



**To:** Development Permit Panel

**Date:** December 14, 2020

**From:** Wayne Craig  
Director, Development

**File:** DP 20-896138

**Re:** **Application by CLO Ventures K2 Ltd. for a Development Permit at 9571, 9591, 9611, 9671 Steveston Highway and 10831 Southdale Road**

---

**Staff Recommendation**

That a Development Permit be issued which would:

1. Permit the construction of 20 townhouse units at 9571, 9591, 9611, 9671 Steveston Highway and 10831 Southdale Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum exterior side yard setback to Steveston Highway from 6.0 m to 4.5 m.

A handwritten signature in black ink that reads "Wayne Craig".

Wayne Craig  
Director, Development  
(604-247-4625)

WC:sds  
Att. 3

## Staff Report

### Origin

CLO Ventures K2 Ltd. (Directors: Xiangren Wu, Shengli Ling & Yan Li) has applied to the City of Richmond for permission to develop 20 townhouse units at 9571, 9591, 9611, 9671 Steveston Highway and 10831 Southdale Road on a site zoned “Low Density Townhouses (RTL4)”. Three of the townhouse units are proposed to contain a secondary suite. The site currently contains five single-family dwellings that will be demolished at a future development stage.

The subject site is being rezoned from the “Single Detached (RS1/E)” zone to the “Low Density Townhouses (RTL4)” zone for this project under Bylaw 10082 (RZ 17-763712), which received Third Reading following the Public Hearing on October 21, 2019.

A Servicing Agreement (SA 20-896440) is required as a condition of Building Permit issuance and includes, but is not limited to, the following improvements:

- New concrete sidewalk and grassed and treed boulevard along Steveston Highway and Southdale Road frontages.
- Storm sewer and sanitary sewer upgrades along Steveston Highway.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

- To the north, single-family dwellings on lots zoned “Single Detached (RS1/E)” fronting Mortfield Court and Southdale Road.
- To the east, across Southdale Road, single-family dwellings on lots zoned “Compact Single Detached (RC1)” fronting Steveston Highway.
- To the south, across Steveston Highway, farm businesses on lots zoned “Agriculture (AG1)” located in the Agricultural Land Reserve (ALR).
- To the west, single-family dwellings on lots zoned “Single Detached (RS1/E)” fronting Steveston Highway.

### Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on October 21, 2019. At the Public Hearing, no concerns about rezoning the property were expressed, and the rezoning bylaw received second and third readings.

Informational signage has been installed on the property and no correspondence has been received regarding the proposal.

## Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Low Density Townhouses (RTL4)” zone except for the zoning variances noted below.

## Zoning Compliance/Variances (staff comments in ***bold italics***)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum exterior side yard setback to Steveston Highway from 6.0 m to 4.5 m.

- ***The proposed variance is consistent with the Arterial Road Guidelines for Townhouses in the OCP. In this context, the exterior side yard functions as a front yard along Steveston Highway. The Arterial Road Guidelines are supportive of reduced front yard setbacks, provided an appropriate interface with neighbouring properties is provided. The reduced setback along Steveston Highway allows for an increased setback along the north property line, adjacent to existing single-family development.***
- ***The proposed 6.0 m setback to both the ground and second floors of the rear units provides an improved rear yard interface with the existing single-family dwellings to the north and enhances solar access to the rear yards. In addition, the increased rear yard setback allows for the retention of the significant Sycamore Maple tree located at the rear of the property.***
- ***The location of the existing curb along Steveston Highway will not change as there is no road widening required. New sidewalk and boulevard will be provided between the existing curb and the property line. The distance between the proposed building face and the back of curb on Steveston Highway would be approximately 8.5 m.***
- ***The applicant has also provided an acoustical report indicating the proposal will meet CMHC interior noise standards as per the City’s OCP, including the units fronting Steveston Highway.***
- ***The variance was identified at the rezoning stage and no concerns were identified by the public at that time.***

## Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the proposal on August 19, 2020. A copy of the relevant excerpt from the Advisory Design Panel Minutes from August 19, 2020 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘***bold italics***’.

## Analysis

### ***Conditions of Adjacency***

- The building height of the rear units is 8.8 m (two storeys) in response to the single-family adjacency to the north, consistent with the Arterial Road Land Use Policy. In addition, a 6.0 m setback is provided to both the ground and second floors of the rear units to provide an

improved interface and increased sun exposure. Four duplex buildings are provided along the rear to break up the massing.

- In order to address the existing single-family development to the west, the three-storey units proposed along Steveston Highway are reduced to two storeys within 7.5 m of the west property line and the corner of Southdale Road and Steveston Highway to provide an adequate transition.
- The applicant has provided a shadow study to demonstrate how the proposed height and setbacks address potential shadowing over adjacent properties to the north and west.
- Windows have been located carefully to avoid adjacent overlook and privacy concerns. All units along Steveston Highway include balconies facing the internal driveway.
- Proposed grade along the north property line is sloped to meet existing grade to provide a smooth transition between the subject site and the adjacent single-family development to the north. Retaining walls are proposed at the rear of Units #18 & #19 near the significant tree to be retained in order to provide usable yard space for the units. Retaining walls are provided along a portion of the east property line to address the change in grade from Southdale Road to the flood construction level. The height of the retaining walls along Southdale Road will not exceed 0.5 m in height, consistent with DP Guidelines, and are also setback from the property line with landscaping along Southdale Road to screen the retaining wall from the street.
- Perimeter drainage will be provided as required through the Building Permit application to ensure storm water is managed and addressed through the development and will not impact neighbouring properties.
- A statutory right-of-way (SRW) allowing access to/from the adjacent future development to the west through the subject site (over the entire driveway and internal drive aisle) has been secured at rezoning. The Landscape Plans include signage to inform future residents that the drive aisle may provide access to future development to the west.

### ***Urban Design and Site Planning***

- Vehicular access to the proposed development is to be from Steveston Highway through a new driveway in the middle of the site. The driveway will be designed to restrict vehicle movements to right-in/right-out only in order to mitigate traffic impact on Steveston Highway.
- The layout of the townhouse buildings is oriented around an east-west internal manoeuvring drive-aisle, providing access to the unit garages.
- Units along Steveston Highway and Southdale Road will have direct pedestrian access from the street and the units along the rear will have access from the internal drive-aisle.
- Three of the units (Unit #1, 12 & 18) will contain ground-level secondary suites (one studio, two one-bedroom) from 25.1 m<sup>2</sup> (270 ft<sup>2</sup>) to 27.5 m<sup>2</sup> (296 ft<sup>2</sup>) in floor area, which complies with the minimum Zoning Bylaw required size (25.0 m<sup>2</sup>), which was secured at rezoning. No additional parking spaces are required for the secondary suites as the units have parking spaces that are provided in a side-by-side arrangement, consistent with Zoning Bylaw requirements.
- A total of four visitor parking spaces will be provided, including an accessible parking space. The total number of parking spaces proposed is in compliance with the minimum Zoning Bylaw requirement.

- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with Zoning Bylaw requirements.
- The shared outdoor amenity area is located around the significant tree to be retained and the size exceeds Official Community Plan (OCP) requirements.
- Cash-in-lieu of indoor amenity space was secured through rezoning (\$33,600) consistent with OCP Policy.
- The proposal will utilize door-to-door pickup and has accommodated space for garbage and recycling containers within the individual garages and in front of the units without obstructing the drive-aisle. The City's Environmental Programs Department reviewed the arrangement and has no concerns.
- The mail kiosk is located in an accessible area adjacent to the shared outdoor amenity area and has been incorporated into the design of the buildings to minimize visual impact.

### ***Architectural Form and Character***

- The proposed building form contains defined entry porches, gable roofs, and balconies to provide articulation to the building façade and establish a residential scale and rhythm.
- The street fronting units will have individual canopies with weather protection over the front entrances. A pedestrian scale is generally achieved along the public streets and internal drive-aisle through the inclusion of variation in building form, projections, recesses, materials/colours and landscape features.
- The main building materials include hardie siding, brick cladding, and wood trim, along with a colour scheme of brown, beige, grey and white, consistent with the proposed traditional Tudor architectural style and character of the surrounding single-family development.
- The combination of building form, materials and colours individualizes each unit and provides each building a distinct top, middle and base.
- The roof pitch is reduced between the front and rear units in response to the single-family adjacency and to provide an adequate transition.

### ***Landscape Design and Open Space Design***

- Tree preservation was reviewed at rezoning stage where 14 bylaw-sized on-site trees were identified for removal. Based on a 2:1 tree replacement ratio stated in the OCP, 28 replacement trees on-site are required. The applicant is proposing to plant 36 replacement trees as per the size requirements based on the City's Tree Protection Bylaw.
- One significant Sycamore Maple tree (tag# 346) (130 cm dbh) located at the rear of the property was identified for protection. A contract with a Certified Arborist, including monitoring, and a tree survival security of \$10,000 was secured through rezoning for the retention of this tree.
- The proposal includes a 4.0 m wide landscaped buffer along the south property line as the site is located across lands located in the ALR. The proposed landscaping was designed with consideration of the Ministry of Agriculture's guidelines for edge planning, including planting of native species which will not harbour insects or diseases harmful to nearby farm crops and filter any dust from the agricultural area.
- The proposal provides a pedestrian-oriented streetscape fronting Steveston Highway and Southdale Road with a landscaped edge treatment, including trees, lawn, patio area, low transparent fencing, and a gate to each individual unit.

- Private outdoor space is provided for all units, typically with a patio, lawn area and landscaping. A variety of trees, shrubs and ground covers have been selected to ensure the landscape treatment remains interesting throughout the year.
- Pockets of landscaping will be provided along the drive-aisle between entry doors/garages to soften the internal streetscape. Pedestrian access, shrubs, a trellis, and community gardens will be provided at the east end of the internal drive aisle as an additional shared outdoor amenity for residents and to provide visual interest at the terminus along Southdale Road.
- An irrigation system will be provided for proposed landscaping on-site.
- A children's play area is proposed in the shared outdoor amenity area, and a variety of play equipment has been chosen to provide different play opportunities (i.e., climbing/jumping, social, imagination, balance, motor skills) that can be used by different age groups and for multiple purposes. Seating is provided nearby for caregivers. The proposed shared outdoor amenity area exceeds the area identified in the OCP guidelines.
- The vehicle entrance, large portions of the internal drive-aisle, and surface parking will be treated with permeable pavers for better water infiltration and variety in paving surfaces.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security in the amount of \$185,613.25 in association with the Development Permit.

#### ***Crime Prevention Through Environmental Design***

- Windows and balconies are located to increase the visual presence and surveillance along Steveston Highway and Southdale Road, the amenity area, as well as the internal drive aisle.
- All entrances are visible and overlooked by pedestrians or neighbour's windows.
- Low permeable fencing and low landscaping are provided to maximize clear unobstructed views and casual surveillance opportunities.
- Landscaping and fencing is provided along the street edge to distinguish the public realm and private space.
- Exterior lighting fixtures will be provided along the internal drive-aisle to provide adequate illumination for outdoor security.

#### ***Sustainability***

- The applicant has confirmed that the proposed development will meet or exceed Step 3 of the BC Energy Step Code for Part 9 Buildings.
- An air source heat pump system will be used for this development. The units are screened by a low transparent fence. The applicant has also provided an acoustical report indicating the proposed units will comply with the City's Noise Bylaw.
- Level 2 EV charging is proposed in each garage consistent with Zoning Bylaw requirements.
- The architect advised that the following design/features are incorporated into the proposal:
  - Energy efficient windows to alleviate heating and cooling energy consumption.
  - The use of low-flow water fixtures and energy efficient lighting and appliances.
  - Durable and long-lasting materials that can reduce building maintenance and reduce load on Municipal sewers.
  - Permeable ground cover and planting to absorb rainwater runoff.
  - Interior paint with low VOC content.

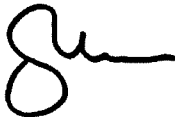
***Accessible Housing***

- The proposed development includes two convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require the installation of a vertical lift in the stacked storage place of Unit #19 & 20.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

**Conclusions**

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 3, which has been agreed to by the applicant (signed concurrence on file).



Steven De Sousa  
Planner 1  
(604-204-8529)

SDS:blg

**Attachments**

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Meeting Minutes of the ADP (August 19, 2020)

Attachment 3: Development Permit Considerations



**DP 20-896138**

**Attachment 1**

Address: 9571, 9591, 9611, 9671 Steveston Highway & 10831 Southdale Road

Applicant: CLO Ventures K2 Ltd.

Owner: CLO Ventures K2 Ltd.

Planning Area(s): Broadmoor

Floor Area Gross: 3,106.4 m<sup>2</sup> (33,437 ft<sup>2</sup>)

Floor Area

Net:

2,127.0 m<sup>2</sup> (22,895 ft<sup>2</sup>)

	Existing	Proposed
<b>Site Area:</b>	3,554.2 m <sup>2</sup> (38,257 ft <sup>2</sup> )	3,546.2 m <sup>2</sup> (38,171 ft <sup>2</sup> ) Corner cut: 8 m <sup>2</sup> (86 ft <sup>2</sup> )
<b>Land Uses:</b>	Single-family residential	Multiple-family residential
<b>OCP Designation:</b>	Neighbourhood Residential (NRES)	No change
<b>Zoning:</b>	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
<b>Number of Units:</b>	5	20

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6	0.6	None permitted
Lot Coverage – Buildings:	Max. 40%	37%	None
Lot Coverage – Non-Porous:	Max. 65%	55%	None
Lot Coverage – Live Landscaping:	Min. 25%	30%	None
Setback – Front Yard (East):	Min. 6.0 m	6.0 m	None
Setback – Exterior Side Yard (South):	Min. 6.0 m	4.5 m	<b>Variance requested</b>
Setback – Interior Side Yard (North):	Min. 3.0 m	6.0 m	None
Setback – Rear Yard (West):	Min. 3.0 m	3.0 m	None
Height:	Max. 12.0 m (3 storeys)	Front buildings: 11.9 m (3 storeys) Rear buildings: 8.8 m (2 storeys)	None
Lot Size:	N/A	3,546.2 m <sup>2</sup>	None
Lot Width:	Min. 50.0 m	96.0 m	None
Lot Depth:	Min. 35.0 m	36.6 m	None
Off-street Parking Spaces – Regular (R)/Visitor (V):	Min. 2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	None



Off-street Parking Spaces – Accessible:	Min. 2% = 1	1	None
Total off-street Spaces:	Min. 40 (R) and 4 (V)	40 (R) and 4 (V)	None
Tandem Parking Spaces	Permitted – Max. 50%	0	None
Small Car Spaces	Max. 50%	50%	None
Bicycle Parking – Class 1:	Min. 1.25 per unit = 25	29	None
Bicycle Parking – Class 2:	Min. 0.2 per unit = 4	4	None
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or cash-in-lieu	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 6.0 m <sup>2</sup> per unit = 120 m <sup>2</sup>	187 m <sup>2</sup>	None

**Excerpt from the Minutes of the  
Advisory Design Panel (ADP) Meeting**

**Wednesday, August 19, 2020 – 4:00 p.m.  
Remote (Webex) Meeting**

**DP 20-896138 – 20-UNIT ARTERIAL ROAD TOWNHOUSE DEVELOPMENT**

ARCHITECT: Imperial Architecture

LANDSCAPE ARCHITECT: M2 Landscape Architecture

PROPERTY LOCATION: 10831 Southdale Road, 9671, 9611, 9591 and 9571 Steveston Highway

**Applicant's Presentation**

Jiang Zhu, Imperial Architecture, and Meredith Mitchell, M2 Landscape Architecture, presented the project and answered queries from the Panel.

**Panel Discussion**

*Comments from Panel members were as follows:*

- appreciate the comprehensive accessibility strategy of the project which includes the provision of two convertible units; also appreciate the provision of space for future installation of vertical lifts in the convertible units;

*Noted.*

- doors for the vertical lifts should open outward and the second floor exit should go out into the hallway instead of into the bedroom;

*The door and location for future lift space is for current function such as walk in closet and den before “converting it to the lift”. At the time of lift is installed, the doors and part of the wall have to be removed to allow installation of the lift cabin. The door will be installed at the time as part of the lift as per manufacturer’s spec.*

- pocket doors are preferable for all washrooms, closets and powder rooms in the convertible units;

*Doors for washrooms and closets were revised to pocket doors whenever possible.*

- sliding doors for the ground floor patios in the convertible units are more convenient for people with disabilities;

*Sliding doors are provided in convertible units to access patios.*

- the project meets the Energy Step Code 3 requirements as indicated in the comprehensive proposal package provided by the applicant which includes energy modeling guidelines; the project is on the right track from a sustainability perspective;

*Noted.*

- the proposed architectural style and materials for the project are coherent; appreciate the site context information provided and how the project relates to its site context;

*Noted.*

- not sure if the proposed reduction of the exterior side yard setback along Steveston Highway from 6.0 meters to 4.5 meters (to provide a 6-meter rear yard setback to the ground and second floors of the rear units) is appropriate considering that Steveston Highway is a busy street;

***The proposal is consistent with recommendation/requirements in City's OCP arterial road townhouse design guidelines.***

- choice of landscape palette for softscape and hardscape is appropriate;

*Noted.*

- appreciate the size of the shared outdoor amenity area which exceeds the minimum requirement and takes advantage of the existing significant Sycamore Maple tree;

*Noted.*

- concerned about the accessibility of the proposed granular material around the children's play area within the tree protection zone; consider an alternative surface material for the children's play area;

***Mulch has been proposed in the children's play area within the tree protection zone to avoid any excavation.***

- the proposal package provided by the applicant is clear and easy to follow;

*Noted.*

- not concerned with the proposed exterior side yard setback variance along Steveston Highway from 6.0 meters to 4.5 meters;

*Noted.*

- massing of Buildings A, B and F works well; however, the massing of Buildings C, D, and E is not successful as they appear too small and close to each other; consider combining Buildings D and E to create a bigger massing and provide a larger gap between Buildings C and D;

***Two storey massing and duplex building form are required by the City's OCP arterial road townhouse design guidelines.***

- appreciate the choice of materials and colours for Building B; consider the same material and colour scheme for Building A as they are similar buildings;

***Revised design to provide same color pallet for both Buildings A and B.***

- appreciate the massing on the edges of the subject site which appropriately addresses the project's predominantly single-family neighbourhood; support the stepping down of the front end unit adjacent to the single-family development to 2 ½ storeys and providing two storeys along the rear;

***Noted.***

- articulation of the buildings is interesting; appreciate the different sloped roofs which break the monotony of the roof forms;

***Noted.***

- appreciate the colour scheme; however, there could be too many colours;

***Revised design to provide same color pallet for both Buildings A and B.***

- the project is cozy, well articulated, and overall massing is successful;

***Noted.***

- like the scale and character of the project which are compatible with the neighbourhood; not entirely different from recent single-family developments to the east along Steveston Highway;

***Noted.***

- townhouse units which front Steveston Highway are too similar; consider differentiating the two middle units either in Building A or B in terms of colour or depth;

***Revised design provides different color pallet for central units and end units to differentiate them per this comment.***

- investigate opportunities for an alternative landscape treatment at the end of the internal drive aisle along Southdale Road to create an additional shared outdoor amenity for residents, e.g. seating or barbeque area; would create diversity in programming considering that it is a pedestrian gateway between the interior of the development and Southdale Road;

***A secondary outdoor amenity area was provided at east end of the drive aisle per this comment. A community veggie garden has been proposed in the shared outdoor amenity area to foster a sense of community and enjoy the outdoor area.***

- support the proposed Agricultural Land Area (ALR) landscaped buffer along Steveston Highway; and

***Noted.***

- appreciate the project; however, concerned about the location of vehicle access on Steveston Highway as it is too close to the corner and the existing commercial development across Southdale Road; consider relocating the vehicle access to Southdale Road due to safety concerns.

*(Steven De Sousa, Planner 1, clarified that the development across Southdale Road opposite the subject site is a single-family dwelling with lane access and a concrete median barrier will be installed along Steveston Highway to mitigate motorists making left turns to the driveway of the subject site. Subsequently, Charan Sethi withdrew his comment regarding his concern about the location of vehicle access on Steveston Highway and expressed his support for the project.)*

***Noted.***

### **Panel Decision**

It was moved and seconded

***That DP 20-896138 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.***

**CARRIED**



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 9571, 9591, 9611, 9671 Steveston Hwy & 10831 Southdale Rd File No.: DP 20-896138

Prior to forwarding the application to Council for approval, the developer is required to complete the following:

- 1. Final Adoption of Zoning Amendment Bylaw 10082.
2. Receipt of a Letter-of-Credit for landscaping in the amount of \$185,613.25. The letter-of-credit will not be returned until the Letter of Assurance, confirming the landscaping is installed as per the Development Permit, prepared by the Landscape Architect, is reviewed by staff.

Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin TREE-03, and must remain in place until construction and landscaping on-site is completed.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Incorporation of energy efficiency, CPTED, sustainability and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. Enter into a Servicing Agreement\* for the design and construction of required site servicing and frontage improvements. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to, the following:

Water Works:

- Using the OCP Model, there is 314.0 L/s of water available at a 20 psi residual at the Southdale Rd frontage, and 1,048 L/s of water available at 20 psi residual at the Steveston Hwy frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
The Developer is required to:
Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
At the Developers cost, the City is to:
Cut and cap at main, the existing water service connections at the Steveston Hwy and Southdale Rd frontages.
Install a new fire hydrant along the Steveston Highway frontage.
Relocate to the ultimate location the existing fire hydrant on the Southdale Road frontage as required to facilitate the required curb, sidewalk, and road widening. Fire Department approval is required for all fire hydrant relocations.
Install a new service connection off of the existing 300mm PVC watermain on the south side of Steveston Hwy. Meter to be located onsite (e.g. in a mechanical room).

Storm Sewer Works:

- The Developer is required to:

Initial: \_\_\_\_\_

- Cut and cap, at main, all existing storm service connections serving the development site and remove inspection chambers.
- Upgrade approximately 140 m of existing 200 mm & 450 mm storm sewer to 600mm along the entire Steveston Hwy frontage, from existing manhole STMH2786 to existing manhole STMH134896, complete with new manhole at the tie-in point to the existing 200 mm storm sewer to the east.
- Remove the existing AC storm sewer to the extent of the storm sewer upgrades and legally dispose offsite, and reconnect all existing catch basins and service connections to the new 600 mm storm sewer.
- Install a new storm service connection, complete with inspection chamber, and tie-in to the proposed 600 mm storm sewer.
- Remove the existing 450 mm storm sewer and infill the existing ditch along the Southdale Road frontage and replace with a new 600 mm storm sewer, complete with a new manhole at the upstream tie-in point.
- Review catch basin spacing along Steveston Highway and Southdale Road, and add catch basins as required to meet City spacing requirements.
- At the Developers cost, the City is to:
  - Perform all tie-ins for the proposed works to existing City infrastructure.

*Sanitary Sewer Works:*

- The Developer is required to:
  - Cut and cap, at inspection chamber, all existing service connections serving the development site.
  - Upgrade approximately 55 m of existing 150 mm sanitary main to 200 mm along the north property line, from the west property line of 9571 Steveston Highway to existing manhole SMH2069. A new manhole will be required at the tie-in point to the west.
  - Install a new sanitary service connection, complete with inspection chamber, off of the proposed 200 mm sanitary main. A 1.5 x 3.0 m statutory right-of-way from the edge of the existing sanitary right-of-way along the north property line may be required for the inspection chamber, to be determined at the servicing agreement stage.
  - Due to the existing tree to be protected near existing manhole SMH2069, the manhole will not be required to be replaced. Depending on the condition of the manhole, restoration may be required, to the satisfaction of the City. The developer's Civil Engineer shall submit, within the first servicing agreement submission, a signed & sealed inspection report of the manhole complete with reparation recommendations. These recommendations shall be included within the servicing agreement scope.
  - Not start onsite excavation or foundation construction until completion of rear-yard sanitary works by City crews.
  - Widen 43.0 m (measured from the east property line) of the existing sanitary right-of-way along the north property line to 3.0 m deep (measured from the north property line of 9671 Steveston Highway), at no cost to the City.
- At the Developers cost, the City is to:
  - Perform all tie-ins for the proposed works to existing City infrastructure.

*Frontage Improvements:*

- Transportation requirements include, but are not limited to, the following
  - Vehicle access to the development is to be provided by a single driveway located on Steveston Highway.
  - The driveway width at the property line is to be designed to restrict vehicle movement to right-in/right-out only. A concrete median will be required in the driveway letdown to restrict vehicles from making a left turn into and out of the site. The taper from the wider driveway at the property line to the on-site drive aisle is to be a maximum of 5:1. Geometry wheel path analysis using AutoTurn software to illustrate SU9 trucks turning into and out of the site will be required to review the design of the driveway to the site.
  - Steveston Highway: design and construction of a 1.5 m wide concrete sidewalk along the south property line and the remaining space to the existing curb to be landscaped/treed boulevard.
  - Southdale Road: design and construction of road widening to 5.6 m measured from the existing centreline of the road, new curb and gutter, a 1.5 m concrete sidewalk along the east property line and the remaining space to the new curb to be landscaped/treed boulevard. Curb return at southeast corner to have a 9 m radius.

- There may be hydro/TELUS pole relocations required to maintain a free and clear path of 1.5 m for the new concrete sidewalk. Applicant to engage the appropriate third party utility companies early on in the process to assess hydro implications.
- The developer is responsible for the removal of the existing driveway let-downs and the replacement with barrier curb/gutter, grass/treed boulevard and concrete sidewalk per standards described above.
- The Developer is required to:
  - Coordinate with BC Hydro, Telus and other private communication service providers:
    - To underground overhead service lines.
    - To underground or relocate outside of the proposed sidewalk the existing overhead poles along the Steveston Highway frontage. This may require a BC Hydro right-of-way on the development site for the relocated poles.
    - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
    - To locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown in the functional plan and registered prior to servicing agreement design approval:
      - BC Hydro PMT – 4mW X 5m (deep)
      - BC Hydro LPT – 3.5mW X 3.5m (deep)
      - Street light kiosk – 1.5mW X 1.5m (deep)
      - Traffic signal kiosk – 2mW X 1.5m (deep)
      - Traffic signal UPS – 1mW X 1m (deep)
      - Shaw cable kiosk – 1mW X 1m (deep) show possible location in functional plan
      - Telus FDH cabinet-1.1 m W X 1 m (deep) show possible location in functional plan
  - Complete other frontage improvements as per Transportation's requirements.

*General Items:*

- a. The Developer is required to:
  - Not encroach into the sanitary statutory right-of-way along the north property line with proposed trees, retaining walls, fences, or other obstructions.
  - Provide, prior to soil densification or installation of pre-load, a geotechnical assessment of pre-load and soil preparation impacts on the existing utilities fronting the development site, including but not limited to 150 mm FRP sanitary main along the north property line, and provide mitigation recommendations.
  - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, dewatering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
5. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
6. If applicable, obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.

Initial: \_\_\_\_\_



- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

---

Signed

---

Date



# City of Richmond

## Development Permit

No. DP 20-896138

To the Holder: CLO VENTURES K2 LTD.

Property Address: 9571, 9591, 9611, 9671 STEVESTON HIGHWAY AND  
10831 SOUTHDALE ROAD

Address: C/O 2959 KINGSWAY  
VANCOUVER, BC V5R 5J4

---

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum exterior side yard setback to Steveston Highway from 6.0 m to 4.5 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #3 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$185,613.25 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

# Development Permit

No. DP 20-896138

To the Holder: CLO VENTURES K2 LTD.

Property Address: 9571, 9591, 9611, 9671 STEVESTON HIGHWAY AND  
10831 SOUTHDALE ROAD

Address: C/O 2959 KINGSWAY  
VANCOUVER, BC V5R 5J4

---

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

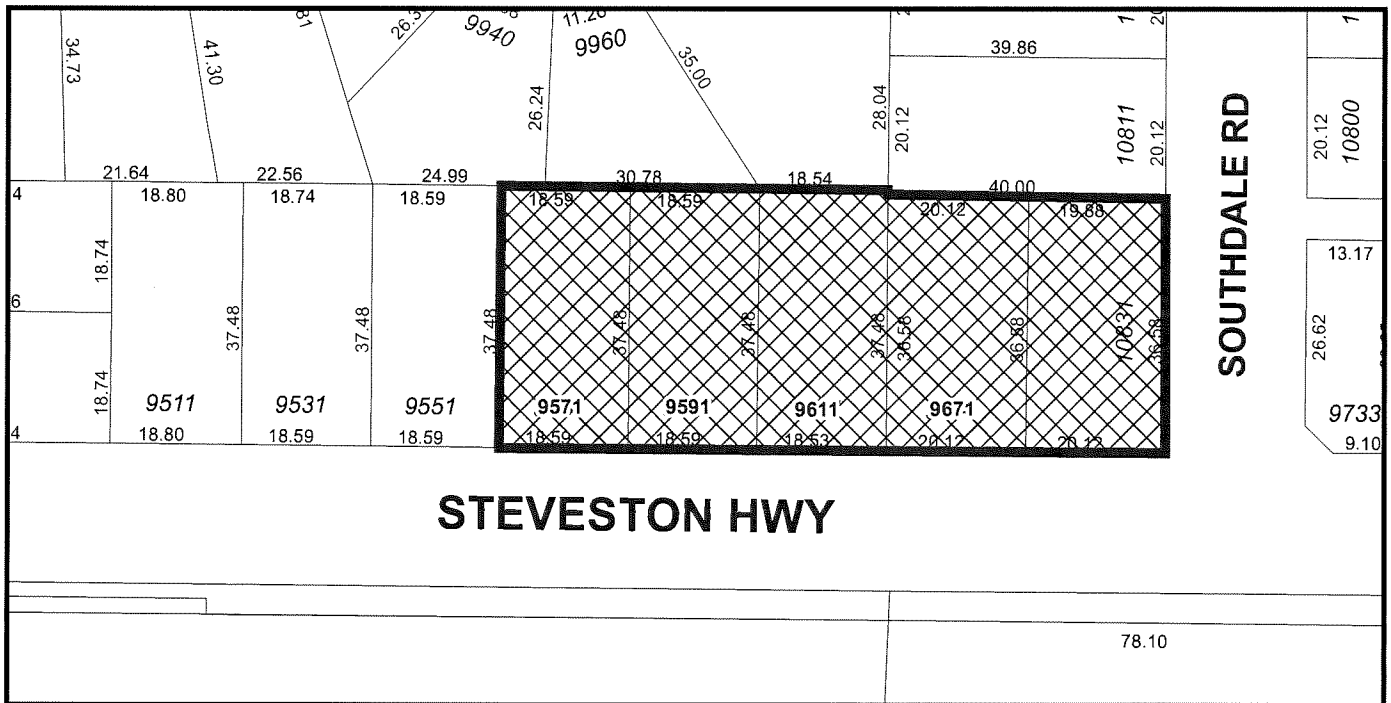
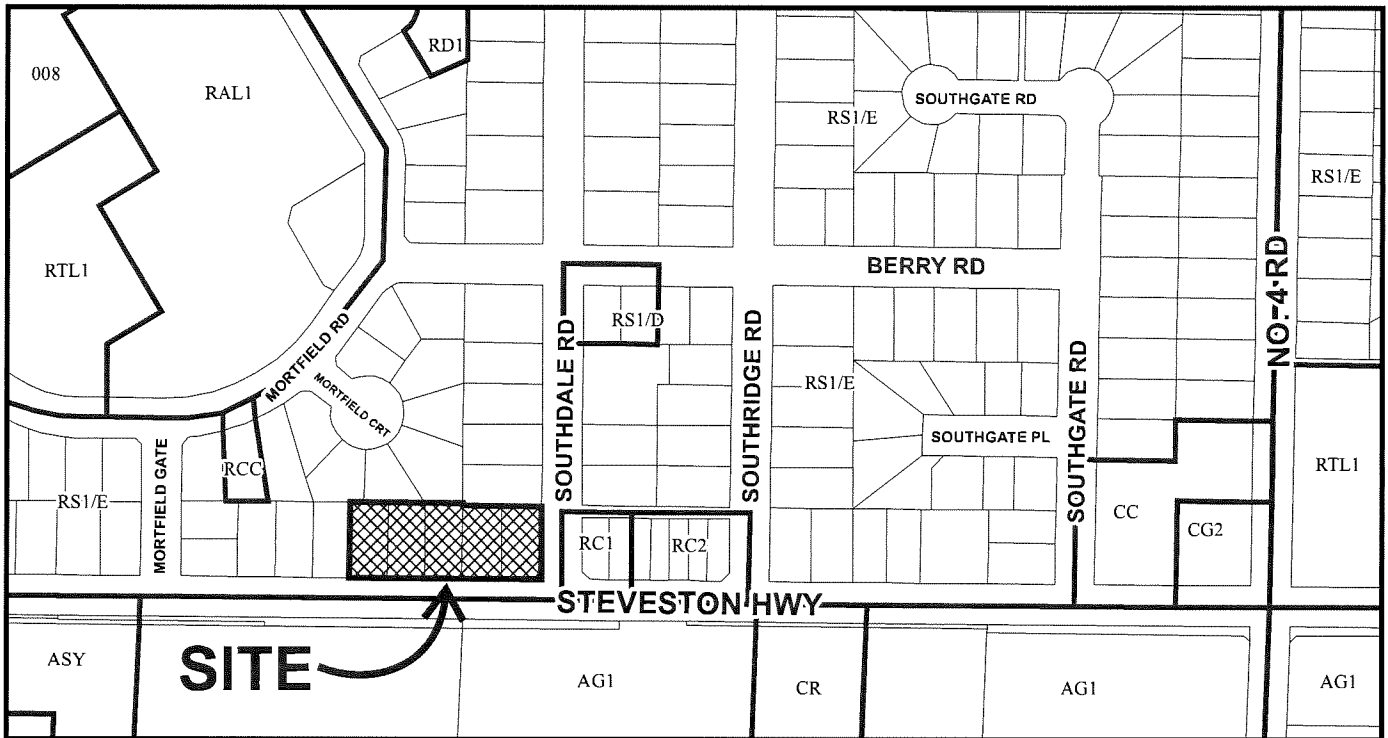
DELIVERED THIS DAY OF , .

