



To: Development Permit Panel

Date: June 7, 2023

From: Wayne Craig
Director, Development

File: DP 22-015851

Re: **Application by Polygon Talisman Park Ltd. for a Development Permit at Portions of 8731, 8771, 8831/8851 Cambie Road and 8791 Cambie Road/ 3600 Sexsmith Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 276 rental housing units in two six-storey multi-family apartment buildings on portions of the properties located at 8731, 8771, 8831/8851 Cambie Road and 8791 Cambie Road/3600 Sexsmith Road on a site zoned “Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to increase maximum permitted building height for the affordable housing building located on the eastern portion of the site from 25.0 m to 27.6 m to accommodate elevator access to a rooftop garden.

Wayne Craig
Director, Development
(604-247-4625)

WC:sb
Att. 3

Staff Report

Origin

Polygon Talisman Park Ltd. has applied to the City of Richmond for permission to develop 276 rental housing units in two six-storey apartment buildings over a common parking structure on a development site comprising portions of the properties located at 8731, 8771, 8831/8851 Cambie Road and 8791 Cambie Road/3600 Sexsmith Road and zoned “Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)”. The development proposal provides 156 Low-End Market Rental (LEMR) units in a stand-alone building on the eastern portion of the site and 120 market rental units in a stand-alone building on the western portion of the site. The site is currently vacant.

The site is being rezoned from the “Single Detached (RS1/F)” zone to the “Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)” zone for this project under Bylaw 10198 (RZ 18-836123) which received third reading at the Public Hearing on January 17, 2022.

Highlights of the proposed development include:

- The subject application is the first phase of a four-phase development.
- The subject development provides a range of unit types from studio to three-bedroom.
 - Unit areas are proposed to range from 40 m² to 94 m² (431 ft² to 1,012 ft²).
 - All the units will be connected to a City-owned Low Carbon Energy System (as secured through the associated rezoning application).
- Approximately 568 m² (6,114 ft²) of indoor amenity space is provided. Each building has its own indoor amenity space for the use of the residents in the building.
- Approximately 1,793 m² (19,300 ft²) of common outdoor amenity space is provided for the shared use of residents.
- Approximately 651 m² (7,006 ft²) of pathway area is provided along the north and west edges of the site. These areas are also available for public use and were secured through the associated rezoning application with public-rights-of-passage Statutory-Rights-of-Way as part of the overall development’s Capstan Station Bonus Public Open Space requirements.
- A rooftop urban agriculture gardening area is provided at the roof level of the affordable housing building (as secured through the associated rezoning application).

A Servicing Agreement is required to accommodate the development and was secured through the associated rezoning application, providing for the design and construction of new roads, road widening, and frontage improvements off-site, and onsite public pathways along the north and west property lines of the subject site.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site is located on the west side of Garden City Road between Cambie Road to the south and Capstan Way to the north. The site is in the Capstan Village area of the City Centre Planning Area. After completion of the subdivision associated with the rezoning application, the net site area for the subject development is 9,630.8 m² (103,665 ft²) in area.

Development surrounding the subject site is as follows:

To the North: Is the second phase of the subject four-phase development, which will include high-density high-rise development and commercial uses fronting Capstan Way.

To the South: Is a new neighbourhood City Park being provided through the subject development at the developer's sole cost. The developer has entered into a Servicing Agreement for design and construction of the new City Park and the developer is required to construct the Park prior to occupancy of phase 3 of the overall development.

To the East: Across Garden City Road in the Oaks West Cambie neighbourhood, is a single-storey commercial development and two-storey townhouse development.

To the West: Is a church site, designated in the CCAP for institutional and low to medium density low to mid-rise residential development with limited commercial uses (General Urban T4 (25 m) and Institution).

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Accommodating replacement tree planting, which has been reviewed and the landscape DP plans incorporate the planting of 138 trees. Further details are provided in the Tree Management and Landscape Design and Open Space Design sub-sections of this report.
- The addition of a rooftop demonstration urban agriculture garden on the affordable housing building, which was subsequently incorporated into the rezoning considerations, and is included in the DP plans. Further details on the demonstration urban agriculture garden are provided in the Landscape Design and Open Space Design sub-section of this report.

The Public Hearing for the associated rezoning was held on January 17, 2022. The following architectural form and character concerns regarding rezoning and the phase 1 subject site were expressed; responses to the concerns are provided in *italics*.

- Provision of balconies for private outdoor space – *Private outdoor space balconies or patios are provided for 100 per cent of LEMR and market rental units.*
- Provision of appropriate parking and charging infrastructure – *Electric Vehicle charging accommodation is provided for 100 per cent of resident parking spaces as required by the City's Zoning Bylaw and 100 per cent of visitor parking spaces, which was secured through the associated rezoning application.*

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan, City Centre Area Plan (CCAP) and is generally in compliance with the “Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)” zone except for the zoning variance noted below.

Zoning Compliance/Variances (staff comments in *bold italics*)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Increase maximum permitted building height for the affordable housing building located on the eastern portion of the site from 25.0 m to 27.6 m to accommodate elevator access to a rooftop garden.

(Staff supports the proposed variance as the additional height is requested in order to accommodate universal access to the required rooftop urban agriculture garden. The additional height is limited to the area of the elevator’s mechanical penthouse. The location is stepped back from the edge of the building, thereby reducing the visual and shadow impacts associated with the limited additional height)

Advisory Design Panel Comments

The Advisory Design Panel was supportive of the proposal subject to the applicant taking into consideration the Panel’s comments. An annotated copy of the relevant excerpt from the Advisory Design Panel Minutes from May 17, 2023 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘*bold italics*’.

Analysis

Conditions of Adjacency

- The proposal provides a transition between the single-detached and townhouse development in the Oaks neighbourhood to the east across Garden City and the higher-density development envisioned in the CCAP along No. 3 Road. It also provides a transition from the new City Park provided by the overall development along the south edge of the subject site and the higher density future phases of the overall development.
- Along the west and north property lines, public walkways are provided within SRW and secured through the associated rezoning application. These public walkways provide connections from the new road cul-de-sac to the new City Park and Garden City Road.
- Along Garden City Road, a low brick clad planter wall supports trees and planting screening the parking structure and softening the grade transition from sidewalk to podium level living areas, which are further set back from the road behind podium level patios. The planter wall and the parking structure wall are both articulated with inset areas at regular intervals. The parking structure wall is clad with areas of brick and areas of architectural concrete and is topped with a mix of vertical and angled metal guardrails setback from the edge.

Together, these measures break up the length of the walls, create different sized planting areas, and provide visual interest.

- Along the new road cul-de-sac, lobby entries to both buildings are located at grade in a plaza area, and loading spaces and vehicle access to the parking structure are provided.
- Along the west property line, for the protection of the identified existing trees on the subject site and existing trees on the neighbouring site, the site grade will match with the existing site grade of the neighbouring site and the low planter wall and parking structure are set back. The low planter wall is broken up visually with inset areas and an inset area is also provided in the parkade wall. The buildings are further set back from the west property line behind podium level patios, which also provides a setback from future potential development of the adjacent property to the west.
- Along the south property line, the interface with the new City Park includes a jog in the property line, inset areas in the low planter wall at regular intervals and an accessible ramp, which together provide breaks and visual interest.
- The detailed Building Permit design for the development will comply with the City's requirements related to aircraft noise sensitive development, as required by the legal agreement secured through the associated rezoning application.

Urban Design and Site Planning

- Two six-storey wood-frame buildings are proposed atop a common single-level parking structure. The main entry lobbies for both buildings front onto the new road cul-de-sac that provides vehicle access from Capstan Way.
- The two buildings wrap around a central interior courtyard on top of the parking podium that opens up to the north and south, allowing for increased direct sunlight penetration and a sense of openness between the buildings. The courtyard may be accessed from the buildings as well as by ramps and stairways connecting to the new road cul-de-sac and City Park, and a stairway connecting to Garden City Road.
- A single-vehicle access to the parkade will be provided from the new road cul-de-sac at the northwest corner of the subject site. Vehicle access is not provided to/from Garden City Road.
- Loading spaces are provided in front of both building lobbies and the garbage/recycling collection area is located adjacent to the vehicle access.

Architectural Form and Character

- The project proposes a contemporary architectural style featuring vertical building bays, stacked balconies and vertical bands of colour, creating a vertical visual rhythm, and strong framing elements help mark the building entries, break down the apparent building height and provide visual interest across the building elevation lengths.
- A hierarchy of framing elements is proposed. In recognition of the subject site's location within the CCAP Richmond Arts District, lower four-storey framing elements feature coloured panelling and stacked balcony guardrails treated with grassland graphic design.

Larger six-storey framing elements with lower four-storey dark brick treatment mark the location and importance of the entry lobbies of both buildings.

- Aligned with the framing and bay elements and offset from the accent colour blocking, some portions of the roof are tilted up to provide articulation and visual interest to the horizontal roof lines and enhancing ceiling height and natural daylighting to some top-floor apartments.
- The exterior cladding is a combination of fibre cement horizontal cladding and panels with metal reveals. Other exterior cladding materials such as brick, architectural concrete, fibre cement trim and soffits, metal and glass guardrails are used to provide accent and visual interest. Taller glazed walls identify and highlight the entry lobbies and interior amenity areas.
- The colour palette of lighter white, darker grey and accents of blue, green, yellow and warm brown provide accent and visual interest.

Tree Management

- As required through the associated rezoning application, 12 on-site trees are being retained along the west property line, and the proposed building footprint is setback a sufficient distance to provide for tree protection.
- Subsequent to third reading of the associated zoning bylaw amendment, a number of the trees identified at the rezoning stage for removal, were removed via approved Tree Permits to accommodate site preparation and pre-loading.
- As required through the associated rezoning application, the Official Community Plan 2:1 replacement ratio requires that a minimum of 206 replacement trees be provided across the overall four-phase development for the removal of 103 bylaw-sized trees on-site across the overall development. The applicant has agreed to plant 138 trees on the subject site. The remaining 68 replacement trees will be addressed during the remaining three phases of development.

Landscape Design and Open Space Design

- Along the new road cul-de-sac, the entry plaza area includes Class 2 bicycle racks, and stair and ramp connections to the podium roof outdoor amenity courtyard between the two buildings.
- Along the Garden City Road, new road cul-de-sac, City Park and west edges of the parkade structure, the continuous low planters are support shrubs and trees and other plants to screen the parking structure and soften the transition to podium level.
- Along the south property line interface with the City Park, an onsite ramp provides residents with a private connection between the podium roof outdoor amenity area and the City Park.
- Along the west property line, for the protection of the identified existing trees on the subject site and existing trees on the neighbouring site, the proposed site grade will match with the existing site grade of the neighbouring site, and sod and granular path materials will be provided. The existing chain link fencing between the subject site and neighbouring property to the west will be retained, delineating the edge of the public pathway area.

- Outdoor amenity space proposed in this development exceeds the minimum OCP requirements. Outdoor amenity spaces proposed on the podium include a 600 m² (6,458 ft²) children's play area, planted and bermed landscape areas, walkway circuits, seating opportunities and outdoor dining patio areas adjacent to indoor amenity areas. The children's play area features a climbing wall, a separate large climbing play structure with enclosure underneath, a large play structure with slide, and ten small play structures, climbing and seating boulders, pavers and a large open lawn area. Pedestrian pathways along the north and west edges of the site provide recreational opportunity, connections to Garden City Road, the new road cul-de-sac, and the City Park, and were secured through the associated rezoning application for public access.
- The plant palette selection includes native and native adapted plants with a variety of bloom periods and textures, delivering all season interest while responding to the site location and reducing the need for watering. The landscape design includes 138 trees of 17 species, including coniferous species of Spruce and Pine, and deciduous species of maple, alder, serviceberry, hornbeam, dogwood, ash, magnolia, cherry, stewartia and snowbell.
- An urban agriculture garden is provided on the roof of the affordable housing building for the exclusive use of the building residents. The gardening area is accessible by elevator and includes raised vegetable gardening planters, work table, lighting, hose bib and rainwater collection amenities.
- A lighting plan is included in the DP plans, which indicates lighting provided throughout the site that is directed downwards and into the site. Pedestrian pathways are lit with either bollard lights or wall lights. Wall lights are also proposed at ramps, stairs and loading bays.
- Onsite irrigation will be provided for all planted areas. A high efficiency, fully automated drip irrigation system with rain sensor will be provided to ensure healthy plant growth while keeping water use to a minimum.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$1,348,628.00 in association with the Development Permit.

Crime Prevention Through Environmental Design

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- Public areas, pedestrian pathways and resident private/semi-private areas are designed to be well-defined by soft landscaping and hard fencing/gates to clearly delineate boundaries of uses.
- Entry lobbies are designed to be visually open from the sidewalk.
- The parkade entry (overhead gate) is designed with clear sight lines.
- Views from interior spaces provide passive surveillance opportunities to outdoor amenity areas and patios. Views from upper units and outdoor space on top of the parking podium provide passive surveillance opportunities of grade-level public pathway and City Park.

Sustainability and Renewable Energy

- The subject site is required to be connected to an onsite low-carbon energy system and the ownership of the system is required to be transferred to the City. Registration of legal agreements securing the provision of and connection to the district energy utility was secured through the associated rezoning application.
- The developer has committed to design the subject development to meet the City's Step Code requirements (e.g. Step 3), which is supported by preliminary energy modeling prepared for the subject development. Details on how all units are to be built and maintained to this commitment will be reviewed at Building Permit stage.
- At the February 22, 2023 Planning Committee meeting during the consideration of the Housing Agreement bylaws for the project, staff were asked to discuss whether the project would use natural gas appliances. The applicant has since indicated to staff that no natural gas appliances will be provided in the dwelling units subject to this application.

Transportation

- The parkade structure accommodates a total of 227 parking spaces, including 106 parking spaces for LEMR units, 72 parking spaces for market rental units and 49 visitor parking spaces, which includes two car share spaces. A total of six accessible parking stalls will be provided.
- The proposed number of parking spaces is consistent with the parking requirements under the site-specific ZMU47 zone subject to the provision of Transportation Demand Management measures (TDMs) to the satisfaction of the City, which were secured through the associated rezoning application. The TDMs include:
 - Provision of two Class 1 bicycle storage spaces per dwelling unit, 10 per cent of which as larger family sized (e.g. for bicycle trailers or multiple bicycles).
 - Provision of a bicycle maintenance and repair facility in the development.
 - Provision of one year of bicycle share service memberships for 100 per cent of units.
 - Provision of 120V electric plug-ins for 10 per cent of Class 1 bicycle storage spaces for electric bicycles.
 - Provision of two years of two-zone transit passes for 100 per cent of LEMR units and one year of two-zone monthly transit passes for 100 per cent of the market rental units.
 - Provision of two car share vehicles and dedicated parking spaces.
 - Provision of one year of car share service membership for 100 per cent of units.
 - Provision of level 2 EV charging infrastructure for 100 per cent of visitor parking spaces, including the car share parking spaces.
- There is a total of 552 Class 1 bicycle storage spaces provided in secure rooms throughout the parking structure. No more than 40 Class 1 bicycle spaces are provided in a single room, in compliance with provisions of Zoning Bylaw 8500.
- There is a total of 56 Class 2 bicycle storage spaces provided throughout the site.

Affordable Housing

- As secured through the associated rezoning application, the development proposal provides approximately 10,448.57 m² (112,898 ft²) of floor area in 156 LEMR units in a stand-alone six-storey affordable housing building. The proposed unit types are shown in the table below:

Unit Type	Number of Units	Minimum Unit Area	Proposed Unit Area	Maximum Rent*	Total Maximum Household Income*
Studio	18	37 m ² (400 ft ²)	41 m ² (441 ft ²)	\$811/per month	\$34,650 or less
1-Bedroom	60	50 m ² (535 ft ²)	51-72 m ² (549-775 ft ²)	\$975/per month	\$38,250 or less
2-Bedroom	45	69 m ² (741 ft ²)	70-72 m ² (753-775 ft ²)	\$1,218/per month	\$46,800 or less
3-Bedroom	33	91 m ² (980 ft ²)	93-94 m ² (1,001-1,012 ft ²)	\$1,480/per month	\$58,050 or less

*May be adjusted periodically as provided for under adopted City policy.

- These units are subject to rent and income restrictions in accordance with a housing agreement registered on Title through the associated rezoning application.
- The affordable housing unit locations are indicated on the development plans. The unit sizes and locations have been reviewed and accepted by the City's Affordable Housing staff.

Market Rental Housing

- As secured through the associated rezoning application, the development proposal provides approximately 8,742 m² (94,106 ft²) of floor area in a stand-alone six-storey market rental housing building containing 120 market rental units. The proposed unit types are shown in the table below:

Unit Type	Number of Units	Proposed Unit Area
Studio	6	40 m ² (431 ft ²)
1-Bedroom	46	51-54 m ² (549-581 ft ²)
2-Bedroom	68	70-84 m ² (753-904 ft ²)

- These units are restricted to rental tenure only in accordance with a market rental housing agreement registered on Title through the associated rezoning application.
- The market rental housing unit locations are indicated on the development plans.

Accessible Housing

- The proposed development includes 100 per cent basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and

- solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
- The two building lobbies are accessed from the new road cul-de-sac sidewalk.
- Pedestrian walkways/ramps are provided from the outdoor amenity space to the new road cul-de-sac sidewalk and the neighbourhood City Park.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Sara Badyal
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(604-276-4282)

SB:js

- Att. 1: Development Application Data Sheet
2: Advisory Design Panel Meeting Minutes (Annotated Excerpt from May 17, 2023)
3: Development Permit Considerations



DP 22-015851		Attachment 1	
Address	Portions of 8731, 8771, 8831/8851 Cambie Road and 8791 Cambie Road/ 3600 Sexsmith Road		
Applicant	Polygon Talisman Park Ltd.		
Owner	Polygon Talistar Homes Ltd. (Inc. No. BC1167752)		
Planning Area(s)	Capstan Village (City Centre)		
	Existing	Proposed	
Site Area	9,630.8 m ²	No change	
Land Uses	Vacant	Multi-family residential	
OCP Designation	Mixed-Use	Complies	
CCAP Designation	General Urban T4 (25 m) and additional density Capstan Station Bonus (CSB) Richmond Arts District	Complies	
Zoning	Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)	Variance noted below	
Number of Units	Vacant	156 LEMR units 120 market rental units 276 rental apartments total	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	Max. 2.11 (20,320 m ²)	2.11 (20,311 m ²)	None permitted
Lot Coverage	Max. 60%	39.2%	None
Setbacks: Public Road Garden City Road City Park Interior Side Yard	Min. 3 m Min. 3 m Min. 3 m None	Min. 3 m Min. 5.2 m Min. 4.8 m Min. 9.9 m	None
Parkade Setbacks: Public Road Garden City Road City Park Interior Side Yard	Min. 1.55 m	Min. 6 m Min. 1.74 m Min. 1.68 m Min. 4.65 m	None
Building Height	Max. 25 m	Max. 27.6 m	Variance Requested
Lot Size	Min. 9,600 m ²	9,630.8 m ²	None

	Bylaw Requirement	Proposed	Variance
Parking Spaces	City Centre Zone 1/ZMU47 with TDMs 106 LEMR 72 Market Rental 49 Visitors, including 2 car-share 227 Total	With TDMs 106 LEMR 72 Market Rental 49 Visitor, including 2 Car-share 227 Total	None
Accessible Parking Spaces	Min. 2%	2%	None
Small Car Parking Spaces	Max. 50%	50%	None
Tandem Parking Spaces	Not permitted	None	None
Loading Spaces	2 medium	2 medium	None
Bicycle Spaces	552 Class 1 (TDM), including 19 family sized (TDM) 56 Class 2	552 Class 1 (TDM), including 56 family sized (TDM) 56 Class 2	None
EV (Energized) Car Charging	100% resident parking spaces 100% visitor parking spaces	100% resident parking spaces 100% visitor parking spaces	None
Amenity Space – Indoor	Min. 552 m ²	568 m ²	None
Amenity Space – Outdoor	Min. 1,656 m ²	1,793 m ²	None
Capstan Station Bonus Public Open Space	Min. 1,380 m ²	Provided in City Park via RZ, and 650.9 m ² onsite	None

Annotated Excerpt from the Minutes from The Advisory Design Panel Meeting

Wednesday, February 8, 2023 – 4:00 p.m.
Remote (Webex) Meeting

Panel Discussion

Comments from Panel members were as follows:

- consider installing base level functionality for the proposed indoor amenity spaces, e.g. installing audio-visual pre-wiring, water source, basic storage cabinet with a sink to enhance multi-purpose function and use – ***Incorporated audio pre-wiring, kitchens, and washrooms within the amenity areas of Building 1 and Building 2 where appropriate for the programming;***
- appreciate the strategy to elegantly hide the parkade wall through installing slanted lower walled planting beds; in addition, consider planning and enhancing the landscaping so that it tiers up to effectively screen approximately 90 percent of the wall – ***Considered. There is not sufficient width for an additional planter wall. Instead, the soil behind the lower retaining wall slope up at 3:1 to conceal more of the parkade wall. The landscape planting will further obscure the parkade wall as it matures;***
- the picket fence above the wall along the east side enhances the separation between the sidewalk and private and semi-private outdoor spaces for residents; however, consider introducing some art form, e.g. durable fiberglass panels, to introduce colour and design elements in order to enhance the pedestrian experience considering that the project is located in the Richmond Arts District; would also provide privacy to adjacent residents' outdoor spaces – ***Incorporated a second metal guardrail pattern at the recesses in the parkade wall to further break up the visual length of the Garden City elevation. Once the landscape has matured much of this guardrail will be obscured. The grade difference between the Garden City sidewalk and the outdoor space of these homes is such that privacy is not an issue;***
- appreciate the plan to install public art in a more central location in the overall project; however, consider installing public art in the subject site (i.e., in phase one of four phases) in view of the number of future residents in the project; consider incorporating public art on the DEU building in the central courtyard as it is highly visible from the two six-storey residential buildings; appreciate the rock climbing wall on one side of the DEU building, however, investigate further opportunities to make the DEU building more attractive on the other three sides through redesign and change of materials, e.g. integrate timber elements on the entrances to the two buildings into the DEU building; also consider redesigning the roof of the DEU building to make it look more attractive from above – ***Improved DEU building design with a timber colonnade matching the entry of the main buildings, the addition of colour, and a green roof. The developer is proposing Public Art as part of the overall development, which is being reviewed through the separate public art plan review process;***
- appreciate the large amount of bicycle storage in the project; however, look at the access to the bicycle storage area from different areas in the subject site from a safety perspective; consider separating the pedestrian/bicycle access from vehicular access at the parkade entrance to enhance the safety of pedestrians and cyclists – ***Considered. Due to site***

- constraints, no additional width can be given to the vehicle ramp, and the on-site elevators are large enough to accommodate bicycles to exit the parkade via this alternative route;*
- consider installing a ramp in lieu of or in addition to the stairs at the south end of the central courtyard to provide accessible pedestrian connection to the new park for residents in wheelchairs or scooters and for families with strollers – ***Incorporated a ramp connection to the City Park instead of previously proposed stairs;***
 - consider installing a gate at ground level controlled by residents to enhance the security of common and private spaces of residents in the proposed development – ***Considered. This is not a gated community; therefore, no gates will be added to prevent access by residents of the neighbouring community;***
 - appreciate that all pieces of the project fit nicely together – ***Noted;***
 - appreciate the corner elements with framing and use of coloured feature panels which effectively break up the massing of the building; review the shade of yellow – ***Considered;***
 - the proposed landscaping creates a green and pleasant environment – ***Noted;***
 - consider installing outward swinging doors in lieu of inward swinging doors to the elevator lobbies on the parkade level – ***Will be considered by code consultant at BP stage;***
 - support the Panel comment regarding the installation of a ramp to provide an accessible connection to the new park from the courtyard for residents in wheelchairs and families with children – ***See previous response;***
 - appreciate the design of the landscaped central courtyard; would provide a pleasant route for residents to the future park; consider securing public access – ***Considered. Public pathway to neighbourhood park is provided in Rights-of-Way along north and west property lines;***
 - investigate opportunities to improve the pedestrian experience along the north-south public walkway on the west side of the development to access the future park; walls along the north-south public walkway do not provide an inviting route for the public – ***Considered. This area has been explored at length. The primary driver is the existing trees along the western property line whose roots must be retained. The current design respects the existing topography and proposes surface treatments that will ensure the roots of the existing trees have the best opportunity for success;***
 - support the Panel comment to provide a ramp at the south end of the courtyard to provide an accessible pedestrian connection to the future park from the courtyard – ***See previous response;***
 - support the Panel comment to further develop the DEU building on the courtyard; the design team could investigate opportunities to (i) incorporate elements into the building to educate the people about the energy function of the building; and (ii) redesign the roof to make it more visually appealing when viewed from above, e.g. installing a green roof – ***See previous response;***
 - investigate opportunities to mitigate the heights of the retaining walls along Garden City road; ensure that the retaining wall lifts do not exceed approximately four feet in order to soften its relationship with the public realm – ***Considered. The retaining wall does not exceed 42” in height and steps down to 36” where it steps east toward Garden City. This vertical stepping reinforces the horizontal step in the parkade wall and the building above;***
 - review the interface of the project with the park and investigate opportunities to improve grade relationship – ***Considered. The City Neighbourhood Park grades are largely driven by the desire to retain the existing trees. The Park is being designed through separate Park***

planning and Servicing Agreement processes. Onsite raised planter planting will help conceal the parkade of the development and a ramp will provide a connection;

- proposed landscaping for the project is thoughtful and makes the space livable; appreciate the human scale residential patios on the central courtyard – *Noted;*
- appreciate the stepping of the walls along the north-south public walkway on the west side of the development while still providing adequate soil volume for trees; appreciate the soil depths of planting beds throughout the site which provide adequate soil volume and assist in stormwater management – *Noted;*
- different landscape functions are successfully demarcated in the project resulting in several nodes created within the overall landscape design; appreciate the provision of structured and natural play elements in the children’s play area – *Noted;*
- support the Panel comments regarding the provision of accessible connection to the park from the courtyard; however, installing a ramp with appropriate slope would take away a significant amount of the building – *See previous response;*
- appreciate the design team’s approach to integrate the climbing wall on one of the sides of the DEU building on the courtyard – *Noted;*
- investigate opportunities for installing green roofs on the two six-storey buildings to mitigate stormwater management; not a lot of soil is required to create habitat intensive green roofs – *Considered, but not incorporated for maintenance purposes. Instead, the roofs will have high-albedo ballast installed;*
- support Panel comments regarding enhancing the visual permeability and accessibility of the proposed development to the future park – *See previous response.*
- consider including a wayfinding system for the proposed development and for the public pathway system throughout the overall development – *This will be incorporated at BP stage for the buildings, and as part of the separate Servicing Agreement process for the public paths;*
- appreciate the applicant’s presentation and the package provided to the Panel – *Noted;*
- appreciate the amount of proposed planting and variety of plant species for landscaping – *Noted;*
- consider installing shade structures and tree canopies in the south-facing children’s play area – *Considered. A variety of children’s play areas are proposed with varying levels of access to direct sunshine and access to shade;*
- most of the seating elements are located in soft landscaped areas in the proposed development; consider introducing seating opportunities along the accessible pathways – *Incorporated, some seating elements have been relocated adjacent to pathways;*
- consider introducing measures to mitigate conflict between pedestrians, vehicular traffic and loading areas at the cul-de-sac interface to the project – *Incorporated varied surface treatments, geometry, and bollards to mitigate conflict potential;*

At this point, Panel member Sherri Han experienced technical issues in the remote meeting and in lieu of oral comments, she submitted the following written comments which were read into the record by the Chair:

- overall, the design of the project is great; the designer incorporated many design measures to create visual interest for a simple economical development; however, the proposed development feels a bit like a “walled” community with buildings of the same height – *Considered. The courtyard opens toward the cul-de-sac entry and City Park;*

- concerned that the inner courtyard might be in the shadow most of the day; the concern could be addressed by reducing the height of the south sides of the two buildings; however, it may not be feasible at this stage of the project – ***Considered. The buildings have been oriented north-south which exposes the courtyard to the maximum amount of direct sunlight available;***
- consider further treatment to the lower parking level walls to make it more welcoming, e.g. through change of materials, use of art, etc. – ***Considered. A variety of materials are proposed with brick clad lower retaining wall with concrete cap; varying material treatment (brick or concrete) on parkade wall that changes with the horizontal steps in the wall which respond to the building steps above; a second guardrail design has been introduced at the podium where the parkade steps away from Garden City; and the plant species change when the retaining wall steps horizontally which reinforces the change;***

In addition to the above comments from the Panel, the following written comments were submitted by Panel member Pam Andrews and were read into the record by Viren Kallianpur:

- queried the provision of level access to outdoor areas and balconies from the suites on the ground and upper levels – ***Considered. All homes will be designed to meet the City's BUH requirements. To ensure the proper function of the building envelope and prevent water ingress there will be a sill at the door separating the interior from exterior of all amenity and balcony spaces;***
- there is a note in the staff comment pages as well as a brief standard note on each of pages 1.01 to 1.06 stating that all units abide by the City's Basic Universal Housing (BUH) standards, but there are no detailed drawings or specifications provided for the units themselves; even with a magnifying glass, it is extremely hard to determine if turning circles, doorway widths, etc. have been properly addressed; the applicant needs to provide enlarged detailed drawings of the various unit plans – ***Noted; and***
- consider using the design sometimes used in Richmond Parks for the picnic tables in the proposed development, i.e. with overhanging tops on one end that can accommodate wheelchair users, high chairs and other seating options – ***Considered.***

Panel Decision

It was moved and seconded

That DP 22-015851 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



City of
Richmond

Development Permit Considerations
Development Applications Department

Address: Portions of 8731, 8771, 8831/8851 Cambie Road and
8791 Cambie Road/3600 Sexsmith Road

File No.: DP 22-015851

Prior to Development Permit issuance, the developer is required to complete the following:

1. (Landscape Security) Receipt of a Letter-of-Credit for landscaping in the amount of \$1,348,628.00 and entering into a landscape security agreement.

Prior to Building Permit* Issuance, the developer must complete the following requirements:

1. (Legal Agreements) Satisfy the terms of legal agreements registered on title prior to final adoption of the rezoning bylaw (RZ 18-836123) with respect to the development's Building Permit.
2. (Rezoning and Development Permit Features) Incorporation of urban design, accessibility and sustainability measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. (Construction Parking and Traffic Management Plan) Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. (Latecomer Agreements) If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
5. (Construction Hoarding) Obtain a Building Permit* (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit*. *For additional information, contact the Building Approvals Department at 604-276-4285.*

NOTE:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground

densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on-site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

Signed

Date



No. DP 22-015851

To the Holder: Polygon Talisman Park Ltd. (Robin Glover)

Property Address: Portions of 8731, 8771, 8831/8851 Cambie Road and
8791 Cambie Road/3600 Sexsmith Road

Address: 1333 Broadway Street, Unit 900,
Vancouver, BC V6H 4C2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Increase maximum permitted building height for the affordable housing building located on the eastern portion of the site from 25.0 m to 27.6 m to accommodate elevator access to a rooftop garden.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #62 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,348,628.00. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 22-015851

To the Holder: Polygon Talisman Park Ltd. (Robin Glover)
Property Address: Portions of 8731, 8771, 8831/8851 Cambie Road and
8791 Cambie Road/3600 Sexsmith Road
Address: 1333 Broadway Street, Unit 900,
Vancouver, BC V6H 4C2

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

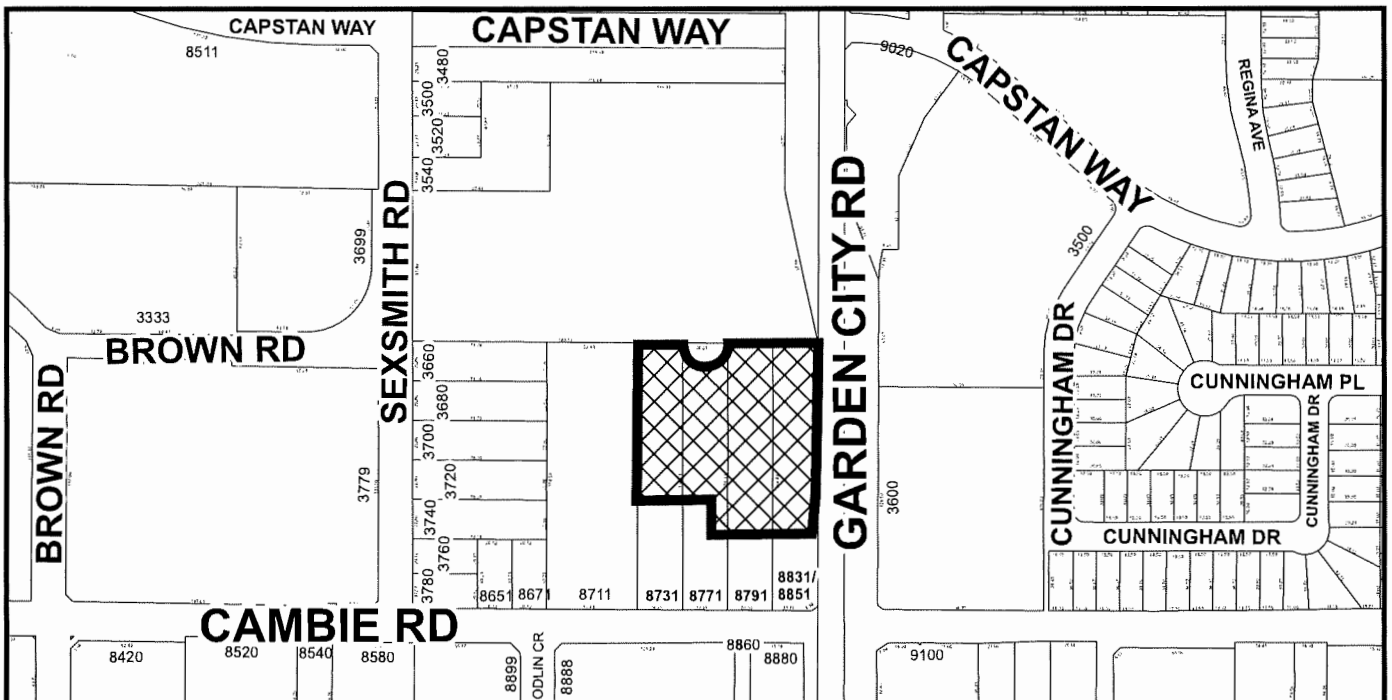
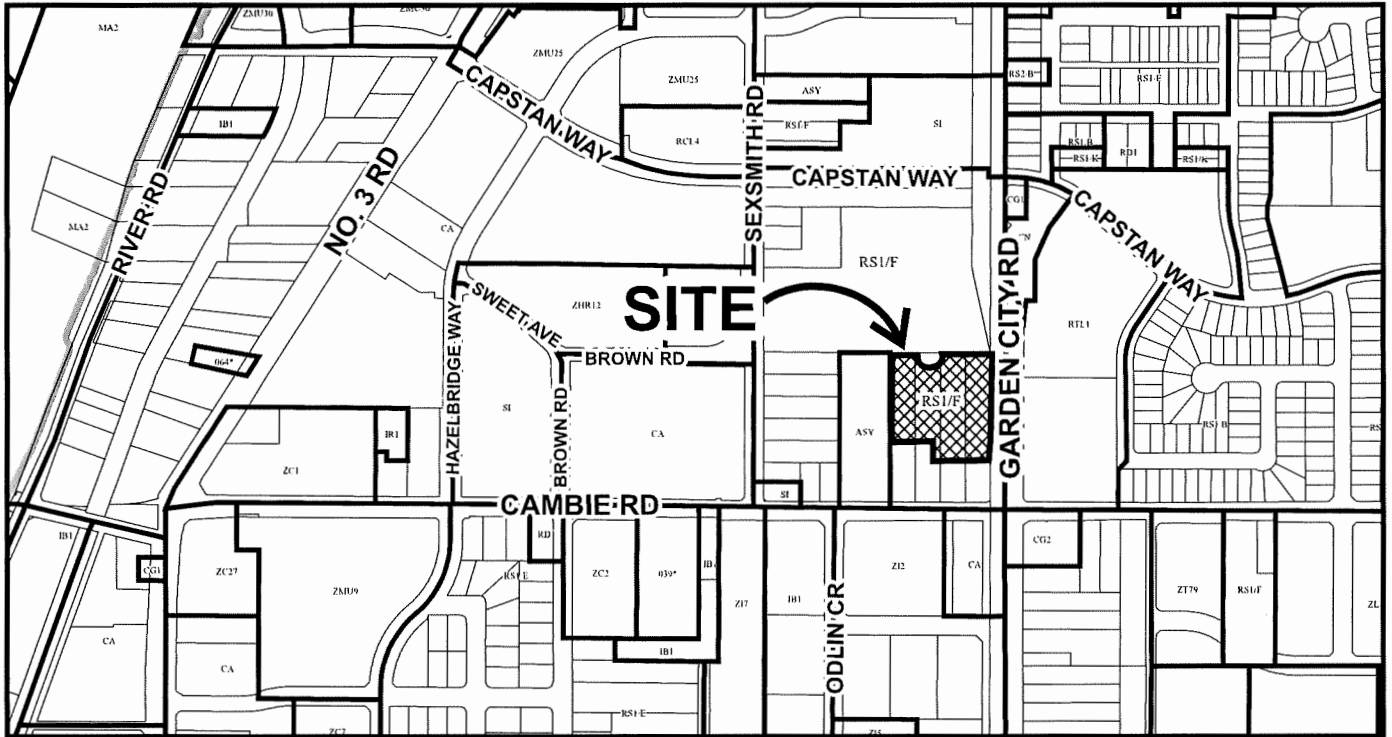
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

