC3	METAL PANEL SYSTEM RIBBED 4" INSULATION ATTACHED TO CAST-IN-PLACE CONCRETE
EM2	METAL PANEL SYSTEM RIBBED WITH INSULATION ATTACHED TO CMU - BRASS
EM10	GREEN SCREEN ATTACHED TO CMU WALL WITH INSULATION
ES2	RIBBED METAL PANEL SYSTEM WITH INSULATION ATTACHED TO STEEL STUD - BRASS
EX01	DOOR ENTRY OUTSWING DOUBLE GLAZED
EX09	DOOR BALCONY OUTSWING DOUBLE GLAZED
EX10	PENTHOUSE DOOR SLIDING DOUBLE GLAZED
EX11	DOOR OUTSWING PAINTED METAL
GR1	LAMINATED TEMPERED GLASS RAILING
GS4	PRINTED LAMINATED TEMPERED GLASS
HFE1	VISION GLASS WINDOW WALL 1 - CLEAR TRIPLE
HSP1	SSG HYBRID WALL SPANDREL GLAZING - LIGHT GREY
HSP2	SSG HYBRID WALL SPANDREL METAL - SILVER
ML1	METAL LOUVER - DARK CHARCOAL
OW1	OPERABLE FRAMELESS WINDOW - WINDOW WALL



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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

EXTERIOR ELEVATIONS - EAST

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	Author
230240	2023-09-01	REVIEWED	Checker

DRAWING NO.	REVISION
A-202	18

September 5, 2023
DP 22-023105
Plan # 24

18	2023.09.01	ISSUED FOR DEVELOPMENT PERMIT
17	2023.08.31	ISSUED FOR DEVELOPMENT PERMIT
16	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
13	2022.12.21	ISSUE FOR CD REVIEW
12	2022.12.01	ISSUE FOR BUILDING PERMIT
11	2022.11.10	ISSUE FOR 75% CD
10	2022.10.24	CD PROGRESS SET
9	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION
8	2022.08.28	CD IN PROGRESS
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET LINK
4	2022.03.28	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2022.02.18	STRUCTURAL COORDINATION
2	2022.02.11	LIMIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN

REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

EXTERIOR ELEVATIONS - SOUTH

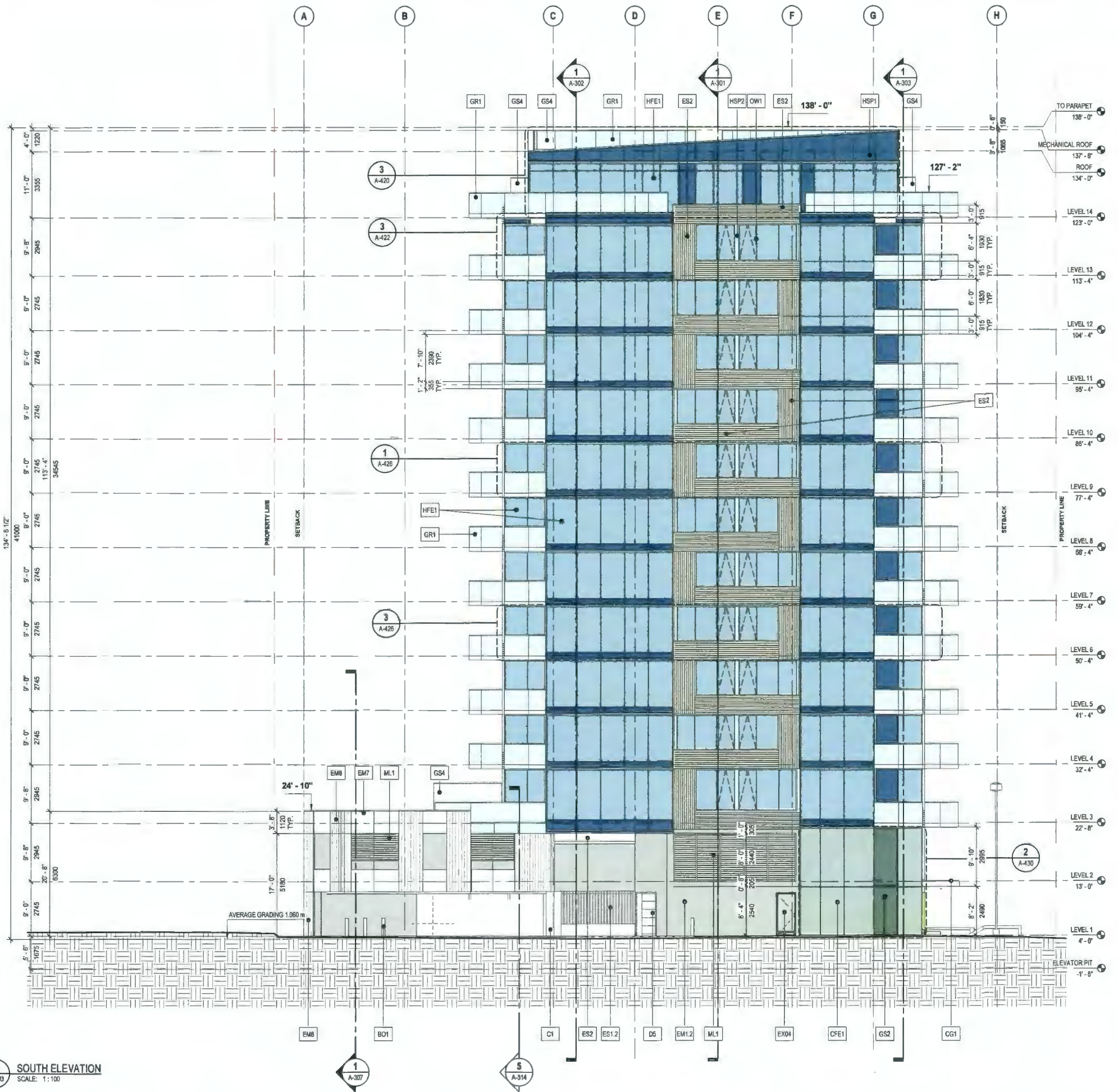
DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	230240	PLLOT DATE	2023-09-01	DRAWN	Author
		SCALE	1:100	REVIEWED	Checker

DRAWING NO.	A-203	REVISION	18
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EXTERIOR FINISHES	
FINISH	DESCRIPTION
BO1	6" DIA Bollard - PAINTED YELLOW
C1	CONCRETE CAST IN PLACE
CFE1	CURTAIN WALL CLEAR TRIPLE GLAZING
CG1	GLASS AND STRUCTURAL STEEL CANOPY
D5	DOOR OVERHEAD SECTIONAL GLAZED
EM1.2	METAL PANEL SYSTEM FLAT WITH INSULATION ATTACHED TO CMU - DARK CHARCOAL
EM3.2	CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - DARK CHARCOAL
EM7	CONCRETE PANEL SYSTEM FLAT WITH INSULATION ATTACHED TO CMU - LIGHT GREY
EM8	CONCRETE PANEL SYSTEM RIBBED WITH INSULATION ATTACHED TO CMU
ES1.2	FLAT METAL PANEL SYSTEM ON STEEL STUD - CHARCOAL GRAY
ES2	RIBBED METAL PANEL SYSTEM WITH INSULATION ATTACHED TO STEEL STUD - BRASS
EX04	DOOR EXIT OUTSWING DOUBLE GLAZED
GR1	LAMINATED TEMPERED GLASS RAILING
GS2	DOUBLE GLAZING SPANDREL PANEL - DARK CHARCOAL
GS4	PRINTED LAMINATED TEMPERED GLASS
HFE1	VISION GLASS WINDOW WALL 1 - CLEAR TRIPLE
HSP1	SSG HYBRID WALL SPANDREL GLAZING - LIGHT GREY
HSP2	SSG HYBRID WALL SPANDREL METAL - SILVER
ML1	METAL LOUVER - DARK CHARCOAL
OW1	OPERABLE FRAMELESS WINDOW - WINDOW WALL



1 SOUTH ELEVATION
SCALE: 1:100

September 5, 2023
DP 22-023105
Plan # 25

EXTERIOR FINISHES	
FINISH	DESCRIPTION
CG1	GLASS AND STRUCTURAL STEEL CANOPY
EC3	METAL PANEL SYSTEM RIBBED 4" INSULATION ATTACHED TO CAST-IN-PLACE CONCRETE
EM3.2	CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - DARK CHARCOAL
EM3.4	CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - BLACK
EM5	CONCRETE PANEL SYSTEM FLAT NO INSULATION ATTACHED TO CMU - LIGHT GREY
EM6	CONCRETE PANEL SYSTEM RIBBED NO INSULATION ATTACHED TO CMU
EM7	CONCRETE PANEL SYSTEM FLAT WITH INSULATION ATTACHED TO CMU - LIGHT GREY
EM8	CONCRETE PANEL SYSTEM RIBBED WITH INSULATION ATTACHED TO CMU
EM11	GREEN SCREEN ATTACHED TO CMU WALL NO INSULATION
ES2	RIBBED METAL PANEL SYSTEM WITH INSULATION ATTACHED TO STEEL STUD - BRASS
EX09	DOOR BALCONY OUTSWING DOUBLE GLAZED
EX10	PENTHOUSE DOOR SLIDING DOUBLE GLAZED
GR1	LAMINATED TEMPERED GLASS RAILING
HFE1	VISION GLASS WINDOW WALL 1 - CLEAR TRIPLE
HSP1	SSG HYBRID WALL SPANDREL GLAZING - LIGHT GREY
HSP2	SSG HYBRID WALL SPANDREL METAL - SILVER
ML1	METAL LOUVER - DARK CHARCOAL

REV	DATE	DESCRIPTION
18	2023.09.01	ISSUED FOR DEVELOPMENT PERMIT
17	2023.08.31	ISSUED FOR DEVELOPMENT PERMIT
16	2023.06.08	ISSUED FOR DEVELOPMENT PERMIT
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
13	2022.12.21	ISSUE FOR CD REVIEW
12	2022.12.01	ISSUE FOR BUILDING PERMIT
11	2022.11.10	ISSUE FOR 75% CD
10	2022.10.24	CD PROGRESS SET
9	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION
8	2022.08.24	CD IN PROGRESS
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET UNIT
4	2022.03.30	ISSUED FOR 90% DESIGN DEVELOPMENT
3	2022.02.16	STRUCTURAL COORDINATION
2	2022.02.11	UNIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN

REVISION 1 DRAWING ISSUE REVIEW

CONSULTANT

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PROJECT

6333 COONEY ROAD
6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

EXTERIOR ELEVATIONS - WEST

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.

230240

PLOT DATE

2023-09-01

DRAWN

Author

SCALE

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REVIEWED

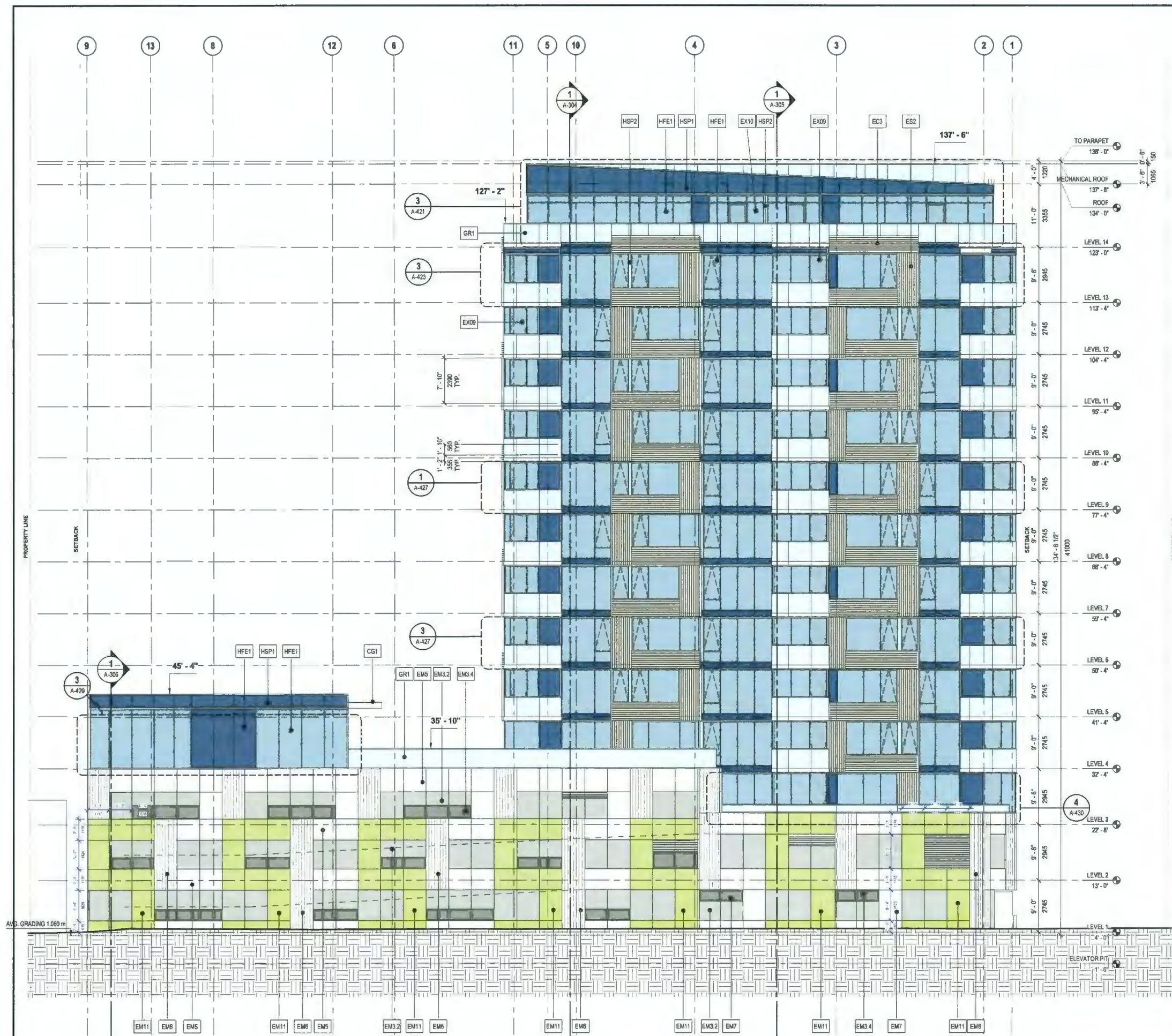
Checker

DRAWING NO.

