



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: May 22, 2018

From: Wayne Craig
Director, Development

File: DP 17-782861

Re: **Application by Konic Development for a Development Permit at 5660, 5680 and 5700 Williams Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of six back-to-back duplexes at 5660, 5680 and 5700 Williams Road on a site zoned "Two-Unit Dwelling (ZD5) – Steveston/Williams".



Wayne Craig
Director, Development
(604-247-4625)

WC:el
Att. 2

Staff Report

Origin

Konic Development has applied to the City of Richmond for permission to develop six back-to-back duplexes at 5660, 5680 and 5700 Williams Road. The site is being rezoned from "Single Detached (RS1/E)" zone to a new site specific "Two-Unit Dwelling (ZD5) – Steveston/Williams" zone under Bylaw 9553 (RZ 15-693220), which received Third Reading following the Public Hearing on June 20, 2016. The site is currently vacant. A Servicing Agreement for frontage upgrades and service connections is required prior to Subdivision approval.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, across Williams Road, single-family homes on lots zoned "Single Detached (RS1/E)" and "Single Detached (RS1/C)", and an eight-unit townhouse development on a lot zoned "Low Density Townhouses (RTL1)".
- To the east, fronting Williams Road, a utility station owned by Telus on lots zoned "School & Institutional Use (SI)".
- To the south, fronting Lawson Drive, single-family homes on smaller lots zoned "Single Detached (RS1/B)".
- To the west, fronting Williams Road, single-family homes on lots zoned "Single Detached (RS1/E)".

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on June 20, 2016. The following concerns were expressed during the Public Hearing. The response to the concern is provided in *italics*.

Typology and Density of the Proposed Development

Residents were concerned that the proposed typology, as well as the number of units and driveways, will have a negative impact on the character of the neighbourhood and on traffic on Williams Road.

Subsequent to the Public Hearing, a set of location criteria, development requirements, and Development Permit guidelines for duplex developments along arterial roads were developed. These were based on in-depth reviews (including road capacity) and public consultation, as part of the Arterial Road Land Use Policy Updates and were approved by Council on December 19, 2016.

The subject proposal is generally in compliance with the location criteria, development requirements, and Development Permit guidelines for duplex developments. The character, massing and scale of the duplex buildings will be controlled to resemble that of a single-family home in the immediate neighbourhood. Access to each property will be from a shared driveway (i.e., one driveway for every two lots consisting of a total of four units) to minimize traffic impacts. There are currently three driveways serving the three existing single-family lots. The total number of driveways for the proposed duplex development will remain at three. No increase in number of driveways is proposed.

Affordability

Residents have concerns over the affordability of the proposed duplex development and that the proposed development provides no benefits to affordable housing.

One of the intentions to introduce duplexes on arterial roads is to provide a new housing option for the residents. Duplex developments on arterial roads would allow smaller homes to be built on large arterial road properties where there is no subdivision potential. While the maximum permitted density for the duplex development is 0.6 floor area ratio (FAR), the actual maximum unit size is limited to 167 m² or 1800 ft². This is larger than the typical townhouse unit on an arterial road (ranging from approximately 111 m² or 1,200 ft² to 139 m² or 1,500 ft²), and smaller than the typical compact single-family home on an arterial road (approximately 204 m² or 2,200 ft² and up). Staff envisions that a duplex unit would be more affordable than a single-family home on a compact lot.

In addition, a cash contribution in accordance to the City's Affordable Housing Fund has been secured at rezoning.

Drainage

Perimeter drainage will be installed as part of the Building Permit to ensure the proposed grade change does not adversely impact the surrounding sites.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Two-Unit Dwelling (ZD5) – Steveston/Williams" zone.

Advisory Design Panel Comments

The Advisory Design Panel reviewed and provided comments on the proposal; however, the Panel did not support the project to move forward to the Development Permit Panel. The Advisory Design Panel feels that the duplex development might not be the best land use for the subject site and might not be a good standard for densification in Richmond. It is noted that land use and density is out of the scope of the Advisory Design Panel and the Development Permit Panel.

Despite the Advisory Design Panel's concerns about land use the Panel was generally in support of the design of the proposal, since the proposal has been designed to meet the applicable zoning requirements and Development Permit guidelines.

Analysis

Conditions of Adjacency

- The proposed height, siting and orientation of the proposed duplexes respect the finer grain of the evolving character in the surrounding residential urban context. The massing of the proposed development compliments the existing surrounding single-family developments. Efforts have been made to offset windows on adjacent buildings.
- A line of 1.52 m (60 in.) tall wood fence on top of an approximately 0.7 m to 0.82 m (27 in. to 32 in.) high retaining wall, and a line of Portuguese Laurel hedge are proposed along the rear property line to provide a buffer between the proposed duplexes and the adjacent single-family homes to the south. Two trees will also be planted within each of the rear yards (12 trees in total) to provide additional natural screening in response to privacy concerns raised by the neighbouring residents.
- Perimeter drainage will be secured through the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

Urban Design and Site Planning

- Six duplex lots are proposed; each duplex lot will contain a duplex building with a front duplex unit facing the street and a back duplex unit fronting onto the internal drive aisle. The subdivision of the subject site into six lots requires a separate application. The subdivision must be approved prior to issuance of a Building Permit.
- The 12 duplex units are grouped into three clusters of four duplex units each. A shared driveway will be provided for each pair of duplex lots (with a cluster of four duplex units) to minimize traffic impacts. Internal drive aisles are designed as vehicle courtyards to accommodate a turnaround area for vehicles; vehicles will not be allowed to reverse out of the site onto Williams Road. A cross access easement will be secured at Subdivision.
- The number of resident parking spaces and visitor parking spaces proposed are in compliance with the minimum bylaw requirement. All units will have two vehicle parking spaces in a side-by-side double car garage. One on-site visitor parking space will be provided for each pair of duplex lots (with a cluster of four duplex units); a cross access easement will be secured at Subdivision.
- No common or shared Indoor/Outdoor Amenity Space is required for this development, but each unit will have access to a private outdoor space. The provision of private outdoor spaces complies with the Development Permit Guidelines (minimum of 30 m² per unit) of the OCP. All units will have a private outdoor space consisting of a front or rear yard and a balcony on the second floor.

- All individual garages are designed to accommodate garbage, recycling and organic waste storage containers indoor. It is noted that the garbage and recycling vehicles will not enter into the internal drive aisles duplex clusters; a garbage/recycling holding area will be provided by the entry driveway on each duplex lot to accommodate scheduled collection.

Architectural Form and Character

- The character, massing and scale of the street fronting units are designed to resemble that of a single-family home.
- A pedestrian scale is generally achieved along Williams Road through the inclusion of variation in architectural styles, building projections, recesses, entry porches, varying material/colour combinations, landscape features, and the use of individual unit entrances. Efforts were made to differentiate the building façades along Williams Road with various combinations of unit layouts, cladding materials, colours, trims, decorative details, and roof line treatments.
- Additional architectural treatments (such as bay windows and various roof line treatments) were given to the side elevations along the internal courtyards and to the exterior side elevation of Buildings #1 and #6.
- Four different unit layouts are proposed in each duplex cluster of four units, including a convertible unit.
- The proposed building materials (asphalt shingles, composite lap siding, hardie board, hardie shake, cultural stone cladding, and wood trims) are generally consistent with the Official Community Plan (OCP) Guidelines.
- Different colour schemes are proposed for each of the six main façades along Williams Road. For the side and rear elevations, bright colours (light grey and beige colors) are proposed to harmonize with those on existing neighbouring buildings; darker colours are proposed on fascia boards, trim boards, and window frames to achieve contrast.

Landscape Design and Open Space Design

- Tree preservation was reviewed at rezoning stage. Based on the 2:1 tree replacement ratio goal stated in the OCP, 24 replacement trees are required for the removal of 12 bylaw-sized trees. The applicant is proposing to plant 18 new trees on-site and provide a voluntary cash contribution in the amount of \$500/tree (i.e., \$3,000 in total) to the City's Tree Compensation Fund.
- The landscape architect advised that the spaces available for tree planting is limited due to the density of the development, the required off-site works, and the location and configuration of the existing statutory right-of-ways (SRWs) on-site, and it is inappropriate to introduce conifer trees on-site. 18 deciduous trees ranging from 6 cm to 11 cm caliper size are proposed.

- The applicant has committed to the relocation of an existing Monkey Puzzle tree (i.e., a conifer tree) on-site. The tree will be relocated to the northeast corner of the site. A proof of a contract with a company specializing in tree relocation to undertake the transplant of this tree and a Tree Survival Security to the City in the amount of \$2,000 have been secured at rezoning stage.
- Along Williams Road, the front yards will be landscaped with layers of plantings, including one tree per new lot and various shrubs and ground covers to provide an enclosed private yard space with a lawn area.
- Each of the rear duplex units will have a private yard with a patio and a lawn area; with landscaping along the perimeter of the space to provide privacy screening and greenery.
- The shared drive aisles and visitor parking stalls will be treated with permeable pavers for better water infiltration. A small landscaping pad is proposed between the garages on the same lot to create visual segregation between units.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$118,161.70 in association with the Development Permit.

Crime Prevention Through Environmental Design

- Passive surveillance opportunities are presented through the siting of the building and the relationship between the indoor spaces and the outdoor areas to meet safety and crime prevention objectives.
- Extra windows have been added where possible to allow for passive surveillance of common areas.
- Site lighting and clear sight lines provide unobstructed views of surrounding area.
- Plantings near residential entries are low to maximize views and casual surveillance opportunities of common areas.

Sustainability

- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed duplexes and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed duplex units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.
- Each garage will be equipped with a 240V receptacle to accommodate future electric vehicle charging equipment.
- The developer also advises that the following sustainability features will be incorporated into the development:
 - Use of Low E double glazing windows.
 - Use of Energy Star appliances in all units.

Accessible Housing

- The proposed development includes three convertible units (one unit in each duplex cluster of four) that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a vertical lift in the stacked storage space which has been dimensioned to allow for this in both units, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development meets applicable policies and Development Permit Guidelines and the applicant has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment 2, staff recommend support of this Development Permit application.



Edwin Lee
Planner 1
(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet
Attachment 2: Development Permit Considerations



DP 17-782861

Attachment 1

Address: 5660, 5680 and 5700 Williams Road

Applicant: Konic Development

Owner: Diamond Williams Homes (Konic) Inc.

Planning Area(s): Steveston

Floor Area Gross: 427 - 430 m² (per lot)

Floor Area Net: 318 m² (per lot)

	Existing	Proposed
Site Area:	3,185 m ²	Six lots @ approx. 530 m ² each
Land Uses:	Single-family dwellings	Two-unit dwellings
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Single-Detached (RS1/E)	Two-Unit Dwelling (ZD5) – Steveston/Williams
Number of Units:	3	12

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max 0.6	0.6	none permitted
Floor Area (per unit):	Max. 167.22 m ²	157.76 m ² - 160.35 m ²	none permitted
Lot Coverage (per lot):	Max. 45%	44.1% - 44.6%	none
Lot Coverage – Non-porous Surfaces (per lot):	Max. 70%	52% - 54%	none
Lot Coverage – Landscaping (per lot):	Min. 25%	25.5% - 26%	none
Setback – Front Yards:	Min. 6.0 m	7.82 m – 8.23 m	none
Setback – Side Yards (internal):	Min. 1.2 m	1.22 m - 1.74 m	none
Setback – East Property Line:	Min. 1.2 m	1.29 m	none
Setback – West Property Line:	Min. 1.2 m	1.28 m	none
Setback – Rear Yards:	Min. 6.0 m	6.01 m – 6.12 m	none
Height (m):	Max. 2 storeys, but not exceed the residential vertical lot width and the residential vertical lot depth envelope (i.e., 9.0 m)	8.65 m – 8.67 m	none
Lot Width (per lot) (m):	Min. 10.5 m with shared access	11.28 m	none

Lot Depth (per lot) (m):	Min. 45 m	47.13 m	none
Lot Size (per lot):	Min. 464.5 m ²	530 m ² - 531 m ²	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) per unit; and 1 (V) per a cluster of three or more units	2 (R) and 0.25 (V) per unit	none
Off-street Parking Spaces – Accessible:	not required	0	none
Tandem Parking Spaces	not permitted	0	none
Off-street Parking Spaces – Total:	24 (R) and 3 (V)	24 (R) and 3 (V)	none



Address: 5660, 5680 and 5700 Williams Road

File No.: DP 17-782861

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Adoption of Rezoning Bylaw 9551 (RZ 15-693220);
2. City acceptance of the developer's offer to voluntarily contribute \$3,000 to the City's Tree Compensation Fund for the planting of replacement trees within the City.
3. Receipt of a Letter of Credit for landscaping in the amount of \$118,161.70.

At Subdivision* stage, the applicant must complete the following requirements:

1. Pay Development Cost Charges (City & GVS&DD), School Site Acquisition Charge, and Address Assignment Fee. Servicing connections are to be determined at Servicing Agreement stage.
2. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements. Works include, but may not be limited to, the following service works and off-site improvements:

Water Works:

- Using the OCP Model, there is 637.9 L/s of water available at a 20 psi residual at the Williams Road frontage. Based on your proposed development, your site requires a minimum fire flow of 95 L/s.
- The Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
- At the Developers cost, the City is to:
 - Cut and cap the existing water service connections at the watermain along Williams Road frontage.
 - Install 12 new water service connections complete with meter and meter box along Williams Road frontage.

Storm Sewer Works:

- At the Developers cost, the City is to:
 - Cut and cap the existing storm service connections and remove the existing storm sewer inspection chambers fronting Williams Road.
 - Install 3 new storm service connections complete with a new inspection chamber and dual service leads, and tie-in to existing 600mm storm sewer on the south side of Williams Road.

Sanitary Sewer Works:

- At the Developers cost, the City is to:
 - Cut and cap the existing service lead to 5660 Williams Road in the southwest corner of the lot.
 - Cut and cap the existing sanitary service connections and remove the existing sanitary sewer inspection chamber for 5680 and 5700 Williams Road.

Initial: _____

- Install three (3) new service connections complete with inspection chambers and dual service leads along the south end of the property line.
- All sanitary works to be completed prior to any onsite building construction.

Frontage Improvements:

- The Developer is required to:
 - Construct a new 2.0 m wide concrete sidewalk at the property line. The new sidewalk is to connect to the existing sidewalk east and west of the site.
 - Remove the existing sidewalk and backfill the area between the curb and the new sidewalk to provide a minimum 1.5 m wide treed and landscaped boulevard (width of the boulevard is exclusive of the 0.15 m wide top of curb).
 - Construct the driveways to City design standards with 0.9 m flares at the curb and 45° offsets to meet the grade of sidewalk/boulevard.
 - Provide special stamped/tinted concrete treatment for the sidewalk across each driveway and green bike lane paint for the bike lane at the crossing.
 - Consult Parks on the requirements for tree protection/placement including tree species and spacing as part of the frontage works.
 - Consult Engineering on lighting and other utility requirements as part of the frontage works.
 - Coordinate with BC Hydro, Telus and other private communication service providers:
 - To underground Hydro service lines.
 - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - To determine if above ground structures are required and coordinate their locations (e.g. LPT, Shaw cabinets, Telus Kiosks, etc.).

General Items:

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Installation of appropriate tree protection fencing around all trees transplanted as part of the development prior to any construction activities, including building demolition, occurring on-site.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Incorporation of energy efficiency, CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.

5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



No. DP 17-782861

To the Holder: KONIC DEVELOPMENT
Property Address: 5660, 5680 AND 5700 WILLIAMS ROAD
Address: C/O KEITH LEUNG
#1135 - 13700 MAYFIELD PLACE
RICHMOND, BC V6V 2E4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$118,161.70 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 17-782861

To the Holder: KONIC DEVELOPMENT
Property Address: 5660, 5680 AND 5700 WILLIAMS ROAD
Address: C/O KEITH LEUNG
#1135 - 13700 MAYFIELD PLACE
RICHMOND, BC V6V 2E4

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

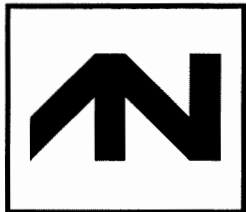
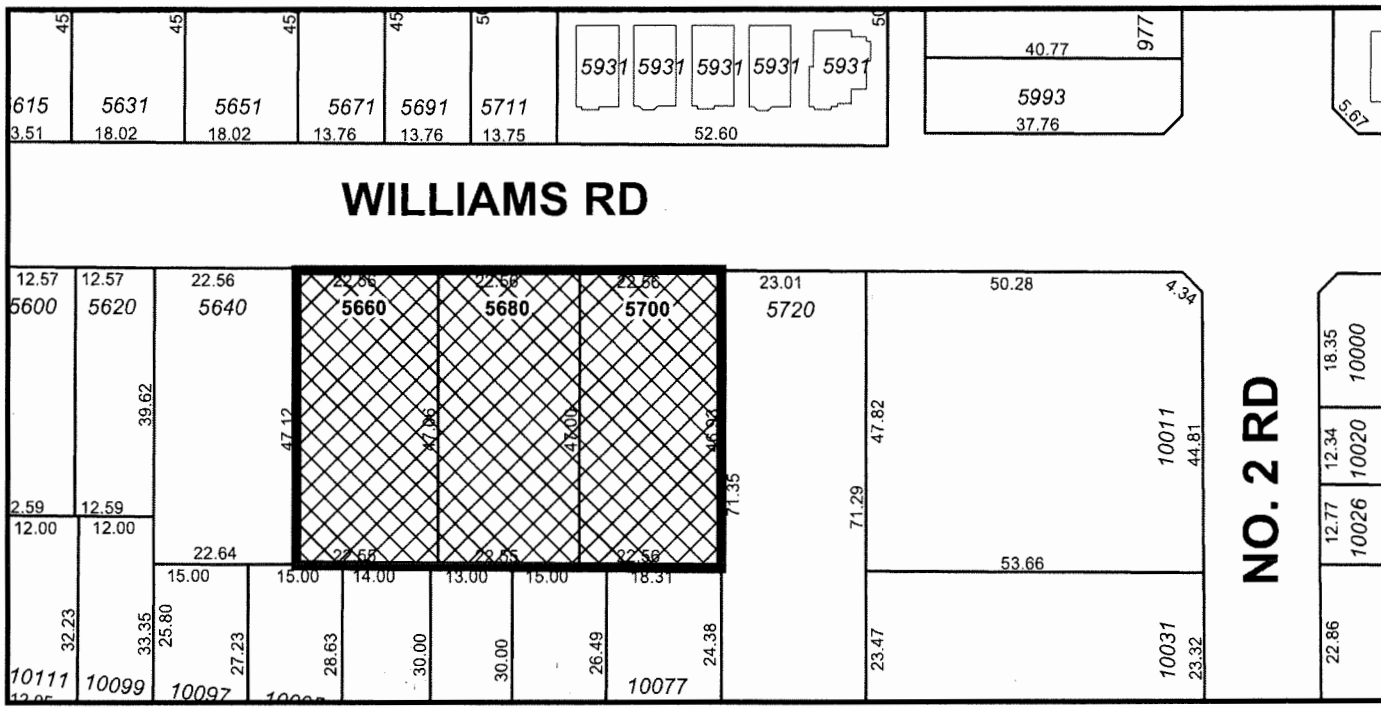
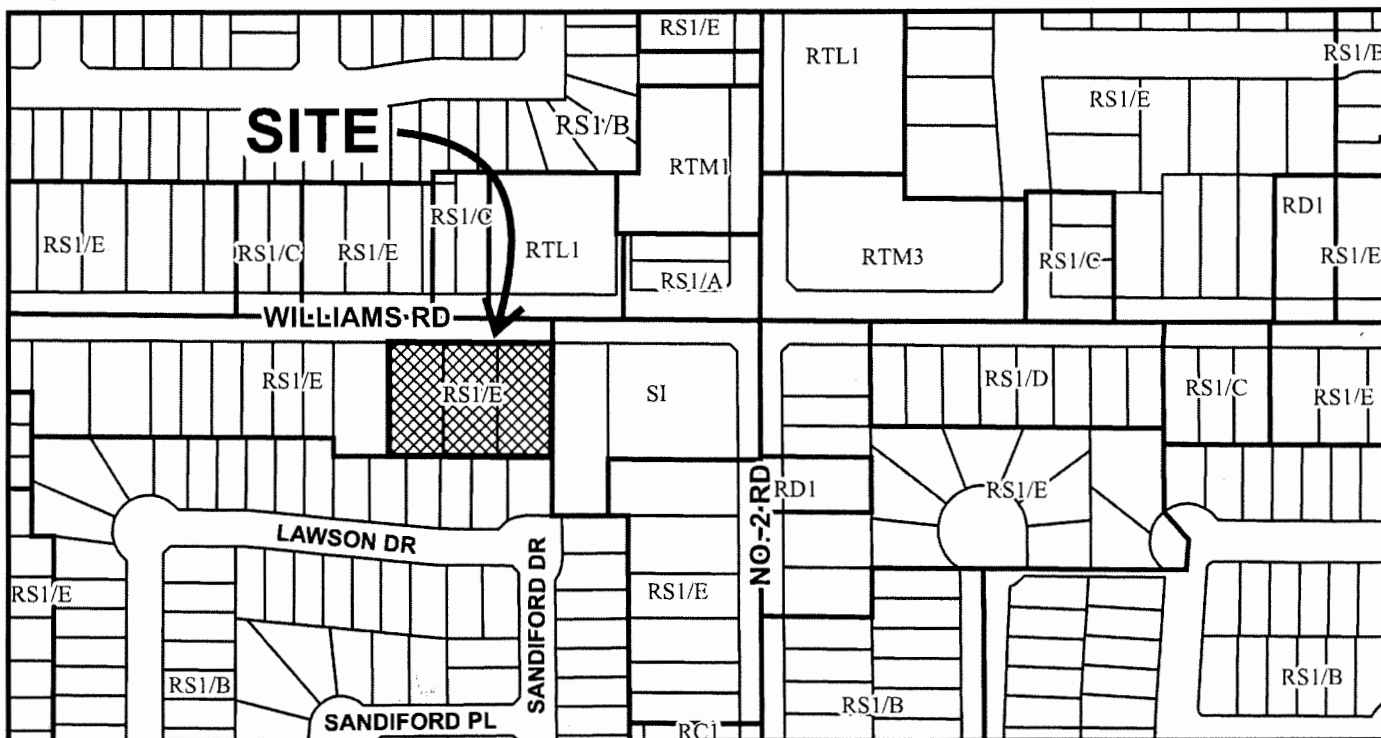
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MAYOR

