



# City of Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** August 25, 2020

**From:** Wayne Craig  
Director, Development

**File:** DP 18-829141

**Re:** **Application by Townline Ventures Inc. for a Development Permit at 5591, 5631, 5651 and 5671 No. 3 Road**

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### Staff Recommendation

That a Development Permit be issued which would permit the construction of a high-density, mixed-use development consisting of three residential towers and a mid-rise building that includes 363 residential units and 20 low-end market rental units, and an office tower over a single storey mixed-use podium with street oriented commercial, retail and community amenity uses at ground level at 5591, 5631, 5651 and 5671 No. 3 Road.

A handwritten signature in black ink, appearing to read "Wayne Craig".

Wayne Craig  
Director, Development  
(604-247-4625)

WC:dn

Att.

## Staff Report

### Origin

Townline Ventures Inc. (on behalf of the property owners Townline No. 3 Road Holdings Ltd., Can Lit Development Holding Inc., and City of Richmond) has applied to the City of Richmond for permission to develop a high-density, mixed-use development at the center of Lansdowne Village. The authorized directors for Townline No. 3 Road Holdings Ltd., and Can Lit Development Holding Inc., are Richard Ilich and Bryce Margetts respectively. The subject site is comprised of four properties (5591, 5631, 5651 and 5671 No. 3 Road) that are located at the northwest intersection of No. 3 Road and Lansdowne Road.

The developer proposes to construct three 15-storey residential towers, a mid-rise residential building, and a 12-storey office building over a mixed-use podium, which would include:

- A total floor area of approximately 36,167.8 m<sup>2</sup> (389,306 ft<sup>2</sup>) comprised of approximately:
  - 7,279 m<sup>2</sup> (78,351 ft<sup>2</sup>) of office space within proposed Building 3.
  - 27,134 m<sup>2</sup> (292,070 ft<sup>2</sup>) of residential space within proposed Building 1, 2, and 4 including 20 Low End Market Rental (LEMR) Affordable Housing (AH) units that will be secured with a legal agreement as a condition of rezoning bylaw adoption.
  - 1,713 m<sup>2</sup> (18,446 ft<sup>2</sup>) of retail/commercial space within a one-storey podium including 558 m<sup>2</sup> (6,000 ft<sup>2</sup>) of City-owned community amenity floor area.
  - 2,912 m<sup>2</sup> (31,344 ft<sup>2</sup>) of outdoor and 786 m<sup>2</sup> (8,460 ft<sup>2</sup>) of indoor common amenity space.
- Four parking levels, including two levels of parking below grade.

The site is being rezoned from "Office Commercial (ZC8)", "Office Commercial (ZC9)" and "Auto-Oriented Commercial (CA)" to "High Density Mixed Use (ZMU38) - Lansdowne Village (City Centre)" under Bylaw 9860 (RZ 17-779262), which received Third Reading on September 4, 2018. Considerations of rezoning include:

- Acquisition of a City-owned lot at 5671 No. 3 Road and transfer back to the City of a portion of the property to create a 10 m (32 ft.) wide linear park along the site's Lansdowne Road frontage. The park is part of a longer linear park, Lansdowne Linear Park, which is being incrementally introduced and will provide connection between the Richmond Oval and the Garden City Lands. Through a separate Servicing Agreement process, the applicant will work with staff to develop the park design and will be responsible for construction of the park.
- Design, construction and transfer of ownership to the City of a 558 m<sup>2</sup> (6,000 ft<sup>2</sup>) on-site community amenity space.
- Cash-in-lieu contributions to child care and community facilities.
- Design and construction of infrastructure improvements through a Servicing Agreement (SA) including:
  - Widening of an existing lane to create a new north-south road.
  - Improvements to Lansdowne Road and No. 3 Road.
  - New and/or upgraded utilities on all street frontages.

- Design, construction and transfer of ownership of an on-site low carbon energy plant to the City, at no cost to the City.
- Pre-ducting for and/or undergrounding of private utility lines and relocation of all private utility equipment on-site.

### **Development Information**

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant bylaw requirements.

### **Surrounding Development**

The subject site is comprised of four properties (5591, 5631, 5651 and 5671 No. 3 Road) that are located at the northwest intersection of No. 3 Road and Lansdowne Road. The lots are currently developed with low/medium scale commercial and office development with surface parking.

The subject site is located in the Lansdowne Village in the City Centre Area Plan (CCAP) and is in an area that is designated “Urban Core T6 (45 m)” and “Village Centre Bonus (VCB)” (Attachment 3). The applicant’s proposal is consistent with the site’s existing designations. Development surrounding the subject site is as follows:

- To the North: At 5551 No. 3 Road, low-scale commercial development. The site is zoned “Auto-Oriented Commercial (CA)” and designated “Urban Core T6” and “Village Centre Bonus (VCB)” in the Lansdowne Village Specific Land Use Map of the City Centre Area Plan. Further to the north, a future new east-west road and 5191 No. 3 Road, which was recently rezoned and a Development Permit issued (RZ 15-0692485, DP 16-740262) to permit a mixed-use development that includes one office tower, six residential towers, and commercial uses at ground level. The site is zoned “City Centre High Density Mixed Use (ZMU34) – Lansdowne Village” and designated “Urban Core T6” and “VCB” in the Lansdowne Village Specific Land Use Map of the City Centre Area Plan (CCAP).
- To the East: Across No. 3 Road, Lansdowne Canada Line station and Lansdowne Centre shopping mall, which has submitted an Official Community Plan (OCP) amendment application to reorganize the existing permitted land use designations that apply to the site (CP 15-717017). This application is in process and is being considered by Council through a separate series of reports. The property is zoned “Auto-Oriented Commercial (CA)” and designated “Urban Core T6”, “Urban Centre T5”, “VCB” and “Major Park” in the Lansdowne Village Specific Land Use Map of the CCAP.
- To the South: Across Lansdowne Road, existing low and medium scale commercial development. The properties are zoned “Auto-Oriented Commercial (CA)” and designated “Urban Core T6” and “VCB” in the Lansdowne Village Specific Land Use Map of the CCAP.
- To the West: Across the existing City lane, existing low-rise commercial and light industrial development with surface parking and a rezoning application (RZ 16-744658) at 5520, 5560 and 5660 Minoru Boulevard to permit development of four residential

towers and ground floor commercial uses, which is being reviewed by staff. This application is in process and will be the subject of a separate report to Council. The properties are zoned “Industrial Retail (IR1)” and designated “Urban Centre T5” and “Park” in the Lansdowne Village Specific Land Use Map of the CCAP.

### **Rezoning and Public Hearing Results**

The Public Hearing for the rezoning of this site was held on September 4, 2018. One written submission expressing concern about residential densification within the City Centre was received. The proposed land uses and density are consistent with the subject site’s designation in the CCAP.

### **Staff Comments**

The proposed development scheme attached to this report has satisfactorily addressed the urban design issues identified as part of the Development Permit application review process. It complies with the intent of the applicable sections of the OCP and CCAP Development Permit Guidelines and complies with the site’s proposed “High Density Mixed Use (ZMU38) - Lansdowne Village (City Centre)” zoning.

### **Advisory Design Panel Comments**

The Advisory Design Panel (ADP) reviewed the proposal and was supportive of the proposed form and character subject to the applicant undertaking further design development in response to their comments. The current proposal incorporates the following updates:

- The building material proposed for the angled edges of the office building have been changed in response to glare and reflection concerns to a less reflective and more transparent glass.
- The designated children’s outdoor play area has been relocated to a southern portion of the podium to increase exposure to natural sunlight.
- A pedestrian breezeway is proposed on either side of the office tower building to provide ground level access to bicycle and vehicle parking (from Lansdowne Road and No. 3 Road). The breezeway design has been updated to incorporate gates in accordance with Crime Prevention Through Environmental Design (CPTED) principles to secure the space outside of regular business hours.
- The ground level landscape design proposed on the southern portion of the site has been updated to coordinate with landscape design elements that are proposed for the future new linear park. The applicant is responsible for design and construction of the park and will work with staff through a separate Servicing Agreement process to develop the design.
- End of trip bicycle facilities have been added to the development to encourage cycling.
- Venting details have been developed. To minimize impact on the public realm, mechanical vents have been incorporated into the podium soffit. Louvers on the building façade are limited to the north corner of the west elevation (Building 2), the north corner of the east elevation (Building 4), and the mechanical enclosure on the roof of Building 1.



A copy of the relevant excerpt from the November 8, 2018 ADP Minutes is attached for reference (Attachment 4). The applicant's design responses are provided in 'bold italics' immediately following each Panel comment.

## **Analysis**

### ***Development Proposal Description***

The development proposal includes three 15-storey residential towers, a mid-rise building, and a 12-storey office building over a mixed-use podium. The development will include an on-site community amenity space at ground level, which will be transferred to the City. The community amenity space is intended to provide two independent spaces (372 m<sup>2</sup> and 186 m<sup>2</sup>) that will be leased out by the City, at the City's discretion. Two levels of parking are proposed below grade with two additional parking levels concealed within the building podium. A 10 m (32 ft.) wide linear park will be introduced along the subject site's southern edge abutting Lansdowne Road.

### ***Conditions of Adjacency***

*Public Adjacencies:* The proposed development includes street-animating commercial and community amenity uses, as well as tower lobbies along the subject site's three road frontages. These uses are located in a single-storey, commercial-height podium. Above the podium, the proposed development includes four tower forms and one mid-rise building. The combination of a low-podium and the proposed tower arrangement will create a point of visual interest at the centre of Lansdowne Village and a distinct retail streetscape. Daylight access to the public realm will be increased by limiting the podium height to a single commercial height storey. The low landscaped podium will maximize views to green space for adjacent and nearby buildings.

*Private Adjacency:* The applicant was unable to acquire the adjacent northern property (5551 No. 3 Road). As part of the associated rezoning application review process (RZ 17-779262), the applicant provided a development concept for the site to demonstrate that it may be developed in accordance with the OCP/CCAP and tower separation guidelines. The proposed north elevation anticipates that development of the northern adjacent property will include a high parking podium along the shared property line.

### ***Urban Design and Site Planning***

#### ***Streetscape/Public Realm***

- Through the associated rezoning process, a series of dedications and improvements will be secured to enhance the public realm. These improvements include:
  - Designing, constructing and transferring a 10 m (32 ft.) wide linear park to the City. The Lansdowne Road frontage will be defined by the introduction of a section of Lansdowne Linear Park. The preliminary concept plans for the back of curb and linear park improvements have been provided for context in the attached plan series. Further development of the design will be undertaken through a separate Servicing Agreement (SA) process. The cross section includes a 1.5 m (5 ft.) wide boulevard, a 3.0 m (9 ft.) wide multi-use pathway, a 1.0 m (3 ft.) wide buffer strip, a 2.0 m (6 ft.) wide sidewalk and an additional 8.0 m (26 ft.) wide hard and soft landscaped public space. Although the on-site ground level landscape plans for the subject site have been designed to coordinate with the linear park design, minor adjustments to the proposed on-site

landscape design may be warranted to ensure appropriate transitions between the on-site and off-site areas of the development’s frontages.

- Replacing the existing rollover curb of the existing bike lane abutting the site’s No. 3 Road frontage with a barrier curb to better protect cyclists from traffic and to increase the effective width of the bike lane.
- Widening the existing City lane to introduce a segment of a new north/south road along the west side of the subject site. The ultimate design will include additional vehicle lanes, a parking lane and a boulevard and sidewalk. The preliminary road functional plan was prepared as part of the associated rezoning application review process.

*Pedestrians*

- The subject site is bound on three sides by roads (a new north/south road, Lansdowne Road, and No. 3 Road) with active uses and weather protection lining the frontages.
- Frontages are interrupted by pedestrian accesses to commercial storefronts, the community amenity, and lobbies for the office and residential towers. A pedestrian breezeway is proposed on either side of the office tower building to provide ground level access to bicycle and vehicle parking (from Lansdowne Road and No. 3 Road).
- The office tower and its main lobby entrance are located at the southeast corner of the site next to the No. 3 Road and Lansdowne Road intersection to encourage pedestrian connectivity to Lansdowne Station, which is located across the street.

*Vehicle Access*

- Vehicle, loading and waste management access is provided through a single parkade entrance that is located at the north end of the site from the new north/south road to minimize its visibility and interruptions of the pedestrian realm along the streets.

*Parking and Loading*

The proposed number and size of bicycle and truck spaces are consistent with the site specific bylaw provisions. The proposed number of vehicle parking spaces is consistent with zoning bylaw provisions, which support reducing the on-site parking requirement by up to 10% conditional to implementation of Transportation Demand Management (TDM) measures to the satisfaction of Transportation staff.

- Vehicles: Proposed vehicle parking for the commercial, office and community amenity space uses is located on the ground level, the second above grade level and the second below grade level of the parkade. Proposed vehicle parking for the residents is located in the first and second below grade levels of the parkade. Visitor parking will be shared with the commercial parking. A minimum of twenty (20) parking stalls will be secured for the City amenity space as outlined in Table 1.

Table 1: City exclusive use parking specifications

	Number of stalls required	Length	Width	Shared aisle
Accessible	1	5.5 m	2.5 m	1.5 m
Van accessible	4 (at ground level)	5.5 m	3.4 m	1.5 m
Standard	15	5.5 m	2.5 m	-

- Bicycles: Class 1 (long term) bicycle parking is provided in the below grade levels of the parkade. Visitor bicycle parking is provided at ground level, the first level of below grade parking and within the above grade parking level.
- Loading: The loading spaces are located on the ground level within the parkade and will accommodate five medium size spaces. The spaces will be shared between non-residential and residential loading and waste management uses. Two of the spaces are designed to accommodate the height and width clearances that are required by collection vehicles.
- Special Provisions: A designated Handi-Dart drop-off/pick-up space will be provided along the new north/south road. It will be located within immediate proximity of the entrance to the City-owned community amenity space. Design details will be finalized through the Servicing Agreement (SA) process.
- Transportation Demand Management (TDM): The applicant has requested a 2% TDM reduction of residential parking and proposes to provide end of trip facilities for the office and commercial uses, a bike repair/work lounge area on level 2 for use by residents, and a surplus of secured bike parking.
- Electric Vehicle (EV) Charging Infrastructure: In accordance with the Richmond Zoning Bylaw, all residential parking spaces will have access to an energized outlet capable of providing Level 2 charging. The same charging provisions will be provided for all non-residential parking spaces on the first level of below grade parking. Twenty five (25) percent of the remaining non-residential parking spaces will have access to an energized outlet. Bike storage rooms will include 2 electric outlets for electric bike charging.

#### *Waste Management*

The waste and recycling collection area includes four separate rooms (City amenity, office, retail, and residential collection) that are adjacent and accessible from the loading area in the ground level parkade.

#### *Wayfinding*

A signage strategy for the development is in the file; however, separate sign permit application(s) will be required to install commercial signage. The signage strategy is supplementary to site planning, building massing, public art, and building materials (colors, textures, illumination), which were designed to safely guide people through and to the various on-site uses.

#### *Common Indoor Amenity Space*

Indoor amenity space is proposed for both the residential uses and the office uses.

- Residential: A total of 786 m<sup>2</sup> (8,465 ft<sup>2</sup>) residential common indoor amenity space is proposed and exceeds OCP guidelines. The common indoor amenity space is distributed within a proposed low rise building that links Building 3 and 4 and a bike lounge/workshop located on level 2. Two guest suites are proposed within Building 3 on level 4 and are included in the indoor amenity space calculation. As a consideration of Development Permit issuance, the property owner will register an agreement on title to secure equal access for all residents, including occupants of the Affordable Housing (AH) units, to the amenities (fitness centre, party rooms, co-working space, practice and meeting rooms, sauna units and guest suites).

- **Office:** Approximately 90m<sup>2</sup> (968 ft<sup>2</sup>) of office indoor amenity space is proposed. There is no guideline expectation for non-residential indoor amenity space and the area is not excludable from the floor area calculations. The proposed space is located at the podium level within the office tower.

*Affordable Housing (AH) Strategy*

Twenty Low End Market Rental Housing (LEMR) units, with a combined net floor area of approximately 1,362 m<sup>2</sup> (14,660 ft<sup>2</sup>), are proposed, which is consistent with the rezoning considerations requirements. The units will be distributed as noted on the Development Permit (DP) drawings on levels three to six within the residential component of the development, and will be secured with a Housing Agreement that includes provisions to secure access to indoor and outdoor common amenity areas and parking for AH units at no additional charge. Use of guest suites may be subject to fees.

Table 2: Affordable Housing Summary

Unit Type	Affordable Housing Strategy Requirements			Development Proposal		
	Minimum Unit Sizes	Current LEMR Maximum Rents*	Total Maximum Household Income*	Unit Mix	# of Units	# Basic Universal Housing (BUH) units
Bachelor	37 m <sup>2</sup> (400 ft <sup>2</sup> )	\$811	\$34,650 or less	10%	2	2
1-Bedroom	50 m <sup>2</sup> (535 ft <sup>2</sup> )	\$975	\$38,250 or less	25%	5	2
2-Bedroom	69 m <sup>2</sup> (741 ft <sup>2</sup> )	\$1,218	\$46,800 or less	40%	8	2
3-Bedroom	85 m <sup>2</sup> (924 ft <sup>2</sup> ), consistent with market units of the same type.	\$1,480	\$58,050 or less	25%	5	5
TOTAL		N/A	N/A	100%	20	11

\* Subject to Council approval, total annual household incomes and maximum monthly rents may be increased annually by the Consumer Price Index.

**Architectural Form and Character**

*Massing*

- The proposed building massing is organized to reflect the on-site uses. Commercial and community amenity uses are proposed at grade while office and residential uses are proposed within separate building towers. More than 75% of the parking is located below grade, which facilitates the proposed low podium height and expression of distinct tower forms.
- A rectangular tower is located at each corner of the subject site. The placement of the tower buildings alternate narrow and wide façades facing the street to maximize separation between on-site building towers and to introduce variety along the subject site’s street frontages.
- The northern towers (Building 2 and 4) are located 12.2 m (40 ft.) from the northern property line. Siting the buildings to provide 50% of the typical minimum tower spacing will assist the adjacent northern property to redevelop in accordance with City Centre tower separation design guidelines.

- The City Centre Area Plan (CCAP) defines building height that exceeds 25 m (82 ft.) in height as a tower and includes guidelines to encourage minimum spacing between towers. While existing development within the City Centre is characterized by a tower(s) over a mid-rise podium, the subject development will be distinguished by a low building podium and tower forms that extend to the podium level. The absence of a midrise streetwall between Building 1 and 3, Building 1 and 2, and Building 2 and 4 effectively increases separation between the on-site building towers and daylight access to the public realm. A six-storey midrise connects Building 3 and 4.

### *Building Articulation*

- The proposed office tower, which is located at the corner of No. 3 Road and Lansdowne Road will be a rectangular form clad in curtain wall that is articulated with angled corners and edges at various locations on the building. The angled edges are used to mark important circulation points (entrance to the office building and entrances to the parkade), to set the tower form apart from the podium, and to create façade and skyline interest. The combination of proposed building massing and façade treatment will introduce an office tower that extends to meet grade.
- The office building layout proposes to accommodate the circulation core along the exterior wall of the building's west elevation. The façade will be clad in patterned metal panel and the treatment will extend upward to add interest to the roofline.
- The residential towers are articulated using cantilevered balconies with opaque and transparent balcony guards that vary in shape and height. In some locations the balconies are discontinued and the glass façade is exposed. The opaque and non-uniform appearance of the balcony guards contrasts with the office building expression.
- Each tower includes angled height parapets, translucent in the case of the office tower and solid in the case of the residential towers, which contribute visual interest to the skyline. The District Energy Utility (DEU) central plant facility, will be located on the office tower roof top and will be partially screened by extending the parapet curtain wall and using metal grilles.
- The alignment of balconies on Building 2 and 3 are proposed to alternate on every other floor to create a textured expression on all façades, which is especially notable at the building corners. Balconies on the west and north elevation of Building 4 are organized as 'slices' that project a twisting appearance. The residential towers will also arrange diagonal shaped balcony guard screens in an angular vertical pattern to reinforce the alternating balcony expression.
- The mid-rise building proposes a uniform alignment of balconies and architectural framing to create a separate but related identity to the towers.
- Distinct tower entries are proposed. The office tower entry design includes a deep, angled, thin-profile cantilevered roof that projects toward the intersection, which will also provide weather protection. The residential lobby entries are identified with high, metal frames (zinc and copper finishes) that contrast with the neutral colour scheme proposed for the façades. Thicker profile framing elements are proposed at grade level to distinguish the low podium from the finer profile framing elements used in the towers above.
- Color and materials will be used to differentiate the residential and office towers and to articulate the building façades:

- Residential façades will include a combination of window wall and insulated wall panels in charcoal hues to accentuate the white, angular balcony expression.
- The office tower will include a transparent curtain wall in a gray hue set in a gray frame. The building material will have a high level of transparency and was selected to minimize light reflected from the building façade.

### ***Landscape and Open Space Design***

*Ground Level:* A concrete unit paver pattern in beige and gray is proposed at ground level. The pattern and material have been coordinated with the conceptual design of the abutting section of Lansdowne Linear Park. The applicant is responsible for design and construction of the park and will work with staff through a separate Servicing Agreement process to develop the design. The paver pattern will continue into the breezeway connections, which are proposed on either side of the proposed office building. Public access and use of the proposed breezeways during regular business hours would be secured as a condition of Development Permit issuance.

*Residential Common Outdoor Space:* The common residential outdoor amenity space will be located at the podium level and will include active and passive spaces including outdoor lounge areas, pathways, outdoor patio spaces with direct access to common indoor amenity spaces, and a dog run with wash station. An orthogonal outdoor pool with stepped pool depths and lap swimming lanes is located at the centre of the outdoor amenity area. Planters with suitable soil volume to support landscaping that includes trees will be introduced throughout the outdoor amenity area. Landscape elements will separate common outdoor amenity space from outdoor spaces associated with private residents.

*Children's Play Area:* The landscape design includes an area designed to encourage children's play including a prefabricated play structure with spinning, climbing, hanging, and balancing play equipment on a rubberized surface with sodded play lawn beyond.

*Green Roof:* The midrise rooftop, which will not be accessible to residents, will be landscaped with Serbian spruce trees, meadow grasses, colorful purple coneflower and slow growing evergreen shrubs along the roof edges.

*Landscape Letter of Credit (LOC):* As a condition of Development Permit issuance, the applicant will provide a LOC for \$612,563.49. As a consideration of Development Permit issuance, the applicant will register a legal agreement regarding use and return of the landscape security that includes provisions in the case that the developer fails to obtain the final Building Permit within ten years of the Development Permit being issued.

*Tree Retention and Replacement:* Tree retention and replacement was reviewed as part of the associated rezoning. Nine off-site trees and 31 on-site bylaw sized trees were identified on the tree survey. The off-site trees were identified for removal as they are in conflict with planned improvements that will be undertaken north of the existing Lansdowne Road travel lanes to enhance the public realm, including introduction of a section of City-owned Lansdowne Linear Park. As a condition of rezoning bylaw adoption, the property owner will provide compensation for the removal of the trees (9 x \$1300) and new street trees will be required as part of the required frontage improvements.

All of the on-site trees will be impacted by the proposed development. The proposed landscape plan includes 62 bylaw replacement sized deciduous trees, and 21 conifers on the subject site. The total number of replacement trees exceeds the 2:1 compensation ratio stated in the OCP.

*Public Art:* During the associated rezoning application review process, the applicant committed to participate in the City's Public Art Program (Policy 8703) and to divide the contribution evenly between on-site and off-site works.

*On-site Public Art:*

- The developer intends to mount art installations on the ceiling of the breezeways, which provide connection between the site's No. 3 Road and Lansdowne Road frontages and the parkade. The public art is a light installation that was selected to animate and to invite the public to use the breezeways. The pieces will be programmable (lighting levels may be dimmable) and no adjacent residences will be impacted (no light pollution concerns). The locations and installation details are included in the attached plans.
- The associated Public Art Plan was considered and endorsed by the Richmond Public Art Advisory Committee (RPAAC) on May 22, 2019.
- As a consideration of Development Permit issuance, the property owner will register an agreement on title to ensure that the installations are maintained and remain visible to the public at all times and that access through the breezeways, where the art is mounted, is publically accessible during regular business hours. City approval of any programming changes will be required and the City will have the ability to change the programming of the public art installations.

*Off-site Public Art:*

Working with Parks staff, the Public Art Planner will lead the process of introducing Public Art that is intended to artistically enhance functional features within the abutting section of Lansdowne Linear Park (e.g. furnishing, lighting, etc.).

***Sustainability***

- As a consideration of rezoning, the applicant will design, construct and transfer ownership of an on-site energy plant to the City, to the satisfaction of the City, and the equipment specifications will be determined as a condition of Building Permit issuance. The central energy plant will be located primarily at the top floor of the office tower.
- The subject application intends to proceed in accordance with the LEED Silver equivalency grandfathering provisions that were adopted by City Council when the step code was introduced (Attachment 5).

***Liveability***

- All of the proposed residential units will incorporate aging in place features to accommodate mobility constraints associated with aging. These features include stairwell handrails; lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers. Barrier free access to the building lobbies and indoor and outdoor amenity spaces is provided throughout the building.

- Eleven (11) Affordable Housing (AH) units will include basic universal housing (BUH) provisions that comply with the BUH specifications articulated in the Zoning Bylaw.
- The applicant has provided acoustical and mechanical thermal reports to confirm that the development will meet OCP internal noise and thermal comfort guidelines. Noise related covenants will be registered on title as a condition of rezoning bylaw adoption.

*Crime Prevention Through Environmental Design (CPTED):* The subject application includes CPTED measures that encourage passive surveillance through design and create well defined spaces (design with wayfinding in mind, distinguish between public, semi-private and private spaces, integrated signage and lighting strategies, street oriented store fronts and lobby spaces, use of transparent glazing, etc.)

***Third-party Utilities:***

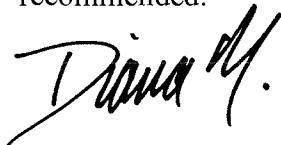
- All permanent third party utility equipment is required to be located on site. A Vista box will be located on-site adjacent to the new north-south road. The architectural plans accommodate additional miscellaneous City and third-party utility equipment on-site.
- Discharge of existing utility right of ways (BK224039, RD67600) will be initiated by Engineering staff after the Servicing Agreement works are completed.

**Phasing, Subdivision and Existing Legal Encumbrances**

The proposal is a single phase development. The property owner intends to create three airspace parcels and a remainder (residential, office, City community amenity and a remainder). At this time, the developer has not made a decision regarding future stratification of the office space.

**Conclusions**

As the proposed development will meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Diana Nikolic  
Senior Planner/Urban Design  
(604-276-4040)

DN:blg

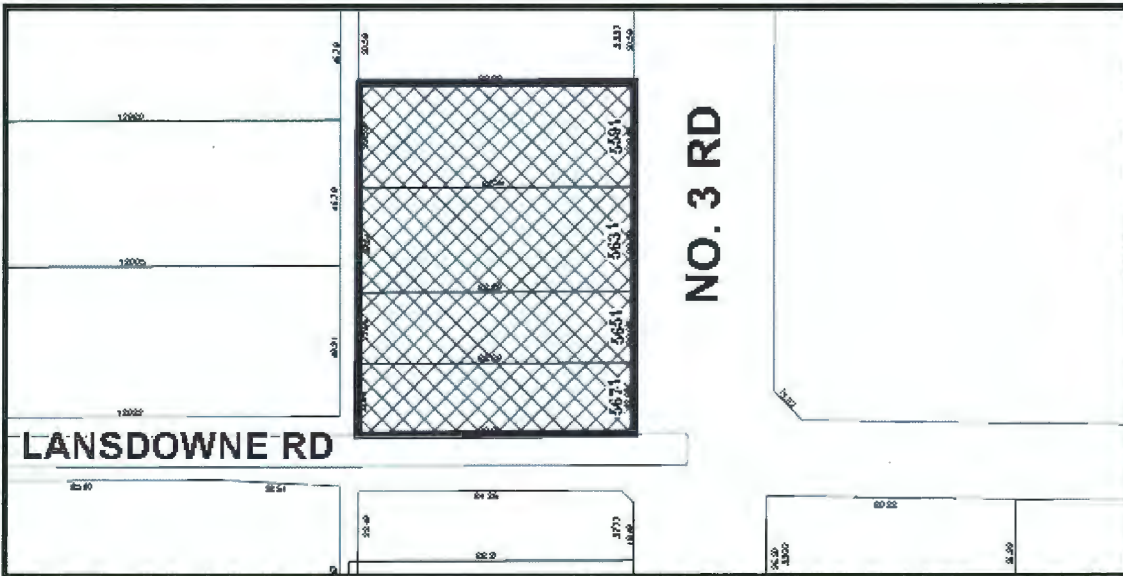
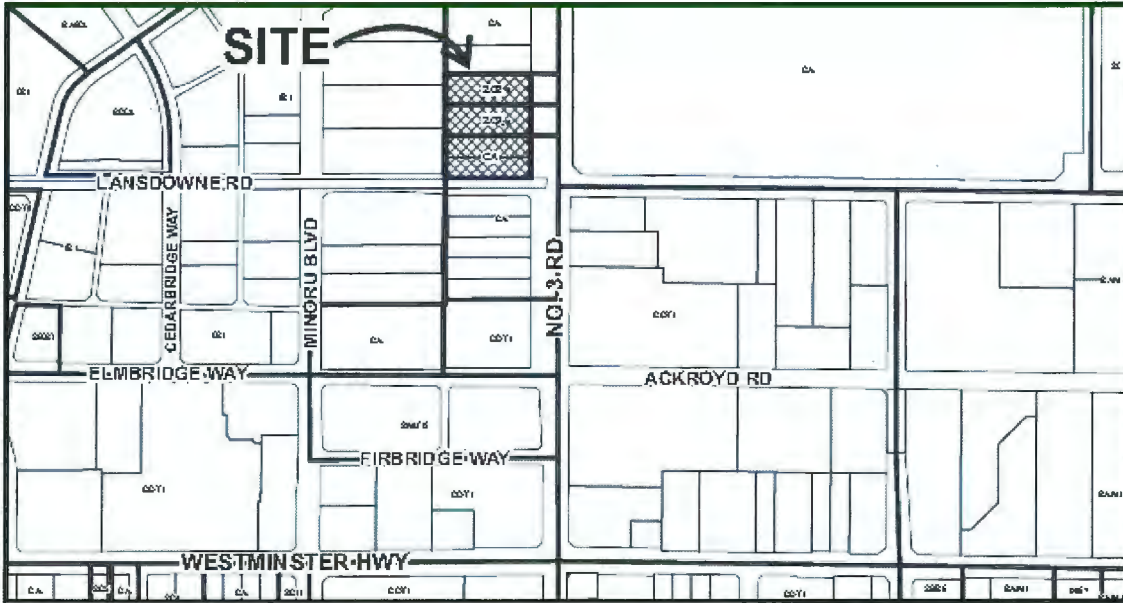
Attachments:

- Attachment 1: Location Map
- Attachment 2: Development Application Data Sheet
- Attachment 3: Lansdowne Village Specific Land Use Map
- Attachment 4: Advisory Design Panel Minutes & Applicant Responses (inserted in bold italics)
- Attachment 5: LEED Equivalency List (provided by applicant)
- Attachment 6: Development Permit Considerations





# City of Richmond



## DP 18-829141

Original Date: 09/12/18

Revision Date:

Note: Dimensions are in METRES



City of  
Richmond

**Development Permit Conditions of Approval**  
Development Applications Department

**DP 18-829141**

Address:	5591, 5631, 5651 and 5671 No. 3 Road
Applicant:	Townline Ventures Inc. (Luxe Richmond Nominee Ltd.)
Owner:	Townline No. 3 Road Holdings Ltd., Inc. No. BC1185640 (5647, 5591 No. 3 Road), Can Lit Development Holding Inc. No. BC1150462 (5651 No. 3 Road), City of Richmond (5671 No. 3 Road)
Planning Area(s):	City Centre – Lansdowne Village

**DP 16-754761**

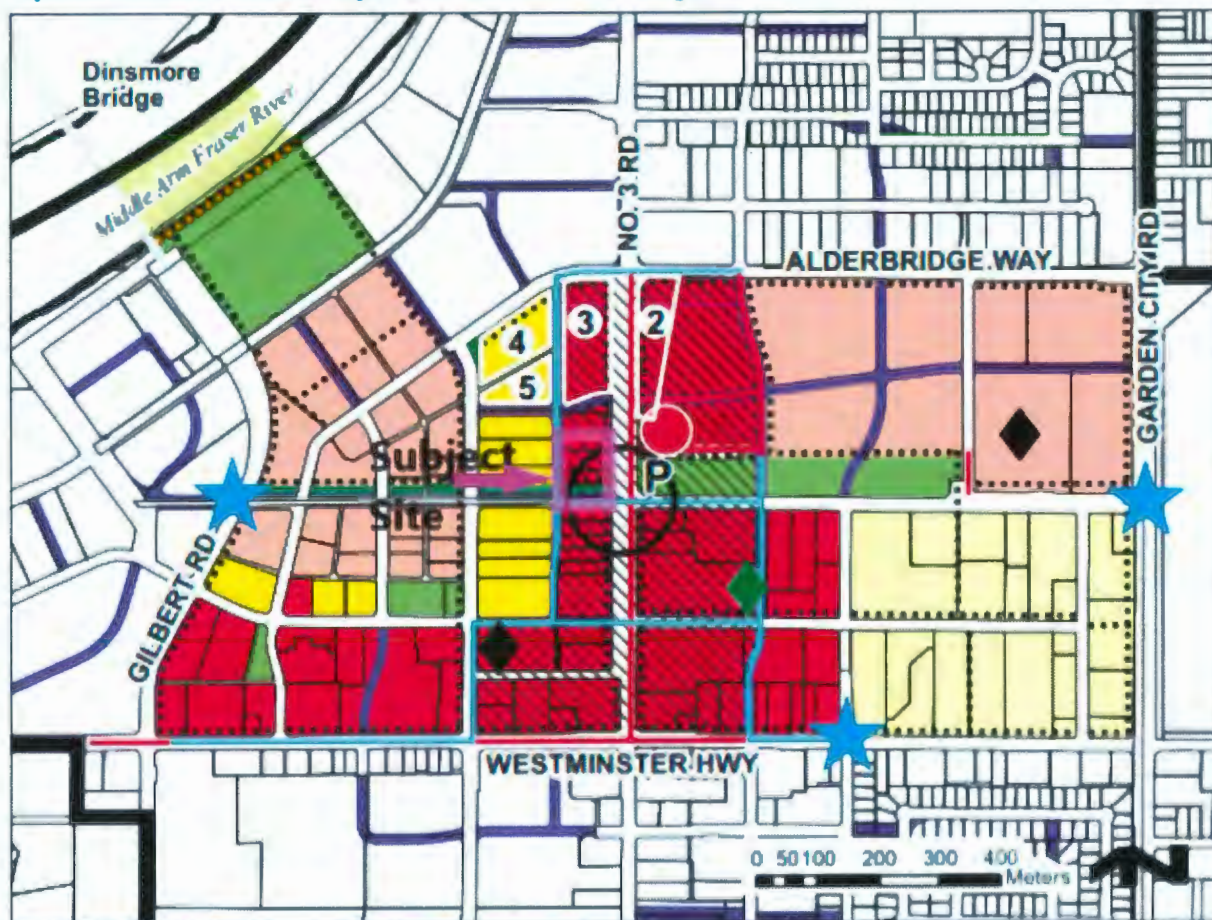
	Required	Proposed
Net Development Site Area :	Min. 7,400 m <sup>2</sup>	9,049 m <sup>2</sup>
Land Uses:	Mixed Use	Mixed Use
OCP Designation:	Downtown Mixed Use	Downtown Mixed Use
Area Plan Designation:	Urban Core T6 (45 m), Village Centre Bonus (VCB)	Urban Core T6 (45 m), VCB
Zoning:	ZMU38	ZMU38
Number of Residential Units:	n/a	383

**DP 18-829141**

	ZMU38	Proposed	Variance
Floor Area Ratio (FAR):	2.0 FAR increased to a higher density of 3.0 FAR conditional to complying with the City's affordable housing objectives.  3.0 FAR increased to a higher density of 4.0 FAR conditional to the lot being located within a VCB designated area and complying with VCB terms	Net: 3.99 FAR Residential: 3.0 FAR Commercial: 0.99 FAR	n/a
Lot Coverage:	Max. 90%	76%	None
Setback – No. 3 Road:	No. 3 Road and New North/South Road: 6 m minimum that may be reduced to 3 m subject to conditions  South lot line: 6 m that may be reduced to 3 m subject to conditions.  North property line: 0 m  For parts of a building below finished site grade: 0 m	No. 3 Road: 3 m New North/South Road: 3 m South property line: 3.0 m North property line: 0 m	none
Height (geodetic):	Max. 47.0 m	47.0 m	none
Parking Spaces – Total (Zone 1)	537  Residential: 381 Non-residential: 167	542  Residential: 375 Non-Residential: 167  2% TDM relaxation (end of trip facilities)	none

Accessible Parking	2% of required parking spaces Residential: 8 Commercial: 4	Residential: 8 Commercial: 4 City Amenity: 5 (including 4 van accessible stalls)	None
Loading	5 shared medium truck loading spaces. No large on-site truck (WB-17) parking	5 shared medium truck loading spaces	None
Amenity Space – Indoor	2 m <sup>2</sup> /unit: 766 m <sup>2</sup>	Residential Amenity: 786 m <sup>2</sup>	n/a
Amenity Space – Outdoor	OCP: Minimum 6 m <sup>2</sup> /unit: 2,298 m <sup>2</sup>	2,912 m <sup>2</sup>	n/a

### Specific Land Use Map: Lansdowne Village (2031) Scale: 1:5000



General Urban T4 (15m)	Non-Motorized Boating & Recreation Water Area	Proposed Streets
Urban Centre T5 (35m)	Village Centre Bonus	Pedestrian-Oriented Retail Precincts-High Street & Linkages
Urban Centre T5 (25m)	Institution	Pedestrian-Oriented Retail Precincts-Secondary Retail Streets & Linkages
Urban Core T6 (45m)	Pedestrian Linkages	Canada Line Station
<b>Location where site specific maximum building heights apply:</b>	Waterfront Dyke Trail	Transit Plaza
(43m)	Enhanced Pedestrian & Cyclist Crossing	Village Centre No. 3 Road & Lansdowne Road Intersection
(39.5m)		
(Varies from 31m to 33m)		
(Varies from 32m to 35m)		
Park		
Park Configuration & location to be determined		

Maximum building height may be subject to established Airport Zoning Regulations in certain areas

**Excerpt from the Minutes from  
The Design Panel Meeting**

**Wednesday, November 8, 2019 – 4:00 p.m.**

**Rm. M.1.003**

**Richmond City Hall**

<b>Panel Discussion</b>	
<i>Comments from Panel members were as follows:</i>	
▪	<p>appreciate the applicant considering public art as it would help define and differentiate the site in Lansdowne Village (City Centre); look at structural considerations in the design of public art feature if it is installed above the parkade;</p> <p><b><i>An investigation of the structural considerations with regards to the public art feature will be considered when appropriate.</i></b></p>
▪	<p>ground level architecture and paving articulation help define and differentiate the site;</p>
▪	<p>appreciate the angular articulation of ground level retail spaces which is unique;</p>
▪	<p>appreciate the rendered interior lighting golden colour which contrasts with the rest of the building; consider incorporating this colour contrast with regard to the architecture of the building to better define the ground plane;</p>
▪	<p>consider incorporating pedestrian scale lighting at the breezeways to provide lighting at night due to their nested locations;</p> <p><b><i>Pedestrian scale lighting will be incorporated into the breezeway design with the further inclusion of CPTED guidelines.</i></b></p>
▪	<p>appreciate the applicant's presentation and materials provided to the Panel;</p>
▪	<p>the proposed linear park should align with the plans of the City's Parks Department; support the paved and plaza-like treatment as it is consistent with the design of the future Lansdowne Mall civic plaza across No. 3 Road;</p> <p><b><i>Consultants will coordinate with City's Parks Department to ensure continuation of a cohesive design with similar developments.</i></b></p>

	<ul style="list-style-type: none"> <li>▪ concerned about the shading on the common areas on the podium roof deck; shadow studies indicate that the pool and play areas will be mostly in shade; consider relocating play area, the play lawn and the covered parental seating to the quiet seating and contemplative garden at the southern portion of the outdoor amenity space to receive more sunlight exposure;</li> </ul> <p><b><i>The children's play area has been relocated to the southern portion of the outdoor amenity space for greater sun exposure and comfort of future users.</i></b></p>
	<ul style="list-style-type: none"> <li>▪ proposed programming of the outdoor amenity space is interesting; however, solar access is a concern;</li> </ul> <p><b><i>See comments above</i></b></p>
	<ul style="list-style-type: none"> <li>▪ there is no compelling need to incorporate urban agriculture in the outdoor amenity space;</li> </ul>
	<ul style="list-style-type: none"> <li>▪ support the rectilinear aesthetic of the outdoor amenity area; appreciate the skewed orthogonal design of the buildings; consider incorporating skewed lines in the landscape design to reflect the architecture of the buildings;</li> </ul> <p><b><i>Architectural lines have been reflected within the revised landscape design.</i></b></p>
	<ul style="list-style-type: none"> <li>▪ consider a hierarchy of walkways on the common outdoor amenity area; investigate opportunities to increase the width of the proposed 1.2-meter wide T-shaped walkway, particularly the portion adjacent to the pool;</li> </ul> <p><b><i>The landscape architect addressed the hierarchy of walkway to improve pedestrian traffic safety.</i></b></p>
	<ul style="list-style-type: none"> <li>▪ consider incorporating a space designed to take/manage dog waste in the proposed dog run;</li> </ul> <p><b><i>Receptacles will be put in place along with the services required to manage dog waste within the dog run.</i></b></p>
	<ul style="list-style-type: none"> <li>▪ appreciate the materials package provided by the applicant;</li> </ul>
	<ul style="list-style-type: none"> <li>▪ the applicant is advised to appropriately address potential CPTED issues at the breezeways; installing a door/gate to provide security during night time may create a dark pocket;</li> </ul> <p><b><i>The interior breezeways will be secured by gates that will operate in a manner to suit the future tenants. Security gates have been added to the drawings to reflect this intention.</i></b></p>
	<ul style="list-style-type: none"> <li>▪ consider breaking up the south-facing retail spaces or incorporate programs to activate the plaza space at the front; consider locating another café with outside seating at the plaza to animate the space;</li> </ul> <p><b><i>The location of entry doors and program of the commercial space will be dictated by leasing and cannot be known at this time.</i></b></p>



	<ul style="list-style-type: none"> <li>▪ applicant needs to provide a balance between the formal design aspect versus the functional aspect of the building; investigate opportunities to provide weather protection at certain portions of the building, e.g. at the breezeways, along the café lobby area, and other locations;  <i>The vast majority of the ground plane implements continuous weather protection. Two small gaps are located in front of each breezeway but are supplemented by canopies on adjacent buildings.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ review whether proposed use of highly reflective material for the chamfer of the building at the southeast corner could pose safety concerns for motorists near the intersection; the applicant is encouraged to look into and address this potential safety issue;  <i>The chamfer on the southeast corner of the office building will not be highly reflective and will be treated the same as the rest of the building.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ agree with positive Panel comments regarding the high quality of the package provided to Panel members;</li> </ul>
	<ul style="list-style-type: none"> <li>▪ appreciate the departure from the built up podium in the design of the buildings which is a welcome change along No. 3 Road; however, tower separations have been reduced; shadow diagrams indicate congested separation between the residential towers;  <i>The volume of the proposed tower spacing between Buildings 2 and 4 is greater than that of the Official Community Plan (OCP) guideline's podium and tower massing. The proposed design allows for greater natural light access to the street, improved views for tenants, and a stronger connection of the building to the ground plane.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ appreciate the lower podium programming and the articulation of the building form; pinwheel massing approach works successfully; however, concerned that tower separation is not adequate; appreciate the flaring of some of the balconies between the buildings; however it also contributes to the tower separation issue; consider straightening up or changing the depth of the balconies particularly at the pinch points to mitigate the tight separation between residential towers;  <i>See comments above.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ store frontage treatment is interesting strong defining edge; commercial venting needs to be discreet; appreciate the breaks and the breezeways;  <i>Coordination with mechanical consultant will be done to ensure that commercial venting is discreetly located within the podium canopy soffit.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ proposed signage and lighting is appropriate; helps identify the entry points to the parkade; wrapping the retail around helps provide “eyes” on and animation to the breezeways;</li> </ul>
	<ul style="list-style-type: none"> <li>▪ appreciate the residential lobby arches treatment which accentuate the entries to residential buildings;</li> </ul>

	<ul style="list-style-type: none"> <li>▪ appreciate the programming of the outdoor amenity area; however, support the Panel comment to consider relocating certain programs to areas that receive the most sunlight exposure; <i>See previous comments regarding relocation of outdoor amenity spaces.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ appreciate the bridging of Buildings 3 and 4 with a component of the outdoor amenity area;</li> </ul>
	<ul style="list-style-type: none"> <li>▪ the applicant is encouraged to investigate opportunities to reduce the percentage of windows in the buildings considering the significant amount of slab extensions and thermal bridging in the buildings; <i>The project design will meet all building code and LEED Silver V4 requirements.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ the office building is a nice anchoring element and sited in an appropriate location; the applicant is encouraged to investigate opportunities to introduce passive shading on the south side without detracting too much from the purity of the building form; <i>See comment above.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ appreciate the materials palette; not concerned with two residential buildings having similar expression; the three residential buildings have a nice family grouping; the different expression of the office building is more than sufficient to offset the similarities in the three residential buildings;</li> </ul>
	<ul style="list-style-type: none"> <li>▪ support the project;</li> </ul>
	<ul style="list-style-type: none"> <li>▪ appreciate the project and the proposed sustainability features;</li> </ul>
	<ul style="list-style-type: none"> <li>▪ applicant is advised to be mindful of the requirement to incorporate vestibules in retail spaces; <i>Vestibules have been incorporated into the retail space.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ consider relocating the sub EMR room away from residential uses; <i>The sub EMR room has been relocated to the eastern side of the podium away from residential uses.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ review the proposed central heat recovery system for residential units as it may not be feasible due to LEED requirement; <i>The central heat recovery system will be designed to meet LEED Silver V4 requirements.</i></li> </ul>
	<ul style="list-style-type: none"> <li>▪ support the project;</li> </ul>
	<ul style="list-style-type: none"> <li>▪ the proposed project was well presented and easy to understand; appreciate the proposed materials palette;</li> </ul>



	▪	support the amount of programming for the outdoor amenity space; lots of good programming and different sizes of spaces; nice views of the indoor and outdoor amenity areas; appreciate the walking loops;
	▪	not concerned with the lack of urban agriculture on the common outdoor amenity area; could be incorporated by future strata if there is a demand from residents;
	▪	design of the outdoor amenity space is well done; appreciate the proposed rectilinear aesthetic;
	▪	design of the linear park should not be overly prescriptive; ensure that it is consistent with the building architecture;
	▪	proposed pinwheel approach for the design of the residential buildings has an impact on the solar aspect into the amenity space; support the suggestion from the Panel to relocate active spaces to the southern portion of the common outdoor amenity area; <b><i>See previous comment regarding relocation of outdoor amenity spaces.</i></b>
	▪	a nice project;
	▪	appreciate the applicant's presentation and package provided to the Panel;
	▪	appreciate the design of the project; has the potential to become a landmark site due to its high value location; signage and lighting are crucial to the success of the project; public realm needs to be resolved as it is critical to the future of the City's downtown core; <b><i>See previous comment regarding coordination with consultants and the City to improve the park and by extension the public realm.</i></b>
	▪	consider changing the wood soffit to a more durable material for long-term maintenance; <b><i>The level 1 soffit material has been changed to a wood textured aluminum extrusion to be more durable for long-term maintenance.</i></b>
	▪	consider incorporating an end-of-trip facility for the office building considering its prime location in the City; <b><i>An end of trip facility has been added to the office building as advised.</i></b>
	▪	look at the venting for the retail and restaurant spaces; note that MUAs will impact on the public spaces at the podium and needs to be shown at this stage of the project; include in future submissions; <b><i>Mechanical vents/louvers have been incorporated into the podium soffit to limit visual impact on the public realm.</i></b>

	▪	support Panel comments regarding lighting and security in the breezeways; also agree with the comment that the access to the breezeway needs to be controlled during certain hours; look at good precedents;
	▪	agree that tower separation is tight; however, the approach is supported given the benefits of a well-defined pedestrian realm and cut-up podium; should not be considered a precedent as the proposed approach is applicable only to meritorious cases; and
	▪	the three columns in the loading bay area need to be resolved; and <i>The location of columns was revised and has been coordinated with consultants.</i>
	▪	consider materials and colours of soffits for the residential spaces with a warmer golden tone shown in the rendering. <i>The design team investigated alternate colours and materials; however, the ultimate decision was that the soffit as currently represented balances the function an aesthetic intention of the design.</i>



# LEED v4 for BD+C: New Construction and Major Renovation

Project Name: No.3 Road Townline, Richmond

Date: 8/30/2019

Project Checklist

Y 2 N

Integrative Process

1

13	2	16	Location and Transportation	16
	16	Overall	LEED for Neighborhood Development Location	16
	1	Overall	Sensitive Land Protection	1
	1	Overall	High Priority Site	2
	5	Overall	Surrounding Density and Diverse Uses	5
	5	Overall	Access to Quality Transit	5
	1	Overall	Bicycle Facilities	1
	1	Overall	Reduced Parking Footprint	1
	1	Overall	Green Vehicles	1

8	3	0	Materials and Resources	13
Y			Storage and Collection of Recyclables	Required
Y			Construction and Demolition Waste Management Planning	Required
	3	Overall	Building Life Cycle Impact Reduction	5
	2	Overall	Building Product Disclosure and Optimization- Environmental Product Declarations	2
	2	Overall	Building Product Disclosure and Optimization- Sourcing of Raw Materials	2
	2	Overall	Building Product Disclosure and Optimization- Material Ingredients	2
	2	Overall	Construction and Demolition Waste Management	2

3	1	6	Sustainable Sites	10
Y			Construction Activity Pollution Prevention	Required
	2	Overall	Site Assessment	1
	1	Overall	Site Development - Protect or Restore Habitat	2
	1	Overall	Open Space	1
	3	Overall	Rainwater Management	3
	1	Overall	Heat Island Reduction	2
	1	Overall	Light Pollution Reduction	1

6	2	6	Indoor Environmental Quality	16
Y			Minimum Indoor Air Quality Performance	Required
	2	Overall	Environmental Tobacco Smoke Control	2
	2	Overall	Enhanced Indoor Air Quality Strategies	2
	1	Overall	Low Emitting Materials	3
	2	Overall	Construction Indoor Air Quality Management Plan	1
	1	Overall	Indoor Air Quality Assessment	2
	1	Overall	Thermal Comfort	1
	1	Overall	Interior Lighting	2
	3	Overall	Daylight	3
	1	Overall	Quality Views	1
	1	Overall	Acoustic Performance	1

8	2	1	Water Efficiency	11
Y			Outdoor Water Use Reduction	Required
Y			Indoor Water Use Reduction	Required
	2	Overall	Building Level Water Metering	2
	3	Overall	Outdoor Water Use Reduction	6
	2	Overall	Indoor Water Use Reduction	2
	1	Overall	Cooling Tower Water Use	1
	1	Overall	Water Metering	1

2	0	0	Innovation	6
	1	Overall	Innovation Purchasing - Lamps; Washable etc; O+M Starter Kit	6
	1	Overall	LEED Accredited Professional	1
	2	Overall	Regional Priority: Enhanced Commissioning	4
	1	Overall	Regional Priority: Indoor Water Use Reduction (E4)	1
	1	Overall	Regional Priority: Optimized Energy Performance (E10)	1
	1	Overall	Regional Priority: Building Life Cycle Impact Reduction (E3)	1

15	5	13	Energy and Atmosphere	33
Y			Fundamental Commissioning and Verification	Required
Y			Minimum Energy Performance	Required
	2	Overall	Building Level Energy Metering	2
	6	Overall	Fundamental Refrigerant Management	6
	2	Overall	Enhanced Commissioning	2
	2	Overall	Optimize Energy Performance	18
	1	Overall	Advanced Energy Metering	1
	2	Overall	Demand Response	2
	3	Overall	Renewable Energy Production	3
	1	Overall	Enhanced Refrigerant Management	1
	2	Overall	Green Power and Carbon Offsets	2

57	17	43	TOTALS	Possible Points: 110
			Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110	



City of  
Richmond

## Development Permit Considerations

Development Applications Department

6911 No. 3 Road, Richmond, BC V6Y 2C1

**Prior to issuance of DP 18-829141, the developer is required to complete the following:**

1. On-site Public Art and Statutory Right of Way: Registration of an agreement to facilitate the implementation of the City approved Public Art Plan and associated statutory right of way including:
  - a) “No occupancy” shall be permitted on the subject lands, restricting final Building Permit inspection granting occupancy of the building (exclusive of parking), in whole or in part, on the subject lands until:
    - i. The property owner, at the property owner’s sole cost and expense, commissions one or more artists to conceive, create, manufacture, design, and oversee or provide input about the manufacturing of the public artwork and causes the public artwork to be installed within a statutory right-of-way on the subject lands (which right of way shall be to the satisfaction of the City) for rights of public passage, Public Art, and related purposes, in accordance with the City approved Public Art Plan and, as applicable, detailed Public Art Plan.
    - ii. A Public Art Plan has been submitted that proposes an art contribution to be installed on parts of the building façade that focus on animating the breezeways and nearby public frontage. A Letter of Credit or cash (as determined at the sole discretion of the City) will be secured. The agreement will secure the following:
      - The property owner, at his/her expense and within thirty (30) days of the date on which the Public Art is installed, executes and delivers to the City a transfer of all of the developer’s rights, title and interest in the Public Art to the subsequent strata or property owner of a non-residential component of the development (including transfer of joint world-wide copyright) or as otherwise determined to be satisfactory by the City Solicitor and Director, Arts, Culture and Heritage Services.  
Note: It is the understanding of the City that the artist’s title and interest in the public artwork will be transferred to the owner upon acceptance of the artwork based on an agreement solely between the owner and the artist and that these interests will in turn be transferred to the City, subject to approval by Council to accept the donation of the artwork.
      - The owner, at the owner’s sole cost and expense, submits a final report to the City promptly after completion of the installation of the Public Art in accordance with the City approved Public Art Plan, which report shall, to the satisfaction of the Director, Development and Director, Arts, Culture, and Heritage Services including:
        - Information regarding the siting of the Public Art, a brief biography of the artist(s), a statement from the artist(s) on the Public Art, and other such details as the Director, Development and Director, Arts, Culture, and Heritage Services may require.
        - A statutory declaration, satisfactory to the City Solicitor, confirming that the owner’s financial obligation(s) to the artist(s) have been fully satisfied.
        - The maintenance plan for the Public Art prepared by the artist(s).

- Digital records (e.g., photographic images) of the Public Art, to the satisfaction of the Director, Development, and Director, Arts, Culture and Heritage Services.
  - Ownership provisions are to specify that the on-site Public Art will be owned and maintained by a non-residential owner and that on-site Public Art is to remain visible to the public every day at all times.
  - A requirement to apply to the City for any proposed changes in the programming of the Public Art. The City is not obligated to approve any programming changes. Further, the City reserves the ability to change the programming of the Public Art for the duration of the installation.
- iii. As an alternative to the provision on Public Art on-site, the owner may offer to make a voluntary cash contribution in lieu.
- b) Registration of a statutory right of way (SRW), generally as shown in Sketch Plan A (attached) for breezeway areas (north/south breezeway approximately 78m<sup>2</sup>, east/west breezeway approximately 48 m<sup>2</sup>). The SRW area will provide for:
- i. Access during standard business hours that is universally accessible and public, in the form of a combined walkway/off-street dismounted bike path for the use and enjoyment of pedestrians, to the satisfaction of the City.
  - ii. Maintenance at the sole cost of the owner.
  - iii. Building encroachment above and below the right of way area is permitted provided access and use remains unobstructed and universally accessible.
  - iv. The owner's ability to close a portion of the right of way to public access to facilitate maintenance or repairs to the right of way provided that adequate public access is maintained and the duration of the closure is limited, as approved by the City in writing in advance of any such closure.
2. Shared Amenities: Registration of a restrictive covenant and/or alternative agreement specifying shared access and use of indoor and outdoor amenity space for all residents, including use of residential guest suites. Guest suites are to be restricted to use as short term accommodation only and the strata may apply a user fee for their access and use. Upon stratification of the subject site, the residential guest suites will be designated as common property or as otherwise determined to the satisfaction of the City and shall be accessible to all residents.
3. Landscape Security: Receipt of a Letter of Credit for landscaping in the amount of \$612,563.49, based on a cost estimate provided by Durante Kreuk Ltd., which includes a 10% contingency cost to secure the developer's planting and maintenance (for a period of one year) of 62 bylaw size replacement trees and supplementary tree planting and landscaping on the development site. Execution of a legal agreement regarding use and return of the Landscape Security, to the satisfaction of the City. If the developer fails to obtain a final Building Permit before the tenth anniversary of Development Permit issuance, the outstanding replacement trees will be deemed to have not been accommodated.