A-204

REVISION

18



1 WEST ELEVATION
A-204 SCALE: 1:100

September 5, 2023
DP 22-023105
Plan # 26

NO.	DATE	DESCRIPTION	BY	CHKD
1	2023-08-31	ISSUED FOR DEVELOPMENT PERMIT		
2	2023-09-05	ISSUED FOR GENERAL COMPLIANCE REVIEW		
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EXTERIOR ELEVATION RENDERING - NORTH



EXTERIOR ELEVATION RENDERING - EAST



EXTERIOR ELEVATION RENDERING - SOUTH



EXTERIOR ELEVATION RENDERING - WEST

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

EXTERIOR ELEVATIONS RENDERING

DRAWING ISSUE

ISSUED FOR DEVELOPMENT
PERMIT

PROJECT NO.	230240	PLOT DATE	2023-08-31	DRAWN	Author
DRAWING NO.	A-210	SCALE		REVIEWED	Checker
					REVISION
					3

September 5, 2023
DP 22-023105
Plan # 27

REV	DATE	DESCRIPTION	BY	CHKD
17	2023.08.21	ISSUED FOR DEVELOPMENT PERMIT		
16	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT		
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT		
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION		
13	2022.12.21	ISSUE FOR CD REVIEW		
12	2022.12.01	ISSUE FOR BUILDING PERMIT		
11	2022.11.10	ISSUE FOR 75% CD		
10	2022.10.24	CD PROGRESS SET		
9	2022.09.15	ISSUED FOR GENERAL COMPLIANCE APPLICATION		
8	2022.08.24	CD IN PROGRESS		
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION		
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT		
5	2022.05.04	ISSUED FOR MARKET UNIT		
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT		
3	2022.02.15	STRUCTURAL COORDINATION		
2	2022.02.11	UNIT REVISIONS		
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN		

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

BUILDING SECTION 1

DRAWING ISSUE

ISSUED FOR DEVELOPMENT
PERMIT

PROJECT NO. 230240 PLOT DATE 2023-08-21 DRAWN Author

SCALE 1:100 REVIEWED Checker

DRAWING NO. A-301 REVISION 17



1 BUILDING SECTION 1
SCALE: 1:100

September 5, 2023
DP 22-023105
Plan # 28

REV	DATE	DESCRIPTION
16	2023.09.09	ISSUED FOR DEVELOPMENT PERMIT
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
13	2022.12.21	ISSUE FOR CD REVIEW
12	2022.12.01	ISSUE FOR BUILDING PERMIT
11	2022.11.10	ISSUE FOR 75% CD
10	2022.10.24	CD PROGRESS SET
9	2022.09.15	ISSUED FOR GENERAL COMPLIANCE APPLICATION
8	2022.08.24	CD IN PROGRESS
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION
6	2022.06.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET UNIT
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2022.03.15	STRUCTURAL COORDINATION
2	2022.02.11	UNIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

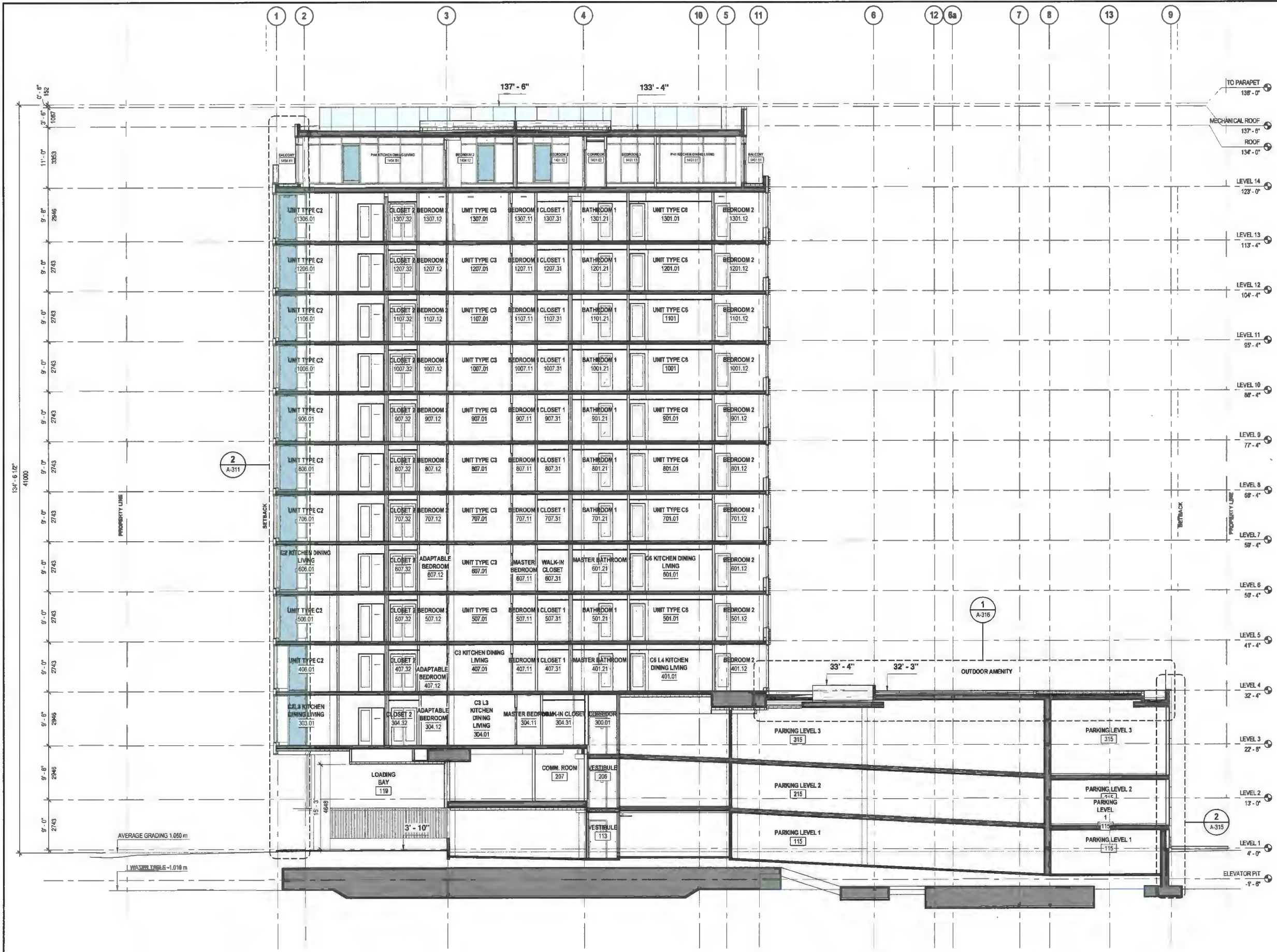
DRAWING TITLE

BUILDING SECTION 2

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

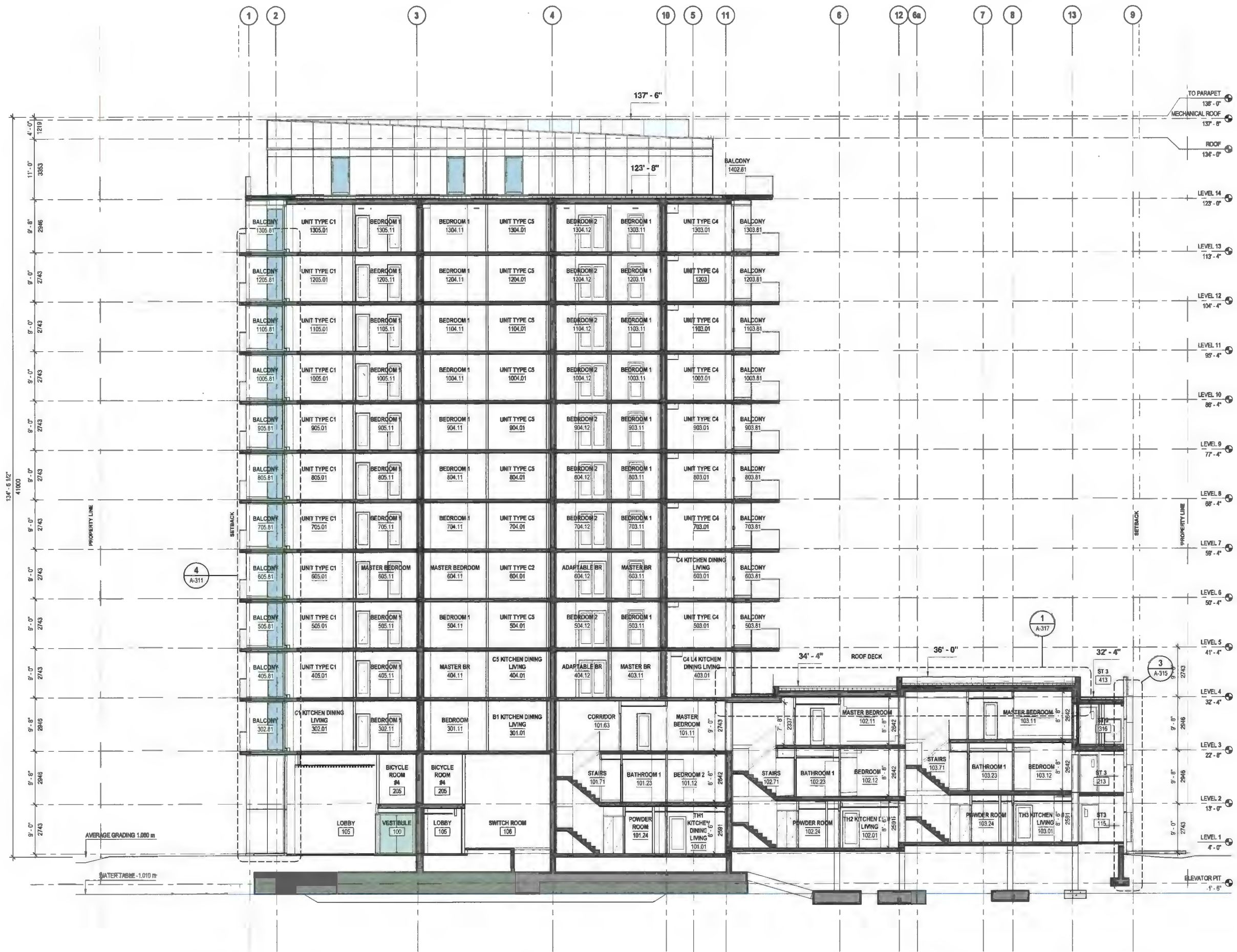
PROJECT NO	PLOT DATE	2023-06-09	DRAWN	Author
230240	SCALE	1:100	REVIEWED	Checker
DRAWING NO.	A-302		REVISION	16



1 BUILDING SECTION 2
A-302 SCALE: 1:100

WORK IN PROGRESS

September 5, 2023
DP 22-023105
Plan # 29



REV	DATE	DESCRIPTION	
16	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT	
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT	
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION	
13	2022.12.21	ISSUE FOR CD REVIEW	
12	2022.12.01	ISSUE FOR BUILDING PERMIT	
11	2022.11.10	ISSUE FOR 75% CD	
10	2022.10.24	CD PROGRESS SET	
9	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION	
8	2022.08.24	CD IN PROGRESS	
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION	
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT	
5	2022.05.04	ISSUED FOR MARKET UNIT	
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT	
3	2022.02.16	STRUCTURAL COORDINATION	
2	2022.01.11	UNIT REVISIONS	
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN	
REV	DATE	REVISION / DRAWING ISSUE	REVIEW
CON	YYYY-MM-DD		

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

BUILDING SECTION 3

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLAT DATE	DRAWN	AUTHOR
230240	2023-06-09		
SCALE	1:100	REVIEWED	CHECKER
DRAWING NO.	REVISION		
A-303	16		

1 BUILDING SECTION 3
SCALE: 1:100

September 5, 2023
DP 22-023105
Plan # 30



REV.	DATE	DESCRIPTION
16	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT
15	2023.04.17	ISSUED FOR GENERAL COMPLIANCE PERMIT
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
13	2022.12.21	ISSUE FOR CD REVIEW
12	2022.12.01	ISSUE FOR BUILDING PERMIT
11	2022.11.10	ISSUE FOR 75% CD
10	2022.10.24	CD PROGRESS SET
9	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION
8	2022.08.24	CD IN PROGRESS
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET UNIT
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2022.02.16	STRUCTURAL COORDINATION
2	2022.02.11	UNIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN