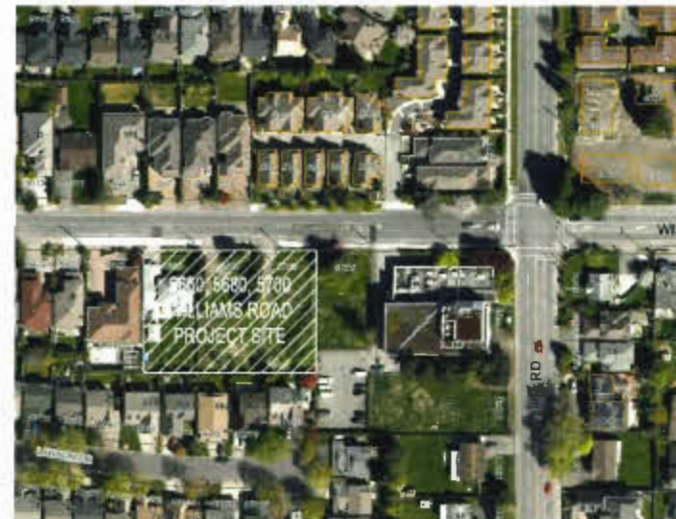


City of Richmond



DP 17-782861 SCHEDULE "A"

Original Date: 09/12/17
Revision Date:
Note: Dimensions are in METRES



LOCATION PLAN



SITE CONTEXT PLAN

Policy Compliance Case:

The policy compliance case models the upgrades which, shall improve the energy performance of all homes in the proposed development to an EnerGuide rating of B2 or better.

Table of upgrades and commitments:

All units: The following list of upgrades will be installed in all units

Component	Upgrade
Solar Hot Water Ready requirement	*Per the requirements of the BC Solar Hot Water Ready regulation*.

Unit 11: The following list of upgrades have been identified for Unit 11. If all of these upgrades are installed in Unit 11, and in other units assessed to have similar or better energy performance, energy modelling indicates the units will achieve or exceed an EnerGuide B2 rating.

Component	Upgrade	Commitment
Space Heating:	Heat Recovery Ventilator	Heat Recovery Ventilator (HRV) sized and installed per BCBC Section 9.32
Space Heating:	Air Source Heat Pump	Air Source Heat Pump (ASHP); Seer >14.5; HSPF > 7.5. This upgrade shall require the projects mechanical Professional Engineer to provide a letter to the City of Richmond which specifies the equipment and confirms that the equipment complies with Noise Regulations Bylaw No. 8856.

RECOMMENDATIONS FROM ENERGY REPORT TO BE IMPLEMENTED IN BP AND CONSTRUCTION DRAWINGS

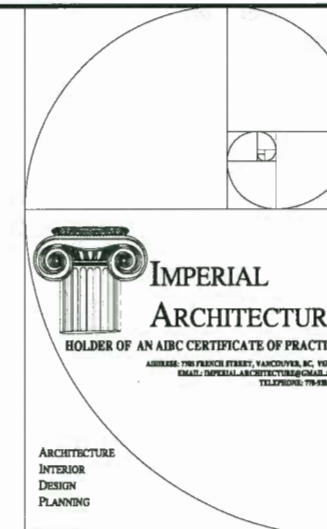
Project Statistics		
Civic Address	5660, 5680, 5700 Williams Road, Richmond, BC	
Legal Description	Lot 2, Plan 16855, Except Part Subdivided by Plan 55454 Lot 3, Plan 16855, Except Part Subdivided by Plan 55454 Lot 976 Plan 58348 All of SEC 36, Block 4, North Range 7 West NWD	
Total Site Area	34283.05 SF	
Max. FSR Allowed (ZD-5 Zone)	0.6	Max. Allowed
Floor Area Allowed	20569.83 SF	Max. Allowed
Total Net floor Area Provided	20538.63 SF	
Total FSR Provided	0.6 < 0.6	Max. Allowed

Parking Calculation	
Residential Parking Required	24 Standard Stalls
Residential Parking Provided	24 Standard Stalls
Visitor Parking Required	3 Standard Stalls
Visitor Parking Provided	3 Standard Stalls
H/C Visitor Parking Required	0
H/C Visitor Parking Provided	0
Bike Storage (Class 1) Required	24 Horizontal
Visitor Parking Provided	24 Horizontal

Area Calculation	5660 Williams Rd		5680 Williams Rd		5700 Williams Rd		Total
	Building 1		Building 2		Building 3		
	Unit 11	Unit 12	Unit 21	Unit 22	Unit 31	Unit 32	
Unit #	Unit 11	Unit 12	Unit 21	Unit 22	Unit 31	Unit 32	12 Units
Unit Type	A1	A2	B1	B2	A1	A2	4 Unit Types
Convertible Unit			✓		✓		
Location	Front Unit	Rear Unit	Front Unit	Rear Unit	Front Unit	Rear Unit	
Feature (BD / DEN)	5BD	5BD	4BD+DEN	5BD	5BD	5BD	
Feature (Bath)	4 Bath	4 Bath	3.5 Bath	4 Bath	4 Bath	4 Bath	
Level 1 Floor Area	752.28	757.7	718.90	752.55	752.28	757.7	8944.29 SF
Level 2 Floor Area	946.54	968.41	1002.85	946.98	946.54	968.41	11594.34 SF
Net Area (for FSR)	1698.82	1726.11	1721.75	1699.53	1698.82	1726.11	20538.63 SF
Exempted Stair Area (Level 1)	50.65	107.53	62.72	107.53	50.65	107.53	
Exempted Stair Area (Level 2)	37.53	53.30	52.70	52.21	37.53	53.30	
Total Exempted Stair Area	88.18	160.83	115.42	159.74	88.18	160.83	1572.51 SF
Exempted Garage Area	403.48	403.48	403.64	403.48	403.48	403.64	4842.72 SF
Exempted Covered Porch	65.27	50.68	72.37	50.68	65.27	50.68	717.00 SF
Total Exempted Area	556.93	614.99	591.43	614.06	556.93	614.06	7132.23 SF
Gross Area	2255.75	2341.10	2313.18	2313.59	2255.75	2341.10	27670.86 SF

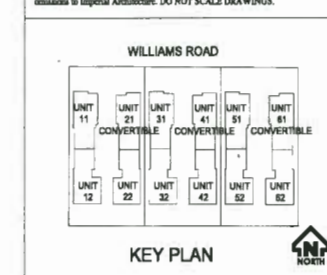
Coverage Calculation (Building & Covered Porch)	5660 Williams Rd		5680 Williams Rd		5700 Williams Rd		Total
	Building 1		Building 2		Building 3		
	Unit 11	Unit 12	Unit 21	Unit 22	Unit 31	Unit 32	
Unit #	Unit 11	Unit 12	Unit 21	Unit 22	Unit 31	Unit 32	12 Units
Unit Type	A1	A2	B1	B2	A1	A2	4 Unit Types
Convertible Unit			✓		✓		
Location	Front Unit	Rear Unit	Front Unit	Rear Unit	Front Unit	Rear Unit	
Building Footprint per Lot	2430.30		2398.17		2430.30	2398.17	14485.41 SF
Covered Porch per Unit	65.27	50.68	72.37	50.68	65.27	50.68	717.00 SF
Total Porch Area per Lot	115.95		123.05		115.95	123.05	123.05 SF
Total (Bldg+Porch) Provided	2546.25		2521.22		2546.25	2521.22	15202.41 SF
Site Area per Lot	5722.07		5718.78		5715.48	5712.19	34283.02 SF
Total Bldg + Patio Coverage Ratio	44.5%		44.1%		44.6%	44.1%	< 45% Allowed
Total Floor Area (Net) Per Lot	3424.93		3421.28		3424.93	3421.28	20538.63 SF
Total Covered Porch Ratio	3%		4%		3%	4%	< 10% Allowed

Parking Calculation By Unit	5660 Williams Rd		5680 Williams Rd		5700 Williams Rd		Total
	Building 1		Building 2		Building 3		
	Unit 11	Unit 12	Unit 21	Unit 22	Unit 31	Unit 32	
Unit #	Unit 11	Unit 12	Unit 21	Unit 22	Unit 31	Unit 32	12 Units
Unit Type	A1	A2	B1	B2	A1	A2	4 Unit Types
Convertible Unit			✓		✓		
Location	Front Unit	Rear Unit	Front Unit	Rear Unit	Front Unit	Rear Unit	
Residential Parking (Standard) Required	2	2	2	2	2	2	24 Stalls
Residential Parking Provided	2	2	2	2	2	2	24 Stalls
Bike Storage (Class1) Required	2	2	2	2	2	2	24 Spaces
Bike Storage (Class1) Provided	2	2	2	2	2	2	24 Spaces



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ISSUED FOR DP OF SUBMISSION	J.Z.	K.L.	17.08.20

ISSUED FOR DP RESUBMISSION 2018-04-30

Client/Project
DUPLEX DEVELOPMENT FOR

KONIG DEVELOPMENT
5660, 5680, 5700 WILLIAMS ROAD,
RICHMOND, BC

Title
LOCATION / CONTEXT PLAN
PROJECT DATA

Project No. #8191
Scale N.T.S.

Drawing No. Sheet Revision

DP 17-782861 A0.4
MAY 22 2018
PLAN # 1



Table 1: Lot 1 / Building 1 Project Data. Contains detailed site information including setbacks, area calculations, and proposed grades for a duplex building on the West Portion of 5660 Williams Rd.

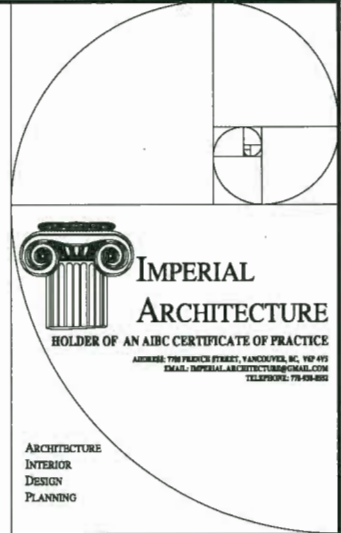
Table 2: Lot 2 / Building 2 Project Data. Contains detailed site information including setbacks, area calculations, and proposed grades for a duplex building on the East Portion of 5660 Williams Rd.

Table 3: Lot 3 / Building 3 Project Data. Contains detailed site information including setbacks, area calculations, and proposed grades for a duplex building on the West Portion of 5700 Williams Rd.

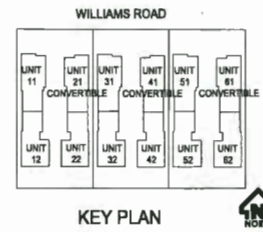
Table 4: Lot 4 / Building 4 Project Data. Contains detailed site information including setbacks, area calculations, and proposed grades for a duplex building on the East Portion of 5700 Williams Rd.

Table 5: Lot 5 / Building 5 Project Data. Contains detailed site information including setbacks, area calculations, and proposed grades for a duplex building on the West Portion of 5700 Williams Rd.

Table 6: Lot 6 / Building 6 Project Data. Contains detailed site information including setbacks, area calculations, and proposed grades for a duplex building on the East Portion of 5700 Williams Rd.



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DUPLEX DEVELOPMENT FOR

KONIC DEVELOPMENT 5660, 5680, 5700 WILLIAMS ROAD, RICHMOND, BC

PROJECT DATA & CALCULATION PER LOT / BUILDING

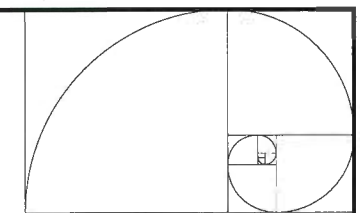
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Drawing No: A 0.5

Handwritten drawing number: 17-782061

Date: MAY 22 2018

Handwritten text: PLAN #1A

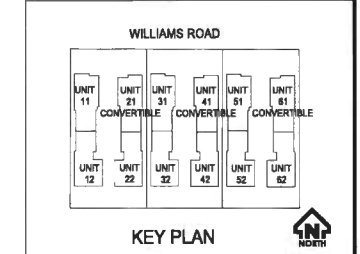


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Issued	By	Appd.	VYJ/M.D.

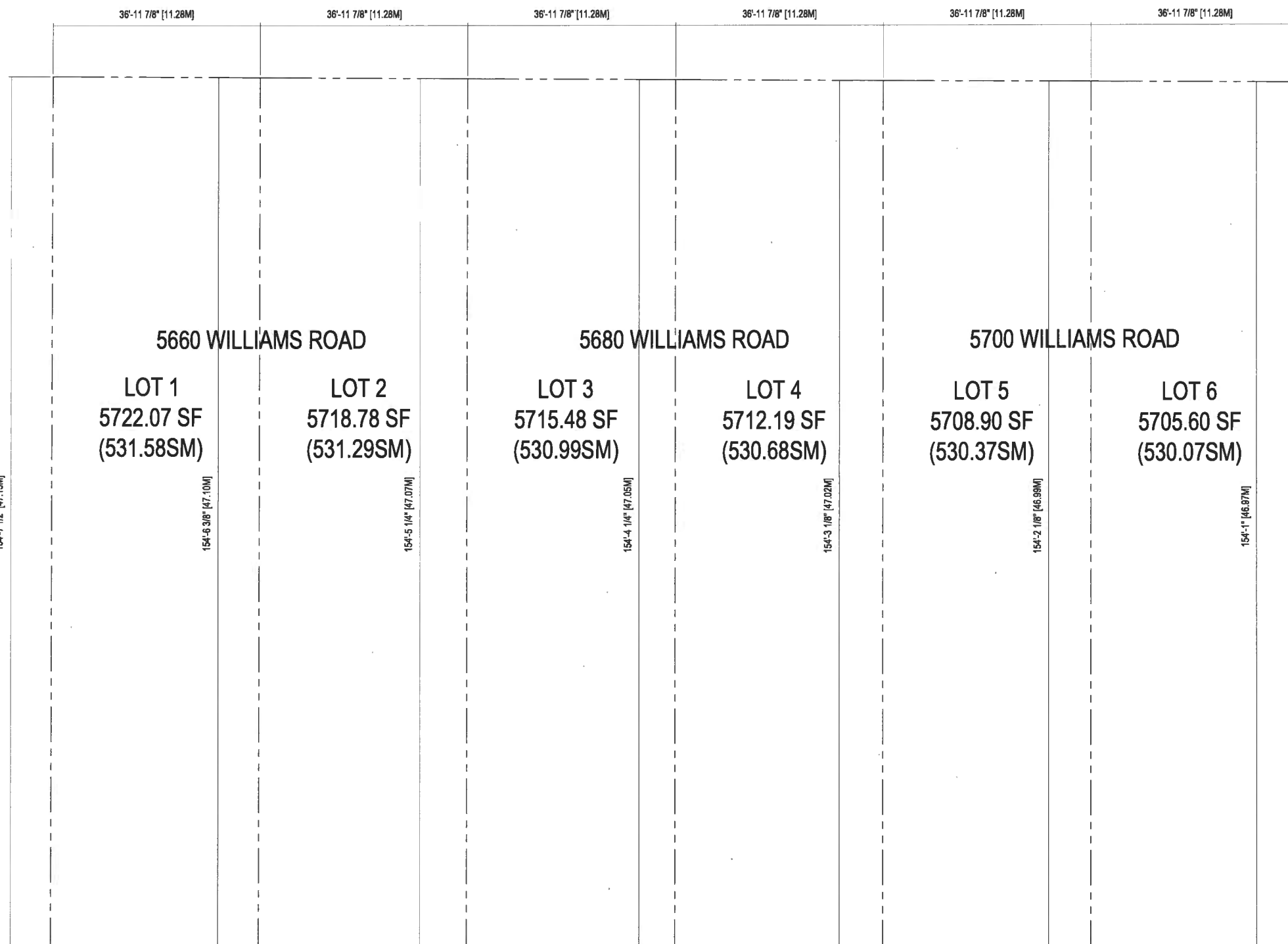
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Client/Project
 DUPLEX DEVELOPMENT FOR

