



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** October 26, 2023

**From:** Wayne Craig  
Director, Development

**File:** DP 22-013200

**Re:** Application by Oval 1 Holdings Ltd. for a Development Permit at 6011 River Road

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### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 368 residential units in three 13-storey high-rise multi-family apartment buildings at 6011 River Road on a site zoned “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) Increase the maximum permitted number of Class 1 bicycle storage spaces in a bicycle room from 40 to 70 when located in family-sized bicycle storage lockers.

for  
Wayne Craig  
Director, Development  
(604-247-4625)

WC:sb  
Att. 5

## Staff Report

### Origin

Oval 1 Holdings Ltd. has applied to the City of Richmond for permission to develop three 13-storey residential buildings at 6011 River Road (Attachment 1) on a site zoned “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)”. The site is currently vacant and contains some construction trailers that are being stored on-site for use during construction on the subject site.

Highlights of the proposed development include:

- The subject application is the second phase of five phases of residential development located from the west side of the No. 2 Road Bridge to Oval Way. The first phase of the development is located across River Road to the East (Attachment 1).
- The subject development includes 368 strata residential apartment units in a range of unit types from studio to three-bedroom.
  - Unit areas are proposed to range from approximately 41.8 m<sup>2</sup> to 153.3 m<sup>2</sup> (450 ft<sup>2</sup> to 1,650 ft<sup>2</sup>).
- The development will be connected to a City-owned Low Carbon Energy System.
- Approximately 742 m<sup>2</sup> (7,987 ft<sup>2</sup>) of indoor amenity space.
- Approximately 3,955 m<sup>2</sup> (42,572 ft<sup>2</sup>) of outdoor amenity space.
- Approximately 1,668 m<sup>2</sup> (17,957 ft<sup>2</sup>) of publicly accessible open space.

A Servicing Agreement (SA) is required as a condition of Development Permit (DP) issuance and includes, but is not limited to, design and construction of new water mains, storm sewer upgrade, frontage improvements and servicing connections. The frontage improvements are off-site and on-site in the Statutory-Rights-of-Way (SRW) registered on Title. This includes bridge maintenance and emergency vehicle access also serving as public pedestrian and cycling access on-site in the SRW area.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

To the North: Across the curving River Road diversion, City dike with public walkway fronting the Moray Channel of the Fraser River.

To the East: Across the River Road diversion, the first phase of the River Green development, a high-rise apartment development with central east-west pedestrian strollway, on lands also zoned “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)”.

To the South: Across River Road, is existing industrial business park development on lands zoned “Industrial Business Park (IB1)” designated in the City Centre Area Plan (CCAP) for mixed-use low-rise limited commercial & high-density townhouses (General Urban (T4)) and are subject to a rezoning application (RZ 22-026618) that is currently under review for mixed-use development.

To the West: Across No. 2 Road and on the other side of the No. 2 Road Bridge, are two vacant lots zoned “High Rise Apartment and Congregate Housing (ZHR3) – Dover Crossing” designated in the Dover Crossing Sub-Area Plan for “Gateway” High-Density Apartments and Affordable Housing. The northern lot is also owned by the same developer and subject to a Development Permit application (DP 22-022039) under review for high-rise residential development. A Development Permit (DP 19-866690) was issued in July 2023 for the southern lot to permit a six-storey affordable housing building in partnership with BC Housing and a non-profit housing provider.

### Public Consultation

Development Permit application informational signage has been installed on the subject site. Staff have received correspondence from the public (Attachment 3) about the Development Permit application regarding the following:

- Building massing stepping down towards the river is different from the first phase of development in the River Green development to the east – *The proposal complies with the permitted density and building height of the site’s existing zoning. The proposed development has been designed to respond to the subject site with a current architectural design approach that differs from the first phase of development. The building massing provides a different skyline and different approach to stepping down towards the river.*
- Tower form and traffic congestion resulting from the proposed development – *The proposal complies with the permitted land use and density of the site’s existing zoning. A traffic assessment was completed by the developer’s Transportation Engineer and confirms that the road network can support the traffic generated by the proposed development.*

### Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is in compliance with the Zoning Bylaw and “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)” zone except for the zoning variance noted below.

**Zoning Compliance/Variances** (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Increase the maximum permitted number of Class 1 bicycle storage spaces in a bicycle room from 40 to 70 when located in family-sized bicycle storage lockers.

*(Staff supports the proposed variance as it enables the provision of an increased number of Class 1 bicycle storage spaces, it would facilitate the provision of family-sized lockers that accommodate two bicycles in each locker, and the number of these bicycle lockers is limited to no more than 35 in each bicycle storage room.)*

**Advisory Design Panel Comments**

The Advisory Design Panel was supportive of the proposal subject to the applicant taking into consideration the Panel's comments. An annotated copy of the relevant excerpt from the Advisory Design Panel Minutes from May 17, 2023, is attached for reference (Attachment 4). The design response from the applicant has been included immediately following the specific Advisory Design Panel comments and is identified in '*bold italics*'.

**Analysis***Conditions of Adjacency*

- The proposal is located on the east side of the No. 2 Road Bridge and is phase two of a planned five phase development.
- Along the curved River Road frontage of the subject site at the north and east edges of the development are raised patios with direct access to a mixed-use path, planting beds and entry plaza areas including Class 2 bicycle racks and stair and ramp connections to the entry lobbies of the northern and southeastern towers.
- Along the south River Road frontage of the development are patios with direct access to the River Road sidewalk, planting beds, Class 2 bicycle racks, stair and ramp connections to the entry lobbies of the southeastern and southwestern towers and a central vehicle access to an auto court.
- Along the west edge of the development, tree and shrub planting, mesh supporting vine planting help soften the edge of the interior service areas enclosure and its service vehicle access, as well as the exterior service road for future bridge maintenance needs. The service road is also designed as a pathway and is located within an existing Statutory-Right-of-Way that provides for public use access and bridge maintenance access.
- An acoustic report has been provided by the applicant's qualified professional and required noise attenuation, building envelope upgrades and thermal comfort measures will be provided. The detailed Building Permit design for the development will comply with the City's requirements related to aircraft noise-sensitive development, as required by the existing legal agreement registered on Title.
- Due to the proximity of the subject site to the No. 2 Road Bridge, prior to DP issuance registration of a legal agreement on Title is required, including indemnification of the City associated with any settlement or damage to the No. 2 Road Bridge that is reasonably attributable, in part or in whole, to development of, and construction on, the site. The agreement will include requirements regarding (i) third-party monitoring of any settlement impacts at owner's cost, (ii) third-party structural assessment and potential settlement

tolerances assessment at owner's cost prior to underpinning or construction permits and (iii) confirmation that no settlement or damage to the No. 2 Road Bridge has occurred or payment of any repair costs prior to occupancy.

- The developer has voluntarily requested to undertake works within the area under the No. 2 Road Bridge to accommodate animation and public use of the area. This request is being reviewed by Parks staff and should this proceed further, it will be addressed through a Parks process separate from the Development Permit.

### ***Urban Design and Site Planning***

- The three 13-storey concrete buildings are proposed at the three corners of the generally triangular shaped subject site. Along the east edge of the site, shoulder portions of the buildings step down in height towards the Moray Channel of the Fraser River.
- Skyline interest is provided through the building height variation as well as reduced massing at the upper floors and trellis colonnades on the three towers.
- The buildings are atop a two-level underground parking structure and a single-level service podium wrapped with ground-level units.
- The main entry lobbies for the three towers front onto River Road. The lobby for the northern tower is located along the east edge of the subject site, the lobby for the southwestern tower is located along the south edge of the subject site and the lobby for the southeastern tower fronts onto both the east and south edges of the subject site.
- Along the west edge of the development is a ground-level service road secured for future potential bridge maintenance needs and designed to provide a walkway amenity that is also available for public use. At podium level, the towers face outdoor amenity space and a one-storey indoor amenity building for the shared use of all residents in the development.
- Approximately 742 m<sup>2</sup> (7,987 ft<sup>2</sup>) of indoor amenity space is provided over four levels for the shared use of all residents in the development.
  - Approximately 211 m<sup>2</sup> (2,266 ft<sup>2</sup>) is provided on the 10<sup>th</sup> level roof of the southeastern tower featuring social gathering and karaoke facilities.
  - Approximately 162 m<sup>2</sup> (1,740 ft<sup>2</sup>) is provided on the 9<sup>th</sup> level roof of the northern tower featuring kitchen, dining and social gathering facilities.
  - Approximately 293 m<sup>2</sup> (3,155 ft<sup>2</sup>) is provided on the podium roof in a fitness facility featuring exercise equipment, multi-purpose room, sauna, steam room and change rooms.
  - Approximately 77 m<sup>2</sup> (826 ft<sup>2</sup>) is provided on the ground level of the southeastern tower.
- Outdoor amenity space proposed in this development exceeds the minimum Official Community Plan (OCP) requirements and is provided over four levels for the shared use of all residents in the development. Approximately 3,955 m<sup>2</sup> (42,572 ft<sup>2</sup>) of outdoor amenity space is provided, more than two thirds more than the minimum requirement (i.e. 2,208 m<sup>2</sup> for 368 dwellings).
  - Approximately 322 m<sup>2</sup> (3,466 ft<sup>2</sup>) is provided on the tenth level roof of the southeastern tower.
  - Approximately 286 m<sup>2</sup> (3,076 ft<sup>2</sup>) is provided on the ninth level roof of the northern tower.
  - Approximately 1,679 m<sup>2</sup> (18,076 ft<sup>2</sup>) is provided on the podium roof.

- Approximately 1,668 m<sup>2</sup> (17,957 ft<sup>2</sup>) is provided at grade providing a pathway connection to River Road at the north and south ends of the subject site that also serves as a bridge maintenance service road and is also publicly accessible as secured through an existing Statutory-Rights-of-Way registered on Title. Further details are provided in the Landscape Design and Open Space Design section of this report.
- Vehicle access to the two-level underground parking structure will be provided from the south River Road frontage through an entry court.
- Truck access to the site will be provided from River Road along the north edge of the subject site. Two loading spaces, garbage/recycling storage and collection areas are located inside the podium structure.
- Registration of a City Centre Impacts legal agreement on Title is required prior to Development Permit issuance, to ensure that future owners are aware of the potential impacts of the sites urban setting, including but not limited to potential impacts of future development.
- The proposed development must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood plain indemnity covenant on Title is required prior to Development Permit issuance, along with the discharge of the existing older flood plain indemnity covenant registered on Title (charge BB509434).

#### ***Architectural Form and Character***

- The project proposes a contemporary architectural style featuring vertical tower expression, horizontal street wall expression and a distinctive gateway expression facing the No. 2 Road Bridge entry to Lulu Island. Vertical expression is achieved on the three towers through framing, stacked glazing, stacked balconies and inset penthouse massing. Horizontal street wall expression is achieved along the east edge of the subject site through the length of building massing, length and alignment of horizontal balcony massing and complemented by a strong podium with horizontal band of glazing. A distinctive gateway expression is achieved facing the No. 2 Road Bridge through the provision of a staggered pattern of projecting balconies resulting from offsetting double-height balconies in separated paired vertical bays, providing matching trellis colonnades on the three towers and reducing and simplifying the massing at the top of the buildings.
- Along the west edge of the site, the southwestern tower façade turns the corner, providing visual interest along the west walkway. The one-storey podium truck access and service areas are enclosed to screen from views and metal mesh is attached to the concrete wall, supporting vine growth to soften the edge. The second-floor indoor amenity building is located at the rooftop edge of the podium, glazing located behind metallic finish fins, which are angled down over the podium wall to extend visual interest downward.
- The exterior cladding is a combination of window wall with graphite grey and clear anodized aluminum framing with floor banding and spandrels, charcoal grey and sandstone coloured metal panel, painted concrete, clear glazed guardrails with clear anodized aluminum mullions, brushed brass finish shade fins, frosted glass privacy screens and basalt and sandstone stone cladding.
- Entry lobbies are identified with columns and covered areas framing generously sized open and clear-glazed interior spaces, which are enhanced with stone accents.
- The colour palette of charcoal grey and sandstone beige, with accents of brushed brass colour and basalt and sandstone stone provide accent and visual interest.

***Tree Management***

- There are no existing trees on the subject site. The developer has submitted a Certified Arborist's Report; which identifies 10 existing City trees along the west property line (Tree Management Plan included in DP plans). The City's Park Arboriculture staff have reviewed the site and require the protection of the City trees.
- To ensure the protection of the 10 existing City trees, the provision of a \$95,000.00 tree survival security and registration of a tree survival security legal agreement on Title is required prior to Development Permit issuance.

***Landscape Design and Open Space Design***

- Along the River Road frontages of the development, raised semi-private patios with individual stair accesses are buffered with planting at grade and in 0.6 m high raised planters.
- Along the east River Road frontage, entry plazas are provided at the northern and southeastern tower entry lobbies, including Class 2 bicycle racks, as well as stair and curved ramp connections to the entry lobbies. Public Art is intended to be centrally located along frontage at the northern tower entry plaza.
- Along the south River Road frontage, the vehicle access auto court includes edge planting beds, a feature central planting bed, stair and ramp access to the southwest and southeast tower entry lobbies. The paver design includes a striped pattern over most of the auto court area to visually break down the open space and add visual interest. To provide clear pathways for persons with visual challenges, solid coloured pathways to the lobby entries are provided.
- Along the west edge of the subject site, the service road connecting to north and south portion of River Road is designed as a publicly accessible pathway amenity including seating benches, edge planting beds, galvanized metal mesh trellis and off-site tree retention. Vine, shrub and tree planting will provide pedestrian scale and soften the edge along the southwestern tower and podium. The pathway and maintenance access in the Statutory-Right-of-Way area will be designed in detail and constructed through the Servicing Agreement.
- Outdoor amenity space is provided over four levels for the shared use of all residents in the development.
  - At ground level, proposed outdoor amenity space includes a pathway connection between the portions of River Road at the north and south ends of the site that is publicly accessible and complemented with seating, planting and tree planting and protection of off-site City trees.
  - At podium roof level, proposed outdoor amenity space includes outdoor plunge pools, seating, outdoor BBQ and dining area, sunbathing area, open lawn, bermed planting beds and edge planting.
  - At the ninth floor level, proposed outdoor amenity space surrounds the ninth floor level indoor amenity pavilion and includes a zen garden with viewing deck and surrounding planting beds.
  - At the tenth floor level, proposed outdoor amenity space surrounds the tenth floor level indoor amenity pavilion and includes outdoor BBQ and dining area, view and social gathering areas and planting beds.

- Children's play is accommodated at the podium roof level with a play structure, stepping and laying logs, wood decks and open lawn areas. The children's play structure includes climbing and slide activities and covered social and imaginative play area underneath. Additional children's play opportunity is provided in the podium level indoor amenity multi-purpose room. There are also bicycle riding opportunities on the ground level public pathway along the west edge of the subject site.
- Extensive green roof will be provided on top of the three indoor amenity structures.
- The plant palette selection includes native and non-native, deciduous and coniferous species with a variety of textures and colours, providing all-season interest. The landscape design includes planting of 221 trees of 14 species, including coniferous species of cedar and pine, and deciduous species of maple, dogwood, magnolia, crabapple, cherry, snowbell and sumac.
- An urban agriculture garden area is provided at the podium roof outdoor amenity area including raised vegetable gardening planters, work table with tool storage, compost bin and hose bib.
- Lighting plans are included in the DP plans. Lighting will be provided throughout the site and is to be directed downwards and into the site.
- On-site irrigation will be provided for all planted areas.

#### ***Public Art***

- The developer intends to install public art on-site. Staff support the developer's proposal, which is consistent with City Policy and includes a voluntary developer contribution of at least \$324,130.95, based on City-approved rates and the proposed floor area. Prior to Development Permit issuance, a legal agreement will be registered on Title requiring the developer's implementation of a Public Art Plan for the subject site, prepared by an accredited professional and secured by a Letter of Credit and/or voluntary cash contribution, to the satisfaction of the City.
- The provision of public art on-site of this value requires the public art plan be forwarded for consideration by the Richmond Public Art Advisory Committee and, as required, Council, followed by the registration of the Public Art Plan on Title to secure the implementation of the approved plan to the City's satisfaction.

#### ***Crime Prevention Through Environmental Design***

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- Public areas, pedestrian pathways and resident private/semi-private areas are designed to be well-defined by soft landscaping and hard fencing/gates to clearly delineate boundaries of uses.
- The entry lobbies are designed to be visually open from the entry court and sidewalk.
- The parkade entry (overhead gate) is designed with clear sight lines.
- Views from interior spaces provide passive surveillance opportunities to outdoor amenity areas and patios. Views from upper units provide passive surveillance opportunities of grade-level public pathway.



***Sustainability and Renewable Energy***

- The subject site is required to be connected to the City's Oval District Energy Utility low-carbon energy system. Registration of legal agreements securing the provision of appropriate building systems and connection to the district energy utility is required prior to Development Permit issuance.
- The developer has committed to design the subject development to meet the City's instream application Step Code requirement of Step 2 with a low carbon energy system, which is supported by preliminary energy modelling prepared for the subject development.

***Transportation***

- The two levels of underground parking accommodate a total of 479 parking spaces, including 66 visitor parking spaces and two car share spaces. A total of 12 accessible parking spaces will be provided.
- The proposed parking rates are consistent with the Richmond Zoning Bylaw parking requirements, including those under the site-specific ZMU4 zone, subject to the provision of Transportation Demand Management measures (TDMs) to the satisfaction of the City, which are required to be secured through the registration of legal agreement(s) prior to Development Permit issuance.

The TDMs include:

- Provision of one year of two-zone monthly transit passes for 35 per cent of the residential units (i.e., 129 of the proposed 368 residential units).
- Provision of more than two Class 1 bicycle storage spaces per dwelling unit.
- Provision of bicycle maintenance and repair facilities in the development.
- Provision of publicly accessible e-bike and e-scooter parking located within a Public-Rights-of-Passage SRW and generally located at the south end of the SRW along the west edge of the subject site.
- Provision of Level 2 240V electric plug-ins, with four outlets on a 40-amp branch breaker, for 100 per cent of residential parking spaces and 24 per cent of visitor parking spaces.
- Provision of two car-share dedicated parking spaces, equipped with quick charge 240V electric charging stations and associated Public Rights of Passage SRW to facilitate public access to the car share vehicles.
- There is a total of 840 Class 1 bicycle storage spaces provided in secure rooms or lockers.
- There is a total of 76 Class 2 bicycle storage spaces provided throughout the site.

***Accessible Housing***

- The proposed development includes 40 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw and are permitted a density exclusion of 1.86 m<sup>2</sup> (20 ft<sup>2</sup>) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell hand rails;
  - lever-type handles for plumbing fixtures and door handles; and

- solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
- The building lobbies are accessed from the new fronting sidewalk and multi-use path and the southern towers (Towers B & C) building lobbies are also accessed from the entry court.

### **Conclusions**

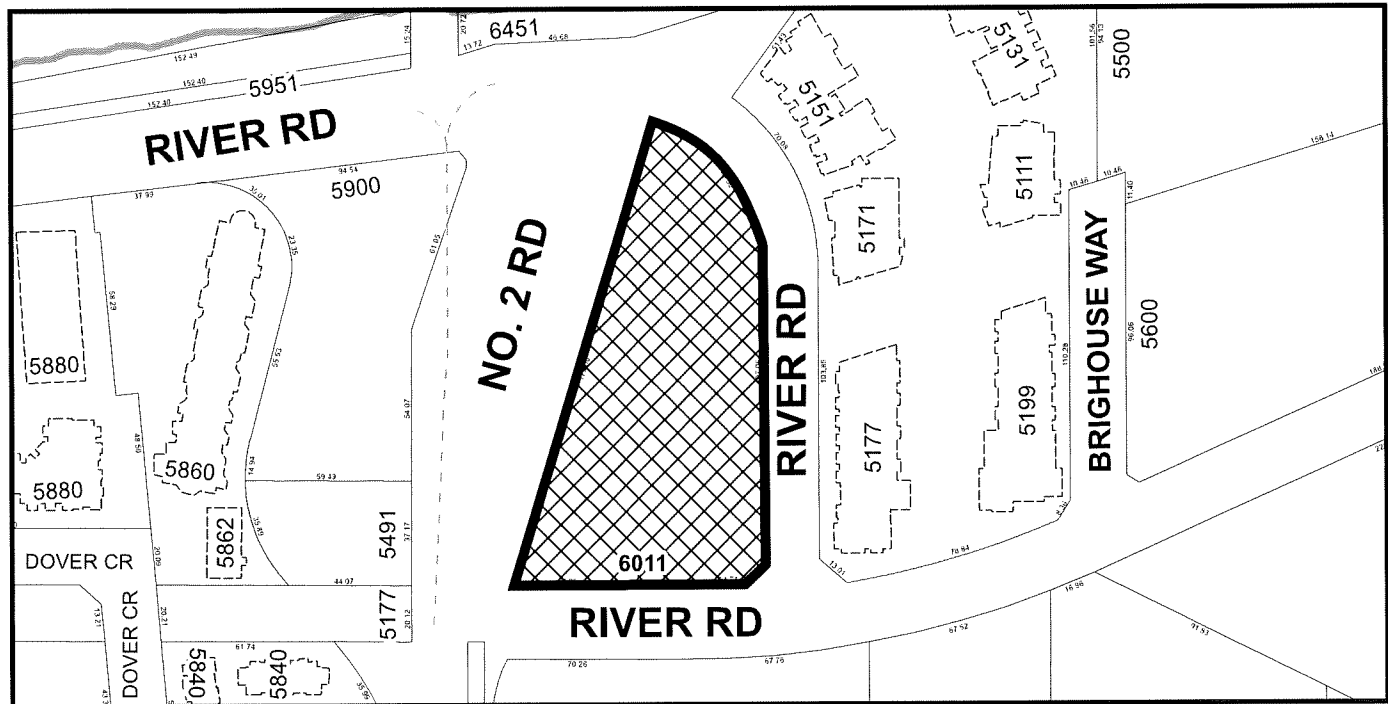
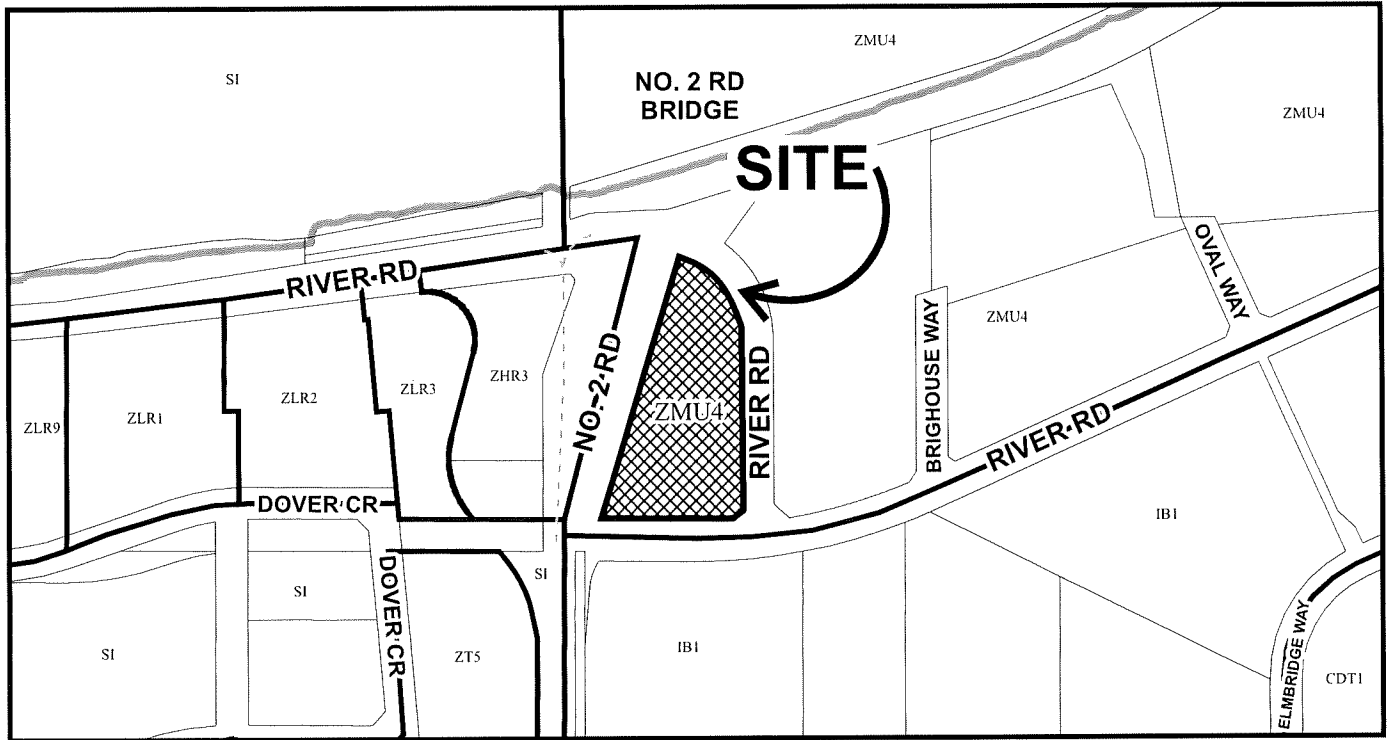
As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Sara Badyal  
Planner 3  
(604-276-4282)

SB:he

- Att.
- 1: Location Map
  - 2: Development Application Data Sheet
  - 3: Public Correspondence
  - 4: Advisory Design Panel Meeting Minutes (Annotated Excerpt from May 17, 2023)
  - 5: Development Permit Considerations



DP 22-013200

Original Date: 05/31/22

Revision Date 06/01/22:

Note: Dimensions are in METRES



<b>DP 22-013200</b>		<b>Attachment 2</b>	
Address	6011 River Road		
Applicant	Oval 1 Holdings Ltd., Inc. No. 0775292		
Planning Area(s)	Oval Village (City Centre)		
	<b>Existing</b>	<b>Proposed</b>	
Site Area	10,042.9 m <sup>2</sup>	No Change	
Land Uses	Vacant	Multi-family residential	
OCP Designation	Mixed Use	Complies	
CCAP Designation	Urban Centre T5 (45m)	Complies	
Zoning	High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)	No Change	
Number of Units	None	368 strata residential apartments	
	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio	Max. 3.0 (116,574.3 m <sup>2</sup> ) for the combined area of 6011 River Road, 5500 & 5600 Brighthouse Way	0.79 (30,723 m <sup>2</sup> ) for the combined area of 6011 River Road, 5500 & 5600 Brighthouse Way	None permitted
Lot Coverage	Building Max. 40% Landscaping Min. 40%	Building 36.8% Landscaping Min. 40.3%	None
Setbacks	No. 2 Road Min. 10 m River Road Min. 3 m	No. 2 Road Min. 10 m River Road Min. 3 m	None
Building Height	Max. 47 m GSC, except Max. 18 m within 20 m of City Dike	Max. 47 m GSC	None
Lot Size	Min. 10,000 m <sup>2</sup>	10,042.9 m <sup>2</sup>	None
Parking Spaces	City Centre Zone 3/ZMU4 with TDMs 411 Strata residential 63 Visitor 2 car share 476 Total	City Centre Zone 3/ZMU4 with TDMs 411 Strata residential 66 Visitor 2 car share 479 Total	None
Accessible Parking	Min. 2%	2.5%	None
Small Car Parking	Max. 50%	8.4%	None
Tandem Parking	Permitted	10 spaces	None
Loading Spaces	2 medium	2 medium	None
Bicycle Spaces	736 Class 1 (TDM) <b>Max. 40 per room</b> 74 Class 2	840 Class 1 (TDM) <b>Max 70 per room</b> 76 Class 2	<b>Variance Requested</b>
Amenity Space – Indoor	Min. 736 m <sup>2</sup>	742 m <sup>2</sup>	None
Amenity Space – Outdoor	Min. 2208 m <sup>2</sup>	3,977 m <sup>2</sup>	None

## Public Correspondence

**From:** Tom Leung <[tomleung88@hotmail.com](mailto:tomleung88@hotmail.com)>  
**Sent:** August 6, 2022 5:33 PM  
**To:** DevApps <[DevApps@richmond.ca](mailto:DevApps@richmond.ca)>  
**Subject:** Re: Development Permit application progress

Hi,

I am inquiring the progress of a development permit at 6011 River Road. Please confirm if it is still accepting public opinion? What's the deadline to accept public opinion. Could we be at the list receiving coming information about that permit, including if there will have a hearing.

One main concern as it looks the buildings designed do not stepping down toward the River, not in keeping with the character of the rest of Surrounding development! It looks from their image it's too aggressive, not really sharing the view fairly with neighbours!

Best,

Thomas Leung

From: Peter V. Varsek <vtginc@gmail.com>  
Sent: August 30, 2022 2:13 PM  
To: DevApps <DevApps@richmond.ca>  
Subject: RE: DEVELOPMENT PERMIT- 22-013200-6011 RIVER ROAD RICHMOND BC

RICHMOND PLANNING DEPARTMENT

As a Brighthouse Homeowner for 31 years- I strongly object to the PROPOSED- 3 x 13 storey development at 6011 River Road.

This will add too much congestion to an area not able to handle it. I voice my concern, however, I give little stock to public input as die seems to be cast in favour of tower development in this area of RMD.

Regards

Peter V. Varsek  
6260 Mara Crescent  
RMD, V7C 2P9

## Annotated Excerpt from the Minutes from Advisory Design Panel Meeting

Wednesday, May 17, 2023 – 4:00 p.m.

### DP 22-013200 – HIGH-RISE RESIDENTIAL BUILDING

ARCHITECT: Dialog  
LANDSCAPE ARCHITECT: PFS Studio  
PROPERTY LOCATION: 6011 River Road

#### Applicant's Presentation

Jayne Colville, ASPAC Developments, Architect Vance Harris, Dialog, and Landscape Architect Chris Phillips, PFS Studio, presented the project and answered queries from the Panel.

#### Panel Discussion

Comments from Panel members were as follows:

- Appreciate the presentation materials and details provided by the applicant – *Noted.*
- The change in design for the proposed development from the existing fabric in the overall River Green project is well executed – *Noted.*
- Investigate opportunities for the north building amenity pavilion to better stand out and make it a feature to provide more visual interest as it is visible from the No. 2 Road bridge – *Design improved. The indoor amenity building at the podium level was revised to include signature accent brushed brass metal panel material.*
- Proposed amenity spaces on top of the buildings are successful and would be one of the best well executed rooftop amenity spaces to be seen in the City – *Noted.*
- Appreciate the accessibility of all outdoor and indoor amenity spaces in the project for people with disabilities – *Noted.*
- Appreciate that the Basic Universal Housing (BUH) units are not concentrated in one area but are distributed on Levels 1 to 11 of Building A and Building B – *Noted.*
- Concerned that all BUH units are one-bedroom units as it would limit the opportunity for families to support persons with disabilities and reside in the proposed development; would also limit the opportunity for a person with a disability requiring an extra bedroom to reside in the proposed development – *Design improved. BUH unit mix and locations revised to provide a variety of 1-bedroom and 2-bedroom option.*
- The project is exciting and interesting; appreciate all the proposed rooftop terraces; also appreciate that the applicant will work with the strata management to develop a long-term maintenance plan to ensure that potential water leaks from outdoor terraces will be dealt with properly – *Noted.*
- Overall, the massing is well managed; the articulation and expression of buildings are successful; however, consider introducing colour variations to buildings in order to provide more identity to individual buildings and portions of buildings, in particular to the nine-storey portion of Building A and the 10 storey portion of Building B – *Design improved. Recognizing a desire to enhance the sense of gateway, the material colour palette used in the north, south and west elevations of the tower closest to the bridge, the southwest tower*

*(Tower C), was revised to provide a more prominent sandstone and charcoal coloured façade pattern at the balcony slab edges and soffit locations. The intent for the internal courtyard facades is to use a neutral light colour to enhance the sense of lightness for the courtyard facing balconies. The balcony massing provides enhanced differentiation of façade elements in the proposed areas, and additional colour variation is not required.*

- Support the Panel comment to make the north amenity pavilion rooftop more expressive considering its visibility from No. 2 Road; would also provide more visual interest to residential units above – *See comment above.*
- The amount of paving on the main entry court (auto court) is extensive; consider making it more pedestrian scale, e.g. by installing a U-shaped drive aisle to reduce the amount of paving and provide better screening to the parkade entry – *Design improved. Trees along the parkade wall were changed from deciduous to coniferous and podium level overhanging evergreen planting was added, enhancing parkade screening and softening the hardscape. The entry court was sized to accommodate the necessary delivery trucks and Canada Post needs and features a prominent central landscaping feature to enhance the entry court and screen the parkade entry.*
- Some of the accessible routes from the main entry court up to the other entries are circuitous; investigate opportunities to make those accessible routes more integrated with the general circulation in the proposed development – *Design improved. Accessible circulation routes have been optimized where possible. Each building has their own primary and accessible entry lobby, and elevator to enhance connectivity to the street and parking below. Given the wedge shaped site, it is not possible to connect the north tower (Tower A) to the entry court.*
- Review potential CPTED concerns regarding the loading and garbage collection area, e.g. consider moving the security gate – *Design improved. Security gate relocated.*
- Appreciate the proposed public plaza under the No. 2 Road bridge; of the two design options presented by the applicant, would prefer the one with more active program uses as it would be more attractive to a wider range of users; consider adding more active uses for this option – *Noted. Opportunities will be further reviewed with Parks and Engineering staff.*
- Would be interesting to see how the low height zones under the bridge would be treated in relation to CPTED concerns in the design of the plaza under the bridge – *See comment above.*
- Proposed location for the Vista switch is right on the prominent east-west axis of the proposed development; investigate opportunities to mitigate the visual impact of this large electrical equipment, e.g. with screening and/or by relocating to a less prominent location on the site – *Considered. While streetscape location is not ideal, is required to meet BC Hydro requirements for proximity to a street. The mid-block location was chosen to mitigate the visual impact.*
- Appreciate the highly successful treatment of the SRW, which is one of the best designed SRWs to be seen in Richmond projects; appreciate that the side of the building has been successfully landscaped while retaining all the existing trees – *Noted.*
- Appreciate that various scales of activity were able to fit in the project; appreciate the human and pedestrian scale design of the project, particularly the pedestrian scale treatment of Building C at the corner of No. 2 Road and River Road – *Noted.*
- The package provided by the applicant was well thought out including the high quality plans and 3D renderings which were useful in understanding the project's design – *Noted.*



- The design and programming of outdoor spaces are well executed – *Noted.*
- Appreciate the provision of public space under the bridge for public activities and community gatherings; understand that long-term maintenance concerns have to be worked out with the City; ensure the design materials do not require a high level of maintenance – *See comment above.*
- The gateway design of the project is successful and the project is a welcome addition to the City – *Noted.*

**Panel Decision**

It was moved and seconded

*That DP 22-013200 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.*

**CARRIED**



**Address:** 6011 River Road

**File No.:** DP 22-013200

**Prior to forwarding this application to Council for Development Permit issuance approval, the following are required to be completed:**

1. (DPP Meeting Notification) Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City's Consolidated Fees Bylaw No. 8636, as amended.
2. (Landscape Security) Entering into a security agreement and receipt of a Letter-of-Credit for landscaping security in the amount of \$1,513,000.00.
3. (Tree Survival Security) Entering into a security agreement and receipt of a Letter-of-Credit for tree survival security in the amount of \$95,000.00 for the protection of the City's 10 existing trees located immediately west of the subject site. Subject to tree survival, the security is to be released 90% at completion of Development Permit works and the remaining 10% at the end of a one year maintenance period. In the event tree survival is not achieved, the developer shall be required to make a cash-in-lieu contribution to the sole satisfaction of the City.
4. (Flood Indemnity Covenant)
  - a) Discharge of the 2007 flood indemnity covenant from Title (charge BB509434).
  - b) Registration of a flood indemnity covenant on Title (Area A).
5. (City Centre Impacts) Registration of a legal agreement on Title stipulating that the development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlook and reduced privacy, increased ambient noise and increased levels of night-time ambient light, and requiring that the owner provide written notification of this through the disclosure statement to all initial purchasers, and erect signage in the initial sales center advising purchasers of the potential for these impacts.
6. (Tandem Parking Assignment) Registration of a legal agreement on title ensuring that where two parking spaces are provided in a tandem arrangement that both parking spaces must be assigned to the same dwelling unit, and prohibiting the conversion of parking area into other uses.
7. (Parking Strategy) City acceptance of the developer's offer to voluntarily contribute towards various transportation-related improvements and secure parking in compliance with Zoning Bylaw requirements and transportation demand management (TDM) parking reductions.
  - a) Transit Pass Program – registration of a legal agreement on Title to ensure the execution and completion of a transit pass program, including the following method of administration and terms:
    - i) Provide one year of two-zone monthly transit passes for 35 per cent of the residential units (i.e., 129 of the proposed 368 residential units).
    - ii) Letter of Credit provided to the City for 100% of transit pass program value.
    - iii) Administration by TransLink, housing society or management company. The owner is not responsible for the monitoring of use of transit passes but only noting number of "subscribed" users to the program, until full unit count is exhausted.
    - iv) If the transit pass program is not fully subscribed within one year, the program is to be extended until the equivalence of the costs of the full one year transit pass program has been exhausted. Should not all transit passes be utilized by the end of the second year, the remaining funds equivalent to the value of the unsubscribed transit passes are to be

transferred to the City of Richmond for alternate transportation demand management measures at the City's discretion.

- v) The availability and method of accessing the two-zone transit passes is to be clearly explained in the tenancy and sales agreements.
- b) Enhanced Bicycle Facilities - registration of a legal agreement on Title to ensure the provision and maintenance of the following:
  - i) "Class 1" Bike Storage provided at an increased rate of 2 Class 1 bicycle spaces per unit.
  - ii) Battery charging provisions to be provided for 1 in 10 Class 1 bicycle parking spaces.
  - iii) Bicycle maintenance and repair facilities: three bicycle maintenance and repair facilities, one for each of the three buildings for the shared use of all of the residents, including bicycle repair stand (with tools); foot pump, and faucet, hose and drain for bicycle washing. A note is required on the Building Permit\*. Appropriate signage is required.
  - iv) "No development" shall be permitted, restricting Development Permit\* issuance for any building on the lot, until the developer provides for the required enhanced bicycle facilities.
  - v) No Building Permit\* shall be issued for a building on the lot, in whole or in part, until the developer provides for the required enhanced bicycle facilities and a letter of confirmation is submitted by the architect assuring that the facilities satisfy all applicable City's requirements.
  - vi) "No occupancy" shall be permitted, restricting final Building Permit inspection granting occupancy for any building on the lot, in whole or in part, until the required enhanced bicycle facilities are completed and have received final Building Permit inspection granting occupancy.
- c) E-bike and E-scooter Parking – registration of a legal agreement on Title to ensure the provision and maintenance of a publicly accessible parking area on-site for e-bikes and e-scooters within a PROP SRW. Facilities to be constructed and maintained by the owner.
- e) Car-Share Parking – Registration of a legal agreement on Title requiring that no development shall be permitted, restricting Building Permit\* issuance until the developer provides for parking for two (2) car-share vehicles, together with electric vehicle (EV) charging stations, and contractual arrangements with a car-share operator, all to the satisfaction of the City. More specifically, the car-share parking requirements shall include the following:
  - i) Secures the car-share facility on the lot via a statutory right-of-way(s) and easement(s) registered on Title and/or other legal agreements, including provision of 24/7 public pedestrian and vehicle access.
  - ii) The car-share parking spaces shall be located together close to the entrance of the parking structure where they will be with safe, convenient, universally-accessible, identified with signage, and provide for 24/7 public pedestrian and vehicle access.  
The required car-share spaces shall be provided in addition to that parking provided to satisfy Zoning Bylaw parking requirements with respect to any residential and non-residential uses on the lot.
  - iii) The car-share spaces shall be equipped with electric vehicle (EV) quick-charge (240 V) charging stations for the exclusive use of car-share vehicles parked in the required car-share spaces.
  - iv) Users of the car-share spaces shall not be subject to parking fees, except as otherwise determined at the sole discretion of the City.
  - v) Unless otherwise agreed to in advance by the City, in the event that the car-share facility is not operated for car-share purposes as intended via the subject Development Permit application (e.g., operator's contract is terminated or expires), control of the car-share facility

shall be transferred to the City, at no cost to the City, and the City at its sole discretion, without penalty or cost, shall determine how the facility shall be used going forward.

- vi) No Building Permit\* shall be issued for a building on the lot, in whole or in part, until the developer provides for the required car-share facility.
- vii) “No occupancy” shall be permitted on the lot, restricting final Building Permit inspection granting occupancy for any building, in whole or in part, until the developer:
  - a) Completes the required car-share facility on the lot and it has received final Building Permit inspection granting occupancy.
  - b) Enters into a contract with a car-share operator for the operation of the car-share spaces on the lot for a minimum term of three (3) years, unless otherwise determined to the satisfaction of the City.

8. (Electric Vehicles – EV) Charging Infrastructure for Vehicles & “Class 1” Bicycle Storage: Registration of legal agreement(s) on the subject site requiring that the developer/owner provides, installs, and maintains electrical vehicle (EV) charging infrastructure within the building for the use of the building’s residents and tenants to the satisfaction of the City through a approved Development Permits\*. More specifically, the minimum permitted rates for EV charging infrastructure shall be as indicated in the following table or as per the Official Community Plan or Zoning Bylaw rates in effect at the time of Development Permit\* approval , whichever is greatest.

User/Use	Energized Outlet – Minimum Permitted Rates	
	Vehicle Parking (1)	“Class 1” (Secured) Bike Storage (2)
Residential (i.e. resident parking & bike storage)	1 per parking space (as per Zoning Bylaw)	1 per each 10 bikes or portion thereof in a bike storage room or locker (which Energized Outlet shall be located to facilitate shared use with bikes in the room/locker)
Visitors	1 per 24% of parking spaces (as per TDMS)	N/A
Car-Share	1 per parking space (as per TDMS)	N/A

- (1) “Vehicle Parking” “Energized Outlet” shall mean all the wiring, electrical equipment, and related infrastructure necessary to provide Level 2 charging (as per SAE International’s J1772 standard) or higher to an electric vehicle.
- (2) “Class 1 (Secured) Bike Storage” “Energized Outlet” shall mean an operational 120V duplex outlet for the charging of an electric bicycle and all the wiring, electrical equipment, and related infrastructure necessary to provide the required electricity for the operation of such an outlet.

9. (Public Art On-site) City acceptance of the developer’s offer to make a voluntary contribution towards the City’s Public Art Fund, the terms of which shall include the following:

- a) The value of the developer’s voluntary public art contribution shall be based on the Council-approved rates for residential and non-residential uses and the maximum buildable floor area permitted under the subject site’s zoning, excluding floor area associated with affordable housing and market rental, as indicated in the table below.

Building Type	Rate	Maximum Permitted Floor Area (after exemptions)	Minimum Voluntary Cash Contribution
Residential	\$0.99	327,405 SF	\$324,130.95

- b) In the event that the contribution is not provided within one year of the application receiving consideration at a Development Permit Panel meeting, the contribution rate (as indicated in the table in item a) above) shall be increased annually thereafter based on the Statistics Canada Consumer Price Index (All Items) – Vancouver yearly quarter-to-quarter change, where the change is positive.

- c) Prior to Development Permit issuance, the developer shall submit a Public Art Plan, for the subject site, to the satisfaction of the Director, Arts Culture and Heritage Services. The Public Art Plan shall be:
  - i) Prepared by an appropriate professional.
  - ii) Based on a contribution value of at least the total amount indicated in the table in item a) above.
  - iii) Consistent with applicable City policies and objectives (for example, the Richmond Public Art Program, City Centre Public Art Plan, Capstan Public Art Plan and other relevant supplementary public art and heritage planning that may be undertaken by the City), as determined to the satisfaction of the Director of Development and Director, Arts, Culture, and Heritage Services.
  - iv) Presented for review(s) by the Public Art Advisory Committee and endorsement by Council, as required by the Director, Arts, Culture, and Heritage Services.
  - v) NOTE: For contributions with a cumulative budget over \$250,000, the Public Art Plan is presented for Council approval prior to Building Permit issuance, and should the Public Art Plan not achieve Council approval, it may be revised and presented again, or the developer may offer to make a voluntary cash contribution to the City's Public Art Reserve instead of providing art on-site.
  - vi) Implemented by the developer, as required by legal agreement(s) registered on Title to prior to Development Permit issuance.
  - vii) After the Development Permit is issued and after the Public Art Plan is approved, the registered legal agreement is replaced with one that attaches the Public Art Plan.
- d) "No development" shall be permitted on the subject site, restricting Development Permit issuance for any building on the lot, in whole or in part (excluding parking), until the developer, to the City's satisfaction:
  - i) Enters into additional legal agreement(s), if any, required to facilitate the implementation of the City approved Public Art Plan, which may require that, prior to entering into any such additional agreement(s), a Detailed Public Art Plan is submitted by the developer for the subject site and/or an artist is engaged, to the satisfaction of the City (as generally set out in the legal agreement entered into and the Public Art Plan submitted prior to Development Permit issuance).
  - ii) Submits a Letter of Credit or cash security or cash contribution (as determined in the sole discretion of the City) to secure the developer's implementation of the Public Art Plan, the collective value of which shall be at least \$324,130.95, including \$16,206.55 as a cash contribution equal to 5% of the total amount indicated in the table in item a) above (\$324,130.95) and a Public Art security Letter of Credit in the amount of \$307,924.40, being the total amount identified in item a) above.
- e) "No occupancy" shall be permitted on the subject site, restricting final Building Permit\* inspection granting occupancy of the building (exclusive of parking), in whole or in part, on the subject site until:
  - i) The developer, at the developer's sole cost and expense, commissions one or more artists to conceive, create, manufacture, design, and oversee or provide input about the manufacturing of the public artwork, and causes the public artwork to be installed on City owned site, if expressly permitted by the City in writing and pre-approved by Council, or within a statutory right-of-way on the subject site (which right-of-way shall be to the satisfaction of the City and secured by one or more legal agreements for rights of public passage, public art, and related purposes including maintenance, in accordance with the City-approved Public Art Plan and, as applicable, Detailed Public Art Plan).
  - ii) The developer, at the developer's sole cost and expense and within 30 days after the date on which the applicable public art is installed in accordance with the City-approved Public Art Plan, executes and delivers to the City a transfer of all of the developer's rights, title, and

interest in the public artwork to the City if on City property or to the subsequent strata corporation if on the subject site (including transfer of joint world-wide copyright) or as otherwise determined to be satisfactory by the City Solicitor and Director, Arts, Culture, and Heritage Services.

