



**To:** Development Permit Panel

**Date:** April 15, 2019

**From:** Wayne Craig  
Director, Development

**File:** DP 17-792077


**Re:** Application by Konic Development for a Development Permit at  
9851, 9891 Steveston Highway and 10931 Southgate Road

---

**Staff Recommendation**

That a Development Permit be issued which would:

1. Permit the construction of 11 townhouses at 9851, 9891 Steveston Highway and 10931 Southgate Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) Allow seven resident vehicle parking spaces to be small-sized; and
  - b) Reduce the minimum front yard on Southgate Road and the exterior side yard on Steveston Highway from 6.0 m to 5.0 m.

  
Wayne Craig  
Director, Development  
(604-247-4625)

WC:cl  
Att. 3

## Staff Report

### Origin

Konic Development has applied to the City of Richmond for permission to develop 11 townhouses at 9851, 9891 Steveston Highway and 10931 Southgate Road on a site zoned “Low Density Townhouses (RTL4)”, with vehicle access from Steveston Highway (Attachment 1). The site is currently vacant.

The site is being rezoned from the “Single Detached (RS1/E)” zone to the “Low Density Townhouses (RTL4)” zone for this project under Bylaw 9659 (RZ 10-552879). The Bylaw was given Third Reading at the Public Hearing held on March 20, 2017, and the applicant is working to complete all of the Rezoning considerations.

Off-site works required as part of the proposed development include boulevard and storm sewer upgrades along Steveston Highway and Southgate Road, which will be undertaken as part of a Servicing Agreement to be entered into prior to issuance of a Building Permit.

### Development Information

Please refer to the attached Development Application Data Sheet for a comparison of the proposed development data with the relevant Bylaw requirements (Attachment 2).

### Background

Existing development immediately surrounding the subject site is as follows:

- To the north, are single-family dwellings fronting Southgate Road and Southgate Place on lots zoned “Single Detached (RS1/E)”.
- To the south, immediately across Steveston Highway, are large lots zoned “Agriculture (AG1)” that are in the Agricultural Land Reserve (ALR) at 9660 Steveston Highway and 11111 No. 4 Road, one of which contains a single detached dwelling.
- To the east, immediately across Southgate Road, is a small commercial plaza on lots zoned “Community Commercial (CC)” and “Gas and Service Station (CG2)” at 10811 and 10991 No. 4 Road, which contain a group daycare/preschool, a learning centre, and a carwash/oil change facility.
- To the west, is an existing dwelling on a lot zoned “Single Detached (RS1/E)” at 9835 Steveston Highway.

### Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Showing finalized locations for aboveground utility infrastructure required to service the proposed development.
- Addressing transitions in lot grading at the property lines within tree protection zones.

- Enhancing on-site permeability and highlighting the drive-aisle's dual-purpose for both vehicle and pedestrian circulation through the use of varied materials.
- Refinement to landscape design as it relates to tree sizes, abundance of shrubs/ground cover on-site along Steveston Highway, and providing clearance next to visitor parking.
- Improvements to upper storeys and roof forms where the buildings step down to two-storeys.
- Design development to further articulate facades and break up the building mass.
- Review of the proposed colour palette and exterior building materials.
- Demonstrating that all of the relevant accessibility features are incorporated into the design of the proposed Convertible Unit, and that aging-in-place features will be incorporated into all units.
- Reviewing the applicant's design response to the principles of Crime Prevention Through Environmental Design (CPTED).

Through the review of this Development Permit application, staff has worked with the applicant to address these issues to staff satisfaction and to ensure that the proposed architectural form and character is consistent with the design guidelines contained within the Official Community Plan (OCP). The applicant has made the following modifications to their proposal to address the urban design issues identified:

- The location for the aboveground utility infrastructure required to service the townhouses are demonstrated on the Site Plan and have been confirmed to be acceptable by the private utility service providers. Impact of the infrastructure on the public realm is minimized by locating the Shaw and Telus kiosks in an enclosed electrical room on-site, and through proposed landscaping/screening for the hydro kiosk at the east end of the internal drive-aisle.
- Significant effort and review was undertaken by the applicant, the project Arborist, and City staff of the proposed lot grading in tree protection zones at shared property lines to arrive at an acceptable outcome (i.e., using a terraced approach to maintaining the lot grade in the tree protection zone for Tree # 11 to the northwest at 9835 Steveston Highway, while using permeable pavers and varied layers of bedding course and sub-base in the tree protection zone of Tree # 7 to the northeast, shared with 10911 Southgate Road).
- On-site permeability has been enhanced with the expanded use of permeable pavers over the internal drive-aisle from the site entry all the way to the central outdoor amenity space to highlight its' shared use for both vehicle and pedestrian circulation.
- The landscape design has been refined to include a mix of deciduous and coniferous trees of various sizes, the height and abundance of shrubs on-site along Steveston Highway has been clarified, and shrubs have been removed next to visitor parking spaces to ensure adequate clearance for door opening.
- Design improvements have been made to upper storeys and roof forms where the buildings step down to two-storeys, to reflect a more subtle transition.

- Significant design development has been made to provide façade articulation and break up the building mass such that each individual unit is well-defined.
- The proposed material and colour scheme has been enhanced, is of a high-quality and will be compatible with that of adjacent single-family development.
- Aging-in-place features are proposed in all units, as noted on the plans, and the Convertible Unit proposed at the west end of Building A is designed to meet all of the guidelines in the Official Community Plan (OCP).
- Information on how the proposal responds to the principles of CPTED is summarized in the “Analysis” section below.

The Public Hearing for the rezoning of this site was held on March 20, 2017. At the Public Hearing, the neighbouring property owner at 10911 Southgate Road raised questions regarding the expected timeframe for the start of construction, when the applicant would attempt to contact the neighbouring property owner, and whether the joint consent of neighbouring property owners is required to remove trees.

In response to the neighbour’s questions, staff advised that if a tree is jointly owned, the joint consent is required for tree removal. The applicant also identified that construction would begin as soon as all permits are obtained, and that action was taken in January, 2017 to enquire about the owner’s interest in selling their property and to advise of the development plans in the event that the owner did not wish to sell.

Bylaw 9659 for the rezoning of the subject site was given Third Reading at the Public Hearing.

Following Third Reading of Bylaw 9659 and to enable demolition of the dwellings on the subject site, a valid Tree Removal Permit was obtained in June 2017 to remove of the trees agreed-upon during the Rezoning Application review process, including removal of the two trees on the shared property line of the subject site and 10911 Southgate Road.

The applicant has since reached out to the property owners at 10911 Southgate Road to provide an update on the anticipated timeline for construction on-site and to address any concerns they may have. City staff has not received further correspondence from the neighbouring property owner at 10911 Southgate Road in response to the Development Permit application.

### **Staff Comments**

The proposed scheme attached to this Report (Plans # 1.a to # 4.f, and Reference Plans) has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the “Low Density Townhouses (RTL4)” zone, except for the zoning variances noted below.

### **Zoning Compliance/Variations** (staff comments in *bold italics*)

As identified at Rezoning stage, the applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Allow seven resident vehicle parking spaces to be small-sized.

*Staff is supportive of this variance for the following reasons:*

- *Richmond Zoning Bylaw 8500 allows small car parking spaces (up to a maximum of 50%) where more than 31 parking spaces are proposed on-site. The City's Transportation Department staff support the proposed variance as the seven small car parking spaces (approximately 32 %) meet the intent of the Zoning Bylaw as it would otherwise comply if the proposed parking contained more than 31 spaces. Also, the use of the small car parking spaces enables all of the required resident parking spaces to be provided in a side-by-side arrangement within the garages of each unit.*

- b) Reduce the minimum front yard on Southgate Road and the exterior side yard on Steveston Highway from 6.0 m to 5.0 m.

*Staff is supportive of this variance request for the following reasons:*

- *A reduction in the building setback from the south property line along Steveston Highway and from the east property line along Southgate Road enables wider setback to be provided from the north and west property lines, resulting in a more sensitive interface with the existing single-family housing to the north and west.*
- *The frontage improvements along both Steveston Highway and Southgate Road that are required with rezoning enable a more desirable boulevard alongside the street-fronting units, complete with grass and trees between the property line and the existing curb of the road, as compared with the current condition along these frontages. The resulting distance between the curb of Steveston Highway and the building face is approximately 9.0 m, and approximately 9.5 m between the curb and building face on Southgate Road. Prior to final adoption of the rezoning bylaw, a restrictive covenant is required to be registered on title to ensure that noise attenuation is required to be incorporated into dwelling unit design and construction. The applicant has submitted an acoustical and thermal report and recommendations, prepared by a registered professional, confirming that dwelling unit design complies with the Canadian Mortgage and Housing Corporation (CMHC) guidelines for interior noise levels and the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.*
- *The proposal maintains consistency with the private outdoor space guidelines in the OCP through the provision of larger yards for all units as well as the provision of additional private outdoor spaces in the form of uncovered decks off the main living area on the second floor of some of the units.*

## **Advisory Design Panel Comments**

The Advisory Design Panel review of the proposal was held on December 20, 2018, and was supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments identified at the meeting. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Advisory Design Panel comments and is identified in '*bold italics*'.

## **Analysis**

### ***Conditions of Adjacency***

- The proposed townhouses at the subject site are designed with consideration of the adjacent single-family context to the north and west.
- The proposed buildings along the interface with the rear yards of adjacent single-family lots (Buildings C and D) are a maximum of two-storeys in height and are in a duplex form.
- The proposed three-storey buildings along Steveston Highway (Buildings A and B) have been designed to step down to two-storeys along the interface with the side yard of adjacent single-family lots, and the physical separation to the adjacent single-family lot to the north is at least 6.7 m due to the proposed east-west drive-aisle.
- The applicant has provided a preliminary concept showing how the property at 10911 Southgate Road could redevelop for townhouses in the future, a copy of which is on file. To enable potential future shared use of facilities at the subject site by 10911 Southgate Road, legal agreements for public access over the entire drive-aisle and shared access to the garbage and recycling room are required to be registered on title prior to rezoning.
- Consistent with the OCP guidelines for sites located across an intervening road from ALR lands, a legal agreement is required to be registered on title prior to rezoning to secure a 4.0 m wide landscape buffer on-site (as measured from the south property line) along the Steveston Highway frontage and to indicate that the subject site is potentially subject to impacts of noise, dust, and odour resulting from active agricultural operations.

### ***Site Planning, Access, and Parking***

- This proposal is to develop 11 townhouse units on a site that will be approximately 2,506 m<sup>2</sup> (26,980 ft<sup>2</sup>) in area after the required corner cut road dedication.
- The proposed site layout consists of:
  - Two buildings on the south portion of the site along Steveston Highway, which are three-storeys in height, each stepping down to two-storeys at either end (Buildings A and B).
  - Two duplex buildings on the north portion of the site, which are two-storeys in height (Buildings C and D).
  - An east-west internal drive-aisle that bisects the site.

- The siting of the buildings enables:
  - The common outdoor amenity space to be provided in a visible and centrally-located portion of the site opposite the main vehicle access point.
  - Easier on-site vehicle manoeuvring.
  - A treed and landscaped yard along Southgate Road, which provides for a more visually interesting public realm.
- Site access was reviewed as part of the Rezoning Application review process and supported by the City's Transportation Department. A single vehicle access point to the site is proposed from Steveston Highway, and is positioned approximately mid-block. The proposed townhouse development is anticipated to generate a manageable amount of traffic that can be accommodated within the existing geometry and capacity of the adjacent road network. The site access configuration was developed in consideration of spacing to the adjacent streets and signalized intersections on Steveston Highway. The access point and internal east-west drive-aisle on-site is intended to provide shared access to future developments to the northeast and to the west, avoiding the need for additional access points in this block between Southgate Road and Southridge Road in the future. A Statutory Right-of-Way (SRW) for Public Right-of-Passage (PROP) over the internal drive-aisle is required to be registered on title prior to final adoption of the rezoning bylaw. On the basis of these considerations, a full movement access to the site is supported.
- Pedestrian access to the site is proposed in two locations: from a walkway off Southgate Road and from the vehicle entry point on Steveston Highway. The decorative and permeable surface treatment of the drive-aisle at the site entry has been carefully designed to highlight its' shared use by both pedestrians and vehicles.
- The main pedestrian entries to the units in Buildings A and B are proposed to front onto Steveston Highway, while the main unit entries to the units in Buildings C and D are proposed to front the internal drive-aisle. Individual garages are arranged along the internal drive-aisle.
- The proposed number of resident and visitor vehicle and bike parking spaces is consistent with the parking requirements in Richmond Zoning Bylaw 8500. Resident vehicle and bike parking spaces are proposed in individual garages, all of which vehicles are in a side-by-side arrangement. Visitor vehicle parking spaces are provided adjacent to buildings and are screened from public view by landscaping. A rack for three visitor bicycle parking spaces is proposed within the common outdoor amenity space.

### ***Open Space and Landscape Design***

#### *Outdoor Amenity Space*

- A common outdoor amenity space of 89.25 m<sup>2</sup> in size is proposed on-site in a central location that is visible from the main site entry point, and exceeds the minimum size specified in the OCP guidelines (i.e., minimum 66 m<sup>2</sup>).
- A children's playhouse is proposed within the outdoor amenity area, which features interactive play activities like a working telescope, mailbox, spinning flowers, as well as countertops, pass-through windows, and seating for social play. In addition to the playhouse,

boulders, balance beams, and stepping logs are also proposed within the outdoor amenity area for natural play, as well as a dry stream bed and bridge, bench seating, a mail kiosk, and bike rack. The area is also to contain two Japanese Maple trees, a variety of shrubs, and lawn.

- A smaller passive common outdoor space containing bench seating, shrubs, and lawn is also provided on-site within a portion of the east yard, off Southgate Road (60.87 m<sup>2</sup> in size).

#### *Private Open Space*

- Private outdoor space for each of the units is proposed primarily in the form of yards at grade, and exceeds the minimum size guidelines in the OCP. Additional private outdoor spaces are also proposed for some of the units in the form of small uncovered decks off the main living area on the second floor.

#### *Landscaping*

- On-site tree retention and removal was assessed as part of the Rezoning Application, at which time the City's Tree Preservation Coordinator concurred with the applicant's proposal to: retain Tree # 11 off-site to the northwest at 9835 Steveston Highway and Tree # 7 to the northeast, shared with 10911 Southgate Road; and to remove a total of 16 trees (including hedges) on-site/on shared property lines due to poor and hazard condition, as well as conflict with the building envelope and proposed lot grading. The property owner at 9860 Southgate Place obtained a permit to remove Tree # 9 located on their property, which was identified as a hazard tree during the Rezoning process. Following Third Reading of the rezoning bylaw, the applicant obtained a Tree Removal Permit to remove the on-site/shared trees in June 2017 to enable demolition and site preparation, and an interim replacement security for these trees was collected and will be held until after the final Landscaping Security is submitted by the applicant prior to Development Permit issuance.
- Consistent with the 2:1 tree replacement ratio in the OCP, the applicant is required to plant and maintain a minimum of 32 replacement trees on-site, with the understanding that the City will accept a contribution from the applicant in the amount of \$500/tree for any replacement trees that cannot be accommodated on-site.
- The proposed Landscape Plan includes a mix of 25 deciduous and coniferous trees, as well as a variety of shrubs, perennials, grasses and groundcover. In-lieu of planting the remaining required seven replacement trees on-site, the applicant is required to submit a contribution to the City's Tree Compensation Fund in the amount of \$3,500 (\$500/tree) prior to issuance of the Development Permit.
- The tree and plant species proposed in the Landscape Plan include: Cypress, Dogwood, Hornbeam, Maple, and Spruce, as well as Azalea, Daylily, Fountain Grass, Hosta, Mock Orange, Laurel, Viburnum, Victoria California Lilac, and Yew hedges.
- The proposed on-site landscaping treatment along Steveston Highway, within the 4.0 m wide ALR landscaped buffer is proposed to include grass, trees, and shrubs, while the off-site boulevard treatment will contain a new sidewalk, grass and trees. At rezoning stage, the proposal was presented to the Agricultural Advisory Committee, and was supported unanimously.



- To define the street edge along Steveston Highway and Southgate Road, low decorative metal fencing with pedestrian gates is proposed, while 1.8 m high solid wood fencing is proposed elsewhere around the perimeter of the site. A variety of other fencing types are proposed elsewhere on-site to enable screening and definition between yards.
- A variety of hardscape materials and colours are proposed on-site to distinguish between pedestrian and vehicle areas, provide visual interest and assist with surface permeability. Specifically: a mix of asphalt and permeable pavers over the internal drive-aisle and visitor parking spaces, broom-brushed concrete pedestrian pathways from the public sidewalk on Steveston Highway to individual unit entries, a stepping stone pathway from Southgate Road, and permeable pavers for patios in the individual yards of units in Buildings C and D.
- The Landscape Plan requires that all soft landscaped areas be irrigated consistent with industry standards. To ensure on-going maintenance, the installation of an automated irrigation system is proposed.

### ***Indoor Amenity Space***

- Consistent with the OCP, the applicant proposes to submit a contribution to the City prior to rezoning bylaw adoption in-lieu of the provision of common indoor amenity space on-site. Since the associated rezoning bylaw was in-stream and received Third Reading by Council prior to City Council updating the contribution rates in the OCP on February 19, 2018, the former contribution rates apply (i.e., \$1,000/unit, for a total of \$11,000).

### ***Architectural Form and Character***

- The proposal contains elements of the Tudor architectural style, using gable roofs, entry porches with columns, two tones of brick cladding at the ground level, and a combination of light and dark composite cement panels, siding, and shake at 2<sup>nd</sup> and 3<sup>rd</sup> levels.
- There is an architectural rhythm to the units through the use of vertical bays that accentuate individual units along the dominant frontage on Steveston Highway. The east side elevation facing Southgate Road has been designed to include more articulation and an additional entry porch to simulate the character of single-family housing.
- Consistent with the design guidelines in the Arterial Road Land Use Policy, the rear buildings along the rear yard interface with adjacent single-family housing to the north are proposed in duplex form and are limited to two storeys. The architectural style of the duplex buildings are consistent with the Tudor style proposed for the street-fronting buildings along Steveston Highway.

### ***Accessible Housing***

- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

- As demonstrated on the Site Plan and Reference Plans (Plan # 1.e, and Drawing No. A5.0 and A 5.0B), the proposed development includes one Convertible Unit in Building A that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair (i.e., Unit Type A1). The potential conversion of this unit will require the installation of a vertical lift (e.g., elevator).

### ***Sustainability***

- On July 16, 2018, Richmond City Council adopted the BC Energy Step Code requirements for new residential developments. These new requirements apply to most Building Permit applications filed on or after September 1, 2018, except for developments with: a) a valid Development Permit; or b) an acceptable Development Permit application submitted to the City by July 16, 2018. Since the associated rezoning bylaw received Third Reading by Council and the associated Development Permit application was received prior to July 16, 2018, this project may be constructed to meet the City's previous Townhouse Energy Efficiency and Renewable Energy Policy, so long as an acceptable Building Permit application for the development is submitted to the City by December 31, 2019. If this deadline is not met, the development will be required to meet the City's Energy Step Code requirements.
- Consistent with the previous Townhouse Energy Efficiency and Renewable Energy Policy, the applicant has committed to achieving an EnerGuide Rating System (ERS) score of 82 and to providing pre-ducting for solar hot water heating for the proposed development. Prior to rezoning bylaw adoption, a legal agreement is required to be registered on Title specifying that all units are to be built and maintained to an ERS score of 82 or higher, and that all units are to be solar hot water ready.
- The applicant has submitted an acceptable evaluation report by a Certified Energy Advisor, which confirms that the proposed townhouse units are designed to achieve an ERS 82 score of 82. The key technical elements that enable this rating to be achieved will be specified in the legal agreement registered on Title to ensure that they are included in the building design at Building Permit stage.
- The applicant has also identified the following features are proposed to be provided in all units:
  - Low E double glazed windows.
  - Energy Star appliances and light bulbs.
  - An energized outlet in all garages to enable Level 2 electric vehicle charging, consistent with the Zoning Bylaw.

### ***Crime Prevention Through Environmental Design (CPTED)***

- The applicant has identified that the proposal responds to the following principles of CPTED, as encouraged in the design guidelines contained within the OCP:

#### *Natural Access Control*

- A single and visible vehicle entry point is proposed to the site from Steveston Highway, with decorative surface used to highlight the dual-use of the entry point for both vehicles and pedestrians, and the secondary pedestrian entry point to the site off

Southgate Road is clearly defined through the use of a trellis structure/gate that has a direct sightline and requires a key to enter. Low fencing with perimeter trees is used to delineate the public versus private space.

#### *Natural Surveillance*

- The common outdoor amenity space is centrally-located and highly visible implying informal supervision throughout the site. Front yard-facing windows in Buildings A and B provide for “eyes on the street”. Bench seating is proposed in both the common outdoor amenity space and passive outdoor space along Southgate Road. Landscape design considered CPTED principles to inform plant species selection.

#### *Territoriality/Defensible Space*

- Impersonal spaces such as the internal drive-aisle and surface parking spaces are personalized through the use of varied soft and hard landscape materials. Landscaping, screening, and varied fence types are appropriate to the spaces they intend to define. Exterior building-mounted lighting is proposed to illuminate entries.

#### ***Site Servicing & Off-site Improvements***

- Servicing requirements and off-site improvements to support the proposed development were identified as part of the Rezoning Application, and include:
  - A 4 m x 4 m corner cut road dedication at the southeast corner of the subject site and \$20,000 contribution towards the future installation of a special crosswalk at the intersection of Southgate Road and Steveston Highway, all prior to rezoning bylaw adoption.
  - Entering into a Servicing Agreement prior to Building Permit issuance for the design and construction of the required water, storm and sanitary service connections, as well as boulevard and storm sewer upgrades along Steveston Highway and Southgate Road.

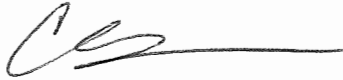
#### **Conclusion**

This proposal is for an 11-unit townhouse development at 9851, 9891 Steveston Highway and 10931 Southgate Road, with vehicle access from Steveston Highway.

The applicant has addressed the design issues identified through the rezoning process, as well as additional staff comments regarding site planning, urban design, architectural form and character, and landscape design identified as part of the Development Permit Application review process. The proposal provides an appropriate response to the surrounding single-family context and conforms to the applicable design guidelines contained within the OCP.

The development proposal complies with the requirements of the “Low Density Townhouses (RTL4)” zone, with the exception of the zoning variances discussed.

On this basis, staff recommends that the Development Permit be endorsed, and issuance by Council be recommended.



Cynthia Lussier  
Planner 1  
(604-276-4108)  
CL:blg

Attachment 1: Location Map

Attachment 2: Development Application Data Sheet

Attachment 3: Excerpt from the December 20, 2018 Advisory Design Panel Meeting minutes and Applicant's design response

The following are to be met prior to forwarding this application to Council for approval:

- Submission of a contribution to the City's Tree Compensation Fund in the amount of \$3,500 in-lieu of planting the seven remaining required replacement trees on-site.
- Receipt of a Letter-of-Credit or other form of security acceptable to the City for landscaping in the amount of \$119,943.29 (100% of the cost estimate provided by the Landscape Architect, including all materials, labour, and a 10% contingency).

Prior to future Building Permit\* issuance, the applicant is required to complete the following:

- Incorporation of accessibility measures (e.g., Aging-in-place features in all units, and Convertible Unit features in one unit) in Building Permit plans as determined via the Rezoning and Development Permit applications.
- Incorporation of energy efficiency measures and pre-ducting for solar hot water heating in Building Permit plans to achieve an ERS score of 82, as specified in the legal agreement that is required via the Rezoning and Development Permit applications.
- Incorporation of noise mitigation measures in Building Permit plans as outlined in the acoustical and thermal report and recommendations prepared by the appropriate registered professional as part of the Development Permit application, which demonstrates that the interior noise levels and noise mitigation standards comply with the City's Official Community Plan and Noise Bylaw requirements (as per the noise covenant registered on Title prior to rezoning).
- Entrance into a Servicing Agreement\* for the design and construction of off-site improvements, as well as water, storm, and sanitary service connections. Works include, but are not limited to:

*Water Works*

- Using the OCP Model, there are 518 L/s of water available at 20 psi residual at the hydrant at the south side of Steveston Highway and 284 L/s of water available at 20 psi residual at the hydrant at the northwest corner of the Steveston Highway and Southgate Road intersection. Based on the proposed development, the site requires a minimum fire flow of 220 L/s. At Building Permit stage, the applicant is required to submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for on-site fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage designs.
- At the applicant's cost, the City will:
  - Cut and cap at the main the existing water service connections at the Steveston Highway frontage.
  - Install a new water connection to service the proposed development. Connection to the existing 500 mm diameter watermain along the north side of Steveston Highway is not permitted. Details of the new water service shall be finalized via the Servicing Agreement design review process.

- Relocate the existing fire hydrant at the northwest corner of Steveston Highway and Southgate Road intersection to match the required frontage improvements (as identified by the City's Transportation Department).

#### *Storm Sewer Works*

- o The applicant is required to upgrade the existing ditch along Southgate Road to a single 1050 mm storm sewer at road centerline. The length of the ditch upgrade shall match the extent of the required frontage improvements (as identified by the City's Transportation Department). Tie-ins of the proposed 1050 mm storm sewers shall be as follows:
  - The south end of the new 1050 mm storm sewer at Southgate Road centerline shall tie-in to the existing storm sewer alignment along the north side of Steveston Highway via a new manhole.
  - The north end of the new 1050 mm storm sewer shall tie-back to the existing drainage systems along the east and west sides of Southgate Road via new manholes and/or storm sewer inlet structures.
- o The applicant is required to upgrade the existing 525 mm diameter storm sewer to 750 mm diameter (approximately 102 m long) along Steveston Highway from the proposed site's west property line to the existing manhole STMH2902 (located at the northeast corner of Steveston Highway and Southgate Road). The storm sewer upgrade along Steveston Highway shall include (but is not limited to) the following:
  - Removal of existing manholes STMH2801 and STHMH 2803.
  - Provide new manholes at the west property line and at the junction of the proposed 750 mm diameter storm sewer along Steveston Highway with the proposed 1050 mm diameter storm sewer along Southgate Road.
- o The applicant is required to upgrade the existing 600 mm diameter storm sewer to 1050 mm diameter (approximately 8 m long) from the new manhole at the junction of Steveston Highway and Southgate Road and tie-in to the existing manhole STMH2902 via a reducer. Existing manhole STMH2902 shall be replaced if it is found to be in poor condition.
- o The applicant is required to install a new storm sewer connection to service the proposed site. Details of the new storm service shall be finalized via the Servicing Agreement design review process.
- o At the applicant's cost, the City will:
  - Extend the existing drainage connections at the Southgate Road frontage of 10811 No. 4 Road to Southgate Road centerline and connect it to the new 1050 mm storm sewer.
  - Plug the existing pipe opening at the north side of manhole STMH2902.

#### *Sanitary Sewer Works*

- o The applicant is required to provide a sanitary service connection to the proposed site off of the existing sanitary main at Southgate Road.
- o At the applicant's cost, the City will cap at the property line the existing sanitary service connections for 9851 and 9891 Steveston Highway and 10931 Southgate Road.

#### *Frontage Improvements*

- o The applicant is required to coordinate with BC Hydro, Telus, and other private communication service providers to:
  - Underground the existing overhead service lines along the Steveston Highway frontage.
  - Pre-duct for future hydro, telephone and cable utilities along all road frontages.
  - Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Development Permit application design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right-of-way dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall

confirm this via a letter to be submitted to the City. The following are examples that shall be shown in the functional plan and registered prior to Servicing Agreement design approval:

BC Hydro PMT – 4 m W X 5 m (deep)	Traffic signal UPS – 2 m W X 1.5 m (deep)
BC Hydro LPT – 3.5 m W X 3.5 m (deep)	Shaw cable kiosk – 1 m W X 1 m (deep)
Street light kiosk – 1.5 m W X 1.5 m (deep)	Telus FDH cabinet – 1.1 m W X 1 m (deep)
Traffic signal kiosk – 1 m W X 1 m (deep)	

- The applicant is required to upgrade the boulevard along Steveston Highway to the ultimate condition, including (but not limited to) installation of a treed/grass boulevard at the existing curb and a 1.5 m wide concrete sidewalk at or near the south property line of the subject site.
- The applicant is required to upgrade the road and boulevard along Southgate Road, including (but not limited to): road widening to achieve a minimum pavement width of 11.2 m (note: examination of the existing road base is also required to determine if new road base construction is required); installation of curb and gutter, a 1.5 m wide treed/grass boulevard, and a 1.5 m wide concrete sidewalk at or near the east property line of the subject site. The curb return at the southeast corner of the subject site is to have a 9.0 m radius.
- The applicant is required to provide street lighting along Steveston Highway and Southgate Road frontages.

#### *General Items*

- If pre-load is required, the applicant is required to:
  - Provide, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting or within the development site (e.g., existing sanitary mains along the north property line and existing 150 mm diameter watermain along Southgate Road frontage), proposed utility installations, the existing houses along the north property line, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first Servicing Agreement design submission or prior to pre-load.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a Construction Parking and Traffic Management Plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>). The Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation and Infrastructure) and MMCD Traffic Regulation Section 01570.

#### **Notes:**

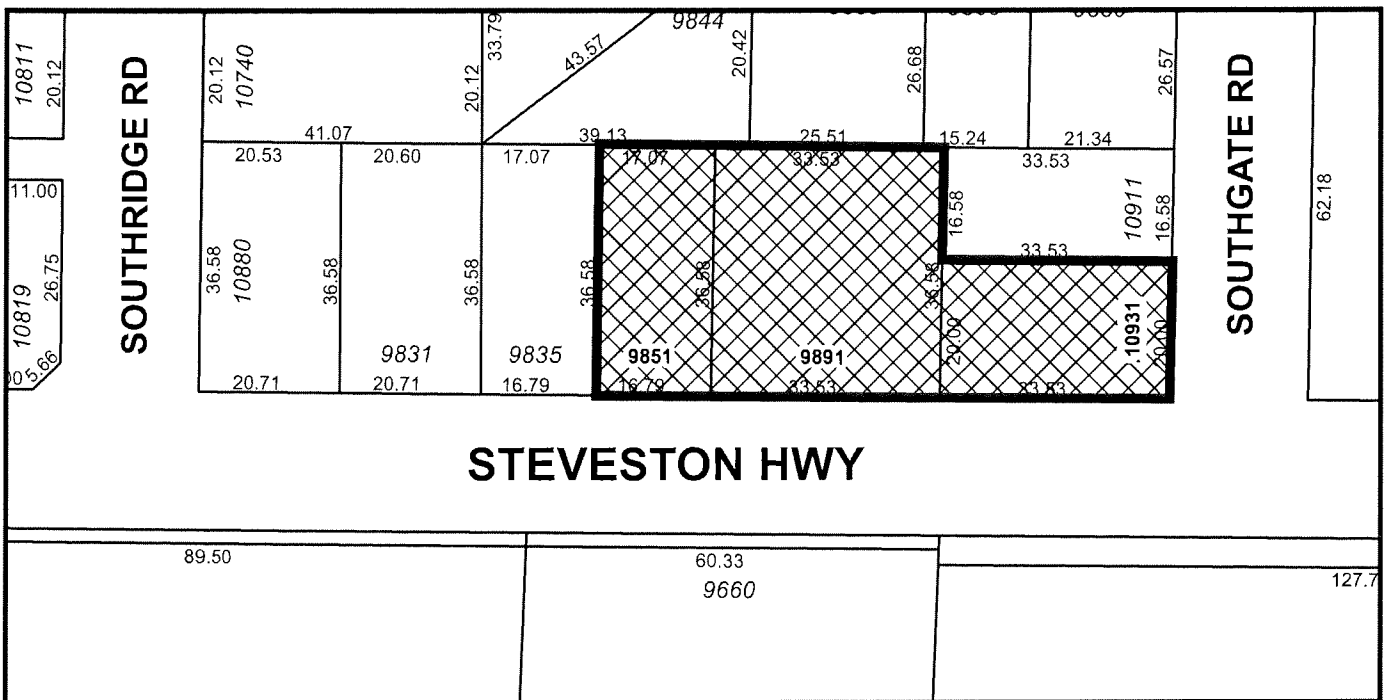
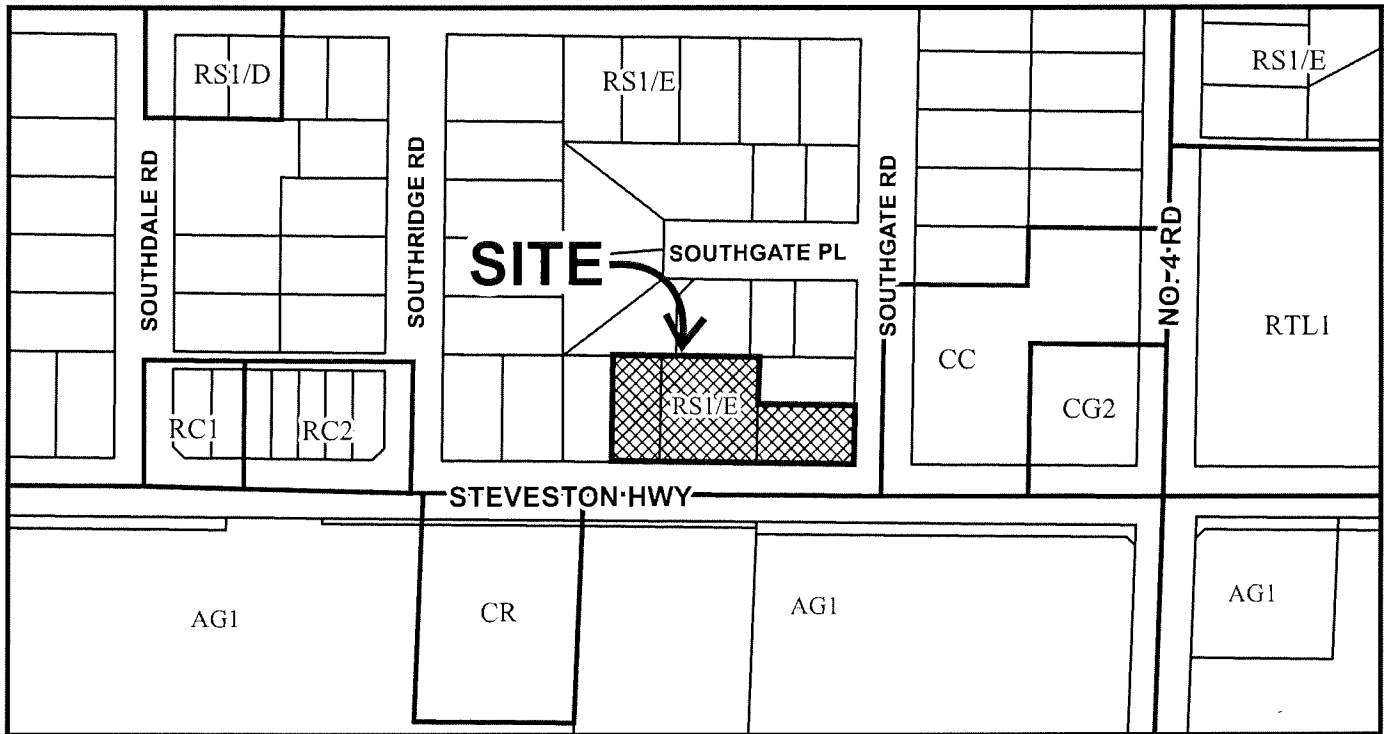
- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner, but also as covenants pursuant to Section 219 of the Land Title Act.


All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in

the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.



	<h1>DP 17-792077</h1>	<p>Original Date: 11/27/17</p> <p>Revision Date:</p> <p>Note: Dimensions are in METRES</p>
---	-----------------------	--





**DP 17-792077**

Address: 9851, 9891 Steveston Highway and 10931 Southgate Road

Applicant: Konic Development

Owner: 1002397 BC Ltd.

Planning Area(s): Broadmoor

	<b>Existing</b>	<b>Proposed</b>
<b>Site Area:</b>	2,515 m <sup>2</sup> (27,071.21 ft <sup>2</sup> )	2,506 m <sup>2</sup> (26,974.33 ft <sup>2</sup> )
<b>Land Uses:</b>	Vacant Land (previously single-family and duplex housing)	Townhousing
<b>OCP Designation:</b>	Neighbourhood Residential	No change
<b>Zoning:</b>	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
<b>Number of Units:</b>	Previously 4	11

	<b>Bylaw Requirement/ OCP Guideline</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio:	Max. 0.60	0.60	none permitted
Buildable Floor Area (m <sup>2</sup> )	Max. 1,503.55 m <sup>2</sup> (16,184.60 ft <sup>2</sup> )	1,503.37 m <sup>2</sup> (16,182.62 ft <sup>2</sup> )	none
Lot Coverage – Buildings (% of lot area):	Max. 40%	37.88%	none
Lot Coverage – Buildings, Structures, and Non-Porous Surfaces:	Max. 65%	55.88%	none
Lot Coverage – Live Plant Material:	Min. 25%	26.59%	none
Setback – Front Yard (east):	Min. 6.0 m	5.03 m	To reduce from 6.0 m to 5.0 m
Setback – Interior Side Yard (north):	Min. 3.0 m	4.55 m	none
Setback – Exterior Side Yard (south):	Min. 6.0 m	5.00 m	To reduce from 6.0 m to 5.0 m
Setback – Rear Yard (west):	Min. 3.0 m	3.29 m	none
Building Height (m):	Max. 12.0 m	11.95 m (3 storey buildings)	none
		8.79 m (2 storey buildings)	

	<b>Bylaw Requirement/ OCP Guideline</b>	<b>Proposed</b>	<b>Variance</b>
On-site Vehicle Parking Spaces (Resident):	Min. 22 spaces (2/unit)	22 spaces	none
On-site Vehicle Parking Spaces (Visitor):	Min. 3 spaces (0.2/unit; min. 1 space must be Accessible)	3 spaces (of which 1 space is Accessible)	
On-site Vehicle Parking Spaces – Total:	Min. 25 spaces	25 spaces	none
Tandem Parking Spaces:	Max. 50% of resident parking spaces	N/A	none
Standard Parking Spaces:	Min. 100% for sites with less than 31	68% (15 spaces)	To allow 7 small car parking spaces
Small Parking Spaces:	N/A	32% (7 spaces)	
Amenity Space – Indoor:	Min. 70 m <sup>2</sup>	Cash-in-lieu	N/A
Amenity Space – Outdoor:	Min. 66 m <sup>2</sup>	Main space - 89.25 m <sup>2</sup> Passive space – 60.87 m <sup>2</sup>	N/A

**Annotated Excerpt from the Minutes to the  
Advisory Design Panel Meeting**

**Thursday, December 20, 2018 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall**

**4. DP 17-792077 – 11-UNIT TOWNHOUSE DEVELOPMENT**

ARCHITECT: Imperial Architecture

LANDSCAPE ARCHITECT: M2 Landscape Architects

PROPERTY LOCATION: 9851, 9891 Steveston Highway and 10931 Southgate Road

**Applicant's Presentation**

Jiang Zhu, Imperial Architecture, and Meredith Mitchell, M2 Landscape Architects, presented the project and answered queries from the Panel on behalf of the applicant.