5660, 5680, 5700 WILLIAMS ROAD,
 RICHMOND, BC

Title
 SUBDIVISION PLAN

Project No.	Scale
#8191	1"=10'-0"
Drawing No.	Sheet
A 1.8	of



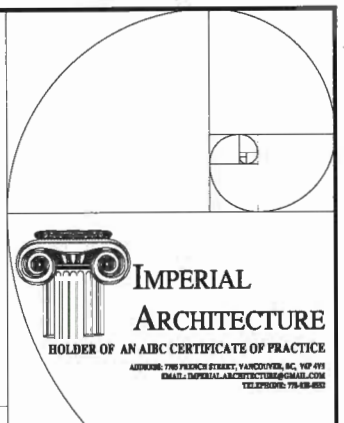
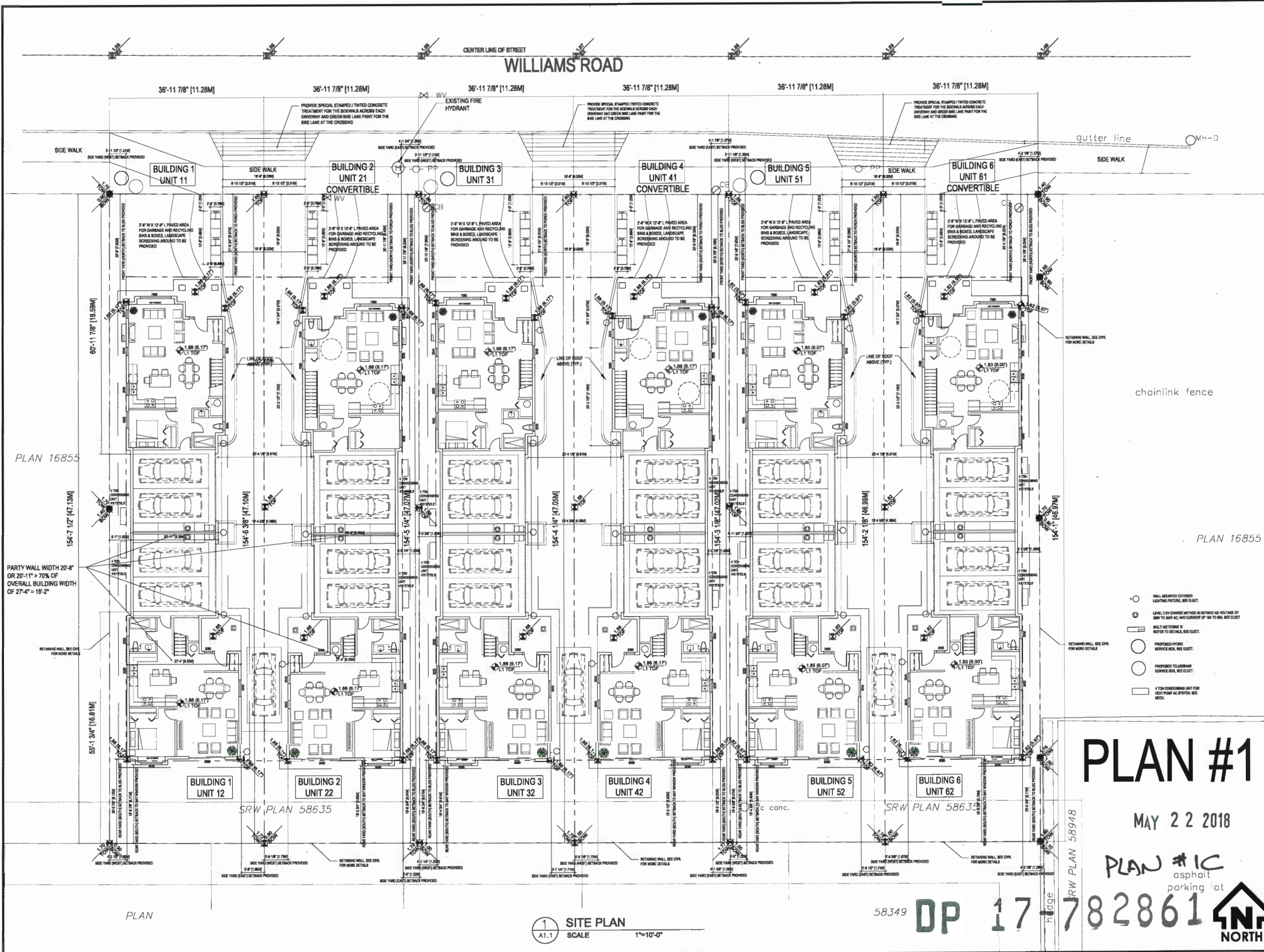
1 SUBDIVISION PLAN
 A1.8 SCALE 1"=10'-0"

MAY 22 2018

PLAN #1B

DP 17-782861

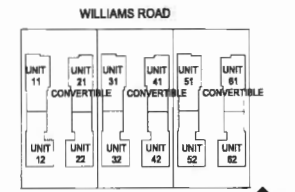




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Issued	By	Appd.	TY.M.H.05

PLAN #1

MAY 22 2018

PLAN #1C
asphalt parking lot

58349 DP 17-782861



1 SITE PLAN
A1.1 SCALE 1"=10'-0"

ISSUED FOR DP RESUBMISSION 2018-04-30

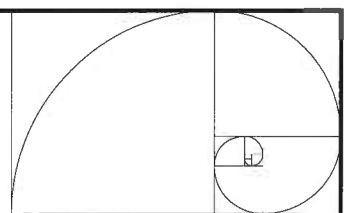
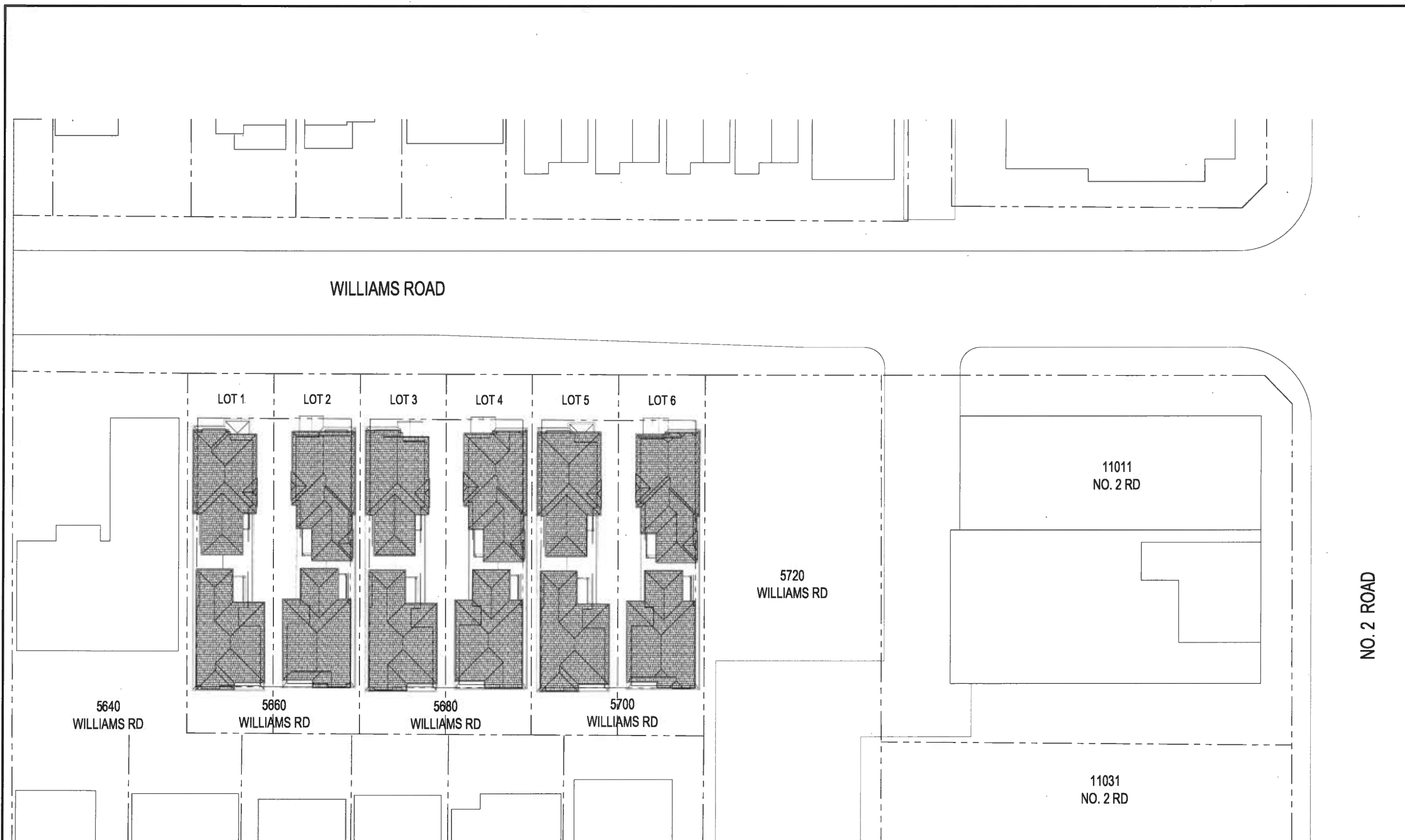
Client/Project
DUPLEX DEVELOPMENT FOR

KONIC DEVELOPMENT
5660, 56th Avenue Williams Road,
RICHMOND, BC

Title
SITE PLAN

Project No. #8191 Scale 1"=10'-0"

Drawing No. A 1.1 of Sheet Revision



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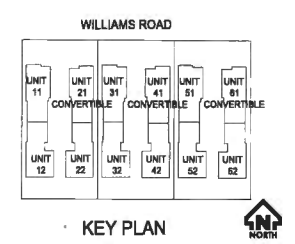
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Client/Project
 DUPLEX DEVELOPMENT FOR



Title
 SITE CONTEXT PLAN /
 STREET ELEVATION (COLORED)

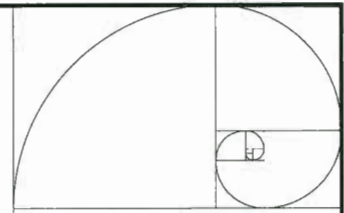
Project No.	Scale
#8191	1"=10'-0"
Drawing No.	Sheet
A1.3	of

1 SITE CONTEXT PLAN
 A1.3 SCALE 1"=20'-0"

MAY 22 2018



DP 17-782861 PLAN #1D



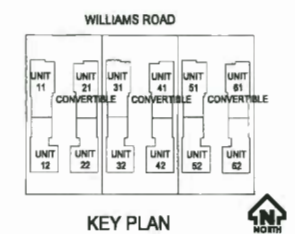
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ISSUED FOR DP SUBMISSION	J.Z.	K.L.	17.08.20
Issue	By	App'd	YY.MM.DD



1 WILLIAMS ROAD STREET ELEVATION
 SCALE 1"=10'-0"



2 STREETSCAPE ALONG THE REAR PROPERTY LINE
 SCALE 1"=10'-0"

EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

- HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
- COMPOSITE LAP SIDING (LIGHT GREY)
- COMPOSITE LAP SIDING (LIGHT BROWN)
- COMPOSITE LAP SIDING (DARK GREY)
- COMPOSITE LAP SIDING (DARK BROWN)
- COMPOSITE LAP SIDING (LIGHT RED)
- COMPOSITE LAP SIDING (DARK RED)
- CULTURAL STONE CLADDING (DARK GREY)
- CULTURAL STONE CLADDING (DARK BROWN)
- PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)
- PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
- SOLID WOOD UNIT ENTRY DOOR (WHITE)
- SOLID WOOD UNIT ENTRY DOOR (DARK BROWN)
- WOOD TRIM (WHITE)
- FASCIA BOARD (WHITE)
- FASCIA BOARD (DARK BROWN)
- HARDIE BOARD (DARK GREY)
- HARDIE BOARD (LIGHT BROWN)
- HARDIE SHAKE (LIGHT BROWN)
- DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME
- DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME
- ALUMINUM RAILING (WHITE)
- SLIDING DOOR WITH CLEAR TEMPERED GLAZING

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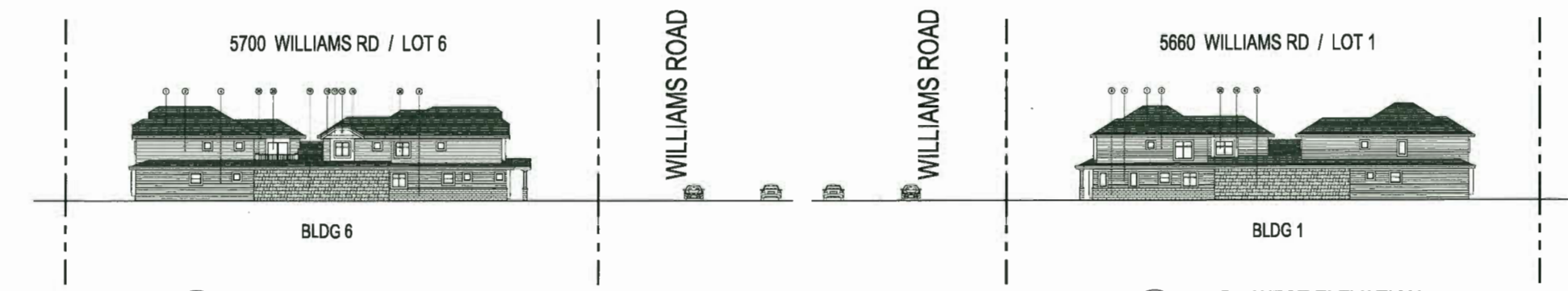
Client/Project
 DUPLEX DEVELOPMENT FOR

KONIC DEVELOPMENT
 5660, 5680, 5700 WILLIAMS ROAD,
 RICHMOND, BC

Title
 STREET ELEVATIONS

Project No. Scale
 #8191 1"=10'-0"

Drawing No. Sheet Revision
 A 1.4 of



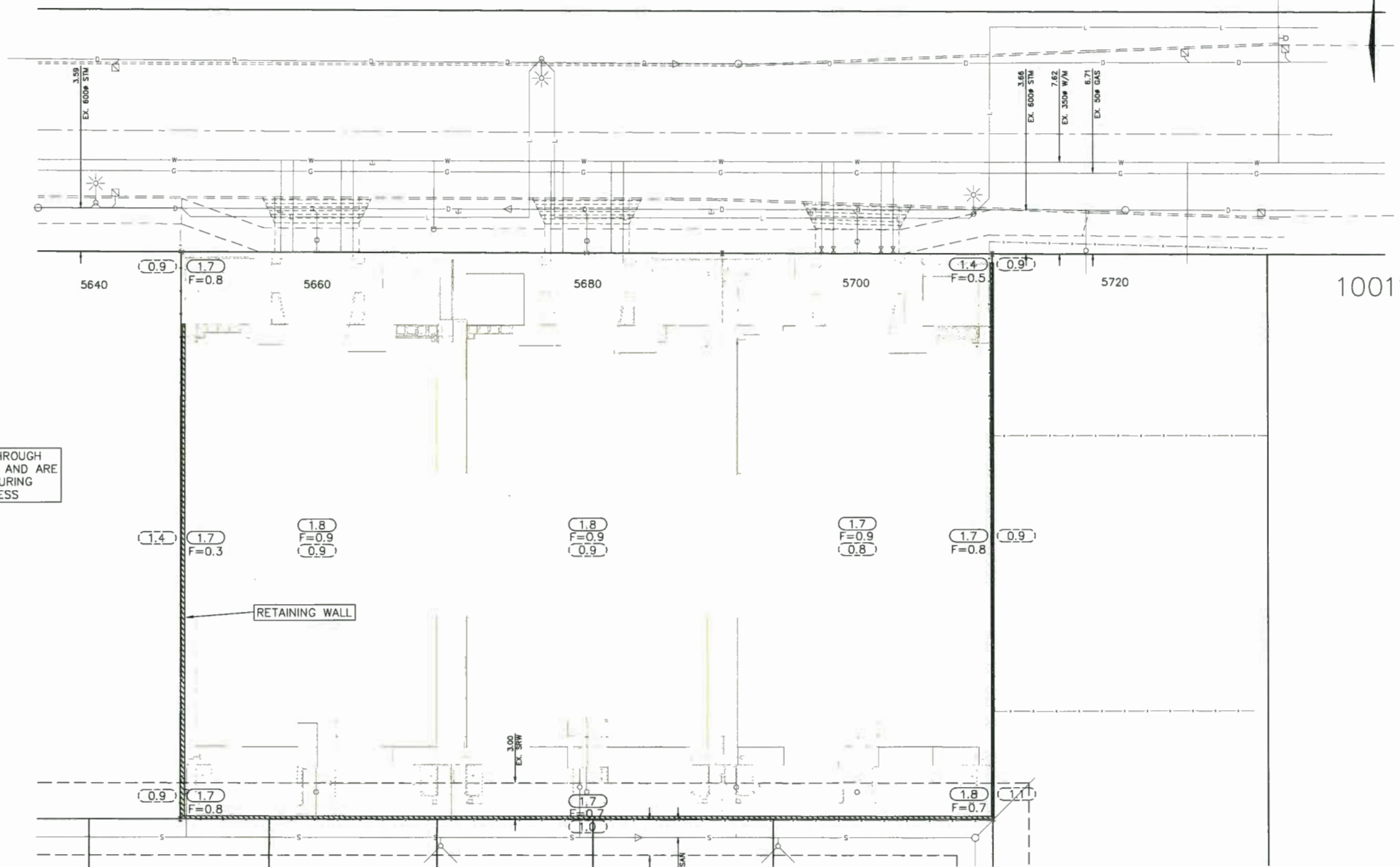
3 BLDG 6 EAST ELEVATION
 SCALE 1"=10'-0"

4 BLDG 1 WEST ELEVATION
 SCALE 1"=10'-0"

MAY 22 2018

DP 17-782861 PLAN #1E

WILLIAMS ROAD



GRADES DETERMINED THROUGH PRELIMINARY DRAWINGS AND ARE SUBJECT TO CHANGE DURING DETAILED DESIGN PROCESS

1.4 1.7 F=0.8
 1.8 F=0.9
 0.9
 1.4 1.7 F=0.3
 1.8 F=0.9
 0.9
 1.7 F=0.9
 0.8
 1.7 F=0.8
 0.9
 1.4 1.7 F=0.8
 1.8 F=0.7
 1.0
 1.8 F=0.7
 1.1

RETAINING WALL

LOT GRADING NOTES:

1. ROADWORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RICHMOND ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
2. PARKING AND DRIVEWAY AREAS TO BE CONSTRUCTED IN ACCORDANCE WITH ARCHITECTURAL AND LANDSCAPE DRAWINGS.
3. ALL ROAD ELEVATIONS ARE PAVEMENT ELEVATIONS.
4. FILL MATERIALS AND COMPACTION TO BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
5. FOR RETAINING WALL LOCATIONS AND DETAILS REFER TO LANDSCAPE ARCHITECTS DRAWINGS.
6. FOR PAVEMENT STONE LOCATIONS AND DETAILS REFER TO ARCHITECTS DRAWINGS.
7. ELEVATIONS SHOWN AS THUS $\overline{1.72}$ ARE EXISTING ELEVATIONS.
8. ELEVATIONS SHOWN AS THUS $\underline{1.72}$ ARE PROPOSED ELEVATIONS.
9. FILL QUANTITIES ARE SHOWN THUS: F=0.25 (SIGNIFIES REQUIRED FILL = 0.25m)
10. THIS PLAN IS A COMPILATION OF OTHER DRAWINGS. IF OTHER DRAWINGS DEVIATE FROM WHAT IS SHOWN HERE, THE OTHER DRAWINGS TAKE PRECEDENCE.

RETAINING WALL NOTES:

RETAINING WALL TO BE BUILT WITH WOOD AS PER GEOTECHNICAL ENGINEER. RETAINING WALL HEIGHT VARIES TO MAX HEIGHT OF 0.8m HIGH

PROVE ALL EXISTING ELEVATIONS AND LOCATIONS AND NOTIFY DS LEE ENGINEERING OF ANY DISCREPANCIES OR CONFLICTS BEFORE STARTING CONSTRUCTION.

MAY 22 2018 DP 17-782861
 PLAN #1F
 City of Richmond
 8911 No. 3 ROAD RICHMOND B.C. V6Y 2C1

BC GAS SERVICES
 THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY ARRANGE FOR THEIR RELOCATION IN ORDER TO FACILITATE INSTALLATION OF THE WORKS SHOWN ON THESE PLANS. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM:
 BC GAS SERVICE RECORDS DEPARTMENT
 TELEPHONE: 293-8552
 NOTE: BC GAS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.

NOTES:
 ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBER
 CM 02H2452
 SW CORNER OF NO. 3 ROAD AND STEVESTON HIGHWAY
 ELEVATION 1.559 METRES
 ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) AND THE CURRENT CITY OF RICHMOND SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS, UNLESS OTHERWISE NOTED.