---

MAYOR



City of  
Richmond

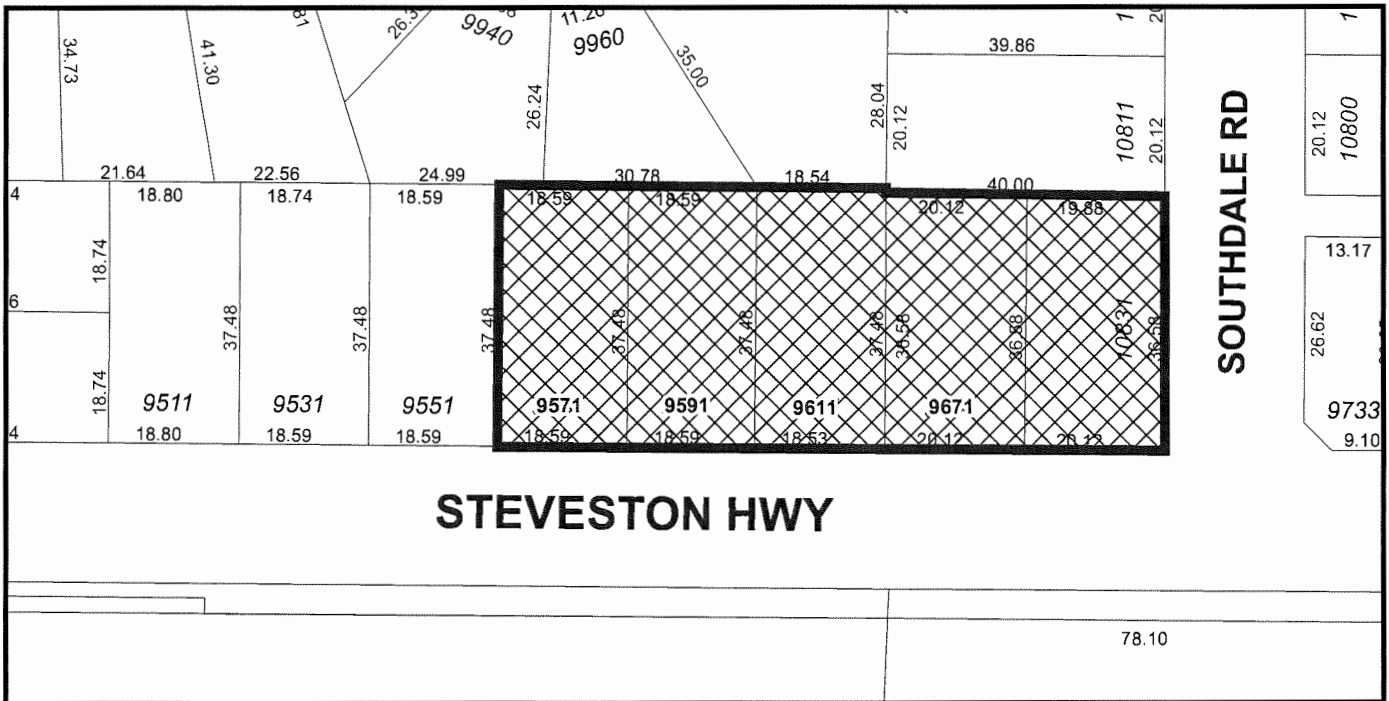
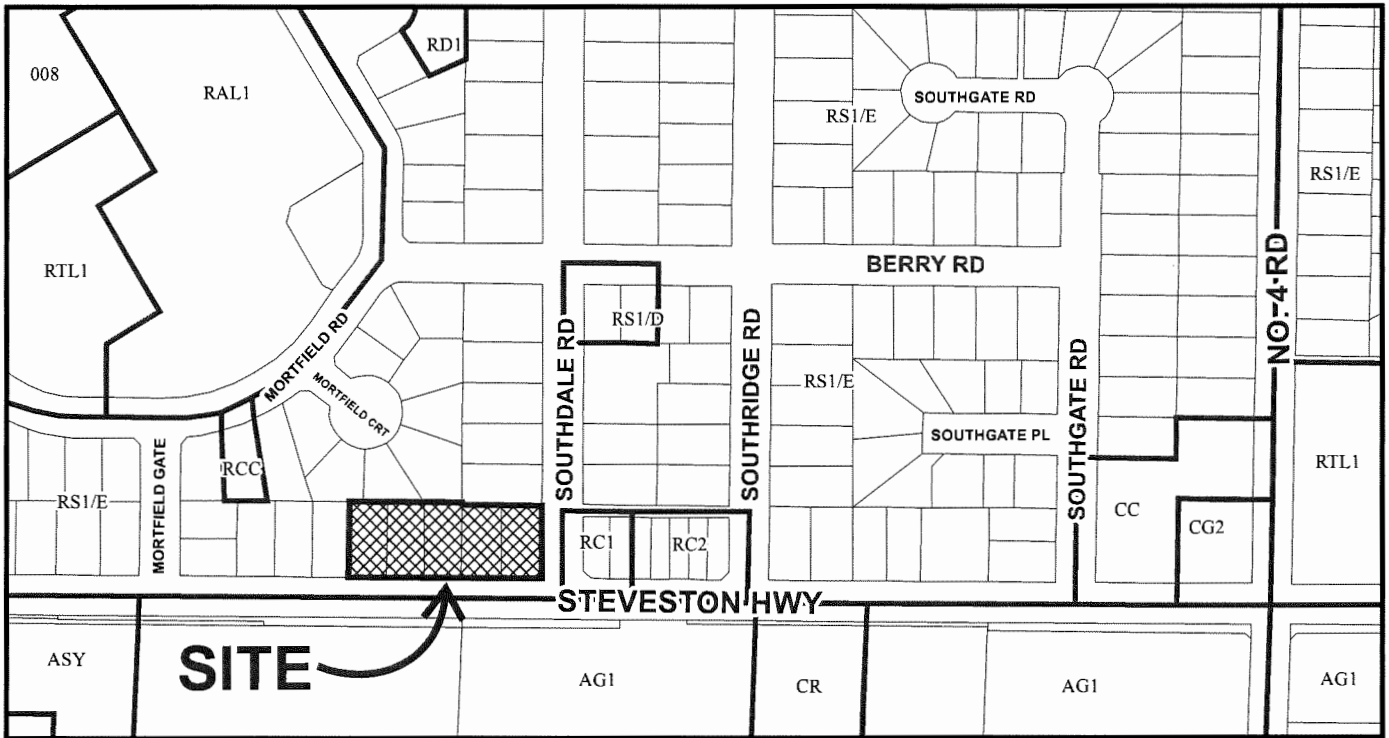


DP 20-896138  
SCHEDULE "A"

Original Date: 03/24/20  
Revision Date:  
Note: Dimensions are in METRES



# City of Richmond



## DP 20-896138 SCHEDULE "A"

Original Date: 03/24/20

Revision Date:

Note: Dimensions are in METRES

**VARIANCE REQUIRED:**

- EXTERIOR SIDE YARD (SOUTH): REDUCE REQUIRED SETBACK FROM 6.0M REQUIRED TO 4.56M PROVIDED PER RECOMMENDATION FROM OCP ARTERIAL ROAD TOWNHOUSE DESIGN GUIDELINE



A STATUARY RIGHT-OF-WAY OVER THE ENTIRE VEHICLE DRIVE AISLE IS TO BE REGISTERED FOR PUBLIC RIGHT-OF-PASSAGE

INTERNAL DRIVE AISLE TO BE ENGINEERED TO SUPPORT FIRE TRUCK @ 80,000 LBS

- 120L GARBAGE CART 0.95M X 0.55M X 0.48M
- 46.5L FOOD SCRAPS CART 0.69M X 0.39M X 0.48M
- BLUE CONTAINER BOX 0.77M X 0.38M X 0.46M
- GREY GLASS CONTAINER BOX 0.59M X 0.36M X 0.27M
- YELLOW PAPER BAG CART 0.68M X 0.46M

- GENERAL NOTES:**
- AGING IN PLACE FEATURES SUCH AS STARWELL, HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHUB AND SHOWER AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
  - UNITS 19 & 20 ARE THE CONVERTIBLE UNITS.
  - UNITS 1, 12 & 19 CONTAIN LOCK-OFF UNITS.
  - 4, 3-STORY TOWNHOUSE UNIT FIRE EXITING AND TRAVEL DISTANCE DESIGN COMPLIED W/ BCBC 9.9.9.1.3) AS OPEN BALCONIES ARE PROVIDED TO 3RD FLOOR OF ALL 3-STORY TOWNHOUSE UNITS.



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 ARCHITECTS INC. REG. NO. 184 419  
 1000 UNIVERSITY AVENUE, SUITE 1000  
 TORONTO, ONTARIO M5G 1S7  
 TEL: (416) 593-1111  
 WWW.IMPERIALARCHITECTURE.COM

**Architecture Interior Design Planning**

**Copyright Reserved**  
 The Copyright in this drawing and its contents, and remains as all times the exclusive property of Imperial Architecture, and not to be reproduced, or reproduced in whole or in part without the written consent of Imperial Architecture.

**Dimensions**  
 The Contractor shall verify all dimensions, and immediately report any errors orally to Imperial Architecture. DO NOT SCALE DRAWINGS.



Item	Date	By	Appr.
ISSUED FOR DPP REVIEW	20.12.20	J.Z.	J.Z.
REVISED FOR APP REVIEW	20.08.19	J.Z.	J.Z.
REVISION FOR SUBMISSION	20.07.19	J.Z.	J.Z.
REVISION FOR SUBMISSION	19.11.18	J.Z.	J.Z.
REVISION FOR SUBMISSION	19.06.18	J.Z.	J.Z.

**ISSUED FOR DPP REVIEW**  
 2020-12-10

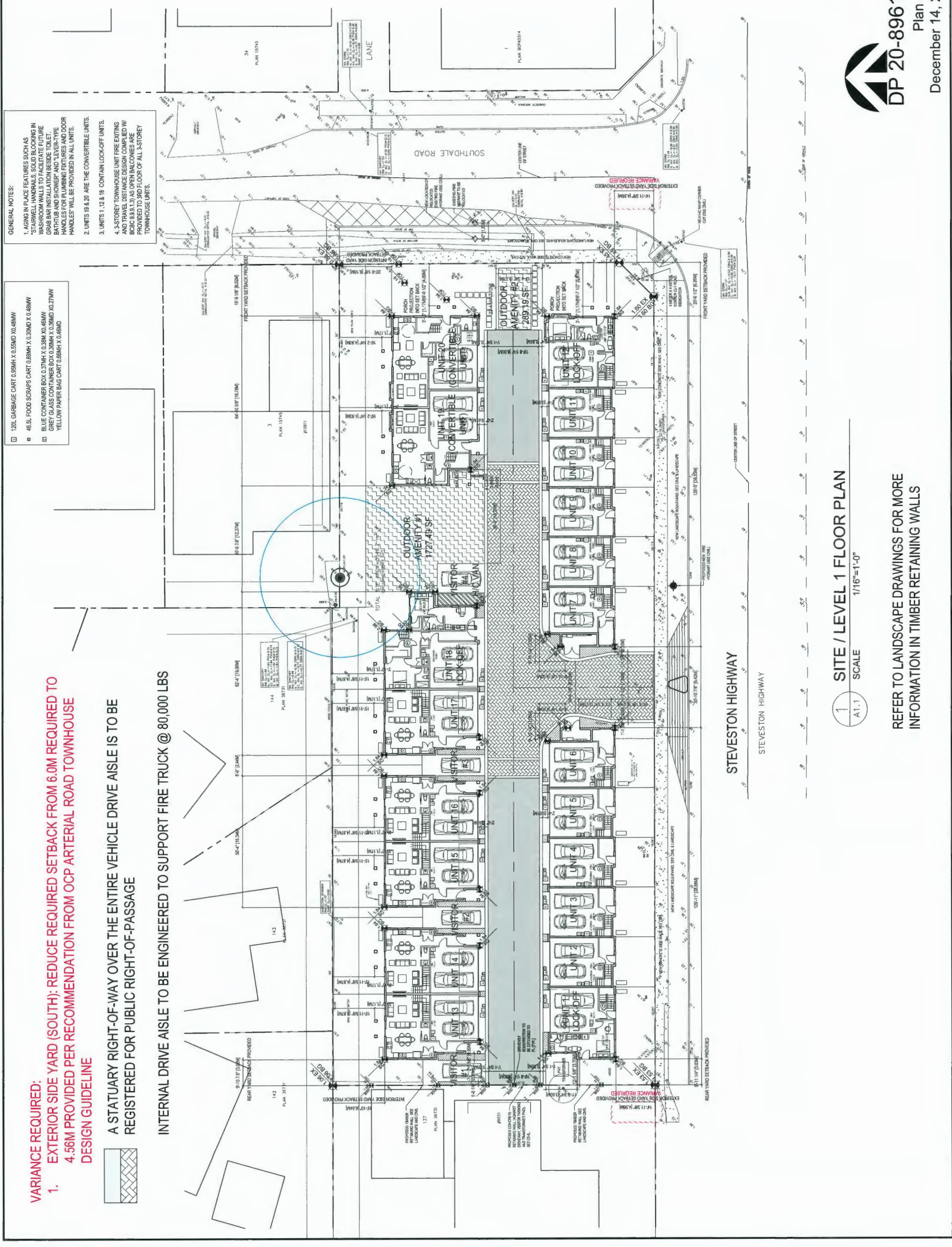
**STEVESTON TOWNHOUSE DEVELOPMENT**  
 9571, 9591, 9611, 9671 STEVESTON HWY &  
 10831 SOUTHDALE ROAD, RICHMOND, BC  
 (DP 20-896138)

**SITE PLAN**

Project No. #8211  
 Drawing No. 1/16"=1'-0"  
 Sheet 1 of 1  
 Revision

**A.1.1**

**DP 20-896138**  
 Plan #1.A  
 December 14, 2020



**1 SITE / LEVEL 1 FLOOR PLAN**  
 SCALE 1/16"=1'-0"

REFER TO LANDSCAPE DRAWINGS FOR MORE INFORMATION IN TIMBER RETAINING WALLS

**VARIANCE REQUIRED:**

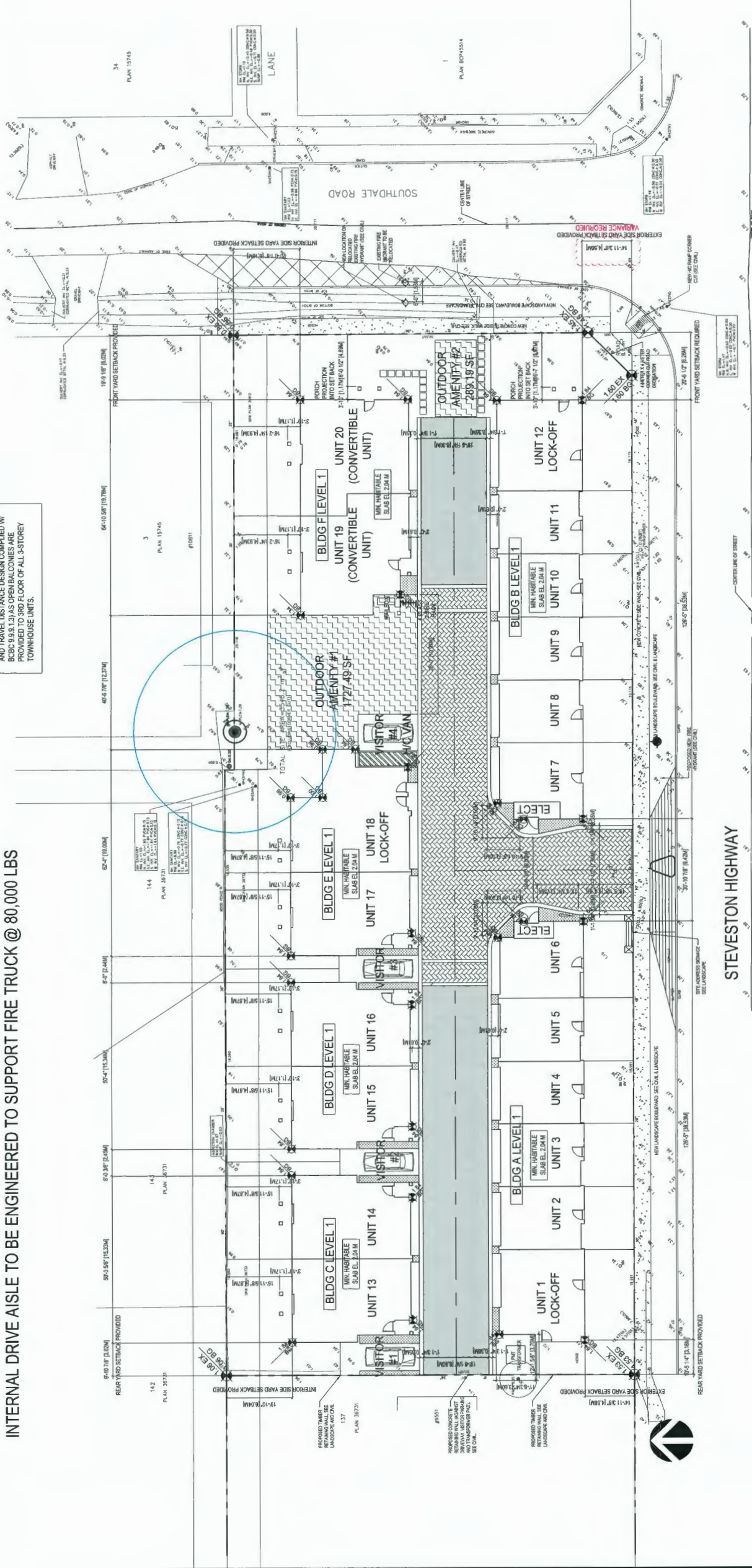
1. EXTERIOR SIDE YARD (SOUTH): REDUCE REQUIRED SETBACK FROM 6.0M REQUIRED TO 4.56M PROVIDED PER RECOMMENDATION FROM OCP ARTERIAL ROAD TOWNHOUSE DESIGN GUIDELINE



A STATUARY RIGHT-OF-WAY OVER THE ENTIRE VEHICLE DRIVE AISLE IS TO BE REGISTERED FOR PUBLIC RIGHT-OF-PASSAGE

INTERNAL DRIVE AISLE TO BE ENGINEERED TO SUPPORT FIRE TRUCK @ 80,000 LBS

- GENERAL NOTES:**
1. AGING IN PLACE FEATURES SUCH AS STAIRWELL HANDRAILS, SOLID BLOOMING IN STAIRWELL HANDRAILS, AND TOILET PAPER BATHUB AND SHOWER AND TELETYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES WILL BE PROVIDED IN ALL UNITS.
  2. UNITS 19 & 20 ARE THE CONVERTIBLE UNITS.
  3. UNITS 1, 12 & 18 CONTAIN LOCK-OFF UNITS.
  4. 3-STORY TOWNHOUSE UNIT FIRE EXITING AND TRAVEL DISTANCE DESIGN COMPLIED W/ BCC 3.9.3.1.3) AS OPEN BALCONIES ARE PROVIDED TO 3RD FLOOR OF ALL 3-STORY TOWNHOUSE UNITS.



**1**  
A1.2  
SCALE 1/16"=1'-0"

**SITE PLAN**

REFER TO LANDSCAPE DRAWINGS FOR MORE INFORMATION IN TIMBER RETAINING WALLS

**DP 20-896138**  
Plan #1.B  
December 14, 2020

ISSUED FOR  
DPP REVIEW  
2020-12-10

Client/Project  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
9571 9591, 9571, 9571 STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (DP-20-896138)

Title  
**SITE PLAN**

Project No. #8211  
Scale 1/16"=1'-0"  
Drawing No. Sheet  
Revision

**A1.2** of

**IMPERIAL ARCHITECTURE**  
HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
ADDRESS: 7000 BRIDGE STREET, VANCOUVER, BC, V6L 1A5  
TEL: 604.271.1111 FAX: 604.271.1112  
WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

**Copyright Reserved**  
The Copyright in this drawing and its contents is reserved, and remains in all forms the property of Imperial Architecture. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the expressed written consent of Imperial Architecture.

**Dimensions**  
The Contractor shall verify all dimensions and immediately report any errors in writing to Imperial Architecture. DO NOT SCALE DRAWINGS.



REVISION	DATE	BY	APP.
1	20.12.10	J.S.	J.S.
2	20.12.10	J.S.	J.S.
3	20.12.10	J.S.	J.S.
4	20.12.10	J.S.	J.S.
5	20.12.10	J.S.	J.S.
6	20.12.10	J.S.	J.S.
7	20.12.10	J.S.	J.S.
8	20.12.10	J.S.	J.S.
9	20.12.10	J.S.	J.S.
10	20.12.10	J.S.	J.S.
11	20.12.10	J.S.	J.S.
12	20.12.10	J.S.	J.S.
13	20.12.10	J.S.	J.S.
14	20.12.10	J.S.	J.S.
15	20.12.10	J.S.	J.S.
16	20.12.10	J.S.	J.S.
17	20.12.10	J.S.	J.S.
18	20.12.10	J.S.	J.S.
19	20.12.10	J.S.	J.S.
20	20.12.10	J.S.	J.S.
21	20.12.10	J.S.	J.S.
22	20.12.10	J.S.	J.S.
23	20.12.10	J.S.	J.S.
24	20.12.10	J.S.	J.S.
25	20.12.10	J.S.	J.S.
26	20.12.10	J.S.	J.S.
27	20.12.10	J.S.	J.S.
28	20.12.10	J.S.	J.S.
29	20.12.10	J.S.	J.S.
30	20.12.10	J.S.	J.S.
31	20.12.10	J.S.	J.S.
32	20.12.10	J.S.	J.S.
33	20.12.10	J.S.	J.S.
34	20.12.10	J.S.	J.S.
35	20.12.10	J.S.	J.S.
36	20.12.10	J.S.	J.S.
37	20.12.10	J.S.	J.S.
38	20.12.10	J.S.	J.S.
39	20.12.10	J.S.	J.S.
40	20.12.10	J.S.	J.S.
41	20.12.10	J.S.	J.S.
42	20.12.10	J.S.	J.S.
43	20.12.10	J.S.	J.S.
44	20.12.10	J.S.	J.S.
45	20.12.10	J.S.	J.S.
46	20.12.10	J.S.	J.S.
47	20.12.10	J.S.	J.S.
48	20.12.10	J.S.	J.S.
49	20.12.10	J.S.	J.S.
50	20.12.10	J.S.	J.S.
51	20.12.10	J.S.	J.S.
52	20.12.10	J.S.	J.S.
53	20.12.10	J.S.	J.S.
54	20.12.10	J.S.	J.S.
55	20.12.10	J.S.	J.S.
56	20.12.10	J.S.	J.S.
57	20.12.10	J.S.	J.S.
58	20.12.10	J.S.	J.S.
59	20.12.10	J.S.	J.S.
60	20.12.10	J.S.	J.S.
61	20.12.10	J.S.	J.S.
62	20.12.10	J.S.	J.S.
63	20.12.10	J.S.	J.S.
64	20.12.10	J.S.	J.S.
65	20.12.10	J.S.	J.S.
66	20.12.10	J.S.	J.S.
67	20.12.10	J.S.	J.S.
68	20.12.10	J.S.	J.S.
69	20.12.10	J.S.	J.S.
70	20.12.10	J.S.	J.S.
71	20.12.10	J.S.	J.S.
72	20.12.10	J.S.	J.S.
73	20.12.10	J.S.	J.S.
74	20.12.10	J.S.	J.S.
75	20.12.10	J.S.	J.S.
76	20.12.10	J.S.	J.S.
77	20.12.10	J.S.	J.S.
78	20.12.10	J.S.	J.S.
79	20.12.10	J.S.	J.S.
80	20.12.10	J.S.	J.S.
81	20.12.10	J.S.	J.S.
82	20.12.10	J.S.	J.S.
83	20.12.10	J.S.	J.S.
84	20.12.10	J.S.	J.S.
85	20.12.10	J.S.	J.S.
86	20.12.10	J.S.	J.S.
87	20.12.10	J.S.	J.S.
88	20.12.10	J.S.	J.S.
89	20.12.10	J.S.	J.S.
90	20.12.10	J.S.	J.S.
91	20.12.10	J.S.	J.S.
92	20.12.10	J.S.	J.S.
93	20.12.10	J.S.	J.S.
94	20.12.10	J.S.	J.S.
95	20.12.10	J.S.	J.S.
96	20.12.10	J.S.	J.S.
97	20.12.10	J.S.	J.S.
98	20.12.10	J.S.	J.S.
99	20.12.10	J.S.	J.S.
100	20.12.10	J.S.	J.S.





**CONVERTIBLE UNIT GUIDELINES**  
(NOTE: SAFERHOME CRITERIA PROPOSED FOR INCLUSION ARE SHOWN IN BOLD ITALICS)

A	A1	ENTRY CODES ARE A MINIMUM 800 MBT, 800 MBT, 800 MBT, 800 MBT AND HAVE CLEAR ACCESS.
	A2	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 120 IN. DEPTH BY DOOR WIDTH PLUS 6 IN. ON EACH SIDE (NOT REQUIRED IF POLYMER WINGS PROVIDED FOR FUTURE AUTOMATIC DOOR OPENERS).
	A3	ENTRY DOOR CLEAR INTERIOR FLOOR SPACE MIN. 120 IN. DEPTH BY DOOR WIDTH PLUS 6 IN. ON EACH SIDE (NOT REQUIRED IF POLYMER WINGS PROVIDED FOR FUTURE AUTOMATIC DOOR OPENERS).
	A4	MAX. 1.5 M HEIGHT. ADAPTATIVE WHEELCHAIR ACCESS BETWEEN THE MAINWAY AND DOOR. PROVIDE SEPARATE ACCESS BETWEEN THE MAINWAY AND DOOR FOR SEPARATE ACCESS AND/OR ENTRY.
B	A5	REMOVE WOOD RAMP SHALL BE USED TO ADAPT TO HEIGHT DIFFERENCE BETWEEN FINISHED SURFACES WHEN THE ELEVATOR IS INSTALLED.
	A6	ALL INTERIOR HORIZONTAL SURFACES TO BE FINISHED WITH A BUILDING CODE.
C	A7	LIFTWAY TYPES HANDED FOR ALL DOORS.
	A8	VERTICAL LIFT, SPRINGED BLANK AREA AND LANDING AS SETTING ON FLOOR PLANE IN COMPLIANCE WITH MANUFACTURER SPEC. MAINTAIN TO APPROXIMATE STRUCTURE.
D	B1	AT THE TOP OF ALL STRUCTURES WALLS ARE REINFORCED WITH 2" 12" BOLD LAMBER AT 1M TO CENTRE.
	B2	MIN. 800 MM WIDTH.
E	B3	MIN. 1 ACCESSIBLE FLOORING SPACE WITH MIN. 4" GARAGE WIDTH OPENING.
	B4	TOILET CLEAR FLOOR SPACE MIN. 1000 MM AT THE END IN FIN. WALL.
F	B5	WALL BONDING FOR FUTURE SHOWER INSTALLATION AT LIFTWAY AND BATHROOM. LAMBER IN ALL BATHROOM, SHOWER AND TOILET FLOOR DOORS.
	B6	LIFTWAY TYPES HANDED FOR PLUMBING FIXTURES. FINISHES MUST BE FINISHED. WALLS ARE REINFORCED WITH 2" 12" BOLD LAMBER AT ALL SPACING POINTS.
G	B7	CABINETS HEIGHTS ARE EASY REACHED.
	B8	ADAPTATIVE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (A POINT OF FUTURE PLACEMENT).
H	B9	CLEAR AREA NEEDED UNDER FUTURE WORK SPACE, PLUMBING AND GAS PIPES SHALL AND IN-CLOSET LOCATED CLEAR OF ALL WALKWAY WALK CENTERS. ALL PIPES ARE BROUGHT IN AND HANGERS FROM 2M TO 3M TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
	B10	CABINETS UNDERCOUNTER SINK ARE EASY REACHED.
I	B11	MIN. 1000 MM TURNING DIAMETER OF TURNING PATH THROUGH BATHROOM INTO-SEA, LIVING ROOM.
	B12	LIFTWAY TYPES HANDED FOR PLUMBING FIXTURES.
J	B13	MIN. 1000 MM TURNING DIAMETER OF TURNING PATH THROUGH BATHROOM INTO-SEA, LIVING ROOM.
	B14	PLACEMENT OF STAIRWAYS, SERVICE SWITCHES, FUSE, ABOVE EXTERIOR DOORS OUTSIDE AND INSIDE DOWN FLOOR FACE OF JUNCTION CORNER. (SEE SPECIFICATIONS FOR FUTURE WORK).
K	B15	FINISHES TO BE FINISHED. WALLS ARE REINFORCED WITH 2" 12" BOLD LAMBER AT ALL SPACING POINTS.
	B16	OFFICE GARAGE AND RECREATION ROOM.



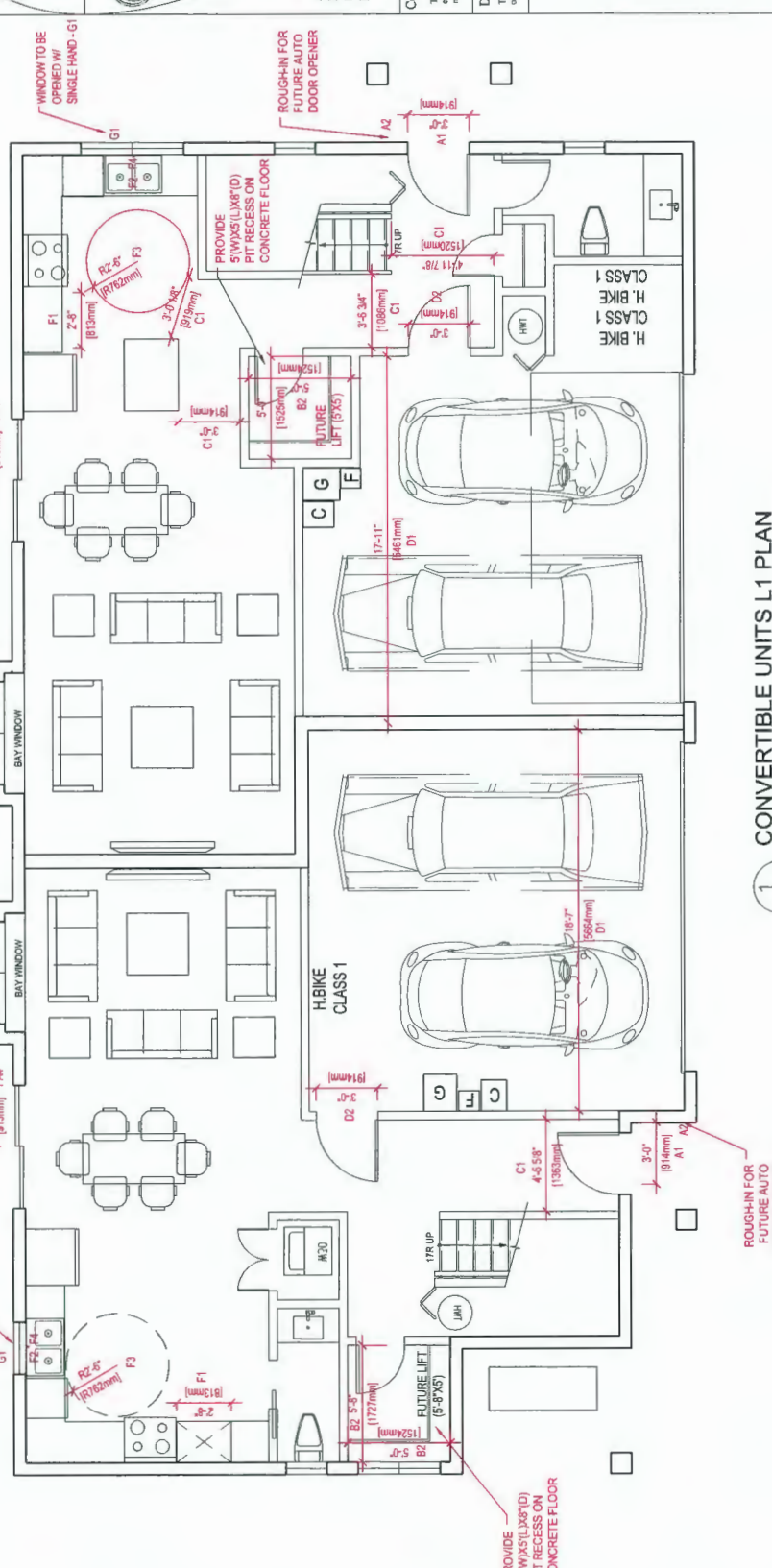
**Garage Lift**  
T: 604.556.0022 | F: 604.556.6556 (toll-free North America)  
E: info@paranestor.com | www.paranestor.com

**Standard Door Gate**

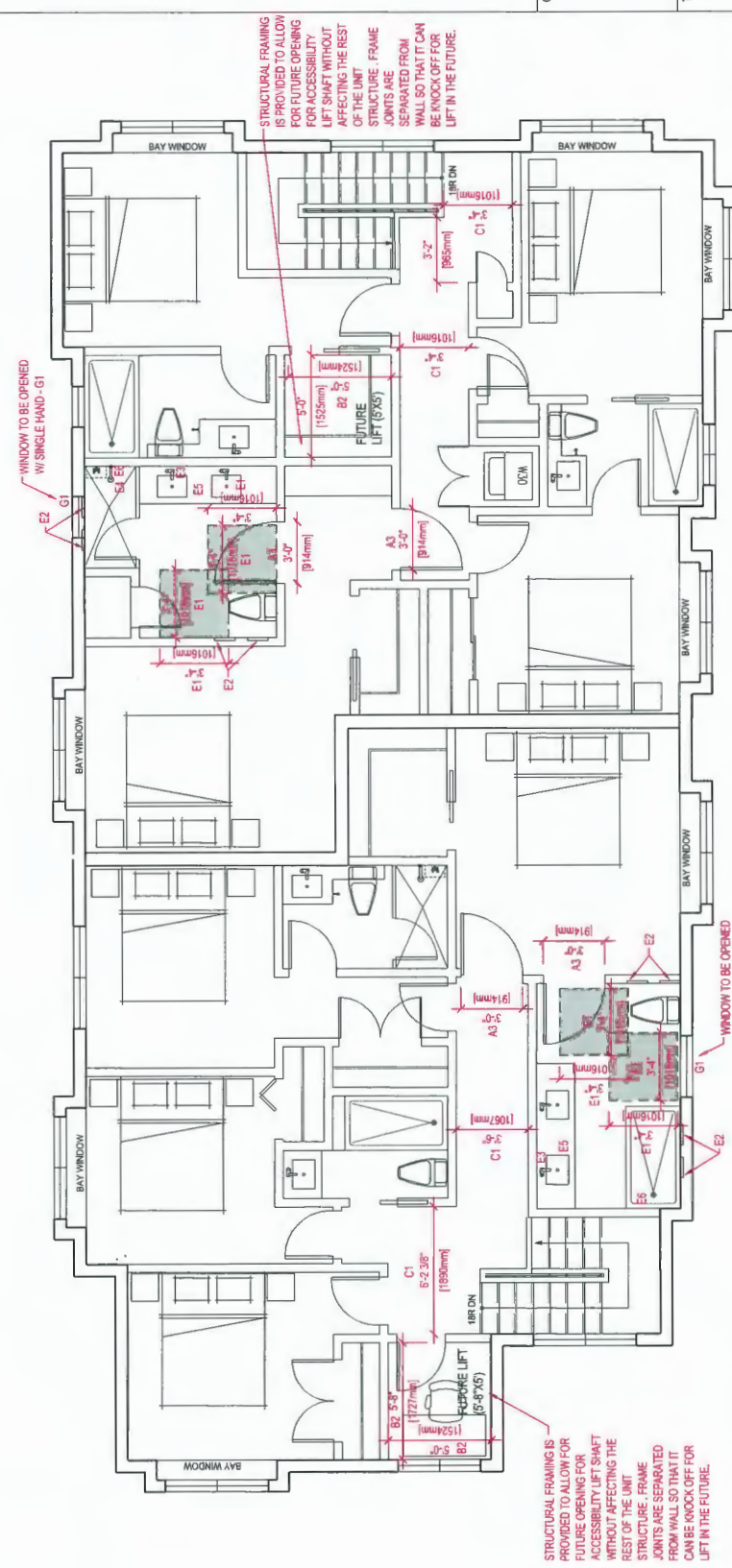
Model	Height (mm)	Width (mm)	Weight (kg)	Clearance (mm)
84"	2133	2438	297.34	35.34
84"	2133	2438	297.34	35.34
84"	2133	2438	297.34	35.34
84"	2133	2438	297.34	35.34
84"	2133	2438	297.34	35.34
84"	2133	2438	297.34	35.34
84"	2133	2438	297.34	35.34
84"	2133	2438	297.34	35.34
84"	2133	2438	297.34	35.34
84"	2133	2438	297.34	35.34
84"	2133	2438	297.34	35.34
84"	2133	2438	297.34	35.34

**Specifications**

Overhead Clearances Required:	Hydraulic Drive	In-Line Drives	In-Line Drive w/Controller at top of hoistway
84" Cab height - standard door pkg.	96" (2438 mm)	96" (2438 mm)	108" (2743 mm)
84" Cab height - upgrade/premium door pkg.	96" (2438 mm)	96" (2438 mm)	114" (2896 mm)
96" Cab height - standard door pkg.	108" (2743 mm)	N/A	120" (3048 mm)
96" Cab height - upgrade/premium door pkg.	N/A	N/A	N/A
<b>Rated Load:</b> Standard 750 lbs (340 kg) or 1,000 lbs (455 kg)			
<b>Speed:</b> 40 f/min (12.2 meter/min) nominal speed			
<b>Travel Range:</b> Up to 50 feet (15.2 m)			
<b>Stops:</b> Up to 6 stops			
<b>Standard Controls:</b> Fully automatic push button operation   Digital floor indicator in car   Automatic car lighting upon entry   Illuminated push buttons			
<b>Standard Safety Features:</b> Battery-powered emergency lowering   Safety brake system   Car door and hall door safety monitoring system   Emergency stop and alarm			
<b>Hydraulic Drive System:</b> 1/2 cable hydraulic drive   Quiet submersed pump and motor   Two-speed valve for smooth start and stop			
<b>In-Line Drive System:</b> Geared direct drive motor   Variable frequency drive for smooth start and stop   Speed monitor			
<b>Power Requirements:</b> 230 VAC single phase   Optional 208 VAC 3 phase (Hydraulic Drive only)			
<b>Popular Options:</b> Premium finishes   Integral emergency telephone   3-speed sliding doors			
<b>Flooring:</b> By others to match the home decor   Minimum 1/8" thick   Maximum 3/4" thick			
<b>Warranty:</b> 2 year standard warranty   Optional additional 5 year extended warranty to 7 years (North America Only)			



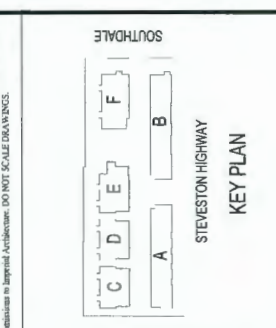
1 CONVERTIBLE UNITS L1 PLAN  
SCALE 1/4"=1'-0"



2 CONVERTIBLE UNITS L2 PLAN  
SCALE 1/4"=1'-0"



**IMPERIAL ARCHITECTURE**  
ARCHITECTURE DESIGN PLANNING  
HOLDERS OF AN AIBC CERTIFICATE OF PRACTICE  
2020-12-10



**REVISIONS**

No.	Description	Date
1	ISSUED FOR DPP REVIEW	2020.12.10
2	ISSUED FOR DPP REVIEW	2020.12.10
3	ISSUED FOR DPP REVIEW	2020.12.10
4	ISSUED FOR DPP REVIEW	2020.12.10
5	ISSUED FOR DPP REVIEW	2020.12.10
6	ISSUED FOR DPP REVIEW	2020.12.10
7	ISSUED FOR DPP REVIEW	2020.12.10
8	ISSUED FOR DPP REVIEW	2020.12.10
9	ISSUED FOR DPP REVIEW	2020.12.10
10	ISSUED FOR DPP REVIEW	2020.12.10

ISSUED FOR DPP REVIEW  
2020-12-10

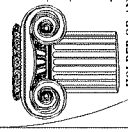
Client/Project  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
8574, 8591, 8611, 8671 STEVESTON HWY & 10851 SOUTHDALE ROAD, RICHMOND, BC (DP 20-896138)

Title  
**CONVERTIBLE UNIT FLOOR PLANS**

Project No. #8211  
Scale 1/4"=1'-0"  
Sheet A5.1  
Revision

DP 20-896138  
Plan #1.D  
December 14, 2020

2 CONVERTIBLE UNITS L2 PLAN  
SCALE 1/4"=1'-0"

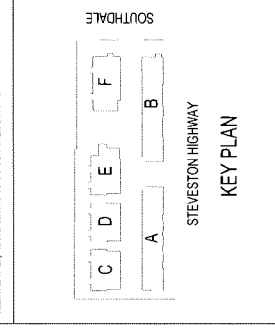


**IMPERIAL ARCHITECTURE**  
 ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 APPROVED BY THE ARCHITECTURE ACT (S.A.S.)  
 5410 SOUTHDALE ROAD, RICHMOND, BC  
 TEL: 604-273-8861

**Copyright Reserved**  
 The Copyright in this drawing and its content is reserved, and remains in all times the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced without the expressed written consent of Imperial Architecture.

