



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: January 23, 2019

From: Wayne Craig
Director of Development

File: DP 18-831623

Re: Application by W.T. Leung Architects, Inc. on behalf of Grand Long Holdings
Canada Ltd. for a Development Permit at 8071 and 8091 Park Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of two residential towers and one office-residential tower on a podium with street-oriented commercial and retail uses at ground level at 8071 and 8091 Park Road on a site zoned "High Density Mixed Use (ZMU39) – Brighthouse Village (City Centre).

Wayne Craig
Director of Development

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Att. 6

Staff Report

Origin

W.T. Leung Architects Inc., on behalf of Grand Long Holdings Canada Ltd. has applied to the City of Richmond for permission to develop two residential towers and one office-residential tower on a podium with street-oriented commercial and retail uses fronting Park Road and Buswell Street at ground level and concealed parking at 8071 and 8091 Park Road.

The proposed mixed use development includes a total floor area of approximately 39,410 m² (424,211 ft²) comprised of approximately:

- 5,461 m² (58,780 ft²) of office space within proposed Tower A (3rd-7th storey of the building);
- 29,893 m² (321,766 ft²) of residential space within proposed Tower A, B, and C, including twenty one (21) Low End Market Rental (LEMR) Affordable Housing (AH) units that will be secured with a legal agreement as a condition of rezoning bylaw adoption;
- 4,057 m² (43,671 ft²) of retail/restaurant space; and
- 1,069 m² (11,505 ft²) of indoor and 3,558 m² (38,295 ft²) of outdoor common amenity space.

The site is being rezoned from “Downtown Commercial (CDT1)” to “High Density Mixed Use (ZMU39)-Brighthouse Village (City Centre)” zone under Bylaw 9878 (RZ 17-779229), which received third reading on July 16, 2018. Considerations of rezoning include:

- Registration of right of ways to secure supplementary public space at ground level (i.e. proposed Park Road plaza, north/south public pedestrian connection through the parking podium).
- Transportation and infrastructure improvements in accordance with the City’s standard Servicing Agreement process. Works include but are not limited to road dedications and frontage improvements (along Park Road, Buswell Street and both adjacent lanes), installation of a new traffic signal at the Park Road/Buswell Street intersection, installation of a new mid-block pedestrian crossing signal, undertaking improvements to the existing traffic signal at the No. 3 Road/Park Road intersection, and water, storm sewer and sanitary sewer improvements.
- Design, construction and transfer of ownership to the City of an on-site energy plant.
- Provision of cash in lieu of contributions for childcare and community amenity space consistent with City Centre Area Plan (CCAP) density bonusing provisions.
- Participation in the City’s Public Art Program and introduction of public art on-site.

Development Information

The subject site is comprised of two lots that are located at the northwest intersection of Park Road and Buswell Street and bound by existing north/south and east/west lanes (Attachment 1). There are currently no residential uses on the site. The existing one and two storey commercial buildings and associated surface parking are currently vacant.

Surrounding Development

The subject site is located in the Brighthouse Village in the City Centre Area Plan (CCAP) and is in an area that is designated “Urban Core T6 (45m)” and “Village Centre Bonus (VCB)” (Attachment 2). The applicant’s proposal to rezone the site to take advantage of the CCAP supported density for the site, which includes provisions to permit up to 1.0 Floor Area Ratio (FAR) of additional non-residential density, is at third reading. Development surrounding the subject site is as follows:

- To the North: An existing lane that will be widened as a condition of rezoning bylaw adoption, existing commercial buildings and a new fifteen storey mixed use (residential/commercial) tower at 6511 Buswell Street, at the intersection of Buswell Road and Cook Road, that is currently under construction (DP 13-634111). The properties are zoned “Downtown Commercial (CDT1)” and designated “Urban Core T6 (45 m)” and “Village Centre Bonus” in the Brighthouse Village in the CCAP.
- To the South: Park Road and existing single storey commercial buildings with surface parking within the front yard setback and a fourteen storey mixed use (residential/commercial) tower at the intersection of Park Road and Buswell Street (6733 Buswell Street). The properties are zoned “Downtown Commercial (CDT1)” and designated “Urban Core T6 (45 m)” and “Village Centre Bonus” in the Brighthouse Village in the CCAP.
- To the East: Buswell Street and an existing low rise apartment building zoned “Medium Density Low Rise Apartments (RAM1)” and designated “Urban Centre T5 (25 m)” in the Brighthouse Village in the CCAP.
- To the West: An existing lane that will be widened as a condition of rezoning bylaw adoption and existing one and two storey commercial buildings that front No. 3 Road and provide vehicle parking in both the front and rear yard setback (No. 3 Road and lane setback). 6560, 6600, 6640 and 6700 No. 3 Road are under application (RZ 15-694855, DP 16-754761) to rezone to the “High Density Mixed Use (ZMU36)- Brighthouse Village (City Centre)” zone to permit development of a mixed-use building (residential/ commercial/office). This development proposal has Third Reading and issuance of the Development Permit is pending. The properties are designated “Urban Core T6 (45 m)” and “Village Centre Bonus” in the Brighthouse Village in the CCAP.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on July 16, 2018. At the Public Hearing, there were no written submissions or submissions from the floor. No concerns about the proposed rezoning were expressed.

Staff Comments

The proposed development scheme attached to this report complies with the provisions of the proposed “High Density Mixed Use (ZMU39)-Brighthouse Village (City Centre)” zone. The applicant has satisfactorily addressed the urban design form and character objectives of the

Official Community Plan (OCP) and City Centre Area Plan (CCAP) and associated Development Permit Guidelines. The attached Development Application Data Sheet (Attachment 3) provides a comparison of the proposed development data with the relevant Bylaw requirements.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the proposal on August 22, 2018 and again on October 17, 2018. Subsequent to the applicant revising the proposal in response to the ADP's initial comments, the Panel was supportive of the proposed form and character subject to further design development in response to their comments. The current proposal incorporates changes in response to comments from the ADP including:

- Design development of the building elevations, including the building elevations that abut the proposed Park Road plaza area.
- Design development of the landscape plan including enhancements to the north/south pedestrian corridor and public plaza, and the podium level common outdoor amenity area.
- Architectural and landscape updates to improve on-site wayfinding (i.e. wayfinding by design including building materials, colour, illumination).

A copy of the relevant excerpt from the most recent ADP Minutes from October 17, 2018 is attached for reference (Attachment 4). The design response from the applicant has been included immediately following the specific comments from members of the Advisory Design Panel and is identified in '*bold italics*'.

Analysis

Proposal Description

The proposed development includes three towers and stepped mid-rise buildings over a podium with ground level, street-oriented commercial and retail uses fronting Park Road and Buswell Street, and concealed parking. The CCAP supports the proposed mix of land uses at the site, which includes residential, office and commercial uses as well as supplementary public space at the ground level (i.e. proposed Park Road plaza, north/south public pedestrian connection through the parking podium).

The proposal is a single phase development. The applicant intends to create four airspace parcels and a remainder (three residential air space parcels, one office air space parcel, one commercial and parking remainder).

Conditions of Adjacency

The proposed development is designed to minimize impacts on both existing and future surrounding development.

- The subject site is surrounded by City streets and lanes and does not abut a private property.
- The proposed siting of the towers is consistent with CCAP tower separation guidelines and considers both separations between proposed on-site towers and tower setbacks from the property line.
- Stepped mid-rise building forms are proposed. The proposed mid-rise building massing:

- Increases the separation between the west side of Tower C and the east side of Tower A, which increases sun penetration into the common outdoor amenity area, minimizes overlook between residents and office workers, and maintains a view of the north shore mountains for some properties that are south of the subject site.
- Includes angled building corners (for Building C and A mid-rise storeys) that maximize sun access to the outdoor amenity space, preserve through views, and articulate mid-rise building façades.

Urban Design and Site Planning

Streetscape/Public Realm

- Through the associated rezoning process, a series of dedications and improvements will be undertaken to enhance the public realm. These measures include road and lane widening, installation of a pedestrian push button crosswalk on Park Road that is aligned with the proposed Park Road plaza and north/south pedestrian connection, upgrades to the intersection of Park Road and Buswell Street from the current four way stop configuration into a signalized intersection that also includes upgrades on the north side of Park Road along the subject site's frontage.
- The proposed development would contribute to activity and animation along its road frontages:
 - The proposed building massing is consistent with CCAP guidelines that encourage a "human-scaled streetscape" (concealed parking and servicing, weather protection for street level uses, varied building setbacks along road frontages, and a series of commercial retail units and lobbies to on-site residences and offices that are oriented to support pedestrian access from the sidewalk or the proposed Park Road Plaza).
 - To minimize the impact of the proposed development on the City's roadways and interruption of the pedestrian realm by vehicle accesses, all access to the site will be via the existing east/west and north/south laneways, which will be widened.
- The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title is required prior to final adoption of the rezoning bylaw.

Site and Functional Planning

The site's location at the intersection of Park Road and Buswell Street, proximity to No. 3 Road and the proposed mix of on-site uses influence the proposed site and functional planning.

Pedestrians

- The site is bound by lanes and roads with active uses and weather protection lining the property's road frontages.
- Supplementary public outdoor amenity spaces would be secured by right of ways as a consideration of the associated rezoning application.
 - The proposed Park Road plaza would interrupt and animate the development's long Park Road frontage and support pedestrian connectivity between Park Road, commercial uses (including a planned grocery store at the ground level in Building A), on-site enclosed parking, a proposed at grade north/south public pedestrian connection through the building, and a proposed new Park Road mid-block signalized pedestrian crossing. The space includes area that is both open to above and covered by second storey building area that provides weather protection.

- A north/south pedestrian connection through the building that connects Park Road, the proposed Park Road public plaza, and the east/west lane is proposed. Inclusion of a pedestrian connection is consistent with the CCAP's objective to introduce smaller block pedestrian connections (at 100 m intervals) to provide more access options and linkages for pedestrians. To encourage its use by pedestrians and to maximize both the pedestrian experience and safety, the proposed building podium design includes light wells (vertical shafts with openings at the podium level) to facilitate natural light penetration from the podium level to the north/south pedestrian connection, wall mounted and flush with the ground linear ground lighting, continuation of colour tiles and materials used at the plaza throughout the corridor, continuation of the façade treatment to the ceiling of the opening to the pedestrian pathway for continuity, visual interest and wayfinding, and landscaping.

Vehicle Access

- To minimize the impact of development on the City's roadways, all access to the site will be via the existing east/west and north/south laneways, which will be widened. Three parkade accesses are proposed. Two way access for both residential and non-residential uses would be located from the north/south lane. The east/west lane would provide two points of access including two way access for residential use and an exit only opening for both residential and non-residential uses.

Parking and on-site car share provisions

- The proposed vehicle, bicycle and truck parking is consistent with the site specific bylaw (ZMU39). Consistent with provisions in the Zoning Bylaw, as a condition of rezoning bylaw adoption, an agreement will be registered on Title to secure 153 parking spaces for shared use by retail and restaurant uses and residential visitors.
- Although the development proposal meets on-site parking requirements, car share vehicles that are available for public use would be provided on-site as a supplementary Transportation Demand Management (TDM) amenity. Unenclosed, designated car share parking would be secured on-site through the associated rezoning application and accessed from the north/south lane. The car share provider would initially introduce one car share vehicle on-site. A second vehicle would be introduced when there is public demand for the service. The applicant would contribute \$25,000/stall (total \$50,000) to the car share operator for the provision of car share vehicles.

Cyclists

- Commercial/office and residential bicycle storage is located in secure rooms within the parkade and end of trip facilities are located within close proximity of the on-site plaza on the ground level. Bicycle maintenance and repair facilities are provided for each of the three buildings (Tower A facilities are at the submerged parking level, Tower B and C facilities are located at the uppermost parking level). Short term bicycle parking is provided at lobby entrances, adjacent to the plaza and within and at entries to the north/south pedestrian connection through the parking podium.

Loading/Collection

- Six on-site medium size (SU-9) loading spaces are proposed. All spaces would be secured as shared spaces as a condition of rezoning bylaw adoption and a covenant would be registered on Title to prohibit access/service by large (WB-17) vehicles.

- There are six waste storage areas that provide separate spaces for the on-site uses. The spaces are either directly accessible from an adjacent loading space or a designated holding area is provided that is directly accessible from an adjacent loading space.

Wayfinding

- The development proposal includes a signage and wayfinding strategy; however, a separate Sign Permit Application would be required to install commercial signage. The signage strategy is supplementary to site planning, building massing and building materials (colours, textures, illumination), which were designed to safely guide people through and to the various on-site uses.

Common indoor amenity space

- A total 794 m² (8545 ft²) of residential common indoor amenity space and 275 m² (2,960 ft²) of office indoor amenity space is proposed, which meets CCAP guidelines. The residential common indoor amenity space is distributed between the three buildings. The spaces would be equally accessible to all residents and amenities include meeting and party rooms, exercise facilities and an indoor pool. Each of the spaces have direct access to the adjacent residential common outdoor amenity space.

Affordable Housing (AH) Strategy

- As a condition of rezoning bylaw adoption, twenty-one Low End Market Rental (LEMR) Affordable Housing (AH) units will be secured on the third and fourth storey of Building B and C. The subject application was received prior to July 24, 2017 and is proceeding in accordance with in-stream provisions that were in process at the time Council adopted amendments to the Affordable Housing (AH) Strategy in July 2017 (i.e. 5% of the permitted residential floor area will be secured as AH units). Family-friendly units comprise 57% of the total number of units and the total combined unit floor area is 1,536 m² [16,534 ft²].
- Registration of an AH agreement on Title is a condition of rezoning bylaw adoption. The agreement includes provisions to:
 - Secure access to and use of all residential indoor and outdoor amenities for the occupants of AH units.
 - Ensure the AH units are managed and operated by a non-profit organization that is acceptable to the City.

Table 1: Affordable Housing Summary

Unit Type	Number of Units	Proposed Unit Area	% of Unit Mix	Unit Location
1 bedroom	9	49 m ² to 61.5 m ² (535 to 662 ft ²)	43%	3 rd floor: 7 units 4 th floor: 2 units
2 bedroom	7	79.8 to 102.6 m ² (860 - 1,105ft ²)	33%	3 rd floor: 5 units 4 th floor: 2 unit
3 bedroom	5	92.8 to 102.7 m ² (999 - 1,106 ft ²)	24%	3 rd floor: 3 units 4 th floor: 2 units
Total	21			

Architectural Form and Character

Massing

- Stepped mid-rise buildings are proposed. The proposed building massing accommodates the CCAP supported density for the site while limiting the number of proposed on-site towers

and softening the transition between the podium and tower building elements. The proposed stepped mid-rise building design would vary streetwall heights and floorplate shapes.

- The building includes varied building setbacks along the road frontages, building entries and lobbies are recessed, and the Buswell Street elevation is pulled back mid-block.
- The development supports porosity at ground level by incorporating a public plaza at the midpoint of the site's Park Road frontage that connects to a north/south pedestrian connection through the building's parkade. Angled textured walls define the Park Road plaza space and direct views and pedestrians to the north/south pathway.
- The development would include a full level of below grade parking, which reduces the mass of the parking podium. The remaining above grade parking podium structure is wrapped with commercial uses and building lobby entrances at ground level and commercial and residential uses above along the site's Park Road and Buswell Street frontages. The exposed parking podium elevations along the building's lane frontages are articulated using aluminium louvers, painted concrete with reveals, corrugated metal panels, vertical slat screening, and ground level commercial uses and windows wrap around the building corners.
- The proposed tower floorplates are generally consistent with CCAP design guidelines. The development's proposed stepped tower design is characterized by incrementally reduced tower floorplate sizes.
 - Tower A's podium includes office uses (4th to 7th storey), and proposes larger floorplates, with residential uses above.
 - Tower B has tower floorplates that are less than 650 m² (6,996 ft²).
 - Tower C similarly proposes a slim profile tower with floorplates that are less than 650 m² (6,996 ft²) for the upper 6 storeys of the tower.

Building Articulation

- The building is characterized by angles and an orthogonal character. The building's horizontal character is articulated with the use of varied façade materials in muted hues that are punctuated with colour and materials including:
 - Translucent burgundy tinted glass screens;
 - Gold, grey and black hued spandrel panels;
 - Metal screen panels; and
 - A vertical slat screen applied to the indoor amenity bridging element between Tower A and Tower C, and to the lane elevation to identify access to the north/south pathway
- Colour and materials are used to differentiate on-site uses and to introduce a strong vertical character to Tower C at the southeast corner of the site (i.e. a series of vertical gold hued spandrel panels set the office component of the development apart from the residential uses, gold hued spandrel panels and omission of horizontal building slabs between building floors create a vertical statement at the southeast corner of Tower C at the Park Road and Buswell Street intersection).

Landscape and Open Space Design

Ground level: A distinct porcelain paver pattern would be installed to identify entries to building lobbies and these areas would be lined with metal planters and wood benches. The materials and pattern are repeated to identify the Park Road plaza area and to emphasize the building's recess from Buswell Street. The pavers continue through the building to define the north/south

pedestrian connection. The lightwells that would be incorporated into the parking podium design to facilitate the penetration of natural light to the north/south pedestrian connection would also support the long term survival of the shrubs and ferns that are proposed in planters. A columnar tree (Hedge Maple) would be planted at the building's Buswell Street recess and the Park Road plaza design includes a feature (Katsura) tree. Two shades of concrete are proposed at ground level. The darker hue would be used to establish a regular pattern of bands that align with building columns and that draw attention to the entries to commercial ground level uses.

Office common open space: Located above the parking podium and accessed from the fourth storey office indoor amenity area, a designated office outdoor amenity area, which is finished with unit pavers and perimeter landscaping, is proposed at the northwest corner of the building's podium.

Residential common outdoor space: The common residential outdoor amenity space would be located above the parking podium and includes active and passive spaces including urban agriculture gardens and associated amenities, curvilinear pathways, outdoor patio spaces with direct access to common indoor amenity spaces, a long table next to a gas barbeque and associated sink and counter, a central water feature, seating benches and walls, and children's play areas. Raised planters with suitable soil volume to support landscaping that includes trees would be introduced throughout the outdoor amenity area and used to separate common outdoor amenity space from outdoor spaces associated with private residences. The proposal includes 3,558 m² (38,297 ft²) of outdoor amenity space, which exceeds CCAP guidelines.

Children's play area: The landscape design includes two areas that are specifically designed to encourage children's play and to suit a variety of development stages including:

- A conventional designated play area with a large prefabricated play structure that includes climbing, hanging and sliding play equipment on a poured in place rubber surface.
- "Natural play" areas with boulders and logs to encourage exploratory and imaginative play. One of the natural play areas features a slide that is integrated into the landscaped mound and a tunnel this is comprised of individual wood frames and associated stepping stones.

Green roof: With the exception of the tower rooftops, irrigated sedum green roofs are proposed at building rooftops that are not private or common outdoor amenity space. Planting the terraced building rooftops contributes to the proposal's on-site sustainability features.

Landscape Letter of Credit (LOC): As a consideration of Development Permit issuance, the applicant will provide a LOC for \$1,579,121.27.

Tree Retention and Replacement: A survey submitted by the applicant confirms that there are no existing bylaw trees on or adjacent to the subject site. No tree replacement or protection is required.

Public Art: During the associated rezoning application review process, the applicant committed to participate in the City's Public Art Program (Policy 8703). A possible location for public art is identified within the Park Road plaza area. A public art plan for this site was considered and supported by the Public Art Committee on October 16, 2018.

Sustainability

BC Energy Step Code: In June 2018, City Council amended the Building Regulation Bylaw to include BC Energy Step Code requirements. The subject development is designed and would be constructed to comply with Step 2 requirements, which combined with provision of an on-site energy plant, is consistent with the updated Building Regulation Bylaw (Attachment 5).

District Energy Utility (DEU): As a consideration of rezoning, the applicant will design, construct and transfer ownership of an on-site energy plant to the City. Seventy percent of space heating, space cooling and domestic hot water will be from a non-carbon energy source (air source heat recovery system). Sustainability staff have received preliminary design information. Should changes affecting the form and character of the development be required as a result of ongoing development of the energy plant design, a General Compliance application may be required.

LEED & Step Code: The subject application will target LEED (version 4) silver equivalency and a 51% window to wall ratio to improve building energy efficiency. The preliminary equivalency scorecard is attached to this report (Attachment 6).

Electric Vehicle (EV) Charging Infrastructure

In December 2017, City Council amended the Richmond Zoning Bylaw to support electric vehicle (EV) charging infrastructure for all residential parking spaces. In accordance with the bylaw, all residential parking spaces will be provided with an energized outlet (Level 2 EV charging). The development also provides charging infrastructure for commercial and visitor parking spaces and for secured bicycle parking (Attachment 3).

Livability

Accessibility: All of the proposed units would incorporate aging in place features to accommodate mobility constraints associated with aging. These features include stairwell handrail; lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers. Barrier-free access to the building lobbies and indoor and outdoor amenity spaces is provided throughout the building.

Basic Universal Housing (BUH): Sixteen percent of the proposed 353 units proposed, including all 21 AH units, which will be secured through the concurrent rezoning application, would be constructed to be fully accessible in accordance with the Basic Universal Housing (BUH) features outlined in Section 4.16 of the Zoning Bylaw. The Zoning Bylaw supports a density exclusion of 1.86 m² (20 ft²) per BUH unit; however, the applicant does not propose to apply this exemption.

Noise Mitigation: The site is affected by OCP Airport Noise Contours and traffic noise. The applicant has provided an acoustical evaluation report and a mechanical thermal report, which were both prepared by a qualified professional, to study interior noise levels and noise mitigation standards to ensure compliance with the City's OCP interior noise guidelines and Noise Regulation Bylaw (8856). The acoustical report suggest suitable window glazing standards and installation of weather stripping on exterior doors. In addition, all units would have air conditioning; therefore, it would not be necessary for residents to open windows during warm weather. The mechanical thermal report confirms that operation of the mechanical system will not only be energy efficient but also comply with the Noise Regulation Bylaw.

Crime Prevention through Environmental Design (CPTED): The applicant has provided a summary of feature CPTED measures which focus on:

- Encouraging passive surveillance through design (i.e. an open parkade layout, installation of transparent glazing at elevator lobbies, activating public spaces, street oriented store fronts); and
- Creating well defined spaces (i.e. design with wayfinding in mind, distinguish between public, semi-private and private spaces, integrate signage and lighting strategies).

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Diana Nikolic
Senior Planner/Urban Design

Attachment 1: Location Map

Attachment 2: Brighthouse Village Specific Land Use Map

Attachment 3: Development Application Data Sheet

Attachment 4: Advisory Design Panel Minutes & Applicant Responses (inserted in bold italics)

Attachment 5: Letter from Project Architect: Construction of Step 2 Building

Attachment 6: LEED Equivalency List (provided by applicant)

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The following are to be met prior to forwarding this application to Council for approval:

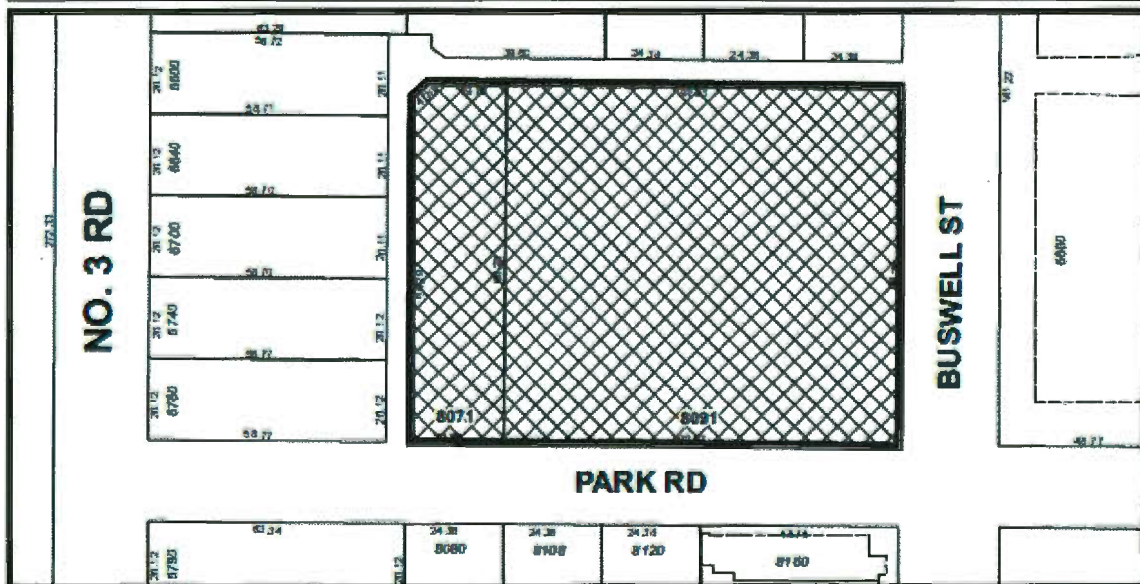
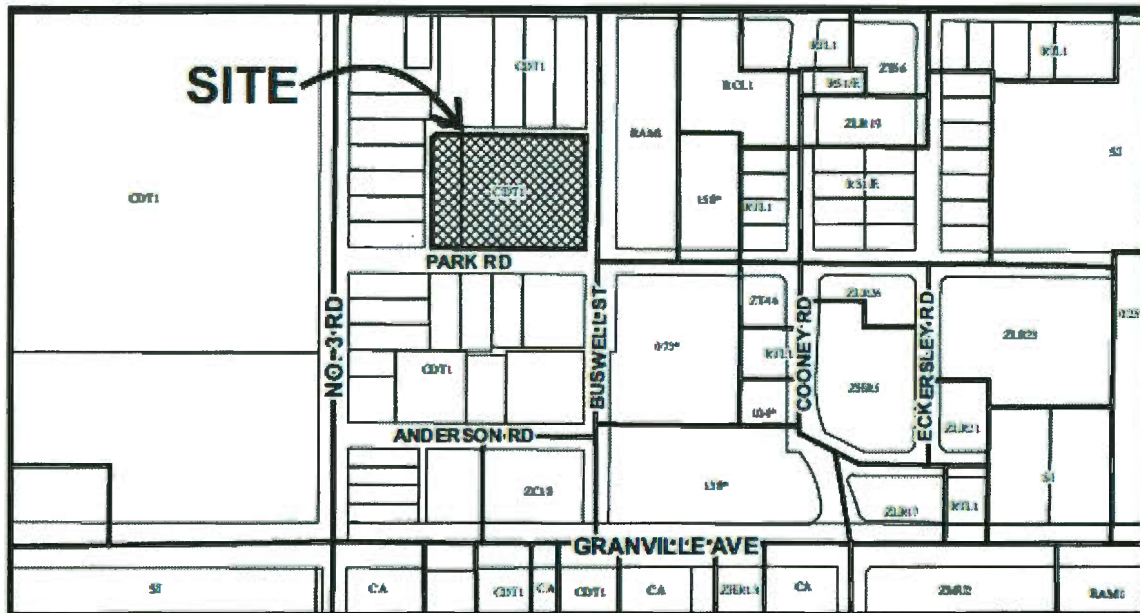
- Receipt of a Letter-of-Credit for landscaping in the amount of \$1,579,121.27.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
- Confirmation that the recommendations identified in the acoustic evaluation report by Brown Strachan Associates, dated December 7, 2018, and in the mechanical thermal report by Williams Engineering, dated December 10, 2018, or equivalent measures, have been incorporated in the construction plans.
- Confirmation that the design of the proposed development will meet Step 2 of the BC Energy Step Code.

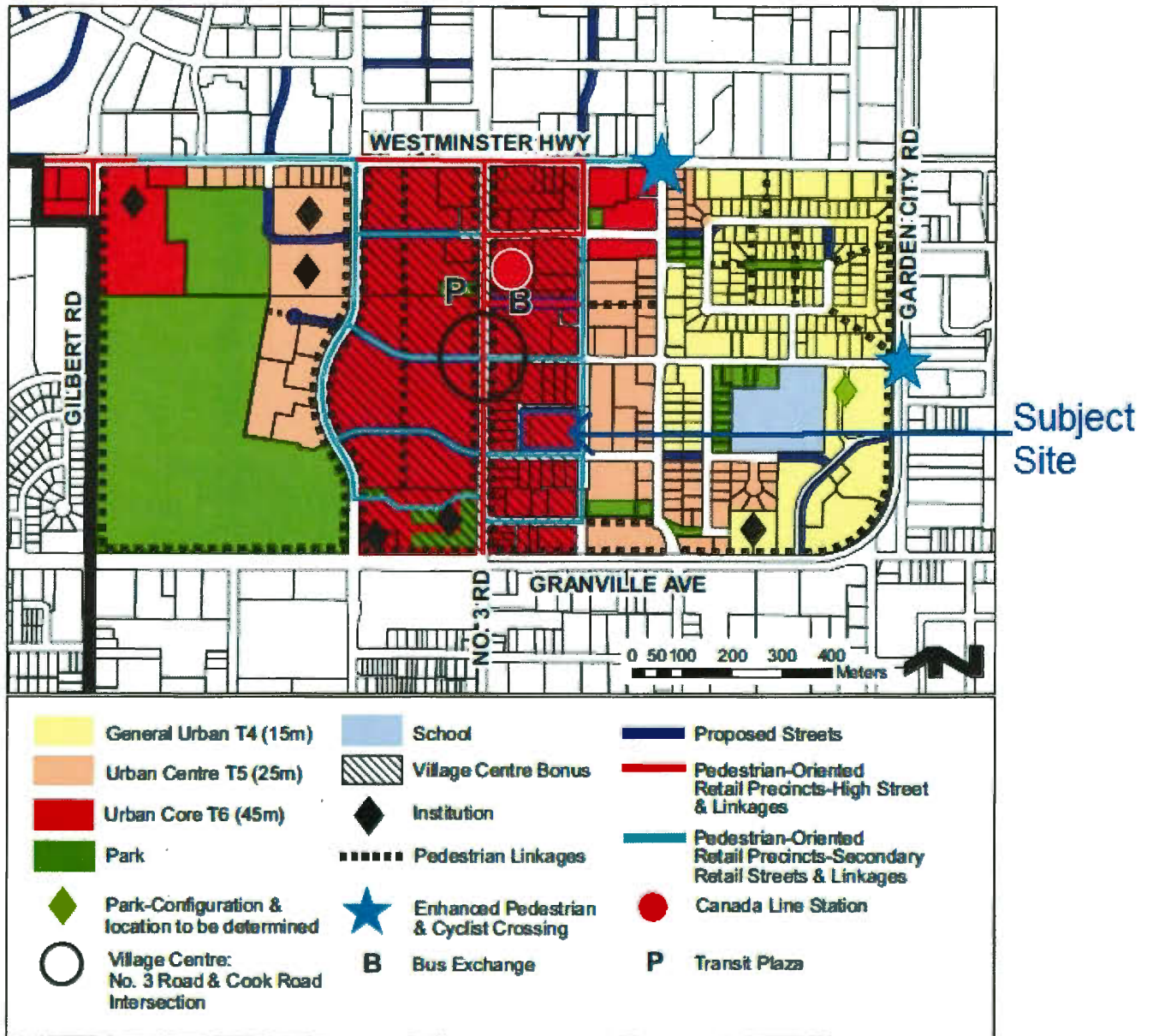


City of
Richmond



	<h1>DP 18-831623</h1>	<p>Original Date: 09/10/18</p> <p>Revision Date:</p> <p>Note: Dimensions are in METRES</p>
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Specific Land Use Map: Brighthouse Village (2031)





RZ 17-779229

Attachment 3

Address: 8071 and 8091 Park Road

Applicant: W.T. Leung Architects, Inc. on behalf of Grand Long Holdings Canada Ltd.

Planning Area(s): City Centre Area Plan (Brighthouse Village)

	Existing	Proposed
Owner:	Grand Long Holdings Canada Ltd. Inc. No. BC1168849	Grand Long Holdings Canada Ltd. Inc. No. BC1168849
Site Size (m²):	10,621.61 m ² (114,333 ft ²)	10,216 m ² (109,969 ft ²)
Land Uses:	Commercial, restaurant	Office, commercial, restaurant, residential
OCP Designation:	Downtown Mixed Use	Downtown Mixed Use
Area Plan Designation:	Urban Core T6 (45 m), Village Centre Bonus	Urban Core T6 (45 m), Village Centre Bonus
Zoning:	Downtown Commercial (CDT1)	High Density Mixed Use (ZMU39) – Brighthouse Village (City Centre)
Number of Residential Units:	0	Market housing: 332 residential units AH:21 Total: 353

On Future Subdivided Lots	Proposed ZMU39 Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	2.0 FAR increased to a higher density of 3.0 FAR conditional to complying with the City's affordable housing objectives 3.0 FAR increased to a higher density of 4.0 FAR conditional to the lot being located within a VCB designated area and complying with VCB terms	Net: 3.86 FAR Residential: 2.93 FAR Non-residential: 0.93	none permitted
Buildable Floor Area (m ²):*	40,863 m ² (439,846 ft ²)	Total: 39,412 m ² (424,222 ft ²) Residential: 29,893 m ² (321,767 ft ²) Non-residential: 9,518 m ² (102,455 ft ²)	none permitted
Lot Coverage (% of lot area):	90% for buildings	62.7%	none
Lot Size:	CCAP minimum: 4,000 m ²	10,216 m ² (109,965 ft ²)	none
Lot Dimensions (m):	Width: 45 m minimum Depth: 40 m minimum	Width: 85-88 m Depth: 117-120 m	none

On Future Subdivided Lots	Proposed ZMU39 Bylaw Requirement	Proposed	Variance
Setbacks (m):	<ul style="list-style-type: none"> ▪ Park Road and Buswell Street: 3m minimum that may be reduced to 2.2m subject to conditions ▪ Rear: Min. 0 m ▪ Side: Min. 0 m 	<ul style="list-style-type: none"> ▪ Park Road: Min. 3 m ▪ Buswell Street: Min. 2.2 to 3.0 m ▪ Rear (west): Min. 1.45 m ▪ Side (north): Min. 1.5 m 	none
Permitted setback projections:	<ul style="list-style-type: none"> ▪ Balconies: 1/3 of required setback (0.73 m to 1.0 m) ▪ Architectural features: 0.6 m ▪ Awnings: to the property line (as approved through the DP) ▪ Cantilevered roofs: 1.2 m ▪ Above ground utilities: 0.6 m 	Balconies: Park Road: 0.72 m Buswell Street: 0.72 m Awnings: Park Road: 1.98 m Buswell Street: 1.98 m and extending to the property line in some locations as shown in the DP plans	none
Height (m):	47 m geodetic	Tower A: 46.93 m (15 storeys) Tower B & C: 46.88 m (16 storeys)	none
Parking Spaces – Total (Zone 1)	Total: 565 Residential: 337 Non-residential: -Commercial/restaurant: 153 (shared with residential visitors) -Office: 75	Total: 622 Residential: 379 Non-residential: -Commercial/restaurant: 159 (Of which 153 would be shared with residential visitors and secured with an agreement on Title as a condition of rezoning bylaw adoption.) -Office: 84	none
Parking Spaces – Residential (City Centre Zone 1) Applied rates: Residential: 1/unit AH: 0.9/unit Shared visitor/commercial parking (no exclusive use)	Total: 337 Residential: 332 AH: 19 Visitor: 71 spaces shared with commercial	379 (no TDM relaxation requested or required)	none
Parking Spaces – Non-Residential Applied rates: 3.75/100m ² (on 1 st 2 floors) + [1.5/100m ² (above 1 st 2 floors) – 15%]	Total: 228 Commercial/restaurant: 153 (shared with residential visitors) Office: 75	Total: 243 Commercial/restaurant: 159 (shared with residential visitors) Office: 84 no TDM relaxation requested or required	no TDM relaxation requested or required
Tandem Parking	50% max for market residential spaces (maximum permitted: 159)	72 parking stalls in tandem arrangement (36 tandem stalls)	none
Accessible Parking	2% of required parking spaces (12 stalls)	14 Commercial: 6 Residential: 8	none

On Future Subdivided Lots	Proposed ZMU39 Bylaw Requirement	Proposed	Variance
Loading	6 shared medium truck loading spaces No large on-site truck (WB17) parking	6 shared medium truck loading spaces	none
Class 1 Bike Storage (Secure) Applied rates: Residential: (1.25/unit) Commercial: (0.27/100m ² gross leasable area greater than 100 m ²)	Total:449 Residential: 424 Commercial: 25	Total:563 Residential: 481 Commercial: 82	none
Class 2 Bike Storage (Unsecure) Applied rates: Residential: (0.1/unit) Commercial:(0.1/100m ² gross leasable area greater than 100m ²)	Total: 44 Residential: 34 Commercial: 10	Total: 53 Residential: 35 Commercial: 18	none
Electric Vehicle (EV) Charging Equipment	All residential parking spaces (excluding) visitor parking spaces to feature energized outlet (minimum Level 2 charging) 20% of stalls with 120 V electric vehicle charging receptacle (i.e. 46 stalls) 25% of stalls with roughed in conduit for future installation of charging receptacle (i.e. 57 stalls)	Residential: 100% EV ready Commercial/visitor parking spaces: ▪ 49 EV ready ▪ 61 EV roughed in conduit	none
Electric Vehicle (EV) Charging Equipment - bicycle	10% of spaces: 48	49	none
Amenity Space – Indoor:	2 m ² /unit: 678 m ² (ZMU39 permits 0.1 FAR additional floor area provided it is used entirely to accommodate indoor amenity space [1,078 m ²])	Total: 1,069 m ² (Residential: 794 m ² , Office: 275 m ²) Tower A: Residential: 145 m ² , Office: 275 m ² Tower B: Residential: 523 m ² Tower C: Residential: 126 m ² Amenity area exceeds Bylaw permitted exemption; therefore, 57 m ² of indoor amenity is included in the proposed FAR)	none
Amenity Space – Outdoor:	OCP: Min. 6.0 m ² /unit, including 600 m ² for children's play space: 2,118 m ² based on 353 units CCAP: Min. 10% of net site: (1,021 m ² based on 10,215 m ²)	Total: 3,558 m ² Office: 605 m ² Residential: 2,953 m ² , including 604 m ² children's play area	none
Basic Universal Housing (BUH)	All AH units (21)	Total 56 AH: 21 Market: 35	none

Advisory Design Panel

Wednesday, October 17, 2018

...

1. **DP 18-831623 – 3-TOWER CITY CENTRE MIXED USE COMMERCIAL, OFFICE AND RESIDENTIAL DEVELOPMENT**

ARCHITECT: W.T. Leung Architects Inc.

LANDSCAPE ARCHITECT: Durante Kreuk Ltd.

