



To: Development Permit Panel

Date: September 11, 2020

From: Wayne Craig
Director, Development

File: DP 18-837117

Re: **Application by W. T. Leung Architects Inc. for a Development Permit at
6333 Mah Bing Street
(Referral from July 29, 2020 Development Permit Panel Meeting)**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a multiple-family residential development with two 15-storey high-rise buildings and a nine-storey mid-rise building, consisting of approximately 232 dwelling units and 364 parking spaces at 6333 Mah Bing Street on a site zoned "High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum lot area from 13,000 m² (139,930 ft²) to 8,227 m² (88,554 ft²).

Wayne Craig
Director, Development
(604-247-4625)

WC:el
Att. 12

Staff Report

Origin

This staff report addresses the referral from the July 29, 2020 Development Permit Panel meeting regarding the Development Permit application by W. T. Leung Architects Inc. on the behalf of 410730 BC Ltd. (with Incorporation Number BC790741 and Director, Richard J. Jackson) in trust for Park Residences Phase II Limited Partnership (with Incorporation Number BC1152482 and Director, Bill W.N. Chau) at 6333 Mah Bing Street. Specifically, the Panel made the following recommendation:

“That DP 18-837117 be deferred to the Development Permit Panel meeting scheduled for Wednesday, September 30, 2020, at 3:30 p.m. at the Council Chambers, Richmond City Hall, for the purpose of the applicant working with staff to address the following issues:

- 1. review the proposed truck access to allow garbage and recycling collection for 6611 Minoru Boulevard (adjacent development to the south of the subject site) and investigate opportunities for a more direct route;*
- 2. review the proposed treatment to the south wall of Tower D/E podium to improve the project’s interface with the side of the existing tower to the south; and*
- 3. ensure the attendance of the project’s Tenant Relocation Coordinator at the Panel’s September 30, 2020 meeting to provide a report on the following:*
 - (i) the project’s Tenant Relocation Plan and the Coordinator’s communication with tenants of existing rental buildings on-site (6391 and 6491 Minoru Road) regarding the Plan;*
 - (ii) the tenants’ preferences in terms of types of needed relocation assistance; and*
 - (iii) information regarding the number of tenants needing relocation assistance and proposed measures to assist in relocating the tenants.”*

In response to the Panel’s referral, this staff report:

- Provides updated information related to the alternative truck access to the adjacent development at 6611 Minoru Boulevard.
- Summarizes the revisions made to the south wall of Tower D/E podium.
- Provides additional information related to the proposed Tenant Relocation Plan.

Development Information

Please refer to the original staff report (dated July 7, 2020) submitted to the July 29, 2020 Development Permit Panel meeting in Attachment A for information pertaining to the background, site context, development data, proposed variance, various development requirements, and aspects of the proposal that have not been revised.

Truck Access to Adjacent Property to the South

As mentioned in the original staff report dated July 7, 2020, garbage and recycling collection vehicles currently access the Regency Park Towers property (adjacent residential development to the south at 6611 Minoru Boulevard) by driving across the southeast corner of the subject site though there is no access easement registered on title. The applicant had contacted the Strata of Regency Park Towers and proposed two options to provide truck access to the garbage and recycling collection facilities at 6611 Minoru Boulevard. One of the options involves physical changes to the Regency Park Towers property (i.e., removal of two visitor parking spaces) and the other does not. Since no agreement with the adjacent Strata Corporation regarding modifications to their property could be reached prior to the submission deadline of the original staff report in early July, 2020, the applicant offered to provide a hammerhead at the southwest corner of the subject property to allow garbage and recycling collection vehicles servicing 6611 Minoru Boulevard to turn-around (Attachment B).

In response to the Panel's referral, the applicant has met with two representatives of the Strata Council of Regency Park Towers and advised staff that the Regency Park Towers Strata Council met on August 27, 2020 and that the Strata Council voted six to one in favour of the proposal to remove the two visitor parking spaces at the northeast corner of the Regency Park Towers property to facilitate a more direct garbage and recycling truck access to service their building (Attachment C). This proposal is acceptable to Transportation and Environment Services staff.

The Regency Park Towers Strata Council will put this proposal on the agenda of their AGM this coming November, 2020 for approval and ratification by all the strata owners. A confirmation letter from the property manager of Regency Park Towers is provided as Attachment D. In the case that strata owners voted against this alternative solution, the developer will continue to provide a hammerhead at the southwest corner of the subject property to allow garbage and recycling collection vehicles servicing 6611 Minoru Boulevard to turn-around. Registration of a Statutory Right-of-Way (SRW) over the entire hammerhead area for Public Rights-of-Passage (PROP) will be required prior to Development Permit issuance.

Revisions to the South Wall of Tower D/E Podium

In response to the Panel's referral, the applicant has made the following changes to the architectural and landscaping design:

- Reduced the number of mechanical ventilation grilles on the south wall of Tower D/E podium from seven to five.
- Introduced brick masonry and glass block appointments onto the lower two floors of the exposed parkade walls.
- Introduced new landscape planting on the set back of the second parkade roof level.
- Maintained the vine planting systems and widened the recess on the parkade ground level facade to provide additional landscaping at grade.
- Accented the wall recess with a painted concrete matching the colour of the townhouse's coloured wall panels.

The original design of the south wall of Tower D/E Podium as presented to the July 29, 2020 Development Permit Panel is provided as Attachment E. The relevant revised drawings are included in the Development Permit package and a copy of these drawings is also presented as Attachment F.

Tenant Relocation Plan

As mentioned in the original staff report dated July 7, 2020, a Tenant Relocation Plan (Attachment G) for the existing residents at 6391 and 6491 Minoru Boulevard has been provided by the applicant as per the City's current Official Community Plan (OCP) requirements. The proposed Tenant Relocation Plan complies with the Market Rental Housing Policy in the OCP. The applicant has agreed to register a legal document on title, prior to Development Permit issuance, to ensure that the proposed tenant relocation plan will be implemented prior to any demolition construction activity occurring on-site.

In response to the Panel's referral, the tenant relocation coordinator, Rhome Property Management, conducted a written survey on tenants' relocation needs. A copy of the surveys and associated correspondences is provided as Attachment H. Due to privacy rights, only redacted copies of the completed surveys were submitted to the City for records (on file). The lawyer of the developer, Rachel Hutton, of Stikeman Elliot LLP, has submitted a statutory declaration (Attachment I) attesting that they have reviewed the tenant surveys and verifying that the completed copies of the survey and the redacted copies of the survey submitted to the City are the same, other than the redactions of personal information.

A summary report prepared by the applicant is presented as Attachment J. It is noted that 92 tenants requested assistance in relocation, in which:

- 51 tenants requested assistance in finding family-friendly housing units.
- 16 tenants requested assistance in finding accessible housing units.
- 34 tenants requested assistance in moving due to physical or mobility issues.


In response to the Panel's referral, the tenant relocation coordinator submitted a letter (Attachment K) outlining the assistance they will be offering to the tenants as part of the Tenant Relocation Plan.

Conclusions

The applicant has revised the Development Permit application and provided additional information to address the concerns expressed by the Development Permit Panel at the meeting held July 29, 2020 regarding the alternative truck access to the neighbouring property to the south, the treatment to the south wall of Tower D/E podium, and tenants' needs related to the relocation.

A more direct truck access route to allow garbage and recycling collection for 6611 Minoru Boulevard has been conceptually accepted by the Strata Council of the Regency Park Towers and will be endorsed if the strata owners approve this proposal at their AGM this coming November, 2020; the revised design of the south wall of Tower D/E podium provides for upgrades to interface between the proposed and adjacent developments; and information regarding the tenants' needs in term of relocation assistance and the tenant relocation coordinator's proposal to meet these needs have been provided.

On this basis, staff recommends support for the revised Development Permit application at 6333 Mah Bing Street.



Edwin Lee
Planner 2
(604-276-4121)

EL:blg

- Attachment A - Original Staff Report (dated July 7, 2020) submitted to the July 29, 2020 Development Permit Panel
- Attachment B - Truck Access to 6611 Minoru Boulevard (Option 1) - Hammerhead at the Southwest Corner of 6333 Mah Bing Street (Attachment 4 to the July 7, 2020 Report)
- Attachment C - Truck Access to 6611 Minoru Boulevard (Option 2) - Removal of two Visitor Parking at the Northeast Corner of 6611 Minoru Boulevard
- Attachment D - Letter from the Property Manager of Regency Park Towers
- Attachment E - Original Design of the South Wall of Tower D/E Podium as Presented to the July 29, 2020 Development Permit Panel
- Attachment F - Revised Design of the South Wall of Tower D/E Podium
- Attachment G - Tenant Relocation Plan (Attachment 2 to the July 7, 2020 Report)
- Attachment H - Tenant Surveys and Associated Correspondences Provided by the Tenant Relocation Coordinator
- Attachment I - Statutory Declaration by Rachel Hutton of Stikeman Elliot LLP
- Attachment J - Summary Report of the Tenant Survey
- Attachment K - Letter from the Tenant Relocation Coordinator
- Attachment L - Development Permit Considerations



**City of
Richmond**

Report to Development Permit Panel

To: Development Permit Panel

Date: July 7, 2020

From: Wayne Craig
Director, Development

File: DP 18-837117

Re: Application by W. T. Leung Architects Inc. for a Development Permit at
6333 Mah Bing Street

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a multiple-family residential development with two 15-storey high-rise buildings and a nine-storey mid-rise building, consisting of approximately 232 dwelling units and 364 parking spaces at 6333 Mah Bing Street on a site zoned "High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum lot area from 13,000 m² (139,930 ft²) to 8,227 m² (88,554 ft²).

A handwritten signature in black ink, appearing to read "Wayne Craig", with a large, stylized flourish at the end.

Wayne Craig
Director, Development
(604-247-4625)

WC:el
Att. 4

Staff Report

Origin

W. T. Leung Architects Inc. has applied to the City of Richmond for permission to develop a multiple-family residential development with two 15-storey high-rise buildings and a nine-storey mid-rise building, consisting of approximately 232 dwelling units and 358 parking spaces at 6333 Mah Bing Street on a site zoned “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)”. Key components of the proposal include:

- Second phase of the “Park Residences” development, including three buildings (Towers C, D & E) and a greenway connection between Mah Bing Street and Minoru Park, on a site adjacent to the previously approved phase east of the subject site.
- One 15-storey building (Tower C) with five levels of parking, three of which are located within a podium above grade with townhouse and apartment units which interface with the public realm on three sides of the building.
- One 15-storey and one 9-storey building (Towers D & E) with four levels of parking, three of which are located within a podium above grade with townhouse and apartment units which interface with the public realm on all sides with the exception of the south elevation of the podium.
- A maximum floor area ratio (FAR) of 3.4 for residential uses and a maximum floor area ratio of (FAR) 0.1 for indoor amenity uses are allowed for the entire “Park Residences” development. Phase 2 utilizes the balance of the floor area allowed (approximately 27,995 m² or 91,847 ft²) to create approximately 232 dwelling units.
- Maximum height allowed is at 47.0 m geodetic.
- Step Code 2 and connection to the district energy utility (DEU) system.
- Provision of statutory rights-of-way (SRW) for a pedestrian greenway connection through the middle of site between Mah Bing Street and Minoru Park in alignment with Murdoch Avenue.

An associated Servicing Agreement (SA 08-413951) was secured through the Rezoning (RZ 04-286496, approved in 2008) for works required to service Phase 2 of the “Park Residences” development. Modification to the original Servicing Agreement (approved in February, 2012) is required to match existing conditions and reduce impacts on Minoru Park. The required modifications to Servicing Agreement (SA 08-413951) will be facilitated through a post approval revision. Modifications include rerouting of underground services to preserve trees in Minoru Park and revisions to the extent of the road and sidewalk.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

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Background

- The site currently contains two three-storey rental apartment buildings.
- The site was initially rezoned in 2008 (RZ 04-286496), prior to adoption of the City Centre Area Plan (CCAP), for the proposed “Park Residences” development.
- The Development Permit for Phase 1 of the “Park Residences” development (DP 07-362006) was issued in 2013, which includes two high-rise buildings over a common parking structure consisting of 92 market housing units, 110 residential market rental units, and 22 affordable senior housing units.
- When the Phase 1 of the development was completed, the existing rental tenants were provided with first opportunity to relocate into the rental units in the Phase 1 development.
- The subject Development Permit application is for Phase 2 (Towers C, D, and E) of the “Park Residences” development.

Development surrounding the subject site is as follows:

To the north: Two 15-storey residential buildings linked by a mid-rise podium on a site zoned “High Rise Apartment (ZHR11) – Brighthouse Village (City Centre)”.

To the east: Across Mah Bing Street, on the north side of Murdoch Avenue, two 15-storey residential buildings on a site zoned “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)”, which is Phase 1 (Towers A and B) of the “Park Residences” development; on the south side of Murdoch Avenue, two three-storey apartment buildings fronting Minoru Boulevard, on properties zoned “Medium Density Low Rise Apartments (RAM1)”.

To the south: Three high-rise residential buildings on a site zoned under “Land Use Contract (LUC 001)” with underlying zoning “High Rise Apartment (ZHR14) – Brighthouse Village (City Centre)”.

To the west: Minoru Park zoned “School and Intuition (SI).”

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site (Zoning Amendment Bylaw 8103) was held on September 6, 2006. At the Public Hearing, the following concerns about rezoning the property were expressed:

- Concerns regarding increased traffic in the area, especially trucks, during construction of the new building.
- Concerns regarding impact of construction of the new building on the adjacent buildings and the residents in the immediate vicinity of the development site.
- Concerns regarding preservation of the rental housing stock in the City Centre area.
- Issue of loss of views/property values was also raised by some residents.

Staff worked with the applicant to address these issues in the following ways:

- Development of the “Park Residences” project has been divided into two phases. A new road (Murdoch Avenue) was constructed prior to construction of Phase 1 to minimize traffic impacts to the area residents. A separate Traffic Management Plan for construction vehicles and construction workers will be required as part of the Building Permit submission for the subject development (i.e., Phase 2 of the “Park Residences” project).
- Adequate geotechnical analysis of the site has been undertaken and appropriate procedures will be put in place to minimize impact on neighbouring properties, and to address any possible damage to adjacent buildings which might occur as a result of construction of the new development.
- Provision of replacement rental units is included in Phase 1 of the “Park Residences” project (Tower A). Details are included in the “Housing-Rental Replacement and Affordable Housing” section in this report.
- Refinements of the massing and location of Towers C, D and E on the subject site have been exercised to maximize view corridors. It should be noted that some obstruction of existing views is to be expected from the redevelopment of this site in this higher density City Centre location.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)” except for the zoning variances noted below.

Zoning Compliance/Variance (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum lot area from 13,000 m² (139,930 ft²) to 8,227 m² (88,554 ft²).

(Staff supports the proposed variance as the subject development is the second and last phase of a larger development known as “Park Residences”. The minimum lot area under the “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)” was based on the total site area of the entire development. Upon development of Phase 1 of the “Park Residences” development, the original development site was subdivided into two lots and two new roads (Murdoch Avenue and Mah Bing Street) were created. The lot located at the northeast corner of Murdoch Avenue and Mah Bing Street contains Phase 1 of the development; and the lot located west of Mah Bing Street is created for Phase 2 of the development. This variance is required due to the phasing of the development).

Through the applicant's Development Permit processes, the developer has satisfied the following development requirements.

Road Dedications

A Statutory Right-of-Way (SRW) (CA3023335, EPP28003) over Mah Bing Street located on the subject site has been secured as part of the rezoning application in 2008. This SRW area is required for the construction of Mah Bing Street; dedication of this area has been deferred due to the fact that this area is being used for surface parking, serving the existing rental buildings. An Option to Purchase the SRW is included in the SRW agreement, and this area will be transferred to the City once the existing rental buildings on site are demolished.

A 3.5 m wide SRW (CA3023366, EPP21004) has also been secured as part of the rezoning application in 2008 for future sidewalk and boulevard along the west side of Mah Bing Street. Based on the functional design provided by the applicant, the SRW is required to expand to 5.0 m wide to accommodate the proposed sidewalk and boulevard, and a 4 m x 4 m corner cut at the southeast corner of the site is required. It is recommended that the existing SRW (CA3023366, EPP21004) be discharged and a new SRW over the proposed sidewalk and boulevard on the west side of Mah Bing Street and the 4 m x 4 m corner cut, with an option to purchase, be provided by the applicant prior to Development Permit issuance. This SRW area will be transferred to the City once the Building Permit for the subject development is issued.

On Site Public Walkways

The western property boundary of the subject site abuts Minoru Park. A 3.0 m wide lit pedestrian walkway with a 0.28 m wide landscape strip on the development side is proposed to run the length of the western property line providing access to the adjacent townhouses and a walking path for all park users. Prior to Development Permit issuance, provision of a 3.28 m wide SRW for public access along the west property line of the site is required.

A 1.2 m wide SRW for public access along the south property line of the site is also required to provide adequate width for two-way traffic on the lane of the neighbouring site. This SRW may also be used as a pathway, and will be connected to the proposed pathway along the west property line, adjacent to Minoru Park.

Greenway

The development will create a major greenway connection between Mah Bing Street and Minoru Park in alignment with Murdoch Avenue; an SRW has been secured at Rezoning. The greenway configuration was originally defined by the tower footprints envisioned at Rezoning. In order to better align Tower C's façade with Towers A and B built in Phase 1 of the "Park Residences" development, and to allow for a wider view corridor between Towers C and D, the tower footprints have been modified. As a result, the SRW for the greenway is required to be revised. Staff support the proposed revision as the width and the size of the modified greenway are similar to the original configuration; except that the greenway is to be shifted approximately 3.5 m to the north.

Existing Legal Encumbrances

There is an existing Statutory Right of Way (SRW) in favour of BC Hydro along the north property line of site (CA2817671, Plan EPP24203). The developer is required to discharge this SRW or confirm an alternative form of approval from BC Hydro prior to Building Permit issuance. The developer is responsible to coordinate with BC Hydro.

Housing-Rental Replacement and Affordable Housing

When the rezoning application (RZ 04-286496) for the parent parcel of the “Park Residences” (including both Phase 1 and Phase 2) was submitted in 2004, the City did not have a formalized rental housing replacement policy for redevelopment of sites with existing rental units. The applicant has worked cooperatively with the City to create housing options to minimize the impact on the residents. The following table summarizes the existing and proposed rental housing availability on-site.

	Existing (6391 and 6491 Minoru Blvd.)	Proposed (7399 Murdoch Ave.)
Senior's Affordable Housing	None designated	22
Market Rental	128	110
Total units	128	132

Tower A in Phase 1 of the “Park Residences” development at 7399 Murdoch Avenue was secured for residential rental by a Housing Agreement. It contains 22 units of senior’s affordable housing for residents 65 years or older, and 110 market rental units. The existing rental buildings on-site (known as 6391 and 6491 Minoru Boulevard) were requested by the City to remain on-site during the construction of the first phase of the “Park Residences” development. At the time of redevelopment of Phase 1, the developer gave the residents at 6391 and 6491 Minoru Boulevard first option for refusal on the new rental units in Tower A when the new rental units were ready for occupancy, which provided the opportunity for those tenants that would be displaced by construction of Phase 2 to rent units in Tower A. All the new rental units in Tower A are currently occupied.

Tenant Relocation Plan

As per the City’s current OCP requirements, a Tenant Relocation Plan (Attachment 2) for the existing residents at 6391 and 6491 Minoru Boulevard has been provided by the applicant. The proposed Tenant Relocation Plan complies with the Market Rental Housing Policy in the OCP. The applicant has agreed to register a legal document on title, prior to Development Permit issuance, to ensure that the proposed tenant relocation plan will be implemented prior to any demolition construction activity occurs on-site.

View Blockage and Other Development Impacts

The subject development’s towers generally satisfy Development Permit Guidelines with respect to tower separation. Prior to Development Permit issuance, a covenant will be registered on title to the site to notify potential purchasers that future adjacent development may block views and/or have other impacts.

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Aircraft Noise

The site is designated as “Area 4 - Aircraft Noise Notification Area” where “all aircraft noise sensitive land use types may be considered.” A City’s standard residential aircraft noise covenant has been secured at Rezoning stage. An acoustic report and a mechanical report, prepared by a certified professional and satisfactory to the City, are required prior to Building Permit issuance.

Floodplain Requirements

In accordance with the City’s Flood Management Strategy, the applicant is required to register a legal document on title referencing the minimum habitable elevation for the area, which is 2.9 m (geodetic). A Flood Indemnity Covenant has been secured at Rezoning stage.

Advisory Design Panel Comments

On November 2, 2019, the Advisory Design Panel (ADP) reviewed and supported the subject Development Permit application moving forward to the Development Permit Panel, subject to the applicant giving consideration to the ADP’s comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 3), together with the applicant’s design response in ‘*bold italics*’.

Analysis

Conditions of Adjacency

- The applicant proposes three buildings as follows:
 - Tower C (North of the Greenway): A 15-storey building with five levels of parking, three of which are located within a podium above grade and with townhouse and apartment units facing the public realm in most areas.
 - Towers D and E (South of the Greenway): 15-storey and nine-storey buildings with four levels of parking, three of which are located within a podium above grade with townhouse and apartment units facing on the public realm in most areas with the exception of the south elevation of the podium.
- The north side of the Tower C podium includes a three-storey concrete wall on the north property line that will abut a similar podium wall on the development to the north. The proposed height of the podium wall (at 10.67 m or 35.0 ft.) matches the height of the podium wall to the north. The indoor pool building on level 4 sets back approximately 1.5 m (5.0 ft.) from the north property line and the tower above level 4 sets back approximately 14.0 m (46 ft.) from the north property line.
- Tower C is designed to terrace down from west to east in order to maximize the tower spacing between the proposed Tower C and existing adjacent “Carrera” towers to the north; the proposed minimum tower separation is 38.1 m (125 ft.) to the closest adjacent tower to the north.
- The terracing design of Tower C also maximize the tower spacing between the proposed Tower C and existing adjacent Tower B of “Park Residences” (Phase 1) to the east; the proposed minimum tower separation is 38.2 m (125.3 ft.).

- The massing and orientations of the Towers C, D and E (with narrow, elongated floor plates) are designed to minimize impacts on existing buildings to the east and provide view corridors towards the park.
- Tower E is designed to be nine storey high and set back from Minoru Park in order to minimize impacts on existing adjacent buildings to the south.
- The south wall of the Tower D/E podium includes a three-storey concrete wall, clad in brick and vine planting systems, set back 1.44 m (4.7 ft.) from the south property line, and faces the side of the existing tower to the south.

Architectural Form and Character

- The proposed form of development, which combines articulated streetwall building elements and towers, generally complement with the adjacent residential and mixed-use projects developed under the City Centre Area Plan (CCAP).
- The proposed development is a continuation of the high-density residential tower project generally envisioned under the site specific zone adopted in 2008. While the density and building heights are higher than that provided under the current CCAP designation (adopted in 2009), the project has a similar density and the building height found throughout much of Brighthouse Village.
- Proposed massing, height and architectural expression of the towers, and overall character of the proposed development are generally in compliance with the applicable Design Guidelines.
- The massing of the towers is reduced by reinforcing their verticality with large glass surfaces contained by a well proportioned, full-height solid grid frame at the northern portion of Tower C and northeast corners of Tower D respectively. The other sides of the towers reduce the perception of mass with a combination of a solid grid frame and glass surfaces.
- Massing is refined further by a series of three-storey elements, grounding the tower at the Greenway and Mah Bing Street. The lighter glazed tower is recessed and appears to float above.
- Major balconies (especially south and west facing) wrap around and provide sun shade for the corner units. Window walls will be used especially higher up, to give the appearance of a light structure above, reducing the appearance of mass.
- Significant corner elements will be clad in cementitious panels. Elements closer to the ground will be clad in brick, whereas other solid elements will be painted concrete frames with punched windows.
- The scale and architectural detailing, including materials and colours of the proposed ground-oriented units, the entrance to the residential towers, and other architectural features in the lower levels help to reinforce a pedestrian scale.

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Urban Design and Site Planning

- The proposed buildings have been carefully sited to minimize potential impacts to views and shadows on existing and future neighbouring developments. The towers are oriented east-west and step inwards, to take advantage of the westward park views. The east-west orientation leans itself towards a narrow, elongated floor plates. This orientation provides view corridors towards the park for future developments to the east of the subject site.
- While Tower C is designed to terrace down from west to east, Tower D is designed to descend from east to west in order to maximize tower spacing between Tower C and Tower D and to increase view exposure and balcony opportunities westward towards Minoru Park. Tower E, at nine storeys, is massed similarly to Tower D, but at a lower ultimate height.
- The edge conditions along Minoru Park, the proposed greenway and Mah Bing Street achieve the proper pedestrian scale and provide a gentle transition between sidewalk/public walkway and building. The relationship between public, semi-private, and private realms is well resolved and provides a high quality streetscape.
- Townhouse units line the Minoru Park frontage with a raised patios. Additional townhouse units and main entrances for Towers C and D are proposed along the greenway to provide “eyes on the street”.
- The façades of the podiums along Mah Bing Street are designed to minimize the visual impact of the parkade entrances. Street-fronting indoor amenity areas are designed to animate Mah Bing Street. Extent of glass window wall at units above grade is maximized.
- Extent of solid façade on the east elevation of the Tower C podium is minimized and is softened with brick treatment and vertical landscaping.
- Loading and waste collection will be provided within laybys off of Mah Bing Street adjacent to each of the parkade entrances
- There is a total of 358 parking spaces provided in the two podiums (311 residential and 47 visitor parking spaces; including nine accessible parking stalls). The proposed number of parking spaces is consistent with the parking requirements under the ZHR4 zone subject to the provision of Transportation Demand Measures (TDM) to the satisfaction of the City. The TDM includes:
 - a greenway to Minoru Park through the subject site, which provides a direct and functional connection from Minoru Boulevard to Minoru Park through a combination of road (Murdoch Avenue) and private property right-of-way (ROW) on-site; and
 - an additional 50 Class 1 and 25 Class 2 bicycle parking space beyond the minimum bylaw requirements to promote alternate mode of transportation.
- Energized electric vehicle (EV) charging outlets for 100% of resident vehicle parking spaces (208V - 240V) will be provided.
- The proposal will feature 62 parking spaces in a tandem arrangement. Registration of a restrictive covenant to prohibit the conversion of the tandem garage area into habitable space, and to ensure that both parking spaces be assigned to the same dwelling unit where two parking spaces are provided in a tandem arrangement, is required prior to Development Permit issuance.

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- Registration of a restrictive covenant to the number of visitor parking stalls per zoning bylaw requirements will be maintained in perpetuity is required prior to Development Permit issuance.
- There is a total of 412 bicycle parking spaces provided throughout the site (340 Class 1 and 72 Class 2 spaces).
- All residential bicycle parking spaces/lockers will be provided within bike storage room within the parking structure. Prior to Development Permit issuance, a restrictive covenant is required to be registered on title to ensure that:
 - Conversion of the proposed bike storage room/lockers in this development into habitable space or general storage area is prohibited.
 - The bike storage room must remain available for shared common use and for the sole purpose of bicycle storage.
- 32 visitor bicycle parking spaces will be provided in the open area by each of the main entry of Towers C, D, and E. As there is insufficient room to provide additional bicycle racks on the exterior without impacting the proposed public greenway, the balance of the visitor bicycle parking spaces are to be provided within the parking structures: 10 spaces will be provided adjacent to the vestibule serving visitor parking for Tower C; and 30 spaces will be provided near the south end of visitor parking in Towers D and E. Prior to Development Permit issuance, a restrictive covenant is required to be registered on title to ensure that:
 - The number of visitor bicycle parking spaces per Zoning Bylaw requirements will be maintained in perpetuity.
 - Conversion of the proposed visitor bicycle parking areas in this development into habitable space or general storage area is prohibited.
- It is noted that garbage and recycling collection vehicles currently access the Minoru Towers property (adjacent residential development at 6611 Minoru Boulevard) by driving across the southeast corner of the subject site though there is no access easement registered on title. The applicant had contacted the strata of 6611 Minoru Boulevard and proposed two options to provide truck access to the garbage and recycling collection facilities at 6611 Minoru Boulevard. One of the options involves physical changes to the Minoru Towers property and the other does not. Since there is no agreement with the adjacent strata corporation regarding modifications to their property, the applicant offers to provide a hammerhead at the southwest corner of the subject property to allow garbage and recycling collection vehicles servicing 6611 Minoru Boulevard to turn-around. No physical changes to the Minoru Towers property is required. The proposed hammerhead is designed by the applicant's traffic engineers (Attachment 4) and the proposal is acceptable to Transportation and Environment Services staff. Prior to Development Permit issuance, an SRW over the entire hammerhead area for public rights-of-passage (PROP) will be required.
- The applicant has also worked with the owners of 6551 Minoru Boulevard to relocate the existing garbage and recycling bins for that residential development to a new location that would not impede traffic flow and truck movement to the Minoru Towers property south of the subject site. Correspondence related to this matter between the applicant and the property management company of 6551 Minoru Boulevard are on file.

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Tree Management

- The applicant has submitted a Certified Arborist's Report; which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report identifies eight bylaw-sized trees on the subject development site, all in good to fair condition, and recommends that all of them be removed since they are falling within the proposed building footprints or area of heavy construction (i.e., underground services as coordinated in Servicing Agreement or required pedestrian pathway along Minoru Park).
- Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 16 replacement trees are required. The applicant is proposing to plant 120 replacement trees on-site, including 70 conifer and 50 deciduous trees.
- The proposed buildings and underground parking structures have been set back sufficiently to enable retention of trees located along the adjacent Minoru Park frontage. Landscape installation within the Critical Root Zone will be coordinated with the consulting arborist.
- Prior to Development Permit issuance, the applicant is required to submit to the City of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to the tree protection zones for trees located within Minoru Park. The contract must include the scope of work required, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection, and a provision for the Arborist to submit a post-construction impact assessment to the City for review.
- Prior to demolition of the existing buildings on the subject development site, installation of tree protection fencing around adjacent trees within Minoru Park is required. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin Tree-03 prior to any works being conducted on-site, and remain in place until construction and landscaping on-site is completed.
- Tree preservation strategy for off-site servicing works will be reviewed as part of the Post Approval Revision to Servicing Agreement (SA 08-413951).

Landscape Design and Open Space Design

- The proposed greenway located between Towers C and D will provide a generous public open space between the two buildings, creating a new connection between Minoru Park and Mah Bing Street.
- The greenway features a plaza with Public Art, benches, planting beds with trees, and open flexible lawn areas for picnics or active play. A gateway trellis is proposed at the west end of the greenway to announce the arrival to Minoru Park.
- At the Minoru Park interface, a 3.0 m wide walkway is provided and will connect to the existing walkway established on the adjacent development to the north.
- The overall landscape concept satisfactorily enhances and softens the interface between building(s) and the public realm.
- Building lobbies and private patios with individual gates are proposed along the greenway and along the walkway adjacent to Minoru Park to animate the public realm.

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- Along Mah Bing Street, the public realm is primarily defined by a tree lined boulevard.
- The podium roofs on Level 4 are designed to be a “landscaped roof” with significant landscaping and planting areas that will help to reduce storm water flow and provide a pleasant outdoor amenity for the residents.
- Tower C has an outdoor amenity space featuring a children’s play area with a kid table and sitting poles, a play house, a spring toy and a play tower with climbing net, wood post and plastic slide. In addition, there is a patio area, a sodded lawn, an urban agriculture space, and a south-facing amenity deck which can be considered as an outdoor extension of the indoor pool area.
- Towers D and E share an outdoor space which feature a larger children’s play areas; in addition to the kid table, play house, spring toy, and play tower featured in Tower C, a single balance beam and timber steps are included in the play area. In addition, similar to the Tower C rooftop, an amenity deck adjacent to the indoor pool area is proposed.
- With the open space provided in the greenway, the proposed size of the outdoor amenity space exceeds the minimum identified under the Development Permit Guidelines.
- Proposed children’s play area (composed of the open lawn areas in the proposed greenway and the children’s play spaces on Level 4 in both towers) meets the minimum identified under the Development Permit Guidelines.
- The CCAP requires that multi-family development comprising 200 units or more provide indoor amenity space at a standard of 2 m² (21.5 ft²) per dwelling unit. The subject development exceeds the CCAP minimum and provides for 854 m² (9,201 ft²) of indoor amenity space located over three floors in the podium. Tower C features a fitness room on ground floor, an amenity room on the second floor, and a pool area on level 4. Towers D & E feature an amenity rooms on the ground floor and a pool area on level 4.
- An irrigation system is proposed to ensure continued maintenance of live landscaping on site.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$1,066,863.05 in association with the Development Permit.

Public Art

- The applicant is participating in the public art program. Contribution was secured through the Rezoning. The art piece will be approved through the standard public art approval process and is intended to be installed in the greenway connecting Mah Bing Street to Minoru Park. Registration of a public art covenant is required prior to Development Permit issuance.

Crime Prevention Through Environmental Design

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- Ground-oriented units are proposed along the greenway and Minoru Park to create animation and facilitate casual surveillance for added pedestrian’s safety. Units in Levels 2 and 3 of the podium, along Mah Bing Street, also achieve this general objective.
- Pedestrian accesses to the ground-oriented units will be raised above grade clearly denoting them as private space.

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- Vehicular accesses for visitors are gated; entry for non-residents will be controlled by residents via cell phone technology.
- Parking is on designated half levels; each half level is open visually at all ends.
- Openings are provided at all intermediate ramps to increase visual access between levels.
- Elevator lobbies are fully glazed; vestibule doors to access residential areas feature glazed opening with wired Georgian glass.

Energy and Sustainability

- The subject site will be required to connect to the City's District Energy Utility (DEU) via connection to energy transfer stations to be located in DEU mechanical rooms within the buildings. Registration of a legal agreement on title is required, securing the owner's commitment to connect to a DEU that provides that no Building Permit will be issued unless the building is designed with the capability to connect to and be serviced by a DEU. Prior to Building Permit Issuance, DEU mechanical room size and location, service connection routing, and building mechanical system compatibility are subject to approval of the City and the DEU provider LIEC. The owner will also be required to provide mechanical drawings and detailed energy modeling, which shall be reviewed by the City and LIEC for compliance with DEU requirements prior to Building Permit issuance.
- The project is subject to the Step 2 of the Energy Step Code.

Accessible Housing

- The proposed development includes 12 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Servicing Requirements

Through Rezoning (RZ 04-286496), the developer had entered into two Servicing Agreements (e.g., SA 07-382691 and SA 08-413951) to service the two phases of the "Park Residences" development. Both Servicing Agreement designs are approved, SA07-382691 covered the recently constructed Servicing Agreement works needed to service Phase 1 (i.e., 7333 and 7399 Murdoch Avenue), while Servicing Agreement (SA 08-413951) will cover the remaining works required to service Phase 2, which is the subject of this Development Permit application.

In order to service the subject site, infrastructure works will be required within Minoru Park due to the existing gravity system. The approved servicing design for Phase 2 (i.e., SA 08-413951) was approved in February, 2012 (bonding is in place). It had been developed to minimize impact

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on trees within Minoru Park but it is impossible to complete the infrastructure improvements without some impact on trees within the park. In order to minimize the impact on the trees and address additional servicing modifications, the approved Servicing Agreement for Phase 2 requires modification to match existing conditions. The required modifications will be facilitated through a post approval revision, in consultation with the parks department. This will be a condition to Development Permit issuance. Site servicing works are being coordinated with Parks and Engineering staff; detailed design review is ongoing. Any tree removal and replacement associated with the SA works will be determined by the Parks Services Department.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Edwin Lee
Planner 2
(604-276-4121)

EL:blg

- Attachment 1: Development Application Data Sheet
- Attachment 2: Tenant Relocation Plan
- Attachment 3: Excerpt from Advisory Design Panel Meeting Minutes (November 2, 2019)
- Attachment 4: Turning Paths at 6611 Minoru Boulevard - Garbage Tuck and Recycling Truck
- Attachment 5: Development Permit Considerations



DP 18837117

Attachment 1

Address: 6333 Mah Bing StreetApplicant: WT Leung Architects Inc.Owner: 410730 BC Ltd.Planning Area(s): City CentreFloor Area Gross: 30,525.55 m² (328,574 ft²) Floor Area Net: 27,948.47 m² (408,474 ft²)

	Existing	Proposed
Site Area:	9,810 m ² (105,594 ft ²)	Post road dedication as secured at Rezoning = 8,720 m ² (93,861 ft ²)
Land Uses:	Multi-family Residential	Multi-family Residential
OCP Designation:	Mixed Use	No Change
Area Plan Designation	City Centre Area Plan: General Urban T5 (25 m) Sub-Area B.3: Mixed Use – High-Rise Residential, Commercial & Mixed Use	No Change
Zoning:	ZHR4	No Change
Number of Units:	124	232

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio (Residential):	3.40	3.21	none permitted
Floor Area Ratio (Amenity Space):	0.10	0.10	none permitted
Lot Coverage - Building:	Max. 90 %	67%	none
Setback – Front Yard:	Min. 6.0 m	6.0 m	none
Setback – Side Yard (north):	n/a	0.0 m	none
Setback – Side Yard (south):	n/a	1.44 m	none
Setback – Rear Yard (west):	Min. 6.0 m	6.0 m	none
Height (m):	Max. 47.0 m geodetic	47.0 m geodetic	none
Lot Size:	13,000 m ² (139,930 ft ²)	8,720 m ² (93,861 ft ²)	Variance Requested
Off-street Parking Spaces – Residential:	327 or 295 with TDM	311 with TDM	none
Off-street Parking Spaces – Visitor:	47	47	none
Off-street Parking Spaces – Total:	374 or 342 with TDM	358 with TDM	none

Accessible Parking Spaces:	Min. 2% when 11 or more spaces are required (358 x 2% = 8 spaces)	9	none
Tandem Parking Spaces:	Max. 100%	62	none
Small Car Parking Spaces:	Max. 50% when 31 or more spaces are provided on-site (358 x Max. 50% = 179)	149	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.20 (Class 2) per unit	1.46 (Class 1) and 0.31 (Class 2) per unit	none
Bicycle Parking Spaces - Total:	290 (Class 1) and 47 (Class 2)	340 (Class 1) and 72 (Class 2)	none
Amenity Space – Indoor:	Min. 2 m ² x 232 units = 464 m ² (4,994 ft ²)	835 m ² (8,987 ft ²)	none
Amenity Space – Outdoor:	Min. 6 m ² x 232 units + 10% of net site area = 2,219 m ² (23,885 ft ²)	3,054 m ² (32,873 ft ²)	none

(A) Current Site Information

Site Address:	6391 Minoru Blvd / 6491 Minoru Blvd (new site address 6333 Mah Bing Street)
Legal Description:	Lot B, Section 8, Block 4 North Range 6 West, NWD Plan EPP21002
Owner Name:	410730 BC Ltd (Park Residences Phase II Limited Partnership)
Applicant Name:	Rachel Hutton, Stikeman Elliott LLP
Phone:	604-631-1342
E-mail:	rhutton@stikeman.com
Current Zoning:	Richmond Bylaw 8300 Amendment Bylaw No. 8103 (per RZ004-286496 adopted Sept 08, 2008)
Current Rental Type: (select all that apply)	<input checked="" type="checkbox"/> Market <input type="checkbox"/> Non-market <input type="checkbox"/> Cooperative <input type="checkbox"/> Other (please specify):

(B) Current Total Rental Units

Unit Type	Number of Current Units			Average Monthly Rent	Average Size (m ²)
	Total	Occupied	Ground-Oriented*		
Studio	06	05	0	\$ 0 884.00	52.0
1 BR	67	62	0	\$ 1 054.68	72.2
2 BR	46	45	0	\$ 1 262.67	102.8
3 BR	05	05	0	\$1 433.00	124.9
3+ BR					
Total	124	117	0	n/a	n/a

(C) New Rental Units (*CONSTRUCTION COMPLETED - OCCUPANCY Nov 2016)

Unit Type	New Rental Units			
	Number of Units	Ground-Oriented*	Initial Average Monthly Rent at occupancy	Average Size (m ²)
Studio	28	0	\$ 0 927.78 senior ** \$ 1 115.00 market ***	46.1
1 BR	74	0	\$ 1 000.00 senior ** \$ 1 347.88 market ***	50.0
2 BR	30	0	\$ 1 882.67 market ***	70.3
3 BR				
3+ BR				
Total	132	n/a	n/a	n/a

- * Ground-oriented unit means a unit that is directly accessible from the road
- ** 22 units seniors' housing was provided with rents capped at \$1 000/ month per housing agreement
- *** 110 units market housing was provided

(D) Tenant Relocation Plan

Tenant Relocation Plan Components	Tenant Relocation Plan	Comply with the policy?
<p>Notification:</p> <ul style="list-style-type: none"> A minimum 4 months' notice to end tenancy, and otherwise as set out in the provincial <i>Residential Tenancy Act</i> 	<p>The <i>Residential Tenancy Act</i> will be followed as it pertains to notification and compensation</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>Right of First Refusal:</p> <ul style="list-style-type: none"> Offer to return to the building, with rent rates set at low-end market rental (LEMR) rates (without having to meet income thresholds) 	<p>132 Replacement Rental Units were constructed, completed and occupancy granted December 06, 2016 (110 market + 22 non-market seniors' affordable) Existing Tenants were offered first refusal Yes, 19 accepted the offer</p> <p>*NOTE: Rezoning adopted Sept. 08, 2008; initial rents were as per rates outlined in housing agreement – rates were established at max \$1 000 / month for seniors non market as outlined in the housing agreement</p> <p><u>July 07, 2020 – updated</u> Existing tenants received a letter offering priority viewing on Oct. 18, 2016.</p> <p>As a condition of rezoning, the owns of the existing buildings entered a legal agreement with the City of Richmond requiring demolition of these buildings within two years of occupancy (Mandatory Demolition was to occur by December 05, 2018).</p> <p>A demolition bond of \$577 500 was also posted</p> <p>The owner of these rental properties had ceased signing lease agreements beyond 2018 in anticipation of required demolition, and all new rentals are handled on a month to month basis</p> <p>Planning requested in 2018 that demolition be deferred pending revisions to rental policies</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>Relocation Assistance: (Only required for tenants with tenancy of 1+ years)</p> <ul style="list-style-type: none"> Accommodation must meet the tenant's needs Accommodation should be located in Richmond or in another location at the tenant's discretion Rents at the new location should not exceed CMHC average area rents for Richmond 	<p>The developer will provide relocation assistance</p> <p>Yes, a Tenant Relocation Coordinator will be retained to provide relocation assistance</p> <p><u>July 07, 2020 – updated</u></p> <p>The relocation coordinator will be Betty Thien, Property Manager (Rhome) Betty.Thien@Rhomepm.com - 604-501-4413</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>

<p>Compensation: <i>(Only required for tenants with tenancy of 1+ years)</i></p> <ul style="list-style-type: none"> • 3 months' free rent or lump sum equivalent 	<p>3 months free rent or lump sum equivalent will be provided</p> <p><u>July 07, 2020 – updated</u></p> <p>For those who qualify for compensation, the option will be provided for 3 months' free rent or lump sum equivalent</p> <p>Those who have resided in the building for five years or more will receive one additional month free rent or lump sum equivalent</p> <p>Those who have resided in the building for ten years or more will receive two additional months free rent or lump sum equivalent</p> <p>Ms. Betty Thien (Rhome Management) will handle all monetary issues</p> <p>All damage deposits will be returned to the tenants upon vacating, as the buildings will be demolished</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>Communication with Tenants:</p>	<p>Property management has been in communication with tenants during the development application process</p> <p><u>July 07, 2020 – updated</u></p> <p>The on-site manager in regular communication with tenants is Mr. Ivan Petrov, 604-270-6779</p> <p>The DP Sign was erected in front of the buildings, at the intersection of Murdoch and Mah Bing November 13, 2018.</p> <p>After Development Permit Approval and issuance and Demolition Permit Issuance, the applicant will conduct an Open House meeting with tenants (Covid-19 conditions permitting) and will also advise tenants in writing of relocation assistance options and compensation available</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>

Prepared by: _____ Doug Millar architect aibc _____

Date: _____ July 07, 2020 _____

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, November 2, 2019 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

1. **DP 18-837117 – THREE-TOWER RESIDENTIAL DEVELOPMENT**

ARCHITECT: W.T. Leung Architects Inc.
LANDSCAPE ARCHITECT: Durante Kreuk Landscape Architects
PROPERTY LOCATION: 6333 Mah Bing Street

Applicant's Presentation

Wing Ting Leung, Arnold Wong, and Doug Millar, W.T. Leung Architects, Inc., Richard O' Connor and Jane Durante, Durante Kreuk Landscape Architects, Daniel Roberts, Kane Consulting, and Willie Perez, MCW Consultants, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

(Applicant Responses in Bold Italics)

Comments from Panel members were as follows:

- consider installing a pocket door for the ensuite washroom in the master bedroom and an outward swinging door for the second washroom (in lieu of an inward swinging door) in convertible units to enhance accessibility of residents in wheelchairs and strollers;

WTLA: pocket doors are not typically included on our projects. There are a number of drawbacks to pocket doors in our view. These include difficulty cleaning the inside pocket space and binding that occurs after building settlement, which renders the pocket door inoperable. We will review swing doors and adjust according to the comments

- consider installing an automatic door from the parkade to the elevator to assist people with disabilities;

WTLA: The Building Code requires automatic door openers when the proscribed clearances on the push/pull sides of the door are not being met. We will meet the proscribed clearances OR provide automatic openers on every level of the parkade accessed by people with disabilities

- consider incorporating aging-in-place features for some townhouse units;

WTLA: Typical aging-in-place features (lever handles, blocking, clearances at door entries) are provided throughout this project. With respect to multi-storey townhouses, there are 10 (ten) three-storey units fronting the park. Each of these units contains its own elevator to assist with aging-in-place

- proposed public art feature in a highly visible location benefits the project and the public realm, improves wayfinding and enhances the public character of the plaza;

WTLA: noted

- consider further breaking down the massing of the podium wall above the parkade entrances facing Mah Bing Street considering their visible and prominent location and the possibility that the proposed vine planting on the podium wall may take time to grow; consider further articulating the podium wall and introducing architectural elements to provide a pedestrian scale treatment to the Mah Bing Street elevation and improve the appearance of the parkade entrances;

WTLA: The East Elevation has been revised to increase the amount of Gold Glazing at the feature above the parkade entry, and to add Terra Cotta Paneling over the parkade entrance to Towers D/E. Canopies have also been enhanced at Tower Entries.

- appreciate the current approach to break down the massing of the south façade of Tower E; however, consider further breaking down the mass on the pedestrian level at grade through further articulation, e.g. introducing patterns or another colour for the brick material to provide visual interest to pedestrians; also ensure adequate lighting on the south edge to address potential CPTED concerns;

WTLA: Brick material provided at south elevation between Terra Cotta at Mah Bing and Glass Panel at park. Separate Lighting Plan has been developed and lighting specs included on landscape drawing L1.9

- appreciate the project design with open view corridors and the openness to the park; the project is well conceived and well landscaped;

WTLA: noted

- review the proposed lighting strategy for the greenway and consider a lighting strategy which balances addressing potential CPTED issues and avoiding light disturbance to neighbouring residences and light pollution; consider installing a greater number of low level lighting to ensure a more even distribution of lighting in the greenway;

WTLA: Separate Lighting Plan has been developed and lighting specs included on landscape drawing L1.9

- appreciate the applicant's comprehensive presentation and package submission which includes energy modeling results and LEED scorecard;

WTLA: noted

- a 50 percent glass-to-wall ratio is not apparent in the model presented by the applicant; applicant is advised to review assumptions regarding the energy and sustainability aspects of the project to ensure compliance with BC Step Code requirements;

WTLA: The preliminary model was based on design elevations with less than 50% glass to wall ratio. The building uses a lot of spandrel glass with insulated panel behind, for ease of construction. Spandrel panels are included as wall in the wall-to-window ratios. The elevations are deceptive due to the appearance of more glazing. The spandrel glass inserted as part of the window-wall system for ease of fabrication / ease of construction. BC Step Code compliance will be demonstrated in more detail with the Building Permit submission.

- review the proposed strategy to mitigate noise from the generator room to ensure that potential noise impacts to the adjacent tower to the south are addressed;

WTLA: Specific mitigation measures being incorporated:

- ***Emergency Generator – will provide a muffler to reduce sound power at point of discharge;***
- ***Parkade Exhaust Ventilation – operates “on demand” w/ variable speeds;***
- ***Rooftop Units – all rooftop equipment is screened visually and acoustically i.e.***
 - ***6333 Mah Bing (Tower ‘c’) – all equipment is behind a parapet;***
 - ***6355 -6399 Mah Bing – all equipment is behind a rooftop screen;***

The acoustic noise mitigation properties of all above measures will be incorporated at the Building Permit stage when equipment selections and design details are complete.

- review the design and energy requirements of the lobby vestibules as these may meet BC Step Code requirements but not provide thermal comfort;

WTLA: There is no requirement in the BC Building Code 2018 edition for vestibules. Should the refined energy model based on developed Building permit drawings show that the project is not meeting Step 2 requirements then we will need a vestibule. Short of that there is no specific requirement mandating the application of vestibules for this project. We will revisit this issue when the detailed energy model is closer to completion, and act accordingly should vestibules not be required to meet Step Code.

- appreciate the applicant voluntarily designing the project to achieve LEED Silver Equivalency; however, consider targeting LEED Silver Certification;

WTLA: The project exceeds LEED Silver Equivalency. The LEED Certification process adds project costs without changing this benefit. These costs are borne ultimately by the purchaser. This is not a value-add to the project and only increases the cost of housing in general.

- appreciate the model as it helped the Panel better understand the project;

WTLA: noted

- consider a consistent approach for the articulation colour and materiality of the soffits on the townhouse versus the tower levels;

WTLA: Colour details for treatment of various soffits will be developed for construction documents, and will reflect the design approach evident on phase 1, now complete

WTLA JUNE 29 – soffits to match colour of concrete (BM-OV 14 – natural cream)

- consider introducing a different treatment for the main pedestrian entrances of the buildings along the greenway, e.g. through introducing accent colours, banding or coloured canopies over the recesses, to make them more prominent;

WTLA: Canopies have been accentuated in the drawings – see elevations for revisions

- appreciate the proposed overall landscaping for the project; and

WTLA: noted

- consider introducing more landscape treatment for the three-meter wide sidewalk along the edge of the park to make it more visually interesting.

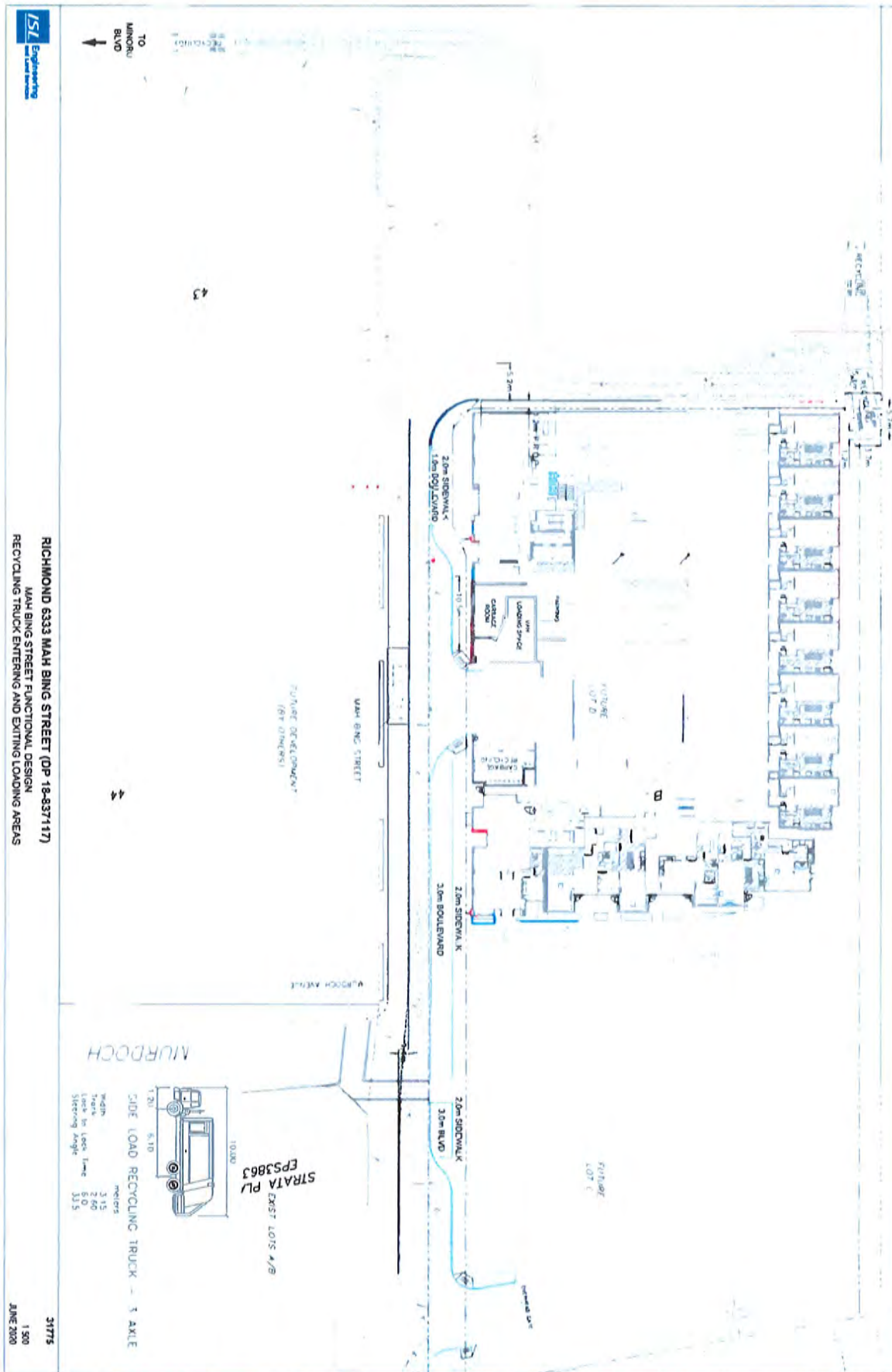
WTLA: Changes of paving added to the landscape plans; the front entrances to the buildings changed to special paving. Refer to landscape plans

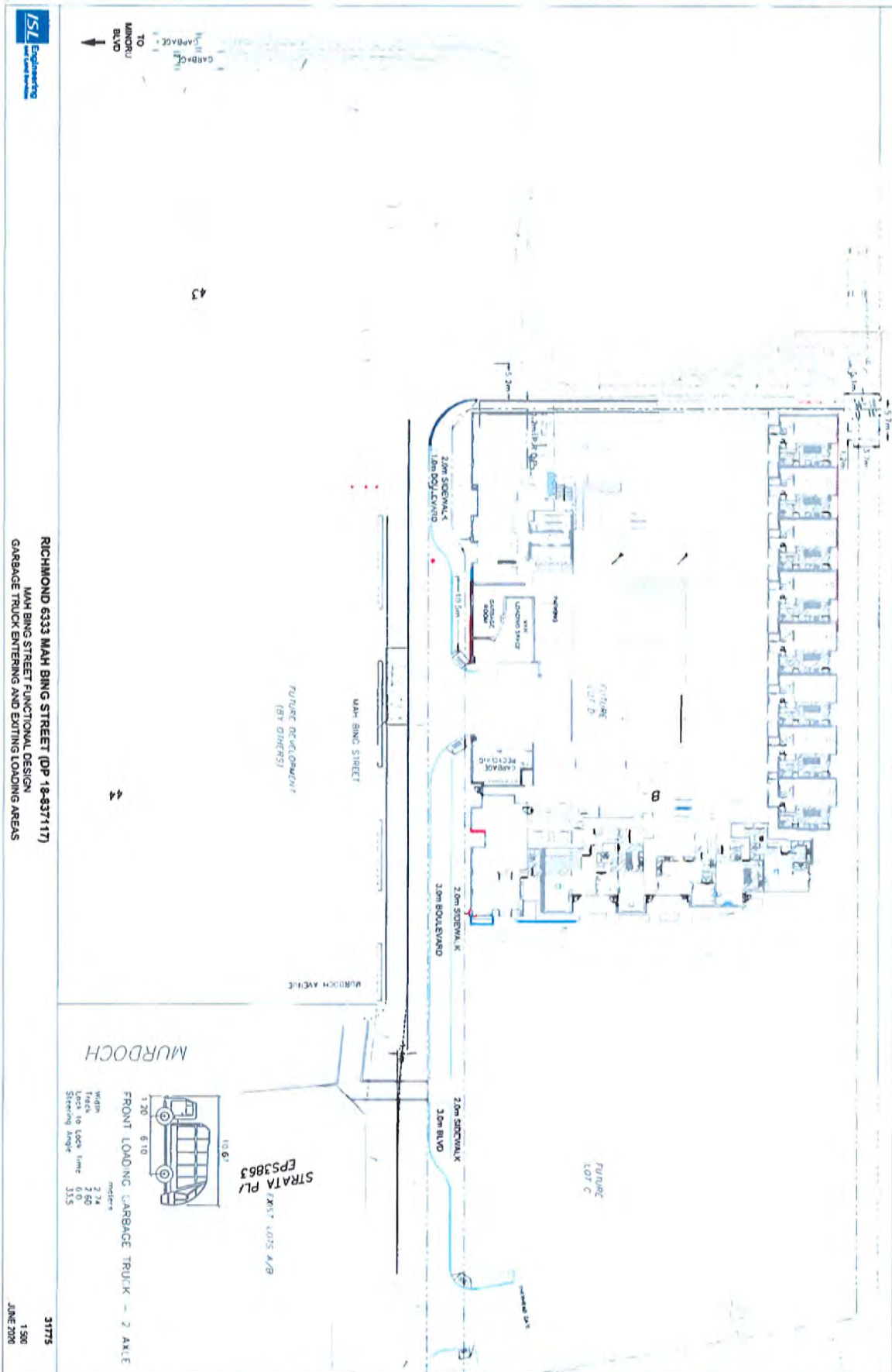
Panel Decision

It was moved and seconded

That DP 18-837117 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED





RICHMOND 6333 MAH BING STREET (DP 18-837117)
MAH BING STREET FUNCTIONAL DESIGN
GARBAGE TRUCK ENTERING AND EXITING LOADING AREAS

31775
1:500
JUNE 2008



City of
Richmond

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6333 Mah Bing Street

File No.: DP 18-837117

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Discharge of Statutory Right of Way CA3023366 (Plan EPP21004) for "Utilities and Sidewalk - Lot B".
2. Registration of a statutory right-of-way, and/or other legal agreements or measures, as determined to the satisfaction of the Director of Development, over the proposed sidewalk and boulevard areas along Mah Bing Street and the proposed 4.0 m x 4.0 m corner cut at the southeast corner of the site for utilities and sidewalk. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. Languages should be included in the document that the entire SRW area shall be transferred to the City after the Building Permit for the development (DP 18-837117) has been issued, and prior to Final Inspection of the Building Permit (i.e., occupancy) is granted.
3. Granting of a 3.28 m wide statutory right-of-way along the entire west property line of the site for the purposes of a public walkway. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. The property owner/strata are responsible for all maintenance of improvements, including but not limited to the public walkways/sidewalks, street furniture, lighting and landscaping within the SRW, and are responsible for all liability of SRW area.
4. Granting of a 1.2 m wide statutory right-of-way along the entire south property line of the site to provide adequate width for two way traffic on neighbour's lane. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. The property owner/strata are responsible for all maintenance of improvements, including but not limited to the public walkways/sidewalks, street furniture, lighting and landscaping within the SRW, and are responsible for all liability of SRW area.
5. Replace Plan EPP21005 attached to Statutory Right of Way CA3023344 to reflect the new alignment of the public greenway.
6. Registration of a legal agreement(s) regarding the developer's commitment to the proposed Tenant Relocation Plan. Languages should be included in the document to confirm adherence to the Tenant Relocation Plan prior to any demolition construction activity on site.
7. Registration of a legal agreement on title stipulating that the development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlook and reduced privacy, increased ambient noise and increased levels of night-time ambient light, and requiring that the owner provide written notification of this through the disclosure statement to all initial purchasers, and erect signage in the initial sales centre advising purchasers of the potential for these impacts.
8. Registration of a statutory right-of-way, and/or other legal agreements or measures, as determined to the satisfaction of the Director of Development, over the proposed hammerhead area at the southwest corner of the site to facilitate truck turnaround capability between the subject site and the property to the south at 6611 Minoru Boulevard. Any works essential for truck turnaround within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works.