**Panel Discussion**

Comments from Panel members were as follows:

- appreciate the applicant contributing to the City's Public Art Fund; applicant is encouraged to consider incorporating public art into the project, particularly at the corner of Steveston Highway and Southgate Road; *Noted. A contribution in-lieu of the provision of public art on-site was already determined through the Rezoning Application.*
- differentiation of units in Buildings C and D is needed to break down the massing of these buildings; consider introducing different colours and materials and a differentiating architectural feature between units; *Revised the elevation designs for back buildings. More architectural elements such as covered porches and bay windows with dormer roof above were introduced in order to add more details and break up the massing.*
- support the installation of the trellis feature to define the common space from private space for the east end unit; *Noted.*
- consider further articulation of the east end unit of Building B, e.g. carrying down the white pattern language down to the second floor to further highlight the corner as a gateway; *Revised the second floor bay window profile (on east end of south elevation) to correspond the wood patterns and rhythm of the main architectural treatment/language used on Building B.*

- support the pedestrian walkway articulation on the internal drive aisle; consider adding a matching permeable pathway along the south side of the internal drive aisle for pedestrian circulation to Buildings A and B; also consider adding pedestrian connections with a different paving pattern or colour treatment from the main sidewalk to the interior pedestrian networks; ***Decorative paving at site entry extended to east-west pedestrian pathway on internal drive aisle to provide connection to outdoor amenity area. Additional matching permeable pathway along the south side of the internal drive-aisle is proposed. Paving pattern/colour treatment for interior network is different than main sidewalk as requested.***
- support the proposed sustainability features of the project; appreciate the level of information regarding the project's sustainability strategy included in the package provided by the applicant; ***Noted.***
- appreciate the applicant's presentation of the project; commend the applicant for providing a plant list with larger fonts; ***Noted.***
- concerned that the pedestrian treatment on the internal drive aisle may be underused by pedestrians and has potential maintenance issues; ***Decorative paving at site entry extended to 3' wide east-west pedestrian pathways on both the north and south sides of the internal drive aisle to provide connection to outdoor amenity area; this will encourage pedestrian usage throughout the site and promote entry to the outdoor amenity space. Maintenance should not be a concern as decorative paving within drive-aisles is common.***
- from an urban design view, support the proposed plantings in the portion of the front yard facing Steveston Highway which serve as a vegetative buffer to lands within the Agricultural Reserve on the south side of Steveston Highway; ***Size for Victoria California Lilac and Photinia revised to #2 pot; 40cm to ensure that mature height will not exceed 1.2m; will still provide a vegetative buffer.***
- screening for the exposed facades on Buildings A and B at visible locations is not adequate; consider installing a trellis and/or higher and more vertical planting on building facades, i.e. on blank brick walls, on either side of the main entrance to the site; ***Planting has been revised to provide larger/taller/more vertical shrubs to screen exposed facades on Buildings A and B.***
- the outdoor amenity area is sited in a good location; however, the area is very narrow; needs to have an adequate play area; ***Trellis at amenity area entry provides greater sense of arrival. Trellis has been made wider so that the mail kiosk, pathway, and bike rack are all underneath the trellis.***

- the trellis feature and bicycle racks at the entry to the outdoor amenity area separate/isolate the area from the rest of the development and block sunlight into the area; consider opening up the entry to the outdoor amenity area; *Trellis at amenity area entry provides greater sense of arrival. Trellis has been made wider so that the mail kiosk, pathway, and bike rack are all underneath the trellis. The wider structure will also allow for more circulation through the area and the total number of overall wood members has been decreased in order to allow for more sunlight into the area.*
- concerned that the sod area under the play elements may not work; *This is not believed to be an issue, the only area with sod under the play element is with the playhouse. With proper maintenance and irrigation, the sod should be healthy. Climbing rock, stepping logs, balance beams will not be an issue as these features are sitting on grade with no grass underneath.*
- consider rearranging the play elements in the outdoor amenity area to under accentuate the linearity of the space; also, the bench is not located in the best location; *Trellis at amenity area entry provides greater sense of arrival. Trellis has been made wider so that the mail kiosk, pathway, and bike rack are all underneath the trellis. The wider structure will also allow for more circulation through the area. Play elements have been rearranged and spaced out to provide more room down the middle of the area. The elements are arranged to promote continuity and a theme/linearity from one feature to another. Allows for children to work their way through the space from south to north. Bench within central amenity area has been relocated. It is not intended to be set in cast-in-place concrete, rather installed within the planting bed; this is not an uncommon practice.*
- appreciate the applicant's efforts to retain the existing tree adjacent to Unit 111; however, the applicant is cautioned on the survivability of the retained tree considering its proximity to the townhouse unit; *Details of construction around existing tree illustrated on tree management plan and landscape detail/section.*
- consider relocating the PMT to provide continuity to the east-west internal drive aisle up to Southgate Road; *Several alternate PMT location options were proposed during design stage and the current location is the only option which was agreed by city and approved by BC Hydro.*
- the tree management plan provided by the applicant needs more coherence and could have been better presented; *Adequate detail and descriptions have been provided on the tree management plan.*
- appreciate the model giving clarity to the proposed scheme; *Noted.*
- unfortunate that the PMT is located at the east terminus of the east-west internal drive aisle; if it could not be relocated elsewhere, consider a more significant landscape on the east terminus as a transition buffer; *1.20m high Hicks yew hedge screen provides adequate transition buffer to amenity area; space is limited as is.*

- consider increasing the size of the outdoor amenity space; also consider design development of the roofscape of adjacent townhouse units to allow more daylight into the amenity space; *The “L” shape site and rear setback requirements caused by historical subdivision layout created challenges on the design especially enlarging the outdoor amenity area by reducing building footprints. A shadow analysis was conducted to compare the shadow effect between two different roof profiles. The study indicated the roof slope profiles have minimum difference on amount of sunlight or shadow over the amenity area. In consideration of consistency of the architectural treatment and language used in each building, we propose to maintain the gable roof profile for back buildings.*
- appreciate the lineal and more urban expression along Steveston Highway; *Noted.*
- duplex units could benefit from the small shift in the alignment of the internal driveway; investigate opportunities for accentuating the jogging so the duplex units can split; *This option was considered during design stage. The jogging driveway is one of the townhouse design guidelines in OCP part 14.*
- agree with the Panel comment that the outdoor amenity space is narrow and there is a lot going on in the limited space; consider reducing the setback to the west property line and take away some of the adjacent private lawn area to widen the amenity space; *This option was reviewed at design stage, however, the width requirement on visitor parking stall and clearance on both sides to vertical barriers (wall or fence) make the option of narrower west yard setback not valid. Also reducing the west yard setback further creates concerns on privacy to the neighbor next door.*
- also agree with Panel comment to eliminate the trellis as it would hide the amenity space and make it feel more constrained; *Trellis at amenity area entry provides greater sense of arrival. Trellis has been made wider so that the mail kiosk, pathway, and bike rack are all underneath the trellis. The wider structure will also allow for more circulation through the area.*
- consider extending the permeable paving treatment on the site entry up to the intersection and connect to the outdoor amenity space to enhance on-site pedestrian experience; *East-west pathway along north side of internal drive-aisle has been maintained, and additional matching permeable pathway along the south side has been proposed. Decorative paving at site entry extended to east-west pedestrian pathway on internal drive aisle to provide connection to outdoor amenity area; this will encourage pedestrian usage and promote entry to the outdoor amenity space.*
- the package provided to the Panel was helpful; *Noted.*
- overall architectural style is dated but contextual; simple and well done; *Noted.*

- consider replacing the vinyl shake with the more durable and higher quality pre-painted hardie which is more appropriate to an arterial road development; ***Revised exterior finish schedule to replace vinyl shake with suggested Hardie shake.***
- appreciate that the applicant is putting a lot of thought on the retention of the large tree; however, agree with concerns regarding its survivability; ***Noted.***
- agree with the suggestion to relax the setback to the west property line as it would provide breathing room around the outdoor amenity space; ***This option was reviewed at design stage, however, the width requirement on visitor parking stall and clearance on both sides to vertical barriers (wall or fence) make the option of narrower west yard setback not valid. Also reducing the west yard setback further creates concerns on privacy to the neighbor next door.***
- appreciate the design of the convertible units; the units are spacious and the elevator is well designed; ***Noted.***
- proposed location of the PMT negatively impacts the exterior amenity area; ***Several alternate PMT location options were proposed during design stage and the current location is the only option which was agreed by city and approved by BC Hydro.***
- agree with Panel comments that there is a lot going on in the central outdoor amenity space; investigate opportunities for simplifying its design and relocating the mailbox; ***Design at entry of central outdoor amenity area has been simplified, trellis provides greater sense of arrival at the entry into the area. Trellis has been made wider so that the mail kiosk, pathway, and bike rack are all underneath the trellis. The wider structure will also allow for more circulation through the area.***
- proposed treatment of the north side of the internal drive aisle with permeable pavers to define on-site pedestrian circulation could either be maintained or eliminated due to potential maintenance issues; ***East west pathway along north side of internal drive aisle has been maintained, additional matching permeable pathway along the south side is proposed. Decorative paving at site entry extended to these pathways to provide connection to outdoor amenity area; this will encourage pedestrian usage and promote entry to the outdoor amenity space.***

- and, support the proposal from the Panel to extend the permeable paving treatment at the site entry through the intersection up to the outdoor amenity area to bring the amenity area out into the street to highlight the area and allow more play opportunities for children. *Decorative paving at site entry extended through the intersection up to the outdoor amenity area, and connected to the 3' wide east-west pedestrian pathways on both the north and south sides of internal drive-aisle to provide connection to outdoor amenity area; this will encourage pedestrian usage throughout the site and promote entry to the outdoor amenity area while bringing the amenity area out towards the street to highlight the area and allow additional play opportunities.*

**Panel Decision**

It was moved and seconded

*That DP 17-792077 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.*

**CARRIED**





No. DP 17-792077

---

To the Holder:                   KONIC DEVELOPMENT

Property Address:               9851, 9891 STEVESTON HIGHWAY AND  
  10931 SOUTHGATE ROAD

Address:                         C/O 1135 - 13700 MAYFIELD PLACE  
  RICHMOND, BC V6V 2E4

---

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) Allow seven resident vehicle parking spaces to be small-sized; and
  - b) Reduce the minimum front yard on Southgate Road and the exterior side yard on Steveston Highway from 6.0 m to 5.0 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans # 1.a to # 4.f attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$119,943.29 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 17-792077**

To the Holder: KONIC DEVELOPMENT  
Property Address: 9851, 9891 STEVESTON HIGHWAY AND  
10931 SOUTHGATE ROAD  
Address: C/O 1135 - 13700 MAYFIELD PLACE  
RICHMOND, BC V6V 2E4

---

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF

ISSUED BY THE COUNCIL THE

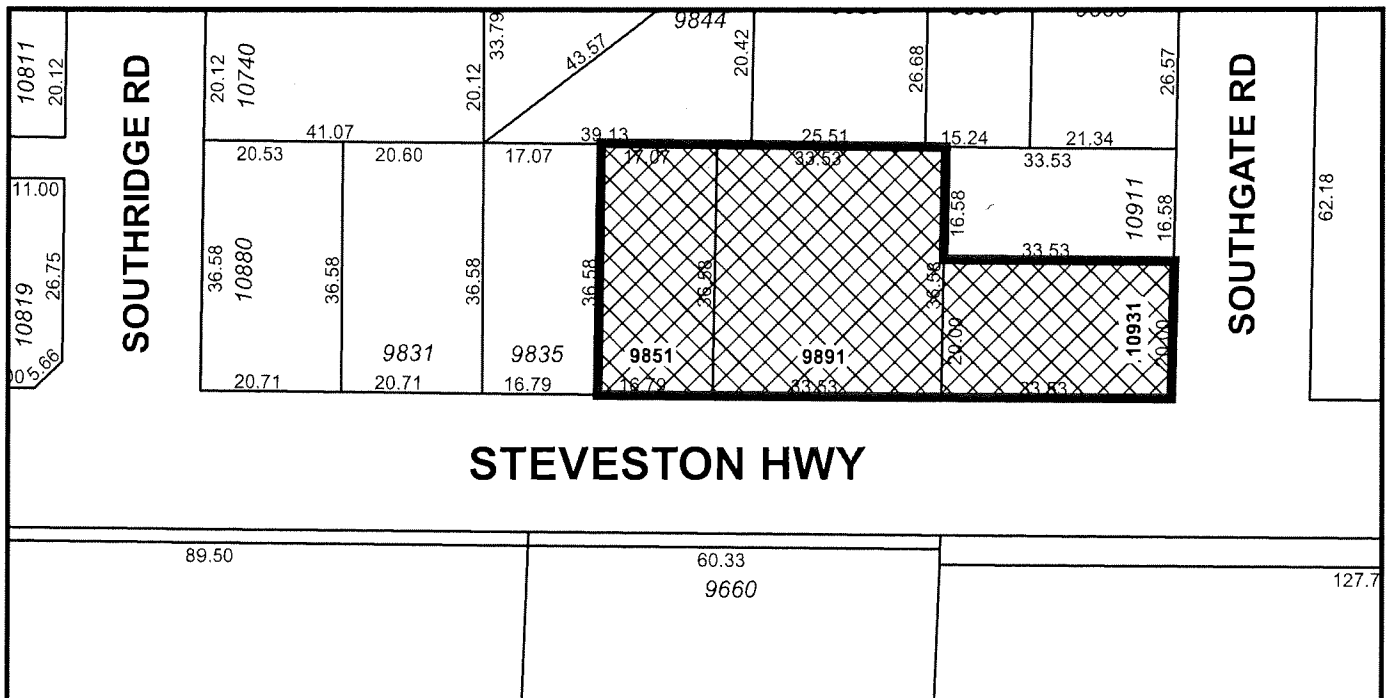
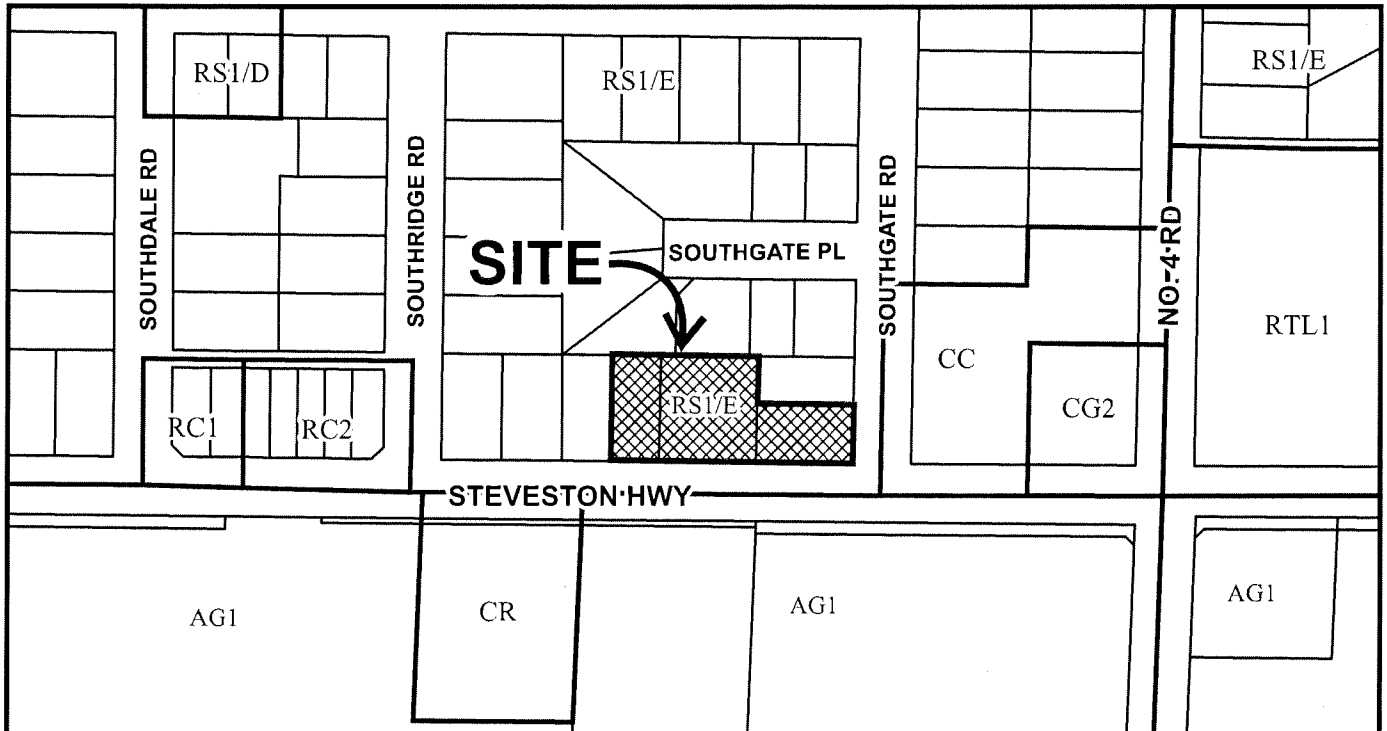
DELIVERED THIS DAY OF

---

MAYOR



# City of Richmond



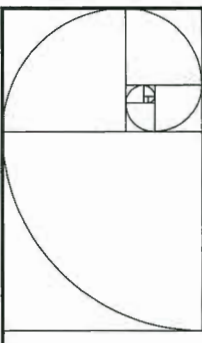
	<h2>DP 17-792077 SCHEDULE "A"</h2>	Original Date: 11/27/17 Revision Date: Note: Dimensions are in METRES
--	--	---





DP 17-192077

PLAN # 1.b

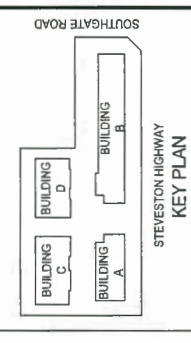


**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 ADDRESS: 4700 BURNHAM STREET, VANCOUVER, BC, V3R 2K9  
 TEL: 604.275.4444 FAX: 604.275.4444  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved, and remains at all times the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced without the express written consent of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions and immediately report any errors within reasonable to Imperial Architecture. DP 1927 SCALE DIMENSIONS.



NO.	DATE	BY	REVISION
1	18.11.17	K.L.	ISSUED FOR DP SUBMISSION
2	18.06.18	A.L.	REVISION FOR DP SUBMISSION
3	17.11.18	K.L.	ISSUED FOR DP SUBMISSION
4	11.05.19	A.L.	REVISION FOR DP SUBMISSION
5	18.11.19	K.L.	ISSUED FOR REZONING RE-SUBMISSION
6	18.11.19	A.L.	REVISION FOR REZONING RE-SUBMISSION

ISSUED DP  
 RESUBMISSION  
 2019-04-23

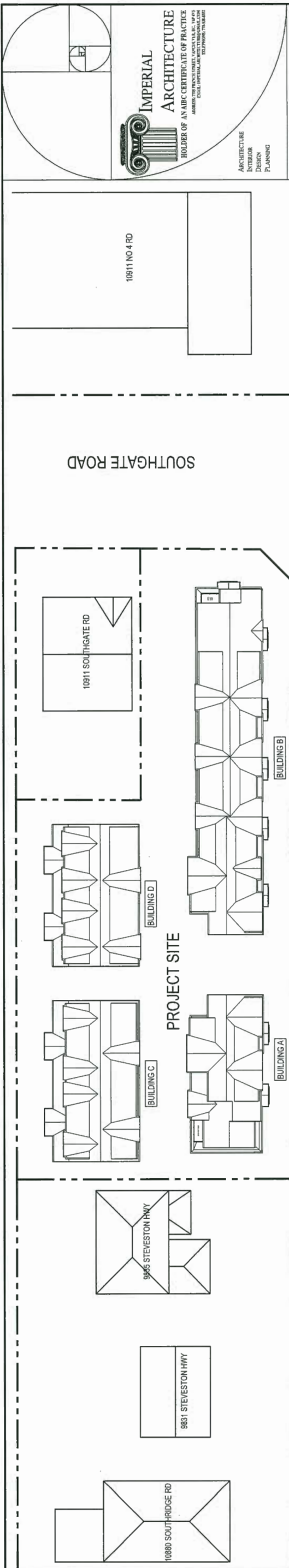
Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-192077) FOR

10921 SOUTHGATE ROAD, RICHMOND, BC

SITE AERIAL PHOTO

Project No. #8127  
 Scale N.T.S.  
 Drawing No. Sheet  
 Revision

A0.3 of



1 OVERALL SITE PLAN  
A0.5 SCALE 1"=20'-0"

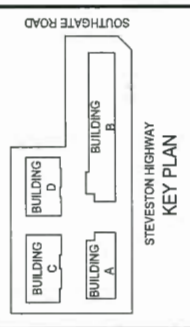
ARCHITECTURE  
INTERIOR  
DESIGN  
PLANNING

**IMPERIAL ARCHITECTURE**  
HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
MEMBER, THE BRITISH COLUMBIA ASSOCIATION OF ARCHITECTS  
10911 SOUTHGATE ROAD, RICHMOND, BC V6V 1A2  
TEL: 604.273.7848 FAX: 604.273.7849

Copyright Reserved

The Copyright in this drawing and the contents is reserved, and remains in all times the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced without the express or implied consent of Imperial Architecture.

Disclaimer  
The drawings, with all dimensions and boundaries, were prepared by or on behalf of Imperial Architecture. DO NOT SCALE DRAWINGS.



NO.	DATE	BY	CHKD.	REVISION
1	18.11.17	AL	KL	ISSUE FOR PERMITS
2	18.08.28	AL	KL	ISSUE FOR SUBMISSION
3	17.11.20	AL	KL	SELECT FOR SUBMISSION
4	17.05.20	AL	KL	SELECT FOR RECORD SUBMISSION
5	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
6	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
7	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
8	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
9	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
10	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
11	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
12	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
13	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
14	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
15	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
16	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
17	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
18	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
19	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION
20	17.11.17	AL	KL	SELECT FOR RECORD SUBMISSION



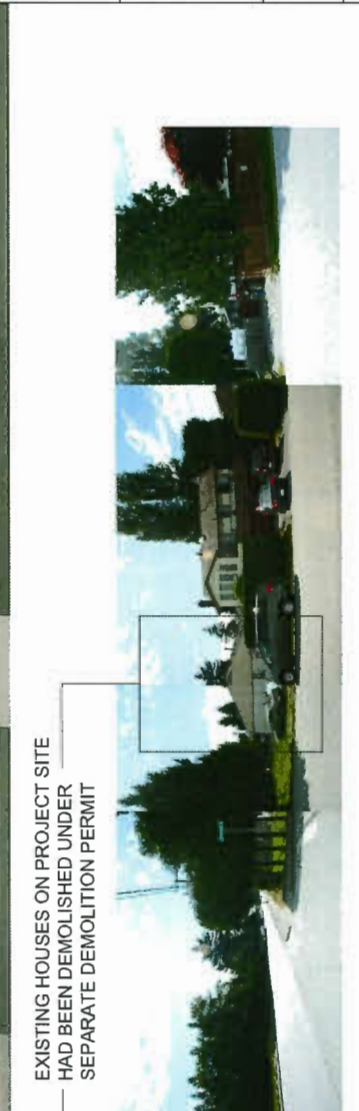
2 PROPOSED STEVESTON STREET ELEVATION (BLDG A & B SOUTH ELEVATIONS)  
A0.5 SCALE 1"=20'-0"



3 EXISTING STEVESTON STREET ELEVATION (SITE PHOTO)  
A0.5 SCALE NTS



4 PROPOSED SOUTHGATE ROAD ELEVATION (BLDG B EAST ELEVATION)  
A0.5 SCALE 1"=20'-0"



5 EXISTING SOUTHGATE ROAD ELEVATION (SITE PHOTO)  
A0.5 SCALE NTS

DP 17-792077

PLAN # 1.C

ISSUED DP  
RESUBMISSION  
2019-04-23

Client/Project  
STEVESTON TOWNHOUSE  
DEVELOPMENT (DP 17-792077) FOR

9851, 9891 STEVESTON HWY &  
10931 SOUTHGATE ROAD, RICHMOND, BC

10931 SOUTHGATE ROAD, RICHMOND, BC

STREET ELEVATIONS

Project No. #8127 Scale 1"=20'-0"

Drawing No. A0.5 Sheet 4 of 4 Revision









SOUTHGATE ROAD

DP 17-792077

PLAN # 2.a

ISSUED DP  
RESUBMISSION  
2019-04-23

STEVESTON TOWNHOUSE  
DEVELOPMENT (DP 17-792077) FOR



9651, 9691 STEVESTON HWY. &  
10931 SOUTHGATE ROAD, RICHMOND, BC

PARKING PLAN

Project No. #8127  
Scale 3/32" = 1'-0"  
Drawing No. Sheet

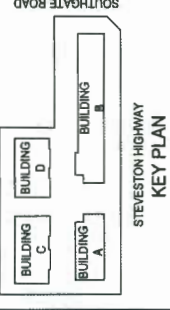
A.1.1 of



ARCHITECTURE  
INTERIOR  
DESIGN  
PLANNING

Copyright Reserved  
The Copyright in this drawing and its contents is reserved, and remains the sole and exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced without the expressed written consent of Imperial Architecture.

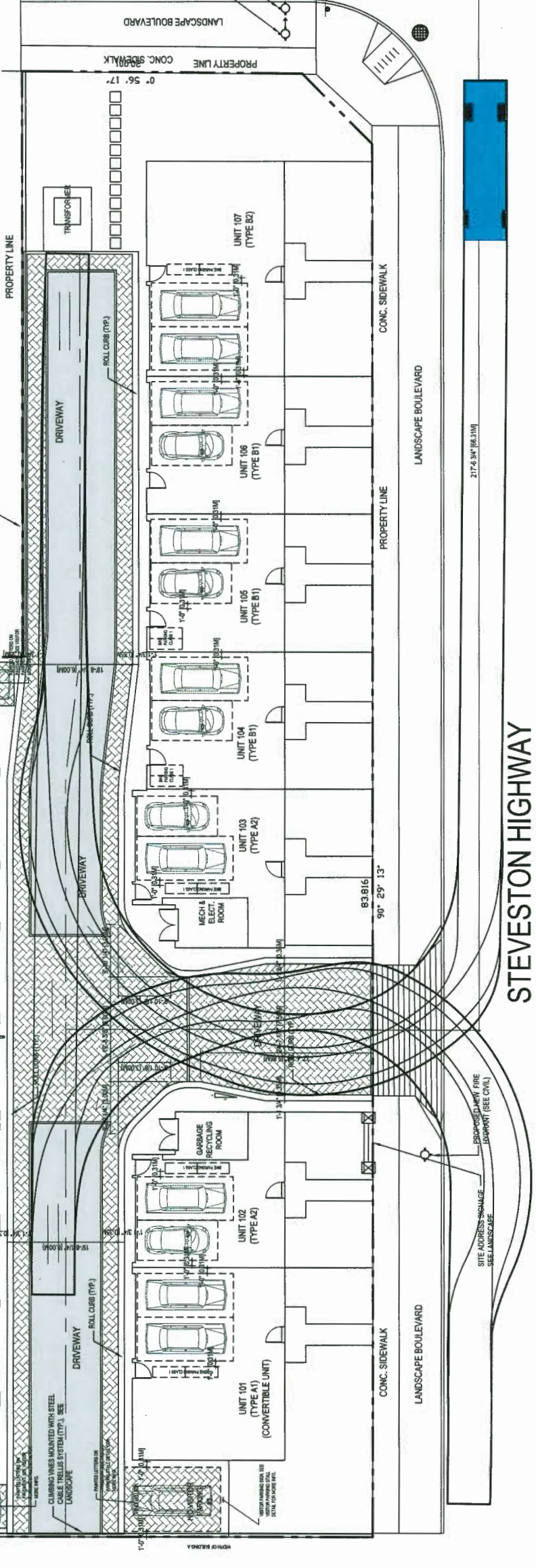
Dimensions  
The Contractor shall verify all dimensions and immediately report any errors under penalty to Imperial Architecture. DO NOT SCALE DRAWINGS.



NO.	DATE	BY	APP.	REVISION
1	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
2	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
3	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
4	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
5	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
6	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
7	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
8	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
9	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
10	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS

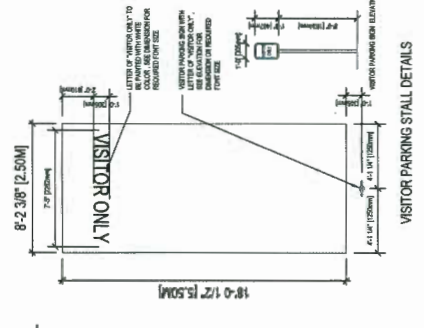


NO.	DATE	BY	APP.	REVISION
1	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
2	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
3	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
4	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
5	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
6	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
7	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
8	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
9	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS
10	11.11.19	J.L.	J.L.	ISSUED FOR PERMITS



1 PARKING PLAN  
A1.1 SCALE 3/32" = 1'-0"

A STATUARY RIGHT-OF-WAY OVER THE ENTIRE  
VEHICLE DRIVE AISLE IS TO BE REGISTERED FOR  
PUBLIC RIGHT-OF-PASSAGE  
INTERNAL DRIVE AISLE TO BE ENGINEERED TO  
SUPPORT FIRE TRUCK @ 80,000 LBS

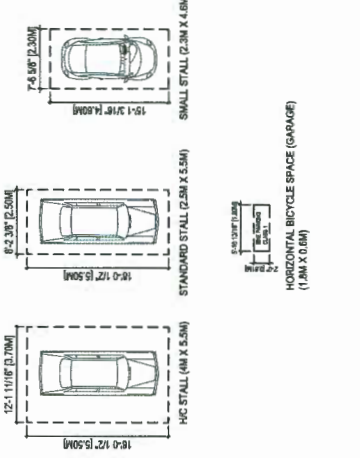


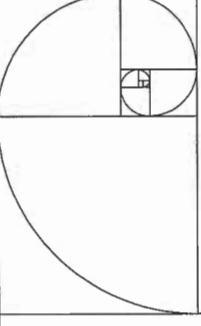
Parking Calculation By Unit

Unit #	Building A	Building B	Building C	Building D	Total
UNIT 101 (Convertible Unit)	1	0	0	0	1
UNIT 102 (Type A2)	2	0	0	0	2
UNIT 103 (Type A2)	2	0	0	0	2
UNIT 104 (Type B1)	2	0	0	0	2
UNIT 105 (Type B1)	2	0	0	0	2
UNIT 106 (Type B1)	2	0	0	0	2
UNIT 107 (Type B2)	2	0	0	0	2
UNIT 108 (Type C1)	2	0	0	0	2
UNIT 109 (Type C2)	2	0	0	0	2
UNIT 110 (Type D1)	2	0	0	0	2
UNIT 111 (Type D2)	2	0	0	0	2
<b>Total</b>	<b>25</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>25</b>

Parking Calculation

Category	Spaces / Unit	Total
Residential Parking Required	1.25	31.25
Visitor Parking Provided	0.2	5
Visitor Parking Required	0.2	5
HC Visitor Parking Provided	1.25	31.25
Class 1 Bike Storage Provided	0.2	5
Class 2 Bike Storage Provided	0.2	5



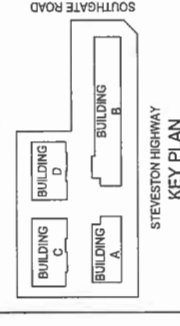


**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 10931 SOUTHGATE ROAD, RICHMOND, BC  
 TEL: 604.273.1111 FAX: 604.273.1112  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved by Imperial Architecture. All items are reproduced without the written consent of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions and immediately report any errors and/or omissions to Imperial Architecture. DO NOT SCALE DRAWINGS.



REVISION	DATE	BY	APP'D
1	18.11.18	J.Z.	
2	18.11.18	J.Z.	
3	18.11.18	J.Z.	
4	18.11.18	J.Z.	
5	18.11.18	J.Z.	
6	18.11.18	J.Z.	
7	18.11.18	J.Z.	
8	18.11.18	J.Z.	
9	18.11.18	J.Z.	
10	18.11.18	J.Z.	
11	18.11.18	J.Z.	
12	18.11.18	J.Z.	
13	18.11.18	J.Z.	
14	18.11.18	J.Z.	
15	18.11.18	J.Z.	
16	18.11.18	J.Z.	
17	18.11.18	J.Z.	
18	18.11.18	J.Z.	
19	18.11.18	J.Z.	
20	18.11.18	J.Z.	
21	18.11.18	J.Z.	
22	18.11.18	J.Z.	
23	18.11.18	J.Z.	
24	18.11.18	J.Z.	
25	18.11.18	J.Z.	
26	18.11.18	J.Z.	
27	18.11.18	J.Z.	
28	18.11.18	J.Z.	
29	18.11.18	J.Z.	
30	18.11.18	J.Z.	

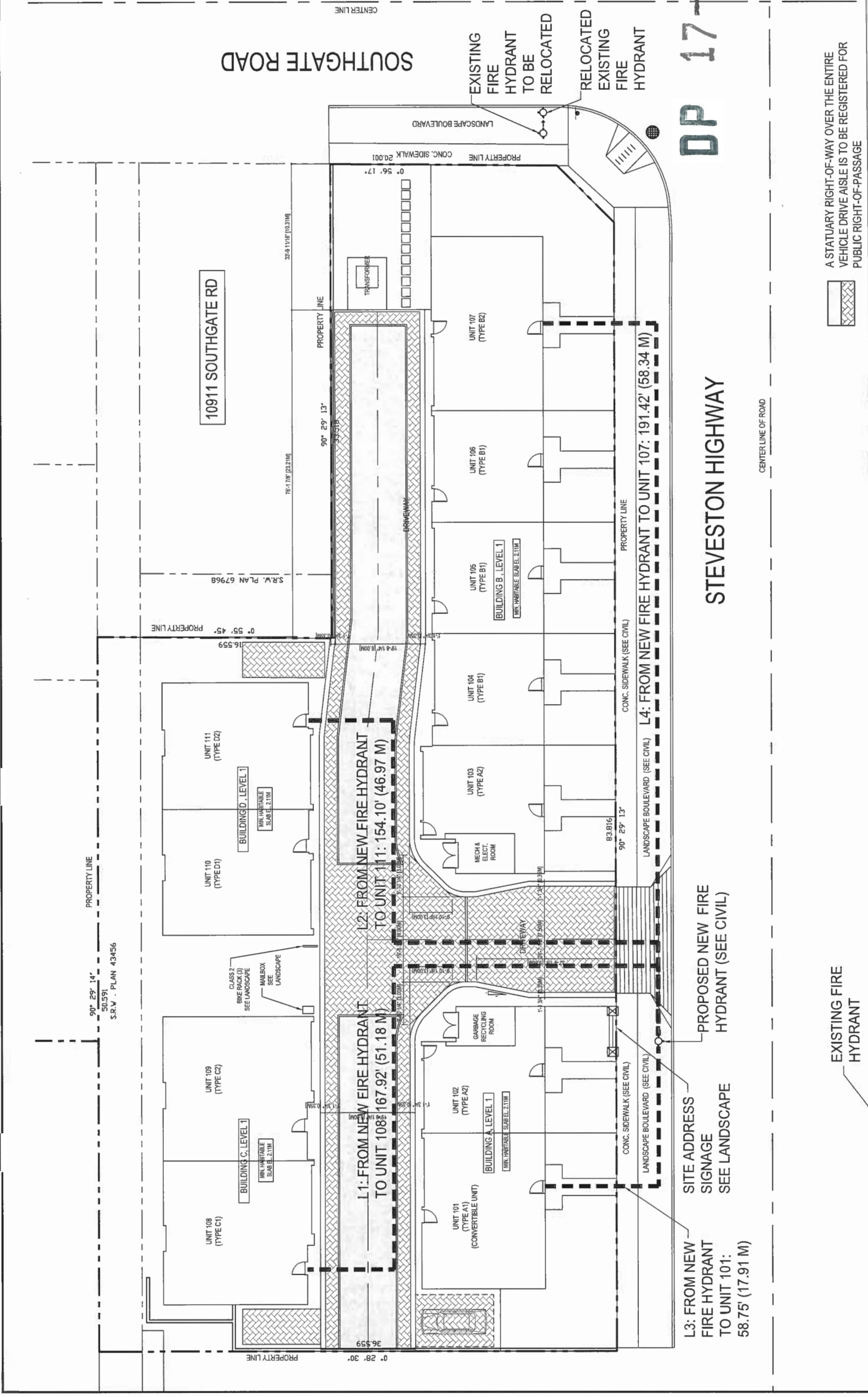
**DP 17-792077**  
**PLAN # 2.b**

ISSUED DP  
 RESUBMISSION  
 2019-04-23

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR

10931 SOUTHGATE ROAD, RICHMOND, BC

Project No. #8127  
 Scale 3/32"=1'-0"  
 Drawing No. A1.2  
 Revision



**DP 17-792077**

**STEVESTON HIGHWAY**

**FIRE TRUCK ACCESS PLAN**  
 SCALE 3/32"=1'-0"

A STATUARY RIGHT-OF-WAY OVER THE ENTIRE VEHICLE DRIVE AISLE IS TO BE REGISTERED FOR PUBLIC RIGHT-OF-PASSAGE

INTERNAL DRIVE AISLE TO BE ENGINEERED TO SUPPORT FIRE TRUCK @ 80,000 LBS

EXISTING FIRE HYDRANT

PROPOSED NEW FIRE HYDRANT (SEE CIVIL)

SITE ADDRESS SIGNAGE SEE LANDSCAPE

L3: FROM NEW FIRE HYDRANT TO UNIT 101: 58.75' (17.91 M)

L1: FROM NEW FIRE HYDRANT TO UNIT 108: 167.92' (51.18 M < 90 M MAX. ALLOWED)

L2: FROM NEW FIRE HYDRANT TO UNIT 111: 154.10' (46.97 M < 90 M MAX. ALLOWED)

L3: FROM NEW FIRE HYDRANT TO UNIT 101: 58.75' (17.91 M < 90 M MAX. ALLOWED)

L4: FROM NEW FIRE HYDRANT TO UNIT 107: 191.42' (58.34 M < 90 M MAX. ALLOWED)





Copyright reserved. This drawing and design is the property of M2 Landscape Architecture and shall not be reproduced or used for other projects without their permission.



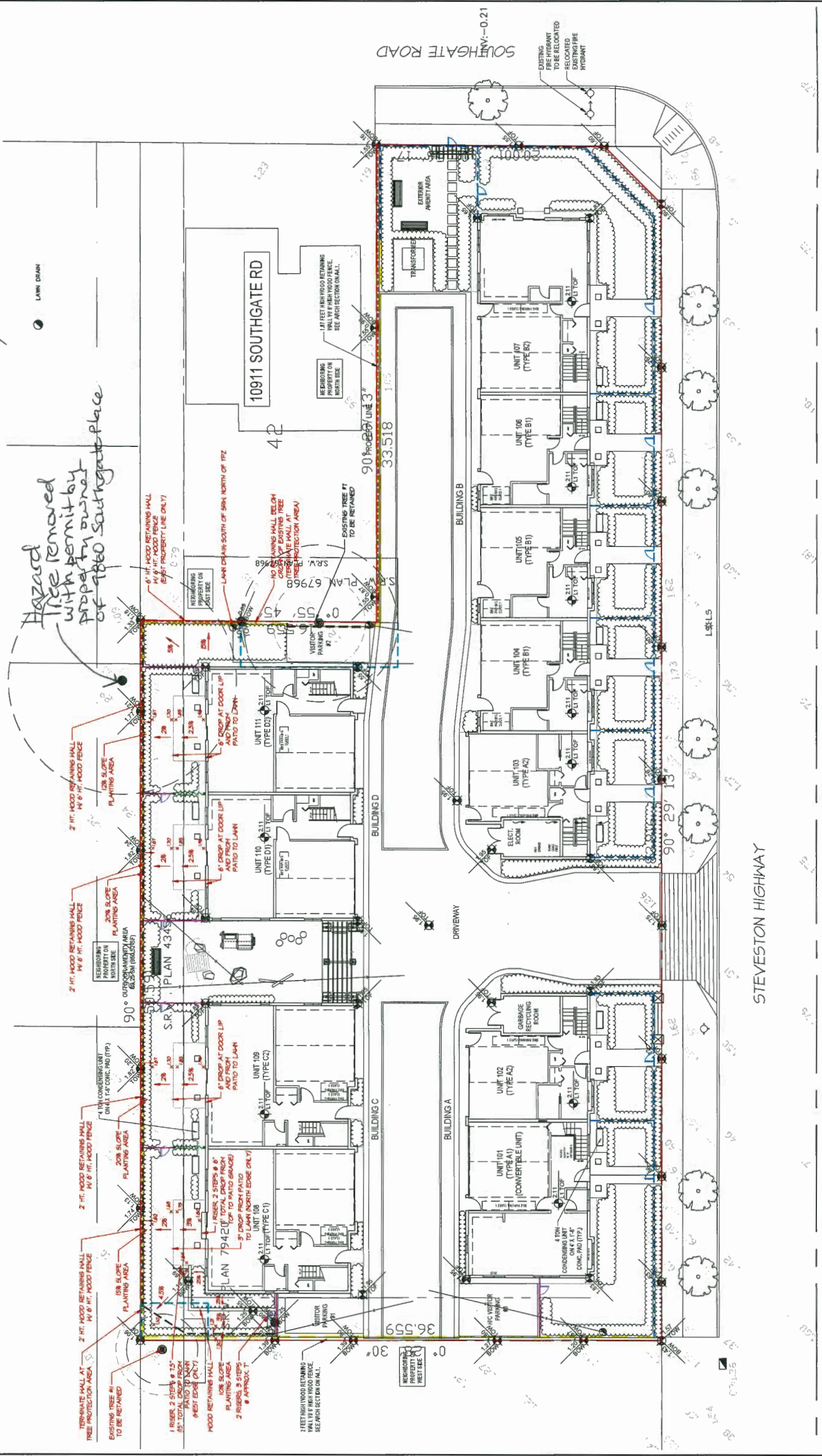
**LANDSCAPE ARCHITECTURE**  
 #220 - 26 Lorne Meeks  
 New Westminster, British Columbia  
 V8M 3L7  
 Tel: 604.553.0044  
 Fax: 604.553.0045  
 Email: office@m2la.com



**LEGEND**

- PERIMETER DRAIN
- STORM SEWER LATERAL TO MAIN
- LAWN DRAIN

**NOTE: REFER TO CIVIL DRAWINGS FOR LOT GRADING AND DRAINAGE INFRASTRUCTURE DESIGN**



NO.	DATE	REVISION DESCRIPTION	BY	CHK.
13	12/20/24	REVISED PER CITY COMMENTS	PMF	
14	1/16/25	REVISED PER ADP COMMENTS	PMF	
15	1/16/25	REVISED PER CITY COMMENTS	PMF	
16	1/16/25	REVISED PER CITY COMMENTS	PMF	
17	1/16/25	REVISED PER CITY COMMENTS	PMF	
18	1/16/25	REVISED PER CITY COMMENTS	PMF	
19	1/16/25	REVISED PER CITY COMMENTS	PMF	
20	1/16/25	REVISED PER ELECTRICAL	PMF	
21	1/16/25	REVISED PER DP	PMF	
22	1/16/25	REVISED PER CITY COMMENTS	PMF	
23	1/16/25	REVISED PER DP	PMF	
24	1/16/25	REVISED PER DP	PMF	
25	1/16/25	REVISED PER DP	PMF	
26	1/16/25	REVISED PER CITY COMMENTS	PMF	
27	1/16/25	REVISED PER DP	PMF	
28	1/16/25	REVISED PER DP	PMF	
29	1/16/25	REVISED PER CITY COMMENTS	PMF	
30	1/16/25	REVISED PER DP	PMF	
31	1/16/25	REVISED PER DP	PMF	
32	1/16/25	REVISED PER DP	PMF	
33	1/16/25	REVISED PER DP	PMF	
34	1/16/25	REVISED PER DP	PMF	
35	1/16/25	REVISED PER DP	PMF	
36	1/16/25	REVISED PER DP	PMF	
37	1/16/25	REVISED PER DP	PMF	
38	1/16/25	REVISED PER DP	PMF	
39	1/16/25	REVISED PER DP	PMF	
40	1/16/25	REVISED PER DP	PMF	
41	1/16/25	REVISED PER DP	PMF	
42	1/16/25	REVISED PER DP	PMF	
43	1/16/25	REVISED PER DP	PMF	
44	1/16/25	REVISED PER DP	PMF	
45	1/16/25	REVISED PER DP	PMF	
46	1/16/25	REVISED PER DP	PMF	
47	1/16/25	REVISED PER DP	PMF	
48	1/16/25	REVISED PER DP	PMF	
49	1/16/25	REVISED PER DP	PMF	
50	1/16/25	REVISED PER DP	PMF	
51	1/16/25	REVISED PER DP	PMF	
52	1/16/25	REVISED PER DP	PMF	
53	1/16/25	REVISED PER DP	PMF	
54	1/16/25	REVISED PER DP	PMF	
55	1/16/25	REVISED PER DP	PMF	
56	1/16/25	REVISED PER DP	PMF	
57	1/16/25	REVISED PER DP	PMF	
58	1/16/25	REVISED PER DP	PMF	
59	1/16/25	REVISED PER DP	PMF	
60	1/16/25	REVISED PER DP	PMF	
61	1/16/25	REVISED PER DP	PMF	
62	1/16/25	REVISED PER DP	PMF	
63	1/16/25	REVISED PER DP	PMF	
64	1/16/25	REVISED PER DP	PMF	
65	1/16/25	REVISED PER DP	PMF	
66	1/16/25	REVISED PER DP	PMF	
67	1/16/25	REVISED PER DP	PMF	
68	1/16/25	REVISED PER DP	PMF	
69	1/16/25	REVISED PER DP	PMF	
70	1/16/25	REVISED PER DP	PMF	
71	1/16/25	REVISED PER DP	PMF	
72	1/16/25	REVISED PER DP	PMF	
73	1/16/25	REVISED PER DP	PMF	
74	1/16/25	REVISED PER DP	PMF	
75	1/16/25	REVISED PER DP	PMF	
76	1/16/25	REVISED PER DP	PMF	
77	1/16/25	REVISED PER DP	PMF	
78	1/16/25	REVISED PER DP	PMF	
79	1/16/25	REVISED PER DP	PMF	
80	1/16/25	REVISED PER DP	PMF	
81	1/16/25	REVISED PER DP	PMF	
82	1/16/25	REVISED PER DP	PMF	
83	1/16/25	REVISED PER DP	PMF	
84	1/16/25	REVISED PER DP	PMF	
85	1/16/25	REVISED PER DP	PMF	
86	1/16/25	REVISED PER DP	PMF	
87	1/16/25	REVISED PER DP	PMF	
88	1/16/25	REVISED PER DP	PMF	
89	1/16/25	REVISED PER DP	PMF	
90	1/16/25	REVISED PER DP	PMF	
91	1/16/25	REVISED PER DP	PMF	
92	1/16/25	REVISED PER DP	PMF	
93	1/16/25	REVISED PER DP	PMF	
94	1/16/25	REVISED PER DP	PMF	
95	1/16/25	REVISED PER DP	PMF	
96	1/16/25	REVISED PER DP	PMF	
97	1/16/25	REVISED PER DP	PMF	
98	1/16/25	REVISED PER DP	PMF	
99	1/16/25	REVISED PER DP	PMF	
100	1/16/25	REVISED PER DP	PMF	

**PROJECT:**  
 MULTI-FAMILY DEVELOPMENT  
 9851 AND 9861 STEVESTON HIGHWAY,  
 RICHMOND, BC

PLAN #3

**GRADING PLAN**

DATE:	8/22/24	DRAWING NUMBER:	
SCALE:	3/32" = 1'-0"		
DRAWN:	PMF		
DESIGN:	PMF		
CHKD:	MLH		
QA PROJECT NUMBER:		OFF 9	2-104

OP 17-792077 PLAN # 3.C

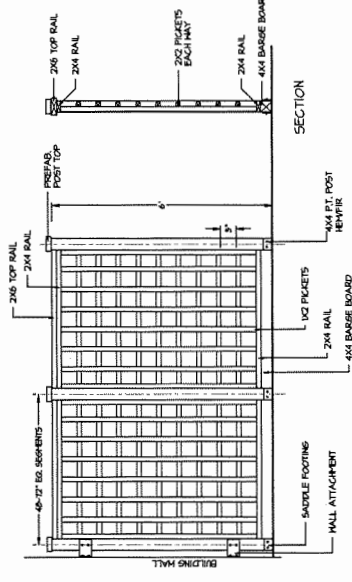
1204-24ip



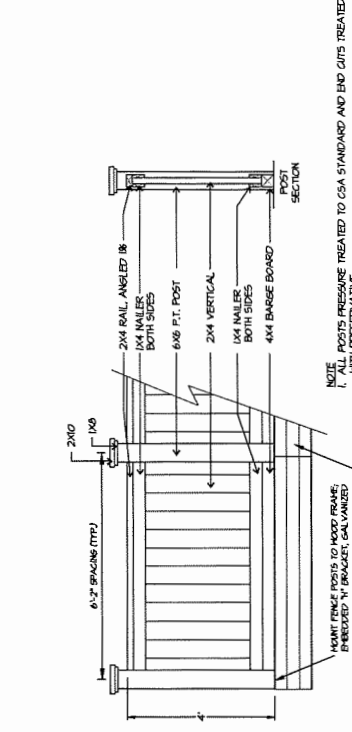
Copyright reserved. This drawing and design is the property of M2 Landscape Architecture and may not be reproduced without the prior written permission.