PROPERTY LOCATION: 8071 and 8091 Park Road

Applicant's Presentation

Konning Tam, W.T. Leung Architects, Inc., and Stephen Vincent, Durante Kreuk Ltd., presented the project and together with Wing Ting Leung, W.T. Leung Architects, Inc., answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the improved package provided to the Panel which addresses many of the comments that were previously expressed by the Panel;
- appreciate the project targeting BC Energy Code Step 2 for energy efficiency;
- the project is targeting the City requirement for LEED Silver Equivalency in terms of sustainability; however, the applicant is using a LEED 2009 scorecard which is no longer applicable; the applicant is advised to submit a LEED Version 4 scorecard; ***Applicant: Noted.***
- the applicant needs to indicate the location of required vestibules for large CRUs in the floor plans; ***Applicant: Vestibules have been added to entrances to the large CRU space annotated as "GROCERY". The remaining CRU spaces are intended to smaller units.***

- the applicant is advised to consider different indoor temperature condition requirements for residential, office, and commercial spaces in determining design parameters for the project's heating, ventilation and air conditioning system (HVAC); review indoor design condition for residential spaces indicated in the package provided to the Panel; *Applicant: Noted.*
- appreciate the proposed use of low-carbon energy sources for the project; however, the applicant is advised to review the requirements for the Low Carbon Energy Building System in terms of the maximum limit for CO₂ use; *Applicant: Noted.*
- consider increasing the height of the slab at the podium level and follow the organic/curvilinear forms in the overall landscape concept for the podium level (including the shape of the light wells) to avoid the rectangular box canyon visual experience from the pedestrian connection looking above the openings at the podium; *Applicant: The slab elevation of the podium cannot be raised further as it will affect the heights of the towers above. The straight edges of the openings were informed by the desire to provide weather protection to the parking levels below. However, the openings have been adjusted to be slightly larger.*
- consider spilling some of the landscaping on the podium level over the edge to reinforce the south-facing plaza, e.g. introducing a south-facing green wall; *Applicant: Consideration had been given to introducing a planted green wall. However, it was determined proper maintenance and irrigation would be technically challenging and costly.*
- size of proposed tree at the south plaza should be large enough to provide a significant feature at the plaza; *Applicant: The tree within the plaza is specified as a Katsura, which is a medium to large sized tree upon maturity. We feel this is an appropriate size and species as a focal point of the plaza. The planter has been adequately sized to support long-term health and growth of the tree.*
- investigate further opportunities to animate the plaza in view of the applicant's decision to eliminate the stairs leading up to the restaurant; *Applicant: Along with the focal Katsura tree, public art will be installed within the plaza. A generous amount of bench seating encourages people to gather. Various outdoor activities are also envisioned to help animate the plaza such as outdoor café-style seating, grocery produce & floral displays, and seasonal cart vendors.*
- consider a focal point that is anchored in one area in the proposed paving pattern on the plaza and decreasing the visual links in the parkade; *Applicant: The plaza design has been revised to decrease a visual link towards the parkade and improve the focus on the central Katsura tree / planter and Public Art.*

- applicant needs to provide details on the lighting plan for the plaza, e.g. low level lighting, lighting on the soffits, and other relevant details; *Applicant: Linear in-ground lighting has been added to the ground plane of the plaza and the pedestrian walkway in a random pattern to illuminate the area in soft light. There are wall sconces (up and down lighting) along the sides of the plaza and extends along the full length of the walkway. Linear soffit lights, integrated with the ceiling soffit slats, extend the full length of the walkway as well.*
- in general, appreciate the proposed improvements on the project;
- agree with the positive comments regarding the improvements on the project in response to Panel comments, particularly on the articulation of the entry plaza;
- the diagram on page 23 in the package provides a clearer articulation and stronger identity to the entry plaza in terms of colour and façade treatment as opposed to the model presented to the Panel;
- appreciate the colour and texture of the underside of the bridge connecting Buildings A and C; however, the height of the entry to the pedestrian connection is low and should be reconsidered given the scale of the project; *Applicant: The soffit is approximately 17 ft. [5.18m] above the plaza floor. We believe this height is an appropriate proportion for the size of the plaza.*
- also appreciate the use of white colour to animate the bridge;
- applicant is advised to reconsider the installation of picture windows above the entry to the pedestrian connection as they take away from the simplicity of the entry; consider continuing the vertical slat treatment over the windows all the way up the entire entry façade to create a single gesture; *Applicant: The punched windows have been replaced with a single, linear clerestory window. The extent of the vertical slat treatment has been increased to create a more monumental frontage facing the plaza.*
- consider bringing back the stairway leading to the restaurant considering the new design of the plaza; *Applicant: Given the size of the plaza, we believe there is not enough room for a staircase of proper significance. Instead, focus is on the central planter / tree and public art.*
- consider identifying the location of the proposed public art in the plaza as it will affect the design of the plaza, treatment of the structural walls at the plaza corners, entry to the pedestrian connection and pedestrian circulation within the plaza; *Applicant: Noted. The intention is for the public artwork to be integrated with the plaza. A "place holder" location is shown on the drawings. A separate Public Art Plan has been submitted. A presentation was made to the Richmond Public Art Committee and committee members generally supported the idea of having a flexible location for the Art depending on the resulting artists' proposals.*
- appreciate the more thorough presentation package provided by the applicant to the Panel;

- applicant is advised to give more thought to the proposed landscape and architecture materials as there appears to be lot going on in the plaza; ***Applicant: Noted. The plaza design and use of materials have been simplified and refined. A lighting design has also been incorporated.***
- appreciate the grand gestures in the plaza; however, would appreciate if the vertical slat treatment on the façade above the entry to the pedestrian connection could extend upwards; ***Applicant: The vertical slats are extended to the parapet tops of the bridge form over the walkway entry.***
- structural walls in the plaza are an important part of the entryway; consider incorporating architectural or landscape treatment on the walls, e.g., green wall treatment or installing metal panelling; however, signage should not be incorporated into the walls as it would not be visually appealing; ***Applicant: Board-formed concrete is being considered for the walls at the plaza corners for texture and materiality. Box planters have been added within the plaza that would allow climbing vines to be incorporated.***
- design of the paving treatment on the plaza and the pedestrian connection needs refinement; ensure that the paving concept/approach is fully expressed and carried through; also look at better integration of the paving treatment on the entryway and the sidewalk; ***Applicant: The plaza design and paving treatment have been revised to better integrate the plaza, pedestrian walkway and sidewalks. Along the walkway, coloured bandings align with columns and architectural façade panel locations. In-ground lighting has also been incorporated.***
- the applicant should consider incorporating landscape/architectural treatment to animate the corner of the plaza and not rely on the future tenant; applicant could consider installing metal panels on solid walls at the plaza corners which echo the facades of the building; ***Applicant: Noted. Board-formed concrete is being considered for the walls at the plaza corners for texture and materiality. Moveable box planters have been added within the plaza, allowing a potential flexible approach to meet the needs of future tenant(s).***
- appreciate the applicant's move to remove the skylights over the lightwells; ensure adequate soil volume to ensure survivability of vines coming down from planters; ***Applicant: The planter depths are generally minimum 24" deep and will support plant growth and health. Soil volume references are included in the drawings.***
- appreciate the comprehensive package provided by the applicant to the Panel and the applicant's responses to Panel comments in the previous consideration of the project which have addressed most of the primary concerns of the Panel;
- appreciate the applicant's approach to use mostly architectural and landscaping treatments in lieu of signage for wayfinding;

- consider a more pedestrian-friendly entry to the north-south pedestrian connection from the north lane similar to the approach to the entry at the south side; also look at and address the potential conflict between pedestrians and vehicles at the north lane; *Applicant: Revisions have been made to further differentiate and separate the walkway opening and the adjacent vehicle access opening. The two have been separated so that they are not on the same plane in plan.*
- the applicant is advised to bring in a signage consultant considering the size of the project; *Applicant: Noted.*
- appreciate the applicant's efforts to reduce the project's window-to-wall ratio; consider installing more insulated walls for the office portion of Tower A and incorporate more vertical wall elements on residential units to further reduce the window-to-wall ratio and the mechanical loads on these spaces; *Applicant: Noted.*
- consider introducing solar shading for office spaces on the south side; *Applicant: Horizontal sunshades have been added to south-facing facades of the office levels.*
- consider increasing the depth of the canopy above the pedestrian connection entry from five feet to at least seven or eight feet considering the scale of the development; and *Applicant: Canopy projections have been increased to 6'-6" for improved weather protection.*
- appreciate the different architectural treatment of the bridge's facade above the pedestrian connection entry; however, consider reducing the punched effect of the windows in the amenity space overlooking the plaza. *Applicant: The punched windows have been replaced with a single, linear clerestory window. The extent of the vertical slat treatment has been increased to create a more monumental frontage facing the plaza.*

Panel Decision

It was moved and seconded

That DP 18-831623 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

W.T. LEUNG ARCHITECTS INC.

Suite 300 - 973 West Broadway, Vancouver, British Columbia, Canada V5Z 1K3 Tel (604) 736-9711 Fax (604) 736-7991

January 11, 2019

Diana Nikolic, Senior Planner (Urban Design)
City of Richmond
Policy Planning Department
6911 No. 3 Road
Richmond, BC V6Y 2C1
Canada

Dear Ms. Nikolic:

RE: 8071 – 8091 Park Road
Development Permit DP 18-831623

We are writing to confirm that the design of the proposed development at 8071 – 8091 Park Road will meet **Step 2** of the BC Energy Step Code with regards to energy efficiency requirements. The proposed development will also be designed to include a low carbon energy plant onsite, ready to connect to the City Centre District Energy Utility (DEU) system once such system is available for connection.

Yours truly,

W.T. LEUNG ARCHITECTS, INC.


Wing Ting Leung



Sustainability Scorecard: v4 Multifamily Midrise
 Project Checklist
 Project Name: 8071-8091 Park Road
 Date: January 9th, 2019



Y	M	7	5	3	1	Points	7	5	3	1	Points	7	5	3	1	Points
2	0	0	0	0	0	0	2	0	0	0	0	2	0	0	0	0
Integrative Process																
14 0 1 Location and Transportation																
Y						15	Required									
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No. DP 18-831623

To the Holder: W.T. Leung Architects, Inc. on behalf of Grand Long Holdings
Canada Ltd. Inc. No. BC1168849

Property Address: 8071 and 8091 Park Road

Address: c/o W.T. Leung Architects, Ltd.
#300 - 973 West Broadway
Vancouver, BC V5Z 1K3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1a to #11b attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,579,121.27 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 18-831623

To the Holder: W.T. Leung Architects, Inc. on behalf of Grand Long Holdings
Canada Ltd. Inc. No. BC1168849

Property Address: 8071 and 8091 Park Road

Address: W.T. Leung Architects, Ltd.
#300 - 973 West Broadway
Vancouver, BC V5Z 1K3

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR

DEC 11 2018

PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8071-8091 PARK ROAD
RICHMOND, BC

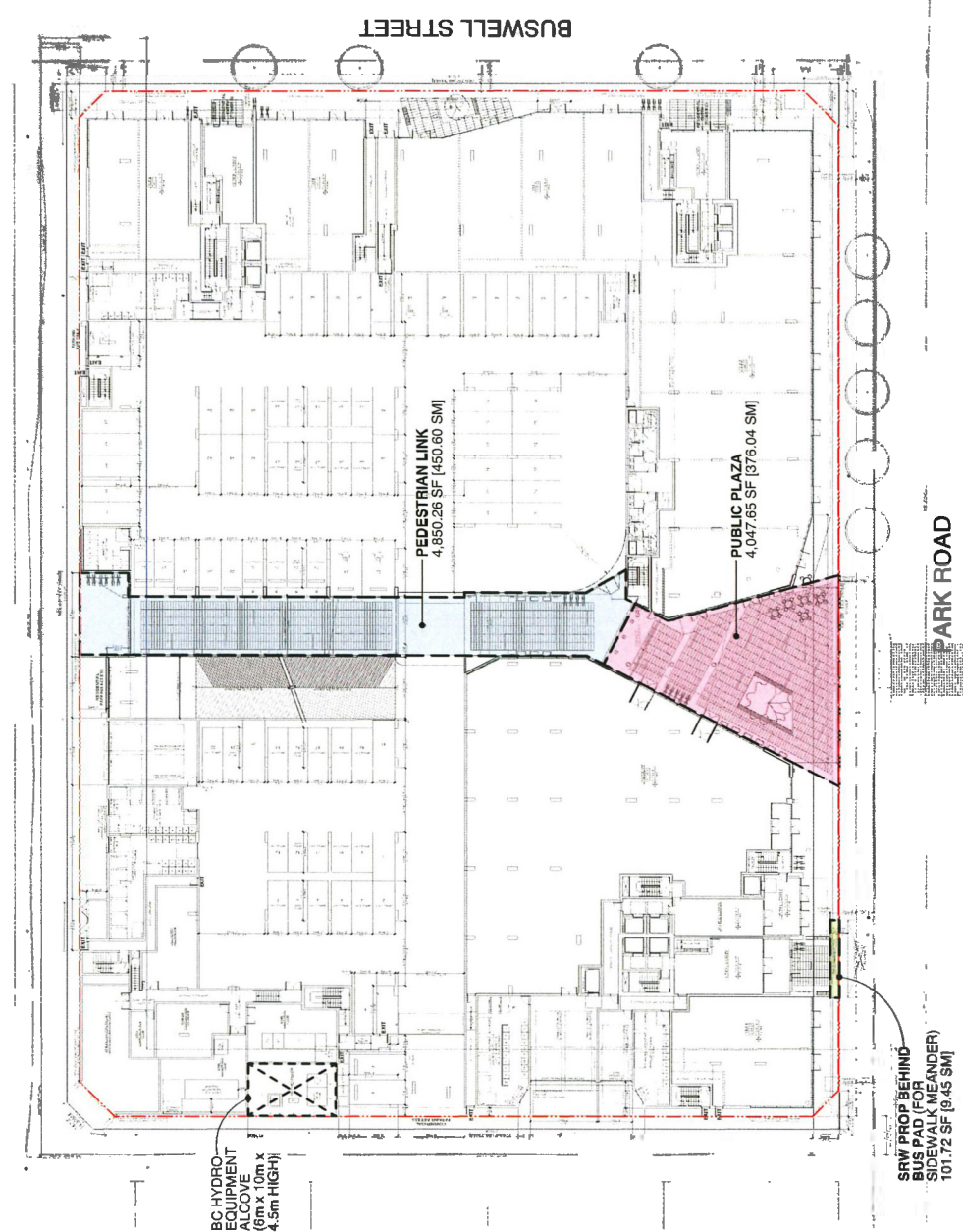
**SITE DEFINITION
DIAGRAMS**



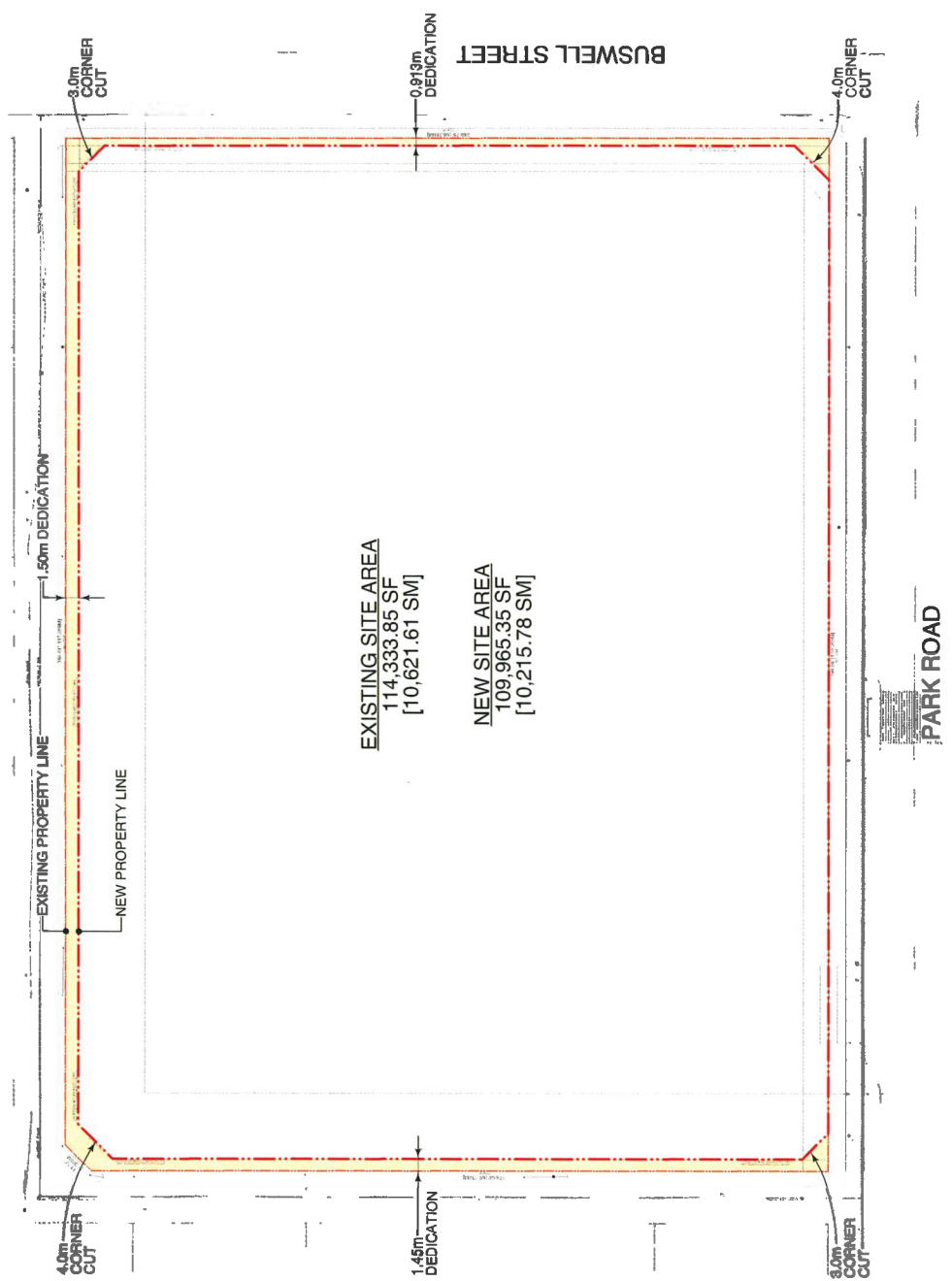
JOB NO. 16-03
DRAWN BY KT
DATE 07 DEC 2018
SCALE 1/32" = 1'-0"

1623
DRAWING NO.:

Plan #1b



STATUTORY RIGHT-OF-WAY (SRW) & RIGHT-OF-WAY (RoW) DIAGRAMS



ROAD DEDICATION DIAGRAM

REVISION	DATE	ISSUED FOR
1	2017-02-09	ISSUED FOR REDWING
2	2018-02-28	RE-ISSUED FOR REDWING
3	2018-04-08	RE-ISSUED FOR REDWING
4	2018-04-08	RE-ISSUED FOR REDWING
5	2018-05-08	ISSUED FOR DP/ADP
6	2018-10-02	RE-ISSUED FOR ADP
7	2018-10-07	RE-ISSUED FOR DP

DEC 1 1 2018

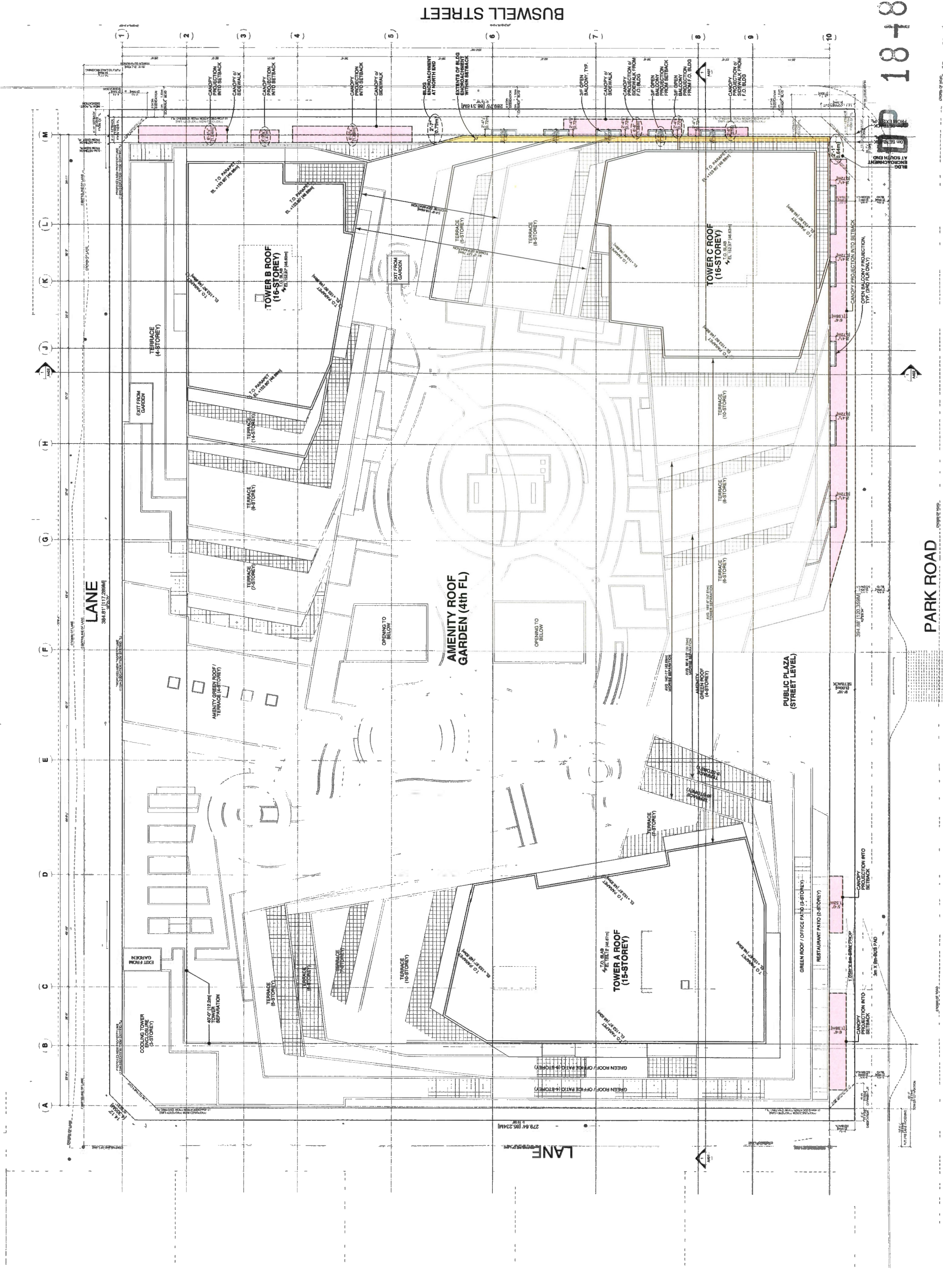
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8871-8091 PARK ROAD
RICHMOND, BC

**BUILDING
PROJECTION
DIAGRAM**

JOB NO.	16-03
OWNER	KT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

DP 18-831623

Plan #1c



BUSWELL STREET

PARK ROAD

ISSUE/REVISION	DATE	DESCRIPTION
1	2017-07-20	ISSUED FOR REZONING
2	2018-02-28	REVISION FOR REZONING
3	2018-04-09	REVISION FOR REZONING
4	2018-05-09	REVISION FOR REZONING
5	2018-07-30	ISSUED FOR CP / ADP
6	2018-10-02	REVISION FOR ADP
7	2018-12-07	REVISION FOR DP

DEC 1 2018

PROJECT
PARK ROAD &
BUSWELL STREET
DP 18-831623
8071-8091 PARK ROAD
RICHMOND, BC

PARKING PL
FLOOR PLAN



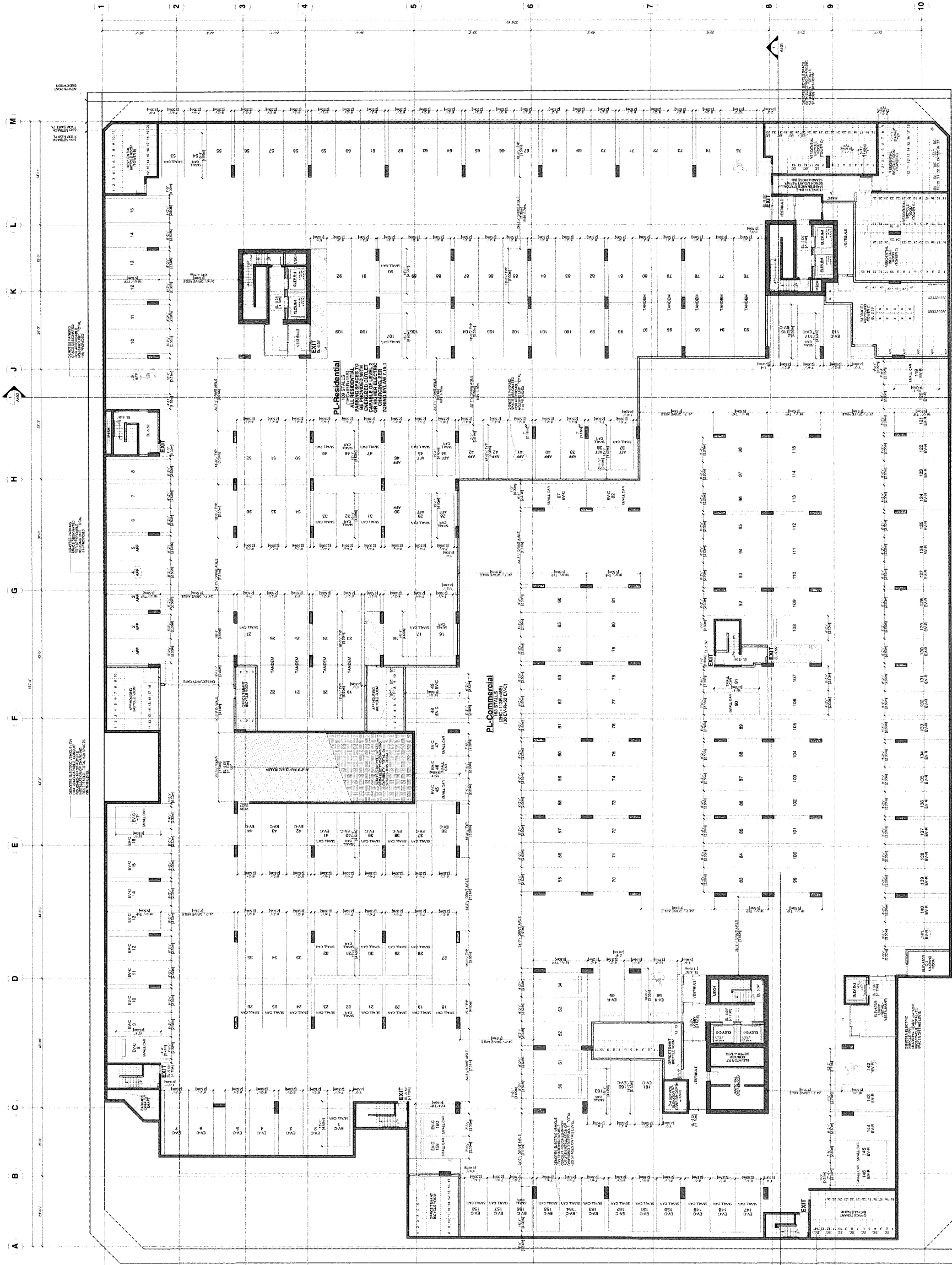
JOB NO.	16-03
DRAWN	KT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"

CHECKED: WTL

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Plan #2a

DP 18-831623



REVISION NO.	DATE	DESCRIPTION
1	2017-02-20	ISSUED FOR PERMITTING
2	2018-02-28	REISSUED FOR PERMITTING
3	2018-04-09	REISSUED FOR PERMITTING
4	2018-05-09	REISSUED FOR PERMITTING
5	2018-05-29	ISSUED FOR P1 ADP
6	2018-06-02	REISSUED FOR ADP
7	2018-10-07	REISSUED FOR P1

DEC 11 2018

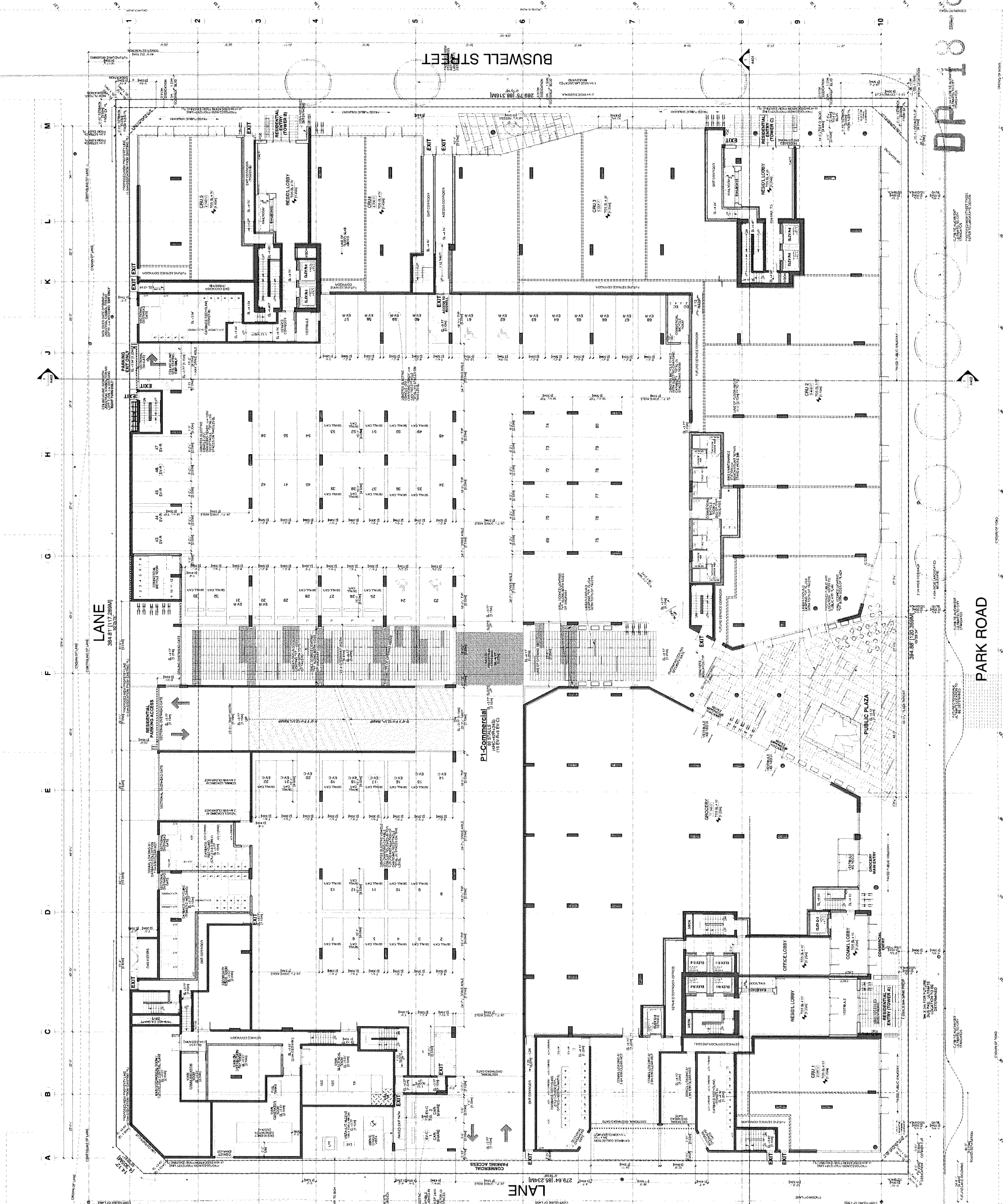
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8074-8091 PARK ROAD
RICHMOND, BC

**GROUND FLOOR/
PARKING P1
FLR PLAN**

JOB NO.	16-03
DRAWN	KT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

DATE PLOTTED: 12/11/2018 10:58:00 AM
DRAWN BY: KT
CHECKED BY: WTL
SCALE: 1/16" = 1'-0"

Plan #2b



DP 18-831623

PARK ROAD

ISSUE/REVISION	DATE	DESCRIPTION
1	2017-02-20	ISSUED FOR PERMITTING
2	2016-02-28	RE-ISSUED FOR PERMITTING
3	2016-04-09	RE-ISSUED FOR PERMITTING
4	2016-05-09	RE-ISSUED FOR PERMITTING
5	2016-02-28	ISSUED FOR PERMITTING
6	2016-02-28	RE-ISSUED FOR PERMITTING
7	2016-10-07	RE-ISSUED FOR PERMITTING

DEC 11 2018

PROJECT
PARK ROAD &
BUSWELL STREET
DP 18-831623
8071-8091 PARK ROAD
RICHMOND, BC

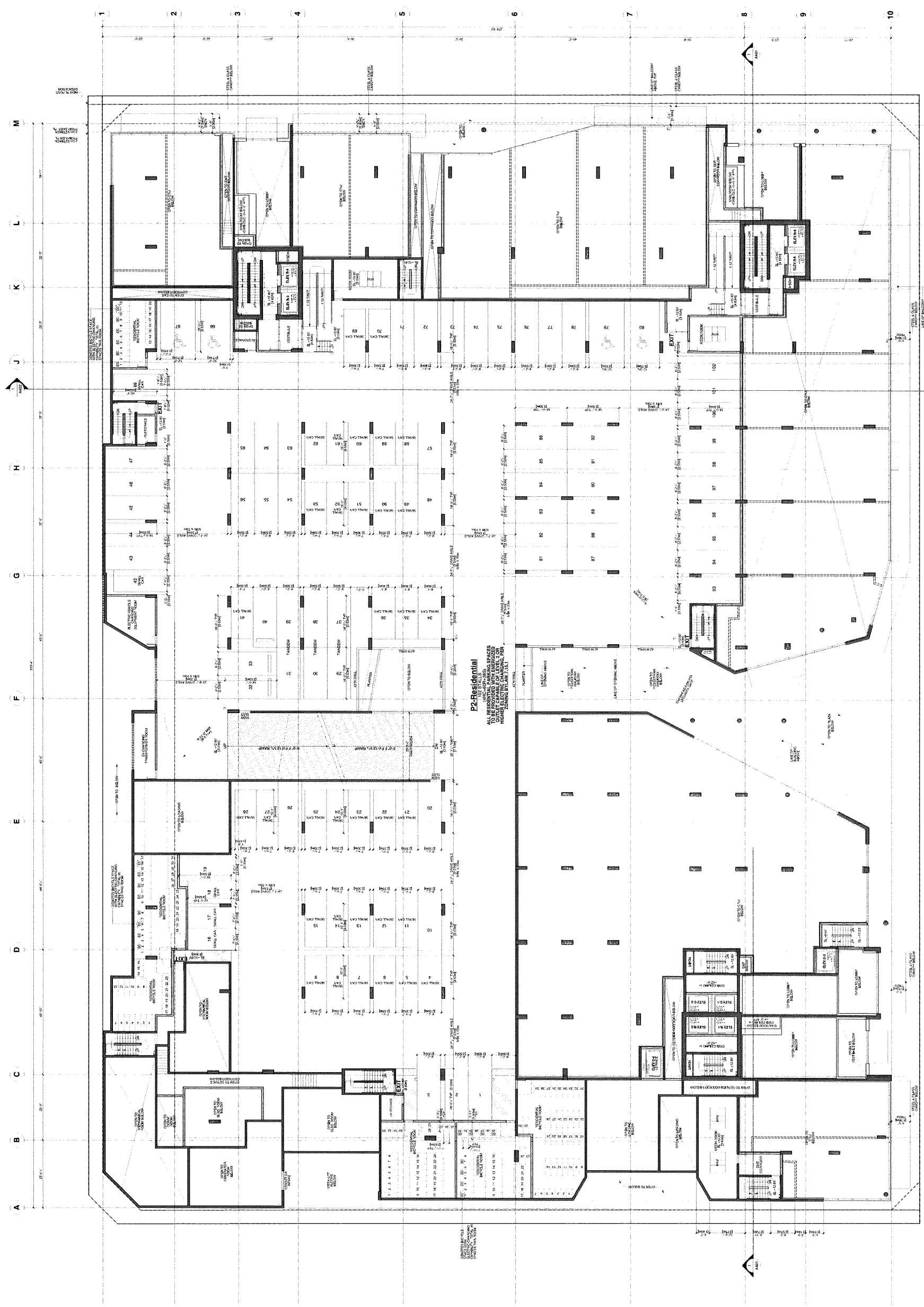
**PARKING P2
FLOOR PLAN**



JOB NO.	16-03
DRAWN	KT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"

CHECKED: WTL
DATE: 07 DEC 2018
SCALE: 1/16" = 1'-0"

Plan #2C



DP 18-831623

REVISION	ISSUED FOR
1	2018-02-09 ISSUED FOR REDLINING
2	2018-02-28 REVISION FOR REDLINING
3	2018-03-08 REVISION FOR REDLINING
4	2018-03-08 REVISION FOR REDLINING
5	2018-03-08 REVISION FOR REDLINING
6	2018-03-08 REVISION FOR DP / ADP
7	2018-10-02 REVISION FOR ADP
8	2018-10-07 REVISION FOR ADP
9	2018-10-07 REVISION FOR ADP

JAN 11 2019

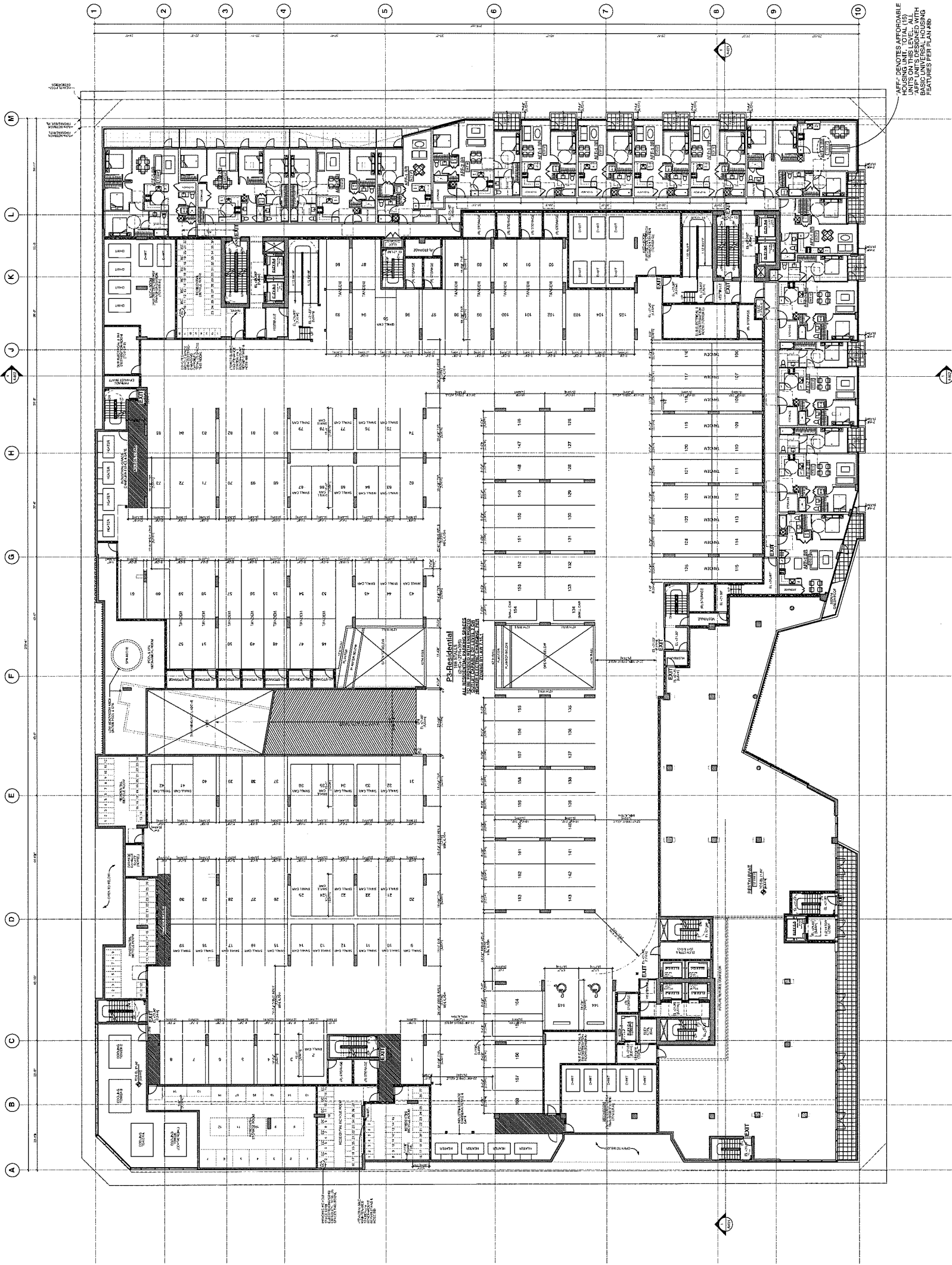
PROJECT
**PARK ROAD &
BUSWELL STREET
DP 18-831623**
8071-8091 PARK ROAD
RICHMOND, BC

**3rd / PARKING P3
FLOOR PLAN**



JOB NO.	18-43
DRAWN	KT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL
<small> CONSULTING ARCHITECTS, INC. (C.A.I.) 1000 WEST BROADWAY, RICHMOND, BC V6Y 1K2 TEL: (604) 278-9711 FAX: (604) 278-9791 WWW.CAIB.CA </small>	
<small> DRAWING NO.: </small>	