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9. Registration of a legal agreement on title ensuring that:
 - a) where two parking spaces are provided in a tandem arrangement both parking spaces must be assigned to the same dwelling unit ; and
 - b) conversion of tandem parking area into habitable space is prohibited.
10. Registration of a legal agreement on title ensuring that:
 - a) the number of visitor parking stalls per zoning bylaw requirements will be maintained in perpetuity;
 - b) selling, leasing, assigning, or designating any of the visitor parking spaces to individual unit owners/renters/occupants or any other persons by the developers/applicants/owners and future strata councils is prohibited; and
 - c) the required visitor parking stalls are available for the common use of visitors to this development and are accessible to visitors at all times.
11. Registration of a legal agreement on title ensuring that:
 - a) conversion of any of the bicycle parking areas within the parking structure into habitable space or general storage area is prohibited; and
 - b) all of the bicycle parking areas are available for shared common use and for the sole purpose of bicycle storage.
12. Registration of a legal agreement on title ensuring that:
 - a) the number of visitor bicycle parking (Class 2) stalls per zoning bylaw requirements will be maintained in perpetuity;
 - b) selling, leasing, assigning, or designating any of the visitor bicycle parking (Class 2) stalls to individual unit owners/renters/occupants or any other persons by the developers/applicants/owners and future strata councils is prohibited; and
 - c) the required visitor bicycle parking (Class 2) stalls are available for the common use of visitors to this development and are accessible to visitors at all times.
13. Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
 - a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
 - b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building;
 - c) If a DEU is not available for connection, then the following is required prior to the earlier of subdivision (stratification) or final building inspection permitting occupancy of a building:
 - i) the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
 - ii) the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation;
 - iii) the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building;
 - iv) if required by the Director of Engineering, the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.
14. Registration of a Public Art Covenant on title for the implementation of the City approved Public Art Plan.
15. Receipt of a Letter of Credit for landscaping in the amount of \$ 1,066,863.05 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).

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16. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within or in close proximity to the tree protection zones for trees located within Minoru Park. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
17. Approval of a Post Approval Revision to SA 08-413951. An updated Letter of Credit or cash security for the value of the revised Service Agreement works, as determined by the City, will be required as part of the Post Approval Revision to SA 08-413951. Works include, but may not be limited to:

Water Works:

- Using the OCP Model, there is 344 L/s of water available at a 20 psi residual at the Mah Bing street frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
- Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
- At the developer's cost, the Developer is required to:
 - Update the water works design as per approved SA08-413951 to reflect the actual invert elevations at the tie-in points.
 - Install the proposed 200mm diameter watermain at the frontage of Tower D & E (i.e., southern portion of Mah Bing Street) as per SA08-413951.
 - Provide new hydrants to meet the 75m standard spacing required as per City standard.
 - Install new water service connection off of the proposed 300 mm PVC water main along the Mah Bing frontage. Meter to be located onsite (i.e. in a mechanical room).

Storm Sewer Works:

- At the Developer's cost, the Developer is required to:
 - Update the storm sewer design as per approved SA08-413951 to reflect the actual invert elevations at the tie-in points.
 - Install the proposed 600mm diameter storm sewer at the frontage of Tower D & E (i.e., southern portion of Mah Bing Street) as per SA08-413951.
 - Revise the alignment of the proposed box culvert (as per SA08-413951) in the proposed greenway to match the latest greenway concept and revise the proposed box culvert alignment in the park to minimize required tree removal. Parks and Engineering staff will provide directions on this prior to revising SA08-413951.

Sanitary Sewer Works:

- At the Developer's cost the Developer is required to:
 - Update the sanitary sewer design (as per approved SA08-413951) to reflect the actual invert elevations at the tie-in points.
 - Install the proposed 250mm diameter sanitary sewer at the frontage of Tower D & E (i.e., southern portion of Mah Bing Street) as per SA08-413951.
 - Revise the alignments of the proposed sanitary main and forcemain in the proposed greenway (as per approved SA08-413951) to match the latest greenway concept.
 - Provide an updated tree survey within the affected portion of Minoru Park and determine an alignment for the proposed box culvert, forcemain and sanitary main that will require the least tree removal. Parks and Engineering staff will provide input on this prior to revising SA08-413951.
 - Revise the alignment of the proposed sanitary main (as per approved SA08-413951) from the west property line to an alignment through the Minoru Park.
 - Confirm whether the existing sanitary main (coming from the property to the north that is 7368 Gollner Avenue) is live. If it is live, the developer is required to relocate that existing sanitary main prior to any site preparation works.
- At Developer's cost, the City is to:
 - Cut and cap, at main, all existing service connections to the development site and remove inspection chambers.
 - Perform all tie-ins to existing City infrastructure.

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Frontage Improvements:

- The Developer is required to:
 - Provide other frontage improvements as per Transportation's requirements, provided separately. Changes to the road width, sidewalks, boulevards, etc) Improvements shall be built to the ultimate condition wherever possible.
 - Coordinate with BC Hydro, Telus and other private communication service providers to pre-duct for future hydro, telephone and cable utilities along the Mah Bing Street frontages.
 - Coordinate with BC Hydro, the removal or relocation within the proposed development of the existing PMT that fronts the proposed Tower C (i.e., proposed building north of the proposed greenway) at the east side of Mah Bing Street.
 - Coordinate with BC Hydro, Telus and other private communication service providers to determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc). These should be located onsite, as described below.
 - Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the DP architectural plans/functional plan, the servicing agreement drawings, and registered prior to SA design approval:
 - Vista – Approximately 8.8 x 6.5 m, confirm SRW dimensions with BC Hydro
 - BC Hydro PMT – 4.0 x 5.0 m
 - BC Hydro LPT – 3.5 x 3.5 m
 - Street light kiosk – 1.5 x 1.5 m
 - Traffic signal kiosk – 2.0 x 1.5 m
 - Traffic signal UPS – 1.0 x 1.0 m
 - Shaw cable kiosk – 1.0 x 1.0 m
 - Telus FDH cabinet – 1.1 x 1.0 m
 - Revise the street lighting design as per SA08-413951 to update to current City Center standards.

General Items:

- The Developer is required to:
 - Provide an updated tree survey, arborist report and QEP report to confirm whether the existing trees and RMA in Minoru Park will be affected by the developer's proposed sanitary line construction.
 - Provide, within the post approval revision to the servicing agreement or prior to start of site preparation works (whichever comes first), a geotechnical assessment of preload, de-watering, and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
 - Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per the geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
 - Submit a proposed strategy at the building permit stage for managing excavation de-watering. Note that the City's preference is to manage construction water onsite or by removing and disposing at an appropriate facility. If this is not feasible due to volume of de-watering, the Developer will be required to apply to Metro Vancouver for a permit to discharge into the sanitary sewer system. If the sanitary sewer does not have adequate capacity to receive the volume of groundwater, the Developer will be required to enter into a de-watering agreement with the City wherein the developer will be required to treat the groundwater before discharging it to the City's storm sewer system.
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other

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activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Conduct pre- and post-preload elevation surveys of all surrounding roads, utilities, and structures. Any damage, nuisance, or other impact to be repaired at the developer's cost. The post-preload elevation survey shall be incorporated within the servicing agreement design.
- Conduct pre and post construction video inspections of adjacent sewer mains to check for possible construction damage. At their cost, the developer is responsible for rectifying construction damage.

Notes:

- For City review, the developer shall submit the cost estimate from the winning contractor for the works covered under the approved post approval revision to SA08-413951, which will be the basis of the updated security bond. If the winning contractor's estimate is not available, a signed and sealed Engineer's estimate would be acceptable subject to a 150% bonding percentage.
- Prior to start of any site preparations works (e.g., preload, soil densifications, etc.), the developer is required to:
 - Complete the post approval revision to SA08-413951 and extend first the proposed sanitary main, forcemain and box culvert through the proposed greenway and tie-in to the existing sanitary main, forcemain and canal inside Minoru Park.
 - Confirm whether the existing sanitary main at the north end of Mah Bing Street (coming from the property to the north that is 7368 Gollner Avenue) is live. If it is live, the developer is required to relocate that existing sanitary main prior to any site preparation works.
 - Remove or relocate the existing PMT at the west side of Mah Bing Street fronting the proposed tower C (i.e., proposed building north of the proposed greenway).

Prior to Demolition Permit Issuance, the developer must complete the following requirements:

1. Provide written confirmation and supporting documents to demonstrate that the proposed Tenant Relocation Plan has been implemented.
2. Installation of appropriate tree protection fencing adjacent trees within Minoru Park prior to any construction activities, including building demolition, occurring on-site.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Dedicate the SRW area (Plan EPP28003, CA3023335) on the subject site (i.e., Mah Bing Street secured as part of the rezoning application RZ 04-286496) to the City once the existing rental buildings on site are demolished.
2. Discharge of existing Statutory Right of Way (SRW) (CA2817671, Plan EPP24203) or confirm an alternative form of approval from BC Hydro to facilitate the proposed development.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Prior to Final Inspection of Building Permit (i.e., Occupancy), the developer must complete the following requirements:

1. Transfer of the SRW area over the proposed sidewalk and boulevard areas along Mah Bing Street and the proposed 4.0 m x 4.0 m corner cut at the southeast corner of the site, secured as part of the Development Permit application DP 18-837117 to the City.

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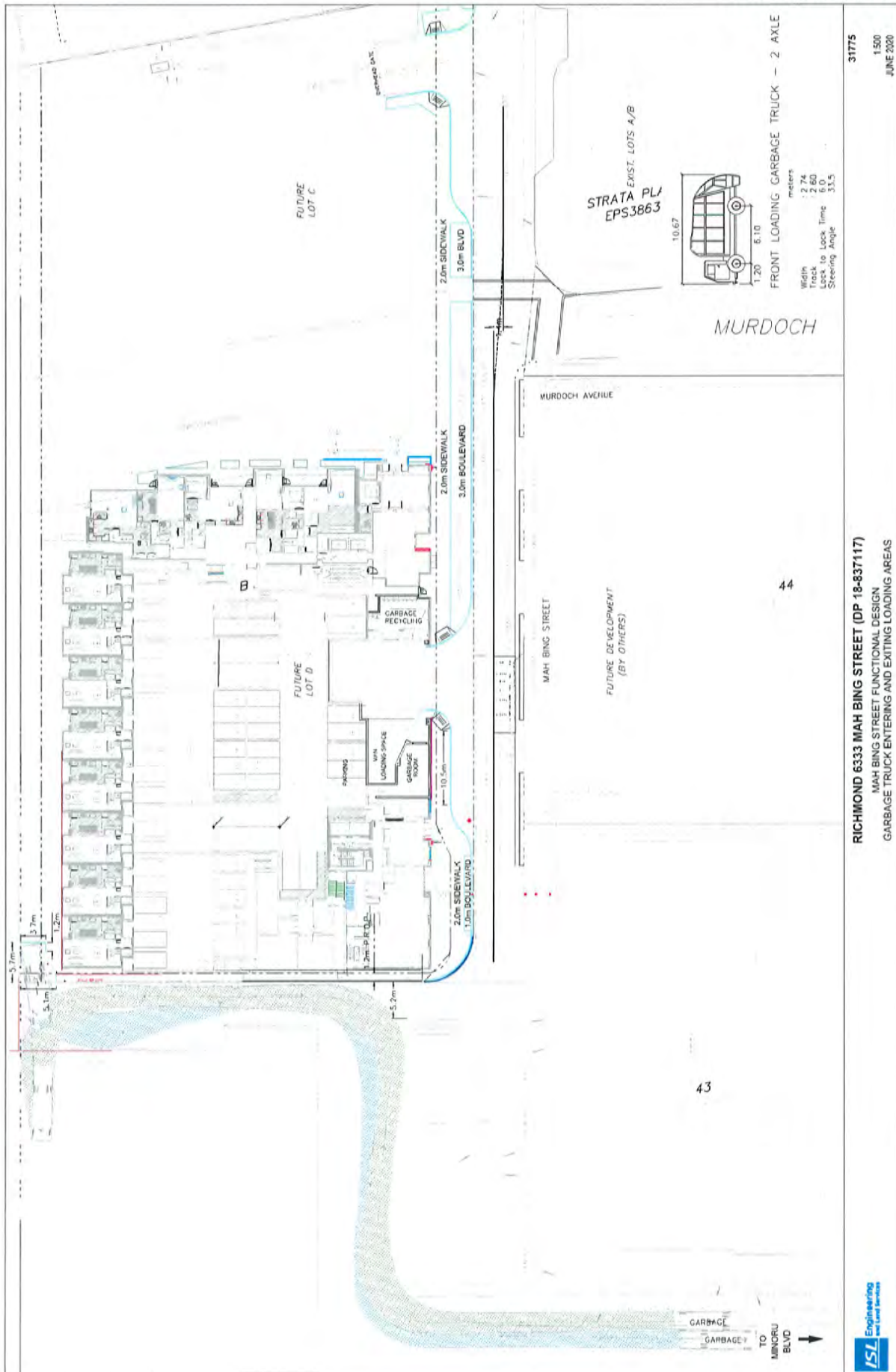
Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed _____

Date _____

ATTACHMENT B



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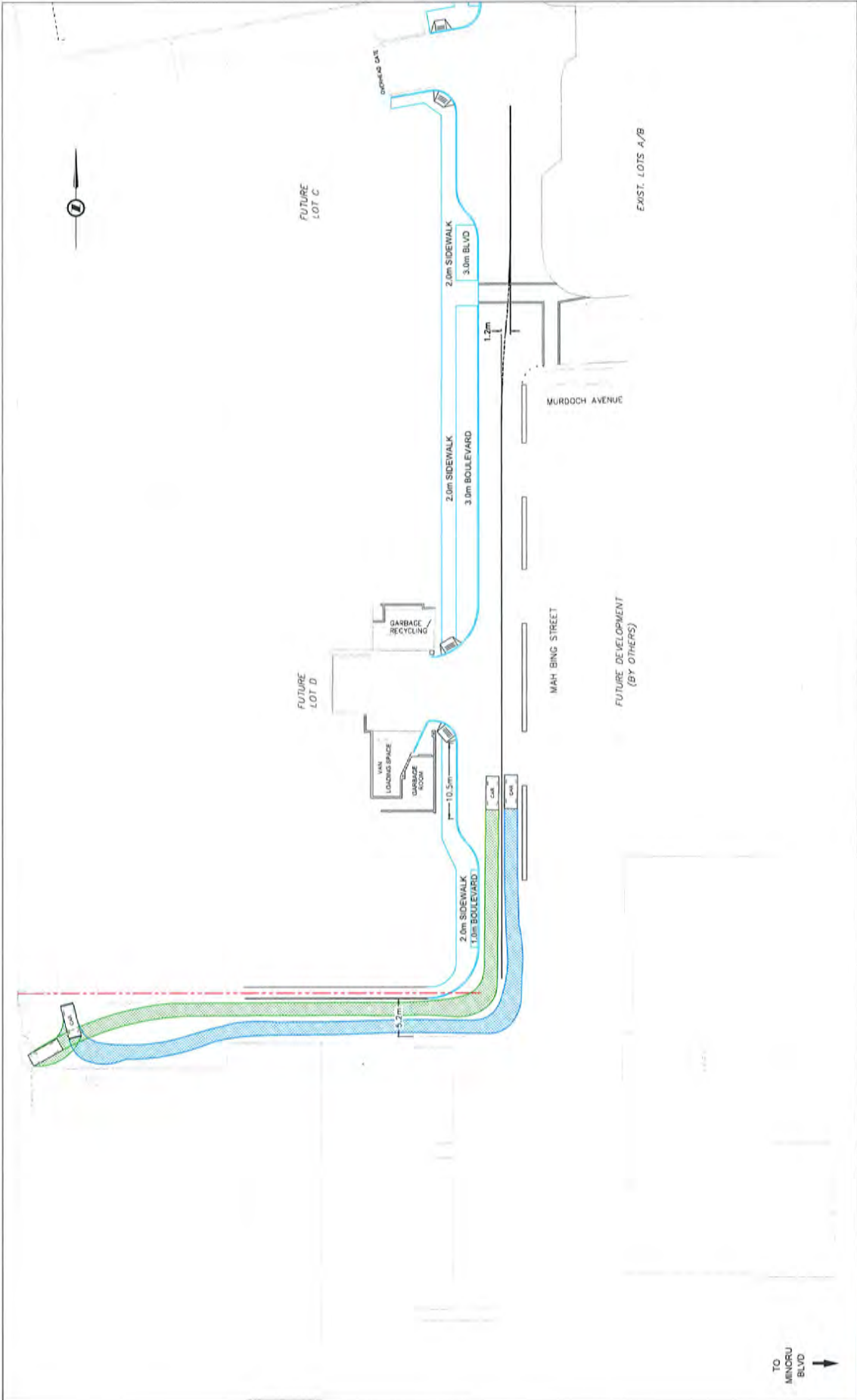
RICHMOND 6333 MAH BING STREET (DP 18-837117)
MAH BING STREET FUNCTIONAL DESIGN
GARBAGE TRUCK ENTERING AND EXITING LOADING AREAS



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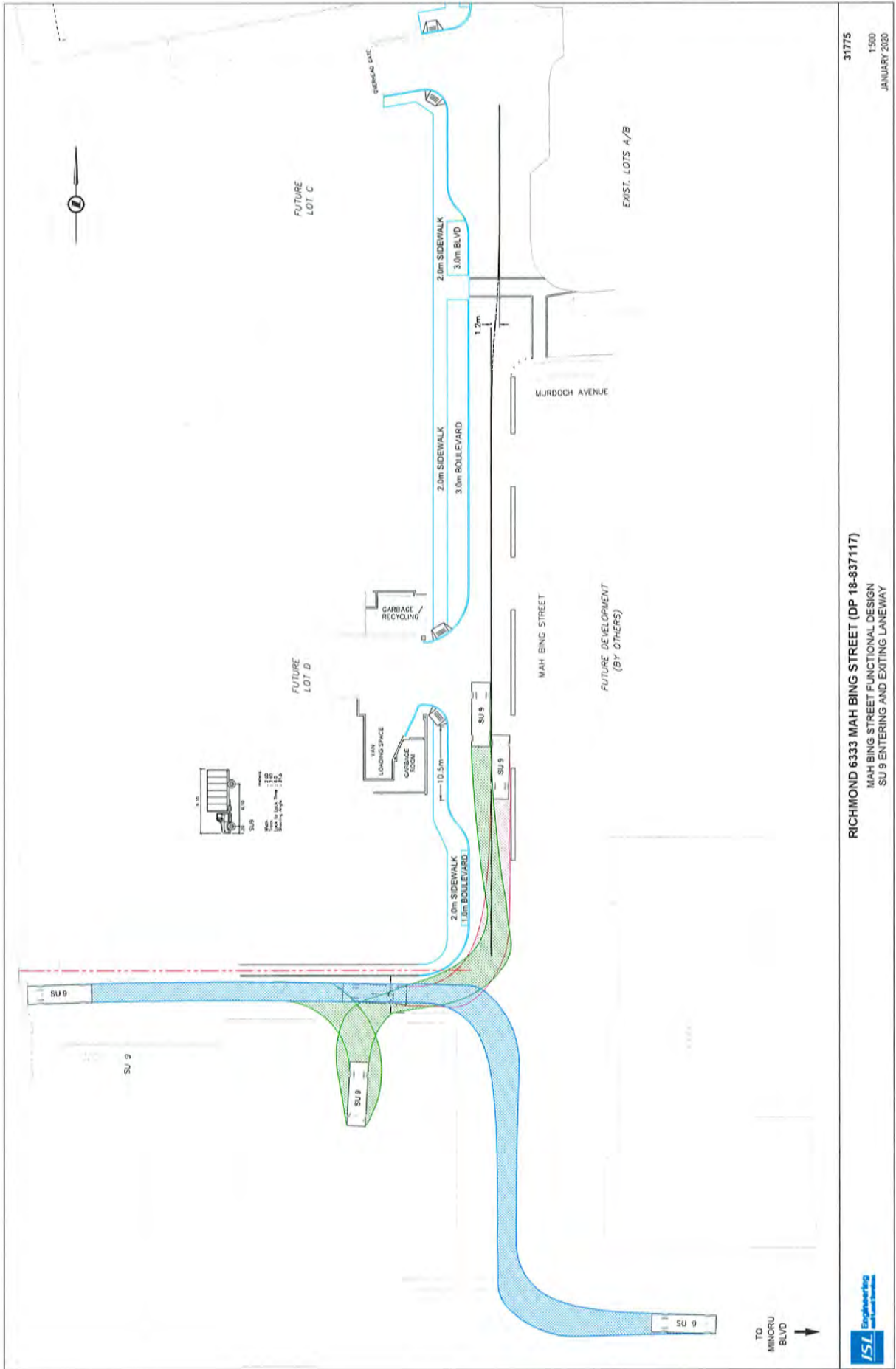




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RICHMOND 6333 MAH BING STREET (DP 18-837117)
MAH BING STREET FUNCTIONAL DESIGN
MID-SIZE PASSENGER VEHICLE ENTERING AND EXITING LANEWAY

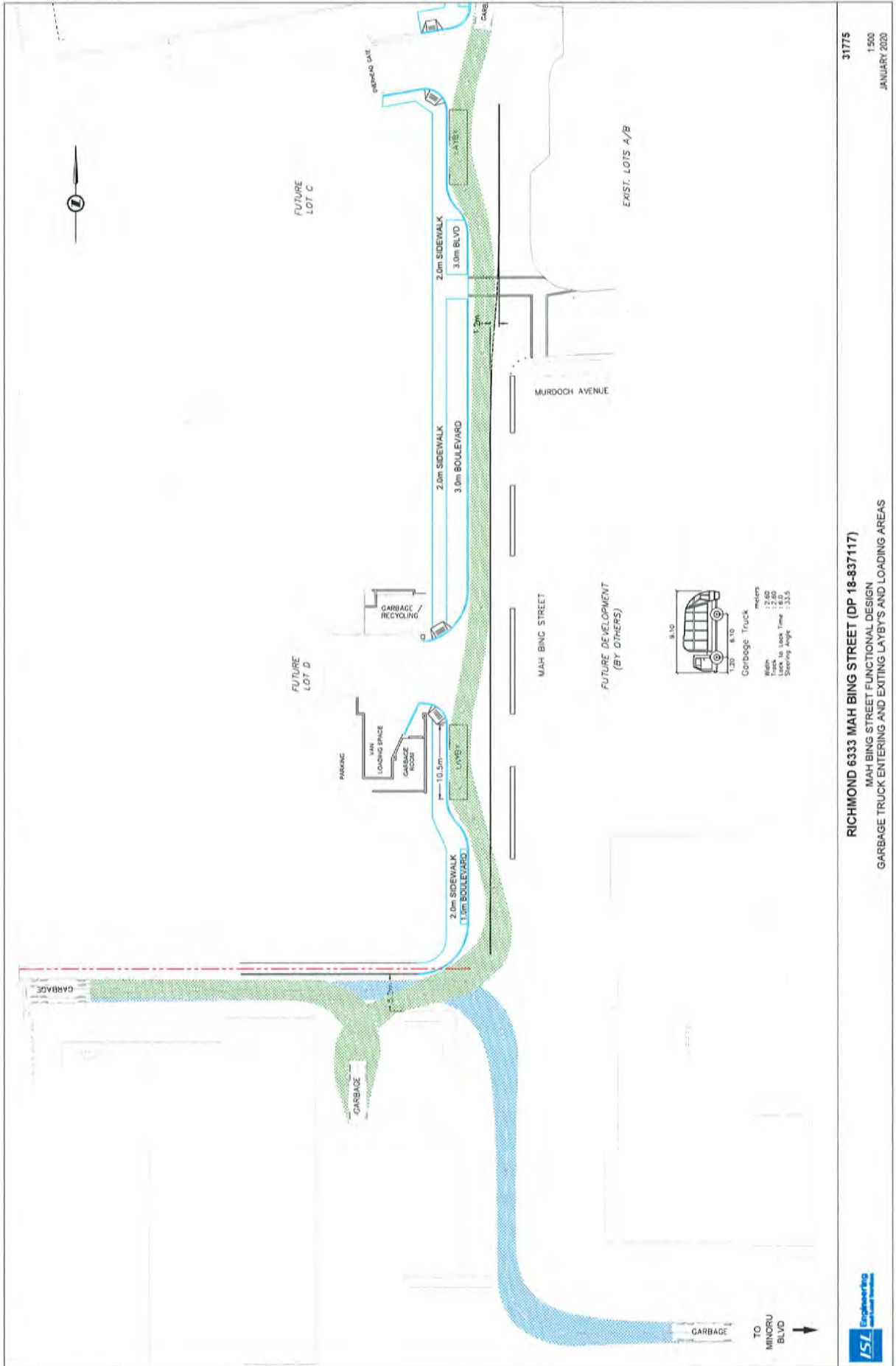




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RICHMOND 6333 MAH BING STREET (DP 18-837117)
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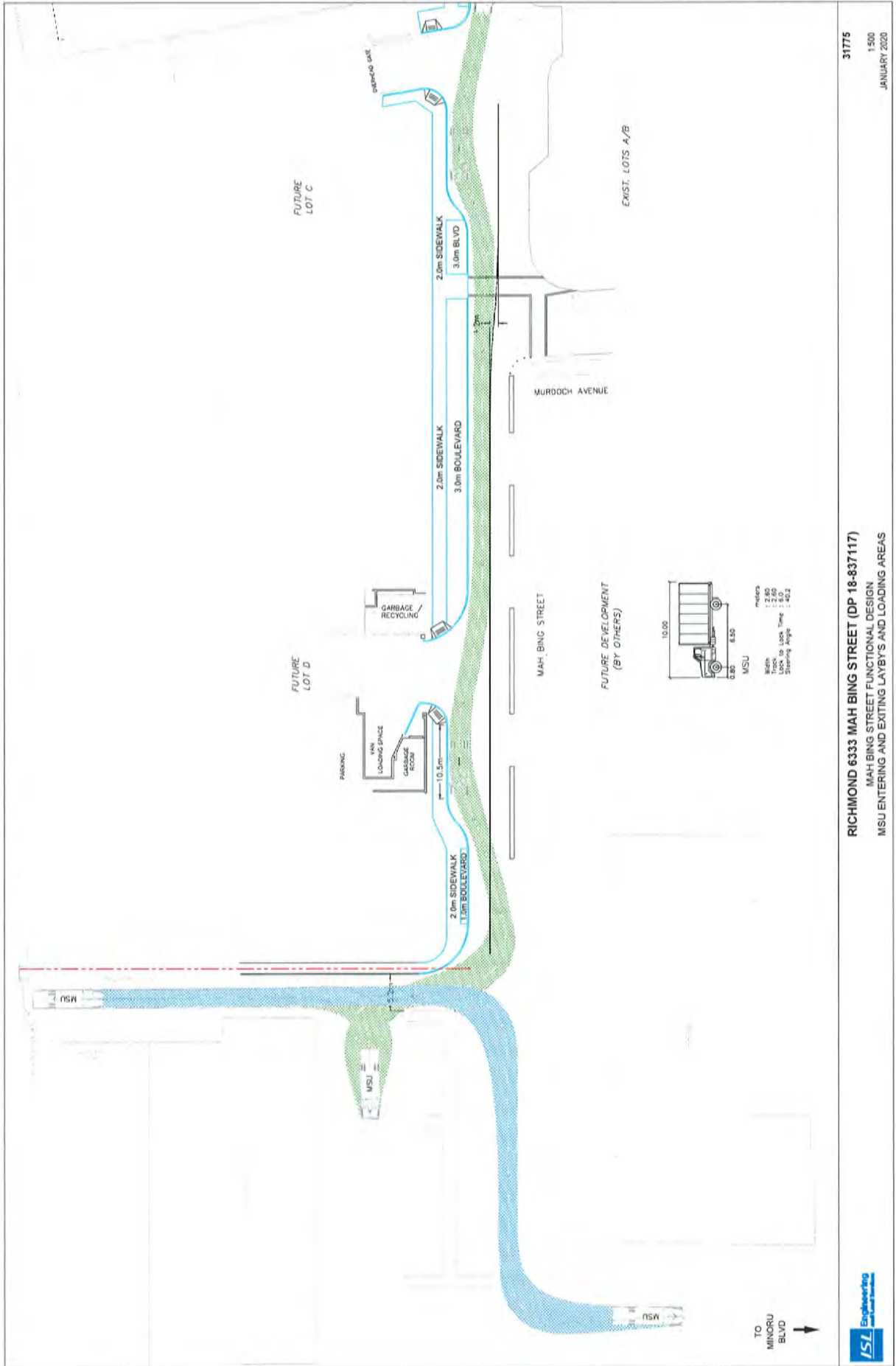




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RICHMOND 6333 MAH BING STREET (DP 18-837117)
MAH BING STREET FUNCTIONAL DESIGN
GARBAGE TRUCK ENTERING AND EXITING LOTS AND LOADING AREAS





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RICHMOND 6333 MAH BING STREET (DP 18-837117)
MAH BING STREET FUNCTIONAL DESIGN
MSU ENTERING AND EXITING LAYBYS AND LOADING AREAS



Tribe Community Mgmt With ♥

September 8, 2020

Wing Leung

W.T. Leung Architects Inc.
300 - 973 West Broadway
Vancouver, BC V5Z 1K3

Dear Wing Leung,

**Re: The Owners, Strata Plan NW 2677 – Regency Park Towers
6611 Minoru Blvd, Richmond BC
Communicated Offer (April 28, 2020) – 6333-6399 Mah Bing Street, Richmond**

We are writing to you on behalf of and at the direction of the Strata Council, The Owners, Strata Plan NW2677 – Regency Park Towers.

Further to our phone discussion and email (dated August 13, 2020), the Strata Council met on August 27, 2020 to discuss and review your communicated offer (dated April 28, 2020), which is also enclosed with this letter. After discussion, Council approved to proceed further on your communicated offer with the understanding that a follow up meeting take place to clarify on some of the proposed items on your communicated offer.

We have been informed by Council that a follow up meeting did take place in person on September 1, 2020 between yourself and two Council members (Peter Demchuk and Michael Richard) and confirmation that the proposed items on your communicated offer have been clarified. It is also understood by the parties that an agreement based on your communicated offer will be presented for further consideration.

Council will recommend approval to remove the two visitor parking stalls in question and present a ¾ Vote Resolution on an agreement based on your communicated offer at the upcoming Annual General Meeting in November 2020 (date to be confirmed and subject to change pending COVID-19 considerations) for approval and ratification by the Owners, Strata Plan NW2677 – Regency Park Towers.

Should you have further questions on this matter, please feel free to contact me directly.

Sincerely,

Tribe Management Inc.
Agents for NW2677 – Regency Park Towers



Andrew Chen
Community Manager
Direct: 604-343-2601 Ext. 756
Email: Andrew.Chen@tribemgmt.com

ATTACHMENT D

6611 Minoru Boulevard and 6333 - 6399 Mah Bing Street, Richmond, BC

Wing Leung <wing@wtleungarch.com>

Tue 2020-04-28 3:16 PM

To: Andrew Chen <Andrew.Chen@tribemgmt.com>

Cc: Doug Millar <doug@wtleungarch.com>

Hi Andrew,

Further to our telephone conversation this morning and our recent discussions these past few weeks, I am writing to briefly summarize as follows:

With a view to promoting good neighborly relationships between our clients Park Residences Limited Partnership 2 of 6333 - 6399 Mah Bing Street and your clients at 6611 Minoru Boulevard, I have suggested, on a without prejudice basis, that our client offer to compensate your clients with the sum of \$30,000.00 where your clients would agree to relocate the two visitor parking stalls that are currently located along the common property line thereby re-opening the east west drive aisle along our common property line.

This would facilitate an easier access route for the garbage and recycling trucks for their access when providing services to your clients' garbage and recycling facilities which are currently located inside the parking garage.

In return, our client would receive an encroachment agreement for a construction crane swing which our client would also reciprocate, giving your client a similar encroachment agreement should your client wishes to redevelop in the future. This crane swing agreement is for the provision of the weather waning of the crane and the crane would not be carrying any load over your clients' property at any time during construction.

Our client would also benefit by not having to provide the hammerhead turnaround as per the sketch which we presented to you, Mr John Evans and Mr Zhang of the Strata Council on March 1, 2020. This would provide for a better front yard design for the townhouse unit located on the south west corner of our proposed development.

For your information, Dr. Fong, the owner of the apartment building at 6551 Minoru Boulevard, has also agreed to relocate the garbage and recycling bins on his property which currently backs onto your clients' two visitor parking stalls at no cost to our clients.

As per our conversation, you would be conducting a video conference meeting with the Strata Council members of 6611 Minoru Boulevard this Thursday April 30 and I look forward to hearing from you on our proposal.

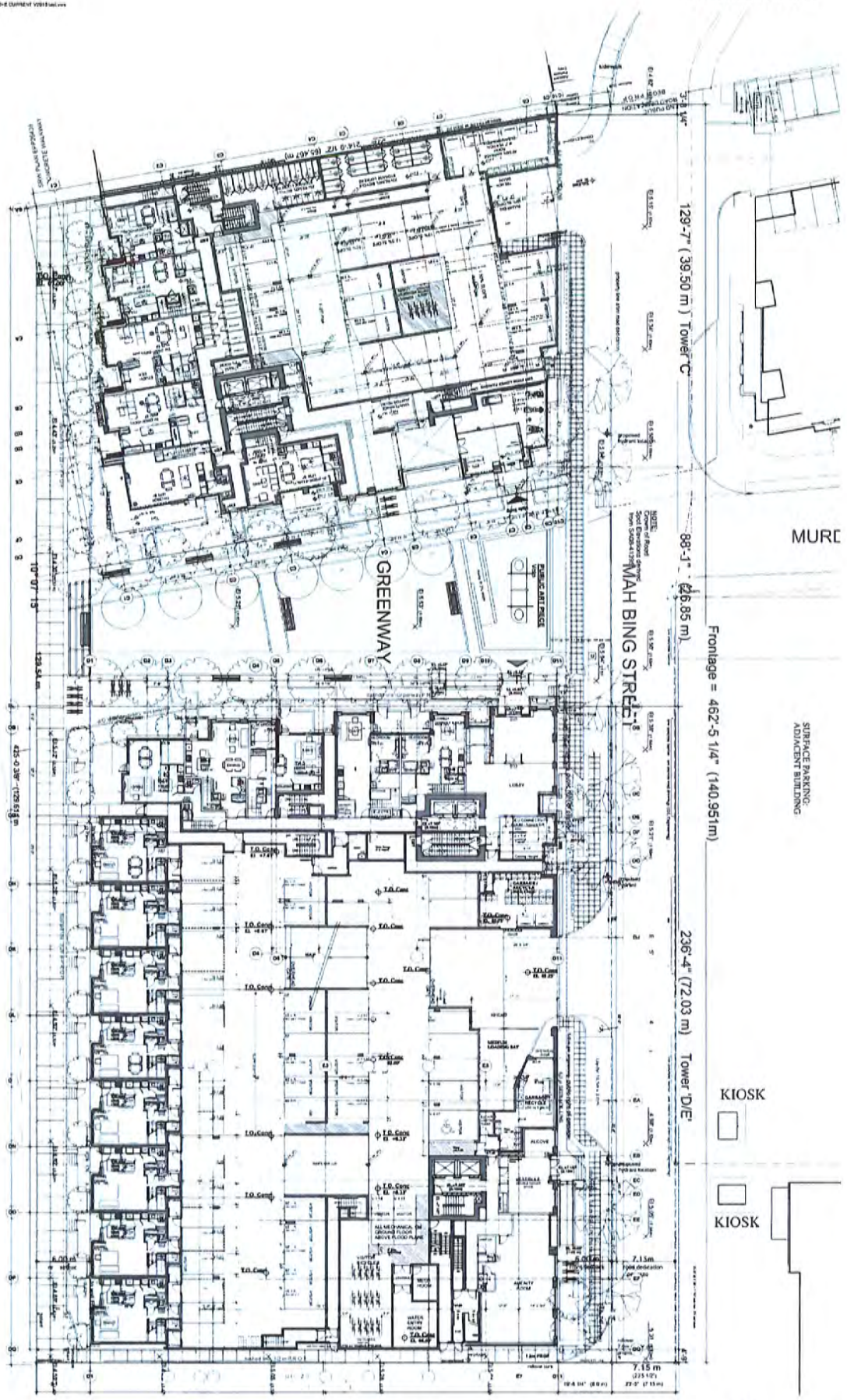
Regards,

Wing

W.T. Leung Architects Inc.
300 - 973 West Broadway,
Vancouver, BC V5Z 1K3
Canada
Tel: (604) 736 9711
Fax: (604) 736 7991

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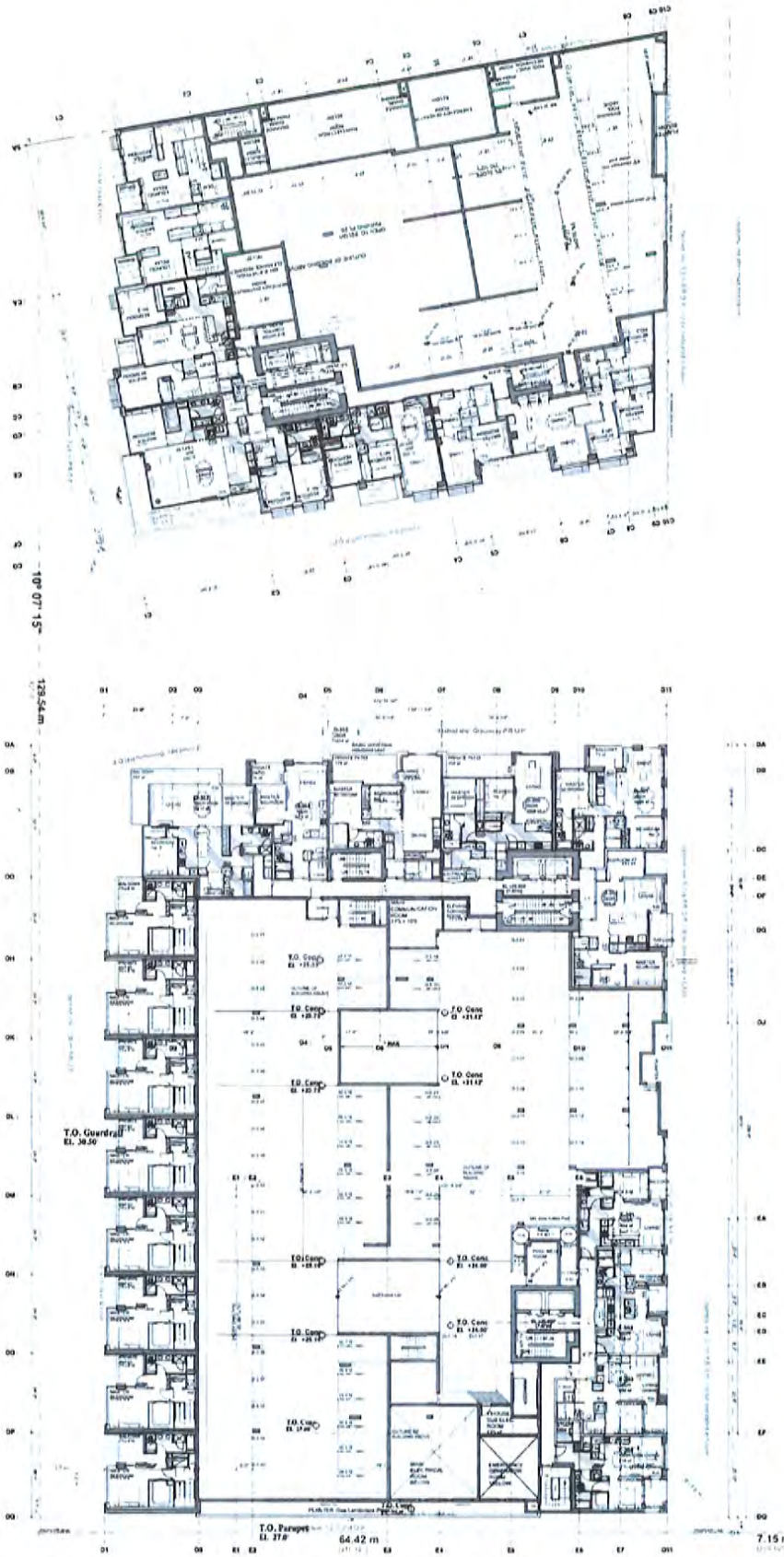


W. T. LEUNIC
ARCHITECTS
INC.

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 22 3/4" = 1'-0" (5460mm = 1m)
 23" = 1'-0" (5520mm = 1m)
 23 1/4" = 1'-0" (5580mm = 1m)
 23 1/2" = 1'-0" (5640mm = 1m)
 23 3/4" = 1'-0" (5700mm = 1m)
 24" = 1'-0" (5760mm = 1m)
 24 1/4" = 1'-0" (5820mm = 1m)
 24 1/2" = 1'-0" (5880mm = 1m)
 24 3/4" = 1'-0" (5940mm = 1m)
 25" = 1'-0" (6000mm = 1m)
 25 1/4" = 1'-0" (6060mm = 1m)
 25 1/2" = 1'-0" (6120mm = 1m)
 25 3/4" = 1'-0" (6180mm = 1m)
 26" = 1'-0" (6240mm = 1m)
 26 1/4" = 1'-0" (6300mm = 1m)
 26 1/2" = 1'-0" (6360mm = 1m)
 26 3/4" = 1'-0" (6420mm = 1m)
 27" = 1'-0" (6480mm = 1m)
 27 1/4" = 1'-0" (6540mm = 1m)
 27 1/2" = 1'-0" (6600mm = 1m)
 27 3/4" = 1'-0" (6660mm = 1m)
 28" = 1'-0" (6720mm = 1m)
 28 1/4" = 1'-0" (6780mm = 1m)
 28 1/2" = 1'-0" (6840mm = 1m)
 28 3/4" = 1'-0" (6900mm = 1m)
 29" = 1'-0" (6960mm = 1m)
 29 1/4" = 1'-0" (7020mm = 1m)
 29 1/2" = 1'-0" (7080mm = 1m)
 29 3/4" = 1'-0" (7140mm = 1m)
 30" = 1'-0" (7200mm = 1m)



- 1. General Notes
- 2. Structural Notes
- 3. Mechanical Notes
- 4. Electrical Notes
- 5. Plumbing Notes
- 6. Fire Protection Notes
- 7. Energy Conservation Notes
- 8. Accessibility Notes
- 9. Other Notes



PLAN # 11 JUL 07 2020
 DP 18-837117

A-2.04

DATE	BY	DESCRIPTION
08/23/2018	DMK	DMK
08/23/2018	DMK	DMK
08/23/2018	DMK	DMK
08/23/2018	DMK	DMK
08/23/2018	DMK	DMK
08/23/2018	DMK	DMK
08/23/2018	DMK	DMK
08/23/2018	DMK	DMK
08/23/2018	DMK	DMK

**Floor Plan L-3
 Courtyard**

**Residnt Developme
 Park Residences P
 Tower C+D+E
 6333 - 6339 Main Street
 Richmond, BC**

- 1. General Notes
- 2. Schedule of Finishes
- 3. Schedule of Doors
- 4. Schedule of Windows
- 5. Schedule of Millwork
- 6. Schedule of Mechanical
- 7. Schedule of Electrical
- 8. Schedule of Plumbing
- 9. Schedule of Fire Protection
- 10. Schedule of Security
- 11. Schedule of Signage
- 12. Schedule of Site Work
- 13. Schedule of Landscape
- 14. Schedule of Furniture
- 15. Schedule of Artwork
- 16. Schedule of Other



**W. T. LEUN
 ARCHITECT
 INC.**

1100 - 1111 King Street
 Vancouver, BC V6A 1K2
 Telephone: 604.681.1111
 Fax: 604.681.1112

- MATERIAL LIST**
- 1 TERRAZZO PANEL, Mosaic Quartzite (regular wood pattern)
 - 2 TERRAZZO PANEL, Mosaic Quartzite (accent wood pattern)
 - 3 CONCRETE OR ELASTOMERIC PAINT FINISH (841 OC-14 NATURE CHALK)
 - 4 DOUBLE GLAZED WINDOW IN FINISHED ALUMINUM FRAME (random wall)
 - 5 SHAPED/PAINTED GLAZED PANEL - ACCENT COLOR (see 2155-20 Color Match)
 - 6 CLASS GUARDRAIL
 - 7 VERTICAL LANDSCAPING (see landscape drawings)
 - 8 PERFORATED METAL SCREEN (mechanical rooftop units)
 - 9 GRANITE PANEL, various colors (location TBD)
 - 10 BRICK (see landscape drawings)
 - 11 BRICK (see landscape drawings)
 - 12 BRICK (see landscape drawings)
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 - 94 BRICK (see landscape drawings)
 - 95 BRICK (see landscape drawings)
 - 96 BRICK (see landscape drawings)
 - 97 BRICK (see landscape drawings)
 - 98 BRICK (see landscape drawings)
 - 99 BRICK (see landscape drawings)
 - 100 BRICK (see landscape drawings)
- MECHANICAL NOTES**
- A FLUID COOLERS AND AIR HANDLING UNITS shall be installed in accordance with the manufacturer's instructions to be incorporated in the design. All units shall be installed in a location that is accessible for maintenance and repair.
 - B FLUID COOLERS AND AIR HANDLING UNITS shall be installed in a location that is accessible for maintenance and repair. All units shall be installed in a location that is accessible for maintenance and repair.
 - C EMERGENCY GENERATOR ROOM shall be installed in a location that is accessible for maintenance and repair. All units shall be installed in a location that is accessible for maintenance and repair.
 - D PARADE EXHAUST VENTILATION shall be installed in a location that is accessible for maintenance and repair. All units shall be installed in a location that is accessible for maintenance and repair.
 - E PASSIVE VENTILATION shall be installed in a location that is accessible for maintenance and repair. All units shall be installed in a location that is accessible for maintenance and repair.



COURTYARD NORTH ELEVATION TOWER E

LANE SOUTH ELEVATION TOWER E

JUL 07 2020 PLAN # 29 DP 18-837117

A-3.05

Courtyard Elev. Tower North Tower South Tower

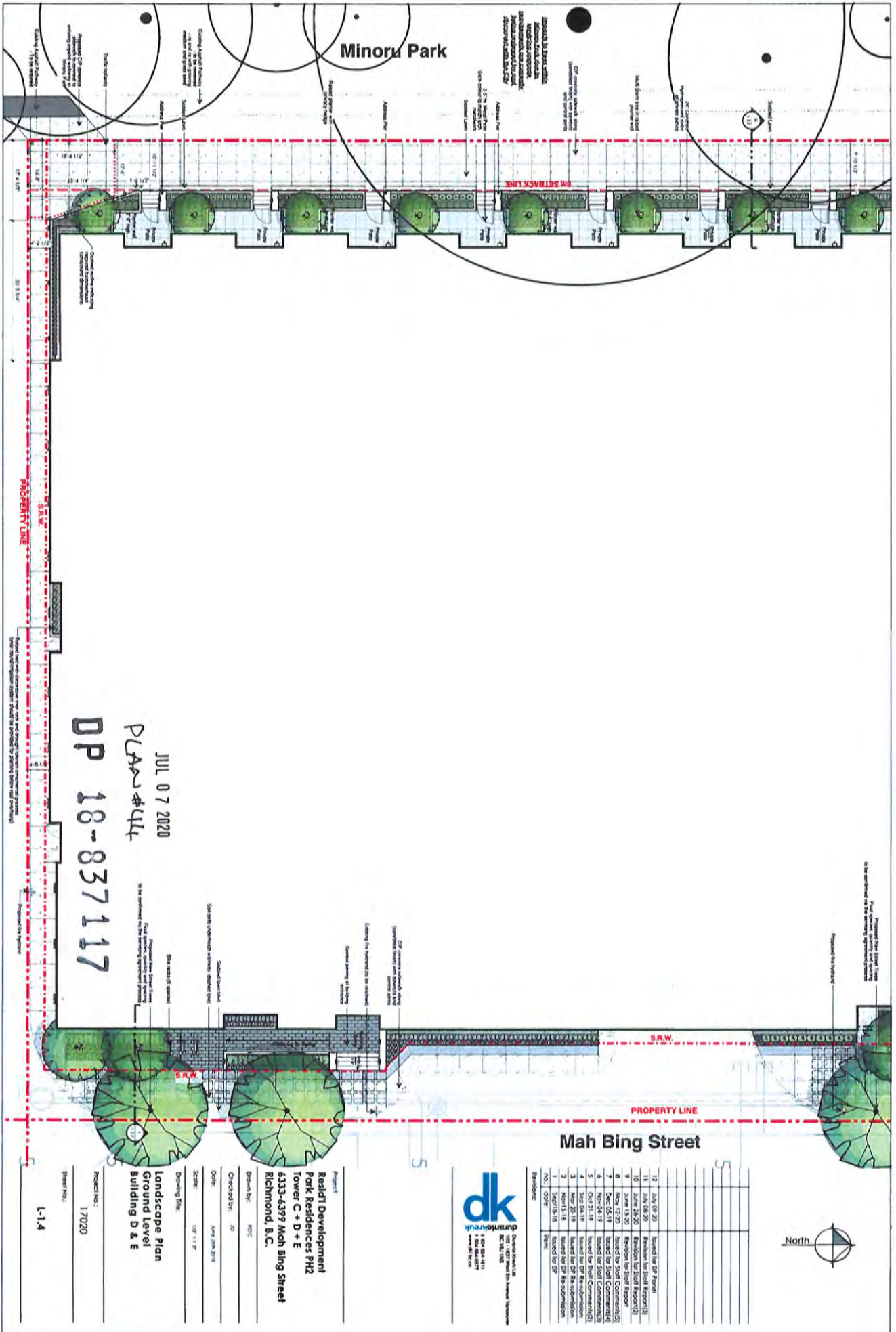
Resid'l Developm
Park Residencs P
Tower C+D+E
5333 - 1039 Main Bing Road
Richmond, BC

DATE: 02-03
DRAWN: DM/WR
BY: August 23, 2018
SCALE: 1/8" = 1'-0"
CHECK: WTL

W. T. LEUN ARCHITECT INC.

3000 201 Street, Richmond, BC
V6V 2G1
Tel: 604-273-1111
Fax: 604-273-1112

NO.	DESCRIPTION	DATE
1	Issue for Review	07/07/20
2	Issue for Review	07/07/20
3	Issue for Review	07/07/20
4	Issue for Review	07/07/20
5	Issue for Review	07/07/20
6	Issue for Review	07/07/20
7	Issue for Review	07/07/20
8	Issue for Review	07/07/20
9	Issue for Review	07/07/20
10	Issue for Review	07/07/20



JUL 07 2020
 PLAN #444
 DP 18-837117

Mah Bing Street



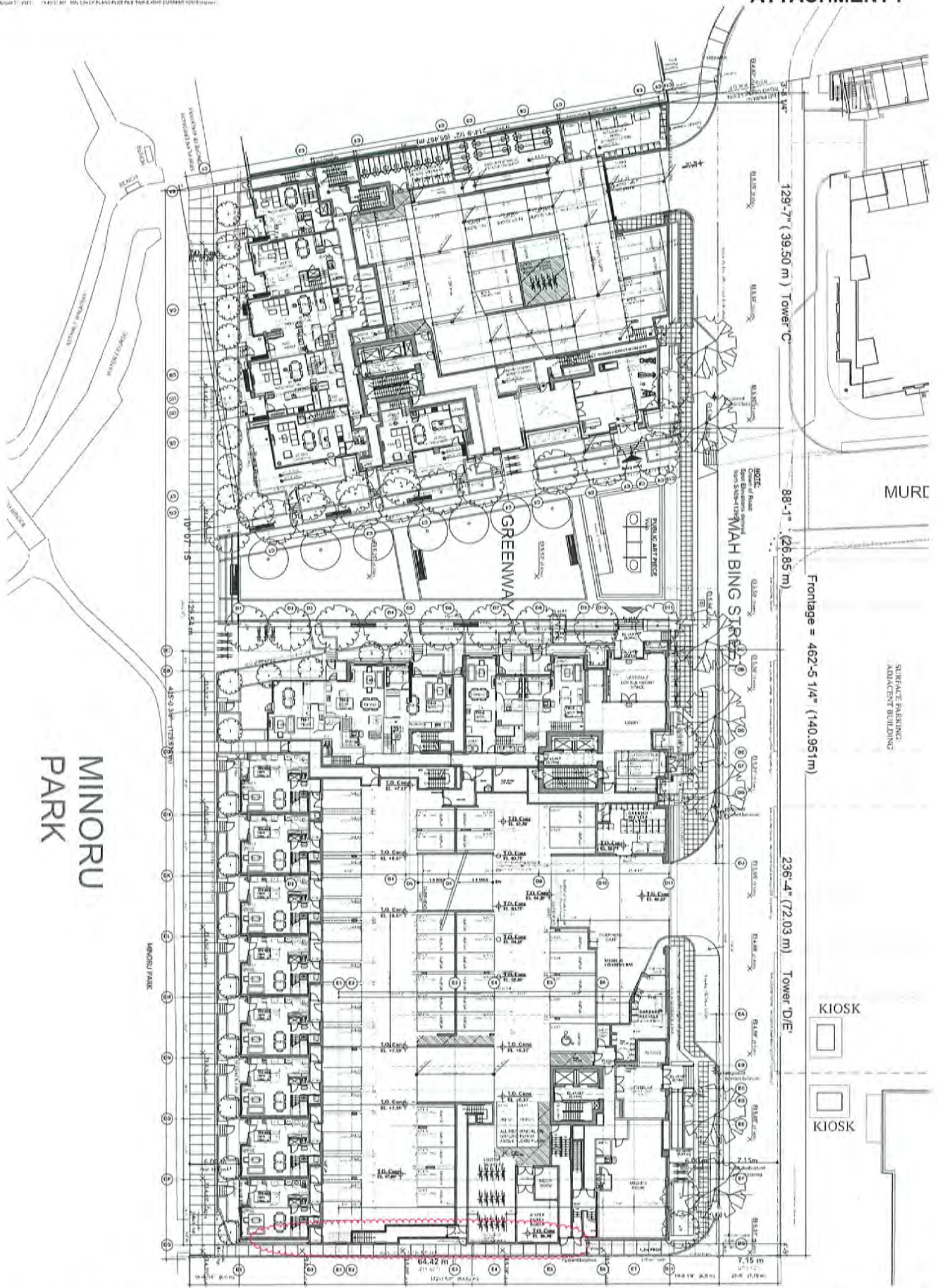
NO.	DATE	DESCRIPTION
1	2020/05/18	ISSUED FOR DP
2	2020/05/19	ISSUED FOR DP
3	2020/05/19	ISSUED FOR DP
4	2020/05/19	ISSUED FOR DP
5	2020/05/19	ISSUED FOR DP
6	2020/05/19	ISSUED FOR DP
7	2020/05/19	ISSUED FOR DP
8	2020/05/19	ISSUED FOR DP
9	2020/05/19	ISSUED FOR DP
10	2020/05/19	ISSUED FOR DP
11	2020/05/19	ISSUED FOR DP
12	2020/05/19	ISSUED FOR DP
13	2020/05/19	ISSUED FOR DP

Project:
 Resdi Development
 Park Residences PH2
 Tower C + D + E
 6333-6399 Mah Bing Street
 Richmond, B.C.