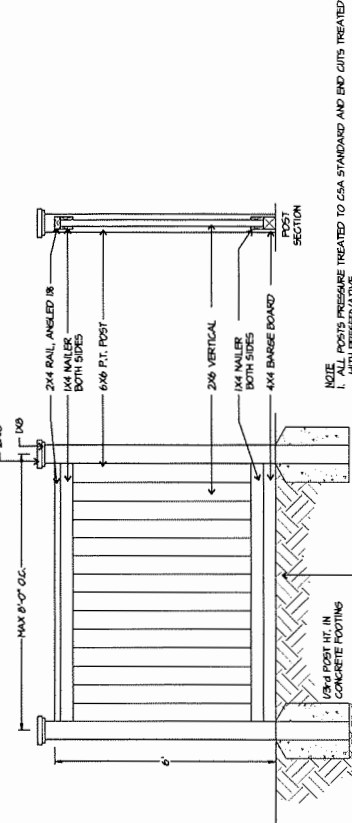
**LANDSCAPE ARCHITECTURE**  
 4220 - 26 Lorne Views  
 New Westminster, British Columbia  
 VAN 3L1  
 Tel: 604.553.0044  
 Fax: 604.553.0045  
 Email: office@m2la.com



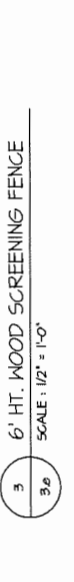
**3 6' HT. WOOD SCREENING FENCE**  
 SCALE: 1/2" = 1'-0"  
 3g



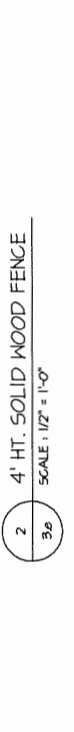
**2 4' HT. SOLID WOOD FENCE**  
 SCALE: 1/2" = 1'-0"  
 3g



**1 6' HT. SOLID WOOD PERIMETER FENCE**  
 SCALE: 1/2" = 1'-0"  
 3g



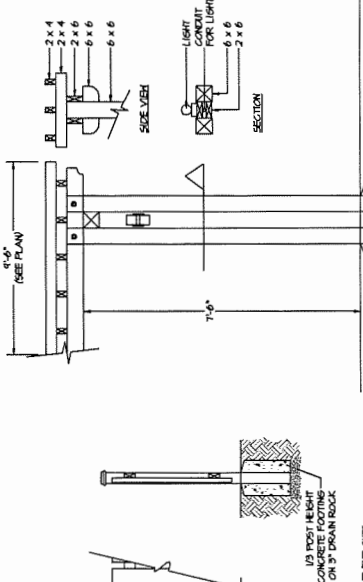
**5 42\"/>
 SCALE: 1/2" = 1'-0"  
 3g**



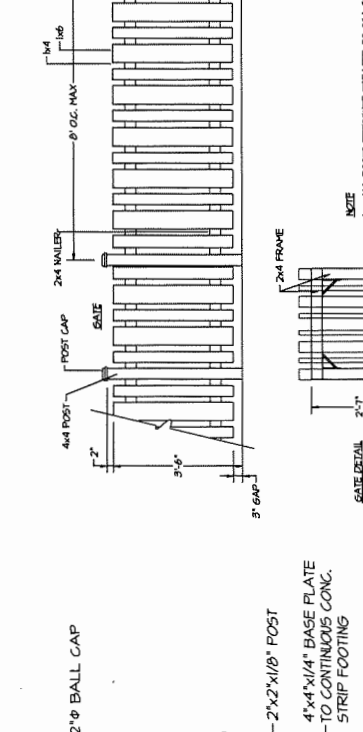
**4 48\"/>
 SCALE: 3/4" = 1'-0"  
 3g**



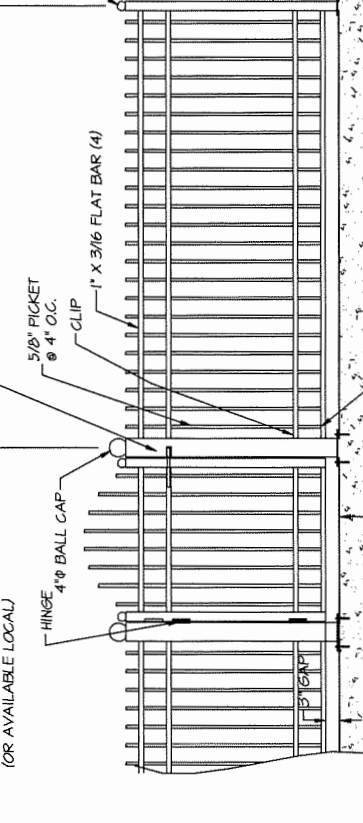
**1 4' HT. SOLID WOOD PERIMETER FENCE**  
 SCALE: 1/2" = 1'-0"  
 3g



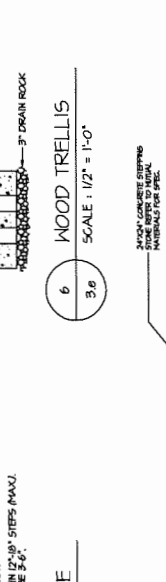
**6 6' HT. WOOD TRELLIS**  
 SCALE: 1/2" = 1'-0"  
 3g



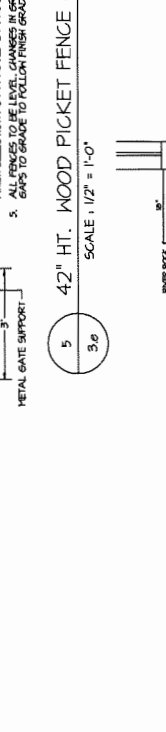
**5 42\"/>
 SCALE: 1/2" = 1'-0"  
 3g**



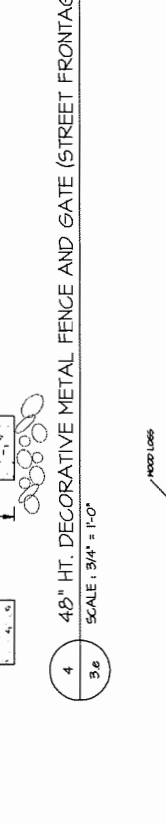
**4 48\"/>
 SCALE: 3/4" = 1'-0"  
 3g**



**6 6' HT. WOOD TRELLIS**  
 SCALE: 1/2" = 1'-0"  
 3g



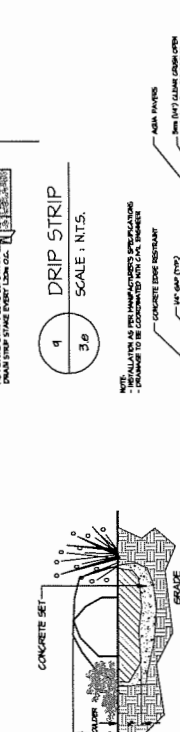
**5 42\"/>
 SCALE: 1/2" = 1'-0"  
 3g**



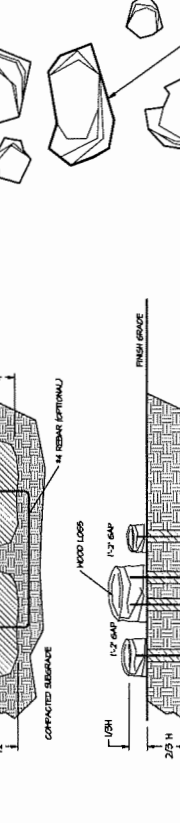
**4 48\"/>
 SCALE: 3/4" = 1'-0"  
 3g**



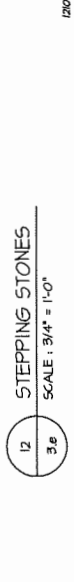
**6 6' HT. WOOD TRELLIS**  
 SCALE: 1/2" = 1'-0"  
 3g



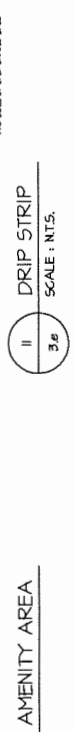
**5 42\"/>
 SCALE: 1/2" = 1'-0"  
 3g**



**4 48\"/>
 SCALE: 3/4" = 1'-0"  
 3g**



**6 6' HT. WOOD TRELLIS**  
 SCALE: 1/2" = 1'-0"  
 3g



**5 42\"/>
 SCALE: 1/2" = 1'-0"  
 3g**



**4 48\"/>
 SCALE: 3/4" = 1'-0"  
 3g**

NO.	DATE	REVISION DESCRIPTION	BY	CHK.
1	12/04/24	ISSUED FOR PERMIT	PNT	DL
2	12/04/24	ISSUED FOR PERMIT	PNT	DL
3	12/04/24	ISSUED FOR PERMIT	PNT	DL
4	12/04/24	ISSUED FOR PERMIT	PNT	DL
5	12/04/24	ISSUED FOR PERMIT	PNT	DL
6	12/04/24	ISSUED FOR PERMIT	PNT	DL
7	12/04/24	ISSUED FOR PERMIT	PNT	DL
8	12/04/24	ISSUED FOR PERMIT	PNT	DL
9	12/04/24	ISSUED FOR PERMIT	PNT	DL
10	12/04/24	ISSUED FOR PERMIT	PNT	DL
11	12/04/24	ISSUED FOR PERMIT	PNT	DL
12	12/04/24	ISSUED FOR PERMIT	PNT	DL
13	12/04/24	ISSUED FOR PERMIT	PNT	DL
14	12/04/24	ISSUED FOR PERMIT	PNT	DL
15	12/04/24	ISSUED FOR PERMIT	PNT	DL
16	12/04/24	ISSUED FOR PERMIT	PNT	DL
17	12/04/24	ISSUED FOR PERMIT	PNT	DL
18	12/04/24	ISSUED FOR PERMIT	PNT	DL
19	12/04/24	ISSUED FOR PERMIT	PNT	DL
20	12/04/24	ISSUED FOR PERMIT	PNT	DL
21	12/04/24	ISSUED FOR PERMIT	PNT	DL
22	12/04/24	ISSUED FOR PERMIT	PNT	DL
23	12/04/24	ISSUED FOR PERMIT	PNT	DL
24	12/04/24	ISSUED FOR PERMIT	PNT	DL
25	12/04/24	ISSUED FOR PERMIT	PNT	DL
26	12/04/24	ISSUED FOR PERMIT	PNT	DL
27	12/04/24	ISSUED FOR PERMIT	PNT	DL
28	12/04/24	ISSUED FOR PERMIT	PNT	DL
29	12/04/24	ISSUED FOR PERMIT	PNT	DL
30	12/04/24	ISSUED FOR PERMIT	PNT	DL
31	12/04/24	ISSUED FOR PERMIT	PNT	DL
32	12/04/24	ISSUED FOR PERMIT	PNT	DL
33	12/04/24	ISSUED FOR PERMIT	PNT	DL
34	12/04/24	ISSUED FOR PERMIT	PNT	DL
35	12/04/24	ISSUED FOR PERMIT	PNT	DL
36	12/04/24	ISSUED FOR PERMIT	PNT	DL
37	12/04/24	ISSUED FOR PERMIT	PNT	DL
38	12/04/24	ISSUED FOR PERMIT	PNT	DL
39	12/04/24	ISSUED FOR PERMIT	PNT	DL
40	12/04/24	ISSUED FOR PERMIT	PNT	DL
41	12/04/24	ISSUED FOR PERMIT	PNT	DL
42	12/04/24	ISSUED FOR PERMIT	PNT	DL
43	12/04/24	ISSUED FOR PERMIT	PNT	DL
44	12/04/24	ISSUED FOR PERMIT	PNT	DL
45	12/04/24	ISSUED FOR PERMIT	PNT	DL
46	12/04/24	ISSUED FOR PERMIT	PNT	DL
47	12/04/24	ISSUED FOR PERMIT	PNT	DL
48	12/04/24	ISSUED FOR PERMIT	PNT	DL
49	12/04/24	ISSUED FOR PERMIT	PNT	DL
50	12/04/24	ISSUED FOR PERMIT	PNT	DL
51	12/04/24	ISSUED FOR PERMIT	PNT	DL
52	12/04/24	ISSUED FOR PERMIT	PNT	DL
53	12/04/24	ISSUED FOR PERMIT	PNT	DL
54	12/04/24	ISSUED FOR PERMIT	PNT	DL
55	12/04/24	ISSUED FOR PERMIT	PNT	DL
56	12/04/24	ISSUED FOR PERMIT	PNT	DL
57	12/04/24	ISSUED FOR PERMIT	PNT	DL
58	12/04/24	ISSUED FOR PERMIT	PNT	DL
59	12/04/24	ISSUED FOR PERMIT	PNT	DL
60	12/04/24	ISSUED FOR PERMIT	PNT	DL

PROJECT: **MULTI-FAMILY DEVELOPMENT**  
**9851 AND 9891 STEVENSON HIGHWAY,**  
**RICHMOND, BC**

PLAN #

DRAWING TITLE: **LANDSCAPE DETAILS**

DRAWING NUMBER: **3.e**

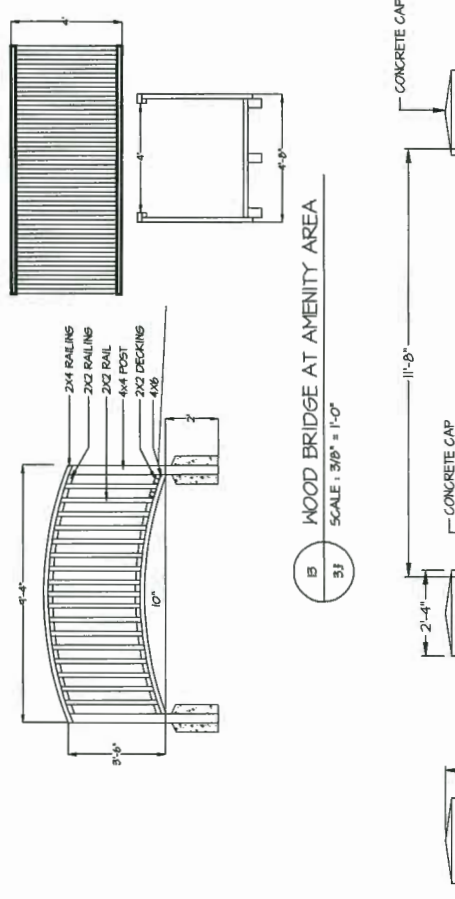
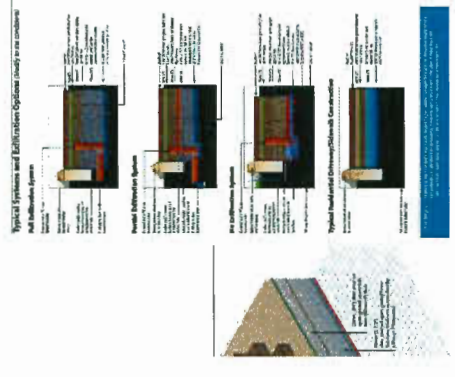
DATE: 12/04/24  
 SCALE: AS SHOWN  
 DRAWN: PNT  
 DESIGNED: PNT  
 CHECKED: PNT  
 REVISED: PNT

M2LA PROJECT NUMBER: 1204-24-04

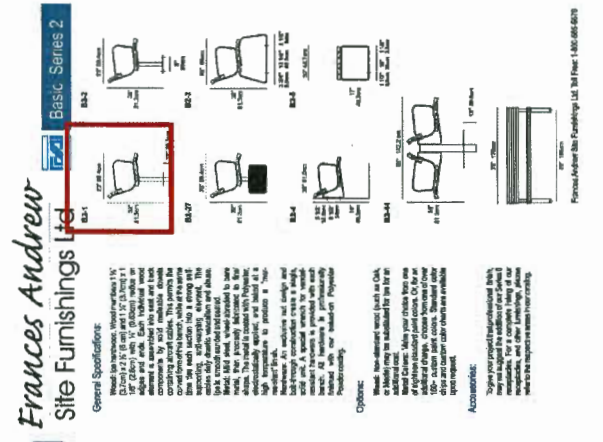
Copyright reserved. This drawing and design is the property of M2 Landscape Architecture and shall not be reproduced or used for other projects without their permission.



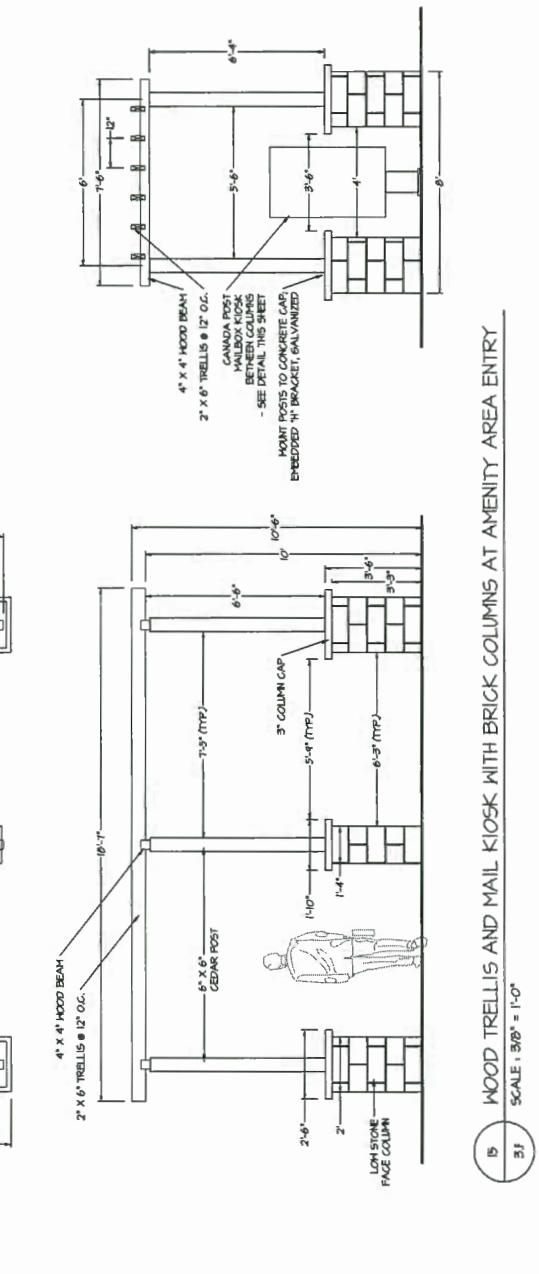
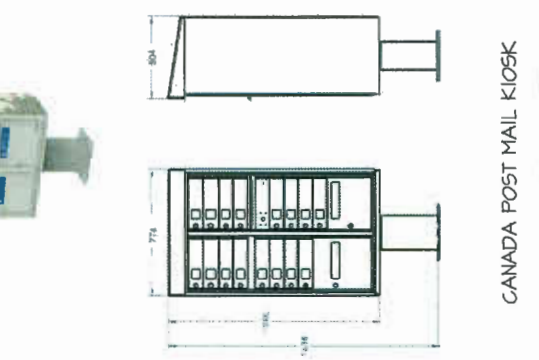
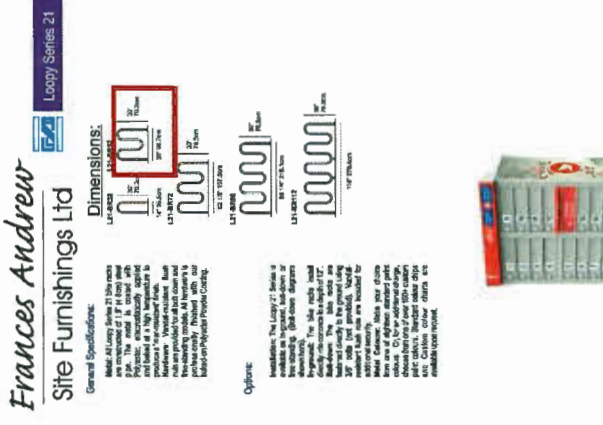
**LANDSCAPE ARCHITECTURE**  
 #220 - 26 Lorne Mews  
 New Westminster, British Columbia  
 V3M 3L7  
 Tel: 604.553.0044  
 Fax: 604.553.0045  
 Email: office@m2la.com



**Frances Andrew Site Furnishings Ltd**  
 Basic Series 2



**Frances Andrew Site Furnishings Ltd**  
 Loopy Series 21



NO.	DATE	REVISION DESCRIPTION	DL
1	08.05.10	ISSUED FOR OP	DL
2	08.05.10	ISSUED FOR OP	DL
3	08.05.10	ISSUED FOR OP	DL
4	08.05.10	ISSUED FOR OP	DL
5	08.05.10	ISSUED FOR OP	DL
6	08.05.10	ISSUED FOR OP	DL
7	08.05.10	ISSUED FOR OP	DL
8	08.05.10	ISSUED FOR OP	DL
9	08.05.10	ISSUED FOR OP	DL
10	08.05.10	ISSUED FOR OP	DL
11	08.05.10	ISSUED FOR OP	DL
12	08.05.10	ISSUED FOR OP	DL
13	08.05.10	ISSUED FOR OP	DL
14	08.05.10	ISSUED FOR OP	DL
15	08.05.10	ISSUED FOR OP	DL
16	08.05.10	ISSUED FOR OP	DL
17	08.05.10	ISSUED FOR OP	DL
18	08.05.10	ISSUED FOR OP	DL
19	08.05.10	ISSUED FOR OP	DL
20	08.05.10	ISSUED FOR OP	DL

PROJECT: MULTI-FAMILY DEVELOPMENT  
 8807 AND 8801 STEVESTON HIGHWAY,  
 RICHMOND, BC

DRAWING TITLE: LANDSCAPE DETAILS

DATE: 08/05/10  
 SCALE: AS SHOWN  
 DRAWN: PHT  
 DESIGN: PHT  
 CHECKED: MELJ

3.f OF 9

M2LA PROJECT NUMBER: 12-104



Copyright reserved. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.



**M2 LANDSCAPE ARCHITECTURE**  
 #20 - 26 Lorne Mews  
 New Westminster, British Columbia  
 V3M 3L7  
 Tel: 604.553.0044  
 Fax: 604.553.0045  
 Email: office@m2la.com

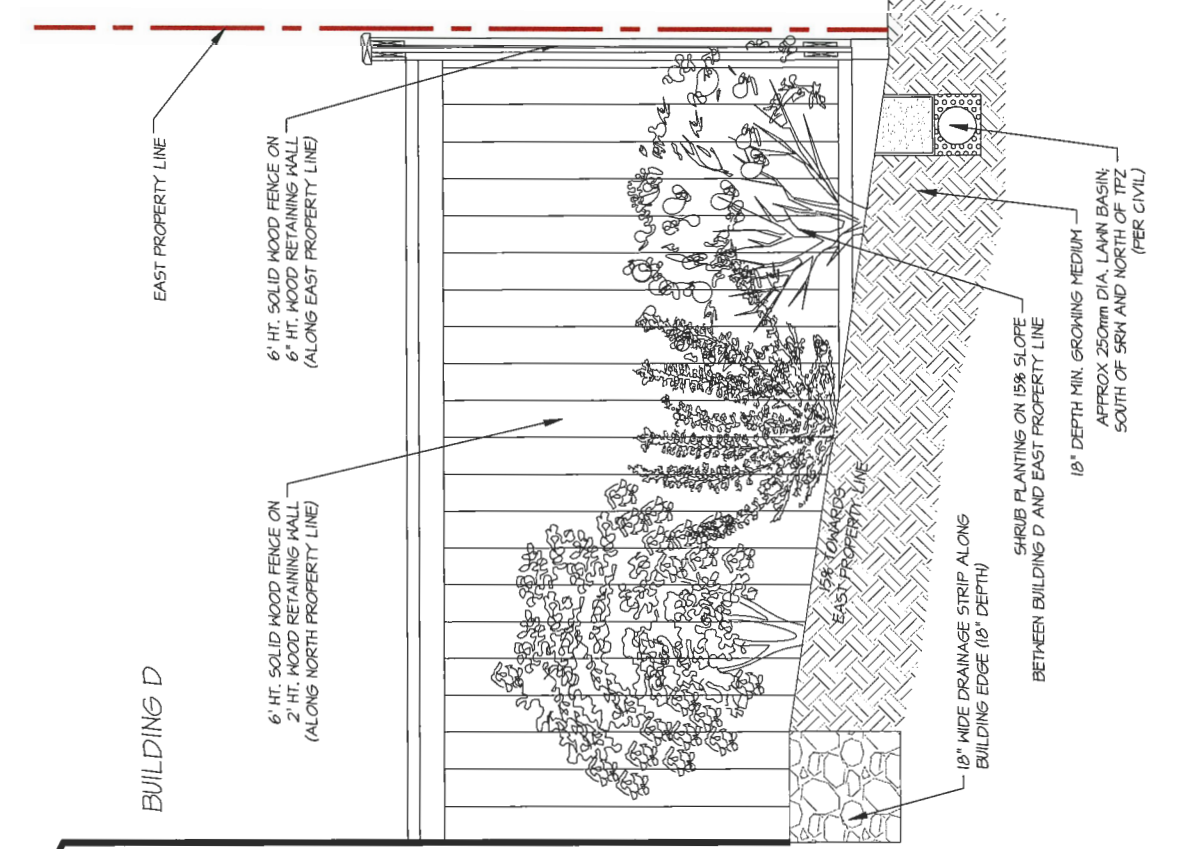
NO.	DATE	REVISION DESCRIPTION	BY	DR.
1		ISSUED FOR CITY COMMENTS	PNT	
2		REVISED PER CITY COMMENTS	PNT	
3		ISSUED FOR REVIEW	PNT	
4		REVISED PER CITY COMMENTS	PNT	
5		ISSUED FOR REVIEW	PNT	
6		REVISED PER CITY COMMENTS	PNT	
7		ISSUED FOR REVIEW	PNT	
8		REVISED PER CITY COMMENTS	PNT	
9		ISSUED FOR REVIEW	PNT	
10		REVISED PER CITY COMMENTS	PNT	
11		ISSUED FOR REVIEW	PNT	
12		REVISED PER CITY COMMENTS	PNT	
13		ISSUED FOR REVIEW	PNT	
14		REVISED PER CITY COMMENTS	PNT	
15		ISSUED FOR REVIEW	PNT	
16		REVISED PER CITY COMMENTS	PNT	
17		ISSUED FOR REVIEW	PNT	
18		REVISED PER CITY COMMENTS	PNT	
19		ISSUED FOR REVIEW	PNT	
20		REVISED PER CITY COMMENTS	PNT	
21		ISSUED FOR REVIEW	PNT	
22		REVISED PER CITY COMMENTS	PNT	
23		ISSUED FOR REVIEW	PNT	
24		REVISED PER CITY COMMENTS	PNT	
25		ISSUED FOR REVIEW	PNT	
26		REVISED PER CITY COMMENTS	PNT	
27		ISSUED FOR REVIEW	PNT	
28		REVISED PER CITY COMMENTS	PNT	
29		ISSUED FOR REVIEW	PNT	
30		REVISED PER CITY COMMENTS	PNT	
31		ISSUED FOR REVIEW	PNT	
32		REVISED PER CITY COMMENTS	PNT	
33		ISSUED FOR REVIEW	PNT	
34		REVISED PER CITY COMMENTS	PNT	
35		ISSUED FOR REVIEW	PNT	
36		REVISED PER CITY COMMENTS	PNT	
37		ISSUED FOR REVIEW	PNT	
38		REVISED PER CITY COMMENTS	PNT	
39		ISSUED FOR REVIEW	PNT	
40		REVISED PER CITY COMMENTS	PNT	
41		ISSUED FOR REVIEW	PNT	
42		REVISED PER CITY COMMENTS	PNT	
43		ISSUED FOR REVIEW	PNT	
44		REVISED PER CITY COMMENTS	PNT	
45		ISSUED FOR REVIEW	PNT	
46		REVISED PER CITY COMMENTS	PNT	
47		ISSUED FOR REVIEW	PNT	
48		REVISED PER CITY COMMENTS	PNT	
49		ISSUED FOR REVIEW	PNT	
50		REVISED PER CITY COMMENTS	PNT	
51		ISSUED FOR REVIEW	PNT	
52		REVISED PER CITY COMMENTS	PNT	
53		ISSUED FOR REVIEW	PNT	
54		REVISED PER CITY COMMENTS	PNT	
55		ISSUED FOR REVIEW	PNT	
56		REVISED PER CITY COMMENTS	PNT	
57		ISSUED FOR REVIEW	PNT	
58		REVISED PER CITY COMMENTS	PNT	
59		ISSUED FOR REVIEW	PNT	
60		REVISED PER CITY COMMENTS	PNT	
61		ISSUED FOR REVIEW	PNT	
62		REVISED PER CITY COMMENTS	PNT	
63		ISSUED FOR REVIEW	PNT	
64		REVISED PER CITY COMMENTS	PNT	
65		ISSUED FOR REVIEW	PNT	
66		REVISED PER CITY COMMENTS	PNT	
67		ISSUED FOR REVIEW	PNT	
68		REVISED PER CITY COMMENTS	PNT	
69		ISSUED FOR REVIEW	PNT	
70		REVISED PER CITY COMMENTS	PNT	
71		ISSUED FOR REVIEW	PNT	
72		REVISED PER CITY COMMENTS	PNT	
73		ISSUED FOR REVIEW	PNT	
74		REVISED PER CITY COMMENTS	PNT	
75		ISSUED FOR REVIEW	PNT	
76		REVISED PER CITY COMMENTS	PNT	
77		ISSUED FOR REVIEW	PNT	
78		REVISED PER CITY COMMENTS	PNT	
79		ISSUED FOR REVIEW	PNT	
80		REVISED PER CITY COMMENTS	PNT	
81		ISSUED FOR REVIEW	PNT	
82		REVISED PER CITY COMMENTS	PNT	
83		ISSUED FOR REVIEW	PNT	
84		REVISED PER CITY COMMENTS	PNT	
85		ISSUED FOR REVIEW	PNT	
86		REVISED PER CITY COMMENTS	PNT	
87		ISSUED FOR REVIEW	PNT	
88		REVISED PER CITY COMMENTS	PNT	
89		ISSUED FOR REVIEW	PNT	
90		REVISED PER CITY COMMENTS	PNT	
91		ISSUED FOR REVIEW	PNT	
92		REVISED PER CITY COMMENTS	PNT	
93		ISSUED FOR REVIEW	PNT	
94		REVISED PER CITY COMMENTS	PNT	
95		ISSUED FOR REVIEW	PNT	
96		REVISED PER CITY COMMENTS	PNT	
97		ISSUED FOR REVIEW	PNT	
98		REVISED PER CITY COMMENTS	PNT	
99		ISSUED FOR REVIEW	PNT	
100		REVISED PER CITY COMMENTS	PNT	

PROJECT: **MULTI-FAMILY DEVELOPMENT**  
 5851 AND 5851 STEVENSON HIGHWAY,  
 RICHMOND, BC

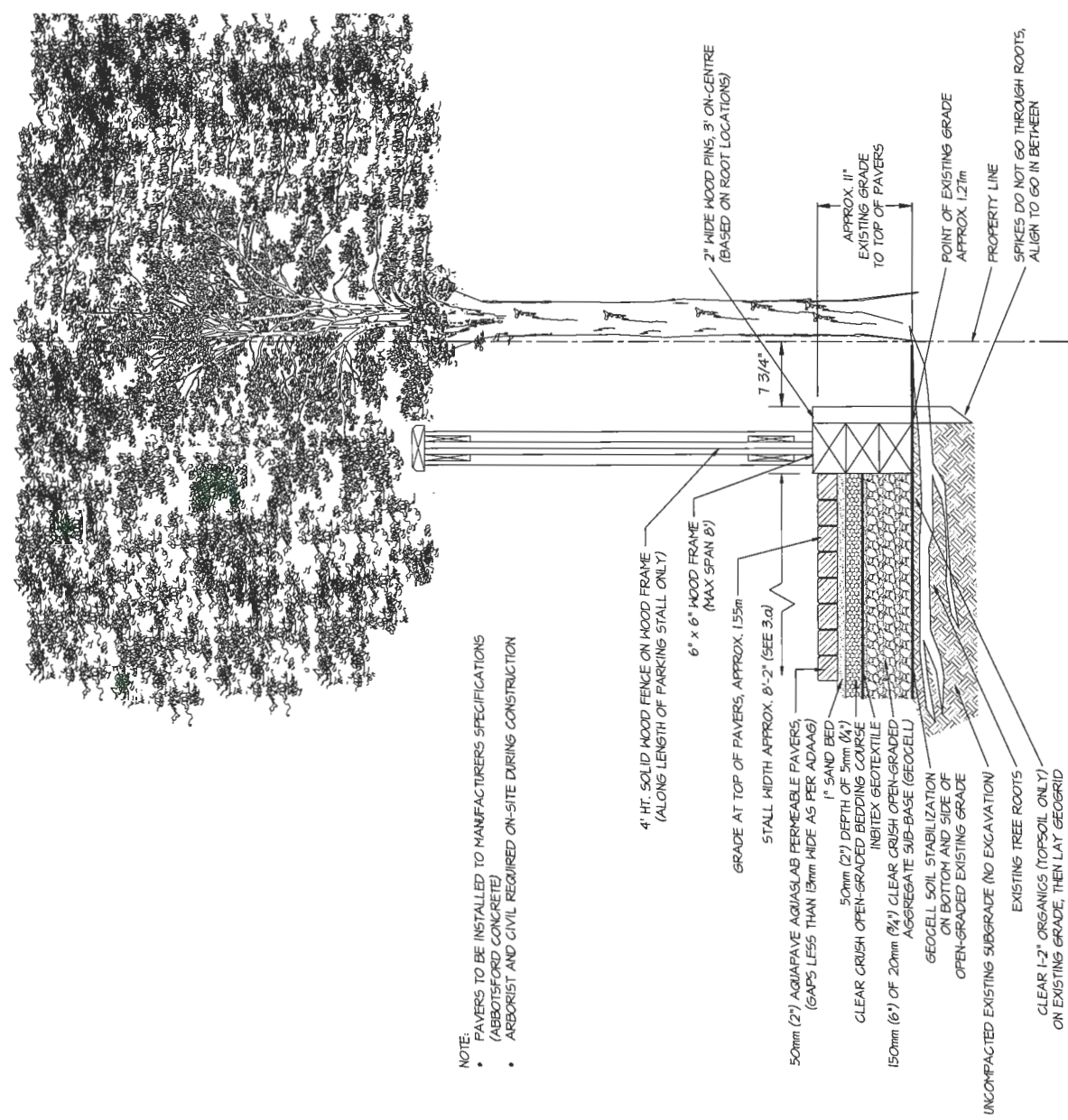
PLAN #8

DRAWING TITLE:  
**LANDSCAPE SECTIONS**

DATE:	16/02/14	DRAWING NUMBER:	
SCALE:	AS SHOWN		
DRAWN:	PNT		
DESIGN:	PNT		
CHECK:	PNT		
NO. OF SHEETS:	3.9	OF 9	
NO. PROJECT NUMBER:	12-104		



SECTION DETAIL NORTH OF TPZ BETWEEN BUILDING D AND EAST PROPERTY LINE (FACING NORTH)  
 SCALE: 1/4" = 1'-0"



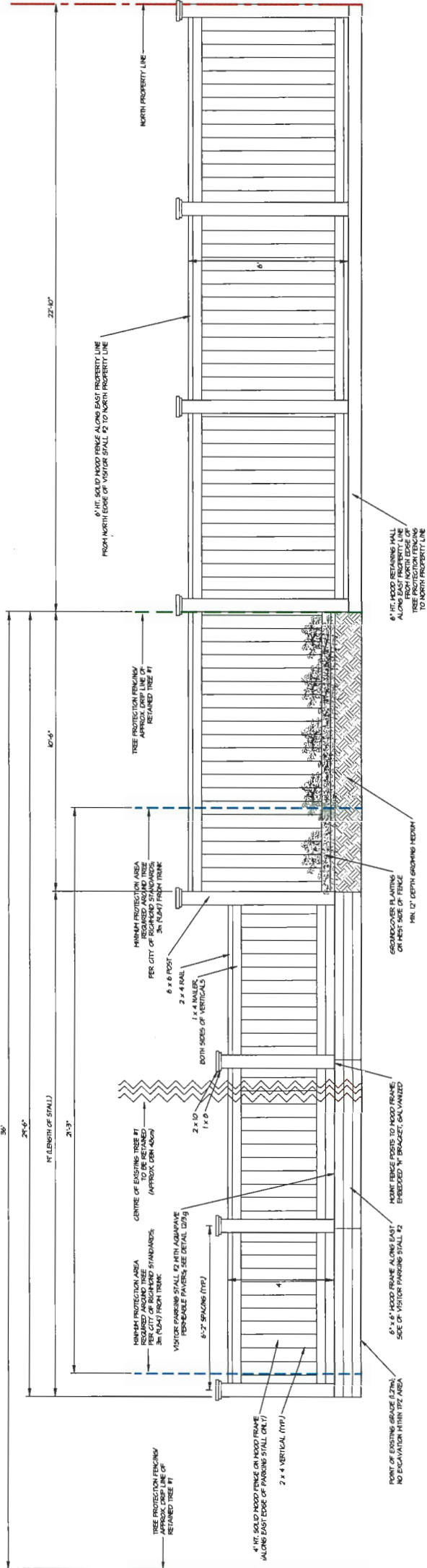
NOTE:  
 PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS  
 • (ABBOTSFORD CONCRETE)  
 • ARBORIST AND CIVIL REQUIRED ON-SITE DURING CONSTRUCTION

PERMEABLE PAVERS ON EXISTING TREE ROOTS - VISITOR PARKING STALL #2 (FACING NORTH)  
 SCALE: 1/4" = 1'-0"

Copyright reserved. This drawing and design is the property of M2 Landscape Architecture and shall not be reproduced or used for other projects without their permission.



4220 - 26 Lorne Mews  
 New Westminster, British Columbia  
 V3M 3J7 553.0044  
 TEL: 604.553.0044  
 FAX: 604.553.0045  
 Email: office@m2la.com



EXISTING TREE #1 AREA ALONG EAST PROPERTY LINE  
 (FACING WEST)

SCALE: 1/2" = 1'-0"



NO.	DATE	REVISION DESCRIPTION	BY	CHK.
1	07/26/24	ISSUED FOR CP	DL	DL
2	08/01/24	RE-SUBMIT FOR DP	DL	DL
3	08/02/24	RE-SUBMIT FOR DP	DL	DL
4	08/02/24	REVISED PER CITY COMMENTS	DL	DL
5	08/02/24	REVISED PER CITY COMMENTS	DL	DL
6	08/02/24	REVISED PER CITY COMMENTS	DL	DL
7	08/02/24	REVISED PER CITY COMMENTS	DL	DL
8	08/02/24	REVISED PER CITY COMMENTS	DL	DL
9	08/02/24	REVISED PER CITY COMMENTS	DL	DL
10	08/02/24	REVISED PER CITY COMMENTS	DL	DL
11	08/02/24	REVISED PER CITY COMMENTS	DL	DL
12	08/02/24	REVISED PER CITY COMMENTS	DL	DL
13	08/02/24	REVISED PER CITY COMMENTS	DL	DL
14	08/02/24	REVISED PER CITY COMMENTS	DL	DL

PROJECT:  
**MULTI-FAMILY DEVELOPMENT**  
 9857 AND 9861 STERESTON HIGHWAY,  
 RICHMOND, BC

PLAN #0

DRAWING TITLE:  
**LANDSCAPE SECTIONS**

DATE:	08/02/24	DRAWING NUMBER:	
SCALE:	AS SHOWN		
DRAWN:	PHF		
DESIGN:	PHF		
CHKD:	PHF		
		3.h	OF 9

NLA PROJECT NUMBER: 12-104

DP 17-792077

PLAN # 3.h

Drawings prepared. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.