**Dimensions**  
 The Contractor shall verify all dimensions and immediately report any errors and/or omissions to Imperial Architecture. DO NOT SCALE DRAWINGS.



REVISION	DATE	BY	APP'D
ISSUED FOR DPP REVIEW	20.12.19	J.Z.	M.K.
ISSUED FOR APP REVIEW	20.08.19	J.Z.	M.K.
ISSUED FOR 3 <sup>RD</sup> SUBMISSION	20.07.18	J.Z.	M.K.
ISSUED FOR 2 <sup>ND</sup> SUBMISSION	20.06.18	J.Z.	M.K.
ISSUED FOR 1 <sup>ST</sup> SUBMISSION	20.05.18	J.Z.	M.K.
REVISION			

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT  
 9571, 9591, 9811, 9871 STEVESTON HWY &  
 10831 SOUTHDALE ROAD, RICHMOND, BC  
 (DP 20-896138)

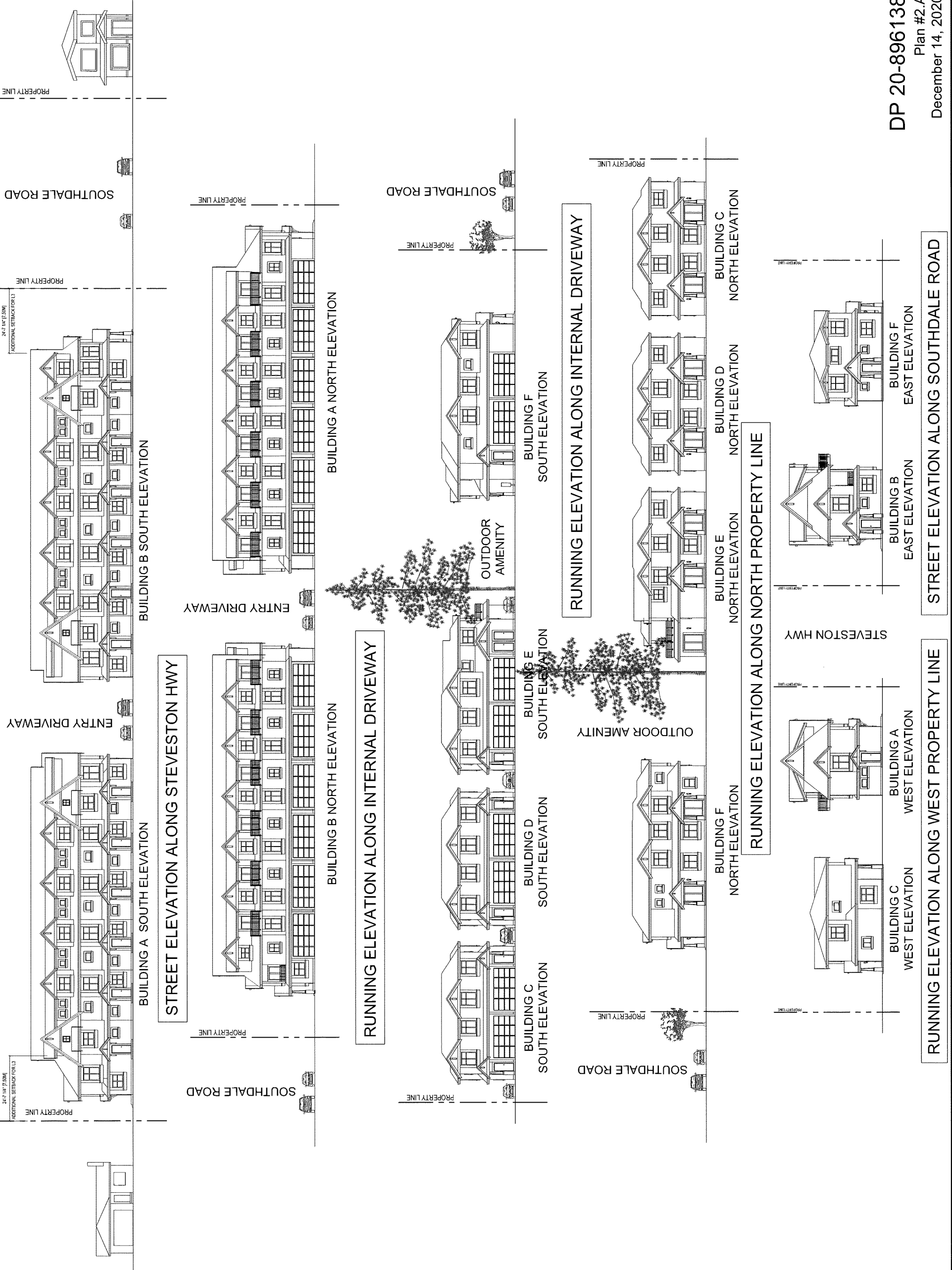
Title  
 CONTEXT / STREET ELEVATIONS

Project No.  
 #8211

Scale  
 1/16"=1'-0"

Sheet  
 of

**A 3.0**



**DP 20-896138**  
 Plan #2.A  
 December 14, 2020

**STREET ELEVATION ALONG SOUTHDALE ROAD**

**RUNNING ELEVATION ALONG WEST PROPERTY LINE**

9571 STEVESTEN HIGHWAY, RICHMOND, BC

EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

- 1 ASPHALT SHINGLES (DARK GREY)
- 2 WOOD TRIM (BROWN)
- 3 DOUBLE GLAZED VINYL WINDOWS (BROWN FRAME & CLEAR GLAZING)
- 4 SOLID WOOD UNIT ENTRY DOORS - W/ OPTIONAL TRANSLUCENT SIDELITE (STAINED WOOD COLOR)
- 5 ALUMINUM RAILING (BROWN)
- 6 PREFINISHED ALUMINUM GUTTER & RWL (BROWN)
- 7 PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
- 8 BRICK CLADDING (RED-DARKER)
- 9 COMPOSITE CEMENT LAP SIDING (HARDIE SIDING)(LIGHT BEIGE)
- 10 COMPOSITE CEMENT SHAKE (HARDIE SHAKE)(LIGHT GREY)
- 11 COMPOSITE CEMENT LAP SIDING (HARDIE SIDING)(BROWN)
- 12 COMPOSITE CEMENT LAP SIDING (HARDIE SIDING)(LIGHT PINK)

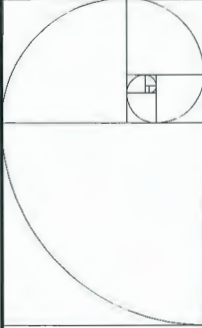
- 1. ASPHALT SHINGLES (DARK GREY)
- 2. WOOD TRIM (BROWN)
- 3. DOUBLE GLAZED VINYL WINDOWS (BROWN COLOR FRAME & CLEAR GLAZING)
- 4. SOLID WOOD UNIT ENTRY DOOR - W/ OPTIONAL TRANSLUCENT SIDELITE (STAINED WOOD COLOR)
- 5. ALUMINUM RAILING (BROWN)
- 6. PREFINISHED ALUMINUM GUTTER & RWL (BROWN)
- 7. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
- 8. BRICK CLADDING (RED-DARKER)
- 9. COMPOSITE CEMENT LAP SIDING (HARDIE SIDING) (LIGHT BEIGE)
- 10. COMPOSITE CEMENT SHAKE (HARDIE SHAKE) (LIGHT GREY)
- 11. COMPOSITE CEMENT LAP SIDING (HARDIE SIDING) (BROWN)
- 12. COMPOSITE CEMENT LAP SIDING (HARDIE SIDING) (LIGHT PINK)



STREET ELEVATION ALONG SOUTHDALE ROAD



STREET ELEVATION ALONG STEVESTON HWY



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 10851 SOUTHWDALE ROAD, RICHMOND, BC V6V 1K7  
 TEL: 604-273-1111 FAX: 604-273-1112  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved, and remains as all times the exclusive property of Imperial Architecture, and may not be reproduced, stored, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions, and immediately report any errors under no circumstances to Imperial Architecture. DO NOT SCALE DRAWINGS.



REVISION	DATE	BY	APP'D
ISSUED FOR DPP REVIEW	20.12.10	W.S.	W.S.
ISSUED FOR APP REVIEW	20.08.19	J.Z.	W.S.
ISSUED FOR SUBMISSION	20.07.18	J.Z.	W.S.
REVISION FOR SUBMISSION	19.04.18	J.Z.	W.S.
ISSUED FOR SUBMISSION	19.04.18	J.Z.	W.S.

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

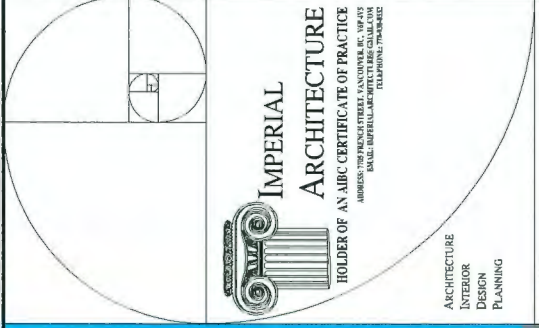
Client/Project  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
 9571, 9591, 9611, 9671 STEVESTON HWY & 10851 SOUTHWDALE ROAD, RICHMOND, BC (DP 20-896138)

Title  
**COLOR SAMPLE MATERIAL BOARD**

Project No. #8211  
 Scale N.T.S.  
 Drawing No. 1  
 Sheet 1 of 1  
 Revision

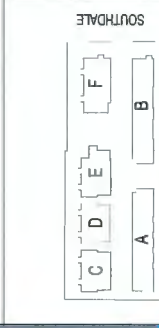
DP 20-896138  
 Plan #2.B  
 December 14, 2020

A 0.2



Copyright Reserved  
 The Copyright in this drawing and its contents is reserved, and remains at all times the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced in whole or in part without the written consent of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions and immediately report any errors in writing to Imperial Architecture. DO NOT SCALE DRAWINGS.



STEVESTON HIGHWAY  
 KEY PLAN

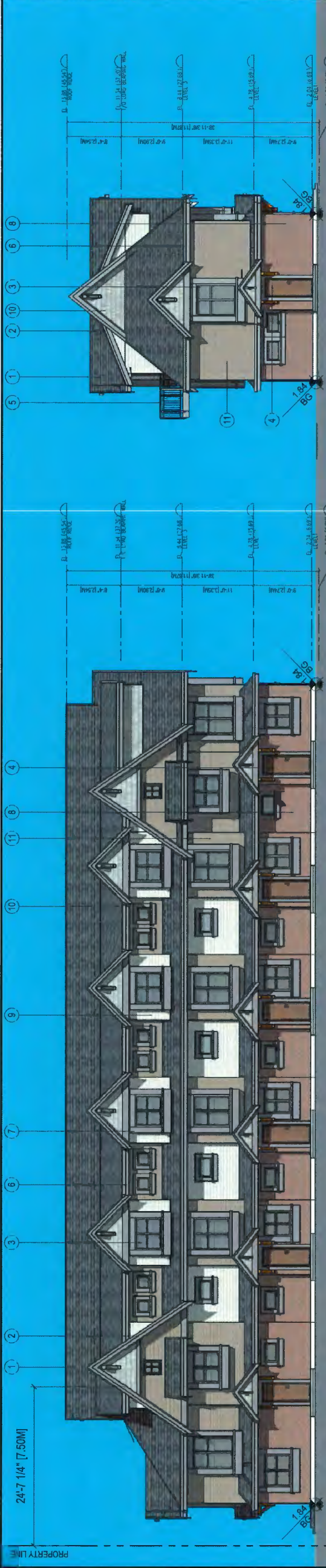
ISSUED FOR	DATE	BY
ISSUED FOR DPP REVIEW	20.12.19	W.M.
ISSUED FOR ACP REVIEW	20.08.19	J.Z.
ISSUED FOR SUBMISSION	20.07.19	J.Z.
ISSUED FOR SUBMISSION	20.03.19	J.Z.
ISSUED FOR SUBMISSION	19.08.19	W.M.

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT  
 9571, 9591, 9611, 9671, STEVESTON HWY &  
 10831, SOUTHDALE ROAD, RICHMOND, BC  
 (DP 20-896138)

The  
 BUILDING A ELEVATIONS

Project No.  
 #8211  
 Drawing No.  
 A 3.1  
 Scale  
 1/8"=1'-0"  
 Revision



1 BUILDING A SOUTH ELEVATION (STEVESTON HWY)  
 SCALE 1/8"=1'-0"



3 BUILDING A WEST ELEVATION  
 SCALE 1/8"=1'-0"

- EXTERIOR FINISH MATERIAL SCHEDULE
- HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
  - WOOD TRIM (BROWN)
  - DOUBLE GLAZED VINYL WINDOW (BROWN COLOUR FRAME & CLEAR GLAZING)
  - SOLID WOOD UNIT ENTRY DOOR W/ OPTIONAL TRANSLUCENT GLAZING SIDELITE (STAINED WOOD COLOUR)
  - PRE-FINISHED ALUMINUM RAILING (BROWN)
  - PRE-FINISHED ALUMINUM GUTTER & R.W.L. (BROWN)
  - PAINTED WOOD FRAME AROUND WINDOW & DOOR OPENING (BROW)
- EXTERIOR FINISH MATERIAL SCHEDULE
- BRICK CLADDING (RED - DARKER)
  - COMPOSITE CEMENT LAP SIDING (HARDIE SIDING, LIGHT BEIGE)
  - COMPOSITE CEMENT SHAKE, (HARDIE SHAKE, LIGHT GREY)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, BROWN)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, LIGHT PINK)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, WHITE)




2 BUILDING A NORTH ELEVATION (INTERNAL DRIVEWAY)  
 SCALE 1/8"=1'-0"



4 BUILDING A EAST ELEVATION  
 SCALE 1/8"=1'-0"

DP 20-896138  
 Plan #2.C  
 December 14, 2020



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 10831 STEVESTON HIGHWAY, SUITE 100, RICHMOND, BC V6V 1K2  
 TEL: 604-273-1111 FAX: 604-273-1112

ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

Copyright Reserved

The Copyright in this drawing and its contents is reserved, and remains at all times the property of Imperial Architecture. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture.

**Dimensions**  
 The Designer shall verify all dimensions, and immediately report any errors and/or omissions to Imperial Architecture. DO NOT SCALE DRAWINGS.



NO.	DATE	BY	APP.	REVISION
1	20.12.19	J.L.	M.S.	ISSUED FOR PERMIT REVIEW
2	20.06.19	J.L.	M.S.	ISSUED FOR PERMIT REVIEW
3	20.07.19	J.L.	M.S.	ISSUED FOR PERMIT REVIEW
4	20.07.19	J.L.	M.S.	ISSUED FOR PERMIT REVIEW
5	20.07.19	J.L.	M.S.	ISSUED FOR PERMIT REVIEW
6	20.07.19	J.L.	M.S.	ISSUED FOR PERMIT REVIEW

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

Client/Project  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
 9571, 9591, 9611, 9671 STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (DP 20-896138)

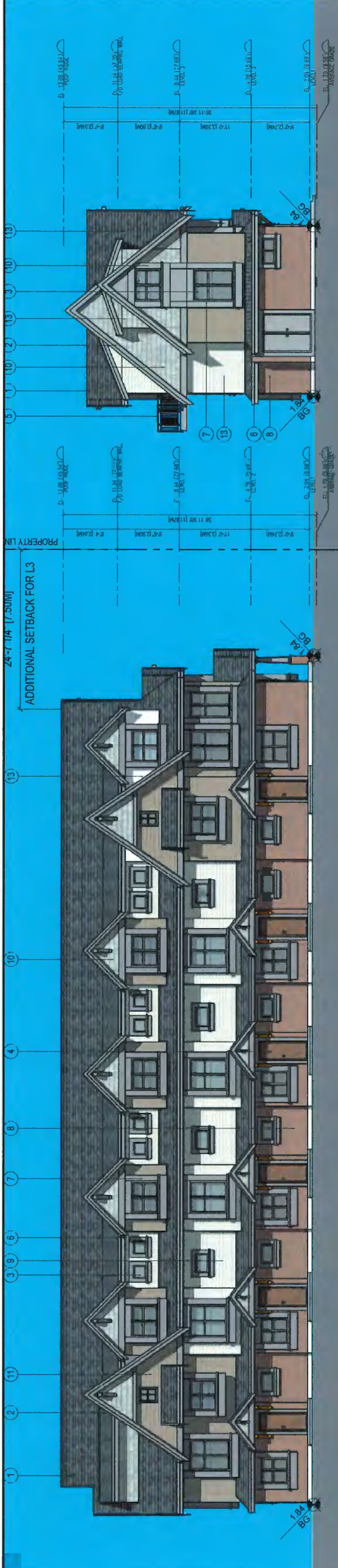
Title  
**BUILDING B ELEVATIONS**

Project No.  
**#8211**

Scale  
**1/8"=1'-0"**

Sheet  
**A 3.2**

Revision

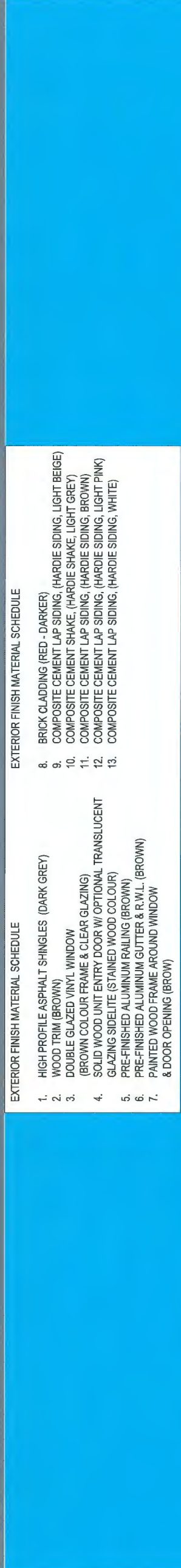


**1 BUILDING B SOUTH ELEVATION (STEVESTON HWY)**  
 SCALE 1/8"=1'-0"

- EXTERIOR FINISH MATERIAL SCHEDULE**
- HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
  - WOOD TRIM (BROWN)
  - DOUBLE GLAZED VINYL WINDOW (BROWN COLOUR FRAME & CLEAR GLAZING)
  - SOLID WOOD UNIT ENTRY DOOR W/ OPTIONAL TRANSLUCENT GLAZING SIDELITE (STAINED WOOD COLOUR)
  - PRE-FINISHED ALUMINUM RAILING (BROWN)
  - PRE-FINISHED ALUMINUM GUTTER & R.W.L. (BROWN)
  - PAINTED WOOD FRAME AROUND WINDOW & DOOR OPENING (BROWN)
- EXTERIOR FINISH MATERIAL SCHEDULE**
- BRICK GLAZING (RED - DARKER)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, LIGHT BEIGE)
  - COMPOSITE CEMENT SHAKE, (HARDIE SHAKE, LIGHT GREY)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, BROWN)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, LIGHT PINK)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, WHITE)



**2 BUILDING B NORTH ELEVATION (INTERNAL DRIVEWAY)**  
 SCALE 1/8"=1'-0"



**3 BUILDING B WEST ELEVATION**  
 SCALE 1/8"=1'-0"



**4 BUILDING B EAST ELEVATION**  
 SCALE 1/8"=1'-0"

**DP 20-896138**  
 Plan #2.D  
 December 14, 2020



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 ARCHITECTURE INTERIOR DESIGN PLANNING  
 10851 SOUTHDALE ROAD RICHMOND, BC  
 TEL: 604-273-8888 FAX: 604-273-8889

**Copyright Reserved**  
 The Copyright in this drawing and its contents is reserved, and permission is all times the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced without the expressed written consent of Imperial Architecture.  
**Dimensions**  
 The Contractor shall verify all dimensions, and immediately report any errors under penalty to Imperial Architecture. DO NOT SCALE DRAWINGS.



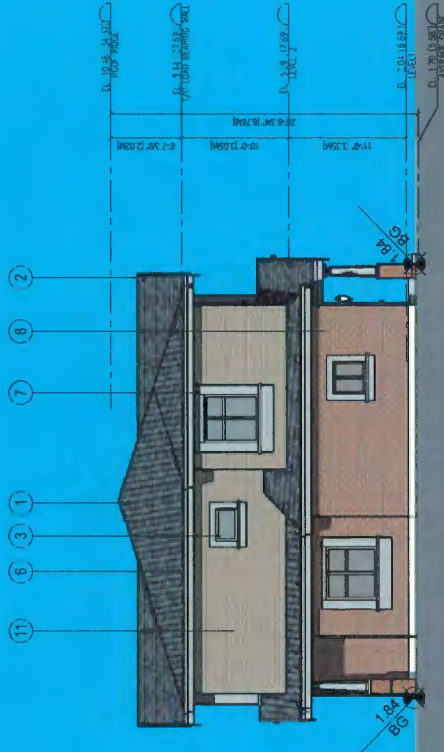
REVISION	DATE	BY
ISSUED FOR DPP REVIEW	22. 08. 2020	YH/MS
ISSUED FOR LAP REVIEW	06. 08. 2020	YH/MS
ISSUED FOR PP SUBMISSION	22. 08. 2020	YH/MS
ISSUED FOR PP SUBMISSION	22. 08. 2020	YH/MS
ISSUED FOR PP SUBMISSION	22. 08. 2020	YH/MS

ISSUED FOR DPP REVIEW  
 2020-12-10

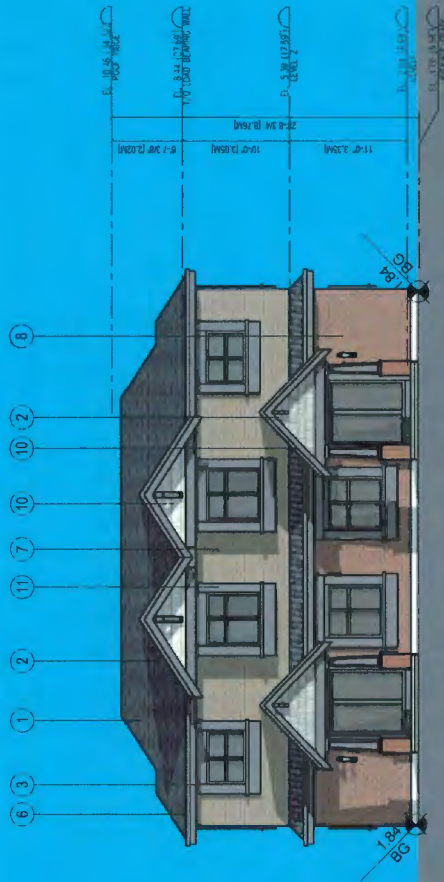
Client/Project  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
 9871 9851 9811 9871 STEVESTON HWY & 10851 SOUTHDALE ROAD RICHMOND, BC  
 (DP 20-896138)

The **BUILDING C ELEVATIONS**  
 Project No. **#8211** Scale **1/8"=1'-0"**  
 Drawing No. **A 3.3** Sheet  
 Revision

**DP 20-896138**  
**Plan #2.E**  
**December 14, 2020**



**3 BUILDING C EAST ELEVATION**  
 SCALE 1/8"=1'-0"



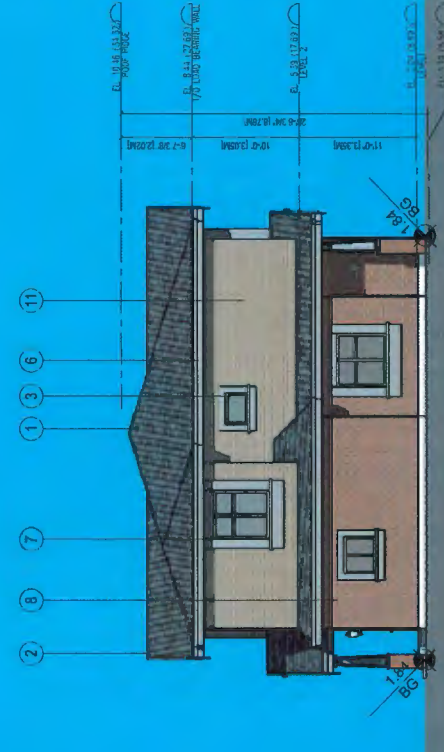
**1 BUILDING C NORTH ELEVATION**  
 SCALE 1/8"=1'-0"

**EXTERIOR FINISH MATERIAL SCHEDULE**

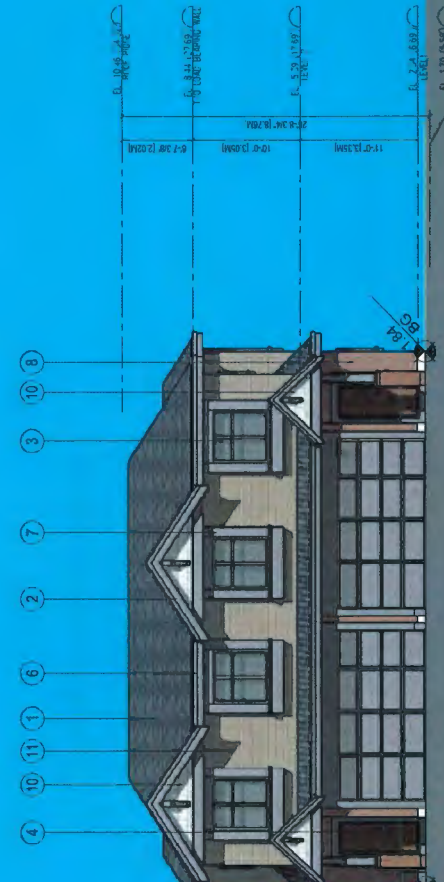
8. BRICK CLADDING (RED - DARKER)
9. COMPOSITE CEMENT LAP SIDING (HARDIE SIDING, LIGHT BEIGE)
10. COMPOSITE CEMENT SHAKE (HARDIE SHAKE, LIGHT GREY)
11. COMPOSITE CEMENT LAP SIDING (HARDIE SIDING, BROWN)
12. COMPOSITE CEMENT LAP SIDING (HARDIE SIDING, LIGHT PINK)
13. COMPOSITE CEMENT LAP SIDING (HARDIE SIDING, WHITE)

**EXTERIOR FINISH MATERIAL SCHEDULE**


1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. WOOD TRIM (BROWN)
3. DOUBLE GLAZED VINYL WINDOW (BROWN COLOUR FRAME & CLEAR GLAZING)
4. SOLID WOOD UNIT ENTRY DOOR W/ OPTIONAL TRANSLUCENT GLAZING SIDELITE (STAINED WOOD COLOUR)
5. PRE-FINISHED ALUMINUM RAILING (BROWN)
6. PRE-FINISHED ALUMINUM GUTTER & F.W.L. (BROWN)
7. PAINTED WOOD FRAME AROUND WINDOW & DOOR OPENING (BROWN)



**4 BUILDING C WEST ELEVATION**  
 SCALE 1/8"=1'-0"



**2 BUILDING C SOUTH ELEVATION**  
 SCALE 1/8"=1'-0"



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 ARCHITECTS  
 1100 CENTRAL AVENUE, SUITE 100, RICHMOND, BC  
 TEL: 604-273-8888

ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

**Copyright Reserved**  
 The Copyright in this drawing and its contents is reserved, and remains the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced without the expressed written consent of Imperial Architecture.  
**Dimensions**  
 The Contractor shall verify all dimensions and immediately report any errors and/or omissions to Imperial Architecture. DO NOT SCALE DRAWINGS.

**STEVESTON HIGHWAY**  
**KEY PLAN**



**SOUTHDALE**

ISSUED FOR PERMIT REVIEW	J.Z.	M.S.	20.12.19
ISSUED FOR PERMIT REVIEW	J.Z.	M.S.	20.05.19
ISSUED FOR PERMIT REVIEW	J.Z.	M.S.	20.07.19
ISSUED FOR PERMIT REVIEW	J.Z.	M.S.	20.08.19
ISSUED FOR PERMIT REVIEW	J.Z.	M.S.	20.09.19
ISSUED FOR PERMIT REVIEW	J.Z.	M.S.	20.10.19
ISSUED FOR PERMIT REVIEW	J.Z.	M.S.	20.11.19
ISSUED FOR PERMIT REVIEW	J.Z.	M.S.	20.12.19

**ISSUED FOR DPP REVIEW**  
 2020-12-10

Client/Project  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
 9571, 9591, 9611, 9671 STEVESTON HWY &  
 10831 SOUTHDALE ROAD, RICHMOND, BC  
 (DP 20-896138)

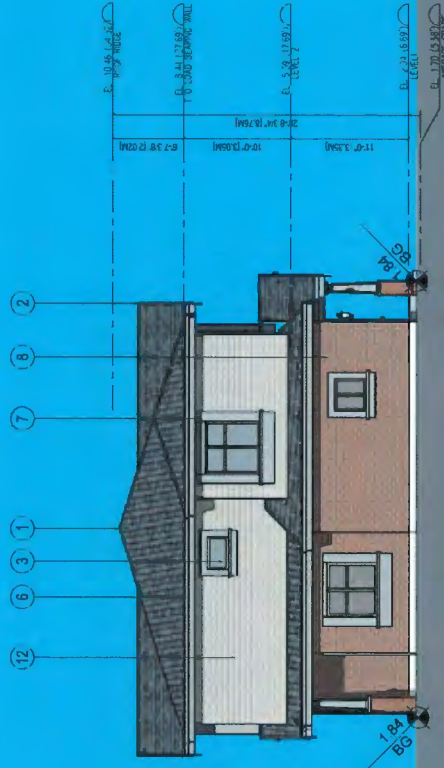
Title  
**BUILDING D ELEVATIONS**

Project No.  
**#8211**

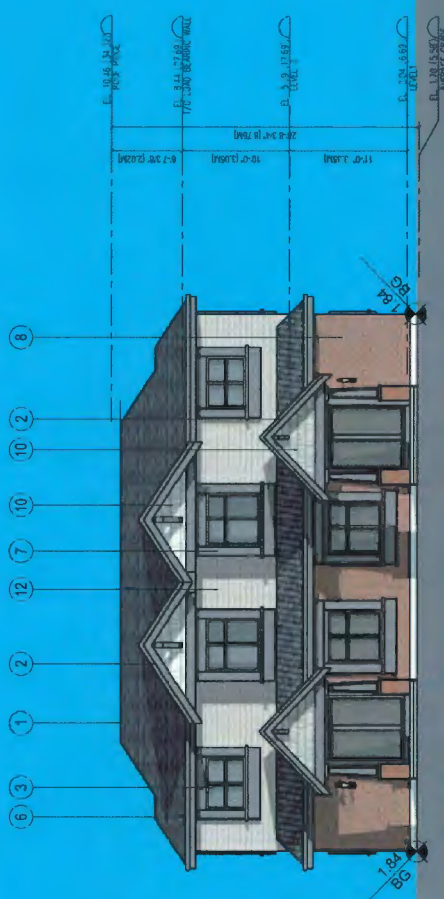
Scale  
**1/8"=1'-0"**

Sheet  
**A 3.4**

Revision

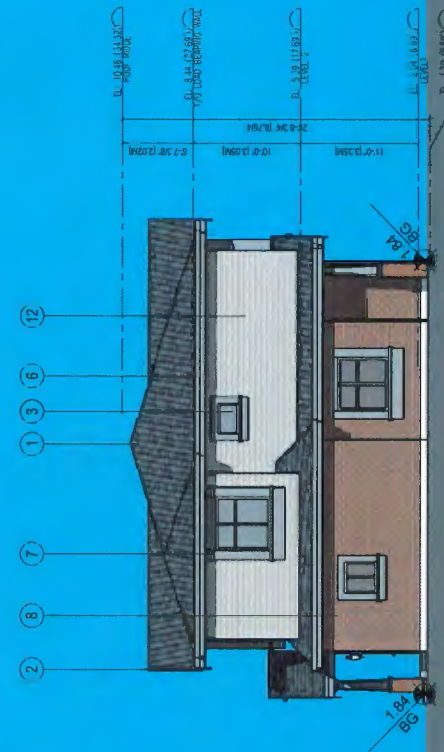


**3 BUILDING D EAST ELEVATION**  
 SCALE 1/8"=1'-0"

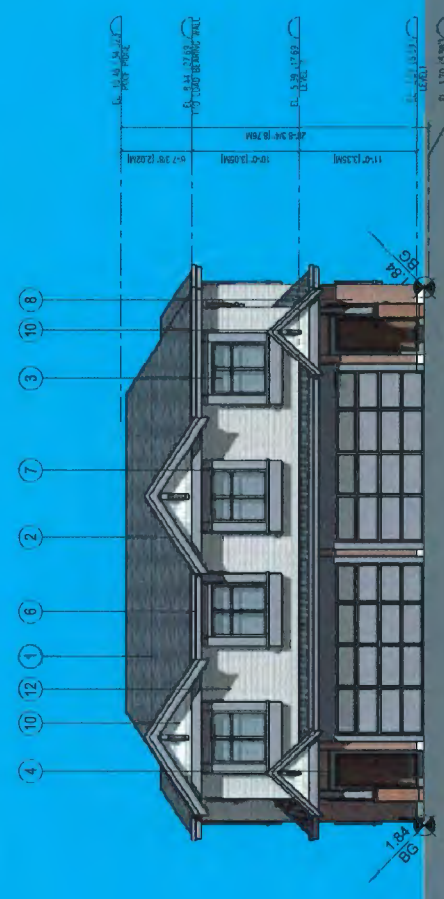


**1 BUILDING D NORTH ELEVATION**  
 SCALE 1/8"=1'-0"

- EXTERIOR FINISH MATERIAL SCHEDULE**
- HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
  - WOOD TRIM (BROWN)
  - DOUBLE GLAZED VINYL WINDOW (BROWN COLOUR FRAME & CLEAR GLAZING)
  - SOLID WOOD UNIT ENTRY DOOR W/ OPTIONAL TRANSLUCENT GLAZING SIDELITE (STAINED WOOD COLOUR)
  - PRE-FINISHED ALUMINUM RAILING (BROWN)
  - PRE-FINISHED ALUMINUM GUTTER & R.W.L. (BROWN)
  - PAINTED WOOD FRAME AROUND WINDOW & DOOR OPENING (BROW)
- EXTERIOR FINISH MATERIAL SCHEDULE**
- BRICK CLADDING (RED - DARKER)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, LIGHT BEIGE)
  - COMPOSITE CEMENT SHAKE, (HARDIE SHAKE, LIGHT GREY)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, BROWN)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, LIGHT PINK)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, WHITE)




**4 BUILDING D WEST ELEVATION**  
 SCALE 1/8"=1'-0"



**2 BUILDING D SOUTH ELEVATION**  
 SCALE 1/8"=1'-0"

**DP 20-896138**  
 Plan #2.F  
 December 14, 2020



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 ARCHITECTS INC. 1000-1000 BROADVIEW AVE. SUITE 100  
 MISSISSAUGA, ONTARIO L4X 1L3  
 TEL: (905) 876-1111 FAX: (905) 876-1112

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved, and remains as of hereinafter, the property of Imperial Architecture. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the expressed written consent of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Imperial Architecture. DO NOT SCALE DRAWINGS.