- iii) NOTE: It is the understanding of the City that the artist's title and interest in the public artwork will be transferred to the developer upon acceptance of the artwork based on an agreement solely between the developer and the artist and that these interests will in turn be transferred to the City, subject to approval by Council to accept the transfer of ownership of the artwork.
  - iv) The developer, at the developer's sole cost and expense, has submitted a final report to the City, to be submitted promptly after completion of the installation of the public art in accordance with the City-approved Public Art Plan, which report, to the satisfaction of the Director of Development and Director, Arts, Culture, and Heritage Services, includes:
    - Information regarding the siting of the public art, a brief biography of the artist(s), a statement from the artist(s) on the public art, and other such details as the Director of Development and Director, Arts, Culture, and Heritage Services may require;
    - A statutory declaration, satisfactory to the City Solicitor, confirming that the developer's financial obligation(s) to the artist(s) have been fully satisfied;
    - The maintenance plan for the public art prepared by the artist(s);
    - Digital records (e.g., photographic images) of the public art, to the satisfaction of the Director of Development and Director, Arts, Culture, and Heritage Services.
  - f) As an alternative to the provision of public art on-site, the developer may offer to make a voluntary cash contribution in lieu; provided that the value of such voluntary public art contribution shall be at least the total amount indicated in the table in item a) above. In this case, the requirements of c) through e) above will not apply.
10. (District Energy Utility) Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
- a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
  - b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building;
  - c) If a DEU is not available for connection, no final building inspection permitting occupancy of a building will be granted until:
    - i. the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
    - ii. the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation ;
    - iii. the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building; and
    - iv. the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and

preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.

11. (No. 2 Road Bridge Agreement) Registration of a legal agreement on Title requiring an indemnification of the City by the owner of all costs and expenses associated with any settlement or damage to the No. 2 Road Bridge that is reasonably attributable, in part or in whole, to development of, and construction on, the site. The agreement will include:
  - a) requirements regarding the monitoring of settlement impacts on the No. 2 Road Bridge during development of the site conducted by third party engaged by the City, at the owner's sole cost,
  - b) a no construction covenant (no building permit or underpinning permit) for the site until a structural assessment of the No. 2 Road Bridge, including potential settlement tolerances, by third party engaged by the City, at the owner's sole cost, has been delivered to the City's satisfaction, and
  - c) a no occupancy covenant for the site until the City is satisfied that no settlement or damage to the No. 2 Road Bridge has occurred, or the developer has paid to the City all costs for any repairs required, in the City's sole determination, to remedy such damage or settlement.
12. (Servicing Agreement)
  - A. Transportation Works: The developer is responsible for the design and construction of the following frontage improvements and the transition of these improvements to the existing condition outside of the development site frontage to the satisfaction of the City. Note that while the list below provides a general description of the minimum frontage work requirement, the exact details and scope of the frontage works shall be confirmed through the Servicing Agreement\* process to the satisfaction of the City.
    - a. Along the River Road (north and east edges of site) frontage:
      - i. Construct from west to east, beginning at the edge of the PROP SRW:
        - a) 3.5 m multi-use pathway;
        - b) Minimum 1.5 m boulevard;
        - c) 0.15 m curb and gutter;
        - d) 2.5 m parking lane (where applicable); and
        - e) 4.5 m travel lane.
      - ii. This work shall extend beyond the site's northern frontage and terminate at the River Road and No. 2 Road on-ramp intersection.
      - iii. One truck access shall be provided at the northeast corner of the site. Access shall meet the requirement of the City's Engineering Design Specifications.

This work shall extend beyond the site's northern frontage and terminate at the River Road and No. 2 Road on-ramp intersection.
    - b. Along the River Road (south edge of site) frontage:
      - i. Construct from north to south:
        - a) 3.5 m multi-use pathway;
        - b) 2.0 m boulevard;
        - c) 0.15 m curb and gutter;
        - d) 3.7 m travel lane OR extended boulevard;
        - e) 3.7 m travel lane; and
        - f) 3.7 m travel lane.
      - ii. This work shall extend beyond the site's northern frontage and terminate at the River Road and No. 2 Road on-ramp intersection.

- c) Construct / reinstate pedestrian letdown and crosswalk at the western end of the subject site.
  - d) Construct one vehicular site access driveway to meet the requirements of the City's Engineering Design Specifications.
  - c. Tie-ins to existing infrastructure, as needed.
  - d. River Road/River Road intersection shall be upgraded to the satisfaction of the Director, Transportation through the Servicing Agreement\* review process, to include but not be limited to: elimination of the existing channelized right-turn island, re-configuration of the eastern leg of the intersection to include one WB right-turn lane, one WB through lane, and one EB lane, signage or curb modification / installation as required.
- B. Bridge Maintenance Access and Public Pathway Works:
- a. Provision of service vehicle access to facilitate No. 2 Road Bridge maintenance and public pedestrian access within the existing 10 m wide statutory-right-of-way registered on Title along the entire west edge of the site connecting to River Road to the north and south of the subject site. All construction within the statutory-right-of-way is to support at least 80,000 pounds. A 5 m wide paved service vehicle access road is to be provided and also designed to service as a pathway for pedestrian use.  
Note: Vehicle access is restricted to emergency vehicles and City service vehicles only.
- C. Water Works:
- a. Using the OCP Model, there are 490 L/s and 595 L/s of water available at a 20 psi residual at the two hydrants located at the frontage of the north-south aligned River Road; while there is no existing hydrant at the frontage of the east-west aligned River Road. Based on your proposed development, your site requires a minimum fire flow of 180 L/s.
  - b. At Developer's cost, the Developer is required to:
    - i. Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for on-site fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.
    - ii. Install approximately 70 m of new 300 mm watermain at the north end of the north-south aligned River Road tying into the existing blow off (WBO223327) at the north end of the watermain on River Road. Reconnect to the new main to the existing 50 mm diameter service connection (WSL241295) that services the City trail to the north.
    - iii. To address water quality issues due to the resulting dead end watermain, the developer is required to install a new automatic flushing system. The location and details of the automatic flushing system complete with its kiosk shall be determined via the servicing agreement review.
    - iv. The following works relating to the automatic flushing system shall be at the developer's cost:
      - o Supply and installation cost of the automatic flushing system (complete with a dechlorination system designed specifically for the automatic flushing device).
      - o Supply and Installation of a water meter to monitor water consumption of the automatic flushing system.
    - v. A hydrant at the dead end watermain in the north-south aligned River Road is required to meet City hydrant spacing requirements for the proposed land use.
    - vi. Please note that there are no existing hydrants at the east-west aligned River Road. Review hydrant spacing and provide fire hydrants at the east-west aligned River Road frontage as required to meet City hydrant spacing requirements. The required fire



hydrants shall be installed at the north side of the east-west aligned River Road. Prior to the first submission of the servicing agreement design, consult with the City's fire department to confirm the locations of the required hydrants.

- vii. Review hydrant spacing on all existing and new road frontages and provide fire hydrants as required to meet City spacing requirements for commercial land use. Fire department approval is required for all fire hydrant installations, removals, and relocations.
  - vii. Install one new water service connection at the watermain dead end. Details of the water service connection location shall be finalized via the servicing agreement design review. Meter to be located on-site (i.e. within the mechanical room).
- c. At Developer's cost, the City is to:
- i. Cut, cap, and remove all existing water service connections to the development site.
  - ii. Re-connect all existing water service connections to the proposed water main.
  - iii. Complete all tie-ins for the proposed works to existing City infrastructure.
- D. Storm Sewer Works:
- a. At Developer's cost, the Developer is required to:
- i. Upgrade approximately 150 meters of the existing 525 mm diameter storm sewers to minimum 600 mm diameter per the City's Engineering Design Specifications from manhole STMH107279 located in front of 5171 Brighthouse Way and tie-in with a new manhole at the existing box culvert along the west side of the No. 2 Road Bridge.
  - ii. Install approximately 43 metres of new 600 mm diameter storm sewer to interconnect the existing storm sewer in the north-south aligned River Road to the existing storm sewer in the east-west aligned River Road.
  - iii. Install one new storm service connection and tie-in to the new main complete with inspection chamber at the property line. Details of the storm service connection location shall be finalized through the servicing agreement design review.
  - iv. Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement.
- b. At Developer's cost, the City is to:
- i. Cut and cap all existing storm service connections and remove inspection chambers.
  - ii. Complete all tie-ins for the proposed works to existing City infrastructure, including re-connections of existing services to the new mains.
- E. Sanitary Sewer Works:
- a. At Developer's cost, the Developer is required to:
- i. Confirm the capacity (through a sizing calculation) and confirm the condition of the existing sanitary service connection located just north of the southeast corner of the proposed site. Use the existing service connection and install an inspection chamber at the property line if its capacity is adequate and if its condition is acceptable to service the proposed site. Otherwise, install a new sanitary service connection at the same alignment/tie-in as the existing.
- b. At Developer's cost, the City is to:
- i. Cut and cap all existing service connections to the development site, and remove inspection chambers.
  - iii. Complete all tie-ins for the proposed works to existing City infrastructure including re-connections of existing services to the new mains.

F. Street Lighting:

- a. At the Developer's cost, the Developer is required to provide street lighting along all road frontages according to the following preliminary street light types. The specific types of street lights will be confirmed by the City's Planning department.
  - i. River Road (i.e. No. 2 Road off-ramp) @ south side of site (North side of street)
    - a) Pole colour: Grey
    - b) Roadway lighting @ back of curb: Type 7 (LED) INCLUDING 1 street luminaire, banner arms, and 1 duplex receptacle, but EXCLUDING any pedestrian luminaires, flower baskets holders or irrigation.
  - ii. River Road @ east side of site (West side of street)
    - a) Pole colour: Grey
    - b) Roadway lighting @ back of curb: Type 7 (LED) INCLUDING 1 street luminaire, 1 pedestrian luminaire set perpendicular to the roadway, banner arms, and 1 duplex receptacle, but EXCLUDING any flower baskets holders or irrigation.
  - iii. Off-Street Publicly-Accessible Walkways & Open Spaces - Walkway (City owned/maintained or secured via SRW & developer owned/maintained) (AS APPLICABLE)
    - a) Pole colour: Grey
    - b) Pedestrian lighting: Type 8 (LED) INCLUDING 1 pedestrian luminaire, but EXCLUDING any banner arms, flower basket holders, irrigation, or duplex receptacles.

G. General Items:

- a. The Developer is required to:
  - i. Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the development's site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the functional plan and registered prior to SA design approval:
    - BC Hydro PMT – 4.0 x 5.0 m
    - BC Hydro LPT – 3.5 x 3.5 m
    - Street light kiosk – 1.5 x 1.5 m
    - Traffic signal kiosk – 1.0 x 1.0 m
    - Traffic signal UPS – 2.0 x 1.5 m
    - Shaw cable kiosk – 1.0 x 1.0 m
    - Telus FDH cabinet – 1.1 x 1.0 m
  - ii. Coordinate with BC Hydro, Telus and other private communication service providers:
    - a) All above-ground boxes shall be located within the development site; all below-ground boxes shall be located outside of sidewalks and bike paths.

- b) To pre-duct for future hydro, telephone and cable utilities along all road frontages, except River Road. Note: no services are permitted to come from River Road.
- c) When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
- iii. Enter into, if required, additional legal agreements, as determined through the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

**Prior to future Building Permit\* issuance, the developer is required to complete the following:**

1. Confirmation of compliance with all legal agreements registered on Title.
2. The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
3. Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
4. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.

[signed copy on file]

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Signature

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Date



No. DP 22-013200

To the Holder:                      Oval 1 Holdings Ltd.  
Property Address:                  6011 River Road  
Address:                              C/O Jayme Colville  
   1055 Hastings Street, Unit 1830  
   Vancouver, BC V6E 2E9

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) Increase the maximum permitted number of Class 1 bicycle storage spaces in a bicycle room from 40 to 70 when located in family-sized bicycle storage lockers.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #60 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,513,000.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
No. DP 22-013200

To the Holder:                   Oval 1 Holdings Ltd.  
Property Address:               6011 River Road  
Address:                          C/O Jayme Colville  
  1055 Hastings Street, Unit 1830  
  Vancouver, BC V6E 2E9

---

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF                   ,           .

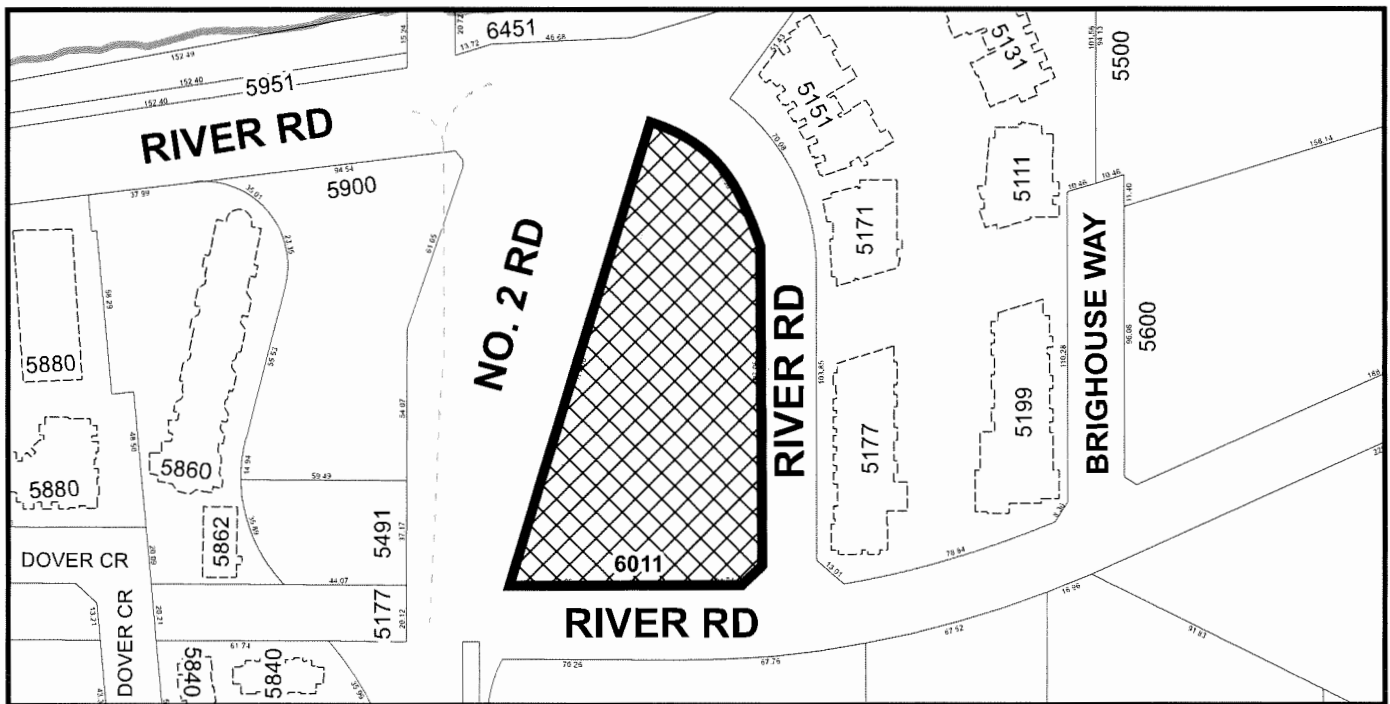
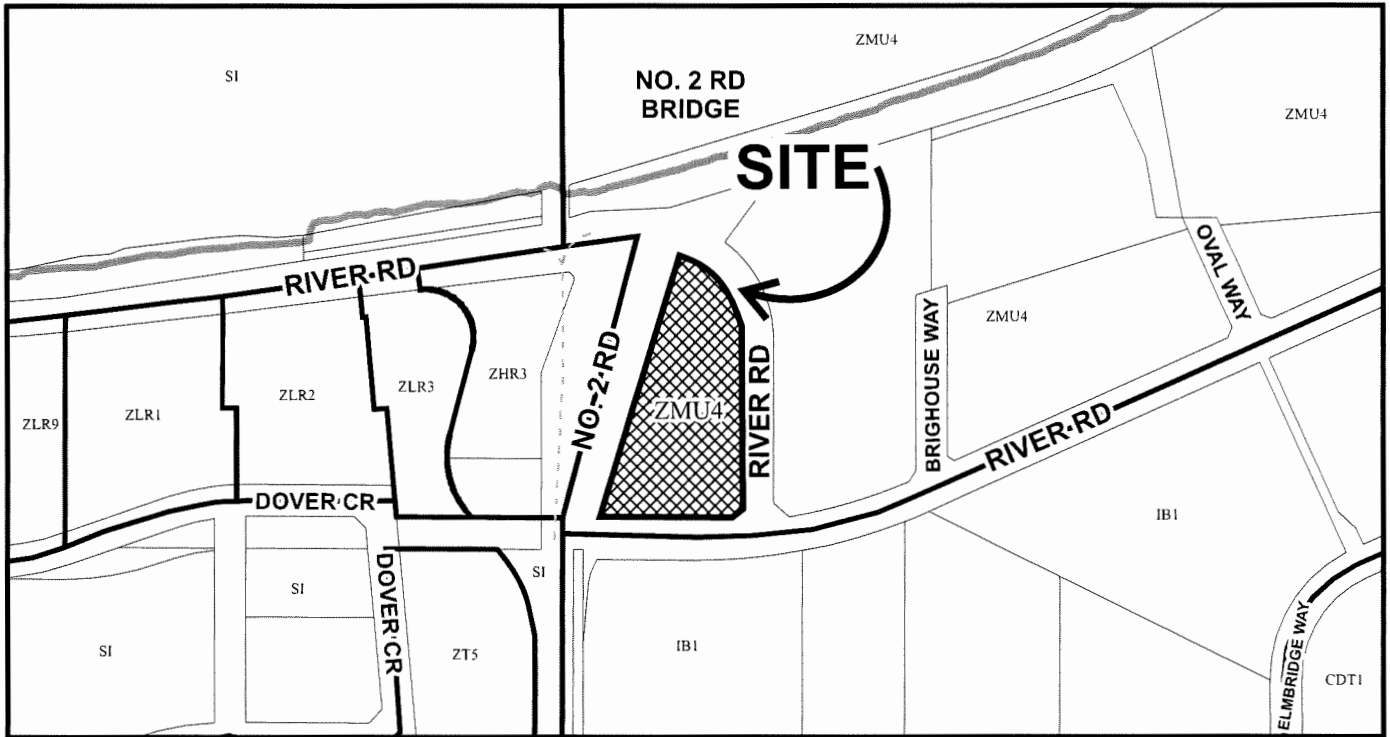
ISSUED BY THE COUNCIL THE

DELIVERED THIS            DAY OF                   ,           .

\_\_\_\_\_  
MAYOR



# City of Richmond



## DP 22-013200 SCHEDULE "A"

Original Date: 05/31/22

Revision Date 06/01/22:

Note: Dimensions are in METRES



## RIVER GREEN LOT 1

DP 22-013200

6011 RIVER ROAD, RICHMOND, BC

ASPAC  
DEVELOPMENTS

PFS STUDIO  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

October 23, 2023  
DP 22-013200  
DP Plan # 1

### Notes:

- Variance to permit up to 35 bicycle lockers (e.g. 70 class 1 bicycle parking spaces) in each bicycle storage room
- 2 car share parking spaces with SRW requiring 24/7 public access, bicycle maintenance facilities, min. 24% EV visitor parking spaces, charging outlets for min. 10% of class 1 bicycle storage and other TDMs as per legal agreements
- 40 BUH units required to comply with section 4.16 of Richmond Zoning Bylaw 8500
- Aging in place features to be provided in all units, including stairwell handrails, lever-type handles for doors and plumbing fixtures, and solid wall blocking in washrooms at all toilets, bathtubs and showers to facilitate future grab bar installation.
- All paths from sidewalks into entry lobbies and entry court drop off into entry lobbies to be visually low contrast from sidewalk and continuous
- Max. 47 m GSC building height permitted
- Urban Agriculture area on podium requires hose bib, tool storage and work table
- Irrigation automatic system for all planted areas, including extensive green roofs
- PROP SRW registered on title. West side balcony encroachments Min 5.8 m above grade and Max 0.5 m into SRW
- Tree protection required for City trees west of site
- Servicing Agreement required for off-site works and works in PROP SRW

DIALOG

PROJECT DATA

ADDRESS: Civil Address: #6011 River Road, Richmond, BC. Legal Description: LOT 1 SECTION 6 BLOCK 4 NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT PLAN BCP30383. ZONING GUIDELINES: Ref: ZMU424131 20.4 High Rise Apartment and Olympic Oval (ZMU4) Oval Village (City Centre) Area: Area "A"

SITE MEASUREMENTS: Max. Building Height: 47.00 m / 154' - 2 3/8" Finished Grade: 2.21 m / 7' - 3" Site Area: 10,043.00 m2 / 108,102 sq ft. RIGHT OF WAYS: River Road Sidewalk SRW (SRW PLAN BCP30383): 2.15 m / 7' - 0 5/8" No.2 Road Bridge SRW (SRW PLAN BCP30383): 10.00 m / 31' - 9 3/4"

SITE COVERAGE: Max. Permitted Lot Coverage 40% / 4,017 m2 Proposed Lot Coverage 37% / 3,719 m2

PROPOSED USE: Residential: 20.4, 1 Amenity Space: 20.4, 2 On-Site Accessory Parking: 20.4, 10

UNIT MIX & COUNT table with columns: Unit Type, Calc. (%), Count, Approx. Size. Includes Studios (12 units), 1 Bedroom (119 units), 2 Bedroom (81 units), etc.

PROJECT FAR SUMMARY

Summary table with columns: PERMITTED FAR, PROPOSED FAR, RESIDENTIAL FAR. Values include 3.0, 30,129, 324,306, 3.03, 30,417, 327,405.

DENSITY TABLE

Density table with columns: Lot Reference, Civic Addresses, ZMU4 Zone Area, Site Area, Maximum Permitted Density FAR, Proposed Density FAR.

PARKING REQUIREMENTS

REQUIRED - BYLAW table with columns: Type, Reference, Calculation, Included in Total, # of Stalls. Residential Stalls: 471, Visitor Stalls: 63, Accessible Stalls: 12.

PROVIDED table with columns: Type, Reference, Calculation, Included in Total, # of Stalls. Residential Stalls: 411\*, Visitor Stalls: 66\*\*, Accessible Stalls: 12, Car Share Stalls: 2.

PROPOSED PARKING REDUCTION table showing Total Required - Bylaw (534), Total Provided (479), Proposed Reduction (55), Proposed Reduction % (10.3%).

Note: \*All Residential Parking Stalls to be EV ready with Level 2 240 Volt Plug-in on a load management system as per Electric Vehicle Charging Infrastructure Requirements - Zoning Bylaw 8500, Section 7.15 \*\*20 Visitor Stalls to be EV ready with Level P1 240 Volt Plug-in \*\*\*Refer to TIA for TDM Measures. \*\*\*\*This development works to the maximum 20% reduction that was recently adopted in Amendments to Zoning Bylaw 8500 - Section 7 Parking and Loading--amendment Bylaw No. 10077.

LOADING SPACES REQUIRED

ZONING REQUIREMENT table with columns: Type, Reference, Calculation, # of Spaces. Medium Sized Loading Spaces: 2, Large Sized Loading Spaces: n/a.

These requirements reflect recently adopted Amendments to Zoning Bylaw 8500 - Section 7 Parking and Loading--amendment Bylaw No. 10077.

BICYCLE PARKING REQUIRED

Table with columns: Type, Reference, Calculation, # of Stalls. Class 1 Bicycle Parking Spaces: 460, Class 2 Bicycle Parking Spaces: 74.

PARKING DISTRIBUTION

RESIDENT PARKING table with columns: Level, Standard, Small, Tandem, Accessible, Total. P1: 152, P2: 259, Total: 411.

VISITOR PARKING table with columns: Level, Standard, Small, Accessible, Total. P1: 66, P2: 0, Total: 66.

CAR SHARE table with columns: P1, P2, Total. P1: 2, P2: 0, Total: 2.

LOADING SPACES PROVIDED

PROVIDED table with columns: Level, Medium Sized Loading Space, Large Sized Loading Space, Total. L1: 2, 0, 2.

BICYCLE PARKING PROVIDED

Table with columns: Level, Class 1 (Double Stall A/B, Sub-Total), Class 2, Communal. Total: 76, 20, 20.

Note: The project is proposing to provide 2 bicycle repair areas (1 for Towers A + B and 1 for Tower C) and maintenance room adjacent to the main entry court.

NOTES

PROPOSED VARIANCES: Balconies on the West facade of Tower 'C' are proposed to project into the SRW by up to 0.75m into the 10.0m SRW that runs along the side of the property. Balconies on the West facade of Tower 'C' are proposed to project into the SRW by up to 0.75m into the 10.0m SRW that runs along the side of the property.

BASIC UNIVERSL HOUSING PROVISIONS (REFER TO DP0.24): The project proposes to provide 40 dwelling units (+11% of the total unit count) that are designed to incorporate all of the Basic Universal Housing (BUH) Features as described in Section 4.16 of the Richmond Zoning Bylaw 8500.

- Additional Notes: - Variance to permit up to 40 bicycle lockers... - 2 car share parking spaces with SRW requiring 24/7 public access bicycle maintenance facilities... - 40 BUH units required to comply with section 4.16 of Richmond Zoning Bylaw 8500...



- ISSUED FOR: 1 2023-05-09 DEVELOPMENT PERMIT APPLICATION 2 2023-02-09 DP RESPONSE #1 3 2023-08-09 DP RESPONSE #2 4 2023-09-19 DP RESPONSE #3 5 2023-10-13 DP RESPONSE #4

October 23, 2023 DP 22-013200 DP Plan # 2

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ARCHITECT & PRIME CONSULTANT: DIALOG 406-611 ALEXANDER STREET, VANCOUVER, BC. LANDSCAPE ARCHITECT: CHL 1706 W 1st Ave, Vancouver BC. STRUCTURAL ENGINEER: DIALOG 406-611 ALEXANDER STREET, VANCOUVER, BC. MECHANICAL ENGINEER: STANTEC 1100-111 DUNSMUIR STREET, VANCOUVER, BC. ELECTRICAL ENGINEER: NEMETZ (S/A) & ASSOCIATES LTD. 2209 W 4th AVENUE, VANCOUVER, BC.

6011 RIVER ROAD RIVER GREEN - LOT 1

PROJECT STATISTICS

DRAWN: Author CHECKED: Checker PLOT DATE: 10/19/2023 11:42:08 AM

DP0.1



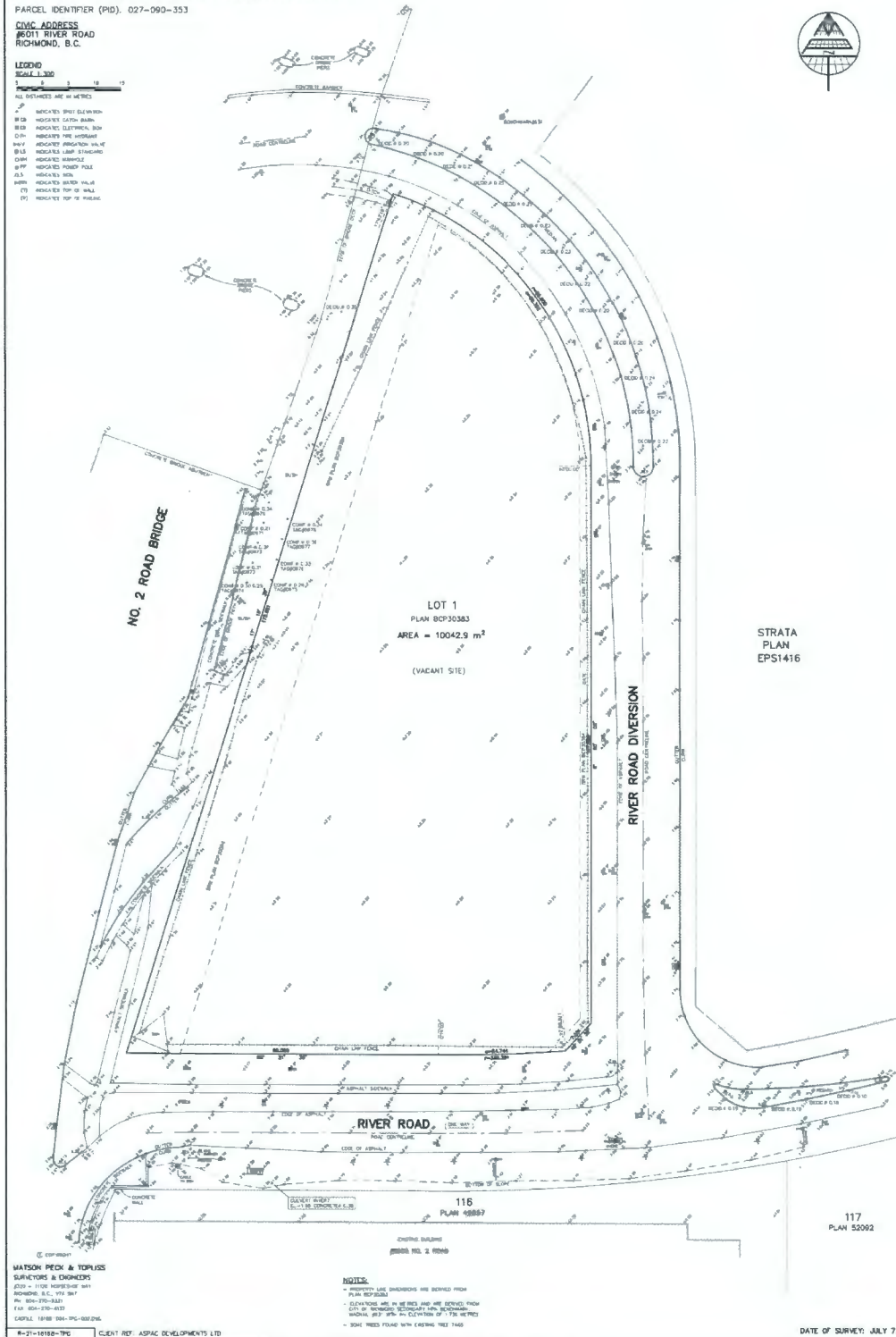


**SURVEY PLAN OF LOT 1 SECTION 6  
BLOCK 4 NORTH RANGE 6 WEST  
NEW WESTMINSTER DISTRICT PLAN BCP30383**

FARCEL IDENTIFIER (PID): 027-090-353  
CIVIC ADDRESS  
6011 RIVER ROAD  
RICHMOND, B.C.

**LEGEND**  
SCALE 1:300  
ALL DIMENSIONS ARE IN METERS

- MARKED SPIRIT ELEVATION
- MARKED LATITUDE BATHY
- MARKED ELECTRICITY BOX
- MARKED FIRE HYDRANT
- MARKED PROVISION VALUE
- MARKED LEAK SENSING
- MARKED SIGNAGE
- MARKED POWER POLE
- MARKED SIGN
- MARKED SANDY HILLS
- MARKED TOP OF WALL
- MARKED TOP OF FENCE



**WATSON PECK & TORRES**  
SURVEYORS & ENGINEERS  
2101 - 1108 HASTINGS ST W  
VANCOUVER, B.C. V6E 4M4  
TEL: 604-276-8447  
FAX: 604-276-8443  
CAPSULE 19188 1984-1991-001.DWG  
8-21-18188-790 CLIENT REF: ASPAC DEVELOPMENTS LTD

**NOTES:**  
- ALL DIMENSIONS ARE SHOWN FROM  
- DIMENSIONS ARE IN METERS AND ARE SHOWN FROM  
- DIMENSIONS ARE IN METERS AND ARE SHOWN FROM  
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- DIMENSIONS ARE IN METERS AND ARE SHOWN FROM

DATE OF SURVEY: JULY 7, 2021

**NOT TO SCALE. REFER TO SUPPLEMENTARY DOCUMENTS FOR ORIGINAL DRAWING.**



ISSUED FOR

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

**October 23, 2023**  
**DP 22-013200**  
**DP Plan # 4**

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- LANDSCAPE ARCHITECT**  
CHL  
1705 W 1st Ave Vancouver BC  
V6J 1G4  
Tel: 604.688.8571 Fax:
- STRUCTURAL ENGINEER**  
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STANTEC  
1100 - 111 DUNSMUIR STREET, VANCOUVER, BC  
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Tel: 604.696.8000 Fax:
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HEMETZ (SA) & ASSOCIATES LTD  
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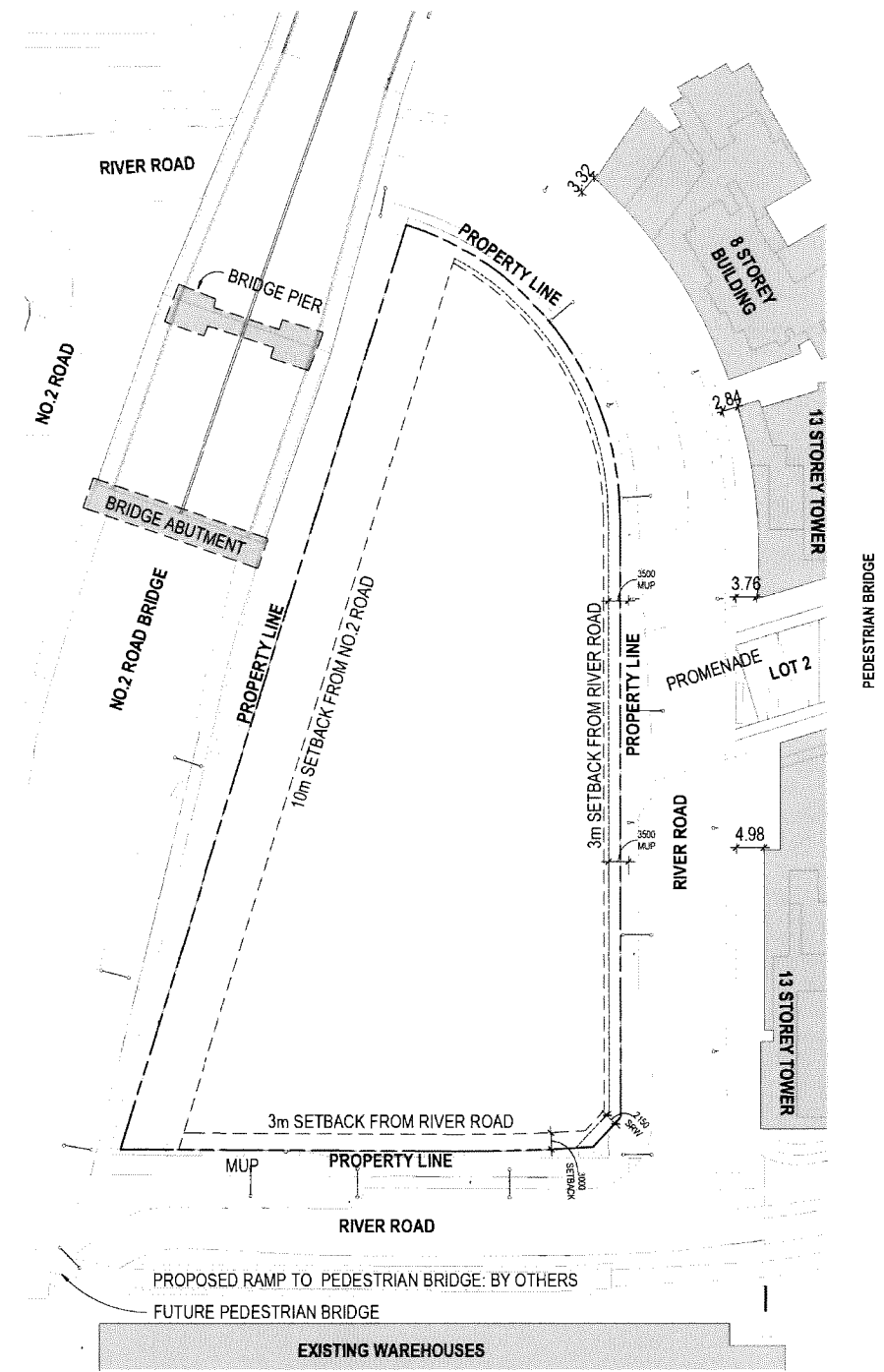
SEAL

**6011 RIVER ROAD**  
**RIVER GREEN - LOT 1**

**SURVEY PLAN**

DRAWN: Author  
PLOT DATE: 10/13/2023 2:59:15 PM  
CHECKED: Checker

**DP0.7**



1 HORIZONTAL BUILDING SETBACKS  
SCALE: 1 : 500

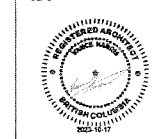
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3	2023-08-06	DP RESPONSE #2
4	2023-08-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
 DP 22-013200  
 DP Plan # 5

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 2079 W 4th AVENUE, VANCOUVER, BC  
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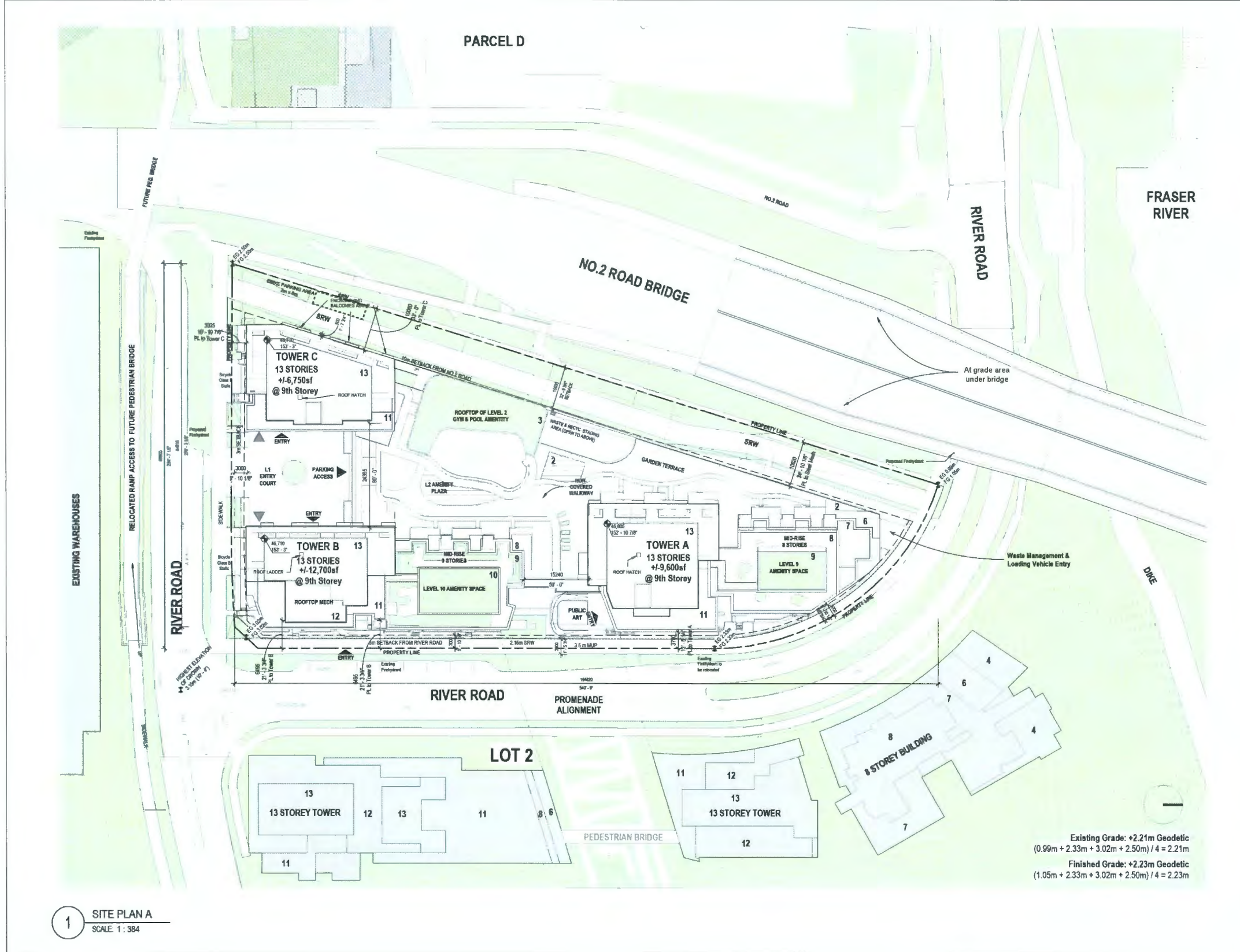


6011 RIVER ROAD  
 RIVER GREEN - LOT 1

SETBACK PLAN

DRAWN: Author  
 PLOT DATE: 10/13/2023 2:59:26 PM  
 CHECKED: Checker

**DP0.8**



1 SITE PLAN A  
SCALE: 1:384

Existing Grade: +2.21m Geodetic  
(0.99m + 2.33m + 3.02m + 2.50m) / 4 = 2.21m  
Finished Grade: +2.23m Geodetic  
(1.05m + 2.33m + 3.02m + 2.50m) / 4 = 2.23m

ISSUED FOR

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-05-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-08-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
DP 22-013200  
DP Plan # 6

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2309 W 4th AVENUE, VANCOUVER, BC  
V6J 1H3  
Tel: 604.735.6362 Fax:



6011 RIVER ROAD  
RIVER GREEN - LOT 1

SITE PLAN

DRAWN Author  
PLOT DATE: 10/19/2023 3:22:53 PM  
CHECKED Checker

DP1.0

BC100179 - 2004354

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**DIALOG**

**PFS STUDIO**  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
DEVELOPMENTS

- ISSUED FOR
- 1 2022-05-09 DEVELOPMENT PERMIT APPLICATION
  - 2 2023-08-09 DP RESPONSE #1
  - 3 2023-08-09 DP RESPONSE #2
  - 4 2023-08-19 DP RESPONSE #3
  - 5 2023-10-13 DP RESPONSE #4

October 23, 2023  
DP 22-013200  
DP Plan # 7

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**STRUCTURAL ENGINEER**

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V6J 1K3  
Tel: 604.736.6562 Fax:

SEAL



6011 RIVER ROAD  
RIVER GREEN - LOT 1

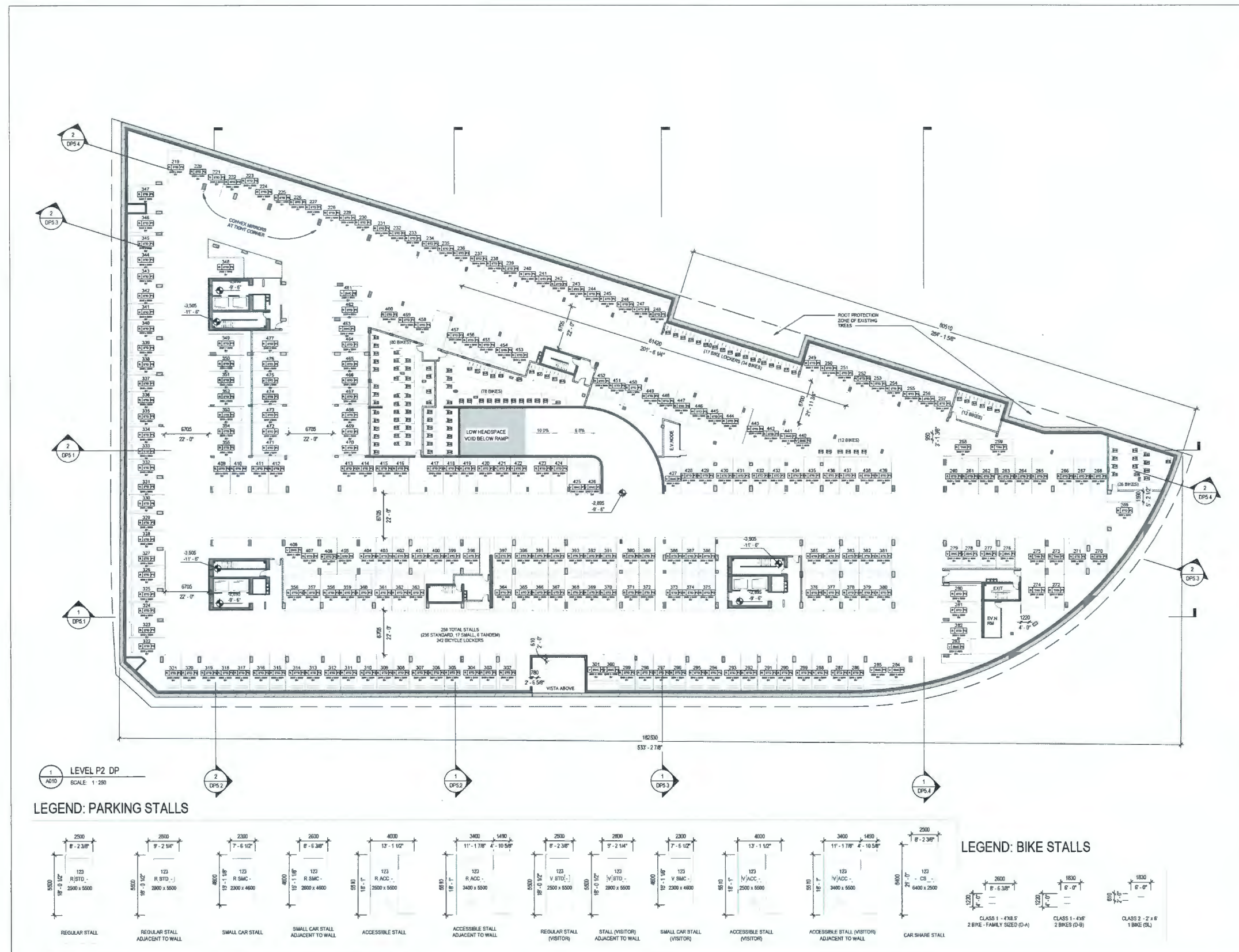
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**DP2.0**