Drawn By: EJC
 Checked By: AS
 Date: June 20th 2019
 Scale: 1/8" = 1'-0"

Project No.: 17020
 Drawing No.: L-1.4





MINORU PARK

MURE

SURFACE PARKING ADJACENT BUILDING

KIOSK

KIOSK

129'-7" (39.50 m) Tower C

88'-1" (26.85 m)

Frontage = 462'-5 1/4" (140.951m)

236'-4" (72.03 m) Tower D/E

Floor Plan L-1

Resid+ Development
Park Residences PH2
Tower C+D+E
0333 - 0333 Mah Bing Street
Rockwood, BC

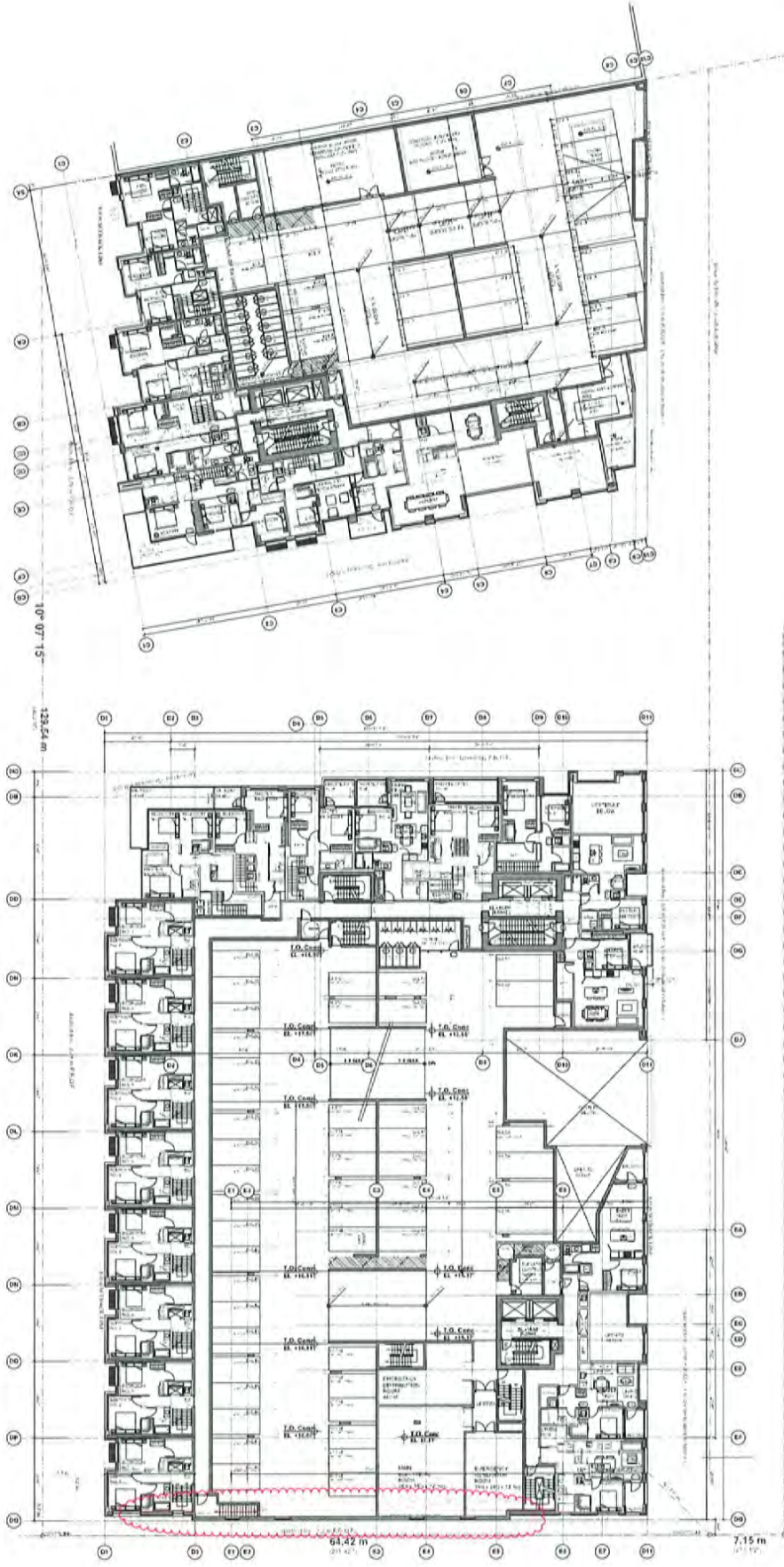
A-2.02

DATE	02-24-13
DESIGNER	DB/AVK
DATE	August 23, 2018
SCALE	1/8" = 1'-0"
DATE	WTL

W. T. LEUNG
ARCHITECTS
INC.



Scale: 1/8" = 1'-0" (1:96)
North Arrow: True North
Drawing Date: August 23, 2018
Drawing Title: Floor Plan L-1



W. T. LEUNG ARCHITECTS INC.

1000 West 10th Avenue, Suite 1000
 Vancouver, British Columbia V6H 2Y9
 Canada



- REVISIONS**
1. Initial Design
 2. Final Design
 3. Construction Documents
 4. Construction Documents
 5. Construction Documents
 6. Construction Documents
 7. Construction Documents
 8. Construction Documents
 9. Construction Documents
 10. Construction Documents

NOTES

1. All dimensions are in meters unless otherwise specified.
2. All areas are in square meters unless otherwise specified.
3. All elevations are in meters unless otherwise specified.
4. All materials and finishes are as shown on the drawings.
5. All work is to be in accordance with the applicable building codes and standards.
6. All work is to be in accordance with the manufacturer's instructions.
7. All work is to be in accordance with the applicable fire codes and standards.
8. All work is to be in accordance with the applicable accessibility codes and standards.
9. All work is to be in accordance with the applicable energy codes and standards.
10. All work is to be in accordance with the applicable sustainability codes and standards.

**Resid'l Development
 Park Residences PH2
 Tower C+D+E**

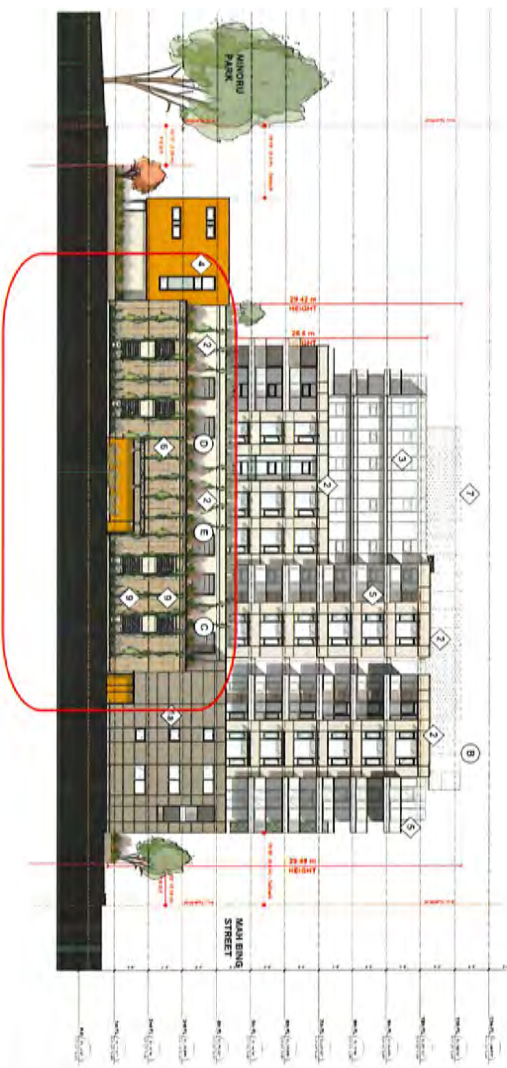
4323 - 4399 Main Street
 Richmond, BC

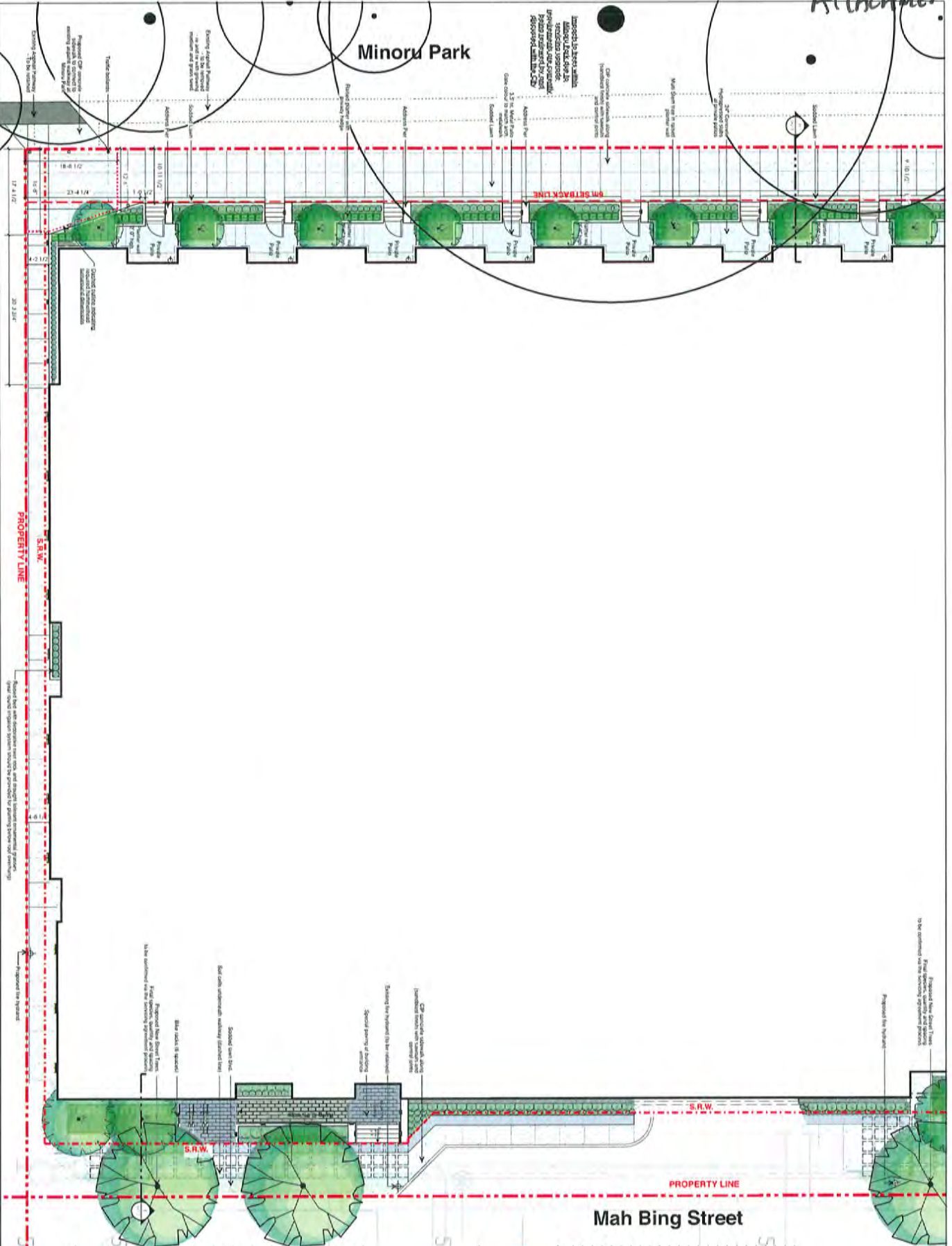
Floor Plan L-2

DATE: 02-23-2018
 PROJECT: DMVVK
 DRAWN BY: August 23, 2018
 CHECKED BY: WTL
 SCALE: 1/8" = 1'-0"

- MATERIAL LIST**
- 1 TERRAZZO PANEL, Mosaic Quarry (regular layout pattern)
 - 2 TERRAZZO PANEL, Mosaic Quarry (accent layout pattern)
 - 3 CONCRETE OR ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
 - 4 DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
 - 5 BIOPARTICLED GLAZED PANEL - ACCENT COLOUR BM 7-52-20 Gold Glass
 - 6 GLASS QUADRANT
 - 7 VERTICAL LAMINATION (see landscape drawings)
 - 8 PERFORATED METAL SCREEN (mechanical room only)
 - 9 SPANDREL PANEL, various colors (location TBD)
 - A BM 20-27 Woodgrain
 - B BM 20-28 Woodgrain
 - C BM 20-29 Woodgrain
 - D BM 20-30 Woodgrain
 - E BM 20-31 Woodgrain
 - F BM 20-32 Woodgrain
 - G BM 20-33 Woodgrain
 - H BM 20-34 Woodgrain
 - I BM 20-35 Woodgrain
 - J BM 20-36 Woodgrain
 - K BM 20-37 Woodgrain
 - L BM 20-38 Woodgrain
 - M BM 20-39 Woodgrain
 - N BM 20-40 Woodgrain
 - O BM 20-41 Woodgrain
 - P BM 20-42 Woodgrain
 - Q BM 20-43 Woodgrain
 - R BM 20-44 Woodgrain
 - S BM 20-45 Woodgrain
 - T BM 20-46 Woodgrain
 - U BM 20-47 Woodgrain
 - V BM 20-48 Woodgrain
 - W BM 20-49 Woodgrain
 - X BM 20-50 Woodgrain
 - Y BM 20-51 Woodgrain
 - Z BM 20-52 Woodgrain
 - 10 BRICK MASONRY - Imperial Gray

- MECHANICAL NOTES**
- A FLUID COOLERS AND AIR HANDLING UNITS shall be installed in accordance with the manufacturer's instructions and specifications complete.
 - B FLUID COOLERS AND AIR HANDLING UNITS shall be installed in accordance with the manufacturer's instructions and specifications complete.
 - C EMERGENCY GENERATOR ROOM shall be installed in accordance with the manufacturer's instructions and specifications complete.
 - D PARADE EXHAUST VENTILATION shall be installed in accordance with the manufacturer's instructions and specifications complete.
 - E PASSIVE VENTILATION shall be installed in accordance with the manufacturer's instructions and specifications complete.





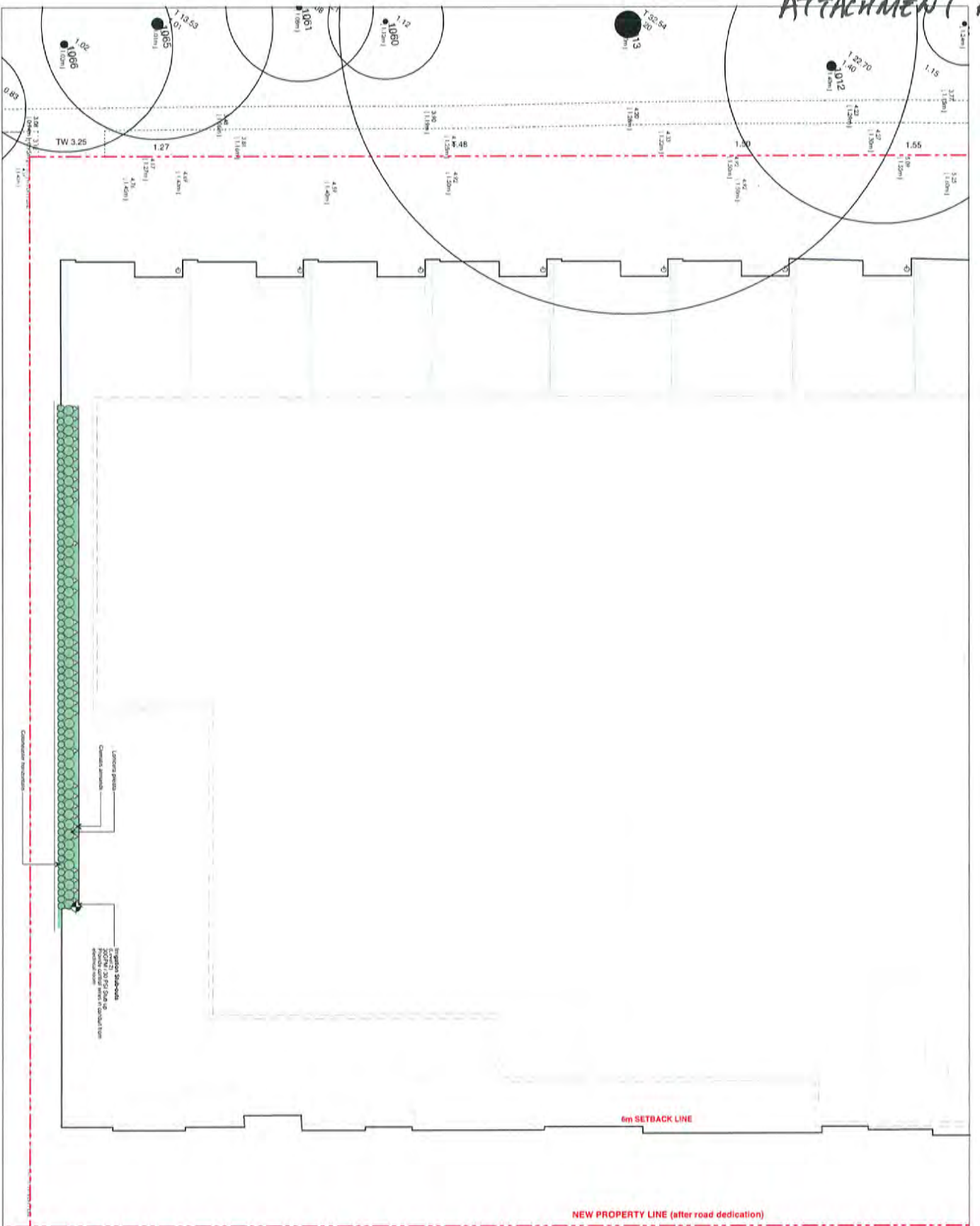
Project:
Residi Development
Park Residences PH2
Tower C + D + E
6333-6399 Mah Bing Street
Richmond, B.C.

Drawn by: KJC
Checked by: JD
Date: Jun 18/20
Scale: 1/8" = 1'-0"

Project No.: 17020
Sheet No.: L-1.4

Revision:

No.	DATE	REVISION
1	Jan 18/20	Stand for CP Residences
2	Jan 20/20	Stand for CP Residences
3	Jan 20/20	Stand for CP Residences
4	Jan 20/20	Stand for CP Residences
5	Jan 20/20	Stand for CP Residences
6	Jan 20/20	Stand for CP Residences
7	Jan 20/20	Stand for CP Residences
8	Jan 20/20	Stand for CP Residences
9	Jan 20/20	Stand for CP Residences
10	Jan 20/20	Stand for CP Residences
11	Jan 20/20	Stand for CP Residences
12	Jan 20/20	Stand for CP Residences



No.	Date	Description
1	Aug 21 '20	Revised per GP review comments
2	May 04 '20	Issued for GP Review
3	Apr 24 '20	Revised per GP Review
4	June 24 '20	Revision for State Notification
5	June 15 '20	Revision for State Notification
6	May 13 '20	Issued for State Notification
7	Dec 05 '19	Issued for State Notification
8	Nov 04 '19	Issued for State Notification
9	Oct 21 '19	Issued for State Notification
10	Sept 11 '19	Issued for State Notification
11	May 20 '19	Issued for GP Re-submission
12	May 15 '18	Issued for GP Re-submission
13	Sept 18 '18	Issued for GP

dk
durante kreuk
1000 40th Street
Richmond, B.C. V6V 2G9
Tel: 604.273.8888

Project: **Residi Development
Park Residences PH2
Lower C + D + E
4333-6399 Mch Bing Street
Richmond, B.C.**

Drawn By: **KJC**
Checked By: **ID**
Date: **June 20th 2018**
Scale: **1/8" = 1'-0"**
Drawing File: **Landscape Plan
Level 2
Building E**

Project No.: **17020**
Sheet No.: **L-1.8-A**

(A) Current Site Information

Site Address:	6391 Minoru Blvd / 6491 Minoru Blvd (new site address 6333 Mah Bing Street)
Legal Description:	Lot B, Section 8, Block 4 North Range 6 West, NWD Plan EPP21002
Owner Name:	410730 BC Ltd (Park Residences Phase II Limited Partnership)
Applicant Name:	Rachel Hutton, Stikeman Elliott LLP
Phone:	604-631-1342
E-mail:	rhutton@stikeman.com
Current Zoning:	Richmond Bylaw 8300 Amendment Bylaw No. 8103 (per RZ004-286496 adopted Sept 08, 2008)
Current Rental Type: (select all that apply)	<input checked="" type="checkbox"/> Market <input type="checkbox"/> Non-market <input type="checkbox"/> Cooperative <input type="checkbox"/> Other (please specify):

(B) Current Total Rental Units

Unit Type	Number of Current Units			Average Monthly Rent	Average Size (m ²)
	Total	Occupied	Ground-Oriented*		
Studio	06	05	0	\$ 0 884.00	52.0
1 BR	67	62	0	\$ 1 054.68	72.2
2 BR	46	45	0	\$ 1 262.67	102.8
3 BR	05	05	0	\$1 433.00	124.9
3+ BR					
Total	124	117	0	n/a	n/a

(C) New Rental Units (*CONSTRUCTION COMPLETED - OCCUPANCY Nov 2016)

Unit Type	New Rental Units			
	Number of Units	Ground-Oriented*	Initial Average Monthly Rent at occupancy	Average Size (m ²)
Studio	28	0	\$ 0 927.78 senior ** \$ 1 115.00 market ***	46.1
1 BR	74	0	\$ 1 000.00 senior ** \$ 1 347.88 market ***	50.0
2 BR	30	0	\$ 1 882.67 market ***	70.3
3 BR				
3+ BR				
Total	132	n/a	n/a	n/a

* Ground-oriented unit means a unit that is directly accessible from the road

** 22 units seniors' housing was provided with rents capped at \$1 000/ month per housing agreement

*** 110 units market housing was provided

(D) Tenant Relocation Plan

Tenant Relocation Plan Components	Tenant Relocation Plan	Comply with the policy?
<p>Notification:</p> <ul style="list-style-type: none"> A minimum 4 months' notice to end tenancy, and otherwise as set out in the provincial <i>Residential Tenancy Act</i> 	<p>The <i>Residential Tenancy Act</i> will be followed as it pertains to notification and compensation</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>Right of First Refusal:</p> <ul style="list-style-type: none"> Offer to return to the building, with rent rates set at low-end market rental (LEMR) rates (without having to meet income thresholds) 	<p>132 Replacement Rental Units were constructed, completed and occupancy granted December 06, 2016 (110 market + 22 non-market seniors' affordable) Existing Tenants were offered first refusal Yes, 19 accepted the offer</p> <p>*NOTE: Rezoning adopted Sept. 08, 2008; initial rents were as per rates outlined in housing agreement – rates were established at max \$1 000 / month for seniors non market as outlined in the housing agreement</p> <p><u>July 07, 2020 – updated</u> Existing tenants received a letter offering priority viewing on Oct. 18, 2016.</p> <p>As a condition of rezoning, the owns of the existing buildings entered a legal agreement with the City of Richmond requiring demolition of these buildings within two years of occupancy (Mandatory Demolition was to occur by December 05, 2018).</p> <p>A demolition bond of \$577 500 was also posted</p> <p>The owner of these rental properties had ceased signing lease agreements beyond 2018 in anticipation of required demolition, and all new rentals are handled on a month to month basis</p> <p>Planning requested in 2018 that demolltion be deferred pending revisions to rental policies</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>Relocation Assistance: (Only required for tenants with tenancy of 1+ years)</p> <ul style="list-style-type: none"> Accommodation must meet the tenant's needs Accommodation should be located in Richmond or in another location at the tenant's discretion Rents at the new location should not exceed CMHC average area rents for Richmond 	<p>The developer will provide relocation assistance</p> <p>Yes, a Tenant Relocation Coordinator will be retained to provide relocation assistance</p> <p><u>July 07, 2020 – updated</u></p> <p>The relocation coordinator will be Betty Thien, Property Manager (Rhome)</p> <p><u>Betty.Thien@Rhomepm.com</u> - 604-501-4413</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>

<p>Compensation: <i>(Only required for tenants with tenancy of 1+ years)</i></p> <ul style="list-style-type: none"> • 3 months' free rent or lump sum equivalent 	<p>3 months free rent or lump sum equivalent will be provided</p> <p><u>July 07, 2020 – updated</u></p> <p>For those who qualify for compensation, the option will be provided for 3 months' free rent or lump sum equivalent</p> <p>Those who have resided in the building for five years or more will receive one additional month free rent or lump sum equivalent</p> <p>Those who have resided in the building for ten years or more will receive two additional months free rent or lump sum equivalent</p> <p>Ms. Betty Thien (Rhome Management) will handle all monetary issues</p> <p>All damage deposits will be returned to the tenants upon vacating, as the buildings will be demolished</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>Communication with Tenants:</p>	<p>Property management has been in communication with tenants during the development application process</p> <p><u>July 07, 2020 – updated</u></p> <p>The on-site manager in regular communication with tenants is Mr. Ivan Petrov, 604-270-6779</p> <p>The DP Sign was erected in front of the buildings, at the intersection of Murdoch and Mah Bing November 13, 2018.</p> <p>After Development Permit Approval and issuance and Demolition Permit Issuance, the applicant will conduct an Open House meeting with tenants (Covid-19 conditions permitting) and will also advise tenants in writing of relocation assistance options and compensation available</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>

Prepared by: _____ Doug Millar architect aibc _____

Date: _____ July 07, 2020 _____

RESIDENT SURVEY FOR TENANT RELOCATION PLAN
6391 MINORU BLVD

Dear Resident,

Further to our letter to you dated July 24, 2020 notifying you of the proposed redevelopment of the site and outlining the Tenant Relocation Plan, below is a brief survey that we ask you to complete so we have the best information as to your relocation needs. A copy of our July 24 letter and the Tenant Relocation Plan are attached for your reference.

Please fill in the below information and return the survey **by Friday, August 21, 2020 or earlier** to:

- the drop box on the main floor (by the laundry room) of the building; OR
- email it to Ivan Petrov, the Site Manager, at minoru.office@telus.net,

This information will be compiled to ensure residents receive the relocation assistance particular to their needs. Please note that only one survey for each unit will be accepted.

Note: The following questions are included to assist in identifying appropriate relocation supports. You are not required to provide this information.

Unit# _____ 6391 Minoru Blvd Start of Tenancy/Move in date: _____

Tenant(s) Name Tenants(s) Age

#1 _____

#2 _____

Phone number Email address

#1 _____

#2 _____

1. Do you need assistance finding alternate accommodation? Yes No

2. Do you need an accessible unit*? Yes No

**An accessible unit has a building entrance ramp, minimum door widths of 860 mm to accommodate wheelchairs, and lever-operated handles.*

3. Do you need help with moving due to mobility or physical challenges? Yes No

4. Do you have dependents in your household (e.g. children under the age of 19 or individuals such as an elderly parent who you are the primary caregiver of)? Yes No

If yes, please specify how many dependents: _____

5. What is your budget? (We will try to provide a list of possible alternate accommodations that may be available at or below CMHC average rents for the area, unless otherwise requested)

6. Number of bedrooms preferred: _____
7. Neighborhood preferred: _____
8. Are there other factors that we should know about that would affect your move or alternate accommodation?

SIGNATURE: _____

DATE: August _____, 2020

RESIDENT SURVEY FOR TENANT RELOCATION PLAN
6491 MINORU BLVD

Dear Resident,

Further to our letter to you dated July 24, 2020 notifying you of the proposed redevelopment of the site and outlining the Tenant Relocation Plan, below is a brief survey that we ask you to complete so we have the best information as to your relocation needs. A copy of our July 24 letter and the Tenant Relocation Plan are attached for your reference.

Please fill in the below information and return the survey **by Friday, August 21, 2020 or earlier** to:

- the drop box on the main floor (by the laundry room) of the building; OR
- email it to Ivan Petrov, the Site Manager, at minoru.office@telus.net,

This information will be compiled to ensure residents receive the relocation assistance particular to their needs. Please note that only one survey for each unit will be accepted.

Note: The following questions are included to assist in identifying appropriate relocation supports. You are not required to provide this information.

Unit# _____ 6491 Minoru Blvd Start of Tenancy/Move in date: _____

Tenant(s) Name Tenants(s) Age

#1 _____

#2 _____

Phone number Email address

#1 _____

#2 _____

1. Do you need assistance finding alternate accommodation? Yes No

2. Do you need an accessible unit*? Yes No

**An accessible unit has a building entrance ramp, minimum door widths of 860 mm to accommodate wheelchairs, and lever-operated handles.*

3. Do you need help with moving due to mobility or physical challenges? Yes No

4. Do you have dependents in your household (e.g. children under the age of 19 or individuals such as an elderly parent who you are the primary caregiver of)?
Yes No

If yes, please specify how many dependents: _____

5. What is your budget? (We will try to provide a list of possible alternate accommodations that may be available at or below CMHC average rents for the area, unless otherwise requested)

[RHOME MANAGEMENT LETTERHEAD]

July 24, 2020

**[Name of Tenant/unit]
6391 / 6491 Minoru Blvd
Richmond, BC V6Y 1Y4**

Proposed Redevelopment of 6391/6491 Minoru Blvd

We write to notify you that the owner of the property is proposing to redevelop the site and the City of Richmond Development Permit Panel will evaluate the development for approval on **Wednesday, July 29, 2020 at 3:30 pm.**

If approved by the Development Permit Panel, the developer, Park Residences Phase II Limited Partnership, would intend to proceed with the development process thereafter.

The Developer anticipates that notice to vacate will be given no sooner than early 2021, with a minimum of 4 months notice.

The developer is committed to providing the following assistance to all Tenants. These items are detailed in the attached proposed Tenant Relocation Plan. This Plan has been provided to the City of Richmond.

- Minimum four months notice to vacate
- 3 months free rent or lump sum equivalent will be provided for each tenancy of 1+ years
 - Tenants who have resided in the building for 5+ years will receive one additional month free rent or lump sum equivalent
 - Those who have resided in the building for 10+ years will receive two further additional months free rent or lump sum equivalent
- Relocation assistance will be provided
- Rhome Management has been engaged by the developer as Tenant Relocation Coordinator
- Following DP Board approval, Tenants will be kept informed of next steps and relocation timing/compensation details, including by way of Open House
- All damage deposits will be refunded in full

If you have any questions, please contact Betty Thien or Ivan Petrov. Their contact information is in the attached Tenant Relocation Plan.

Yours truly,

Rhome Management

Betty Thien, Property Manager

(A) Current Site Information

Site Address:	6391 Minoru Blvd / 6491 Minoru Blvd (new site address 6333 Mah Bing Street)
Legal Description:	Lot B, Section 8, Block 4 North Range 6 West, NWD Plan EPP21002
Owner Name:	410730 BC Ltd (Park Residences Phase II Limited Partnership)
Applicant Name:	Rachel Hutton, Stikeman Elliott LLP
Phone:	604-631-1342
E-mail:	rhutton@stikeman.com
Current Zoning:	Richmond Bylaw 8300 Amendment Bylaw No. 8103 (per RZ004-286496 adopted Sept 08, 2008)
Current Rental Type: (select all that apply)	<input checked="" type="checkbox"/> Market <input type="checkbox"/> Non-market <input type="checkbox"/> Cooperative <input type="checkbox"/> Other (please specify):

(B) Current Total Rental Units

Unit Type	Number of Current Units			Average Monthly Rent	Average Size (m ²)
	Total	Occupied	Ground-Oriented*		
Studio	06	05	0	\$ 0 884.00	52.0
1 BR	67	62	0	\$ 1 054.68	72.2
2 BR	46	45	0	\$ 1 262.67	102.8
3 BR	05	05	0	\$1 433.00	124.9
3+ BR					
Total	124	117	0	n/a	n/a

(C) New Rental Units (*CONSTRUCTION COMPLETED - OCCUPANCY Nov 2016)

Unit Type	New Rental Units			
	Number of Units	Ground-Oriented*	Initial Average Monthly Rent at occupancy	Average Size (m ²)
Studio	28	0	\$ 0 927.78 senior ** \$ 1 115.00 market ***	46.1
1 BR	74	0	\$ 1 000.00 senior ** \$ 1 347.88 market ***	50.0
2 BR	30	0	\$ 1 882.67 market ***	70.3
3 BR				
3+ BR				
Total	132	n/a	n/a	n/a

* Ground-oriented unit means a unit that is directly accessible from the road
 ** 22 units seniors' housing was provided with rents capped at \$1 000/ month per housing agreement
 *** 110 units market housing was provided

(D) Tenant Relocation Plan

Tenant Relocation Plan Components	Tenant Relocation Plan	Comply with the policy?
<p>Notification:</p> <ul style="list-style-type: none"> A minimum 4 months' notice to end tenancy, and otherwise as set out in the provincial <i>Residential Tenancy Act</i> 	<p>The <i>Residential Tenancy Act</i> will be followed as it pertains to notification and compensation</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>Right of First Refusal:</p> <ul style="list-style-type: none"> Offer to return to the building, with rent rates set at low-end market rental (LEMR) rates (without having to meet income thresholds) 	<p>132 Replacement Rental Units were constructed, completed and occupancy granted December 06, 2016 (110 market + 22 non-market seniors' affordable) Existing Tenants were offered first refusal Yes, 19 accepted the offer</p> <p>*NOTE: Rezoning adopted Sept. 08, 2008; initial rents were as per rates outlined in housing agreement – rates were established at max \$1 000 / month for seniors non market as outlined in the housing agreement</p> <p><u>July 07, 2020 – updated</u> Existing tenants received a letter offering priority viewing on Oct. 18, 2016.</p> <p>As a condition of rezoning, the owns of the existing buildings entered a legal agreement with the City of Richmond requiring demolition of these buildings within two years of occupancy (Mandatory Demolition was to occur by December 05, 2018).</p> <p>A demolition bond of \$577 500 was also posted</p> <p>The owner of these rental properties had ceased signing lease agreements beyond 2018 in anticipation of required demolition, and all new rentals are handled on a month to month basis</p> <p>Planning requested in 2018 that demolition be deferred pending revisions to rental policies</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>Relocation Assistance: (Only required for tenants with tenancy of 1+ years)</p> <ul style="list-style-type: none"> Accommodation must meet the tenant's needs Accommodation should be located in Richmond or in another location at the tenant's discretion Rents at the new location should not exceed CMHC average area rents for Richmond 	<p>The developer will provide relocation assistance</p> <p>Yes, a Tenant Relocation Coordinator will be retained to provide relocation assistance</p> <p><u>July 07, 2020 – updated</u></p> <p>The relocation coordinator will be Betty Thien, Property Manager (Rhome) Betty.Thien@Rhomepm.com - 604-501-4413</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>

<p>Compensation: <i>(Only required for tenants with tenancy of 1+ years)</i></p> <ul style="list-style-type: none"> • 3 months' free rent or lump sum equivalent 	<p>3 months free rent or lump sum equivalent will be provided</p> <p><u>July 07, 2020 – updated</u></p> <p>For those who qualify for compensation, the option will be provided for 3 months' free rent or lump sum equivalent</p> <p>Those who have resided in the building for five years or more will receive one additional month free rent or lump sum equivalent</p> <p>Those who have resided in the building for ten years or more will receive two additional months free rent or lump sum equivalent</p> <p>Ms. Betty Thien (Rhome Management) will handle all monetary issues</p> <p>All damage deposits will be returned to the tenants upon vacating, as the buildings will be demolished</p>	<p>x Yes <input type="checkbox"/> No</p>
<p>Communication with Tenants:</p>	<p>Property management has been in communication with tenants during the development application process</p> <p><u>July 07, 2020 – updated</u></p> <p>The on-site manager in regular communication with tenants is Mr. Ivan Petrov, 604-270-6779</p> <p>The DP Sign was erected in front of the buildings, at the intersection of Murdoch and Mah Bing November 13, 2018.</p> <p>After Development Permit Approval and issuance and Demolition Permit Issuance, the applicant will conduct an Open House meeting with tenants (Covid-19 conditions permitting) and will also advise tenants in writing of relocation assistance options and compensation available</p>	<p>X Yes <input type="checkbox"/> No</p>

Prepared by: _____ Doug Millar architect aibe _____

Date: _____ July 07, 2020 _____

[RHOME MANAGEMENT LETTERHEAD]

August 14, 2020

6391 Minoru Blvd
Richmond, BC V6Y 1Y4

REMINDER – Please Complete and Submit Resident Survey for Tenant Relocation Plan

Dear Resident of 6391 Minoru Blvd,

We delivered a Resident Survey for Tenant Relocation Plan on August 6, 2020, and we remind you to complete the survey and return it to us so we have information as to your relocation needs. A copy of the survey is attached.

Please fill in the information requested in the survey and return it as soon as possible and no later than Friday, August 21, 2020 to:

1. the drop box on the main floor (by the laundry room) of the building; OR
2. email it to Ivan Petrov, the Site Manager, at minoru.office@telus.net.

As a reminder, this information will be compiled to assist residents with the relocation assistance particular to their needs. Please note that only one survey for each unit will be accepted.

if you have already returned the survey, please do not re-submit it.

Yours truly,

Rhome Management

Betty Thien, Property Manager

[RHOME MANAGEMENT LETTERHEAD]

August 14, 2020

6491 Minoru Blvd
Richmond, BC V6Y 1Y4

REMINDER – Please Complete and Submit Resident Survey for Tenant Relocation Plan

Dear Resident of 6491 Minoru Blvd,

We delivered a Resident Survey for Tenant Relocation Plan on August 6, 2020, and we remind you to complete the survey and return it to us so we have information as to your relocation needs. A copy of the survey is attached.

Please fill in the information requested in the survey and return it as soon as possible and no later than Friday, August 21, 2020 to:

1. the drop box on the main floor (by the laundry room) of the building; OR
2. email it to Ivan Petrov, the Site Manager, at minoru.office@telus.net.

As a reminder, this information will be compiled to assist residents with the relocation assistance particular to their needs. Please note that only one survey for each unit will be accepted.

if you have already returned the survey, please do not re-submit it.

Yours truly,

Rhome Management

Betty Thien, Property Manager

STATUTORY DECLARATION

IN THE MATTER OF 6391 & 6491 MINORU BOULEVARD, RICHMOND, BC

I, **RACHEL VICTORIA HUTTON**, of Suite 1700, 666 Burrard Street, Vancouver, British Columbia, DO SOLEMNLY DECLARE THAT to the best of my information and belief:

1. I am a partner of the law firm Stikeman Elliott LLP.
2. I am the solicitor for Park Residences Phase II Limited Partnership (the "**Developer**"), the applicant in respect of development permit application number DP 18-837117 (the "**DP Application**") with the City of Richmond (the "**City**").
3. The DP Application contemplates the demolition of the existing rental buildings at 6391 & 6491 Minoru Boulevard, Richmond, BC (the "**Rental Buildings**") and the construction of a new development at that site.
4. In connection with the DP Application, the Developer conducted a written survey of the tenants of the Rental Buildings (the "**Tenants**") between approximately August 6, 2020 and August 21, 2020.
5. Rhome Property Management, a division of Associa British Columbia, Inc. ("**Associa**") was engaged by the Developer to assist in distributing the surveys and receiving the completed surveys from the Tenants, including delivering reminders to the Tenants on August 14, 2020.
6. On August 25, 2020, I received copies of the completed surveys which had been received by Associa from the Tenants (the "**Completed Surveys**").
7. On September 4, 2020, I printed the Completed Surveys and personally redacted all personal information on the Completed Surveys, true copies of which are attached as Exhibit "A" hereto (the "**Redacted Surveys**").
8. The Redacted Surveys have not been altered, added to or amended in any way from the Completed Surveys received, other than the above-referenced redactions.
9. Wing T. Leung also received the Completed Surveys from Associa and redacted all personal information. Mr. Leung prepared a summary of the information within the Completed Surveys and delivered that report (the "**Report**"), together with the Completed Surveys that he redacted, to Edwin Lee and Wayne Craig at the City on September 1, 2020.
10. I personally compared the attached Redacted Surveys with the surveys Wing T. Leung redacted and provided to the City as the basis for his Report, and I confirm that both sets of surveys, including their respective redactions, are the same, other than any additional redactions of personal information I deemed advisable.

AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

Declared before me at the City of Vancouver,)
 in the Province of British Columbia,)
 September 4, 2020.)
)



 RACHEL VICTORIA HUTTON

A Commissioner for Taking Affidavits in British Columbia
ALAN G. STACHOWIAK
 BARRISTER & SOLICITOR
STIKEMAN ELLIOTT LLP
 SUITE 1700 PARK PLACE 666 BURRARD STREET
 VANCOUVER, BRITISH COLUMBIA, CANADA
 V6C 2X8 (604) 631-1300

W. T. LEUNG ARCHITECTS INC.

Ste. 300 – 973 West Broadway, Vancouver, British Columbia, V5Z 1K3 Telephone 604-736-9711/Facsimile 604-73607991

September 2nd, 2020

Mr. Edwin Lee,
City of Richmond,
Planning Department
6911 No. 3 Road,
Richmond, British Columbia
V6Y 1C1

Dear Mr. Lee:

Re: 6333 Mah Bing Street, Richmond, B. C. – Tenant Relocation Plan
Current Existing Building's addresses are 6391 and 6491 Minoru Boulevard,
Richmond, British Columbia

The Property Manager and Tenant Relocation Co-ordinator from Rhome, sent out a Survey Questionnaire on August 6th, 2020, and a Reminder Notice on August 14th, 2020, asking all tenants to fill out and return by August 21st, 2020, for compilation. Please find, attached, copies of the two letters that were sent out by Rhome, for your information.

In light of the responses below, we are of the view that the Relocation Survey's purpose was fulfilled in a meaningful way, such that the Developer can take steps to accommodate the reasonable expectations and requirements of the Tenants.

As the completed Surveys from the tenants contain personal information, we are advised by our client's lawyers, Stikeman Elliott, that the tenant's privacy rights could be violated if the completed Surveys were disclosed to the City, especially as the personal information could be subject to a "Freedom of Information" request. Accordingly we are providing the City with redacted copies of the completed Surveys, as our client is accountable for the tenants' privacy rights.

Please find attached copies of the Survey with the personal information of the respondents redacted. We confirm that these are true copies of the completed Surveys that were received, that no Surveys have been omitted and that none of the Surveys have been altered, (other than to redact personal information).

The following is a summary of our findings:

- 98 Surveys were received out of a total of 128 units in the two buildings, a high response rate.
- 92 Tenants requested assistance in helping find alternate accommodations.
This is an expected request rate.
- 16 Tenants have asked for accessible units. There are currently no accessible units in the two existing buildings, so this is a request for an amenity that is not currently in place.
- 34 Tenants would like some help in moving, due to physical or mobility issues.

Page – Two

Tenant Relocation Plan
6333 Mah Bing Street, Tenant Relocation Plan
6391 and 6491 Minoru Boulevard., Richmond, B. C.

- 32 Tenants have dependents living with them and of these 28 have asked for family units. We note that overall 51 tenants have asked for family units, (larger than 1 bedroom units), regardless of whether they have dependents living with them or not. This is another example of a request for an increase in an amenity that is not currently available to many of the tenants making this request.

The tenants' budget range, indicated, is quite wide but, of note, is that most tenants are realistic in their expectations and have indicated rent budgets which exceeded, (in some cases, substantially exceeded), what they are currently paying at the existing buildings.

- 83 tenants indicated the budget range that they are comfortable with;
- 15 tenants did not indicate a budget;
- Of those who responded, 6 tenants indicated a budget range which is lower than the current rental rate that they are paying in the existing buildings.

Some respondents have indicated that they would like to live near the Richmond City Centre and near public transit. 96 have indicated that they would like to stay in Richmond with 2 indicating that they would like to move to Vancouver.

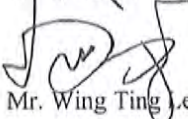
We note the following with respect to these responses, with respect to the fact that all tenants have been aware, since 2018, that the buildings would be redeveloped and that all tenancies have been on a month to month rental basis since 2018, due to the Demolition Bond in place and registered on title, as required by the City.

- 39 respondents have been living in the existing buildings for less than 2 years – all these tenants would have been aware when moving into the building that it would be redeveloped and demolished.
- 22 respondents have been living in the existing buildings for between 2 to 5 years.
- 16 respondents have been living in the existing buildings for between 5 to 10 years.
- 13 respondents have been living in the existing buildings for over 10 years.
- 8 respondents did not indicate how long they have been living in the existing buildings.

Please let me know if you require further information on this issue.

Regards,

W T. LEUNG ARCHITECTS INC.


Mr. Wing Ting Leung

WTL/gn

c.c. – Mr. Wayne Craig – Director of Development





13468 - 77th Avenue, Surrey
British Columbia, Canada V3W 6Y3
Phone (604) 591-6060

September 3, 2020

To the City of Richmond

RE: 6391 & 6491 Minoru Boulevard, Richmond, BC

Please be advised that Rhome Property Management is a division of Associa British Columbia, Inc. We have been providing strata and rental management services for over 30 years in the Lower Mainland.

We have been engaged by the developer, Park Residences Phase II Limited Partnership, to assist them with tenant relocation matters. We have the following general experience and perform property management and related services, including assisting owner-developers with tenant relocation matters.

At this time, we manage over 1500 rental units and over 560 strata communities. We have experience in assisting owner developers with tenant relocation matters similar to common practice in the industry. The following are some of the services we provide in assisting tenants to find new rental property:

- a. advising tenants of current or upcoming vacancies in buildings that we manage;
- b. assisting tenants by providing listings and links to social media websites, both showcasing units available for rent
- c. assisting tenants by referring them to other governmental agencies who will provide assistance particular to their needs.
- d. assisting tenants by providing a list of moving companies which they can contact for their individual moving arrangement.
- e. administering monetary compensation to tenants as outlined in the Tenant Relocation Plan, upon each qualified tenant's preference (i.e. their choice of compensation in terms of either free rent or lump sum payments, or a combination of both, all pursuant to the Tenant Relocation Plan).

Timing is a critical factor in finding new tenancies. We understand that the tenants of the Minoru buildings will not need to vacate for at least six months. As the actual timing is still to be determined, we cannot provide information at this time as to what vacancies will be available in the future. It is each tenant's responsibility to decide on their future accommodation and moving companies based on their budget and preference. However, we will provide assistance to the tenants with the information available at the time they will need to vacate. Arrangements as to any applicable monetary compensation will also be made in due course, at the appropriate time.

Yours truly,

Associa British Columbia, Inc.-Rhome Property Management



Katie Khoo

Senior Vice-President, Rental Division

Direct Line: 604-501-4417

Email: katie.khoo@associa.ca



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6333 Mah Bing Street

File No.: DP 18-837117

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Discharge of Statutory Right of Way CA3023366 (Plan EPP21004) for "Utilities and Sidewalk - Lot B".
2. Registration of a statutory right-of-way, and/or other legal agreements or measures, as determined to the satisfaction of the Director of Development, over the proposed sidewalk and boulevard areas along Mah Bing Street and the proposed 4.0 m x 4.0 m corner cut at the southeast corner of the site for utilities and sidewalk. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. Languages should be included in the document that the entire SRW area shall be transferred to the City after the Building Permit for the development (DP 18-837117) has been issued, and prior to Final Inspection of the Building Permit (i.e., occupancy) is granted.
3. Granting of a 3.28 m wide statutory right-of-way along the entire west property line of the site for the purposes of a public walkway. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. The property owner/strata are responsible for all maintenance of improvements, including but not limited to the public walkways/sidewalks, street furniture, lighting and landscaping within the SRW, and are responsible for all liability of SRW area.
4. Granting of a 1.2 m wide statutory right-of-way along the entire south property line of the site to provide adequate width for two way traffic on neighbour's lane. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. The property owner/strata are responsible for all maintenance of improvements, including but not limited to the public walkways/sidewalks, street furniture, lighting and landscaping within the SRW, and are responsible for all liability of SRW area.
5. Replace Plan EPP21005 attached to Statutory Right of Way CA3023344 to reflect the new alignment of the public greenway.
6. Registration of a legal agreement(s) regarding the developer's commitment to the proposed Tenant Relocation Plan. Languages should be included in the document to confirm adherence to the Tenant Relocation Plan prior to any demolition construction activity on site.
7. Registration of a legal agreement on title stipulating that the development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlook and reduced privacy, increased ambient noise and increased levels of night-time ambient light, and requiring that the owner provide written notification of this through the disclosure statement to all initial purchasers, and erect signage in the initial sales centre advising purchasers of the potential for these impacts.
8. Registration of a statutory right-of-way, and/or other legal agreements or measures, as determined to the satisfaction of the Director of Development, over the proposed hammerhead area at the southwest corner of the site to facilitate truck turnaround capability between the subject site and the property to the south at 6611 Minoru Boulevard. Any works essential for truck turnaround within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works.

Initial: _____

9. Registration of a legal agreement on title ensuring that:
 - a) where two parking spaces are provided in a tandem arrangement both parking spaces must be assigned to the same dwelling unit ; and
 - b) conversion of tandem parking area into habitable space is prohibited.
10. Registration of a legal agreement on title ensuring that:
 - a) the number of visitor parking stalls per zoning bylaw requirements will be maintained in perpetuity;
 - b) selling, leasing, assigning, or designating any of the visitor parking spaces to individual unit owners/renters/occupants or any other persons by the developers/applicants/owners and future strata councils is prohibited; and
 - c) the required visitor parking stalls are available for the common use of visitors to this development and are accessible to visitors at all times.
11. Registration of a legal agreement on title ensuring that:
 - a) conversion of any of the bicycle parking areas within the parking structure into habitable space or general storage area is prohibited; and
 - b) all of the bicycle parking areas are available for shared common use and for the sole purpose of bicycle storage.
12. Registration of a legal agreement on title ensuring that:
 - a) the number of visitor bicycle parking (Class 2) stalls per zoning bylaw requirements will be maintained in perpetuity;
 - b) selling, leasing, assigning, or designating any of the visitor bicycle parking (Class 2) stalls to individual unit owners/renters/occupants or any other persons by the developers/applicants/owners and future strata councils is prohibited; and
 - c) the required visitor bicycle parking (Class 2) stalls are available for the common use of visitors to this development and are accessible to visitors at all times.
13. Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
 - a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
 - b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building;
 - c) If a DEU is not available for connection, then the following is required prior to the earlier of subdivision (stratification) or final building inspection permitting occupancy of a building:
 - i) the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
 - ii) the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation;
 - iii) the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building;
 - iv) if required by the Director of Engineering, the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.
14. Registration of a Public Art Covenant on title for the implementation of the City approved Public Art Plan.
15. Receipt of a Letter of Credit for landscaping in the amount of \$ 1,066,863.05 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).

Initial: _____

16. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within or in close proximity to the tree protection zones for trees located within Minoru Park. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
17. Approval of a Post Approval Revision to SA 08-413951. An updated Letter of Credit or cash security for the value of the revised Service Agreement works, as determined by the City, will be required as part of the Post Approval Revision to SA 08-413951. Works include, but may not be limited to:

Water Works:

- Using the OCP Model, there is 344 L/s of water available at a 20 psi residual at the Mah Bing street frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
- Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
- At the developer's cost, the Developer is required to:
 - Update the water works design as per approved SA08-413951 to reflect the actual invert elevations at the tie-in points.
 - Install the proposed 200mm diameter watermain at the frontage of Tower D & E (i.e., southern portion of Mah Bing Street) as per SA08-413951.
 - Provide new hydrants to meet the 75m standard spacing required as per City standard.
 - Install new water service connection off of the proposed 300 mm PVC water main along the Mah Bing frontage. Meter to be located onsite (i.e. in a mechanical room).

Storm Sewer Works:

- At the Developer's cost, the Developer is required to:
 - Update the storm sewer design as per approved SA08-413951 to reflect the actual invert elevations at the tie-in points.
 - Install the proposed 600mm diameter storm sewer at the frontage of Tower D & E (i.e., southern portion of Mah Bing Street) as per SA08-413951.
 - Revise the alignment of the proposed box culvert (as per SA08-413951) in the proposed greenway to match the latest greenway concept and revise the proposed box culvert alignment in the park to minimize required tree removal. Parks and Engineering staff will provide directions on this prior to revising SA08-413951.

Sanitary Sewer Works:

- At the Developer's cost the Developer is required to:
 - Update the sanitary sewer design (as per approved SA08-413951) to reflect the actual invert elevations at the tie-in points.
 - Install the proposed 250mm diameter sanitary sewer at the frontage of Tower D & E (i.e., southern portion of Mah Bing Street) as per SA08-413951.
 - Revise the alignments of the proposed sanitary main and forcemain in the proposed greenway (as per approved SA08-413951) to match the latest greenway concept.
 - Provide an updated tree survey within the affected portion of Minoru Park and determine an alignment for the proposed box culvert, forcemain and sanitary main that will require the least tree removal. Parks and Engineering staff will provide input on this prior to revising SA08-413951.
 - Revise the alignment of the proposed sanitary main (as per approved SA08-413951) from the west property line to an alignment through the Minoru Park.
 - Confirm whether the existing sanitary main (coming from the property to the north that is 7368 Gollner Avenue) is live. If it is live, the developer is required to relocate that existing sanitary main prior to any site preparation works.
- At Developer's cost, the City is to:
 - Cut and cap, at main, all existing service connections to the development site and remove inspection chambers.
 - Perform all tie-ins to existing City infrastructure.

Frontage Improvements:

Initial: _____

- The Developer is required to:
 - Provide other frontage improvements as per Transportation's requirements, provided separately. Changes to the road width, sidewalks, boulevards, etc) Improvements shall be built to the ultimate condition wherever possible.
 - Coordinate with BC Hydro, Telus and other private communication service providers to pre-duct for future hydro, telephone and cable utilities along the Mah Bing Street frontages.
 - Coordinate with BC Hydro, the removal or relocation within the proposed development of the existing PMT that fronts the proposed Tower C (i.e., proposed building north of the proposed greenway) at the east side of Mah Bing Street.
 - Coordinate with BC Hydro, Telus and other private communication service providers to determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc). These should be located onsite, as described below.
 - Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the DP architectural plans/functional plan, the servicing agreement drawings, and registered prior to SA design approval:
 - Vista – Approximately 8.8 x 6.5 m, confirm SRW dimensions with BC Hydro
 - BC Hydro PMT – 4.0 x 5.0 m
 - BC Hydro LPT – 3.5 x 3.5 m
 - Street light kiosk – 1.5 x 1.5 m
 - Traffic signal kiosk – 2.0 x 1.5 m
 - Traffic signal UPS – 1.0 x 1.0 m
 - Shaw cable kiosk – 1.0 x 1.0 m
 - Telus FDH cabinet – 1.1 x 1.0 m
 - Revise the street lighting design as per SA08-413951 to update to current City Center standards.

General Items:

- The Developer is required to:
 - Provide an updated tree survey, arborist report and QEP report to confirm whether the existing trees and RMA in Minoru Park will be affected by the developer's proposed sanitary line construction.
 - Provide, within the post approval revision to the servicing agreement or prior to start of site preparation works (whichever comes first), a geotechnical assessment of preload, de-watering, and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
 - Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per the geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
 - Submit a proposed strategy at the building permit stage for managing excavation de-watering. Note that the City's preference is to manage construction water onsite or by removing and disposing at an appropriate facility. If this is not feasible due to volume of de-watering, the Developer will be required to apply to Metro Vancouver for a permit to discharge into the sanitary sewer system. If the sanitary sewer does not have adequate capacity to receive the volume of groundwater, the Developer will be required to enter into a de-watering agreement with the City wherein the developer will be required to treat the groundwater before discharging it to the City's storm sewer system.
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Initial: _____

- Conduct pre- and post-preload elevation surveys of all surrounding roads, utilities, and structures. Any damage, nuisance, or other impact to be repaired at the developer's cost. The post-preload elevation survey shall be incorporated within the servicing agreement design.
- Conduct pre and post construction video inspections of adjacent sewer mains to check for possible construction damage. At their cost, the developer is responsible for rectifying construction damage.

Notes:

- For City review, the developer shall submit the cost estimate from the winning contractor for the works covered under the approved post approval revision to SA08-413951, which will be the basis of the updated security bond. If the winning contractor's estimate is not available, a signed and sealed Engineer's estimate would be acceptable subject to a 150% bonding percentage.
- Prior to start of any site preparations works (e.g., preload, soil densifications, etc.), the developer is required to:
 - Complete the post approval revision to SA08-413951 and extend first the proposed sanitary main, forcemain and box culvert through the proposed greenway and tie-in to the existing sanitary main, forcemain and canal inside Minoru Park.
 - Confirm whether the existing sanitary main at the north end of Mah Bing Street (coming from the property to the north that is 7368 Gollner Avenue) is live. If it is live, the developer is required to relocate that existing sanitary main prior to any site preparation works.
 - Remove or relocate the existing PMT at the west side of Mah Bing Street fronting the proposed tower C (i.e., proposed building north of the proposed greenway).

Prior to Demolition Permit Issuance, the developer must complete the following requirements:

1. Provide written confirmation and supporting documents to demonstrate that the proposed Tenant Relocation Plan has been implemented.
2. Installation of appropriate tree protection fencing adjacent trees within Minoru Park prior to any construction activities, including building demolition, occurring on-site.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Dedicate the SRW area (Plan EPP28003, CA3023335) on the subject site (i.e., Mah Bing Street secured as part of the rezoning application RZ 04-286496) to the City once the existing rental buildings on site are demolished.
2. Discharge of existing Statutory Right of Way (SRW) (CA2817671, Plan EPP24203) or confirm an alternative form of approval from BC Hydro to facilitate the proposed development.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Prior to Final Inspection of Building Permit (i.e., Occupancy), the developer must complete the following requirements:

1. Transfer of the SRW area over the proposed sidewalk and boulevard areas along Mah Bing Street and the proposed 4.0 m x 4.0 m corner cut at the southeast corner of the site, secured as part of the Development Permit application DP 18-837117 to the City.

Note:

- * This requires a separate application.