REV.	DATE	DESCRIPTION	REVISION / DRAWING ISSUE	REVIEW
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN		

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

BUILDING SECTION 4

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	AUTHOR
230240	2023-08-09		

DRAWING NO.	SCALE	REVIEWED	CHECKER
A-304	1:100		

September 5, 2023
DP 22-023105
Plan # 31

REV	DATE	DESCRIPTION	BY	CHKD
16	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT		
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT		
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION		
13	2022.12.21	ISSUE FOR CD REVIEW		
12	2022.12.01	ISSUE FOR BUILDING PERMIT		
11	2022.11.10	ISSUE FOR 75% CD		
10	2022.10.24	CD PROGRESS SET		
9	2022.09.15	ISSUED FOR GENERAL COMPLIANCE APPLICATION		
8	2022.08.24	CD IN PROGRESS		
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION		
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT		
5	2022.05.04	ISSUED FOR MARKET UNIT		
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT		
3	2022.02.16	STRUCTURAL COORDINATION		
2	2022.02.11	UNIT REVISIONS		
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN		
REV	YYYY-MM-DD	REVISION / DRAWING ISSUE		REVIEW

CONSULTANT

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PROJECT

6333 COONEY ROAD
6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

BUILDING SECTION 5

DRAWING ISSUE

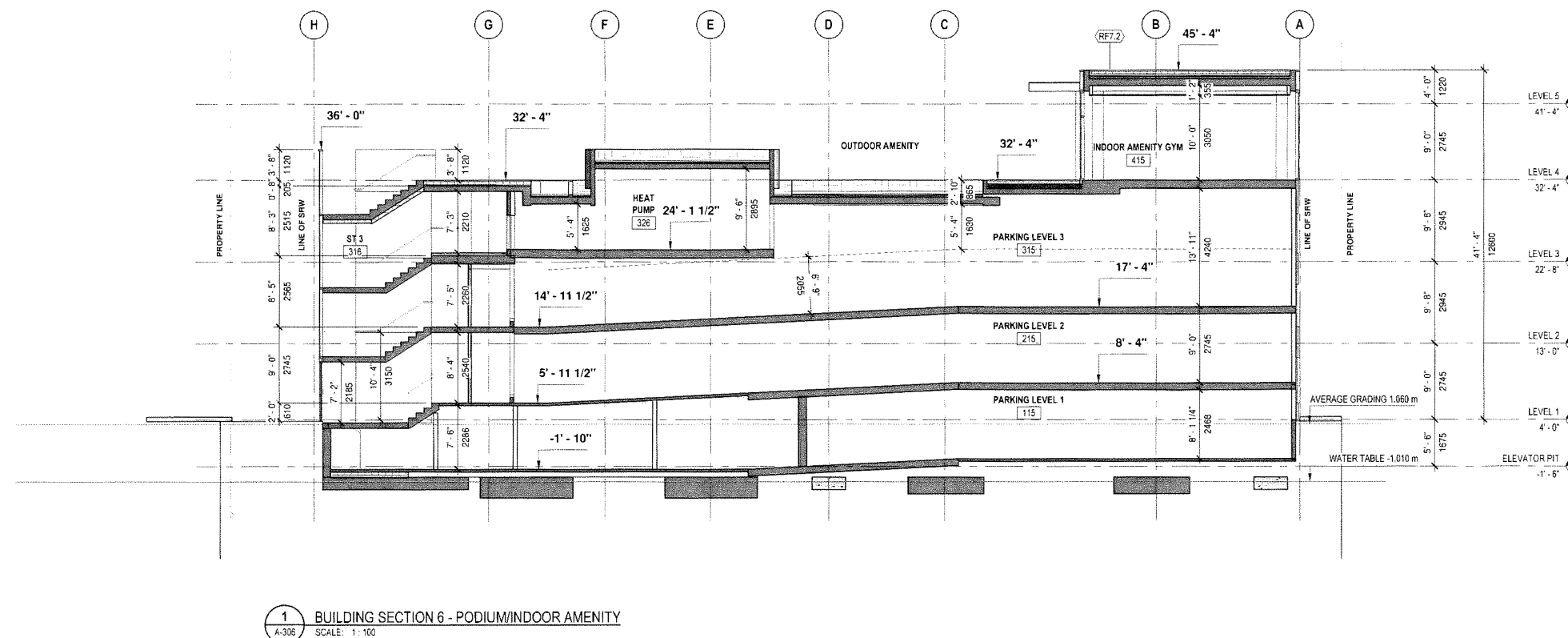
ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	230240	PLOT DATE	2023-06-09	DRAWN	Author
DRAWING NO.	A-305	SCALE	1:100	REVIEWED	Checker
				REVISION	16

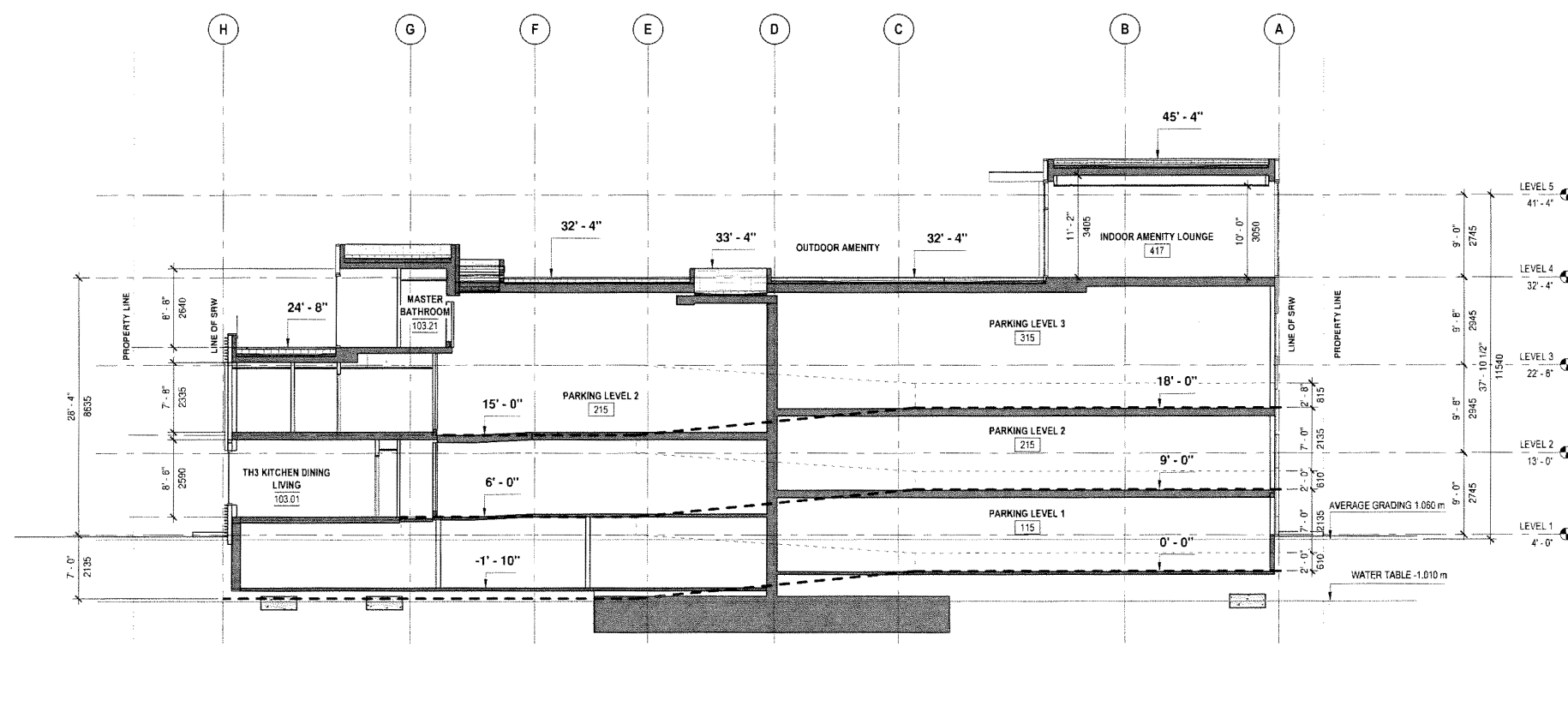


1 BUILDING SECTION 5
A-305 SCALE: 1:100

September 5, 2023
DP 22-023105
Plan # 32



1 BUILDING SECTION 6 - PODIUM/INDOOR AMENITY
SCALE: 1:100



2 BUILDING SECTION 7 - PODIUM/INDOOR AMENITY
SCALE: 1:100

17	2023.08.21	ISSUED FOR DEVELOPMENT PERMIT
16	2023.05.08	ISSUED FOR DEVELOPMENT PERMIT
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
13	2022.12.21	ISSUE FOR CD REVIEW
12	2022.12.01	ISSUE FOR BUILDING PERMIT
11	2022.11.10	ISSUE FOR 75% CD
10	2022.10.24	CD PROGRESS SET
9	2022.09.16	ISSUED FOR GENERAL COMPLIANCE APPLICATION
8	2022.08.24	CD IN PROGRESS
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET UNIT
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2022.02.16	STRUCTURAL COORDINATION
2	2022.02.11	UNIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN
REV.	YYYYMMDD	REVISION / DRAWING ISSUE

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

BUILDING SECTIONS 6 & 7

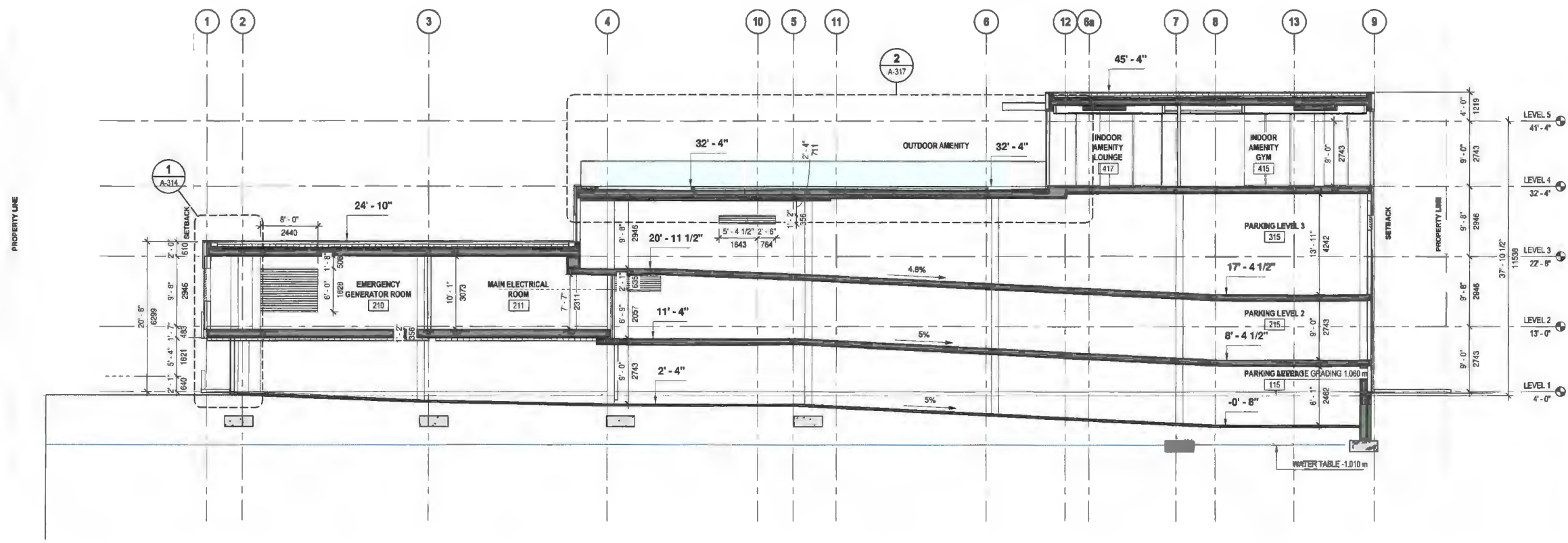
DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO	230240	PLOT DATE	2023-08-21	DRAWN	Author
		SCALE	1:100	REVIEWED	Checker
DRAWING NO	A-306			REVISION	17

WORK IN PROGRESS

September 5, 2023
DP 22-023105
Plan # 33



1 BUILDING SECTION 8 - PODIUM
A-122 SCALE: 1:100

REV	DATE	DESCRIPTION
16	2023.06.09	ISSUED FOR DEVELOPMENT PERMIT
15	2023.04.17	ISSUED FOR DEVELOPMENT PERMIT
14	2023.02.14	ISSUED FOR GENERAL COMPLIANCE REVISION
13	2022.12.21	ISSUE FOR CD REVIEW
12	2022.12.01	ISSUE FOR BUILDING PERMIT
11	2022.11.10	ISSUE FOR 75% CD
10	2022.10.24	CD PROGRESS SET
9	2022.08.18	ISSUED FOR GENERAL COMPLIANCE APPLICATION
8	2022.08.24	CD IN PROGRESS
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT
5	2022.05.04	ISSUED FOR MARKET LIMIT
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT
3	2022.02.15	STRUCTURAL COORDINATION
2	2021.02.11	UNIT REVISIONS
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN

REV	DATE	DESCRIPTION	REVIEW
YYYY-MM-DD		REVISION / DRAWING ISSUE	

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

BUILDING SECTION 8

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO. 230240	PLOT DATE 2023-05-09	DRAWN Author
DRAWING NO. A-307	SCALE 1:100	REVIEWED Checker