4#20 - 26 Lorne Mews  
New Westminster, British Columbia  
V8M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com

REVISIONS table with columns: NO., DATE, REVISION DESCRIPTION, BY. Includes revisions 1 through 14.

PROJECT: MULTI-FAMILY DEVELOPMENT 9851 AND 9853 STEVSTON HIGHWAY, FRC-MOND, BC

DRAWING NUMBER: M2L214  
SCALE: RVT  
DRAWN: PNT  
CHECKED: PNT  
DATE: 2014

SOFT LANDSCAPE DEVELOPMENT - CONT

- 15.3.1. PRELIMINARY NOTES: The Landowner is responsible for providing all necessary information for the preparation of this landscape plan. The Landowner shall be responsible for obtaining all necessary permits and approvals. The Landowner shall be responsible for providing all necessary information for the preparation of this landscape plan. The Landowner shall be responsible for obtaining all necessary permits and approvals.

SOFT LANDSCAPE DEVELOPMENT - CONT

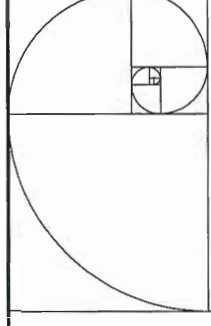
- 15.3.2. PRELIMINARY NOTES: The Landowner is responsible for providing all necessary information for the preparation of this landscape plan. The Landowner shall be responsible for obtaining all necessary permits and approvals. The Landowner shall be responsible for providing all necessary information for the preparation of this landscape plan. The Landowner shall be responsible for obtaining all necessary permits and approvals.

GENERAL REQUIREMENTS

- 15.3.3. PRELIMINARY NOTES: The Landowner is responsible for providing all necessary information for the preparation of this landscape plan. The Landowner shall be responsible for obtaining all necessary permits and approvals. The Landowner shall be responsible for providing all necessary information for the preparation of this landscape plan. The Landowner shall be responsible for obtaining all necessary permits and approvals.

SCOPE OF WORK

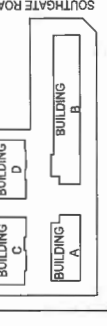
The scope of work for this project includes the preparation of a landscape plan, including site analysis, concept design, and detailed design. The scope of work for this project includes the preparation of a landscape plan, including site analysis, concept design, and detailed design.



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 ADDRESS: 1080 BURNHAM STREET, VANCOUVER, BC, V6C 1P5  
 TEL: 604-271-1111 FAX: 604-271-1112  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved and remains the sole property of Imperial Architecture and shall not be used, modified, or reproduced without the expressed written consent of Imperial Architecture.



NO.	DATE	DESCRIPTION	BY	CHK.	APP.
1	18.11.17	ISSUED FOR PERMITS	J.Z.	K.L.	M.L.
2	18.08.20	ISSUED FOR PERMITS	J.Z.	K.L.	M.L.
3	17.11.15	ISSUED FOR PERMITS	J.Z.	K.L.	M.L.
4	17.05.05	ISSUED FOR PERMITS	J.Z.	K.L.	M.L.
5	16.11.02	ISSUED FOR PERMITS	J.Z.	K.L.	M.L.
6	15.04.02	ISSUED FOR PERMITS	J.Z.	K.L.	M.L.

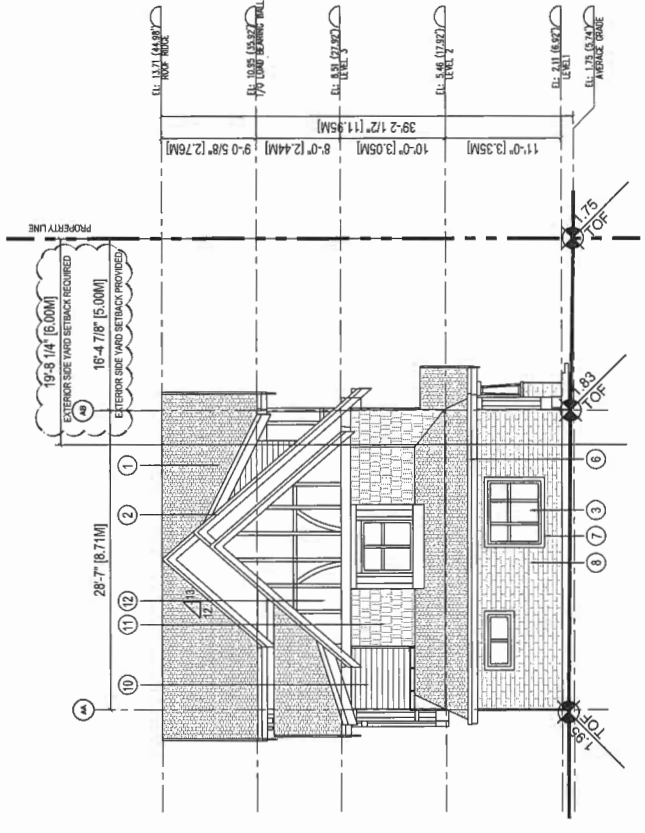
ISSUED DP  
 RESUBMISSION  
 2019-04-23

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR

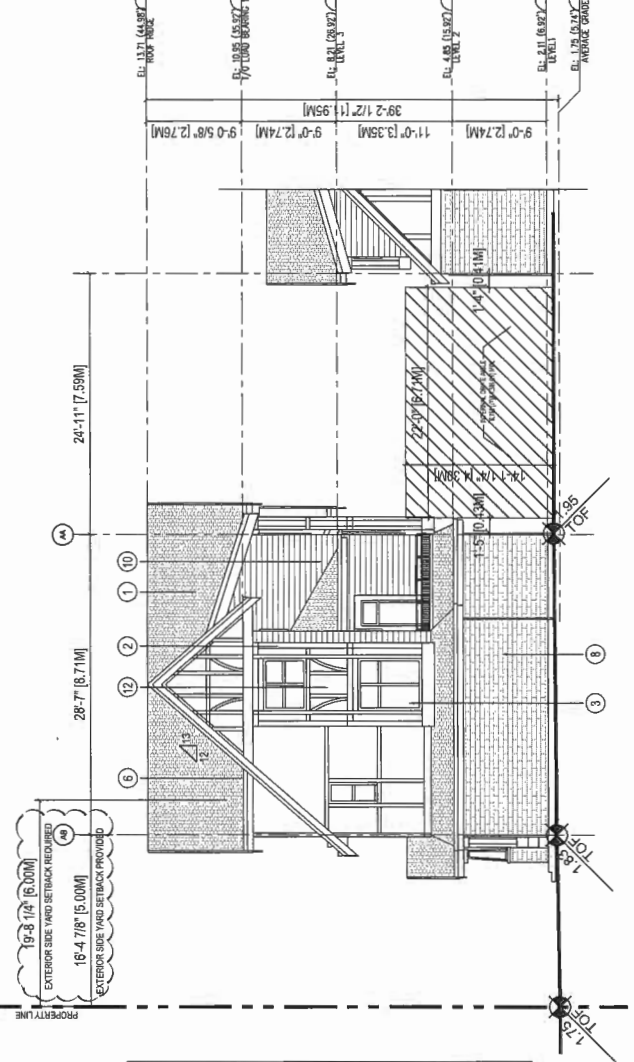
9851 893 STEVESTON HWY &  
 10931 SOUTHGATE ROAD, RICHMOND, BC

BLDG A ELEVATIONS

Project No. #8127  
 Scale 1/8"=1'-0"  
 Drawing No. A3.1  
 Revision



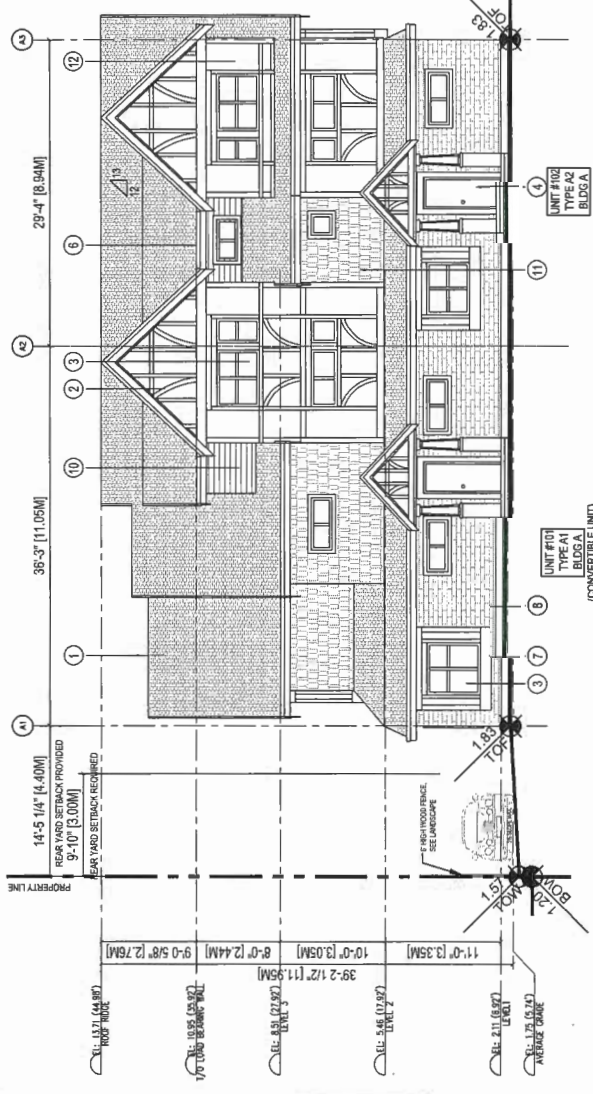
2 BUILDING A WEST ELEVATION  
 SCALE 1/8"=1'-0"  
 A3.1



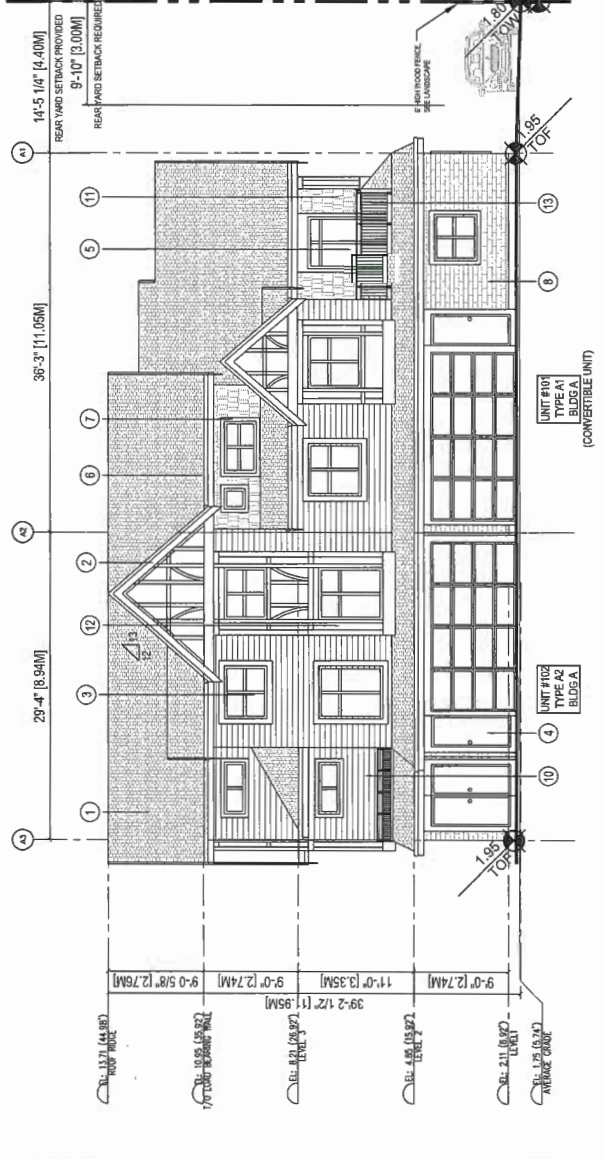
4 BUILDING A EAST ELEVATION  
 SCALE 1/8"=1'-0"  
 A3.1

- EXTERIOR FINISH SCHEDULE**  
 REFER TO COLOURED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.
1. ASPHALT SHINGLES (DARK GREY)
  2. WOOD TRIM (BROWN)
  3. DOUBLE GLAZED VINYL WINDOWS (BROWN COLOR FRAME & CLEAR GLAZING)
  4. SOLID WOOD UNIT ENTRY DOOR - W/ OPTIONAL TRANSLUCENT GLAZING SIDELITE (STAINED LIGHT WOOD COLOR)
  5. SLING DOOR WITH TEMPERED GLAZING (CLEAR)
  6. PREFINISHED ALUMINUM GUTTER & SWL (BROWN)
  7. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
  8. BRICK CLADDING (RED - DARKER)
  9. COMPOSITE CEMENT SHAKE (HARDIE SHAKE) (LIGHT BROWN)
  10. COMPOSITE CEMENT PANEL (HARDIE PANEL) (LIGHT BROWN)
  11. ALUMINUM RAILING (BROWN)
  12. ALUMINUM RAILING (BROWN)
  13. ALUMINUM RAILING (BROWN)

- GENERAL NOTES:**
1. FINISH IN FACE FEATURES SUCH AS STAIRWELL FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHUBS AND SHOWER & LETTER-TYPE HANDLES FOR VISUALLY IMPAIRED PERSONS AND DOOR HANDLES WILL BE PROVIDED IN ALL UNITS.
  2. UNIT 01 (TYPE A1) IS THE CONVERTIBLE UNIT.
  3. THE PROJECT WILL PROVIDE HEAT PUMP A/C UNIT WITH HY MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGY STAR RATED EFFICIENCY. SUSTAINABLE DESIGN FEATURES WILL ALSO BE PROVIDED THROUGHOUT THE PROJECT INCLUDING ENERGY STAR APPLIANCES AND ENERGY EFFICIENT LIGHTS.
  4. SOLAR HOT WATER READY REQUIREMENT (A) - SOLAR HOT WATER READY REQUIREMENT (B) - SOLAR HOT WATER READY REQUIREMENT (C) - POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
  5. REFER TO ACoustical REPORT DATED 02/28/2019 FROM BNL FOR ACoustical REQUIREMENT ON WALLS AND WINDOWS.
  6. REFER TO MECHANICAL HEATING AND COOLING SYSTEM AND SOURCE HEAT PUMP SYSTEM TO COMPLY WITH RELATIVE REQUIREMENTS IN BC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.
  7. RAIN AUTOMATED PERSISTENCE SYSTEM FOR BULBURE ON GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE.



1 BUILDING A SOUTH ELEVATION  
 SCALE 1/8"=1'-0"  
 A3.1



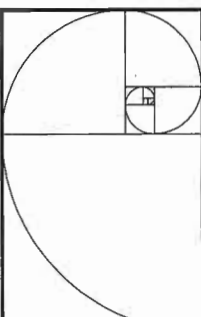
3 BUILDING A NORTH ELEVATION  
 SCALE 1/8"=1'-0"  
 A3.1

THE HIGHEST POINT OF CENTRELINE OF ROAD ABUTTING THE PROPERTY : 1.81M (5.94 FT)  
 PROPOSED LEVEL 1 INTERIOR ELEVATION (BLDG A) 2.11M (6.92 FT) - 0.3M HIGHER  
 THAN THE HIGHEST POINT OF CENTRELINE OF ROAD ABUTTING THE PROPERTY  
 AVERAGE FINISHED SITE ELEVATION: 1.75M (5.74 FT)

DP 17-792077

PLAN # 4.a

PLAN #4A

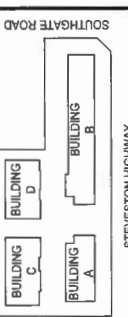


**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 ARCHITECTS INC. (AIBC 1000) 11111 122ND AVE. S.W. UNIT 100  
 RICHMOND, BC V6V 2E9  
 TEL: 604.273.7888 FAX: 604.273.7889  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and the contents in respect, and remains as of all items the property of Imperial Architecture. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Imperial Architecture. DO NOT SCALE DIMENSIONS.



STEVESTON HIGHWAY  
 KEY PLAN

DATE OF ISSUE	BY	APPROVED BY
18.11.19	J.L.	J.L.
18.06.20	J.L.	J.L.
18.06.20	J.L.	J.L.
18.06.20	J.L.	J.L.
18.06.20	J.L.	J.L.
18.11.20	J.L.	J.L.
18.11.20	J.L.	J.L.
18.11.20	J.L.	J.L.
18.11.20	J.L.	J.L.
18.11.20	J.L.	J.L.
18.11.20	J.L.	J.L.

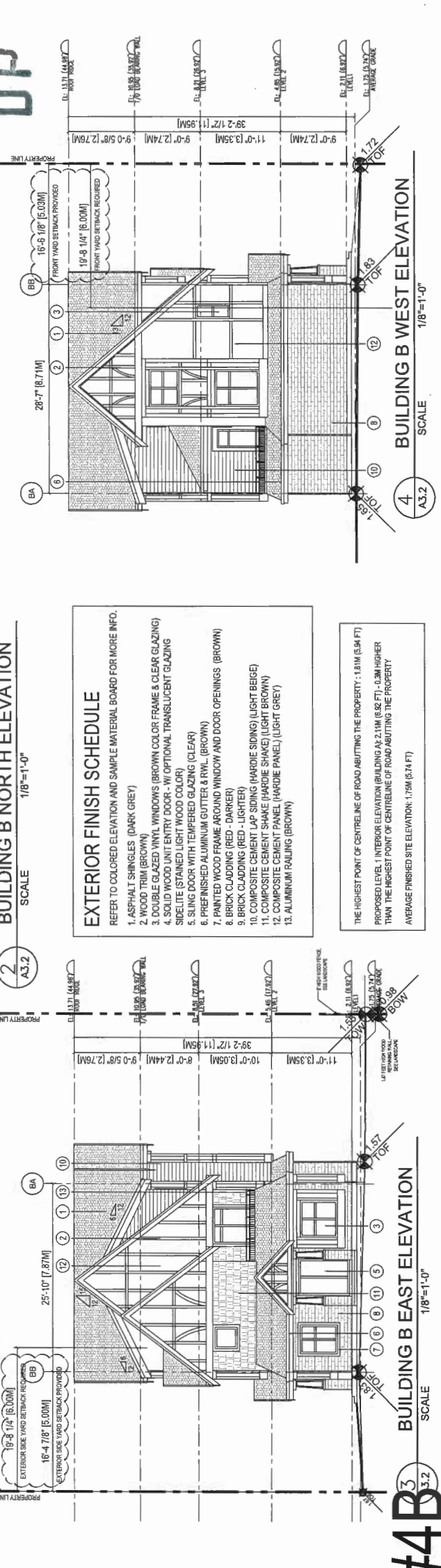
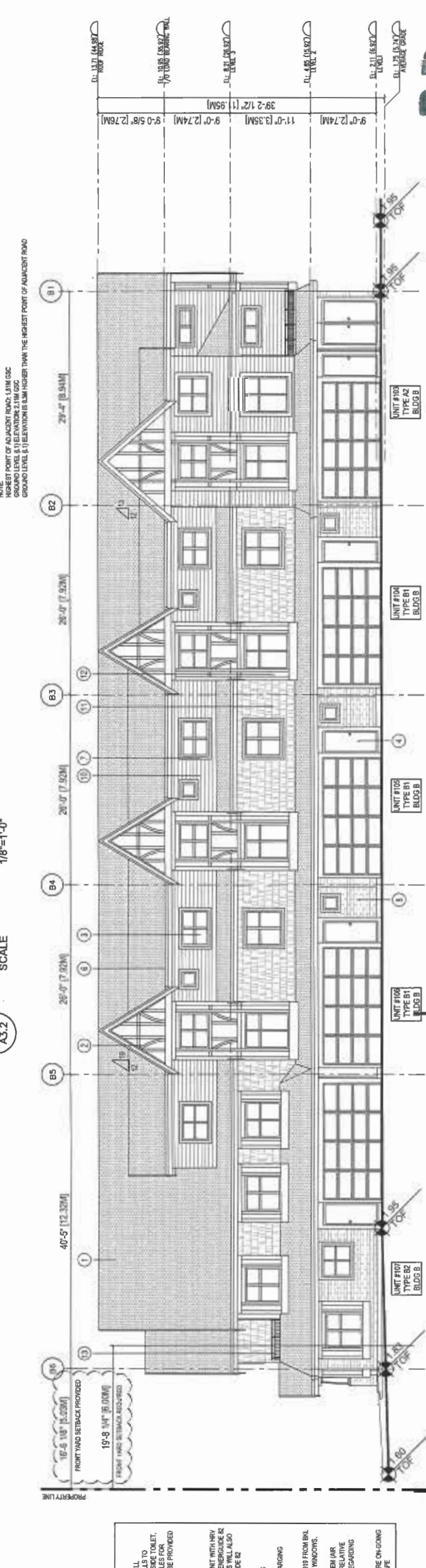
ISSUED DP  
 RESUBMISSION  
 2019-04-23

STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR

9851 99th STEVESTON HWY. Y &  
 10921 SOUTHGATE ROAD, RICHMOND, BC

BLDG B ELEVATIONS

Project No. #8127  
 Drawing No. A3.2  
 Scale 1/8"=1'-0"  
 Revision

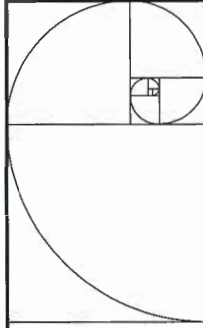


NOTE:  
 THE HIGHEST POINT OF ADJACENT ROAD, 1.5M CGC  
 GROUND LEVEL, IS 11.1M CGC.  
 GROUND LEVEL, IS 11.1M CGC.  
 GROUND LEVEL, IS 11.1M CGC.

EXTERIOR FINISH SCHEDULE  
 REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

1. ASPHALT SHINGLES (DARK GREY)
2. WOOD TRIM (BROWN)
3. DOUBLE GLAZED VINYL WINDOWS (BROWN COLOR FRAME & CLEAR GLAZING)
4. SOLID WOOD UNIT ENTRY DOOR - W/ OPTIONAL TRANSLUCENT GLAZING SIDELITE (STAINED LIGHT WOOD COLOR)
5. SLING DOOR WITH TEMPERED GLAZING (CLEAR)
6. PREFINISHED ALUMINUM GUTTER & PVL. (BROWN)
7. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
8. BRICK CLADDING (RED - DARKER)
9. COMPOSITE CEMENT LAP SIDING (HARDIE SIDING) (LIGHT BEIGE)
10. COMPOSITE CEMENT SHAKE (HARDIE SHAKE) (LIGHT BROWN)
11. COMPOSITE CEMENT PANEL (HARDIE PANEL) (LIGHT GREY)
12. ALUMINUM FALLING (BROWN)

GENERAL NOTES:  
 1. UNITS IN PLACE FEATURES SUCH AS STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM BESIDE TOILET, BATH AND SHOWER, AND UTENSILTYPE WINKLE FOR SINKS AND STOVE TOPS SHALL BE PROVIDED IN ALL UNITS.  
 2. UNIT 101 (TYPE A) IS THE CONVENTIBLE UNIT.  
 3. THE PROJECT WILL PROVIDE HEAT PUMP A/C UNIT WITH HWY MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGY EFFICIENCY. THE PROJECT WILL ALSO PROVIDE THE PROJECT WITH ENERGY EFFICIENT REQUIREMENTS:  
 (A) ENERGY STAR RATED REFRIGERATOR  
 (B) ENERGY STAR RATED WASHING MACHINE AND DRYER  
 (C) LOW E DOUBLE GLAZING WINDOWS  
 (D) POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS  
 4. REFER TO ACQUISITION REPORT DATED 02/20/19 FROM BML FOR ACQUISITION REQUIREMENT ON WALLS AND WINDOWS.  
 5. THE MECHANICAL HEATING AND COOLING SYSTEM AIR SOURCE HEAT PUMP SYSTEM TO COMPLY WITH RELATIVE REQUIREMENTS IN B.C.G.C. 2018 AND ASHRAE 90.1 REGARDING THE STANDARDS OF THERMAL COMFORT.  
 6. AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE

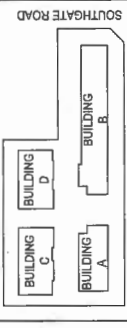


**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 ADDRESS: THE RIVERCHURCH, MANASSAS, VA, 20108  
 PHONE: 703-792-0777  
 EMAIL: INFO@IMPERIALARCH.COM  
 WEBSITE: WWW.IMPERIALARCH.COM

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and the contents hereof, including all data, shall remain the property of Imperial Architecture, and shall not be used, modified, or reproduced without the express written consent of Imperial Architecture.

Dimensions  
 All dimensions are in feet and inches, unless otherwise noted. All dimensions are to the center unless otherwise noted. All dimensions are to the center unless otherwise noted.



STEVESTON HIGHWAY

NO.	DATE	DESCRIPTION	BY	APP.
1	11.11.20	ISSUED FOR PERMITS	AL	KL
2	11.11.20	REVISIONS FOR PERMITS	AL	KL
3	11.11.20	REVISIONS FOR PERMITS	AL	KL
4	11.11.20	REVISIONS FOR PERMITS	AL	KL
5	11.11.20	REVISIONS FOR PERMITS	AL	KL
6	11.11.20	REVISIONS FOR PERMITS	AL	KL
7	11.11.20	REVISIONS FOR PERMITS	AL	KL
8	11.11.20	REVISIONS FOR PERMITS	AL	KL
9	11.11.20	REVISIONS FOR PERMITS	AL	KL
10	11.11.20	REVISIONS FOR PERMITS	AL	KL
11	11.11.20	REVISIONS FOR PERMITS	AL	KL
12	11.11.20	REVISIONS FOR PERMITS	AL	KL
13	11.11.20	REVISIONS FOR PERMITS	AL	KL
14	11.11.20	REVISIONS FOR PERMITS	AL	KL
15	11.11.20	REVISIONS FOR PERMITS	AL	KL
16	11.11.20	REVISIONS FOR PERMITS	AL	KL
17	11.11.20	REVISIONS FOR PERMITS	AL	KL
18	11.11.20	REVISIONS FOR PERMITS	AL	KL
19	11.11.20	REVISIONS FOR PERMITS	AL	KL
20	11.11.20	REVISIONS FOR PERMITS	AL	KL

7-792077

PLAN # 4.C

ISSUED DP  
 RESUBMISSION  
 2019-04-23

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR

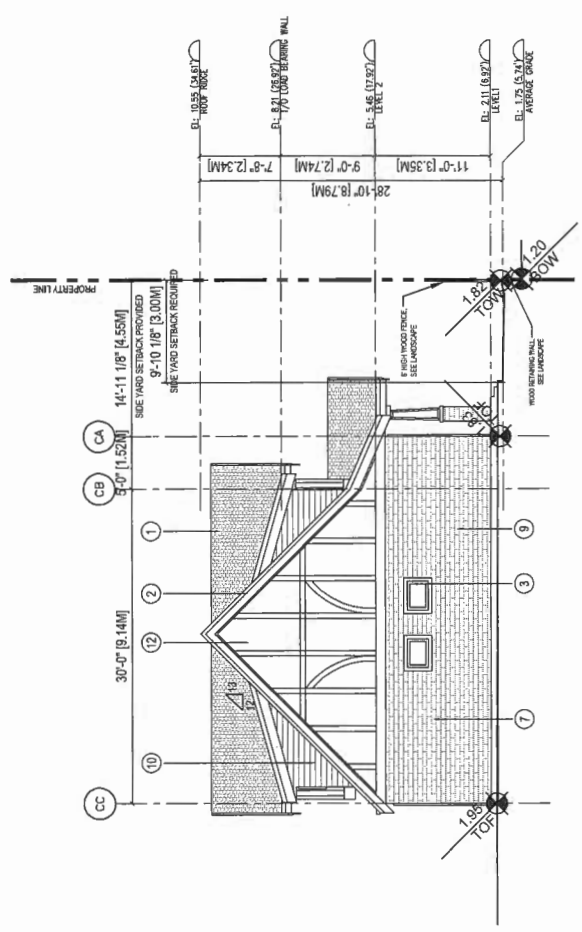


9851 9851 STEVESTON HWY &  
 10931 SOUTHGATE ROAD, RICHMOND, BC

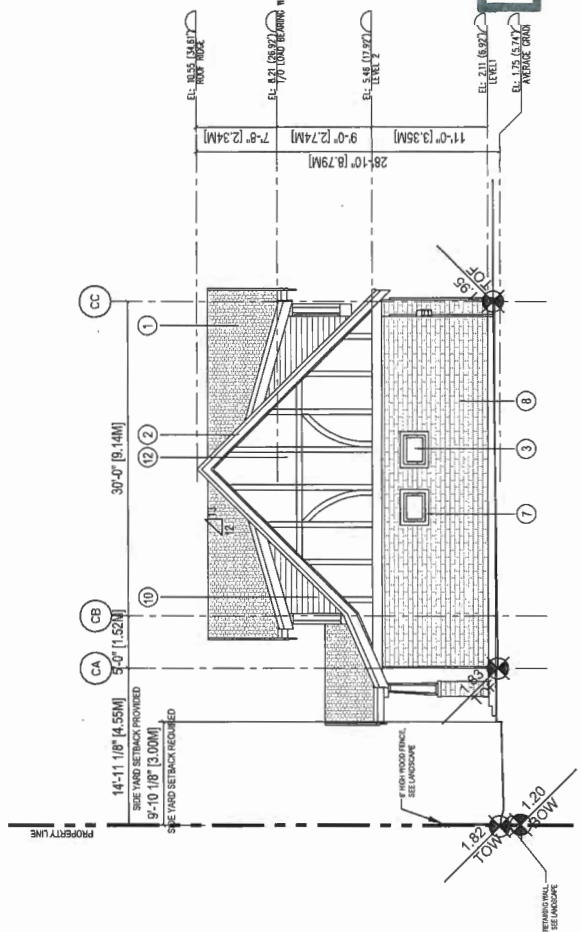
BLDG C ELEVATIONS

Project No. Scale 1/8"=1'-0"  
 #8127  
 Drawing No. Sheet

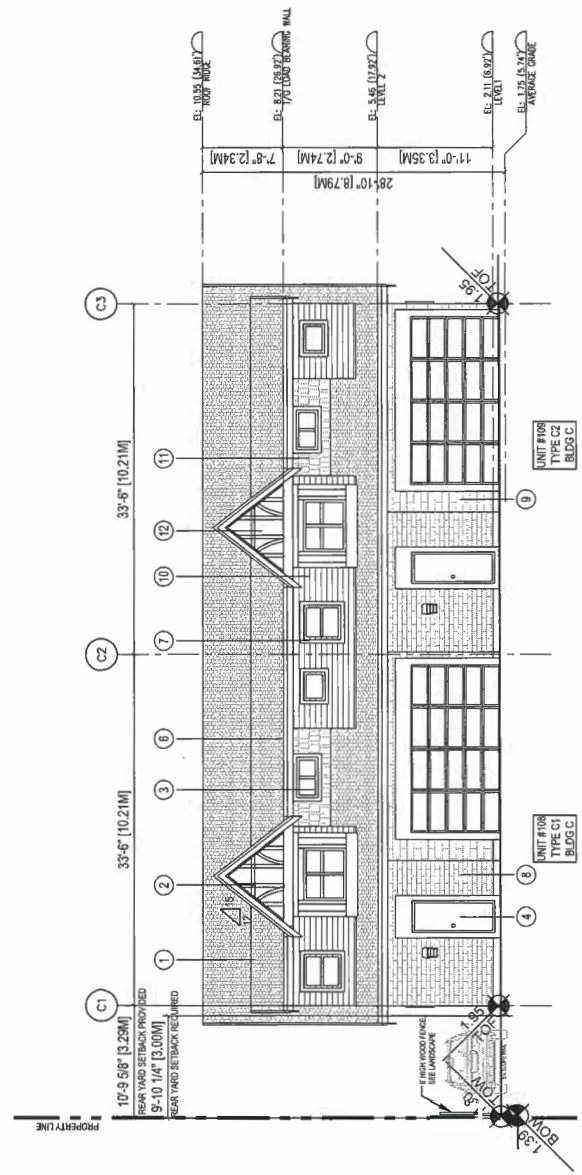
A 3.3 of



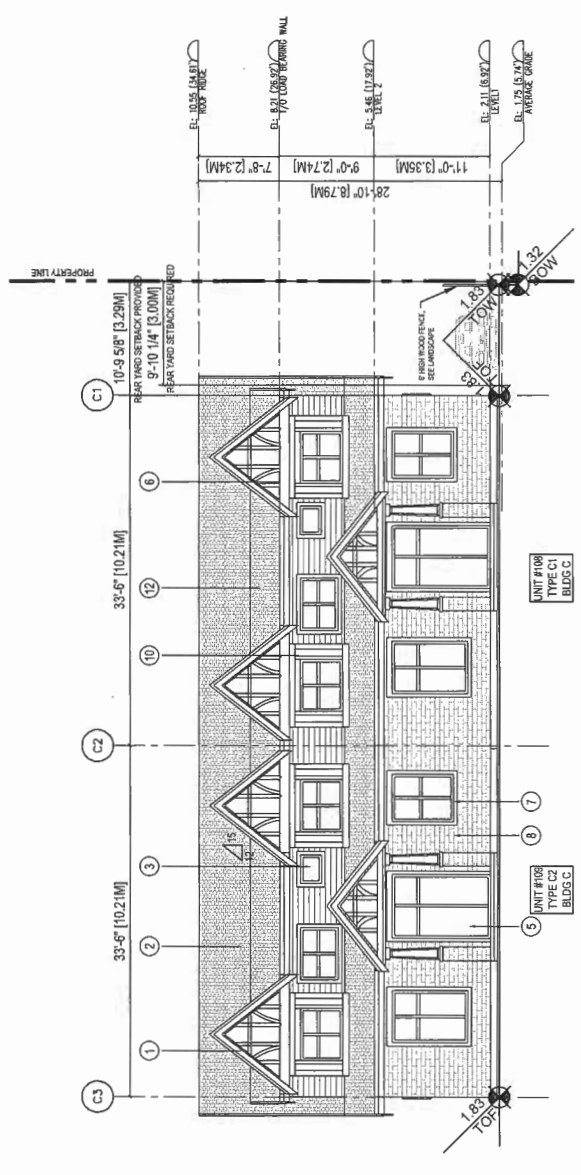
2 BUILDING C EAST ELEVATION  
 SCALE 1/8"=1'-0"



4 BUILDING C WEST ELEVATION  
 SCALE 1/8"=1'-0"



1 BUILDING C SOUTH ELEVATION  
 SCALE 1/8"=1'-0"



3 BUILDING C NORTH ELEVATION  
 SCALE 1/8"=1'-0"

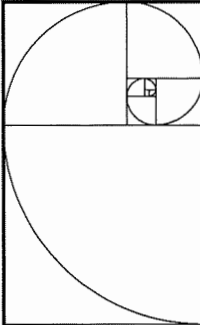
EXTERIOR FINISH SCHEDULE

- REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.
1. ASPHALT SHINGLES (DARK GREY)
  2. WOOD TRIM (BROWN)
  3. DOUBLE GLAZED VINYL WINDOWS (BROWN COLOR FRAME & CLEAR GLAZING)
  4. SOLID WOOD UNIT ENTRY DOOR - W/ OPTIONAL TRANSLUCENT GLAZING
  5. SIDELITE (STAINED LIGHT WOOD COLOR)
  6. SLIDING DOOR WITH TEMPERED GLAZING (CLEAR)
  7. PREFINISHED ALUMINUM GUTTER & RAIL (BROWN)
  8. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
  9. BRICK CLADDING (RED - DARKER)
  10. COMPOSITE CEMENT LAP SIDING (HARDIE SIDING) (LIGHT BEIGE)
  11. COMPOSITE CEMENT SHAKE (HARDIE SHAKE) (LIGHT BROWN)
  12. COMPOSITE CEMENT PANEL (HARDIE PANEL) (LIGHT GREY)
  13. ALUMINUM RAILING (BROWN)

THE HIGHEST POINT OF CENTRELINE OF ROAD ABUTTING THE PROPERTY: 1.81M (5.94 FT)  
 PROPOSED LEVEL: INTERIOR ELEVATION (BUILDING): 2.11M (6.92 FT) - 0.3M HIGHER  
 THAN THE HIGHEST POINT OF CENTRELINE OF ROAD ABUTTING THE PROPERTY  
 AVERAGE FINISHED SITE ELEVATION: 1.78M (5.84 FT)

GENERAL NOTES:  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA (NBC) AND ALL APPLICABLE REGULATIONS.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE OF CANADA (NEC) AND ALL APPLICABLE REGULATIONS.  
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL MECHANICAL CODE OF CANADA (NMC) AND ALL APPLICABLE REGULATIONS.  
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL PLUMBING AND HEATING CODE OF CANADA (NPHC) AND ALL APPLICABLE REGULATIONS.  
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND ALL APPLICABLE REGULATIONS.  
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL SAFETY COUNCIL (NSC) AND ALL APPLICABLE REGULATIONS.  
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL OCCUPATIONAL SAFETY AND HEALTH (OSHA) AND ALL APPLICABLE REGULATIONS.  
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ENVIRONMENTAL PROTECTION AGENCY (EPA) AND ALL APPLICABLE REGULATIONS.  
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL LABOR RELATIONS BOARD (NLRB) AND ALL APPLICABLE REGULATIONS.  
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL TRANSPORTATION SAFETY BOARD (NTSB) AND ALL APPLICABLE REGULATIONS.  
 11. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL AERONAUTICS AND SPACE ADMINISTRATION (NASA) AND ALL APPLICABLE REGULATIONS.  
 12. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL DEFENSE SCIENCE AND ENGINEERING (NDSE) AND ALL APPLICABLE REGULATIONS.  
 13. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL INTELLIGENCE SURVEILLANCE CENTER (NSA) AND ALL APPLICABLE REGULATIONS.  
 14. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ARCHIVE AND RECORDS ADMINISTRATION (NARA) AND ALL APPLICABLE REGULATIONS.  
 15. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL LIBRARY OF MEDICINE (NLM) AND ALL APPLICABLE REGULATIONS.  
 16. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ARCHIVE AND RECORDS ADMINISTRATION (NARA) AND ALL APPLICABLE REGULATIONS.  
 17. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL LIBRARY OF MEDICINE (NLM) AND ALL APPLICABLE REGULATIONS.  
 18. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ARCHIVE AND RECORDS ADMINISTRATION (NARA) AND ALL APPLICABLE REGULATIONS.  
 19. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL LIBRARY OF MEDICINE (NLM) AND ALL APPLICABLE REGULATIONS.  
 20. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ARCHIVE AND RECORDS ADMINISTRATION (NARA) AND ALL APPLICABLE REGULATIONS.

PLAN #4C

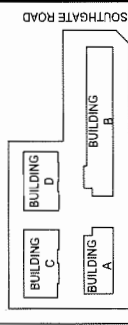


**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 ADDRESS: 1100 BROADVIEW AVENUE, RICHMOND, BC, V6X 1S5  
 TEL: 604-278-1111 FAX: 604-278-1112  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

Copyright Reserved  
 No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions, and if they do not comply with the approved drawings, the Contractor shall be responsible for any errors and/or omissions and shall be held liable therefor.