Initial: _____

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



No. DP 18-837717

To the Holder: W. T. LEUNG ARCHITECTS INC.
Property Address: 6333 MAH BING STREET
Address: C/O 973 W. BROADWAY STREET, UNIT 300
VANCOUVER, BC V5Z 1K3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum lot area from 13,000 m² (139,930 ft²) to 8,227 m² (88,554 ft²).
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #74 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,066,863.05 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 18-837717

To the Holder: W. T. LEUNG ARCHITECTS INC.
Property Address: 6333 MAH BING STREET
Address: C/O 973 W. BROADWAY STREET, UNIT 300
VANCOUVER, BC V5Z 1K3

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

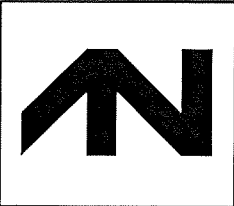
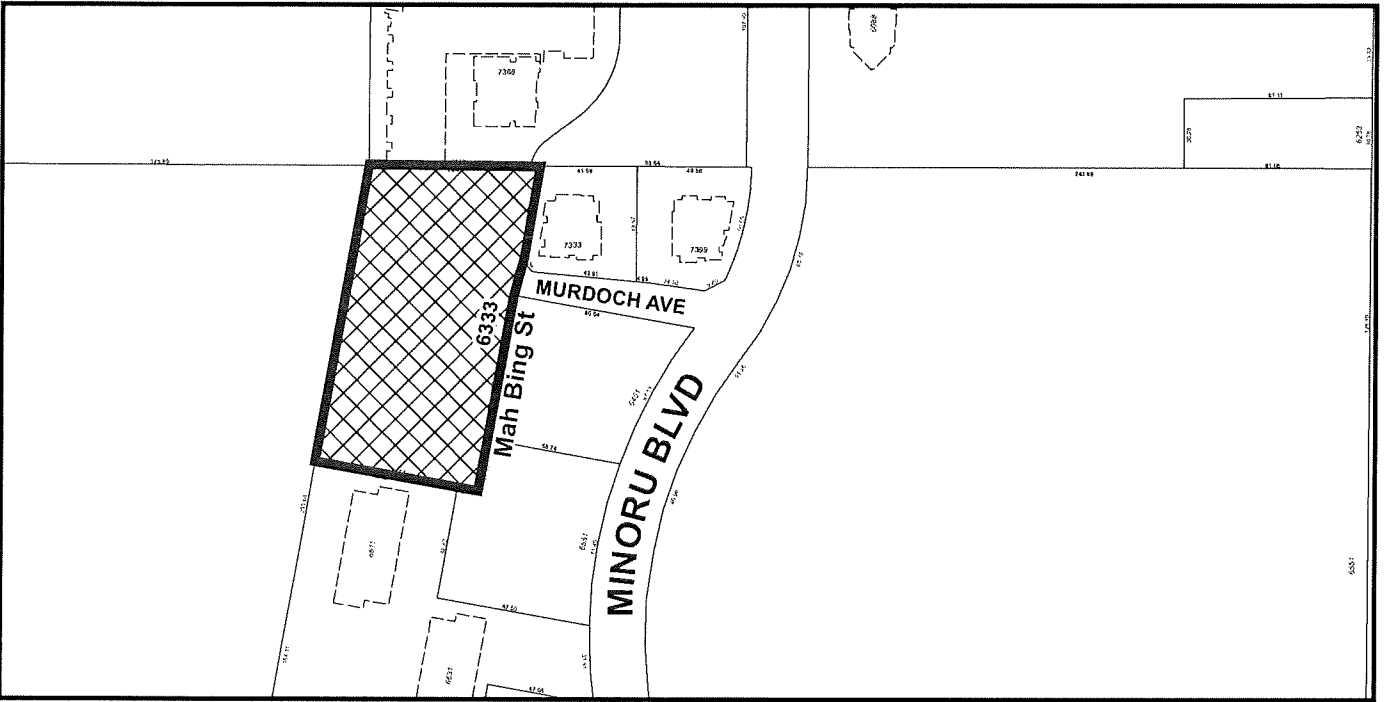
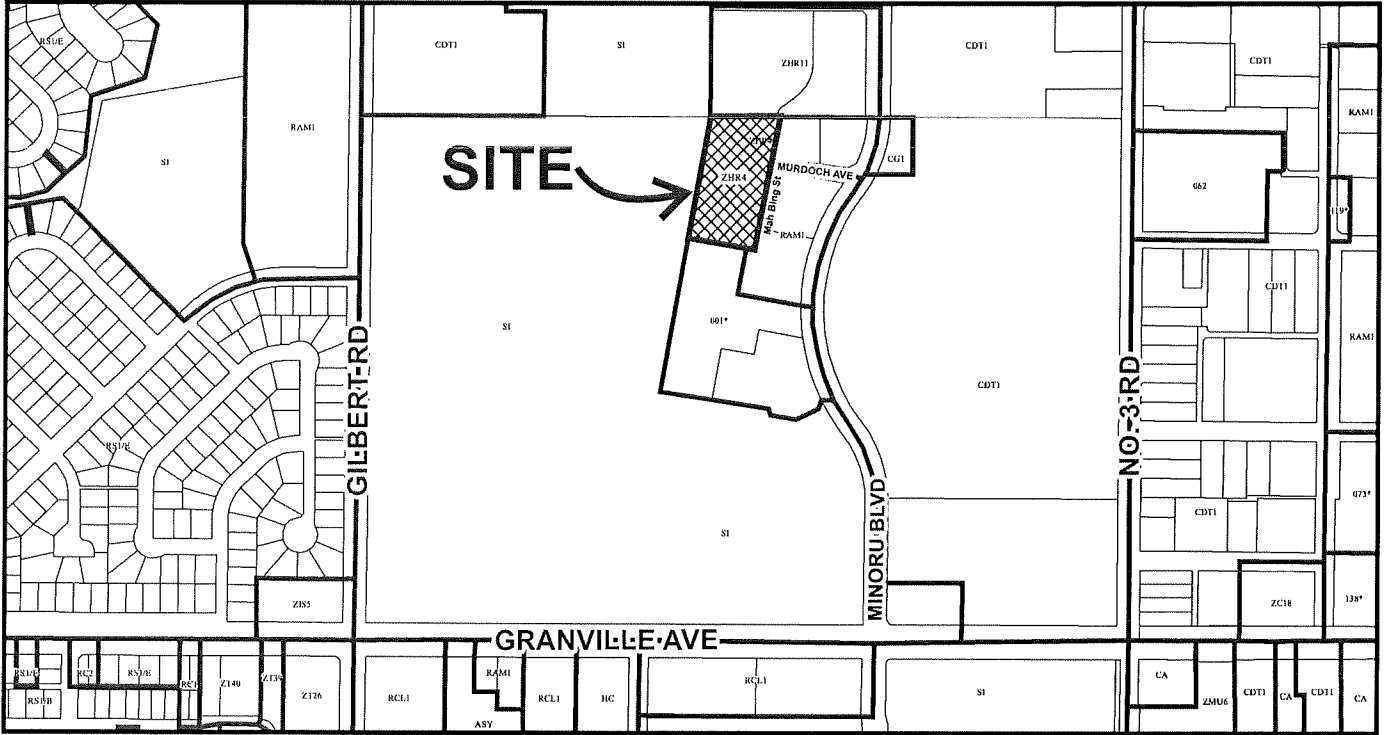
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



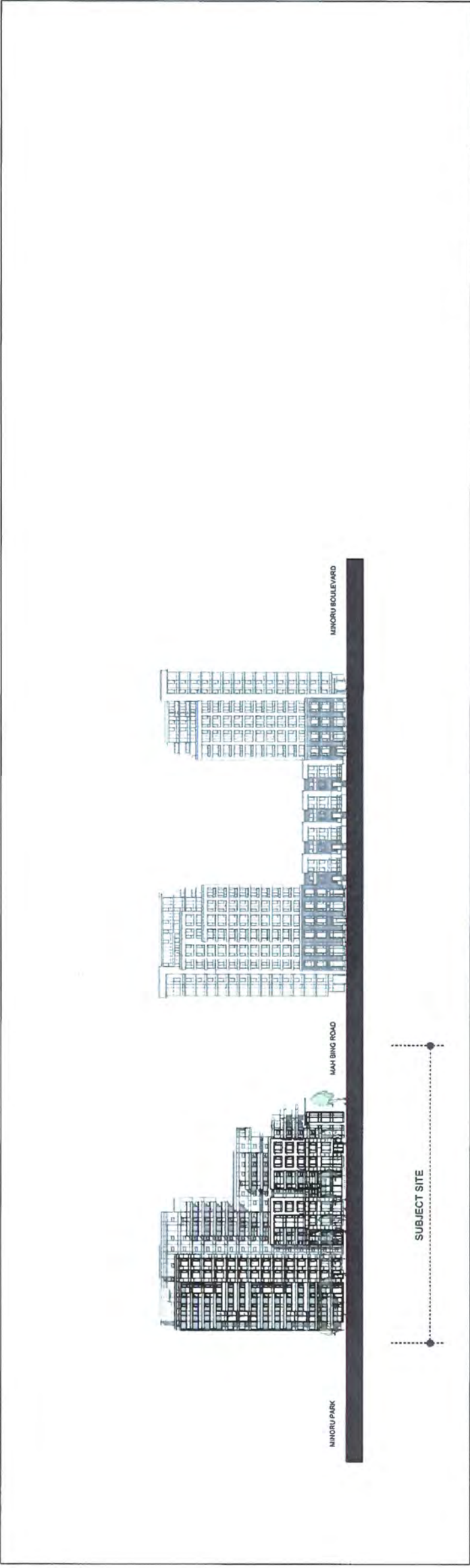
City of Richmond



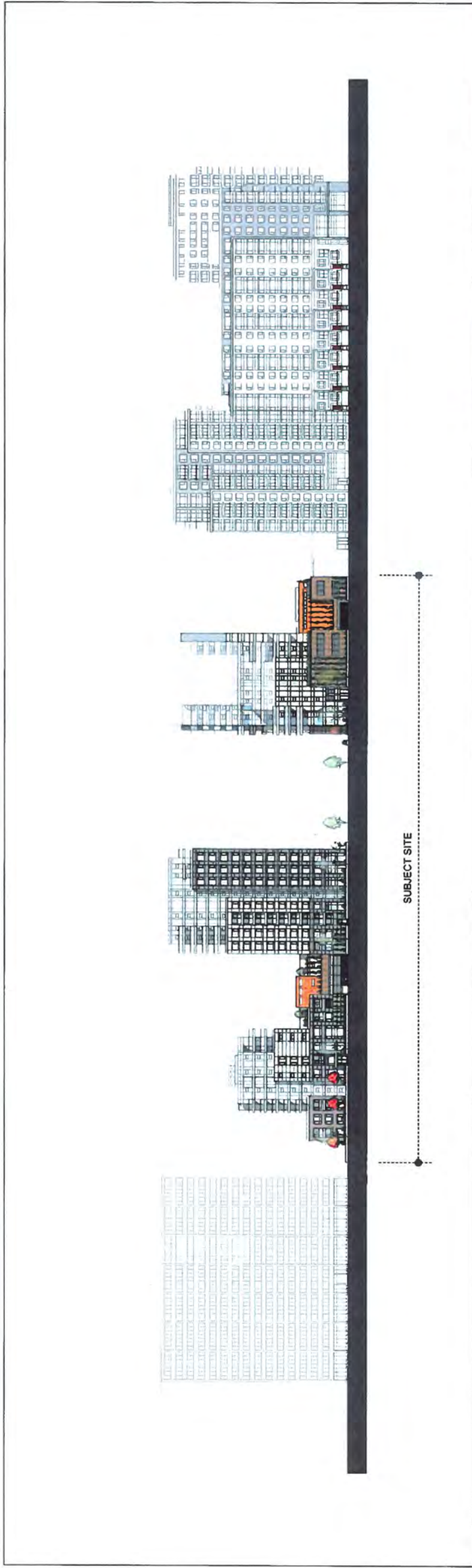
DP 18-837117
SCHEDULE "A"

Original Date: 09/27/18
Revision Date:
Note: Dimensions are in METRES

REVISION	
1	02/15/15 Issued for Development Permit
2	02/20/15 Revised for Development Permit
3	04/15/15 Revised for Staff Comments
4	04/15/15 Revised for Staff Comments (2)
5	11/14/17 Revised for Staff Comments (3)
6	07/09/20 Issued for DP Permit



STREETSCAPE - MURDOCH AVENUE



STREETSCAPE - MAH BING ROAD

**Resid'l Development
Park Residences PH :
Tower C+D+E**
6333 - 6339 Mah Bing Road
Richmond, BC

**STREETSCAPE
Park Elevation**

JOB NO	02-03
DESIGN	DM/VK
DATE	August 23, 2018
SCALE	1/16"
DRAWN BY	WTL

NOT TO SCALE
FOR INFORMATION ONLY
THIS DRAWING IS THE PROPERTY OF W. T. LEUNG ARCHITECTS INC. AND SHALL REMAIN THE PROPERTY OF W. T. LEUNG ARCHITECTS INC. UNLESS OTHERWISE STATED OTHERWISE.

PLAN #2

JUL 07 2020

DP 18-837117

A-1.02



REVISIONS

1	05/18/18	Issued for Development Permit
2	07/07/18	Revised for Development Permit
3	09/07/18	Revised for Staff Comments
4	09/11/18	Revised for Staff Comments (2)
5	11/05/18	Issued for ADP
6	03/14/20	Revised for Staff Comments (3)
7	05/12/20	Revised for Staff Comments
8	07/07/20	Revised for Staff Comments
9	07/07/20	Issued for ADP

ACKNOWLEDGMENTS

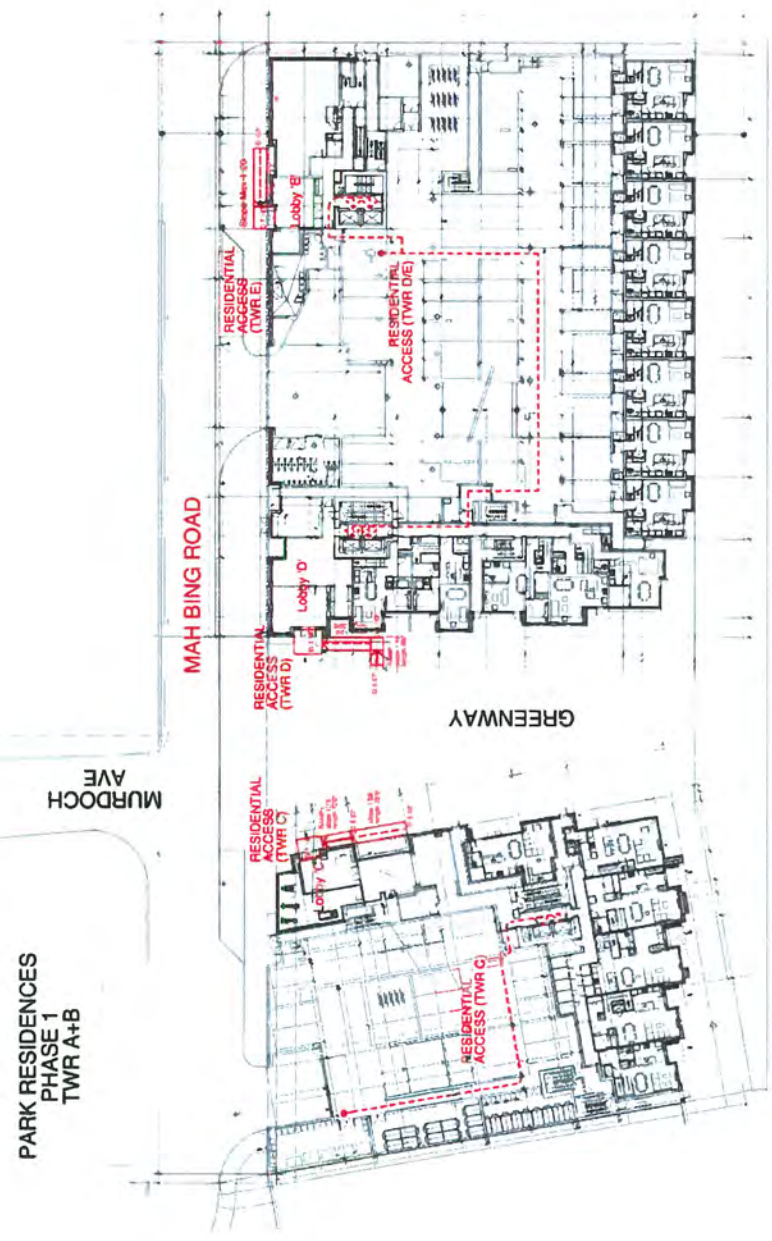
1. BC's Strata Act (enacted November 14, 2017)
2. British Columbia Building Code (enacted 2018, BC Building Code, 2018 Edition)
3. British Columbia Fire Code (enacted 2018, BC Fire Code, 2018 Edition)
4. Accessibility for Ontarians with Disabilities Act (enacted 2005, AODA)
5. International Building Code (enacted 2015, International Building Code, 2015 Edition)
6. International Fire Code (enacted 2015, International Fire Code, 2015 Edition)
7. Design of Buildings Other than Residential Buildings (enacted 2018, Design of Buildings Other than Residential Buildings, 2018 Edition)
8. Design of Buildings Other than Residential Buildings (enacted 2018, Design of Buildings Other than Residential Buildings, 2018 Edition)
9. Design of Buildings Other than Residential Buildings (enacted 2018, Design of Buildings Other than Residential Buildings, 2018 Edition)

PROJECT
Resid'l Development
Park Residences PH2
Tower C+D+E
6333 - 6399 Mah Bing Street
Richmond, BC

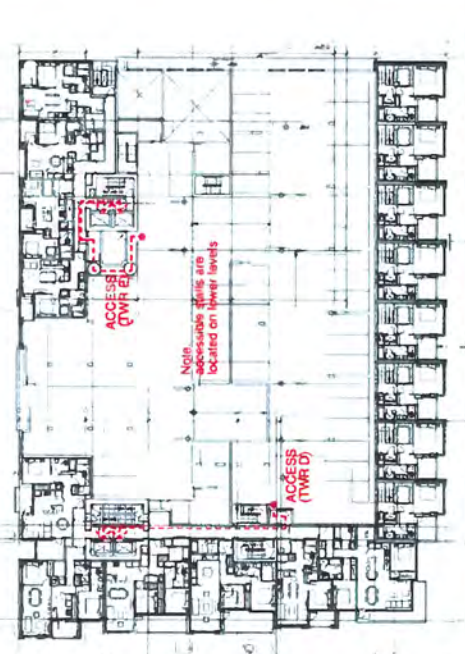
**ACCESSIBILITY
DIAGRAM
TWR C+D+E**

DATE: August 23, 2018
SCALE: 1/16" = 1'-0"
DRAWN: WTL
CHECKED: WTL

DATE	August 23, 2018
SCALE	1/16" = 1'-0"
DRAWN	WTL
CHECKED	WTL



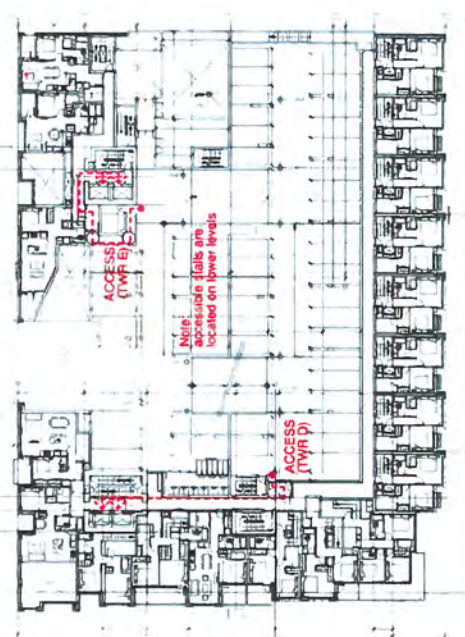
ACCESSIBILITY ROUTE ON GROUND FLOOR



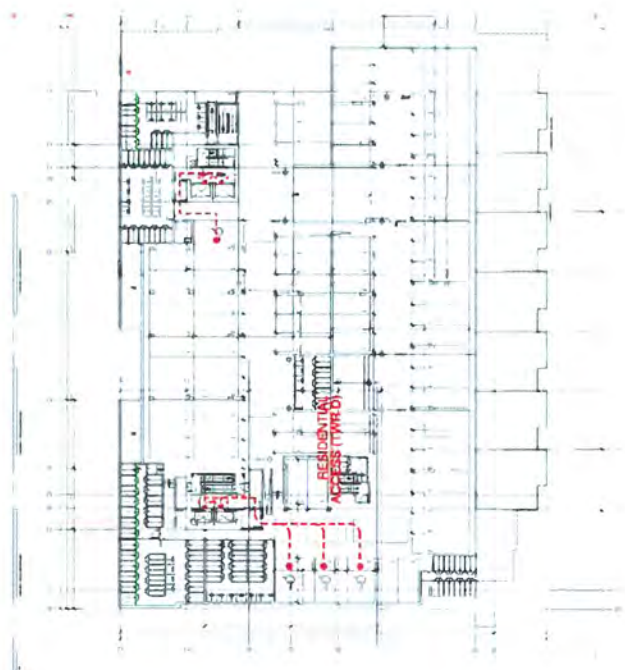
ACCESSIBILITY ROUTE ON LEVEL P3 / 3RD FL



ACCESSIBILITY ROUTE ON LEVEL P2



ACCESSIBILITY ROUTE ON LEVEL P1-0



ACCESSIBILITY ROUTE ON LEVEL PL-0



ACCESSIBILITY ROUTE ON LEVEL P0

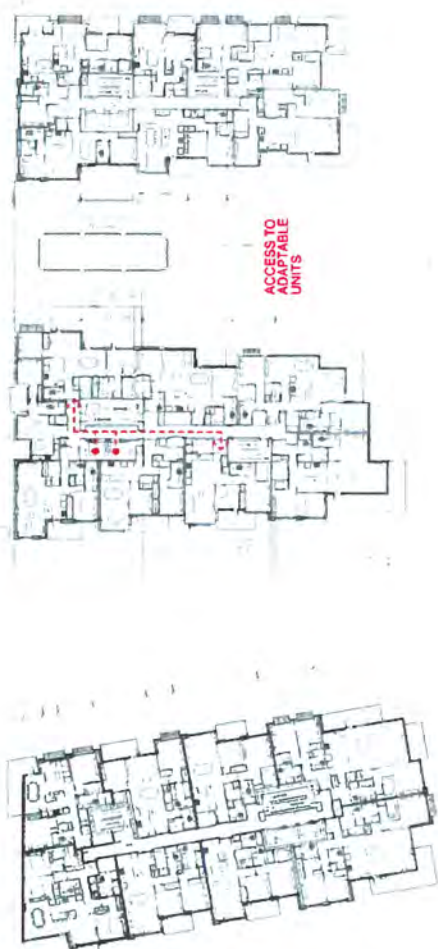
PLAN # 4
DP 18-837117

JUL 07 2020



LEGEND

1. 02-03 Search for Development Permits
2. 02-03 Permit to Develop/Construct
3. 02-03 Permit to Occupy
4. 02-03 Occupancy Certificate
5. 02-03 Final As-Built
6. 02-03 Occupancy Certificate
7. 02-03 Occupancy Certificate
8. 02-03 Occupancy Certificate
9. 02-03 Occupancy Certificate
10. 02-03 Occupancy Certificate
11. 02-03 Occupancy Certificate
12. 02-03 Occupancy Certificate



REVISIONS

1. 02-03 Search for Development Permits
2. 02-03 Permit to Develop/Construct
3. 02-03 Permit to Occupy
4. 02-03 Occupancy Certificate
5. 02-03 Final As-Built
6. 02-03 Occupancy Certificate
7. 02-03 Occupancy Certificate
8. 02-03 Occupancy Certificate
9. 02-03 Occupancy Certificate
10. 02-03 Occupancy Certificate
11. 02-03 Occupancy Certificate
12. 02-03 Occupancy Certificate

ACCESSIBILITY ROUTE ON TYPICAL TOWER FLOORS

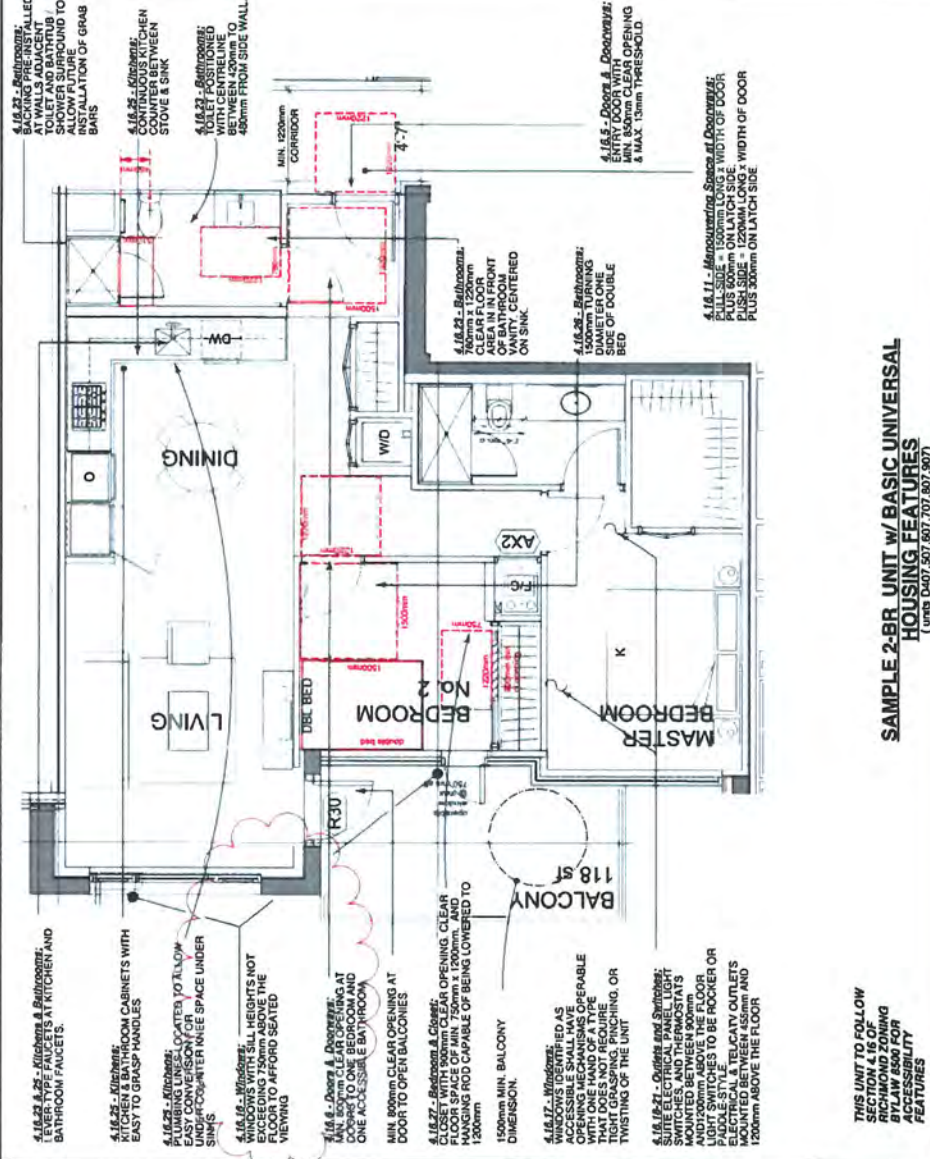
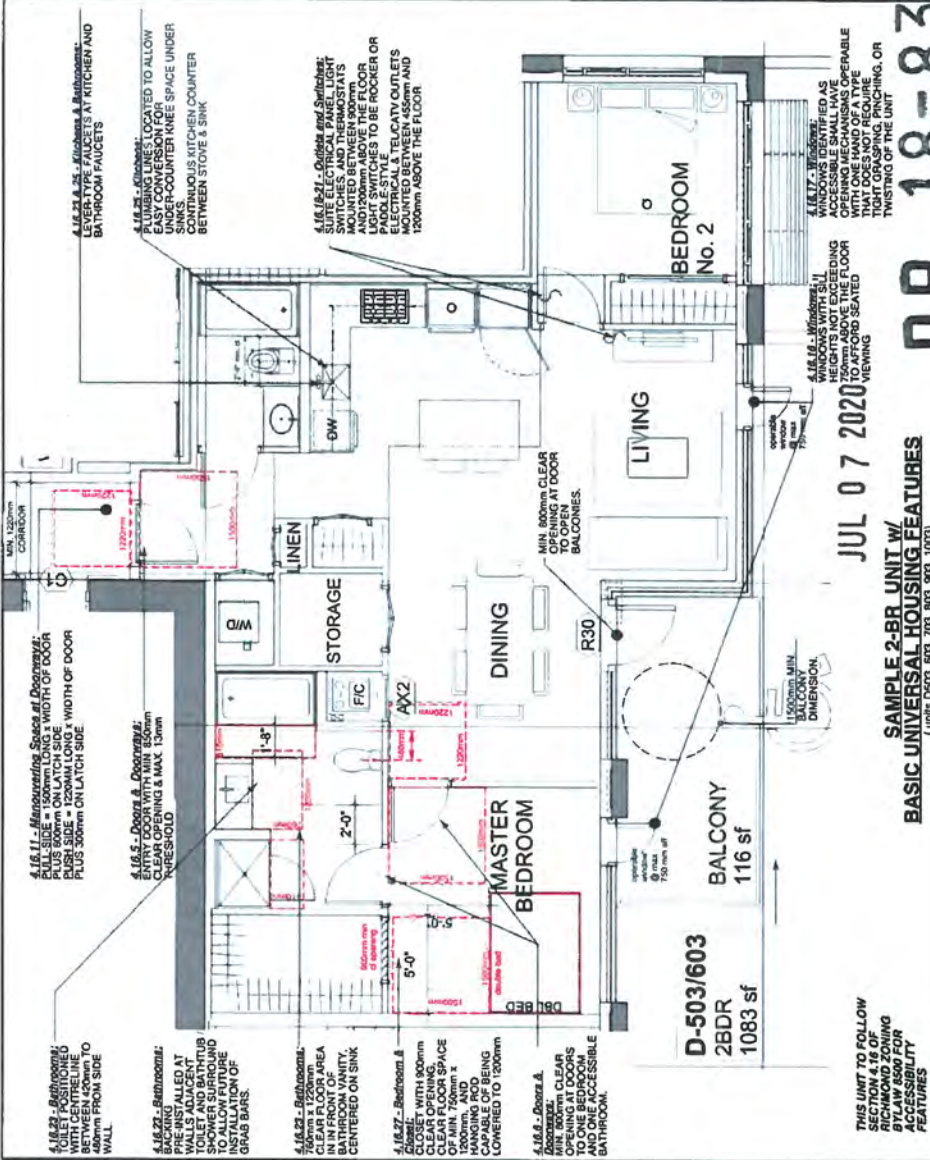
ACCESSIBILITY ROUTE ON 4th FLOOR (AMENITIES & ROOF GARDEN)

**Resid'l Development
 Park Residences PH2
 Tower C+D+E**
 6333 - 6339 West 10th Street
 Richmond, BC

**ACCESSIBILITY
 DIAGRAM
 TWR C+D+E**

NO. 02-03
 DRAWN DIM/VK
 DATE August 23, 2018
 SCALE 1/16" = 1'-0"
 CHECKED WTL

PROJECT
 PLAN # 15
 A-1.06
 7117



THIS UNIT TO FOLLOW SECTION 4.16 OF BY-LAW 884 FOR ACCESSIBILITY FEATURES (UNITS 1550, 803, 703, 603, 503, 1003)

THIS UNIT TO FOLLOW SECTION 4.16 OF BY-LAW 884 FOR ACCESSIBILITY FEATURES (UNITS 507, 607, 707, 807, 907)

SAMPLE 2-BR UNIT W/ BASIC UNIVERSAL HOUSING FEATURES
 (UNITS 1550, 803, 703, 603, 503, 1003)

SAMPLE 2-BR UNIT W/ BASIC UNIVERSAL HOUSING FEATURES
 (UNITS 507, 607, 707, 807, 907)

OP 18-837117

JUL 07 2020

W/ ACCESSIBILITY FEATURES

W/ ACCESSIBILITY FEATURES

W/ ACCESSIBILITY FEATURES



- REVISIONS**
- 09/19/18 Issued for Development Permit
 - 09/20/18 Revisions for Development Permit
 - 09/20/18 Revisions for Staff Comments
 - 09/21/18 Revisions for Staff Comments (1)
 - 11/14/18 Revisions for Staff Comments (2)
 - 11/28/18 Issued for ADP
 - 02/12/19 Revisions for Staff Comments (1)
 - 02/12/19 Revisions for Staff Comments (2)
 - 02/22/19 Revisions for Staff Comments (3)
 - 02/22/19 Revisions for Staff Comments (4)
 - 02/22/19 Issued for Approval

GENERAL NOTES

1. Refer to the 2018 Vancouver Building Code, 2018 BC Building Code, and 2018 BC Fire Code for all applicable provisions.
2. All construction shall be in accordance with the approved plans and specifications.
3. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
4. The contractor shall be responsible for ensuring that all construction complies with the applicable codes and standards.
5. The contractor shall be responsible for ensuring that all construction is completed within the approved schedule.
6. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved plans and specifications.
7. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved specifications.
8. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved drawings.
9. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved details.
10. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved sections.
11. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved elevations.
12. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved foundations.
13. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved structural steel.
14. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved masonry.
15. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved concrete.
16. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved wood framing.
17. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved roof.
18. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved exterior finish.
19. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved interior finish.
20. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved mechanical, electrical, and plumbing (MEP) systems.
21. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved fire protection systems.
22. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved life safety systems.
23. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved accessibility requirements.
24. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved energy efficiency requirements.
25. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved sustainability requirements.

PROJECT

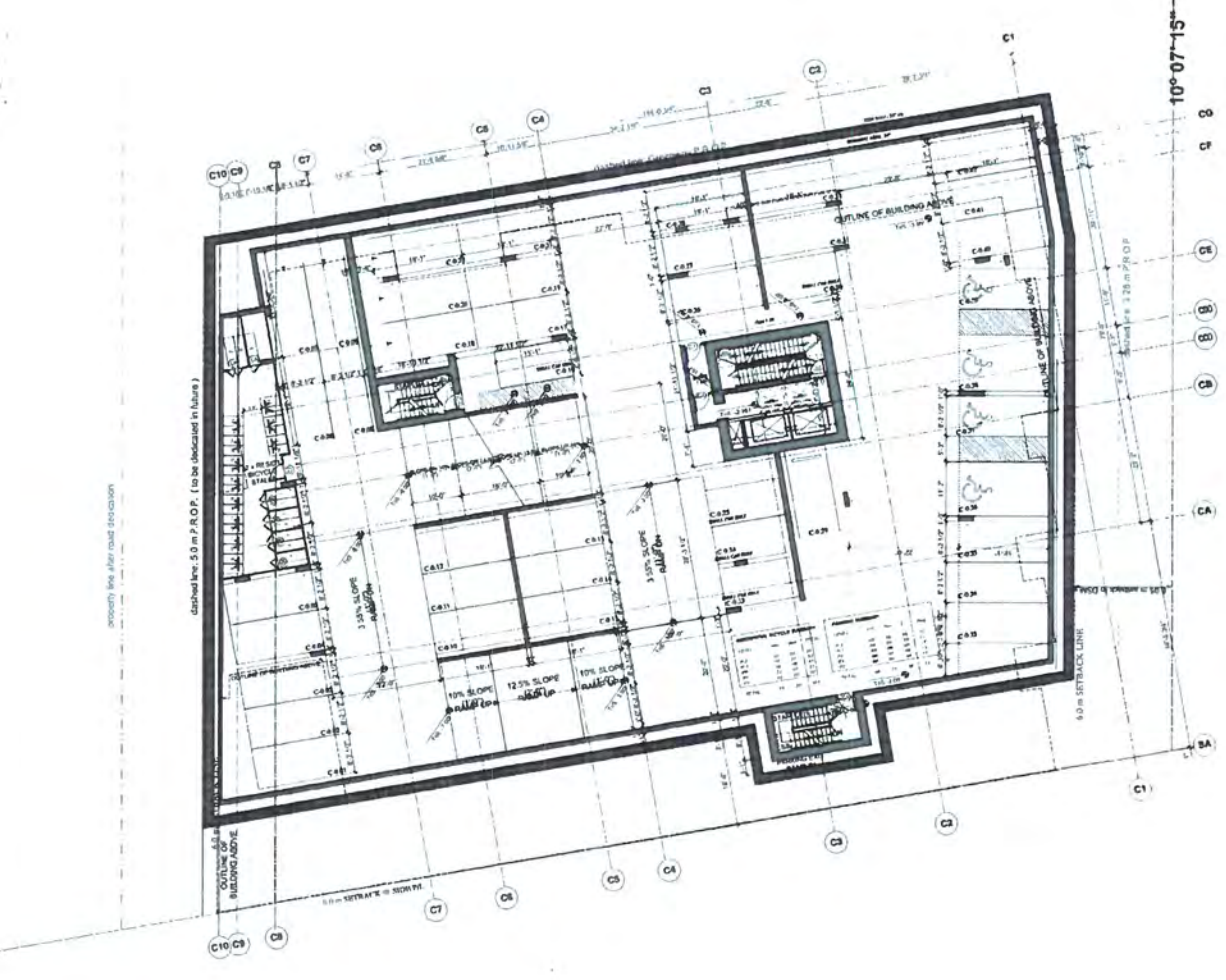
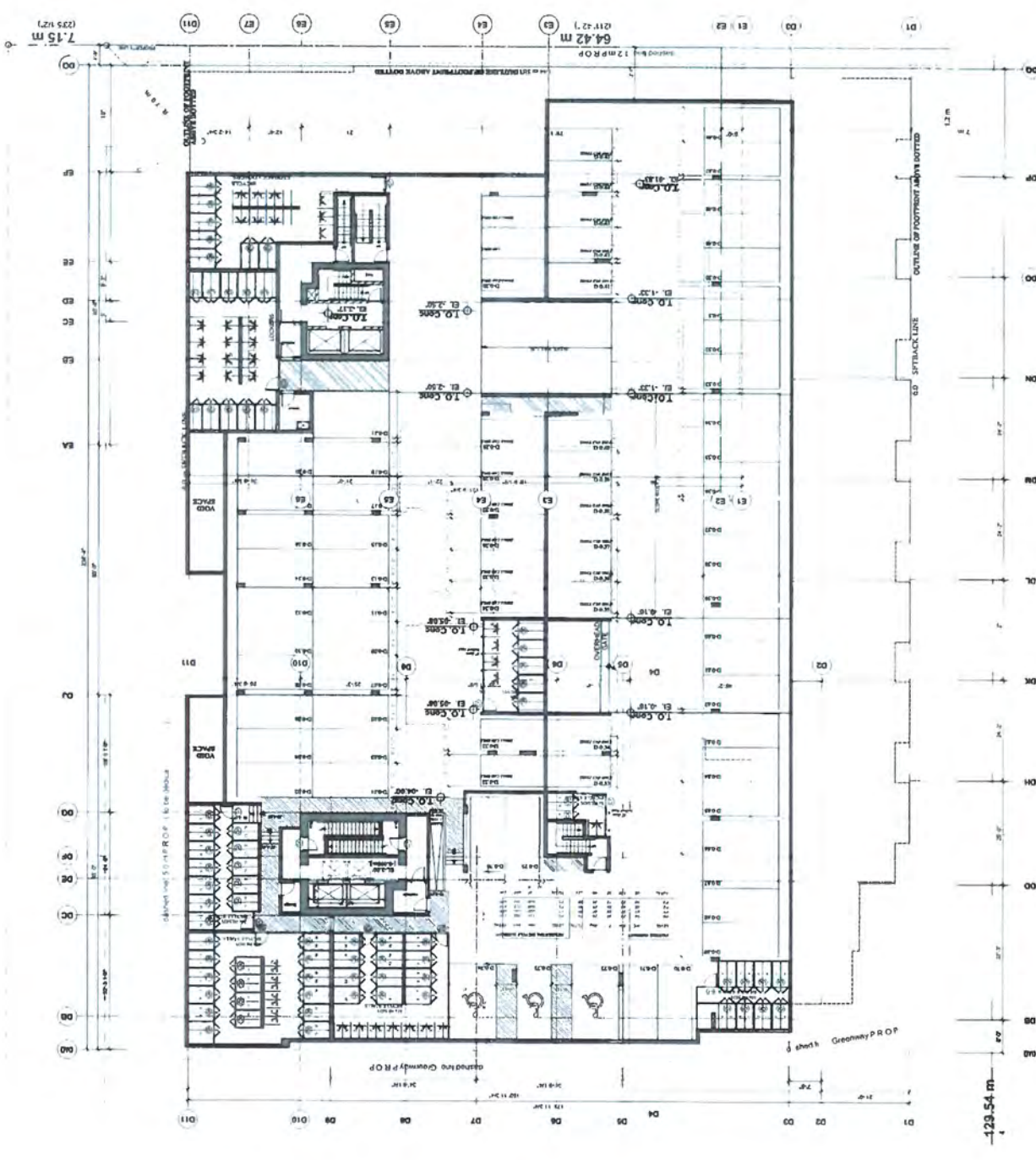
**Resid'1 Development
Park Residences PH2
Tower C+D+E**

6333 - 6399 Mah Bling Street
Richmond, BC

Floor Plan PL 0

JOB NO	02-03
DRAWN	DMN/K
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
DRAWN BY	WTL

A-2.01



PLAN # 8
JUL 07 2020
DP 18-837117



ISSUE/REVISION

- 1 09/04/18 Issued for Development Permit
- 2 03/01/19 Re-issued for Development Permit
- 3 09/01/19 Re-issued per Staff Comments (1)
- 4 10/11/19 Re-issued per Staff Comments (2)
- 5 11/01/19 Re-issued per Staff Comments (3)
- 6 11/08/19 Issued for ADP
- 7 09/12/20 Re-issued per Staff Comments (4)
- 8 06/02/20 Revisions for Staff Report
- 9 06/02/20 Revisions per June 24 comments
- 10 07/06/20 Issued for DP Permit
- 11 08/12/20 Re-issued per DP Permit comments

REFERENCE NOTES:

- 1.3 Review Bylaw 8500, Section 10.00, Item 10.00.01, 10.00.02, 10.00.03, 10.00.04, 10.00.05, 10.00.06, 10.00.07, 10.00.08, 10.00.09, 10.00.10, 10.00.11, 10.00.12, 10.00.13, 10.00.14, 10.00.15, 10.00.16, 10.00.17, 10.00.18, 10.00.19, 10.00.20, 10.00.21, 10.00.22, 10.00.23, 10.00.24, 10.00.25, 10.00.26, 10.00.27, 10.00.28, 10.00.29, 10.00.30, 10.00.31, 10.00.32, 10.00.33, 10.00.34, 10.00.35, 10.00.36, 10.00.37, 10.00.38, 10.00.39, 10.00.40, 10.00.41, 10.00.42, 10.00.43, 10.00.44, 10.00.45, 10.00.46, 10.00.47, 10.00.48, 10.00.49, 10.00.50, 10.00.51, 10.00.52, 10.00.53, 10.00.54, 10.00.55, 10.00.56, 10.00.57, 10.00.58, 10.00.59, 10.00.60, 10.00.61, 10.00.62, 10.00.63, 10.00.64, 10.00.65, 10.00.66, 10.00.67, 10.00.68, 10.00.69, 10.00.70, 10.00.71, 10.00.72, 10.00.73, 10.00.74, 10.00.75, 10.00.76, 10.00.77, 10.00.78, 10.00.79, 10.00.80, 10.00.81, 10.00.82, 10.00.83, 10.00.84, 10.00.85, 10.00.86, 10.00.87, 10.00.88, 10.00.89, 10.00.90, 10.00.91, 10.00.92, 10.00.93, 10.00.94, 10.00.95, 10.00.96, 10.00.97, 10.00.98, 10.00.99, 10.00.100
- 1.4 Review Bylaw 8500, Section 10.00, Item 10.00.01, 10.00.02, 10.00.03, 10.00.04, 10.00.05, 10.00.06, 10.00.07, 10.00.08, 10.00.09, 10.00.10, 10.00.11, 10.00.12, 10.00.13, 10.00.14, 10.00.15, 10.00.16, 10.00.17, 10.00.18, 10.00.19, 10.00.20, 10.00.21, 10.00.22, 10.00.23, 10.00.24, 10.00.25, 10.00.26, 10.00.27, 10.00.28, 10.00.29, 10.00.30, 10.00.31, 10.00.32, 10.00.33, 10.00.34, 10.00.35, 10.00.36, 10.00.37, 10.00.38, 10.00.39, 10.00.40, 10.00.41, 10.00.42, 10.00.43, 10.00.44, 10.00.45, 10.00.46, 10.00.47, 10.00.48, 10.00.49, 10.00.50, 10.00.51, 10.00.52, 10.00.53, 10.00.54, 10.00.55, 10.00.56, 10.00.57, 10.00.58, 10.00.59, 10.00.60, 10.00.61, 10.00.62, 10.00.63, 10.00.64, 10.00.65, 10.00.66, 10.00.67, 10.00.68, 10.00.69, 10.00.70, 10.00.71, 10.00.72, 10.00.73, 10.00.74, 10.00.75, 10.00.76, 10.00.77, 10.00.78, 10.00.79, 10.00.80, 10.00.81, 10.00.82, 10.00.83, 10.00.84, 10.00.85, 10.00.86, 10.00.87, 10.00.88, 10.00.89, 10.00.90, 10.00.91, 10.00.92, 10.00.93, 10.00.94, 10.00.95, 10.00.96, 10.00.97, 10.00.98, 10.00.99, 10.00.100
- 1.5 Review Bylaw 8500, Section 10.00, Item 10.00.01, 10.00.02, 10.00.03, 10.00.04, 10.00.05, 10.00.06, 10.00.07, 10.00.08, 10.00.09, 10.00.10, 10.00.11, 10.00.12, 10.00.13, 10.00.14, 10.00.15, 10.00.16, 10.00.17, 10.00.18, 10.00.19, 10.00.20, 10.00.21, 10.00.22, 10.00.23, 10.00.24, 10.00.25, 10.00.26, 10.00.27, 10.00.28, 10.00.29, 10.00.30, 10.00.31, 10.00.32, 10.00.33, 10.00.34, 10.00.35, 10.00.36, 10.00.37, 10.00.38, 10.00.39, 10.00.40, 10.00.41, 10.00.42, 10.00.43, 10.00.44, 10.00.45, 10.00.46, 10.00.47, 10.00.48, 10.00.49, 10.00.50, 10.00.51, 10.00.52, 10.00.53, 10.00.54, 10.00.55, 10.00.56, 10.00.57, 10.00.58, 10.00.59, 10.00.60, 10.00.61, 10.00.62, 10.00.63, 10.00.64, 10.00.65, 10.00.66, 10.00.67, 10.00.68, 10.00.69, 10.00.70, 10.00.71, 10.00.72, 10.00.73, 10.00.74, 10.00.75, 10.00.76, 10.00.77, 10.00.78, 10.00.79, 10.00.80, 10.00.81, 10.00.82, 10.00.83, 10.00.84, 10.00.85, 10.00.86, 10.00.87, 10.00.88, 10.00.89, 10.00.90, 10.00.91, 10.00.92, 10.00.93, 10.00.94, 10.00.95, 10.00.96, 10.00.97, 10.00.98, 10.00.99, 10.00.100

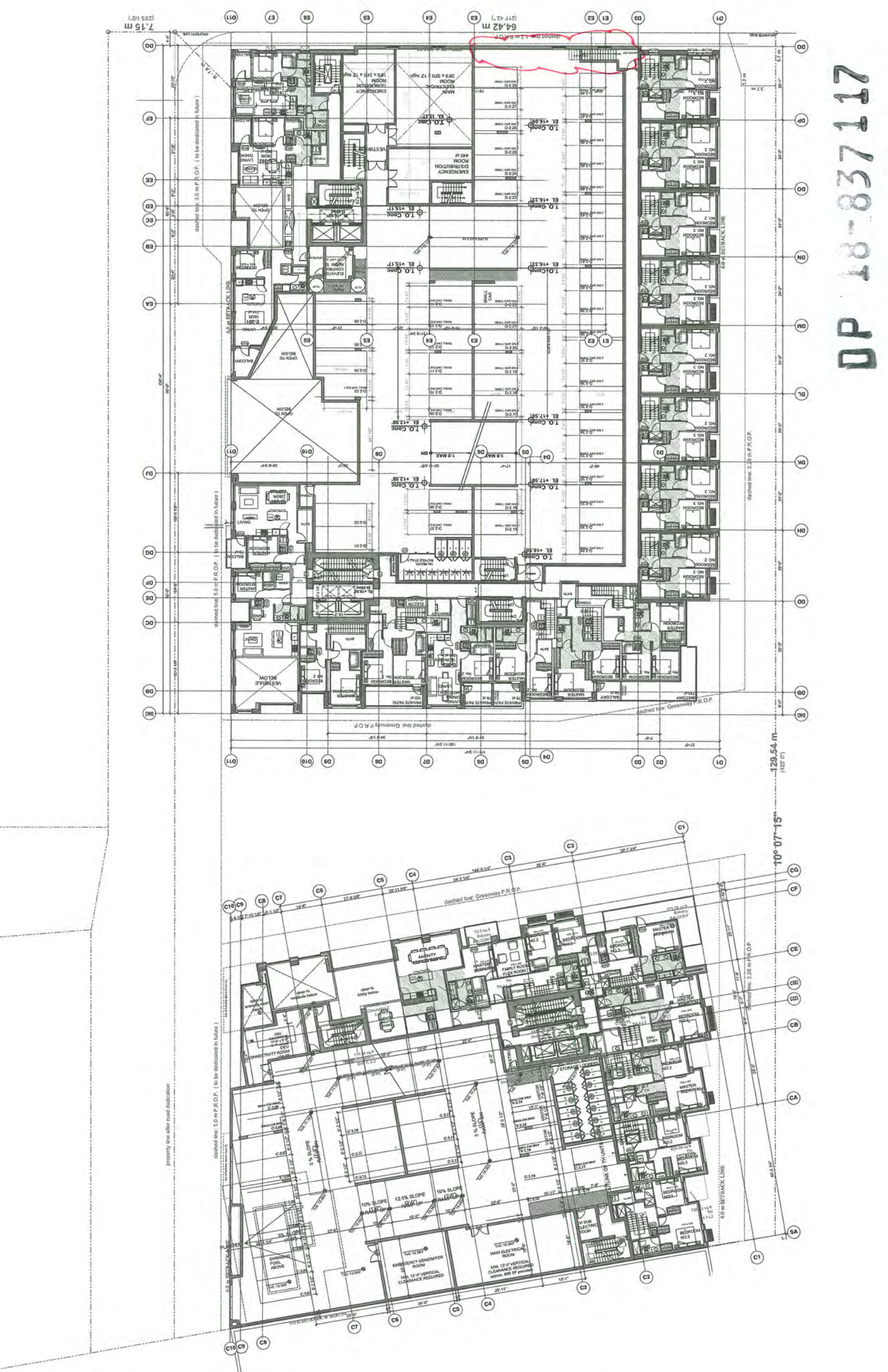
PROJECT

Resid'1 Developments PH2
Park Residences PH2
Tower C+D+E

6333 - 6399 Meh Bing Street
Richmond, BC

Floor Plan L-2

JOB NO. 02-03
DRAWN DM/VK
DATE August 23, 2018
SCALE 1/16" = 1'-0"
CHECKED WTL



DP 18-837117

PLAN#10

SEP 11 2020



- REVISIONS**
- | | | |
|---|----------|--------------------------------|
| 1 | 09/19/18 | Issued for Development Permit |
| 2 | 09/29/18 | Revised for Development Permit |
| 3 | 09/29/18 | Revised for Staff Comments |
| 4 | 09/29/18 | Revised for Staff Comments (2) |
| 5 | 11/01/18 | Revised for Staff Comments (2) |
| 6 | 11/01/18 | Revised for ADP |
| 7 | 09/19/20 | Revised for Staff Comments (1) |
| 8 | 09/19/20 | Revised for Staff Comments |
| 9 | 09/09/20 | Revised for ADP Review |

REVISIONS

- 1.1 Change of floor levels in the central portion of the building to accommodate the proposed parking structure.
- 1.2 Change of floor levels in the central portion of the building to accommodate the proposed parking structure.
- 1.3 Change of floor levels in the central portion of the building to accommodate the proposed parking structure.
- 1.4 Change of floor levels in the central portion of the building to accommodate the proposed parking structure.
- 1.5 Change of floor levels in the central portion of the building to accommodate the proposed parking structure.
- 1.6 Change of floor levels in the central portion of the building to accommodate the proposed parking structure.
- 1.7 Change of floor levels in the central portion of the building to accommodate the proposed parking structure.
- 1.8 Change of floor levels in the central portion of the building to accommodate the proposed parking structure.
- 1.9 Change of floor levels in the central portion of the building to accommodate the proposed parking structure.
- 1.10 Change of floor levels in the central portion of the building to accommodate the proposed parking structure.