**Prior to Building Permit issuance, the developer must complete the following requirements:**

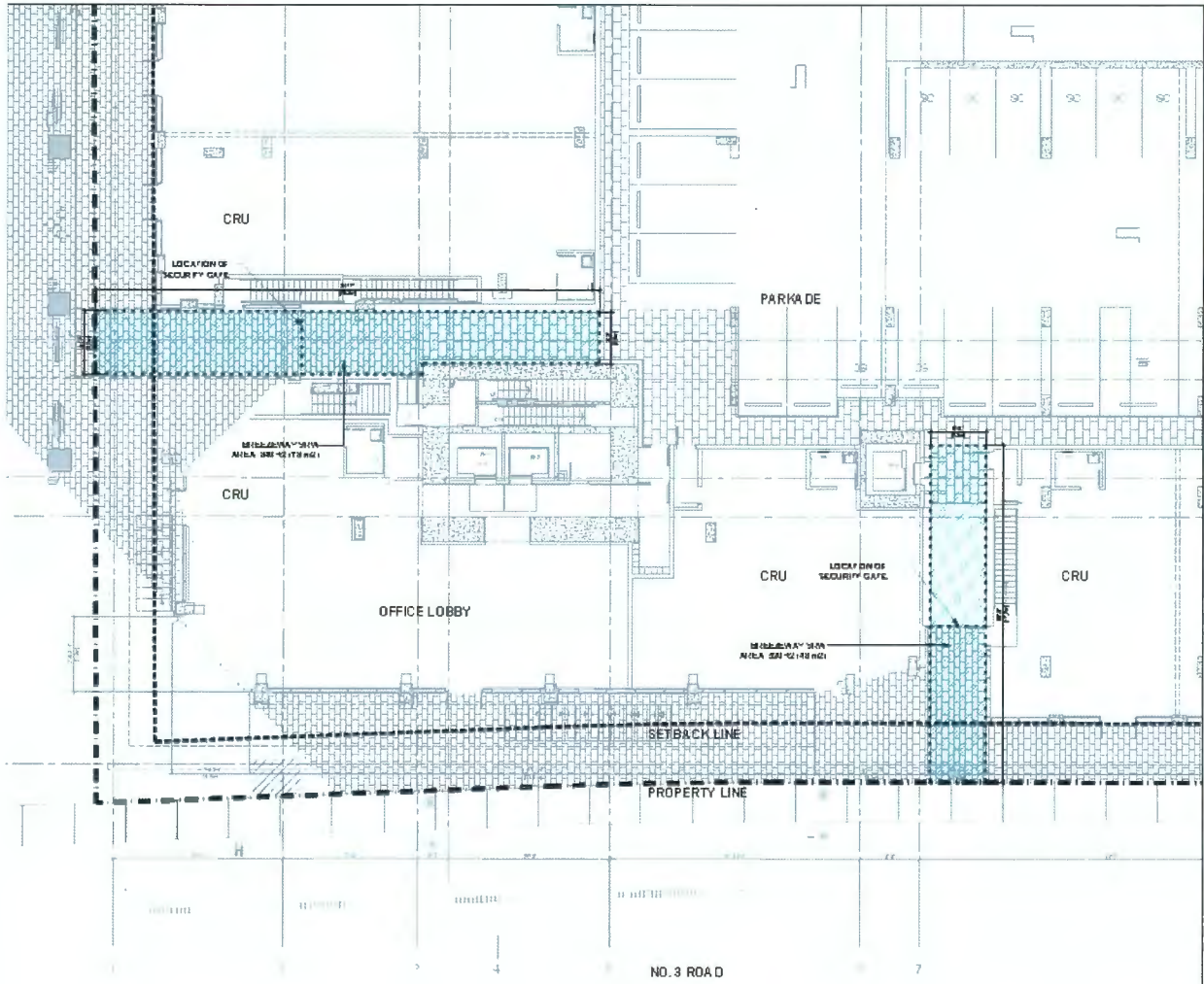
1. The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).

3. Confirmation that the recommendations identified in the acoustic evaluation report by Brown Strachan Associates, dated December 6, 2019, and the acknowledgement to design the mechanical system to comply with City of Richmond requirements, as noted in the undertaking and assessment by Brown Strachan Associates, dated February 14, 202, or equivalent measures, have been incorporated in the construction plans.
4. Confirmation that the commitments regarding EV charging provisions, which are identified in the plans prepared by Nemetz and Associates Ltd., or equivalent measures, have been incorporated into the construction plans to the satisfaction of Sustainability staff.
5. Provision of recommended noise mitigation measures \ for on-site District Energy Utility facilities, as needed.
6. Confirmation that minimum ceiling heights to accommodate truck access (minimum 4.5 m) and collection (minimum 7.5 m) are consistent with City Waste Management Design Guidelines.
7. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit process.

Signed (signed copy on file): \_\_\_\_\_

Date: \_\_\_\_\_

Sketch Plan A



**Mumson  
Cortell  
Mackay  
Partnership**

Architectural Services  
Toronto, Ontario  
1000 Dundas Street West  
Room 400  
Toronto, Ontario M6J 1K5  
Canada (416) 593-1100  
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MCMPartnership.com



1	PLAN	DATE
2	REVISION	DATE
3	REVISION	DATE
4	REVISION	DATE
5	REVISION	DATE
6	REVISION	DATE
7	REVISION	DATE
8	REVISION	DATE
9	REVISION	DATE
10	REVISION	DATE

NO. 3 ROAD  
DP 18-829141

**BREZEWAY  
SRW PLAN**



No. DP 18-829141

**To the Holder:** Luxe Richmond Nominee Ltd., (on behalf of the property owners (Townline No. 3 Road Holdings Ltd., Inc. No. BC1185640, Can Lit Development Holding Inc. No. BC1150462, City of Richmond)

**Property Address:** 5591, 5631, 5651 and 5671 No. 3 Road

**Address:** c/o 1800-510 West Georgia Street, Vancouver, BC. V6B 0M3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans # 1.1 to # 7.1 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$612,563.49 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.



**No. DP 18-829141**

**To the Holder:** Luxe Richmond Nominee Ltd., (on behalf of the property owners  
(Townline No. 3 Road Holdings Ltd., Inc. No. BC1185640, Can Lit  
Development Holding Inc. No. BC1150462, City of Richmond)

**Property Address:** 5591, 5631, 5651 and 5671 No. 3 Road

**Address:** c/o 1800-510 West Georgia Street, Vancouver, BC. V6B 0M3

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

---

MAYOR









**Musson  
Cattell  
Mackey  
Partnership**

Architects Designers Planners  
Oceanic Plaza  
1066 West Hastings Street  
Suite 1900  
Vancouver, British Columbia  
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1	23 OCT 2018	ISSUED FOR CITY REVIEW

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Seal  
**NO. 3 ROAD**  
DP 18-829141

RICHMOND, BC  
Project

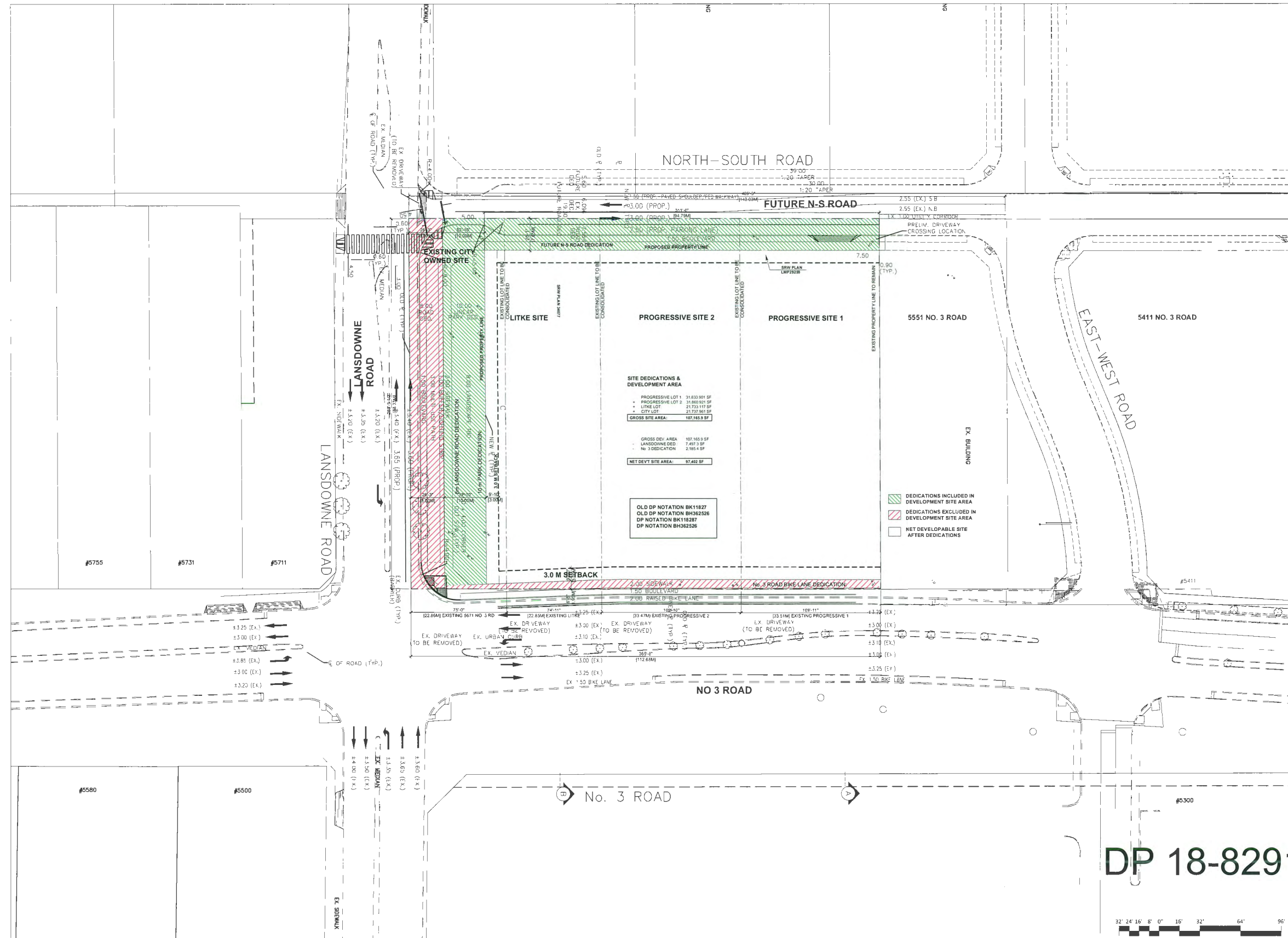
**CONTEXT  
PLAN**

**DP 18-829141**

Drawing  
Scale 1/64" = 1'-0"  
Project 216022  
Sheet **1.2**







**SITE DEDICATIONS & DEVELOPMENT AREA**

PROGRESSIVE LOT 1 31,833 901 SF  
 PROGRESSIVE LOT 2 31,860 921 SF  
 LITKE LOT 21,733 117 SF  
 CITY LOT 21,737 961 SF  
**GROSS SITE AREA: 107,165.9 SF**

GROSS DEV. AREA 107,165.9 SF  
 LANSDOWNE DED. 7,407.3 SF  
 NO. 3 DEDICATION 2,185.4 SF  
**NET DEV'T SITE AREA: 97,462 SF**

OLD DP NOTATION BK11827  
 OLD DP NOTATION BH362526  
 DP NOTATION BK118287  
 DP NOTATION BH362526

DEDICATIONS INCLUDED IN DEVELOPMENT SITE AREA  
 DEDICATIONS EXCLUDED IN DEVELOPMENT SITE AREA  
 NET DEVELOPABLE SITE AFTER DEDICATIONS

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 RICHMOND, BC  
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DEDICATION PLAN

DP 18-829141

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 Sheet 1.3







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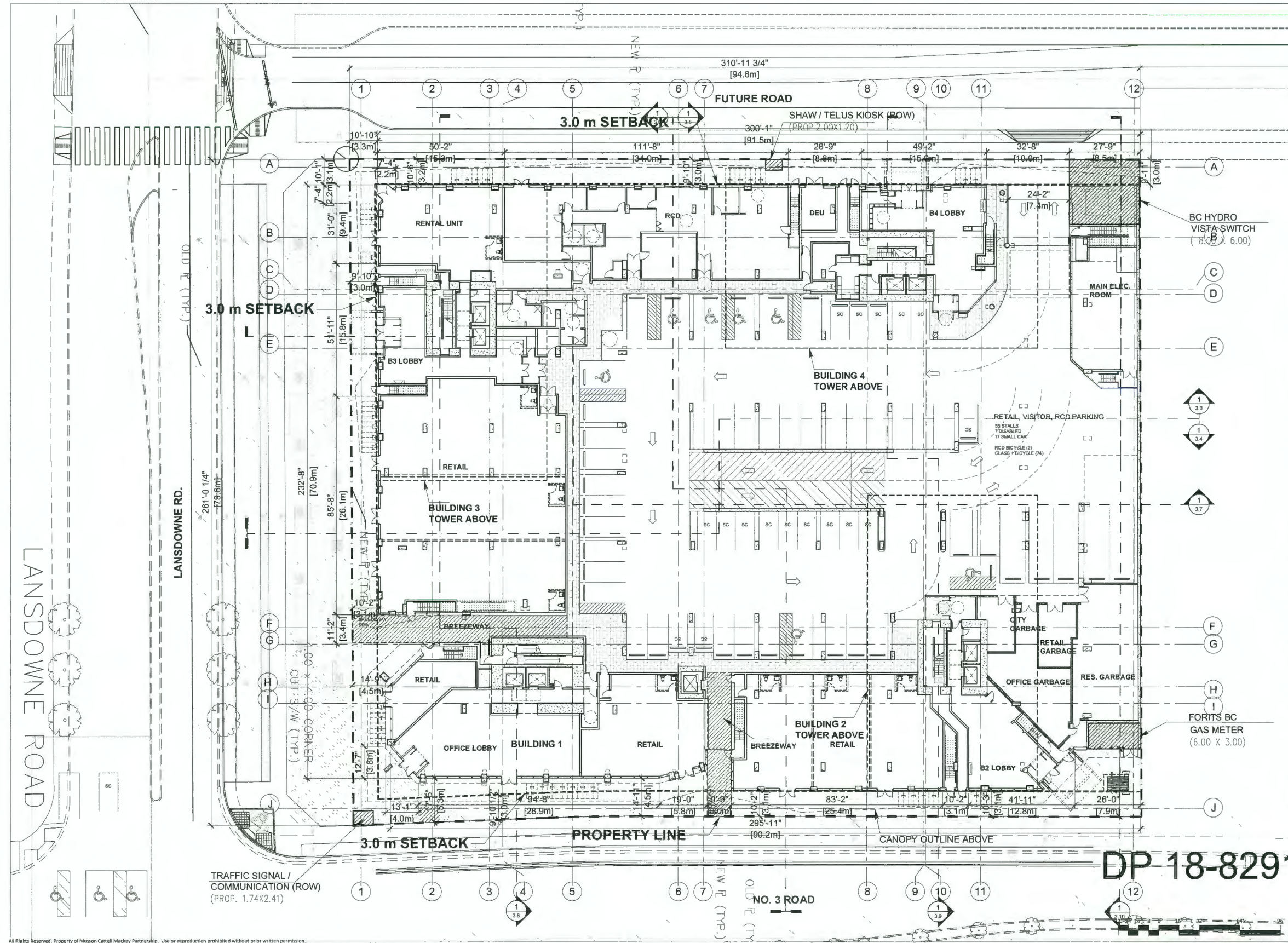
Seal  
NO 3 ROAD  
DP 18-829141

NO 3 ROAD  
RICHMOND, BC  
Project

SITE  
PLAN

DP-18-829141

Scale 1/32" = 1'-0"  
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Sheet 1.4







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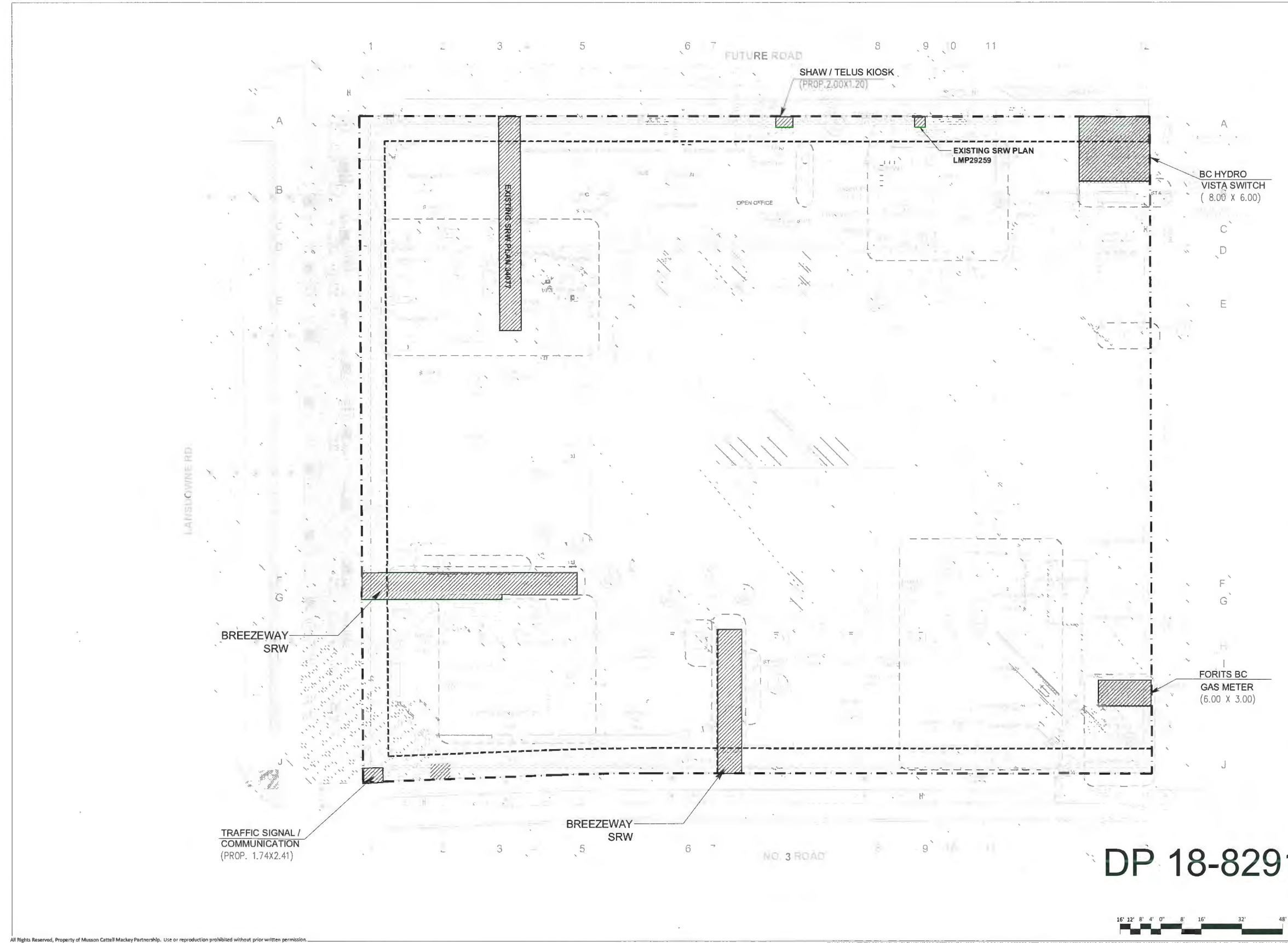
Revisions YYYY-MM-DD

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**NO. 3 ROAD**  
DP 18-829141

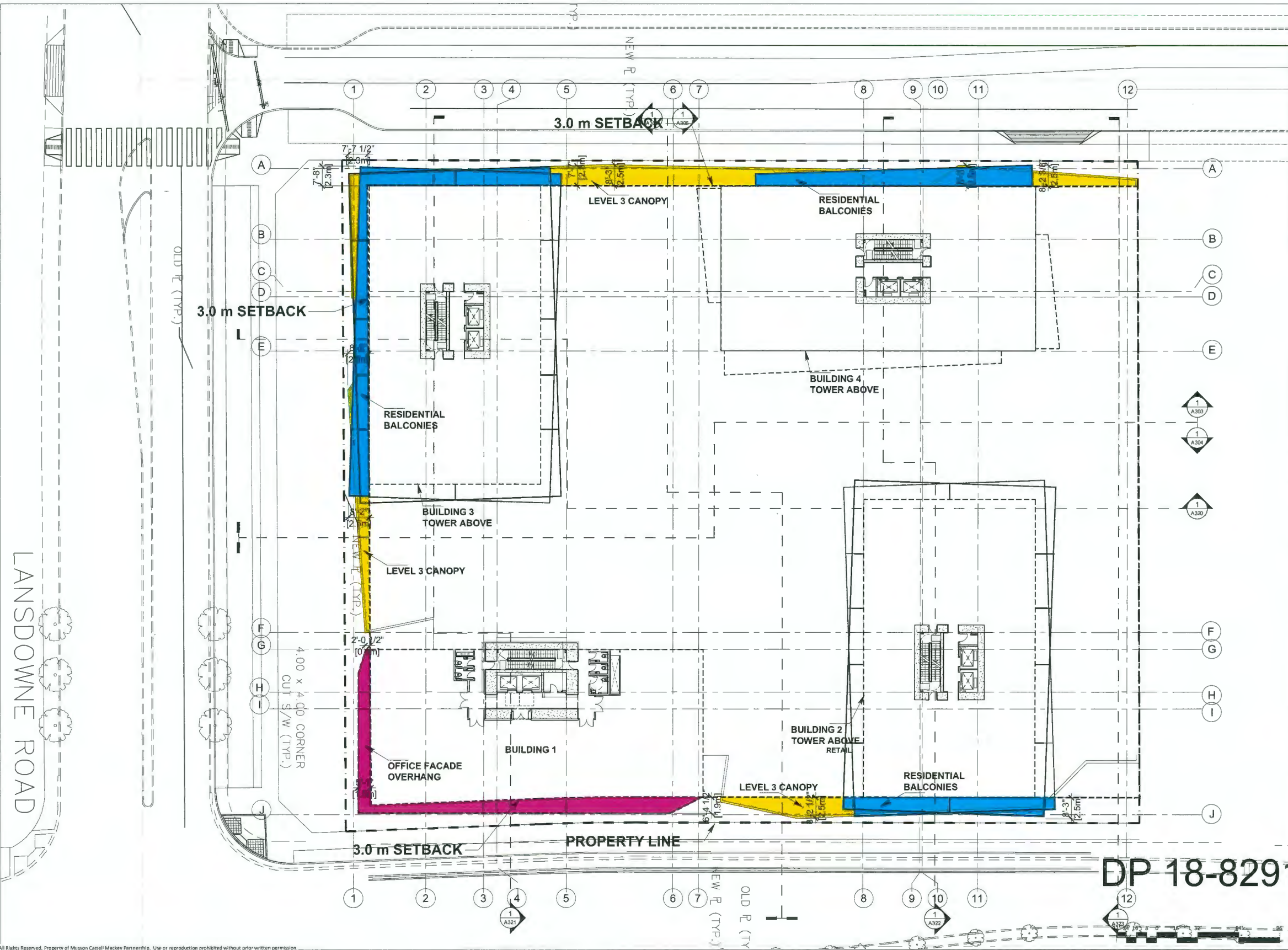
RICHMOND, BC  
Project  
**RIGHT OF WAY  
PLAN**

**DP 18-829141**

Drawing  
Scale 1/16" = 1'-0"  
Project 216022  
Sheet **1.5**



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Seal  
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**DP 18-829141**  
 NO 3 ROAD  
 RICHMOND, BC  
 Project

**ENCROACHMENT  
PLAN**

**DP 18-829141**

Drawing  
 Scale 1/32" = 1'-0"  
 Project 216022  
 Sheet **1.6**





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Seal  
NO. 3 ROAD  
DP 18-829141

RICHMOND, BC  
Project

LEVEL P2

DP 18-829141

Drawing  
Scale 1/16" = 1'-0"  
Project 216022  
Sheet 2.1

**LEVEL P2 STATS**

	PARKING	COMMERCIAL	RESIDENTIAL
REGULAR STALLS	-	-	116
SMALL CAR	-	-	95 44%
HC STALLS	-	-	9
TOTAL	-	-	217
EV CHARGERS	-	-	54
BIKES	-	-	-
REGULAR	-	-	141
VERTICAL	-	-	104 43%
TOTAL	-	-	245
BIKE CHARGERS	-	-	2 outlets per room

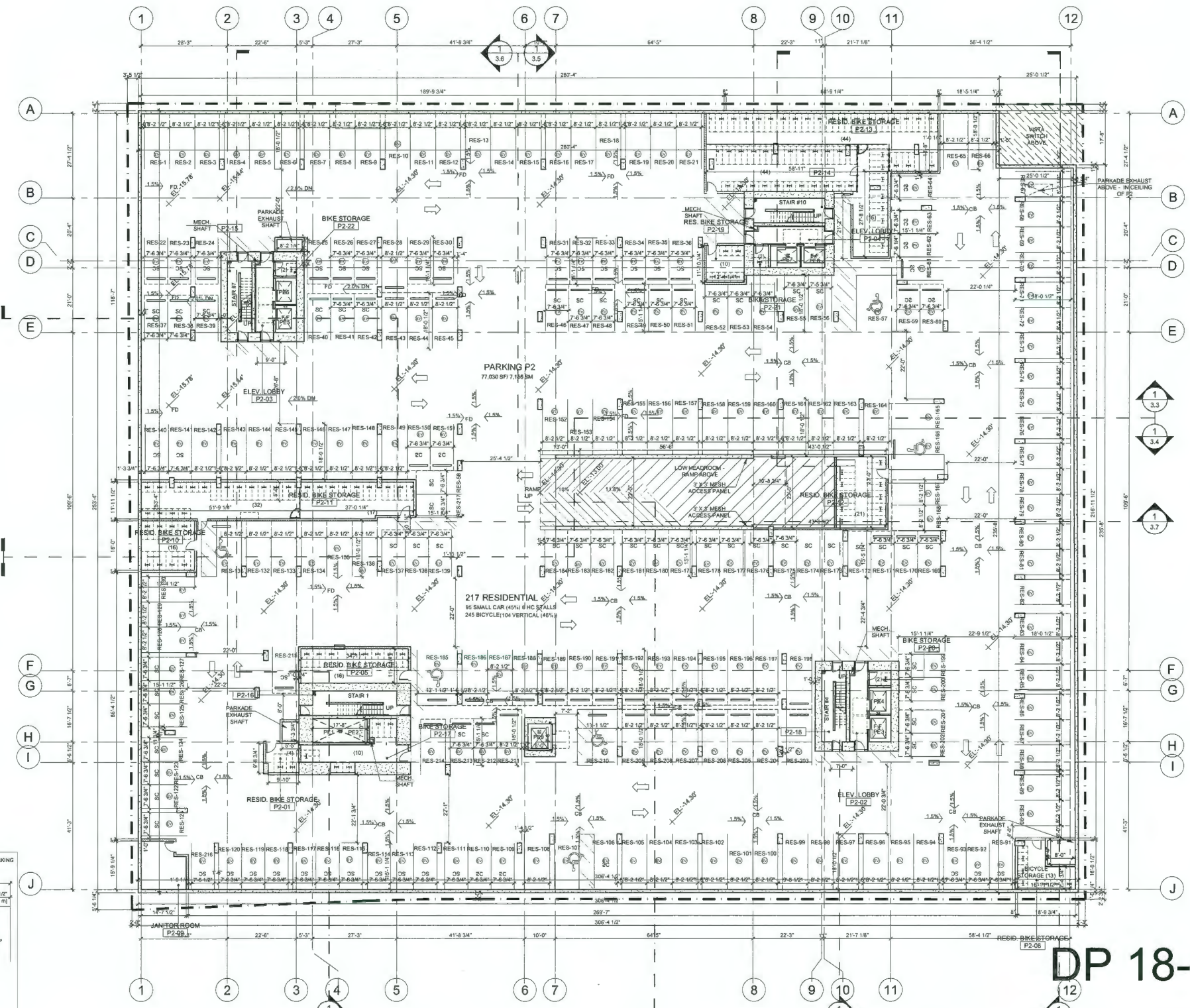
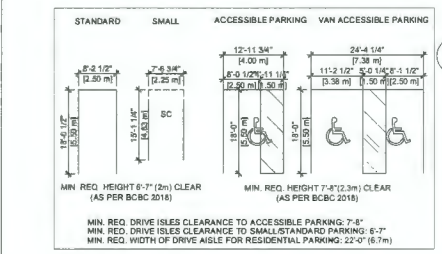
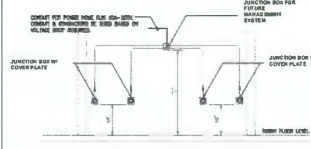
**BIKE STORAGE**  
ALL BIKE STORAGE ROOMS TO HAVE 2 ELECTRICAL OUTLETS FOR ELECTRIC BIKE CHARGING

**RESIDENTIAL VEHICLE PARKING P1 & P2**  
100% OF STALLS HAVE JUNCTION BOX THAT IS WIRED AND ENERGIZED. THERE WILL BE SUFFICIENT ELECTRICAL CAPACITY FOR ONE STAGE 2 CHARGER FOR EVERY 4 STALLS. THE WIRING WILL BE ARRANGED SUCH THAT AT A LATER DATE THROUGH LOAD SHARING THERE WILL BE THE CAPACITY TO CHARGE ALL THE PARKING STALLS.

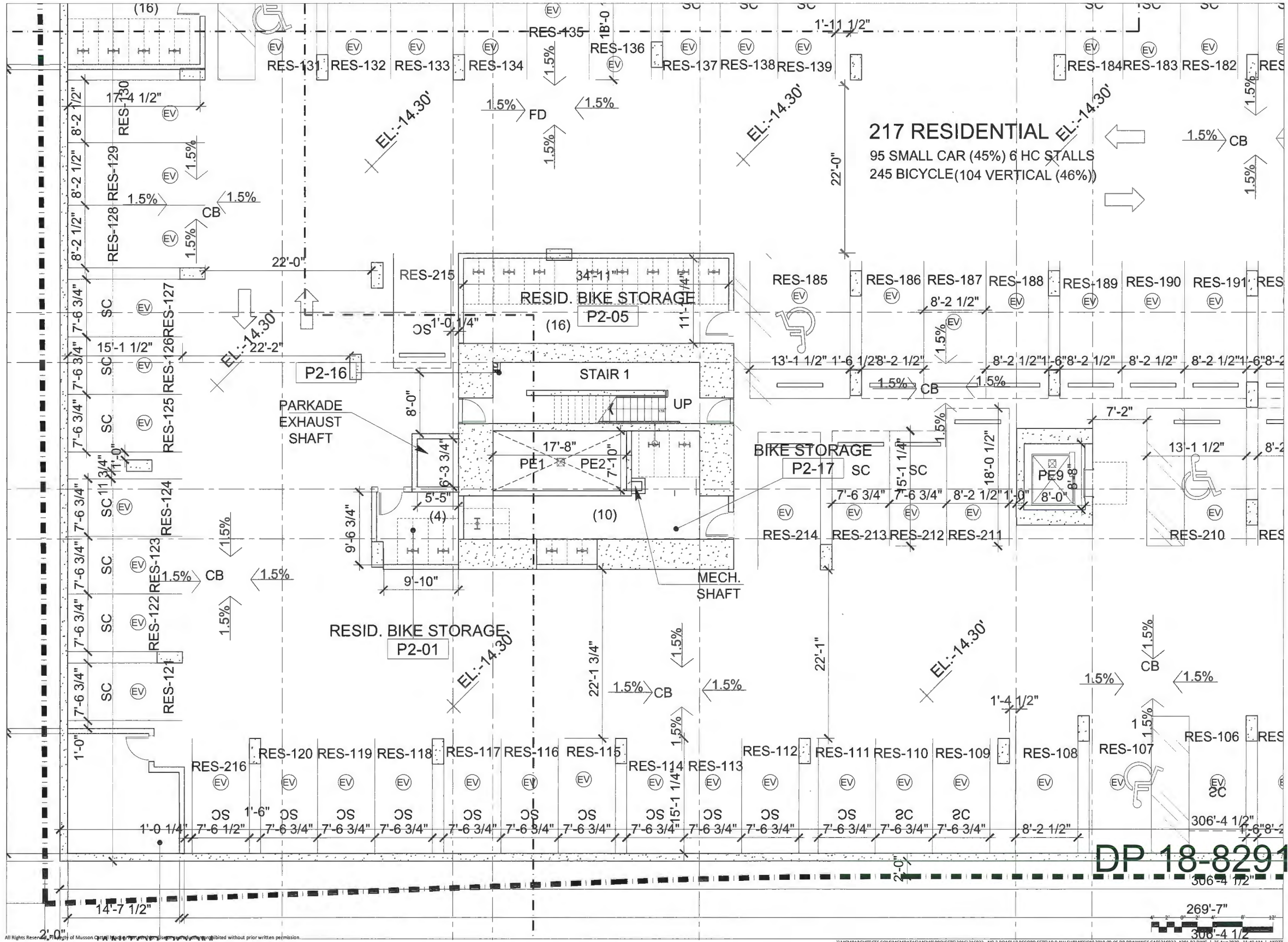
**OFFICE PARKING P1 + 3 STALL ON L2**  
100% OF STALLS HAVE JUNCTION BOX WIRED AND ENERGIZED. THERE WILL BE SUFFICIENT ELECTRICAL CAPACITY FOR ONE STAGE 2 CHARGER FOR EVERY 4 STALLS. THE WIRING WILL BE ARRANGED SUCH THAT AT A LATER DATE THROUGH LOAD SHARING THERE WILL BE THE CAPACITY TO CHARGE AT ALL THE PARKING STALLS.

**SHARED PARKING - L1 & L2**  
25% OF STALLS HAVE A JUNCTION BOX WIRED AND ENERGIZED FOR FUTURE INSTALLATION OF A LEVEL 2 CHARGER.

NOTE: ELECTRIC VEHICLE INFO PROVIDED ON ARCHITECTURAL DRAWINGS FOR DEVELOPMENT PERMIT INFO ONLY. REFER TO ELECTRICAL DRAWINGS FOR ALL ELECTRICAL INFORMATION.







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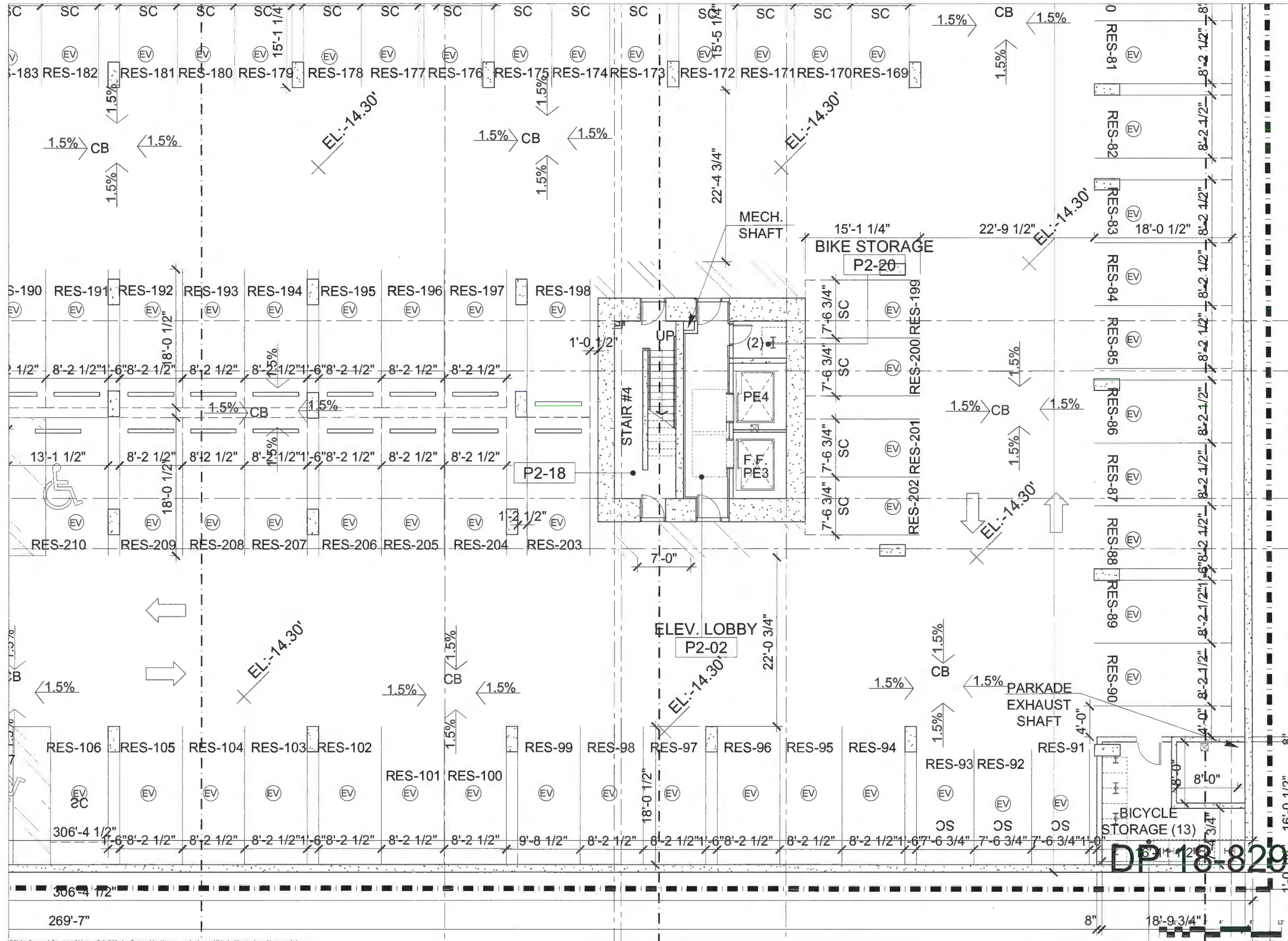
Seal  
**NO. 3 ROAD**  
DP 18-829141

RICHMOND, BC  
Project  
**LEVEL P2**

**DP 18-829141**



Drawing  
Scale 3/16" = 1'-0"  
Project 216022  
Sheet **2.1.1**



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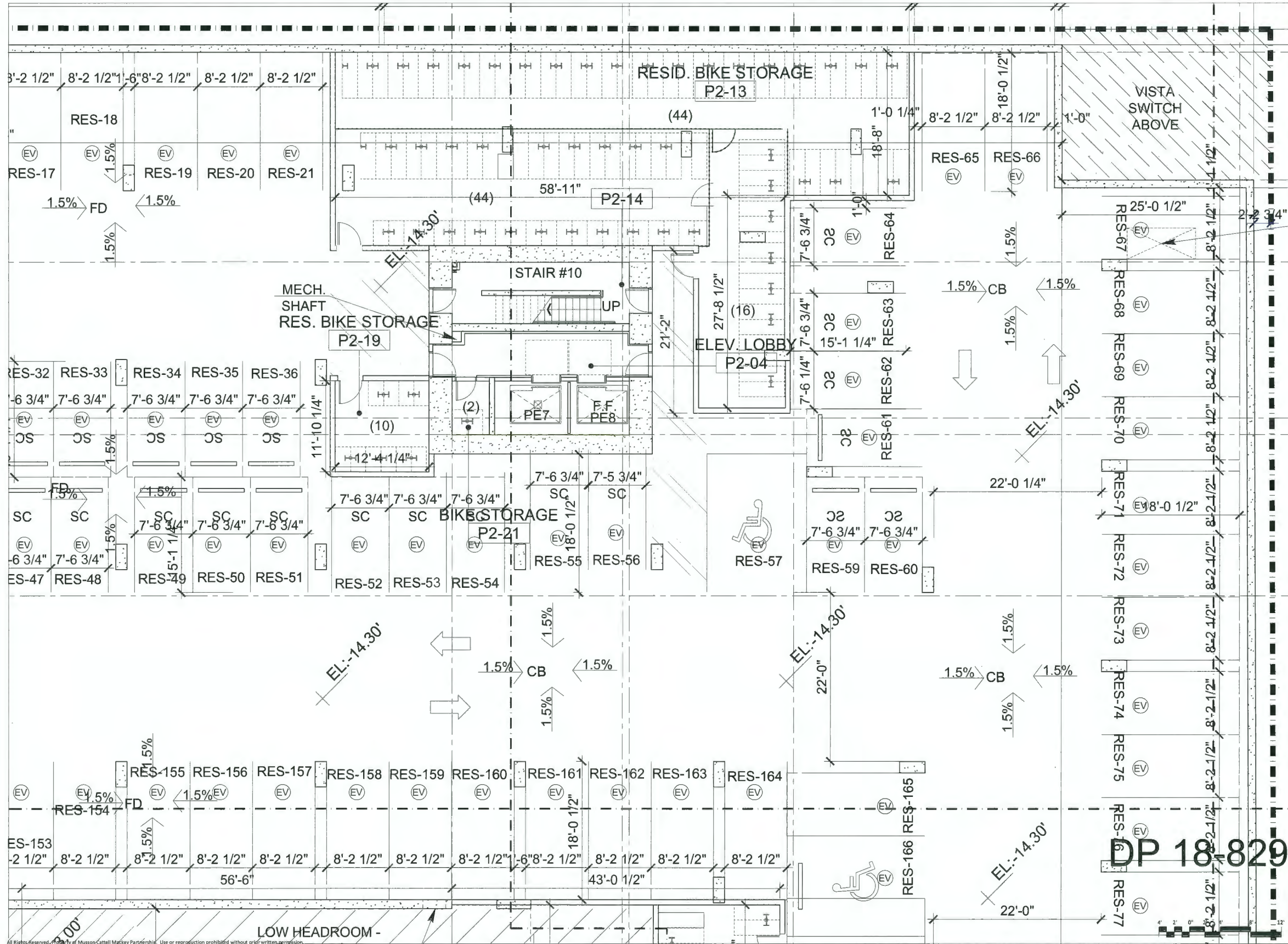
RICHMOND, BC  
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LEVEL P2

**DP 18-829141**

Drawing  
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 Sheet **2.12**





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1	22 OCT 2018

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**NO. 3 ROAD**  
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RICHMOND, BC  
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**LEVEL P2**  
**DP 18-829141**

Drawing  
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 Project 216022  
 Sheet **2.13**







- Revisions
- |    |                |                            |
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| 1  | 22 OCT 2018    | ISSUED FOR CITY REVIEW     |

**LEVEL P1 STATS**

PARKING	COMMERCIAL	RESIDENTIAL
REGULAR STALLS	36	82
SMALL CAR	35 (66%)	74 (47%)
HC STALLS	2	2
TOTAL	53	158
EV CHARGERS	13	40
BIKES		
REGULAR	24	150
VERTICAL	9	35 (15%)
TOTAL	33	185
BIKE CHARGERS	2 outlets per room	2 outlets per room

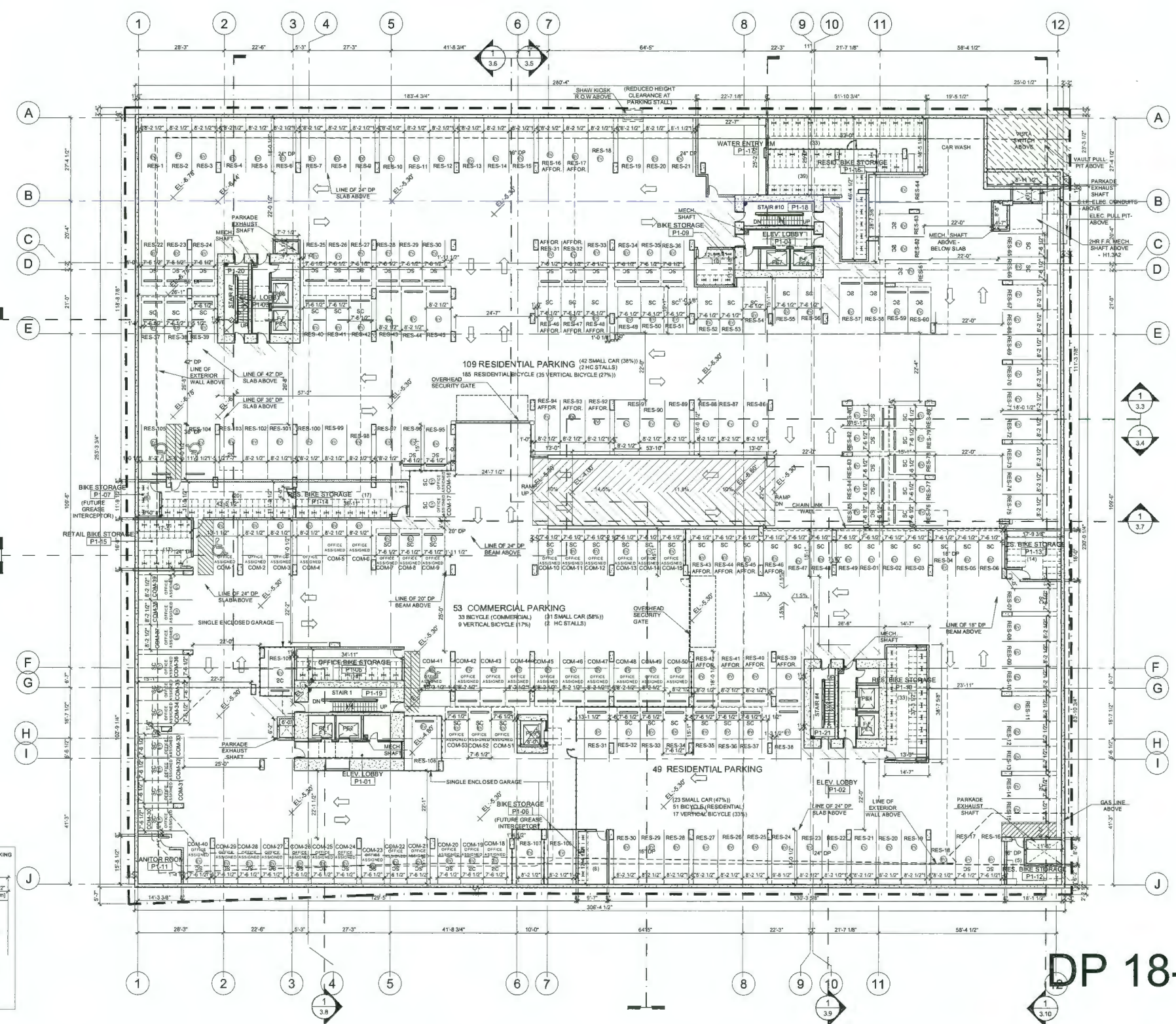
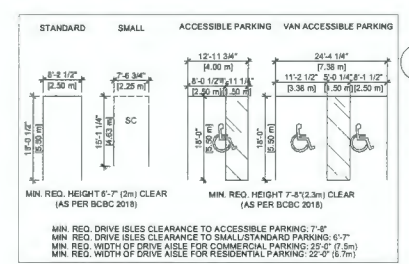
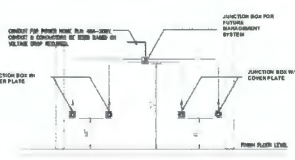
**BIKE STORAGE**  
ALL BIKE STORAGE ROOMS TO HAVE 2 ELECTRICAL OUTLETS FOR ELECTRIC BIKE CHARGING

**RESIDENTIAL VEHICLE PARKING P1 & P2**  
100% OF STALLS HAVE JUNCTION BOX THAT IS WIRED AND ENERGIZED. THERE WILL BE SUFFICIENT ELECTRICAL CAPACITY FOR ONE STAGE 2 CHARGER FOR EVERY 4 STALLS. THE WIRING WILL BE ARRANGED SUCH THAT AT A LATER DATE THROUGH LOAD SHARING THERE WILL BE THE CAPACITY TO CHARGE ALL THE PARKING STALLS.

**OFFICE PARKING P1 + 3 STALL ON L2**  
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25% OF STALLS HAVE A JUNCTION BOX WIRED AND ENERGIZED FOR FUTURE INSTALLATION OF A LEVEL 2 CHARGER.

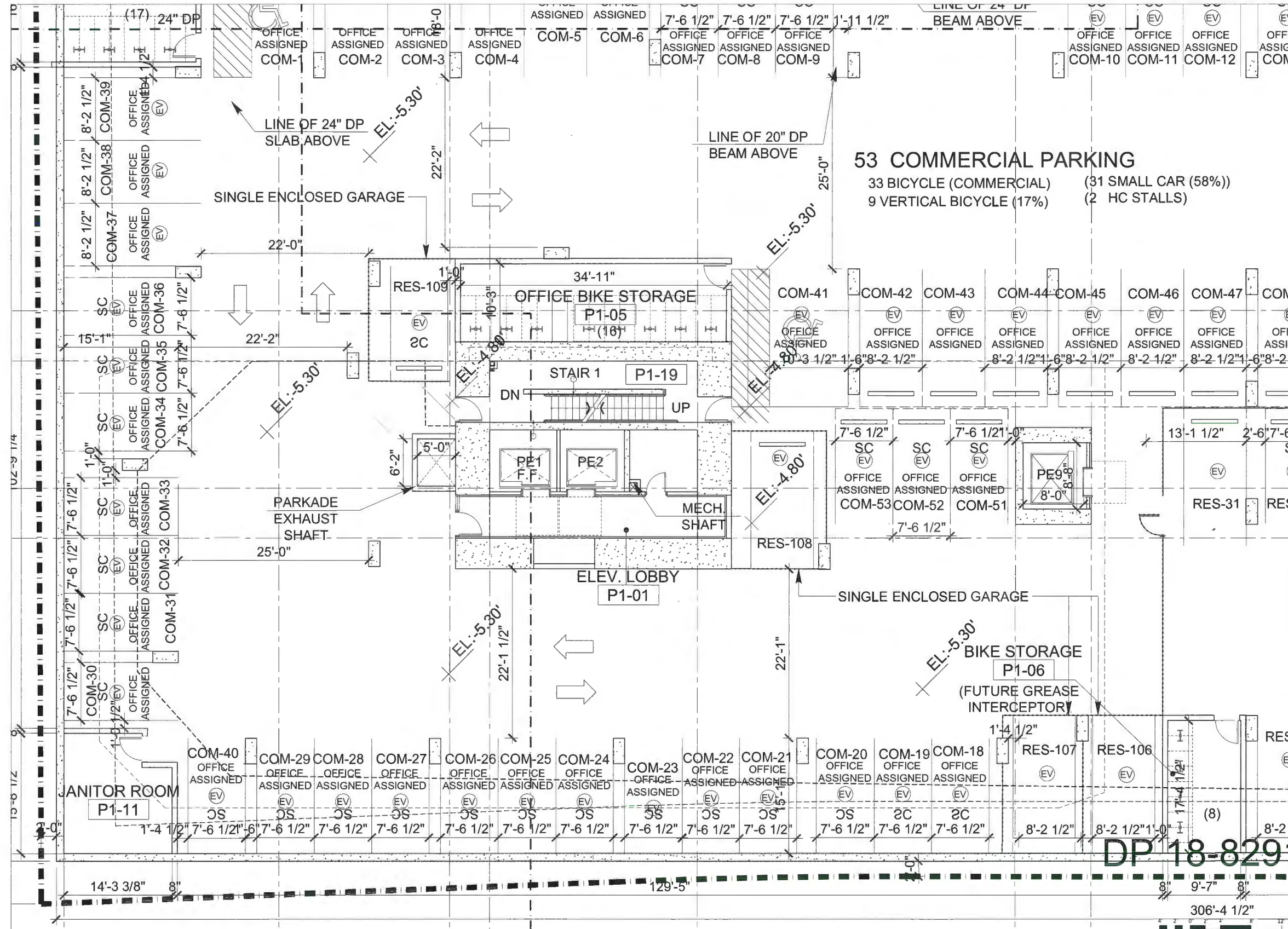
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DP 18-829141







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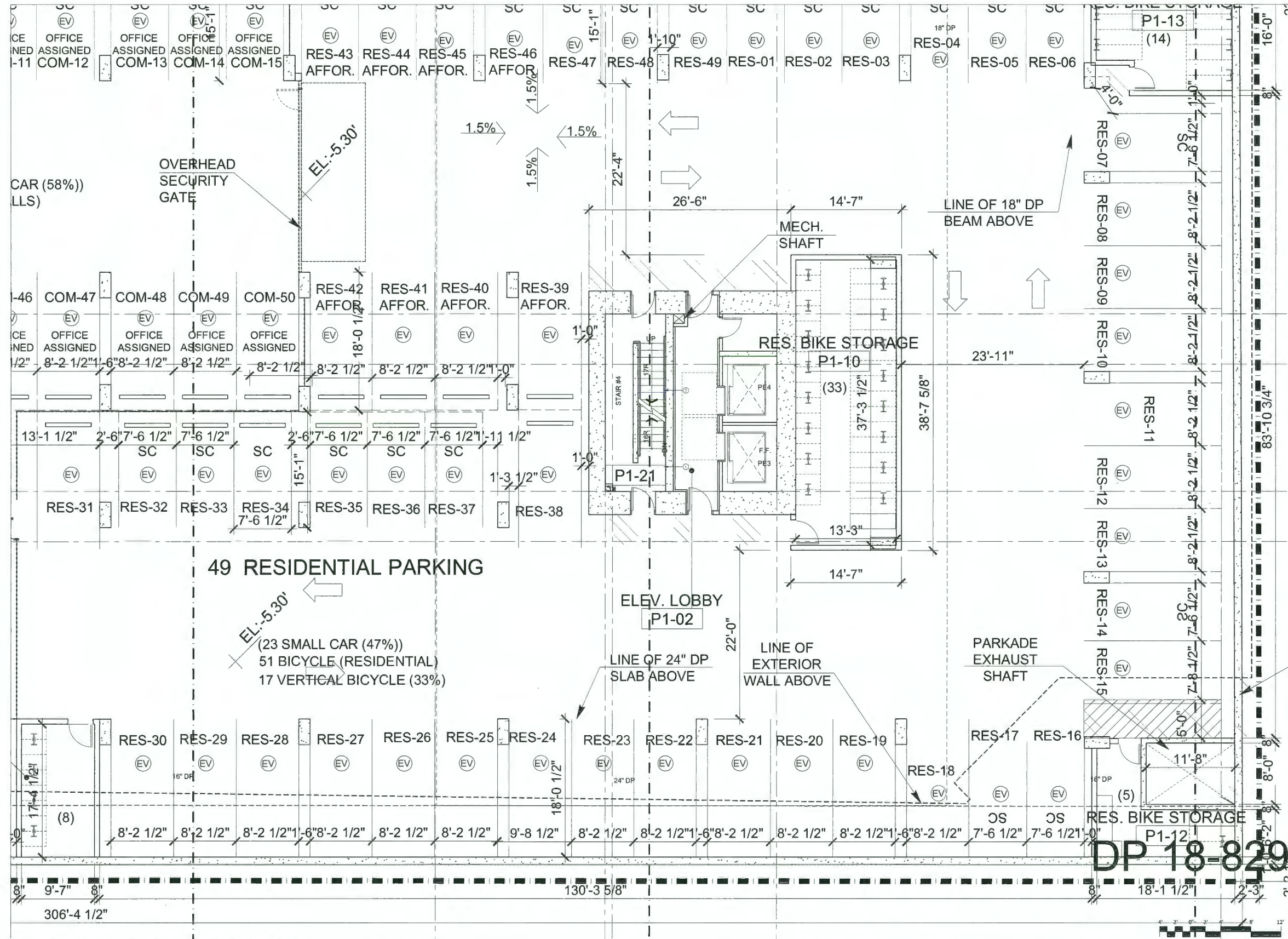
NO. 3 ROAD  
 DP 18-829141

RICHMOND, BC  
 Project  
**LEVEL P1**

**DP 18-829141**

Drawing  
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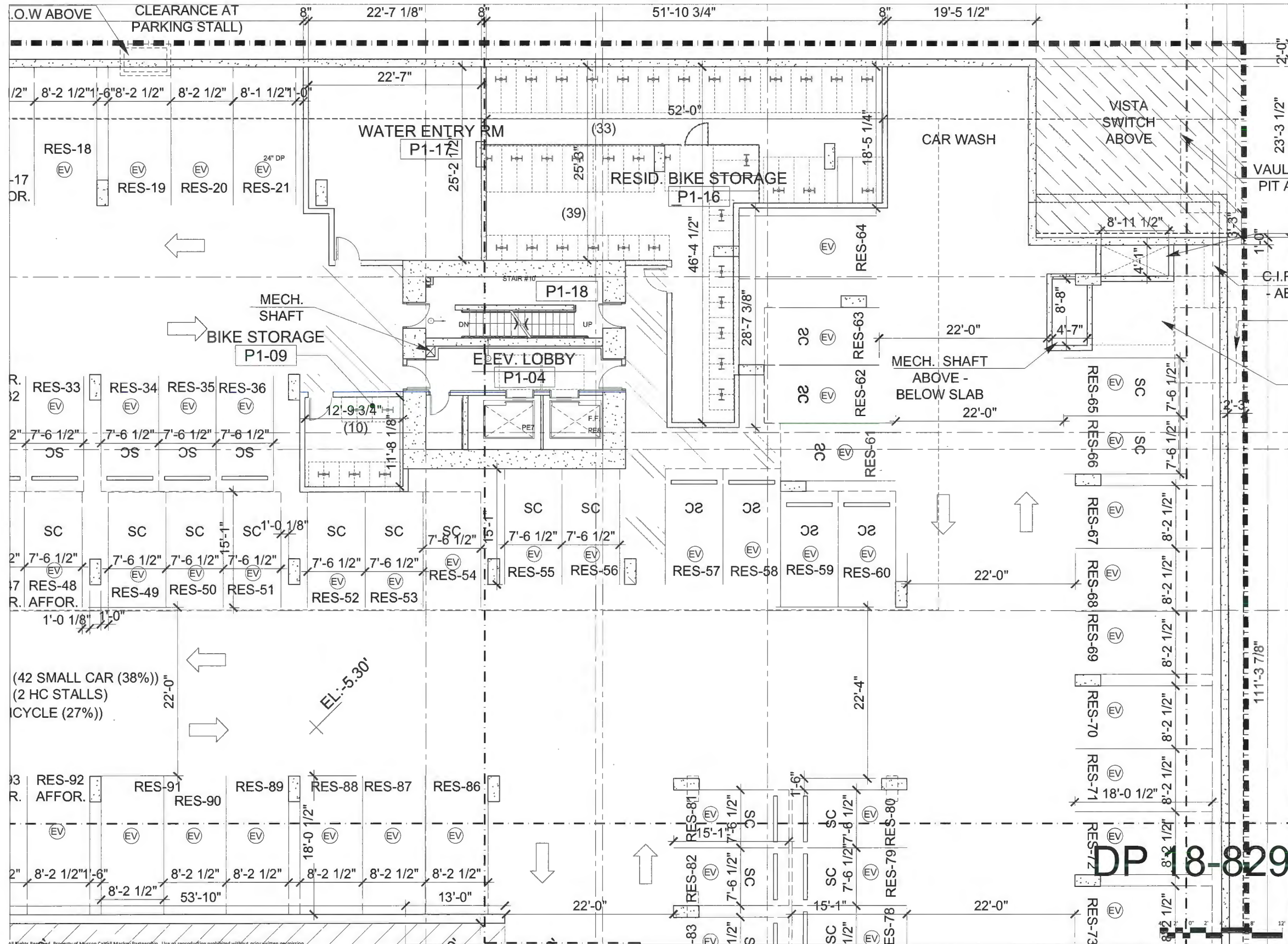
RICHMOND, BC  
 Project