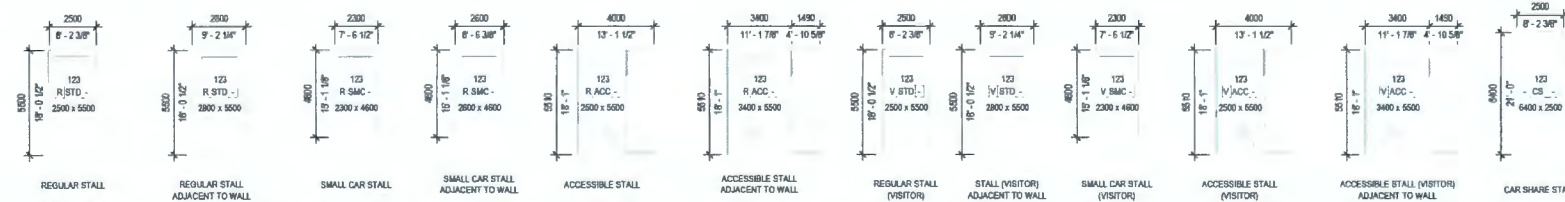
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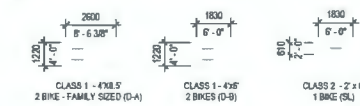


1 LEVEL P2 DP  
SCALE: 1:250

**LEGEND: PARKING STALLS**



**LEGEND: BIKE STALLS**



ISSUED FOR:

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-05-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-08-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
DP 22-013200  
DP Plan # 8

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**ARCHITECT & PRIME CONSULTANT**

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**LANDSCAPE ARCHITECT**

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V6J 6E4  
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Tel: 604.235.1189 Fax:

**MECHANICAL ENGINEER**

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**ELECTRICAL ENGINEER**

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2039 W 4th AVENUE, VANCOUVER, BC  
V6J 1H0  
Tel: 604.735.6362 Fax:

SEAL



6011 RIVER ROAD  
RIVER GREEN - LOT 1

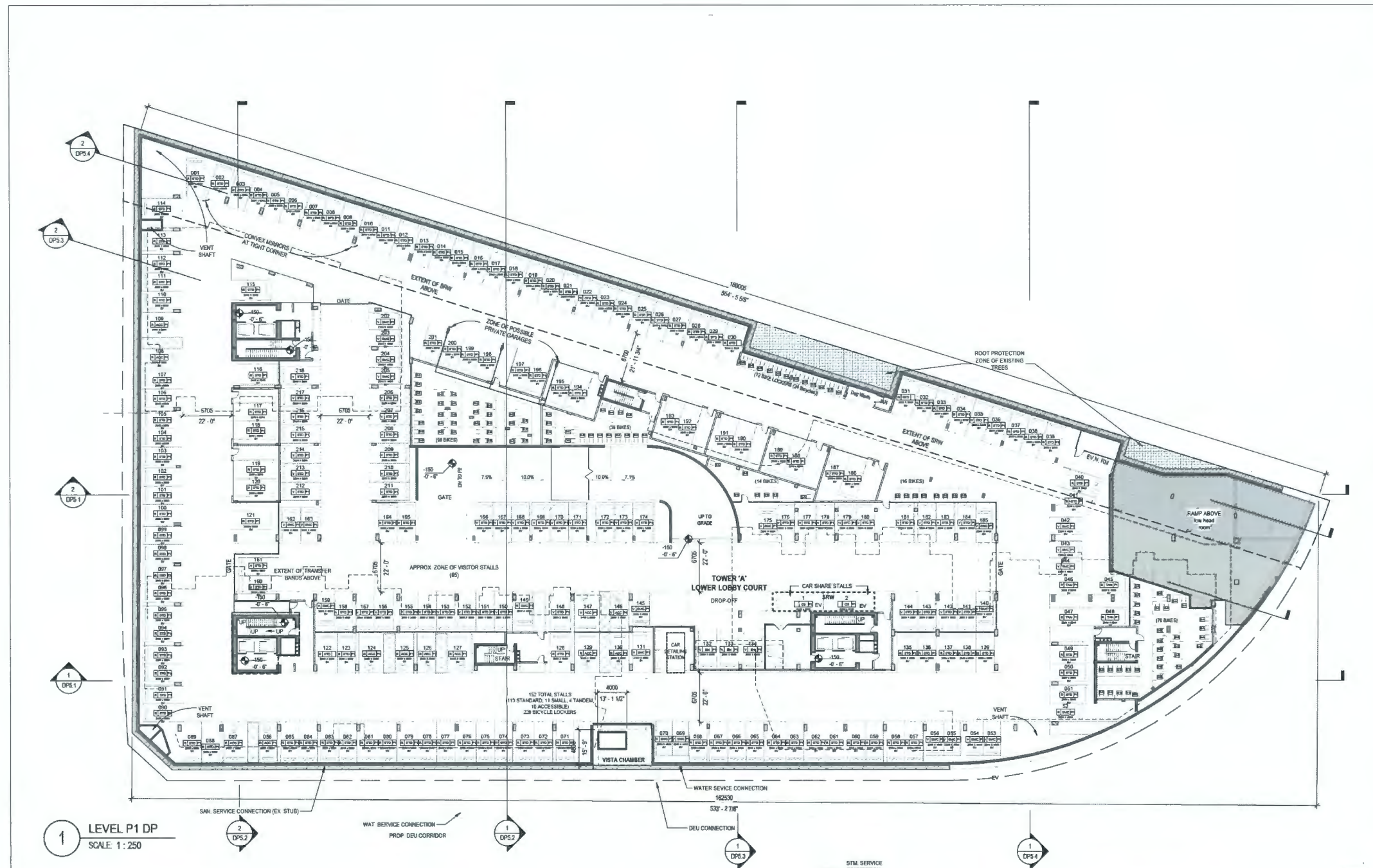
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DRAWN: Author  
PLOT DATE: 10/13/2023 3:25:32 PM  
CHECKED: Checker

**DP2.1**

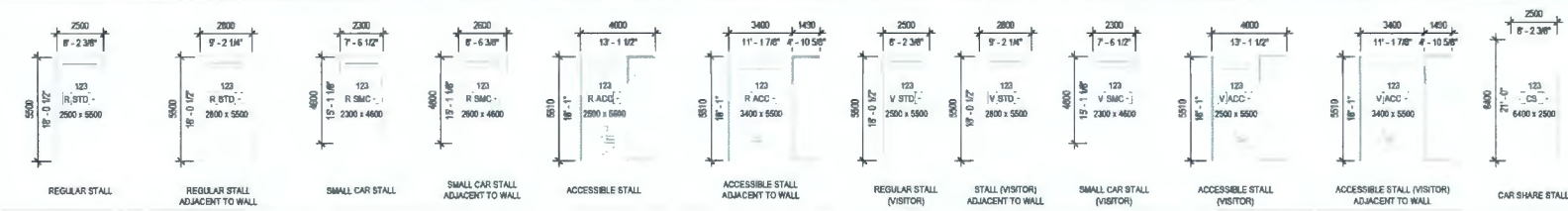
BC100179 - 2004354

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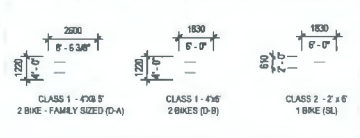


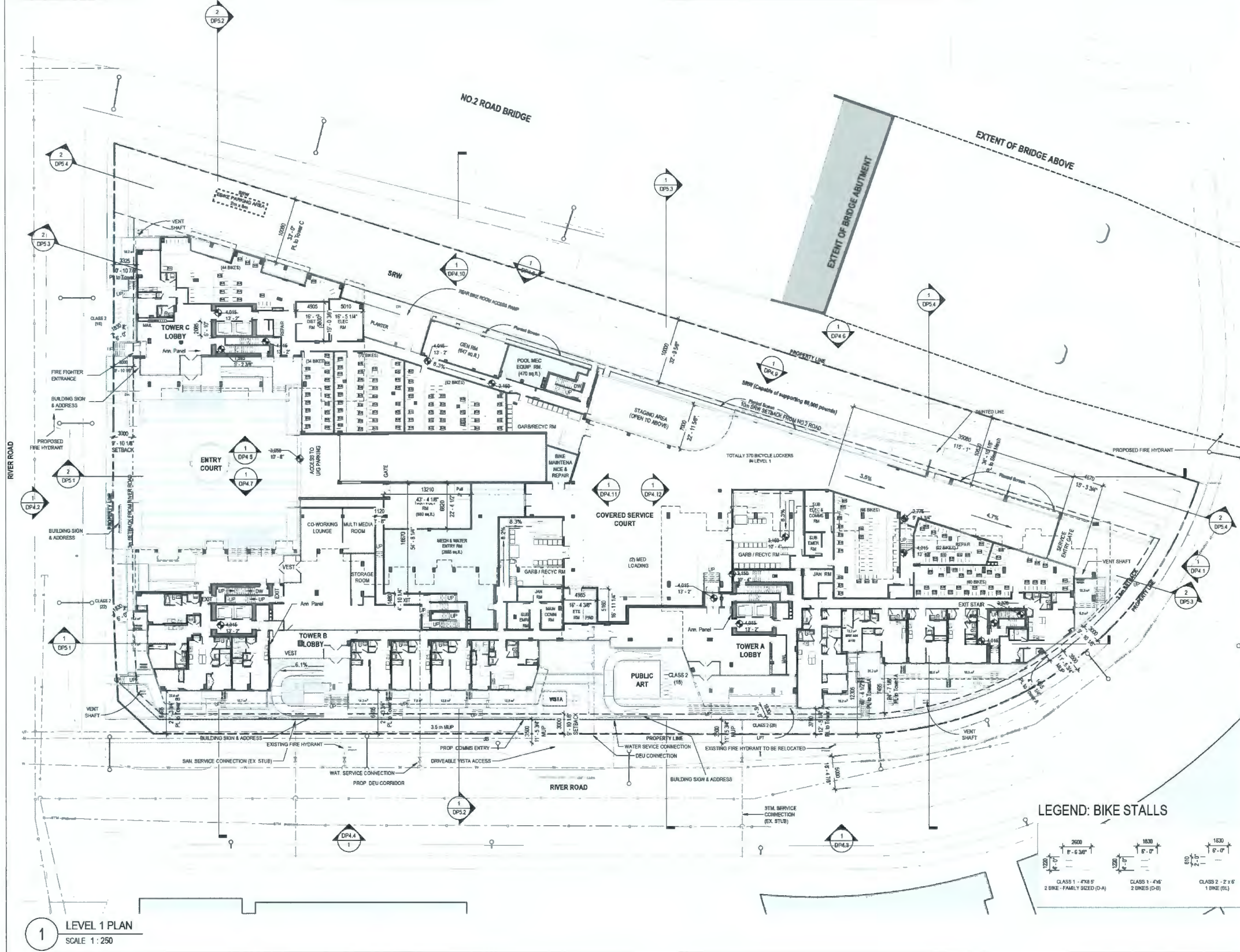
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SCALE: 1:250

**LEGEND: PARKING STALLS**



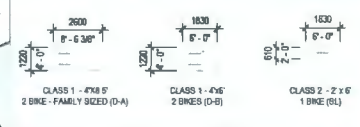
**LEGEND: BIKE STALLS**





1 LEVEL 1 PLAN  
SCALE 1:250

LEGEND: BIKE STALLS



ISSUED FOR

1	2022-05-05	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
 DP 22-013200  
 DP Plan # 9

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 V6J 3H0  
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6011 RIVER ROAD  
 RIVER GREEN - LOT 1

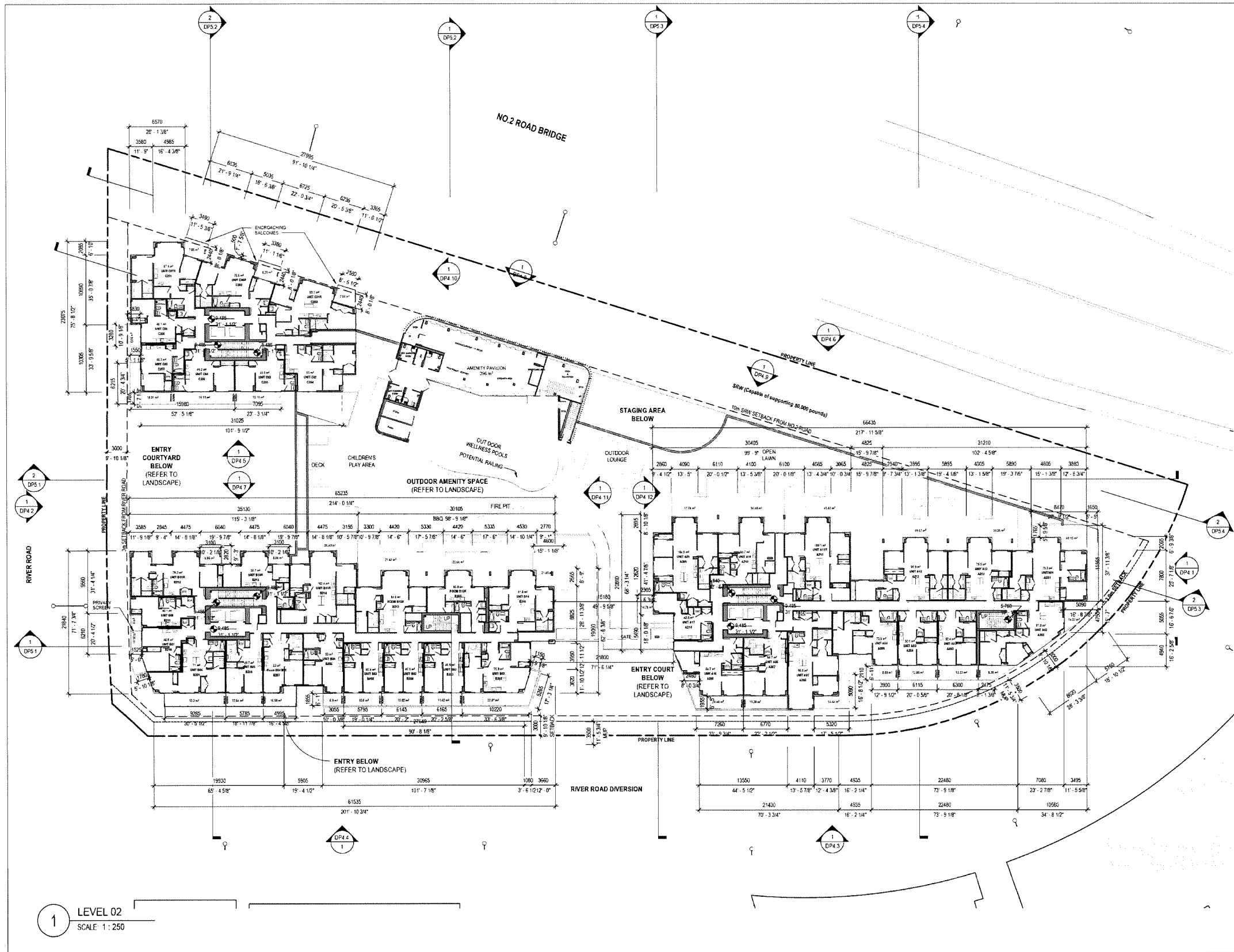
LEVEL 1 PLAN

DRAWN: Author CHECKED: Checker  
 PLOT DATE: 10/13/2023 3:36:12 PM

DP2.2

BC100179 - 2004354

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1 LEVEL 02  
SCALE: 1:250

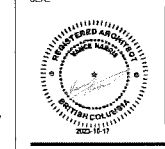
ISSUED FOR:

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-05-09	DP RESPONSE #1
3	2023-08-08	DP RESPONSE #2
4	2023-08-18	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

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6011 RIVER ROAD  
 RIVER GREEN - LOT 1

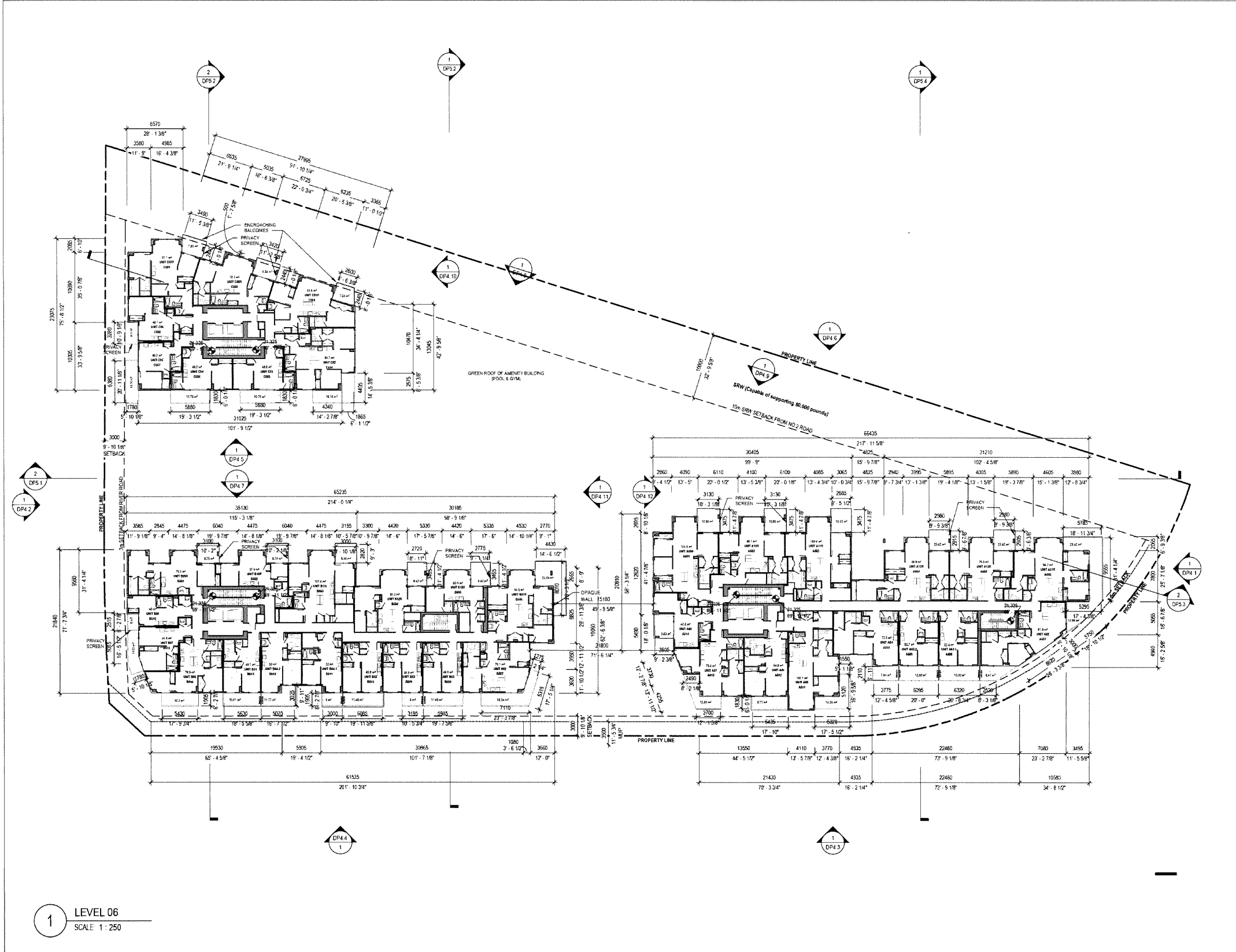
LEVEL 2 PLAN

DRAWN: Author  
 PLOT DATE: 10/13/2023 3:36:34 PM  
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**DP2.3**

BC100179 - 2004354  
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1 LEVEL 06  
SCALE 1:250

ISSUED FOR:  
 1 2022-05-09 DEVELOPMENT PERMIT APPLICATION  
 2 2023-02-09 DP RESPONSE #1  
 3 2023-06-09 DP RESPONSE #2  
 4 2023-09-19 DP RESPONSE #3  
 5 2023-10-13 DP RESPONSE #4

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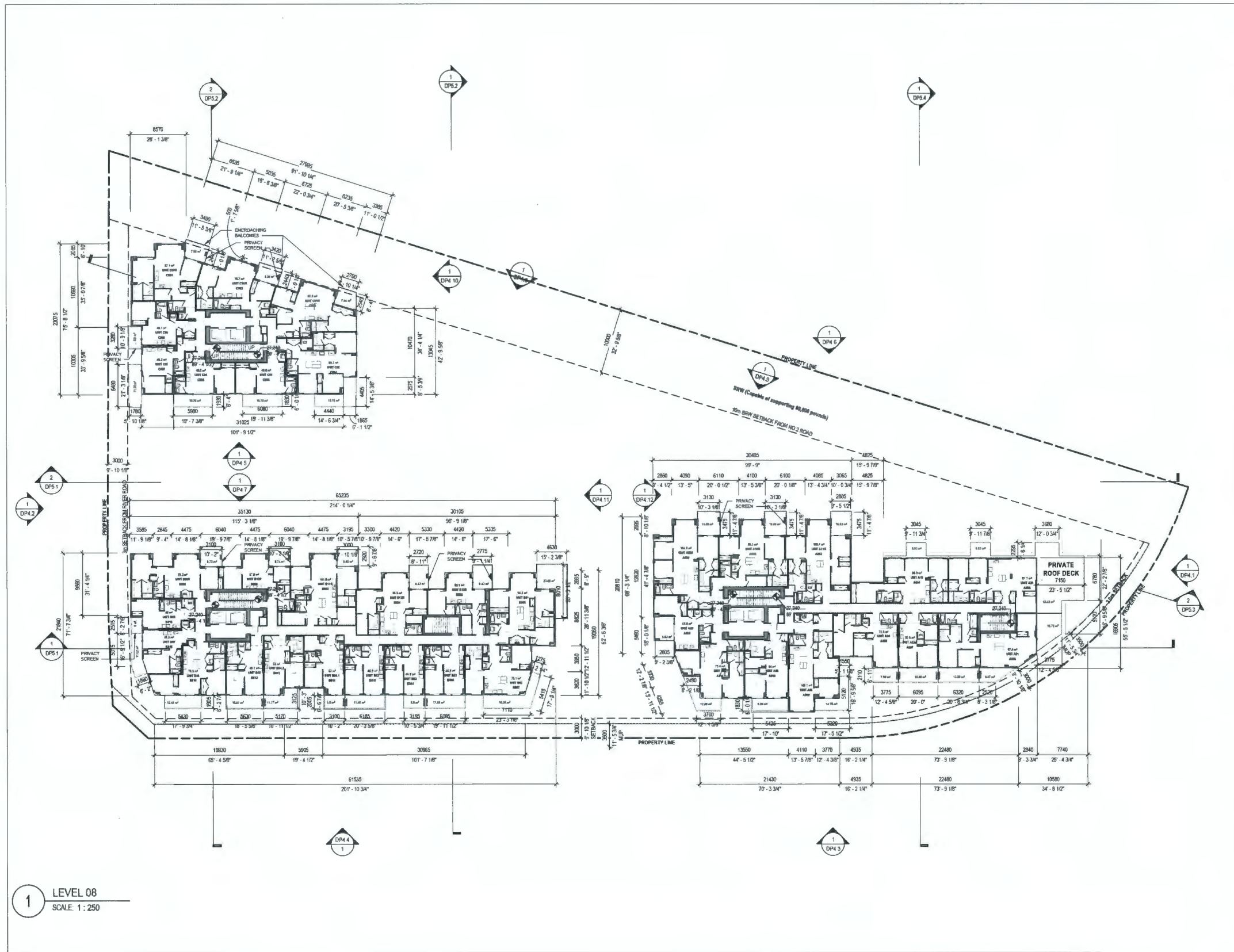


6011 RIVER ROAD  
 RIVER GREEN - LOT 1

LEVELS 3-7 PLAN

DRAWN Author PLOT DATE: 10/13/2023 3:36:47 PM CHECKED Checker

**DP2.4**



1 LEVEL 08  
SCALE: 1:250

ISSUED FOR:

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-05-09	DP RESPONSE #1
3	2023-08-05	DP RESPONSE #2
4	2023-08-15	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

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 DP Plan # 12

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 V6J 1K3  
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 SEAL

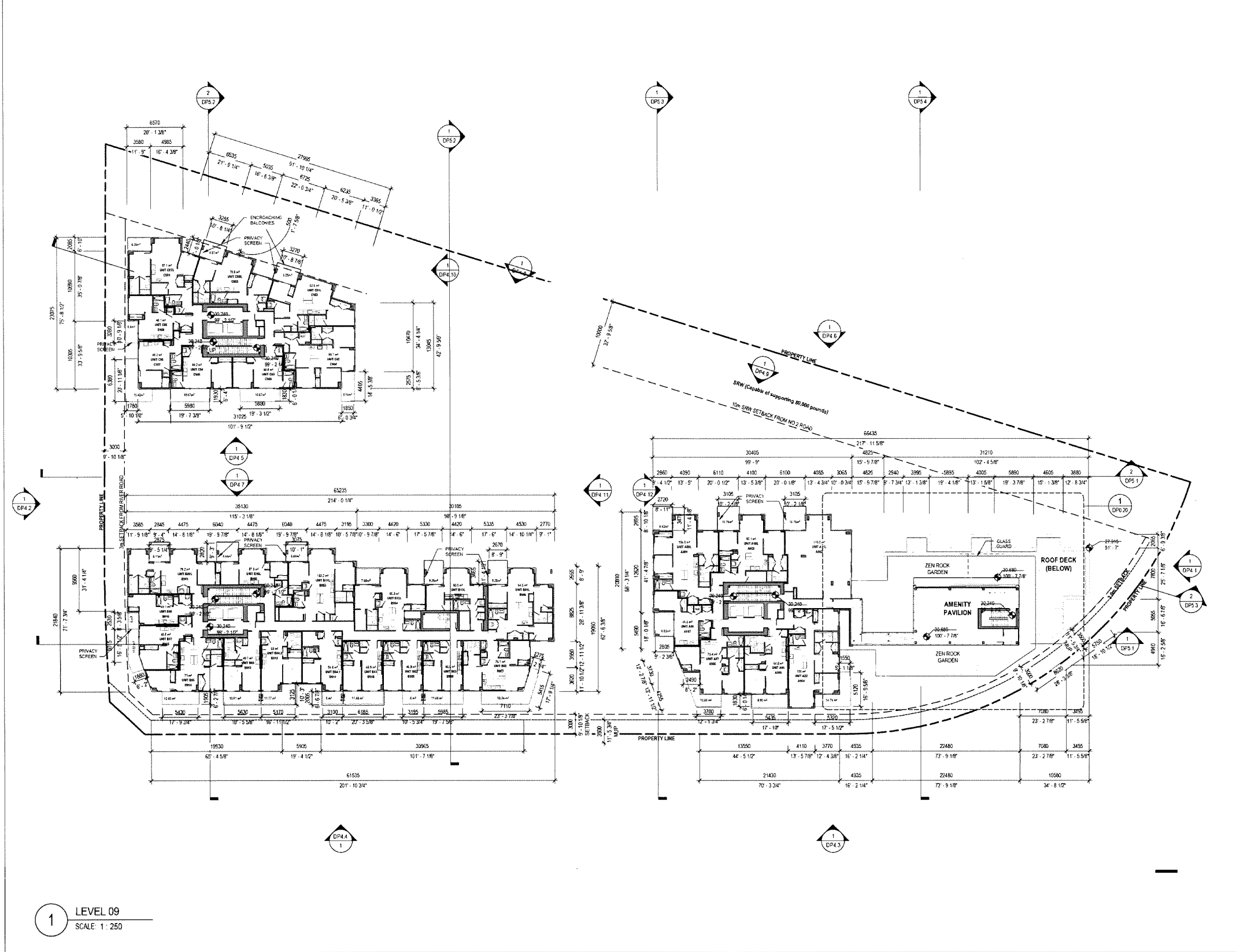


6011 RIVER ROAD  
 RIVER GREEN - LOT 1

LEVEL 8 PLAN

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 PLOT DATE: 10/13/2023 3:36:59 PM  
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**DP2.4a**



- ISSUED FOR:
- 1 2022-05-09 DEVELOPMENT PERMIT APPLICATION
  - 2 2023-08-09 DP RESPONSE #1
  - 3 2023-08-09 DP RESPONSE #2
  - 4 2023-08-19 DP RESPONSE #3
  - 5 2023-10-13 DP RESPONSE #4

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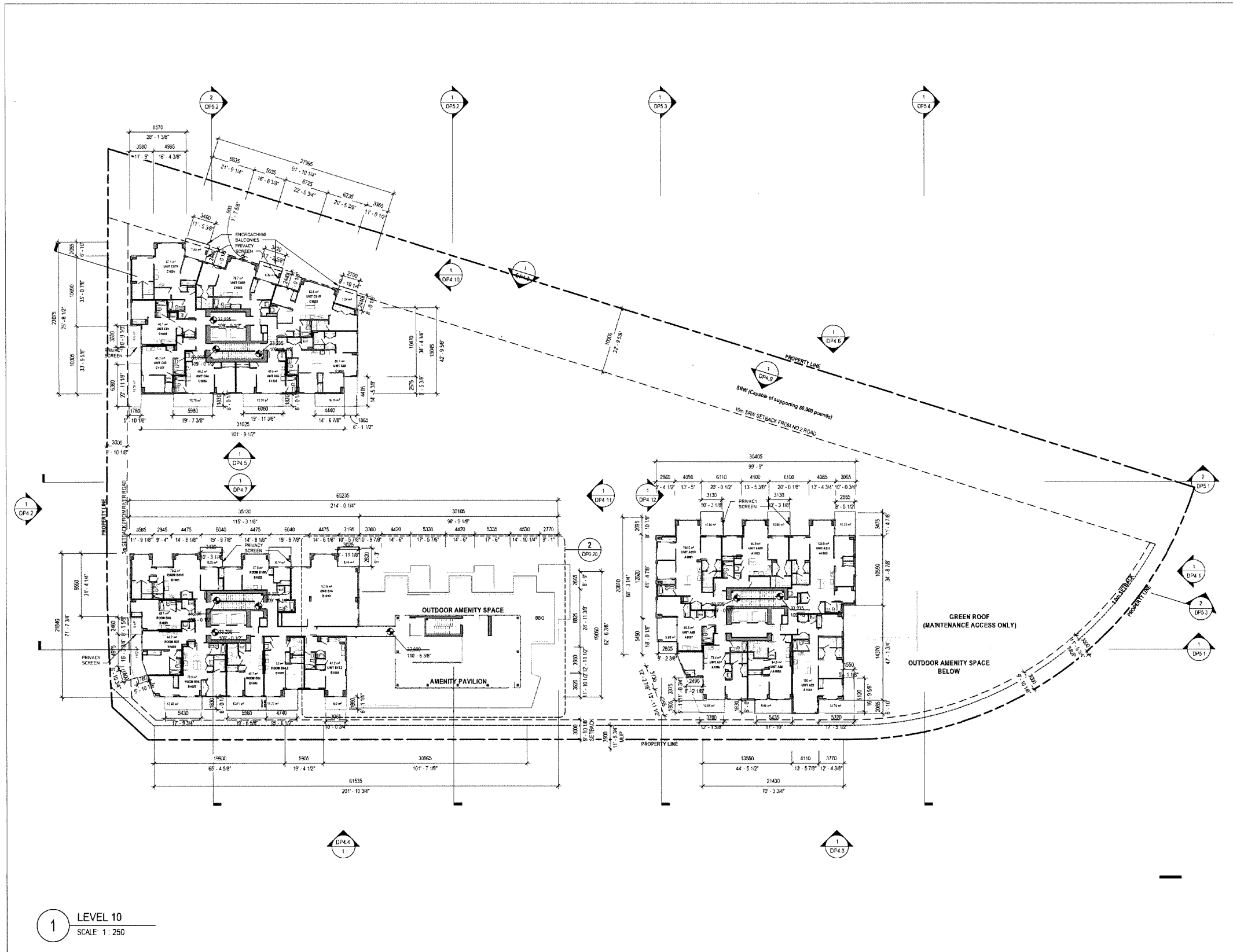
6011 RIVER ROAD  
 RIVER GREEN - LOT 1

LEVEL 9 PLAN

DRAWN: Author  
 PLOT DATE: 10/3/2023 3:37:12 PM  
 CHECKED: Checker

**DP2.5**

BC100179 - 2004354  
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1 LEVEL 10  
SCALE: 1:250

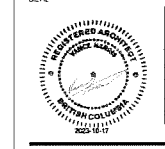
ISSUED FOR:

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2	2023-05-09	DP RESPONSE #1
3	2023-05-09	DP RESPONSE #2
4	2023-05-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
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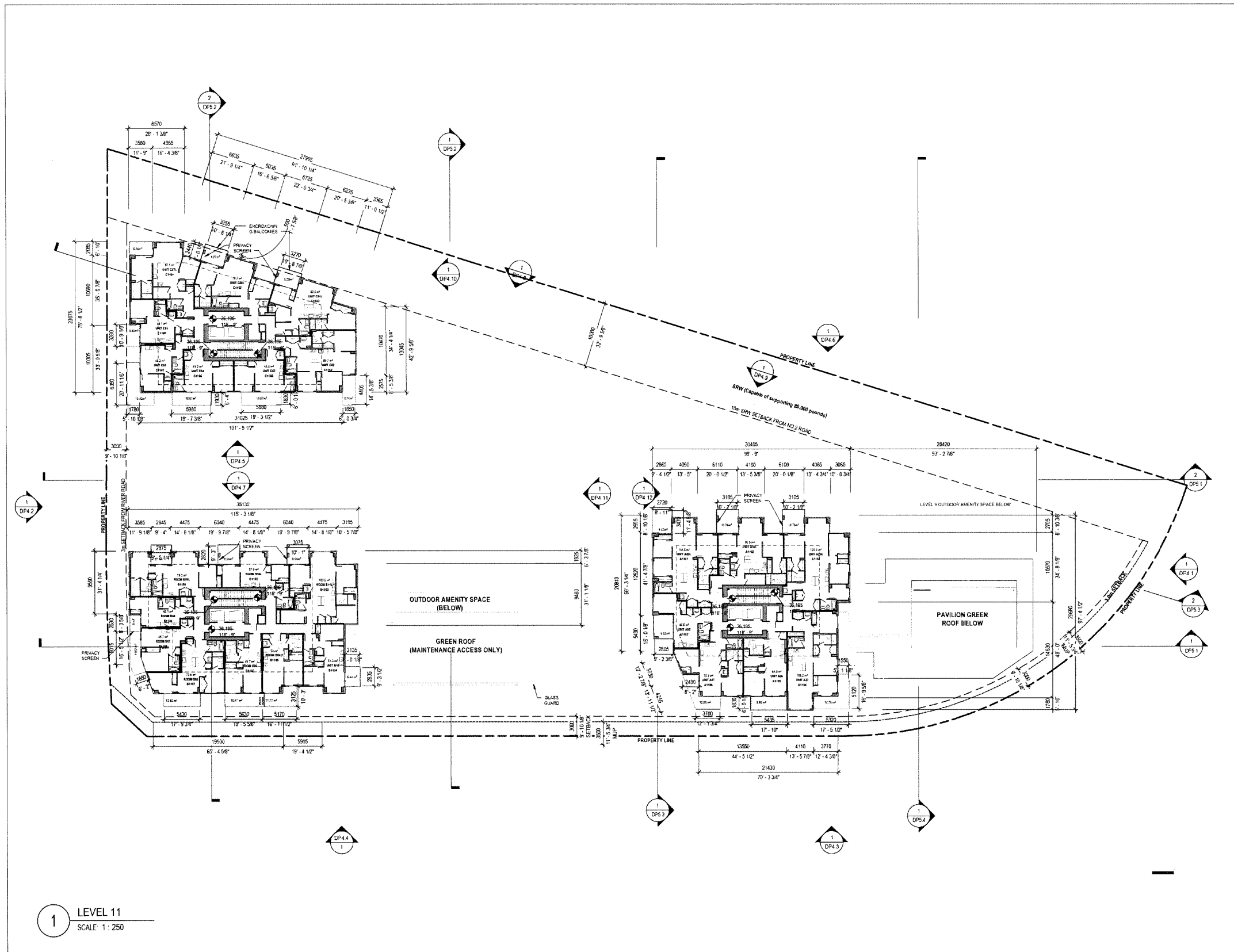
6011 RIVER ROAD  
 RIVER GREEN - LOT 1

LEVEL 10 PLAN

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**DP2.6**

BC100179 - 2004354  
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ISSUED FOR:

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-05-09	DP RESPONSE #1
3	2023-08-05	DP RESPONSE #2
4	2023-08-15	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

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DP 22-013200  
DP Plan # 15

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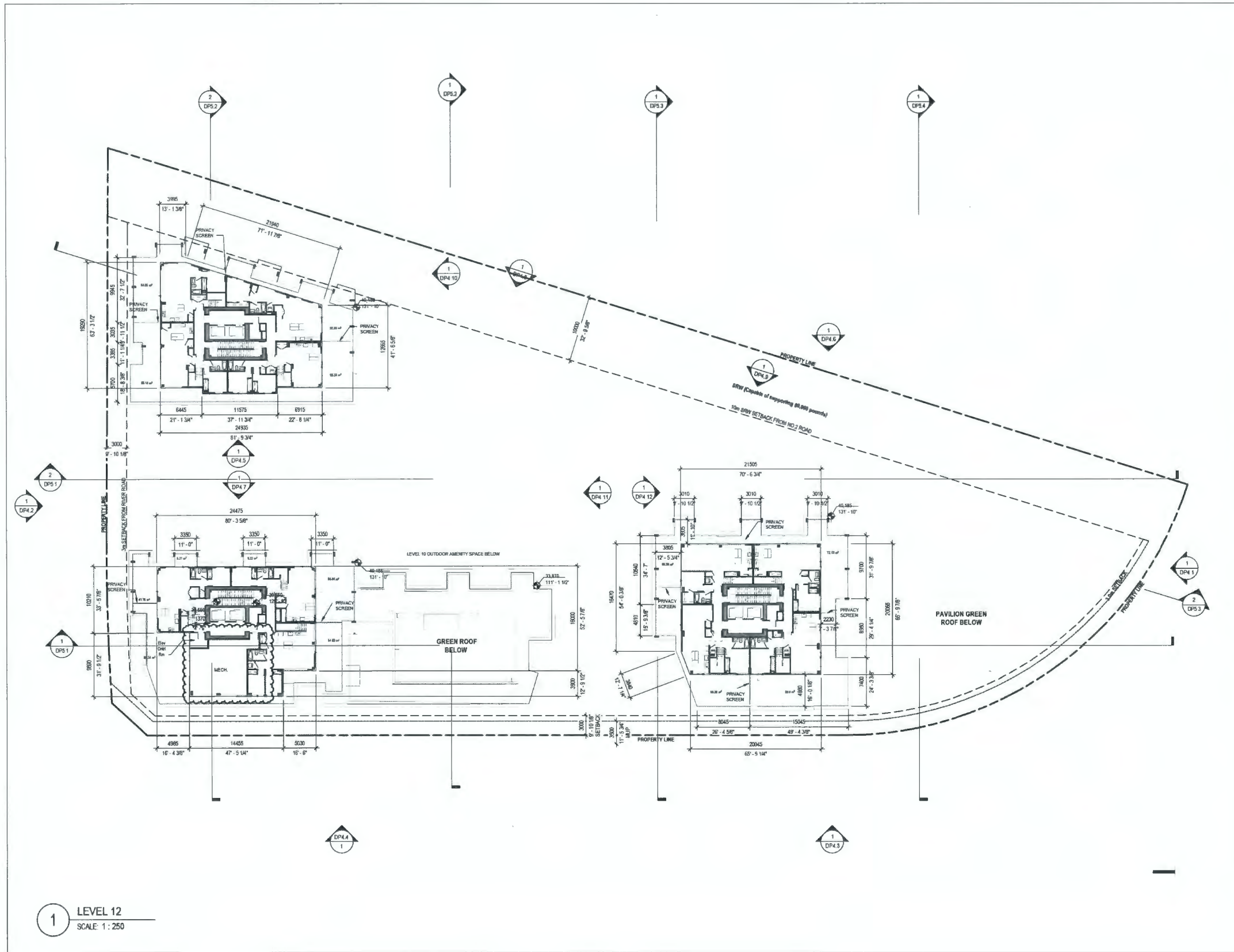


6011 RIVER ROAD  
RIVER GREEN - LOT 1

LEVEL 11 PLAN

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**DP2.7**



1 LEVEL 12  
SCALE: 1:250

ISSUED FOR:

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2022-09-09	DP RESPONSE #1
3	2023-08-28	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

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 DP Plan # 16

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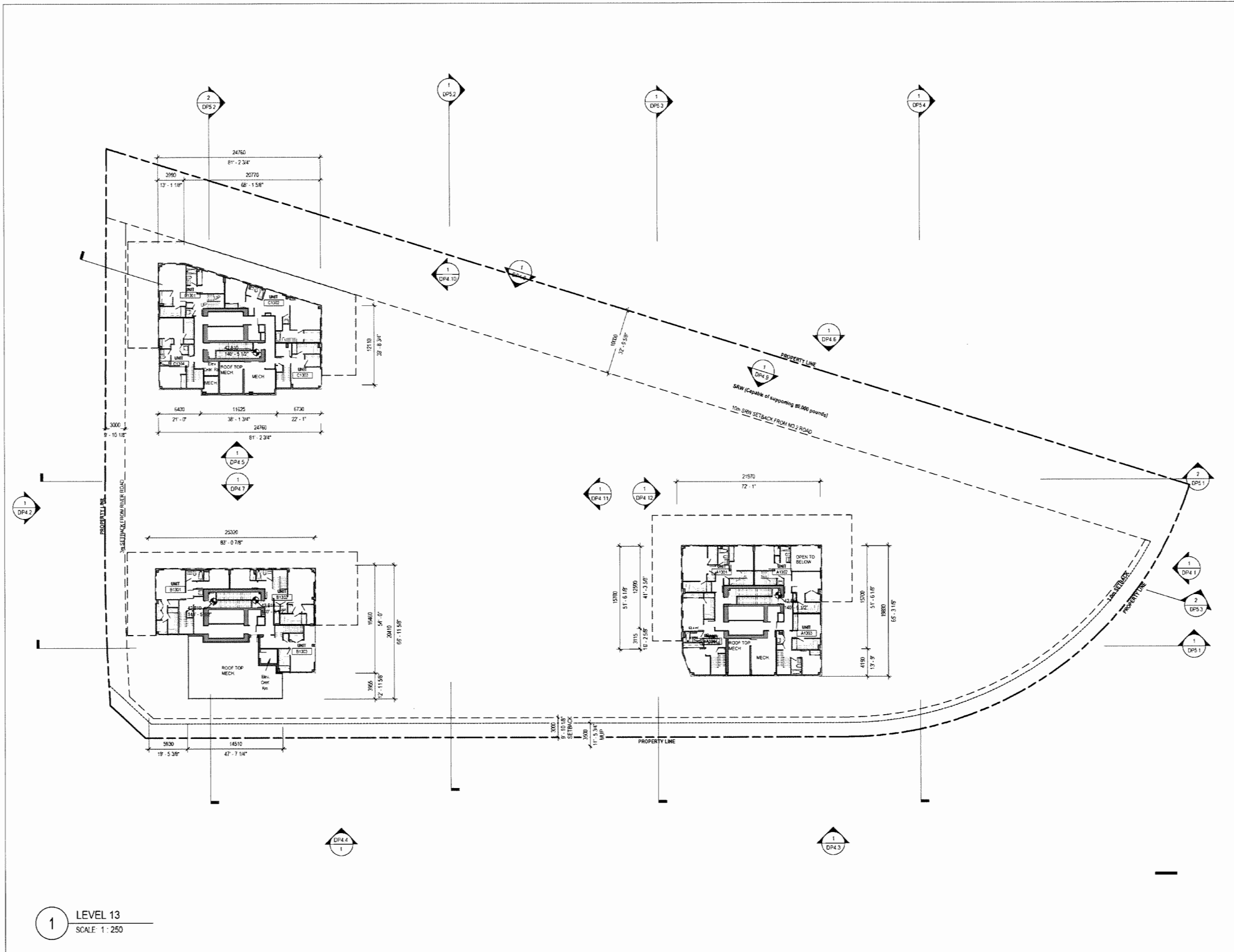


6011 RIVER ROAD  
 RIVER GREEN - LOT 1

LEVEL 12 PLAN

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 PLOT DATE: 10/13/2023 3:37:47 PM

**DP2.8**



1 LEVEL 13  
SCALE 1:250

- ISSUED FOR
- 1 2022-05-09 DEVELOPMENT PERMIT APPLICATION
  - 2 2023-02-09 DP RESPONSE #1
  - 3 2023-05-09 DP RESPONSE #2
  - 4 2023-05-18 DP RESPONSE #3
  - 5 2023-10-13 DP RESPONSE #4

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 DP 22-013200  
 DP Plan # 17

