



**To:** Development Permit Panel

**Date:** July 16, 2021

**From:** Wayne Craig  
Director of Development

**File:** DP 19-881156

**Re:** **Application by Minoru View Homes Ltd. for a Development Permit at 5740, 5760, and 5800 Minoru Boulevard**

---

**Staff Recommendation**

That a Development Permit be issued which would permit the construction of a:

- 1) High-rise mixed use development, comprising an office tower, ground floor retail, non-profit social service replacement space, and 429 dwellings including 88 low-end-of-market-rental (LEMR) units at 5740, 5760, and 5800 Minoru Boulevard, on a site zoned "High Density Mixed Use and Affordable Rental Housing (ZMU46) – Lansdowne Village (City Centre)"; and
- 2) Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 10138, to reduce the minimum balcony setback from 2.0 m to 1.5 m above the second storey along the Minoru Boulevard frontage of the southwest residential tower and the east street frontage of the affordable housing building.

Wayne Craig  
Director of Development

WC:sch  
Att. 7



## Staff Report

### Origin

Minoru View Homes Ltd. has applied to the City of Richmond for permission to construct a high-rise mixed use development, comprising an office tower, ground floor retail, non-profit social service replacement space, and 429 dwellings including 88 low-end-of-market-rental (LEMR) units at 5740, 5760, and 5800 Minoru Boulevard, on a site zoned "High Density Mixed Use and Affordable Rental Housing (ZMU46) – Lansdowne Village (City Centre)". (Attachment 1)

The site currently contains several unoccupied low-rise commercial buildings. For the purpose of the subject development, through RZ 18-807640, the Official Community Plan (OCP) and City Centre Area Plan (CCAP) are being amended, to encourage office uses along the east side of Minoru Boulevard and designate the south side of Lansdowne Road for park use, under Bylaw 7100, Amendment Bylaw 10136 and 10137, and the site is being rezoned from "Industrial Retail (IR1)" to "School and Institution Use (SI)" and "High Density Mixed Use and Affordable Rental Housing (ZMU46) – Lansdowne Village (City Centre)", under Bylaw 8500, Amendment Bylaw 10138. Prior to adoption of the rezoning bylaws, the developer shall, among other things:

- 1) Register a Housing Agreement and Covenant on title to the lot to secure 88 low-end-of-market-rental (LEMR) units with a combined habitable unit area of 6,166 m<sup>2</sup> (66,370 ft<sup>2</sup>) (i.e. 20% of total residential floor area), constructed to a turnkey level of finish (at the developer's cost), in an affordable rental housing building along the site's east side, subject to a Memorandum of Understanding with a non-profit operator (S.U.C.C.E.S.S.);
- 2) Register a legal agreement on title to the lot to secure 462 m<sup>2</sup> (4,977 ft<sup>2</sup>) gross leasable area (GLA) of affordable rental replacement non-profit social service agency space (constructed to a shell level of finish), plus ancillary circulation, and give first rights of refusal for occupancy to the site's two former non-profit social service tenants;
- 3) Register a legal agreement on title to the lot restricting subdivision of the proposed 14,826 m<sup>2</sup> (159,587 ft<sup>2</sup>) office tower to a maximum of one strata lot or air space parcel per storey;
- 4) Transfer 859 m<sup>2</sup> (0.21 acre) of fee simple land to the City for use as a 7 m (23 ft.) wide linear park along the south side of Lansdowne Road and register a statutory rights-of-way on title along the site's Lansdowne Road frontage to secure additional contiguous space for public plaza and walkway use; and
- 5) Enter into a Servicing Agreement, secured with a letter of credit, to design and construct all engineering, transportation, and parks off-site requirements in respect to the proposed development including, but not limited to, utility upgrades, widening of Lansdowne Road, an off-street bike path along Minoru Boulevard, conversion of an existing lane along the site's east side to a local street, public realm improvements along all street frontages, and the creation of the new linear park along Lansdowne Road. Some engineering and transportation works (i.e. not parks works) may be eligible for Development Cost Charge credits.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.



## Background

Development surrounding the subject site is as follows:

- To the north: Lansdowne Road, beyond which, at 5520, 5560, and 5660 Minoru Boulevard, rezoning is under review for a high-rise mixed use project on a site occupied by low-rise commercial buildings (RZ 16-744658) and, at 5591, 5631, 5651, and 5671 No. 3 Road, construction is approved for a linear park and high-rise development comprising 365 dwellings, office, retail, and 557 m<sup>2</sup> (6,000 ft<sup>2</sup>) of non-profit social service agency replacement space (RZ 17-779262 / DP 18-829841).
- To the south: A retail car lot, beyond which are Ackroyd Road and a high-rise development containing the City Centre Community Centre and Trinity Western University.
- To the east: An existing City lane, which the developer must widen to become a street (as designated by the CCAP), beyond which are a mix of older low-rise commercial buildings and newer mixed use towers fronting No. 3 Road.
- To the west: Minor Boulevard, beyond which are low-rise commercial and light industrial buildings designated by the CCAP for medium density mixed use development.

In addition, the subject site is located within 400 m (4,300 ft.) or roughly a 5-minute walk of the Lansdowne Canada Line Station.

## Rezoning and Public Hearing Results

The Public Hearing for rezoning was held on September 8, 2020. Concern was raised that the stand-alone affordable housing building may segregate the low-end-of-market-rental (LEMR) residents from the market residents. Staff worked with the applicant to address this issue by:

- 1) Securing the entirety of the development's 2,977 m<sup>2</sup> (32,044 ft<sup>2</sup>) podium-level outdoor amenity space and adjacent 484 m<sup>2</sup> (5,210 ft<sup>2</sup>) indoor fitness facility for shared use by the LEMR and market strata residents (subject to legal agreements registered on title);
- 2) Supporting shared use of the podium-level amenities by both LEMR and market strata residents with spaces/uses that encourage socializing (e.g., dog run, children's playgrounds and lawn, garden plots, and outdoor kitchens and dining areas) and providing direct access to/from fronting LEMR and market units and the indoor fitness facility; and
- 3) Providing a high quality of materials and finishes throughout the development, including special facade and landscape features along the project's east site (e.g., zigzag balcony pattern with colourful guards, decorative paving, planting, trees, weather protection, and seating) to enhance the streetscape at the LEMR building and southeast market strata tower.

The development's non-profit housing operator, S.U.C.C.E.S.S., has reviewed the developer's proposal and confirmed that it supports the proposed design. (Attachment 3)

During the rezoning process, staff identified various items requiring design development through the Development Permit process. In brief, this included refinements to the public realm design and park interface, affordable housing building and non-profit social services (NPSS) space, residential amenity space, low carbon energy plant, and loading/waste facilities. All items have been addressed. Details are provided in the Staff Comments and Analysis sections of this report.



## Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the rezoning and subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and City Centre Area Plan (CCAP), as amended under Bylaw 7100, Amendment Bylaw 10136 and 10137, and complies with the "High Density Mixed Use and Affordable Rental Housing (ZMU46) – Lansdowne Village (City Centre)" zone, except as described in the Zoning Compliance/Variance section of this report.

- 1) Affordable Housing: The site-specific ZMU46 zone includes residential rental tenure zoning requiring at least 88 rental units and provides for a 0.2 FAR affordable housing bonus to facilitate an increased developer contribution (beyond the typical 10% minimum LEMR requirement). As a condition of rezoning adoption, the developer must construct all 88 residential rental tenure units as LEMR units (to a turnkey level of finish), together with ancillary and indoor amenity spaces, in a stand-alone affordable housing building (along with related features such as residential amenity space, parking, and bike storage).

Affordable Housing staff support the applicant's proposal, as summarized in the table below. The proposed 88 low-end-of-market-rental (LEMR) units have a combined habitable unit area of 6,166 m<sup>2</sup> (66,370 ft<sup>2</sup>) (i.e. 20% of total residential floor area). Council adopted Housing Agreement Bylaw 10214 to secure the units on January 25, 2021. The developer has entered into a Memorandum of Understanding with a non-profit housing operator to manage the affordable housing building (S.U.C.C.E.S.S.) and the operator has reviewed the DP design and confirmed it is satisfactory (Attachment 3). Prior to rezoning adoption and DP issuance, a Housing Covenant will be registered on title to the lot to secure the details of the developer's contribution, to the City's satisfaction.

Building Features	Estimated Minimum @ RZ Stage	Proposed Minimum Floor Area
<i>A. MIN. RESIDENTIAL SPACE</i>	6,431 m <sup>2</sup> (69,217 ft <sup>2</sup> )	7,127 m <sup>2</sup> (76,712 ft <sup>2</sup> )
• Min. Combined Total Habitable Unit Area	Not specified	6,166 m <sup>2</sup> (66,370 ft <sup>2</sup> )
• Min. Residential Ancillary Space	Not specified	961 m <sup>2</sup> (10,342 ft <sup>2</sup> )
<i>B. MIN. EXCLUSIVE INDOOR AMENITY SPACE</i>	111 m <sup>2</sup> (1,194 ft <sup>2</sup> )	154 m <sup>2</sup> (1,654 ft <sup>2</sup> )
<i>C. MIN. TOTAL AFFORDABLE HOUSING FEATURES</i>	6,541 m <sup>2</sup> (70,411 ft <sup>2</sup> )	7,280 m <sup>2</sup> (78,366 ft <sup>2</sup> )
Min. Number of Units	88	88
Unit Mix	Studio/1-BR: 47% (41 units) 2-BR/3-BR: 53% (47 units)	Studio/1-BR: 47%(41 units) 2-BR/3-BR: 53% (47 units)

### NOTE:

- Floor areas exclude standard Zoning Bylaw exemptions.
- Min. Residential Space excludes the Level 1 and 2 lobbies shared with the non-profit social service (NPSS) tenants. Prior to rezoning adoption and DP issuance, legal agreements will be registered on title to secure the developer's commitment to construct both lobbies to a turnkey level of finish (at the developer's cost) and provide for shared use of the lobbies by the LEMR and NPSS tenants, to the City's satisfaction.
- Min. Exclusive Indoor Amenity Space means the indoor amenity space located within the affordable rental building for the exclusive use of the affordable housing unit residents/operator, including 18.6 m<sup>2</sup> (200.0 ft<sup>2</sup>) for the non-profit housing operator administration and program purposes.
- Min. Number of Units is secured through Residential Rental Tenure Zoning, as specified in the ZMU46 zone.
- 100% of affordable housing units shall comply with the City's Basic Universal Housing (BUH) standards.



- 2) Non-Profit Social Service (NPSS) Replacement Space: As determined through the rezoning, the developer proposes to comply with City objectives aimed at mitigating development impacts on existing City Centre NPSS agencies by providing replacement space on the subject site for two former NPSS tenants: Community Mental Wellness Society of Canada (C.M.W.S.C.) and Richmond Society for Community Living (R.S.C.L.). This will include, among other things:
- Constructing replacement space at a 1:1 ratio to a shell level of finish and providing ancillary space (e.g., circulation) at a turnkey level of finish;
  - Designating 23 parking spaces for exclusive use of the NPSS tenants and their visitors;
  - Limiting rents to 50% of comparable market rates; and
  - Granting the former tenants first right of refusal to occupy the replacement space.

The proposed NPSS space is located on the second floor of the affordable housing building, with views to the new street along the site's east side (McNaughton Road). As approved through rezoning, access to the space is via two lobbies shared with the building's LEMR residents, including one at grade and a second floor lobby with direct access to the parkade and the NPSS's designated parking spaces. The proposed floor area is consistent with the rezoning and the two former NPSS tenants have confirmed that the DP design meets their needs (Attachments 4 and 5). Prior to rezoning adoption and DP issuance, a legal agreement will be registered on title to secure the details of the developer's NPSS space commitment.

MINIMUM PERMITTED (AS PER RZ 18-807640)	PROPOSED
Total area to be determined based on: <ul style="list-style-type: none"> <li>• Tenant units: 426 m<sup>2</sup> (4,582 ft<sup>2</sup>) GLA</li> <li>• Ancillary space (e.g., Level 1 &amp; 2 lobbies shared with the building's LEMR residents)</li> </ul>	TOTAL: 714.2 m <sup>2</sup> (7,688.0 ft <sup>2</sup> ) including: <ul style="list-style-type: none"> <li>• Tenant units: 462 m<sup>2</sup> (4,977 ft<sup>2</sup>) GLA</li> <li>• Ancillary space: 251.9 m<sup>2</sup> (2,711.0 ft<sup>2</sup>)</li> </ul>

NOTE: Floor areas exclude standard Zoning Bylaw exemptions.

- 3) Village Centre Bonus – Office Use Only: The CCAP, as amended through the rezoning application, and the ZMU46 zone provide for a density bonus (1.0 FAR) for office use. As a condition of this bonus, prior to rezoning bylaw adoption the developer shall:
- Submit a voluntary cash-in-lieu community amenity contribution to Richmond's Leisure Facilities Reserve Fund (based on the construction cost of 5% of bonus floor area) to facilitate the City's construction of community amenity space in the City Centre; and
  - Register a legal agreement on title to the lot to restrict subdivision of the proposed 14,826 m<sup>2</sup> (159,587 ft<sup>2</sup>) office tower to a maximum of one strata lot or air space parcel per storey. The proposed gross floor areas of the office tower floors range from approximately 1,180 m<sup>2</sup> (12,700 ft<sup>2</sup>) to 1,470 m<sup>2</sup> (15,800 ft<sup>2</sup>).
- 4) Transportation Demand Management (TDM) Measures: Based on the developer's provision of an approved suite of TDM measures (at the developer's cost), the ZMU46 zone permits a 25% parking reduction for affordable housing units and the Zoning Bylaw permits a 10% parking reduction for other uses. The required TDM measures, which will be secured with legal agreements registered on title prior to rezoning adoption, include the following:
- 124 public (short-term/hourly) parking spaces (i.e. 50% of commercial parking);
  - 23 parking spaces for the non-profit social service (NPSS) tenants and their visitors;
  - 8 spaces for residential visitors (in addition to visitor use of the 124 public hourly spaces);



- 2 car share parking spaces, two cars, and an operator's agreement;
  - Transit pass programs, including implementation strategies to the City's satisfaction, for commercial tenants (i.e. \$40,000 value) and LEMR residents (i.e. monthly 2-zone passes for two years for 100% of units);
  - Increased residential Class 1 (secure) bike storage for LEMR and market strata residents at a rate of 1.7 bike spaces (instead of 1.25) per unit, including 10% in the form of over-size lockers to accommodate multiple bikes or larger items (e.g., mobility scooters);
  - End-of-trip cycling facilities (e.g., showers, toilets, and change rooms) for commercial tenants, co-located with the development's commercial Class 1 bike storage; and
  - Bike maintenance stations (e.g., air pump, bike stand, and integrated tools) and bike wash facilities for both commercial and residential tenants.
- 5) Electric Vehicle (EV) Charging: Prior to rezoning adoption, a legal agreement will be registered on title to the site to specify the development's EV charging requirements with respect to OCP policy and the Zoning Bylaw, as required through the rezoning and Development Permit. More specifically, the agreement shall require that:
- 100% of resident parking shall be EV-equipped (240V);
  - 5% of non-residential parking (i.e. 14 spaces) shall be EV-equipped (240V), comprising 12 of the 23 non-profit social service (NPSS) parking spaces and the two car-share spaces; and
  - If the developer chooses to design the project to allow for the future installation of a load-sharing EV system by others, the developer must satisfy specific requirements prior to first occupancy (i.e. equipping the car-share spaces with operating EV Chargers and 25% of the other EV spaces with operating EV Charging Stations).
- 6) District Energy Utility (DEU) and BC Energy Step Code: Sustainability staff support the applicant's proposal. Prior to rezoning adoption, a legal agreement will be registered on title to the site requiring that:
- The developer shall design, construct, and transfer ownership to the City of a low carbon energy plant and related infrastructure (e.g., rooftop and ground floor equipment at the southeast residential tower) to facilitate a future connection to a City DEU system; and
  - As a high-rise building with an on-site low carbon energy plant, the building design shall comply with BC Energy Step 2, as demonstrated by the developer's submission of an energy modelling report showing that it meets all applicable Step Code requirements.
- 7) Public Art: Prior to rezoning adoption, the developer will submit a voluntary cash-in-lieu contribution to the Public Art Reserve, which may be applied to public art and/or related features along the Lansdowne Road "art walk", as determined to the satisfaction of Council.
- 8) Airport Zoning Regulations: The developer has submitted a letter prepared by a surveyor confirming that the maximum height of the proposed development, 47 m (154 ft.) GSC, complies with Transport Canada regulations.
- 9) Flood Construction: Prior to rezoning adoption, the City's standard flood indemnity covenant will be registered on title to the lot. The development complies with the Richmond flood protection bylaw and provides for a minimum elevation of 2.9 m (9.5 ft.) GSC for all dwellings and electrical/mechanical rooms and 0.3 m (1.0 ft.) above the crown of the fronting street for commercial uses and residential lobbies.



- 10) Aircraft Noise: The OCP permits residential and other aircraft noise sensitive uses in this location, subject to specific requirements. A certified acoustic professional has submitted a report confirming that the DP design meets OCP and CMHC interior noise standards. Prior to rezoning adoption, the City's standard aircraft noise covenant will be registered on title to ensure that the building will be constructed in compliance with the City's noise requirements, as confirmed by a certified professional.
- 11) View Blockage and Other Development Impacts: Prior to rezoning adoption, the City's standard mixed use covenant will be registered on title to the site to notify purchasers of potential impacts that may arise through nearby development and/or uses, and to ensure that the developer incorporates appropriate mitigation measures in the design.
- 12) Existing Trees: There are no bylaw-size trees on the subject site. Through the rezoning, it was determined that eight existing street trees must be removed from the Lansdowne Road median to facilitate the construction of the new street along the site's east side (McNaughton Road), including a full-movement intersection at Lansdowne Road. The developer will install new street trees through the Servicing Agreement process and, prior to rezoning adoption, will contribute to the Tree Compensation Fund to facilitate the City's planting of trees elsewhere in Richmond.
- 13) Land Contamination: The potential for contamination was identified through the rezoning application process and will be addressed by the developer, to the City's satisfaction, prior to rezoning adoption and Development Permit issuance.
- 14) Occupancy Staging: Prior to rezoning adoption, a restrictive covenant will be registered on title to the lot to ensure the timely completion of community amenities and other features. In brief, the covenant will require that all non-profit social services (NPSS) space and DEU requirements (e.g., low carbon energy plant) must be satisfied prior to first occupancy of the building. In addition:
  - No residential space may be occupied unless the affordable housing building and related features (e.g., amenity space, parking, and transit pass program) are complete; and
  - No commercial space may be occupied unless the public (hourly) parking, car-share, end-of-trip cycling facilities, and commercial transit pass program are satisfactory.

### **Zoning Compliance/Variance**

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 10138, to reduce the minimum balcony setback from 2.0 m to 1.5 m above the second storey along the Minoru Boulevard frontage of the southwest residential tower and the east street frontage of the affordable housing building.

***Staff support the requested variance because the proposed balconies will:***

- ***Enhance the development's appearance by creating visual interest at the southwest tower and across the façade of the affordable housing building;***
- ***Have negligible impact on the public realm because the projection is minor and occurs above the second storey along limited portions of the site's east and west frontages; and***
- ***Provide necessary private outdoor space for market strata and LEMR residents.***



### **Advisory Design Panel Comments**

On November 4, 2020, the Advisory Design Panel (ADP) considered the subject application and recommended that it move forward to the Development Permit Panel subject to the applicant giving consideration to ADP's comments. The relevant excerpt from the ADP Minutes is attached for reference, together with the written response from the applicant shown in '***bold italics***' (Attachment 6). In brief, in response to the Panel's comments, the architect and landscape architect have undertaken design development regarding the:

- 1) Affordable housing building's façade and frontage treatment to provide more variety in residential expression (e.g., playful pattern of balconies with colourful guards, a decorative entry wall feature, and enhanced accessibility and landscape features);
- 2) Replacement of a walkway previously proposed along the site's south side (which raised security and personal safety concerns) with a combination of townhouse units (screening parking behind) and a gated/fenced landscape buffer (where a neighbour's existing sewer easement precludes building construction); and
- 3) Low-carbon energy plant, including relocating rooftop equipment from the mid-rise affordable housing building (where noise, views, and increased building height were a concern) to the southeast residential tower (without increasing the tower's overall height). The City's standard technical review and approval process with respect to low-carbon energy plants and related equipment will ensure that the design and operation of the proposed infrastructure will comply with all City noise bylaw requirements.

### **Analysis**

The proposed high-rise, high density, mixed-use development generally complies with all Zoning Bylaw requirements and the objectives of the CCAP's Development Permit Guidelines. More specifically, the development has successfully demonstrated:

- 1) A strong urban concept that will contribute towards a high amenity, transit-oriented community attractive to families with children (i.e. 54% two- and three-bedroom units), residents with mobility issues (i.e. 30% Basic Universal Housing units), and lower income households (i.e. 20% of residential floor area as affordable LEMR units);
- 2) An articulated building typology with distinctive forms and features that break down the building massing, incorporate varied building heights, provide streetscape interest, and provide for sunny spaces on-site and along fronting streets and open spaces; and
- 3) An attractive public realm, including a new linear park along Lansdowne Road (subject to a Servicing Agreement) and varied residential and commercial frontage treatments that will contribute to the emerging use and identity of each fronting street.

### ***Conditions of Adjacency***

The proposed development is designed to address adjacency issues as follows.

- 1) The development includes a new linear park along its north side, together with landscaped setbacks for expanded walkway and plaza purposes (both subject to a Servicing Agreement), which will enhance Lansdowne Road as a civic route linking the downtown with the riverfront and complement recently approved/constructed sections of Lansdowne's linear park to the east and west of the subject site.



- 2) The development's towers are separated from:
  - Each other along the site's west, south, and east sides by at least 24 m (79 ft.), as per the recommended CCAP minimum;
  - Each other along the site's north side by 46 m (151 ft.) to maximize solar access to the future linear park along the north side of Lansdowne Road; and
  - The site's south property line by 17 m (56 ft.) to allow for a 35 m (151 ft.) separation from future neighbouring development (i.e. assuming equal tower setbacks on both sites).
- 3) Potential on-site overlook issues are addressed by:
  - At inset corners, wrapping larger units around both sides of the corner and designing smaller units so that their primary outlook (e.g., balconies and large living room windows) is directed away from that of their neighbours;
  - At residential interfaces with the office building and common indoor amenity spaces, installing opaque walls next to any residential unit; and
  - Along facades with rows of more than two projecting balconies, intermittently providing privacy screens in the form of tall frosted glass guards.
- 4) Part of the podium's south party wall near Minoru Boulevard is enhanced with a decorative painted pattern where it will be visible on an interim basis until the neighbour redevelops; and
- 5) All vehicle access to the site will be via the new street (McNaughton Road).

### ***Urban Design and Site Planning***

The proposed form of development takes advantage of the site's three frontages to incorporate measures aimed at knitting the local community together.

- 1) The CCAP encourages the development of a network of neighbourhood parks, greenways, and other landscape features. As approved through rezoning, the developer is required to design and construct (subject to a Servicing Agreement) portions of:
  - Lansdowne Road's civic promenade linking the Lansdowne Canada Line Station with the Richmond Olympic Oval, including a linear City park along Lansdowne Road's south side and contiguous space for a walkway and an expanded plaza at the Minoru Boulevard intersection (secured with a statutory right-of-way registered on title);
  - Minoru Boulevard's off-street bike path and greenway linking the civic precinct (e.g., City Hall), City Centre Community Centre, and future riverfront park; and
  - McNaughton Road, in the form of a new minor street along the site's east side intended to contribute towards a pedestrian-friendly, finer grain street network.
- 2) The building massing takes into account the CCAP's transition in building height from 25 m (82 ft.) west of Minoru Boulevard to 47 m (154 ft.) GSC along No. 3 Road by incorporating varying tower and streetwall heights that are generally lowest in the northwest (to maximize sun to the public realm) and step up in a counter-clockwise arrangement to the site's tallest buildings along its east side, including:
  - Three residential towers at 37 m (121 ft.), 40 m (132 ft.), and 43 m (141 ft.) and the office tower at 47 m (154 ft.) GSC; and
  - Four mid-rise elements ranging from three storeys (11 m/37 ft.) along Lansdowne Road to four storeys (14 m/45 ft.) on Minoru Boulevard, six storeys (17 m/54 ft.) on the south, and nine storeys (30 m/100 ft.) at the affordable housing building on the east.



- 3) Along Lansdowne Road, continuous pedestrian-oriented retail lines the park, anchored by a plaza on the west, providing a neighbourhood-oriented space for outdoor dining and socializing, and an office building on the east, located in view of Lansdowne Station and proposed high-rise development near No. 3 Road.
- 4) Along Minoru Boulevard, townhouses with front doors and raised patios, residential lobbies, and retail units near Lansdowne Road's park and plaza contribute towards a varied streetscape enhanced with landscaped setbacks and a double row of trees in keeping with the street's "greenway" role.
- 5) Along the site's east side, the design aims to animate the new street (McNaughton Road) with entrances to the office building, southeast market strata tower, affordable housing building, and non-profit social services (NPSS) space, complemented by pedestrian-oriented retail and landscape features.
- 6) Parking and loading are concealed from view around the perimeter of the site by commercial and residential uses, and vehicle access is limited to a single driveway to minimize potential impacts on the amenity or safety of the public realm.

#### ***Architectural Form and Character***

The CCAP encourages the development of a mosaic of distinctive, yet cohesive, urban villages. The subject development aims to satisfy this objective by building on the streetwall vocabulary established elsewhere in Lansdowne Village, while proposing distinct architectural features that visually animate the streetscape, complement the variety of uses on-site, and enhance the development's role along three important downtown streets. In brief:

- 1) The development is made visually distinct by its simple massing, strong horizontal and vertical lines, and minimal colour pallet of white accented with terracotta, bronze, and wood-look features.
- 2) The office building has full height curtain walls, accented with a staggered pattern of bronze-coloured vertical fins and alternating vertical bands of vision glass and light grey glass spandrel panels that complement the stepped articulations at the tower's top and sides.
- 3) Ground floor retail units are expressed as double-height volumes, accented by a grid of bronze coloured mullions and muntins that pick up on the office tower's vertical fins and lend the streetscape a distinctive, high-amenity character.
- 4) The project's three residential towers are clean white and glass volumes articulated with a horizontal pattern of projecting balconies enhanced with bold terracotta-coloured soffits. A similar façade treatment is applied to the affordable housing building, except that there a number of the terracotta balcony soffits are extended horizontally and vertically to create a zigzag pattern across the building face, helping to visually animate the new street (McNaughton Road) and enhance views to the building from Lansdowne Road.

#### ***Residential Amenity Space***

The proposed development satisfies all OCP and CCAP requirements for the provision of indoor and outdoor residential amenity space for the shared and private use of residents. The design also complies with the rezoning with respect to the location and sizes of spaces for the shared use of the market strata and LEMR residents.



- 1) Common Indoor Amenity Space: The development is required to provide at least 877 m<sup>2</sup> (9,935 ft<sup>2</sup>) of common indoor amenity space for recreation and socializing based on the CCAP ratio for large developments, together with an additional 19 m<sup>2</sup> (200 ft<sup>2</sup>) for the non-profit housing operator for administration and programming. Furthermore, through the rezoning it was determined that the amenity space would be broken into three parts including at least 465 m<sup>2</sup> (5,000 ft<sup>2</sup>) for the shared use of the market strata and LEMR residents and separate spaces for the exclusive use of each group. The proposed development provides a combined total of 1,118 m<sup>2</sup> (12,028 ft<sup>2</sup>) of indoor amenity space, which exceeds the minimum requirement and includes the following:
  - Shared indoor amenity space, which was increased in size to 484 m<sup>2</sup> (5,210 ft<sup>2</sup>) through the DP design process, comprising a fitness facility for the shared use of the market strata and LEMR residents at the development's podium level, contiguous with its outdoor amenity space;
  - 154 m<sup>2</sup> (1,654 ft<sup>2</sup>) of indoor amenity space for the exclusive use of the LEMR residents including a large recreation space contiguous with the podium-level outdoor amenity space (including a lounge, multi-purpose rooms, kitchenette, and operator program space) and an office for the operator at the lobby level; and
  - 480 m<sup>2</sup> (5,164 ft<sup>2</sup>) of indoor amenity space for the market strata residents including a lounge and tearoom contiguous with the podium-level outdoor amenity space and a workshop located one storey above.
- 2) Common Outdoor Amenity Space: The development requires at least 2,574 m<sup>2</sup> (27,706 ft<sup>2</sup>) of common outdoor amenity space including at least 600 m<sup>2</sup> (6,458 ft<sup>2</sup>) of children's play space. The proposed development exceeds these minimum requirements with 3,034 m<sup>2</sup> (32,657 ft<sup>2</sup>) of total outdoor amenity space and 746 m<sup>2</sup> (8,030 ft<sup>2</sup>) of children's play space. All of the proposed space is available for use of the LEMR residents including:
  - A small terrace, 57 m<sup>2</sup> (614 ft<sup>2</sup>) in size, at the ninth floor of the affordable housing building for the exclusive use of LEMR residents; and
  - A 2,977 m<sup>2</sup> (32,044 ft<sup>2</sup>) at the podium rooftop, including:
    - a) a dog run;
    - b) outdoor kitchens, patios, and space to relax;
    - c) a gardening area with garden plots, fruit trees, berry bushes, tool storage, hose bibs, and related features; and
    - d) two children's playgrounds including climbing structures with slides installed on colourful resilient surfaces, sand play, balance logs, stepping stones through a treed area, and adjacent lawn space for running and games.

### ***Landscape and Open Space Design***

In addition to the common outdoor amenity space described above, the development provides a variety of other landscape spaces and features.

- 1) All frontages are designed to complement and enhance the building's appearance and public enjoyment of the fronting street and park spaces.
  - Along the Lansdowne Road frontage, the building is set back from the City park to provide a broad public walkway and plaza area along the retail storefronts, including seating, bike racks, planting, decorative paving, and continuous weather protection, together with space for outdoor dining. Multiple pathways criss-cross the park (incorporating stormwater detention measures), interspersed with islands of



planting/trees/seating and opportunities for temporary public art, to create an attractive, animated space that will be visually engaging and allow people to move seamlessly between the storefront walkway and the City sidewalk.

- Along Minoru Boulevard, townhouse units are generally set back 6 m (20 ft.) from the sidewalk to provide space for terraced planting that will complement the street's "greenway" role (e.g., double row of street trees) and screen the private patio, which are raised 1.4 m (4.5 ft.) above the grade of the sidewalk. Near the south property line, the building setback increases to accommodate required utility cabinets flanked by landscaped walkways to individual townhouse units.
  - Along the new east street (McNaughton Road), the design takes advantage of changes in grade elevation and road alignment to create a broad landscaped terrace with continuous weather protection along the office, retail and residential lobby frontages. The terrace is flush with the sidewalk at its north end (along the frontage of the office building) and gradually rises towards the south, separated from the sidewalk by planters with trees, shrubs, seasonal planting, and seating. At the terrace's south end, a 5% ramp, glass canopies, decorative wood-look wall treatment (that is back-lit at night), and planting provide for an attractive, universally accessible route between the shared affordable housing/non-profit social service (NPSS) lobby, the fronting sidewalk, and a designated on-street lay-by for passenger and HandiDart pick-up.
- 2) Private outdoor amenity space is provided for each dwelling in the form of a patio or balcony.
  - 3) Patio space is provided in association with the office building. This space is for the exclusive use of office tenants and is provided in addition to the development's residential amenity space requirements. It will be accessed via the fourth floor of the office building and will have no access to residential spaces. The patio is proposed for a sunny spot along the north side of the site with views of Lansdowne Road and will provide space for office tenants to relax, have lunch, and enjoy quiet activities like yoga or tai chi.
  - 4) Drought tolerant green roof planting with a combined area of 1,151 m<sup>2</sup> (12,389 ft<sup>2</sup>) will be installed on Levels 4, 5, 6, and 10 (accessed via roof hatches for periodic maintenance). An additional 1,309 m<sup>2</sup> (14,090 ft<sup>2</sup>) of planted area will be installed in the form of landscape buffers and decorative features (over and above outdoor amenity space requirements) to improve the outlook for residents and neighbours and reduce the heat island effect.
  - 5) Irrigation will be installed in all planted areas to ensure that lawn, trees, and other planting will remain healthy. Drought tolerant planting will be used throughout to reduce the reliance on irrigation once plants are established.
  - 6) To minimize light pollution and potential outdoor lighting impacts on residents:
    - There is no up-lighting of the building;
    - Lighting is generally shrouded or oriented towards the ground (e.g., small step/wall lights at townhouse entrances and retail frontages);
    - Decorative lighting (e.g., catenary lighting over a small part of the residential amenity space, back-lighting of the wall feature near the affordable housing lobby, and tree lights) are used selectively to add visual interest and designed to minimize potential overspill;
    - No lights will be installed on residential balconies (but electrical receptacles will be provided for convenience); and



- Within the City park, through the Servicing Agreement review process, design development will be undertaken regarding proposed in-ground light bands to ensure they respect the City's dark skies objectives.

### ***Crime Prevention through Environmental Design (CPTED)***

Security and personal safety are enhanced through measures that support:

- 1) Casual surveillance by creating prominent residential and commercial lobby entrances and street-oriented retail frontages, clustering commercial parking on the parkade's first two floors with alternative means of access/egress for pedestrians, providing clear sightlines to exits and glazed vestibules within the parkade, and minimizing blind corners;
- 2) Territoriality through the use of landscape buffers and grade changes to help define the interface of public and private spaces; and
- 3) Target hardening with special security features at all residential, commercial, and parkade entrances and a gate/fence securing the landscaped setback (sewer easement) along a portion of the south property line.

### ***Accessible Housing***

Richmond's OCP seeks to meet the needs of the city's aging population and people facing mobility challenges by encouraging the development of accessible housing that can be approached, entered, used, and occupied by persons with physical or sensory disabilities. To address the City's policy, the developer proposes to provide the following:

- 1) Barrier-free access to all building lobbies and indoor and outdoor amenity spaces;
- 2) Aging in place features in all dwellings (e.g., stairwell hand rails, lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers); and
- 3) 129 Basic Universal Housing (BUH) units (i.e. 30% of total units) designed to satisfy all applicable Zoning Bylaw requirements, including 41 market strata units (i.e. 12% of market units) and 88 affordable housing units (i.e. 100% of LEMR units).

### ***Sustainability Measures***

The project's sustainability goal is to provide a cost-effective, high-value development that meets or exceeds City standards. In brief, among other things the development will include:

- 1) Measures incorporated into the facade of the office building to increase visibility for birds and reduce bird strikes including visual markers applied to the glazing, an alternating pattern of spandrel and clear glazing (to interrupt reflectivity), dark coloured mullion caps, and no open vents (to minimize potential nesting);
- 2) BC Energy Step Code compliant building designs (i.e. Step 2, based on the developer's construction of a low carbon energy plant on-site to the satisfaction of the City);
- 3) District Energy Utility (DEU) compatible building and mechanical system designs to facilitate a future connection to a City utility and the transfer of an on-site low-carbon energy plant to Lulu Island Energy Company (LIEC), at the developer's cost;



- 4) A full building energy simulation to optimize energy efficiency measures and an enhanced commissioning process to ensure that the building's energy related systems are operating efficiently and as designed;
- 5) Energized electric vehicle (EV) 240V charging equipment, including charging stations for 5% of commercial parking (14 spaces) and 100% of resident parking (307 market strata spaces and 60 affordable housing spaces);
- 6) Energized electric bicycle 120V charging outlets for Class 1 secure bike storage (one outlet for shared use by each 10 bikes) for residents and commercial tenants;
- 7) End-of-trip cycling facilities for commercial tenants;
- 8) Bicycle repair and maintenance stations (i.e. foot-activated pump and repair stand with integrated tools) for residents and commercial tenants;
- 9) Transit pass programs for commercial tenants and affordable housing (LEMR) tenants;
- 10) High efficiency plumbing and irrigation fixtures/systems to reduce water usage;
- 11) Drought tolerant green roof and other planting to reduce reliance on irrigation; and
- 12) Best practices to optimize air quality and provide a clean and healthy building for occupants.

### Conclusions

The proposed development is consistent with Richmond's objectives for the subject site, as set out in the OCP, City Centre Area Plan, and Zoning Bylaw. The project's form, pedestrian-oriented streetscapes, affordable and accessible housing, public art, landscaping, and sustainable development measures, together with off-site improvements secured through rezoning, will contribute towards the establishment of Lansdowne Village as a high-amenity, transit-oriented, urban community. On this basis, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Suzanne Carter-Huffman  
Senior Planner/Urban Design  
(604-276-4228)

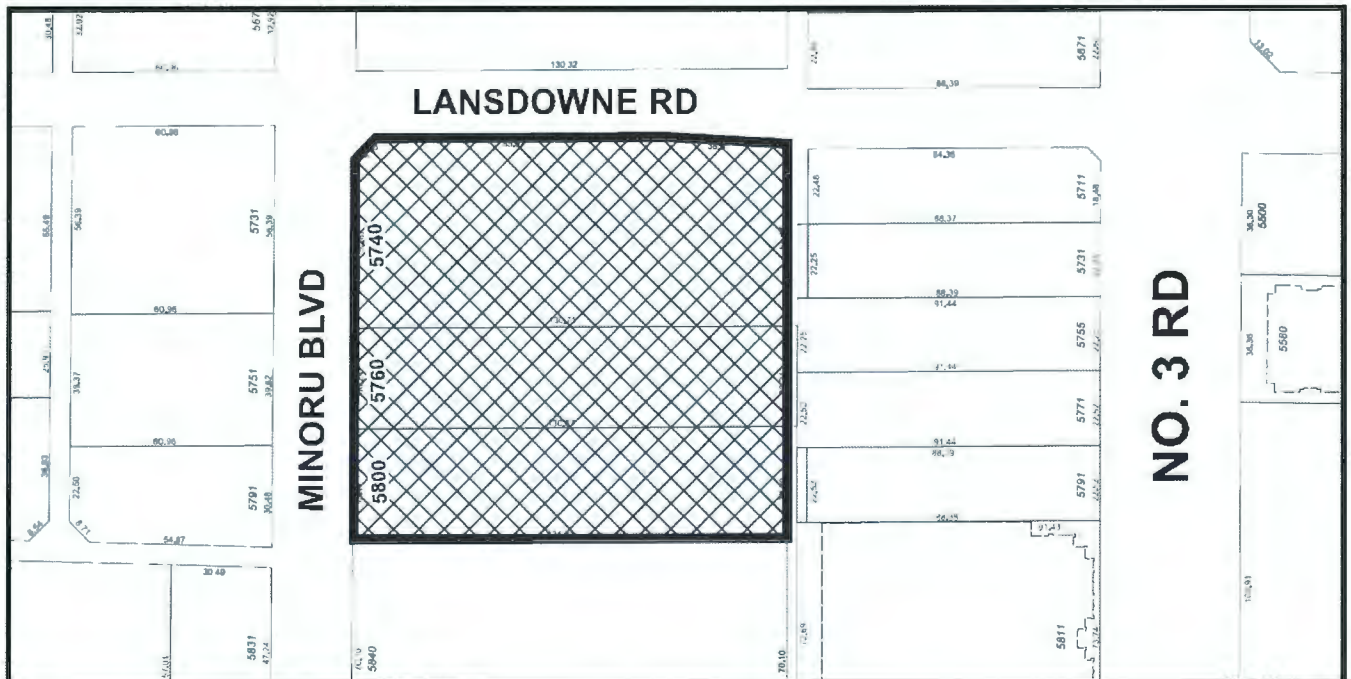
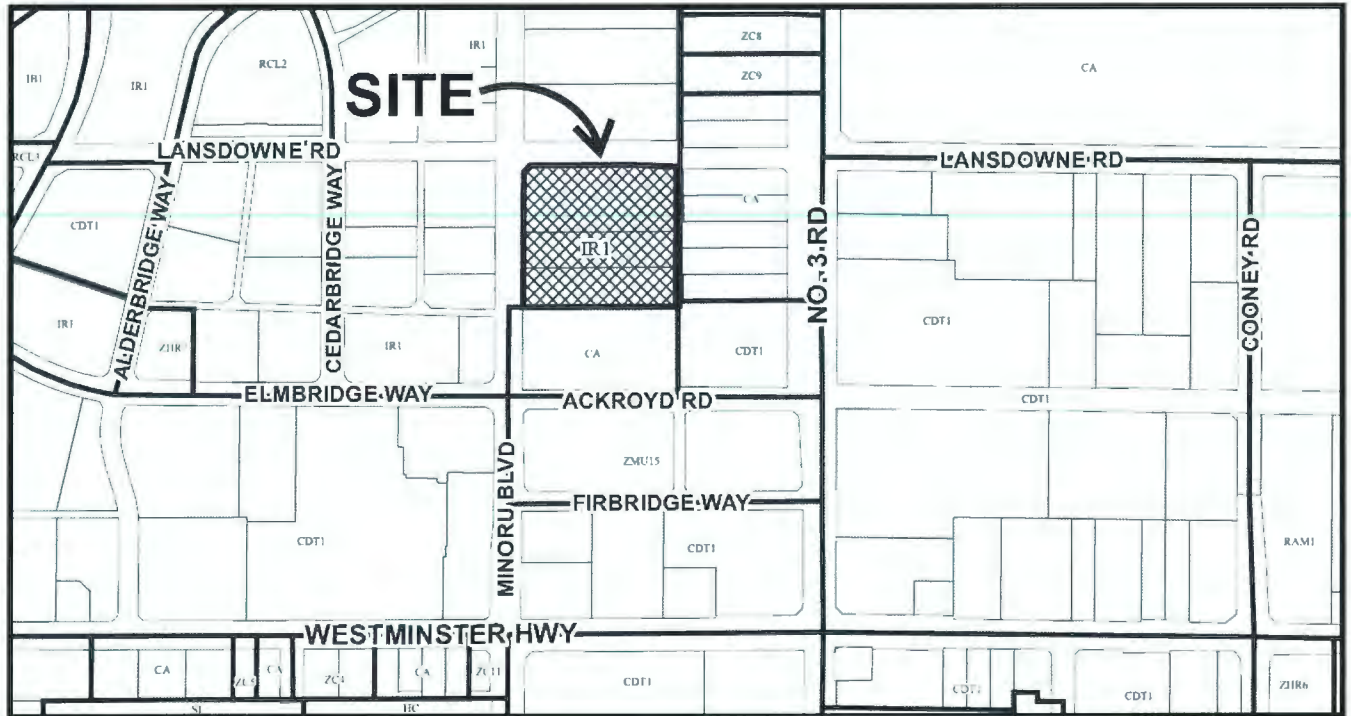
### Attachments:

1. Location Map
2. Development Application Data Sheet
3. Letter from Non-Profit Housing Operator (S.U.C.C.E.S.S.)
4. Letter from Non-Profit Social Services Agency (C.M.W.A.C.)
5. Letter from Non-Profit Social Services Agency (R.S.C.L.)
6. Advisory Design Panel Meeting Minutes, November 4, 2020 (excerpt)
7. Development Permit Considerations





City of  
Richmond



DP 19-881156

Original Date: 01/07/20

Revision Date:

Note: Dimensions are in METRES





# City of Richmond

## Development Application Data Sheet

Development Applications Department

**DP 19-881156**

 Applicant: Minoru View Homes Ltd.

 Owner: Minoru View Homes Ltd.

 Floor Area Gross: 51,633.56 m<sup>2</sup> (555,779.00 ft<sup>2</sup>)

 Floor Area Net: 47,906.5 m<sup>2</sup> (515,661.5 ft<sup>2</sup>)

	Existing	Proposed		
Site Area	<ul style="list-style-type: none"><li>15,604.2 m<sup>2</sup> (167,962.2 ft<sup>2</sup>)</li></ul>	<ul style="list-style-type: none"><li>Road &amp; Park Contributions:<ul style="list-style-type: none"><li>Density-Eligible Park: 859.2 m<sup>2</sup> (9,248.4 ft<sup>2</sup>)</li><li>Density-Eligible Road: 1,210.3 m<sup>2</sup> (13,027.6 ft<sup>2</sup>)</li><li>Other Road: 569.9 m<sup>2</sup> (6,134.4 ft<sup>2</sup>)</li></ul></li><li>Net Site: 12,964.8 m<sup>2</sup> (139,551.9 ft<sup>2</sup>)</li></ul>		
Site for Density Calculations	<ul style="list-style-type: none"><li>N/A</li></ul>	<ul style="list-style-type: none"><li>15,034.3 m<sup>2</sup> (161,827.9 ft<sup>2</sup>)</li></ul>		
Land Uses	<ul style="list-style-type: none"><li>Commercial, recreation &amp; light industry</li></ul>	<ul style="list-style-type: none"><li>Office, pedestrian-oriented commercial &amp; multi-family residential (including 88 Residential Rental Tenure affordable housing units)</li></ul>		
OCP	<ul style="list-style-type: none"><li>Mixed Use</li></ul>	<ul style="list-style-type: none"><li>Mixed Use</li></ul>		
City Centre Area Plan (CCAP) Designation	<ul style="list-style-type: none"><li>Urban Centre T5 (35 m) (2 FAR)</li><li>Pedestrian-Oriented Retail Precinct</li><li>Proposed Streets</li></ul>	<ul style="list-style-type: none"><li>As per the existing CCAP, PLUS:<ul style="list-style-type: none"><li>Village Centre Bonus (office only) (1.0 FAR)</li><li>Park</li><li>Pedestrian-Oriented Retail Precinct – High Street &amp; Linkages</li></ul></li></ul>		
Aircraft Noise Sensitive Development	<ul style="list-style-type: none"><li>Moderate Aircraft Noise (Area 3) – All aircraft noise sensitive development (ANSD) uses may be considered</li></ul>	<ul style="list-style-type: none"><li>As per OCP Policy: Registration of the City's standard restrictive ANSD covenant; preparation of an acoustic report; noise mitigation measures; &amp; air conditioning capability (e.g., pre-ducted)</li></ul>		
Zoning	<ul style="list-style-type: none"><li>Industrial Retail (IR1)</li></ul>	<ul style="list-style-type: none"><li>Development site: "High Density Mixed Use &amp; Affordable Rental Housing (ZMU46)"</li><li>City-owned park site: "School &amp; Institution Use (SI)"</li></ul>		
Number of Units & Unit Mix	<ul style="list-style-type: none"><li>N/A</li></ul>	Housing Types	Studio + 1-BR	2-BR + 3-BR
		<ul style="list-style-type: none"><li>Market Units (341)</li></ul>	4 + 152 = 156 (46%)	166 + 19 = 185 (54%)
		<ul style="list-style-type: none"><li>Affordable H. (88)</li></ul>	15 + 26 = 41 (47%)	41 + 6 = 47 (53%)
		<ul style="list-style-type: none"><li>Total (429 Units)</li></ul>	19 + 178 = 197 (46%)	207 + 25 = 232 (54%)
% Affordable Housing (AH)	<ul style="list-style-type: none"><li>N/A</li></ul>	<ul style="list-style-type: none"><li>Habitable unit area: 20% of total residential floor area</li></ul>		
Basic Universal Housing	<ul style="list-style-type: none"><li>N/A</li></ul>	<ul style="list-style-type: none"><li>30% of total units (129 units), including:<ul style="list-style-type: none"><li>12% Market Units (41 units)</li><li>100% Affordable Housing Units (88 units)</li></ul></li></ul>		
BC Energy Step Code & District Energy Utility	<ul style="list-style-type: none"><li>N/A</li></ul>	<ul style="list-style-type: none"><li>District Energy Utility (DEU) ready</li><li>On-site low-carbon energy plant transferred to the City (at the developer's cost)</li><li>BC Energy Step 2</li></ul>		

	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Floor Area Ratio (FAR)	<ul style="list-style-type: none"> <li>Mixed use: 3.2 FAR max, including:               <ul style="list-style-type: none"> <li>Base (including 10% AH, 90% market housing &amp; balance as retail): 2.0 FAR</li> <li>Additional AH bonus: 0.2 FAR                   <ul style="list-style-type: none"> <li>Sub-Total: 2.2 FAR</li> </ul> </li> <li>Village Centre Bonus (office only): 1.0 FAR</li> </ul> </li> <li>Community amenity (non-profit social service/NPSS use only): 0.1 FAR max.</li> </ul>	<ul style="list-style-type: none"> <li>Mixed use: 3.186 FAR, including:               <ul style="list-style-type: none"> <li>Residential: 2.056 FAR                   <ul style="list-style-type: none"> <li>a) Market housing: 1.582 FAR</li> <li>b) AH Housing Features: 0.474 FAR</li> </ul> </li> <li>Retail: 0.144 FAR                   <ul style="list-style-type: none"> <li>Sub-Total: 2.2 FAR</li> </ul> </li> <li>Office (VCB): 0.986 FAR</li> </ul> </li> <li>Community amenity (NPSS use only): 0.039 FAR, including <u>both</u> GLA &amp; ancillary space</li> </ul> <p><i>NOTE: "AH Housing Features" includes both habitable unit area &amp; ancillary space in the stand-alone rental building</i></p>	None permitted



	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Buildable Floor Area*	<ul style="list-style-type: none"> <li>Mixed use: 48,109.8 m<sup>2</sup> (517,849.2 ft<sup>2</sup>) max., including: <ul style="list-style-type: none"> <li>Base (including 10% AH, 90% market housing &amp; balance as retail): 30,068.6 m<sup>2</sup> (323,655.7 ft<sup>2</sup>)</li> <li>Additional AH bonus: 3,006.9 m<sup>2</sup> (32,365.6 ft<sup>2</sup>) <ul style="list-style-type: none"> <li>Sub-Total: 33,075.5 m<sup>2</sup> (356,021.3 ft<sup>2</sup>)</li> </ul> </li> <li>Village Centre Bonus (office only): 15,034.3 m<sup>2</sup> (161,827.9 ft<sup>2</sup>)</li> </ul> </li> <li>Community amenity (NPSS use only): 425.7 m<sup>2</sup> (4,582.2 ft<sup>2</sup>) min. GLA <u>plus</u> ancillary space</li> </ul>	<ul style="list-style-type: none"> <li>Mixed use: 47,906.5 m<sup>2</sup> (515,661.5 ft<sup>2</sup>), including: <ul style="list-style-type: none"> <li>Residential: 30,912.5 m<sup>2</sup> (332,739.5 ft<sup>2</sup>) <ul style="list-style-type: none"> <li>a) Market: 23,785.7 m<sup>2</sup> (256,027.5 ft<sup>2</sup>)</li> <li>b) AH rental: 7,126.8 m<sup>2</sup> (76,712.0 ft<sup>2</sup>)</li> </ul> </li> <li>Retail: 2,163.0 m<sup>2</sup> (23,281.8 ft<sup>2</sup>) <ul style="list-style-type: none"> <li>Sub-Total: 33,075.5 m<sup>2</sup> (356,021.3 ft<sup>2</sup>)</li> </ul> </li> <li>Office (VCB): 14,826.1 m<sup>2</sup> (159,587.0 ft<sup>2</sup>)</li> <li>Community amenity (NPSS only): 714.2 m<sup>2</sup> (7,688.0 ft<sup>2</sup>) including 462.4 m<sup>2</sup> (4,977.0 ft<sup>2</sup>) GLA &amp; ancillary space (including Level 1 &amp; 2 lobbies shared with AH tenants)</li> </ul> <p><i>NOTE: "AH rental" includes habitable unit area &amp; ancillary space (except shared lobbies &amp; indoor amenity space)</i></p> </li></ul>	None permitted
Lot Coverage	<ul style="list-style-type: none"> <li>Buildings &amp; landscaped roofs over parking: Max. 90%</li> </ul>	<ul style="list-style-type: none"> <li>90%</li> </ul>	None
Setbacks	<ul style="list-style-type: none"> <li>Front &amp; Exterior Side Yards: Min. 6.0 m (19.7 ft.), but may be reduced to 3.0 m (9.8 ft.) with a proper interface, as per an approved Development Permit</li> <li>Interior Side Yards: Nil</li> <li>Parking below finished grade: Nil</li> <li>Balconies: Min. 2.0 m (6.6 ft.)</li> <li>Canopies: Nil if approved for weather protection</li> </ul>	<ul style="list-style-type: none"> <li>Front &amp; Exterior Side Yards: 3.0 m (9.8 ft.)</li> <li>Interior Side Yard: Nil</li> <li>Parking below finished grade: Nil</li> <li>Balconies: 2.0 m (6.6 ft.) min., EXCEPT 1.5 m (4.9 ft.) min. above the 2<sup>nd</sup> storey along parts of Minoru Boulevard &amp; the new east street</li> <li>Canopies: Nil</li> </ul>	Reduce balcony setback from 2.0 m to 1.5 m above 2 <sup>nd</sup> storey
Height	<ul style="list-style-type: none"> <li>35 m (114.8 ft.) measured to finished grade, but this may be increased to 47 m GSC if a proper interface is provided with adjacent buildings/park, as specified in an approved Development Permit</li> </ul>	<ul style="list-style-type: none"> <li>47 m GSC max.</li> </ul>	None
Parking – TOTAL	<ul style="list-style-type: none"> <li>Total: 624 spaces (after 10% TDM reduction), including: <ul style="list-style-type: none"> <li>Residents: 375</li> <li>Non-residential: 247</li> <li>Car-Share: 2</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>Total: 624 spaces, including: <ul style="list-style-type: none"> <li>Residents: 375, including 60 AH spaces &amp; 8 Visitor</li> <li>Non-residential: 247, including 124 (50%) Public (hourly) Parking spaces &amp; 23 NPSS spaces</li> <li>Car-Share: 2</li> </ul> </li> </ul>	None
Class 1 Bike Storage (Secured)	<ul style="list-style-type: none"> <li>Total: 775 spaces, including - <ul style="list-style-type: none"> <li>Non-Residential @ 0.27/100 m<sup>2</sup> GLA: 45</li> <li>Residents @ 1.7/unit: 730 including: <ul style="list-style-type: none"> <li>Market: 522 standard size &amp; 58 over-size</li> <li>AH: 135 standard size &amp; 15 over-size</li> </ul> </li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>Total: 775 spaces, including - <ul style="list-style-type: none"> <li>Non-Residential: 45</li> <li>Residents: 730 including: <ul style="list-style-type: none"> <li>580 Market strata (522 standard &amp; 58 over-size)</li> <li>150 AH (135 standard &amp; 15 over-size)</li> </ul> </li> </ul> </li> </ul>	
Class 2 Bikes	<ul style="list-style-type: none"> <li>Total: 154 min.</li> </ul>	<ul style="list-style-type: none"> <li>154 located outdoors around the perimeter of the site</li> </ul>	None
Electric Vehicle (EV) Charging	<ul style="list-style-type: none"> <li>For motor vehicles: Energized 240V charging stations (may provide for loading sharing), including: <ul style="list-style-type: none"> <li>100% AH &amp; Market Strata resident parking spaces (This excludes visitor parking.)</li> <li>5% of non-residential parking</li> </ul> </li> <li>For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per 10 or less bike spaces per room</li> </ul>	<ul style="list-style-type: none"> <li>For motor vehicles: <ul style="list-style-type: none"> <li>Market Strata parking spaces: 307</li> <li>AH rental building parking spaces: 60</li> <li>NPSS parking spaces: 12</li> <li>Car-share parking spaces: 2</li> </ul> </li> <li>For Class 1 bike storage: At least - <ul style="list-style-type: none"> <li>58 for Market Strata bike storage</li> <li>15 for AH rental building bike storage</li> <li>5 for non-residential bike storage room</li> </ul> </li> </ul>	None
Loading	<ul style="list-style-type: none"> <li>Medium truck spaces: 5</li> <li>Waste pick-up: 1</li> </ul>	<ul style="list-style-type: none"> <li>Medium truck spaces: 5</li> <li>Waste pick-up: 1</li> </ul>	None
Residential Amenity Space – Indoor	<ul style="list-style-type: none"> <li>Total: Min. 877.0 m<sup>2</sup> (9,439.9 ft<sup>2</sup>), including: <ul style="list-style-type: none"> <li>Market @ 2 m<sup>2</sup>/unit = 682.0 m<sup>2</sup> (7,341.0 ft<sup>2</sup>)</li> <li>AH @ 2 m<sup>2</sup>/unit: 176 m<sup>2</sup> (1,894.4 ft<sup>2</sup>)</li> <li>Rental Building NP Operator: 18.6 m<sup>2</sup> (200.0 ft<sup>2</sup>) for administration/programs</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>Total: 1,117.4 m<sup>2</sup> (12,028.0 ft<sup>2</sup>), including: <ul style="list-style-type: none"> <li>Exclusive use: <ul style="list-style-type: none"> <li>Market: 479.8 m<sup>2</sup> (5,164.0 ft<sup>2</sup>)</li> <li>AH rental building: 153.6 m<sup>2</sup> (1,654.0 ft<sup>2</sup>)</li> </ul> </li> <li>Shared (AH &amp; Market): 484.0 m<sup>2</sup> (5,210.0 ft<sup>2</sup>)</li> </ul> </li> </ul>	None
Residential Amenity Space – Outdoor	<ul style="list-style-type: none"> <li>429 units @ 6.0 m<sup>2</sup>/unit: Min. 2,574.0 m<sup>2</sup> (27,706.3 ft<sup>2</sup>) including at least 600 m<sup>2</sup> (6,458.3 ft<sup>2</sup>) of children's play space</li> </ul>	<ul style="list-style-type: none"> <li>3,034.0 m<sup>2</sup> (32,657.7 ft<sup>2</sup>), including: <ul style="list-style-type: none"> <li>Exclusive (AH only): 57.0 m<sup>2</sup> (613.5 ft<sup>2</sup>)</li> <li>Shared (Mkt/AH): 2,977.0 m<sup>2</sup> (32,044.2 ft<sup>2</sup>) including: <ul style="list-style-type: none"> <li>2,231.0 m<sup>2</sup> (24,014.3 ft<sup>2</sup>) of recreation space</li> <li>746.0 m<sup>2</sup> (8,029.9 ft<sup>2</sup>) of children's play space</li> </ul> </li> </ul> </li> </ul>	None
CCAP Landscape Area	<ul style="list-style-type: none"> <li>Min. 10% of net site: 1,296.5 m<sup>2</sup> (13,955.4 ft<sup>2</sup>)</li> </ul>	<ul style="list-style-type: none"> <li>1,309.0 m<sup>2</sup> (14,090.0 ft<sup>2</sup>)</li> </ul>	None
Extensive Green Roofs	<ul style="list-style-type: none"> <li>Encouraged on low- and mid-rise rooftops that are not otherwise used for outdoor amenity space or other purposes (e.g., mechanical equipment)</li> </ul>	<ul style="list-style-type: none"> <li>1,151.0 m<sup>2</sup> (12,389.3 ft<sup>2</sup>) at Levels 4, 5, 6 &amp; 10</li> </ul>	None

Other: Tree replacement compensation is required for the removal of City trees within Lansdowne Road. (No on-site trees.)

\* Preliminary estimate (exclusive of parking garage). The exact building size shall be determined through Zoning Bylaw compliance review at Building Permit stage.





## S.U.C.C.E.S.S. Affordable Housing Society

---

Dear Susan

I reviewed the latest DP design with Allan Lal on July 7, 2021 focusing on the section of the building containing the LEMR units. This is to confirm that the DP design is satisfactory to S.U.C.C.E.S.S.

Please let me know if you require any further information

---

Regards

A handwritten signature in black ink, appearing to be 'A. Omran'.

---

Ahmed Omran  
Director, Community Real Estate and Asset Management  
July 7, 2021





**Community Mental Wellness Association of Canada**

加拿大社區情緒健康協會


#3105 - 8888 Odlin Crescent, Richmond, BC, V6X 3Z8

Tel: (604) 273-1791

Fax: (604) 332-0156

E-mail: [info@cmwac.ca](mailto:info@cmwac.ca)

[www.cmwac.ca](http://www.cmwac.ca)

 CMWACanada

 @CMWAC

June 30, 2021

Allan Lal, Development Manager  
Thind Properties  
700-4211 Kingsway,  
Burnaby, BC, V5H 1Z6

Dear Mr. Lal,

Thank you very much for your recent email with your request for a letter of confirmation. On behalf of the CMWAC, we will exercise the first right-of-refusal as a non-profit organization.

In addition, this is to advise that the building design meets the needs of CMWAC . We look forward to hearing from your further news regarding the development progress.

Warmest Regards,

Ahlay Chin, M.A., R.P.C., A.B.M.P.P  
Executive Director  
Community Mental Wellness Association of Canada  
Cc: Ching Colobong  
Jessica Yen





**Richmond  
Society for  
Community  
Living**

*Seeing beyond disability...  
... to ability*

June 25, 2021

City of Richmond  
Planning and Development  
6911 No. 3 Rd, Richmond BC  
V6Y 2C1

Attention: Suzanne Carter-Huffman, Senior Planner/Urban Designer

Re: Thind Development, 5740, 5760, 5800 Minoru Blvd. DP (#19-881156)

To Whom It May Concern:

I have reviewed the design plans for the Thind Development. The design plans will meet Richmond Society for Community Living's needs, with first right of refusal to relocate to the new development.

Sincerely,

A handwritten signature in black ink that reads "Shannon Crofton". The signature is fluid and cursive, with the first name being more prominent.

Shannon Crofton  
Chief Executive Officer



## Excerpt from the Minutes from the Advisory Design Panel

Wednesday, November 4, 2020 – 4:00 pm (Remote meeting)

### 1. DP 19-881156 – HIGH-RISE MIXED-USE DEVELOPMENT

ARCHITECT: IBI Group Architects

LANDSCAPE ARCHITECT: Durante Kreuk Ltd. (DKL)

PROPERTY LOCATION: 5740, 5760 and 5800 Minoru Boulevard

#### Applicant's Presentation

Architect Gwyn Vose, IBI Group Architects, and Landscape Architect Stephen Vincent, Durante Kreuk Ltd., presented the project and together with Tony Wai and Mladen Pecanac, IBI, Dave Westley and Lu Tang, Thind Properties, and George Ghattas, SRC Engineering, answered queries from the Panel.

#### Panel Discussion

*Comments from Panel members were as follows:*

- appreciate the provision of 19 percent or 88 affordable housing units in the proposed development;
- support the location of all affordable housing units in a single stand-alone building as it will facilitate the management of the units by the non-profit operator;
- consider installing outward-opening doors for all accessible washrooms in the public and common areas;

***The public washrooms are designed to meet accessibility design requirements.***

- consider installing pocket or outward-opening doors for all washrooms, closets and powder rooms in all Basic Universal Housing (BUH) units;

***Swinging the doors outwards would cause circulation flow issues for the outward space. The BUH washrooms are designed to meet accessibility design requirements.***

- appreciate the accessibility of all shared amenities for tenants and visitors;
- consider making the garbage area accessible to allow tenants in wheelchairs to independently dispose of their garbage;

***Design has been revised so that garbage areas are wheelchair accessible.***

- appreciate the well designed, comprehensive, and inclusive mixed-use development;
- the project is well conceived and well thought out; appreciate the project's mixed uses which make it appear like a city within a city;
- the proposed treatment, particularly the colour, of the underside of balconies provides visual interest;
- support the planning and site layout of the project; appreciate the siting and design of the buildings which minimize the shadow impact on the linear park;
- appreciate the proposal package;



- concerned about how the proposed exterior building materials, e.g. window walls, would appear when the project is built; the model appears more realistic than the renderings; the applicant is encouraged to look at precedent projects and review the proposed building envelope materials to address potential durability and long-term maintenance concerns;

***Window wall is still the primary material use. We will work with the window wall supplier closely to ensure that potential durability and long-term maintenance concerns are minimized.***

- consider relocating the low-rise units located between Tower B and Tower C to the west (between Tower A and Tower B) in order to allow southern sun exposure to the central courtyard;

***By doing so, it has minimal affect / improvements to the shadow impact to the courtyard. The current tower and podium height was set to have a gradual height descending expression from building C to A, which we felt was more important to keep intact.***

- review the proposed location of the three adjacent fire exit doors that open onto the linear park's CRU frontage; consider other options for the location of the fire exits such as at the office tower entrance/exit;

***The corridors and exit doors have been relocated.***

- look at potential CPTED concerns regarding the south walkway, particularly for the townhouse unit at the southwest corner of Tower B; review the floor plans, e.g. location of the bedroom, to address/mitigate potential security and privacy concerns;

***The south end of the project has been redesigned to eliminate or minimize any CPTED concerns including the redesign of the SW townhouse.***

- concerned about the livability, e.g. lack of views and natural light exposure for the affordable housing unit beside the southern staircase on Level 4 to Level 8 of the affordable housing building as these units are enclosed by other units;

***The inner corner units and adjacent units have been redesigned to allow for more light and views.***

- review the accuracy of the labelling of exterior building materials on the south elevation drawing on page 79 of the proposal package; for example, the window wall with spandrel panel has been incorrectly labelled as "CW5" which is actually wood-look metal fin;

***Corrected.***

- some balconies on the residential towers are located in close proximity to each other; consider potential CPTED and privacy issues as these balconies could be accessed from adjacent balconies;

***Privacy screens or walls have been added to eliminate or minimize potential CPTED and privacy issues.***

- appreciate the applicant's comprehensive and detailed presentation;
- appreciate the subtlety and restrained material palette for the linear park and the use of the landform to create different public amenity spaces; however, consider installing weather protection structures to allow all year-round use of some public amenities/spaces and seating with backrest for seniors;
- the incorporation of stormwater management infrastructure in the development of the linear park is appreciated; consider making the stormwater management infrastructure more visible in order to make the linear park more park-like;

***Acknowledged. The design of these elements will be refined through the Servicing Agreement process.***

- the materials and programming of the shared outdoor amenity areas are appropriate; appreciate the provision of substantial greenery and planting; however, ensure that the growing medium is sufficient to establish and maintain the planting;

***Calculations for soil volume show that we are achieving more than 15 cu. m. per tree. We agree this matter is important and will work to maximize the soil volumes.***



- consider more variety to the planting palette for the extensive green roofs other than the proposed sedum mats to enhance biodiversity and sustainability;

***We find that, over time, Sedum Mats tend to take on their own life with seeds from birds and other pioneering species. However, we will mound the soil in some locations to achieve enough depth for some native pollinators.***

- consider different building envelope materials for each building to visually break down the massing;

***We have used colour and different balcony and glazing configurations to breakdown the massing of the building.***

- appreciate the proposal package which is easy to follow; however, the applicant could have provided additional diagrams to better explain the context, key design rationale, and overall design approach for the project;
- overall, the project is well thought out;
- appreciate the project's mixed uses; agree with Panel comment that the project appears like a small city;
- appreciate the animation along the project's street frontages as it would enhance the pedestrian experience; also appreciate the landscaping, in particular the use of the same pavers with different tones along the building frontages especially along the proposed linear park; the proposed paving treatment provides articulation and animation for the linear park;
- consider bringing the playfulness of the landscaping into the treatment of the residential building elevations which currently appear neutral; appreciate the introduction of colour under the balconies; however, consider further treatment to animate the residential building elevations, e.g. change in materials, to create playfulness;

***We have used colour and different balcony and glazing configurations to breakdown the massing of the building.***

- appreciate the applicant's presentation; the challenge for this type of project is to provide cohesion to the buildings so that they will look like a single development while still allowing for individual building expression;
- the project is a good addition to the city;
- appreciate the linear park; support the Panel comment regarding increasing the visibility of the stormwater management infrastructure;

***Acknowledged. The design of these elements will be refined through the Servicing Agreement process.***

- parkade walls are visible in building elevations/sections due to its height; look at how the landscaping interacts and intersects with the building architecture;

***The parkade walls are only visible along the site's south side and part of the east frontage. The south side will only be visible on an interim basis (until the adjacent lot redevelops). This side of the proposed building is enhanced with a decorative paint treatment on the party wall and, where the building is setback, a landscape buffer. On the site's east side, the parkade wall is screened with a decorative wall treatment, canopy structure, trees, and planting.***

- appreciate the proposed paving treatment along building frontages; however, the pavers appear chunky and the applicant should be mindful that the proposed type, size and thickness of the pavers are difficult to work with; also consider how the proposed on-site paving treatment transitions to off-site surface paving treatment;

***Acknowledged. The detailed design of these elements will be refined in coordination with the Servicing Agreement to ensure a well-designed transition between on-site and off-site areas.***

- like the separate but cohesive buildings with minimal material palette which are compatible with the natural character of Richmond (e.g. light coming from the sun and reflection from the river); appreciate the appearance of the buildings will change through the different seasons;



- consider a playful treatment to all pedestrian entries to the buildings that ties in with the landscaping of the project's three frontages and differentiates the entries; the large mural beside the affordable housing building and Tower C lobbies along the lane would be a good place to start;

***The frontages at the tower entrances have been refined to incorporate more landscaping and complement the proposed façade treatments.***

- support the Panel comment regarding adding variety to the planting on the extensive green roofs; consider an extensive green roof treatment that would enhance its ecological function;

***See previous comments.***

- appreciate that the shared outdoor amenity spaces on the landscaped podium could be accessed from separate doorways from each tower; like the flexibility and wide range of amenity spaces provided that could be used by different groups and ages;
- concerned about the small size of the proposed dog run on the podium level common outdoor amenity area; consider increasing its size to accommodate more dogs and provide more space for dogs to move around;

***The size of the dog run has been increased from 2.5 m to 3.5 m in width and from 12 m to 14 m in length. Please note that the dog run is not intended as the primary place for owners to exercise their dogs, as that would require a large area and could have noise impacts on residents. Rather, the purpose of this dog run is to provide a convenience and offer residents the opportunity to bring their dogs with them when they visit the amenity area to socialize or for other activities. In light of this, the aim of the design was to provide a compact and functional design that could be attractively co-located with the children's play space, lawn, patio, and outdoor dining spaces.***

- support Panel comments regarding the applicant's efforts to enhance the public experience in the project; appreciate the extra effort to incorporate public art in the project;
- appreciate the proposal package provided by the applicant and the presentation of the project; however, a section/page on sustainability is lacking; the size and importance of the project should have warranted a section/page on the sustainability aspect of the project to showcase the project's sustainability report, e.g. energy modeling results and preliminary results to demonstrate that the project is on track in terms of sustainability;

***We will work with our consultants to ensure that this project meets the required sustainability standards.***

- mechanical equipment, e.g. air source heat pumps, in mixed-use projects are usually concentrated in the affordable housing building/units as is the case of the subject development;

***We have relocated this equipment to the top of Tower C. As it is one of the project's highest buildings, this location will minimize potential visual and noise impacts on nearby residents and office tenants.***

- the noise generated by the mechanical units on the rooftop of the mid-rise affordable housing building could impact adjacent units in the office and residential towers as well as the affordable housing units below; consider conducting a noise sensitivity study on the noise impact of the mechanical units to the office and residential units with a view to eliminating/mitigating the noise impact;

***The equipment has been relocated as noted above.***

- appreciate the comprehensive package; the project is well presented;
- appreciate the design of the project which makes the complicated project look easy as there is a lot of complexity in the project, e.g. the integration of the affordable housing component with the office, retail and market residential components; the proposed linear park is also complicated;



- wondered about the appropriate representation or articulation of the architecture of the project; appreciate the applicant's efforts to articulate the ground plane and differentiate the street frontages which make the project stronger; the sameness of the residential towers makes them less successful;

***We have added more colour and variations in glazing and balcony configurations to enhance the articulation of the building façades.***

- the planning and massing of the project are successful; appreciate the spacing of the tower blocks and the differentiation of the office component from the residential component of the project;
- the restrained material and colour palette for the whole project may not be applicable to the three residential towers as their similar architectural treatment and slight differences in height make them look the same from the street; consider introducing slight differentiation for the three residential towers through variation in material, colour and/or detailing;

***We have refined the design to enhance the articulation.***

- review the proposed location of the office tower lobby/entrance on the lane side at the northeast corner of the site; the proposed design of the public realm along the lane side may not be able to support the potential heavy pedestrian traffic of office workers and visitors as it lacks the design features of the more active Lansdowne Road frontage, e.g. planters for seating; consider moving the office entrance to the Lansdowne frontage to animate the park;

***Working with City staff, we have decided to leave the office lobby in its original location on the basis that the proposed orientation is key to animating the new street along the site's east side and will have a negligible impact on the vitality of the site's Lansdowne frontage.***

- support the Panel comment that the applicant should have included more information in the proposal package regarding the project's sustainability strategy/measures, including its proposed on-site low-carbon energy plant;

***Acknowledged.***

- the applicant should have included architectural renderings on the linear park frontage from the street perspective as the model lacks details;

***Acknowledged.***

- appreciate the landscaping for the common outdoor amenity spaces on the podium level as they are well designed urban spaces with nice dimensions and openings for sunlight and air to flow between the building forms above; would enhance the residents' experience and keep them engaged;
- consider applying the landscape design approach for the landscaped podium on Level 3, e.g. minimal concrete planter walls, to the linear park along the north edge of the subject site; the proposed traditional planters on the linear park would be suitable for seating but could block access to the retail frontage and the animation of the base of the building; and

***Acknowledged. The design of these elements will be refined through the Servicing Agreement process.***

- the proposed landscape features/structures for artworks and activities at the northeast and northwest corners of the subject site need further design development as they currently appear incongruous with the rest of the project.

***Acknowledged. The design of these elements will be refined through the Servicing Agreement process.***

## **Panel Decision**

It was moved and seconded

***That DP 19-881156 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.***

**CARRIED**





**Address:** 5740, 5760, and 5800 Minoru Boulevard

**File No.:** DP 19-881156

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. OCP Amendment: Final adoption of Bylaw 10136 and Bylaw 10137.
2. Zoning Amendment: Final adoption of Bylaw 10138.
3. Revised Development Requirements: Completion, to the City's satisfaction, of the terms of the Rezoning Considerations approved by Council with respect to RZ 18-807640, which terms shall be amended to accurately reflect the Development Permit design, as determined to the City's satisfaction, with respect to the following:
  - 3.1. (RZC 3.4) Statutory Right-of-Way (SRW) - City-Owned Park Enhancement Area: Revise the terms to:
    - a) Permit encroachments (permanent and temporary) in the "linear park expansion" area on the same terms as the "plaza expansion" area, provided that an uninterrupted, universally accessible route is provided for public use at all times, measuring at least 2.0 m (6 ft. 6 in.) wide (between the north boundary of the SRW area and the building face) and extending the full length (east-to-west) of the SRW area;
    - b) Permit permanent encroachments in the form of landscape features and furnishings approved through the Development Permit and Servicing Agreement\*; and
    - c) Permit temporary encroachments in the form of outdoor dining areas for the exclusive use of specific fronting commercial units or temporary food vendors, provided that it is not contained within a permanent or temporary structure, with the exception of retractable weather protection (e.g., patio umbrellas).
  - 3.2. (RZC 12.1) Affordable Rental Housing Building: Revise the terms of the Housing Covenant to reflect accurately the Development Permit design, without reducing the developer's commitment to the total floor area or number of units, as generally shown in Table 1 and Table 2 below, as determined to the satisfaction of the Director, Community Social Development and Director, Development.