ISSUED FOR	DATE	BY
ISSUED FOR APP REVIEW	20.12.10	W.S.
ISSUED FOR REVISE	20.05.13	W.S.
ISSUED FOR SUBMISSION	20.07.14	W.S.
ISSUED FOR APPROVAL	20.07.14	W.S.
ISSUED FOR APPROVAL	20.07.14	W.S.

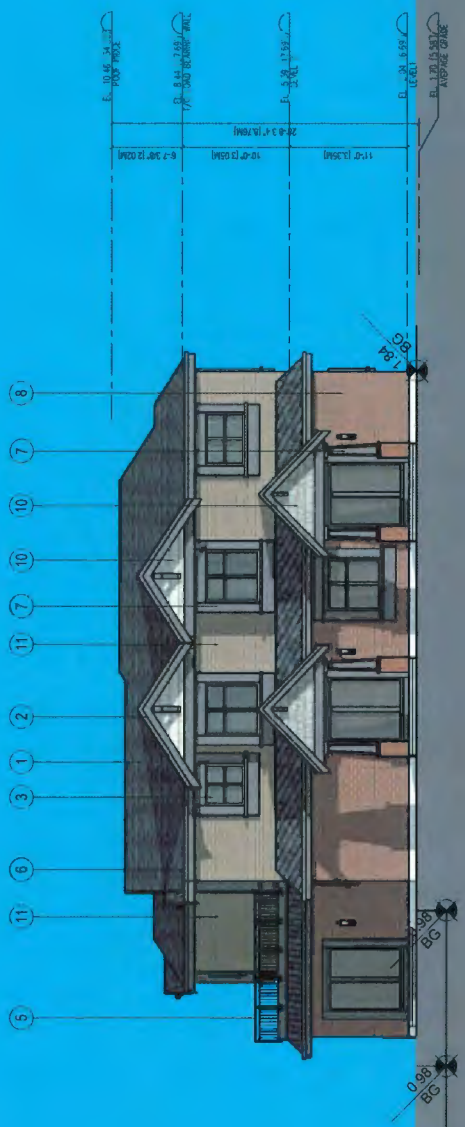
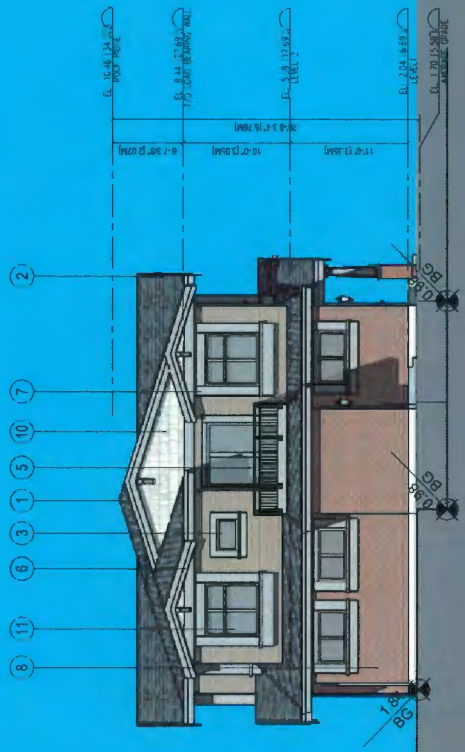
ISSUED FOR  
 DPP REVIEW  
 2020-12-10

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT  
 9571, 9591, 9611, 9671 STEVESTON HWY &  
 10851 SOUTHDALE ROAD, RICHMOND, BC  
 (DP 20-896138)

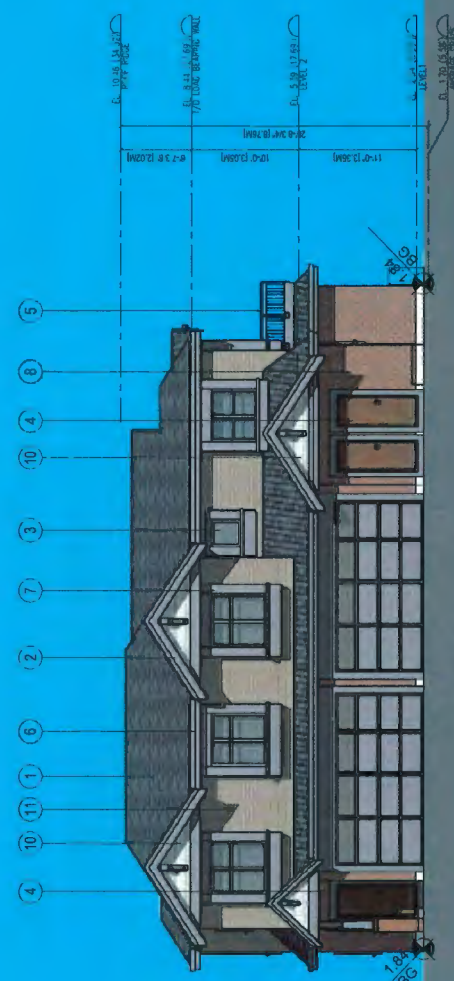
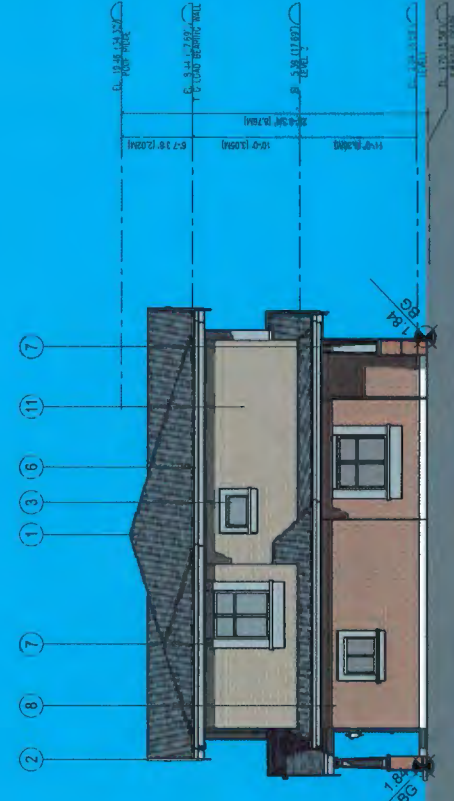
THE BUILDING E ELEVATIONS

Project No. #8211  
 Scale 1/8"=1'-0"  
 Drawing No. Sheet  
 Revision

A 3.5 of



- EXTERIOR FINISH MATERIAL SCHEDULE
- HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
  - WOOD TRIM (BROWN)
  - DOUBLE GLAZED VINYL WINDOW (BROWN COLOUR FRAME & CLEAR GLAZING)
  - SOLID WOOD UNIT ENTRY DOOR W/ OPTIONAL TRANSLUCENT GLAZING SIDELITE (STAINED WOOD COLOUR)
  - PRE-FINISHED ALUMINUM RAILING (BROWN)
  - PRE-FINISHED ALUMINUM GUTTER & R.W.L. (BROWN)
  - PAINTED WOOD FRAME AROUND WINDOW & DOOR OPENING (BROWN)
- EXTERIOR FINISH MATERIAL SCHEDULE
- BRICK CLADDING (RED - DARKER)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, LIGHT BEIGE)
  - COMPOSITE CEMENT SHAKE, (HARDIE SHAKE, LIGHT GREY)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, BROWN)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, LIGHT PINK)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, WHITE)



DP 20-896138  
 Plan #2.G  
 December 14, 2020

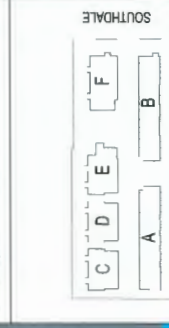




**IMPERIAL ARCHITECTURE**  
 ARCHITECTURE INTERIOR DESIGN PLANNING  
 HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 ADDRESS: 10000 148th Street, Delta, BC V4C 1L1  
 TEL: 604-273-1111 FAX: 604-273-1112  
 EMAIL: info@imperialarchitect.com

**Copyright Reserved**  
 The Copyright in this drawing and its contents is reserved, and remains in all times the property of Imperial Architecture. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Imperial Architecture.

**Dimensions**  
 The Contractor shall verify all dimensions, and immediately report any errors orally to the Architect. Dimensions shall be in accordance with the approved building permit conditions in Imperial Architecture. DO NOT SCALE DRAWINGS.



REVISION	DATE	BY	APP'D.
ISSUED FOR DPP REVIEW	20.12.10	J.L.	M.S.
ISSUED FOR EAST ELEVATION	20.08.19	J.L.	M.S.
ISSUED FOR WEST ELEVATION	20.08.19	J.L.	M.S.
ISSUED FOR SOUTH ELEVATION	20.08.19	J.L.	M.S.
ISSUED FOR NORTH ELEVATION	20.08.19	J.L.	M.S.
ISSUED FOR SUBMISSION	20.08.19	J.L.	M.S.
ISSUED FOR APPROVAL	20.08.19	J.L.	M.S.
ISSUED FOR PERMIT	20.08.19	J.L.	M.S.
ISSUED FOR CONSTRUCTION	20.08.19	J.L.	M.S.
ISSUED FOR ARCHITECT	20.08.19	J.L.	M.S.
ISSUED FOR CLIENT	20.08.19	J.L.	M.S.

**ISSUED FOR DPP REVIEW**  
 2020-12-10

**STEVESTON TOWNHOUSE DEVELOPMENT**  
 9571, 9591, 9611, 9671 STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (PP 20-896138)

**PROJECT INFORMATION**

Project No. #8211  
 Scale 1/8"=1'-0"  
 Drawing No. A 3.6  
 Revision

**CLIENT INFORMATION**

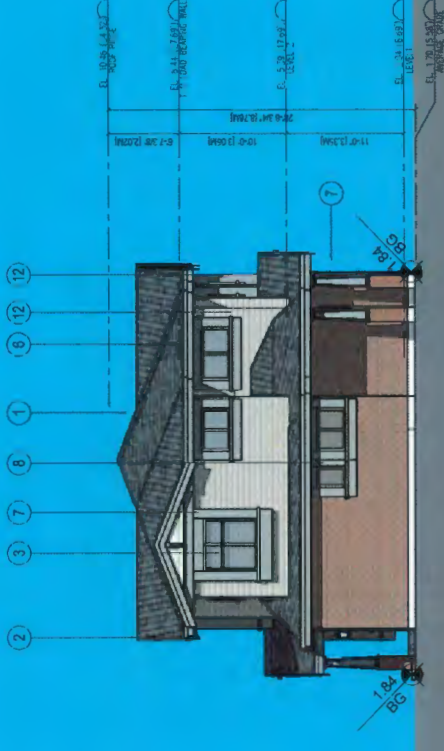
Client/Project STEVESTON TOWNHOUSE DEVELOPMENT  
 9571, 9591, 9611, 9671 STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (PP 20-896138)

**TITLE**

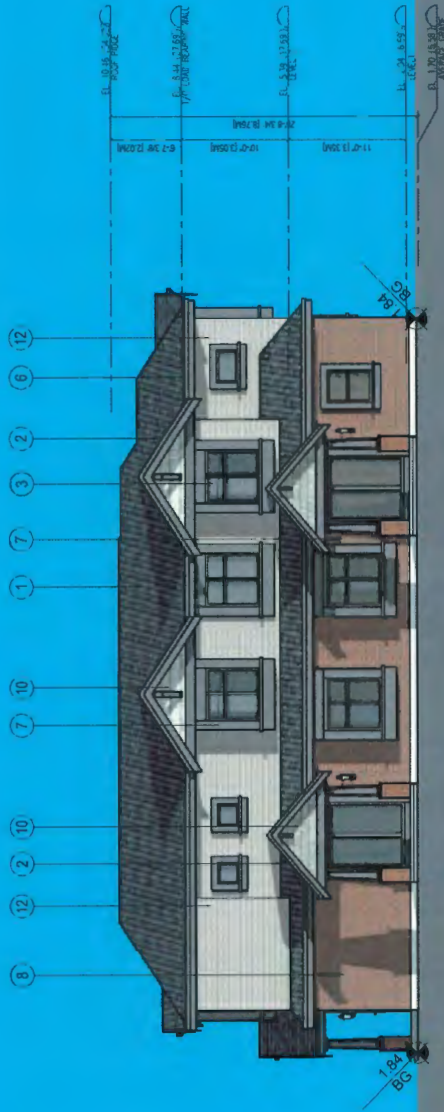
BUILDING F ELEVATIONS

**DATE**

December 14, 2020



**3 BUILDING F WEST ELEVATION**  
 SCALE 1/8"=1'-0"



**1 BUILDING F NORTH ELEVATION**  
 SCALE 1/8"=1'-0"

- EXTERIOR FINISH MATERIAL SCHEDULE**
- HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
  - WOOD TRIM (BROWN)
  - DOUBLE GLAZED VINYL WINDOW (BROWN COLOUR FRAME & CLEAR GLAZING)
  - SOLID WOOD UNIT ENTRY DOOR W/ OPTIONAL TRANSLUCENT GLAZING SIDELITE (STAINED WOOD COLOUR)
  - PRE-FINISHED ALUMINUM RAILING (BROWN)
  - PRE-FINISHED ALUMINUM GUTTER & R.W.L. (BROWN)
  - PAINTED WOOD FRAME AROUND WINDOW & DOOR OPENING (BROW)
- EXTERIOR FINISH MATERIAL SCHEDULE**
- BRICK CLADDING (RED - DARKER)
  - COMPOSITE CEMENT LAP SIDING (HARDIE SIDING, LIGHT BEIGE)
  - COMPOSITE CEMENT SHAKE, (HARDIE SHAKE, LIGHT GREY)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, BROWN)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, LIGHT PINK)
  - COMPOSITE CEMENT LAP SIDING, (HARDIE SIDING, WHITE)



**4 BUILDING F EAST ELEVATION**  
 SCALE 1/8"=1'-0"



**2 BUILDING F SOUTH ELEVATION**  
 SCALE 1/8"=1'-0"

**DP 20-896138**  
 Plan #2.H  
 December 14, 2020

Copyright reserved. The drawings and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.



#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com



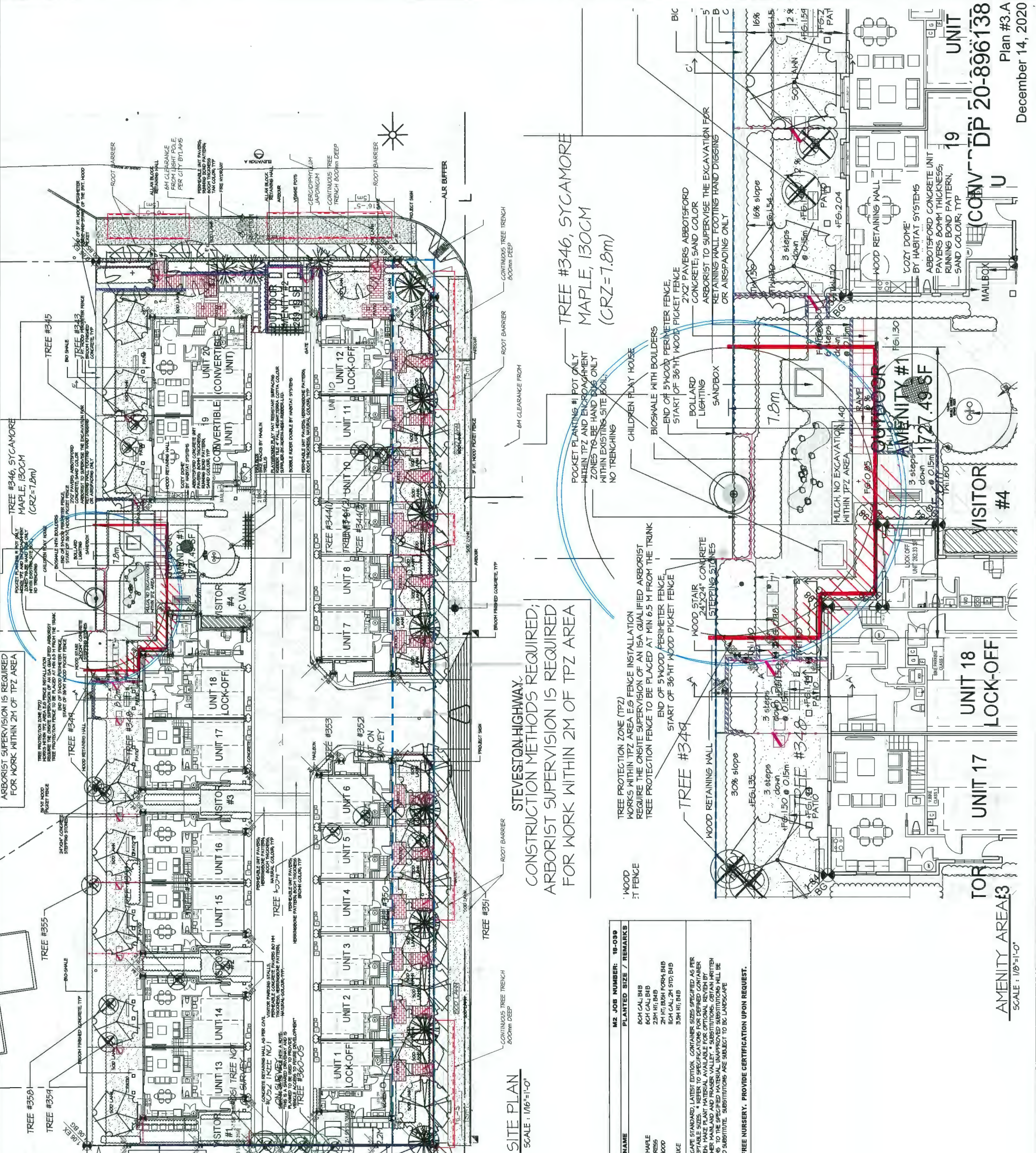
NO.	DATE	REVISION DESCRIPTION	DR.
20	2020/09/08	REV AS PER CITY COMMENTS	GP
19	2020/09/08	REV AS PER CITY COMMENTS	GP
18	2020/09/02	REV AS PER CITY COMMENTS	GP
17	2020/09/02	REV AS PER CITY COMMENTS	GP
16	2020/09/02	REV AS PER CITY COMMENTS	GP
15	2020/09/02	REV AS PER ARCH COMMENTS	GP
14	2020/09/02	REV AS PER ARCH COMMENTS	GP
13	2020/09/02	REV AS PER ARCH COMMENTS	GP
12	2020/09/02	REV AS PER ARCH COMMENTS	GP
11	2020/09/02	REV AS PER ARCH COMMENTS	GP
10	2020/09/02	REV AS PER ARCH COMMENTS	GP
9	2020/09/02	REV AS PER ARCH COMMENTS	GP
8	2020/09/02	REV AS PER ARCH COMMENTS	GP
7	2020/09/02	REV AS PER ARCH COMMENTS	GP
6	2020/09/02	REV AS PER ARCH COMMENTS	GP
5	2020/09/02	REV AS PER ARCH COMMENTS	GP
4	2020/09/02	REV AS PER ARCH COMMENTS	GP
3	2020/09/02	REV AS PER ARCH COMMENTS	GP
2	2020/09/02	REV AS PER ARCH COMMENTS	GP
1	2020/09/02	REV AS PER ARCH COMMENTS	GP

PROJECT:  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
9691-9671 Steveston Hwy  
10831 Southdale Rd  
RICHMOND, BC

DRAWING TITLE:  
**TREE PLAN OVERALL**

DATE: 18-MAY-24  
SCALE: VARIES  
DRAWN: DT  
DESIGN: DT  
CHKD: PTF

DRAWING NUMBER:  
M2LA PROJECT NUMBER: 18-039



IRRIGATION NOTE:  
ALL LANDSCAPE AREAS, INCLUDING PLANTERS ARE TO HAVE EFFICIENCY DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM WILL BE PROVIDED AS A DETAILED CONSTRUCTION PACKAGE BY DESIGN-BUILDER. DURING CONSTRUCTION STAGE BY DESIGN-BUILDER, PLEASE PRESENT A DESIGN BUILD DRAWING TO LANDSCAPE ARCHITECTS FOR REVIEW AND SIGN OFF PRIOR TO INSTALLATION. COORDINATION WITH THE MECHANICAL ENGINEER REGARDING POINTS OF CONNECTION AND CONTROLLER IS REQUIRED. CONTROLLER TO BE HARDWIRED.

**SITE PLAN**  
SCALE: 1/16"=1'-0"

**PLANT SCHEDULE - OVERALL**

KEY CITY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER: 18-039	PLANTED SIZE / REMARKS
WINE	MAPLE	MAPLE	60H CAL B&B	
PAPERBARK	MAPLE	MAPLE	60H CAL B&B	
MOULTA	COTONEASTRIBIS	COTONEASTRIBIS	23H HI B&B	
MOULTA	COTONEASTRIBIS	COTONEASTRIBIS	60H CAL 24 SPS, B&B	
SHERIDAN	SERICEA	SERICEA	35H HI, B&B	

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER STANDARD. \*\* SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS, OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL UNLESS APPROVED OTHERWISE. \*\* SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

UNIT 19  
CONV DP 20-896138  
Plan #3.A  
December 14, 2020

**PLANT SCHEDULE - OVERALL**

KEY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER: 18-039	PLANTED SIZE / REMARKS
1	ACER CIRCINATUM	RED MAPLE		60M CAL B/B
2	ACER GRiseum	PAPERBARK MAPLE		60M CAL B/B
3	CHAMAECYPARIS NOOKATATENSIS	NOOKA SPRUCE		2.5M HT B/B
4	CORNUS KOUSA	DOGWOOD		2M HT, BUSH FORM; B/B
5	LIRIODENDRON STRACIFLUA	YELLOW BIRCH		1.8M CAL; 2H-5TD; B/B
6	PICEA OCHROICA	SERBIAN SPRUCE		3.5M HT; B/B

NOTES: 1. PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CIVIL STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT PRIOR TO ORDERING. \* ORDERING AND DELIVERY OF PLANT MATERIAL IS THE RESPONSIBILITY OF THE CLIENT. \* PLANT MATERIAL WILL BE DELIVERED TO THE PROJECT SITE WITHIN A MAXIMUM OF FIVE DAYS PRIOR TO DELIVERY. \* SUBSTITUTIONS TO THE SPECIFIED MATERIAL, UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* PROVIDE CERTIFICATION UPON REQUEST.



CHAMAECYPARIS NOOKATATENSIS



CORNUS KOUSA



ACER CIRCINATUM



ACER GRiseum

©Copyright reserved. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.

# M2

**LANDSCAPE ARCHITECTURE**

#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com

#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
24	2020/06/08	REV. AS PER CITY COMMENTS	GB
23	2020/06/08	REV. AS PER CITY COMMENTS	GB
22	2020/06/08	REV. AS PER CITY COMMENTS	GB
21	2020/06/08	REV. AS PER CITY COMMENTS	GB
20	2020/06/08	REV. AS PER CITY COMMENTS	GB
19	2020/06/08	REV. AS PER CITY COMMENTS	GB
18	2020/06/08	REV. AS PER CITY COMMENTS	GB
17	2020/06/08	REV. AS PER CITY COMMENTS	GB
16	2020/06/08	REV. AS PER CITY COMMENTS	GB
15	2020/06/08	REV. AS PER CITY COMMENTS	GB
14	2020/06/08	REV. AS PER CITY COMMENTS	GB
13	2020/06/08	REV. AS PER CITY COMMENTS	GB
12	2020/06/08	REV. AS PER CITY COMMENTS	GB
11	2020/06/08	REV. AS PER CITY COMMENTS	GB
10	2020/06/08	REV. AS PER CITY COMMENTS	GB
9	2020/06/08	REV. AS PER CITY COMMENTS	GB
8	2020/06/08	REV. AS PER CITY COMMENTS	GB
7	2020/06/08	REV. AS PER CITY COMMENTS	GB
6	2020/06/08	REV. AS PER CITY COMMENTS	GB
5	2020/06/08	REV. AS PER CITY COMMENTS	GB
4	2020/06/08	REV. AS PER CITY COMMENTS	GB
3	2020/06/08	REV. AS PER CITY COMMENTS	GB
2	2020/06/08	REV. AS PER CITY COMMENTS	GB
1	2020/06/08	REV. AS PER CITY COMMENTS	GB

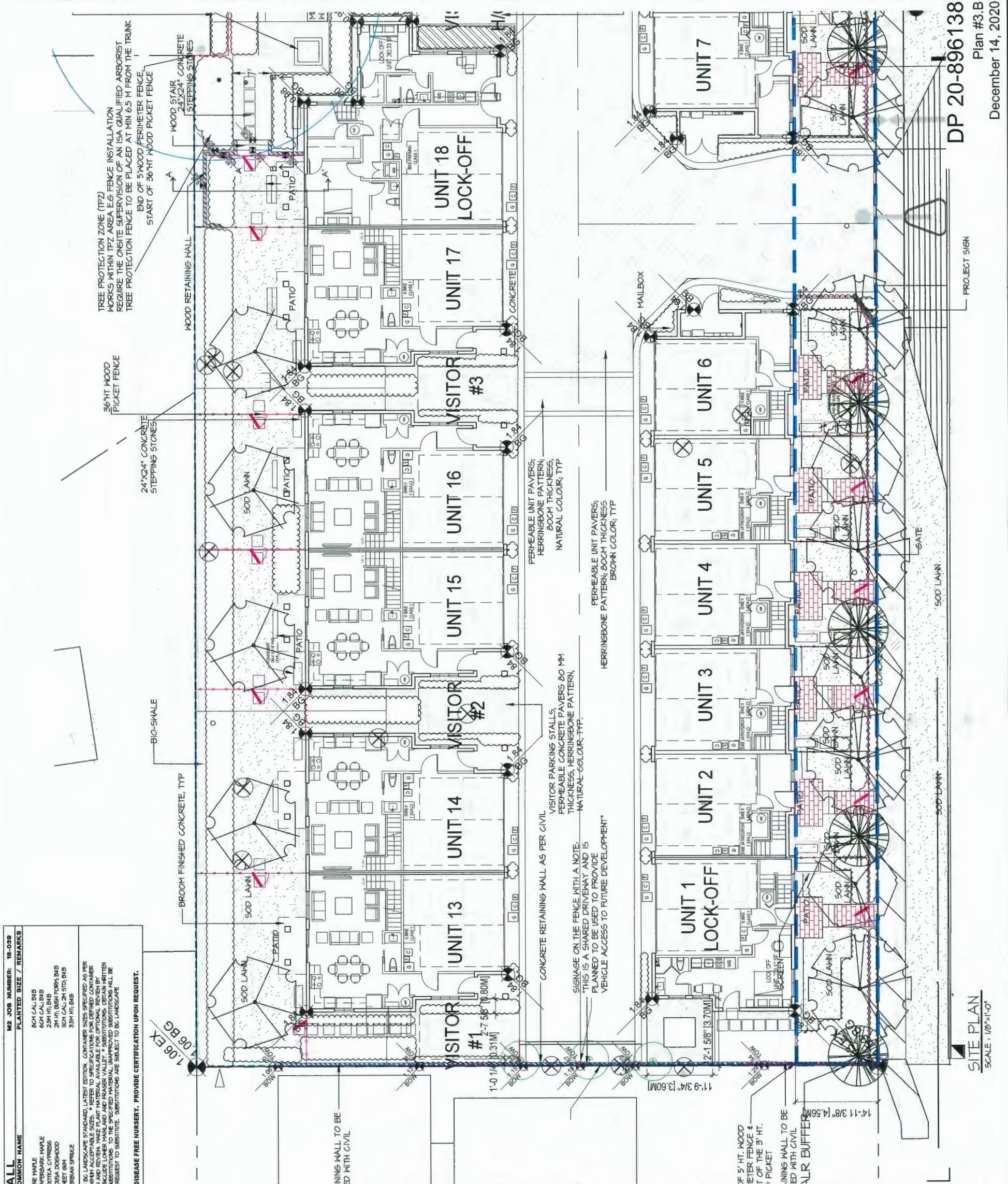
**PROJECT:**  
STEVESTON TOWNHOUSE DEVELOPMENT  
9597-9671 Steveston Hwy  
10831 Southdale Rd  
RICHMOND, BC

**DRAWING TITLE:**  
TREE PLAN WEST

**DATE:** 19 MAY 21  
**SCALE:** 1/8"=1'-0"  
**DRAWN:** DT  
**DESIGN:** DT  
**CHK'D:** HFM  
**M2LA PROJECT NUMBER:** 18-039

**DRAWING NUMBER:**  
**DATE:** 19 MAY 21  
**SCALE:** 1/8"=1'-0"  
**DRAWN:** DT  
**DESIGN:** DT  
**CHK'D:** HFM  
**M2LA PROJECT NUMBER:** 18-039

**OF 12**  
#B-039



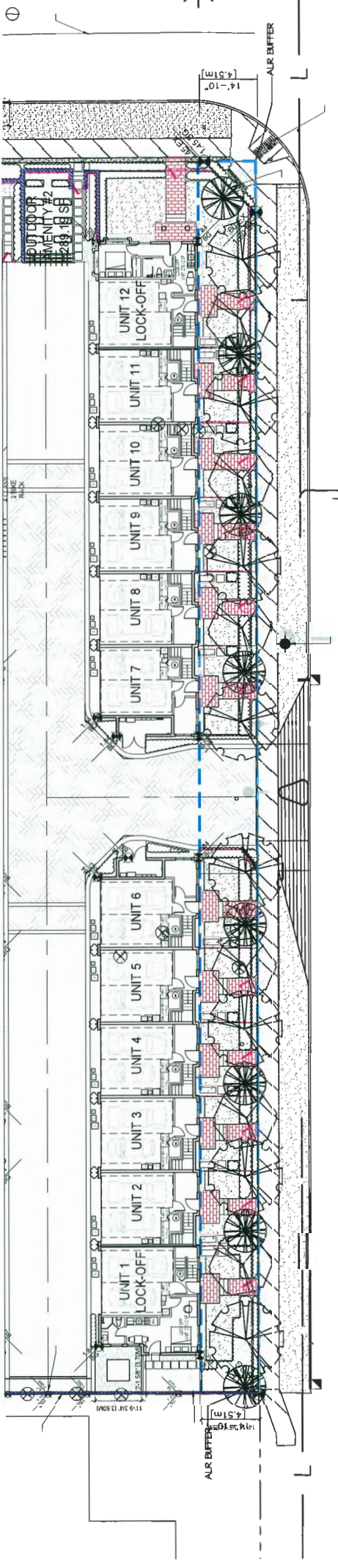
**DP 20-896138**  
Plan #3.B  
December 14, 2020



©Copyright reserved. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.



#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2ia.com

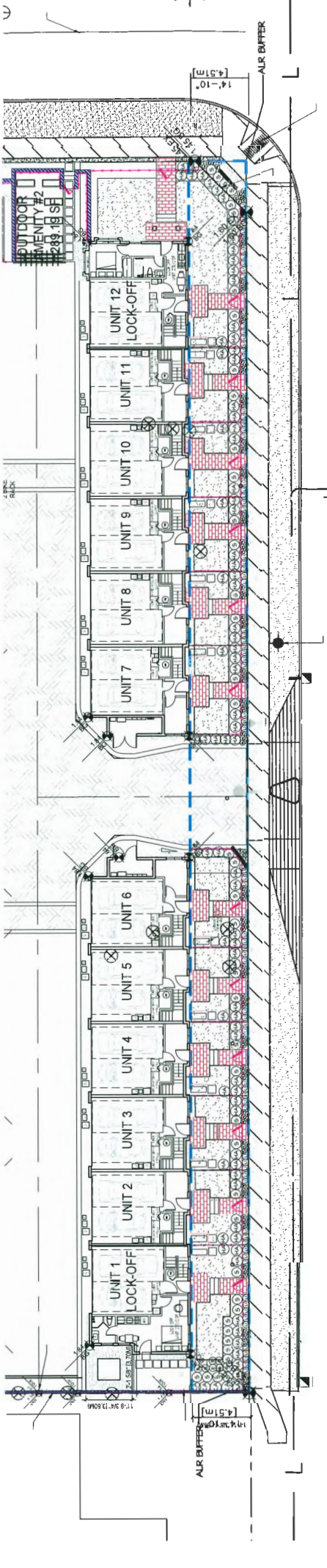


TREE PLAN - ALR BUFFER  
SCALE: 1/16"=1'-0"

PLANT SCHEDULE :ALR		M2 JOB NUMBER: 18-039	
KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	ACER GRSEMI	PAPERBARK MAPLE	60H GAL B/B
2	CHAMAELIPARIS NORTKATENS	WINTER GREEN	25H HT B/B
3	CORNUS KOLERA	KORSA DOGWOOD	24 HT BISH FORM B/B

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ORTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.



SHRUB PLAN - ALR BUFFER  
SCALE: 1/16"=1'-0"

PLANT SCHEDULE		M2 JOB NUMBER: 18-039	
KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
6	BIANTHE ALATA COMPACTUS	COMPACT RINKED BRINK BUSH	12 POT: 30CH
8	HYDRANSEA PANICULATA 'BRANDIFLORA'	SHOWHILL HYDRANSEA	18 POT: 30CH
5	KALMA LATIFOLIA	MORITAIN LABEL	1H B/B
4	SPROEA X BHALDA ANTHONY WATERER	SPROEA	12 POT: 40CH
156	FESTUCA OVINA BLANCA	BLUE FESCUE	11 POT
50	LAVENDULA ANGIUSTIFOLIA	ENGLISH LAVENDER	12 POT

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ORTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

NO.	DATE	REVISION DESCRIPTION	DR.
20	2020/06/04	REV AS PER CITY COMMENTS	GB
19	2020/06/04	REV AS PER CITY COMMENTS	GB
18	2020/06/12	REV AS PER CITY COMMENTS	GB
17	2020/06/10	REV AS PER CITY COMMENTS	GB
16	2020/06/19	RESOLVE FOR DP	GB
15	2020/06/18	REV AS PER ARCH COMMENTS	GB
14	2020/06/10	REV AS PER ARCH COMMENTS	GB
13	2020/06/12	REV AS PER ARCH COMMENTS	GB
12	2020/06/04	REV AS PER ARCH COMMENTS	GB
11	2020/06/10	REV AS PER ARCH COMMENTS	GB
10	2020/06/19	REV AS ARCH COMMENTS	GB
9	2020/06/18	REV AS ARCH COMMENTS	GB
8	2020/06/12	REV AS PER ARCH COMMENTS	GB
7	2020/06/12	REV AS PER ARCH COMMENTS	GB
6	2020/06/18	REV AS PER ARCH COMMENTS	GB
5	2020/06/18	REV AS PER ARCH COMMENTS	GB
4	2020/06/18	REV AS PER ARCH COMMENTS	GB
3	2020/06/18	REV AS PER ARCH COMMENTS	GB
2	2020/06/18	REV AS PER ARCH COMMENTS	GB
1	2020/06/18	REV AS PER ARCH COMMENTS	GB

PROJECT:  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
9897-9871 Steveston Hwy  
10831 Southdale Rd  
RICHMOND, BC

DRAWING TITLE:  
**ALR BUFFER PLAN**

DATE:	18 MAY 20	DRAWING NUMBER:
SCALE:	1/8"=1'-0"	
DRAWN:	DY	
DESIGN:	DY	
CHECK:	HTM	
M2IA PROJECT NUMBER:		OF 12
		18-039

DP 20-896138  
Plan #3.D  
December 14, 2020

Copyright reserved. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.