Plan #2d



APP. DENOTES AFFORDABLE HOUSING UNIT. TOTAL (15) AFF. UNITS DESIGNED WITH BASIC UNIVERSAL HOUSING FEATURES PER PLAN #B6

DP 18-831623

- REVISIONS
- 1 2018-09-20 ISSUED FOR PERMITTING
 - 2 2018-09-28 REVISION FOR PERMITTING
 - 3 2018-10-05 REVISION FOR PERMITTING
 - 4 2018-10-08 REVISION FOR PERMITTING
 - 5 2018-10-08 ISSUED FOR IFCP
 - 6 2018-10-08 REVISION FOR IFCP
 - 7 2018-11-07 REVISION FOR IFCP

JAN 11 2019

PROJECT
PARK ROAD &
BUSWELL STREET
DP 18-831623
8071-8091 PARK ROAD
RICHMOND, BC

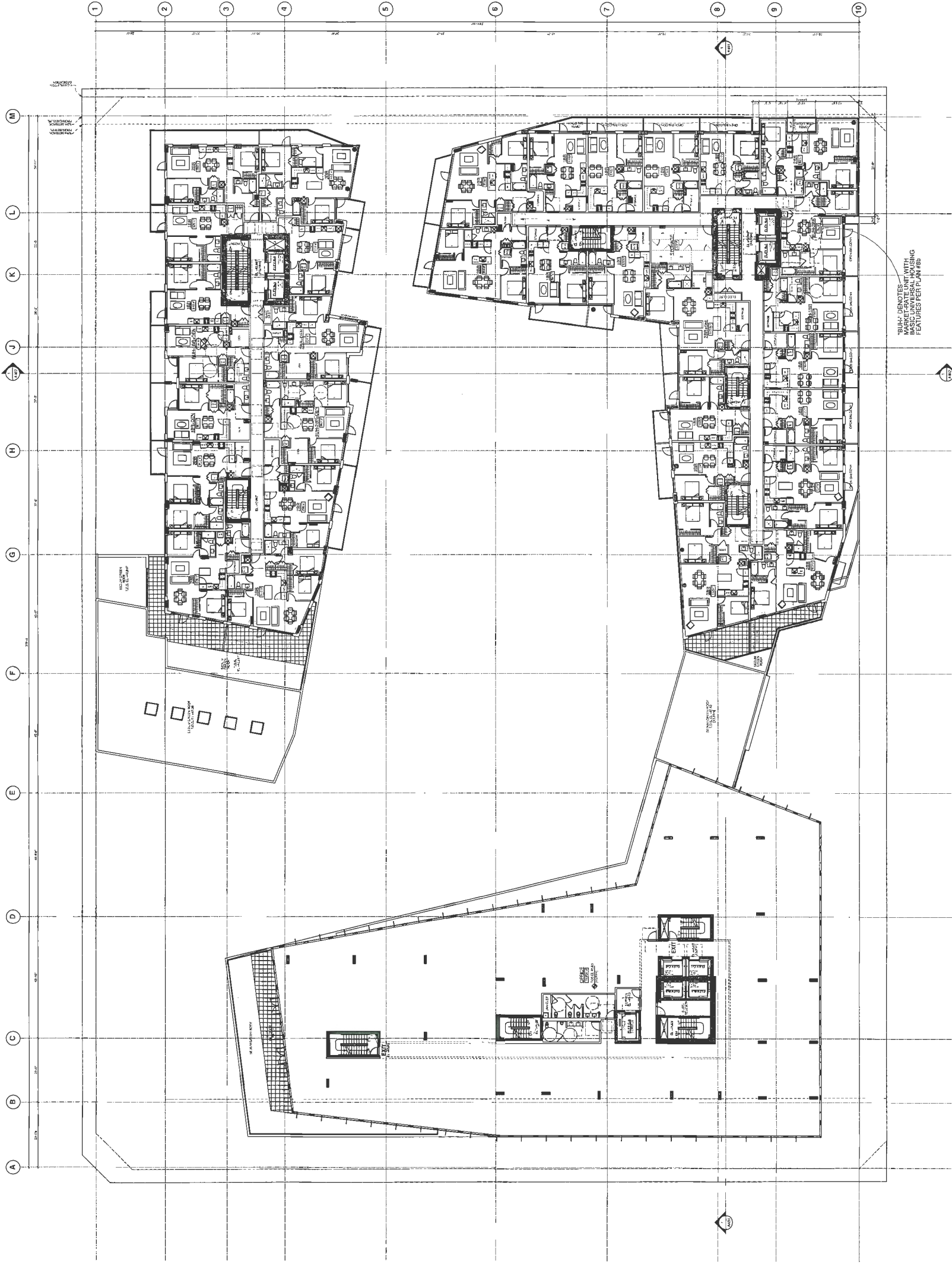
5th FLOOR PLAN
(TOWERS A-B-C)



JOB NO.	16-03
DESIGN	MB/IKT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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Plan #2f



REVISION	DATE	DESCRIPTION
1	2018-03-01	ISSUED FOR PERMITS
2	2018-03-01	REVISIONS FOR PERMITS
3	2018-03-01	REVISIONS FOR PERMITS
4	2018-03-01	REVISIONS FOR PERMITS
5	2018-03-01	REVISIONS FOR PERMITS
6	2018-03-01	REVISIONS FOR PERMITS
7	2018-03-01	REVISIONS FOR PERMITS

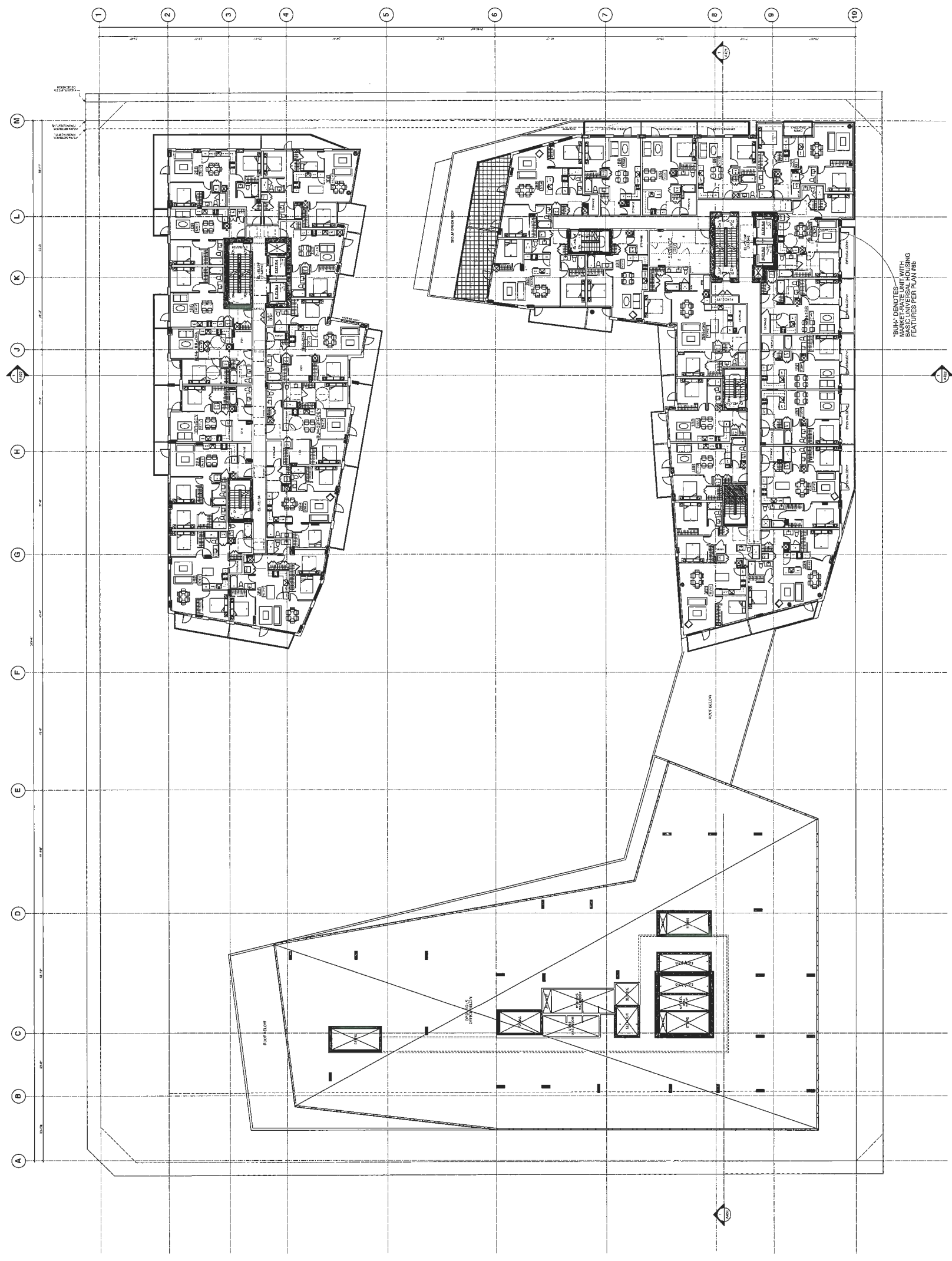
JAN 11 2019

PROJECT
PARK ROAD &
BUSWELL STREET
DP 18-831623
8074-8891 PARK ROAD
RICHMOND, BC

**6th FLOOR PLAN
(TOWERS B-C)**



JOB NO.	16-03
DRAWN BY	MB/KT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED BY	WTL



Plan #29

DP 18-831623

ISSUE/REVISION	DATE	BY	DESCRIPTION
1	2018-02-03	MB/IKT	ISSUED FOR MARKING
2	2018-02-03	MB/IKT	REVISIONS FOR MARKING
3	2018-02-03	MB/IKT	REVISIONS FOR MARKING
4	2018-02-03	MB/IKT	REVISIONS FOR MARKING
5	2018-02-03	MB/IKT	ISSUED FOR PDP / ADP
6	2018-02-07	MB/IKT	REVISIONS FOR ADP
7	2018-02-07	MB/IKT	REVISIONS FOR ADP

JAN 11 2019

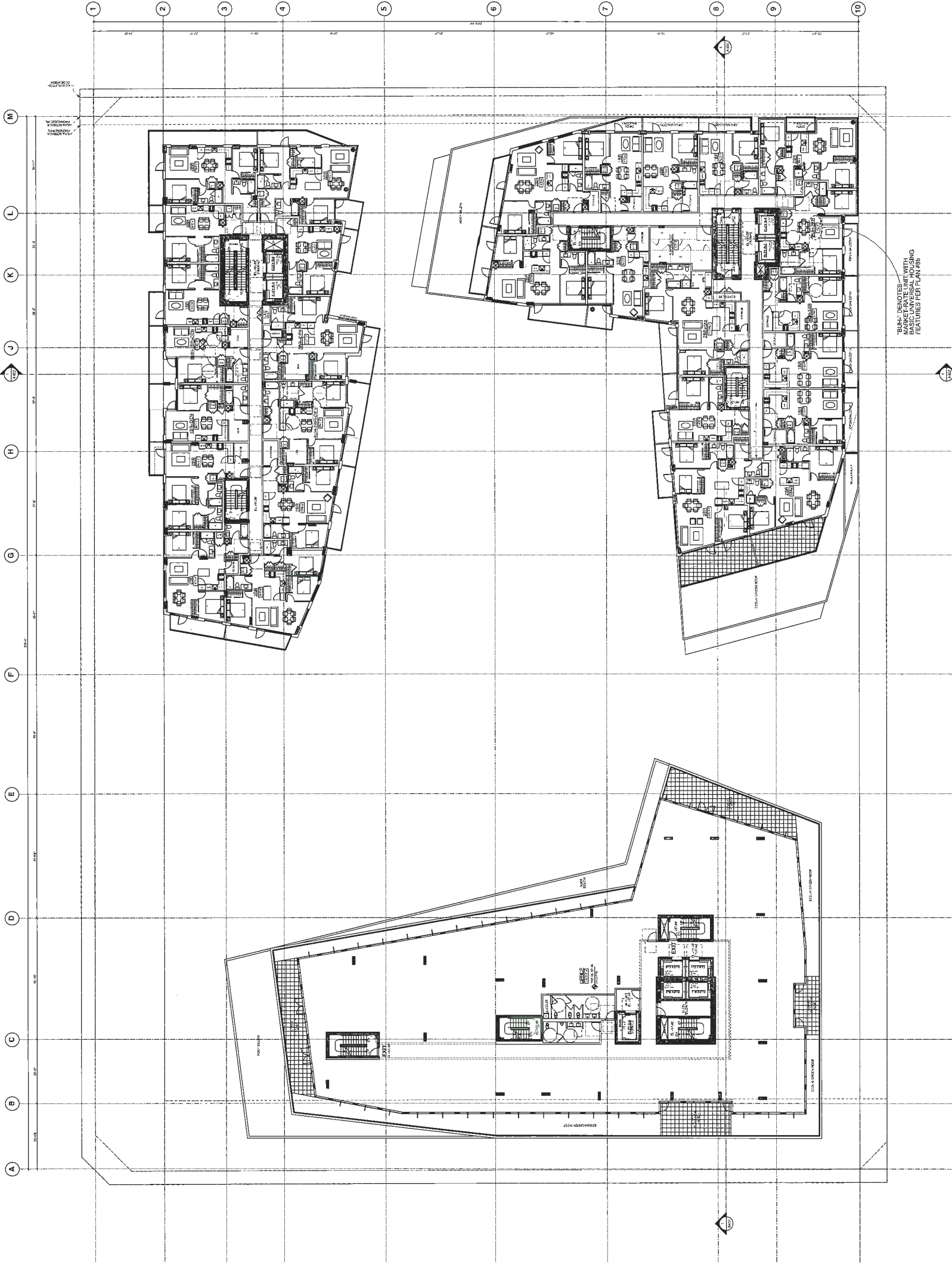
PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
807-8091 PARK ROAD
RICHMOND, BC

**TOWER A 6/F
TOWERS B-C 7/F
PLANS**



JOB NO.	18-03
DRAWN	MB/IKT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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Plan #2h

DP 18-831623

REVISION	DATE	BY	DESCRIPTION
1	2018-12-07	WTL	ISSUED FOR PERMITTING
2	2018-12-07	WTL	ISSUED FOR PERMITTING
3	2018-12-07	WTL	ISSUED FOR PERMITTING
4	2018-12-07	WTL	ISSUED FOR PERMITTING
5	2018-12-07	WTL	ISSUED FOR PERMITTING
6	2018-12-07	WTL	ISSUED FOR PERMITTING
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JAN 11 2019

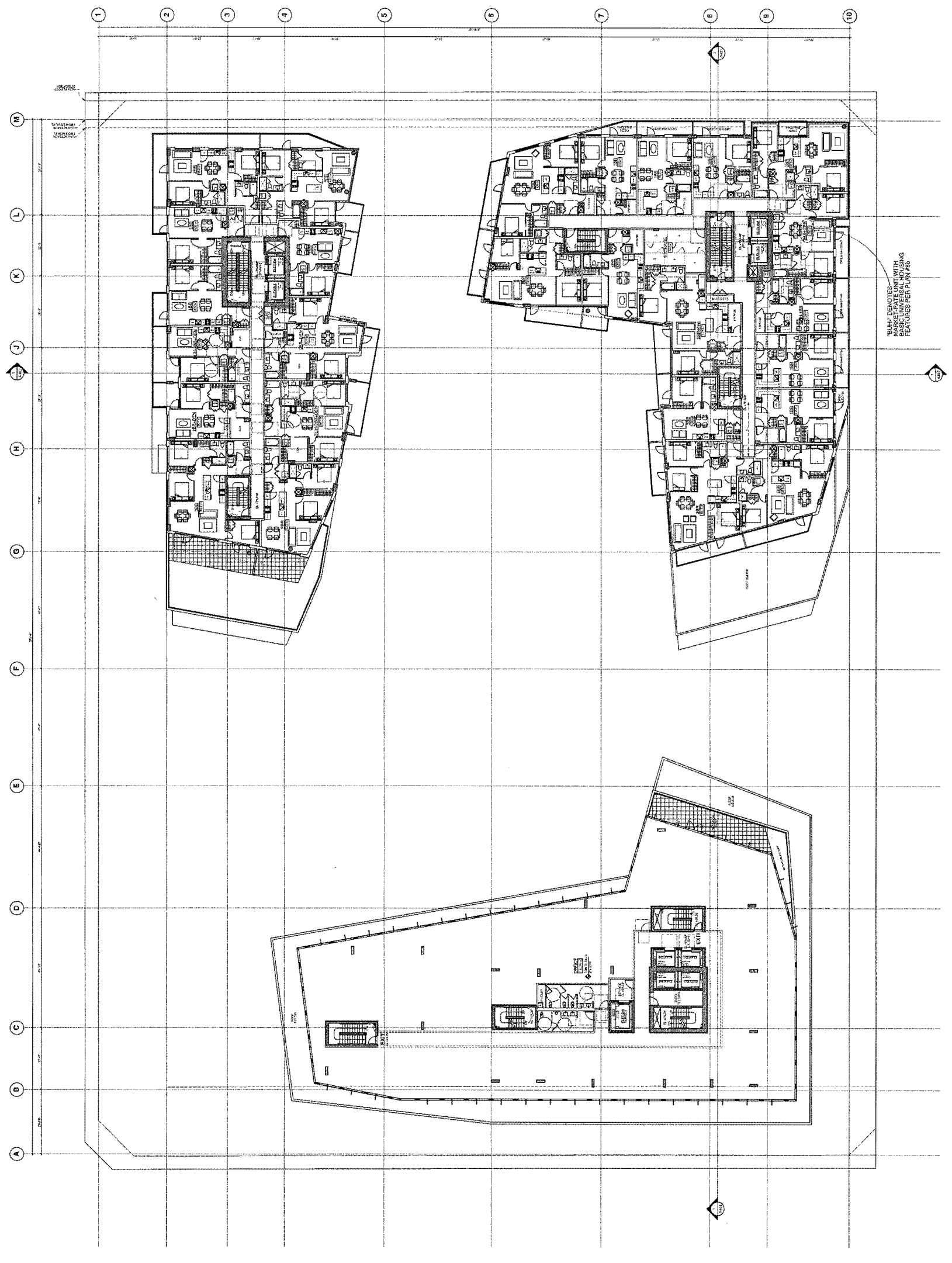
PROJECT
PARK ROAD &
BUSWELL STREET
DP 18-831623
8871-8891 PARK ROAD
RICHMOND, BC

**TOWER A 7/F,
TOWERS B-C 8/F
PLANS**



APP. NO.	18-03
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"

Plan #2i



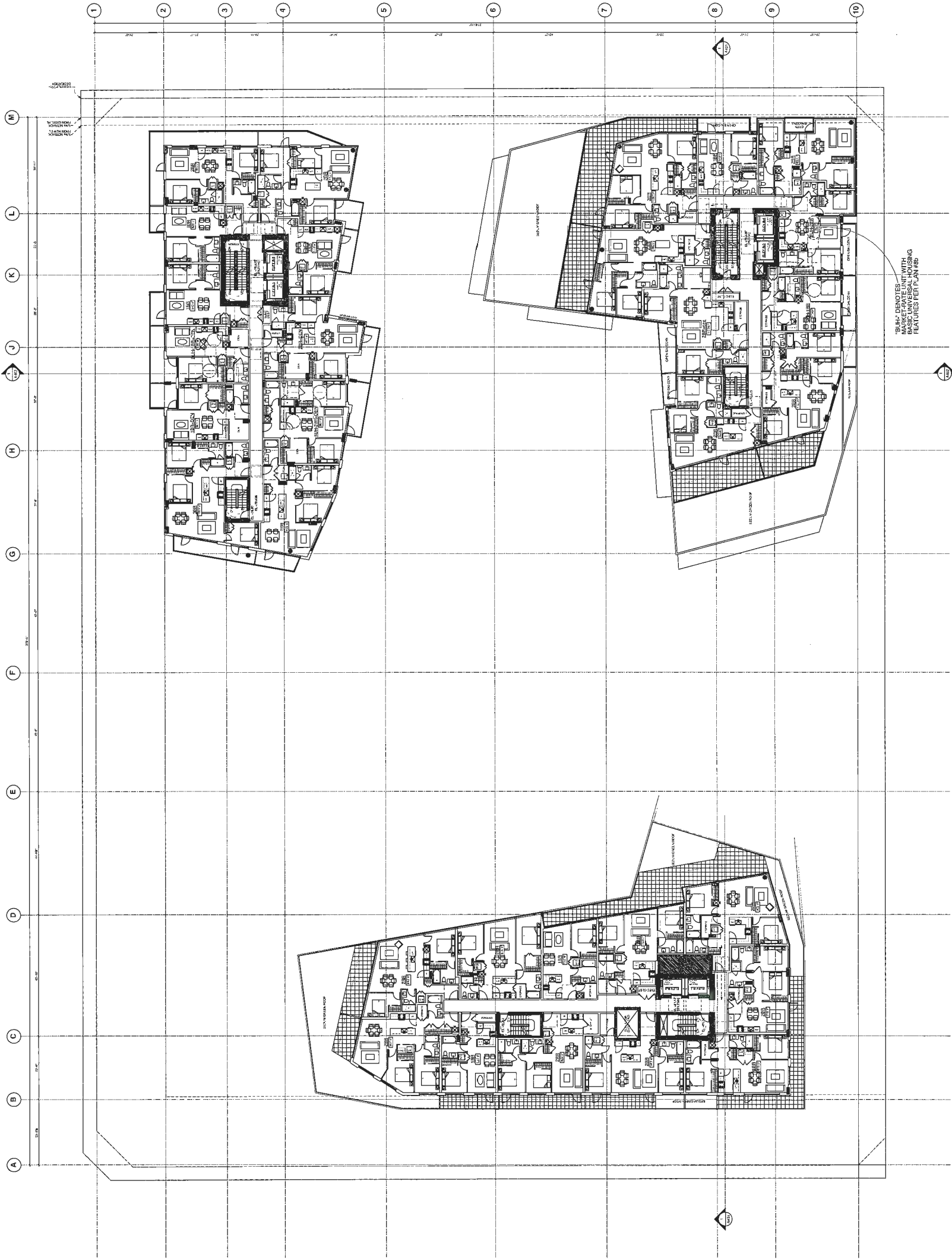
REVISION	DESCRIPTION
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2	2018-02-28 REVISED FOR PERMITTING
3	2018-03-08 REVISED FOR PERMITTING
4	2018-03-08 REVISED FOR PERMITTING
5	2018-03-08 REVISED FOR PERMITTING
6	2018-03-08 REVISED FOR PERMITTING
7	2018-03-07 REVISED FOR PERMITTING

JAN 11 2019

PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
807-8091 PARK ROAD
RICHMOND, BC

**TOWER A 8/F,
TOWERS B-C 9/F**
PLANS

DATE	18-03
DRAWN BY	MB/RT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED BY	WTL
DATE	
PROJECT NO.	



Plan #2j

DP 18-831623

REVISION/NOTES	DATE	BY
1. ISSUED FOR PERMITTING	2018-12-07	MB/KT
2. REVISIONS FOR PERMITTING	2018-12-07	MB/KT
3. REVISIONS FOR PERMITTING	2018-12-07	MB/KT
4. REVISIONS FOR PERMITTING	2018-12-07	MB/KT
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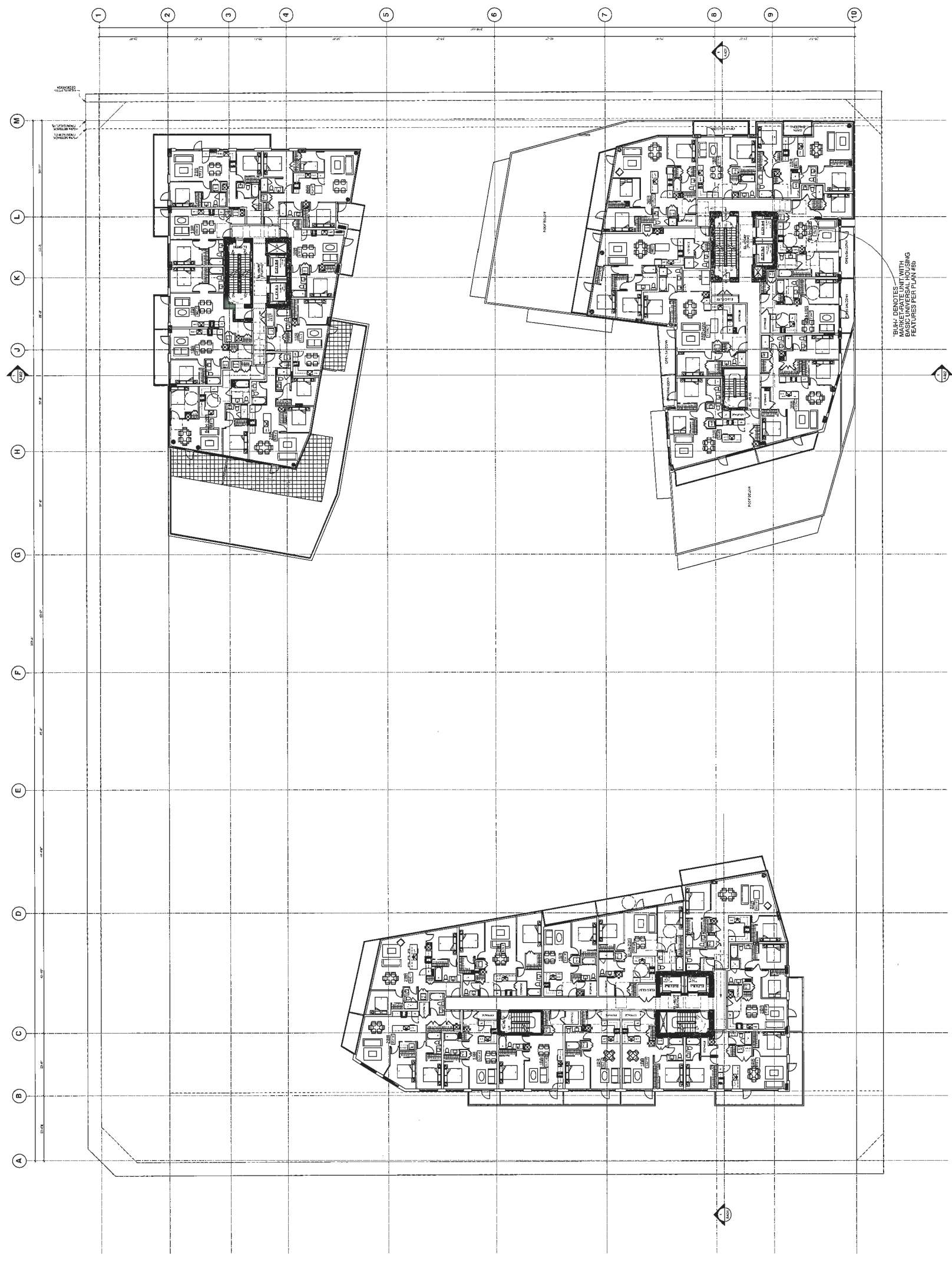
JAN 1 2019

PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8074-8097 PARK ROAD
RICHMOND, BC

**TOWER A 9/F,
TOWERS B-C 10/F**
PLANS

JOB NO.	18-03
DESIGNER	MB/KT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

Plan #2k



DP 18-831623

REVISION	DATE	DESCRIPTION
1	2017-02-20	ISSUED FOR PERMITS
2	2018-02-26	REDESIGNED FOR REZONING
3	2018-04-26	REDESIGNED FOR REZONING
4	2018-05-09	REDESIGNED FOR REZONING
5	2018-05-09	ISSUED FOR DP/APP
6	2018-12-07	ISSUED FOR DP/APP
7	2019-01-11	REDESIGNED FOR DP

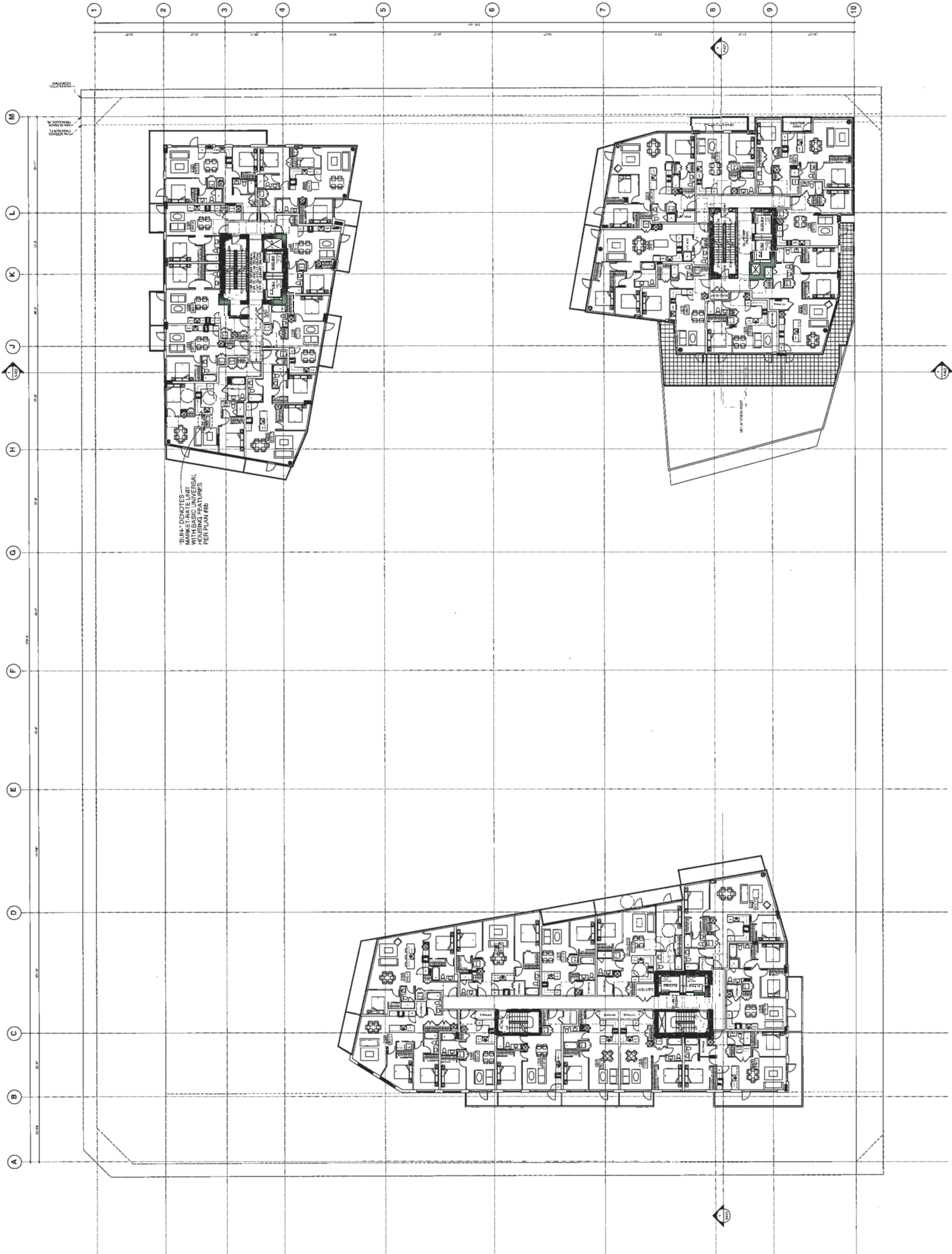
JAN 11 2019

PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8071-8091 PARK ROAD
RICHMOND, BC

**TOWER A 10/F,
TOWERS B-C 11/F**
PLANS



JOB NO.	18-03
DRAWN	MIB/KT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL
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DRAWING NO.:	



Plan #21

DP 18-831623

DATE/REVISION	ISSUED FOR
1 2017.02.29	ISSUED FOR PERMITTING
2 2018.02.29	RE-DESIGNED FOR PERMITTING
3 2018.04.05	RE-DESIGNED FOR PERMITTING
4 2018.05.05	RE-DESIGNED FOR PERMITTING
5 2018.05.22	RE-DESIGNED FOR PERMITTING
6 2018.05.22	RE-DESIGNED FOR PERMITTING
7 2018.12.07	RE-DESIGNED FOR PERMITTING

JAN 11 2019

PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8071-8091 PARK ROAD
RICHMOND, BC

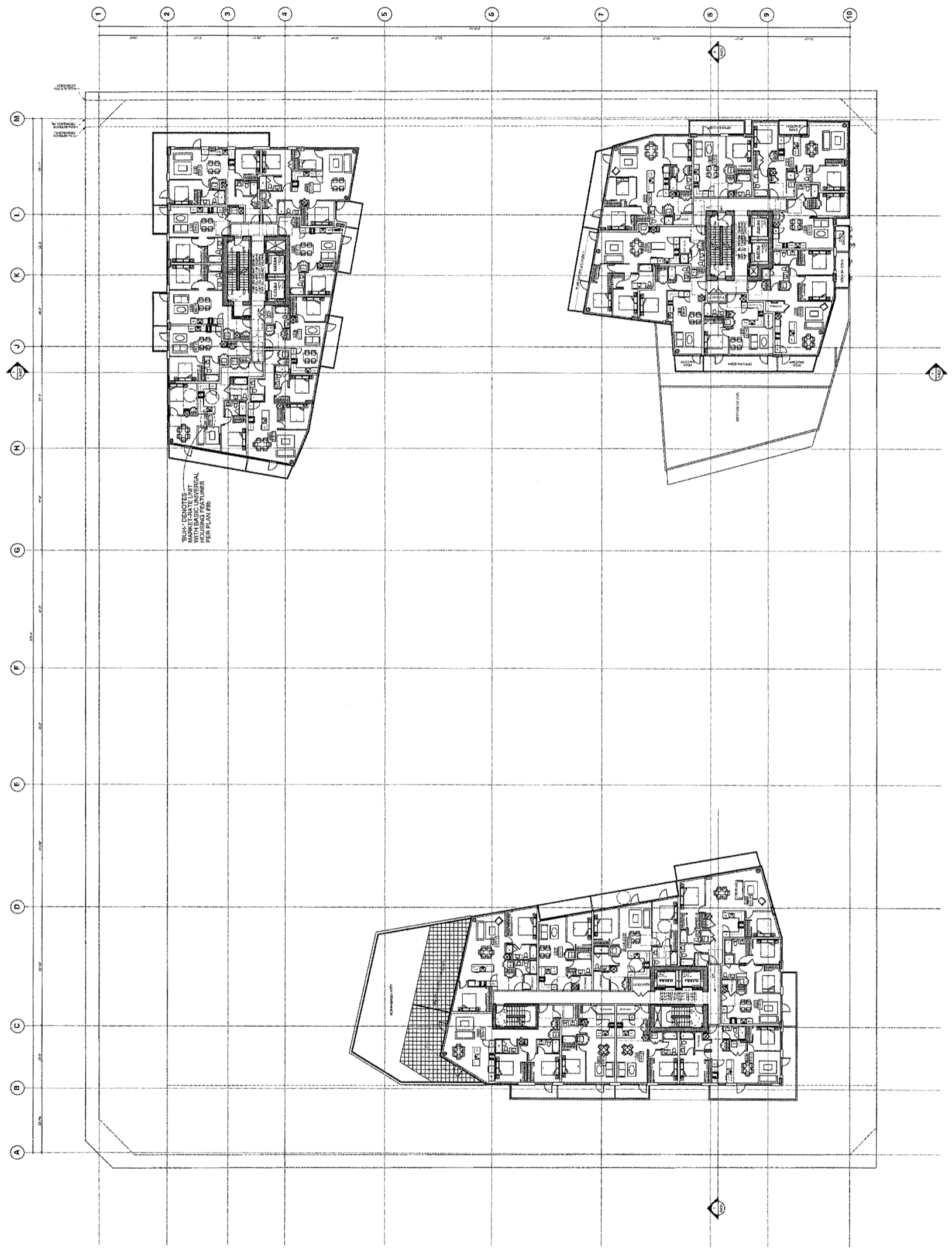
**TOWER A 11/F,
TOWERS B-C 12/F**
PLANS



DATE NO.	16-03
DRAWN	MBKKT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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Plan #2m



DP 18-831623

REVISION	DATE	DESCRIPTION
1	2018-03-08	ISSUED FOR PERMIT
2	2018-03-08	REVISIONS FOR PERMITTING
3	2018-06-08	REVISIONS FOR PERMITTING
4	2018-06-08	REVISIONS FOR PERMITTING
5	2018-06-08	REVISIONS FOR PERMITTING
6	2018-06-08	REVISIONS FOR PERMITTING
7	2018-10-07	REVISIONS FOR PERMITTING

JAN 11 2019

PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-031623
8074-8991 PARK ROAD
RICHMOND, BC

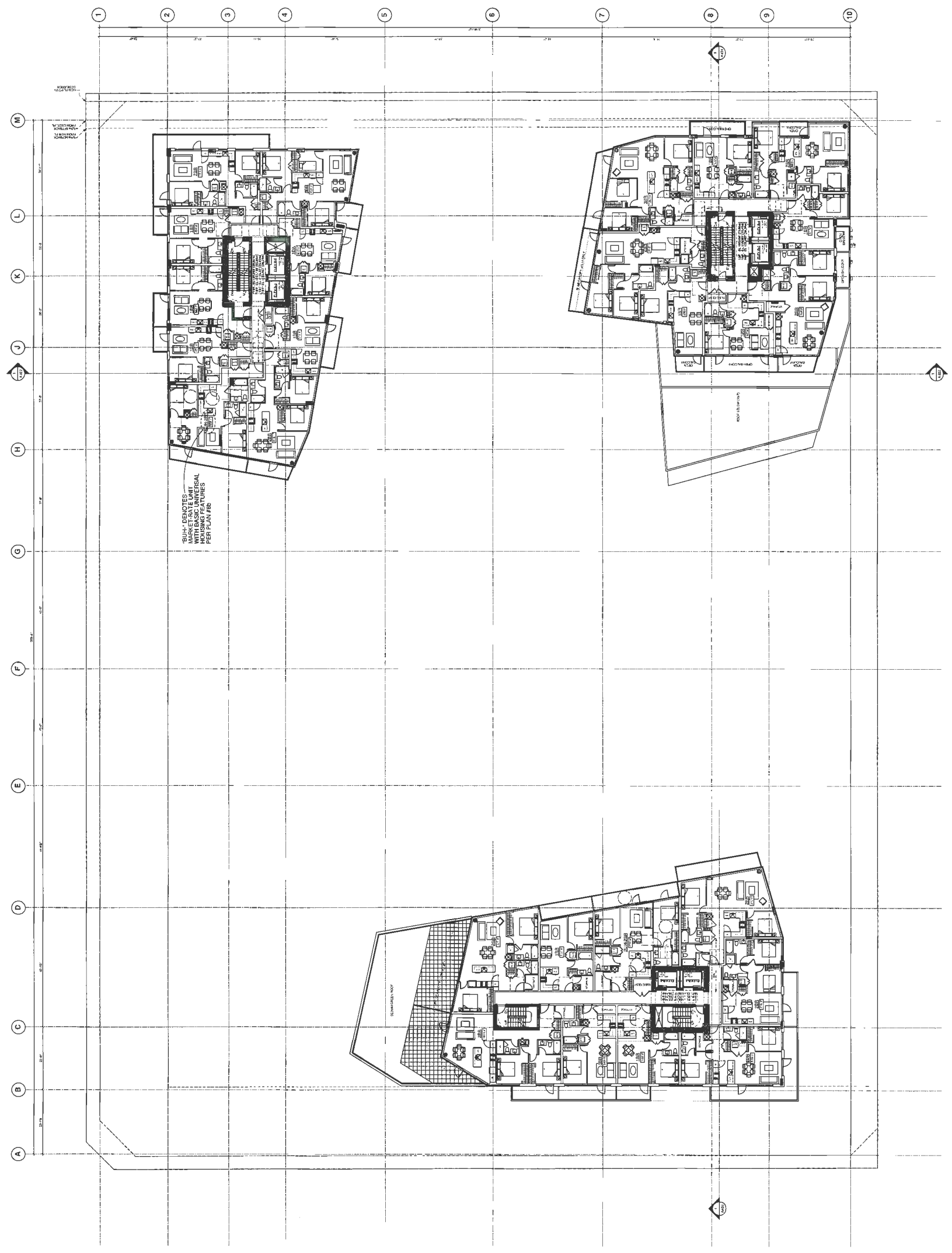
**TOWER A 12/F,
TOWERS B-C 13/F**
PLANS



JOB NO.	18-03
DRAWN	MB/IKT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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Plan #2n