**TABLE 1**

Calculation of Minimum Residential Area	Estimated Minimum Area @ RZ Stage	Proposed Minimum Floor Area
<i>A. MIN. RESIDENTIAL SPACE</i>	6,430.5 m <sup>2</sup> (69,217.0 ft <sup>2</sup> )	7,126.8 m <sup>2</sup> (76,712.0 ft <sup>2</sup> )
<ul style="list-style-type: none"><li>Habitable Unit Area (10% of max. permitted ZMU46 "base" residential floor area)</li></ul>	2,774.1 m <sup>2</sup> (29,860.3 ft <sup>2</sup> )	2,790.6 m <sup>2</sup> (30,037.4 ft <sup>2</sup> )
<ul style="list-style-type: none"><li>ZMU46 affordable housing bonus comprising habitable unit area and ancillary space</li></ul>	3,006.9 m <sup>2</sup> (32,365.6 ft <sup>2</sup> )	3,006.9 m <sup>2</sup> (32,365.6 ft <sup>2</sup> )
<ul style="list-style-type: none"><li>Additional ancillary space</li></ul>	649.5 m <sup>2</sup> (6,991.1 ft <sup>2</sup> )	1,329.3 m <sup>2</sup> (14,309.0 ft <sup>2</sup> )

**TABLE 2**

Building Features	Estimated Minimum Area @ RZ Stage	Proposed Minimum Floor Area
<i>A. MIN. RESIDENTIAL SPACE</i>	6,430.5 m <sup>2</sup> (69,217.0 ft <sup>2</sup> )	7,126.8 m <sup>2</sup> (76,712.0 ft <sup>2</sup> )
<ul style="list-style-type: none"><li>Min. Combined Total Habitable Unit Area</li></ul>	Not specified	6,166.0 m <sup>2</sup> (66,370.0 ft <sup>2</sup> )
<ul style="list-style-type: none"><li>Min. Residential Ancillary Space</li></ul>	Not specified	960.8 m <sup>2</sup> (10,342.0 ft <sup>2</sup> )



Building Features	Estimated Minimum Area @ RZ Stage	Proposed Minimum Floor Area
B. MIN. EXCLUSIVE INDOOR AMENITY SPACE	110.9 m <sup>2</sup> (1,194.0 ft <sup>2</sup> )	153.6 m <sup>2</sup> (1,654.0 ft <sup>2</sup> )
C. MIN. TOTAL AFFORDABLE HOUSING FEATURES	6,541.4 m <sup>2</sup> (70,411.0 ft <sup>2</sup> )	7,280.4 m <sup>2</sup> (78,366.0 ft <sup>2</sup> )
Min. Number of Units	88	88
Unit Mix	Studio/1-BR: 47% (41 units) 2-BR/3-BR: 53% (47 units)	Studio/1-BR: 47%(41 units) 2-BR/3-BR: 53% (47 units)

**NOTE:**

- Floor areas exclude standard Zoning Bylaw exemptions
- Habitable Unit Floor Area shall be measured to the outside face of any exterior walls and the mid-point of any demising walls separating a unit from another unit or space/use (e.g., corridors), as per City standards.
- Min. Combined Total Habitable Unit Area shall include at least 10% of the development's "base" residential density, together with part of the ZMU46 affordable housing bonus and/or additional "base" residential density as needed to satisfy City policy regarding the Habitable Unit Areas, Unit Mix, and Basic Universal Housing (BUH) requirements for the 88 affordable low-end-of-market-rental (LEMR) units.
- For the purpose of the Min. Total Combined Habitable Unit Area calculation, the ZMU46 "base" residential density shall be 2 FAR less the estimated retail floor area at Level 1 = 27,905.6 m<sup>2</sup> (300,373.9 ft<sup>2</sup>.)
- The affordable housing unit residents/operator and non-profit social service space (NPSS) tenants shall have unrestricted shared use of the Level 1 and 2 lobbies. For density calculation purposes, the Level 1 and 2 lobbies are "community amenity space" (i.e. not residential) and, thus, the tables EXCLUDE the Level 1 and 2 lobbies from the floor areas indicated for A. Min. Residential Space and C. Min. Total Affordable Housing Features. FOR CLARITY, while the Level 1 and 2 lobbies are excluded from the tables, the developer shall design and construct both lobbies to a turnkey level of finish (at the developer's sole cost) and secure them for shared affordable housing/NPSS use, to the satisfaction of the Director, Community Social Development and Director, Development.
- Min. Residential Ancillary Space generally comprises those walls not included in Habitable Unit Area and circulation, EXCLUDING the Level 1 and 2 lobbies.
- Min. Exclusive Indoor Amenity Space means the indoor amenity space located within the affordable rental building for the exclusive use of the affordable housing unit residents/operator, including 18.6 m<sup>2</sup> (200.0 ft<sup>2</sup>) for the non-profit housing operator administration and program purposes.
- Min. Number of Units is secured through Residential Rental Tenure Zoning, as specified in the ZMU46 zone.
- 100% of affordable housing units shall comply with the City's Basic Universal Housing (BUH) standards.

4. **Development Holds:** Completion, to the City's satisfaction, of the terms of all restrictions on Development Permit issuance specified in legal agreements registered on title to the lands with respect to RZ 18-807640, which (in addition to providing required features in the DP design) shall include, but may not be limited to the following:

4.1. Statutory Right-of-Way (SRW) with respect to:

- a) (RZC 11.6) Car-Share Measures: Registration of a SRW on title to the lands, together with applicable access easement and/or other legal agreements, to secure the car-share parking facilities and their required operation, as determined to the satisfaction of the Direction of Transportation.

4.2. Report from an accredited/registered professional with respect to:

- a) (RZC 5) Aircraft Noise: Confirmation from an acoustic professional that the building design complies with all OCP aircraft noise requirements. (Submitted December 18, 2019, REDMS #6704267)

4.3. Letters of confirmation from accredited/registered professionals and others, as applicable, with respect to:

- a) (RZC 1) Building Height: Confirmation from the surveyor that the building height complies with Transport Canada regulations. (Submitted June 21, 2021, REDMS #6704265)
- b) (RZC 6) Flood Construction: Confirmation from the architect that the building design complies with Richmond's Flood Construction Bylaw ("Area A"). (Submitted June 25, 2021, REDMS #6703555)



- c) (RZC 7) View and Other Development Impact: Confirmation from the architect that the building design complies with the report prepared by the architect and attached to the View and Other Development covenant prior to adoption of the rezoning bylaw. *(Submitted June 25, 2021, REDMS #6703555)*
- d) (RZC 12.1) Affordable Rental Housing Building: Confirmation from the non-profit housing operator that:
  - i. The Memorandum of Understanding (MOU) with the developer, signed June 11, 2020, a copy of which was submitted to the City through the rezoning, remains in effect; and
  - ii. The building design, parking, residential indoor and outdoor amenity spaces, and related features shown in the Development Permit drawings with respect to the Affordable Rental Housing Building and its future occupants are satisfactory. *(Submitted July 7, 2021, REDMS #6708910)*
- e) (RZC 13) Non-Profit Social Service Agency Accommodation Measures: Confirmation from the two non-profit social service agencies previously located on the lands that that the building design will meet their needs should one or both choose to exercise their first-right-of-refusal to relocate to the development's required on-site Replacement Space. *(Submitted June 25 & 30, 2021, REDMS #6703689 & #6705714)*

4.4. Letter of credit with respect to:

- a) (RZC 11.6) Car-Share Measures: Submission of a Letter of Credit (\$50,000) to the City to secure the developer's commitment to provide two car-share vehicles, based on \$25,000 per car.

5. Residential Amenity Space: Registration on title of a restrictive covenant or alternative legal agreement, to the satisfaction of the City, specifying the amount and distribution of common indoor and outdoor amenity space and securing use of the amenity spaces for occupants of the market dwellings and occupants on the Affordable Rental Housing Building as set out in the Development Permit. More specifically:

5.1. Common outdoor residential amenity space provided to satisfy OCP and CCAP DP Guidelines and the rezoning shall:

- a) Based on a maximum of 429 dwellings, have a minimum combined total area of 2,574.0 m<sup>2</sup> (27,706.3 ft<sup>2</sup>) or as approved through the Development Permit, whichever is greater, and include at least 600.0 m<sup>2</sup> (6,458.3 ft<sup>2</sup>) of children's play space; and
- b) Be designated for use by the residents of the Affordable Rental Housing Building (AH) and market strata units (MS) as indicated in the following table, unless otherwise approved by the Director of Development and Director of Community Social Development:

Users	Location	Outdoor Amenity Description	Proposed Area
AH only	AH Building (L9)	Landscaped patio	57.0 m <sup>2</sup> (613.5 ft <sup>2</sup> )
AH & MS shared	Podium roof south & centre (L3)	Landscaped patios, decorative gardens, lawns, children's play spaces and gardening plots with related facilities.	2,977.0 m <sup>2</sup> (32,044.2 ft <sup>2</sup> ), including at least 746.0 m <sup>2</sup> (8,029.9 ft <sup>2</sup> ) of children's play space
<b>TOTAL</b>			<b>3,034.0 m<sup>2</sup> (32,657.7 ft<sup>2</sup>)</b>

5.2. Common indoor residential amenity space provided to satisfy OCP and CCAP DP Guidelines and the rezoning shall:

- a) Based on a maximum of 429 dwellings, have a minimum combined total area of 876.6 m<sup>2</sup> (9,435.4 ft<sup>2</sup>) comprising at least:
  - i. 858.0 m<sup>2</sup> (9,235.4 ft<sup>2</sup>) of indoor recreation space, based on a minimum of 2.0 m<sup>2</sup> per unit; and
  - ii. 18.6 m<sup>2</sup> (200.0 ft<sup>2</sup>) of space for the use of the non-profit affordable housing operator; and



- b) Be designated for the use of the residents of the Affordable Rental Housing Building (AH) and market strata units (MS) as indicated in the following table, unless otherwise approved by the Director of Development and Director of Community Social Development.

Users	Location	Indoor Amenity Description	Minimum Area	Proposed Area	
AH & MS shared	Office tower (L3)	Fitness	464.5 m <sup>2</sup> (5,000.0 ft <sup>2</sup> )	484.0 m <sup>2</sup> (5,210.0 ft <sup>2</sup> )	
AH only	AH Building (L3)	Lounge, multi-purposes rooms, kitchenette, and space for the non-profit housing operator	110.9 m <sup>2</sup> (1,194.0 ft <sup>2</sup> )	144.3 m <sup>2</sup> (1,554.0 ft <sup>2</sup> )	153.6 m <sup>2</sup> (1,654.0 ft <sup>2</sup> )
AH only	AH Building (L1)	Housing operator's office		9.3 m <sup>2</sup> (100.0 ft <sup>2</sup> )	
MS only	L3	Lounge and tea house	N/A	391.7 m <sup>2</sup> (4,216.0 ft <sup>2</sup> )	479.8 m <sup>2</sup> (5,164.0 ft <sup>2</sup> )
MS only	L4	Workshop		88.1 m <sup>2</sup> (948.0 ft <sup>2</sup> )	
TOTAL			876.6 m <sup>2</sup> (9,435.4 ft <sup>2</sup> )	1,117.4 m <sup>2</sup> (12,028.0 ft <sup>2</sup> )	

- 5.3. The owners and occupants of the market residential units and owner, operator, and occupants of the Affordable Rental Housing Building may permit non-residential tenants on the lands (e.g., workers in the office building) to have shared use of indoor residential amenity space on the lands, provided that:

- Non-residential use of outdoor residential amenity space shall be prohibited;
- Non-residential use of indoor residential amenity space shall be limited to the indoor facilities located at Level 3 of the office tower and must be managed to ensure that it does not compromise the use or enjoyment of those indoor facilities by residents, as determined to the satisfaction of both the market strata residents and affordable housing occupants; and
- Any related costs (e.g., increased maintenance or security) are not passed on to the owner, operator, or occupants of the Affordable Rental Housing Building.

- 5.4. No Building Permit\* shall be issued for a building on the lands, in whole or in part (excluding parking intended to be ancillary to a non-parking use on the lands) unless:

- The detailed design of the residential amenity spaces, including features and related requirements necessary for possible future non-residential shared use of the indoor facility within the office building, is satisfactory to the Director of Development and Director, Community and Social Development; and
- The architect submits a letter of confirming that the design of the amenity spaces and features satisfies all applicable City requirements.

6. Electric Vehicle (EV) Charging Equipment for Vehicles and "Class 1" Bike Storage: Registration on title of a restrictive covenant or alternative legal agreement, to the satisfaction of the City, to clarify requirements regarding EV charging facilities specified through RZ 18-807640 and contained within the Development Permit. More specifically, the agreement shall require that:

- 6.1. 100% of resident parking (i.e. designated for the use of occupants of the market units and Affordable Rental Housing Building) shall be equipped with energized 240V Charging Stations (i.e. energized outlets capable of providing Level 2 charging or higher); and



- 6.2. 5% of non-residential parking, based on the total number of commercial parking spaces approved through the Development Permit plus the two (2) required car-share parking spaces shall be equipped with energized 240V Charging Stations (i.e. energized outlets capable of providing Level 2 charging or higher) and shall include:
- a) At least 12 of the 23 parking spaces designated for the exclusive use of the non-profit social service agency “Replacement Space” tenants and their guests (as per the terms of RZC 13, Schedule D), including at least one accessible space or van-accessible space and no more than 50% small car spaces (as defined by the Zoning Bylaw); and
  - b) Two car-share parking spaces (as per the terms of RZC 11.6 “Car-Share Measures”).
- 6.3. The electrical circuits serving the:
- a) Market residential parking spaces must serve only those parking spaces;
  - b) Affordable Rental Housing Building parking spaces must serve only those parking spaces;
  - c) Non-profit social service agency parking spaces must serve only those parking spaces; and
  - d) Car-share parking spaces must serve only those parking spaces.
- 6.4. For the car-share parking spaces, as determined at the developer/owner’s discretion, the required service shall be provided by either:
- a) dedicating one 40A 208V circuit to each individual parking space, such that upon first occupancy of the building, in whole or in part (as provided for by RZC 17 “Occupancy Staging Agreement”), both of the required EV-equipped parking spaces are equipped with an energized outlet box with a receptacle capable of charging electric vehicles (i.e. one for each 40A 208-240V circuit); or
  - b) servicing the 2 car-share parking spaces with a single 40A 208-240V circuit by, prior to first occupancy of the building, in whole or in part (as provided for by RZC 17 “Occupancy Staging Agreement”), providing each parking space with an energized outlet with a smart EV Charger connected to a load-sharing system capable of delivering at least 24 kWh of charging to each vehicle within an 8 hour period when both parking spaces are occupied by charging vehicles (e.g. 2-way load share of a 40A 208-240V circuit).
- 6.5. For resident parking (for the occupants of market units and Affordable Rental Housing Building units) and non-profit social service agency parking (for tenants of the “Replacement Space” and their guests), as determined at the developer’s discretion, the required service may be provided by either:
- a) Dedicating one 208V circuit to each individual parking space, such that upon first occupancy of the building, in whole or in part (as provided for by RZC 17 “Occupancy Staging Agreement”), all of the required EV-equipped parking spaces are equipped with an outlet box with a receptacle capable of charging electric vehicles (i.e. one for each 40A 208-240V circuit); or
  - b) Servicing multiple parking spaces with each 40A 208-240V circuit, such that:
    - i. The building design supports the future installation by others (e.g., residential and/or non-residential owners) of a load sharing system capable of delivering at least 12 kWh of charging to every car within an 8 hour period when every parking space is occupied by a charging car (e.g. 4-way load share of a 40A 208-240V circuit); and
    - ii. Upon first occupancy of the building, in whole or in part (as provided for by RZC 17 “Occupancy Staging Agreement”), prior to the installation of a load sharing system:
      - at least 25% of resident parking spaces (including a proportional share of required market resident parking and Affordable Rental Housing Building parking) and at least 25% of the required EV-equipped non-profit social service agency parking spaces are equipped with an outlet box with a receptacle capable of charging electric vehicles (i.e. one for each 40A 208-240V circuit); and
      - the remaining required EV-equipped resident and non-profit social service agency parking spaces each have an outlet box containing capped energized wires covered with a cover plate.



7. Loading: Registration on title of a restrictive covenant or alternative legal agreement, to the satisfaction of the City, specifying the amount, distribution, operation, and shared use of loading facilities, including those required for waste pick-up, as set out in the rezoning and Development Permit, to the satisfaction of the Director of Transportation. This shall include, but will not be limited to, shared use of the development's loading and waste management facilities by the occupants and operator of the affordable housing units and the owner and tenants of the replacement non-profit social services space to the satisfaction of the Director, Community Social Development. (All on-street waste management operations shall be prohibited.) Specifics of the loading requirements shall include, but shall not be limited to:
  - 7.1. The owner's construction and maintenance of six (6) medium truck loading spaces, including:
    - a) Five (5) standard loading spaces that comply with Zoning Bylaw requirements; and
    - b) One (1) over-sized loading space, with increased width and a minimum clear ceiling height of 7.5 m (24.6 ft.), for exclusive use for waste vehicle pick-up and related waste management activities;
  - 7.2. Shared use of the waste vehicle pick-up space by all on-site uses, including the occupants and operator of the affordable housing units and the tenants of the replacement non-profit social services space;
  - 7.3. Shared use of the five (5) standard loading spaces as follows, unless otherwise determined to the satisfaction of the Director of Transportation:
    - a) Two (2) contiguous spaces shall be designated for shared non-residential use only, including the owners, operators, employees, and tenants of the office, retail, restaurant, and other commercial spaces/uses on the site (excluding any home-based business conducted by a resident in a dwelling) and the owner and tenants of the replacement non-profit social services space; and
    - b) Three (3) contiguous spaces shall be designated for shared residential use only, including the owners, operators, and tenants of the market strata units and affordable housing units.
8. Development Permit Landscape Security: Enter into a legal agreement and submit a Letter of Credit (\$1,656,611.00) for landscaping, based on a signed/sealed cost estimate provided by a CSLA registered landscape architect (including 10% contingency), excluding landscape works that are subject to a Servicing Agreement\* (i.e. off-site works and works within the City-Owned Park Enhancement Area SRW).

**Prior to Building Permit\* issuance, the developer must complete the following requirements:**

1. Existing Legal Agreements: Completion, to the City's satisfaction, of the terms of all applicable legal agreements registered on title to the lands prior to rezoning and/or Development Permit issuance. This may include the discharge of existing agreements and the registration of modifications, replacements, and/or new legal agreement, as determined by the City, and may require the developer's submission of security (Letters of Credit), cash payments, reports or letters of assurance, or other items, as applicable.
2. Construction Parking and Traffic Management Plan: Submission of a Plan to the Transportation Department. The Plan shall include locations for parking for services, deliveries, and workers, loading, applications for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Accessibility: Incorporation of accessibility measures in Building Permit\* plans as determined via the Development Permit.
4. BC Energy Step Code & District Energy Utility (DEU): Incorporation of measures in Building Permit\* plans, as determined to the City's satisfaction, to:
  - 4.1. Facilitate the future connection of the lands to a City DEU system; and
  - 4.2. Provide for the development, which shall include a low carbon energy plan, to achieve Step 2.



5. Construction Hoarding: Obtain a Building Permit\* (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit\*. For additional information, contact the Building Approvals Department at 604-276-4285.

**NOTE:**

- *Items marked with an asterisk (\*) require separate applications.*
- *Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.*

*All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.*

*The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.*
- *Additional legal agreements, as determined via the subject development's Servicing Agreement\*(s) and/or Building Permit\*(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.*
- *Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities comply with all relevant legislation.*

## SIGNED COPY ON FILE

---

Signed

---

Date





# City of Richmond

## Development Permit

**No. DP 19-881156**

To the Holder: Minoru View Homes Ltd.

Property Address: 5740, 5760, and 5800 Minoru Boulevard

Address: #700 – 4211 Kingsway, Burnaby, BC V5H 1Z6

---

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - Reduce the minimum balcony setback from 2.0 m to 1.5 m above the second storey along the Minoru Boulevard frontage of the southwest residential tower and the east street frontage of the affordable housing building.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1a to #11 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,656,611.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.



# Development Permit

No. DP 19-881156

To the Holder: Minoru View Homes Ltd.

Property Address: 5740, 5760, and 5800 Minoru Boulevard

Address: #700 – 4211 Kingsway, Burnaby, BC V5H 1Z6

---

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

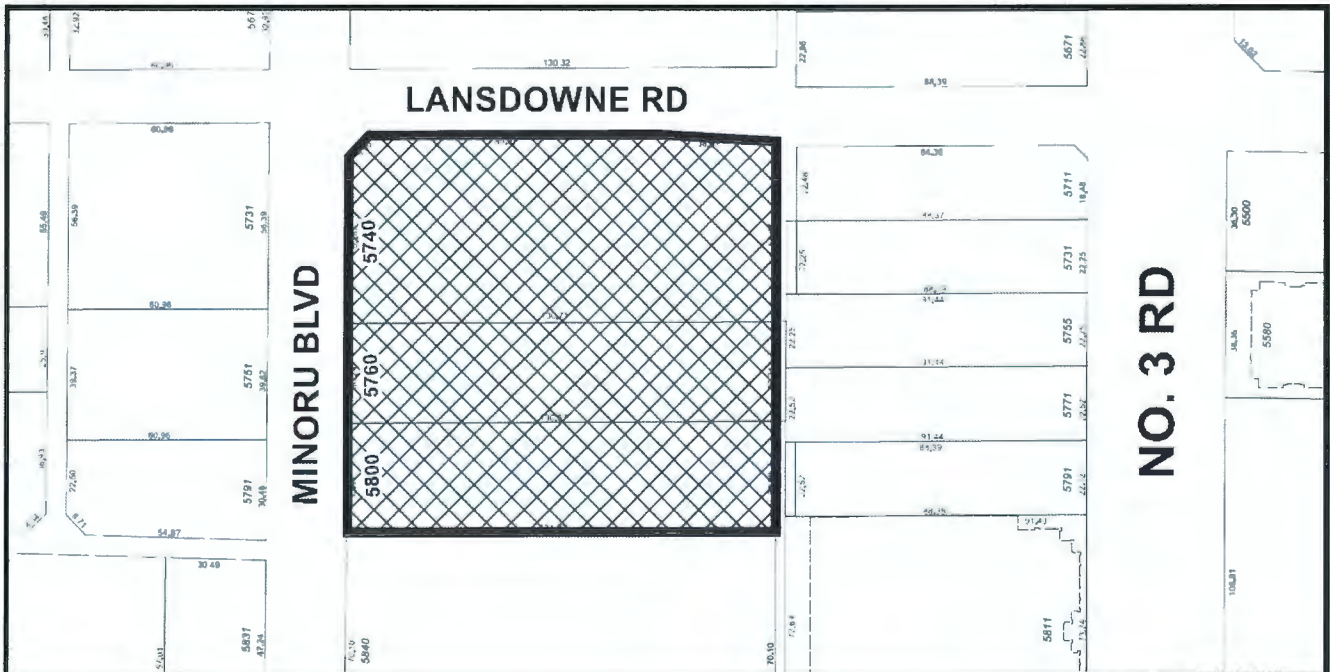
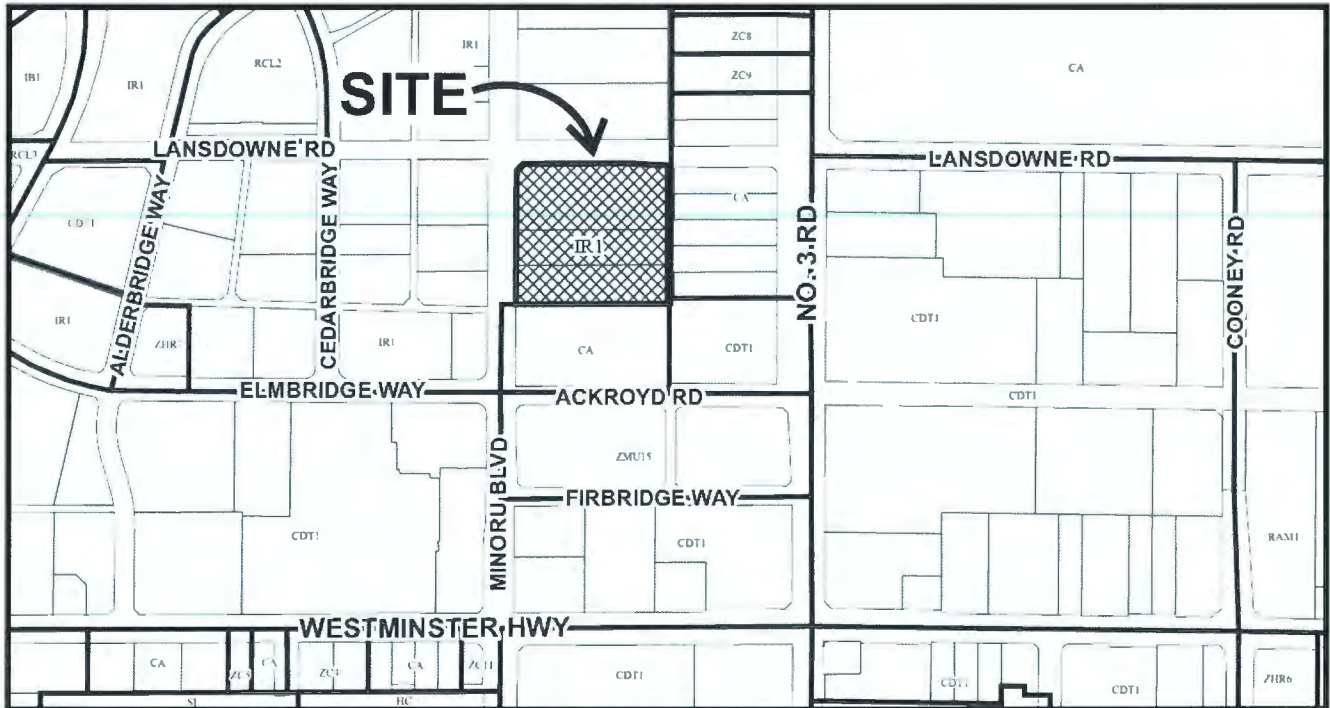
---

MAYOR





# City of Richmond



DP 19-881156  
SCHEDULE "A"

Original Date: 01/07/20

Revision Date:

Note: Dimensions are in METRES



Applicant: Minoru View Homes Ltd.

Owner: Minoru View Homes Ltd.

Floor Area Gross: 51,633.56 m<sup>2</sup> (555,779.00 ft<sup>2</sup>)

Floor Area Net: 47,906.5 m<sup>2</sup> (515,661.5 ft<sup>2</sup>)

	Existing	Proposed		
Site Area	<ul style="list-style-type: none"><li>15,604.2 m<sup>2</sup> (167,962.2 ft<sup>2</sup>)</li></ul>	<ul style="list-style-type: none"><li>Road &amp; Park Contributions:<ul style="list-style-type: none"><li>Density-Eligible Park: 859.2 m<sup>2</sup> (9,248.4 ft<sup>2</sup>)</li><li>Density-Eligible Road: 1,210.3 m<sup>2</sup> (13,027.6 ft<sup>2</sup>)</li><li>Other Road: 569.9 m<sup>2</sup> (6,134.4 ft<sup>2</sup>)</li></ul></li><li>Net Site: 12,964.8 m<sup>2</sup> (139,551.9 ft<sup>2</sup>)</li></ul>		
Site for Density Calculations	<ul style="list-style-type: none"><li>N/A</li></ul>	<ul style="list-style-type: none"><li>15,034.3 m<sup>2</sup> (161,827.9 ft<sup>2</sup>)</li></ul>		
Land Uses	<ul style="list-style-type: none"><li>Commercial, recreation &amp; light industry</li></ul>	<ul style="list-style-type: none"><li>Office, pedestrian-oriented commercial &amp; multi-family residential (including 88 Residential Rental Tenure affordable housing units)</li></ul>		
OCP	<ul style="list-style-type: none"><li>Mixed Use</li></ul>	<ul style="list-style-type: none"><li>Mixed Use</li></ul>		
City Centre Area Plan (CCAP) Designation	<ul style="list-style-type: none"><li>Urban Centre T5 (35 m) (2 FAR)</li><li>Pedestrian-Oriented Retail Precinct</li><li>Proposed Streets</li></ul>	<ul style="list-style-type: none"><li>As per the existing CCAP, PLUS:<ul style="list-style-type: none"><li>Village Centre Bonus (office only) (1.0 FAR)</li><li>Park</li><li>Pedestrian-Oriented Retail Precinct – High Street &amp; Linkages</li></ul></li></ul>		
Aircraft Noise Sensitive Development	<ul style="list-style-type: none"><li>Moderate Aircraft Noise (Area 3) – All aircraft noise sensitive development (ANSD) uses may be considered</li></ul>	<ul style="list-style-type: none"><li>As per OCP Policy: Registration of the City's standard restrictive ANSD covenant; preparation of an acoustic report; noise mitigation measures; &amp; air conditioning capability (e.g., pre-ducted)</li></ul>		
Zoning	<ul style="list-style-type: none"><li>Industrial Retail (IR1)</li></ul>	<ul style="list-style-type: none"><li>Development site: "High Density Mixed Use &amp; Affordable Rental Housing (ZMU46)"</li><li>City-owned park site: "School &amp; Institution Use (SI)"</li></ul>		
Number of Units & Unit Mix	<ul style="list-style-type: none"><li>N/A</li></ul>	Housing Types	Studio + 1-BR	2-BR + 3-BR
		Market Units (341)	4 + 152 = 156 (46%)	166 + 19 = 185 (54%)
		Affordable H. (88)	15 + 26 = 41 (47%)	41 + 6 = 47 (53%)
		Total (429 Units)	19 + 178 = 197 (46%)	207 + 25 = 232 (54%)
% Affordable Housing (AH)	<ul style="list-style-type: none"><li>N/A</li></ul>	<ul style="list-style-type: none"><li>AH Habitable unit area: 20% of total residential</li><li>AH Residential Area (habitable units + ancillary): 23% of total residential</li></ul>		
Basic Universal Housing	<ul style="list-style-type: none"><li>N/A</li></ul>	<ul style="list-style-type: none"><li>30% of total units (129 units), including:<ul style="list-style-type: none"><li>12% Market Units (41 units)</li><li>100% Affordable Housing Units (88 units)</li></ul></li></ul>		
BC Energy Step Code & District Energy Utility	<ul style="list-style-type: none"><li>N/A</li></ul>	<ul style="list-style-type: none"><li>District Energy Utility (DEU) ready</li><li>On-site low-carbon energy plant transferred to the City (at the developer's cost)</li><li>BC Energy Step 2</li></ul>		

ZMU46 Bylaw / Rezoning Requirements		Proposed	Variance
Floor Area Ratio (FAR)	<ul style="list-style-type: none"><li>Mixed use: 3.2 FAR max, including:<ul style="list-style-type: none"><li>Base (including 10% AH, 90% market housing &amp; balance as retail): 2.0 FAR</li><li>Additional AH bonus: 0.2 FAR<ul style="list-style-type: none"><li>Sub-Total: 2.2 FAR</li></ul></li><li>Village Centre Bonus (office only): 1.0 FAR</li></ul></li><li>Community amenity (non-profit social service/NPSS use only): 0.1 FAR max.</li></ul>	<ul style="list-style-type: none"><li>Mixed use: 3.186 FAR, including:<ul style="list-style-type: none"><li>Residential: 2.056 FAR<ul style="list-style-type: none"><li>Market housing: 1.582 FAR</li><li>AH Housing Features: 0.474 FAR</li></ul></li><li>Retail: 0.144 FAR<ul style="list-style-type: none"><li>Sub-Total: 2.2 FAR</li></ul></li><li>Office (VCB): 0.986 FAR</li></ul></li><li>Community amenity (NPSS use only): 0.039 FAR, including both GLA &amp; ancillary space</li></ul> <p><i>NOTE: "AH Housing Features" includes both habitable unit area &amp; ancillary space in the stand-alone rental building</i></p>	None permitted
Buildable Floor Area*	<ul style="list-style-type: none"><li>Mixed use: 48,109.8 m<sup>2</sup> (517,849.2 ft<sup>2</sup>) max., including:<ul style="list-style-type: none"><li>Base (including 10% AH, 90% market housing &amp; balance as retail): 30,068.6 m<sup>2</sup> (323,655.7 ft<sup>2</sup>)</li><li>Additional AH bonus: 3,006.9 m<sup>2</sup> (32,365.6 ft<sup>2</sup>)<ul style="list-style-type: none"><li>Sub-Total: 33,075.5 m<sup>2</sup> (356,021.3 ft<sup>2</sup>)</li></ul></li><li>Village Centre Bonus (office only): 15,034.3 m<sup>2</sup> (161,827.9 ft<sup>2</sup>)</li></ul></li><li>Community amenity (NPSS use only): 425.7 m<sup>2</sup> (4,582.2 ft<sup>2</sup>) min. GLA <u>plus</u> ancillary space</li></ul>	<ul style="list-style-type: none"><li>Mixed use: 47,906.5 m<sup>2</sup> (515,661.5 ft<sup>2</sup>), including:<ul style="list-style-type: none"><li>Residential: 30,912.5 m<sup>2</sup> (332,739.5 ft<sup>2</sup>)<ul style="list-style-type: none"><li>Market: 23,785.7 m<sup>2</sup> (256,027.5 ft<sup>2</sup>)</li><li>AH rental: 7,126.8 m<sup>2</sup> (76,712.0 ft<sup>2</sup>)</li></ul></li><li>Retail: 2,163.0 m<sup>2</sup> (23,281.8 ft<sup>2</sup>)<ul style="list-style-type: none"><li>Sub-Total: 33,075.5 m<sup>2</sup> (356,021.3 ft<sup>2</sup>)</li></ul></li><li>Office (VCB): 14,826.1 m<sup>2</sup> (159,587.0 ft<sup>2</sup>)</li></ul></li><li>Community amenity (NPSS only): 714.2 m<sup>2</sup> (7,688.0 ft<sup>2</sup>) including 462.3 m<sup>2</sup> (4,977.0 ft<sup>2</sup>) GLA &amp; ancillary space (including Level 1 &amp; 2 lobbies shared with AH tenants)</li></ul> <p><i>NOTE: "AH rental" includes habitable unit area &amp; ancillary space (except shared lobbies &amp; indoor amenity space)</i></p>	None permitted

CITY OF RICHMOND NOTES (DP 19-881156):

**VARIANCES:** *The development reduces the minimum balcony setback from 2.0 m to 1.5 m above the second storey along the Minoru Boulevard frontage of the southwest residential tower and the east street frontage of the affordable rental building. Variances are shown on Plan #2 Site Plan and applicable floor plans, building sections, and landscape plans.*

**Statutory Rights-of-Ways:** Prior to rezoning adoption and/or Development Permit issuance, as applicable, right-of-ways for public access and utilities will be registered on title. These areas comprise part of the net developable site for Development Permit and Building Permit FAR calculation purposes and are shown on **Plan #2 Site Plan** and the applicable floor plans and landscape plans.

**Energy/Sustainability:** BC Energy Step #2 (requires a low-carbon energy plant to be constructed on-site)

**District Energy Utility (DEU):** Legal agreement registered on title. DEU-ready design required.

**Maximum Number of Dwellings:** 429 (88 affordable units + 341 market strata units)

DRAWINGS ORGANIZED AS FOLLOWS:

- |     |              |   |
|-----|--------------|---|
| 1.  | PLAN #1      | Statistics  |
| 2.  | PLAN #2      | Site Plan – This section includes: <ul style="list-style-type: none"><li>Variance &amp; SRWs (public access &amp; utilities) on Site Plan</li><li>Subdivision Plan with SRWs (NOTE: Existing sanitary sewer SRW along the subject site's south PL serves the neighbour &amp; must remain in place.)</li><li>Aerial photograph (REFERENCE PLAN)</li><li>Shading studies (REFERENCE PLAN)</li></ul>   |
| 3.  | PLAN #3      | Floor Plans <ul style="list-style-type: none"><li>Flood Construction covenant is registered on title to the site</li></ul>  |
| 4.  | PLAN #4      | Landscape <ul style="list-style-type: none"><li>REFERENCE PLANS included for the linear park &amp; adjacent SRW (Subject to the SA)</li></ul>   |
| 5.  | PLAN #5      | Building Sections   |
| 6.  | PLAN #6      | Building Elevations   |
| 7.  | PLAN #7      | Materials   |
| 8.  | PLAN #8      | Streetscape Details (3D views)  |
| 9.  | PLAN #9      | Occupancy Staging Diagrams  |
| 10. | PLAN #10     | Development Details   |
|     | a) PLAN #10a | Affordable Rental Building, including: <ul style="list-style-type: none"><li>88 low-end-of-market-rental units in a stand-alone building (Housing Agreement registered on title) to be built to a turnkey level of finish</li><li>2 non-profit social service (NPSS) spaces (legal agreement on title) to be built to a shell level of finish + turnkey level for lobby/circulation</li></ul>   |
|     | b) PLAN #10b | Basic Universal Housing (BUH) & Aging in Place Summary <ul style="list-style-type: none"><li>129 BUH units = 88 Affordable Housing &amp; 41 market units</li><li>All other units include aging in place features</li></ul>  |
|     | c) PLAN #10c | Outdoor Amenity Space Summary   |
|     | d) PLAN #10d | Indoor Amenity Space Summary  |
|     | e) PLAN #10e | Parking & EV Charging Summary <ul style="list-style-type: none"><li>There are special parking requirements for Public (short-term) Parking, NPSS space parking, Affordable Housing parking, and residential visitor parking, all of which are secured with legal agreements</li><li>2 parking spaces for car-share vehicles must be located on the ground floor</li><li>EV charging requirements are described &amp; shown on the plan (i.e. all resident parking spaces, 12 NPSS spaces, and the 2 car-share spaces)</li></ul> |
|     | f) PLAN #10f | Non-Residential Class 1 Bike Storage & End-of-Trip Facilities <ul style="list-style-type: none"><li>End-of-trip cycling facilities &amp; bike maintenance/repair facilities (including a bike wash) are provided for non-residential tenants</li><li>Energized 120V duplex outlets provided (at least 1 for each 10 bikes in each Class 1 bike room)</li></ul>  |
|     | g) PLAN #10g | Residential Class 1 Bike Storage & Bike Maintenance Facilities <ul style="list-style-type: none"><li>Bike maintenance/repair facilities (including a bike wash) are provided for residential tenants</li><li>Energized 120V duplex outlets provided (at least 1 for each 10 bikes in each Class 1 bike room)</li></ul>  |
|     | h) PLAN #10h | Class 2 Bike Storage <ul style="list-style-type: none"><li>All Class 2 bike storage is provide in the form of racks outside the building</li></ul>  |
|     | i) PLAN #10i | Loading Summary   |
|     | j) PLAN #10j | Waste Management Summary  |
|     | k) PLAN #10k | Fire Response Summary   |
| 11. | PLAN #11     | Signage Concept (REFERENCE PLAN)  |



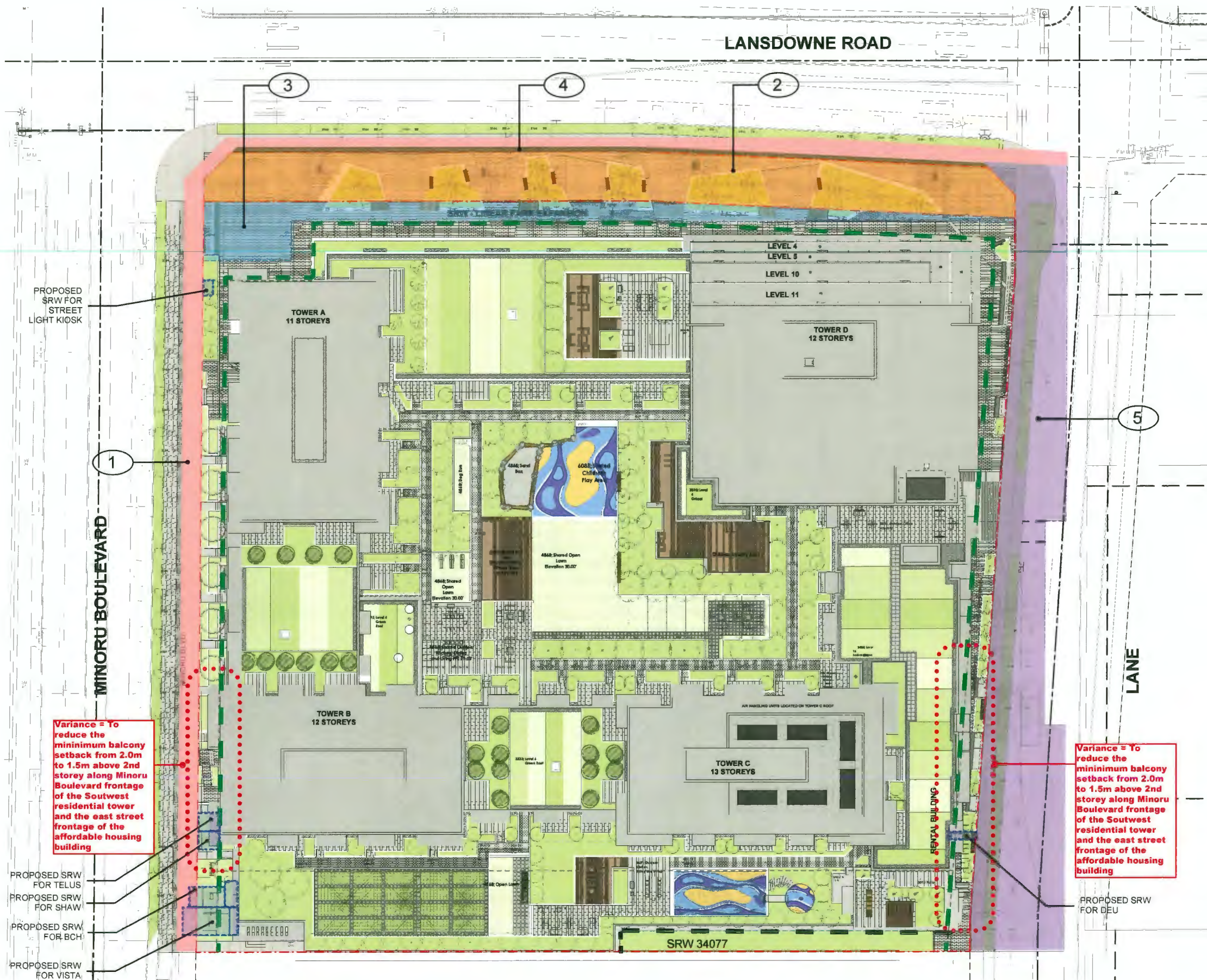


ZMU46 Bylaw / Rezoning Requirements		Proposed	Variance															
Affordable Rental Building	<ul style="list-style-type: none"><li><u>Affordable Housing Features</u>: 6,541.4 m<sup>2</sup> (69,327.9 ft<sup>2</sup>) min. including residential uses and indoor amenity space (AH use only);</li><li><u>NPSS Space Features</u>: Area to be determined based on at least 425.7 m<sup>2</sup> (4,582.2 ft<sup>2</sup>) GLA min. plus ancillary space (e.g., Level 1 &amp; 2 lobbies shared with LEMR residents)</li></ul> <p><i>NOTE: Areas exclude typical Zoning Bylaw exemptions.</i></p> <p><i>NOTE: Additional indoor residential amenity space is required for shared use with market strata residents.</i></p>	TOTAL: 7,994.6 m <sup>2</sup> (86,054.0 ft <sup>2</sup> ), including - <ul style="list-style-type: none"><li><u>Affordable Housing Features</u>: 7,280.4 m<sup>2</sup> (78,366.0 ft<sup>2</sup>) (including indoor amenity for exclusive AH resident use)</li><li><u>NPSS Space Features</u>: 714.2 m<sup>2</sup> (7,688.0 ft<sup>2</sup>)</li></ul> <p><i>NOTE: Areas exclude typical Zoning Bylaw exemptions.</i></p> <p><i>NOTE: Additional indoor residential amenity space is required for shared use with market strata residents.</i></p>	None permitted															
Affordable Rental Building – Affordable Housing Features	<ul style="list-style-type: none"><li><u>Residential</u>: 6,430.5 m<sup>2</sup> (69,217.0 ft<sup>2</sup>) minimum estimate at RZ stage, including:<ul style="list-style-type: none"><li>- 88 LEMR units with a combined habitable unit area that includes:<ul style="list-style-type: none"><li>a) At least 10% of "base" residential density</li><li>b) Some or all of the AH bonus: 3,006.9 m<sup>2</sup> (32,365.6 ft<sup>2</sup>)</li></ul></li><li>- Ancillary space (e.g., corridors) comprising "base" residential density and/or AH bonus</li></ul></li><li><u>Indoor Amenity</u> (AH use only): 110.9 m<sup>2</sup> (1,194.0 ft<sup>2</sup>) minimum estimate at RZ stage, including:<ul style="list-style-type: none"><li>- AH occupant use: 92.3 m<sup>2</sup> (994.0 ft<sup>2</sup>)</li><li>- AH operator use: 18.6 m<sup>2</sup> (200.0 ft<sup>2</sup>) min.</li></ul></li></ul>	TOTAL: 7,280.4 m <sup>2</sup> (78,366.0 ft <sup>2</sup> ) including: <ul style="list-style-type: none"><li><u>Residential</u>: 7,126.8 m<sup>2</sup> (76,712.0 ft<sup>2</sup>) including:<ul style="list-style-type: none"><li>- AH Habitable unit area: 6,166.0 m<sup>2</sup> (66,370.0 ft<sup>2</sup>)</li><li>- AH Ancillary space: 960.8 m<sup>2</sup> (10,342.0 ft<sup>2</sup>)</li></ul></li><li><u>Indoor Amenity</u> (AH use only): 153.6 m<sup>2</sup> (1,654.0 ft<sup>2</sup>), including:<ul style="list-style-type: none"><li>- AH occupant use: 135.0 m<sup>2</sup> (1,454.0 ft<sup>2</sup>)</li><li>- AH operator use: 18.6 m<sup>2</sup> (200.0 ft<sup>2</sup>)</li></ul></li></ul>	None permitted															
Affordable Rental Building – NPSS Space Features	Total area to be determined based on: <ul style="list-style-type: none"><li>• Tenant units: 425.7 m<sup>2</sup> (4,582.2 ft<sup>2</sup>) GLA min.</li><li>• Ancillary (e.g., Level 1 &amp; 2 lobbies shared with LEMR residents)</li></ul>	TOTAL: 714.2 m <sup>2</sup> (7,688.0 ft <sup>2</sup> ) including: <ul style="list-style-type: none"><li>• Tenant units: 462.3 m<sup>2</sup> (4,977.0 ft<sup>2</sup>) GLA</li><li>• Ancillary (e.g., Level 1 &amp; 2 lobbies shared with LEMR residents): 251.9 m<sup>2</sup> (2,711.0 ft<sup>2</sup>)</li></ul>	None permitted															
Lot Coverage	<ul style="list-style-type: none"><li>• Buildings &amp; landscaped roofs over parking: Max. 90%</li></ul>	<ul style="list-style-type: none"><li>• 90%</li></ul>	None															
Setbacks	<ul style="list-style-type: none"><li>• Front &amp; Exterior Side Yards: Min. 6.0 m (19.7 ft.), but may be reduced to 3.0 m (9.8 ft.) with a proper interface, as specified in an approved Development Permit</li><li>• Interior Side Yards: Nil</li><li>• Parking below finished grade: Nil</li><li>• Features within required street setbacks (measured to a property line):<ul style="list-style-type: none"><li>- Balconies: Min. 2.0 m (6.6 ft.)</li><li>- Canopies: Nil if approved for weather protection</li></ul></li></ul>	<ul style="list-style-type: none"><li>• Front &amp; Exterior Side Yards: 3.0 m (9.8 ft.)</li><li>• Interior Side Yard: Nil</li><li>• Parking below finished grade: Nil</li><li>• Features within required street setbacks (measured to a property line):<ul style="list-style-type: none"><li>- Balconies: 2.0 m (6.6 ft.) min., EXCEPT 1.5 m (4.9 ft.) min. above the 2<sup>nd</sup> storey along parts of Minoru Boulevard &amp; the new east street</li><li>- Canopies: Nil</li></ul></li></ul>	Reduce min. balcony setback from 2.0 m to 1.5 m above the 2 <sup>nd</sup> storey															
Height	<ul style="list-style-type: none"><li>• 35 m (114.8 ft.) measured to finished grade, but this may be increased to 47 m GSC if a proper interface is provided with adjacent buildings/park, as specified in an approved Development Permit</li></ul>	<table><tr><th>Tower</th><th>Parapet of Highest Habitable Floor</th><th>Highest Point (Elevator/Mechanical)</th></tr><tr><td>A</td><td>35 m (113 ft.)</td><td>37 m (121 ft.)</td></tr><tr><td>B</td><td>37 m (123 ft.)</td><td>40 m (132 ft.)</td></tr><tr><td>C</td><td>40 m (132 ft.)</td><td>43 m (141 ft.)</td></tr><tr><td>Office</td><td colspan="2">47.0 m (154.2 ft.) GSC</td></tr></table>	Tower	Parapet of Highest Habitable Floor	Highest Point (Elevator/Mechanical)	A	35 m (113 ft.)	37 m (121 ft.)	B	37 m (123 ft.)	40 m (132 ft.)	C	40 m (132 ft.)	43 m (141 ft.)	Office	47.0 m (154.2 ft.) GSC		None
Tower	Parapet of Highest Habitable Floor	Highest Point (Elevator/Mechanical)																
A	35 m (113 ft.)	37 m (121 ft.)																
B	37 m (123 ft.)	40 m (132 ft.)																
C	40 m (132 ft.)	43 m (141 ft.)																
Office	47.0 m (154.2 ft.) GSC																	
Parking – TOTAL	<ul style="list-style-type: none"><li>• Total: 624 spaces (after 10% TDM reduction), including:<ul style="list-style-type: none"><li>- Residents: 375</li><li>- Non-residential: 247</li><li>- Car-Share: 2</li></ul></li></ul>	<ul style="list-style-type: none"><li>• Total: 624 spaces, including:<ul style="list-style-type: none"><li>- Residents: 375</li><li>- Non-residential: 247</li><li>- Car-Share: 2</li></ul></li></ul>	None															
Parking – Residential	<ul style="list-style-type: none"><li>• Total: 375 spaces (after 10% TDM reduction), including:<ul style="list-style-type: none"><li>- Market Strata @ 1/unit – 10% = 307</li><li>- AH units @ 0.9/unit – 25% = 60</li><li>- Visitors: 8</li></ul></li></ul>	<ul style="list-style-type: none"><li>• Total: 375 spaces, including:<ul style="list-style-type: none"><li>- Market Strata: 307</li><li>- AH units: 60 (including at least 1 accessible space, 1 van-accessible space, and no more than 30 small spaces)</li><li>- Visitors: 8 (2 spaces for the exclusive use of each residential building)</li></ul></li></ul>	None															
Parking – Non-Residential	<ul style="list-style-type: none"><li>• Total: 247 spaces (after 10% TDM reduction), including:<ul style="list-style-type: none"><li>- Non-profit social service use @ 3.75/100 m<sup>2</sup> GLA – 10% = 15</li><li>- Office @ 1.275/100 m<sup>2</sup> GLA – 10% = 165</li><li>- Retail @ 3.75/100 m<sup>2</sup> GLA – 10% = 67</li></ul></li></ul> <p><i>NOTE: Parking (by use/type) must include a proportional share of accessible/van-accessible spaces (2%) and no more than 50% small car spaces (except where otherwise required by a legal agreement registered on title).</i></p>	<ul style="list-style-type: none"><li>• Total: 247 spaces, including:<ul style="list-style-type: none"><li>- 50% Public Parking: 124 secured by legal agreement for general public use</li><li>- 50% Assignable Parking: 123, including<ul style="list-style-type: none"><li>▪ 23 spaces secured by legal agreement for the exclusive use of the NPSS tenants &amp; their guests (including at least 1 accessible space, 1 van-accessible space &amp; no more than 12 small spaces)</li><li>▪ 100 spaces that may be sold, leased, or assigned to specific businesses or people</li></ul></li></ul></li></ul>	None															
Parking – Car-Share	<ul style="list-style-type: none"><li>• 2 spaces (car-share use only)</li></ul>	<ul style="list-style-type: none"><li>• 2 spaces (car-share use only)</li></ul>	None															

ZMU46 Bylaw / Rezoning Requirements		Proposed	Variance
Class 1 Bike Storage (Secured)	<ul style="list-style-type: none"> <li>• Total: 775 spaces, including -               <ul style="list-style-type: none"> <li>- Non-Residential @ 0.27/100 m<sup>2</sup> GLA: 45</li> <li>- Residents @ 1.7/unit: 730 including:                   <ul style="list-style-type: none"> <li>▪ Market: 522 standard size &amp; 58 over-size</li> <li>▪ AH: 135 standard size &amp; 15 over-size</li> </ul> </li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>• Total: 775 spaces, including -               <ul style="list-style-type: none"> <li>- Non-Residential: 45</li> <li>- Residents: 730 including:                   <ul style="list-style-type: none"> <li>▪ 580 Market strata (522 standard &amp; 58 over-size)</li> <li>▪ 150 AH (135 standard &amp; 15 over-size)</li> </ul> </li> </ul> </li> </ul>	
Class 2 Bike Storage (Public use)	<ul style="list-style-type: none"> <li>• Total: 154, including:               <ul style="list-style-type: none"> <li>- Non-Residential @ 0.4/100 m<sup>2</sup> GLA: 68</li> <li>- Residents @ 0.2/unit = 86</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>• 154 located outdoors around the perimeter of the site</li> </ul>	None
Electric Vehicle (EV) Charging	<ul style="list-style-type: none"> <li>• For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including:               <ul style="list-style-type: none"> <li>- 100% AH &amp; Market Strata resident parking spaces (This excludes visitor parking.)</li> <li>- 5% of non-residential parking, including:                   <ul style="list-style-type: none"> <li>▪ 12 NPSS parking spaces</li> <li>▪ 2 Car-share parking spaces</li> </ul> </li> </ul> </li> <li>• For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each:               <ul style="list-style-type: none"> <li>- Residential (AH &amp; Market Strata) bike storage room</li> <li>- Non-residential bike storage room</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>• For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including:               <ul style="list-style-type: none"> <li>- Market Strata parking spaces: 307</li> <li>- AH rental building parking spaces: 60</li> <li>- NPSS parking spaces: 12</li> <li>- Car-share parking spaces: 2</li> </ul> </li> <li>• For Class 1 bike storage: Energized 120V duplex receptacles including at least:               <ul style="list-style-type: none"> <li>- 58 for Market Strata bike storage</li> <li>- 15 for AH rental building bike storage</li> <li>- 5 for non-residential bike storage room</li> </ul> </li> </ul>	None
Loading	<ul style="list-style-type: none"> <li>• Medium truck spaces: 5</li> <li>• Waste pick-up: 1</li> </ul>	<ul style="list-style-type: none"> <li>• Medium truck spaces: 5</li> <li>• Waste pick-up: 1</li> </ul>	None
Residential Amenity Space – Indoor	<ul style="list-style-type: none"> <li>• Total: Min. 877.0 m<sup>2</sup> (9,439.9 ft<sup>2</sup>), including:               <ul style="list-style-type: none"> <li>- Market @ 2 m<sup>2</sup>/unit = 682.0 m<sup>2</sup> (7,341.0 ft<sup>2</sup>)</li> <li>- AH @ 2 m<sup>2</sup>/unit: 176 m<sup>2</sup> (1,894.4 ft<sup>2</sup>)</li> <li>- Rental Building NP Operator: 18.6 m<sup>2</sup> (200.0 ft<sup>2</sup>) for administration/programs</li> </ul> </li> </ul> <p><i>NOTE: Of the required amenity space, legal agreements registered on title require at least:</i></p> <ul style="list-style-type: none"> <li>• For AH residents only: 110.9 m<sup>2</sup> (1,194.0 ft<sup>2</sup>), including 18.6 ft<sup>2</sup> (200.0 ft<sup>2</sup>) for the non-profit housing operator</li> <li>• For shared AH &amp; Market resident use: 464.5 m<sup>2</sup> (5,000.0 ft<sup>2</sup>)</li> </ul>	<ul style="list-style-type: none"> <li>• Total: 1,117.4 m<sup>2</sup> (12,028.0 ft<sup>2</sup>), including:               <ul style="list-style-type: none"> <li>- Exclusive use:                   <ul style="list-style-type: none"> <li>▪ Market: 479.8 m<sup>2</sup> (5,164.0 ft<sup>2</sup>)</li> <li>▪ AH rental building: 153.6 m<sup>2</sup> (1,654.0 ft<sup>2</sup>), including space for exclusive:                       <ul style="list-style-type: none"> <li>▪ AH occupants: 135.0 m<sup>2</sup> (1,454.0 ft<sup>2</sup>)</li> <li>▪ AH operator: 18.6 m<sup>2</sup> (200 ft<sup>2</sup>)</li> </ul> </li> </ul> </li> <li>- Shared (AH &amp; Market): 484.0 m<sup>2</sup> (5,210.0 ft<sup>2</sup>)</li> </ul> </li> </ul>	None
Residential Amenity Space – Outdoor	<ul style="list-style-type: none"> <li>• 429 units @ 6.0 m<sup>2</sup>/unit: Min. 2,574.0 m<sup>2</sup> (27,706.3 ft<sup>2</sup>) including at least 600 m<sup>2</sup> (6,458.3 ft<sup>2</sup>) of children's play space</li> </ul>	<ul style="list-style-type: none"> <li>• 3,034.0 m<sup>2</sup> (32,657.7 ft<sup>2</sup>), including:               <ul style="list-style-type: none"> <li>- Exclusive (AH only): 57.0 m<sup>2</sup> (613.5 ft<sup>2</sup>)</li> <li>- Shared (Mkt/AH): 2,977.0 m<sup>2</sup> (32,044.2 ft<sup>2</sup>) including:                   <ul style="list-style-type: none"> <li>▪ 2,231.0 m<sup>2</sup> (24,014.3 ft<sup>2</sup>) of recreation space</li> <li>▪ 746.0 m<sup>2</sup> (8,029.9 ft<sup>2</sup>) of children's play space</li> </ul> </li> </ul> </li> </ul>	None
CCAP Landscape Area	<ul style="list-style-type: none"> <li>• Min. 10% of net site: 1,296.5 m<sup>2</sup> (13,955.4 ft<sup>2</sup>)</li> </ul>	<ul style="list-style-type: none"> <li>• 1,309.0 m<sup>2</sup> (14,090.0 ft<sup>2</sup>)</li> </ul>	None
Extensive Green Roofs	<ul style="list-style-type: none"> <li>• Encouraged on low- and mid-rise rooftops that are not otherwise used for outdoor amenity space or other purposes (e.g., mechanical equipment)</li> </ul>	<ul style="list-style-type: none"> <li>• 1,151.0 m<sup>2</sup> (12,389.3 ft<sup>2</sup>) at Levels 4, 5, 6 &amp; 10</li> </ul>	None











Thind  
PROPERTIES



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada  
DP 19-881156  
Date: August 11, 2021

PLAN #2b - SUBDIVISION PLAN

4

PROPOSED SUBDIVISION PLAN OF  
LOT 47 PLAN 34383,  
LOT A PLAN NWP88228, AND  
LOT 26 EXCEPT: EAST 10 FEET, PLAN 32135  
ALL OF SECTION 5 BLOCK 4 NORTH RANGE 6 WEST  
NEW WESTMINSTER DISTRICT

BCGS 92G.015

LEGEND

SCALE 1:500



ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN  
IS 864mm IN HEIGHT BY 560mm IN WIDTH (D SIZE)  
WHEN PLOTTED AT A SCALE OF 1:500

INTEGRATED SURVEY AREA NO.18, CITY OF RICHMOND, B.C.  
NAD83 (CSRS) 4.0.D. BC.1.MVRD

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN  
GEODETIC CONTROL MONUMENTS 77H4899 AND 144-696  
AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 10.

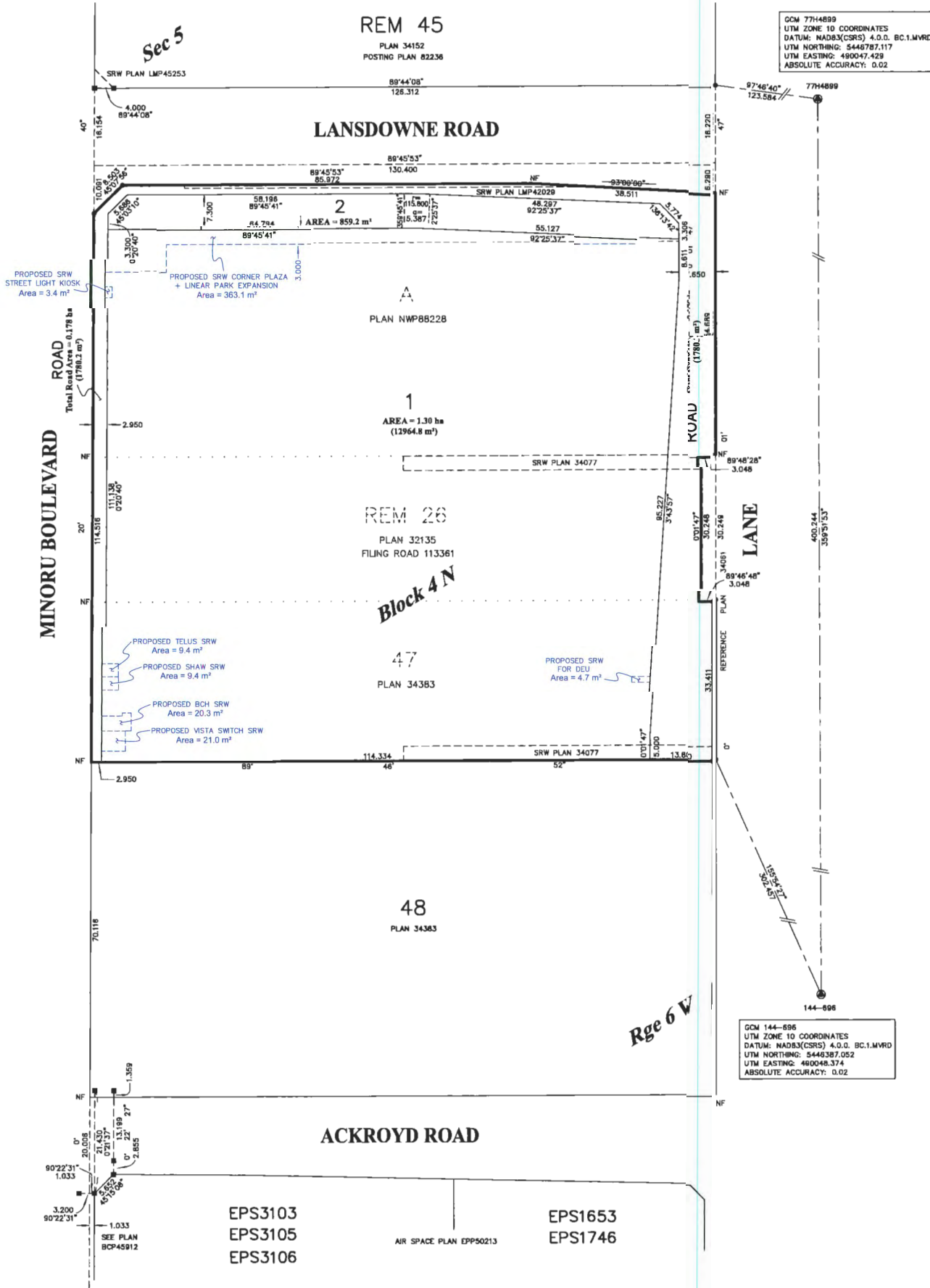
THE UTM COORDINATES AND ESTIMATED ABSOLUTE ACCURACY  
ACHIEVED ARE DERIVED FROM THE MASCOT PUBLISHED COORDINATES  
AND STANDARD DEVIATIONS FOR GEODETIC CONTROL MONUMENTS  
77H4899 AND 144-696

THIS PLAN SHOWS HORIZONTAL GROUND LEVEL DISTANCES UNLESS  
OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY  
GROUND LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF  
0.99960405. THE AVERAGE COMBINED FACTOR HAS BEEN  
DETERMINED FROM CONTROL MONUMENTS 77H4899 AND 144-696

LEGEND

- ⊕ INDICATES CONTROL MONUMENT FOUND
- INDICATES LEAD PLUG FOUND
- INDICATES LEAD PLUG PLACED
- INDICATES STANDARD IRON POST FOUND
- INDICATES STANDARD IRON POST PLACED
- NF INDICATES NOTHING FOUND

THIS PLAN SHOWS ONE OR MORE WITNESS POSTS  
WHICH ARE NOT SET ON THE TRUE CORNER(S)

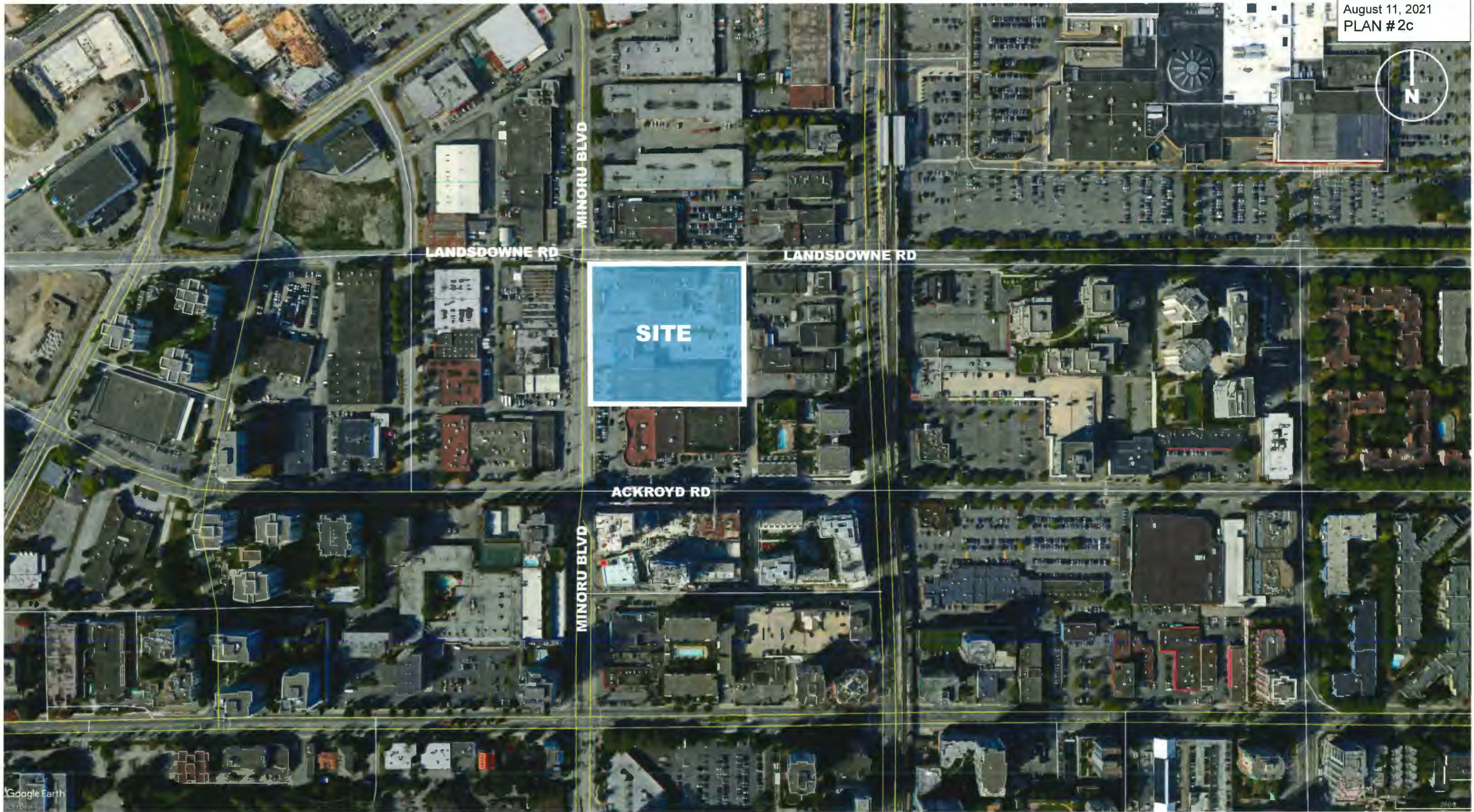


H.Y. AND ASSOCIATES  
LAND SURVEYING LTD.  
200, 9128 - 152nd Street  
Surrey, B.C. V3R 4E7  
Ph: (604)583-1616  
File: 174799\_SB4+SRW2.DWG

THIS PLAN LIES WITHIN THE METRO VANCOUVER  
REGIONAL DISTRICT - CITY OF RICHMOND  
THIS PLAN LIES WITHIN THE JURISDICTION OF  
THE APPROVING OFFICER FOR THE CITY OF RICHMOND  
THE FIELD SURVEY REPRESENTED BY THIS PLAN  
WAS COMPLETED ON THE 11th DAY OF JULY, 2021  
EUGENE WONG, BOLS #718