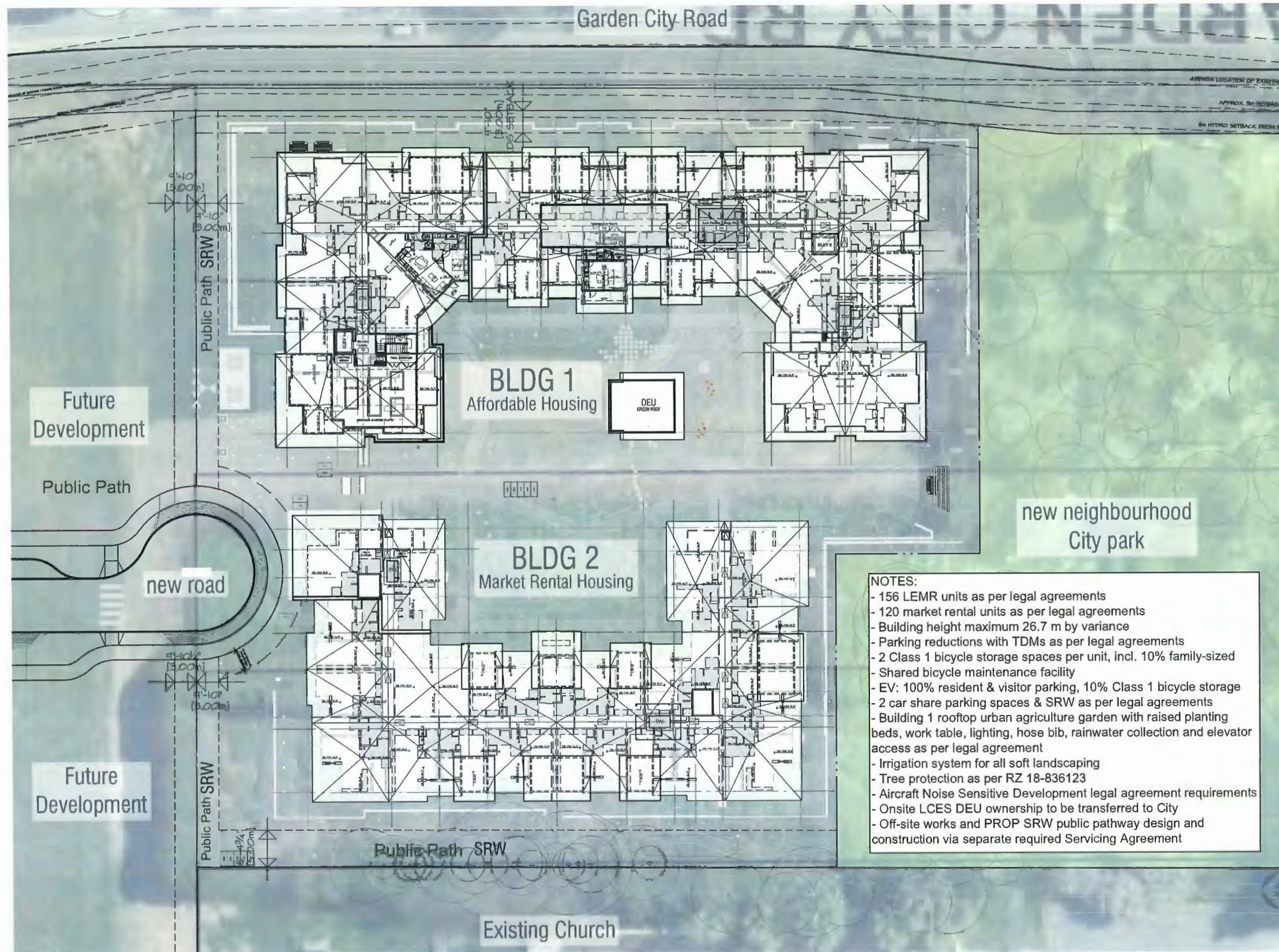


DP 22-015851 SCHEDULE "A"

Original Date: 08/10/22

Revision Date: 10/13/22

Note: Dimensions are in METRES



ARCHITECTS INCORPORATED
 1055 - West Hill Avenue, Vancouver, BC V6S 1V8

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Dec 4, 2020
 Issued for Rezoning
 Dec 23, 2020
 Update 2: Issued for Rezoning
 June 17, 2022
 Development Permit Submission
 November 21, 2022
 Resubmission for Development Permit
 January 12, 2023
 Resubmission #2 for Development Permit
 March 8, 2023
 Resubmission #3 for Development Permit
 May 30, 2023
 Response to comments from Resubmission #3 for Development Permit

DP Plan # 1
May 30, 2023
DP 22-015851

- NOTES:**
- 156 LEMR units as per legal agreements
 - 120 market rental units as per legal agreements
 - Building height maximum 26.7 m by variance
 - Parking reductions with TDMs as per legal agreements
 - 2 Class 1 bicycle storage spaces per unit, incl. 10% family-sized
 - Shared bicycle maintenance facility
 - EV: 100% resident & visitor parking, 10% Class 1 bicycle storage
 - 2 car share parking spaces & SRW as per legal agreements
 - Building 1 rooftop urban agriculture garden with raised planting beds, work table, lighting, hose bib, rainwater collection and elevator access as per legal agreement
 - Irrigation system for all soft landscaping
 - Tree protection as per RZ 18-836123
 - Aircraft Noise Sensitive Development legal agreement requirements
 - Onsite LCES DEU ownership to be transferred to City
 - Off-site works and PROP SRW public pathway design and construction via separate required Servicing Agreement



TALISMAN
 AFFORDABLE & RENTAL HOUSING
 Cambie & Garden City Rd.
 Richmond, B.C.

Context Plan
 & Aerial Overview
 Scale: 1" = 40'-0"
 May 30, 2023

A-0.12

Statistics: Summary

Overall & Parking

Talistar - Multi-family Residential Development - Project Summary

BUILDINGS: Bldg 1 Affordable Housing, Bldg 2 Market Rental

TOTALS, FAR SUMMARY & LOT INFORMATION

DP Plan # 2
May 30, 2023
DP 22-015851

updated May 30, 2023

SITE AREA	Site Area: Original	n/a	Site Area (Subdivision Areas)	9,630 SQM	Site Area: Subdivision Areas	9,630 SQM (Used for FAR calc)
Bldg 1: Affordable Housing	156 Total Homes	2,120 BLDG Coverage SQM	12,517 SQM - GFA	11,538 SQM - FAR	10,513 SQM - Saleable	324 SQM - Indoor Amenity
Bldg 2: Market Rental	120 Total Homes	1,582 BLDG Coverage SQM	9,480 SQM - GFA	8,609 SQM - FAR	7,701 SQM - Saleable	273 SQM - Indoor Amenity
Common Service Buildings	n/a	61 BLDG Coverage SQM	61 SQM - GFA	- SQM - FAR	- SQM - Saleable	- SQM - Indoor Amenity
TOTAL PROJECT AREAS		Proposed	22,058 SQM - GFA	20,147 SQM - FAR (Net)	18,215 SQM - Saleable	597 SQM Total Indoor Amenity
FLOOR SPACE RATIOS		Proposed	2.29 GFA Ratio	2.09 FAR - Net Building Area		
INDOOR AMENITY	2 SQM per unit	Total Homes: 276 Homes	Total Area Required	552 SQM	Indoor Amenity Provided	597 SQM
OUTDOOR AMENITY AREA	6 SQM per unit	Total Homes: 276 Homes	Total Area Required	1,656 SQM	Outdoor Amenity Provided	1,793 SQM
CHILDRENS PLAY AREA	3 SQM per unit (max 600sqm)	Total Homes: 276 Homes	Total Area Required	600 SQM	Play Area Provided	600 SQM
CCAP AREA (10% of Net Site Area)				For calculation see landscape submission	CSB Area Provided	649.5 SQM
PARKADE AREA		7,510 SQM				78.0%
LOT COVERAGE / BLDG FOOTPRINTS		3,763 SQM				39.1% Max permitted: 60%
SETBACKS	Required: Front-yard:3m / Side-yard: 0m	Proposed: East PL at Garden City: 3m / North PL at East Road: 0m / South PL at Park: 0m / West PL at Neighbour: 0m				

PARKING REQUIRED

7.9.3 - Zone 1a Parking:	25% Reduction	Total Stalls	Small Max.	Acc. Stalls (2%)	
Bldg 1: Affordable Housing	156 units Ratio: 0.68 stalls per unit	106	53	2.1	*Includes reduction
Bldg 2: Market Rental	120 units Ratio: 0.60 stalls per unit	72	36	1.4	*Includes reduction
Joint Visitors Stalls	276 Units Ratio: 0.18 stalls per unit	50	25	1.0	*Reduction per City of Richmond *Includes 2 car share spaces (TDM)
	Total Stalls Required	228		5	*100% of spaces to be EV (TDM)
LOADING STALLS:	Required: 2 Medium Loading Stall per City of Richmond Request				
	Provided: 1 Medium Loading stall and 1 Garbage Loading area / Medium Loading stall				

PARKING PROPOSED

	Total Stalls	Regular	Small	Car Share	Accessible	
Parking P1 - Bldg 1 Affordable	106	50	53	50%	3	
Parking P1 - Bldg 2 Market Rental	72	35	35	49%	2	
Parking P1 - Visitors	49	21	25	51%	1	*Includes 2 car share spaces (TDM)
On-grade						
	Total Stalls Provided	227	106	113	2	6
						*100% of spaces req'd to be lvl 2 charging or higher (TDM)

BIKE PARKING REQUIRED

Apartment Housing - Class 1: 2.0spaces/unit - Class 2: 0.2 Spaces per unit	Class 1: Total	Family Lck*	Max Vert..	Class 2 - On-grade	
Bldg 1: Affordable Housing	312	32	103	31.2	*Family Lockers have two stalls in each
Bldg 2: Market Rental	240	24	80	24.0	*Family Lockers have two stalls in each
	Total Class 1 Req'd:	552	*33% Max vertical stalls	Total Class 2 Req'd:	56

BIKE PARKING PROPOSED

	Class 1: Total	Family Lck.	Vert. Space	Dbl Locker	Horz. Space	Class 2 - On Grade
On-grade						56
Parking P1 - Bldg 1: Affordable	312	32	83	27%	165	
Parking P1 - Bldg 2: Market Rental	240	24	78	33%	114	
	Total Class 1 Provided:	552				Total Class 2 Provided:
						56

Statistics: Building 1

Bldg 1: Affordable Rental Housing

DP Plan # 3
May 30, 2023
DP 22-015851

Talistar - Bldg 1: Affordable Rental
Multi-family Residential Development, City of Richmond, BC

Building 1: Affordable Housing

Home Type	Description	Targets	P1	1st Floor	2nd Floor	3rd Floor	4th Floor	5th Floor	6th Floor	Total Homes	Home Areas	Total Area	Home Mix
A - BUH	1 Bed + 1 Bath	1 Bed+1 Bath: 49.7 sqm // 30% Mix	n/a	5	5	5	5	5	5	30	51 SQM	1,533 SQM	19.2%
A1 - BUH	1 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	54 SQM	272 SQM	3.2%
A2 - BUH	1 Bed + 1 Bath		n/a	1	0	0	0	0	0	1	60 SQM	60 SQM	0.6%
A alt - BUH	1 Bed + 1 Bath		n/a	1	0	0	0	0	0	1	51 SQM	51 SQM	0.6%
B - BUH	2 Bed + 1 Bath	2 Bed+1 Bath: 68.8 sqm // 30% Mix	n/a	2	4	4	4	4	4	22	70 SQM	1,545 SQM	14.1%
B alt - BUH	2 Bed + 1 Bath		n/a	1	1	1	1	1	1	6	72 SQM	434 SQM	3.8%
B2 - BUH	2 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	71 SQM	356 SQM	3.2%
B1 - BUH	2 Bed + 1 Bath		n/a	1	1	1	1	1	1	6	71 SQM	424 SQM	3.8%
B1 alt - BUH	2 Bed + 1 Bath		n/a	1	1	1	1	1	1	6	73 SQM	440 SQM	3.8%
C - BUH	1 Bed + 1 Bath + Den	1 Bed+1 Bath+Den: No target	n/a	1	0	0	0	0	0	1	72 SQM	72 SQM	0.6%
C alt 1 - BUH	1 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	71 SQM	355 SQM	3.2%
C alt 2 - BUH	1 Bed + 1 Bath + Den		n/a	0	1	1	1	1	1	5	70 SQM	350 SQM	3.2%
C1 - BUH	1 Bed + 1 Bath + Den		n/a	1	1	1	1	1	1	6	65 SQM	392 SQM	3.8%
C1 alt 1 - BUH	1 Bed + 1 Bath + Den		n/a	1	1	1	1	1	1	6	67 SQM	400 SQM	3.8%
D - BUH	3 Bed + 2 Bath - Corner	3 Bed+ 2 Bath min.: 91.0 sqm // 30% Mix	n/a	1	2	2	2	2	2	11	94 SQM	1,030 SQM	7.1%
D1 - BUH	3 Bed + 2 Bath - Corner		n/a	2	4	4	4	4	4	22	93 SQM	2,056 SQM	14.1%
F - BUH	Studio	Studio+1 Bath: 37.2 sqm // 10% Mix	n/a	2	2	2	2	2	2	12	41 SQM	486 SQM	7.7%
F1 - BUH	Studio		n/a	1	1	1	1	1	1	6	43 SQM	256 SQM	3.8%
Homes / Floor				21	27	27	27	27	27	156 Hms			
Home Area / Floor				1,331 SQM	1,836 SQM	1,836 SQM	1,836 SQM	1,836 SQM	1,836 SQM			10,513 SQM	Home Area
Common Space				215 SQM	189 SQM	189 SQM	189 SQM	189 SQM	189 SQM			1,158 SQM	
Entry, Vestibule, Elev. Lobby, Lounge				97 SQM								97 SQM	
Amenity Space 1, 2 & 3				260 SQM							260 SQM		
Amenity Washrooms				17 SQM							17 SQM		
Amenity Storage				13 SQM							13 SQM		
Amenity Kitchen				13 SQM							13 SQM		
Rental Office				22 SQM							22 SQM		
Common Stairways				45 SQM	30 SQM	30 SQM	30 SQM	30 SQM	30 SQM			195 SQM	
Common Elevator Shafts				15 SQM	15 SQM	15 SQM	15 SQM	15 SQM	15 SQM			89 SQM	
Common Service Rooms				93 SQM	9 SQM	9 SQM	9 SQM	9 SQM	9 SQM			140 SQM	
Excludable Area (4.6.2) = 1.86m2 per BUH Home				39 SQM	50 SQM	50 SQM	50 SQM	50 SQM	50 SQM			n/a	
*Not Included in Gross Floor Area													
GROSS FLOOR AREA				2,120 SQM	2,079 SQM	2,079 SQM	2,079 SQM	2,079 SQM	2,079 SQM			12,517 SQM	
RESIDENTIAL NET EFFICIENCY				63%	88%	88%	88%	88%	88%			84.0%	
Total Gross Building Area												12,517 SQM	Gross Area
FAR & Amenity Calculation				FSR & AREA - PROPOSED EXCLUSIONS Amenity Space 1, 2 & 3 260 SQM Amenity Washrooms 17 SQM Amenity Storage 13 SQM Amenity Kitchen 13 SQM Rental Office 22 SQM Common Stairways (excluding ground floor) 151 SQM Common Elevator Shafts (excluding ground floor) 74 SQM Common Service Rooms 140 SQM Excludable Area (4.6.2) = 1.86m2 per BUH Home 290 SQM <hr/> 979 SQM Total Excluded <hr/> AMENITY REQUIREMENTS Indoor Amenity Required (2sqm/Home) 312 SQM Provided: 324 SQM Total Indoor Amenity 12 SQM over/(under) Outdoor Amenity Required (6sqm/Home) 936 SQM <i>See project stats for outdoor amenity</i>									
FAR - Net Building Area												11,538 SQM	FAR Area

BUH Home Number	156 Hms	156 Hms	Homes
Saleable - Home Area - Req'd	10,488 SQM Req'd	10,513 SQM	25 SQM
City of Richmond - Affordable Housing Requirements			
Unit Areas Minimums		Unit Mix Requirements	
Type	Area	Type	Required Target
Studio	400 SF [37sm]	Studio	80% 10%
1 Bed	535 SF [50sm]	1 Bed	15% 30%
2 Bed	741 SF [69sm]	2 Bed	5% 30%
3 Bed	980 SF [91sm]	3 Bed	5% 30%
*CDR - Rezoning Application Response: July 7, 2019			
	Target	Actual	Over / (under)
Gross Floor Area	12,476 SQM	12,517 SQM	41 SQM
Amenity Area	312 SQM	324 SQM	
GFA exc Amenity	12,123 SQM	12,193 SQM	
	Target	Actual	Over / (under)
FAR - Net Area	12,123 SQM	11,538 SQM	(585) SQM

Statistics: Building 2

Bldg 2: Market Rental Housing

DP Plan # 4
May 30, 2023
DP 22-015851

Talistar - Bldg 2: Market Rental Housing
Multi-family Residential Development - City of Richmond, BC

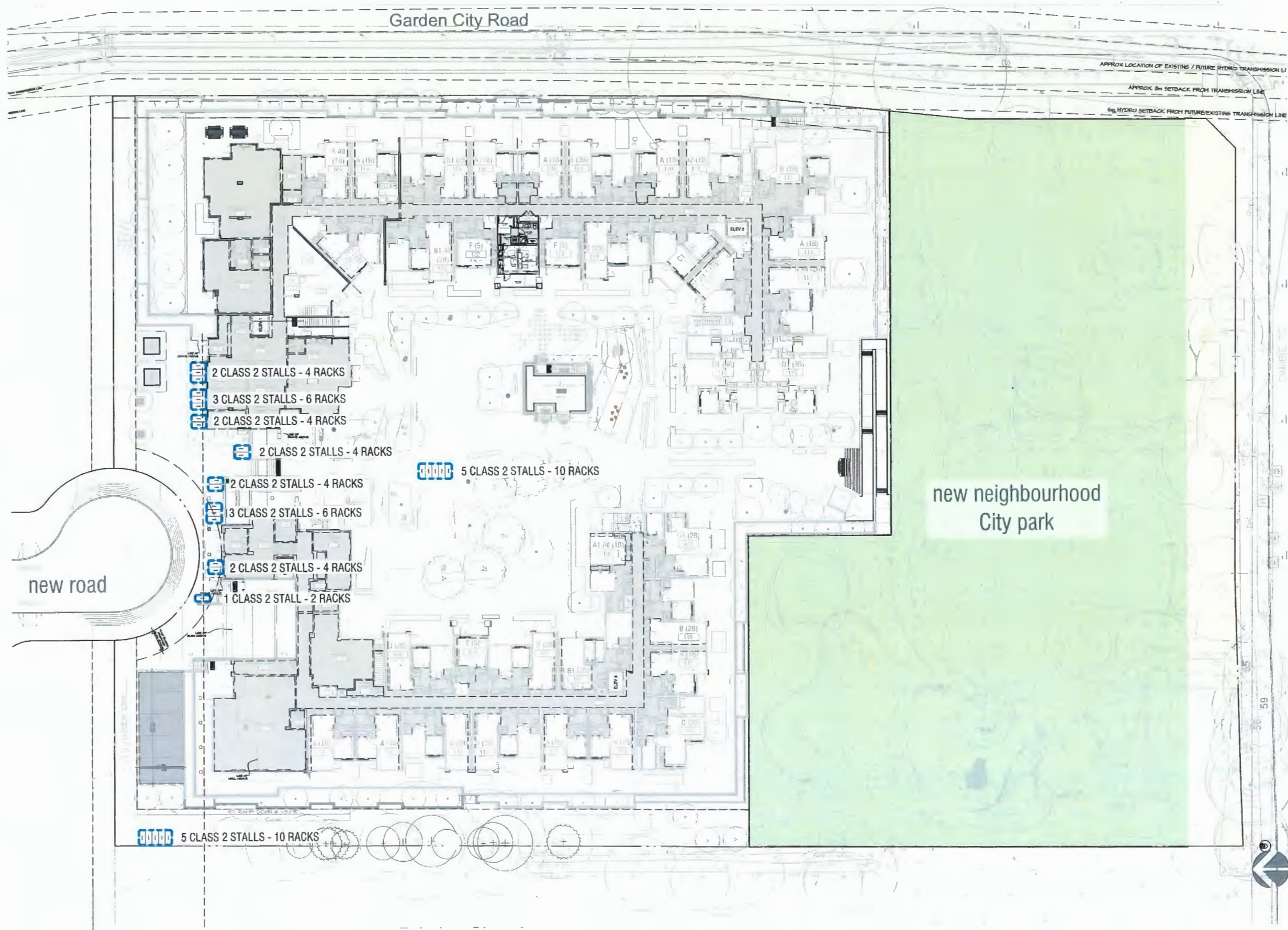
Building 2: Market Rental Housing

Home Type	Description	Targets	P1	1st Floor	2nd Floor	3rd Floor	4th Floor	5th Floor	6th Floor	Total Homes	Home Areas	Total Area	Home Mix			
A - BUH	1 Bed + 1 Bath	1 Bed+1 Bath: 55.7 sqm // 10% Mix	n/a	5	5	5	5	5	5	30	51 SQM	1,533 SQM	25.0%			
A alt - BUH	1 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	52 SQM	262 SQM	4.2%			
A1 - BUH	1 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	57 SQM	284 SQM	4.2%			
A1 alt - BUH	1 Bed + 1 Bath		n/a	1	1	1	1	1	1	6	54 SQM	326 SQM	5.0%			
B - BUH	2 Bed + 1 Bath	2 Bed+1 Bath: 69.7 sqm // 35% Mix	n/a	5	5	5	5	5	5	30	70 SQM	2,107 SQM	25.0%			
B alt - BUH	2 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	72 SQM	360 SQM	4.2%			
B1 alt - BUH	2 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	76 SQM	382 SQM	4.2%			
B1 - BUH	2 Bed + 1 Bath		n/a	1	1	1	1	1	1	6	78 SQM	470 SQM	5.0%			
B2 - BUH	2 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	75 SQM	375 SQM	4.2%			
C - BUH	2 Bed + 2 Bath - Corner	2 Bed+2 Bath: 76.2 sqm // 35% Mix	n/a	1	2	2	2	2	2	11	84 SQM	919 SQM	9.2%			
C1 - BUH	2 Bed + 2 Bath - Corner		n/a	1	1	1	1	1	1	6	74 SQM	445 SQM	5.0%			
F - BUH	Studio		n/a	1	1	1	1	1	1	6	40 SQM	237 SQM	5.0%			
Homes / Floor				15	21	21	21	21	21	120 Hms						
Home Area / Floor				937 SQM	1,353 SQM	1,353 SQM	1,353 SQM	1,353 SQM	1,353 SQM			7,701 SQM	Home Area			
Common Space				181 SQM	166 SQM	166 SQM	166 SQM	166 SQM	166 SQM			1,012 SQM				
Entry Vestibule, Lobby & Lounge				64 SQM								64 SQM				
Amenity Space 1, 2 & 3				245 SQM								245 SQM				
Amenity Storage				9 SQM								9 SQM				
Amenity Washrooms				6 SQM								6 SQM				
Rental Office				13 SQM								13 SQM				
Common Stairways				41 SQM	32 SQM	32 SQM	32 SQM	32 SQM	32 SQM			199 SQM				
Common Elevator Shafts				15 SQM	15 SQM	15 SQM	15 SQM	15 SQM	15 SQM			88 SQM				
Common Service Rooms				61 SQM	16 SQM	16 SQM	16 SQM	16 SQM	16 SQM			143 SQM				
Excludable Area (4.6.2) = 1.86m2 per BUH Home		*Not included in Gross Floor Area		28 SQM	39 SQM	39 SQM	39 SQM	39 SQM	39 SQM			n/a				
GROSS FLOOR AREA				1571 SQM	1582 SQM	1582 SQM	1582 SQM	1582 SQM	1582 SQM			9,480 SQM				
RESIDENTIAL NET EFFICIENCY				60%	86%	86%	86%	86%	86%			81.2%				
Total Gross Building Area												9,480 SQM	Gross Area			
FAR & Amenity Calculation				FSR & AREA - PROPOSED EXCLUSIONS												
				Amenity Space 1, 2 & 3									245 SQM			
				Amenity Storage									9 SQM			
				Amenity Washrooms									6 SQM			
				Rental Office									13 SQM			
				Common Stairways (excluding ground floor)									158 SQM			
				Common Elevator Shafts (excluding ground floor)									73 SQM			
				Common Service Rooms									143 SQM			
				Excludable Area (4.6.2) = 1.86m2 per BUH Home									223 SQM			
				870 SQM Total Excluded									870 SQM	Total Excl.		
				AMENITY REQUIREMENTS												
				Indoor Amenity Required (2sqm/Home)									240 SQM	Provided:	273 SQM Total Indoor Amenity	33 SQM over/(under)
				Outdoor Amenity Required (6sqm/Home)									720 SQM		See project stats for outdoor amenity	
FAR - Net Building Area												8,609 SQM	FAR Area			

Building 2: Market Rental Housing

updated May 30, 2023

Description	Target	Actual	Over / (under)
1 Bed + 1 Bath	10.0%	38%	46 Hms
2 Bed + 1 Bath	35.0%	43%	51 Hms
2 Bed + 2 Bath	10.0%	14%	17 Hms
Studio	n/a	5%	6 Hms
BUH Home Number	120 Hms	120 Hms	- Homes
Saleable - Home Area - Min.	n/a	7,701 SQM	n/a
* Home Number: Min 116 + 10% of Bldg 1 over 150 Homes			
	Required per COR	Actual	Over / (under)
Gross Floor Area	8,735 SQM	9,480 SQM	745 SQM
Amenity Area	240 Req'd	273 SQM	
GFA extc Amenity	n/a	9,207 SQM	
	Target	Actual	Over / (under)
FAR - Net Area	n/a SQM	8,609 SQM	n/a SQM



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- Revisions:
- Dec 4, 2020 Issued for Rezoning
 - Dec 23, 2020 Update 2: Issued for Rezoning
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 - March 8, 2023 Resubmission #3 for Development Permit
 - May 30, 2023 Response to comments from Resubmission #3 for Development Permit

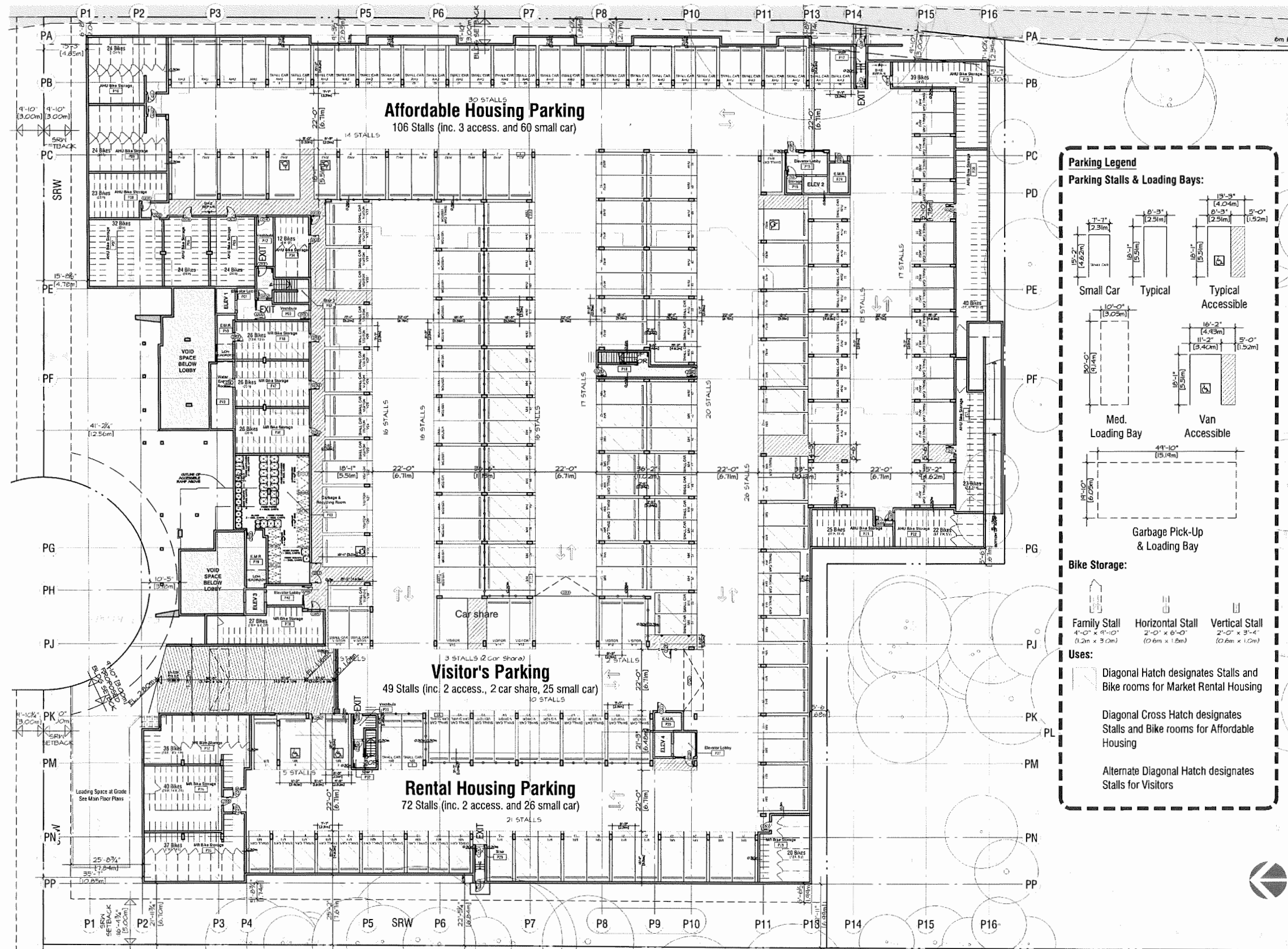
DP Plan # 5
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Bike Storage Plan
Scale: 1" = 40'-0"
May 30, 2023

A-0.16



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Dec 4, 2020
 Issued for Rezoning
 Dec 23, 2020
 Update 2: Issued for Rezoning
 June 17, 2022
 Development Permit
 Submission
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 Development Permit
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 Resubmission #3 for
 Development Permit
 May 30, 2023
 Response to comments from
 Resubmission #3 for
 Development Permit

DP Plan # 6
 May 30, 2023
 DP 22-015851

Parking Legend

Parking Stalls & Loading Bays:

- Small Car: 15'-2" (4.62m) x 8'-3" (2.51m)
- Typical: 19'-1" (5.81m) x 8'-3" (2.51m)
- Typical Accessible: 19'-1" (5.81m) x 5'-0" (1.52m)
- Med. Loading Bay: 10'-0" (3.05m) x 30'-0" (9.14m)
- Van Accessible: 16'-2" (4.93m) x 11'-2" (3.40m) x 5'-0" (1.52m)
- Garbage Pick-Up & Loading Bay: 44'-10" (13.67m) x 18'-10" (5.74m)

Bike Storage:

- Family Stall: 4'-0" x 9'-0" (1.2m x 3.0m)
- Horizontal Stall: 2'-0" x 6'-0" (0.6m x 1.8m)
- Vertical Stall: 2'-0" x 3'-4" (0.6m x 1.2m)

Uses:

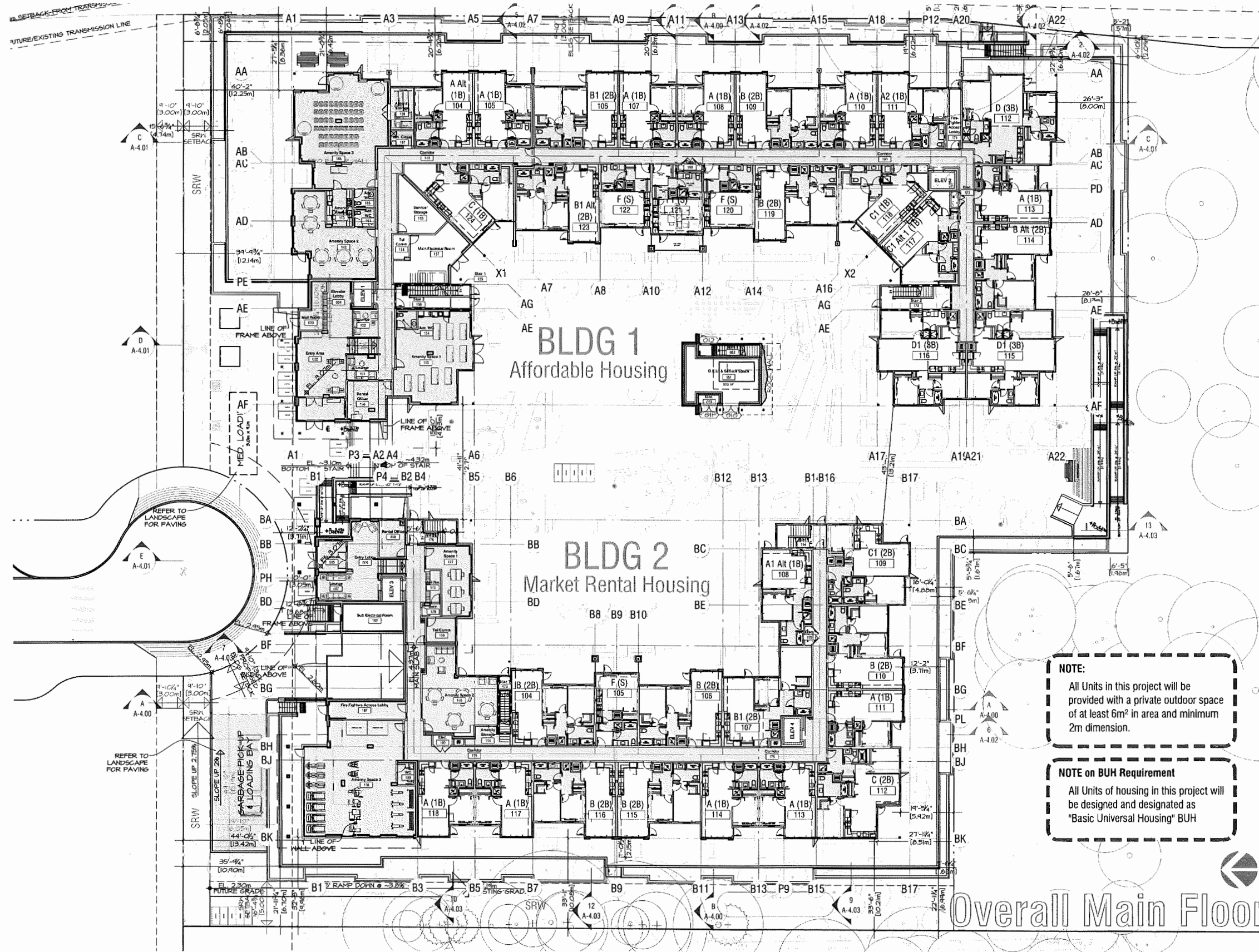
- Diagonal Hatch designates Stalls and Bike rooms for Market Rental Housing
- Diagonal Cross Hatch designates Stalls and Bike rooms for Affordable Housing
- Alternate Diagonal Hatch designates Stalls for Visitors



TALISMAN
 AFFORDABLE & RENTAL HOUSING
 Cambie & Garden City Rd.
 Richmond, B.C.

Parking Overall Plan
 Scale: 1/32" = 1'-0"
 May 30, 2023

A-1.00



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Revision:

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DP Plan # 7
 May 30, 2023
 DP 22-015851



TALISMAN
 AFFORDABLE & RENTAL HOUSING

Cambie & Garden City Rd.
 Richmond, B.C.