#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com



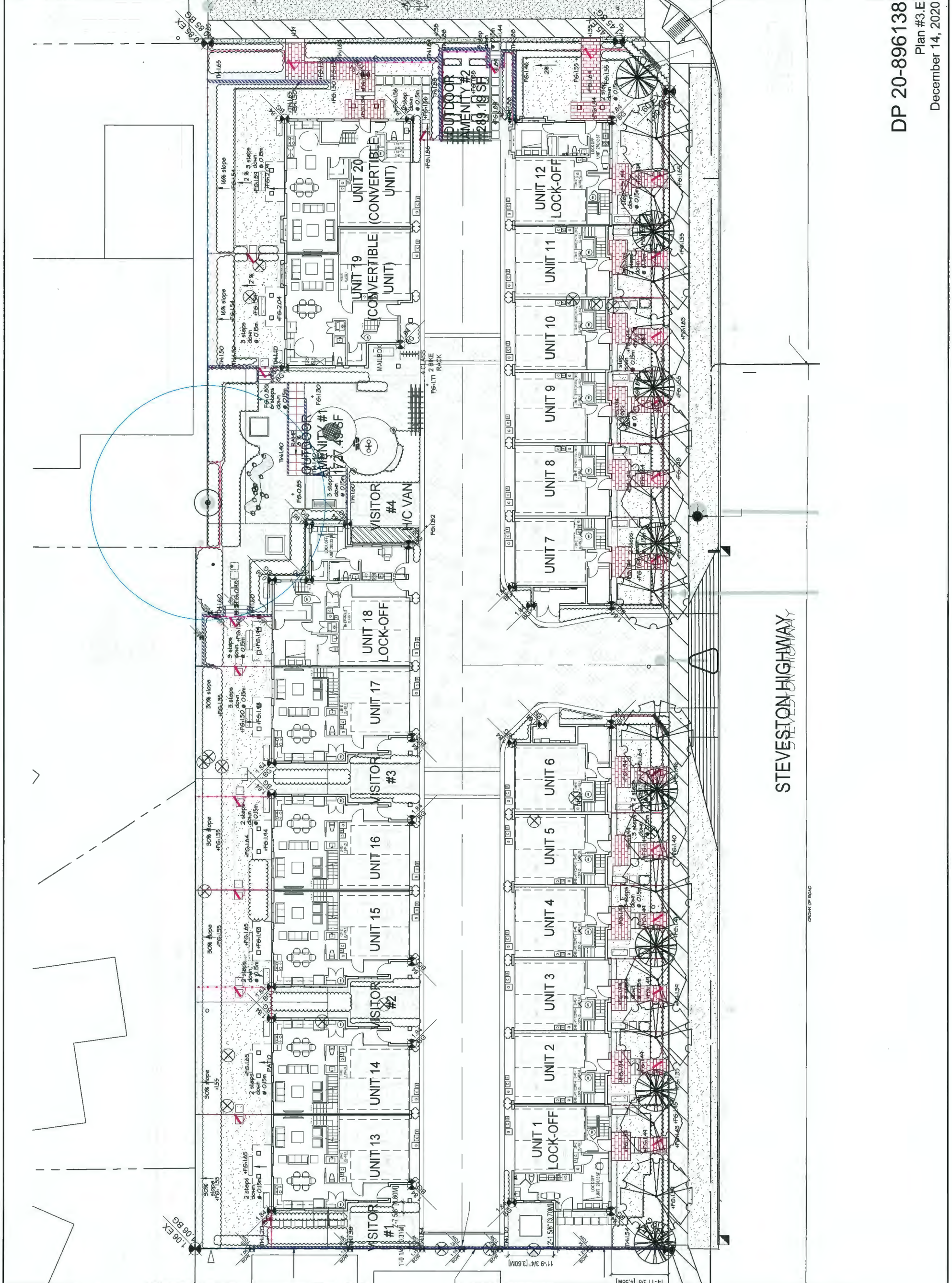
NO.	DATE	REVISION DESCRIPTION	DR.
22	2020/08/08	REV AS PER CITY COMMENTS	GP
23	2020/08/08	REV AS PER CITY COMMENTS	GP
24	2020/08/12	REV AS PER CITY COMMENTS	GP
25	2020/08/12	REV AS PER CITY COMMENTS	GP
26	2020/08/14	REV AS PER CITY COMMENTS	GP
27	2020/08/14	REV AS PER CITY COMMENTS	GP
28	2020/08/14	REV AS PER CITY COMMENTS	GP
29	2020/08/14	REV AS PER CITY COMMENTS	GP
30	2020/08/14	REV AS PER CITY COMMENTS	GP
31	2020/08/14	REV AS PER CITY COMMENTS	GP
32	2020/08/14	REV AS PER CITY COMMENTS	GP
33	2020/08/14	REV AS PER CITY COMMENTS	GP
34	2020/08/14	REV AS PER CITY COMMENTS	GP
35	2020/08/14	REV AS PER CITY COMMENTS	GP
36	2020/08/14	REV AS PER CITY COMMENTS	GP
37	2020/08/14	REV AS PER CITY COMMENTS	GP
38	2020/08/14	REV AS PER CITY COMMENTS	GP
39	2020/08/14	REV AS PER CITY COMMENTS	GP
40	2020/08/14	REV AS PER CITY COMMENTS	GP
41	2020/08/14	REV AS PER CITY COMMENTS	GP
42	2020/08/14	REV AS PER CITY COMMENTS	GP
43	2020/08/14	REV AS PER CITY COMMENTS	GP
44	2020/08/14	REV AS PER CITY COMMENTS	GP
45	2020/08/14	REV AS PER CITY COMMENTS	GP
46	2020/08/14	REV AS PER CITY COMMENTS	GP
47	2020/08/14	REV AS PER CITY COMMENTS	GP
48	2020/08/14	REV AS PER CITY COMMENTS	GP
49	2020/08/14	REV AS PER CITY COMMENTS	GP
50	2020/08/14	REV AS PER CITY COMMENTS	GP
51	2020/08/14	REV AS PER CITY COMMENTS	GP
52	2020/08/14	REV AS PER CITY COMMENTS	GP
53	2020/08/14	REV AS PER CITY COMMENTS	GP
54	2020/08/14	REV AS PER CITY COMMENTS	GP
55	2020/08/14	REV AS PER CITY COMMENTS	GP
56	2020/08/14	REV AS PER CITY COMMENTS	GP
57	2020/08/14	REV AS PER CITY COMMENTS	GP
58	2020/08/14	REV AS PER CITY COMMENTS	GP
59	2020/08/14	REV AS PER CITY COMMENTS	GP
60	2020/08/14	REV AS PER CITY COMMENTS	GP
61	2020/08/14	REV AS PER CITY COMMENTS	GP
62	2020/08/14	REV AS PER CITY COMMENTS	GP
63	2020/08/14	REV AS PER CITY COMMENTS	GP
64	2020/08/14	REV AS PER CITY COMMENTS	GP
65	2020/08/14	REV AS PER CITY COMMENTS	GP
66	2020/08/14	REV AS PER CITY COMMENTS	GP
67	2020/08/14	REV AS PER CITY COMMENTS	GP
68	2020/08/14	REV AS PER CITY COMMENTS	GP
69	2020/08/14	REV AS PER CITY COMMENTS	GP
70	2020/08/14	REV AS PER CITY COMMENTS	GP
71	2020/08/14	REV AS PER CITY COMMENTS	GP
72	2020/08/14	REV AS PER CITY COMMENTS	GP
73	2020/08/14	REV AS PER CITY COMMENTS	GP
74	2020/08/14	REV AS PER CITY COMMENTS	GP
75	2020/08/14	REV AS PER CITY COMMENTS	GP
76	2020/08/14	REV AS PER CITY COMMENTS	GP
77	2020/08/14	REV AS PER CITY COMMENTS	GP
78	2020/08/14	REV AS PER CITY COMMENTS	GP
79	2020/08/14	REV AS PER CITY COMMENTS	GP
80	2020/08/14	REV AS PER CITY COMMENTS	GP
81	2020/08/14	REV AS PER CITY COMMENTS	GP
82	2020/08/14	REV AS PER CITY COMMENTS	GP
83	2020/08/14	REV AS PER CITY COMMENTS	GP
84	2020/08/14	REV AS PER CITY COMMENTS	GP
85	2020/08/14	REV AS PER CITY COMMENTS	GP
86	2020/08/14	REV AS PER CITY COMMENTS	GP
87	2020/08/14	REV AS PER CITY COMMENTS	GP
88	2020/08/14	REV AS PER CITY COMMENTS	GP
89	2020/08/14	REV AS PER CITY COMMENTS	GP
90	2020/08/14	REV AS PER CITY COMMENTS	GP
91	2020/08/14	REV AS PER CITY COMMENTS	GP
92	2020/08/14	REV AS PER CITY COMMENTS	GP
93	2020/08/14	REV AS PER CITY COMMENTS	GP
94	2020/08/14	REV AS PER CITY COMMENTS	GP
95	2020/08/14	REV AS PER CITY COMMENTS	GP
96	2020/08/14	REV AS PER CITY COMMENTS	GP
97	2020/08/14	REV AS PER CITY COMMENTS	GP
98	2020/08/14	REV AS PER CITY COMMENTS	GP
99	2020/08/14	REV AS PER CITY COMMENTS	GP
100	2020/08/14	REV AS PER CITY COMMENTS	GP

PROJECT:  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
9591-9671 Steveston Hwy  
10831 Southdale Rd  
RICHMOND, BC

DRAWING TITLE:  
**GRADING PLAN**

DATE: 19 MAY 20  
SCALE: VARIES  
DRAWN: DT  
DESIGN: DT  
CHKD: MFM  
M2LA PROJECT NUMBER: 15-039

DP 20-896138  
Plan #3.E  
December 14, 2020



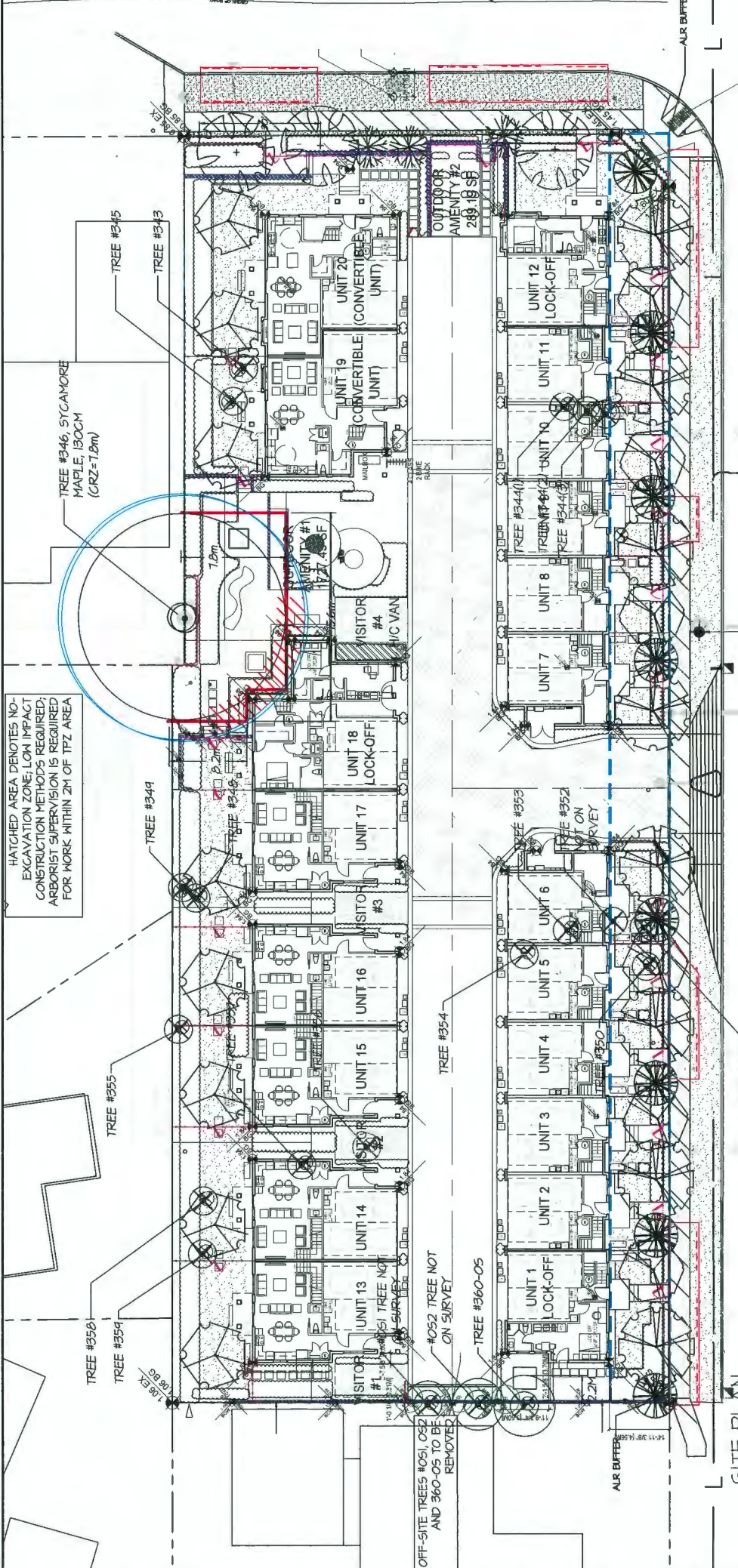
EXISTING TREES:  
refer to the arborist report

Tree Number	Species	DBH cm
343	Prunus spp. Flowering cherry	22
344	Chaemacyparis pisifera, Sawara cypress	40 (average)
345	Betula pendula, European birch	62
346	Acer pseudoplatanus, Sycamore maple	130
347	Quercus robur, English oak	57
348	Acer pseudoplatanus, Sycamore maple	15 (average)
349	Acer pseudoplatanus, Sycamore maple	16 (average)
350	Pinus densifolia, Japanese red pine	38
351	Prunus cerasifera, Flowering plum	45
352	Acer palmatum, Japanese maple	10 (average)
353	Pinus densifolia, Japanese red pine	30
354	Pinus densifolia, Japanese red pine	26
355	Picea pungens, Blue colorado spruce	38
356	Prunus cerasifera, Flowering plum	26
357	Aesculus hippocastanum, Horsechestnut	100
358	Malus spp., Apple	30
359	Pyrus calleryana, Pear	20
360-OS	Pinus nigra, Austrian pine	35
OS1	Pinus nigra, Austrian pine	27
OS2	Pinus nigra, Austrian pine	30

TOTAL NO. OF REPLACEMENT TREES : 36

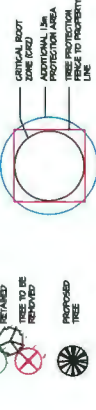
**PLANT SCHEDULE - OVERALL**

NO.	SYMBOL	NAME	NO. PLANTS	REMARKS
1	[Symbol]	Pinus nigra, Austrian pine	36	REPLACEMENT TREES
2	[Symbol]	Pinus nigra, Austrian pine	36	REPLACEMENT TREES



STEEVESTON HIGHWAY

SITE PLAN  
SCALE: 1/16"=1'-0"



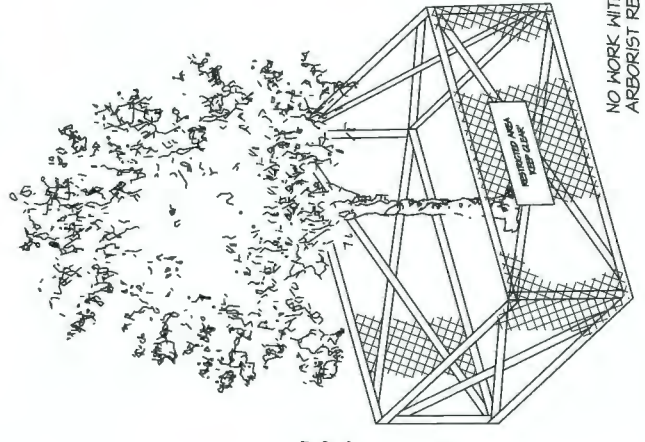
COORDINATION WITH ARBORIST - NOTE:  
NO WORK IS TO BE DONE WITHIN 1.5M OF TREE PROTECTION FENCING. PREPARATORY WORK AND CONSTRUCTION WITHIN AND IN DIRECTLY ADJACENT TO ANY TREE PROTECTION ZONE WILL REQUIRE LOW IMPACT METHODS AND MATERIALS TO BE USED TO MITIGATE ROOT AND SOIL IMPACTS. ALL SUCH WORKS ARE TO BE COORDINATED WITH THE PROJECT ARBORIST IN ADVANCE OF COMMENCING THEM, AND SUPERVISED AT THE DISCRETION OF THE PROJECT ARBORIST IN ACCORDANCE WITH ARBORICULTURAL BEST MANAGEMENT PRACTICES.  
NO EXCAVATION IS TO OCCUR WITHIN THE TREE PROTECTION ZONE. NO GRADE CHANGES ARE TO OCCUR WITHIN THE TREE PROTECTION AREA.  
PROJECT ARBORIST TO COORDINATE WITH ARCHITECT FOR CANTILEVERED SLAB BUILDING FOOTPRINT WITHIN NO WORK ZONE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.  
TREE REMOVALS AND RETENTION DEPICTED ON THIS PLAN ARE BASED ON THE MOST RECENT FORM OF DEVELOPMENT SUBMITTED TO M2.  
TREE #346, SYCAMORE MAPLE, IS TO BE EVALUATED ON A YEARLY BASIS AND/OR AFTER ANY MAJOR STORM EVENT, BY A QUALIFIED TREE RISK ASSESSOR.  
TREE PROTECTION FENCE TO BE PLACED AT MIN 6.5M FROM FACE OF TRUNK

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETRE In cm. @ dbh. #	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5
100	6.0

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100CM dbh.  
\*DIAMETRE AT BREAST HEIGHT OR 1.4M FROM GRADE.



NO WORK WITHIN 1.5M OF TREE PROTECTION FENCING  
ARBORIST REQUIRED ON SITE TO MONITOR ALL WORK WITHIN TPZ

1 TREE PROTECTION BARRIER

L1 N.T.S.

DP 20-896138

Plan #3.F  
December 14, 2020



#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
22	20200508	REV AS PER CITY COMMENTS	GB
23	20200508	REV AS PER CITY COMMENTS	GB
24	20200512	REV AS PER CITY COMMENTS	GB
25	20200512	REV AS PER CITY COMMENTS	GB
26	20200514	REV AS PER CITY COMMENTS	GB
27	20200514	REV AS PER CITY COMMENTS	GB
28	20200514	REV AS PER CITY COMMENTS	GB
29	20200514	REV AS PER CITY COMMENTS	GB
30	20200514	REV AS PER CITY COMMENTS	GB
31	20200514	REV AS PER CITY COMMENTS	GB
32	20200514	REV AS PER CITY COMMENTS	GB
33	20200514	REV AS PER CITY COMMENTS	GB
34	20200514	REV AS PER CITY COMMENTS	GB
35	20200514	REV AS PER CITY COMMENTS	GB
36	20200514	REV AS PER CITY COMMENTS	GB
37	20200514	REV AS PER CITY COMMENTS	GB
38	20200514	REV AS PER CITY COMMENTS	GB
39	20200514	REV AS PER CITY COMMENTS	GB
40	20200514	REV AS PER CITY COMMENTS	GB
41	20200514	REV AS PER CITY COMMENTS	GB
42	20200514	REV AS PER CITY COMMENTS	GB
43	20200514	REV AS PER CITY COMMENTS	GB
44	20200514	REV AS PER CITY COMMENTS	GB
45	20200514	REV AS PER CITY COMMENTS	GB
46	20200514	REV AS PER CITY COMMENTS	GB
47	20200514	REV AS PER CITY COMMENTS	GB
48	20200514	REV AS PER CITY COMMENTS	GB
49	20200514	REV AS PER CITY COMMENTS	GB
50	20200514	REV AS PER CITY COMMENTS	GB
51	20200514	REV AS PER CITY COMMENTS	GB
52	20200514	REV AS PER CITY COMMENTS	GB
53	20200514	REV AS PER CITY COMMENTS	GB
54	20200514	REV AS PER CITY COMMENTS	GB
55	20200514	REV AS PER CITY COMMENTS	GB
56	20200514	REV AS PER CITY COMMENTS	GB
57	20200514	REV AS PER CITY COMMENTS	GB
58	20200514	REV AS PER CITY COMMENTS	GB
59	20200514	REV AS PER CITY COMMENTS	GB
60	20200514	REV AS PER CITY COMMENTS	GB
61	20200514	REV AS PER CITY COMMENTS	GB
62	20200514	REV AS PER CITY COMMENTS	GB
63	20200514	REV AS PER CITY COMMENTS	GB
64	20200514	REV AS PER CITY COMMENTS	GB
65	20200514	REV AS PER CITY COMMENTS	GB
66	20200514	REV AS PER CITY COMMENTS	GB
67	20200514	REV AS PER CITY COMMENTS	GB
68	20200514	REV AS PER CITY COMMENTS	GB
69	20200514	REV AS PER CITY COMMENTS	GB
70	20200514	REV AS PER CITY COMMENTS	GB
71	20200514	REV AS PER CITY COMMENTS	GB
72	20200514	REV AS PER CITY COMMENTS	GB
73	20200514	REV AS PER CITY COMMENTS	GB
74	20200514	REV AS PER CITY COMMENTS	GB
75	20200514	REV AS PER CITY COMMENTS	GB
76	20200514	REV AS PER CITY COMMENTS	GB
77	20200514	REV AS PER CITY COMMENTS	GB
78	20200514	REV AS PER CITY COMMENTS	GB
79	20200514	REV AS PER CITY COMMENTS	GB
80	20200514	REV AS PER CITY COMMENTS	GB
81	20200514	REV AS PER CITY COMMENTS	GB
82	20200514	REV AS PER CITY COMMENTS	GB
83	20200514	REV AS PER CITY COMMENTS	GB
84	20200514	REV AS PER CITY COMMENTS	GB
85	20200514	REV AS PER CITY COMMENTS	GB
86	20200514	REV AS PER CITY COMMENTS	GB
87	20200514	REV AS PER CITY COMMENTS	GB
88	20200514	REV AS PER CITY COMMENTS	GB
89	20200514	REV AS PER CITY COMMENTS	GB
90	20200514	REV AS PER CITY COMMENTS	GB
91	20200514	REV AS PER CITY COMMENTS	GB
92	20200514	REV AS PER CITY COMMENTS	GB
93	20200514	REV AS PER CITY COMMENTS	GB
94	20200514	REV AS PER CITY COMMENTS	GB
95	20200514	REV AS PER CITY COMMENTS	GB
96	20200514	REV AS PER CITY COMMENTS	GB
97	20200514	REV AS PER CITY COMMENTS	GB
98	20200514	REV AS PER CITY COMMENTS	GB
99	20200514	REV AS PER CITY COMMENTS	GB
100	20200514	REV AS PER CITY COMMENTS	GB

PROJECT:  
**STEEVESTON TOWNHOUSE DEVELOPMENT**  
9891-9871 Steveston Hwy  
10831 Southdale Rd  
RICHMOND, BC

DRAWING TITLE:  
**TREE MANAGEMENT PLAN**

DATE:	19/MAY/20	DRAWING NUMBER:
SCALE:	VARIES	
DRAWN:	DT	
DESIGN:	DT	
CHECK:	MM	
M2LA PROJECT NUMBER:		OF 12
		18-039

Copyright reserved. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.

Copyright reserved. This drawing and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.



#220 - 26 Lorne Mews  
 New Westminster, British Columbia  
 V3M 3L7  
 Tel: 604.553.0044  
 Fax: 604.553.0045  
 Email: office@m2la.com

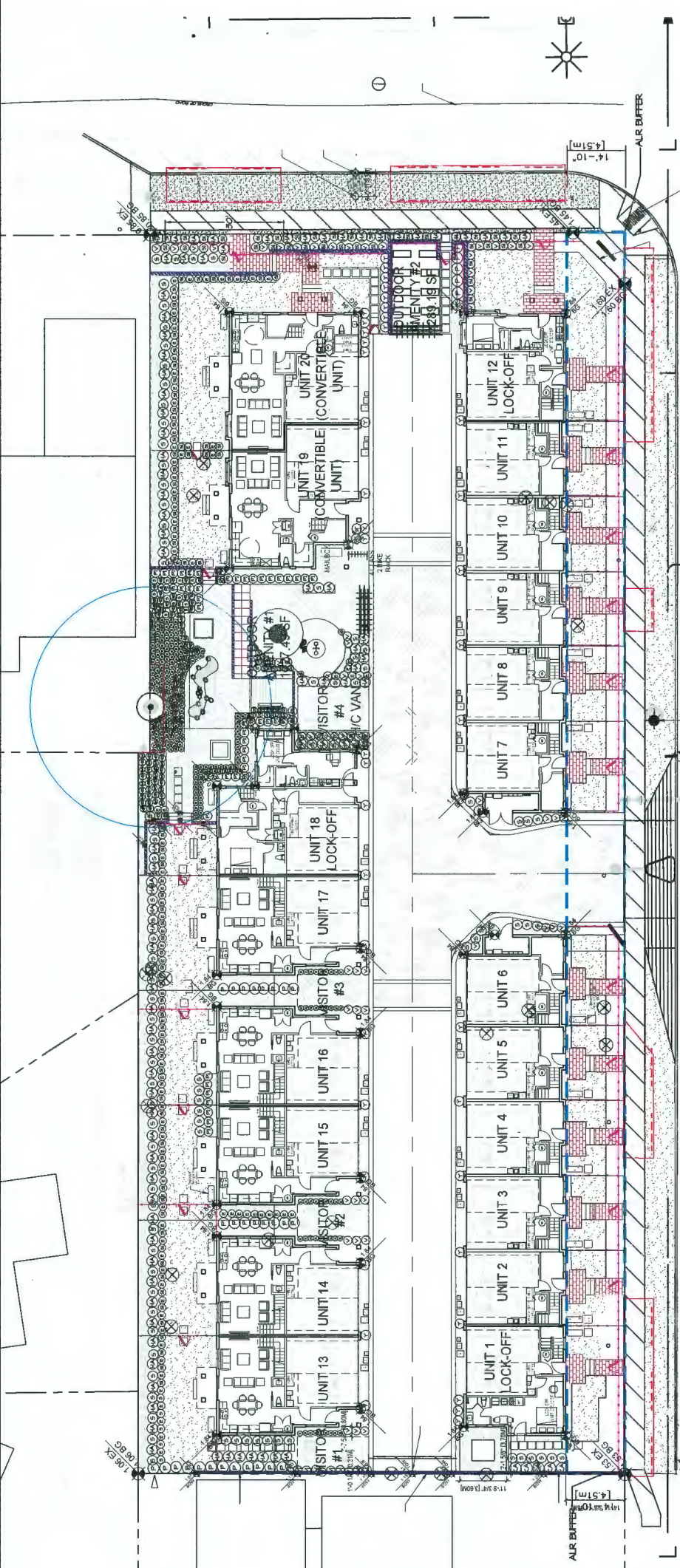


NO.	DATE	REVISION DESCRIPTION	DR.
1	2020.07.14	REV AS PER ARCH COMMENTS	DR
2	2020.07.14	ISSUED FOR ACP REVIEW	BN
3	2020.07.17	REV AS PER ARCH COMMENTS	BN
4	2020.07.20	REV AS PER ARCH COMMENTS	BN
5	2020.07.20	REV AS PER ARCH COMMENTS	BN
6	2020.07.20	REV AS PER ARCH COMMENTS	BN
7	2020.07.20	REV AS PER ARCH COMMENTS	BN
8	2020.07.20	REV AS PER ARCH COMMENTS	BN
9	2020.07.20	REV AS PER ARCH COMMENTS	BN
10	2020.07.20	REV AS PER ARCH COMMENTS	BN
11	2020.07.20	REV AS PER ARCH COMMENTS	BN
12	2020.07.20	REV AS PER ARCH COMMENTS	BN
13	2020.07.20	REV AS PER ARCH COMMENTS	BN
14	2020.07.20	REV AS PER ARCH COMMENTS	BN
15	2020.07.20	REV AS PER ARCH COMMENTS	BN
16	2020.07.20	REV AS PER ARCH COMMENTS	BN
17	2020.07.20	REV AS PER ARCH COMMENTS	BN
18	2020.07.20	REV AS PER ARCH COMMENTS	BN
19	2020.07.20	REV AS PER ARCH COMMENTS	BN
20	2020.07.20	REV AS PER ARCH COMMENTS	BN
21	2020.07.20	REV AS PER ARCH COMMENTS	BN
22	2020.07.20	REV AS PER ARCH COMMENTS	BN
23	2020.07.20	REV AS PER ARCH COMMENTS	BN
24	2020.07.20	REV AS PER ARCH COMMENTS	BN
25	2020.07.20	REV AS PER ARCH COMMENTS	BN

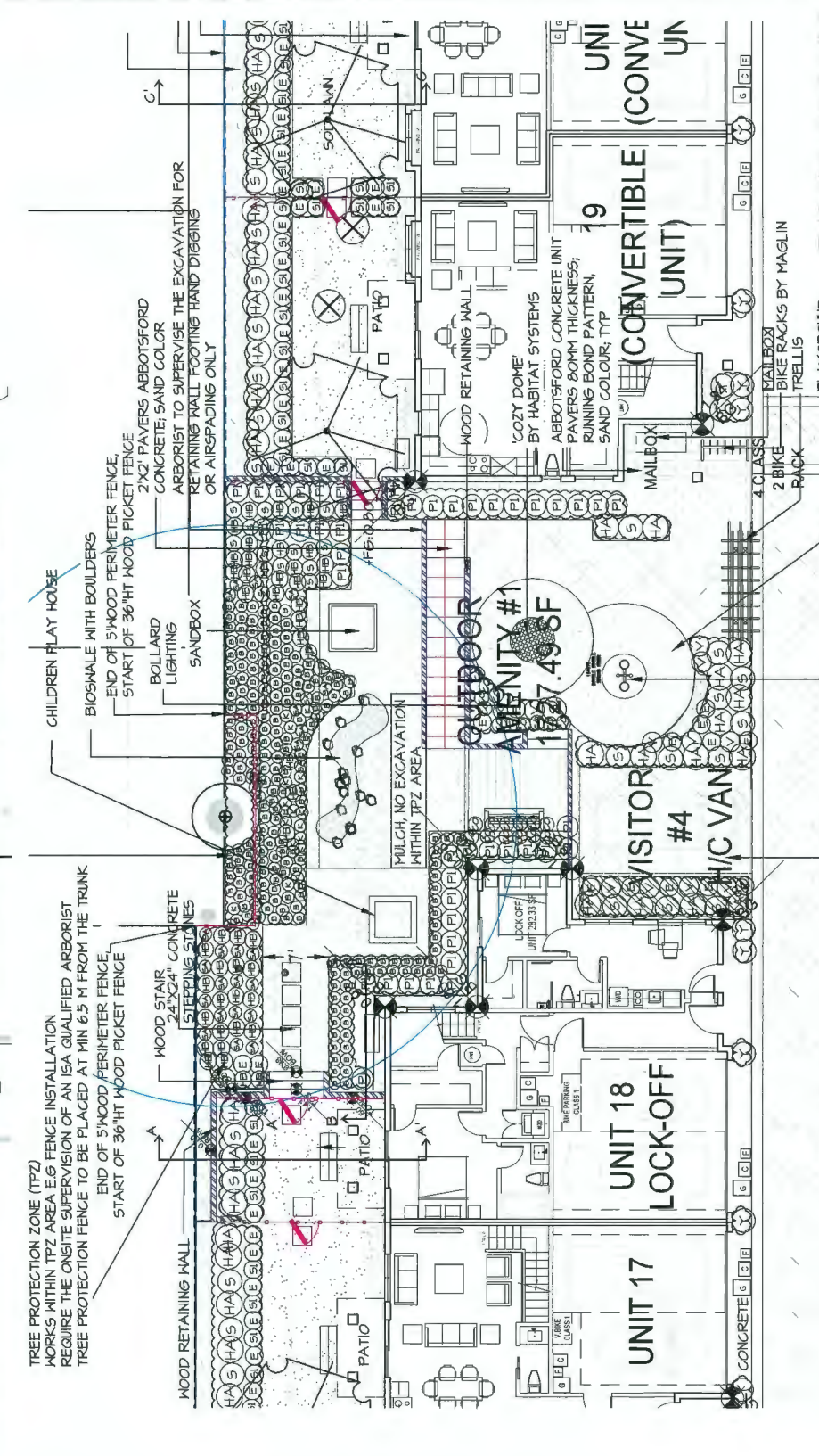
PROJECT: STEVESTON TOWNHOUSE DEVELOPMENT  
 9591-9871 Steveston Hwy  
 10831 Southdale Rd  
 RICHMOND, BC

DRAWING TITLE: SHRUB PLAN

DATE: 19 MAY 20  
 SCALE: VARIES  
 DRAWN: DT  
 DESIGN: DT  
 CHK'D: MFM  
 M2LA PROJECT NUMBER: 18-039  
 OF 12



SITE PLAN  
 SCALE: 1/16"=1'-0"



AMENITY AREA  
 SCALE: 1/16"=1'-0"  
 DP 20-896138  
 Plan #3.G  
 December 14, 2020

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	18-039	MR JOB NUMBER	REMARKS
P	35	FRAXUS LUTSIFOLIA	PORTUGUESE LAUREL	114 B&B			
P	34	SPHORA X BIMALDA	SPHORA	#1 POT, 30CH			
P	28	SORBUS ALBA 'CORFAGIS'	SORBUS	#1 POT, 30CH			
P	46	HYDRANGEA PANGLOSSA	SNOWBALL HYDRANGEA	#1 POT, 30CH			
HA	40	HYDRANGEA PANGLOSSA	SNOWBALL HYDRANGEA	#1 POT, 30CH			
KA	5	KALHA LATIFOLIA	SMOOTH HILL LAUREL	114 B&B			
PI	30	FRAXUS LUTSIFOLIA	PORTUGUESE LAUREL	#1 POT			
PI	24	SARGOLLOCCA X ODERBERGIIA 'RUSCIFOLIA'	FRAGRANT SARGOLLOCCA	#2 POT, 30CH			
SI	41	SKIMPIA JAPONICA 'YAGORORILLA'	LARGE LEAF JAPANESE SKIMPIA	#2 POT, 40CH			
S	12	SPHORA X BIMALDA	SPHORA	#2 POT, 30CH			
S	7	VIORARIA	VIORARIA	#2 POT, 30CH			
V	6	VIORARIA	VIORARIA	#2 POT, 30CH			
VB	6	VIORARIA	VIORARIA	#2 POT, 30CH			
K	7	ABSTORTILOS WAJUSHI	KINCKICK	#1 POT, 30CH			
B	27	ATHYRIUM NINGPOIENSIS 'REGAL RED'	REGAL RED JAPANESE PAINTED FERN	#1 POT, 30CH			

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARDS, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER DATA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. \* AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN PERMISSION FROM ARCHITECT. \* DELIVERY AND PLANTING TO BE COMPLETED WITHIN 14 DAYS OF DELIVERY. \* SUBSTITUTIONS SUBJECT TO BE LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.



Copyright reserved. This drawing and design is the property of M2 Landscape Architecture and may not be reproduced or used for other projects without their permission.



#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com

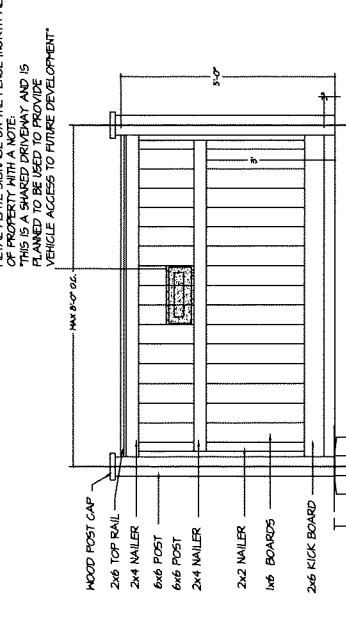
PROJECT:  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
6991-9671 Steveston Hwy  
10831 Southdale Rd  
RICHMOND, BC

DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: 18-MAY-21  
SCALE: VARIES  
DRAWN: DT  
DESIGN: DT  
CHK'D: MPH  
M2LA PROJECT NUMBER:  
R8-039

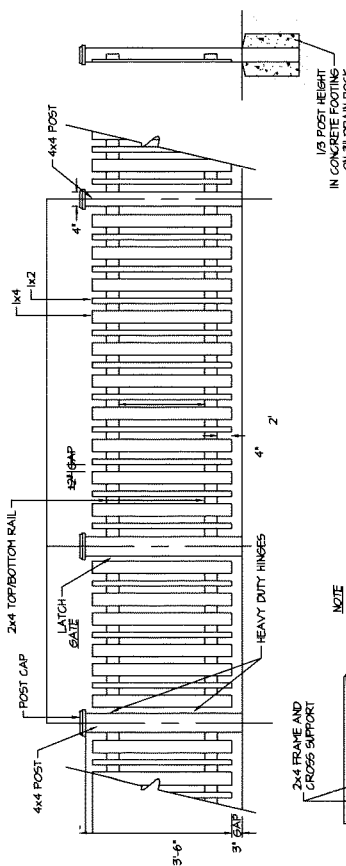
OF 12  
R8-039

METAL PLATE SIGNAGE ON THE FENCE (NORTHWEST END OF PROPERTY WITH A NOTE. THIS IS A SHARED DRIVEWAY AND IS FINISHED WITH CONCRETE DRIVEWAY AND IS NOT TO BE USED FOR VEHICLE ACCESS TO FUTURE DEVELOPMENT.