DS Lee Engineering
 100 - 21320 GORDON WAY, RICHMOND, BC 604-276-2555
Konic Development
 DS Lee Project No. 988-2
 DWG. No. 1 OF 1

REV#	DATE	BY	CH.	DESCRIPTION
0.	23 NOV 2017	ML	DSL	ISSUED FOR DP

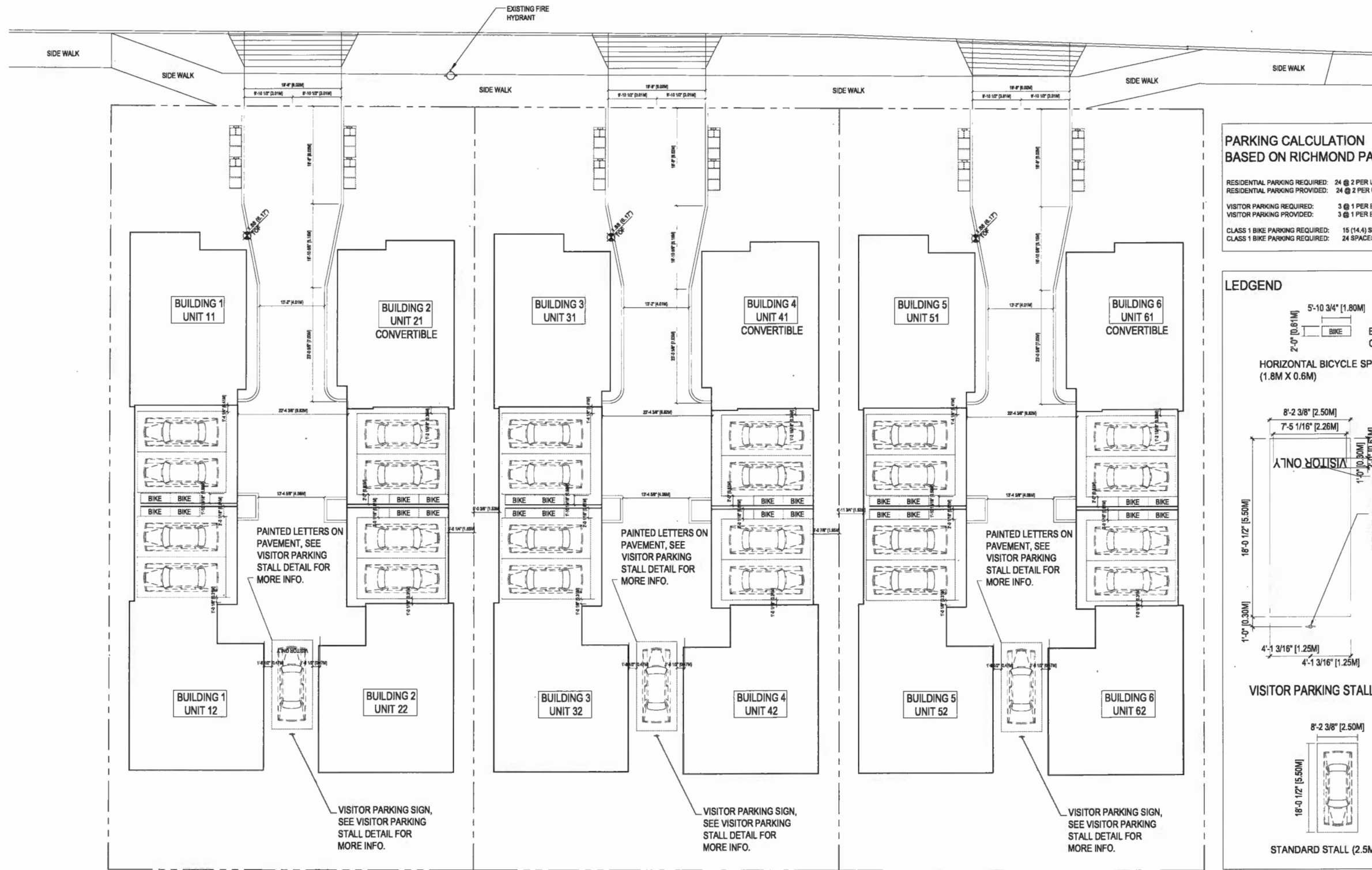


TITLE: LOT GRADING PLAN
 5660, 5680, 5700 WILLIAMS ROAD

DESIGN: ML	DWG. No.:
DRAWN: ML	SCALE: 1:200
CHECKED: DS Lee	DATE: AUG 2017
ENGINEER: DS Lee	SEC. No.: 36-4-7

SHT. No.: 1 of 1

WILLIAMS ROAD

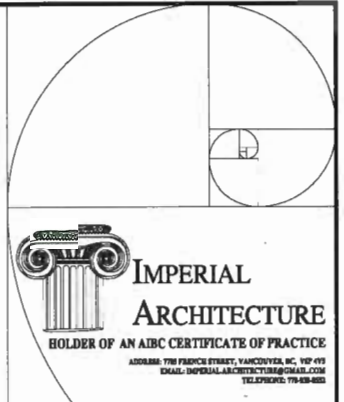


**PARKING CALCULATION
BASED ON RICHMOND PARKING BYLAW**

RESIDENTIAL PARKING REQUIRED: 24 @ 2 PER UNIT X 12 UNITS
 RESIDENTIAL PARKING PROVIDED: 24 @ 2 PER UNIT X 12 UNITS

VISITOR PARKING REQUIRED: 3 @ 1 PER EACH 2 LOTS X 6 LOTS
 VISITOR PARKING PROVIDED: 3 @ 1 PER EACH 2 LOTS X 6 LOTS

CLASS 1 BIKE PARKING REQUIRED: 15 (14.4) SPACES @ 1.2 PER UNIT X 12 UNITS
 CLASS 1 BIKE PARKING PROVIDED: 24 SPACES @ 2 PER UNIT X 12 UNITS



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1 PARKING PLAN
A1.6 SCALE 1"=10'-0"

PLAN #2

MAY 22 2018

PLAN #2



DP 17-782861

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Client/Project
DUPLEX DEVELOPMENT FOR

KONIC DEVELOPMENT
5660, 56th Street WILLIAMS ROAD,
RICHMOND, BC

Title
PARKING PLAN

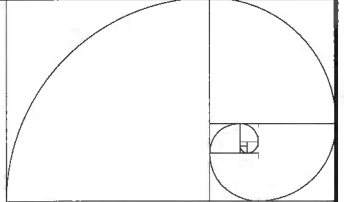
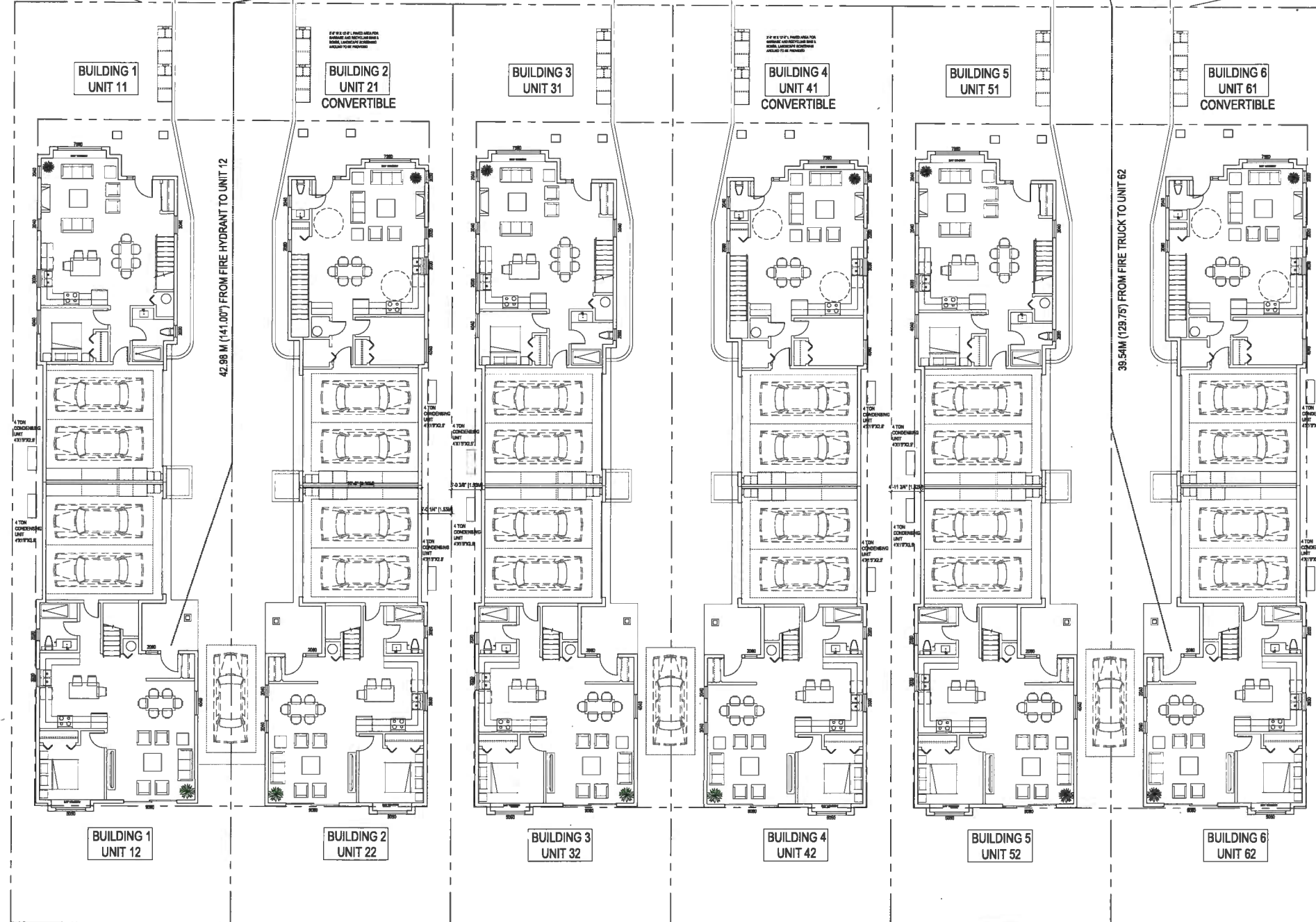
Project No. #8191 Scale 1"=10'-0"
Drawing No. A 1.6 of

WILLIAMS ROAD

FIRE TRUCK

25.30 M (83.00') FROM FIRE HYDRANT TO FIRE TRUCK

EXISTING FIRE HYDRANT

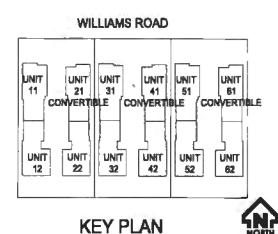


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ISSUED FOR DP RE-SUBMISSION	17.12.05	J.Z.	K.L.
ISSUED FOR DP RE-SUBMISSION	17.09.20	J.Z.	K.L.

ISSUED FOR DP
 RESUBMISSION 2018-04-30

Client/Project
 DUPLEX DEVELOPMENT FOR

KONIG DEVELOPMENT
 5660, 5680, 5700 WILLIAMS ROAD,
 RICHMOND, BC

Title
 FIRE TRUCK ACCESS PLAN

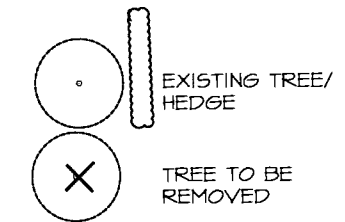
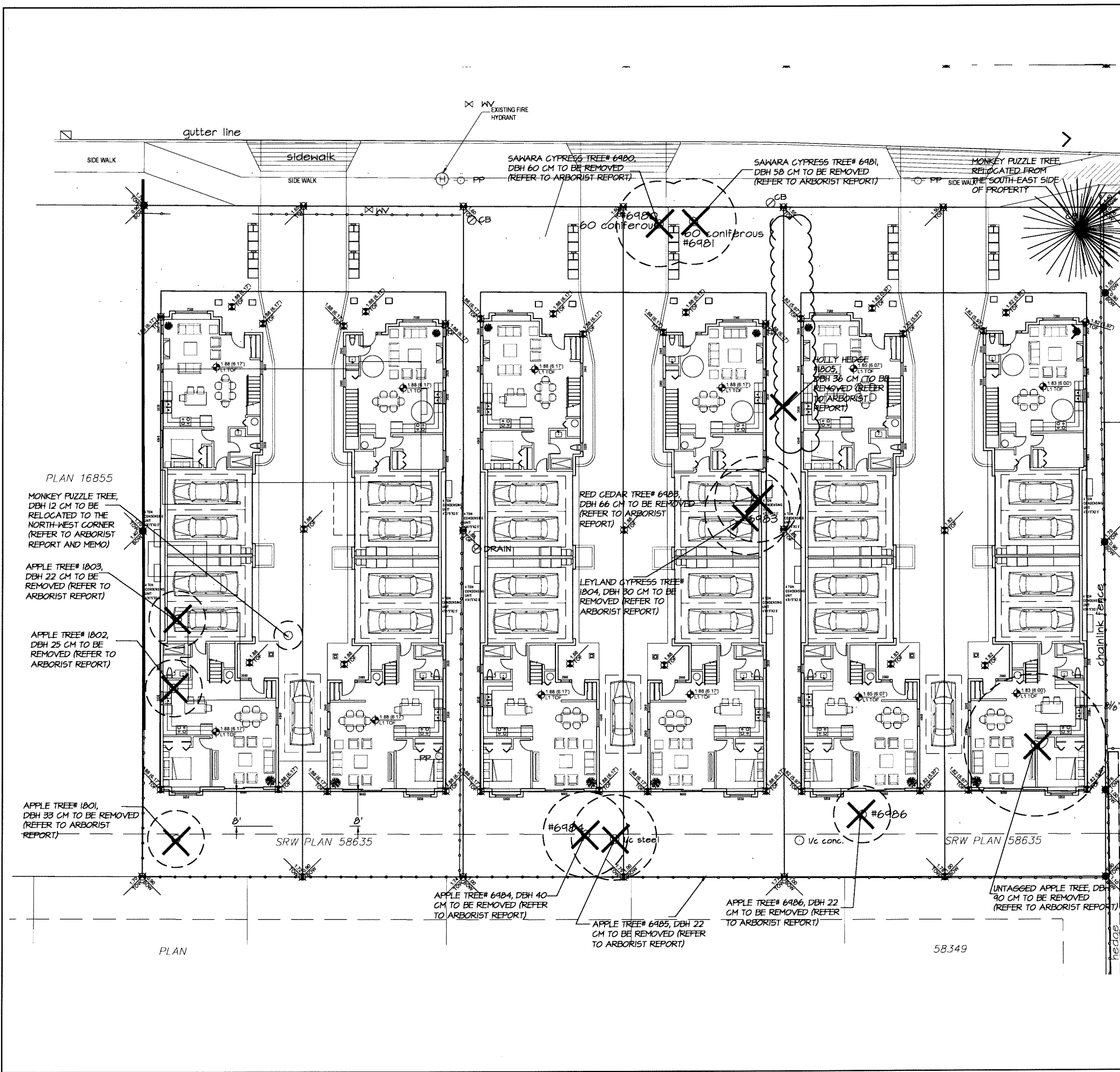
Project No. #8191
 Scale 1"=10'-0"
 Drawing No. A 1.7
 Sheet of
 Revision

1 FIRE TRUCK ACCESS PLAN
 A1.7 SCALE 1"=10'-0"

PLAN # 2A
 MAY 22 2018
 DP 17-782861
 NORTH



#220 - 26 Lorne Mews
 New Westminster, British Columbia
 V3M 3L7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com



Tree Number	Species	DBH cm	Protected tree size	Health	Location	Evaluation
1801	Malus, sp	2 stems 22, 12	y	p	SW	Remove
1802	Malus, sp	25	y	p	SW	Remove
1803	Malus, sp	22	y	g	SW	Remove
6980	Sawara Cypress	2 stems 29, 31	y	g	North	Remove
6981	Sawara Cypress	2 Stems 25, 33	y	g	North	Remove
6983	Western red cedar	66	y	g	Middle	Remove
6984	Malus sp	40	y	m-p	South	Remove
6985	Malus sp	22	y	p	South	Remove
Untagged	Malus sp	Multi estimated at 90 cm	y	P	SE	Remove
1804	Golden Leyland Cypress	30	y	m	Middle	Remove
6986	Malus sp	22	y	p	SE	Remove
1805	Holly	2 stems 21, 15	y	g	Middle	Remove
Untagged	Monkey Puzzle	Under bylaw size	N	G	SW	Transplant

EXISTING TREES: refer to arborist report

# of Trees	Botanical name	Common name	Caliper size
8	<i>Fagus sylvatica dawickii</i>	Dawyck Beech	6 cm
2	<i>Fagus sylvatica dawickii</i>	Dawyck Beech	8 cm
3	<i>Acer griseum</i>	Paperbark Maple	8 cm
2	<i>Liquidambar styraciflua</i>	Sweetgum Slender Silhouette	9 cm
2	<i>Acer saccharum</i>	Goldspire	11 cm

REPLACEMENT TREES: refer to schedule A

NO.	DATE	REVISION DESCRIPTION	BY
1	11.11.17	PRELIMINARY DESIGN	DY
2	11.11.17	SUBMISSION FOR PERMITS	DY
3	11.11.17	REV. AS PER CITY COMMENTS	DY
4	11.11.17	REV. AS PER ARCH COMMENTS	DY
5	11.11.17	REV. AS PER ARCH COMMENTS	DY
6	11.11.17	REV. AS PER ARCH COMMENTS	DY
7	11.11.17	REV. AS PER ARCH COMMENTS	DY
8	11.11.17	REV. AS PER CITY COMMENTS	DY

PROJECT:
 12 UNIT DUPLEXES
 5680 and 5700 Williams Road,
 RICHMOND BC

DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: 2017-JULY-21	DRAWING NUMBER:
SCALE: 3/32" = 1'-0"	L2
DRAWN: DY	OF 8
DESIGN: MM	M2LA PROJECT NUMBER: JOB NO 12 018
CHK'D: MM	

PLAN #3 MAY 22 2018
 DP 17-782861

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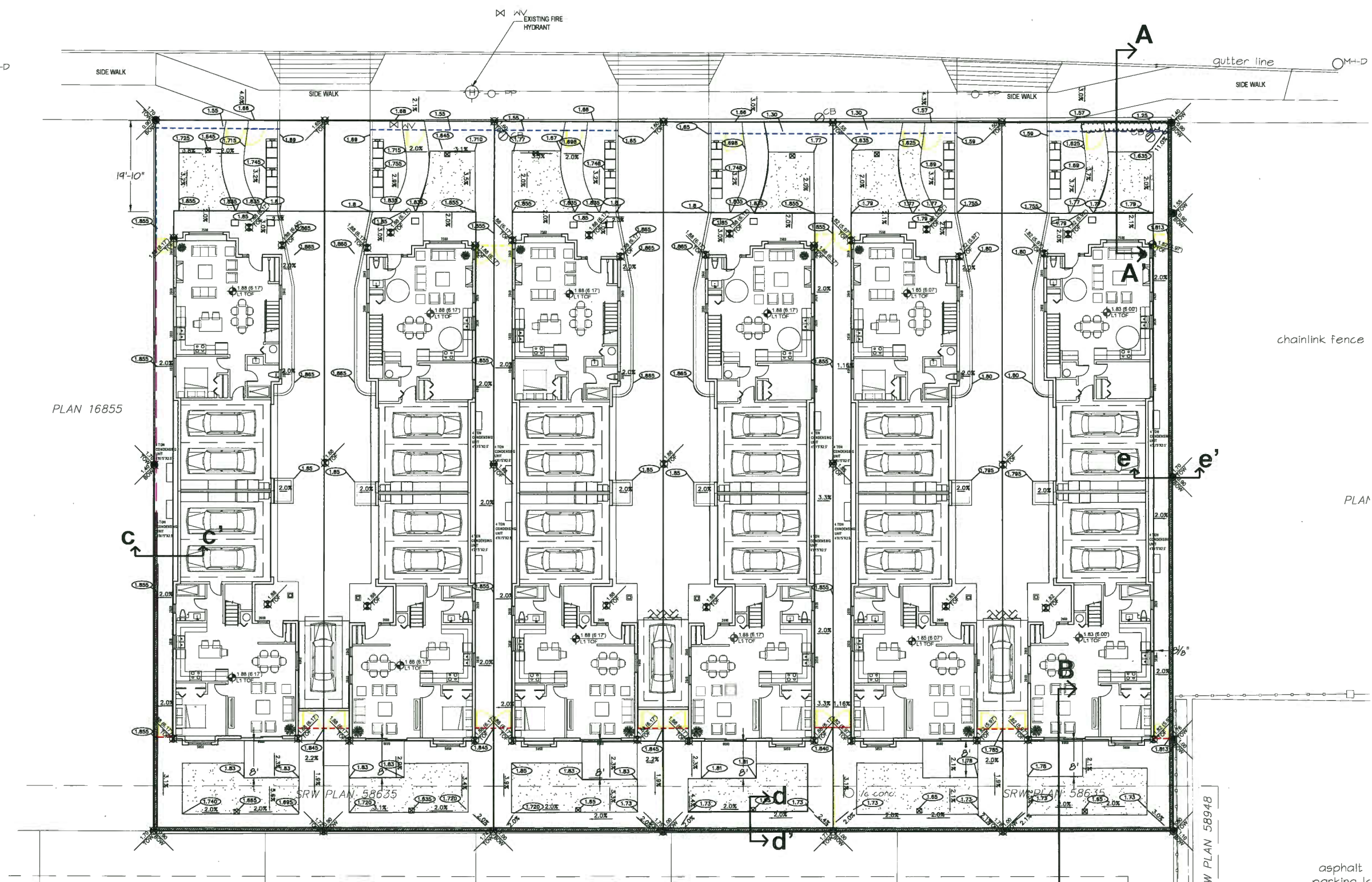
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 New Westminster, British Columbia
 V3M 3L7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	BY
1	11.11.17	PRELIMINARY DESIGN	DY
2	11.11.17	REV. AS PER CITY COMMENTS	DY
3	11.11.17	SUBMISSION FOR I.P.	DY
4	11.11.17	REV. AS PER CITY COMMENTS	DY
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6	11.11.17	REV. AS PER ARCH COMMENTS	DY
7	11.11.17	REV. AS PER ARCH COMMENTS	DY
8	11.11.17	REV. AS PER CITY COMMENTS	DY