REVISION	DATE	BY	APP'D	REASON
1	10/11/18	J.L.	J.L.	ISSUED FOR PERMIT
2	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
3	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
4	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
5	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
6	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
7	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
8	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
9	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
10	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
11	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
12	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
13	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
14	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
15	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
16	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
17	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
18	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
19	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT
20	09/10/18	J.L.	J.L.	ISSUED FOR PERMIT

17-792077

ISSUED DP  
 RESUBMISSION  
 2019-04-23

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR

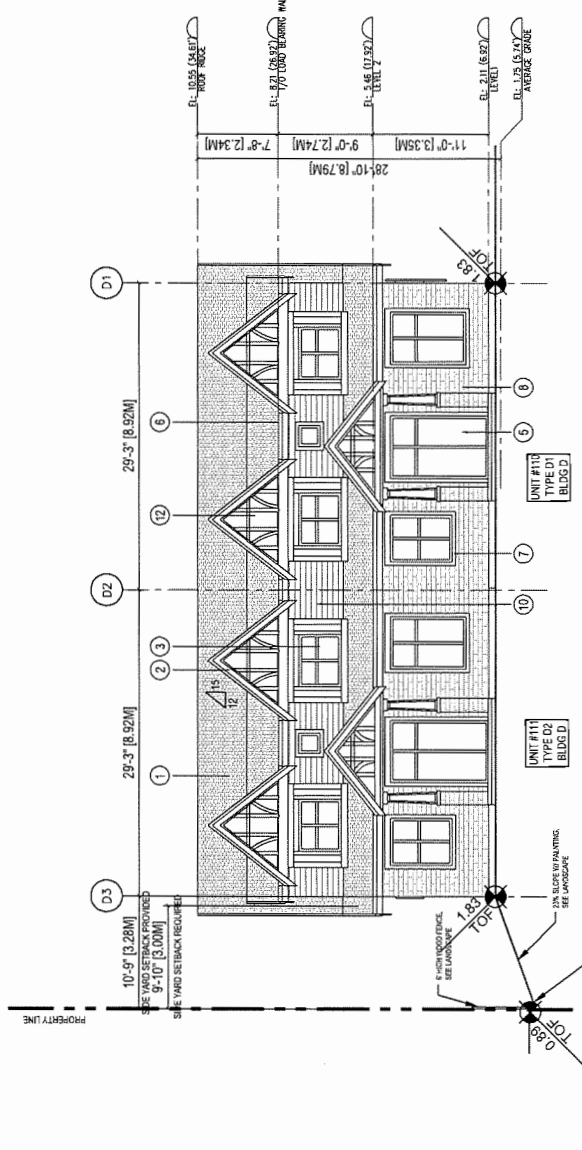
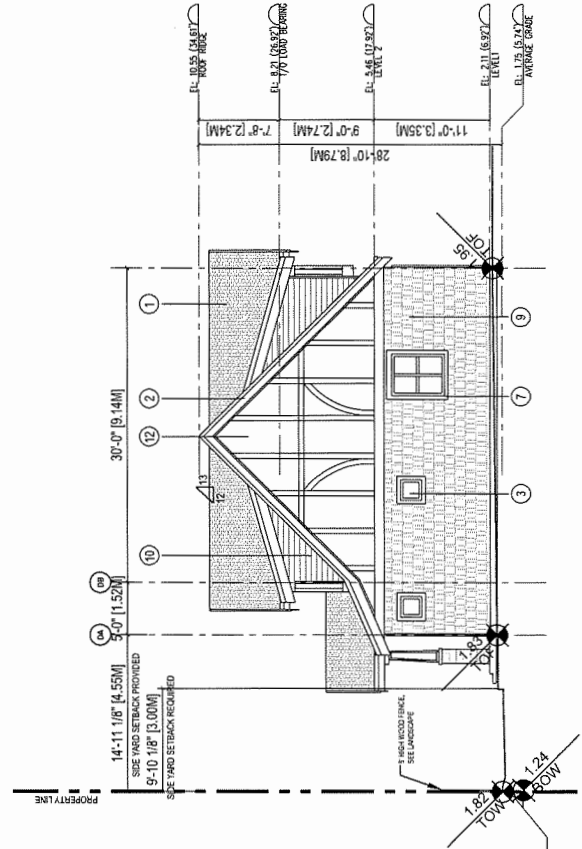
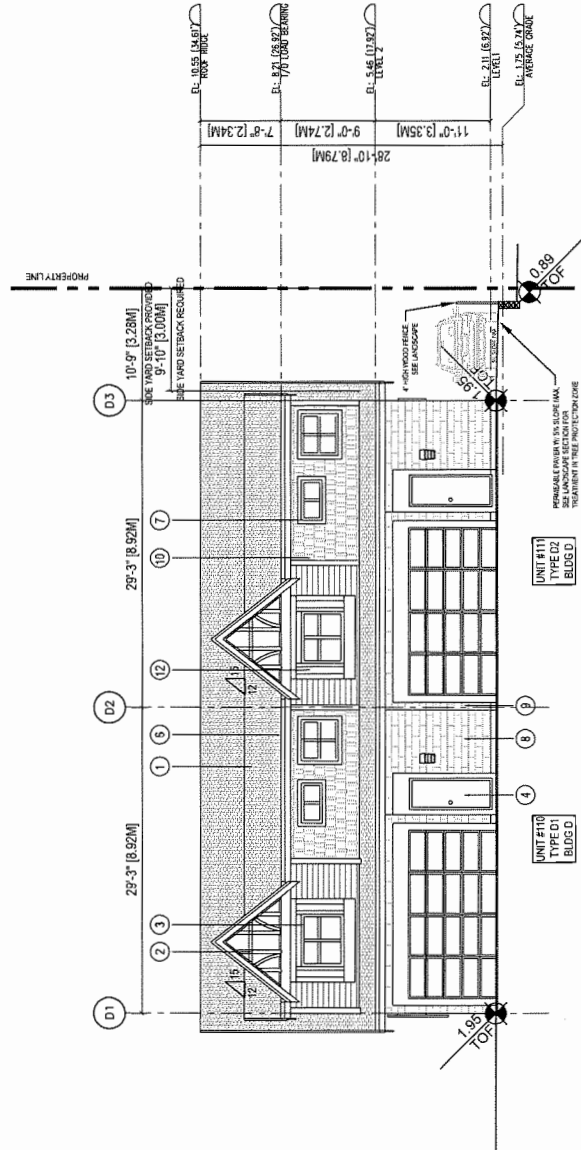
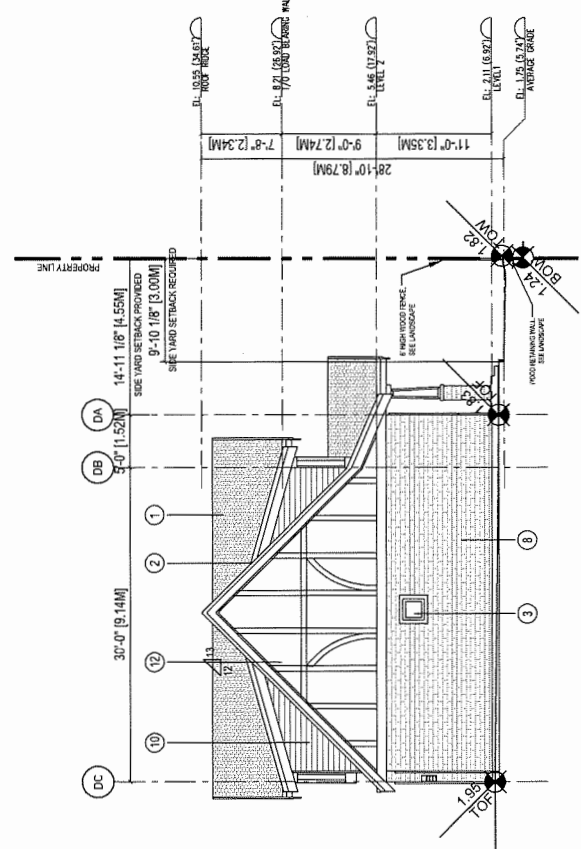
11  
 KIMBIE  
 9851 9891 STEVESTON HWY &  
 110931 SOUTHGATE ROAD, RICHMOND, BC

BLDG D ELEVATIONS

Project No.  
**#8127**  
 Drawing No.

Scale  
 1/8"=1'-0"  
 Sheet

Revision  
**A3.4**

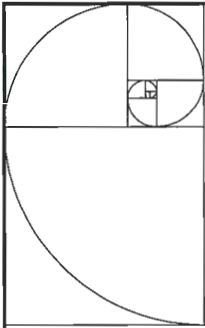


- EXTERIOR FINISH SCHEDULE**
- REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.
1. ASPHALT SHINGLES (DARK GREY)
  2. WOOD TRIM (BROWN)
  3. DOUBLE GLAZED VINYL WINDOWS (BROWN COLOR FRAME & CLEAR GLAZING)
  4. SOLID WOOD UNIT ENTRY DOOR - W/ OPTIONAL TRANSLUCENT GLAZING SIDELITE (STAINED LIGHT WOOD COLOR)
  5. SLING DOOR WITH TEMPERED GLAZING (CLEAR)
  6. PREFINISHED ALUMINUM GUTTER & RVL (BROWN)
  7. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
  8. BRICK CLADDING (RED - DARKER)
  9. BRICK CLADDING (RED - LIGHTER)
  10. COMPOSITE CEMENT LAP SIDING (HARDIE SIDING) (LIGHT BEIGE)
  11. COMPOSITE CEMENT SHAKE (HARDIE SHAKE) (LIGHT BROWN)
  12. COMPOSITE CEMENT PANEL (HARDIE PANEL) (LIGHT GREY)
  13. ALUMINUM RAILING (BROWN)

THE HIGHEST POINT OF CENTRELINE OF ROAD ABUTTING THE PROPERTY: 1.11M (5.54 FT)  
 PROPOSED LEVEL 1 INTERIOR ELEVATION (BUILDING A): 3.11M (10.22 FT), 0.3M HIGHER  
 THAN THE HIGHEST POINT OF CENTRELINE OF ROAD ABUTTING THE PROPERTY  
 AVERAGE FINISHED SITE ELEVATION: 1.13M (5.74 FT)

- GENERAL NOTES:**
1. ADDS IN PLACE FEATURES SUCH AS STAIRWELL HANDRAILS, SOLID BLOCORS IN WASHROOM WALLS TO FACILITATE FUTURE GROUT BAR INSTALLATION BESIDE TOILET, PLUMBING FIXTURES AND DOOR HANDLES WILL BE PROVIDED IN ALL UNITS.
  2. UNIT #10 (TYPE A1) IS THE CONVERTIBLE UNIT.
  3. THE PROJECT WILL PROVIDE HEAT PUMP AC UNIT WITH HWY 101 AIR CONDITIONING, FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGYUSE 82: (A) SOLAR WATER READY REFRIGERANT (B) ENERGY STAR APPLIANCES AND LIGHT BULBS (C) LOW E DOUBLE GLAZING WINDOWS (D) ENERGY STAR GUTTER AND RVL (E) ELECTRICAL CABS
  4. REFER TO ACoustICAL REPORT DATED 02/28/2018 FROM BNL FOR ACoustICAL REQUIREMENT OF WALLS AND FLOORS.
  5. THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BC20-2019 AND ASHRAE 90.1 REGARDING THE STACKING OF THERMAL COMFORT.
  6. AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE (A) LONG MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE.

**PLAN #4D**



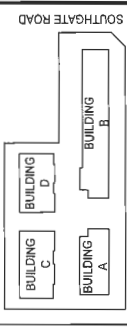
**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 ADDRESS: 2700 PRINCE STREET, VANCOUVER, BC, V6P 4G5  
 TEL: 604.271.1111  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

**Copyright Reserved**

The Copyright is also reserved and no portion to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture. All rights reserved.

Dimensions  
 The Contractor shall verify all dimensions and measurements on construction. Dimensions are shown in Imperial units. Dimensions in Metric units are shown in parentheses.



STEVESTON HIGHWAY  
 KEY PLAN

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT SUBMISSION	18.11.20	JK
2	REVISED FOR PERMIT SUBMISSION	18.11.20	JK
3	REVISED FOR PERMIT SUBMISSION	17.11.20	JK
4	ISSUED FOR PERMIT SUBMISSION	17.05.20	JK
5	ISSUED FOR PERMIT SUBMISSION	18.12.20	JK
6	ISSUED FOR PERMIT SUBMISSION	18.12.20	JK
7	ISSUED FOR PERMIT SUBMISSION	18.12.20	JK
8	ISSUED FOR PERMIT SUBMISSION	18.12.20	JK
9	ISSUED FOR PERMIT SUBMISSION	18.12.20	JK
10	ISSUED FOR PERMIT SUBMISSION	18.12.20	JK

**DP**

**PLAN # 4.e**

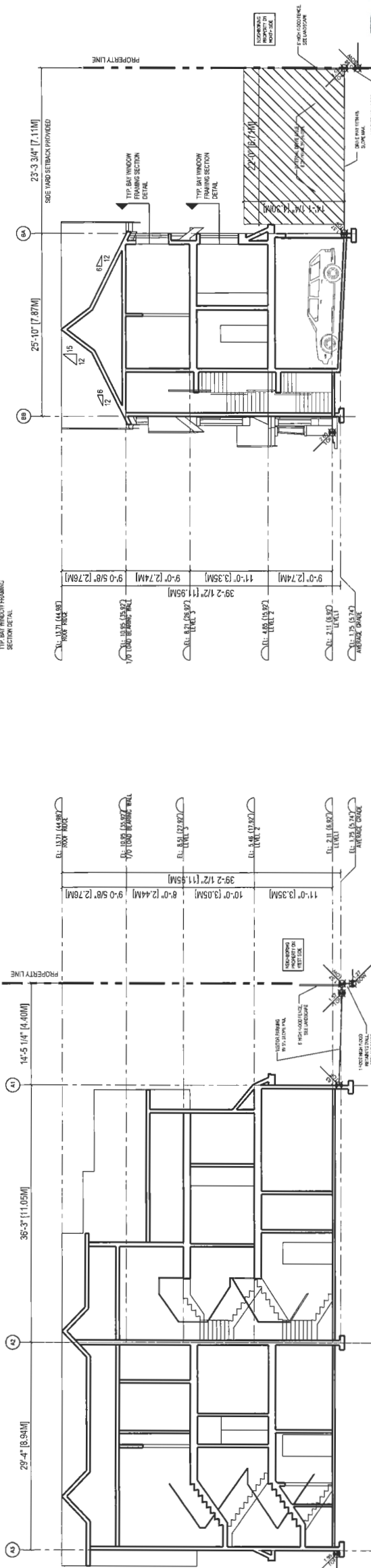
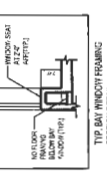
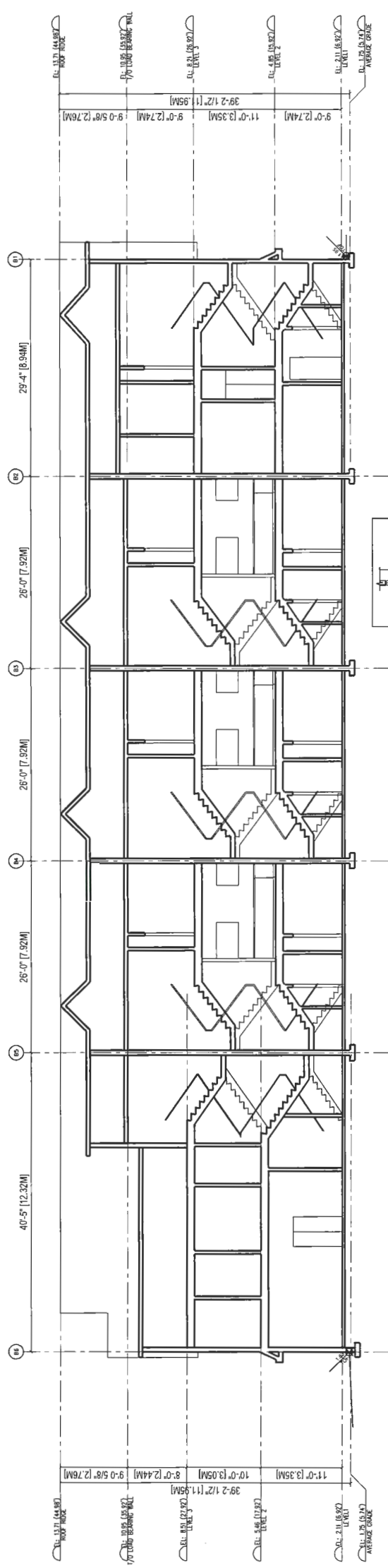
ISSUED DP  
 RESUBMISSION  
 2019-04-23

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR  
 9851 5690 STEVESTON HWY &  
 10921 SOUTHGATE ROAD, RICHMOND, BC

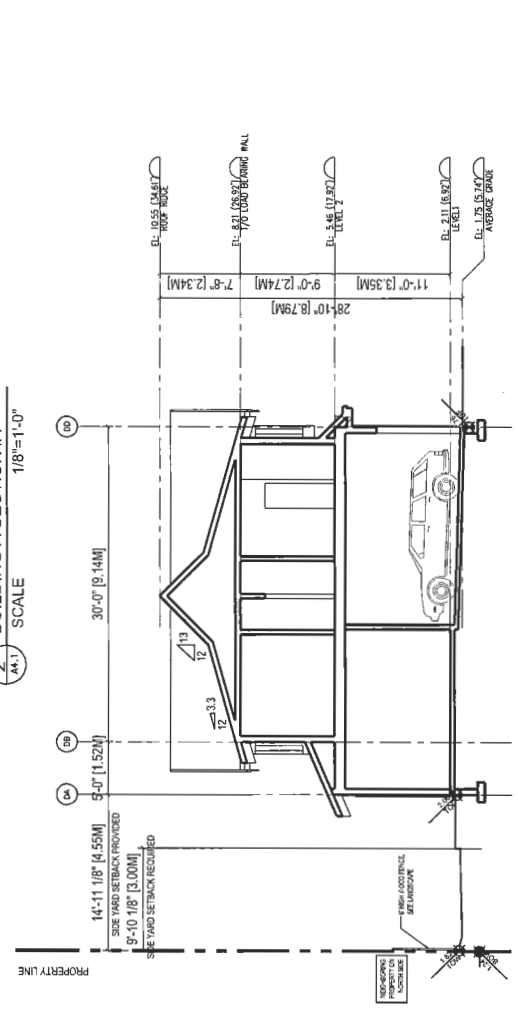
Scale  
 1/8"=1'-0"

Project No.  
 #8127

Sheet  
 A4.1 of 4

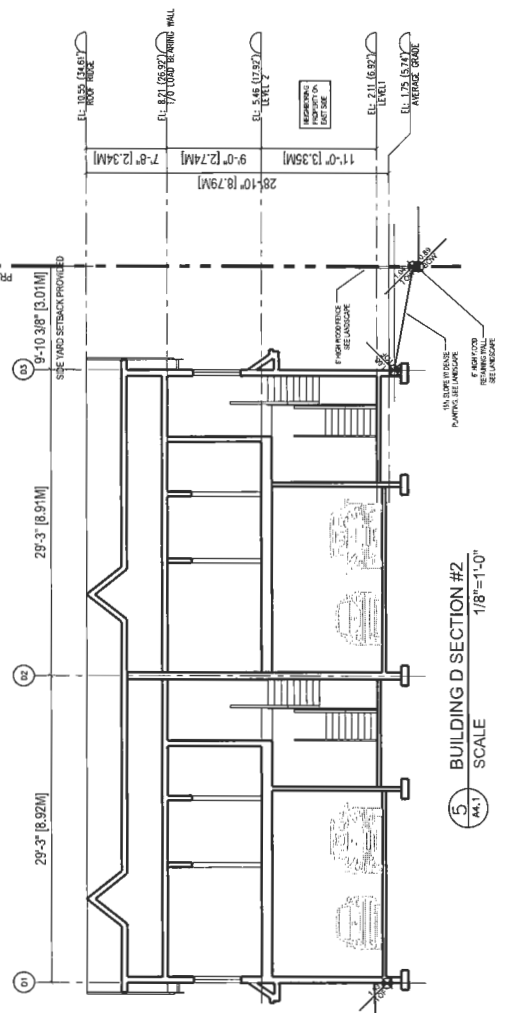


**2** BUILDING A SECTION #1  
 SCALE 1/8"=1'-0"



GENERAL NOTES:  
 1. AGING-IN-PLACE FEATURES (AS LISTED IN THE OCP) ARE REQUIRED TO BE INCORPORATED INTO ALL UNITS.  
 2. UNIT 101 IS THE DESIGNATED CONVERTIBLE UNIT.

**5** BUILDING D SECTION #2  
 SCALE 1/8"=1'-0"





9851, 9891 STEVESTEN HIGHWAY AND 10931 SOUTHGATE ROAD, RICHMOND, BC

- 1 ASPHALT SHINGLES (DARK GREY)
- 2 WOOD TRIM (BROWN)
- 3 DOUBLE GLAZED VINYL WINDOWS (BROWN COLOR FRAME & CLEAR GLAZING)
- 4 SOLID WOOD UNIT ENTRY DOOR - W/ OPTIONAL TRANSLUCENT GLAZING (STAINED LIGHT WOOD COLOR)
- 5 SLING DOOR WITH TEMPERED GLAZING (CLEAR)
- 6 PREFINISHED ALUMINUM GUTTER & RWL (BROWN)
- 7 PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
- 8 BRICK CLADDING (RED - DARKER)
- 9 BRICK CLADDING (RED - LIGHTER)
- 10 COMPOSITE CEMENT LAP SIDING (HARDIE SIDING) (LIGHT BEIGE)
- 11 COMPOSITE CEMENT SHAKE (HARDIE SHAKE) (LIGHT BROWN)
- 12 COMPOSITE CEMENT PANEL (HARDIE PANEL) (LIGHT GREY)
- 13 ALUMINUM RAILING (BROWN)

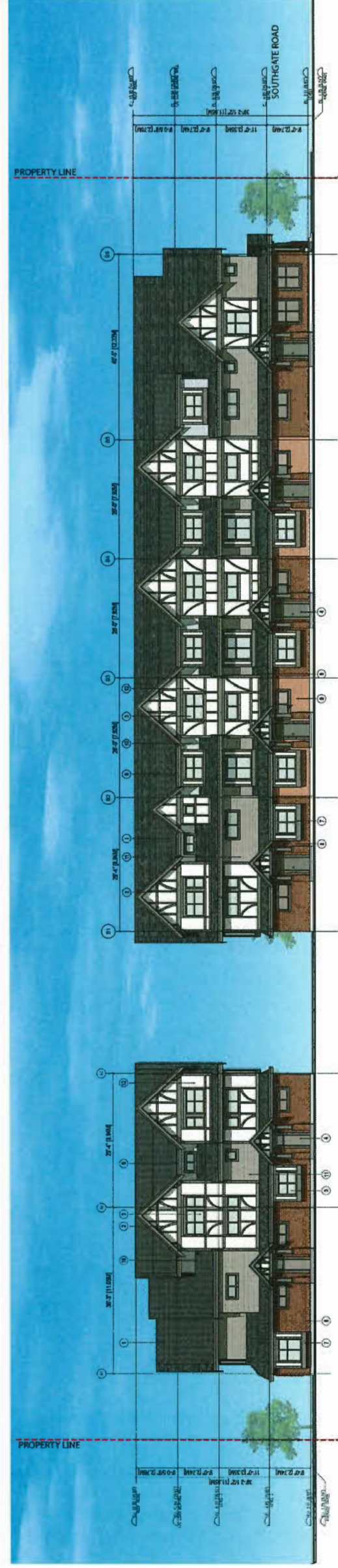
EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

- 1. ASPHALT SHINGLES (DARK GREY)
- 2. WOOD TRIM (BROWN)
- 3. DOUBLE GLAZED VINYL WINDOWS (BROWN COLOR FRAME & CLEAR GLAZING)
- 4. SOLID WOOD UNIT ENTRY DOOR - W/ OPTIONAL TRANSLUCENT GLAZING (STAINED LIGHT WOOD COLOR)
- 5. SLING DOOR WITH TEMPERED GLAZING (CLEAR)
- 6. PREFINISHED ALUMINUM GUTTER & RWL (BROWN)
- 7. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
- 8. BRICK CLADDING (RED - DARKER)
- 9. BRICK CLADDING (RED - LIGHTER)
- 10. COMPOSITE CEMENT LAP SIDING (HARDIE SIDING) (LIGHT BEIGE)
- 11. COMPOSITE CEMENT SHAKE (HARDIE SHAKE) (LIGHT BROWN)
- 12. COMPOSITE CEMENT PANEL (HARDIE PANEL) (LIGHT GREY)
- 13. ALUMINUM RAILING (BROWN)



SOUTHGATE ROAD ELEVATION



STEVESTEN HIGHWAY ELEVATION

PLAN # 4.f

ISSUED DP  
RESUBMISSION  
2019-04-23

Client/Project  
STEVESTON TOWNHOUSE  
DEVELOPMENT (DP 17-792077) FOR

10931 SOUTHGATE ROAD, RICHMOND, BC

COLOR SAMPLE BOARD

Project No. #8127  
Scale N.T.S.  
Drawing No. Sheet  
Revision

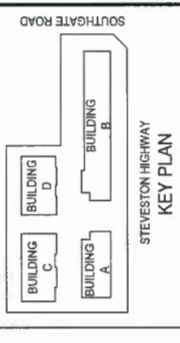
A0.7 of

**IMPERIAL ARCHITECTURE**  
HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
ADDRESS: 100 HANCOCK STREET, VANCOUVER, BC, V6P 4V3  
TEL: 604.273.4444 FAX: 604.273.4444  
WWW.IMPERIALARCHITECTURE.COM

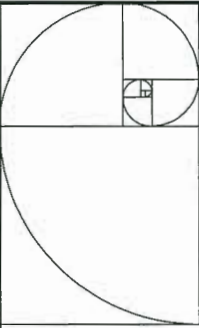
ARCHITECTURE  
INTERIOR  
DESIGN  
PLANNING

Copyright Reserved  
The Copyright in this drawing and the content is reserved, and remains in full force for the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced without the express written consent of Imperial Architecture.

Dimensions  
The Contractor shall verify all dimensions, and immediately report any errors and/or mistakes to Imperial Architecture. DO NOT SCALE DRAWINGS.



ISSUED FOR REVISION	J.Z.	K.L.	15.11.17
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.09.18</td> </td>	K.L. <td>15.09.18</td>	15.09.18
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.18</td> </td>	K.L. <td>15.11.18</td>	15.11.18
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.12.18</td> </td>	K.L. <td>15.12.18</td>	15.12.18
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.19</td> </td>	K.L. <td>15.11.19</td>	15.11.19
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.20</td> </td>	K.L. <td>15.11.20</td>	15.11.20
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.21</td> </td>	K.L. <td>15.11.21</td>	15.11.21
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.22</td> </td>	K.L. <td>15.11.22</td>	15.11.22
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.23</td> </td>	K.L. <td>15.11.23</td>	15.11.23
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.24</td> </td>	K.L. <td>15.11.24</td>	15.11.24
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.25</td> </td>	K.L. <td>15.11.25</td>	15.11.25
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.26</td> </td>	K.L. <td>15.11.26</td>	15.11.26
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.27</td> </td>	K.L. <td>15.11.27</td>	15.11.27
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.28</td> </td>	K.L. <td>15.11.28</td>	15.11.28
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.29</td> </td>	K.L. <td>15.11.29</td>	15.11.29
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.30</td> </td>	K.L. <td>15.11.30</td>	15.11.30
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.31</td> </td>	K.L. <td>15.11.31</td>	15.11.31
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.32</td> </td>	K.L. <td>15.11.32</td>	15.11.32
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.33</td> </td>	K.L. <td>15.11.33</td>	15.11.33
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.34</td> </td>	K.L. <td>15.11.34</td>	15.11.34
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.35</td> </td>	K.L. <td>15.11.35</td>	15.11.35
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.36</td> </td>	K.L. <td>15.11.36</td>	15.11.36
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.37</td> </td>	K.L. <td>15.11.37</td>	15.11.37
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.38</td> </td>	K.L. <td>15.11.38</td>	15.11.38
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.39</td> </td>	K.L. <td>15.11.39</td>	15.11.39
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.40</td> </td>	K.L. <td>15.11.40</td>	15.11.40
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.41</td> </td>	K.L. <td>15.11.41</td>	15.11.41
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.42</td> </td>	K.L. <td>15.11.42</td>	15.11.42
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.43</td> </td>	K.L. <td>15.11.43</td>	15.11.43
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.44</td> </td>	K.L. <td>15.11.44</td>	15.11.44
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.45</td> </td>	K.L. <td>15.11.45</td>	15.11.45
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.46</td> </td>	K.L. <td>15.11.46</td>	15.11.46
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.47</td> </td>	K.L. <td>15.11.47</td>	15.11.47
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.48</td> </td>	K.L. <td>15.11.48</td>	15.11.48
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.49</td> </td>	K.L. <td>15.11.49</td>	15.11.49
ISSUED FOR THE REVISION	J.Z. <td>K.L. <td>15.11.50</td> </td>	K.L. <td>15.11.50</td>	15.11.50

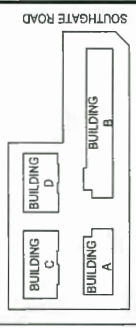


**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 ADDRESS: 10931 STEVESTON HWY & SOUTHGATE ROAD, RICHMOND, BC  
 TEL: 604-273-8888 FAX: 604-273-8889

ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved, and remains in all forms the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced without the express written consent of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions, and immediately report any errors and/or variations to Imperial Architecture. DO NOT SCALE DRAWINGS.



STEVESTON HIGHWAY KEY PLAN

REVISION	DATE	BY	APP'D
ISSUED FOR RE-SUBMISSION	18.11.19	J.E.	
REVISED FOR THE SUBMISSION	18.08.18	J.E.	
ISSUED FOR DP SUBMISSION	17.11.17	J.E.	
REVISED FOR THE SUBMISSION	17.07.17	J.E.	
ISSUED FOR RE-SUBMISSION	16.03.17	J.E.	
REVISED FOR THE SUBMISSION	15.11.17	J.E.	
ISSUED FOR RE-SUBMISSION	15.11.17	J.E.	
ISSUED	15.11.17	J.E.	
ISSUED	15.11.17	J.E.	

ISSUED DP  
 RESUBMISSION  
 2019-04-23

Client/Project: STEVESTON TOWNHOUSE DEVELOPMENT (DP 17-792077) FOR  
 985.1891 STEVESTON HWY & 10931 SOUTHGATE ROAD, RICHMOND, BC

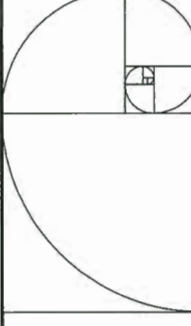
Color Rendering  
 BIRD-EYE VIEW

Project No. #8127  
 Drawing No. N.T.S.  
 Scale: N.T.S.  
 Sheet: Revision

A0.1 of



DP 17-792077  
 REFERENCE PLAN

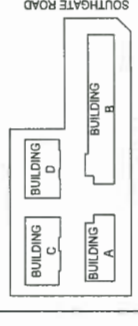


**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 10800 THE BRUNNEN FARM, VANCOUVER, BC V2P 1K1  
 TEL: 604.273.4444 FAX: 604.273.4445  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing remains the property of Imperial Architecture. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions, and immediately report any errors after receiving the approved Architecture. DO NOT SCALE DRAWINGS.



REVISION	DATE	BY	APP'D.
1	10.11.18	J.L.	J.L.
2	10.11.18	J.L.	J.L.
3	11.11.18	J.L.	J.L.
4	11.11.18	J.L.	J.L.
5	17.05.19	J.L.	J.L.
6	18.12.19	J.L.	J.L.
7	18.12.19	J.L.	J.L.
8	18.12.19	J.L.	J.L.
9	18.12.19	J.L.	J.L.
10	18.12.19	J.L.	J.L.
11	18.12.19	J.L.	J.L.
12	18.12.19	J.L.	J.L.
13	18.12.19	J.L.	J.L.
14	18.12.19	J.L.	J.L.
15	18.12.19	J.L.	J.L.
16	18.12.19	J.L.	J.L.
17	18.12.19	J.L.	J.L.
18	18.12.19	J.L.	J.L.
19	18.12.19	J.L.	J.L.
20	18.12.19	J.L.	J.L.
21	18.12.19	J.L.	J.L.
22	18.12.19	J.L.	J.L.
23	18.12.19	J.L.	J.L.
24	18.12.19	J.L.	J.L.
25	18.12.19	J.L.	J.L.
26	18.12.19	J.L.	J.L.
27	18.12.19	J.L.	J.L.
28	18.12.19	J.L.	J.L.
29	18.12.19	J.L.	J.L.
30	18.12.19	J.L.	J.L.
31	18.12.19	J.L.	J.L.
32	18.12.19	J.L.	J.L.
33	18.12.19	J.L.	J.L.
34	18.12.19	J.L.	J.L.
35	18.12.19	J.L.	J.L.
36	18.12.19	J.L.	J.L.
37	18.12.19	J.L.	J.L.
38	18.12.19	J.L.	J.L.
39	18.12.19	J.L.	J.L.
40	18.12.19	J.L.	J.L.
41	18.12.19	J.L.	J.L.
42	18.12.19	J.L.	J.L.
43	18.12.19	J.L.	J.L.
44	18.12.19	J.L.	J.L.
45	18.12.19	J.L.	J.L.
46	18.12.19	J.L.	J.L.
47	18.12.19	J.L.	J.L.
48	18.12.19	J.L.	J.L.
49	18.12.19	J.L.	J.L.
50	18.12.19	J.L.	J.L.

ISSUED DP  
 RESUBMISSION  
 2019-04-23

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR

**KONIG**  
 9851 9801 STEVESTON HWY &  
 10931 SOUTHGATE ROAD, RICHMOND, BC

Title  
 COLOR RENDERING  
 EYE LEVEL STREETSCOPE VIEWS

Project No.  
 #8127

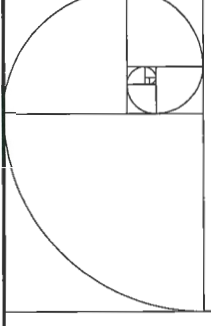
Scale  
 N.T.S.

Sheet  
 A.0.2

Revision



DP 17-792077  
 REFERENCE PLAN

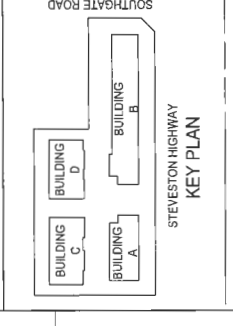


**IMPERIAL ARCHITECTURE**  
 ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 10000 100 STREET, SUITE 100, RICHMOND, BC, V6V 1K9  
 TEL: 604.273.1111 FAX: 604.273.1112  
 WWW.IMPERIALARCHITECTURE.COM

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved, and remains the property of Imperial Architecture. All rights are reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions, and immediately report any errors, omissions or discrepancies to Imperial Architecture, in writing, to the Project Manager, prior to construction.



NO.	DESCRIPTION	DATE	BY	APP'D.
1	ISSUED FOR PERMIT SUBMISSION	11.11.19	J.Z.	K.L.
2	ISSUED FOR PERMIT SUBMISSION	12.06.19	J.Z.	K.L.
3	ISSUED FOR PERMIT SUBMISSION	11.11.19	J.Z.	K.L.
4	ISSUED FOR PERMIT SUBMISSION	11.11.19	J.Z.	K.L.
5	ISSUED FOR PERMIT SUBMISSION	11.11.19	J.Z.	K.L.
6	ISSUED FOR PERMIT SUBMISSION	11.11.19	J.Z.	K.L.
7	ISSUED FOR PERMIT SUBMISSION	11.11.19	J.Z.	K.L.
8	ISSUED FOR PERMIT SUBMISSION	11.11.19	J.Z.	K.L.
9	ISSUED FOR PERMIT SUBMISSION	11.11.19	J.Z.	K.L.
10	ISSUED FOR PERMIT SUBMISSION	11.11.19	J.Z.	K.L.

17-792077

REFERENCE PLAN

ISSUED DP  
 RESUBMISSION  
 2019-04-23

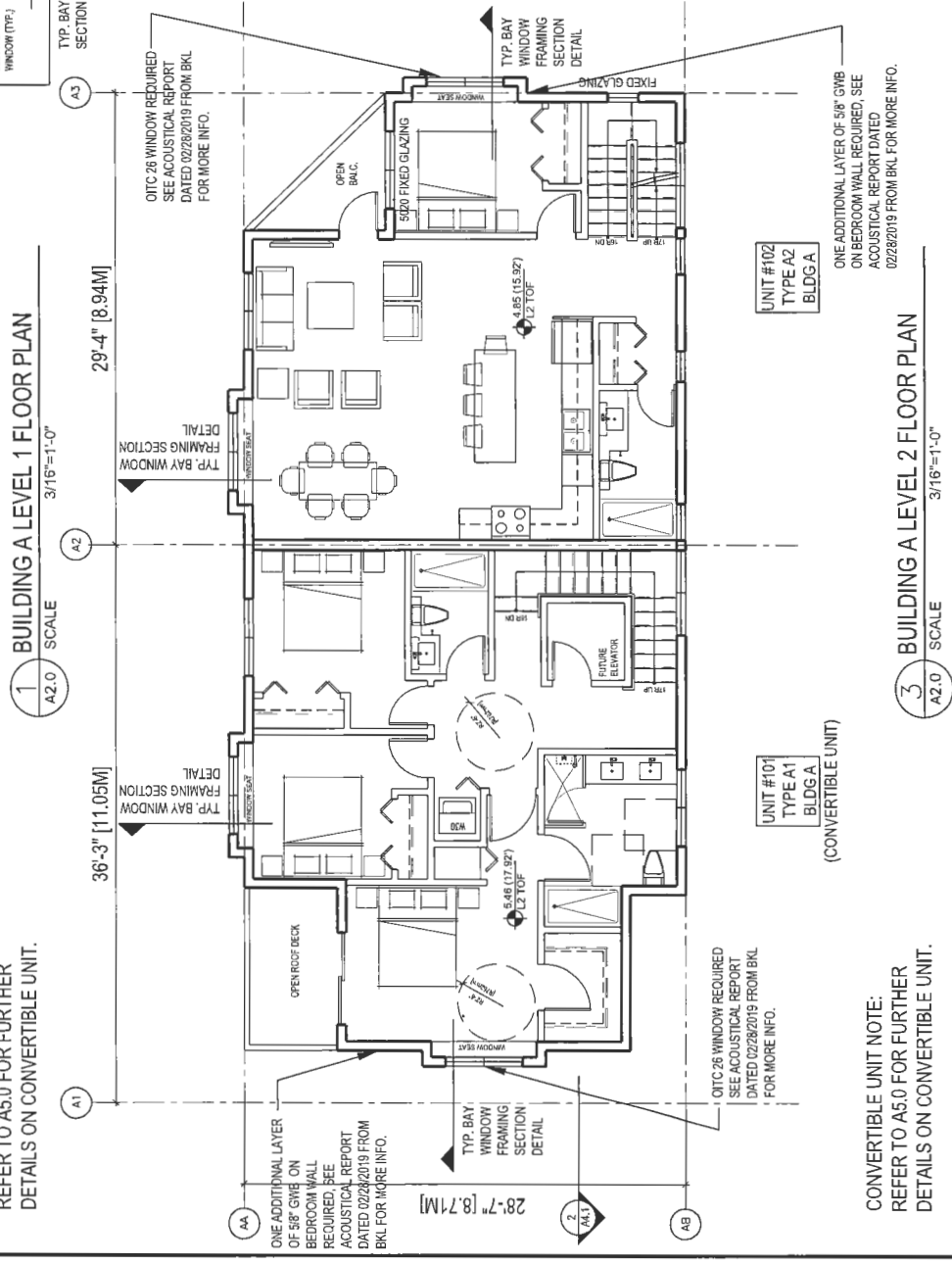
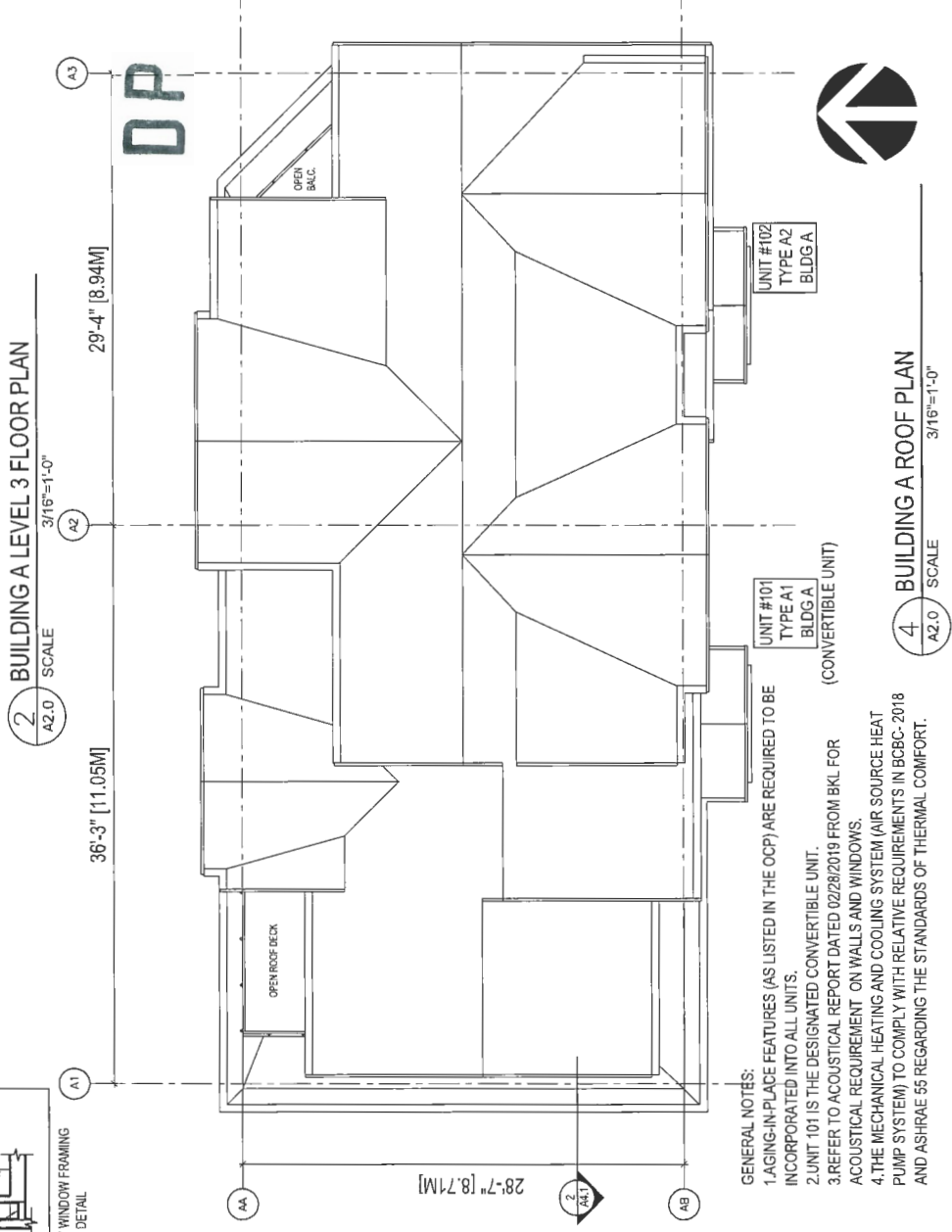
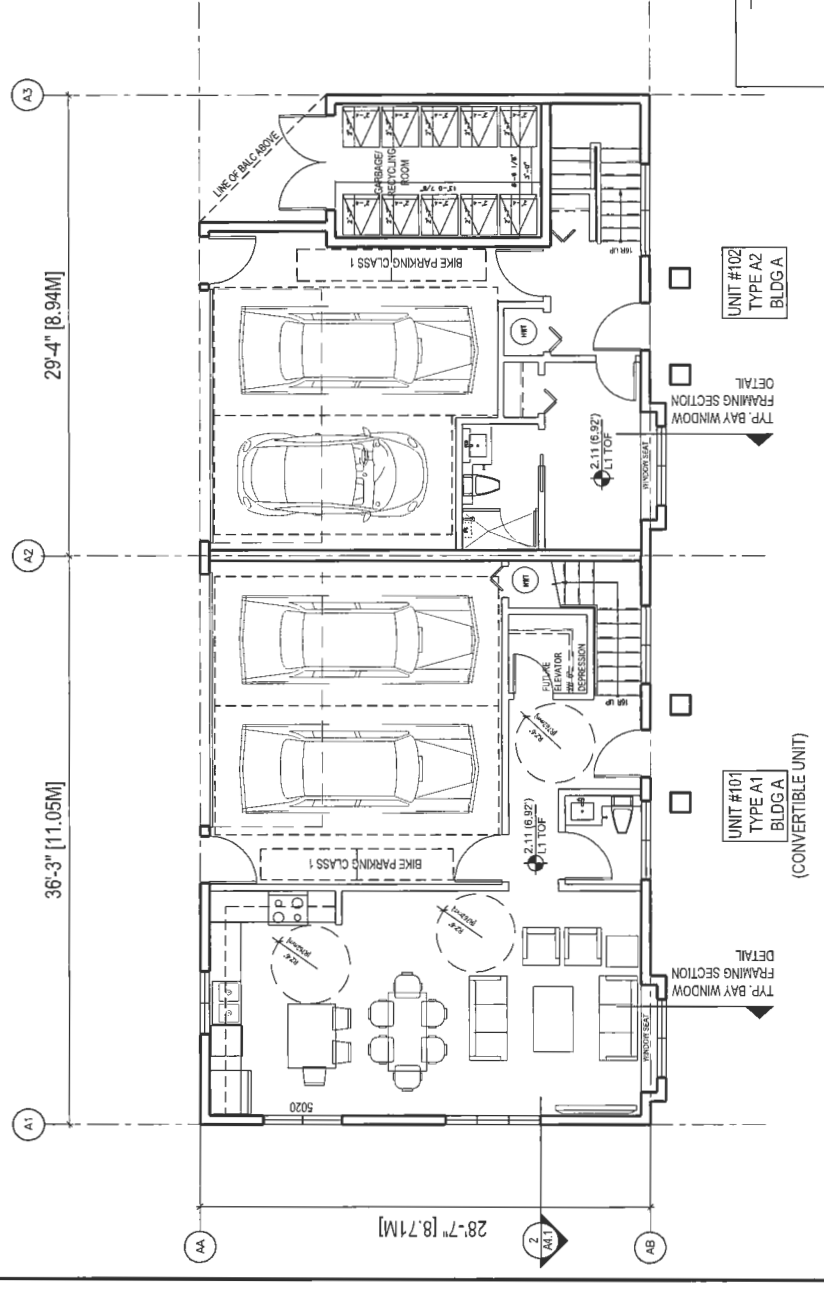
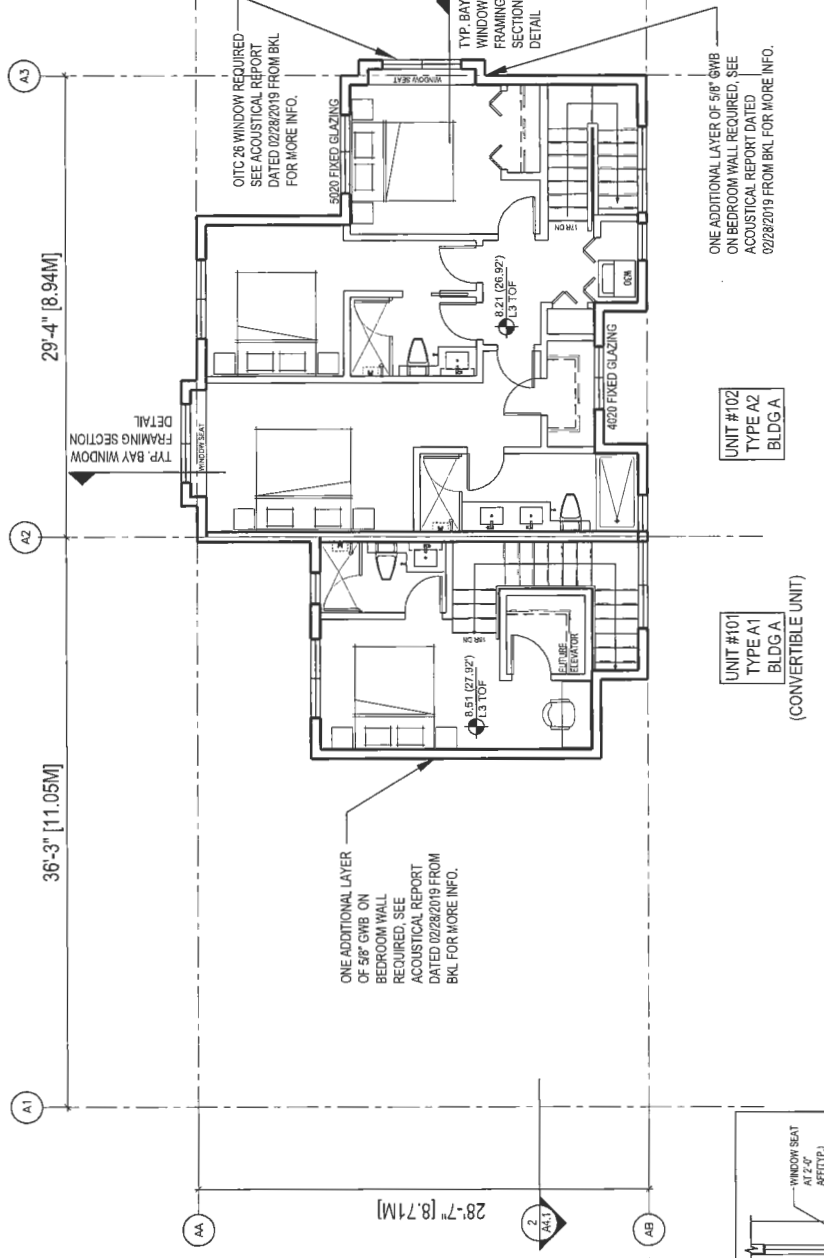
Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR

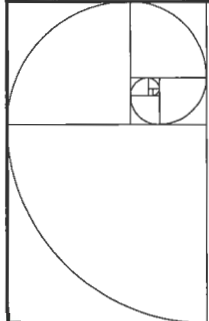
9811 98th STEVESTON HWY &  
 10931 SOUTHGATE ROAD, RICHMOND, BC

BLDG A FLOOR PLANS

Project No. #8127  
 Scale 3/16"=1'-0"  
 Drawing No. Sheet  
 Revision

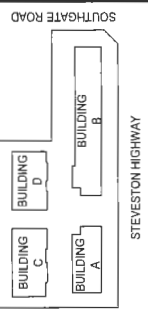
A 2.0





**IMPERIAL ARCHITECTURE**  
 ARCHITECTURE INTERIOR DESIGN PLANNING  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 1000 WEST 10TH AVENUE SUITE 1000  
 VANCOUVER, BC V6H 2Y6  
 TEL: 604.681.1111 FAX: 604.681.1112  
 WWW.IMPERIALARCHITECTURE.COM

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved. All rights are reserved for the architect. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.