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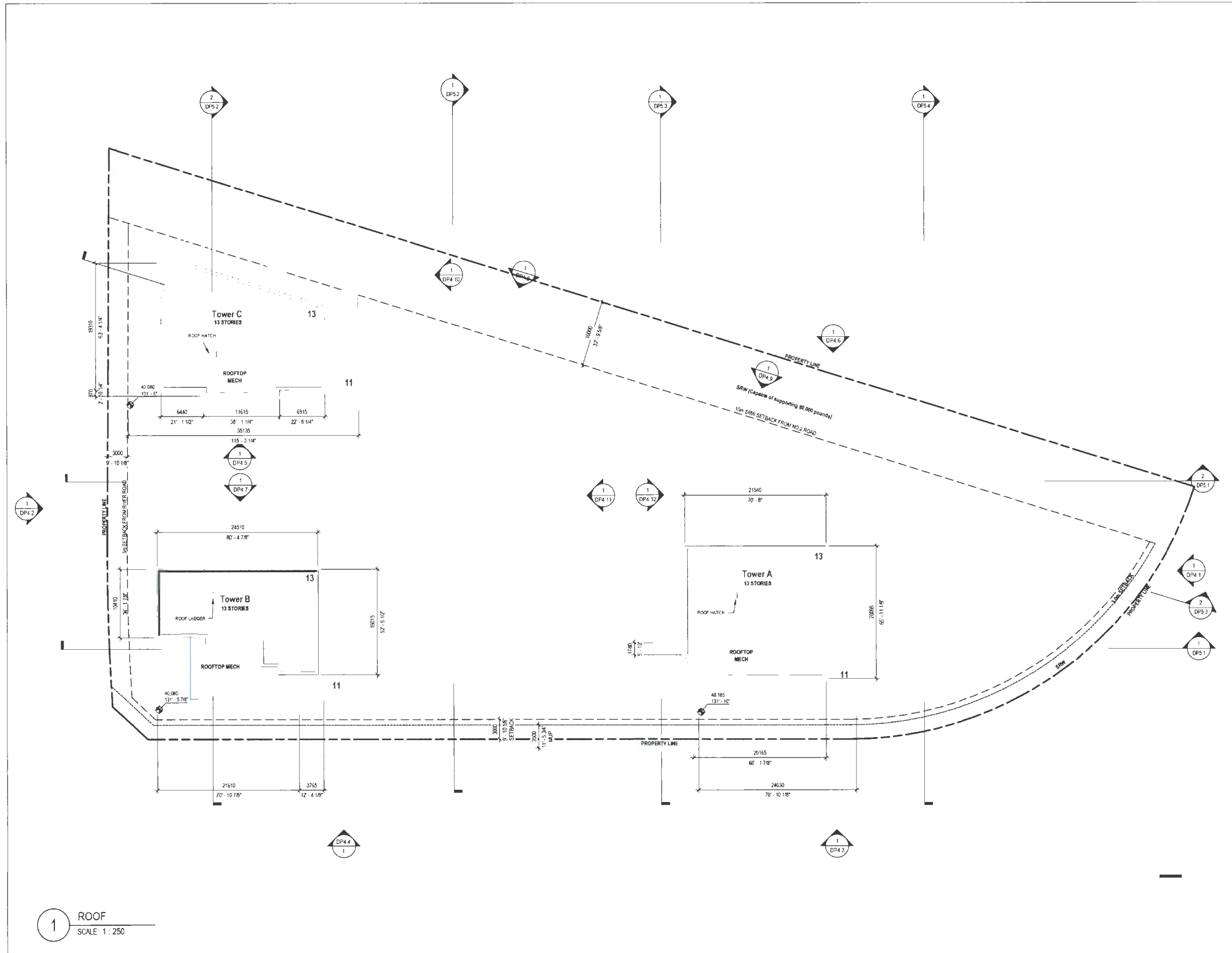
6011 RIVER ROAD  
 RIVER GREEN - LOT 1

LEVEL 13 PLAN

DRAWN: Author PLOT DATE: 10/13/2023 3:37:56 PM CHECKED: Dchidier

DP2.9

BC100179 - 2004354



1 ROOF  
SCALE 1 : 250

**DIALOG**

**PFS STUDIO**  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
DEVELOPMENTS

ISSUED FOR:

1	2022-05-05	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
DP 22-013200  
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V6J 1T3  
Tel: 604.736.6562 Fax:



6011 RIVER ROAD  
RIVER GREEN - LOT 1

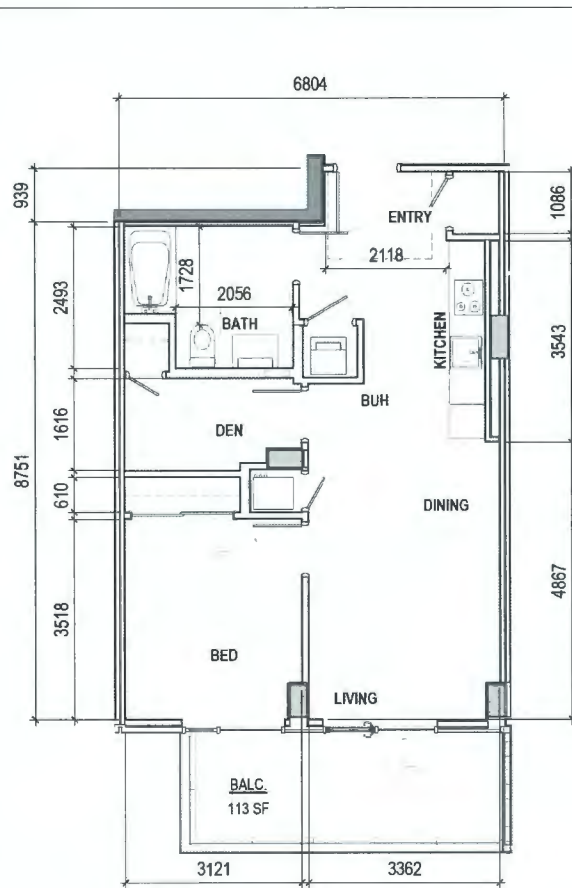
ROOF PLAN

DRAWN: Author  
PLOT DATE: 10/13/2023 3:38:04 PM  
CHECKED: Checker

**DP2.10**

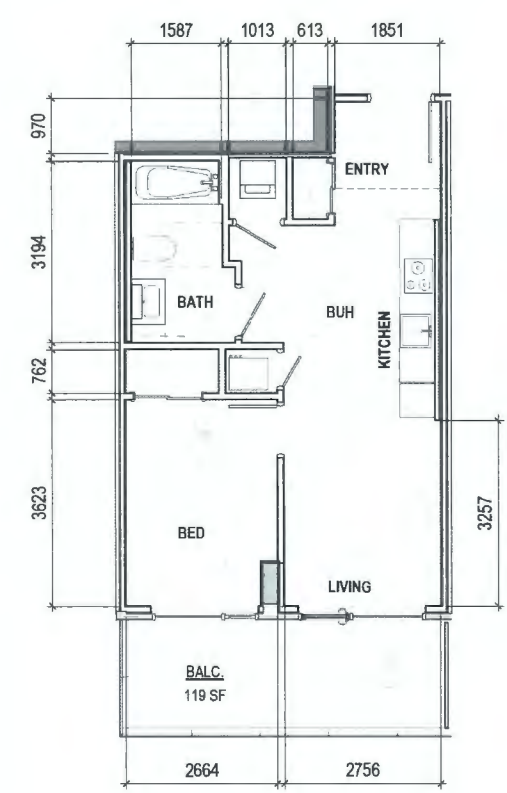
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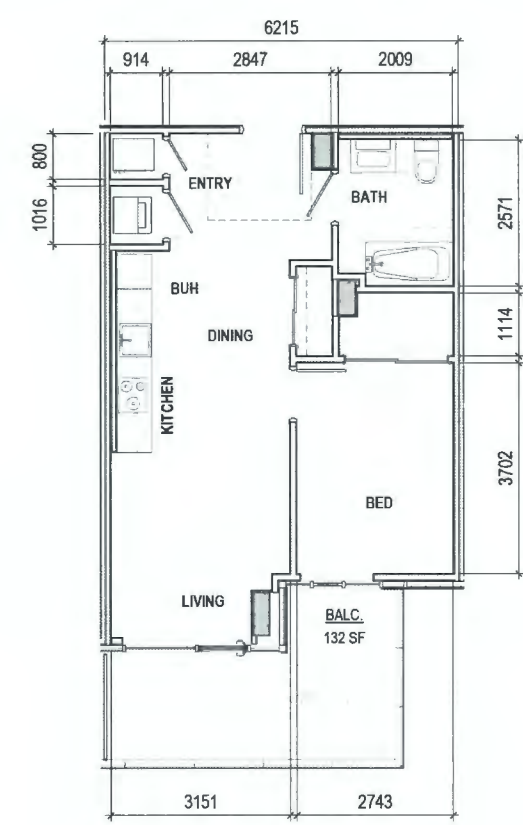
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SCALE: 1:50

TOWER A LEVEL 01 - 11



2 Unit B05  
SCALE: 1:50

TOWER B LEVEL 02 - 8



3 Unit B04.2  
SCALE: 1:50

TOWER B LEVEL 9 - 11

**BASIC UNIVERSAL HOUSING FEATURES**

The project proposes to provide 40 dwelling units (+11% of the total unit count) that are designed to incorporate all of the Basic Universal Housing (BUH) Features as described in Section 4.16 of the Richmond Zoning Bylaw 8500; the project proposes to claim the 1.86m2 exemption for each of these dwelling units as described in Subsection 4.6.2—adhering to the guidelines regarding:

- Doors & Doorways
- Manoeuvring Space at Doorways
- Corridor Widths & Clear Area at Elevators
- Floor Surfaces
- Windows
- Outlets & Switches
- Bathrooms
- Kitchens
- Bedroom & Closets
- Patios & Balconies

ISSUED FOR:

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
DP 22-013200  
DP Plan # 19

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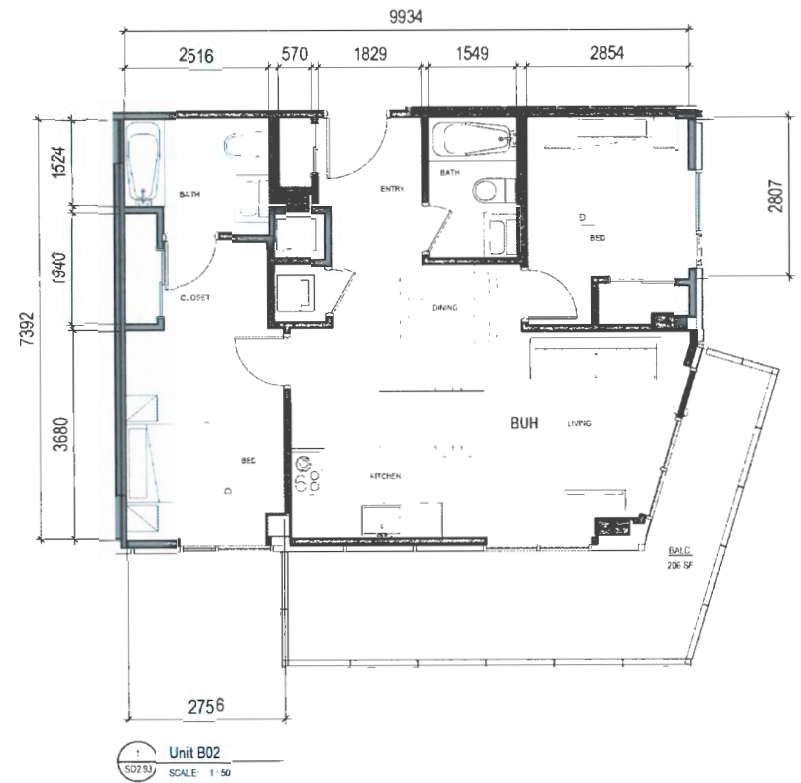


6011 RIVER ROAD  
RIVER GREEN - LOT 1

**BASIC UNIVERSAL HOUSING PROVISIONS**

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**DP0.24**



Unit B02  
SCALE: 1:50

TOWER B LEVEL 02 - 8

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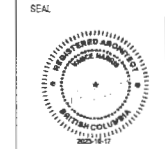
**ASPAC**  
DEVELOPMENTS

- ISSUED FOR
- 1 2023-06-09 DP RESPONSE #2
  - 2 2023-05-19 DP RESPONSE #3
  - 3 2023-10-13 DP RESPONSE #4

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6011 RIVER ROAD  
RIVER GREEN - LOT 1

BASIC UNIVERSAL  
HOUSING PROVISIONS

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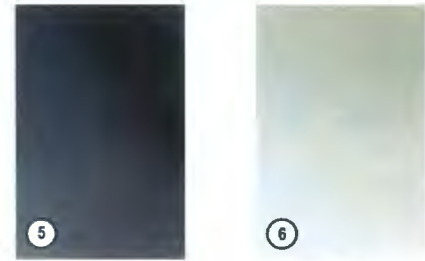
BC100175 - 2004354  
© Plan: 2023-10-13 10:00:00 AM, PLOT: 19/10/2023 3:12:13 PM

**FOREGROUND & FRAMING ELEMENTS**



**1**  
POWDER COATED ALUMINUM PANEL  
SANDSTONE COLOUR  
TYPICAL CLADDING  
DURASTAR SANDSTONE #UC135177 (PPG)

**2**  
SANDSTONE TILE  
FEATURE PLANTER WALLS &  
LANDSCAPE ELEMENTS  
IVORY VIEN CUT TRAVERTINE TILE (or SIM. CREO STONE)



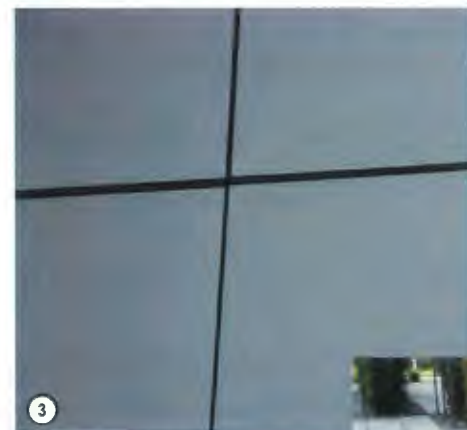
**5**  
CHARCOAL  
SPANDREL GLASS  
MATCH CHARCOAL GRAY  
METAL PANEL

**6**  
SANDSTONE  
SPANDREL GLASS  
MATCH SANDSTONE METAL PANEL



**7**  
FEATURE MATERIAL  
POOL, FITNESS PAVILION & MAIN ENTRY  
HAMPTON BRASS (or SIM.) #Ni-032 (Pure+Freeform)

**BACKGROUND ELEMENTS**



**3**  
POWDER COATED ALUMINUM PANEL  
CHARCOAL COLOUR  
TYPICAL RECESSED CLADDING  
DURASTAR CHARCOAL GRAY #UC143865  
(PPG)



**4**  
DARK GREY STONE TILE  
FEATURE RECESSED CLADDING  
AT ENTRIES & AMENITIES  
MARBLE TILE 'PIETRA GRAY' (or SIM. CREO STONE)



**9**  
LINEAR PATTERN OF MIXED  
CONCRETE PAVERS  
PROMINENT PUBLIC AREAS



**8**  
FROSTED GLASS  
PRIVACY SCREEN BETWEEN  
BALCONIES  
MATTE PRIVACY FILM 2 (3M)



TOWER A - ROOFTOP AMENITY PAVILION



PLANTED SCREEN AND POOL PAVILION



ENTRY COURTYARD



TYPICAL FACADE ELEMENTS

**DIALOG**

**PFS STUDIO**  
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**ASPAC**  
DEVELOPMENTS

ISSUED FOR:

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2	2023-05-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-08-18	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

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SEAL



6011 RIVER ROAD  
RIVER GREEN - LOT 1

**MATERIAL PALETTE**

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**DP4.0**

BC100179 - 2004354

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**DIALOG**

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**ASPAC**  
 DEVELOPMENTS

ISSUED FOR

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-09-08	DP RESPONSE #2
4	2023-05-19	DP RESPONSE #3
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6011 RIVER ROAD  
 RIVER GREEN - LOT 1

**NORTH ELEVATIONS**

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1 NORTH ELEVATION / TOWER A & C  
 SCALE 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01	BACK PAINTED GLASS SPANDREL - CONSISTENT IN COLOUR WITH VISION GLASS	07	STONE CLADDING - SANDSTONE TILES	13	METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER A AND B)
02	CLEAR GLAZING - WINDOW WALL SYSTEM	08	PAINTED CONCRETE - CHARCOAL GRAY	14	FINISHED METAL SHADE PINS - BRASS EFFECT
03	METAL GLAZER SCREEN - CHARCOAL GRAY COLOUR	09	PAINTED CONCRETE - LIGHT GREY	15	CLEAR GLAZING ALUMINUM FRAMING - CLEAR ANODIZED ALUMINUM MULLIONS
04	POWDER COATED ALUMINUM PANEL - CHARCOAL GRAY COLOUR	10	PAINTED CONCRETE - SANDSTONE COLOR	16	CLEAR GLAZING - CURTAIN WALL SYSTEM & CLEAR ANODIZED ALUMINUM MULLIONS
05	POWDER COATED ALUMINUM PANEL - SANDSTONE COLOUR	11	GALVANIZED STEEL MESH FOR PLANTING SUPPORT	17	METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER C)
06	STONE CLADDING - BASALT TILES	12	CLEAR GLAZING - WINDOW WALL SYSTEM & GRAPHITE GRAY MULLIONS WITH VERTICAL SHADING		



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1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
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3	2023-08-02	DP RESPONSE #2
4	2023-08-13	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

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6011 RIVER ROAD  
RIVER GREEN - LOT 1

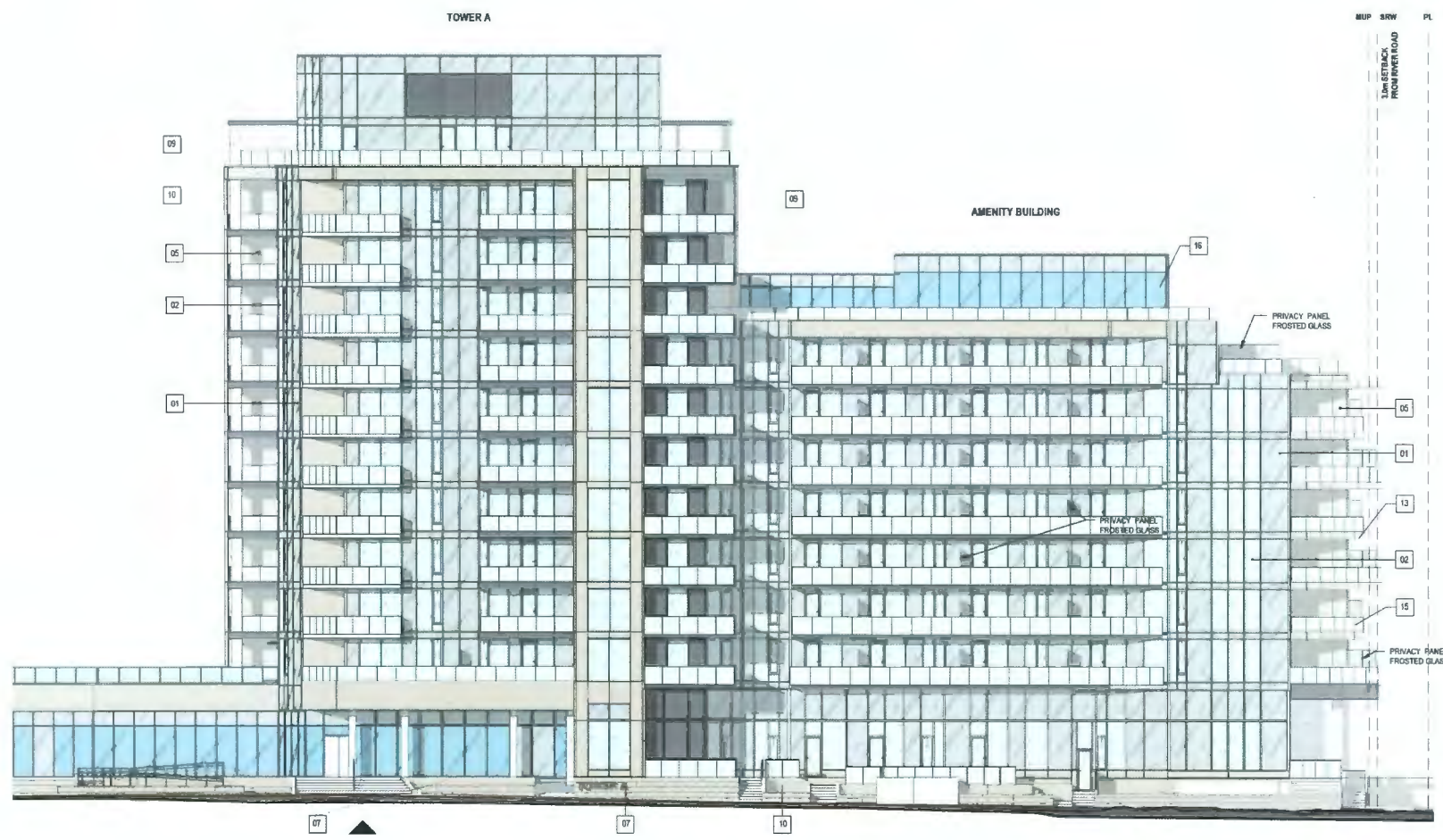
EAST ELEVATION - TOWER A

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PLOT DATE: 10/13/2023 3:44:40 PM  
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**DP4.3**

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**1** EAST ELEVATION TOWER A  
SCALE: 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01	BACK PAINTED GLASS SPANDREL - CONSISTENT IN COLOUR WITH VISION GLASS	07	STONE CLADDING - SANDSTONE TILES	13	METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER A AND B)
02	CLEAR GLAZING - WINDOW WALL SYSTEM	08	PAINTED CONCRETE - CHARCOAL GRAY	14	FINISHED METAL SHADE PMS - BRASS EFFECT
03	METAL LOUVER SCREEN - CHARCOAL GRAY COLOUR	09	PAINTED CONCRETE - LIGHT GREY	15	CLEAR GLAZING ALUMINIUM RAILING - CLEAR ANODIZED ALUMINIUM MULLIONS
04	POWDER COATED ALUMINIUM PANEL - CHARCOAL GRAY COLOUR	10	PAINTED CONCRETE - SANDSTONE COLOR	16	CLEAR GLAZING - CURTAIN WALL SYSTEM & CLEAR ANODIZED ALUMINIUM MULLIONS
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06	STONE CLADDING - BASALT TILES	12	CLEAR GLAZING - WINDOW WALL SYSTEM & GRANITE GRAY MULLIONS WITH VERTICAL SHADING		

**DIALOG**

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DEVELOPMENTS

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- 2 2023-02-09 DP RESPONSE #1
- 3 2023-06-05 DP RESPONSE #2
- 4 2023-08-18 DP RESPONSE #3
- 5 2023-10-13 DP RESPONSE #4

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6011 RIVER ROAD  
RIVER GREEN - LOT 1

**EAST ELEVATION - TOWER B**

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**DP4.4**

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1 EAST ELEVATION TOWER B  
SCALE: 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

- |   |   |   |
|---|---|---|
| 01 BACK PAINTED GLASS SPANDREL - CONSISTENT IN COLOUR WITH VISION GLASS | 07 STONE CLADDING - SANDSTONE TILES   | 13 METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER A AND B)   |
| 02 CLEAR GLAZING - WINDOW WALL SYSTEM                                   | 08 PAINTED CONCRETE - CHARCOAL GRAY   | 14 FINISHED METAL SHADE FINS - BRASS EFFECT                               |
| 03 METAL CLAYER SCREEN - CHARCOAL GRAY COLOUR                           | 09 PAINTED CONCRETE - LIGHT GREY  | 15 CLEAR GLAZING ALUMINUM RAILING - CLEAR ANODIZED ALUMINUM MULLIONS      |
| 04 POWDER COATED ALUMINUM PANEL - CHARCOAL GRAY COLOUR                  | 10 PAINTED CONCRETE - SANDSTONE COLOR   | 16 CLEAR GLAZING - CURTAIN WALL SYSTEM & CLEAR ANODIZED ALUMINUM MULLIONS |
| 05 POWDER COATED ALUMINUM PANEL - SANDSTONE COLOUR                      | 11 GALVANIZED STEEL MESH FOR PLANTING SUPPORT                                       | 17 METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER C)         |
| 06 STONE CLADDING - BASALT TILES  | 12 CLEAR GLAZING - WINDOW WALL SYSTEM & GRANITE GRAY MULLIONS WITH VERTICAL SHADING |   |

**DIALOG**

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4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

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6011 RIVER ROAD  
RIVER GREEN - LOT 1

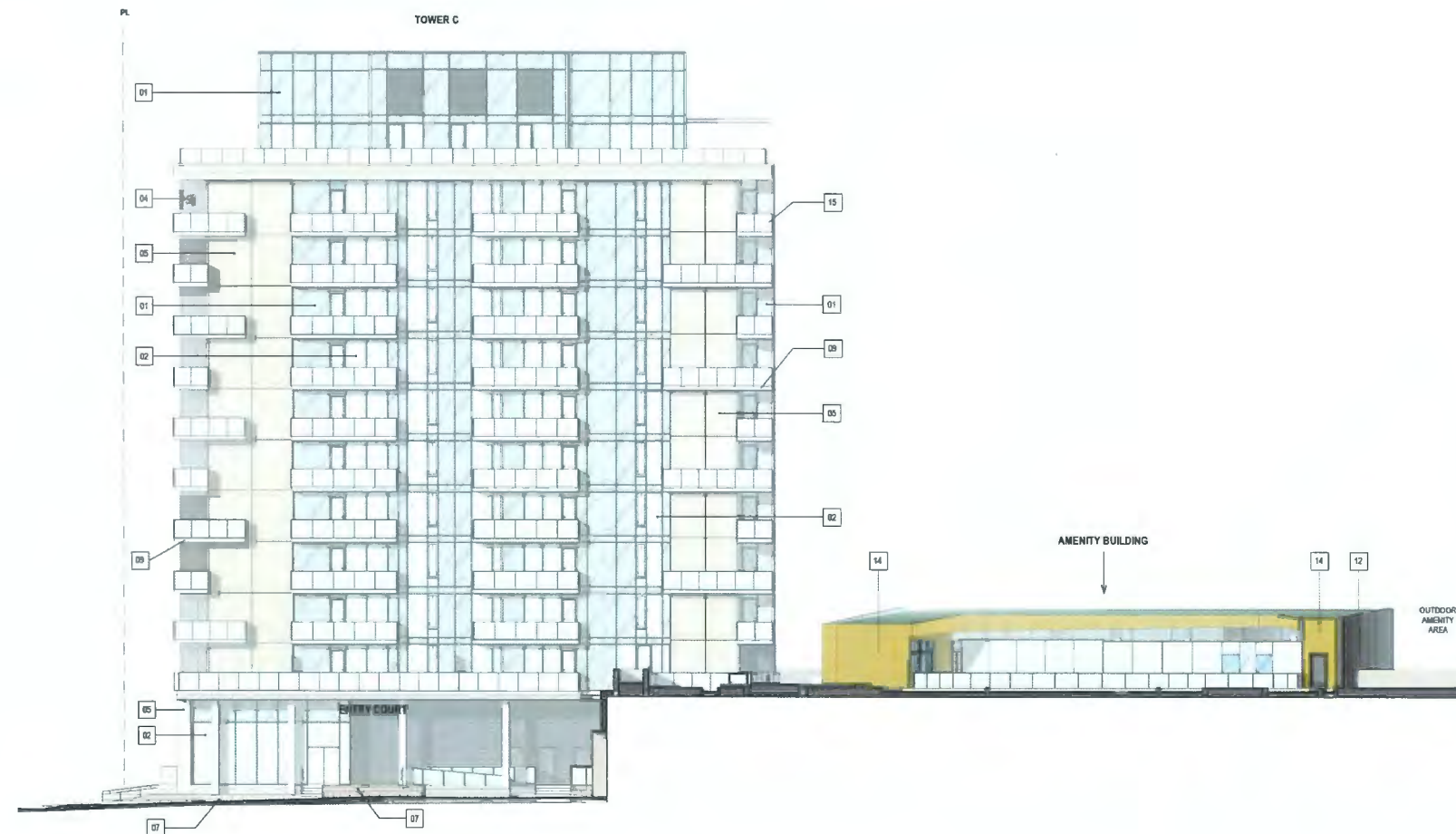
**EAST ELEVATION - TOWER C**

DESIGN: Author  
PLOT DATE: 10/13/2023 3:47:43 PM  
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**DP4.5**

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1 EAST ELEVATION TOWER C  
SCALE 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01	BACK PAINTED GLASS SPANDREL - CONSISTENT IN COLOUR WITH VISION GLASS	07	STONE CLADDING - SANDSTONE TILES	13	METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER A AND B)
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**DIALOG**

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DP Plan # 27

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V6J 1N3  
Tel: 604 736 6362 Fax:

SEAL



6011 RIVER ROAD  
RIVER GREEN - LOT 1

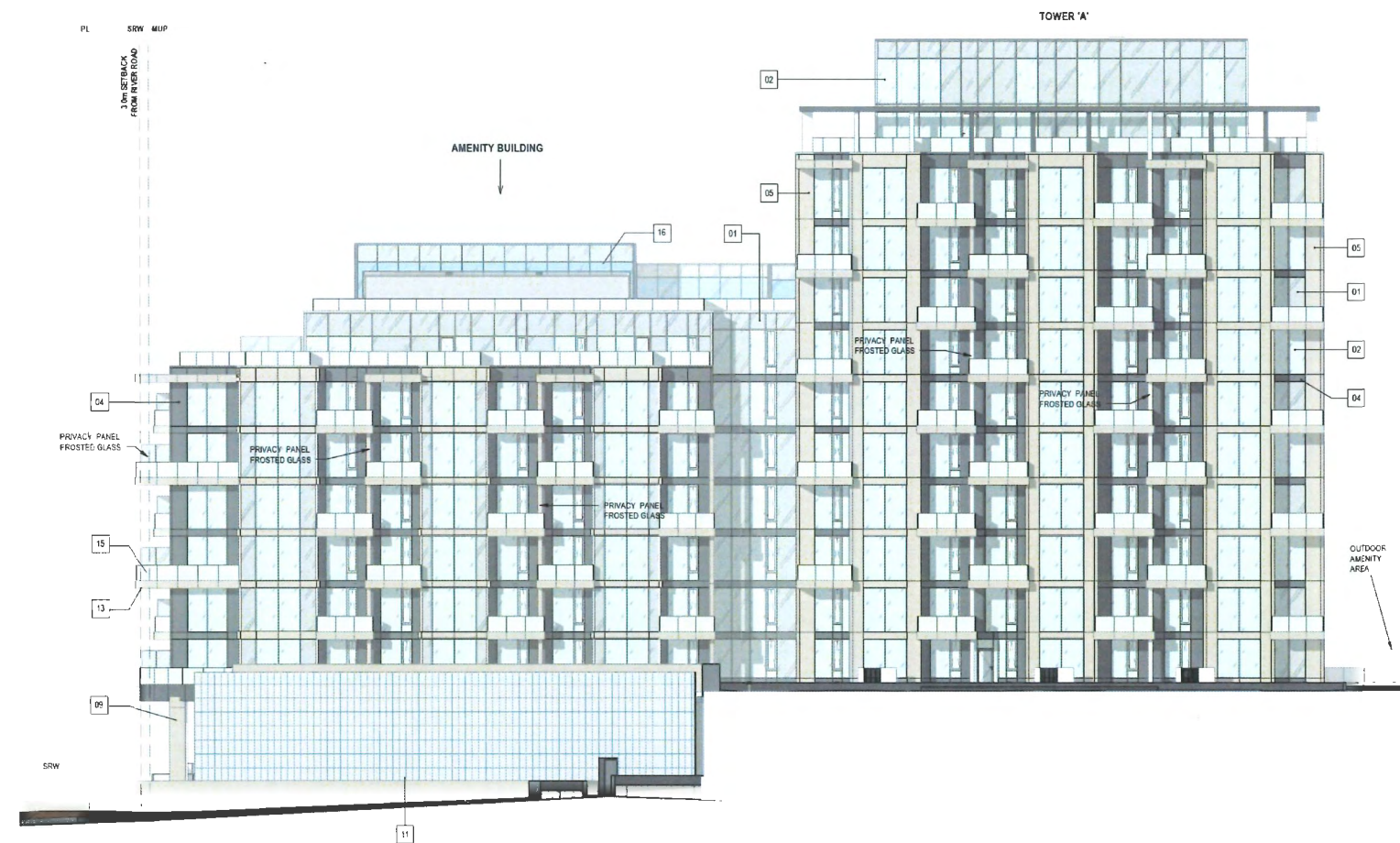
**WEST ELEVATION - TOWER A**

DRAWN: Author PLOT DATE: 10/13/2023 3:48:42 PM CHECKED: Chetan

**DP4.6**

BC100179 - 2004354

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1 WEST ELEVATION TOWER A  
SCALE 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01	BACK PAINTED GLASS SPANDREL - CONSISTENT IN COLOUR WITH VISION GLASS	07	STONE CLADDING - SANDSTONE TILES	13	METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER A AND B)
02	CLEAR GLAZING - WINDOW WALL SYSTEM	08	PAINTED CONCRETE - CHARCOAL GRAY	14	FINISHED METAL SHADE FINS - BRASS EFFECT
03	METAL GLAZER SCREEN - CHARCOAL GRAY COLOUR	09	PAINTED CONCRETE - LIGHT GREY	15	CLEAR GLAZING - ALUMINUM FRAMING - CLEAR ANODIZED ALUMINUM MULLIONS
04	POWDER COATED ALUMINUM PANEL - CHARCOAL GRAY COLOUR	10	PAINTED CONCRETE - SANDSTONE COLOR	16	CLEAR GLAZING - CURTAIN WALL SYSTEM & CLEAR ANODIZED ALUMINUM MULLIONS
05	POWDER COATED ALUMINUM PANEL - SANDSTONE COLOUR	11	GALVANIZED STEEL MESH FOR PLANTING SUPPORT	17	METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER C)
06	STONE CLADDING - BASALT TILES	12	CLEAR GLAZING - WINDOW WALL SYSTEM & GRANITE GRAY MULLIONS WITH VERTICAL SHADING		

**DIALOG**<sup>®</sup>

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**ASPAC**  
DEVELOPMENTS

ISSUED FOR:

- 1 2022-05-18 DEVELOPMENT PERMIT APPLICATION
- 2 2023-02-09 DP RESPONSE #1
- 3 2023-06-05 DP RESPONSE #2
- 4 2023-09-19 DP RESPONSE #3
- 5 2023-10-13 DP RESPONSE #4

October 23, 2023  
DP 22-013200  
DP Plan # 28

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6011 RIVER ROAD  
RIVER GREEN - LOT 1

WEST ELEVATION - TOWER B

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PLOT DATE: 10/13/2023 3:45:56 PM

**DP4.7**

BC100179 - 2004354

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1 WEST ELEVATION TOWER B  
SCALE 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

- |  |   |   |
|--|---|---|
| 01 BACK PAINTED GLASS SPANDREL, CONSISTENT IN COLOUR WITH WINDOW GLASS | 07 STONE CLADDING - SANDSTONE TILES   | 13 METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER A AND B)   |
| 02 CLEAR GLAZING - WINDOW WALL SYSTEM                                  | 08 PAINTED CONCRETE - CHARCOAL GRAY   | 14 FINISHED METAL SHADE FINE - BRASS EFFECT                               |
| 03 METAL LOUVER SCREEN - CHARCOAL GRAY COLOUR                          | 09 PAINTED CONCRETE - LIGHT GREY  | 15 CLEAR GLAZING ALUMINUM RAILING - CLEAR ANODIZED ALUMINUM MULLIONS      |
| 04 POWDER COATED ALUMINUM PANEL - CHARCOAL GRAY COLOUR                 | 10 PAINTED CONCRETE - SANDSTONE COLOUR  | 16 CLEAR GLAZING - CURTAIN WALL SYSTEM & CLEAR ANODIZED ALUMINUM MULLIONS |
| 05 POWDER COATED ALUMINUM PANEL - SANDSTONE COLOUR                     | 11 GALVANIZED STEEL MESH FOR PLANTING SUPPORT                                       | 17 METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER C)         |
| 06 STONE CLADDING - BASALT TILES                                       | 12 CLEAR GLAZING - WINDOW WALL SYSTEM & GRANITE GRAY MULLIONS WITH VERTICAL SHADING |   |

**DIALOG**

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DEVELOPMENTS

ISSUED FOR

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-06-29	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
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DP Plan # 29

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6011 RIVER ROAD  
RIVER GREEN - LOT 1

**WEST ELEVATION - TOWER C**

DESIGN: Author CHECKED: Checker  
PLOT DATE: 10/13/2023 3:52:01 PM

**DP4.8**

BC100179 - 2004354  
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**1 WEST ELEVATION TOWER C**  
SCALE: 1 : 150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01	BACK PAINTED GLASS SPANDREL - CONSISTENT IN COLOUR WITH VISION GLASS	07	STONE CLADDING - SANDSTONE TILES	13	METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER A AND B)
02	CLEAR GLAZING - WINDOW WALL SYSTEM	08	PAINTED CONCRETE - CHARCOAL GRAY	14	FINISHED METAL SHADE FINS - BRASS EFFECT
03	METAL GLAZER SCREEN - CHARCOAL GRAY COLOUR	09	PAINTED CONCRETE - LIGHT GREY	15	CLEAR GLAZING ALUMINUM FINISH - CLEAR ANODIZED ALUMINUM MULLIONS
04	POWDER COATED ALUMINUM PANEL - CHARCOAL GRAY COLOUR	10	PAINTED CONCRETE - SANDSTONE COLOR	16	CLEAR GLAZING - CURTAIN WALL SYSTEM & CLEAR ANODIZED ALUMINUM MULLIONS
05	POWDER COATED ALUMINUM PANEL - SANDSTONE COLOUR	11	GALVANIZED STEEL MESH FOR PLANTING SUPPORT	17	METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER C)
06	STONE CLADDING - BASALT TILES	12	CLEAR GLAZING - WINDOW WALL SYSTEM & GRANITE GRAY MULLIONS WITH VERTICAL SHADING		

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DEVELOPMENTS

ISSUED FOR

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2022-02-09	DP RESPONSE #1
3	2023-08-05	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

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DP Plan # 30

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6011 RIVER ROAD  
RIVER GREEN - LOT 1

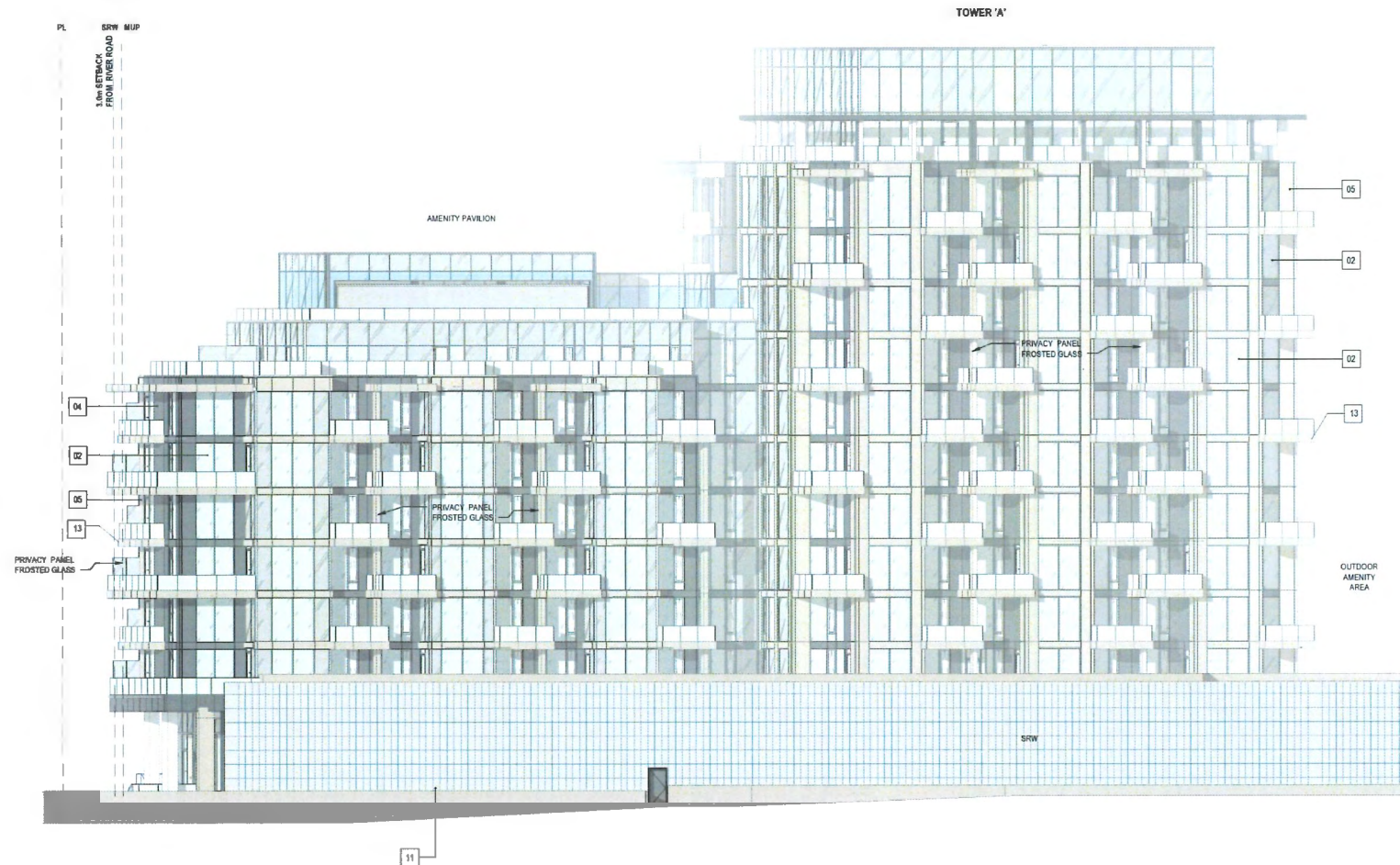
WEST ELEVATION - TOWER A, 2

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**DP4.9**

BC100179 - 2004354

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1 WEST ELEVATION TOWER A 2  
SCALE: 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01	BACK PAINTED GLASS SPANDREL - CONSISTENT IN COLOUR WITH VISOR GLASS	07	STONE CLADDING - SANDSTONE TILES	13	METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER A AND B)
02	CLEAR GLAZING - WINDOW WALL SYSTEM	08	PAINTED CONCRETE - CHARCOAL GRAY	14	FINISHED METAL SHADE PMS - BRASS EFFECT
03	METAL GLAZER SCREEN - CHARCOAL GRAY COLOUR	09	PAINTED CONCRETE - LIGHT GREY	15	CLEAR GLAZING ALUMINUM RAILING - CLEAR ANODIZED ALUMINUM MULLIONS
04	POWDER COATED ALUMINUM PANEL - CHARCOAL GRAY COLOUR	10	PAINTED CONCRETE - SANDSTONE COLOUR	16	CLEAR GLAZING - CURTAIN WALL SYSTEM & CLEAR ANODIZED ALUMINUM MULLIONS
05	POWDER COATED ALUMINUM PANEL - SANDSTONE COLOUR	11	GALVANIZED STEEL MESH FOR PLANTING SUPPORT	17	METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER C)
06	STONE CLADDING - BASALT TILES	12	CLEAR GLAZING WINDOW WALL SYSTEM & GRANITE GRAY MULLIONS WITH VERTICAL SHADING		

**DIALOG**

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- 1 2022-05-09 DEVELOPMENT PERMIT APPLICATION
- 2 2023-02-09 DP RESPONSE #1
- 3 2023-08-05 DP RESPONSE #2
- 4 2023-08-19 DP RESPONSE #3
- 5 2023-10-13 DP RESPONSE #4

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DP Plan # 31

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6011 RIVER ROAD  
RIVER GREEN - LOT 1

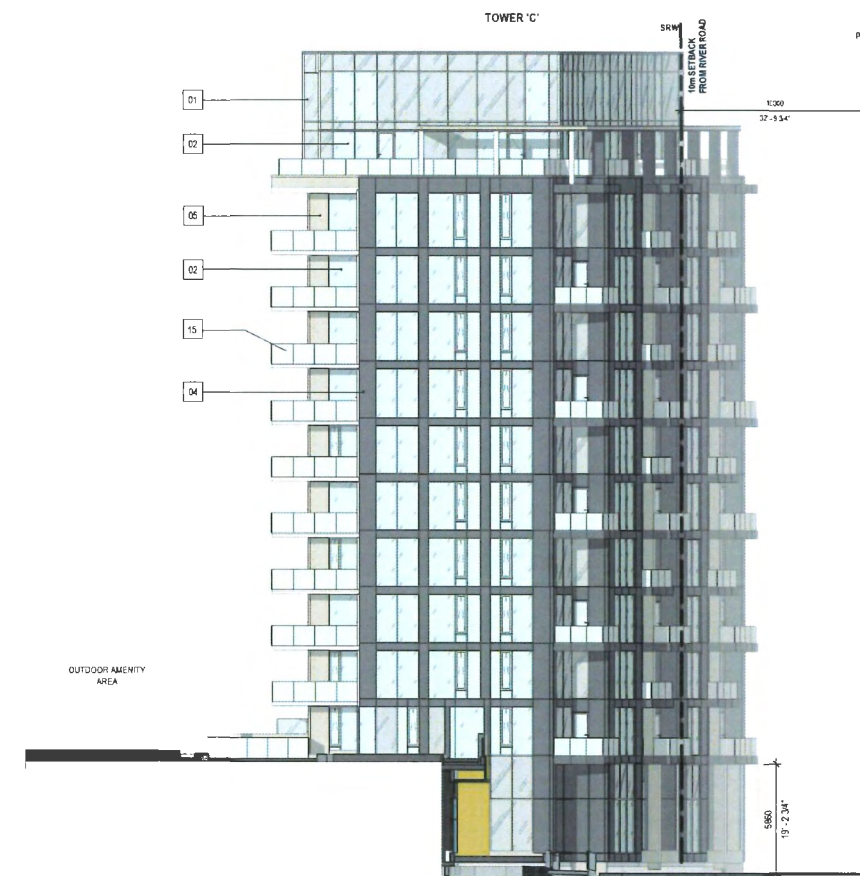
**NORTH ELEVATION - TOWER C**

DRAWN: Author CHECKED: Checker  
PLOT DATE: 10/13/2023 3:54:32 PM

**DP4.10**

BC100179 - 2004354

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1 NORTH ELEVATION TOWER C  
SCALE: 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