- NOTES:
1. ALL WOOD P.T. HEMPIR.
  2. STAIN THE GOATS PREMIUM WEATHERPROOFING STAIN (COLOR TO BE PRE-APPROVED BY OWNER).
  3. ALL HARDWARE NOT DIPPED GALVANIZED. PICKETS TO BE ATTACHED USING COUNTERSINK SCREWS.
  4. GATE HARDWARE TO BE PRE-APPROVED BY OWNER.
  5. HINGERS LATCHES TO BE SCREWED INTO PLACE.

**2** 5' WOOD PERIMETER FENCE  
SCALE: 1/2"=1'-0"



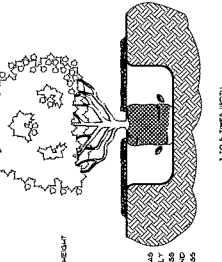
- NOTE:
1. ALL POSTS PRESURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
  2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
  3. ALL HARDWARE NOT DIPPED GALVANIZED.
  4. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
  5. ALL FENCES TO BE LEVEL, CHANGES IN GRADE TO BE IN 12"-18" STEPS MAX. GAPS TO GRADE TO FOLLOW FINISH GRADE GAPS TO BE 3"-6".

**1** 3' WOOD FENCE AND GATE  
SCALE: 1/2"=1'-0"

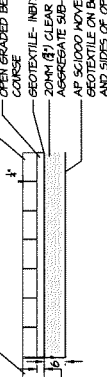
24"X24" CONCRETE STEPPING STONE REFER TO MUTUAL MATERIALS FOR SPEC.

1" SILICA SAND SETTING BED  
4" DENSE GRADE AGG. BASE  
NON-WOVEN FILTER FABRIC  
PREPARED SUBGRADE

**4** 24"X24" CONCRETE STEPS  
SCALE: 3/4"=1'-0"

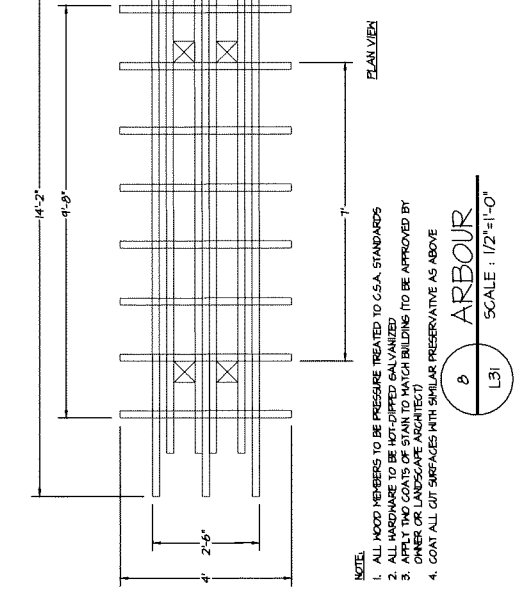


AGIA PAVERS  
3/4" (1") CLEAR CRUSH OPEN GRADED BEDDING COURSE  
GEOTEXILE: INTITEX  
20MM (3/4") CLEAR CRUSH OPEN GRADED BEDDING COURSE  
AP SCOUR NOVEN 3" TYPICAL  
GEOTEXILE ON BOTTOM AND SIDES OF OPEN GRADED BASE



- NOTE:
- INSTALLATION AS PER MANUFACTURING SPECIFICATION
  - DRAINAGE NEEDS TO BE COORDINATED WITH CIVIL ENGINEER

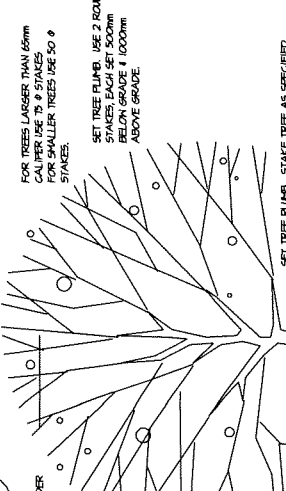
**5** PERMEABLE CONCRETE PAVERS  
SCALE: 1/2"=1'-0"



- NOTE:
1. ALL WOOD MEMBERS TO BE PRESURE TREATED TO CSA STANDARDS
  2. ALL HARDWARE TO BE NOT-DIPPED GALVANIZED
  3. APPLY TWO COATS OF STAIN TO MATCH BUILDING (TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT)
  4. COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE

**8** ARBOUR  
SCALE: 1/2"=1'-0"

**6** SHRUB PLANTING DETAIL  
SCALE: NTS



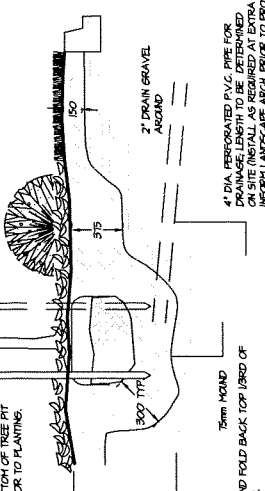
FOR TREES LARGER THAN 50mm CALIPER USE 2" SPACERS OR WIDER. STAKES SHOULD BE SET 500mm BELOW GRADE & 1.000mm ABOVE GRADE.

SET TREE PLUMB, STAKE TREE AS SPECIFIED POSITIONING STAKE WITHOUT DAMAGE TO ROOT BALL.

TORUSAL DEPTH AS PER SPEC. ON SCARIFIED SUBGRADE. FILL WITH TOPSOIL. 2000S FILL BETWEEN STAKES AND 10 TOP OF BEAK.

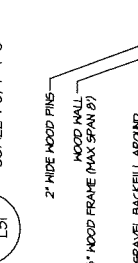
SOME BARK MULCH IN ALL PLANTING AREAS UNLESS OTHERWISE SPECIFIED (SEE PLANTING PLAN).

GRADE TO TOPS OF CURBS, WALLS, AND DRIVEWAYS ETC.



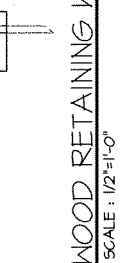
**7** TREE PLANTING DETAIL  
SCALE: NTS

**3** DRIP STRIP  
SCALE: 3/4"=1'-0"

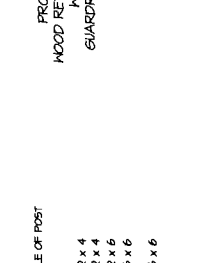


- NOTES:
1. SEE ENGINEERING FOR HEIGHT OF WALLS TO MATCH EXISTING
  2. SET 2' FROM FINISH GRADE TO TOP OF WALL
  3. METAL WALL AS PER MANUFACTURERS SPECIFICATIONS
  4. WALLS HEIGHT: 4" TO BE ENGINEERED

**10** ALLAN BLOCK WALL  
SCALE: 1/2"=1'-0"



**9** WOOD RETAINING WALL  
SCALE: 1/2"=1'-0"



**10** ALLAN BLOCK WALL  
SCALE: 1/2"=1'-0"

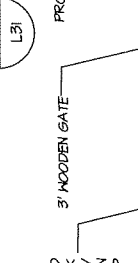
**B-B'** SECTION B-B'  
SCALE: 1/4"=1'-0"



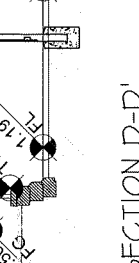
**C-C'** SECTION C-C'  
SCALE: 1/4"=1'-0"



**D-D'** SECTION D-D'  
SCALE: 1/4"=1'-0"



**E-E'** SECTION E-E'  
SCALE: 1/4"=1'-0"

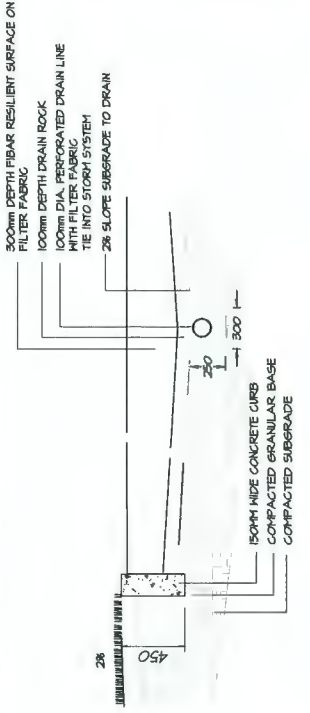


**A-A'** SECTION A-A'  
SCALE: 1/4"=1'-0"

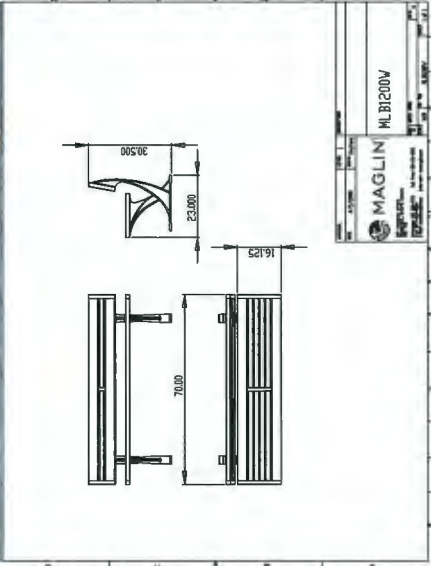


DP 20-896138  
Plan #3.H  
December 14, 2020

NO.	DATE	REVISION DESCRIPTION	DR.
2	2020/06/08	REV. AS PER CITY COMMENTS	GB
3	2020/08/08	REV. AS PER CITY COMMENTS	GB
4	2020/08/12	REV. AS PER CITY COMMENTS	GB
5	2020/08/14	REV. AS PER CITY COMMENTS	GB
6	2020/08/16	REV. AS PER CITY COMMENTS	GB
7	2020/08/16	REV. AS PER CITY COMMENTS	GB
8	2020/08/16	REV. AS PER CITY COMMENTS	GB
9	2020/08/16	REV. AS PER CITY COMMENTS	GB
10	2020/08/16	REV. AS PER CITY COMMENTS	GB
11	2020/08/16	REV. AS PER CITY COMMENTS	GB
12	2020/08/16	REV. AS PER CITY COMMENTS	GB
13	2020/08/16	REV. AS PER CITY COMMENTS	GB
14	2020/08/16	REV. AS PER CITY COMMENTS	GB
15	2020/08/16	REV. AS PER CITY COMMENTS	GB
16	2020/08/16	REV. AS PER CITY COMMENTS	GB
17	2020/08/16	REV. AS PER CITY COMMENTS	GB
18	2020/08/16	REV. AS PER CITY COMMENTS	GB
19	2020/08/16	REV. AS PER CITY COMMENTS	GB
20	2020/08/16	REV. AS PER CITY COMMENTS	GB
21	2020/08/16	REV. AS PER CITY COMMENTS	GB
22	2020/08/16	REV. AS PER CITY COMMENTS	GB
23	2020/08/16	REV. AS PER CITY COMMENTS	GB
24	2020/08/16	REV. AS PER CITY COMMENTS	GB
25	2020/08/16	REV. AS PER CITY COMMENTS	GB
26	2020/08/16	REV. AS PER CITY COMMENTS	GB
27	2020/08/16	REV. AS PER CITY COMMENTS	GB
28	2020/08/16	REV. AS PER CITY COMMENTS	GB
29	2020/08/16	REV. AS PER CITY COMMENTS	GB
30	2020/08/16	REV. AS PER CITY COMMENTS	GB
31	2020/08/16	REV. AS PER CITY COMMENTS	GB
32	2020/08/16	REV. AS PER CITY COMMENTS	GB
33	2020/08/16	REV. AS PER CITY COMMENTS	GB
34	2020/08/16	REV. AS PER CITY COMMENTS	GB
35	2020/08/16	REV. AS PER CITY COMMENTS	GB
36	2020/08/16	REV. AS PER CITY COMMENTS	GB
37	2020/08/16	REV. AS PER CITY COMMENTS	GB
38	2020/08/16	REV. AS PER CITY COMMENTS	GB
39	2020/08/16	REV. AS PER CITY COMMENTS	GB
40	2020/08/16	REV. AS PER CITY COMMENTS	GB
41	2020/08/16	REV. AS PER CITY COMMENTS	GB
42	2020/08/16	REV. AS PER CITY COMMENTS	GB
43	2020/08/16	REV. AS PER CITY COMMENTS	GB
44	2020/08/16	REV. AS PER CITY COMMENTS	GB
45	2020/08/16	REV. AS PER CITY COMMENTS	GB
46	2020/08/16	REV. AS PER CITY COMMENTS	GB
47	2020/08/16	REV. AS PER CITY COMMENTS	GB
48	2020/08/16	REV. AS PER CITY COMMENTS	GB
49	2020/08/16	REV. AS PER CITY COMMENTS	GB
50	2020/08/16	REV. AS PER CITY COMMENTS	GB



1 PLAY AREA FIBAR SURFACE DETAIL  
SCALE: 1/2" = 1'-0"



MAGLIN BENCH SEATING UNIT # HL B200V BENCH  
MATERIALS: THE MAGLINO SERIES BENCHES ARE MADE FROM SOLID CAST ALUMINUM, THE SEAT AND BACKS FEATURE THE HUBDOCK SLATS OR HIGH RESISTANCE PANEL CONSTRUCTION (OPTIONAL HANDSOME).  
OPTIONS: SEAT AND/OR BACKS OPTION REQUESTED. NO SEAT, SEATLESS OR FLANGE.  
DIMENSIONS: HL B200V-H: 70.00, L: 70.00, D: 25.00, B: 25.00, H: 16.25, B: 19.50, H: 19.50, B: 19.50, H: 19.50.  
FINISHES: ALL STEEL COMPONENTS ARE PROTECTED WITH ESQOAT RUST PROOFING. THE MAGLIN POWDERCOAT SYSTEM PROVIDES A DURABLE FINISH ON ALL METAL SURFACES. THE HUBDOCK SLATS ARE FINISHED WITH PERFORATING SEATLESS. METAL COLOR TO BE DETERMINED BY HUBDOCK SLATS.  
INSTALLATION: THE HUBDOCK SERIES BENCHES ARE DELIVERED PRE-ASSEMBLED. HOLES (2x7) ARE PROVIDED IN EACH SEATING FOOTING TO ALLOW FOR EASY INSTALLATION. THE BENCHES ARE TO BE INSTALLED ON A 4" DEPTH CONCRETE PAD. IF BENCH IS ON GRASS OR PLAY SURFACE, THEN INSTALL ON CONCRETE PAD. CONCRETE PAD TO BE 10'0"X4' RECTANGLE, 4" DEPTH CONCRETE ON 6" DEPTH COMPACTED ROAD BASE SUB BASE. TYPICAL.

5 BENCH  
L3J BY MAGLIN



2 EC-OIB PLAYHOUSE  
L3J BY KOMPAN



6 48"X21"20" PALLET GARDEN BED  
L3J BY SHIFTING GROWTH

**TREES PROTECTED BY SPECIES**

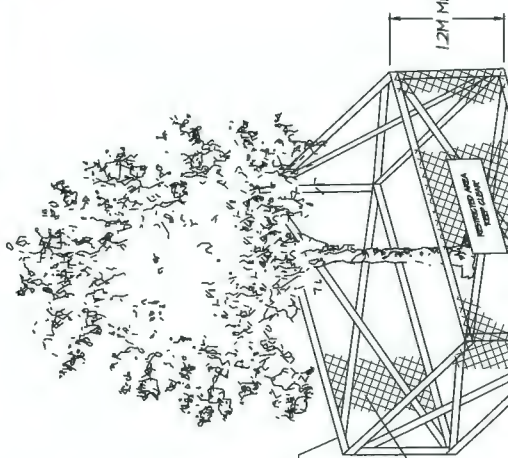
ARBUTUS
GARRY OAK
PACIFIC DOGWOOD
PACIFIC YEN
NORTHERN WHITE PINE
GRAND FIR
COAST REDWOOD
DAWN REDWOOD
GIANT SEQUOIA
GINKGO
MONKEY PUZZLE TREE

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

**TREE PROTECTION DISTANCE TABLE**

TRUNK DIAMETRE IN CIR. @ 4.5M	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5
100	6.0

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100CM DBH.  
\*DIAMETRE AT BREAST HEIGHT OR 1.4M FROM GRADE.



NO STORAGE OF BUILDING MATERIALS WITHIN OR AGAINST PROTECTION BARRIER

8 TREE PROTECTION FENCE  
L3J SCALE: NTS



4 COZY DOME  
L3J BY HABITAT SYSTEM



PLAYGROUND RUBBER TILE, DISTRIBUTOR REC TEC INDUSTRIES INC.



1 BIKE RACK  
L3J BY MAGLIN 300SERIES-300 BIKE RACK, BLACK POWDER COATED



3 BOBBLE RIDER DOUBLE  
L3J BY HABITAT SYSTEM



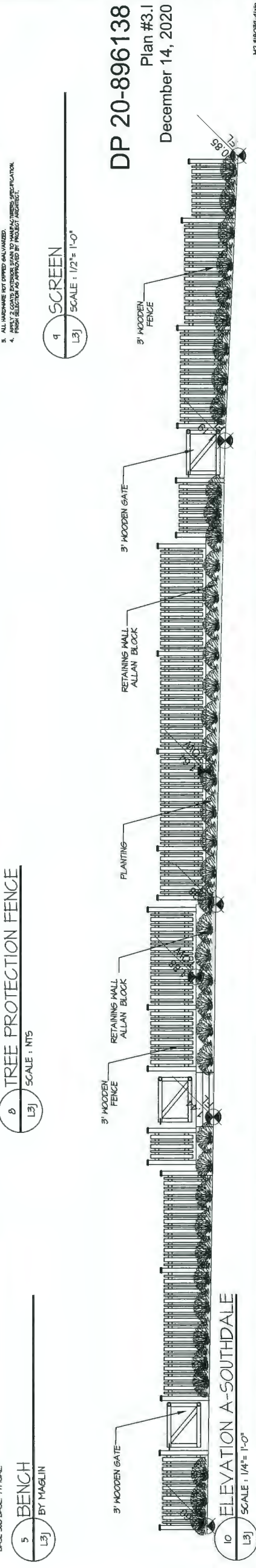
NO.	DATE	REVISION DESCRIPTION	DR.
1	2020/07/14	PROLIFERARY DESIGN	DT
2	2020/07/14	REV AS PER ARCHITECT REPORT	DT
3	2020/07/14	REV AS PER ARCHITECT REPORT	DT
4	2020/07/14	REV AS PER ARCHITECT REPORT	DT
5	2020/07/14	REV AS PER ARCHITECT REPORT	DT
6	2020/07/14	REV AS PER ARCHITECT REPORT	DT
7	2020/07/14	REV AS PER ARCHITECT REPORT	DT
8	2020/07/14	REV AS PER ARCHITECT REPORT	DT
9	2020/07/14	REV AS PER ARCHITECT REPORT	DT
10	2020/07/14	REV AS PER ARCHITECT REPORT	DT
11	2020/07/14	REV AS PER ARCHITECT REPORT	DT
12	2020/07/14	REV AS PER ARCHITECT REPORT	DT
13	2020/07/14	REV AS PER ARCHITECT REPORT	DT
14	2020/07/14	REV AS PER ARCHITECT REPORT	DT
15	2020/07/14	REV AS PER ARCHITECT REPORT	DT
16	2020/07/14	REV AS PER ARCHITECT REPORT	DT
17	2020/07/14	REV AS PER ARCHITECT REPORT	DT
18	2020/07/14	REV AS PER ARCHITECT REPORT	DT
19	2020/07/14	REV AS PER ARCHITECT REPORT	DT
20	2020/07/14	REV AS PER ARCHITECT REPORT	DT

©Copyright reserved. The drawings and design is the property of M2 Landscape Architects and may not be reproduced or used for other projects without their permission.

# M2

LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com



10 ELEVATION A-SOUTHDALE  
L3J SCALE: 1/4" = 1'-0"

9 SCREEN  
L3J SCALE: 1/2" = 1'-0"

STEVESTON TOWNHOUSE DEVELOPMENT  
9597-9671 Steveston Hwy  
10831 Southdale Rd  
RICHMOND, BC

DRAWING TITLE: LANDSCAPE DETAILS

DATE: 15-MAY-20  
SCALE: VARIES  
DRAWN: DT  
DESIGN: DT  
CHK'D: MTH

DRAWING NUMBER:  
M2LA PROJECT NUMBER: 20-896138

Plan #3.1  
December 14, 2020

M2 #BC20-415P  
OF 12  
P-039



# PROJECT SITE

SITE AERIAL PHOTO



EXISTING STEVESTON HWY STREETSCAPE

DP 20-896138  
 REFERENCE PLAN  
 December 14, 2020

**IMPERIAL ARCHITECTURE**  
 ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 ADDRESS: 78 FRENCH STREET, CANOTON, BC, V0T 4T5  
 SALES: IMPERIAL.Architect@ImperialArch.com  
 TEL: 250.951.1382

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved, and remains as all times the property of Imperial Architecture. No part of this drawing, or any portion thereof, may be reproduced without the expressed written consent of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions, and immediately report any errors/water to Imperial Architecture. DO NOT SCALE DRAWINGS.



ISSUED FOR	DATE	BY
ISSUED FOR DPP REVIEW	20.12.10	W.S.
ISSUED FOR DPP REVIEW	20.05.19	A.J.
ISSUED FOR PERMITS	17.07.18	W.S.
ISSUED FOR PERMITS	20.03.18	A.J.
ISSUED FOR PERMITS	17.07.18	W.S.
ISSUED	17.08.20	W.S.

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

Client/Project  
 STEVESTON TOWNHOUSE DEVELOPMENT  
 9571, 9591, 9611, 9671 STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (DP 20-896138)

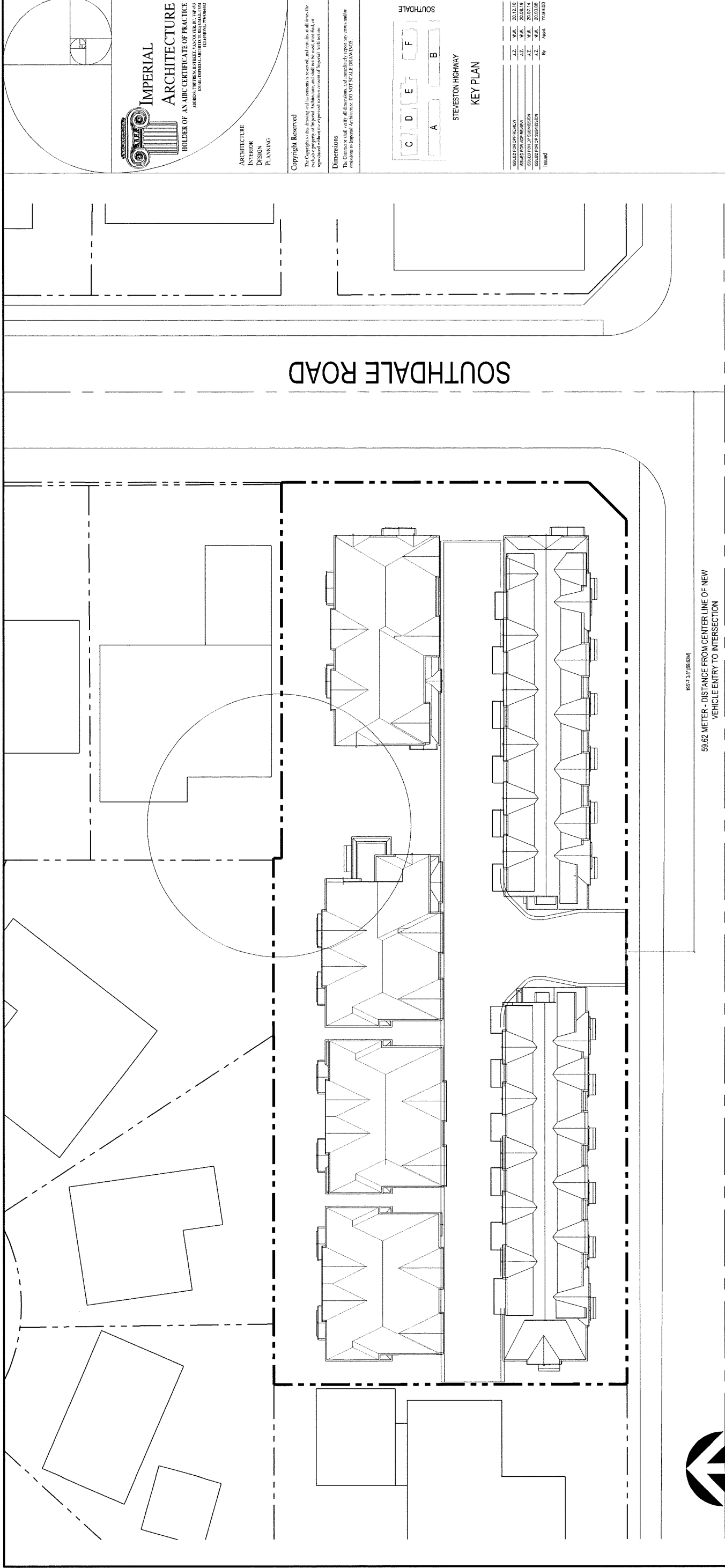
Title  
 SITE AERIAL & EXISTING STEVESTON HWY STREETSCAPE

Project No.  
 #8211

Scale  
 1/16" = 1'-0"

Sheet  
 11 of 20

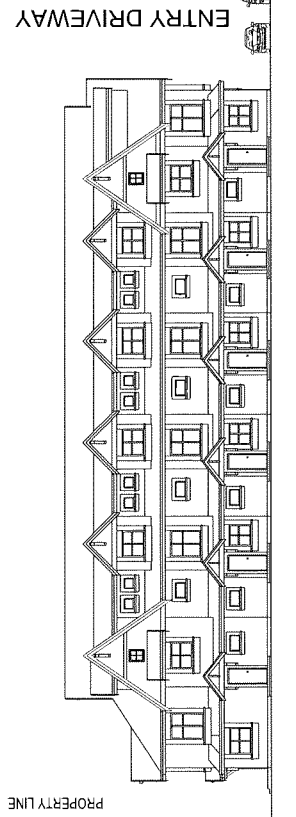
Revision  
 A.0.4



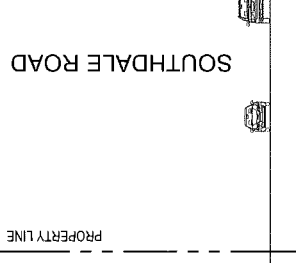
1 SITE CONTEXT PLAN  
SCALE 1/16"=1'-0"

STEVESTON HIGHWAY

185' ± 3" (56.90M)  
59.82 METER - DISTANCE FROM CENTER LINE OF NEW VEHICLE ENTRY TO INTERSECTION



2 STEVESTON HWY STREET ELEVATION  
SCALE 1/16"=1'-0"

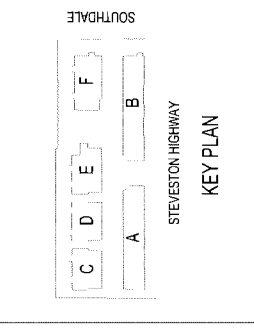


DP 20-896138  
REFERENCE PLAN  
December 14, 2020

**IMPERIAL ARCHITECTURE**  
HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

**Copyright Reserved**  
The Copyright in this drawing and its content is reserved, and remains as of all times the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced in whole or in part without the express written consent of Imperial Architecture.

**Dimensions**  
The Contractor shall verify all dimensions and measurements, report any errors, and file any necessary amendments to Imperial Architecture. DO NOT SCALE DRAWINGS.



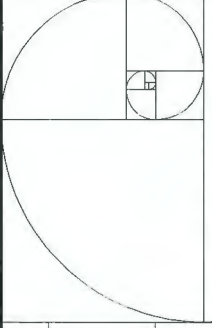
ISSUED FOR	J.C.	M.W.	20.12.10
ISSUED FOR DPP REVIEW	J.C.	M.W.	20.08.10
ISSUED FOR DPP REVIEW	J.C.	M.W.	20.07.14
ISSUED FOR J.P. SUBMISSION	J.C.	M.W.	20.03.08
ISSUED FOR J.P. SUBMISSION	J.C.	M.W.	20.03.08
Issued	By	Page	11 REVISED

ISSUED FOR  
DPP REVIEW  
2020-12-10

Client/Project  
STEVESTON TOWNHOUSE  
DEVELOPMENT  
9871 9891 9811 9871 STEVESTON HWY &  
10851 SOUTHDALE ROAD RICHMOND, BC  
(DP 20-896138)

Title  
SITE CONTEXT PLAN

Project No. #8211  
Scale 1/16"=1'-0"  
Drawing No. Sheet  
Revision  
A 0.5 of



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 10851 SOUTHDALE ROAD, RICHMOND, BC  
 (DP 20-896138)  
 TEL: 604-273-1111

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved, and remains at all times the property of Imperial Architecture. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Imperial Architecture.

Dimensions  
 The Designer shall verify all dimensions, and immediately report any errors and/or omissions to Imperial Architecture. DO NOT SCALE DRAWINGS.

Revision	By	Date
1	W.S.	20.12.10
2	W.S.	20.08.10
3	W.S.	20.07.11
4	W.S.	20.07.11
5	W.S.	20.07.11
6	W.S.	20.07.11
7	W.S.	20.07.11
8	W.S.	20.07.11
9	W.S.	20.07.11
10	W.S.	20.07.11
11	W.S.	20.07.11
12	W.S.	20.07.11
13	W.S.	20.07.11
14	W.S.	20.07.11
15	W.S.	20.07.11
16	W.S.	20.07.11
17	W.S.	20.07.11
18	W.S.	20.07.11
19	W.S.	20.07.11
20	W.S.	20.07.11
21	W.S.	20.07.11
22	W.S.	20.07.11
23	W.S.	20.07.11
24	W.S.	20.07.11
25	W.S.	20.07.11
26	W.S.	20.07.11
27	W.S.	20.07.11
28	W.S.	20.07.11
29	W.S.	20.07.11
30	W.S.	20.07.11
31	W.S.	20.07.11
32	W.S.	20.07.11
33	W.S.	20.07.11
34	W.S.	20.07.11
35	W.S.	20.07.11
36	W.S.	20.07.11
37	W.S.	20.07.11
38	W.S.	20.07.11
39	W.S.	20.07.11
40	W.S.	20.07.11
41	W.S.	20.07.11
42	W.S.	20.07.11
43	W.S.	20.07.11
44	W.S.	20.07.11
45	W.S.	20.07.11
46	W.S.	20.07.11
47	W.S.	20.07.11
48	W.S.	20.07.11
49	W.S.	20.07.11
50	W.S.	20.07.11



STEVESTON HIGHWAY  
 KEY PLAN

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT  
 9571, 9591, 9611, 9671 STEVESTON HWY &  
 10851 SOUTHDALE ROAD, RICHMOND, BC  
 (DP 20-896138)

Title  
 BUILDING A  
 FLOOR PLANS

Project No.  
 #8211  
 Drawing No.  
 A.2.1

Scale  
 1/8"=1'-0"  
 Sheet  
 of

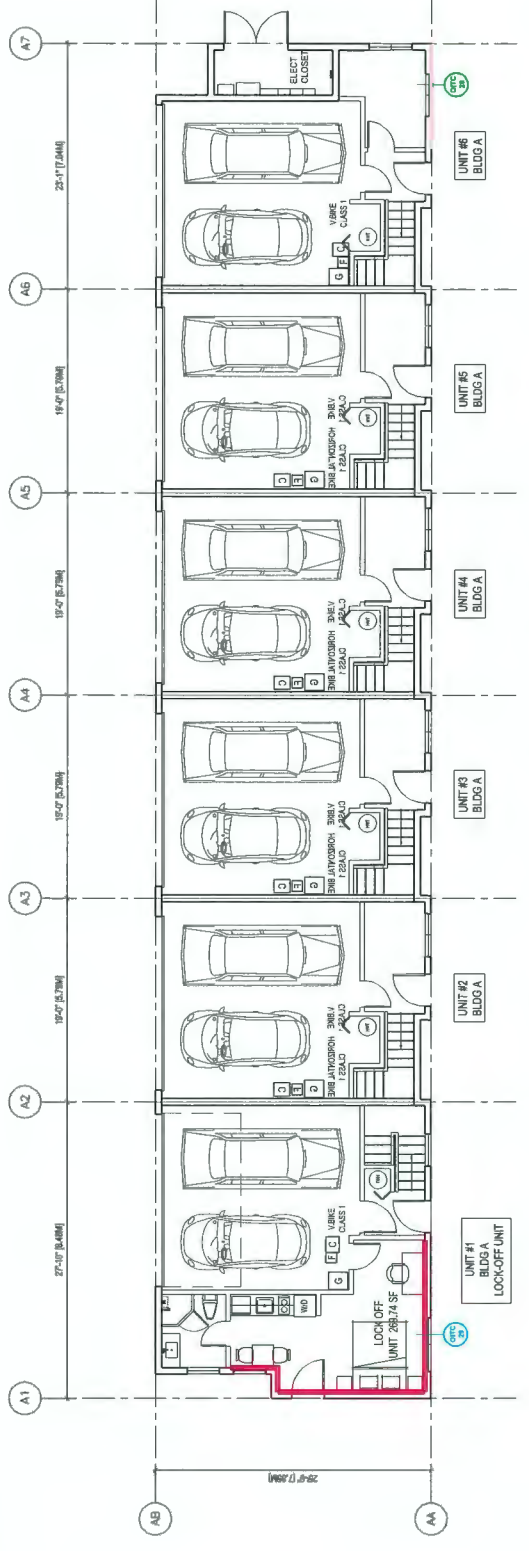
Revision

**GENERAL NOTES:**  
 1. AGING IN PLACE FEATURES SUCH AS STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, HANDRAILS AT THE END OF STAIRWAYS, HANDLES FOR PULLING EXTERIOR AND DOOR HANDLES WILL BE PROVIDED IN ALL UNITS.  
 2. UNITS 19 & 20 ARE THE CONVERTIBLE UNITS.  
 3. UNITS 1, 12 & 18 CONTAIN LOCK-OFF UNITS.  
 4. 3-STORY TOWNHOUSE UNIT FIRE EXITING AND TRAVEL DISTANCE DESIGN COMPLIED WITH BCBC 9.9.9.3.3 AS OPEN BALCONIES ARE PROVIDED TO 3RD FLOOR OF ALL 3-STORY TOWNHOUSE UNITS.