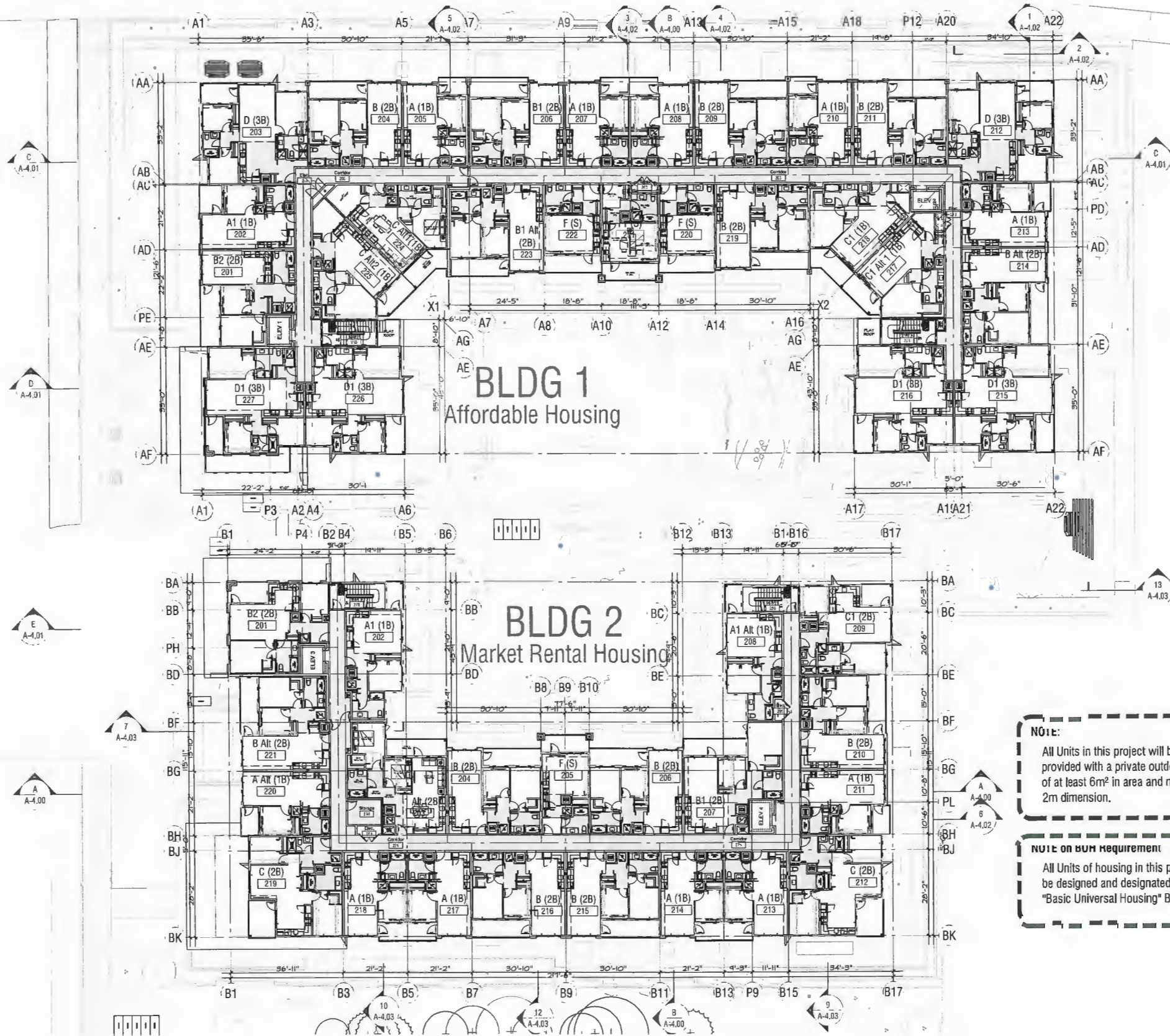
Level 1 - Main Floor
 Overall Plan

Scale: 1/32" = 1'-0"
 May 30, 2023

NOTE:
 All Units in this project will be provided with a private outdoor space of at least 6m² in area and minimum 2m dimension.

NOTE on BUH Requirement
 All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH

Overall Main Floor **A-1.01**



BLDG 1
Affordable Housing

BLDG 2
Market Rental Housing

NOTE:
All Units in this project will be provided with a private outdoor space of at least 6m² in area and minimum 2m dimension.

NOTE ON BUH Requirement:
All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH



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Revision:
Dec 4, 2020
Issued for Rezoning
Dec 23, 2020
Update 2: Issued for Rezoning
June 17, 2022
Development Perm t
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November 21, 2022
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Resubmission #2 for
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March 8, 2023
Resubmission #3 for
Development Perm t
May 30, 2023
Response to comments from
Resubmission #3 for
Development Perm t

DP Plan # 8
May 30, 2023
DP 22-015851

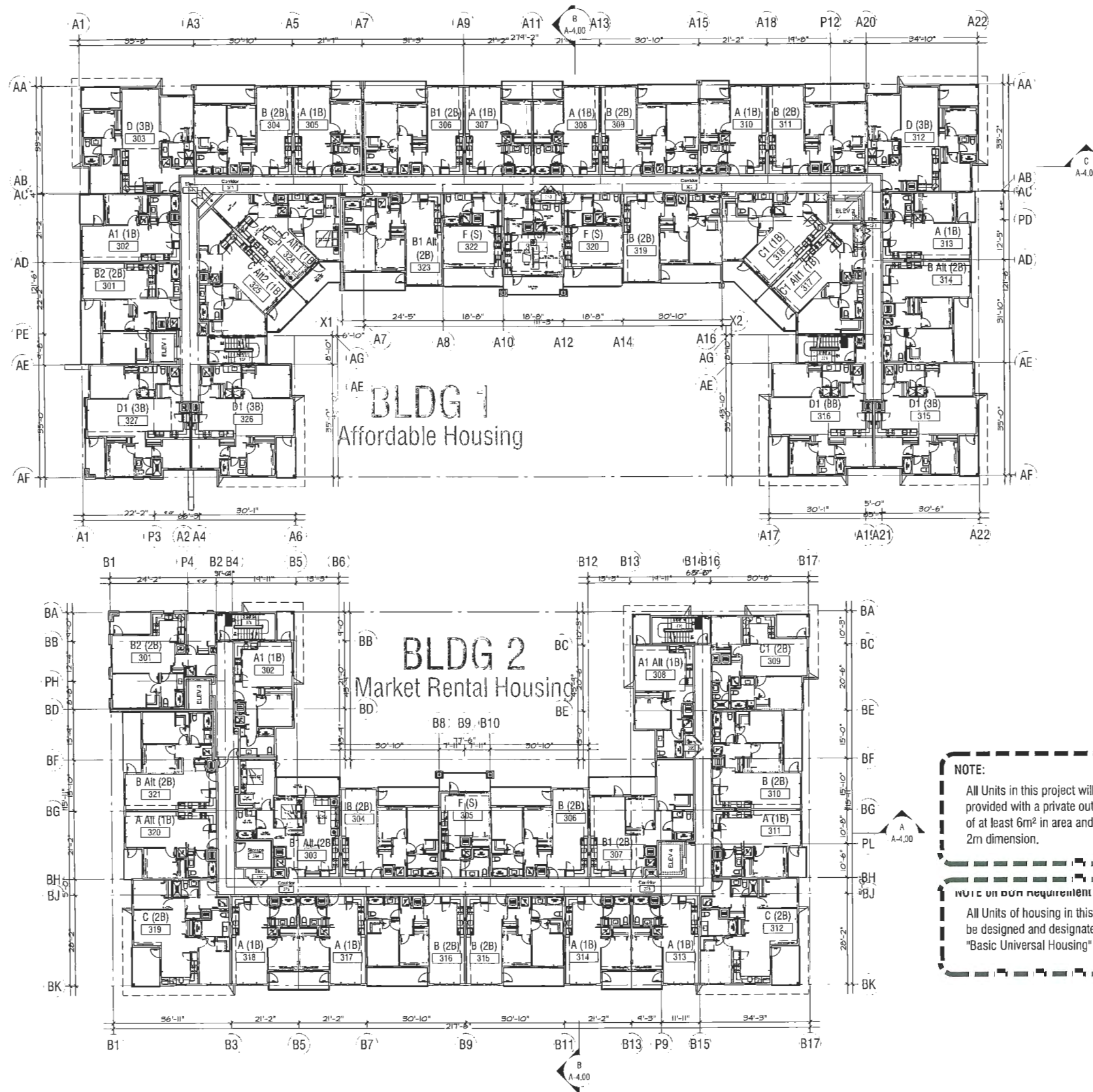


TALISMAN
AFFORDABLE HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Level 2
Overall Plan

Scale: 1/32" = 1'-0"
May 30, 2023

A-1.02



dc
ARCHITECTS INCORPORATED
1155 West 8th Avenue, Vancouver, BC V6H 2Y6

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Project:
Dec 4, 2020
Issued for Rezoning
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June 17, 2022
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Response to comments from Resubmission #3 for Development Permit

DP Plan # 9
May 30, 2023
DP 22-015851



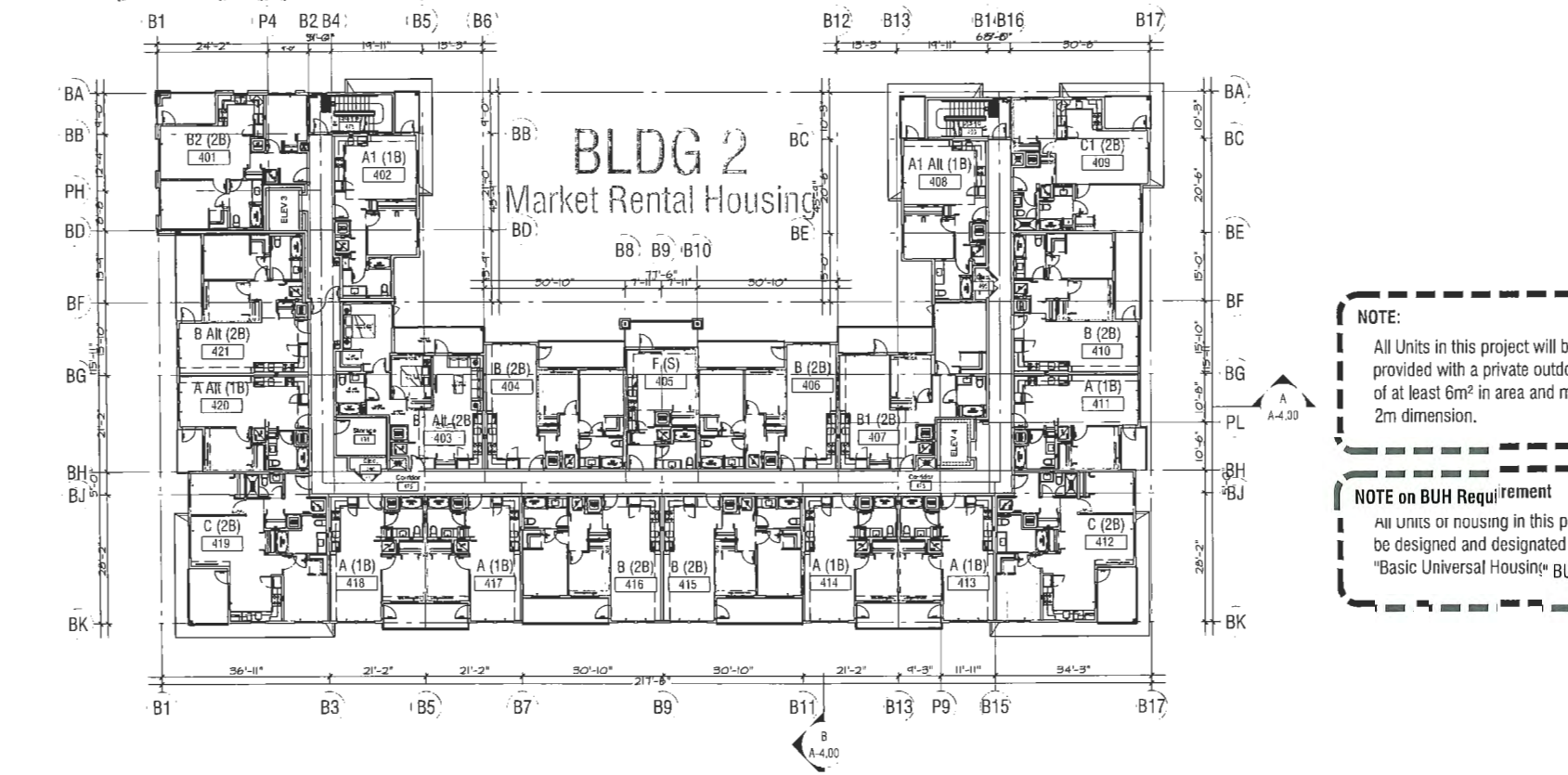
TALISMAN
A POLYGON HOMES PROJECT
Cambie & Garden City Rd.
Richmond, B.C.

Level 3
Overall Plan
Scale: 1/32" = 1'-0"
May 30, 2023

NOTE:
All Units in this project will be provided with a private outdoor space of at least 6m² in area and minimum 2m dimension.

NOTE ON BUH requirement:
All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH

A-1.03



NOTE:
All Units in this project will be provided with a private outdoor space of at least 6m² in area and minimum 2m dimension.

NOTE on BUH Requirement
All units or housing in this project will be designed and designated as "Basic Universal Housing" BUH



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Dec 4, 2020
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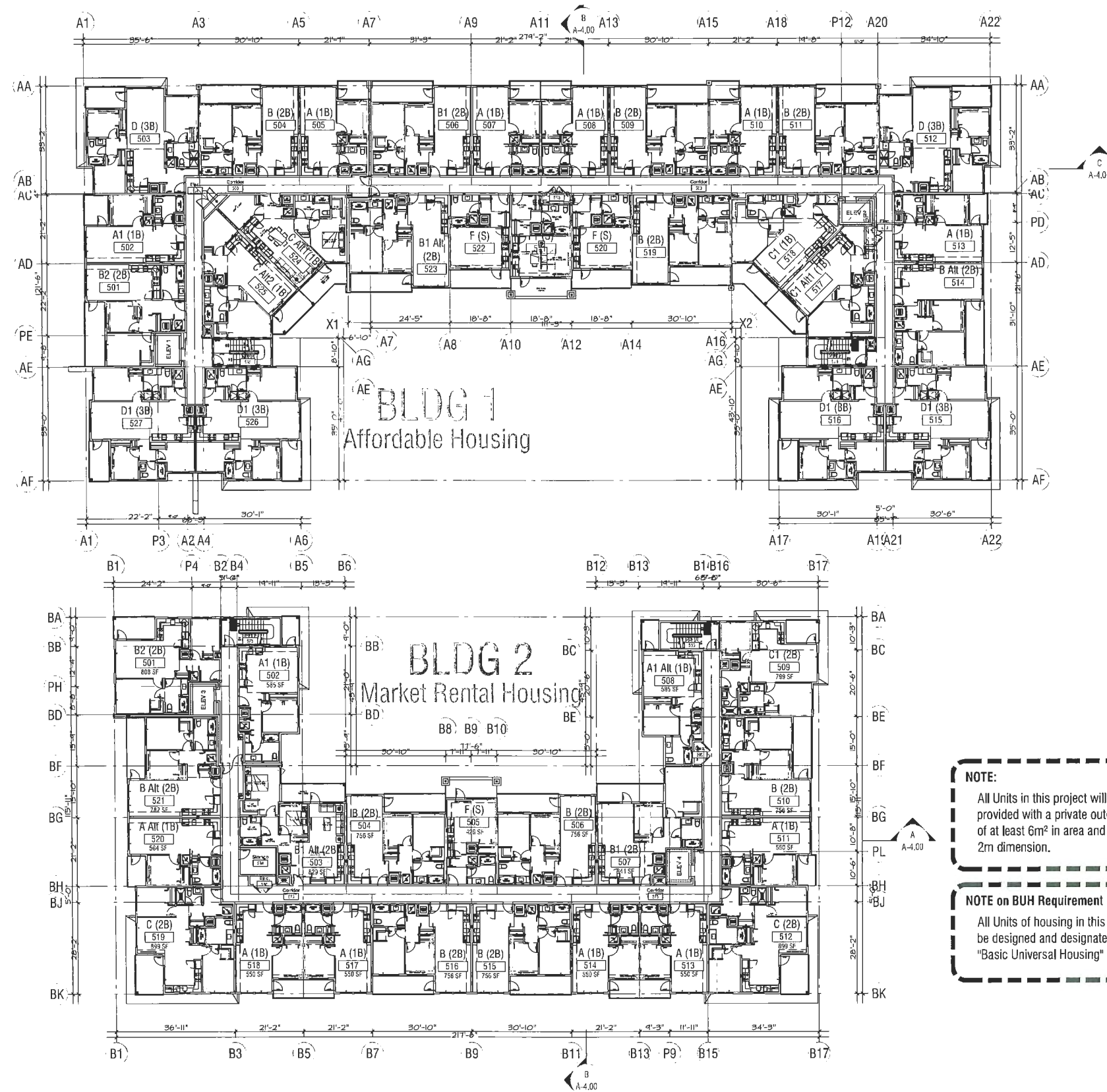
DP Plan # 10
May 30, 2023
DP 22-015851



POLYGON HOMES
TALISMAN
A DEVELOPMENT BY POLYGON
Cambie & Garden City Rd.
Richmond, B.C.

Level 4
Overall Plan
Scale: 1/32" = 1'-0"
May 30, 2023

A-1.04



C
A-4.01

D
A-4.01

C
A-4.01

A
A-4.00

B
A-4.00

C
A-4.01

A
A-4.00



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May 30, 2023
Response to comments from Resubmission #3 for Development Permit

DP Plan # 11
May 30, 2023
DP 22-015851

NOTE:
All Units in this project will be provided with a private outdoor space of at least 6m² in area and minimum 2m dimension.

NOTE on BUH Requirement
All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH

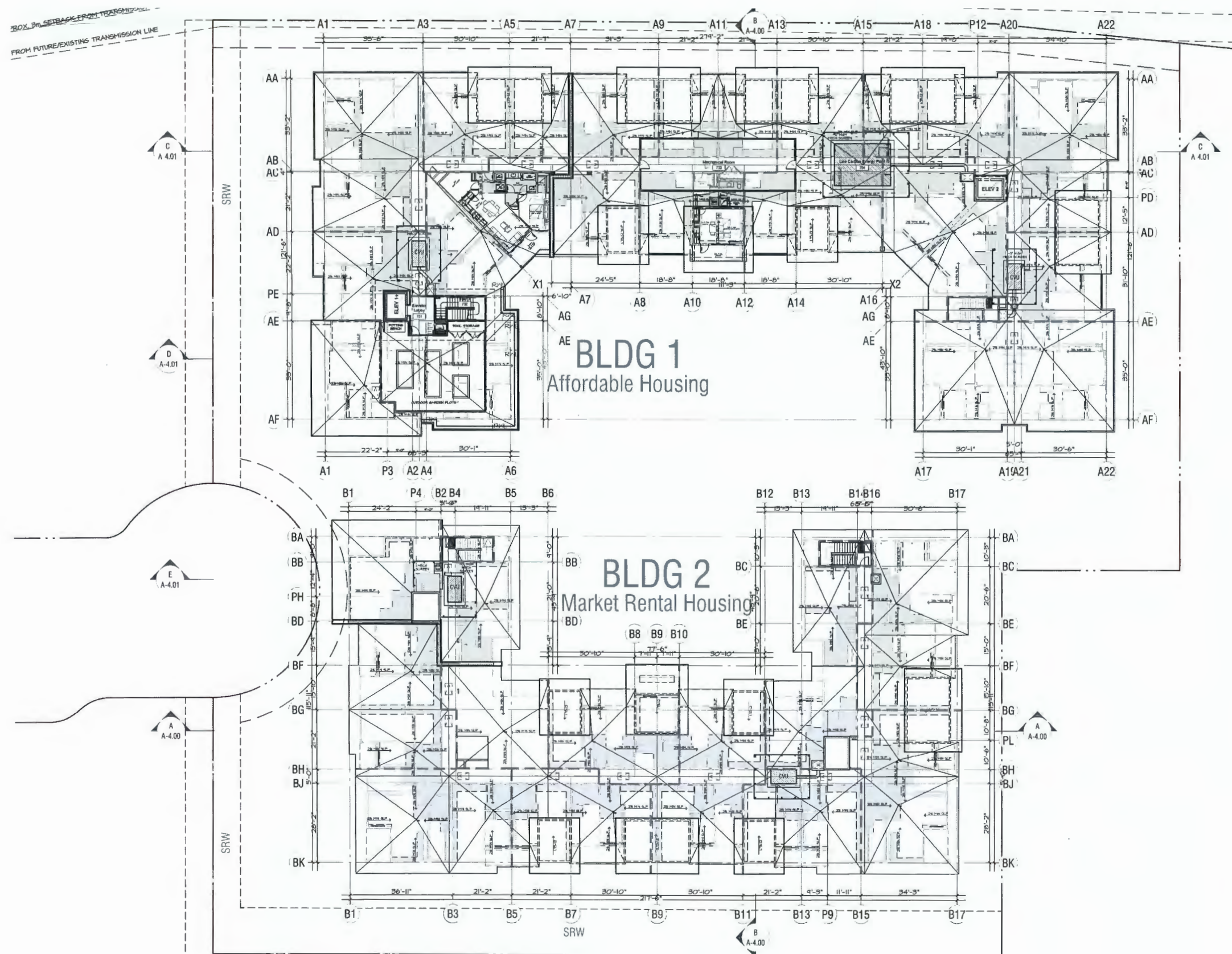


TALISMAN
A 1113 10th Ave S, Vancouver BC V6Z 1Y6
Cambie & Garden City Rd.
Richmond, B.C.

Level 5
Overall Plan
Scale: 1/32" = 1'-0"
May 30, 2023

A-1.05

30'-0" SETBACK FROM TRANSMISSION LINE
FROM FUTURE/EXISTING TRANSMISSION LINE



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- Revisions:
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 - May 30, 2023 Response to comments from Resubmission #3 for Development Permit

DP Plan # 13
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Camble & Garden City Rd.
Richmond, B.C.

Roof & Access
Overall Plan
Scale: 1/32" = 1'-0"
May 30, 2023



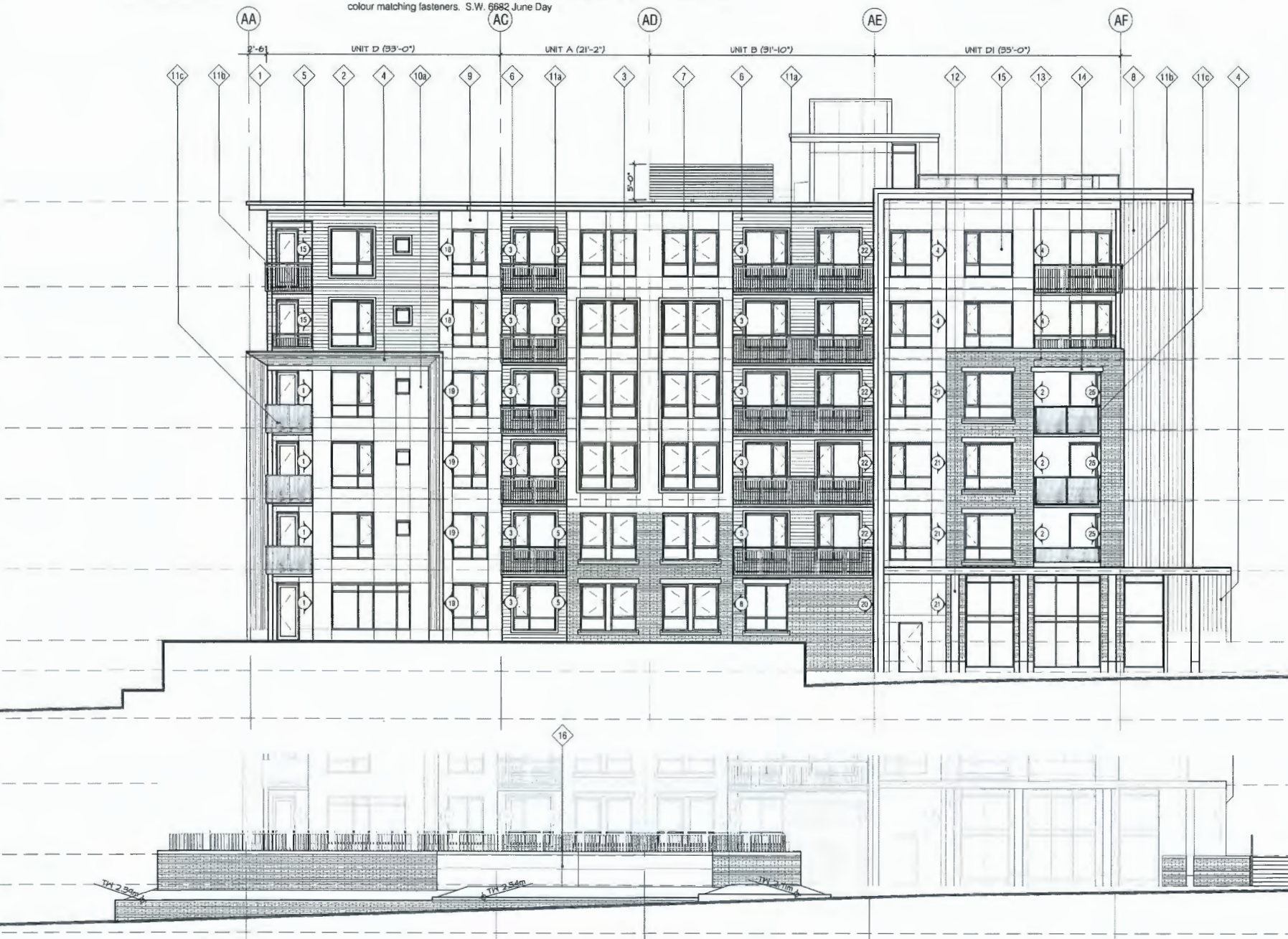
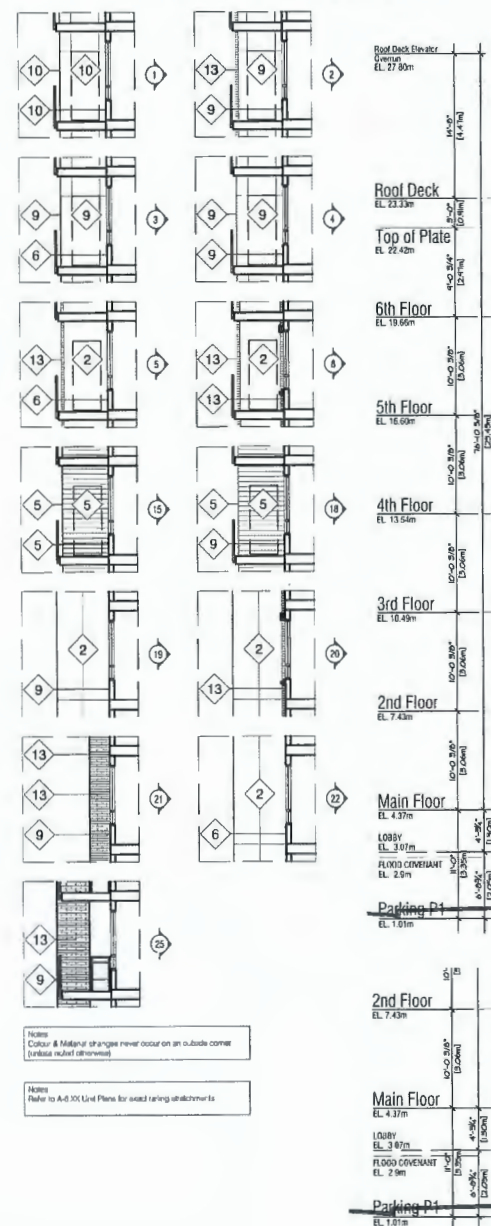
A-1.07

Material Legend

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Ahabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
- 13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



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Revisions:
 Dec 4, 2020
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 March 8, 2023
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 May 30, 2023
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DP Plan # 14
 May 30, 2023
 DP 22-015851



TALISMAN
 AFFORDABLE & RENTAL HOUSING
 Cambie & Garden City Rd.
 Richmond, B.C.

Elevations
 Bldg 1 North
 Scale: 1/16" = 1'-0"
 May 30, 2023

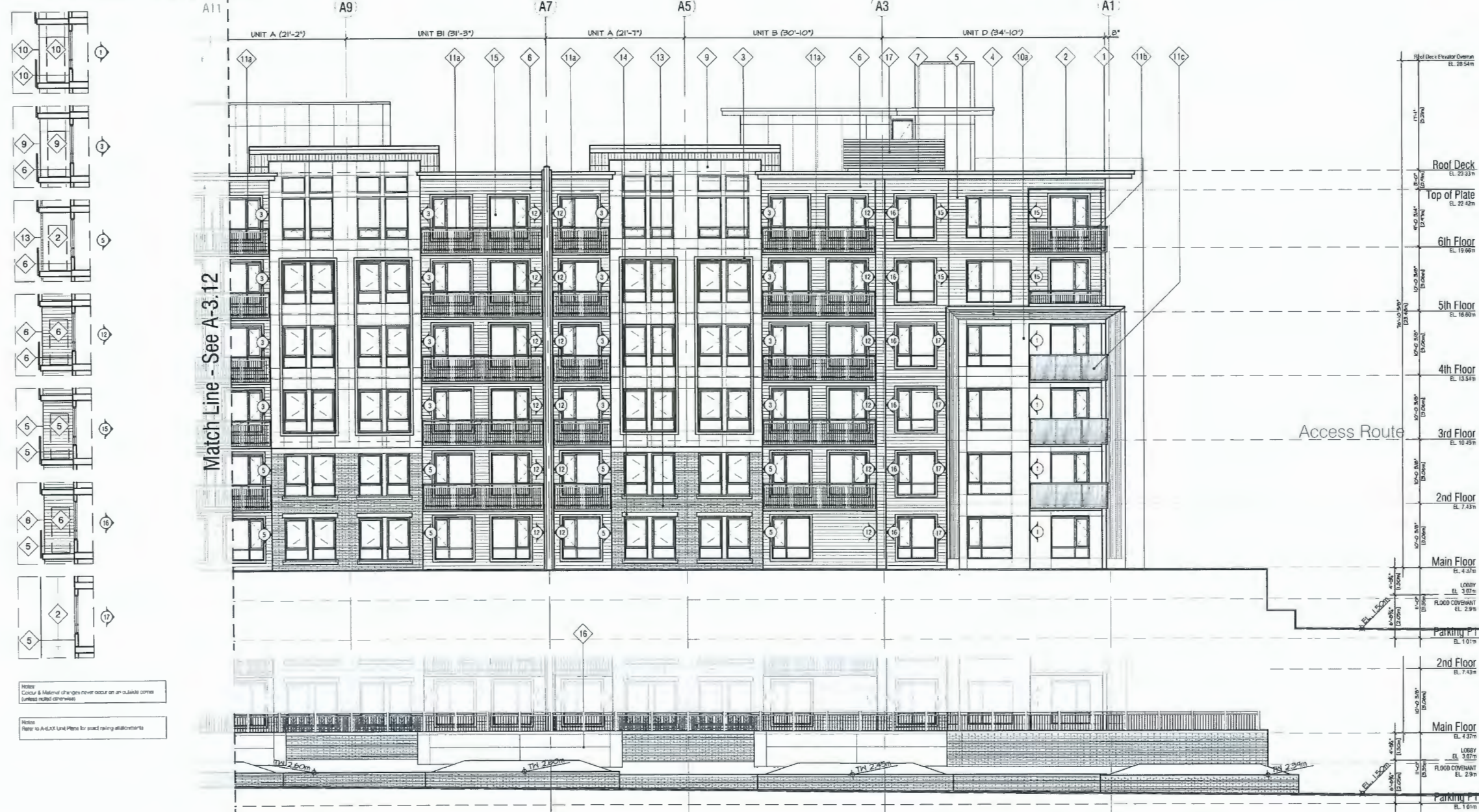
A-3.10

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
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- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
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- 11a **Dark Coloured Metal Guardrails**
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- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels
with Custom Etched or Fritted Design
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Colour Match Woodtone Summer Wheat
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Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Exterior Finish Return Details



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- Rev. 01
- Dec 4, 2020
Issued for Rezoning
- Dec 23, 2020
Update 2: Issued for Rezoning
- June 17, 2022
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- November 21, 2022
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- January 12, 2023
Resubmission #2 for Development Permit
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- May 30, 2023
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DP Plan # 15
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 1 East (1/2)
Scale: 1/16" = 1'-0"
May 30, 2023

A-3.11

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
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- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
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Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
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Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

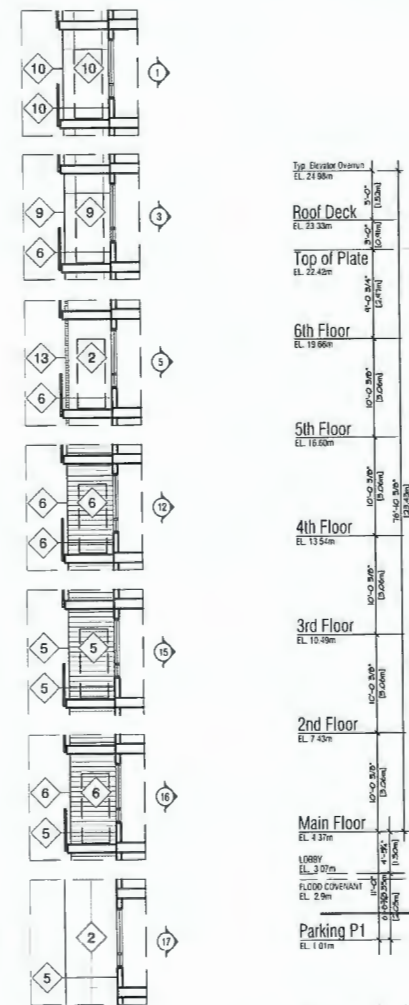


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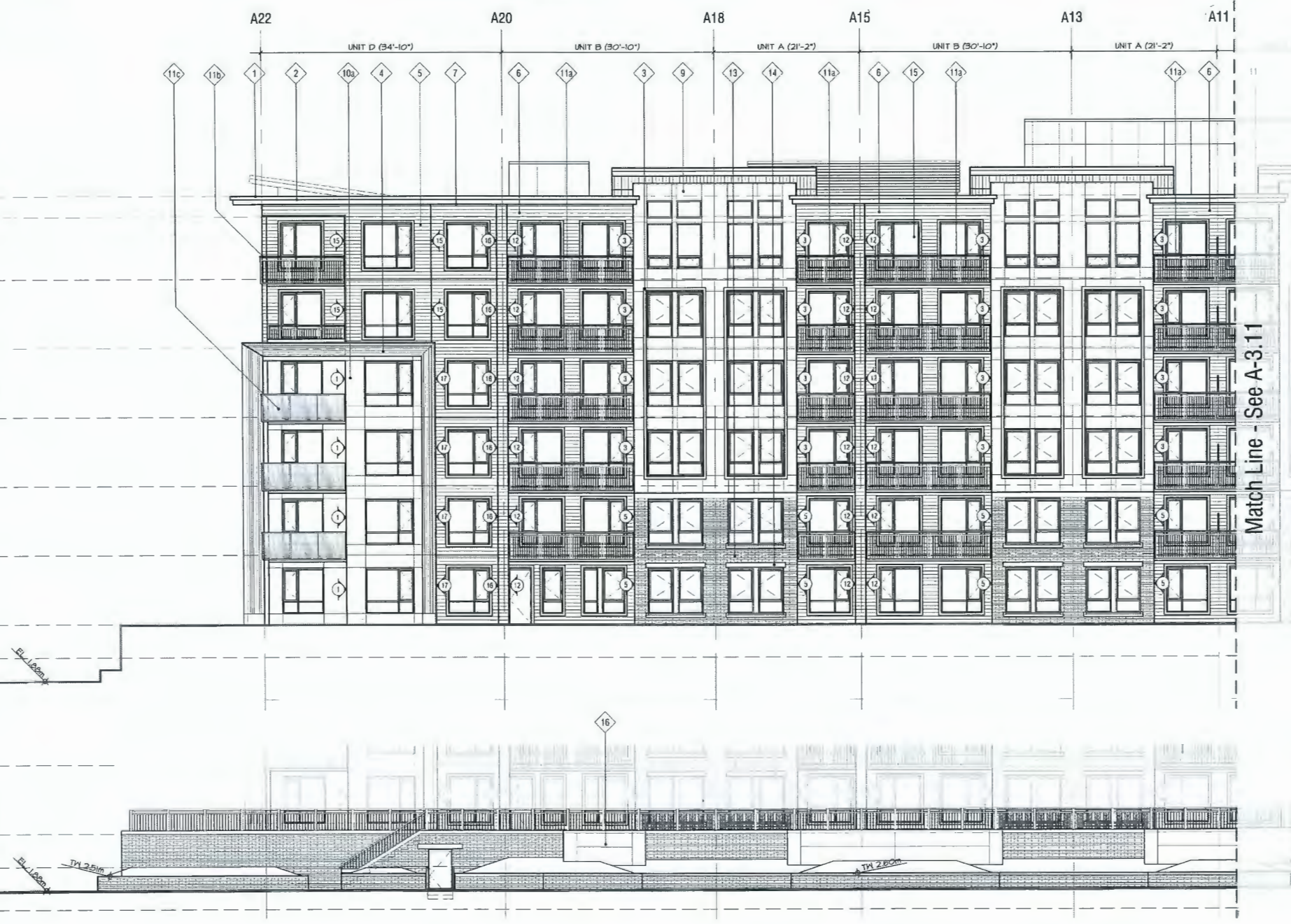
Notes:
 Dec 4, 2020
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 Dec 23, 2020
 Update 2: Issued for Rezoning
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 Development Permit Submission
 November 21, 2022
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 Resubmission #3 for Development Permit
 May 30, 2023
 Response to comments from Resubmission #3 for Development Permit

DP Plan # 16
 May 30, 2023
 DP 22-015851

Exterior Finish Return Details



Notes:
 Colour & Material changes never occur on an outside corner (unless noted otherwise)
 Refer to A-3.12 Unit Plans for exact finishing attachments



TALISMAN
 AFFORDABLE & RENTAL HOUSING
 Cambie & Garden City Rd.
 Richmond, B.C.