PROJECT

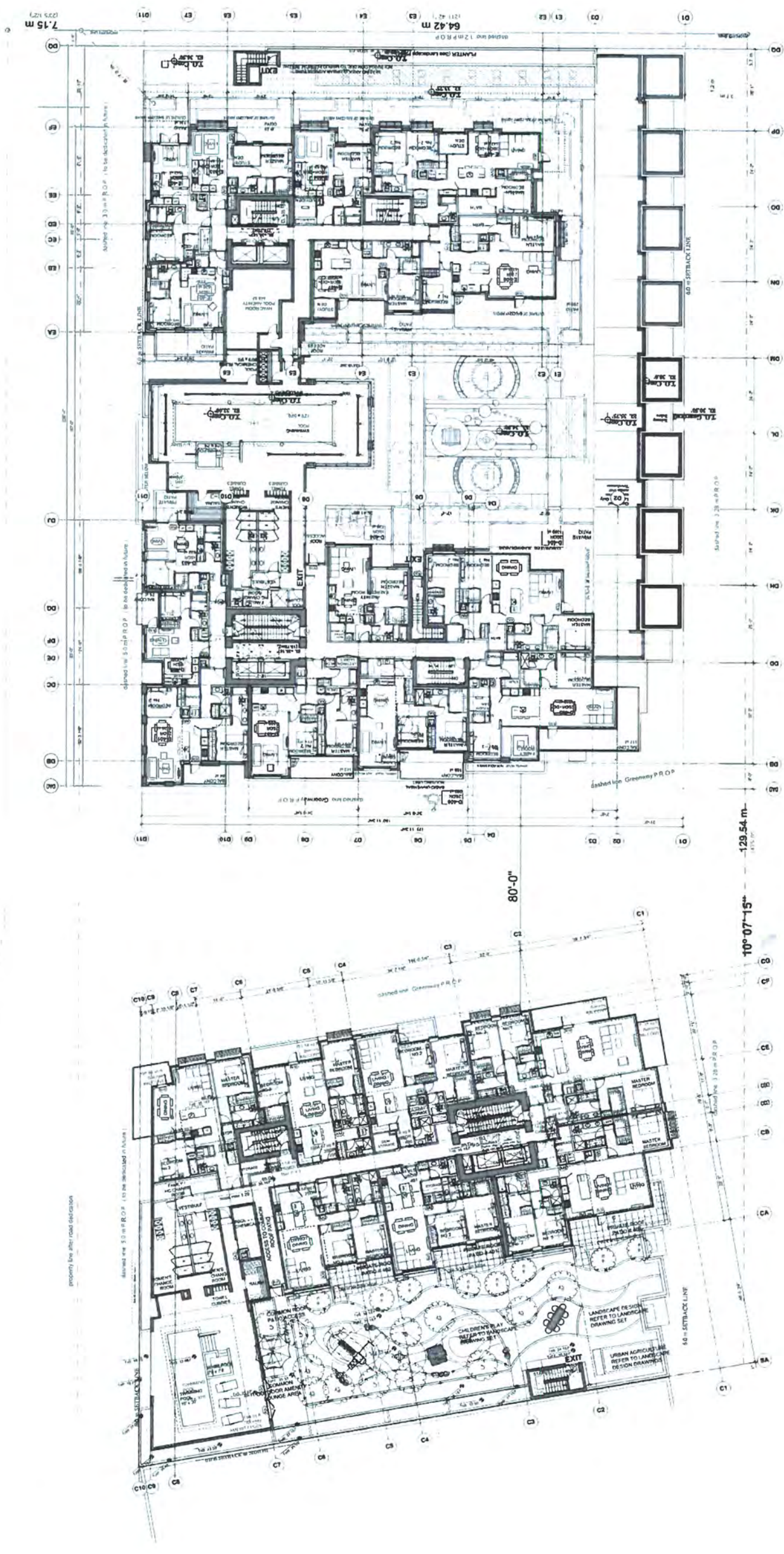
**Resid'l Development
Park Residences PH2
Tower C+D+E**

6333 - 6399 Mah Bing Street
Richmond, BC

**Floor Plan L-4
Courtyard FL**

DWG NO	02-03
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
DESIGNED	WTL

A-2.05



DP 18-837117
PLAN #12
JUL 07 2020



- REVISION**
- 18/11/18 Issued for Development Permit
 - 13/09/18 Revises for Development Permit
 - 08/09/18 Revises for Final Comments
 - 02/11/18 Revises for Final Comments (1)
 - 11/08/18 Revises for Final Comments (2)
 - 11/08/18 Issued for ADP
 - 04/12/18 Revises for Final Comments (1)
 - 04/12/18 Revises for Final Comments (2)
 - 07/08/19 Issued for ADP Permit
 - 07/08/19 Issued for ADP Permit

REFERENCE NOTES

1. British Columbia Building Act, 1971
2. BC Building Code, 1997
3. BC Fire Code, 1997
4. BC Electrical Code, 1997
5. BC Mechanical Code, 1997
6. BC Plumbing Code, 1997
7. BC Fire Protection Code, 1997
8. BC Fire Protection Code, 1997
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100. BC Fire Protection Code, 1997

PROJECT

**Resid'l Development
Park Residences PH2
Tower C+D+E**

6333 - 6398 Mah Bing Street
Richmond, BC

Floor Plan L-6

JOB NO	02-03
DESIGN	DMWK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL
DATE	

A-2.07



PLAN # 14 JUL 07 2020
DP 18-837117



- REVISIONS**
- 1. 08/16/18 Issued for Development Permit
 - 2. 02/20/19 Approved for Development Permit
 - 3. 02/28/19 Approved for Final Comments
 - 4. 02/27/19 Approved for Final Comments (1)
 - 5. 11/14/19 Approved for Final Comments (2)
 - 6. 11/06/19 Approved for ADP
 - 7. 05/12/20 Approved for Final Comments (3)
 - 8. 08/11/20 Approved for Final Review
 - 9. 03/02/20 Issued for ADP Permit

REFERENCES

- 1. 2018 BC Building Code (Amendment 18, 2018)
- 2. 2018 BC Building Code (Amendment 19, 2018)
- 3. 2018 BC Building Code (Amendment 20, 2018)
- 4. 2018 BC Building Code (Amendment 21, 2018)
- 5. 2018 BC Building Code (Amendment 22, 2018)
- 6. 2018 BC Building Code (Amendment 23, 2018)
- 7. 2018 BC Building Code (Amendment 24, 2018)
- 8. 2018 BC Building Code (Amendment 25, 2018)
- 9. 2018 BC Building Code (Amendment 26, 2018)
- 10. 2018 BC Building Code (Amendment 27, 2018)
- 11. 2018 BC Building Code (Amendment 28, 2018)
- 12. 2018 BC Building Code (Amendment 29, 2018)
- 13. 2018 BC Building Code (Amendment 30, 2018)
- 14. 2018 BC Building Code (Amendment 31, 2018)
- 15. 2018 BC Building Code (Amendment 32, 2018)
- 16. 2018 BC Building Code (Amendment 33, 2018)
- 17. 2018 BC Building Code (Amendment 34, 2018)
- 18. 2018 BC Building Code (Amendment 35, 2018)
- 19. 2018 BC Building Code (Amendment 36, 2018)
- 20. 2018 BC Building Code (Amendment 37, 2018)
- 21. 2018 BC Building Code (Amendment 38, 2018)
- 22. 2018 BC Building Code (Amendment 39, 2018)
- 23. 2018 BC Building Code (Amendment 40, 2018)
- 24. 2018 BC Building Code (Amendment 41, 2018)
- 25. 2018 BC Building Code (Amendment 42, 2018)
- 26. 2018 BC Building Code (Amendment 43, 2018)
- 27. 2018 BC Building Code (Amendment 44, 2018)
- 28. 2018 BC Building Code (Amendment 45, 2018)
- 29. 2018 BC Building Code (Amendment 46, 2018)
- 30. 2018 BC Building Code (Amendment 47, 2018)
- 31. 2018 BC Building Code (Amendment 48, 2018)
- 32. 2018 BC Building Code (Amendment 49, 2018)
- 33. 2018 BC Building Code (Amendment 50, 2018)

PROJECT

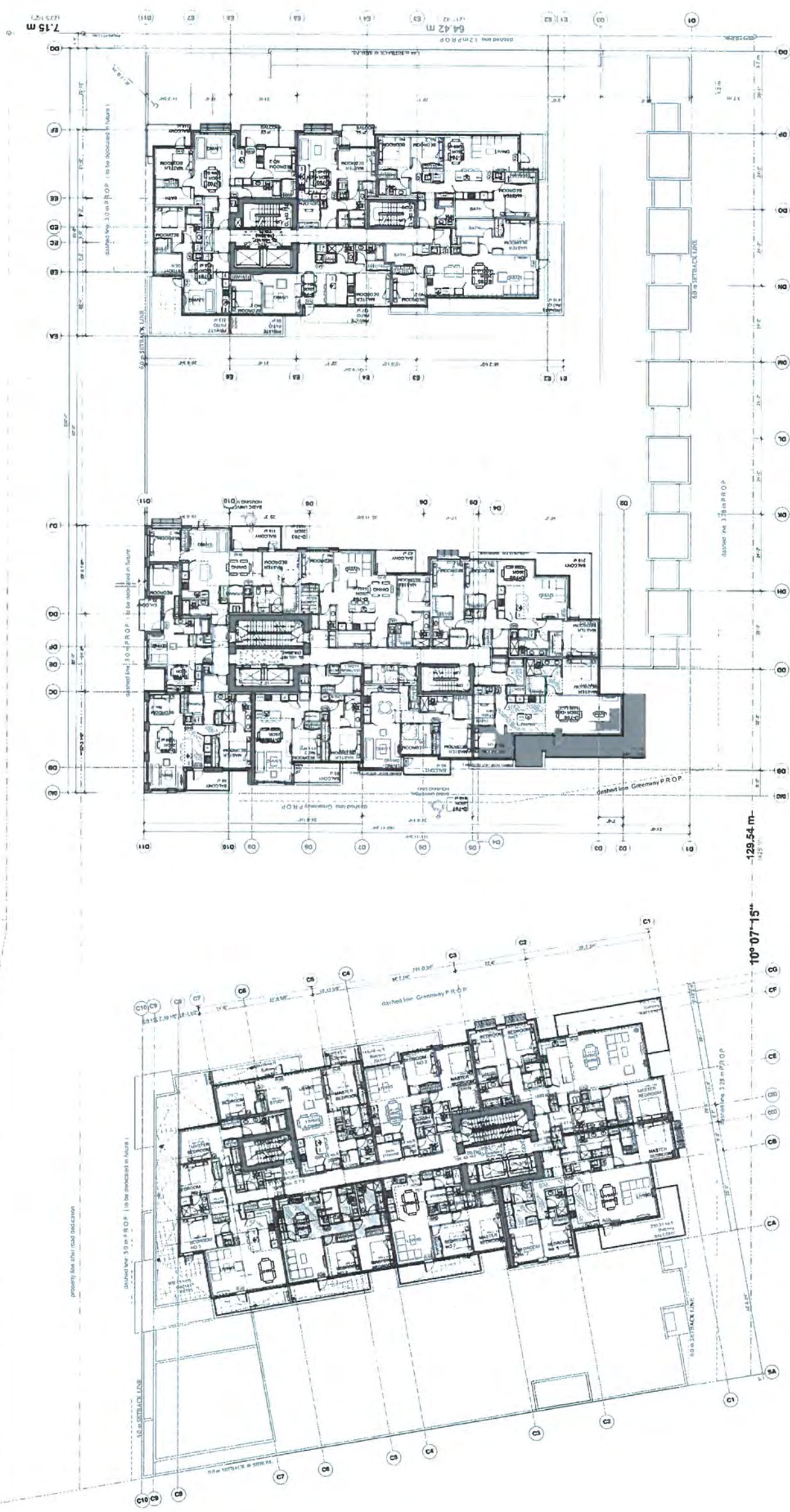
**Resid'l Developments PH2
Park Residences PH2
Tower C+D+E**

6333 - 6399 Mah Bing Street
Richmond, BC

Floor Plan L-7

JOB NO.	02-03
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

A-2.08



PLAN #15 JUL 07 2020
DP 18-837117



- REVISIONS**
- 09/19/18 Issued for Development Permit
 - 03/07/19 Revisions for Development Permit
 - 09/09/19 Revisions for Final Comments
 - 09/11/19 Revisions for Final Comments (2)
 - 11/14/19 Revisions for Final Comments (2)
 - 02/04/20 Revisions for Final Comments (1)
 - 02/11/20 Revisions for Final Comments
 - 02/20/20 Issued for DP Permit

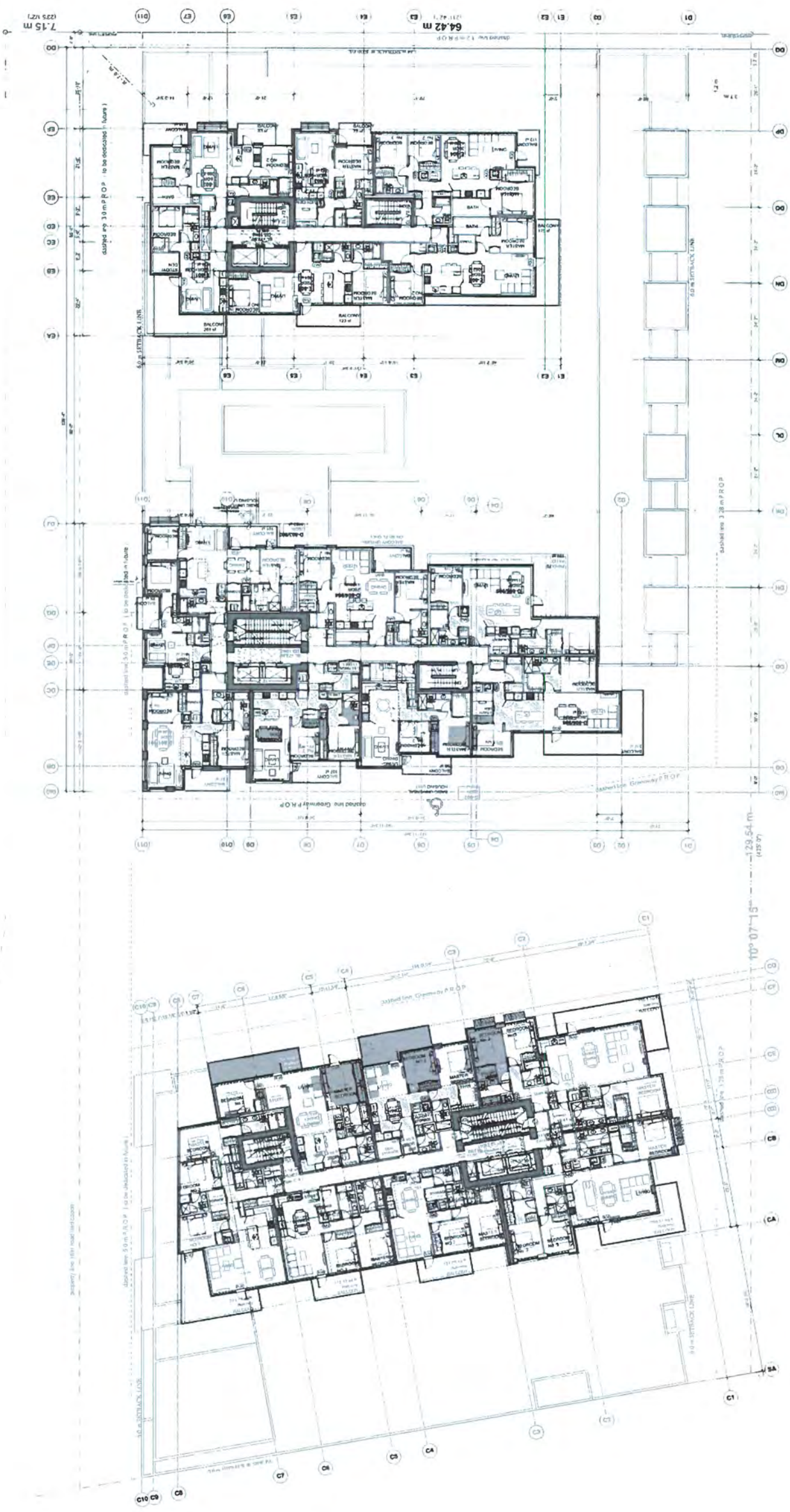
- REFERENCE NOTES**
1. Refer to the 2018 Development Permit Application (DPA) for the 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

PROJECT
Resid'l Development
Park Residences PHz
Tower C+D+E
6333 - 6399 Main Bing Street
Richmond, BC

Floor Plan L-8

DR NO	02-03
DESIGNER	DMYK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
DESIGNED BY	WTL

A-2.09



PLAN #16
JUL 07 2020
DP 18-837117



- REVISIONS**
- | | | |
|----|--------|----------------------------------|
| 1 | 201818 | Issued for Development Permit |
| 2 | 202018 | Revisions for Development Permit |
| 3 | 202018 | Revisions for Building Comments |
| 4 | 202018 | Revisions for Building Comments |
| 5 | 202018 | Revisions for Building Comments |
| 6 | 202018 | Revisions for Building Comments |
| 7 | 202018 | Revisions for Building Comments |
| 8 | 202018 | Revisions for Building Comments |
| 9 | 202018 | Revisions for Building Comments |
| 10 | 202018 | Revisions for Building Comments |

REFERENCES NOTES

- 1.1 British Columbia Building Code (BCBC) 2018
- 1.2 British Columbia Fire Code (BCFC) 2018
- 1.3 British Columbia Occupational Safety and Health Act (OSHA) 2018
- 1.4 British Columbia Environmental Assessment Act (EAA) 2018
- 1.5 British Columbia Environmental Assessment Regulation (EAR) 2018
- 1.6 British Columbia Environmental Assessment Handbook (EAH) 2018
- 1.7 British Columbia Environmental Assessment Handbook (EAH) 2018
- 1.8 British Columbia Environmental Assessment Handbook (EAH) 2018
- 1.9 British Columbia Environmental Assessment Handbook (EAH) 2018
- 1.10 British Columbia Environmental Assessment Handbook (EAH) 2018

PROJECT

**Resid'l Development
Park Residences PH;
Tower C+D+E**

6333 - 6399 Mehling Street
Richmond, BC

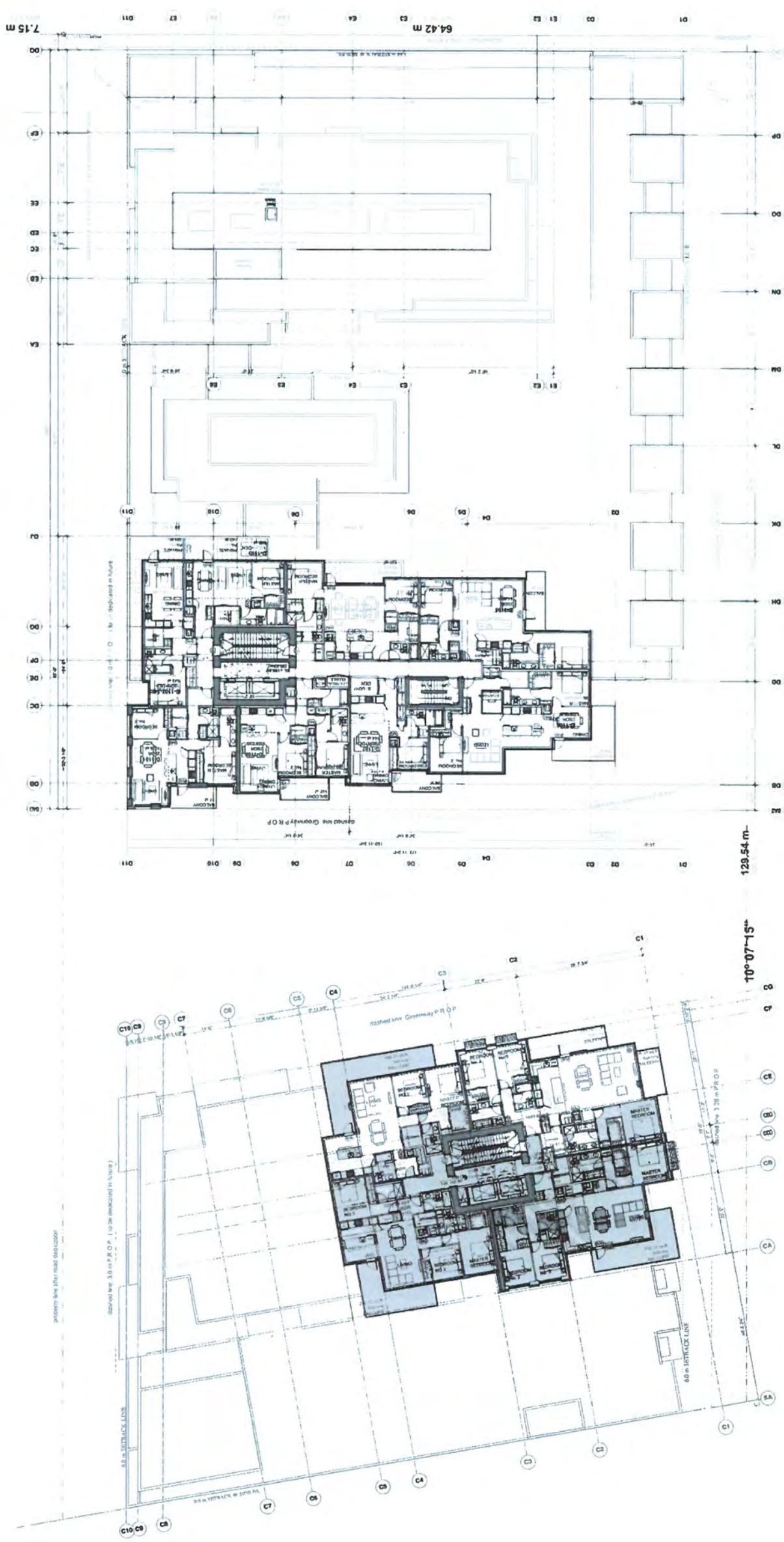
Floor Plan L-10

JOB NO	02-03
DESIGN	DM/WK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

A-2.11



PLAN #18 JUL 07 2020
DP 18-837117



**Resid'l Development
Park Residences PH;
Tower C+D+E**
6333 - 6399 Mah Bling Street
Richmond, BC

Floor Plan L-11

Rev	02-03
By	DM/VK
Date	August 23, 2018
Scale	1/16" = 1'-0"
Drawn	WTL

PLAN #19 JUL 07 2020
DP 18-837117

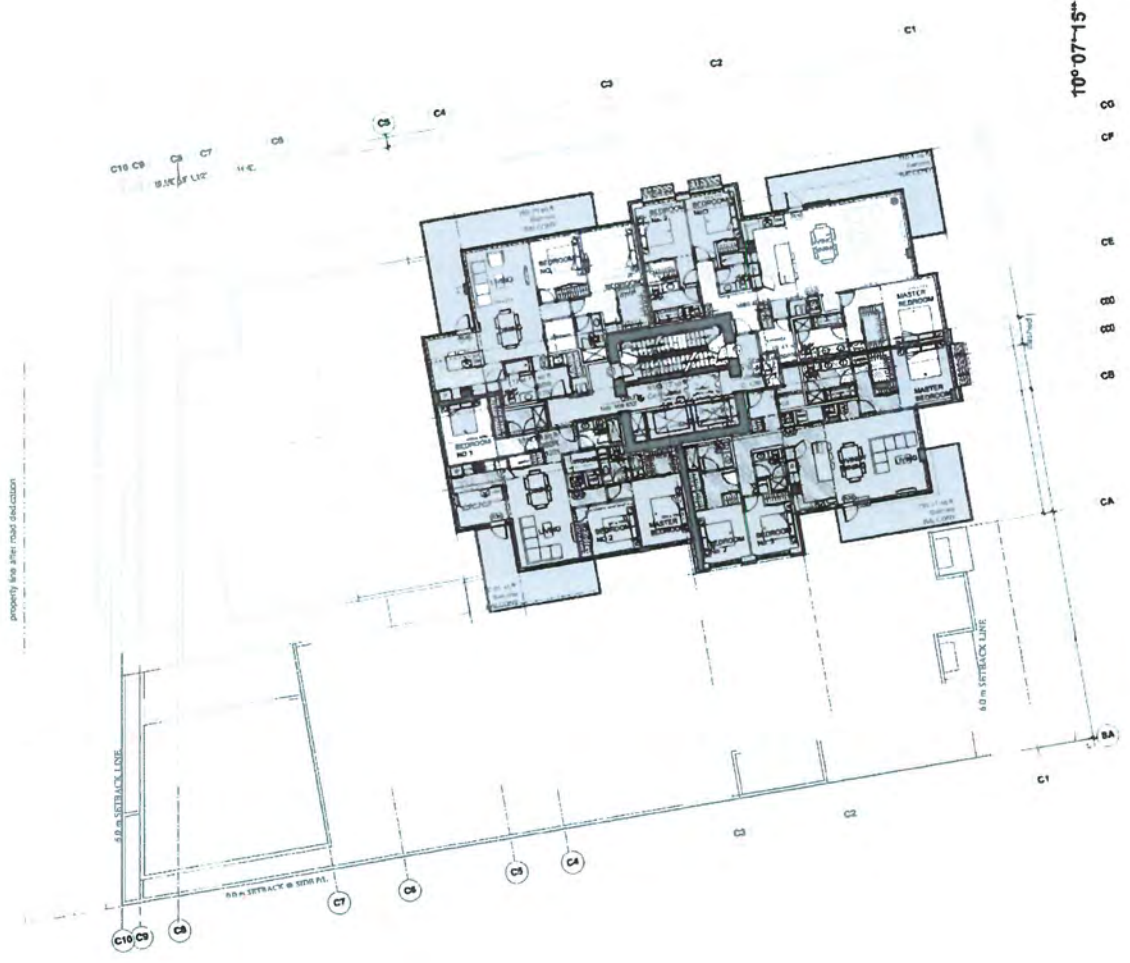
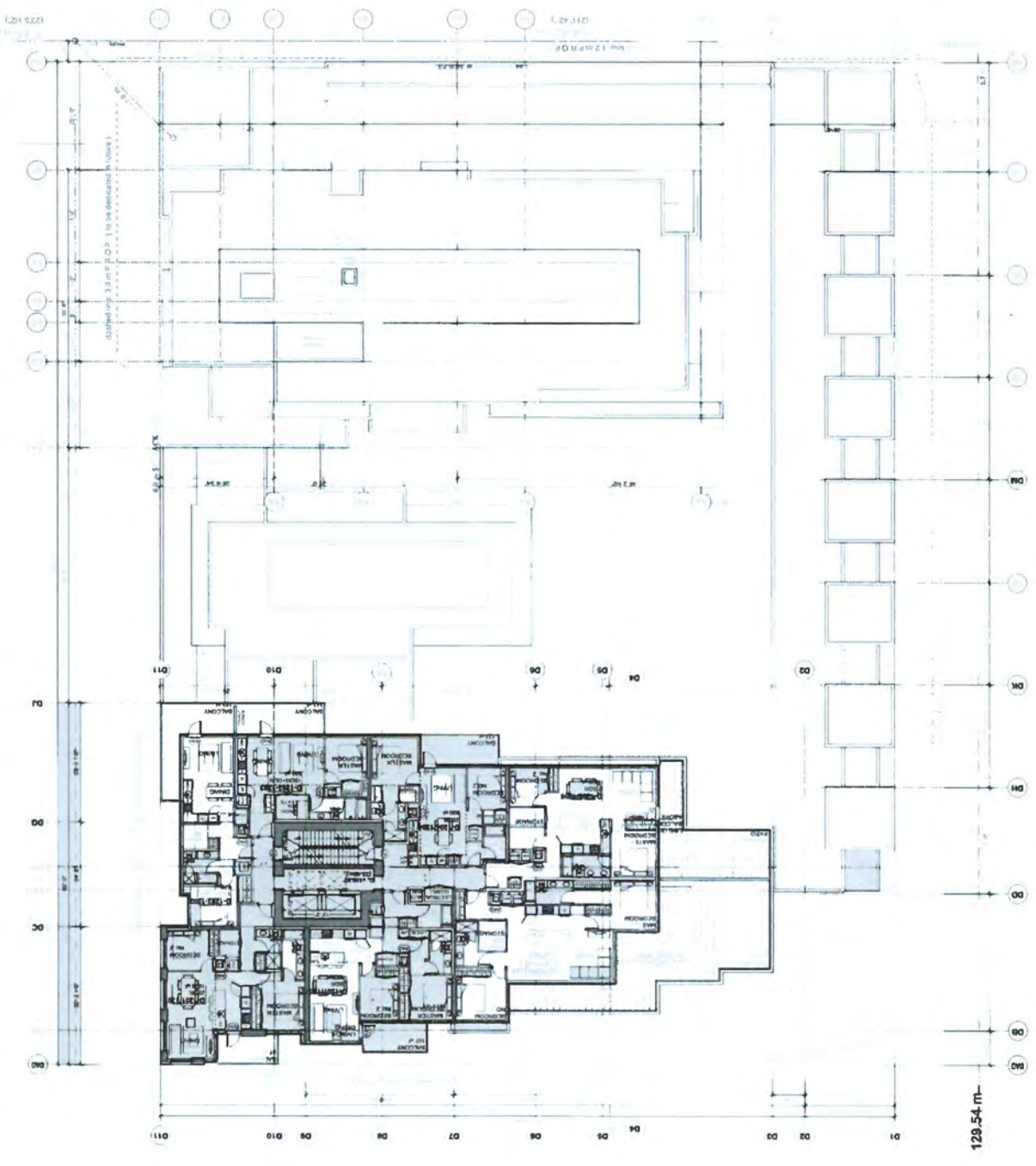


Rev	Date	Description
1		Issue for Construction
2		Issue for Construction
3		Issue for Construction
4		Issue for Construction
5		Issue for Construction
6		Issue for Construction
7		Issue for Construction
8		Issue for Construction
9		Issue for Construction
10		Issue for Construction
11		Issue for Construction
12		Issue for Construction
13		Issue for Construction

Based on On-Site
Measurements
Please Refer to Location and
Dimensions on
Drawings

Room / Dimension
Part Reference
Tower C-D-E

Floor Plan L-12



PLAN #20
JUL 07 2020
DP 18-837117



- REVISIONS**
- 1. 08/19/18 Issued for Development Permit
 - 2. 08/29/18 Revisions for Development Permit
 - 3. 09/05/18 Revisions for Staff Comments
 - 4. 10/23/18 Revisions for Staff Comments (1)
 - 5. 11/07/18 Revisions for Staff Comments (2)
 - 6. 11/14/18 Revisions for Staff Comments (3)
 - 7. 06/13/20 Revisions for Staff Comments (1)
 - 8. 07/07/20 Revisions for DP #106

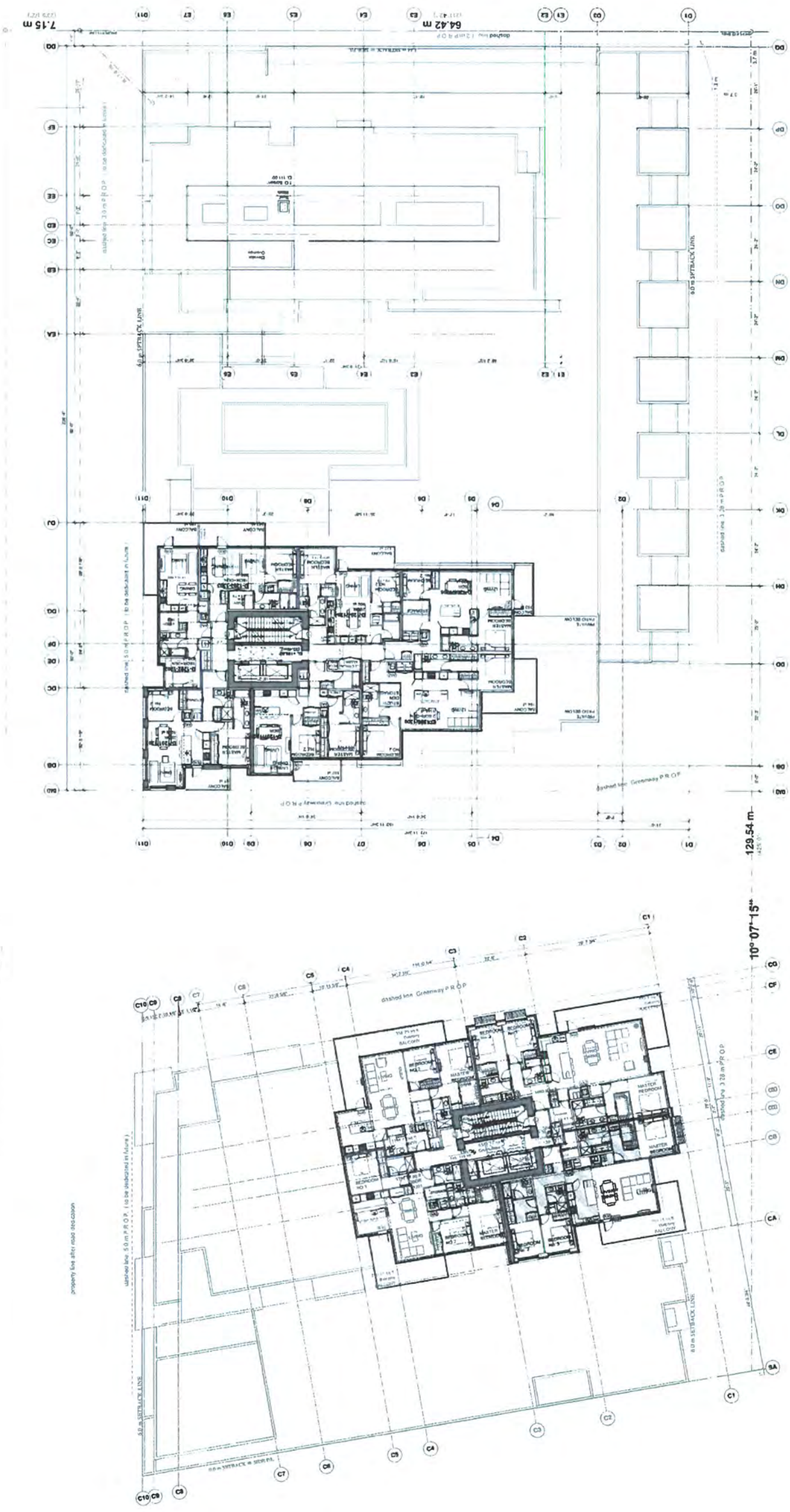
- REFERENCE NOTES**
1. British Columbia Building Code (BCBC) 2018
 2. BC Building Act and Regulation
 3. BC Building Code (BCBC) 2018
 4. BC Building Code (BCBC) 2018
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 6. BC Building Code (BCBC) 2018
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 100. BC Building Code (BCBC) 2018

PROJECT
Resid'l Development
Park Residences PH2
Tower C+D+E
6333 - 6399 Mah Bing Street
Richmond, BC

Floor Plan L-13

JOB NO	02-03
ISSUED	DMWK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
DRAWN	WTL

A-2.14



PLAN #21 JUL 07 2020
DP 18-837117



- 13254-0001-0001
- 1 08/18/18 Issued for Development Permit
 - 2 03/20/19 Re-submitted for Development Permit
 - 3 05/20/19 Re-submitted for Staff Comments
 - 4 10/21/19 Re-submitted for Staff Comments (1)
 - 5 11/14/19 Re-submitted for Staff Comments (2)
 - 6 11/06/19 Re-submitted for Staff Comments (3)
 - 7 09/12/20 Re-submitted for Staff Comments (4)
 - 8 05/15/20 Re-submitted for Staff Comments
 - 9 01/09/20 Re-submitted for DP Permit

REVISIONS:

- 1.1 Additions to the 2018 Development Permit Application (DPA) for the 13254-0001-0001 project, including the addition of a new building footprint, the addition of a new parking lot, and the addition of a new landscaping plan.
- 1.2 Additions to the 2018 Development Permit Application (DPA) for the 13254-0001-0001 project, including the addition of a new building footprint, the addition of a new parking lot, and the addition of a new landscaping plan.
- 1.3 Additions to the 2018 Development Permit Application (DPA) for the 13254-0001-0001 project, including the addition of a new building footprint, the addition of a new parking lot, and the addition of a new landscaping plan.
- 1.4 Additions to the 2018 Development Permit Application (DPA) for the 13254-0001-0001 project, including the addition of a new building footprint, the addition of a new parking lot, and the addition of a new landscaping plan.
- 1.5 Additions to the 2018 Development Permit Application (DPA) for the 13254-0001-0001 project, including the addition of a new building footprint, the addition of a new parking lot, and the addition of a new landscaping plan.
- 1.6 Additions to the 2018 Development Permit Application (DPA) for the 13254-0001-0001 project, including the addition of a new building footprint, the addition of a new parking lot, and the addition of a new landscaping plan.
- 1.7 Additions to the 2018 Development Permit Application (DPA) for the 13254-0001-0001 project, including the addition of a new building footprint, the addition of a new parking lot, and the addition of a new landscaping plan.
- 1.8 Additions to the 2018 Development Permit Application (DPA) for the 13254-0001-0001 project, including the addition of a new building footprint, the addition of a new parking lot, and the addition of a new landscaping plan.
- 1.9 Additions to the 2018 Development Permit Application (DPA) for the 13254-0001-0001 project, including the addition of a new building footprint, the addition of a new parking lot, and the addition of a new landscaping plan.
- 1.10 Additions to the 2018 Development Permit Application (DPA) for the 13254-0001-0001 project, including the addition of a new building footprint, the addition of a new parking lot, and the addition of a new landscaping plan.

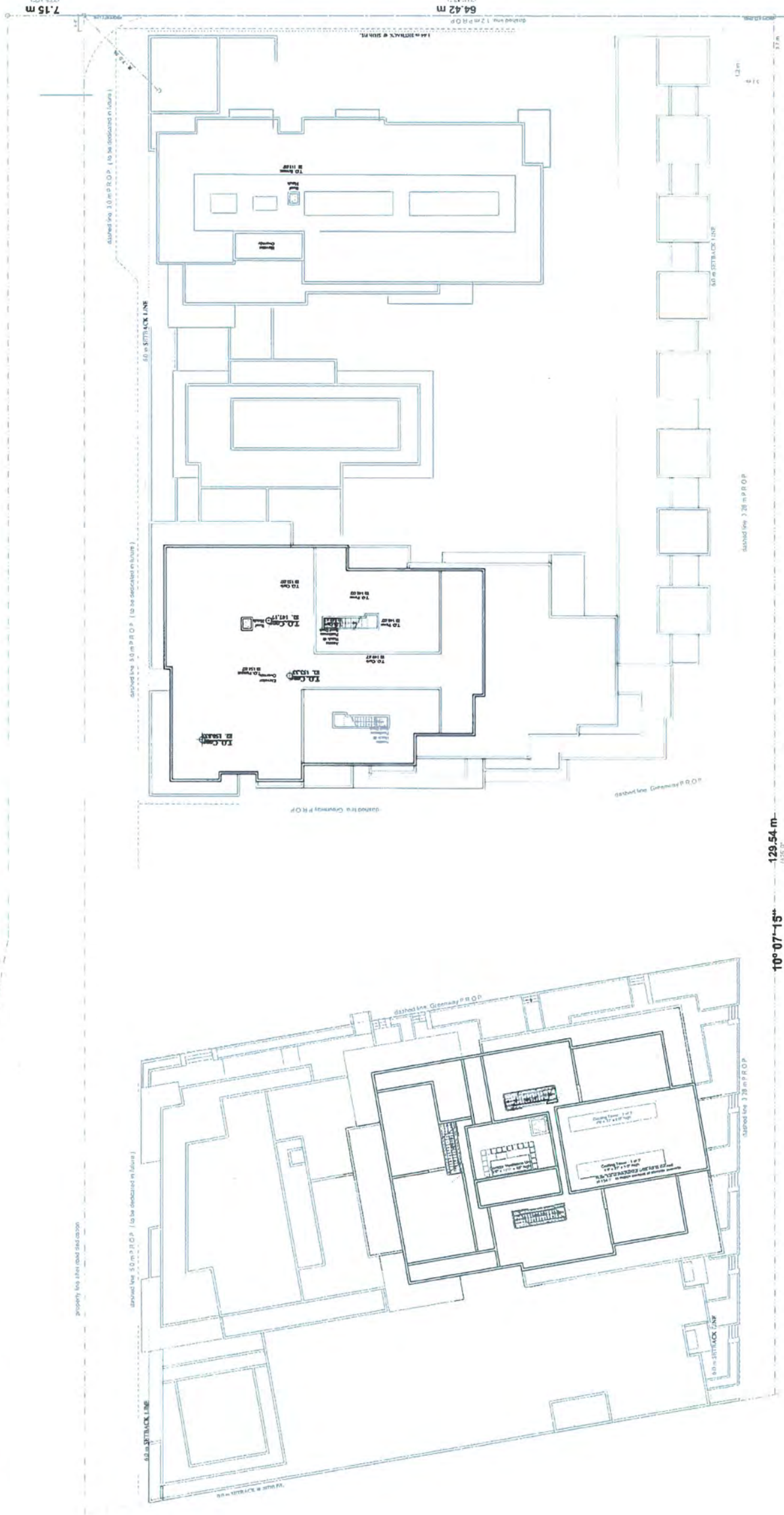
PROJECT:
**Resid'l Developments PH2
Park Residences PH2
Tower C+D+E**
6333 - 6399 Meh Ring Street
Richmond, BC

**Floor Plan L-16
ROOF PLAN**

JOB NO.	02-03
DRAWN	DMVVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
DRAWN BY	WTL

3. Drawings issued by this office are the property of the office and shall remain the property of the office. All drawings are to be used only for the project and site specified on the drawing. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the office.

A-2.17



PLAN # 24 JUL 07 2020
DP 18-837117

MATERIAL LIST

- 1a TERRA COTTA PANEL, Meedling Quartzgrey (regular layout pattern)
- 1b TERRA COTTA PANEL, Meedling Quartzgrey (accent layout pattern)
- 2 CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3 DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4 BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5 GLASS GUARDRAIL
- 6 VERTICAL LANDSCAPING (see landscape drawings)
- 7 PERFORATED METAL SCREEN (mechanical rooftop units)
- 8 SPANDREL PANEL various colours (location TBD)
 - 8a BM 2155-70 Wedding Veil
 - 8b BM HC-148 Wedgewood Gray
 - 8c BM HC-149 Wedgewood Blue
 - 8d BM HC-13 Concord Red
 - 8e BM 2013-50 Sunbust
 - 8f BM CC-660 Blue Heron
- 9 BRICK MASONRY - Imperial Gray

MECHANICAL NOTES

- A FLUID COOLERS AND AIR HANDLING UNITS
acoustic noise mitigation measures to be incorporated at SP stage when equipment details and specifications complete
- B FLUID COOLERS AND AIR HANDLING UNITS
concealed behind metal screens w/ acoustic properties when equipment details and specifications complete at SP stage when equipment details and specifications complete
- C EMERGENCY GENERATOR ROOM
generator equipped with engine muffler to reduce sound at point of discharge
- D PARKADE EXHAUST VENTILATION
mechanical exhaust ventilation system operates 'on demand' fan speeds match gas concentrations with parkade
- E PASSIVE VENTILATION
pressure ventilation at service rooms

DATE	DESCRIPTION
09/14/18	Issued for Development Permit
02/02/19	Revised for Development Permit
05/09/19	Revised per 2nd Comments
10/21/19	Revised per 3rd Comments
11/04/19	Revised per 2nd Comments C
11/09/19	Revised per 2nd Comments C
11/09/19	Issued for ADP



PROJECT
Resid'l Developme
Park Residences P
Tower C+D+E
6333 - 6399 Mah Bing Road
Richmond, BC

**Elevation Wes
Park Elevator**

JOB NO.	02-03
DRAWN	DMJ/VK
DATE	August 23, 2018
SCALE	1/16"
DRAWN BY	WTL

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JUL 07 2020 PLAN #25 DP 18-837117

MATERIAL LIST

- 1b TERRA COTTA PANEL Molding Quartzgrey (regular layout pattern)
- 1b TERRA COTTA PANEL Molding Quartzgrey (accent layout pattern)
- 2 CONCRETE ON ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3 DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (Window wall)
- 4 BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5 GLASS GUARDRAIL
- 6 VERTICAL LANDSCAPING (see landscape drawings)
- 7 PERFORATED METAL SCREEN (mechanical rooftop units)
- 8 SPANDREL PANEL various colours (location TBD)
 - 8a BM 2125-70 Wedding Veil
 - 8b BM HC-148 Wedgewood Gray
 - 8c BM HC-12 Concord Ivory
 - 8d BM 2013-50 Sandblast
 - 8f BM CC-810 Blue Horizon
- 9 BRICK MASONRY - Imperial Gray

MECHANICAL NOTES

- A FLUID COOLERS AND AIR HANDLING UNITS
acoustic noise mitigation measures to be incorporated at BP stage
when equipment details and specifications complete
- B FLUID COOLERS AND AIR HANDLING UNITS
acoustic noise mitigation measures to be incorporated at BP stage
when equipment details and specifications complete
- C EMERGENCY GENERATOR ROOM
generator equipped with engine muffler to reduce sound
at point of discharge
- D PARKADE EXHAUST VENTILATION
parkade fans w/ Variable Frequency Drive
ventilation system operates "on demand"
fan speeds match gas concentrations w/in parkade
- E PASSIVE VENTILATION
passive ventilation at service rooms

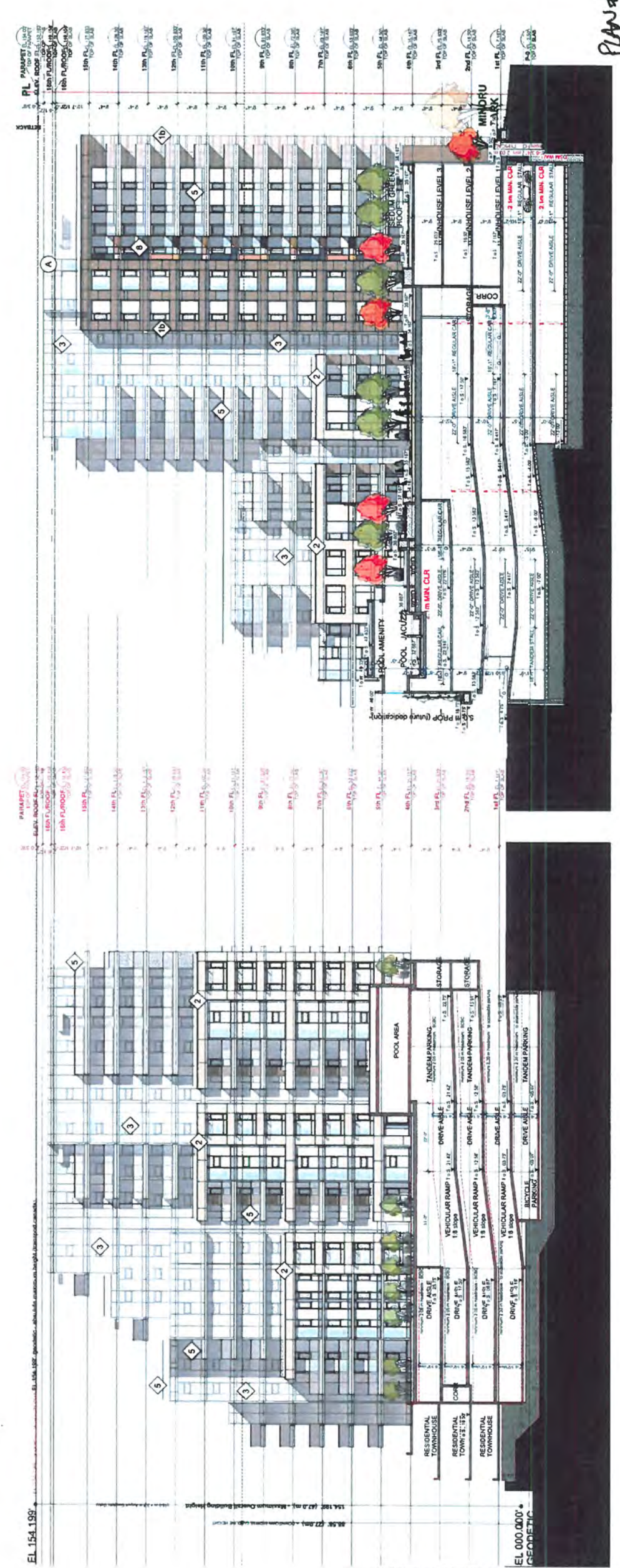
REVISION	DATE	BY	DESCRIPTION
1	09/18/18	WTL	Issued for Development Phase
2	09/20/18	WTL	Revised for Development Phase
3	09/20/18	WTL	Revised for Development Phase
4	09/21/18	WTL	Revised for Development Phase
5	11/08/19	WTL	Revised for Development Phase
6	11/08/19	WTL	Revised for Development Phase
7	01/17/20	WTL	Revised for Development Phase



DATE	DESCRIPTION
1 09/16/18	Issued for Development Permit
2 03/20/19	Revised for Development Permit
3 09/03/19	Revised per Staff Comments
4 10/21/19	Revised per Staff Comments
5 11/05/19	Revised per Staff Comments
6 11/05/19	Issued for ADP

- MATERIAL LIST**
- 10 TERRA COTTA PANEL, Moulding Quartzgrey (regular layout pattern)
 - 11 TERRA COTTA PANEL, Moulding Quartzgrey (accent layout pattern)
 - 2 CONCRETE c/w ELASTOMERIC PAINT FINISH (BM CC-14 Natural Cream)
 - 3 DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
 - 4 BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
 - 5 GLASS GUARDRAIL
 - 6 VERTICAL LANDSCAPING (see landscape drawings)
 - 7 PERFORATED METAL SCREEN (mechanical rooftop units)
 - 8 SPANDELE PANEL various colours (location TBD)
 - 8a BM 2125-70 Weeding Vial
 - 8b BM MC-145 Wedgewood Gray
 - 8c BM MC-120 Piedmont Blue
 - 8d BM 2013-50 Sandblast
 - 8f BM CC-640 Blue Heaven
 - 9 BRICK/MASONRY - Imperial Gray

- MECHANICAL NOTES**
- (A) FLUID COOLERS AND AIR HANDLING UNITS
acoustic noise mitigation measures to be incorporated at BP stage when equipment details and specifications complete
 - (B) FLUID COOLERS AND AIR HANDLING UNITS
concealed behind metal screen w/ acoustic properties acoustic noise mitigation measures to be incorporated at BP stage when equipment details and specifications complete
 - (C) EMERGENCY GENERATOR ROOM
generator equipped with engine muffler to reduce sound at point of discharge
 - (D) PARKADE EXHAUST VENTILATION
mechanical exhaust fans with acoustic properties ventilation system operates 'on demand'
fan speeds match gas concentrations with parkade
 - (E) PASSIVE VENTILATION
passive ventilation at service rooms



PROJECT
Resid'1 Developme
Park Residences PI
Tower C+D+E
6333 - 6399 Miah Bing Road
Richmond, BC

**Courtyard Elevati
NORTH TWR C
SOUTH TWR D**

DATE	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16"
CHECKED	WTL

PLAN #28

COURTYARD SOUTH ELEVATION TOWER D

COURTYARD NORTH ELEVATION TOWER C

DP 18-837117

A-3.04
JUL 07 2020

MATERIAL LIST

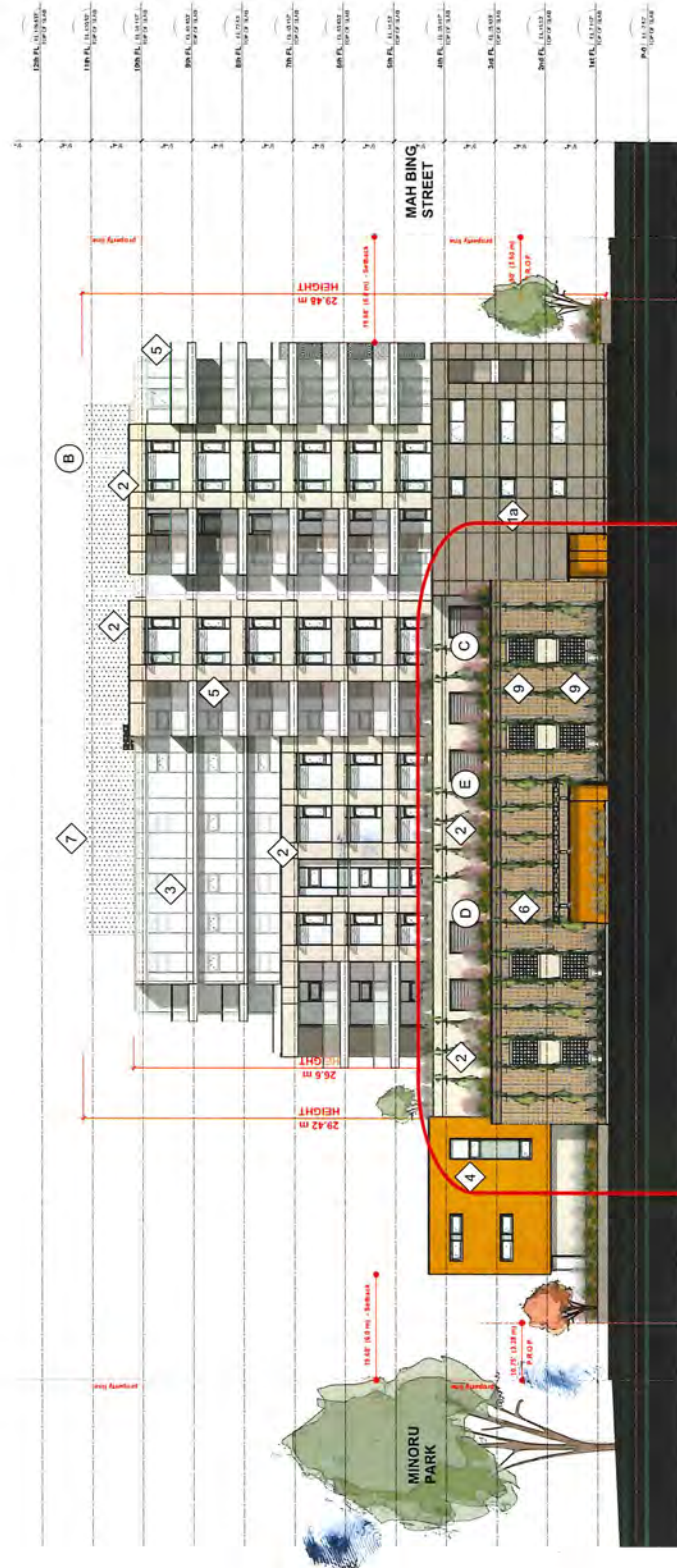
- 19 TERRA COTTA PANEL, Meeding Quarzgrey (regular layout pattern)
- 10 TERRA COTTA PANEL, Meeding Quarzgrey (accent layout pattern)
- 2 CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3 DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4 BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5 GLASS GUARDRAIL
- 6 VERTICAL LANDSCAPING (see landscape drawings)
- 7 PERFORATED METAL SCREEN (mechanical rooftop units)
- 8 SPANDREL PANEL various colours (location TBD)
 - 8a BM 2125-20 Wooding Veil
 - 8b BM HC-146 Wedgewood Gray
 - 8c BM HC-159 Phlegsbung Blue
 - 8d BM CC-840 Blue Heron
 - 8e BM 2013-20 Sandblast
 - 8f BM CC-840 Blue Heron
- 9 BRICK MASONRY - Imperial Gray

MECHANICAL NOTES

- (A) FLUID COOLERS AND AIR HANDLING UNITS
acoustic noise mitigation measures to be incorporated at BP stage
when equipment details and specifications complete
- (B) FLUID COOLERS AND AIR HANDLING UNITS
concealed behind metal screen w/ acoustic properties
acoustic noise mitigation measures to be incorporated at BP stage
when equipment details and specifications complete
- (C) EMERGENCY GENERATOR ROOM
generator equipped with engine muffler to reduce sound
at point of discharge
- (D) PARKADE EXHAUST VENTILATION
parkade fans w/ Variable Frequency Drives
ventilation system operates 'on demand'
fan speeds match gas concentrations w/in parkade
- (E) PASSIVE VENTILATION
passive ventilation at service rooms



COURTYARD NORTH ELEVATION TOWER



LANE SOUTH ELEVATION TOWER E

PROJECT
Resid'l Development
Park Residences PH 2
Tower C+D+E
6333 - 6399 Mah Bing Road
Richmond, BC

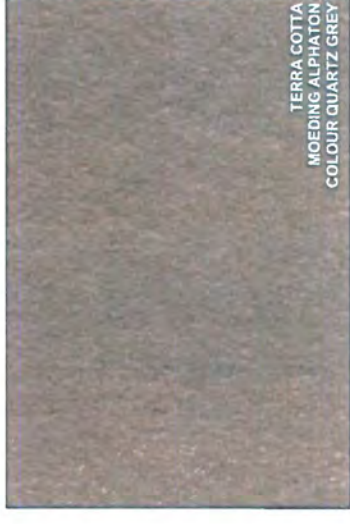
Courtyard Elev. TWR E
NORTH TWR C
SOUTH TWR D

JOB NO. 02-03
DRAWN DM/VK
DATE August 23, 2018
SCALE 1/16"
CHECKED WTL
Issued for approval. This plan and design is an interim drawing for design purposes only. It is not to be used for construction or for any other purpose without the written consent of the architect.

DP 18-837117

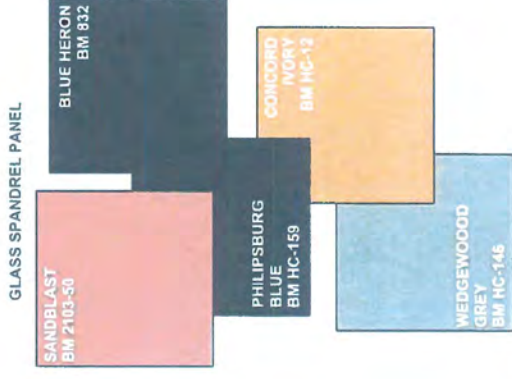
PLAN #29 SEP 11 2020

A-3.05



PAINTED CONCRETE
BUILDING

GLASS SPANDREL PANEL
GLASS TOWER PORTION



MATERIAL LIST

- 1) TERRA COTTA PANEL Moeding Quartzgrey (regular layout pattern)
- 1b) TERRA COTTA PANEL Moeding Quartzgrey (eccent layout pattern)
- 2) CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3) DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINIUM FRAME (window wall)
- 4) BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5) GLASS GUARDRAIL
- 6) VERTICAL LANDSCAPING (see landscape drawings)
- 7) PERFORATED METAL SCREEN (mechanical rooftop units)
- 8) SPANDREL PANEL various colours (location TBD)
 - 8a) BM 2125-70 Wedding Veil
 - 8b) BM HC-146 Wedgewood Grey
 - 8c) BM HC-159 Philipsburg Blue
 - 8d) BM HC-13 Concord Ivory
 - 8e) BM 2013-30 Sandblast
 - 8f) BM OC-140 Blue Heron



PROJECT
Resid'l Developme
Park Residences Pl
Tower C-D+E
6333 - 6389 Mah Bing Road
Richmond, BC

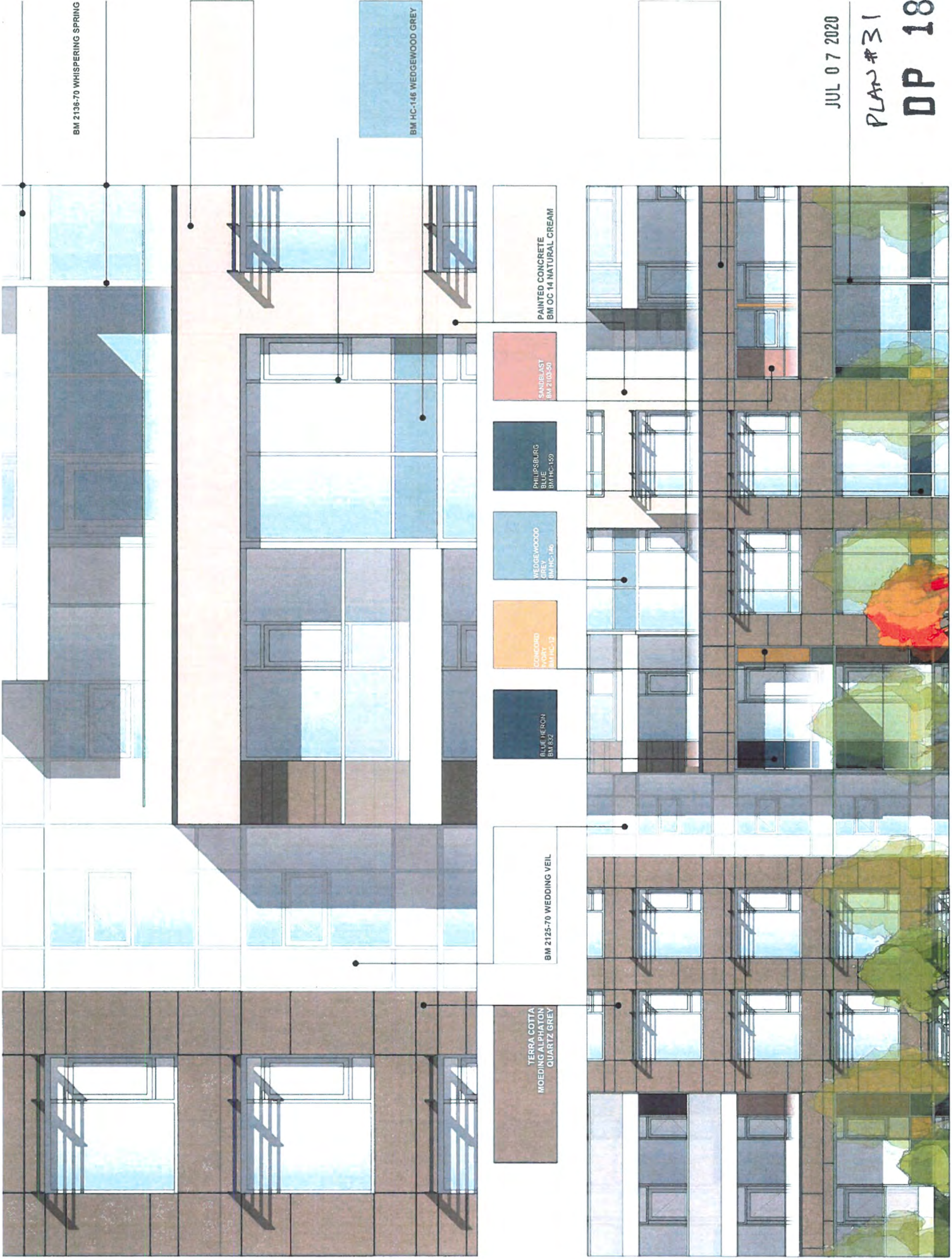
MATERIAL BOAI
EQUITONE TE6
PHASE 2

JOB NO.	02-03
DRAWN	DM, VK
DATE	AUGUST 31, 2018
SCALE	CRECSD WTL

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DP 18-837117
PLAN #30
JUL 07 2020

ELEVATION



PROJECT
**Resid'l Developme
Park Residences Pl
Tower C+D+E**
6333 - 6399 Meh Bing Road
Richmond, BC

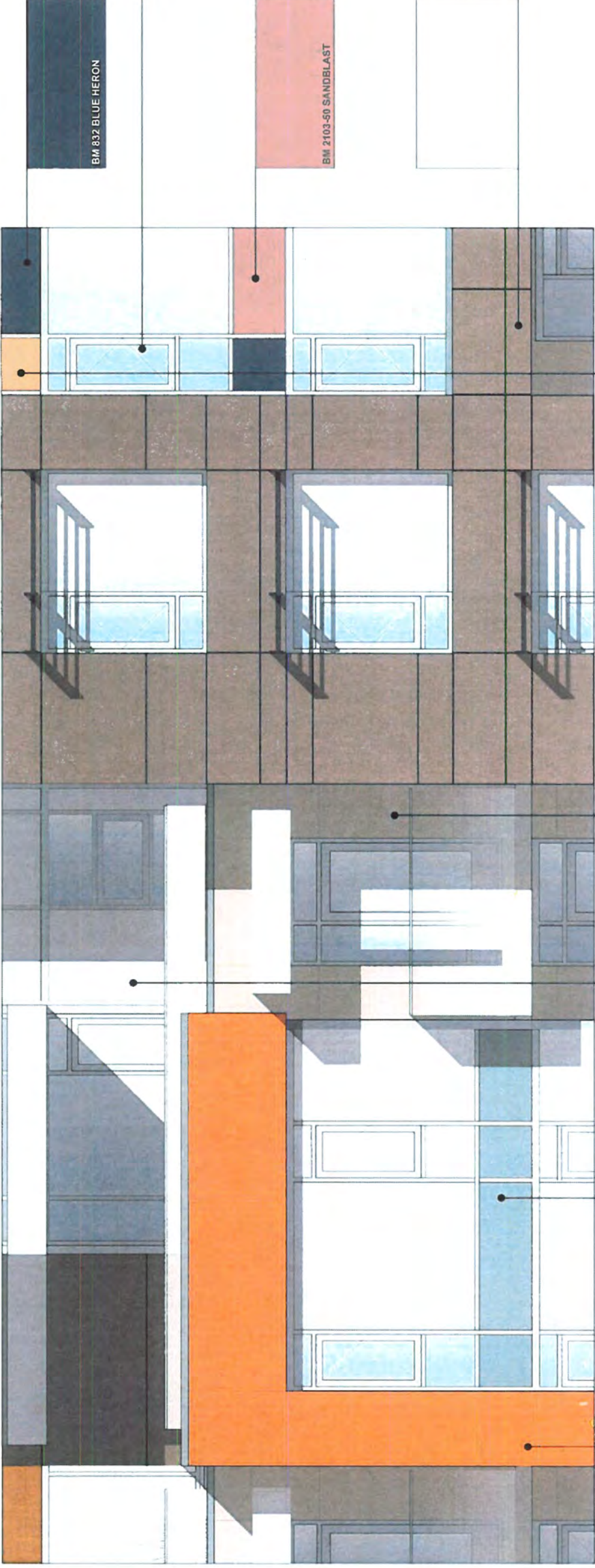
**MATERIAL DETA
EQUITONE TE6
PHASE 2**

JOB NO 02-03
DRAWN DM, VK
DATE AUGUST 31, 2018
SCALE NTS
CHECKED WTL

JUL 07 2020

PLAN #31

DP 18-83711
A-X.99



PROJECT
**Resid'l Developme
Park Residences P
Tower C+D+E**
6333 - 6399 Main Biny Road
Richmond, BC

**MATERIAL DETA
QUARTZGRAI
PHASE 2**

JOB NO. 02-03
DRAWN DIM, YK
DATE AUGUST 31, 2018
SCALE NTS
CHECKED WTL

JUL 07 2020

PLAN # 32

DP 18-837117

REVISIONS

1	09/14/18	Issued for Development Permit
2	07/27/19	Revised for Development Permit
3	09/09/19	Revised per Staff Comments
4	10/21/19	Revised per Staff Comments (1)
5	11/14/19	Revised per Staff Comments (2)
6	11/26/19	Issued for ADP
7	07/07/20	Issued for DP Permit

REVISIONS

1. All drawings shall be in accordance with the current edition of the British Columbia Building Code (BCBC) and the current edition of the National Building Code of Canada (NBC).
2. All drawings shall be in accordance with the current edition of the British Columbia Building Code (BCBC) and the current edition of the National Building Code of Canada (NBC).
3. All drawings shall be in accordance with the current edition of the British Columbia Building Code (BCBC) and the current edition of the National Building Code of Canada (NBC).
4. All drawings shall be in accordance with the current edition of the British Columbia Building Code (BCBC) and the current edition of the National Building Code of Canada (NBC).
5. All drawings shall be in accordance with the current edition of the British Columbia Building Code (BCBC) and the current edition of the National Building Code of Canada (NBC).
6. All drawings shall be in accordance with the current edition of the British Columbia Building Code (BCBC) and the current edition of the National Building Code of Canada (NBC).
7. All drawings shall be in accordance with the current edition of the British Columbia Building Code (BCBC) and the current edition of the National Building Code of Canada (NBC).
8. All drawings shall be in accordance with the current edition of the British Columbia Building Code (BCBC) and the current edition of the National Building Code of Canada (NBC).
9. All drawings shall be in accordance with the current edition of the British Columbia Building Code (BCBC) and the current edition of the National Building Code of Canada (NBC).