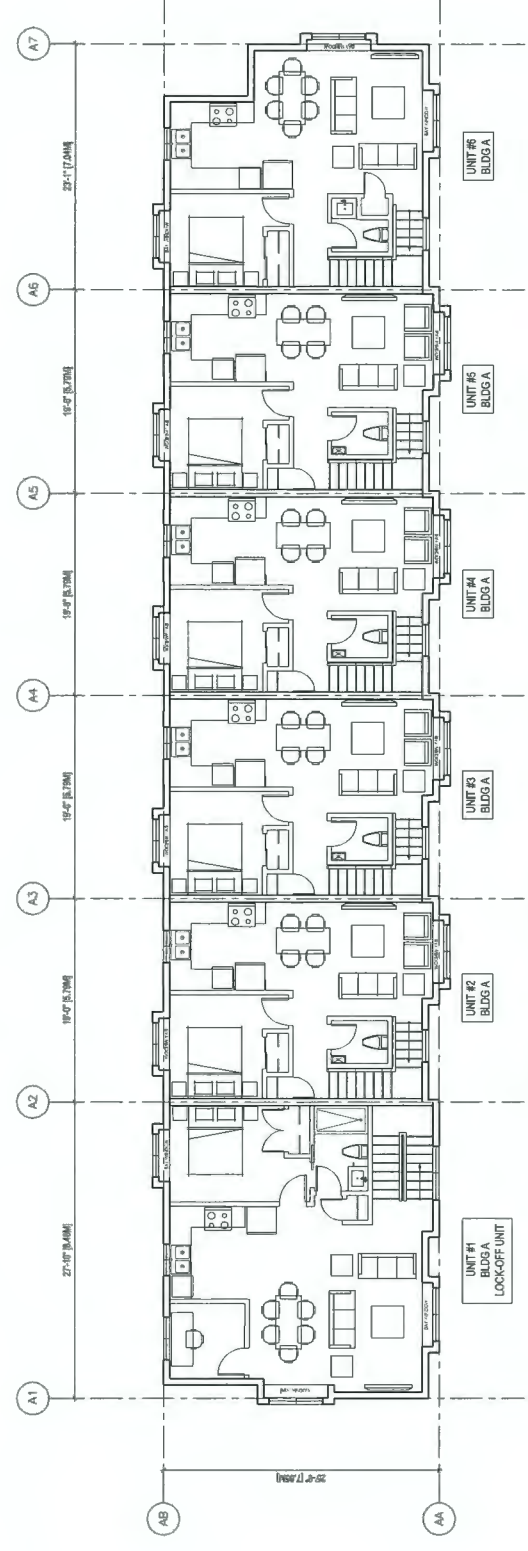
ACOUSTICAL UPDATE REQUIRED ON EXTERIOR WALLS & WINDOWS (REFER TO ACOUSTICAL REPORT ISSUED BY BKL DATED OCT 20, 2020)

MINIMUM OITC RATING	EXAMPLE WINDOW GLAZING & WALL UPGRADES
OITC 28	WINDOW - MIN. OITC 28 REQUIRED
OITC 29	WINDOW - MIN. OITC 29 REQUIRED
OITC 32	WINDOW - MIN. OITC 32 REQUIRED
OITC 35	2 ADDITIONAL LAYERS OF 5/8" TYPE X GWB

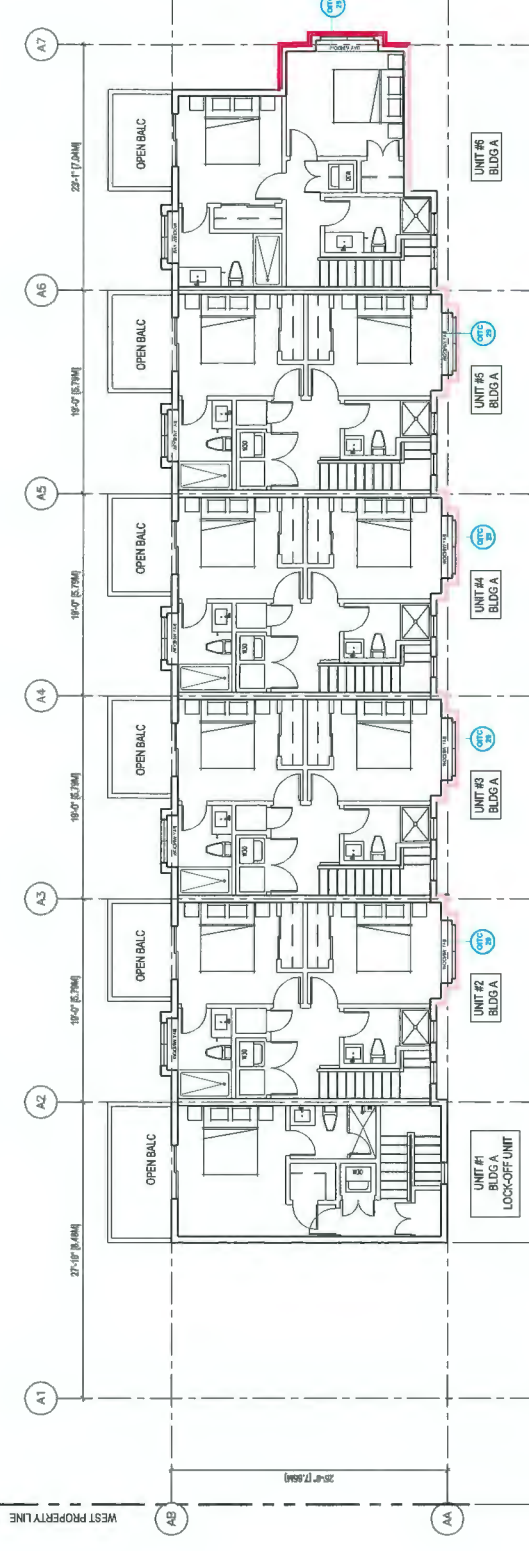
- 120L GARBAGE CART 0.95MH X 0.55MD X 0.48MW
- 46.5L FOOD SCRAPS CART 0.69MH X 0.30MD X 0.48MW
- BLUE CONTAINER BOX 0.37MH X 0.38M X 0.46MW
- GREY GLASS CONTAINER BOX 0.36MH X 0.36MD X 0.27MW
- YELLOW PAPER BAG CART 0.66MH X 0.46MD



1 BUILDING A LEVEL 1 FLOOR PLAN  
 SCALE 1/8"=1'-0"

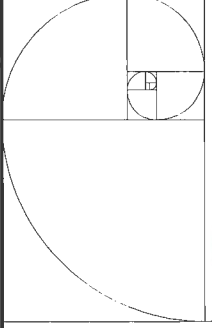


2 BUILDING A LEVEL 2 FLOOR PLAN  
 SCALE 1/8"=1'-0"



3 BUILDING A LEVEL 3 FLOOR PLAN  
 SCALE 1/8"=1'-0"

24'-7 1/4" [7.50M]  
 SETBACK FROM WEST PROPERTY LINE TO 3RD FLOOR



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 10831 SOUTHDALE ROAD, RICHMOND, BC V6V 1Y4  
 TEL: 604-273-1111 FAX: 604-273-1112  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved, and remains the property of Imperial Architecture. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Imperial Architecture. DO NOT SCALE DRAWINGS.

**Dimensions**

The Contractor shall verify all dimensions, and immediately report any errors to the architect in writing. Dimensions are shown in Imperial Units. DO NOT SCALE DRAWINGS.

ISSUED FOR APPROVAL	J.L.	W.K.	20.12.10
ISSUED FOR PERMIT	J.L.	W.K.	20.05.18
ISSUED FOR SUBMISSION	J.L.	W.K.	20.07.14
REVISION FOR SUBMISSION	J.L.	W.K.	20.08.20
ISSUED	J.L.	W.K.	20.11.23

**KEY PLAN**

STEVESTON HIGHWAY

SOUTHDALE

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT  
 9571, 9591, 9611, 9671 STEVESTON HWY &  
 10831 SOUTHDALE ROAD, RICHMOND, BC  
 (DP-20-896138)

Title  
 BUILDING B  
 FLOOR PLANS

Project No.  
 #8211

Scale  
 1/8"=1'-0"

Sheet  
 A 2.2

Revision

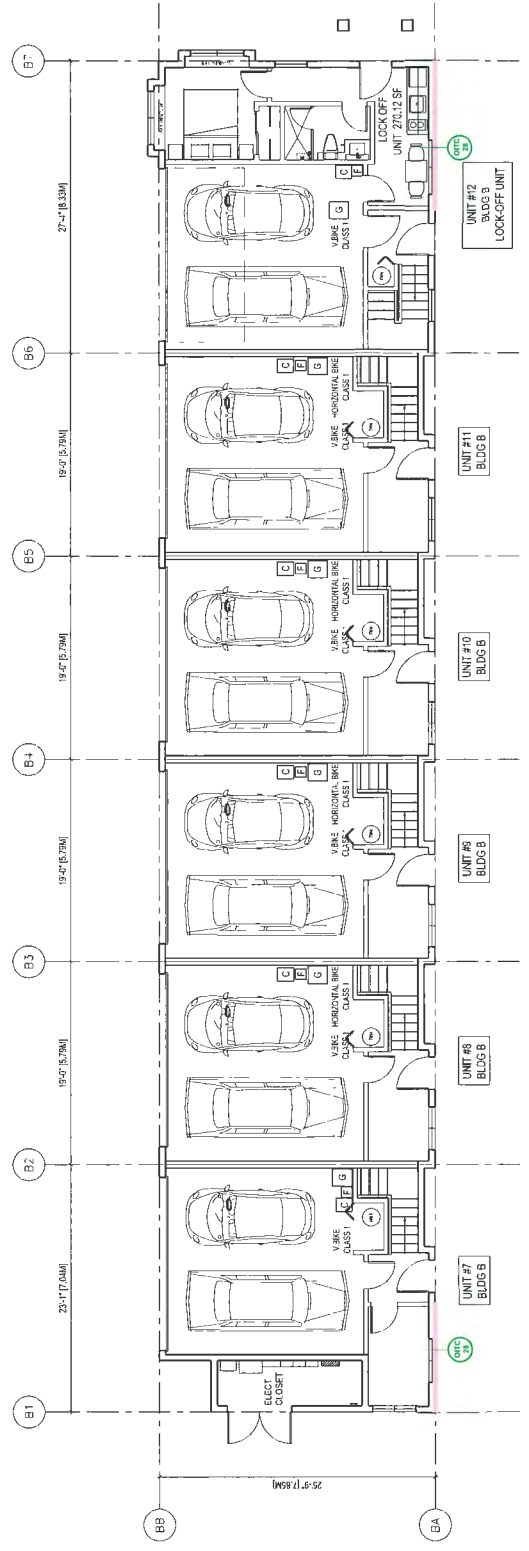
**GENERAL NOTES:**

- AGING IN PLACE FEATURES SUCH AS STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATH TUB AND SHOWER, AND LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES WILL BE PROVIDED IN ALL UNITS.
- UNITS 19 & 20 ARE THE CONVERTIBLE UNITS.
- UNITS 1, 12 & 18 CONTAIN LOCK-OFF UNITS.
- 3-STORY TOWNHOUSE UNIT FIRE EXITING AND TRAVEL DISTANCE DESIGN COMPLIED WITH BCBC 9.8.9.1.3 AS OPEN BALCONIES ARE PROVIDED TO 3RD FLOOR OF ALL 3-STORY TOWNHOUSE UNITS.

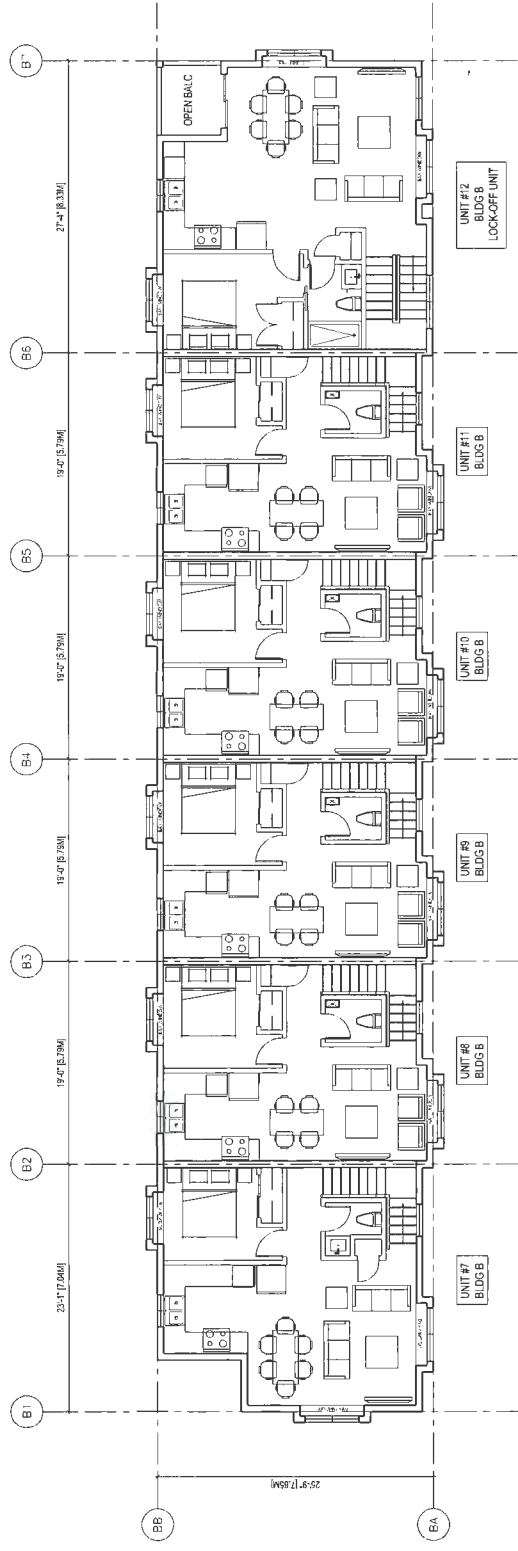
ACOUSTICAL UPDATE REQUIRED ON EXTERIOR WALLS & WINDOWS: (REFER TO ACOUSTICAL REPORT ISSUED BY BKL DATED OCT 20, 2020)

MINIMUM OITC RATING	EXAMPLE WINDOW GLAZING & WALL UPGRADES
OITC 30	WINDOW - MIN. OITC 28 REQUIRED
OITC 25	WINDOW - MIN. OITC 23 REQUIRED
OITC 20	WINDOW - MIN. OITC 18 REQUIRED
OITC 15	1-4500 PLYWOOD LATHES
OITC 10	2 ADDITIONAL LAYERS OF 5/8" TYPE X GWB

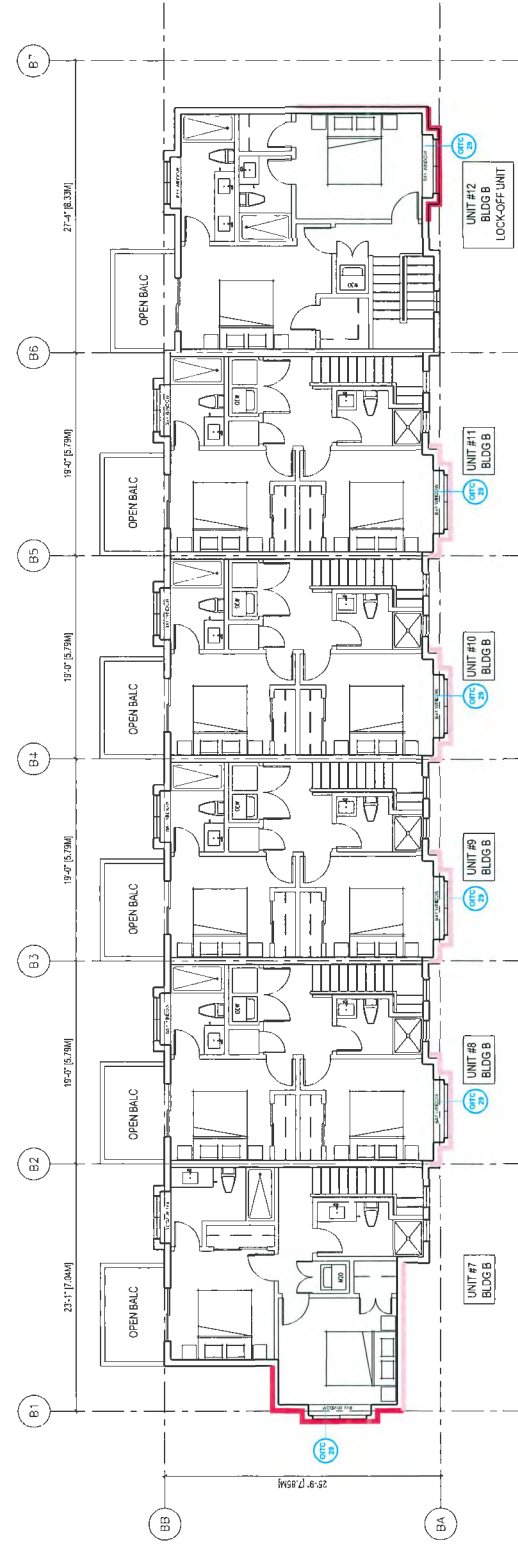
- 120L GARBAGE CART 0.95MH X 0.55MD X 0.48MW
- 46.5L FOOD SCRAPS CART 0.69MH X 0.30MD X 0.48MW
- BLUE CONTAINER BOX 0.37MH X 0.38M X 0.46MW
- GREY GLASS CONTAINER BOX 0.36MH X 0.36MD X 0.27MW
- YELLOW PAPER BAG CART 0.66MH X 0.48MD



**1 BUILDING B LEVEL 1 FLOOR PLAN**  
 SCALE 1/8"=1'-0"

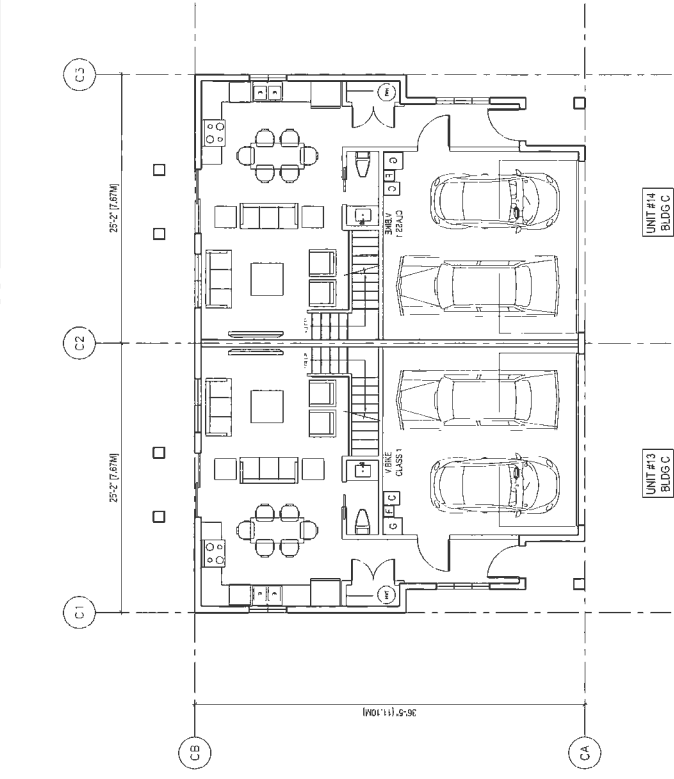


**2 BUILDING B LEVEL 2 FLOOR PLAN**  
 SCALE 1/8"=1'-0"



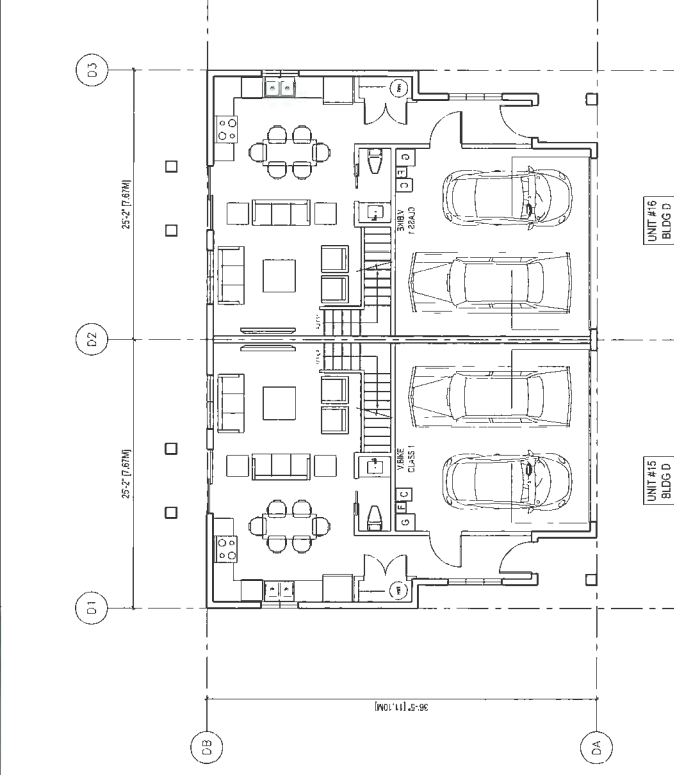
**3 BUILDING B LEVEL 3 FLOOR PLAN**  
 SCALE 1/8"=1'-0"

**DP 20-896138**  
 REFERENCE PLAN  
 December 14, 2020



1 BUILDING C LEVEL 1 FLOOR PLAN

A2.3 SCALE 1/8"=1'-0"



3 BUILDING D LEVEL 1 FLOOR PLAN

A2.3 SCALE 1/8"=1'-0"

**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 10805-108th Street, Suite 101, Richmond, BC V6V 1G8  
 TEL: 604-271-1111 FAX: 604-271-1112  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

Copyright Reserved  
 The Copyright in this drawing and its contents is reserved, and remains as of this date the exclusive property of Imperial Architecture, and it is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of Imperial Architecture.

Dimensions  
 The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Imperial Architecture. DO NOT SCALE DRAWINGS.

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

STEVESTON HIGHWAY  
 KEY PLAN

Client/Project: STEVESTON TOWNHOUSE DEVELOPMENT  
 9871, 9891, 9811, 9871 STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (DP 20-696138)

Title: BUILDING C & D FLOOR PLANS  
 Project No.: #8211  
 Scale: 1/8"=1'-0"  
 Drawing No.:  
 Revision:

DP 20-896138  
 REFERENCE PLAN  
 December 14, 2020

GENERAL NOTES:  
 1. AGING IN PLACE FEATURES SUCH AS STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATH TUB AND SHOWER AND LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES WILL BE PROVIDED IN ALL UNITS.  
 2. UNITS 19 & 20 ARE THE CONVERTIBLE UNITS.  
 3. UNITS 1, 12 & 18 CONTAIN LOCK-OFF UNITS.  
 4. 3-STORY TOWNHOUSE UNIT FIRE EXITING AND TRAVEL DISTANCE DESIGN COMPLIED WITH BCBC 9.9.1.3) AS OPEN BALCONIES ARE PROVIDED TO 3RD FLOOR OF ALL 3-STORY TOWNHOUSE UNITS.

ACOUSTICAL UPDATE REQUIRED ON EXTERIOR WALLS & WINDOWS: REFER TO ACOUSTICAL REPORT ISSUED BY BKL DATED OCT 20, 2020)

MINIMUM OTC RATING	EXAMPLE WINDOW GLAZING & WALL UPDATES
OTC 28	WINDOW - MIN. OTC 28 REQUIRED
OTC 29	WINDOW - MIN. OTC 29 REQUIRED
OTC 32	WINDOW - MIN. OTC 32 REQUIRED
OTC 35	WINDOW - MIN. OTC 35 REQUIRED
OTC 42	WINDOW - MIN. OTC 42 REQUIRED

3 ADDITIONAL LAYERS OF 5/8" TYPE X GWB

- 120L GARBAGE CART 0.95MH X 0.55MD X 0.48MW
- 46.5L FOOD SCRAPS CART 0.69MH X 0.30MD X 0.48MW
- BLUE CONTAINER BOX 0.37MH X 0.38M X 0.46MW
- GREY GLASS CONTAINER BOX 0.36MH X 0.36MD X 0.27MW
- YELLOW PAPER BAG CART 0.66MH X 0.46MD

2 BUILDING C LEVEL 2 FLOOR PLAN

A2.3 SCALE 1/8"=1'-0"

4 BUILDING D LEVEL 2 FLOOR PLAN

A2.3 SCALE 1/8"=1'-0"

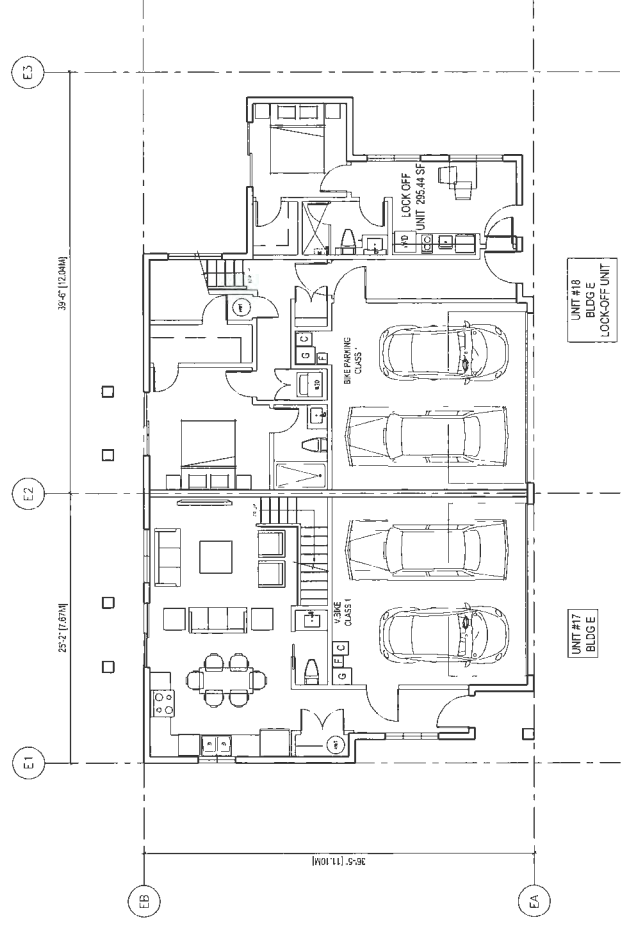
ISSUED FOR  
 DPP REVIEW  
 2020-12-10

STEVESTON HIGHWAY  
 KEY PLAN

Client/Project: STEVESTON TOWNHOUSE DEVELOPMENT  
 9871, 9891, 9811, 9871 STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (DP 20-696138)

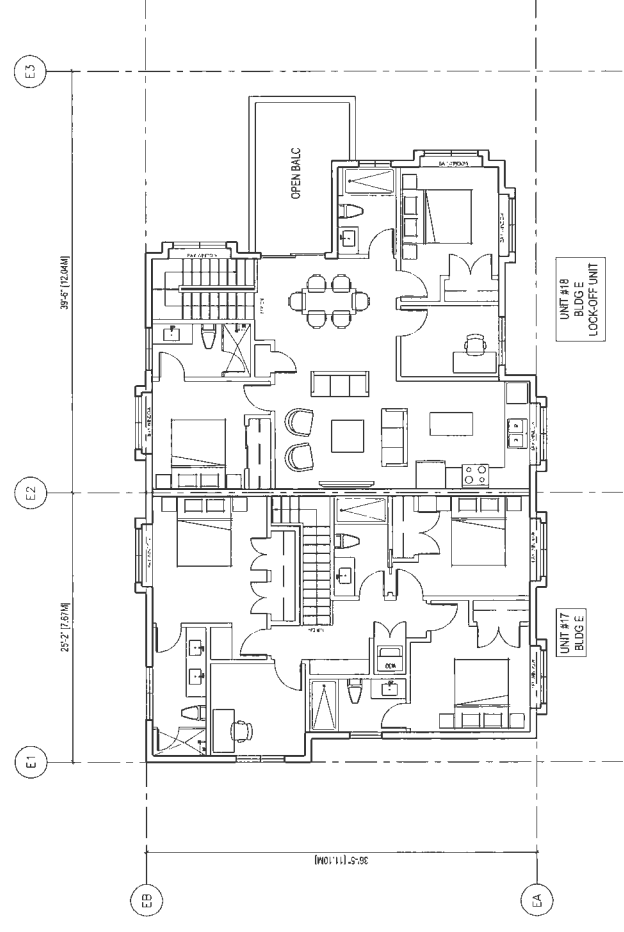
Title: BUILDING C & D FLOOR PLANS  
 Project No.: #8211  
 Scale: 1/8"=1'-0"  
 Drawing No.:  
 Revision:

DP 20-896138  
 REFERENCE PLAN  
 December 14, 2020



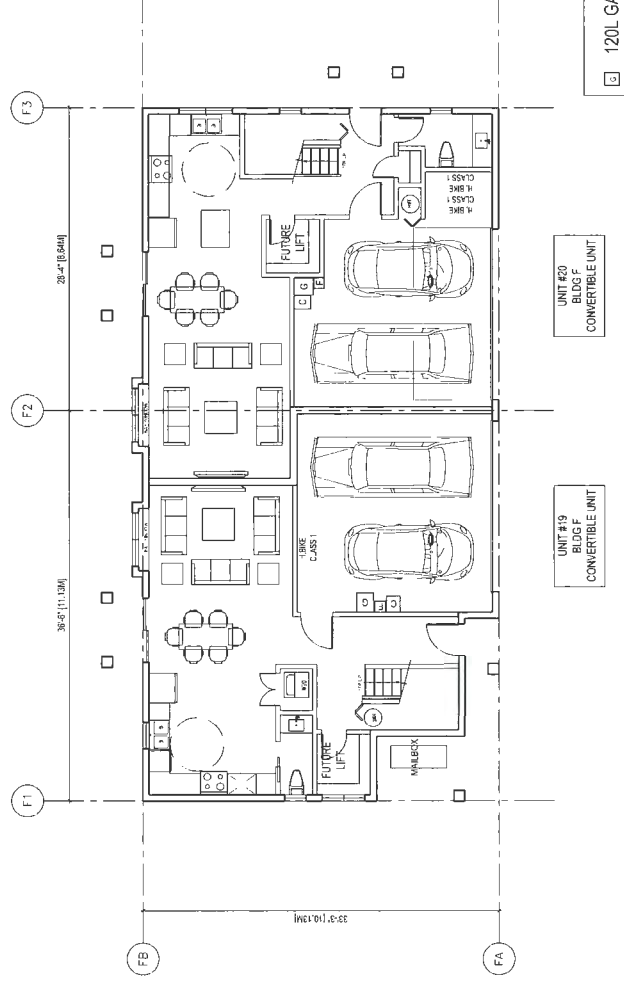
**1**  
A2.4  
SCALE 1/8"=1'-0"

**BUILDING E LEVEL 1 FLOOR PLAN**



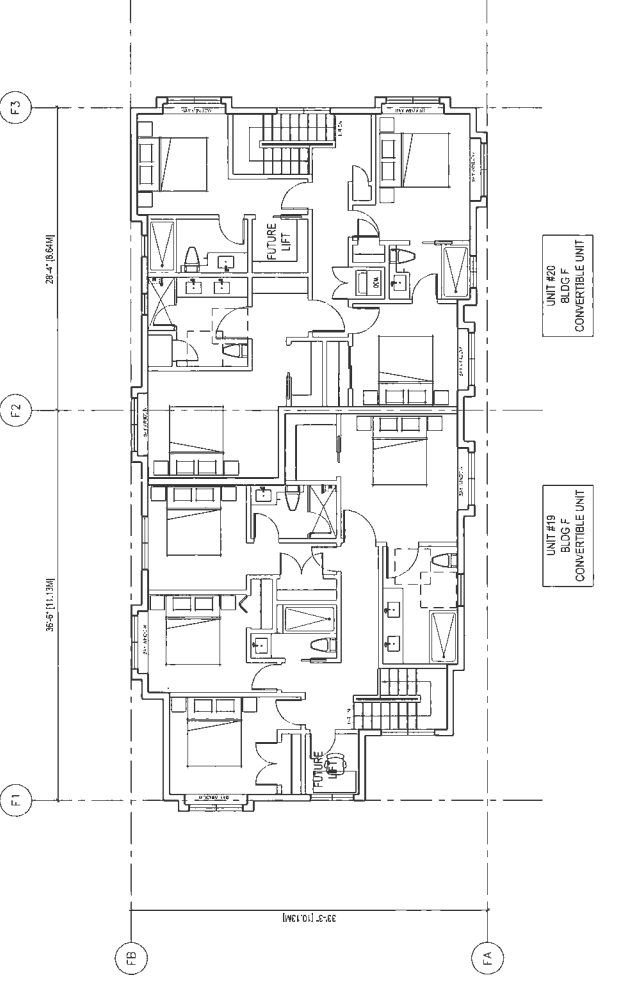
**2**  
A2.4  
SCALE 1/8"=1'-0"

**BUILDING E LEVEL 2 FLOOR PLAN**



**3**  
A2.4  
SCALE 1/8"=1'-0"

**BUILDING F LEVEL 1 FLOOR PLAN**



**4**  
A2.4  
SCALE 1/8"=1'-0"

**BUILDING F LEVEL 2 FLOOR PLAN**

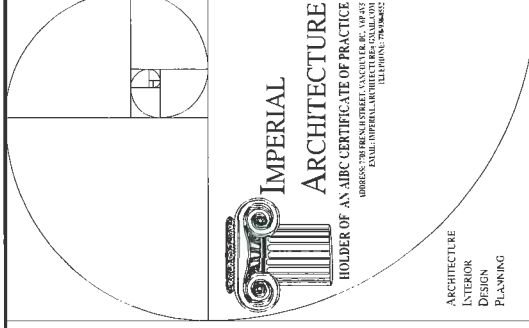
**GENERAL NOTES:**

- AGING IN PLACE FEATURES SUCH AS STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATH TUB AND SHOWER, AND LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES WILL BE PROVIDED IN ALL UNITS.
- UNITS 19 & 20 ARE THE CONVERTIBLE UNITS.
- UNITS 1, 12 & 18 CONTAIN LOCK-OFF UNITS.
- 3-STORY TOWNHOUSE UNIT FIRE EXITING AND TRAVEL DISTANCE DESIGN COMPLIED WITH BCBC 9.3.1.1.3 AS OPEN BALCONIES ARE PROVIDED TO 3RD FLOOR OF ALL 3-STORY TOWNHOUSE UNITS.

- ☐ 120L GARBAGE CART 0.95MH X 0.55MD X 0.48MW
- ☐ 46.5L FOOD SCRAPS CART 0.69MH X 0.30MD X 0.48MW
- ☐ BLUE CONTAINER BOX 0.37MH X 0.38M X 0.46MW
- ☐ GREY GLASS CONTAINER BOX 0.36MH X 0.36MD X 0.27MW
- ☐ YELLOW PAPER BAG CART 0.66MH X 0.46MD

ACOUSTICAL UPDATE REQUIRED ON EXTERIOR WALLS & WINDOWS (REFER TO ACUSTICAL REPORT ISSUED BY BNL DATED OCT 20, 2020)

MINIMUM OITC RATING	EXAMPLE WINDOW GLAZING & WALL UPGRADES
OITC 28	WINDOW - MIN. OITC 28 REQUIRED
OITC 29	WINDOW - MIN. OITC 29 REQUIRED
OITC 32	WINDOW - MIN. OITC 32 REQUIRED
	1. 400TYPICAL LI-REP EXTERIOR WALL UPGRADE
	2. ADDITIONAL LAYERS OF 5/8" TYPE X GWB



**IMPERIAL ARCHITECTURE**  
HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
10851 SOUTHDALE ROAD, RICHMOND, BC  
V6X 4E6  
TEL: (604) 273-7882

ARCHITECTURE  
INTERIOR  
DESIGN  
PLANNING

Copyright Reserved  
The Copyright in this drawing and its contents is reserved and remains the property of Imperial Architecture and shall not be used, modified, or reproduced without the express written consent of Imperial Architecture.

Dimensions  
The Contractor shall verify all dimensions and immediately report any errors and/or discrepancies to Imperial Architecture. DO NOT SCALE DRAWINGS.



STEVESTON HIGHWAY  
KEY PLAN

ISSUED FOR APPROVAL	DATE	BY
ISSUED FOR APPROVAL	20.12.17	W.K.
ISSUED FOR APPROVAL	20.08.19	A.Z.
ISSUED FOR APPROVAL	20.07.19	W.K.
ISSUED FOR APPROVAL	20.03.20	A.Z.
ISSUED FOR APPROVAL	17.04.20	W.K.

ISSUED FOR  
DPP REVIEW  
2020-12-10

Client/Project  
STEVESTON TOWNHOUSE  
DEVELOPMENT  
8871, 8801, 8811, 8874 STEVESTON HWY &  
10851 SOUTHDALE ROAD, RICHMOND, BC  
(DP-20-896138)

Title  
BUILDING E & F  
FLOOR PLANS

Project No.  
#8211

Scale  
1/8"=1'-0"

Sheet  
A 2.4

Revision

**DP 20-896138**  
REFERENCE PLAN  
December 14, 2020





DP 20-896138  
 REFERENCE PLAN  
 December 14, 2020

**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 1000 THE PRINCE STREET, RICHMOND, BC, V6X 1Y9  
 TEL: 604.273.1111 FAX: 604.273.1112  
 WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

**Copyright Reserved**  
 The Copyright in this drawing and its contents is reserved, and remains as all items the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced without the expressed written consent of Imperial Architecture.

**Dimensions**  
 All dimensions are in millimeters unless otherwise specified. All dimensions shall be in accordance with the International System of Units (SI). DO NOT SCALE DIMENSIONS.