WORK IN PROGRESS

September 5, 2023
DP 22-023105
Plan # 34

REV	DATE	DESCRIPTION	REVISION / DRAWING ISSUE	REVIEW
14	2023.08.31	ISSUED FOR DEVELOPMENT PERMIT		
13	2023.08.09	ISSUED FOR DEVELOPMENT PERMIT		
12	2023.12.21	ISSUE FOR CD REVIEW		
11	2022.12.01	ISSUE FOR BUILDING PERMIT		
10	2022.11.10	ISSUE FOR 75% CD		
9	2022.10.28	CD PROGRESS SET		
8	2022.09.28	CD IN PROGRESS		
7	2022.07.15	100% DESIGN DEVELOPMENT REVISION		
6	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT		
5	2022.05.04	ISSUED FOR MARKET LIMIT		
4	2022.03.30	ISSUED FOR 50% DESIGN DEVELOPMENT		
3	2022.02.16	STRUCTURAL COORDINATION		
2	2022.02.11	LIMIT REVISIONS		
1	2021.12.17	ISSUED FOR SCHEMATIC DESIGN		

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SEAL

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

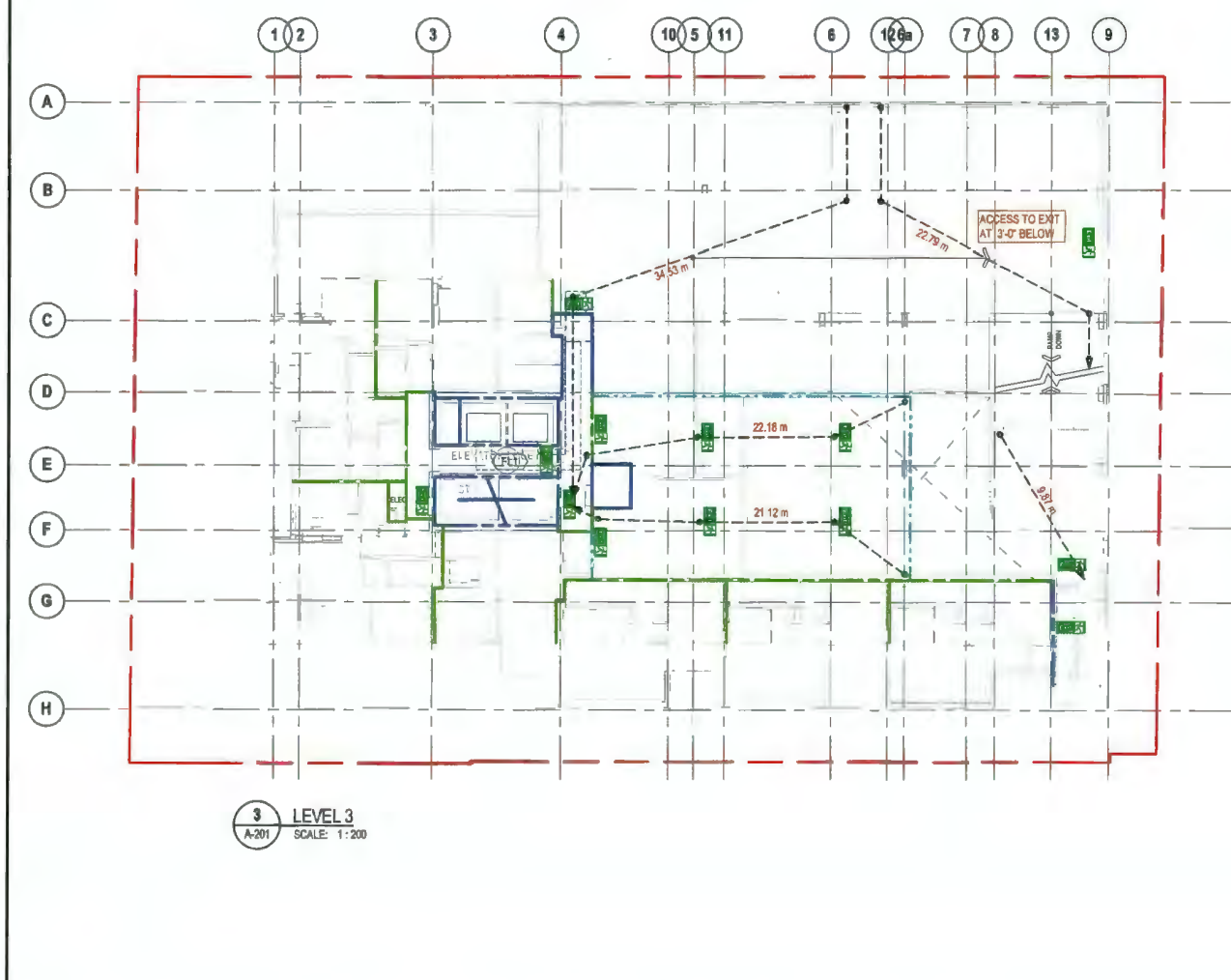
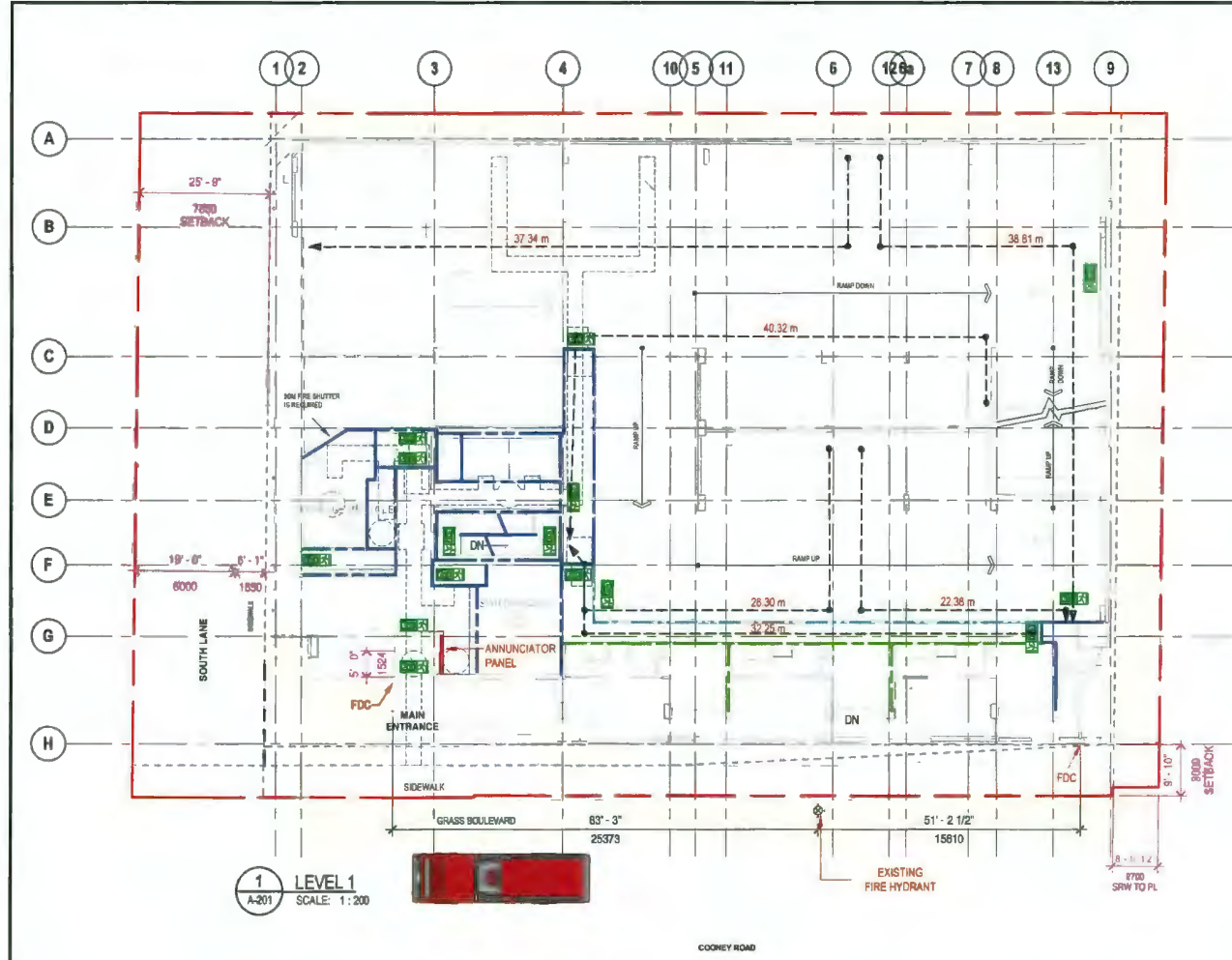
DRAWING TITLE

CODE COMPLIANCE PLANS

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO. 230240	PLOT DATE 2023-08-31	DRAWN Author
DRAWING NO. A-810	SCALE 1:200	REVIEWED Checker
		REVISION 14



LEGEND:

---	0 HR FIRE-RESISTANT RATING
---	3/4 HR FIRE-RESISTANT RATING
---	1 HR FIRE-RESISTANT RATING
---	1.5 HR FIRE-RESISTANT RATING
---	2 HR FIRE-RESISTANT RATING
---	TRAVEL DISTANCE

September 5, 2023
DP 22-023105
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13	2023 04 17	ISSUED FOR DEVELOPMENT PERMIT	
12	2023 02 14	ISSUED FOR GENERAL COMPLIANCE REVISION	
11	2022 12 21	ISSUE FOR CD REVIEW	
10	2022 12 01	ISSUE FOR BUILDING PERMIT	
9	2022 11 10	ISSUE FOR PDR CD	
8	2022 10 24	CD PROGRESS SET	
7	2022 09 16	ISSUED FOR GENERAL COMPLIANCE APPLICATION	
6	2022 08 24	CD IN PROGRESS	
5	2022 08 12	ISSUED FOR UNIT UPDATE	
4	2022 07 15	100% DESIGN DEVELOPMENT REVISION	
3	2022 07 12	ISSUE FOR UNIT UPDATE	
2	2022 05 26	ISSUED FOR 100% DESIGN DEVELOPMENT	
1	2021 12 17	ISSUED FOR SCHEMATIC DESIGN	
REV	YYYYMMDD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

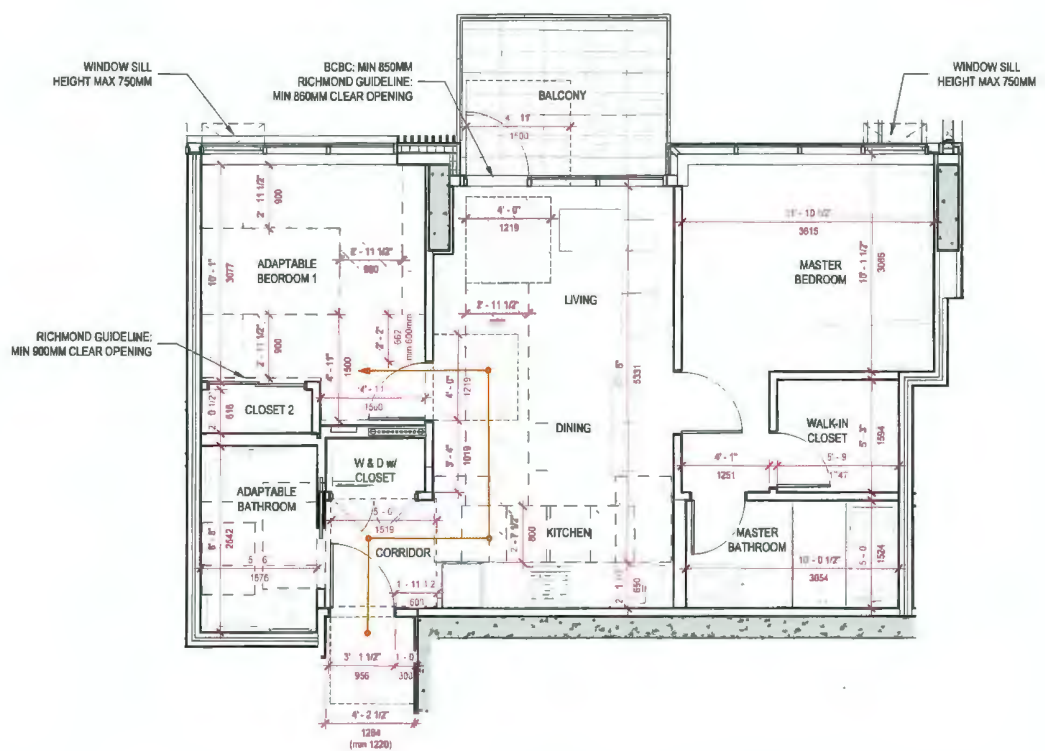
DRAWING TITLE

UNIT PLANS - TOWER UNIT
ADAPTABLE C3, C5

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	230240	PLOT DATE	2023-04-18	DRWNN	AU
		SCALE	1:50	REVIEWED	XX
DRAWING NO.	A-407			REVISION	



UNIT TYPE C3 - 2 BED + 2 BATH ADAPTABLE

UNIT AREA	742 + 20 SF
PATIO/ BALCONY AREA	76 SF

UNIT TYPE C3 - ROOM SCHEDULE

Name	Area
ADAPTABLE BATHROOM	47.67 ft ²
ADAPTABLE BEDROOM	117.02 ft ²
C3 KITCHEN DINING LIVING	220.20 ft ²
CLOSET 2	10.61 ft ²
CORRIDOR	25.50 ft ²
MASTER BATHROOM	50.10 ft ²
MASTER BEDROOM	136.91 ft ²
W & D w/ CLOSET	11.73 ft ²
WALK-IN CLOSET	29.97 ft ²
TOTAL	649.70 ft ²