NO.	DATE	DESCRIPTION	BY	CHKD.
1	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
2	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
3	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
4	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
5	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
6	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
7	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
8	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
9	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
10	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
11	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
12	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
13	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
14	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
15	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
16	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
17	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
18	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
19	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
20	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
21	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
22	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
23	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
24	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
25	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
26	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
27	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
28	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
29	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
30	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
31	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
32	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
33	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
34	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
35	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
36	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
37	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
38	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
39	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
40	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
41	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
42	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
43	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
44	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
45	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
46	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
47	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
48	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
49	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
50	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.

17-792077

REFERENCE PLAN

ISSUED DP  
 RESUBMISSION  
 2019-04-23

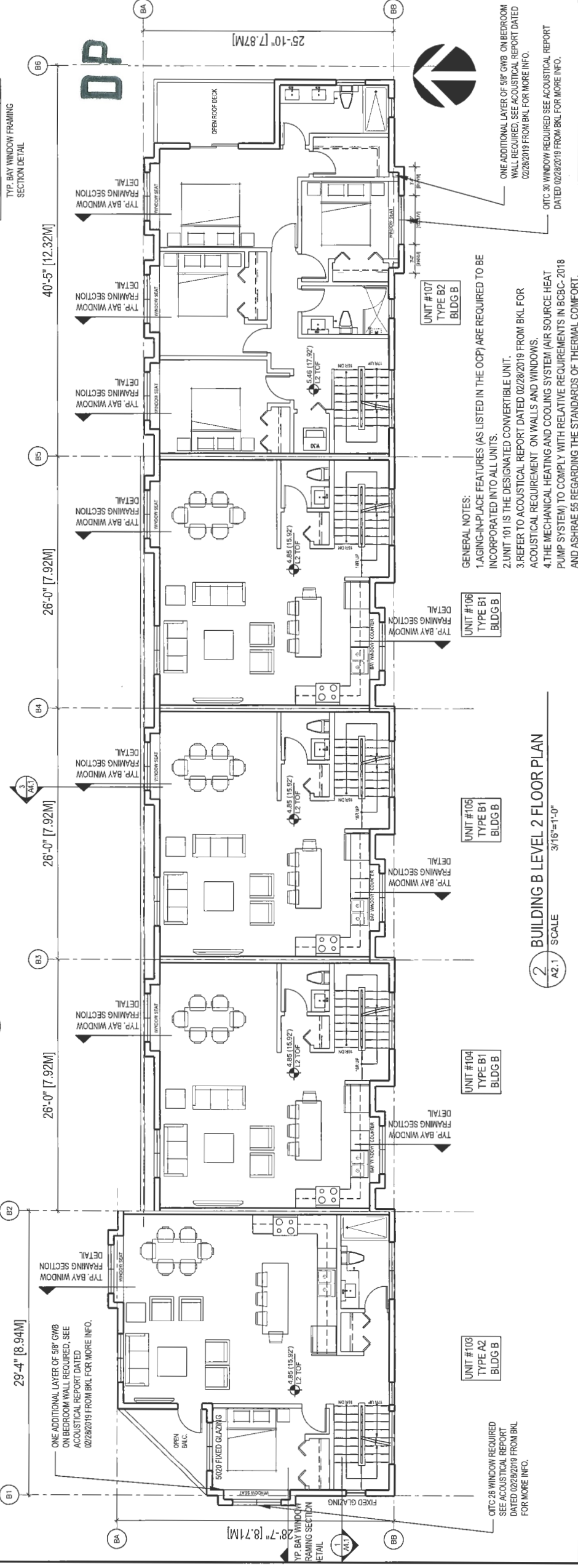
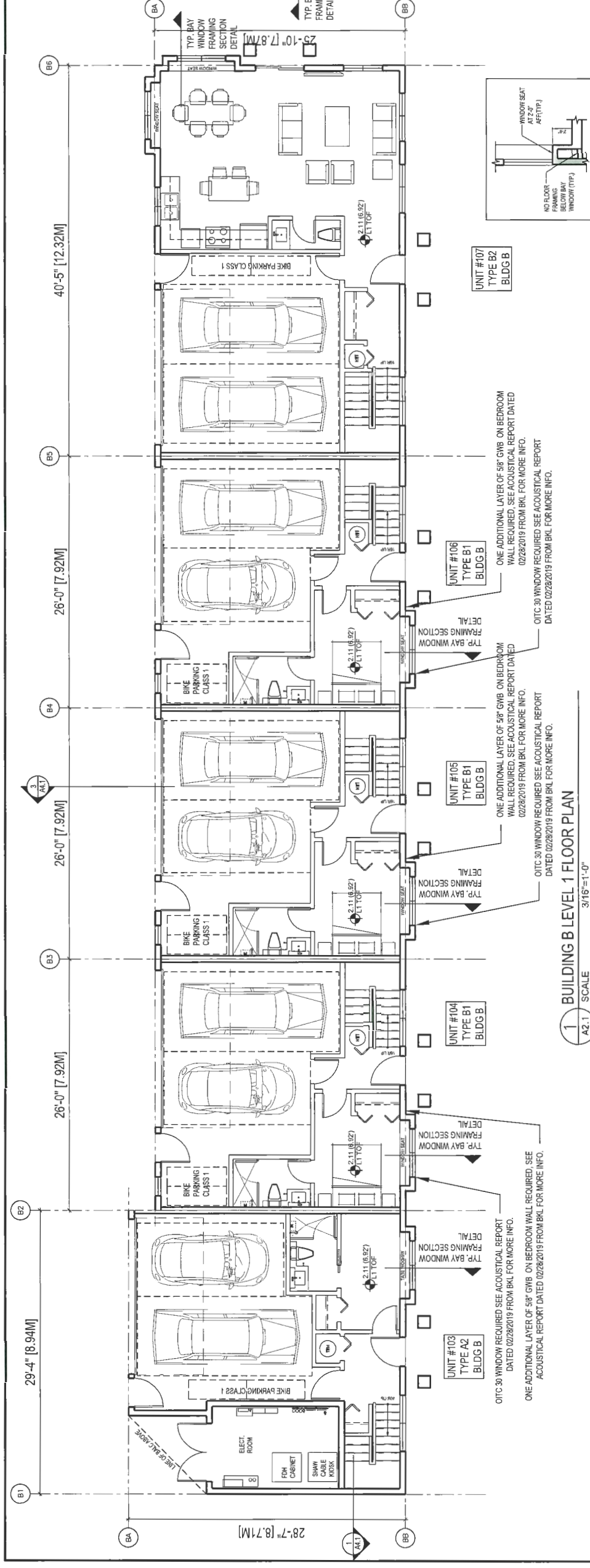
STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR

KOMIG  
 8851-6600, 5725-553700 HWY. &  
 10931 SOUTHGATE ROAD, RICHMOND, BC

BLDG B FLOOR PLANS

Project No. #8127  
 Scale 3/16"=1'-0"  
 Drawing No. A2.1

Revision



- GENERAL NOTES:
1. AGING-IN-PLACE FEATURES (AS LISTED IN THE OCP) ARE REQUIRED TO BE INCORPORATED INTO ALL UNITS.
  2. UNIT 101 IS THE DESIGNATED CONVERTIBLE UNIT.
  3. REFER TO ACoustICAL REPORT DATED 02/28/2019 FROM BKL FOR ACoustICAL REQUIREMENT ON WALLS AND WINDOWS.
  4. THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BCBC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.

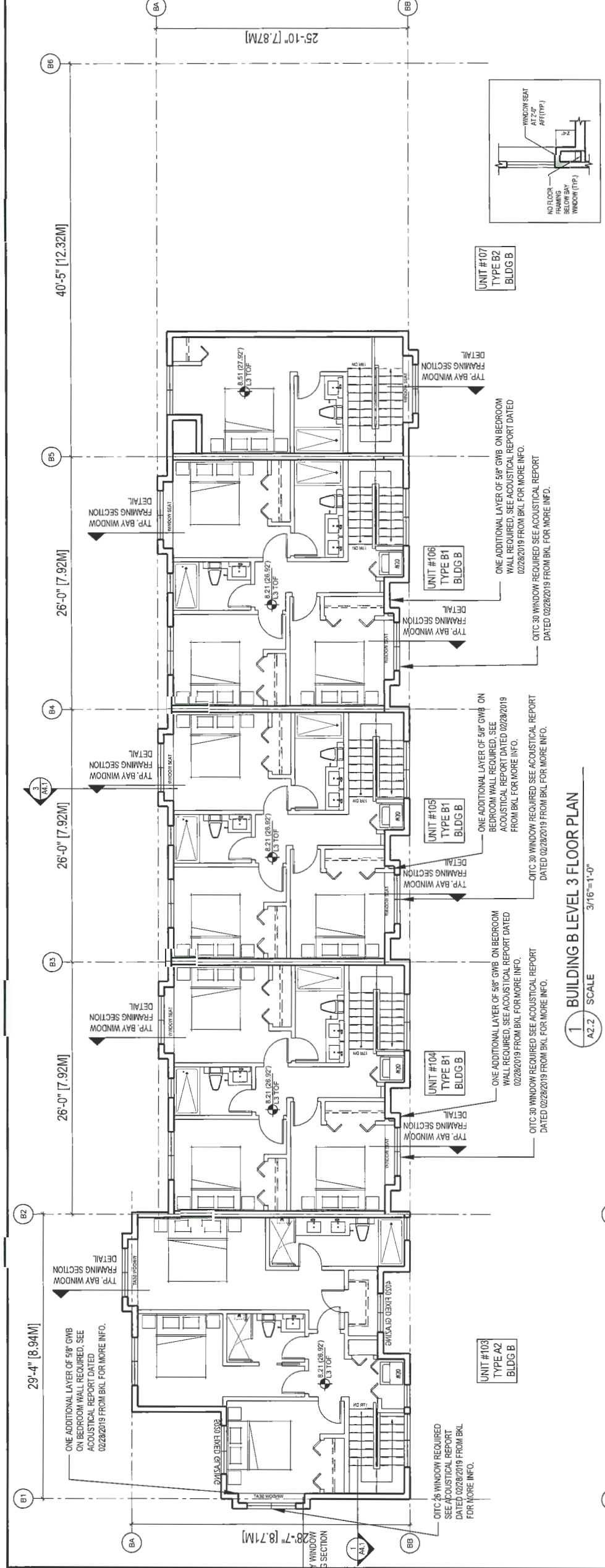
ONE ADDITIONAL LAYER OF 5/8" GWB ON BEDROOM WALL REQUIRED. SEE ACoustICAL REPORT DATED 02/28/2019 FROM BKL FOR MORE INFO.

ONE ADDITIONAL LAYER OF 5/8" GWB ON BEDROOM WALL REQUIRED. SEE ACoustICAL REPORT DATED 02/28/2019 FROM BKL FOR MORE INFO.

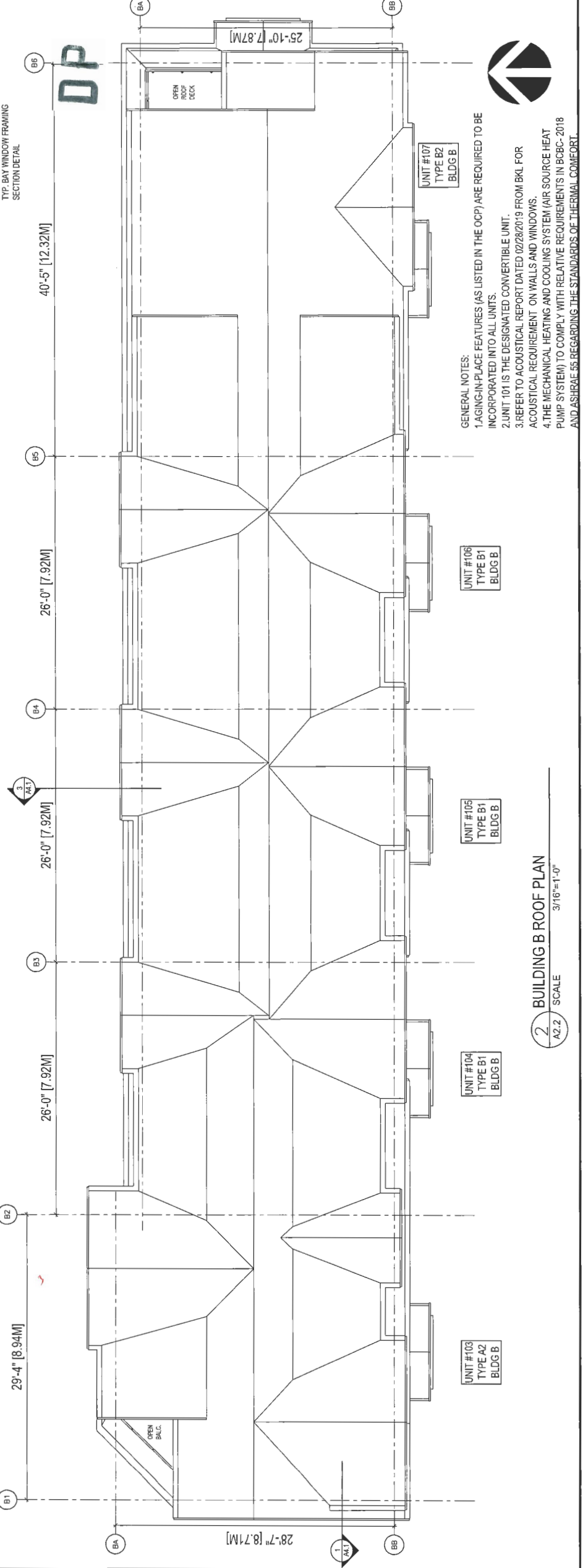
OTC: 30 WINDOW REQUIRED SEE ACoustICAL REPORT DATED 02/28/2019 FROM BKL FOR MORE INFO.

OTC: 30 WINDOW REQUIRED SEE ACoustICAL REPORT DATED 02/28/2019 FROM BKL FOR MORE INFO.

OTC: 26 WINDOW REQUIRED SEE ACoustICAL REPORT DATED 02/28/2019 FROM BKL FOR MORE INFO.



1 BUILDING B LEVEL 3 FLOOR PLAN  
A2.2 SCALE 3/16"=1'-0"



2 BUILDING B ROOF PLAN  
A2.2 SCALE 3/16"=1'-0"

GENERAL NOTES:  
 1. AGING-IN-PLACE FEATURES (AS LISTED IN THE OCP) ARE REQUIRED TO BE INCORPORATED INTO ALL UNITS.  
 2. UNIT 101 IS THE DESIGNATED CONVERTIBLE UNIT.  
 3. REFER TO ACOUSTICAL REPORT DATED 02/28/2019 FROM BKL FOR ACOUSTICAL REQUIREMENT ON WALLS AND WINDOWS.  
 4. THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN B66C-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.

**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 ARCHITECTURE INTERIOR DESIGN PLANNING

**Copyright Reserved**  
 The Copyright is the property of Imperial Architecture and remains as all times the property of Imperial Architecture. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.

**Dimensions**  
 The Contractor shall verify all dimensions, and immediately notify the architect in writing if any discrepancy is noted.

**STEVESTON HIGHWAY KEY PLAN**

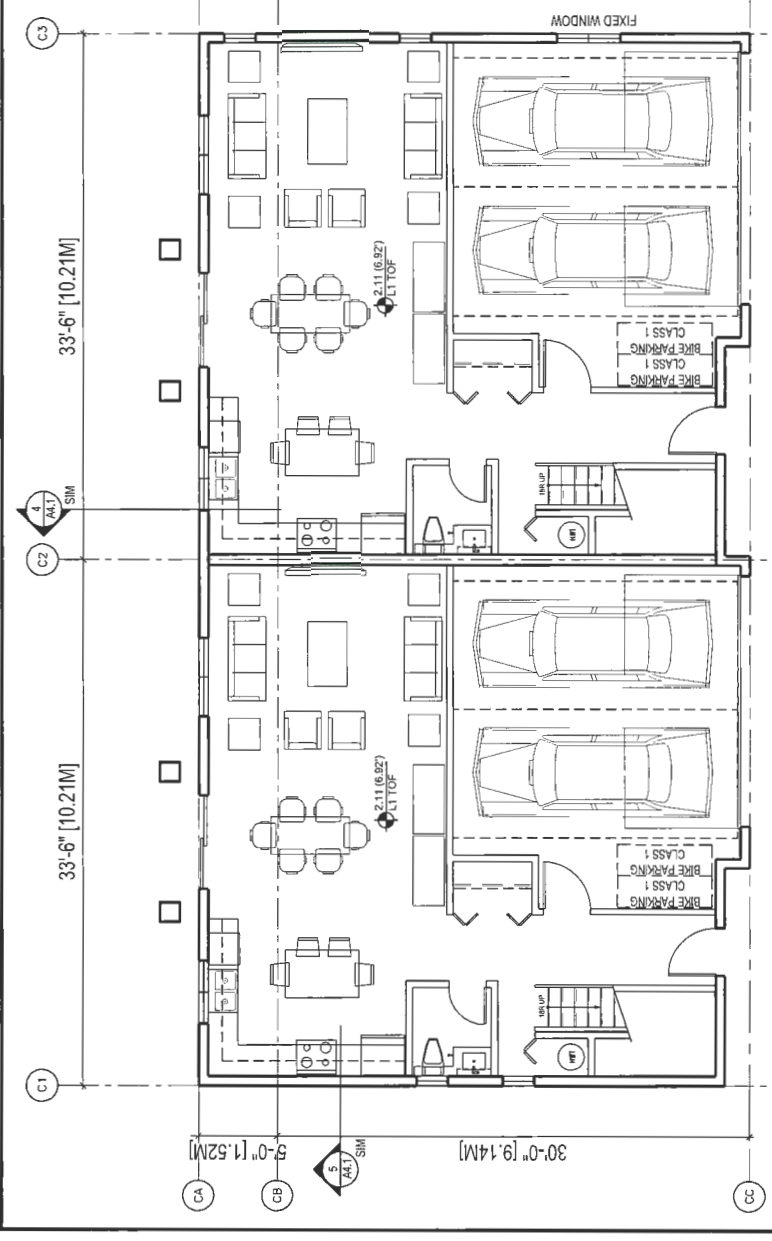
NO.	DATE	DESCRIPTION	BY	CHK.
1	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
2	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
3	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
4	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
5	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
6	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
7	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
8	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
9	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
10	11.11.19	ISSUED FOR PERMITS	J.Z.	K.L.

**REFERENCE PLAN**

**ISSUED DP RESUBMISSION 2019-04-23**

**STEVESTON TOWNHOUSE DEVELOPMENT (DP 17-792077) FOR**

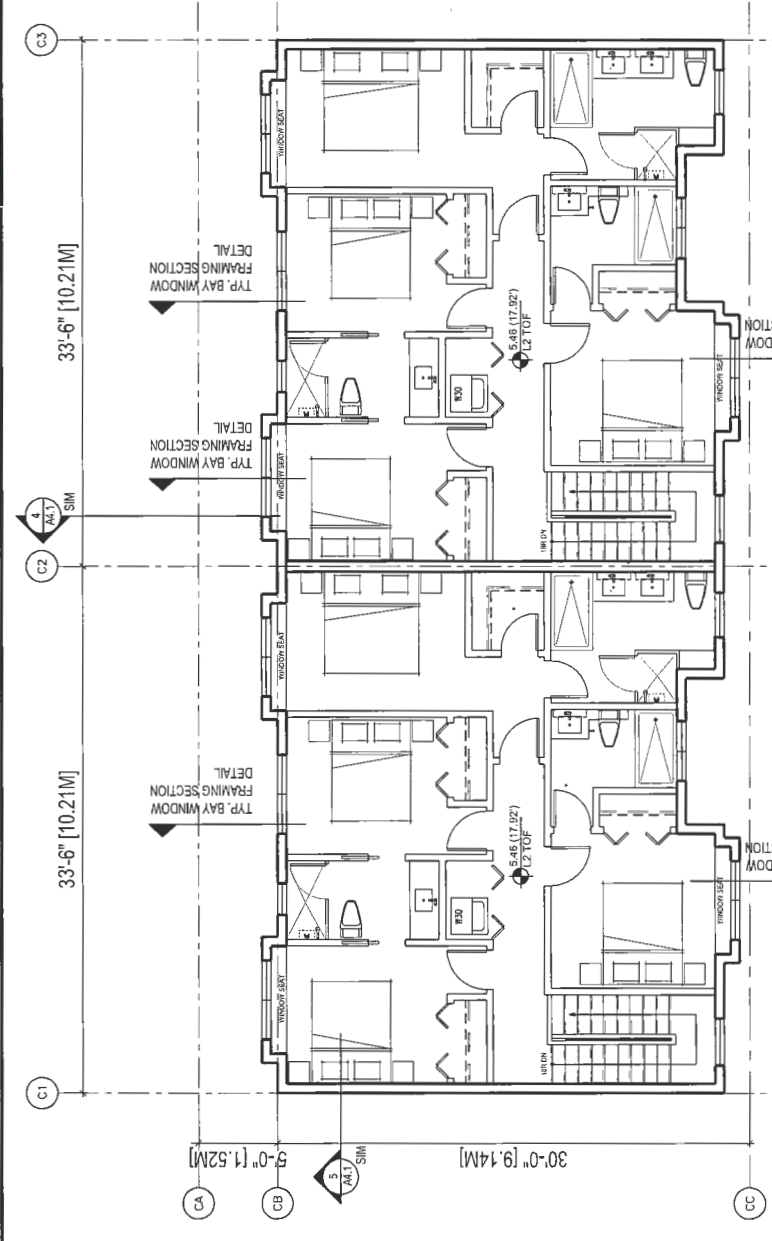
**KONIG CONSULTANTS**  
 9851 98th STEVESTON HWY. & 10931 SOUTHGATE ROAD, RICHMOND, BC  
 Title: **BLDG B FLOOR PLANS**  
 Project No.: **#8127**  
 Scale: **3/16"=1'-0"**  
 Drawing No.: **A2.2**  
 Revision:



UNIT #108  
TYPE C1  
BLDG C

UNIT #109  
TYPE C2  
BLDG C

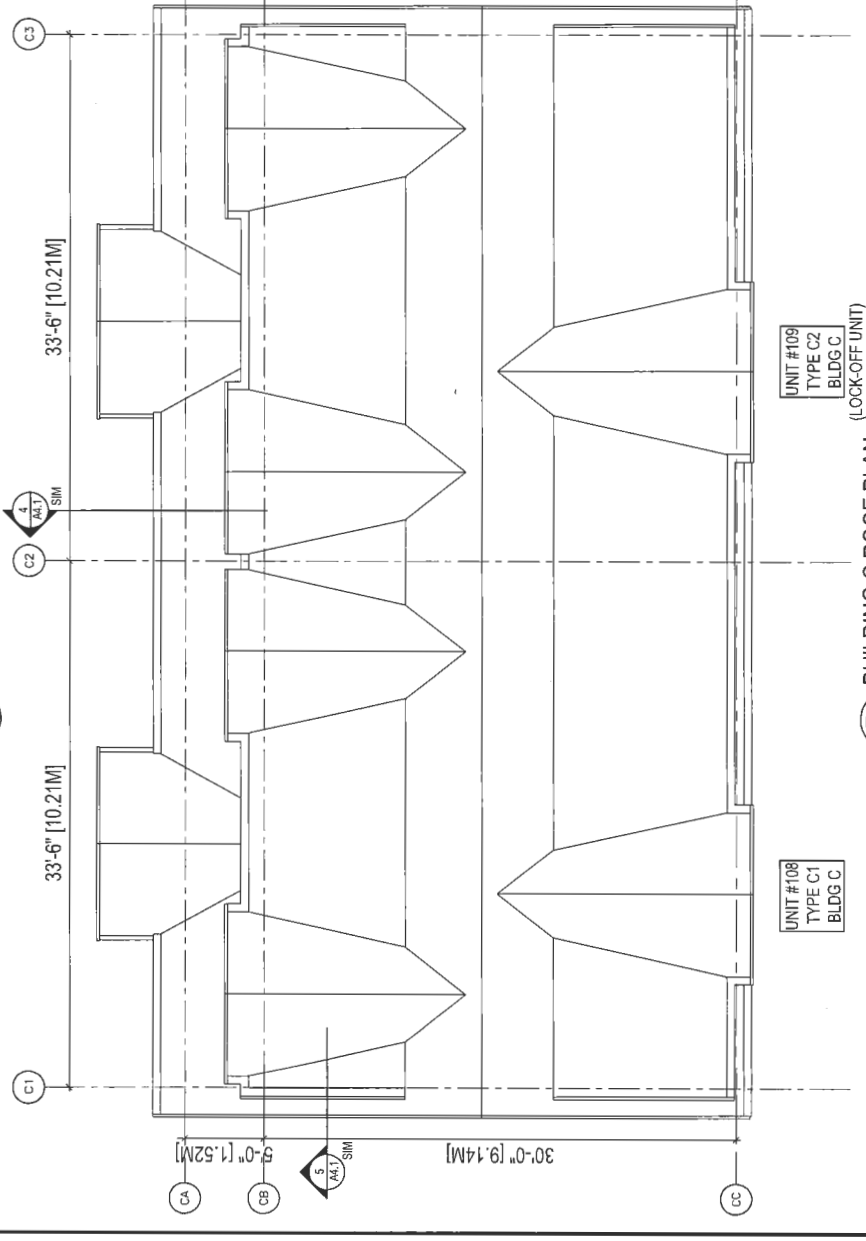
1 BUILDING C LEVEL 1 FLOOR PLAN  
3/16"=1'-0"  
A2.3 SCALE



UNIT #108  
TYPE C1  
BLDG C

UNIT #109  
TYPE C2  
BLDG C

2 BUILDING C LEVEL 2 FLOOR PLAN  
3/16"=1'-0"  
A2.3 SCALE

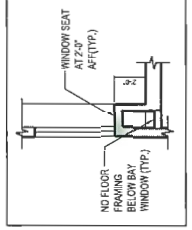


UNIT #108  
TYPE C1  
BLDG C

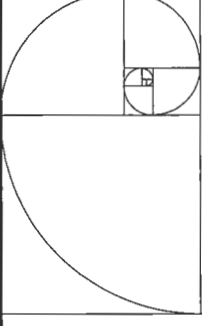
UNIT #109  
TYPE C2  
BLDG C  
(LOCK-OFF UNIT)

3 BUILDING C ROOF PLAN  
3/16"=1'-0"  
A2.3 SCALE

- GENERAL NOTES:
- AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATH TUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
  - UNIT 101 (TYPE A1) IS THE CONVERTIBLE UNIT.
  - THE PROJECT WILL PROVIDE HEAT PUMP AC UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGUEIDE 82 STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGUEIDE 82 REQUIREMENTS:  
 (A): SOLAR HOT WATER READY REQUIREMENT  
 (B): ENERGY STAR APPLIANCES AND LIGHT BULBS  
 (C): LOW E DOUBLE GLAZING WINDOWS  
 (D): POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
  - REFER TO ACOUSTICAL REPORT DATED 02/28/2018 FROM BKL FOR ACOUSTICAL REQUIREMENT ON WALLS AND WINDOWS.
  - THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BCBC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.
  - AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE



TYP. BAY WINDOW FRAMING SECTION DETAIL

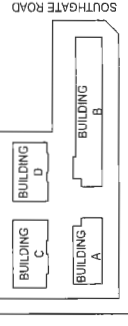


**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 ADDRESS: 1091 SOUTHGATE ROAD, RICHMOND, BC  
 TEL: 604.273.1111  
 FAX: 604.273.1112  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright to this drawing and its contents is reserved, and remains as all other the  
 exclusive property of Imperial Architecture, and shall not be used, modified, or  
 reproduced without the express written consent of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions, and immediately report any errors and/or  
 discrepancies to Imperial Architecture. DO NOT SCALE DRAWINGS.



STEVESTON HIGHWAY KEY PLAN

NO.	DATE	BY	APP'D.
1	18.11.19	J.L.	J.L.
2	18.05.20	J.L.	J.L.
3	17.11.20	J.L.	J.L.
4	17.05.21	J.L.	J.L.
5	16.11.21	J.L.	J.L.
6	18.11.21	J.L.	J.L.
7	18.11.21	J.L.	J.L.
8	18.11.21	J.L.	J.L.
9	18.11.21	J.L.	J.L.
10	18.11.21	J.L.	J.L.
11	18.11.21	J.L.	J.L.
12	18.11.21	J.L.	J.L.
13	18.11.21	J.L.	J.L.
14	18.11.21	J.L.	J.L.
15	18.11.21	J.L.	J.L.
16	18.11.21	J.L.	J.L.
17	18.11.21	J.L.	J.L.
18	18.11.21	J.L.	J.L.
19	18.11.21	J.L.	J.L.
20	18.11.21	J.L.	J.L.
21	18.11.21	J.L.	J.L.
22	18.11.21	J.L.	J.L.
23	18.11.21	J.L.	J.L.
24	18.11.21	J.L.	J.L.
25	18.11.21	J.L.	J.L.
26	18.11.21	J.L.	J.L.
27	18.11.21	J.L.	J.L.
28	18.11.21	J.L.	J.L.
29	18.11.21	J.L.	J.L.
30	18.11.21	J.L.	J.L.
31	18.11.21	J.L.	J.L.
32	18.11.21	J.L.	J.L.
33	18.11.21	J.L.	J.L.
34	18.11.21	J.L.	J.L.
35	18.11.21	J.L.	J.L.
36	18.11.21	J.L.	J.L.
37	18.11.21	J.L.	J.L.
38	18.11.21	J.L.	J.L.
39	18.11.21	J.L.	J.L.
40	18.11.21	J.L.	J.L.
41	18.11.21	J.L.	J.L.
42	18.11.21	J.L.	J.L.
43	18.11.21	J.L.	J.L.
44	18.11.21	J.L.	J.L.
45	18.11.21	J.L.	J.L.
46	18.11.21	J.L.	J.L.
47	18.11.21	J.L.	J.L.
48	18.11.21	J.L.	J.L.
49	18.11.21	J.L.	J.L.
50	18.11.21	J.L.	J.L.
51	18.11.21	J.L.	J.L.
52	18.11.21	J.L.	J.L.
53	18.11.21	J.L.	J.L.
54	18.11.21	J.L.	J.L.
55	18.11.21	J.L.	J.L.
56	18.11.21	J.L.	J.L.
57	18.11.21	J.L.	J.L.
58	18.11.21	J.L.	J.L.
59	18.11.21	J.L.	J.L.
60	18.11.21	J.L.	J.L.
61	18.11.21	J.L.	J.L.
62	18.11.21	J.L.	J.L.
63	18.11.21	J.L.	J.L.
64	18.11.21	J.L.	J.L.
65	18.11.21	J.L.	J.L.
66	18.11.21	J.L.	J.L.
67	18.11.21	J.L.	J.L.
68	18.11.21	J.L.	J.L.
69	18.11.21	J.L.	J.L.
70	18.11.21	J.L.	J.L.
71	18.11.21	J.L.	J.L.
72	18.11.21	J.L.	J.L.
73	18.11.21	J.L.	J.L.
74	18.11.21	J.L.	J.L.
75	18.11.21	J.L.	J.L.
76	18.11.21	J.L.	J.L.
77	18.11.21	J.L.	J.L.
78	18.11.21	J.L.	J.L.
79	18.11.21	J.L.	J.L.
80	18.11.21	J.L.	J.L.
81	18.11.21	J.L.	J.L.
82	18.11.21	J.L.	J.L.
83	18.11.21	J.L.	J.L.
84	18.11.21	J.L.	J.L.
85	18.11.21	J.L.	J.L.
86	18.11.21	J.L.	J.L.
87	18.11.21	J.L.	J.L.
88	18.11.21	J.L.	J.L.
89	18.11.21	J.L.	J.L.
90	18.11.21	J.L.	J.L.
91	18.11.21	J.L.	J.L.
92	18.11.21	J.L.	J.L.
93	18.11.21	J.L.	J.L.
94	18.11.21	J.L.	J.L.
95	18.11.21	J.L.	J.L.
96	18.11.21	J.L.	J.L.
97	18.11.21	J.L.	J.L.
98	18.11.21	J.L.	J.L.
99	18.11.21	J.L.	J.L.
100	18.11.21	J.L.	J.L.

REFERENCE PLAN

ISSUED DP  
 RESUBMISSION  
 2019-04-23

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR



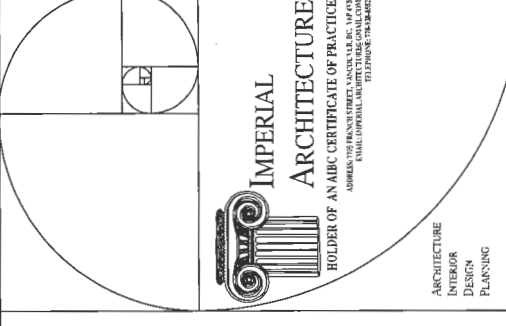
9831 5897 STEVESTON HWY &  
 1091 SOUTHGATE ROAD, RICHMOND, BC

BLDG C FLOOR PLANS

Project No. #8127  
 Scale 3/16"=1'-0"  
 Drawing No. Sheet  
 Revision

A2.3 of

DP 17-792077



ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved and remains at all times the property of Imperial Architecture. No part of this drawing may be reproduced, stored in a retrieval system or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions and immediately report any errors and/or omissions to Imperial Architecture. DP1707 3/16/16 RCL/CP/EC.



NO.	DATE	DESCRIPTION	BY	APP'D.
1	12.11.15	ISSUED FOR PERMIT	J.Z.	K.L.
2	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
3	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
4	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
5	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
6	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
7	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
8	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
9	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
10	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
11	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
12	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
13	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
14	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
15	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
16	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
17	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
18	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
19	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
20	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
21	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
22	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
23	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
24	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
25	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
26	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
27	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
28	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
29	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
30	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
31	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
32	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
33	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
34	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
35	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
36	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
37	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
38	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
39	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
40	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
41	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
42	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
43	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
44	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
45	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
46	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
47	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
48	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
49	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.
50	03.02.16	ISSUED FOR PERMIT	J.Z.	K.L.