DATE FOR PERMIT	1.2	W.M.	20.12.20
DATE FOR PERMIT	1.2	W.M.	20.08.19
DATE FOR PERMIT	1.2	W.M.	20.07.14
DATE FOR PERMIT	1.2	W.M.	20.03.08
DATE FOR PERMIT	1.2	W.M.	19.04.03
DATE FOR PERMIT	1.2	W.M.	19.04.03

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

Client/Project  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
 9871, 9891, 9811, 9871 STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (DP 20-896138)

Title  
**COLOR RENDERING**

Project No. #8211  
 Scale N.T.S.  
 Drawing No. Sheet  
 Revision

**A 0.11**



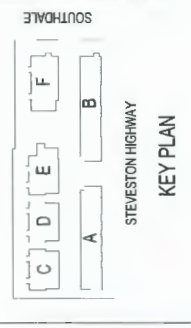
**DP 20-896138**  
**REFERENCE PLAN**  
 December 14, 2020

COLOR RENDERING

Client/Project  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
 6571 6591, 6511, 6571 STEVESTON HWY &  
 10831 SOUTHDALE ROAD, RICHMOND, BC  
 (DP-20-896138)

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

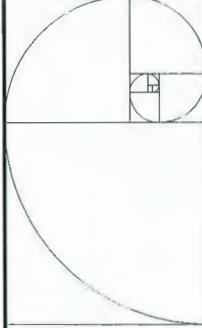
DESIGNED FOR DPP REVIEW	J.Z.	W.S.	20.12.10
DESIGNED FOR N.T.S.	J.Z.	W.S.	20.05.15
DESIGNED FOR SUBMISSION	J.Z.	W.S.	20.07.14
DESIGNED FOR SUBMISSION	J.Z.	W.S.	20.03.08
Board	By	Appr.	17.04.10

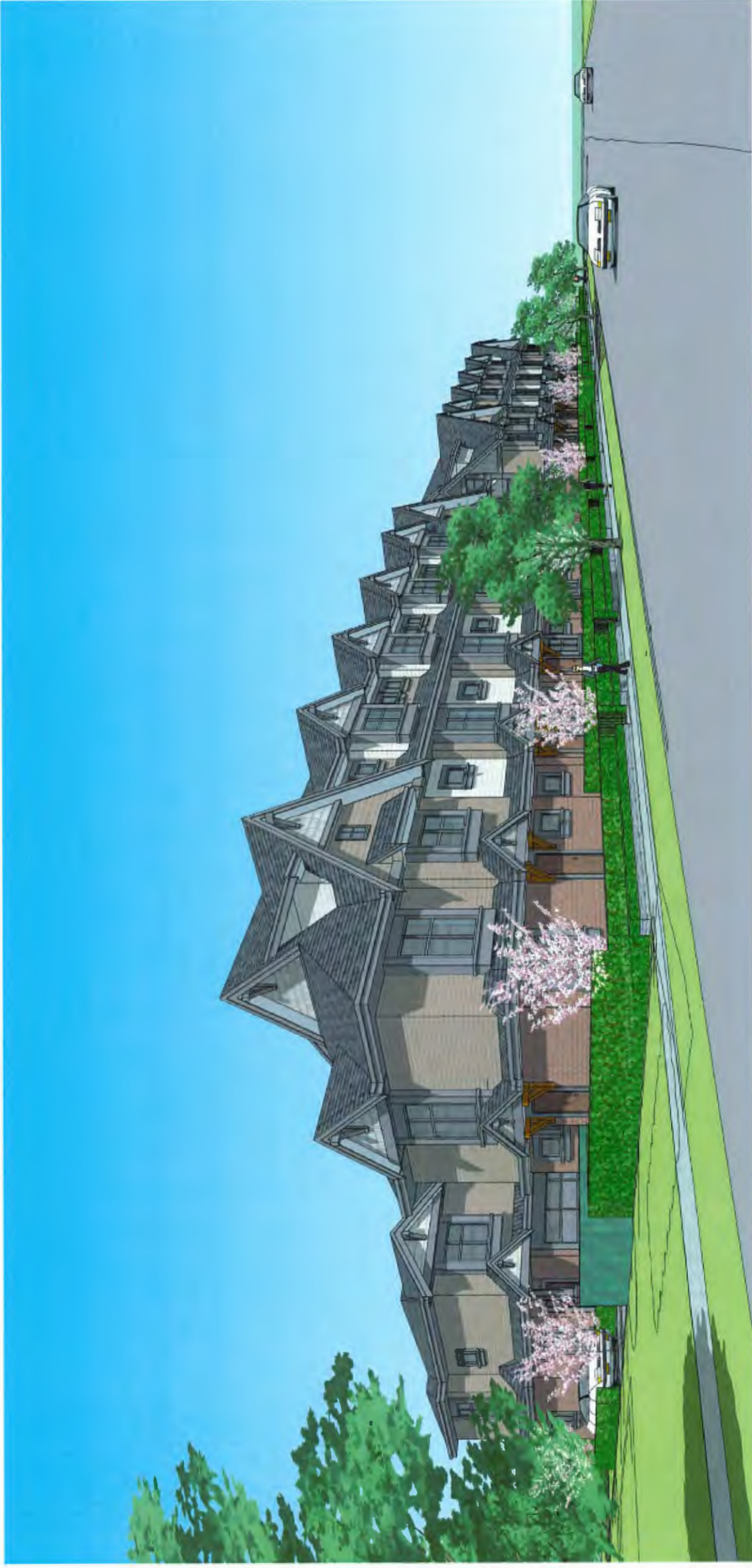


**Dimensions**  
 The Client shall verify all dimensions and immediately report any errors under  
 inclusion to Imperial Architecture. DO NOT SCALE DIMENSIONS.

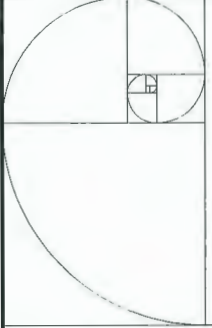
**Copyright Reserved**  
 The Copyright in this drawing and its contents is reserved, and remains as all items the  
 exclusive property of Imperial Architecture, and shall not be used, modified, or  
 reproduced in whole or in part without the express written consent of Imperial Architecture.

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING





DP 20-896138  
 REFERENCE PLAN  
 December 14, 2020

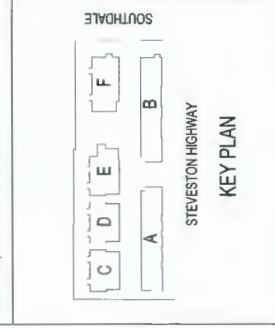


**IMPERIAL ARCHITECTURE**  
 ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 ARCHITECTURE ACT NO. 1000  
 10831 SOUTHDALE ROAD, RICHMOND, BC  
 V6V 1Y4  
 TEL: 604.273.8888

**Copyright Reserved**  
 The Copyright in this drawing and its contents is reserved, and remains at all times the exclusive property of Imperial Architecture, and no part may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written permission of Imperial Architecture.

**Dimensions**  
 The Contractor shall verify all dimensions and immediately report any errors under no circumstances to Imperial Architecture. DO NOT SCALE DRAWINGS.



**ISSUED FOR DPP REVIEW**  
 2020-12-10

**Client/Project**  
 STEVESTON TOWNHOUSE DEVELOPMENT  
 9571, 9591, 9611, 9671 STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (DP 20-896138)

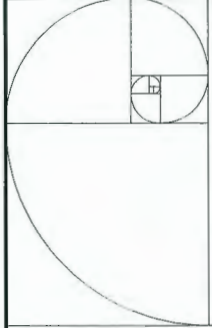
**Title**  
 COLOR RENDERING

Project No. #8211  
 Scale N.T.S.  
 Drawing No. Sheet  
 Revision

**A 0.13** of



DP 20-896138  
 REFERENCE PLAN  
 December 14, 2020



**IMPERIAL ARCHITECTURE**  
 ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 10851 Southdale Road, Richmond, BC V6V 2G9  
 TEL: 604-273-8861 FAX: 604-273-8862  
 WWW.IMPERIALARCHITECTURE.COM

**Copyright Reserved**  
 The Copyright to this drawing and its contents is reserved, and remains as all times the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced without the expressed written consent of Imperial Architecture.

**Dimensions**  
 This drawing shall comply with all dimensions and standards set forth in the applicable building codes and standards. DO NOT SCALE DRAWINGS.



ISSUED FOR DPP REVIEW	2.2	8.8	20.12.10
REVISED FOR DPP REVIEW	2.2	8.8	20.08.19
ISSUED FOR DPP SUBMISSION	2.2	8.8	20.07.14
REVISED FOR DPP SUBMISSION	2.2	8.8	20.03.08
ISSUED	2.2	8.8	17.04.03

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

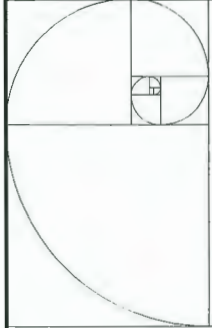
Client/Project  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
 9871, 9891, 9811, 9871 STEVESTON HWY & 10851 SOUTHDALE ROAD, RICHMOND, BC (DP 20-896138)

Title  
**COLOR RENDERING**

Project No. #8211  
 Scale N.T.S.  
 Drawing No. Sheet

Revised By  
 Reborn

**A 0.14** of



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

**Copyright Reserved**  
 The Copyright to this drawing and its contents is reserved, and remains the sole property of Imperial Architecture, and shall not be used, modified, or reproduced without the expressed written consent of Imperial Architecture.

**Dimensions**  
 The Client shall verify all dimensions and immediately report any errors under penalty to Imperial Architecture. DO NOT SCALE DRAWINGS.



ISSUED FOR DPP REVIEW	1.2	8.8	20.12.19
ISSUED FOR DPP REVIEW	1.2	8.8	20.08.19
ISSUED FOR SUBMISSION	1.2	8.8	20.07.14
ISSUED FOR SUBMISSION	1.2	8.8	20.11.08
ISSUED		By	APAC
			FORWARDED

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

Client/Project  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
 9871, 9891, 9811, 9871, STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (DP 20-896138)

Title  
**COLOR RENDERING**

Project No. #8211  
 Scale: N.T.S.  
 Drawing No. Sheet  
 Revision

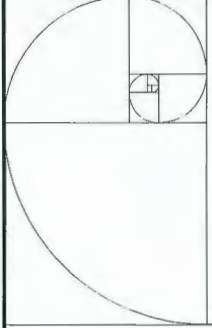
**A 0.15** of



**DP 20-896138**  
**REFERENCE PLAN**  
 December 14, 2020



DP 20-896138  
REFERENCE PLAN  
December 14, 2020



**IMPERIAL ARCHITECTURE**  
ARCHITECTURE  
INTERIOR DESIGN  
PLANNING  
HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
REGISTERED ARCHITECTURE  
10831 SOUTHDALE ROAD, RICHMOND, BC  
V6X 1A7  
TEL: 604-273-1111  
WWW.IMPERIALARCHITECTURE.COM

**Copyright Reserved**  
The Copyright to this drawing and its contents is reserved, and remains as all times the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced without the expressed written consent of Imperial Architecture.  
**Dimensions**  
The Client shall verify all dimensions and immediately create any errors under retention to Imperial Architecture. DO NOT SCALE DRAWINGS.



REVISION	DATE	BY	APP'D.
ISSUED FOR DPP REVIEW	20.12.10	J.Z.	M.B.
REVISED FOR DPP REVIEW	20.08.11	J.Z.	M.B.
REVISED FOR DPP SUBMISSION	20.07.14	J.Z.	M.B.
REVISED FOR DPP SUBMISSION	20.03.08	J.Z.	M.B.
REVISED FOR DPP SUBMISSION	20.02.08	J.Z.	M.B.

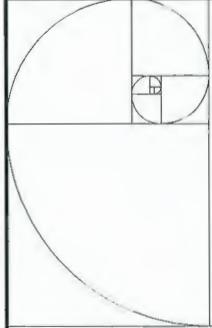
ISSUED FOR  
DPP REVIEW  
2020-12-10

Client/Project  
STEVESTON TOWNHOUSE  
DEVELOPMENT  
9571 9591, 9811, 9871 STEVESTON HWY &  
10831 SOUTHDALE ROAD, RICHMOND, BC  
(DP 20-896138)

Title  
COLOR RENDERING

Project No. #8211  
Scale N.T.S.  
Drawing No. Sheet  
Revision

A 0.16 of



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 ARCHITECTURE INC. 10851 SOUTHWINDLE ROAD, RICHMOND, BC  
 V6X 2K6  
 TEL: (604) 273-1342

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

Copyright Reserved

The Copyright in this drawing and its contents is reserved, and remains as all times the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced without the expressed written consent of Imperial Architecture.

**Dimensions**

All dimensions are in metric units unless otherwise specified. Dimensions are given in millimeters. DO NOT SCALE DIMENSIONS.



STEVESTON HIGHWAY  
 KEY PLAN

REVISION	DATE	BY	APP'D
ISSUED FOR DPP REVIEW	20.12.10	N.S.	N.T.S.
ISSUED FOR DPP REVIEW	20.08.11	N.S.	N.T.S.
ISSUED FOR DPP REVIEW	20.07.11	N.S.	N.T.S.
ISSUED FOR SUBMISSION	20.03.08	N.S.	N.T.S.
ISSUED FOR SUBMISSION	20.03.08	N.S.	N.T.S.

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT  
 9571, 9591, 9611, 9671 STEVESTON HWY &  
 10851 SOUTHWINDLE ROAD, RICHMOND, BC  
 (DP 20-896138)

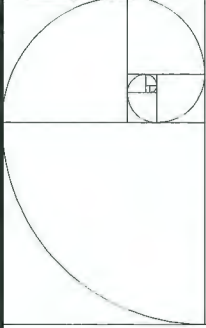
TYPE  
 COLOR RENDERING

Project No.  
 #8211  
 Drawing No.  
 A 0.17

DP 20-896138  
 REFERENCE PLAN  
 December 14, 2020

Scale  
 N.T.S.

Revision  
 1 of 1



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 10831 SOUTHDALE ROAD, RICHMOND, BC V6V 1K9  
 TEL: 604.273.7242 FAX: 604.273.7243

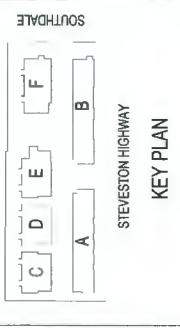
ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

Copyright Reserved

The Copyright in this drawing and its contents is reserved, and remains with the author. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the expressed written consent of Imperial Architecture.

**Dimensions**

All dimensions are in millimeters unless otherwise stated. Dimensions are given in millimeters. DO NOT SCALE DRAWINGS.



REVISION	DATE	BY	APP'D
ISSUED FOR PERMIT	20.11.20	W.W.	W.W.
ISSUED FOR PERMIT	20.06.19	J.Z.	W.W.
ISSUED FOR PERMIT	20.07.18	J.Z.	W.W.
ISSUED FOR PERMIT	20.03.18	J.Z.	W.W.
ISSUED	17.04.17	By	App'd

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

Client/Project  
**STEVESTON TOWNHOUSE DEVELOPMENT**  
 9571, 9591, 9611, 9671 STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (DP 20-896138)

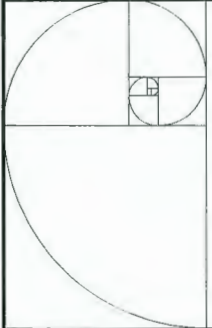
Title  
**COLOR RENDERING**

Project No. #8211  
 Scale N.T.S.  
 Drawing No. Sheet  
 Revision

A 0.18 of

**DP 20-896138**  
**REFERENCE PLAN**  
 December 14, 2020





**IMPERIAL ARCHITECTURE**  
 ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
 10881 SOUTHDALE ROAD, RICHMOND, BC  
 (DP 20-896138)

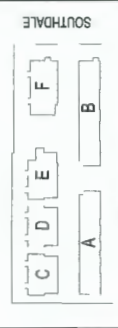
ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

**Copyright Reserved**

The Copyright in this drawing and its contents is reserved, and remains in all times, the exclusive property of Imperial Architecture and shall not be used, modified, or reproduced without the expressed written consent of Imperial Architecture.

**Dimensions**

The Contractor shall verify all dimensions and immediately report any errors within 10 business days of the start of construction. DO NOT SCALE DRAWINGS.



REVISION	DATE	BY	APP'D
ISSUED FOR DPP REVIEW	2020.12.10	J.L.	J.L.
ISSUED FOR APP REVIEW	2020.11.15	J.L.	J.L.
ISSUED FOR SUBMISSION	2020.11.14	J.L.	J.L.
ISSUED FOR SUBMISSION	2020.10.20	J.L.	J.L.
ISSUED FOR SUBMISSION	2020.10.20	J.L.	J.L.

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

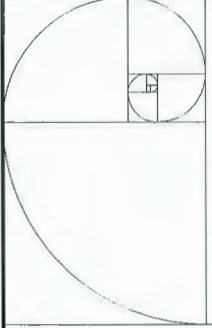
Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT  
 9571 9591, 9611, 9671 STEVESTON HWY &  
 10881 SOUTHDALE ROAD, RICHMOND, BC  
 (DP 20-896138)

Title  
 COLOR RENDERING

Project No.  
 #8211  
 Scale  
 N.T.S.  
 Drawing No.  
 Sheet  
 Revision

DP 20-896138  
 REFERENCE PLAN  
 December 14, 2020

A 0.19 of



**IMPERIAL ARCHITECTURE**  
 ARCHITECTURE  
 INTERIOR DESIGN  
 DESIGN PLANNING

HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 1000 WESTERN AVENUE, SUITE 100  
 VANCOUVER, BC V6E 2R5  
 TEL: 604-273-8888

**Copyright Reserved**  
 The Copyright in this drawing and its contents is reserved, and remains at all times the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced in whole or in part without the prior written consent of Imperial Architecture.

**Dimensions**  
 The Contractor shall verify all dimensions and immediately report any errors under penalties to Imperial Architecture. DO NOT SCALE DRAWINGS.



ISSUED FOR DPP REVIEW	J.Z.	M.E.	20.12.19														
ISSUED FOR PERMITS REVIEW	J.Z.	ISSUED FOR SUBMISSION	J.Z.	M.E.	20.07.19	ISSUED FOR SUBMISSION	J.Z.	M.E.	20.07.19	ISSUED FOR SUBMISSION	J.Z.	M.E.	20.07.19	ISSUED FOR SUBMISSION	J.Z.	M.E.	20.07.19
ISSUED FOR SUBMISSION	J.Z.	M.E.	20.07.19														
ISSUED FOR SUBMISSION	J.Z.	M.E.	20.07.19														
ISSUED FOR SUBMISSION	J.Z.	M.E.	20.07.19														
ISSUED FOR SUBMISSION	J.Z.	M.E.	20.07.19														

ISSUED FOR DPP REVIEW  
 DPP REVIEW  
 2020-12-10

Client/Project  
 STEVESTON TOWNHOUSE DEVELOPMENT  
 9571 9631, 9671, 9674 STEVESTON HWY & 10831 SOUTHDALE ROAD, RICHMOND, BC (DP-20-896138)

Project No. #8211  
 Scale N.T.S.  
 Drawing No. 01  
 Sheet 1 of 1  
 Revision

A 0.6 of



SHADOW ANALYSIS  
 MARCH 20TH - 2:00PM



SHADOW ANALYSIS  
 SEPT 23RD - 2:00PM



SHADOW ANALYSIS  
 JUN 21ST - 2:00PM



SHADOW ANALYSIS  
 DEC 23RD - 2:00PM



SHADOW ANALYSIS  
 MARCH 20TH - 10:00AM



SHADOW ANALYSIS  
 SEPT 23RD - 10:00AM

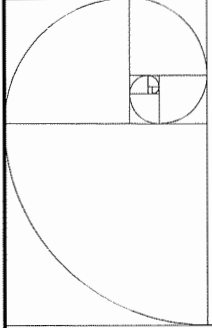


SHADOW ANALYSIS  
 JUN 21ST - 10:00AM



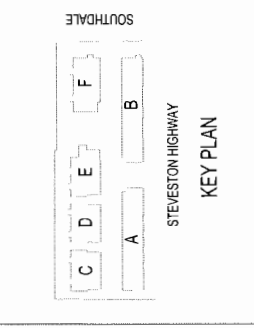
SHADOW ANALYSIS  
 DEC 23RD - 10:00AM

DP 20-896138  
 REFERENCE PLAN  
 December 14, 2020



**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN ARCHITECTURE CERTIFICATE OF PRACTICE  
 10851 SOUTHDALE ROAD, RICHMOND, BC  
 (DP 20-896138)  
 ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

**Copyright Reserved**  
 This Copyright in this drawing and its contents is reserved, and remains as all times the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced in whole or in part for any other project without the written consent of Imperial Architecture.  
**Dimensions**  
 The Contractor shall verify all dimensions, and immediately report any errors under review to Imperial Architecture. DO NOT SCALE DRAWINGS.

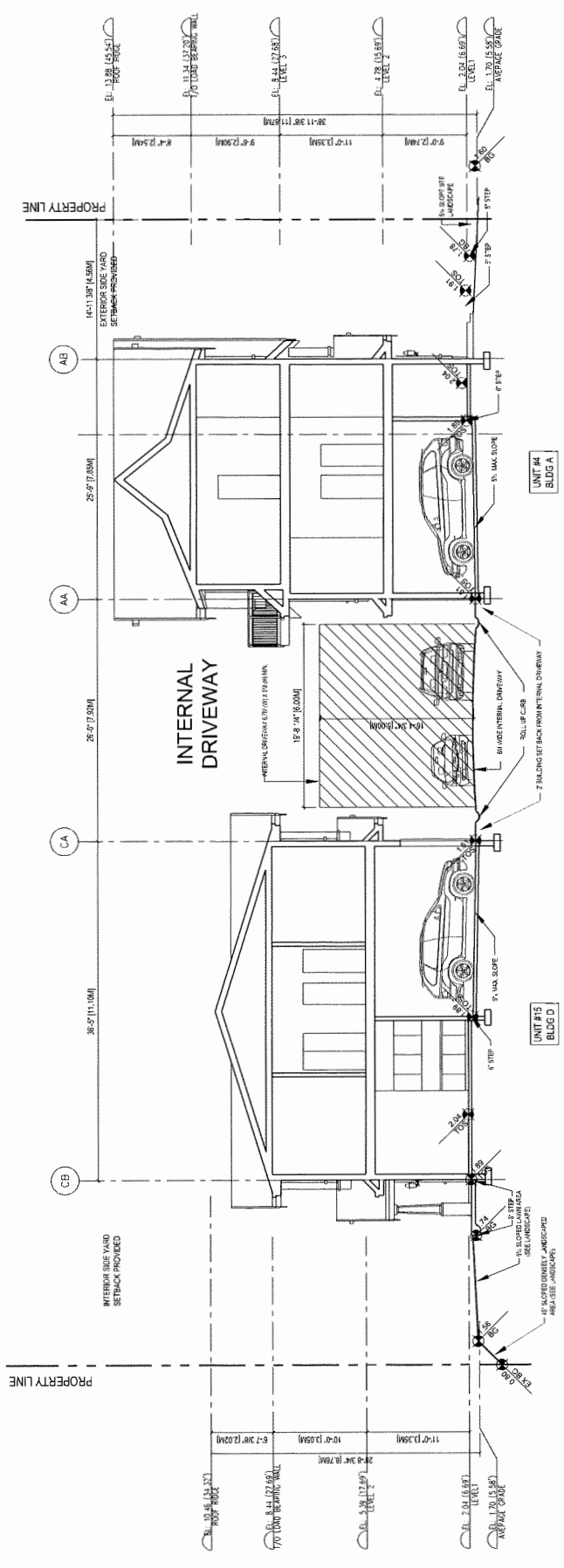
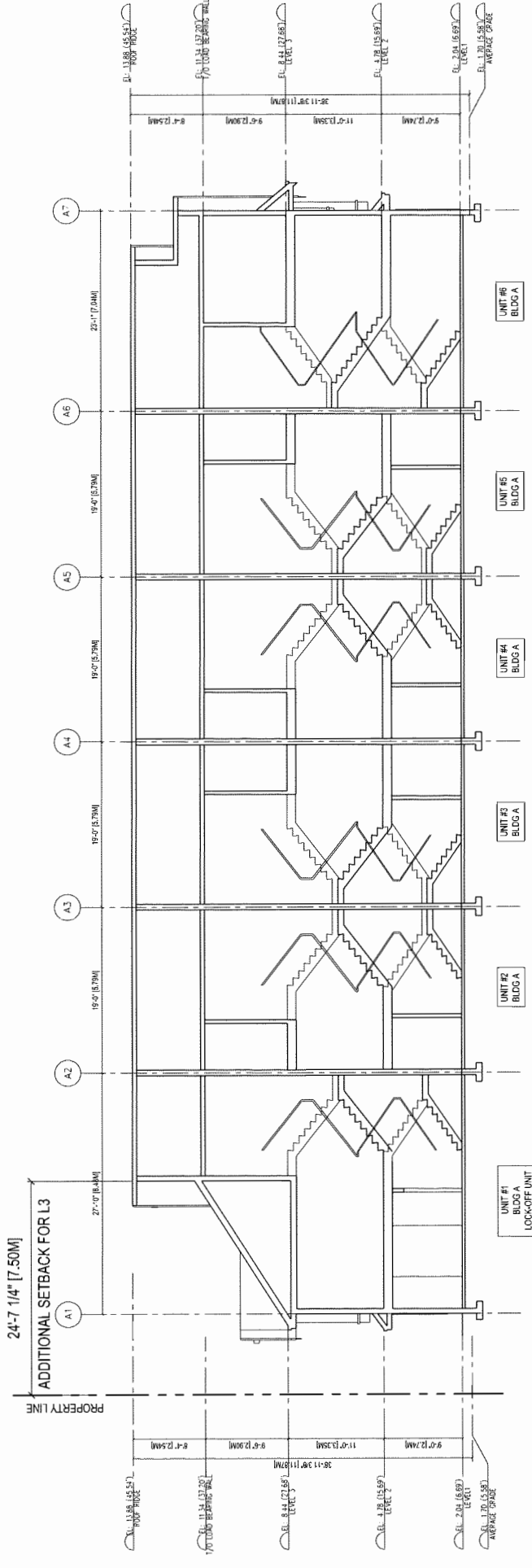


REVISION	DATE	BY	APP'D
ISSUED FOR DPP REVIEW	20.12.19	J.Z.	M.B.
ISSUED FOR DPP REVIEW	20.08.19	J.Z.	M.B.
ISSUED FOR 3P SUBMISSION	20.07.19	J.Z.	M.B.
COLLECTOR 3P SUBMISSION	20.07.08	J.Z.	M.B.
Drawn	19.06.08	By	19.06.08

ISSUED FOR  
 DPP REVIEW  
 2020-12-10

Client/Project  
 STEVESTON TOWNHOUSE  
 DEVELOPMENT  
 9571 9591, 9511, 9571 STEVESTON HWY &  
 10851 SOUTHDALE ROAD, RICHMOND, BC  
 (DP 20-896138)

Table  
**BUILDING SECTIONS**  
 Project No. #8211 Scale 1/8"=1'-0"  
 Drawing No. Sheet  
**A 4.1** of  
 Revision



**3 BUILDING A CROSS SECTION (SIM. TO BUILDING B)**  
 SCALE 1/8"=1'-0"  
 A4.1

**DP 20-896138**  
**REFERENCE PLAN**  
 December 14, 2020

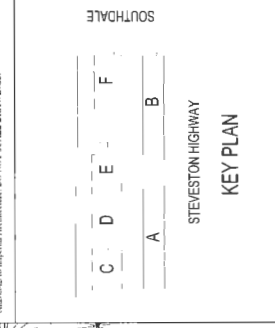


**IMPERIAL ARCHITECTURE**  
 HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
 1000 UNIVERSITY AVENUE, SUITE 100  
 VANCOUVER, BC V6E 2E3  
 TEL: 604-681-1111  
 FAX: 604-681-1112  
 EMAIL: INFO@IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR DESIGN  
 PLANNING

**Copyright Reserved**  
 The Copyright in this drawing and its contents is reserved, and remains at all times the exclusive property of Imperial Architecture, and shall not be used, modified, or reproduced in whole or in part without the express written consent of Imperial Architecture.

**Dimensions**  
 The Client shall verify all dimensions and conditions, correct any errors, and advise Imperial Architecture. DO NOT SCALE DRAWINGS.



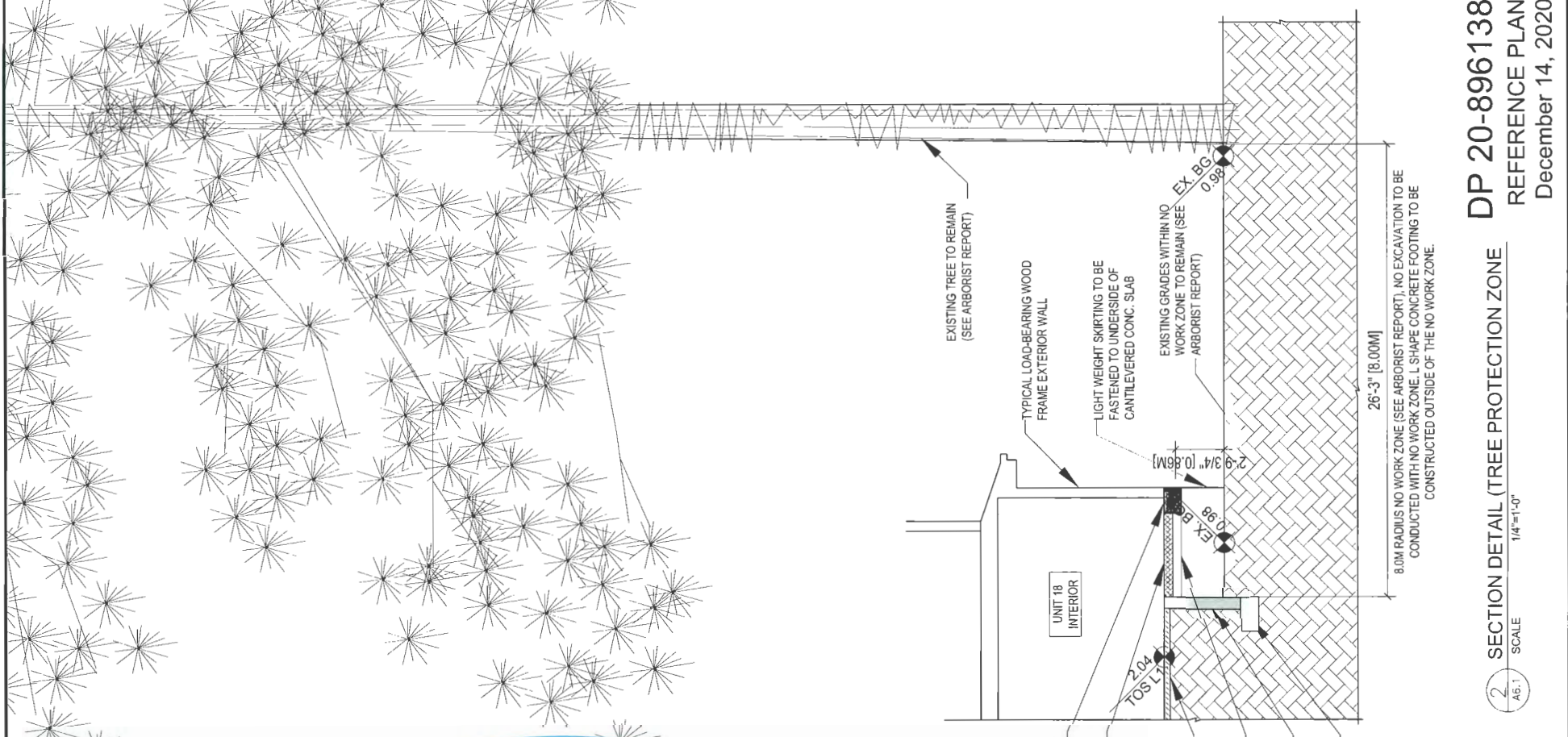
NO.	DATE	BY	APP'D
1	20.12.10	W.W.	W.W.
2	20.08.19	W.W.	W.W.
3	20.07.14	W.W.	W.W.
4	20.03.08	W.W.	W.W.
5	17.04.05	W.W.	W.W.

**ISSUED FOR DPP REVIEW**  
 2020-12-10

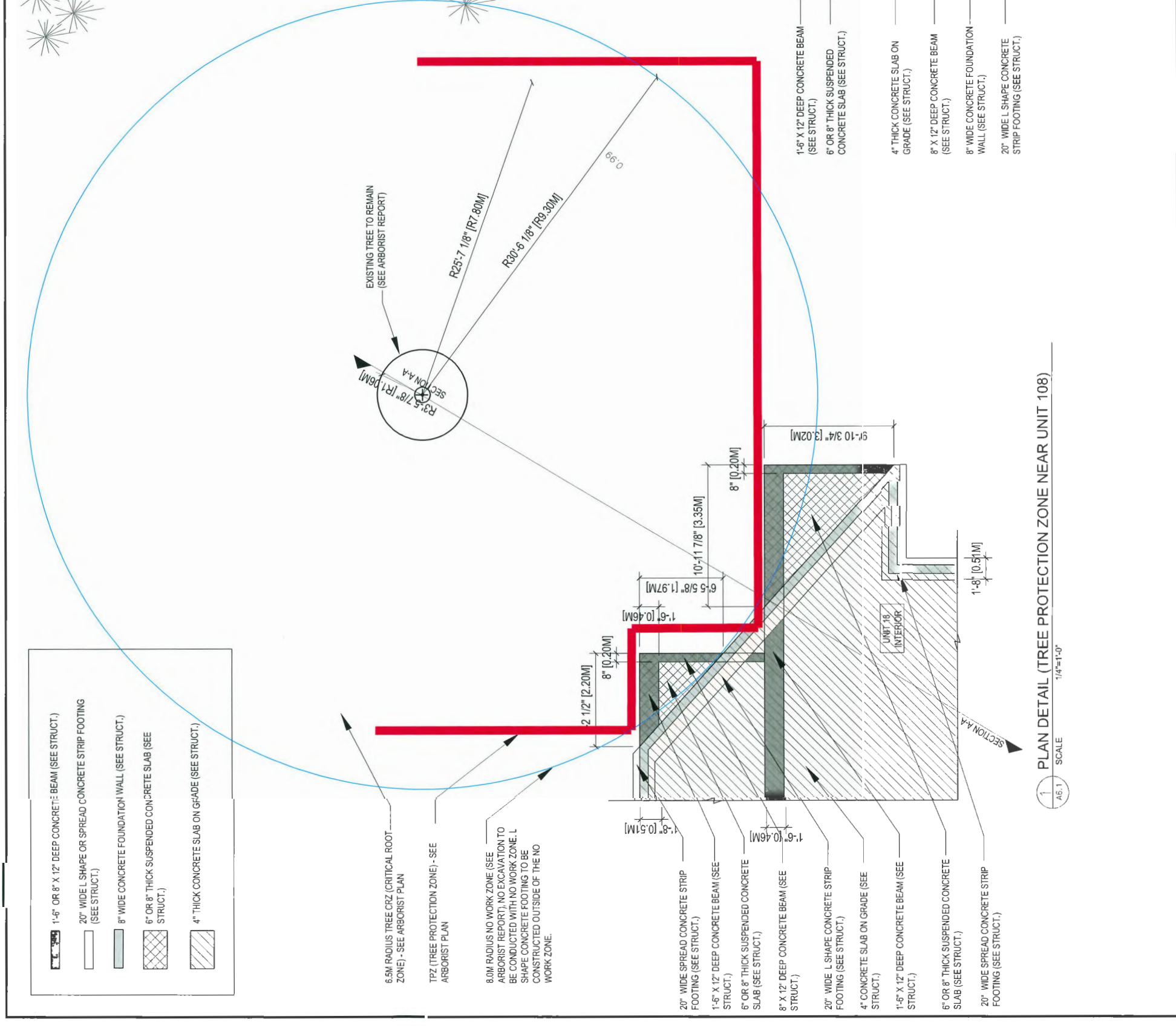
Client/Project: STEVESTON TOWNHOUSE DEVELOPMENT  
 9571 9591 9611 STEVESTON HWY & 10851 SOUTHWALK ROAD, RICHMOND, BC (DP-20-696138)

108 PLAN & SECTION DETAILS (TREE PROTECTION ZONE NEAR UNIT 18)

Project No. #8211  
 Scale 1/4"=1'-0"  
 Drawing No. A6.1  
 Revision



**DP 20-896138**  
**REFERENCE PLAN**  
 December 14, 2020



**1 PLAN DETAIL (TREE PROTECTION ZONE NEAR UNIT 108)**  
 SCALE 1/4"=1'-0"

**2 SECTION DETAIL (TREE PROTECTION ZONE)**  
 SCALE 1/4"=1'-0"