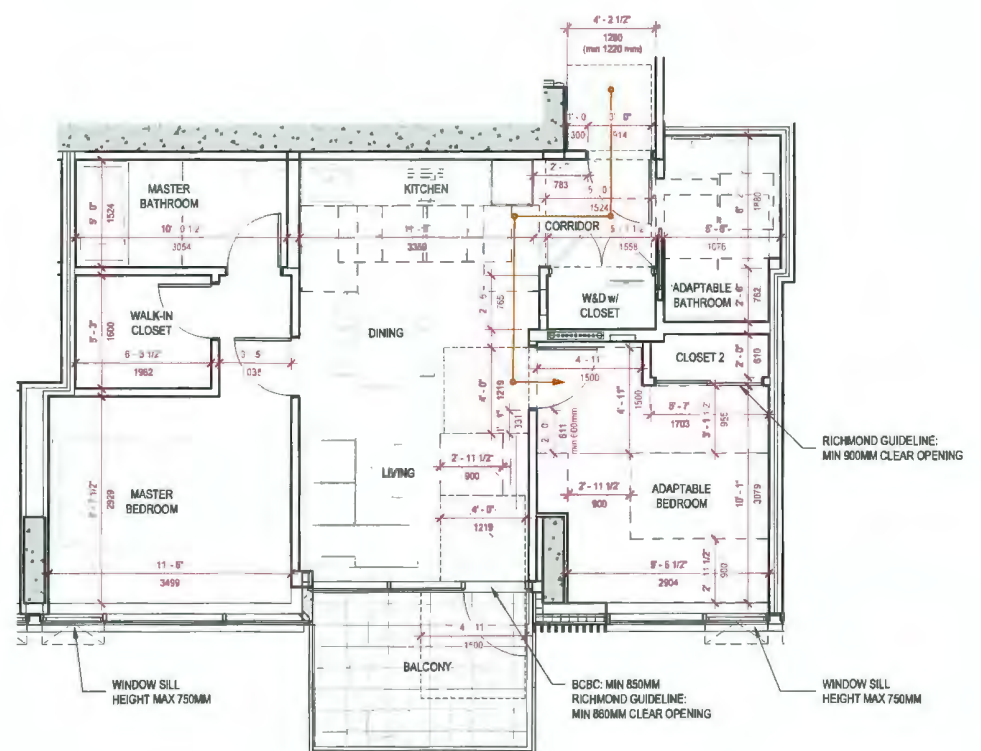
WINDOWS:

- WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750MM ABOVE THE FLOOR TO AFFORD SEATED VIEWING. AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM SHALL AFFORD SUCH SEATED VIEWING.

- WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE OPENING MECHANISMS OPERABLE WITH ONE HAND AND OF A TYPE THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING FOR THE UNIT.

OUTLETS AND SWITCHES:

- LIGHT SWITCHES, ELECTRICAL PANELS AND INTERCOM BUTTONS SHALL BE A MAXIMUM 1220MM FROM THE FLOOR.
- ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED NOT LESS THAN 450MM FROM THE FLOOR.
- THERMOSTATS SHALL BE LOCATED BETWEEN 900MM TO 1350MM FROM THE FLOOR.
- THE OPERABLE PART OF CONTROLS SHALL BE LOCATED WITHIN REACH OF A CLEAR FLOOR AREA THAT HAS A WIDTH OF NOT LESS THAN 750MM.
- LIGHT SWITCHES WILL BE ROCKERS OR PADDLE-TYPE SWITCHES.



UNIT TYPE C5 - 2 BED + 2 BATH ADAPTABLE

UNIT AREA	740 + 20 SF
PATIO/ BALCONY AREA	78 SF

UNIT TYPE C5 - ROOM SCHEDULE

Name	Area
ADAPTABLE BATHROOM	46.20 ft ²
ADAPTABLE BR	115.11 ft ²
C5 KITCHEN DINING LIVING	210.66 ft ²
CLOSET 2	11.04 ft ²
CORRIDOR	27.64 ft ²
MASTER BATHROOM	50.22 ft ²
MASTER BEDROOM	129.79 ft ²
W & D w/ CLOSET	12.78 ft ²
WALK-IN CLOSET	33.80 ft ²
TOTAL	637.24 ft ²

WINDOWS:

- WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750MM ABOVE THE FLOOR TO AFFORD SEATED VIEWING. AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM SHALL AFFORD SUCH SEATED VIEWING.

- WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE OPENING MECHANISMS OPERABLE WITH ONE HAND AND OF A TYPE THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING FOR THE UNIT.

OUTLETS AND SWITCHES:

- LIGHT SWITCHES, ELECTRICAL PANELS AND INTERCOM BUTTONS SHALL BE A MAXIMUM 1220MM FROM THE FLOOR.
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- THERMOSTATS SHALL BE LOCATED BETWEEN 900MM TO 1350MM FROM THE FLOOR.
- THE OPERABLE PART OF CONTROLS SHALL BE LOCATED WITHIN REACH OF A CLEAR FLOOR AREA THAT HAS A WIDTH OF NOT LESS THAN 750MM.
- LIGHT SWITCHES WILL BE ROCKERS OR PADDLE-TYPE SWITCHES.

September 5, 2023
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REV	DATE	DESCRIPTION	REVISION	DRAWING ISSUE	REVIEW
7	2022.12.01	ISSUE FOR CD			
6	2022.12.01	ISSUE FOR BUILDING PERMIT			
5	2022.11.16	ISSUE FOR 75% CD			
4	2022.10.24	CD PROGRESS SET			
3	2022.08.24	CD IN PROGRESS			
2	2022.07.15	100% DESIGN DEVELOPMENT REVISION			
1	2022.05.26	ISSUED FOR 100% DESIGN DEVELOPMENT			

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PERMIT STAMP

SEAL

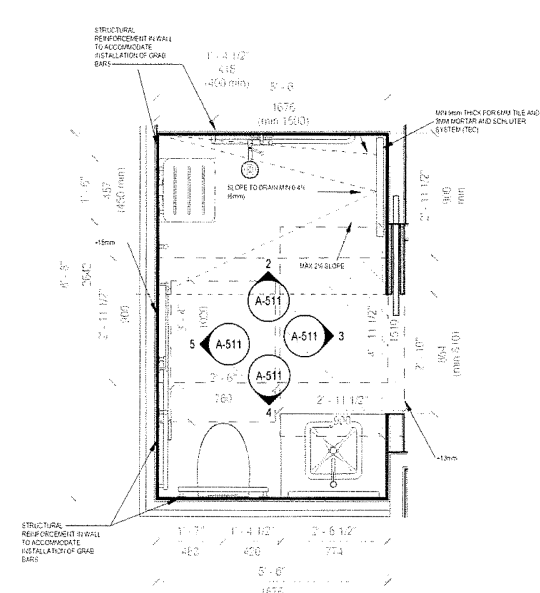
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PROJECT
6333 COONEY ROAD
6333 COONEY ROAD, RICHMOND, B.C.

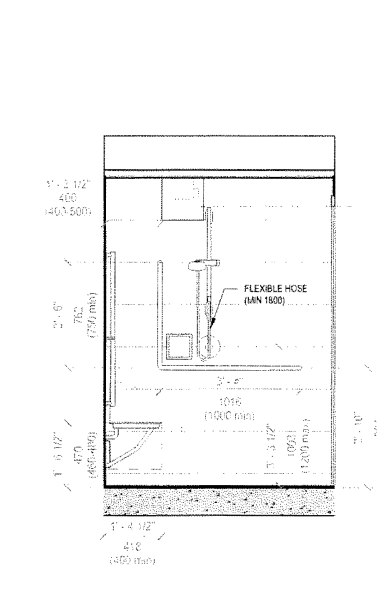
DRAWING TITLE
BATHROOM DETAILS ADAPTABLE

DRAWING ISSUE
ISSUED FOR DEVELOPMENT PERMIT

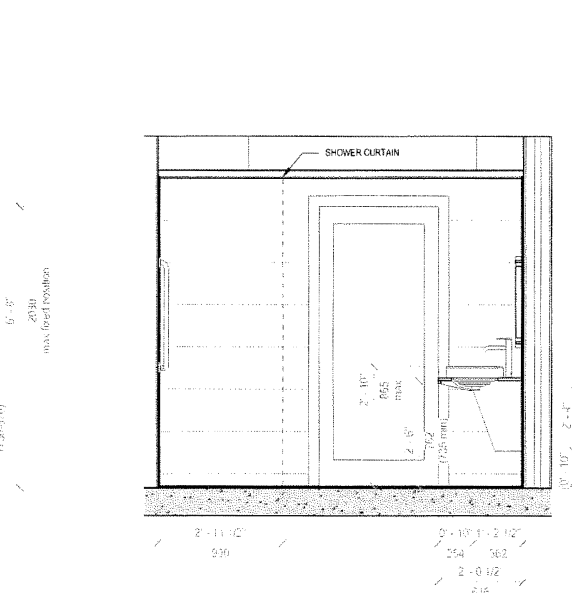
PROJECT NO. 230240	PLOT DATE 2023-09-15	DRAWN Author
SCALE 1:25	REVIEWED	Checker
DRAWING NO. A-531	REVISION 7	



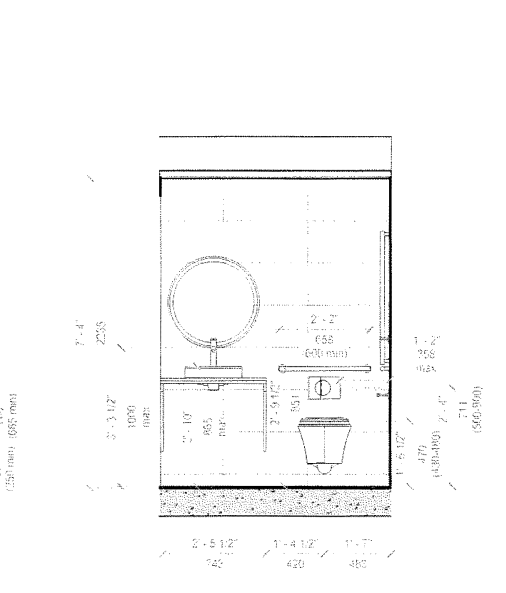
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A-201 SCALE: 1:25



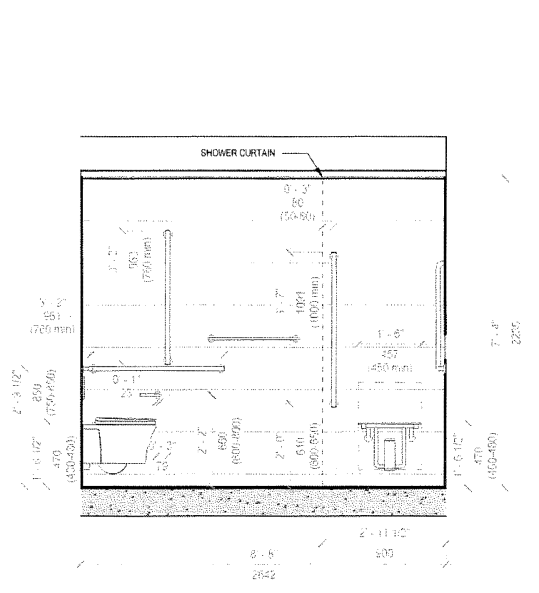
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A-511 SCALE: 1:25



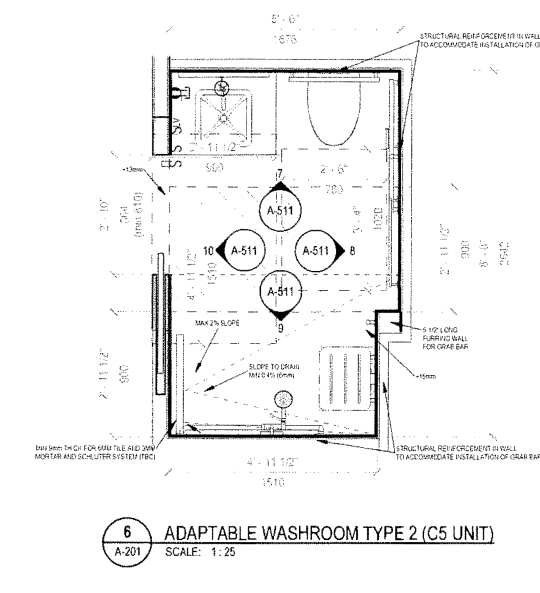
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A-511 SCALE: 1:25



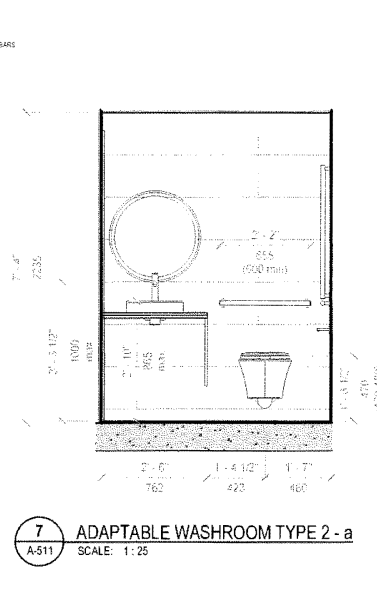
4 ADAPTABLE WASHROOM TYPE 1 - c
A-511 SCALE: 1:25



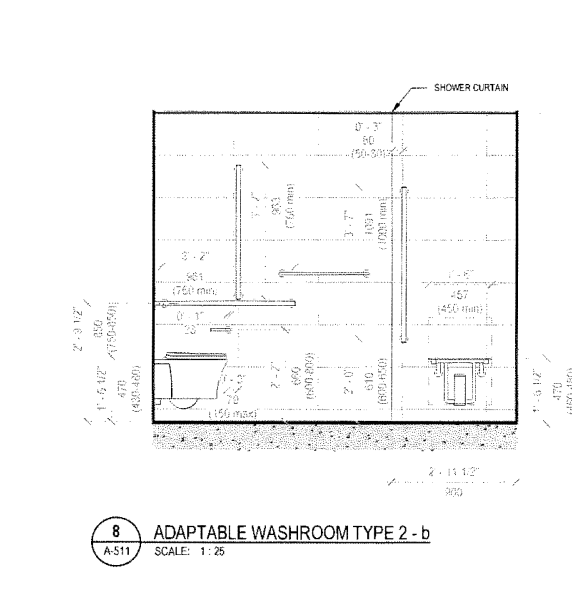
5 ADAPTABLE WASHROOM TYPE 1 - d
A-511 SCALE: 1:25