- |   |   |   |
|---|---|---|
| 01 BACK PAINTED GLASS SPANDREL - CONSISTENT IN COLOUR WITH WINDOW GLASS | 07 STONE CLADDING - SANDSTONE TILES   | 13 METAL PANEL - SANDSTONE COLOUR (IN FACE OF BALCONIES TOWER A AND B)    |
| 02 CLEAR GLAZING - WINDOW WALL SYSTEM                                   | 08 PAINTED CONCRETE - CHARCOAL GRAY   | 14 FINISHED METAL SHADE FINIS - BRASS EFFECT                              |
| 03 METAL LOUVER SCREEN - CHARCOAL GRAY COLOUR                           | 09 PAINTED CONCRETE - LIGHT GRAY  | 15 CLEAR GLAZING ALUMINUM FRAMING - CLEAR ANODIZED ALUMINUM MULLIONS      |
| 04 POWDER COATED ALUMINUM PANEL - CHARCOAL GRAY COLOUR                  | 10 PAINTED CONCRETE - SANDSTONE COLOR   | 16 CLEAR GLAZING - CURTAIN WALL SYSTEM & CLEAR ANODIZED ALUMINUM MULLIONS |
| 05 POWDER COATED ALUMINUM PANEL - SANDSTONE COLOUR                      | 11 GALVANIZED STEEL MESH FOR PLANTING SUPPORT                                       | 17 METAL PANEL - SANDSTONE COLOUR (IN FACE OF BALCONIES TOWER C)          |
| 06 STONE CLADDING - BASALT TILES  | 12 CLEAR GLAZING - WINDOW WALL SYSTEM & GRANITE GRAY MULLIONS WITH VERTICAL SHADING |   |

**DIALOG**

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1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-05-05	DP RESPONSE #2
4	2023-05-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

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DP 22-013200  
DP Plan # 32

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6011 RIVER ROAD  
RIVER GREEN - LOT 1

**NORTH ELEVATION -  
TOWER B**

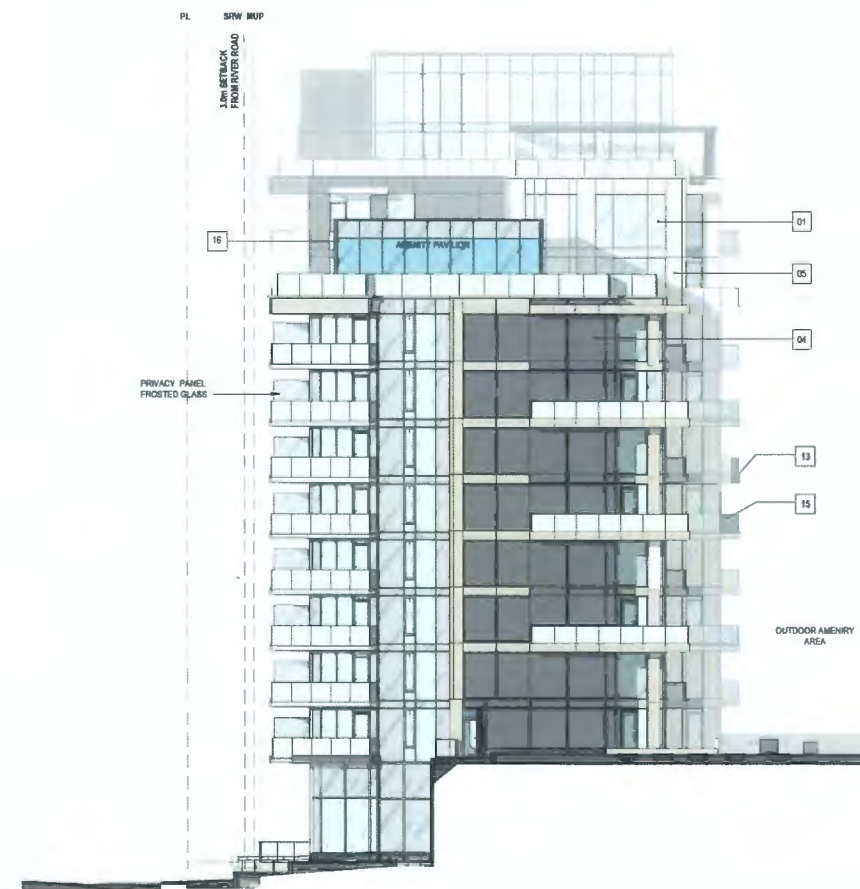
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BC100179 - 2004354

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1 NORTH ELEVATION TOWER B  
SCALE: 1 : 150



**EXTERIOR ELEVATIONS FINISHES LEGEND**

01	BACK PAINTED GLASS SPANDREL - CONSISTENT IN COLOUR WITH VISION GLASS	07	STONE CLADDING - SANDSTONE TILES	13	METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER A AND B)
02	CLEAR GLAZING - WINDOW WALL SYSTEM	08	PAINTED CONCRETE - CHARCOAL GRAY	14	FINISHED METAL SHADE FINS - BRASS EFFECT
03	METAL LAMBER SCREEN - CHARCOAL GRAY COLOUR	09	PAINTED CONCRETE - LIGHT GRAY	15	CLEAR GLAZING ALUMINUM RAILING - CLEAR ANODIZED ALUMINUM MULLIONS
04	POWDER COATED ALUMINUM PANEL - CHARCOAL GRAY COLOUR	10	PAINTED CONCRETE - SANDSTONE COLOR	16	CLEAR GLAZING - CURTAIN WALL SYSTEM & CLEAR ANODIZED ALUMINUM MULLIONS
05	POWDER COATED ALUMINUM PANEL - SANDSTONE COLOUR	11	GALVANIZED STEEL MESH FOR PLANTING SUPPORT	17	METAL PANEL - SANDSTONE COLOUR (IN FACIA OF BALCONIES TOWER C)
06	STONE CLADDING - BASALT TILES	12	CLEAR GLAZING - WINDOW WALL SYSTEM & CHARCOAL GRAY MULLIONS WITH VERTICAL SHADING		

**DIALOG**

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DEVELOPMENTS

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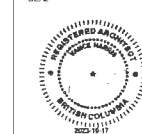
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2	2023-02-09	DP RESPONSE #1
3	2023-04-09	DP RESPONSE #2
4	2023-05-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
DP 22-013200  
DP Plan # 33

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Tel: 604 688 8571 Fax:  
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Tel: 604 606 8000 Fax:  
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V6J 1N5  
Tel: 604 736 6562 Fax:

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6011 RIVER ROAD  
RIVER GREEN - LOT 1

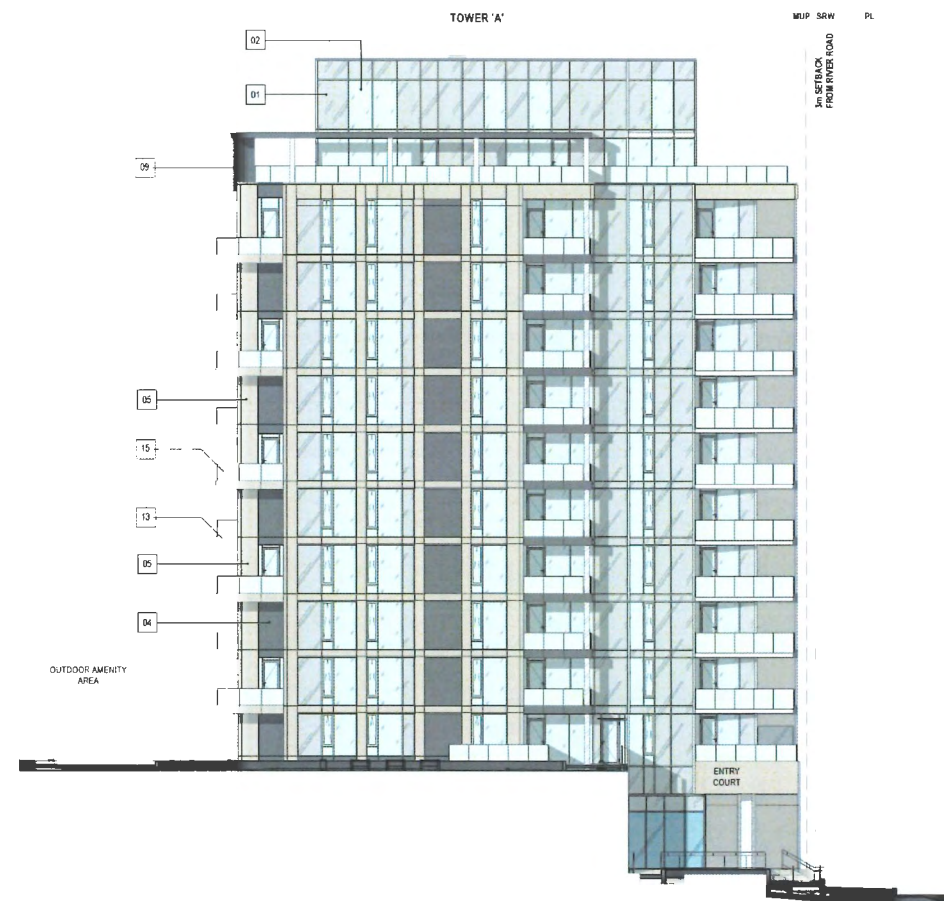
**SOUTH ELEVATION - TOWER A**

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PLOT DATE: 19/10/2023 2:56:16 PM

**DP4.12**

BC100179 - 2004354

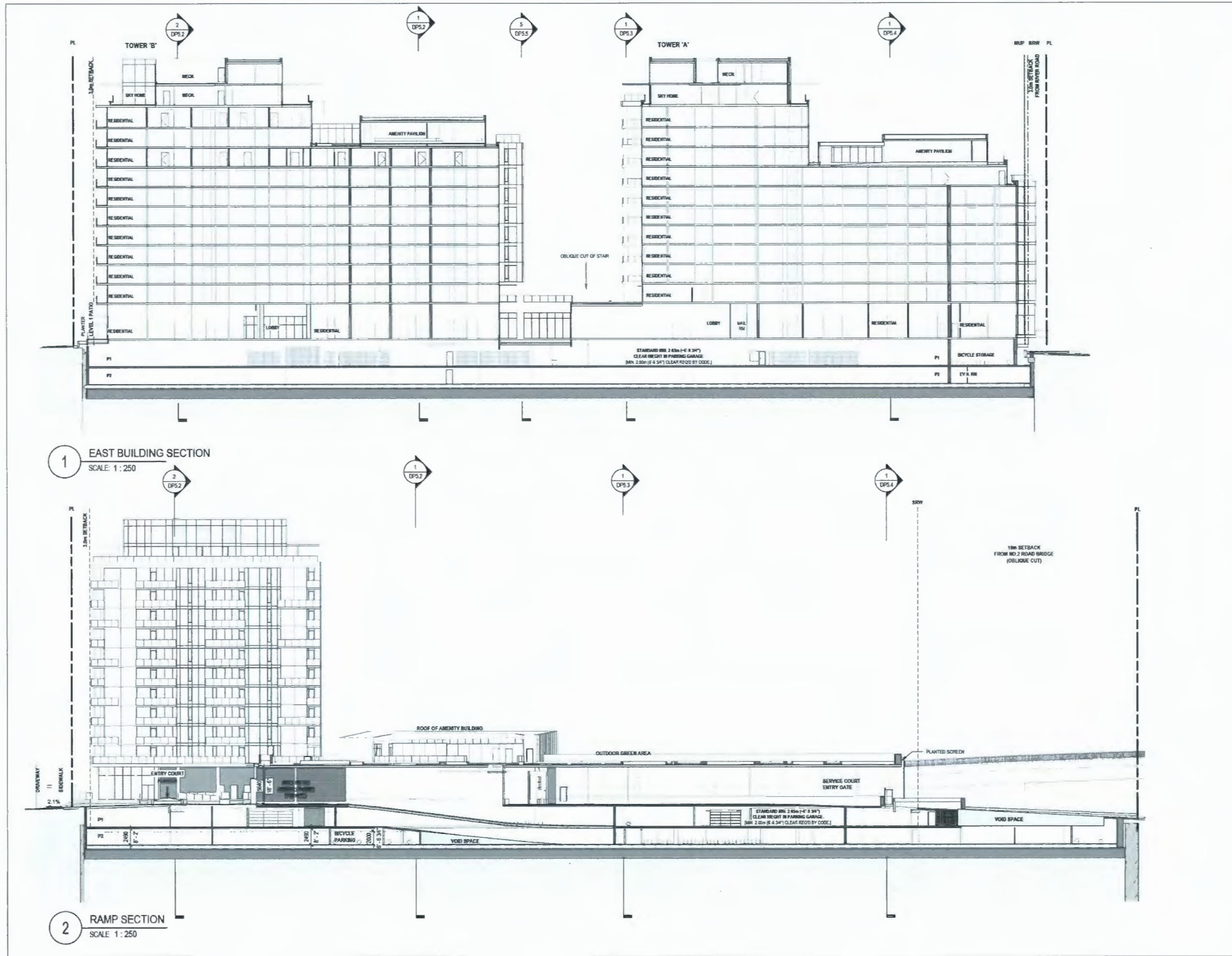
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1 SOUTH ELEVATION TOWER A  
SCALE: 1 : 150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01 SACD PAINTED GLASS SPANDREL - CONSISTENT IN COLOUR WITH VISION GLASS	07 STONE CLADDING - SANDSTONE TILES	13 METAL PANEL - SANDSTONE COLOUR (IN FACT OF BALCONIES TOWER A AND B)
02 CLEAR GLAZING - WINDOW WALL SYSTEM	08 PAINTED CONCRETE - CHARCOAL GRAY	14 FINISHED METAL SHADE FINE - BRASS EFFECT
03 METAL LOUVER SCREEN - CHARCOAL GRAY COLOUR	09 PAINTED CONCRETE - LIGHT GREY	15 CLEAR GLAZING ALUMINUM RAILING - CLEAR ANODIZED ALUMINUM MULLIONS
04 POWDER COATED ALUMINUM PANEL - CHARCOAL GRAY COLOUR	10 PAINTED CONCRETE - SANDSTONE COLOR	16 CLEAR GLAZING - CURTAIN WALL SYSTEM & CLEAR ANODIZED ALUMINUM MULLIONS
05 POWDER COATED ALUMINUM PANEL - SANDSTONE COLOUR	11 GALVANIZED STEEL MESH FOR PLANTING SUPPORT	17 METAL PANEL - SANDSTONE COLOUR (IN FACT OF BALCONIES TOWER C)
06 STONE CLADDING - BASALT TILES	12 CLEAR GLAZING WINDOW WALL SYSTEM & GRANITE GRAY MULLIONS WITH VERTICAL SHADING	



1 EAST BUILDING SECTION  
SCALE 1:250

2 RAMP SECTION  
SCALE 1:250

ISSUED FOR

1	2022-05-05	DEVELOPMENT PERMIT APPLICATION
2	2022-02-05	DP RESPONSE #1
3	2022-08-05	DP RESPONSE #2
4	2022-08-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4



October 23, 2023  
 DP 22-013200  
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6011 RIVER ROAD  
 RIVER GREEN - LOT 1

**EAST BUILDING & PARKADE RAMP SECTION**

DRAWN: Author  
 PLOT DATE: 10/13/2023 3:56:52 PM  
 CHECKED: Checker

**DP5.1**



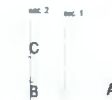
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1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2022-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-08-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4



October 23, 2023  
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DP Plan # 35

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RIVER GREEN - LOT 1

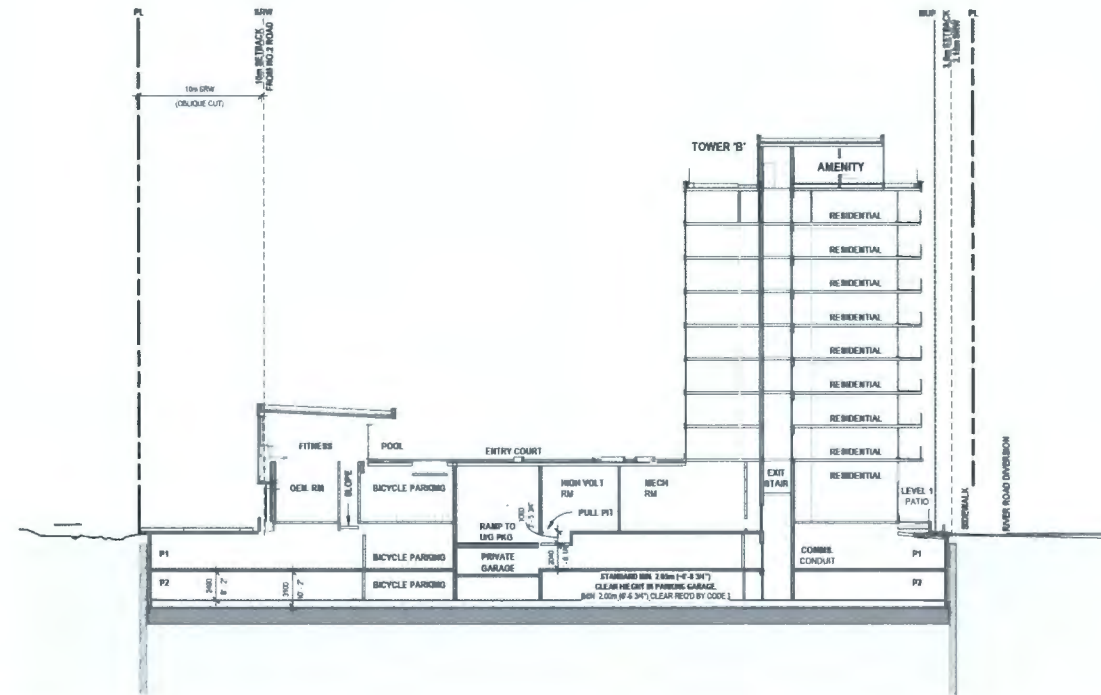
**TOWER B MID RISE & SOUTH COURTYARD SECTIONS**

DRAWN: Author CHECKED: Checker  
PLOT DATE: 19/10/2023 3:57:09 PM

**DP5.2**

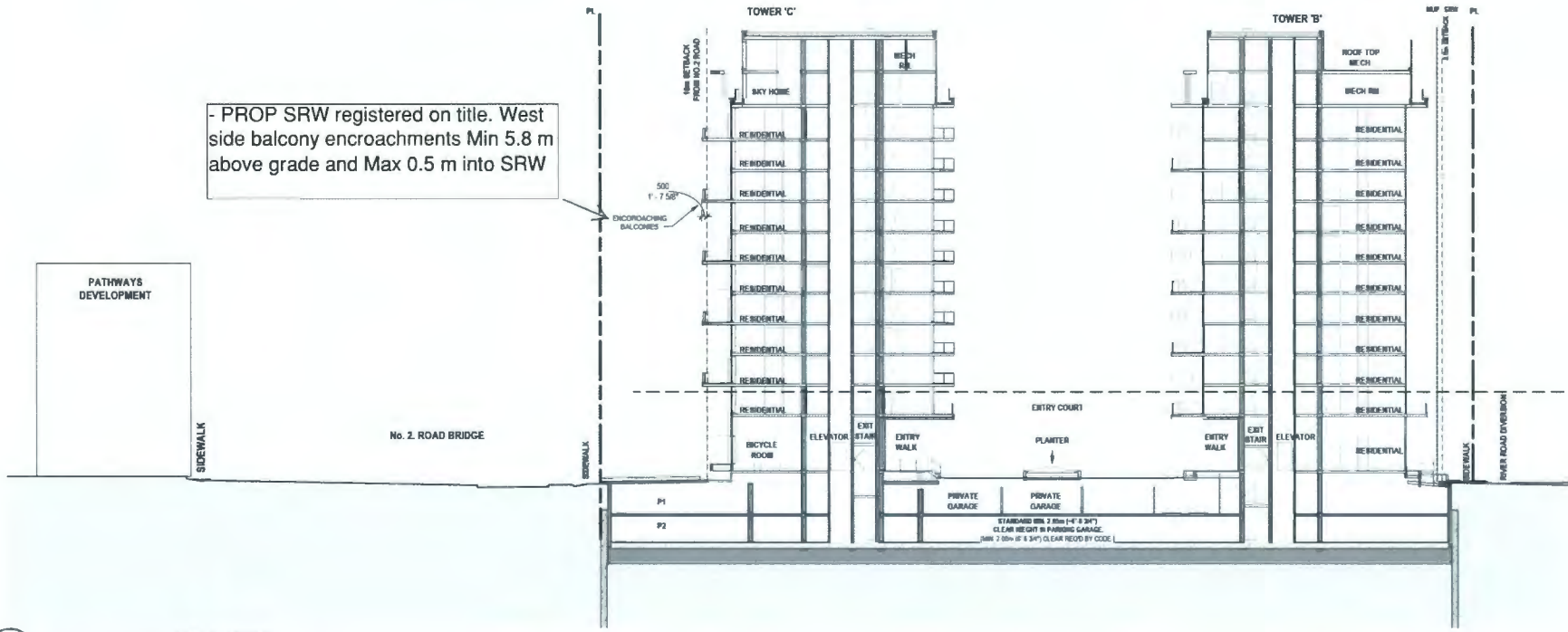
BC100179 - 2004354

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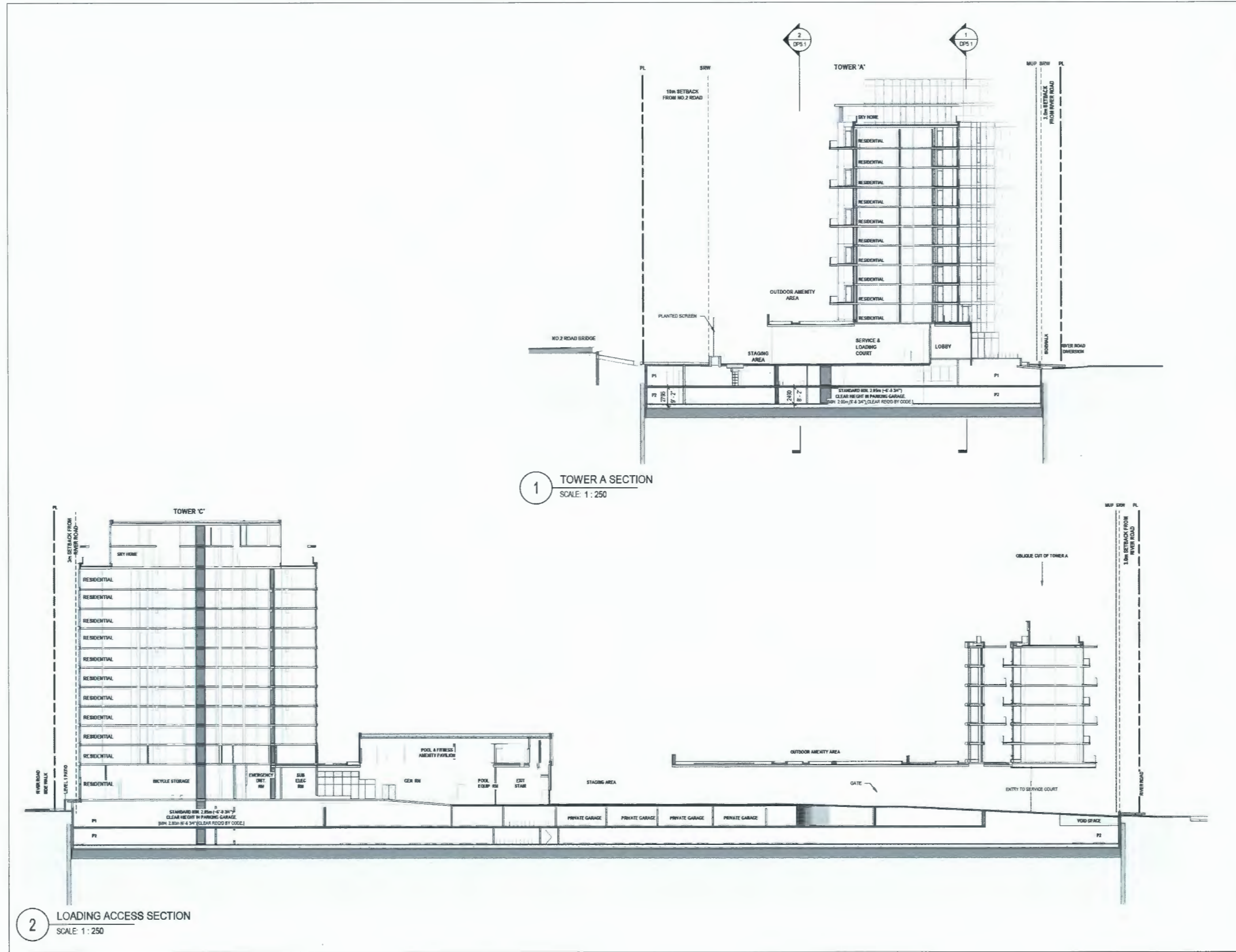


1 SITE & MID BAR SECTION  
SCALE: 1 : 250

- PROP SRW registered on title. West side balcony encroachments Min 5.8 m above grade and Max 0.5 m into SRW



2 SOUTH COURTYARD SECTION  
SCALE: 1 : 250

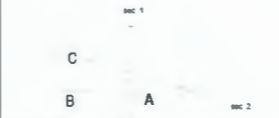


1 TOWER A SECTION  
SCALE: 1:250

2 LOADING ACCESS SECTION  
SCALE: 1:250

ISSUED FOR:

1	2022-05-05	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-06-09	DP RESPONSE #2
4	2023-08-15	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4



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6011 RIVER ROAD  
 RIVER GREEN - LOT 1

**TOWER A & LOADING ACCESS SECTIONS**

DRAWN: Author  
 PLOT DATE: 10/13/2023 3:57:24 PM  
 CHECKED: Checker

**DP5.3**

BC100179 - 2004354

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1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4



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RIVER GREEN - LOT 1

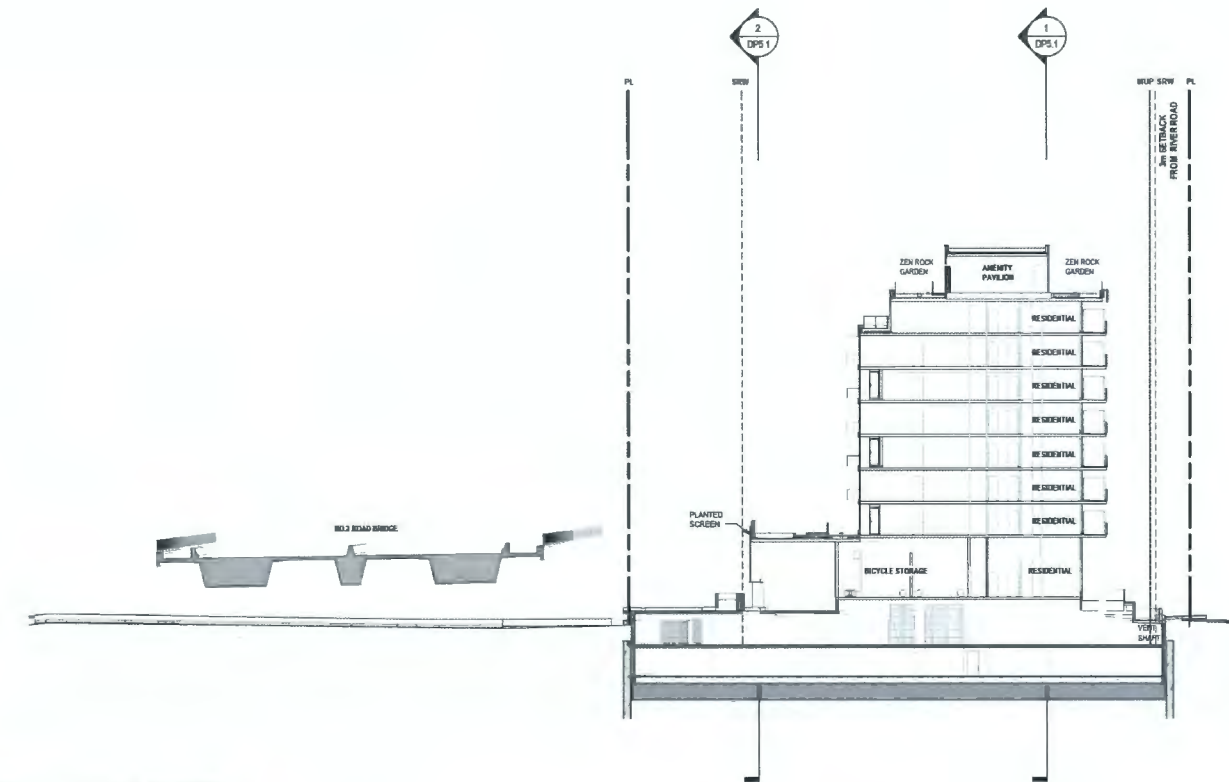
TOWER A MID RISE & SRW  
SECTIONS

DRAWN Author CHECKED Checker  
PLOT DATE 10/13/2023 3:57:36 PM

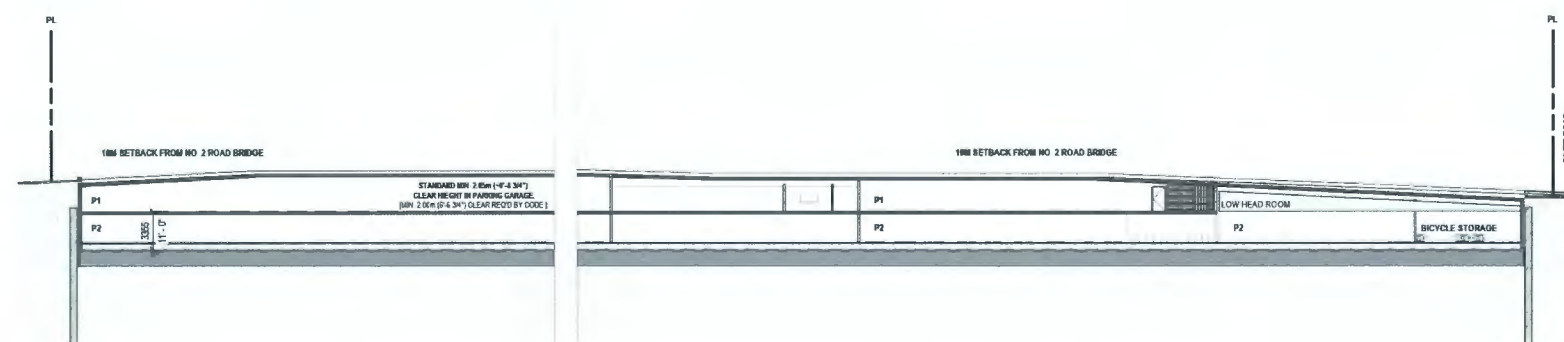
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BC100179 - 2004354

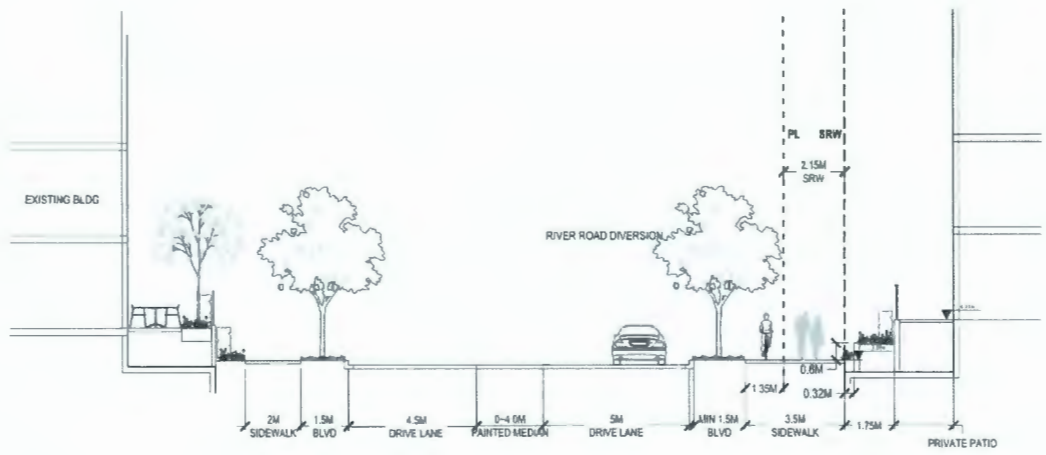
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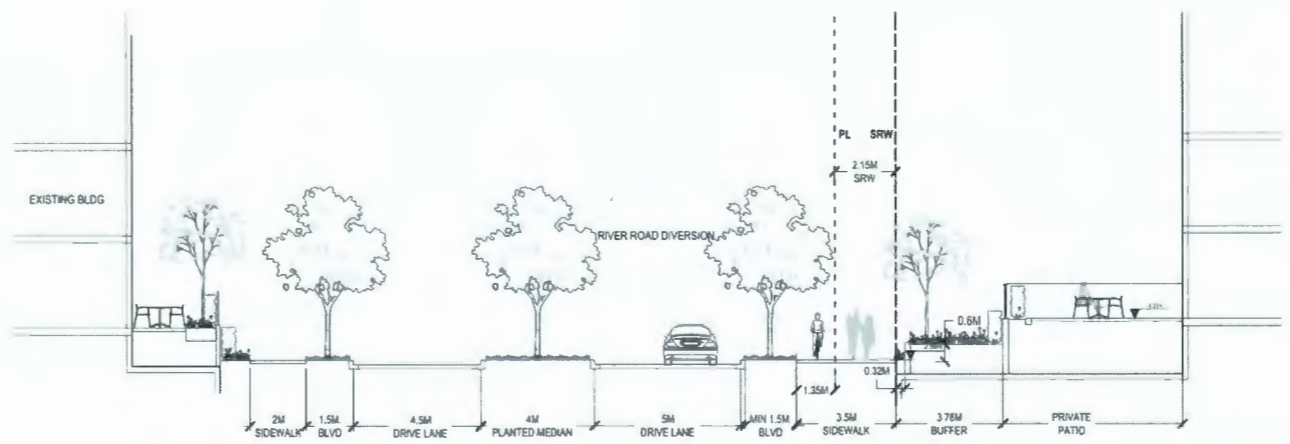
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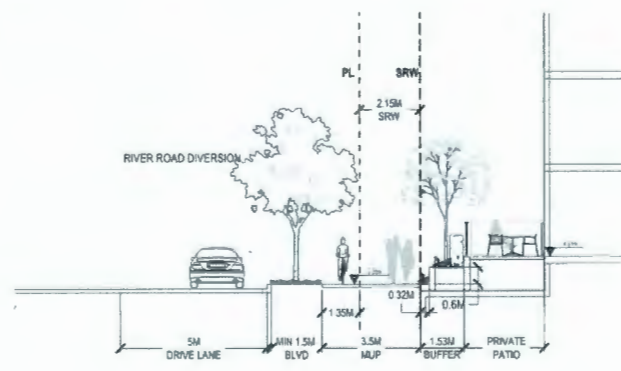
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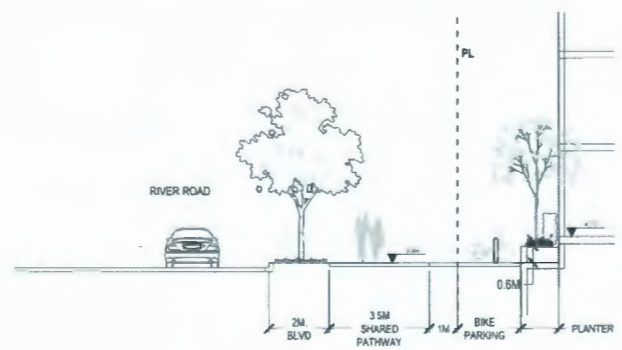
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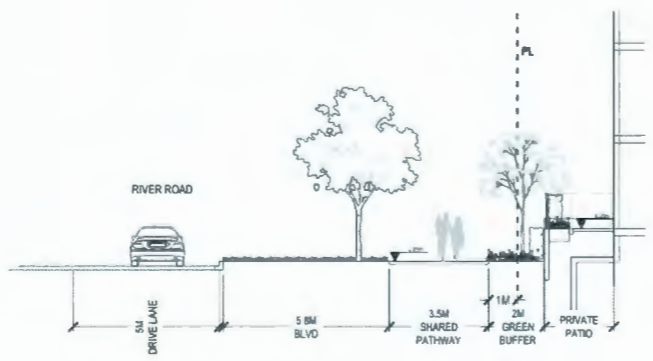
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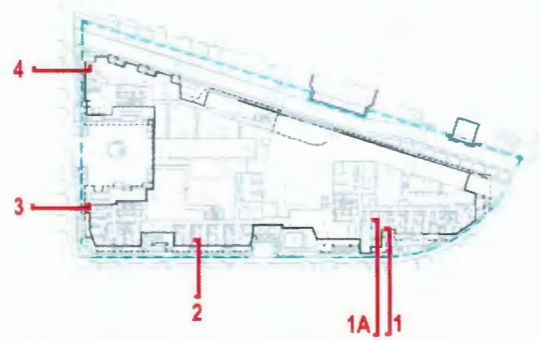
2 SECTION 2  
SCALE: 1:100



3 SECTION 3  
SCALE: 1:100



4 SECTION 4  
SCALE: 1:100



KEY PLAN

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DEVELOPMENTS

- ISSUED FOR
- 1 2022-01-28 ISSUED FOR REVIEW
  - 2 2022-02-10 ISSUED FOR REVIEW
  - 3 2022-05-06 ISSUED FOR DP
  - 4 2023-02-08 REISSUED FOR DP
  - 5 2023-01-28 REISSUED FOR DP #1
  - 6 2023-06-19 REISSUED FOR DP #2
  - 7 2023-10-06 REISSUED FOR DP #4

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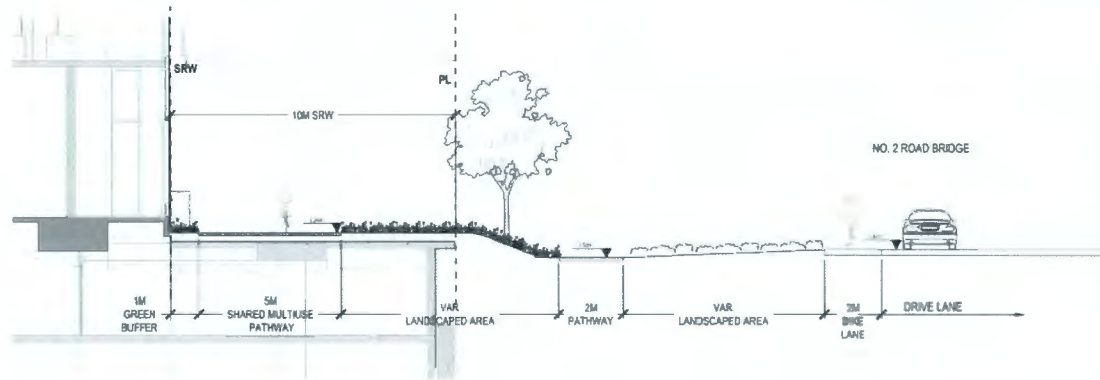


RIVER GREEN - LOT 1

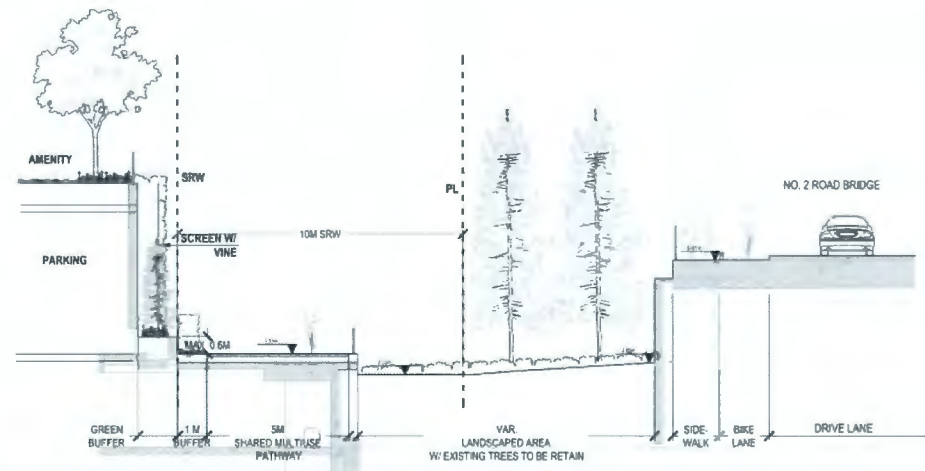
LANDSCAPE SECTIONS

DRAWN: MPH/L CHECKED: LL  
PLOT DATE:

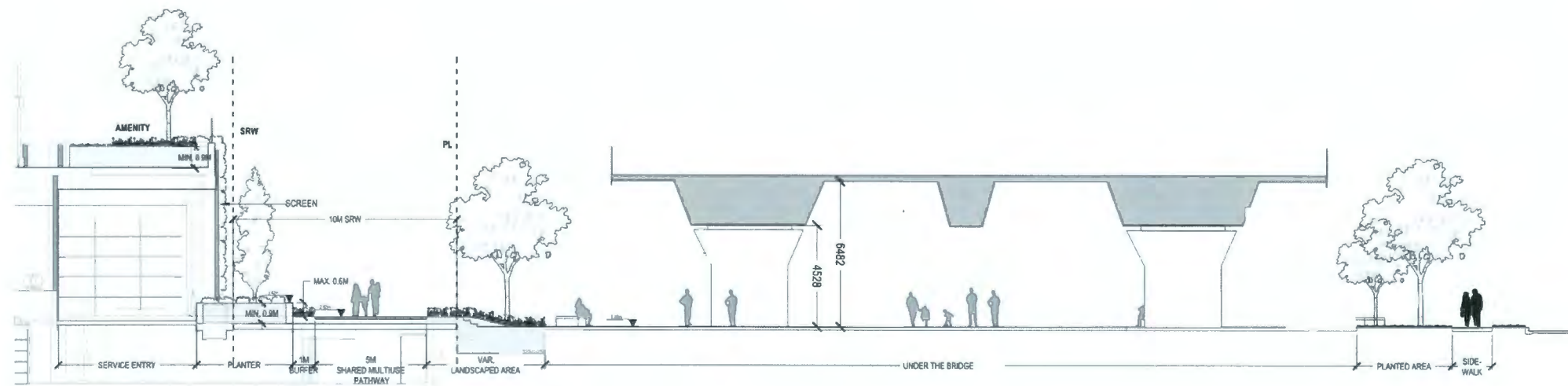
**L7.01**



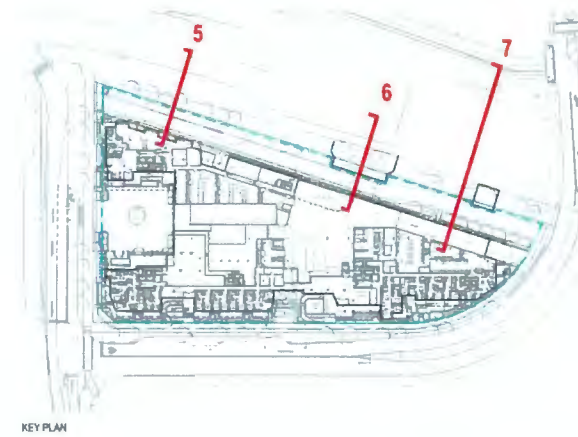
1 SECTION 5  
SCALE: 1:100



2 SECTION 6  
SCALE: 1:100



3 SECTION 7  
SCALE: 1:100



ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-06	ISSUED FOR DP
4	2022-02-06	REISSUED FOR DP
5	2022-07-28	REISSUED FOR DP #2
6	2022-08-19	REISSUED FOR DP #3
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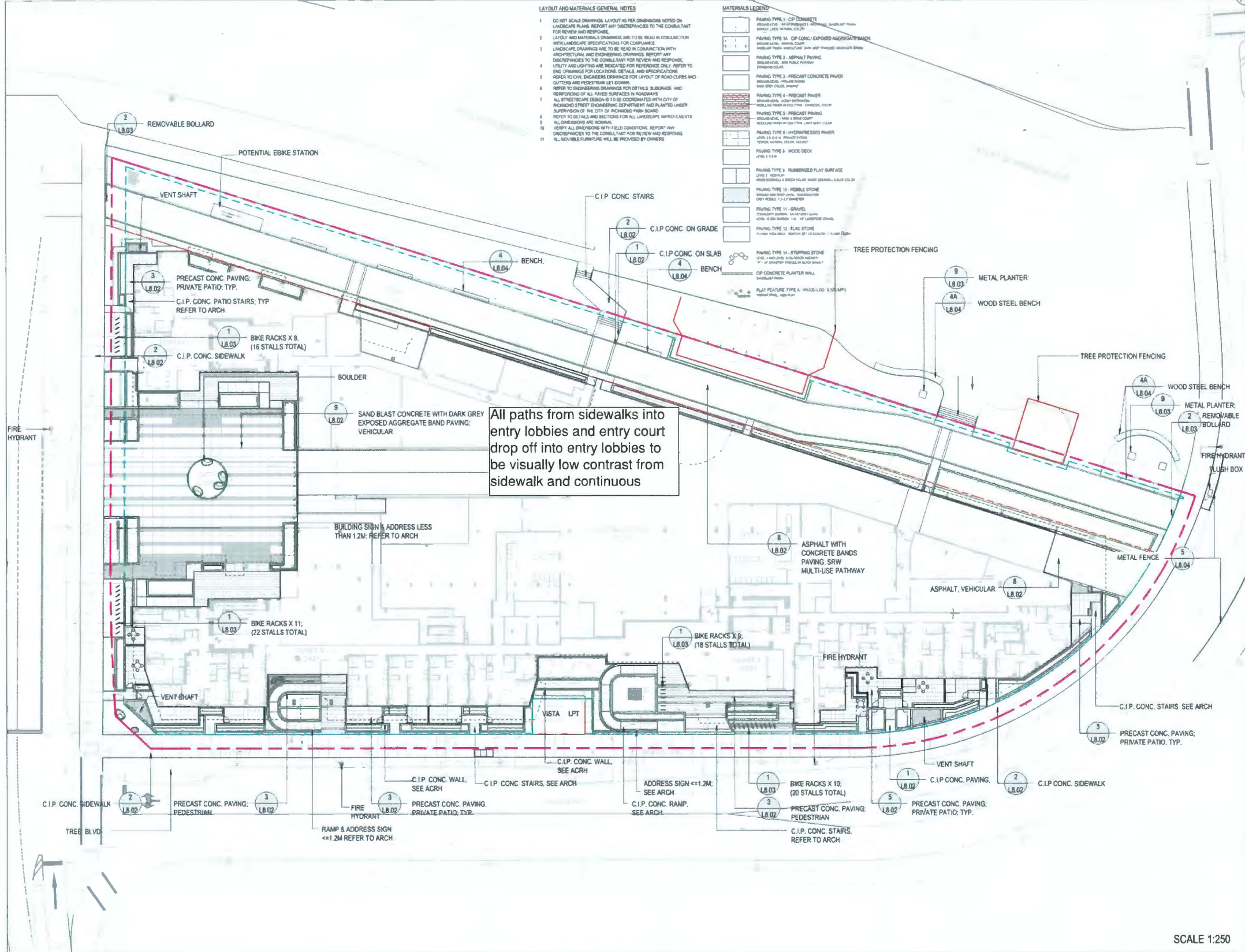


RIVER GREEN - LOT 1

LANDSCAPE SECTIONS

DRAWN: LPHSA CHECKED: LL  
 PLOT DATE:

**L7.02**



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- REFER TO CIVIL ENGINEER DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRIAN LET DOWN.
- REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.
- ALL LITERATURE DESIGN IS TO BE COORDINATED WITH CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANTS UNDER SUPERVISION OF THE CITY OF RICHMOND PARK BOARD.
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- ALL DIMENSIONS ARE NOMINAL.
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- ALL MOVABLE FURNITURE WILL BE PROVIDED BY OWNERS.