DP 19-881156  
August 11, 2021  
PLAN #2b





Google Earth

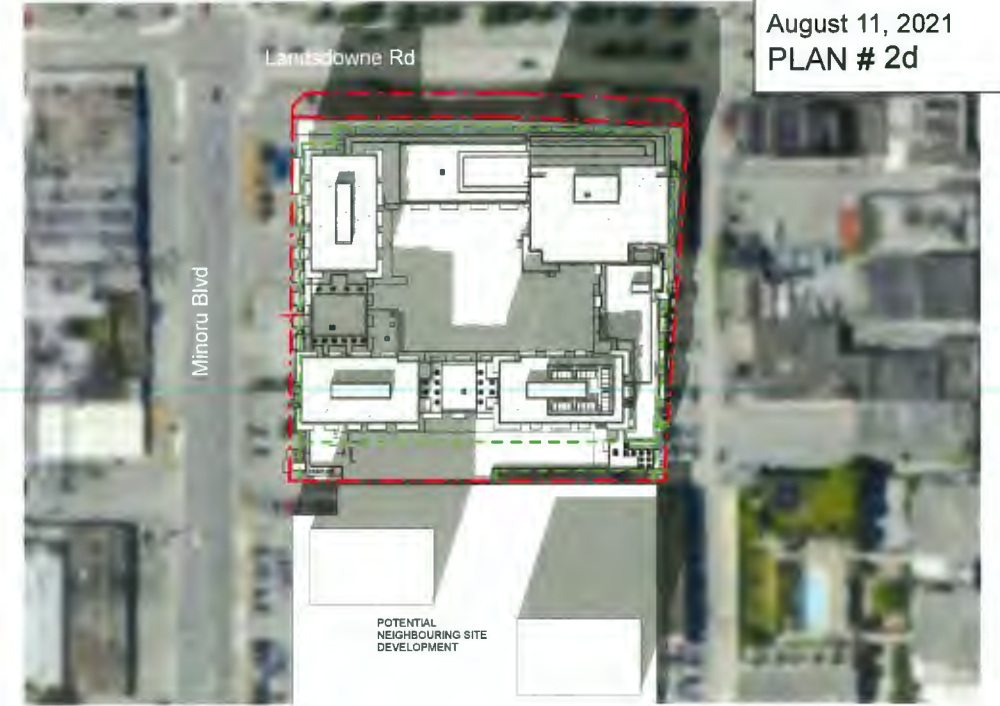




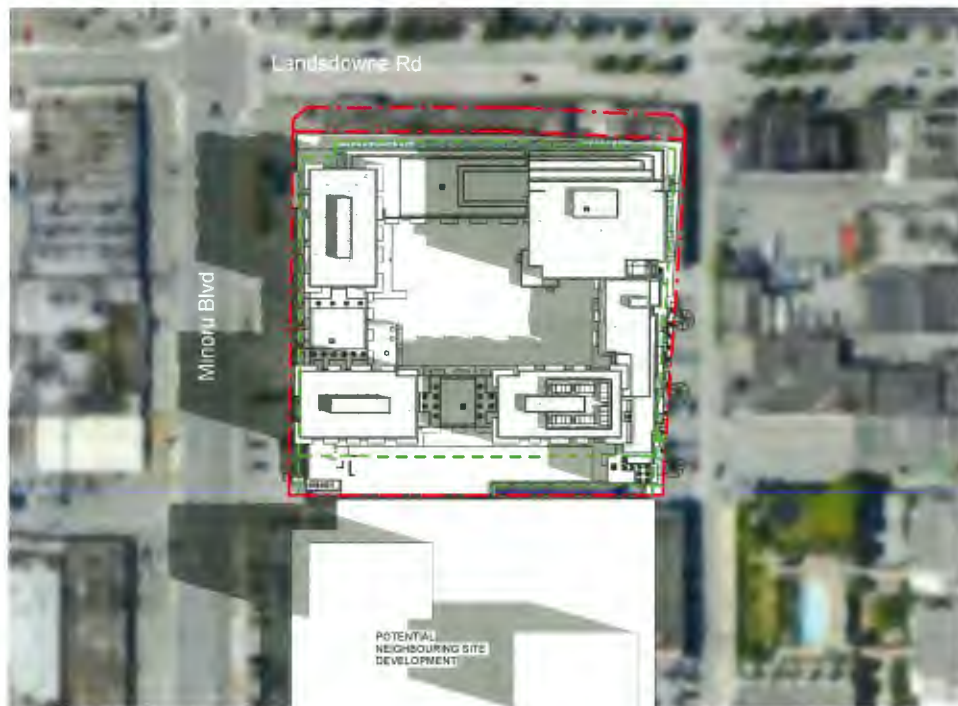
Fall Equinox - Sept 22 - 10:00 am



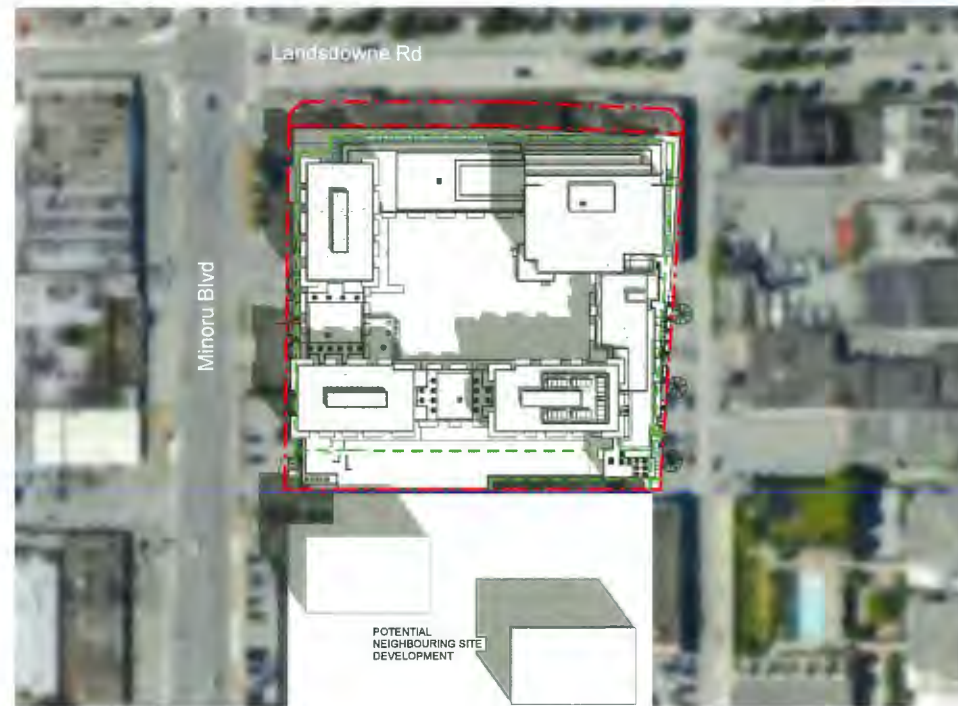
Fall Equinox - Sept 22 - 12:00 pm



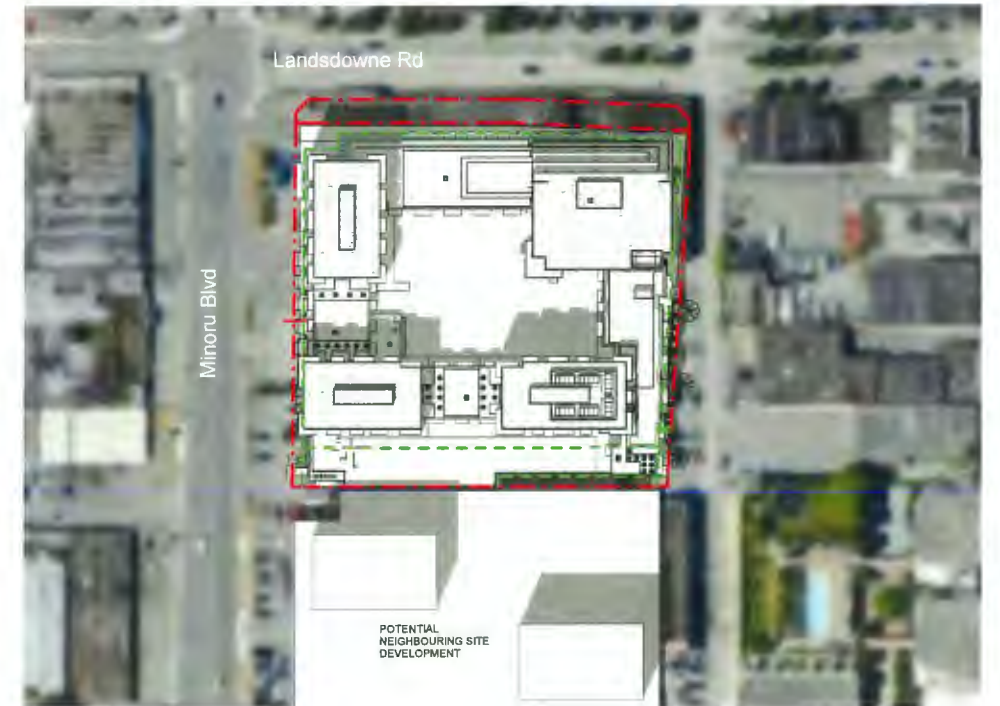
Fall Equinox - Sept 22 - 2:00 pm



SUMMER SOLSTICE - June 21 - 10:00 am



SUMMER SOLSTICE - June 21 - 12:00 pm



SUMMER SOLSTICE - June 21 - 2:00 pm



**Thind**  
PROPERTIES



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

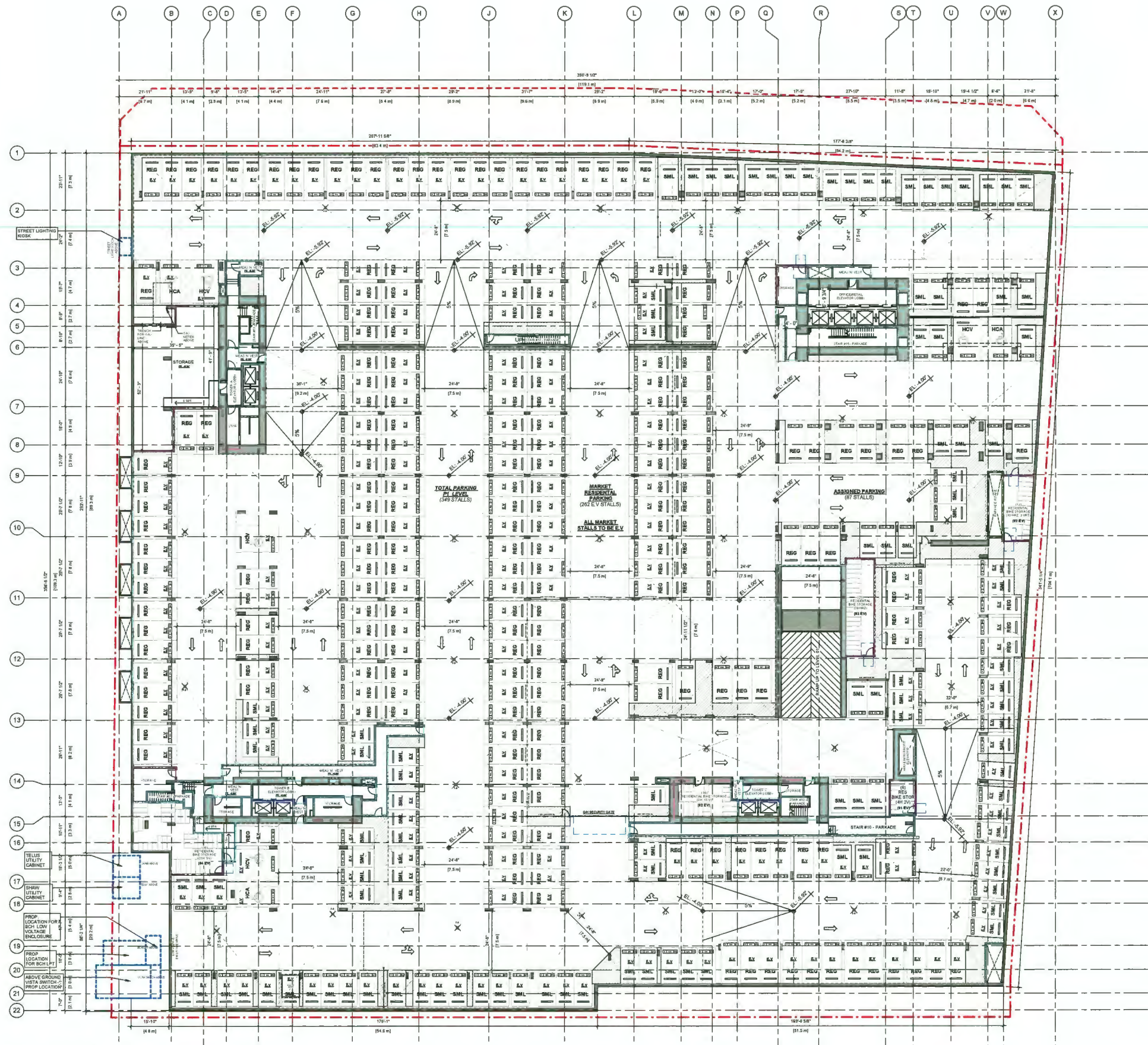
**PLAN #2d - SHADOW STUDY - OVERALL  
REFERENCE PLAN**



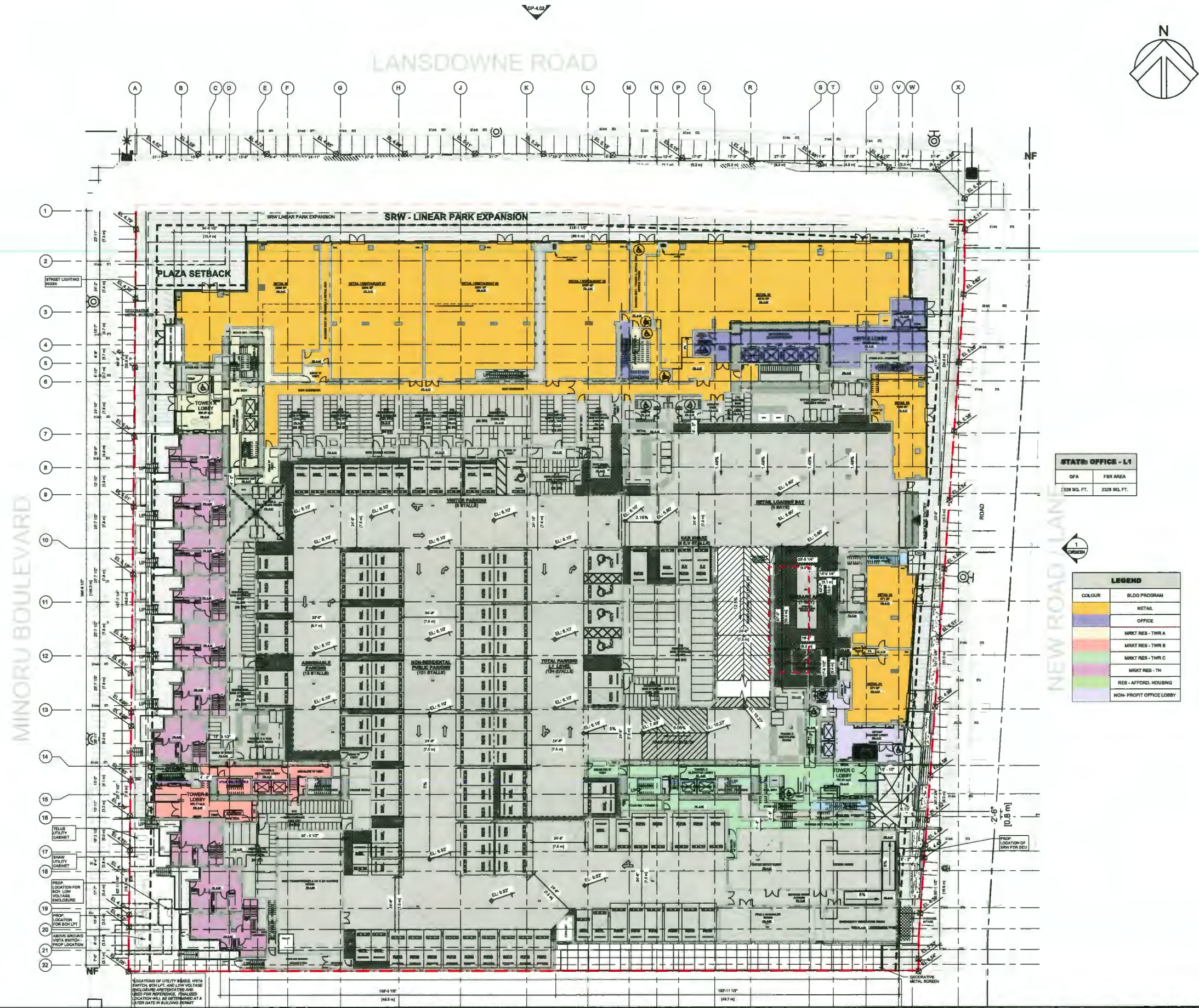


DP 19-881156

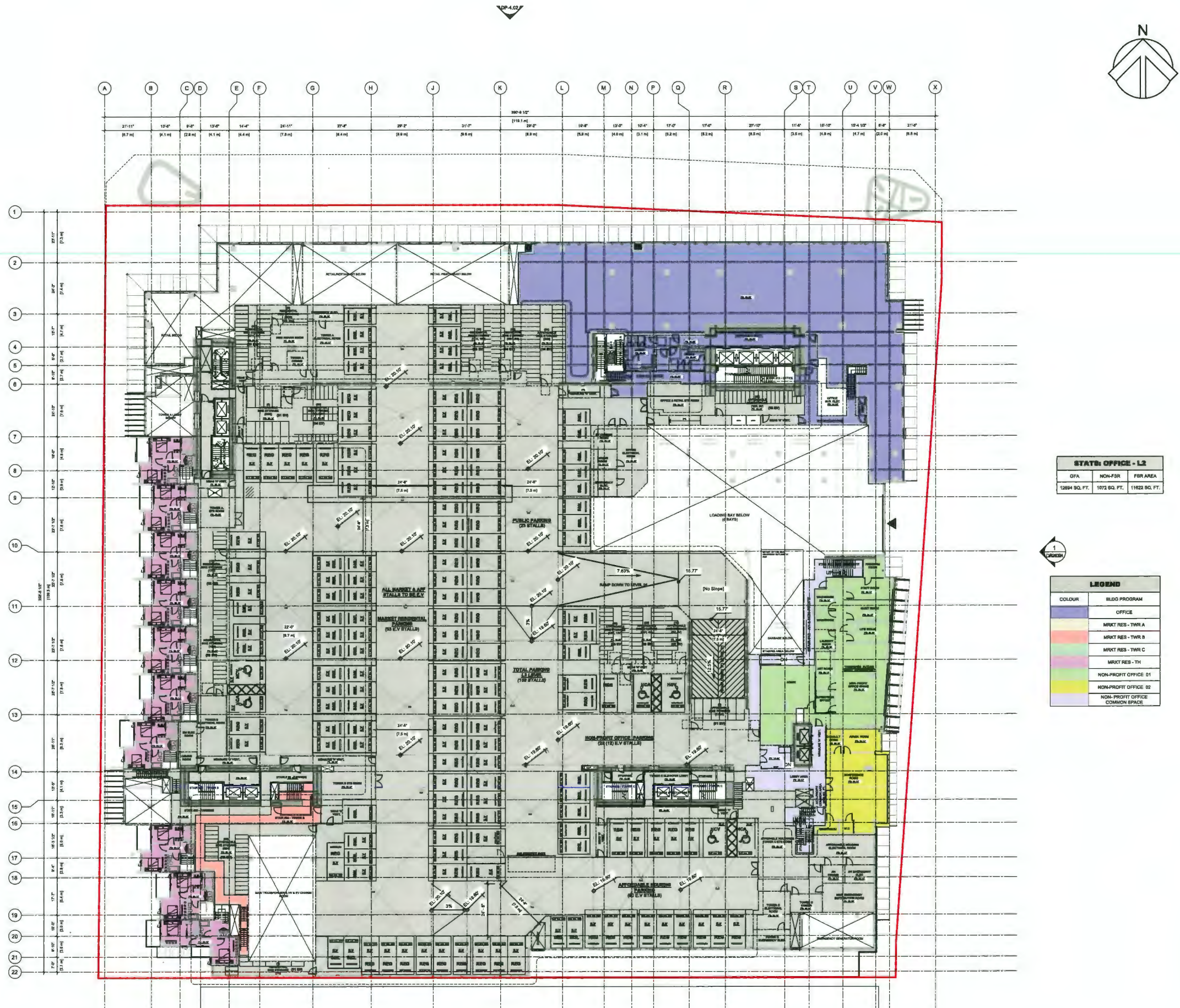
August 11, 2021  
PLAN # 3a







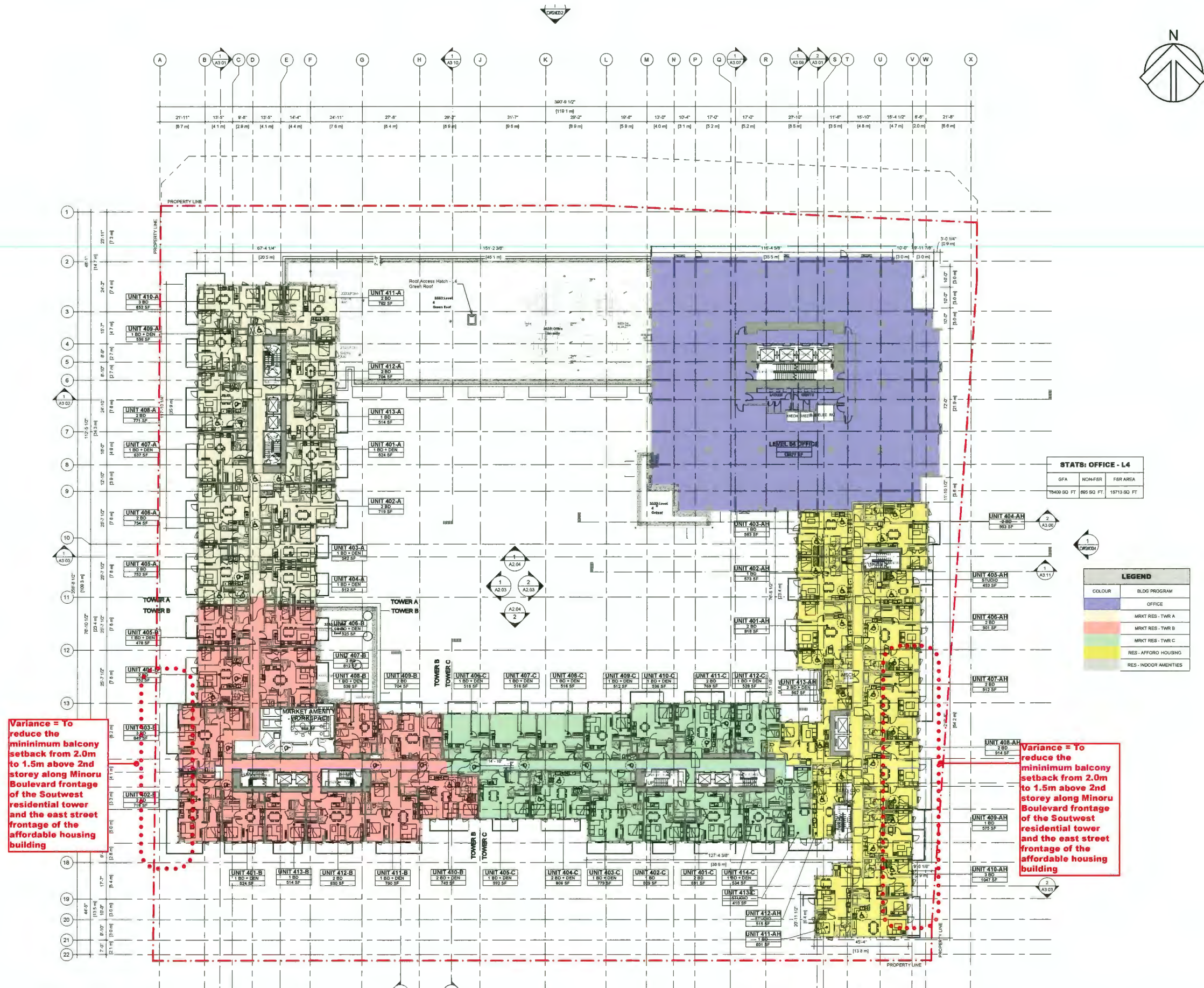










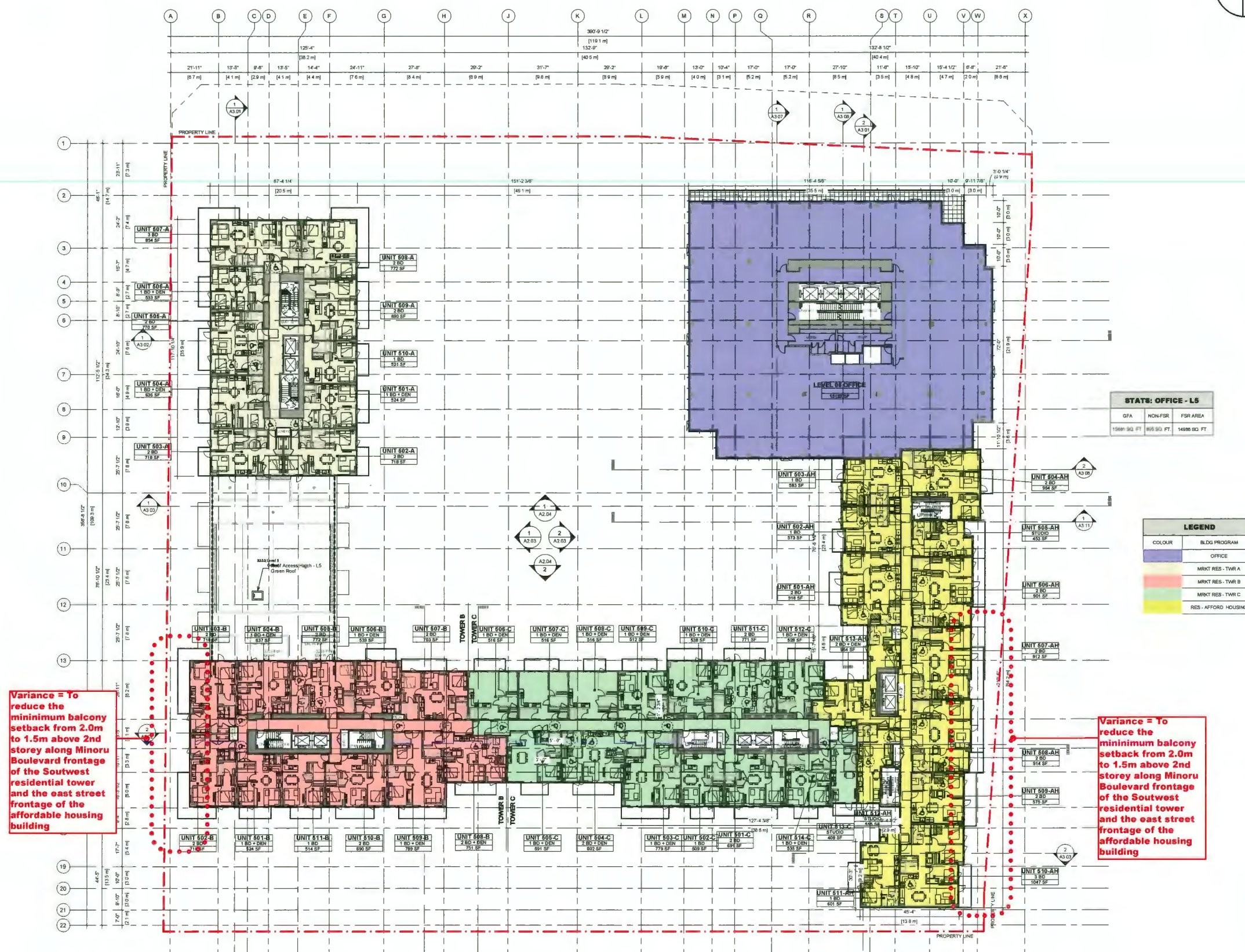




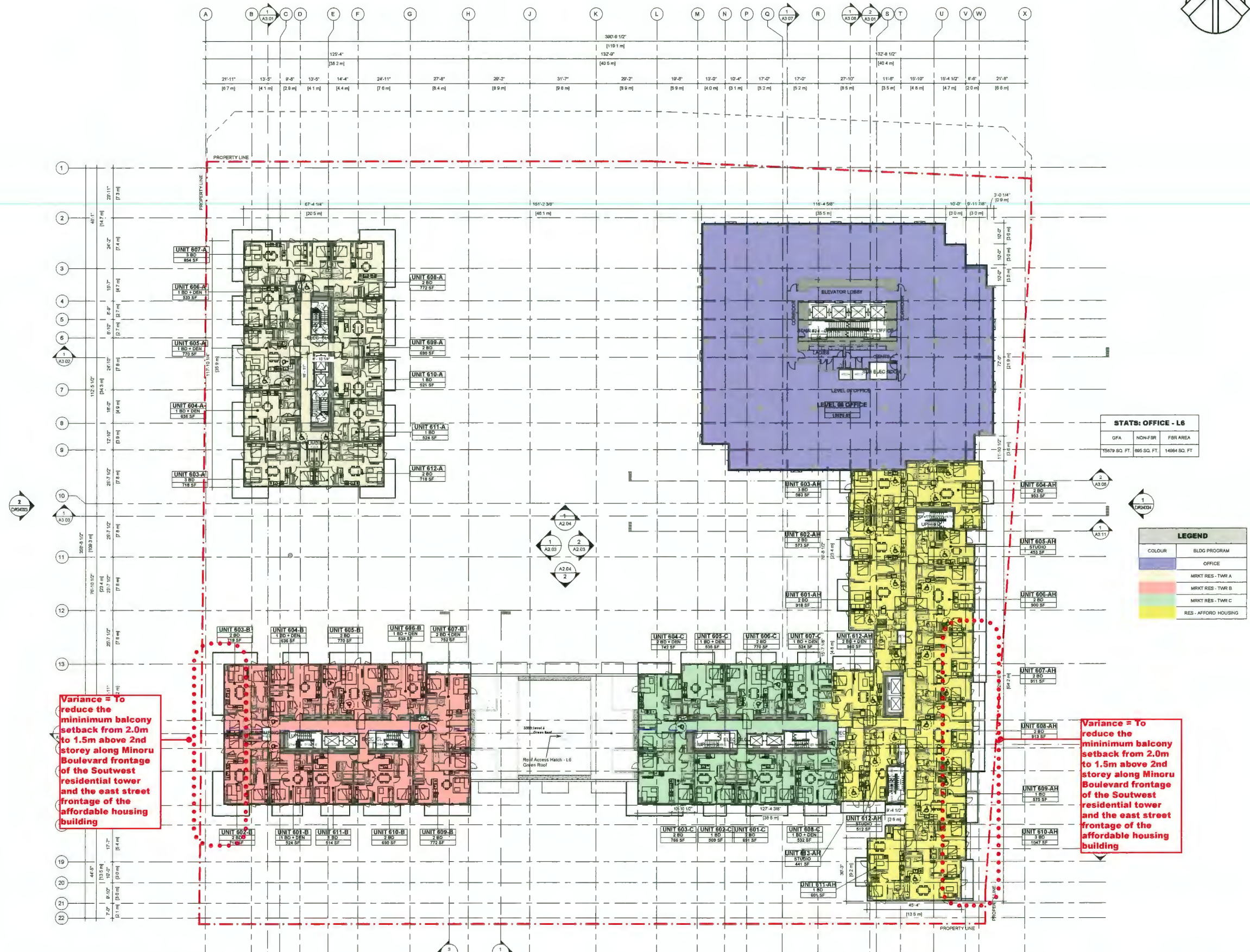


DP 19-881156

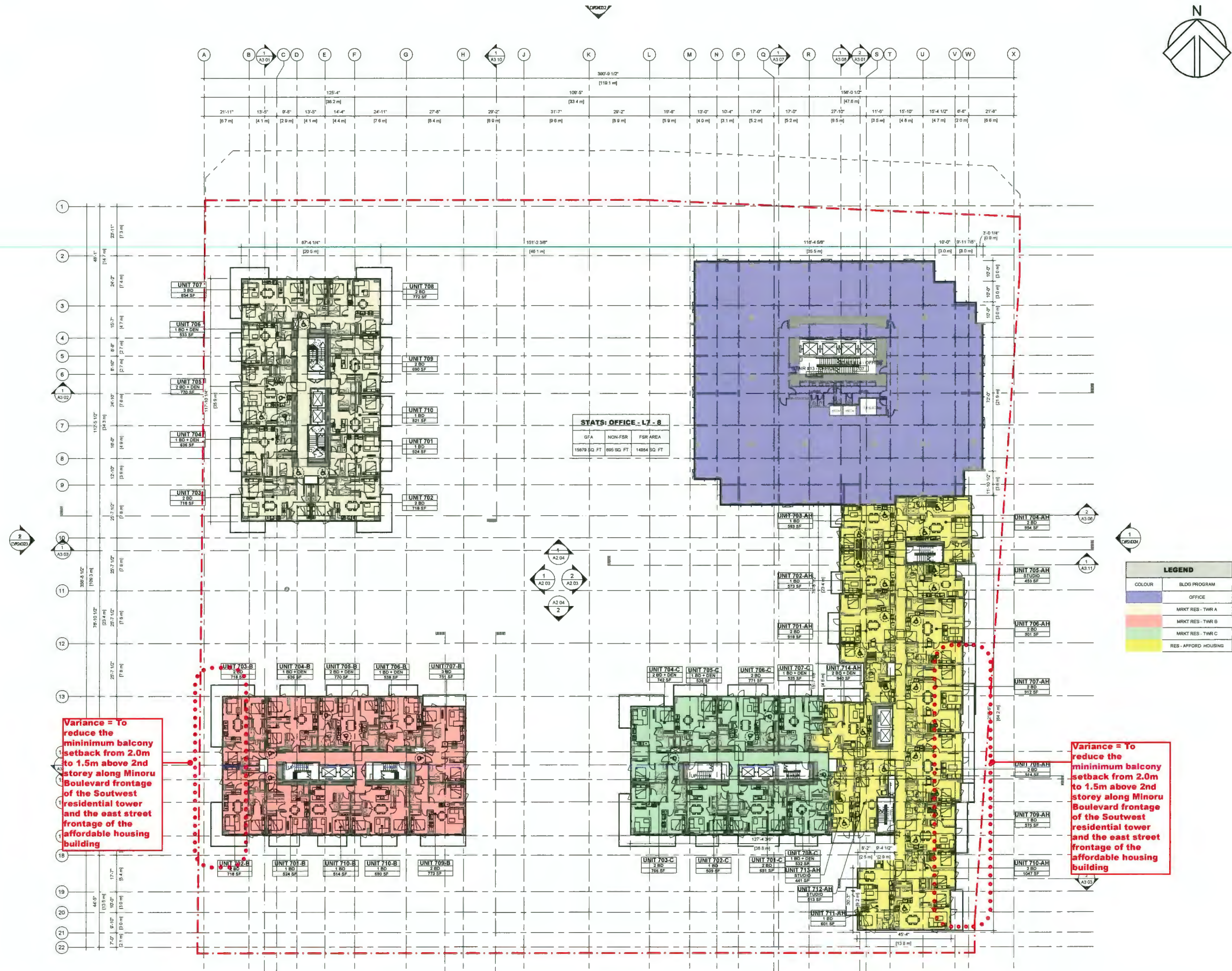
August 11, 2021  
PLAN # 3f



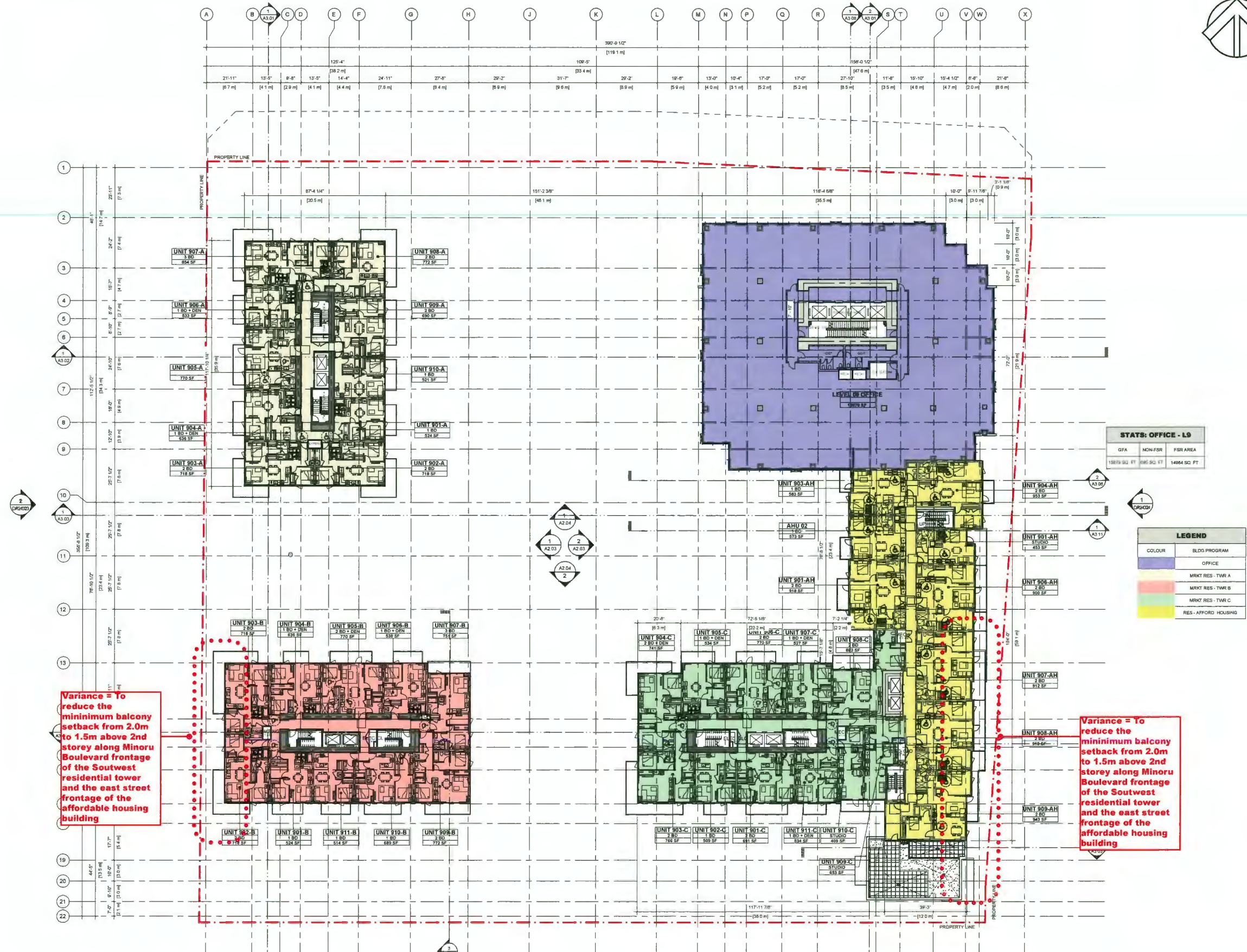










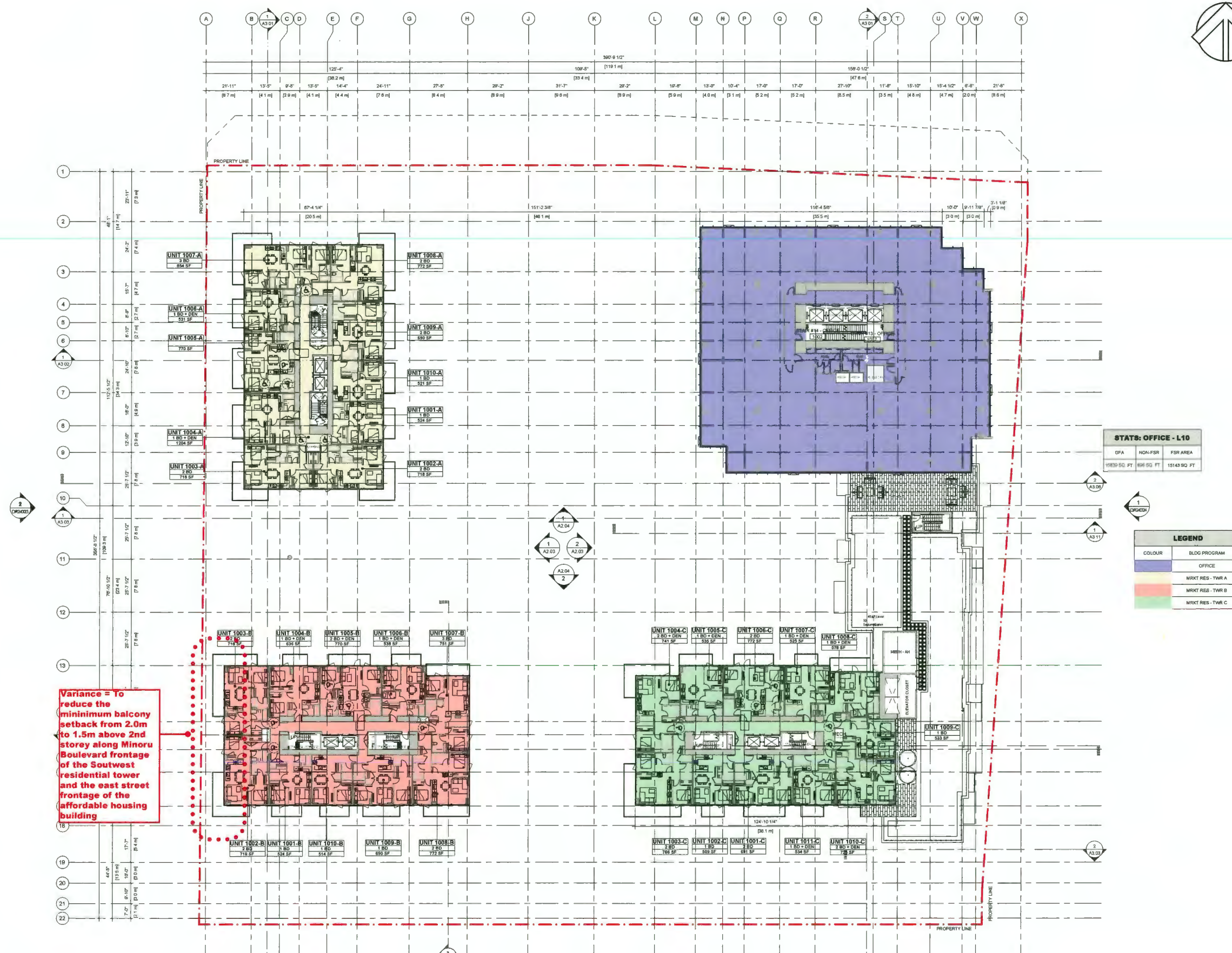






DP 19-881156

August 11, 2021  
PLAN # 3j

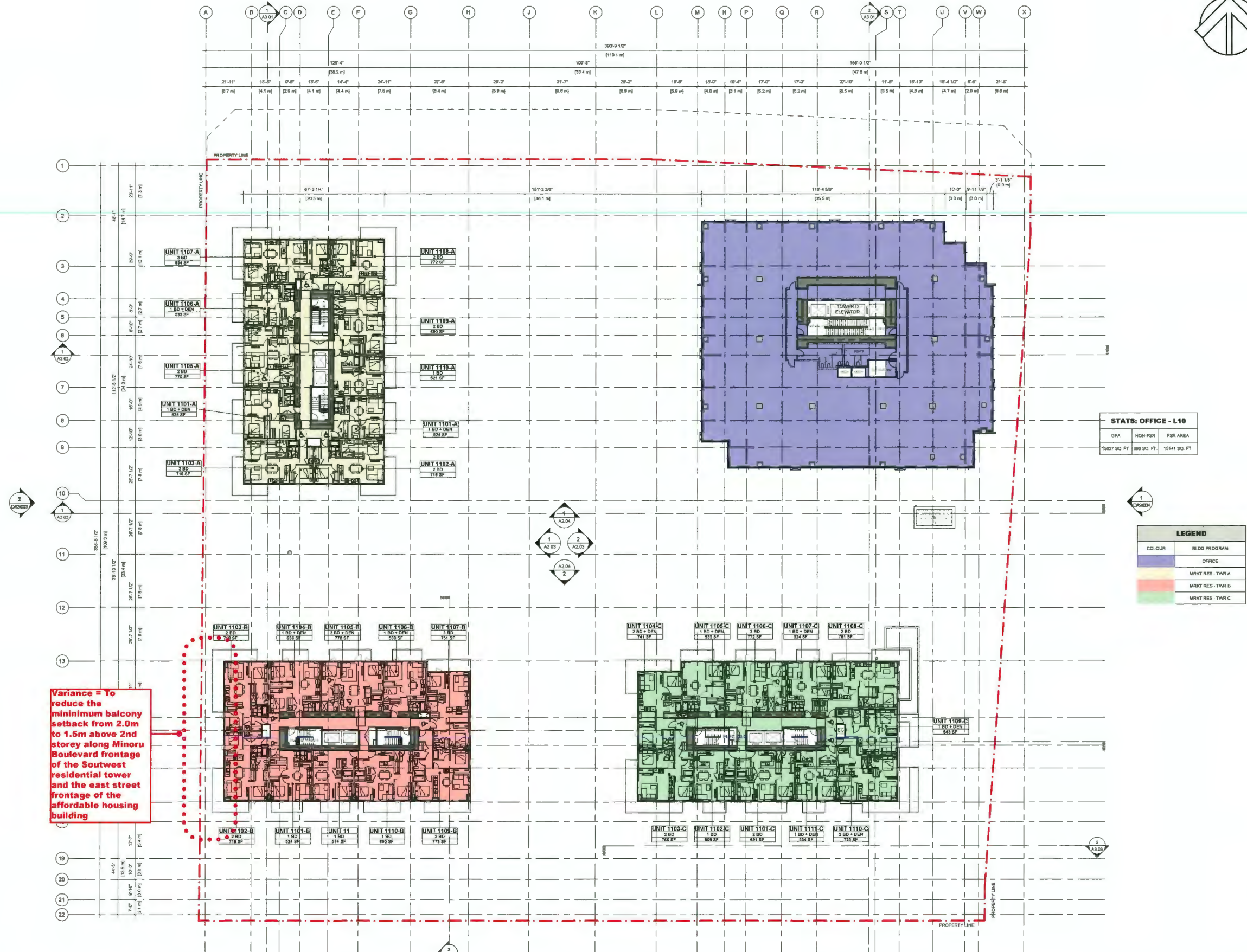






DP 19-881156

August 11, 2021  
PLAN # 3k

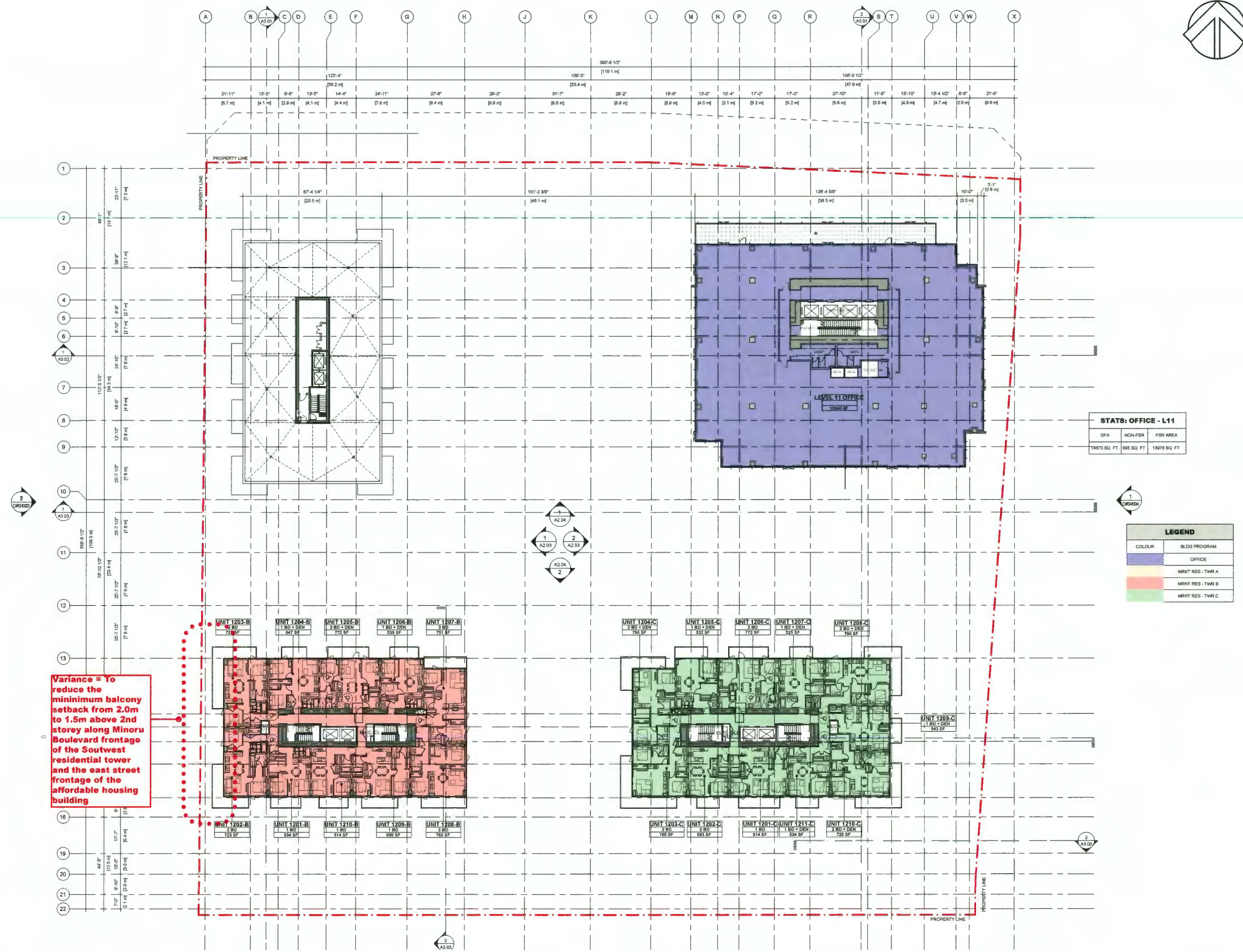




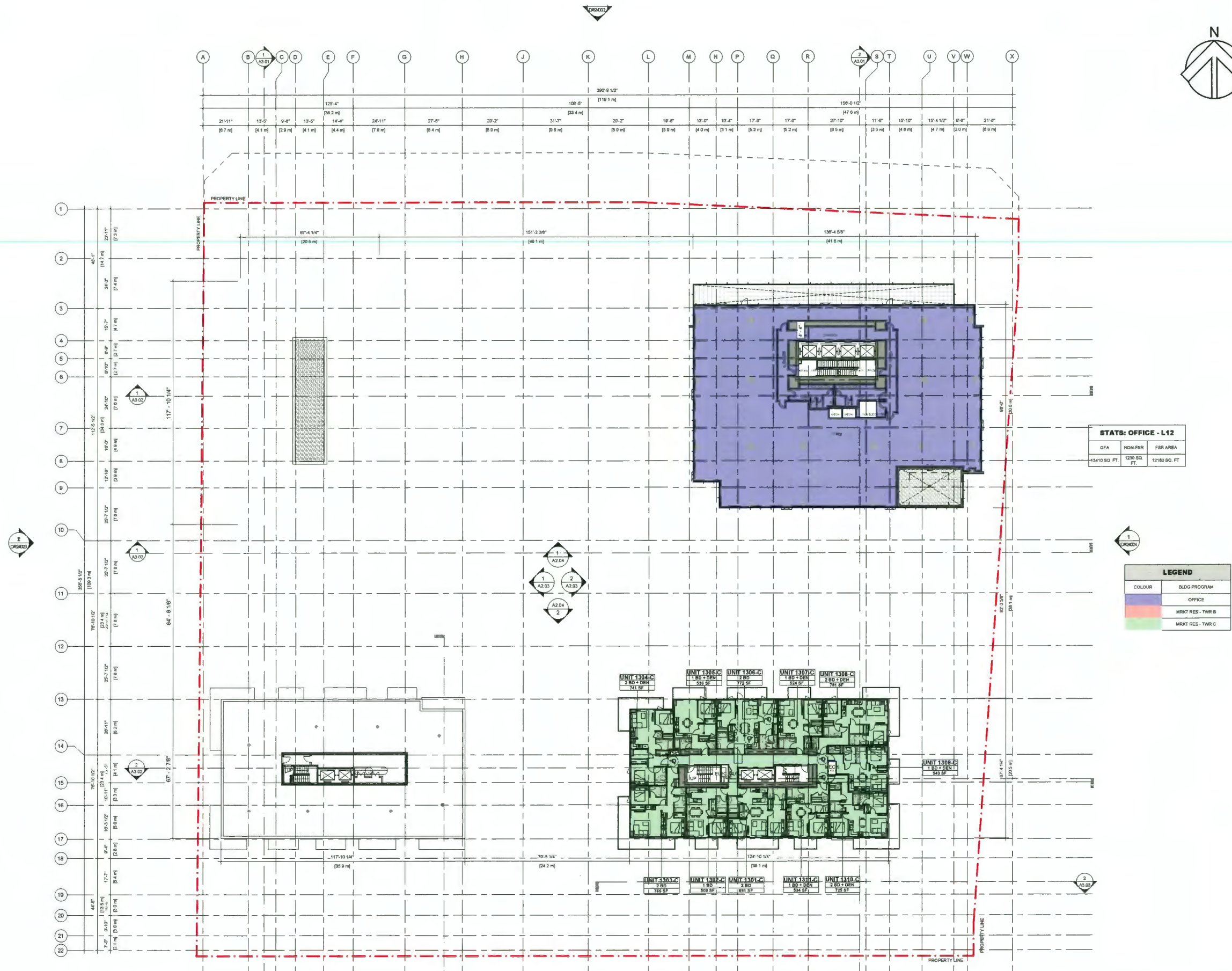


DP 19-881156

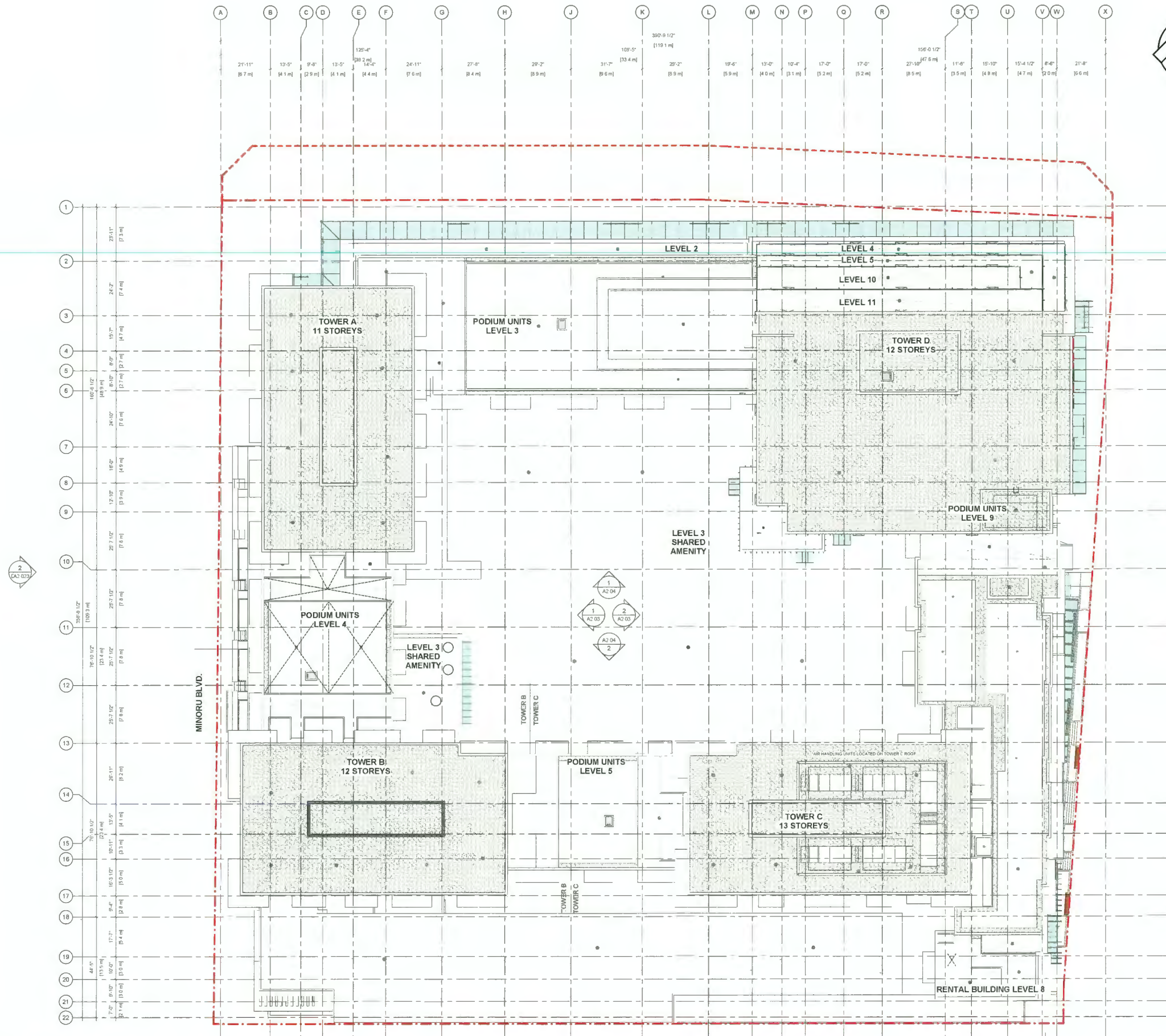
August 11, 2021  
PLAN # 3I





























































































## PLANT LIST: TREES (all levels)










TREE SYMBOL	QTY	BOTANIC NAME	COMMON NAME	SIZE SPACING
	21	Acer freemanii 'Armstrong'	Freeman Maple	5cm cal. 8.5h
	6	Acer palmatum	Japanese Maple	6cm cal. 8.5h
	18	Camus kaua 'Safari'	Chinese Dogwood	6cm cal. 8.5h
	35	Camus mas	Cornelian Cherry Dogwood	6cm cal. 8.5h
	9	Fagus sylvatica 'Dawyd'	European Beech	6cm. 8.5h
	40	Magnolia 'Butterflies'	Magnolia	6cm cal. 8.5h
	3	Malus 'Dom Harakon	Dom Harakon Apple Tree	#20 Pot
	39	Magnolia stellata	Star Magnolia	5 ft. multi-stem
	29	Prunus serrula	Japanese Flowering Cherry	6cm cal. 8.5h
	2	Quercus rubra	Red Oak	6cm cal. 8.5h






GROUND LEVEL PLANTS SYMBOL	QTY	BOTANIC NAME	COMMON NAME	SIZE SPACING
	136	Azalea 'Hino White'	Dwarf azalea	#2 pot
	322	Buxus m. japonica 'Green Beauty'	Japanese boxwood	#2 pot
	81	Carex oshimensis 'Evergold'	'Evergold' sedge	#2 pot
	3	Carex oshimensis 'Ice dance'	'Ice Dance' sedge	#2 pot
	72	Choiya ternata	Mexican orange	#2 pot
	94	Echinacea purpurea 'White Swan'	Coneflower	#3 pot
	20	Hebe buxifolia	Boxwood Hebe	#2 pot
	55	Lavandula angustifolia 'Munstead'	English lavender	#2 pot
	20	Lonicera pileata	Boxleaf honeysuckle	#2 pot
	21	Panicum virgatum 'Blood Brothers'	Switchgrass	#2 pot
	26	Portulaca lutea	Portuguese laurel	3 ft.
	109	Stipa tenuissima	Mexican Feathergrass	#2 pot
	130	Taxus media 'Hill'	Hill's yew (Male Plant only)	3 ft.
	205	Thymus x citriodorus	Lemon Thyme	#1 pot








LEVEL 3 PLANTS SYMBOL	QTY	BOTANIC NAME	COMMON NAME	SIZE SPACING
	100	Azalea 'Hino White'	Dwarf azalea	#1 pot
	438	Azalea 'Gumpo White'	Dwarf azalea	#2 pot
	187	Calamagrostis acutiflora 'Karl Foerster'	Feather reed grass	#2 pot
	250	Carex oshimensis 'Evergold'	'Evergold' sedge	#1 pot
	290	Carex 'Evercolor' 'Evercolor'	'Evercolor' sedge	#1 pot
	161	Carex oshimensis 'Ice dance'	'Ice dance' sedge	#1 pot
	354	Choiya ternata	Mexican orange	#2 pot
	262	Dicentra formosa 'Aurora'	Aurora bleeding heart	#1 pot
	428	Erica carnea 'December red'	Heath 'December red'	#2 pot
	60	Hebe buxifolia	Boxwood Hebe	#2 pot
	236	Helicohelichon tempaniera	Blue Oat Grass	#2 pot
	47	Holonelea meana	Holonelea Grass	#2 pot
	244	Lavandula angustifolia 'Munstead'	English lavender	#2 pot
	127	Liriodendron 'Silver Dragon'	Silver dragon lilyturf	#2 pot
	293	Lonicera pileata	Boxleaf honeysuckle	#2 pot
	142	Miscanthus sinensis 'Little Ellen'	Chinese Silver Grass	#2 pot
	127	Miscanthus sinensis 'Morning Light'	Eulalia	#2 pot
	120	Lonicera pileata	Boxleaf honeysuckle	#2 pot
	126	Nepeta racemosa 'Walker'	Calaminth	#1 pot
	676	Ophiopogon japonicus	Black Mondo Grass	#1 pot
	729	Pachyrhizis terminalis	Japanese spurge	#2 pot
	294	Panicum virgatum 'Blood Brothers'	Red switch grass	#2 pot
	180	Parthenocissus vitacea	Russian Sage	#2 pot
	117	Potamogeton nodosus	New Zealand Flax	#2 pot
	87	Polystichum munitum	Western sword fern	#2 pot
	63	Rhod. Bloom-A-Thon White	Bloom-A-Thon White	#2 pot
	47	Rudbeckia hirta	Orange Coneflower	#1 pot
	228	Rudbeckia hirta	Black-eyed susans	#1 pot
	95	Stipa tenuissima	Swissbox	#1 pot
	95	Stipa tenuissima	Mexican Feathergrass	#1 pot
	64	Vaccinium corymbosum	Highbush Blueberry	#2 pot
	415	Taxus media 'Hill'	Hill's yew (Male Plant only)	3 ft.
	303	Thymus x citriodorus	Lemon Thyme	#1 pot

LEVEL 4 PLANTS SYMBOL	QTY	BOTANIC NAME	COMMON NAME	SIZE SPACING
	21	Azalea 'Gumpo White'	Dwarf azalea	#2 pot
	108	Buxus m. japonica 'Green Beauty'	Japanese boxwood	#2 pot
	19	Blechnum spicant	Deer fern	#2 pot
	161	Carex oshimensis 'Evergold'	'Evergold' sedge	#2 pot
	82	Carex 'Evercolor' 'Evercolor'	'Evercolor' sedge	#2 pot
	33	Choiya ternata	Mexican orange	#2 pot
	44	Echinacea purpurea 'White Swan'	Coneflower	#2 pot
	23	Hebe buxifolia	Boxwood Hebe	#2 pot
	14	Hydrangea querc. 'Munchkin' Dwarf	Oakleaf hydrangea	#4 pot
	76	Lavandula angustifolia 'Hidcote'	Hidcote lavender	#2 pot
	22	Liriodendron 'Silver Dragon'	Silver dragon lilyturf	#2 pot
	10	Lonicera pileata	Boxleaf honeysuckle	#2 pot
	114	Nepeta racemosa 'Walker'	Calaminth	#2 pot
	14	Pennisetum setaceum 'Hameln'	Fountain Grass	#2 pot
	38	Rosa 'Sea Foam'	White flowered rose	#2 pot
	28	Rudbeckia hirta	Black-eyed susans	#2 pot
	130	Taxus media 'Hill'	Hill's yew (Male Plant only)	3 ft.

LEVEL 5 PLANTS SYMBOL	QTY	BOTANIC NAME	COMMON NAME	SIZE SPACING
	44	Blechnum spicant	Deer fern	#2 pot
	25	Hebe buxifolia	Boxwood Hebe	#2 pot
	19	Hydrangea querc. 'Munchkin' Dwarf	Oakleaf hydrangea	#2 pot
	17	Lonicera pileata	Boxleaf honeysuckle	#2 pot
	99	Pachyrhizis terminalis	Japanese spurge	#2 pot
	22	Taxus media 'Hill'	Hill's yew (Male Plant only)	3 ft.

LEVEL 9 PLANTS SYMBOL	QTY	BOTANIC NAME	COMMON NAME	SIZE SPACING
	32	Carex oshimensis 'Ice dance'	'Ice dance' sedge	#1 pot
	36	Calamagrostis acutiflora 'Karl Foerster'	Feather reed grass	#2 pot
	23	Choiya ternata	Mexican orange	#2 pot
	10	Hebe buxifolia	Boxwood Hebe	#2 pot
	10	Lavandula angustifolia 'Hidcote'	Hidcote lavender	#2 pot
	10	Nepeta racemosa 'Walker'	Calaminth	#1 pot
	7	Panicum virgatum 'Blood Brothers'	Red switch grass	#2 pot
	10	Potamogeton nodosus	New Zealand Flax	#1 pot
	29	Taxus media 'Hill'	Hill's yew (Male Plant only)	4 ft.

LEVEL 10 PLANTS SYMBOL	QTY	BOTANIC NAME	COMMON NAME	SIZE SPACING
	8	Azalea 'Gumpo White'	Dwarf azalea	#2 pot
	10	Lavandula angustifolia 'Hidcote'	Hidcote lavender	#1 pot
	5	Leucanthemum x s. 'Becky'	Shasta daisy	#1 pot
	6	Lonicera pileata	Boxleaf honeysuckle	#2 pot
	5	Taxus media 'Hill'	Hill's yew (Male Plant only)	4 ft.

URBAN AGRICULTURE (PLANT LIST FOR TEMPORARY COVER) AREA COUNT: 1930 sqft.	QTY	BOTANIC NAME	COMMON NAME	SIZE SPACING
	275	Caryophyllus clandestinus	Bluebird	#1 pot, 12" spacing
	275	Coreopsis verticillata	Coreopsis	#1 pot, 12" spacing
	275	Ferula hirsuta	Blue fescue	#1 pot, 12" spacing
	275	Lactuca scariola	Gayfeather	#1 pot, 12" spacing
	275	Origanum vulgare	Oregano	#1 pot, 12" spacing
	275	Origanum vulgare 'Aureum'	Golden Oregano	#1 pot, 12" spacing
	275	Salvia officinalis	Sage	#1 pot, 12" spacing

## GENERAL PLANTING NOTES














- All work shall meet or exceed the requirements as outlined in the Current Edition of the Canadian Landscape Standard.
- Plant sizes and related container classes are specified according to the Canadian Landscape Standard Current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers these shall be as defined in the CNIA (ANSI) Standard.
- Sod is to be sand based turf and mesh free. No substitutes.
- All soft landscape area are to be irrigated using a high efficiency system, complete with rain sensor. All work to IABC standards.

## OFFSITE PLANTING NOTES

- Off-site plant species to be determined through the Servicing Agreement review process

## SURFACES





## Off-Site Hard Surfaces:

-  P1 CIP Concrete - Broom Finished with Saw Cuts
-  P2 Unilock Promenade Plank Paver  
Size: 24" x 8" x 4" Color: Opal
-  P3 Unilock Promenade Plank Paver  
Size: 24" x 8" x 4" Color: Black Granite Series Finish
-  P4 Charcoal Colour CIP Concrete - Broom Finished with Saw Cuts
-  P5 HydraPressed Concrete Slabs by Abbotsford Concrete Products  
24" x12" x 2" Colour: Natural
-  P6 HydraPressed Concrete Slabs by Abbotsford Concrete Products  
24" x12" x 2" Colour: Charcoal
-  P7 'UNILOCK 'Senzo' Concrete Unit Pavers. Colour: 'Crema'  
Size: 20 x 40 cm.
-  P8 Decorative River Rock, Size: 10-20 cm  
Colour: Ebony Black. Supplier: Northwest Landscape & Stone
-  P9 Timber Decking
-  P10 PIP Rubber Surfacing - Level 3
-  P11 Play Sand - Level 3
-  P12 Artificial Turf at Dog Run - Level 3
-  P13 Step stones (2 diameter) with Fibar surfacing (Level 3)








## Soft Landscape:

-  S1 Sand Based Sodded Lawn
-  S2 Shrub/Perennial Beds
-  S3 Evergreen Hedging
-  S4 Urban Agriculture Planting bed.
-  S5 Extensive Green Roof, Sedum Carpet.
-  S6 Berm Planting

## Subsurface / drainage

-  SD1 Soil Cells (15 cubic meters)
-  SD2 Stormwater detention channel connected to storm line
-  SD3 Trench drain
-  SD4 Area Drain

## Furniture + Structures:

-  F1 1050mm/42" ht. Metal Fence + Gate
-  F2 5' High Metal Fence to be screened by evergreen planting
-  F3 C.I.P. Concrete Planter Wall
-  F4 Outdoor Kitchen w/ Built-in Trellis, BBQ and Sink.
-  F5 The Universe Bench System- 71" backed provided by landscape forms. To be installed on concrete seal wall (and free standing bench) as per manufacturer's instruction. Color: Natural Wood & Red. Qty: As shown on the plans
-  F6 Wood Seating Platform on concrete base
-  F7 Gas Appliance - Fire Table
-  F8 Bench - Neolivia - Landscape Forms - 69" Backed

 F9 Balancing logs to retain growing medium at kids play area

 F10 Boulders to retain growing medium at kids play area

 F11 Illustrative - Custom Play Equipment, w/ Built-in Embankment Slide, Stepping Stones and Balancing logs. To be Specified.


 F12 Balancing logs and tree trunks as natural play equipments

 F13 Loungers, chairs and tables. Illustrative Furnishings.

 F14 Illustrative - Prefabricated Play Equipment.

 F15 Bike Racks. Model: SCBR1400. Mounting: Surface Finish: Silver 14. Powdercoat w/ E-Coat Rustproof. Supplier: Maglin

 F16 Bike Racks. Model: W7510. Mounting: Surface Finish: Stainless Steel Supplier: Cora












 F17 Urter & Recycling Receptacles. (as per COR 'Outdoor Bin Guidelines')  
- Standard 3 stream garbage and recycle basket  
- Approved by Environmental Programs  
Product: Hazellon - 2 Stream Recycling Unit  
Company: EnviroZone  
Capacity: 147 litres per compartment

 F18 Precast Concrete Step Stones  
Broom Finished, 1.5' x 18' x 18'



 F19 Large Format Bluestone Pavers

 F20 Tree grate: Urban Accessories  
'Jamison' 4' x 4'.

## Grading + Drainage:

-  G1 + TS 10.00m top of stair
-  G2 + BS 10.00m bottom of stair
-  G3 + TW 10.00m top of wall
-  G4 + BW 10.00m bottom of wall
-  G5 + 10.00m spot elevation
-  G6 + FG 8.50m finished grade
-  G7 + BG 8.35m building grade
-  G8 existing elevation (as per survey)
-  G9 direction/percent slope
-  G10 break in slope
-  G11 direction/number of risers down

## Irrigation &amp; Hose Bibs:

-  I1 Hose Bib
-  I2 Irrigation Stub Up  
50psi + 50gpm

## Lighting:

-





**Thind**  
PROPERTIES



**IBI GROUP**  
**ARCHITECTS (CANADA) INC.**  
700 – 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

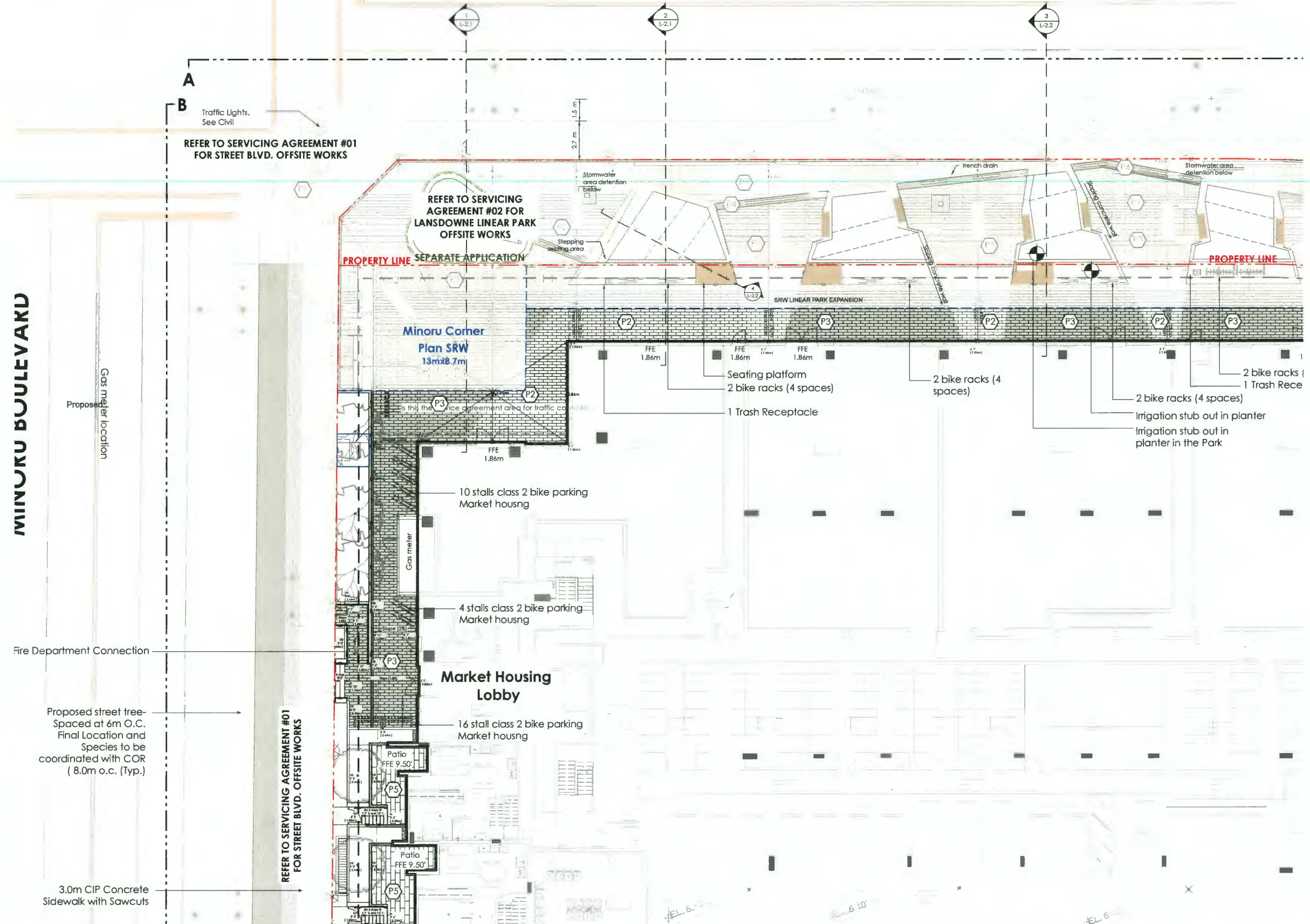
**PLAN #4b - LANDSCAPE**  
**OVERALL L1 LANDSCAPE PLAN**





MINORU BOULEVARD

LANDSDOWNE ROAD



**Thind**  
PROPERTIES

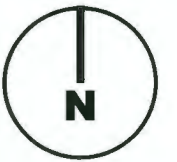


IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

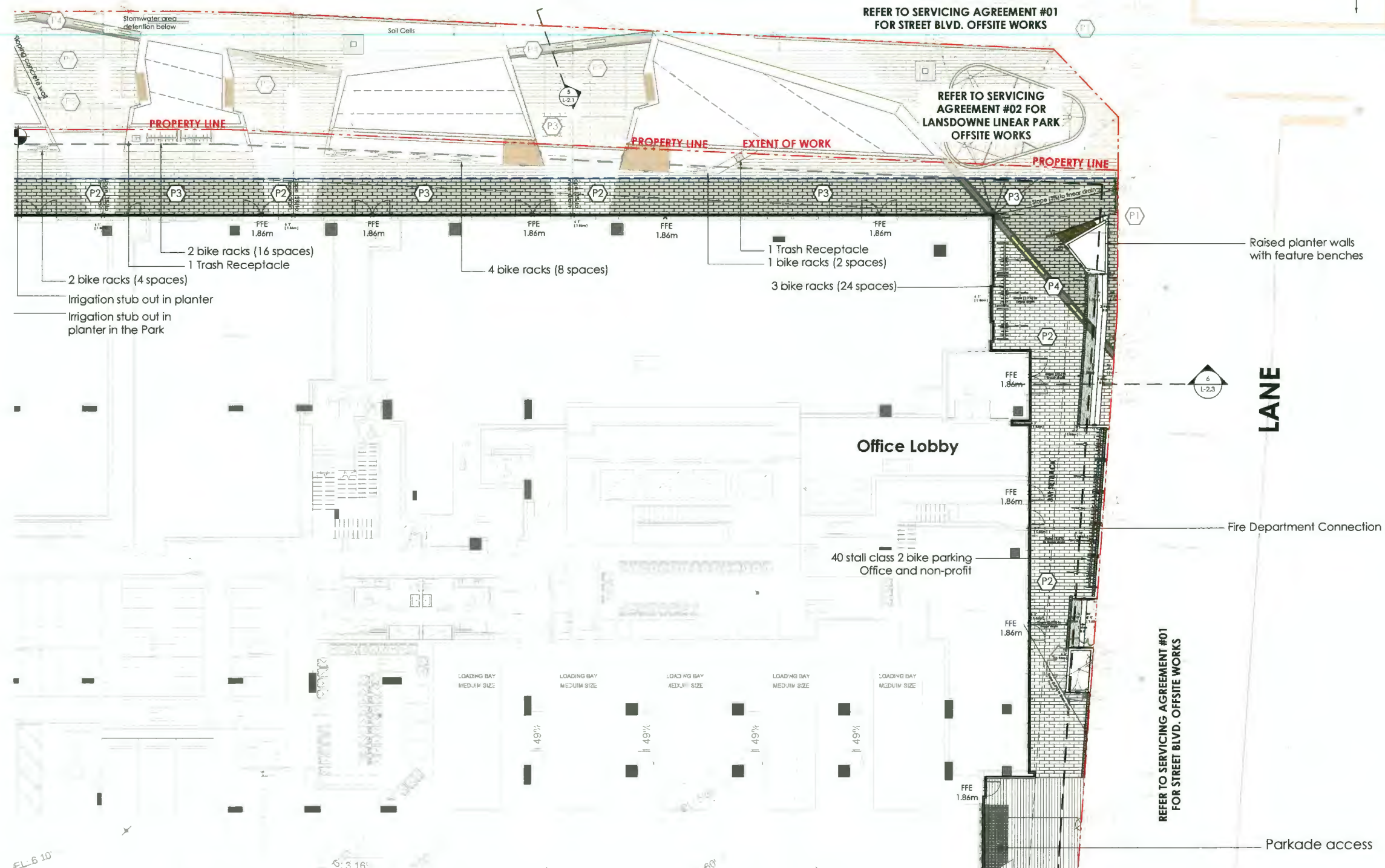
PLAN #4b-1 - LANDSCAPE  
L1 NORTHWEST MATERIALS AND GRADING





A

- Inter  
Ref
- Ultin  
Ref
- Exist  
Ref



**Thind**  
PROPERTIES

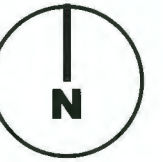


**IBI GROUP**  
**ARCHITECTS (CANADA) INC.**  
700 – 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
**ibigroup.com**

**5740, 5760, 5800 Minoru Blvd., Richmond**  
Richmond, B.C. Canada      DP 19-881156      Date: August 11, 2021

**PLAN #4b-2 - LANDSCAPE  
L1 NORTHEAST MATERIALS AND GRADING**





MINORU BOULEVARD

2.0m Bike Lane

TELUS UTILITY CABINET  
800MM X 721MM

SHAW UTILITY CABINET  
800MM X 720MM

BCH LPT

REFER TO SERVICING AGREEMENT #01  
FOR STREET BLVD. OFFSITE WORKS

EXTENT OF WORK  
ON-SITE WORKS

Market Housing Lobby

TOWER B  
LOBBY

Irrigation stub out. Design build.