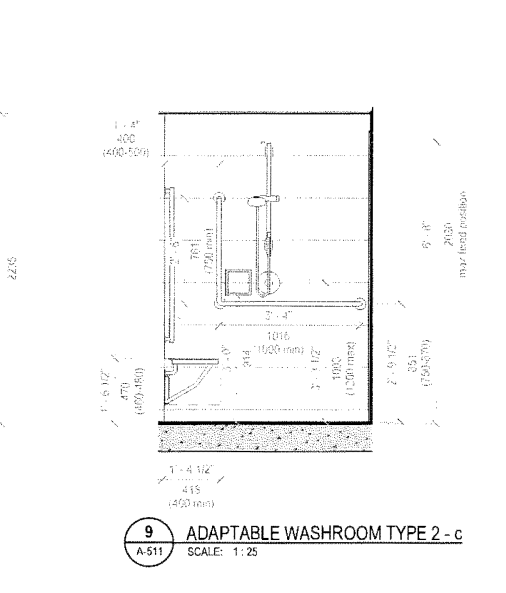
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A-201 SCALE: 1:25



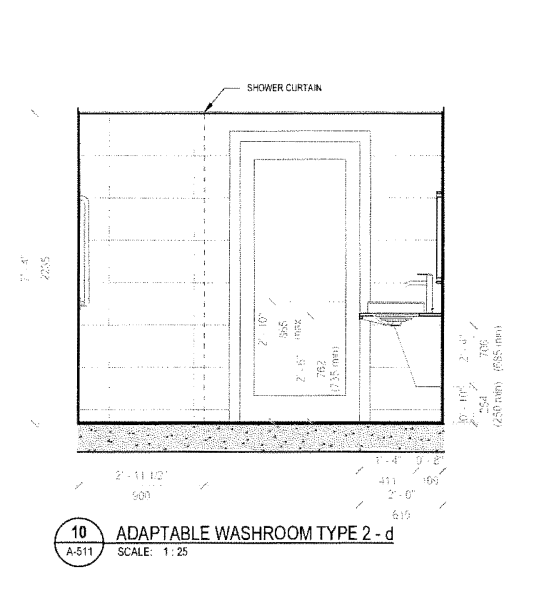
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A-511 SCALE: 1:25



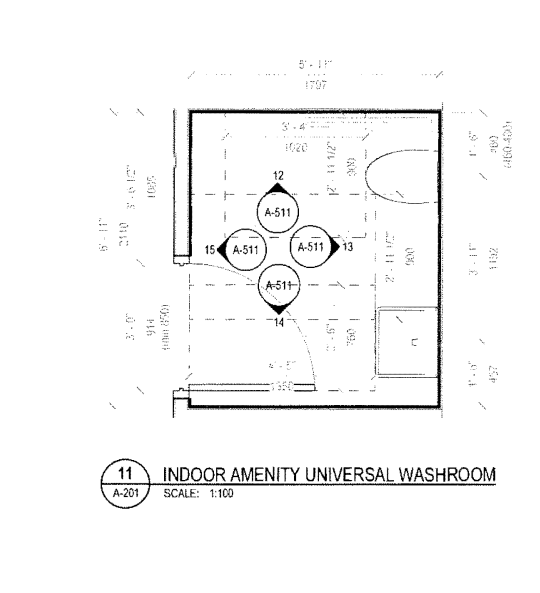
8 ADAPTABLE WASHROOM TYPE 2 - b
A-511 SCALE: 1:25



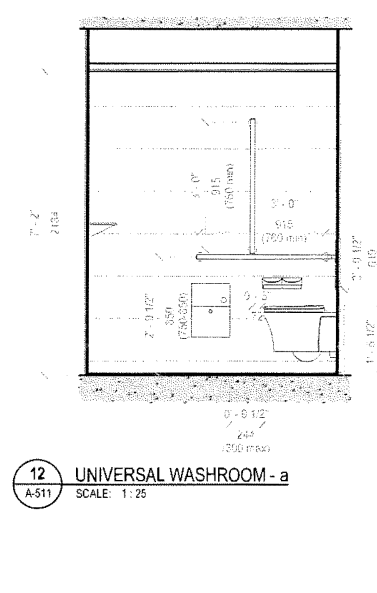
9 ADAPTABLE WASHROOM TYPE 2 - c
A-511 SCALE: 1:25



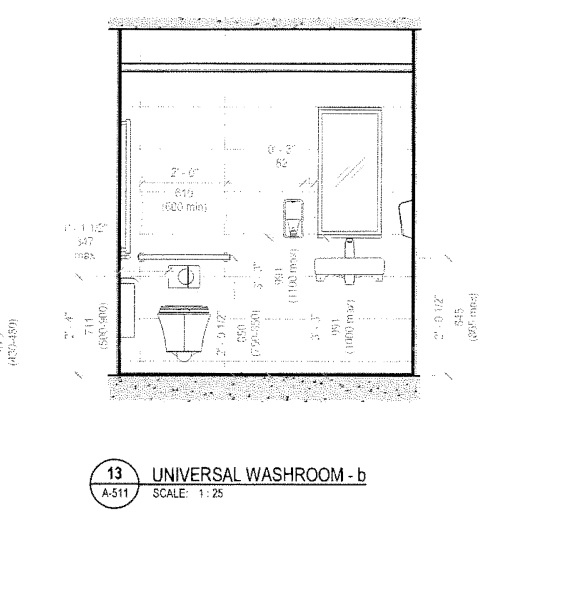
10 ADAPTABLE WASHROOM TYPE 2 - d
A-511 SCALE: 1:25



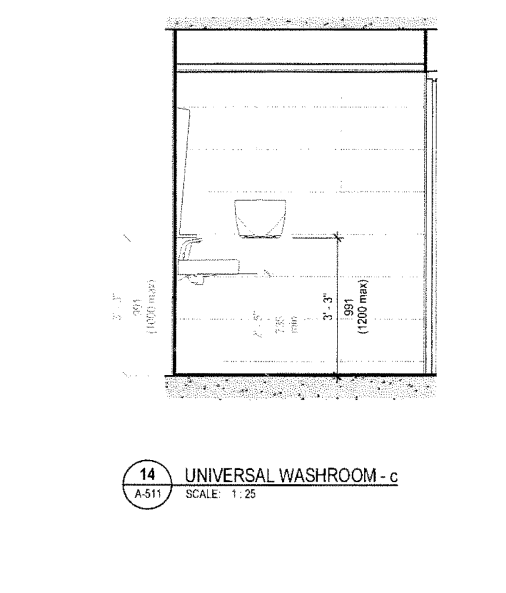
11 INDOOR AMENITY UNIVERSAL WASHROOM
A-201 SCALE: 1:100



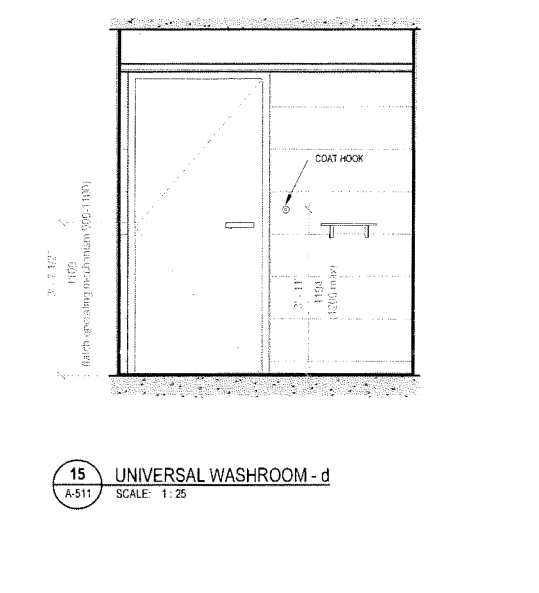
12 UNIVERSAL WASHROOM - a
A-511 SCALE: 1:25



13 UNIVERSAL WASHROOM - b
A-511 SCALE: 1:25

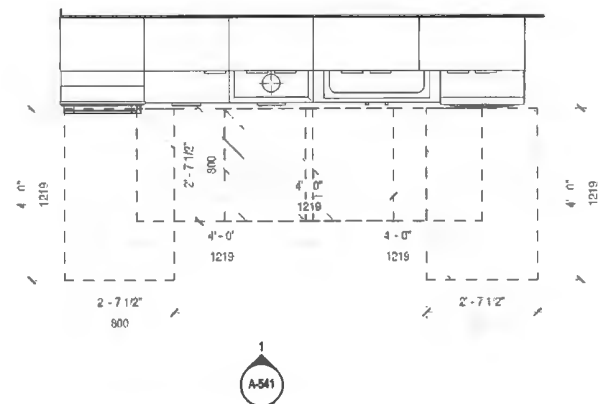


14 UNIVERSAL WASHROOM - c
A-511 SCALE: 1:25

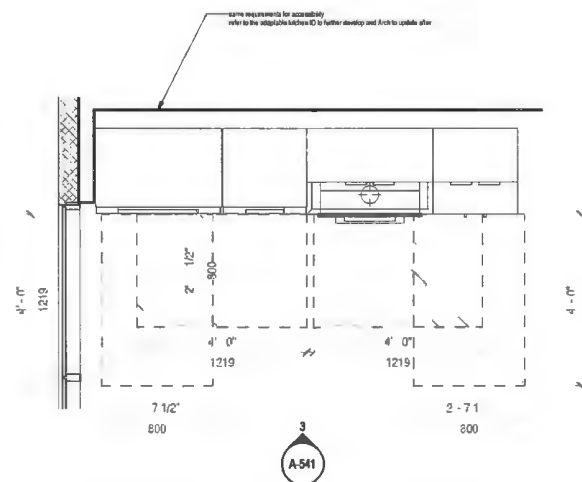


15 UNIVERSAL WASHROOM - d
A-511 SCALE: 1:25

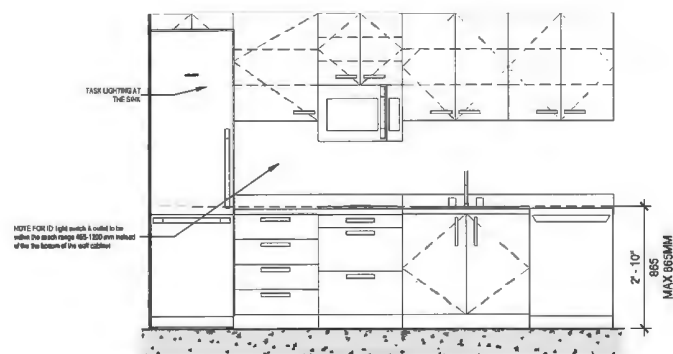
September 5, 2023
DP 22-023105
Plan # 37



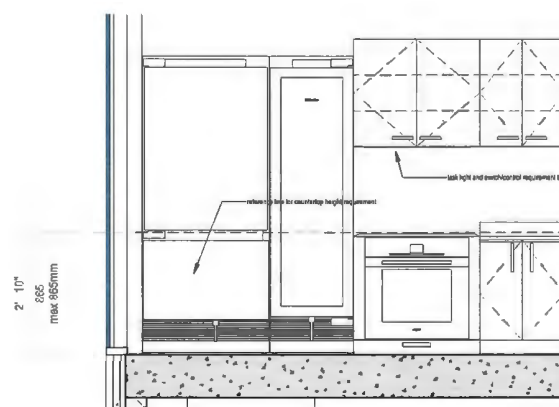
2 TYPICAL 11' KITCHEN PLAN - ADAPTABLE
SCALE: 1:25



4 TYPICAL 10' KITCHEN PLAN - ADAPTABLE - INDOOR AMENITY
SCALE: 1:25



1 TYPICAL 11' KITCHEN ELEVATION - ADAPTABLE
SCALE: 1:25



3 TYPICAL 10' KITCHEN ELEVATION - ADAPTABLE - INDOOR AMENITY
SCALE: 1:25

REV.	DATE	DESCRIPTION	REVISION/DRAWING ISSUE	REVIEW
7	2023 06 09	ISSUED FOR DEVELOPMENT PERMIT		
6	2023 04 17	ISSUED FOR DEVELOPMENT PERMIT		
5	2022 12 21	ISSUE FOR CD REVIEW		
4	2022 12 01	ISSUE FOR BUILDING PERMIT		
3	2022 11 10	ISSUE FOR 75% CD		
2	2022 10 24	CD PROGRESS SET		
1	2022 08 24	CD IN PROGRESS		