**MATERIALS LEGEND**

- PAVING TYPE 1 - C/P CONCRETE
- PAVING TYPE 1A - C/P CONCRETE EXPOSED AGGREGATE BANDS
- PAVING TYPE 2 - ASPHALT PAVING
- PAVING TYPE 3 - PRECAST CONCRETE PAVING
- PAVING TYPE 4 - PRECAST PAVING
- PAVING TYPE 5 - PRECAST PAVING
- PAVING TYPE 6 - HYDRA-BLASTED PAVING
- PAVING TYPE 7 - WOOD DECK
- PAVING TYPE 8 - RUBBERIZED PLAY SURFACE
- PAVING TYPE 9 - PERLE STONE
- PAVING TYPE 10 - GRAVEL
- PAVING TYPE 11 - FLAG STONE
- PAVING TYPE 12 - STEPPING STONE
- PAVING TYPE 13 - C/P CONCRETE PLANTER WALL
- PLANT FEATURE TYPE 1 - WOOD LOG & STEAMPS

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- 2022-03-10 ISSUED FOR REVIEW
- 2022-05-08 ISSUED FOR DP
- 2022-05-08 ISSUED FOR DP
- 2022-07-28 ISSUED FOR DP #2
- 2022-09-19 ISSUED FOR DP #3
- 2022-10-06 ISSUED FOR DP #4

October 23, 2023  
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RIVER GREEN - LOT 1

MATERIALS PLAN  
 - LEVEL 1

DRAWN: MP/AL CHECKED: LL  
 PLOT DATE:

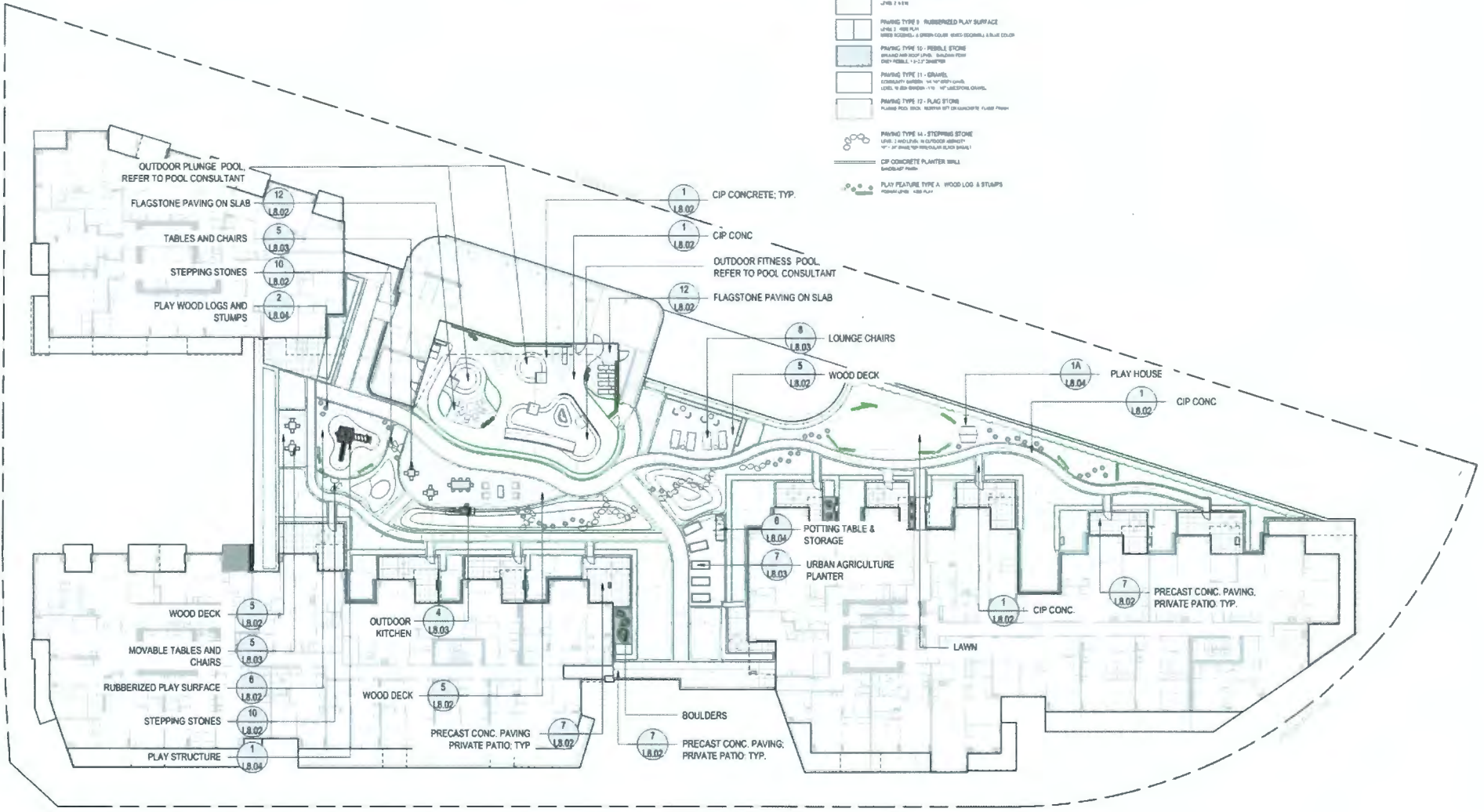
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SCALE 1:250

- LAYOUT AND MATERIALS GENERAL NOTES**
- DO NOT SCALE DIMENSIONS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLAN. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
  - LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR CLARIFICATION.
  - LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
  - UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG DRAWINGS FOR LOCATIONS, DETAILS AND SPECIFICATIONS.
  - REFER TO CIVIL ENGINEERING DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND REDESIGN L&I ORDERS.
  - REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.
  - ALL SITEWORK DESIGN IS TO BE COORDINATED WITH CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANNED UNDER SUPERVISION OF THE CITY OF RICHMOND PARK BOARD.
  - REFER TO DETAILS 3 AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
  - ALL DIMENSIONS ARE NOMINAL.
  - REPORT ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
  - ALL MOVABLE FURNITURE WILL BE PROVIDED BY OWNERS.

**MATERIALS LEGEND**

	<b>PAVING TYPE 1 - CIP CONCRETE</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 1A - CIP CONCRETE EXPOSED AGGREGATE BAND</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 2 - ASPHALT PAVING</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 3 - PRECAST CONCRETE PAVING</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 4 - PRECAST PRIVATE PATIO</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 5 - RUBBERIZED PLAY SURFACE</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 6 - PERLE STONE</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 7 - GRASS</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 8 - FLAGSTONE PAVING</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 9 - HYDRA-RESISTANT PAVING</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 10 - WOOD DECK</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 11 - RUBBERIZED PLAY SURFACE</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 12 - PERLE STONE</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 13 - GRASS</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 14 - FLAGSTONE PAVING</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PAVING TYPE 15 - STOPPING STONE</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>CIP CONCRETE PLANTER WALL</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE
	<b>PLAY FEATURE TYPE A - WOOD LOG &amp; STUMPS</b> SQUARE JOINTS, 1000x1000mm, 100mm DEPTH, 100mm SLAB, 100mm FILL, 100mm SUBGRADE



**DIALOG**  
**PFS STUDIO**  
 PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE  
**ASPAC**  
 DEVELOPMENTS

- ISSUED FOR**
- 2022-01-26 ISSUED FOR REVIEW
  - 2022-02-10 ISSUED FOR REVIEW
  - 2022-05-08 ISSUED FOR DP
  - 2022-05-08 ISSUED FOR DP
  - 2022-07-26 REISSUED FOR DP #2
  - 2022-09-19 REISSUED FOR DP #3
  - 2023-10-26 REISSUED FOR DP #4

October 23, 2023  
 DP 22-013200  
 DP Plan # 41

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 V6A 1E1  
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 PFS STUDIO  
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 1190-111 DUNSMuir STREET, VANCOUVER, BC  
 V6B 6A3  
 Tel: 604.698.8000 Fax: [blank]
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 HEMETZ (SIA) & ASSOCIATES LTD  
 2009 W 4th AVENUE, VANCOUVER, BC  
 V6J 1R0  
 Tel: 604.738.8562 Fax: [blank]



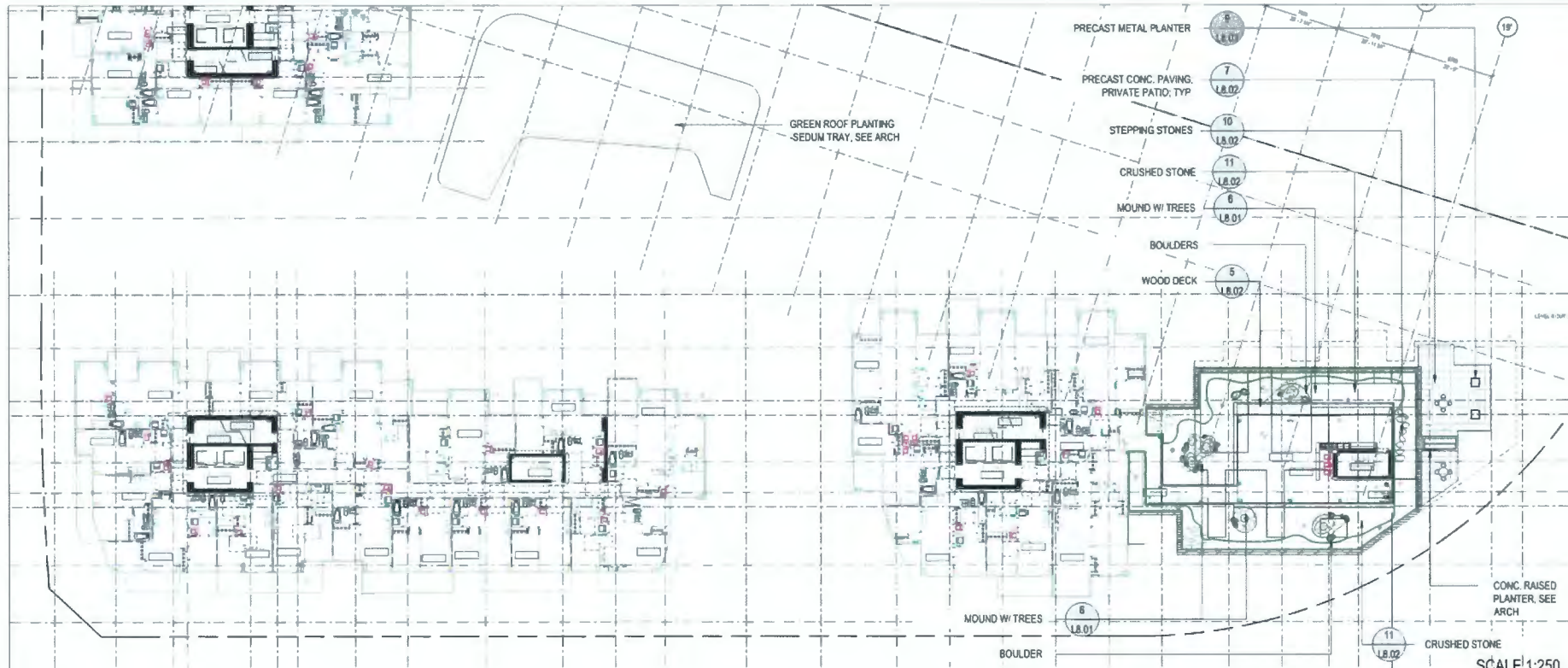
RIVER GREEN - LOT 1

**MATERIALS PLAN**  
 - LEVEL 2

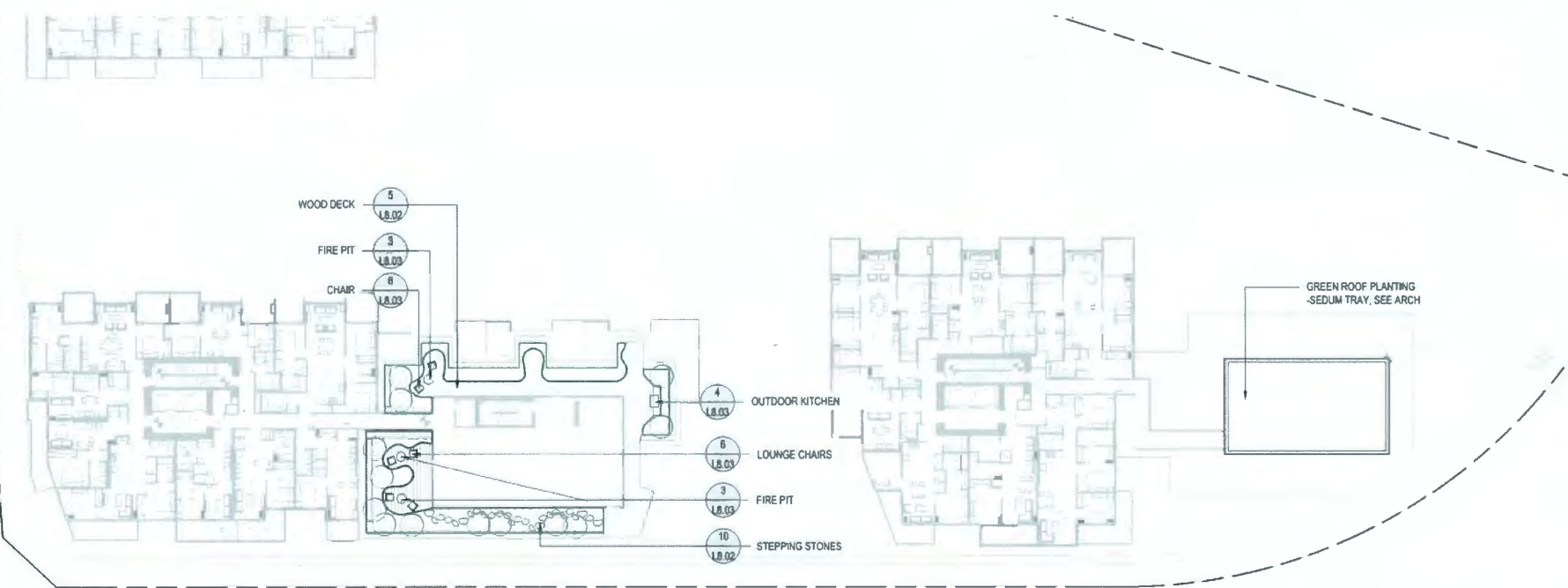
DRAWN: MP/AL CHECKED: LL  
 PLOT DATE: [blank]

**L2.02**

SCALE 1:250



1 LEVEL 9 - AMENITY  
SCALE: 1:250



2 LEVEL 10 - AMENITY  
SCALE: 1:250

LAYOUT AND MATERIALS GENERAL NOTES

- DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- LANDSCAPE MATERIALS SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
- LANDSCAPE DIMENSIONS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATION, DETAILS AND SPECIFICATIONS.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PAVEMENT LIFT THICKNESS.
- REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE AND REINFORCEMENT OF ALL PAVED SURFACES IN ROADWAYS.
- ALL STREETCART DESIGN IS TO BE COORDINATED WITH CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANTING UNDER SUPERVISION OF THE CITY OF RICHMOND PARK BOARD.
- REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS. ALL DIMENSIONS ARE SCALAR.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- ALL MOVABLE FURNITURE WILL BE PROVIDED BY OWNERS.

MATERIALS LEGEND

- PAVING TYPE 1 - C/P CONCRETE (BRUSHED FINISH, 150x150x20mm, 150x150x20mm, 150x150x20mm)
- PAVING TYPE 2 - ASPHALT PAVING (STANDARD COURSE, 150x150x20mm)
- PAVING TYPE 3 - PRECAST CONCRETE PAVING (STANDARD COURSE, 150x150x20mm)
- PAVING TYPE 4 - PRECAST PAVING (STANDARD COURSE, 150x150x20mm)
- PAVING TYPE 5 - PRECAST PAVING (STANDARD COURSE, 150x150x20mm)
- PAVING TYPE 6 - HYDROCOMPRESSED PAVING (STANDARD COURSE, 150x150x20mm)
- PAVING TYPE 7 - WOOD DECK (150x150x20mm)
- PAVING TYPE 8 - RUBBERIZED PLAY SURFACE (150x150x20mm)
- PAVING TYPE 9 - PERIMETER STONE (150x150x20mm)
- PAVING TYPE 10 - GRAVEL (150x150x20mm)
- PAVING TYPE 11 - FLAG STONE (150x150x20mm)
- PAVING TYPE 12 - STEPPING STONE (150x150x20mm)
- PAVING TYPE 13 - PRECAST METAL PLANTER WALL (150x150x20mm)
- PLAY FEATURE TYPE A - WOOD LOG & STUMPS (150x150x20mm)

SCALE: 1:250

SCALE: 1:250

ISSUED FOR

1	2022-01-26	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-08	REISSUED FOR DP
4	2022-02-06	REISSUED FOR DP
5	2022-07-26	REISSUED FOR DP #2
6	2022-09-19	REISSUED FOR DP #3
7	2023-10-08	REISSUED FOR DP #4

October 23, 2023  
DP 22-013200  
DP Plan # 42

METRIC

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1777 W 3RD AVENUE, VANCOUVER, BC  
V6J 1K7  
Tel: (604) 736-5188 Fax:

INTERIOR DESIGN  
MICHAEL BY STUDIOS  
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V6A 1E1  
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V6J 8K3  
Tel: (604) 738-8562 Fax:

SEA

RIVER GREEN - LOT 1

MATERIALS PLAN  
- LEVEL 9 & 10

DRAWN: SP/AB CHECKED: LL  
PLOT DATE:

L2.03



**DIALOG**

**PFS STUDIO**  
PLANNING - URBAN DESIGN - LANDSCAPE ARCHITECTURE

**ASPAC**  
DEVELOPMENTS

ISSUED FOR:  
1 2022-01-28 ISSUED FOR REVIEW  
2 2022-02-10 ISSUED FOR REVIEW  
3 2022-02-28 ISSUED FOR DP  
4 2023-02-28 ISSUED FOR DP  
5 2023-07-28 ISSUED FOR DP #2  
6 2023-09-19 ISSUED FOR DP #3  
7 2023-10-26 ISSUED FOR DP #4  
  
October 23, 2023  
DP 22-013200  
DP Plan # 43

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PFS STUDIO  
1777 W 3RD AVENUE, VANCOUVER, BC  
V6J 1K7  
Tel: 604.735.5188 Fax:  
**INTERIOR DESIGN**  
MOONLEY STUDIOS  
412 - 511 ALEXANDRE STREET, VANCOUVER, BC  
V6A 1E1  
Tel: 778.379.6781 Fax:  
**STRUCTURAL ENGINEER**  
DIALOG  
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V6A 1E1  
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V6B 5A3  
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V6J 1K5  
Tel: 604.726.8562 Fax:



RIVER GREEN - LOT 1

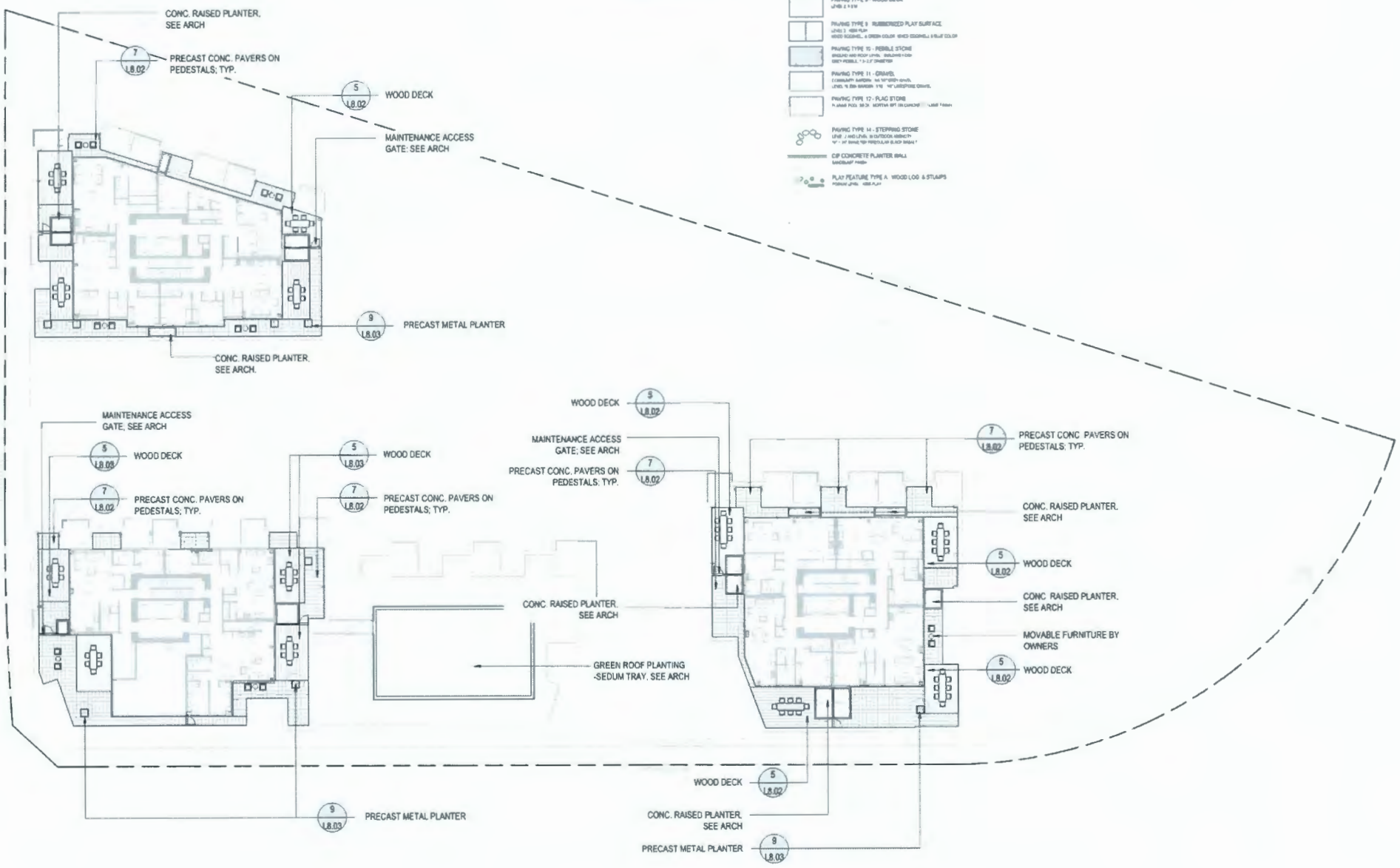
**MATERIALS PLAN**  
- LEVEL 12

DRAWN: SP/ML CHECKED: LL  
PLOT DATE:

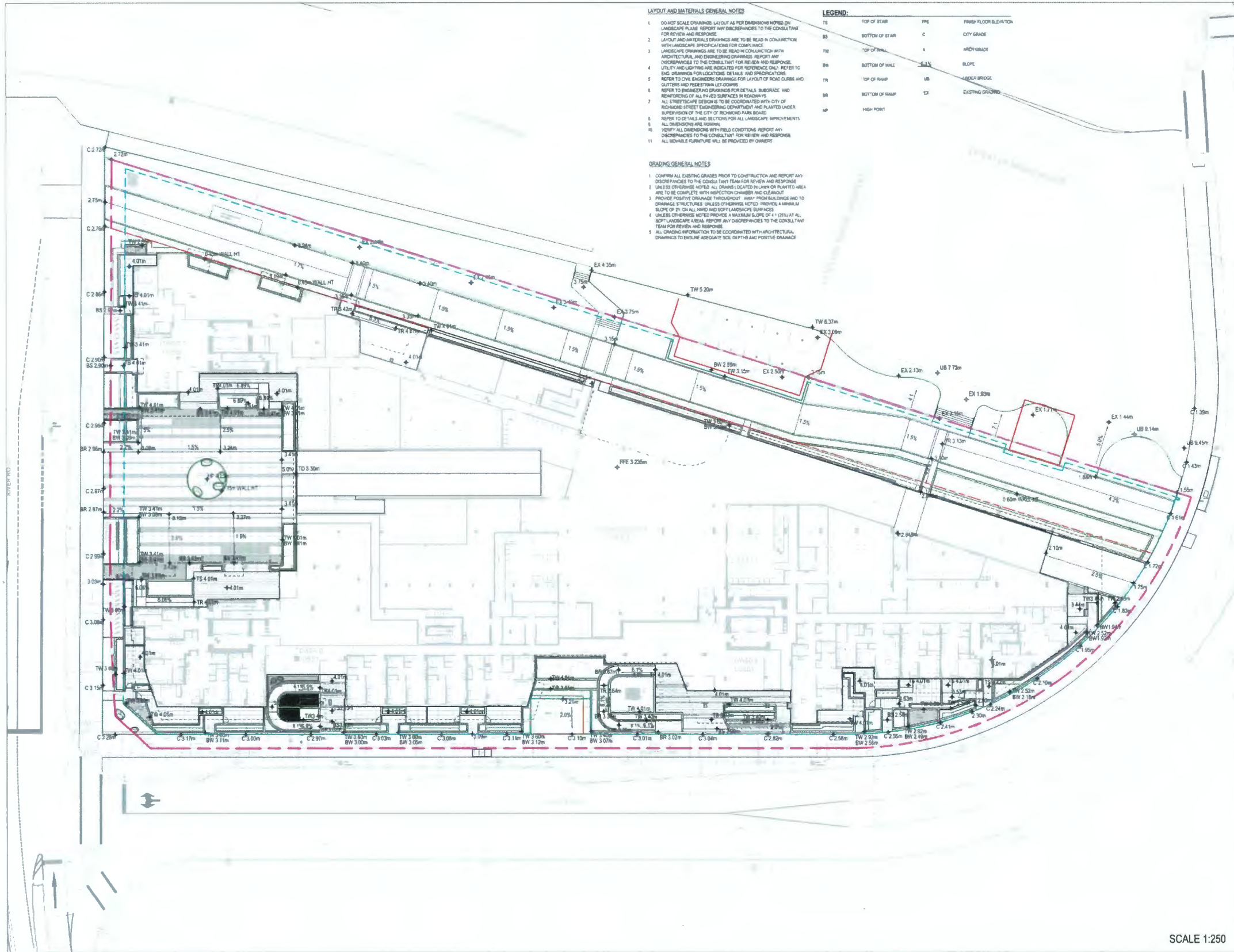
**L2.04**

- LAYOUT AND MATERIALS GENERAL NOTES**
1. DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
  2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN COLLECTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
  3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONNECTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
  4. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS, DETAILS AND SPECIFICATIONS.
  5. REFER TO CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PAVEMENT LAYOUTS.
  6. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.
  7. ALL PAVEMENT DESIGN IS TO BE COORDINATED WITH CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF RICHMOND PARK BOARD.
  8. REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
  9. ALL DIMENSIONS ARE NOMINAL.
  10. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
  11. ALL MOVABLE FURNITURE WILL BE PROVIDED BY OWNERS.

- MATERIALS LEGEND**
- PAVING TYPE 1 - CP CONCRETE  
BRUSHED, 1500 SQUARE MILLIMETER UNIFORM FINISH
  - PAVING TYPE 1A - CP CONCRETE EXPOSED AGGREGATE BAND  
BRUSHED, 1500 SQUARE MILLIMETER UNIFORM FINISH
  - PAVING TYPE 2 - ASPHALT PAVED  
BRUSHED, 1500 SQUARE MILLIMETER UNIFORM FINISH
  - PAVING TYPE 3 - PRECAST CONCRETE PAVES  
BRUSHED, 1500 SQUARE MILLIMETER UNIFORM FINISH
  - PAVING TYPE 4 - PRECAST PAVES  
BRUSHED, 1500 SQUARE MILLIMETER UNIFORM FINISH
  - PAVING TYPE 5 - PRECAST PAVES  
BRUSHED, 1500 SQUARE MILLIMETER UNIFORM FINISH
  - PAVING TYPE 6 - HYDRAUNICALLY PLACED PAVES  
BRUSHED, 1500 SQUARE MILLIMETER UNIFORM FINISH
  - PAVING TYPE 7 - WOOD DECK  
1500 x 1500
  - PAVING TYPE 8 - RUBBERIZED PLAY SURFACE  
1500 x 1500
  - PAVING TYPE 9 - POLYURETHANE RUBBER GRANULES  
1500 x 1500
  - PAVING TYPE 10 - POLYURETHANE RUBBER GRANULES  
1500 x 1500
  - PAVING TYPE 11 - GRAVEL  
1500 x 1500
  - PAVING TYPE 12 - FLAG STONE  
1500 x 1500
  - PAVING TYPE 13 - STEPPING STONE  
1500 x 1500
  - CP CONCRETE PLANTER WALL  
1500 x 1500
  - PLAY FEATURE TYPE A - WOOD LOG & STUMPS  
1500 x 1500



SCALE 1:250



**LAYOUT AND MATERIALS GENERAL NOTES**

1. DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLAN. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOGIC, DETAILS AND SPECIFICATIONS.
5. REFER TO CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRIAN LET-DOWNS.
6. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE AND REINFORCING OF ALL PAVED SURFACES IN READINGS.
7. ALL STREETSCAPE DESIGN IS TO BE COORDINATED WITH CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF RICHMOND ARB BOARD.
8. REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
9. ALL DIMENSIONS ARE METRIC.
10. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
11. ALL VEHICULAR FURNITURE SHALL BE PROVIDED BY OWNER.

**GRADING GENERAL NOTES**

1. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
2. UNLESS OTHERWISE NOTED, ALL DRAINS LOCATED IN PAVED OR FINISHED AREA ARE TO BE COMPLETE WITH INJECTION CHAMBER AND CLEAROUT.
3. PROVIDE POSITIVE DRAINAGE THROUGHOUT. AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES UNLESS OTHERWISE NOTED. PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARDSHIP AND SOFT LANDSCAPE SURFACES.
4. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 4:1 (2% AT ALL SOFT LANDSCAPE AREAS). REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
5. ALL GRADING INFORMATION TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL DEPTHS AND POSITIVE DRAINAGE.

**LEGEND:**

TS	TOP OF STAIR	FFE	FRESH FLOOR ELEVATION
BS	BOTTOM OF STAIR	C	CITY GRADE
TW	TOP OF WALL	A	ARCH GRADE
WH	BOTTOM OF WALL	S	SLOPE
TR	TOP OF RAMP	UB	UNDER BRIDGE
BR	BOTTOM OF RAMP	EX	EXISTING GRADE
HP	HIGH POINT		

**DIALOG**  
**PFS STUDIO**  
 PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
 DEVELOPMENTS

ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-08	ISSUED FOR DP
4	2023-03-08	REISSUED FOR DP
5	2023-03-28	REISSUED FOR DP #2
6	2023-08-19	REISSUED FOR DP #3
7	2023-10-06	REISSUED FOR DP #4

October 23, 2023  
 DP 22-013200  
 DP Plan # 44

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 V6A 1E1  
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- LANDSCAPE ARCHITECT**  
 PFS STUDIO  
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 V6J 1K7  
 TEL: 604.738.5188 FAX:
- INTERIOR DESIGN**  
 NICKLES STUDIOS  
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- STRUCTURAL ENGINEER**  
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 STARTEC  
 1500 - 111 DUNSMuir STREET, VANCOUVER, BC  
 V6B 6A3  
 TEL: 604.688.0000 FAX:
- ELECTRICAL ENGINEER**  
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 3008 W 4th AVENUE, VANCOUVER, BC  
 V6J 1K3  
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RIVER GREEN - LOT 1

GRADING PLAN  
 - LEVEL 1

DRAWN: SMPB CHECKED: LL  
 PLOT DATE:

**L3.01**

SCALE 1:250

**LAYOUT AND MATERIALS GENERAL NOTES**

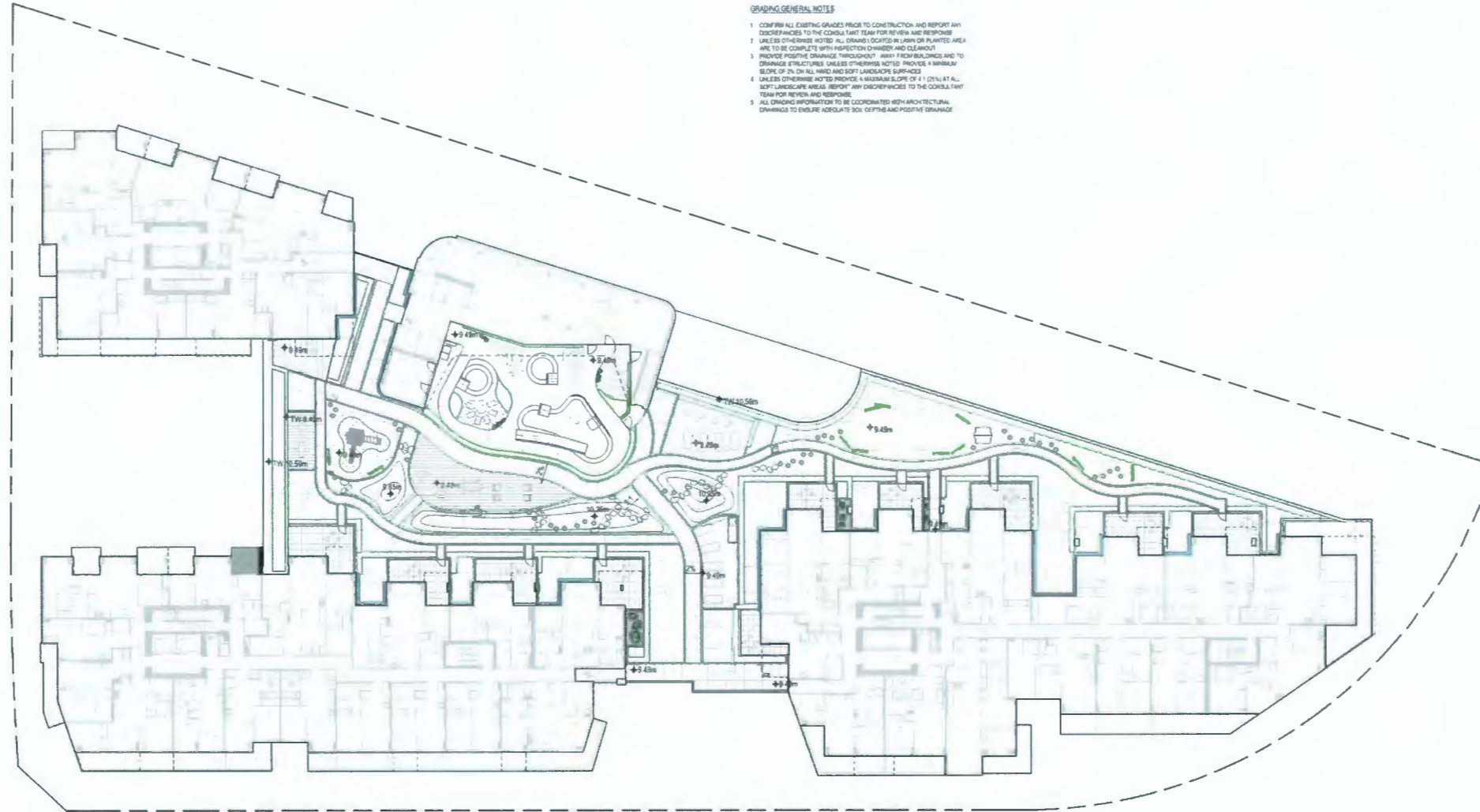
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- REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL FINED SURFACES IN BASEMENTS.
- ALL STREETSCAPE DESIGN IS TO BE COORDINATED WITH CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF RICHMOND PUBLIC WORKS.
- REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS. ALL DIMENSIONS ARE NORMAL.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- ALL AVAILABLE SURVEYS WILL BE PROVIDED BY OWNER.

**LEGEND:**

T3	TOP OF STAIR	PFE	FRESH FLOOR ELEVATION
B3	BOTTOM OF STAIR	C	CITY GRADE
T2	TOP OF WALL	A	HIGH GRADE
BW	BOTTOM OF WALL	±.15	SLOPE
TB	TOP OF BUMP	UB	WEKER BRICK
BR	BOTTOM OF RAMP	DI	CASTING GRADING
H3	HIGH POINT		

**GRADING GENERAL NOTES**

- CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED, ALL DRAINAGE LOCATED IN LAWN OR PLANTED AREA ARE TO BE COMPLETE WITH INFILTRATION DRAINAGE AND CLEAROUT.
- PROVIDE POSITIVE DRAINAGE THROUGHOUT, AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE SURFACES.
- UNLESS OTHERWISE NOTED, PROVIDE A MAXIMUM SLOPE OF 4% ON ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
- ALL DRAINAGE INFORMATION TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL CAPACITY AND POSITIVE DRAINAGE.



ISSUED FOR

1	2022-04-28	ISSUED FOR REVIEW
2	2022-05-10	ISSUED FOR REVIEW
3	2022-05-26	ISSUED FOR DP
4	2022-05-08	REISSUED FOR DP
5	2022-07-28	REISSUED FOR DP #2
6	2022-08-19	REISSUED FOR DP #3
7	2022-10-08	REISSUED FOR DP #4

October 23, 2023  
 DP 22-013200  
 DP Plan # 45

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 DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

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**LANDSCAPE ARCHITECT**  
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 Tel: 604.255.1189 Fax:

**MECHANICAL ENGINEER**  
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 1102-111 DUNSMuir STREET VANCOUVER, BC  
 V6B 6A3  
 Tel: 604.698.8000 Fax:

**ELECTRICAL ENGINEER**  
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 2028 W 4th AVENUE VANCOUVER, BC  
 V6J 1K3  
 Tel: 604.736.6542 Fax:



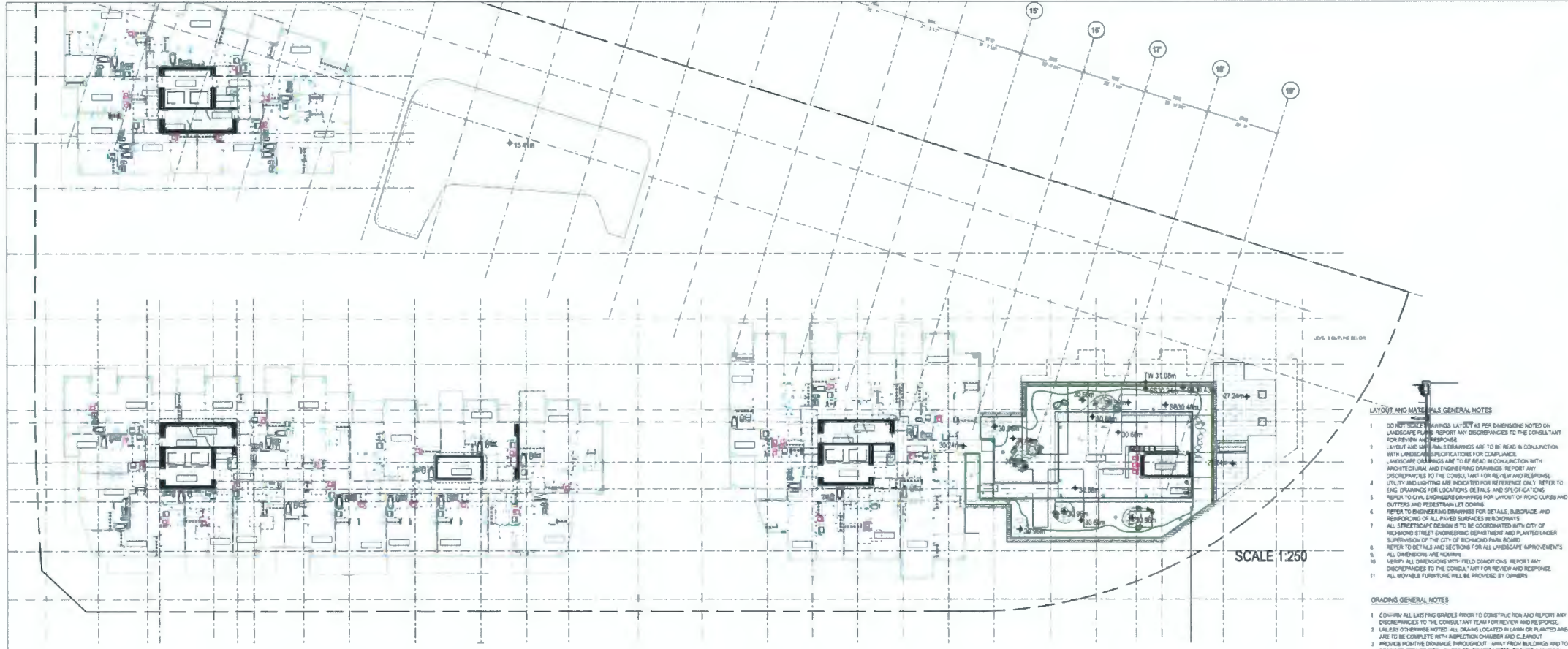
RIVER GREEN - LOT 1

GRADING PLAN  
 - LEVEL 2

DRAWN: SPH/AL CHECKED: LL  
 PLOT DATE:

L3.02

SCALE 1:250



1 LEVEL 9 - AMENITY  
SCALE: 1:250



2 LEVEL 10 - AMENITY  
SCALE: 1:250

LAYOUT AND MATERIALS GENERAL NOTES

- DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLAN. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS OF TALS AND SPECIFICATIONS.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRIAN LIT CURBS.
- REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REVISIONS OF ALL FINISH SURFACES IN ROWWAYS.
- ALL STREETSCAPE DESIGN IS TO BE COORDINATED WITH CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF RICHMOND PARK BOARD.
- REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
- ALL DIMENSIONS ARE IN METERS.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- ALL MOVABLE FURNITURE WILL BE PROVIDED BY OWNER.

GRADING GENERAL NOTES

- CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED, ALL GRADING LOCATED IN URN OR PLANTED AREA ARE TO BE COMPLETE WITH INSPECTION CHAMBER AND C/CHOUT.
- PROVIDE POSITIVE DRAINAGE PROFILES, 100mm FROM BUILDINGS AND TO DRAINAGE STRUCTURES UNLESS OTHERWISE NOTED. PROVIDE A MINIMUM SLOPE OF 1% ON ALL HARD AND SOFT LANDSCAPE SURFACES.
- UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 1 (2%) AT ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
- ALL GRADING OF ORAMATION TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL DEPTHS AND POSITIVE DRAINAGE.