REVISION	DESCRIPTION
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2	REVISION FOR REVISION
3	REVISION FOR REVISION
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5	REVISION FOR REVISION
6	REVISION FOR REVISION
7	REVISION FOR REVISION

JAN 11 2019

PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8071-8091 PARK ROAD
RICHMOND, BC

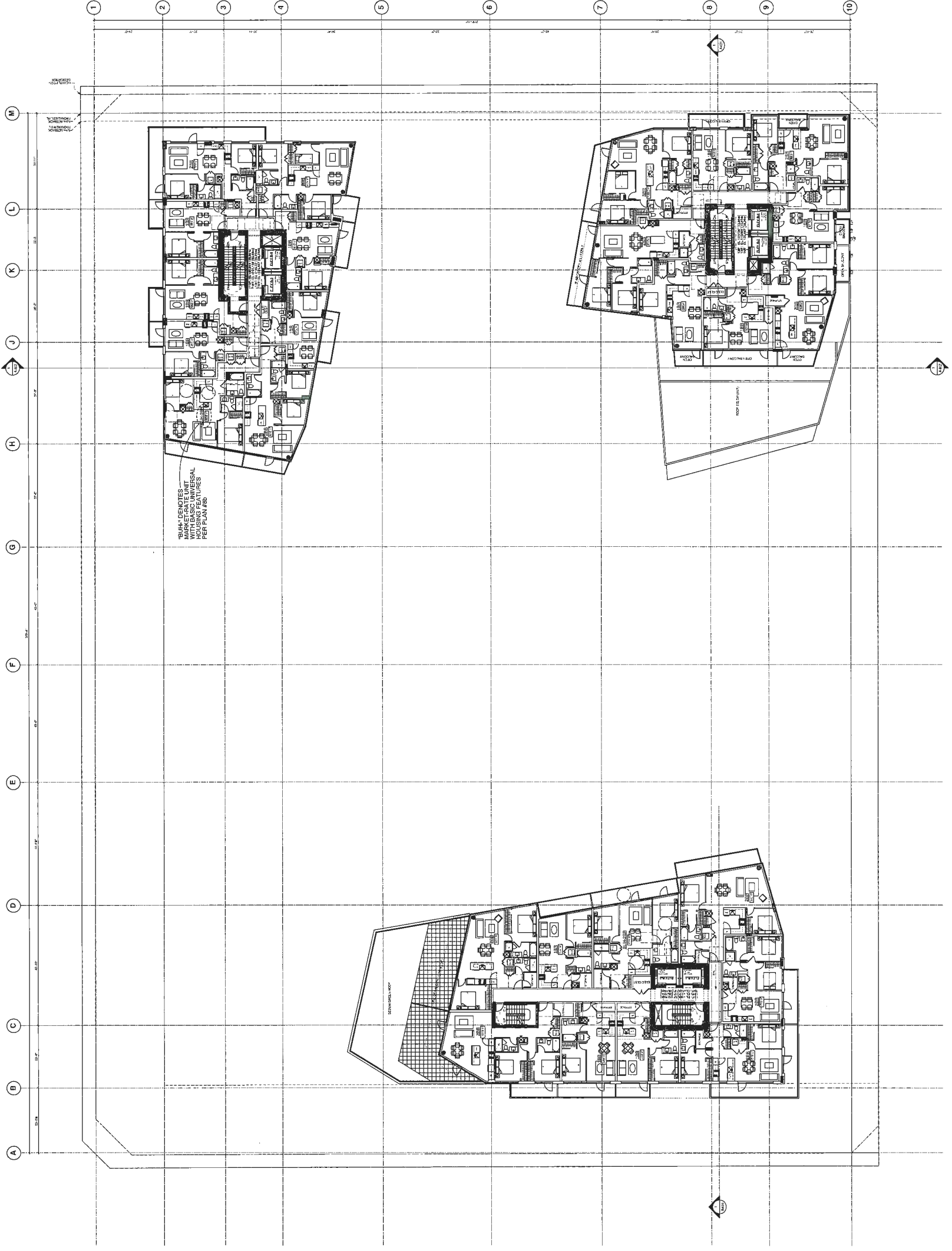
**TOWER A 13/F,
TOWERS B-C 14/F**
PLANS



JOB NO.	18-03
DRAWN	MEIKIT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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Plan #20



DP

18-831623

ISSUE/REVISION	DATE	ISSUED FOR REZONING
1	2017-02-28	ISSUED FOR REZONING
2	2018-02-28	REISSUED FOR REZONING
3	2018-04-09	REISSUED FOR REZONING
4	2018-05-09	REISSUED FOR REZONING
5	2018-07-26	ISSUED FOR DP / ADP
6	2018-10-02	REISSUED FOR ADP
7	2018-12-07	REISSUED FOR DP

DEC 11 2018

PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8071-8091 PARK ROAD
RICHMOND, BC

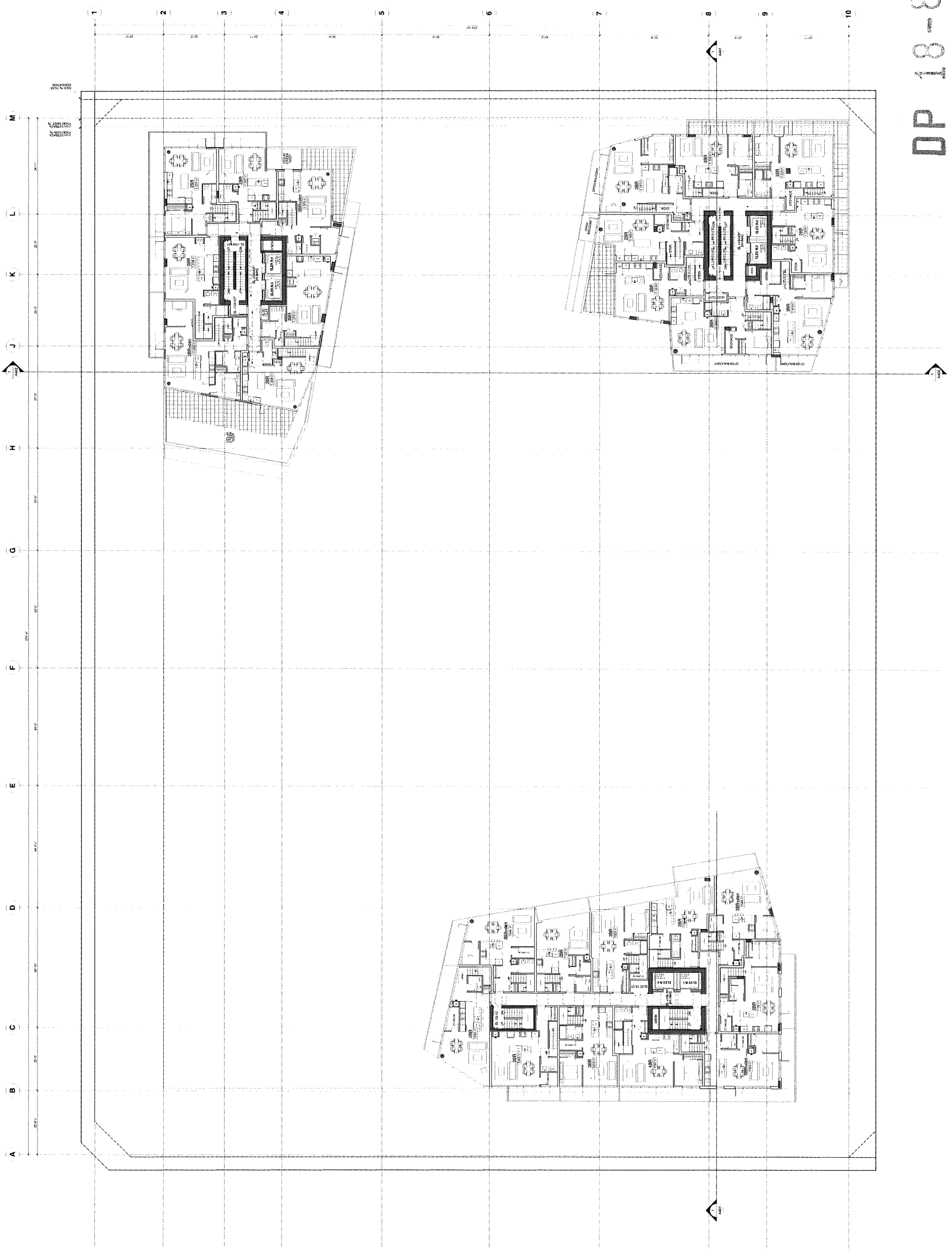
**TOWER A 14/F,
TOWERS B-C 15/F**
PLANS



JOB NO.	16-03
DRAWN	MB/KT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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Plan #2p



DP 18-831623

REVISION	DATE	ISSUED FOR RECORD
1	2017-07-26	ISSUED FOR RECORD
2	2018-02-28	RE ISSUED FOR RECORDING
3	2018-04-04	RE ISSUED FOR RECORDING
4	2018-05-09	RE ISSUED FOR RECORDING
5	2018-07-20	ISSUED FOR 37' ASP
6	2018-10-02	RE ISSUED FOR ASP
7	2019-12-07	RE ISSUED FOR IUP

DEC 11 2019

PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8071-8091 PARK ROAD
RICHMOND, BC

**TOWER A 15/F,
TOWERS B-C 16/F**
PLANS



JOB NO.	16-03
DRAWN	MBK/T
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

16023

Plan #2q



DP 18-831623

- | REVISION NO. | DESCRIPTION |
|--------------|------------------------|
| 1 | ISSUED FOR PERMITTING |
| 2 | REVISED FOR PERMITTING |
| 3 | REVISED FOR PERMITTING |
| 4 | REVISED FOR PERMITTING |
| 5 | REVISED FOR PERMITTING |
| 6 | REVISED FOR PERMITTING |
| 7 | REVISED FOR PERMITTING |

DEC 11 2013

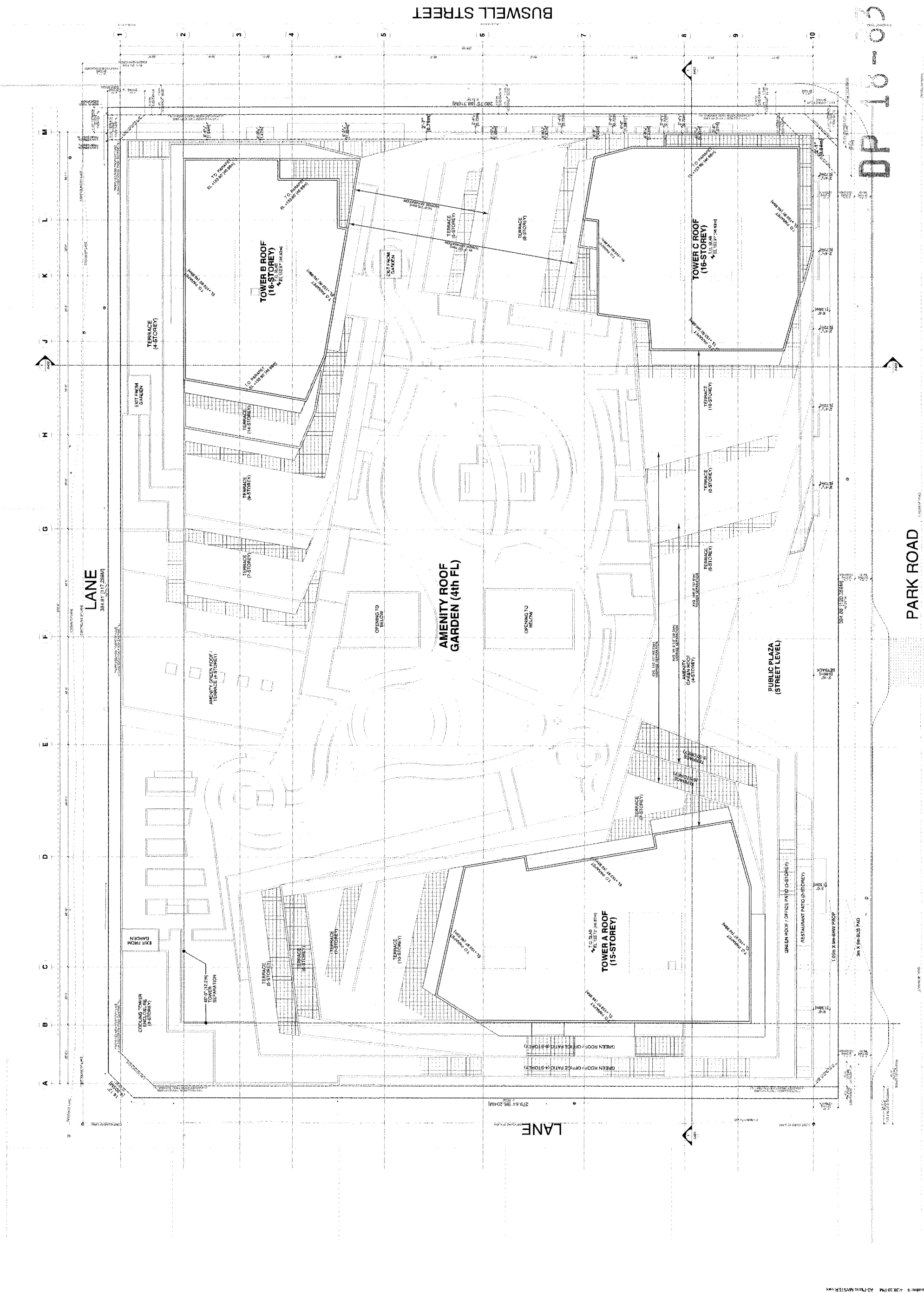
PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8071-5091 PARK ROAD
RICHMOND, BC

ROOF PLANS



JOB NO.	15-03
DRAWN	MB/KAT
DATE	07 DEC 2013
SCALE	1/16" = 1'-0"

CHECKED: WTL
DATE: 10/23/13
DRAWING NO.



DP 18-831623

PARK ROAD

BUSWELL STREET

LANE
384 BY 117.258M

LANE
279.64 (85.254M)

GENERAL NOTES:

- Refer to Architectural drawings for all concrete work details including, but not limited to stairs, planter walls etc.
- Refer to Architectural drawings for all planter, wall details and elevations.
- Hose bibs shall be provided for all patios over 100 sq. ft. and for all common amenity roof decks. Additional hose bibs shall be provided at any locations where there are garden plots. Exact and final location per Mechanical drawings.
- Irrigation Stub-Up shall be provided as noted on plans. Refer to Mechanical drawings for all final locations.
- Outdoor lighting symbols shown for reference only. Refer to Electrical drawings for all placement and connections.

PUBLIC REALM NOTES:

- All public realm design to the approval of the General Manager of Engineering.
- This plan is not for construction of any public property facilities. A minimum of 8 weeks prior to the start of any construction on public property a landscape plan must be submitted to Engineering Services for review. No work on public property may begin until such plans receive "For Construction" approval and related permits are issued.

OFFSITE PLANTING NOTES:

- Street tree final location to the approval of CoR Engineering.
- Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services.
- Approved root barrier to be installed per CoR standard.

GENERAL PLANTING NOTES:

- All work shall meet or exceed the requirements as outlined in the current Edition of the B.C. Landscape Standard.
- Plant sizes and related container classes are specified according to the current B.C. Landscape Standard Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers these shall be as defined in the BCNTA (ANS) Standard.
- All "Soft Landscape Areas" are to be irrigated with high-efficiency automatic irrigation system, including rain sensor, to IABC Standards.
- All irrigation valve boxes equipped with quick-couplers.
- Provide irrigation stub outs in locations shown on plan, 50 gpm at 50 psi, irrigation to be Design / Build Process. See Specifications.
- Planting Palettes include many bird friendly, native species including evergreen and perennials creating year round interest and adding habitat value.

DRAWING LIST

00	Landscape Rational
000	Precedent Images
Legend#3	Legend
Plan #3a	Overall Landscape Plan, Ground Level
Plan #3b	NW Planting Plan, Ground Level
Plan #3c	SW Planting Plan, Ground Level
Plan #3d	NE Planting Plan, Ground Level
Plan #3e	SE Planting Plan, Ground Level
Plan #3f	Level 2 Planting Plan
Plan #3g	Level 3 Planting Plan
Plan #3h	Overall Landscape Plan, Level 4
Plan #3i	NW Planting Plan, Level 4
Plan #3j	SW Planting Plan, Level 4
Plan #3k	NE Planting Plan, Level 4
Plan #3l	SE Planting Plan, Level 4
Sections #3m	Landscape Sections
Sections #3n	Landscape Sections
Sections #3o	Landscape Sections/Details
Sections #3p	Landscape Sections/Details
Sections #3q	Landscape Sections/Details

MATERIALS KEY

	CIP Concrete (offsite) 100mm thick. Saw cut as per plan. Colour: Natural
	CIP Concrete (offsite) 100mm thick. Saw cut as per plan. Colour: Charcoal
	CIP Concrete 100mm thick. Saw cut as per plan. Colour: Natural
	CIP Concrete 100mm thick. Saw cut as per plan. Colour: Charcoal
	Porcelain pavers, 900 x300 x 5mm, mortared on concrete.
	Interlocking Paving Stones 600 x100 x 100mm. Colour: Charcoal
	Interlocking Paving Stones 600 x100 x 100mm. Colour: Granite
	Hydrofresed Concrete Slabs 18' x18' x 2". Colour: Natural
	Wood decking
	Pour in Place Rubber
	Pacific slate pavers 112.5 x 225 x 60mm. Colour: Granite
	Perforated Metal to Match Architecture
	Irrigation stub-out location, 50 gpm at 50 psi.

FURNITURE KEY

WALLS, FENCING & HARDSCAPE

	Patio Entry Gate
	Bike Racks
	Bala Bike Racks
	Wood Bench
	Wall mount exterior lighting
	Socrates Seating block
	Outdoor Fire Place
	Movable outdoor furniture
	Wall mounted lighting
	Play Equipment NR02012 (On Slab) Stain: XX11 Contact: Rectec Industries (604 940 0067) Jeff Kuby
	Kids Play Equipment - Sping Chair
	Balance logs
	Discovery Path- Steeping stairs with Wood frame tunnel

PLANT LIST

SYM.	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS
TREES				
	17	Populus tremuloides	Trembling Aspen	5cm cal, B&B
	15	Cornus kousa 'Satomi'	Satomi Chinese Dogwood	5cm cal, B&B
	5	Betula utilis 'Jaquemontii' - Clump	Himalayan Birch Clump	5cm cal, B&B
	15	Acer campestre	Hedge Maple	5cm cal, B&B
	21	Magnolia sieboldii	Oyama Magnolia	#7 pot, 2.5m ht
	6	Cercidiphyllum japonicum	Katsura Tree	5cm cal, B&B
	2	Cornus kousa 'Satomi'	Satomi Dogwood	5cm cal, B&B
	14	Street Trees (species to be coordinated w/ CoR). Final location to be coordinated with CoR to avoid conflicts with civil utilities servicing building.		
SHRUBS AND FERNS				
Ae	22	Acer circinnatum	Vine Maple	#2 pot, 30" o.c.
a	298	Arctostaphylos uva-ursi	Banberry	#1 pot, 12" o.c.
Az	107	Azalea 'Cheerful Giant'	Cheerful Giant Azalea	#2 pot, 24" o.c.
Bd	92	Buddleia davidii	Butterfly Bush	#2 pot, 24" o.c.
Bk	182	Buxus M. wintergreen	Buxus	#2 pot, 18" o.c.
Ca	181	Cornus sericea 'Profusion'	Kelsay Dogwood	#2 pot, 24" o.c.
CS	133	Cornus sericea 'Kelsay'	Kelsay Dogwood	#2 pot, 24" o.c.
Ct	96	Choisya ternata	Mock Orange	#2 pot, 24" o.c.
c	45	Cotoneaster dammeri 'Lowfast'	Beatberry Cotoneaster	#1 pot, 12" o.c.
Co	245	Dryopteris koidzumiana	Koidzumass Wood Fern	#1 pot, 18" o.c.
Dm	896	Quiltheria strillon	Salt Fern	#1 pot, 18" o.c.
Ma	13	Mahonia aquifolium	Oregon Grape	#2 pot, 24" o.c.
Mn	97	Skimmia japonica	Japanese Skimmia	#2 pot, 24" o.c.
SP	79	Spiraea japonica	Japanese Spirea	#2 pot, 24" o.c.
RH	81	Rhododendron 'Alena'	Alena Rhododendron	#4 pot, 36" o.c.
Et	457	Taxus media 'Hilli'	Hilli 'Taxus media'	4" Ht. B&B RB to RB
PERENNIALS, GROUND COVERS & GRASSES				
Ae	1636	Asarum europaeum	Wild Ginger	#1 pot, 10" o.c.
ca	179	Calamagrostis x acutiflora	Feather Reed Grass	#1 pot, 18" o.c.
cb	712	Carex buchanii	Fox Reed Curly Sedge	#1 pot, 12" o.c.
ch	292	Carex crinita 'Dance'	Charming Curly Sedge	#2 pot, 18" o.c.
Co	9	Chamaenerion	Fireweed	#1 pot, 12" o.c.
Ch	4	Chamaenerion	Chamaenerion	#1 pot, 12" o.c.
E	160	Eupatorium 'Yokichi'	Yokichi Fairy Wings	#1 pot, 12" o.c.
Li	48	Liriope muscari	Southern Cornfoot	#1 pot, 12" o.c.
Li	331	Kniphofia 'Bressingham Comet'	Red Hot Poker	#1 pot, 12" o.c.
Lo	188	Loxipetalum 'moss midget'	Dwarf Crimson Scabious	#1 pot, 18" o.c.
Ph	136	Phlox subulata 'Hemel'	Dwarf Fountain Grass	#1 pot, 18" o.c.
Po	25	Polygonatum odoratum 'Variegatum'	Mexican Feather Grass	#1 pot, 14" o.c.
St	564	Stipa tenuissima	Mexican Feather Grass	#2 pot, 24" o.c.
St	573	Veronica spicata 'Red Fox'	Red Fox Spike Speedwell	#1 pot, 18" o.c.

Project:
8071 - 8091 Park Road,
Richmond BC

JAN 23 2019

Dorina Kwak Ltd.
102 - 1637 West 5th Avenue
Vancouver, BC V6J 1N6
Tel: 604 684 6811
www.dorinakwak.com

Revisions:
no. | date | item:
4 Dec 16 18 Issued for DP Submission
3 Sep 30 18 Issued for ADP
2 July 30 18 Issued for DP & ADP
1 Jan 26 18 Issued for RZ

Drawn by: BD
Checked by: SY
Date: September 2018
Scale: NTS
Drawing Title: Landscape Legend

Project No.: 17054
Sheet No.:

Legend #3

DP 10-03-1623



- 4 Dec 10-18 Issued for DP Resubmission
- 3 Sep 30-18 Issued for ADP
- 2 July 30-18 Issued for DP & ADP
- 1 Jan 26-18 Issued for RZ

no.: | date: | item:

Revisions:

DK Dorrance Kreutz Ltd.
 1000 West Broadway Avenue
 Vancouver BC V6J 1N5
 T: 604 684 4611
 F: 604 684 0577
 www.dk.bc.ca

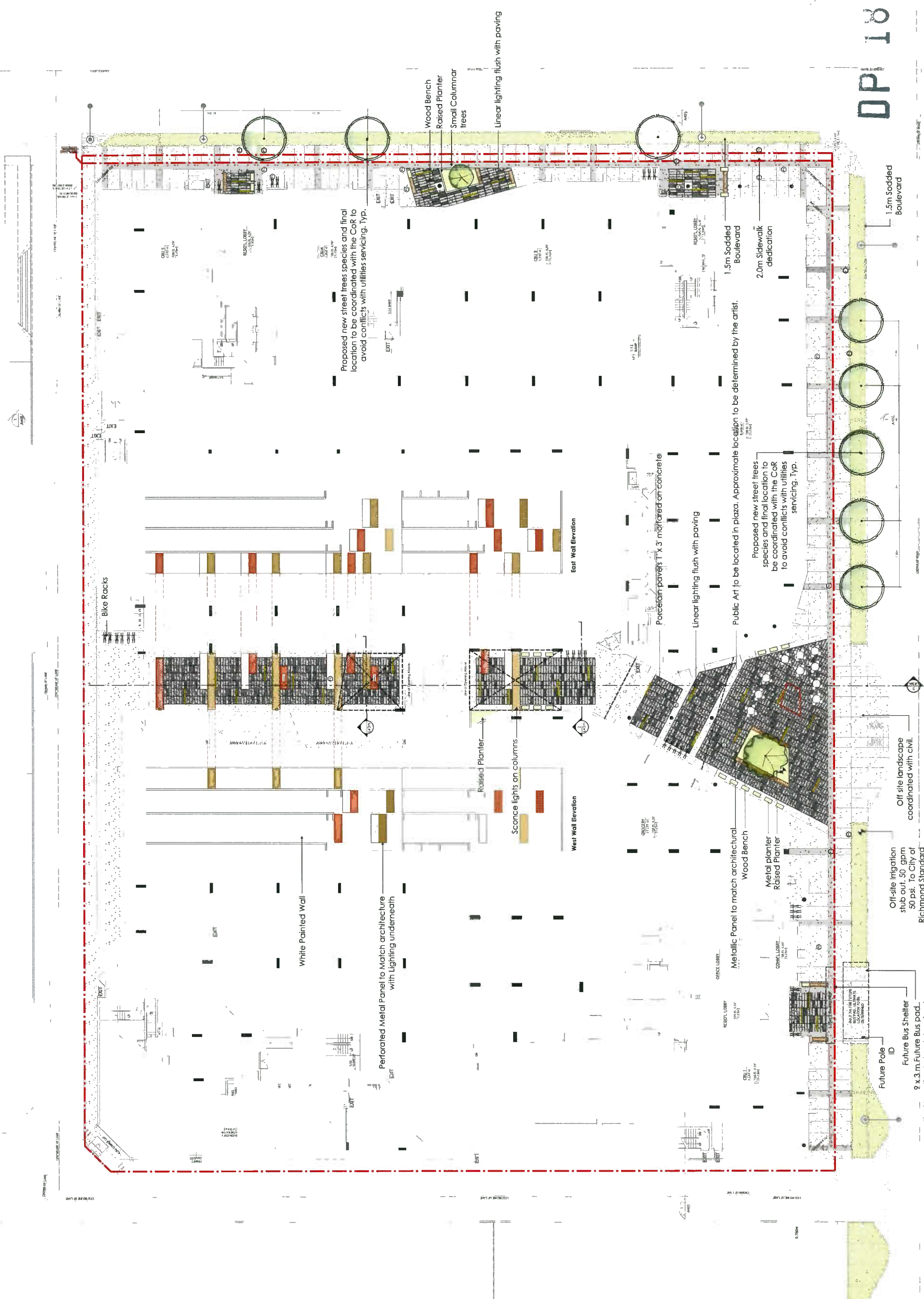
DEC 11 2018

Project:
**8071 - 8091 Park Road,
 Richmond BC**

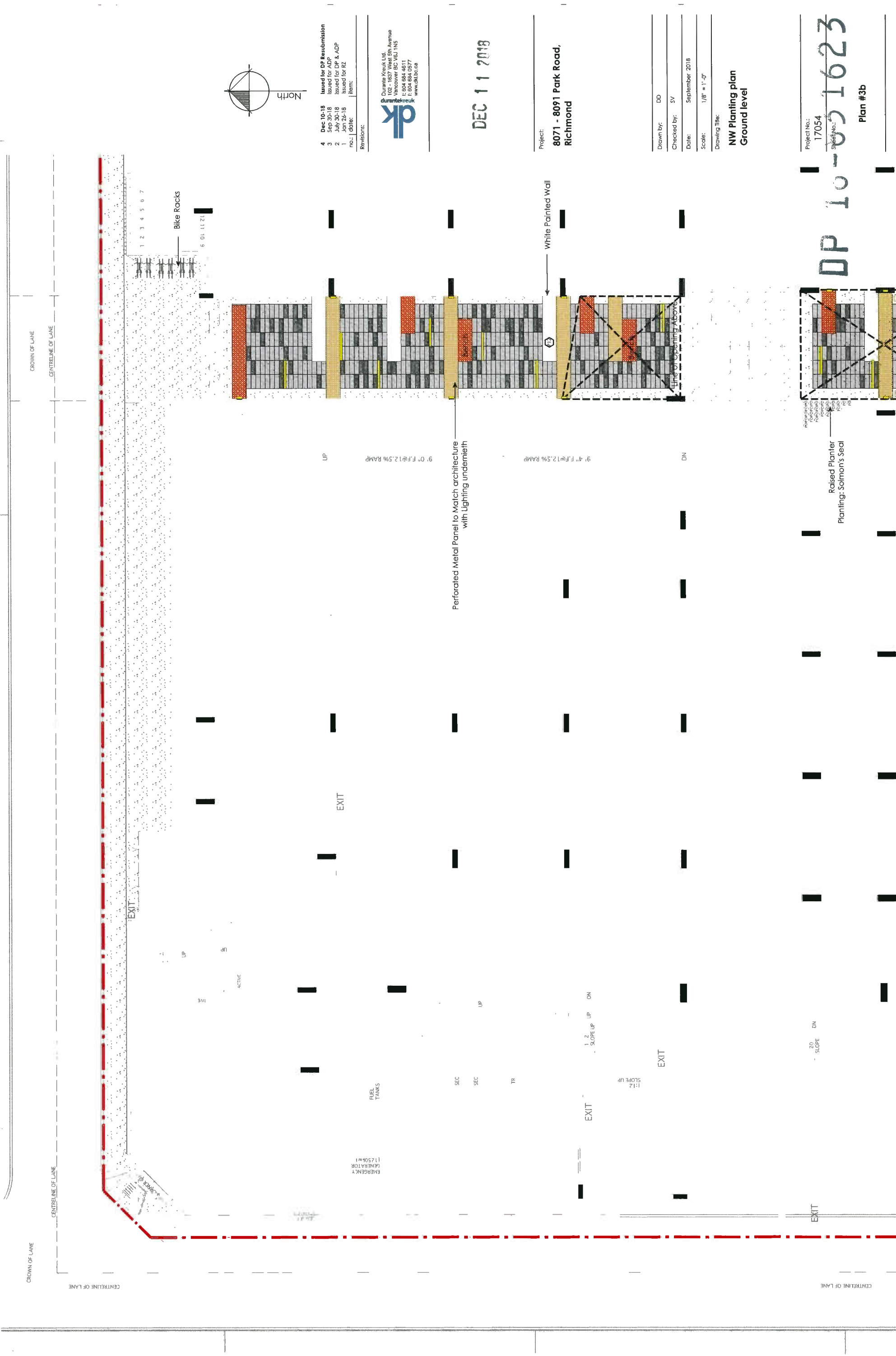
Drawn by: DD
 Checked by: SV
 Date: September 2018
 Scale: 1/16" = 1'-0"

Drawing Title:
**Overall Landscape plan
 Ground level**

Project No.: 17054
 Sheet No.: **DP 18-021623**
 Plan #3a



DP 18-021623
 Plan #3a



- Revisions:
- 4 Dec 10-18 Issued for DP Resubmission
 - 3 Sep 30-18 Issued for ADP
 - 2 July 30-18 Issued for DP & ADP
 - 1 Jan 24-18 Issued for RZ
- no.: | date: | item:

dk
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 102 - 1637 West 5th Avenue
 Vancouver BC V6J 1N5
 T: 604 684 4611
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 www.dkbc.ca

DEC 11 2018

Project:
**8071 - 8091 Park Road,
 Richmond**

Drawn by: DO
 Checked by: SV
 Date: September 2018
 Scale: 1/8" = 1'-0"

Drawing Title:
**NW Planning plan
 Ground level**

Project No.:
17054
 Sheet No.:
DP 10-051623
 Plan #3b

UP

9' 0" F.F@12.5% RAMP

Perforated Metal Panel to Match architecture
 with Lighting underneath

9' 4" F.F@12.5% RAMP

White Painted Wall

Line of Opening Above

EXIT

EMERGENCY
 GENERATOR
 11750KW1
 FUEL
 TANKS

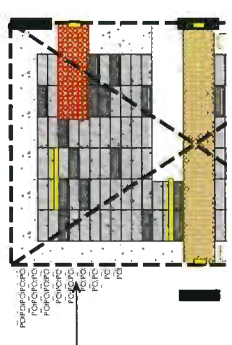
SEC
 SEC
 TR

EXIT
 1:2 SLOPE UP
 ON

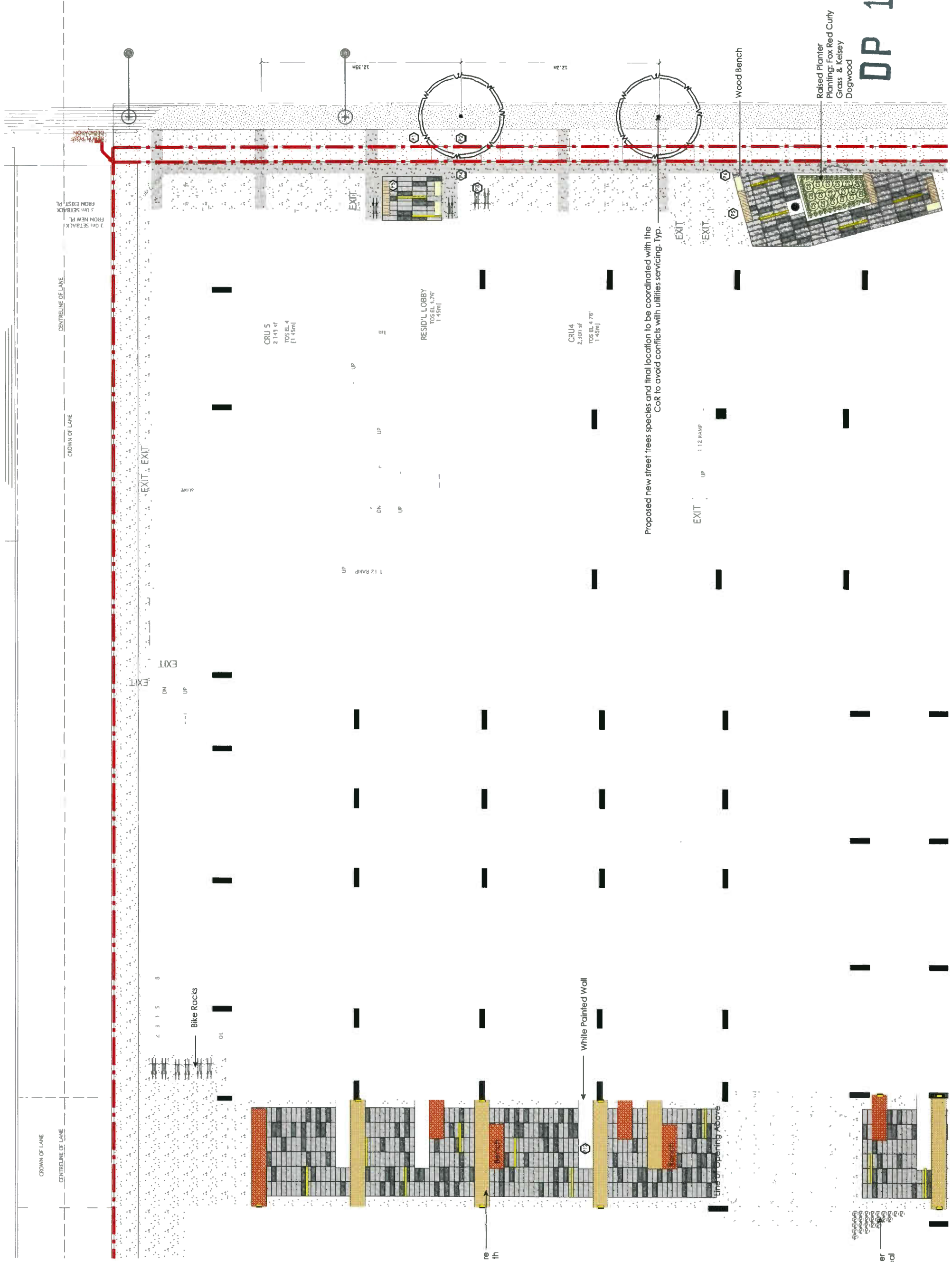
1:12
 SLOPE UP

EXIT

EXIT
 20
 SLOPE
 DN



Raised Planter
 Planting: Solimon's Seal



Proposed new street trees species and final location to be coordinated with the CoR to avoid conflicts with utilities servicing. Typ.