Elevations
 Bldg 1 East (2/2)
 Scale: 1/16" = 1'-0"
 May 30, 2023

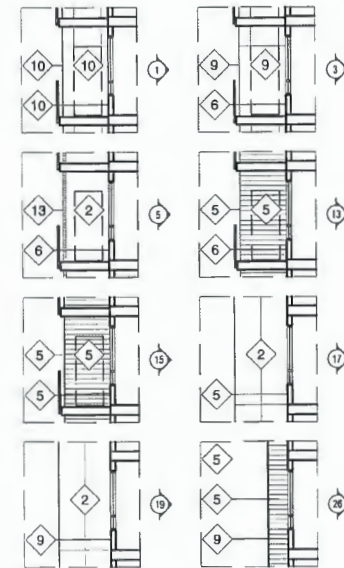
A-3.12

Material Legend

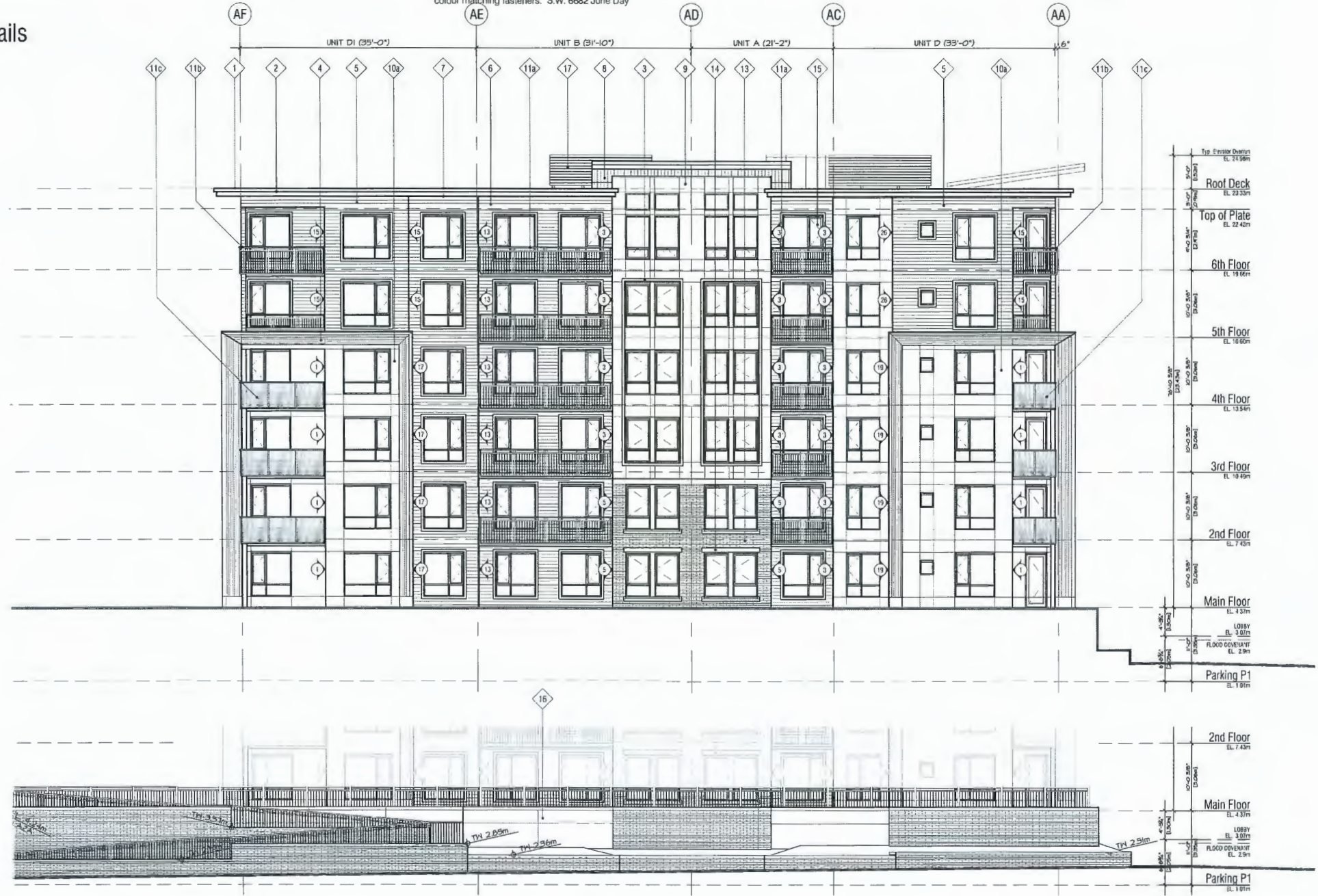
Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
- 13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Exterior Finish Return Details



Notes:
Colour & Material of finishes shown on an object color (unless noted otherwise)
Refer to A-6.1XX Unit Plans for exact railing attachments



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Rev. 1/23
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March 8, 2023 Resubmission #3 for Development Permit
May 30, 2023 Response to comments from Resubmission #3 for Development Permit

DP Plan # 17
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Camble & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 1 South
Scale: 1/16" = 1'-0"
May 30, 2023

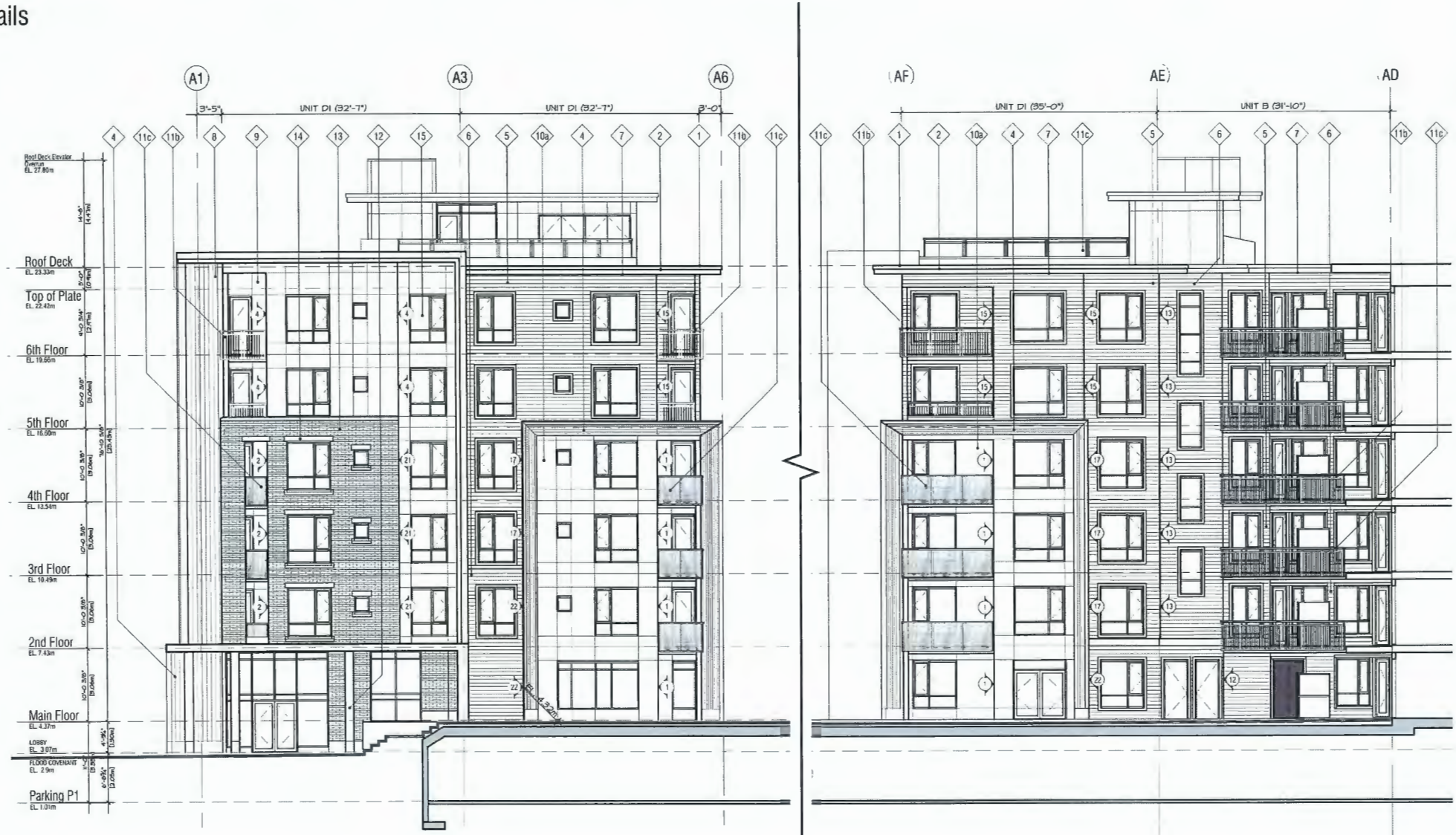
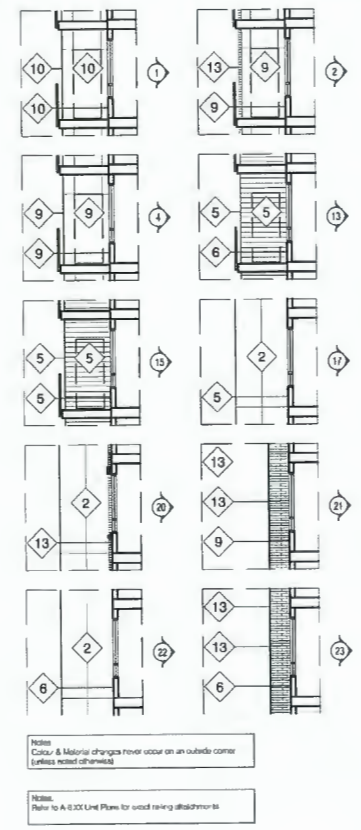
A-3.13

Material Legend

- | | | | | | | |
|---|--|--|--|---|--|---|
| 1 Roofing
2-Ply SBS Roofing
Coloured Light Grey | 4 Feature Cladding: Warm
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat | 7 Soffit: Light
Light Coloured Fibre Cement
B.M. OC-66 Snow White | 10a Feature Panel: Blue
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe | 11a Dark Coloured Metal Guardrails
Cascadia Metals Iron One | 12 Heavy Timber Columns
Colour Match Woodtone Summer Wheat | 15 Windows
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One |
| 2 Fascia & Trim: Dark
1" Fibre Cement
B.M. 2120-30 Witching Hour | 5 Siding & Trims: Light
8" Exposure Fibre Cement
B.M. OC-66 Snow White | 8 Feature Cladding: Neutral
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate | 10b Feature Panel: Green
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis | 11b Light Coloured Metal Guardrail
Cascadia Metals Polar White | 13 Brick: Dark
Manganese Ironspot
Norman Size - Half Running Bond | 16 Architectural Concrete
Painted
B.M. Pigeon Gray Elastomeric Paint |
| 3 Trim & Panel: Neutral
Fibre Cement
B.M. 2119-40 Silver Streak | 6 Siding & Trims: Neutral
8" Exposure Fibre Cement
B.M. CC-816 Athabasca | 9 Panel: Light
Light Coloured Fibre Cement
B.M. OC-66 Snow White | 10c Feature Panel: Yellow
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day | 11c Glass Guard Panel
Laminated Safety Glass Panels
with Custom Etched or Fritted Design | 14 Concrete Lintels: Neutral
Natural Concrete Colour | 17 Mechanical Equipment Screen
Painted Aluminum
Colour white |

Provide samples of all exterior colours & materials for review & approval.

Exterior Finish Return Details



1 Building 1 West Elevation (1/3)
A-3.14 SCALE: 1/16" = 1'-0"

2 Building 1 North Courtyard Elevation
A-3.14 SCALE: 1/16" = 1'-0"



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- Rev 5
- Dec 4, 2020 Issued for Reasoning
- Dec 23, 2020 Update 2: Issued for Reasoning
- June 17, 2022 Development Permit Submission
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DP Plan # 18
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 1 Courtyard (3/3)
Scale: 1/16" = 1'-0"
May 30, 2023

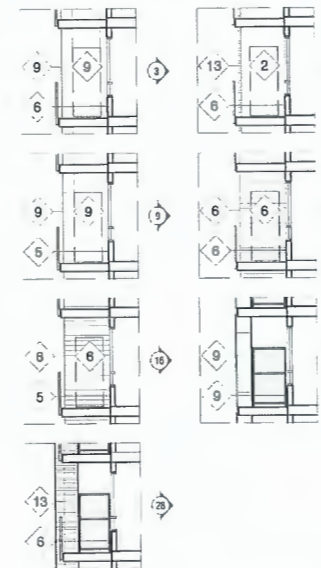
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Material Legend

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
Fibre Cement Panel, 5/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-590 Luxe
- 10b **Feature Panel: Green**
Fibre Cement Panel, 5/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 5/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
- 13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



Notes:
Colour & texture of material shown occur on an outside corner unless noted otherwise.
Refer to A-6 X1 Unit Plans for exact railing attachments.



1 Building 1 West Elevation (2/3)
A-3.15 SCALE: 1/16" = 1'-0"



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Rev. 1
Dec 4, 2020 Issued for Rezoning
Dec 23, 2020 Update 2: Issued for Rezoning
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May 30, 2023 Response to comments from Resubmission #3 for Development Permit

DP Plan # 19
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 1 Courtyard (2/3)
Scale: 1/16" = 1'-0"
May 30, 2023

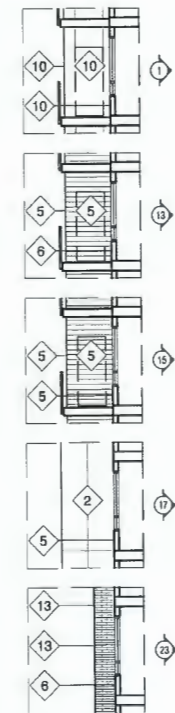
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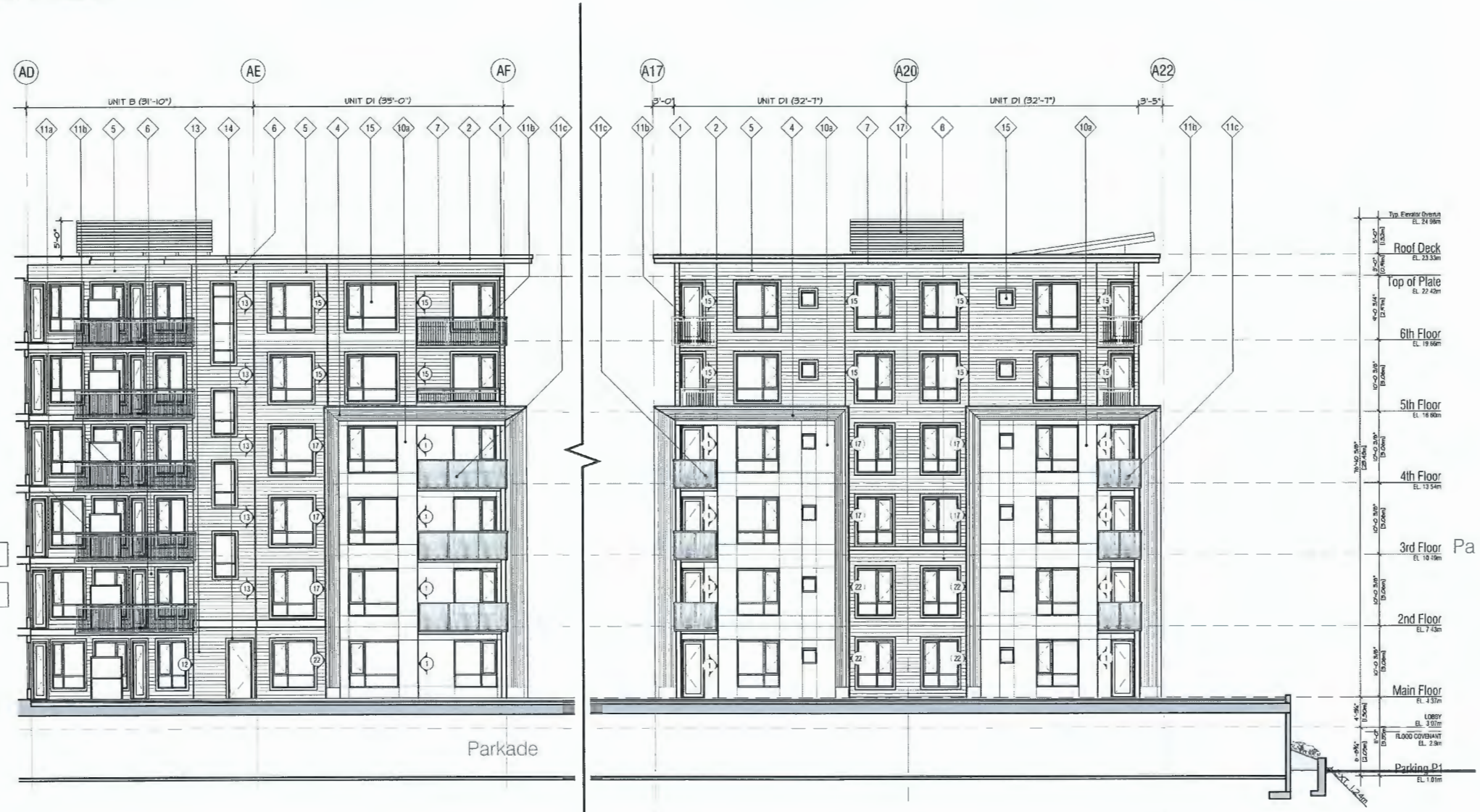
Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-616 Alhabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
- 13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Exterior Finish Return Details



Notes:
Colour & Material changes never occur on an outside corner without noted otherwise.
Refer to A-3.16 Unit Plans for noted raising elevations.



1 Building 1 South Courtyard Elevation
A-3.16 SCALE: 1/16" = 1'-0"

2 Building 1 West Elevation (3/3)
A-3.16 SCALE: 1/16" = 1'-0"



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DP Plan # 20
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 1 Courtyard (3/3)
Scale: 1/16" = 1'-0"
May 30, 2023

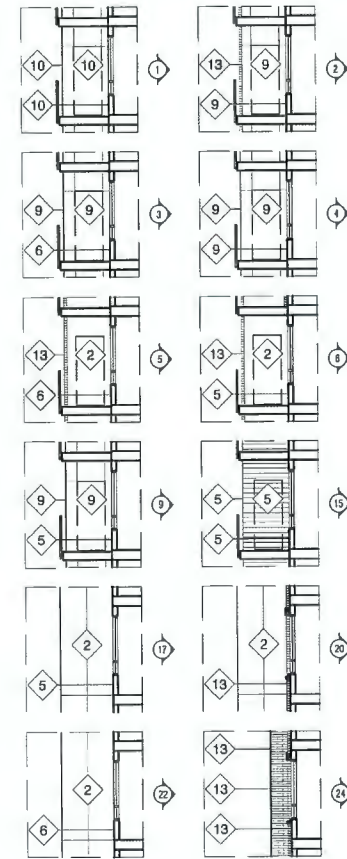
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Material Legend

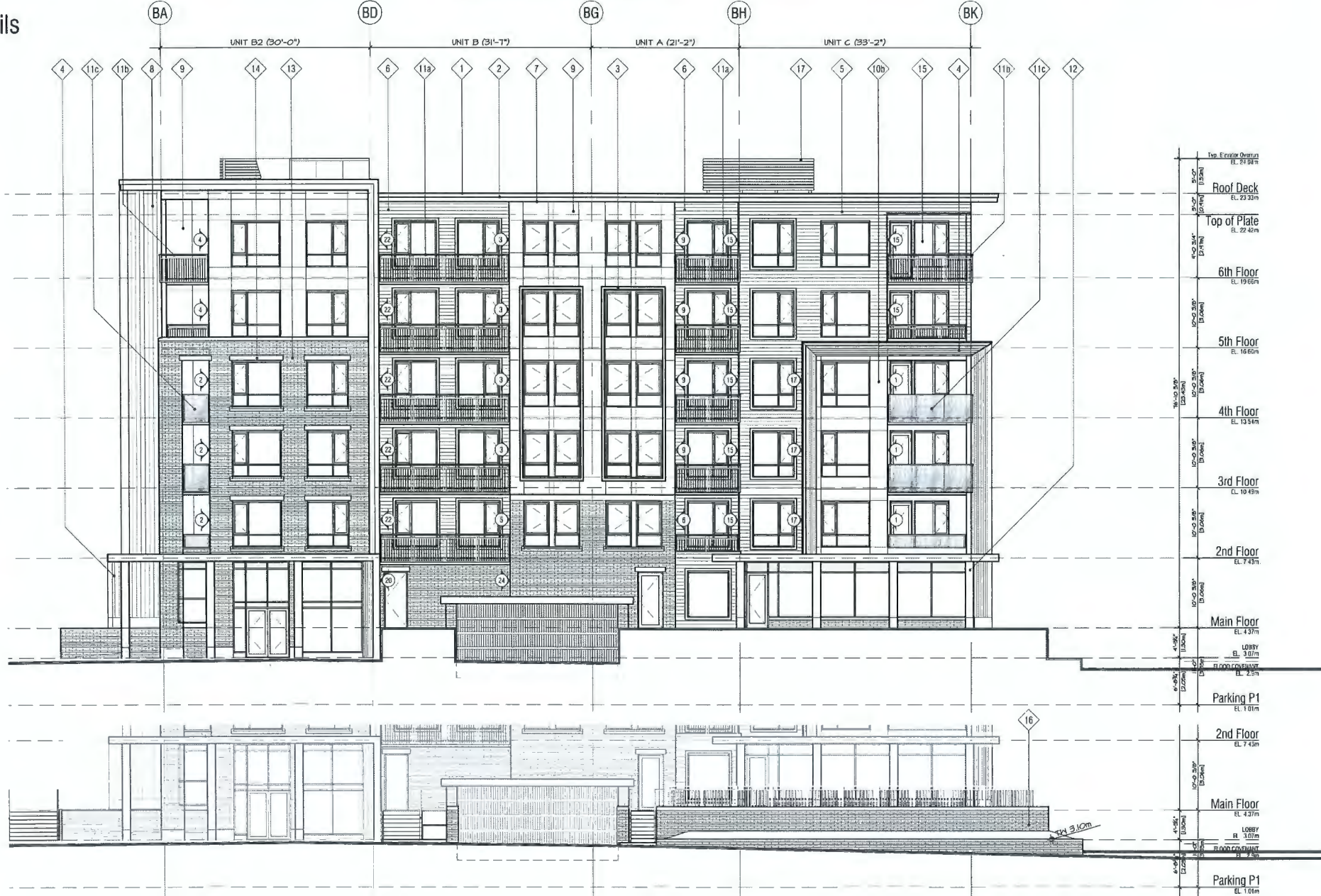
Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
- 13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Exterior Finish Return Details



Notes:
Colour & Material changes never occur on an outside corner (unless noted otherwise).
Refer to A-3.20 Unit Plans for unit finishing details.



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DP Plan # 21
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 2 North
Scale: 1/16" = 1'-0"
May 30, 2023

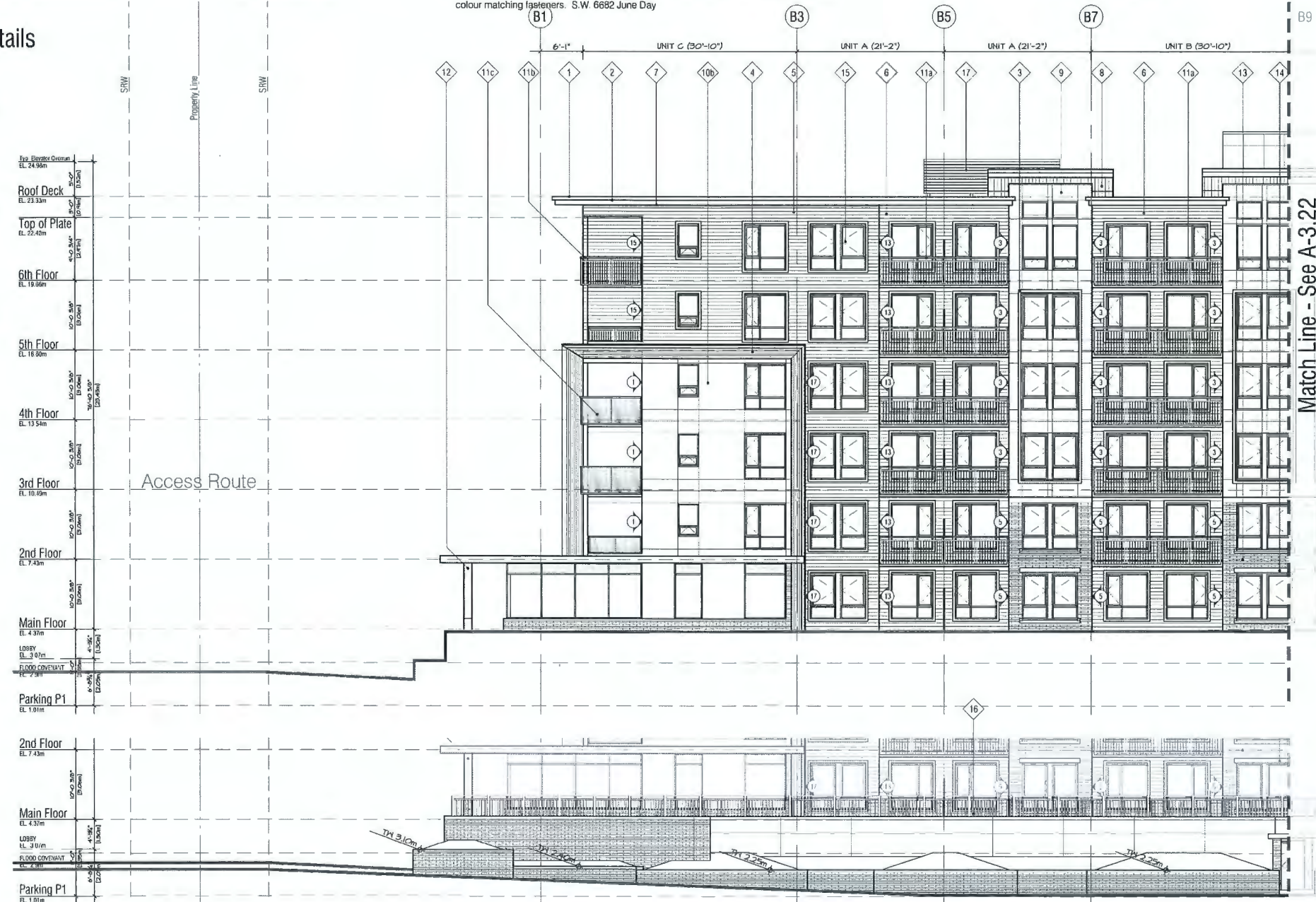
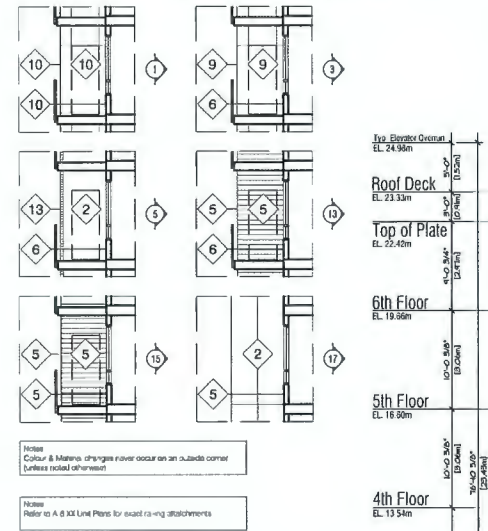
A-3.20

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
- 13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Exterior Finish Return Details

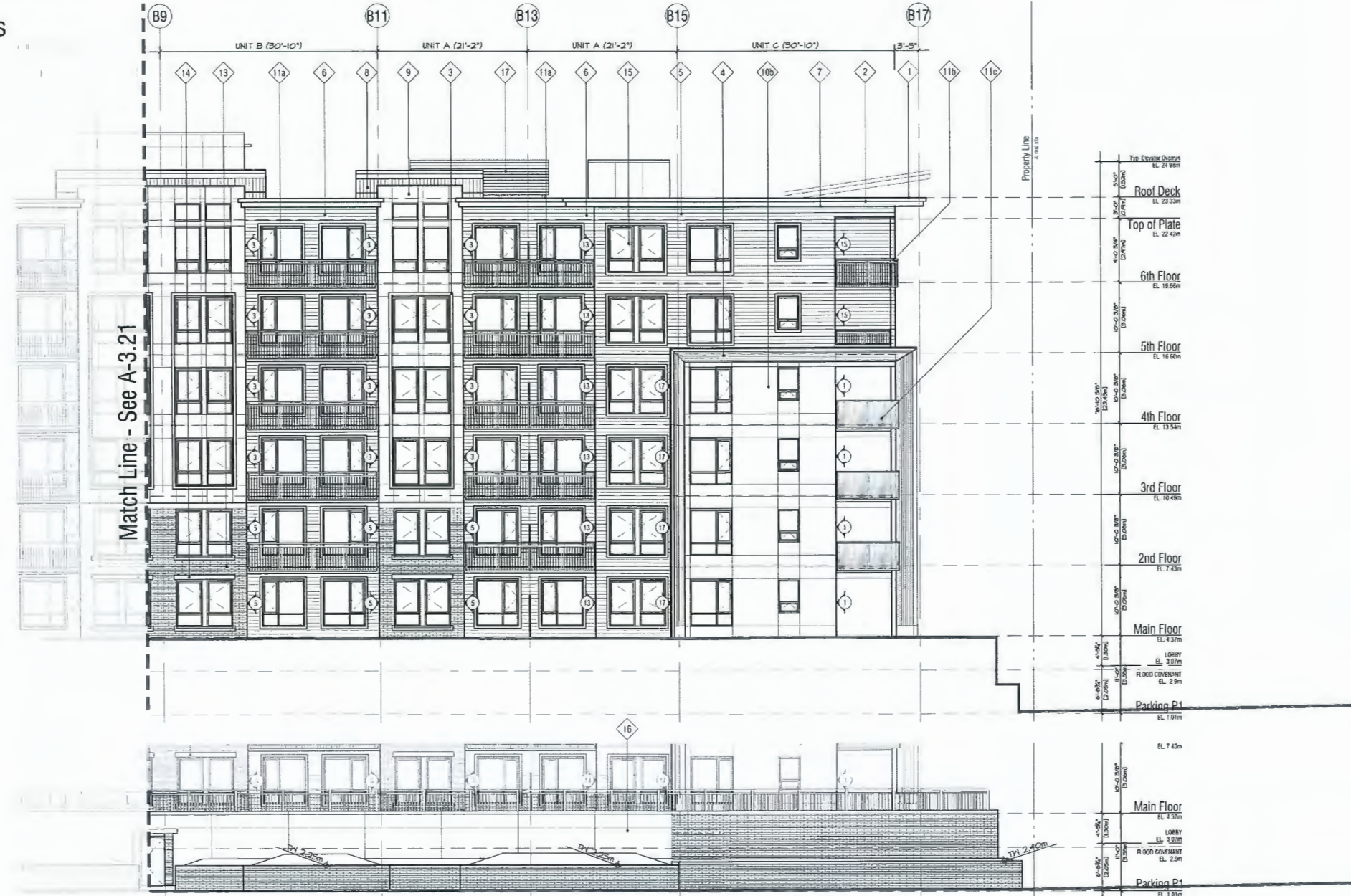
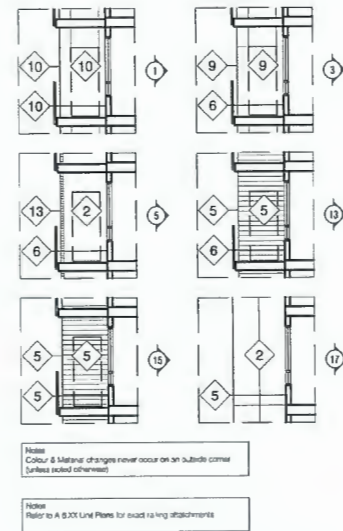


Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
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- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
- 13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Exterior Finish Return Details



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Dec 23, 2020
Update 2: Issued for Rezoning

June 17, 2022
Development Permit Submission

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Resubmission for Development Permit

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March 8, 2023
Resubmission #3 for Development Permit

May 30, 2023
Response to comments from Resubmission #3 for Development Permit

DP Plan # 23
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 2 West (2/2)
Scale: 1/16" = 1'-0"
May 30, 2023

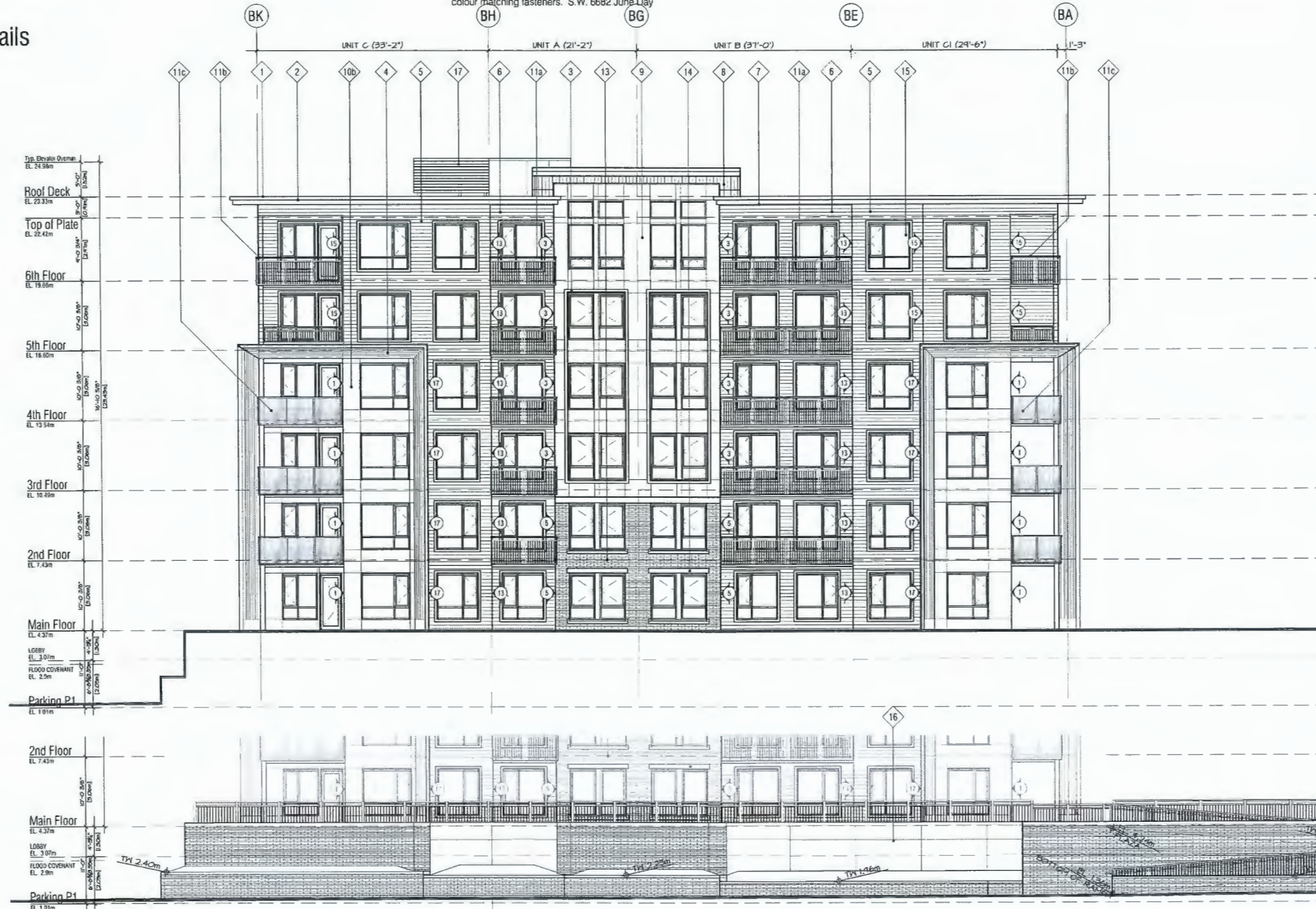
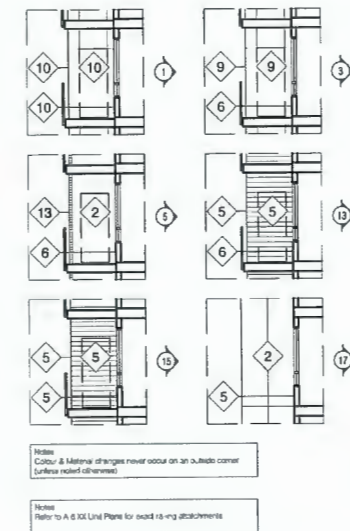
A-3.22