PROJECT:
 12 UNIT DUPLEXES
 5680 and 5700 Williams Road,
 RICHMOND BC

DRAWING TITLE:	
GRADING PLAN	
DATE: 2017-11-21	DRAWING NUMBER:
SCALE: 3/32" = 1'-0"	L4
DRAWN: DY	CHK'D: MM
DESIGN: MM	OF 8
MZLA PROJECT NUMBER:	JOB NO 12 018



PLAN 16855

PLAN

PLAN

SRW PLAN 58635

58349

SRW PLAN 58948

PLAN #3A

MAY 22 2018

DP 17-782861

M2 JOB 12018B-18



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 Fax: 604.553.0045
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NO.	DATE	REVISION DESCRIPTION	BY
1	11.11.17	PRELIMINARY DESIGN	DY
2	12.01.18	REV. AS PER CITY COMMENTS	DY
3	12.01.18	SUBMISSION FOR PERMITS	DY
4	12.01.18	REV. AS PER ARCH COMMENTS	DY
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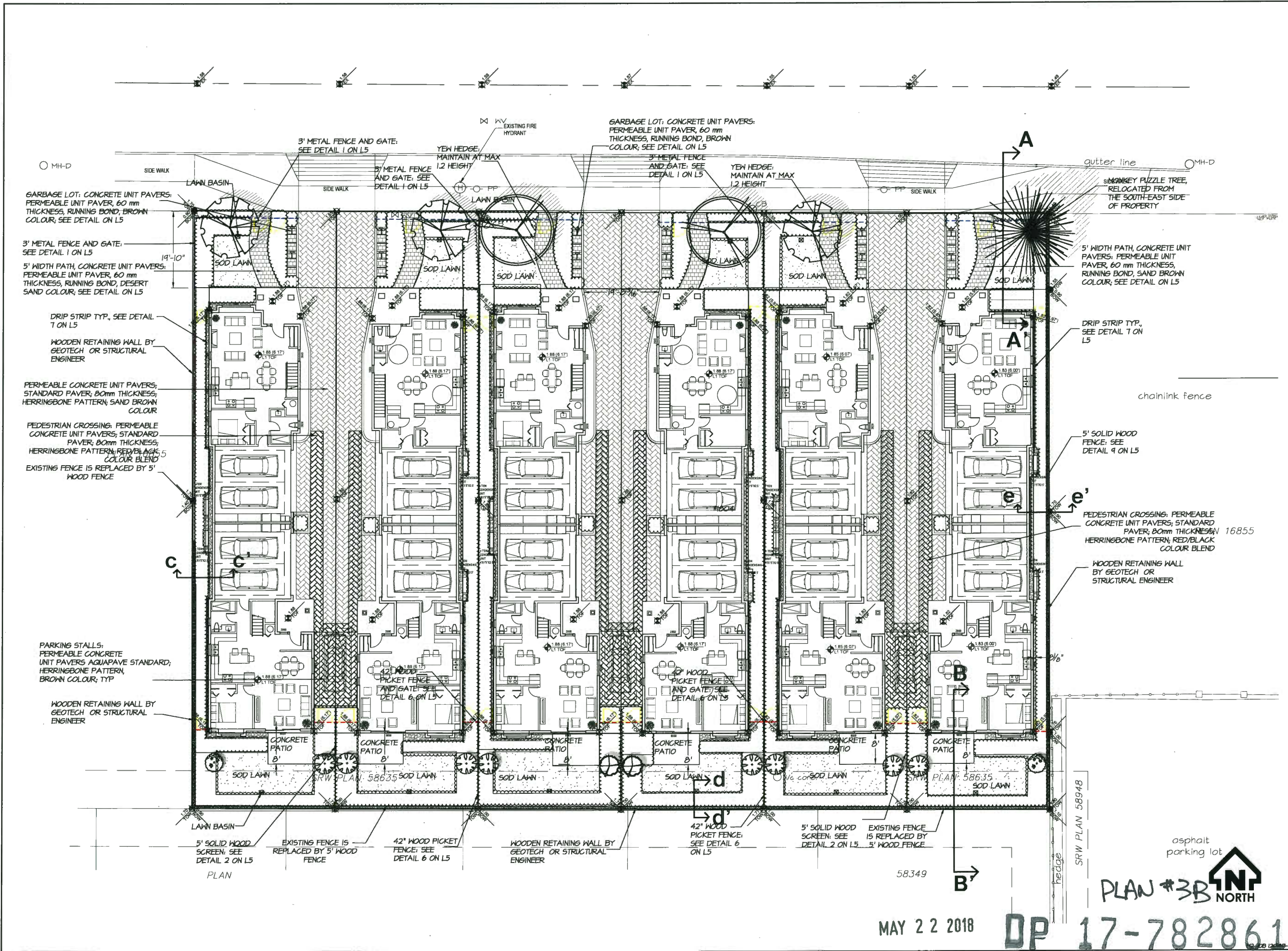
NO. DATE REVISION DESCRIPTION BY

SEAL:

PROJECT:
 12 UNIT DUPLEXES
 5680 and 5700 Williams Road,
 RICHMOND BC

DRAWING TITLE:
SITE PLAN

DATE: 2017-JULY-21	DRAWING NUMBER:
SCALE: 3/32" = 1'-0"	L1
DRAWN: DY	OF 8
DESIGN: MM	
CHK'D: MM	
M2LA PROJECT NUMBER:	JOB NO 12 078



MAY 22 2018

DP 17-782861

PLAN #3B NORTH

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3	12.01.17	SUBMISSION FOR LP	DY
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5	12.01.17	REV. AS PER ARCH COMMENTS	DY
6	12.01.17	REV. AS PER ARCH COMMENTS	DY
7	12.01.17	REV. AS PER ACP COMMENTS	DY
8	12.01.17	REV. AS PER CITY COMMENTS	DY

SEAL:

PROJECT:
 12 UNIT DUPLEXES
 5680 and 5700 Williams Road,
 RICHMOND BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 2017-JULY-21 DRAWING NUMBER:

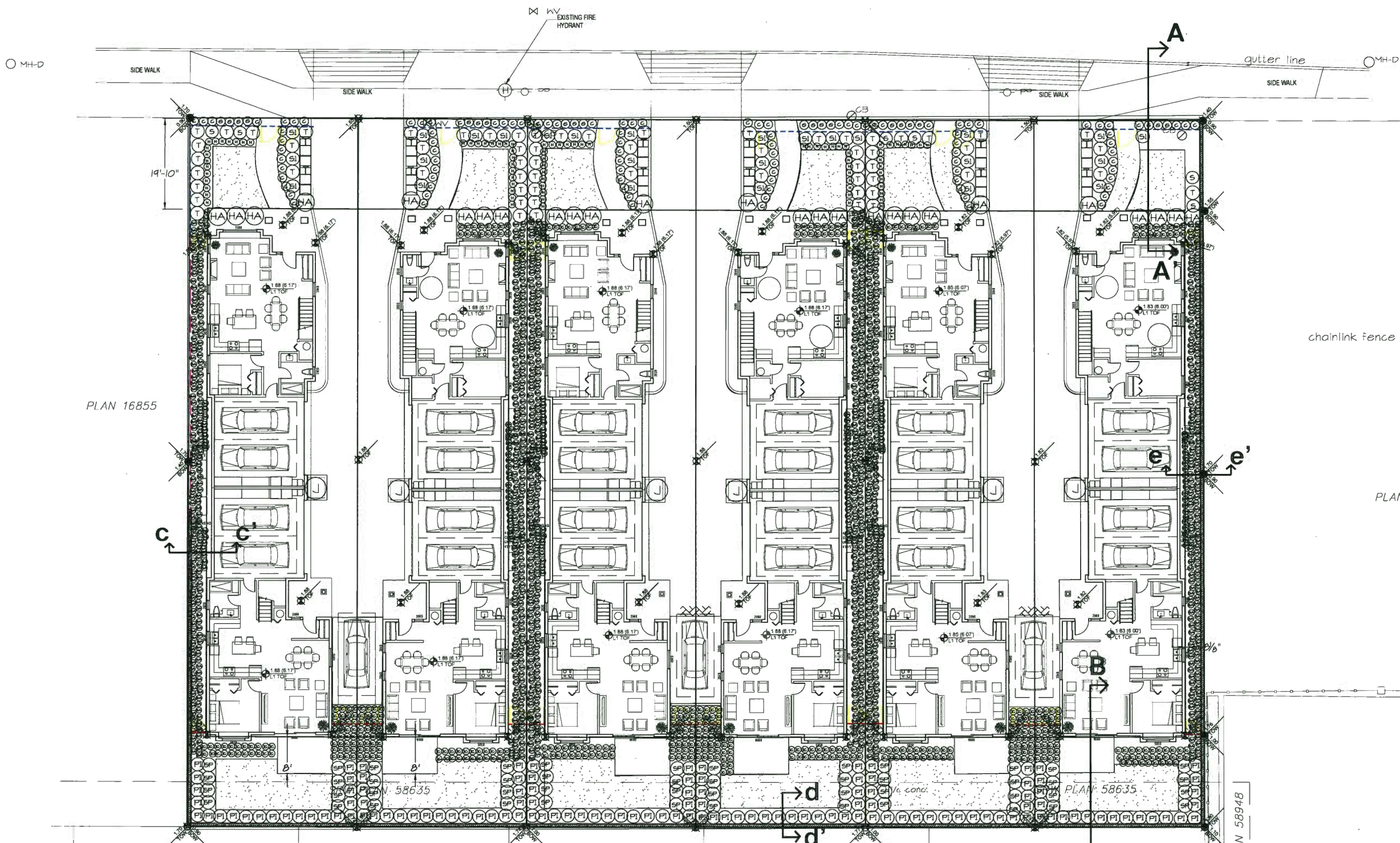
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DRAWN: DY

DESIGN: MM

CHK'D: MM

M2LA PROJECT NUMBER: JOB NO 12 018



PLAN 16855

PLAN

PLAN

asphalt parking lot

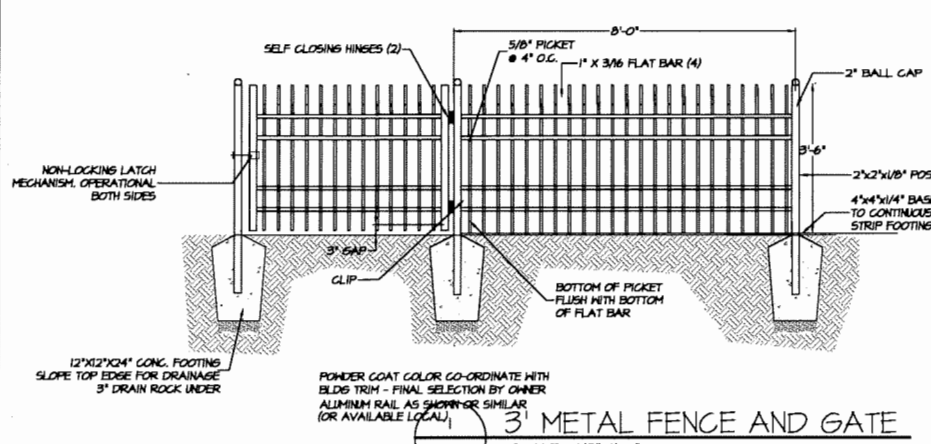
SRW PLAN 5894B

PLAN *3C

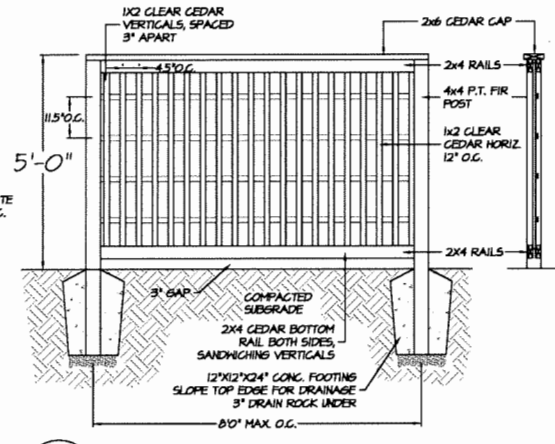
MAY 22 2018 DP 17-782861



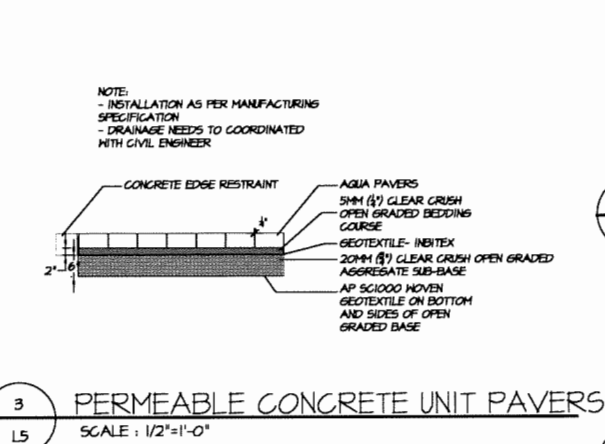
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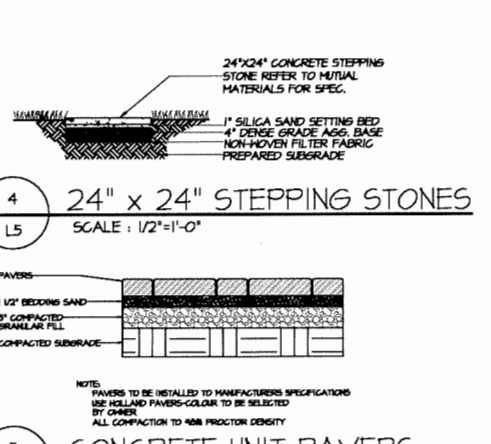
3' METAL FENCE AND GATE
SCALE: 1/2"=1'-0"



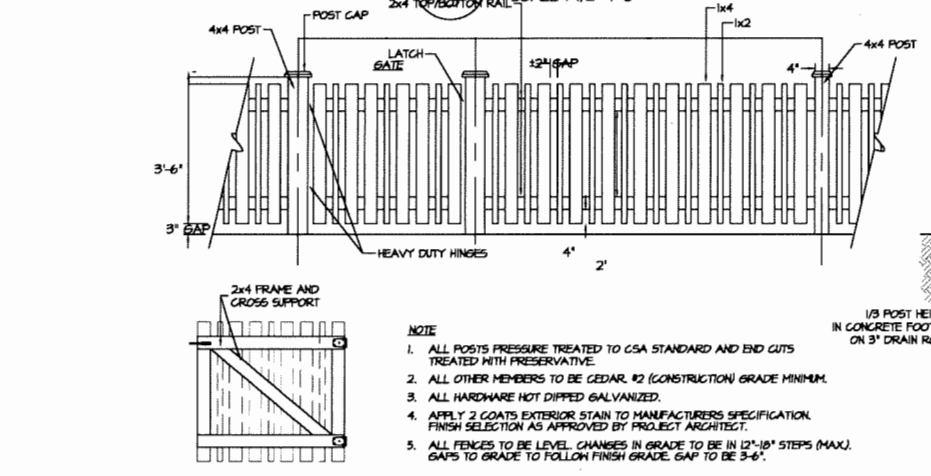
5' PRIVACY WOOD SCREEN
SCALE: 1/2"=1'-0"



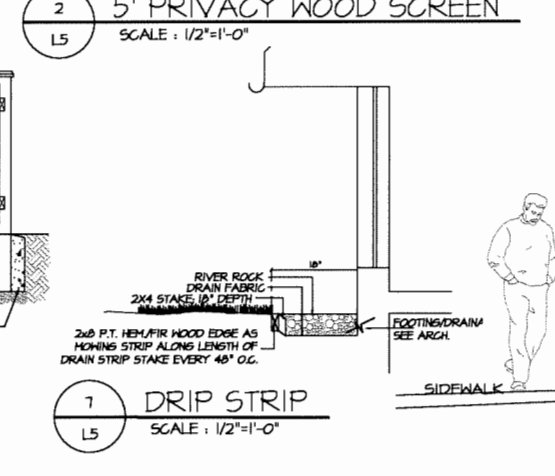
PERMEABLE CONCRETE UNIT PAVERS
SCALE: 1/2"=1'-0"



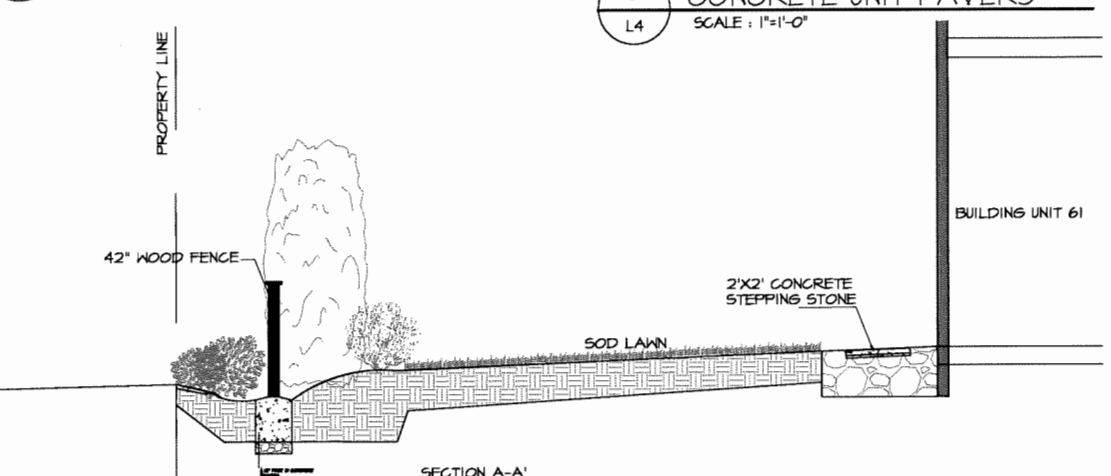
CONCRETE UNIT PAVERS
SCALE: 1"=1'-0"