Raised Planter
Planting: Fox Red Curly
Grass & Kelsey
Dogwood

DP 18-831623

Project No.: 18054
Sheet No.:

Plan #3d



- Revisions:
- 4 Dec 10-18 Issued for DP Resubmission
 - 3 Sep 30-18 Issued for ADP
 - 2 July 30-18 Issued for DP & ADP
 - 1 Jan 24-18 Issued for RZ
- no.: | date: | desc:



Duranto Kruk Ltd.
102 - 1537 West SR Avenue
Vancouver BC V6J 1N5
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f: 604 684 0577
www.dkbc.ca

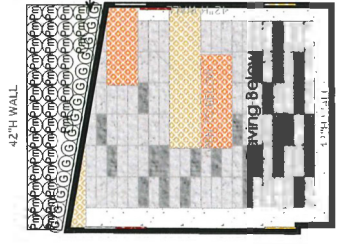
DEC 11 2018

Project:
**8071 - 8091 Park Road,
Richmond**

Drawn by:	DD
Checked by:	SV
Date:	September 2018
Scale:	1/8" = 1'-0"

Drawing Title:
**NE Planting plan
Ground level**

VIEW SL.OT
 EL. +12.80' (3.9
 0m)
 DN
 9'-0" F.F. @ 12.5% RAMP



Raised planter
 Planting: Salal & Sword Fern

P2-Residential

102 STALLS
 ALL RESIDENTIAL PARKING SPACES TO BE PROVIDED WITH 20 AMP OUTLET CAPABLE OF LEVEL 2 OR HIGHER ELECTRIC CHARGING, PER ZONING BYLAW 7.15.1



Raised planter
 Planting: Salal & Sword Fern

UP DN
EXIT
 EL. +12.80' (3.90m)

VIEW SL.OT
 EL. +12.80' (3.9
 0m)
 DN

ELEV. C-4
 SERVICE

OPEN TO SERVICE CORRIDOR BELOW

MECH
 UP DN
 EL. +12.80'
 GWB CEILING
 ELEV. C 1
 ELEV. C
 ELEV. R 2
 ELEV. R 1
 GWB CEILING
 EL. +12.80'
 UP DN
 EL. +12.80'
 MECH
 UP DN
 EL. +12.80'
 GWB CEILING
 ELEV. C 1
 ELEV. C
 ELEV. R 2
 ELEV. R 1
 GWB CEILING
 EL. +12.80'
 UP DN
 EL. +12.80'
 MECH
 UP DN
 EL. +12.80'
 GWB CEILING
 ELEV. C 1
 ELEV. C
 ELEV. R 2
 ELEV. R 1
 GWB CEILING
 EL. +12.80'
 UP DN
 EL. +12.80'
 MECH
 UP DN
 EL. +12.80'
 GWB CEILING
 ELEV. C 1
 ELEV. C
 ELEV. R 2
 ELEV. R 1
 GWB CEILING
 EL. +12.80'
 UP DN
 EL. +12.80'

OPEN TO GRU
 BELOW

MECH ROOM BELOW
 GWB CEILING
 +9'-0" AFF

OPEN TO LOBBY
 BELOW

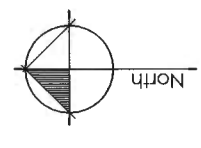
OPEN TO LOBBY
 BELOW

ELEV. EL. +8.56'

OPEN TO LOBBY
 BELOW

OPEN TO VESTIBULE
 BELOW

UP DN
 EL. + 23'



Revisions:

4	Dec. 10-18	Issued for DP Resubmission
3	Sep. 30-18	Issued for ADP
2	July 30-18	Issued for DP & ADP
1	Jan. 26-18	Issued for RZ
no.:	date:	Item:

Parante
 Damara Kwiatk, Ltd.
 1102 - 1537 West 5th Avenue
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 www.dkbcc.ca

DEC 11 2019

Project:
**8071 - 8091 Park Road,
 Richmond**

Drawn by: DO
 Checked by: SV
 Date: September 2018
 Scale: 1/8" = 1' - 0"

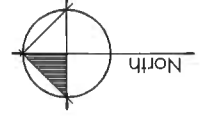
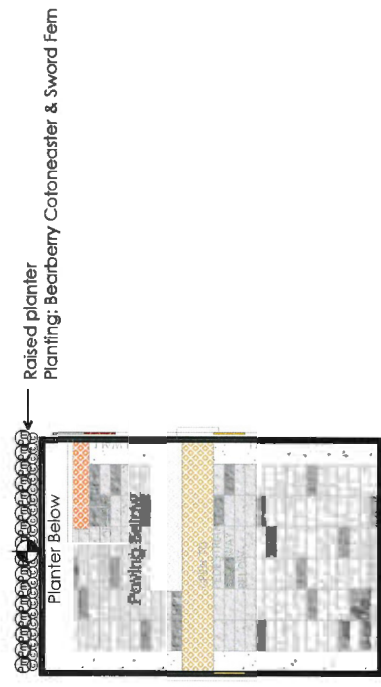
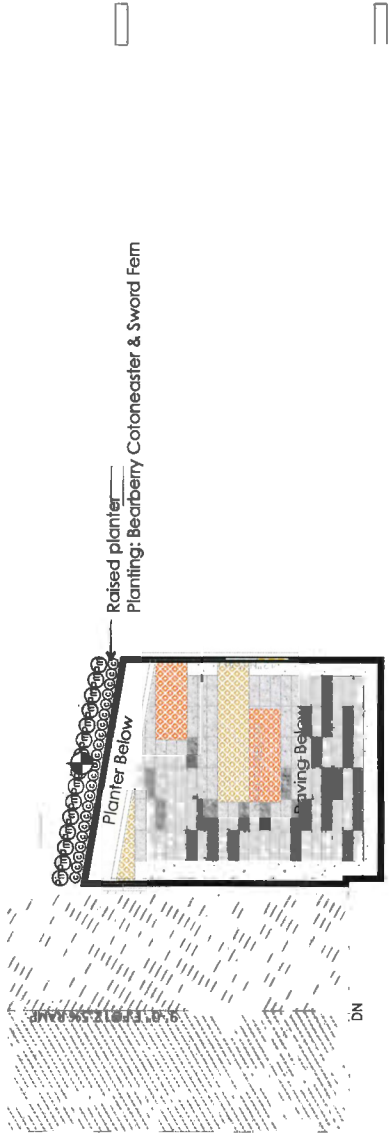
Drawing Title:
**Planting plan
 Level 2**

OPEN TO GRU
 BELOW

DP

Project No.:
18-831623
 Sheet No.:

Plan #3f



Revisions:

4	Dec 10-18	Issued for DP Resubmission
3	Sep 30-18	Issued for ADP
2	July 30-18	Issued for DP & ADP
1	Jan 26-18	Issued for RZ
no.:	date:	item:

durante
 Durrant Kruuk Ltd.
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DEC 11 2019

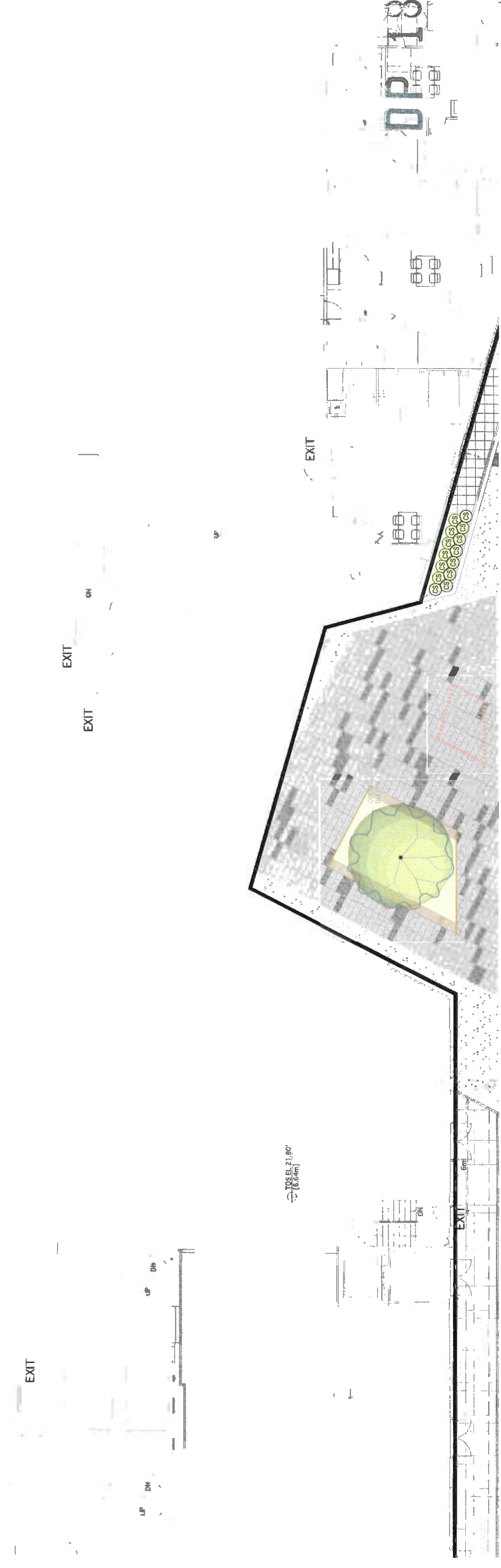
Project:
**8071 - 8091 Park Road,
 Richmond**

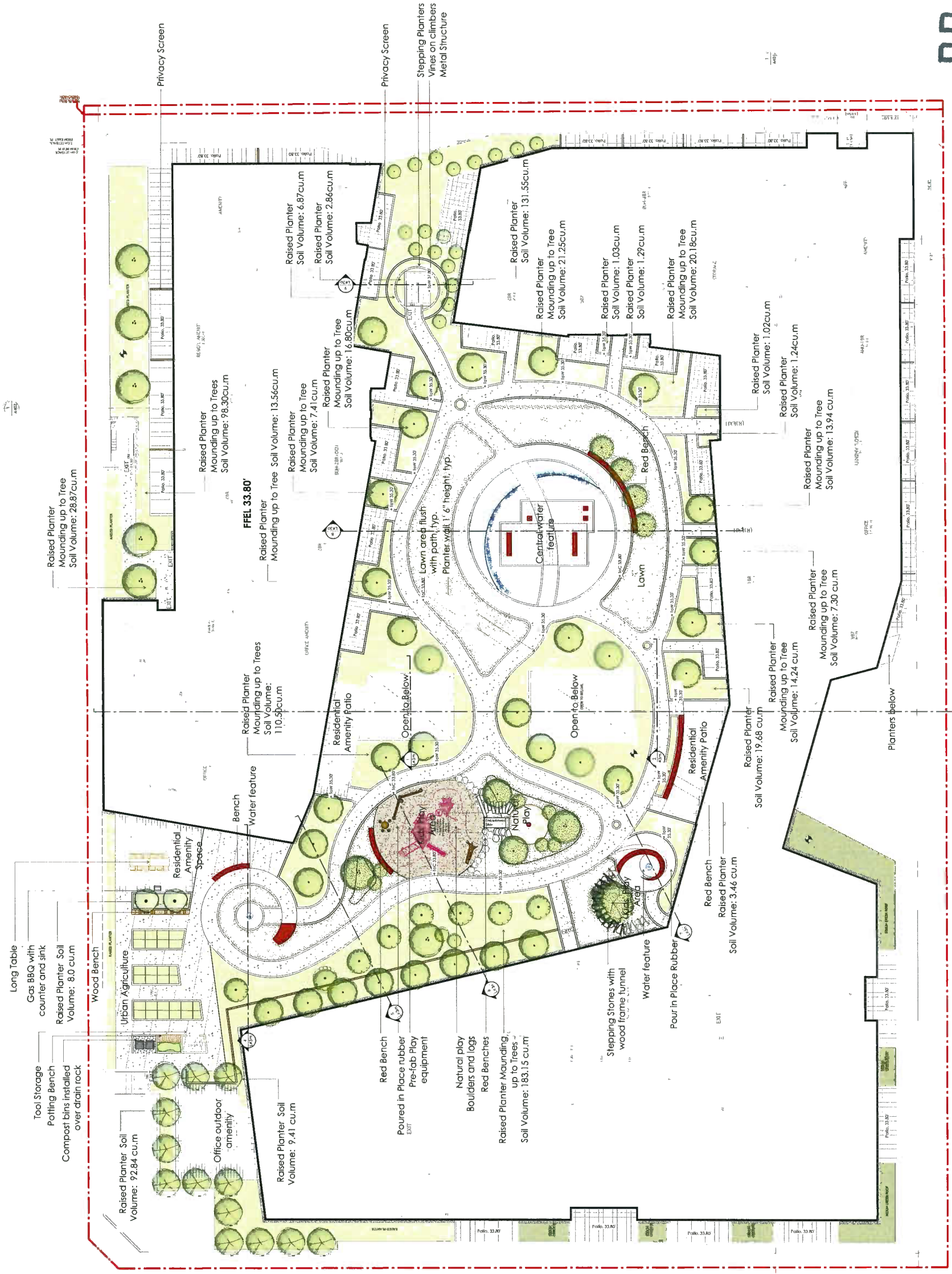
Drawn by:	DD
Checked by:	SY
Date:	September 2018
Scale:	1/8" = 1'-0"

Drawing Title:
**Planting plan
 Level 3**

Project No.: 17003
 Sheet No.: 051623

Plan #39





- Revisions:
- 4 Dec 10-18 Issued for DP Reinstatement
 - 3 Sep 30-18 Issued for ADP
 - 2 July 30-18 Issued for DP & ADP
 - 1 Jan 26-18 Issued for RZ
- no.: date: | Item:

Churnish Knott, Ltd.
 102 - 1637 West 5th Avenue
 Vancouver BC V6J 1N5
 T: 604 884 4611
 F: 604 884 0577
 www.dkl.bc.ca

DEC 11 2019

Project:
**8071 - 8091 Park Road,
 Richmond BC**

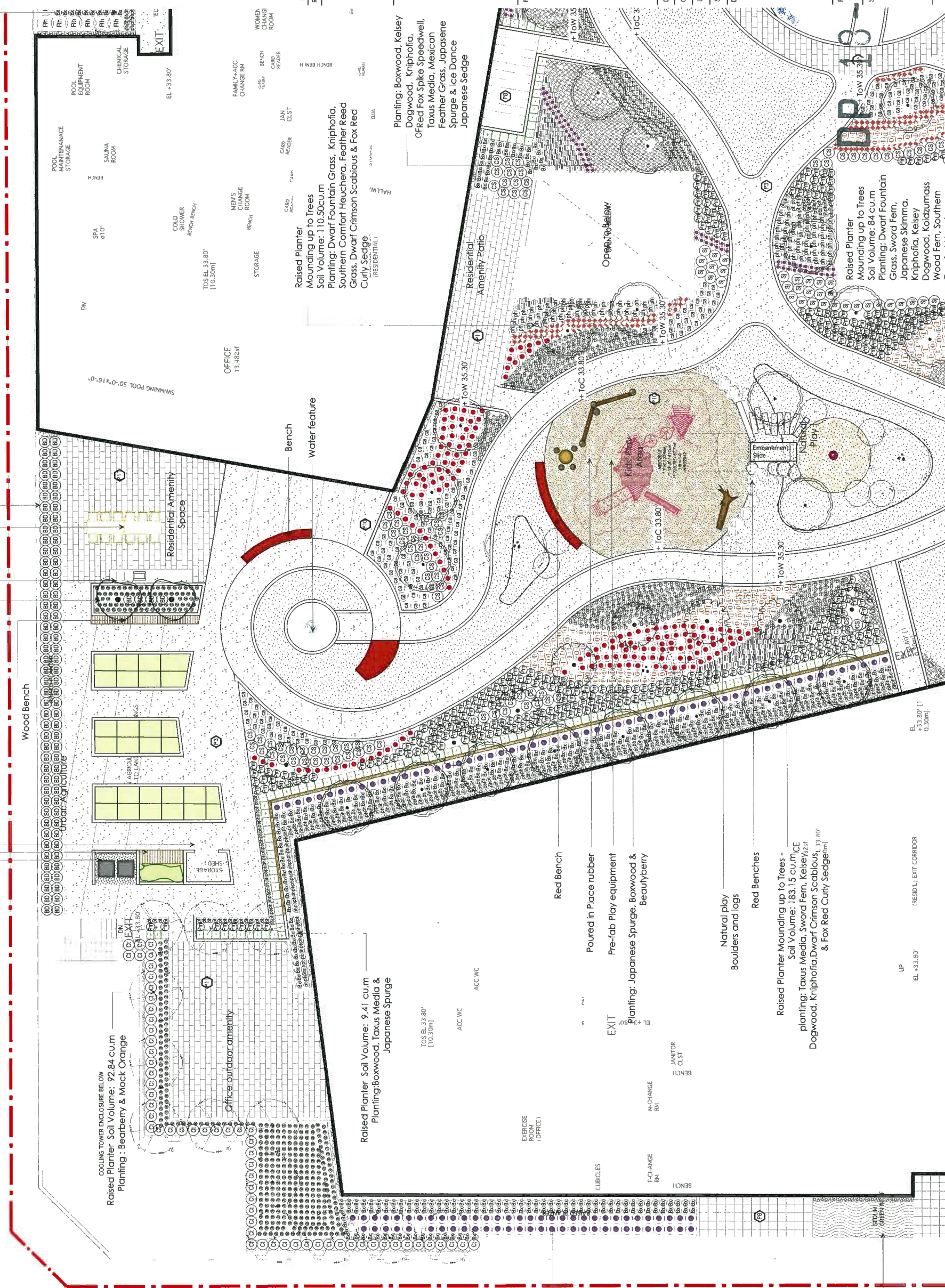
Drawn by:	DD
Checked by:	SV
Date:	September 2019
Scale:	1/16" = 1'-0"

Drawing Title:
**Overall Landscape plan
 level 4**

Project No.: **7054**
 Sheet No.: **DP 18-831623**

Plan #3h

Raised Planter Soil Volume: 17.88 cu.m
 Planting: Butterfly bush
 Long Table
 Gas BBQ with counter and sink
 Raised Planter Soil Volume: 8.0 cu.m
 Planting: Butterfly bush & Bearberry
 Tool Storage
 Potting Bench
 Compost bins installed over drain rock



- Revisions:
- 4 Dec 10-18 Issued for DP Resubmission
 - 3 Sep 30-18 Issued for ADP
 - 2 July 30-18 Issued for DP & ADP
 - 1 Jan 26-18 Issued for RZ
- no.: | date: | item:

Curatme Kneuk Ltd.
 102 - 1637 West 5th Avenue
 Vancouver BC V6L 1N5
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 F: 604 684 0577
 www.dk.ca

DEC 11 2019

Project:
 8071 - 8091 Park Road,
 Richmond

Drawn by: DD
 Checked by: SY
 Date: September 2018
 Scale: 1/8" = 1'-0"

Drawing Title:
 NW Planting plan
 Level 4

Project No.: 851623
 Sheet No.:

Plan #31

Raised Planter
 Mounding up to Trees
 Soil Volume: 110.50cu.m
 Planting: Dwarf Fountain Grass, Kniphofia,
 Southern Comfort Heuchera, Feather Reed
 Cury Sedge
 (RESIDENTIAL)

Planting: Boxwood, Kelsey
 Dogwood, Kniphofia,
 OF Red Fox Spike Speedwell,
 Taxus Media, Mexican
 Feather Grass, Japanese
 Spurge & Ice Dance
 Japanese Sedge

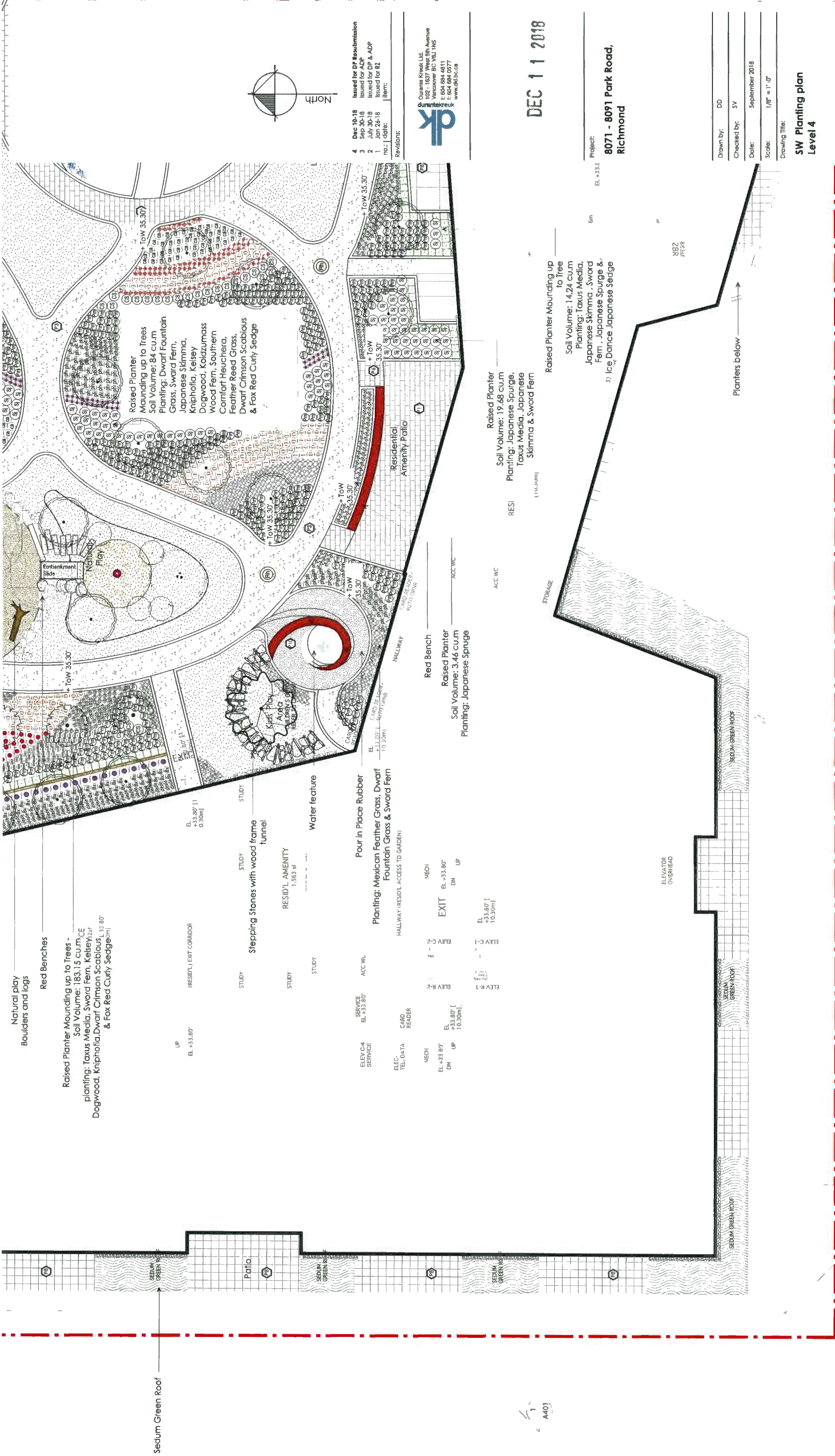
Raised Planter
 Mounding up to Trees
 Soil Volume: 84 cu.m
 Planting: Dwarf Fountain
 Grass, Sword Fern,
 Japanese Skimmia,
 Kniphofia, Kelsey
 Dogwood, Koldzumas
 Wood Fern, Southern

Raised Planter Soil Volume: 9.41 cu.m
 Planting: Boxwood, Taxus Media &
 Japanese Spurge

Raised Planter Mounding up to Trees -
 Soil Volume: 183.15 cu.m
 Planting: Taxus Media, Sword Fern, Kelsey,
 Dogwood, Kniphofia, Dwarf Crimson Scabious,
 & Fox Red Cury Sedge

Planting: Boxwood &
 Red Fox spike
 Speedwell

Sadum Green Roof



Natural play
Boulders and logs

Red Benches

Raised Planter Mounding up to Trees -
Soil Volume: 163.15 cu.m
Planting: Taxus Media, Sword Fern, Kelsey 2zf
Dogwood, Kniphofia, Dwarf Crimson Scabious, & Fox Red Curly Sedge

Sedum Green Roof

UP
EL +33.80'

STUDY
Stepping Stones with wood frame tunnel

STUDY
RESID'L AMENITY
1,563 sf

STUDY
Water feature

STUDY
Four in Place Rubber
Planting: Mexican Feather Grass, Dwarf Fountain Grass & Sword Fern
HALLWAY (RESID'L ACCESS TO GARDEN)

ELEC: TEL DATA
MECH
EL +33.80'
DN UP
EL +33.80' (10.30m)

ELEV C-4 SERVICE
EL +33.80'

ELEV R-2
EL +33.80' (10.30m)

ELEV C-1
EL +33.80' (10.30m)

ELEV R-1
EL +33.80' (10.30m)

MECH
EL +33.80'
DN UP

EXIT
EL +33.80'

MECH
EL +33.80'

Red Bench

Raised Planter
Soil Volume: 3.46 cu.m
Planting: Japanese Spruce

ACC WC

ACC WC

Raised Planter
Soil Volume: 19.48 cu.m
Planting: Japanese Spruce, Taxus Media, Japanese Skimmia & Sword Fern

Raised Planter Mounding up to Tree
Soil Volume: 14.24 cu.m
Planting: Taxus Media, Japanese Skimmia, Sword Fern, Japanese Spruce & Ice Dance Japanese Sedge

STORAGE

ELEVATOR OVERHEAD

SEDUM GREEN ROOF

SEDUM GREEN ROOF

SEDUM GREEN ROOF

SEDUM GREEN ROOF

SEDUM GREEN ROOF

Planters below



Revisions:

4	Dec 10-18	Issued for DP Resubmission
3	Sep 30-18	Issued for ADP
2	July 30-18	Issued for DP & ADP
1	Jan 24-18	Issued for RZ

no.: | date: | item:

Quanta Kwaki Ltd.
102 - 1827 West 5th Avenue
Vancouver BC V6J 1N5
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F: 604 684 0577
www.dtkbc.ca

DEC 11 2018

Project:
8071 - 8091 Park Road,
Richmond

Drawn by:	DO
Checked by:	SV
Date:	September 2018
Scale:	1/8" = 1'-0"

Drawing Title:
SW Planting plan
Level 4

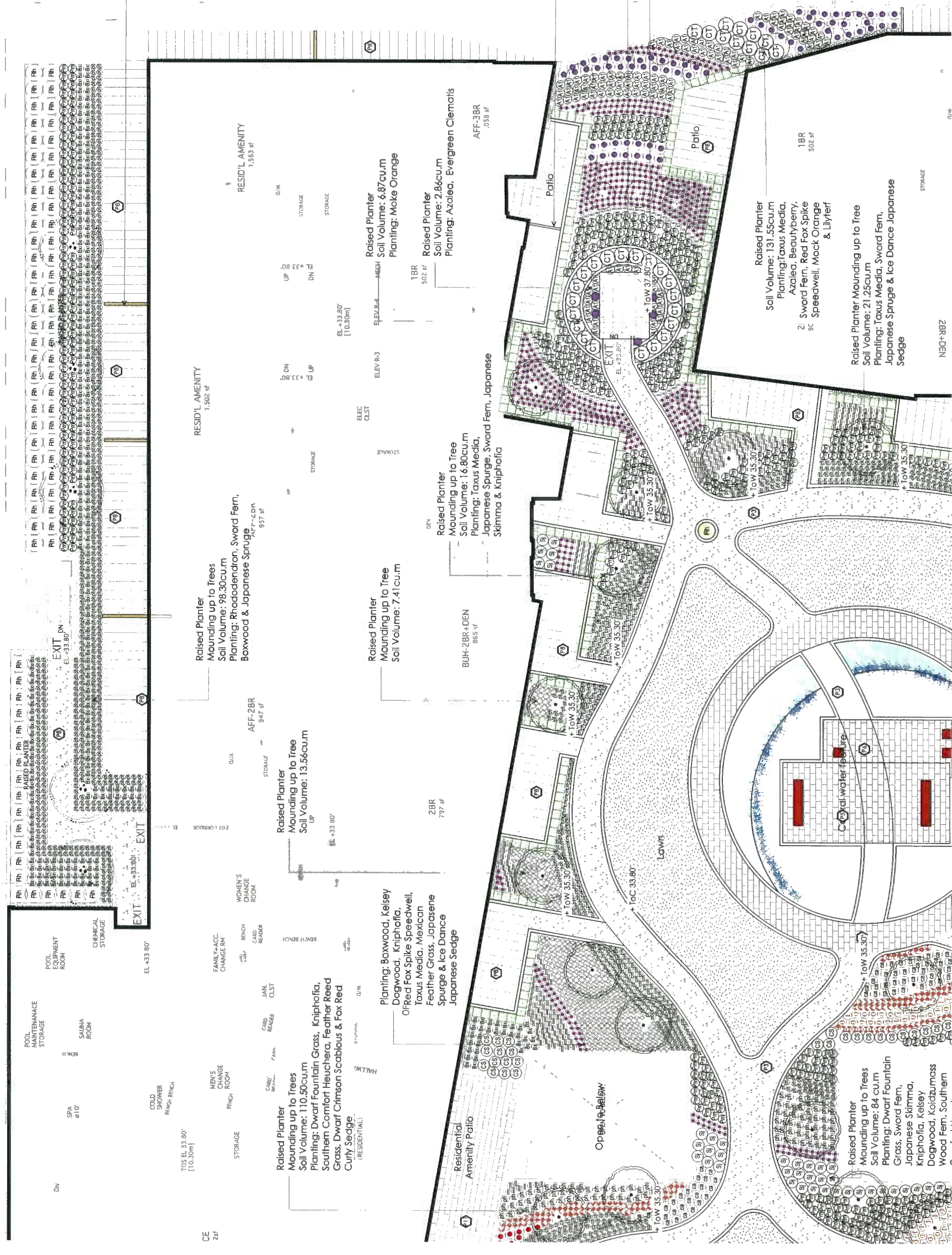
Project No: 0054
Sheet No: DP 18-031623

Plan #3j

A40j

Raised Planter
Mounding up to Tree
Soil Volume: 28.87cu.m
Planting: Rhododendron, Boxwood & Japanese Spruce

3.0m SETBACK
FROM NEW PL.
3.0m SETBACK
FROM EXIST. PL.



Revisions:

no.:	date:	item:
4	Dec 10-18	Issued for DR Resubmission
3	Nov 30-18	Issued for DRP
2	July 30-18	Issued for DRP & ADP
1	Jan 26-18	Issued for RZ



 Darrin K. Wood, Ltd.
 102-57 West 5th Avenue
 Vancouver BC V6J 1N6
 T: 604 684 4611
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DEC 11 2018

Project:
**8071 - 8091 Park Road,
 Richmond**

Drawing Title:

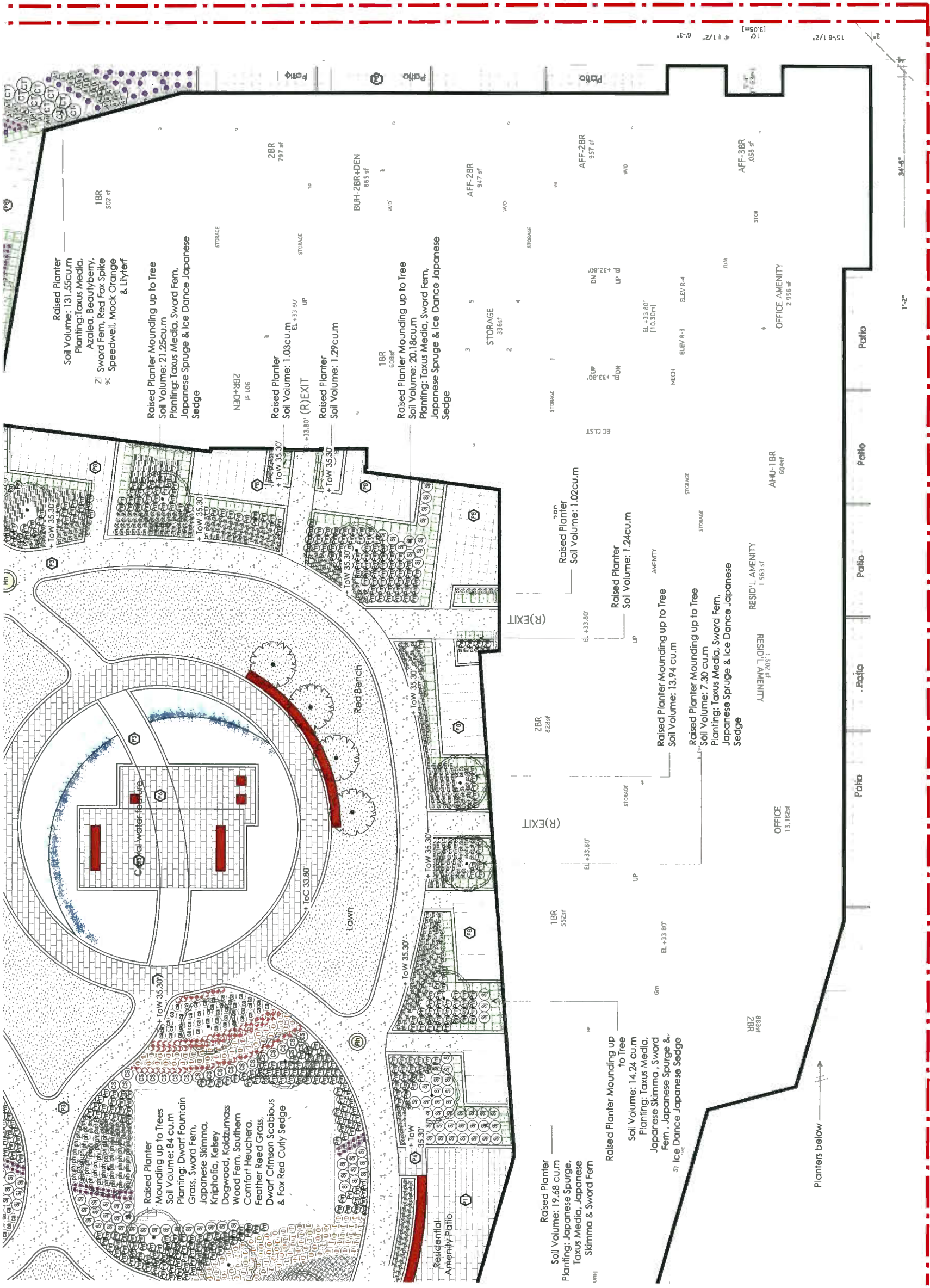
**NE Planting plan
Level 4**

Drawn by:	DD
Checked by:	SV
Date:	September 2018
Scale:	1/8" = 1'-0"

Project:
DP 18-17931623
 Sheet No.:

Plan #3k

NSD-828



2 Sep 30-18 Issued for ADP
 2 July 30-18 Issued for DP & ADP
 1 Jan 26-18 Issued for RZ
 no.: | date: | item:
 Revisions:



Duranta Kreuk Ltd.
 102 - 1137 West 5th Avenue
 Vancouver BC V6J 1N5
 T: 604 684 4811
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DEC 11 2018

1
 A401

Project:
**8071 - 8091 Park Road,
 Richmond**

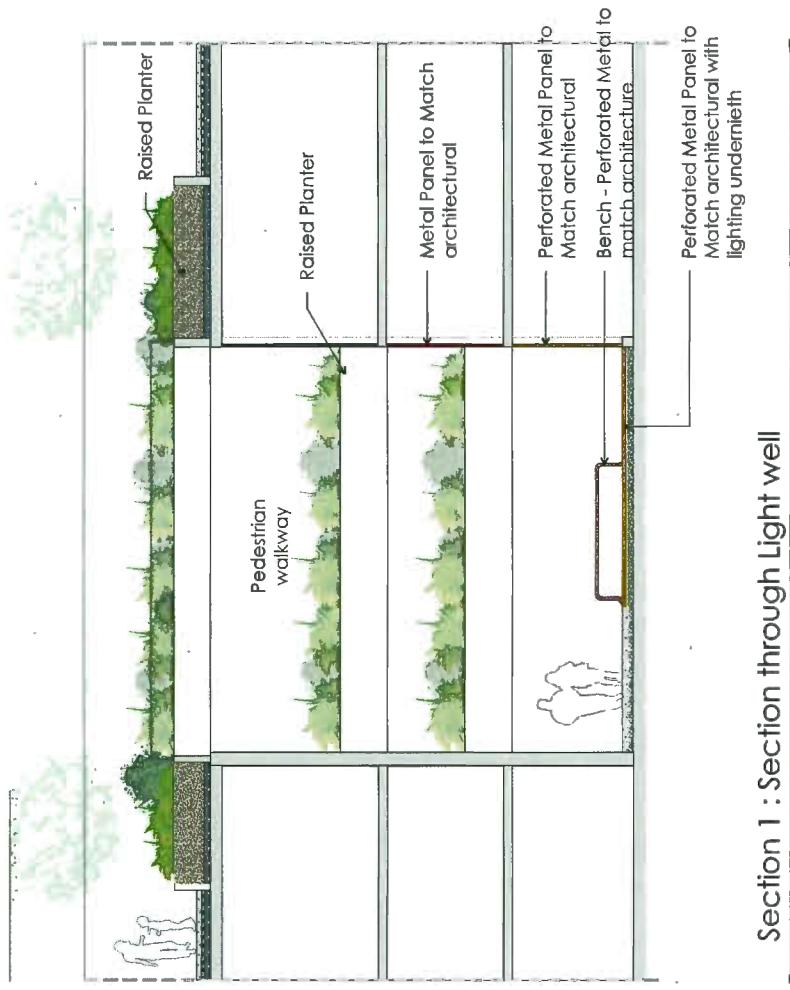
Drawn by: DD
 Checked by: SY
 Date: September 2018
 Scale: 1/8" = 1'-0"
 Drawing Title:

**SE Planting plan
 Level 4**

Project No.: 1709
 Sheet No.: **DP 18-851623**

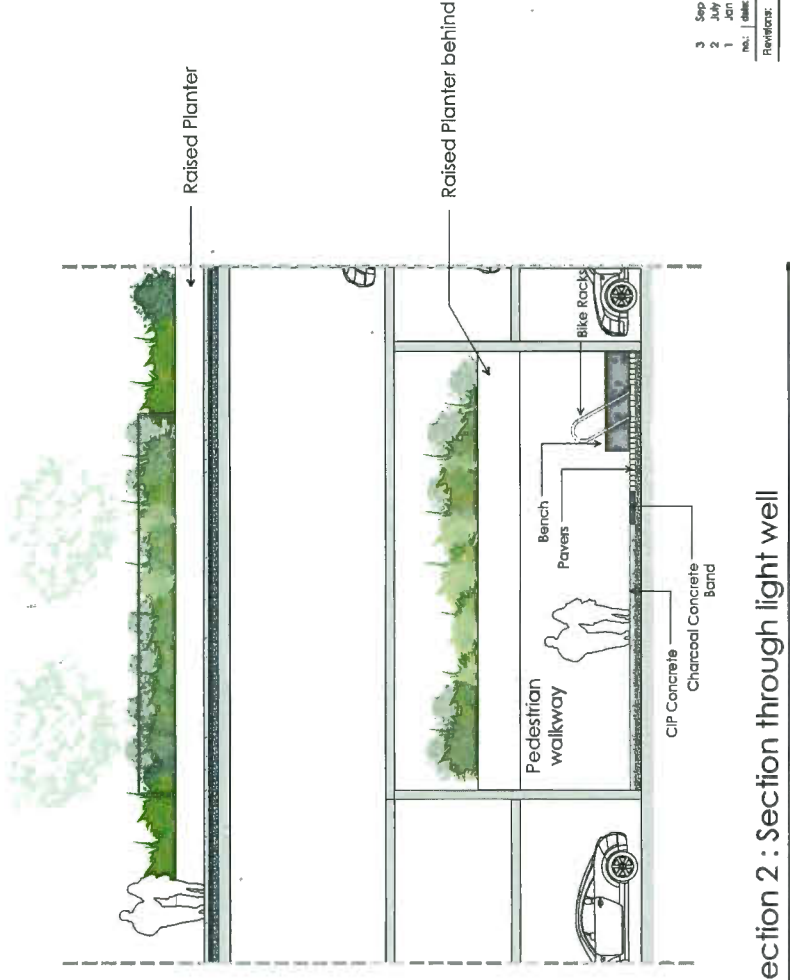
Plan #31





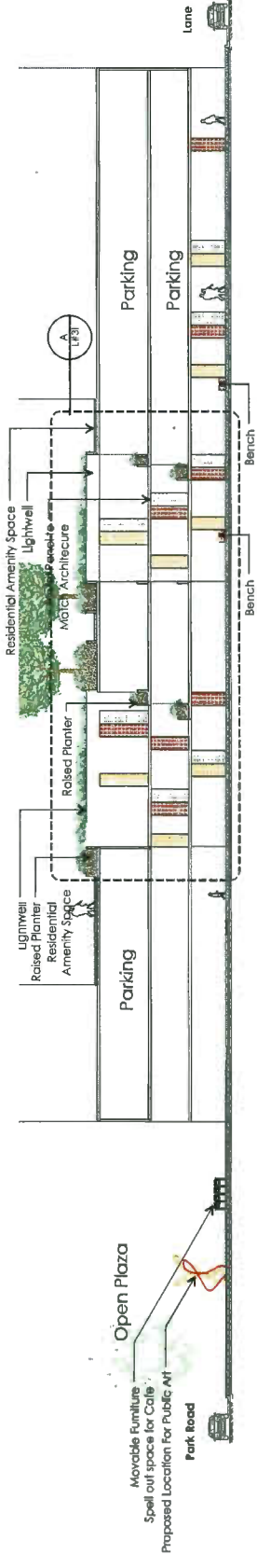
Section 1 : Section through Light Well

Scale: 3/16" = 1'



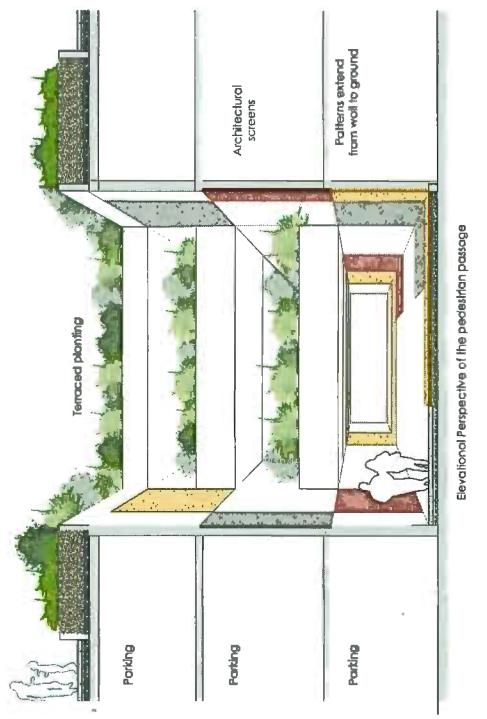
Section 2 : Section through light well

Scale: 3/16" = 1'



Section 3 : Section through Pedestrian Path

Scale: 1/16" = 1'



Elevational Perspective: Mid-Block Connection

NTS



Section A : Section through Pedestrian Path

Scale: 1/8" = 1'

3	Sep 30-18	Issued for ADP
2	July 30-18	Issued for DP & ADP
1	Jan 25-18	Issued for IZ
Rev:	date:	desc:

Dorville Group Ltd.