REFERENCE PLAN

ISSUED DP  
 RESUBMISSION  
 2019-04-23

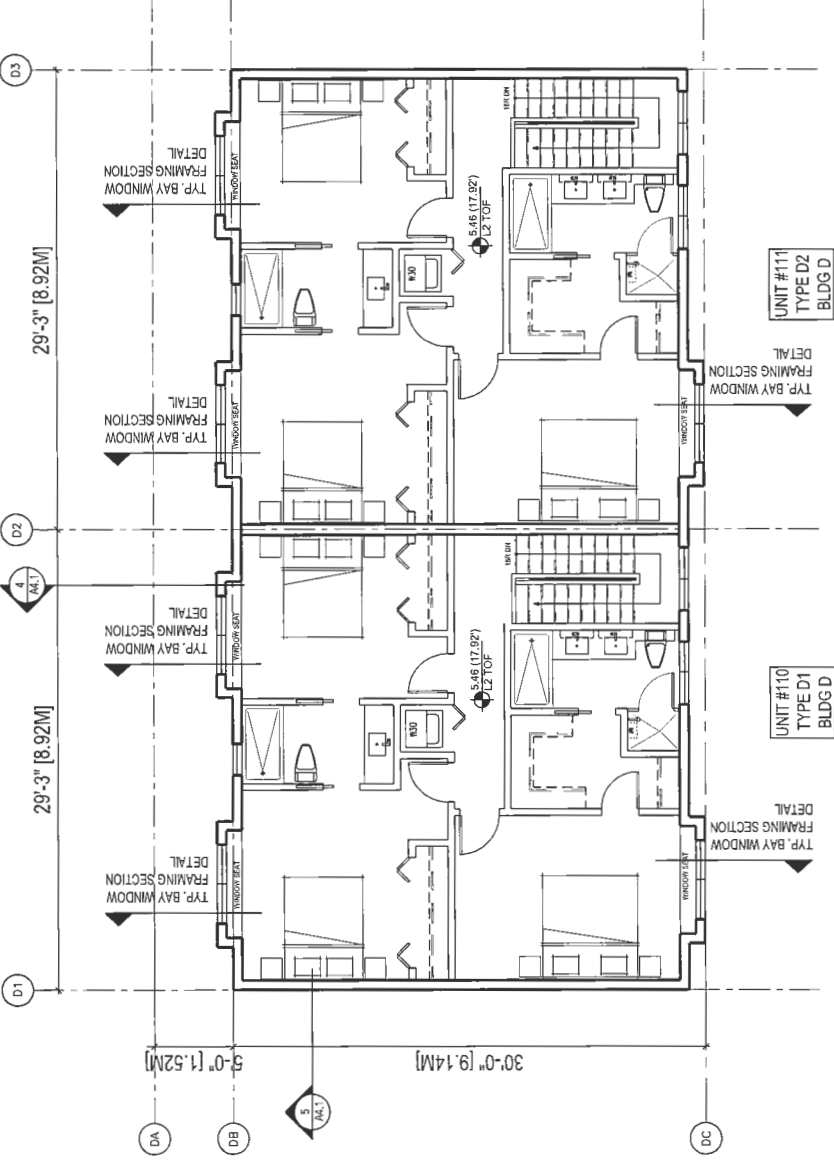
STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR

9851 98th STEVESTON HWY &  
 10931 SOUTHWATE ROAD, RICHMOND, BC

BLDG D FLOOR PLANS

Project No. #8127  
 Scale 3/16"=1'-0"

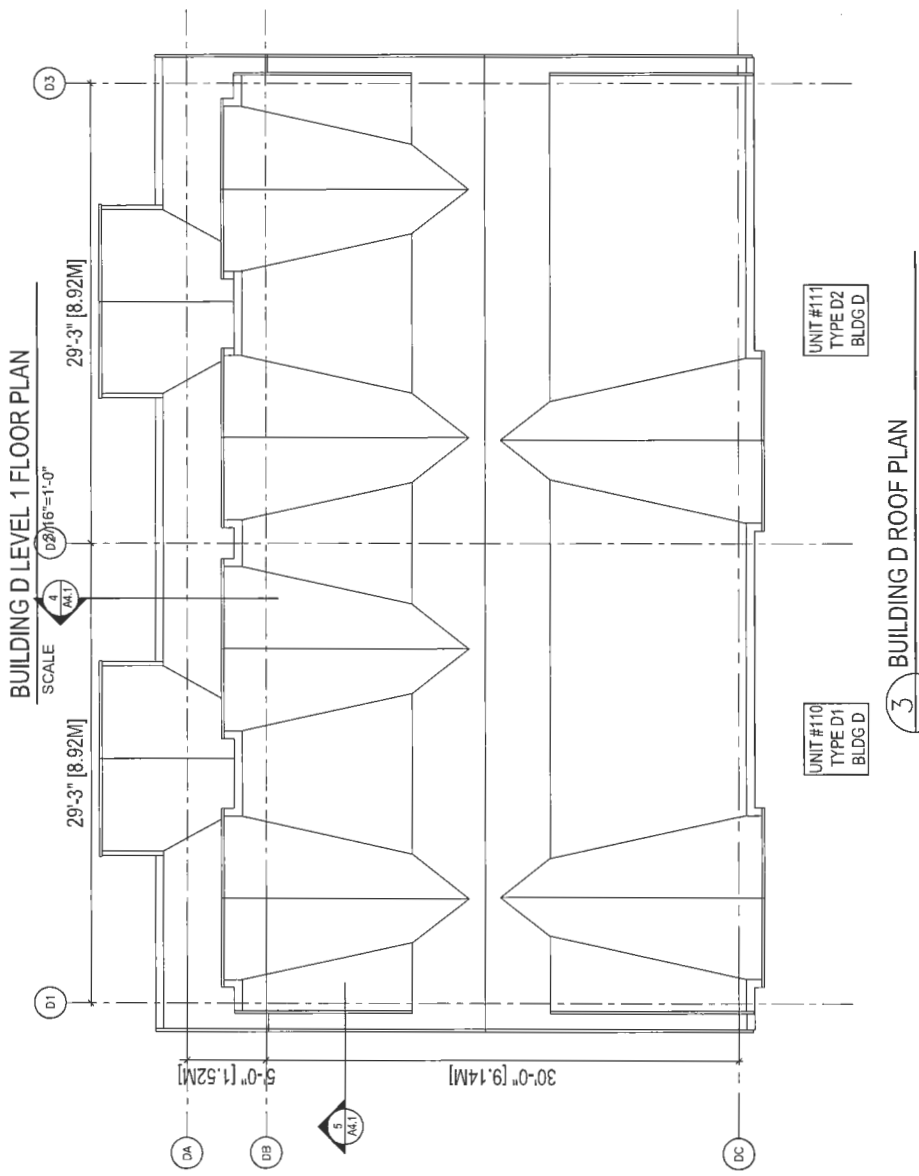
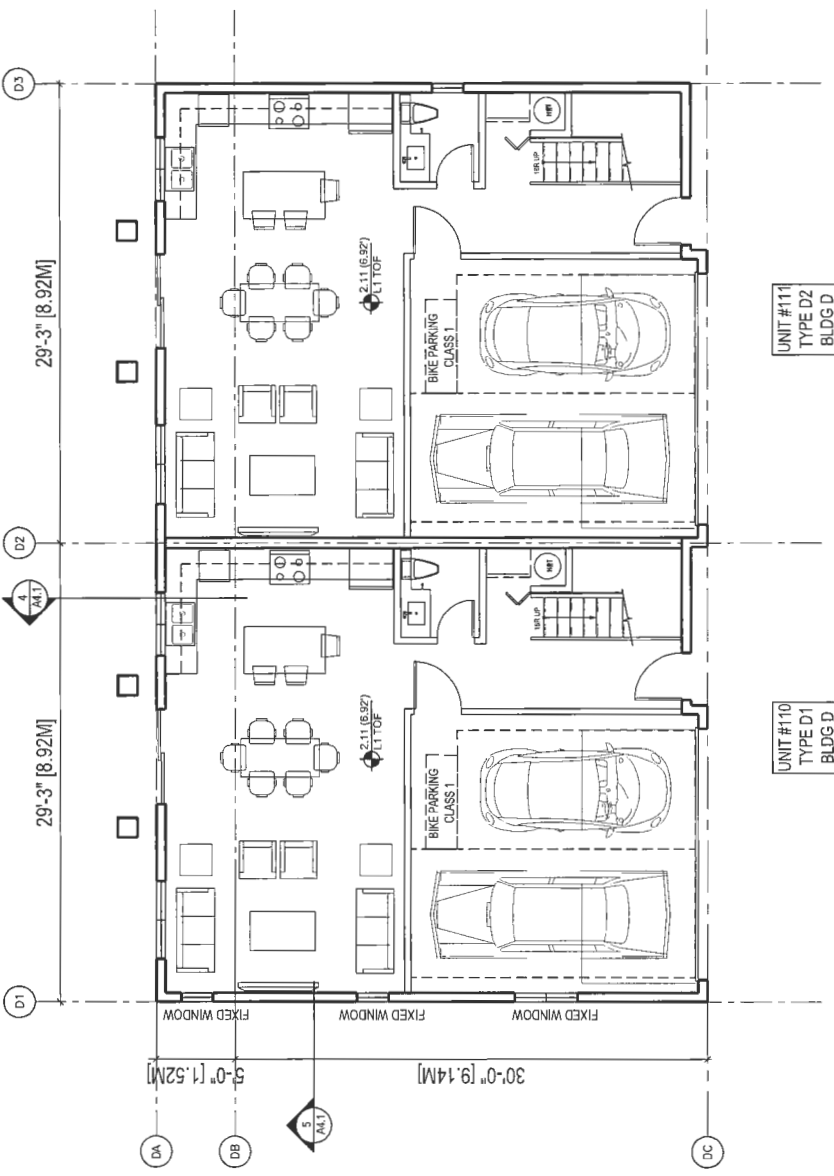
Sheet A.2.4 of



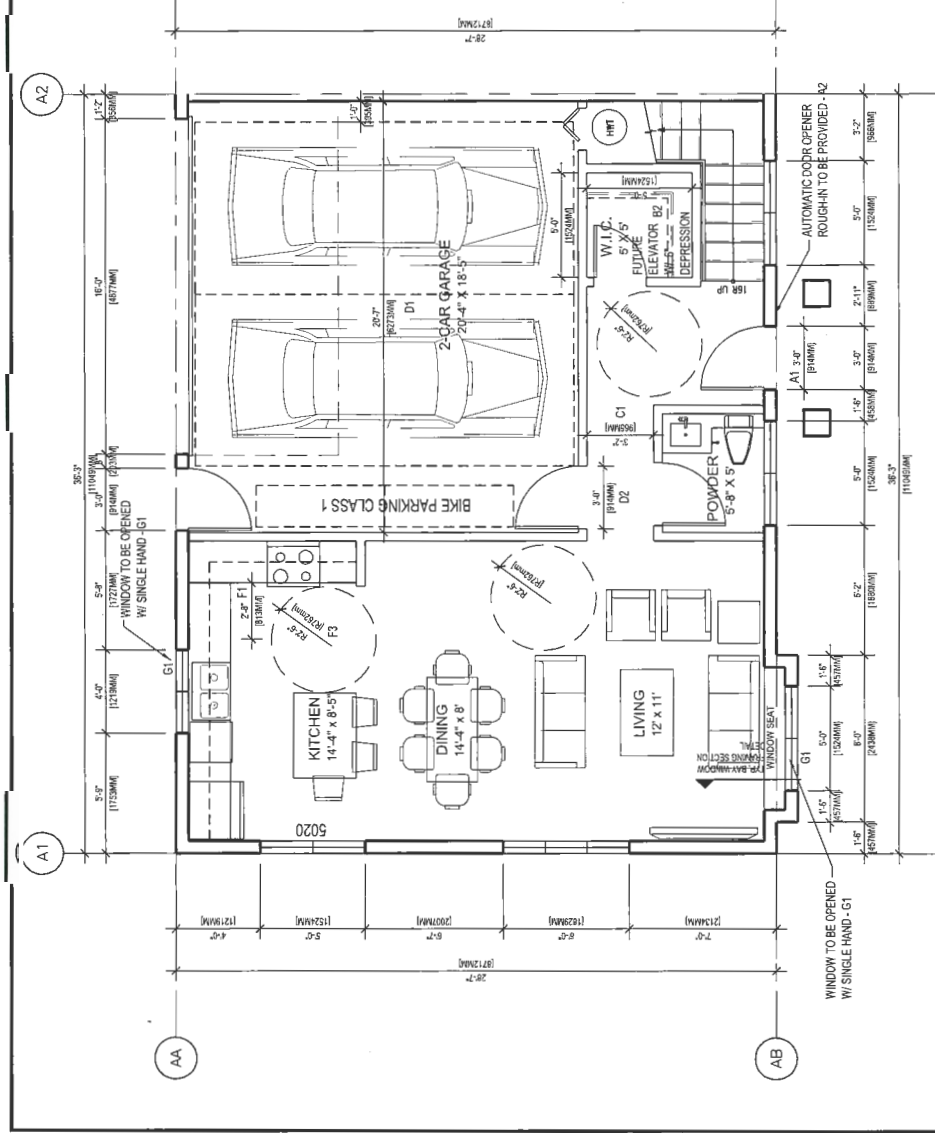
GENERAL NOTES:

- AGING IN PLACE FEATURES SUCH AS STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHUB AND SHOWER AND LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES WILL BE PROVIDED IN ALL UNITS.
- UNIT 101 (TYPE A1) IS THE CONVERTIBLE UNIT.
- THE PROJECT WILL PROVIDE HEAT PUMP A/C UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGUIDE R2 STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGUIDE R2 REQUIREMENTS:  
 (A) SOLAR HOT WATER READY REQUIREMENT  
 (B) ENERGY STAR APPLIANCES AND LIGHT BULBS  
 (C) LOW E DOUBLE GLAZING WINDOWS  
 (D) POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
- REFER TO ACOUSTICAL REPORT DATED 02/28/2019 FROM BKL FOR ACOUSTICAL REQUIREMENT ON WALLS AND WINDOWS.
- THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BCBC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.
- AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE

TYP. BAY WINDOW FRAMING SECTION DETAIL

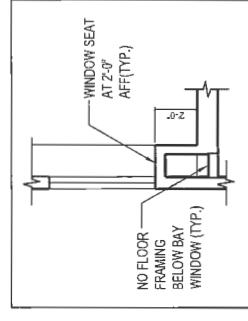






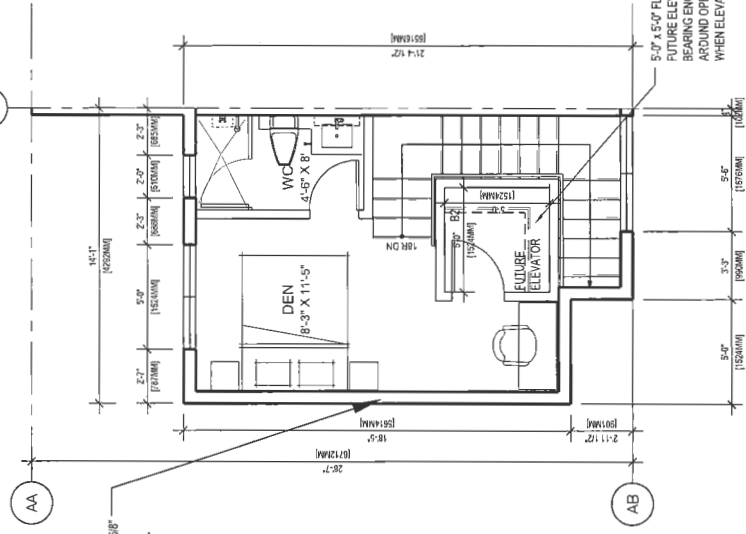
1 TYPE "A1" UNIT L1 PLAN  
A5.0 SCALE 1/4"=1'-0"

REFER TO MANUFACTURER'S SPECIFICATION ON A5.0 B FOR MORE DETAILS ON FUTURE LIFT / ELEVATOR

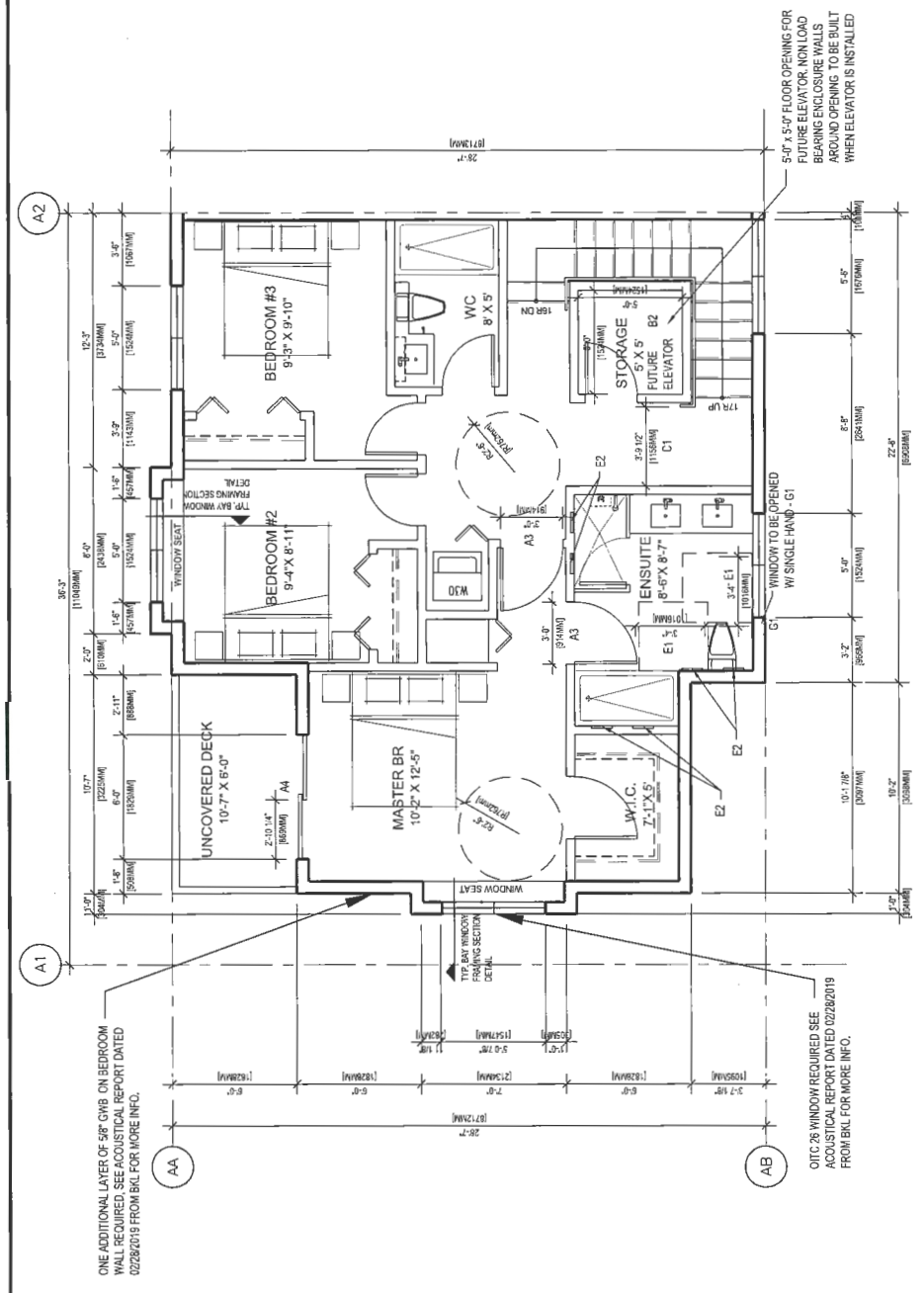


TYP. BAY WINDOW FRAMING SECTION DETAIL

5'-0" x 5'-0" FLOOR OPENING FOR FUTURE ELEVATOR. NON LOAD BEARING ENCLOSURE WALLS AROUND OPENING TO BE BUILT WHEN ELEVATOR IS INSTALLED



3 TYPE "A1" UNIT L3 PLAN  
A5.0 SCALE 1/4"=1'-0"

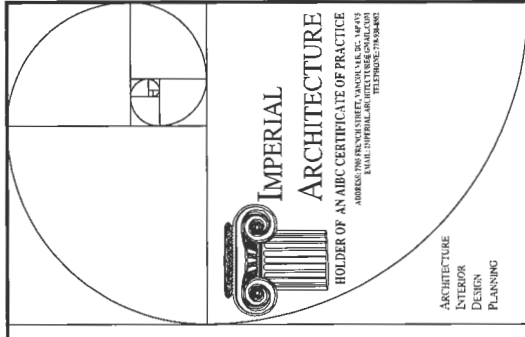


2 TYPE "A1" UNIT L2 PLAN  
A5.0 SCALE 1/4"=1'-0"

- GENERAL NOTES:
- AGING IN PLACE FEATURES SUCH AS "STARWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATH TUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
  - UNIT 101 (TYPE A1) IS THE CONVERTIBLE UNIT.
  - THE PROJECT WILL PROVIDE HEAT PUMP A/C UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGUIDE B2 STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGUIDE B2 REQUIREMENTS:
    - (A) SOLAR HOT WATER READY REQUIREMENT
    - (B) ENERGY STAR APPLIANCES AND LIGHT BULBS
    - (C) LOW E DOUBLE GLAZING WINDOWS
    - (D) POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS

CONVERTIBLE UNIT GUIDELINES  
(NOTE: SAFEROUND CRITERIA PROPOSED FOR INCLUSION ARE SHOWN IN BOLD ITALICS)

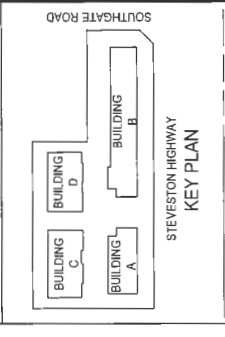
Category	Item	Description
A	A1	ENTRY DOORS ARE A MINIMUM 36" WIDE, 78" HIGH AND HAVE CLEAR ACCESS.
	A2	ENTRY DOOR CLEAR SPACE MIN. 1200MM DEPTH BY DOOR WIDTH PLUS 60MM ON EACH SIDE NOT NEEDED IF DOOR IS OPENED BY FUTURE AUTOMATIC DOOR OPENER.
	A3	INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM MIN. 800MM CLEAR OPENING WITH LEVER-TYPE HANDLES MAX. 13MM HEIGHT. DEMONSTRATE WHERE CHAIR ACCESS BEHIND THE HALLWAY AND ROOMS AND INTERIOR HALLWAY AND OCCUPANTS IF NECESSARY TO SECURE ACCESS.
	A4	SWITCHES AND DIMMER CONTROLS SHALL BE MOUNTED AT 1500MM MIN. HEIGHT. DIMMER CONTROLS SHALL BE MOUNTED AT 1500MM MIN. HEIGHT. DIMMER CONTROLS SHALL BE MOUNTED AT 1500MM MIN. HEIGHT. DIMMER CONTROLS SHALL BE MOUNTED AT 1500MM MIN. HEIGHT.
B	B1	VERTICAL CIRCULATION
	B2	VERTICAL LIFT, DEPRESSURE AREA AND LANDINGS, AS NOTED ON FLOOR PLANS IN CONFORMANCE WITH MANUFACTURER SPECIFICATIONS TO ACCOMMODATE SHIFTS CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
C	C1	HALLWAYS
	C2	ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
D	D1	ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.
	D2	TOILET CLEAR FLOOR SPACE MIN. 1200 MM AT SIDE AND IN FRONT.
E	E1	WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" x 12" SOLID LUMBER IN ALL BATH TUB, SHOWER, AND TOILET LOCATIONS.
	E2	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
F	F1	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS. CABINETS UNDER SINKS ARE EASILY REMOVED.
	F2	DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OF FUTURE PLACEMENT).
G	G1	CLEAR AREA RESERVED FOR THE WORK SPACE PLUMBING AND GAS PIPES IN WALL AND FLOOR LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE. SINKS MIN. 150 MM WIDE COUNTERS. ALL PIPES ARE BROUGHT IN NO HIGHER THAN 300 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
	G2	CABINETS UNDER SINKS ARE EASILY REMOVED.
H	H1	1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
	H2	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
I	I1	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN/LIVING ROOM).
	I2	PLACEMENT OF ELECTRICAL OUTLETS, BENCH LIGHTS, SWITCHES, STAIRWAYS, KITCHEN COUNTERS, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
J	J1	UPGRADE TO FOUR-PLY OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE AND RECREATION ROOM.
	J2	



ARCHITECTURE  
INTERIOR  
DESIGN  
PLANNING

Copyright Reserved

The Copyright in this drawing is reserved and shall remain the property of Imperial Architecture. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.



NO.	DATE	DESCRIPTION	BY	APP'D.
1	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
2	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
3	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
4	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
5	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
6	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
7	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
8	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
9	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
10	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
11	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
12	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
13	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
14	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
15	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
16	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
17	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
18	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
19	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.
20	11.11.19	ISSUED FOR PERMITS	J.J.	J.J.

DP 17-202077

REFERENCE PLAN

ISSUED DP  
RESUBMISSION  
2019-04-23

STEVESTON TOWNHOUSE  
DEVELOPMENT (DP 17-792077) FOR

KCNIC  
9851 89th STEVESTON HWY &  
10931 SOUTHGATE ROAD, RICHMOND, BC

UNIT TYPE A1 FLOOR PLANS

Project No: #8127  
Scale: 1/4"=1'-0"  
Drawing No: A5.0  
Sheet: Revision

**SPECIFICATIONS**

**Overhead Clearance Required:** (Measured from finished upper floor to ceiling above)

- 96" (2.4 m) Overhead required for in line drive with controller mounted remotely (84" (2.1 m) Cab height)
- 108" (2.7 m) Overhead required for in line drive with controller mounted above the rails (84" (2.1 m) Cab Height)
- 108" (2.7 m) Overhead required for in line drive with controller mounted remotely (96" (2.4 m) Cab height)
- 120" (3 m) Overhead required for in line drive with controller mounted above the rails (96" (2.4 m) Cab height)
- 96" (2.4 m) Overhead required for hydraulic drive (84" (2.1 m) Cab height)
- 108" (2.7 m) Overhead required for hydraulic drive (96" (2.4 m) Cab height)

**Rated Load:** Standard 750 lbs (340 kg) or 1,000 lbs (455 kg)

**Speed:** 40 ft/min (12.2 meters/min) nominal speed

**Travel Range:** Up to 50 feet (15.2 m)

**Stops:** Up to 6 stops

**Controls:** Fully automatic push button operation | Digital floor indicator in car | Automatic car lighting upon entry | Illuminated push buttons

**Safety Features:** Manual lowering capability | Safety brake system | Hall door interlocks, gate safety switch | Emergency stop and alarm | Solid accordion gate in car

**Hydraulic Drive System:** 1:2 cable hydraulic drive | Quiet submersed pump and motor | Two-speed valve for smooth start and stop

**In-Line Drive System:** Geared direct drive motor | Variable frequency drive for smooth start and stop

**Power Requirements:** 230 VAC single phase | Optional 208 VAC 3 phase (Hydraulic Drive only)

**Popular Options:** Keyed hall stations | Integral emergency telephone | Automatic car gate operator

**Warranty:** 2 year standard warranty | Optional additional 5 year extended warranty (7 years)

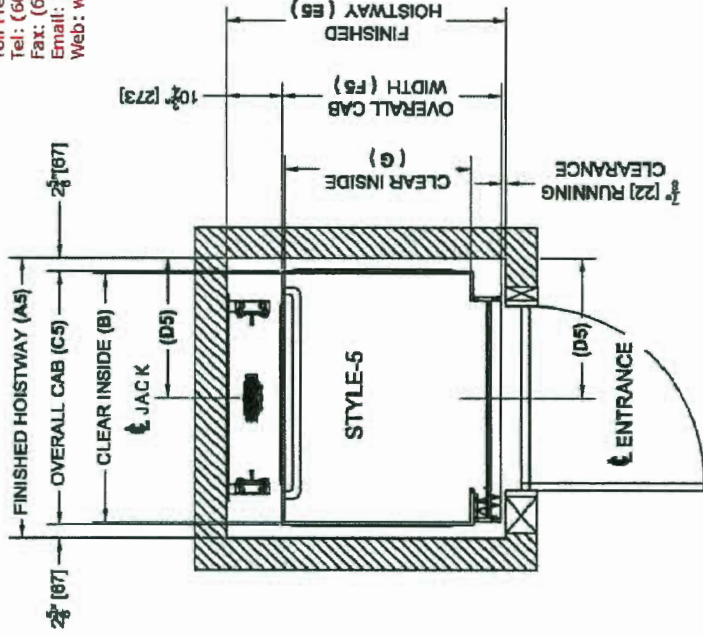
Design Hot Line: 1-800-663-6556 or +1-604-594-0422

**On / Off Same Side Front Configuration Style 5:**

This section is based on the products of Garaventa Lift, which is located at:  
United States  
P.O. Box 1769 Blaine, WA 98231-1769

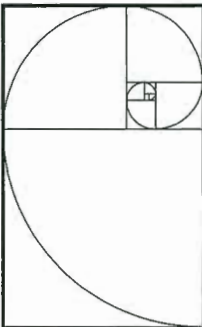
Canada  
7505 134 A St. Surrey, BC V3A 3WB

Toll Free: 800-663-6556  
Tel: (604) 594-0422  
Fax: (604) 594-9915  
Email: [productinfo@garaventalift.com](mailto:productinfo@garaventalift.com)  
Web: [www.garaventalift.com](http://www.garaventalift.com)



Cab Size	A5	B	C5	D5	E5	F5	G	H*
36" X 48"	54 1/4"	48"	49"	27 1/8"	53 7/8"	42 1/4"	36"	27 3/8"
36" X 54"	60 3/4"	54"	55"	30 3/8"	53 7/8"	42 1/4"	36"	30 3/8"
36" X 60"	66 1/4"	60"	61"	33 1/8"	53 7/8"	42 1/4"	36"	33 1/8"
40" X 54"	60 3/4"	54"	55"	30 3/8"	57 7/8"	46 1/4"	40"	30 3/8"
42" X 60"	66 1/4"	60"	61"	33 1/8"	59 7/8"	48 1/4"	42"	33 1/8"
48" X 60"	66 1/4"	60"	61"	33 1/8"	65 7/8"	54 1/4"	48"	33 1/8"

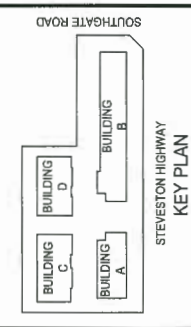
\* Cab sizes are limited to 15 sq. ft. in some areas. Consult with your local Garaventa Lift representative.  
\* H dimension is based on a 36" wide door.  
Dimensions are based on standard 1/2" cab wall thickness used for flat veneer and melamine finishes.  
Dimensions for units with aluminum/glass or panelled walls will vary slightly.



**IMPERIAL ARCHITECTURE**  
HOLDERS OF AN ABC CERTIFICATE OF PRACTICE  
REGISTERED PROFESSIONAL ARCHITECTS  
1100 WEST 10TH AVENUE, SUITE 100  
VANCOUVER, BC V6H 2E6  
TEL: 604-681-1111  
WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
INTERIOR DESIGN  
PLANNING  
Copyright Reserved  
The Copyright in this drawing and its contents is reserved and permission is given that it may be reproduced for personal or professional use only, provided that the reproduction is not for resale or for the reproduction of a similar drawing without the written consent of Imperial Architecture.

**Dimensions**  
The Contractor shall verify all dimensions and immediately report any errors under penalties to Imperial Architecture. DO NOT SCALE DRAWINGS.



REVISION	DATE	BY	APP'D
ISSUED FOR PERMIT	18.11.17	J.Z.	K.L.
ISSUED FOR SUBMISSION	18.11.17	J.Z.	K.L.
ISSUED FOR PERMIT	18.11.17	J.Z.	K.L.
ISSUED FOR SUBMISSION	18.11.17	J.Z.	K.L.
ISSUED FOR PERMIT	18.12.16	J.Z.	K.L.
ISSUED FOR SUBMISSION	18.12.16	J.Z.	K.L.
ISSUED FOR PERMIT	18.11.17	J.Z.	K.L.
ISSUED FOR SUBMISSION	18.11.17	J.Z.	K.L.

DP 17-792077

**REFERENCE PLAN**

ISSUED DP  
RESUBMISSION  
2019-04-23

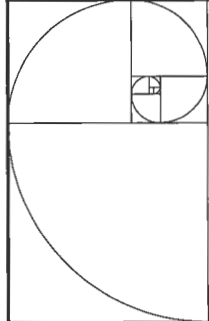
Client/Project  
STEVESTON TOWNHOUSE  
DEVELOPMENT (DP 17-792077) FOR

110931 SOUTHGATE ROAD, RICHMOND, BC

MANUFACTURER'S SPECIFICATION

Project No. #8127  
Scale 1/4"=1'-0"  
Drawing No. Sheet  
Revision

A5.0B

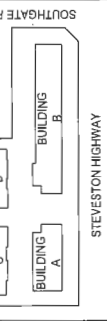


**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 1000 WEST 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1842

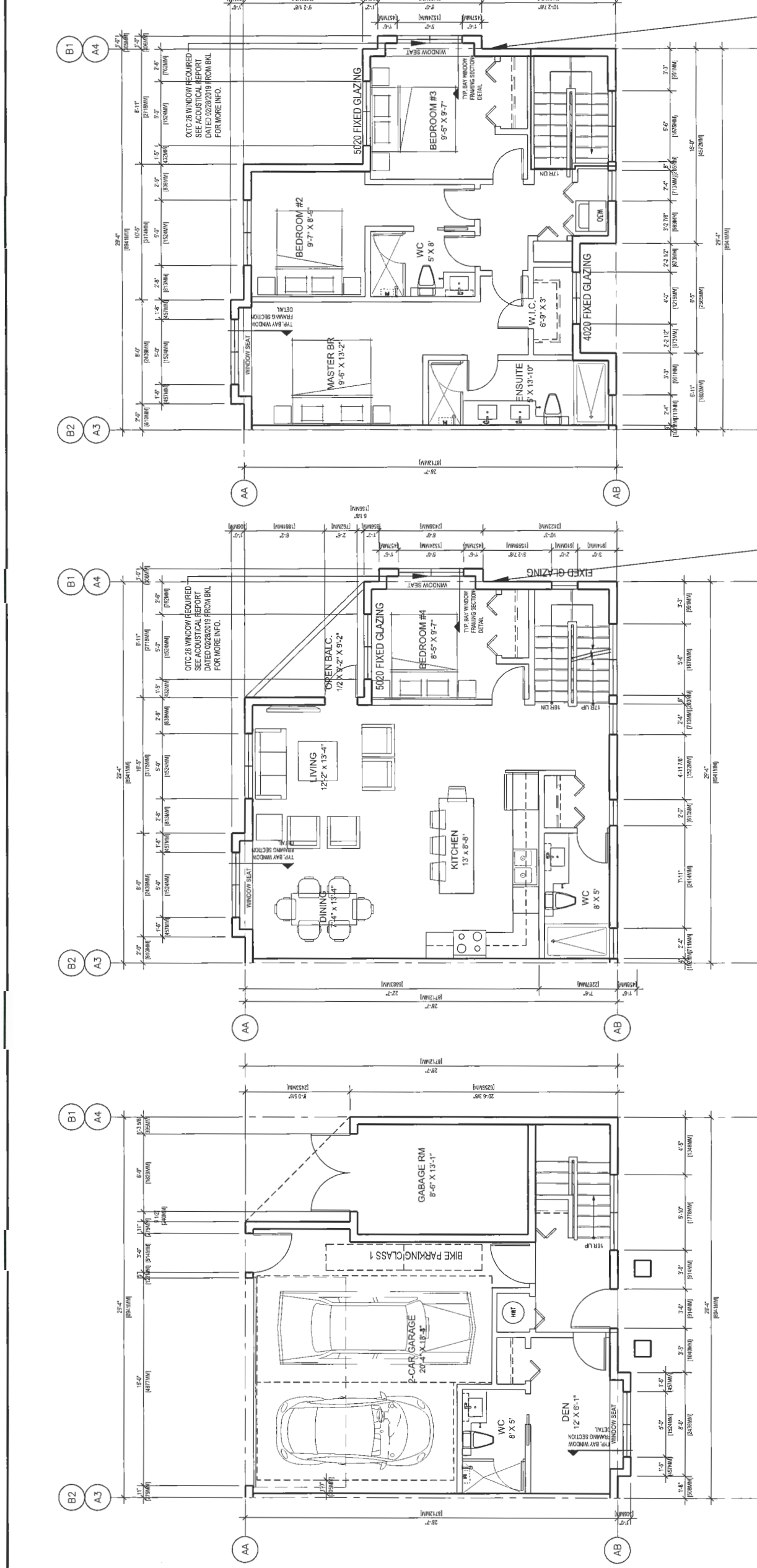
ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved, and remains at all times the property of Imperial Architecture. No part of this drawing may be reproduced without the express written consent of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Imperial Architecture. DO NOT SCALE DIMENSIONS.



NO.	DATE	DESCRIPTION	BY	CHKD.
1	10.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
2	10.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
3	10.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
4	10.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
5	10.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
6	10.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
7	10.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
8	10.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
9	10.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
10	10.11.19	ISSUED FOR PERMITS	J.Z.	K.L.



1 TYPE "A2" UNIT L1 PLAN  
 1/4"=1'-0"  
 AS.1 SCALE

2 TYPE "A2" UNIT L2 PLAN  
 1/4"=1'-0"  
 AS.1 SCALE

3 TYPE "A2" UNIT L3 PLAN  
 1/4"=1'-0"  
 AS.1 SCALE

GENERAL NOTES:  
 1. AGING IN PLACE FEATURES SUCH AS STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.  
 2. UNIT 101 (TYPE A1) IS THE CONVERTIBLE UNIT.  
 3. THE PROJECT WILL PROVIDE HEAT PUMP A/C UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGIDE 82 STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGIDE 82 REQUIREMENTS:  
 (A) SOLAR HOT WATER READY REQUIREMENT  
 (B) ENERGY STAR APPLIANCES AND LIGHT BULBS  
 (C) LOW E DOUBLE GLAZING WINDOWS  
 (D) POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS  
 4. REFER TO ACOUSTICAL REPORT DATED 02/28/2019 FROM BKL FOR ACOUSTICAL REQUIREMENT ON WALLS AND WINDOWS.  
 5. THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN CBC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.  
 6. AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE

ONE ADDITIONAL LAYER OF 5/8" OWB ON BEDROOM WALL REQUIRED. SEE ACOUSTICAL REPORT DATED 02/28/2019 FROM BKL FOR MORE INFO.

ONE ADDITIONAL LAYER OF 5/8" OWB ON BEDROOM WALL REQUIRED. SEE ACOUSTICAL REPORT DATED 02/28/2019 FROM BKL FOR MORE INFO.

ONE ADDITIONAL LAYER OF 5/8" OWB ON BEDROOM WALL REQUIRED. SEE ACOUSTICAL REPORT DATED 02/28/2019 FROM BKL FOR MORE INFO.

ISSUED DP  
 RESUBMISSION  
 2019-04-23

DP 17-792077

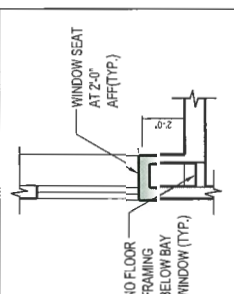
STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR



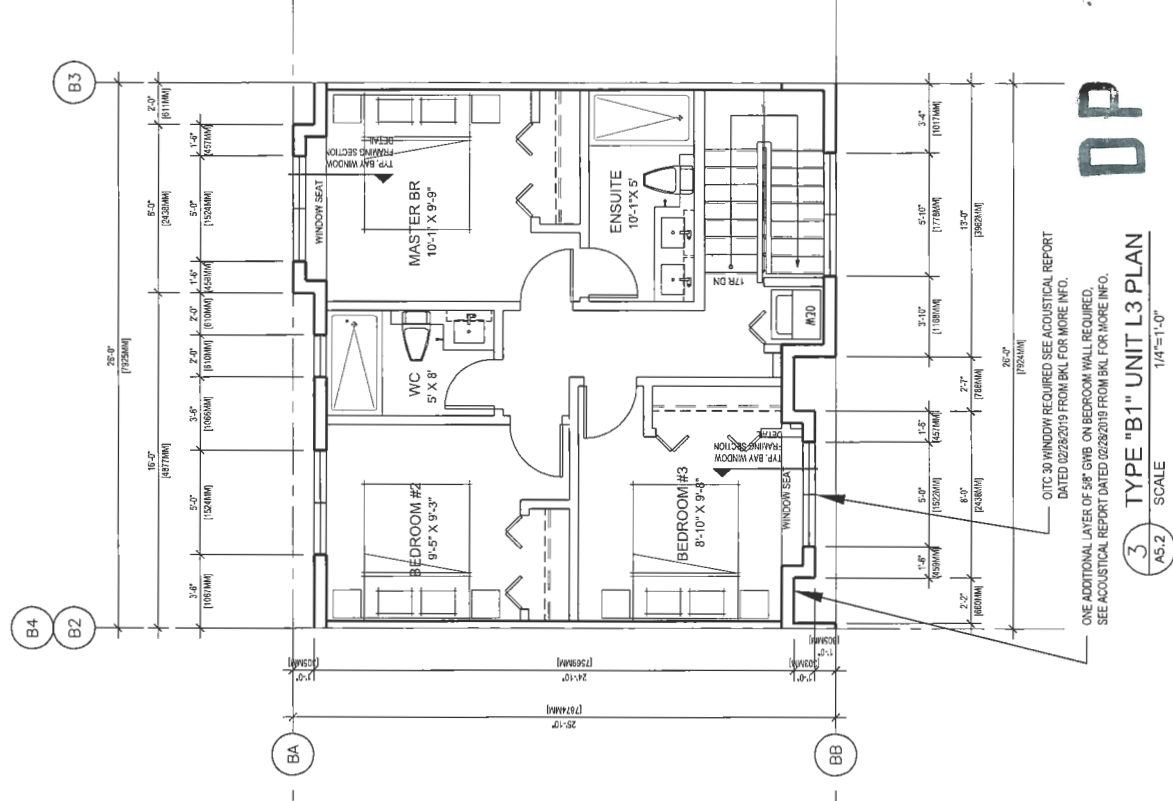
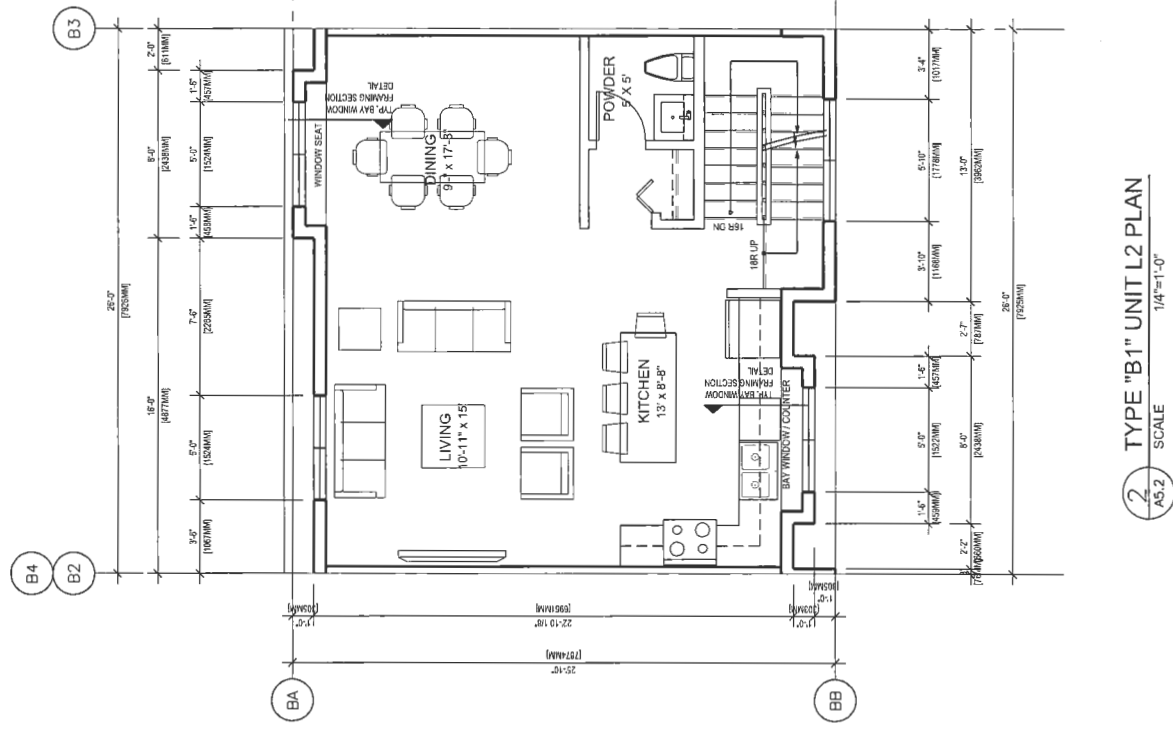
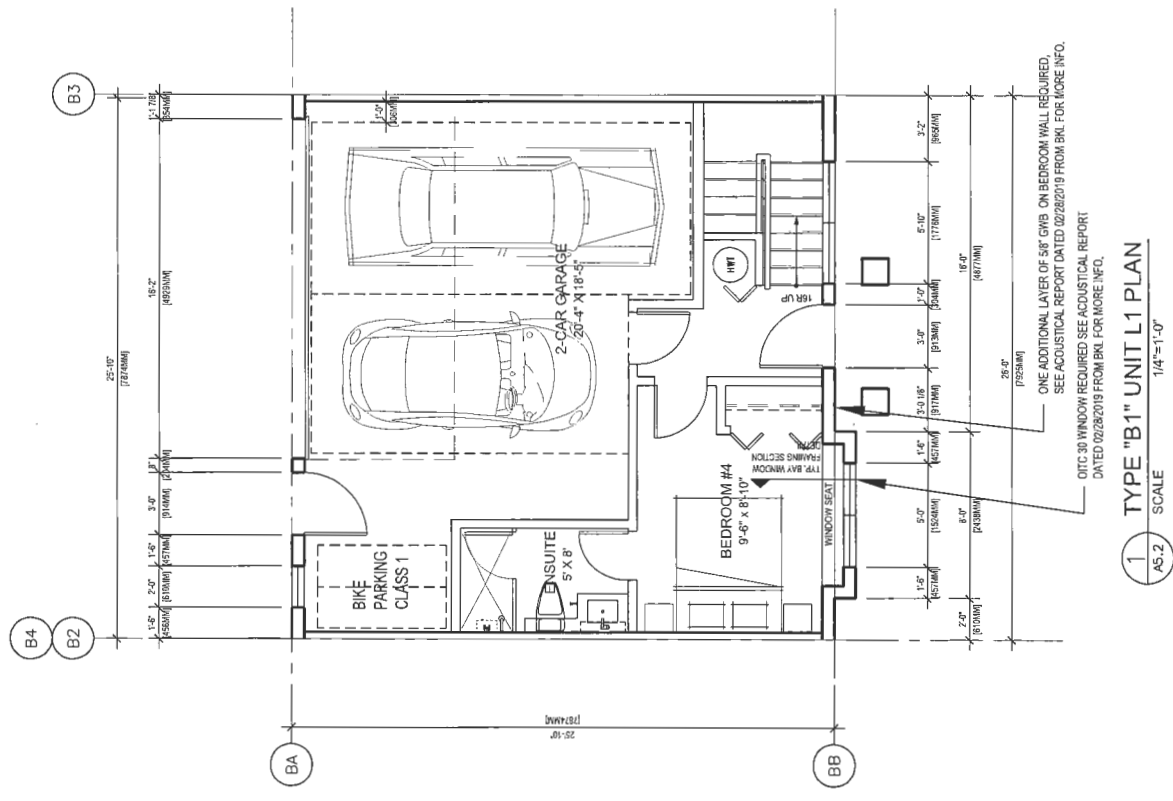
9851.9851 STEVESTON HWY. &  
 10931 SOUTHGATE ROAD, RICHMOND, BC

UNIT TYPE A2 FLOOR PLANS

Scale 1/4"=1'-0"  
 Sheet #8127  
 Drawing No. A.5.1  
 Revision

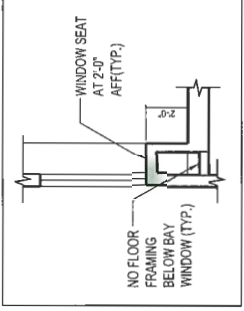


TYP. BAY WINDOW FRAMING SECTION DETAIL



**GENERAL NOTES:**

- AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
- UNIT 101 (TYPE A1) IS THE CONVERTIBLE UNIT.
- THE PROJECT WILL PROVIDE HEAT PUMP AC UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGUIDE 82 STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGUIDE 82 REQUIREMENTS:
  - (A): SOLAR HOT WATER READY REQUIREMENT
  - (B): ENERGY STAR APPLIANCES AND LIGHT BULBS
  - (C): LOW E DOUBLE GLAZING WINDOWS
  - (D): POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
- REFER TO ACoustICAL REPORT DATED 02/28/2019 FROM BKL FOR ACoustICAL REQUIREMENT ON WALLS AND WINDOWS.
- THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BCBC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.
- AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE



**IMPERIAL ARCHITECTURE**  
HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
ADDRESS: 1000 BROADVIEW AVENUE, SUITE 100, VANCOUVER, BC V6H 3R9  
TEL: 604.681.1111

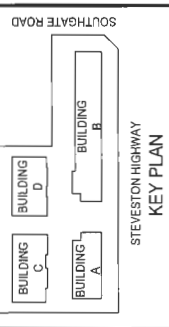
ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

Copyright Reserved  
The Copyright in this drawing and its contents is reserved by Imperial Architecture and no part of it may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.