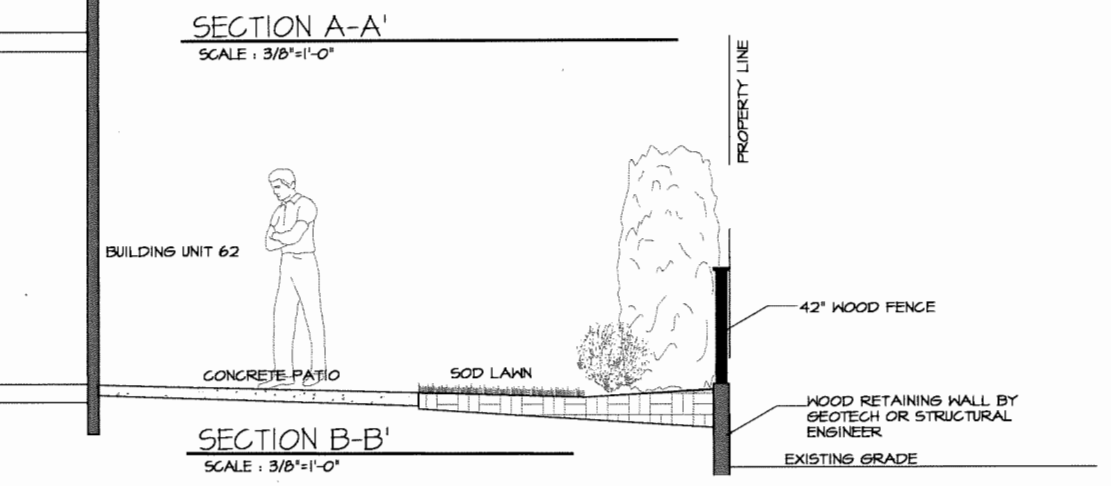
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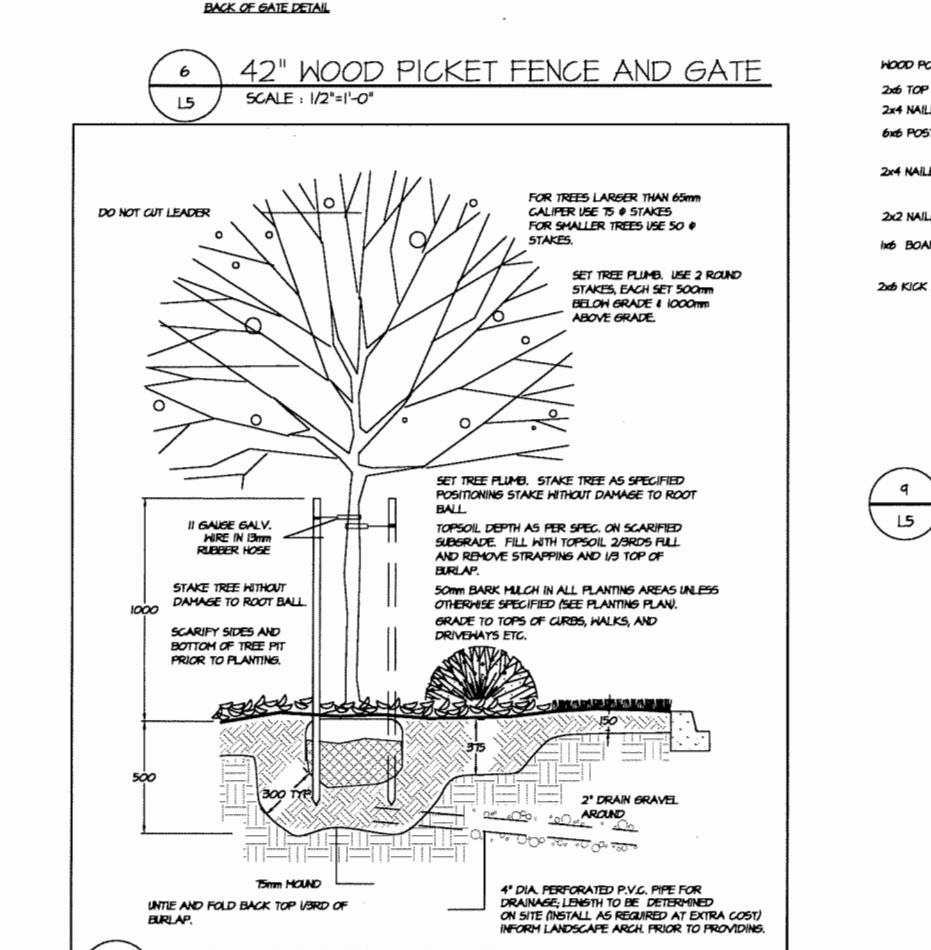
DRIP STRIP
SCALE: 1/2"=1'-0"



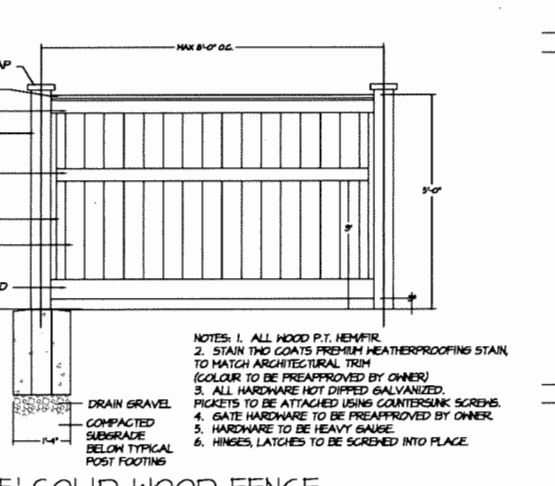
SECTION A-A'
SCALE: 3/8"=1'-0"



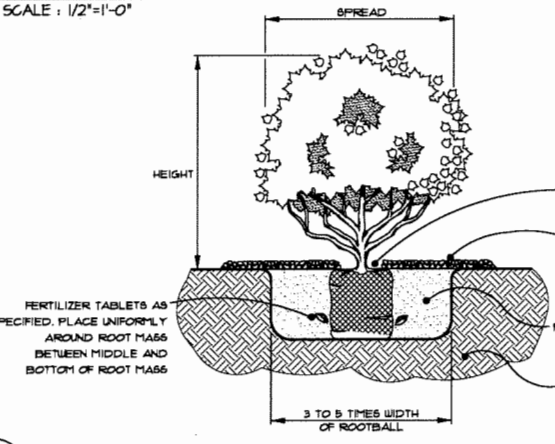
SECTION B-B'
SCALE: 3/8"=1'-0"



TREE PLANTING DETAIL
SCALE: 3/4"=1'-0"



5' SOLID WOOD FENCE
SCALE: 1/2"=1'-0"



SHRUB & GROUND COVER PLANTING DETAIL
SCALE: 1"=1'-0"

KEY	QTY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER: 120188	PLANTED SIZE / REMARKS
TREE	3	ACER GRSESH	PAPERBARK MAPLE		8CM CAL, 1.5M STD, B&B
	2	ACER RUBRUM 'RED SUNSET'	RED BARK MAPLE		11 CM CAL, 2M STD, B&B
	2	FAGUS SYLVATICA 'DANYGKI'	DANYGKI BEECH		8CM CAL, B&B
	2	FAGUS SYLVATICA 'DANYGKI'	DANYGKI BEECH		8CM CAL, B&B
	1	LIQUIDAMBAR STRYACIFLUA 'SLEND. SILK'	SHEET GUM SLIMLINE SILKETT		10CM CAL, 2M STD, B&B
	1	MONKEY PUZZLE	EXISTING/RELOCATED		
SHRUB	21	HYDRANGEA PANGOLATA 'PINK DIAMOND'	PINK DIAMOND HYDRANGEA		15 POT, 60CM
	6	JANPERUS SCORLORUM 'SKYROCKET'	ROCKET MOUNTAIN JINPER 'SKYROCKET'		15 POT, 50CM
	125	PRUNUS LUSITANICA	PORTUGUESE LAUREL		15 POT, 60CM
	45	SPIRAEA SHROBANA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA		12 POT
	6	SPIRAEA X JAPONICA 'MAGIC CARPET'	MAGIC CARPET SPIRAEA, PINK-PURPLE		12 POT, 40CM
	26	SPIRAEA X JAPONICA 'SHROBANA'	SHROBANA SPIRAEA, WHITE-ROSE		12 POT, 40CM
	61	TAXUS X MEDIA 'HILLI'	HILL'S YEW		12 POT, 80 CM
GRASS	41	CAREX MORRISONI 'AUREO VARIEGATA'	GOLDEN VARIEGATED JAPANESE SEDGE		11 POT
PERENNIAL	21	HEUGHERIA 'PALACE PURPLE'	CORAL BELLS PALACE PURPLE		11 POT
GC	80	ERICA CARNEA 'SPRINGHOOD PINK'	HEATH		11 POT
	404	ISOTOMA FLUMINATIS	BLUE STAR GREENER		11 POT
	146	SAGINA SABELLATA	SCOTCH MOSS		11 POT, 25CM

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

NO.	DATE	REVISION DESCRIPTION	BY
8	18/MAR/21	REV. AS PER CITY COMMENTS	DY
7	18/MAR/21	REV. AS PER ACP COMMENTS	DY
6	18/MAR/21	REV. AS PER ACP COMMENTS	DY
5	18/MAR/21	REV. AS PER ACP COMMENTS	DY
4	18/MAR/21	REV. AS PER ACP COMMENTS	DY
3	18/MAR/21	REVISION FOR DP	DY
2	18/MAR/21	REV. AS PER CITY COMMENTS	DY
1	17/MAR/21	PRELIMINARY DESIGN	DY

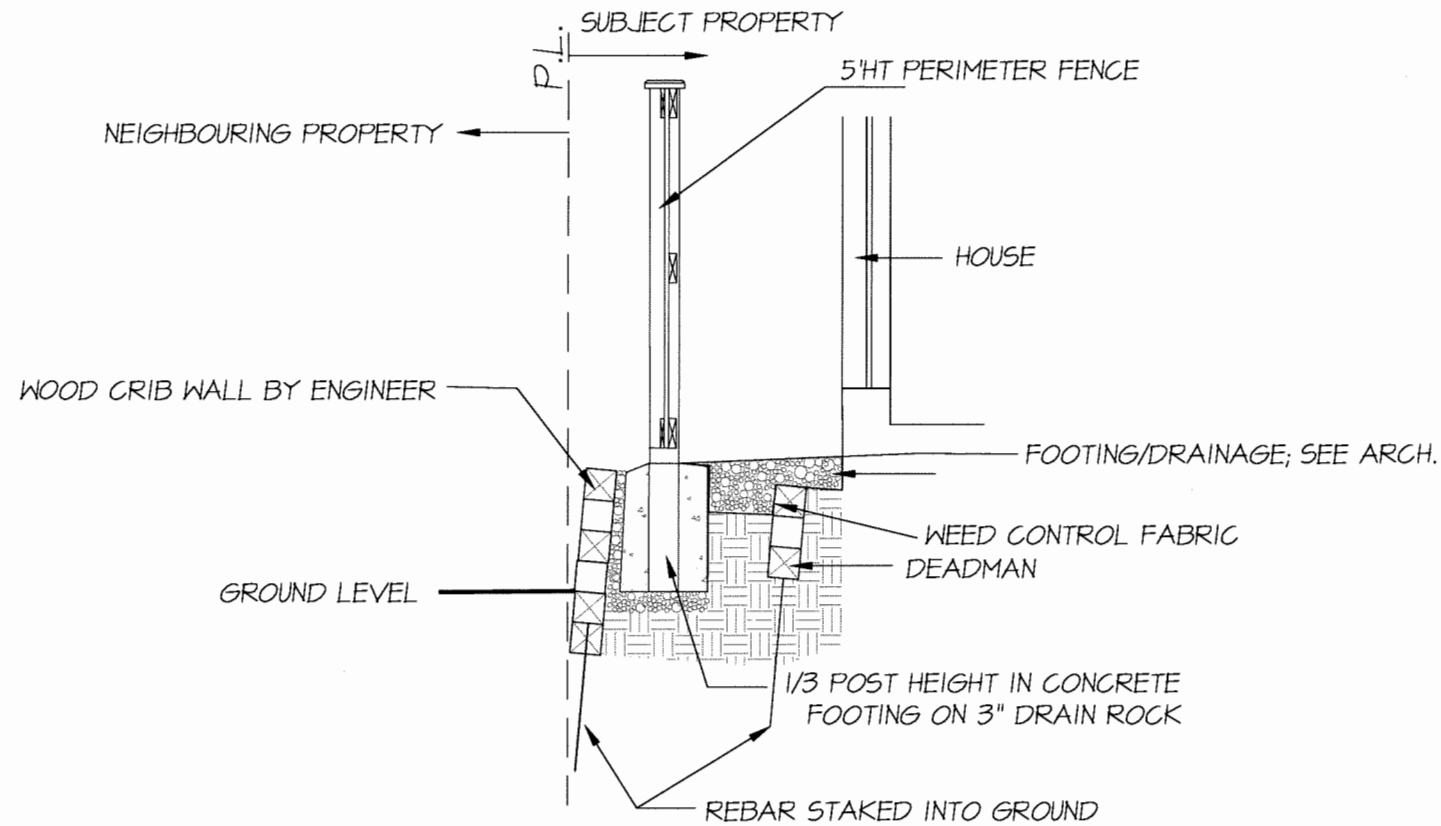
PROJECT:
12 UNIT DUPLEXES
5680 and 5700 Williams Road,
RICHMOND BC

LANDSCAPE DETAILS SECTIONS

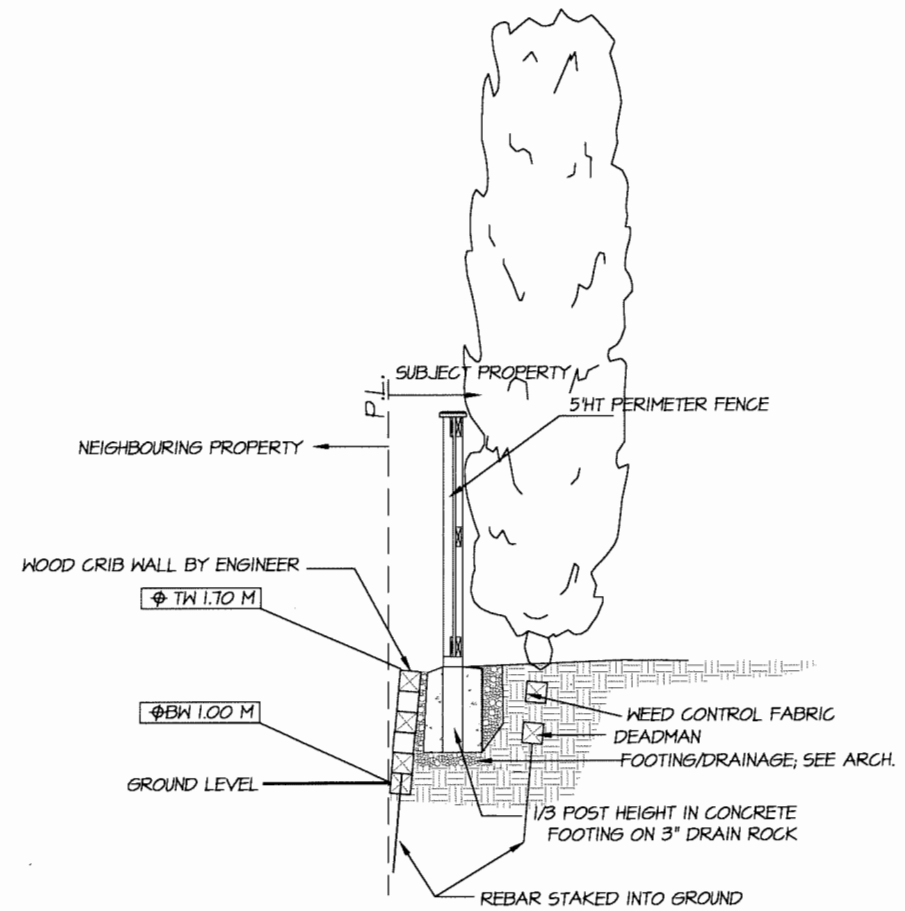
DATE: 2017-JULY-21
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DRAWN: DY
DESIGN: MM
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M2LA PROJECT NUMBER: JOB NO 12 018



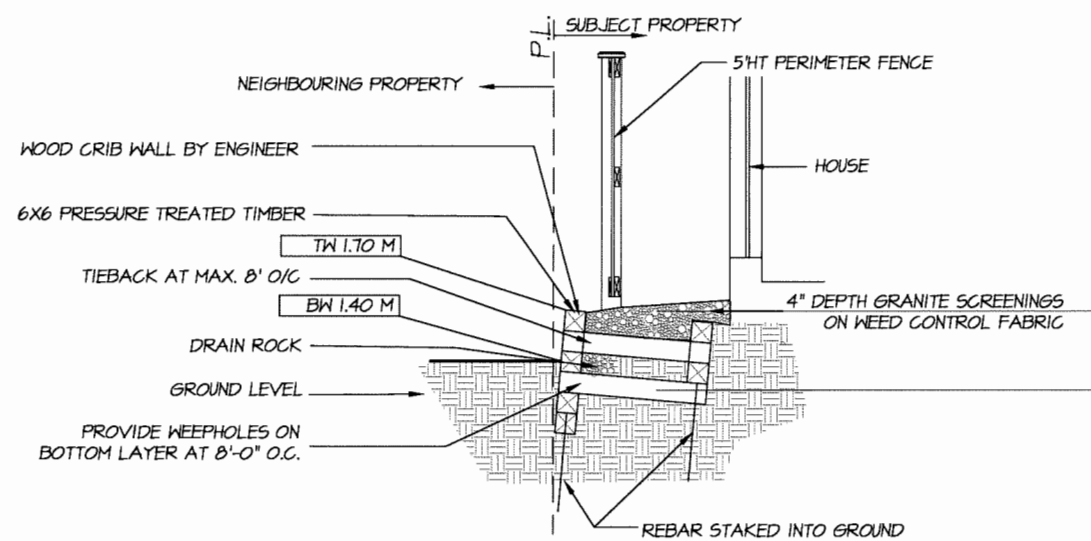
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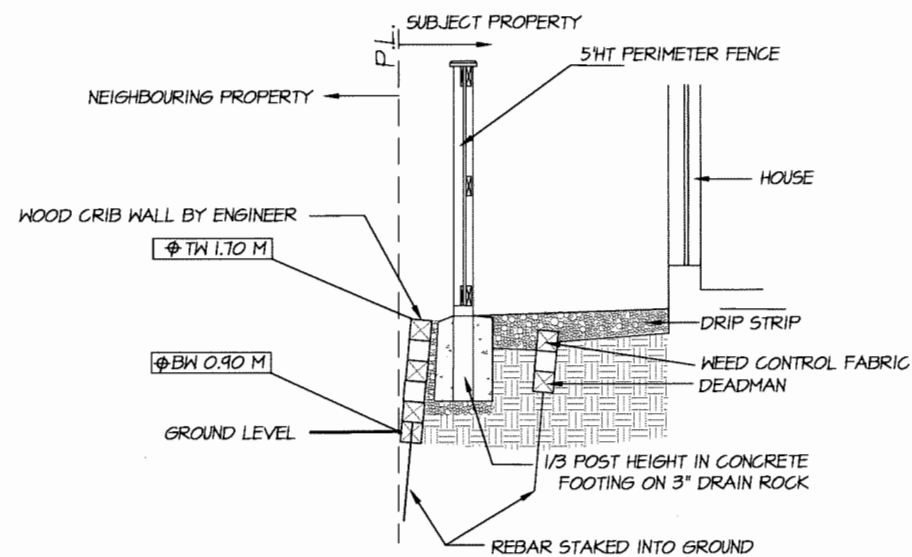
TYPICAL RETAINING WALL AND FENCE CROSS-SECTION (THROUGH THE FENCE POST)
 SCALE: 3/4"=1'-0"



SOUTH SIDE RETAINING WALL AND FENCE CROSS-SECTION d-d'
 (THROUGH THE FENCE POST)
 SCALE: 1/2"=1'-0"



WEST SIDE RETAINING WALL AND FENCE CROSS-SECTION c-c'
 (THROUGH THE FENCE POST)
 SCALE: 1/2"=1'-0"



WEST SIDE RETAINING WALL AND FENCE CROSS-SECTION e-e'
 (THROUGH THE FENCE POST)
 SCALE: 1/2"=1'-0" MAY 22 2018

NO.	DATE	REVISION DESCRIPTION	DY
1	17.11.21	PRELIMINARY DESIGN	DY
2	17.01.22	REV. AS PER CITY COMMENTS	DY
3	17.02.22	SUBMISSION FOR DP	DY
4	17.02.22	REV. AS PER CITY COMMENTS	DY
5	18.01.22	REV. AS PER ARCH COMMENTS	DY
6	18.02.22	REV. AS PER ADP COMMENTS	DY
7	18.02.22	REV. AS PER ADP COMMENTS	DY
8	18.04.22	REV. AS PER CITY COMMENTS	DY

SEAL:

PROJECT:
 12 UNIT DUPLEXES
 5680 and 5700 Williams Road,
 RICHMOND BC

DRAWING TITLE:
LANDSCAPE SECTIONS

DATE: 2017-JULY-21	DRAWING NUMBER:
SCALE: -	L7
DRAWN: DY	
DESIGN: MM	
CHK'D: MM	
M2LA PROJECT NUMBER:	JOB NO 12 018

PLAN #3E DP 17-782861

PART ONE GENERAL REQUIREMENTS

- 1.1 REFERENCES
1.2 SITE REVIEW
1.3 SUBMITTALS
1.4 SITE REVIEW
1.5 WORKSHOP
1.6 WARRANTIES

PART TWO SCOPE OF WORK

- 2.1 SCOPE OF WORK
2.2 Work includes supply of all related trees and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:
2.3 MATERIALS
2.4 TABLE ONE: PROPERTIES OF GROWING MEDIA FOR LEVEL 2 GROWN AND LEVEL 3 MODERATE AREAS
2.5 TABLE TWO: PROPERTIES OF GROWING MEDIA FOR LEVEL 2 GROWN AND LEVEL 3 MODERATE AREAS

PART THREE SOFT LANDSCAPE DEVELOPMENT

- 3.1 RETENTION OF EXISTING TREES
3.2 GRADING
3.3 LANDSCAPE DRAINAGE
3.4 GROWING MEDIUM TESTING
3.5 GROWING MEDIUM SUPPLY AND PLACEMENT
3.6 SOFT GRASS AREA - SEEDING

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.7 PLANTS AND PLANTING
3.8 PLANTING AND PLANTING
3.9 PLANTING AND PLANTING
3.10 PLANTING AND PLANTING

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.11 ESTABLISHMENT MAINTENANCE
3.12 ESTABLISHMENT MAINTENANCE
3.13 ESTABLISHMENT MAINTENANCE

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Table with columns: NO., DATE, REVISION DESCRIPTION, DY. Contains a list of revision entries.