**LEVEL P1**

**DP 18-829141**

Drawing  
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 Sheet **2.2.2**





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9 17 JULY 2020 RE-ISSUED FOR DP

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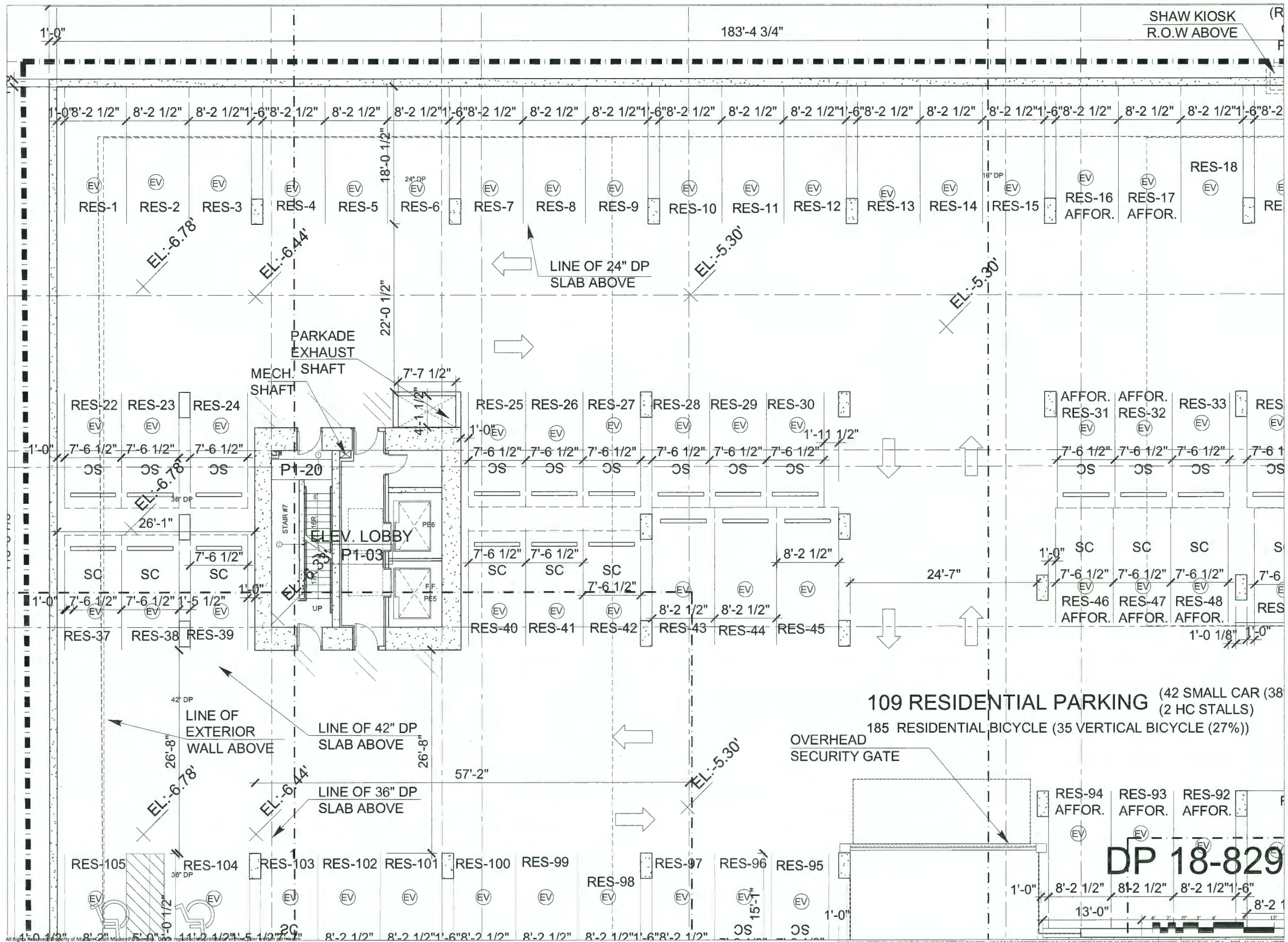
RICHMOND, BC  
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**LEVEL P1**

**DP 18-829141**

Drawing  
Scale 3/16" = 1'-0"  
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Sheet **2.2.3**





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**109 RESIDENTIAL PARKING** (42 SMALL CAR (38  
 (2 HC STALLS)  
 185 RESIDENTIAL BICYCLE (35 VERTICAL BICYCLE (27%))  
 OVERHEAD SECURITY GATE

**DP 18-829141**

RICHMOND, BC  
 Project  
**LEVEL P1**  
 Drawing  
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 Project 216022  
 Sheet **2.2.4**





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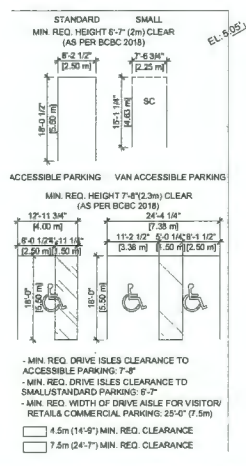
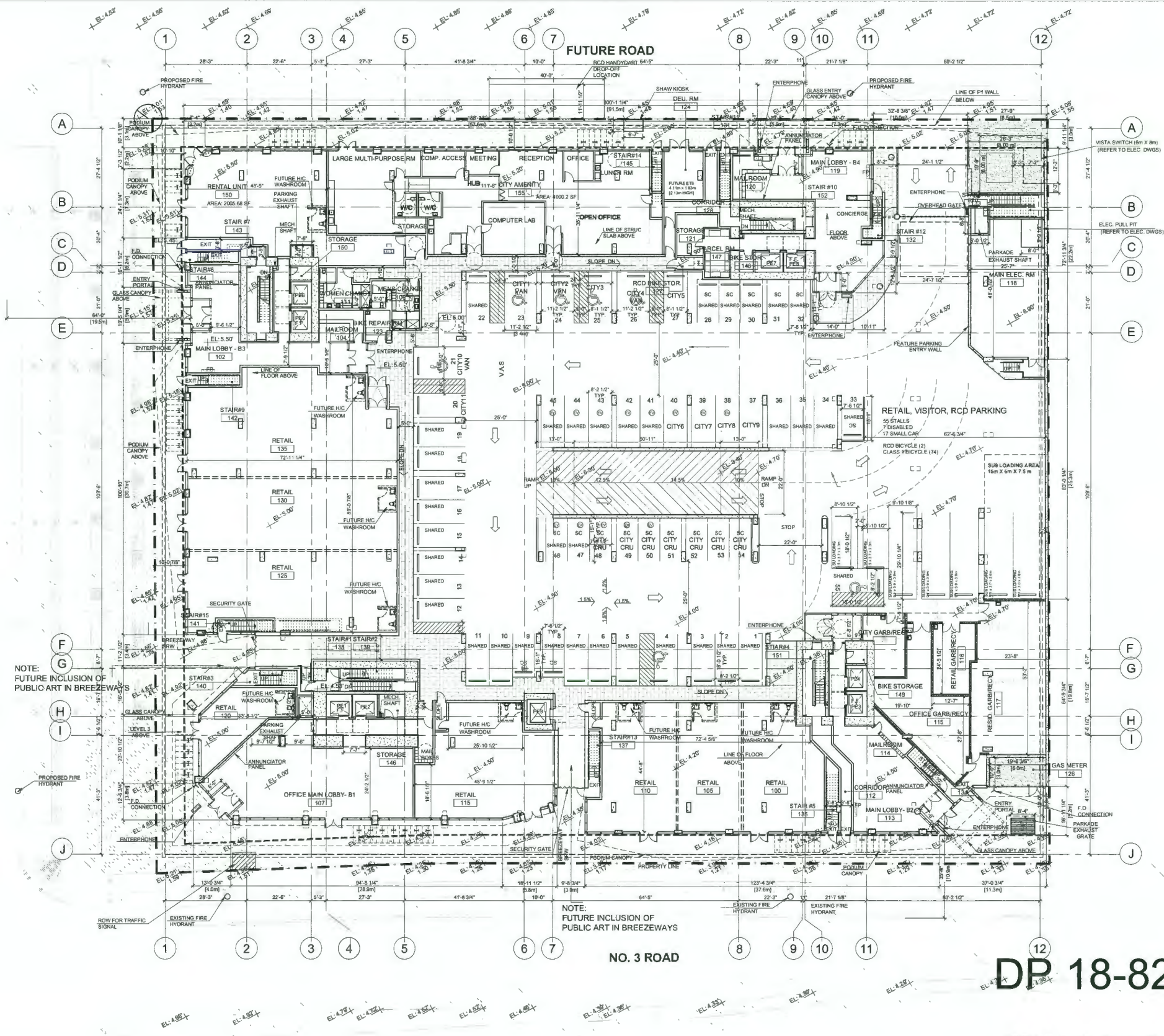
**LEVEL 1 STATS**

	COMMERCIAL	RESIDENTIAL
PARKING		
REGULAR STALLS	31	
SMALL CAR	17 (55%)	
HC STALLS	7	
TOTAL	55	
EV CHARGERS	14	
BIKES		
REGULAR	2	
VERTICAL		
TOTAL	2	
BIKE CHARGERS	2 outlets per room	

**BIKE STORAGE**  
ALL BIKE STORAGE ROOMS TO HAVE 2 ELECTRICAL OUTLETS FOR ELECTRIC BIKE CHARGING

**SHARED PARKING - L1 & L2**  
25% OF STALLS HAVE A JUNCTION BOX WIRED AND ENERGIZED FOR FUTURE INSTALLATION OF A LEVEL 2 CHARGER.

**NOTE: ELECTRIC VEHICLE INFO**  
PROVIDED ON ARCHITECTURAL DRAWINGS FOR DEVELOPMENT PERMIT INFO ONLY. REFER TO ELECTRICAL DRAWINGS FOR ALL ELECTRICAL INFORMATION.



Seal  
**NO. 3 ROAD**  
DP 18-829141

RICHMOND, BC  
Project

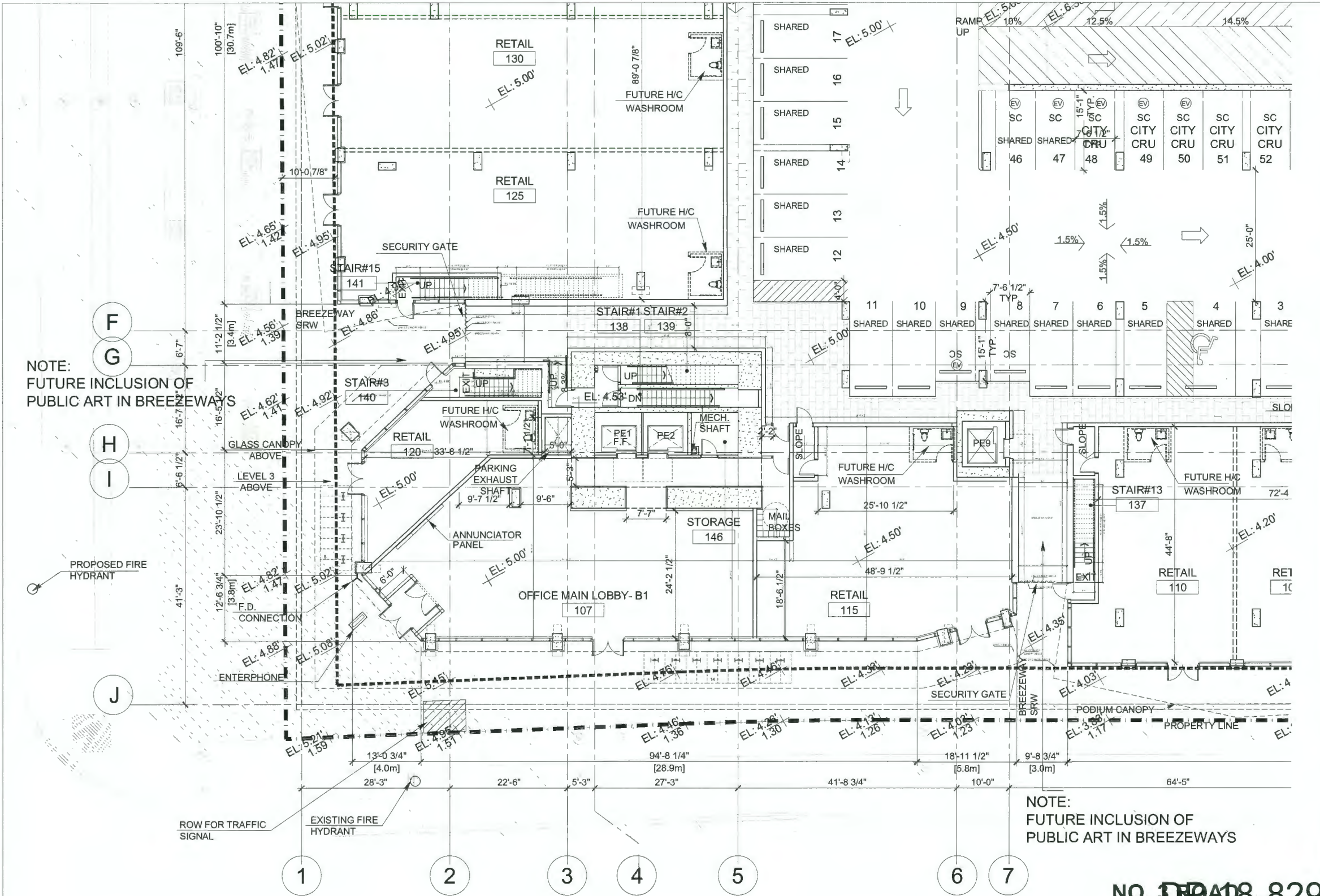
**GROUND FLOOR PLAN**

**DP 18-829141**



Drawing  
Scale 1/16" = 1'-0"  
Project 216022  
Sheet **2.3**





NOTE:  
FUTURE INCLUSION OF  
PUBLIC ART IN BREEZWAYS

NOTE:  
FUTURE INCLUSION OF  
PUBLIC ART IN BREEZWAYS



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11	14 AUGUST 2020	RE-ISSUED FOR DP
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9	17 JULY 2020	RE-ISSUED FOR DP
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Seal  
**NO. 3 ROAD**  
DP 18-829141

RICHMOND, BC  
Project  
**GROUND FLOOR  
PLAN**

**NO. 3 ROAD DP 18-829141**

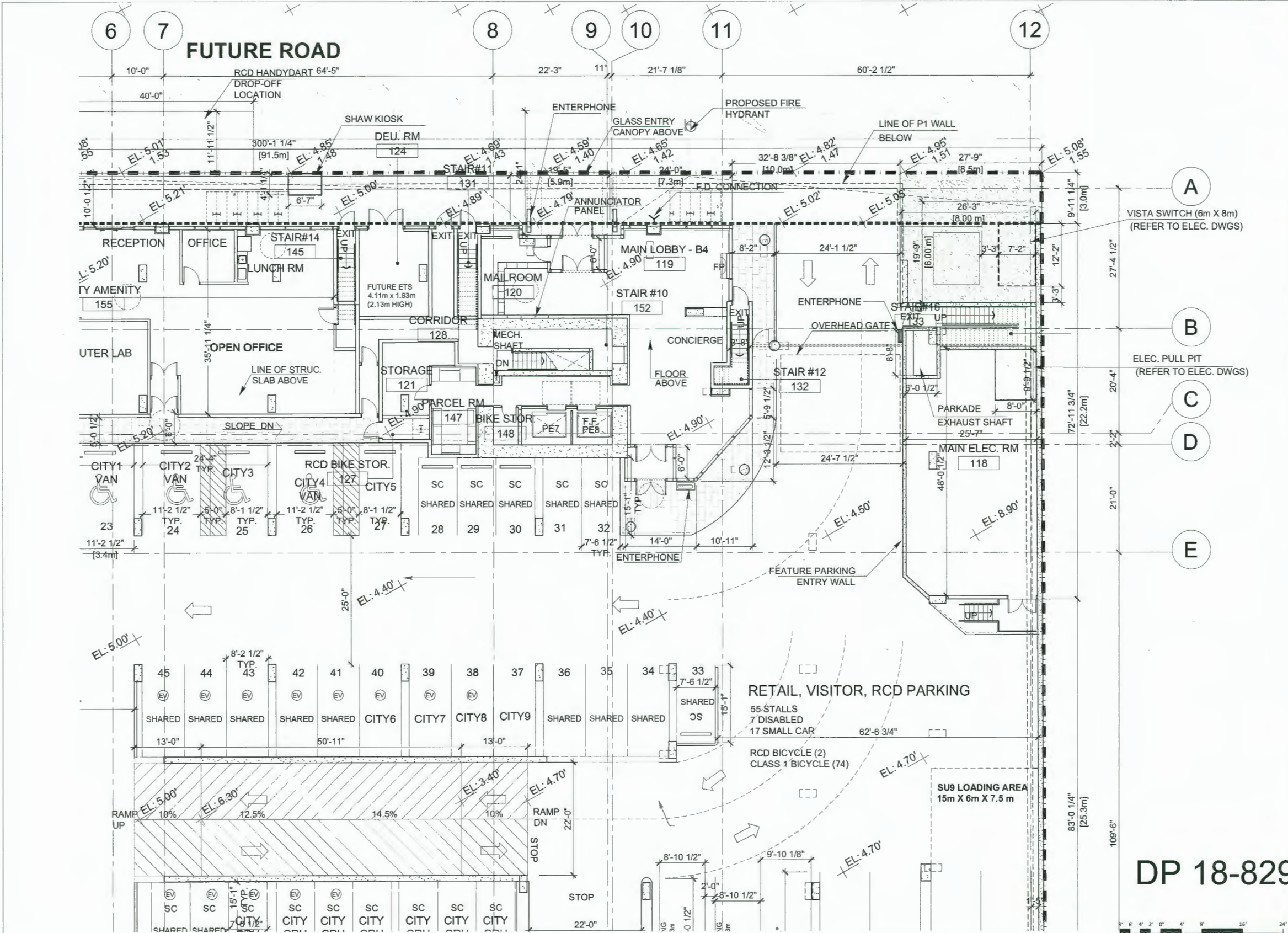
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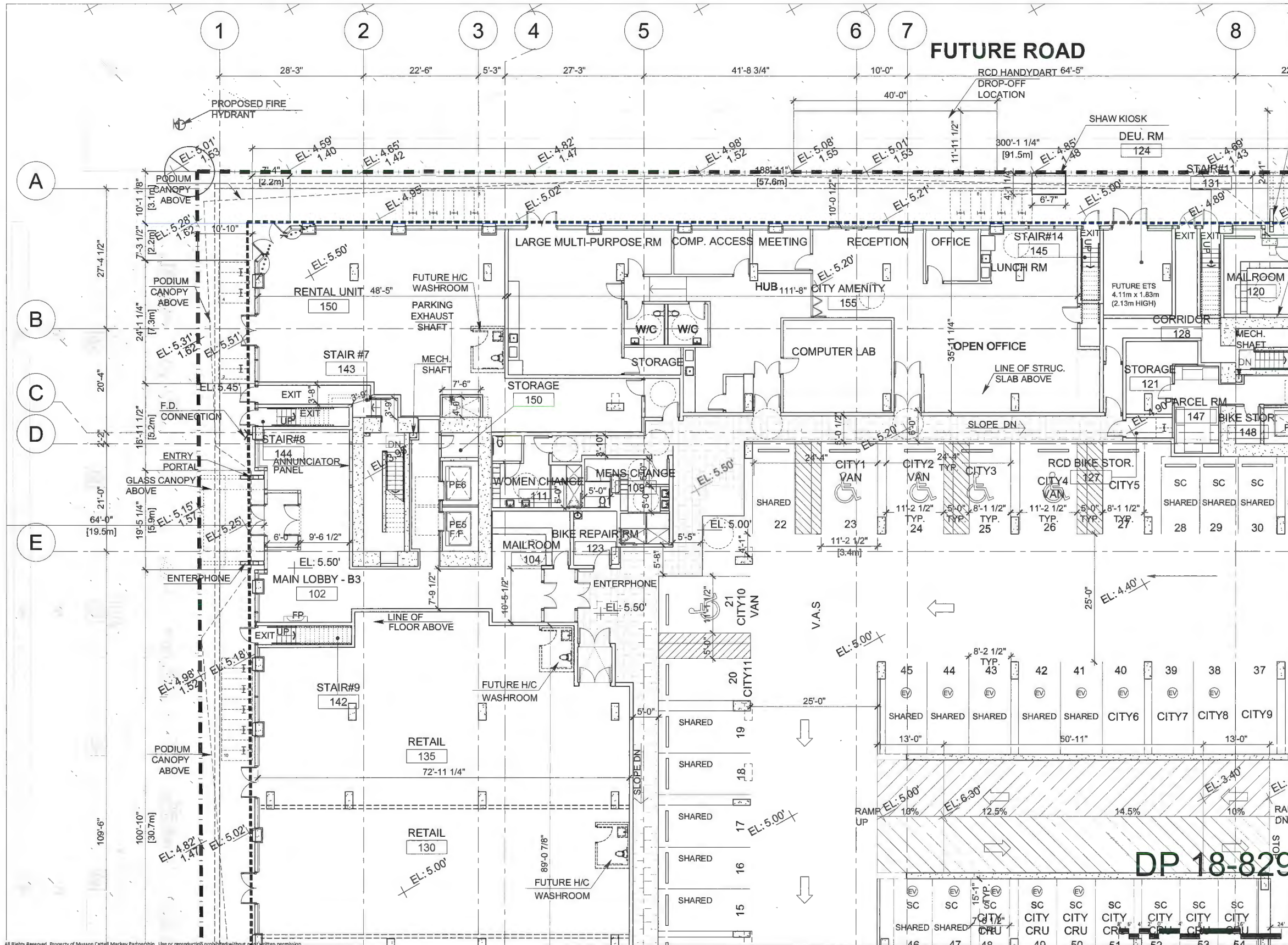
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DP 18-829141

RICHMOND, BC  
Project  
**GROUND FLOOR PLAN**

**DP 18-829141**

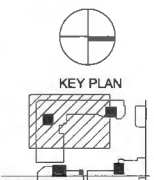
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Project 216022  
Sheet **2.3.3**





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**NO. 3 ROAD**  
 DP 18-829141

RICHMOND, BC  
 Project

**GROUND FLOOR  
 PLAN**

**DP 18-829141**

Drawing  
 Scale 1/8" = 1'-0"  
 Project 216022  
 Sheet **2.3.4**





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**LEVEL 2 STATS**

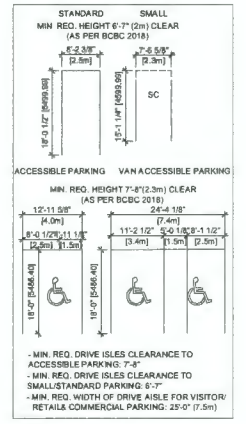
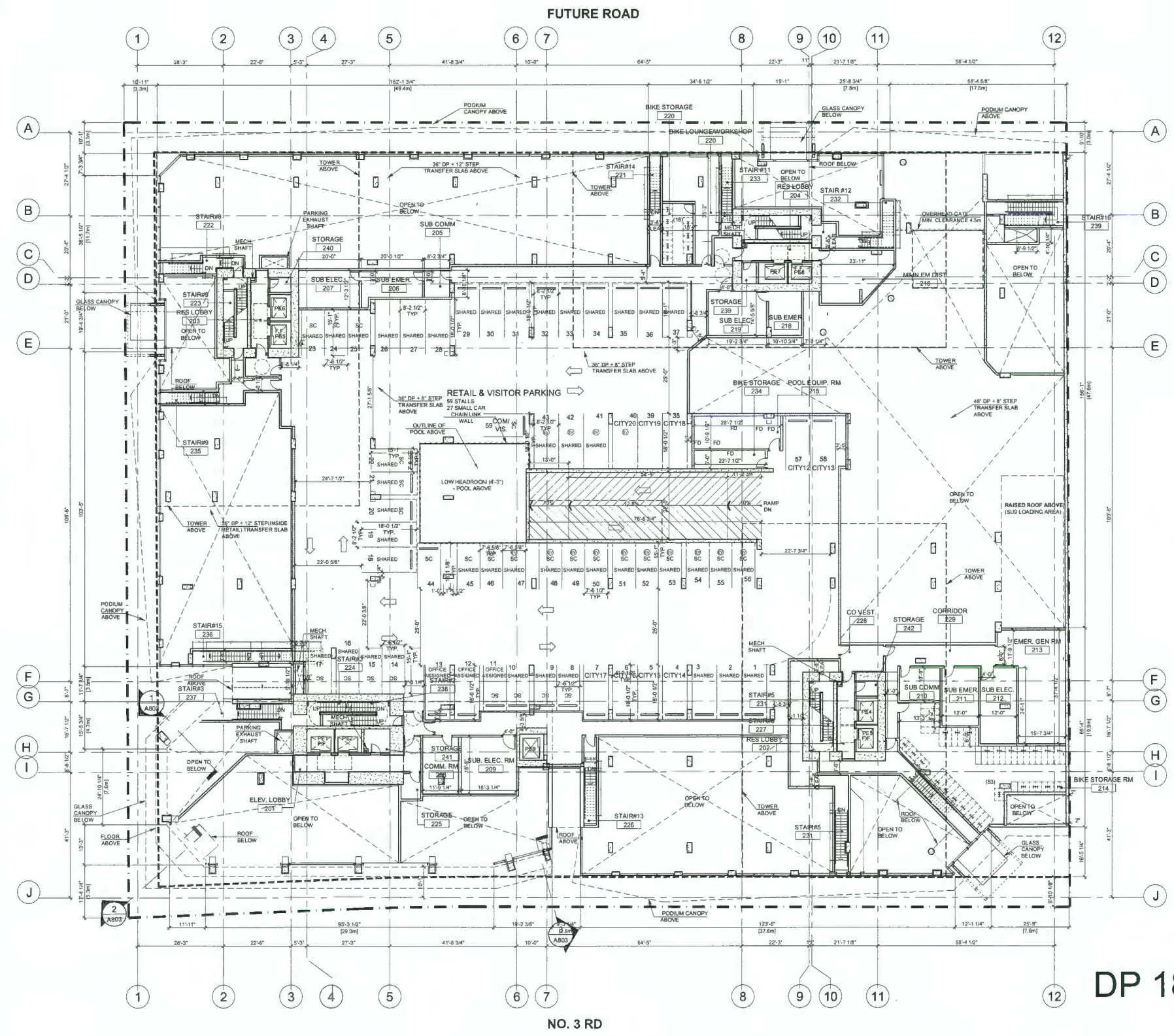
PARKING	COMMERCIAL	RESIDENTIAL
REGULAR STALLS	32	-
SMALL CAR	27 46%	-
HC STALLS	-	-
TOTAL	59	-
EV CHARGERS	15	-
BIKES	-	53
REGULAR	-	16
VERTICAL	-	16
TOTAL	-	53
BIKE CHARGERS	2 outlets per room	-

**BIKE STORAGE**  
ALL BIKE STORAGE ROOMS TO HAVE 2 ELECTRICAL OUTLETS FOR ELECTRIC BIKE CHARGING

**OFFICE PARKING P1 + 3 STALL ON L2**  
100% OF STALLS HAVE JUNCTION BOX WIRED AND ENERGIZED. THERE WILL BE SUFFICIENT ELECTRICAL CAPACITY FOR ONE STAGE 2 CHARGER FOR EVERY 4 STALLS. THE WIRING WILL BE ARRANGED SUCH THAT AT A LATER DATE THROUGH LOAD SHARING THERE WILL BE THE CAPACITY TO CHARGE AT ALL THE PARKING STALLS.

**SHARED PARKING - L1 & L2**  
25% OF STALLS HAVE A JUNCTION BOX WIRED AND ENERGIZED FOR FUTURE INSTALLATION OF A LEVEL 2 CHARGER.

**NOTE:** ELECTRIC VEHICLE INFO PROVIDED ON ARCHITECTURAL DRAWINGS FOR DEVELOPMENT PERMIT INFO ONLY. REFER TO ELECTRICAL DRAWINGS FOR ALL ELECTRICAL INFORMATION.



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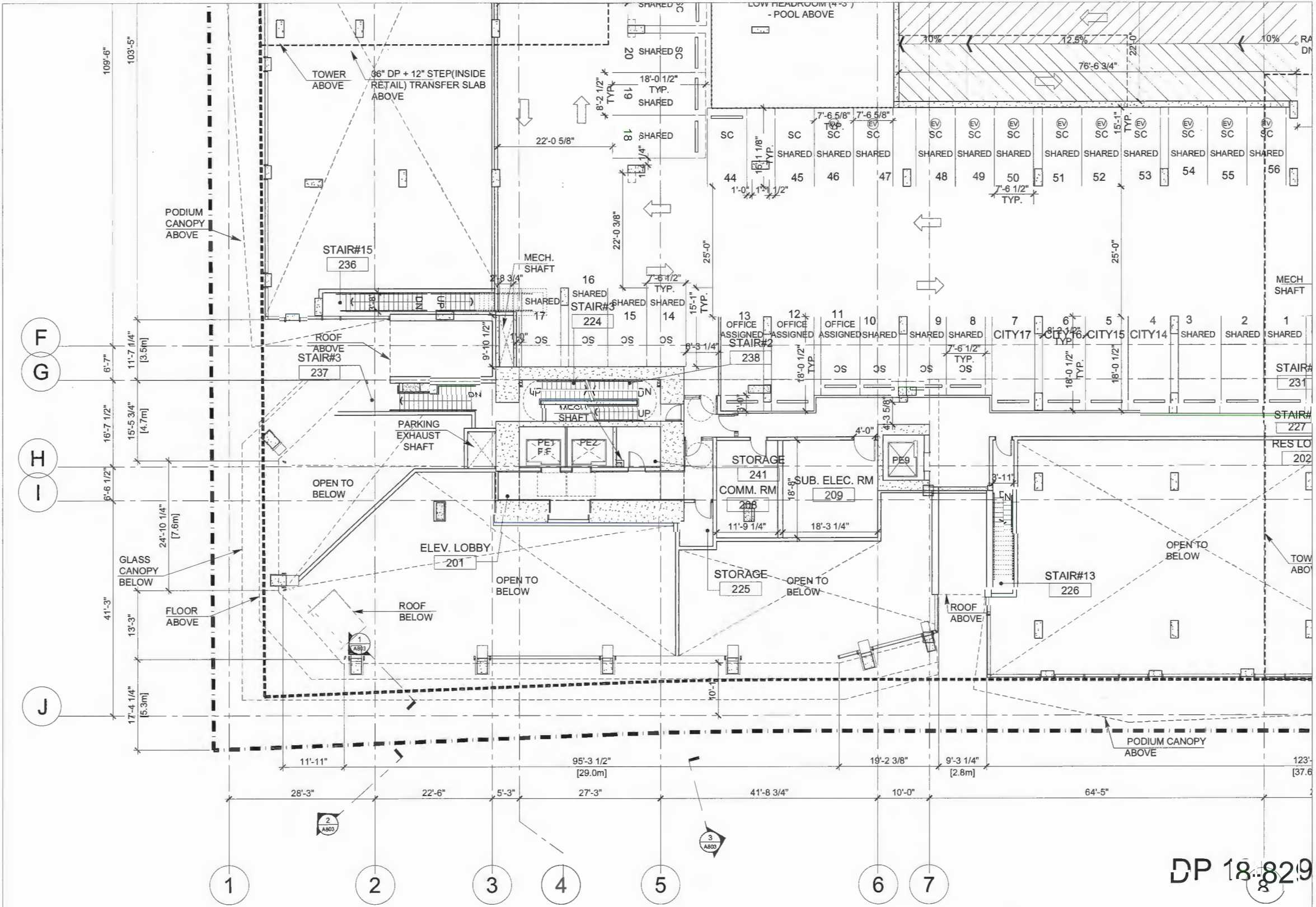


NO 3 ROAD  
DP 18-829141

RICHMOND, BC  
Project  
LEVEL 2 PLAN

Drawing  
Scale 1/16" = 1'-0"  
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Sheet 2.4





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12	29 AUGUST 2020 RE-ISSUED FOR DP
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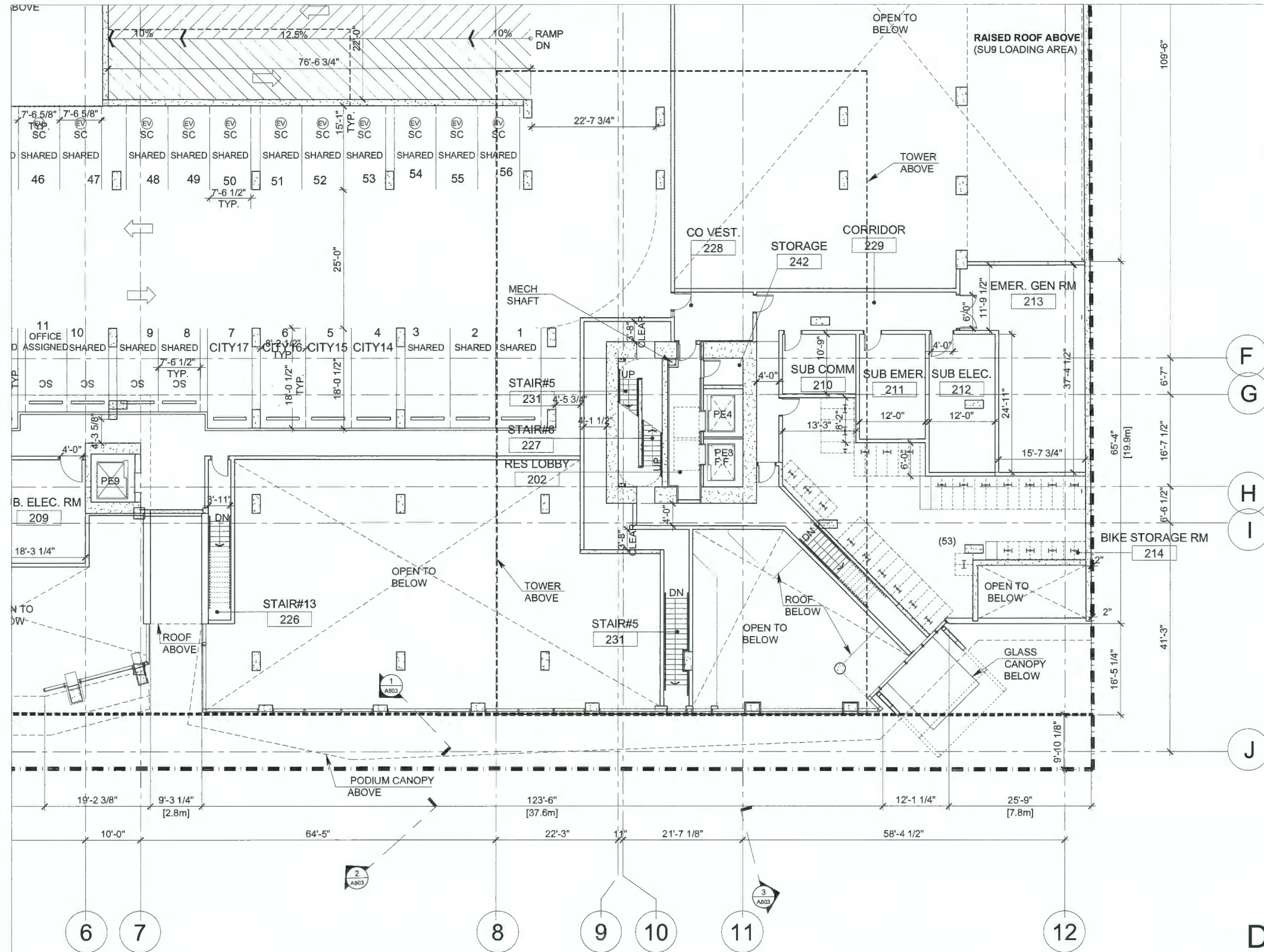
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 Project  
**LEVEL 2 PLAN**

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**NO. 3 RD**



Drawing  
 Scale 1/8" = 1'-0"  
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 Sheet **2.4.1**



NO. 3 RD

DP 18-829141



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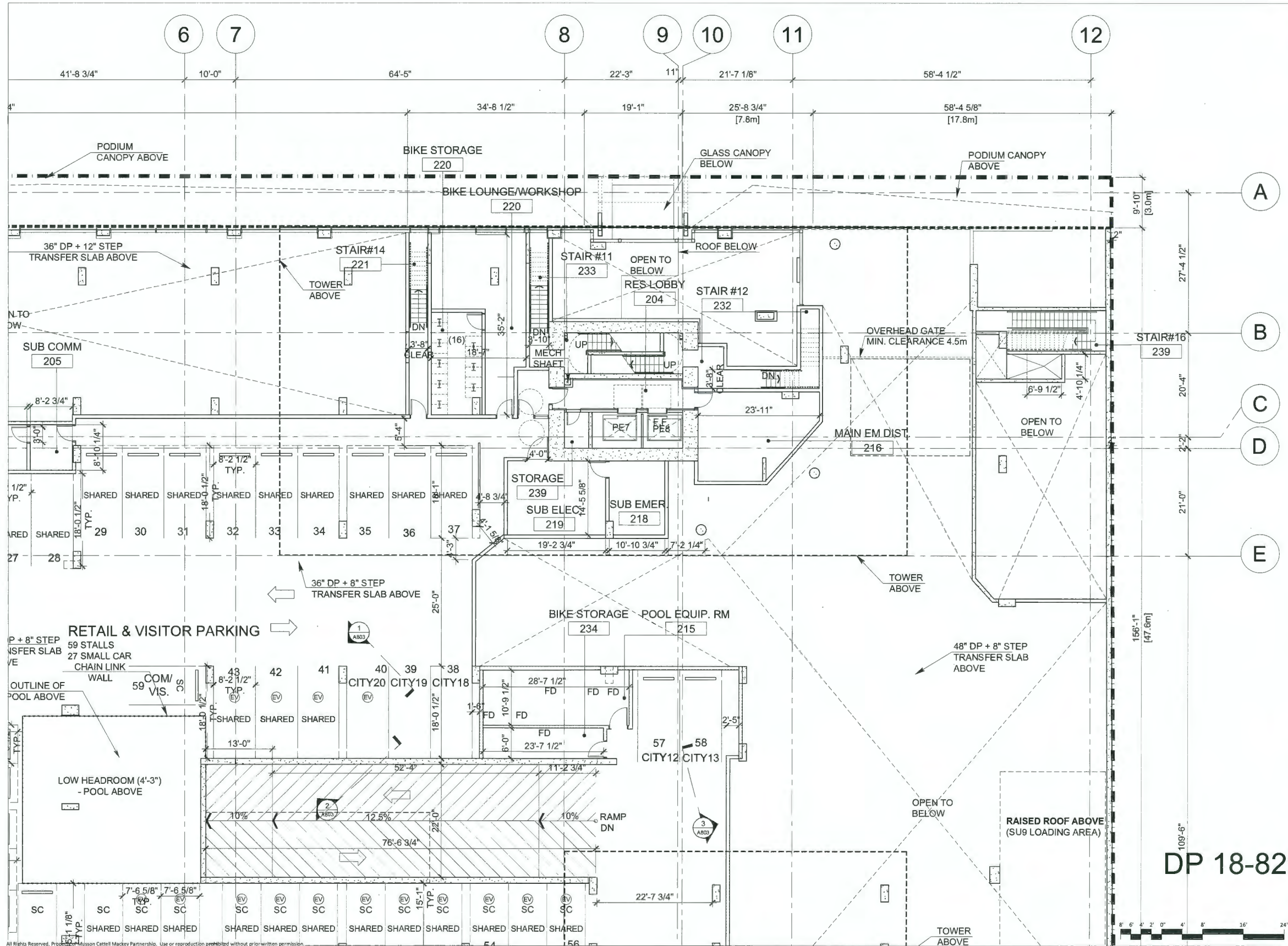
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**NO 3 ROAD  
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Project  
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Drawing  
Scale 1/8" = 1'-0"  
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Sheet **2.4.2**





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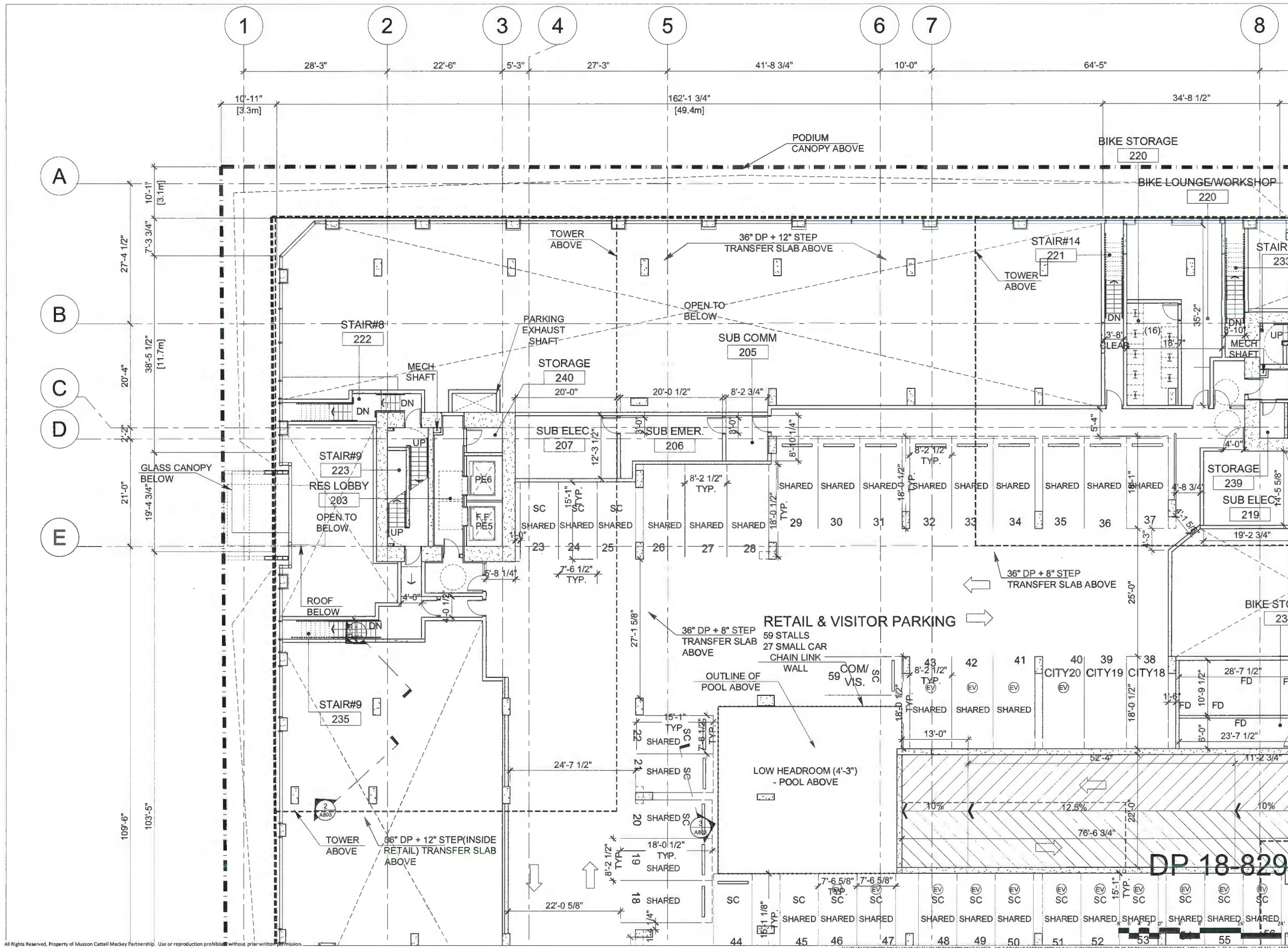
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NO 3 ROAD  
DP 18-829141

RICHMOND, BC  
Project  
**LEVEL 2 PLAN**

**DP 18-829141**

Scale: 1/8" = 1'-0"  
Project: 216022  
Sheet: **2.4.3**



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**LEVEL 2 PLAN**

**DP 18-829141**

Drawing  
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 Sheet **2.4.4**



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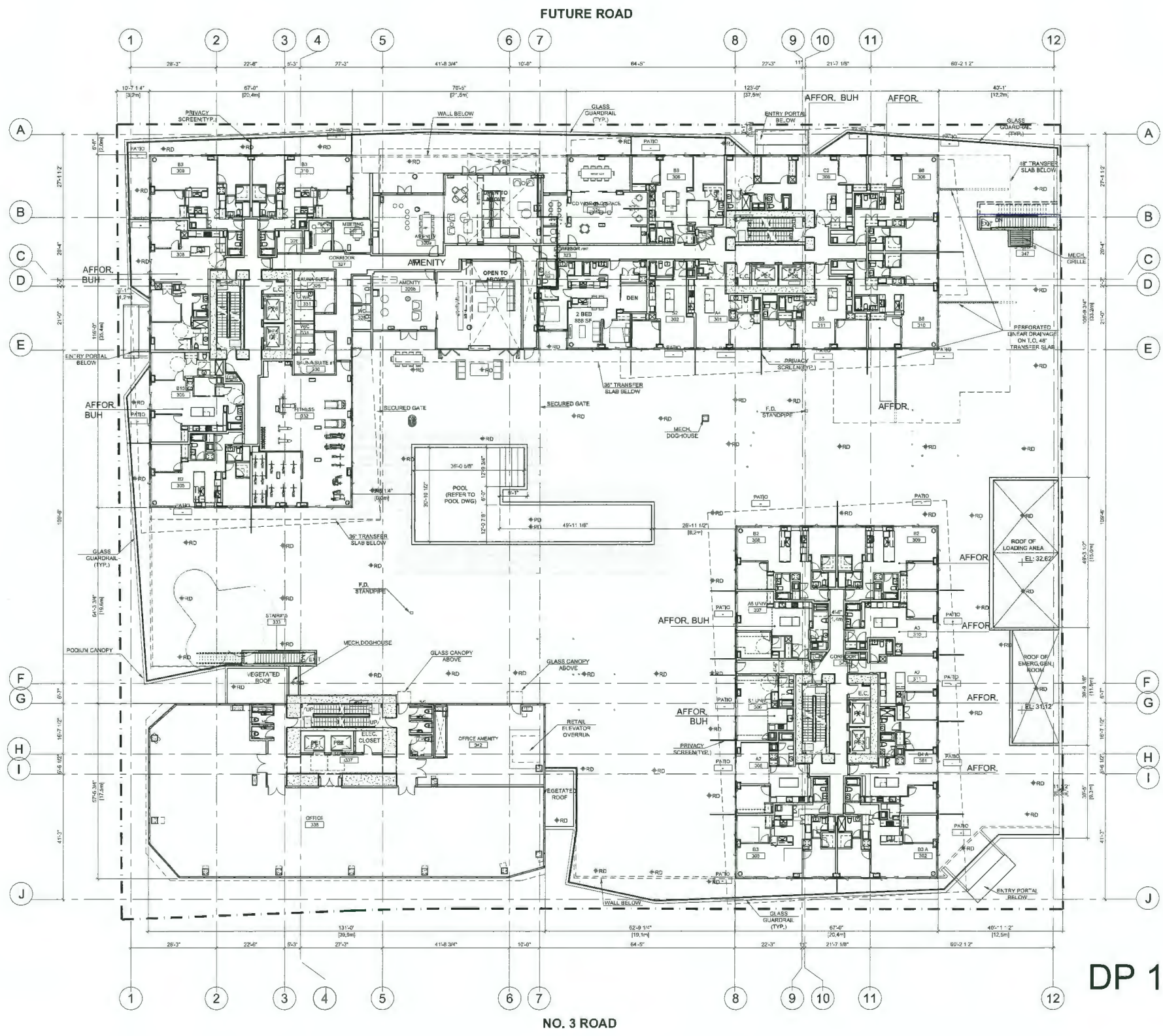
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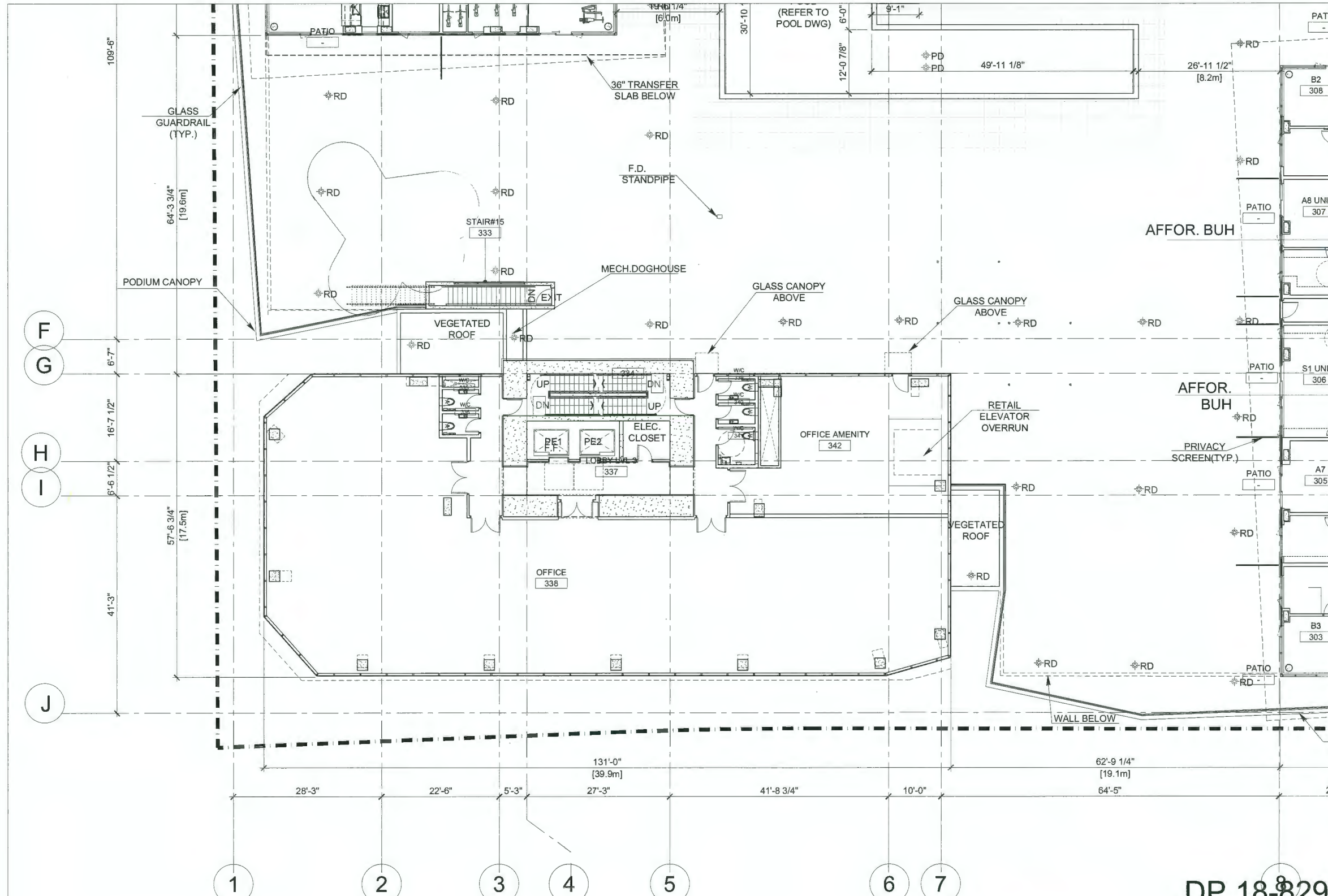
Seal  
NO 3 ROAD  
DP 18-829141

RICHMOND, BC  
Project  
LEVEL 3 PLAN

DP 18-829141

Drawing  
Scale  
Project 216022  
Sheet 2.5





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NO 3 ROAD  
DP 18-B29141

RICHMOND, BC  
Project  
**LEVEL 3 PLAN  
SE CORNER**

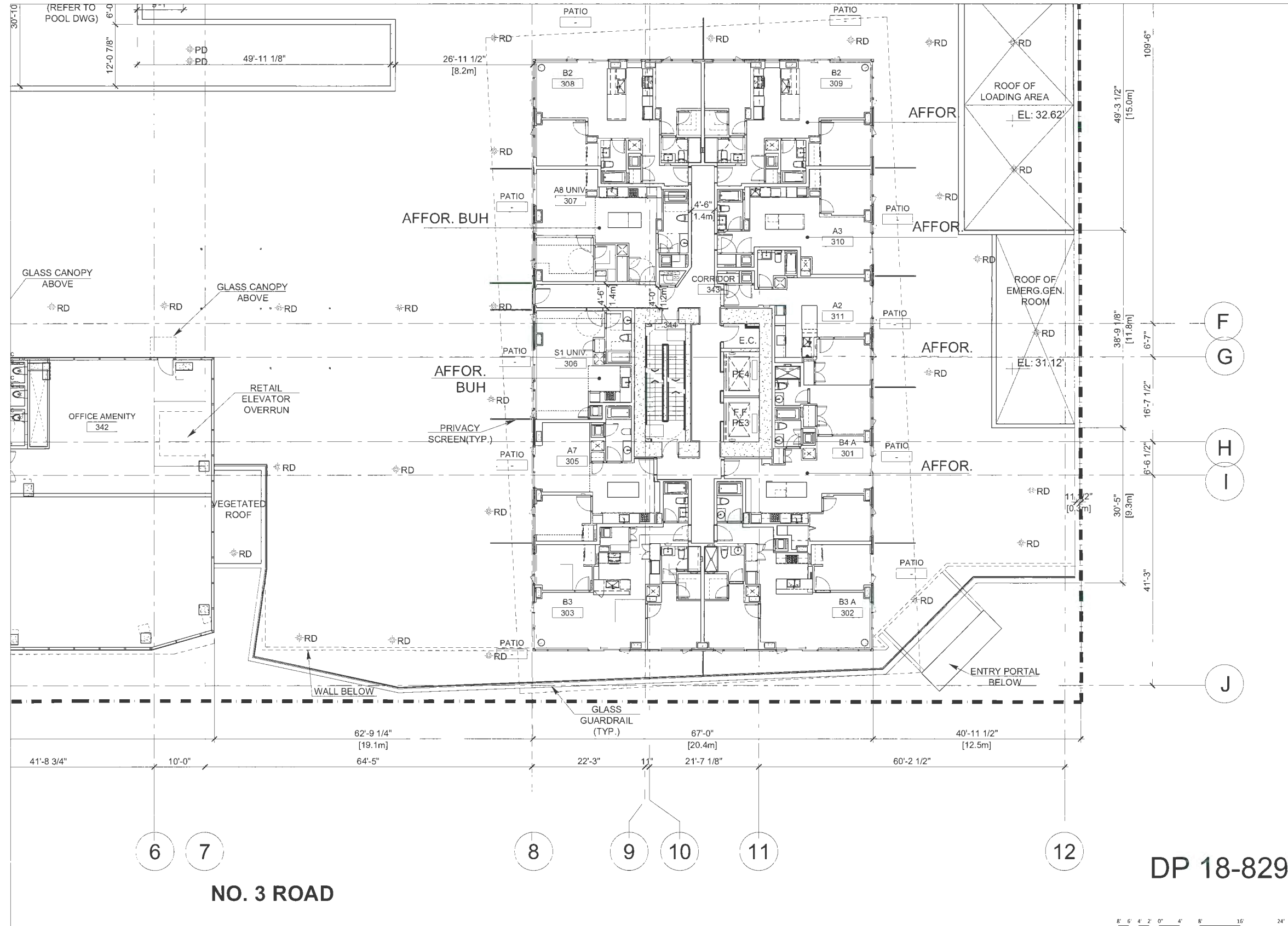
**DP 18-829141**

**NO. 3 ROAD**



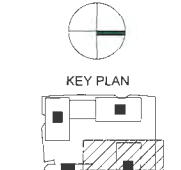
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 Project  
**LEVEL 3 PLAN**  
**NE CORNER**