LOW VOLTAGE ENCLOSURE

5 WAY ABOVE  
GROUND VISTA SWITCH



**Thind**  
PROPERTIES



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond

Richmond, B.C. Canada

DP 19-881156

Date: August 11, 2021

PLAN #4b-3 - LANDSCAPE  
L1 SOUTHWEST MATERIALS AND GRADING

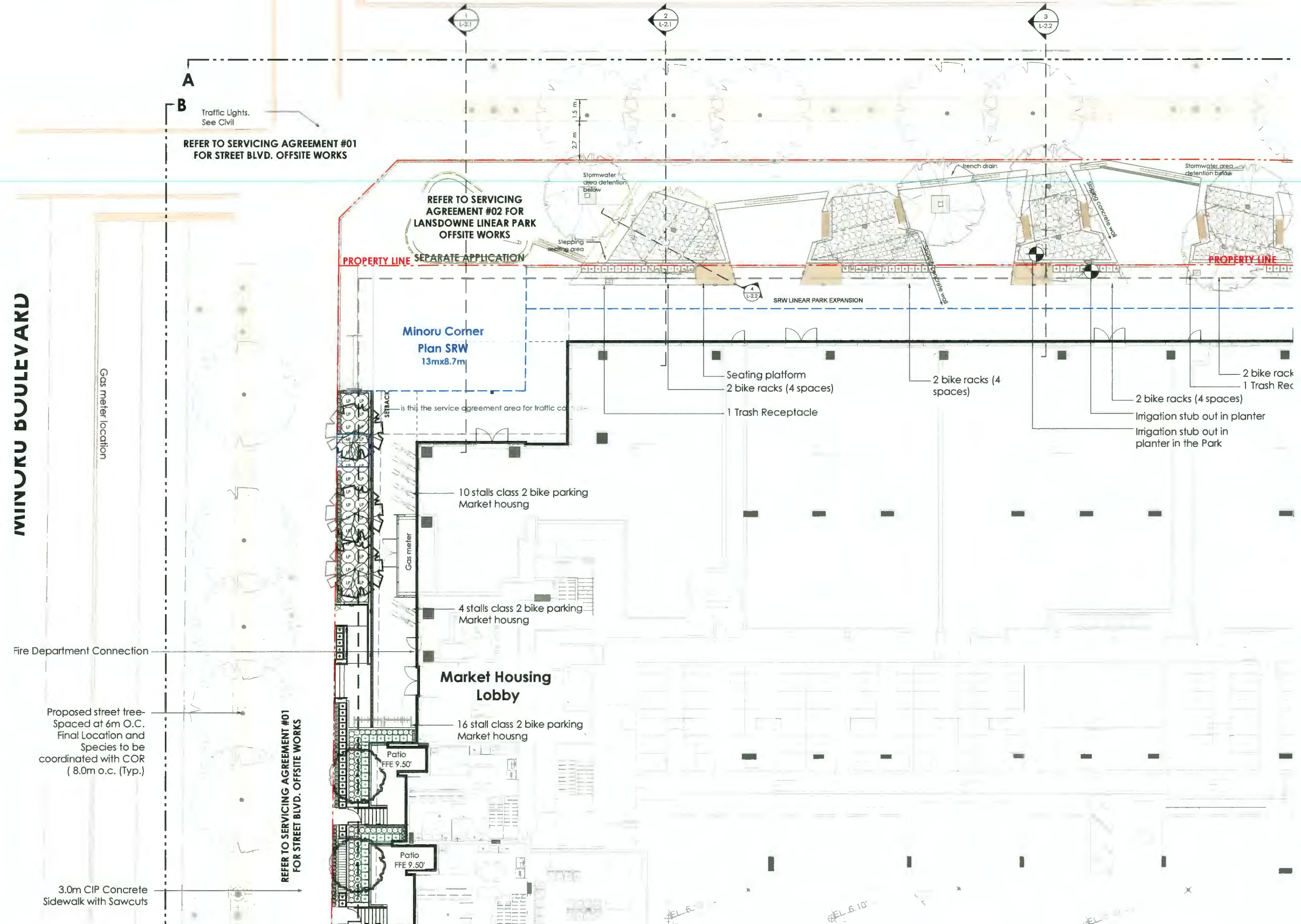






MINORU BOULEVARD

LANDSDOWNE ROAD



**Thind**  
PROPERTIES



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 – 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

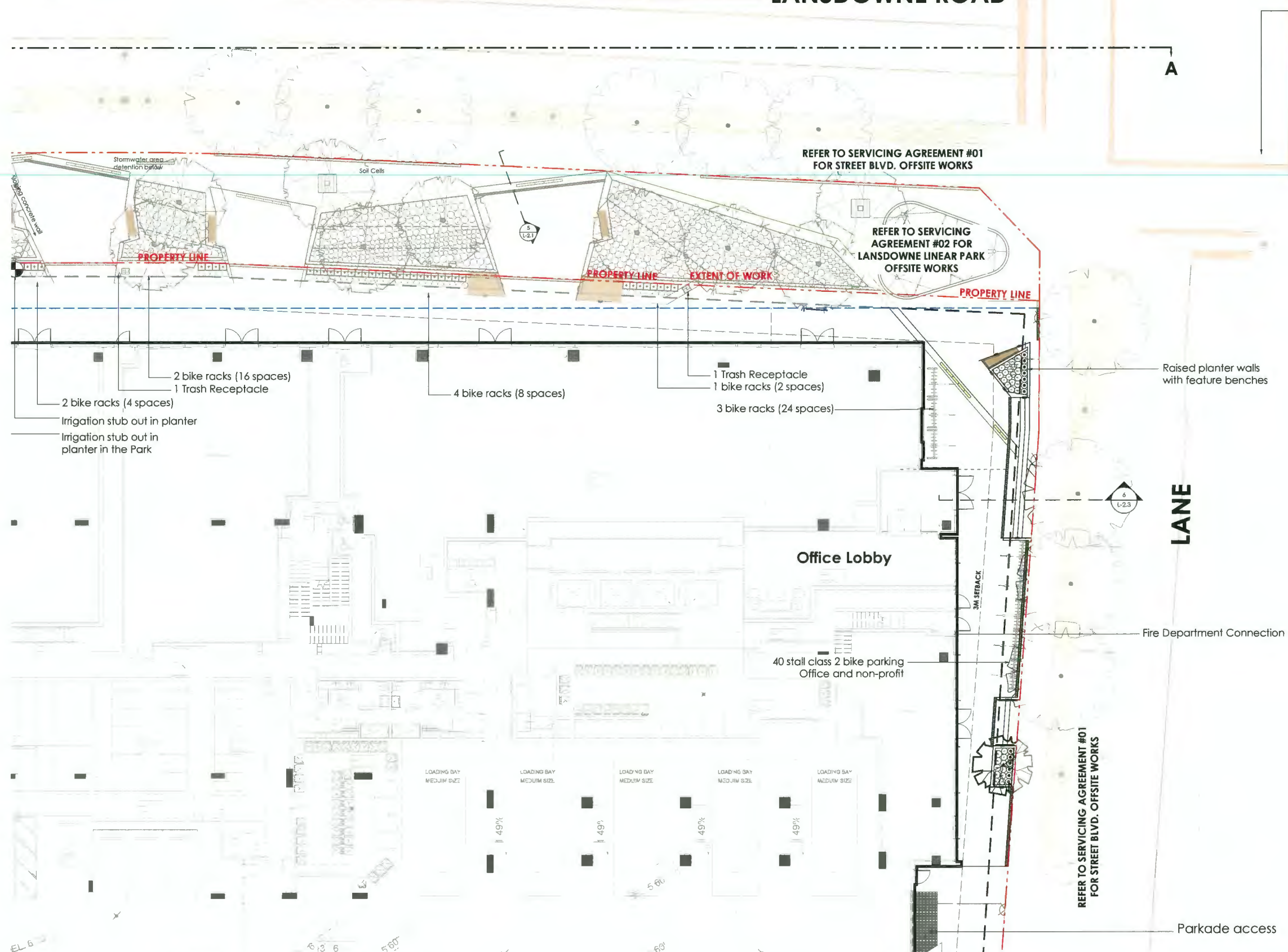
5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

PLAN #4b-5 - LANDSCAPE  
L1 NORTHWEST PLANTING



## A

— In	Re
— UI	Re
— Ex	Re



**Thind**  
PROPERTIES



**IBI GROUP**  
**ARCHITECTS (CANADA) INC.**  
700 – 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
**ibigroup.com**

**5740, 5760, 5800 Minoru Blvd., Richmond**  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

DP 19-881156

Date: August 11, 2021

## PLAN #4b-6 - LANDSCAPE L1 NORTHEAST PLANTING



MINORU BOULEVARD

2.0m Bike Lane

TELUS UTILITY CABINET  
800MM X 721MM

SHAW UTILITY CABINET  
800MM X 720MM

BCH LPT

REFER TO SERVICING AGREEMENT #01  
FOR STREET BLVD. OFFSITE WORKS

EXTENT OF WORK  
ON-SITE WORKS

Market Housing Lobby

LOW VOLTAGE ENCLOSURE

5 WAY ABOVE  
GROUND VISTA SWITCH

5740, 5760, 5800 Minoru Blvd., Richmond

Richmond, B.C. Canada

DP 19-881156

Date: August 11, 2021

PLAN #4b-7 - LANDSCAPE  
L1 SOUTHWEST PLANTING



**Thind**  
PROPERTIES

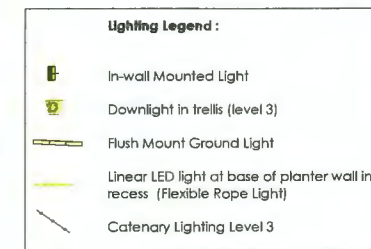


IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 – 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com













**Thind**  
PROPERTIES

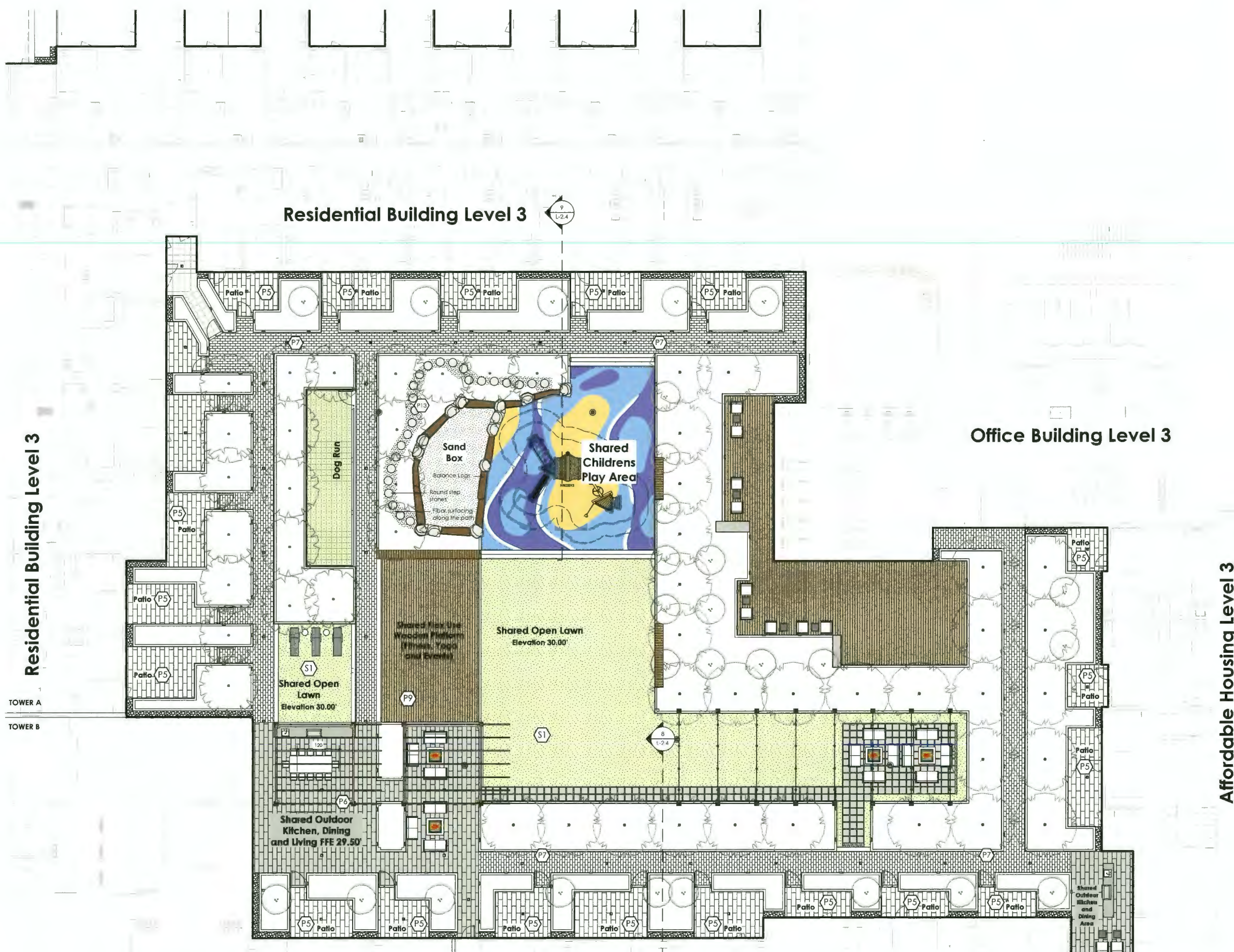


IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 – 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

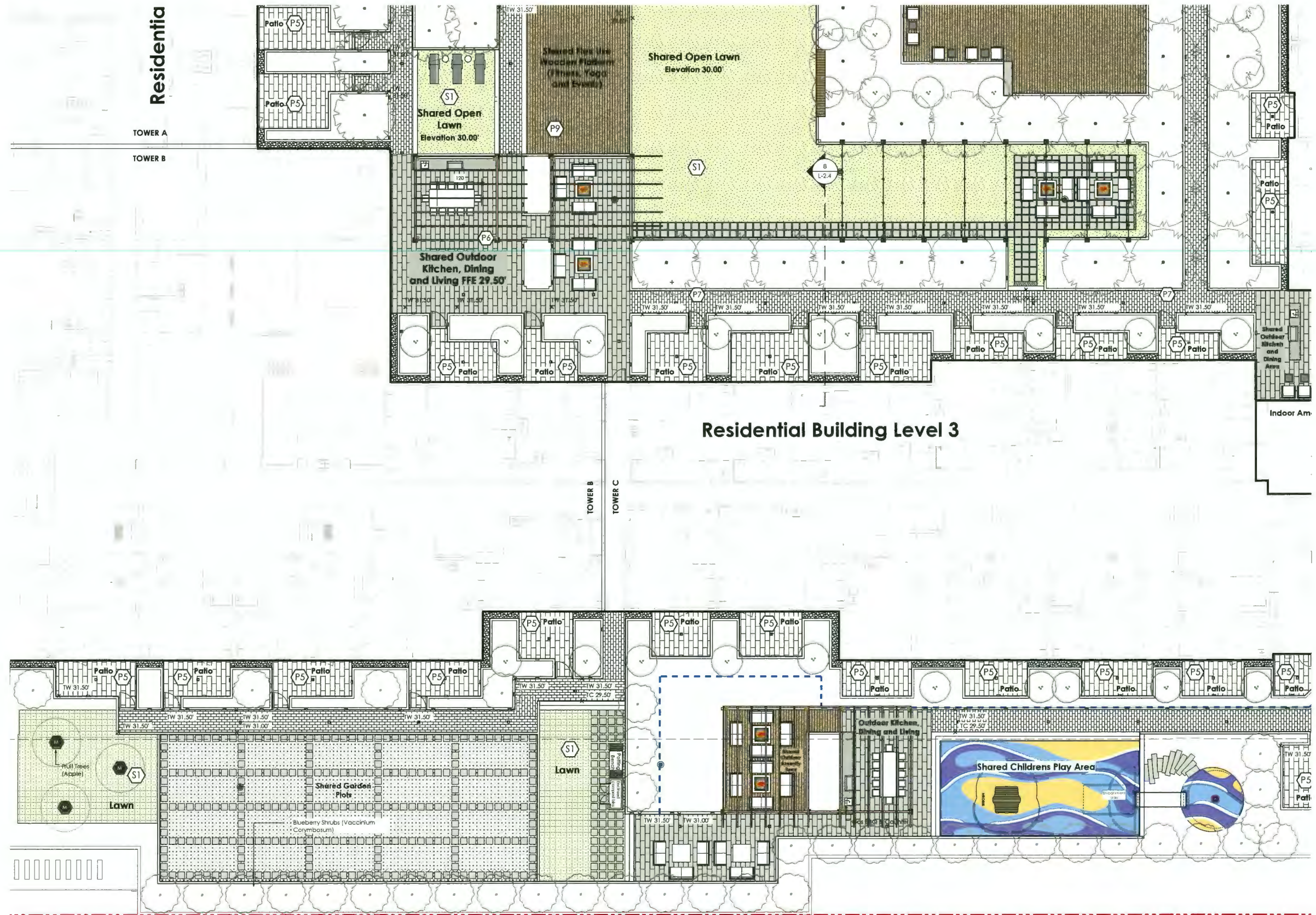
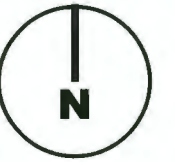
5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

PLAN #4c - LANDSCAPE  
OVERALL L3 LANDSCAPE PLAN

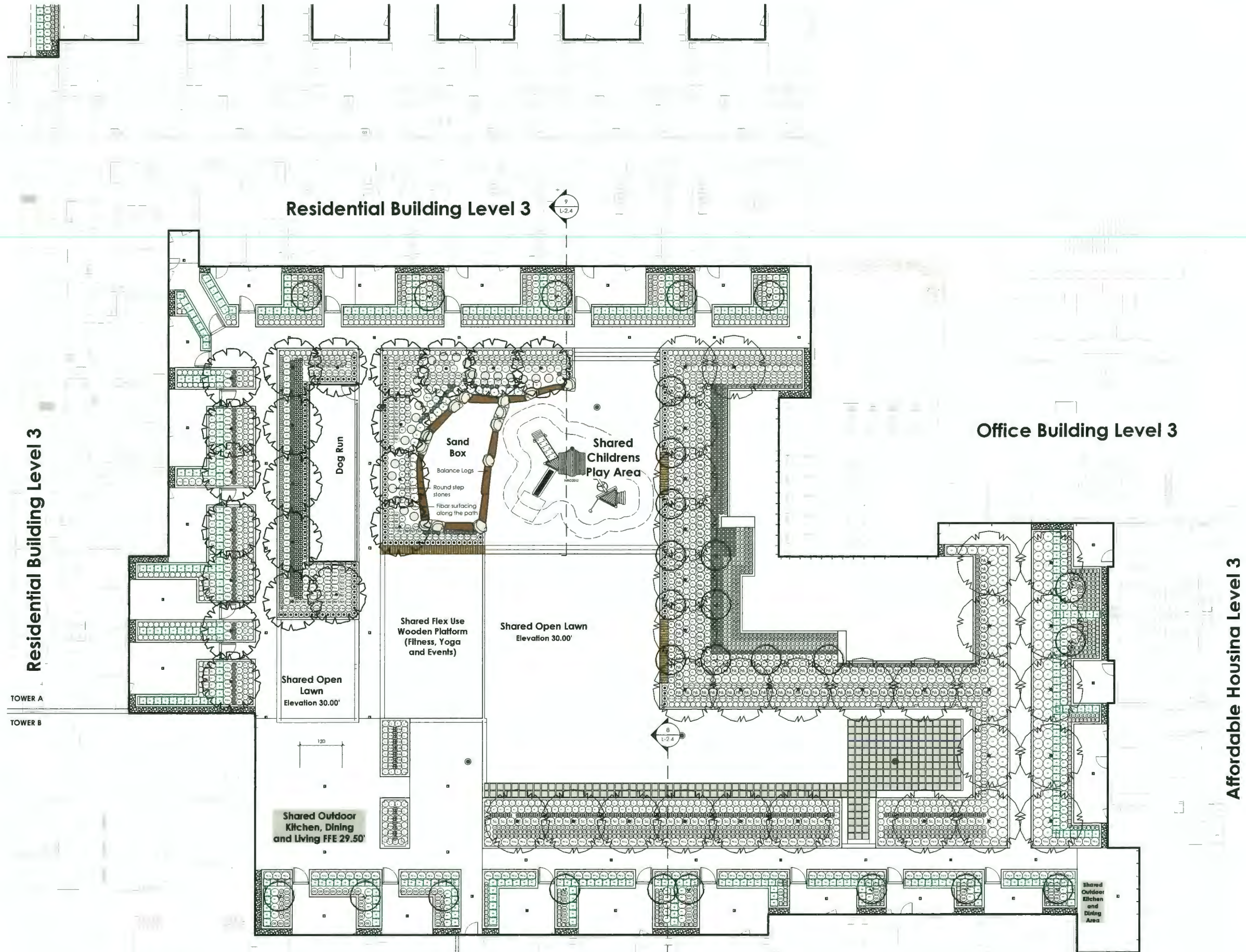




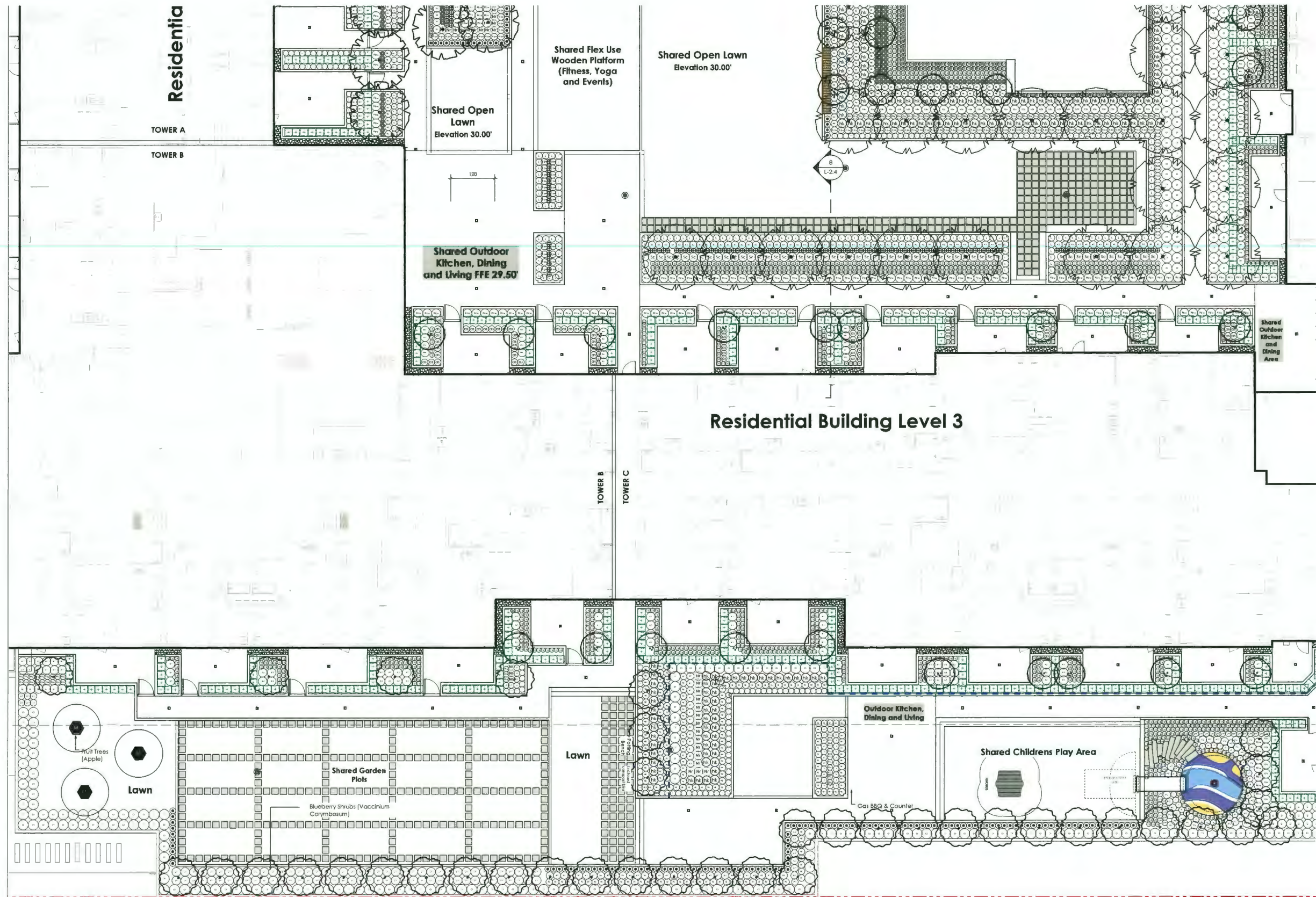




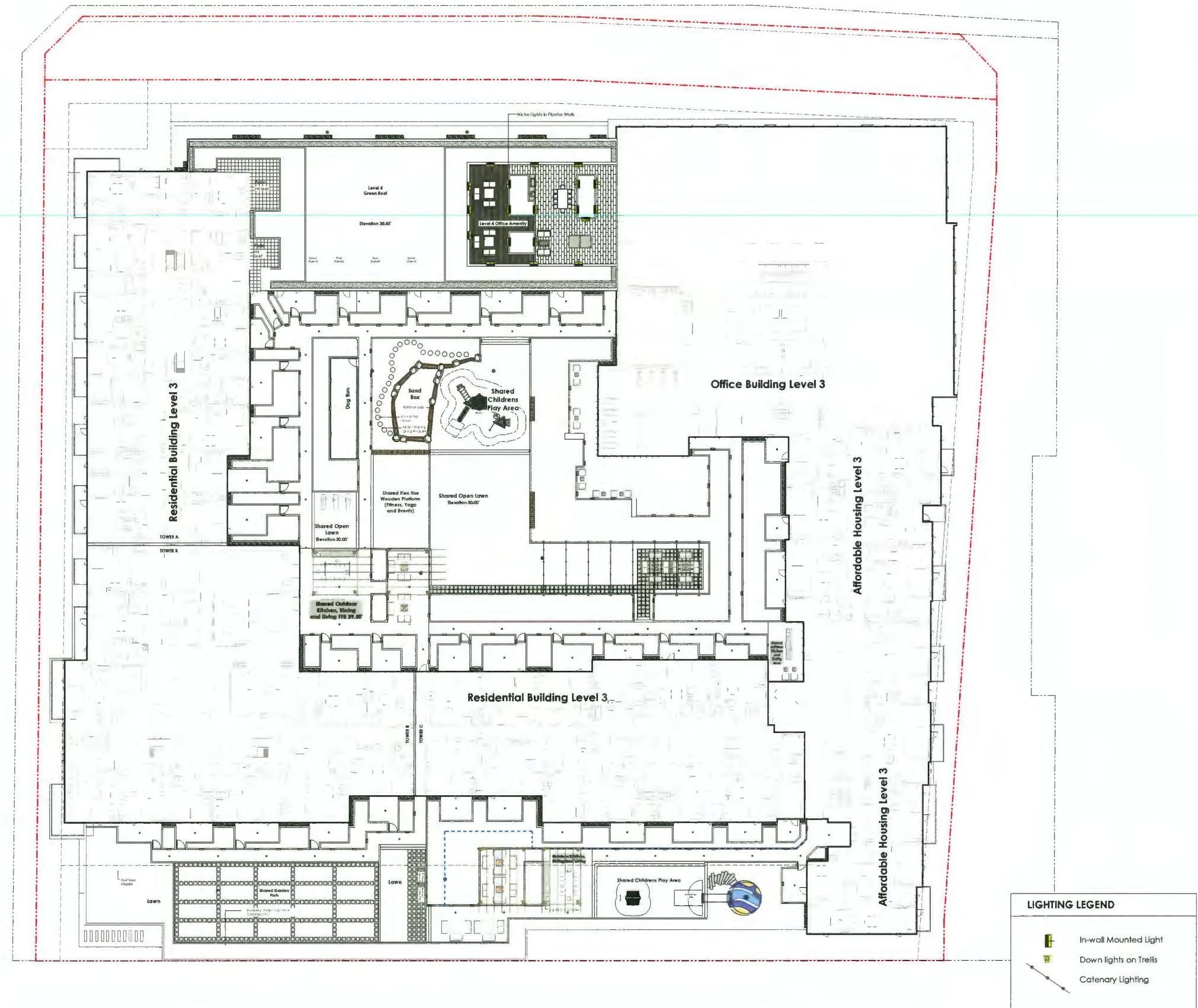








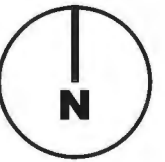




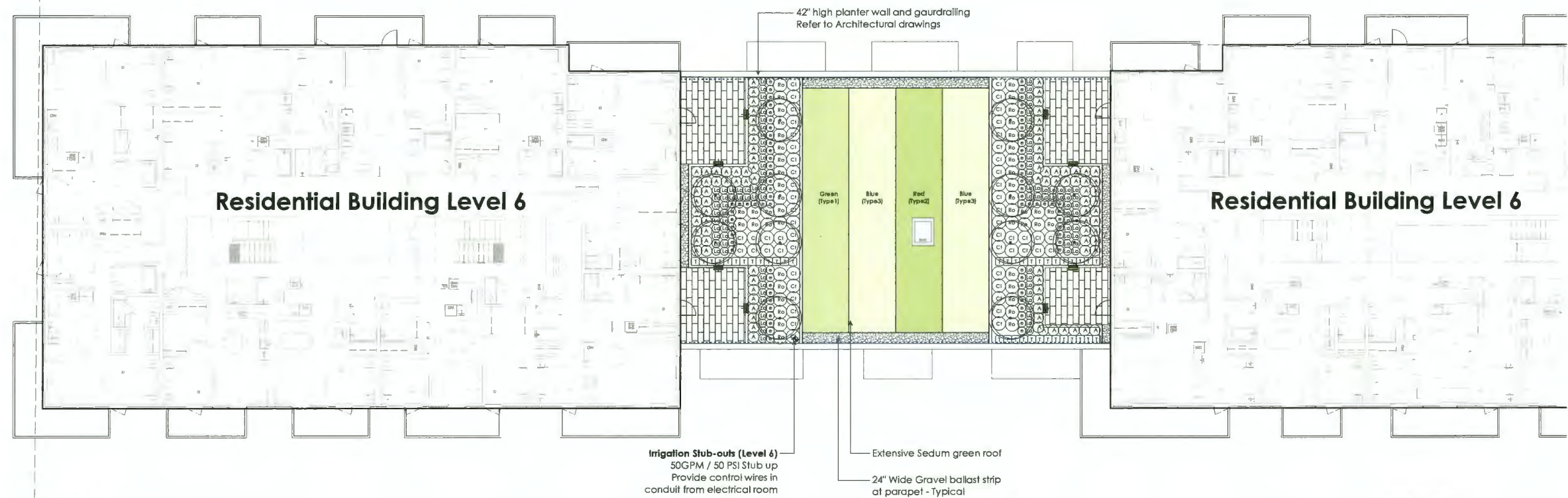




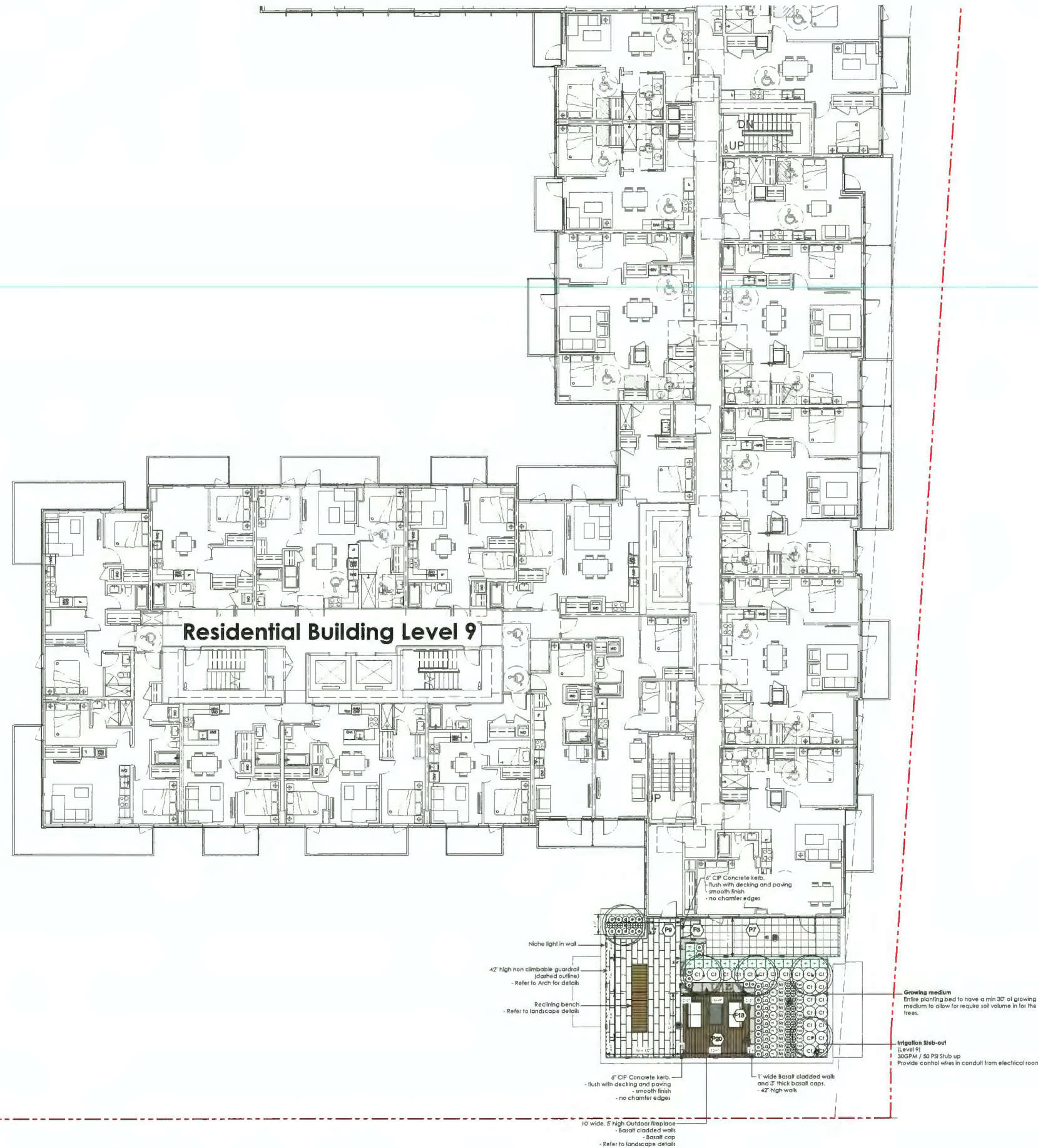
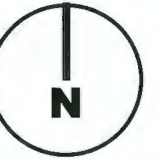




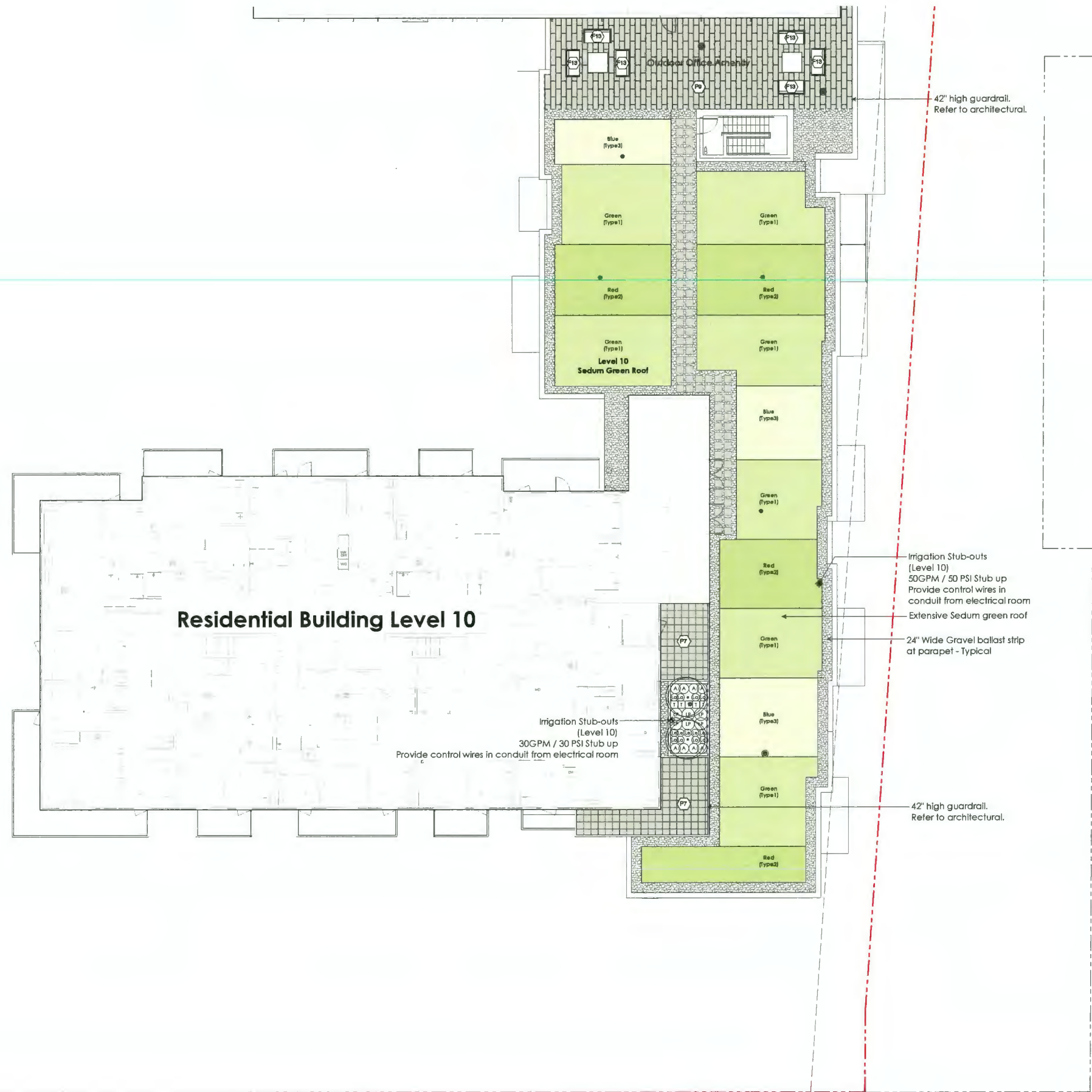




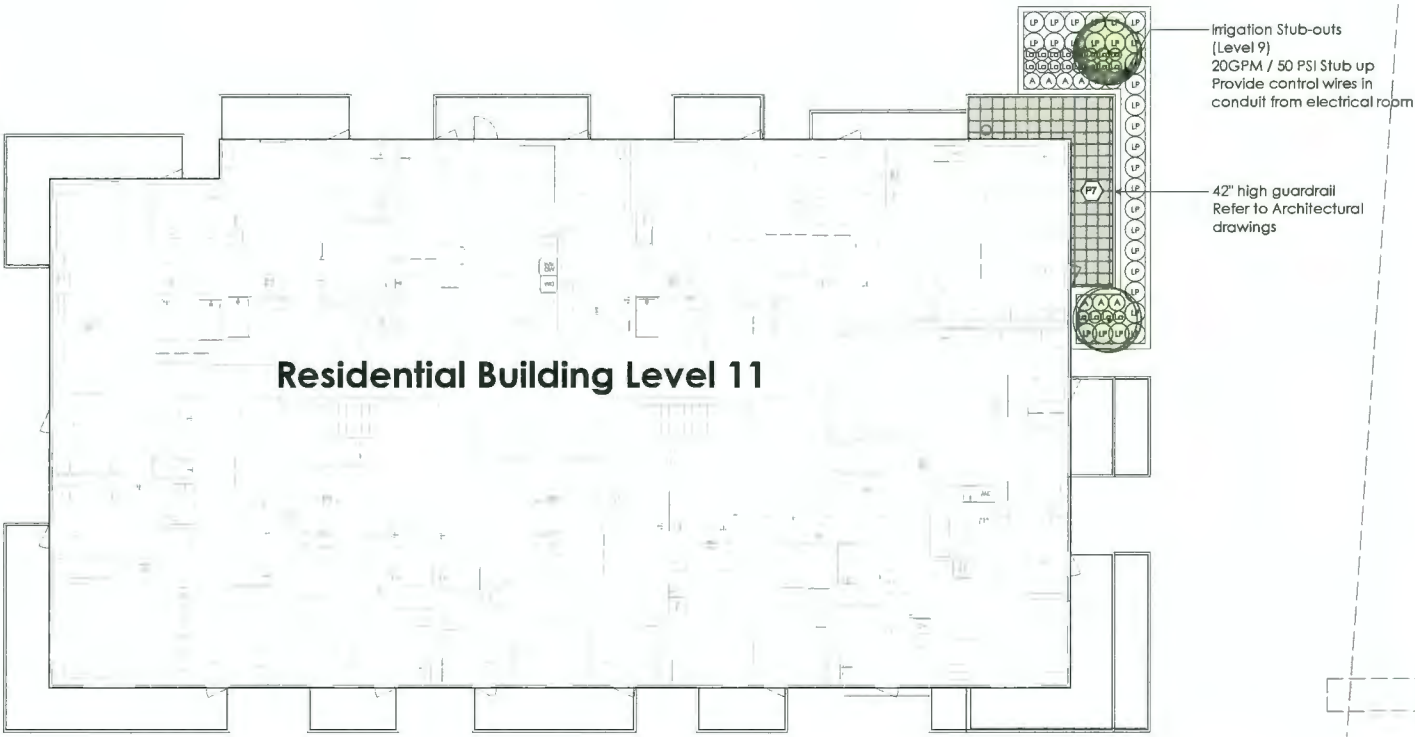










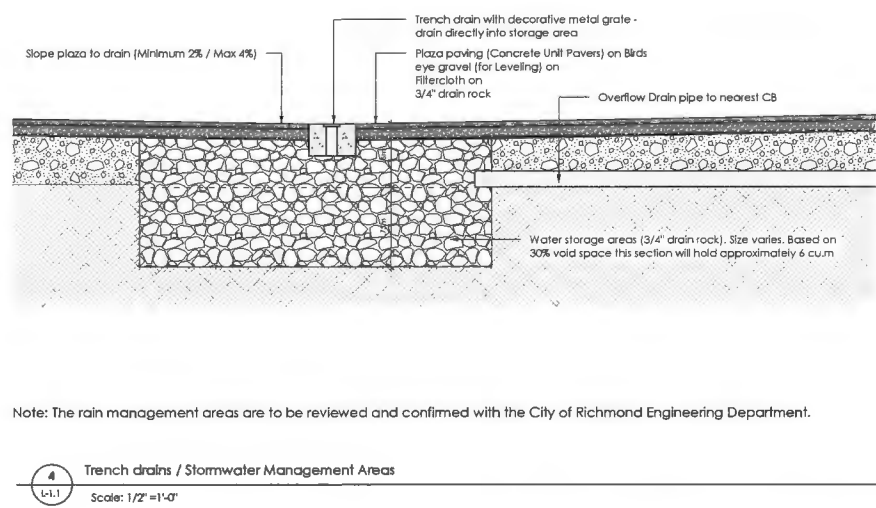
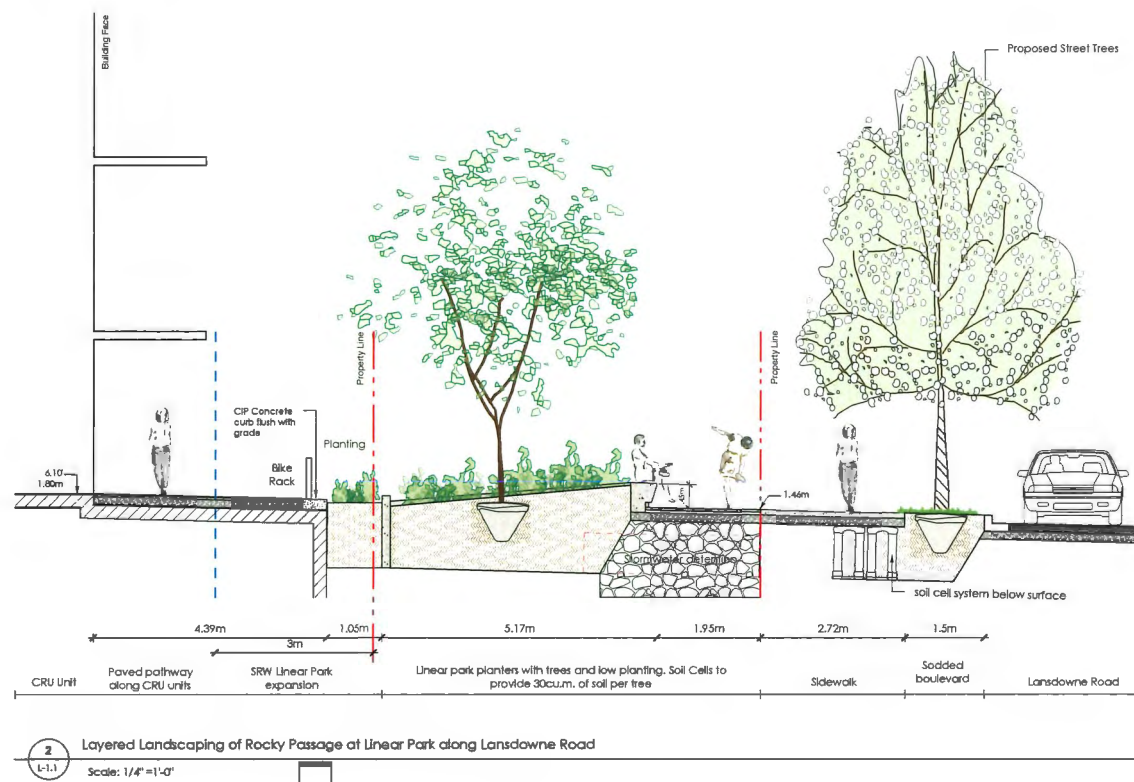
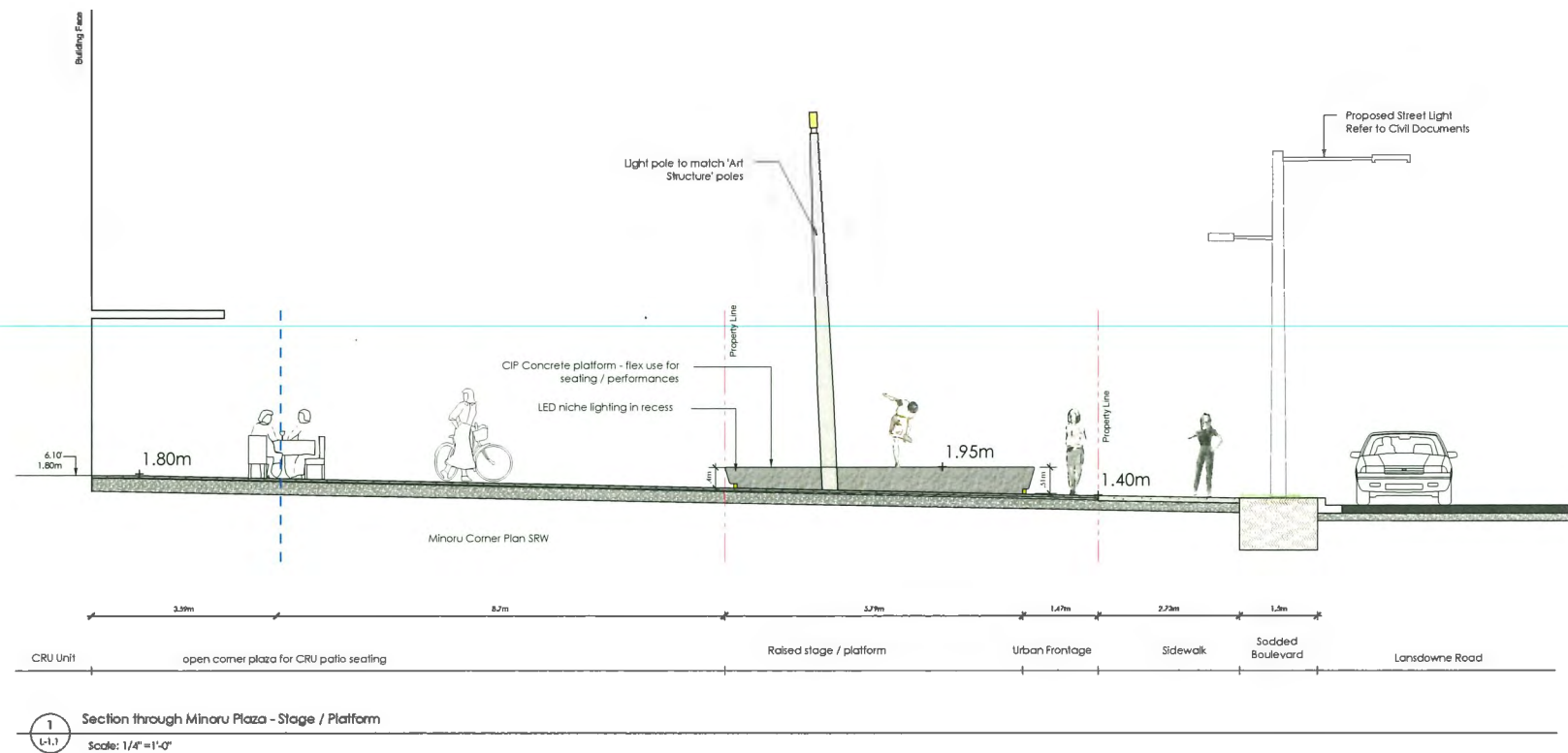


Residential Building Level 11

PROPERTY LINE

PROPERTY LINE





Note: For Linear Park Information, Reference the separate Drawing Submission - SA-02 (SA 21-923345)

PARK/REFERENCE PLAN



**Thind**  
PROPERTIES

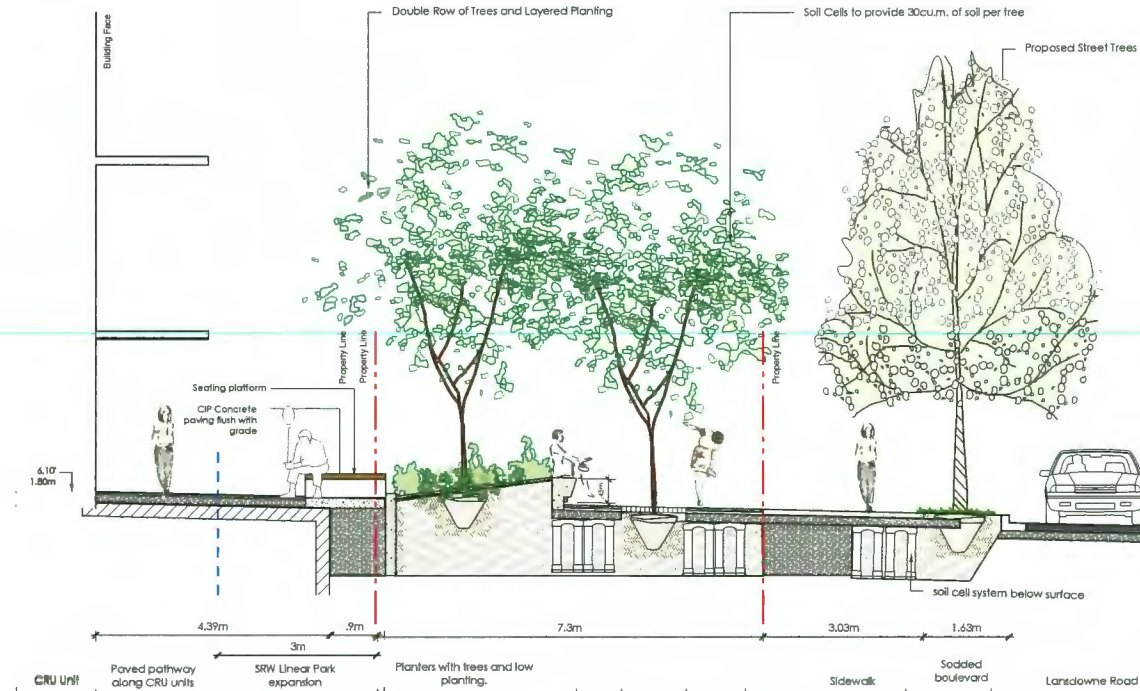


IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

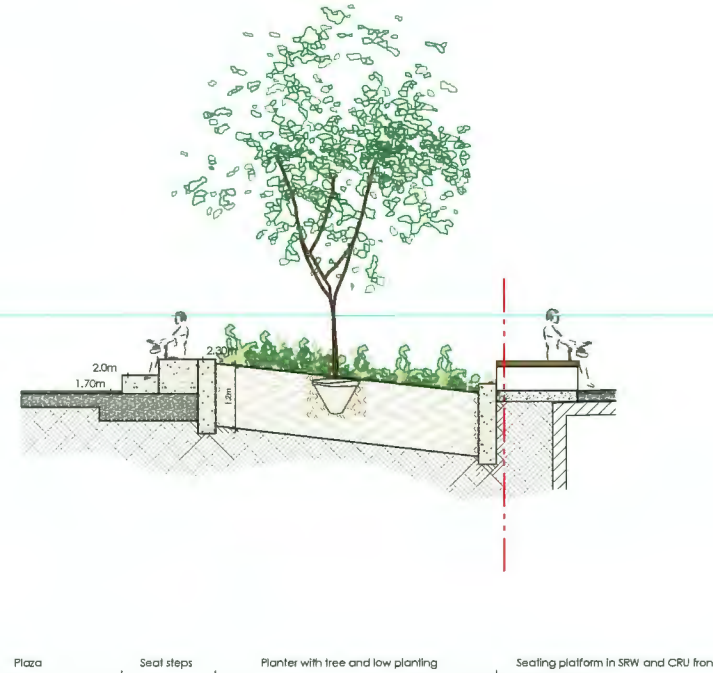
PLAN #4j-1 - LANDSCAPE  
SECTIONS





3 Layered Landscaping of Rocky Passage at Linear Park along Lansdowne Road

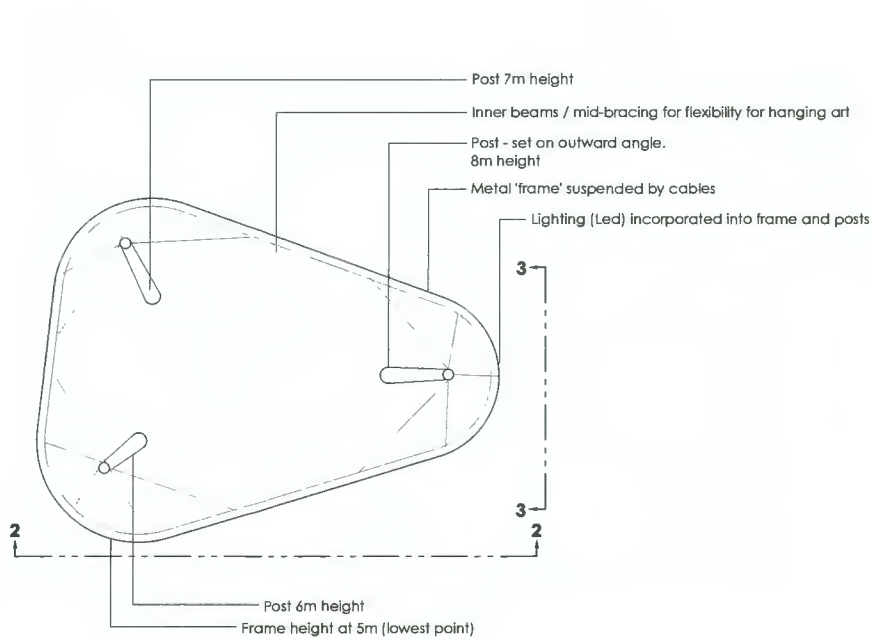
Scale: 1/4"=1'-0"



4 Layered Landscaping at Linear Park along Lansdowne Road

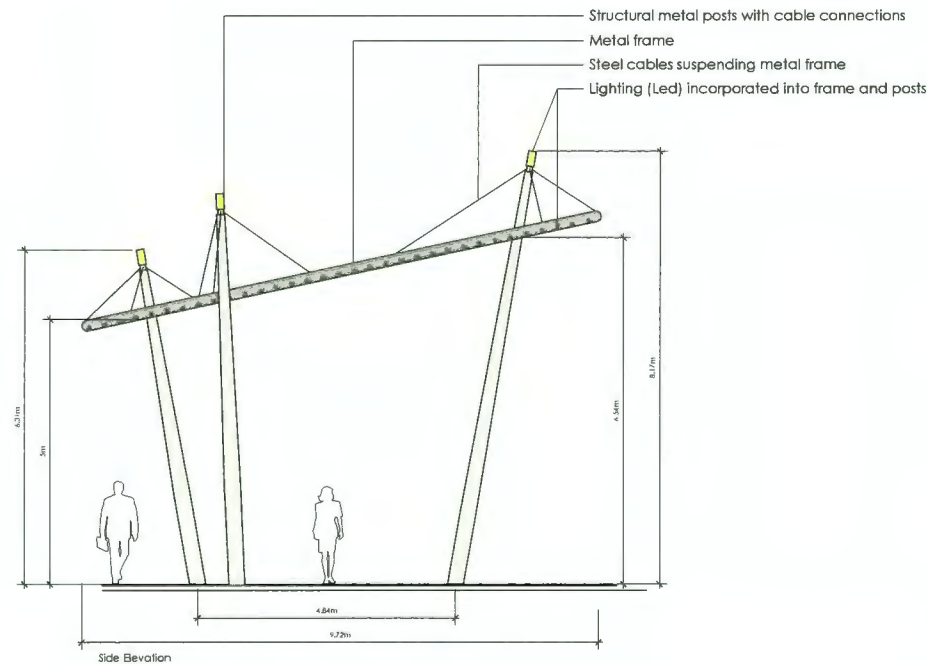
Scale: 1/4"=1'-0"

Note: This is currently under review by a structural engineer, including footing details



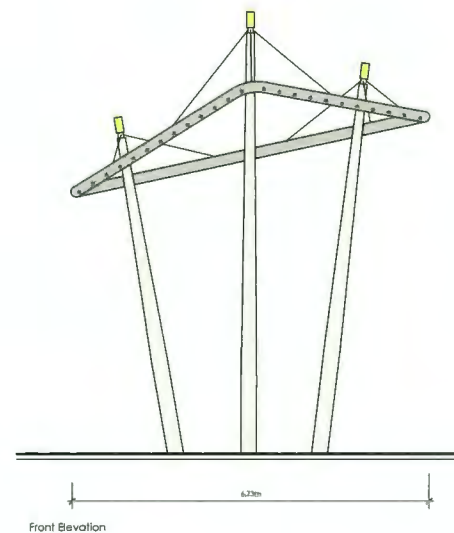
1 'Art Structure' Plan

Scale: 1/4"=1'-0"



2 'Art Structure' Side Elevation

Scale: 1/4"=1'-0"



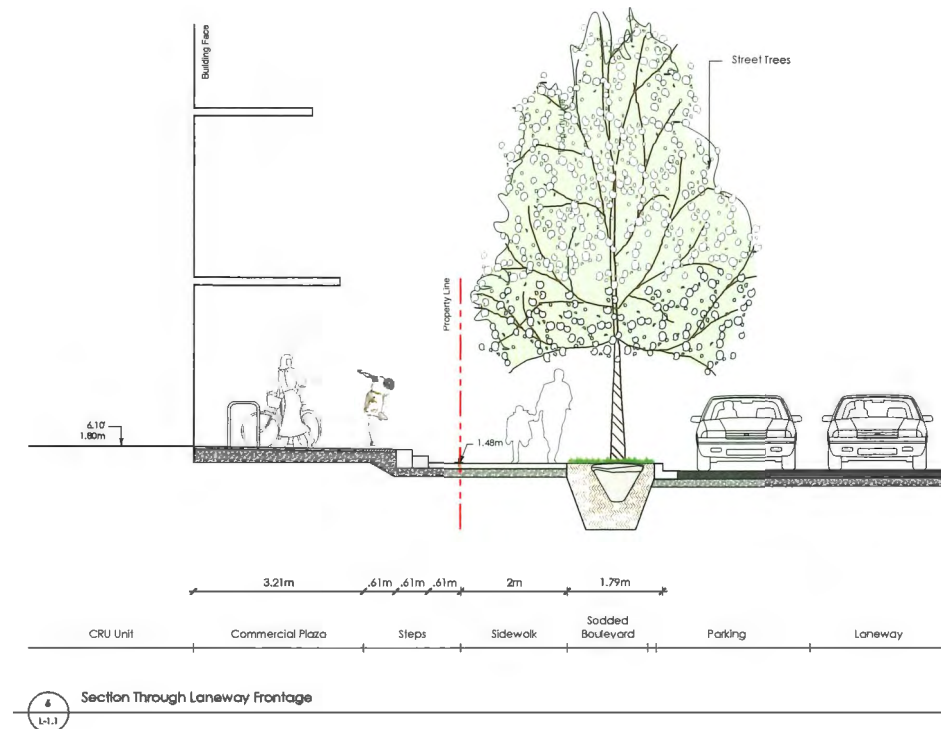
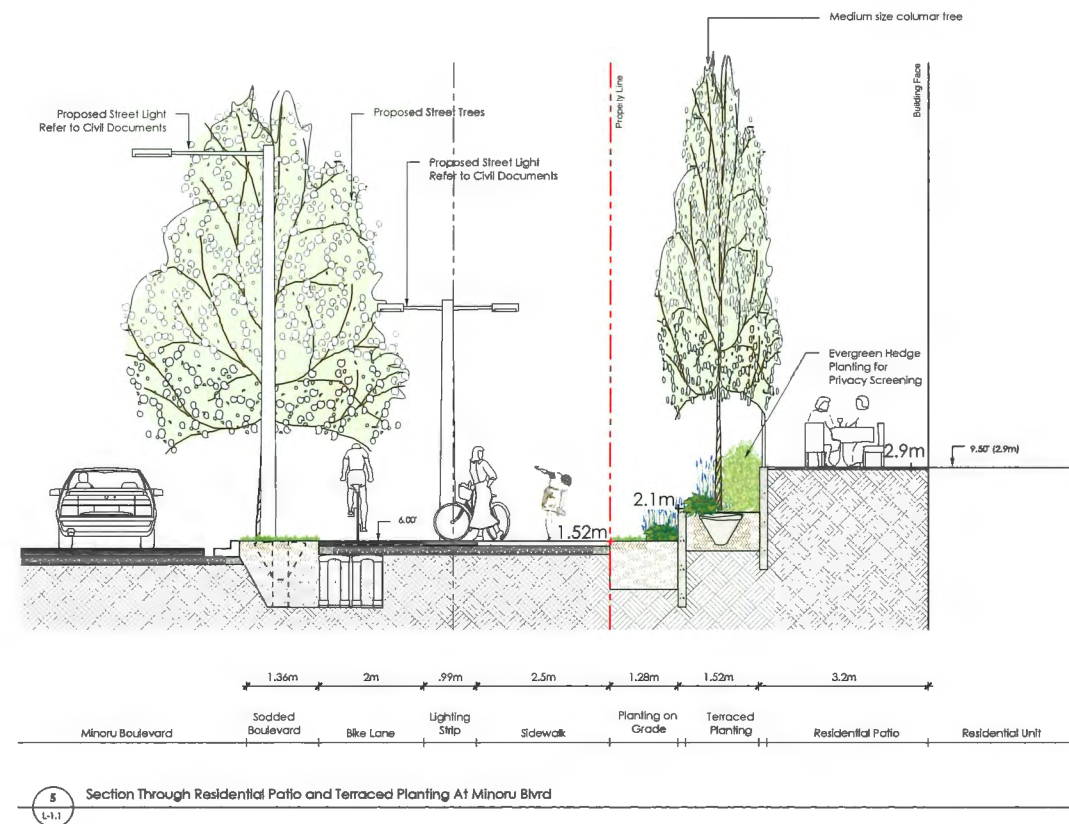
3 'Art Structure' Front Elevation

Scale: 1/4"=1'-0"

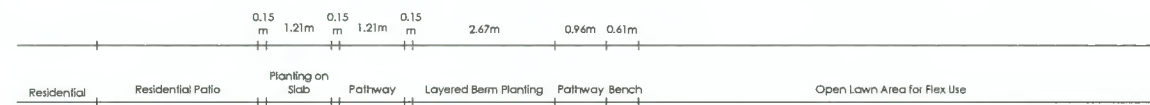
Note: For Linear Park Information, Reference the separate Drawing Submission - SA-02 (SA 21-923345)

## PARK/REFERENCE PLAN





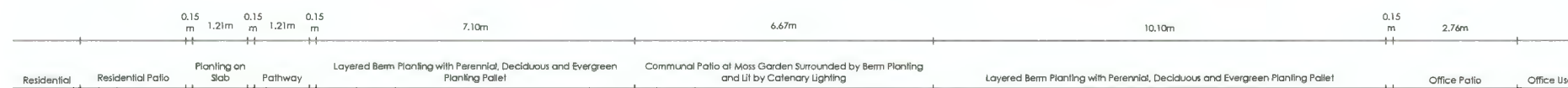
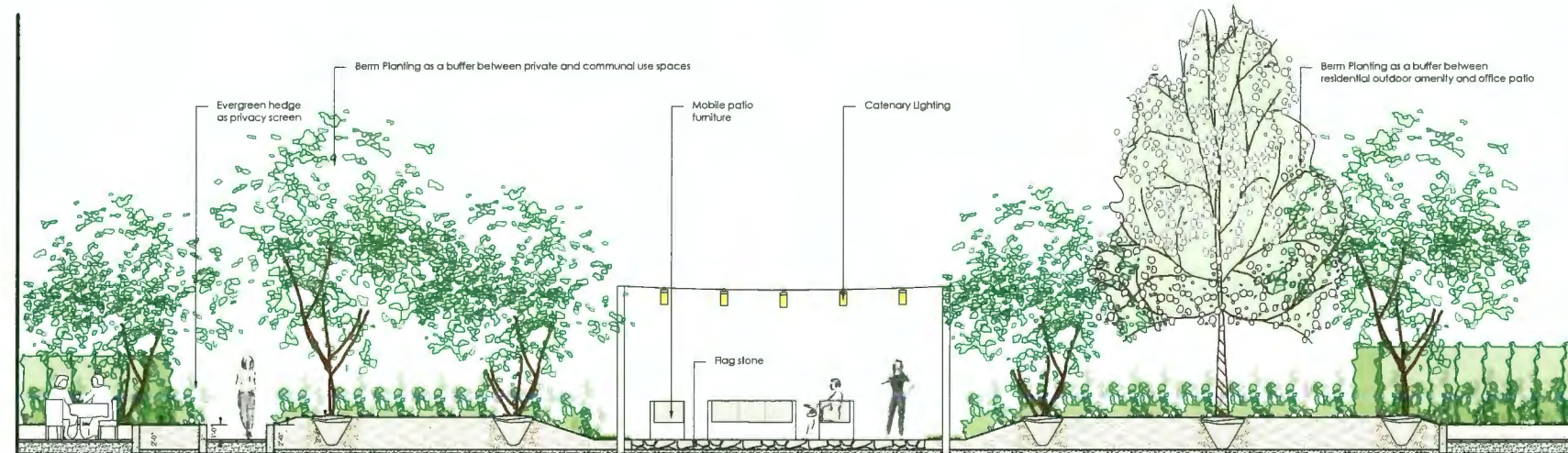




8 Section Through Podium Level Landscape  
Scale: 1/4" = 1'-0"

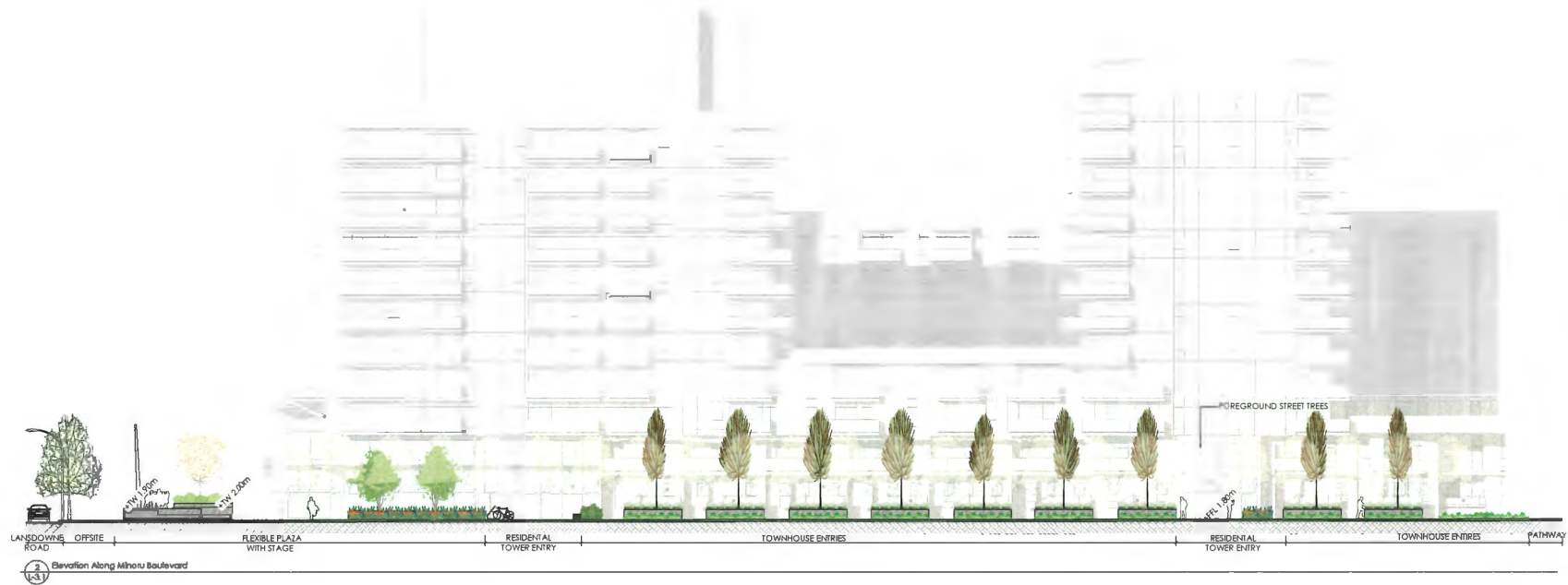
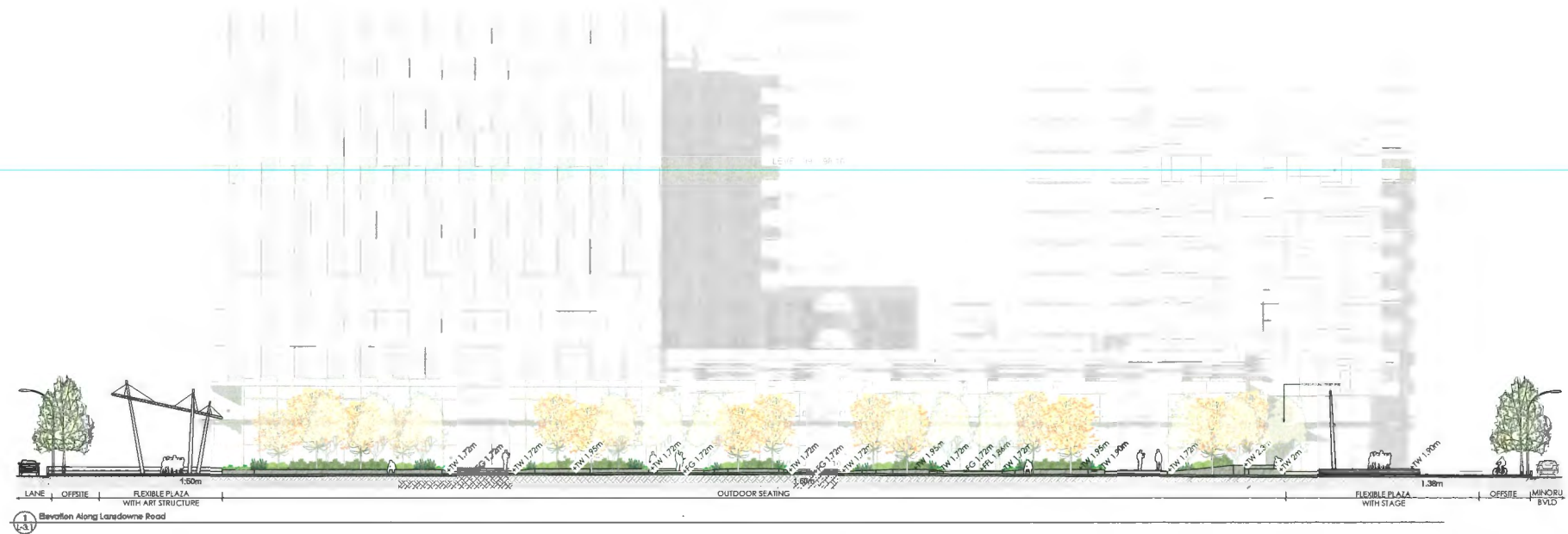