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PROJECT:

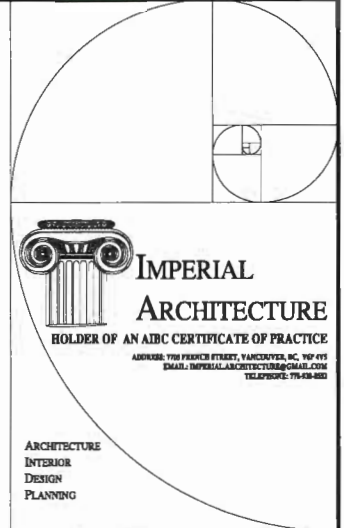
12 UNIT DUPLEXES
5680 and 5700 Williams Road,
RICHMOND BC

DRAWING TITLE:

LANDSCAPE SPECIFICATIONS

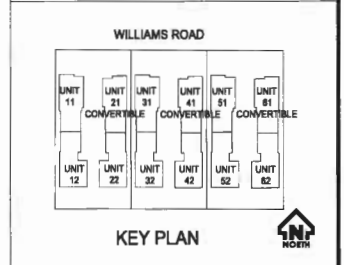
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PLAN # 3F
MAY 22 2018
OP 17-782861



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DATE	BY	SCALE	REVISION
ISSUED FOR POST ADP SUBMISSION	J.Z.	K.L.	18.03.28
ISSUED FOR ADP REVIEW	J.Z.	K.L.	18.07.07
ISSUED FOR DP SUBMISSION	J.Z.	K.L.	17.12.20
ISSUED FOR DP SUBMISSION	J.Z.	K.L.	17.08.20

ISSUED FOR DP RESUBMISSION 2018-04-30

Client/Project
 DUPLEX DEVELOPMENT FOR

5660, 5680, 5700 WILLIAMS ROAD,
 RICHMOND, BC

Title
 ELEVATIONS &
 EXTERIOR FINISH MATERIALS

Project No. Scale
 #8191 1/8"=1'-0"

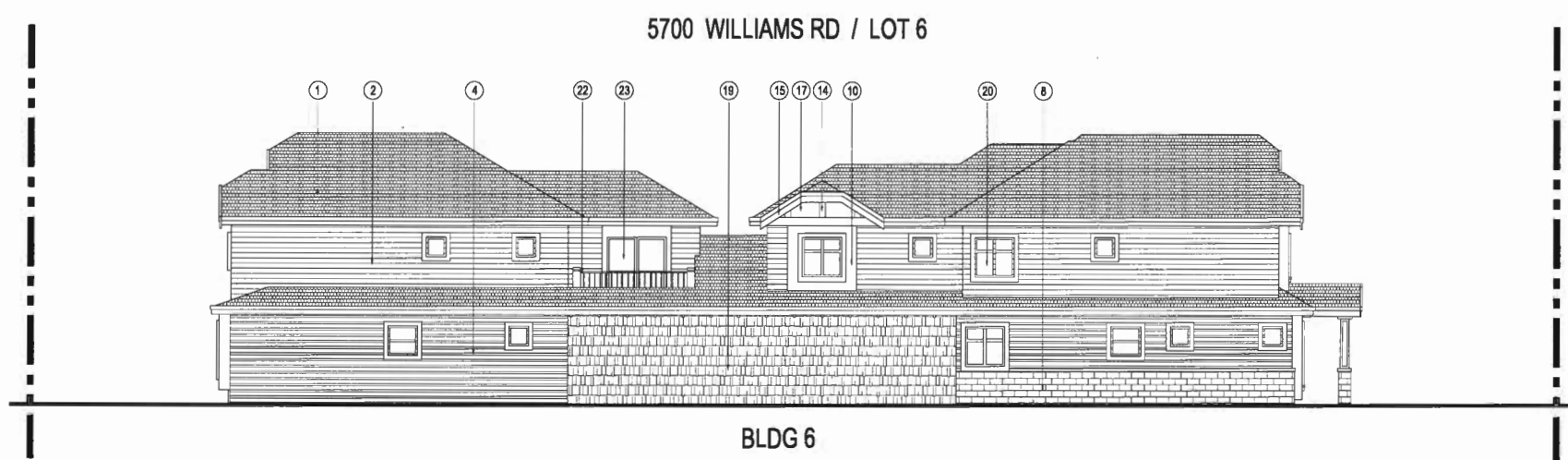
Drawing No. Sheet Revision
 A 3.0



1 FRONT ELEVATIONS & EXTERIOR FINISH MATERIAL
 SCALE 1/8"=1'-0"



2 REAR ELEVATIONS & EXTERIOR FINISH MATERIAL
 SCALE 1/8"=1'-0"



3 BLDG 6 EAST ELEVATION & EXTERIOR FINISH MATERIAL
 SCALE 1/8"=1'-0"

EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. COMPOSITE LAP SIDING (LIGHT GREY)
3. COMPOSITE LAP SIDING (LIGHT BROWN)
4. COMPOSITE LAP SIDING (DARK GREY)
5. COMPOSITE LAP SIDING (DARK BROWN)
6. COMPOSITE LAP SIDING (LIGHT RED)
7. COMPOSITE LAP SIDING (DARK RED)
8. CULTURAL STONE CLADDING (DARK GREY)
9. CULTURAL STONE CLADDING (DARK BROWN)
10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)
11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
12. SOLID WOOD UNIT ENTRY DOOR (WHITE)
13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN)
14. WOOD TRIM (WHITE)
15. FASCIA BOARD (WHITE)
16. FASCIA BOARD (DARK BROWN)
17. HARDIE BOARD (DARK GREY)
18. HARDIE BOARD (LIGHT BROWN)
19. HARDIE SHAKE (LIGHT BROWN)
20. DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME
21. DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME
22. ALUMINUM RAILING (WHITE)
23. SLIDING DOOR WITH CLEAR TEMPERED GLAZING

PLAN #4 DP 17-782861
 PLAN #4
 MAY 22 2018



BLDG 6 5700 WILLIAMS RD BLDG 5 BLDG 4 5680 WILLIAMS RD BLDG 3 BLDG 2 5660 WILLIAMS RD BLDG 1

1 FRONT ELEVATIONS & EXTERIOR FINISH MATERIAL
SCALE 1/8"=1'-0"



BLDG 1 5660 WILLIAMS RD BLDG 2 BLDG 3 5680 WILLIAMS RD BLDG 4 BLDG 5 5700 WILLIAMS RD BLDG 6

2 REAR ELEVATIONS & EXTERIOR FINISH MATERIAL
SCALE 1/8"=1'-0"

5700 WILLIAMS RD / LOT 6



3 BLDG 6 EAST ELEVATION & EXTERIOR FINISH MATERIAL
SCALE 1/8"=1'-0"

EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. COMPOSITE LAP SIDING (LIGHT GREY)
3. COMPOSITE LAP SIDING (LIGHT BROWN)
4. COMPOSITE LAP SIDING (DARK GREY)
5. COMPOSITE LAP SIDING (DARK BROWN)
6. COMPOSITE LAP SIDING (LIGHT RED)
7. COMPOSITE LAP SIDING (DARK RED)
8. CULTURAL STONE CLADDING (DARK GREY)
9. CULTURAL STONE CLADDING (DARK BROWN)
10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)
11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
12. SOLID WOOD UNIT ENTRY DOOR (WHITE)
13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN)
14. WOOD TRIM (WHITE)
15. FASCIA BOARD (WHITE)
16. FASCIA BOARD (DARK BROWN)
17. HARDIE BOARD (DARK GREY)
18. HARDIE BOARD (LIGHT BROWN)
19. HARDIE SHAKE (LIGHT BROWN)
20. DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME
21. DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME
22. ALUMINUM RAILING (WHITE)
23. SLIDING DOOR WITH CLEAR TEMPERED GLAZING

PLAN #4A

MAY 22 2018

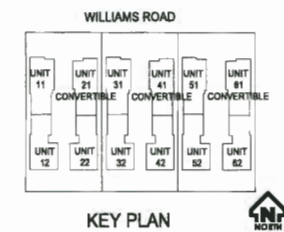
DP 17-782861

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INTERIOR DESIGN
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ISSUED FOR ACP REVIEW	18.03.20	J.Z.	K.L.
ISSUED FOR DP SUBMISSION	17.12.20	J.Z.	K.L.
ISSUED FOR DP SUBMISSION	17.08.20	J.Z.	K.L.

ISSUED FOR DP RESUBMISSION 2018-04-30

Client/Project
DUPLEX DEVELOPMENT FOR

KONIC DEVELOPMENT
5660, 5680, 5700 WILLIAMS ROAD,
RICHMOND, BC

Title
COLORED ELEVATIONS & EXTERIOR FINISH MATERIALS

Project No. Scale
#8191 1/8"=1'-0"

Drawing No. Sheet Revision
A 3.0A of



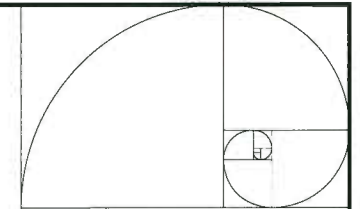
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COLOR RENDERING (EYE-LEVEL STREET VIEW - EAST ELEVATION OF BUILDING 6)



COLOR RENDERING (EYE-LEVEL STREET VIEW - WEST ELEVATION OF BUILDING 1)



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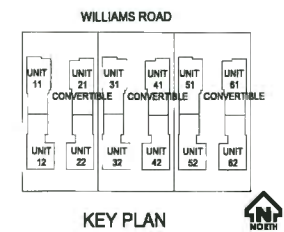
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Issued	By	Appd.	YY.MM.DD

ISSUED FOR DP
 RESUBMISSION 2018-04-30

Client/Project
 DUPLEX DEVELOPMENT FOR



5660, 5680, 5700 WILLIAMS ROAD,
 RICHMOND, BC

Title
 COLOR RENDERING
 (EYE LEVEL STREET VIEWS)

Project No. Scale
 #8191 N.T.S.

Drawing No. Sheet Revision
 A0.1 of

PLAN # 4B MAY 22 2018
 DP 17-782861



COLOR RENDERING (BIRD-EYE VIEW - FROM WILLIAMS)



COLOR RENDERING (BIRD-EYE VIEW - FROM WILLIAMS)



COLOR RENDERING (BIRD-EYE VIEW - FROM FRONT YARDS)



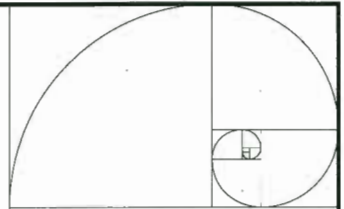
COLOR RENDERING (BIRD-EYE VIEW - FROM REAR YARDS)



COLOR RENDERING (BIRD-EYE VIEW - FROM REAR YARDS)



COLOR RENDERING (BIRD-EYE VIEW - FROM FRONT YARDS)



IMPERIAL ARCHITECTURE
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 EMAIL: IMPERIAL_ARCHITECTURE@GMAIL.COM
 TELEPHONE: 78-88-888

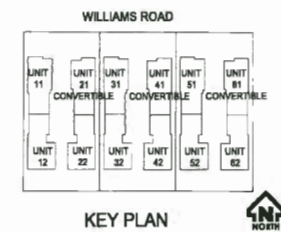
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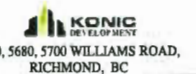


KEY PLAN

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ISSUED FOR DP RE-SUBMISSION	J.Z.	K.L.	17.12.20
ISSUED FOR DP SUBMISSION	J.Z.	K.L.	17.08.20
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ISSUED FOR DP RESUBMISSION 2018-04-30

Client/Project
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5660, 5680, 5700 WILLIAMS ROAD,
 RICHMOND, BC

MAY 22 2018

COLOR RENDERING (BIRD-EYE VIEWS)

Project No. #8191 Scale N.T.S.

Drawing No. A0.2 of

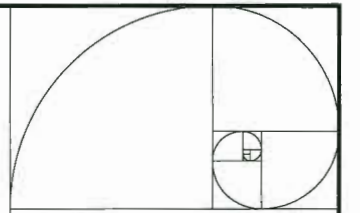
PLAN #4C
 DP 17-782861

5660, 5680, 5700 WILLIAMS ROAD, RICHMOND, BC



EXTERIOR FINISH SCHEDULE

1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. COMPOSITE LAP SIDING (LIGHT GREY)
3. COMPOSITE LAP SIDING (LIGHT BROWN)
4. COMPOSITE LAP SIDING (DARK GREY)
5. COMPOSITE LAP SIDING (DARK BROWN)
6. COMPOSITE LAP SIDING (LIGHT RED)
7. COMPOSITE LAP SIDING (DARK RED)
8. CULTURAL STONE CLADDING (DARK GREY)
9. CULTURAL STONE CLADDING (DARK BROWN)
10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)
11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
12. SOLID WOOD UNIT ENTRY DOOR (WHITE)
13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN)
14. WOOD TRIM (WHITE)
15. FASCIA BOARD (WHITE)
16. FASCIA BOARD (DARK BROWN)
17. HARDIE BOARD (DARK GREY)
18. HARDIE BOARD (LIGHT BROWN)
19. HARDIE SHAKE (LIGHT BROWN)
20. DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME
21. DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME
22. ALUMINUM RAILING (WHITE)
23. SLIDING DOOR WITH CLEAR TEMPERED GLAZING

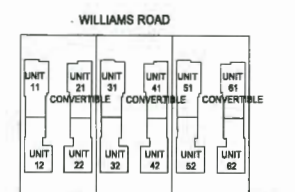


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 HOLDER OF AN ABC CERTIFICATE OF PRACTICE
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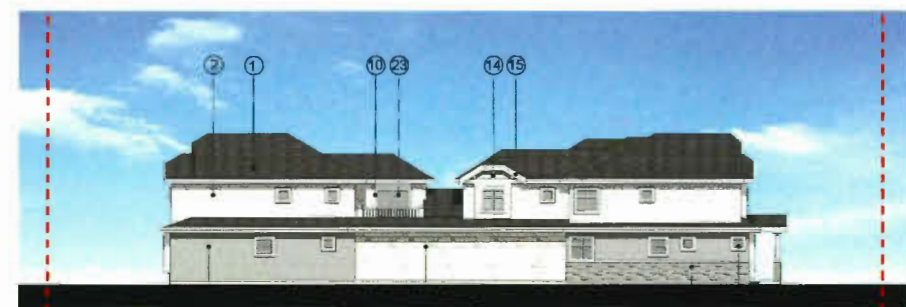
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ISSUED FOR ADP REVIEW	J.Z.	K.C.	18.02.07
ISSUED FOR ADP SUBMISSION	J.Z.	K.C.	17.12.05
ISSUED FOR DP SUBMISSION	J.Z.	K.C.	17.08.20
ISSUED	By	App'd.	TY.M.W.03



WILLIAMS ROAD STREET ELEVATION



STREETSCAPE ALONG THE REAR PROPERTYLINE



BLDG 6 FACING EASTSIDE ELEVATION

ISSUED FOR DP RESUBMISSION 2018-04-30

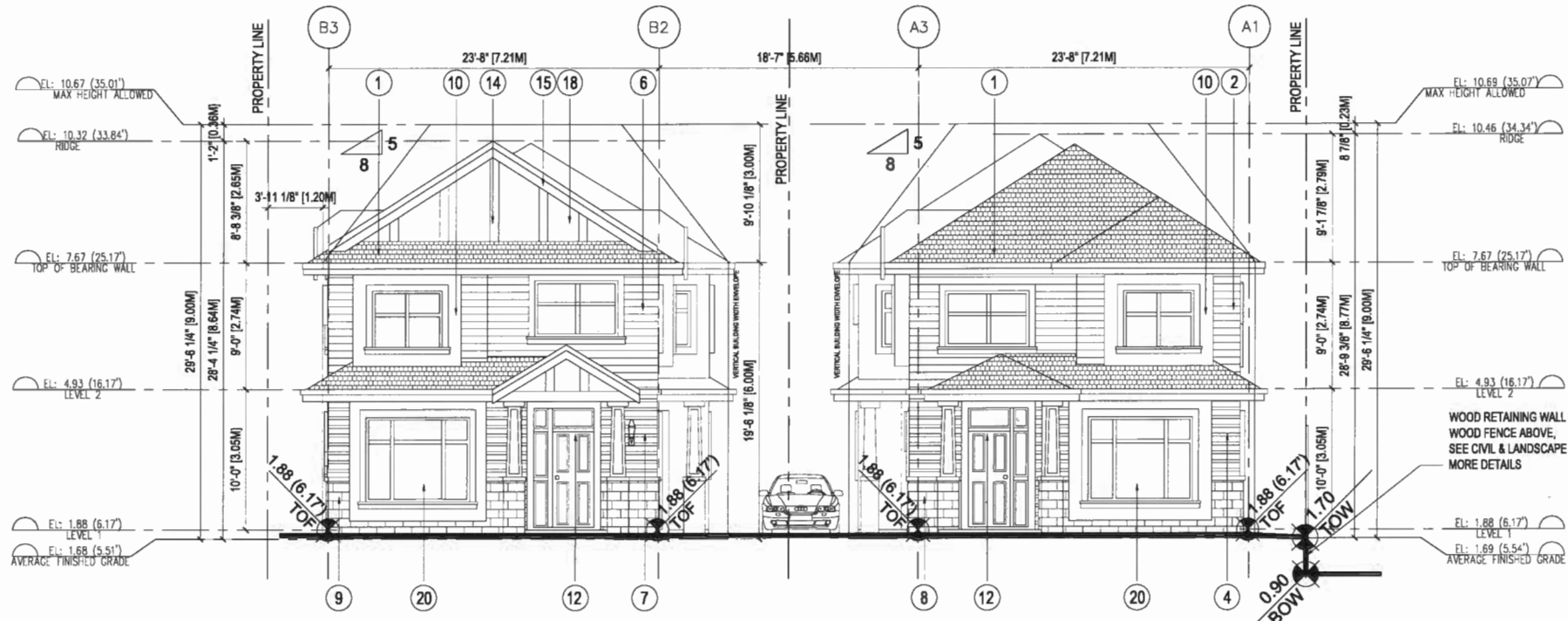
Client/Project
 DUPLEX DEVELOPMENT FOR

 5660, 5680, 5700 WILLIAMS ROAD,
 RICHMOND, BC

Title
 COLOR SAMPLE BOARD

Project No.	Scale	
#8191	N.T.S.	
Drawing No.	Sheet	Revision
A0.3		

PLAN #4D MAY 22 2018
 DP 17-782861



1 UNIT 21 (BLDG 2 ON LOT 2) NORTH ELEVATION
SCALE 3/16"=1'-0"

2 UNIT 11 (BLDG 1 ON LOT 1) NORTH ELEVATION
SCALE 3/16"=1'-0"



3 UNIT 11 (BLDG 1 ON LOT 1) SOUTH ELEVATION
SCALE 3/16"=1'-0"

4 UNIT 21 (BLDG 2 ON LOT 2) SOUTH ELEVATION
SCALE 3/16"=1'-0"

**BLDG 1, 3, 5 SPATIAL SEPARATION CALCULATION
BASED ON PART 9 OF BCBC 2012
NORTH ELEVATION**

9.10.15.4. (1).C
LIMITING DISTANCE: 17.2M (56.5FT) > 1.2M
OPENINGS ALLOWED: 17.2X17.2= 295.8 SM (3184.0 SF)
PROPOSED: 12.1 SM (130.1SF)