LEGEND:

SYMBOL	DESCRIPTION	UNIT	REFERENCE
TS	TOP OF STAIR	FPE	FRESH FLOOR ELEVATION
BS	BOTTOM OF STAIR	C	CITY GRADE
TR	TOP OF BRILL	A	ARCH GRADE
BR	BOTTOM OF BRILL	S 1%	SLOPE
TR	TOP OF RAMP	UB	UNDER BRIDGE
BR	BOTTOM OF RAMP	EX	EXISTING GRADING
HP	HIGH POINT		

SCALE 1:250

**DIALOG**  
PFS STUDIO  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
DEVELOPMENTS

- ISSUED FOR
- 2022-01-28 ISSUED FOR REVIEW
  - 2022-02-10 ISSUED FOR REVIEW
  - 2022-05-18 ISSUED FOR DP
  - 2022-05-08 REISSUED FOR DP
  - 2022-07-28 REISSUED FOR DP #2
  - 2022-08-19 REISSUED FOR DP #3
  - 2022-10-08 REISSUED FOR DP #4

October 23, 2023  
DP 22-013200  
DP Plan # 46

METRIC

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INTERIOR DESIGN  
MICROBLE STUDIOS  
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STANTEC  
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V6B 4A3  
Tel: 604.699.8000 Fax:

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MEMETZ (SIA) & ASSOCIATES LTD  
2308 W 4TH AVENUE, VANCOUVER, BC  
V6J 1K3  
Tel: 604.735.6562 Fax:

SEAL



RIVER GREEN - LOT 1

GRADING PLAN  
- LEVEL 9 & 10

DRAWN: MP/AL PLOT DATE: CHECKED: LL

L3.03

LAYOUT AND MATERIALS GENERAL NOTES

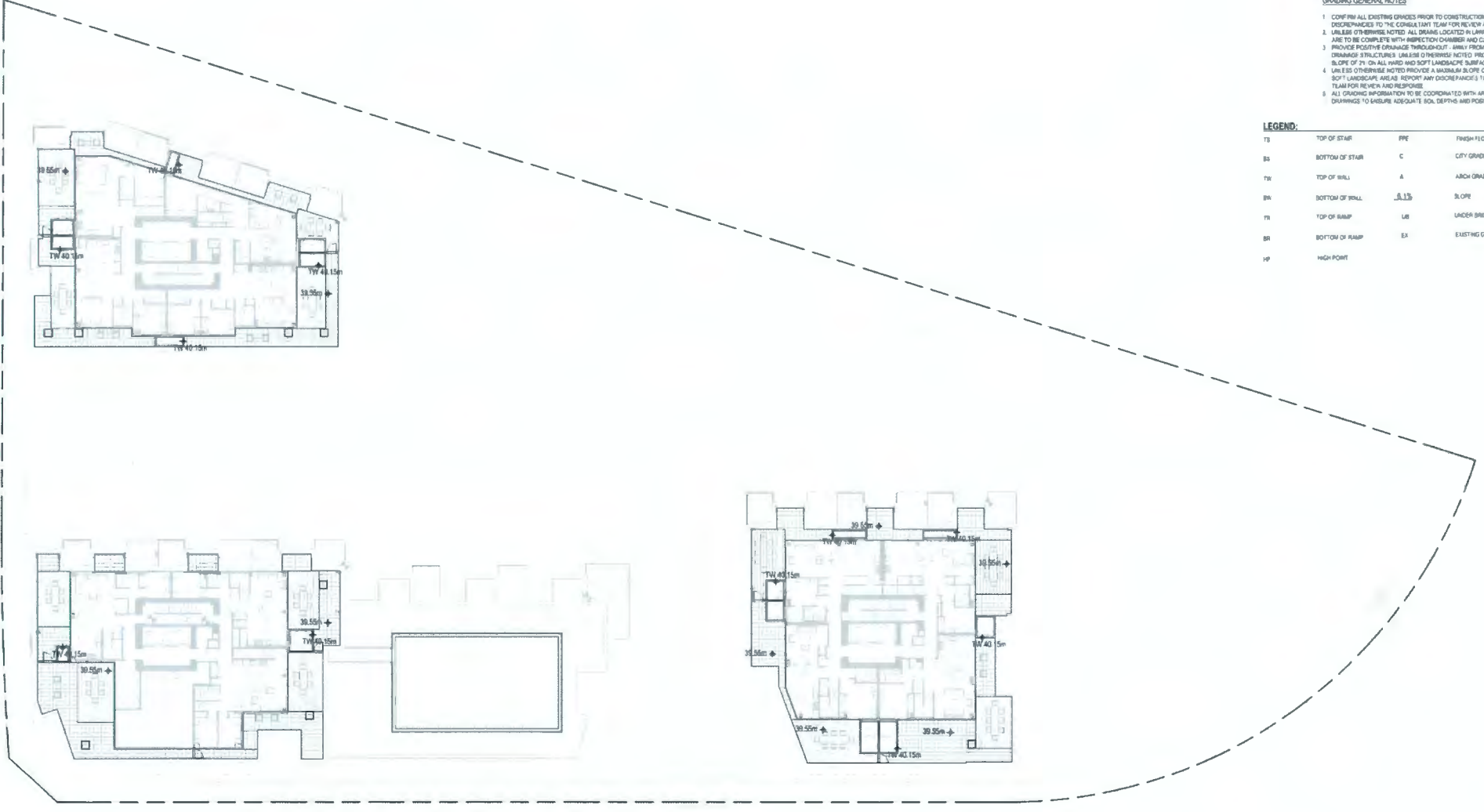
- 1. DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- 2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
- 3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- 4. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO THE DRAWINGS FOR LOCATIONS, DETAILS AND SPECIFICATIONS.
- 5. REFER TO CIVIL ENGINEERING DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRIAN LIFT CURBS.
- 6. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE AND REINFORCING OF ALL PIPES SURFACES IN ROADWAYS.
- 7. ALL STREETSCAPE DESIGN IS TO BE COORDINATED WITH CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF RICHMOND PARK BOUND.
- 8. REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
- 9. ALL DIMENSIONS ARE METRIC.
- 10. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- 11. ALL MOVABLE FURNITURE ARE TO BE PROVIDED BY OWNERS.

GRADING GENERAL NOTES

- 1. CONFIRM ALL EXISTING GRIDES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
- 2. UNLESS OTHERWISE NOTED, ALL DRAINAGE LOCATED IN LAWN OR PLANTED AREA ARE TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT.
- 3. PROVIDE POSITIVE DRAINAGE THROUGHOUT, AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE SURFACES.
- 4. UNLESS OTHERWISE NOTED, PROVIDE A MAXIMUM SLOPE OF 4:1 (5%) AT ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
- 5. ALL GRADING INFORMATION TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL DEPTHS AND POSITIVE DRAINAGE.

LEGEND:

TS	TOP OF STAIR	RPE	FRESH FLOOR ELEVATION
BS	BOTTOM OF STAIR	C	CITY GRADE
TW	TOP OF WALL	A	ARCH GRADE
BW	BOTTOM OF WALL	SLS	SLOPE
RS	TOP OF RAMP	UB	UNDER BRIDGE
BS	BOTTOM OF RAMP	EX	EXISTING DRAINING
HP	HIGH POINT		



- ISSUED FOR
- 1 2022-01-28 ISSUED FOR REVIEW
  - 2 2022-05-10 ISSUED FOR REVIEW
  - 3 2022-05-26 ISSUED FOR DP
  - 4 2023-02-06 REISSUED FOR DP
  - 5 2023-07-28 REISSUED FOR DP #2
  - 6 2023-08-10 REISSUED FOR DP #3
  - 7 2023-10-05 REISSUED FOR DP #4

October 23, 2023  
DP 22-013200  
DP Plan # 47

METRIC

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Tel: 604.736.5188 Fax:

INTERIOR DESIGN

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ELECTRICAL ENGINEER

NETZ (SA) & ASSOCIATES LTD  
2009 W 4th AVENUE, VANCOUVER, BC  
V6J 1H3  
Tel: 604.736.6562 Fax:

SEAL



RIVER GREEN - LOT 1

GRADING PLAN  
- LEVEL 12

DRAWN: MPAB CHECKED: LL  
PLOT DATE:

L3.04

SCALE 1:250





**PLANTING GENERAL NOTES**

- 1 GREEN ROOF PLANT SPECIES REFER TO SUPPLIER'S DESIGN
- 2 ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SPECIFIED IN THE CURRENT EDITION OF THE BC LANDSCAPE STANDARD THIS STANDARD IS PUBLISHED JOINTLY BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS (BSLA) AND THE BC LANDSCAPE AND NURSERY ASSOCIATION (BSNA)
- 3 SEARCH AREA FOR ALL PLANT MATERIAL SHALL INCLUDE ALL OF WESTERN NORTH AMERICA (AS SPECIFIED)
- 4 PLANT MATERIAL SIZES SPECIFIED ARE THE MINIMUM ACCEPTABLE SIZES TO BE SUPPLIED TO THIS PROJECT
- 5 ALL PLANT MATERIAL SHALL BE WELL ESTABLISHED AND UNIFORM IN SHAPE AND SIZE
- 6 ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED ONLY CERTIFIED S-GO NURSERY STOCKS WILL BE ACCEPTED
- 7 THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSE FOR REVIEW BY THE CONSULTANT - ALL FOR SPECIFICATIONS - PRIOR TO THE START OF CONSTRUCTION GROWING MEDIUM SUPPLIED TO THE SITE OR INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL SHALL BE SELECTED AT NO COST TO THE OWNER
- 8 THE CONTRACTOR SHALL CONFIRM PLANT QUANTITIES ON THE DRAWINGS CORRESPOND TO THOSE INDICATED ON THE PLANT LIST ANY DISCREPANCIES ARE TO BE VIEWED BY THE CONSULTANT FOR REVIEW AND REVISION
- 9 PLANT LIST TO BE READ IN CONJUNCTION WITH SPECIFICATIONS FOR COMPLIANCE
- 10 PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIAL SPECIFIED AS PER SPECIFICATIONS ALLOWING FOR ANY AND ALL REQUIRED APPROVALS PLANT SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE CONSULTANT WILL BE REJECTED
- 11 AUTOMATIC IRRIGATION WILL BE PROVIDED FOR ALL PUBLIC OPEN SPACE GREEN ROOF COURTYARD AND LANDSCAPE PRIVATE PATIOS AUTOMATICALLY IRRIGATION SYSTEM WITH WEATHER SENSOR CONTROL WILL BE PROVIDED FOR WATER EFFICIENCY
- 12 HOSE BIBS WILL BE PROVIDED FOR COMMON AREAS AND SOME PRIVATE PATIOS REFER TO ARCHITECTURAL DRAWINGS FOR HOSE BIB LOCATIONS
- 13 OFF SITE PLANTING DESIGN ARE INCLUDED IN SA REFER TO SA PROJECT ARCHITECT'S DRAWINGS FOR EXISTING TREE MANAGEMENT REFER TO THE ENVIRONMENTAL CONSULTANT'S DRAWINGS FOR THE LOT4 PLANTING DESIGN
- 14 NATURALIZATION ZONES PROVIDE A TYPICAL PLANT PLACEMENT LAYOUT OF SPECIES GROUPS IN A 30X15 LAYOUT MOCK-UP FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF NATURALIZATION ZONES

**DIALOG**  
**PFS STUDIO**  
 PLANNING + URBAN DESIGN + LANDSCAPE ARCHITECTURE

**ASPAC**  
 DEVELOPMENTS

ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-08	ISSUED FOR DP
4	2023-02-08	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-09-19	REISSUED FOR DP #3
7	2023-10-06	REISSUED FOR DP #4

October 23, 2023  
 DP 22-013200  
 DP Plan # 49

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- LANDSCAPE ARCHITECT**  
 PFS STUDIO  
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 V6B 8A3  
 Tel: 604.696.8000 Fax:
- ELECTRICAL ENGINEER**  
 NEMETZ (SIN) & ASSOCIATES LTD  
 2008 W 4th AVENUE, VANCOUVER, BC  
 V6J 1H5  
 Tel: 604.735.6562 Fax:



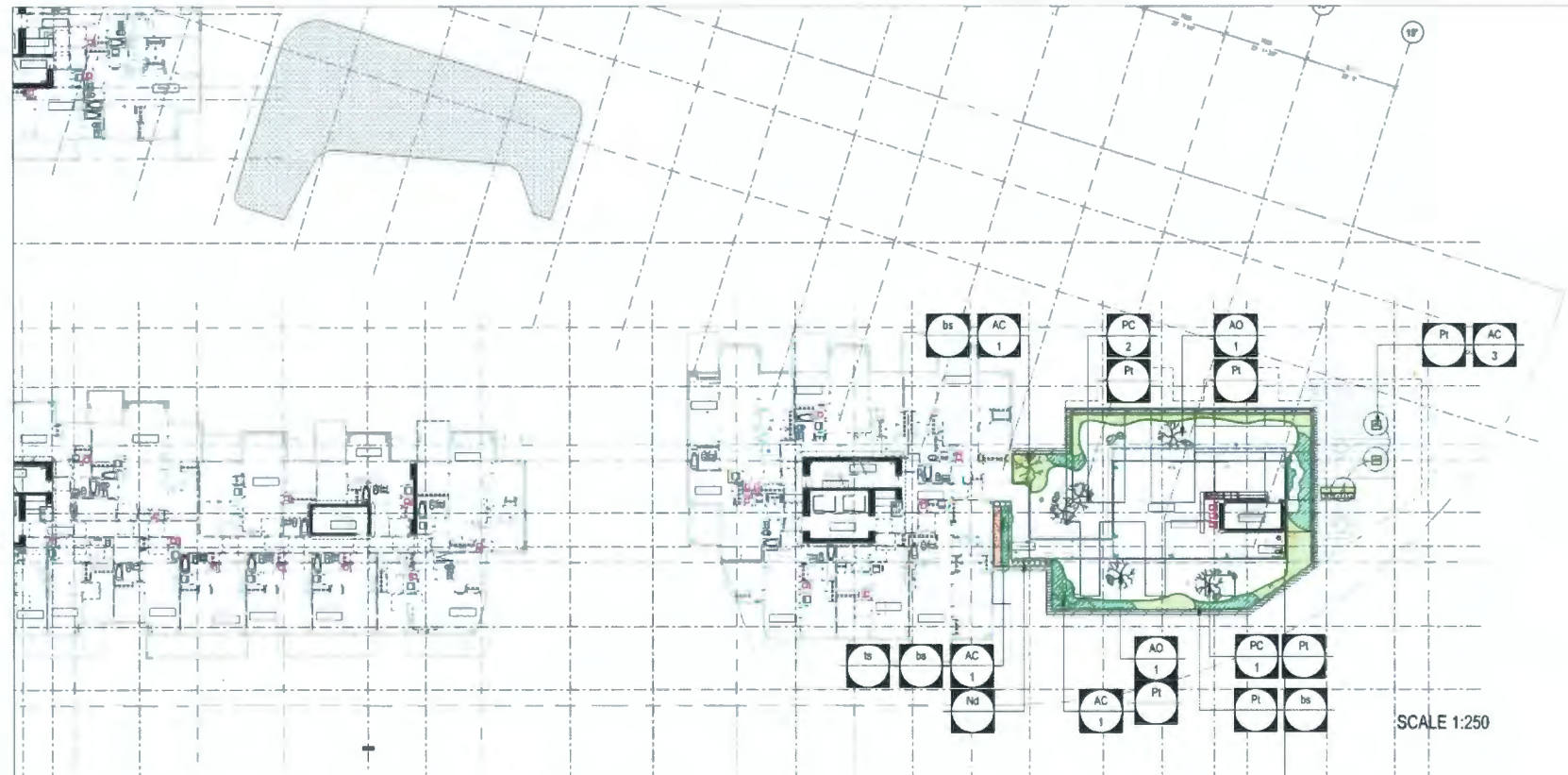
RIVER GREEN - LOT 1

PLANTING PLAN  
 - LEVEL 2

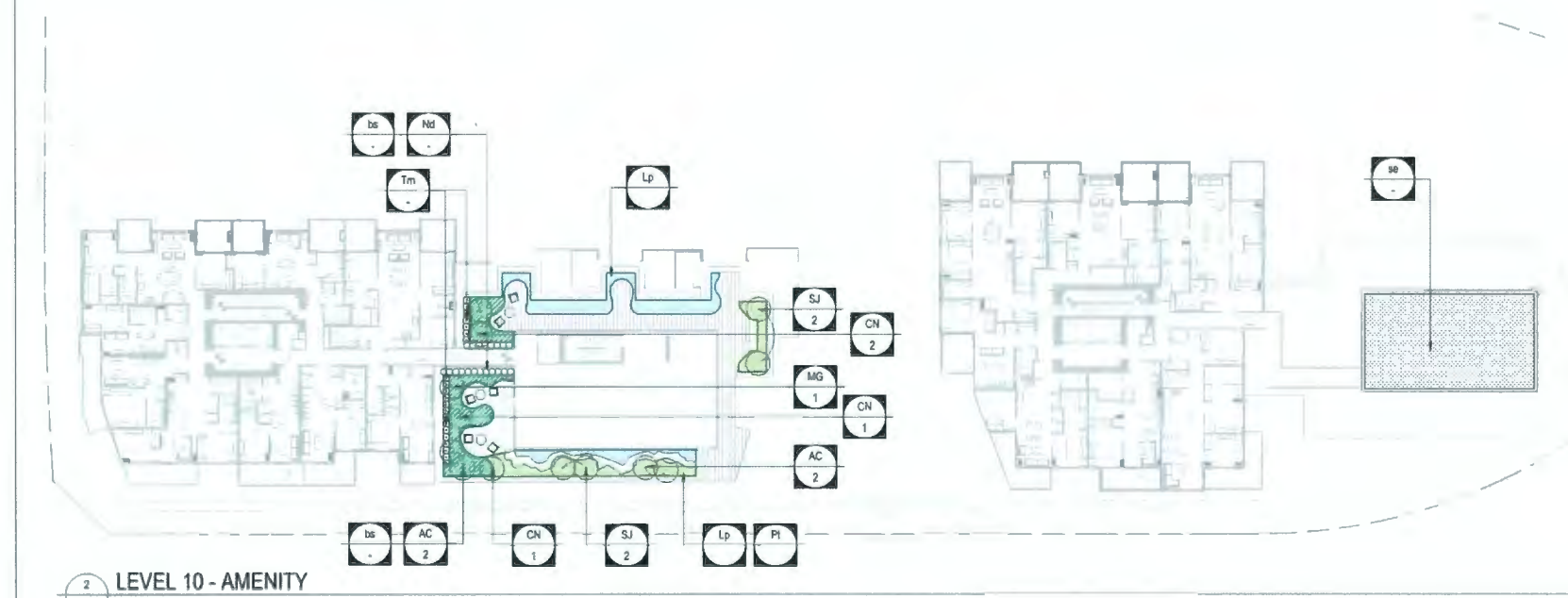
DRAWN: MP/ML CHECKED: LL  
 PLOT DATE:

**L4.02**

SCALE 1:250



1 LEVEL 9 - AMENITY  
SCALE: 1:250



2 LEVEL 10 - AMENITY  
SCALE: 1:250

**PLANTING GENERAL NOTES**

- 1 GREEN ROOF PLANT SPECIES REFER TO SUPPLIER'S DESIGN
- 2 ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARD SPECIFIED IN THE CURRENT EDITION OF THE BC LANDSCAPE STANDARD. THIS STANDARD IS PUBLISHED JOINTLY BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS (BSLA) AND THE BC LANDSCAPE ARCHITECTS ASSOCIATION (BSLA).
- 3 SEARCH AREA FOR ALL PLANT MATERIAL SHALL INCLUDE ALL OF WESTERN NORTH AMERICA OR AS SPECIFIED
- 4 PLANT MATERIAL SIZES SPECIFIED ARE THE MINIMUM ACCEPTABLE SIZES TO BE SUPPLIED TO THIS PROJECT
- 5 ALL PLANT MATERIAL SHALL BE WELL ESTABLISHED AND UNIFORM IN SHAPE AND SIZE
- 6 ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED. ONLY CERTIFIED S.O.D. NURSERY STOCK WILL BE ACCEPTED
- 7 THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT. ALL PER SPECIFICATIONS. PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL SHALL BE REJECTED AT NO COST TO THE OWNER
- 8 THE CONTRACTOR SHALL CONFIRM PLANT QUANTITIES ON THE DRAWINGS CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE
- 9 PLANT LIST TO BE READ IN CONJUNCTION WITH SPECIFICATIONS FOR COMPLIANCE
- 10 PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIAL SPECIFIED AS PER SPECIFICATIONS. ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANT SUBSTITUTIONS MUST BE CONFIRMED AND APPROVED BY THE CONSULTANT WILL BE REJECTED
- 11 AUTOMATIC IRRIGATION WILL BE PROVIDED FOR ALL PUBLIC OPEN SPACE. GREEN ROOF COURTYARDS AND LANDSCAPE PRIVATE PATIOS. AUTOMATIC IRRIGATION SYSTEMS WITH WEATHER SENSOR CONTROLLER WILL BE PROVIDED FOR WATER EFFICIENCY
- 12 HOSE BIBS WILL BE PROVIDED FOR COMMON AREAS AND SOME PRIVATE PATIOS. REFER TO ARCHITECTURAL DRAWINGS FOR HOSE BIB LOCATIONS
- 13 OFF SITE PLANTING DESIGN ARE INCLUDED IN S.I. REFER TO THE PROJECT ARCHITECT'S DRAWINGS FOR EXISTING TREE MANAGEMENT REFER TO THE ENVIRONMENTAL CONSULTANT'S DRAWINGS FOR THE LOT 10A PLANTING DESIGN
- 14 NATURALIZATION ZONES PROVIDE A TYPICAL PLANT PLACEMENT LAYOUT OF SPECIES GROUPS IN A 30'X15' MESH UP FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF NATURALIZATION ZONES

SCALE 1:250

**DIALOG**  
PFS STUDIO  
PLANNING - URBAN DESIGN - LANDSCAPE ARCHITECTURE  
**ASPAC**  
DEVELOPMENTS

ISSUED FOR

1	2022-01-26	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-05	ISSUED FOR DP
4	2023-02-05	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-09-19	REISSUED FOR DP #3
7	2023-10-26	REISSUED FOR DP #4

October 23, 2023  
DP 22-013200  
DP Plan # 50

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PFS STUDIO  
1777 W 3RD AVENUE, VANCOUVER BC  
V6J 1K7  
Tel: 604 735 5188 Fax  
**INTERIOR DESIGN**  
MECKINLEY STUDIOS  
412 - 611 ALEXANDRE STREET VANCOUVER BC  
V6A 1E1  
Tel: 779 379 8761 Fax  
**STRUCTURAL ENGINEER**  
DIALOG  
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V6A 1E1  
Tel: 604 255 1188 Fax  
**MECHANICAL ENGINEER**  
STARTER  
1166 - 111 DUNSMUIR STREET, VANCOUVER BC  
V6B 6A3  
Tel: 604 698 8000 Fax  
**ELECTRICAL ENGINEER**  
HEMETZ (SA) & ASSOCIATES LTD  
2008 W 4th AVENUE, VANCOUVER BC  
V6J 3K3  
Tel: 604 735 8562 Fax



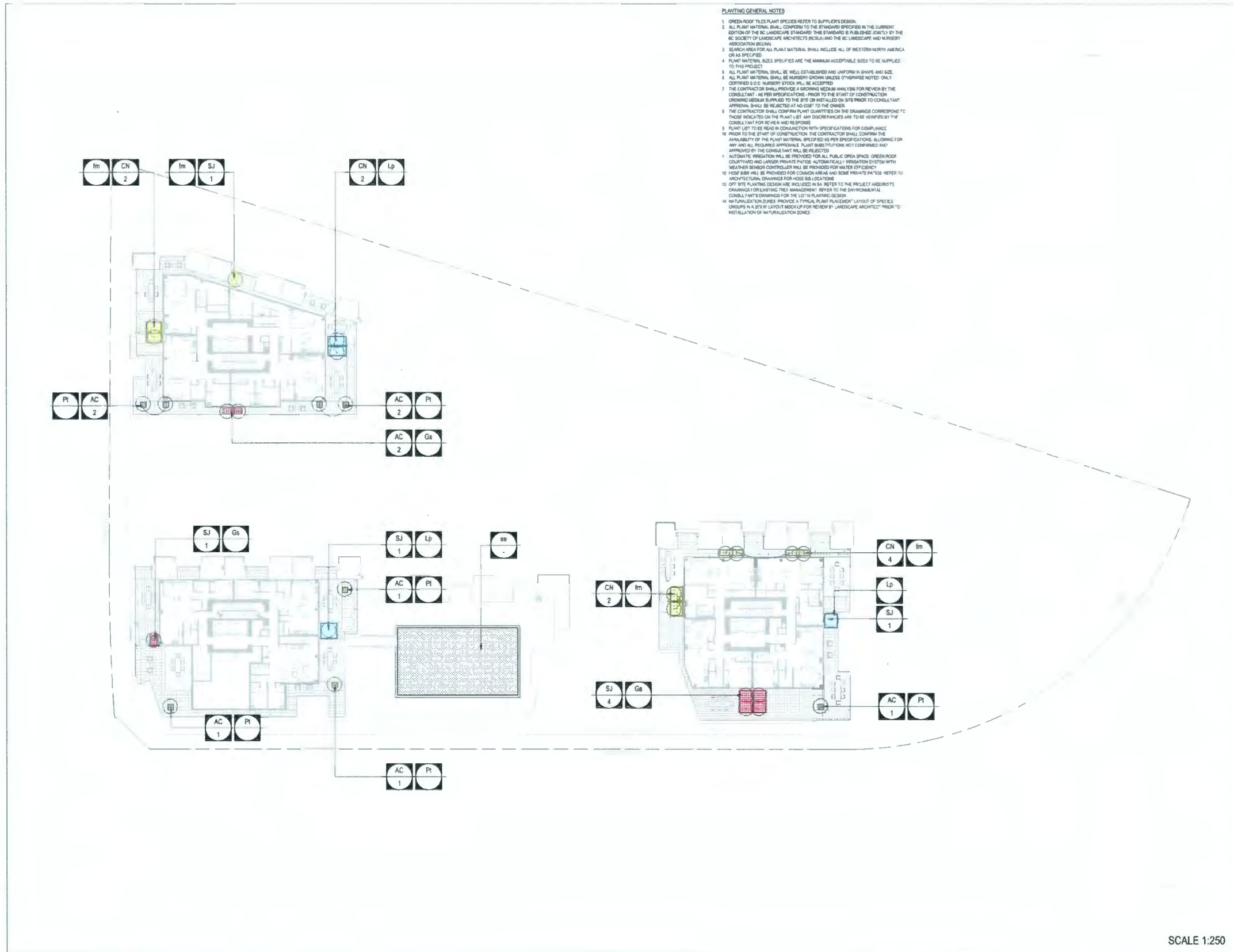
RIVER GREEN - LOT 1

PLANTING PLAN  
- LEVEL 9 & 10

DRAWN: SP/BL CHECKED: LL  
PLOT DATE:

**L4.03**





- PLANTING GENERAL NOTES**
1. ORDER ROOT TUBS PLANT SPECIES REFER TO SUPPLIER'S DESIGN.
  2. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SPECIFIED IN THE CURRENT EDITION OF THE BC LANDSCAPE STANDARD THIS STANDARD IS PUBLISHED JOINTLY BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS (BSLA) AND THE BC LANDSCAPE AND NURSERY ASSOCIATION (BLNA).
  3. SEARCH AREA FOR ALL PLANT MATERIAL SHALL INCLUDE ALL OF WESTERN NORTH AMERICA OR AS SPECIFIED.
  4. PLANT MATERIAL SIZES SPECIFIED ARE THE MINIMUM ACCEPTABLE SIZES TO BE SUPPLIED TO THIS PROJECT.
  5. ALL PLANT MATERIAL SHALL BE WELL ESTABLISHED AND UNIFORM IN SHAPE AND SIZE.
  6. ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED. ONLY CERTIFIED S.O.D. NURSERY STOCK WILL BE ACCEPTED.
  7. THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT. ALL PER SPECIFICATIONS. PRIOR TO THE START OF CONSTRUCTION ORDERING MEDIUM SUPPLIED TO THE SITE OR INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL. SHALL BE REJECTED AT NO COST TO THE OWNER.
  8. THE CONTRACTOR SHALL CONFIRM PLANT QUANTITIES ON THE DRAWINGS CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
  9. PLANT LIST TO BE READ IN CONJUNCTION WITH SPECIFICATIONS FOR COMPLIANCE.
  10. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIAL SPECIFIED AS PER SPECIFICATIONS. ALLOWING FOR ANY AND ALL INCURRED APPROVALS. PLANT SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE CONSULTANT WILL BE REJECTED.
  11. AUTOMATIC IRRIGATION WILL BE PROVIDED FOR ALL PUBLIC OPEN SPACE, GREEN ROOF COURTYARD AND LARGER PRIVATE PATIOS. AUTOMATICALLY IRRIGATION SYSTEM WITH WEATHER SENSOR CONTROLLER WILL BE PROVIDED FOR WATER EFFICIENCY.
  12. HOSE SIBS WILL BE PROVIDED FOR COMMON AREAS AND SOME PRIVATE PATIOS REFER TO ARCHITECTURAL DRAWINGS FOR HOSE SIB LOCATIONS.
  13. OFF SITE PLANTING DESIGN ARE INCLUDED IN SA REFER TO THE PROJECT ARCHITECT'S ORIGINAL LUSHING TREE MANAGEMENT. REFER TO THE ENVIRONMENTAL CONSULTANT'S DRAWINGS FOR THE LOT 12 PLANTING DESIGN.
  14. NATURALIZATION ZONES PROVIDE A TYPICAL PLANT PLACEMENT LAYOUT OF SPECIES GROUPS IN A 20'X10' LAYOUT BLOCKUP FOR REVIEW BY LANDSCAPE ARCHITECT UNDER THE INSTALLATION OF NATURALIZATION ZONES.

**DIALOG**  
**PFS STUDIO**  
 PLANNING URBAN DESIGN - LANDSCAPE ARCHITECTURE

**ASPAC**  
 DEVELOPMENTS

ISSUED FOR

1	2022-01-26	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-08	ISSUED FOR DP
4	2023-02-05	REISSUED FOR DP
5	2023-07-26	REISSUED FOR DP #2
6	2023-09-19	REISSUED FOR DP #3
7	2023-10-05	REISSUED FOR DP #4

October 23, 2023  
 DP 22-013200  
 DP Plan # 51

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 PFS STUDIO  
 1777 W 3RD AVENUE, VANCOUVER, BC  
 V6J 3K7  
 Tel: 604.736.5188 Fax:  
**INTERIOR DESIGN**  
 MCKINLEY STUDIOS  
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 V6A 1E1  
 Tel: 779.379.6761 Fax:  
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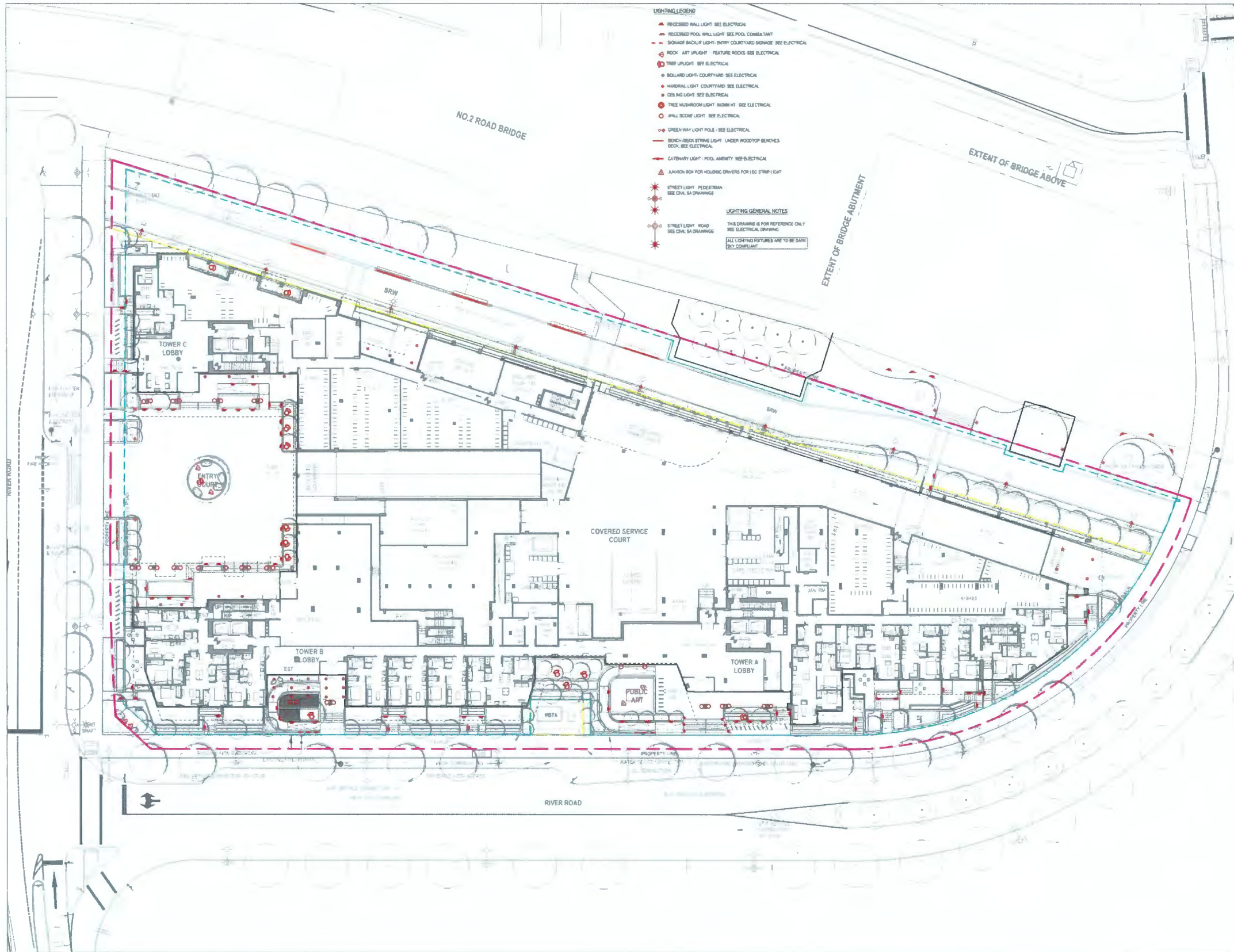
RIVER GREEN - LOT 1

PLANTING PLAN  
 - LEVEL 12

DRAWN: MP-AB CHECKED: LL  
 PLOT DATE:

**L4.04**

SCALE 1:250



ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-02-26	ISSUED FOR DP
4	2023-02-08	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-08-19	REISSUED FOR DP #3
7	2023-10-26	REISSUED FOR DP #4

October 23, 2023  
 DP 22-013200  
 DP Plan # 52

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 V6J 1K7  
 Tel: 604.736.6168 Fax:
- INTERIOR DESIGN**  
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 V6B 6A3  
 Tel: 604.696.8000 Fax:
- ELECTRICAL ENGINEER**  
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 2000 W 40 AVENUE, VANCOUVER, BC  
 V6J 1A0  
 Tel: 604.736.8500 Fax:

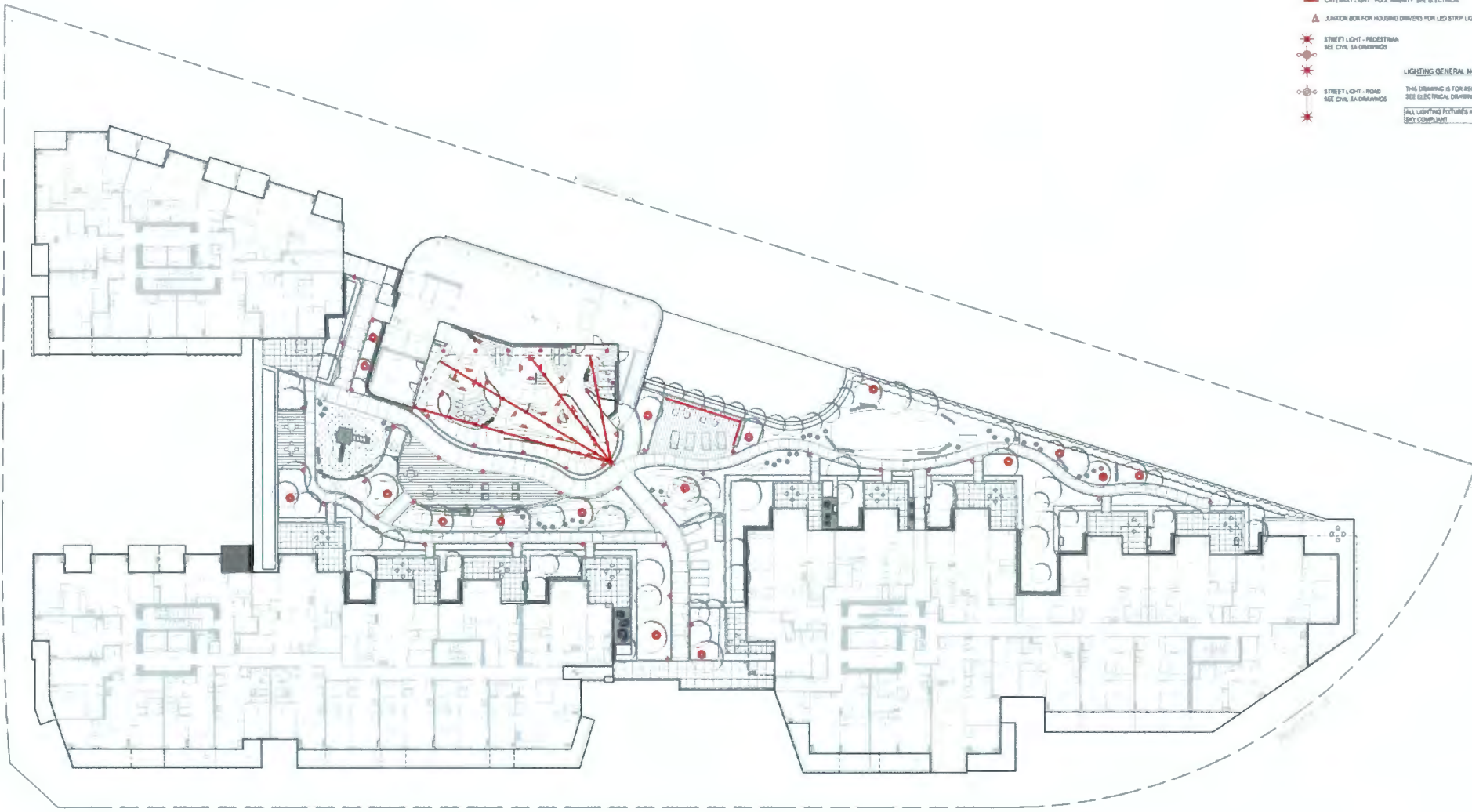


RIVER GREEN - LOT 1

LIGHTING PLAN  
 - LEVEL 1

DRAWN: MPAR PLOT DATE: CHECKED: LL

**L6.01**



- LIGHTING LEGEND**
- RECESSED WALL LIGHT SEE ELECTRICAL
  - ▲ RECESSED POOL WALL LIGHT SEE POOL COMBAT
  - DOWNAGE BACKLIT LIGHT ENTRY COURTYARD SIGNAGE SEE ELECTRICAL
  - ◇ ROCK ART UPLIGHT - FEATURE ROCKS SEE ELECTRICAL
  - ⊙ TREE UPLIGHT SEE ELECTRICAL
  - ◆ BOLLARD LIGHT COURTYARD SEE ELECTRICAL
  - HANDRAIL LIGHT COURTYARD SEE ELECTRICAL
  - CEILING LIGHT SEE ELECTRICAL
  - ⊙ TREE UNDERHOOD LIGHT ROOM HT SEE ELECTRICAL
  - WALL SCENE LIGHT SEE ELECTRICAL
  - GREENWAY LIGHT POLE SEE ELECTRICAL
  - BENCH CREEK STRAND LIGHT UNDER HOODTOP BRANCHES SEE ELECTRICAL
  - ▲ CATERMAY LIGHT POOL AMBIENT SEE ELECTRICAL
  - ▲ JAVANOR BOX FOR HOUSING DRAWING FOR LED STRIP LIGHT
- LIGHTING GENERAL NOTES**
- ★ STREET LIGHT - PEDESTRIAN SEE CIVIL SA DRAWINGS
  - ★ STREET LIGHT - ROAD SEE CIVIL SA DRAWINGS
- THIS DRAWING IS FOR REFERENCE ONLY SEE ELECTRICAL DRAWING
- ALL LIGHTING FIXTURES ARE TO BE DARK SKY COMPLIANT

**DIALOG**  
**PFS STUDIO**  
 PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
 DEVELOPMENTS

ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-18	ISSUED FOR REVIEW
3	2022-06-06	ISSUED FOR DP
4	2023-02-08	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-09-19	REISSUED FOR DP #3
7	2023-10-08	REISSUED FOR DP #4

October 23, 2023  
 DP 22-013200  
 DP Plan # 53

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**LANDSCAPE ARCHITECT**

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 1777 W 3RD AVENUE VANCOUVER, BC  
 V6J 1K7  
 Tel: 604.738.5186 Fax:

**INTERIOR DESIGN**

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 412 - 811 ALEXANDRE STREET VANCOUVER, BC  
 V6A 1E1  
 Tel: 779.579.6761 Fax:

**STRUCTURAL ENGINEER**

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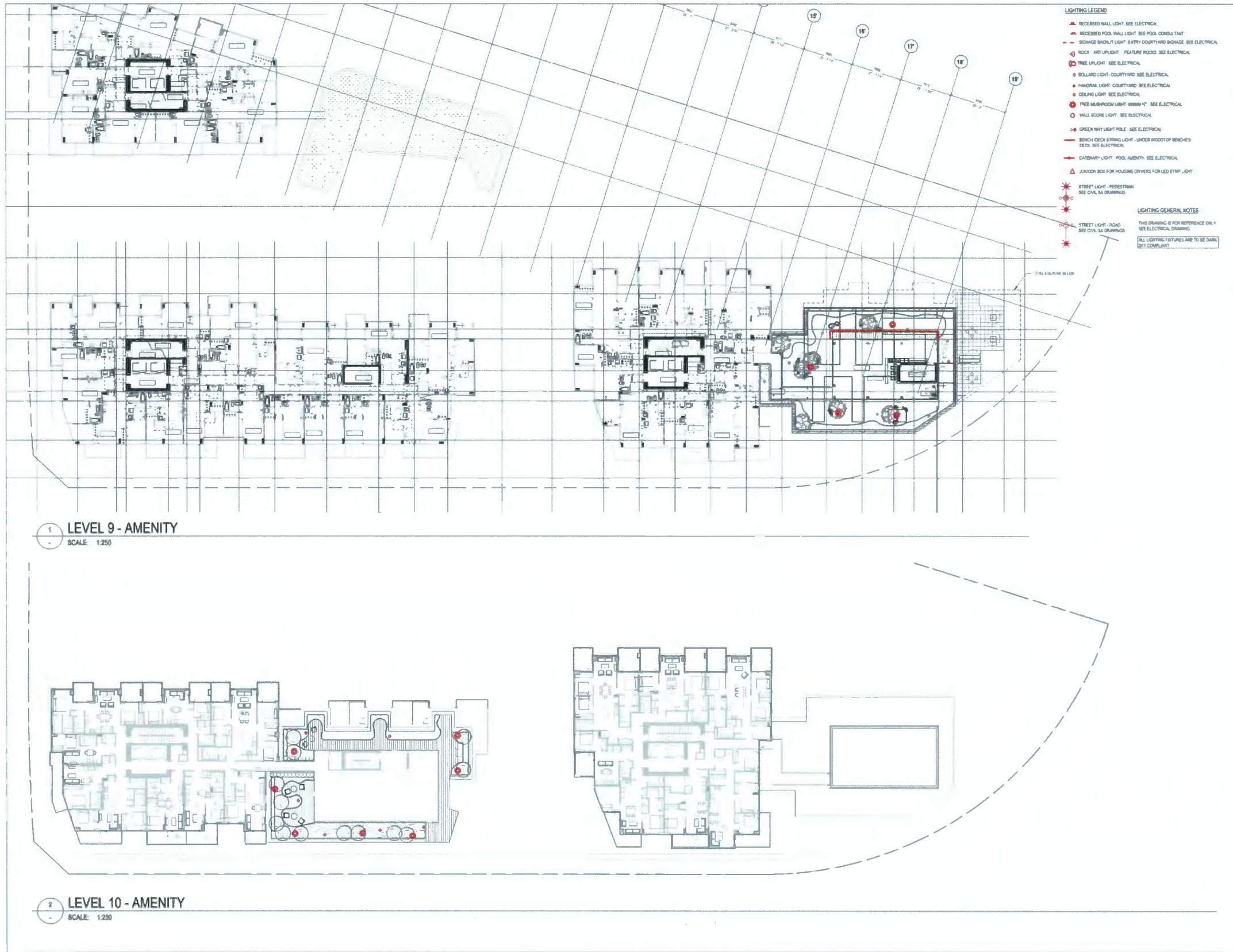


RIVER GREEN - LOT 1

LIGHTING PLAN  
 - LEVEL 2

DRAWN: SPMB CHECKED: LL  
 PLOT DATE:

**L6.02**



ISSUED FOR

1	2022-01-26	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-05	ISSUED FOR DP
4	2023-02-08	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-09-19	REISSUED FOR DP #3
7	2023-10-08	REISSUED FOR DP #4

October 23, 2023  
 DP 22-013200  
 DP Plan # 54

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 V6J 1K7  
 Tel: 604.736.5188 Fax:  
**INTERIOR DESIGN**  
 MCKINLEY STUDIOS  
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 V6A 1E1  
 Tel: 778.578.6761 Fax:  
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 V6A 1E1  
 Tel: 604.255.1188 Fax:  
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 V6J 1K3  
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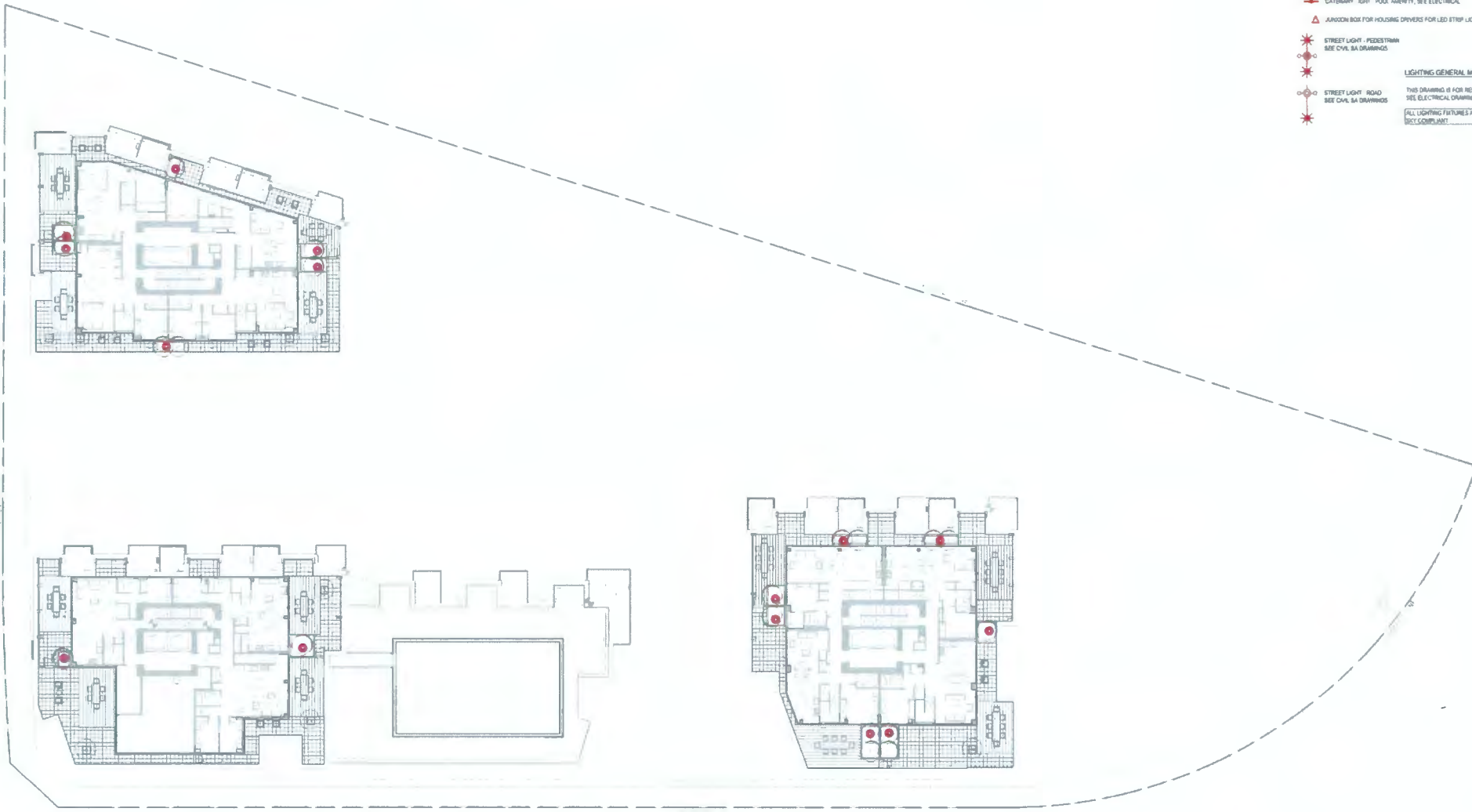