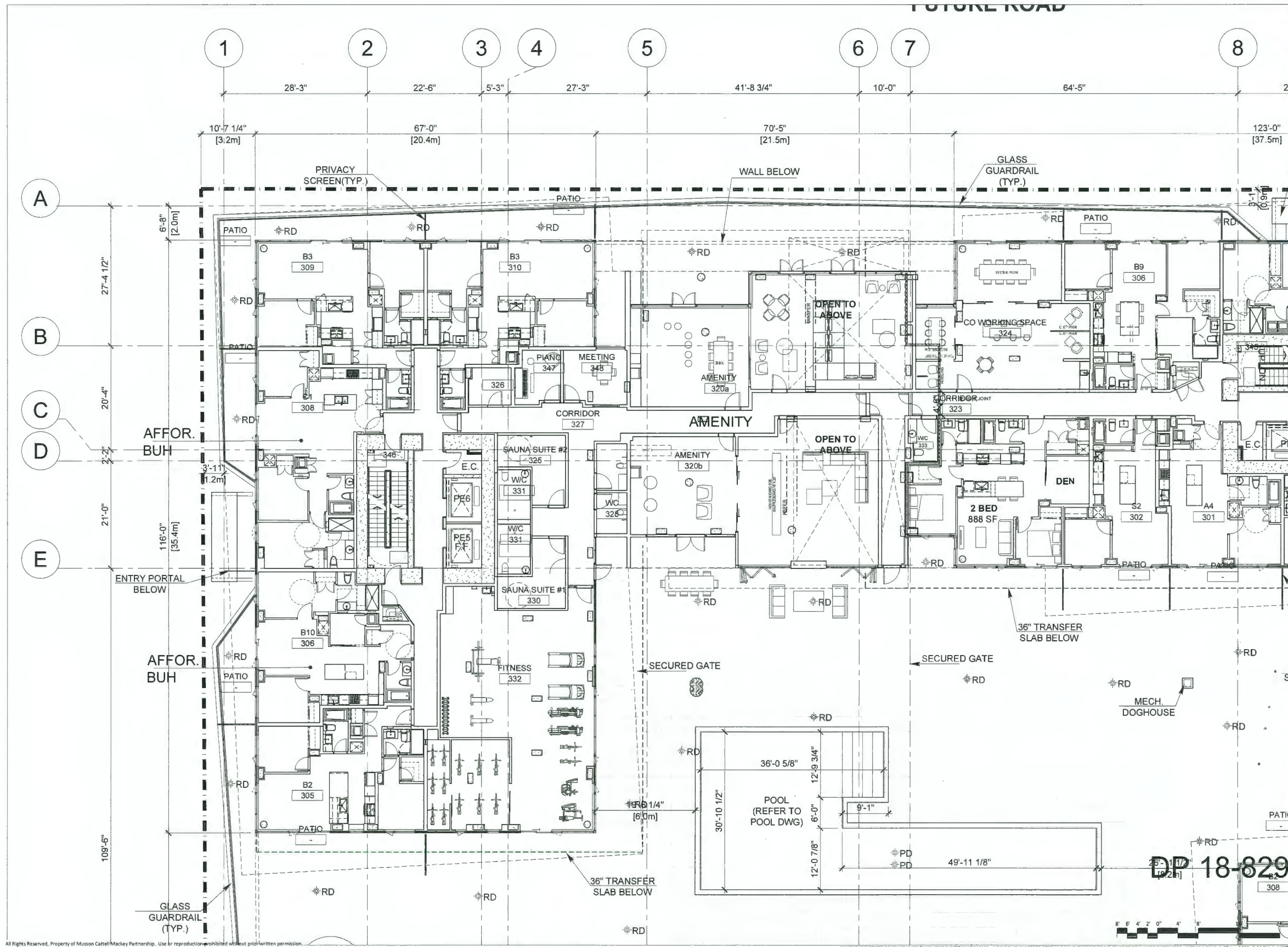
**DP 18-829141**

Scale 3/8" = 1'-0"  
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NO 3 ROAD  
DP 18-829141

RICHMOND, BC  
Project  
**LEVEL 3 PLAN  
SW CORNER**

**DP 18-829141**

Drawing  
Scale: 1/8" = 1'-0"  
Project: 216022  
Sheet: **2.5.4**









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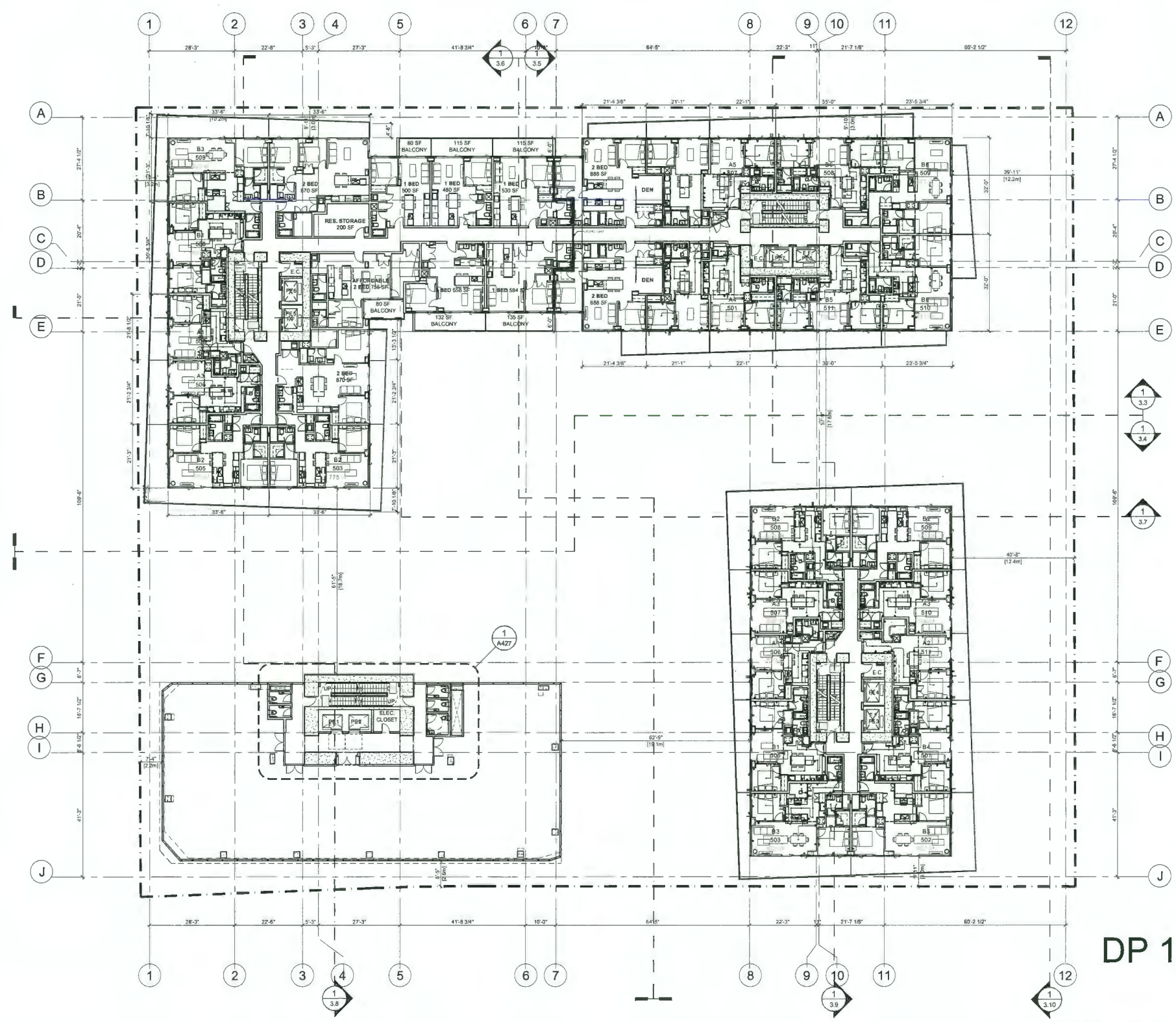
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DP 18-829141

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RICHMOND, BC  
Project

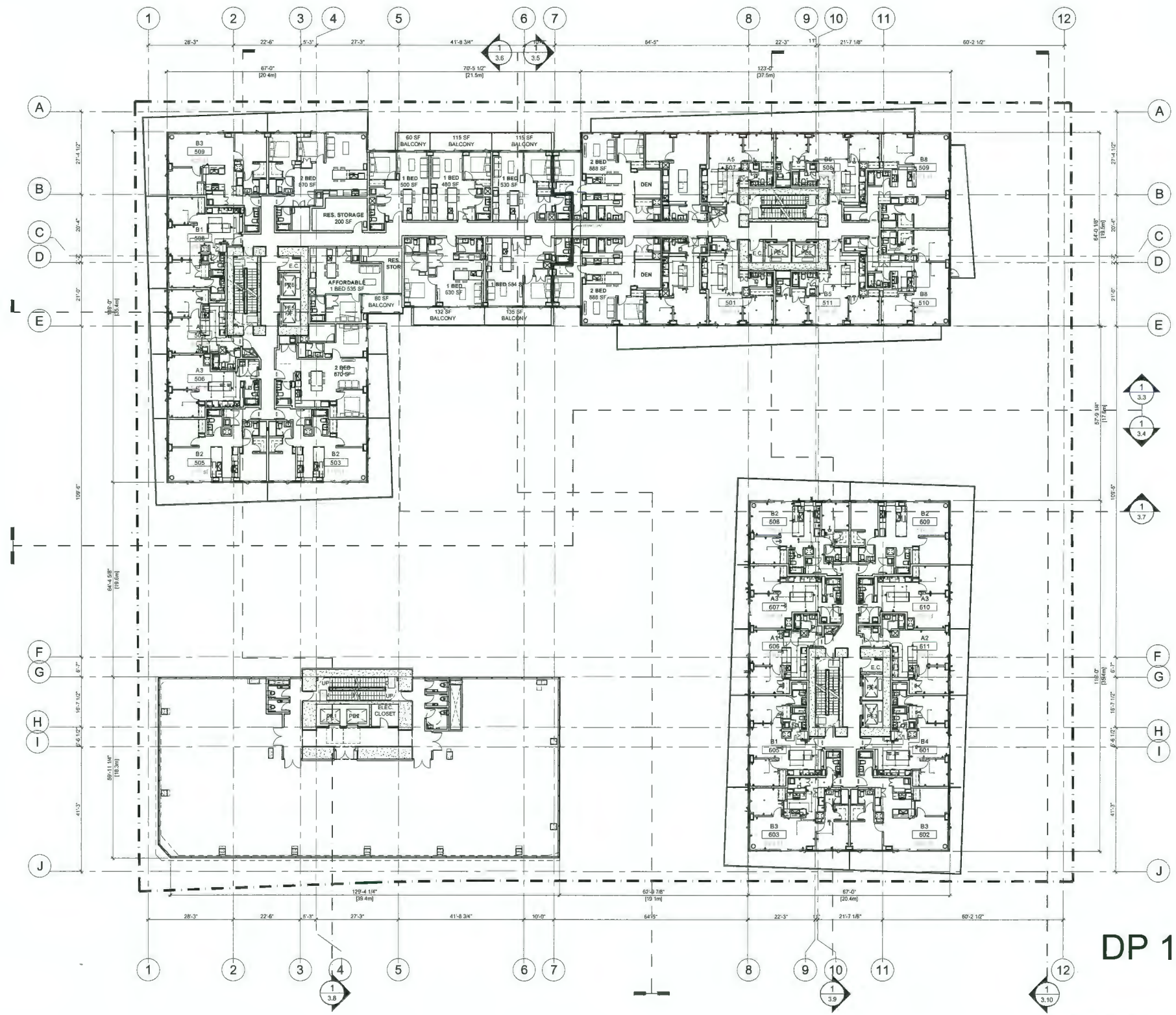
**LEVEL 5 PLAN**

**DP 18-829141**

Drawing  
Scale 1/16" = 1'-0"  
Project 216022  
Sheet **2.7**







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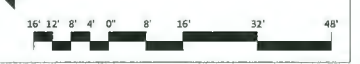
Revisions TYYY-MMA-00

Seal  
**NO 3 ROAD**  
 DP 18-829141

RICHMOND, BC  
 Project  
**LEVEL 6 PLAN**

**DP 18-829141**

Drawing  
 Scale 1/16" = 1'-0"  
 Project 216022  
 Sheet **2.8**





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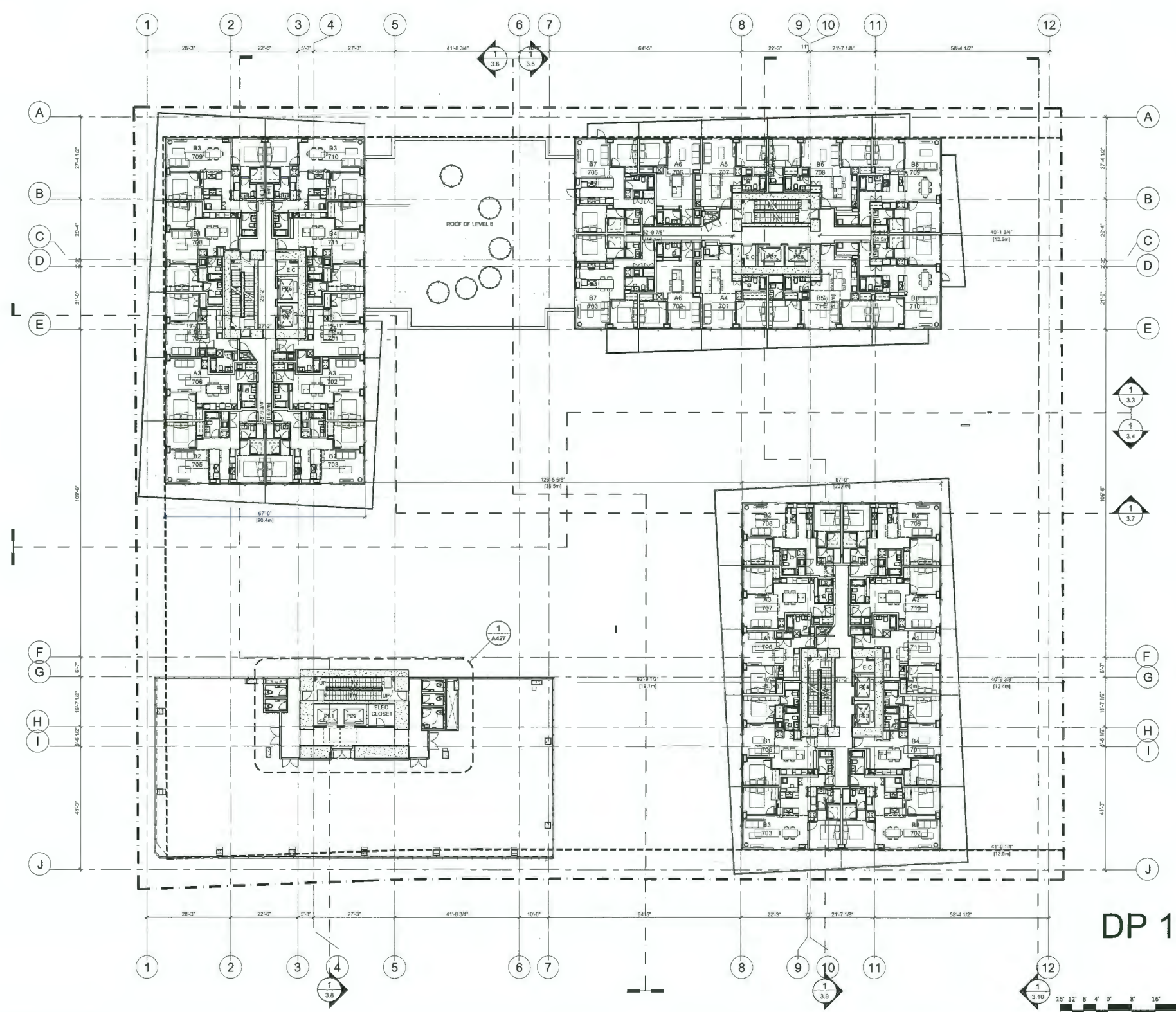
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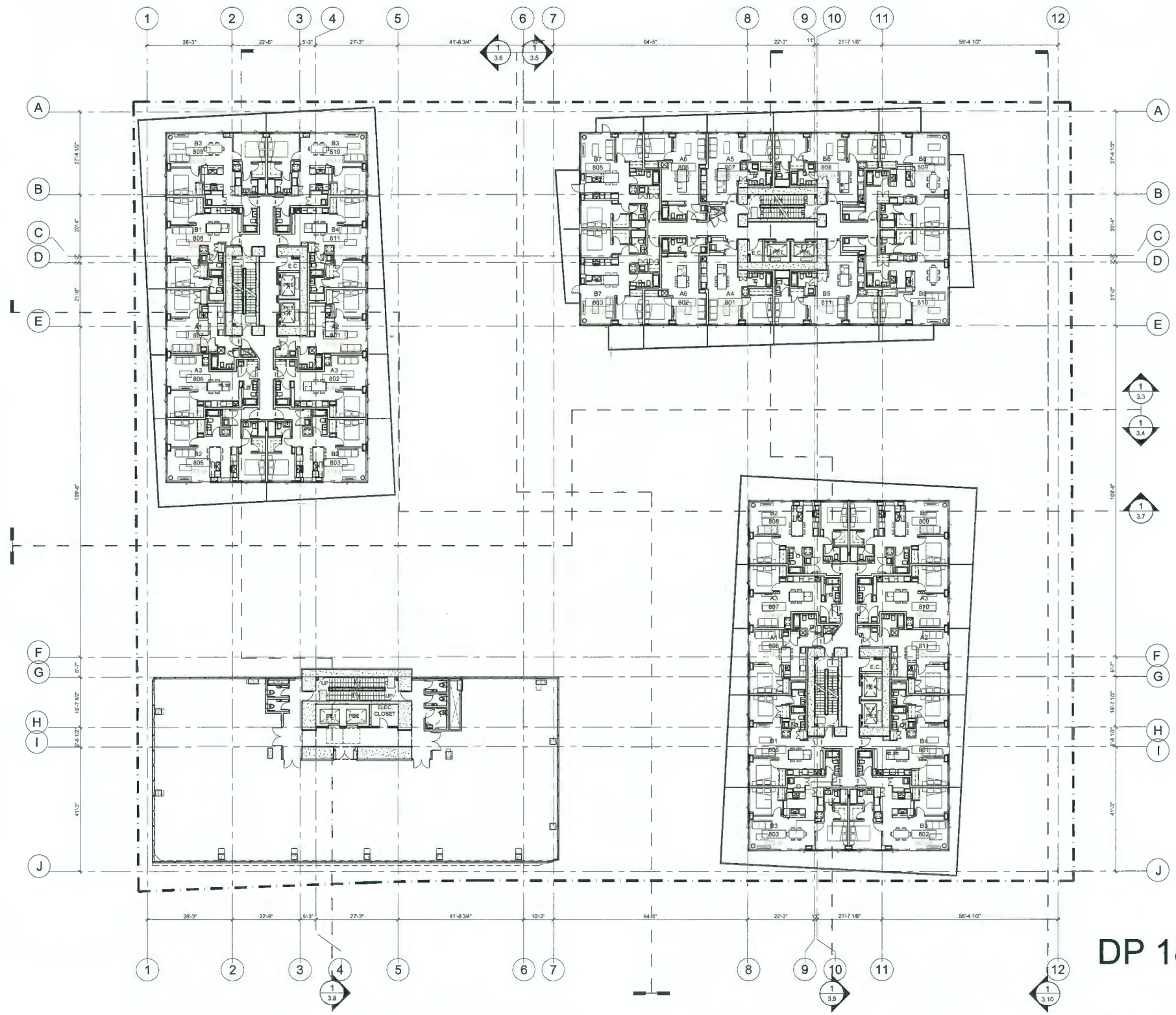
RICHMOND, BC  
 Project  
**LEVEL 7 PLAN**

**DP 18-829141**

Drawing  
 Scale 1/16" = 1'-0"  
 Project 216022  
 Sheet **2.9**







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7	19 JUNE 2020	RE-ISSUED FOR DP
6	01 MAY 2020	RE-ISSUED FOR DP
5	15 OCT 2019	RE-ISSUED FOR DP
4	16 AUGUST 2019	RE-ISSUED FOR DP
3	07 FEB 2019	ISSUED TO CITY OF RICHMOND
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1	22 OCT 2018	ISSUED FOR CITY REVIEW

Revisions: YYY MM-DD

NO 3 ROAD  
 DP 18-829141

RICHMOND, BC  
 Project  
**LEVEL 8 PLAN**

**DP 18-829141**



Scale: 1/16" = 1'-0"  
 Project: 216022  
 Sheet: **2.10**



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2	18 JAN 2019	RESPONSE TO ADP COMMENTS
1	22 OCT 2018	ISSUED FOR CITY REVIEW

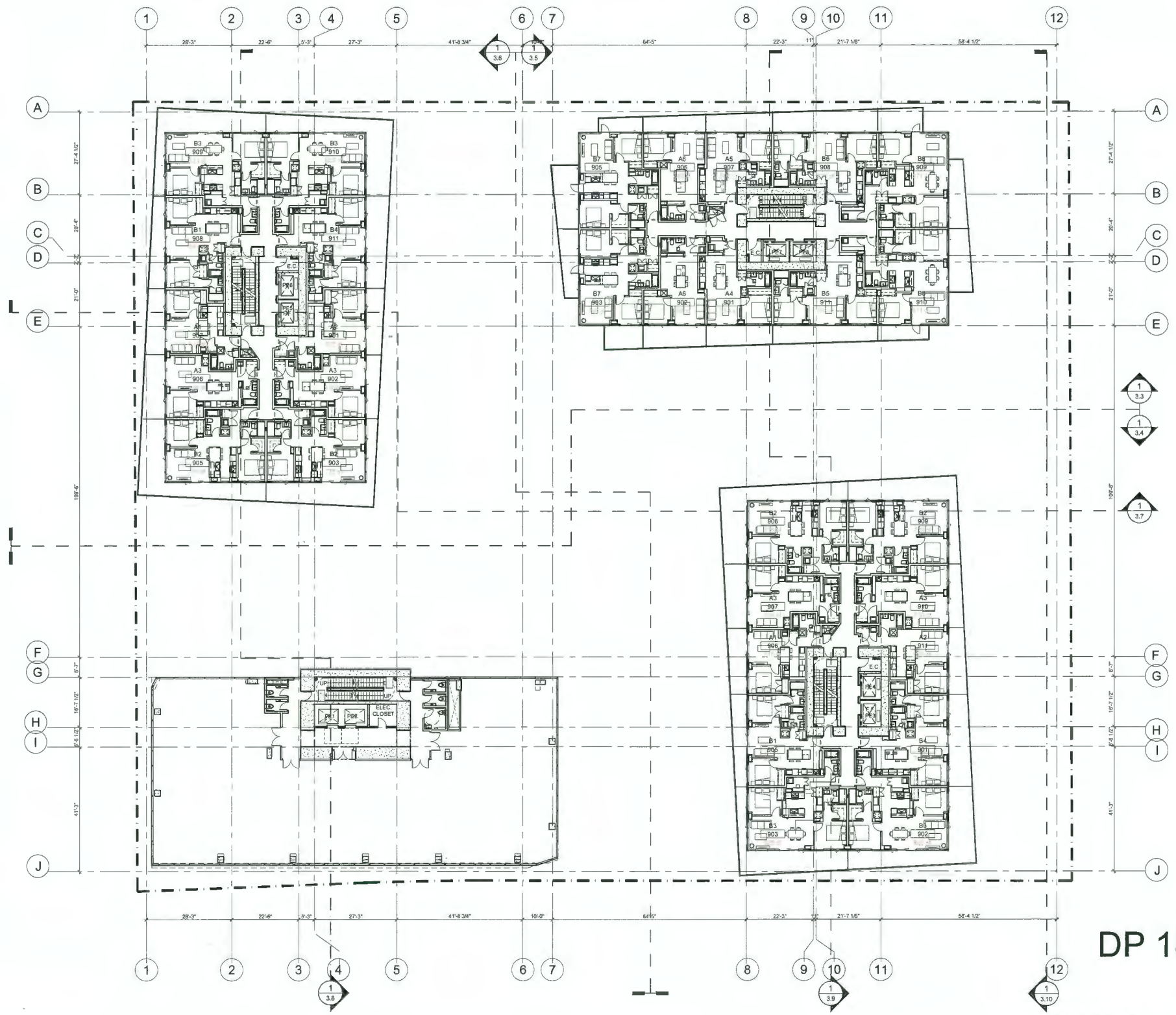
Revisions YYY-MM-DD

Seal  
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DP 18-829141

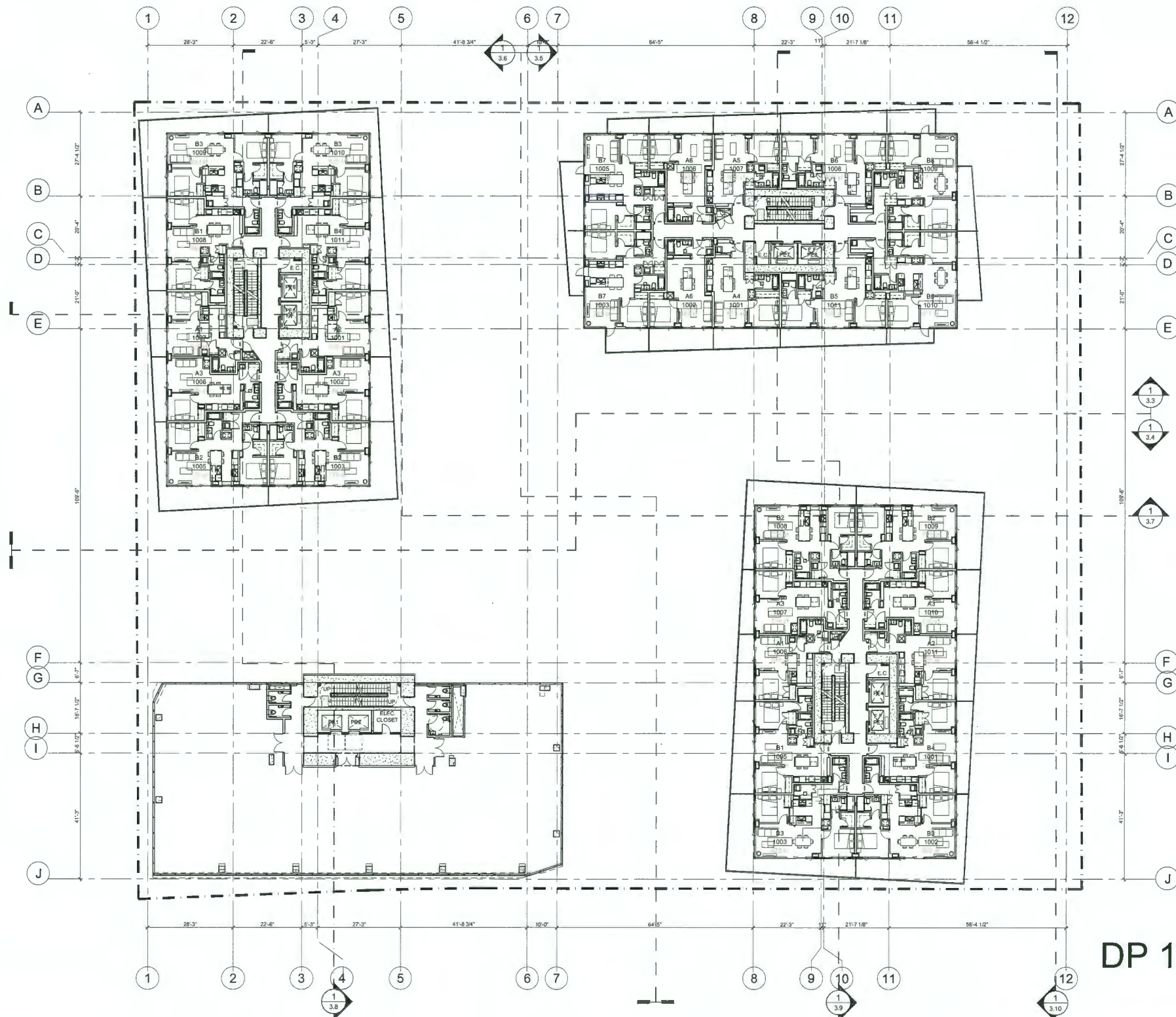
RICHMOND, BC  
Project  
**LEVEL 9 PLAN**

**DP 18-829141**

Drawing  
Scale 1/16" = 1'-0"  
Project 216022  
Sheet **2.11**







12	25 AUGUST 2020	RE-ISSUED FOR DP
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1	22 OCT 2018	ISSUED FOR CITY REVIEW

Revisions YYY-MM-DD

Seal  
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**DP 18-829141**

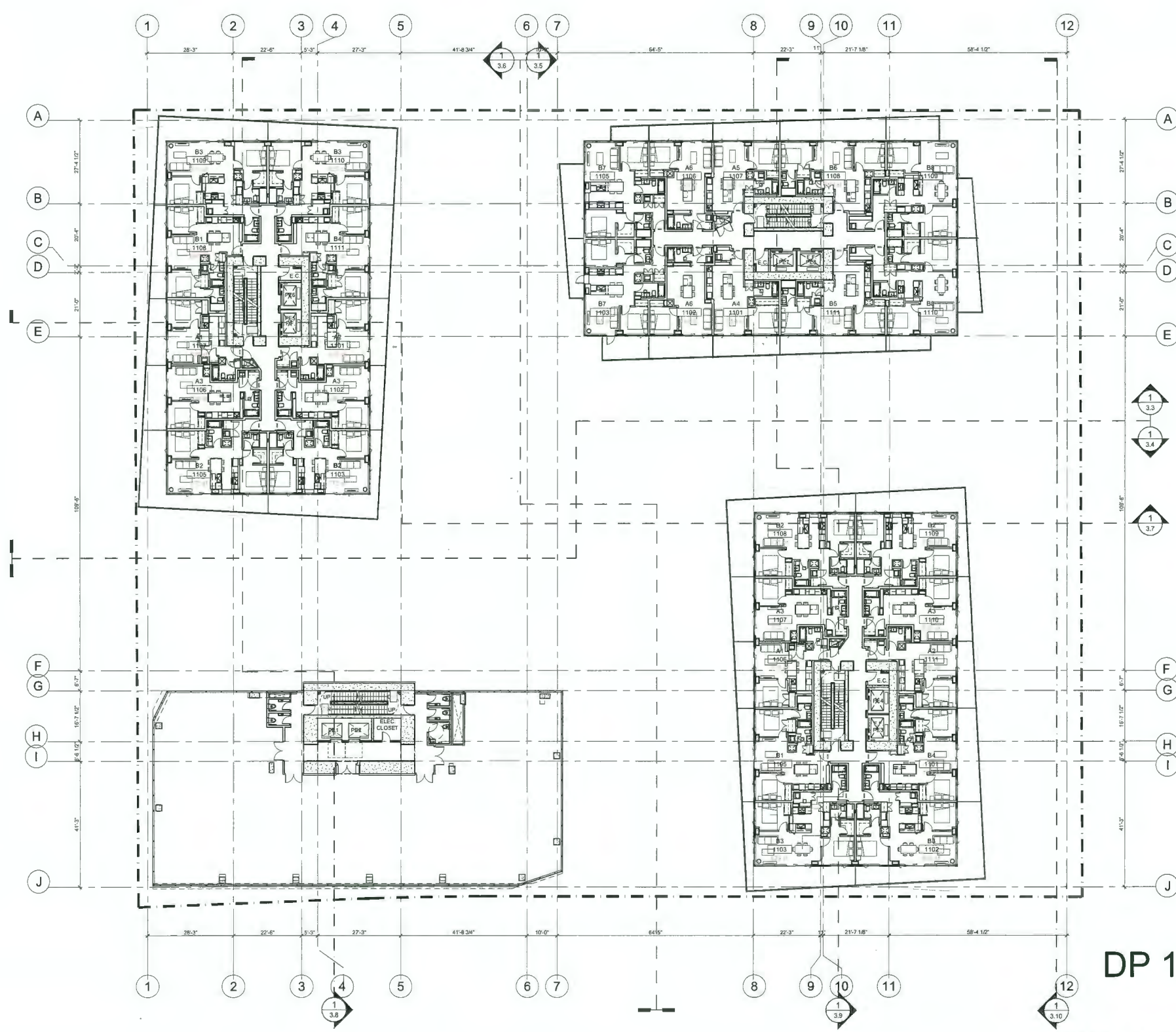
RICHMOND, BC  
 Project  
**LEVEL 10 PLAN**

**DP 18-829141**

Drawing  
 Scale 1/16" = 1'-0"  
 Project 216022  
 Sheet **2.12**







12	25 AUGUST 2020	RE-ISSUED FOR DP
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7	19 JUNE 2020	RE-ISSUED FOR DP
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5	15 OCT 2019	RE-ISSUED FOR DP
4	16 AUGUST 2019	RE-ISSUED FOR DP
3	07 FEB 2019	ISSUED TO CITY OF RICHMOND
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1	23 OCT 2018	ISSUED FOR CITY REVIEW

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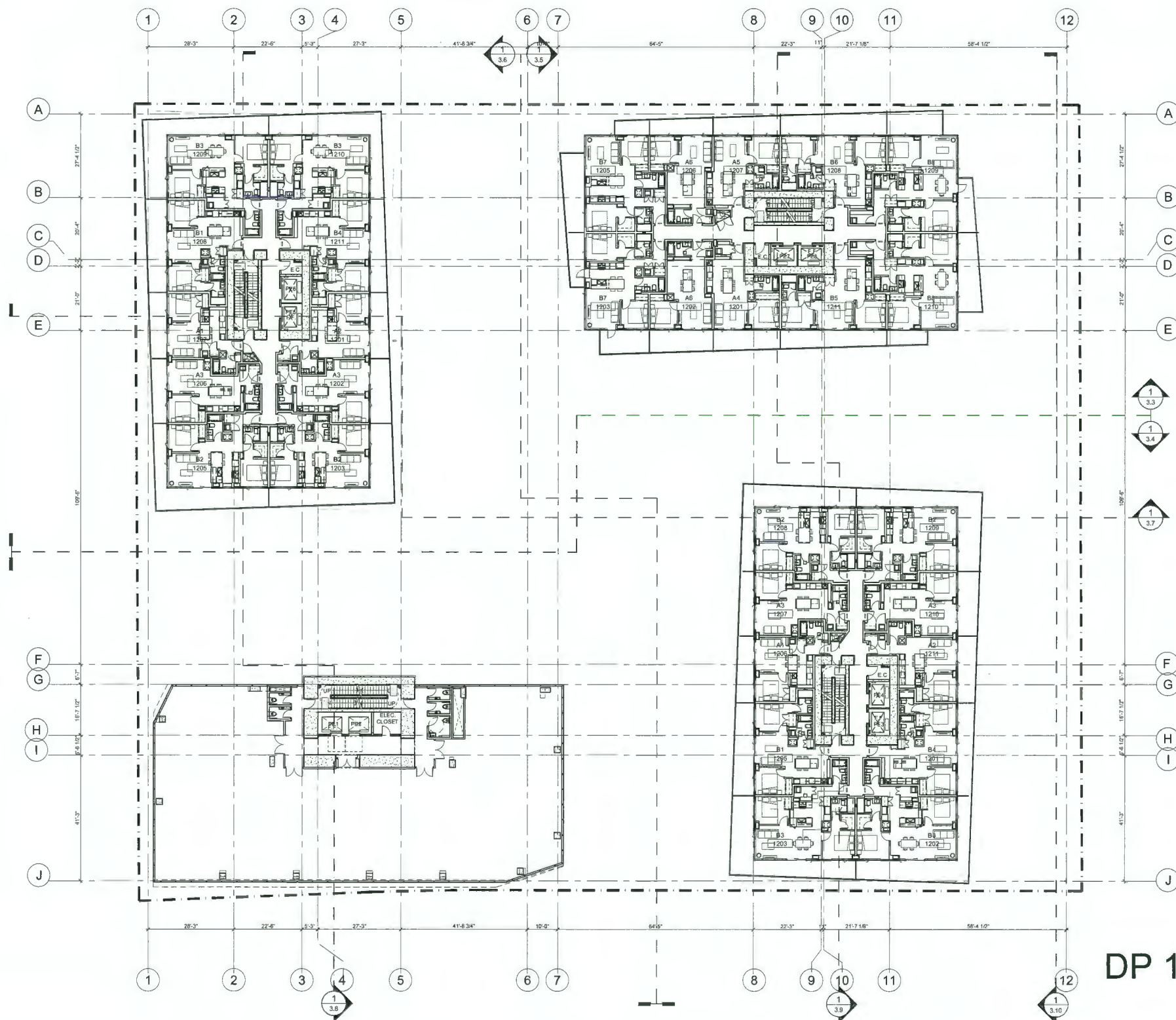
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**NO 3 ROAD**  
**DP 18-829141**

RICHMOND, BC  
 Project  
**LEVEL 11 PLAN**

**DP 18-829141**

Scale 1/16" = 1'-0"  
 Project 216022  
 Sheet **2.13**





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Seal  
**NO 3 ROAD**  
**DP 18-829141**

RICHMOND, BC  
 Project  
**LEVEL 12 PLAN**

**DP 18-829141**



Drawing  
 Scale 1/16" = 1'-0"  
 Project 216022  
 Sheet **2.14**







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2	18 JAN 2019	RESPONSE TO ADP COMMENTS
1	22 OCT 2018	ISSUED FOR CITY REVIEW

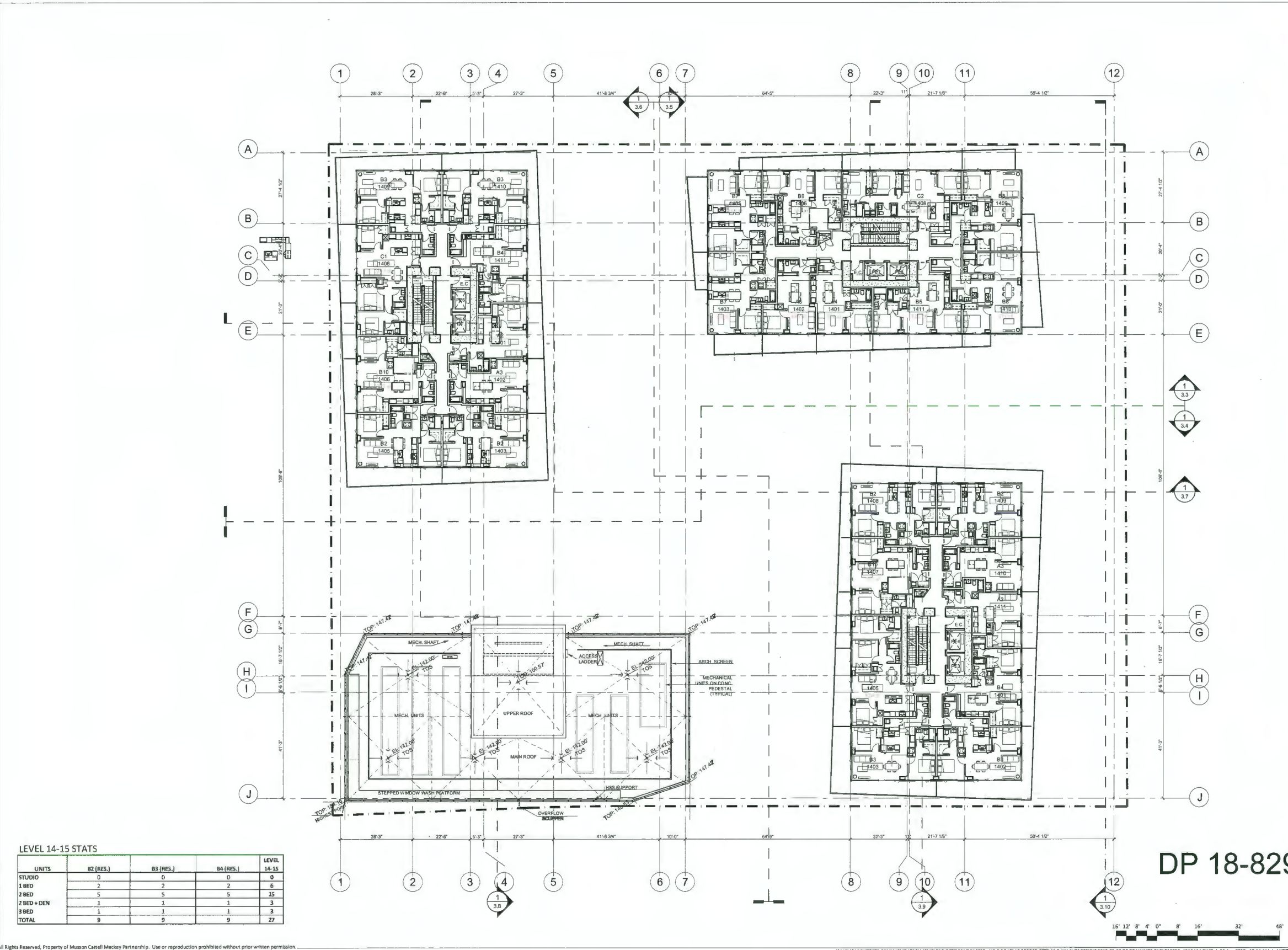
Revisions  
 YYYY-MM-DD

Seal  
**NO 3 ROAD**  
**DP 18-829141**

RICHMOND, BC  
 Project  
**LEVEL 14 PLAN**

**DP 18-829141**

Drawing  
 Scale 1/16" = 1'-0"  
 Project 216022  
 Sheet **2.16**



**LEVEL 14-15 STATS**

UNITS	B2 (RES.)	B3 (RES.)	B4 (RES.)	LEVEL 14-15
STUDIO	0	0	0	0
1 BED	2	2	2	6
2 BED	5	5	5	15
2 BED + DEN	1	1	1	3
3 BED	1	1	1	3
TOTAL	9	9	9	27







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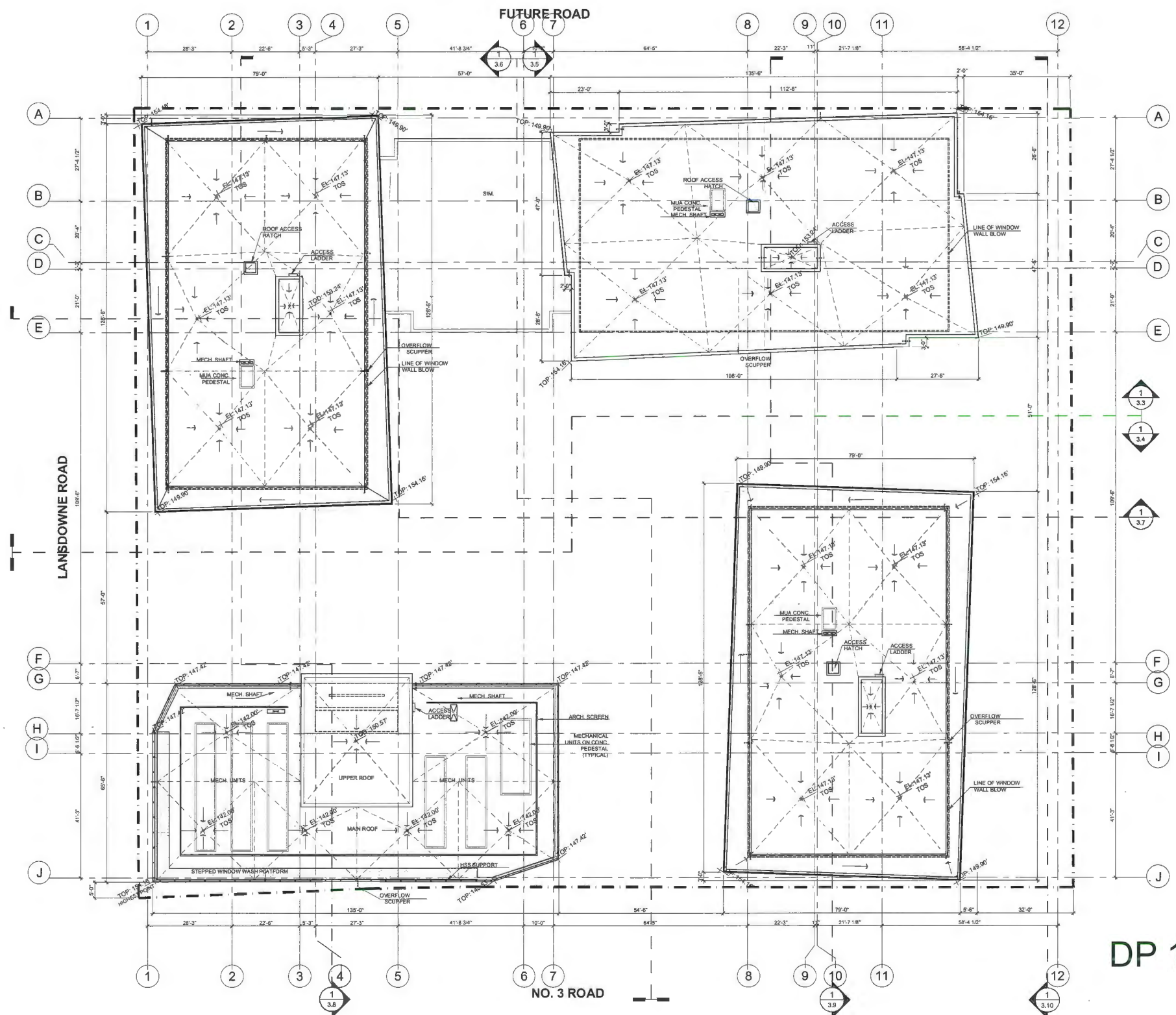
NO 3 ROAD  
DP 18-829141

NO 3 ROAD  
RICHMOND, BC  
Project

ROOF PLAN

DP 18-829141

Drawing  
Scale: 1/16" = 1'-0"  
Project: 216002  
Sheet: 2.18







1 SOUTH ELEVATION  
A301 / 1/16" = 1'-0"



2 NORTH ELEVATION  
A301 / 1/16" = 1'-0"

MATERIAL LEGEND

- (A1) ARCH CONCRETE  
COLOR: WHITE (MATCH TO GLASS FRIT)  
LOCATION: RESIDENTIAL ROOF
- (A2) BALCONY & ROOF SOFFIT ARCH CONCRETE  
FINISH: PAINTED  
COLOR: BEIGE  
LOCATION: BALCONY OF BALCONY & ROOF SLAB
- (B1) PRIVACY SCREEN  
FRAME: CHARCOAL  
GLASS: OPAQUE - TEMPERED  
LOCATION: OFFICE EXTERIOR DOOR (B1)
- (B2) GLASS CANOPY  
FRAME: CHARCOAL  
GLASS: CLEAR - TEMPERED  
LOCATION: OFFICE EXTERIOR DOOR (B2)
- (C1) DOUBLE GLAZED 2 SIDED SSG CURTAIN WALL - CLEAR GUARDIAN SURGUARD NEUTRAL 40 SPANDREL - BENJAMIN MOORE 2130-30 ANCHOR GRAY FRAME FINISH: CLEAR ANODIZED ALUMINUM  
LOCATION: OFFICE
- (C2) DOUBLE GLAZED 2 SIDED SSG CURTAIN WALL - CLEAR GUARDIAN SURGUARD NEUTRAL 40 SPANDREL - BENJAMIN MOORE 2130-30 ANCHOR GRAY FRAME FINISH: CLEAR ANODIZED ALUMINUM  
LOCATION: OFFICE
- (C3) SPANDREL GLAZED WINDOW WALL - STARLINE 800 COLOR: WALS NAPPY  
LOCATION: RESIDENTIAL BUILDING 3 & 4
- (C4) SPANDREL GLAZED WINDOW WALL - STARLINE 800 COLOR: WALS NAPPY  
LOCATION: RESIDENTIAL BUILDING 4
- (D4) GUARDRAIL GLASS  
FINISH: CLEAR - TEMPERED  
GUARDRAIL FRAME FINISH: CHARCOAL  
LOCATION: BALCONY GUARDRAIL
- (D5) GUARDRAIL GLASS  
FINISH: WHITE CERAMIC FRIT - 10% OPEN AREA ROUND 1/8" PERFORATIONS, 0.3125" O.C. - TEMPERED  
GUARDRAIL FRAME FINISH: CHARCOAL  
LOCATION: BALCONY GUARDRAIL
- (D6) DOUBLE GLAZED CURTAIN WALL  
FRAME FINISH: CLEAR ANODIZED ALUMINUM  
SPANDREL: CLEAR  
REFER TO GLAZING SCHEDULE AND SPECS  
LOCATION: LEVEL 1 & 2 STOREFRONT
- (E1) ZINC PANEL  
FINISH: ZAMNER SERIES "BAROQUE ZINC"  
LOCATION: ENTRY PORTALS
- (E2) ZINC PANEL  
FINISH: ZAMNER SERIES "HUNTER ZINC"  
LOCATION: ENTRY PORTALS
- (E3) ZINC PANEL  
FINISH: ZAMNER SERIES "COPPER"  
LOCATION: ENTRY PORTALS
- (F1) ARCH LOUVERS - 70% OPENING  
COLOR: CHARCOAL  
LOCATION: ELECTRICAL PLUMBING COVER
- (F2) COMPOSITE ALUMINUM PANEL  
COLOR: ALLICOROND "SOME WHITE"  
LOCATION: CANOPY 1 & 2 ENTRY BUILDING
- (F3) COMPOSITE ALUMINUM PANEL  
COLOR: ALLICOROND "CADET GRAY"  
LOCATION: EXTERIOR (F3)
- (G1) NATURAL GRANITE  
COLOR: DARK GREY  
LOCATION: PLANTER ALONG STOREFRONT
- (G2) WOOD TEXTURED ALUMINUM EXTRUSION  
COLOR: LIGHT OAK WOOD  
METAL GLAZING - FINISH: T & C  
LOCATION: SOFFIT
- (H1) OFFICE GLASS CANOPY  
FINISH: CLEAR GLASS - LAMINATED  
METAL FRAME - FINISH: LIGHT GREY (T & C)  
LOCATION: OFFICE CANOPY



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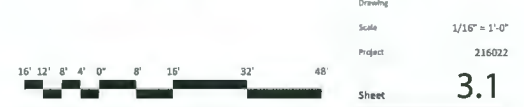
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Revisions: YYYY-MM-DD

Seal  
**NO 3 ROAD**  
DP 18-829141

NO 3 ROAD  
RICHMOND, BC  
Project  
**NORTH & SOUTH  
ELEVATIONS**

**DP 18-829141**



GENERAL NOTE FOR ADDRESSING:  
• ADDRESSING TO BE VISIBLE FROM STREET APPROACH AND BE OF CONTRASTING COLOURS TO THE MOUNTING BACKGROUND  
• ETCHING OF GLASS AND ADDRESSING UNDER OVERHANGS / CANOPIES UNACCEPTABLE



154.17'	Max Height	(47.00m)
142.00'	T.O.S. ROOF	(43.28m)
130.25'	LEVEL 12	(39.70m)
118.58'	LEVEL 11	(36.14m)
106.92'	LEVEL 10	(32.59m)
95.25'	LEVEL 9	(29.03m)
83.58'	LEVEL 8	(25.48m)
71.92'	LEVEL 7	(21.92m)
60.25'	LEVEL 6	(18.36m)
48.58'	LEVEL 5	(14.81m)
36.92'	LEVEL 4	(11.25m)
25.25'	LEVEL 3	(7.69m)
14.17'	LEVEL 2	(4.31m)
5.00'	LEVEL 1	(1.52m)

1 EAST ELEVATION  
A302 / 1/16" = 1'-0"

154.17'	PROPOSED BUILDING HEIGHT	(47.00m)
147.13'	T.O.S. ROOF	(44.85m)
137.75'	LEVEL 15	(41.98m)
128.37'	LEVEL 14	(39.12m)
119.00'	LEVEL 13	(36.27m)
109.66'	LEVEL 12	(33.42m)
100.25'	LEVEL 11	(30.55m)
90.87'	LEVEL 10	(27.69m)
81.50'	LEVEL 9	(24.84m)
72.12'	LEVEL 8	(21.98m)
62.75'	LEVEL 7	(19.12m)
53.37'	LEVEL 6	(16.26m)
44.00'	LEVEL 5	(13.41m)
34.62'	LEVEL 4	(10.55m)
25.25'	LEVEL 3	(7.69m)
14.17'	LEVEL 2	(4.31m)
5.00'	LEVEL 1	(1.67m)

2 WEST ELEVATION  
A302 / 1/16" = 1'-0"



154.17'	Max Height	(47.00m)
147.13'	T.O.S. ROOF	(44.85m)
137.75'	LEVEL 15	(41.98m)
128.37'	LEVEL 14	(39.12m)
119.00'	LEVEL 13	(36.27m)
109.66'	LEVEL 12	(33.42m)
100.25'	LEVEL 11	(30.55m)
90.87'	LEVEL 10	(27.69m)
81.50'	LEVEL 9	(24.84m)
72.12'	LEVEL 8	(21.98m)
62.75'	LEVEL 7	(19.12m)
53.37'	LEVEL 6	(16.26m)
44.00'	LEVEL 5	(13.41m)
34.62'	LEVEL 4	(10.55m)
25.25'	LEVEL 3	(7.69m)
14.17'	LEVEL 2	(4.31m)
5.00'	LEVEL 1	(1.70 m)

MATERIAL LEGEND

- (A1) ARCH: CONCRETE  
COLOR: WHITE (MATCH TO GLASS FRIT)  
LOCATION: RESIDENTIAL ROOF
- (A2) BALCONY & ROOF SOFFIT ARCH: CONCRETE  
FINISH: PAINTED  
COLOR: BEIGE  
LOCATION: BALCONY & ROOF SLAB
- (B1) PRIVACY SCREEN  
FRAME: CHARCOAL  
GLASS: OPACQUE, TEMPERED  
LOCATION: RESIDENTIAL BALCONY
- (B2) GLASS CANOPY  
FRAME: CHARCOAL  
GLASS: CLEAR - TEMPERED  
LOCATION: OFFICE ENTRY DOOR (B-3)
- (C1) DOUBLE GLAZED 2 SIDED ISG CURTAIN WALL - CLEAR GUARDIAN SUNGUARD NEUTRAL 40  
FRAME: FINISH CHARCOAL  
LOCATION: OFFICE
- (C2) DOUBLE GLAZED 2 SIDED ISG CURTAIN WALL - CLEAR GUARDIAN SUNGUARD NEUTRAL 40  
FRAME: FINISH CLEAR ANODIZED ALUMINUM  
LOCATION: OFFICE
- (C3) SPANDREL GLAZED WINDOW WALL - STARLINE 800  
COLOR: HALE NAVY  
LOCATION: RESIDENTIAL BUILDING 2 & 3
- (C4) SPANDREL GLAZED WINDOW WALL - STARLINE 800  
COLOR: HALE NAVY  
LOCATION: RESIDENTIAL BUILDING 4
- (D4) GUARDRAIL GLASS  
FINISH: CLEAR - TEMPERED  
GAUDDRAIL: FRAME FINISH CHARCOAL  
LOCATION: BALCONY GUARDRAIL
- (D5) GUARDRAIL GLASS  
FINISH: WHITE CERAMIC FRIT - 10% OPEN AREA  
ROUND 1/8" PERFORATIONS, 3/32" O.C. - TEMPERED  
GAUDDRAIL: FRAME FINISH CHARCOAL  
LOCATION: BALCONY GUARDRAIL
- (D6) DOUBLE GLAZED CURTAIN WALL  
FRAME FINISH: CLEAR ANODIZED ALUMINUM  
SPANDREL COLOR: B.C.  
REFER TO GLAZING SCHEDULE AND SPECS  
LOCATION: LEVEL 1 & 2 STOREFRONT
- (E1) ZINC PANEL -  
FINISH: ZAMMER SERIES "BARDOUCHE ZINC"  
LOCATION: ENTRY PORTALS B
- (E2) ZINC PANEL -  
FINISH: ZAMMER SERIES "HUNTER ZINC"  
LOCATION: ENTRY PORTALS B
- (E3) ZINC PANEL -  
FINISH: ZAMMER SERIES "COPPER"  
LOCATION: ENTRY PORTALS B
- (L1) ARCH LOUVER: 70% OPENING  
COLOR: CHARCOAL  
LOCATION: ELECTRICAL PLUMBING COVER
- (C1) COMPOSITE ALUMINUM PANEL  
COLOR: ALLUCORND "STONE WHITE"  
LOCATION: CANOPY & ENTRY BUILDING
- (C2) COMPOSITE ALUMINUM PANEL  
COLOR: ALLUCORND "CADET GRAY"  
LOCATION: ENTRY OFFICE
- (H1) NATURAL GRANITE  
COLOR: DARK GREY  
LOCATION: PLASTER ABOVE STOREFRONT
- (B1) WOOD TEXTURED ALUMINUM EXTRUSION  
COLOR: LIGHT OAK WOOD  
METAL GRATING - FINISH: T B C  
LOCATION: SOFFIT
- (H1) OFFICE GLASS CANOPY  
FINISH: CLEAR GLASS - LAMINATED  
METAL FRAME - FINISH LIGHT GREY (T B C)  
LOCATION: OFFICE CANOPY

GENERAL NOTE FOR ADDRESSING:  
• ADDRESSING TO BE VISIBLE FROM STREET  
APPROACH AND BE OF CONTRASTING COLOURS  
TO THE MOUNTING BACKGROUND  
• ETCHING OF GLASS AND ADDRESSING UNDER  
OVERHANGS / CANOPIES UNACCEPTABLE



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Seal

**NO 3 ROAD**  
DP 18-829141

NO 3 ROAD  
RICHMOND, BC

Project

**EAST & WEST  
ELEVATIONS**

**DP 18-829141**

Scale 1/16" = 1'-0"

Project 216032

Sheet **3.2**









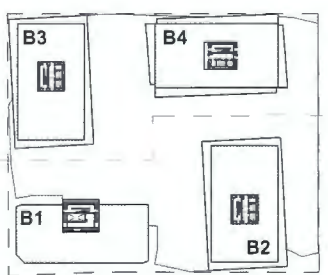
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Revision	Date	Description
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1 INTERIOR EAST ELEVATION  
A304 / 3/32" = 1'-0"