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Alhabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
- 13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Exterior Finish Return Details



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- Dec 4, 2020
Issued for Rezoning
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- June 17, 2022
Development Permit Submission
- November 21, 2022
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Resubmission #2 for Development Permit
- March 8, 2023
Resubmission #3 for Development Permit
- May 30, 2023
Response to comments from Resubmission #3 for Development Permit

DP Plan # 24
May 30, 2023
DP 22-015851



Elevations
Bldg 2 South
Scale: 1/16" = 1'-0"
May 30, 2023

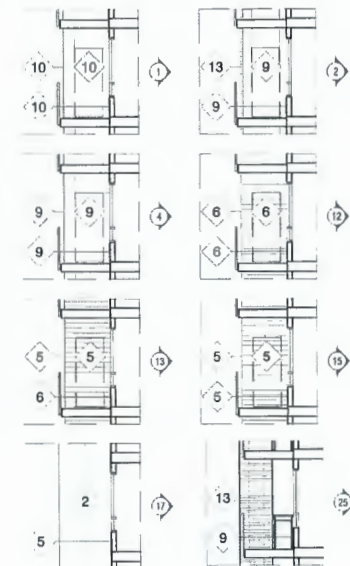
A-3.23

Material Legend

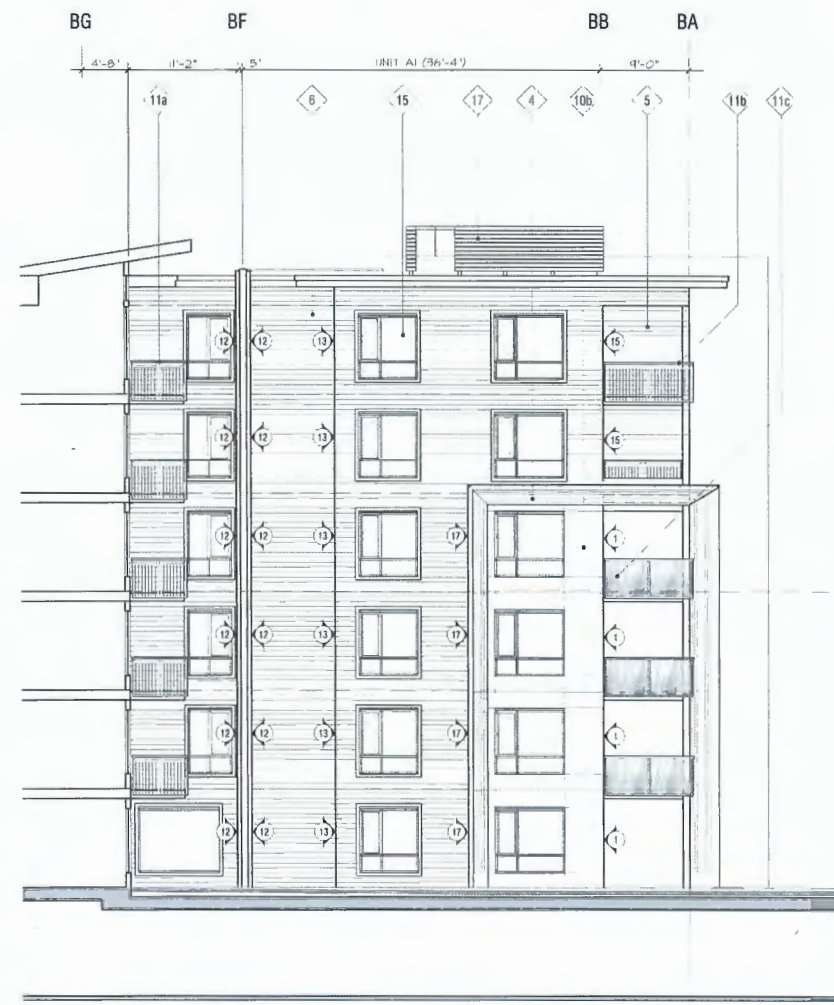
- 1. **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2. **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3. **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4. **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5. **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6. **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Alhabasca
- 7. **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8. **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9. **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a. **Feature Panel: Blue**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b. **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c. **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a. **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b. **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c. **Glass Guard Panel**
Laminated Safety Glass Panels with Custom Etched or Fritted Design
- 12. **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
- 13. **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14. **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15. **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16. **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17. **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



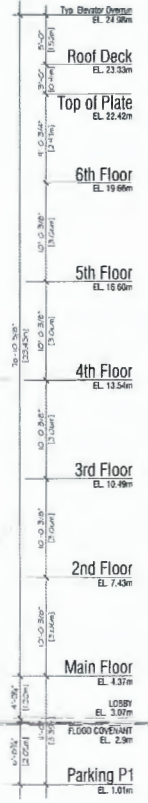
Notes:
Colour & Material changes never occur on an outside corner (unless noted otherwise).
Refer to A-3.24 Unit Plans for window attachments.



1 Building 2 North Courtyard Elevation
A-3.24 SCALE: 1/16" = 1'-0"



2 Building 2 East Elevation (1/3)
A-3.24 SCALE: 1/16" = 1'-0"



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- Revisions
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- May 30, 2023 Response to comments from Resubmission #3 for Development Permit

DP Plan # 25
May 30, 2023
DP 22-015851



Poly Homes
TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 2 Courtyard (1/3)
Scale: 1/16" = 1'-0"
May 30, 2023

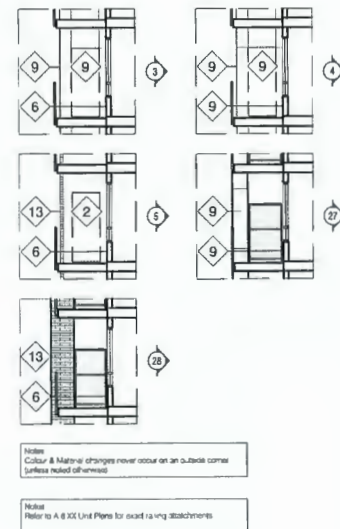
A-3.24

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-86 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Alhabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
- 13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Exterior Finish Return Details



1 Building 2 East Elevation (2/3)
A-3.25 SCALE: 1/16" = 1'-0"



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- Dec 4, 2020 Issued for Rezoning
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- January 12, 2023 Resubmission #2 for Development Permit
- March 6, 2023 Resubmission #3 for Development Permit
- May 30, 2023 Response to comments from Resubmission #3 for Development Permit

DP Plan # 26
May 30, 2023
DP 22-015851

See Plan @



See



See

TALISMAN
AFFORDABLE & RENTAL HOUSING

Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 2 Courtyard (2/3)

Scale: 1/16" = 1'-0"
May 30, 2023

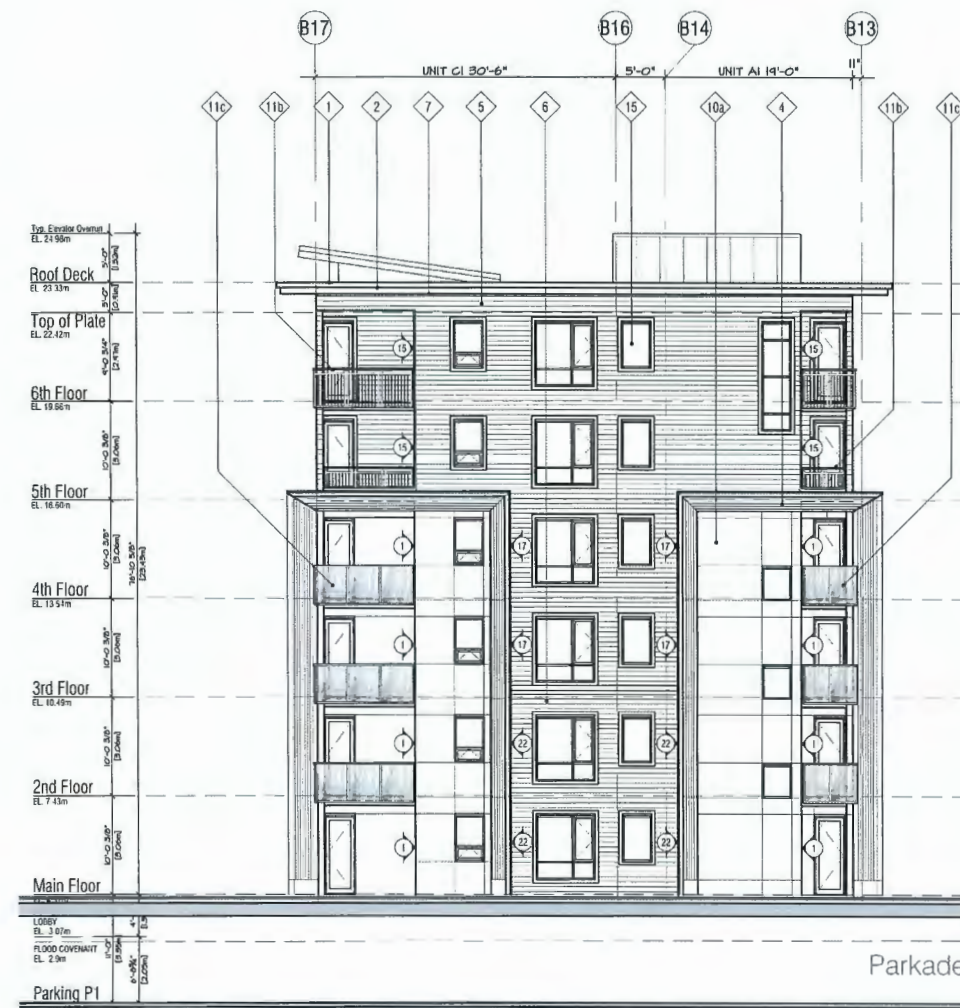
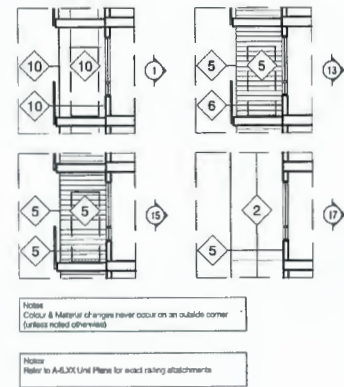
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Material Legend

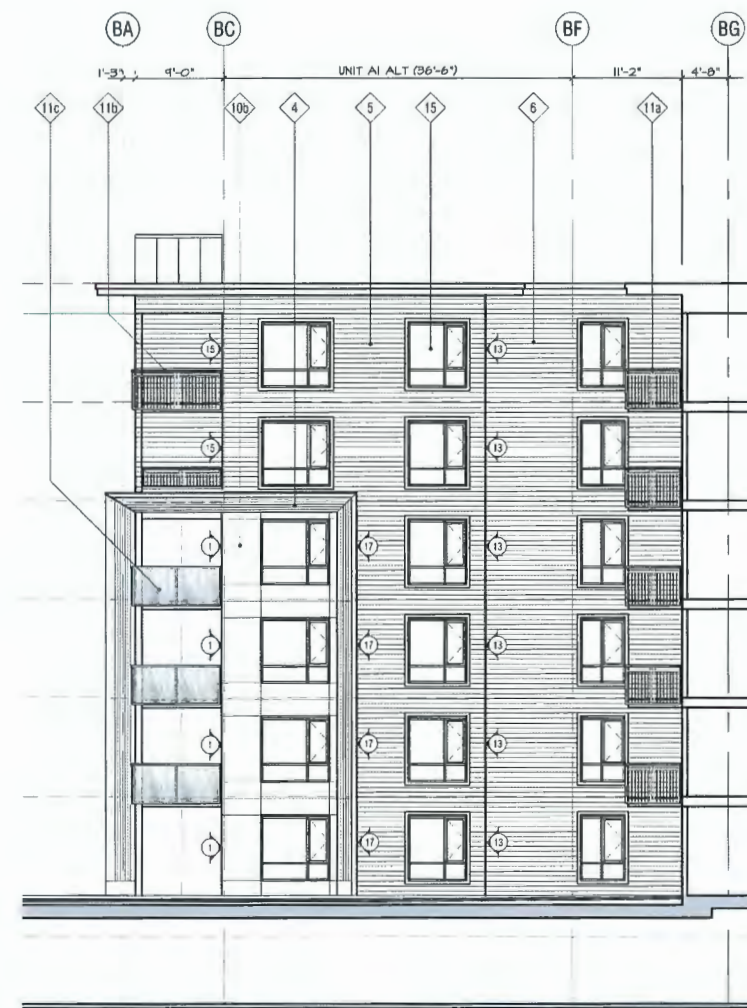
Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6882 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
- 13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Exterior Finish Return Details



2 Building 2 East Elevation (3/3)
A-3.26 SCALE: 1/16" = 1'-0"



1 Building 2 South Courtyard Elevation
A-3.26 SCALE: 1/16" = 1'-0"



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- Dec 4, 2020 Issued for Reasoning
- Dec 23, 2020 Update 2: Issued for Reasoning
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- March 8, 2023 Resubmission #3 for Development Permit
- May 30, 2023 Response to comments from Resubmission #3 for Development Permit

DP Plan # 27
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 2 Courtyard 3/3

Scale: 1/16" = 1'-0"
May 30, 2023

A-3.26



Roofing
 2-Ply SBS Roofing
 Coloured Light Grey



Fascia & Trim: Dark
 1" Fibre Cement
 B.M. 2120-30 Wicking Hour



Trim & Panel: Neutral
 Fibre Cement
 B.M. 2119-40 Silver Streak



Feature Cladding: Warm
 6" Exposure Wood-like Fibre Cement
 Woodtone Summer Wheat



Siding & Trims: Light
 8" Exposure Fibre Cement
 B.M. OC-66 Snow White



Siding & Trims: Neutral
 8" Exposure Fibre Cement
 B.M. CC-680 Raindance



Soffit: Typical
 Light Coloured Fibre Cement
 B.M. OC-66 Snow White



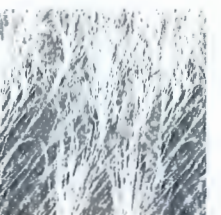
Feature Cladding: Neutral
 6" Exposure Wood-like Fibre Cement
 Woodtone Cascade Slate



Feature Panel:
 Fibre Cement - Blue/Green/Yellow
 See A-3.27 for Colour & Details



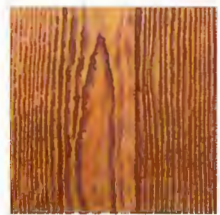
Metal & Glass Guardrails
 Light Coloured: Cascadia Metals Polar White
 Dark Coloured: Cascadia Metals Iron Ore



Glass Guard Panel
 Laminated Safety Glass Panels
 With Custom Etched or Filled Design



Brick: Dark
 Manganese Ironspot
 Norman Size - Half Running Bond



Heavy Timber Columns
 Colour match Woodtone Summer Wheat



Concrete Lintels: Neutral
 Natural Concrete Colour



Windows
 Light Coloured: White
 Dark Coloured: Match Cascadia Metals Iron Ore



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Rev. 03/23
 Dec 4, 2020
 Issued for Rezoning
 Dec 23, 2020
 Update 2: Issued for Rezoning
 June 17, 2022
 Development Permit
 Submission
 November 21, 2022
 Resubmission for
 Development Permit
 January 12, 2023
 Resubmission #2 for
 Development Permit
 March 8, 2023
 Resubmission #3 for
 Development Permit
 May 30, 2023
 Response to comments from
 Resubmission #3 for
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May 30, 2023
DP 22-015851



TALISMAN
 AFFORDABLE & RENTAL HOUSING
 Cambie & Garden City Rd.
 Richmond, B.C.

Bldg 1 & 2: Colour & Material Board

Scale: 1/8" = 1'-0"
 May 30, 2023

A-3.17

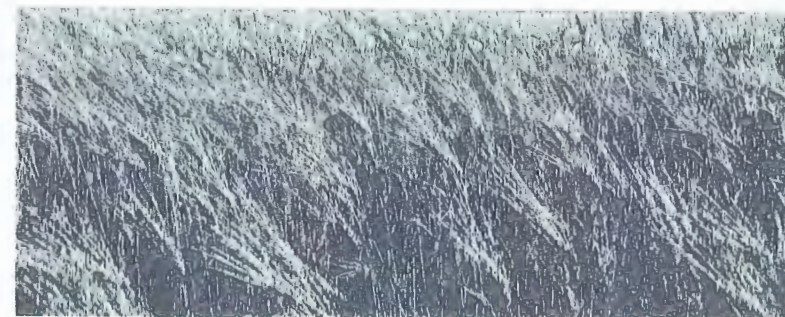


FIG 1 Diagram of bird friendly glazing pattern with visual marker, at maximum 5cm x 5cm spacing IMAGE SOURCE: FLAP CANADA

11c Bird Friendly Glazing

Project will adhere to bird-friendly glazing by utilizing the following techniques as outlined in the UBC bird Friendly Design Guidelines for Buildings.

- The use of an adhesive film, acid-etch, or frit pattern. Pattern to be high contrast and dense: spacing at maximum 5cm x 5cm apart with markers no more than 0.32cm in size.
- Application of patterns to the exterior surface of glazing to minimize reflections
- Application of fritted grass pattern to all glazed guardrailings
- Application of dotted pattern (Fig 1) to all standard vision glass on the first four storeys.



Example of "grass" pattern on glazed balcony railings



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Rev. 0.01
 Dec 4, 2020
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 Dec 23, 2020
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 May 30, 2023
 DP 22-015851



TALISMAN
 AFFORDABLE & RENTAL HOUSING
 Cambie & Garden City Rd.
 Richmond, B.C.

Bird Friendly Glazing
 Bldg 1 & 2

Scale: NTS
 May 30, 2023

A-3.18

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey
- 2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. CC-816 Alhabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One
- 11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White
- 11c **Glass Guard Panel**
Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat
- 13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond
- 14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white



A Building 1 - Lobby Elevation
A-3.19 SCALE: NTS



B Building 2 - Lobby Elevation
A-3.19 SCALE: NTS



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1954 - 1958 1963 1968 1973 1978 1983 1988 1993 1998 2003 2008 2013 2018 2023

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Revisions
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May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Camble & Garden City Rd.
Richmond, B.C.

Elevations
Lobby Materials
Scale: NTS
May 30, 2023

A-3.19



Feature Panel: Blue
Fiber Cement
B.M. 831 Stratford blue



Feature Panel: Green
Fiber Cement
B.M. 669 Garden Oasis



Feature Panel: Yellow
Fiber Cement
S.W. 6682 June Day



Feature Colour Map



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1454 - Street 888, Vancouver, BC V6L 1A4

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Rev. No.

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Dec 23, 2020
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June 17, 2022
Development Permit
Submission

November 21, 2022
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Development Permit

January 12, 2023
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Development Permit

March 8, 2023
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Development Permit

May 30, 2023
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Resubmission #3 for
Development Permit

DP Plan # 31
May 30, 2023
DP 22-015851



POLYGON HOMES

Page 1

TALISMAN
AFFORDABLE & RENTAL HOUSING

Cambie & Garden City Rd.
Richmond, B.C.

Feature Colours
Bldg 1 & 2

Scale: NTS
May 30, 2023

A-3.27

Material Legend - DEU

Provide samples of all exterior colours & materials for review & approval

- | | | |
|---|---|--|
| <p>1 Roofing
2-Ply SBS Roofing
Coloured Light Grey</p> | <p>4 Soffit: Warm
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat</p> | <p>7 Windows
Aluminum Window Wall, Single Glazed.
Dark Coloured: Match Cascadia Metals Iron One</p> |
| <p>2 Fascia & Trim: Dark
1" Fibre Cement, Double Fascia
B.M. 2120-30 Witching Hour</p> | <p>5 Brick: Dark
Manganese Ironspot
Norman Size - Running Bond</p> | <p>8 Feature Climbing Wall
Concrete Free-Formed Faux Rock</p> |
| <p>3 Feature Panel: Yellow
Fibre Cement
B.M. Wenge AF-180</p> | <p>6 Concrete: Neutral
Natural Concrete Colour</p> | <p>9 Siding & Trims: Light
8" Exposure Fibre Cement
B.M. OC-66 Snow White</p> |



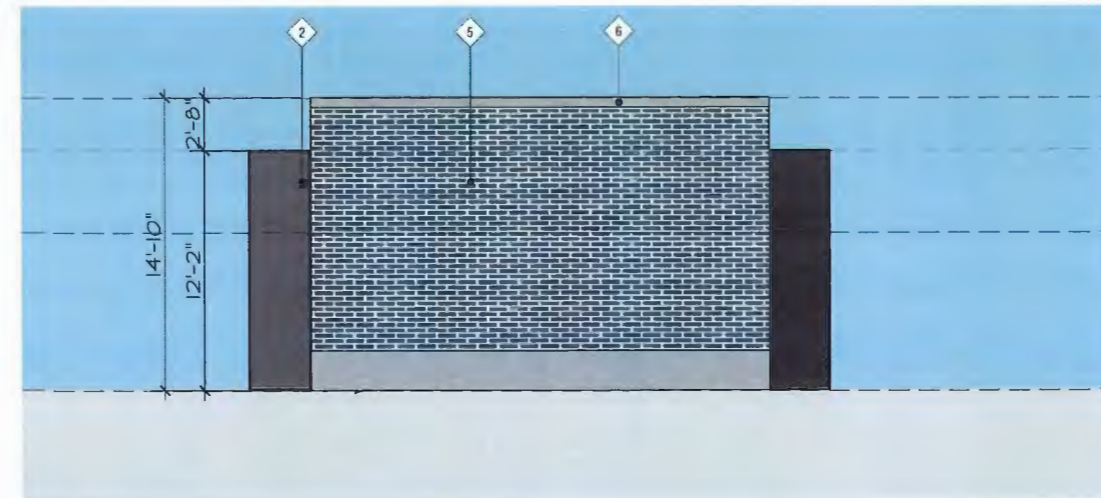
West Elevation



South Elevation



East Elevation



North Elevation



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- Rev. 1/23
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May 30, 2023
DP 22-015851

Rev. 1/23



Rev. 1/23



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
DEU

Scale: 1/16" = 1'-0"
May 30, 2023

A-3.28

Decorative Art Railing

Alternating panels of metal guardrails will utilize an artful pattern to embellish the frontage along Garden City Road.

Key design features include:

- Array of welded metal patterned with gaps no more than 100mm (4")
- Colour matched square metal tubing to match surrounding railing components
- Pattern arranged in form of wheat or tall grass with the intent to compliment the surrounding foliage.



Enlarge View of Decorative Art Railing along Garden City Road



Alternating Series of Decorative Art Guard Rails as viewed from street level



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Rev. 01/23
 Dec 4, 2020
 Issued for Rezoning
 Dec 23, 2020
 Update 2: Issued for Rezoning
 June 17, 2022
 Development Permit
 Submission
 November 21, 2022
 Resubmission #1
 Development Permit
 January 12, 2023
 Resubmission #2 for
 Development Permit
 March 8, 2023
 Resubmission #3 for
 Development Permit
 May 30, 2023
 Response to comments from
 Resubmission #3 for
 Development Permit

DP Plan # 33
 May 30, 2023
 DP 22-015851

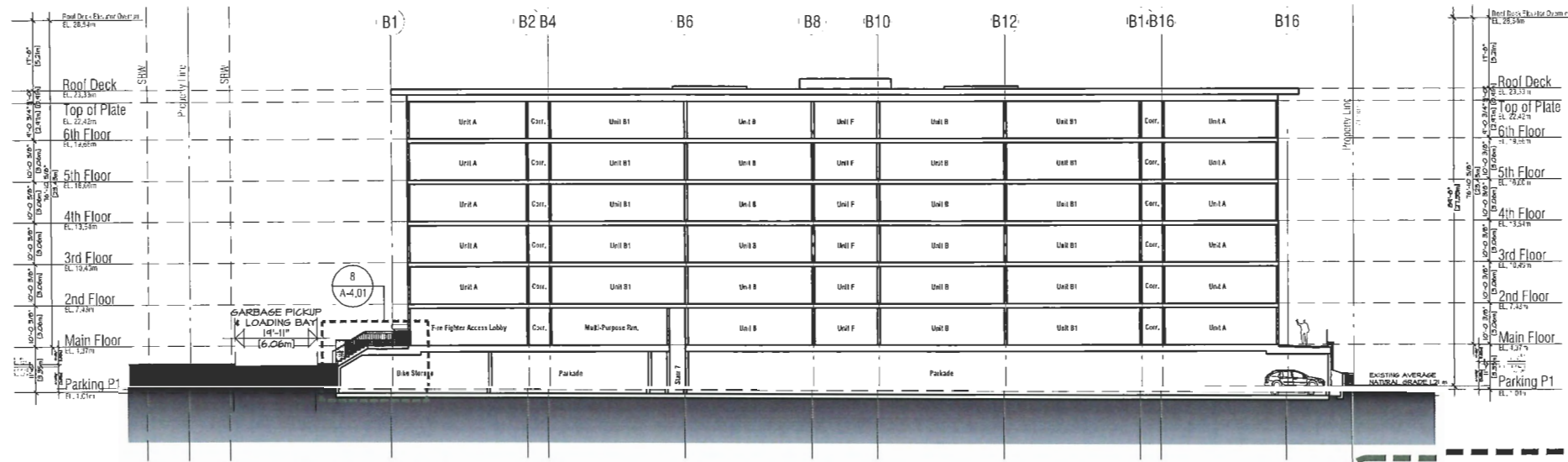


TALISMAN
 AFFORDABLE & RENTAL HOUSING
 Cambie & Garden City Rd.
 Richmond, B.C.

Art Railing Detail

Scale: NTS
 May 30, 2023

A-3.29



A-1.13 Overall Section
SCALE: 1/32" = 1'-0"

NOTE:
EXISTING natural grade calculated by using grades at six corners along property line and divided by 6 to obtain average. (NW 1.10+SW 1.23+SE 1.24+1.19+South 1.24+south 1.25/6= 1.21)



D Overall Section
SCALE: 1/32" = 1'-0"



Development Consultants Incorporated
1850 - 17th Street SW, Vancouver, BC V6J 1V1

December 4, 2020
Issued for Rezoning

December 23, 2020
Update #2 Issued for Rezoning

June 17, 2022
Development Permit Submission

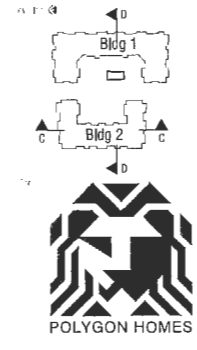
November 21, 2022
Resubmission for Development Permit

January 12, 2023
Resubmission #2 for Development Permit

March 8, 2023
Resubmission #3 for Development Permit

May 30, 2023
Response to comments from Resubmission #3 for Development Permit

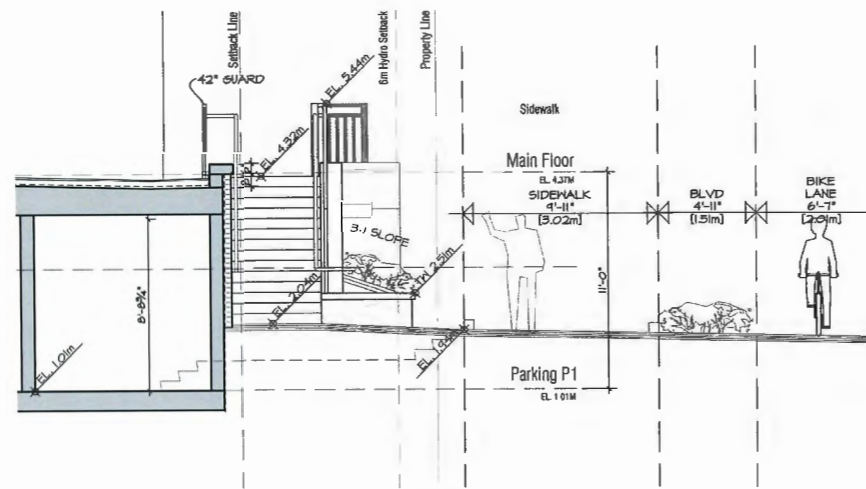
DP Plan # 34
May 20, 2023
DP 22-015851



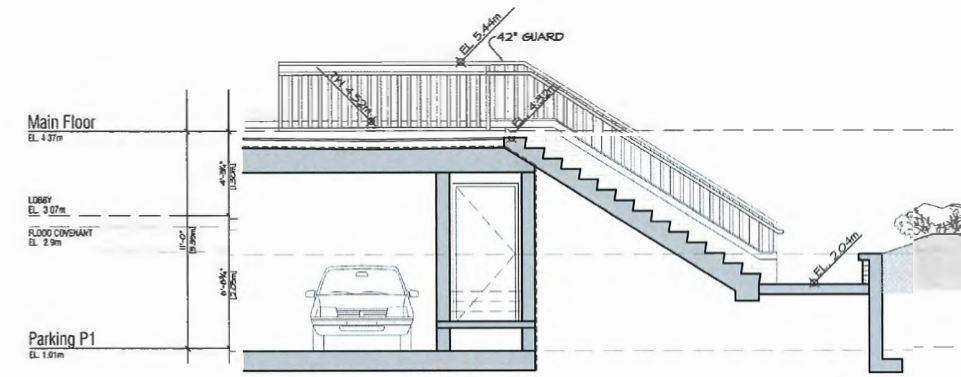
TALISMAN
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Cambie & Garden City Rd.
Richmond, B.C.

Overall Sections
Scale: 1/32" = 1'-0"
June 1, 2023

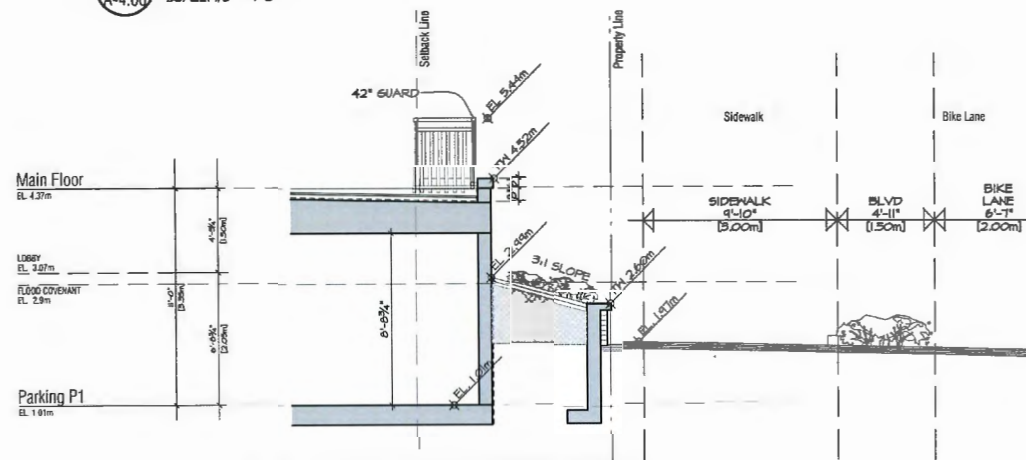
A-1.13



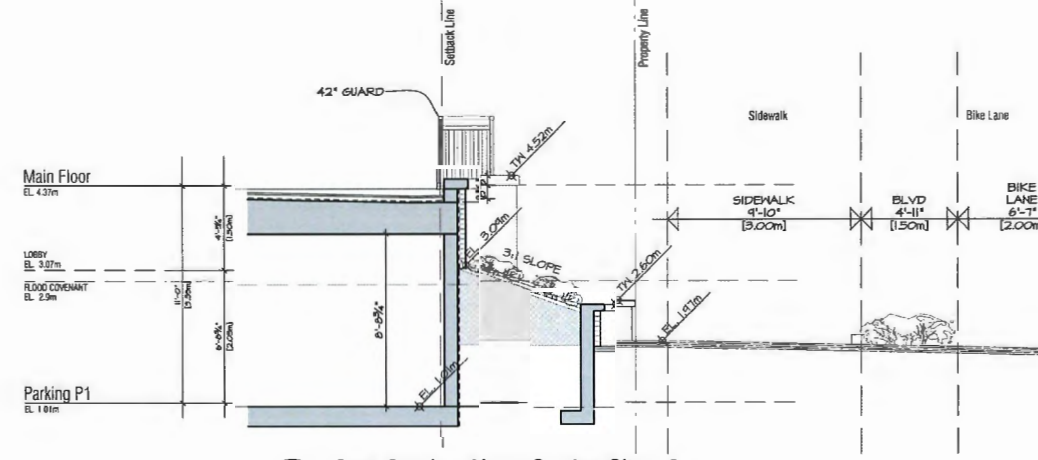
1 Southeast Podium Stairs Spot Section - 1
A-4.00 SCALE: 1/8" = 1'-0"



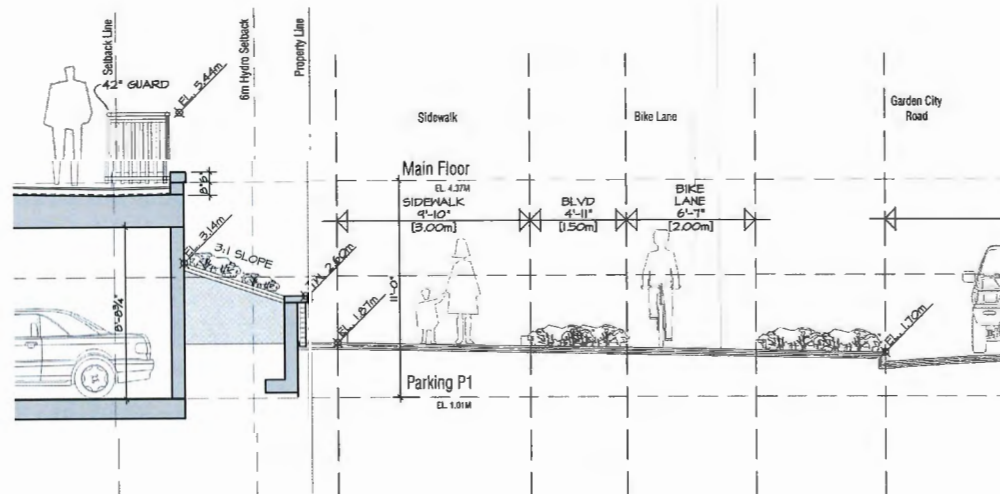
2 Southeast Podium Stairs Spot Section - 2
A-4.00 SCALE: 1/8" = 1'-0"



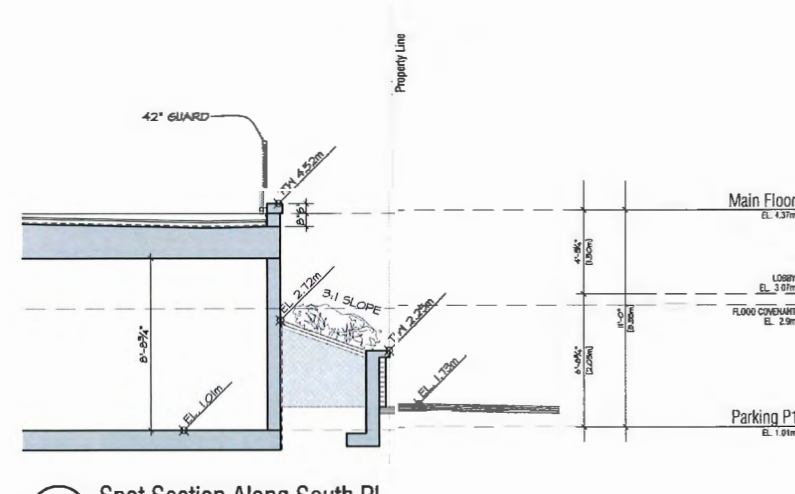
3 Spot Section Along Garden City - 1
A-4.00 SCALE: 1/8" = 1'-0"



4 Spot Section Along Garden City - 2
A-4.00 SCALE: 1/8" = 1'-0"



5 Spot Section Along Garden City - 3
A-4.00 SCALE: 1/8" = 1'-0"



6 Spot Section Along South PL
A-4.00 SCALE: 1/8" = 1'-0"

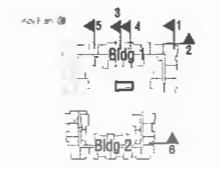


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March 8, 2023
Resubmission #3 for Development Permit
May 30, 2023
Response to comments from Resubmission #3 for Development Permit

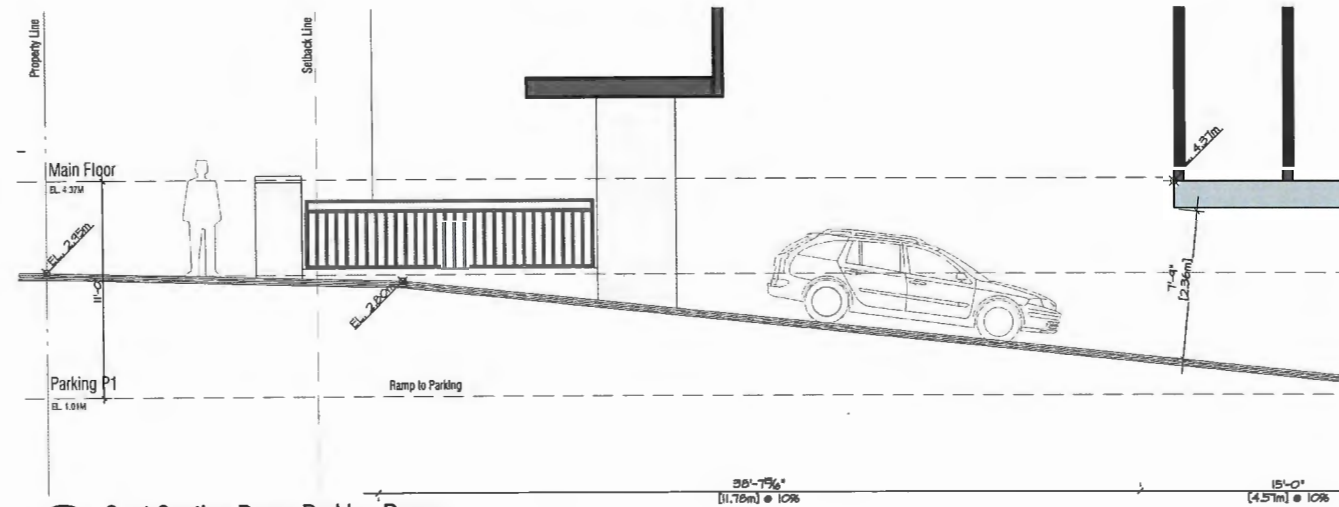
DP Plan # 35
May 30, 2023
DP 22-015851



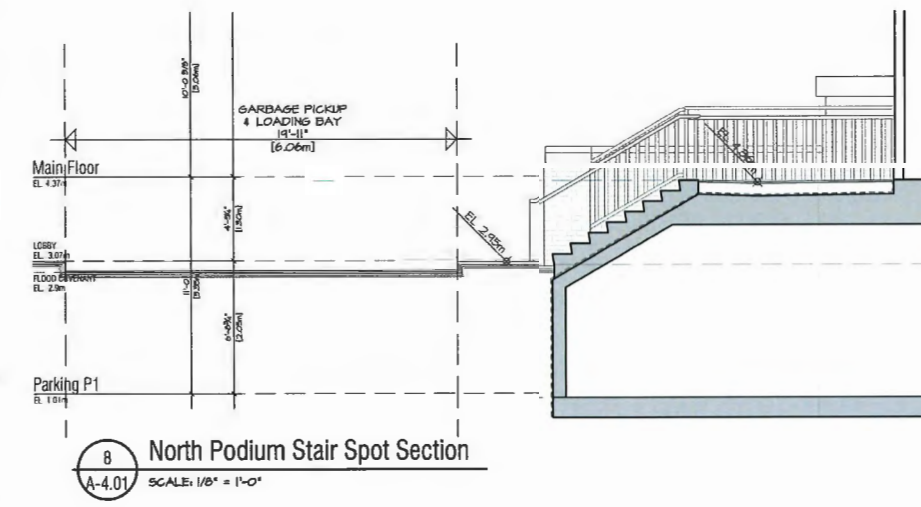
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Cambie & Garden City Rd.
Richmond, B.C.