RIVER GREEN - LOT 1

LIGHTING PLAN  
 - LEVEL 9 & 10

DRAWN: MP/ML CHECKED: LL  
 PLOT DATE:

**L6.03**



- LIGHTING LEGEND**
- ▲ RECESSED WALL LIGHT - SEE ELECTRICAL
  - ▲ RECESSED POOL WALL LIGHT - SEE POOL CONSULTANT
  - BONAIRE BACKLIT LIGHT - ENTRY COURTYARD BONAIRE - SEE ELECTRICAL
  - ◇ ROCK ART UPLIGHT - FEATURE ROCKS - SEE ELECTRICAL
  - ◇ TREE UPLIGHT - SEE ELECTRICAL
  - ◇ BOLLARD LIGHT - COURTYARD - SEE ELECTRICAL
  - ◇ HORIZONTAL LIGHT - COURTYARD - SEE ELECTRICAL
  - ◇ CEILING LIGHT - SEE ELECTRICAL
  - ◇ TREE MID-PICOON LIGHT - 888MM HT. - SEE ELECTRICAL
  - ◇ WALL SCENE LIGHT - SEE ELECTRICAL
  - ◇ GREEN WAY LIGHT POLE - SEE ELECTRICAL
  - BENCH BACK STRING LIGHT - UNDER HOODTOP BENCHES - SEE ELECTRICAL
  - CATERAMBY LIGHT - POOL AREA - SEE ELECTRICAL
  - ▲ ANCHOR BOX FOR HOLDING DRIVERS FOR LED STRIP LIGHT
- LIGHTING GENERAL NOTES**
- ★ STREET LIGHT - PEDESTRIAN - SEE CIVIL DRAWINGS
  - ★ STREET LIGHT - ROAD - SEE CIVIL DRAWINGS
- THIS DRAWING IS FOR REFERENCE ONLY  
SEE ELECTRICAL DRAWING
- ALL LIGHTING FIXTURES ARE TO BE DARK  
BODY COMPLIANT

**DIALOG**  
**PFS STUDIO**  
 PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
 DEVELOPMENTS

ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-08	ISSUED FOR DP
4	2023-02-08	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-09-19	REISSUED FOR DP #3
7	2023-10-08	REISSUED FOR DP #4

October 23, 2023  
 DP 22-013200  
 DP Plan # 55

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 V6J 1K7  
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**INTERIOR DESIGN**

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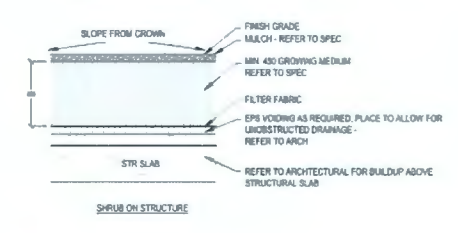
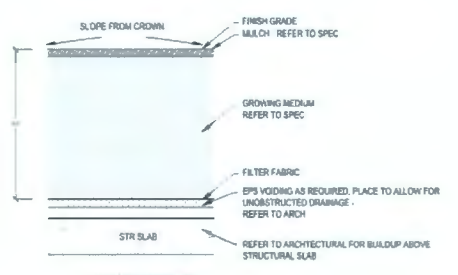
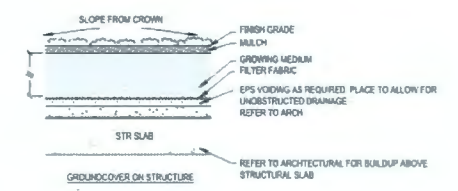


RIVER GREEN - LOT 1

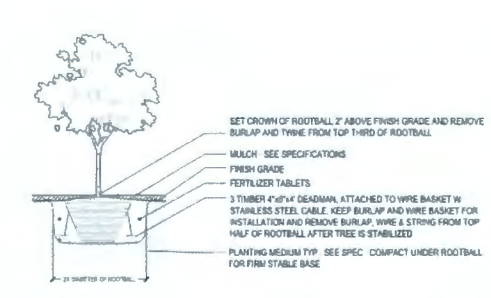
LIGHTING PLAN  
 - LEVEL 12

DRAWN: LUPAB CHECKED: LL  
 PLOT DATE:

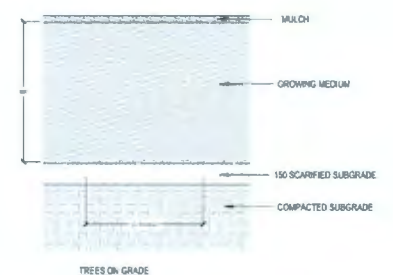
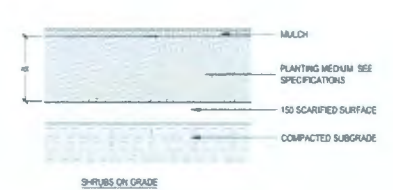
**L6.04**



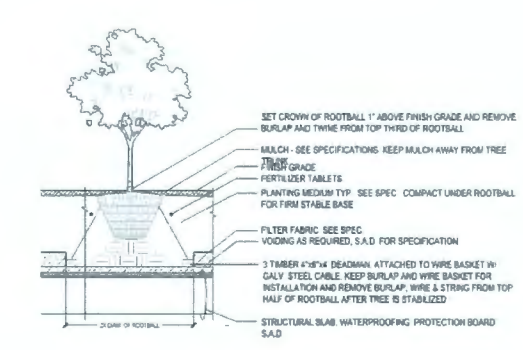
1 SOIL PROFILES, TYP. ON SLAB  
SCALE: 1/20



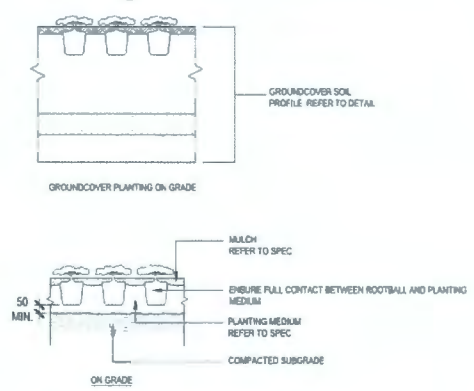
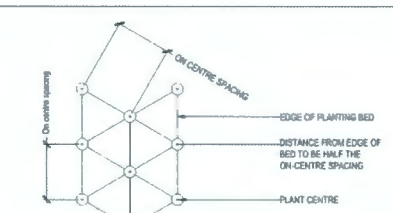
5 TREE PLANTING ON GRADE  
SCALE: 1/20



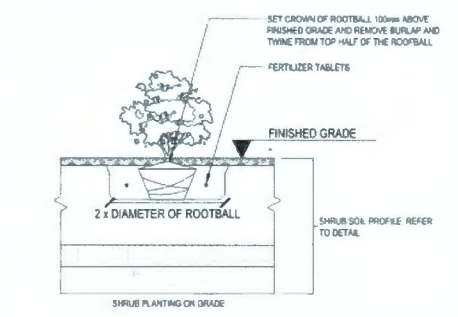
2 SOIL PROFILES, TYP. ON GRADE  
SCALE: 1/20



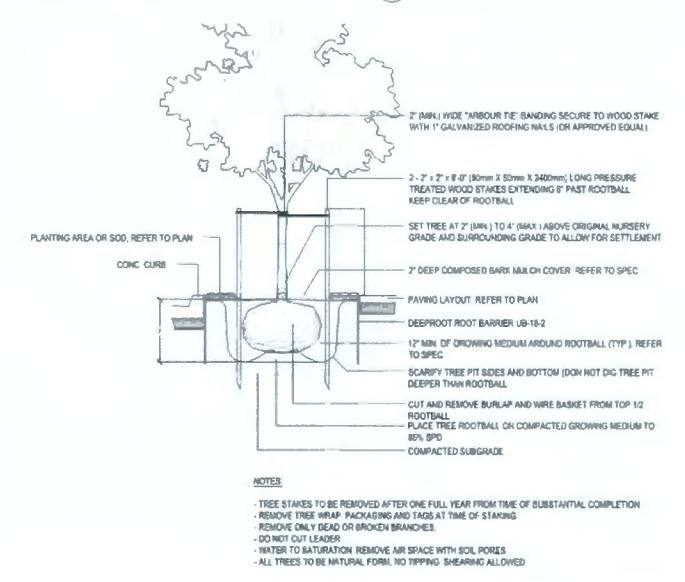
6 TREE PLANTING ON SLAB  
SCALE: 1/20



3 GROUND COVER PLANTING  
SCALE: 1/20



4 SHRUB PLANTING  
SCALE: 1/20



7 STREET TREE PLANTING  
SCALE: 1/20

NOTES:  
- TREE STAKES TO BE REMOVED AFTER ONE FULL YEAR FROM TIME OF SUBSTANTIAL COMPLETION  
- REMOVE TREE WRAP PACKAGING AND TAGS AT TIME OF STAKING  
- REMOVE ONLY DEAD OR BROKEN BRANCHES  
- DO NOT CUT LEADER  
- WATER TO SATURATION. REMOVE AIR SPACE WITH SOIL PORES  
- ALL TREES TO BE NATURAL FORM. NO TIPPING. SHEARING ALLOWED

ISSUED FOR:

1	2022-01-28	ISSUED FOR REVIEW
2	2022-03-10	ISSUED FOR REVIEW
3	2022-05-05	ISSUED FOR DP
4	2022-02-06	REISSUED FOR DP
5	2022-07-28	REISSUED FOR DP #2
6	2022-08-19	REISSUED FOR DP #3
7	2022-10-08	REISSUED FOR DP #4

October 23, 2023  
DP 22-013200  
DP Plan # 56

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LANDSCAPE ARCHITECT  
PFS STUDIO  
1777 W 3RD AVENUE, VANCOUVER, BC  
V6J 1K7  
Tel: 604.736.5188 Fax:  
INTERIOR DESIGN  
MCKINLEY STUDIOS  
412 - 811 ALEXANDRE STREET, VANCOUVER, BC  
V6A 1E1  
Tel: 778.579.6761 Fax:  
STRUCTURAL ENGINEER  
DIALOG  
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MCKINLEY STUDIOS & ASSOCIATES LTD  
2009 W 46th AVENUE, VANCOUVER, BC  
V6J 1A3  
Tel: 604.736.6562 Fax:

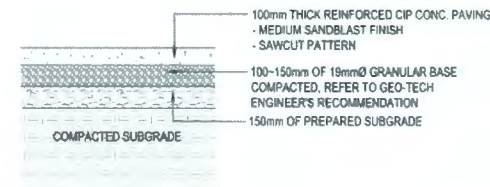
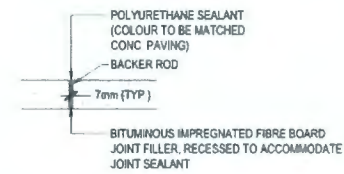
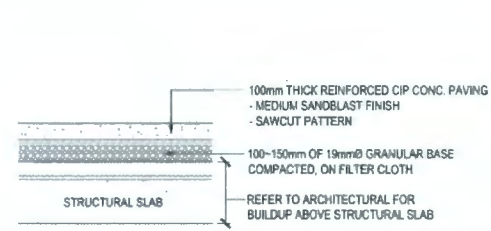


RIVER GREEN - LOT 1

LANDSCAPE DETAILS  
PLANTING

DRAWN: LMPA CHECKED: LL  
PLOT DATE:

**L8.01**



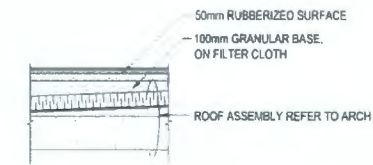
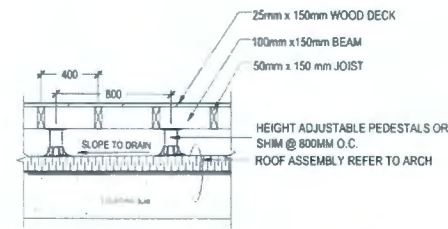
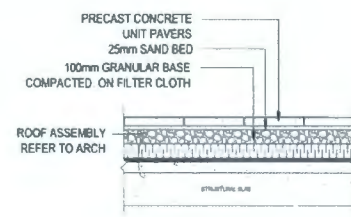
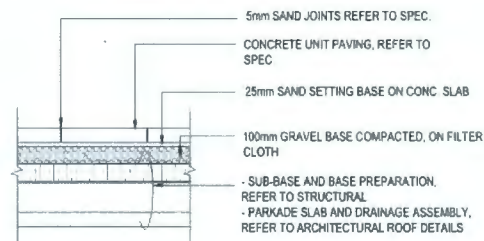
EXPANSION JOINT - TYPICAL  
SCALE N.T.S.

SAWCUT JOINT - TYPICAL  
SCALE N.T.S.

NOTES:  
1. SAWCUT JOINTS TO BE LOCATED AT 9'-0" (3.0m) MAX. INTERVALS  
2. EXPANSION JOINTS TO BE LOCATED AT 30'-0" (9.0m) MAX. INTERVALS AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS

1 C.I.P. CONCRETE PAVING - PEDESTRIAN ON SLAB  
SCALE: 1:20

2 C.I.P. CONCRETE PAVING ON GRADE  
SCALE: 1:20

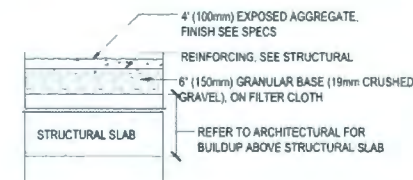
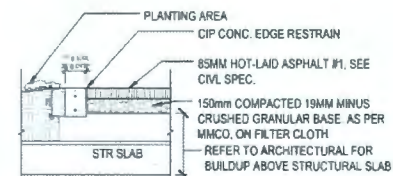
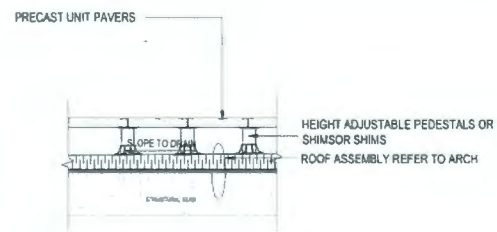


3 CONCRETE UNIT PAVING ON SLAB  
SCALE: 1:20

4 CONCRETE UNIT PAVING - UPPER LEVELS  
SCALE: 1:20

5 WOOD DECK - UPPER LEVELS  
SCALE: 1:20

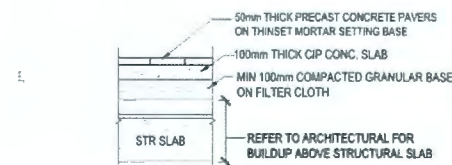
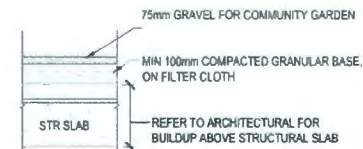
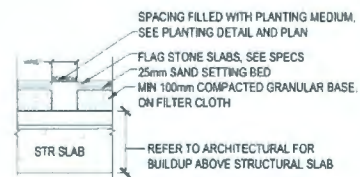
6 RUBBERIZED SURFACE  
SCALE: 1:20



7 PAVERS ON PEDESTALS  
SCALE: 1:20

8 ASPHALT W/ CIP CONC. EDGE  
SCALE: 1:20

9 EXPOSED AGGREGATE CONCRETE  
SCALE: 1:20



10 STEPPING STONES  
SCALE: 1:20

11 GRAVEL SURFACE  
SCALE: 1:20

12 PRECAST PAVER ON POOL AREA  
SCALE: 1:20

ISSUED FOR

1	2022-01-26	ISSUED FOR REVIEW
2	2022-03-10	ISSUED FOR REVIEW
3	2022-05-08	ISSUED FOR DP
4	2023-02-08	REISSUED FOR DP
5	2023-07-26	REISSUED FOR DP #2
6	2023-09-19	REISSUED FOR DP #3
7	2023-10-06	REISSUED FOR DP #4

October 23, 2023  
DP 22-013200  
DP Plan # 57

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LANDSCAPE ARCHITECT  
PFS STUDIO  
1177 W 2ND AVENUE, VANCOUVER, BC  
V6U 1K7  
Tel: 604.735.5188 Fax:

INTERIOR DESIGN  
MICHAEL STUDIOS  
412-611 ALEXANDRE STREET, VANCOUVER, BC  
V6A 1E1  
Tel: 779.379.6761 Fax:

STRUCTURAL ENGINEER  
DIALOG  
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STARTEC  
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V6B 9A3  
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2008 W 4th AVENUE, VANCOUVER, BC  
V6J 1C1  
Tel: 604.736.8562 Fax:

SEAL

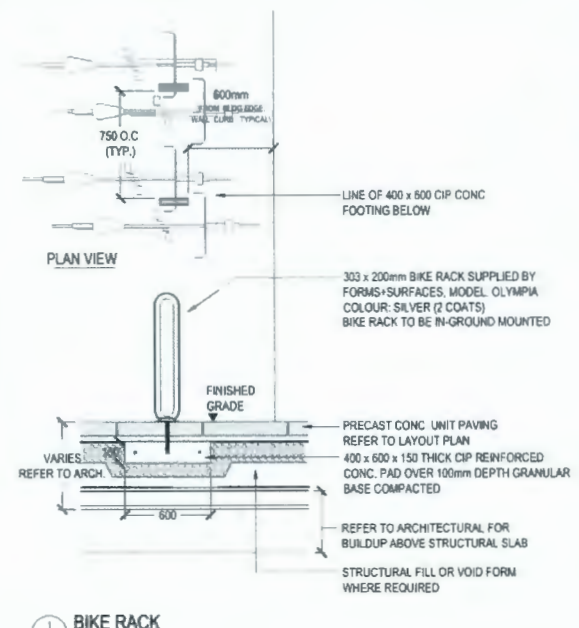


RIVER GREEN - LOT 1

LANDSCAPE DETAILS  
PAVING

DRAWN: LP/AL CHECKED: LL  
PLOT DATE:

**L8.02**



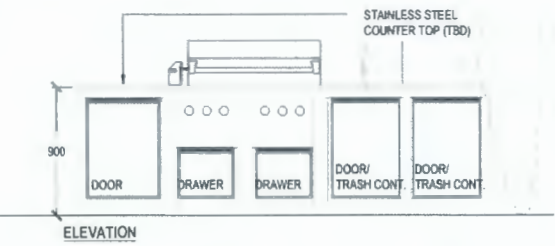
SAMPLE PHOTO

- NOTES:**
1. PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
  2. REFER TO LAYOUT PLANS FOR LOCATIONS

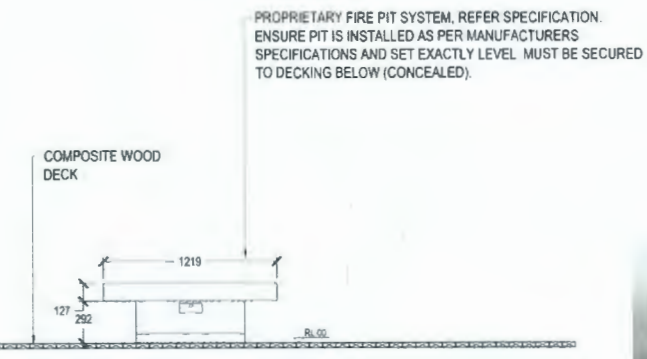
1 BIKE RACK  
SCALE: 1:20



2 MOVABLE BOLLARD  
SCALE: 1:20



4 OUTDOOR KITCHEN  
SCALE: 1:20



- FIRE BOWL NOTES:**
- FIRE BOWL IS INTENDED FOR PRIVATE RESIDENTIAL USE ONLY. FINAL INSTALLATION AND STARTING MECHANISM TO BE CONFIRMED WITH CLIENT

3 FIRE PIT W/ TANK COVER TABLE  
SCALE: 1:20

PROPANE TANK COVER TABLE MATCH THE FIRE PIT COLOUR



SAMPLE PHOTO



SAMPLE PHOTO



SAMPLE PHOTO

6 DINING TABLE AND CHAIRS  
SCALE: 1:20



SAMPLE PHOTO

8 LOUNGE CHAIR  
SCALE: 1:20



SAMPLE PHOTO

7 URBAN AGRICULTURE PLANTER  
SCALE: 1:20



8 CHAISE LOUNGE  
SCALE: 1:20



8 METAL PLANTER  
SCALE: 1:20

ISSUED FOR

- 1 2022-01-28 ISSUED FOR REVIEW
- 2 2022-02-10 ISSUED FOR REVIEW
- 3 2022-05-06 ISSUED FOR DP
- 4 2023-02-08 REISSUED FOR DP
- 5 2023-01-28 REISSUED FOR DP #2
- 6 2023-06-19 REISSUED FOR DP #3
- 7 2023-10-08 REISSUED FOR DP #4

October 23, 2023  
DP 22-013200  
DP Plan # 58

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**INTERIOR DESIGN**

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DIALOG  
408 - 811 ALEXANDRE STREET VANCOUVER, BC  
V6A 1E1  
Tel: 604.255.1189 Fax:

**MECHANICAL ENGINEER**

STANTEC  
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Tel: 604.698.8000 Fax:

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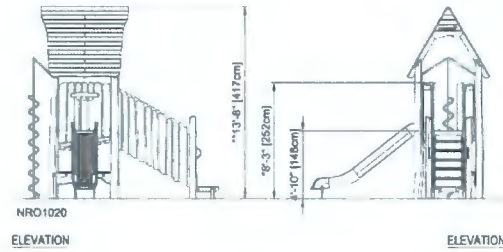
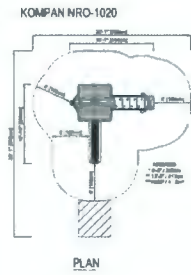
RIVER GREEN - LOT 1

LANDSCAPE DETAILS  
FURNISHING

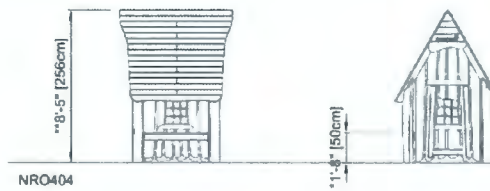
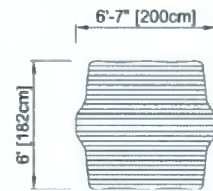
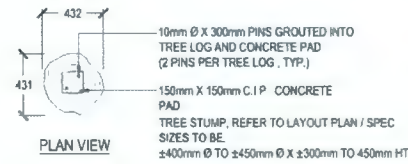
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PLOT DATE:

**L8.03**



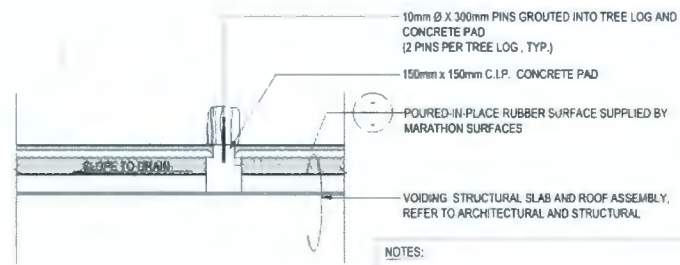


1 PLAY STRUCTURE  
SCALE: 1/10



3A PLAY HOUSE  
SCALE: NTS

8 POTTING TABLE / STORAGE  
SCALE: NTS



- NOTES:
- TREE STUMPS SIZE & SHAPE SHOWN INDICATIVE ONLY.
  - FINAL LOCATIONS OF TREE STUMP ARRANGEMENT TO BE DETERMINED ON SITE BY CONSULTANT.



4 BENCH  
SCALE: NTS

6A CURVE BENCH  
SCALE: NTS

2 WOOD STUMP  
SCALE: 1/20



NOTE:  
LIGHTING FIXTURES ARE FOR REFERENCE ONLY. TO BE DESIGN BY LIGHTING CONSULTANT.



5 LIGHTING FIXTURES  
SCALE: NTS

6 2 FEET HIGH METAL FENCE  
SCALE: NTS

ISSUED FOR

1	2022-04-28	ISSUED FOR REVIEW
2	2022-05-18	ISSUED FOR REVIEW
3	2022-05-06	ISSUED FOR DP
4	2022-02-08	REISSUED FOR DP
5	2022-07-28	REISSUED FOR DP #2
6	2022-08-19	REISSUED FOR DP #3
7	2022-10-08	REISSUED FOR DP #4

October 23, 2023  
DP 22-013200  
DP Plan # 59

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Tel: 604.736.6862 Fax:

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RIVER GREEN - LOT 1

LANDSCAPE DETAILS  
FURNISHING

DESIGNED: LSPRA CHECKED: LL  
PLOT DATE:

**L8.04**





CONTEXT PLAN / NOT TO SCALE

**DIALOG**

**PFS STUDIO**  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
DEVELOPMENTS

ISSUED FOR

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-05-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-08-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
DP 22-013200  
Reference Plan

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6011 RIVER ROAD  
RIVER GREEN - LOT 1

CONTEXT PLAN

DRAWN: Author  
PLOT DATE: 10/13/2023 2:58:53 PM  
CHECKED: Checker

**DP0.3**

BC100179 - 2004354  
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AERIAL PERSPECTIVE



PERSPECTIVE ALONG IMPROVED SRW

**DIALOG**

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**ASPAC**  
DEVELOPMENTS

ISSUED FOR	DATE	DESCRIPTION
1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-08-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
DP 22-013200  
Reference Plan

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V6J 6E4  
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6011 RIVER ROAD  
RIVER GREEN - LOT 1

**3D VIEWS**

DRAWN: Author  
PLOT DATE: 10/13/2023 3:05:34 PM  
CHECKED: Checker

**DP0.16**

BC100179 - 2004354

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VIEW FROM THE SKY - SOUTH WEST CORNER



VIEW ALONG NO.2 ROAD BRIDGE TOWARDS NORTHSORE MOUNTAINS

**DIALOG®**

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1	2023-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-06-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
DP 22-013200  
Reference Plan

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Tel: 604.688.8571 Fax:

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Tel: 604.235.1189 Fax:

**MECHANICAL ENGINEER**  
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V6B 6A3  
Tel: 604.696.8000 Fax:

**ELECTRICAL ENGINEER**  
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V6J 3H3  
Tel: 604.736.6362 Fax:

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6011 RIVER ROAD  
RIVER GREEN - LOT 1

**3D VIEWS**

DRAWN: Author CHECKED: Checker  
PLOT DATE: 10/13/2023 3:00:40 PM

**DP0.17**

BC100179 - 2004354

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SOUTH-EAST PERSPECTIVE



ENTRANCE - TOWER A & B

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DEVELOPMENTS

ISSUED FOR

1	2023-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-06-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
 DP 22-013200  
 Reference Plan

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 V6J 0E4  
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 V6A 1E1  
 Tel: 604 255 1189 Fax:

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 V6B 6A3  
 Tel: 604 695 8000 Fax:

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 V6J 3H3  
 Tel: 604 736 6562 Fax:

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6011 RIVER ROAD  
 RIVER GREEN - LOT 1

**3D VIEWS**

DRAWN Author CHECKED: Checker  
 PLOT DATE: 10/13/2023 3:00:51 PM

**DP0.18a**

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VIEW FROM THE SKY - NORTH WEST CORNER

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ISSUED FOR:

- 1 2023-06-05 DP RESPONSE #1
- 2 2023-08-15 DP RESPONSE #2
- 3 2023-10-13 DP RESPONSE #4

October 23, 2023  
 DP 22-013200  
 Reference Plan

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LANDSCAPE ARCHITECT  
 CIVIL  
 1706 W 1st Ave Vancouver BC  
 V6J 2E4  
 Tel: 604 688 8571 Fax:

STRUCTURAL ENGINEER  
 DIALOG  
 406 - 511 ALEXANDER STREET VANCOUVER BC  
 V6A 1E1  
 Tel: 604 255 1169 Fax:

MECHANICAL ENGINEER  
 STANTEC  
 1100 111 DUNSMuir STREET, VANCOUVER BC  
 V5E 5A3  
 Tel: 604 696 8000 Fax:

ELECTRICAL ENGINEER  
 NEMETZ (SIA) & ASSOCIATES LTD  
 2005 W 4th AVENUE VANCOUVER BC  
 V6L 1Y2  
 Tel: 604 736 6562 Fax:

SEAL



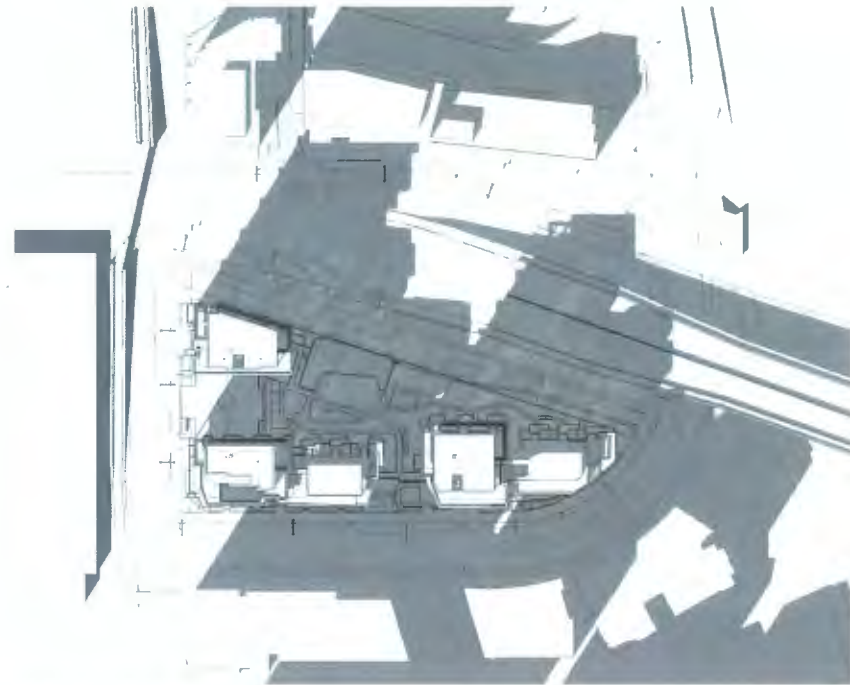
6011 RIVER ROAD  
 RIVER GREEN - LOT 1

3D VIEWS

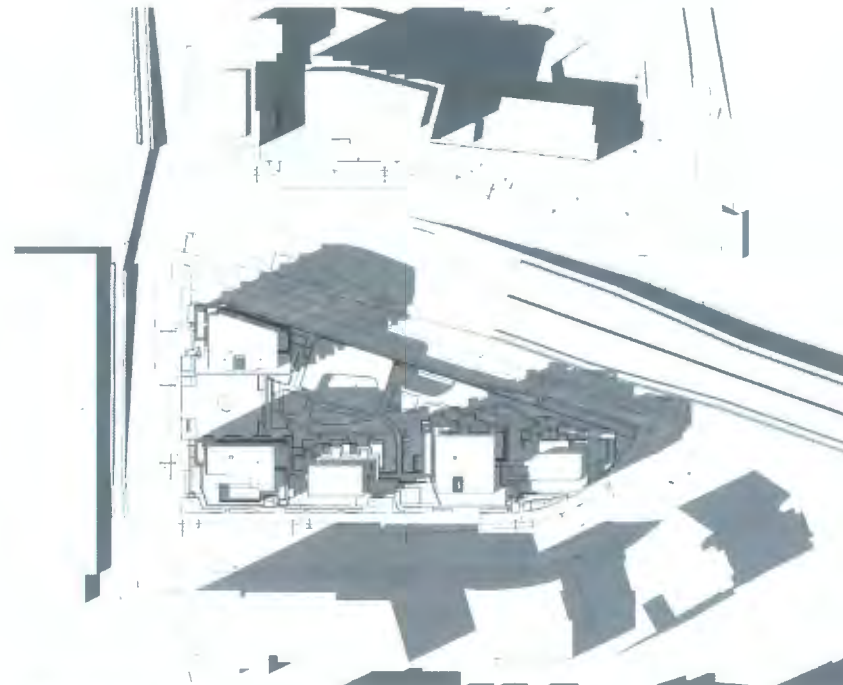
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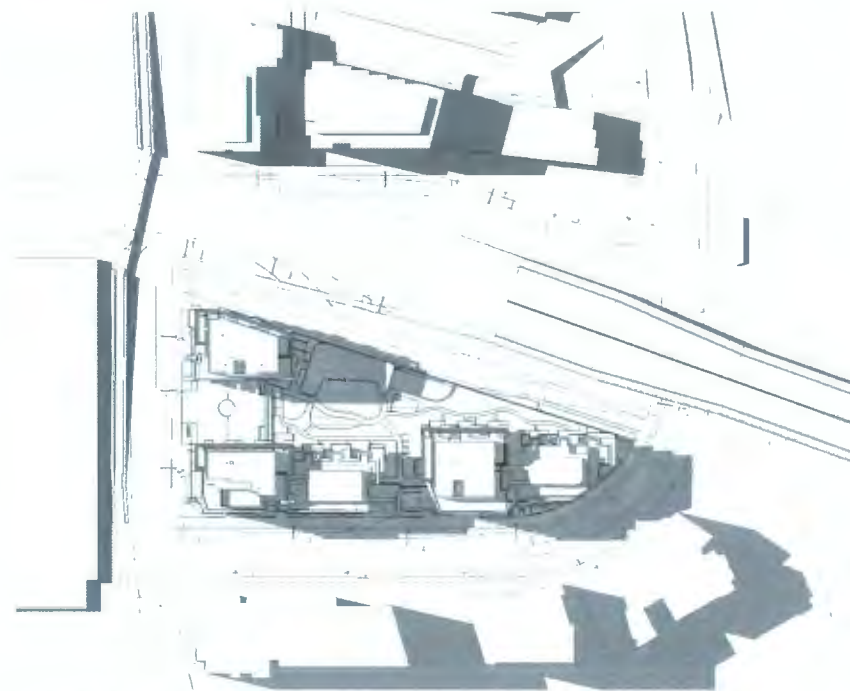
BC100175 - 2004354



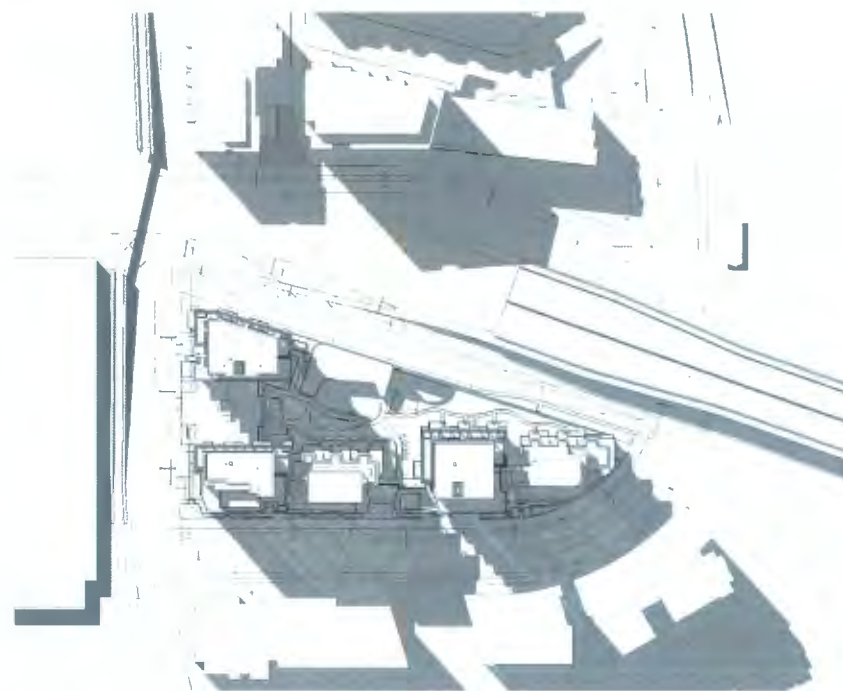
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SPRING EQUINOX - 4PM  
SCALE: 1:1000

**DIALOG**

**PFS STUDIO**  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
DEVELOPMENTS

ISSUED FOR:

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-09-09	DP RESPONSE #1
3	2023-09-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4

October 23, 2023  
DP 22-013200  
Reference Plan

**METRIC**

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V6J 5G4  
Tel: 604.688.8571 Fax:

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**MECHANICAL ENGINEER**

STARTEC  
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**ELECTRICAL ENGINEER**

HEMETZ (SA) & ASSOCIATES LTD.  
2009 W 4th AVENUE, VANCOUVER, BC  
V6J 1H0  
Tel: 604.736.6562 Fax:

SEAL



6011 RIVER ROAD  
RIVER GREEN - LOT 1

**SHADOW STUDIES - EQUINOX**

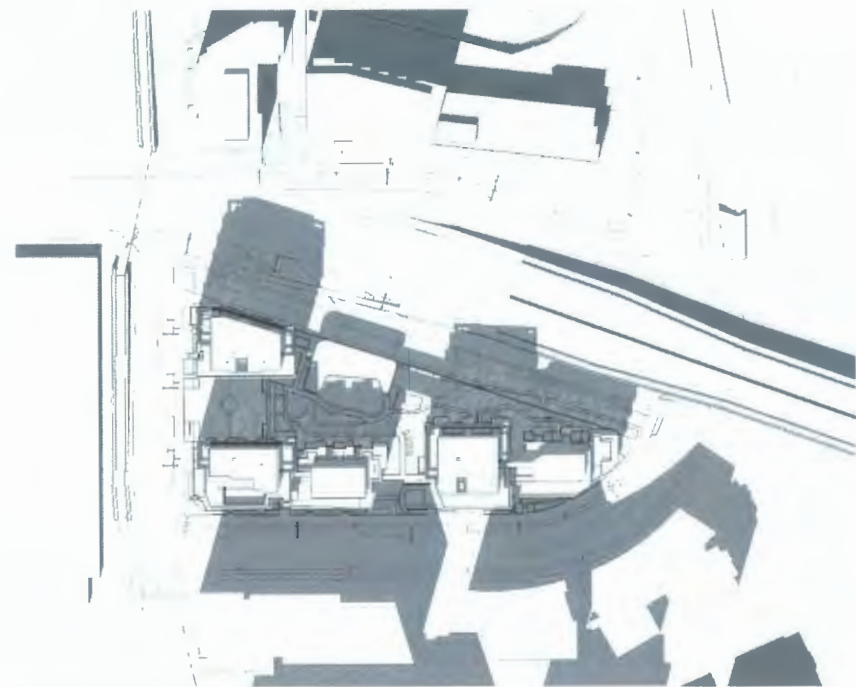
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**DP1.8**

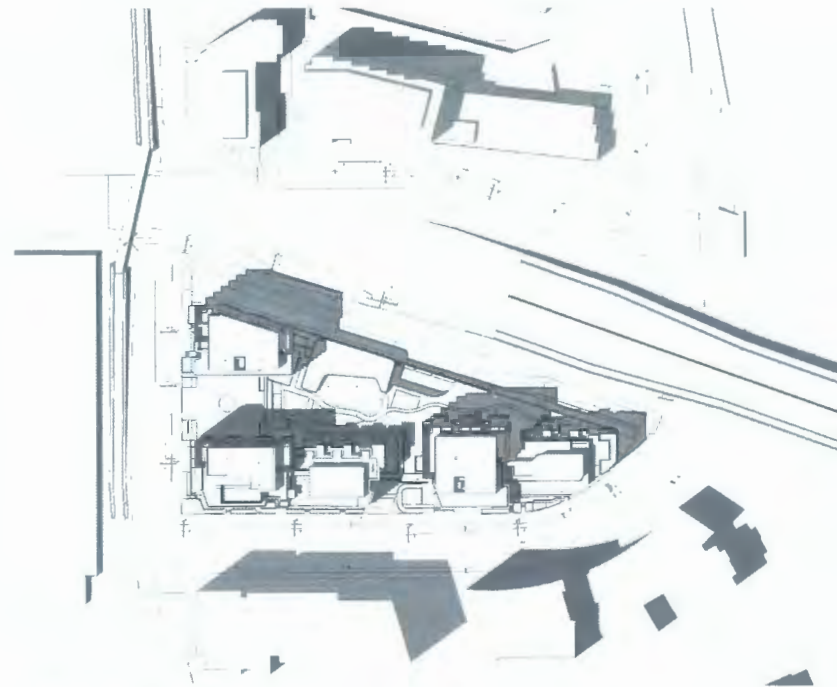
BC100179 - 2004354

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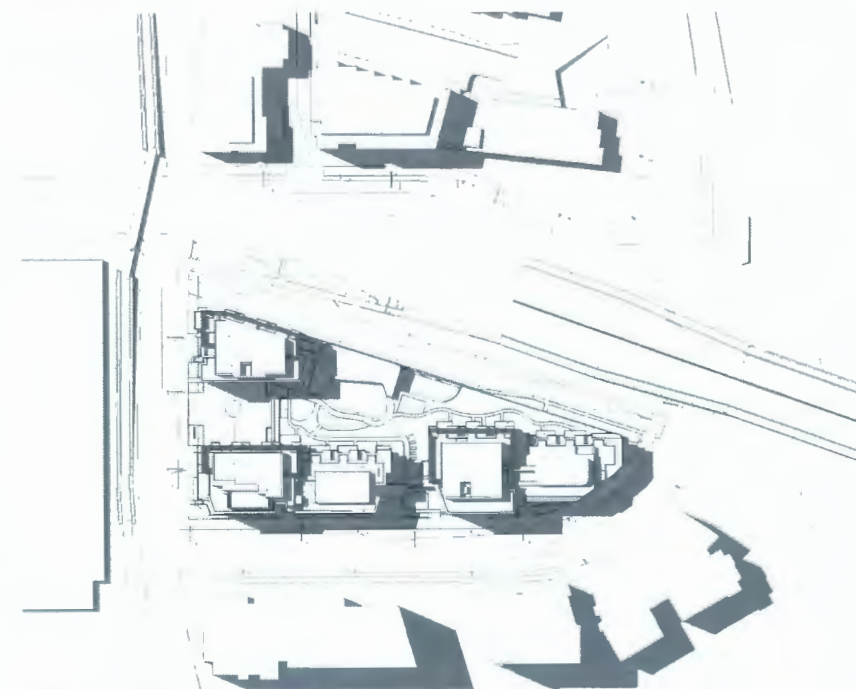




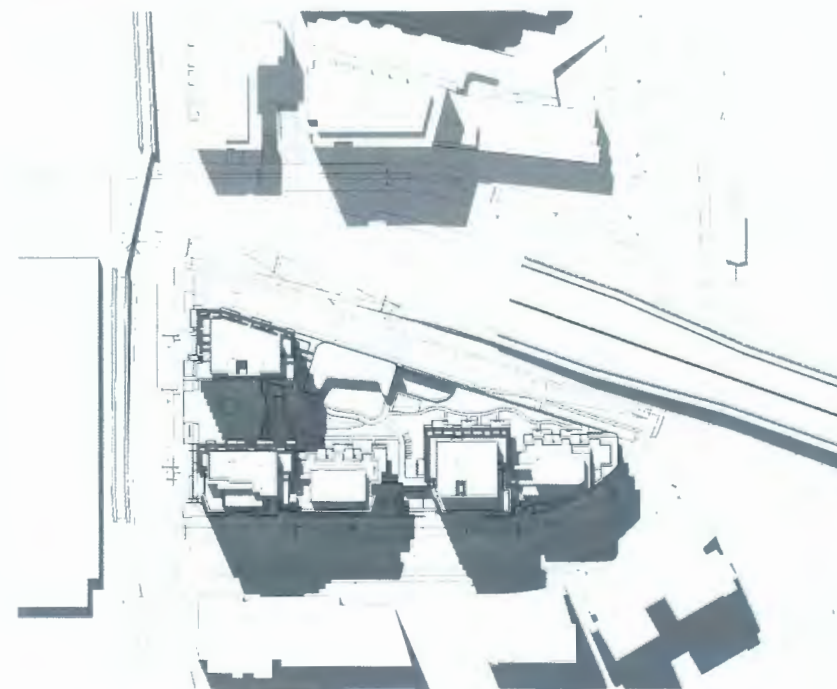
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SUMMER SOLSTICE - 12PM  
SCALE: 1:1000



SUMMER SOLSTICE - 2PM  
SCALE: 1:1000



SUMMER SOLSTICE - 4PM  
SCALE: 1:1000

**DIALOG**

**PFS STUDIO**  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
DEVELOPMENTS

ISSUED FOR:

- |   |            |                                |
|---|------------|--------------------------------|
| 1 | 2023-05-09 | DEVELOPMENT PERMIT APPLICATION |
| 2 | 2023-02-09 | DP RESPONSE #1                 |
| 3 | 2023-08-09 | DP RESPONSE #2                 |
| 4 | 2023-08-19 | DP RESPONSE #3                 |
| 5 | 2023-10-13 | DP RESPONSE #4                 |

October 23, 2023  
DP 22-013200  
Reference Plan

METRIC

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V6J 1R3  
Tel: 604.736.6502 Fax:

SEAL



6011 RIVER ROAD  
RIVER GREEN - LOT 1

SHADOW STUDIES -  
SOLSTICE

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PLOT DATE: 15/10/2023 3:34:45 PM

**DP1.9**

BC100179 - 2004354

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