 1000 West 4th Avenue

 Vancouver BC V6J 1N6

 T: 604 684 4611

 F: 604 684 0077

 www.dgbc.ca

JAN 11 2019

Project:

8071 - 8091 Park Road,

Richmond BC

Drawn by:	DO
Checked by:	SY
Date:	September 2018
Scale:	As Shown

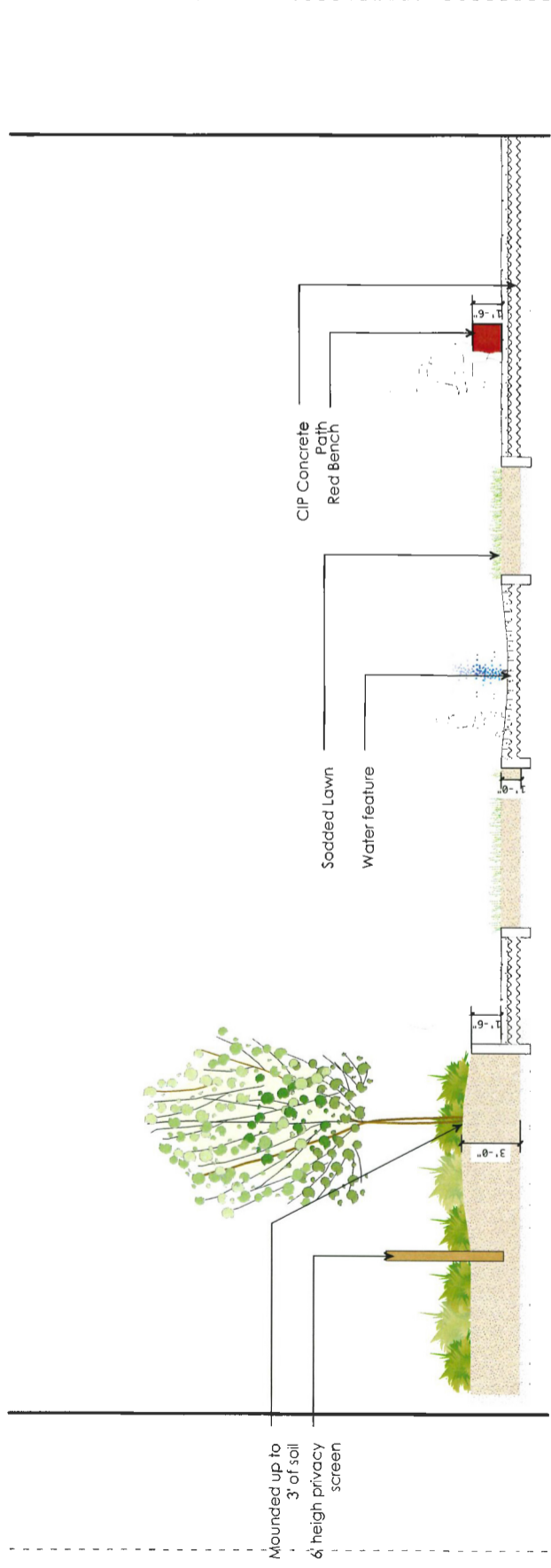
Drawing Title:

Landscape Sections

Project No.:	17054
Sheet No.:	

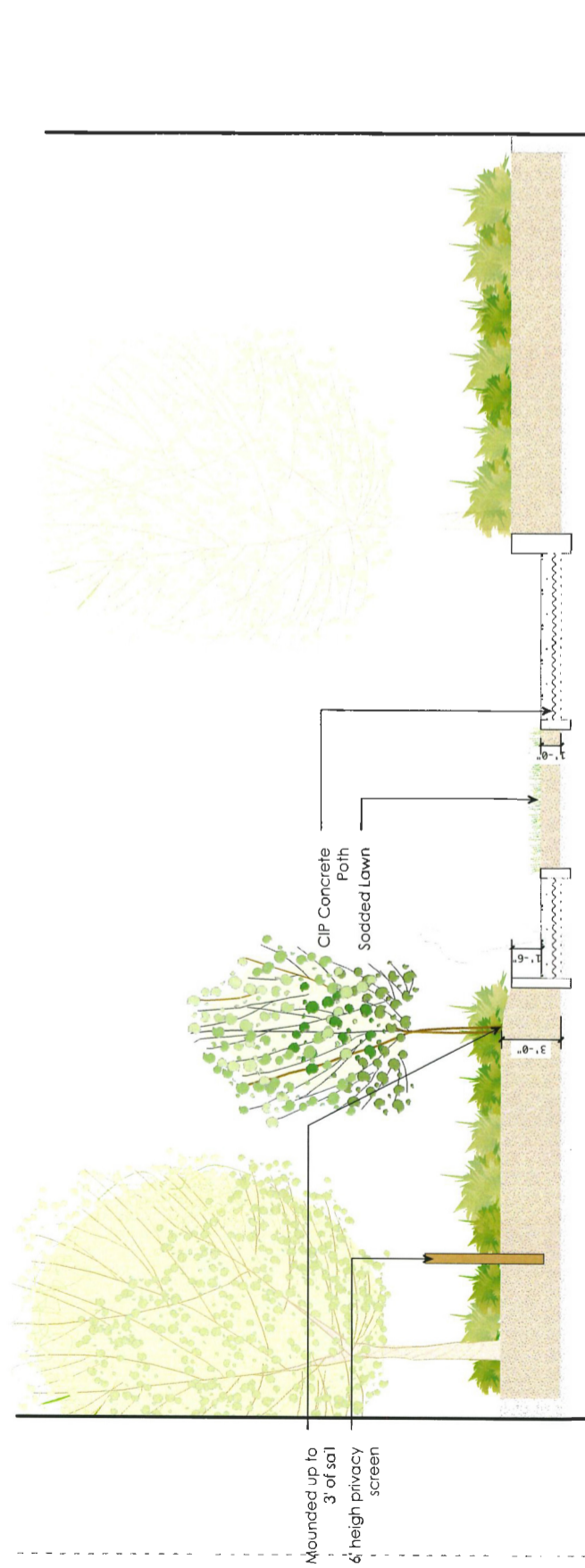
Sections #3m

DP 18-831623



Section 4 : Section through water feature and amenity area

Scale: 1/4" = 1'




Section 5 : Section through path between buildings

Scale: 1/4" = 1'

no.	date	item
4	Dec 10-18	Issued for DP Resubmission
3	Sep 30-18	Issued for ADP
2	July 30-18	Issued for DP & ADP
1	Jan 25-18	Issued for RZ

Revisions:


 Duranta Krauk Ltd.
 102-11657 Keele Street
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 T: 604.684.4671
 F: 604.684.0577
 www.dkl.bc.ca

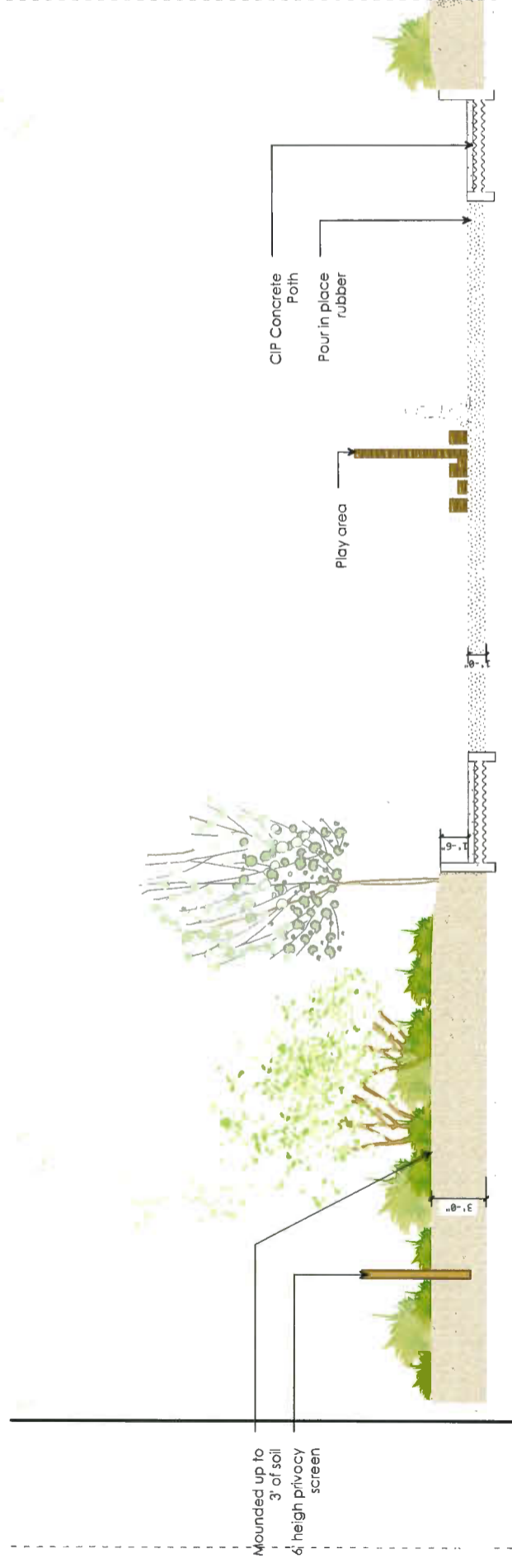
DEC 1 1 2018

Project:
**8071 - 8091 Park Road,
 Richmond BC**

Drawn by:	DD
Checked by:	SV
Date:	September 2018
Scale:	As shown

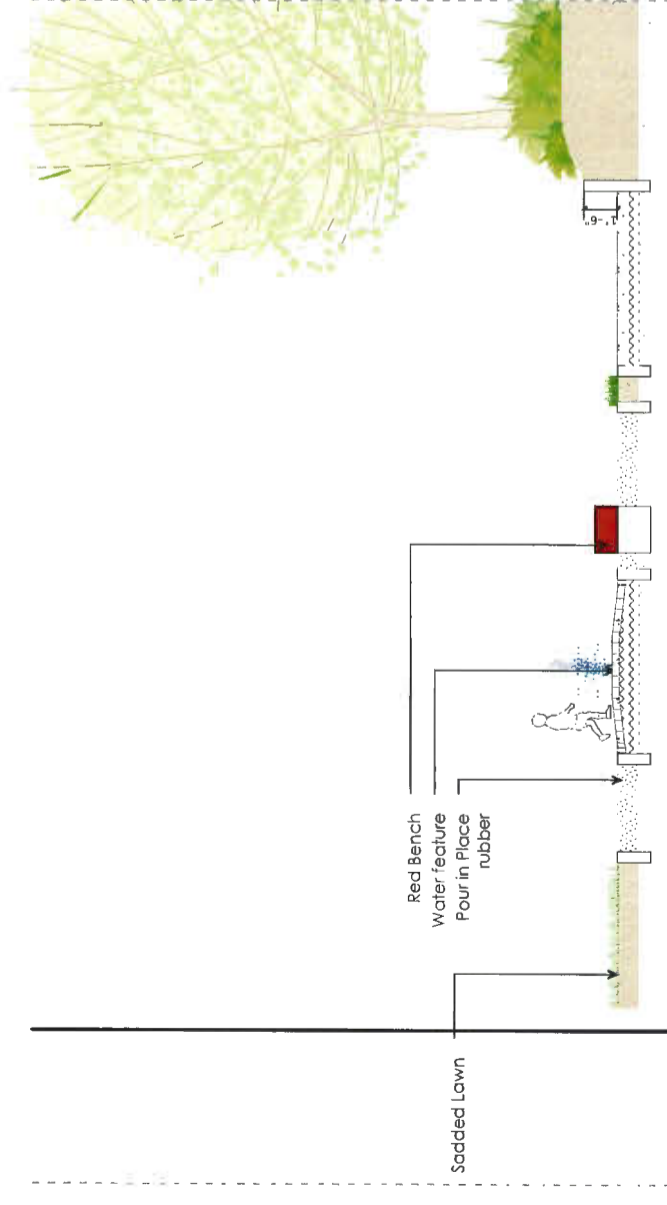
Drawing Title:
Landscape Sections

Project No.:
18-831623
 Sheet No.



Section 6 : Section through Kids play area

Scale: 1/4" = 1'



Section 7 : Section through Kids play area, water feature

Scale: 1/4" = 1'

no.	date:	item:
4	Dec 10, 18	Issued for DR Resubmission
3	Sept 30, 18	Issued for ADP
2	July 30, 18	Issued for CP & ADP
1	Jan 24, 18	Issued for RL

Revisions:

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 Durantekreuk Ltd.
 102 - 1537 West 5th Avenue
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DEC 1 1 2018

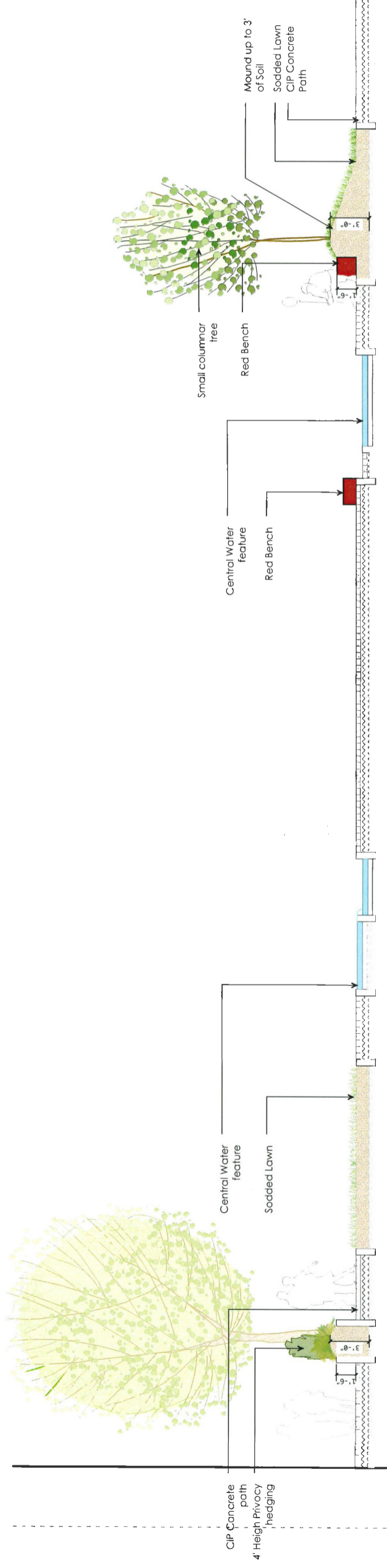
Project:
**8071 - 8091 Park Road,
 Richmond BC**

Drawn by:	DD
Checked by:	SV
Date:	September 2018
Scale:	As shown

Drawing Title:
Landscape sections

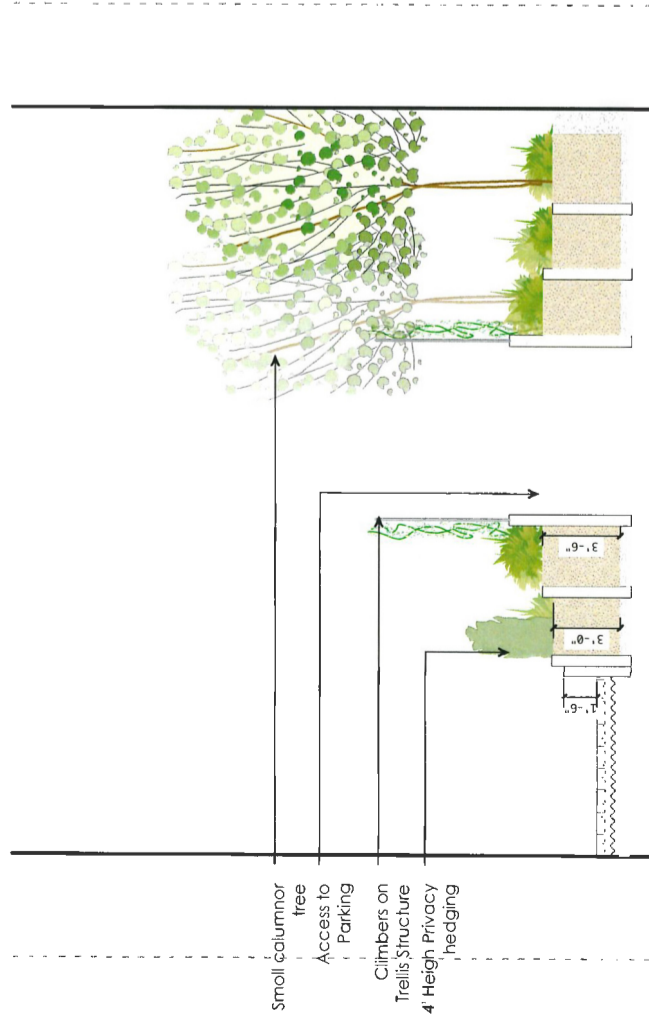
Project No.: **DP 18-017954**
 Sheet No.: **1623**

Sections #30



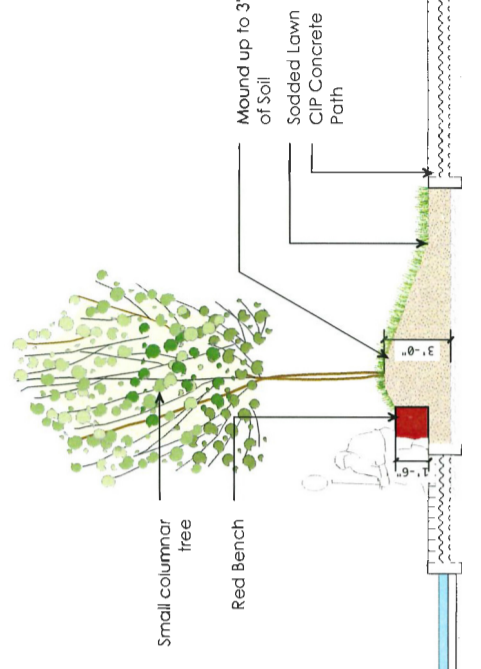
Section 8 : Section through central water feature

Scale: 1/4" = 1'



Section 9 : Section through access to parkade between buildings

Scale: 1/4" = 1'



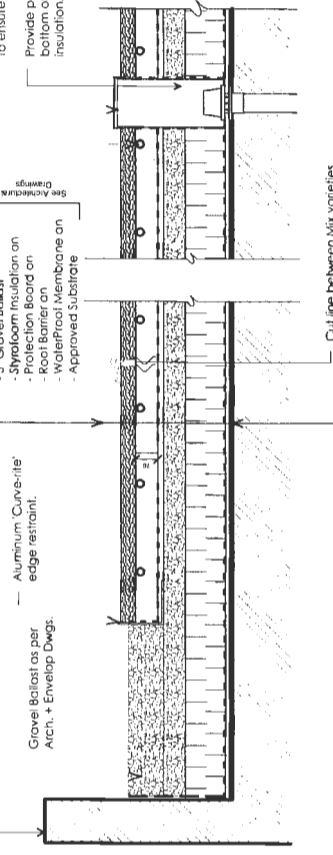
Drip irrigation system (System One)
Set into Growing medium.
Irrigation system to be connected to weather monitoring station. Controller and weather station located in Rooftop mechanical room.
(E.T. Station must be located within 100' of controller.)

Hydrotech Extensive Green Roof System
Or Pre-approved equal
- 2" deep Secum Carpet
(3 Mixes to Achieve Pattern) on
- 3" Growing Media on Filter Fabric on
- Drain Mat on
- 3" Gravel Ballast
- Hydrotech Insulation on
- Root Barrier on
- Waterproof Membrane on
- Approved Substrate

Parapet
2.0'

Gravel Ballast as per AECB + Envelop Dwg.

Aluminum Curve-rite edge restraint.



Green Roof Detail

Scale: 1" = 1'

no.	date	item
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3	Sep 30-18	Issued for ADP
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1	Jan 26-18	Issued for RZ

Revisions:



DEC 11 2019

Project:
**8071 - 8091 Park Road,
Richmond BC**

Drawn by:	DD
Checked by:	SV
Date:	September 2018
Scale:	As Shown

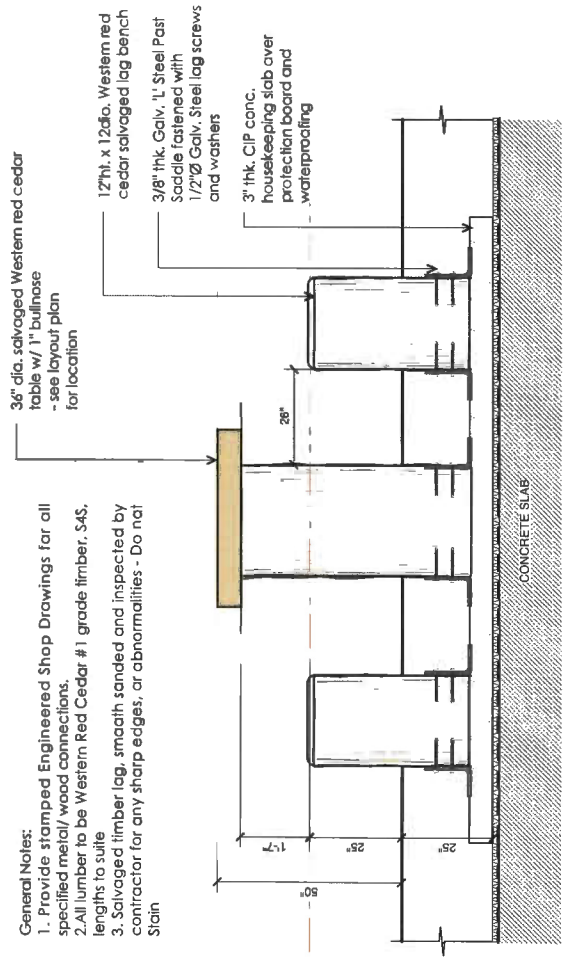
Drawing Title:
Landscape Sections/Details

Project No.:
170541623

SHEET NO.:
8

DP 18

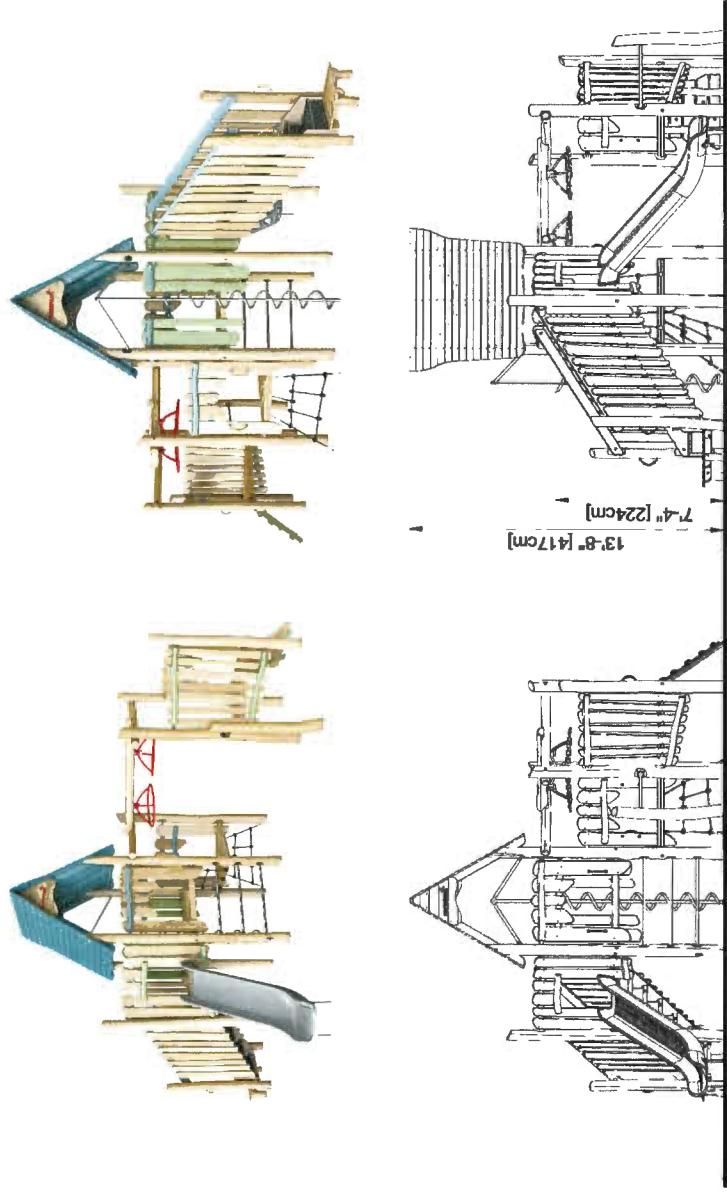
- General Notes:**
1. Provide stamped Engineered Shop Drawings for all specified metal/ wood connections.
 2. All lumber to be Western Red Cedar #1 grade timber, S4S, lengths to suite
 3. Salvaged limber lag, smooth sanded and inspected by contractor for any sharp edges, or abnormalities - Do not stain



NOTE: Provide shop drawings for revision.

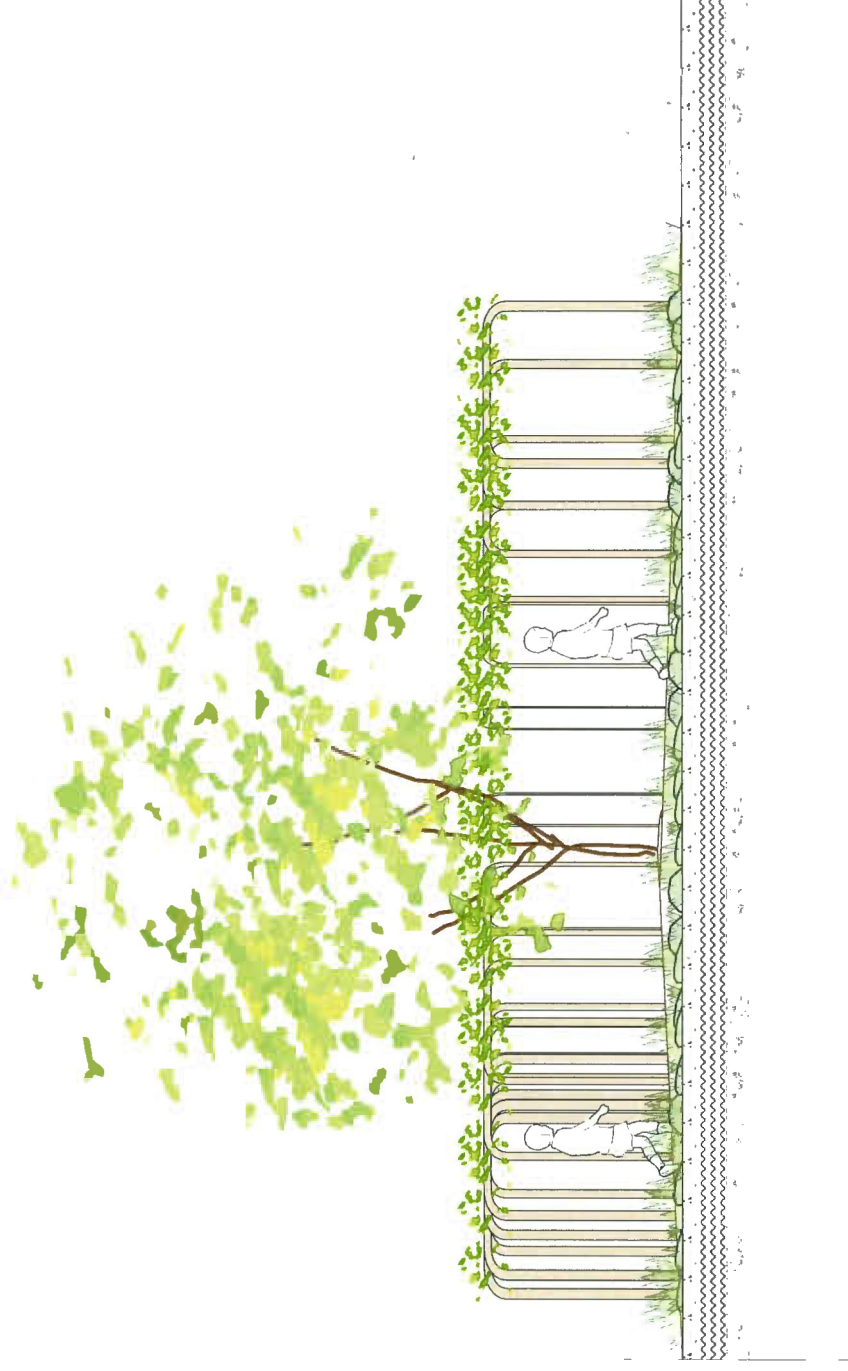
Log Table and Chairs

Scale: 1" = 1'



Double Tower with Turbo Challenge (NRO2012) Provided By KOMPAN

Scale: 1/4" = 1'

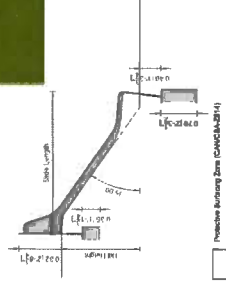


Wood frame tunnel with Stepping Stones

Scale: 1/2" = 1'



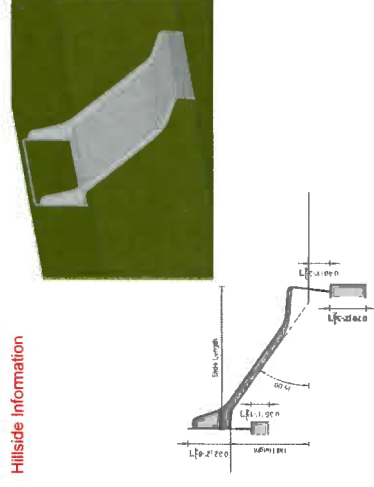
Hillside Information



Open-Straight Stainless Steel Embankment Slides

Code	Slide Name	Slide Width	Slide Length	Use Zone Length
21 0101-1000	AL-HR100	0.50m (1'-6")	2.00m (6'-6")	1.50m (4'-9")
21 0101-1250	AL-HR125	0.50m (1'-6")	2.50m (8'-1")	1.50m (4'-9")
21 0101-1500	AL-HR150	0.50m (1'-6")	3.00m (9'-8")	1.50m (4'-9")
21 0101-1750	AL-HR175	0.50m (1'-6")	3.50m (11'-4")	1.50m (4'-9")
21 0101-2000	AL-HR200	0.50m (1'-6")	4.00m (13-0")	1.50m (4'-9")
21 0101-2250	AL-HR225	0.50m (1'-6")	4.50m (14-6")	1.50m (4'-9")
21 0101-2500	AL-HR250	0.50m (1'-6")	5.00m (16-2")	1.50m (4'-9")
21 0101-2750	AL-HR275	0.50m (1'-6")	5.50m (17-8")	1.50m (4'-9")
21 0101-3000	AL-HR300	0.50m (1'-6")	6.00m (19-4")	1.50m (4'-9")
21 0102-1000	AL-HR100	1.00m (3'-3")	2.00m (6'-6")	1.50m (4'-9")
21 0102-1250	AL-HR125	1.00m (3'-3")	2.50m (8'-1")	1.50m (4'-9")
21 0102-1500	AL-HR150	1.00m (3'-3")	3.00m (9'-8")	1.50m (4'-9")
21 0102-1750	AL-HR175	1.00m (3'-3")	3.50m (11-4")	1.50m (4'-9")
21 0102-2000	AL-HR200	1.00m (3'-3")	4.00m (13-0")	1.50m (4'-9")
21 0102-2250	AL-HR225	1.00m (3'-3")	4.50m (14-6")	1.50m (4'-9")
21 0102-2500	AL-HR250	1.00m (3'-3")	5.00m (16-2")	1.50m (4'-9")
21 0102-2750	AL-HR275	1.00m (3'-3")	5.50m (17-8")	1.50m (4'-9")
21 0102-3000	AL-HR300	1.00m (3'-3")	6.00m (19-4")	1.50m (4'-9")
0000 888 700	AL-HR8100	1.50m (4'-9")	2.00m (6'-6")	1.50m (4'-9")
0000 888 740	AL-HR8120	1.50m (4'-9")	2.50m (8'-1")	1.50m (4'-9")
0000 888 780	AL-HR8140	1.50m (4'-9")	3.00m (9'-8")	1.50m (4'-9")
0000 888 820	AL-HR8160	1.50m (4'-9")	3.50m (11-4")	1.50m (4'-9")
0000 888 860	AL-HR8180	1.50m (4'-9")	4.00m (13-0")	1.50m (4'-9")
0000 888 900	AL-HR8200	1.50m (4'-9")	4.50m (14-6")	1.50m (4'-9")
0000 888 940	AL-HR8220	1.50m (4'-9")	5.00m (16-2")	1.50m (4'-9")
0000 888 980	AL-HR8240	1.50m (4'-9")	5.50m (17-8")	1.50m (4'-9")
0000 888 010	AL-HR8260	1.50m (4'-9")	6.00m (19-4")	1.50m (4'-9")

Slide Information



- Revisions:**
- | no. | date | name |
|-----|------------|----------------------------|
| 4 | Dec 10-18 | Issued for DP Resubmission |
| 3 | Sep 30-18 | Issued for ADP |
| 2 | July 30-18 | Issued for DP S.A.D.P |
| 1 | Jun 26-18 | Issued for RZ |

Revisions:



DEC 1 1 2018

Project:
8071 - 8091 Park Road,
Richmond BC

Drawn by: RSS
Checked by: SV
Date: September 2018
Scale: As shown

Drawing Title:
Landscape Sections/Details

Project No.: 176541623
Sheet No.: DP 18-8

Sections #3q

CORCORAN

DESIGNATION ISSUED FOR / AUP
1 2016-03-25 RE-USED FOR DP
2 2016-05-07 RE-USED FOR DP



PARK ROAD STREETScape

DEC 1 1 2019

PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8071-8091 PARK ROAD
RICHMOND, BC

STREETSCAPES



BUSWELL STREET STREETScape

JOB NO. 16-03
ISSUES KT
DATE 07 DEC 2018
SCALE 1/32" = 1'-0"

DESIGNED BY WTL
DRAWN BY WTL
CHECKED BY WTL
PROJECT NO. 18-831623
DRAWING NO.

NO.	REVISION	DATE	ISSUED FOR
1	2017-02-28	ISSUED FOR REZONING	
2	2018-02-28	RE-ISSUED FOR REZONING	
3	2018-07-26	ISSUED FOR DP / ADP	
4	2018-10-02	RE-ISSUED FOR ADP	
5	2018-10-07	RE-ISSUED FOR DP	

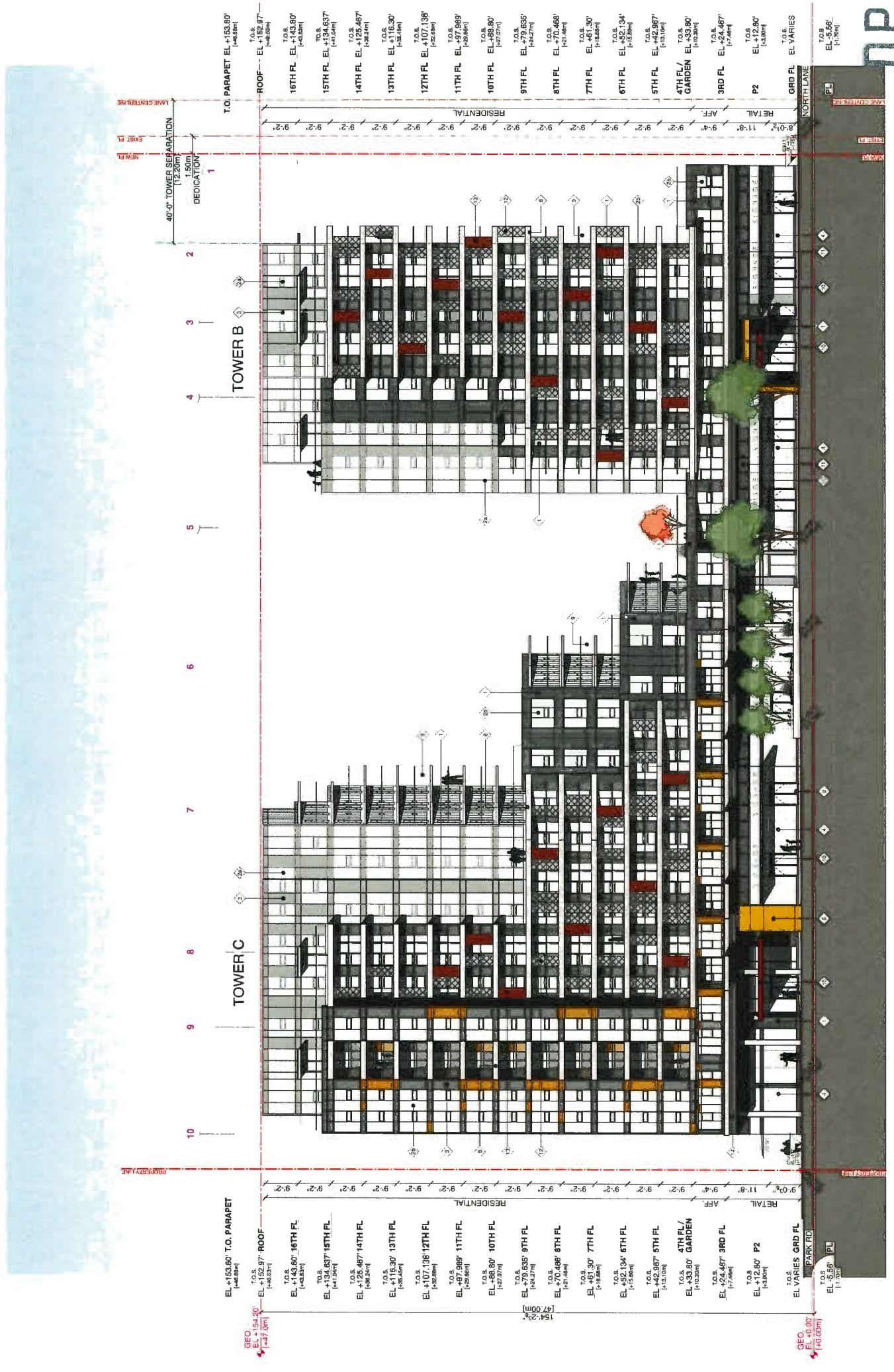
DEC 11 2013

PROJECT
PARK ROAD &
BUSWELL STREET
DP 18-831623
8074-8091 PARK ROAD
RICHMOND, BC

**EAST
ELEVATION
(BUSWELL ST.)**
DP 18-831623

JOB NO.	16-03
DRAWN	MB/KT/JB
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

Plan #4d



FINISH MATERIAL LEGEND

1	FIBREMENT CLADDING: SWISSPEARL REFLEX BLACK (VELVET 9221)	11	PAINTED ARCHITECTURAL CONCRETE (EASTONING COATING)
2	FINISH ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL	12	FINISH ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL
3	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL	13	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL
4	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL	14	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL
5	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL	15	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL
6	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL	16	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL
7	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL	17	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL
8	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL	18	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL
9	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL	19	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL
10	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL	20	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL

ISSUE/REVISION	DATE	ISSUED FOR
1	2017-07-20	ISSUED FOR PERMITS
2	2018-02-28	RE-ISSUED FOR PERMITS
3	2018-07-20	ISSUED FOR OP / ADP
4	2018-10-02	RE-ISSUED FOR OP
5	2018-11-07	RE-ISSUED FOR OP

DEC 1 1 2019

PROJECT
PARK ROAD &
BUSWELL STREET
DP 18-831623
8071-8091 PARK ROAD
RICHMOND, BC

**NORTH
ELEVATION
(NORTH LANE)**

JOB NO. 16-03

DRAWN MB/KT/JB

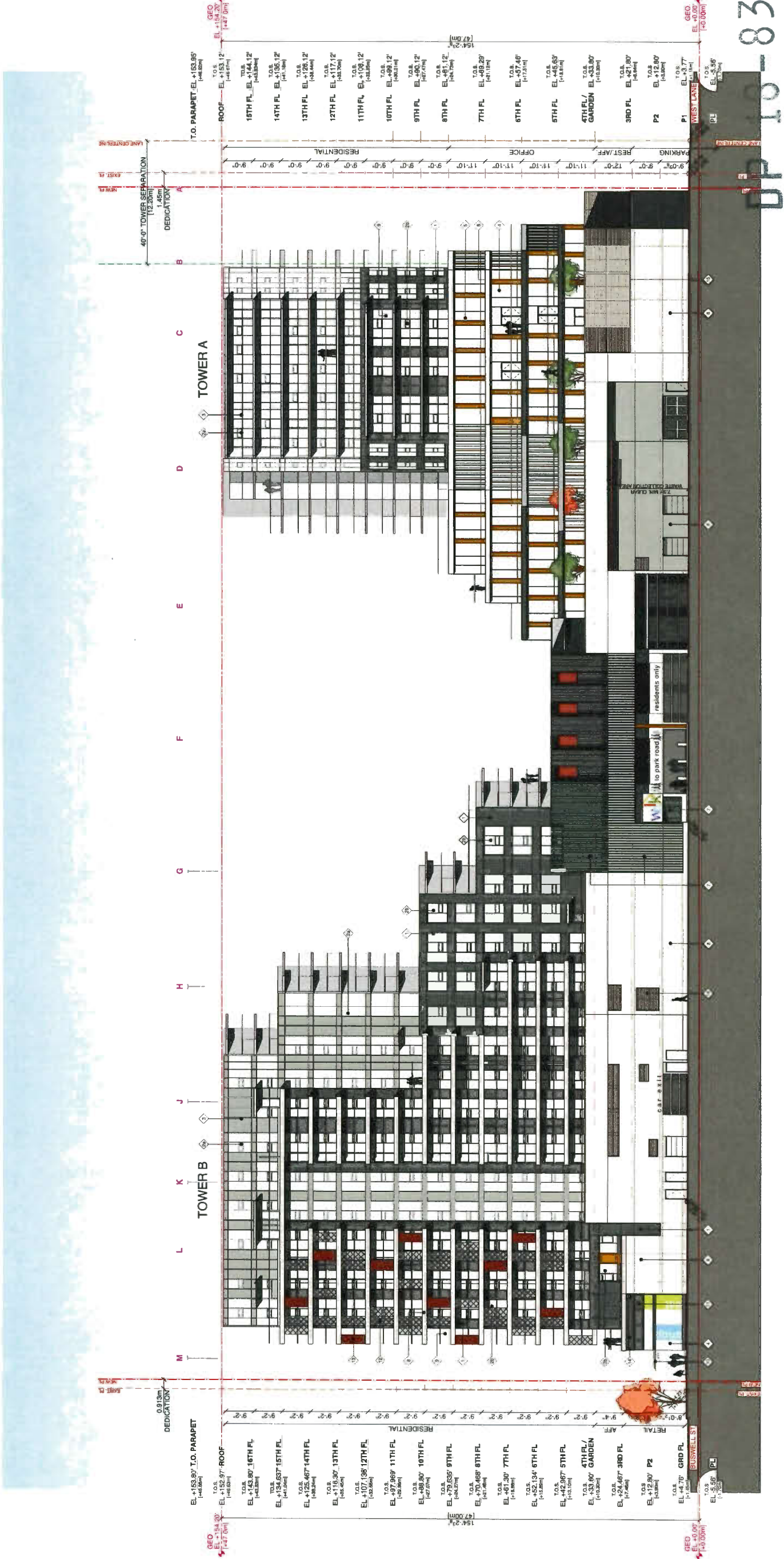
DATE 07 DEC 2018

SCALE 1/16" = 1'-0"

CHECKED WTL

CONSTRUCTION NOTES:
1. This drawing is to be used in conjunction with the PROJECT MANUAL.
2. All dimensions are in feet and inches unless otherwise noted.
3. All materials and finishes are to be as specified in the PROJECT MANUAL.
4. All materials and finishes are to be as specified in the PROJECT MANUAL.
5. All materials and finishes are to be as specified in the PROJECT MANUAL.