KEY PLAN

**MATERIAL LEGEND**

(A1) ARCH. CONCRETE COLOR: WHITE (MATCH TO GLASS FRIT) LOCATION: RESIDENTIAL ROOF	(C1) ARCH. LOUVERS- 70% OPENING COLOR: CHARCOAL LOCATION: ELECTRICAL PLUMBING COVER
(A2) BALCONY & ROOF SOFFIT ARCH. CONCRETE FINISH: PAINTED COLOR: BEIGE LOCATION: UPSIDE OF BALCONY & ROOF SLAB	(C2) COMPOSITE ALUMINUM PANEL - COLOR: ALUCOBOND IRONE WHITE LOCATION: CANOPY & ENTRY BUILDING
(B1) BRIVENCY SCREEN GLASS: SPACQUE - TEMPERED FRAME: CHARCOAL LOCATION: RESIDENTIAL BALCONIES	(C3) COMPOSITE ALUMINUM PANEL - COLOR: ALUCOBOND CADET GRAY LOCATION: EXTERIOR OFFICE
(B2) GLASS CANOPY FRAME: CHARCOAL GLASS: CLEAR - TEMPERED LOCATION: OFFICE EXTERIOR DOOR (B3)	(H1) NATURAL GRANITE - COLOR: DARK GREY LOCATION: PLASTER ALONG STOREFRONT
(B3) DOUBLE GLAZED 2 SIDED S30 CURTAIN WALL - CLEAR GUARDIAN SIGNATURE NEUTRAL 40 FRAME FINISH: CHARCOAL LOCATION: OFFICE	(W1) WOOD TEXTURED ALUMINUM EXTRUSION COLOR: LIGHT OAK WOOD METAL GRATING - FINISH: T1 B/C LOCATION: SOFFIT
(B4) DOUBLE GLAZED 2 SIDED S30 CURTAIN WALL - CLEAR GUARDIAN SIGNATURE NEUTRAL 40 SPANDREL: BENJAMIN MOORE 2126-30 ANCHOR GRAY FRAME FINISH: CLEAR ANODIZED ALUMINUM LOCATION: OFFICE	(M1) OFFICE GLASS CANOPY FINISH: CLEAR GLASS - LAMINATED METAL FRAME - FINISH: LIGHT GREY (T1 B/C) LOCATION: OFFICE CANOPY
(B5) SPANDREL GLAZED WINDOW WALL - STARLINE 900 COLOR: BENJAMIN MOORE 2126-30 ANCHOR GRAY LOCATION: RESIDENTIAL BUILDING 1 & 2	
(B6) SPANDREL GLAZED WINDOW WALL - STARLINE 900 COLOR: HALE NAVY LOCATION: RESIDENTIAL BUILDING 4	
(G1) GUARDRAIL GLASS - FINISH: CLEAR - TEMPERED GUARDRAIL FRAME FINISH: CHARCOAL LOCATION: BALCONY GUARDRAIL	
(G2) GUARDRAIL GLASS - FINISH: WHITE CERAMIC FRIT - 10% OPEN AREA ROUND 1/8" PERFORATIONS, 3/32" O.C. - TEMPERED GUARDRAIL FRAME FINISH: CHARCOAL LOCATION: BALCONY GUARDRAIL	
(B7) DOUBLE GLAZED CURTAIN WALL FRAME FINISH: CLEAR ANODIZED ALUMINUM SPANDREL: CLEAR GLASS REFER TO GLAZING SCHEDULE AND SPECS LOCATION: LEVEL 1 & 2 STOREFRONT	
(Z1) ZINC PANEL FINISH: ZAMMER SERIES "BAROQUE ZINC" LOCATION: ENTRY PORTAL B1	
(Z2) ZINC PANEL FINISH: ZAMMER SERIES "HUNTER ZINC" LOCATION: ENTRY PORTAL B2	
(Z3) ZINC PANEL FINISH: ZAMMER SERIES "COPPER" LOCATION: ENTRY PORTAL B4	

DP 18-829141



Seal  
NO 3 ROAD  
DP 18-829141

NO 3 ROAD  
RICHMOND, BC  
Project

INTERIOR  
ELEVATION  
EAST

Drawn: 3/32" = 1'-0"

Scale: 3/32" = 1'-0"

Project: 216022

Sheet: 3.4





**Musson  
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Partnership**

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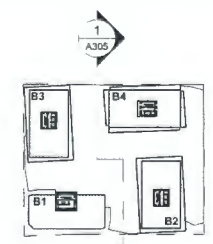


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1 ELEVATION B4 + B2  
A305 / 3/32" = 1/8"



KEY PLAN

MATERIAL LEGEND

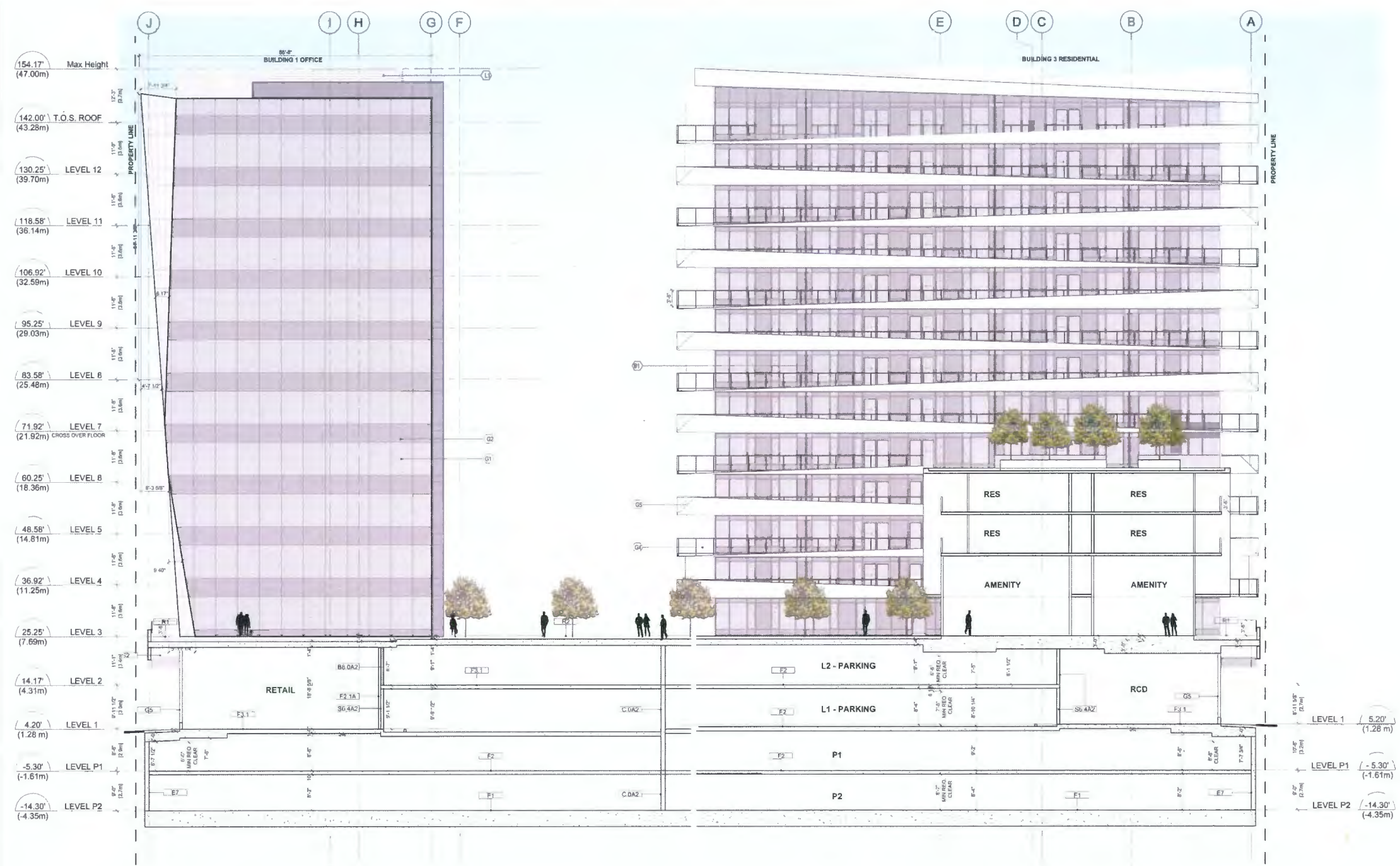
- (A1) ARCH CONCRETE  
COLOR: WHITE (MATCH TO GLASS FRIT)  
LOCATION: RESIDENTIAL ROOF
- (A2) BALCONY & ROOF SOFFIT ARCH CONCRETE  
FINISH: PAINTED  
COLOR: BEIGE  
LOCATION: UNDERSIDE OF BALCONY & ROOF SLAB
- (B1) PRIVACY SCREEN  
FRAME: CHARCOAL  
GLASS: OPAQUE - TEMPERED  
LOCATION: RESIDENTIAL BALCONIES
- (B2) GLASS CANOPY  
FRAME: CHARCOAL  
GLASS: CLEAR - TEMPERED  
LOCATION: OFFICE EXTERIOR DOOR (B1)
- (B3) DOUBLE GLAZED 2 SIDED ESG CURTAIN WALL -  
CLEAR: GUARDIAN SUNGUARD NEUTRAL 40  
FRAME FINISH: CHARCOAL  
LOCATION: OFFICE
- (B4) DOUBLE GLAZED 2 SIDED ESG CURTAIN WALL -  
GLASS: SUNGUARD SUNSHADE 75% TINT  
FRAME FINISH: CLEAR ANODIZED ALUMINUM  
LOCATION: OFFICE
- (B5) SPANDREL GLAZED WINDOW WALL - STARLINE 8000  
COLOR: BEAUMAIN MADRE 2128-30 ANCHOR GRAY (TBC)  
LOCATION: RESIDENTIAL BUILDING 2
- (C1) SPANDREL GLAZED WINDOW WALL - STARLINE 8000  
COLOR: HALF NAVY  
LOCATION: RESIDENTIAL BUILDING 4
- (C2) GUARDRAIL GLASS -  
FINISH: CLEAR - TEMPERED  
GUARDRAIL FRAME FINISH: CHARCOAL  
LOCATION: BALCONY GUARDRAIL
- (C3) GUARDRAIL GLASS -  
FINISH: WHITE CERAMIC FRIT - 10% OPEN AREA  
ROUND 1/8" PERFORATIONS (0.375" O.C.) - TEMPERED  
GUARDRAIL FRAME FINISH: CHARCOAL  
LOCATION: BALCONY GUARDRAIL
- (C4) DOUBLE GLAZED CURTAIN WALL -  
FRAME FINISH: CLEAR ANODIZED ALUMINUM  
SPANDREL COLOR: T.B.C.  
REFER TO GLAZING SCHEDULE AND SPECS  
LOCATION: LEVEL 1 & 2 STOREFRONT
- (C5) ZINC PANEL -  
FINISH: ZAMMER SERIES "BAROQUE ZINC"  
LOCATION: ENTRY PORTAL B2
- (C6) ZINC PANEL -  
FINISH: ZAMMER SERIES "HUNTER ZINC"  
LOCATION: ENTRY PORTAL B3
- (C7) ZINC PANEL -  
FINISH: ZAMMER SERIES "COPPER"  
LOCATION: ENTRY PORTAL B4
- (D1) ARCH DOLUVERS - 70% OPENING  
COLOR: CHARCOAL  
LOCATION: ELECTRIC - PLUMBING COVER
- (D2) COMPOSITE ALUMINUM PANEL -  
COLOR: ALUCOBOND BONE WHITE  
LOCATION: CANOPY & ENTRY BALCONY
- (D3) COMPOSITE ALUMINUM PANEL -  
COLOR: ALUCOBOND CADET GRAY  
LOCATION: EXTERIOR OFFICE
- (D4) NATURAL GRANITE -  
COLOR: DARK GREY  
LOCATION: PLASTER ALONG STOREFRONT
- (D5) WOOD TEXTURED ALUMINUM PANEL -  
COLOR: LIGHT OAK WOOD  
METAL GRANITE - FINISH: T.B.C.  
LOCATION: SOFFIT
- (D6) OFFICE GLASS CANOPY -  
FINISH: CLEAR GLASS - LAMINATED  
METAL FRAME FINISH: LIGHT GREY (T.B.C.)  
LOCATION: OFFICE CANOPY

DP 18-829141

Scale: 3/32" = 1/8"  
Project: 218022  
Sheet: 13.5

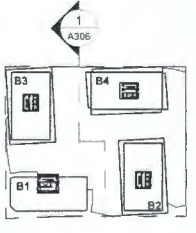
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**1 INTERIOR SOUTH ELEVATION**  
 A306 / 3/32" = 1'-0"



**MATERIAL LEGEND**

- A1 ARCH CONCRETE  
COLOR: WHITE (MATCH TO GLASS FRIT)  
LOCATION: RESIDENTIAL BUILDING 4
- A2 BALCONY & ROOF SOFFIT ARCH CONCRETE  
FINISH: PAINTED  
COLOR: BEIGE  
LOCATION: UNDERSIDE OF BALCONY & ROOF SLAB
- B1 PRIVACY SCREEN  
FRAME: CHARCOAL  
GLASS: CLEAR-TEMPERED  
LOCATION: RESIDENTIAL BUILDING
- B2 GLASS CANOPY  
FRAME: CHARCOAL  
GLASS: CLEAR-TEMPERED  
LOCATION: OFFICE EXTERIOR DOOR B43
- B3 DOUBLE GLAZED 2 SIDED SSC CURTAIN WALL - CLEAR  
GUARDIAN SUNGUARD NEUTRAL 40  
FRAME FINISH: CHARCOAL  
LOCATION: OFFICE
- B4 DOUBLE GLAZED 2 SIDED SSC CURTAIN WALL - CLEAR  
GUARDIAN SUNGUARD NEUTRAL 40  
SPANDREL: BEALUMIN ACCORE 2120-30 ANCHOR GRAY  
FRAME FINISH: CLEAR ANODIZED ALUMINUM  
LOCATION: OFFICE
- B5 SPANDREL GLAZED WINDOW WALL - STARLINE 8000  
COLOR: BENJAMIN MOORE 2126-30 ANCHOR GRAY (TBC)  
LOCATION: RESIDENTIAL BUILDING 3
- C1 SPANDREL GLAZED WINDOW WALL - STARLINE 8000  
COLOR: NAILE NAVY  
LOCATION: RESIDENTIAL BUILDING 4
- C2 GUARDRAIL GLASS  
FINISH: CLEAR-TEMPERED  
GUARDRAIL FRAME FINISH: CHARCOAL  
LOCATION: BALCONY GUARDRAIL
- C3 GUARDRAIL GLASS  
FINISH: WHITE CERAMIC FRIT - 10% OPEN AREA  
ROUND 1/8" PEPER ORNATE 0.175 O.C. - TEMPERED  
GUARDRAIL FRAME FINISH: CHARCOAL  
LOCATION: BALCONY GUARDRAIL
- C4 DOUBLE GLAZED CURTAIN WALL  
FRAME FINISH: CLEAR ANODIZED ALUMINUM  
SPANDREL COLOR: T.B.C.  
REFER TO GLAZING SCHEDULE AND SPECS  
LOCATION: LEVEL 1 & 2 STOREFRONT
- P1 ZINC PANEL - FINISH: ZAMNER SERIES "MADROUS ZINC"  
LOCATION: ENTRY PORTAL B2
- P2 ZINC PANEL - FINISH: ZAMNER SERIES "HUNTER ZINC"  
LOCATION: ENTRY PORTAL B3
- P3 ZINC PANEL - FINISH: ZAMNER SERIES "COPPER"  
LOCATION: ENTRY PORTAL B4
- L1 ARCH LOUVERS- 70% OPENING  
COLOR: CHARCOAL  
LOCATION: ELECTRIC PLUMBING COVER
- E1 COMPOSITE ALUMINUM PANEL - COLOR: ALUCOBOND "BONE WHITE"  
LOCATION: CANOPY & AMENITY BUILDING
- E2 COMPOSITE ALUMINUM PANEL - COLOR: ALUCOBOND "CADET GRAY"  
LOCATION: EXTERIOR OFFICE
- E3 NATURAL GRANITE - COLOR: DARK GREY  
LOCATION: PLASTER ALONG STOREFRONT
- E4 WOOD TEXTURED ALUMINUM EXTRUSION  
COLOR: LIGHT OAK WOOD  
LOCATION: SOFFIT
- E5 OFFICE GLASS CANOPY  
FINISH: CLEAR GLASS - LAMINATE  
METAL FRAME - FINISH: L90 TIGER  
LOCATION: OFFICE CANOPY

**DP 18-829141**



NO 3 ROAD  
 DP 18-829141

NO 3 ROAD  
 RICHMOND, BC

**ELEVATION  
 BUILDING 4  
 AND  
 BUILDING 2**

Scale: 3/32" = 1'-0"  
 Project: 216022  
 Sheet: **3.6**





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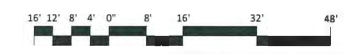
Seal  
**NO 3 ROAD**  
DP 18-829141

NO 3 ROAD  
RICHMOND, BC  
Project

**BUILDING  
SECTION 1**

**DP 18-829141**

Drawing  
Scale 1/16" = 1'-0"  
Project 216022  
Sheet **3.7**





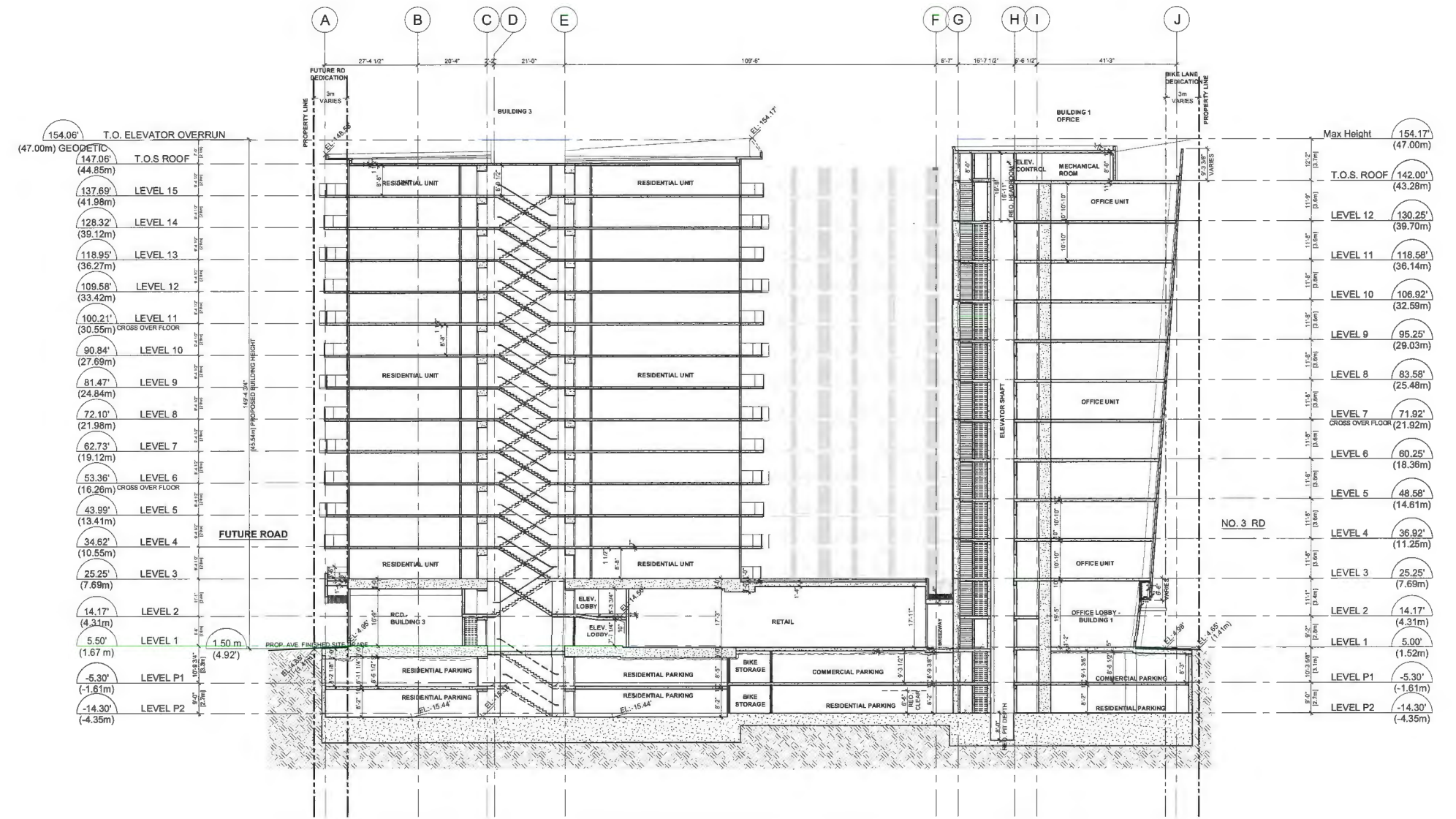
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154.06'	T.O. ELEVATOR OVERRUN
(47.00m)	GEODETIC
147.06'	T.O.S. ROOF
(44.85m)	
137.69'	LEVEL 15
(41.98m)	
128.32'	LEVEL 14
(39.12m)	
118.95'	LEVEL 13
(36.27m)	
109.58'	LEVEL 12
(33.42m)	
100.21'	LEVEL 11
(30.55m)	CROSS OVER FLOOR
90.84'	LEVEL 10
(27.69m)	
81.47'	LEVEL 9
(24.84m)	
72.10'	LEVEL 8
(21.98m)	
62.73'	LEVEL 7
(19.12m)	
53.36'	LEVEL 6
(16.26m)	CROSS OVER FLOOR
43.99'	LEVEL 5
(13.41m)	
34.62'	LEVEL 4
(10.55m)	
25.25'	LEVEL 3
(7.69m)	
14.17'	LEVEL 2
(4.31m)	
5.50'	LEVEL 1
(1.67 m)	
-5.30'	LEVEL P1
(-1.61m)	
-14.30'	LEVEL P2
(-4.35m)	

Max Height	154.17'
	(47.00m)
T.O.S. ROOF	142.00'
	(43.28m)
LEVEL 12	130.25'
	(39.70m)
LEVEL 11	118.58'
	(36.14m)
LEVEL 10	106.92'
	(32.59m)
LEVEL 9	95.25'
	(29.03m)
LEVEL 8	83.58'
	(25.48m)
LEVEL 7	71.92'
	(21.92m)
CROSS OVER FLOOR	
LEVEL 6	60.25'
	(18.36m)
LEVEL 5	48.58'
	(14.81m)
LEVEL 4	36.92'
	(11.26m)
LEVEL 3	25.25'
	(7.69m)
LEVEL 2	14.17'
	(4.31m)
LEVEL 1	5.00'
	(1.52m)
LEVEL P1	-5.30'
	(-1.61m)
LEVEL P2	-14.30'
	(-4.35m)

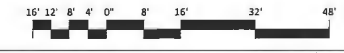
Seal  
 NO 3 ROAD  
 DP 18-829141

NO 3 ROAD  
 RICHMOND, BC  
 Project

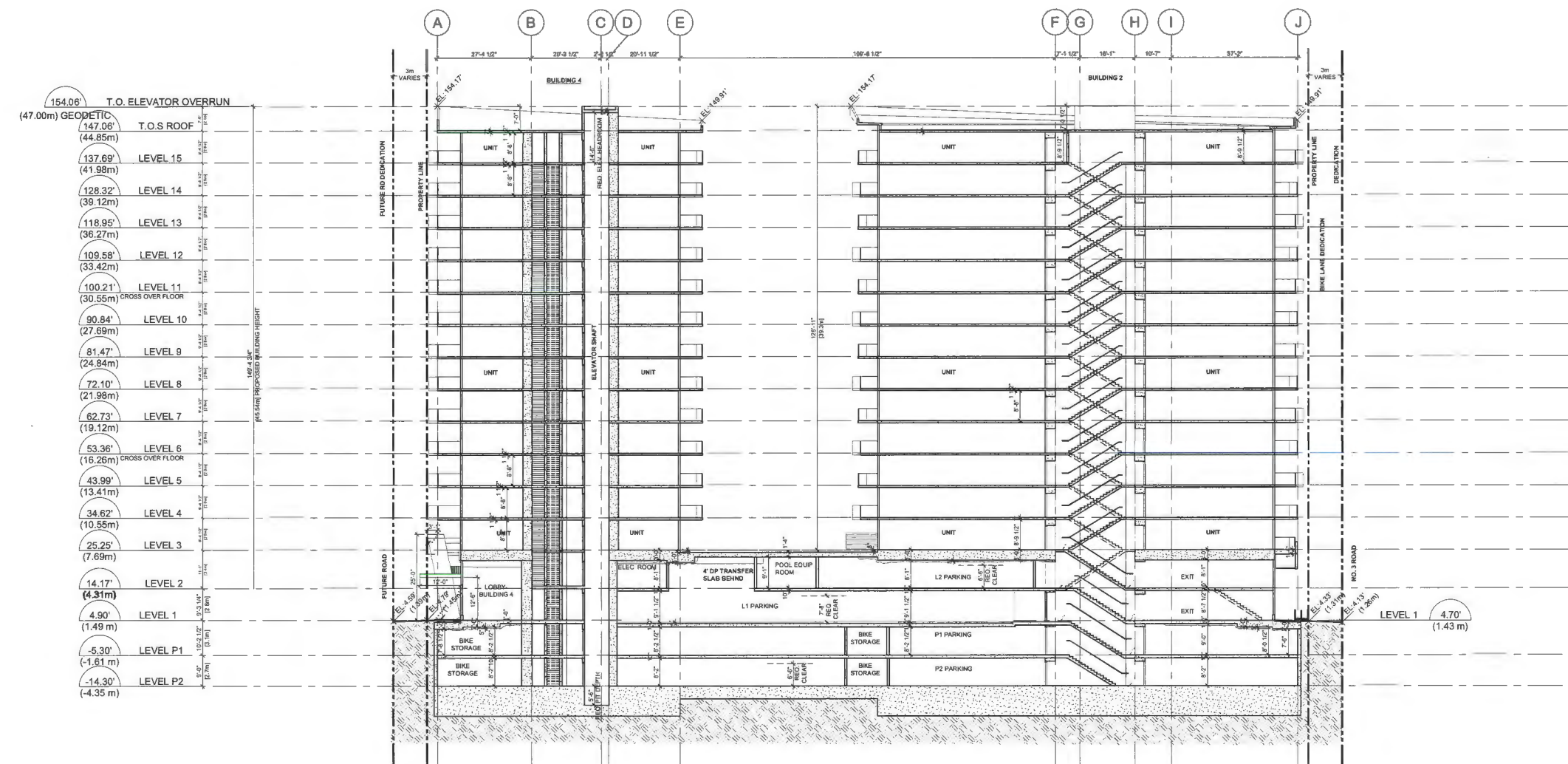
**BUILDING  
SECTION 2**

**DP 18-829141**

Scale 1/16" = 1'-0"  
 Project 216022  
 Sheet **3.8**







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NO 3 ROAD  
 DP 18-829141

RICHMOND, BC  
 Project

**BUILDING  
 SECTION 3**

**DP 18-829141**

Drawing  
 Scale 1/16" = 1'-0"  
 Project 216022  
 Sheet **3.9**



# LUXE

No. 3 Rd. & Lansdowne Rd.,  
Richmond, BC

## DRAWING LIST

L-4.1	Legends & Notes	NTS
<b>LANDSCAPE PLANS</b>		
L-4.1.1	Material Plan - Level 1	1:200
L-4.1.2	Material Plan - Level 3	1:200
L-4.1.3	Material Plan - Level 7	1:200
L-4.2	Planting Plan	1:200
L-4.3	Lighting Plan	1:200
<b>LANDSCAPE SECTIONS</b>		
L-4.4.1	Ground Level Sections	1:50
L-4.4.2	Podium Level Sections	1:50
L-4.4.3	Podium Level Sections	1:50
<b>LANDSCAPE DETAILS</b>		
L-4.5.1	Hardscape Details	1:10
L-4.5.2	Furnishing & Planting Details	1:10
L-4.5.3	Planting Details	1:10
L-4.5.4	Pool Details	1:10
<b>LANDSCAPE CUSTOM DETAILS</b>		
L-4.6.1	Play Details	1:10
L-4.6.2	Furnishing & Fencing Details	1:10
L-4.6.3	Structure & Metalworks Details	1:10
L-4.6.4	Structure & Metalworks Details	1:10

## LEGENDS

HARDSCAPE LEGEND			
KEY	GRAPHIC	DESCRIPTION	DETAIL KEY
T-1		CIP Concrete Paving to CoMR standard Colour: Integral coloured Finish: Light Broom Pattern: Saw-cut (as shown on L-1.1)	(L4-01) (L-4.1)
T-2		Special Conc. Pavers at Lansdowne Linear Park Pattern to extend to Retail Facade. Paver type/sizing (TBD Parks) Colour: Mixed	(L4-02) (L-4.1)
T-3		BELGARD 'Melville 80' Concrete Unit Pavers Size: 360x360x80 & 190x360x80 Colour: 'Amber Beige' & 'Shaded Grey' Supplier: Exprocrete	(L4-03) (L-4.1)
T-4		BELGARD 'Melville 80' Concrete Unit Pavers Size: 360x360x80 & 190x360x80 Colour: 'Amber Beige' & 'Shaded Grey' Supplier: Exprocrete	(L4-04) (L-4.1)
T-5		CERAMICHE 'Aextera30' Porcelain Pavers Size: Various (incl. pool trim pieces) Colour: Jule & Faro Supplier: Ames Stone & Tiles	(L4-05) (L4-04) (L-4.4)
T-6		BELGARD 'Vendome' Cobble Colour: 'Newport Grey' / + 'Scandina Grey' BELGARD 'Melville Plank' Unit Pavers Pattern: As Shown (Detail Plans on L-2.1)	(L4-06) (L-4.1)
T-7		Decorative River Rock (at Planter Drip Strips) Size: 10-20 cm Colour: Ebony Black & Crushed Stone (at Dog Run) Supplier: Northwest Landscape & Stone Supply	(L4-07) (L4-08) (L-4.1) (L-4.1)
T-8		Pour-In-Place Rubber Play Surfacing w/ Galvanized Metal Edge Colours: Various (Refer to Plan) Supplier: Softline Solutions Surrey	(L4-09) (L-4.2)
T-9		Water @ Level 3 Pool	

## OWNER

**CLIENT**  
TOWNLINE - VANCOUVER HEAD OFFICE  
1212 - 450 SW MARINE DRIVE  
VANCOUVER, BC, V5X 0C3  
T+ (604) 327-8760

## LEGENDS CONT.

SOFTSCAPE LEGEND			
KEY	GRAPHIC	DESCRIPTION	DETAIL KEY
T-8		Sodded Lawn	(L4-10) (L-4.2)
T-9		LiveRoof Pre-Vegetated Intensive Greenroof	(L4-11) (L-4.2)
FURNISHING LEGEND			
KEY	GRAPHIC	DESCRIPTION	DETAIL KEY
F-1		PaverGrate Tree Grate & Trim Ring w/ Integrated Spot-Lighting (at Lansdowne Linear Park)	(L4-12) (L-4.2)
F-2		C3 Commercial Metal Planter Cubes (34") Colour: Slate	(L4-13) (L4-14) (L-4.2)
F-3		Bike Racks Model: BBQ110-BikeBlocq Finish: RAL No Match Custom Plaza Benches Supplier: mmcite	(L4-15) (L-4.2)
F-4		Kompan 'CANOPUS' multi-faceted Play Equipment (Supports 9 Children) Supplier: RecTec Industries	(L4-16) (L4-17) (L-4.2) (L-4.2)
F-5		Wood & Metal Trellis Structures (Size & Layout Varies)	(L4-18) (L4-19) (L-4.2) (L-4.2)
F-6		Metal Gateway Lighting Trellis	(L4-20) (L-4.2)
F-7		Custom Outdoor Kitchen w/ Built-In BBQ Model: 'Viking Series' Finish: Stainless Steel	(L4-21) (L-4.2)
F-8		Custom Wood Platform/Planter	(L4-22) (L-4.1)
F-9		Illustrative Furnishings To Be Specified by I.D.	
		Custom Wood Benches (Podium) & Pre-Fab Wood/Metal Benches (Lansdowne Park)	
LIGHTING LEGEND (See Electrical for Photometrics/Specs/Spacing)			
GRAPHIC	DESCRIPTION		
	Area Light, 9'-9"(3m) Above FFE, Typ.		Step-Lights, 18" Above FFE, Typ.
	Bollard Light, 3'-3" (1m) Above FFE, Typ.		Wall-Mounted Downlight, 10'-0" Above FFE, Typ.
MECHANICAL (See Mechanical for Further Detail)			
	Hose Bib		Irrigation Stub Up

## NOTES

### General Notes

1. Refer to architectural drawings for all walls and stair layout and elevations, unless otherwise noted.
2. Refer to electrical drawings for all final landscape lighting layout and specifications.
3. Refer to architectural and mechanical drawings for all drain locations and rim elevations.

### Planting Notes

1. All plants / planting to be per Canadian Landscape Standards (C.L.S.) latest edition.
2. Plant selection subject to availability at the time of planting.
3. Contractor shall source specified plant material and only after area of search has been exhausted will substitutions be considered.
4. All trees to be staked in accordance with C.L.S.
5. All plants to be sourced from nurseries certified free of P. ramorum.
6. Plant sizes and related container classes are specified according to the C.L.S. current edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the standard; for all other plants, both plant size and container calls shall be as shown in the plant list. Specifically, when the plant list calls for #5 class containers, these shall be as defined in the C.L.S.
7. All trees to have minimum 10 cubic meters of growing medium unless otherwise specified.

### Soil Preparation and Placement Notes

1. All growing medium placed on project to meet or exceed Canadian Landscape Standards (C.L.S.) latest edition.
2. Submit sieve analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval. Clearly identify source and type for each. Resubmit as required until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. minimum 1 litre physical sample.
3. Submittals shall be made at least seven (7) days before
4. Contractor shall not move or work growing medium or additives when they are excessively wet, extremely dry, or frozen or in any manner which will adversely affect growing medium structure. Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium shall not be handled in wet or frozen conditions.
5. Slab drainage shall be 19mm (3/4") diameter drain gravel free from any silt and clay as shown in details.
6. Place growing medium, except structural to required finish grades and minimum depths as detailed, unless shown otherwise.

### Irrigation Notes

1. All 'Soft Landscape Areas' are to be irrigated with a high efficiency design/built irrigation system to IABC Standards, complete with Rain and Wind Sensor.
2. The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines.
3. System design and installation shall take into account elevation differences, sun orientation and other factors affecting zoning and operation of the system to minimized evapotranspiration and wind loss.
4. System design shall provide for uniform complete 'Head to Head' coverage of all lawns and planted areas.
5. Contractor shall be responsible to provide SHOP DRAWINGS a minimum of 3 weeks prior to installation of any irrigation for review and approval.
6. Should the contractor proceed without approval, any additional modifications to the irrigation systems, as directed by the Landscape Architect shall be at contractors cost.
7. Lawns shall be irrigated on separate zones from planted areas.
8. Controller shall be located in mechanical room.
9. PRIOR to Substantial Performance, contractor shall provide a maintenance data and Operation instruction manual containing operational information for all operating components, cleaning and lubrication schedules, overhaul/adjustment schedule.
10. Record Drawings: Submit with the operating and maintenance manuals a reproducible copy of the AS-BUILT condition of the system.
11. Contractor shall instruct a designated representative of the Owner in the complete operating and maintenance procedures for the irrigation system, including winterizing for the first time with the designated representative observing.
12. All piping shall be class 200.
13. Use GSR Schedule 40 PVC designed for solvent welding to PVC pipe except where valves, risers, etc. require threaded joints.
14. Provide sleeves under all hard surfaces and as required through walls. If under vehicular paving, cast iron piping required.
15. Solenoid valves shall be first quality, compatible with the controller selected.
16. Valve boxes shall be reinforced plastic boxes manufactured specifically for landscape irrigation, complete with captive lock bolt cover, sized to suit valves and other components with adequate room for operation and maintenance.

### Product and Material Notes

1. All materials to be as specified or pre-approved equivalent.
2. All material and products to be installed per manufacturer's specifications.

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no.: | date: | Item:



Project:

**LUXE**  
No.3 Road, Richmond

Drawn by: JBT

Checked by: PK

Date: July 17, 2017

Scale: NTS

Drawing Title:

**Landscape Coversheet**  
**Legends & Notes**

**DP 18-829141**

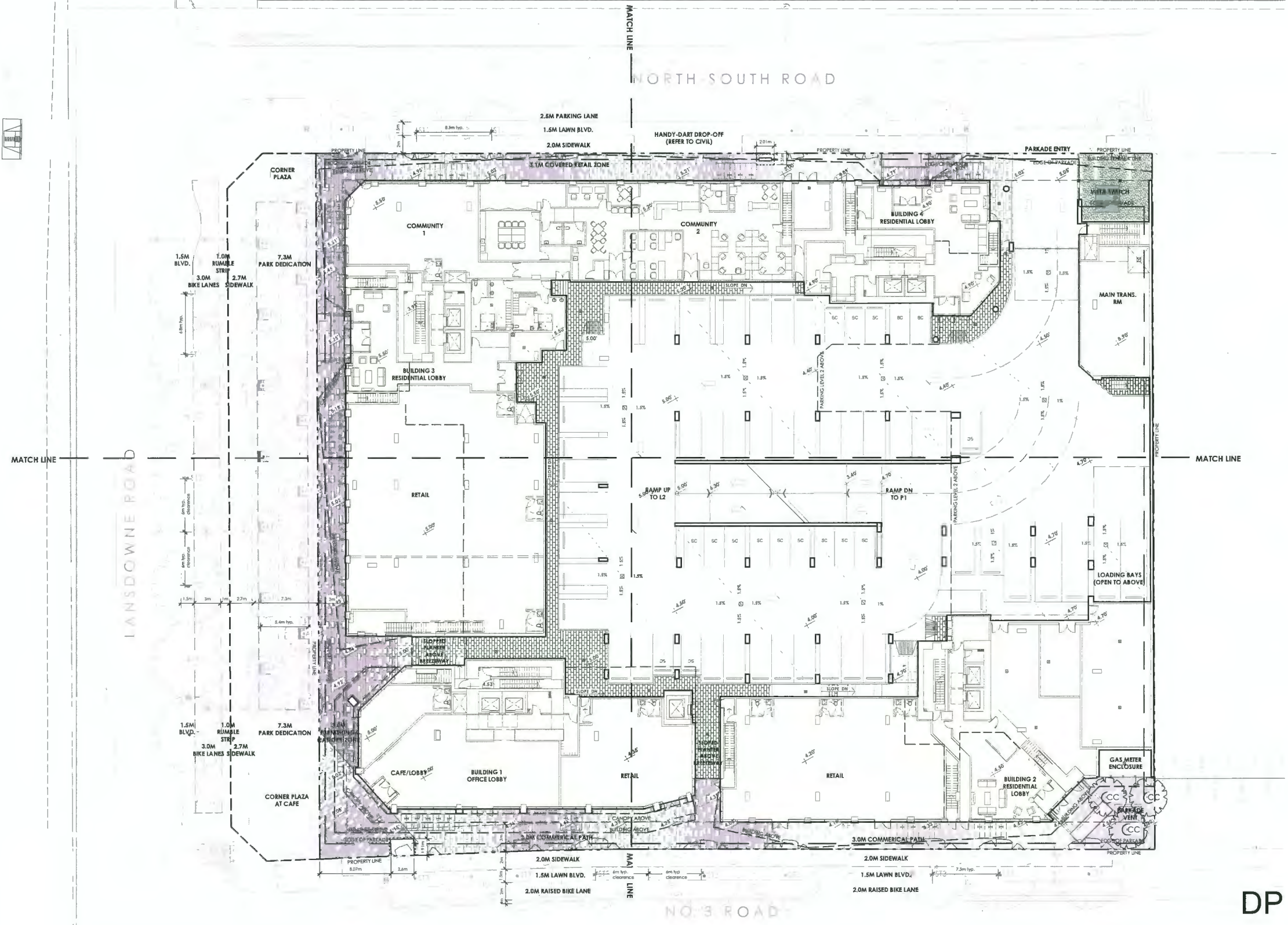
City Project No.:  
DP 18-829141

DKL No.:  
17060

Sheet No.:

**L-4.1**





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 Revisions:



Project:  
**LUXE**  
 No.3 Road, Richmond

Drawn by: JBT

Checked by: PK

Date: July 17, 2017

Scale: 1/16" = 1'-0"

Drawing Title:  
 Landscape  
 Materials Plan -  
 Level 1

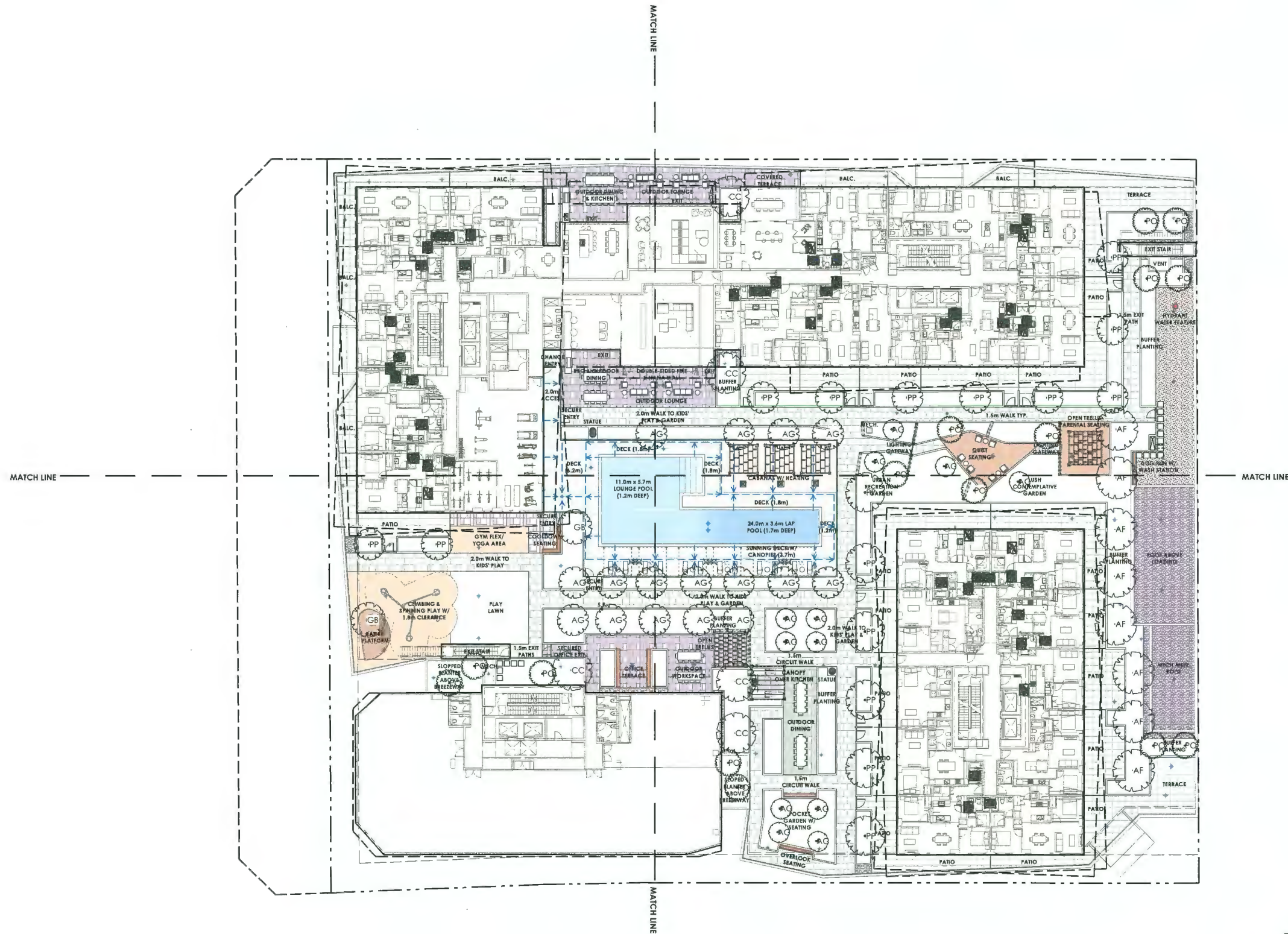
**DP 18-829141**

City Project No.: DP 18-829141  
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Sheet No.:

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 Revisions: \_\_\_\_\_



Project:

**LUXE**  
 No.3 Road, Richmond

Drawn by: JBT

Checked by: PK

Date: July 17, 2017

Scale: 1/16" = 1'-0"

Drawing Title:

**Landscape  
 Materials Plan -  
 Level 3**

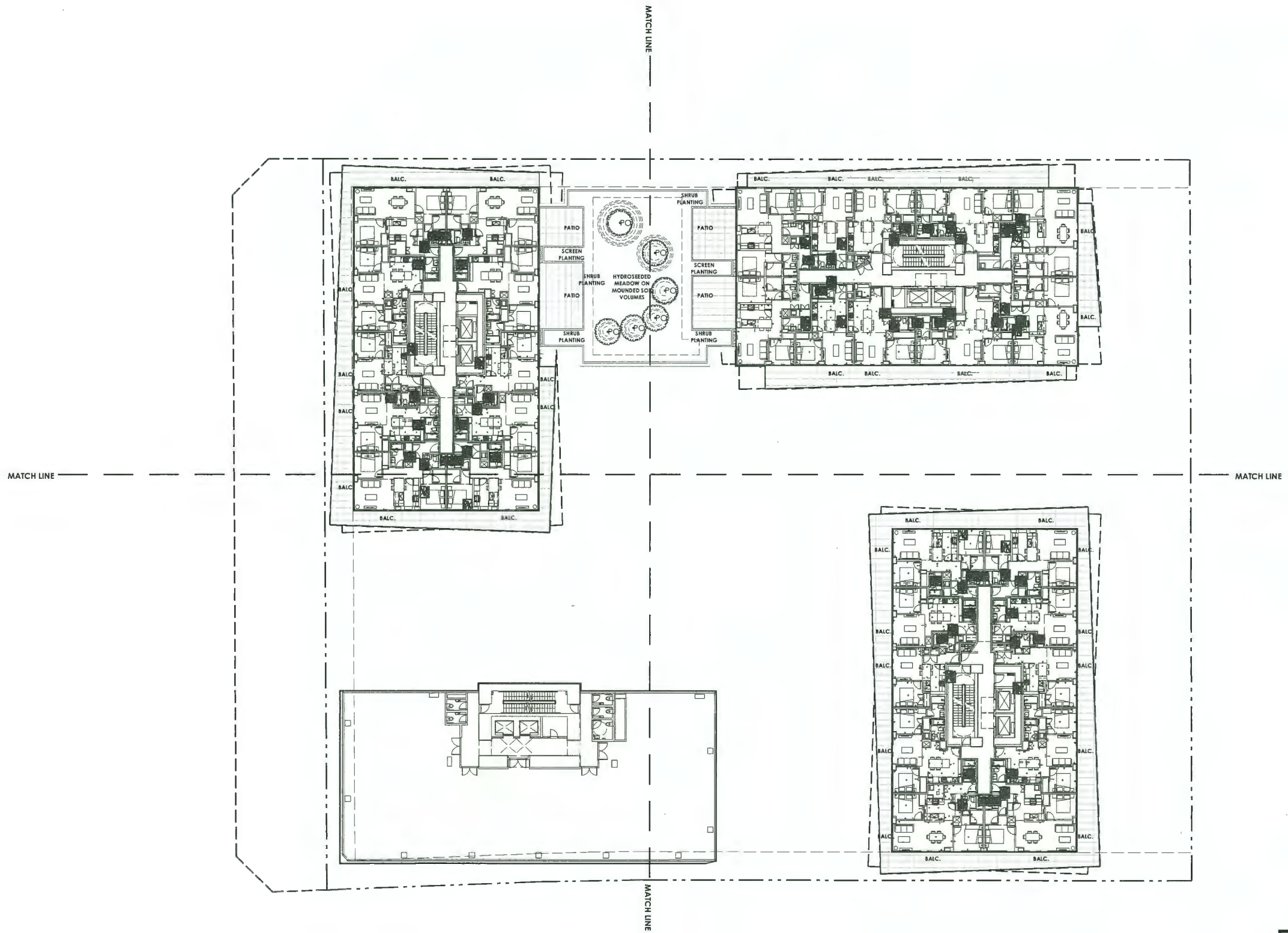
**DP 18-829141**

City Project No.: DP 18-829141  
 DKL No.: 17060

Sheet No.:

**L-4.1.2**





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Project:  
**LUXE**  
 No.3 Road, Richmond

Drawn by: JBT  
 Checked by: PK  
 Date: July 17, 2017  
 Scale: 1/16" = 1'-0"

Drawing Title:  
**Landscape Materials Plan - Level 7**

**DP 18-829141**

City Project No: DP 18-829141  
 DKL No.: 17060  
 Sheet No.:

**L-4.1.3**



Sym	Qty	Botanical Name	Common Name	Size
<b>On-Site Trees</b>				
AC	12	<i>Acer circinatum</i>	Vine Maple	2.5m H., B&B
AF	8	<i>Acer x fremonii</i> 'Autumn Blaze'	Autumn Blaze Maple	10cm cal. B&B
AG	16	<i>Acer griseum</i>	Paperbark Maple	6cm cal. B&B
CC	8	<i>Cornus cantonensis</i>	Wedding Cake Tree	8cm cal. B&B
GS	2	<i>Ginkgo biloba</i>	Maidenhair Tree	11cm cal. B&B
PP	6	<i>Parrot persea</i> 'Igneis Ruby Vase'	Perlan Ironwood	9cm cal. B&B
PP	10	<i>Parrot persea</i> 'Igneis Ruby Vase'	Perlan Ironwood	6cm cal. B&B
PO	21	<i>Picea omorika</i>	Serbian Spruce	2.5m H.
<b>Off-Site Trees</b>				
APc	14	<i>Acer planifolius</i> 'Columnare'	Columnar Norway Maple	8cm cal. B&B
ST1	8	Street Tree - New Road	To Be Determined	7cm cal. B&B
ST2	7	Street Tree - Lansdowne Road	To Be Determined	7cm cal. B&B
ST3	8	Street Tree - No. 3 Rd	To Be Determined	7cm cal. B&B
<b>Shrubs/Ferns</b>				
+	36.5	<i>Taxus x media</i> 'Hicksii'	Hick's Yew (MALE PLANTS ONLY)	4" H., B&B, RB-RB
+	1405	<i>Buxus sempervirens</i>	Common Boxwood	#2 pol. 12" o.c.
Co	30	<i>Cornus sanguinea</i> 'Midwinter Fire'	Bloodwing Dogwood	#3 pol. 30" o.c.
Hy1	26	<i>Hydrangea arborescens</i> 'Annabelle'	Smooth Hydrangea	#5 pol. 48" o.c.
Lo	25	<i>Lonicera pileata</i> 'Mass Green'	Privet Honeysuckle	#3 pol. 30" o.c.
So	15	<i>Salix purpurea</i> 'Nana'	Dwarf Arctic Willow	#3 pol. 36" o.c.
Sc	230	<i>Sarcococca confusa</i>	Sweet Box	#2 pol. 30" o.c.
<b>Perennials</b>				
Al	40	<i>Agapanthus africanus</i>	African Lily	#2 pol. 18" o.c.
Al	36	<i>Allium giganium</i> 'Globemaster'	Ornamental Onion	Bulbs
As	18	<i>Allioba x Arendsi</i> 'Hyacinth'	Fake Spirea 'Hyacinth'	#2 pol. 18" o.c.
Ec	41	<i>Echinacea purpurea</i>	Purple Coneflower	#2 pol. 30" o.c.
Eu	65	<i>Euphorbia characias</i> var. wulfenii	Mediterranean Spurge	#3 pol. 24" o.c.
Ey	22	<i>Eryngium bourgati</i>	Mediterranean Sea Holly	#1 pol. 12" o.c.
La	60	<i>Lavandula angustifolia</i> 'Rosea'	Rose English Lavender	#2 pol. 24" o.c.
Ne1	215	<i>Nepeta</i> 'Six Hills Giant'	Calmint Six Hills Giant	#2 pol. 18" o.c.
Sd	90	<i>Sedum</i> 'Herbstfreude'	Sedum 'Autumn Joy'	#2 pol. 18" o.c.
<b>Groundcovers/Vines</b>				
Ca	70	<i>Carex oshimensis</i> 'Evergold'	Evergold Sedge	#1 pol. 12" o.c.
De	31	<i>Deschampsia cespitosa</i> 'Goldtau'	Goldtau Tufted Hak Grass	#3 pol. 24" o.c.
Ho	46	<i>Hakonechloa macroa</i> 'Aureola'	Golden Japanese Forest Grass	#3 pol. 60" o.c.
Ho	40	<i>Hosta lundana</i> 'Hodspan's Blue'	Hodspan's Blue Hosta	#2 pol. 18" o.c.
Mc	22	<i>Miscanthus sinensis</i> 'Coscade'	Malden Grass 'Coscade'	#5 pol. 60" o.c.
Mi	40	<i>Miscanthus sinensis</i> 'Gracillimus'	Malden Grass	#5 pol. 60" o.c.
St	195	<i>Stipa tenuissima</i>	Mexican Feather Grass	#2 pol. 24" o.c.
Pa	770	<i>Pachysandra terminalis</i> 'Green Sheen'	Japanese Spurge	#1 pol. 8" o.c.

**SOIL DEPTH NOTE:**

Top of Wall heights are typically 30" above FFE, with varying depth of drainage layer below FFE (according to architectural slab slopes). To accommodate a minimum of 36" soil depth and ensure full coverage of tree rootballs, the drainage layer is reduced by 6" at the tree rootballs (see L405.3 /Ld-02).

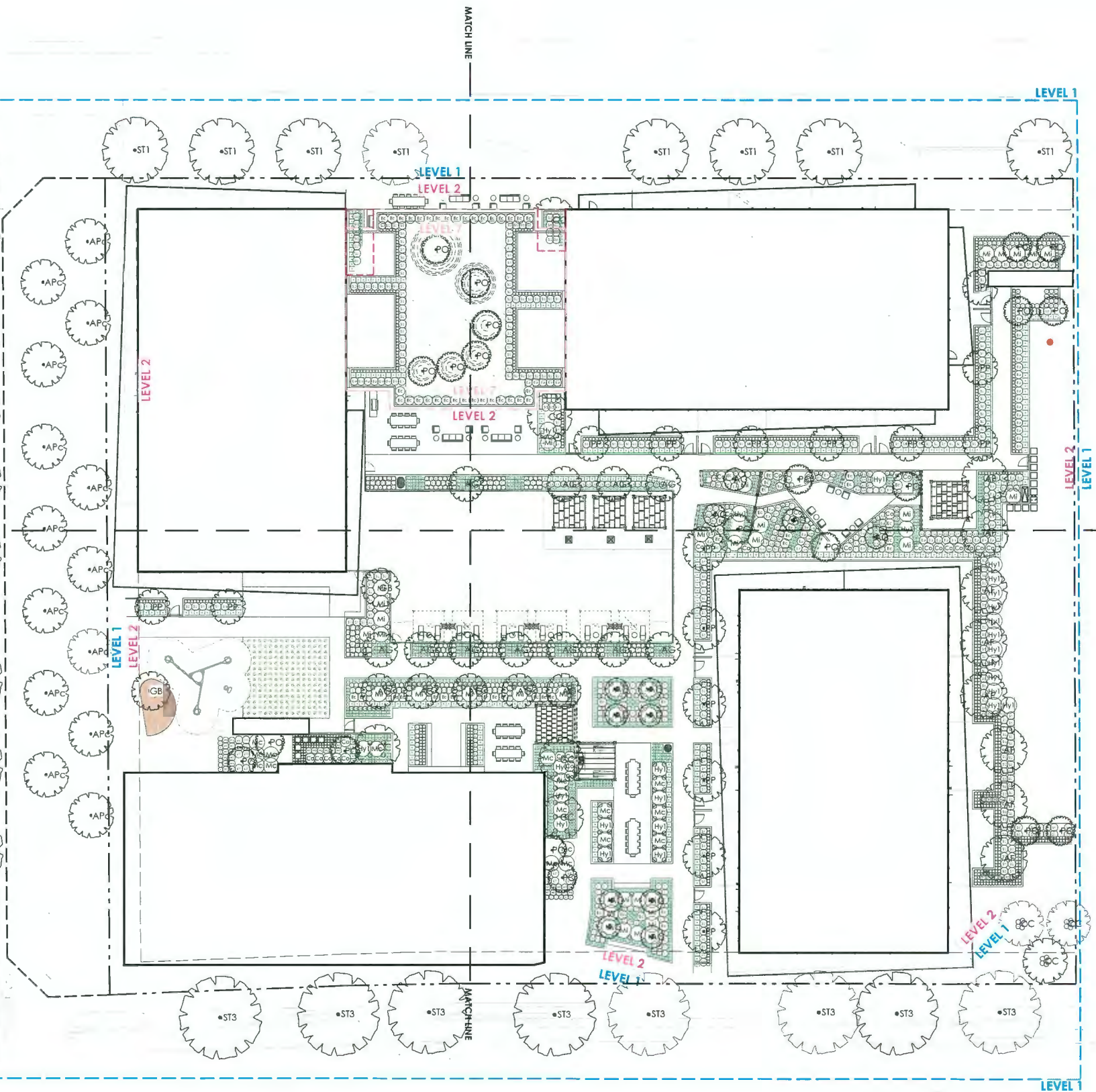
Please note that soil volumes are maximized wherever possible (with the ideal volume being 10cb.m per individual tree). However, considering that (a) many trees have shared soil volumes, and (b) the programmatic function of the Amenity spaces also requires certain minimum provisions; the average soil volumes for individual trees is about 75% this target.

Please note that we feel:

(a) the volumes provided on slab are not atypical of volumes provided on similar projects.

(b) the volumes provided will allow of mature growth of trees, that is to say maturity up to about 75% of the species potential growth. Offsite trees will have substantially more soil depth & soil volume to allow for 100% maturity in specimens. Shrub planting also has more than ideal volumes.

(c) additionally, from a level of comfort for users of the space, we do not want canopy growth to entirely shade areas. To that effect, with respect to BMPs for sustainability regarding solar gain & comfort, our preference for trees is deciduous species. Coniferous species, are not preferred, but have been added per City request in strategic locations where applicable.