PROJECT

**Resid'l Development
Park Residences PH:
Tower C+D+E**

6333 - 6399 Mah Bling Road
Richmond, BC

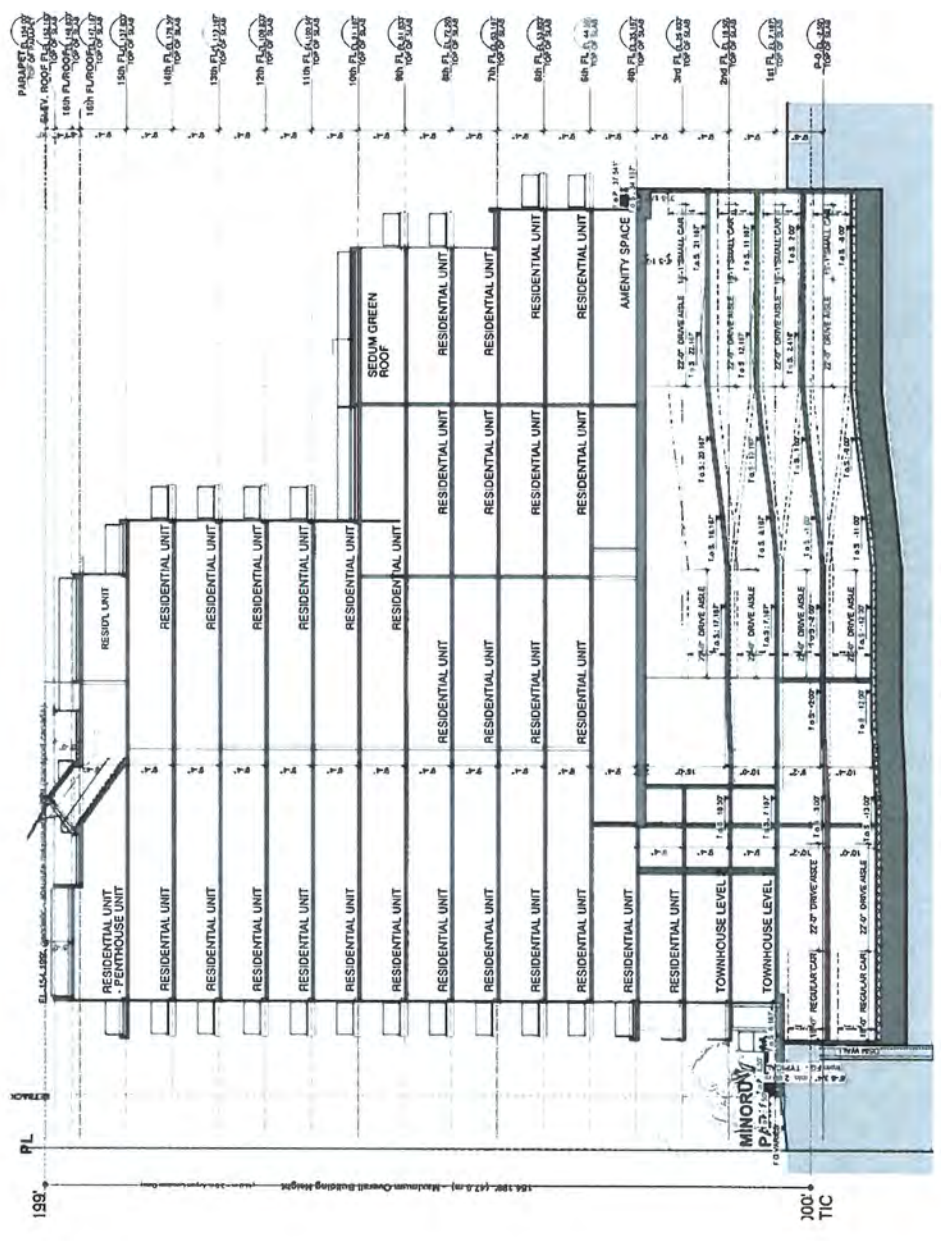
**Sections
TWR C+D+E**

DATE	02-03
DRAWN	DM, VK
DATE	AUGUST 31, 2018
SCALE	WTL
DESIGNED	

Checkered: This plan and design are all done under the supervision of the architect and are subject to the provisions of the Architects Act, R.S.B.C. 1996, c. 47. The architect's liability is limited to the design and construction of the building.

A-4.01

PLAN #33 JUL 07 2020
DP 18-837117



CROSS SECTION 2-2 TOWER C
ACCESS HATCH PH ROOF PATIOS

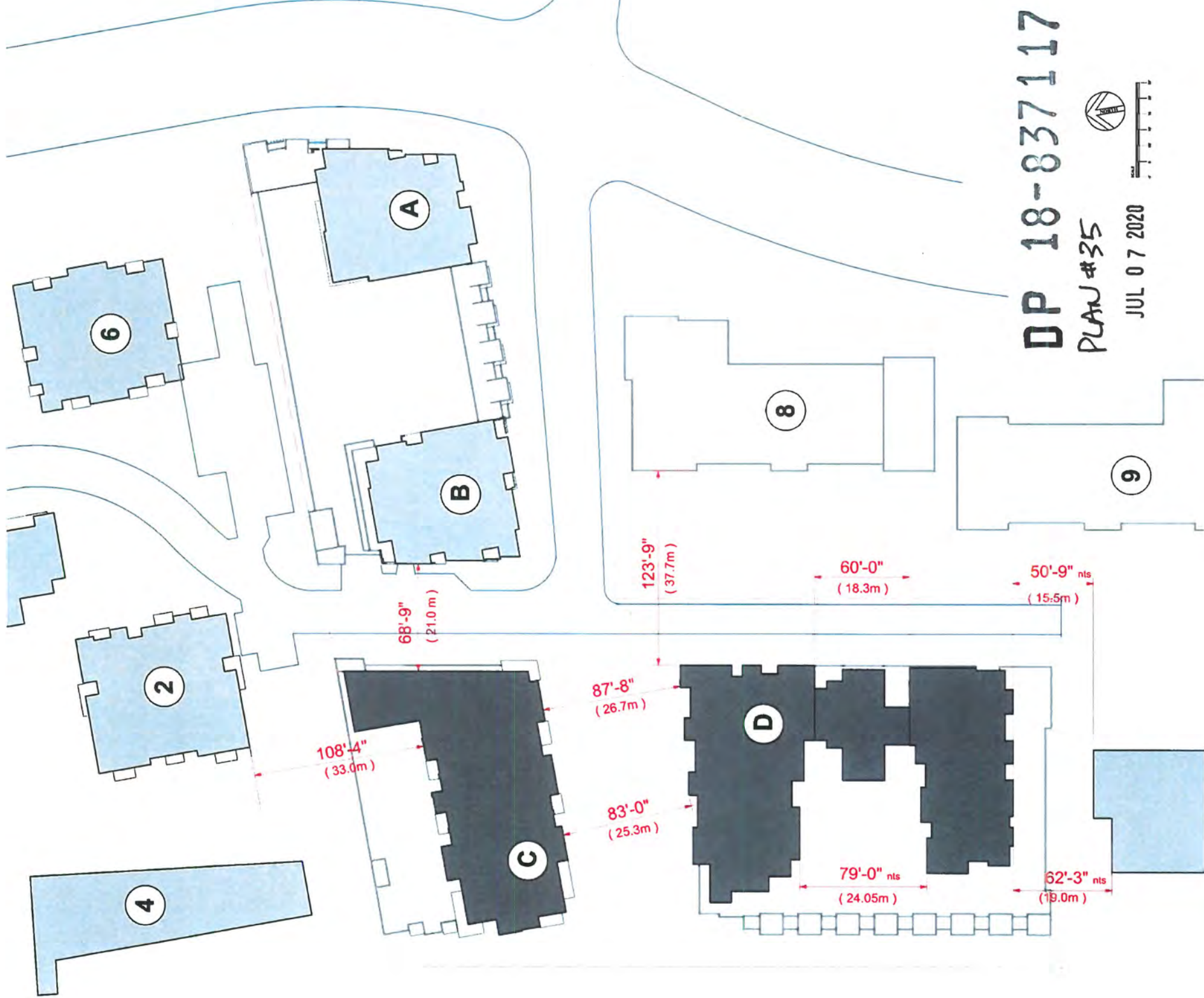
- LEGEND:
- 1. 10/1/18 Based on City Review
 - 2. 10/1/18 Based on Final Comments
 - 3. 10/1/18 Based on Final Comments (1)
 - 4. 10/28/20 Based on Final Comments
 - 5. 10/28/20 Based on DP Panel

PROJECT
**Resid'l Developmen
Park Residences PH
Tower C+D+E**
6333 - 6359 Mah Bing Street
Richmond, BC

**Context Plan
Floor 04**

JOB NO. 02-03
DRAWN DMVK
DATE August 23, 2018
SCALE 1/16" = 1'-0"
CREATED WTL
1. Checkmark: This Plan has been reviewed by the Designer/Architect/Engineer/Professional Engineer and is hereby submitted for recordation.
DRAWING NO.

A 5.04



#	NAME	FL PLATE
---	------	----------

#	NAME	FL PLATE
1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	16 395 sf
4	Carrera Amenity	4 360 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

* adjacent floorplate sizes approximate based on available information

A	7399 Murdoch	6 660 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	13 219 sf
D	6355 Mah Bing	12 623 sf
E	6399 Mah Bing	7 577 sf

Floor Level 04
T.O. Slab - EI 35.17' (8.55m above ground plane)

DATE/DESCRIPTION	BY	REVISION
1. 08/14/18	WTL	Issued for City Review
2. 08/23/18	WTL	Revised per Staff Comments
3. 10/11/18	WTL	Revised per Staff Comments (2)
4. 07/02/19	WTL	Revised per Staff Comments
5. 07/02/19	WTL	Issued for CP Final

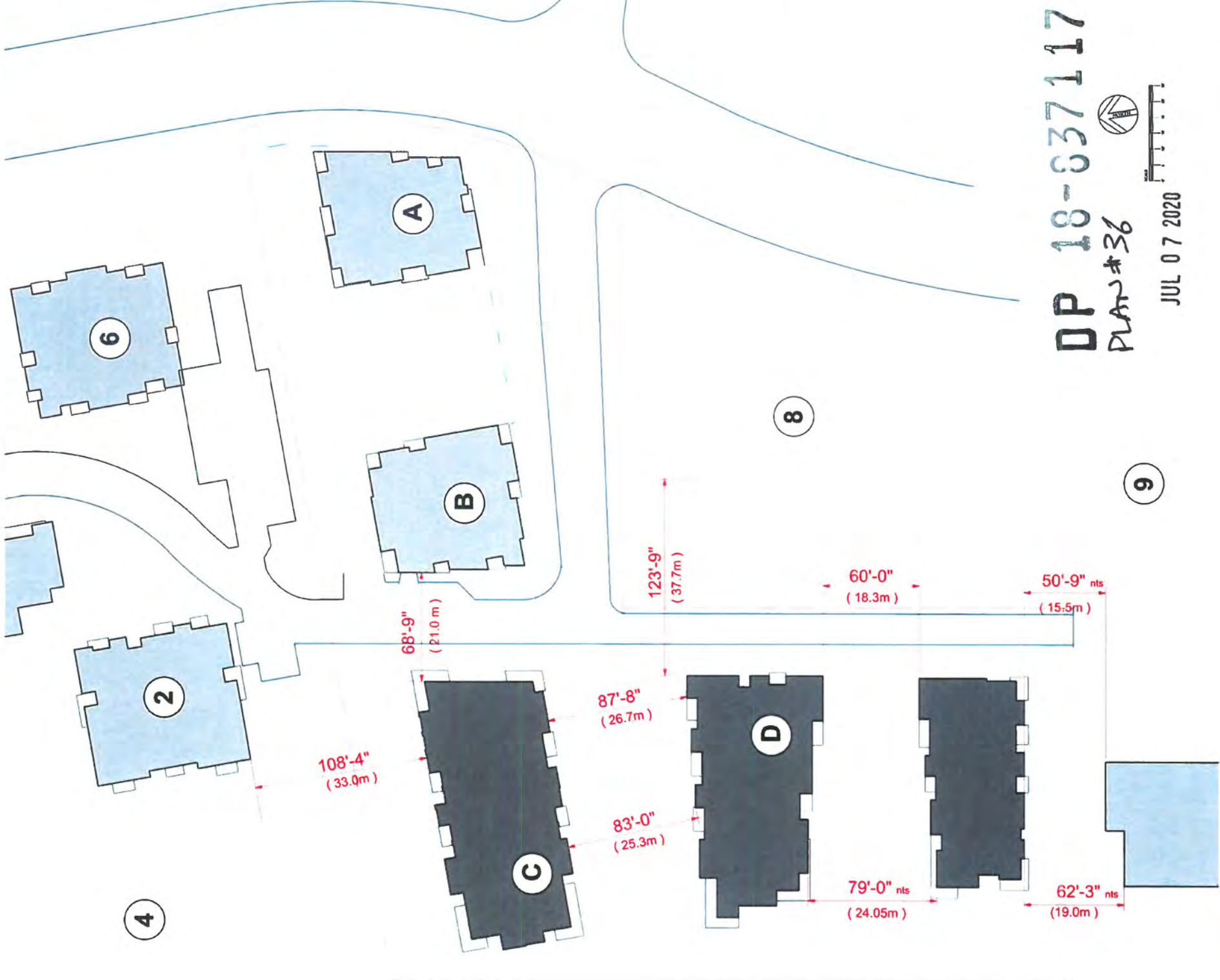
PROJECT
**Resid'l Development
Park Residences PH;
Tower C+D+E**
6333 - 6399 Mah Bing Street
Richmond, BC

**Context Plan
Floor 06**

JOB NO.	02-03
DRAWN	DMV/K
DATE	August 23, 2018
SCALE	1/18" = 1'-0"
CHECKED	WTL

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signature of the Architect. The Architect's name and address shall be
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indicated on the plan.

A 5.05



DP 18-037117
Plan #36
JUL 07 2020

#	NAME	FL PLATE
---	------	----------

#	NAME	FL PLATE
1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	16 395 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

* adjacent footprint sizes approximate based on available information

A	7399 Murdoch	6 660 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	11 610 sf
D	6355 Mah Bing	9 737 sf
E	6399 Mah Bing	7 204 sf

Floor Level 06
T.O. Slab - El 53.83' (14.25m above ground level)

REVISIONS

1	15/11/18	Issued for City Review
2	08/01/19	Revised per Staff Comments
3	10/21/19	Revised per Staff Comments (1)
4	01/09/20	Revised per Staff Comments
5	01/09/20	Issued to DP Final



#	NAME	FL PLATE
---	------	----------

* ADJACENT PROPERTIES

1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	16 395 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

* adjacent footprints sizes approximate based on available information

SUBJECT SITE

A	7399 Murdoch	6 660 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	10 157 sf
D	6355 Mah Bing	9 290 sf
E	6399 Mah Bing	6 280 sf

PROJECT
**Resid'l Development/
Park Residences PH:
Tower C+D+E**
6333 - 6399 Mah Bing Street
Richmond, BC

**Context Plan
Floor 08**

JOB NO.	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

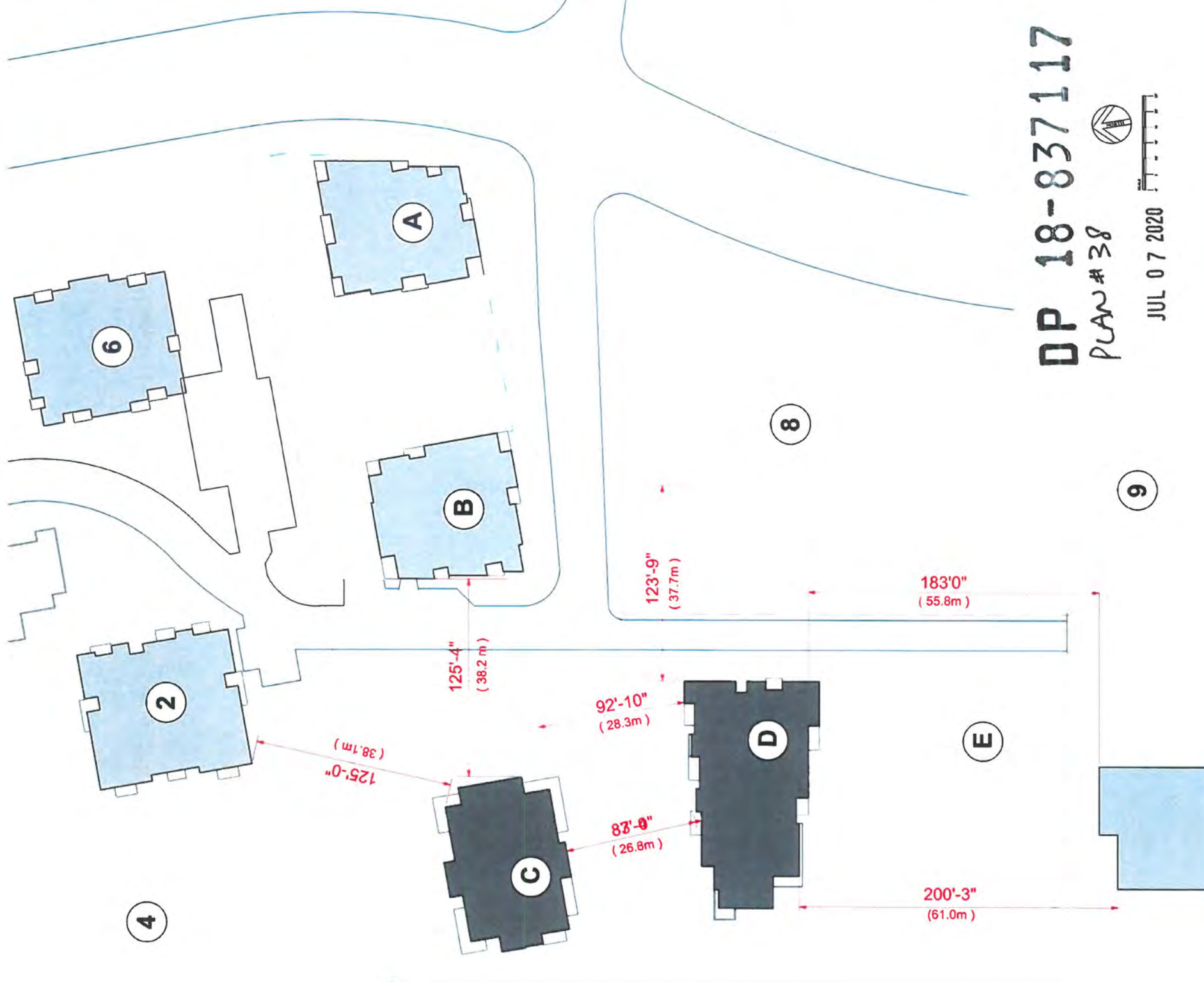
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DP 18-837117
PLAN #37
JUL 07 2020

Floor Level 08
T.O. Slab - EI 72.50' (18.35m above ground level)

A 5.06

- REVISION**
1. 09/11/19 Issued for City Review
 2. 09/09/19 Reissued per Staff Comments
 3. 10/21/19 Reissued per Staff Comments (1)
 4. 01/09/20 Reissued per Staff Comments
 5. 01/09/20 Issued for DP Panel



#	NAME	FL PLATE
---	------	----------

#	NAME	FL PLATE
1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	0 000 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

* adjacent floorplate sizes approximate based on available information

A	B	C	D	E
7399 Murdoch	6 660 sf			
7333 Murdoch	6 865 sf			
6333 Mah Bing	6 668 sf			
6355 Mah Bing	9 125 sf			
6399 Mah Bing	6 193 sf			

PROJECT
Resid'l Development!
Park Residences PH:
Tower C+D+E
6333 - 6399 Mah Bing Street
Richmond, BC

Context Plan
Floor 10

JOB NO.	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
DESIGNED	WTL

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DP 18-837117
PLAN # 38



JUL 07 2020

A 5.07

Floor Level 10
T.O. Slab - EI 91.67' (93.61m above ground plane)

REVISIONS

1	08/14/18	Issued for City Review
2	08/29/18	Revised per Staff Comments
3	10/21/18	Revised per Staff Comments (2)
4	07/09/20	Revised per Staff Comments
5	07/09/20	Issued to DP Panel

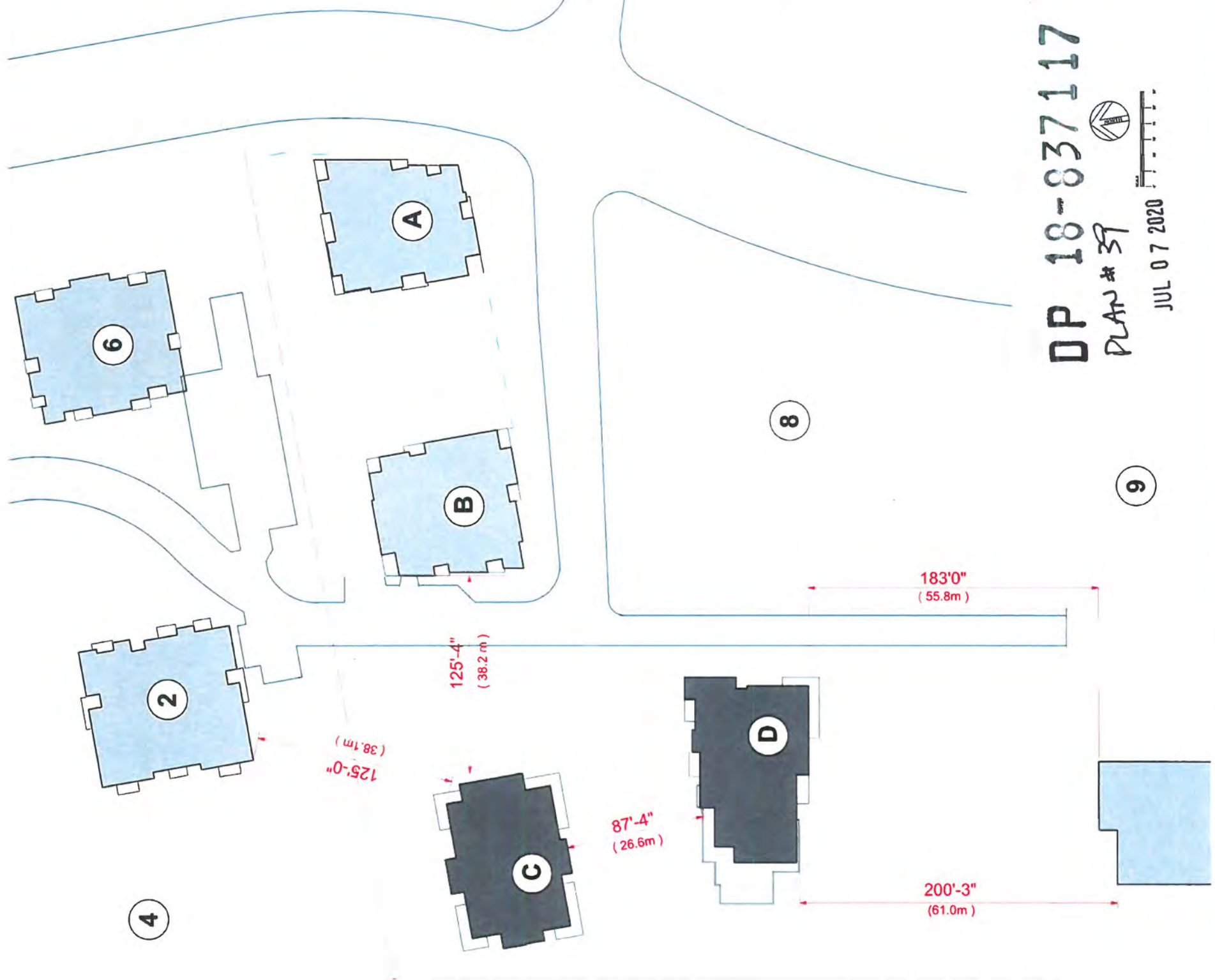
PROJECT
**Resid'l Development
Park Residences PH;
Tower C+D+E**
6333 - 6339 Mah Bing Street
Richmond, BC

**Context Plan
Floor 12**

JOB NO.	02-03
DESIGN	DMWK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
DESIGNED BY	WTL

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A 5.08



DP 18-837117
PLAN # 39
JUL 07 2020

#	NAME	FL PLATE
---	------	----------

ADJACENT PROPERTIES *

1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	0 000 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

* adjacent floorplate sizes approximate based on available information

SUBJECT SITE

A	7399 Murdoch	6 660 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	6 668 sf
D	6355 Mah Bing	7 176 sf
E	6399 Mah Bing	0 000 sf

Floor Level **12**

T.O. Slab - EI **109.83'** (33.4m above ground level)

REVISION

1. 01/14/18 Revised for City Review
2. 09/01/18 Re-issued per 2018 Comments
3. 02/11/19 Re-issued per 2018 Comments (1)
4. 02/05/19 Re-issued per 2018 Comments
5. 03/05/19 Revised for DP Panel

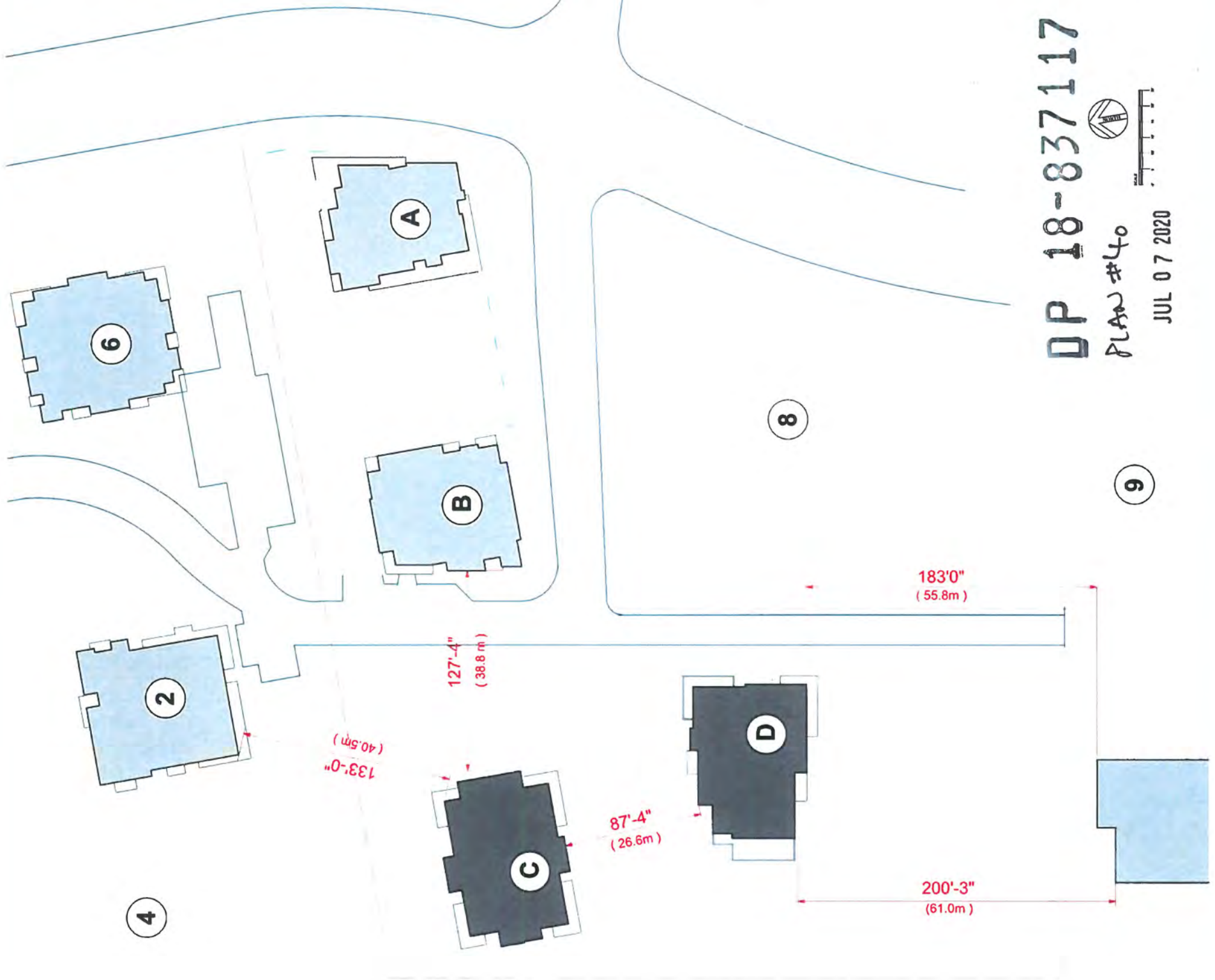
PROJECT
Resid'1 Development
Park Residences PH
Tower C+D+E
6333 - 6399 Mah Bing Street
Richmond, BC

Context Plan
Floor 14

JOB NO.	02-03
DRAWN	DMYK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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A 5.09



DP 18-837117

Plan #40

JUL 07 2020

#	NAME	FL PLATE
---	------	----------

*** ADJACENT PROPERTIES ***

1	Carrera Tower	8 275 sf
2	Carrera Tower	8 275 sf
3	Carrera Mid-Rise	0 000 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 600 sf
6	Kiwanis Tower	7 600 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

* adjacent footprint sizes approximate based on available information

SUBJECT SITE

A	7399 Murdoch	5 540 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	6 668 sf
D	6355 Mah Bing	6 294 sf
E	6399 Mah Bing	0 000 sf

Floor Level 14
T.O. Slab - EI 128.50 (21.55m above ground slab)



Existing Development

no.	date	item
1	Sept 18-18	Issued for DP
2	Nov 15-18	Issued for DP Re-submission
3	Mar 20-19	Issued for DP Re-submission
4	Sep 04-19	Issued for DP Re-submission
5	Oct 21-19	Issued for Staff Comments(2)
6	Nov 04-19	Issued for Staff Comments(3)
7	Dec 05-19	Issued for Staff Comments(4)
8	May 12-20	Issued for Staff Comments(5)
9	June 15-20	Revision for Staff Report
10	June 24-20	Revision for Staff Report(2)
11	July 08-20	Revision for Staff Report(3)
12	July 09-20	Issued for DP Panel

Revisions:

durantekreuk
 Duranta Kreuk Ltd
 102-1037 West 5th Avenue Vancouver
 BC V6J 1N5
 T: 604 684 4811
 F: 604 684 6877
 www.dkl.bc.ca

Project:
**Resid'1 Developement
 Park Residences PH2
 Tower C + D + E
 4333-6399 Mah Bing Street
 Richmond, B.C.**

Drawn by: RDC
 Checked by: JD
 Date: June 28th 2018
 Scale: 1/8" = 1' 0"

Drawing Title:
**Landscape Plan
 Ground Level
 Building C
 PLAN #42**

Project No.: 1702JUL 07 2020
 Sheet No.: -83711217



Proposed path connections with Minor Park are to be co-ordinated with the Minor Park team and will be reviewed during the IA process.

Impact to trees within Minor Park due to specifying upgrade requirements are currently being reviewed by and discussed with the City

Low planting in boulevard

DP

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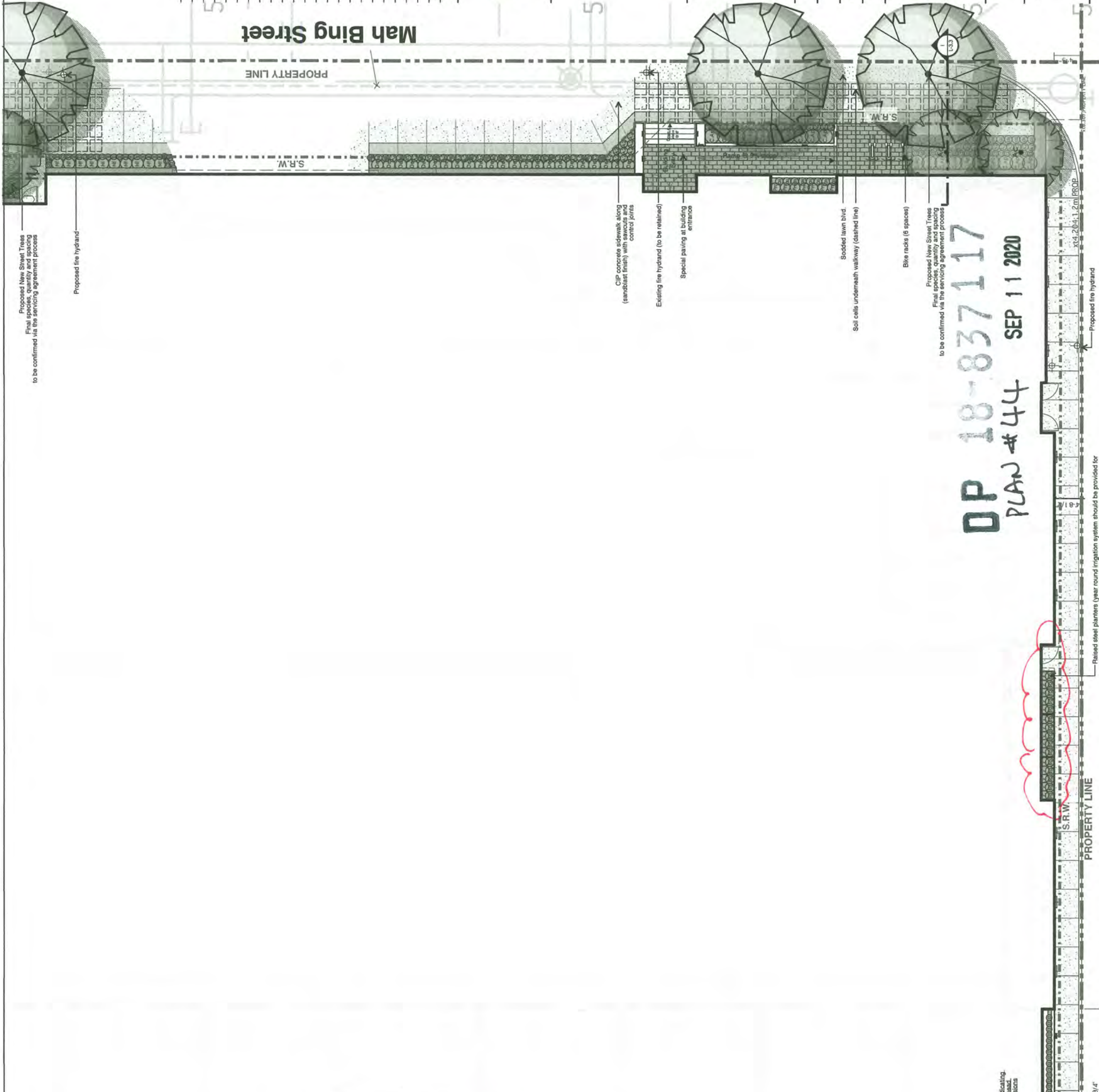
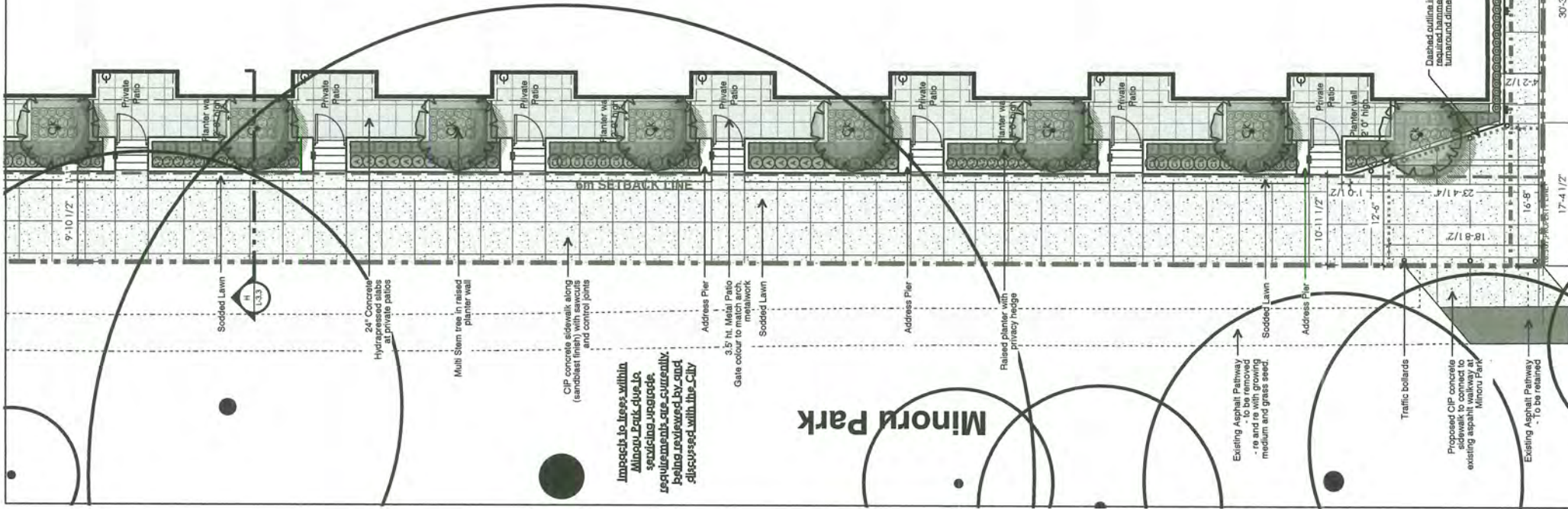
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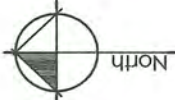
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550



DP 18-837117

PLAN # 44 SEP 11 2020



no.	date:	item:
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 04-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for Staff Comments(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar 20-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP Re-submission
1	Sept 18-18	Issued for DP

Revisions:

pk Durant Kreuk Ltd.
102 - 1837 West 5th Avenue Vancouver
BC V6J 1N5
t: 604 864 4811
f: 604 864 0577
www.dk.bc.ca

Project:
**Resid'l Development
Park Residences PH2
Tower C + D + E
6333-6399 Mah Bing Street
Richmond, B.C.**

Drawn by: ROC
Checked by: JD
Date: June 28th 2018
Scale: 1/8" = 1'-0"
Drawing Title:

**Landscape Plan
Ground Level
Building D & E**

Project No.: 17020
Sheet No.: L-1.4



NO.	DATE	REVISIONS:
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 26-20	Revision for Staff Report(2)
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 04-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for DP Re-submission
4	Sep 04-19	Issued for DP Re-submission
3	Mar20-19	Issued for DP Re-submission
2	Nov15-18	Issued for DP Re-submission
1	Sept18-18	Issued for DP
NO.	DATE:	Item:

Durantekreuk
 Duranta Kneel Ltd
 102 - 1187 West 5th Avenue Vancouver
 BC V6J 1N5
 T 604 684 4811
 F 604 684 0577
 www.dkl.bc.ca

Project:
 Resid'l Development
 Park Residences PH2
 Tower C + D + E
 6333-6399 Mah Bing Street
 Richmond, B.C.

Drawn by: ROC
Checked by: JD
Date: June 28th 2018
Scale: 1/8" = 1' 0"
Drawing Title:

**Landscape Plan
 Level 4
 Building C**

Project No.: 17020

Sheet No.: L-1.5



PLAN # 45
 JUL 07 2020
 DP 18-837117



no.	date	item
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comment(5)
7	Dec 05-19	Issued for Staff Comment(4)
6	Nov 04-19	Issued for Staff Comment(3)
5	Oct 21-19	Issued for Staff Comment(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar 20-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP Re-submission
1	Sept 18-18	Issued for DP

Revisions:

durantekreuk
 Durantekreuk Ltd
 102 - 1027 West 50th Avenue Vancouver
 BC V6J 1H5
 1 604 684 4811
 1 604 684 0577
 www.dk.bc.ca

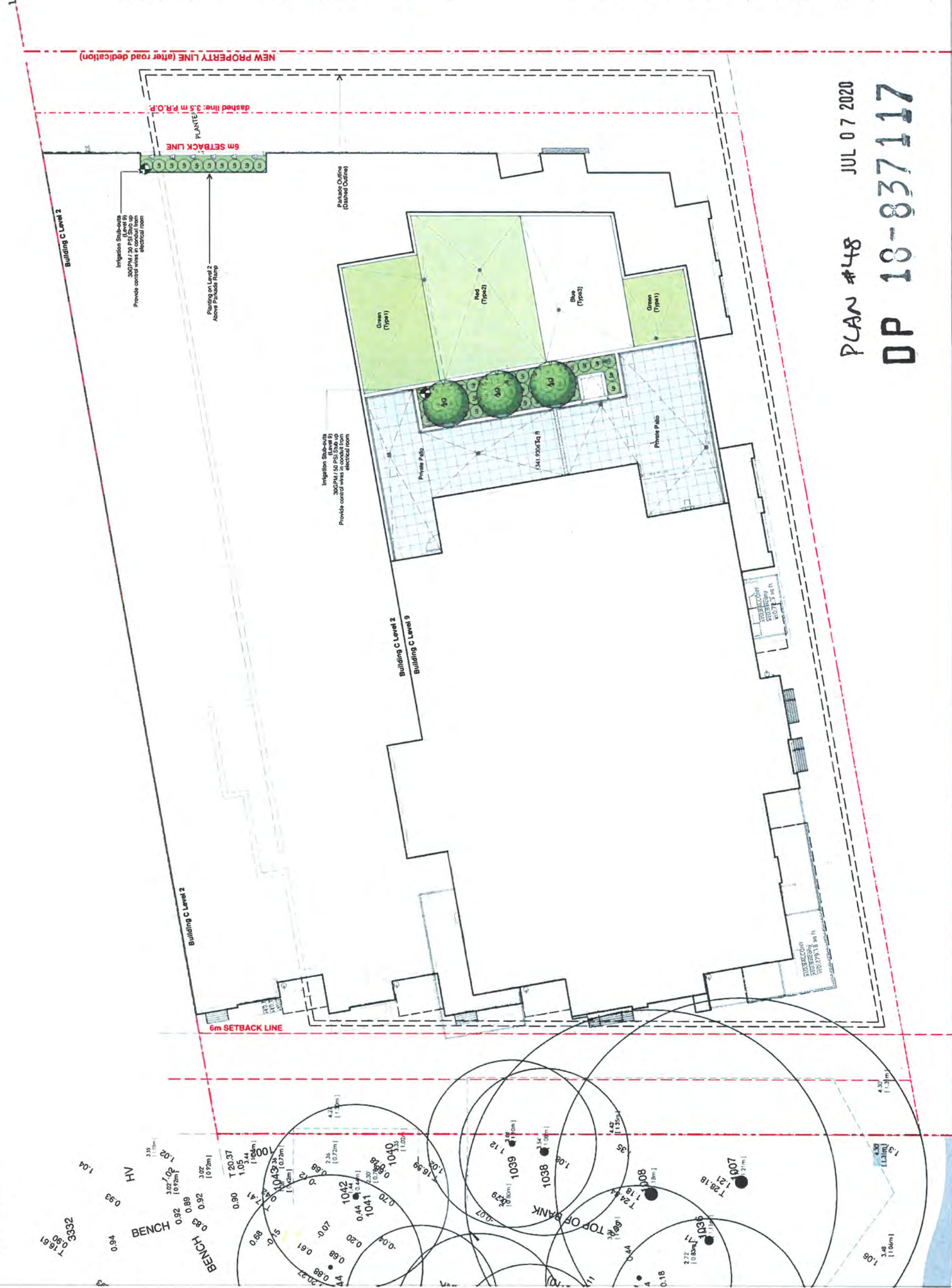
Project:
**Resid'1 Development
 Park Residences PH2
 Tower C + D + E
 6333-6399 Mah Bing Street
 Richmond, B.C.**

Drawn by: ROC
 Checked by: JD
 Date: June 28th 2018
 Scale: 1/8" = 1' 0"

Drawing Title:
**Landscape Plan
 Level 2 & Level 9
 Building C**

Project No.: 17020

Sheet No.: L-1.8



PLAN #48 JUL 07 2020
 DP 18-837117



no.	date:	item:
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comment(5)
7	Dec 05-19	Issued for Staff Comment(4)
6	Nov 04-19	Issued for Staff Comment(3)
5	Oct 21-19	Issued for Staff Comment(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar 20-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP Re-submission
1	Sept 18-18	Issued for DP



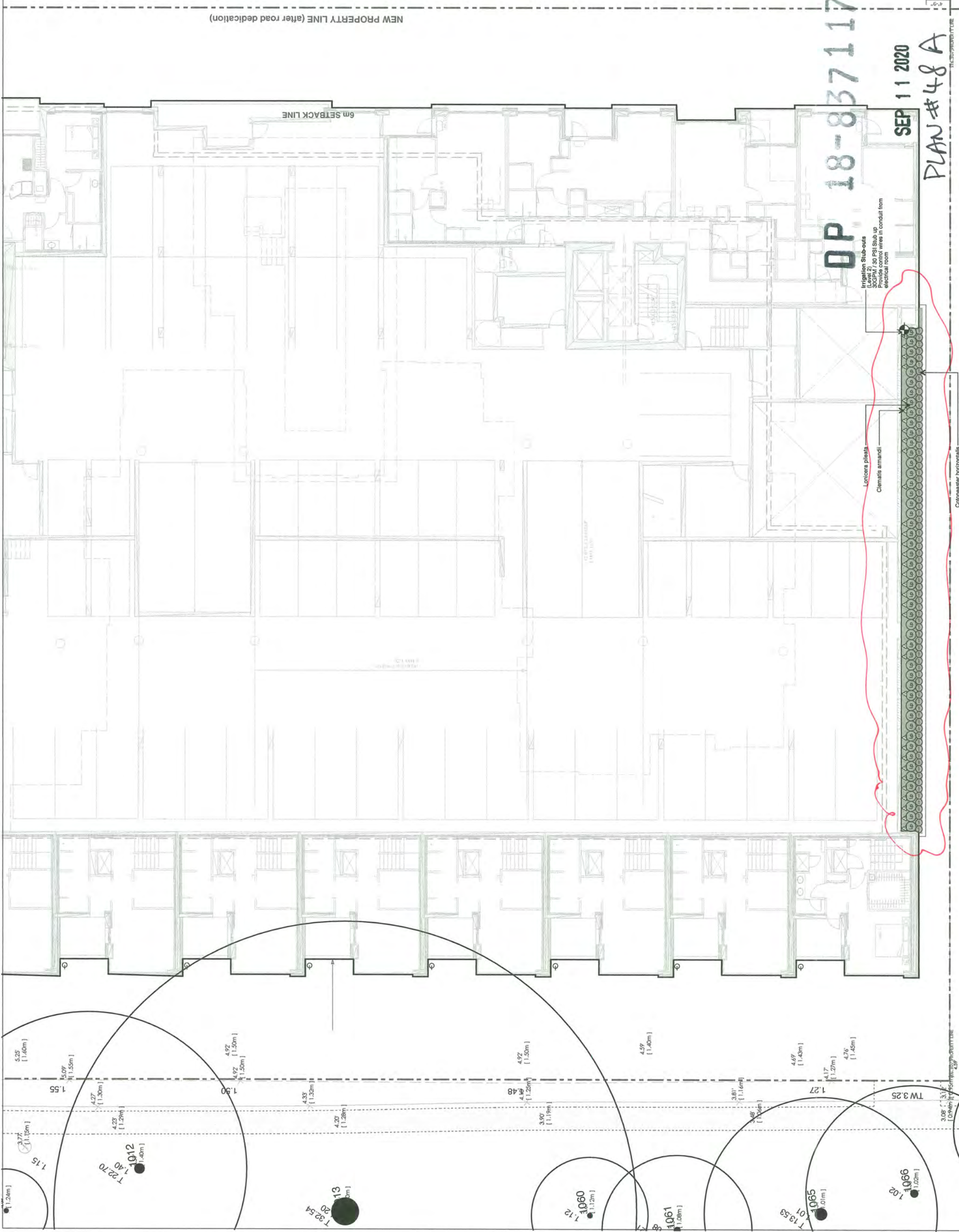
Project:
Resid'I Development
Park Residences PH2
Tower C + D + E
6333-6399 Mah Bing Street
Richmond, B.C.

Drawn by: ROC
 Checked by: JD
 Date: June 28th 2018
 Scale: 1/8" = 1'-0"
 Drawing Title:

Landscape Plan
Level 2
Building E

Project No: 17020

Sheet No.:



SEP 11 2020
 PLAN # 48 A

DP 18-837117

TEL: 604 684 4611

COINTEGRATOR

PROPERTY LINE

PROPERTY LINE



no.	date	item
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(1)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 04-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for Staff Comments(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar 20-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP Re-submission
1	Sept 18-18	Issued for DP

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 102 - 1827 West 5th Avenue Vancouver
 BC V6J 1N5

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 1 604 684 0577
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Project:
**Resid'l Development
 Park Residences PH2
 Tower C + D + E**
 6333-6399 Mah Bing Street
 Richmond, B.C.