Plan #4e



FINISH MATERIAL LEGEND

1	FIBRE CEMENT CLADDING - SWISSPEARL REFLEX "BLACK VELVET 9221"	1	PAINTED ARCHITECTURAL CONCRETE (RELATORMER COATING)
2	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL	2	PRE-FINISHED ALUMINUM GLASS RAILING (COLOUR TO MATCH WINDOW)
3	PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS STEEL	3	METAL & GLASS CANOPY
4	SPANDREL PANEL (GLAZED)	4	PRE-FINISHED ALUMINUM GRILLE CURTAIN WALL INFILL (COLOUR TO MATCH WINDOW)
5	PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM	5	PRE-FINISHED METAL SCREEN (COLOUR TO MATCH RAILING)
6	SPANDREL PANEL (GLAZED) (METAL)	6	TRANSLUCENT GLASS PANEL (COLOUR TO MATCH RAILING)
7	VERTICAL SAT SCREEN FROM PRE-FINISHED ALUMINUM SECTIONS	7	PRE-FINISHED ALUMINUM SIGHTPROOF CLADDING (COLOUR TO MATCH WINDOW)
8	VERTICAL SAT SCREEN FROM PRE-FINISHED ALUMINUM SECTIONS	8	PRE-FINISHED ALUMINUM SIGHTPROOF CLADDING (COLOUR TO MATCH WINDOW)
9	VERTICAL SAT SCREEN FROM PRE-FINISHED ALUMINUM SECTIONS	9	PRE-FINISHED ALUMINUM SIGHTPROOF CLADDING (COLOUR TO MATCH WINDOW)

DEC 1 1 2018

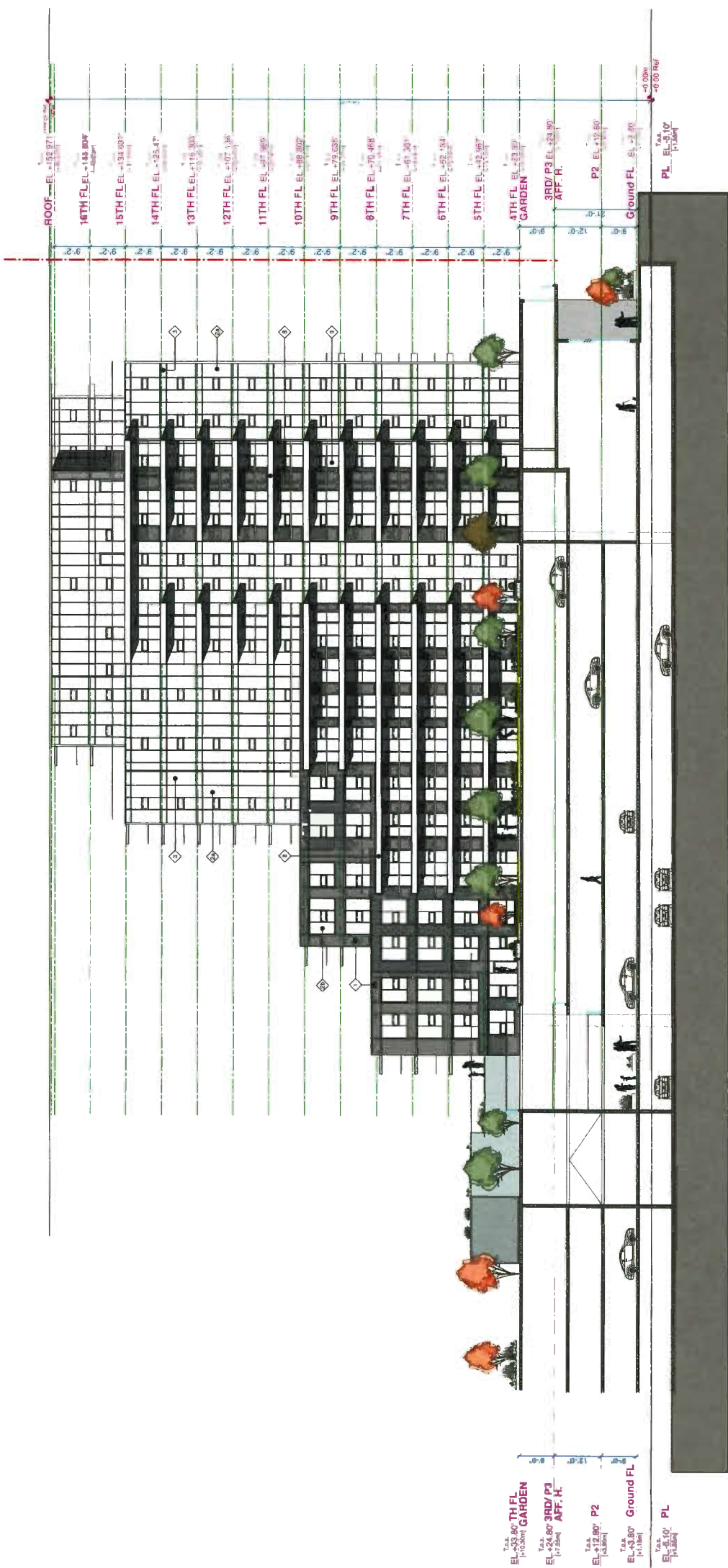
PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8074-8091 PARK ROAD
RICHMOND, BC

**TOWER B
SOUTH ELEVATION
DP 18-831623**

JOB NO. 16-03
DRAWN MBI/JB
DATE 07 DEC 2018
SCALE 1/16" = 1'-0"

CHECKED WTL
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Plan #4g



FINISH MATERIAL LEGEND

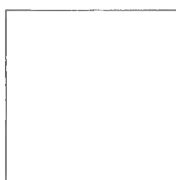
- ◇ FINISHED PROTECTION CONCRETE (REINFORCING COATING)
- ◇ PRE-FINISHED ALUMINUM GLASS WALLS COLOUR TO MATCH WINDOW
- ◇ METAL & GLASS CANOPY
- ◇ PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM
- ◇ PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS CHROMIUM GREY
- ◇ PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM
- ◇ PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM
- ◇ PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM
- ◇ TRANSPARENT GLASS PANEL
- ◇ VERTICAL GLASS SYSTEM
- ◇ VERTICAL GLASS SYSTEM FROM PRE-FINISHED ALUMINUM CURTAIN WALL
- ◇ FINISHED PROTECTION CONCRETE (REINFORCING COATING)
- ◇ PRE-FINISHED ALUMINUM GLASS WALLS COLOUR TO MATCH WINDOW
- ◇ METAL & GLASS CANOPY
- ◇ PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM
- ◇ PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM - STAINLESS CHROMIUM GREY
- ◇ PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM
- ◇ PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM
- ◇ PRE-FINISHED ALUMINUM CURTAIN WALL SYSTEM
- ◇ TRANSPARENT GLASS PANEL
- ◇ VERTICAL GLASS SYSTEM
- ◇ VERTICAL GLASS SYSTEM FROM PRE-FINISHED ALUMINUM CURTAIN WALL



PRE-FINISHED WINDOWS:
"CHARCOAL GREY" 7a



PRE-FINISHED WINDOWS & RAILINGS:
"STANDARD SILVER" 7b



PAINTED CONCRETE:
Benjamin Moore "Cloud Cover" 6



COLOURED GLAZED SPANDREL PANEL:
Benjamin Moore
HC-169 "Coventry Grey" 2158-20 "Venetian Gold" 2125-10 "Black Panther"

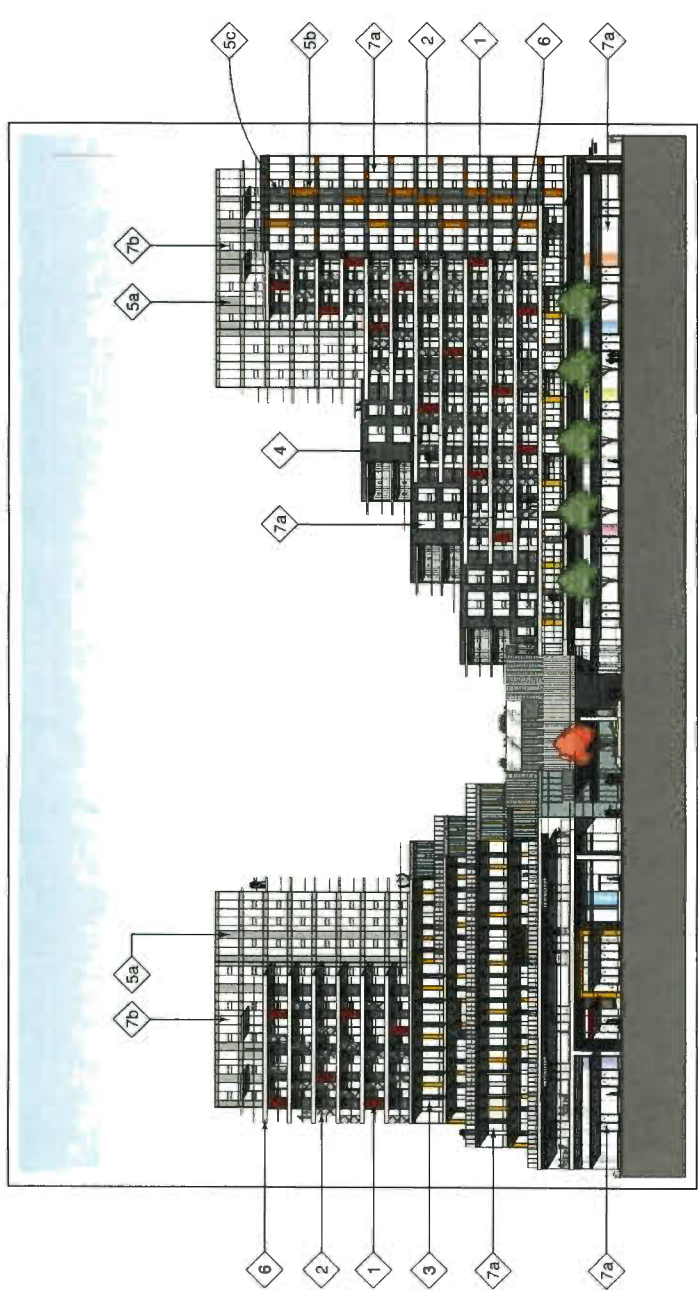
COLOURED GLAZED SPANDREL PANEL:
Benjamin Moore

DP 18-831623
EXTERIOR MATERIALS 3

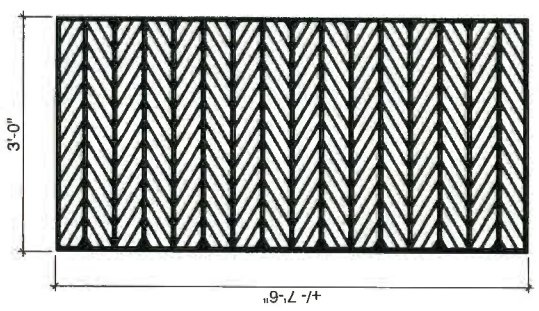
PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8074-8091 PARK ROAD
RICHMOND, BC

JOB NO.	18-03
DRAWN BY	KT
DATE	07 DEC 2018
SCALE	AS NOTED
CHECKED	WTL

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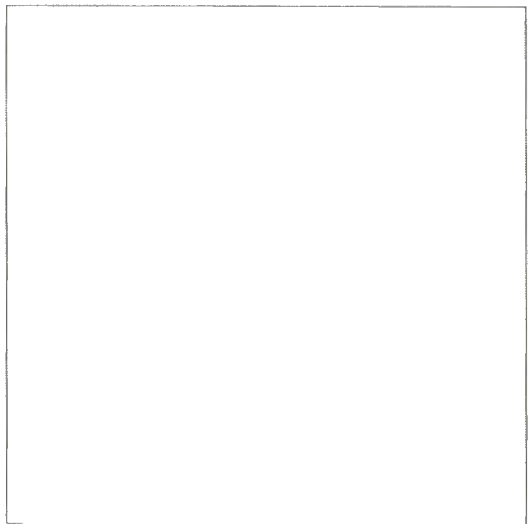
PARK ROAD ELEVATION
1/32" = 1'-0"



PRE-FINISHED METAL SCREEN:
COLOUR TO MATCH WINDOW
"STANDARD SILVER" 2



TINTED GLASS SCREEN:
PANTONE 201 C 1



VERTICAL SUNSHADE:
WHITE DIFFUSED GLASS PANEL 3



CEMENT COMPOSITE PANEL:
SWISSPEARL REFLEX "BLACK VELVET 9221" 4

DEC 1 1 2019

ISSUE/REVISION	ISSUED FOR RECORDING
1	2017-07-20
2	2018-02-28
3	2018-07-20
4	2018-10-02
5	2018-12-07

DEC 11 2018

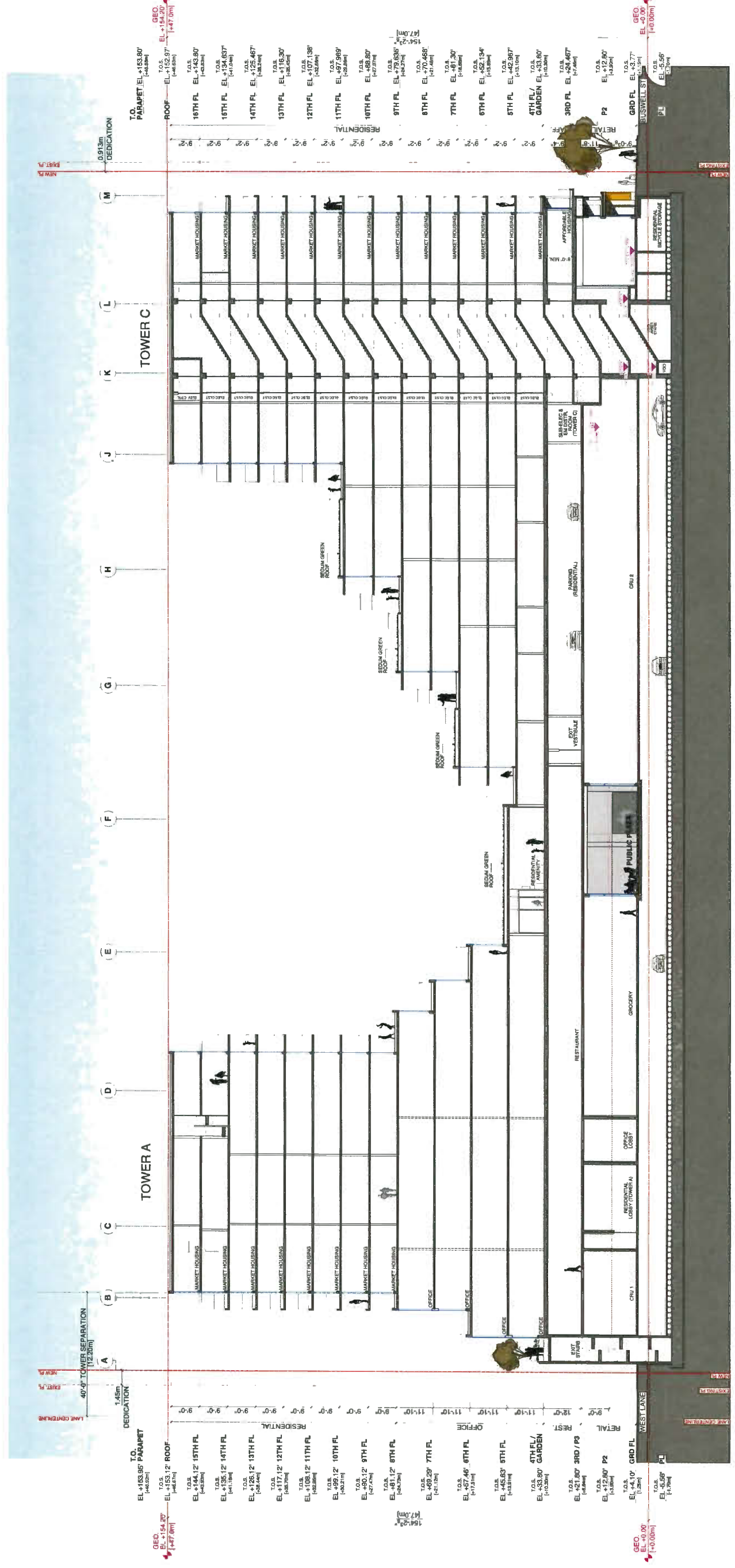
PROJECT
PARK ROAD &
BUSWELL STREET
DP 18-831623
8071-8091 PARK ROAD
RICHMOND, BC

**EAST-WEST
BUILDING
SECTION**

JOB NO.	16-03
OWNER	MB / KT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

DP 18-831623

Plan #5a



REVISION	DATE	ISSUED FOR
1	2017-07-20	ISSUED FOR REDLINING
2	2018-02-28	RE-ISSUED FOR REDLINING
3	2018-07-20	ISSUED FOR I/P / ADP
4	2018-10-02	RE-ISSUED FOR ADP
5	2018-10-27	RE-ISSUED FOR I/P

DEC 1 1 2018

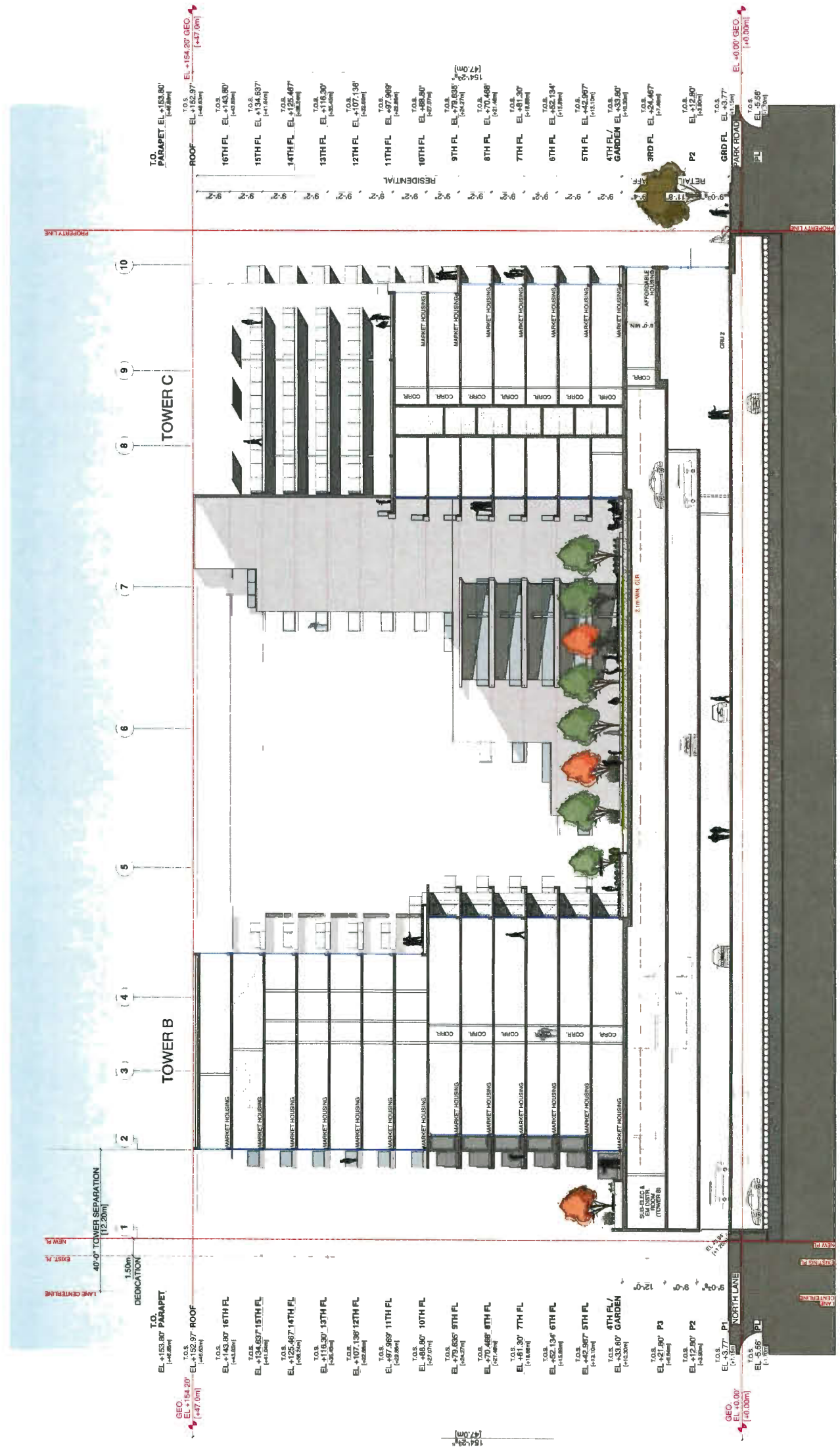
PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8074-8091 PARK ROAD
RICHMOND, BC

**NORTH-SOUTH
BUILDING
SECTION**

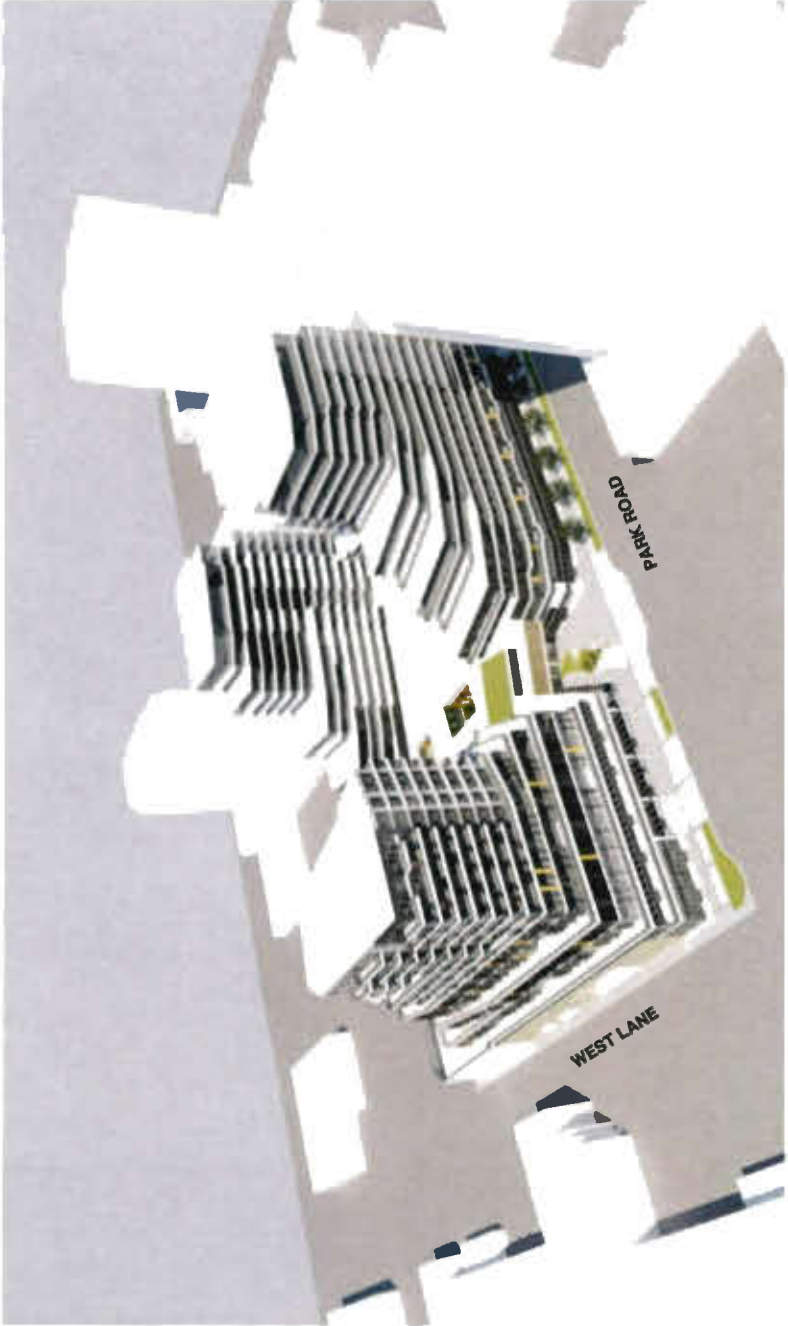
JOB NO.	16-03
DRAWN	MB / KT
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

DP 18-831623

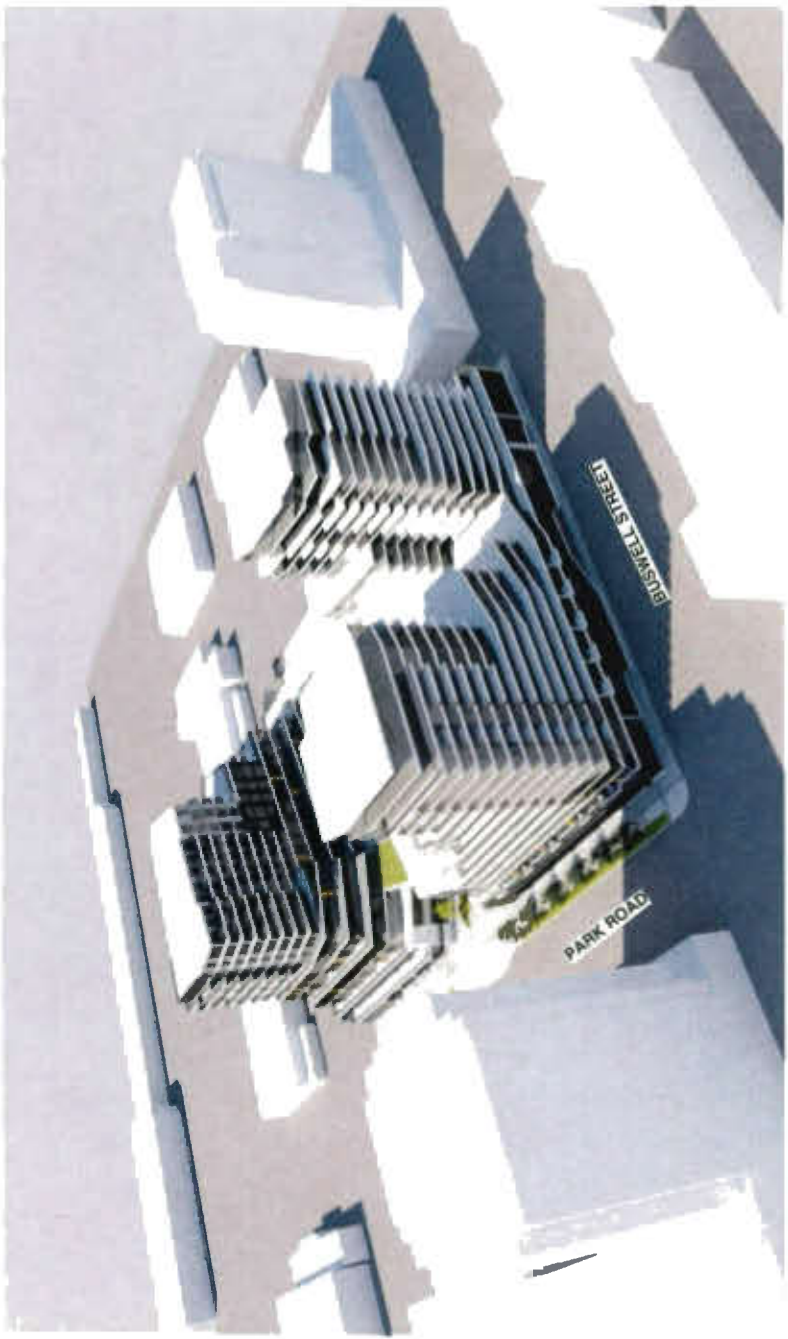
Plan #5b



REVISION	DATE	DESCRIPTION
1	2017-07-20	ISSUED FOR RECORDING
2	2018-02-20	RE-ISSUED FOR RECORDING
3	2018-04-09	RE-ISSUED FOR RECORDING
4	2018-05-09	RE-ISSUED FOR RECORDING
5	2018-07-20	ISSUED FOR DP / ADP
6	2018-12-07	RE-ISSUED FOR DP



LOOKING NORTHEAST



LOOKING NORTHWEST



LOOKING SOUTHEAST



LOOKING SOUTHWEST

DEC 11 2018

PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8071-8081 PARK ROAD
RICHMOND, BC

PROJECT
RENDERINGS
831623

JOB NO.	16-03
DRAWN	JJB
DATE	07 DEC 2018
SCALE	NO SCALE
CHECKED	WTL

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DRAWING NO.:



PUBLIC PLAZA AND PEDESTRIAN CONNECTION FROM PARK ROAD



LOOKING NORTH WITHIN THE PEDESTRIAN CONNECTION



PEDESTRIAN CONNECTION FROM THE NORTH LANE



LOOKING WEST ALONG PARK ROAD

DEC 1 1 2019

PROJECT

**PARK ROAD &
BUSWELL STREET
DP 18-831623**
8071-8081 PARK ROAD
RICHMOND, BC

**STREETSCAPES
RENDERINGS**
851623

JOB NO.	16-03
DRAWN	JB
DATE	07 DEC 2018
SCALE	NO SCALE
CHECKED	WTL

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DEC 11 2013

PROJECT: PARK ROAD &
BUSWELL STREET
DP 18-831623
8071-8081 PARK ROAD
RICHMOND, BC

SHADOW
DIAGRAMS
1031623

DATE:	16-03
PROJECT:	JB
DATE:	07 DEC 2013
SCALE:	NO SCALE
DRAWN BY:	WTL



MARCH 21 @ 2PM



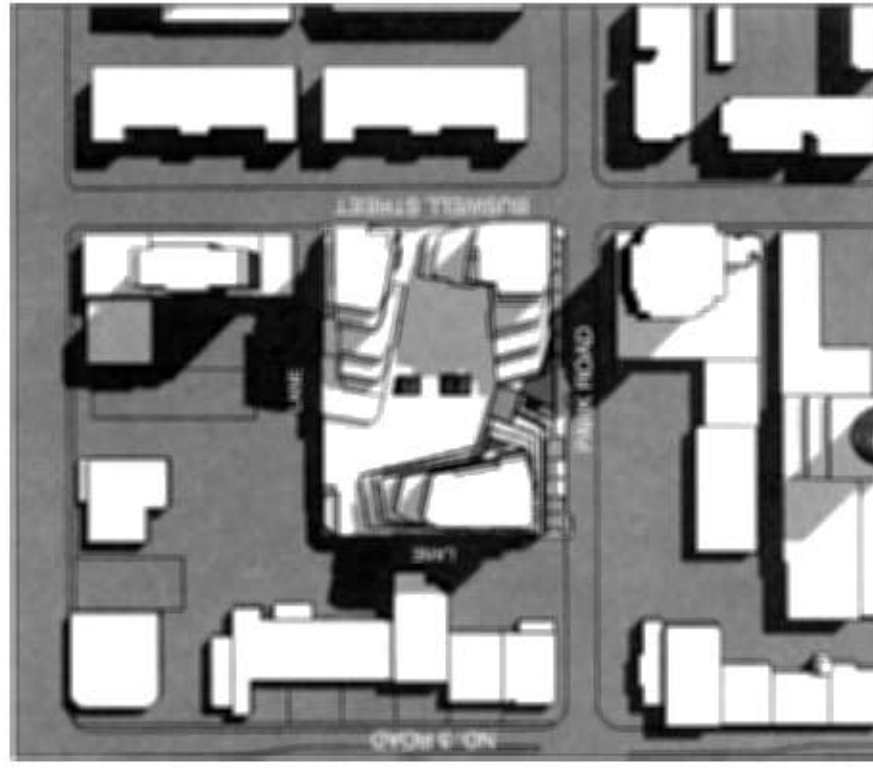
SEPTEMBER 21 @ 2PM



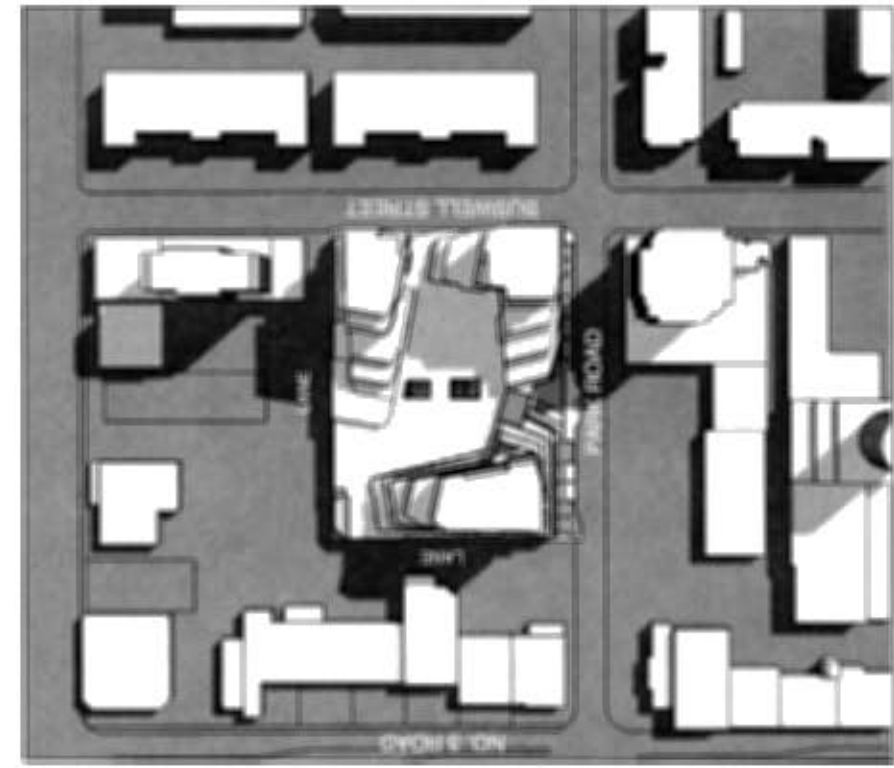
MARCH 21 @ 12PM



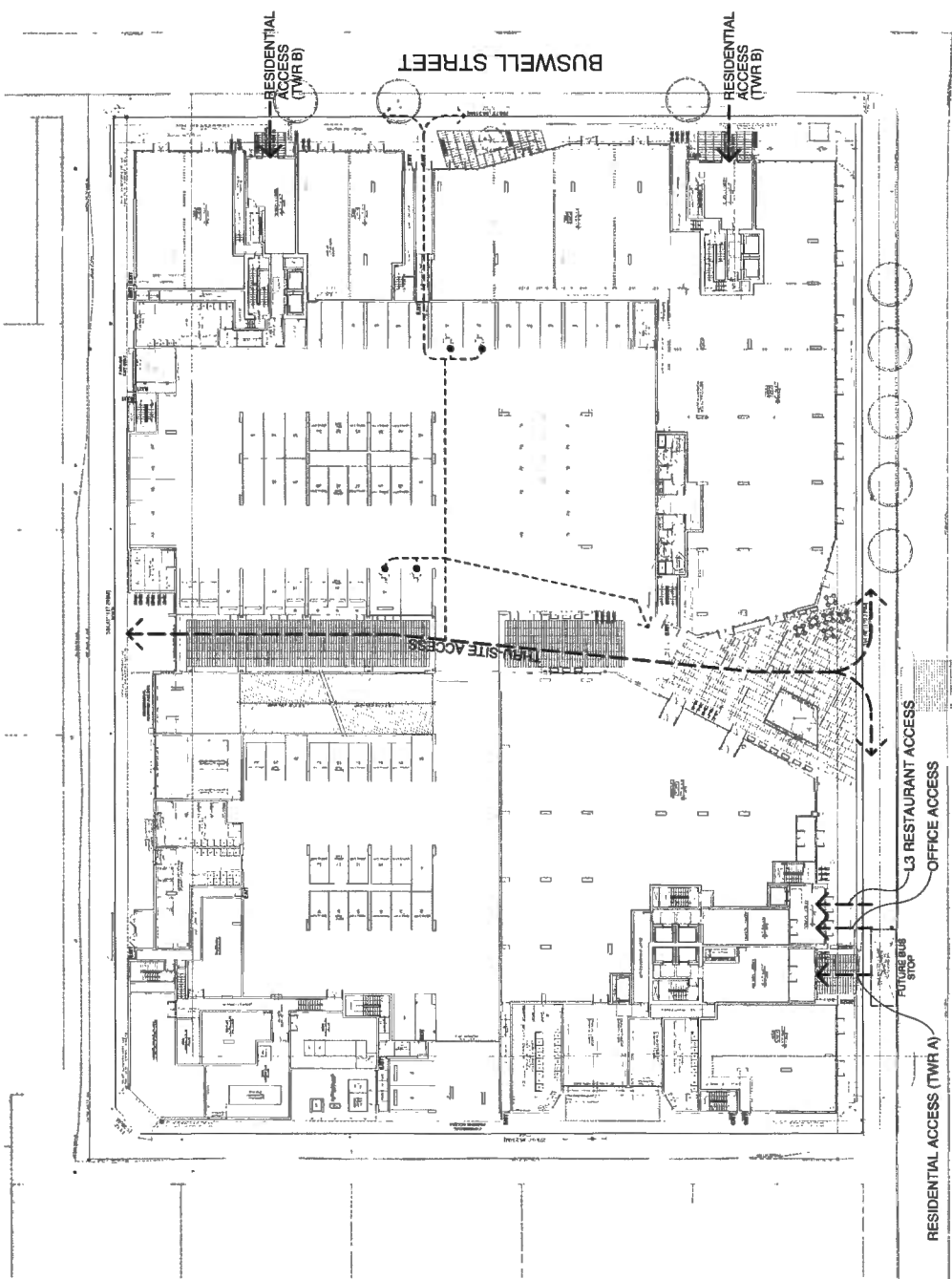
SEPTEMBER 21 @ 12PM



MARCH 21 @ 10AM



SEPTEMBER 21 @ 10AM



ACCESSIBILITY ROUTE ON GROUND FLOOR

DEC 11 2019

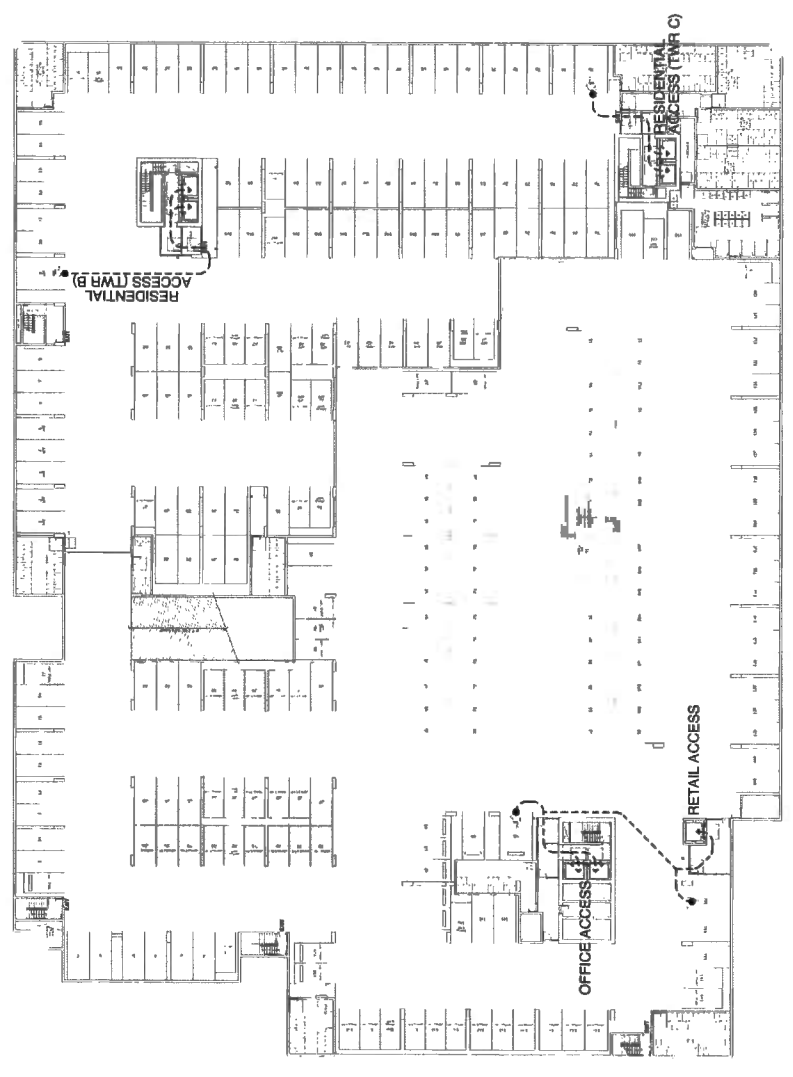
PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-831623
8074-8091 PARK ROAD
RICHMOND, BC