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**dk** Durante Kreuk Ltd  
 102 - 1637 West 5th Avenue  
 Vancouver BC V6J 1N5  
 Tel: 604 684 4611  
 Fax: 604 684 0577  
 www.dk.bc.ca

Project:  
**LUXE**  
 No.3 Road, Richmond

Drawn by: JBT  
 Checked by: PK  
 Date: July 17, 2017  
 Scale: 1/16" = 1'-0"

Drawing Title:  
**Landscape Planting Plan**

**DP 18-829141**

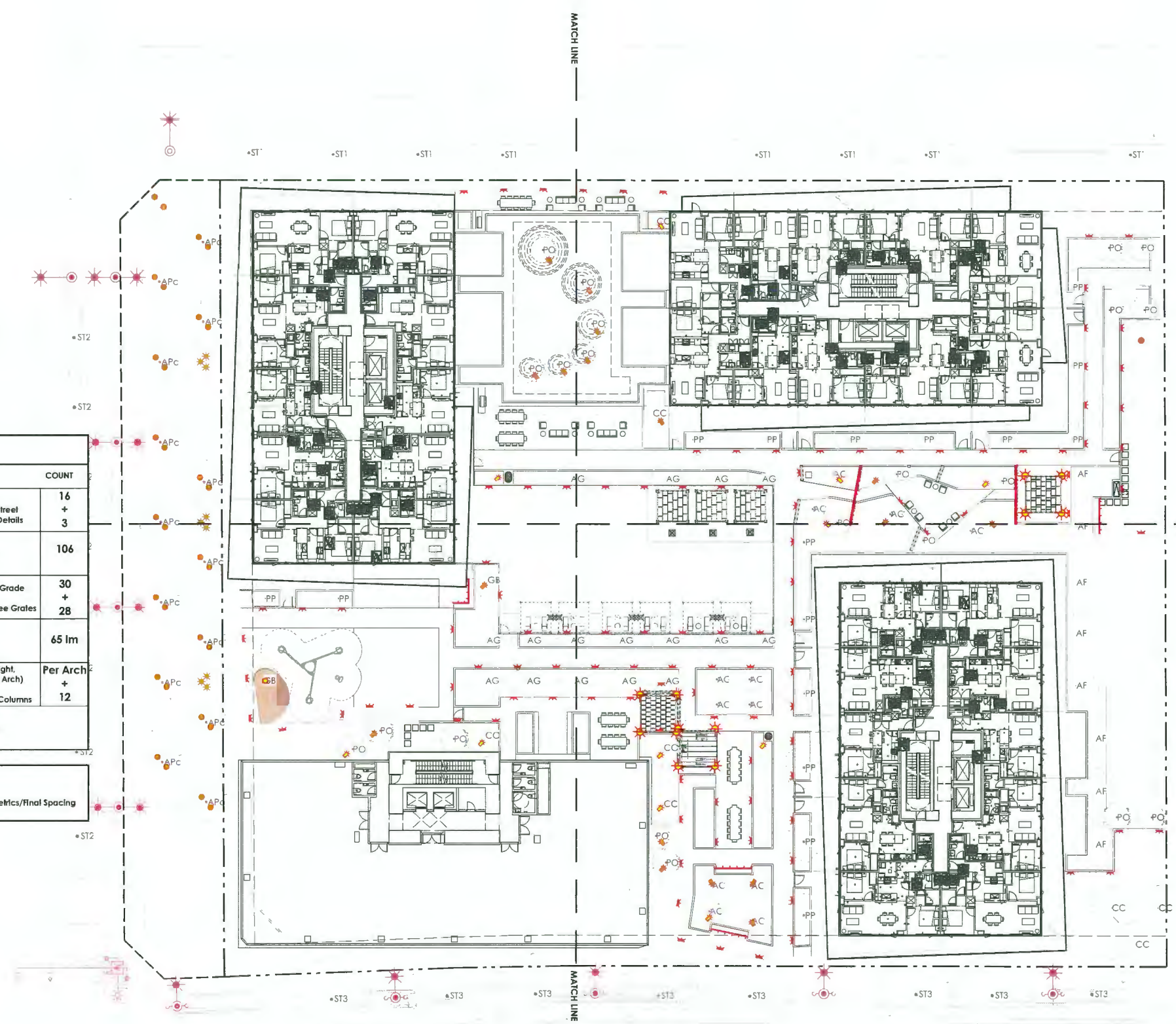
City Project No.: DP 18-829141  
 DKL No.: 17060  
 Sheet No.:

**L-4.2**



LIGHTING LEGEND			
KEY	GRAPHIC	DESCRIPTION	COUNT
L-0		NOTE: City/Civil to Specify Street Lighting Locations & Details	16 +
L-1		Step-Lights, 18" Above FFE, Typ.	106
L-2		Staked Spot-Light, In Grade Integrated Uplight, Tree Grates	30 +
L-3		Rope Lights, Fixed to Furnishing	65 lm
L-4		Wall-Mounted Downlight, (Confirm Location w/ Arch) Mount Exterior Trellis Columns	Per Arch +
AG		Statues & Specimen Trees	
		Trellis - Design TBD	

NOTE:  
Indicative Design Only.  
Refer to Electrical for Product Specifications/Photometrics/Final Spacing



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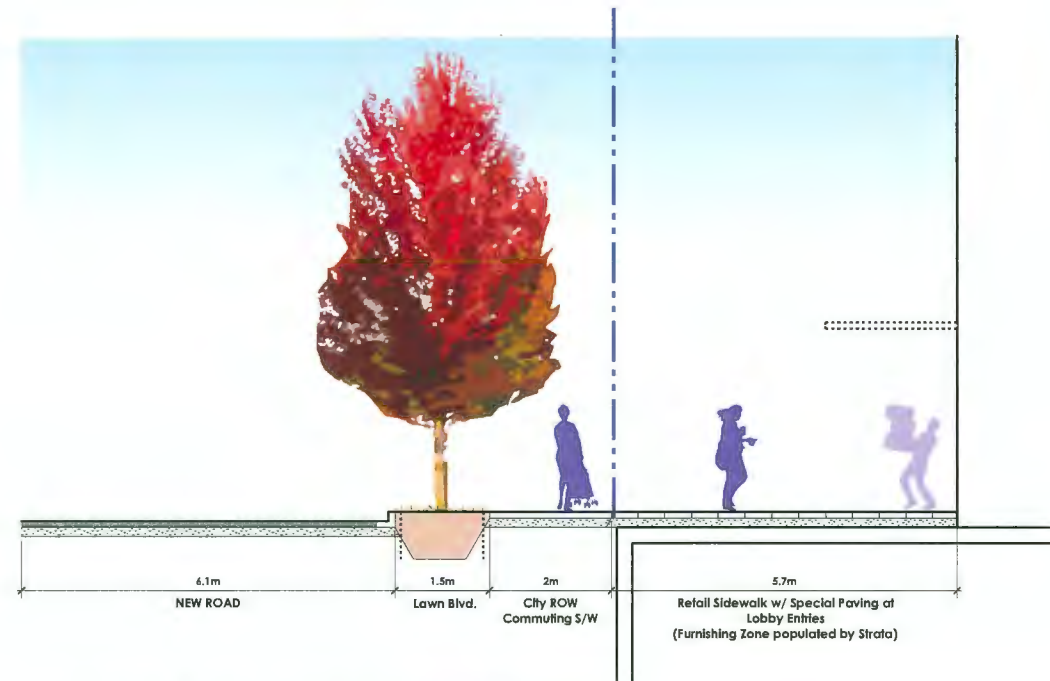
Drawn by: JBT  
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Drawing Title:  
**Landscape  
Lighting Plan**

**DP 18-829141**

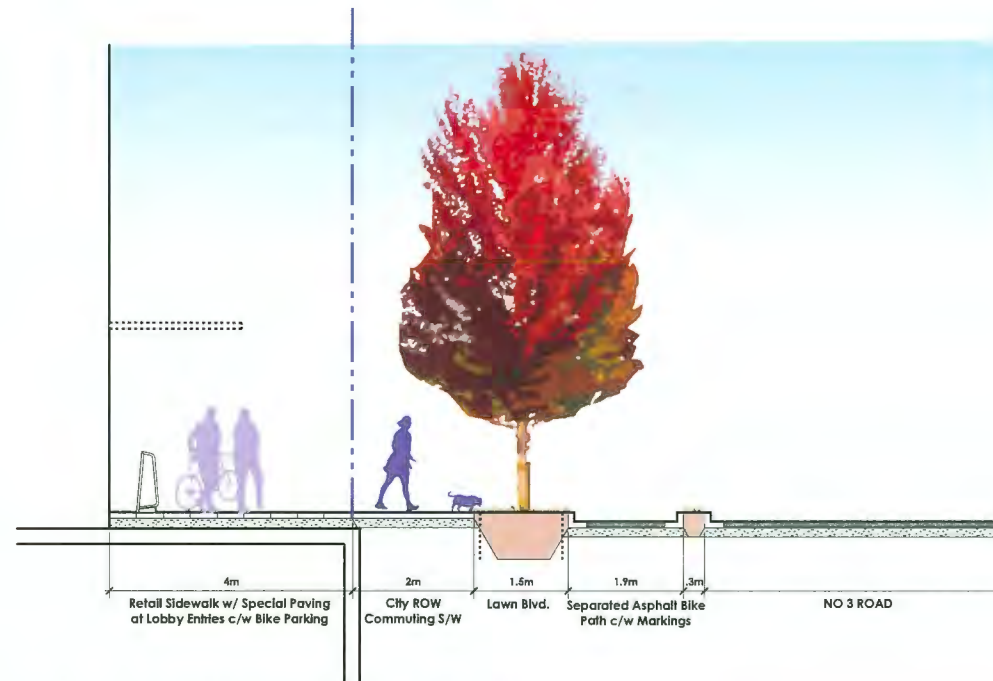
City Project No.: DP 18-829141  
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**L-4.3**



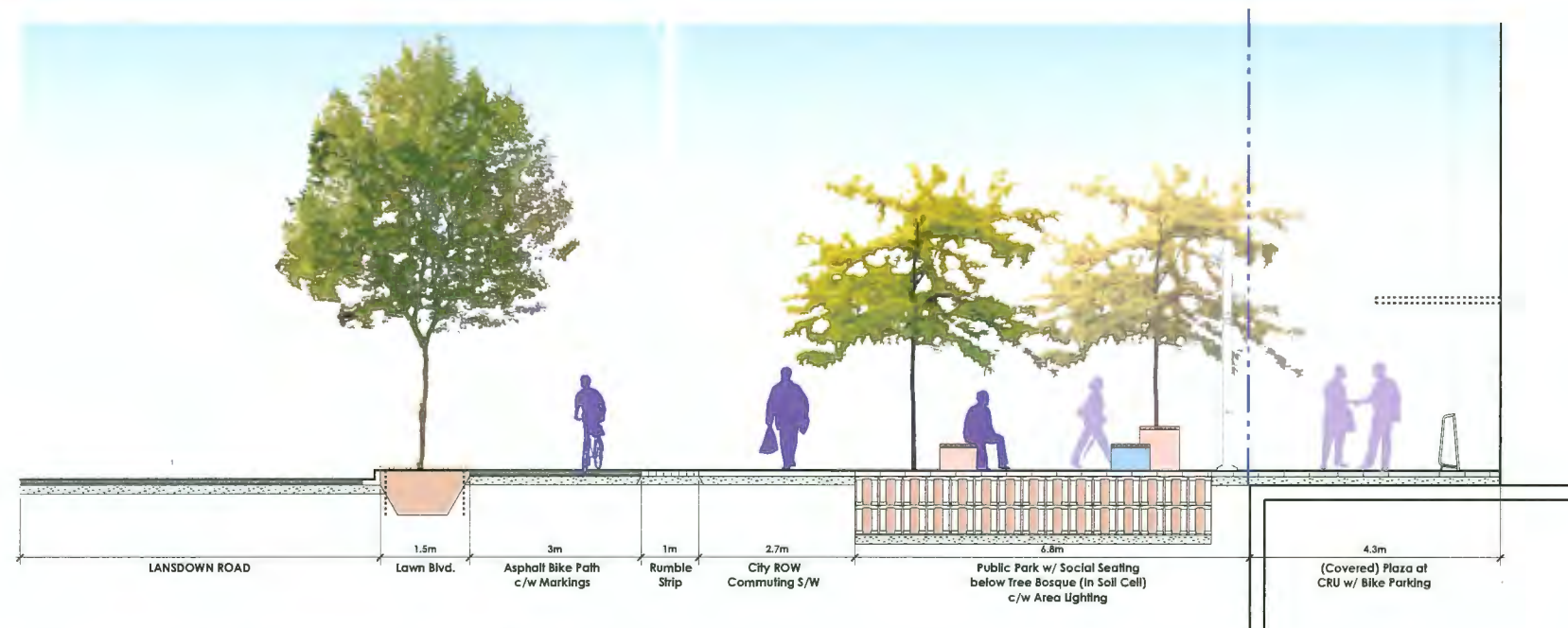
**1a - NEW ROAD TYPICAL STREETSCAPE**

COMMUNITY SPACE SPILLOUT



**1b - NO 3 ROAD TYPICAL STREETSCAPE**

TOWNHOUSE AND TOWER OUTDOOR AMENITY



**2 - LANSDOWNE ROAD STREETSCAPE TYPICAL**

PROPOSED STREETSCAPE W/ COMMUTING & COMMERCIAL WALKWAYS AND PARK

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Project:  
**LUXE**  
No.3 Road, Richmond  
Drawn by: JBT  
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Scale: 1:50

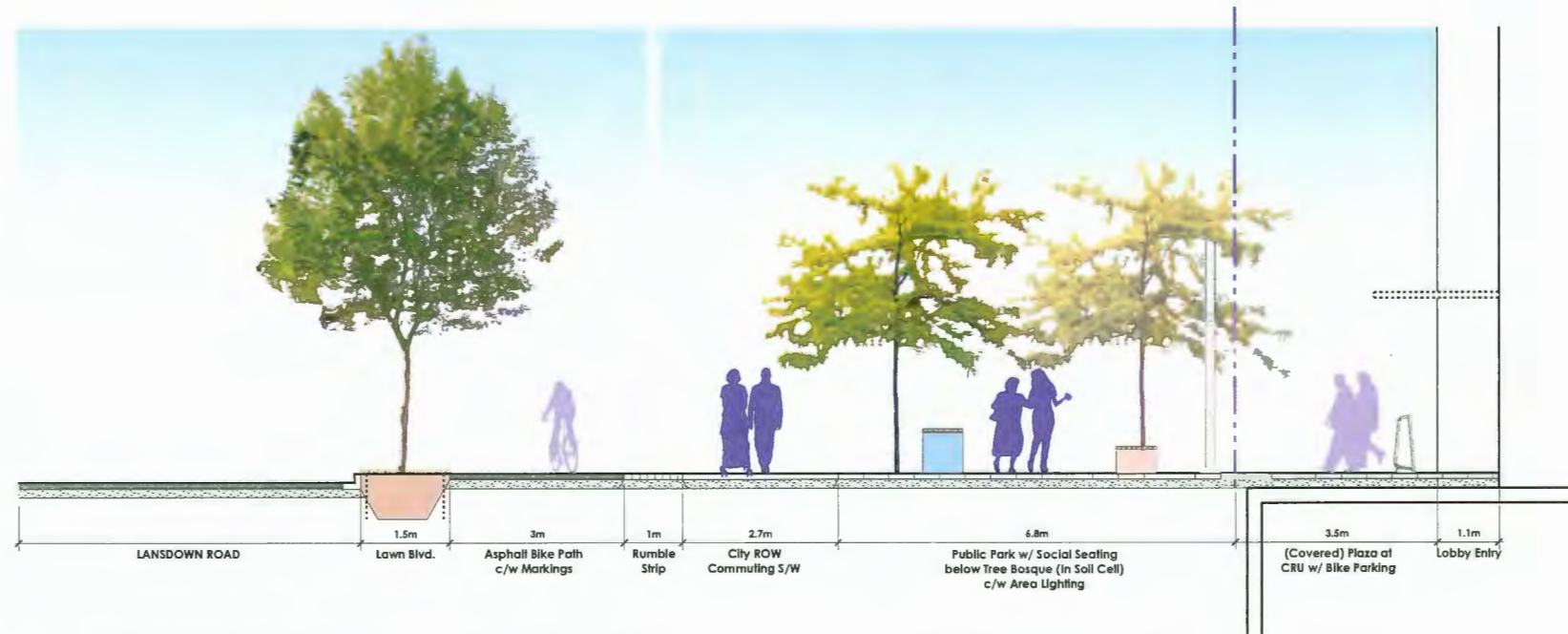
Drawing Title:  
**Landscape**  
**Ground Level**  
**Sections**

**DP 18-829141**

City Project No.: DP 18-829141  
DKL No.: 17060  
Sheet No.:

**L-4.4.1**





**3 - LANSDOWNE ROAD STREETScape AT PLAZA**

PROPOSED STREETScape W/ SOCIAL SEATING AND AREA LIGHTING AT PLAZAS

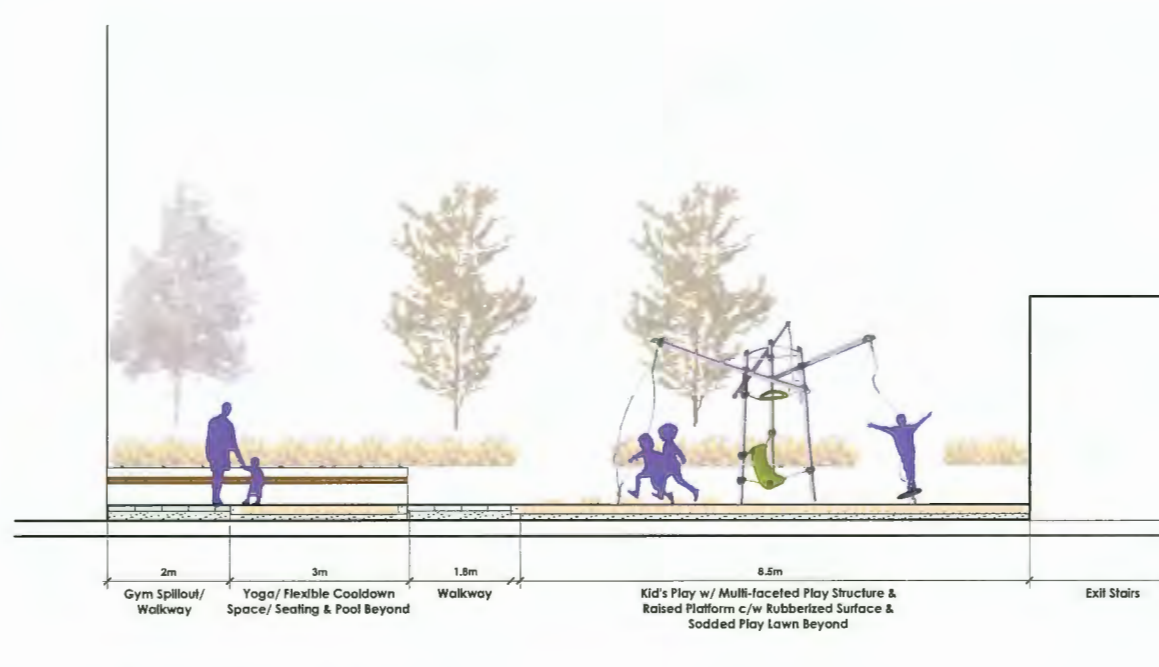
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**5 - OUTDOOR LOUNGE AT CENTRAL AMENITY**

DINING TABLES AND SOCIAL SEATING



**7 - GYM COOLDOWN & KIDS PLAY**

RUBBERIZED YOGA & PLAYSPACES W/ LAWN

Project:  
**LUXE**  
No.3 Road, Richmond

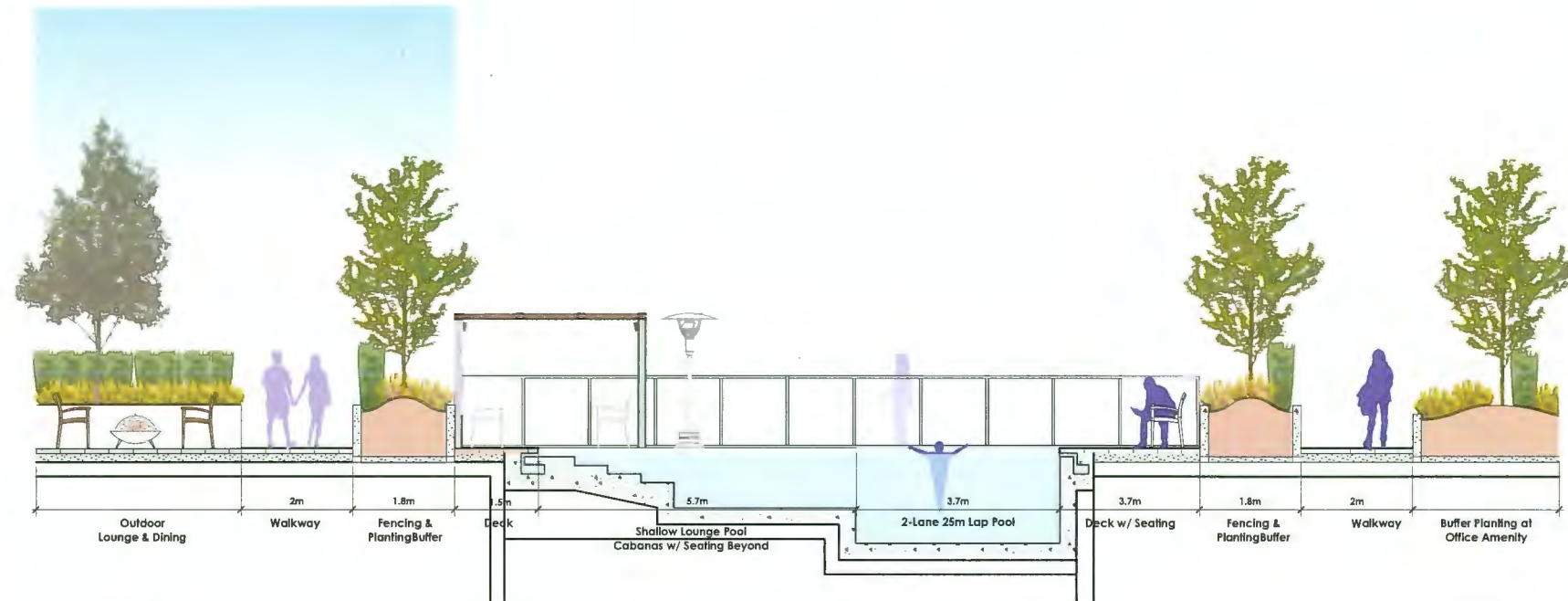
Drawn by: JBT  
Checked by: PK  
Date: July 17, 2017  
Scale: 1:50

Drawing Title:  
**Landscape Podium Level Sections**

**DP 18-829141**

City Project No.: DP 18-829141  
DKL No.: 17060  
Sheet No.:

**L-4.4.2**

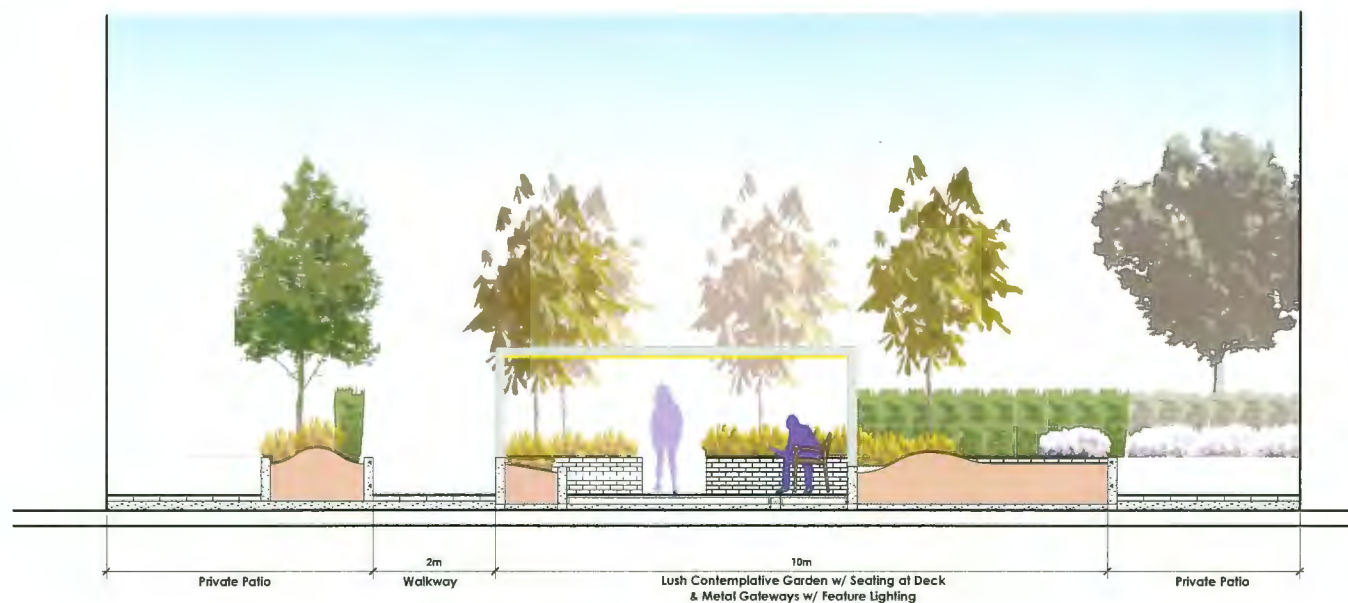


**5 - POOL AMENITY & TYPICAL CIRCULATION**

LOUNGE & LAP POOLS W/ CABANAS AND BAR BEYOND

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**4 - URBAN RECREATION GARDENS**

PRIVATE PATIOS AND LUSH GARDEN W/ SEATING GATEWAY LIGHTING



**8 - POCKET GARDEN AT OUTLOOK**

OUTDOOR DINING AREA W/ BENCHES AT BUILDING EDGE

Project:

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Drawn by: JBT

Checked by: PK

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Scale: 1:50

Drawing Title:

**Landscape**  
**Podium Level**  
**Sections**

**DP 18-829141**

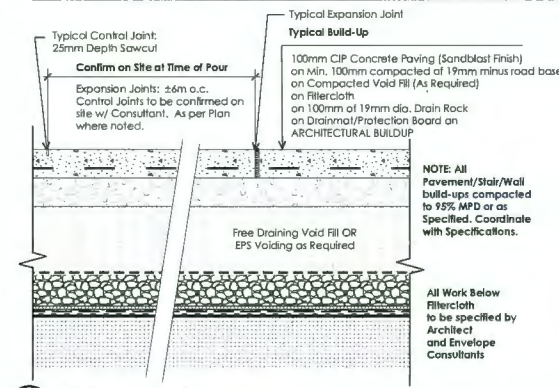
City Project No.: DP 18-829141  
DKI No.: 17060

Sheet No.:

**L-4.4.3**

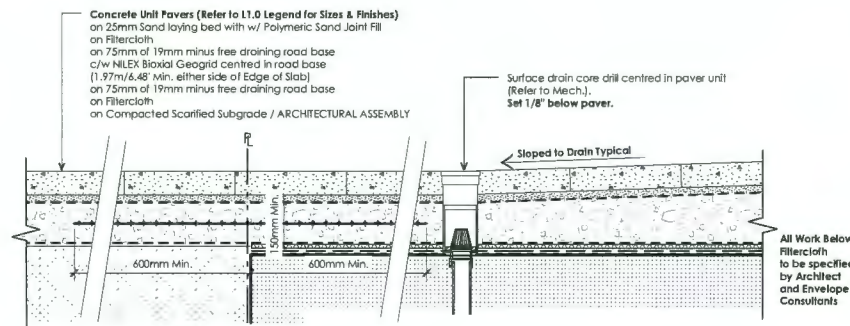


- GENERAL CONCRETE WORKS NOTES:**
- All concrete details shown on landscape drawings for design purposes only.
  - All concrete work on slab to be built off arch. drawings.
  - All reinforcement as shown on structural drawings.
- GENERAL NOTES:**
- Confirm all "Special Tooling", Expansion Joint and Control Joint Layout on site w/Consultant.
  - Remove all "soft spots" in subgrade to Consultant approval and to Specifications Section 02210.
  - Place E.J.'s at all locations where slab meets/abuts with walls or stairs or any "permanent" adjacent work not of this contract. Max. 6m o.c. unless shown otherwise. Refer to Layout Plan L-1.
  - Refer to L-1 Layout Materials and Grading Plan for specific concrete finish treatments. "Medium Sandblast Finish" preferred. Tool all edges.
  - Reinforcing where shown-10M Bar at 300mm o.c. both ways.
  - At edges, slab thickers to 150mm CIP Concrete.

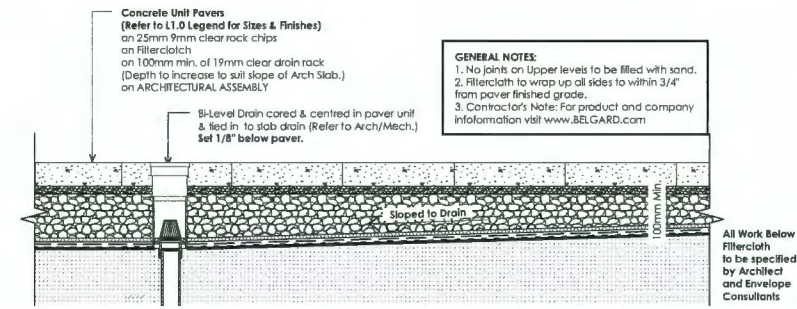


**Ld-01**  
CIP Concrete On-Slab  
Scale: 1:10

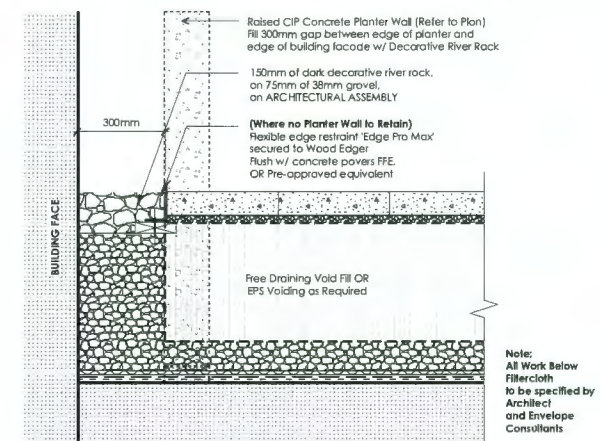
- GENERAL NOTES:**
- Cut all pavers as required to maintain pattern/layout as shown on Plans
  - Pavers to be cut with Concrete Stone Saw, no gullotine cuts will be allowed.
  - All GROUND LEVEL paver joints to be filled with polymeric sand.
  - Filtercloth to wrap up all sides to within 3/4" from paver finished grade.



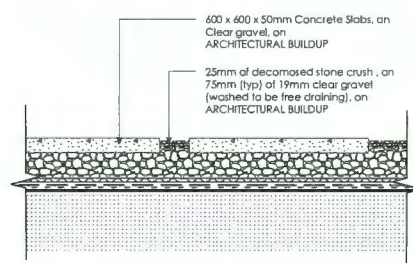
**Ld-02**  
Pavers Spanning On-Off Slab (Ground Level)  
Scale: 1:10



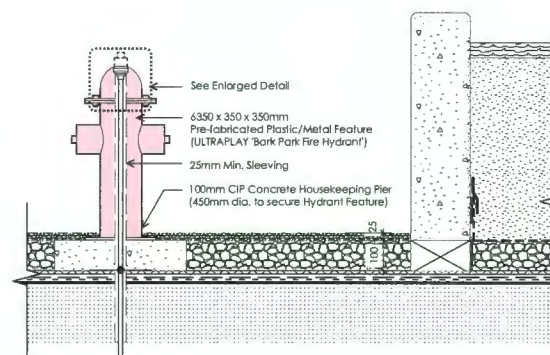
**Ld-03**  
Typical Concrete Unit Pavers on Gravel On-Slab (Level 2)  
Scale: 1:10



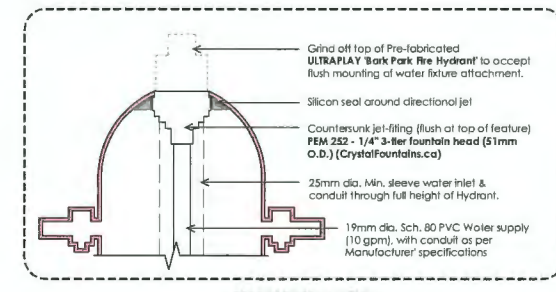
**Ld-04**  
Typical Decorative Drip Strip (at Patios)  
Scale: 1:10



**Ld-05**  
Stepstones in Stone Crush Gravel at Dog Run  
Scale: 1:10



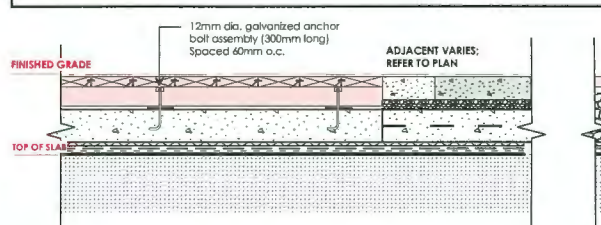
**Ld-06**  
w/ Hydrant Fountain Feature  
Scale: 1:10



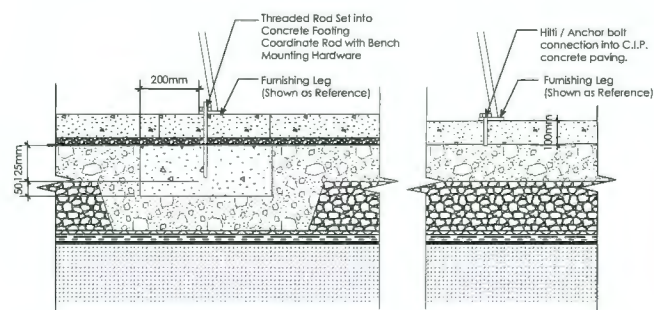
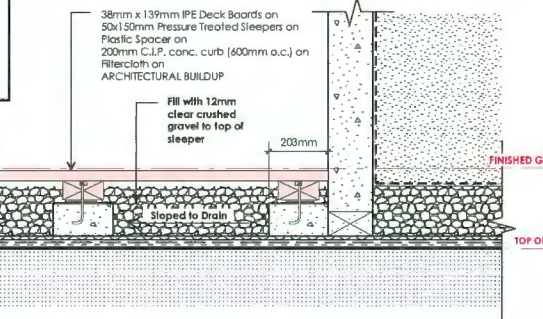
SPRAY FOUNTAIN DETAIL



- WOOD NOTES: \*EXOTIC HARDWOOD: EHW\***
- END SEALING: All cut ends of EHW decking to be treated with end grain sealant within 24 hours of cutting. Do Not apply end grain sealant to surface of decking. Sealant to be wiped off surface of deck boards immediately.
  - CUTTING AND DRILLING: Due to the hard nature of EHW's premium carbide tipped saw blades to be used for cutting. Use Brass point drill bits or fastener bits to provide cleaner holes.
  - FASTENERS: Use only 305 or higher grade stainless steel fasteners to fasten EHW boards. Pre-drilling is required. Pre-drill all holes with appropriately sized drill bit for your screw size.
- Provide shop drawings.

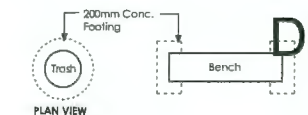


**Ld-07**  
Low-Profile Decking Detail  
Scale: 1:10



**Ld-07**  
Typical Site Furniture Attachment (Refer to Manufacturer's Specs)  
Scale: 1:10

- GENERAL NOTES:**
- Refer to Materials Legend for Specified Site Furnishings
  - Refer to and prefer Manufacturer's Installation Specifications where applicable



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Project:  
**LUXE**  
No.3 Road, Richmond

Drawn by: JBT  
Checked by: PK  
Date: July 17, 2017  
Scale: 1:10

Drawing Title:  
**Landscape Hardscape Details**

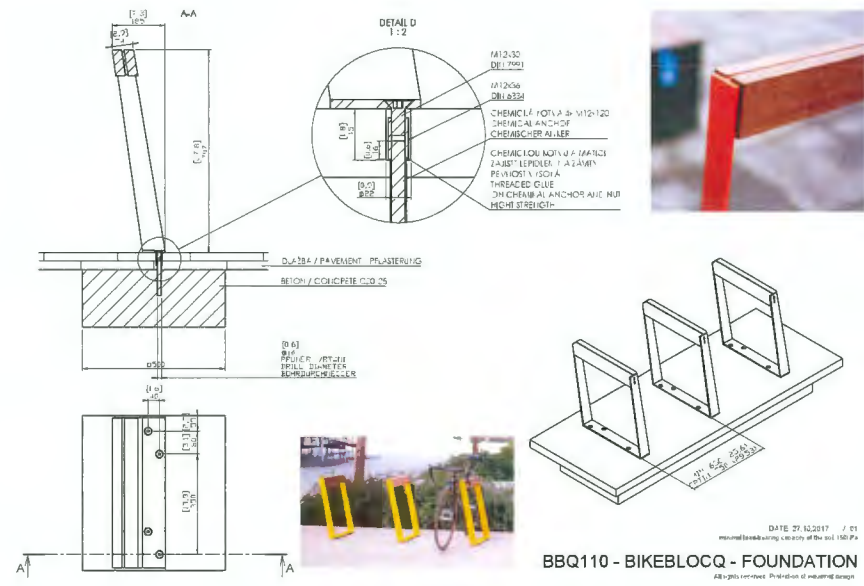
**DP 18-829141**

City Project No.: DP 18-829141  
DKL No.: 17060

Sheet No.:

**L-4.5.1**





**Ld-01** 'BBQ' Bike Rack | by mmclh  
Scale: NTS

**CANOPUS**  
GX961



The amazing Canopus takes body memory and body memory skills to new levels of play for tweens. Thanks to its spaciousness, everyone can participate in play on Canopus. The varied spinning activities train the motor skills ABC of agility, balance and coordination. The sense of balance is the foundation for all other motor skills and makes it possible for humans to manage the world securely. In the early teenage years, the sense of balance needs extra attention due to rapid physical growth. The Satellite and Musica spinners whirl around when children use their muscles and coordination to rotate smoothly. To create a smooth rotation on the Satellite Spinner, users need to consider gravity. This is great for the understanding of rotation principles. The spinners hold many children, encouraging cooperation and turn-taking skills.

**KOMPAN!**  
Let's play

Item no. GX961012-3717

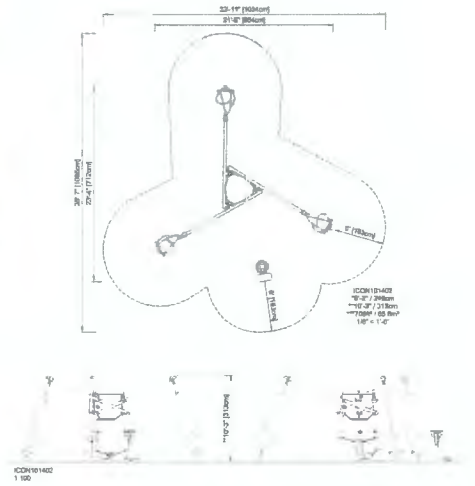
**General Product Information**

Dimensions LxWxH: 21'5" x 20'7" x 10'3"

Age Group: 5-12

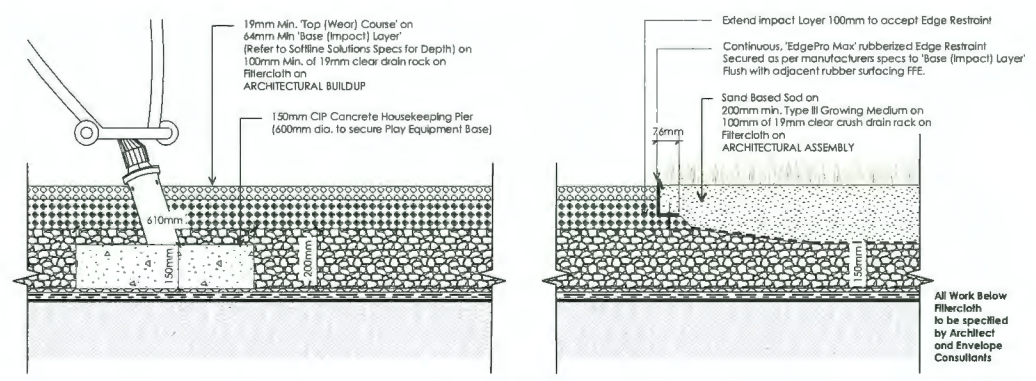
Play Capacity: 9 children

Color Options: [Color swatches]



**SUPPLIER:**  
RECTEC Industries Inc.  
(KOMPAN Product Line)  
Contact: Jeff Kuby | +604-940-0067

**Ld-02** Pre-fab Play Equipment | by Kompan, Supplied by RecTec Industries  
Scale: NTS



**Ld-03** SOFTLINE Pour-In-Place 'FirstBase' System Play Surfacing  
Scale: 1:10

**Ld-04** w/ Curvilinear Edge Restraint of Sodded Lawn  
Scale: 1:10

**Size Options:**

18" x 24" 36" x 48" 36" x 36" 36" x 24" 24" x 24"

**Color Options:**

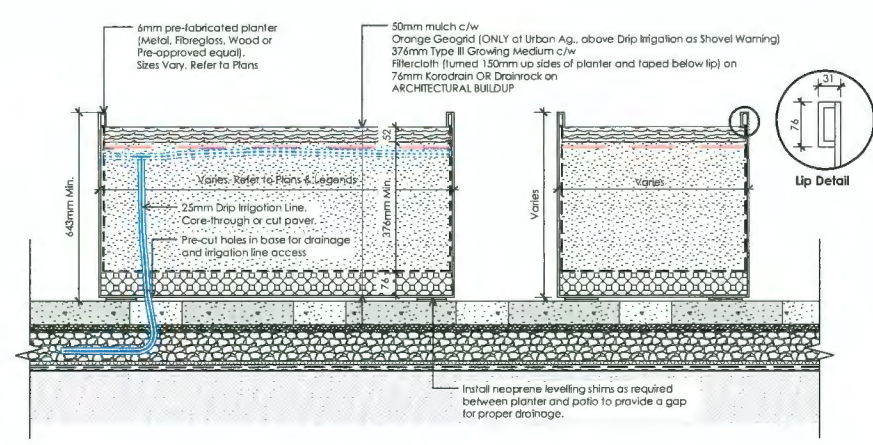
Stone, Slate, Tuscan, Ivory, Night, Teak

**Additional Information:**

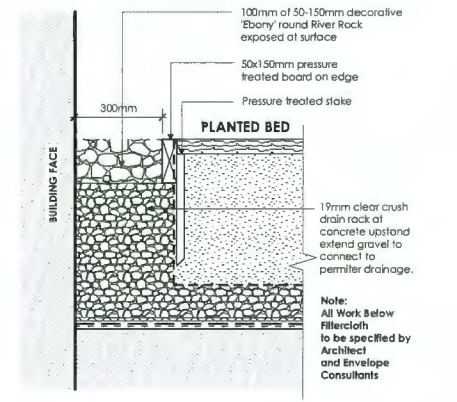
- Commercial grade planters
- Made from 0.125" marine grade 5052 aluminum
- Hand dressed full welds
- Super durable, weather resistant, UV rated (KROHNE 1000)
- Standard and with drainage holes
- Planter feet included

**SUPPLIER:**  
C3 Commercial Metal Planters  
www.c3planters.com  
Contact: Shaun D'Souza | +604-828-6144

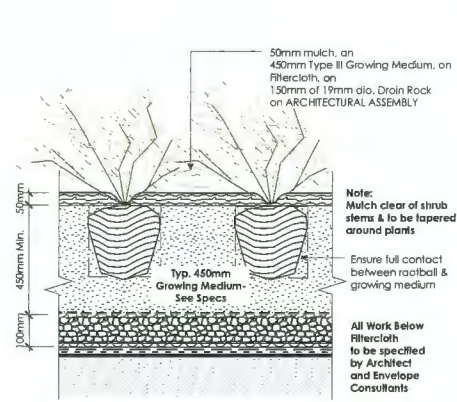
**Ld-02** C3 Commercial Planters | Cylinder  
Scale: NTS



**Ld-03** Pre-Fabricated Planter Buildup  
Scale: 1:10



**Ld-04** Typical Drip Strip (In Planter at Building Faces)  
Scale: 1:10



**Ld-05** Typical Shrub Planting On-Slab / In-Planter  
Scale: 1:10

no.:	date:	item:
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02	Oct 30, 2018	Issued for DP
01	May 03, 2018	Issued for Rezoning

**DK** Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dk.bc.ca

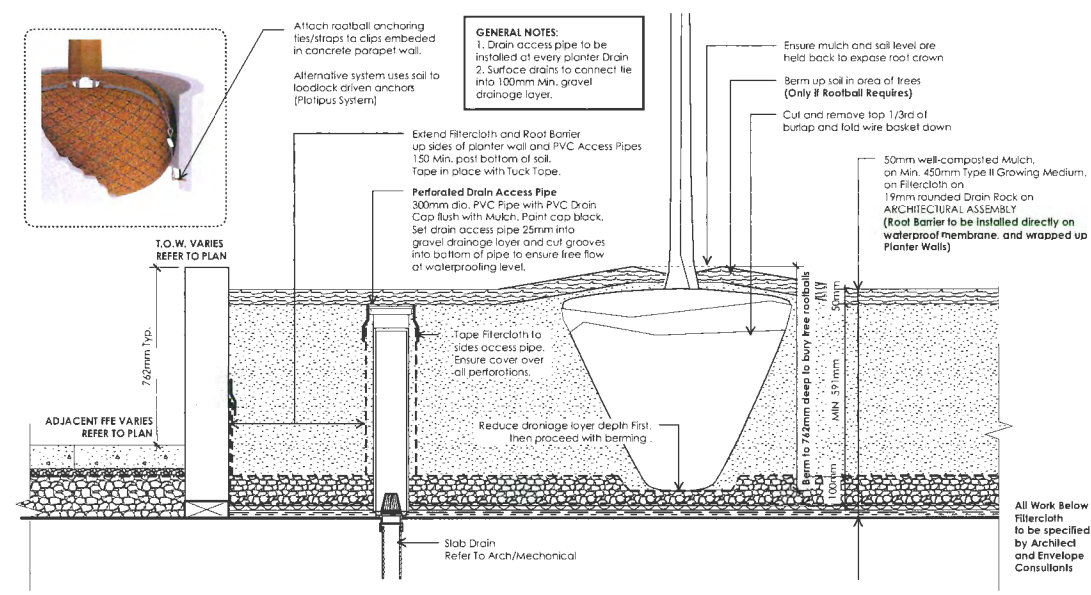
Project:  
**LUXE**  
No.3 Road, Richmond

Drawn by: JBT  
Checked by: PK  
Date: July 17, 2017  
Scale: 1:10  
Drawing Title:  
**Landscape Furnishing & Planting Details**

**DP 18-829141**

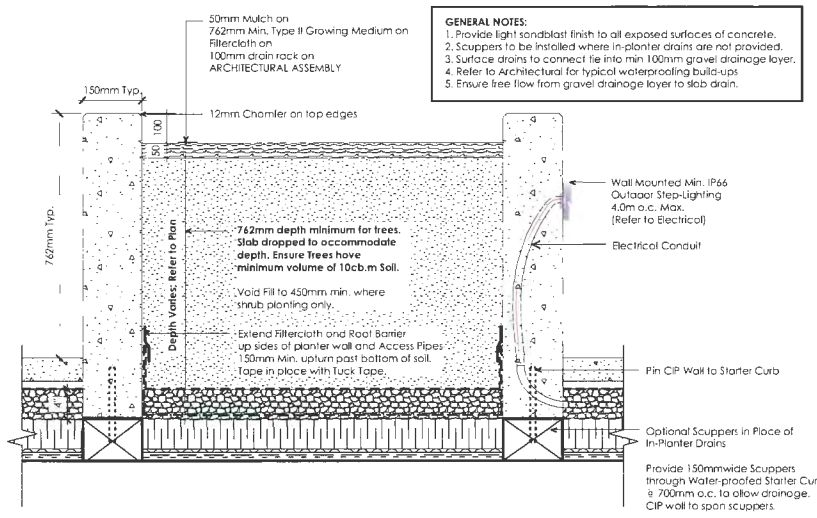
City Project No.: DP 18-829141  
DKL No.: 17060  
Sheet No.:



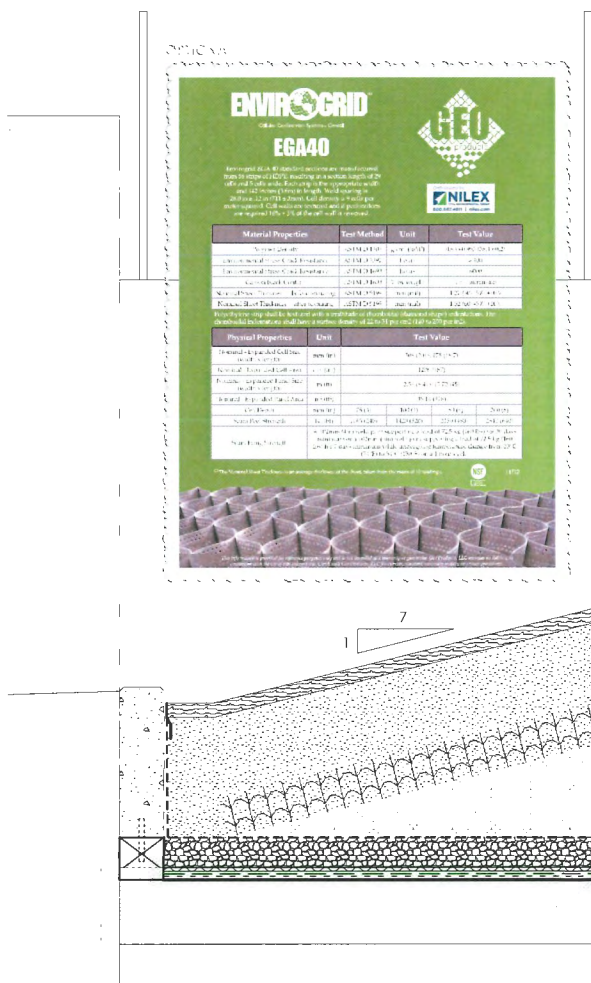


Ld-01 Typical Tree Planting Detail On-Slab  
 Scale: 1:10

Ld-02 Typical Drain Access Pipe in Planting & Lawn  
 Scale: 1:10



Ld-03 Typical CIP Concrete Planter on Starter Curb (Optional Scuppers)  
 Scale: 1:10



Ld-04 Breezeway Typical Sloped Planting  
 Scale: 1:10

**ENVIROGRID EGA40 GEO**

Material Properties Table:

Material Property	Test Method	Unit	Test Value
Specific Gravity	ASTM D 1555	g/cm <sup>3</sup>	1.25
Water Absorption	ASTM D 1555	%	0.05
Compressive Strength	ASTM D 1555	MPa	1.5
Flexural Strength	ASTM D 1555	MPa	1.5
Impact Strength	ASTM D 1555	J/m <sup>2</sup>	15
Modulus of Elasticity	ASTM D 1555	MPa	1500
Modulus of Rupture	ASTM D 1555	MPa	1.5
Modulus of Elasticity	ASTM D 1555	MPa	1500
Modulus of Rupture	ASTM D 1555	MPa	1.5
Modulus of Elasticity	ASTM D 1555	MPa	1500
Modulus of Rupture	ASTM D 1555	MPa	1.5

Revisions:

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no.: | date: | item:

Revisions:

**dk** Duratec Fresh Ltd  
 110 - 1637 West 5th Avenue  
 Vancouver BC V6J 1N5  
 Tel: 604-654-4611  
 Fax: 604-654-7677  
 www.dk.com

Project:  
**LUXE**  
 No.3 Road, Richmond

Drawn by: JBT

Checked by: PK

Date: July 17, 2017

Scale: 1:10

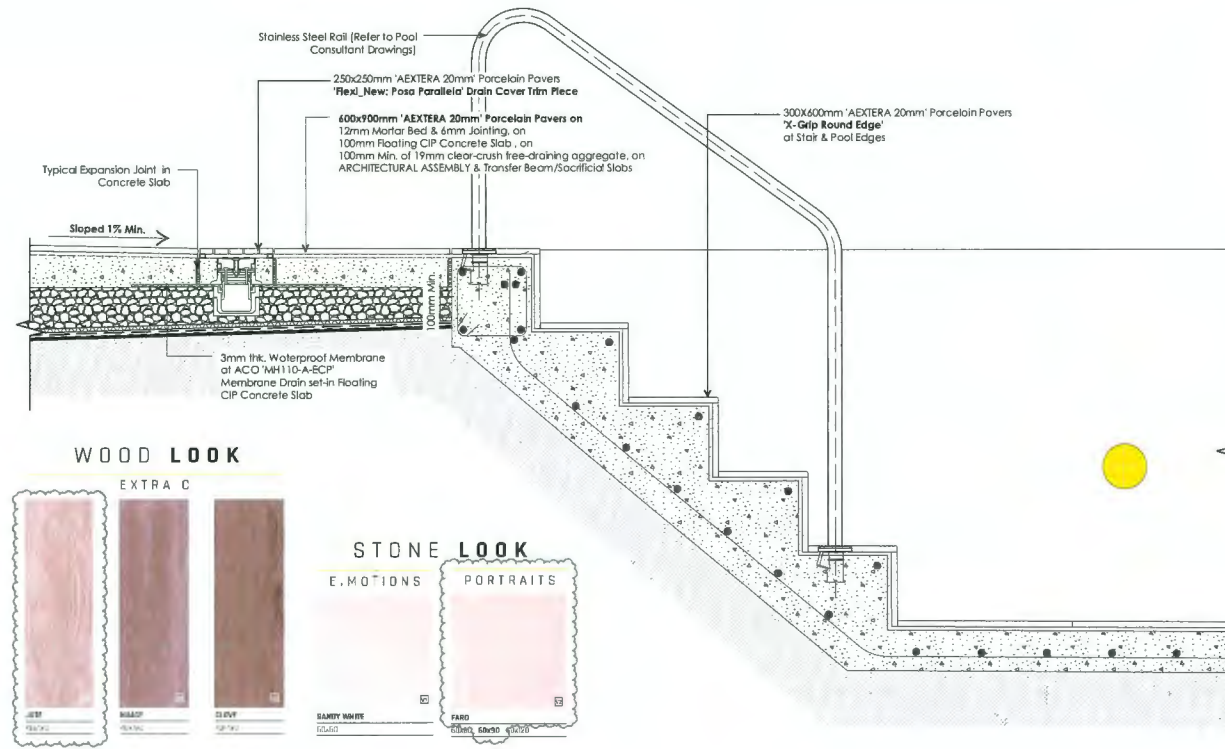
Drawing Title:  
**Landscaping  
 Planting Details**

**DP 18-829141**

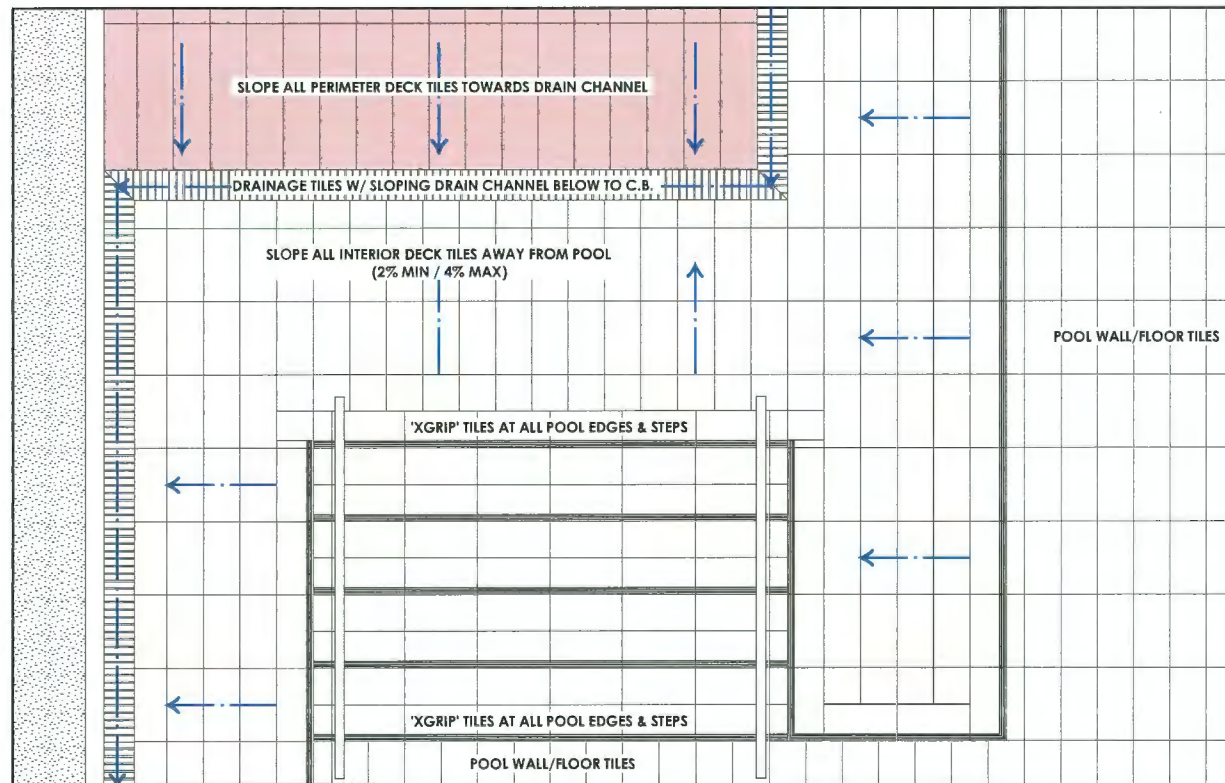
City Project No: DP 18-829141  
 DKL No: 17060