Drawn by: RJC

Checked by: JD

Date: June 28th 2018

Scale: 1/8" = 1' 0"

Drawing Title:

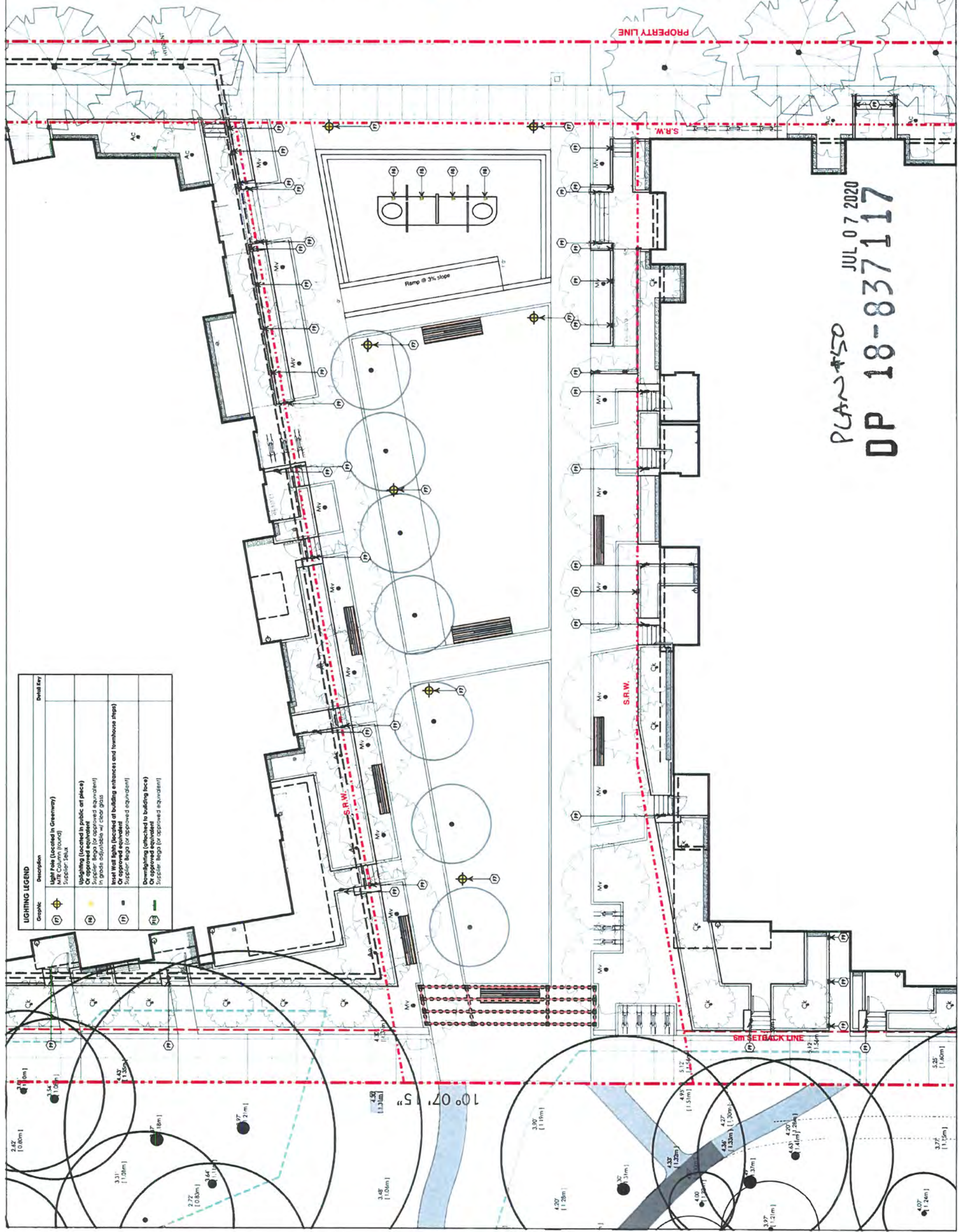
**Landscape Lighting Plan
 Ground Level
 Building C & D**

Project No.: 17020

Sheet No.: L-1.10

PLAN #50
 JUL 07 2020
 DP 18-837117

Graphic	Description	Detail Key
	Light Pole (Located in Greenway) Or approved equivalent Supplier: Regal (for approved equivalent) In green adjacent to clear glass	
	Up-lighting (located in public art piece) Or approved equivalent Supplier: Regal (for approved equivalent) In green adjacent to clear glass	
	Inset Wall Light (located at building entrances and townhouse steps) Or approved equivalent Supplier: Regal (for approved equivalent)	
	Downlighting (attached to building face) Or approved equivalent Supplier: Regal (for approved equivalent)	





NO.	DATE	DESCRIPTION
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 04-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for Staff Comments(2)
4	3ep 04-19	Issued for DP Re-submission
3	Mar 20-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP Re-submission
1	Sept 18-18	Issued for DP
NO.	DATE	Item

Revisions:

durantekreuk
 Duranta Kreuk Ltd
 105 - 1837 West 5th Avenue Vancouver
 BC V6J 1J5
 T: 604 684 4811
 F: 604 684 0577
 www.dk.bc.ca

Project:
**Resid'l Development
 Park Residences PH2
 Tower C + D + E
 6333-6399 Mah Bing Street
 Richmond, B.C.**

Drawn by: ROC

Checked by: JB

Date: June 29th 2018

Scale: 1/8" = 1' 0"

Drawing file:

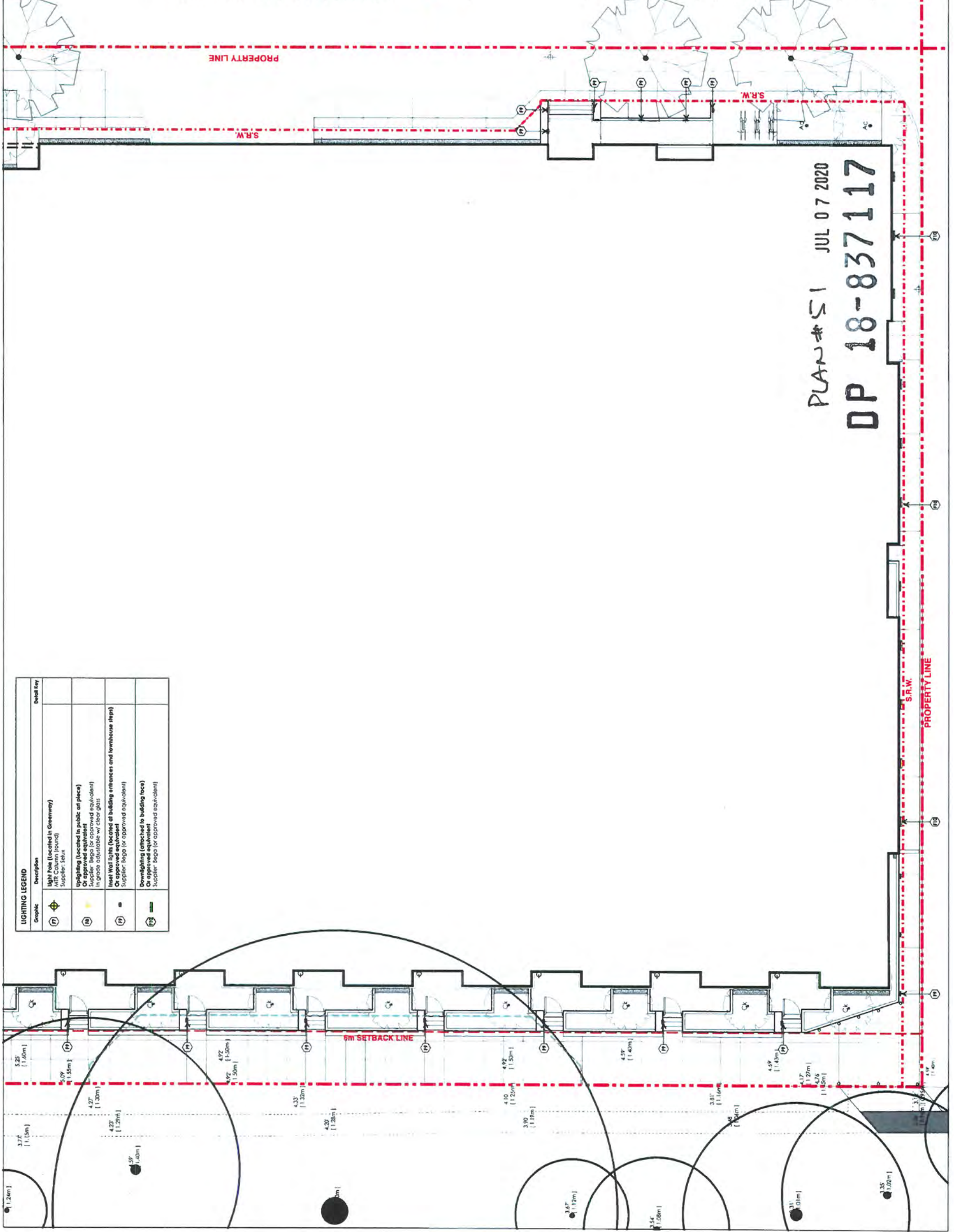
**Landscape Lighting Plan
 Ground Level
 Building D & E**

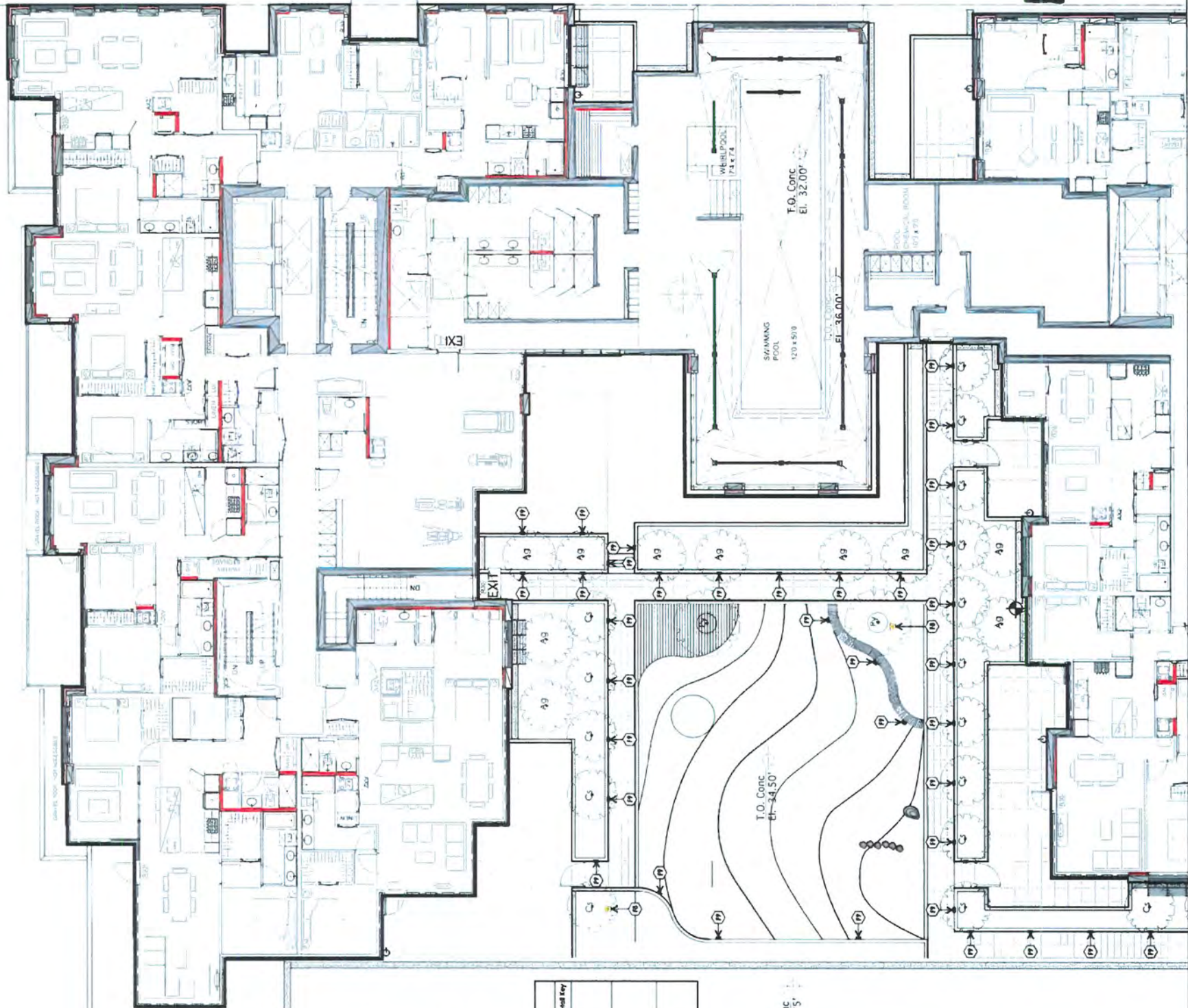
Project No.: 17020

Sheet No.: L-1.11

PLAN # S1 JUL 07 2020
DP 18-837117

Graphic	Description	Detail Key
(P)	Light Pole (located in Greenway) with Column (round) Support: Post	
(R)	Up-lighting (located in public art piece) Or approved equivalent Support: Sign (or approved equivalent) In glass adjustable w/ color glass	
(H)	Inset Wall Light (located at building entrances and townhouse steps) Or approved equivalent Support: Sign (or approved equivalent)	
(M)	Downlighting (attached to building face) Or approved equivalent Support: Sign (or approved equivalent)	





Graphic	Description	Detail Key
(P)	Light Pole (located in Greenway) Supplier: Bega (round) Supplier: Bega	
(M)	Up-lighting (located in public art piece) Or approved equivalent Supplier: Bega (or approved equivalent) In grade adjustable w/ clear glass	
(H)	Inset wall lights (located at building entrances and townhouse steps) Or approved equivalent Supplier: Bega (or approved equivalent)	

T.O. Guardrail
El. 30.50'

T.O. Conc
El. 33.75'

T.O. Conc
El. 38.0'

NEW PROPERTY LINE (after road dedication)

no.	date	item
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(1)
10	June 24-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(1)
7	Dec 05-19	Issued for Staff Comments(1)
6	Nov 04-19	Issued for Staff Comments(2)
5	Oct 21-19	Issued for DP Re-submission
4	Sep 04-19	Issued for DP Re-submission
3	Mar 20-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP Re-submission
1	Sep 18-18	Issued for DP

Revisions:

Durante Kreuk Ltd
102 - 1027 West 5th Avenue Vancouver
BC V6J 1N6
1 804 684 4811
1 804 684 0577
www.dk.ca

Project:
**Resid' Development
Park Residences PH2
Tower C + D + E
6333-6399 Mah Bing Street
Richmond, B.C.**

Drawn by: ROC
Checked by: JD
Date: June 28th 2018
Scale: 1/8" = 1' 0"
Drawing Title:
**Landscape Lighting Plan
Level 4
Buildings D+E**

Project No.: 17020
Sheet No.: L-1.13

DP 18-837117
PLAN #53
JUL 07 2020



No.	date:	item:
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 25-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 04-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for Staff Comments(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar 20-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP Re-submission
1	Sep 18-18	Issued for DP

Revisions:

durante kreuk
 1 604 664 4611
 604 664 4637
 www.durantekreuk.com

Project:
**Resid'li Development
 Park Residences PH2
 Tower C + D + E
 6333-6399 Mah Bing Street
 Richmond, B.C.**

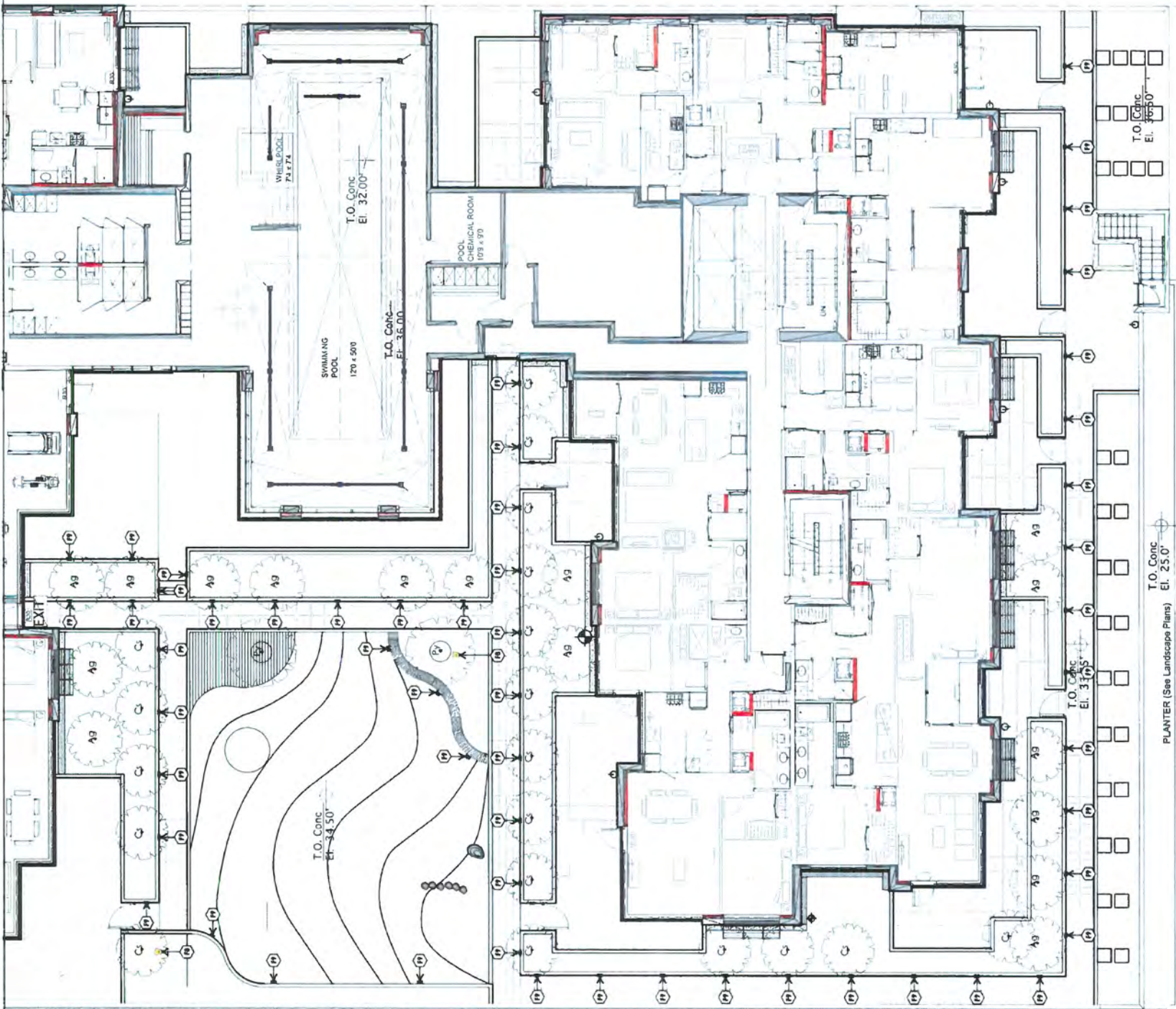
Drawn by: ROC
 Checked by: JO
 Date: June 28th 2018
 Scale: 1/8" = 1'-0"
 Drawing Title:
**Landscape Lighting Plan
 Level 4
 Buildings D&E**

Project No.: 17020
 Sheet No.: L-1.14

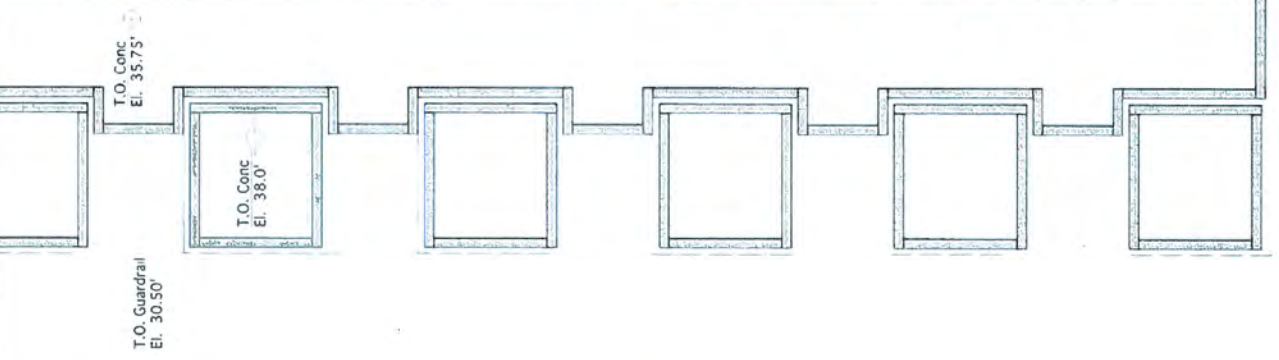
NEW PROPERTY LINE (after road dedication)

JUL 07 2020

DP 18-837117
PLAN #54



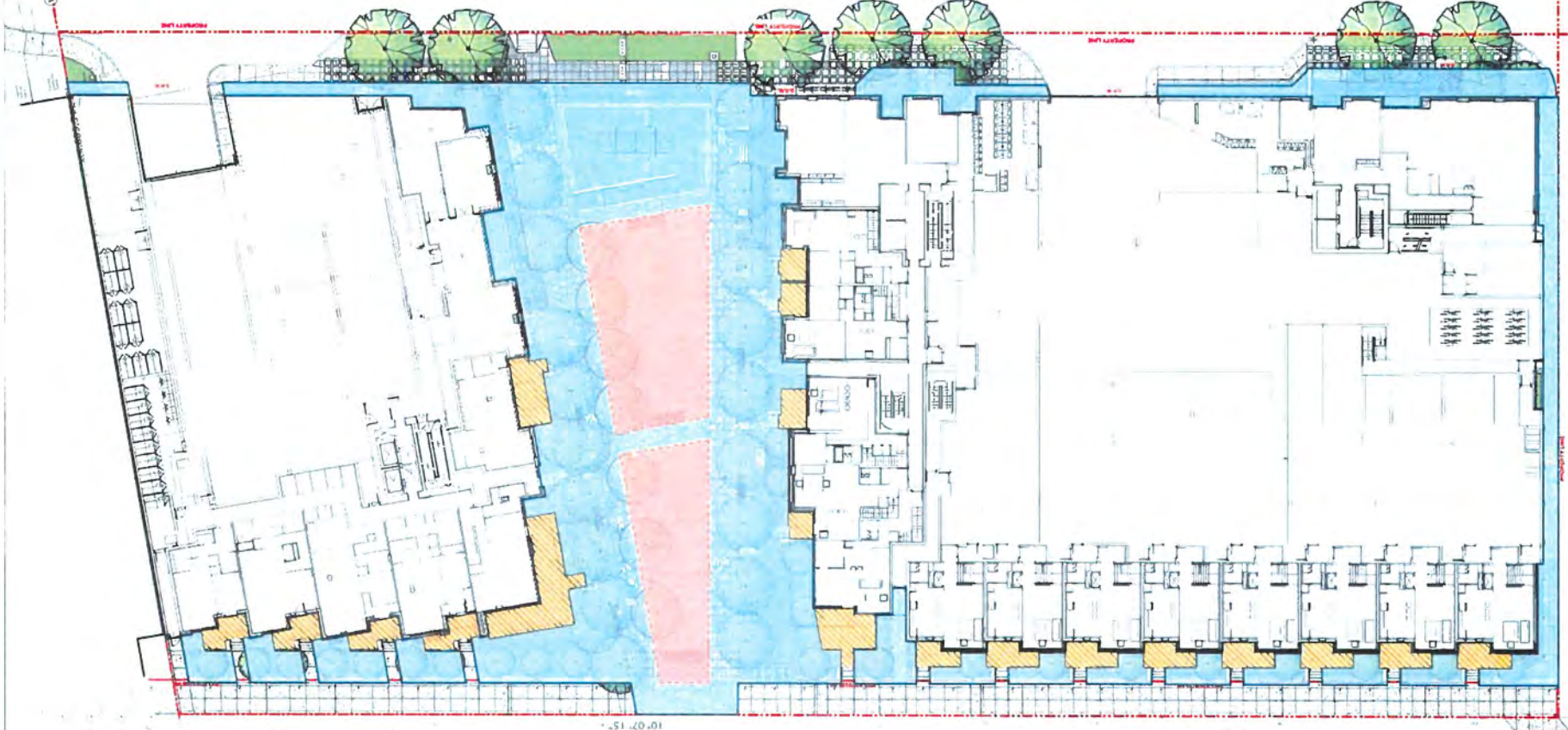
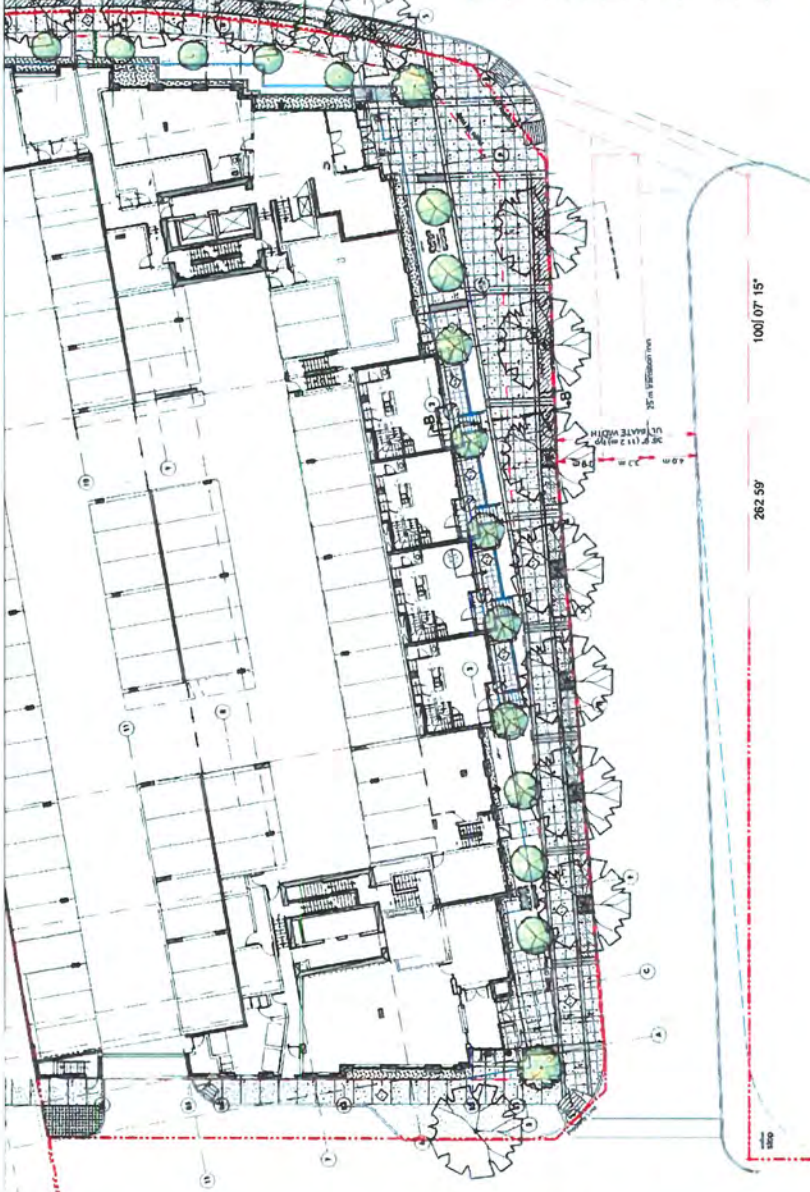
LIGHTING LEGEND	
Graphic	Description
(Symbol)	Light Pole (located in Greenway) w/ft Column (round) Supplier: S&S
(Symbol)	Up-lighting (located in public art piece) Or approved equivalent in grade adjustable w/ clear glass Supplier: S&S
(Symbol)	Recessed lights (located at building entrances and townhouse steps) Supplier: S&S (for approved equivalent)



235.00'

PLANTER (See Landscape Plans) El. 25.00'

PROPERTY LINE



Revision	no	date	item
12	July 07 20	Issued for DP Permit	
11	July 06 20	Revision for Staff Report(2)	
10	June 26-20	Revision for Staff Report(2)	
9	June 15-20	Revision for Staff Report	
8	May 12 20	Issued for Staff Comments(5)	
7	May 12 20	Issued for Staff Comments(5)	
6	Dec 05 19	Issued for Staff Comments(4)	
5	Nov 04 19	Issued for Staff Comments(2)	
4	Oct 21 19	Issued for Staff Comments(2)	
3	May 20 19	Issued for DP Re-Submission	
2	Nov 15 18	Issued for DP Re-Submission	
1	Sept 18 18	Issued for DP	



Project
Resid'1 Development
Park Residences PH2
Tower C + D + E
6333-6399 Mah Bing Street
Richmond, B.C.

Drawn by:	RD-C
Checked by:	0
Date:	June 26th 2018
Scale:	N/S
Drawing Size:	

Landscape CCAP Amenity
Calculations
Ground Level

17020
837117

Sheet No.:

L-1.15

LEGEND

Graphic	Description
	Common Outdoor Open Space
	Private Outdoor Open Space
	Children's Play Space
	Inaccessible Green Roof
	Property Line

JUL 07 2020
DP 18-837117
PLAN #55

Landscape Outdoor Amenity Calculation Detail See L1.17 Plan



no.	date	revision
12	July 09-20	Issued for DP Final
11	July 08-20	Revision for Staff Report(1)
10	June 29-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comment(1)
7	Dec 05-19	Issued for Staff Comment(1)
6	Nov 04-19	Issued for Staff Comment(1)
5	Oct 21-19	Issued for Staff Comment(1)
4	Sep 04-19	Issued for DP Reg. Submission
3	Mar 20-19	Issued for DP Reg. Submission
2	Nov 15-18	Issued for DP Reg. Submission
1	Sept 18-18	Issued for DP Reg.



Project
**Resid'l Development
 Park Residences PH2
 Tower C + D + E
 6333-6399 Mah Bing Street
 Richmond, B.C.**

Drawn by: ROC

Checked by: JB

Date: June 29, 2020

Scale: NTS

Drawing File:

**Landscape CCAF Amenity
 Calculations
 Level 4**

837117

17020

Sheet No.

L-1.17

SUMMARY OF OUTDOOR SPACE REQUIREMENTS

# OF UNIT IN PROPOSED DEVELOPMENT	229 (Tower C 72, Tower D+E 157)
MINIMUM OCP OPEN SPACE REQUIREMENT (6m ² / per unit)	1,398m ²
MINIMUM CCAF OPEN SPACE REQUIREMENT (10% of net site Area)	871.8m ²
TOTAL OUTDOOR OPEN SPACE REQUIRED	2269.8 m²
Public Outdoor Space Provided (L1)	2053.4 m ²
Private Outdoor Space Provided (L4)	1001.3 m ²
Total Outdoor Space Provided	3,054.3 m²

COMMON CHILDREN'S PLAY SPACE AREAS

'Public' Ground Level	379.9 m ²
'Private' North Tower(C) Level 4	100.2 m ²
'Private' South Towers(D&E) Level 4	217.4 m ²
Total	697.5 m²
# of Unit in Proposed Development (Tower C, D & E)	229
MINIMUM CHILDREN'S PLAY SPACE REQUIRED (3 sq. ft. per Unit (1/3 of OCP Requirement))	687 m ²
TOTAL CHILDREN'S PLAY SPACE PROVIDED	697.5 m²

Total Inaccessible Green Roof Area

South Towers(D&E) Level 4	388.3 m ²
North Tower(C) Level 9	154.6 m ²
Total	542.9 m²

TOTAL INACCESSIBLE GREEN ROOF AREA PROVIDED 542.9 m²

LEGEND

Graphic Description



Common Outdoor Open Space



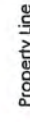
Private Outdoor Open Space



Children's Play Space

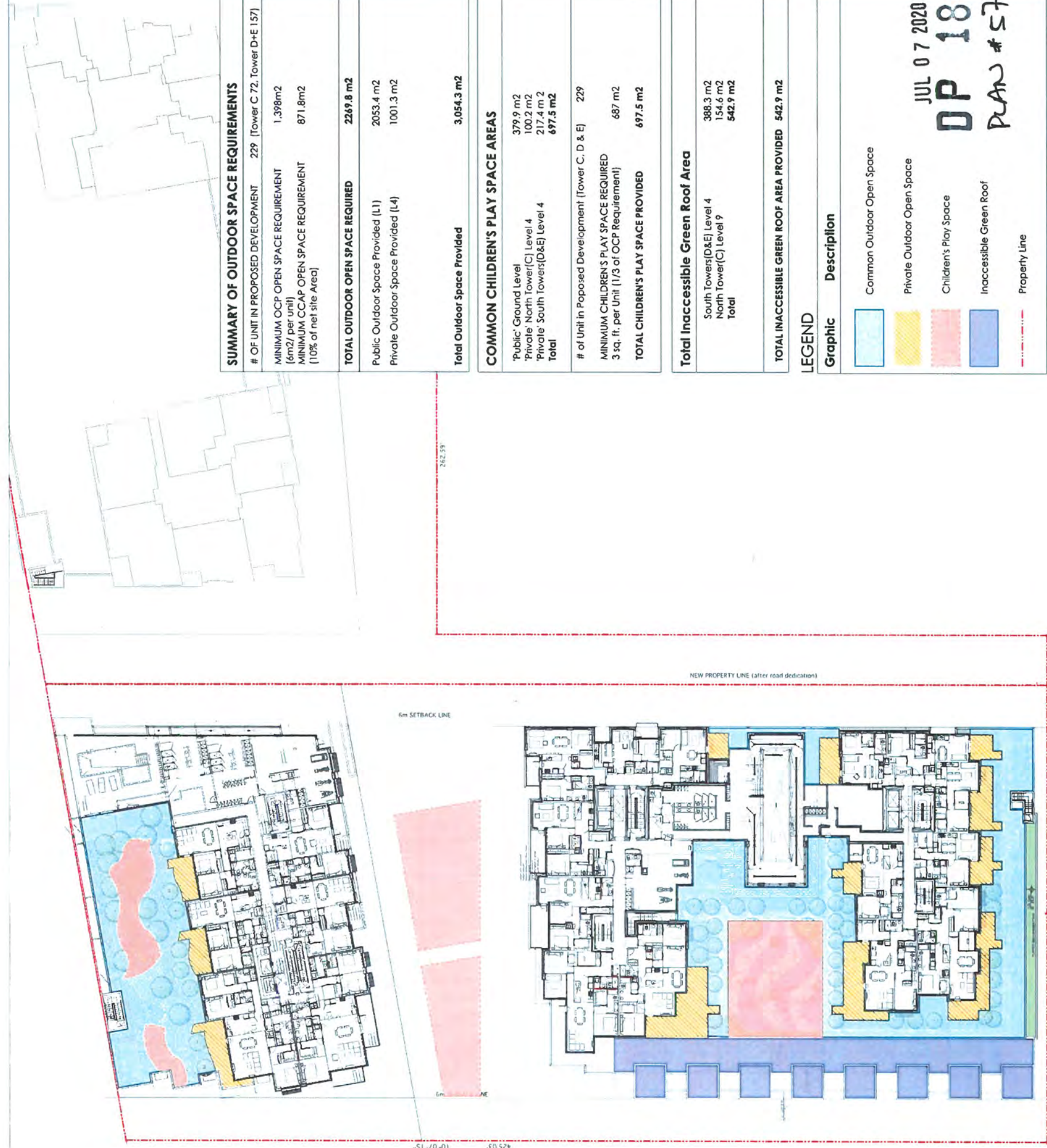


Inaccessible Green Roof



Property Line

JUL 07 2020
DP 18
 PLAN # 57



6m SETBACK LINE

NEW PROPERTY LINE (after road dedication)

10'-07"-15"

2'-13'-00"

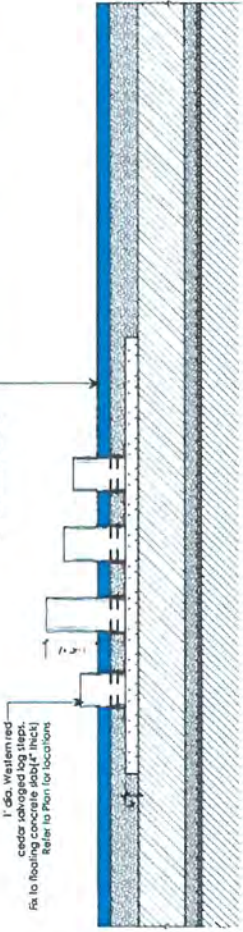
26'-2'-59"

General Notes:

1. Refer to Architectural Drawings for all structural and finishing components for all cast-in-place concrete work.
2. Please provide stamped Engineer Shop Drawings for all components for wood connections.
3. All lumber to be Western Red Cedar #1 grade lumber, 4x4, 4x6, 4x8, 4x10, 4x12, 4x14, 4x16, 4x18, 4x20, 4x22, 4x24, 4x26, 4x28, 4x30, 4x32, 4x34, 4x36, 4x38, 4x40, 4x42, 4x44, 4x46, 4x48, 4x50, 4x52, 4x54, 4x56, 4x58, 4x60, 4x62, 4x64, 4x66, 4x68, 4x70, 4x72, 4x74, 4x76, 4x78, 4x80, 4x82, 4x84, 4x86, 4x88, 4x90, 4x92, 4x94, 4x96, 4x98, 4x100, 4x102, 4x104, 4x106, 4x108, 4x110, 4x112, 4x114, 4x116, 4x118, 4x120, 4x122, 4x124, 4x126, 4x128, 4x130, 4x132, 4x134, 4x136, 4x138, 4x140, 4x142, 4x144, 4x146, 4x148, 4x150, 4x152, 4x154, 4x156, 4x158, 4x160, 4x162, 4x164, 4x166, 4x168, 4x170, 4x172, 4x174, 4x176, 4x178, 4x180, 4x182, 4x184, 4x186, 4x188, 4x190, 4x192, 4x194, 4x196, 4x198, 4x200, 4x202, 4x204, 4x206, 4x208, 4x210, 4x212, 4x214, 4x216, 4x218, 4x220, 4x222, 4x224, 4x226, 4x228, 4x230, 4x232, 4x234, 4x236, 4x238, 4x240, 4x242, 4x244, 4x246, 4x248, 4x250, 4x252, 4x254, 4x256, 4x258, 4x260, 4x262, 4x264, 4x266, 4x268, 4x270, 4x272, 4x274, 4x276, 4x278, 4x280, 4x282, 4x284, 4x286, 4x288, 4x290, 4x292, 4x294, 4x296, 4x298, 4x300, 4x302, 4x304, 4x306, 4x308, 4x310, 4x312, 4x314, 4x316, 4x318, 4x320, 4x322, 4x324, 4x326, 4x328, 4x330, 4x332, 4x334, 4x336, 4x338, 4x340, 4x342, 4x344, 4x346, 4x348, 4x350, 4x352, 4x354, 4x356, 4x358, 4x360, 4x362, 4x364, 4x366, 4x368, 4x370, 4x372, 4x374, 4x376, 4x378, 4x380, 4x382, 4x384, 4x386, 4x388, 4x390, 4x392, 4x394, 4x396, 4x398, 4x400, 4x402, 4x404, 4x406, 4x408, 4x410, 4x412, 4x414, 4x416, 4x418, 4x420, 4x422, 4x424, 4x426, 4x428, 4x430, 4x432, 4x434, 4x436, 4x438, 4x440, 4x442, 4x444, 4x446, 4x448, 4x450, 4x452, 4x454, 4x456, 4x458, 4x460, 4x462, 4x464, 4x466, 4x468, 4x470, 4x472, 4x474, 4x476, 4x478, 4x480, 4x482, 4x484, 4x486, 4x488, 4x490, 4x492, 4x494, 4x496, 4x498, 4x500, 4x502, 4x504, 4x506, 4x508, 4x510, 4x512, 4x514, 4x516, 4x518, 4x520, 4x522, 4x524, 4x526, 4x528, 4x530, 4x532, 4x534, 4x536, 4x538, 4x540, 4x542, 4x544, 4x546, 4x548, 4x550, 4x552, 4x554, 4x556, 4x558, 4x560, 4x562, 4x564, 4x566, 4x568, 4x570, 4x572, 4x574, 4x576, 4x578, 4x580, 4x582, 4x584, 4x586, 4x588, 4x590, 4x592, 4x594, 4x596, 4x598, 4x600, 4x602, 4x604, 4x606, 4x608, 4x610, 4x612, 4x614, 4x616, 4x618, 4x620, 4x622, 4x624, 4x626, 4x628, 4x630, 4x632, 4x634, 4x636, 4x638, 4x640, 4x642, 4x644, 4x646, 4x648, 4x650, 4x652, 4x654, 4x656, 4x658, 4x660, 4x662, 4x664, 4x666, 4x668, 4x670, 4x672, 4x674, 4x676, 4x678, 4x680, 4x682, 4x684, 4x686, 4x688, 4x690, 4x692, 4x694, 4x696, 4x698, 4x700, 4x702, 4x704, 4x706, 4x708, 4x710, 4x712, 4x714, 4x716, 4x718, 4x720, 4x722, 4x724, 4x726, 4x728, 4x730, 4x732, 4x734, 4x736, 4x738, 4x740, 4x742, 4x744, 4x746, 4x748, 4x750, 4x752, 4x754, 4x756, 4x758, 4x760, 4x762, 4x764, 4x766, 4x768, 4x770, 4x772, 4x774, 4x776, 4x778, 4x780, 4x782, 4x784, 4x786, 4x788, 4x790, 4x792, 4x794, 4x796, 4x798, 4x800, 4x802, 4x804, 4x806, 4x808, 4x810, 4x812, 4x814, 4x816, 4x818, 4x820, 4x822, 4x824, 4x826, 4x828, 4x830, 4x832, 4x834, 4x836, 4x838, 4x840, 4x842, 4x844, 4x846, 4x848, 4x850, 4x852, 4x854, 4x856, 4x858, 4x860, 4x862, 4x864, 4x866, 4x868, 4x870, 4x872, 4x874, 4x876, 4x878, 4x880, 4x882, 4x884, 4x886, 4x888, 4x890, 4x892, 4x894, 4x896, 4x898, 4x900, 4x902, 4x904, 4x906, 4x908, 4x910, 4x912, 4x914, 4x916, 4x918, 4x920, 4x922, 4x924, 4x926, 4x928, 4x930, 4x932, 4x934, 4x936, 4x938, 4x940, 4x942, 4x944, 4x946, 4x948, 4x950, 4x952, 4x954, 4x956, 4x958, 4x960, 4x962, 4x964, 4x966, 4x968, 4x970, 4x972, 4x974, 4x976, 4x978, 4x980, 4x982, 4x984, 4x986, 4x988, 4x990, 4x992, 4x994, 4x996, 4x998, 4x1000.
4. Salvaged timber log, smooth sanded and inspected by contractor for any sharp edges, or abnormalities. Do not stain.

Powered in Base Rubber Safety Matting by Marathon Surfaces. Installed to manufacturer specifications on a min. 4" of free draining compacted base to 95-98 MFD (to manufacturer specifications for free draining matting on rubber cloth on architectural build up.

4" dia. Western red cedar vertical posts fit to top of concrete slab (4" thick). Refer to Plan for locations.



Id-01
1:1.9
Timber steps and Play Table and seat - Level 4 Courtyard
Scale: 1/2" = 1'-0"

General Notes:

1. Provide stamped Engineer Shop Drawings for all specified metal/wood connections per manufacturer for review by Landscape Architect.

Children's Play Equipment and Structural General Notes:

1. Provide stamped Engineer Shop Drawings for all specified metal/wood connections prior to manufacturing.
2. All natural non-toxic oil wood finish, such as Bona PRO-TEC-1000, color natural, to be used only.
3. All wood to be Western Red Cedar #1 grade lumber.
4. All work to be done in accordance with the CSA Code for Children's Playsets and Equipment.
5. Provide Shop Drawings for review by Landscape Architect.
6. Prior to construction ensure that CSA and CGV Licensing (if zones are met).
7. All lumber to be Western Red Cedar #1 grade lumber, 4x4, 4x6, 4x8, 4x10, 4x12, 4x14, 4x16, 4x18, 4x20, 4x22, 4x24, 4x26, 4x28, 4x30, 4x32, 4x34, 4x36, 4x38, 4x40, 4x42, 4x44, 4x46, 4x48, 4x50, 4x52, 4x54, 4x56, 4x58, 4x60, 4x62, 4x64, 4x66, 4x68, 4x70, 4x72, 4x74, 4x76, 4x78, 4x80, 4x82, 4x84, 4x86, 4x88, 4x90, 4x92, 4x94, 4x96, 4x98, 4x100, 4x102, 4x104, 4x106, 4x108, 4x110, 4x112, 4x114, 4x116, 4x118, 4x120, 4x122, 4x124, 4x126, 4x128, 4x130, 4x132, 4x134, 4x136, 4x138, 4x140, 4x142, 4x144, 4x146, 4x148, 4x150, 4x152, 4x154, 4x156, 4x158, 4x160, 4x162, 4x164, 4x166, 4x168, 4x170, 4x172, 4x174, 4x176, 4x178, 4x180, 4x182, 4x184, 4x186, 4x188, 4x190, 4x192, 4x194, 4x196, 4x198, 4x200, 4x202, 4x204, 4x206, 4x208, 4x210, 4x212, 4x214, 4x216, 4x218, 4x220, 4x222, 4x224, 4x226, 4x228, 4x230, 4x232, 4x234, 4x236, 4x238, 4x240, 4x242, 4x244, 4x246, 4x248, 4x250, 4x252, 4x254, 4x256, 4x258, 4x260, 4x262, 4x264, 4x266, 4x268, 4x270, 4x272, 4x274, 4x276, 4x278, 4x280, 4x282, 4x284, 4x286, 4x288, 4x290, 4x292, 4x294, 4x296, 4x298, 4x300, 4x302, 4x304, 4x306, 4x308, 4x310, 4x312, 4x314, 4x316, 4x318, 4x320, 4x322, 4x324, 4x326, 4x328, 4x330, 4x332, 4x334, 4x336, 4x338, 4x340, 4x342, 4x344, 4x346, 4x348, 4x350, 4x352, 4x354, 4x356, 4x358, 4x360, 4x362, 4x364, 4x366, 4x368, 4x370, 4x372, 4x374, 4x376, 4x378, 4x380, 4x382, 4x384, 4x386, 4x388, 4x390, 4x392, 4x394, 4x396, 4x398, 4x400, 4x402, 4x404, 4x406, 4x408, 4x410, 4x412, 4x414, 4x416, 4x418, 4x420, 4x422, 4x424, 4x426, 4x428, 4x430, 4x432, 4x434, 4x436, 4x438, 4x440, 4x442, 4x444, 4x446, 4x448, 4x450, 4x452, 4x454, 4x456, 4x458, 4x460, 4x462, 4x464, 4x466, 4x468, 4x470, 4x472, 4x474, 4x476, 4x478, 4x480, 4x482, 4x484, 4x486, 4x488, 4x490, 4x492, 4x494, 4x496, 4x498, 4x500, 4x502, 4x504, 4x506, 4x508, 4x510, 4x512, 4x514, 4x516, 4x518, 4x520, 4x522, 4x524, 4x526, 4x528, 4x530, 4x532, 4x534, 4x536, 4x538, 4x540, 4x542, 4x544, 4x546, 4x548, 4x550, 4x552, 4x554, 4x556, 4x558, 4x560, 4x562, 4x564, 4x566, 4x568, 4x570, 4x572, 4x574, 4x576, 4x578, 4x580, 4x582, 4x584, 4x586, 4x588, 4x590, 4x592, 4x594, 4x596, 4x598, 4x600, 4x602, 4x604, 4x606, 4x608, 4x610, 4x612, 4x614, 4x616, 4x618, 4x620, 4x622, 4x624, 4x626, 4x628, 4x630, 4x632, 4x634, 4x636, 4x638, 4x640, 4x642, 4x644, 4x646, 4x648, 4x650, 4x652, 4x654, 4x656, 4x658, 4x660, 4x662, 4x664, 4x666, 4x668, 4x670, 4x672, 4x674, 4x676, 4x678, 4x680, 4x682, 4x684, 4x686, 4x688, 4x690, 4x692, 4x694, 4x696, 4x698, 4x700, 4x702, 4x704, 4x706, 4x708, 4x710, 4x712, 4x714, 4x716, 4x718, 4x720, 4x722, 4x724, 4x726, 4x728, 4x730, 4x732, 4x734, 4x736, 4x738, 4x740, 4x742, 4x744, 4x746, 4x748, 4x750, 4x752, 4x754, 4x756, 4x758, 4x760, 4x762, 4x764, 4x766, 4x768, 4x770, 4x772, 4x774, 4x776, 4x778, 4x780, 4x782, 4x784, 4x786, 4x788, 4x790, 4x792, 4x794, 4x796, 4x798, 4x800, 4x802, 4x804, 4x806, 4x808, 4x810, 4x812, 4x814, 4x816, 4x818, 4x820, 4x822, 4x824, 4x826, 4x828, 4x830, 4x832, 4x834, 4x836, 4x838, 4x840, 4x842, 4x844, 4x846, 4x848, 4x850, 4x852, 4x854, 4x856, 4x858, 4x860, 4x862, 4x864, 4x866, 4x868, 4x870, 4x872, 4x874, 4x876, 4x878, 4x880, 4x882, 4x884, 4x886, 4x888, 4x890, 4x892, 4x894, 4x896, 4x898, 4x900, 4x902, 4x904, 4x906, 4x908, 4x910, 4x912, 4x914, 4x916, 4x918, 4x920, 4x922, 4x924, 4x926, 4x928, 4x930, 4x932, 4x934, 4x936, 4x938, 4x940, 4x942, 4x944, 4x946, 4x948, 4x950, 4x952, 4x954, 4x956, 4x958, 4x960, 4x962, 4x964, 4x966, 4x968, 4x970, 4x972, 4x974, 4x976, 4x978, 4x980, 4x982, 4x984, 4x986, 4x988, 4x990, 4x992, 4x994, 4x996, 4x998, 4x1000.
8. All lumber to be Western Red Cedar #1 grade lumber, 4x4, 4x6, 4x8, 4x10, 4x12, 4x14, 4x16, 4x18, 4x20, 4x22, 4x24, 4x26, 4x28, 4x30, 4x32, 4x34, 4x36, 4x38, 4x40, 4x42, 4x44, 4x46, 4x48, 4x50, 4x52, 4x54, 4x56, 4x58, 4x60, 4x62, 4x64, 4x66, 4x68, 4x70, 4x72, 4x74, 4x76, 4x78, 4x80, 4x82, 4x84, 4x86, 4x88, 4x90, 4x92, 4x94, 4x96, 4x98, 4x100, 4x102, 4x104, 4x106, 4x108, 4x110, 4x112, 4x114, 4x116, 4x118, 4x120, 4x122, 4x124, 4x126, 4x128, 4x130, 4x132, 4x134, 4x136, 4x138, 4x140, 4x142, 4x144, 4x146, 4x148, 4x150, 4x152, 4x154, 4x156, 4x158, 4x160, 4x162, 4x164, 4x166, 4x168, 4x170, 4x172, 4x174, 4x176, 4x178, 4x180, 4x182, 4x184, 4x186, 4x188, 4x190, 4x192, 4x194, 4x196, 4x198, 4x200, 4x202, 4x204, 4x206, 4x208, 4x210, 4x212, 4x214, 4x216, 4x218, 4x220, 4x222, 4x224, 4x226, 4x228, 4x230, 4x232, 4x234, 4x236, 4x238, 4x240, 4x242, 4x244, 4x246, 4x248, 4x250, 4x252, 4x254, 4x256, 4x258, 4x260, 4x262, 4x264, 4x266, 4x268, 4x270, 4x272, 4x274, 4x276, 4x278, 4x280, 4x282, 4x284, 4x286, 4x288, 4x290, 4x292, 4x294, 4x296, 4x298, 4x300, 4x302, 4x304, 4x306, 4x308, 4x310, 4x312, 4x314, 4x316, 4x318, 4x320, 4x322, 4x324, 4x326, 4x328, 4x330, 4x332, 4x334, 4x336, 4x338, 4x340, 4x342, 4x344, 4x346, 4x348, 4x350, 4x352, 4x354, 4x356, 4x358, 4x360, 4x362, 4x364, 4x366, 4x368, 4x370, 4x372, 4x374, 4x376, 4x378, 4x380, 4x382, 4x384, 4x386, 4x388, 4x390, 4x392, 4x394, 4x396, 4x398, 4x400, 4x402, 4x404, 4x406, 4x408, 4x410, 4x412, 4x414, 4x416, 4x418, 4x420, 4x422, 4x424, 4x426, 4x428, 4x430, 4x432, 4x434, 4x436, 4x438, 4x440, 4x442, 4x444, 4x446, 4x448, 4x450, 4x452, 4x454, 4x456, 4x458, 4x460, 4x462, 4x464, 4x466, 4x468, 4x470, 4x472, 4x474, 4x476, 4x478, 4x480, 4x482, 4x484, 4x486, 4x488, 4x490, 4x492, 4x494, 4x496, 4x498, 4x500, 4x502, 4x504, 4x506, 4x508, 4x510, 4x512, 4x514, 4x516, 4x518, 4x520, 4x522, 4x524, 4x526, 4x528, 4x530, 4x532, 4x534, 4x536, 4x538, 4x540, 4x542, 4x544, 4x546, 4x548, 4x550, 4x552, 4x554, 4x556, 4x558, 4x560, 4x562, 4x564, 4x566, 4x568, 4x570, 4x572, 4x574, 4x576, 4x578, 4x580, 4x582, 4x584, 4x586, 4x588, 4x590, 4x592, 4x594, 4x596, 4x598, 4x600, 4x602, 4x604, 4x606, 4x608, 4x610, 4x612, 4x614, 4x616, 4x618, 4x620, 4x622, 4x624, 4x626, 4x628, 4x630, 4x632, 4x634, 4x636, 4x638, 4x640, 4x642, 4x644, 4x646, 4x648, 4x650, 4x652, 4x654, 4x656, 4x658, 4x660, 4x662, 4x664, 4x666, 4x668, 4x670, 4x672, 4x674, 4x676, 4x678, 4x680, 4x682, 4x684, 4x686, 4x688, 4x690, 4x692, 4x694, 4x696, 4x698, 4x700, 4x702, 4x704, 4x706, 4x708, 4x710, 4x712, 4x714, 4x716, 4x718, 4x720, 4x722, 4x724, 4x726, 4x728, 4x730, 4x732, 4x734, 4x736, 4x738, 4x740, 4x742, 4x744, 4x746, 4x748, 4x750, 4x752, 4x754, 4x756, 4x758, 4x760, 4x762, 4x764, 4x766, 4x768, 4x770, 4x772, 4x774, 4x776, 4x778, 4x780, 4x782, 4x784, 4x786, 4x788, 4x790, 4x792, 4x794, 4x796, 4x798, 4x800, 4x802, 4x804, 4x806, 4x808, 4x810, 4x812, 4x814, 4x816, 4x818, 4x820, 4x822, 4x824, 4x826, 4x828, 4x830, 4x832, 4x834, 4x836, 4x838, 4x840, 4x842, 4x844, 4x846, 4x848, 4x850, 4x852, 4x854, 4x856, 4x858, 4x860, 4x862, 4x864, 4x866, 4x868, 4x870, 4x872, 4x874, 4x876, 4x878, 4x880, 4x882, 4x884, 4x886, 4x888, 4x890, 4x892, 4x894, 4x896, 4x898, 4x900, 4x902, 4x904, 4x906, 4x908, 4x910, 4x912, 4x914, 4x916, 4x918, 4x920, 4x922, 4x924, 4x926, 4x928, 4x930, 4x932, 4x934, 4x936, 4x938, 4x940, 4x942, 4x944, 4x946, 4x948, 4x950, 4x952, 4x954, 4x956, 4x958, 4x960, 4x962, 4x964, 4x966, 4x968, 4x970, 4x972, 4x974, 4x976, 4x978, 4x980, 4x982, 4x984, 4x986, 4x988, 4x990, 4x992, 4x994, 4x996, 4x998, 4x1000.
9. Carpentry, steel and other fasteners shall be as per manufacturer's specifications.

Play Structures:

1. Timber to be finished smooth with no sharp edges.
2. Play storage equipment including latches to be constructed with no pinching hazard or any parts a hazard to use.

Id-02
1:1.3
Kids Table and Chairs - Level 4 Courtyard
Scale: NTS

NRO012
Kids Table with 4 sitting poles



Approved	Revised	Checked	Reviewed
0	0	0	0
0	0	0	0
0	0	0	0
0	0	0	0

Product Line: Durable, Modern
Category: Recreational, Backyard
Age Group: 3-5
Max. Fall Height (CH): 1.5
Total Height (CH): 1.5
Safety Zone: 1.5 x 1.5

Id-03
1:1.3
Natural balance beam - Level 4 Courtyard
Scale: NTS

NRO020
Single balance beam

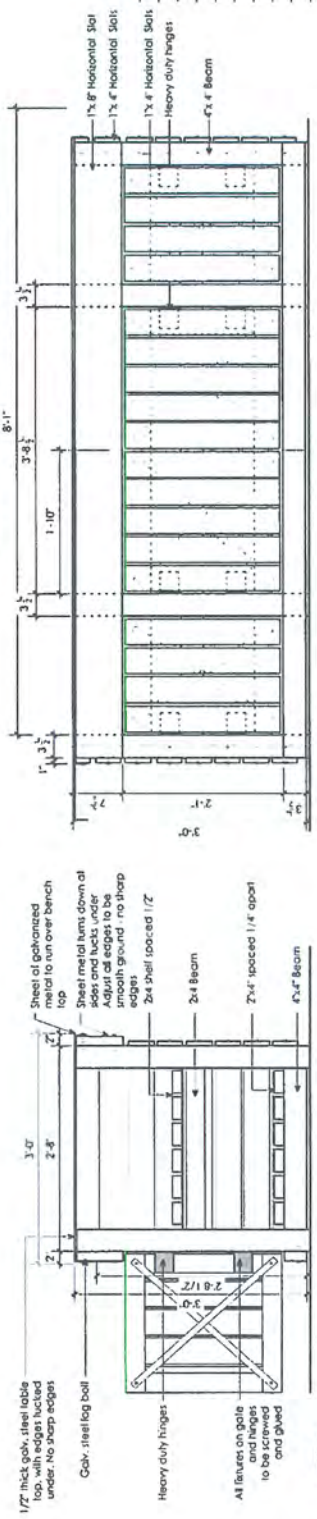


Approved	Revised	Checked	Reviewed
0	0	0	0
0	0	0	0
0	0	0	0
0	0	0	0

Product Line: Durable, Modern
Category: Recreational, Backyard
Age Group: 3-5
Max. Fall Height (CH): 1.5
Total Height (CH): 1.5
Safety Zone: 1.5 x 1.5

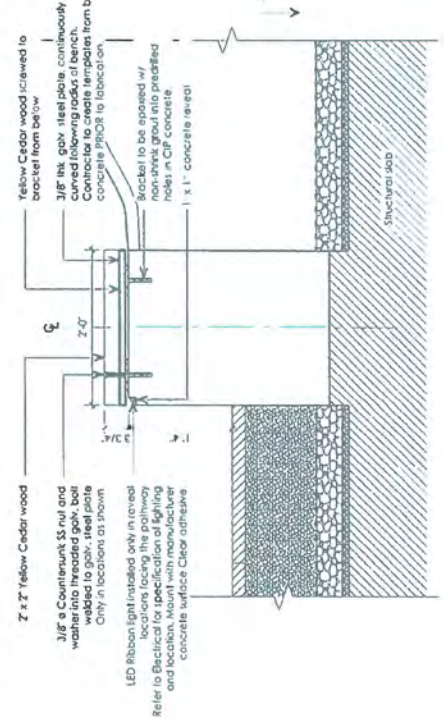
Id-04
1:1.3
Play Structure - Level 4 Courtyard
Scale: NTS

- Notes:
1. Submit shop drawings for all metalwork FOR REVIEW AND APPROVAL TO THE CITY OF RICHMOND, BC, 05/20/20.
 2. Confirm all dimensions on site. Modify as required to maintain design intent.
 3. All bolt holes to be pre-drilled before hot-dip galvanization.
 4. Conventional steel bracket to be off-weld construction.
 5. All wood to be western red cedar, rough finish.
 6. All fabric on panels and benches to be screws and glued.



14-03 Potting Table & Tool Storage - Levels 4
Scale: 1" = 1'-0"

- Notes:
1. All bench steel brackets to be hot-dipped galvanized.
 2. Wood members to be labeled and bench top to be assembled in shop.
 3. Submit shop drawings for approval prior to fabrication.
 4. Band of benches vary. Refer to Plan for typical locations.
 5. Contractor shall field measure and create templates of concrete profile prior to fabrication.



14-5 Curved Wood Bench on Concrete Wall (Level 4 Buildings D&E)
Scale: 1" = 1'-0"

no.	date	item
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 28-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 04-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for Staff Comments(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar20-19	Issued for DP Re-submission
2	Nov15-18	Issued for DP Re-submission
1	Sept18-18	Issued for DP

Revisors:

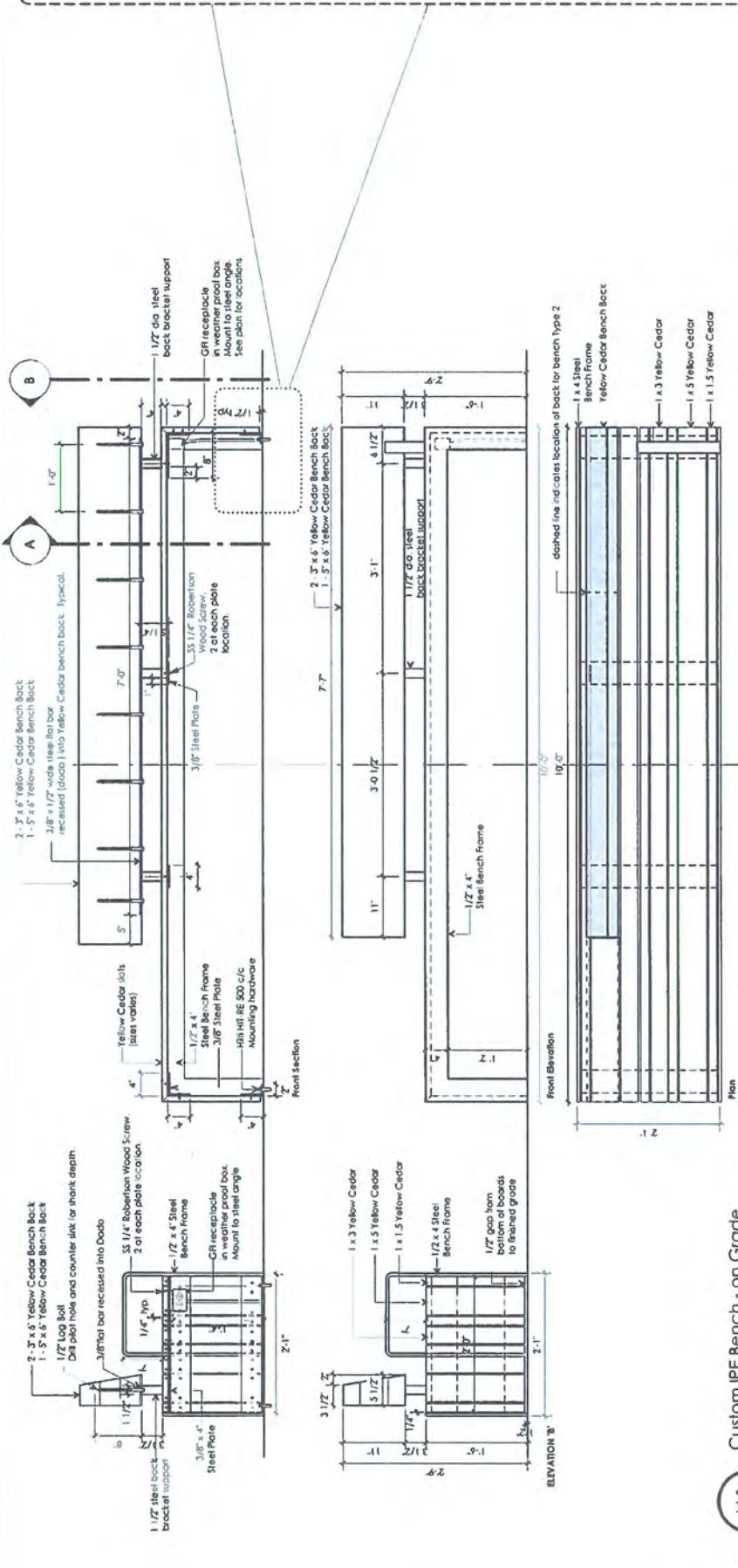
Durante Kreuk Ltd.
102 - 1837 West 5th Avenue Vancouver
BC V6J 1H5
t: 604 684 4811
f: 604 684 0577
www.dk.ca

Project: **Resid'l Development
Park Residences PH2
Tower C + D + E
6333-6399 Mah Bing Street
Richmond, B.C.**

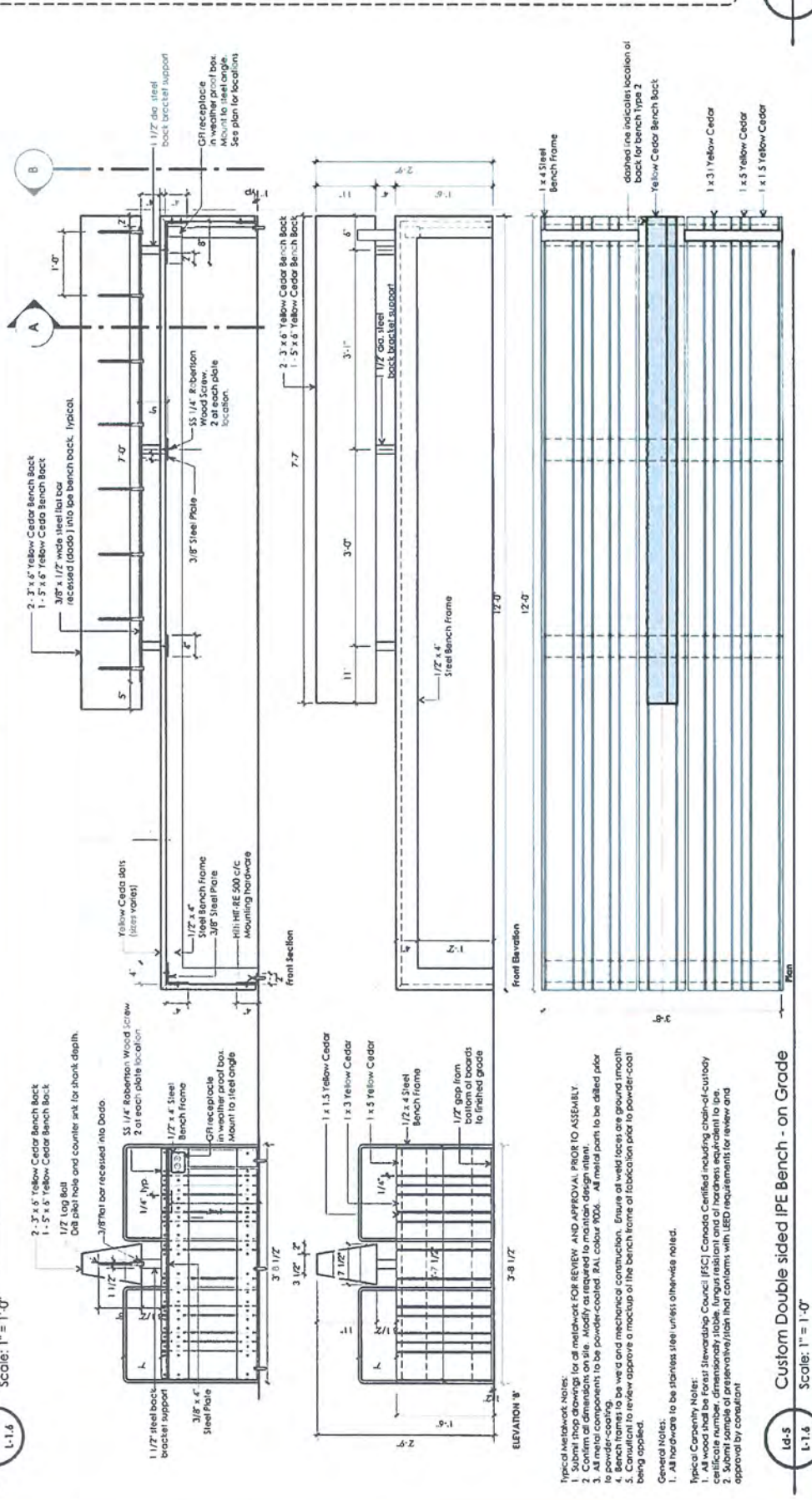
Drawn by: ROC
Checked by: JB
Date: June 28th 2018
Scale: As Shown
Drawing Title: **Landscape Details**

DP 18-837117
PLAN #61

Project No.: 17020
Sheet No.: I-2.4
JUL 07 2020



Id-5 Custom IPE Bench - on Grade
Scale: 1" = 1'-0"



Id-6 Custom Double sided IPE Bench - on Grade
Scale: 1" = 1'-0"

NO.	DATE	REVISIONS
1	18-SEP-18	Issued for DP
2	18-NOV-18	Issued for DP Re-submission
3	19-MAR-20	Issued for DP Re-submission
4	19-SEP-20	Issued for DP Re-submission
5	19-NOV-20	Issued for DP Re-submission
6	19-DEC-20	Issued for DP Re-submission
7	20-MAY-20	Issued for DP Re-submission
8	20-JUN-20	Issued for DP Re-submission
9	20-JUN-20	Issued for DP Re-submission
10	20-JUN-20	Issued for DP Re-submission
11	20-JUL-20	Issued for DP Re-submission
12	20-JUL-20	Issued for DP Re-submission

durantekreuk
Durland Kreuk Ltd.
102 - 107 West 5th Avenue Vancouver
BC V6J 1H5
1-604-684-4811
1-604-684-0377
www.dkb.ca

Project:
Resid' Development
Park Residences PH2
Tower C + D + E
6333-6399 Mah Bing Street
Richmond, B.C.