9 Section Through Podium Level Landscape  
Scale: 1/4" = 1'-0"



7 Section Through Podium Level Landscape  
Scale: 1/4" = 1'-0"



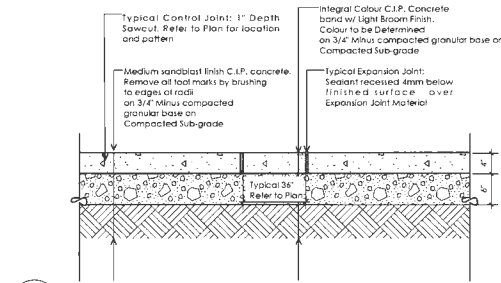


**PARK/REFERENCE PLAN**

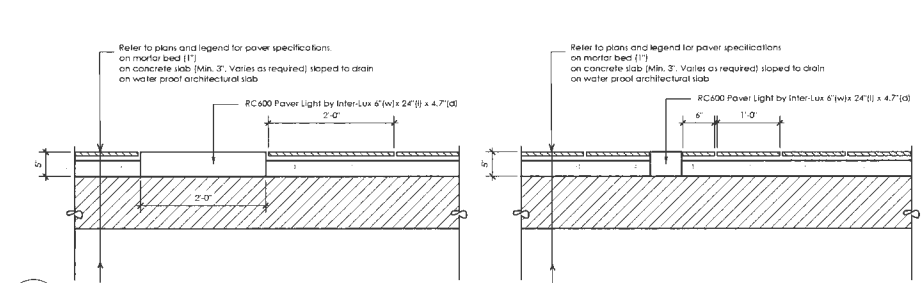
\*For Reference Only - Park Design submitted in separate Submission

**PLAN #4j-5 - LANDSCAPE  
ELEVATIONS**

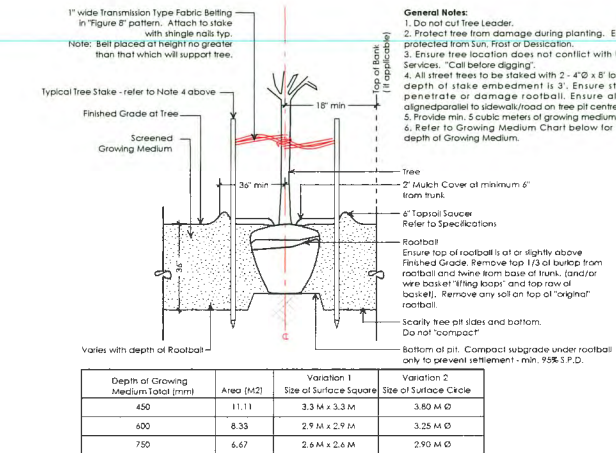




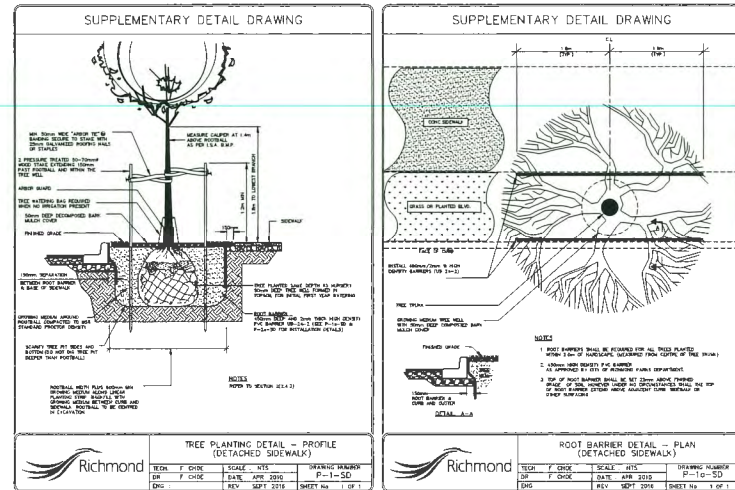
Ld+1  
L1.1  
C.I.P. CONCRETE ON GRADE  
SCALE: 1"=1'-0"



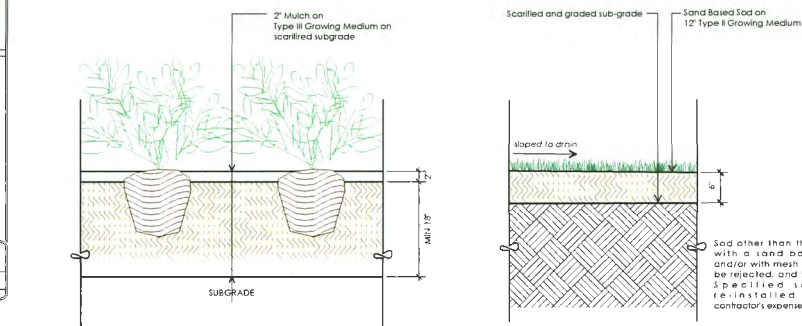
Ld+2  
L1.1  
PORCELAIN PAVERS MORTARED ON CONCRETE  
SCALE: 1"=1'-0"



Ld+3  
L1.1  
TREE PLANTING ON GRADE  
SCALE: NTS

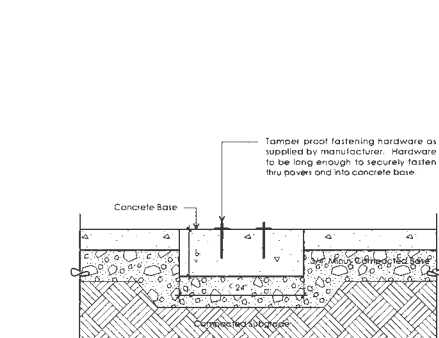


Ld+4  
L1.1  
CITY OF RICHMOND TYPICAL TREE PLANTING STANDARD  
SCALE: NTS

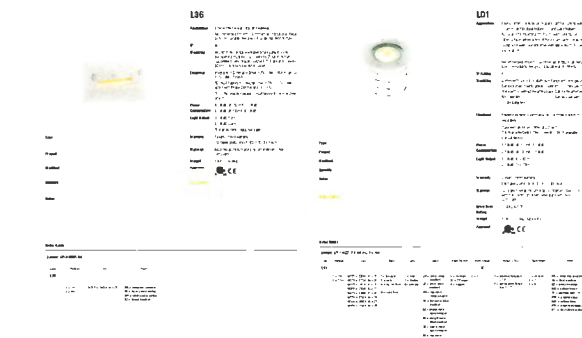


Ld+5  
L1.1  
PLANTING - ON GRADE  
SCALE: 1"=1'-0"

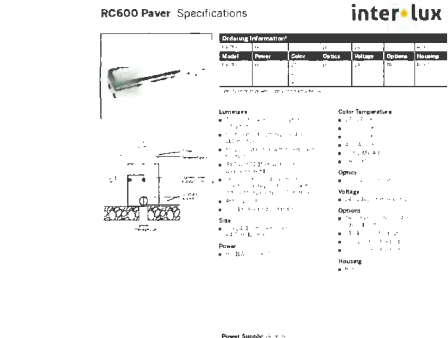
Ld+6  
L1.1  
SOD ON GRADE  
SCALE: 1"=1'-0"



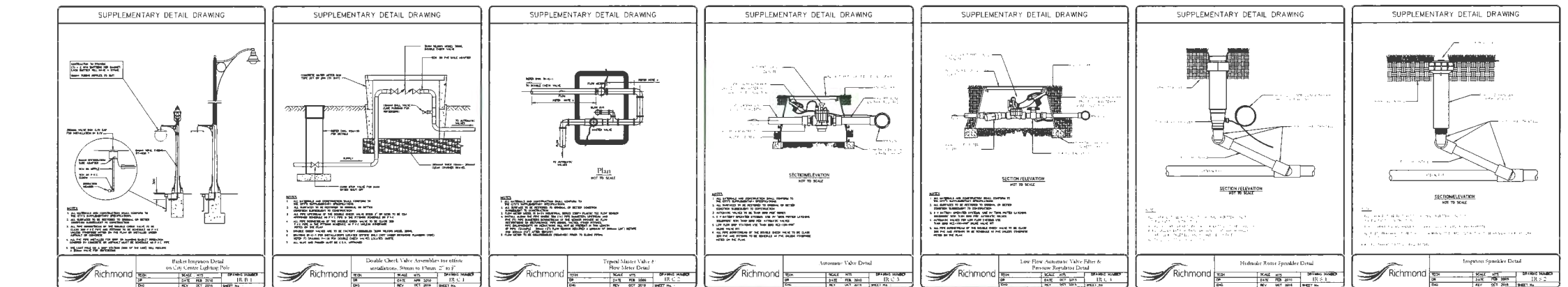
Ld+7  
L1.1  
METAL BIKE RACK MOUNTING ON SLAB  
SCALE: 1"=1'-0"



Ld+8  
L1.1  
MP LIGHTS  
SCALE: NTS

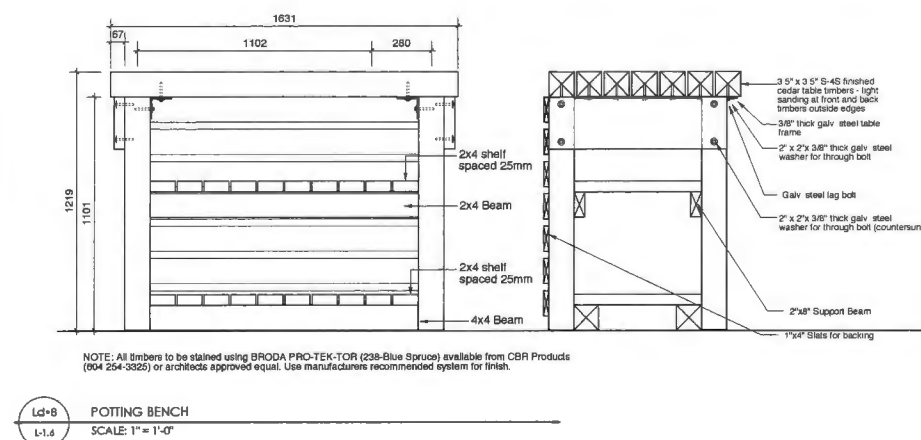
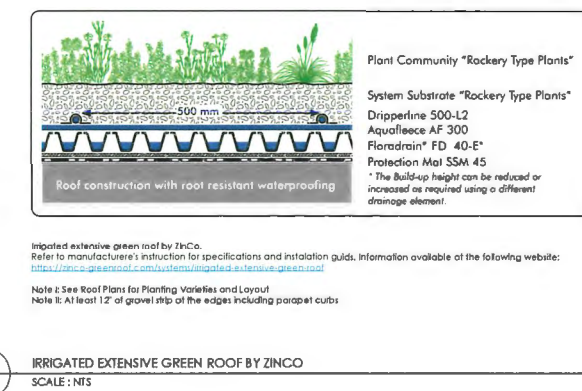
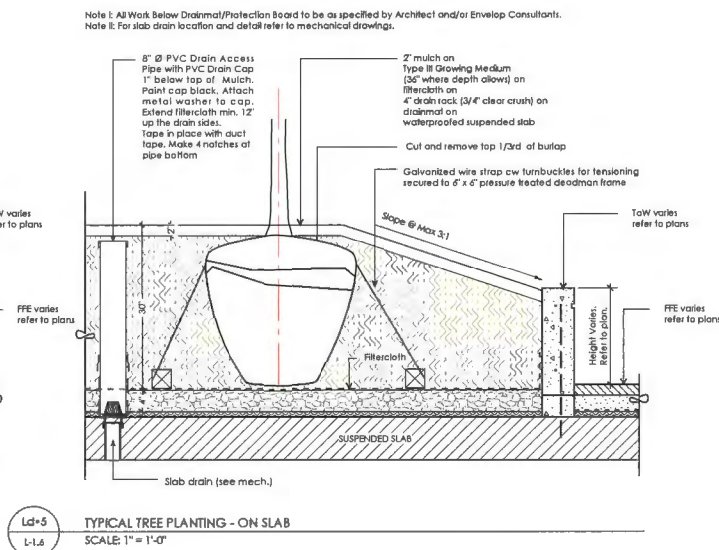
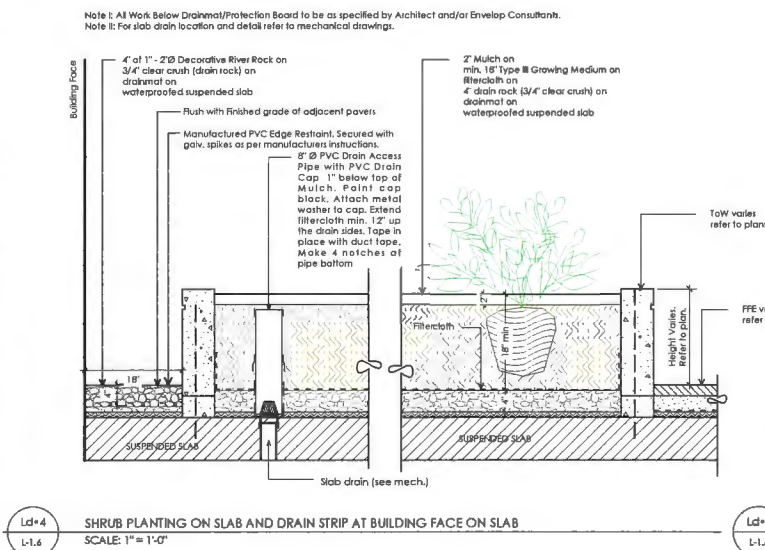
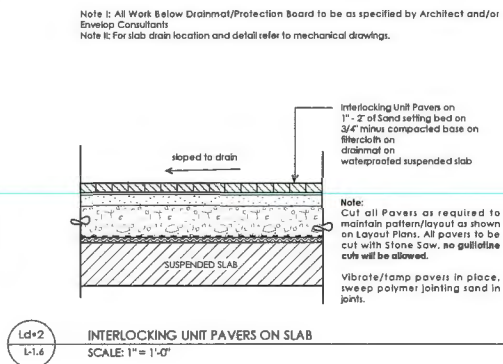


Ld+9  
L1.1  
PLAZA GROUND LIGHTING  
SCALE: NTS



Ld+10  
L1.1  
CITY OF RICHMOND TYPICAL IRRIGATION DETAILS  
SCALE: NTS

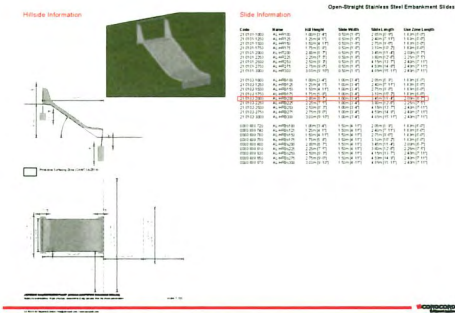








Double tower with Turbo Challenge (NR02012) Provided by KOMPAN/ Rectec  
Refer to manufacturer's instruction for specifications and installation guide. Information available at the following website:  
<https://www.kompan.us/play/organic-robinia/traditional-play-sand-and-water-play/double-tower-with-turbo-challenge-2>



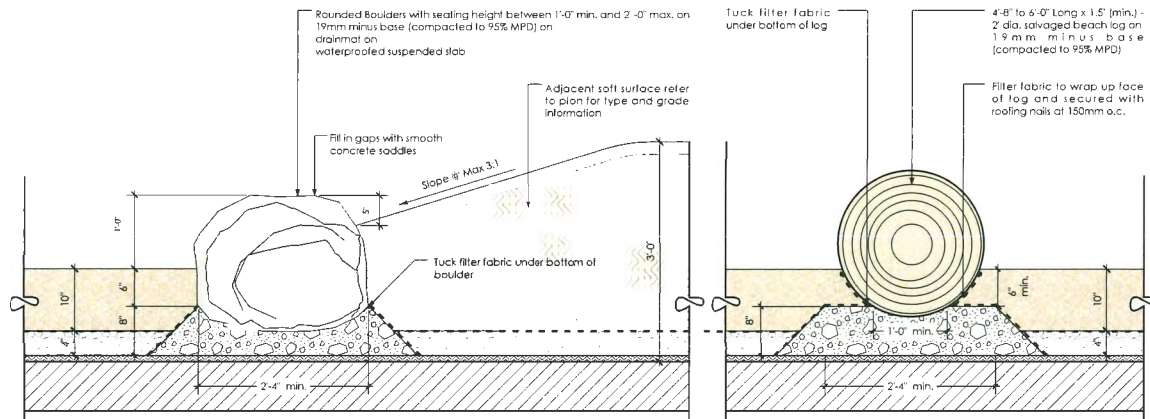
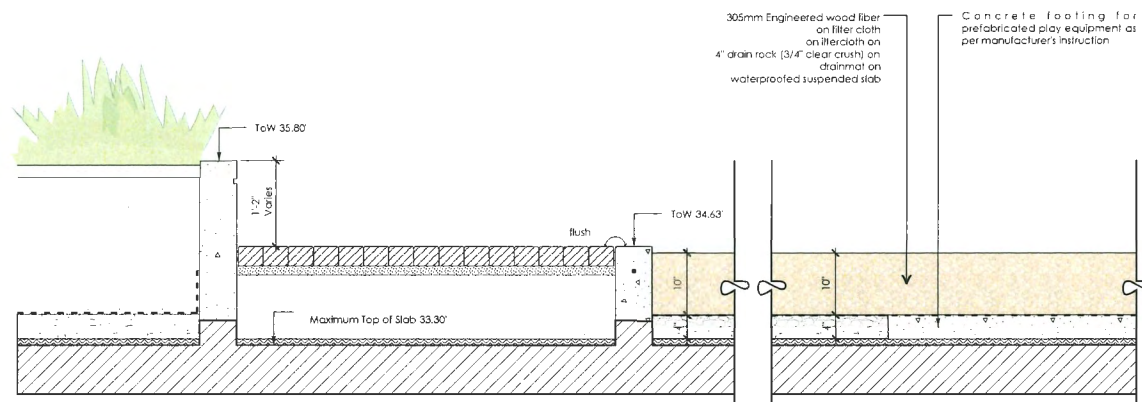
Embankment slide provided by Rectec  
Slide Code: 21 0102-1000 Name: AL-HR8 100  
Refer to manufacturer's instruction for specifications and installation guide.

Ld•1  
L-1.6

PREFABRICATED PLAY EQUIPMENT BY KOMPAN/ RECTEC  
SCALE: NTS

Ld•2  
L-1.6

EMBANKMENT SLIDE PROVIDED BY RECTEC  
SCALE: NTS



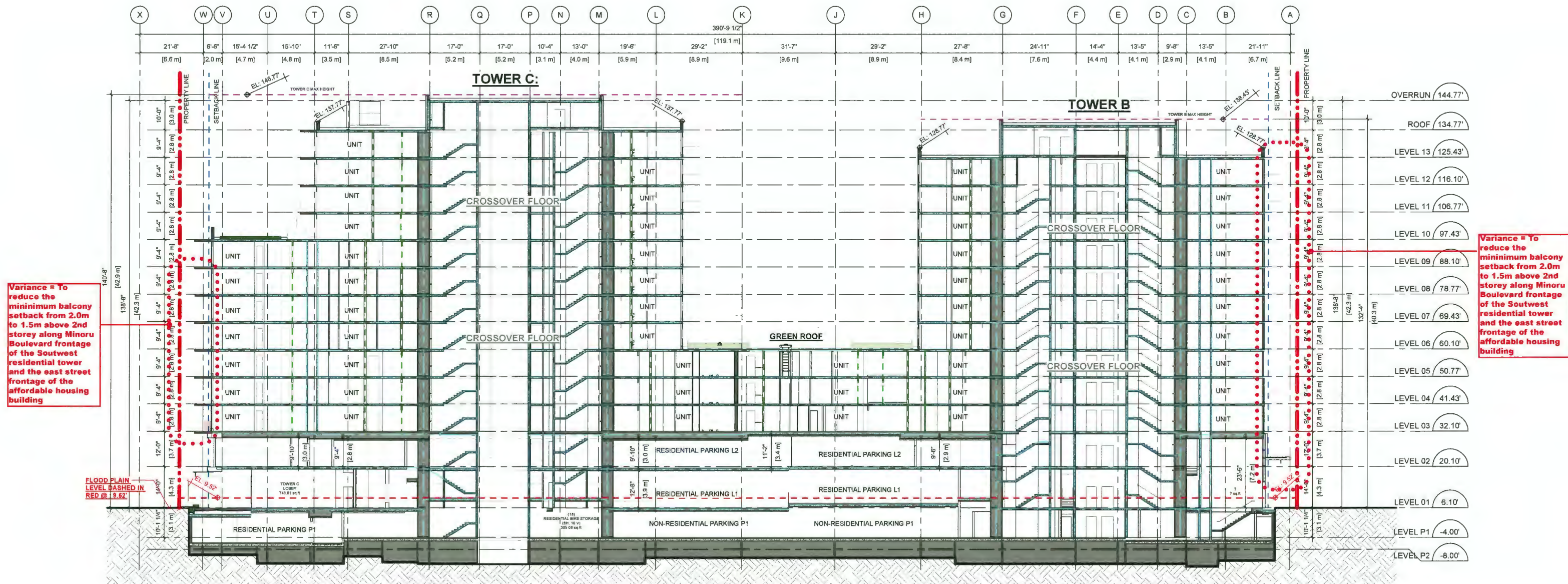
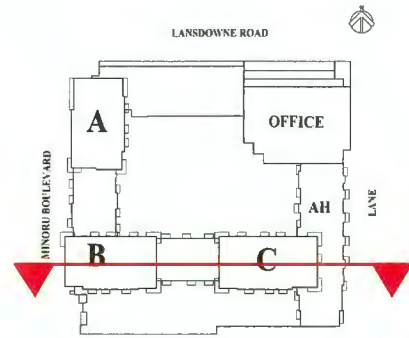
NOTE I: No cracked or broken edges shall be exposed above finish grade.  
NOTE II: Final placement to be reviewed and approved by Landscape Architect  
NOTE III: Ensure stability of all boulders  
NOTE IV: Where boulders abut a concrete seatwall or concrete curb, boulders to be integrally cast into concrete

NOTE I: All logs to be installed with sealing surface level end-to-end.  
NOTE II: All logs to be free from warps, checks and cracks.

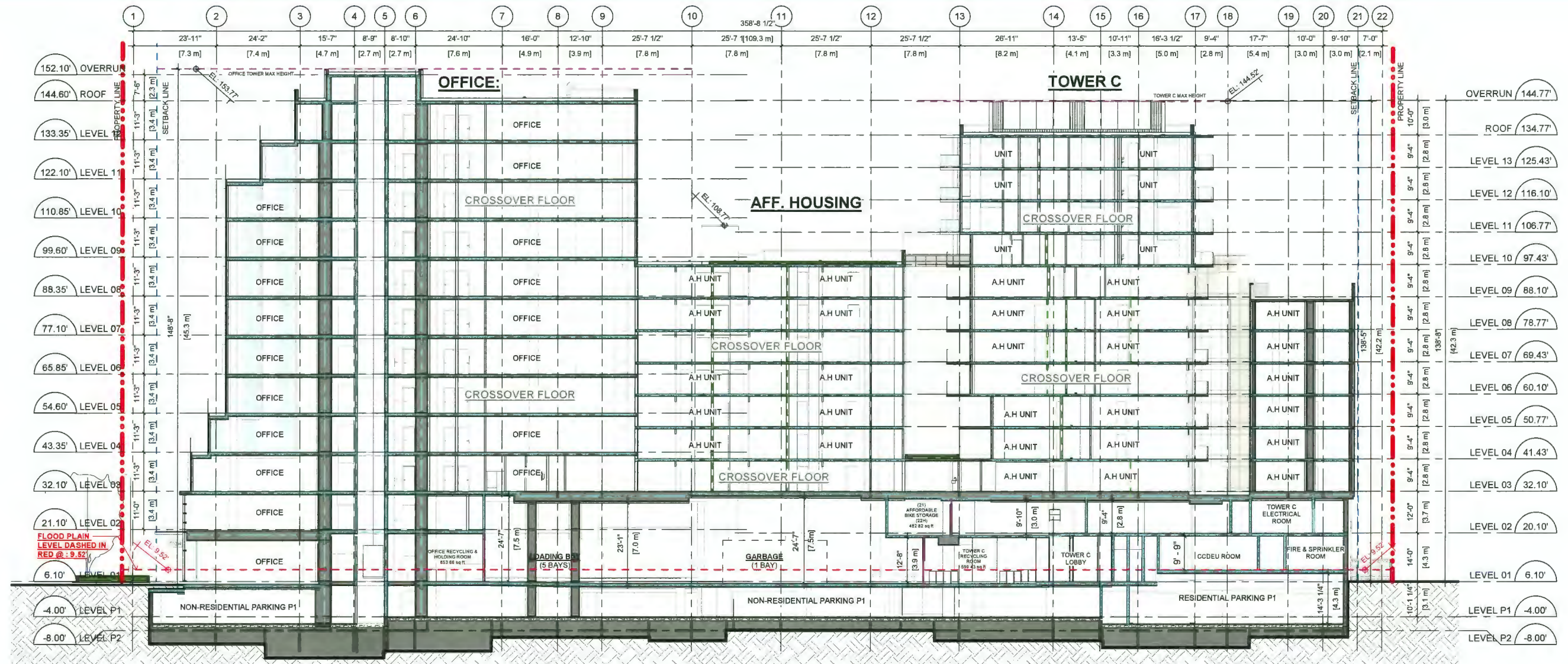
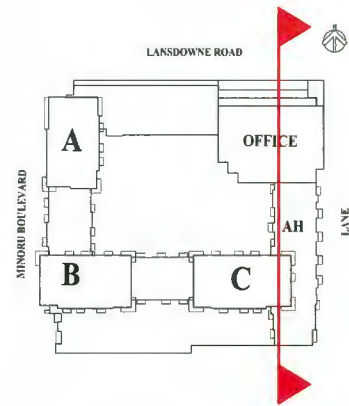
Ld•4  
L-1.6

CENTRAL KIDS PLAY AREA EDGE CONDITIONS  
SCALE: 1" = 1'-0"

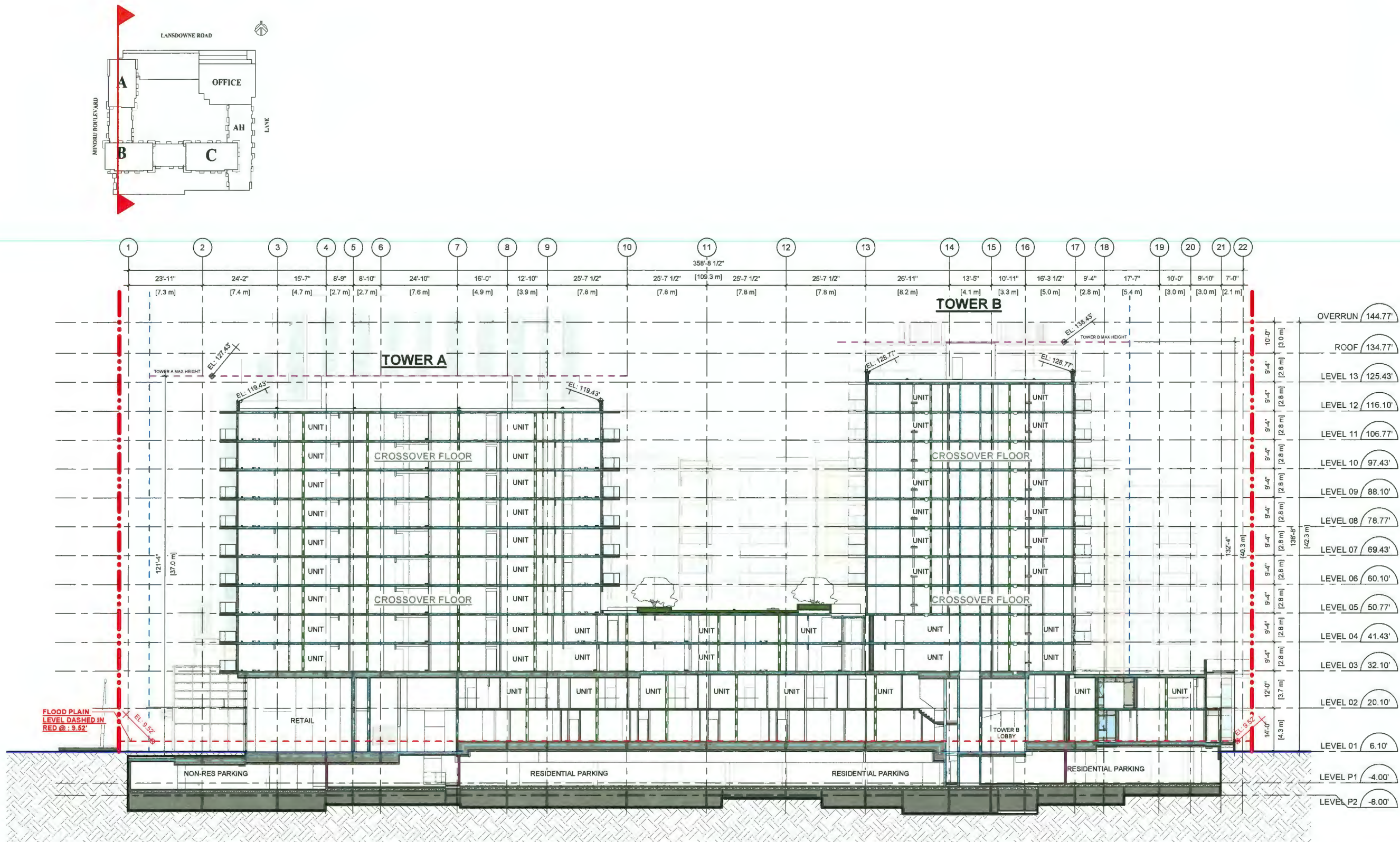




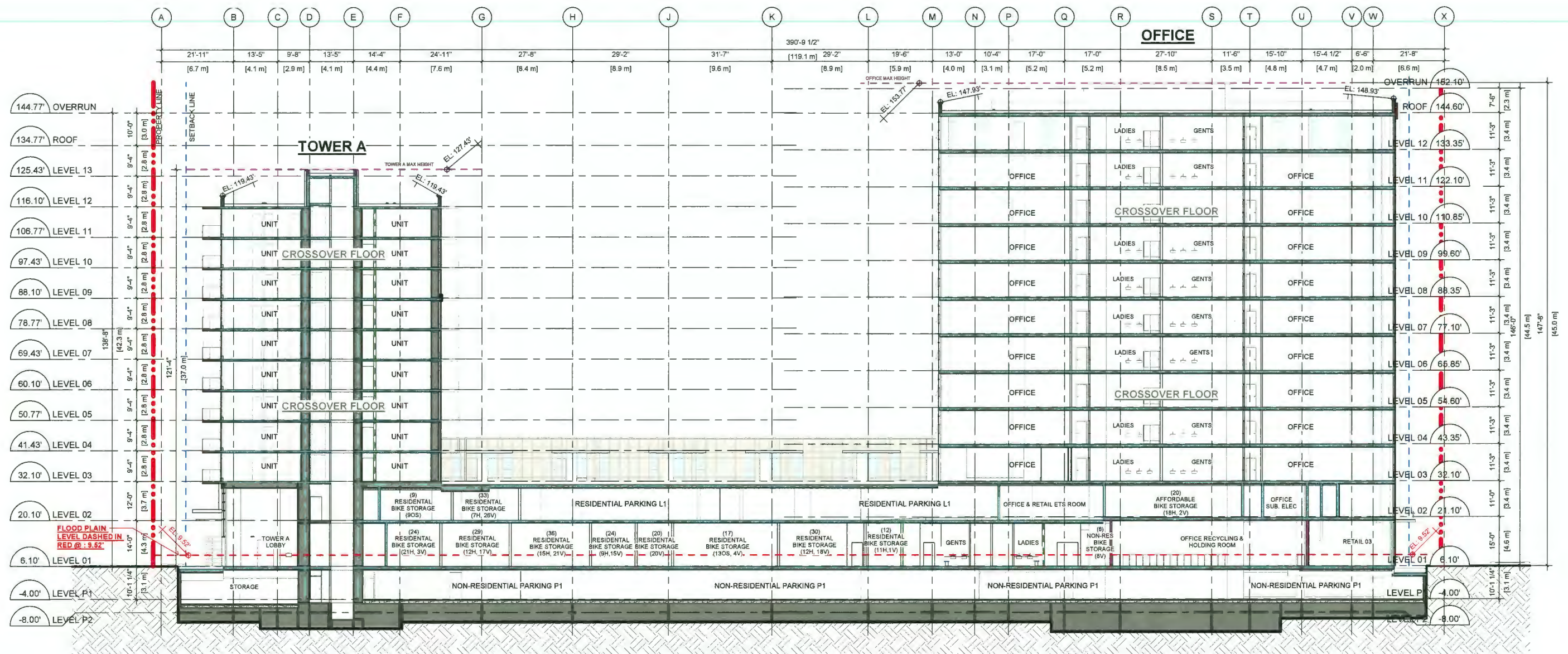
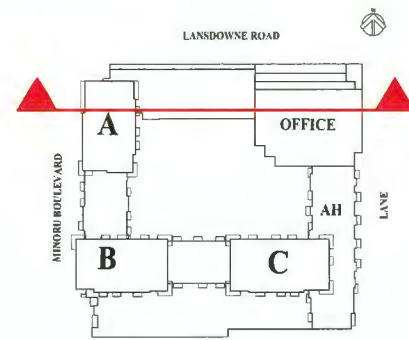










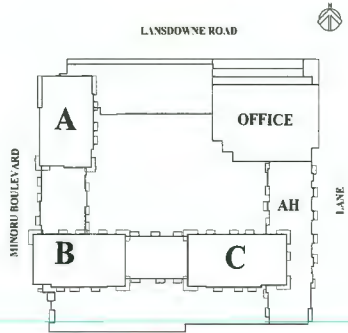




PAINTED DECORATIVE WALL ALONG SOUTH PROPERTY LINE



NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS



TOWER B -12 STOREYS

TOWER C -13 STOREYS

AFFORDABLE HOUSING - 9 STOREYS

OVERRUN	144.77'
ROOF	134.77'
LEVEL 13	125.43'
LEVEL 12	116.10'
LEVEL 11	106.77'
LEVEL 10	97.43'
LEVEL 09	88.10'
LEVEL 08	78.77'
LEVEL 07	69.43'
LEVEL 06	60.10'
LEVEL 05	50.77'
LEVEL 04	41.43'
LEVEL 03	32.10'
LEVEL 02	20.10'
LEVEL 01	6.10'
LEVEL P1	-4.00'
LEVEL P2	-8.00'

2 OVERALL SOUTH ELEVATION - BP  
A2.01 SCALE: 1/16" = 1'-0"



**Thind**  
PROPERTIES



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

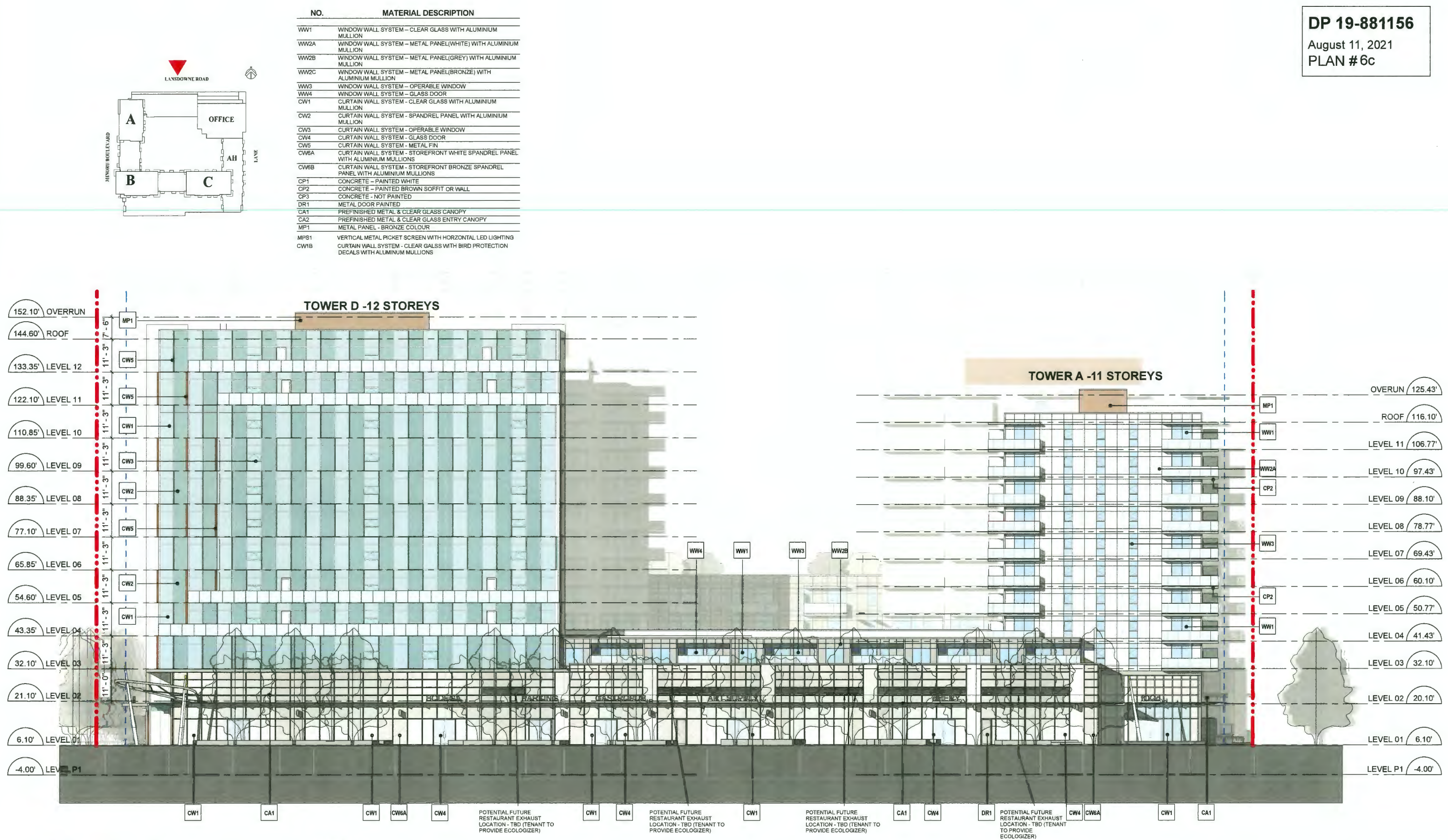
5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

PLAN #6a - SOUTH ELEVATION

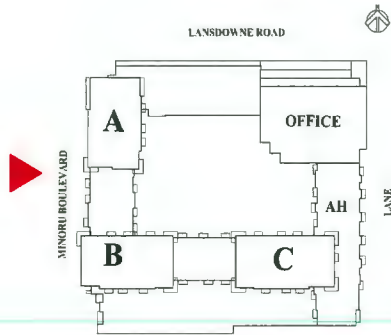




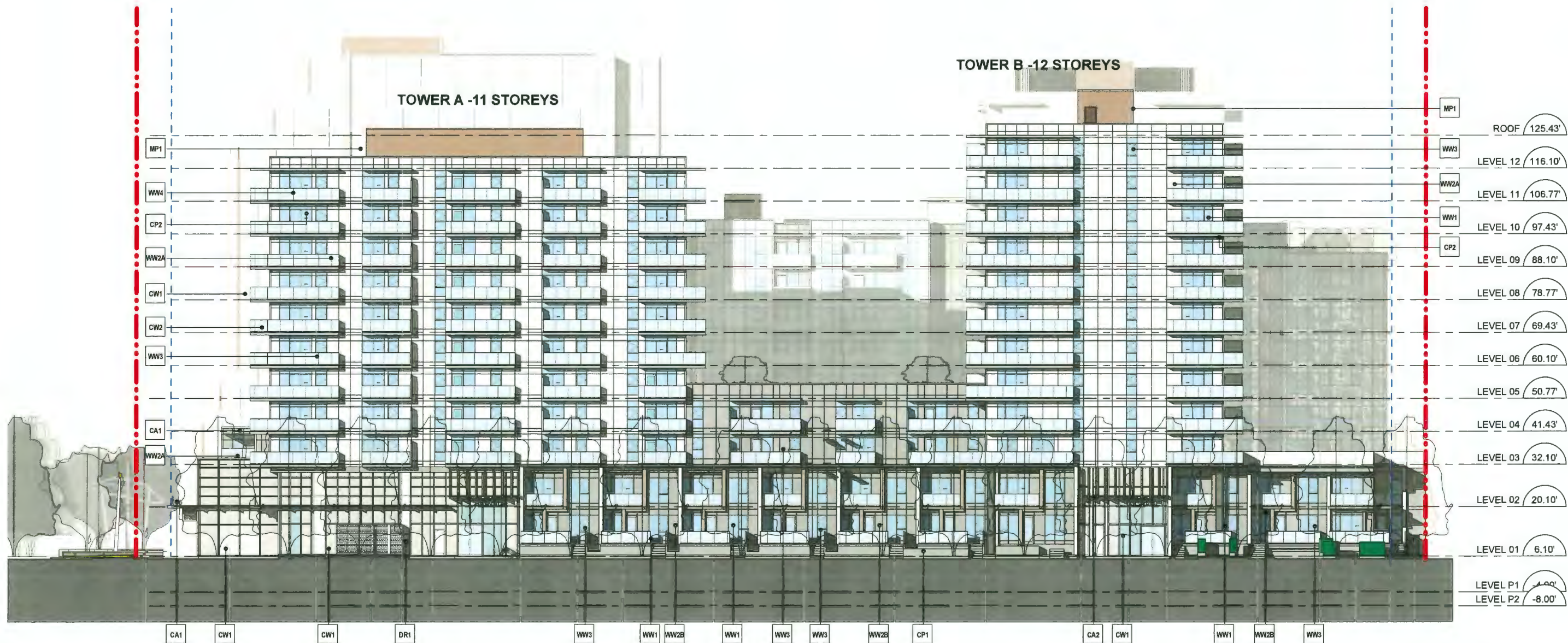








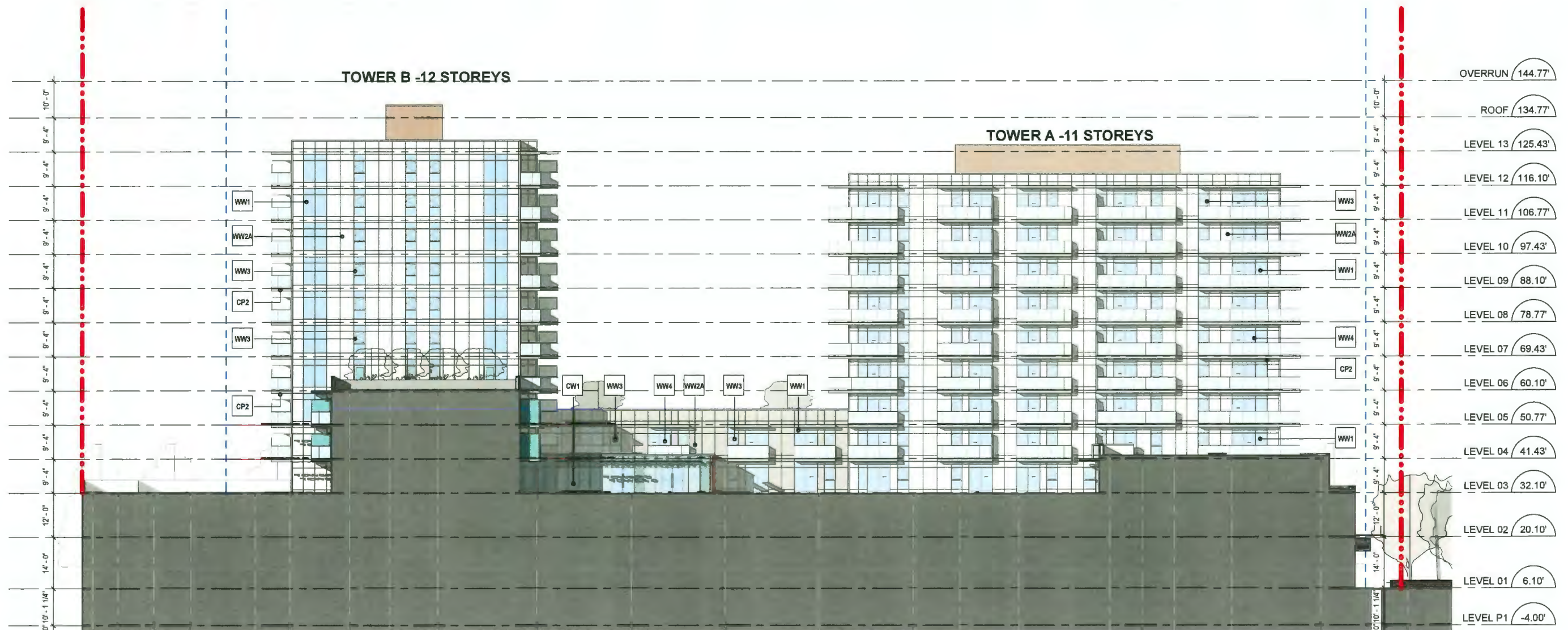
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS







NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS



**Thind**  
PROPERTIES

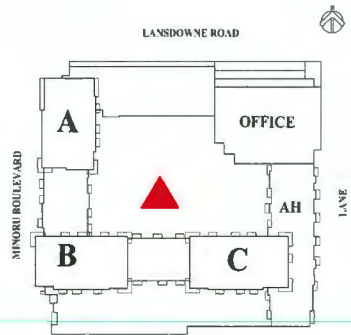


IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

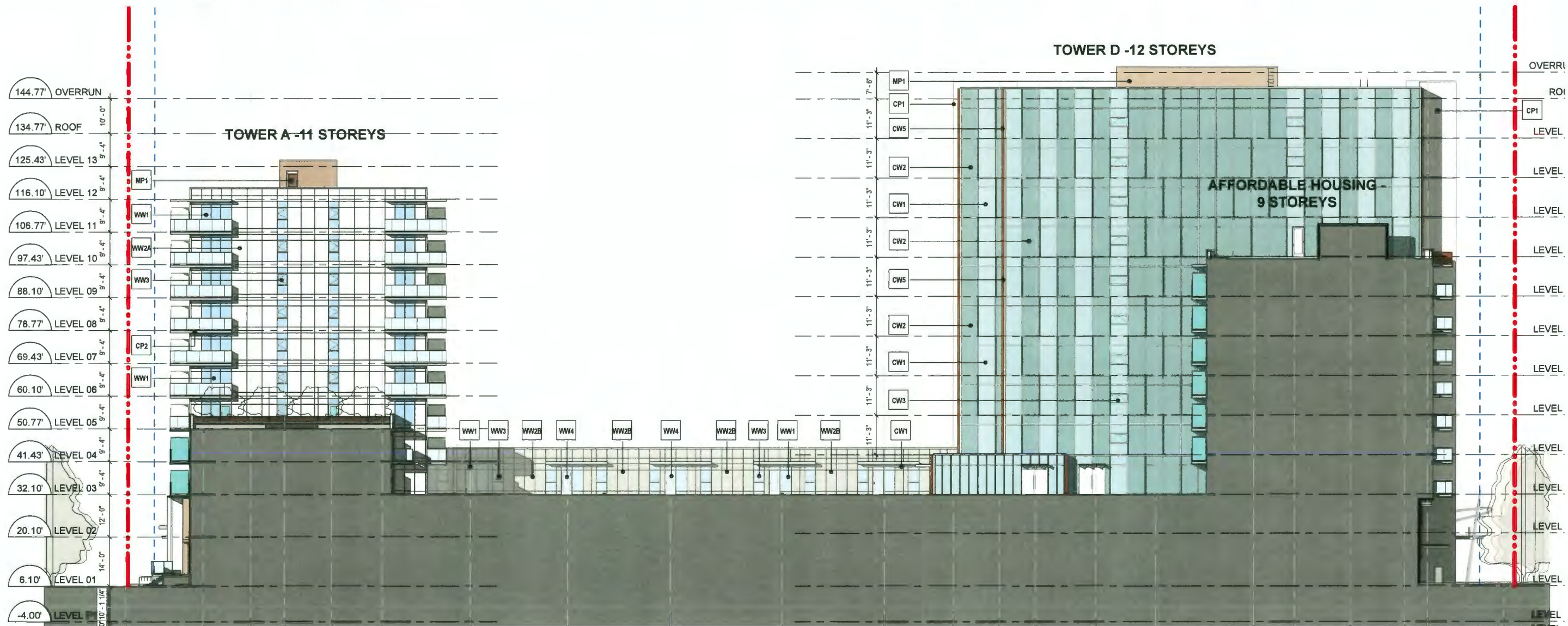
5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

PLAN #6e - EAST ELEVATION  
TOWER A & B

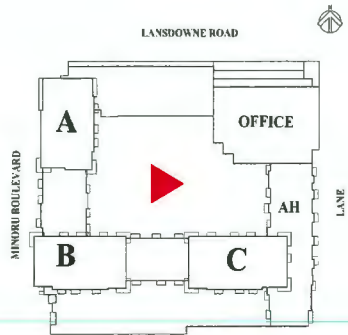




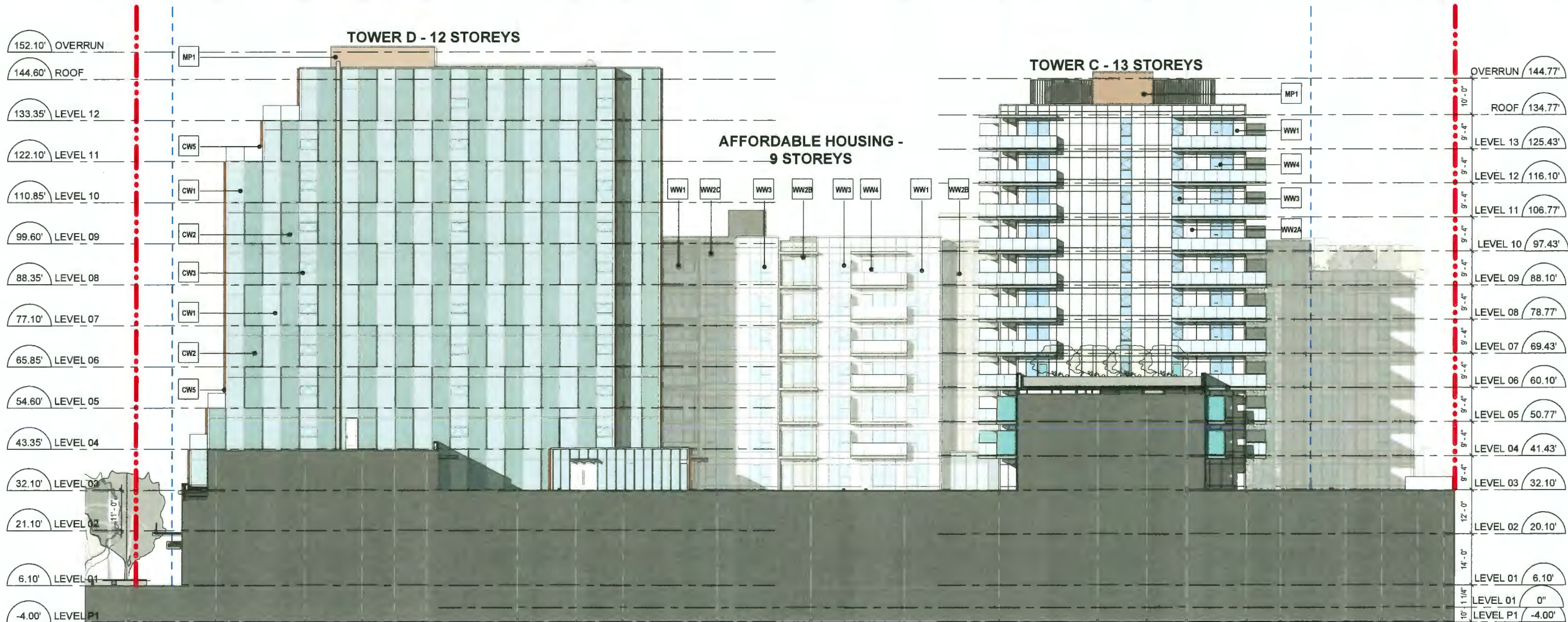
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS



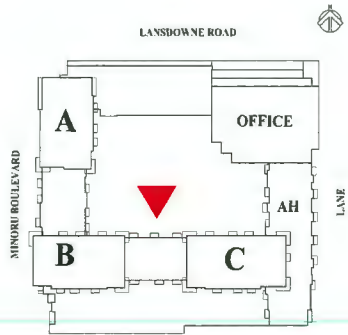




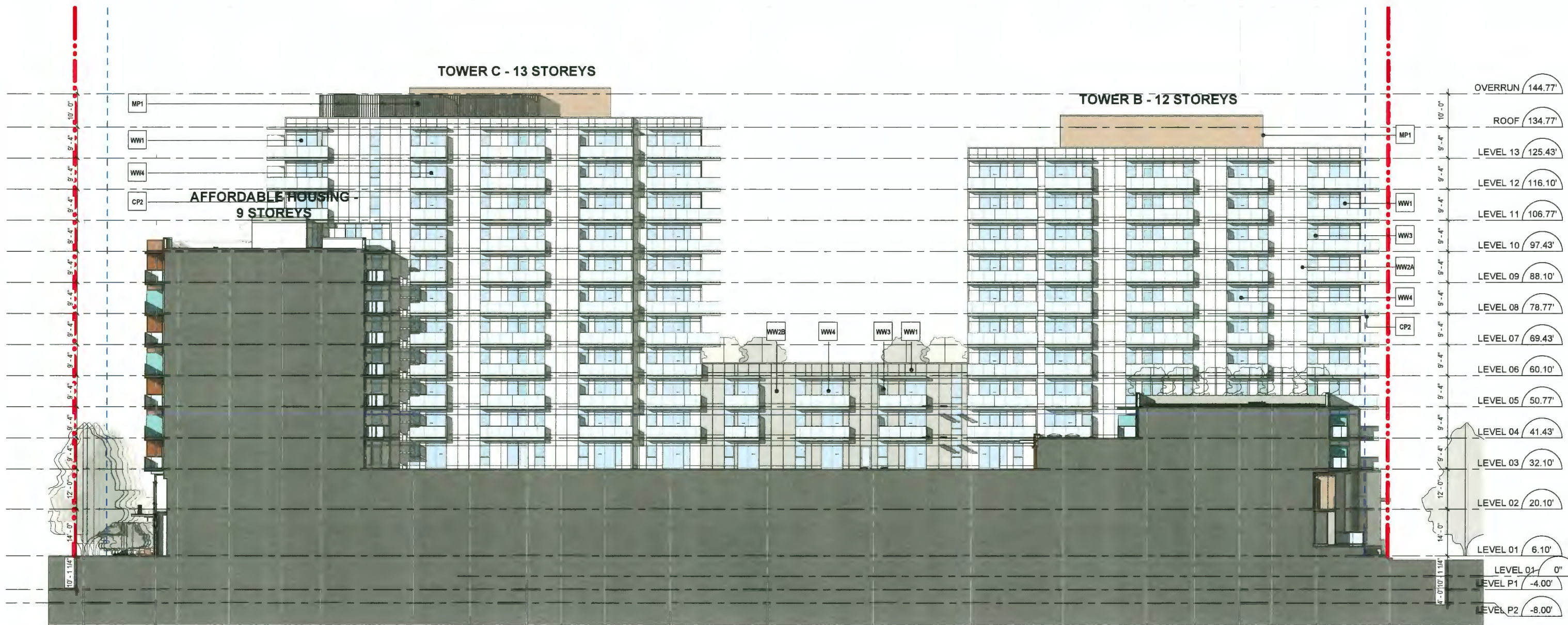
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS







NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS





BUILDING FROM NORTHWEST CORNER OF SITE



BUILDING FROM SOUTHEAST CORNER OF SITE



MPS1 CP3 WW2B CW6A CW6A WW2A CW5

**DP 19-881156**  
 August 11, 2021  
**PLAN #7a**

ELEVATION MATERIAL	
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	WINDOW WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS

PAINTED DECORATIVE WALL ALONG SOUTH PROPERTY LINE



TYPICAL TOWER ROOF TOP WITH ELEVATOR OVERRUN



CANOPY TYPES



**Thind**  
PROPERTIES



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

**PLAN #7a - EXTERIOR CONSTRUCTION  
MATERIALS & COLOUR SAMPLES**

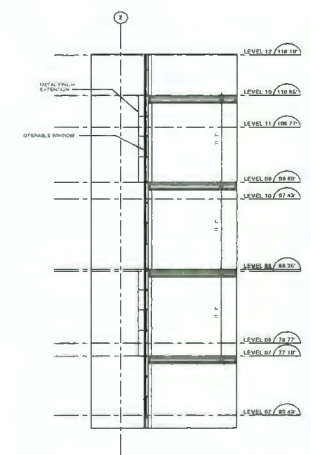
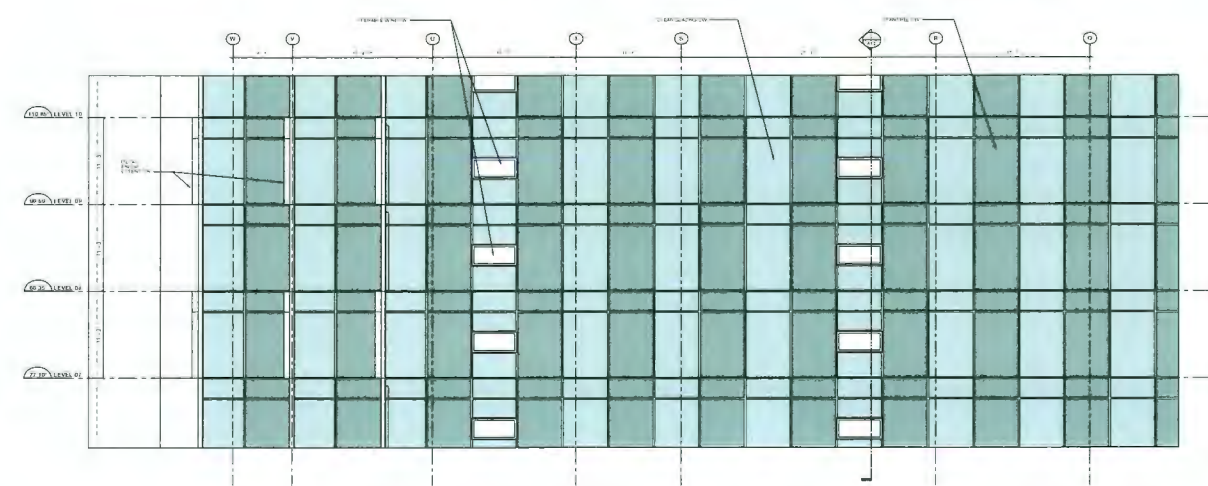




BELOW THE FOURTH STOREY - WE WILL INCREASE THE VISIBILITY OF THE GLASS TO PROVIDE A BIRD FRIENDLY DESIGN BY,APPLYING VISULAR MARKERS TO EXTERIOR OF GLASS SURFACES (NO GREATER THAN 5 CM VERTICALLY OR 10 CM HORIZONTALLY

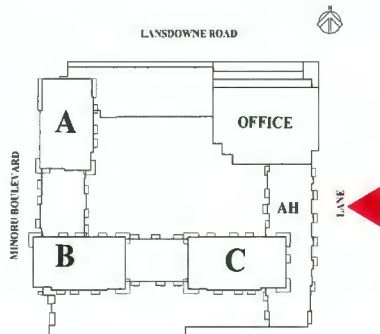
ENTIRE OFFICE GLASS FACADE TO BE BIRD FRIENDLY BY INCORPORATING THE FOLLOWING:

1. ALTERNATING SPANDREL AND CLEAR GLAZING TO INTERRUPT RELECTIVITY OF THE GLASS AND REDUCE ANY "CLEAR" PATH TO SKY OR VEGETATION
2. BROWN MULLION CAP EXTENSIONS USED TO DAMPEN RELECTIONS
3. NO OPEN VENTS WHERE A BIRDS MAY BECOME ENTRAPPED WHEN INVESTIGATING POTENTIAL NESTING SITES.

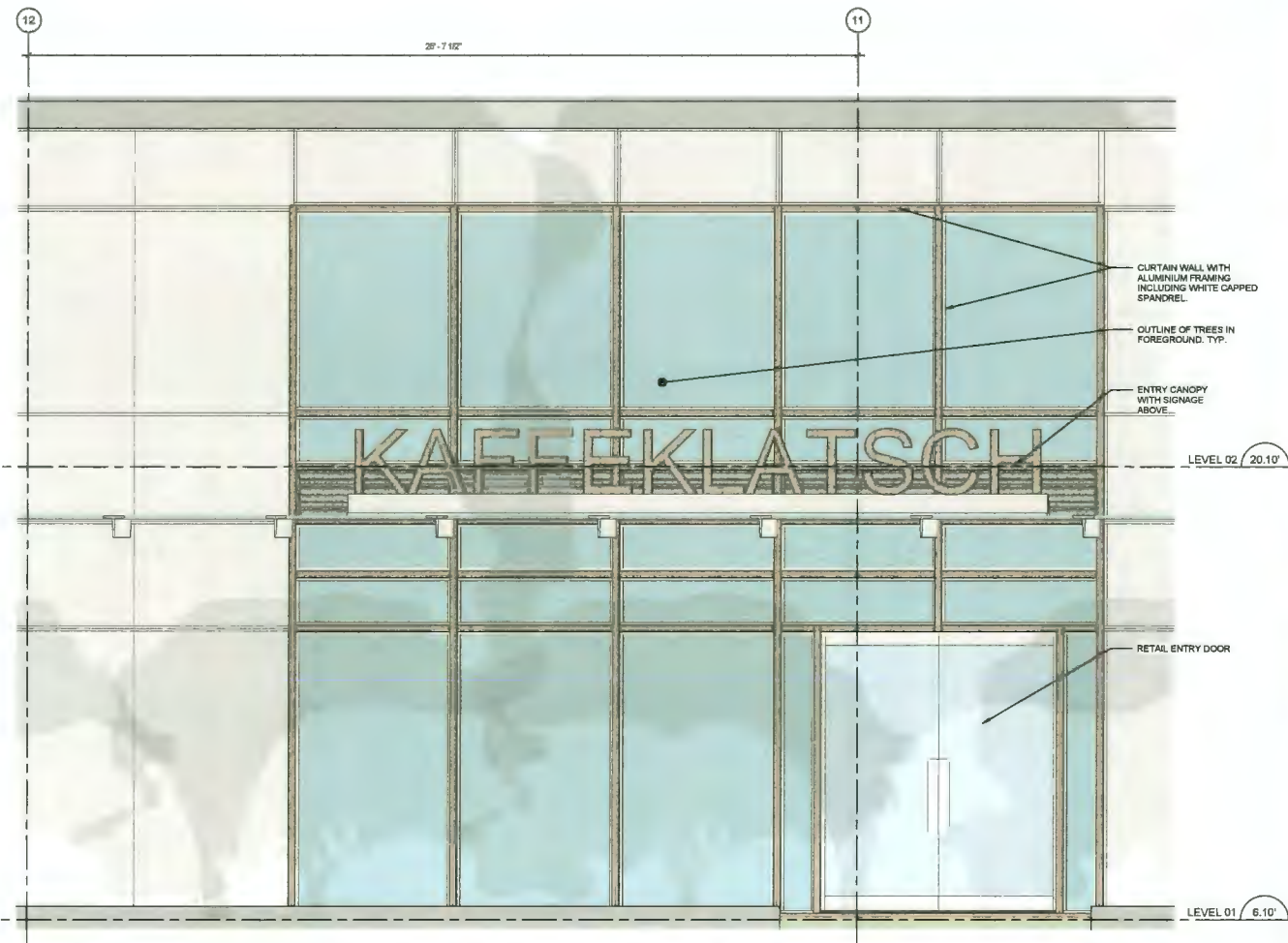


\* Above are sample images from precedent projects.