Sheet No.:  
**L-4.5.3**

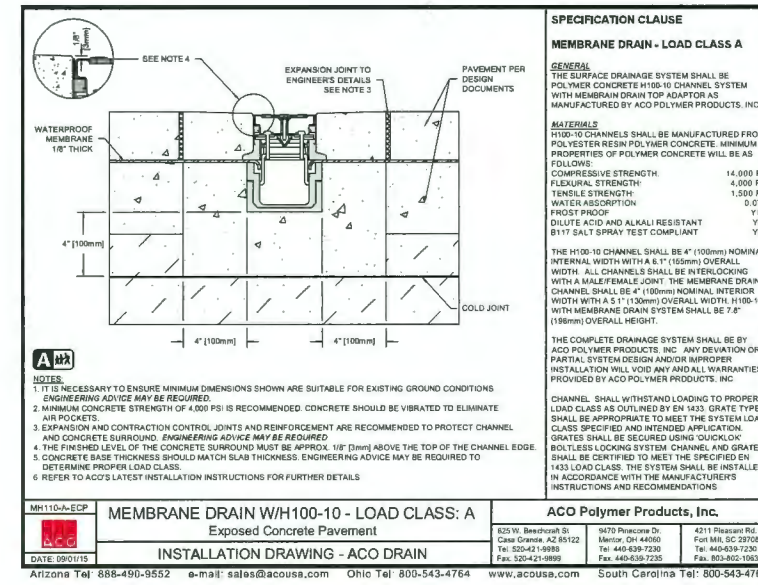




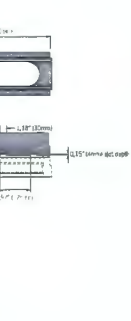
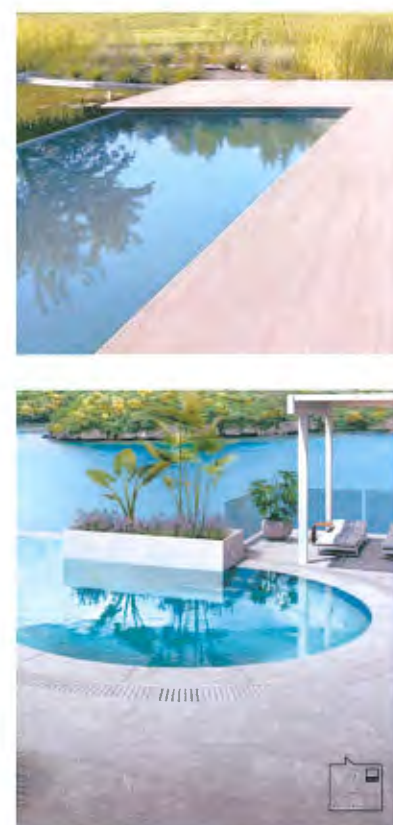
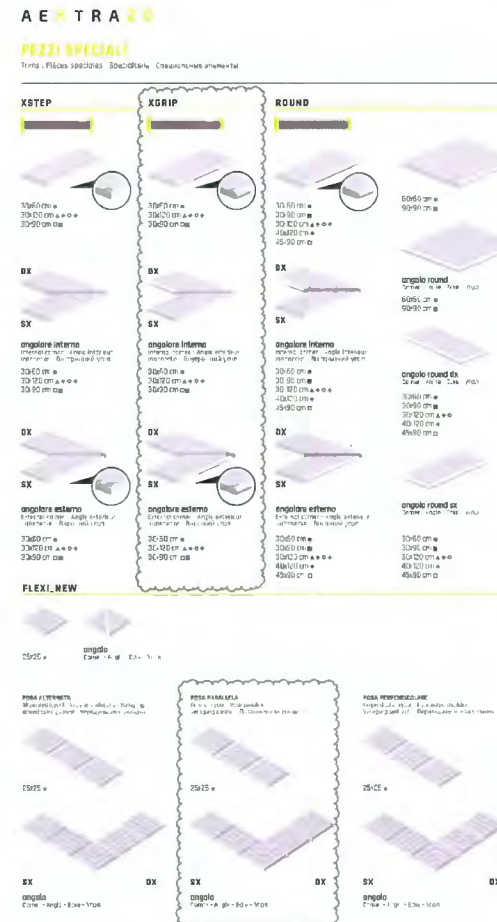
Ld-01 Porcelain Pavers on Mortar at Pool Deck  
Scale: 1:10



Ld-02 Trim Pieces at Pool Edge & Steps  
Scale: 1:25



Ld-03 ACO Drainage Channel of Pool Perimeter  
Scale: 1:10



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**dk**  
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102 - 1537 West 5th Avenue  
Vancouver BC V6J 1N5  
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F: 604 684 0577  
www.dk.bc.ca

Project:  
**LUXE**  
No.3 Road, Richmond

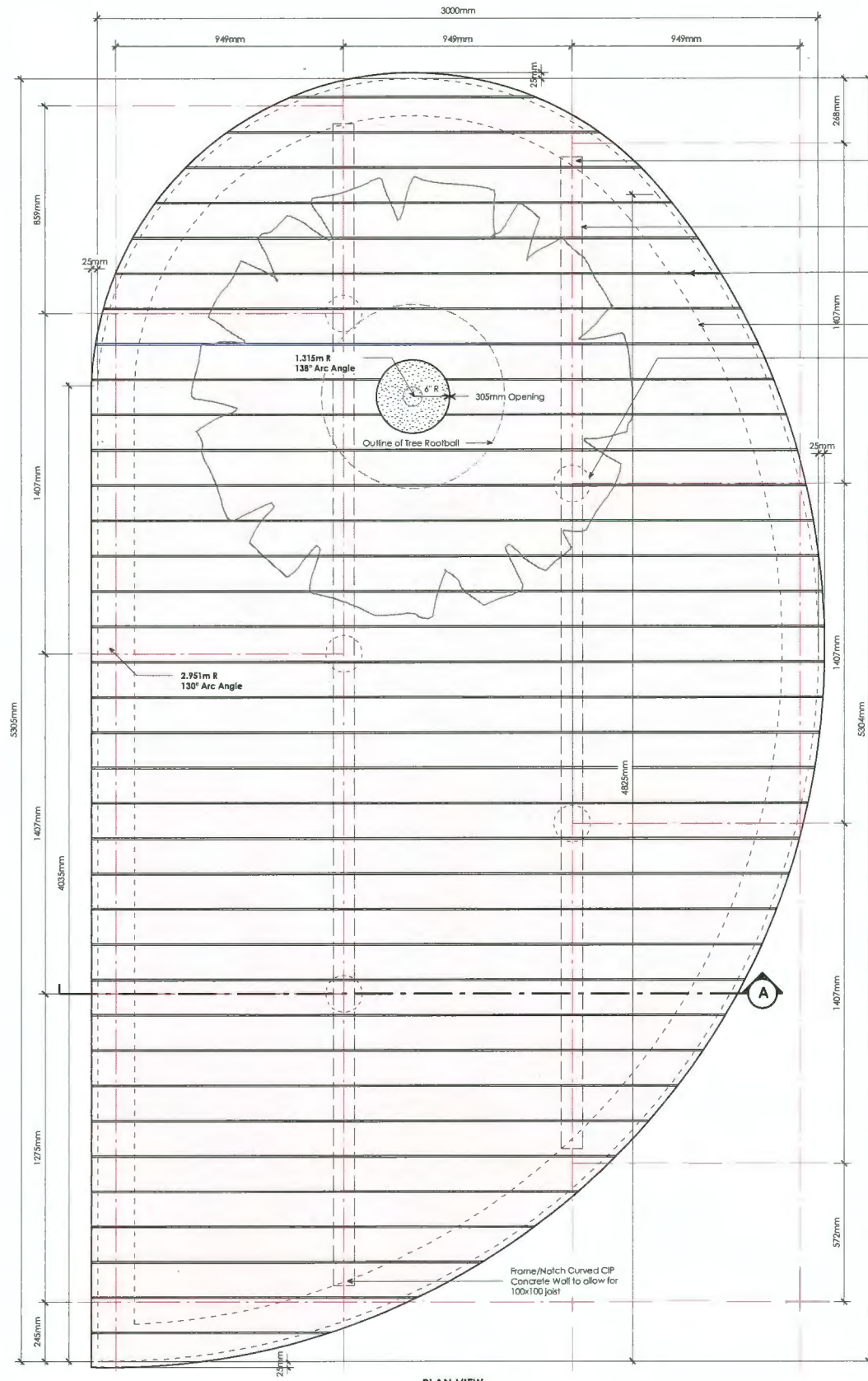
Drawn by: JBT  
Checked by: PK  
Date: July 17, 2017  
Scale: 1:10

Drawing Title:  
**Landscape Pool Details**

**DP 18-829141**

City Project No.: DP 18-829141  
DKL No.: 17060  
Sheet No.: L-4.5.4





PLAN VIEW

- Frame/Notch Curved CIP Concrete Wall to allow for 100x100 joist
- Outline of (Nominal 4x4") 100x100mm Pressure Treated Joists below (long dashed line)
- Nom. 2x6" 38x89mm Ipe EHW decking Fastened to joists from underside w/ 6mm wood screw. Cut ends to match curve of concrete. Overhang concrete 25mm typical.
- Outline of CIP Concrete Wall below (short dashed line)
- Outline of 150mm dia. Sonotube Concrete Pier for joist support (short dashed line)

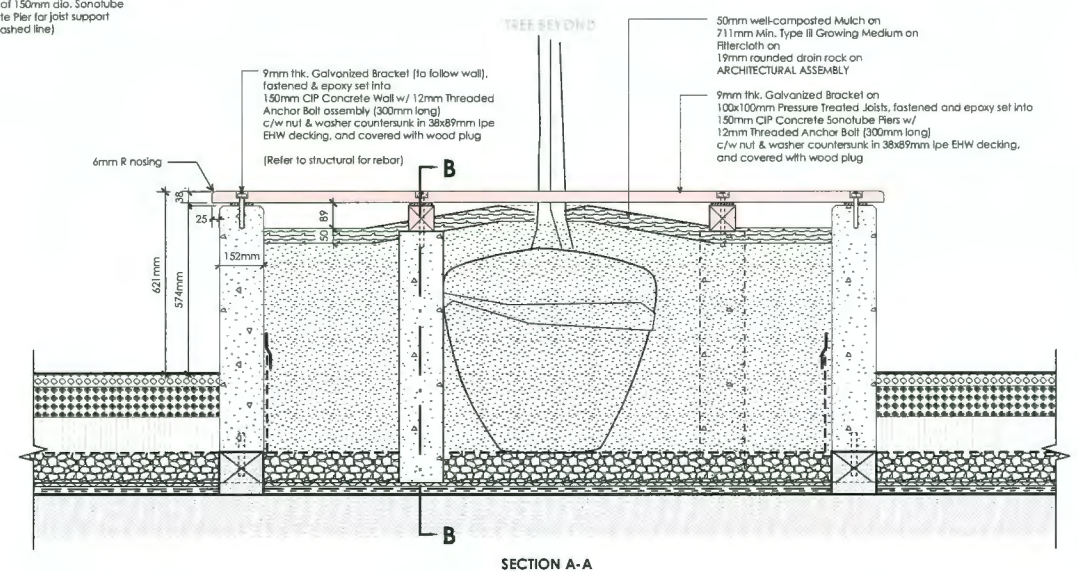
**Provide shop drawings.**

**WOOD NOTES: (EXOTIC HARDWOOD: EHW)**

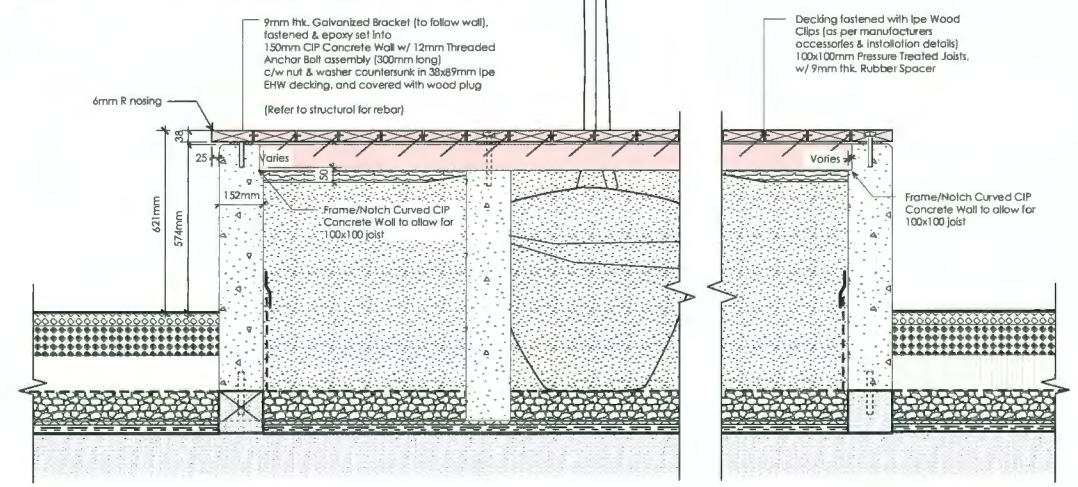
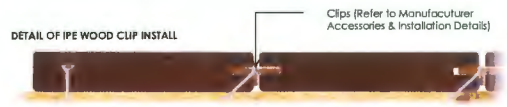
1. END SEALING: All cut ends of EHW decking to be treated with end grain sealant within 24 hours of cutting. Do not apply end grain sealant to surface of decking. Sealant to be wiped off surface of deck boards immediately.
2. CUTTING AND DRILLING: Due to the hard nature of EHW's premium carbide tipped saw blades to be used for cutting. Use broad point drill bits or fastener bits to provide cleaner holes.
3. FASTENERS: Use only 305 or higher grade stainless steel fasteners to fasten EHW boards. Pre-drilling is required. Pre-drill all holes with appropriately sized drill bit for your screw size.

**METAL NOTES:**

1. Submit Sealed / Engineered shop drawings for review and approval for all metalwork prior to fabrication and in accordance with specification section 05 50 00.
2. Confirm all dimensions on site. Modify shop drawings as required to maintain design intent.
3. Metal brackets are to be galvanized mild steel.
4. All metal components to be cut or drilled, all weld faces ground smooth prior to galvanizing.
5. Galvanized metal work Assemblies to be all-weld construction.
6. All fastening hardware to be stainless steel unless otherwise noted.



SECTION A-A



SECTION B-B

no.	date:	item:
11	Jul 30, 2020	Re-issued for DP
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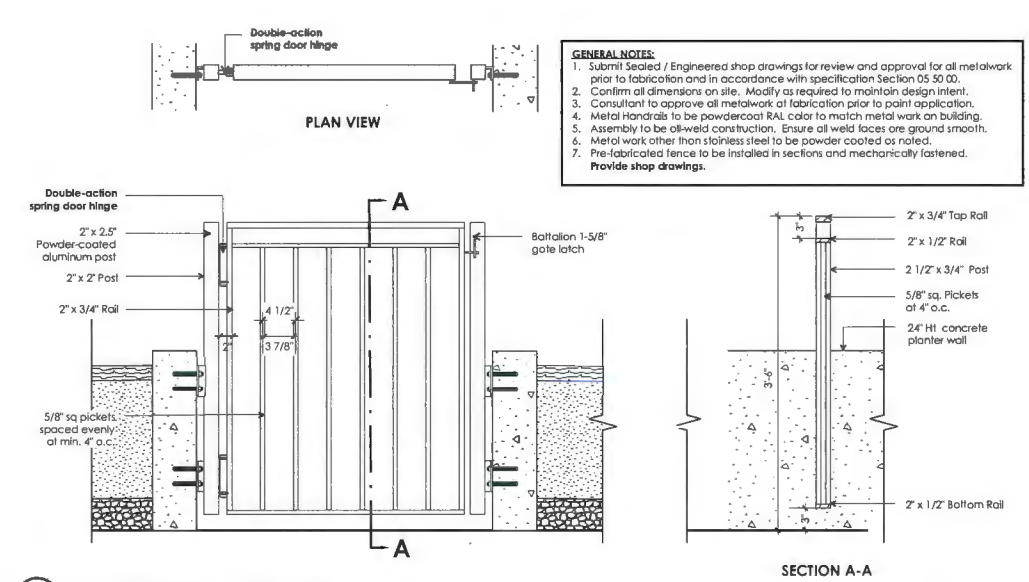
**dk** Duraste Kruuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dk.bc.ca

Project:  
**LUXE**  
No.3 Road, Richmond

Drawn by: JBT  
Checked by: PK  
Date: July 17, 2017  
Scale: 1:10  
Drawing Title:  
**Landscape Custom Play Details**  
**DP 18-829141**

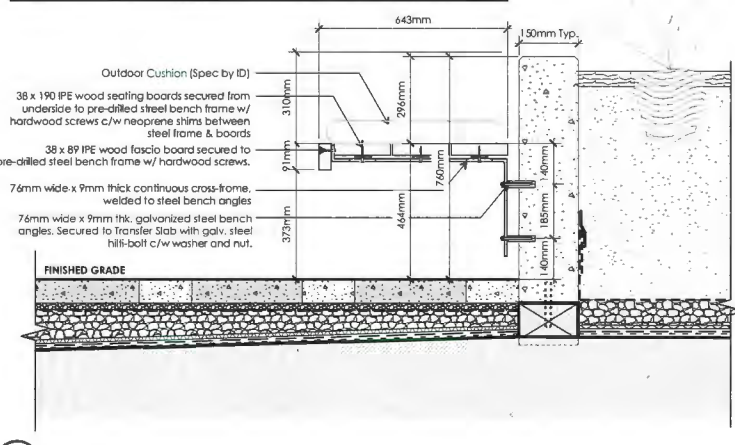
City Project No.: DP 18-829141  
DKL No.: 17060  
Sheet No.:



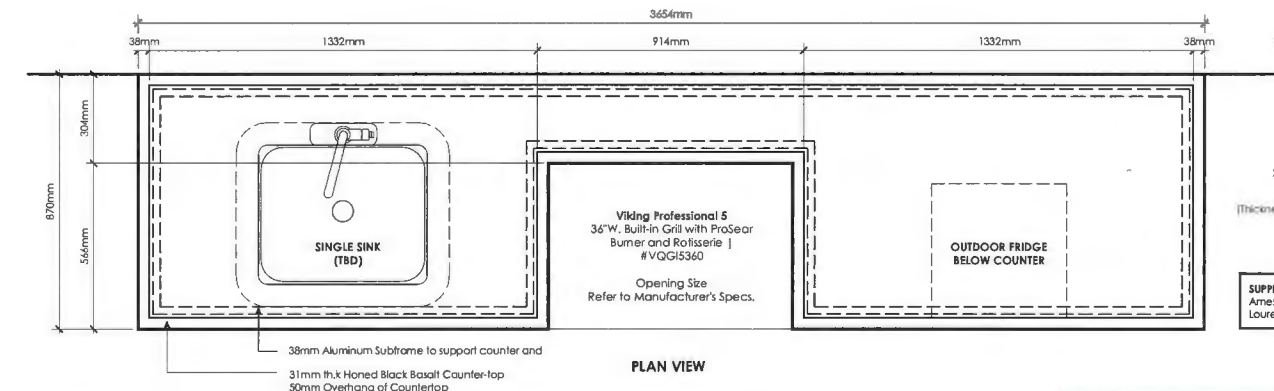


**Ld-01** 3'-4" Height Metal Fence (Wall Mounted)  
Scale: 1:10

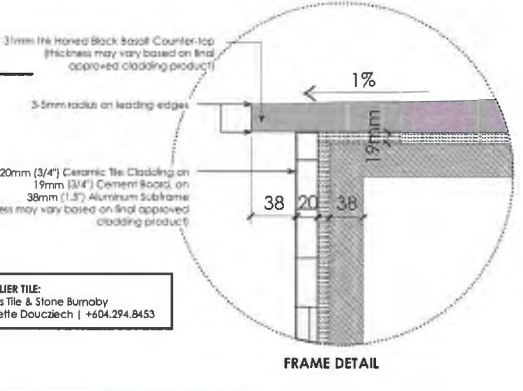
**GENERAL NOTES:**  
 1. Measure on-site to determine exact dimensions of benchtop prior to fabrication.  
 2. Submit shop drawings for Landscape Architect review and approval prior to fabrication.  
 3. Wood can be either Ipe or Jarrah hardwood.  
 4. All metal components to be galvanized. All metal parts to be drilled prior to galvanizing.  
 5. Bench frames are to be welded and mech connections. All weld faces to be ground smooth.  
 6. All hardware to be galvanized unless otherwise noted.  
 7. Provide shop drawing for all metal work and layout in plan of each segment.  
 8. Reinforcement drawings to be provided by Structural Engineer.



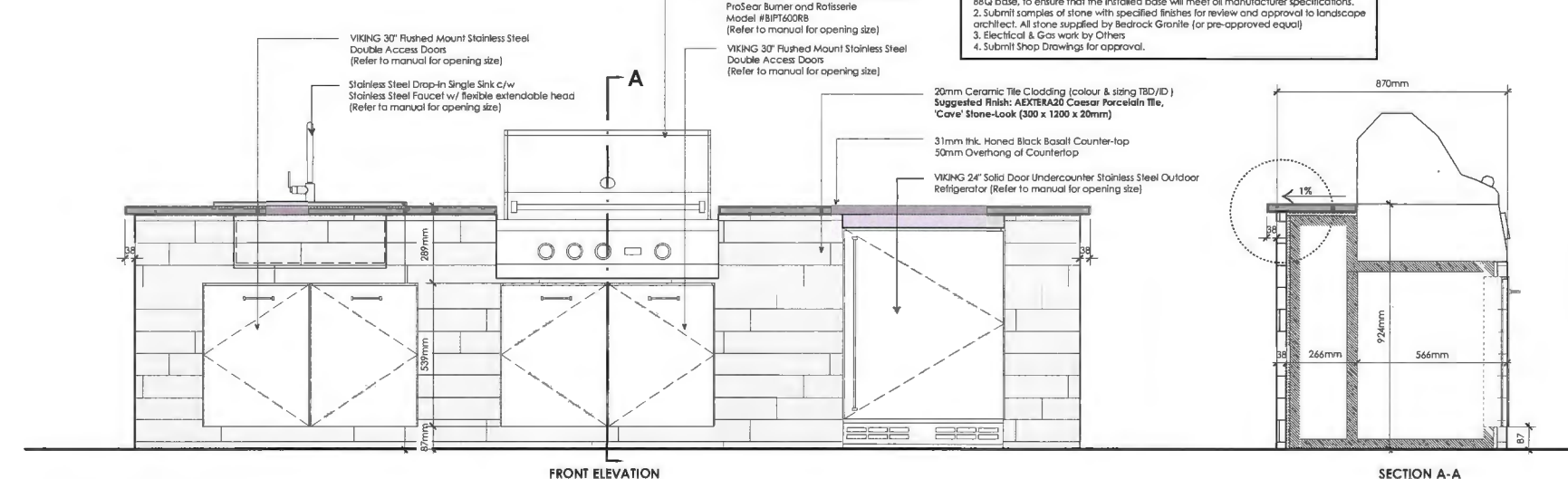
**Ld-02** Custom Wood Cantilevered Bench  
Scale: 1:10



**Ld-03** Custom Outdoor Kitchen Assembly  
Scale: 1:10

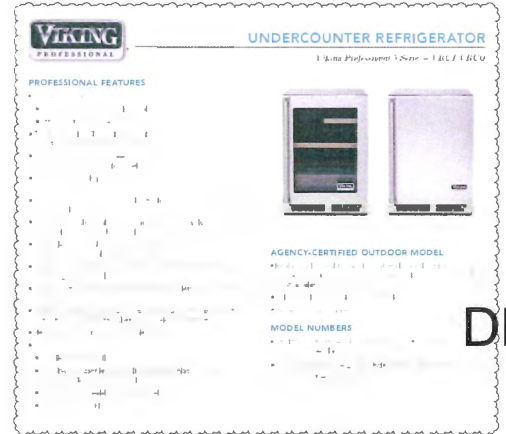


**SUPPLIER TITLE:**  
Arnes Tile & Stone Burnaby  
Laurette Douczech | +604.294.8453



**Ld-03** Custom Outdoor Kitchen Assembly  
Scale: 1:10

**GENERAL NOTES:**  
 1. Contractor to review the BBQ Assembly Procedure prior to forming and installing the BBQ base, to ensure that the installed base will meet all manufacturer specifications.  
 2. Submit samples of stone with specified finishes for review and approval to landscape architect. All stone supplied by Bedrock Granite (or pre-approved equal).  
 3. Electrical & Gas work by Others.  
 4. Submit Shop Drawings for approval.



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04 April 05, 2019	Issued for 25% Progress
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02 Oct 30, 2018	Issued for DP
01 May 03, 2018	Issued for Reasoning

**Revisions:**

**DK** Duranta Krasik Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
504 684 4611  
504 684 0577  
www.dk.bc.ca

Project:  
**LUXE**  
No.3 Road, Richmond

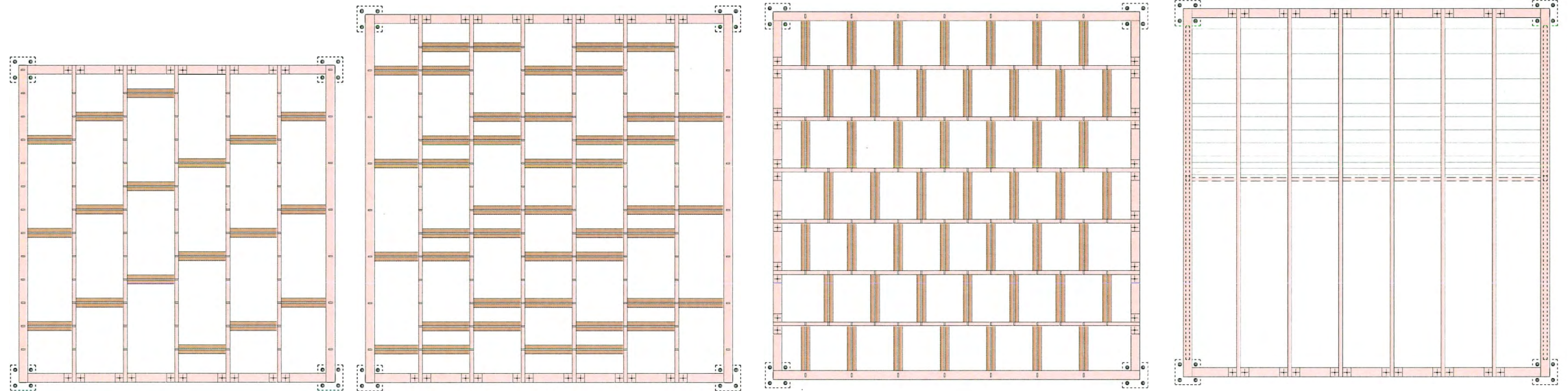
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Checked by: PK  
Date: July 17, 2017  
Scale: 1:10

Drawing Title:  
**DP 18-829141**  
Landscape Custom Furnishing & Fencing Details

City Project No.: DP 18-829141  
DKL No.: 17060

Sheet No.:  
**L-4.6.2**





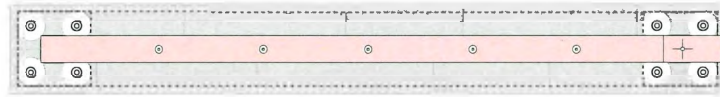
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L1.2  
Trellis Types (Plans Only for Reference)  
Scale: 1:10

**TYPE A:**  
CABANAS  
LOCATED AT POOL DECK

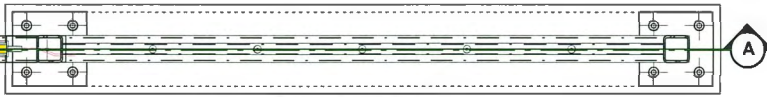
**TYPE B:**  
OPEN TRELLIS  
LOCATED AT QUIET GARDEN PARENTAL SEATING

**TYPE C:**  
OPEN TRELLIS  
LOCATED AT OFFICE OUTDOOR WORKSPACE

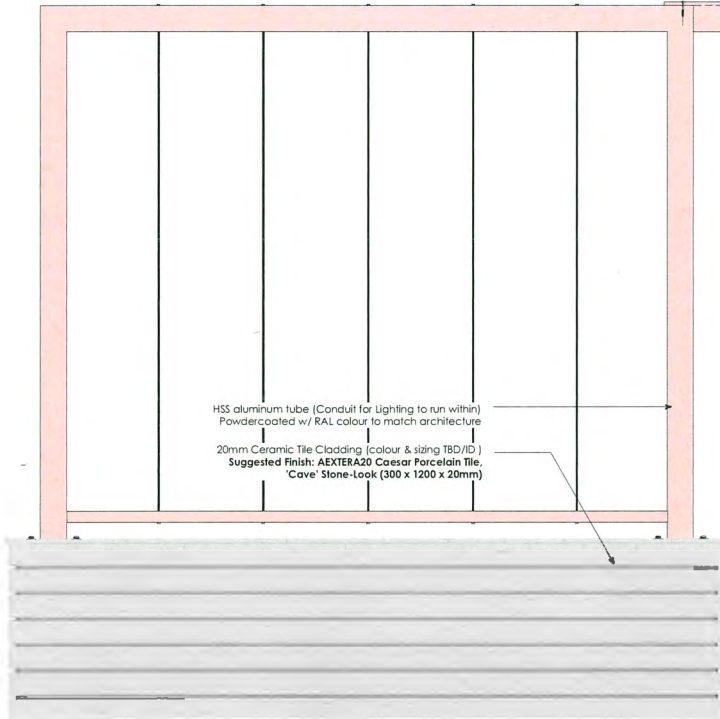
**TYPE D:**  
OPERABLE FABRIC CANOPY  
LOCATED AT SOUTH-EAST OUTDOOR KITCHEN



PLAN VIEW (SECTION VIEW)

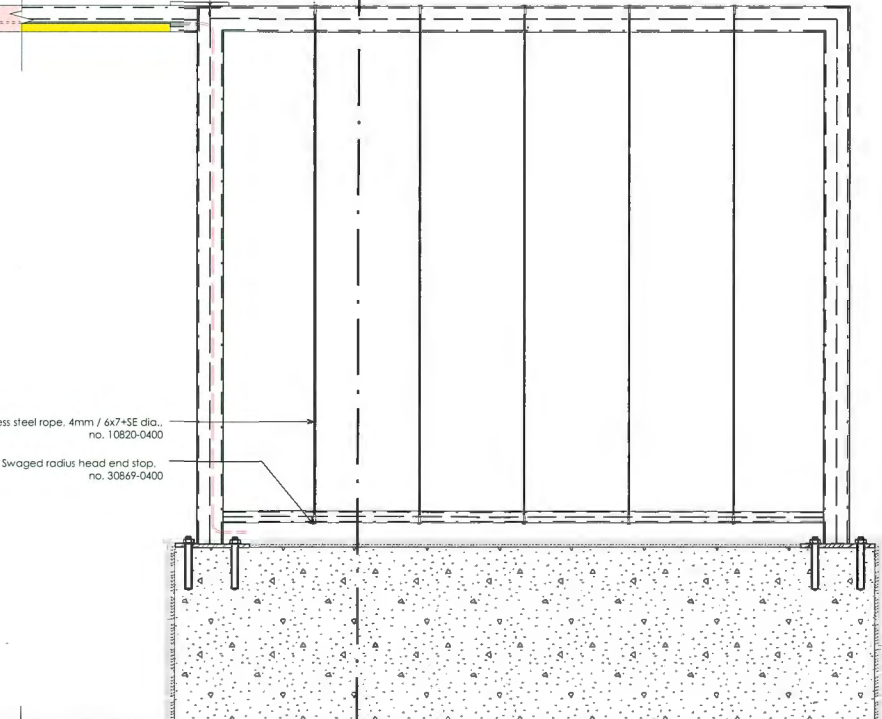


PLAN VIEW (TOP VIEW)



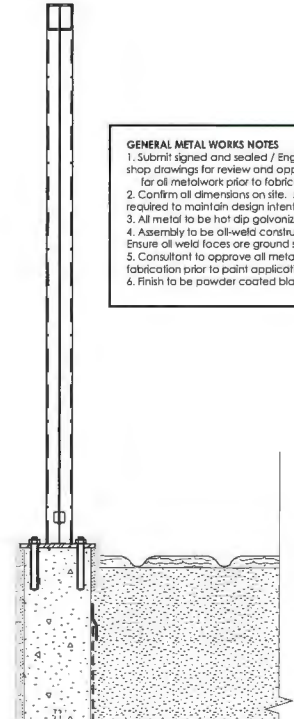
SECTION A-A

HSS aluminum tube (Conduit for lighting to run within)  
Powdercoated w/ RAL colour to match architecture  
20mm Ceramic Tile Cladding (colour & sizing TBD/ID)  
Suggested Finish: AEXTERA20 Caesar Porcelain Tile,  
"Cave" Stone-Look (300 x 1200 x 20mm)



ELEVATION

Stainless steel rope, 4mm / 6x7+5E dia.,  
no. 10820-0400  
Swaged radius head end stop,  
no. 30869-0400



**GENERAL METAL WORKS NOTES**  
1. Submit signed and sealed / Engineered shop drawings for review and approval for all metalwork prior to fabrication.  
2. Confirm all dimensions on site. Modify as required to maintain design intent.  
3. All metal to be hot dip galvanized.  
4. Assembly to be all-weld construction. Ensure all weld faces are ground smooth.  
5. Consultant to approve all metalwork at fabrication prior to paint application.  
6. Finish to be powder coated black.

SECTION B-B

**TYPE E:**  
GATEWAY TRELLIS  
LOCATED AT QUIET GARDEN ENTRIES

**Id-02**  
L1.2  
Feature Lighting Gateway Trellis  
Scale: 1:10

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01	May 03, 2018	Issued for Rezoning

no.: | date: | item:

Revisions:

**dk**  
Durante Krulik Ltd.  
102 - 1537 West 5th Avenue  
Vancouver BC V6J 1N8  
1 804 684 4811  
1 804 684 0577  
www.dk.bc.ca

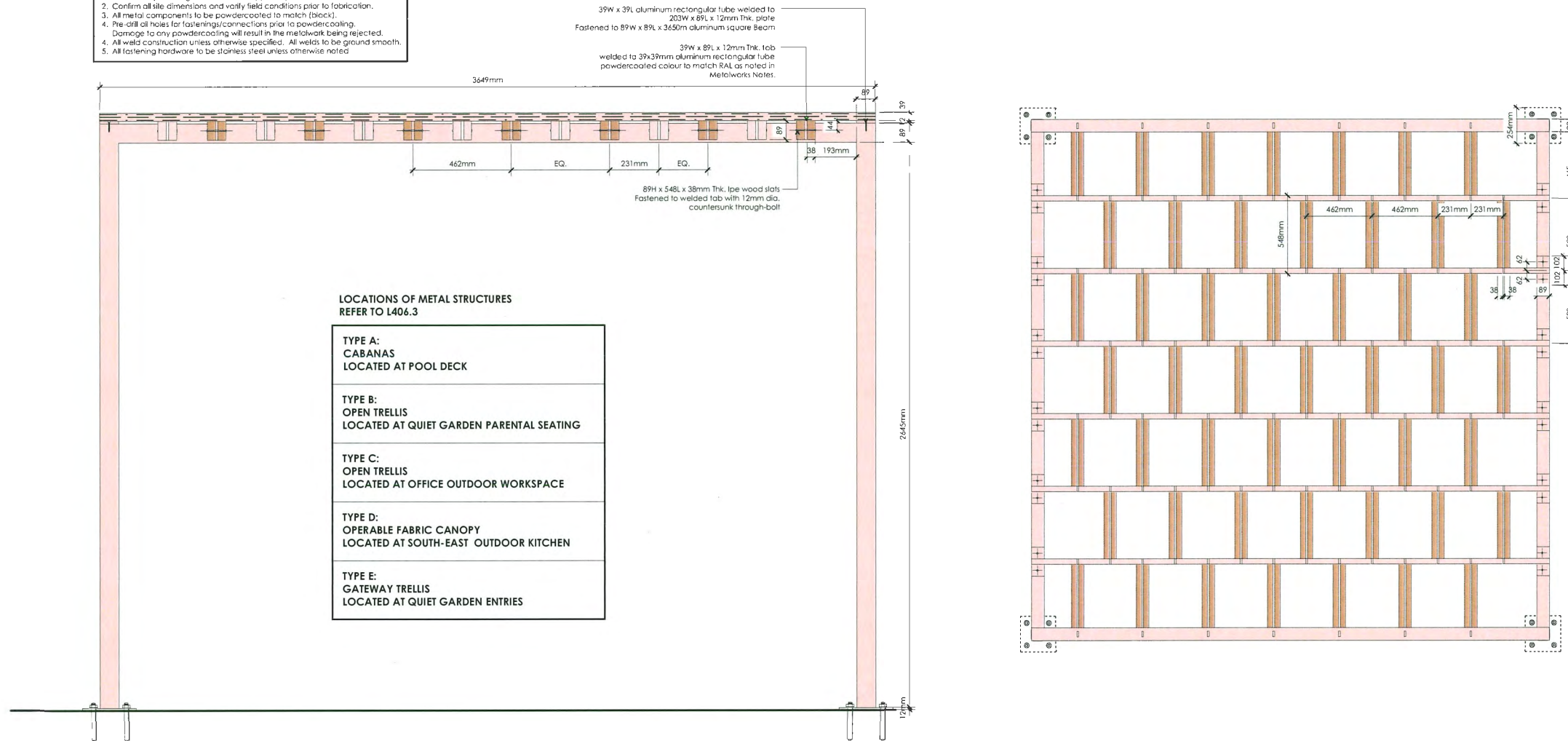
Project:  
**LUXE**  
No.3 Road, Richmond  
Drawn by: JBT  
Checked by: PK  
Date: July 17, 2017  
Scale: 1:10

Drawing Title:  
**Landscape Custom Structure & Metalworks Details**  
**DP 18-829141**

City Project No.: DP 18-829141  
DKL No.: 17060  
Sheet No.:

**L-4.6.3**

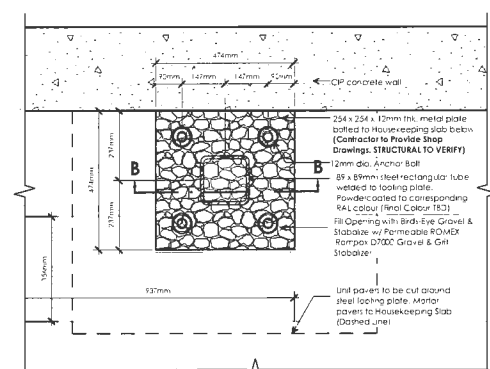
**METAL NOTES:**  
 1. Provide shop drawings for review and approval prior to fabrication.  
 2. Confirm all site dimensions and verify field conditions prior to fabrication.  
 3. All metal components to be powdercoated to match (black).  
 4. Pre-drill all holes for fastenings/connectors prior to powdercoating.  
 Damage to any powdercoating will result in the metalwork being rejected.  
 5. All weld construction unless otherwise specified. All welds to be ground smooth.  
 6. All fastening hardware to be stainless steel unless otherwise noted.



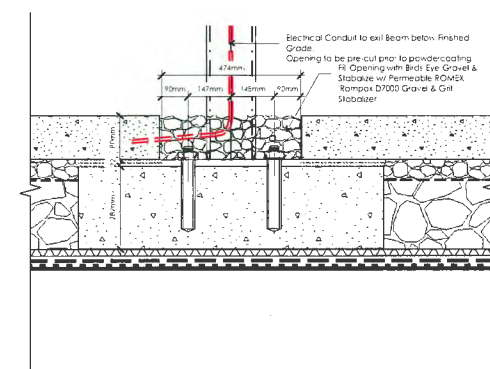
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 Vancouver BC V6J 1N5  
 Tel: 604 684 4611  
 Fax: 604 684 0577  
 www.dk.ca

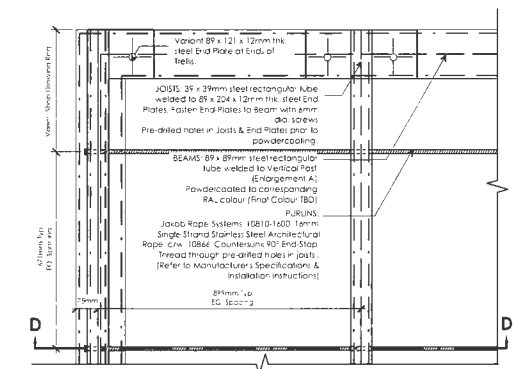
Ld-01 Trellis Types (Dimensions for Scale Reference Only)  
 Scale: 1:10



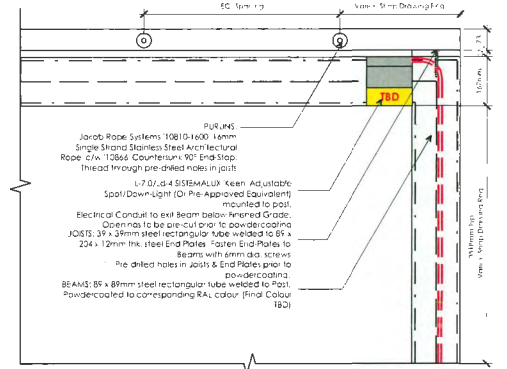
Enlargement A - Typical Trellis Post & Footing  
 Scale 1:4



Section B-B - Section of Trellis Post & Footing  
 Scale 1:4



Enlargement C - Plan View of Beams Meeting  
 Scale 1:4



Section D-D - Section of Beams Meeting  
 Scale 1:4

Ld-02 Trellis Footings, Joints & Lighting Integration (For Reference)  
 Scale: 1:10

Project:  
**LUXE**  
 No.3 Road, Richmond

Drawn by: JBT  
 Checked by: PK  
 Date: July 17, 2017  
 Scale: 1:10

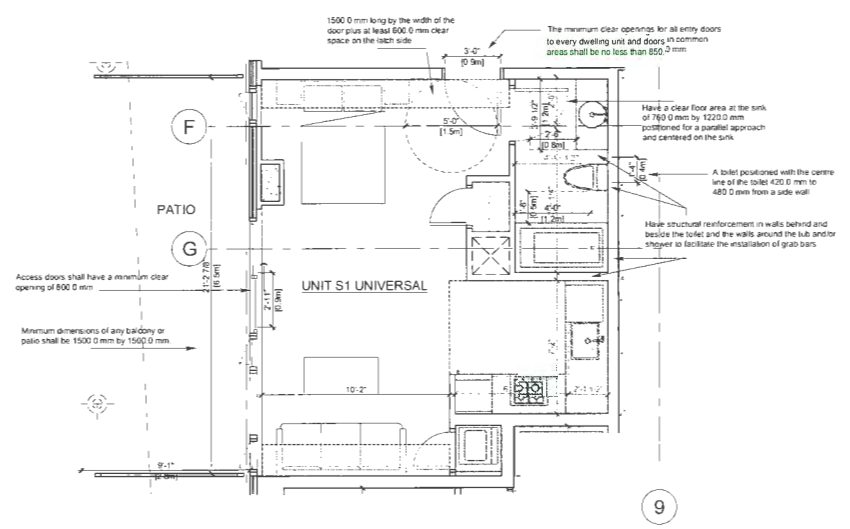
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**DP 18-829141**  
 Landscape Custom Structure & Metalworks Details

City Project No.: DP 18-829141  
 DCI No.: 17060  
 Sheet No.:

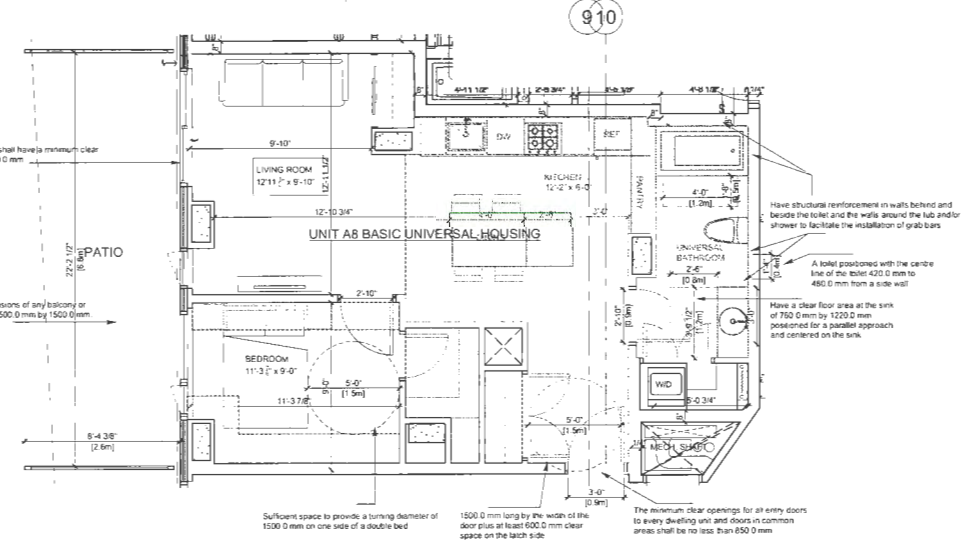
L-4.6.4







1 UNIT S1 BASIC UNIVERSAL DESIGN  
 5.1.2 SCALE 1/4" = 1'-0"



3 UNIT A8 BASIC UNIVERSAL DESIGN  
 5.1.2 SCALE 1/4" = 1'-0"

**BASIC UNIVERSAL HOUSING FEATURES**

**Building Access**

- 4.10.2 Entryways shall be a minimum clear width of 800 mm (26 ft 3 in) and shall be unobstructed for a minimum of 1.80 m (5 ft 11 in) before and after the entryway.
- 4.10.3 Access to the building shall be provided for persons with disabilities.
- 4.10.4 Accessible routes shall be provided to all areas of the building.

**Doors and Windows**

- 4.10.5 The minimum clear width for all doors shall be 800 mm (26 ft 3 in) and shall be unobstructed for a minimum of 1.80 m (5 ft 11 in) before and after the door.
- 4.10.6 The minimum clear height for all doors shall be 2030 mm (6 ft 8 in).
- 4.10.7 The minimum clear width for all windows shall be 800 mm (26 ft 3 in) and shall be unobstructed for a minimum of 1.80 m (5 ft 11 in) before and after the window.
- 4.10.8 The minimum clear height for all windows shall be 2030 mm (6 ft 8 in).
- 4.10.9 The minimum clear width for all windows shall be 800 mm (26 ft 3 in) and shall be unobstructed for a minimum of 1.80 m (5 ft 11 in) before and after the window.
- 4.10.10 The minimum clear height for all windows shall be 2030 mm (6 ft 8 in).

**Minimum Clearances**

- 4.10.11 The minimum clear width for all doors shall be 800 mm (26 ft 3 in) and shall be unobstructed for a minimum of 1.80 m (5 ft 11 in) before and after the door.
- 4.10.12 The minimum clear height for all doors shall be 2030 mm (6 ft 8 in).
- 4.10.13 The minimum clear width for all windows shall be 800 mm (26 ft 3 in) and shall be unobstructed for a minimum of 1.80 m (5 ft 11 in) before and after the window.
- 4.10.14 The minimum clear height for all windows shall be 2030 mm (6 ft 8 in).

**Floor Surfaces**

- 4.10.15 The floor surface shall be firm, stable, and slip-resistant.
- 4.10.16 The floor surface shall be unobstructed for a minimum of 1.80 m (5 ft 11 in) before and after the entryway.
- 4.10.17 The floor surface shall be unobstructed for a minimum of 1.80 m (5 ft 11 in) before and after the window.

**Handrails**

- 4.10.18 The handrails shall be provided for all areas of the building.
- 4.10.19 The handrails shall be provided for all areas of the building.
- 4.10.20 The handrails shall be provided for all areas of the building.

**Other Features**

- 4.10.21 The building shall be designed to be accessible for all persons.
- 4.10.22 The building shall be designed to be accessible for all persons.
- 4.10.23 The building shall be designed to be accessible for all persons.

DP 18-829141



Revisions	DATE	BY	APP'D
12	25 AUGUST 2020		RE-ISSUED FOR DP
11	14 AUGUST 2020		RE-ISSUED FOR DP
10	30 JULY 2020		RE-ISSUED FOR DP
9	17 JULY 2020		RE-ISSUED FOR DP
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1	22 OCT 2018		ISSUED FOR CITY REVIEW

NO 3 ROAD  
 DP 18-829141

RICHMOND, BC  
 Project

BUH  
 ENLARGED UNIT  
 PLANS

Scale 1/4" = 1'-0"  
 Project 216022  
 Sheet 5.1.2



12	25 AUGUST 2020	RE-ISSUED FOR DP
11	14 AUGUST 2020	RE-ISSUED FOR DP
10	30 JULY 2020	RE-ISSUED FOR DP
9	17 JULY 2020	RE-ISSUED FOR DP
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5	15 OCT 2019	RE-ISSUED FOR DP
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Revisions YYYY-MM-DD

Seal  
NO 3 ROAD  
DP 18-829141

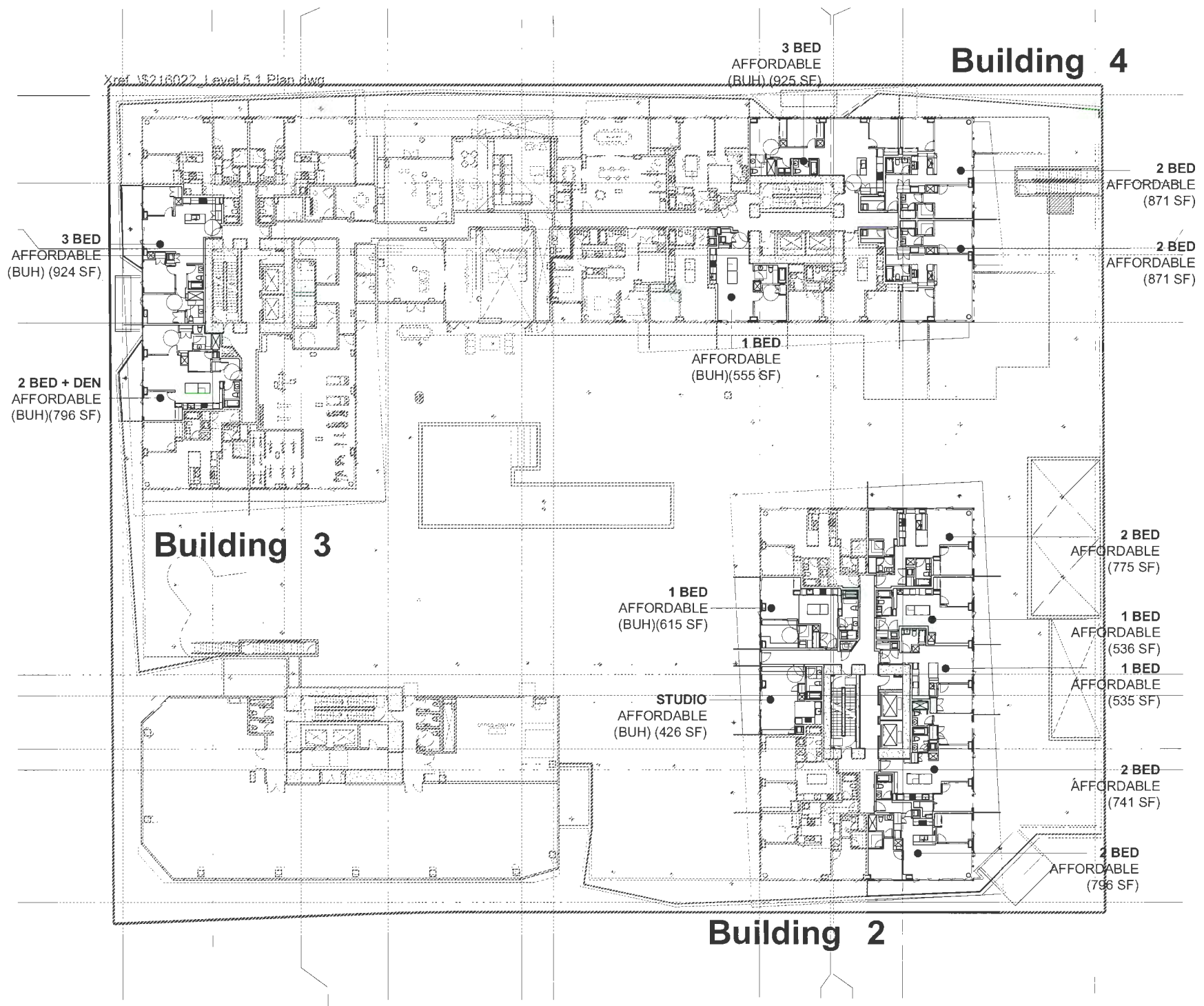
RICHMOND, BC

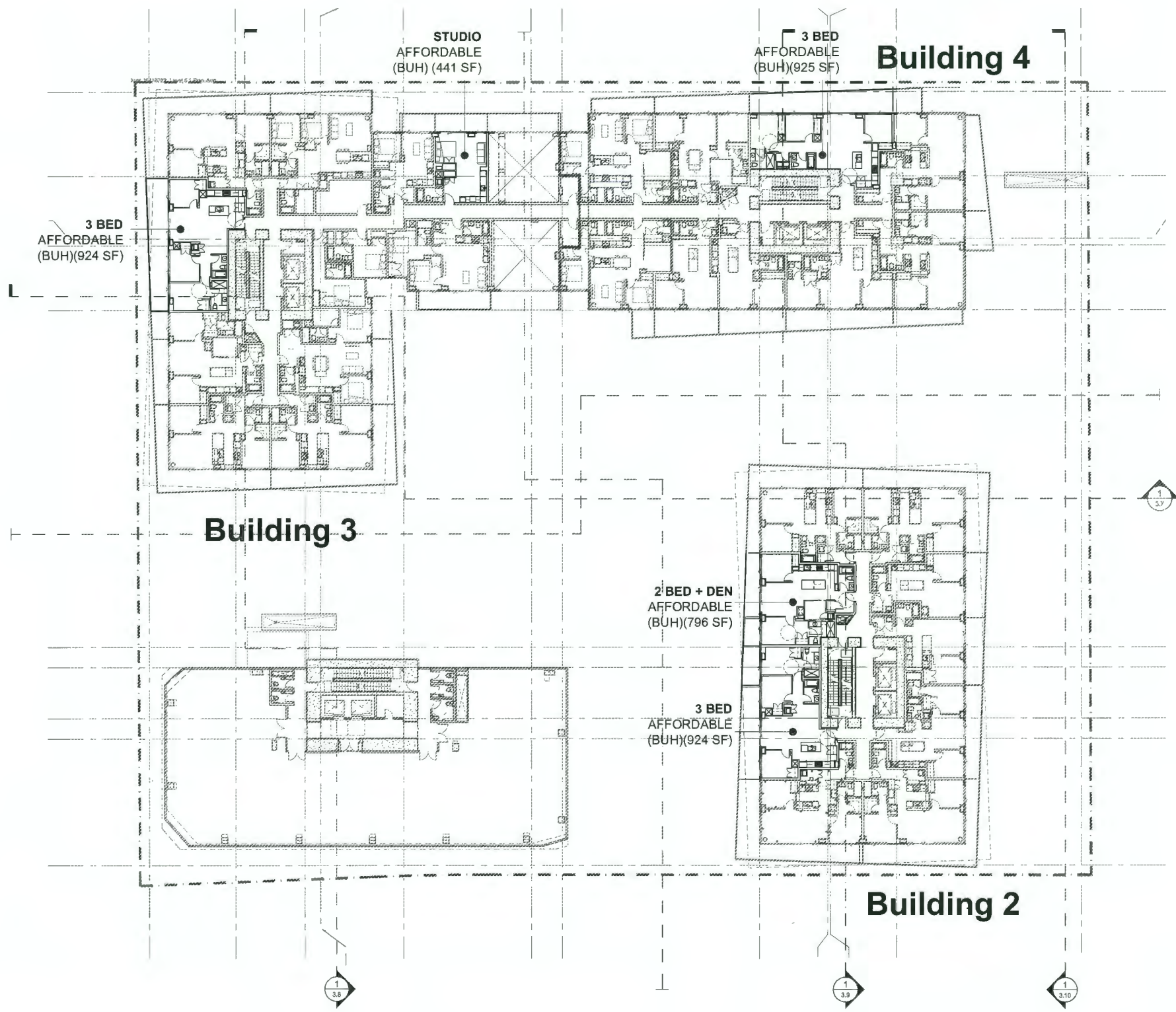
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LEVEL 3  
AFFORDABLE  
KEY PLAN

DP 18-829141

Drawing  
Scale  
Project 215022  
Sheet 5.2.1





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11	14 AUGUST 2020	RE-ISSUED FOR DP
10	30 JULY 2020	RE-ISSUED FOR DP
9	17 JULY 2020	RE-ISSUED FOR DP
8	3 JULY 2020	RE-ISSUED FOR DP
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4	16 AUGUST 2019	RE-ISSUED FOR DP
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1	22 OCT 2018	ISSUED FOR CITY REVIEW

Revisions YYY-MM-DD

Seal  
NO 3 ROAD  
DP 18-829141  
RICHMOND, BC

Project  
LEVEL 4  
AFFORDABLE  
KEY PLAN  
DP 18-829141

Drawing  
Scale  
Project 216022  
Sheet 5.2.2





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11	14 AUGUST 2020	RE-ISSUED FOR DP
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**NO 3 ROAD**  
DP 18-829141