Spot Sections 1
Scale: 1/8" = 1'-0"
May 30, 2023

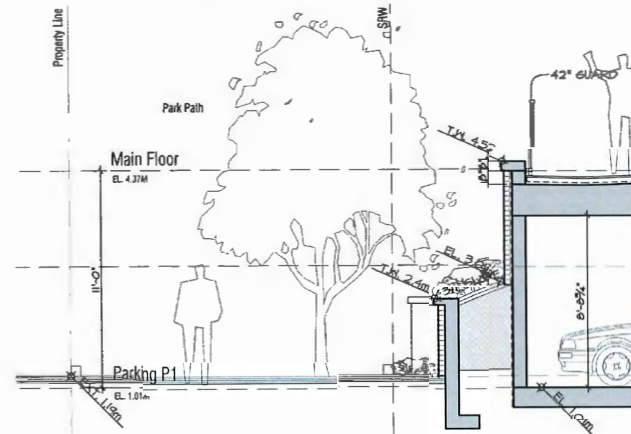
A-4.00



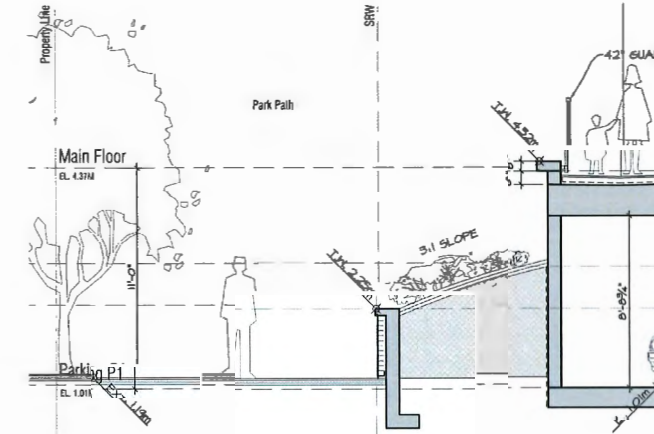
7 Spot Section Down Parking Ramp
A-4.01 SCALE: 1/8" = 1'-0"



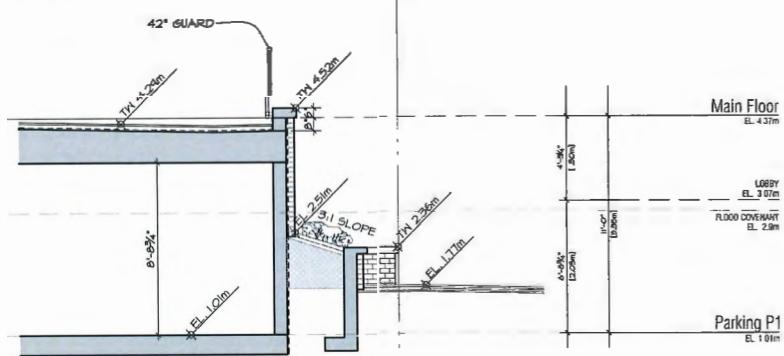
8 North Podium Stair Spot Section
A-4.01 SCALE: 1/8" = 1'-0"



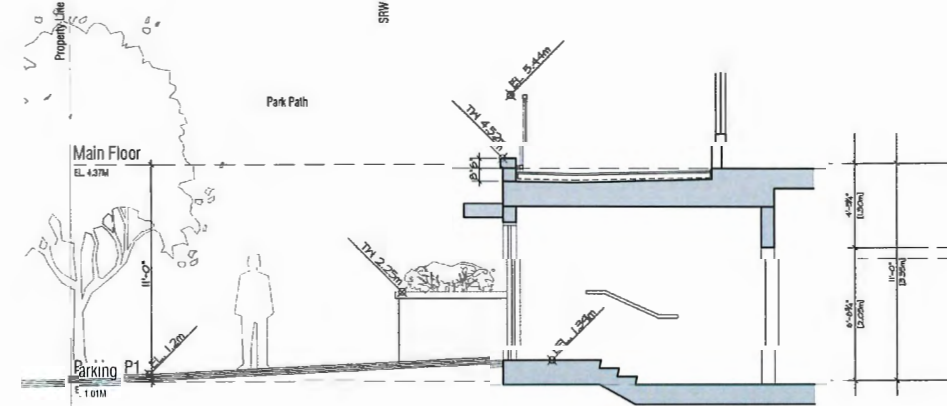
9 Spot Section Along West PL - 1
A-4.01 SCALE: 1/8" = 1'-0"



10 Spot Section Along West PL - 2
A-4.01 SCALE: 1/8" = 1'-0"



11 Spot Section Along South PL
A-4.01 SCALE: 1/8" = 1'-0"



12 West Parkade Exit Stair Spot Section
A-4.01 SCALE: 1/8" = 1'-0"

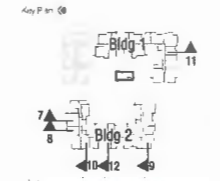


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Revisions:
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Dec 23, 2020 Update 2: Issued for Rezoning
June 17, 2022 Development Permit Submission
November 21, 2022 Resubmission for Development Permit
January 12, 2023 Resubmission #2 for Development Permit
March 8, 2023 Resubmission #3 for Development Permit
May 30, 2023 Response to comments from Resubmission #3 for Development Permit

DP Plan # 36
May 30, 2023
DP 22-015851



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Cambie & Garden City Rd.
Richmond, B.C.

Spot Sections 2

Scale: 1/8" = 1'-0"
May 30, 2023

A-4.01



Landscape with Boulders



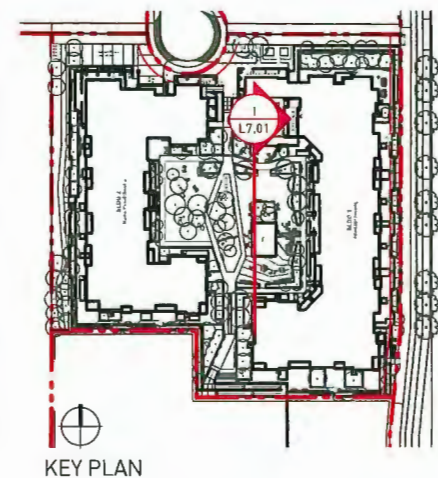
Bird Drinking Bowl



Landscape with Logs



Planter with Seating



KEY PLAN



1 West Courtyard Elevation
Scale: 1:200



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 37
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534

DRAWING TITLE

SECTIONS

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NORTH	SCALE
	1:200

PROJECT NO.	19057
DATE	2022-05-09
FILE NAME	19057 SECTION 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	JO

DRAWING

L7.01



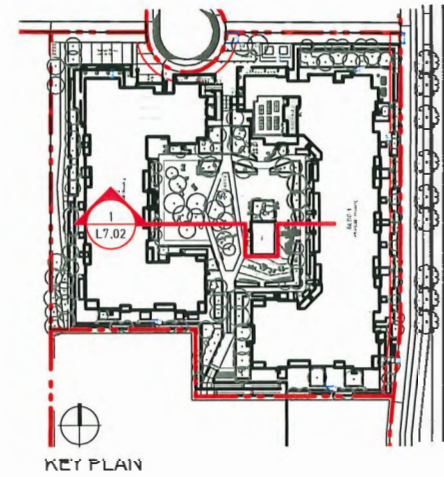
Courtyard Experience



Landscape Mound



Planter with Seating



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
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3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 38
 May 30, 2023
 DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 FPP120534

DRAWING TITLE

SECTIONS

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NORTH

SCALE

1:200

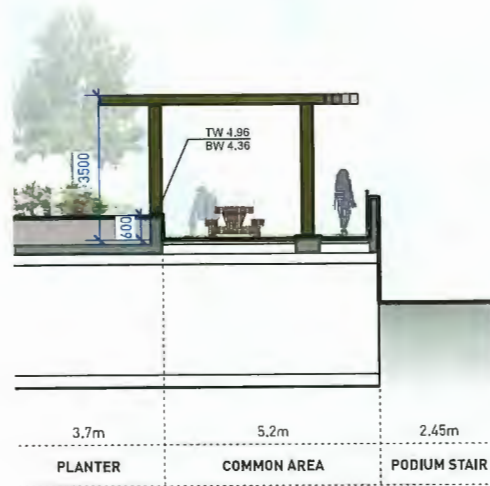


1 North Courtyard Elevation
 Scale: 1:200

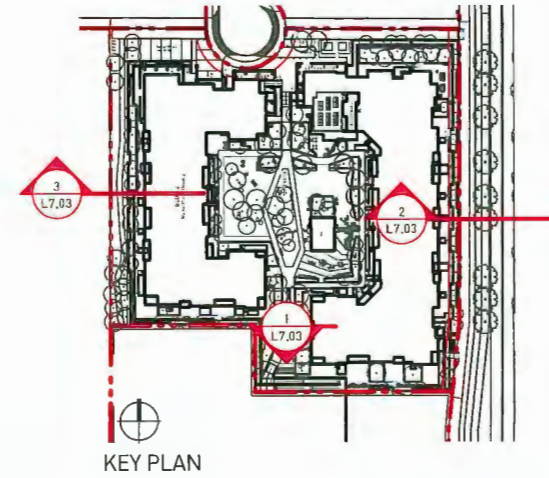
DRAWING

L7.02

PROJECT NO.	19057
DATE	2022-05-09
FILE NAME	19057 SECTION 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	JD



1 Trellis Elevation
Scale: 1:150



KEY PLAN



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REVISIONS AND ISSUES

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DP Plan # 39
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534

DRAWING TITLE

SECTIONS

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NORTH

SCALE

AS SHOWN

PROJECT NO. 19057

DATE 2022-05-09

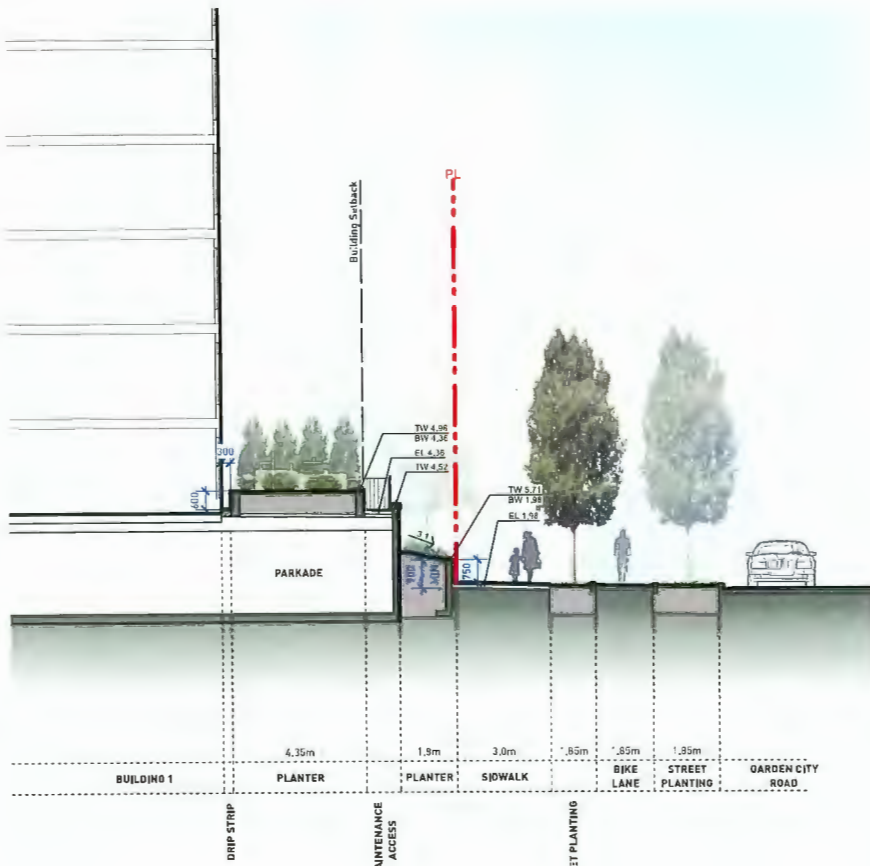
FILE NAME 19057 SECTION 11x17_ADP.vwx

PLOTTED 2023-05-30

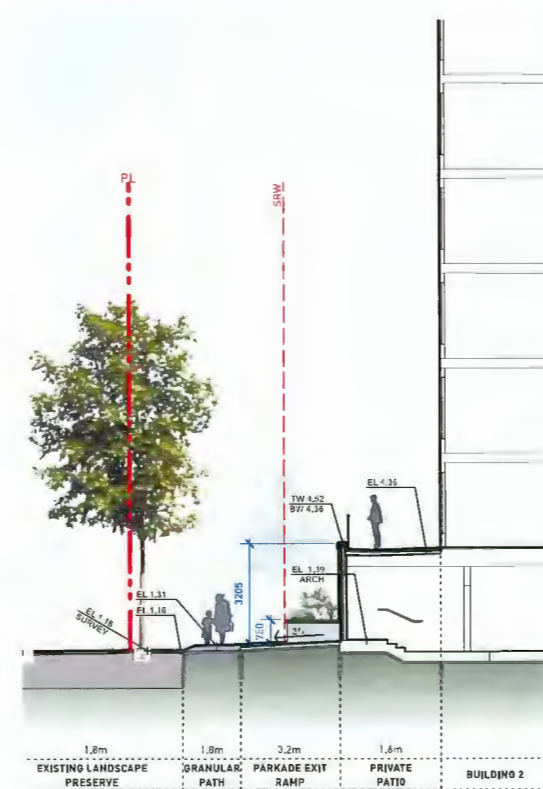
DRAWN JW REVIEWED JO

DRAWING

L7.03

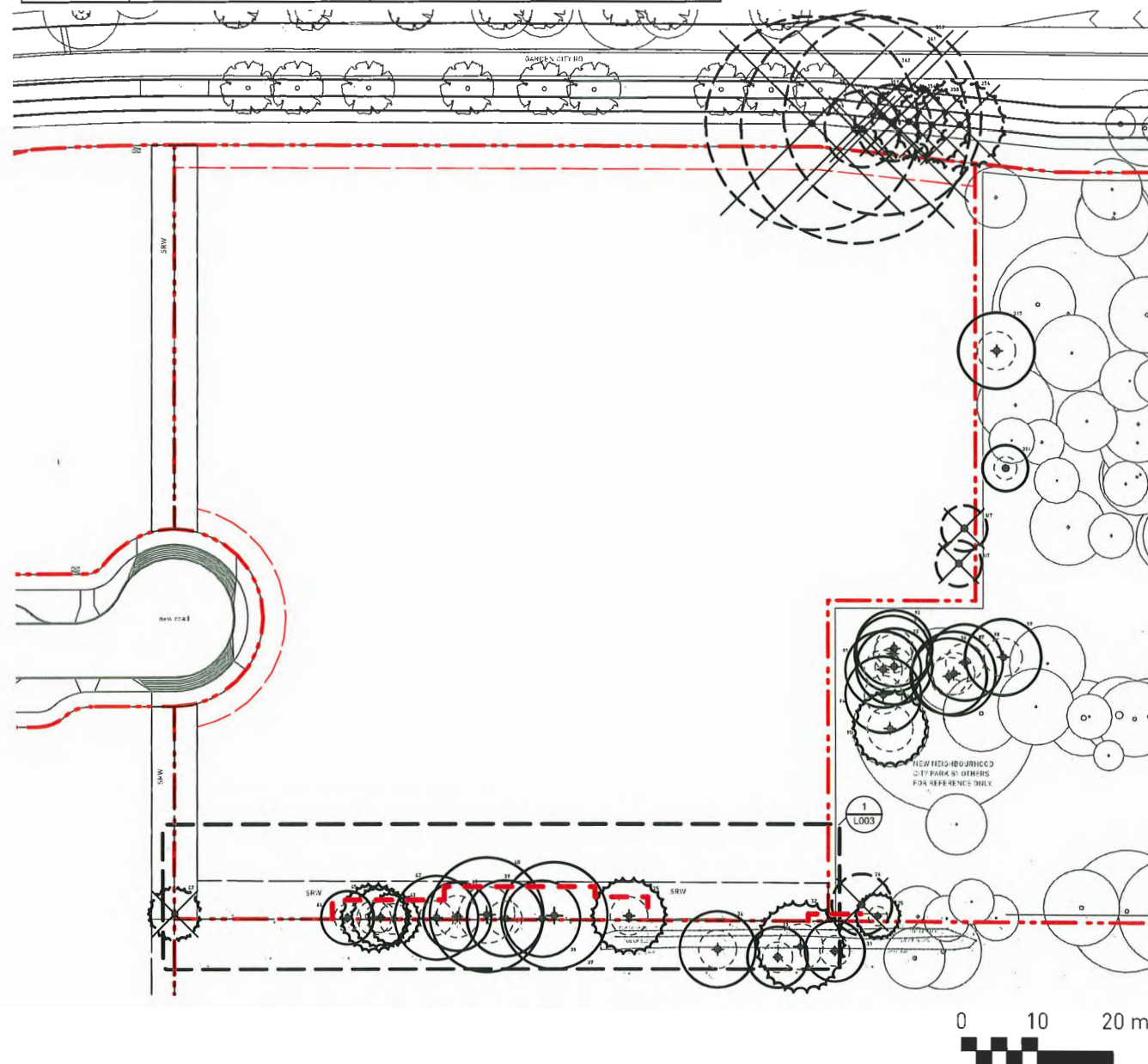


2 Wall Section Along Garden City Road
Scale: 1:200



3 Wall Section Along West Parkway
Scale: 1:200

TREE MANAGEMENT LEGEND					
KEY	DESCRIPTION	KEY	DESCRIPTION	KEY	DESCRIPTION
	DECIDUOUS TREE TO BE REMOVED		DECIDUOUS TREE TO BE RETAINED		TREE PROTECTION FENCE
	CONIFEROUS TREE TO BE REMOVED		CONIFEROUS TREE TO BE RETAINED		



NOTE: TREE MANAGEMENT PLAN IS COMPLIANCE WITH ARBORIST TMP ATTACHED TO THE RZ 18-836123. PLEASE READ THIS PLAN IN CONJUNCTION WITH THE ARBORIST REPORT.

TREE PROTECTION GENERAL NOTES

- A. EXCAVATION AROUND TREES**
- EXCAVATION WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
 - DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
 - TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED BY 1.8M (6'-0") HIGH SEMI-PERMANENT CHAIN-LINK FENCING. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- B. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES**
- HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
 - USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
 - RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.
- C. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES**
- TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
 - DO NOT CUT MAIN LATERAL ROOTS.
 - CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
 - ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 15cm (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.
- D. PROTECTION OF EXPOSED ROOTS**
- DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
 - PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
 - PACK WITH WET PEAT MOSS. MAINTAIN MOISTURE.
 - PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
 - TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
 - WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS.

NOTE: REFER TO CIVIL AND OFFSITE PACKAGE FOR ALL OFFSITE INFORMATION



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
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5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 40
 May 30, 2023
 DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 FPP120534

DRAWING TITLE

TREE MANAGEMENT PLAN

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NORTH



SCALE

1:700

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vvx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L0.02

TREE MANAGEMENT LEGEND					
KEY	DESCRIPTION	KEY	DESCRIPTION	KEY	DESCRIPTION
	DECIDUOUS TREE TO BE REMOVED		DECIDUOUS TREE TO BE RETAINED		TREE PROTECTION FENCE
	CONIFEROUS TREE TO BE REMOVED		CONIFEROUS TREE TO BE RETAINED		

NOTE: TREE MANAGEMENT PLAN IS COMPLIANCE WITH ARBORIST TMP ATTACHED TO THE RZ 18-836123. PLEASE READ THIS PLAN IN CONJUNCTION WITH THE ARBORIST REPORT.

NOTE:
WOOD FRAME CONSTRUCTION STAKED INTO THE GROUND IS REQUIRED.
(METAL FRAMING DOES NOT MEET CITY STANDARDS)

TREE TRUNK DIAMETER		DISTANCE FROM TRUNK		TOTAL DIAMETER	
cm	inches	feet	m	feet	m
20	8	0.5	1.2	3.9	2.60
25	10	0.8	1.5	4.9	3.25
30	12	1.0	1.8	5.9	3.90
35	14	1.2	2.1	6.9	4.55
40	16	1.3	2.4	7.9	5.20
45	18	1.5	2.7	8.9	5.85
50	20	1.7	3.0	9.8	6.50
55	22	1.8	3.3	10.6	7.15
60	24	2.0	3.6	11.8	7.80
75	25	2.5	4.5	14.8	9.75
90	32	3.0	5.0	18.4	10.90
100	35	3.3	6.0	19.7	13.00

TREE PROTECTION TABLE
MINIMUM PROTECTION REQUIRED AROUND TREE

TREE PROTECTION AND TREE PROTECTION DISTANCE TABLE

TECH. :	SCALE : NTS	DRAWING NUMBER :
DR. :	DATE : DEC. 2010	P-7a-SD
ENG. :	REV. :	SHEET No. : 1 OF 1

PWL partnership

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REVISIONS AND ISSUES

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5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 41
May 30, 2023
DP 22-015851

PROJECT
TALISTAR

ADDRESS
CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534

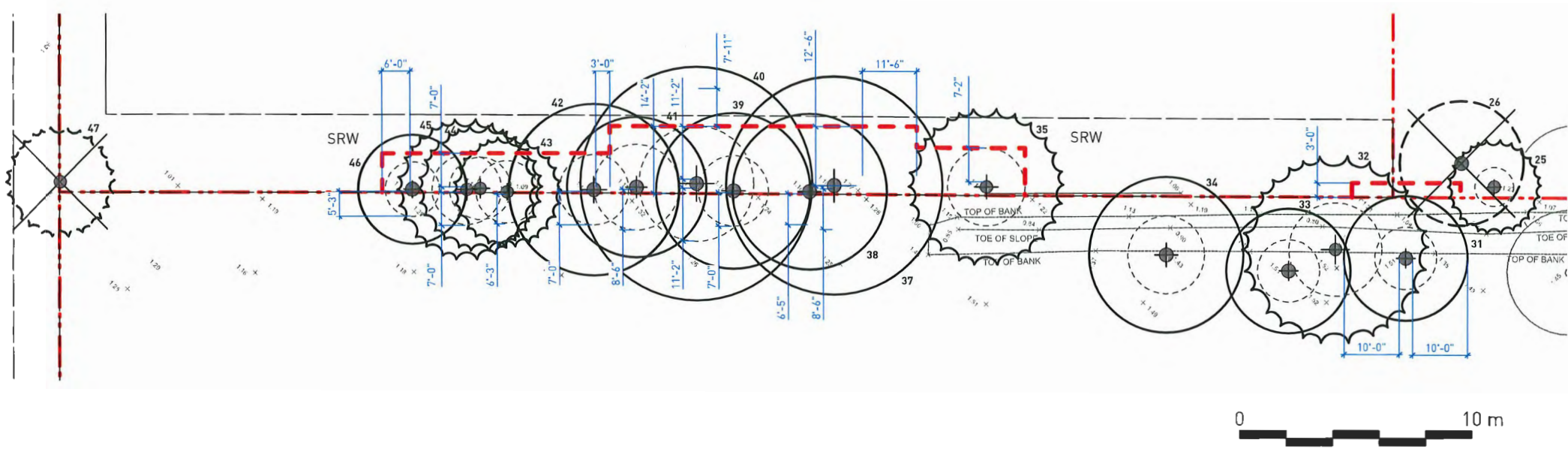
DRAWING TITLE
TREE MANAGEMENT PLAN

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NORTH	SCALE
	1:200

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GS, JO

DRAWING
L0.03



**Plant List
19057 TALISTAR**

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks	Season of Colour	Mature Height
Trees								
ACR -N	11	Acer circinatum	Vine Maple	6 cm cal. (2.5" cal.)	As Shown	B&B, Nursery grown, minimum 3 stems	Fall	15' - 22'
ARA	18	Acer rubrum 'Armstrong'	Armstrong Red Maple	8 cm cal. (3" cal.)	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.	Early spring and fall	40' - 50'
ARB	2	Acer rubrum 'Bowhall'	Bowhall Red Maple	8 cm cal. (3" cal.)	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.	Early spring and fall	30' - 40'
ARR -N	3	Alnus rubra	Red Alder	6 cm cal. (2.5" cal.)	As Shown	B&B, Uniform branching, nursery grown	Early spring and fall	40' - 70'
AXG -N	22	Amelanchier x grandiflora	Serviceberry	6 cm cal. (2.5" cal.)	As Shown	B&B, Multi-stemmed, dense tree, nursery grown	Early spring and fall	15' - 22'
CBR	5	Carpinus betulus 'Frans Fontaine'	Frans Fontaine European Hornbeam	8 cm cal. (3" cal.)	As Shown	B&B, dense plant, good branching within 2' (0.6 m) of ground	Fall	30' - 40'
CKN -N	9	Cornus kousa x nuttallii 'Starlight'	Starlight Dogwood	6 cm cal. (2.5" cal.)	As Shown	B&B, Well branched, dense tree	Late spring and fall	25' - 30'
FLA -N	7	Fraxinus latifolia	Oregon Ash	6 cm cal. (2.5" cal.)	As Shown	B&B, Dense tree, nursery grown	Fall	60' - 80'
MGR	4	Magnolia grandiflora	Southern Magnolia	8 cm cal. (2.75" cal.)	As Shown	B&B, Well branched, dense tree	All year and late spring	60' - 80'
PGL -N	10	Picea glauca	White Spruce	3.5 m ht. (11'-6" ht.)	As Shown	B&B, Well branched, dense tree	All year	50' - 80'
POR	15	Picea omorika	Serbian Spruce	4 m ht. (13'-0" ht.)	As Shown	B&B, Well branched, dense tree	All year	50' - 60'
PSC -N	12	Picea sitchensis	Sitka Spruce	3.5 m ht. (11'-6" ht.)	As Shown	B&B, Well branched, dense tree, nursery grown	All year	50' - 100'
PCN-1 -N	3	Pinus contorta	Shore Pine	2.5 m ht. (11'-6" ht.)	As Shown	B&B, Well branched, dense tree, nursery grown	All year	20' - 50'
PCN-N	7	Pinus contorta	Shore Pine	3.5 m ht. (11'-6" ht.)	As Shown	B&B, Well branched, dense tree, nursery grown	All year	20' - 50'
PSR	1	Prunus serrulata 'Shirofugen'	White Goddess Japanese Flowering Cherry	8 cm cal. (2.5" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8 m) std.	Spring	25' - 30'
SPS	5	Stewartia pseudocamellia	Japanese Stewartia	8 cm cal. (2.5" cal.)	As Shown	B&B, Well branched, dense tree	Spring	20' - 40'
SJC	4	Styrax japonica	Japanese Snowbell	8 cm cal. (2.5" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8m) std.	Summer and fall	20' - 30'
Shrubs								
AEG	80	Abelia 'Edward Goucher'	Edward Goucher Abelia	#3 pot	75cm (30")	Well established	Summer to fall	
AJC	42	Azalea japonica 'Hino Crimson'	Hino Crimson Japanese Azalea	#3 pot	60 cm (24")	Well established	All year, spring bloom	
AJH	25	Azalea japonica 'Hino White'	Hino White Japanese Azalea	#3 pot	60 cm (24")	Well established	Early spring	
BMW	1267	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38 cm (15")	Well established	All year	
CTR	143	Choisya ternata	Mexican Orange Blossom	#3 pot	60 cm (24")	Well established	All year, spring or summer bloom	
HGR	129	Hydrangea quercifolia	Oak Leaf Hydrangea	#3 pot	75 cm (30")	Well established	Summer	
LPL	184	Lonicera pileata	Privet Honeysuckle	#1 pot	45cm (18")	30 cm (12") spread	All year	
NDM	92	Nandina domestica	Heavenly Bamboo	#3 pot	75 cm (30")	Well established	All year	
RJM	240	Rhododendron 'Jean Marie'	Jean Marie Rhododendron	#3 pot	90cm (36")	Well established	Spring	
RMF	66	Rhododendron 'Mrs. Furnival'	Mrs. Furnival Rhododendron	#3 pot	75cm (30")	Well established	All year, spring bloom	
SJP	297	Skimmia japonica	Japanese Skimmia	#2 pot	60cm (24")	Well established	All year, spring flowers, winter berries	
SBA	421	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	#2 pot	60cm (24")	Well established	Summer	
TOS	540	Thuja occidentalis 'Smaragd'	Emerald Cedar	1.5m	60cm (24")	Well established, dense hedging plant / B & B	All year	
VOT	146	Vaccinium ovatum 'Thunderbird'	Thunderbird Evergreen Huckleberry	#3 pot	60 cm (24")	Well established, nursery grown	All year, new growth color in spring	
VDV	250	Viburnum davidii	David Viburnum	#2 pot	60cm (24")	Well established	All year, spring	
Ground Cover								
AUU	297	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads. Mimimum 3 leads, nursery grown	All year, spring bloom, fall berries	
ECP	698	Erica carnea 'Springwood Pink'	Spring Pink Winter Heath	#1 pot	38 cm (15")	15cm (6") height	All year, winter bloom	
LMB	306	Liriope muscari 'Big Blue'	Big Blue Lily-turf	#1 pot	38 cm (15")	Well established	All year, summer bloom	
PTM	489	Pachysandra terminalis	Japanese Spurge	#1 pot	38 cm (15")	10cm (4") height	All year, spring bloom	
Perennials								
ROF	458	Rosemarinus officinalis	Rosemary	#2 pot	45 cm (18")	Well established	Summer	
Ornamental Grasses								
CID	57	Carex morrowii 'Ice Dance'	Variiegated Sedge	#2 pot	38cm (15")	Well established	All year	

NOTE:
-N = NATIVE TREE



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 42
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
EPP120534

DRAWING TITLE

PLANT LIST






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NORTH	SCALE
	N/A


PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP .vwx
PLOTTED	2023-05-31
DRAWN	JW
REVIEWED	GB, JD

DRAWING

L3.02

HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
	Modular Retaining Wall
	CIP Concrete Stair with Metal Handrail and Tactile Warning Strip
	Boulder and Timber Log
	Bird Drinking Bowl
	CIP Concrete Wall

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
	Concrete Unit Paver Type A
	Concrete Unit Paver Type B
	Concrete Unit Paver Type C
	Concrete Stepping Stone
	CIP Concrete Paving - Vehicular
	CIP Concrete Paving - Pedestrian
	Hydrapressed Pavers
	Drip Strip
	Resilient Rubber Surfacing
	Maintenance Path
	Granular Paving with Binder

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
	Table and Chair Type 1
	Table and Chair Type 2
	Chair
	Bench Type 1
	Bench Type 2
	Picnic Table
	Treillis
	Play Equipment Type 1
	Play Equipment Type 2
	Play Equipment Type 3
	Vertical Climbing Wall By Architecture
	Patio Gate / Maintenance Gate
	Urban Agriculture Planter
	Bike Rack
	Bollard with light
	Potting Table



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5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 43
 May 30, 2023
 DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 EPP120534

DRAWING TITLE

MATERIAL AND LEGEND

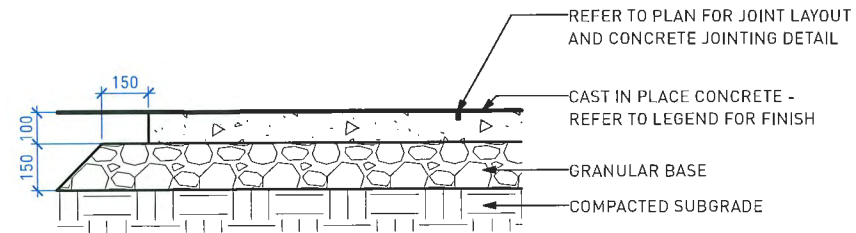
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NORTH	SCALE
	N/A