ELEVATION MATERIAL	
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS



2 ENLARGED PARTIAL EAST ELEVATION @ RETAIL UNIT  
SCALE 1/2" = 1'-0"



**Thind**  
PROPERTIES

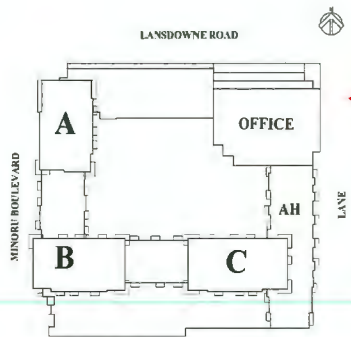


IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

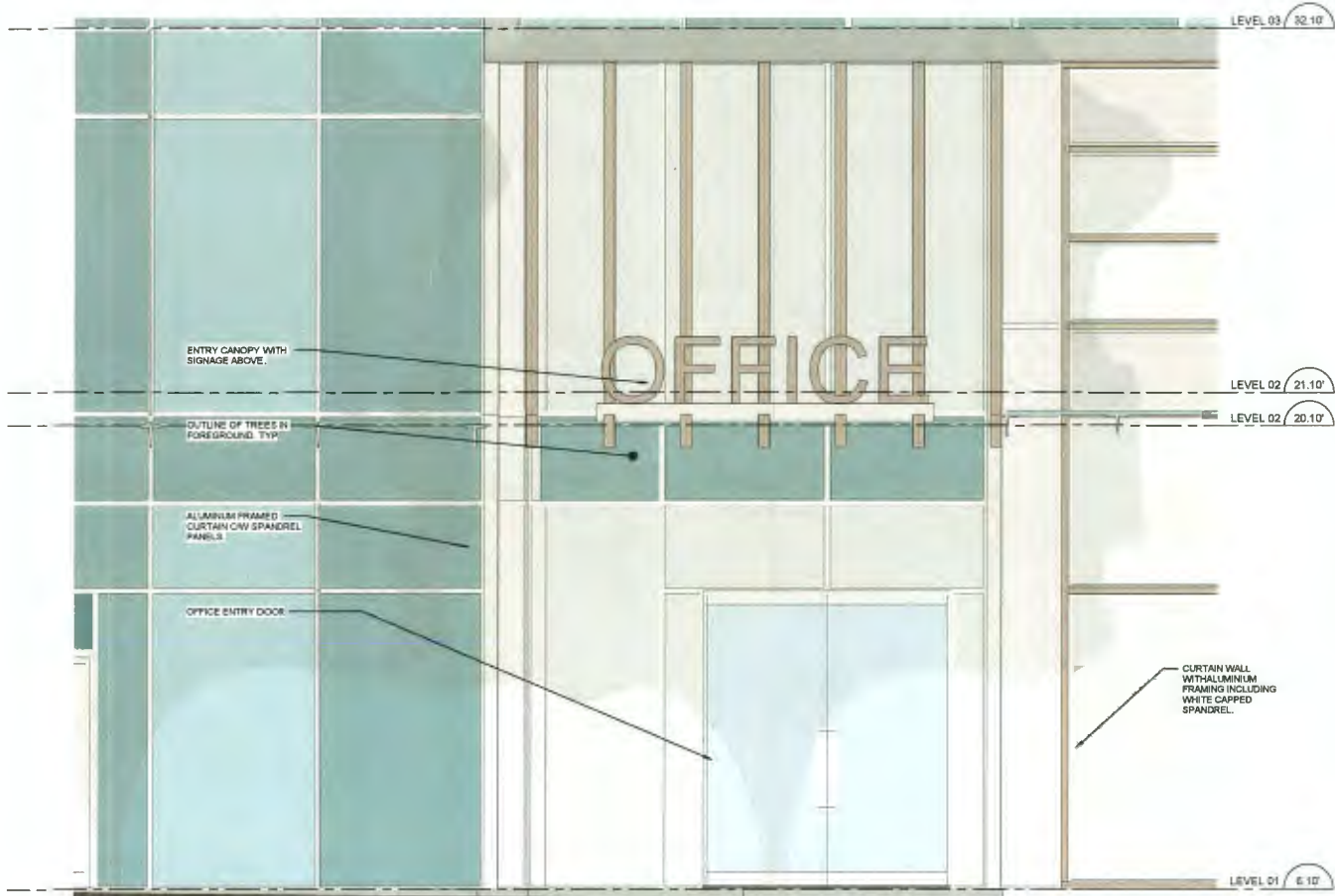
5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

PLAN #8a-2 - RETAIL STREETSCAPE  
ELEVATIONS





ELEVATION MATERIAL	
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS



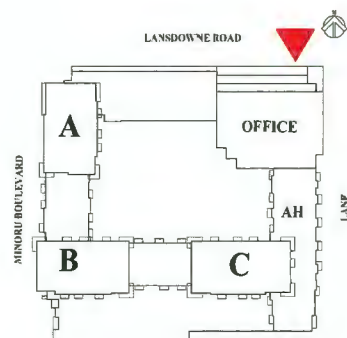
CW4

DR1

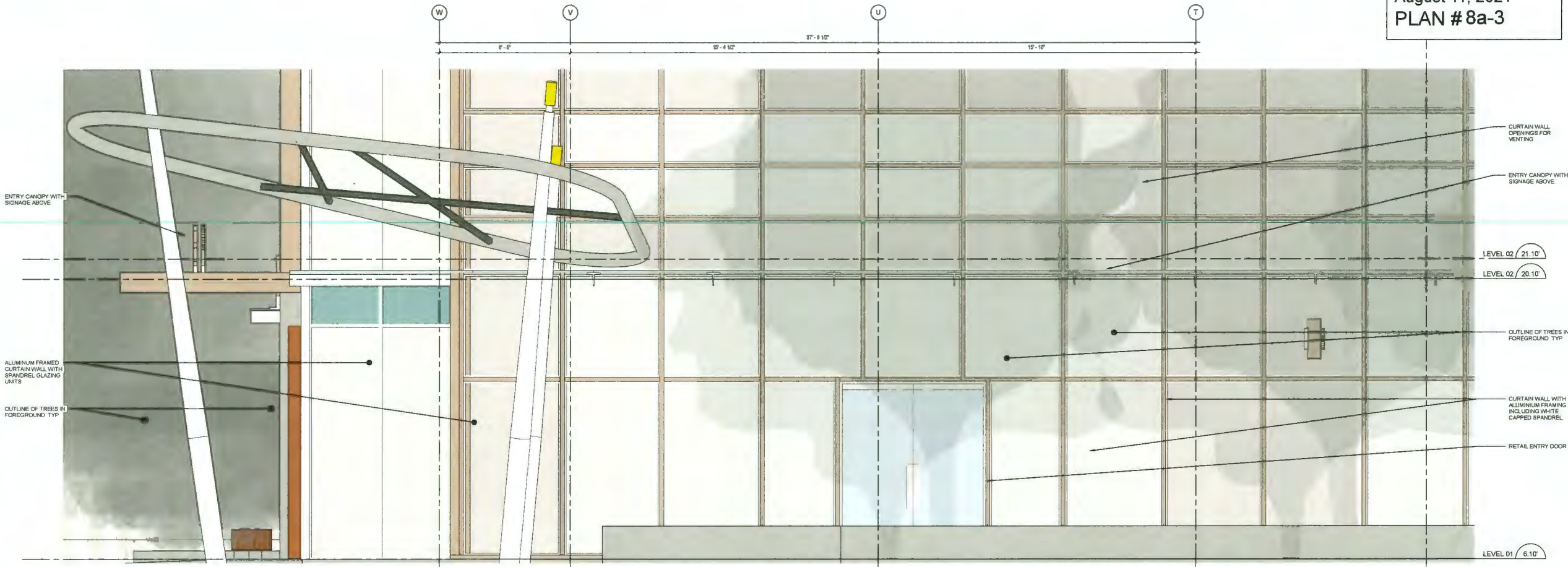


1 ENLARGED PARTIAL EAST ELEVATION @ OFFICE TOWER LOBBY ENTRY  
A2.05 SCALE 1/2" = 1'-0"





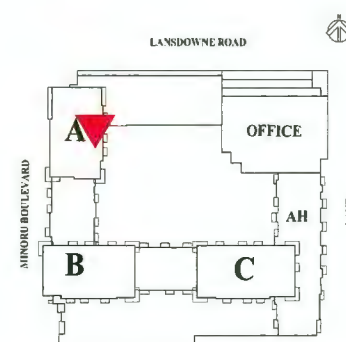
ELEVATION MATERIAL	
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS



4 ENLARGED PARTIAL NORTH ELEVATION @ CORNER RETAIL UNIT  
SCALE: 1/2" = 1'-0"







POTENTIAL RESTAURANT EXHAUST

ENTRY CANOPY WITH SIGNAGE ABOVE

CURTAIN WALL WITH ALUMINIUM FRAMING INCLUDING WHITE CAPPED SPANDREL



### ELEVATION MATERIAL

NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS

2 ENLARGED PARTIAL NORTH ELEVATION @ TYPICAL RETAIL UNIT  
A2.06 SCALE: 1/2" = 1'-0"

CW5  
CW2  
CW1B

WW2B



WW2A

CW6A

CA1

CW2

CW1



**Thind**  
PROPERTIES



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond

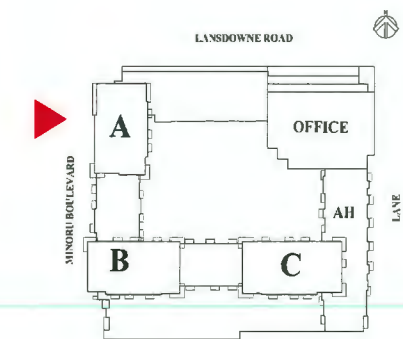
Richmond, B.C. Canada

DP 19-881156

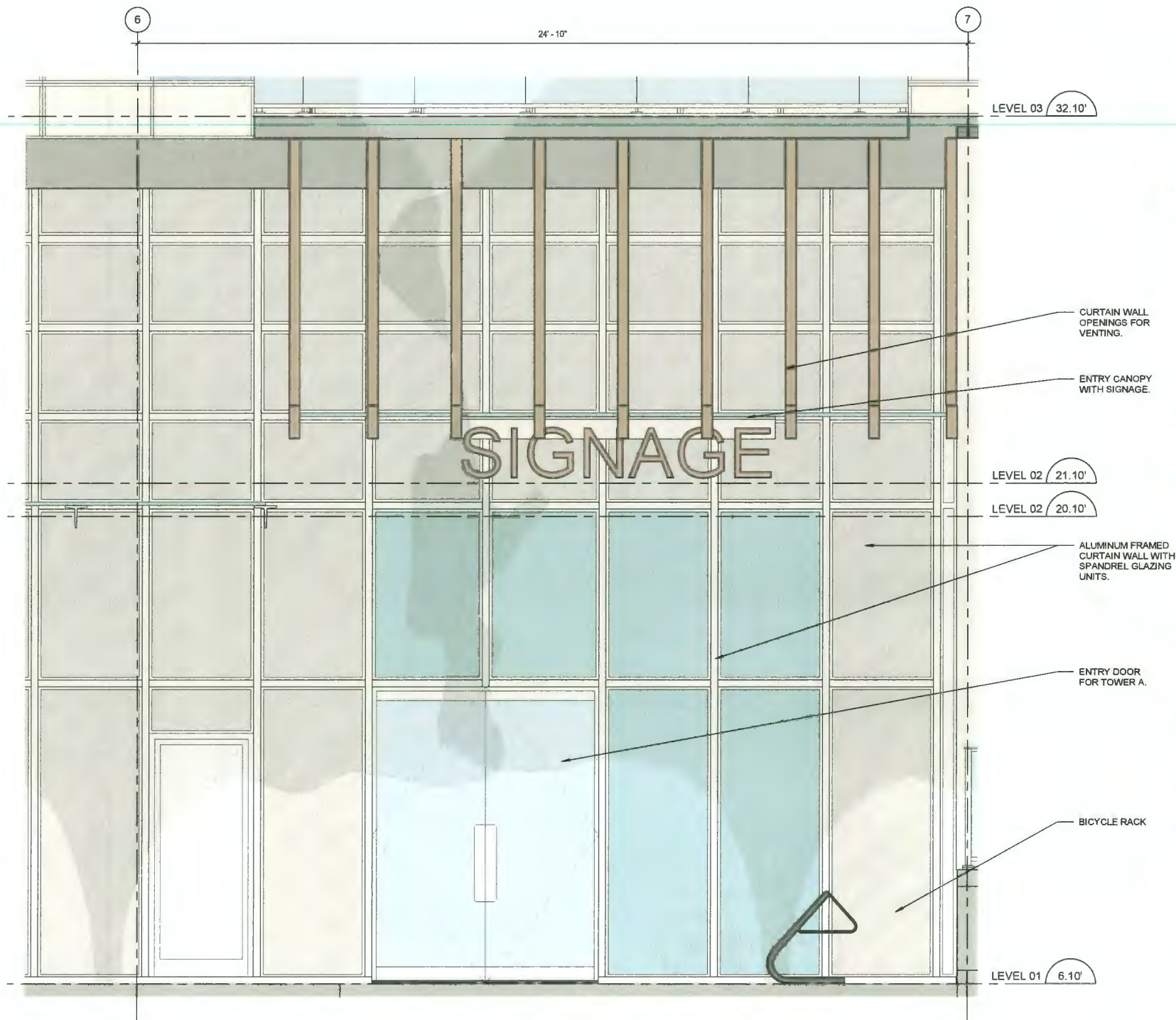
Date: August 11, 2021

PLAN #8a-4 - RETAIL STREETSCAPE  
ELEVATIONS





ELEVATION MATERIAL	
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS



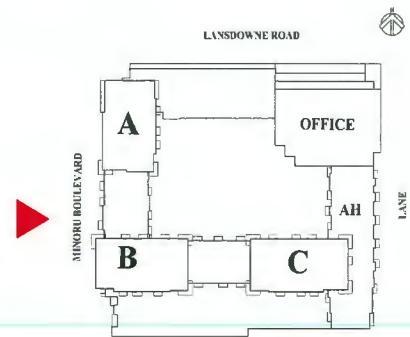
1

ENLARGED PARTIAL WEST ELEVATION @ TOWER A LOBBY ENTRY

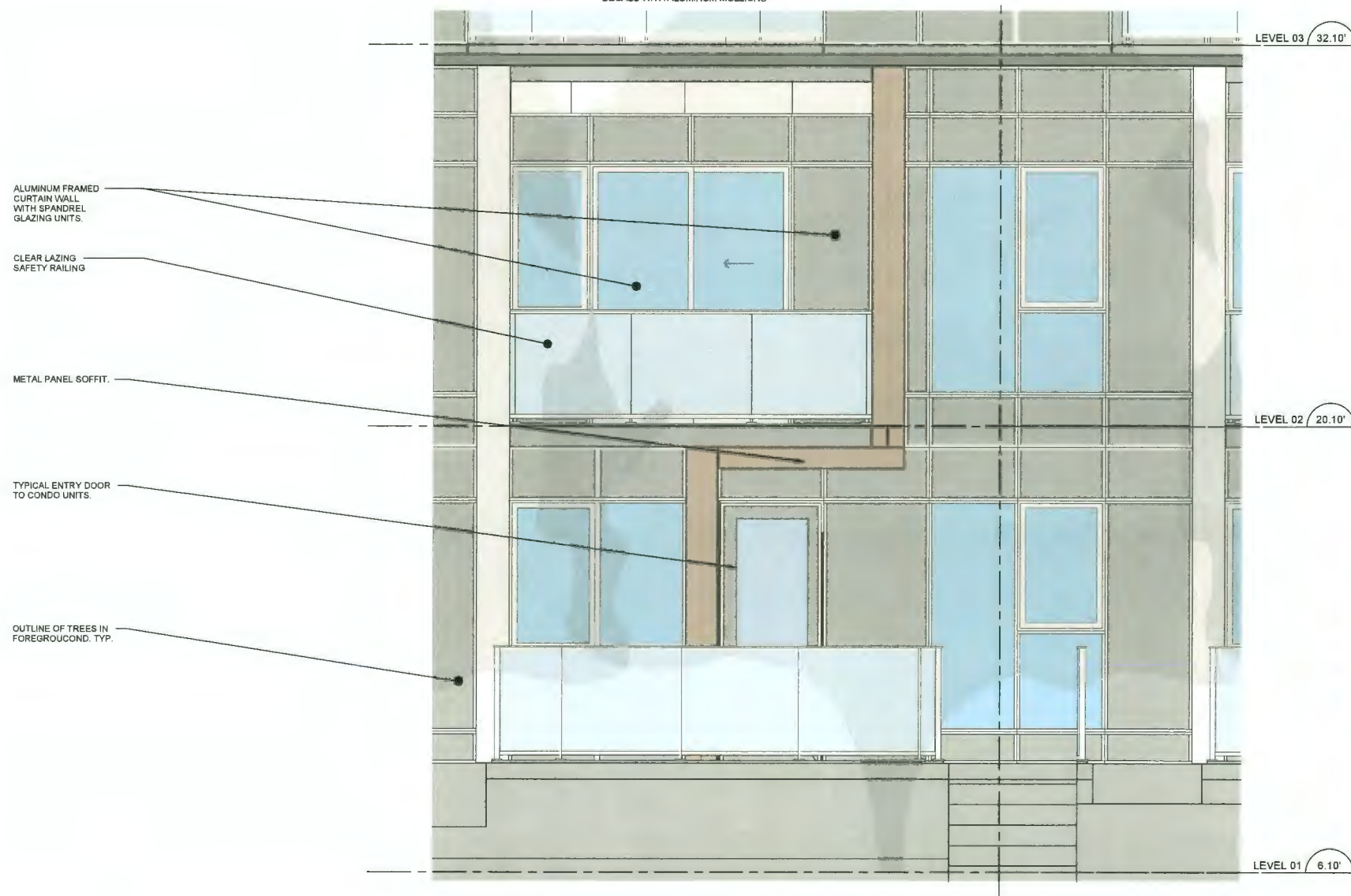
A2.06

SCALE: 1/2" = 1'-0"

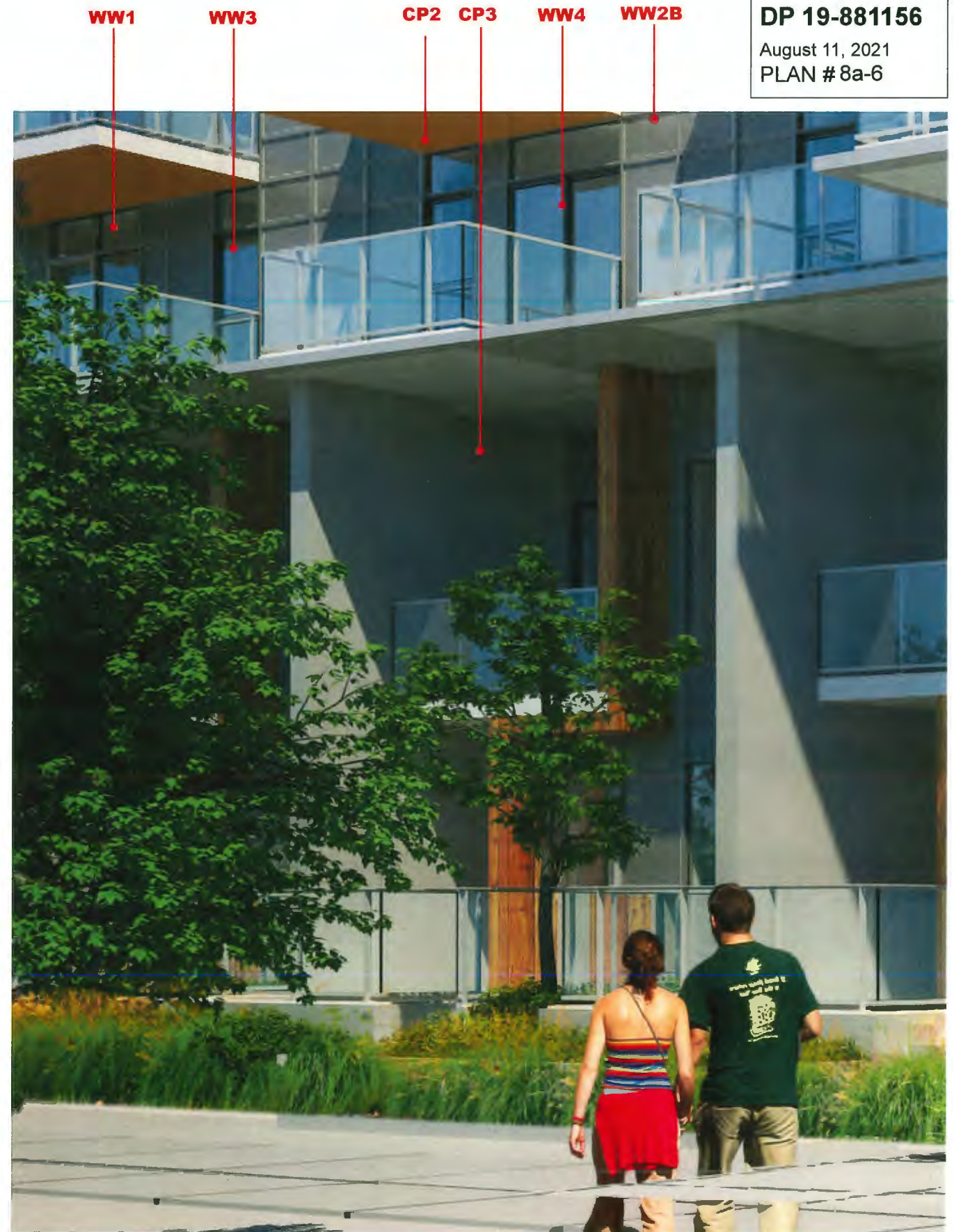




ELEVATION MATERIAL	
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS



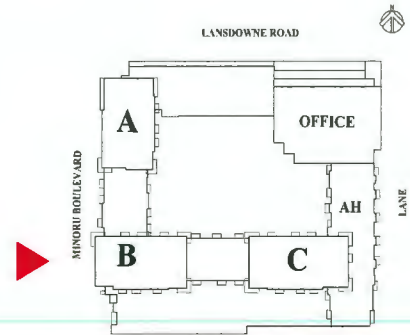
2 ENLARGED PARTIAL WEST ELEVATION FOR TYPICAL TOWNHOUSE UNITS  
A2.07 SCALE: 1/2" = 1'-0"



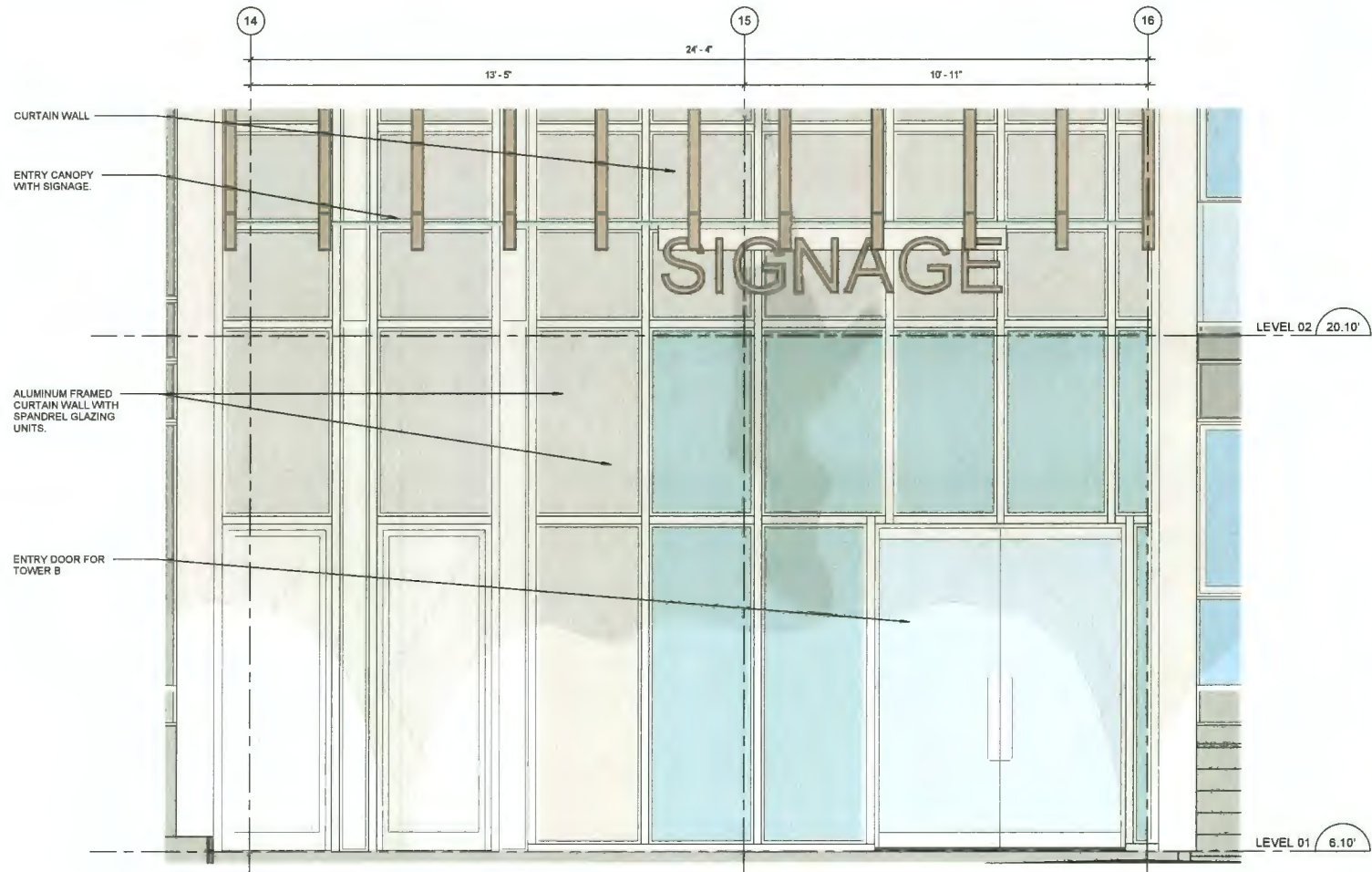
DP 19-881156

August 11, 2021  
PLAN # 8a-6

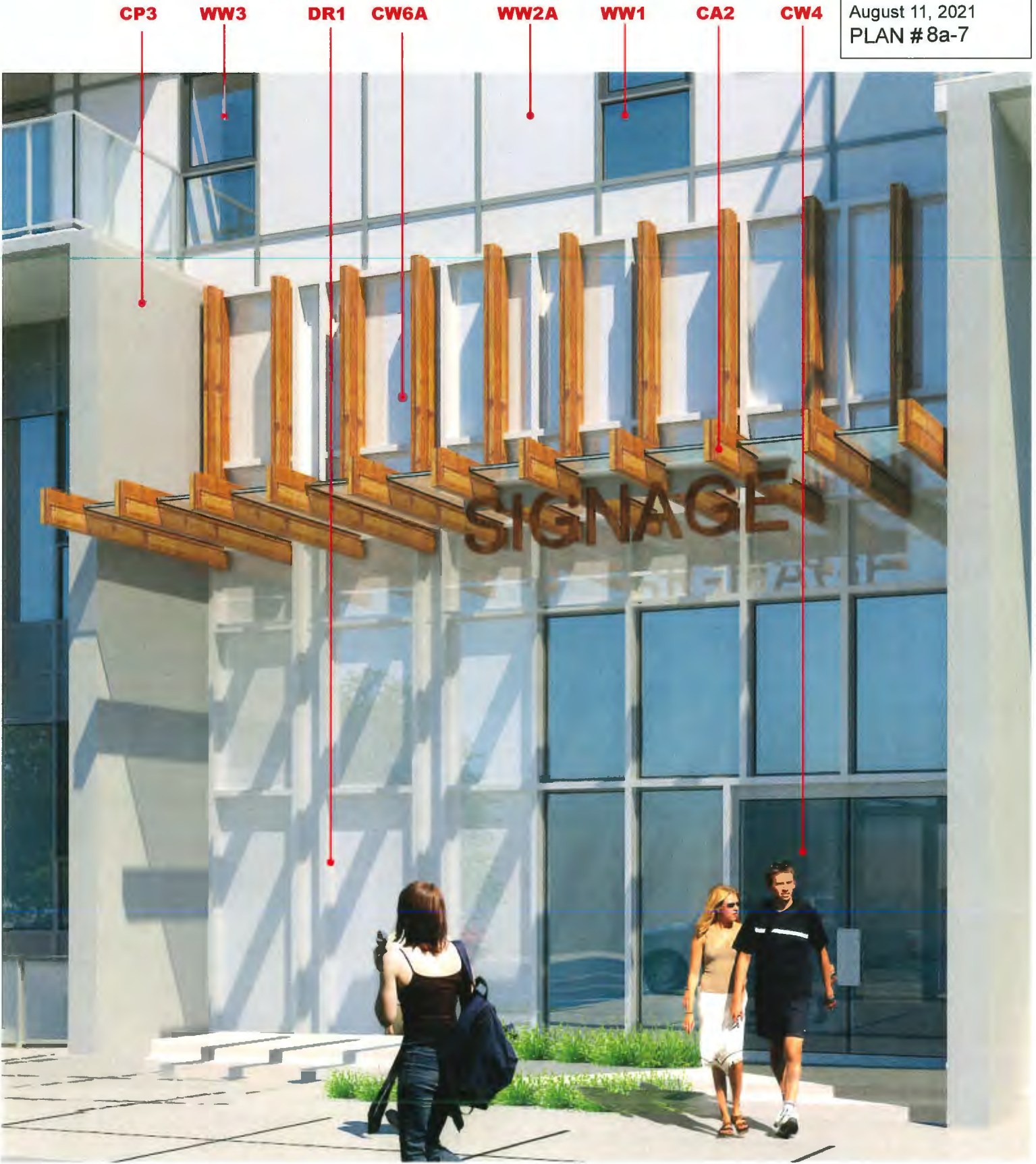




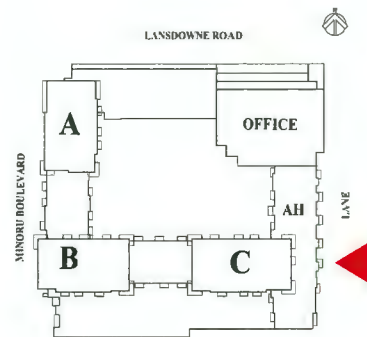
ELEVATION MATERIAL	
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS



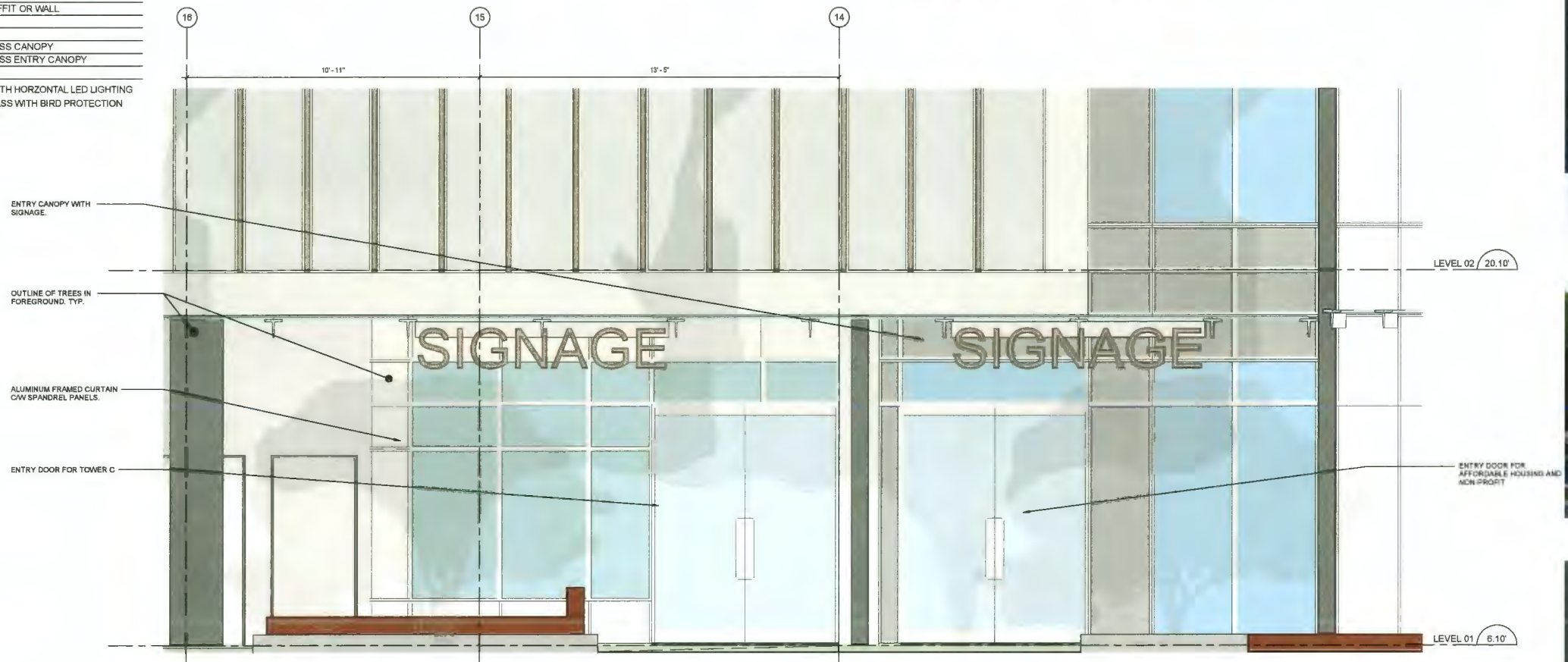
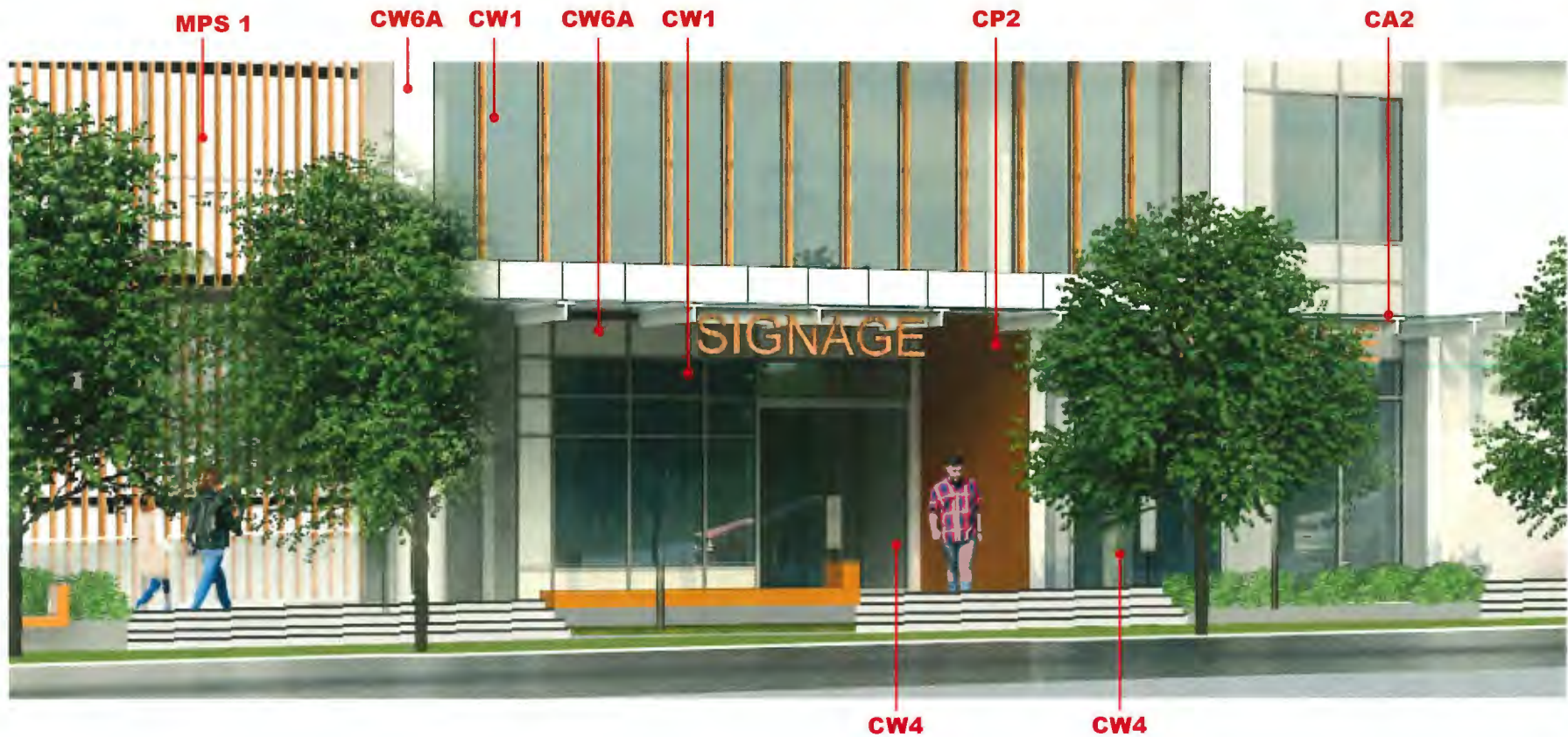
3 ENLARGED PARTIAL WEST ELEVATION @ TOWER B LOBBY ENTRY  
A2.07 SCALE: 1/2" = 1'-0"







ELEVATION MATERIAL	
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORIZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GLASS WITH BIRD PROTECTION DECALS WITH ALUMINIUM MULLIONS



4 ENLARGED PARTIAL EAST ELEVATION @ TOWER C AND AFFORDABLE HOUSING LOBBY  
ENTRY SCALE: 1/8" = 1'-0"



PRECEDENT IMAGE - VERTICAL METAL PICKET SCREEN FOR MPS1



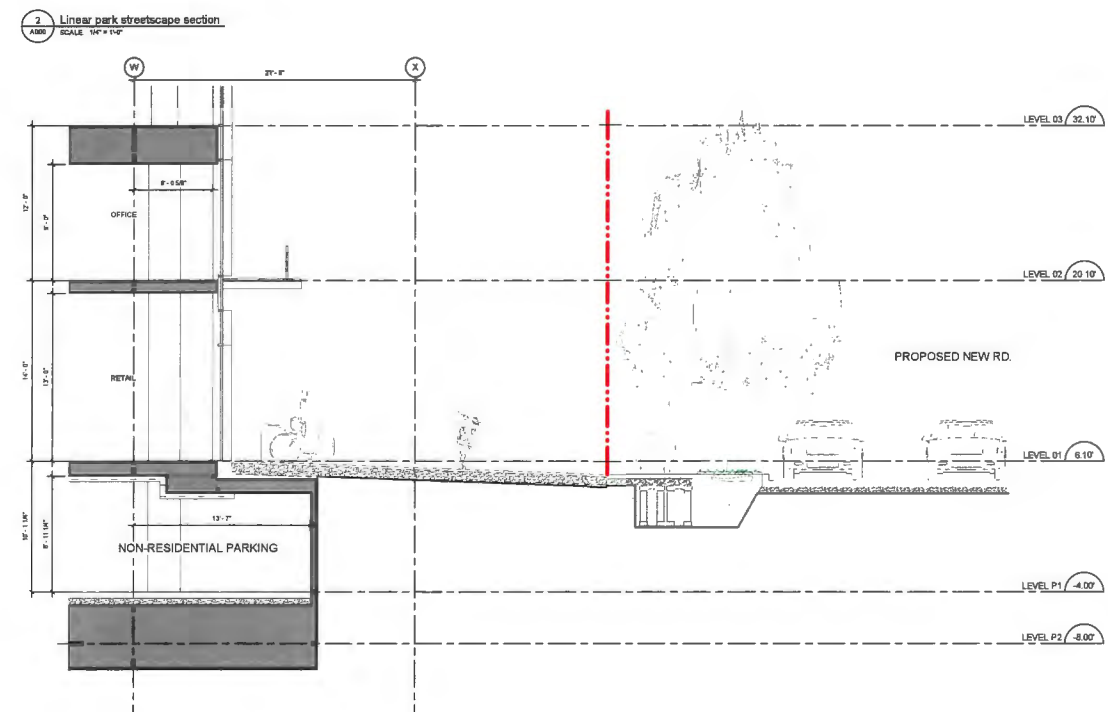
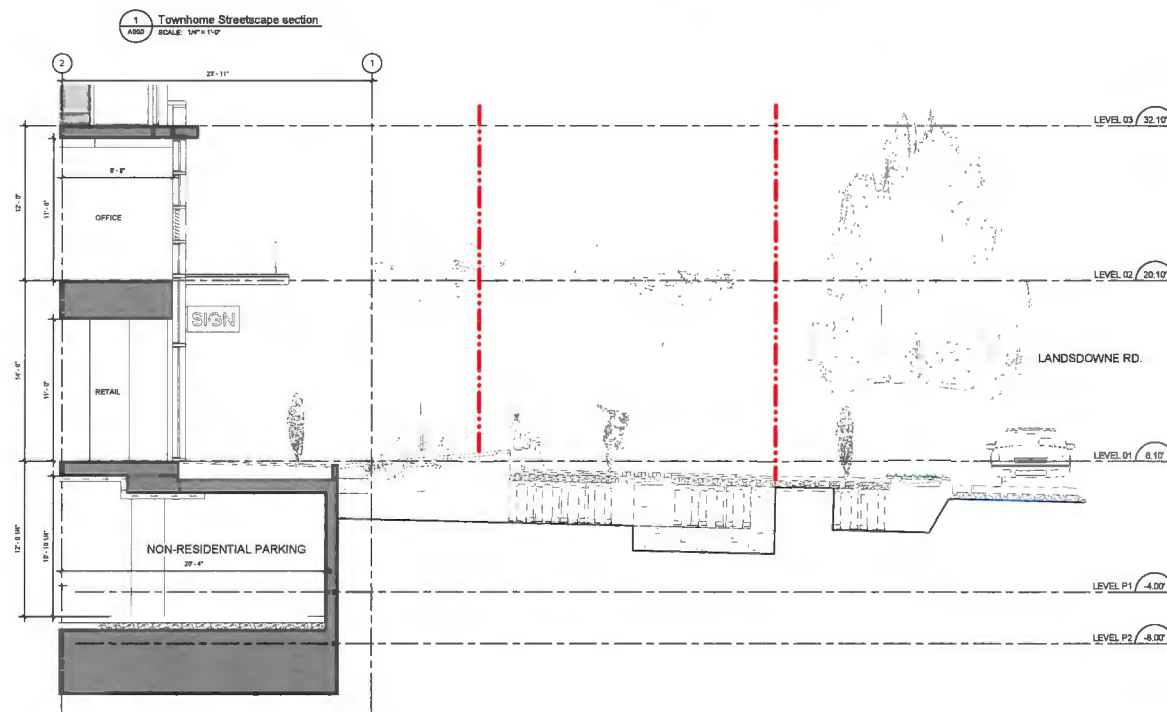
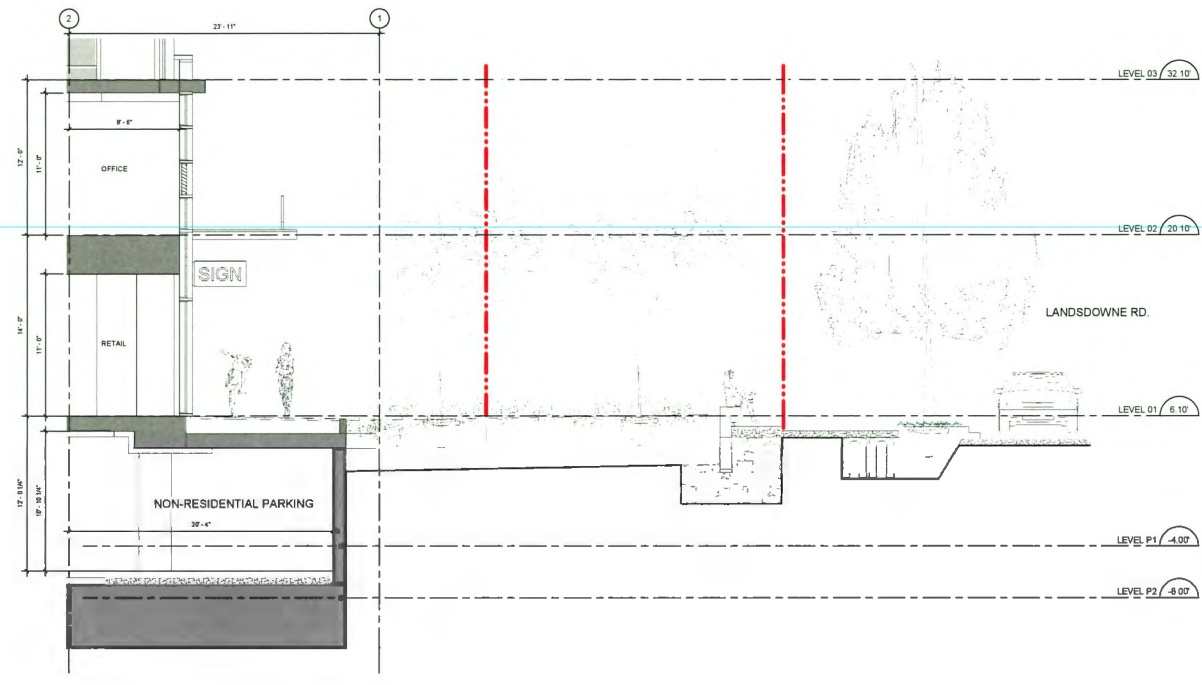
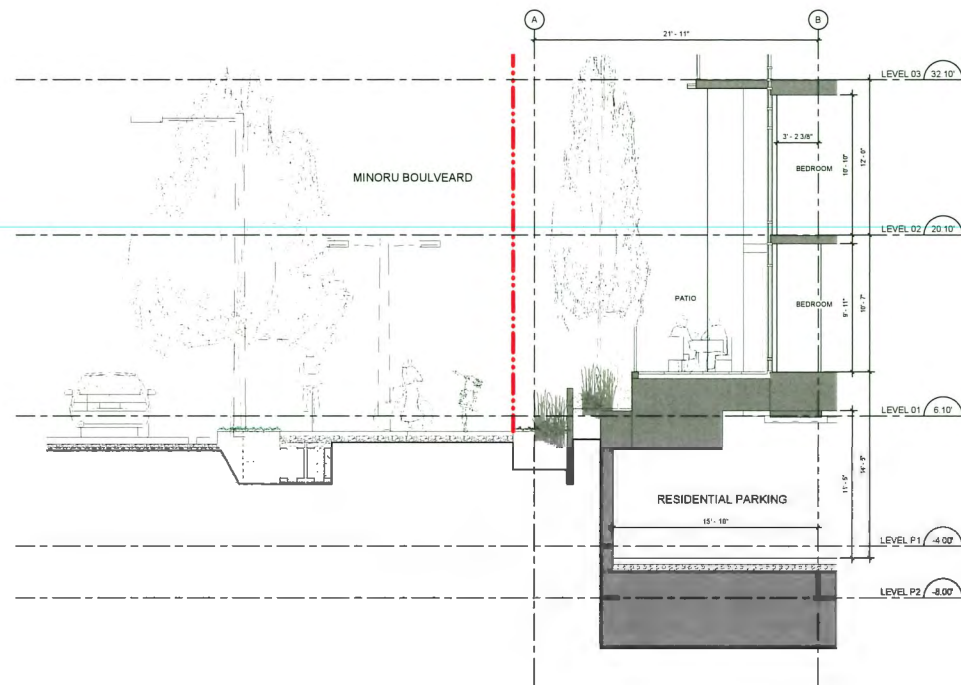
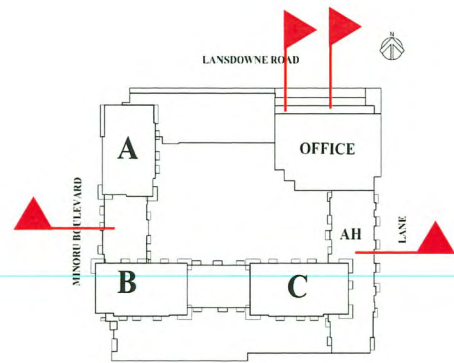
PRECEDENT IMAGE - HORIZONTAL LED LIGHTING FIXTURE FOR MPS1

DP 19-881156

August 11, 2021

PLAN # 8a-8

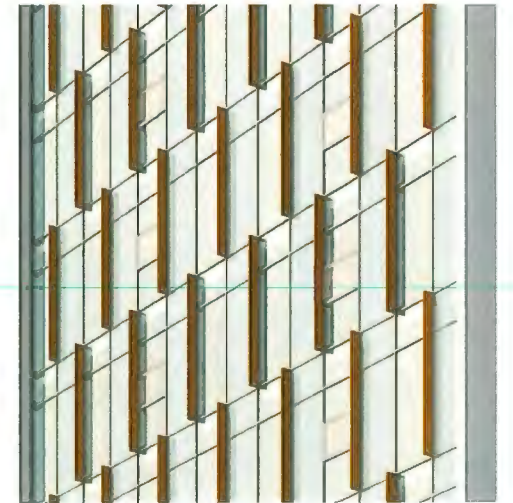
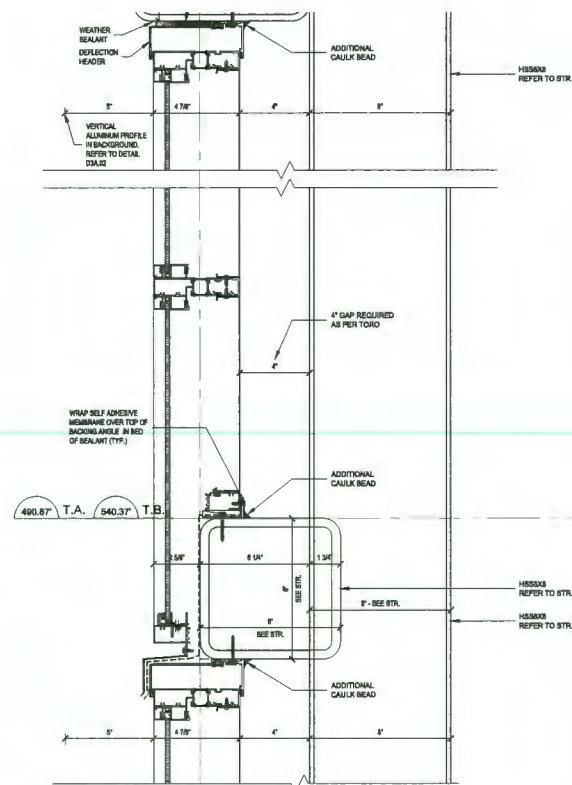
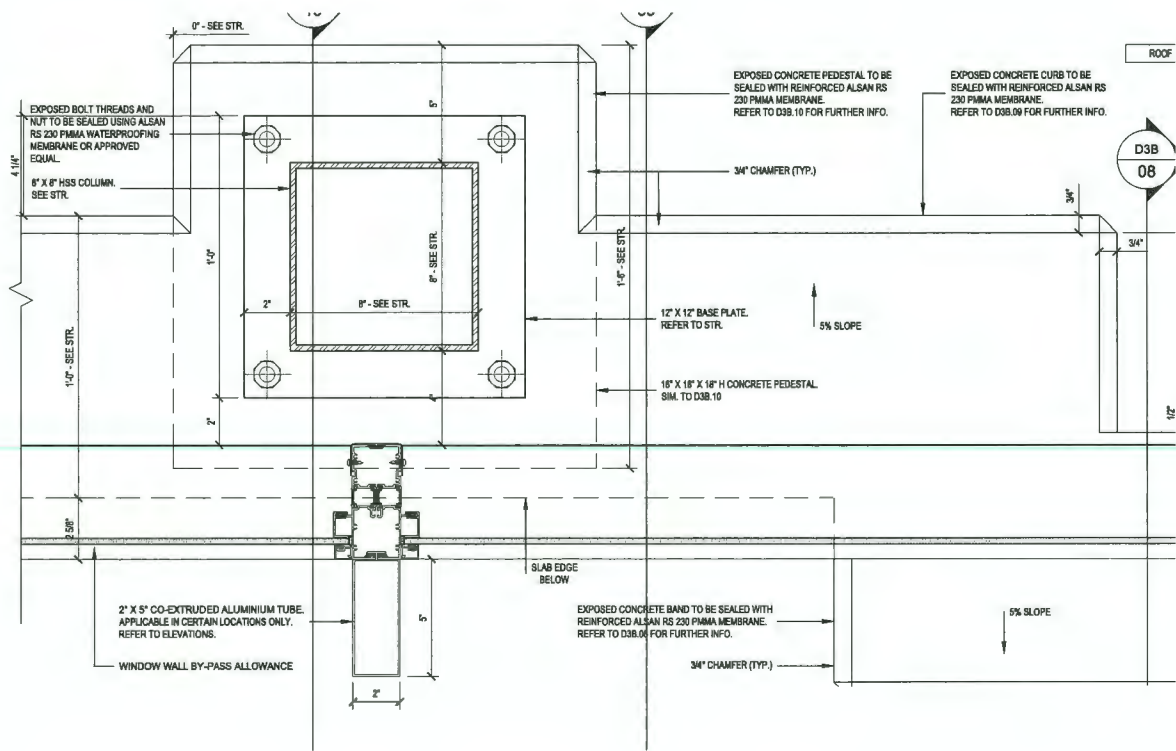




4 Linear park streetscape section 2  
SCALE: 1/4" = 1'-0"

3 Lane Frontage Section  
SCALE: 1/4" = 1'-0"







Residential Privacy Measures

Legend

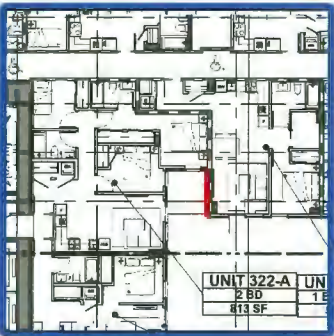
balcony privacy screen



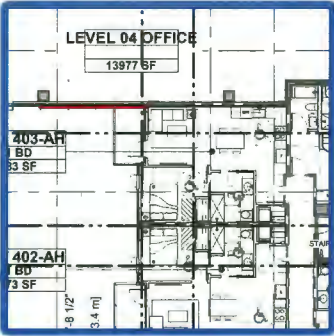
frosted glass facade



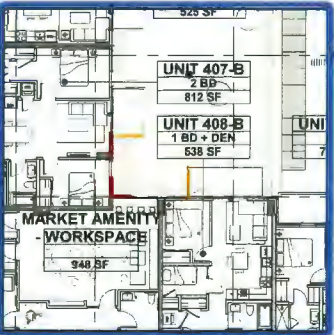
opaque spandrel glass facade



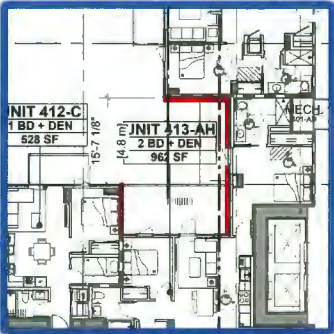
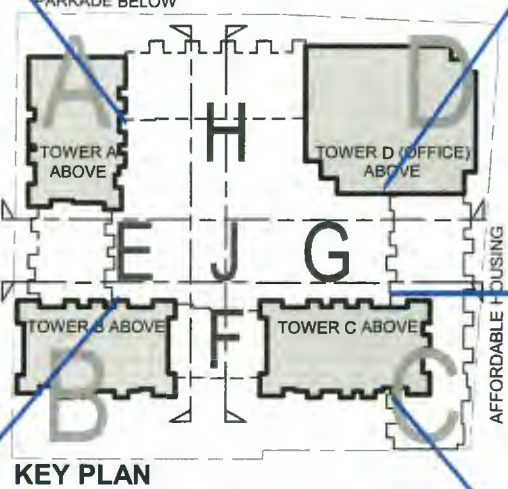
Level 3



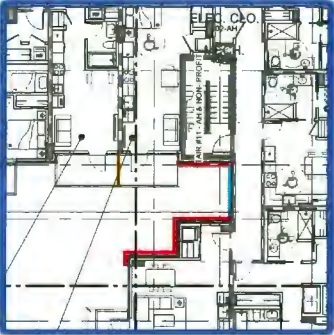
Level 3 - 9



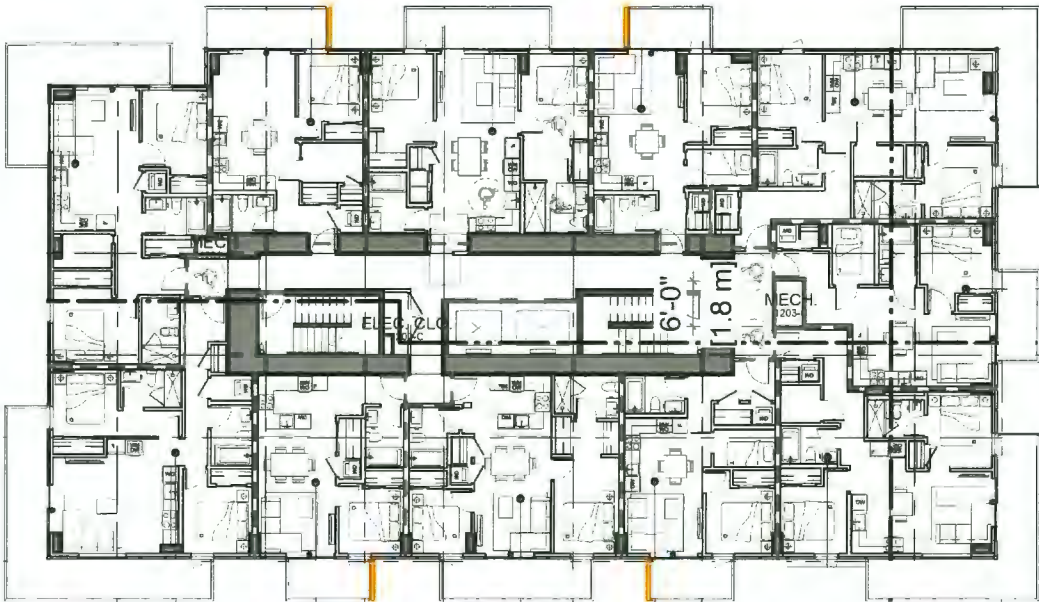
Level 4



Level 4 - 9

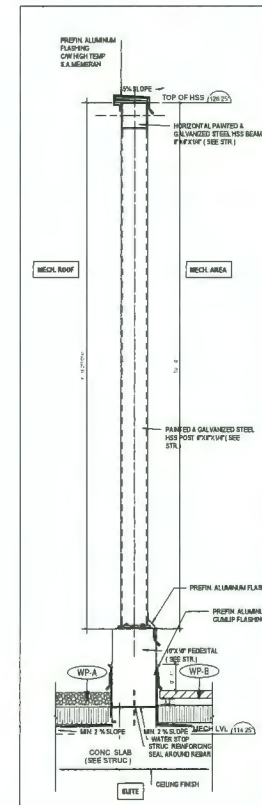
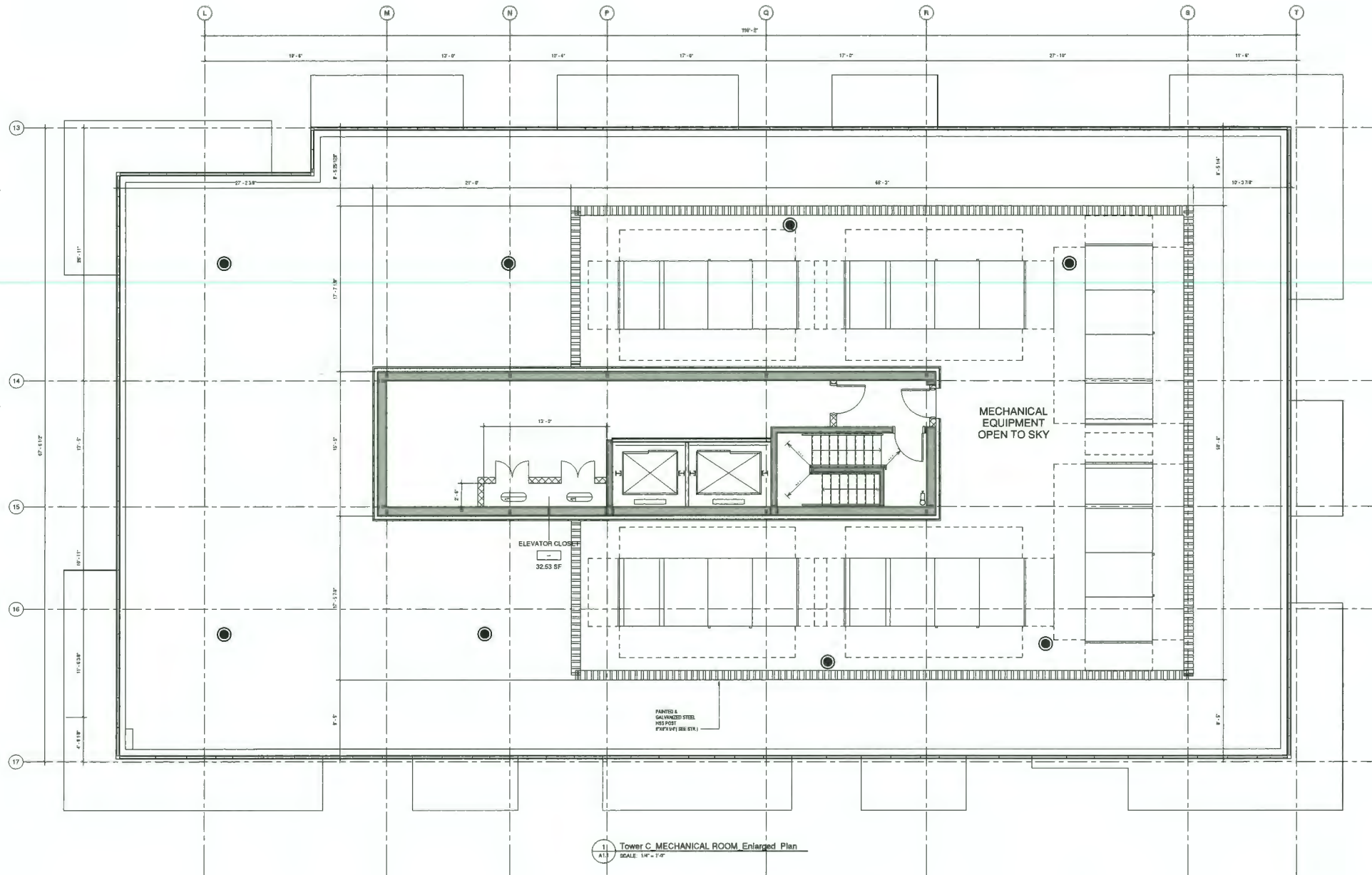


Level 4 - 8

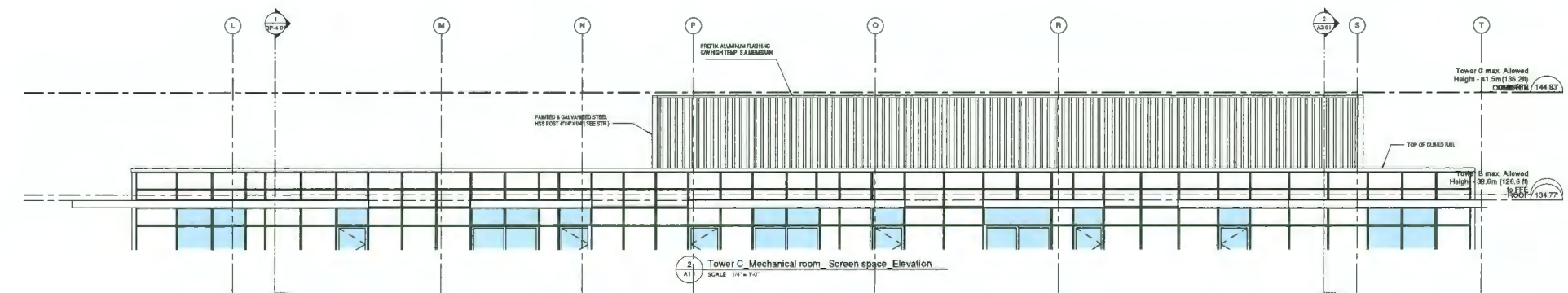


Typical strategy for Tower A, B and C where 4 privacy screens are placed per floor

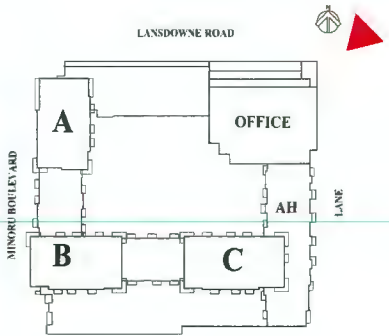




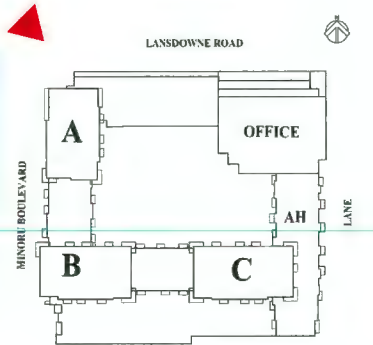
\* Above are sample images from precedent projects.



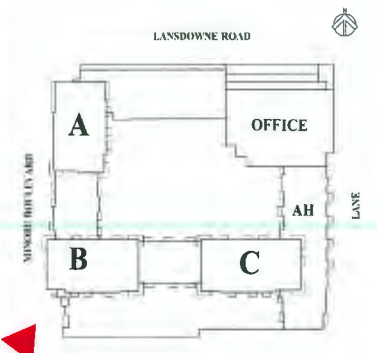




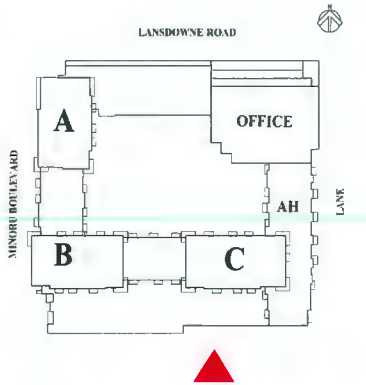




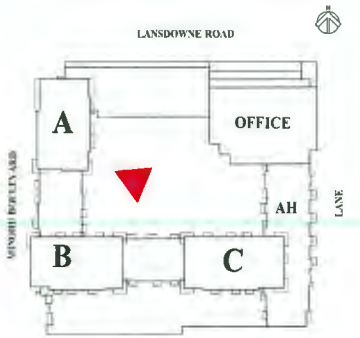












**Thind**  
PROPERTIES



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 – 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

PLAN 8h - STREETSCAPE DETAILS -  
3D VISUALIZATION - PODIUM PLAY AREA





**Thind**  
PROPERTIES



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 – 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

**PLAN 8i - STREETSCAPE DETAILS -**  
**3D VISUALIZATION - BIRD VIEW**





**Thind**  
PROPERTIES

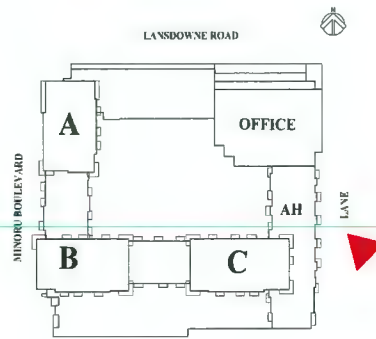


IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 – 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

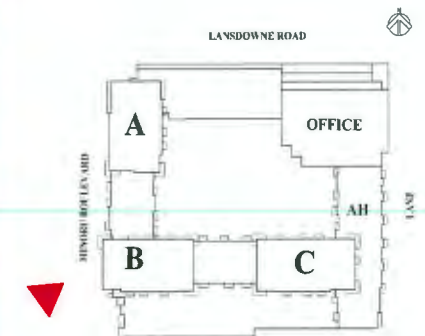
5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

**PLAN 8j - STREETSCAPE DETAILS -**  
**3D VISUALIZATION - NORTH EAST CORNER**









**Thind**  
PROPERTIES

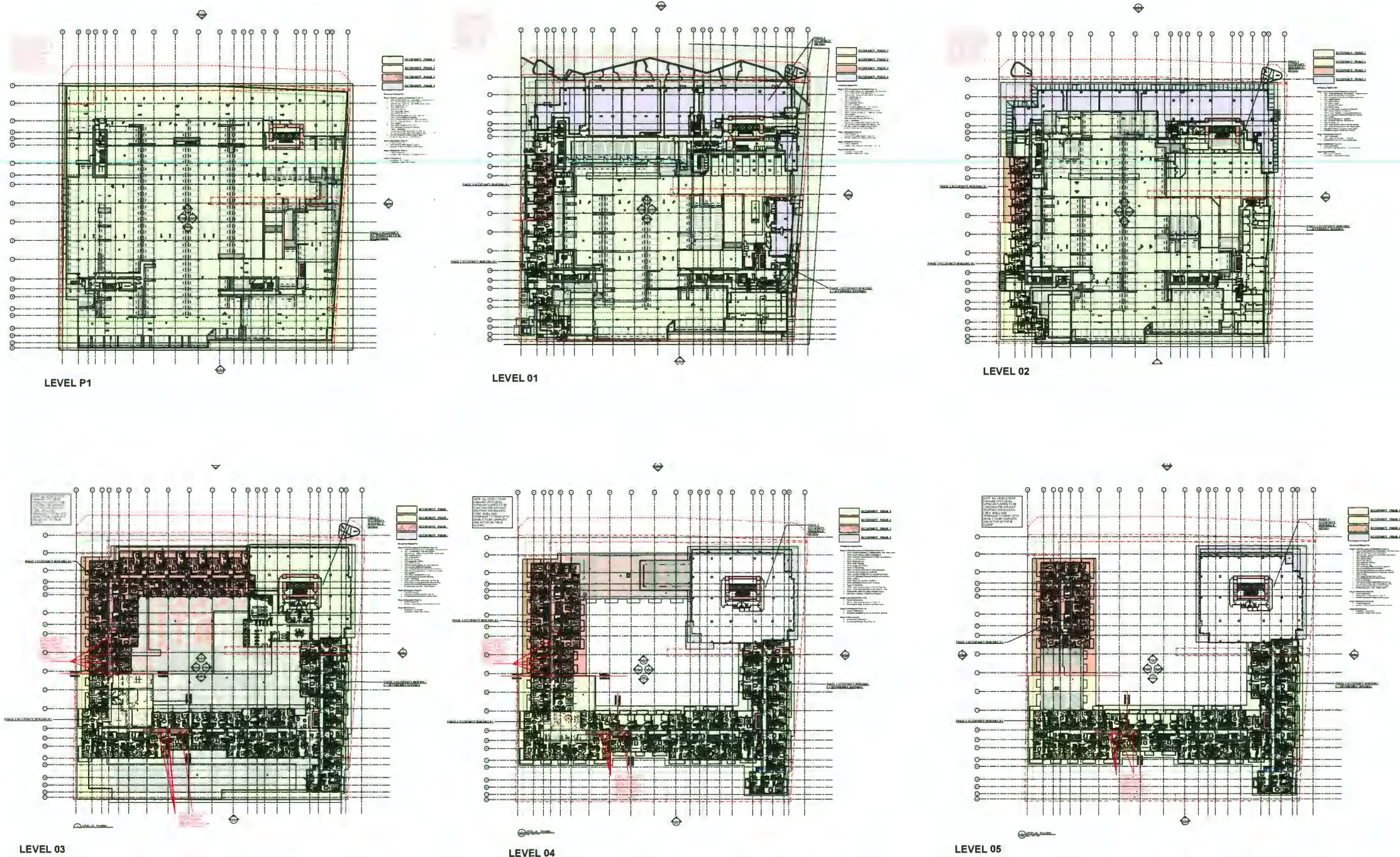


IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 – 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

**PLAN 8I - STREETSCAPE DETAILS -**  
**3D VISUALIZATION - SOUTH WEST CLOSEUP**





Occupancy Staging Plan



- Stage 1 (First Occupancy & Residential Tower C)**
- 100% off-site engineering, transportation, and parks works
  - 100% District Energy Utility requirements
  - 100% non-profit social services (NPSS) requirements
  - 100% resident parking
  - 100% Visitor parking
  - 100% Public Parking
  - 100% Assignable Parking
  - 100% NPSS parking
  - 100% Car Share parking and other measures
  - 100% Cycling Facilities for residents
  - 100% Cycling Facilities for non-residential tenants
  - 100% EV Charging Features for bikes and vehicles
  - 100% Loading
  - 100% Waste Management facilities
  - 100% Affordable Housing (AH) Building
  - Tower C residential
  - 100% indoor amenity space in the AH Building
  - 100% indoor amenity space in the office building
  - Proportional share of outdoor amenity space
  - Affordable Housing Transit Pass Program



- Stage 2 (Residential Tower B)**
- Tower B residential
  - 100% indoor amenity space in Tower B
  - Proportional share of outdoor amenity space



- Stage 3 (Residential Tower A)**
- Tower A residential
  - Complete outstanding portion of outdoor amenity



- Stage 4 (Commercial)**
- Commercial (office/retail)
  - Commercial Transit Pass Program



ZMU46 Bylaw / Rezoning Requirements		Proposed	Variance
Affordable Rental Building	<ul style="list-style-type: none"><li><b>Affordable Housing Features:</b> 6,541.4 m<sup>2</sup> (69,327.9 ft<sup>2</sup>) min. including residential uses and indoor amenity space (AH use only);</li><li><b>NPSS Space Features:</b> Area to be determined based on at least 425.7 m<sup>2</sup> (4,582.2 ft<sup>2</sup>) GLA min. plus ancillary space (e.g., Level 1 &amp; 2 lobbies shared with LEMR residents)</li></ul> <p><i>NOTE: Areas exclude typical Zoning Bylaw exemptions.</i></p> <p><i>NOTE: Additional indoor residential amenity space is required for shared use with market strata residents.</i></p>	TOTAL: 7,994.6 m <sup>2</sup> (86,054.0 ft <sup>2</sup> ), including - <ul style="list-style-type: none"><li><b>Affordable Housing Features:</b> 7,280.4 m<sup>2</sup> (78,366.0 ft<sup>2</sup>) (including indoor amenity for exclusive AH resident use)</li><li><b>NPSS Space Features:</b> 714.2 m<sup>2</sup> (7,688.0 ft<sup>2</sup>)</li></ul> <p><i>NOTE: Areas exclude typical Zoning Bylaw exemptions.</i></p> <p><i>NOTE: Additional indoor residential amenity space is required for shared use with market strata residents.</i></p>	None permitted
Affordable Rental Building – Affordable Housing Features	<ul style="list-style-type: none"><li><b>Residential:</b> 6,430.5 m<sup>2</sup> (69,217.0 ft<sup>2</sup>) minimum estimate at RZ stage, including:<ul style="list-style-type: none"><li>88 LEMR units with a combined habitable unit area that includes:<ul style="list-style-type: none"><li>At least 10% of “base” residential density</li><li>Some or all of the AH bonus: 3,006.9 m<sup>2</sup> (32,365.6 ft<sup>2</sup>)</li></ul></li><li>Ancillary space (e.g., corridors) comprising “base” residential density and/or AH bonus</li></ul></li><li><b>Indoor Amenity</b> (AH use only): 110.9 m<sup>2</sup> (1,194.0 ft<sup>2</sup>) minimum estimate at RZ stage, including:<ul style="list-style-type: none"><li>AH occupant use: 92.3 m<sup>2</sup> (994.0 ft<sup>2</sup>)</li><li>AH operator use: 18.6 m<sup>2</sup> (200.0 ft<sup>2</sup>) min.</li></ul></li></ul>	TOTAL: 7,280.4 m <sup>2</sup> (78,366.0 ft <sup>2</sup> ) including: <ul style="list-style-type: none"><li><b>Residential:</b> 7,126.8 m<sup>2</sup> (76,712.0 ft<sup>2</sup>) including:<ul style="list-style-type: none"><li>AH Habitable unit area: 6,166.0 m<sup>2</sup> (66,370.0 ft<sup>2</sup>)</li><li>AH Ancillary space: 960.8 m<sup>2</sup> (10,342.0 ft<sup>2</sup>)</li></ul></li><li><b>Indoor Amenity</b> (AH use only): 153.6 m<sup>2</sup> (1,654.0 ft<sup>2</sup>), including:<ul style="list-style-type: none"><li>AH occupant use: 135.0 m<sup>2</sup> (1,454.0 ft<sup>2</sup>)</li><li>AH operator use: 18.6 m<sup>2</sup> (200.0 ft<sup>2</sup>)</li></ul></li></ul>	None permitted
Affordable Rental Building – NPSS Space Features	Total area to be determined based on: <ul style="list-style-type: none"><li>Tenant units: 425.7 m<sup>2</sup> (4,582.2 ft<sup>2</sup>) GLA min.</li><li>Ancillary (e.g., Level 1 &amp; 2 lobbies shared with LEMR residents)</li></ul>	TOTAL: 714.2 m <sup>2</sup> (7,688.0 ft <sup>2</sup> ) including: <ul style="list-style-type: none"><li>Tenant units: 462.3 m<sup>2</sup> (4,977.0 ft<sup>2</sup>) GLA</li><li>Ancillary (e.g., Level 1 &amp; 2 lobbies shared with LEMR residents): 251.9 m<sup>2</sup> (2,711.0 ft<sup>2</sup>)</li></ul>	None permitted



AFFORDABLE HOUSING UNIT HABITABLE AREA BREAKDOWN - L03				
Name	Level	Unit Description	Comments*	Area
UNIT 301-AH	LEVEL 03	2BD	BUH	917 SF
UNIT 302-AH	LEVEL 03	1BD	BUH	573 SF
UNIT 303-AH	LEVEL 03	1BD	BUH	583 SF
UNIT 304-AH	LEVEL 03	2BD	BUH	953 SF
UNIT 305-AH	LEVEL 03	STUDIO	BUH	453 SF
UNIT 306-AH	LEVEL 03	2BD	BUH	901 SF
UNIT 307-AH	LEVEL 03	2BD	BUH	912 SF
UNIT 308-AH	LEVEL 03	2BD	BUH	914 SF
UNIT 309-AH	LEVEL 03	1BD	BUH	575 SF
UNIT 310-AH	LEVEL 03	3BD	BUH	1,047 SF
UNIT 311-AH	LEVEL 03	1BD	BUH	601 SF
TOTAL				8,427 SF

AFFORDABLE HOUSING UNIT HABITABLE AREA BREAKDOWN - L04				
Name	Level	Unit Description	Comments*	Area
UNIT 401-AH	LEVEL 04	2BD	BUH	918 SF
UNIT 402-AH	LEVEL 04	1BD	BUH	573 SF
UNIT 403-AH	LEVEL 04	1BD	BUH	583 SF
UNIT 404-AH	LEVEL 04	2BD	BUH	953 SF
UNIT 405-AH	LEVEL 04	STUDIO	BUH	453 SF
UNIT 406-AH	LEVEL 04	2BD	BUH	901 SF
UNIT 407-AH	LEVEL 04	2BD	BUH	912 SF
UNIT 408-AH	LEVEL 04	2BD	BUH	914 SF
UNIT 409-AH	LEVEL 04	1BD	BUH	575 SF
UNIT 410-AH	LEVEL 04	3BD	BUH	1,047 SF
UNIT 411-AH	LEVEL 04	1BD	BUH	601 SF
UNIT 412-AH	LEVEL 04	STUDIO	BUH	515 SF
UNIT 413-AH	LEVEL 04	2BD+DEN	BUH	962 SF
TOTAL				9,906 SF

AFFORDABLE HOUSING UNIT HABITABLE AREA BREAKDOWN - L05				
Name	Level	Unit Description	Comments*	Area
UNIT 501-AH	LEVEL 05	2BD	BUH	918 SF
UNIT 502-AH	LEVEL 05	1BD	BUH	573 SF
UNIT 503-AH	LEVEL 05	1BD	BUH	583 SF
UNIT 504-AH	LEVEL 05	2BD	BUH	954 SF
UNIT 505-AH	LEVEL 05	STUDIO	BUH	453 SF
UNIT 506-AH	LEVEL 05	1BD	BUH	901 SF
UNIT 507-AH	LEVEL 05	1BD	BUH	912 SF
UNIT 508-AH	LEVEL 05	1BD	BUH	914 SF
UNIT 509-AH	LEVEL 05	1BD	BUH	575 SF
UNIT 510-AH	LEVEL 05	3BD	BUH	1,047 SF
UNIT 511-AH	LEVEL 05	1BD	BUH	601 SF
UNIT 512-AH	LEVEL 05	STUDIO	BUH	515 SF
UNIT 513-AH	LEVEL 05	2BD+DEN	BUH	964 SF
TOTAL				9,909 SF

AFFORDABLE HOUSING UNIT HABITABLE AREA BREAKDOWN - L06				
Name	Level	Unit Description	Comments*	Area
UNIT 601-AH	LEVEL 06	2BD	BUH	918 SF
UNIT 602-AH	LEVEL 06	1BD	BUH	573 SF
UNIT 603-AH	LEVEL 06	1BD	BUH	583 SF
UNIT 604-AH	LEVEL 06	2BD	BUH	954 SF
UNIT 605-AH	LEVEL 06	STUDIO	BUH	453 SF
UNIT 606-AH	LEVEL 06	2BD	BUH	901 SF
UNIT 607-AH	LEVEL 06	2BD	BUH	912 SF
UNIT 608-AH	LEVEL 06	2BD	BUH	914 SF
UNIT 609-AH	LEVEL 06	1BD	BUH	575 SF
UNIT 610-AH	LEVEL 06	3BD	BUH	1,047 SF
UNIT 611-AH	LEVEL 06	1BD	BUH	601 SF
UNIT 612-AH	LEVEL 06	STUDIO	BUH	513 SF
UNIT 613-AH	LEVEL 06	STUDIO	BUH	441 SF
UNIT 614-AH	LEVEL 06	2BD+DEN	BUH	940 SF
TOTAL				10,324 SF

AFFORDABLE HOUSING UNIT HABITABLE AREA BREAKDOWN - L07				
Name	Level	Unit Description	Comments*	Area
UNIT 701-AH	LEVEL 07	2BD	BUH	918 SF
UNIT 702-AH	LEVEL 07	1BD	BUH	573 SF
UNIT 703-AH	LEVEL 07	1BD	BUH	583 SF
UNIT 704-AH	LEVEL 07	2BD	BUH	954 SF
UNIT 705-AH	LEVEL 07	STUDIO	BUH	453 SF
UNIT 706-AH	LEVEL 07	2BD	BUH	901 SF
UNIT 707-AH	LEVEL 07	2BD	BUH	912 SF
UNIT 708-AH	LEVEL 07	2BD	BUH	914 SF
UNIT 709-AH	LEVEL 07	1BD	BUH	575 SF
UNIT 710-AH	LEVEL 07	3BD	BUH	1,047 SF
UNIT 711-AH	LEVEL 07	1BD	BUH	601 SF
UNIT 712-AH	LEVEL 07	STUDIO	BUH	513 SF
UNIT 713-AH	LEVEL 07	STUDIO	BUH	441 SF
UNIT 714-AH	LEVEL 07	2BD+DEN	BUH	940 SF
TOTAL				10,324 SF

AFFORDABLE HOUSING UNIT HABITABLE AREA BREAKDOWN - L08				
Name	Level	Unit Description	Comments*	Area
UNIT 801-AH	LEVEL 08	2BD	BUH	918 SF
UNIT 802-AH	LEVEL 08	1BD	BUH	573 SF
UNIT 803-AH	LEVEL 08	1BD	BUH	583 SF
UNIT 804-AH	LEVEL 08	2BD	BUH	954 SF
UNIT 805-AH	LEVEL 08	STUDIO	BUH	453 SF
UNIT 806-AH	LEVEL 08	2BD	BUH	901 SF
UNIT 807-AH	LEVEL 08	2BD	BUH	912 SF
UNIT 808-AH	LEVEL 08	2BD	BUH	914 SF
UNIT 809-AH	LEVEL 08	1BD	BUH	575 SF
UNIT 810-AH	LEVEL 08	3BD	BUH	1,047 SF
UNIT 811-AH	LEVEL 08	1BD	BUH	601 SF
UNIT 812-AH	LEVEL 08	STUDIO	BUH	513 SF
UNIT 813-AH	LEVEL 08	STUDIO	BUH	441 SF
UNIT 814-AH	LEVEL 08	2BD+DEN	BUH	940 SF
TOTAL				10,324 SF

AFFORDABLE HOUSING UNIT HABITABLE AREA BREAKDOWN - L09				
Name	Level	Unit Description	Comments*	Area
UNIT 901-AH	LEVEL 09	2BD	BUH	916 SF
UNIT 902-AH	LEVEL 09	1BD	BUH	573 SF
UNIT 903-AH	LEVEL 09	1BD	BUH	583 SF
UNIT 904-AH	LEVEL 09	2BD	BUH	953 SF
UNIT 905-AH	LEVEL 09	STUDIO	BUH	453 SF
UNIT 906-AH	LEVEL 09	2BD	BUH	901 SF
UNIT 907-AH	LEVEL 09	2BD	BUH	912 SF
UNIT 908-AH	LEVEL 09	2BD	BUH	913 SF
UNIT 909-AH	LEVEL 09	2BD	BUH	943 SF
TOTAL				7,149 SF

\* NOTE: ALL AFFORDABLE UNITS TO COMPLY WITH MINIMUM RICHMOND ZONING BYLAW REQUIREMENTS FOR BASIC UNIVERSAL HOUSING INCLUDING (AMONG OTHER THINGS), THE MINIMUM SIZE OF BALCONIES, FLUSH THRESHOLDS @ BALCONY DOORWAYS AND MINIMUM CLEARANCE FOR DOORWAYS

\* NOTE: ALL AFFORDABLE HABITABLE UNIT AREA IS MEASURED TO THE OUTSIDE FACE OF THE EXTERIOR WALLS AND THE CENTRE LINE OF DEMISING WALLS SEPARATING UNITS FROM ADJACENT DWELLINGS, CORRIDORS AND OTHER SPACES IN THE BLDG.