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PROJECT

6333 COONEY ROAD

6333 COONEY ROAD, RICHMOND, B.C.

DRAWING TITLE

KITCHEN DETAILS ADAPTABLE

DRAWING ISSUE

ISSUED FOR DEVELOPMENT PERMIT

PROJECT NO.	PLOT DATE	DRAWN	Author
230240	2023-06-15	REVIEWED	Checker
DRAWING NO.	SCALE	REVISION	
A-541	1:25		

OVERALL SITE PLAN

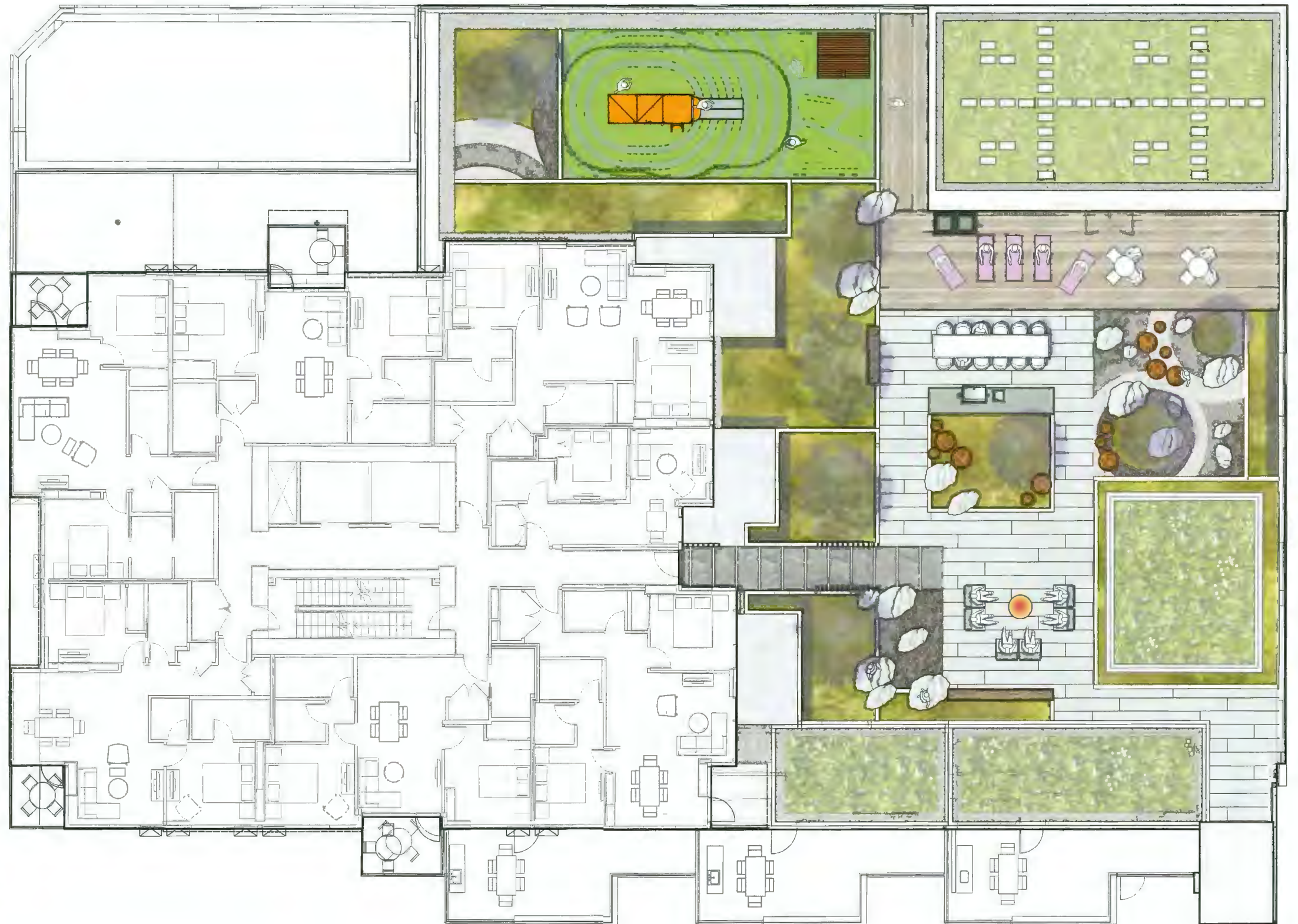
September 5, 2023
DP 22-023105
Plan # 38



SITE PLAN

LEVEL 4 AMENITY DECK

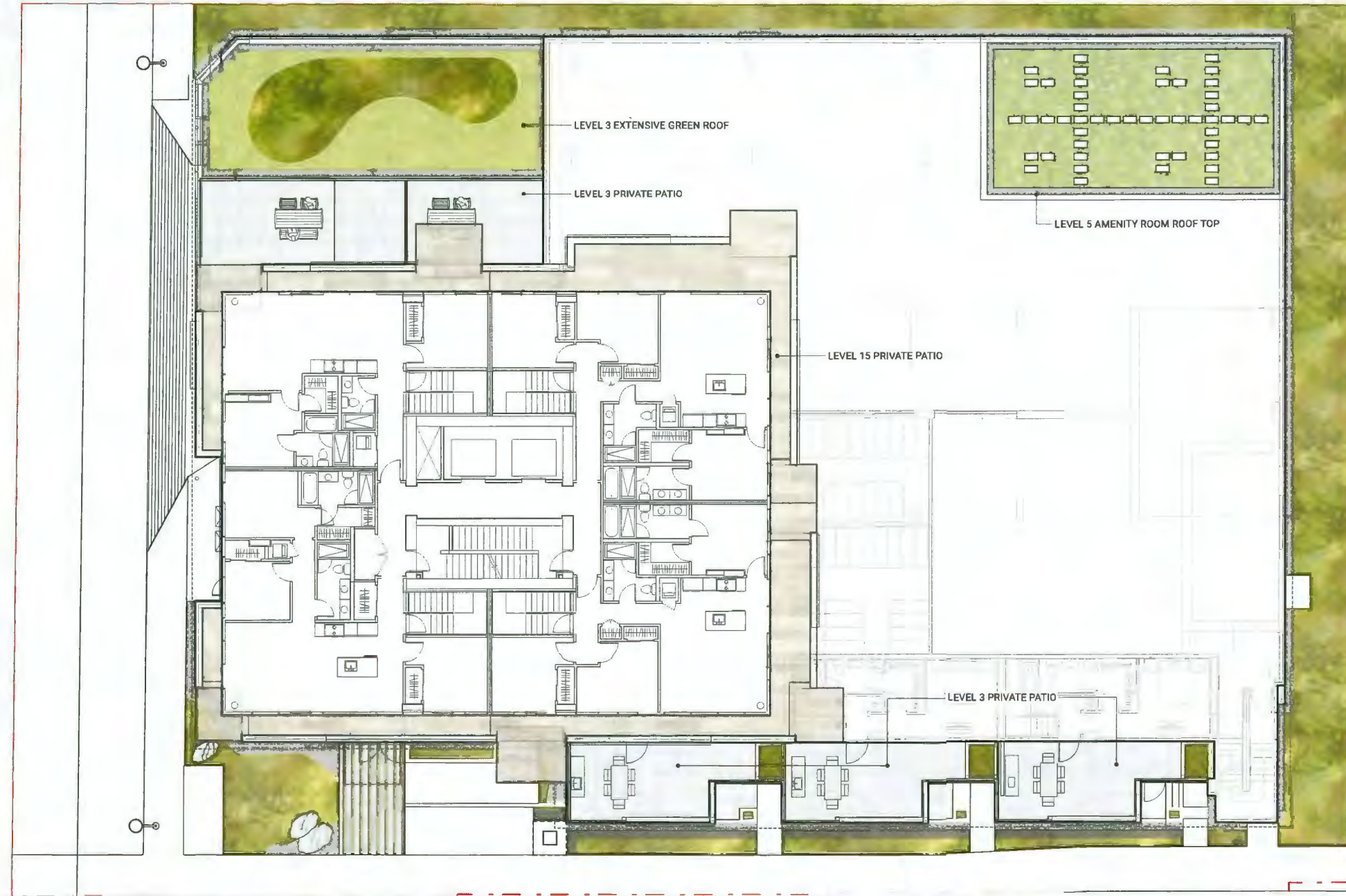
September 5, 2023
DP 22-023105
Plan # 39



OVERALL SITE PLAN

LEVEL 3, 5 & 14

September 5, 2023
DP 22-023105
Plan # 40



COONEY ROAD



OVERALL SITE PLAN
LEVEL 15

September 5, 2023
DP 22-023105
Plan # 41



COONEY ROAD



PLANTING DESIGN

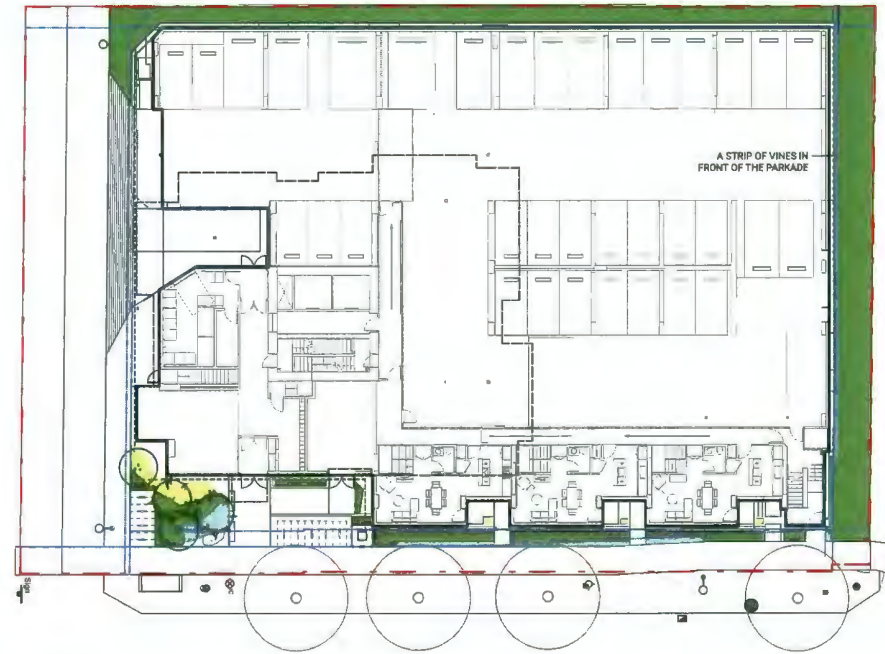
PLANTING PALETTE

September 5, 2023
 DP 22-023105
 Plan # 42

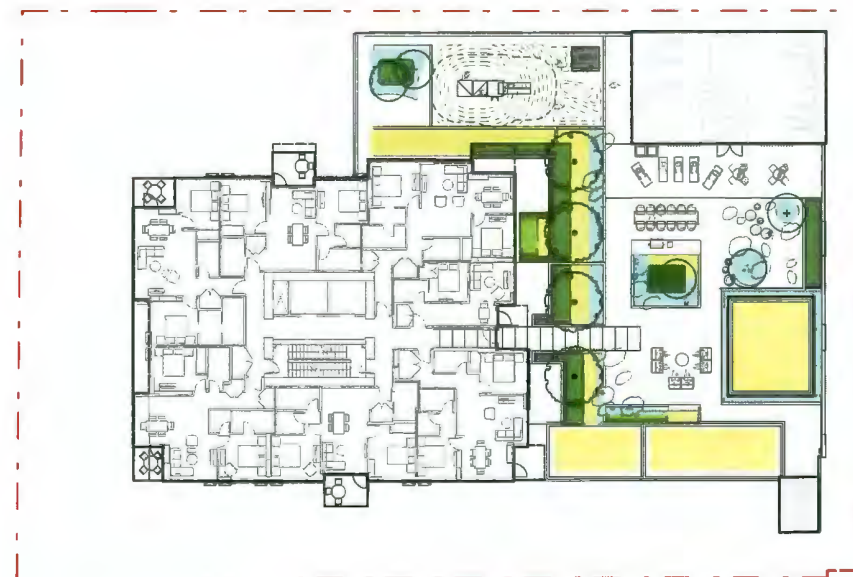
PLANTING LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
ONSITE				
TREES				
AP	7	ACER PALMATUM 'OSAKAZUKI'	JAPANESE MAPLE	8CM CAL. B&B, MULTI-STEM
CK	3	CORNUS KOUSA	KOUSA DOGWOOD	8CM CAL. B&B, MULTI-STEM
PT	3	PINUS THUNBERGII 'THUNDERHEAD'	JAPANESE BLACK PINE	4M HT.
PS	4	PRUNUS SARGENTII 'RANCHO'	CHERRY TREE	8CM CAL.
SP	2	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	8CM CAL.
HEDGE				
39		TAXUS X MEDIA 'HICKSI'	YEW HEDGE	1.2 M HT. 600MM O.C.
39		LONICERA NITIDA	HONEYSUCKLE HEDGE	#5 POT 600MM O.C.
SHRUBS				
104		AZALEA JAPONICA 'HINO WHITE'	HINO WHITE AZALEA	#2 POT 600MM O.C.
104		DEUTZIA GRACILIS 'NIKKO'	SLENDER DEUTZIA	#2 POT 600MM O.C.
276		GAULTHERIA SHALLOON	SALAL	#1 POT 300MM O.C.
66		LONICERA PILEATA	BOX-LEAF HONEYSUCKLE	#3 POT 750MM O.C.
104		NANDINA DOMESTICA 'MOON BAY'	HEAVENLY BAMBOO	#2 POT 600MM O.C.
66		SKIMMIA JAPONICA	JAPANESE SKIMMIA	#3 POT 750MM O.C.
104		VACCINIUM OVATUM 'THUNDERBIRD'	EVERGREEN HUCKLEBERRY	#2 POT 600MM O.C.
FERNS				
8		ATHYRIUM OTOPHORUM	LADY FERN	#2 POT 450MM O.C.
8		BLECHNUM SPICANT	DEER FERN	#2 POT 450MM O.C.
10		POLYSTICHUM MUNITUM	SWORD FERN	#2 POT 450MM O.C.
GRASSES				
35		HAKONECHLOA MACRA 'ALL GOLD'	JAPANESE FOREST GRASS	#2 POT 600MM O.C.
35		IMPERATA CYLINDRICA 'RED BARON'	JAPANESE BLOOD GRASS	#2 POT 600MM O.C.
35		OPHIPOGON JAPONICUS	GREEN MONDO GRASS	#2 POT 600MM O.C.
35		PENNISETUM ORIENTALE 'KARLEY ROSE'	FOUNTAIN GRASS	#2 POT 600MM O.C.
GROUNDCOVERS, PERENNIALS, VINES				
48		ARCTOSTAPHYLOS UVA-URSI	KINNIKINICK	#1 POT 300MM O.C.
60		AKEBIA QUINATA	CHOCOLATE VINE	#1 POT 300MM O.C.
21		IRIS TENAX	OREGON IRIS	#1 POT 450MM O.C.
21		MAHONIA REPENS	CREeping OREGON GRAPE	#2 POT 450MM O.C.
24		OXALIS OREGANA	REDWOOD SORREL	#1 POT 300MM O.C.
60		LONICERA CILIOSA	ORANGE HONEYSUCKLE	#1 POT 300MM O.C.
24		PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT 300MM O.C.
48		PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	#1 POT 300MM O.C.
LIVEROOF EXTENSIVE GREEN ROOF PRE-GROWN TRAY SYSTEM				
299		ACHILLEA MILLEFOLIUM	COMMON YARROW	
sqm		ALLIUM CERNUM	NODDING ONION	
		ASTER SUBSPICATUS	DOUGLAS ASTER	
		BRODIAEA HYACINTHINA	FOOLS ONION	
		CAMASSIA QUAMISH	COMMON CAMMAS	
		CAREX PANSA	DUNE SEDGE	
		FRAGARIA CHILOENSIS	COASTAL STRAWBERRY	
OFF-SITE				
OFF-SITE TREES TO CITY OF RICHMOND STANDARD				
OFF-SITE LAWN TO CITY OF RICHMOND STANDARD				