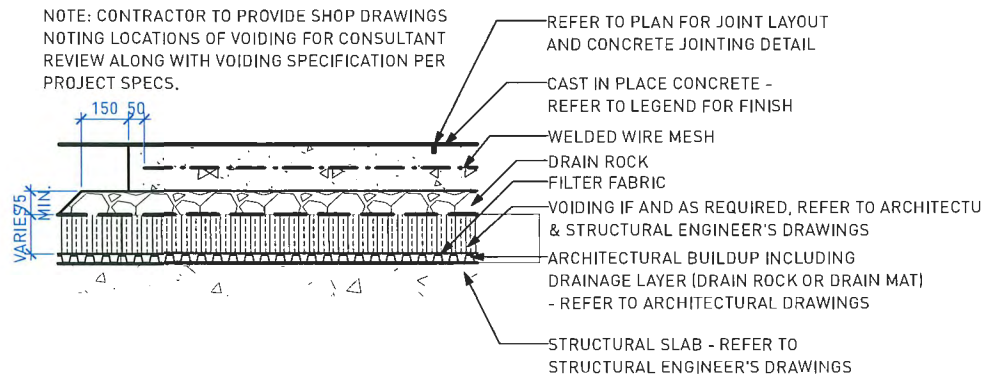
PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP .vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

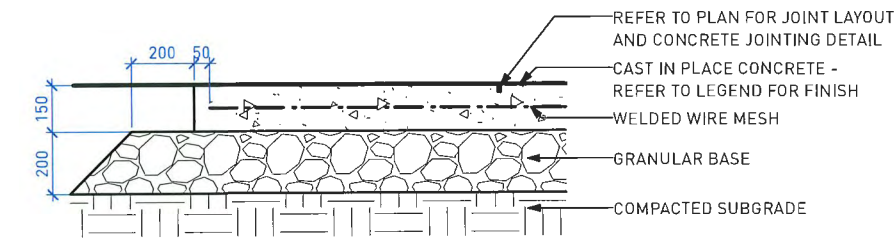
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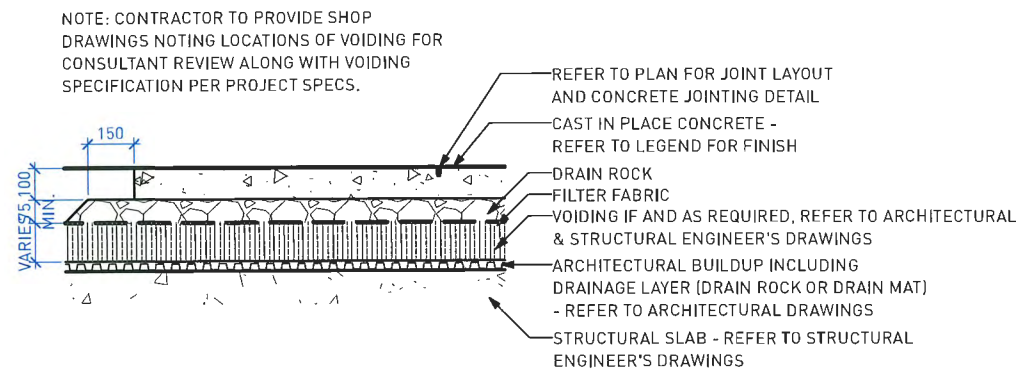
1 CAST IN PLACE CONCRETE ON GRADE: PEDESTRIAN AREAS
Scale: 1:20



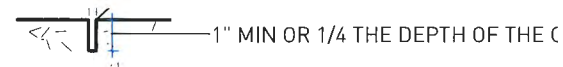
2 CAST IN PLACE CONCRETE ON SLAB: VEHICULAR AREAS
Scale: 1:20



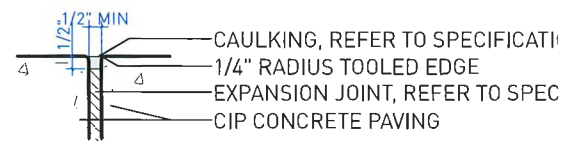
3 CAST IN PLACE CONCRETE ON GRADE: VEHICULAR AREAS
Scale: 1:20



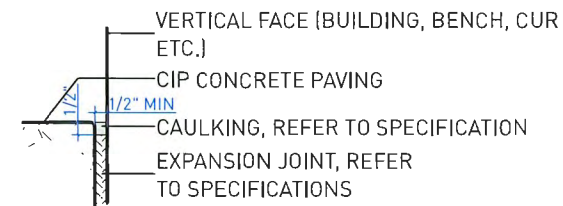
4 CIP CONCRETE ON SLAB: PEDESTRIAN AREAS
Scale: 1:20



SAW CUT CONTROL JOINT



EXPANSION JOINT PAVING TO PAVING



EXPANSION JOINT PAVING TO VERTICAL FACE

5 CONCRETE JOINTING
Scale: 1:5



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DP Plan # 44
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
EPP120534

DRAWING TITLE

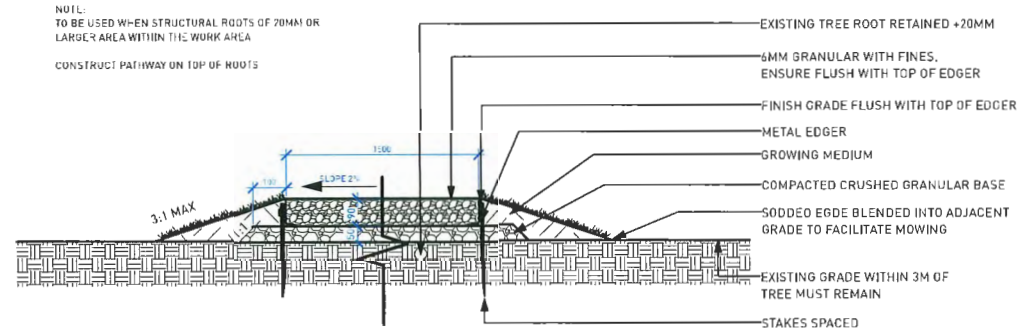
DETAILS

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NORTH		SCALE	
		AS SHOWN	
PROJECT NO.	19057	DATE	2019-05-10
FILE NAME	19057 DETAIL 11x17_ADP.vwx	PLOTTED	2023-05-30
DRAWN	JW	REVIEWED	GB, JO

DRAWING

L8.01



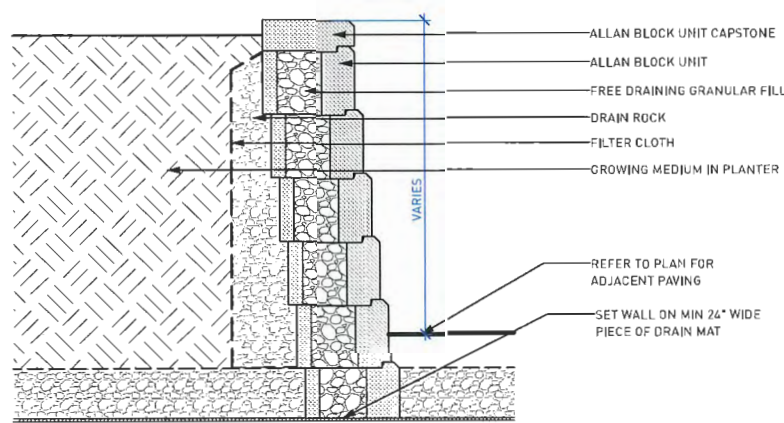
1 CRUSHED AGGREGATE PAVING WITH SODDED EDGE BUILT OVER EXISTING TREE ROOTS
 Scale: 1:20

REVISIONS AND ISSUES

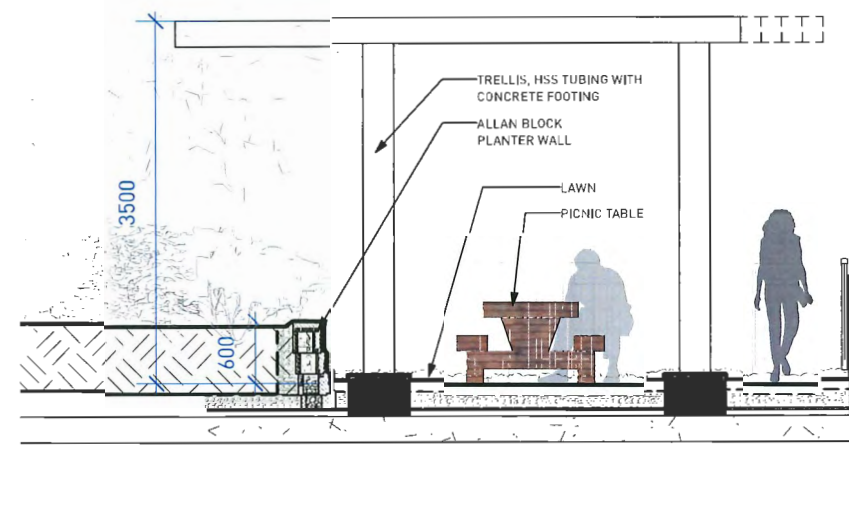
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DP Plan # 45
 May 30, 2023
 DP 22-015851

NOTE:
 INSTALL PER MANUFACTURER SPECIFICATIONS.



2 ALLAN BLOCK RETAINING WALL ON SLAB
 Scale: 1:20



3 COURTYARD TRELIS
 Scale: 1:60

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

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NORTH	SCALE
	AS SHOWN

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 DETAIL 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L8.03

LAYOUT AND MATERIALS GENERAL NOTES

- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
- REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

GRADING GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- GROWING MEDIUM DEPTHS ON ARCHITECTURAL SLAB ARE NOT TO EXCEED THOSE SPECIFIED IN SPECIFICATIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- SLAB DRAINS AND PLANTER SLAB DRAINS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE READ IN CONJUNCTION WITH MECHANICAL ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED ALL DRAINS LOCATED IN LAWN OR PLANTED AREAS TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT AS DETAILED ON LANDSCAPE DRAWINGS.
- UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
- UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
- TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

GRADING LEGEND	
	Existing Elevation
	Proposed Elevation
	Finished Floor Elevation
	Proposed Top of Wall Elevation
	Proposed Bottom of Wall Elevation
	Proposed Top of Stair Elevation
	Proposed Bottom of Stair Elevation

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
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DP Plan # 46
 May 30, 2023
 DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 FPP120534

DRAWING TITLE

MATERIAL AND LEGEND

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NORTH	SCALE
	N/A

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L1.01_B

**DESIGN BUILD IRRIGATION SYSTEM
GENERAL NOTES**

- DESIGN BUILD IRRIGATION DRAWINGS TO BE READ IN CONJUNCTION WITH PLANTING PLANS. CONTRACTOR TO ENSURE THAT LAWN AREAS ARE ZONED SEPARATELY FROM OTHER PLANTED AREAS AS PER SPECIFICATIONS. LAWN AREAS ZONED WITH OTHER PLANTED AREAS WILL BE REJECTED.
- AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED AS "DESIGN BUILD". REFER TO SPECIFICATIONS FOR DESIGN AND SUBMISSION REQUIREMENTS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR TO PROVIDE IRRIGATION DESIGN DRAWINGS FOR CONSULTANT REVIEW AS PER SPECIFICATIONS. IRRIGATION INSTALLED PRIOR TO THE REVIEW OF DESIGN BUILD DRAWINGS BY THE CONSULTANT WILL BE REJECTED.
- LOCATION OF IRRIGATION SLEEVES NOTED ON LANDSCAPE DRAWINGS ARE SCHEMATIC. PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE IRRIGATION SLEEVES UNDER PAVED AREAS AND THROUGH WALLS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL SLEEVE LOCATIONS ARE TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS.
- PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE CONDUIT RUNS, SLEEVING AND MOUNTING LOCATION FOR RAIN SENSOR AS PER SPECIFICATIONS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL RAIN SENSOR LOCATION IS TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS.
- IRRIGATION STUB-OUT LOCATIONS NOTED ON LANDSCAPE DRAWINGS ARE SCHEMATIC AND FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE CONNECTION TO WATER SUPPLY WITH THE MECHANICAL CONTRACTOR. REFER TO MECHANICAL ENGINEER'S DRAWINGS.
- UNLESS OTHERWISE INDICATED THE IRRIGATION CONTROLLER TO BE LOCATED IN BUILDING MECHANICAL ROOM AS PER SPECIFICATIONS. FOR CONTROLLER LOCATION IN MECHANICAL ROOM, SEE MECHANICAL ENGINEER'S DRAWINGS.
- CONTRACTOR TO COORDINATE CONTROLLER CONNECTION TO ELECTRICAL SUPPLY WITH ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL ENGINEER'S DRAWINGS.
- IRRIGATION SYSTEM TO PROVIDE FULL HEAD TO HEAD COVERAGE.

PLANTING GENERAL NOTES

- ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION.
- SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
- PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
- PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
- PLANTS WILL BE NUSERY GROWN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
- CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.



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DP Plan # 47
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
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EPP120534

DRAWING TITLE

MATERIAL AND LEGEND

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NORTH	SCALE
	N/A

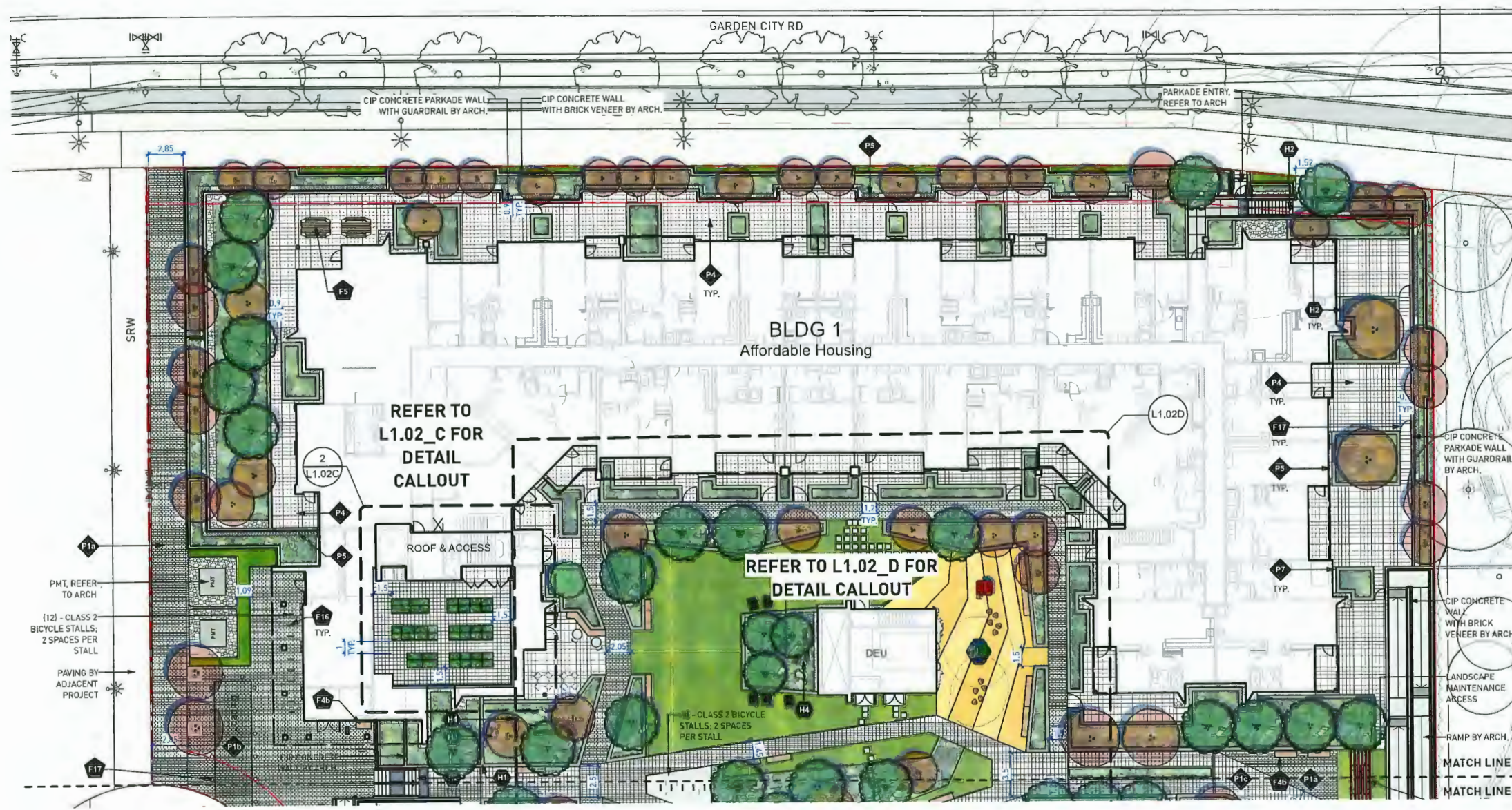
PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L1.01_C



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DP Plan # 48
 May 30, 2023
 DP 22-015851

PROJECT

TALISTAR

ADDRESS

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 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
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DRAWING TITLE

LAYOUT AND MATERIALS
 PLAN

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NORTH	SCALE
	1:350

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L1.02_A





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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 49
 May 30, 2023
 DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 FPP120534

DRAWING TITLE

LAYOUT AND MATERIALS
 PLAN

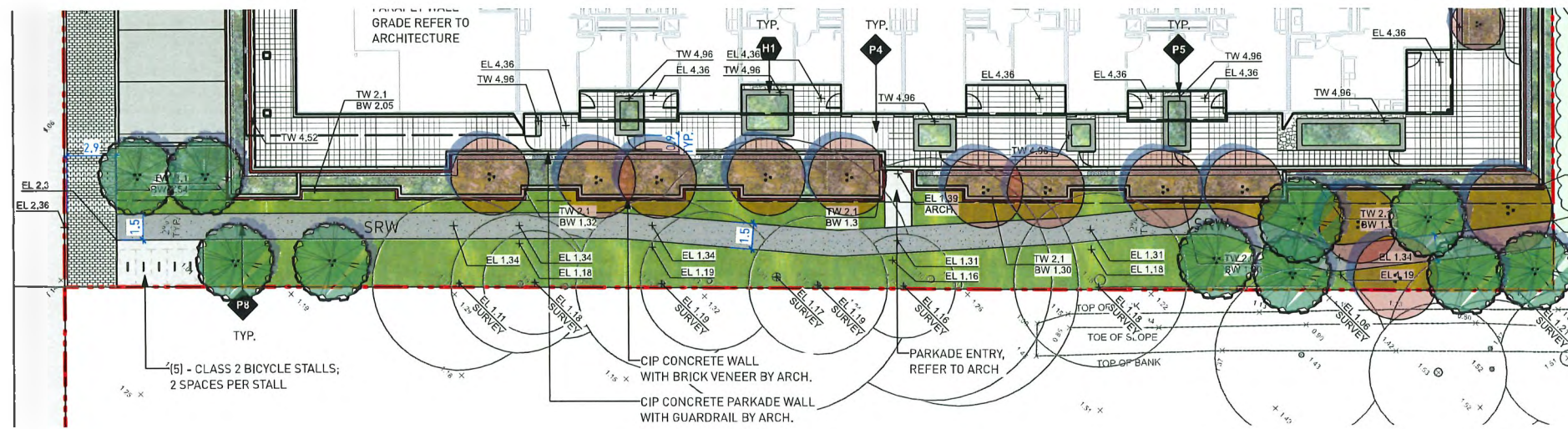
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NORTH	SCALE
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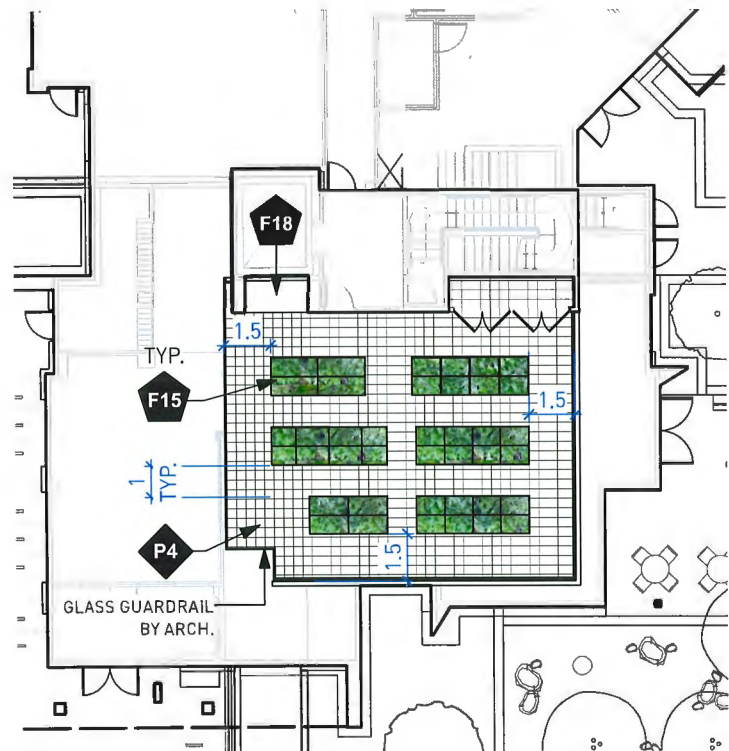
PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING
L1.02_B





1 WEST PUBLIC WALKWAY
Scale: 1:300



2 ROOF URBAN AGRICULTURE AREA
Scale: 1:200



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 50
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
EPP120534

DRAWING TITLE

LAYOUT AND MATERIALS
PLAN

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NORTH	SCALE
	AS SHOWN

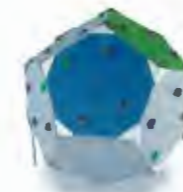
PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JD

DRAWING

L1.02_C



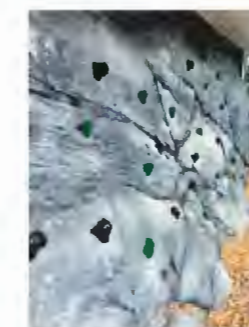
F7 - KOMPAN - PLAYHOUSE



F9 - KOMPAN - BLOXX



F8 - KOMPAN - WATERLILIES



F12 - CLIMBING WALL

FOR LEGENDS AND NOTES REFER TO DRAWING L1.01



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 51
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
EPP120534

DRAWING TITLE

LAYOUT AND MATERIALS
PLAN

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NORTH SCALE



PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP .vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L1.02_D

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 52
 May 30, 2023
 DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 EPP120534

DRAWING TITLE

**LAYOUT AND MATERIALS
 PLAN**

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NORTH SCALE



1:200

PROJECT NO. 19057

DATE 2019-05-10

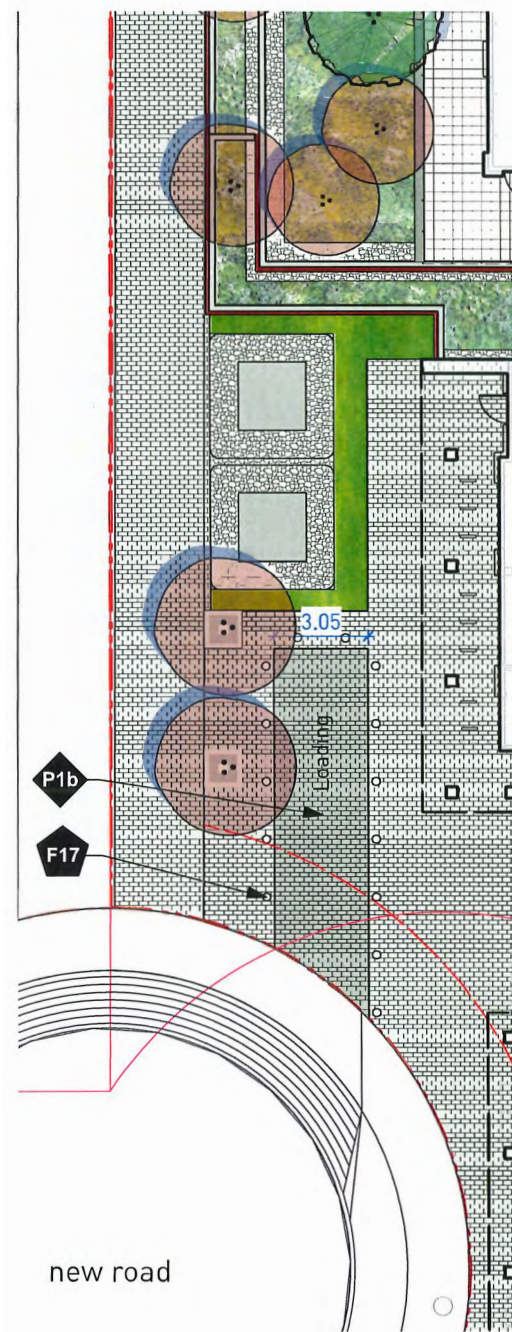
FILE NAME 19057 PLAN 11x17_ADP_vwx

PLOTTEO 2023-05-31

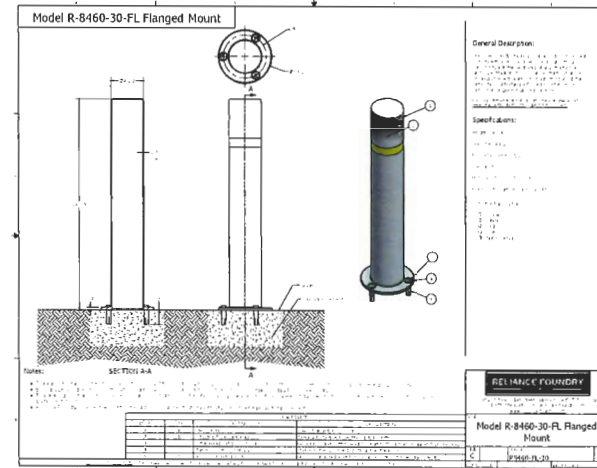
DRAWN JW REVIEWED GB, JO

DRAWING

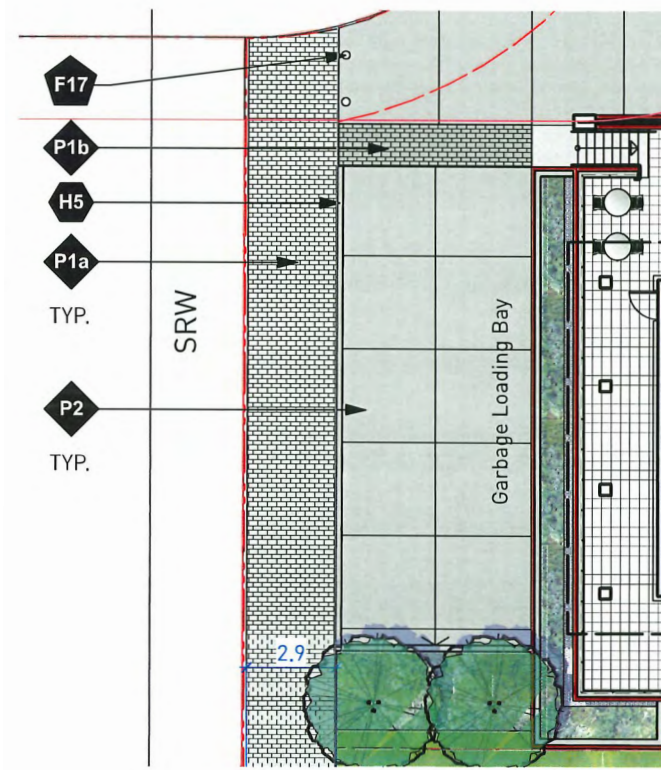
L1.02_E



1 EAST LOADING BAY
 Scale: 1:200



F17 - BOLLARD



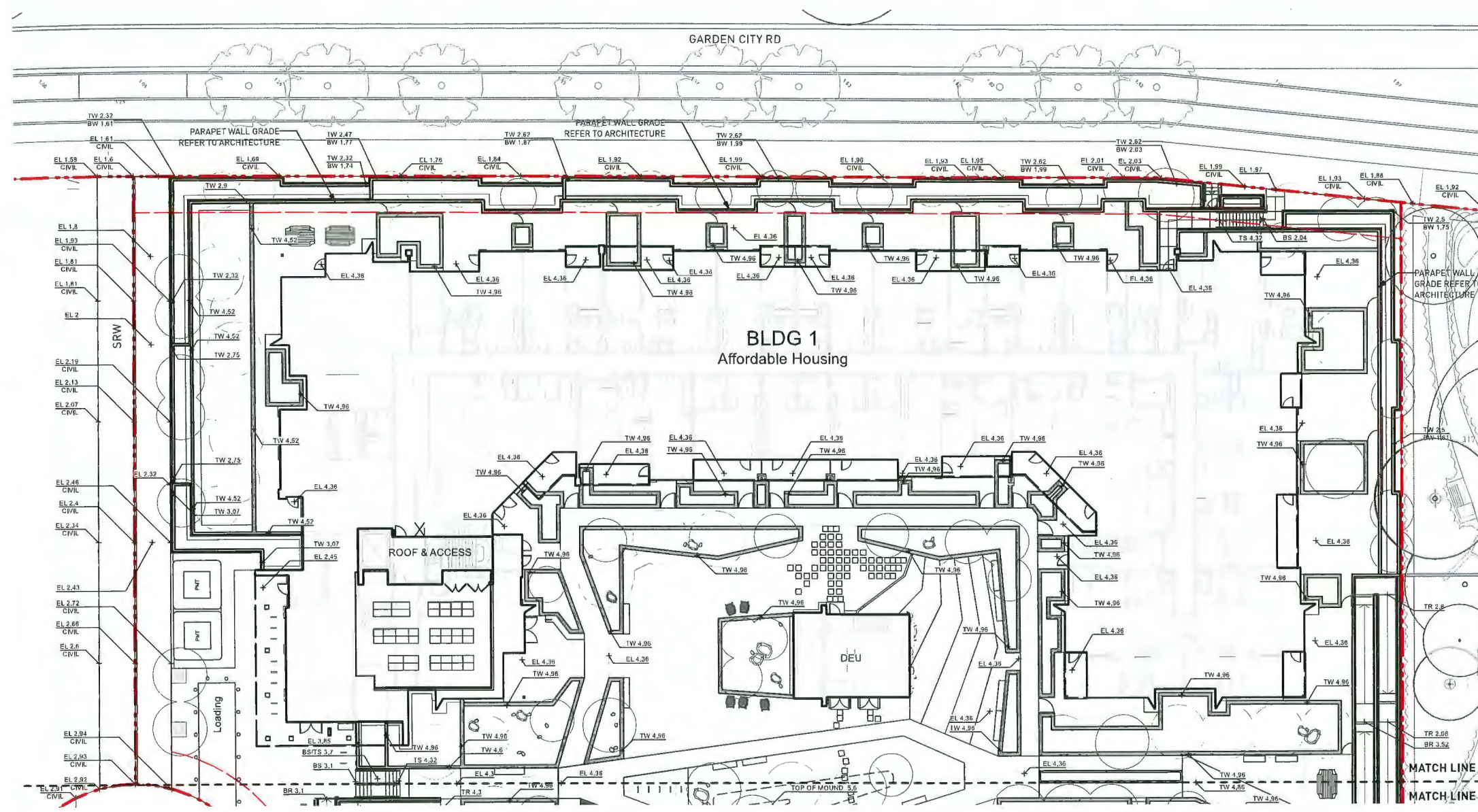
2 WEST LOADING BAY
 Scale: 1:200

FOR LEGENDS AND NOTES
 REFER TO DRAWING L1.01A





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REVISIONS AND ISSUES

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3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 53
 May 30, 2023
 DP 22-015851


PROJECT
TALISTAR

ADDRESS
 CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 FPP120534

DRAWING TITLE
GRADING PLAN

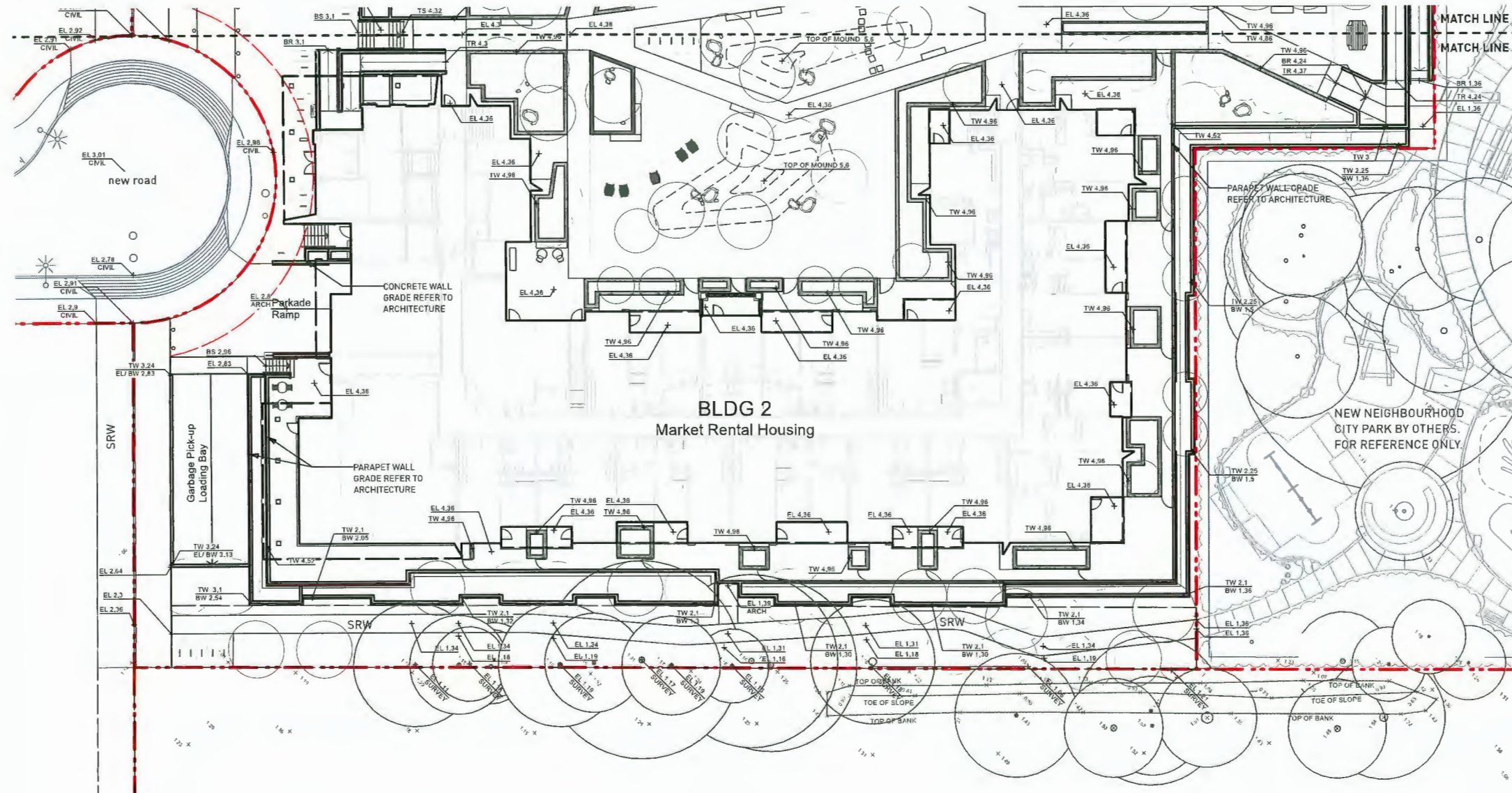
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NORTH  SCALE
1:350

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP .vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING
L2.01_A





REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 54
 May 30, 2023
 DP 22-015851