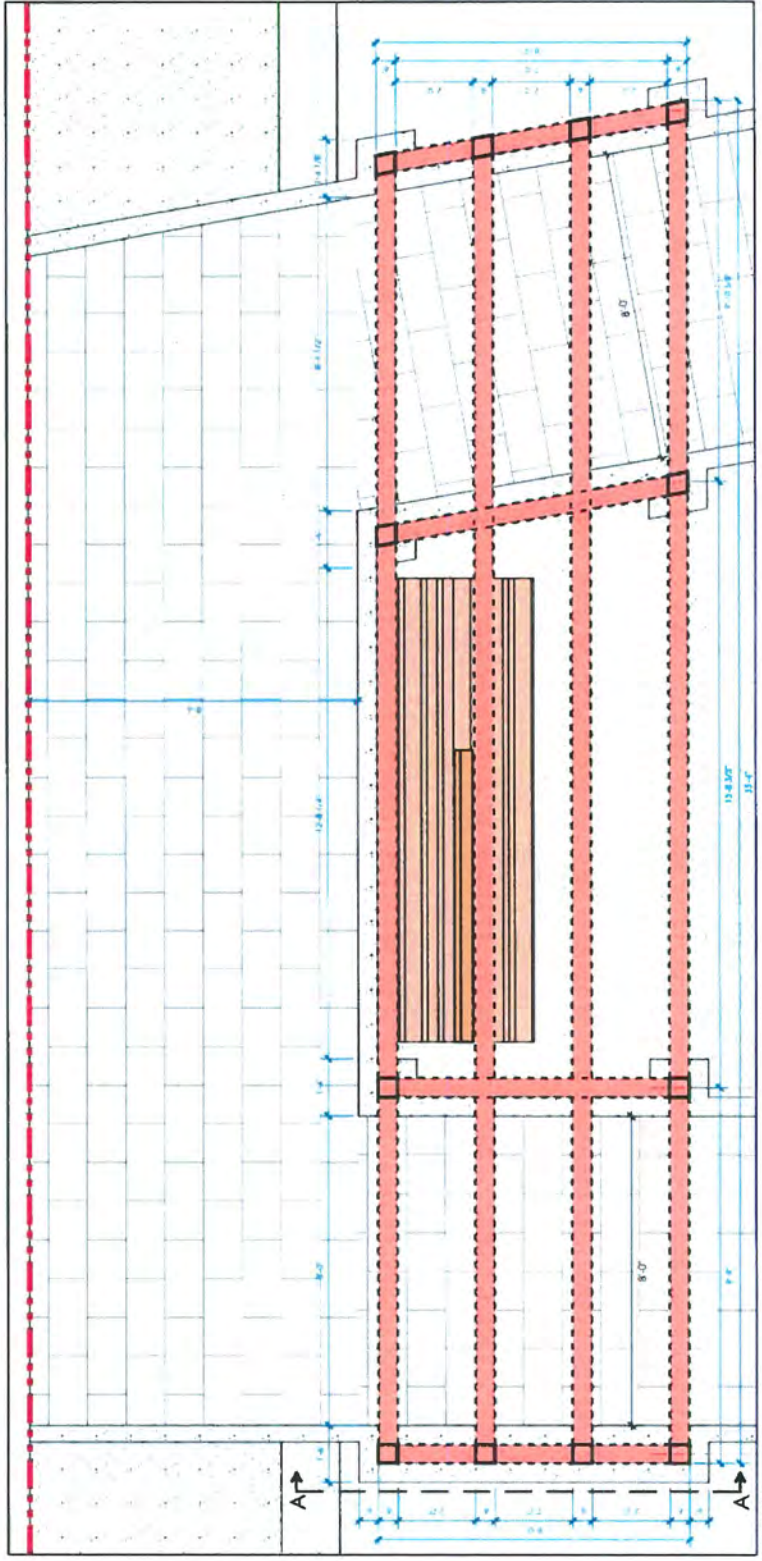
Drawn by: ROC
Checked by: JB
Date: June 28th 2018
Scale: As Shown

Drawing Title:
Landscape Details

Project No.: 17020
Sheet No.: 1-2.5

OP 13-037117
RAW #62
JUL-07-2020

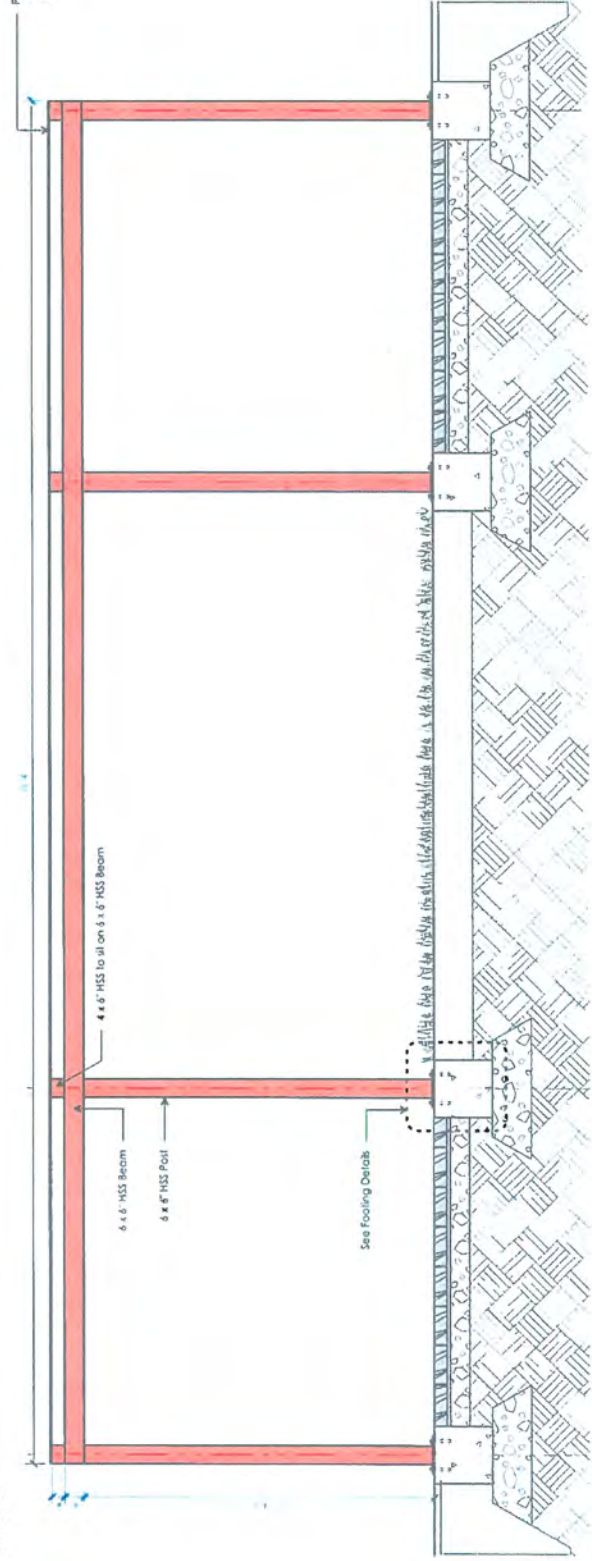
Custom IPE Bench Footing - on Grade
Scale: 1 1/2" = 1'-0"



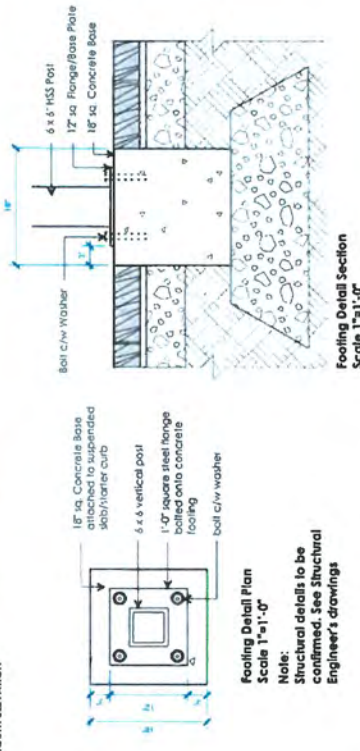
PLAN DETAIL



Perforated panels attached to RSS beam panel by Western group



SOUTH ELEVATION



- Manufacturer: Fabricated steel truss for the gate and supports for the roadway gate to fabrication area in accordance with specification section 05.20.20.
- Confirm all dimensions on site. Verify area drawings as required to maintain design intent.
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no.	date	item
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8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 04-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for Staff Comments(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar 09-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP Re-submission
1	Sept 18-18	Issued for DP

durantekreuk
 Durant Kreuk Ltd.
 100 West 25th Avenue Vancouver
 BC V6J 1H5
 T: 604.884.4614
 F: 604.884.0377
 www.dk.bc.ca

Project: **Resid'1 Development Park Residences PH2 Tower C + D + E**
6333-6399 Mah Bling Street Richmond, B.C.

Drawn by: **ROC**
 Checked by: **JD**
 Date: **June 28th 2018**
 Scale: **As Shown**
 Drawing Title: **Landscape Details**

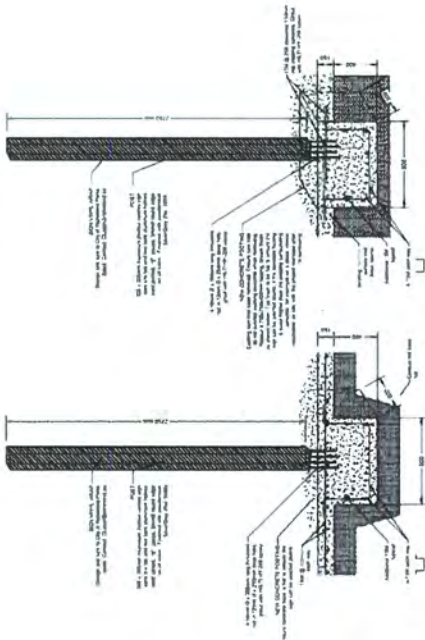
18-83711
 Project No.: **17020** **Plan # 65**
 Sheet No.: **JUL 07 2020**
L-2.6

NOTES: All signage to be located in adjacent road square to the adjacent pathway. Locate 400mm back from edge of pathway to allow for adequate space for planting. Signage to be supplied and installed by City of Richmond.

- REVISIONS:**
1. REVISED TO REFLECT THE CITY OF RICHMOND'S SIGNAGE SPECIFICATIONS.
 2. REVISED TO REFLECT THE CITY OF RICHMOND'S SIGNAGE SPECIFICATIONS.
 3. REVISED TO REFLECT THE CITY OF RICHMOND'S SIGNAGE SPECIFICATIONS.

NO.	DATE	DESCRIPTION
1	11/11/18	ISSUED FOR DP
2	01/23/19	ISSUED FOR DP
3	03/20/19	ISSUED FOR DP

- REVISIONS:**
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 2. REVISED TO REFLECT THE CITY OF RICHMOND'S SIGNAGE SPECIFICATIONS.
 3. REVISED TO REFLECT THE CITY OF RICHMOND'S SIGNAGE SPECIFICATIONS.



Wayfinding signage - Ground level

Ld2
L-1.3

- REVISIONS:**
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 2. REVISED TO REFLECT THE CITY OF RICHMOND'S SIGNAGE SPECIFICATIONS.
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2	Nov15-18	Issued for DP Re-submission
1	Sept18-18	Issued for DP

Revisions:

durantekreuk
 Durantekreuk Ltd
 102 - 1037 West 5th Avenue Vancouver
 BC V6H 1V6
 1 604 864 4811
 1 604 864 6377
 www.dkbc.ca

Project:

**Resid'1 Development
 Park Residences PH2
 Tower C + D + E
 6333-6399 Mah Bing Street
 Richmond, B.C.**

Drawn by: ROC

Checked by: JD

Date: June 28th 2018

Scale: As Shown

Drawing Title:

Landscape Details

DP 18-837117

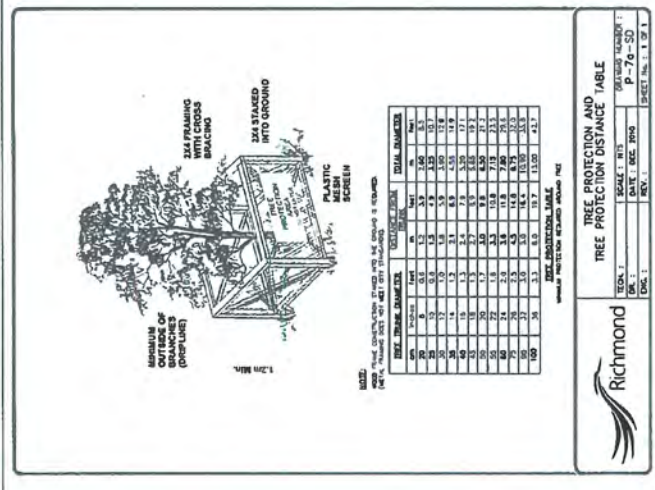
PLAN #64

Project No.: 17020

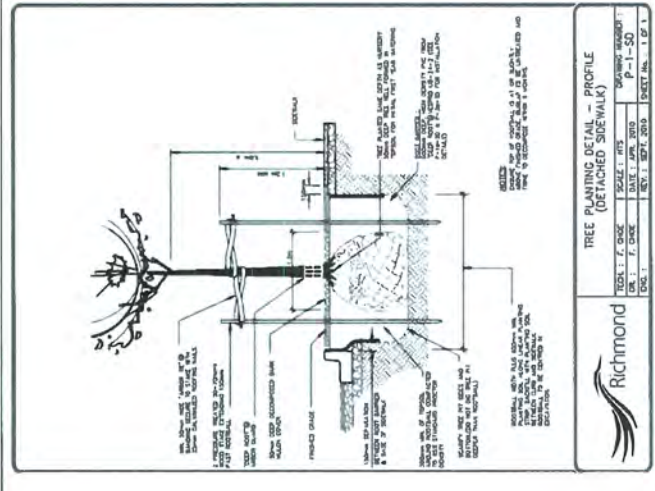
Sheet No.:

JUL 07 2020

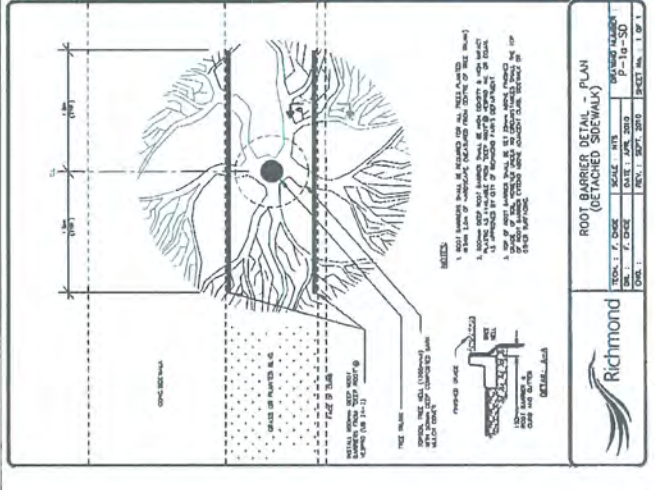
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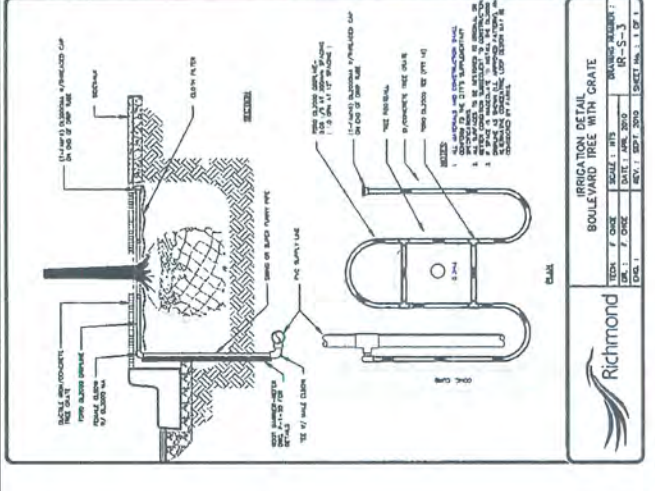
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1-1.1
Tree Protection Detail
NTS



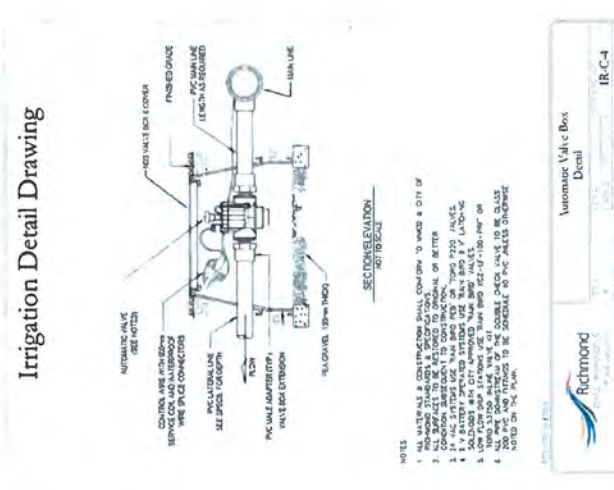
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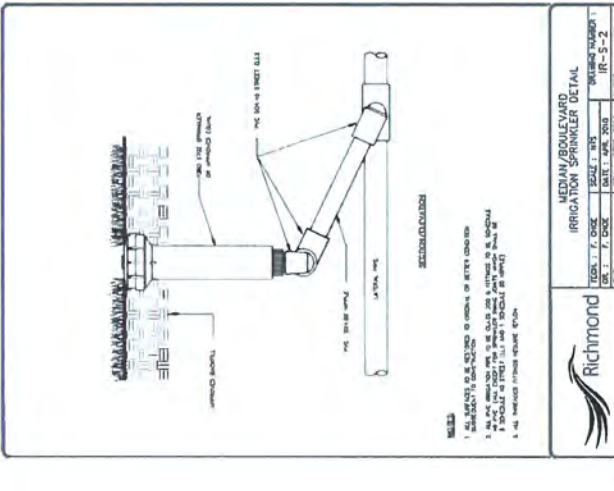
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1-1.2
Root Barrier Detail
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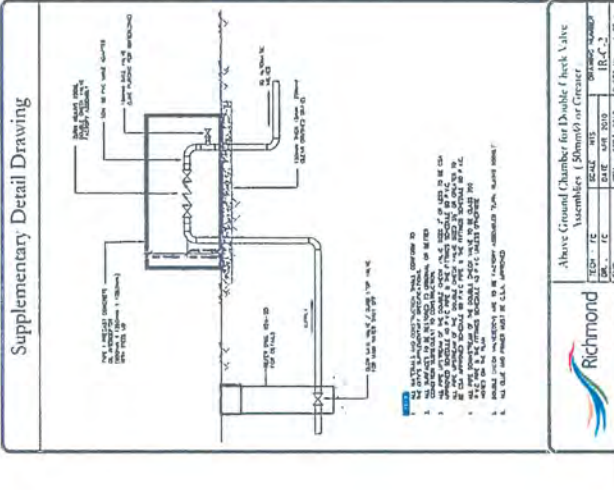
Ld-1
1-1.2
Irrigation Detail
NTS



Ld-1
1-1.1
Automatic Valve Box Detail
NTS



Ld-1
1-1.2
Lawn Irrigation Sprinkler Detail
NTS



Ld-1
1-1.2
Above Ground Valve Chamber
NTS



Ld-1
1-1.2
Master Valve & Flow Meter
NTS

Revisions:

no.	date:	item:
1	Sept 18-18	Issued for DP
2	Nov 15-18	Issued for DP re-submission
3	Mar 20-19	Issued for DP re-submission
4	Sep 04-19	Issued for DP re-submission
5	Oct 21-19	Issued for Staff Comments (2)
6	Nov 04-19	Issued for Staff Comments (3)
7	Dec 05-19	Issued for Staff Comments (4)
8	May 12-20	Issued for Staff Comments (5)
9	June 15-20	Revision for Staff Report
10	June 25-20	Revision for Staff Report (2)
11	July 08-20	Revision for Staff Report (3)
12	July 09-20	Issued for DP Panel

Durante Kneek Ltd.
107-103 West 5th Avenue Vancouver
BC V6B 1Y5
1-800-684-4811
1-800-684-4817
www.durante.com

Project:
**Resid'l Development
Park Residences PH2
Tower C + D + E
6333-6399 Mah Bing Street
Richmond, B.C.**

Drawn by: ROC
Checked by: JO
Date: June 28th 2019
Scale: As Shown
Drawing Title: Landscape Details

Project No.: 17020
Sheet No.: L-2.8

DP 18-837117
RAW#65
JUL 07 2020

SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS

(To complement Master Municipal Construction Documents (MMCD) - (Piksum Edition))

SCHEDULE G SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS FOR TREE PLANTING ON SIDEWALKS AND BOULEVARDS

The Supplementary Specifications hereunder shall apply to all tree planting work in the City of Richmond. They replace the specifications in Section 23.01.01 - Planting of Trees, Shrubs and Ground Covers in the Master Municipal Construction Documents (MMCD) and shall be used in conjunction with the MMCD. Where specific reference are made to items under the MMCD.

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SECTION 1 - MATERIALS

- 1.0 Definition
- City shall mean authorized representative of the Engineering Inspection Department
- 1.1 Tree Species
- This selection of tree species shall be approved by the City. Should the alternate choice not be suitable, the developer/contractor shall not make substitutions without approval of the City.
- 1.2 Origin
- All plant material shall be nursery grown stock.
 - All plant material shall comply with the B.C.S.L.A.C.S.N.T./B.C.R.T.A. Landscapes Substrate for container grown plants.
- 1.3 Tree Dimensions
- Each tree shall have a caliper of 75mm or not be less than 30mm in overall height unless otherwise approved by the City. Each tree shall have a sturdy, straight trunk. Lowest branch height on all trees shall be at least 1.8m. The trunk shall be free of major defects, including but not limited to, unbalanced branching habit with the branching growing out from the stem with reasonable symmetry. All trees shall be in wire baskets unless otherwise approved by the City. (Refer to Tables 3-1 and 3-2).
- 1.4 Root System
- All trees shall be in wire baskets unless otherwise approved by the City. Container grown stock shall have sufficiently well-established root system to hold the soil together when removed from the container. In all cases the root system shall be well-developed and shall be sufficiently developed to guarantee successful transplantation.

**TABLE 1-1
MINIMUM ROOTBALL DIMENSIONS FOR CONIFEROUS TREES**

Height (m)	Caliper (mm)	Ball and Medium (m)	Tall and Container (m)
3.0	25	1.0	1.0
3.5	30	1.2	1.2
4.0	35	1.5	1.5
4.5	40	1.8	1.8
5.0	45	2.1	2.1
5.5	50	2.4	2.4
6.0	55	2.7	2.7
6.5	60	3.0	3.0
7.0	65	3.3	3.3
7.5	70	3.6	3.6
8.0	75	3.9	3.9
8.5	80	4.2	4.2
9.0	85	4.5	4.5
9.5	90	4.8	4.8
10.0	95	5.1	5.1
10.5	100	5.4	5.4
11.0	105	5.7	5.7
11.5	110	6.0	6.0
12.0	115	6.3	6.3
12.5	120	6.6	6.6
13.0	125	6.9	6.9
13.5	130	7.2	7.2
14.0	135	7.5	7.5
14.5	140	7.8	7.8
15.0	145	8.1	8.1
15.5	150	8.4	8.4
16.0	155	8.7	8.7
16.5	160	9.0	9.0
17.0	165	9.3	9.3
17.5	170	9.6	9.6
18.0	175	9.9	9.9
18.5	180	10.2	10.2
19.0	185	10.5	10.5
19.5	190	10.8	10.8
20.0	195	11.1	11.1
20.5	200	11.4	11.4
21.0	205	11.7	11.7
21.5	210	12.0	12.0
22.0	215	12.3	12.3
22.5	220	12.6	12.6
23.0	225	12.9	12.9
23.5	230	13.2	13.2
24.0	235	13.5	13.5
24.5	240	13.8	13.8
25.0	245	14.1	14.1
25.5	250	14.4	14.4
26.0	255	14.7	14.7
26.5	260	15.0	15.0
27.0	265	15.3	15.3
27.5	270	15.6	15.6
28.0	275	15.9	15.9
28.5	280	16.2	16.2
29.0	285	16.5	16.5
29.5	290	16.8	16.8
30.0	295	17.1	17.1
30.5	300	17.4	17.4
31.0	305	17.7	17.7
31.5	310	18.0	18.0
32.0	315	18.3	18.3
32.5	320	18.6	18.6
33.0	325	18.9	18.9
33.5	330	19.2	19.2
34.0	335	19.5	19.5
34.5	340	19.8	19.8
35.0	345	20.1	20.1

For container 200 mm and taller, caliper shall overrule height using the same caliper for rootball diameter as the following trees.

**TABLE 1-2
MINIMUM ROOTBALL DIMENSIONS FOR DECIDUOUS TREES**

Caliper	Zone 1 & 2 Below	Zone 3 & 4 Below	Zone 5 & 6 Above
4	30	30	30
5	35	35	35
6	40	40	40
7	45	45	45
8	50	50	50
9	55	55	55
10	60	60	60
11	65	65	65
12	70	70	70
13	75	75	75
14	80	80	80
15	85	85	85
16	90	90	90
17	95	95	95
18	100	100	100
19	105	105	105
20	110	110	110
21	115	115	115
22	120	120	120
23	125	125	125
24	130	130	130
25	135	135	135
26	140	140	140
27	145	145	145
28	150	150	150
29	155	155	155
30	160	160	160
31	165	165	165
32	170	170	170
33	175	175	175
34	180	180	180
35	185	185	185
36	190	190	190
37	195	195	195
38	200	200	200
39	205	205	205
40	210	210	210
41	215	215	215
42	220	220	220
43	225	225	225
44	230	230	230
45	235	235	235
46	240	240	240
47	245	245	245
48	250	250	250
49	255	255	255
50	260	260	260
51	265	265	265
52	270	270	270
53	275	275	275
54	280	280	280
55	285	285	285
56	290	290	290
57	295	295	295
58	300	300	300
59	305	305	305
60	310	310	310
61	315	315	315
62	320	320	320
63	325	325	325
64	330	330	330
65	335	335	335
66	340	340	340
67	345	345	345
68	350	350	350
69	355	355	355
70	360	360	360
71	365	365	365
72	370	370	370
73	375	375	375
74	380	380	380
75	385	385	385
76	390	390	390
77	395	395	395
78	400	400	400
79	405	405	405
80	410	410	410
81	415	415	415
82	420	420	420
83	425	425	425
84	430	430	430
85	435	435	435
86	440	440	440
87	445	445	445
88	450	450	450
89	455	455	455
90	460	460	460
91	465	465	465
92	470	470	470
93	475	475	475
94	480	480	480
95	485	485	485
96	490	490	490
97	495	495	495
98	500	500	500
99	505	505	505
100	510	510	510

For every 2.5 cm of caliper over 20 cm, rootball diameter shall increase by 10 cm.

- 1.5 Condition
- All plant material shall be of good health and vigorous with no visible signs of disease, insect pests, damage or other objectionable infestations.
 - The contractor is responsible for contacting the City for inspection and approval of the trees on site and before planting.

SECTION 2 - INSTALLATION

- 2.1 Subgrade and Topsoil
- Prior to placing topsoil in boulevard planting areas, the subgrade shall be compacted to a minimum depth of 150mm below finished grade for all shrub areas and 450mm below finished grade for all tree areas.
 - Grade variations shall be smooth and even, and shall be such that ponding cannot occur on the subgrade surface.
 - Subgrade shall be free of debris, including rocks, roots, and other material that may impede root growth. The subgrade shall be free of any material that may impede root growth and development of the planted boulevard. All material shall be removed from the subgrade prior to installing the topsoil.
 - Screwed topsoil shall be installed at the following minimum depths prior to shrub planting in the boulevard ground cover areas - 300mm shrub areas - 450mm.
- 2.2 Time of Planting
- Planting work is to be completed during normal planting seasons as dictated by prevailing weather conditions. Planting in frozen ground or with frozen rootballs is not acceptable.
 - Planting will not be permitted during extremely hot, dry weather or during heavy rain.
 - All necessary precautions are to be taken to protect the plant material from prevailing weather conditions during transportation, storage and planting.
- 2.3 Location of Planting
- Trees are to be planted to meet the 8m spacing unless otherwise approved by the City. Actual tree numbers, spacing and locations will vary according to site conditions and anomalies. Locations will be adjusted by the developer/contractor if necessary. Locations will be adjusted to the City's satisfaction if necessary. All trees shall be planted in accordance with the approved plans.
- 2.4 Planting Procedures - Trees
- All trees shall be planted as per Supplementary Detail Drawings G-1-3D and G-1-5D.
 - All trees shall be planted, set plants in holes large enough to accommodate the entire rootball plus topsoil. The holes shall be backfilled with the same soil as the surrounding area. The holes shall be backfilled to a depth of 100mm below the top of the rootball plus 100mm. The holes shall be backfilled to a depth of 100mm below the top of the rootball plus 100mm. The holes shall be backfilled to a depth of 100mm below the top of the rootball plus 100mm.

- be backfilled with topsoil to bring the plant material to the depth they were originally growing in the nursery. All trees shall be planted so that after settlement they will be at the original growing medium depth.
- Ensure top of rootball is at or slightly above finished grade. Remove top 100mm of topsoil from rootball and place in hole. Backfill hole with topsoil to original growing medium depth. Remove any soil on top of "nursery" rootball.
- Once the trees are in place, the holes are to be backfilled with topsoil mixed with a high phosphate fertilizer applied at a rate according to the manufacturer's instructions. The holes shall be backfilled, tamped and smoothed in layers to help secure the base and eliminate large air pockets.
- Once planted, the trees are to be securely staked using two (2) 18mm diameter stakes. The stakes are to be secured to the trunk of the tree with approved equal banding attached to each stake with a single nail.
- Install Abrogard® to protect the tree trunk.

Planting Procedures

- All plants for planting areas shall be delivered to the site and protected from sun and drying winds. Plants that cannot be planted immediately on delivery shall be kept well watered.
 - Plants shall be planted on their settlement they will be at the original growing medium depth. Allow for settling of the growing medium after planting to that the total depth of the rootball remains in the topsoil.
 - Plants shall be set plants in the planting beds or planting pits, except where the plant's character requires variation from this.
 - Upon completion of boulevard planting, the soil shall be rolled to remove any clumps brought to the surface by the planting operations. After rolling, the soil shall be smoothed with a hand roller or similar equipment. An even layer over the soil surface.
 - Once planting and watering is completed, the site shall be cleaned of all excess soil, rock and debris.
- 2.6 Plant Maintenance
- The developer/contractor is responsible for all necessary maintenance of the plant material for the duration of the Maintenance Period. This shall include watering, fertilizing, pruning, and other necessary maintenance. The contractor shall be responsible for all necessary maintenance of the plant material for the duration of the Maintenance Period. This shall include watering, fertilizing, pruning, and other necessary maintenance. The contractor shall be responsible for all necessary maintenance of the plant material for the duration of the Maintenance Period. This shall include watering, fertilizing, pruning, and other necessary maintenance.

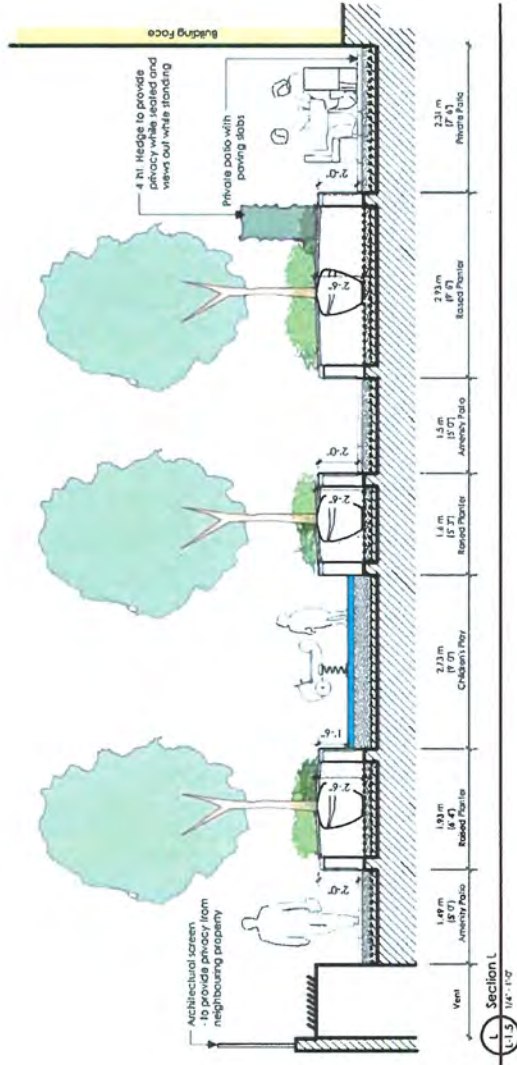


Durante Kreuk Ltd
100 West 5th Avenue Vancouver
BC V6B 1N6
1 604 684 4811
info@durantekreuk.com
www.dk.bc.ca

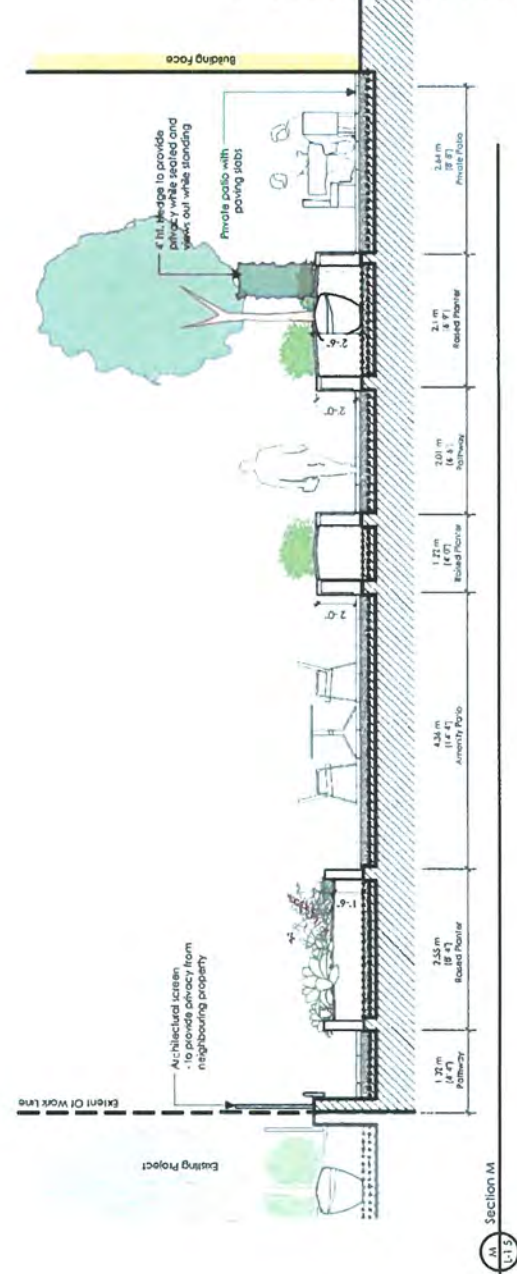
Project:
**Resid'l Development
Park Residences PH2
Tower C + D + E
6333-6399 Mah Bing Street
Richmond, B.C.**

Drawn by: ROC
Checked by: JD
Date: June 28th 2018
Scale: As Shown
Drawing Title:
Landscaping Details

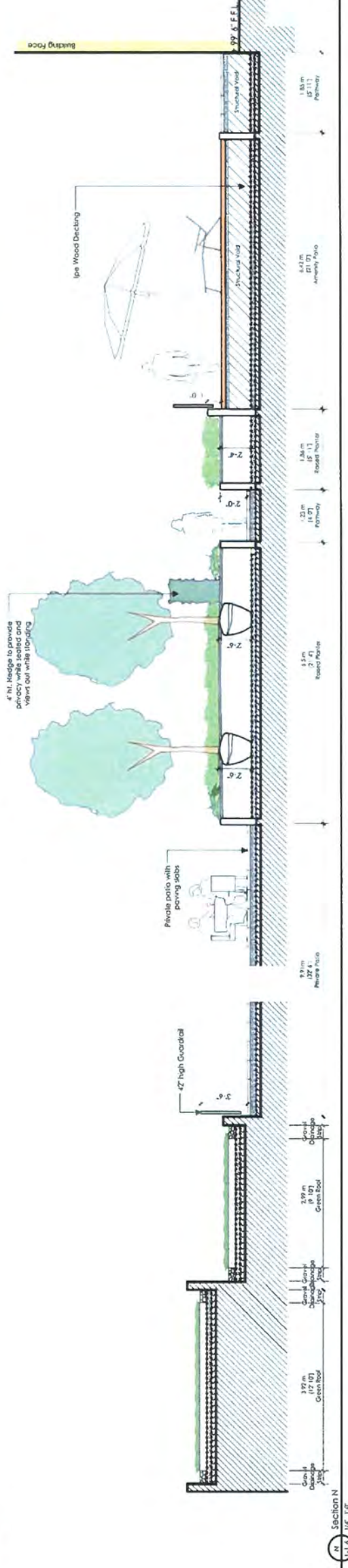
DP 18-037117
PLAN #66
Project No.: 17020
Sheet No.:
JUL 07 2020
I-2.9



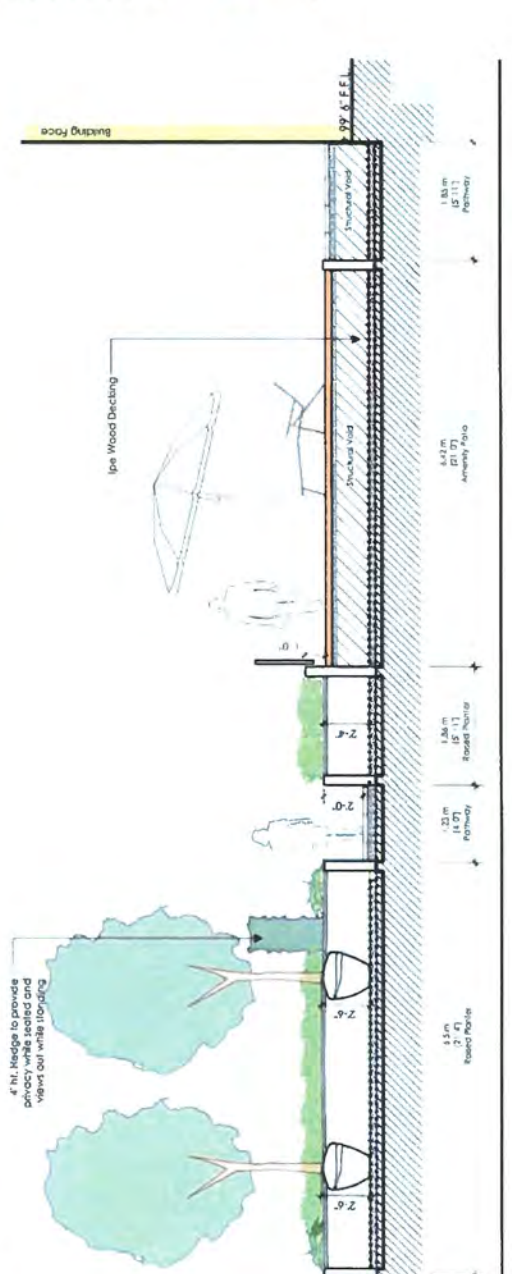
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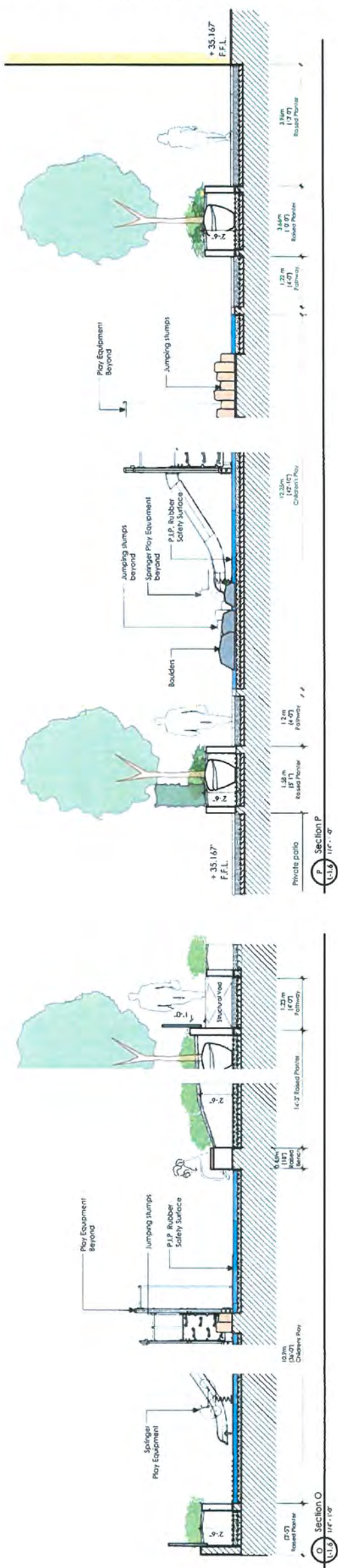
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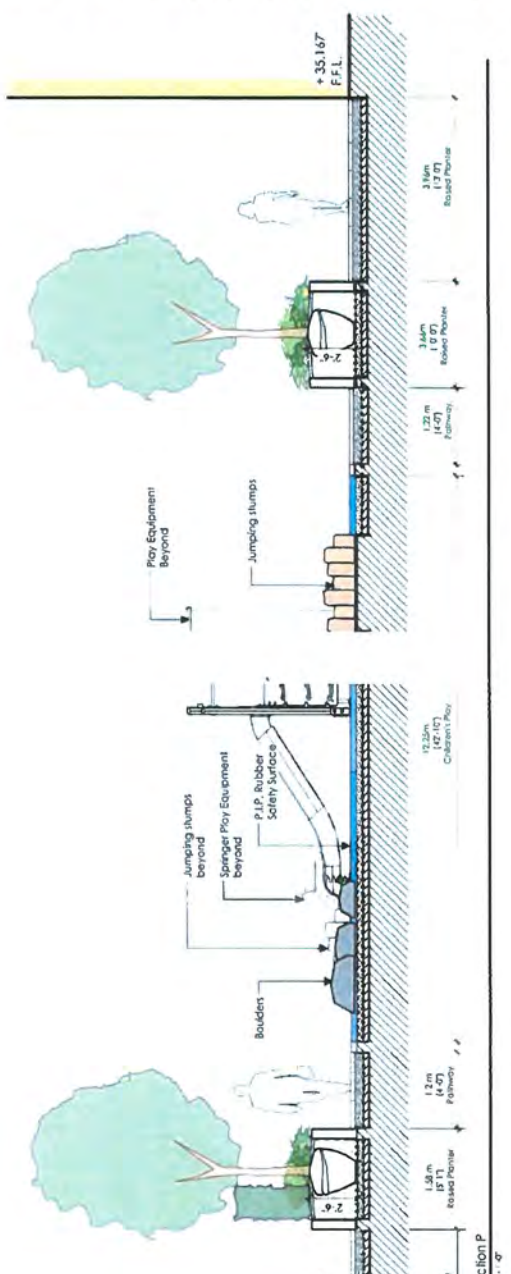
Section N
11' x 12'



Section O
11' x 12'



Section P
11' x 12'



Section Q
11' x 12'

no.	date	item
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 24-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comment(5)
7	Dec 04-19	Issued for Staff Comment(4)
6	Nov 04-19	Issued for Staff Comment(3)
5	Oct 21-19	Issued for Staff Comment(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar20-19	Issued for DP Re-submission
2	Nov15-18	Issued for DP Re-submission
1	Sept18-18	Issued for DP

Revisions:

durantekreuk
Durante Kreuk Ltd.
102 - 1827 West 5th Avenue Vancouver
BC V6J 1H5
t: 604 684 4811
f: 604 684 0377
www.dkbc.ca

Project: **Resid'l Development Park Residences PH2 Tower C + D + E 6333-6399 Mah Bing Street Richmond, B.C.**

Drawn by: ROC
Checked by: JB
Date: June 28th 2018
Scale: 1/8" = 1' 0"
Drawing Title: **Landscape Sections**

Project No.: 17020
Sheet No.: L-3.4

DP 18-837117
JUL 07 2020
Plan #72



12	July 09-20	Issued for DP Permit
11	July 08-20	Revision for Staff Report (3)
10	June 28-20	Revision for Staff Report (2)
9	June 15-20	Revision for Staff Report
8	May 13-20	Issued for Staff Comments (5)
7	May 13-20	Issued for Staff Comments (5)
6	Dec 05-19	Issued for Staff Comments (4)
5	Nov 04-19	Issued for Staff Comments (3)
4	Oct 21-19	Issued for Staff Comments (2)
3	Nov 04-19	Issued for DP Re-Submission
2	Nov 20-19	Issued for DP Re-Submission
1	Sept 18-18	Issued for DP
no	date	item



Project:
Resid'1 Developments
Park Residences PH2
Tower C + D + E
6333-6399 Mah Bing Street
Richmond, B.C.

Drawn by:	IF
Checked by:	JD
Date:	June 28, 2020
Scale:	N/S
Drawing Title:	Existing Trees Management Plan

Existing Trees Management Plan

Project No: 17020
 Sheet No:

JUL 07 2020

DRAWING KEY

- Extent of drip line of existing tree recommended for retention (location from survey by BCLS Land Surveyor)
- Extent of drip line of existing tree recommended for removal (location from survey by BCLS Land Surveyor)
- Tree Number referred to in existing trees inventory and report for By-Law site with DBH 0.20m or larger (or for any trees on city property)
- Location of Tree Protection Barrier to enclose Tree Protection Area. (Refer to Report and Detail for further information.)
- Extent of Critical Root Zone. For information on restrictions, refer to notes on this drawing and the written arborist report.

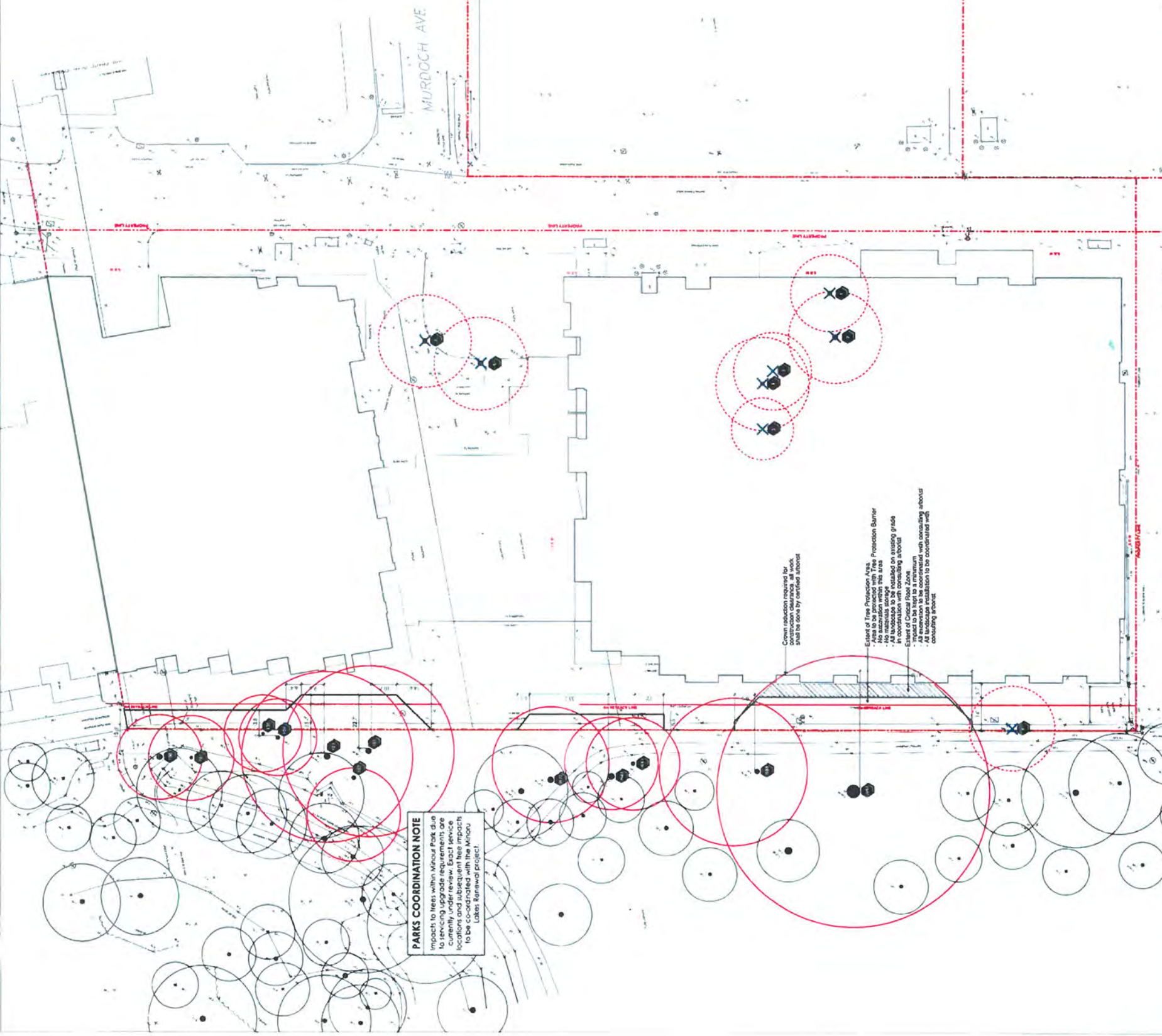
Tree No.	Species	DBH (cm)	Height (m)	Field Observations	Retention	Removal	Notes
1	Acacia saligna	3	7
2
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NOTES

- Initial tree protection barriers to City of Richmond requirements (see detail on this sheet) and maintain throughout construction.
- Tree preservation and their health and stability change with time. Our recommendations to protect and retain trees are based on observations made on the date noted and on a visual assessment of the trees using normal visual assessment procedures. Durante Kreuk Ltd. cannot guarantee that trees recommended for retention will remain whole or stable. Durante Kreuk Ltd. assumes no responsibility for tree protection unless we have been contacted to provide our services, and provided appropriate notice when work on or near the trees is to be done.
- Tree protection measures and at work on trees on City of Richmond Parks Land shall be pre approved by City of Richmond arborist.

Observations and recommendations by Arden Rich, SA, Certified Arborist Ph2701A
 - All Observations made on or after 12/2019, Additional Observations within the Park
 - Report Date: 06/28/2020

PLAN # 73
DP 18-837117



PARKS COORDINATION NOTE
 Impacts to trees within Marous Park due to servicing upgrade requirements are currently under review. Exact fence locations and tree protection barriers to be coordinated with the Minor Lakes Removal project.

Crane reduction required by construction site. All work shall be done by certified arborist.

Extent of Tree Protection Area:
 - Area to be protected with Tree Protection Barrier
 - No materials storage
 - No excavation or grading
 - No construction within existing barrier
 - In coordination with existing barrier
 - Extent of Critical Root Zone:
 - Area to be protected with existing barrier
 - All treebase evaluations to be coordinated with consulting arborist.

Tree No.	Species	# of Stems	DBH-Cm	Height - m	Field Observations	Dead	Poor	Fair	Good	Remove	Relocate	Note
ON SITE												
1	Acer palmatum (Japanese maple)	3	53	10	7	Base in raised planter. Asymmetrical crown. Suppressed by adjacent trees.						◆
2	Thuja plicata (western red cedar)	66	12	14	Surface root(s). Reduced vigor. 90% live crown ratio.							◆
3	Prunus cerasifera (Pissard plum)	26	10	8	Suppressed by adjacent trees. Phototropic lean west. Asymmetrical crown.							◆
4	Cedrus var. (true cedar)	49	12	14	Girdling root(s). Reduced vigor. 85% live crown ratio.							◆
5	Acer palmatum (Japanese maple)	2	31	8	Included bark. Located near building. Asymmetrical crown.							◆
6	Thuja plicata (western red cedar)	66	12	17	Base directly adjacent to retaining wall. Reduced vigor. 95% live crown ratio.							◆
7	Thuja plicata (western red cedar)	60	12	15	Base directly adjacent to retaining wall. Connected lean. Reduced vigor. 95% live crown ratio.							◆
8	Ulmus americana (American elm)	26	11	9	Located between parking lot and paved pathway. Cub heaving. Ingrown chain-link fence and metal top rail.							◆

ADJACENT PARK												
101	Ulmus americana (American elm)	73	22	26	Joint crown with tree # 102 and # 103. Asymmetrical crown.							◆
102	Ulmus americana (American elm)	51	12	23	Phototropic lean west. Joint crown with tree # 101 and # 103. Asymmetrical crown. Historical failure of age scaffold limb. Woundwood development is poor.							◆
103	Ulmus americana (American elm)	76	22	26	Joint crown with tree # 101 and # 102. Asymmetrical crown.							◆
104	Ulmus americana (American elm)	2	49	10	9	Suppressed by adjacent trees. Joint crown with tree # 105.						◆
105	Ulmus americana (American elm)	2	36	10	8	Suppressed by adjacent trees. Joint crown with tree # 104.						◆
107	Acer pseudoplatanus (sycamore maple)	35	11	11	2 Co-dominant leaders at base. Joint crown with tree # 108.							◆
108	Acer pseudoplatanus (sycamore maple)	4	72	9	11	Other stem(s) @ 9cm. 4 Co-dominant leaders at base. Joint crown with tree # 107.						◆

dk 9

17020_Tree Report

Tree No.	Species	# of Stems	DBH-Cm	Height - m	Field Observations	Dead	Poor	Fair	Good	Remove	Relocate	Note
0977	Pinus sylvestris (Scots pine)	74	15	20	Joint crown with tree # 0981. Asymmetrical crown. 3 Co-dominant leaders at 2m above ground. Historical pruning wound. @ ± 35cm. at 3m above ground. Woundwood development is poor. 90% live crown ratio.							◆
0981	Pinus sylvestris (Scots pine)	77	12	20	Joint crown with tree # 0983. Asymmetrical crown. 2 Co-dominant leaders at 2m above ground. Included bark. 60% live crown ratio.							◆
0983	Lindodendron var. (tulip tree)	47	12	17	Girdling root(s). Joint crown with tree # 0981. Asymmetrical crown.							◆
0988	Acer platanoides (Norway maple)	60	19	17	Suppressed by adjacent trees. Phototropic lean north. Asymmetrical crown. Heavy loaded north.							◆
0997	Ulmus americana (American elm)	164	35	27	Girdling root(s). 3 Co-dominant leaders at 2m above ground. Included bark all the way to base. Deadwood minimal.							◆

TREE NOTES

- ◆ Non-Bylaw trees under 0.20 DBH and dead trees listed on shaded background
- ◆ Bylaw trees over 0.20 DBH are listed on a white background.

dk 10

17020_Tree Report

PLAN # 74
DP 18-837117
 JUL 07 2020