NO 3 ROAD  
RICHMOND, BC  
Project

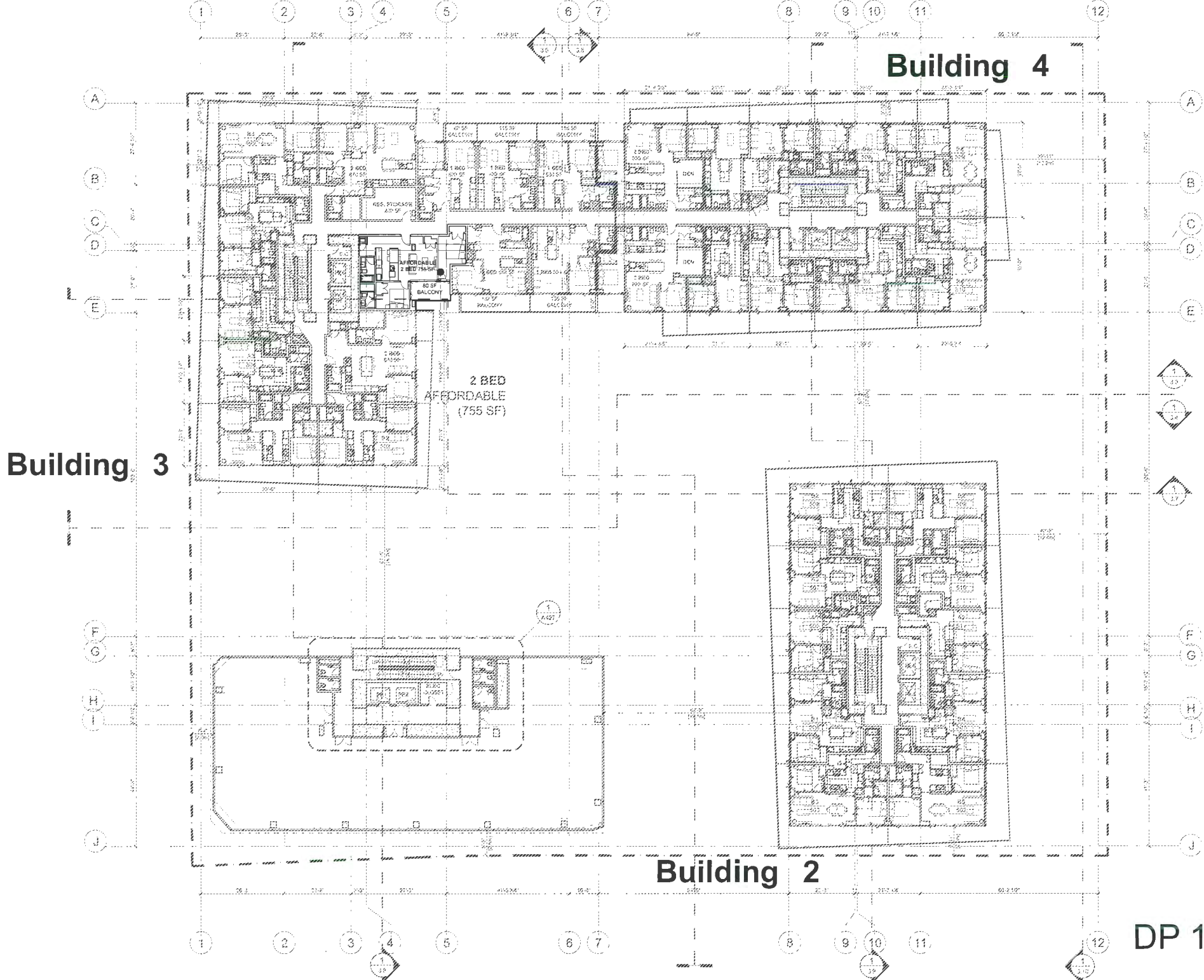
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**UNIT PLANS**

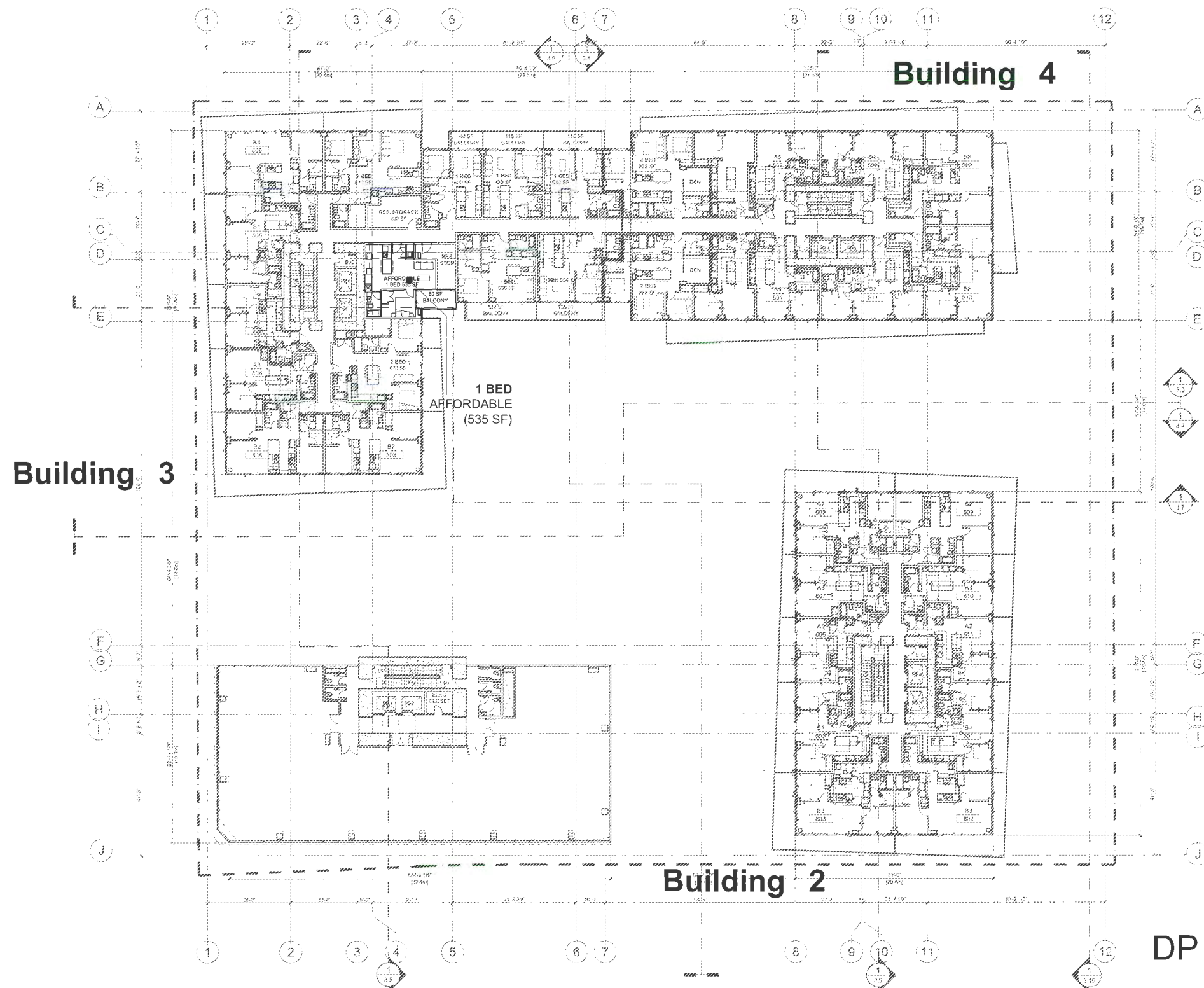
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Scale 1/16" = 1'-0"

Project 216022

Sheet **5.2.3**





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10	30 JULY 2020	RE ISSUED FOR DP
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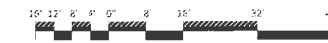
Seal  
NO 3 ROAD  
DP 18-829141

RICHMOND, BC  
Project

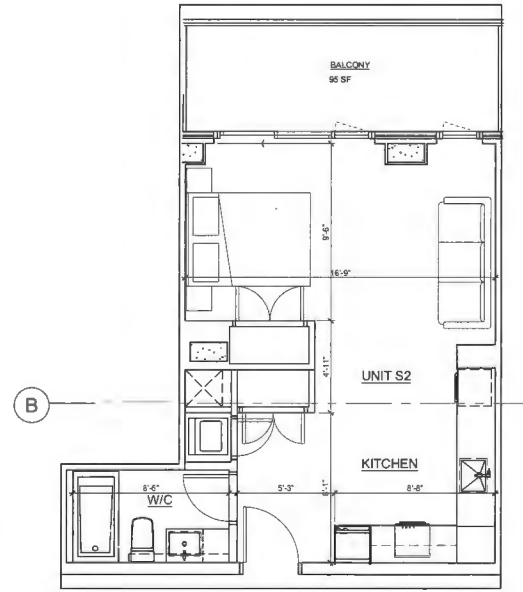
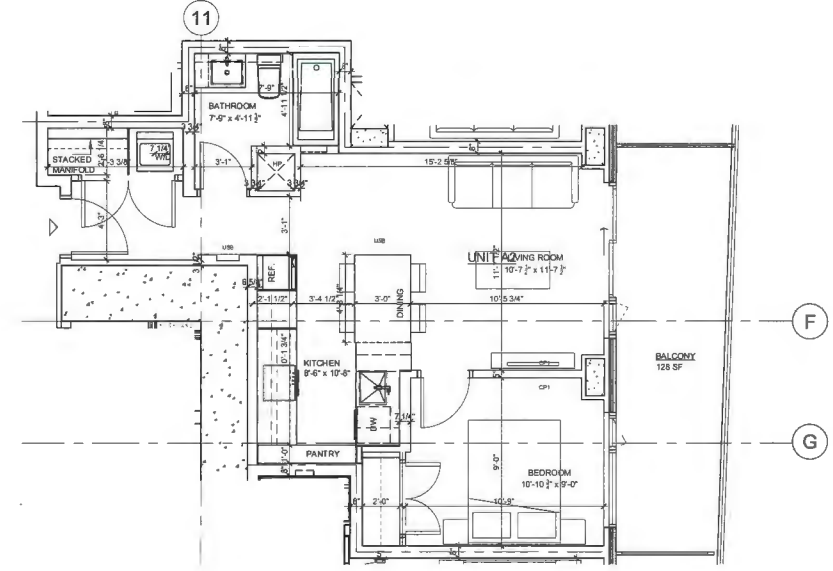
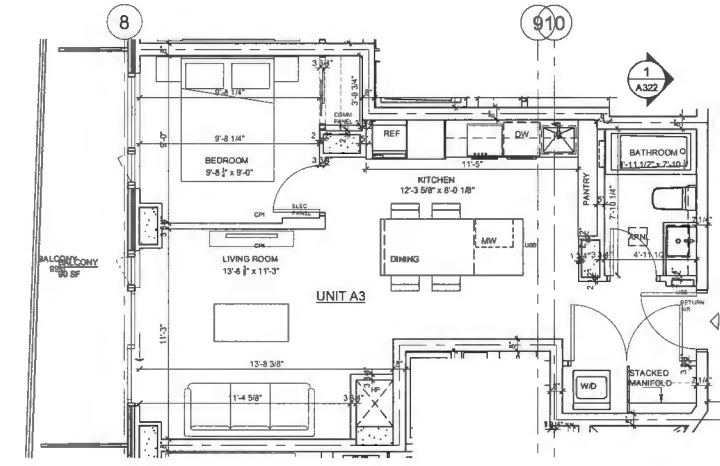
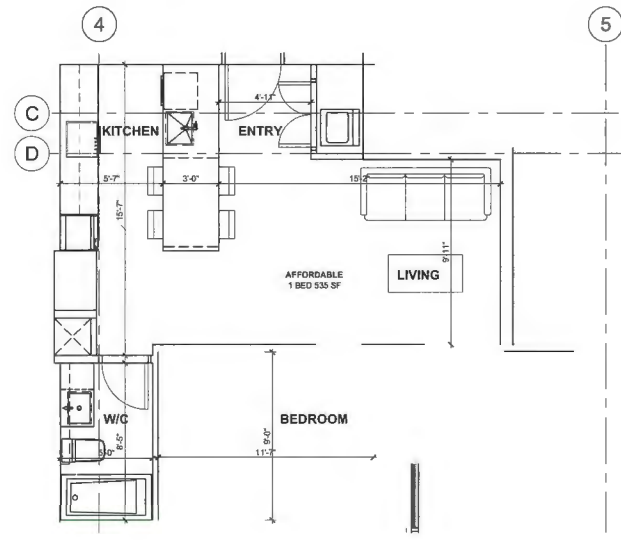
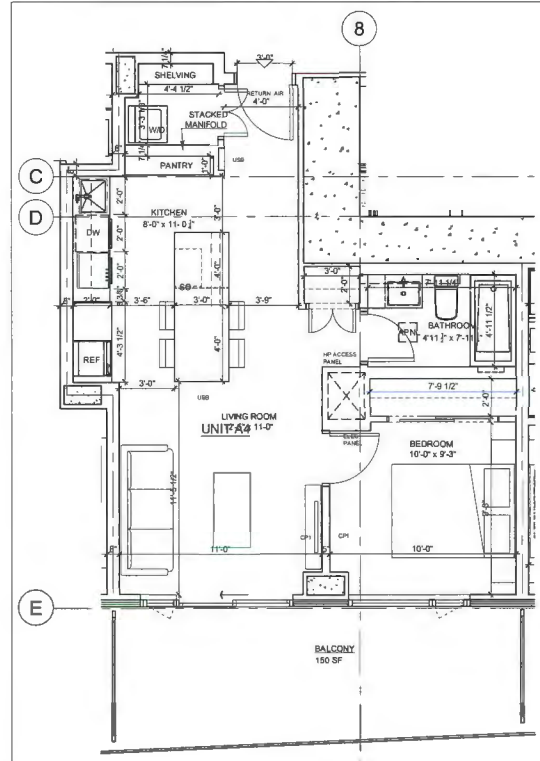
LEVEL 6 PLAN  
AFFORDABLE  
UNIT PLANS

DP 18-829141

Scale: 1/16" = 1'-0"  
Project: 216022  
Sheet: 5.2.4







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11	14 AUGUST 2020	RE-ISSUED FOR DP
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Seal  
 NO 3 ROAD  
 DP 18-829141

RICHMOND, BC  
 Project

TYPICAL  
 AFFORDABLE  
 UNITS ONE BED  
 & STUDIO

DP 18-829141

Scale: 1/4" = 1'-0"  
 Project: 216022  
 Sheet: 5.2.5





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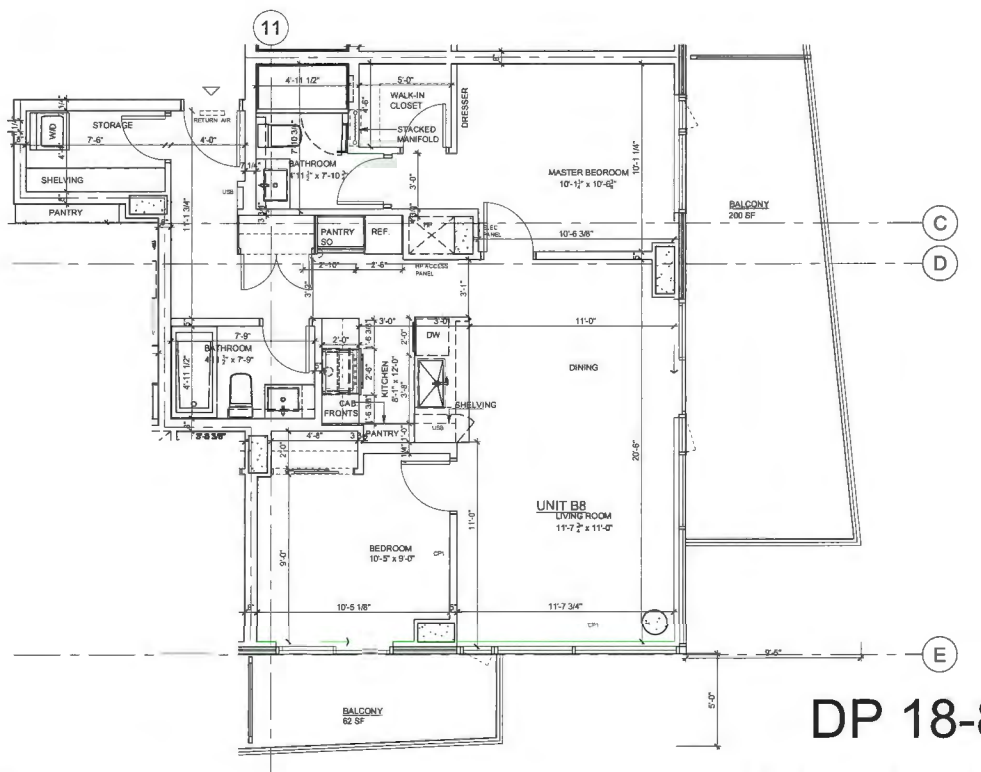
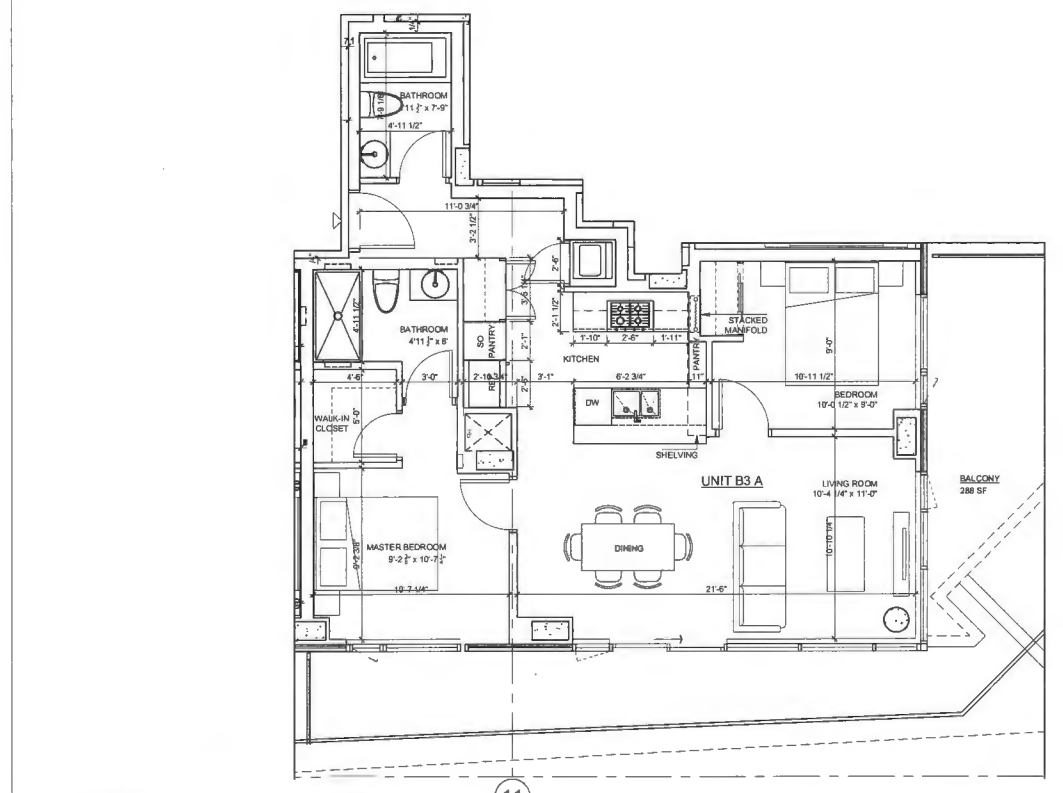
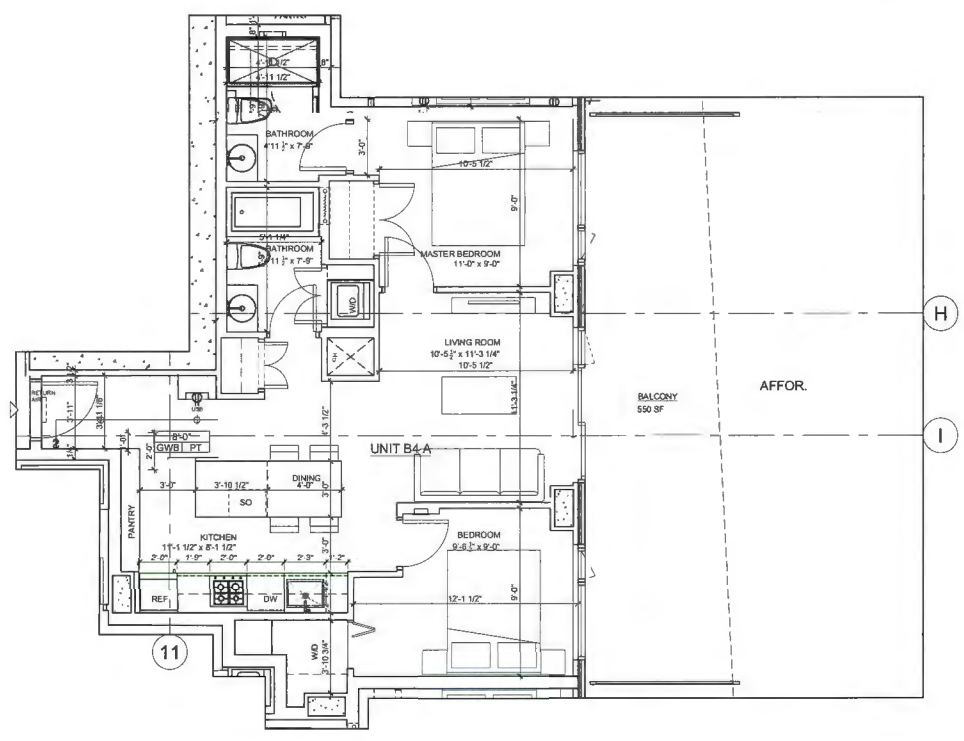
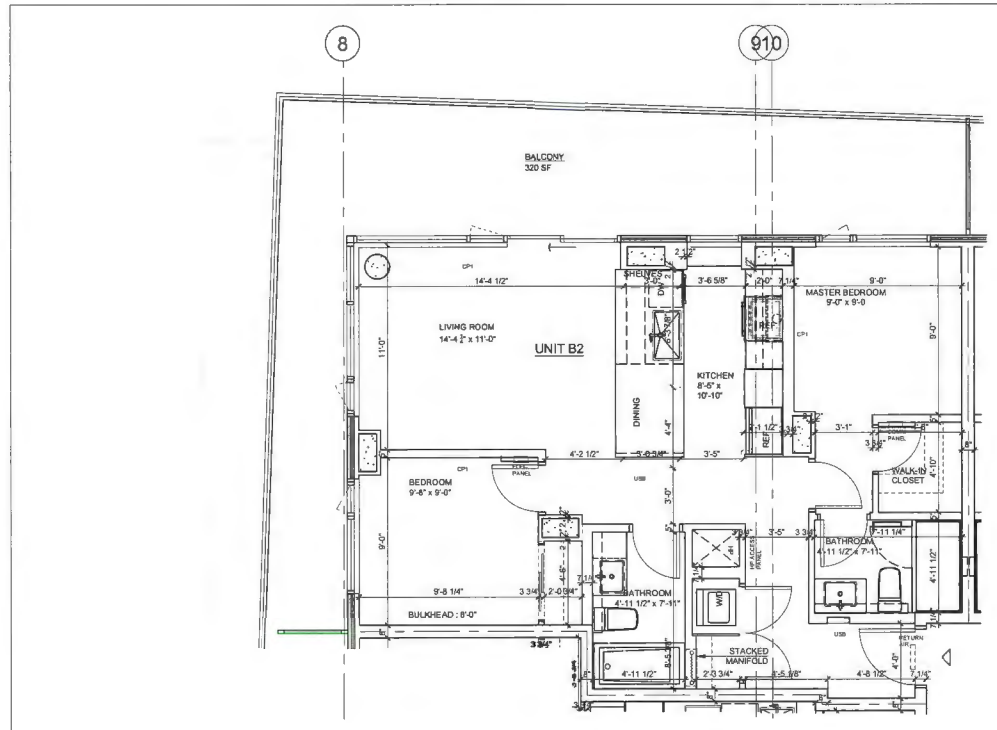
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**NO 3 ROAD**  
 DP 18-829141

RICHMOND, BC  
 Project

**TYPICAL  
 AFFORDABLE  
 UNITS TWO  
 BEDROOMS**

**DP 18-829141**

Date: 1/4" = 1'-0"  
 Project: 216022  
 Sheet: **5.2.6**



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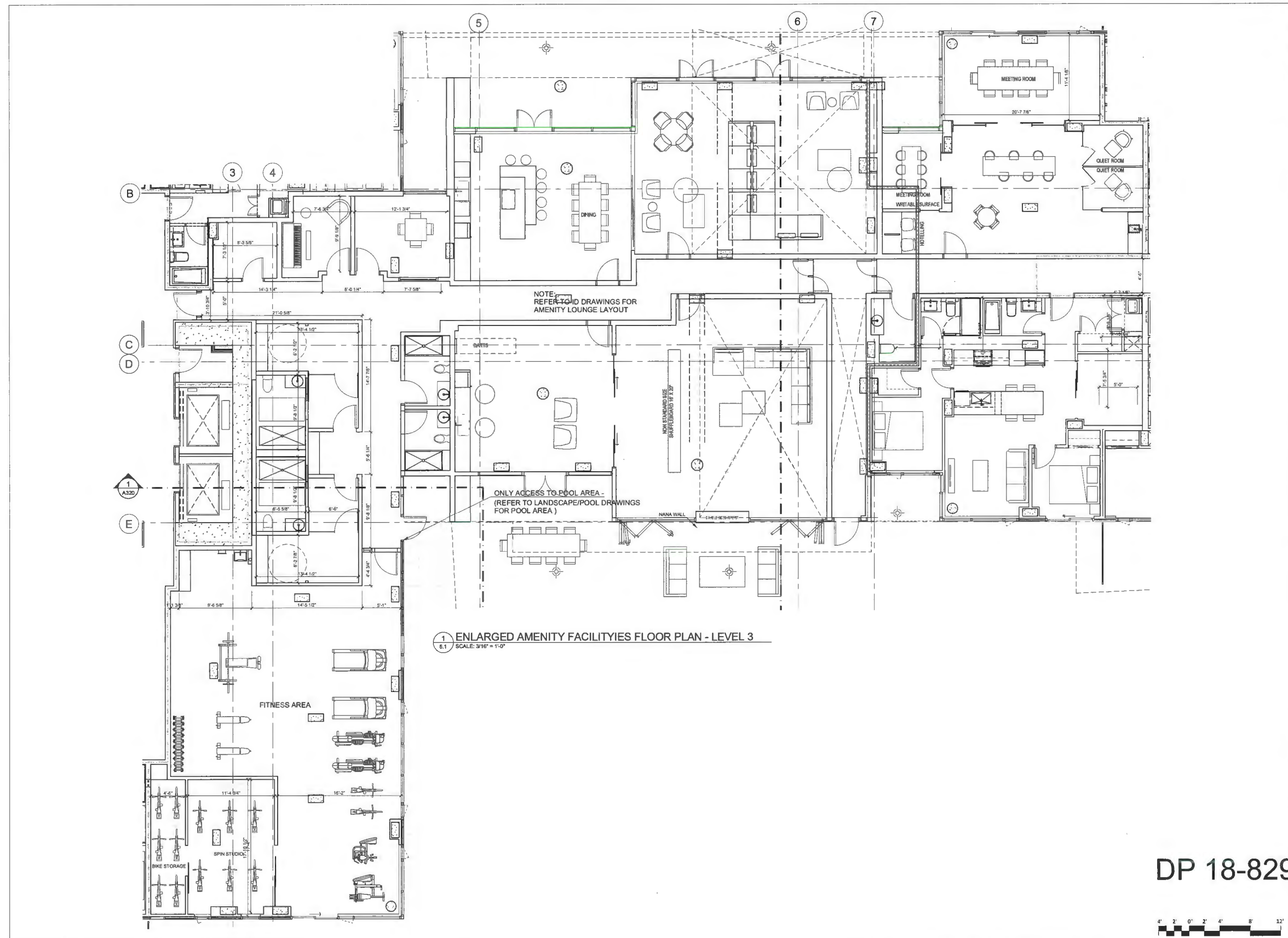
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**1**  
6.1 ENLARGED AMENITY FACILITIES FLOOR PLAN - LEVEL 3  
SCALE: 3/16" = 1'-0"

Seal  
**NO 3 ROAD**  
DP 18-829141

RICHMOND, BC  
Project

**AMENITY SPACE  
PLAN  
LEVEL 3**

**DP 18-829141**

Scale 3/16" = 1'-0"  
Project 216022  
Sheet **6.1**





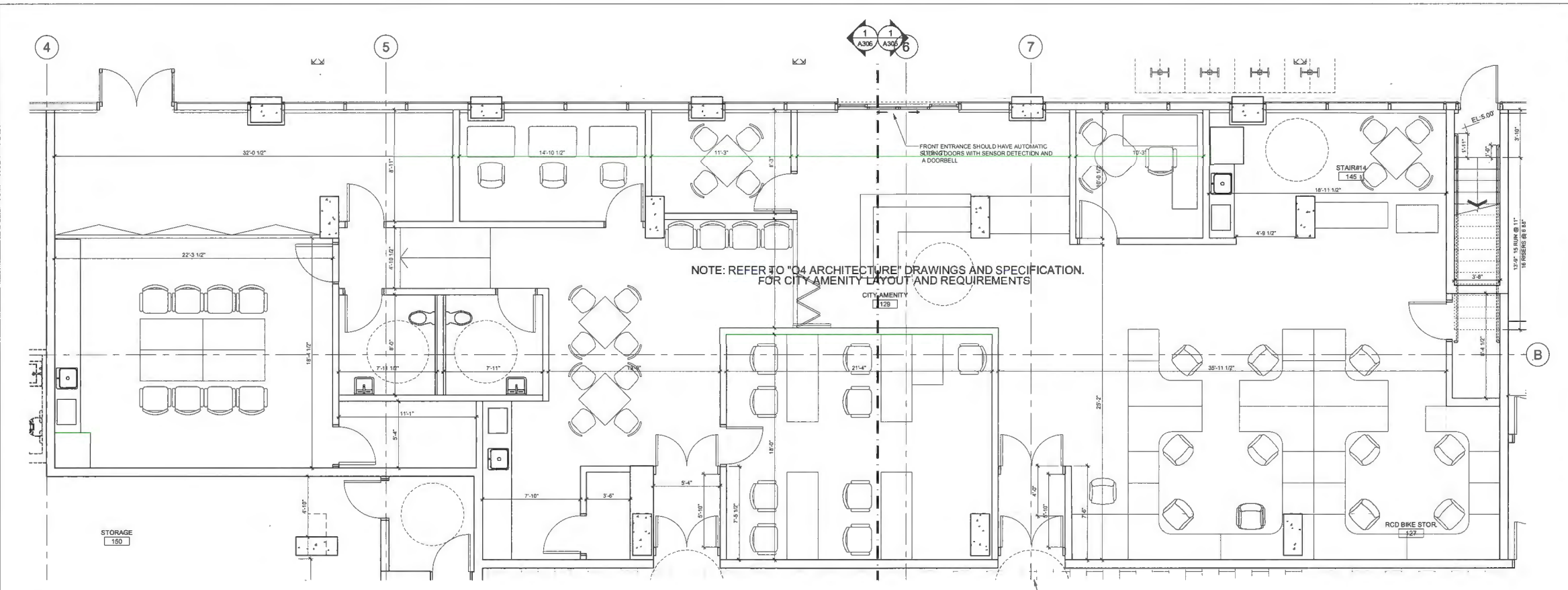
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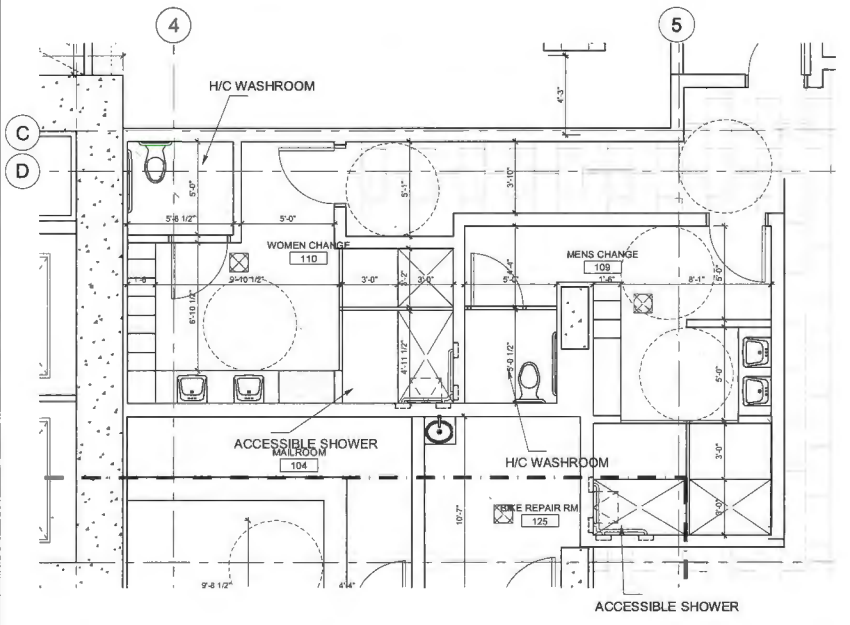


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**1 ENLARGED "CITY AMENITY" FLOOR PLAN - LEVEL 1**  
 6.2 SCALE: 1/4" = 1'-0"



**2 ENLARGED END-TRIP FACILITY FLOOR PLAN - LEVEL 1**  
 6.2 SCALE: 1/4" = 1'-0"

**DP 18-829141**

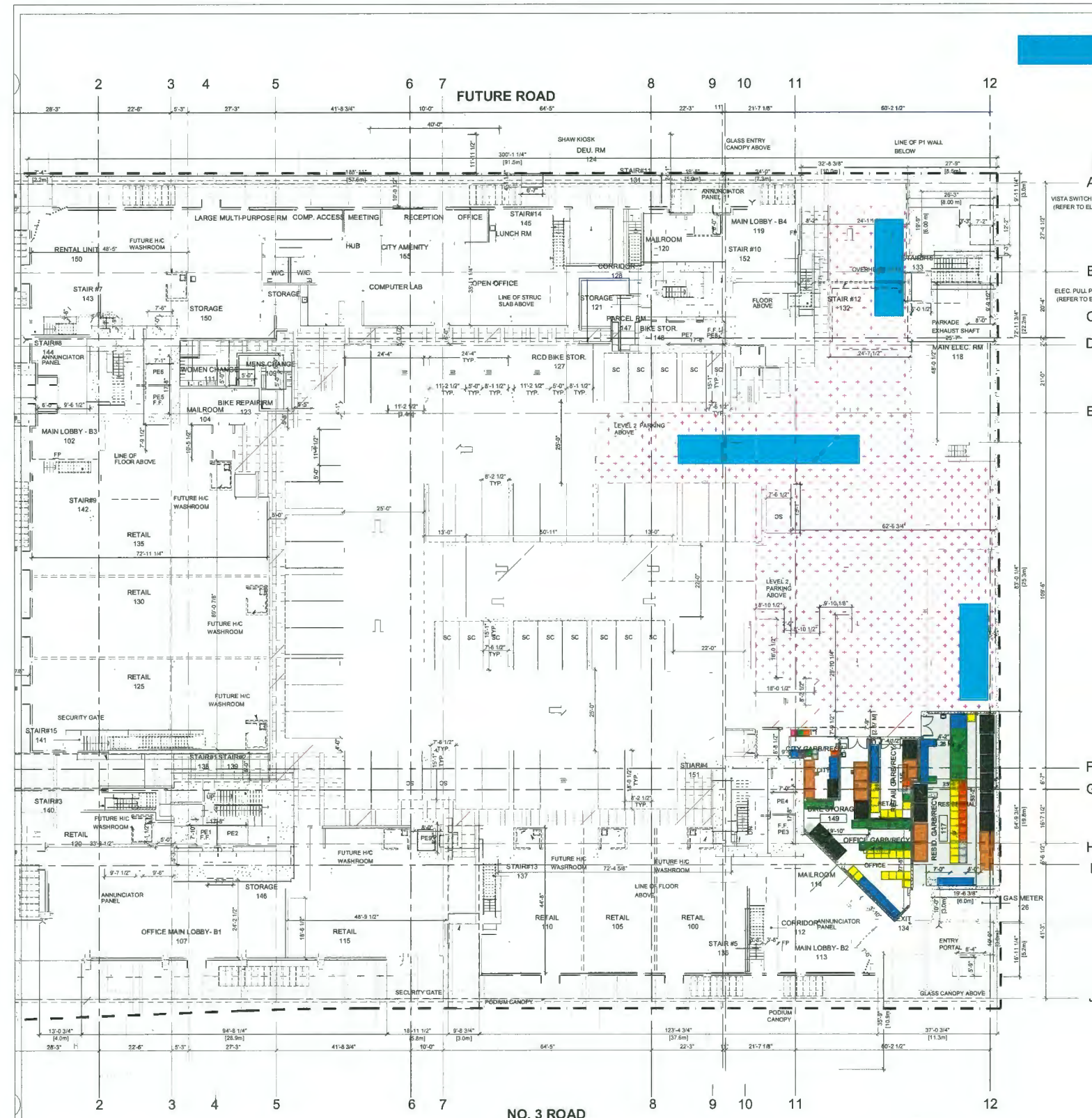


Seal  
**NO 3 ROAD**  
 DP 18-829141

RICHMOND, BC  
 Project

**END-OF-TRIP  
 AMENITY SPACE  
 PLAN**

Drawing  
 Scale 1/4" = 1'-0"  
 Project 216022  
 Sheet **6.2**



Category	Number of Bins	Size of Bin	Collection Frequency	Storage Area Required for One Container	Total Space Required
<b>APARTMENT/CONDOMINIUM</b>					
Commercial Mixed Containers	16	300L	3x per Week	1.25 m <sup>2</sup>	20.00 m <sup>2</sup>
Commercial Refillable Beverage Containers	8	240L	3x per Week	0.97 m <sup>2</sup>	7.75 m <sup>2</sup>
Commercial Mixed Paper (Including Newspapers)	12	300L	3x per Week	1.25 m <sup>2</sup>	15.00 m <sup>2</sup>
Commercial Glass	3	240L	3x per Week	0.97 m <sup>2</sup>	2.91 m <sup>2</sup>
Commercial Food Scraps and Yard Trimmings	15	240L	3x per Week	0.97 m <sup>2</sup>	14.55 m <sup>2</sup>
Commercial Cardboard	2	4yd <sup>3</sup>	2x per Week	7.67 m <sup>2</sup>	15.34 m <sup>2</sup>
Commercial Garbage	6	4yd <sup>3</sup>	2x per Week	7.67 m <sup>2</sup>	46.02 m <sup>2</sup>
					127.2 m <sup>2</sup>
<b>OFFICE</b>					
Commercial Mixed Containers	7	300L	3x per Week	1.25 m <sup>2</sup>	8.75 m <sup>2</sup>
Commercial Refillable Beverage Containers	2	240L	3x per Week	0.97 m <sup>2</sup>	1.94 m <sup>2</sup>
Commercial Mixed Paper (Including Newspapers)	13	300L	3x per Week	1.25 m <sup>2</sup>	16.25 m <sup>2</sup>
Commercial Glass	1	240L	3x per Week	0.97 m <sup>2</sup>	0.97 m <sup>2</sup>
Commercial Food Scraps and Yard Trimmings	17	240L	3x per Week	0.97 m <sup>2</sup>	16.49 m <sup>2</sup>
Commercial Cardboard	2	4yd <sup>3</sup>	2x per Week	7.67 m <sup>2</sup>	15.34 m <sup>2</sup>
Commercial Garbage	3	3yd <sup>3</sup>	3x per Week	4.88 m <sup>2</sup>	14.64 m <sup>2</sup>
					73.76 m <sup>2</sup>
<b>RETAIL</b>					
Commercial Mixed Containers	4	300L	3x per Week	1.25 m <sup>2</sup>	5.00 m <sup>2</sup>
Commercial Refillable Beverage Containers	1	240L	3x per Week	0.97 m <sup>2</sup>	0.97 m <sup>2</sup>
Commercial Mixed Paper (Including Newspapers)	9	300L	3x per Week	1.25 m <sup>2</sup>	11.25 m <sup>2</sup>
Commercial Glass	1	240L	3x per Week	0.97 m <sup>2</sup>	0.97 m <sup>2</sup>
Commercial Food Scraps and Yard Trimmings	1	240L	3x per Week	0.97 m <sup>2</sup>	0.97 m <sup>2</sup>
Commercial Cardboard	1	3yd <sup>3</sup>	3x per Week	4.88 m <sup>2</sup>	4.88 m <sup>2</sup>
Commercial Garbage	1	3yd <sup>3</sup>	3x per Week	4.88 m <sup>2</sup>	4.88 m <sup>2</sup>
					28.06 m <sup>2</sup>
<b>CITY</b>					
Commercial Garbage Cans (Pickup)	1	3yd <sup>3</sup>	3x per Week	4.88 m <sup>2</sup>	4.88 m <sup>2</sup>
Commercial Cardboard	2	3yd <sup>3</sup>	3x per Week	4.88 m <sup>2</sup>	9.76 m <sup>2</sup>
Commercial Garbage Cans (Pickup)	1	3yd <sup>3</sup>	3x per Week	4.88 m <sup>2</sup>	4.88 m <sup>2</sup>
Commercial Food Scrap	2	240L	3x per Week	0.97 m <sup>2</sup>	1.94 m <sup>2</sup>
Commercial Paper	2	300L	3x per Week	1.25 m <sup>2</sup>	2.50 m <sup>2</sup>
Commercial Glass	1	240L	3x per Week	0.97 m <sup>2</sup>	0.97 m <sup>2</sup>
Commercial Refillable Beverage	2	240L	3x per Week	0.97 m <sup>2</sup>	1.94 m <sup>2</sup>
Commercial Garbage	1	240L	3x per Week	0.97 m <sup>2</sup>	0.97 m <sup>2</sup>
Commercial Car (other cars)	2	300L	3x per Week	1.25 m <sup>2</sup>	2.50 m <sup>2</sup>

WASTE MANAGEMENT LEGEND



- 12 | 25 AUGUST 2020  
RE-ISSUED FOR DP
- 11 | 18 AUGUST 2020  
RE-ISSUED FOR DP
- 10 | 30 JULY 2020  
RE-ISSUED FOR DP
- 9 | 17 JULY 2020  
RE-ISSUED FOR DP
- 8 | 3 JULY 2020  
RE-ISSUED FOR DP
- 7 | 19 JUNE 2020  
RE-ISSUED FOR DP
- 6 | 03 MAY 2020  
RE-ISSUED FOR DP
- 5 | 15 OCT 2019  
RE-ISSUED FOR DP
- 4 | 16 AUGUST 2019  
RE-ISSUED FOR DP
- 3 | 07 FEB 2019  
ISSUED TO CITY OF RICHMOND
- 2 | 18 JAN 2019  
RESPONSE TO ADP COMMENTS
- 1 | 22 OCT 2018  
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Seal  
No. 3 Road  
DP 18-829141

NO 3 ROAD  
RICHMOND, BC  
Project

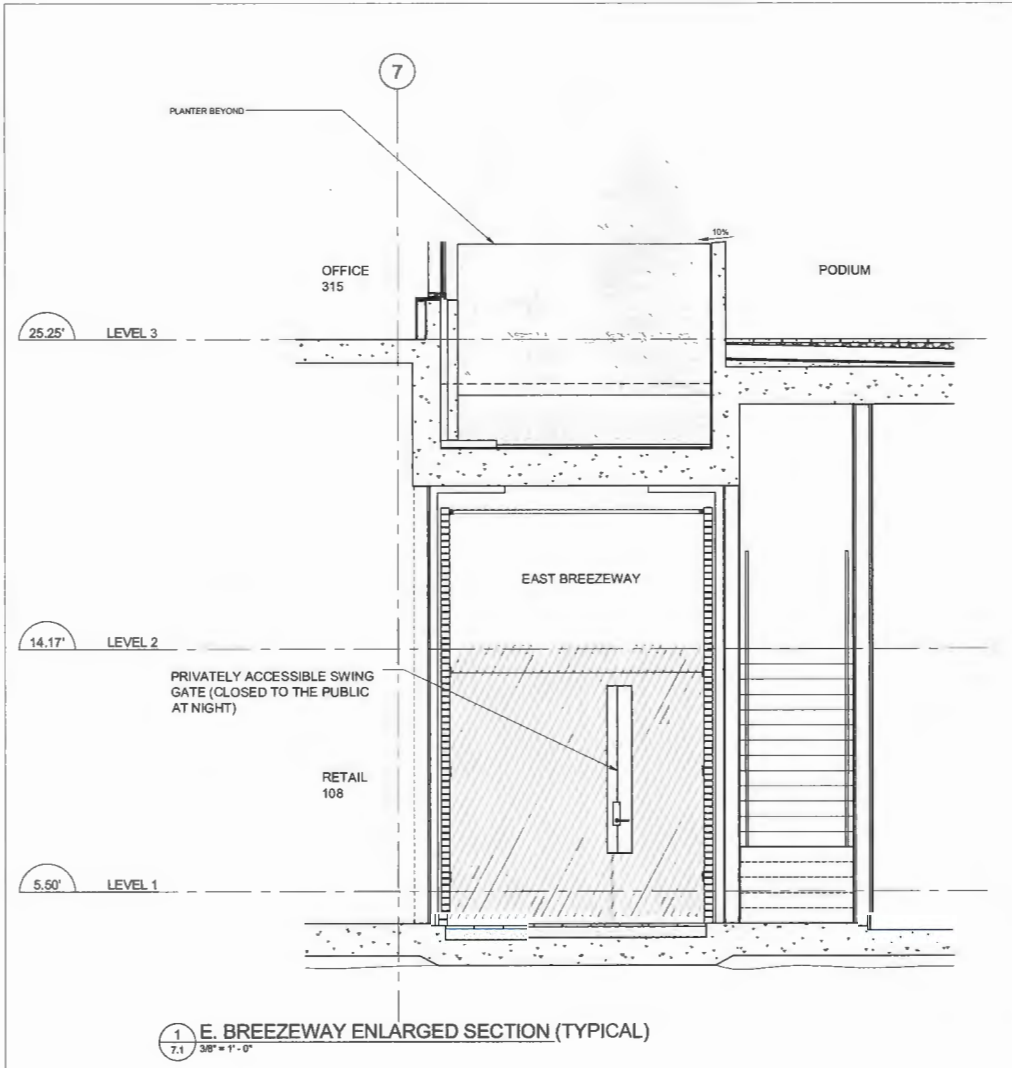
WASTE MANAGEMENT PLAN

DP 18-829141

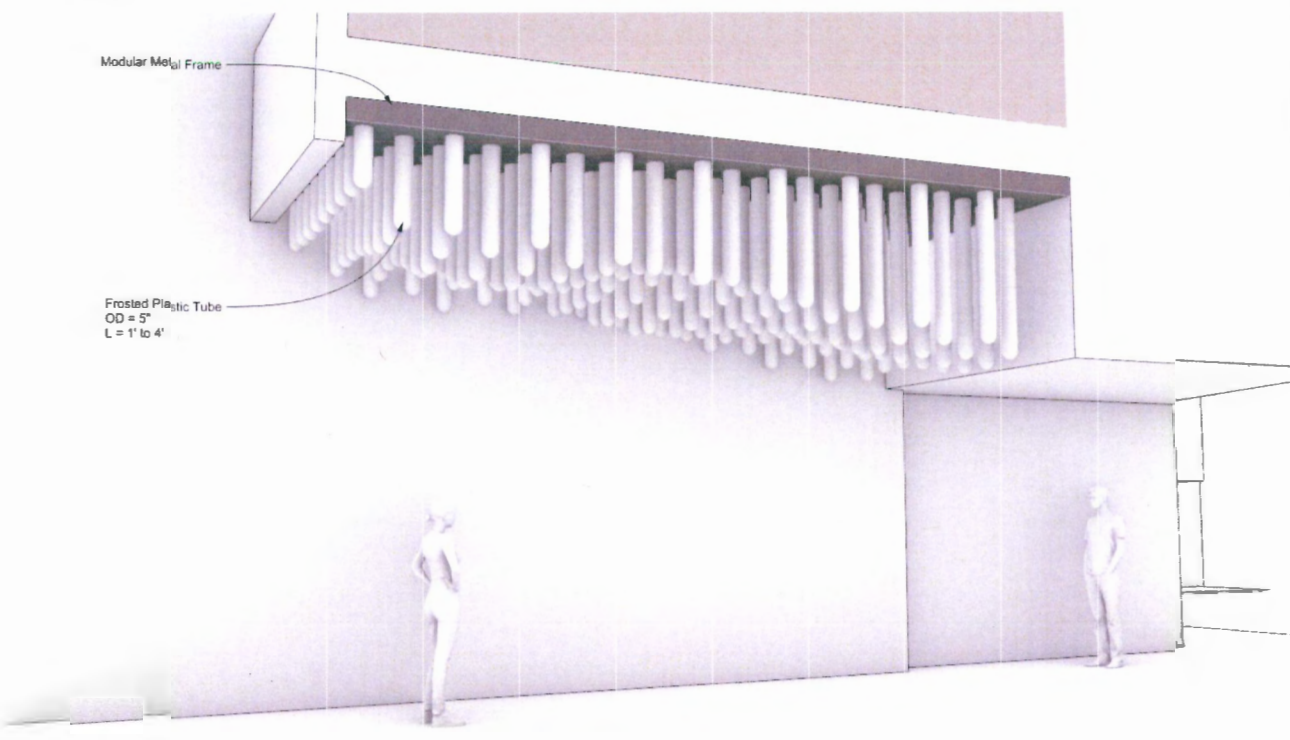
Scale 1/16" = 1'-0"  
Project 216022  
Sheet 16.3







System 4.1



PUBLIC ART INSTALLATION  
light levels are dimmable  
2 REFERENCE PERSPECTIVE IMAGE  
7.1 N.T.S.



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11	16 AUGUST 2020	RE-ISSUED FOR DP
10	30 JULY 2020	RE-ISSUED FOR DP
9	17 JULY 2020	RE-ISSUED FOR DP
8	3 JULY 2020	RE-ISSUED FOR DP
7	19 JUNE 2020	RE-ISSUED FOR DP
6	01 MAY 2020	RE-ISSUED FOR DP
5	15 OCT 2019	RE-ISSUED FOR DP
4	16 AUGUST 2019	RE-ISSUED FOR DP
3	07 FEB 2019	ISSUED TO CITY OF RICHMOND
2	18 JAN 2019	REVISION TO ADP COMMENTS
1	22 OCT 2018	NEW

Revisions YYYY-MM-DD

NO 3 ROAD  
DP 18-829141

NO 3 ROAD  
RICHMOND, BC  
Project

**BREEZEWAY  
ELEVATION &  
PUBLIC ART  
INSTALLATION**

**DP 18-829141**



Scale 3/8" = 1'-0"  
Project 215022  
Sheet **7.1**



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2	18 JAN 2019	RESPONSE TO AIP COMMENTS
1	22 OCT 2018	ISSUED FOR CITY REVIEW

Revisions YYYY MM DD

Seal  
**NO. 3 ROAD**  
 DP 18-829141

RICHMOND, BC  
 Project

**SHADOW  
STUDY**

Drawing  
 Scale 1/64" = 1'-0"  
 Project 216022

Sheet **R-01**

**Spring/Fall Equinox**



10:00 AM



12:00 PM



2:00 PM

**Summer Solstice**



10:00 AM



12:00 PM



2:00 PM

Reference







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VIEW LOOKING NORTH WEST FROM THE CORNER OF NO.3 RD AND LANSDOWNE



VIEW LOOKING NORTH FROM NO.3 ROAD

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Seal  
**NO. 3 ROAD**  
DP 18-829141

RICHMOND, BC  
Project  
**RENDERINGS**

Reference

Drawing  
Scale N.T.S.  
Project 216022  
Sheet **R-02**



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VIEW LOOKING WEST FROM NO. 3 ROAD



VIEW LOOKING SOUTH EAST FROM FUTURE ROAD



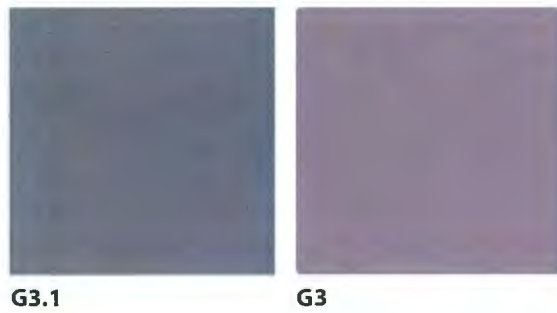
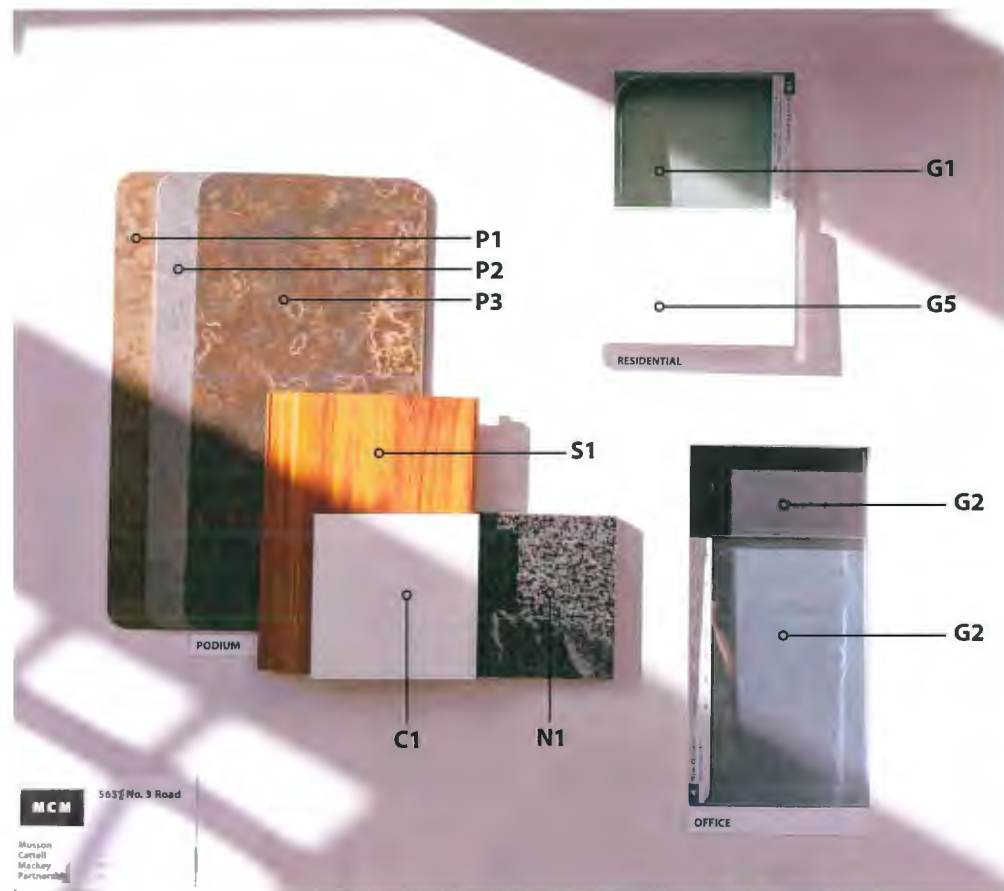
Seal  
**NO. 3 ROAD**  
DP 18-829141

RICHMOND, BC  
Project  
**RENDERINGS**

Reference

Drawing  
Scale: N.T.S.  
Project: 216022  
Sheet: **R-03**





**MATERIAL LEGEND**

- A1 ARCH CONCRETE  
COLOR: WHITE (MATCH TO GLASS FRIT)  
LOCATION: RESIDENTIAL ROOF
- A2 BALCONY & ROOF SOFFIT ARCH CONCRETE  
FINISH: PAINTED  
COLOR: BEIGE  
LOCATION: UNDERSIDE OF BALCONY & ROOF SLAB
- B1 PRIVACY GREEN  
FRAME: CHARCOAL  
GLASS: OPACQUE - TEMPERED  
LOCATION: RESIDENTIAL BALCONY
- G1 GLASS CANOPY  
FRAME: CHARCOAL  
GLASS: CLEAR - TEMPERED  
LOCATION: OFFICE EXTERIOR DOOR (B)
- G2 DOUBLE GLAZED 2 SIDED SSG CURTAIN WALL -  
CLEAR GUARDIAN SURGLARD NEUTRAL 40  
FRAME: FINISH CHARCOAL  
LOCATION: OFFICE
- G3.1 DOUBLE GLAZED 2 SIDED SSG CURTAIN WALL -  
CLEAR GUARDIAN SURGLARD NEUTRAL 40  
FRAME: FINISH CHARCOAL  
LOCATION: OFFICE
- G3 SPANDREL GLAZED WINDOW WALL - STARLINE 800  
COLOR: BENJAMIN MOORE 2126-30 ANCHOR GRAY  
LOCATION: RESIDENTIAL BUILDING 2 & 3
- G4 SPANDREL GLAZED WINDOW WALL - STARLINE 800  
COLOR: HALE NAVY  
LOCATION: RESIDENTIAL BUILDING 4
- G5 GUARDRAL GLASS -  
FINISH: CLEAR - TEMPERED  
GUARDRAL FRAME FINISH: CHARCOAL  
LOCATION: BALCONY GUARDRAIL
- G6 GUARDRAL GLASS -  
FINISH: WHITE CERAMIC FRIT - 10% OPEN AREA  
ROUND TIP PERFORATIONS: 0.312" O.C. - TEMPERED  
GUARDRAL FRAME FINISH: CHARCOAL  
LOCATION: BALCONY GUARDRAIL
- P1 ZINC PANEL -  
FINISH: ZAVNER SERIES "BAROQUE ZINC"  
LOCATION: ENTRY PORTAL B3
- P2 ZINC PANEL -  
FINISH: ZAVNER SERIES "HUNTER ZINC"  
LOCATION: ENTRY PORTAL B3
- P3 ZINC PANEL -  
FINISH: ZAVNER SERIES "COPPER"  
LOCATION: ENTRY PORTAL B4
- S1 ARCH LOUVERS - 70% OPENING  
COLOR: CHARCOAL  
LOCATION: ELECTRICAL PLUMBING COVER
- C1 COMPOSITE ALUMINUM PANEL -  
COLOR: ALUCOBOND "BONE WHITE"  
LOCATION: CANOPY 18 MENZIE BUILDING
- N1 COMPOSITE ALUMINUM PANEL -  
COLOR: ALUCOBOND "CADET GRAY"  
LOCATION: EXTERIOR OFFICE
- N2 NATURAL GRANITE  
COLOR: DARK GREY  
LOCATION: PLASTER ALONG STOREFRONT
- G6 WOOD TEXTURED ALUMINUM EXTRUSION  
COLOR: LIGHT OAK WOOD  
METAL GRATING - FINISH: T B C  
LOCATION: SOFFIT
- M1 OFFICE GLASS CANOPY  
FINISH: CLEAR GLASS - LAMINATED  
METAL FRAME - FINISH: LIGHT GREY (T B C)  
LOCATION: OFFICE CANOPY



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RICHMOND, BC  
Project

**MATERIAL  
LEGEND**

**Reference**

Scale 1/16" = 1'-0"  
Project 216022  
Sheet **R-04**