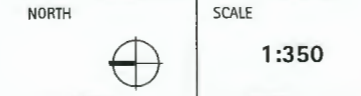
PROJECT
TALISTAR

ADDRESS
 CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 FPP120534

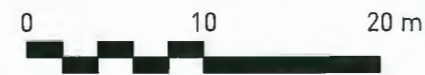
DRAWING TITLE
GRADING PLAN

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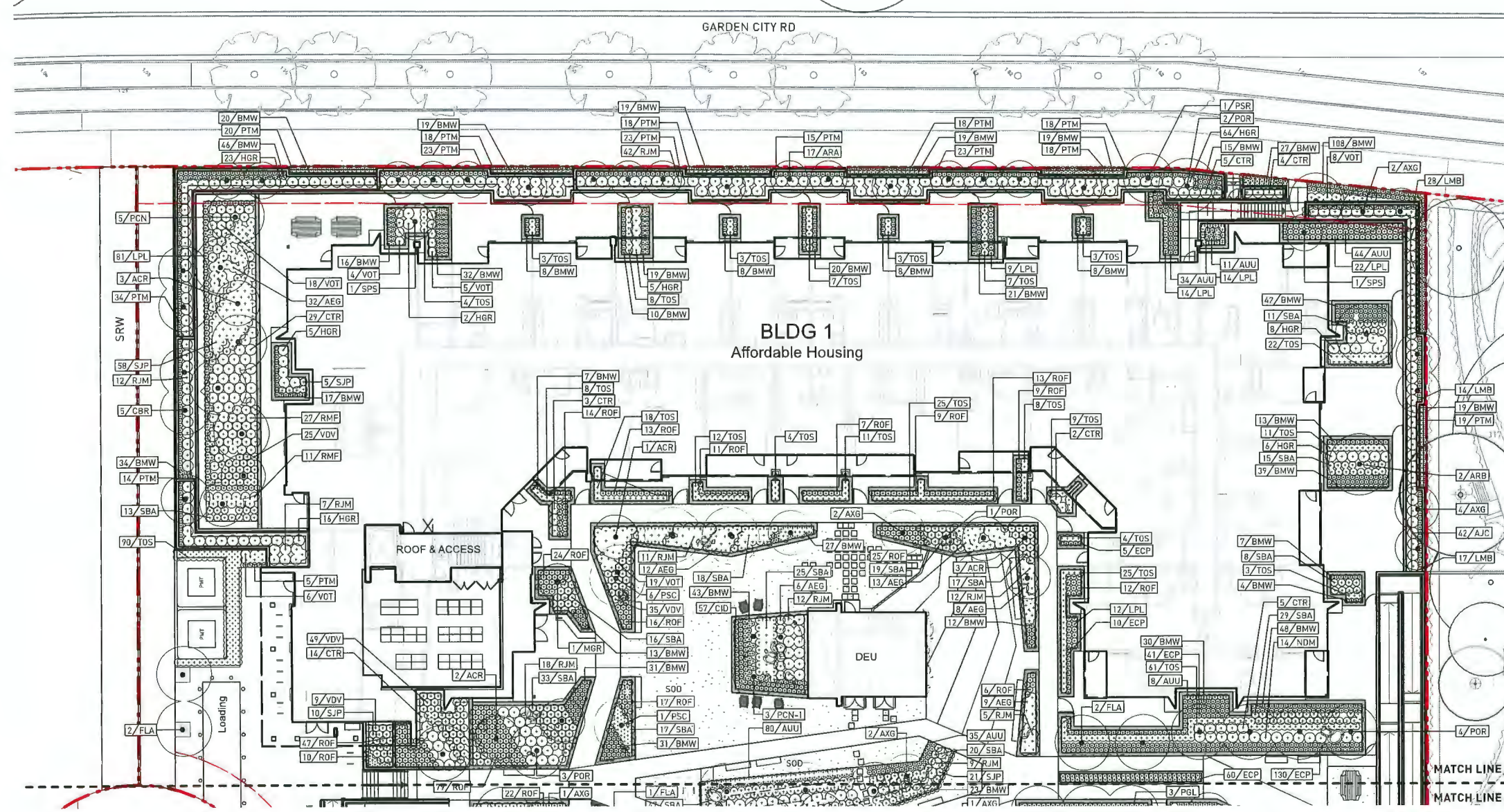
PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-31
DRAWN	JW
REVIEWED	GB, JO

DRAWING
L2.01_B





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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 55
 May 30, 2023
 DP 22-015851


PROJECT
TALISTAR

ADDRESS
 CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 FPP120534

DRAWING TITLE
PLANTING PLAN

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NORTH  SCALE
1:350

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

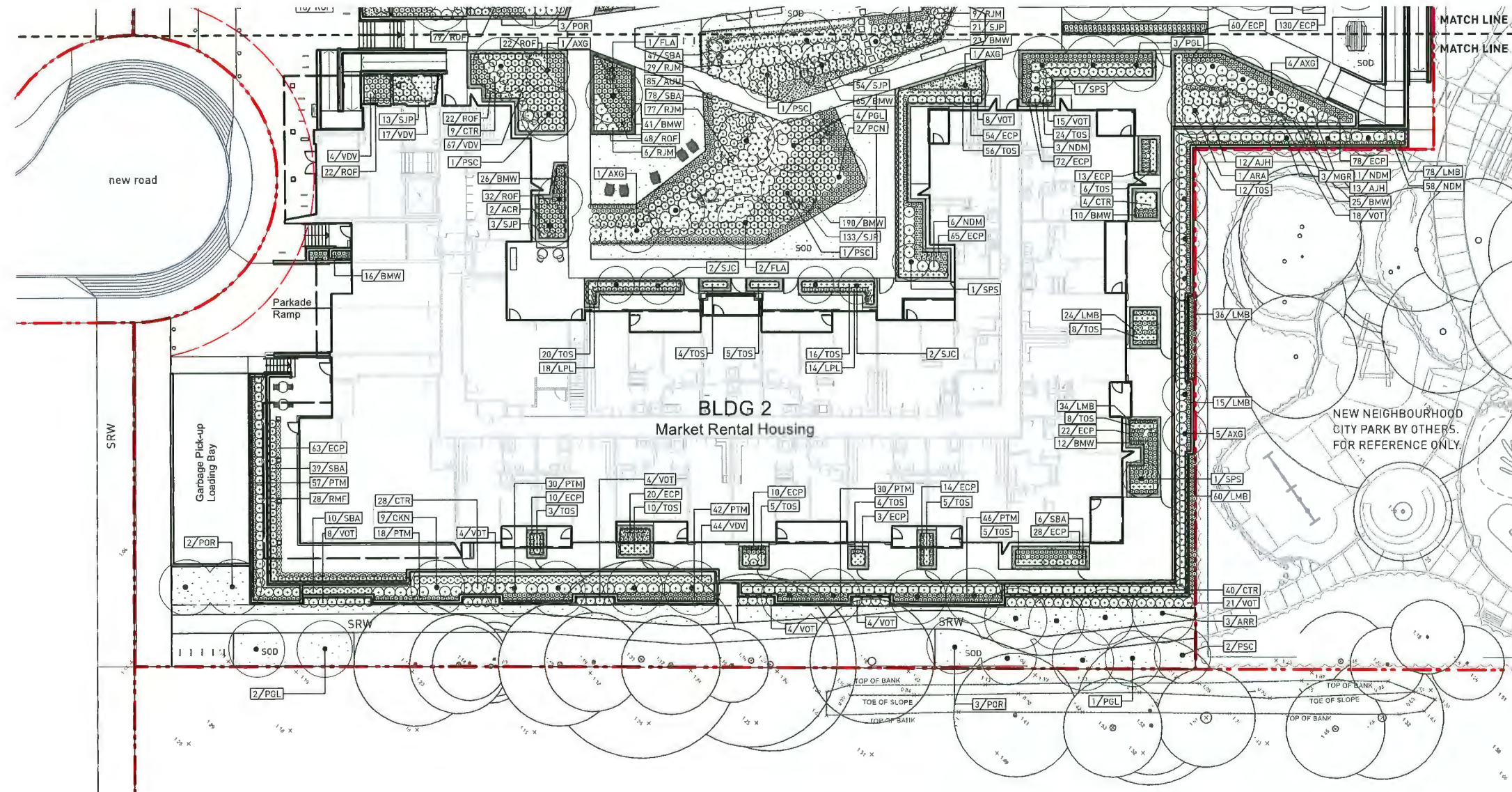
DRAWING
L3.01_A





PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 56
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
EPP120534

DRAWING TITLE

PLANTING PLAN

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NORTH



SCALE

1:350

PROJECT NO. 19057

DATE 2019-05-10

FILE NAME 19057 PLAN 11x17_ADP_vwx

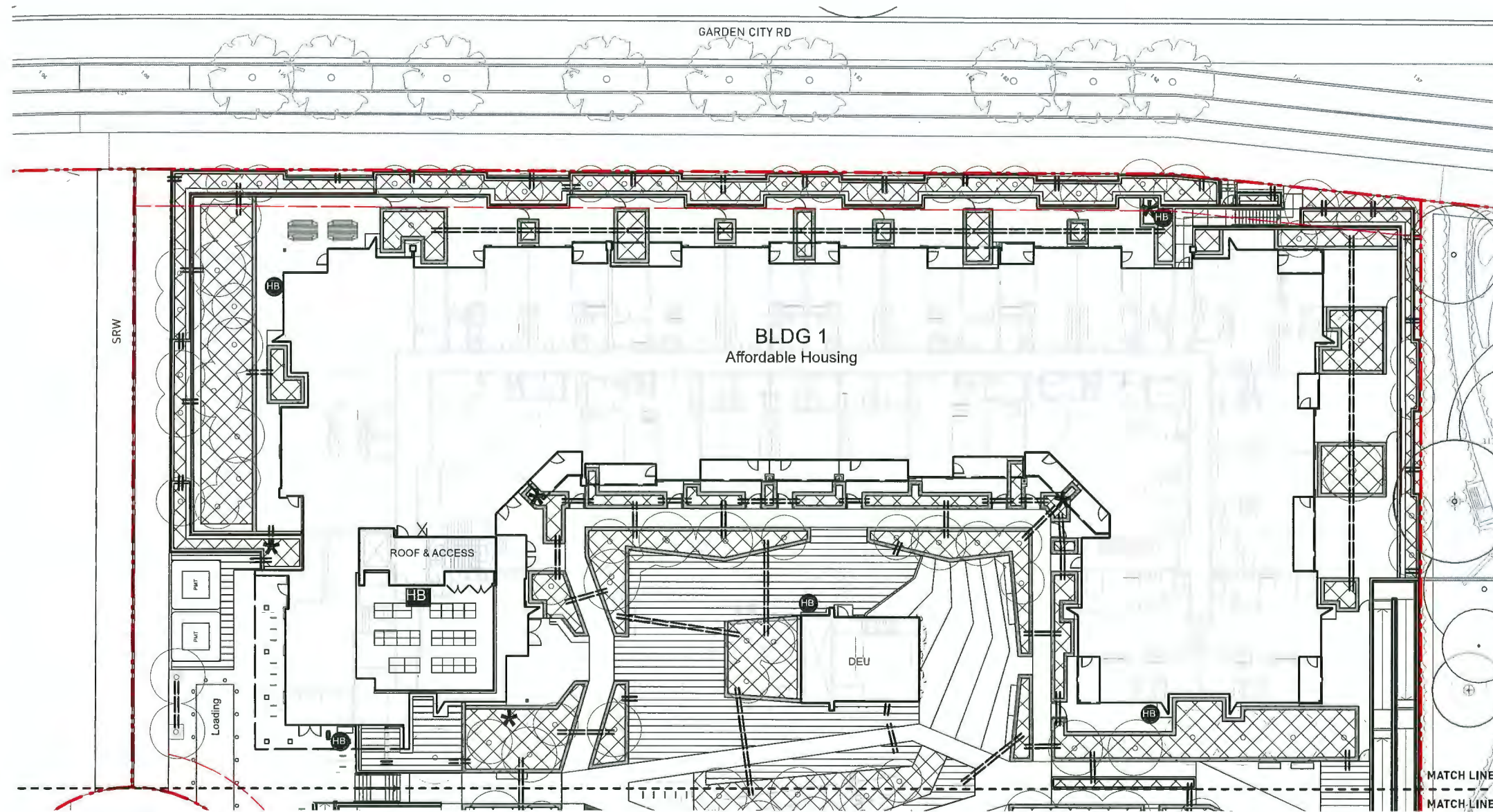
PLOTTED 2023-05-30

DRAWN JW REVIEWED GB, JD

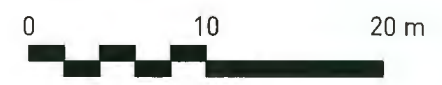
DRAWING

L3.01_B





IRRIGATION LEGEND (ALL PLANTED AREAS WITHIN PROPERTY LINE TO RECEIVE IRRIGATION)	
	DRIP IRRIGATION AREA
	SPRAY IRRIGATION AREA
	IRRIGATION SLEEVE
	IRRIGATION STUB OUT
	HOSE BIB



PWL partnership

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REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 57
 May 30, 2023
 DP 22-015851

PROJECT
TALISTAR

ADDRESS
 CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 EPP120534

DRAWING TITLE
IRRIGATION PLAN

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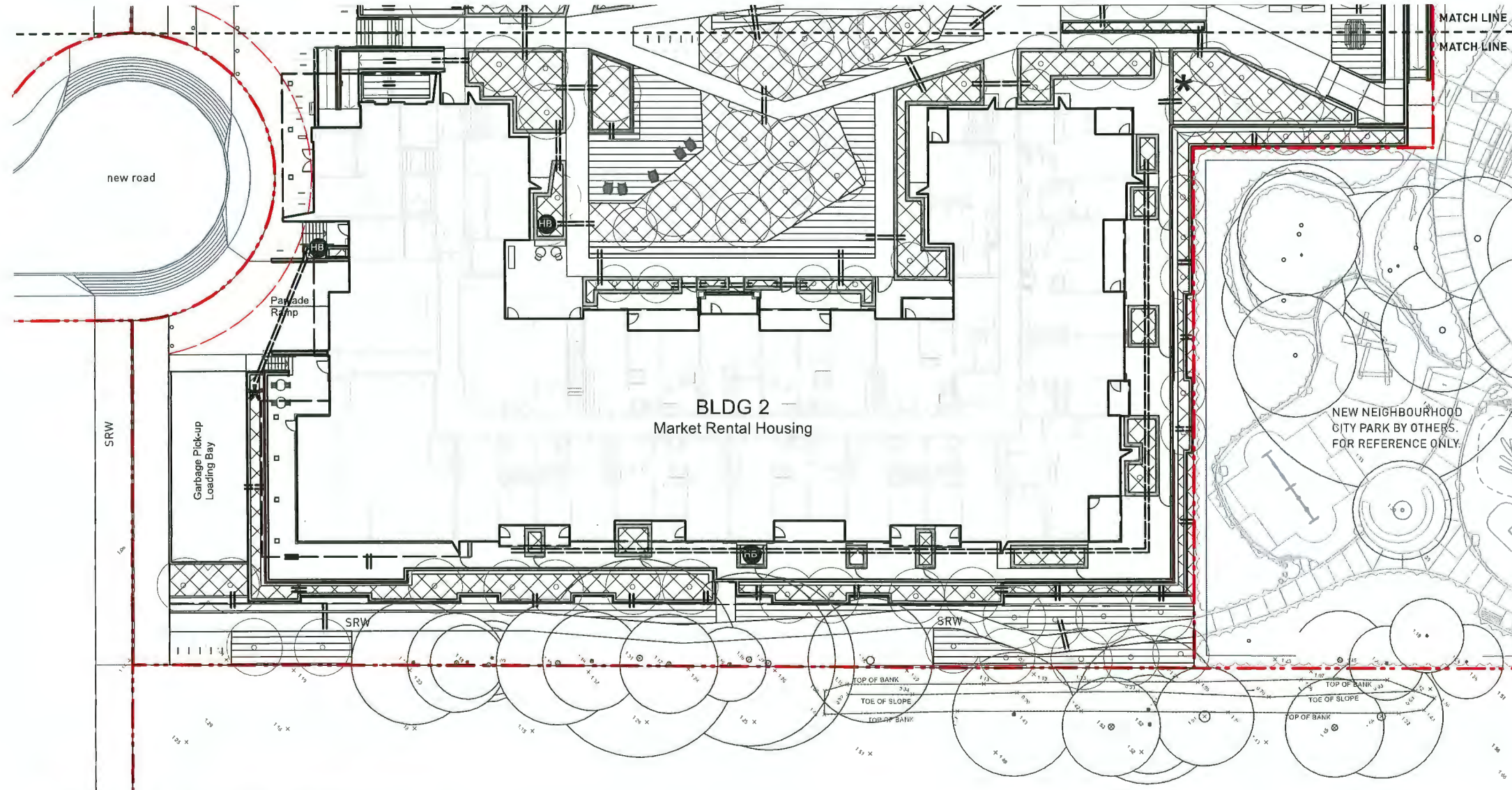
NORTH SCALE
1:350

PROJECT NO.	19057
DATE	2019-06-10
FILE NAME	19057 PLAN 11x17_ADP_vvwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING
L4.01_A



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REVISIONS AND ISSUES		
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1	2022-06-18	ISSUED FOR DP
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3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 58
 May 30, 2023
 DP 22-015851

PROJECT
TALISTAR

ADDRESS
 CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 EPP120534

DRAWING TITLE

IRRIGATION PLAN

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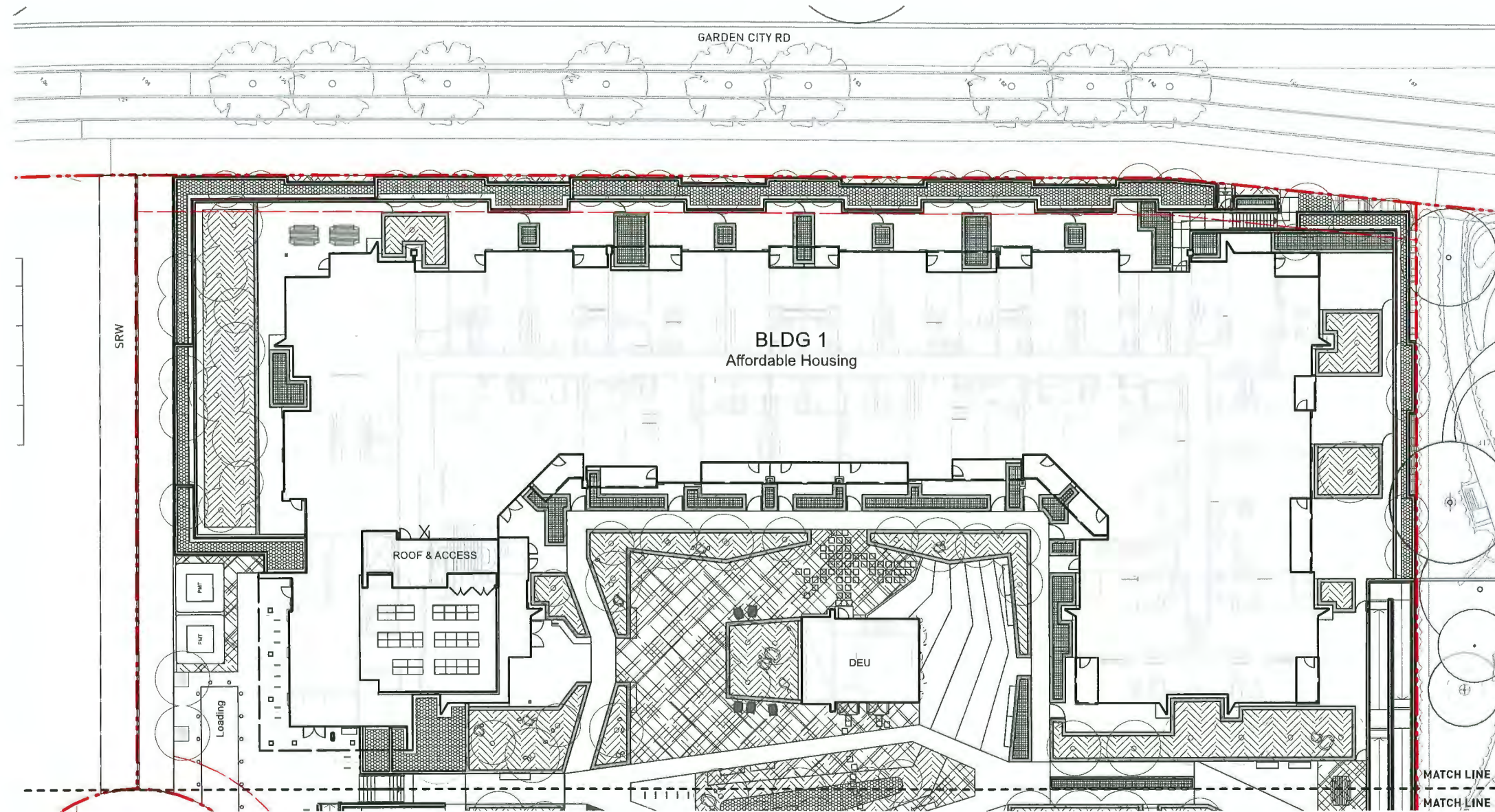
NORTH	SCALE
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PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP .vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING
L4.01_B

IRRIGATION LEGEND (ALL PLANTED AREAS WITHIN PROPERTY LINE TO RECEIVE IRRIGATION)	
	DRIP IRRIGATION AREA
	SPRAY IRRIGATION AREA
	IRRIGATION SLEEVE
	IRRIGATION STUB OUT
	HOSE BIB





SOIL DEPTH LEGEND	
	300MM DEPTH
	450MM DEPTH
	750MM PLUS MOUNTING TO 900MM DEPTH
	900MM DEPTH



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REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
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3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 59
 May 30, 2023
 DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 FPP120534

DRAWING TITLE

SOIL DEPTH PLAN

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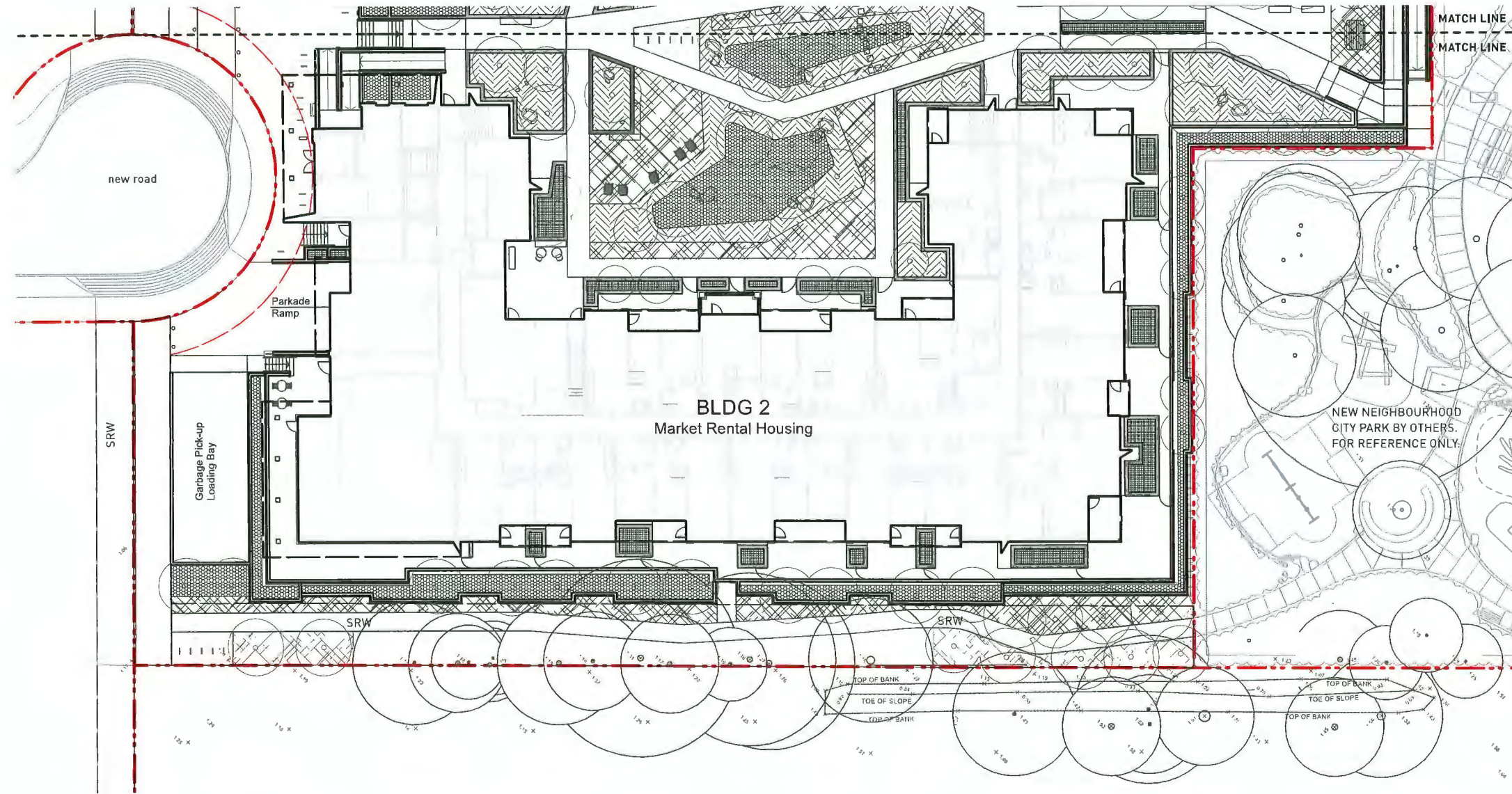
NORTH	SCALE
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PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP .vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING
L5.01_A



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 T 604.688.6111
 F 604.688.6112



REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
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3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 60
 May 30, 2023
 DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 EPP120534

DRAWING TITLE

SOIL DEPTH PLAN

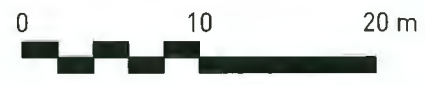
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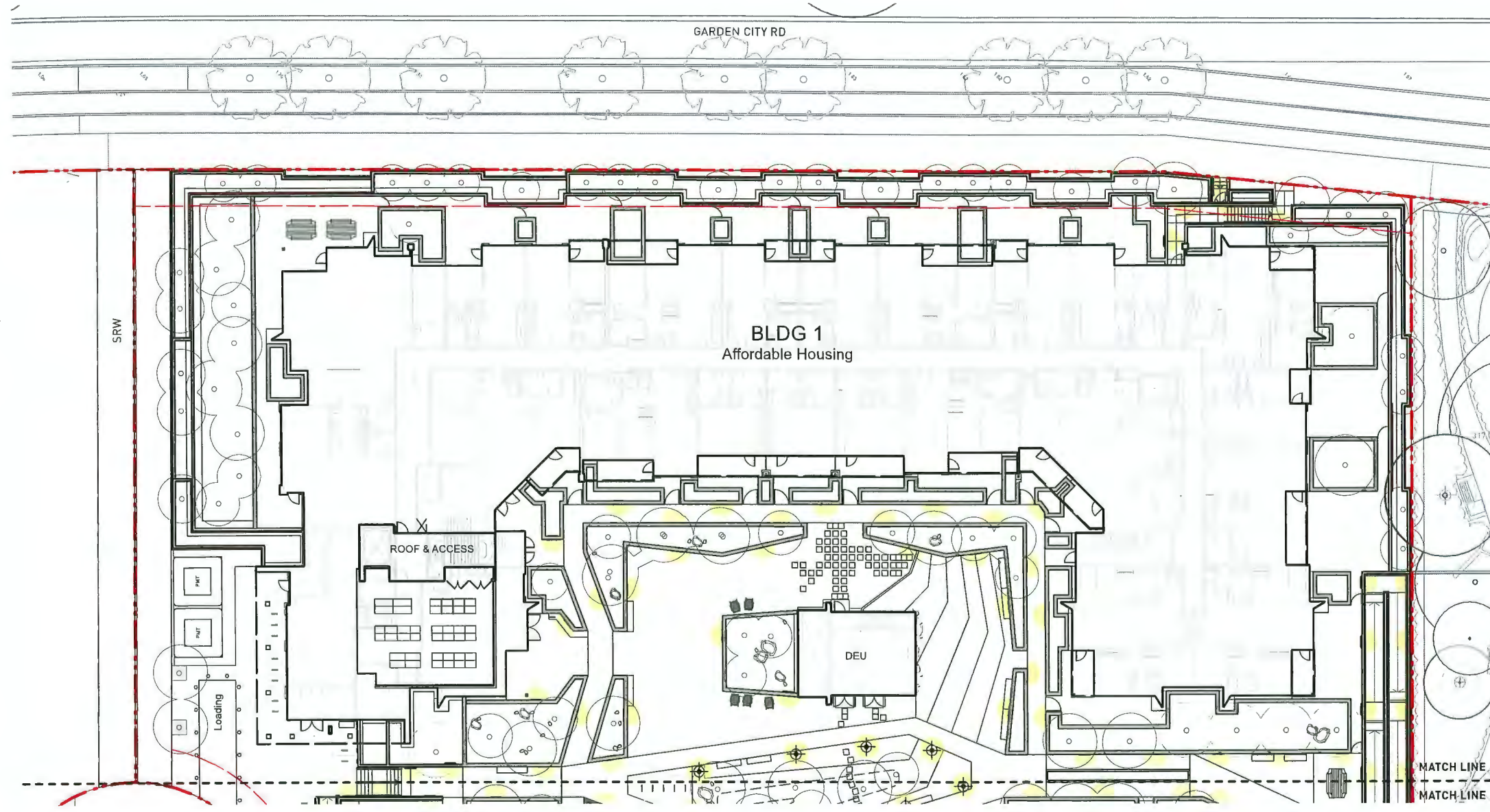
NORTH	SCALE
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PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP .vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING
L5.01_B

SOIL DEPTH LEGEND	
	300MM DEPTH
	450MM DEPTH
	750MM PLUS MOUNTING TO 900MM DEPTH
	900MM DEPTH





REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
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4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 61
 May 30, 2023
 DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
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LOT 1 SECTION 27 AND 28 BLOCK 5
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DRAWING TITLE

LIGHTING PLAN

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NORTH SCALE



1:350

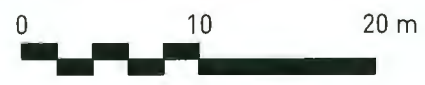
PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP_vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L6.01_A

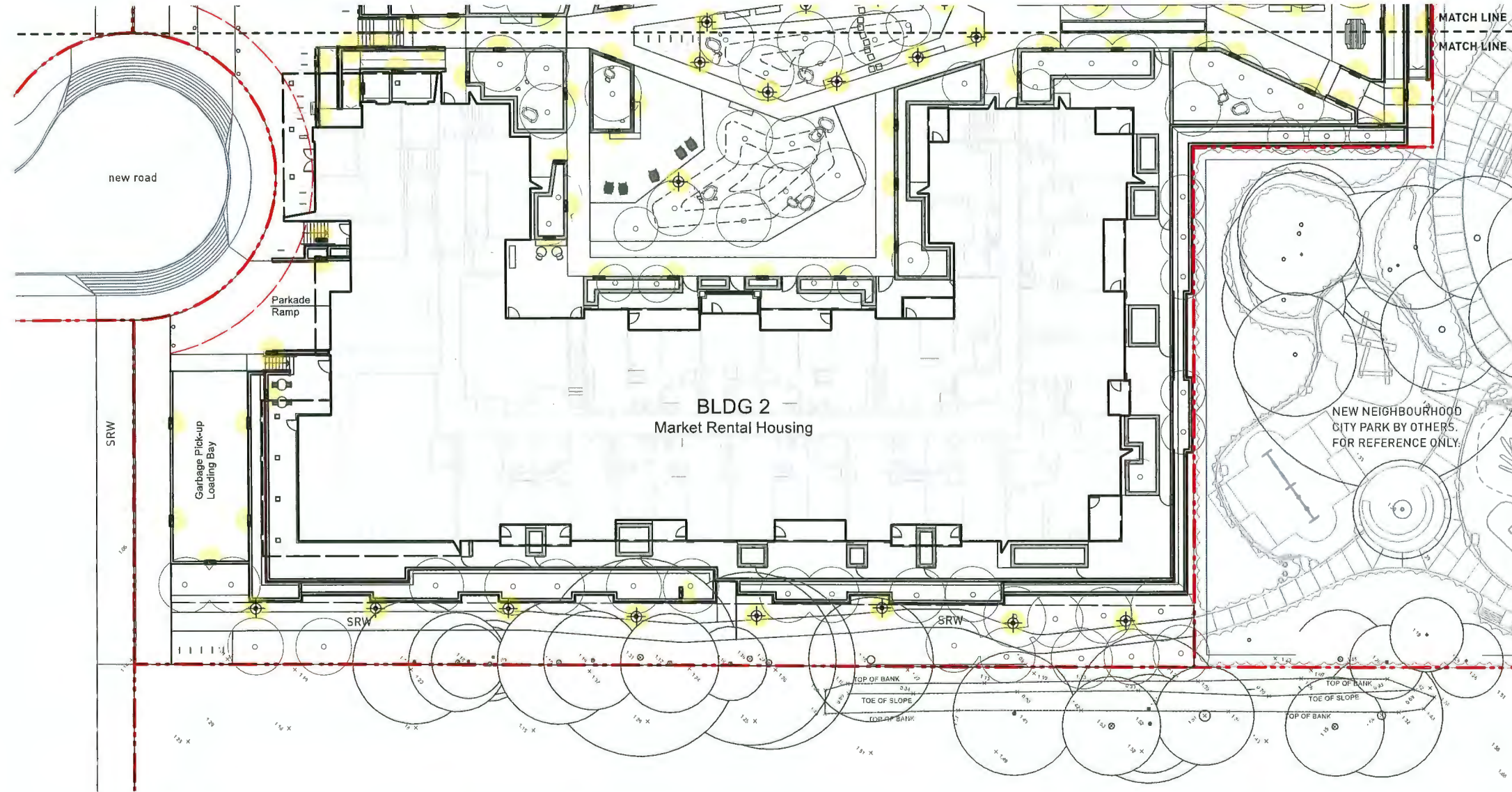
LIGHTING LEGEND	
<p>DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION BETWEEN CONTRACTORS.</p> <p>REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR FIXTURE TYPES AND LAYOUT, CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONSULTANT FOR COMMENTS.</p>	<p> TYPE 1 - BOLLARD LIGHT</p> <p> TYPE 2 - STEP LIGHT/WALL LIGHT</p>

NOTE: LIGHTING FIXTURES ARE TO BE DIRECTED DOWNWARDS AND BE DARK SKY COMPLIANT. PLEASE READ THIS PLAN IN CONJUNCTION WITH ELECTRICAL ENGINEERING'S DRAWINGS.





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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
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3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 62
 May 30, 2023
 DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
 RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
 NORTH RANGE 6 WEST NWD PLAN
 FPP120534

DRAWING TITLE

LIGHTING PLAN

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NORTH	SCALE
	1:350

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING
L6.01_B

<p>LIGHTING LEGEND</p> <p>DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION BETWEEN CONTRACTORS.</p> <p>REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR FIXTURE TYPES AND LAYOUT, CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONSULTANT FOR COMMENTS.</p>	<p>TYPE 1 - BOLLARD LIGHT</p>
	<p>TYPE 2 - STEP LIGHT/WALL LIGHT</p>

NOTE: LIGHTING FIXTURES ARE TO BE DIRECTED DOWNWARDS AND BE DARK SKY COMPLIANT. PLEASE READ THIS PLAN IN CONJUNCTION WITH ELECTRICAL ENGINEERING'S DRAWINGS.





1 NORTH ELEVATION
SCALE: 1/32" = 1'-0"



2 WEST ELEVATION
SCALE: 1/32" = 1'-0"



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1455 West 9th Avenue, Vancouver, BC V6H 1S4

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Revisions:

- Dec 4, 2020
Issued for Rezoning
- Dec 23, 2020
Update 2: Issued for Rezoning
- June 17, 2022
Development Permit Submission
- November 21, 2022
Resubmission for Development Permit
- January 12, 2023
Resubmission #2 for Development Permit
- March 8, 2023
Resubmission #3 for Development Permit
- May 30, 2023
Response to comments from Resubmission #3 for Development Permit

Reference Plan
May 30, 2023
DP 22-015851

Rev. Title: 08



POLYGON HOMES

Project:

TALISMAN
AFFORDABLE & RENTAL HOUSING

Cambie & Garden City Rd.
Richmond, B.C.

Overall Elevations
North and West

Scale: 1/32" = 1'-0"
May 30, 2023

A-1.10



3 SOUTH ELEVATION
SCALE: 1/32" = 1'-0"



4 EAST ELEVATION
SCALE: 1/32" = 1'-0"



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Reference Plan
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Overall Elevations
South and East

Scale: 1/32" = 1'-0"
May 30, 2023

A-1.11



B Overall Section & East Courtyard Elevation
 A-1.12 SCALE: 1/32" = 1'-0"



A Overall Section & West Courtyard Elevation
 A-1.12 SCALE: 1/32" = 1'-0"



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 1475 - 45th Avenue, Vancouver, BC V6M 2K4

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POLYGON HOMES

TALISMAN
 AFFORDABLE & RENTAL HOUSING
 Cambie & Garden City Rd.
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Overall Elevations
 Courtyard
 Scale: 1/32" = 1'-0"
 May 30, 2023

A-1.12

Artistic Visualizations

Overall Development

Reference Plan
May 30, 2023
DP 22-015851



Building 1 & 2 Entry from East Road Roundabout.



Building 1 & 2 Courtyard facing Proposed Park looking North



Aerial View of Building 1 & 2 Entries towards South

Artistic Visualizations

Building 1

Reference Plan
May 30, 2023
DP 22-015851



Northeast Corner along Garden City Road



Southeast Corner along Garden City Road



Building 1 Courtyard looking Southeast

Artistic Visualizations

Building 2

Reference Plan
May 30, 2023
DP 22-015851



Building 2 Entry from East Road



Southwest Corner View from Park



Bldg 2 Courtyard looking Northwest