**Thind**  
PROPERTIES



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 – 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond  
Richmond, B.C. Canada DP 19-881156 Date: August 11, 2021

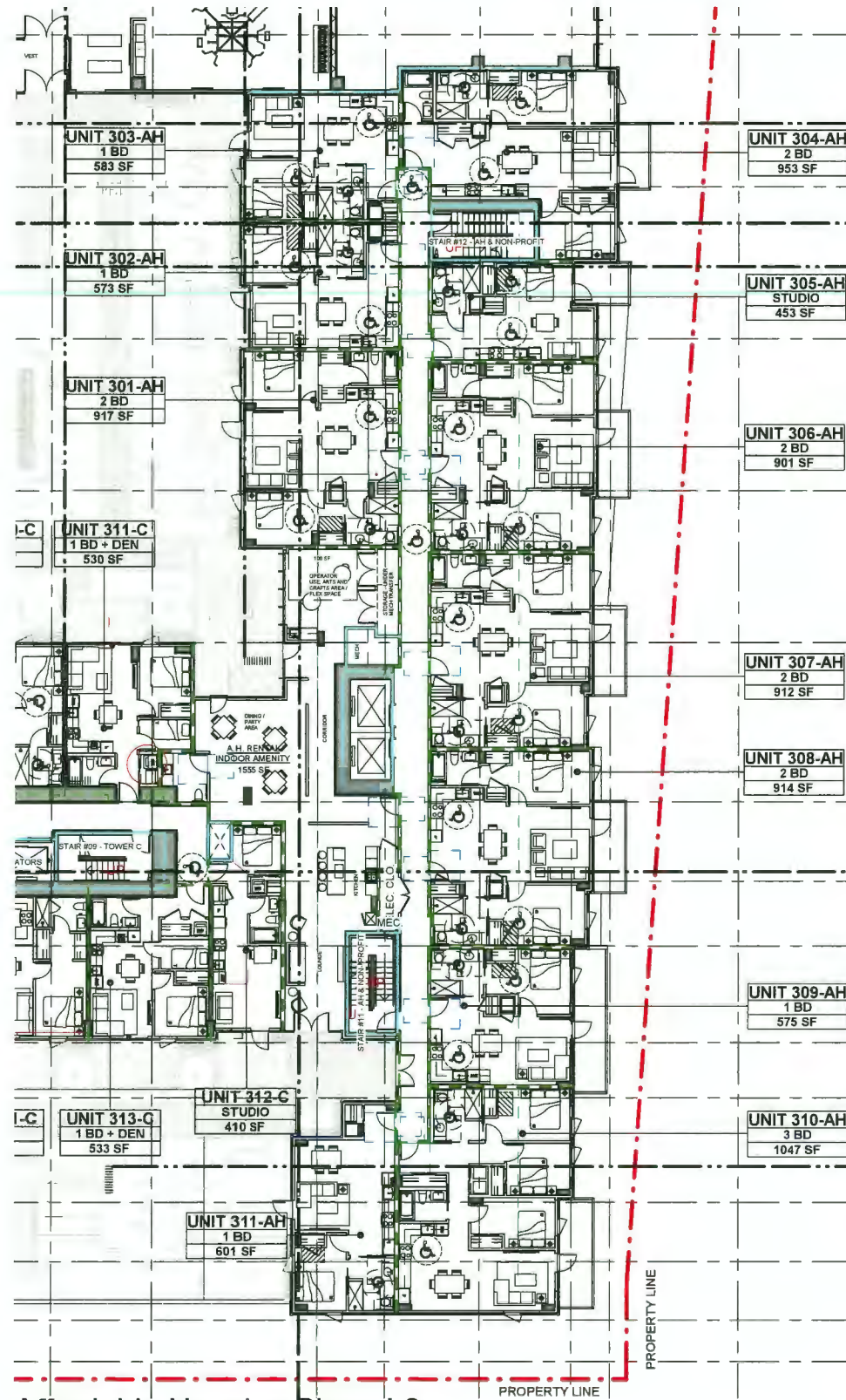
PLAN #10a-1 - DEVELOPMENT DETAILS  
AFFORDABLE HOUSING BUILDING



\*Affordable Housing Habitable Area is measured to the outside face of the exterior walls and the center line of demising walls separating the unit from adjacent dwellings, corridors and other spaces within the building

DP 19-881156

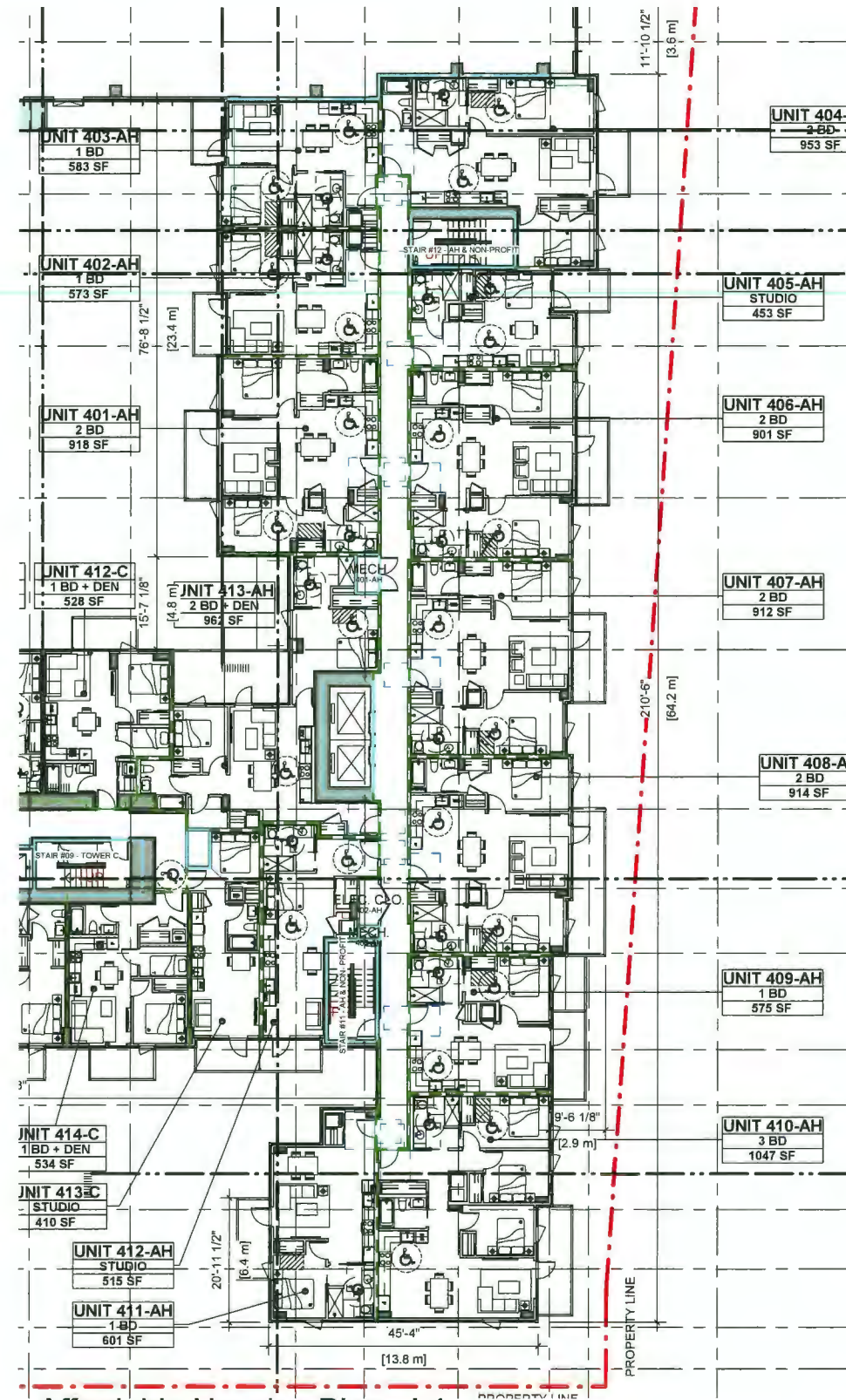
August 11, 2021  
PLAN # 10a-2



Affordable Housing Plan - L3

Total GFA = 11429 SF / Total FSR = 9109.64 SF/

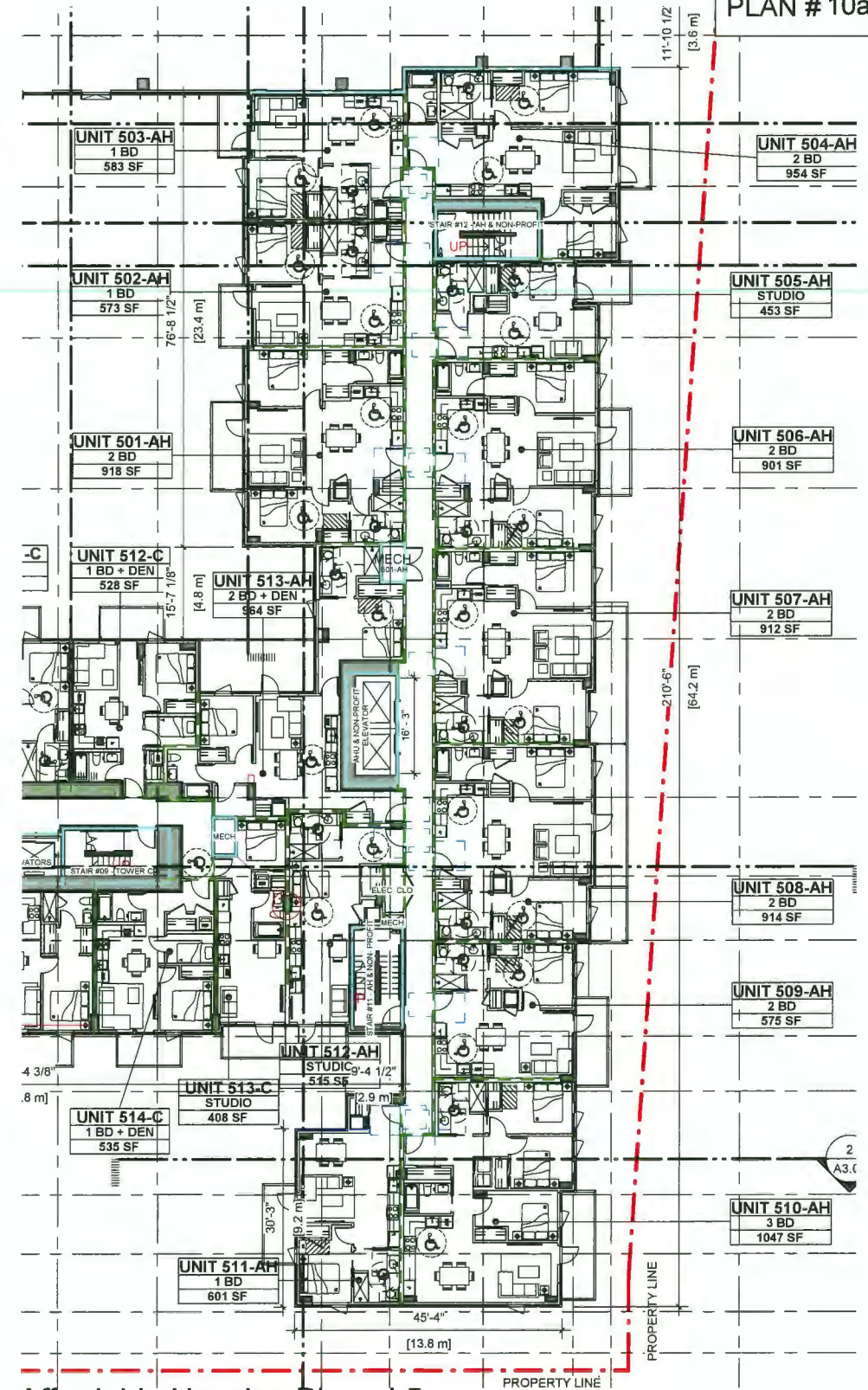
Total Habitable Area = 8429 SF



Affordable Housing Plan - L4

Total GFA = 11314 SF / Total FSR = 10485 SF

Total Habitable Area = 9909 SF



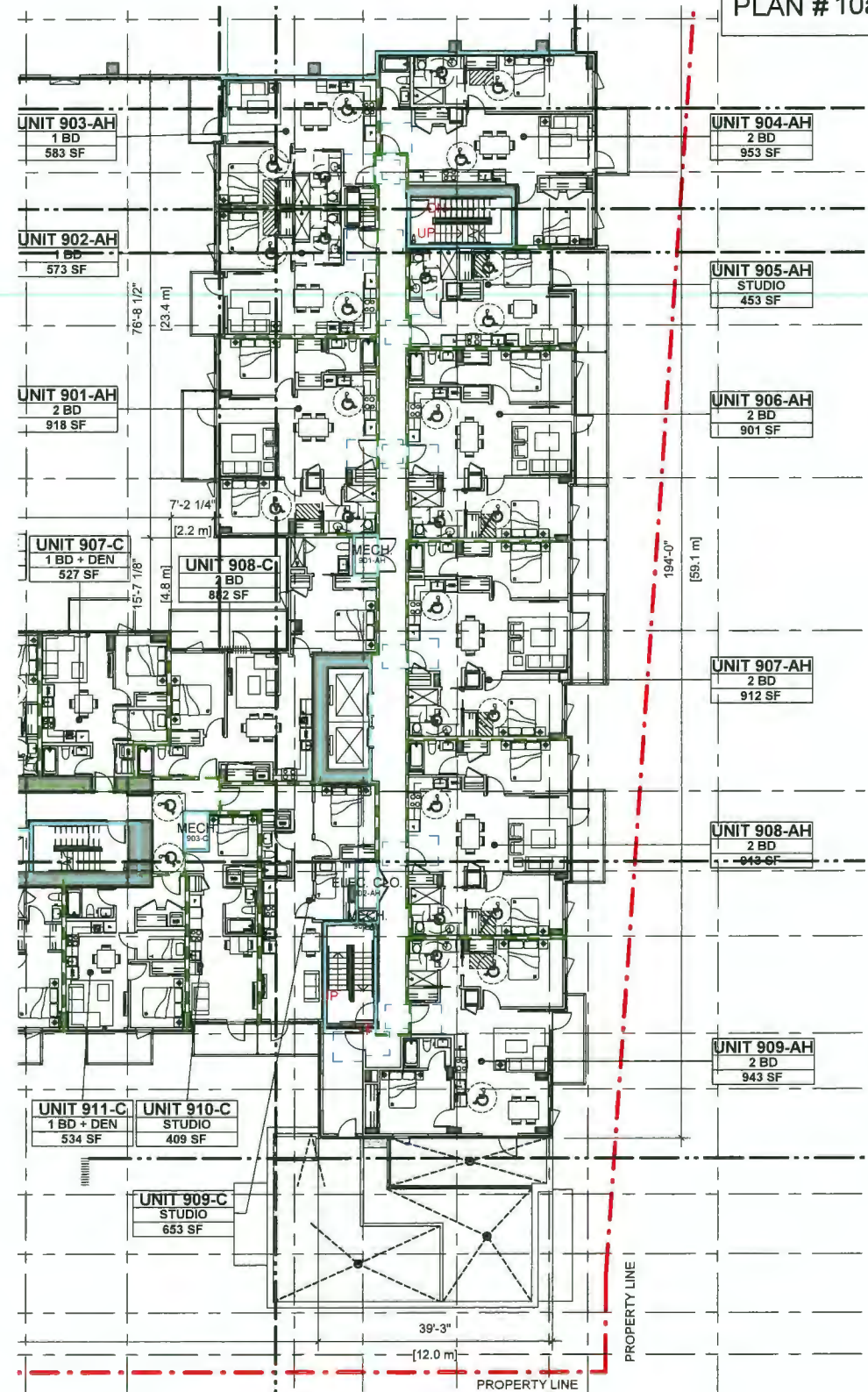
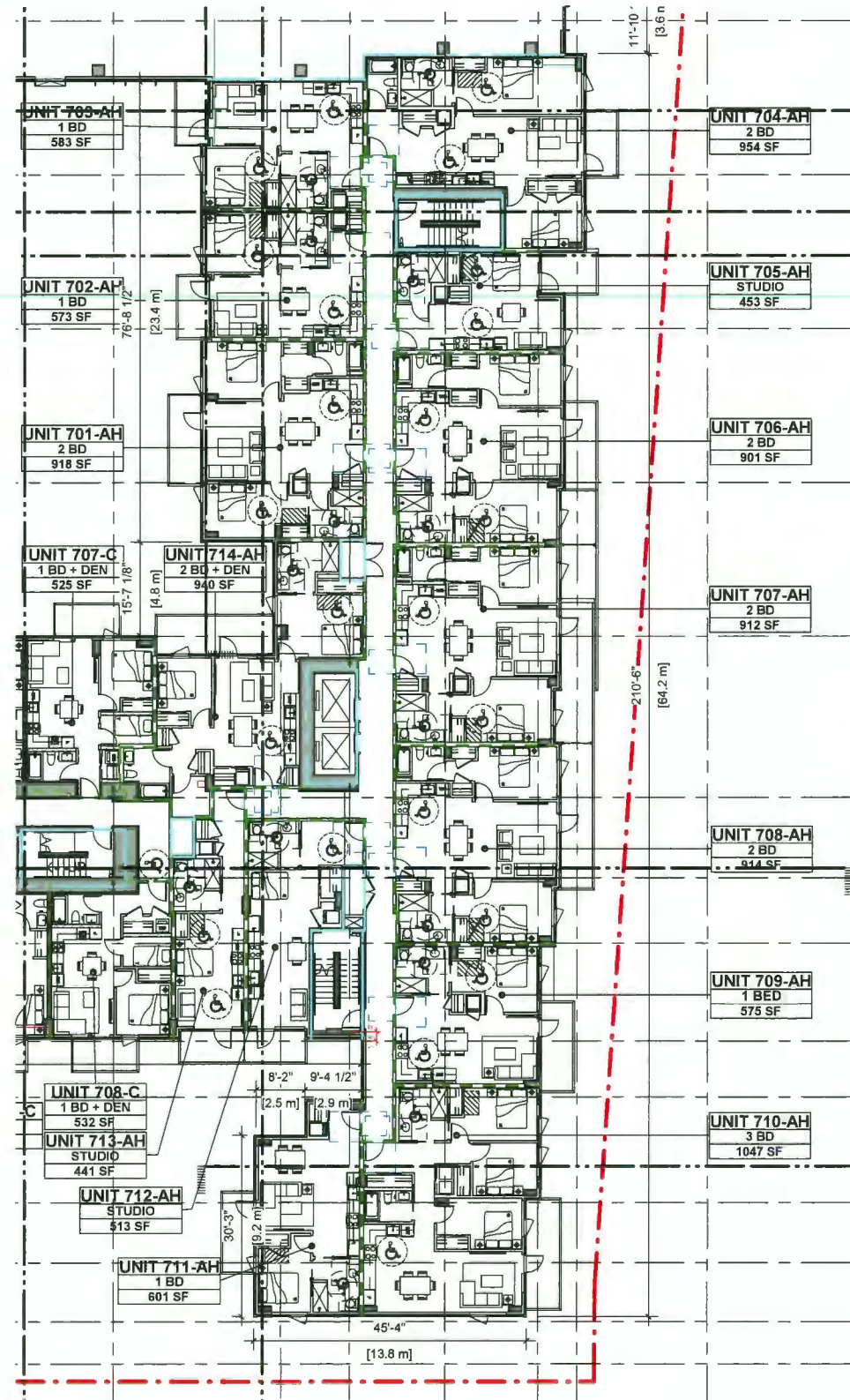
Affordable Housing Plan - L5

Total GFA = 11314 SF / Total FSR = 10485 SF

Total Habitable Area = 9909 SF

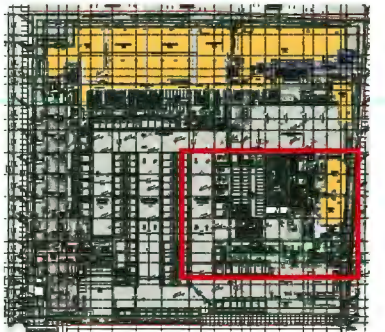


**DP 19-881156**  
August 11, 2021  
**PLAN # 10a-3**

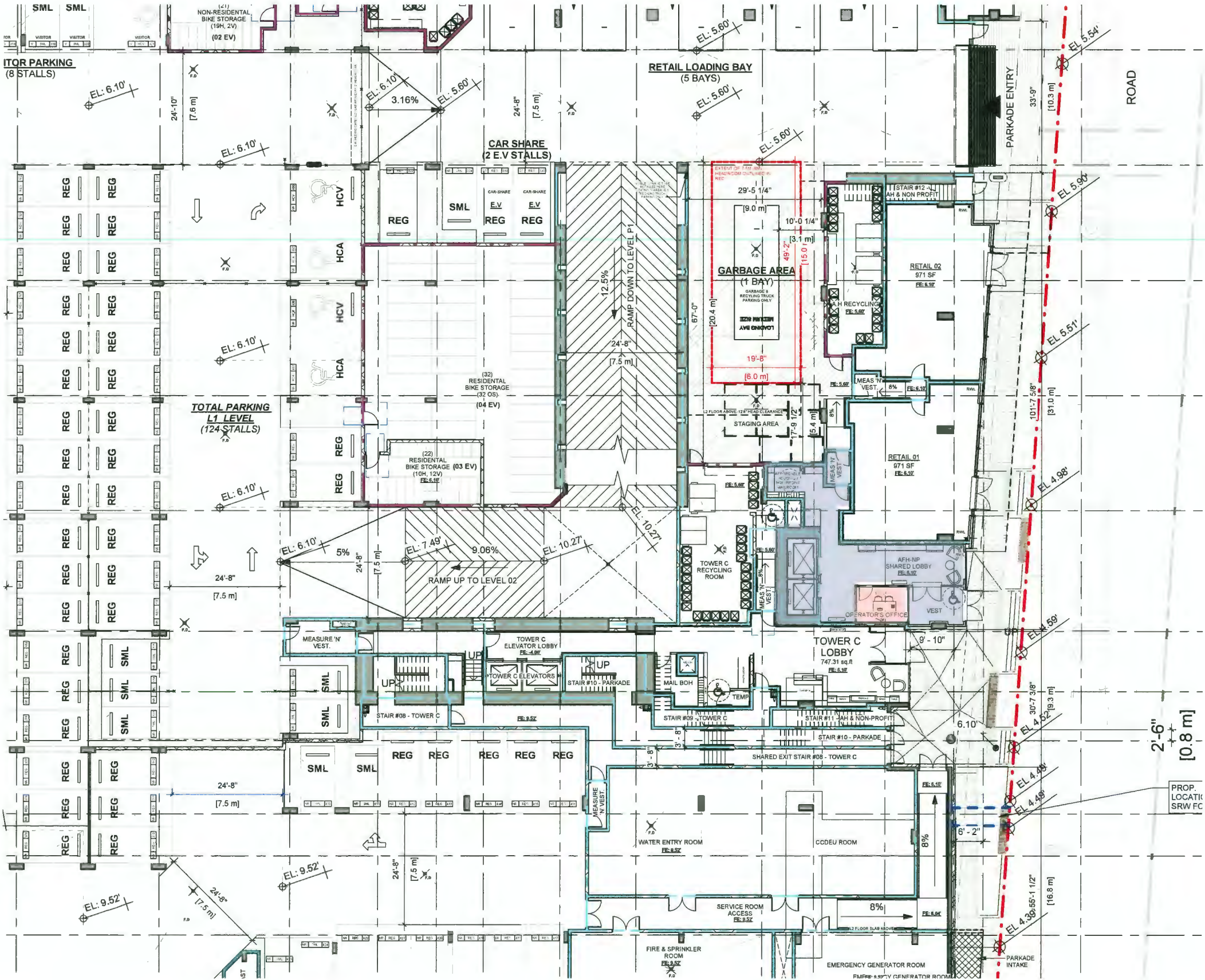


**Affordable Housing Plan - L9**  
**Total GFA = 8357 SF / Total FSR = 7654 SF**  
**Total Habitable Area = 7151 SF**



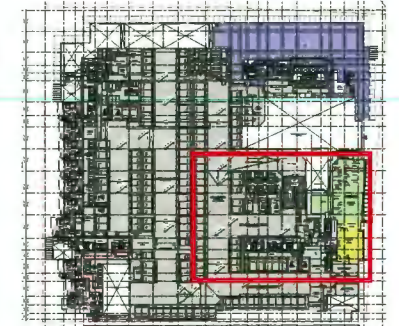
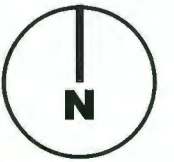


L1 Floor Plan

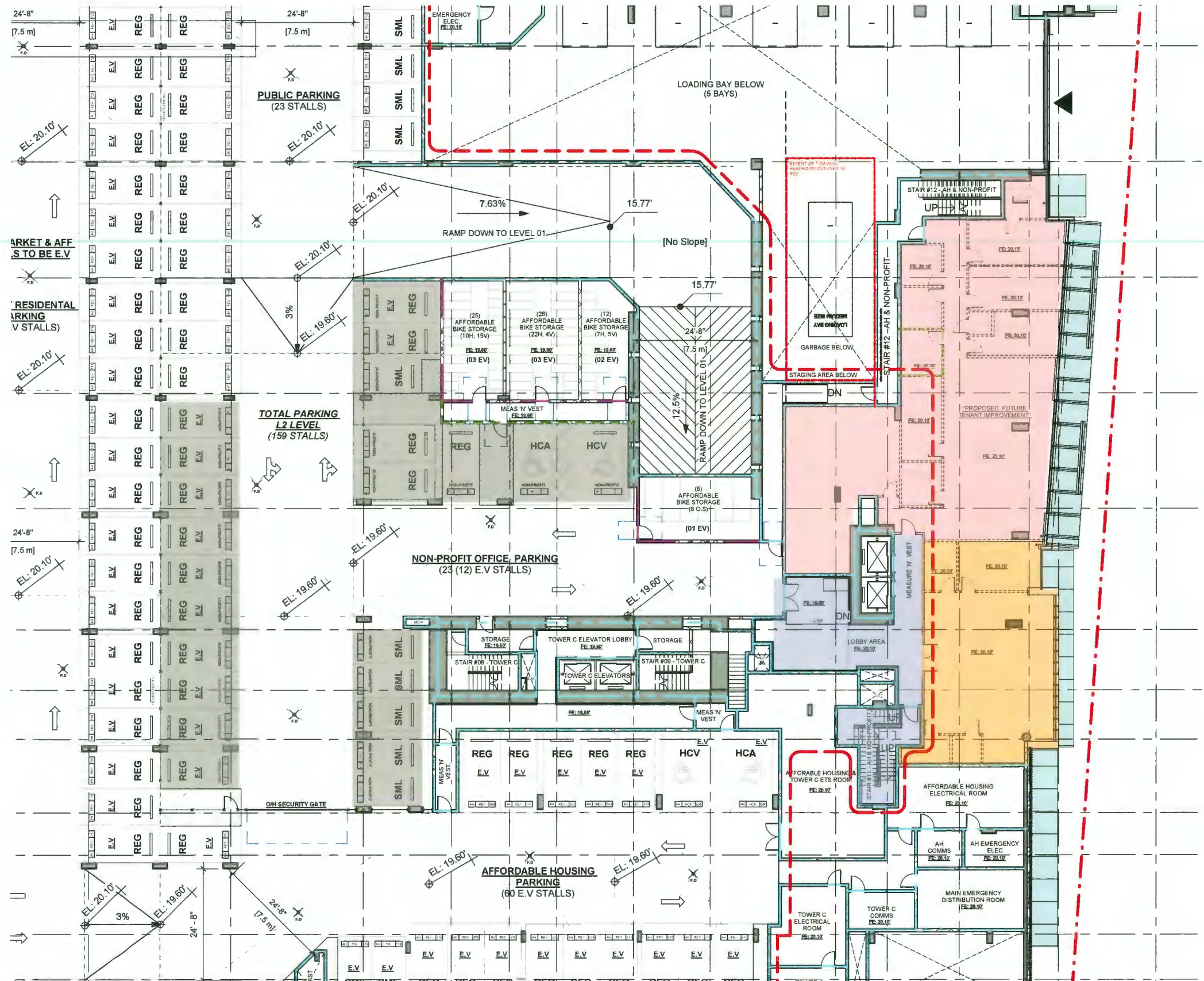


- Shared Common Area
- Ground Floor Office Space



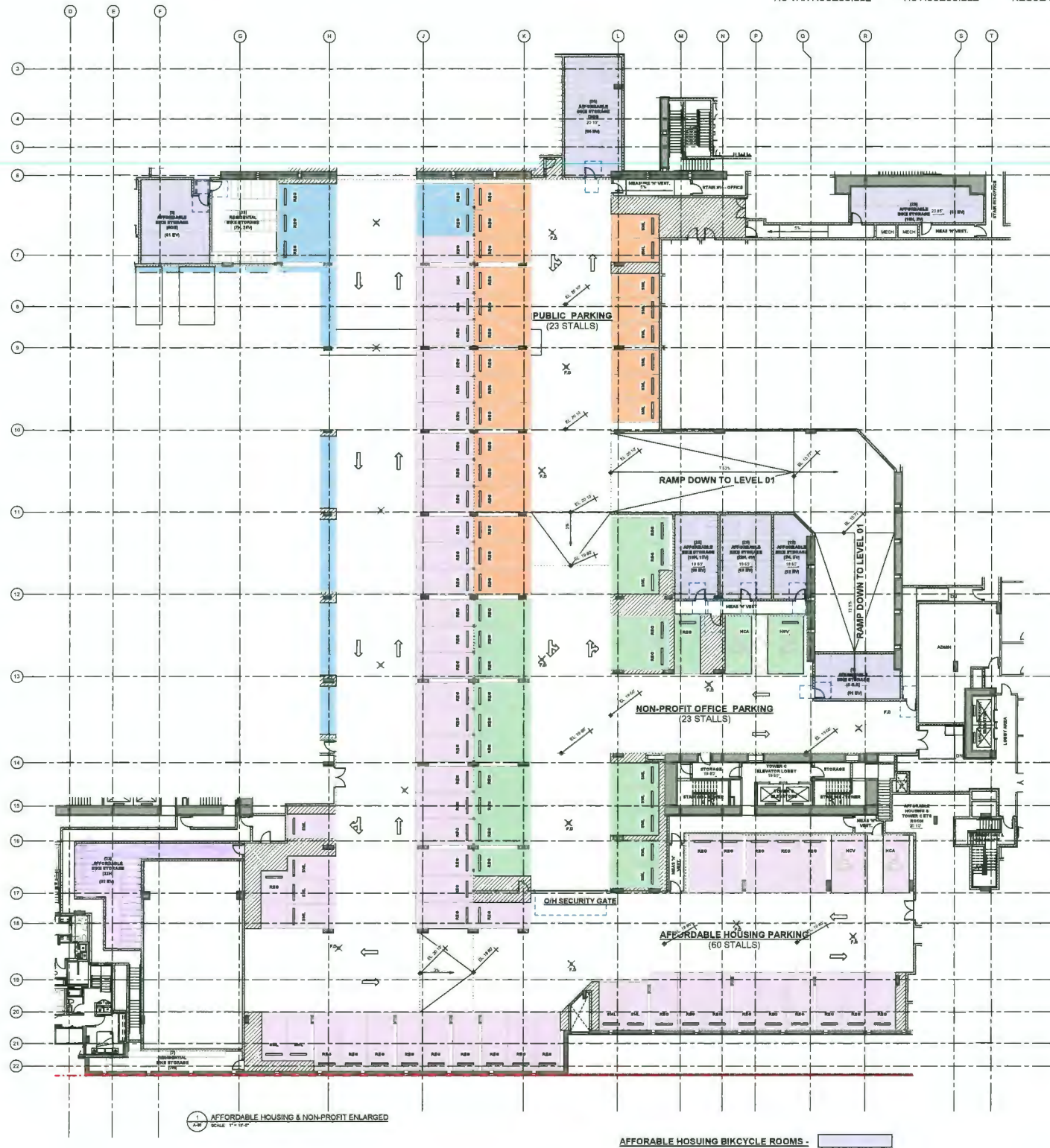
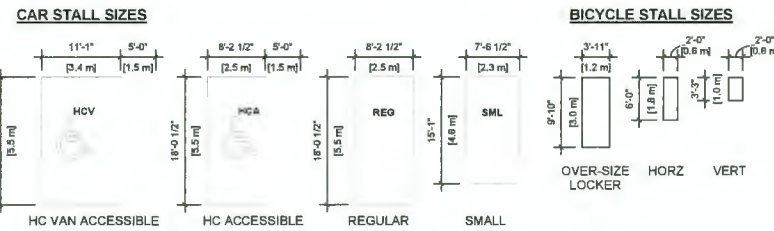


L2 Floor Plan

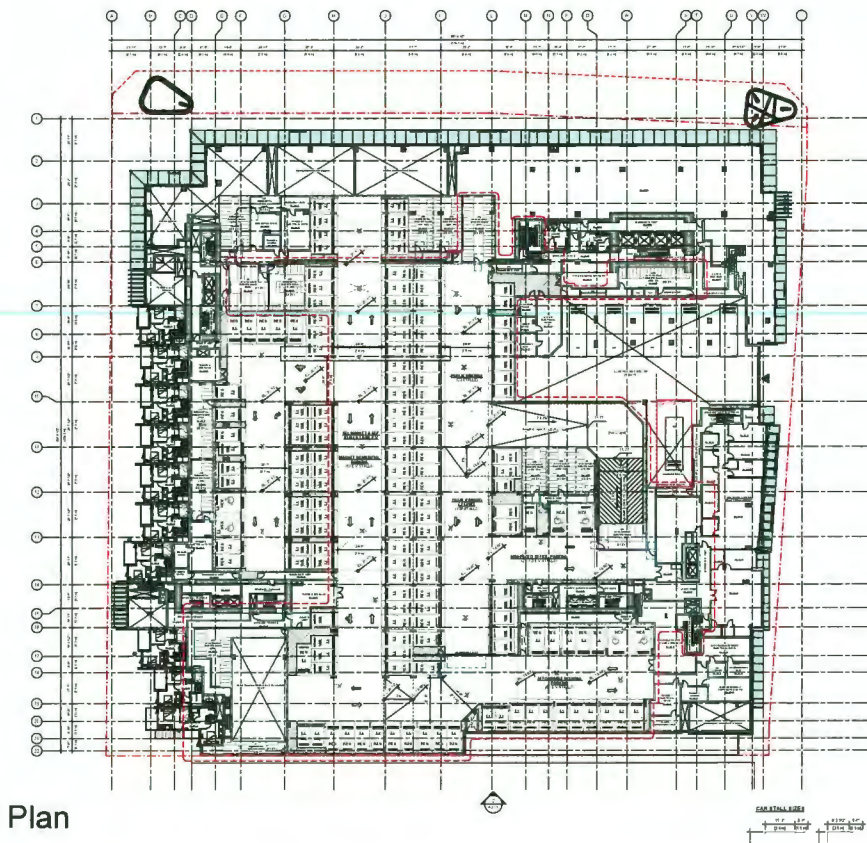


- Shared Common Area
- Richmond Society for Community Living
- Mental Wellness Association Canada
- Parking Stalls





L2 Floor Plan



	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Parking – Residential	<ul style="list-style-type: none"> <li>Total: 375 spaces (after 10% TDM reduction), including: <ul style="list-style-type: none"> <li>Market Strata @ 1/unit – 10% = 307</li> <li>AH units @ 0.9/unit – 25% = 60</li> <li>Visitors: 8</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>Total: 375 spaces, including: <ul style="list-style-type: none"> <li>Market Strata: 307</li> <li>AH units: 60 (including at least 1 accessible space, 1 van-accessible space, and no more than 30 small spaces)</li> <li>Visitors: 8 (2 spaces for the exclusive use of each residential building)</li> </ul> </li> </ul>	None
Parking – Non-Residential	<ul style="list-style-type: none"> <li>Total: 247 spaces (after 10% TDM reduction), including: <ul style="list-style-type: none"> <li>Non-profit social service use @ 3.75/100 m<sup>2</sup> GLA – 10% = 15</li> <li>Office @ 1.275/100 m<sup>2</sup> GLA – 10% = 165</li> <li>Retail @ 3.75/100 m<sup>2</sup> GLA – 10% = 67</li> </ul> </li> <li><i>NOTE: Parking (by use/type) must include a proportional share of accessible/van-accessible spaces (2%) and no more than 50% small car spaces (except where otherwise required by a legal agreement registered on title).</i></li> </ul>	<ul style="list-style-type: none"> <li>Total: 247 spaces, including: <ul style="list-style-type: none"> <li>50% Public Parking: 124 secured by legal agreement for general public use</li> <li>50% Assignable Parking: 123, including <ul style="list-style-type: none"> <li>23 spaces secured by legal agreement for the exclusive use of the NPSS tenants &amp; their guests (including at least 1 accessible space, 1 van-accessible space &amp; no more than 12 small spaces)</li> <li>100 spaces that may be sold, leased, or assigned to specific businesses or people</li> </ul> </li> </ul> </li> </ul>	None
Class 1 Bike Storage (Secured)	<ul style="list-style-type: none"> <li>Total: 775 spaces, including: <ul style="list-style-type: none"> <li>Non-Residential @ 0.27/100 m<sup>2</sup> GLA: 45</li> <li>Residents @ 1.7/unit: 730 including: <ul style="list-style-type: none"> <li>Market: 522 standard size &amp; 58 over-size</li> <li>AH: 135 standard size &amp; 15 over-size</li> </ul> </li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>Total: 775 spaces, including: <ul style="list-style-type: none"> <li>Non-Residential: 45</li> <li>Residents: 730 including: <ul style="list-style-type: none"> <li>580 Market strata (522 standard &amp; 58 over-size)</li> <li>150 AH (135 standard &amp; 15 over-size)</li> </ul> </li> </ul> </li> </ul>	
Class 2 Bike Storage (Public use)	<ul style="list-style-type: none"> <li>Total: 154, including: <ul style="list-style-type: none"> <li>Non-Residential @ 0.4/100 m<sup>2</sup> GLA: 68</li> <li>Residents @ 0.2/unit = 86</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>154 located outdoors around the perimeter of the site</li> </ul>	None
Electric Vehicle (EV) Charging	<ul style="list-style-type: none"> <li>For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: <ul style="list-style-type: none"> <li>100% AH &amp; Market Strata resident parking spaces (This excludes visitor parking.)</li> <li>5% of non-residential parking, including: <ul style="list-style-type: none"> <li>12 NPSS parking spaces</li> <li>2 Car-share parking spaces</li> </ul> </li> </ul> </li> <li>For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each: <ul style="list-style-type: none"> <li>Residential (AH &amp; Market Strata) bike storage room</li> <li>Non-residential bike storage room</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: <ul style="list-style-type: none"> <li>Market Strata parking spaces: 307</li> <li>AH rental building parking spaces: 60</li> <li>NPSS parking spaces: 12</li> <li>Car-share parking spaces: 2</li> </ul> </li> <li>For Class 1 bike storage: Energized 120V duplex receptacles including at least: <ul style="list-style-type: none"> <li>58 for Market Strata bike storage</li> <li>15 for AH rental building bike storage</li> <li>5 for non-residential bike storage room</li> </ul> </li> </ul>	None



## ZONING BYLAW BUH REQUIREMENTS

**DP 19-881156**

August 11, 2021  
PLAN # 10b-1

### Purpose

4.16.1 The basic universal housing features described in Section 4.16 are intended to facilitate ready access, use and occupancy of a dwelling unit by a person with a disability.

### Building Access

4.16.2 Each dwelling unit and each type of amenity space shall be accessible to a person with a disability from a road and from an on-site parking area.

4.16.3 Access to the elevator shall be provided from both the road and the entry to the on-site parking area.

4.16.4 An automatic door opener shall be provided for the main entry.

### Doors and Doorways

4.16.5 The min. clear openings for all entry doors to every dwelling unit and doors in common areas shall be no less than 855mm (which will be provided by a swing door).

4.16.6 The min. clear openings for all interior doors to at least one bedroom and one accessible bathroom in every dwelling unit shall be no less than 800mm (which will be provided by a swing door).

4.16.7 Doors in every dwelling unit and common areas shall be operable by devices that do not require tight grasping or twisting of wrist.

4.16.8 Flush thresholds throughout the building shall be a max of 13mm in height.

4.16.9 The above-noted requirements for doors do not apply to mechanical rooms, services areas, closets etc. where through access is not required and access to a person with a disability is not anticipated.

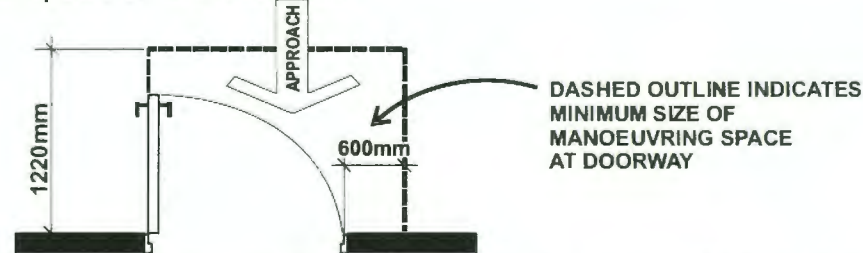
4.16.10 Clear openings shall be measured



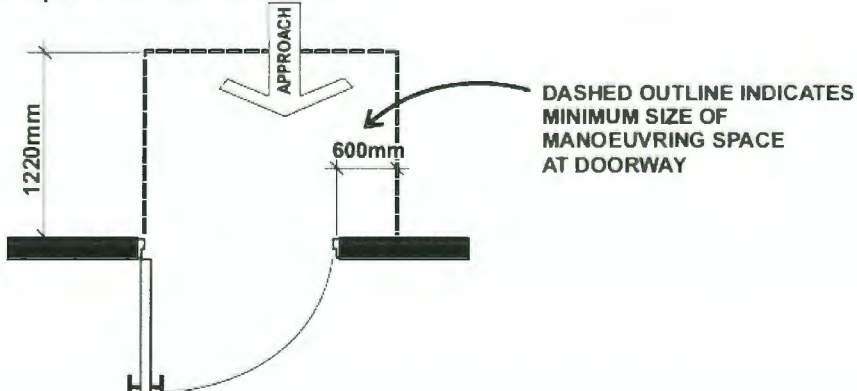
### Manoeuvring Space at Doorways

4.16.11 Entry doors to every dwelling unit and door assemblies in common areas shall have a clear and level area which is not less than the following:

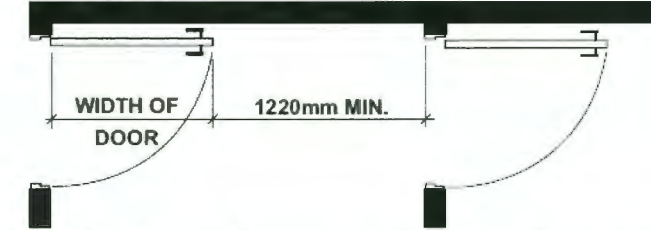
a) where the door swings toward the area (pull door), 1220mm long by the width of the door plus at least 600mm clear space on the latch side



b) where the door swings away the area (push door), 1220mm long by the width of the door plus at least 600mm clear space on the latch side



c) where there are doors in a series in common areas, there must be a separation of at least 1220mm plus the width of the door



d) entry doors to every dwelling unit are exempted from the requirement to provide the 1220mm long clear area and 600mm clear space if rough in wiring is provided for future conversion for an automatic door opener.

### Corridor Widths

4.16.12 Common corridors shall be no less than 1220mm wide.

### Floor Surfaces

4.16.13 Floor surfaces throughout the building shall have no abrupt changes in level, i.e. a max. break of the flush threshold of 13mm in height.

4.16.14 Floor surfaces shall be slip resistant.

4.16.15 Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 13mm height.

### Windows

4.16.16 Windows which are accessible shall have a window sill height that does not exceed 750mm above the floor to afford seated viewing. At least one window in the bedroom and one window in the living room shall afford such seated viewing.

4.16.17 Windows which are accessible shall have opening mechanisms operable with one hand and of a type that does not require tight grasping, pinching or twisting of the unit.

### Outlets and Switches

4.16.18 Light switches, electrical panels and intercom buttons shall be a max 1220mm from the floor.

4.16.19 Electrical outlets, cable outlets and telephone jacks shall be located not less than 450mm from the floor.

4.16.20 Thermostats shall be located between 900mm to 1350mm from the floor.

4.16.21 The operable part of controls shall be located with reach of a clear floor area that has a width of not less than 750mm.

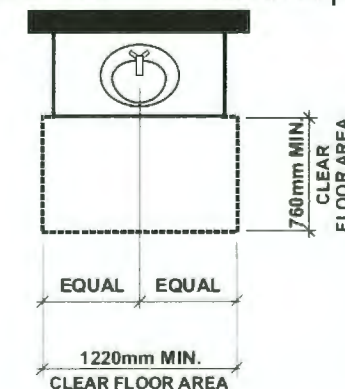
4.16.22 Light switches will be rocker or paddle-type switches.

### Bathrooms

4.16.23 At least one bathroom shall:

a) have a toilet positioned with the center line of the toilet 420mm to 480mm from a side wall on which a grab bar can be installed and at least 1020mm from any obstruction on the non-grab side or in front of the toilet; and

b) have a clear floor area at the sink of 760mm X 1220mm positioned for a parallel approach and centered on the sink.



**Thind**  
PROPERTIES



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond

Richmond, B.C. Canada

DP 19-881156

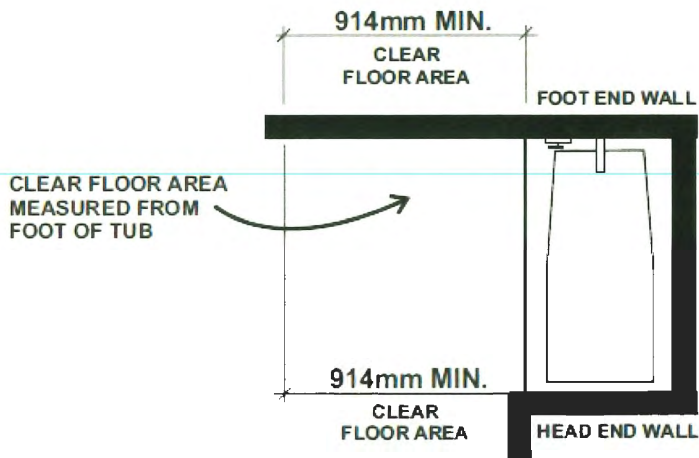
Date: August 11, 2021

**PLAN #10b-1 - DEVELOPMENT DETAILS**  
**BASIC UNIVERSAL HOUSING UNITS**



ZONING BYLAW BUH REQUIREMENTS (CONT'D)

c) have a min clear area of 914mm in depth along the full length of the bathtub.



- d) have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and
- e) include easy to grasp handles on faucets, e.g. lever-type faucets

**Kitchens**

4.16.25 The kitchen must have:

- a) some usable counter space and supboards that can be easily accessed by people with disabilities, including people with wheelhairs, e.g. continuous counter between the stove and sink adajustable shelves in all cabinets; pull-out work boards at 810mm height and pull-out cabinet shelves
- b) easy to grasp handles on faucets, e.g. lever-type faucets
- c) easy to reach and grasp handles on cupboards, e.g. D or J type caibinet handles and grab edges under counters;
- d) task lighting at sink, stove and key work areas; and
- e) plumbing and utility pipes located to provide for a potential 810mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

**Bedroom and Closet**

4.16.26 The space around a bed in a dwelling unit that consist of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500mm on one side of a double bed.

4.16.27 The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900mm clear floor space of at least 750mm X 1200mm and a clothes hanger rod than can be lowered to 1200mm.

**Patios and Balconies**

4.16.28 Access (patio) doors shall have a min, clear opening of 860mm.

4.16.29 Min dimensions of any balcony or patio shall be 1500mm X 500mm.

BUH UNITS COUNT

100% of affordable building units are BUH units, (88 units out of 88 units)

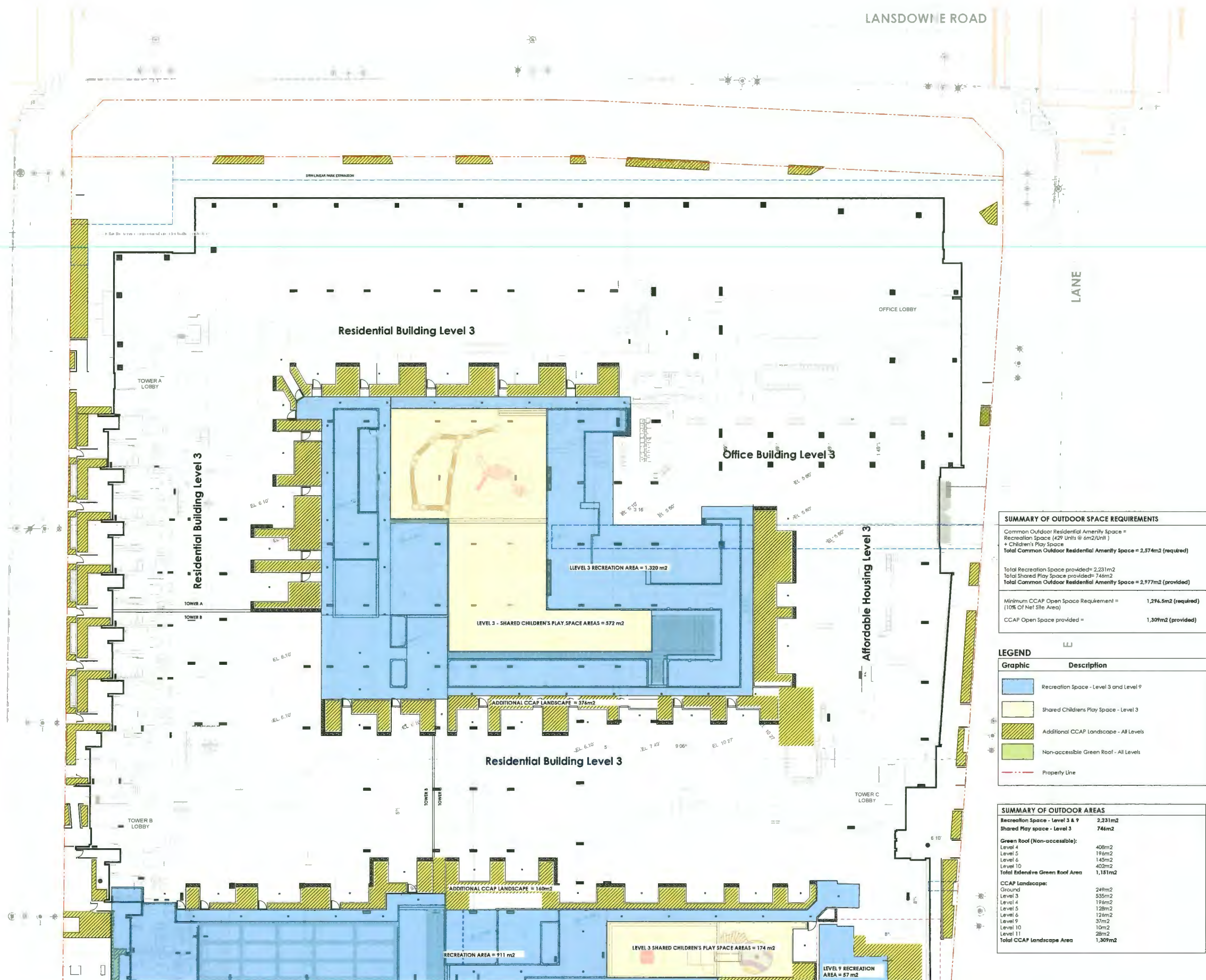
12% of market residential units are BUH units, (41 units out of 341 units)

30.1 % of all units are BUH units (129 units out of 414 units)

(# of Units) Counted for BUH Density Exclusion			
Market	AH	Total	% of Total Units*
41	88	129	30.1%
12% of total unit      100% of total      * Based on 414 total res. units			

100% of non-BUH units shall include aging-in-place features and list the features proposed (e.g., lever door handles; flush thresholds at all exterior doors & balconies; solid blocking in walls for future grab bar installation; etc.)



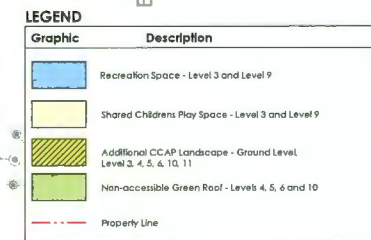


SUMMARY OF OUTDOOR SPACE REQUIREMENTS	
Common Outdoor Residential Amenity Space = Recreation Space (429 Units @ 6m2/Unit ) + Children's Play Space Total Common Outdoor Residential Amenity Space = 2,574m2 (required)	
Total Recreation Space provided= 2,231m2 Total Shared Play Space provided= 746m2 Total Common Outdoor Residential Amenity Space = 2,977m2 (provided)	
Minimum CCAP Open Space Requirement = (10% Of Net Site Area)	1,296.5m2 (required)
CCAP Open Space provided =	1,309m2 (provided)

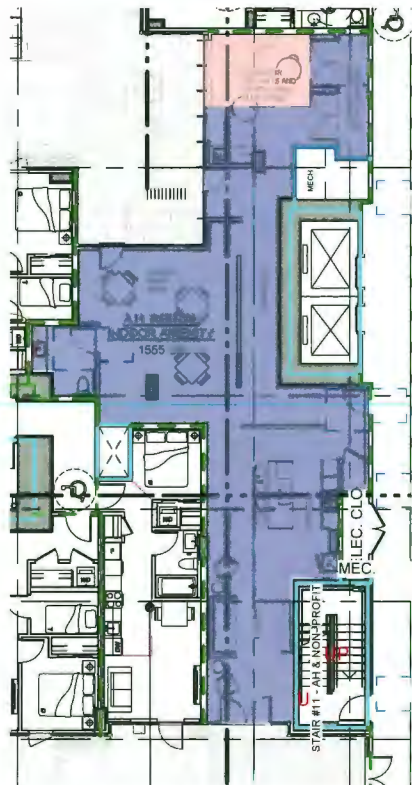
LEGEND	
Graphic	Description
	Recreation Space - Level 3 and Level 9
	Shared Children's Play Space - Level 3
	Additional CCAP Landscape - All Levels
	Non-accessible Green Roof - All Levels
	Property Line

SUMMARY OF OUTDOOR AREAS	
Recreation Space - Level 3 & 9	2,231m2
Shared Play space - Level 3	746m2
Green Roof (Non-accessible):	
Level 4	409m2
Level 5	196m2
Level 6	145m2
Level 10	402m2
Total Extensive Green Roof Area	1,152m2
CCAP Landscape:	
Ground	249m2
Level 3	535m2
Level 4	196m2
Level 5	128m2
Level 6	124m2
Level 9	37m2
Level 10	10m2
Level 11	28m2
Total CCAP Landscape Area	1,309m2







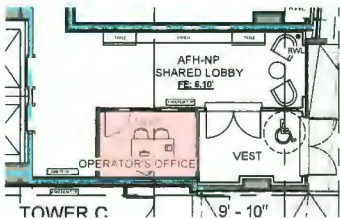


Affordable Housing Indoor Amenity \_L3

1554 SQ FT

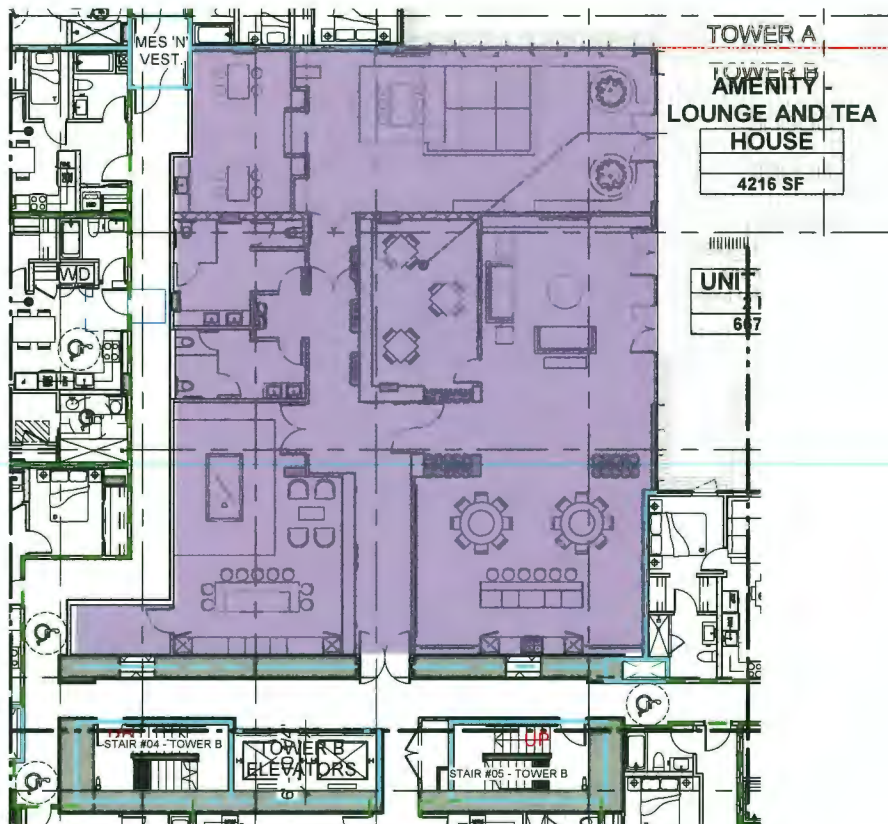
Affordable Housing Operator's Space \_ L3

100 SQ FT



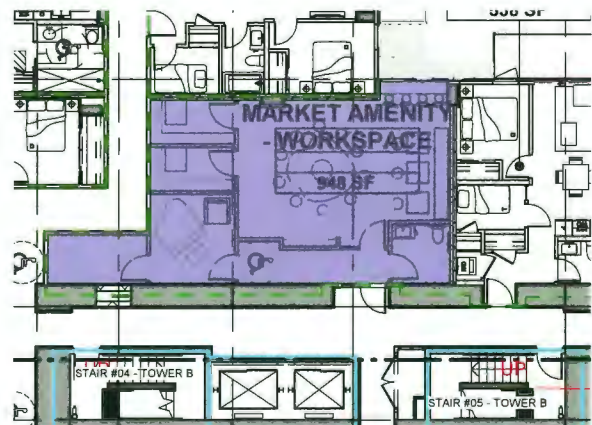
Affordable Housing Operator's Space \_L1

100 SQ FT



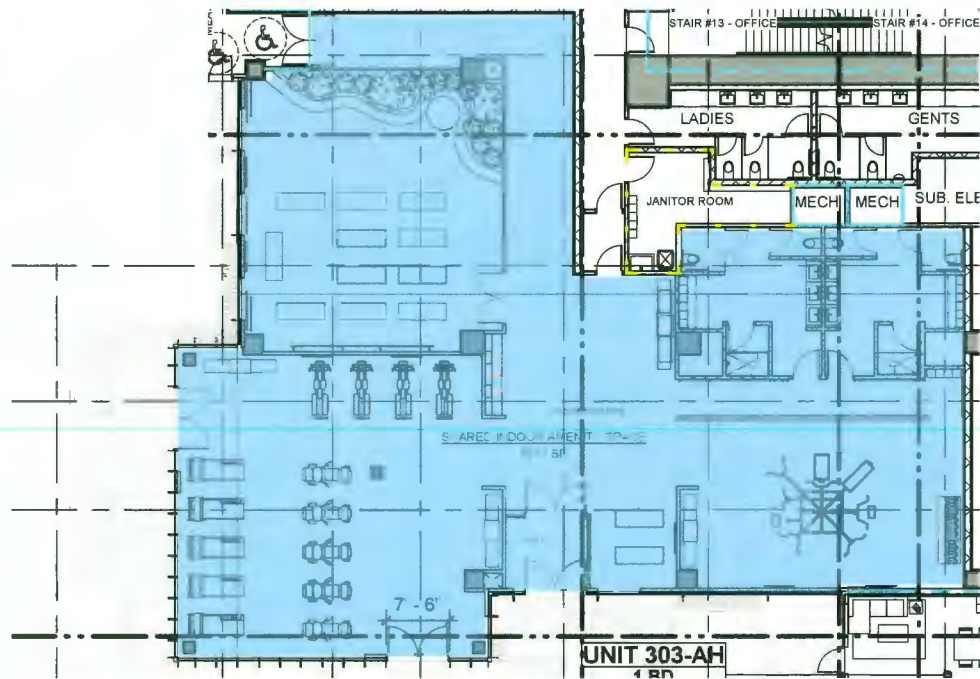
Market Housing Indoor Amenity (Lounge + Tea House) \_L3

4,216 SQ FT



Market Housing Indoor Amenity \_L4

948 SQ FT



Shared Indoor Amenity (Gym)\_L3

5210 SQ FT

Usage of Indoor Amenity

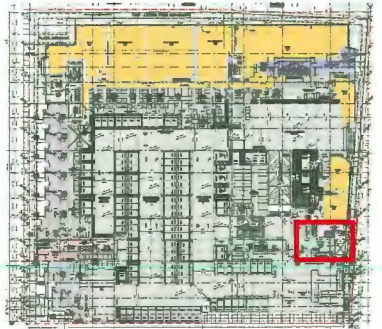
Shared

Market Housing

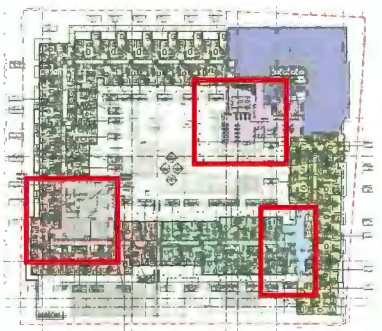
Affordable Housing

Affordable Housing Operator's Space

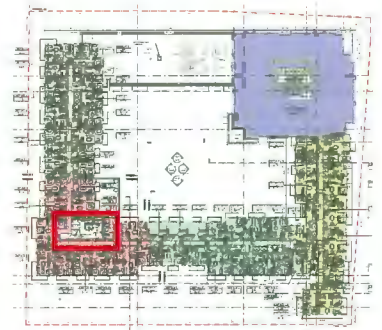
	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Residential Amenity Space – Indoor	<ul style="list-style-type: none"><li>Total: Min. 877.0 m<sup>2</sup> (9,439.9 ft<sup>2</sup>), including:<ul style="list-style-type: none"><li>Market @ 2 m<sup>2</sup>/unit = 682.0 m<sup>2</sup> (7,341.0 ft<sup>2</sup>)</li><li>AH @ 2 m<sup>2</sup>/unit: 176 m<sup>2</sup> (1,894.4 ft<sup>2</sup>)</li><li>Rental Building NP Operator: 18.6 m<sup>2</sup> (200.0 ft<sup>2</sup>) for administration/programs</li></ul></li></ul> <p><b>NOTE:</b> Of the required amenity space, legal agreements registered on title require at least:</p> <ul style="list-style-type: none"><li>For AH residents only: 110.9 m<sup>2</sup> (1,194.0 ft<sup>2</sup>), including 18.6 ft<sup>2</sup> (200.0 ft<sup>2</sup>) for the non-profit housing operator</li><li>For shared AH &amp; Market resident use: 464.5 m<sup>2</sup> (5,000.0 ft<sup>2</sup>)</li></ul>	<ul style="list-style-type: none"><li>Total: 1,117.4 m<sup>2</sup> (12,028.0 ft<sup>2</sup>), including:<ul style="list-style-type: none"><li>Exclusive use:<ul style="list-style-type: none"><li>Market: 479.8 m<sup>2</sup> (5,164.0 ft<sup>2</sup>)</li><li>AH rental building: 153.6 m<sup>2</sup> (1,654.0 ft<sup>2</sup>), including space for exclusive:<ul style="list-style-type: none"><li>AH occupants: 135.0 m<sup>2</sup> (1,454.0 ft<sup>2</sup>)</li><li>AH operator: 18.6 m<sup>2</sup> (200 ft<sup>2</sup>)</li></ul></li></ul></li><li>Shared (AH &amp; Market): 484.0 m<sup>2</sup> (5,210.0 ft<sup>2</sup>)</li></ul></li></ul>	None



L1 Floor Plan



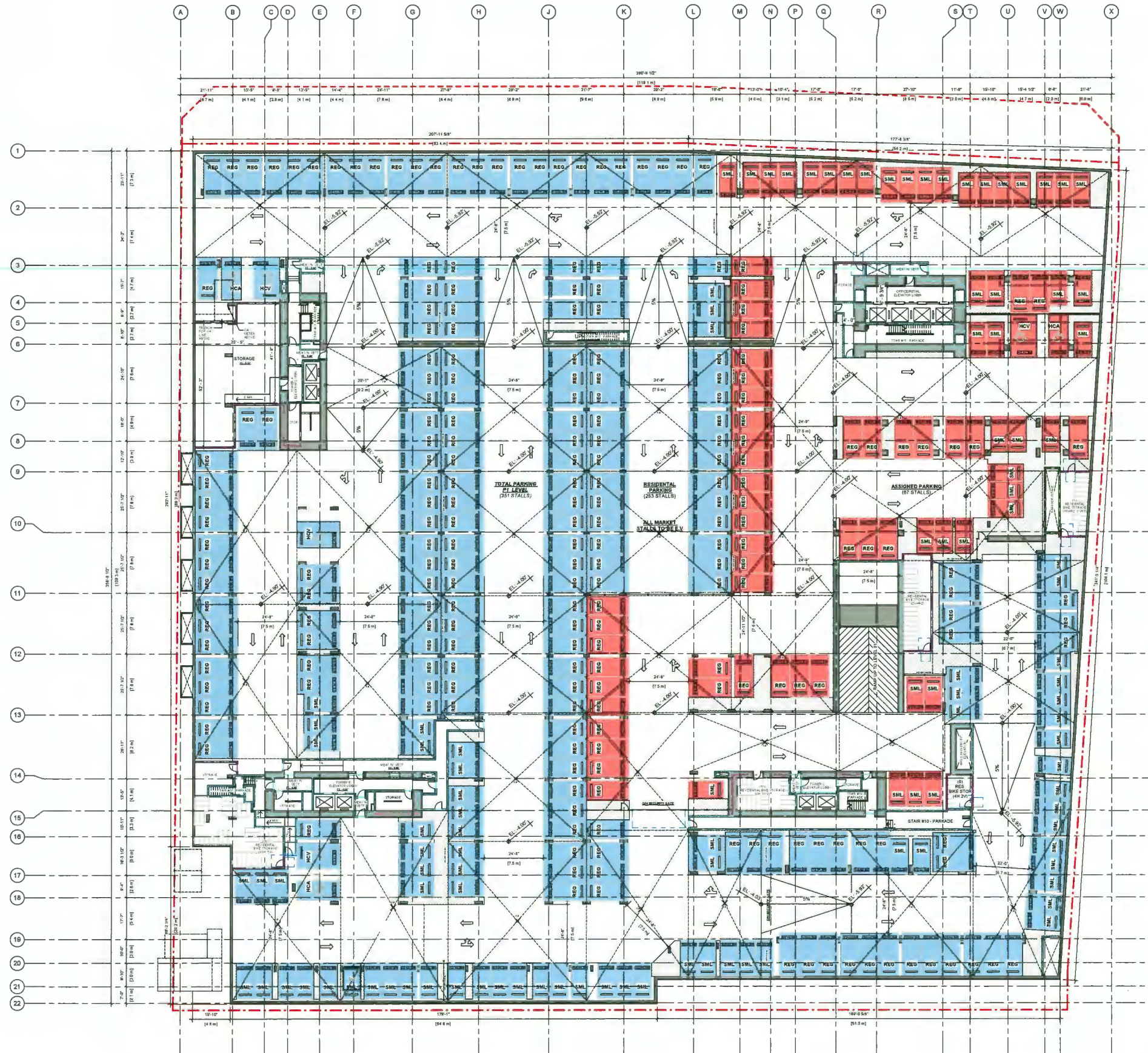
L3 Floor Plan



L4 Floor Plan







	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Parking – TOTAL	<ul style="list-style-type: none"> <li>Total: 624 spaces (after 10% TDM reduction), including:                             <ul style="list-style-type: none"> <li>Residents: 375</li> <li>Non-residential: 247</li> <li>Car-Share: 2</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>Total: 624 spaces, including:                             <ul style="list-style-type: none"> <li>Residents: 375</li> <li>Non-residential: 247</li> <li>Car-Share: 2</li> </ul> </li> </ul>	None
Parking – Residential	<ul style="list-style-type: none"> <li>Total: 375 spaces (after 10% TDM reduction), including:                             <ul style="list-style-type: none"> <li>Market Strata @ 1/unit – 10% = 307</li> <li>AH units @ 0.9/unit – 25% = 60</li> <li>Visitors: 8</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>Total: 375 spaces, including:                             <ul style="list-style-type: none"> <li>Market Strata: 307</li> <li>AH units: 60 (including at least 1 accessible space, 1 van-accessible space, and no more than 30 small spaces)</li> <li>Visitors: 8 (2 spaces for the exclusive use of each residential building)</li> </ul> </li> </ul>	None
Parking – Non-Residential	<ul style="list-style-type: none"> <li>Total: 247 spaces (after 10% TDM reduction), including:                             <ul style="list-style-type: none"> <li>Non-profit social service use @ 3.75/100 m<sup>2</sup> GLA – 10% = 15</li> <li>Office @ 1.275/100 m<sup>2</sup> GLA – 10% = 165</li> <li>Retail @ 3.75/100 m<sup>2</sup> GLA – 10% = 67</li> </ul> </li> <li><b>NOTE: Parking (by use/type) must include a proportional share of accessible/van-accessible spaces (2%) and no more than 50% small car spaces (except where otherwise required by a legal agreement registered on title).</b></li> </ul>	<ul style="list-style-type: none"> <li>Total: 247 spaces, including:                             <ul style="list-style-type: none"> <li>50% Public Parking: 124 secured by legal agreement for general public use</li> <li>50% Assignable Parking: 123, including                                     <ul style="list-style-type: none"> <li>23 spaces secured by legal agreement for the exclusive use of the NPSS tenants &amp; their guests (including at least 1 accessible space, 1 van-accessible space &amp; no more than 12 small spaces)</li> <li>100 spaces that may be sold, leased, or assigned to specific businesses or people</li> </ul> </li> </ul> </li> </ul>	None
Parking – Car-Share	<ul style="list-style-type: none"> <li>2 spaces (car-share use only)</li> </ul>	<ul style="list-style-type: none"> <li>2 spaces (car-share use only)</li> </ul>	None
Electric Vehicle (EV) Charging	<ul style="list-style-type: none"> <li>For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including:                             <ul style="list-style-type: none"> <li>100% AH &amp; Market Strata resident parking spaces (This excludes visitor parking.)</li> <li>5% of non-residential parking, including:                                     <ul style="list-style-type: none"> <li>12 NPSS parking spaces</li> <li>2 Car-share parking spaces</li> </ul> </li> </ul> </li> <li>For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each:                             <ul style="list-style-type: none"> <li>Residential (AH &amp; Market Strata) bike storage room</li> <li>Non-residential bike storage room</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including:                             <ul style="list-style-type: none"> <li>Market Strata parking spaces: 307</li> <li>AH rental building parking spaces: 60</li> <li>NPSS parking spaces: 12</li> <li>Car-share parking spaces: 2</li> </ul> </li> <li>For Class 1 bike storage: Energized 120V duplex receptacles including at least:                             <ul style="list-style-type: none"> <li>58 for Market Strata bike storage</li> <li>15 for AH rental building bike storage</li> <li>5 for non-residential bike storage room</li> </ul> </li> </ul>	None

**PARKING & EV DISTRIBUTION**

Use	P1	L1	L2	Total
<b>Residential Parking</b>				375, including:
• Market strata	254 (254 EV)	0	53 (53 EV)	• 307 (307 EV)
• AH units	0	0	60 (60 EV)	• 60 (60 EV)
• Residential Visitors	0	8	0	• 8
<b>Non-Residential Parking</b>				247 including:
• Public Parking	0	101	23	• 124
• Assignable Parking – NPSS	0	0	23 (12 EV)	• 23 (12 EV)
• Assignable Parking – Others	87	13	0	• 100
• Car-Share	0	2 (2 EV)	0	• 2 spaces (2 EV)
<b>TOTAL</b>	<b>341 (254 EV)</b>	<b>124 (2 EV)</b>	<b>159 (125 EV)</b>	<b>624 (381 EV)</b>

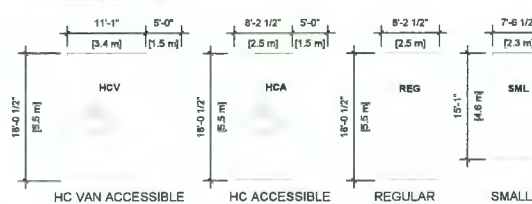
**PARKING COLOR CODE LEGEND**

RESIDENTIAL	
VISITOR	
PUBLIC (NON-RES)	
ASSIGNABLE (NON-RES)	
ASSIGNABLE (NON-PROFIT)	
AFFORDABLE HOUSING	
CAR SHARE	

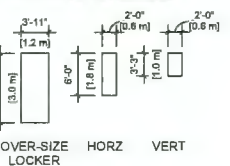
**PARKING SPACE TYPE/SIZE BY USE**

Use	Accessible	Van-Accessible	Standard	Small Car	Total
<b>Residential Parking</b>					375, including:
• Market strata	3	4	196	104	• 307
• AH units	1	1	50	8	• 60
• Residential Visitors	0	1	3	4	• 8
<b>Non-Residential Parking</b>					247 including:
• Public Parking	2	2	73	47	• 124
• Assignable Parking – NPSS	1	1	9	12	• 23
• Assignable Parking – Others	1	1	49	49	• 100
• Car-Share	0	0	2	0	• 2 spaces
<b>TOTAL</b>	<b>8</b>	<b>10</b>	<b>383</b>	<b>224</b>	<b>624</b>