Dimensions  
The Contractor shall verify all dimensions. If discrepancies are noted, the contractor shall immediately notify the architect in writing. It is the contractor's responsibility to ensure that all dimensions are correct.

**STEVESTON HIGHWAY KEY PLAN**

NO.	DATE	DESCRIPTION	BY	APP'D.
1	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
2	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
3	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
4	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
5	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
6	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
7	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
8	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
9	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
10	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.



**STEVESTON HIGHWAY KEY PLAN**

NO.	DATE	DESCRIPTION	BY	APP'D.
1	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
2	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
3	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
4	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
5	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
6	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
7	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
8	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
9	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.
10	10/11/17	ISSUED FOR PERMIT SUBMISSION	J.L.	K.L.

7-02077

**REFERENCE PLAN**

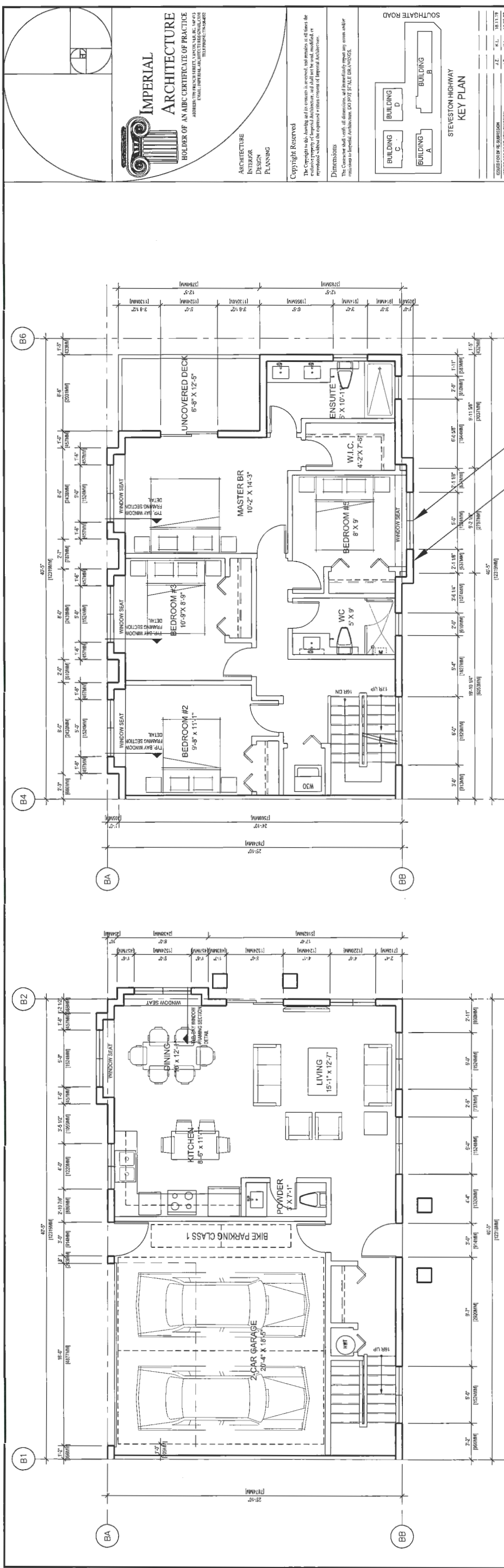
ISSUED DP  
RESUBMISSION  
2019-04-23

Client/Project  
**STEVESTON TOWNHOUSE DEVELOPMENT (DP 17-792077) FOR UNIT TYPE B1 FLOOR PLANS**

9851 9800 STEVESTON HWY & 110931 SOUTHGATE ROAD, RICHMOND, BC

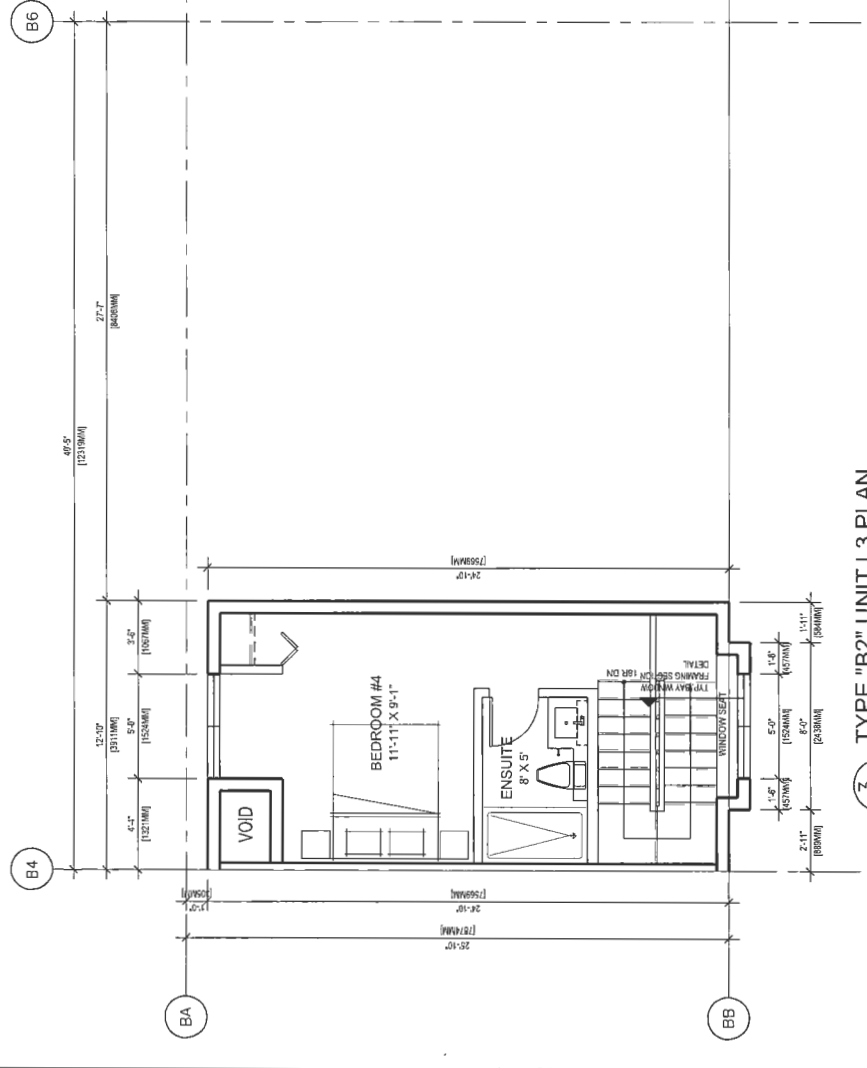
**KONIG ARCHITECTURE**

Project No. #8127  
Scale 1/4"=1'-0"  
Drawing No. A5.2  
Revision

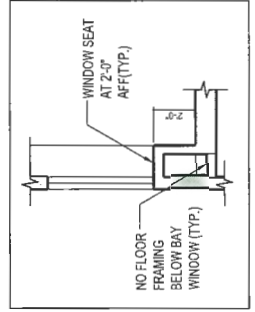


1 TYPE "B2" UNIT L1 PLAN  
AS.3 SCALE 1/4"=1'-0"

2 TYPE "B2" UNIT L2 PLAN  
AS.3 SCALE 1/4"=1'-0"



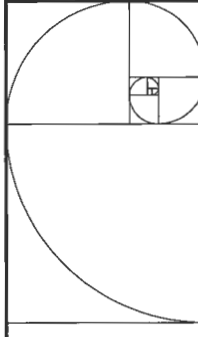
3 TYPE "B2" UNIT L3 PLAN  
AS.3 SCALE 1/4"=1'-0"



TYP. BAY WINDOW FRAMING SECTION DETAIL

GENERAL NOTES:

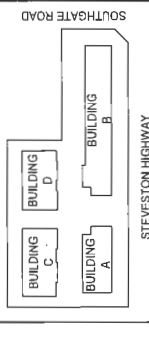
- AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
- UNIT 101 (TYPE A1) IS THE CONVERTIBLE UNIT.
- THE PROJECT WILL PROVIDE HEAT PUMP A/C UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGUIDE 82 STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGUIDE 82 REQUIREMENTS:  
(A); SOLAR HOT WATER READY REQUIREMENT  
(B); ENERGY STAR APPLIANCES AND LIGHT BULBS  
(C); LOW E DOUBLE GLAZING WINDOWS  
(D); POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
- REFER TO ACOUSTICAL REPORT DATED 02/28/2019 FROM BKL FOR ACOUSTICAL REQUIREMENT ON WALLS AND WINDOWS.
- THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BCBC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.
- AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE



**IMPERIAL ARCHITECTURE**  
 ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING  
 HOLDERS OF AN ABC CERTIFICATE OF PRACTICE  
 10031 SOUTHGATE ROAD, RICHMOND, BC  
 TEL: 604.273.1111  
 WWW.IMPERIALARCHITECTURE.COM

Copyright Reserved  
 The Copyright in this drawing is reserved. All rights are reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions of all immediately adjoining areas under the jurisdiction of the contractor. Dimensions shall be to the FACE UNLESS OTHERWISE SPECIFIED.



NO.	DESCRIPTION	DATE	BY	APP'D.
1	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
2	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
3	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
4	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
5	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
6	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
7	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
8	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
9	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
10	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
11	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
12	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
13	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
14	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
15	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
16	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
17	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
18	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
19	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
20	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
21	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
22	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
23	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
24	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
25	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
26	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
27	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
28	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
29	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
30	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
31	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
32	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
33	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
34	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
35	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
36	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
37	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
38	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
39	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
40	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
41	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
42	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
43	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
44	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
45	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
46	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
47	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
48	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
49	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.
50	ISSUED FOR PERMITS	11.15.18	J.Z.	K.L.

DP

202077

REFERENCE PLAN

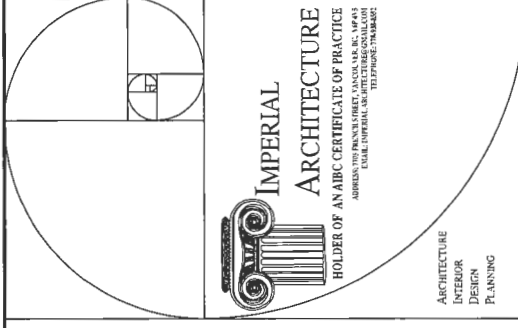
ISSUED DP  
 RESUBMISSION  
 2019-04-23

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR  
 10031 SOUTHGATE ROAD, RICHMOND, BC

Unit Type B2 FLOOR PLANS

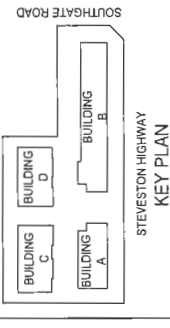
Project No. #8127  
 Scale 1/4"=1'-0"

Sheet A5.3 of



**Copyright Reserved**  
 The Copyright in this drawing and the contents hereof, and all items in it, are reserved by Imperial Architecture. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.

**Dimensions**  
 The Contractor shall verify all dimensions, and immediately notify the architect in writing of any discrepancies. The Contractor shall verify all dimensions, and immediately notify the architect in writing of any discrepancies.



NO.	DATE	DESCRIPTION	BY	CHK.	APP.
1	11.11.18	ISSUED FOR PERMIT	J.Z.	K.L.	11.11.18
2	11.11.18	ISSUED FOR PERMIT	J.Z.	K.L.	11.11.18
3	11.11.18	ISSUED FOR PERMIT	J.Z.	K.L.	11.11.18
4	11.11.18	ISSUED FOR PERMIT	J.Z.	K.L.	11.11.18
5	11.11.18	ISSUED FOR PERMIT	J.Z.	K.L.	11.11.18
6	11.11.18	ISSUED FOR PERMIT	J.Z.	K.L.	11.11.18
7	11.11.18	ISSUED FOR PERMIT	J.Z.	K.L.	11.11.18
8	11.11.18	ISSUED FOR PERMIT	J.Z.	K.L.	11.11.18
9	11.11.18	ISSUED FOR PERMIT	J.Z.	K.L.	11.11.18
10	11.11.18	ISSUED FOR PERMIT	J.Z.	K.L.	11.11.18

792077

REFERENCE PLAN

ISSUED DP  
 RESUBMISSION  
 2019-04-23

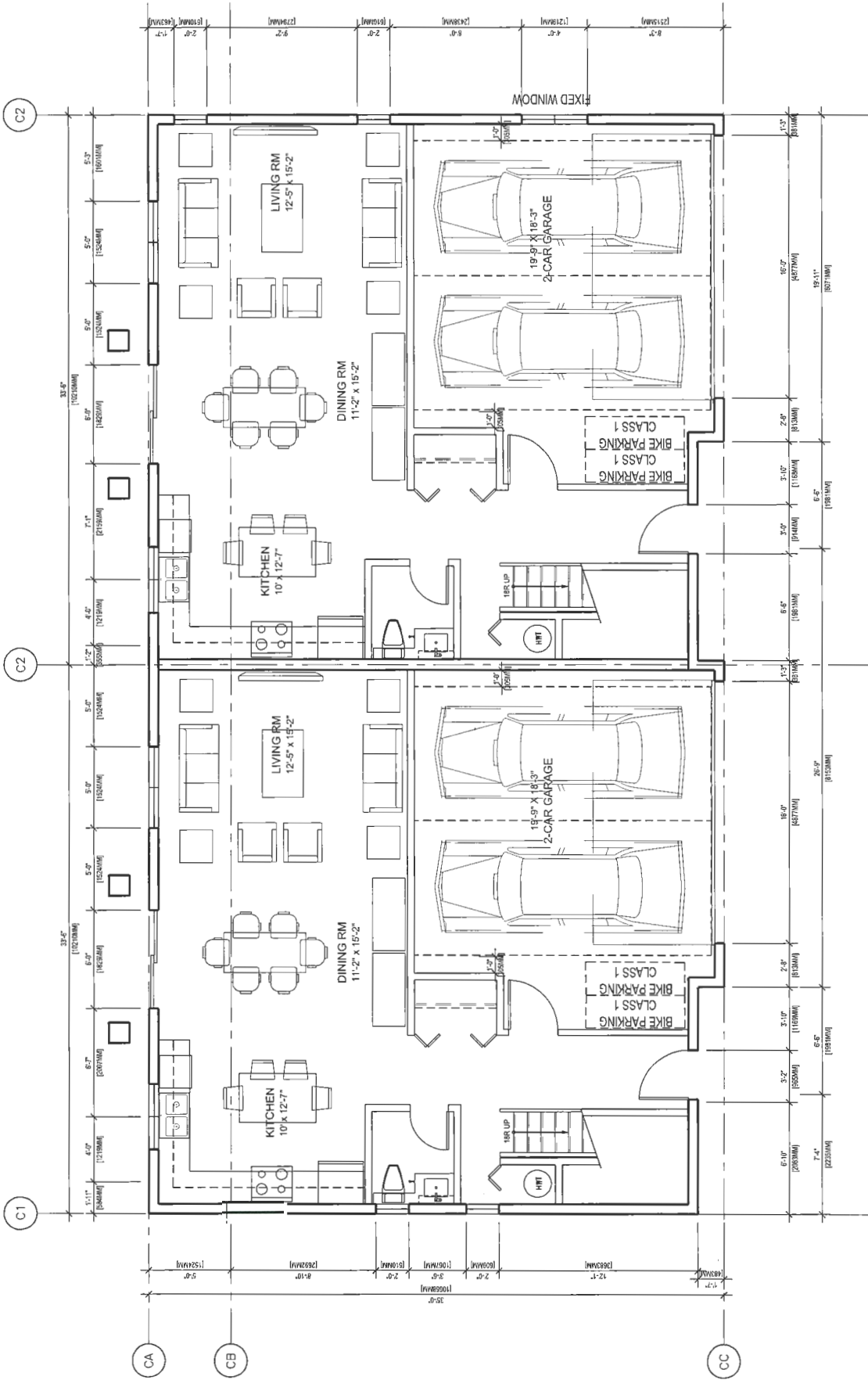
Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR

9551-985 STEVESTON HWY & 10031 SOUTHWEST GATE ROAD, RICHMOND, BC

Title  
 UNIT TYPE C1/C2  
 LEVEL 1 FLOOR PLANS

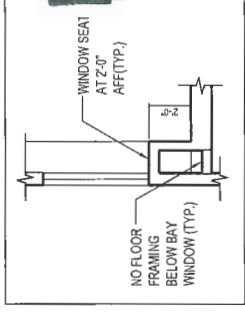
Project No. #8127  
 Scale 1/4" = 1'-0"

Sheet A5.4 of



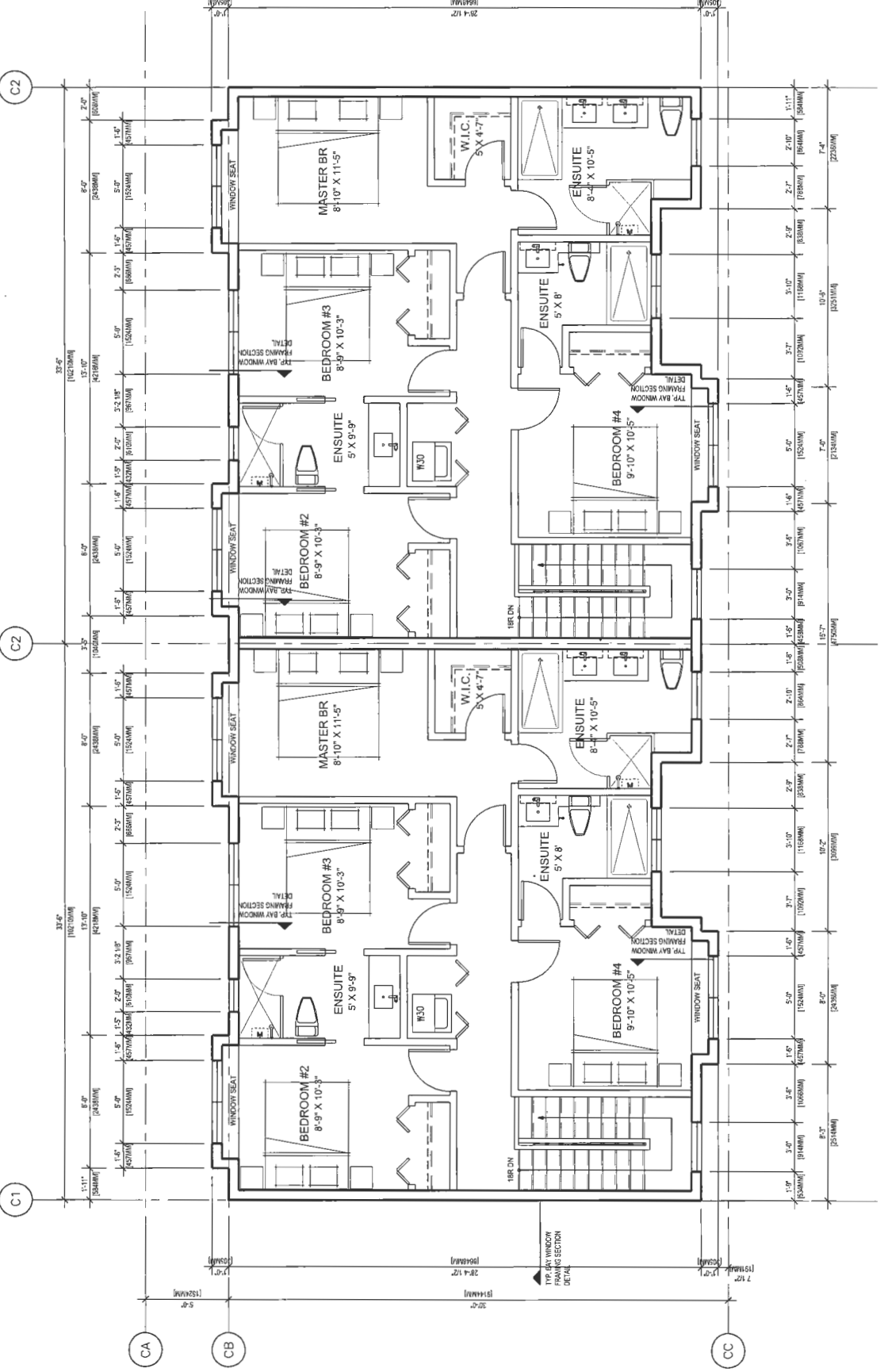
1 TYPE "C1" UNIT L1 PLAN  
 SCALE 1/4"=1'-0"

2 TYPE "C2" UNIT L1 PLAN  
 SCALE 1/4"=1'-0"



GENERAL NOTES:

- AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
- UNIT 101 (TYPE A1) IS THE CONVERTIBLE UNIT.
- THE PROJECT WILL PROVIDE HEAT PUMP A/C UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGUEIDE 82 STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGUEIDE 82 REQUIREMENTS:  
 (A): SOLAR HOT WATER READY REQUIREMENT  
 (B): ENERGY STAR APPLIANCES AND LIGHT BULBS  
 (C): LOW E DOUBLE GLAZING WINDOWS  
 (D): POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
- REFER TO ACOUSTICAL REPORT DATED 02/28/2019 FROM BKL FOR ACOUSTICAL REQUIREMENT ON WALLS AND WINDOWS.
- THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BCBC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.
- AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE

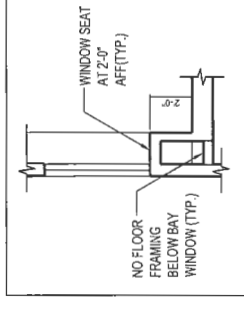


1 TYPE "C1" UNIT L2 PLAN  
SCALE 1/4"=1'-0"  
A5.5

2 TYPE "C2" UNIT L2 PLAN  
SCALE 1/4"=1'-0"  
A5.5

GENERAL NOTES:

- AGING IN PLACE FEATURES SUCH AS STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
- UNIT 101 (TYPE A1) IS THE CONVERTIBLE UNIT.
- THE PROJECT WILL PROVIDE HEAT PUMP A/C UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGUEIDE 82 STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGUEIDE 82 REQUIREMENTS:  
(A): SOLAR HOT WATER READY REQUIREMENT  
(B): ENERGY STAR APPLIANCES AND LIGHT BULBS  
(C): LOW E DOUBLE GLAZING WINDOWS  
(D): POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
- REFER TO ACOUSTICAL REPORT DATED 02/28/2019 FROM BKL FOR ACOUSTICAL REQUIREMENT ON WALLS AND WINDOWS.
- THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BCBC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.
- AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE



TYP. BAY WINDOW FRAMING  
SECTION DETAIL

DP  
17-792077

REFERENCE PLAN

ISSUED DP  
RESUBMISSION  
2019-04-23

Client/Project  
STEVESTON TOWNHOUSE  
DEVELOPMENT (DP 17-792077) FOR

**KONIG**  
INTERIORS  
9851.989 STEVESTON HWY &  
10931 SOUTHGATE ROAD, RICHMOND, BC

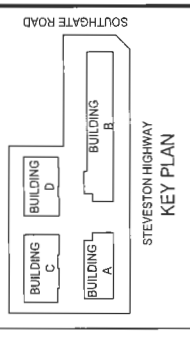
Title  
UNIT TYPE C1 /C2  
LEVEL 2 FLOOR PLANS

Project No.  
#8127  
Scale  
1/4"=1'-0"

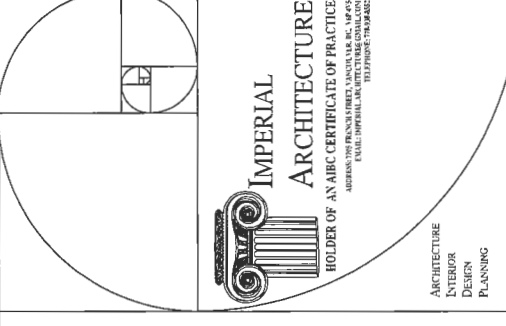
Sheet  
A5.5  
Revision

**IMPERIAL ARCHITECTURE**  
ARCHITECTURE  
INTERIOR  
DESIGN  
PLANNING  
HOLDERS OF AN ABC CERTIFICATE OF PRACTICE  
ADDRESS: 1779 AVENUE STREET, VANCOUVER, B.C. V6P 4G5  
PHONE: 604-278-1111 FAX: 604-278-1112  
EMAIL: INFO@IMPERIALARCH.COM WEBSITE: WWW.IMPERIALARCH.COM

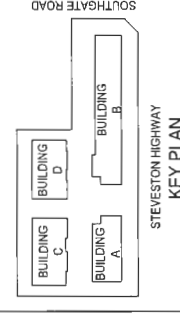
Copyright Reserved  
The Copyright to this drawing and file contents is reserved. All rights are reserved. All items are the exclusive property of Imperial Architecture and shall not be used, modified, or reproduced without the express written consent of Imperial Architecture.  
Dimensions  
The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Imperial Architecture. DO NOT SCALE DRAWINGS.



REVISION	DATE	BY	APP'D.	REASON
1	18.11.19	J.L.	J.L.	ISSUED FOR PERMITS
2	18.06.20	J.L.	J.L.	ISSUED FOR PERMITS
3	17.11.20	J.L.	J.L.	ISSUED FOR PERMITS
4	17.05.20	J.L.	J.L.	ISSUED FOR PERMITS
5	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
6	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
7	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
8	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
9	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
10	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
11	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
12	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
13	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
14	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
15	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
16	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
17	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
18	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
19	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS
20	18.11.20	J.L.	J.L.	ISSUED FOR PERMITS



Copyright Reserved  
 The Copyright in the drawings and the revision(s) herein and the creation of all items for which Imperial Architecture is responsible is hereby acknowledged and reserved for Imperial Architecture. No part of these drawings may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.



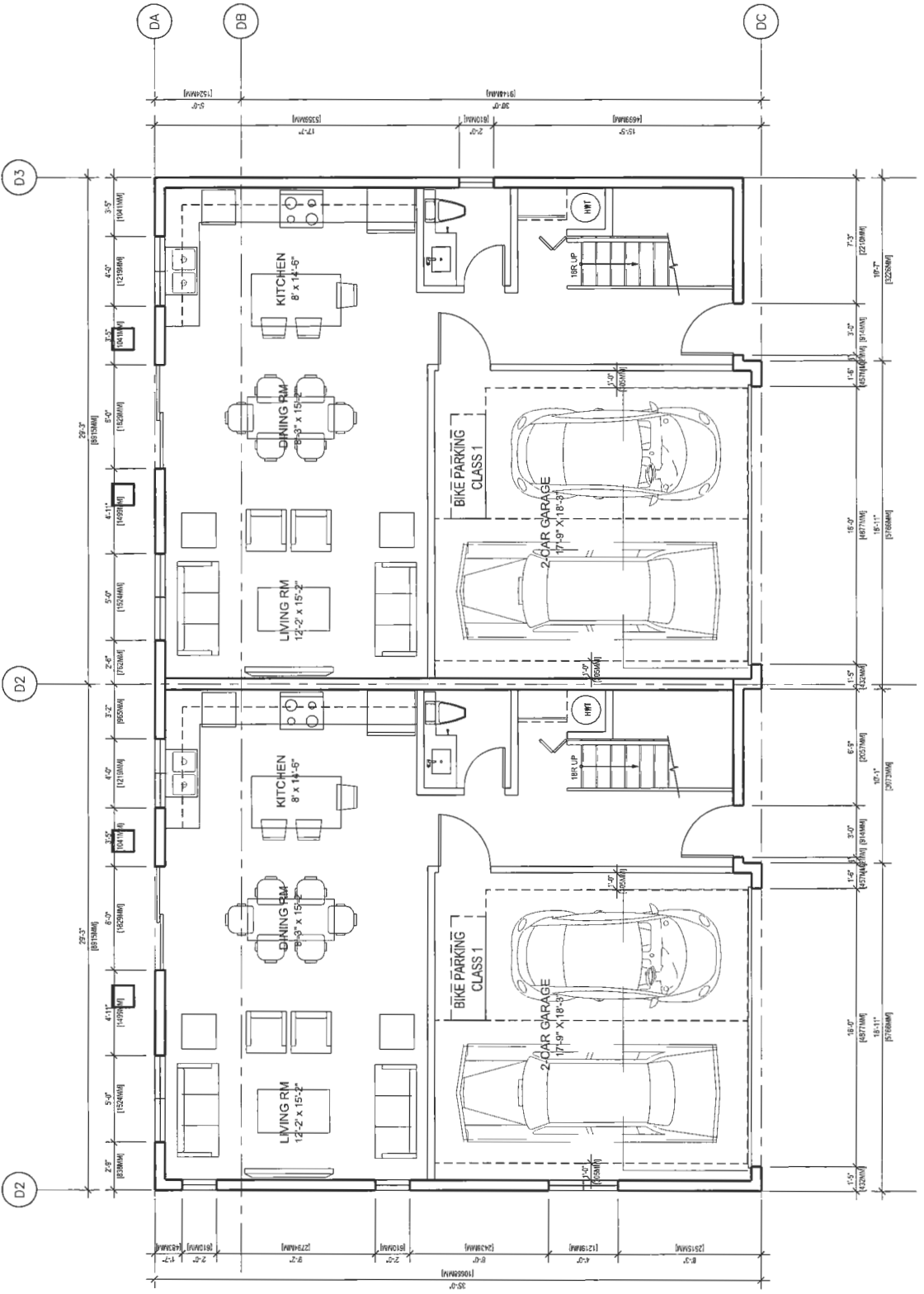
NO.	DATE	DESCRIPTION	BY	APP'D.
1	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
2	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
3	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
4	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
5	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
6	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
7	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
8	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
9	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
10	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
11	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
12	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
13	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
14	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
15	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
16	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
17	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
18	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
19	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
20	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
21	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
22	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
23	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
24	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
25	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
26	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
27	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
28	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
29	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
30	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
31	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
32	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
33	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
34	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
35	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
36	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
37	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
38	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
39	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
40	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
41	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
42	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
43	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
44	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
45	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
46	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
47	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
48	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
49	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
50	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
51	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
52	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
53	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
54	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
55	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
56	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
57	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
58	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
59	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
60	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
61	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
62	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
63	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
64	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
65	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
66	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
67	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
68	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
69	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
70	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
71	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
72	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
73	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
74	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
75	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
76	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
77	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
78	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
79	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
80	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
81	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
82	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
83	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
84	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
85	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
86	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
87	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
88	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
89	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
90	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
91	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
92	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
93	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
94	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
95	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
96	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
97	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
98	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
99	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.
100	18.11.19	ISSUED FOR PERMITS	J.Z.	K.L.

REFERENCE PLAN

ISSUED DP  
 RESUBMISSION  
 2019-04-23

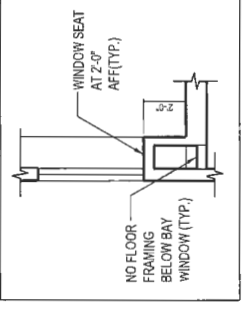
Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR

Unit Type D1/D2  
 LEVEL 1 FLOOR PLANS  
 Project No. #8127  
 Scale 1/4"=1'-0"  
 Drawing No. A5.6 of



2 TYPE "D2" UNIT L1 PLAN  
 SCALE 1/4"=1'-0"

1 TYPE "D1" UNIT L1 PLAN  
 SCALE 1/4"=1'-0"



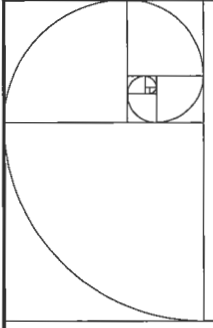
GENERAL NOTES:

- AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
- UNIT 101 (TYPE A1) IS THE CONVERTIBLE UNIT.
- THE PROJECT WILL PROVIDE HEAT PUMP AC UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGUEIDE 82 STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGUEIDE 82 REQUIREMENTS:  
 (A): SOLAR HOT WATER READY REQUIREMENT  
 (B): ENERGY STAR APPLIANCES AND LIGHT BULBS  
 (C): LOW E DOUBLE GLAZING WINDOWS  
 (D): POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
- REFER TO ACOUSTICAL REPORT DATED 02/28/2019 FROM BKL FOR ACOUSTICAL REQUIREMENT ON WALLS AND WINDOWS.
- THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BCBC: 2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.
- AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE

DP

077

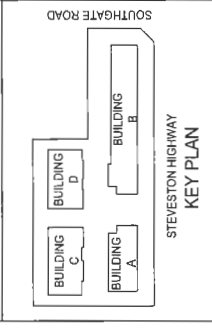




**IMPERIAL ARCHITECTURE**  
 HOLDERS OF AN AIBC CERTIFICATE OF PRACTICE  
 JAMES (THE ARCHITECT) CANADA U.S. INC. 10440  
 11000 150TH STREET, RICHMOND, BC V6V 1R7  
 TEL: 604.273.1111 FAX: 604.273.1112  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

Copyright Reserved  
 The rights which belong to the Imperial Architecture firm in this document are reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the express written permission of Imperial Architecture.



NO.	DATE	DESCRIPTION	BY	APP'D.
1	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
2	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
3	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
4	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
5	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
6	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
7	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
8	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
9	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
10	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
11	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
12	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
13	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
14	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
15	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
16	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
17	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
18	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
19	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.
20	10.11.17	ISSUED FOR PERMIT	J.L.	J.L.

ISSUED DP  
 RESUBMISSION  
 2019-04-23

STEVESTON TOWNHOUSE  
 DEVELOPMENT (DP 17-792077) FOR

9851 5603 STEVESTON FERRY &  
 10931 SOUTHGATE ROAD, RICHMOND, BC

UNIT TYPE D1/D2  
 LEVEL 2 FLOOR PLANS

Project No. #8127  
 Scale 1/4"=1'-0"

Drawing No. Sheet  
 Revision

**A5.7**

DP

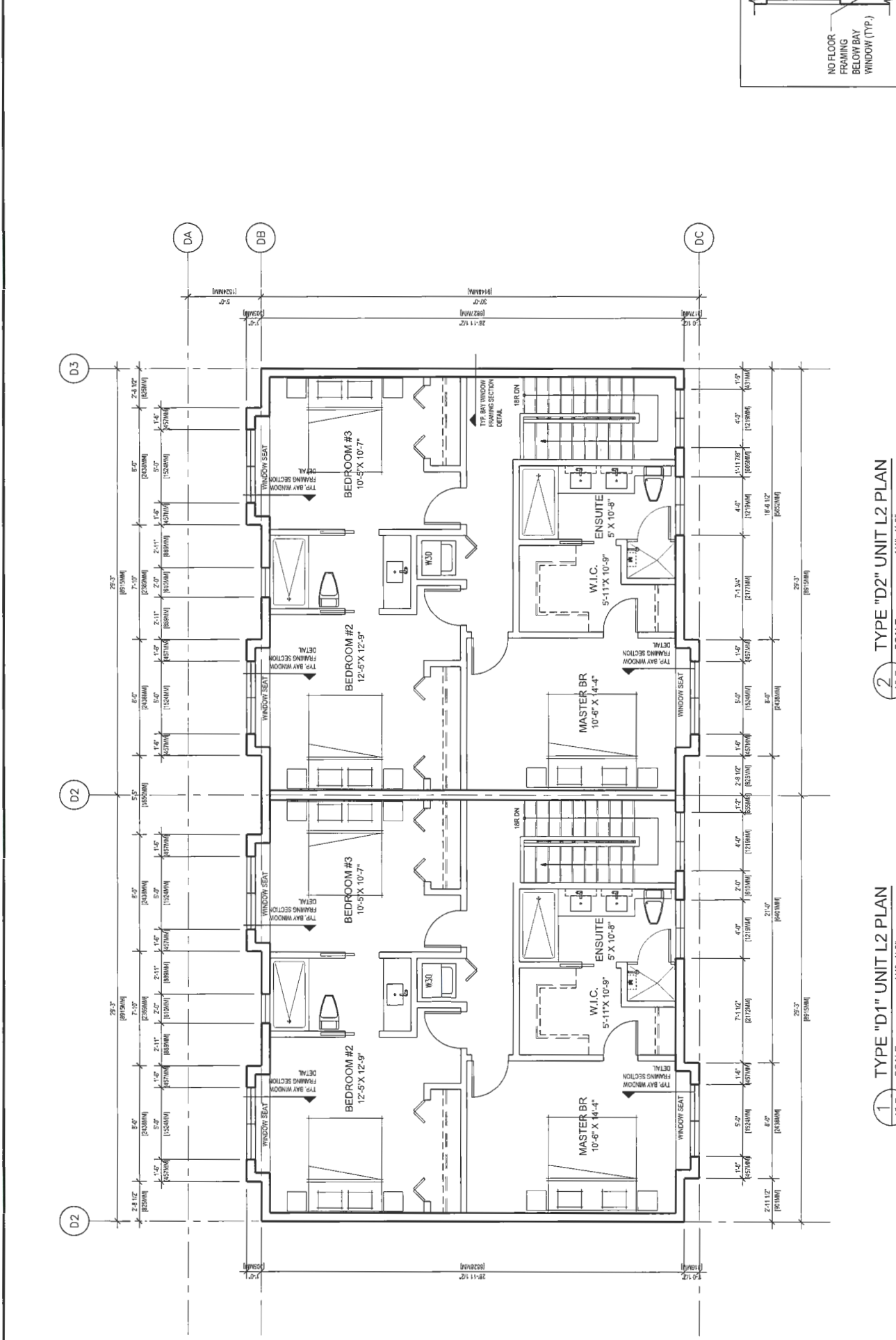
TYP BAY WINDOW FRAMING SECTION DETAIL

GENERAL NOTES:

- AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
- UNIT 101 (TYPE A1) IS THE CONVERTIBLE UNIT.
- THE PROJECT WILL PROVIDE HEAT PUMP A/C UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGUIDE 82 STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGUIDE 82 REQUIREMENTS:  
 (A): SOLAR HOT WATER READY REQUIREMENT  
 (B): ENERGY STAR APPLIANCES AND LIGHT BULBS  
 (C): LOW E DOUBLE GLAZING WINDOWS  
 (D): POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
- REFER TO ACOUSTICAL REPORT DATED 02/28/2019 FROM BKL FOR ACOUSTICAL REQUIREMENT ON WALLS AND WINDOWS.
- THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BCBC- 2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.
- AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE

1 TYPE "D1" UNIT L2 PLAN SCALE 1/4"=1'-0"

2 TYPE "D2" UNIT L2 PLAN SCALE 1/4"=1'-0"



Copyright Reserved  
 The rights which belong to the Imperial Architecture firm in this document are reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the express written permission of Imperial Architecture.