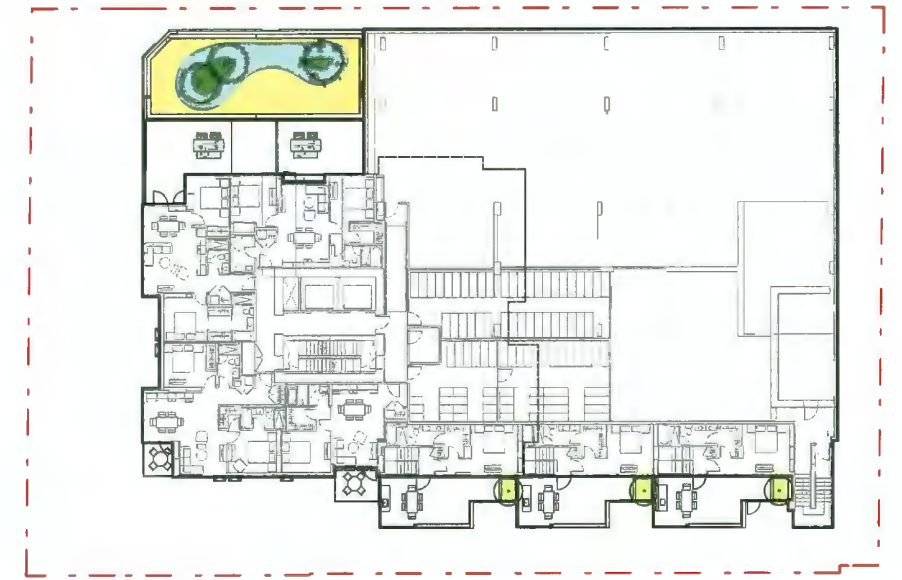
LEVEL 1



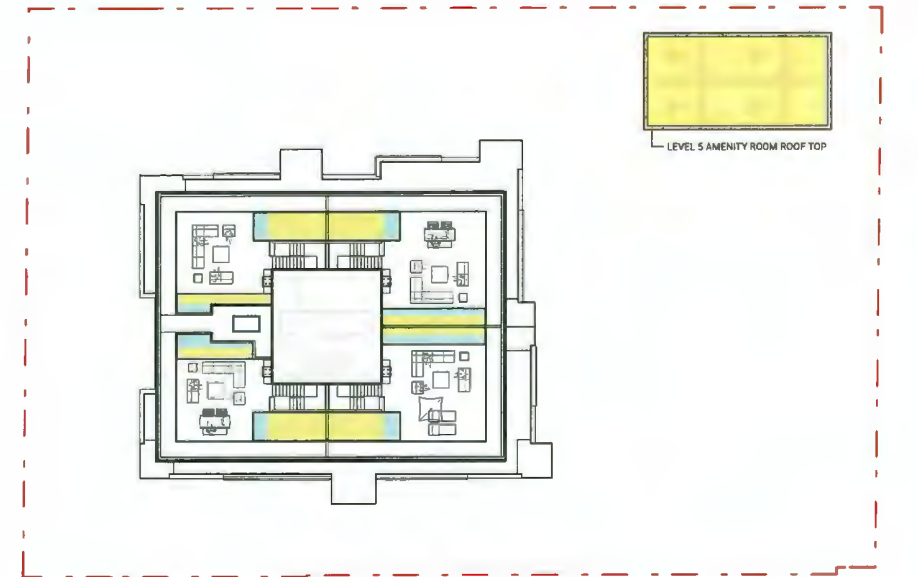
LEVEL 4



LEVEL 3



LEVEL 5 & 15



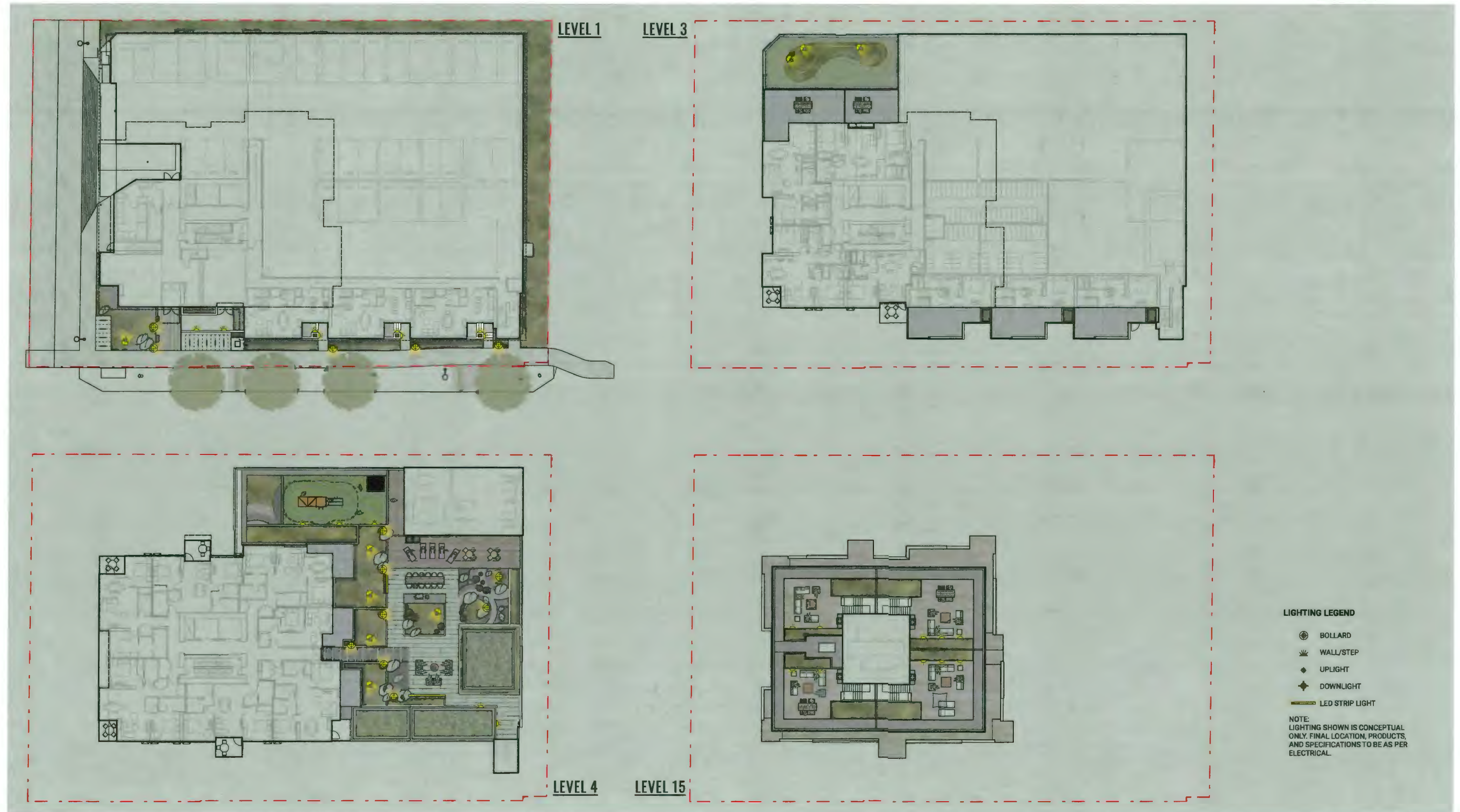
PLANTING DESIGN
REPRESENTATIVE PLANT

September 5, 2023
DP 22-023105
Plan # 43



LIGHTING CONCEPT

September 5, 2023
DP 22-023105
Plan # 44

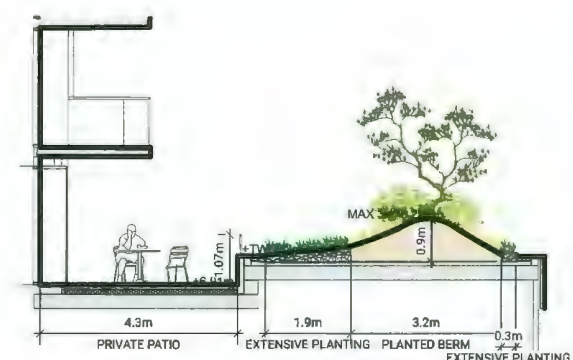


SECTIONS

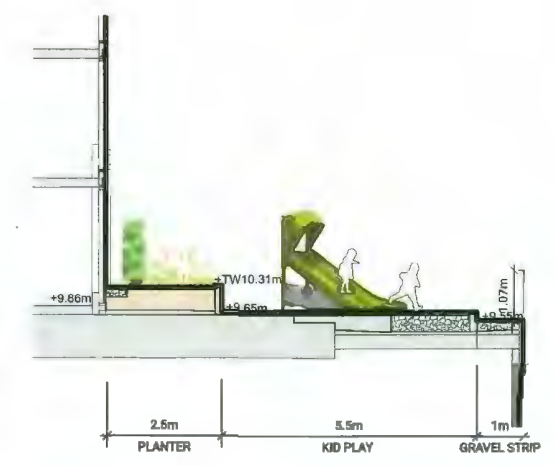
September 5, 2023
 DP 22-023105
 Plan # 45



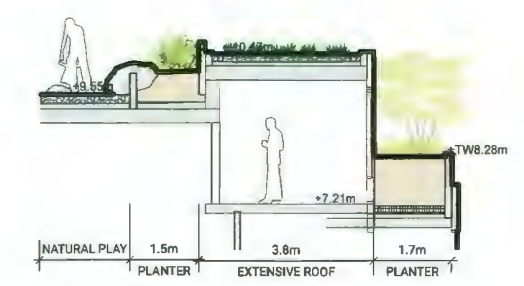
1 LV1 TH /LV3 PATIO
1:75



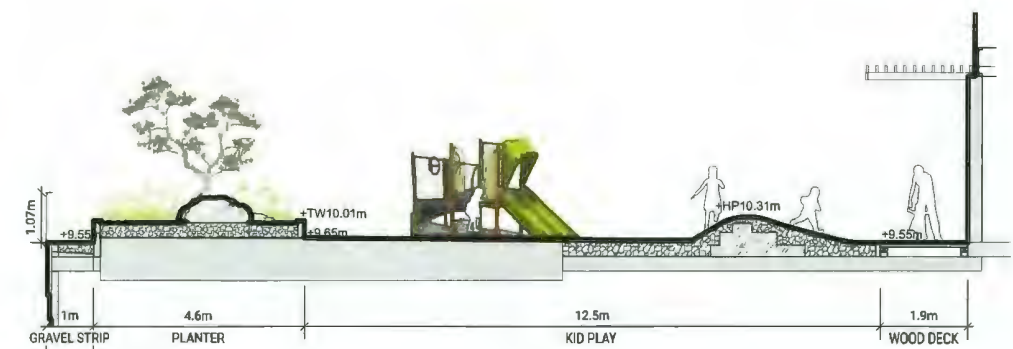
2 LV3 PATIO
1:75



3 LV4 KID PLAY
1:75



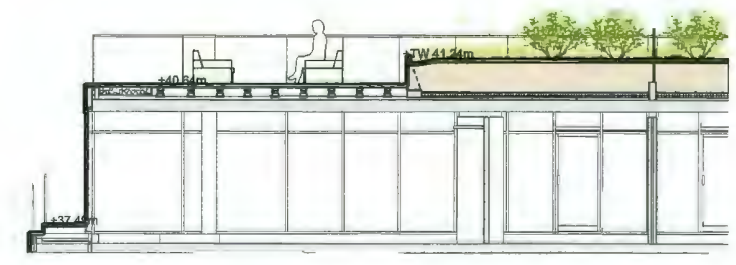
4 LV4 AMENITY EAST
1:75



5 LV4 KID PLAY
1:75



6 LV4 HEAT PUMP
1:75



7 LV ROOF AMENITY
1:75



8 Section 1 - LV4 AMENITY
1:75