ACCESSIBILITY STRATEGY 1623

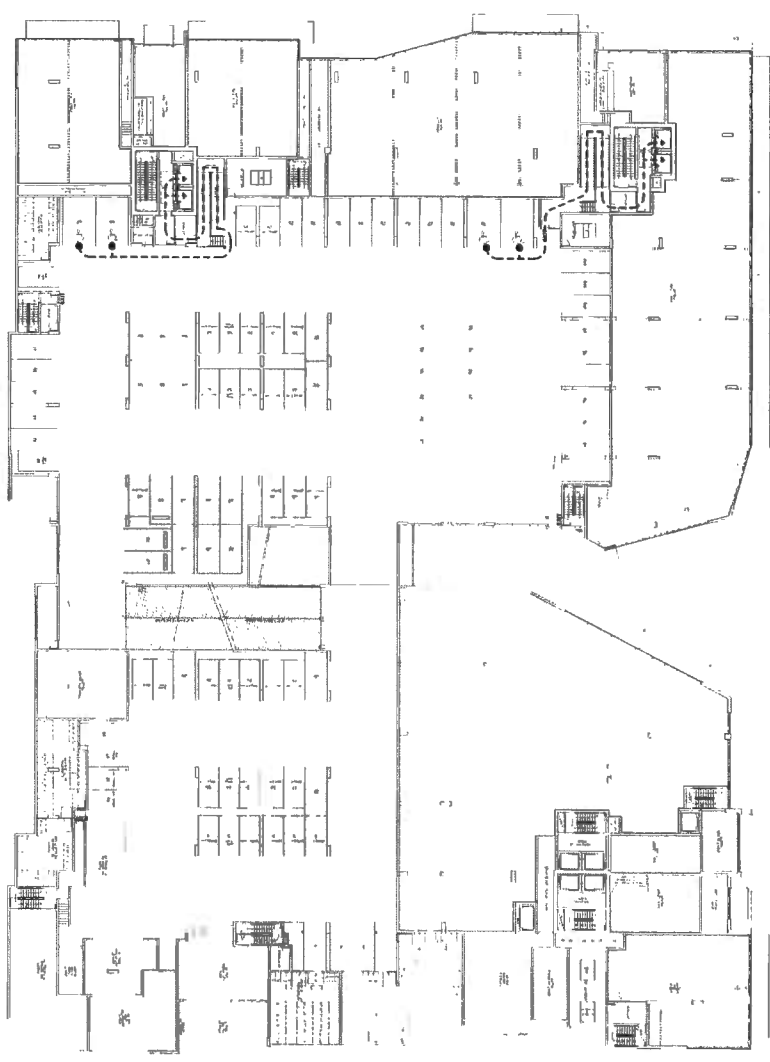
JOB NO.	16-03
DRAWN	KT
DATE	07 DEC 2018
SCALE	1/32" = 1'-0"
CHECKED	WTL

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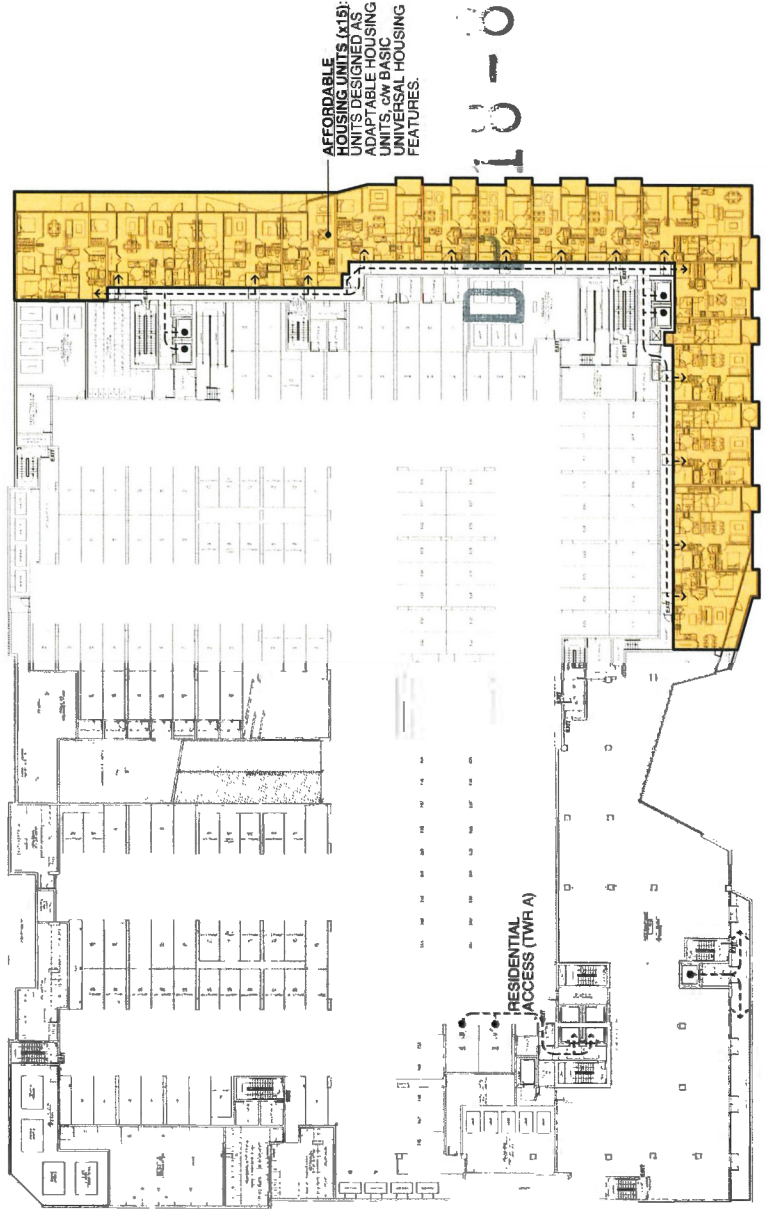
Plan #8a



ACCESSIBILITY ROUTE ON LEVEL P1

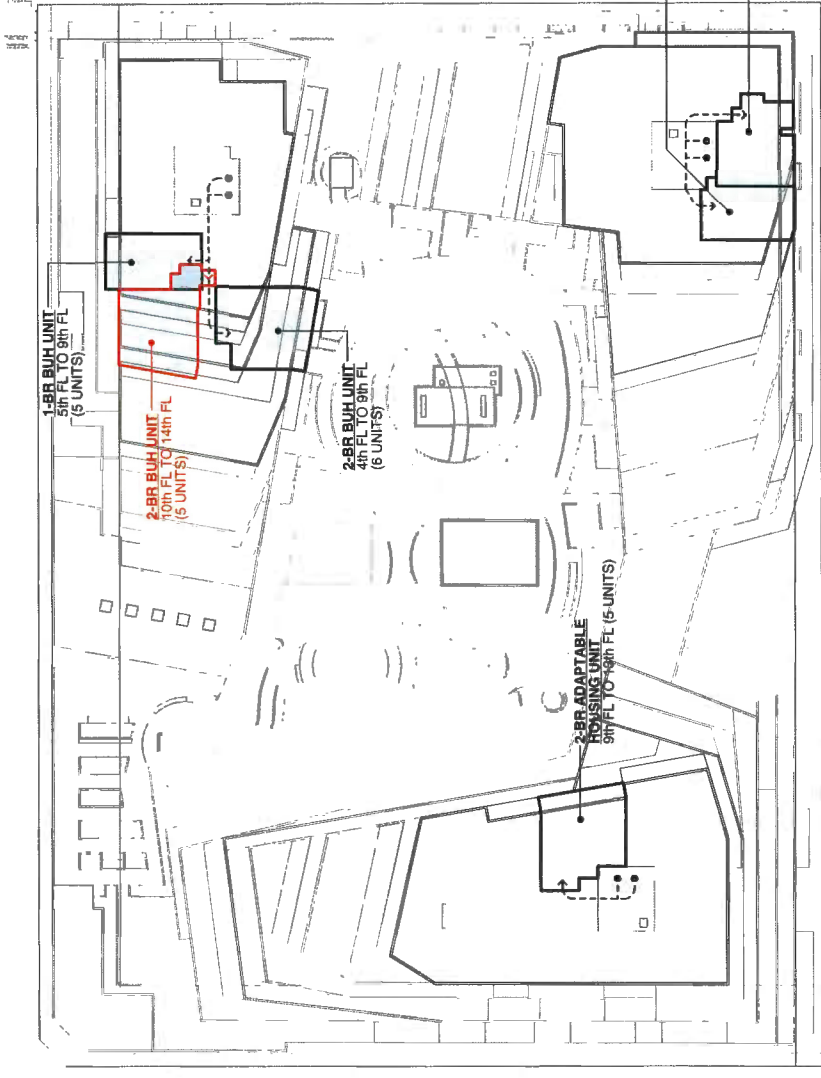


ACCESSIBILITY ROUTE ON LEVEL P2

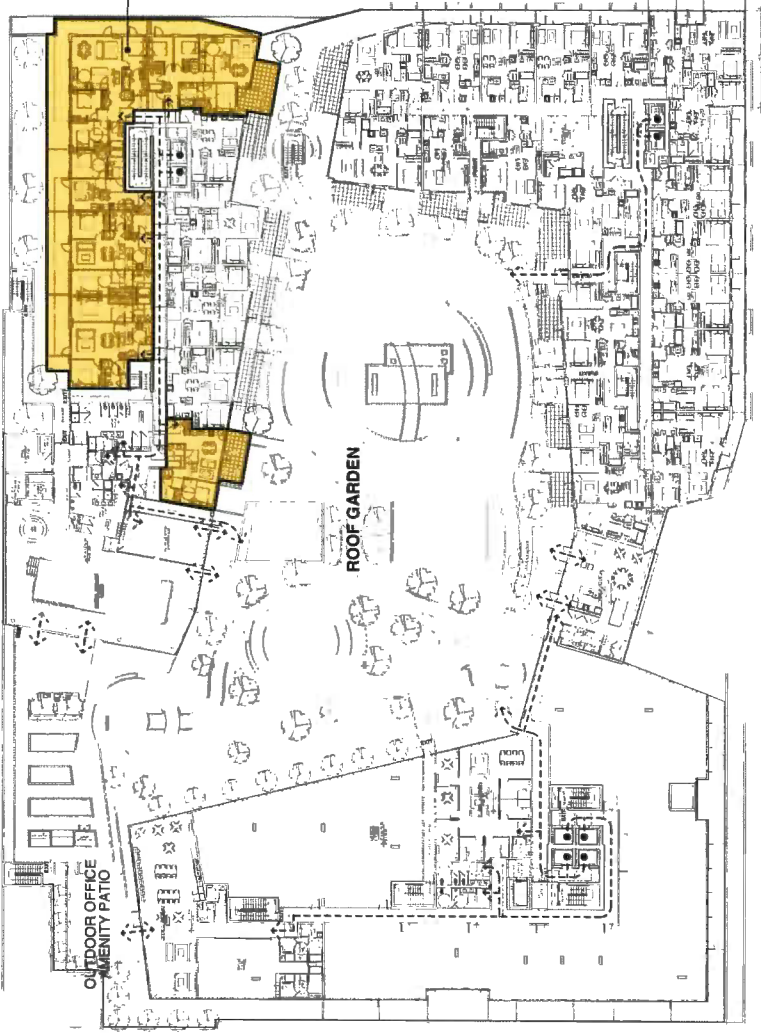


ACCESSIBILITY ROUTE ON LEVEL P3 / 3RD FL. (AFFORDABLE HOUSING UNITS)

NO.	DATE	ISSUED FOR	BY
1	2018-02-26	ISSUED FOR ADP	WTL
2	2018-12-07	REVISION FOR CP	WTL

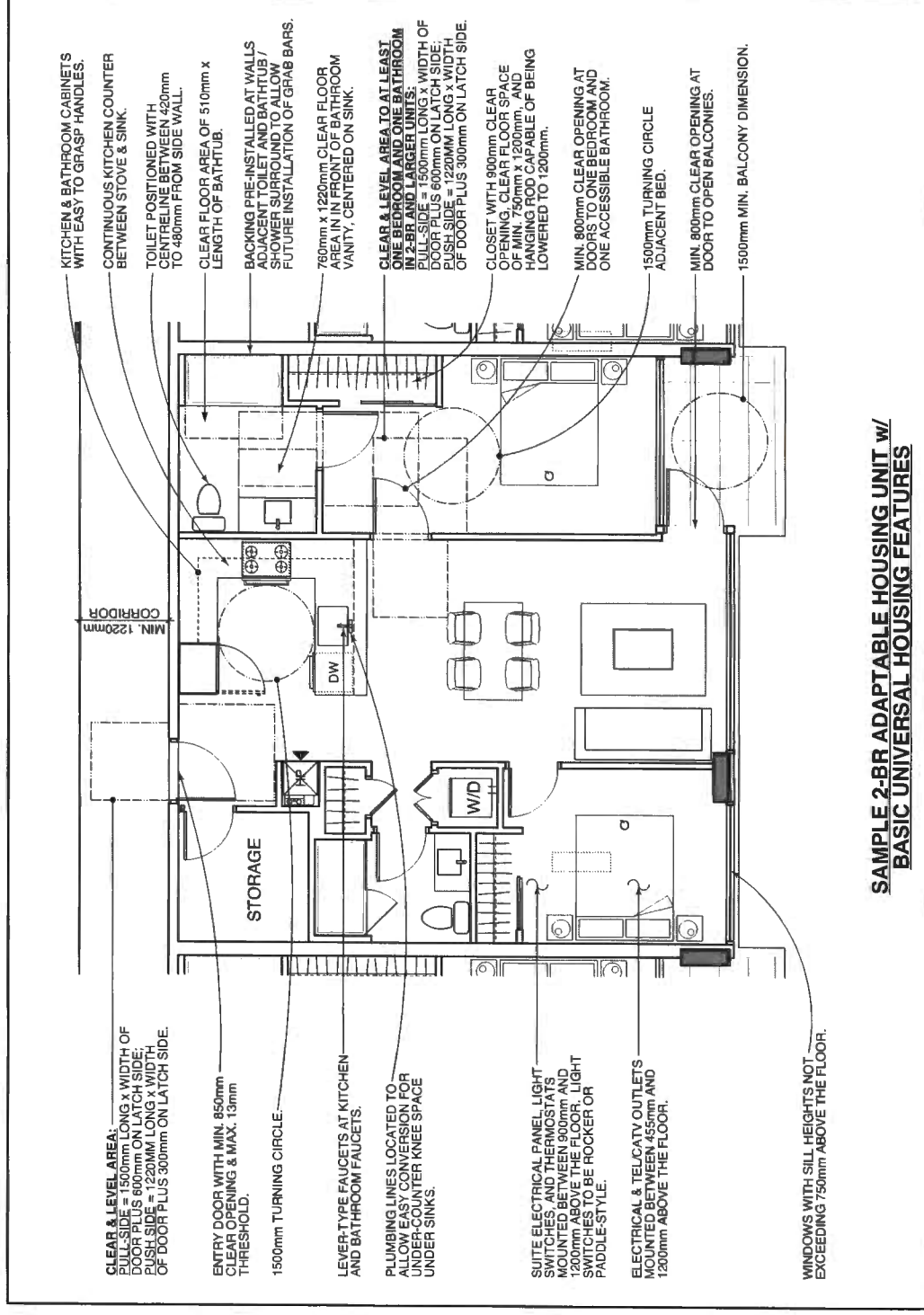


AFFORDABLE HOUSING UNITS (AHU) UNITS DESIGNED AS ADAPTABLE HOUSING UNITS, w/ BASIC UNIVERSAL HOUSING FEATURES.

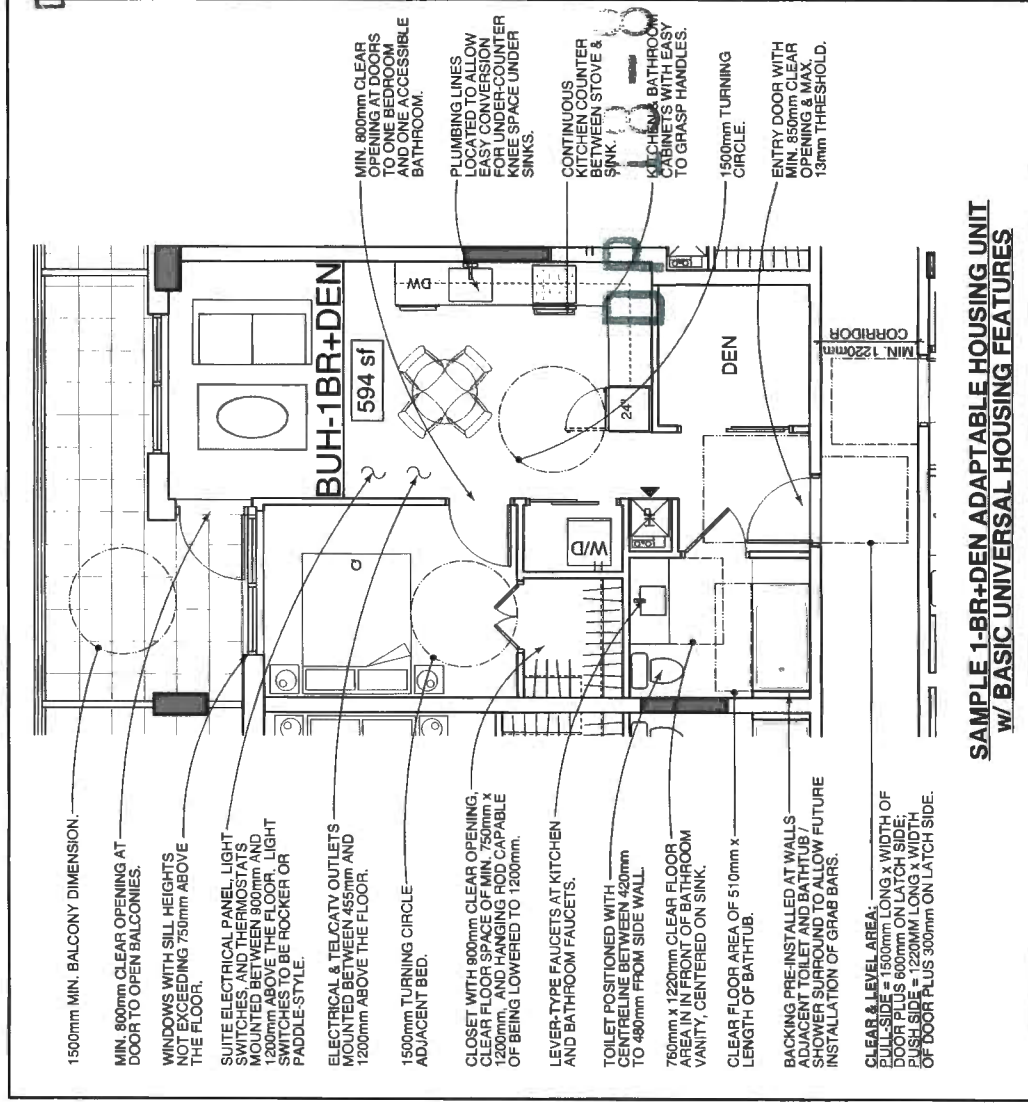


ACCESSIBILITY ROUTE ON 4th FLOOR (AMENITIES & ROOF GARDEN)

ACCESSIBILITY ROUTES & LOCATIONS OF BASIC UNIVERSAL HOUSING (BUH) UNITS



SAMPLE 2-BR ADAPTABLE HOUSING UNIT w/ BASIC UNIVERSAL HOUSING FEATURES



SAMPLE 1-BR+DEN ADAPTABLE HOUSING UNIT w/ BASIC UNIVERSAL HOUSING FEATURES

DEC 11 2018



PARK ROAD & BUSWELL STREET
DP 18-831623
8877-8091 PARK ROAD
RICHMOND, BC

ACCESSIBILITY STRATEGY BUH 51623

JOB NO.	16-03
OWNER	KT
DATE	07 DEC 2018
SCALE	1/32" = 1'-0"
CHECKED	WTL

DEC 1 1 2018

PROJECT
PARK ROAD &
BUSWELL STREET
DP 18-831623

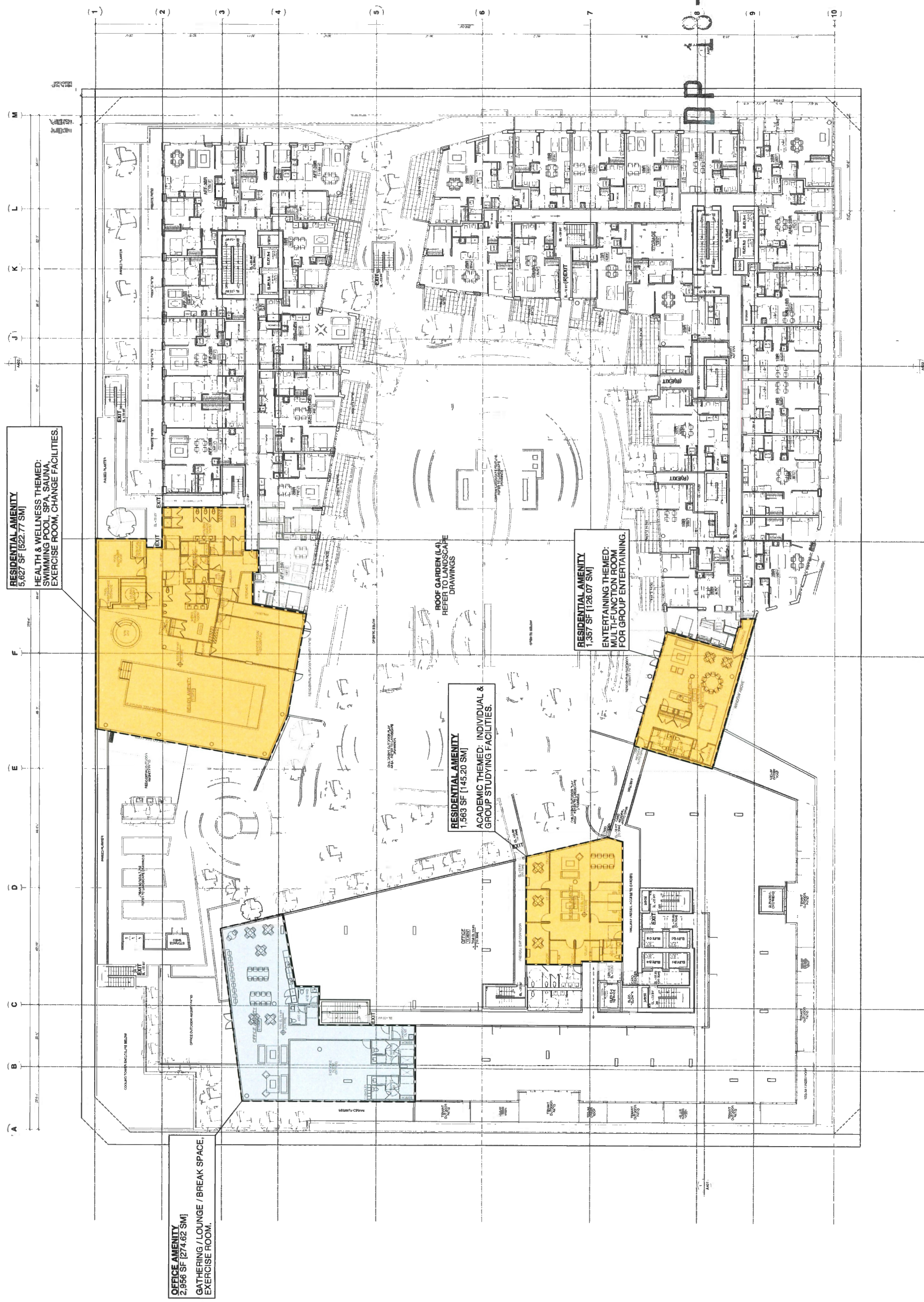
8078-809 PARK ROAD
RICHMOND, BC
V6V 1C3

**INDOOR AMENITY
DIAGRAM (4th FLR)**



JOB NO.	16-03
DRAWN	KT
DATE	30 JUL 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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DEC 11 2018



PROJECT
**PARK ROAD &
BUSWELL STREET**
DP 18-83
18-831623
18-831623
18-831623
RICHMOND, BC

**WAYFINDING &
SIGNAGE
STRATEGY**

JOB NO.	18-03
DESIGNER	JB
DATE	07 DEC 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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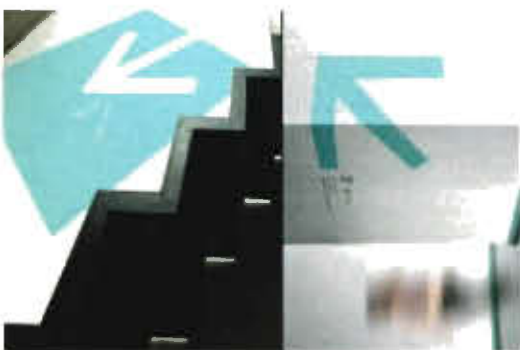
EXAMINER NO.:

Plan #10

5



4



3



**PROPOSED WAYFINDING &
SIGNAGE STRATEGIES**

COMMERCIAL / RETAIL SIGNAGE ARE PROPOSED TO BE LOCATED ALONG GROUND LEVEL RETAIL FRONTS. SIMILAR SIGNAGE STRATEGIES MAY BE PROPOSED FOR RESTAURANT TENANTS ON THE 3rd FLOOR.

1

OVERALL PROJECT WAYFINDING

WAYFINDING POSTS WITH DIRECTIONAL ARROWS AND SITE MAPPING AT THE PUBLIC PLAZA, NORTH LAKE ACCESS OF THE PEDESTRIAN LINK, AND BUSWELL STREET ACCESS.

2

RESIDENTIAL ENTRANCE

CANOPIES PAINTED WITH COLOURS USED ON RESIDENTIAL FLOORS FOR VISUAL LINKAGE BETWEEN THE RESIDENTIAL DEVELOPMENT.

3

OFFICE ENTRANCE

PORTAL WITH COLOUR USED ON OFFICE FLOORS FOR VISUAL LINKAGE TO OFFICE DEVELOPMENT AND CIVIC ADDRESSING.

4

PARKING AND PEDESTRIAN WAYFINDING

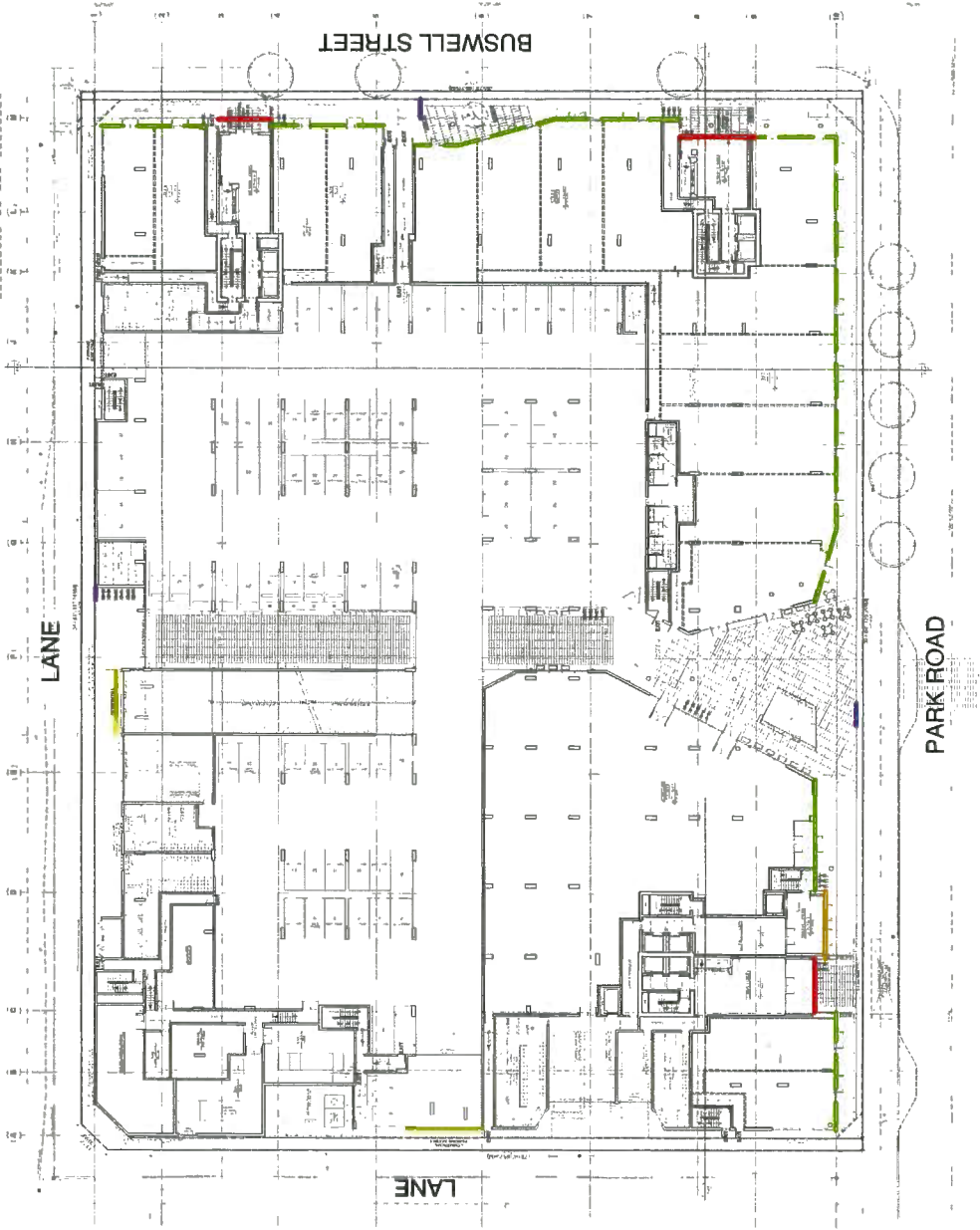
PAINTED SIGNAGE IN OVERSIZED SYMBOLS AND BOLD COLOURS.

5

RETAIL SIGNAGE

TENANT NAME & LOGO ATTACHED ON LEADING EDGE OR ON TOP OF PROJECTING METAL & GLASS CANOPIES.

FOR PEDESTRIAN SCALE, SMALL DROP-DOWN SIGNAGE SUSPENDED JUST BELOW THE CANOPY, PERPENDICULAR TO THE STOREFRONTS



2



1



- REVISIONS**
- | | | |
|---|------------|------------------------|
| 1 | 2018-10 | ISSUED FOR PERMITS |
| 2 | 2018-08 | REVISIONS FOR PERMITS |
| 3 | 2018-06 | ISSUED FOR P.O.P./A.P. |
| 4 | 2018-12-07 | RE-SUBMIT FOR P.P. |

DEC 1 1 2019



PROJECT
PARK ROAD &
BUSWELL STREET
DP 18-831623

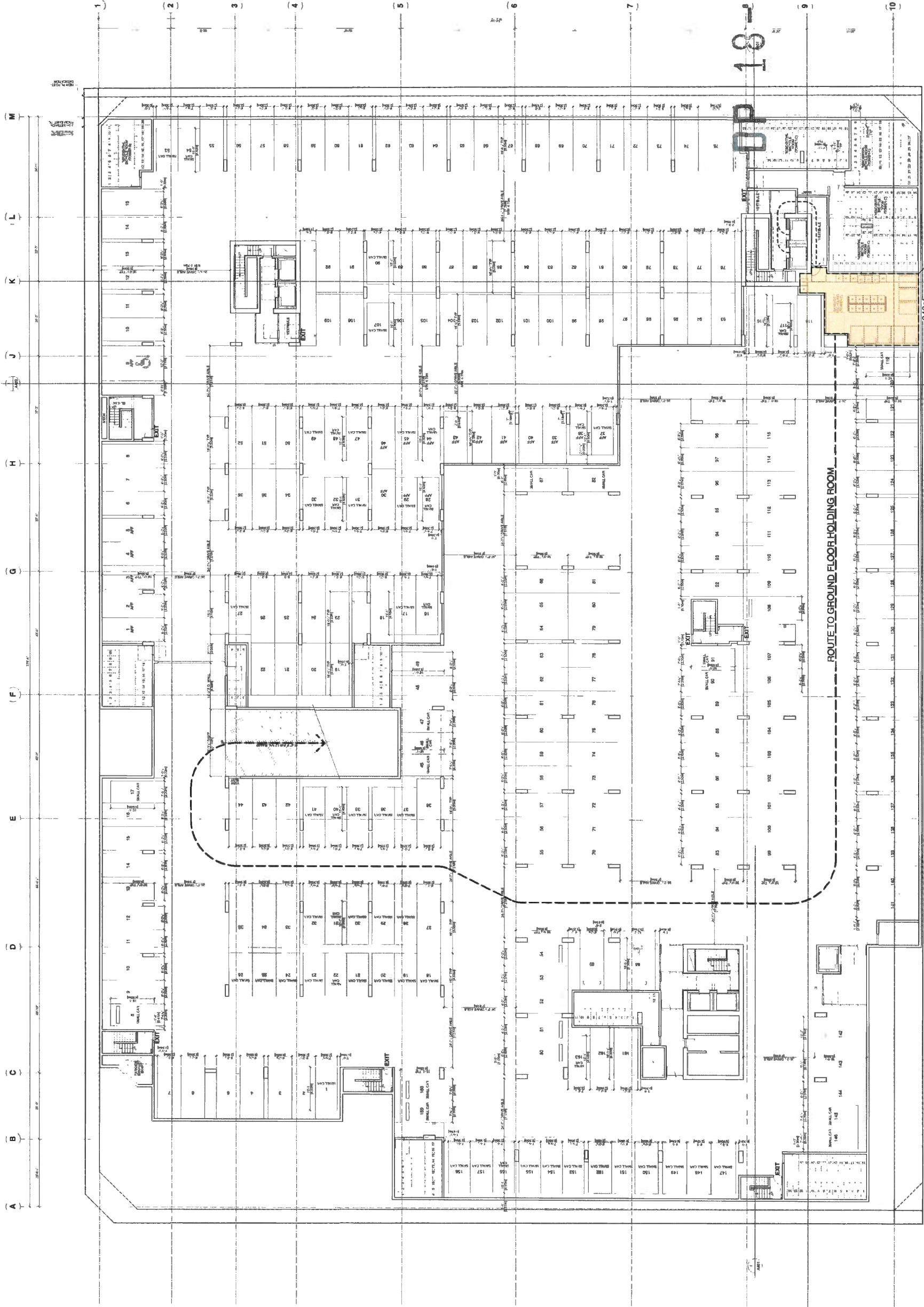
8074-009 PARK ROAD
RICHMOND, BC
18-831623

**WASTE MGMT
PLAN
(LEVEL PL)**

JOB NO. 16-03
DRAWN KT
DATE 07 DEC 2018
SCALE 1/16" = 1'-0"

CHECKED WTL
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Plan #11a



TOWER C - RESIDENTIAL ONLY
154 DWELLING UNITS
5x 4-CY GARBAGE CONTAINERS (CARDBOARD)
3x 4-CY RECYCLING CONTAINERS (MIXED PAPER)
5x 360L RECYCLING CARTS (MIXED PAPER)
5x 360L RECYCLING CARTS (MIXED PAPER)
7x 360L CARTS (COMPOST / FOOD SCRAPS)