**CAR STALL SIZES**



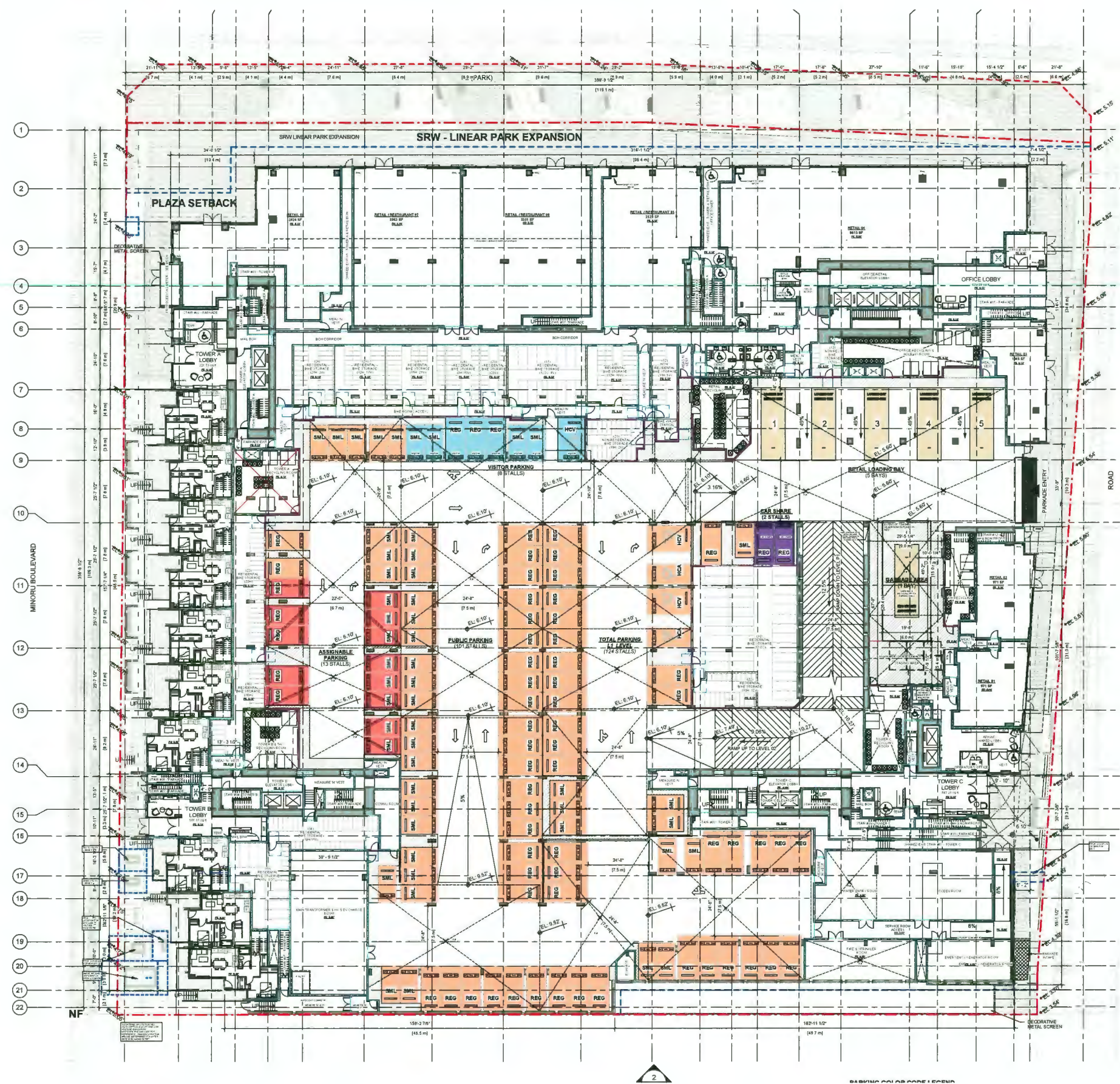
**BICYCLE STALL SIZES**







DP 19-881156  
August 11, 2021  
PLAN # 10e-2



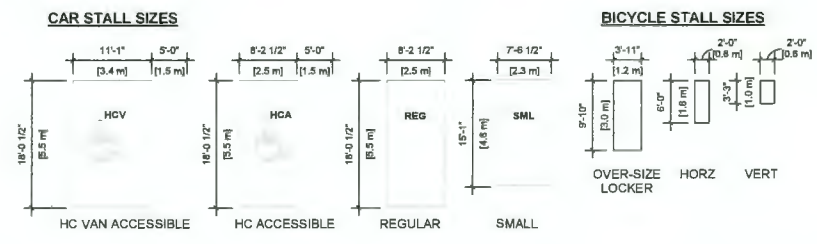
	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Parking – TOTAL	• Total: 624 spaces (after 10% TDM reduction), including: - Residents: 375 - Non-residential: 247 - Car-Share: 2	• Total: 624 spaces, including: - Residents: 375 - Non-residential: 247 - Car-Share: 2	None
Parking – Residential	• Total: 375 spaces (after 10% TDM reduction), including: - Market Strata @ 1/unit – 10% = 307 - AH units @ 0.9/unit – 25% = 60 - Visitors: 8	• Total: 375 spaces, including: - Market Strata: 307 - AH units: 60 (including at least 1 accessible space, 1 van-accessible space, and no more than 30 small spaces) - Visitors: 8 (2 spaces for the exclusive use of each residential building)	None
Parking – Non-Residential	• Total: 247 spaces (after 10% TDM reduction), including: - Non-profit social service use @ 3.75/100 m <sup>2</sup> GLA – 10% = 15 - Office @ 1.275/100 m <sup>2</sup> GLA – 10% = 165 - Retail @ 3.75/100 m <sup>2</sup> GLA – 10% = 67  <i>NOTE: Parking (by use/type) must include a proportional share of accessible/van-accessible spaces (2%) and no more than 50% small car spaces (except where otherwise required by a legal agreement registered on title).</i>	• Total: 247 spaces, including: - 50% Public Parking: 124 secured by legal agreement for general public use - 50% Assignable Parking: 123, including: ▪ 23 spaces secured by legal agreement for the exclusive use of the NPSS tenants & their guests (including at least 1 accessible space, 1 van-accessible space & no more than 12 small spaces) ▪ 100 spaces that may be sold, leased, or assigned to specific businesses or people	None
Parking – Car-Share	• 2 spaces (car-share use only)	• 2 spaces (car-share use only)	None
Electric Vehicle (EV) Charging	• For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: - 100% AH & Market Strata resident parking spaces (This excludes visitor parking.) - 5% of non-residential parking, including: ▪ 12 NPSS parking spaces ▪ 2 Car-share parking spaces • For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each: - Residential (AH & Market Strata) bike storage room - Non-residential bike storage room	• For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: - Market Strata parking spaces: 307 - AH rental building parking spaces: 60 - NPSS parking spaces: 12 - Car-share parking spaces: 2 • For Class 1 bike storage: Energized 120V duplex receptacles including at least: - 58 for Market Strata bike storage - 15 for AH rental building bike storage - 5 for non-residential bike storage room	None

Use	P1	L1	L2	Total
Residential Parking				375, including:
• Market strata	254 (254 EV)	0	53 (53 EV)	• 307 (307 EV)
• AH units	0	0	60 (60 EV)	• 60 (60 EV)
• Residential Visitors	0	8	0	• 8
Non-Residential Parking				247 including:
• Public Parking	0	101	23	• 124
• Assignable Parking – NPSS	0	0	23 (12 EV)	• 23 (12 EV)
• Assignable Parking – Others	87	13	0	• 100
Car-Share	0	2 (2 EV)	0	2 spaces (2 EV)
TOTAL	341 (254 EV)	124 (2 EV)	159 (125 EV)	624 (381 EV)

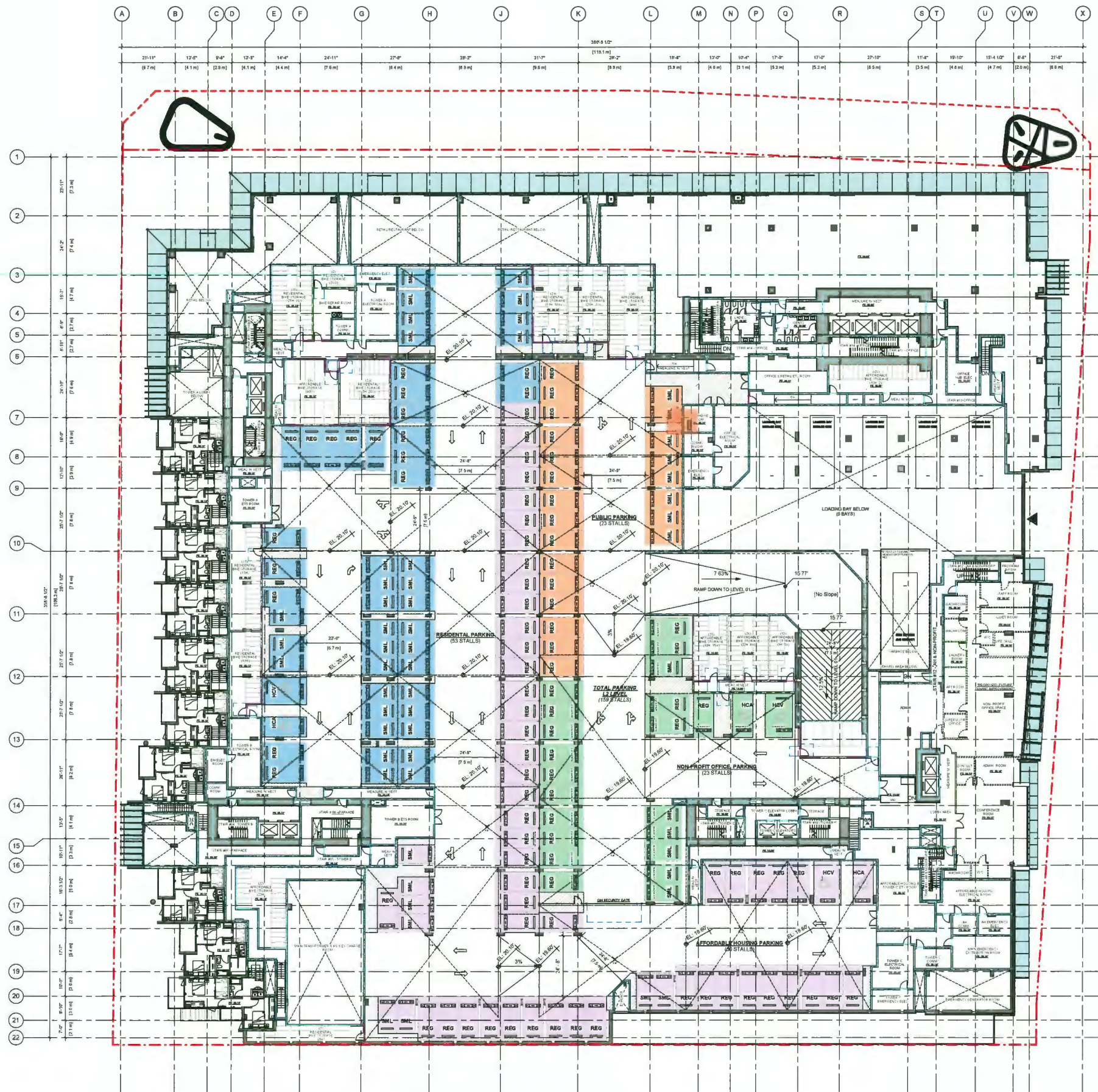
**PARKING COLOR CODE LEGEND**

RESIDENTIAL	
VISITOR	
PUBLIC (NON-RES)	
ASSIGNABLE (NON-RES)	
ASSIGNABLE (NON-PROFIT)	
AFFORDABLE HOUSING	
CAR SHARE	

Use	Accessible	Van-Accessible	Standard	Small Car	Total
Residential Parking					375, including:
• Market strata	3	4	196	104	• 307
• AH units	1	1	50	8	• 60
• Residential Visitors	0	1	3	4	• 8
Non-Residential Parking					247 including:
• Public Parking	2	2	73	47	• 124
• Assignable Parking – NPSS	1	1	9	12	• 23
• Assignable Parking – Others	1	1	49	49	• 100
Car-Share	0	0	2	0	2 spaces
TOTAL	8	10	383	224	624







ZMU46 Bylaw / Rezoning Requirements		Proposed	Variance
Parking – TOTAL	<ul style="list-style-type: none"><li>Total: 624 spaces (after 10% TDM reduction), including:<ul style="list-style-type: none"><li>Residents: 375</li><li>Non-residential: 247</li><li>Car-Share: 2</li></ul></li></ul>	<ul style="list-style-type: none"><li>Total: 624 spaces, including:<ul style="list-style-type: none"><li>Residents: 375</li><li>Non-residential: 247</li><li>Car-Share: 2</li></ul></li></ul>	None
Parking – Residential	<ul style="list-style-type: none"><li>Total: 375 spaces (after 10% TDM reduction), including:<ul style="list-style-type: none"><li>Market Strata @ 1/unit – 10% = 307</li><li>AH units @ 0.9/unit – 25% = 60</li><li>Visitors: 8</li></ul></li></ul>	<ul style="list-style-type: none"><li>Total: 375 spaces, including:<ul style="list-style-type: none"><li>Market Strata: 307</li><li>AH units: 60 (including at least 1 accessible space, 1 van-accessible space, and no more than 30 small spaces)</li><li>Visitors: 8 (2 spaces for the exclusive use of each residential building)</li></ul></li></ul>	None
Parking – Non-Residential	<ul style="list-style-type: none"><li>Total: 247 spaces (after 10% TDM reduction), including:<ul style="list-style-type: none"><li>Non-profit social service use @ 3.75/100 m<sup>2</sup> GLA – 10% = 15</li><li>Office @ 1.275/100 m<sup>2</sup> GLA – 10% = 165</li><li>Retail @ 3.75/100 m<sup>2</sup> GLA – 10% = 67</li></ul></li></ul> <p><b>NOTE:</b> Parking (by use/type) must include a proportional share of accessible/van-accessible spaces (2%) and no more than 50% small car spaces (except where otherwise required by a legal agreement registered on title).</p>	<ul style="list-style-type: none"><li>Total: 247 spaces, including:<ul style="list-style-type: none"><li>50% Public Parking: 124 secured by legal agreement for general public use</li><li>50% Assignable Parking: 123, including<ul style="list-style-type: none"><li>23 spaces secured by legal agreement for the exclusive use of the NPSS tenants &amp; their guests (including at least 1 accessible space, 1 van-accessible space &amp; no more than 12 small spaces)</li><li>100 spaces that may be sold, leased, or assigned to specific businesses or people</li></ul></li></ul></li></ul>	None
Parking – Car-Share	<ul style="list-style-type: none"><li>2 spaces (car-share use only)</li></ul>	<ul style="list-style-type: none"><li>2 spaces (car-share use only)</li></ul>	None
Electric Vehicle (EV) Charging	<ul style="list-style-type: none"><li>For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including:<ul style="list-style-type: none"><li>100% AH &amp; Market Strata resident parking spaces (This excludes visitor parking.)</li><li>5% of non-residential parking, including:<ul style="list-style-type: none"><li>12 NPSS parking spaces</li><li>2 Car-share parking spaces</li></ul></li></ul></li><li>For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each:<ul style="list-style-type: none"><li>Residential (AH &amp; Market Strata) bike storage room</li><li>Non-residential bike storage room</li></ul></li></ul>	<ul style="list-style-type: none"><li>For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including:<ul style="list-style-type: none"><li>Market Strata parking spaces: 307</li><li>AH rental building parking spaces: 60</li><li>NPSS parking spaces: 12</li><li>Car-share parking spaces: 2</li></ul></li><li>For Class 1 bike storage: Energized 120V duplex receptacles including at least:<ul style="list-style-type: none"><li>58 for Market Strata bike storage</li><li>15 for AH rental building bike storage</li><li>5 for non-residential bike storage room</li></ul></li></ul>	None

PARKING & EV DISTRIBUTION

Use	P1	L1	L2	Total
Residential Parking				375, including:
• Market strata	254 (254 EV)	0	53 (53 EV)	• 307 (307 EV)
• AH units	0	0	60 (60 EV)	• 60 (60 EV)
• Residential Visitors	0	8	0	• 8
Non-Residential Parking				247 including:
• Public Parking	0	101	23	• 124
• Assignable Parking – NPSS	0	0	23 (12 EV)	• 23 (12 EV)
• Assignable Parking – Others	87	13	0	• 100
Car-Share	0	2 (2 EV)	0	2 spaces (2 EV)
TOTAL	341 (254 EV)	124 (2 EV)	159 (125 EV)	624 (381 EV)

PARKING COLOR CODE LEGEND

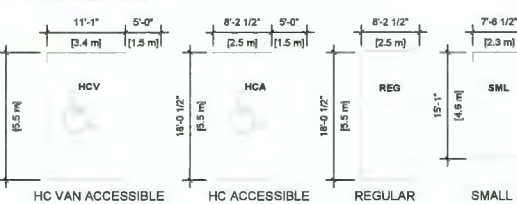
RESIDENTIAL	
VISITOR	
PUBLIC (NON-RES)	
ASSIGNABLE (NON-RES)	
ASSIGNABLE (NON-PROFIT)	
AFFORDABLE HOUSING	
CAR SHARE	

PARKING SPACE TYPE/SIZE BY USE

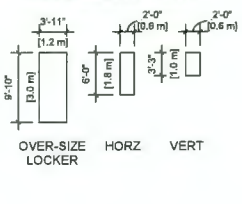
Use	Accessible	Van-Accessible	Standard	Small Car	Total
Residential Parking					375, including:
• Market strata	3	4	196	104	• 307
• AH units	1	1	50	8	• 60
• Residential Visitors	0	1	3	4	• 8
Non-Residential Parking					247 including:
• Public Parking	2	2	73	47	• 124
• Assignable Parking – NPSS	1	1	9	12	• 23
• Assignable Parking – Others	1	1	49	49	• 100
Car-Share	0	0	2	0	2 spaces
TOTAL	8	10	383	224	624

EV Charge Room

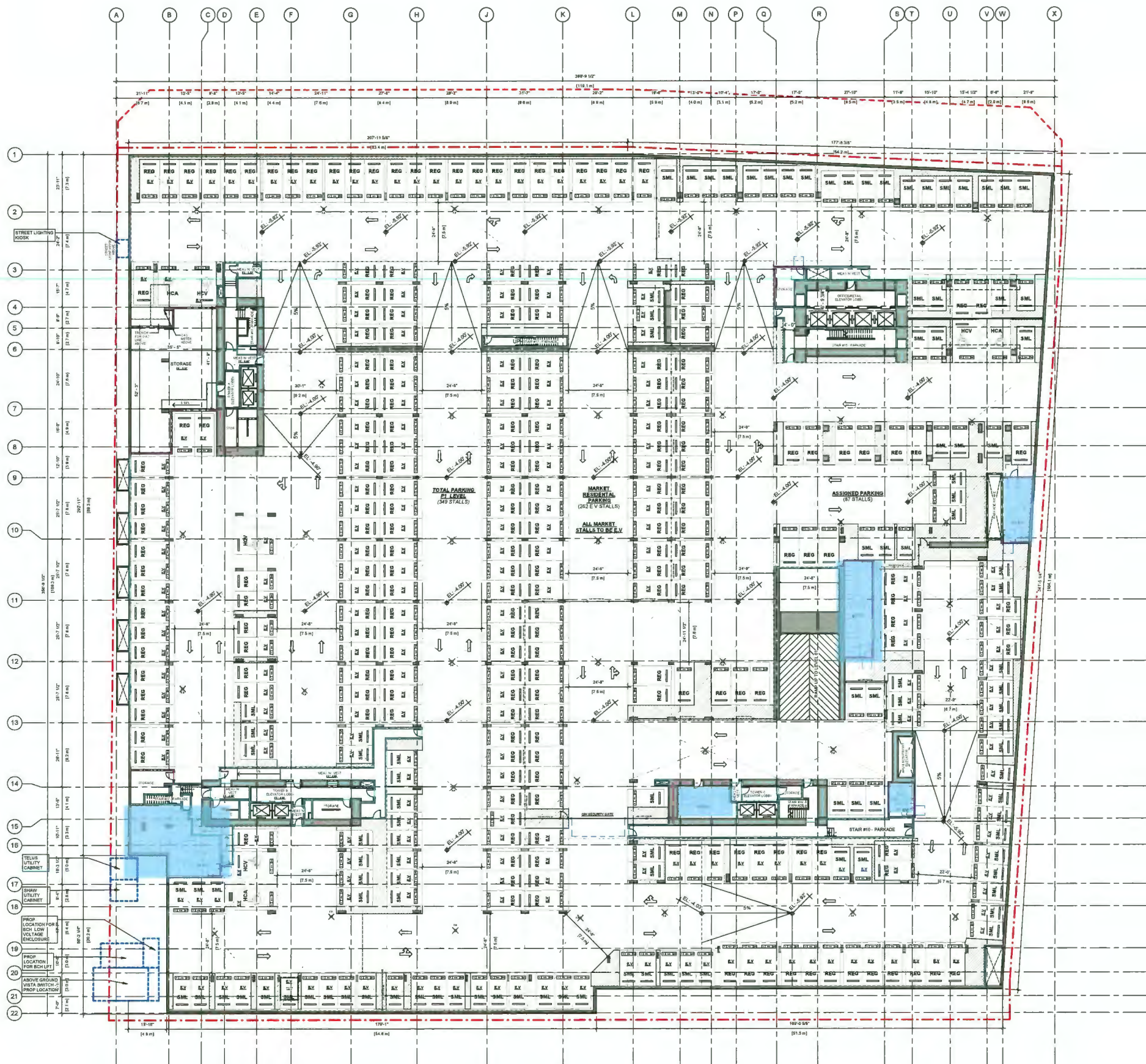
CAR STALL SIZES



BICYCLE STALL SIZES







ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
<b>Class 1 Bike Storage (Secured)</b> <ul style="list-style-type: none"><li>Total: 775 spaces, including -<ul style="list-style-type: none"><li>Non-Residential @ 0.27/100 m<sup>2</sup> GLA: 45</li><li>Residents @ 1.7/unit: 730 including:<ul style="list-style-type: none"><li>Market: 522 standard size &amp; 58 over-size</li><li>AH: 135 standard size &amp; 15 over-size</li></ul></li></ul></li></ul>	<ul style="list-style-type: none"><li>Total: 775 spaces, including -<ul style="list-style-type: none"><li>Non-Residential: 45</li><li>Residents: 730 including:<ul style="list-style-type: none"><li>580 Market strata (522 standard &amp; 58 over-size)</li><li>150 AH (135 standard &amp; 15 over-size)</li></ul></li></ul></li></ul>	
<b>Class 2 Bike Storage (Public use)</b> <ul style="list-style-type: none"><li>Total: 154, including:<ul style="list-style-type: none"><li>Non-Residential @ 0.4/100 m<sup>2</sup> GLA: 68</li><li>Residents @ 0.2/unit = 86</li></ul></li></ul>	<ul style="list-style-type: none"><li>154 located outdoors around the perimeter of the site</li></ul>	None
<b>Electric Vehicle (EV) Charging</b> <ul style="list-style-type: none"><li>For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including:<ul style="list-style-type: none"><li>100% AH &amp; Market Strata resident parking spaces (This excludes visitor parking.)</li><li>5% of non-residential parking, including:<ul style="list-style-type: none"><li>12 NPSS parking spaces</li><li>2 Car-share parking spaces</li></ul></li></ul></li><li>For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each:<ul style="list-style-type: none"><li>Residential (AH &amp; Market Strata) bike storage room</li><li>Non-residential bike storage room</li></ul></li></ul>	<ul style="list-style-type: none"><li>For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including:<ul style="list-style-type: none"><li>Market Strata parking spaces: 307</li><li>AH rental building parking spaces: 60</li><li>NPSS parking spaces: 12</li><li>Car-share parking spaces: 2</li></ul></li><li>For Class 1 bike storage: Energized 120V duplex receptacles including at least:<ul style="list-style-type: none"><li>58 for Market Strata bike storage</li><li>15 for AH rental building bike storage</li><li>5 for non-residential bike storage room</li></ul></li></ul>	None

Residential Class 1 Bike Storage



**Thind**  
PROPERTIES



IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

5740, 5760, 5800 Minoru Blvd., Richmond

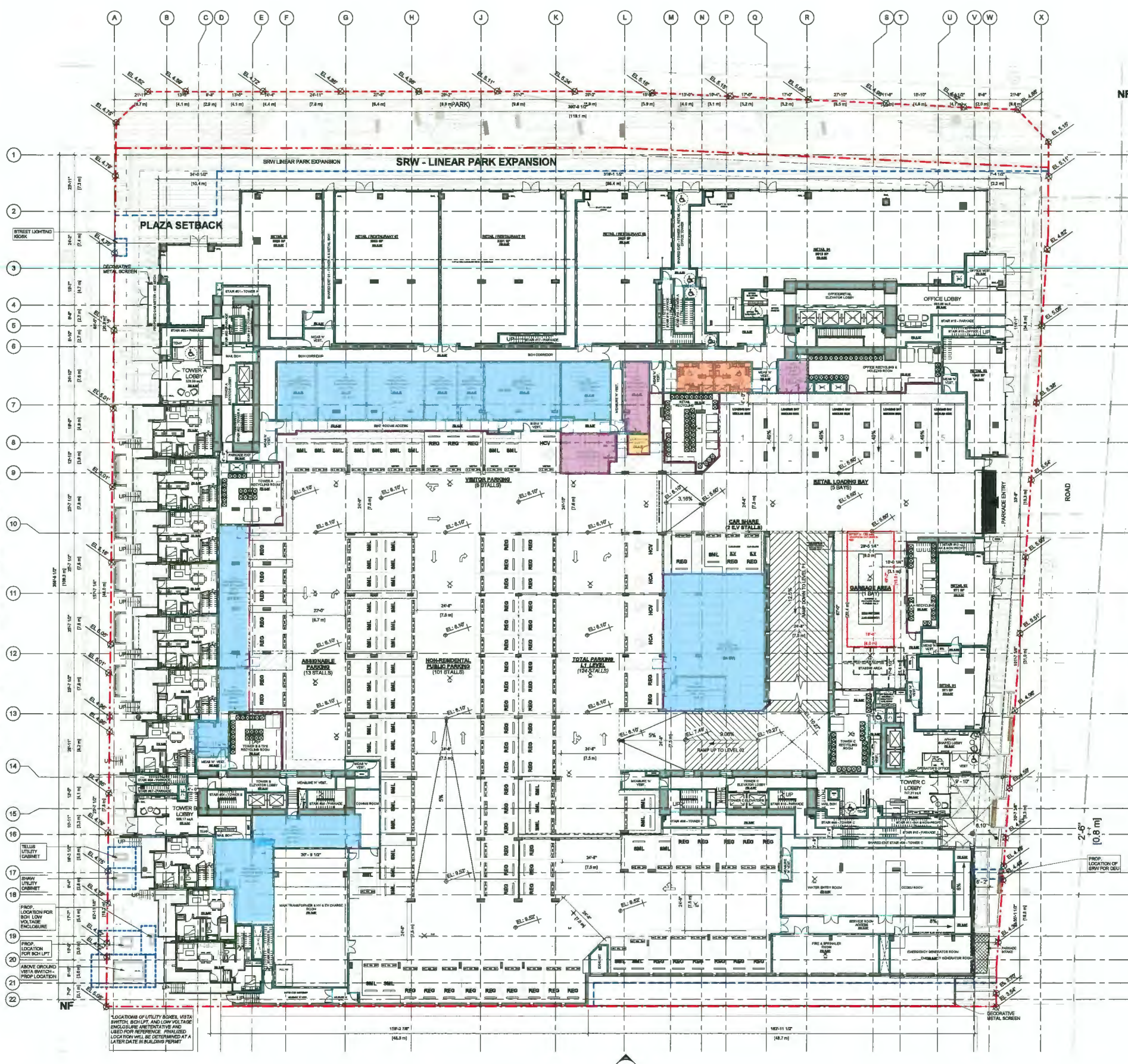
Richmond, B.C. Canada

DP 19-881156

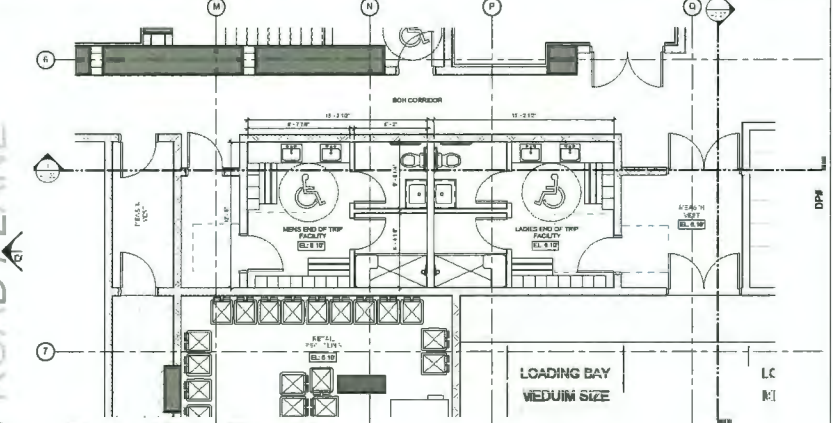
Date: August 11, 2021

PLAN #10f-1 - DEVELOPMENT DETAILS  
COMMERCIAL CLASS 1 BIKE STORAGE/EV  
P1

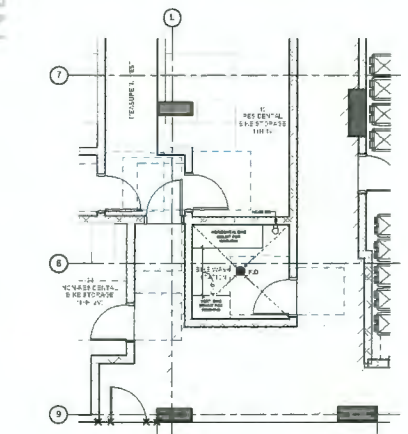




ZMU46 Bylaw / Rezoning Requirements		Proposed	Variance
Class 1 Bike Storage (Secured)	<ul style="list-style-type: none"><li>Total: 775 spaces, including -</li><li>- Non-Residential @ 0.27/100 m<sup>2</sup> GLA: 45</li><li>- Residents @ 1.7/unit: 730 including:<ul style="list-style-type: none"><li>▪ Market: 522 standard size &amp; 58 over-size</li><li>▪ AH: 135 standard size &amp; 15 over-size</li></ul></li></ul>	<ul style="list-style-type: none"><li>Total: 775 spaces including -</li><li>- Non-Residential: 45</li><li>- Residents: 730 including:<ul style="list-style-type: none"><li>▪ 580 Market strata (522 standard &amp; 58 over-size)</li><li>▪ 150 AH (135 standard &amp; 15 over-size)</li></ul></li></ul>	
Class 2 Bike Storage (Public use)	<ul style="list-style-type: none"><li>Total: 154, including:<ul style="list-style-type: none"><li>- Non-Residential @ 0.4/100 m<sup>2</sup> GLA: 68</li><li>- Residents @ 0.2/unit = 86</li></ul></li></ul>	<ul style="list-style-type: none"><li>154 located outdoors around the perimeter of the site</li></ul>	None
Electric Vehicle (EV) Charging	<ul style="list-style-type: none"><li>For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing) including:<ul style="list-style-type: none"><li>- 100% AH &amp; Market Strata resident parking spaces (This excludes visitor parking.)</li><li>- 5% of non-residential parking, including:<ul style="list-style-type: none"><li>▪ 12 NPSS parking spaces</li><li>▪ 2 Car-share parking spaces</li></ul></li></ul></li><li>For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each:<ul style="list-style-type: none"><li>- Residential (AH &amp; Market Strata) bike storage room</li><li>- Non-residential bike storage room</li></ul></li></ul>	<ul style="list-style-type: none"><li>For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including:<ul style="list-style-type: none"><li>- Market Strata parking spaces: 307</li><li>- AH rental building parking spaces: 60</li><li>- NPSS parking spaces: 12</li><li>- Car-share parking spaces: 2</li></ul></li><li>For Class 1 bike storage: Energized 120V duplex receptacles including at least:<ul style="list-style-type: none"><li>- 58 for Market Strata bike storage</li><li>- 15 for AH rental building bike storage</li><li>- 5 for non-residential bike storage room</li></ul></li></ul>	None



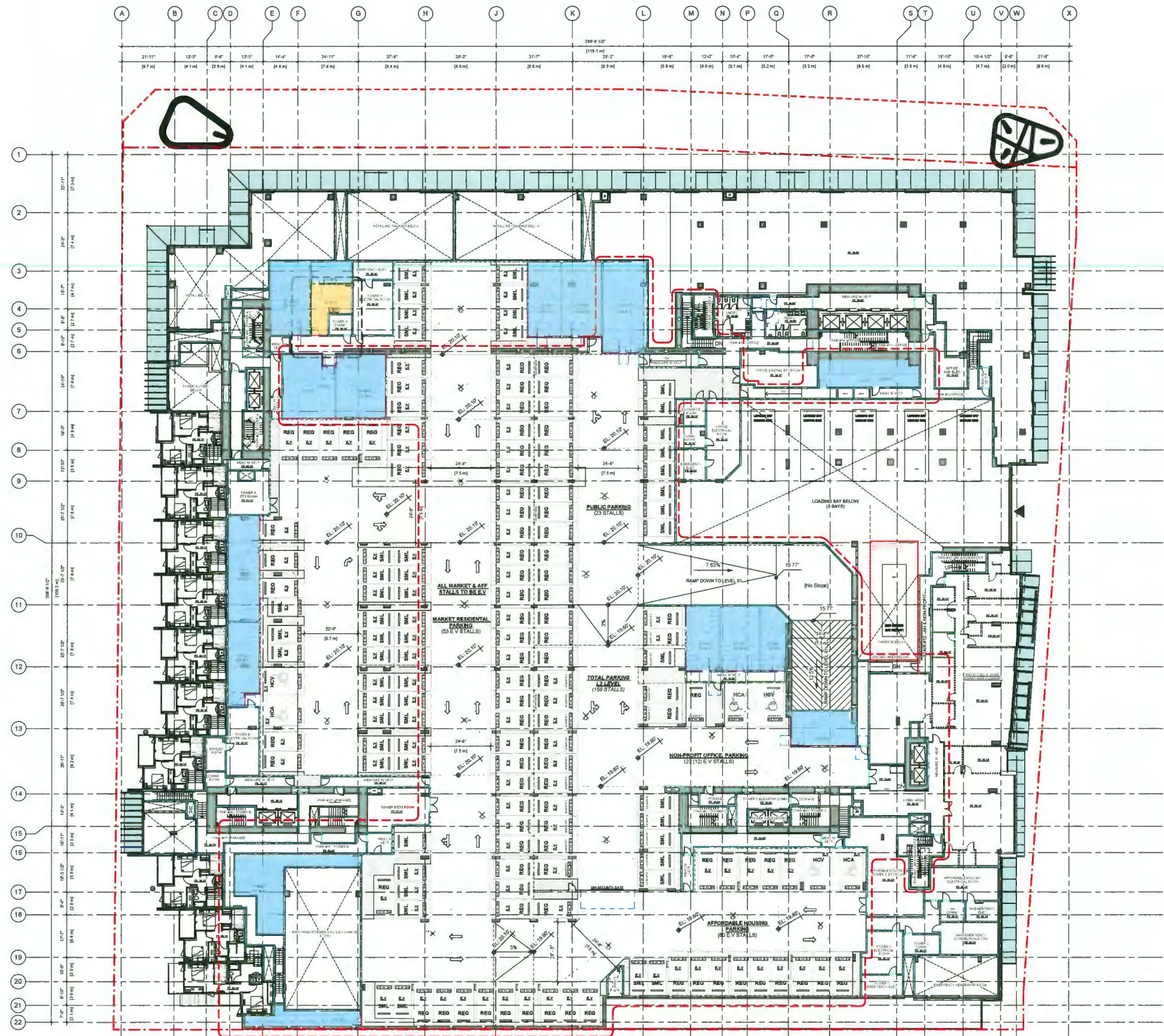
End of Trip Facilities



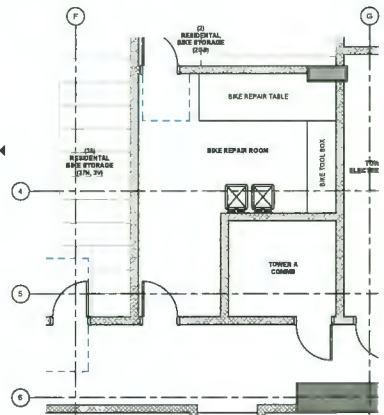
Bike Maintenance Facilities

- Residential Class 1 Bike Storage
- End of Trip Facilities
- Bike Maintenance Facilities
- Commercial Class 1 Bike Storage





ZMU46 Bylaw / Rezoning Requirements		Proposed	Variance
Class 1 Bike Storage (Secured)	<ul style="list-style-type: none"><li>Total: 775 spaces, including -</li><li>- Non-Residential @ 0.27/100 m<sup>2</sup> GLA: 45</li><li>- Residents @ 1.7/unit: 730 including:<ul style="list-style-type: none"><li>Market: 522 standard size &amp; 58 over-size</li><li>AH: 135 standard size &amp; 15 over-size</li></ul></li></ul>	<ul style="list-style-type: none"><li>Total: 775 spaces, including -</li><li>- Non-Residential: 45</li><li>- Residents: 730 including:<ul style="list-style-type: none"><li>580 Market strata (522 standard &amp; 58 over-size)</li><li>150 AH (135 standard &amp; 15 over-size)</li></ul></li></ul>	
Class 2 Bike Storage (Public use)	<ul style="list-style-type: none"><li>Total: 154, including:<ul style="list-style-type: none"><li>- Non-Residential @ 0.4/100 m<sup>2</sup> GLA: 68</li><li>- Residents @ 0.2/unit = 86</li></ul></li></ul>	<ul style="list-style-type: none"><li>154 located outdoors around the perimeter of the site</li></ul>	None
Electric Vehicle (EV) Charging	<ul style="list-style-type: none"><li>For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including:<ul style="list-style-type: none"><li>100% AH &amp; Market Strata resident parking spaces (This excludes visitor parking.)</li><li>5% of non-residential parking, including:<ul style="list-style-type: none"><li>12 NPSS parking spaces</li><li>2 Car-share parking spaces</li></ul></li></ul></li><li>For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each:<ul style="list-style-type: none"><li>Residential (AH &amp; Market Strata) bike storage room</li><li>Non-residential bike storage room</li></ul></li></ul>	<ul style="list-style-type: none"><li>For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including:<ul style="list-style-type: none"><li>Market Strata parking spaces: 307</li><li>AH rental building parking spaces: 60</li><li>NPSS parking spaces: 12</li><li>Car-share parking spaces: 2</li></ul></li><li>For Class 1 bike storage: Energized 120V duplex receptacles including at least:<ul style="list-style-type: none"><li>58 for Market Strata bike storage</li><li>15 for AH rental building bike storage</li><li>5 for non-residential bike storage room</li></ul></li></ul>	None



Bike Maintenance Facilities on Level 2 include :

- Foot Pump
- Bike Repair stand
- Integrated Bike tools

Bike Wash Station on Level 1 include :

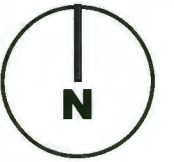
- Hose Bib
- Bike Washing Stand



\* Above are sample images from precedent projects.

- Bike Maintenance Facilities
- Residential Class 1 Bike Storage





ZMU46 Bylaw / Rezoning Requirements		Proposed	Variance
Class 2 Bike Storage (Public use)	<ul style="list-style-type: none"> <li>Total: 154, including:               <ul style="list-style-type: none"> <li>Non-Residential @ 0.4/100 m<sup>2</sup> GLA: 68</li> <li>Residents @ 0.2/unit = 86</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>154 located outdoors around the perimeter of the site</li> </ul>	None





	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Loading	• Medium truck spaces: 5 • Waste pick-up: 1	• Medium truck spaces: 5 • Waste pick-up: 1	None

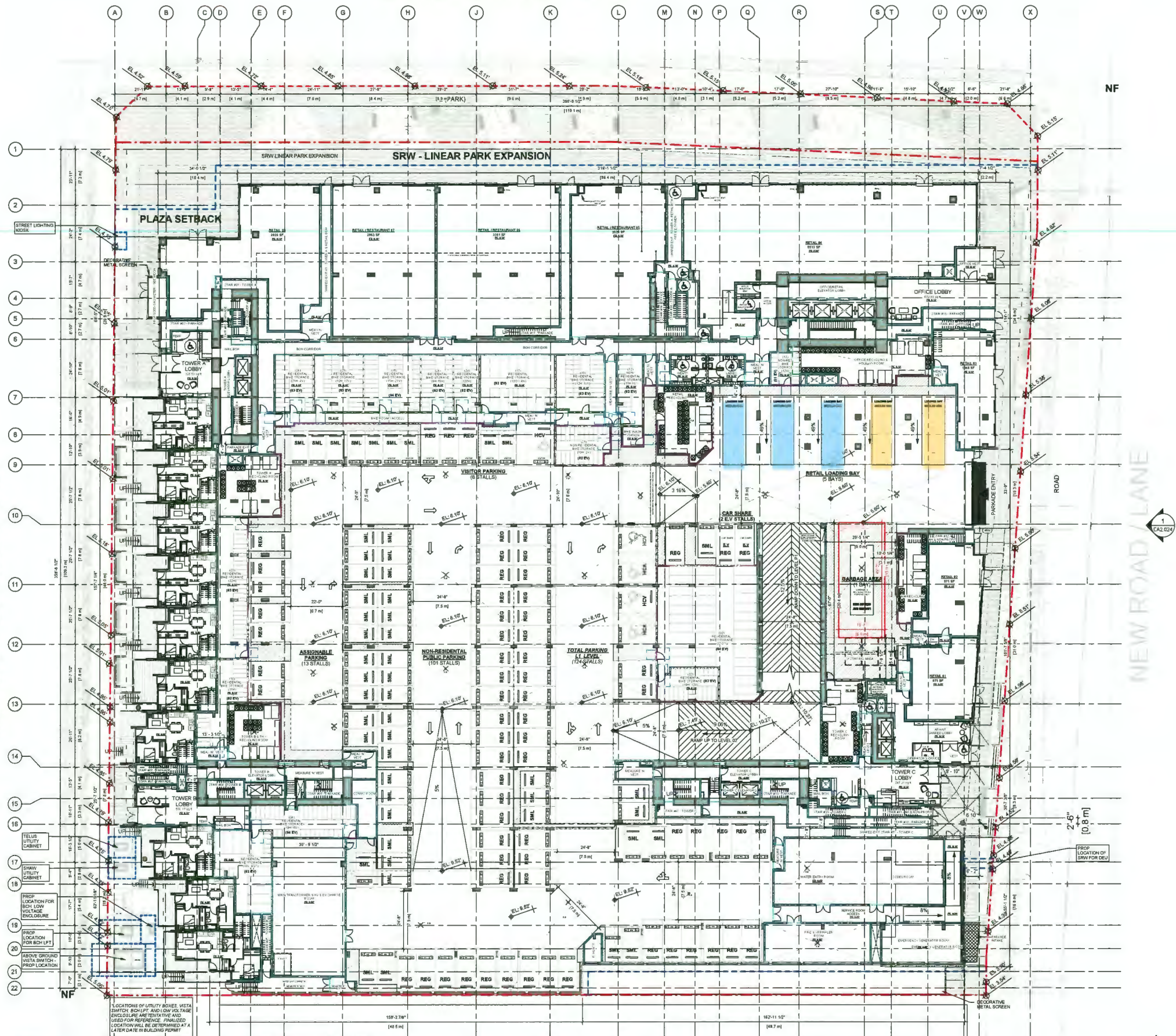
**Required Loading**

Residential 3 (1 per tower)  
Retail/Office 2

**Provided Loading**

Residential 3 (1 per tower)  
Retail/Office 2

Office/Retail Loading  
Residential Loading



**Thind**  
PROPERTIES

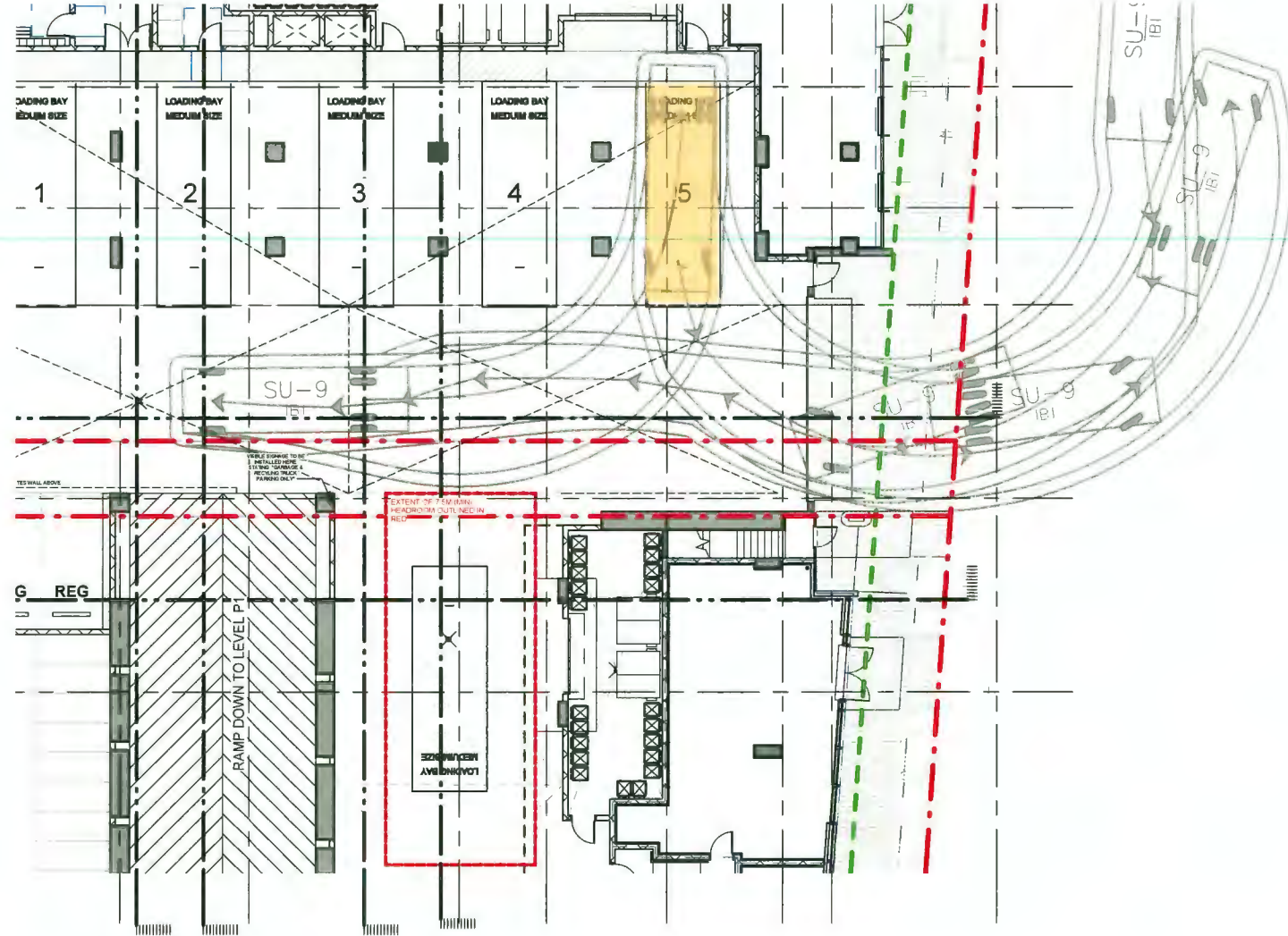


IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

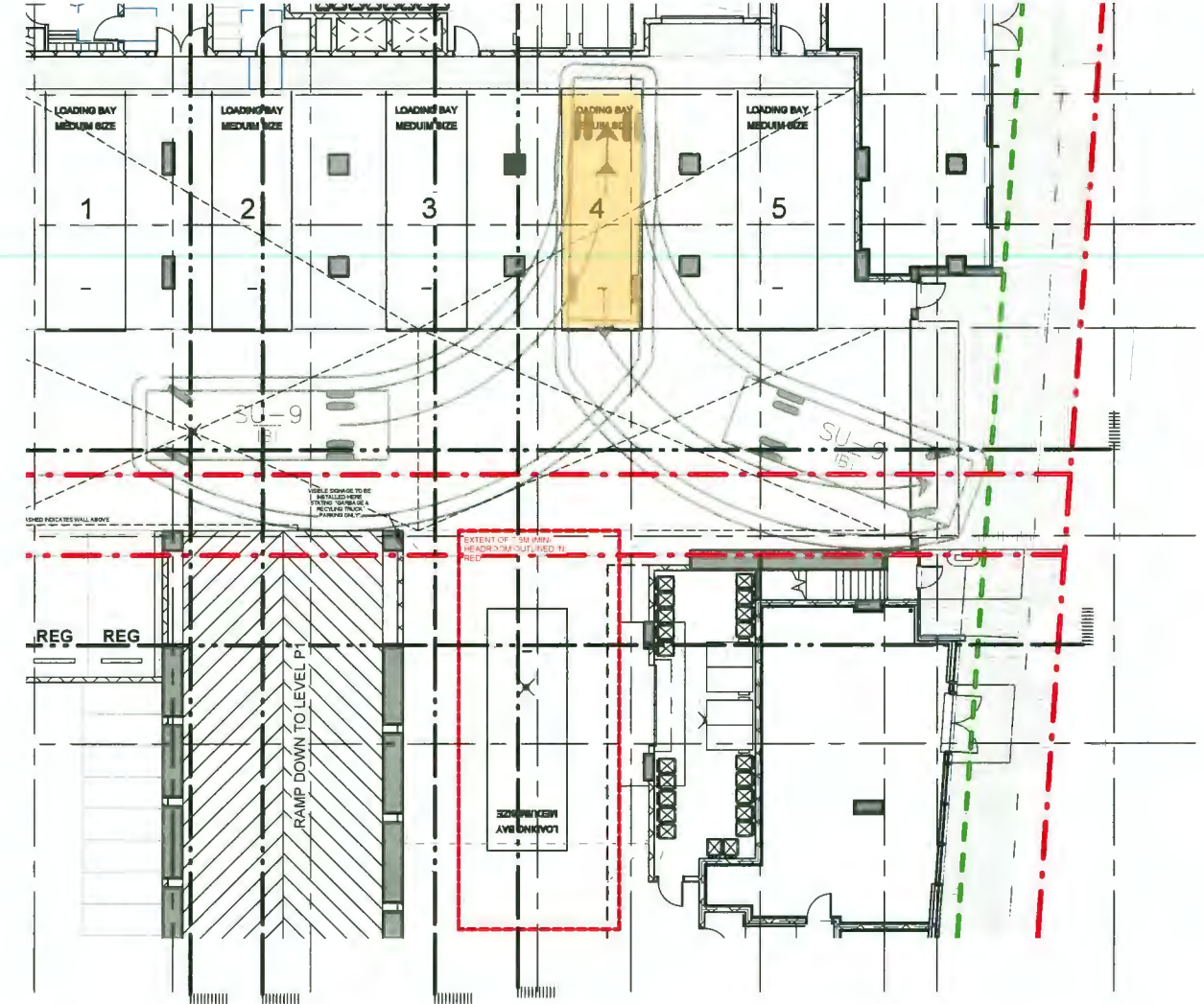
5740, 5760, 5800 Minoru Blvd., Richmond, B.C. Canada  
DP 19-881156 Date: August 11, 2021

PLAN #10i - DEVELOPMENT DETAILS  
LOADING\_L1



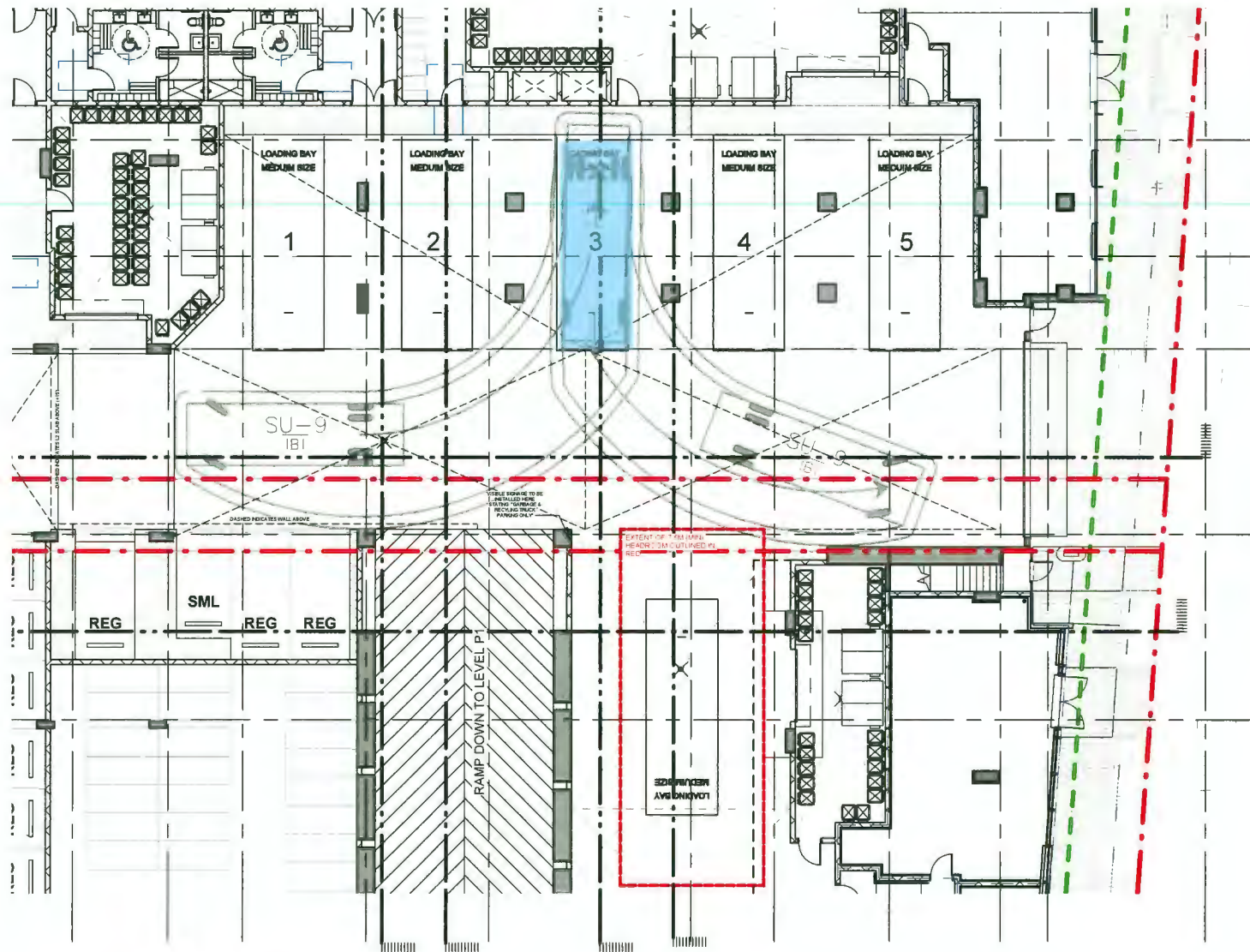


Loading Bay #05

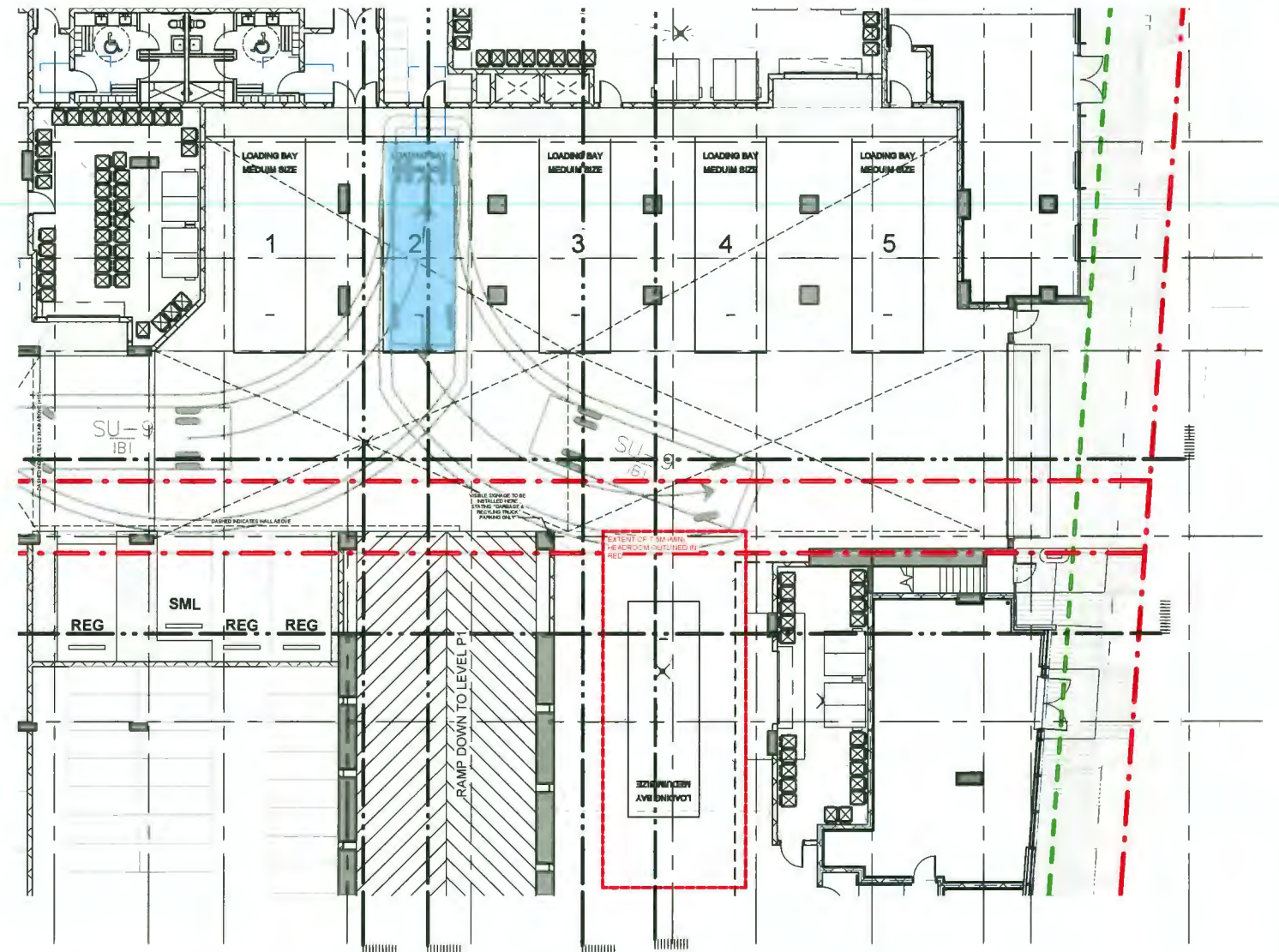


Loading Bay #04



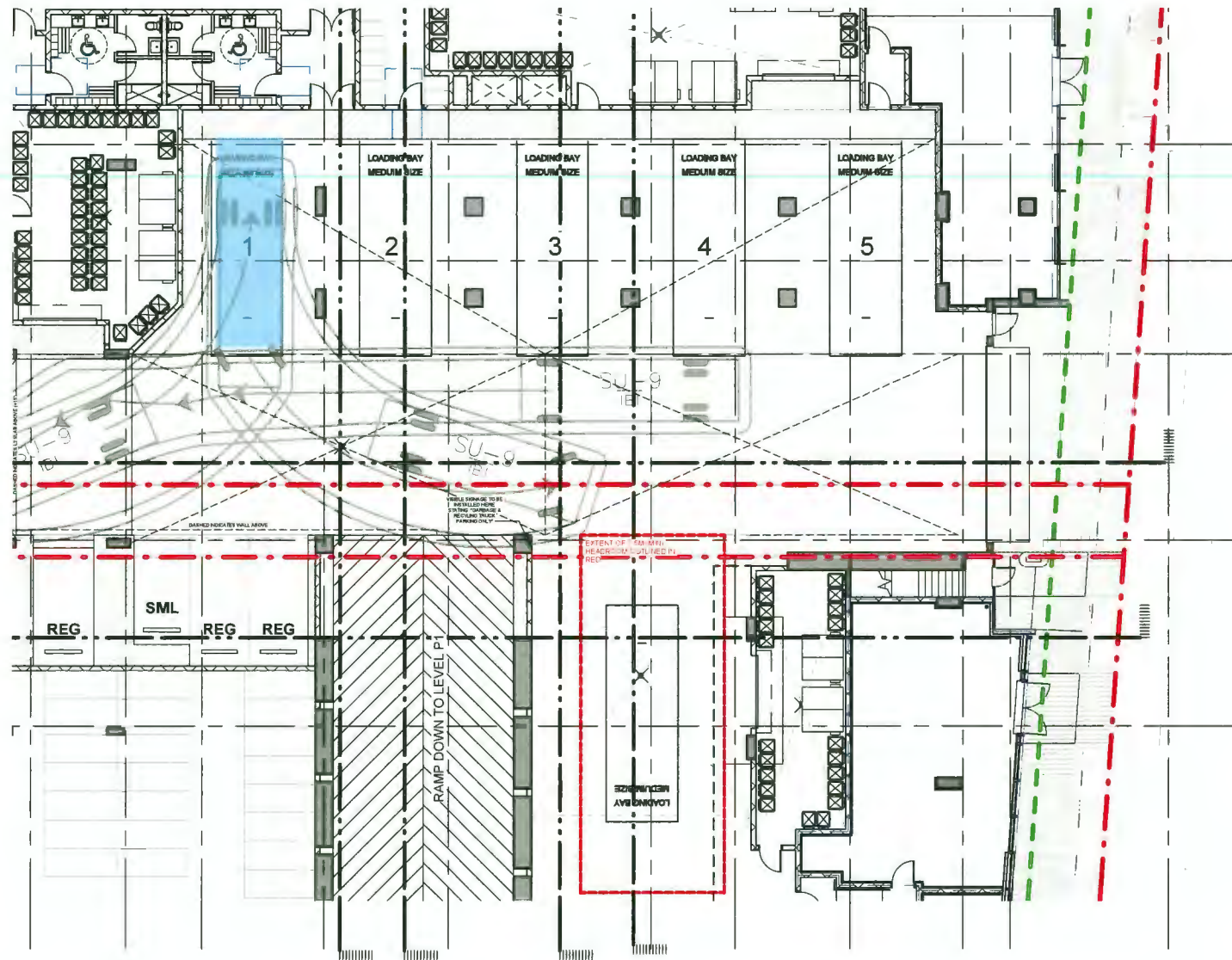


Loading Bay #03



Loading Bay #02





Loading Bay #01



MULTI-FAMILY WASTE ROOM INFORMATION TABLE- TOWER B & TH				
SIZE		402 sq. ft. (45.71 sq. m)		
LOCATION		GROUND LEVEL - AT GRADE		
ACCESS INFORMATION		OPEN TO RESIDENTS 24/7		
NUMBER OF UNITS		114		
BIN TYPE	# OF BINS	FOOTPRINT OF 1 BIN (sq. m)	COLLECTION SERVICE	WASTE SERVICES PROVIDED
350L	5	0.56	CITY	RESIDENT & MIXED CONTAINERS
150L	4	0.56	CITY	RESIDENT & NEWSPAPER, MIXED PAPER
3 CUBIC YARD	1	1.06	CITY	RESIDENT & CARDBOARD CONTAINERS
240L	1	0.43	CITY	RESIDENT & GLASS
240L	5	0.43	CITY	RESIDENT & FOOD SCRAPS
5 CUBIC YARD	2	3.07	CITY	RESIDENT & CARBON CONTAINERS

SPACE ALLOCATION FOR STORAGE FACILITY = NUMBER CONTAINERS X FOOTPRINT CONTAINER X WASTE MATERIAL FACTOR

SPACE ALLOCATION FOR STORAGE FACILITY

NEEDED = 35.57 sq.m

<b>RETAIL WASTE ROOM INFORMATION TABLE</b>					
<b>SIZE</b>	486 sq. ft. (45.15 sq. m)				
<b>LOCATION</b>	GROUND LEVEL AT GRADE				
<b>ACCESS INFORMATION</b>	OPEN 7A.M. - 7P.M.				
<b>BUILDING USE</b>	WATER TREATMENT				
<b>BIN TYPE</b>	<b># OF BINS</b>	<b>FOOTPRINT OF 1 BIN (sq. m)</b>	<b>COLLECTION SERVICE</b>	<b>WASTE SERVICES PROVIDED</b>	
300L	5	0.50	CITY	RETAIL MIXED CONTAINERS	
150L CUBIC YARD	13	0.56	CITY	RETAIL NEWSPAPERS, MIXED PAPERS	
240L	1	1.06	CITY	RETAIL CARDBOARD CONTAINERS	
4 CUBIC YARD	1	0.43	CITY	OFFICE GLASS	
4 CUBIC YARD	1	1.96	CITY	OFFICE GARAGE CONTAINERS	

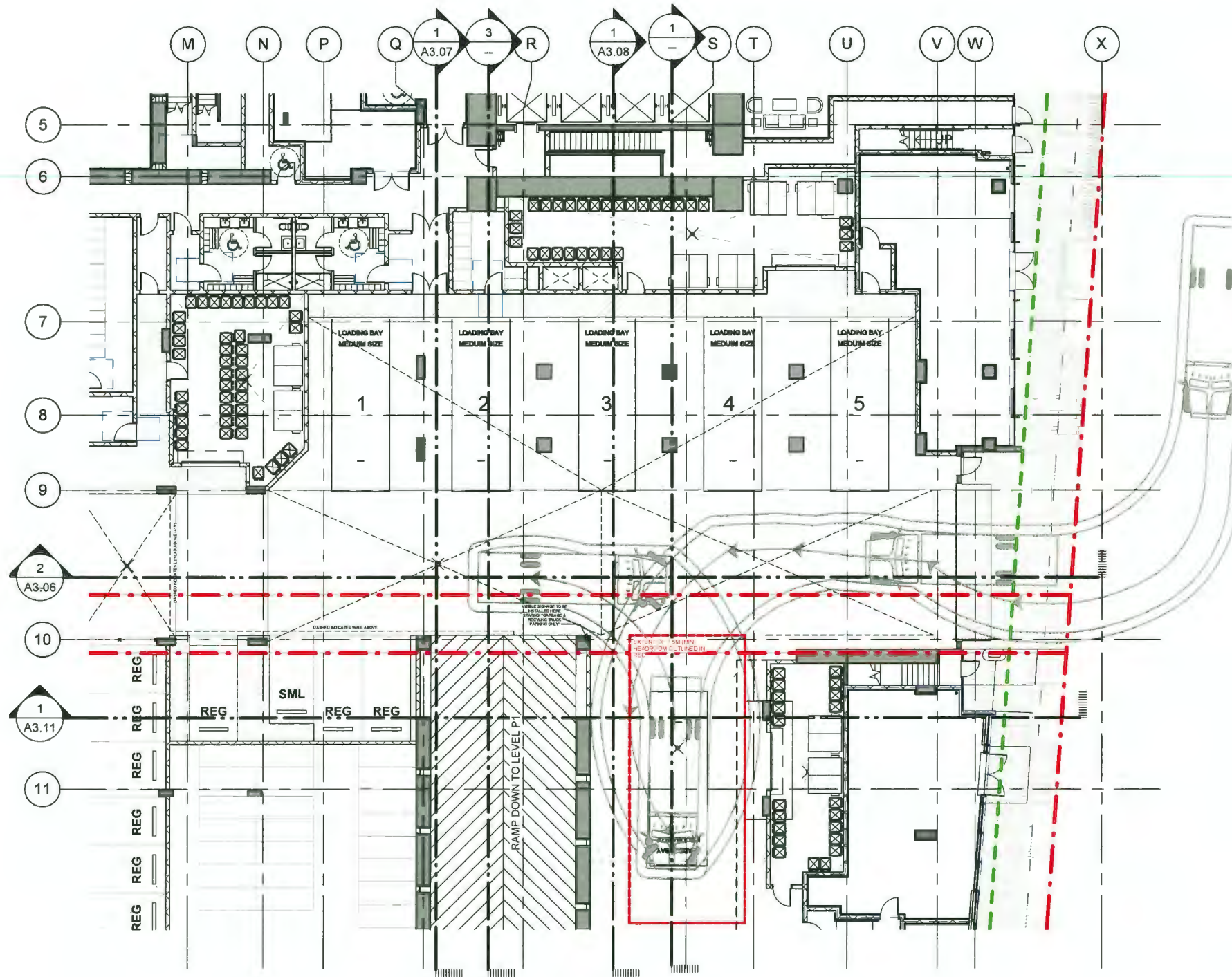
SUMMARY SPACE ALLOCATIONS FOR STORAGE FACILITY = 1 x WATER CONTAINER + 2 x FAC. 1 CONTAINERS + 3x WASTE + 1x VFR FACTORY  
SPACE ALLOCATED FOR STORAGE FACILITY  
NEEDED = 35.34 sq. m

MULTI-FAMILY WASTE ROOM INFORMATION TABLE - TOWER C & AH				
SIZE		8011 sq. ft. (84,355 sq. m)		
LOCATION		GROUND LEVEL - AT GRADE		
ACCESS INFORMATION		OPEN TO RESIDENTS 24/7		
NUMBER OF UNITS		168		
BIN TYPE	# OF BINS	FOOTPRINT OF 1 BIN (sq. m)	COLLECTION SERVICE	WASTE SERVICES PROVIDED
350L	7	0.56	CITY	RESIDENT & MIXED CONTAINERS
350L	5	0.56	CITY	RESIDENT A., MIXED PAPER
4 CUBIC YARD	1	3.51	CITY	RESIDENT A., CARDBOARD CONTAINERS
240L	1	0.43	CITY	RESIDENT A., GLASS
240L	7	0.43	CITY	RESIDENT A., FOOD SCRAPS
6 CUBIC YARD	4	3.07	CITY	RESIDENT A., GARAGE CONTAINERS
SPACE ALLOCATION FOR STORAGE FACILITY = 1 NUMBER CONTAINERS X FACTOR CONTAINER X WEIGHT X VOLUME FACTOR				
SPACE ALLOCATION FOR STORAGE FACILITY NEEDED			56.4 sq. m	



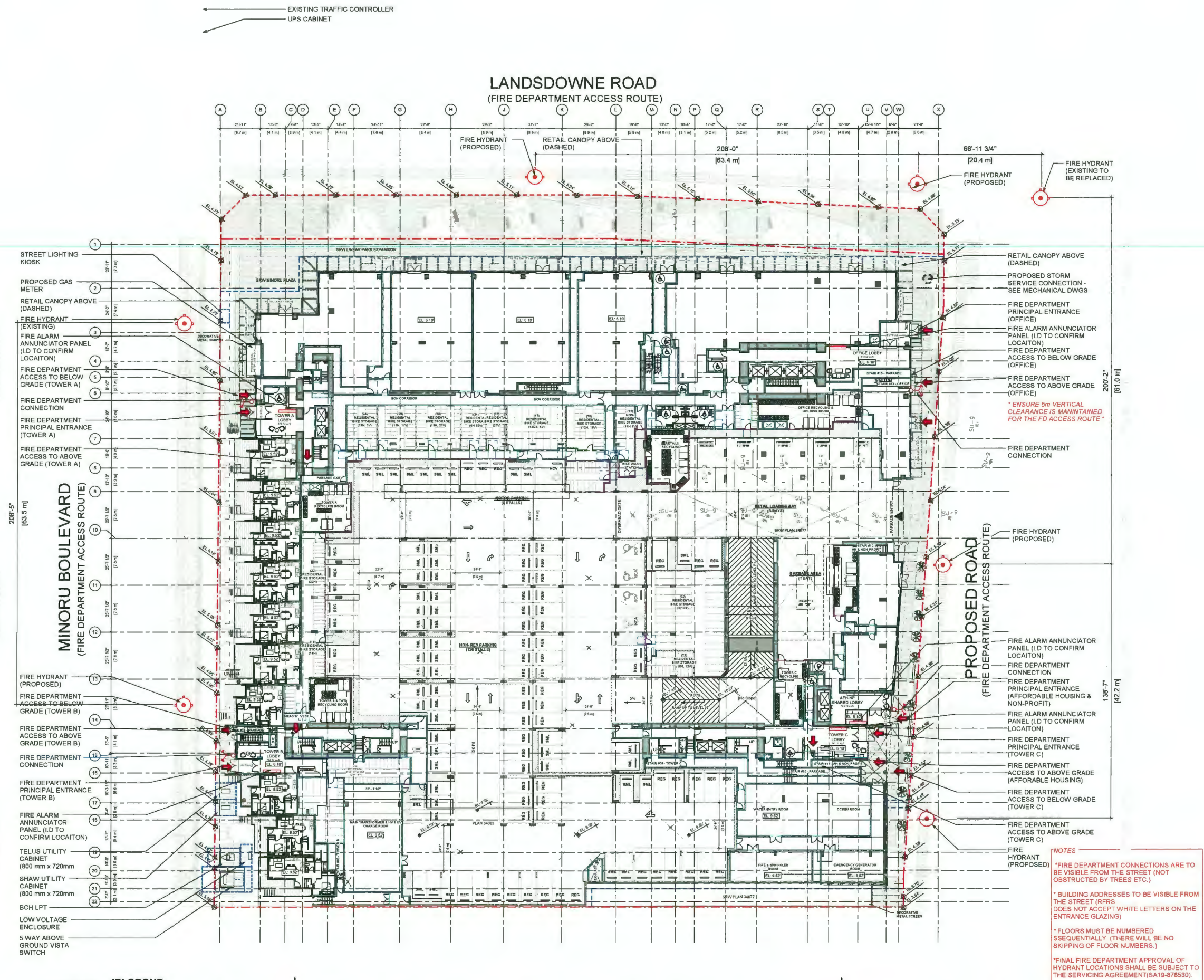
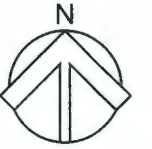






	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Loading	<ul style="list-style-type: none"><li>Medium truck spaces: 5</li><li>Waste pick-up: 1</li></ul>	<ul style="list-style-type: none"><li>Medium truck spaces: 5</li><li>Waste pick-up: 1</li></ul>	None







Signage Plan



1. Building Entrance Signage

: Aluminum cast numbers on top of the canopy at each building entrance



2. Office Signage

: Stand alone signage for offices on glass board



3. Townhouse Signage

: Aluminum cast numbers on the building facade



4. Retail Signage

: Suspended tenant blade



5. Parking Signage

: Entry signage and wayfinding at each core



6. Office Tower Signage

: Backlit Letters and Logo at the top of the Office Tower



\* Above are sample images from precedent projects.