9.10.15.5
EXTERIOR WALL TO HAVE 0 HR FIRE RATING
COMBUSTIBLE CONSTRUCTION ALLOWED
COMBUSTIBLE CLADDING ALLOWED

SOUTH ELEVATION

9.10.15.4. (1).C
LIMITING DISTANCE: 8.4M (21.0FT) > 1.2M
OPENINGS ALLOWED: 8.4X8.4= 70.6 SM (758.3 SF)
PROPOSED: 11.2 SM (120.2SF)

9.10.15.5
EXTERIOR WALL TO HAVE 0 HR FIRE RATING
COMBUSTIBLE CONSTRUCTION ALLOWED
COMBUSTIBLE CLADDING ALLOWED

**BLDG 2, 4, 6 SPATIAL SEPARATION CALCULATION
BASED ON PART 9 OF BCBC 2012
NORTH ELEVATION**

TABLE 9.10.15.4. (1).C
LIMITING DISTANCE: 17.5M (57.5FT) > 1.2M
OPENINGS ALLOWED: 17.5X17.5= 306.3 SM (3297.0 SF)
PROPOSED: 11.4 SM (123.1SF)

9.10.15.5
EXTERIOR WALL TO HAVE 0 HR FIRE RATING
COMBUSTIBLE CONSTRUCTION ALLOWED
COMBUSTIBLE CLADDING ALLOWED

SOUTH ELEVATION

TABLE 9.10.15.4. (1).C
LIMITING DISTANCE: 8.3M (20.8FT) > 1.2M
OPENINGS ALLOWED: 8.3X8.3= 39.7 SM (427.2 SF)
PROPOSED: 11.4 SM (122.7SF)

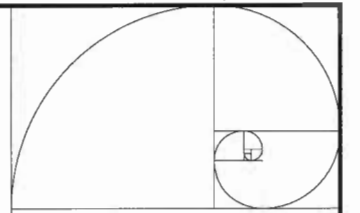
9.10.15.5
EXTERIOR WALL TO HAVE 0 HR FIRE RATING
COMBUSTIBLE CONSTRUCTION ALLOWED
COMBUSTIBLE CLADDING ALLOWED

EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. COMPOSITE LAP SIDING (LIGHT GREY)
3. COMPOSITE LAP SIDING (LIGHT BROWN)
4. COMPOSITE LAP SIDING (DARK GREY)
5. COMPOSITE LAP SIDING (DARK BROWN)
6. COMPOSITE LAP SIDING (LIGHT RED)
7. COMPOSITE LAP SIDING (DARK RED)
8. CULTURAL STONE CLADDING (DARK GREY)
9. CULTURAL STONE CLADDING (DARK BROWN)
10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)
11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
12. SOLID WOOD UNIT ENTRY DOOR (WHITE)
13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN)
14. WOOD TRIM (WHITE)
15. FASCIA BOARD (WHITE)
16. FASCIA BOARD (DARK BROWN)
17. HARDIE BOARD (DARK GREY)
18. HARDIE BOARD (LIGHT BROWN)
19. HARDIE SHAKE (LIGHT BROWN)
20. DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME
21. DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME
22. ALUMINUM RAILING (WHITE)
23. SLIDING DOOR WITH CLEAR TEMPERED GLAZING

PLAN # 4E MAY 22 2018
DP 17-782861



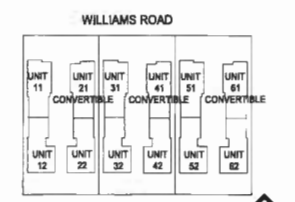
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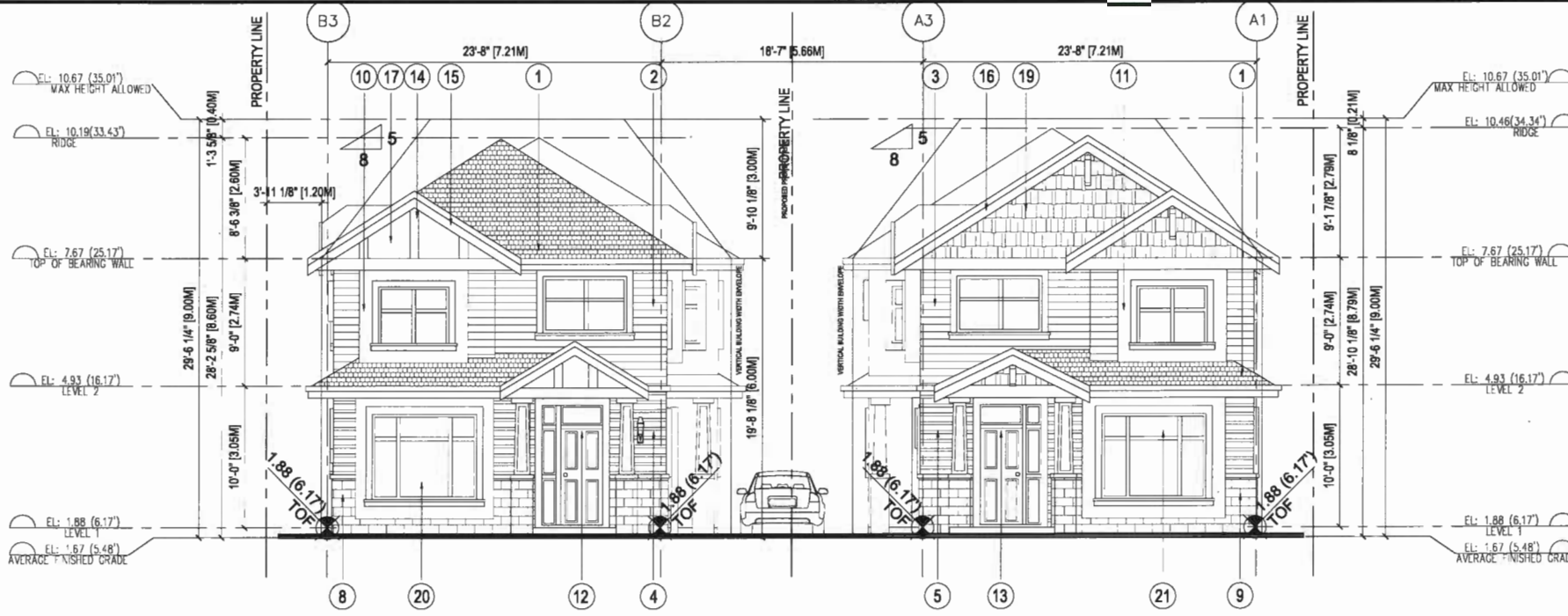
Client/Project
DUPLIX DEVELOPMENT FOR



Title
BLDG 1 & BLDG 2
FRONT & REAR ELEVATIONS

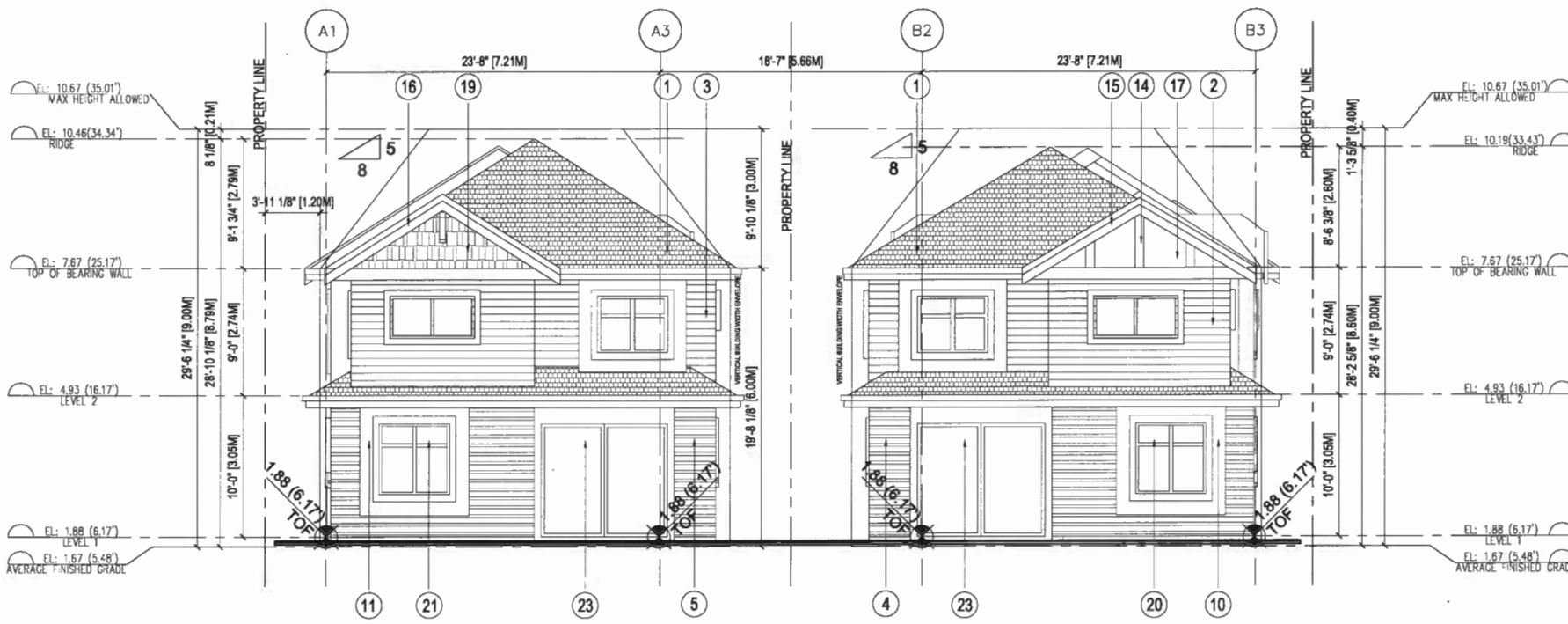
Project No. #8191 Scale 1/4"=1'-0"
Drawing No. Sheet Revision

A 3.1



1 UNIT 41 (BLDG 4 ON LOT 4) NORTH ELEVATION
 A3.2 SCALE 3/16"=1'-0"

2 UNIT 31 (BLDG 3 ON LOT 3) NORTH ELEVATION
 A3.2 SCALE 3/16"=1'-0"



3 UNIT 21 (BLDG 3 ON LOT 3) SOUTH ELEVATION
 A3.2 SCALE 3/16"=1'-0"

4 UNIT 41 (BLDG 4 ON LOT 4) SOUTH ELEVATION
 A3.2 SCALE 3/16"=1'-0"

**BLDG 1, 3, 5 SPATIAL SEPARATION CALCULATION
 BASED ON PART 9 OF BCBC 2012
 NORTH ELEVATION**

9.10.15.4. (1).C
 LIMITING DISTANCE: 17.2M (56.5FT) > 1.2M
 OPENINGS ALLOWED: 17.2X17.2= 295.8 SM (3184.0 SF)
 PROPOSED: 12.1 SM (130.18F)

9.10.15.5
 EXTERIOR WALL TO HAVE 0 HR FIRE RATING
 COMBUSTIBLE CONSTRUCTION ALLOWED
 COMBUSTIBLE CLADDING ALLOWED

SOUTH ELEVATION

9.10.15.4. (1).C
 LIMITING DISTANCE: 6.4M (21.0FT) > 1.2M
 OPENINGS ALLOWED: 8.4X5.4= 45.0 SM (481.3 SF)
 PROPOSED: 11.2 SM (120.25F)

9.10.15.5
 EXTERIOR WALL TO HAVE 0 HR FIRE RATING
 COMBUSTIBLE CONSTRUCTION ALLOWED
 COMBUSTIBLE CLADDING ALLOWED

**BLDG 2, 4, 6 SPATIAL SEPARATION CALCULATION
 BASED ON PART 9 OF BCBC 2012
 NORTH ELEVATION**

TABLE 9.10.15.4. (1).C
 LIMITING DISTANCE: 17.5M (57.5FT) > 1.2M
 OPENINGS ALLOWED: 17.5X17.5= 306.3 SM (3297.0 SF)
 PROPOSED: 11.4 SM (123.19F)

9.10.15.5
 EXTERIOR WALL TO HAVE 0 HR FIRE RATING
 COMBUSTIBLE CONSTRUCTION ALLOWED
 COMBUSTIBLE CLADDING ALLOWED

SOUTH ELEVATION

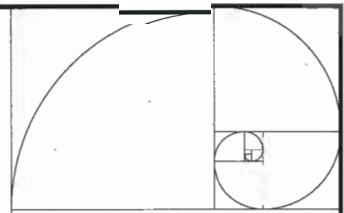
TABLE 9.10.15.4. (1).C
 LIMITING DISTANCE: 6.3M (20.8FT) > 1.2M
 OPENINGS ALLOWED: 6.3X6.3= 39.7 SM (427.2 SF)
 PROPOSED: 11.4 SM (122.78F)

9.10.15.5
 EXTERIOR WALL TO HAVE 0 HR FIRE RATING
 COMBUSTIBLE CONSTRUCTION ALLOWED
 COMBUSTIBLE CLADDING ALLOWED

EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. COMPOSITE LAP SIDING (LIGHT GREY)
3. COMPOSITE LAP SIDING (LIGHT BROWN)
4. COMPOSITE LAP SIDING (DARK GREY)
5. COMPOSITE LAP SIDING (DARK BROWN)
6. COMPOSITE LAP SIDING (LIGHT RED)
7. COMPOSITE LAP SIDING (DARK RED)
8. CULTURAL STONE CLADDING (DARK GREY)
9. CULTURAL STONE CLADDING (DARK BROWN)
10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)
11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
12. SOLID WOOD UNIT ENTRY DOOR (WHITE)
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14. WOOD TRIM (WHITE)
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16. FASCIA BOARD (DARK BROWN)
17. HARDIE BOARD (DARK GREY)
18. HARDIE BOARD (LIGHT BROWN)
19. HARDIE SHAKE (LIGHT BROWN)
20. DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME
21. DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME
22. ALUMINUM RAILING (WHITE)
23. SLIDING DOOR WITH CLEAR TEMPERED GLAZING



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 EMAIL: IMPERIALARCHITECTURE@GMAIL.COM
 TELEPHONE: 778-684-8822

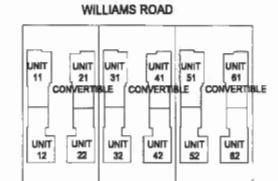
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ISSUED FOR CP FOR SUBMISSION	J.2	K.L.	17.12.03
ISSUED FOR CP SUBMISSION	J.2	K.L.	17.08.20

ISSUED FOR DP
 RESUBMISSION 2018-04-30

Client/Project
 DUPLEX DEVELOPMENT FOR

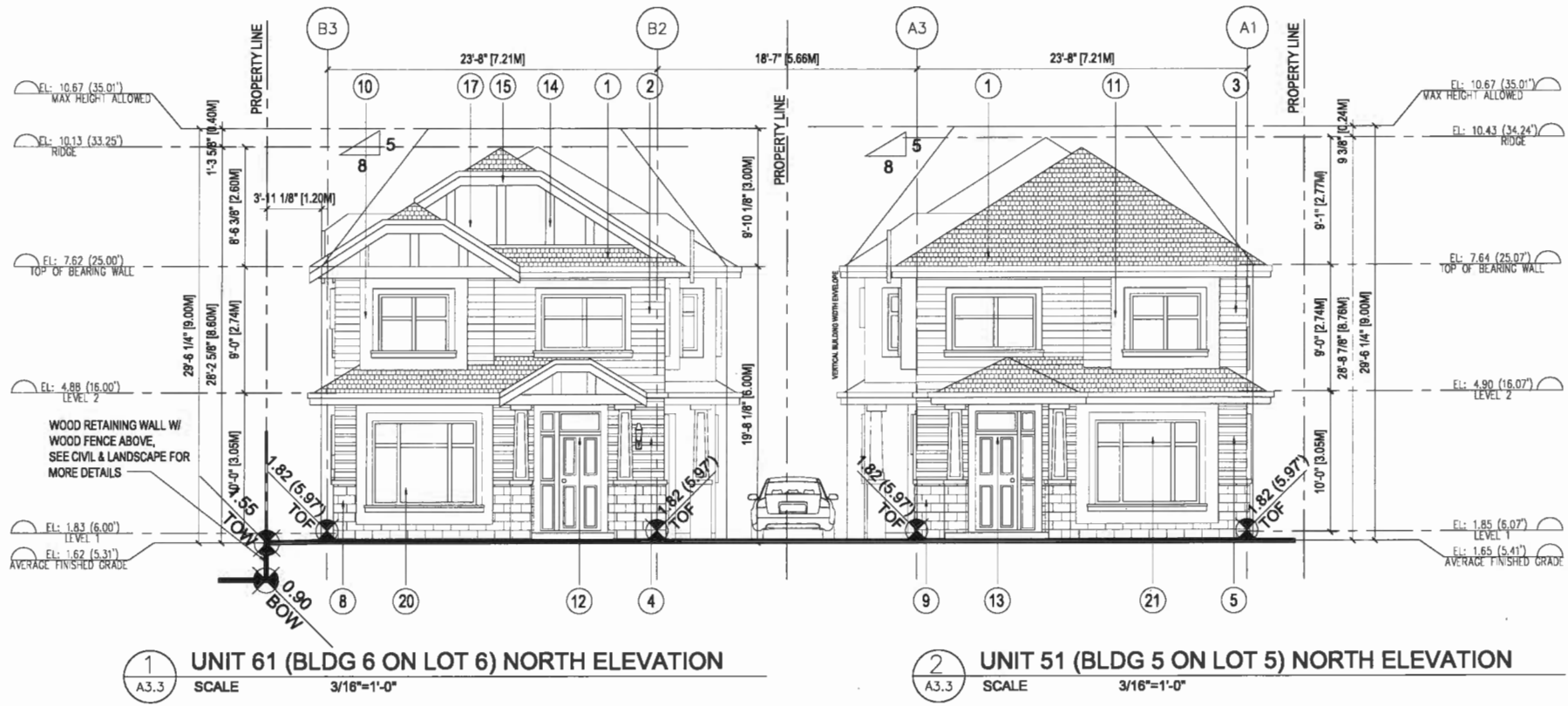
KONIC DEVELOPMENT
 5660, 56th Street, Williams Road,
 RICHMOND, BC

Title
 BLDG 3 & BLDG 42
 FRONT & REAR ELEVATIONS

Project No. #8191
 Scale 1/4"=1'-0"

Drawing No. A3.2
 Sheet
 Revision

PLAN #4F MAY 22 2018
 DP 17-782861



**BLDG 1, 3, 5 SPATIAL SEPARATION CALCULATION
BASED ON PART 9 OF BCBC 2012
NORTH ELEVATION**

9.10.15.4. (1).C
LIMITING DISTANCE: 17.2M (56.5FT) > 1.2M
OPENINGS ALLOWED: 17.2X17.2= 295.8 SM (3184.0 SF)
PROPOSED: 12.1 SM (130.1SF)

9.10.15.5
EXTERIOR WALL TO HAVE 0 HR FIRE RATING
COMBUSTIBLE CONSTRUCTION ALLOWED
COMBUSTIBLE CLADDING ALLOWED

SOUTH ELEVATION

9.10.15.4. (1).C
LIMITING DISTANCE: 6.4M (21.0FT) > 1.2M
OPENINGS ALLOWED: 6.4XB 4= 41.0 SM (441.3 SF)
PROPOSED: 11.2 SM (120.2SF)

9.10.15.5
EXTERIOR WALL TO HAVE 0 HR FIRE RATING
COMBUSTIBLE CONSTRUCTION ALLOWED
COMBUSTIBLE CLADDING ALLOWED

**BLDG 2, 4, 6 SPATIAL SEPARATION CALCULATION
BASED ON PART 9 OF BCBC 2012
NORTH ELEVATION**

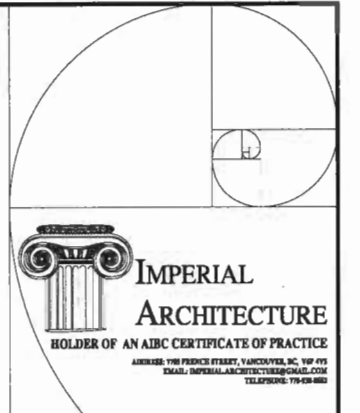
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LIMITING DISTANCE: 17.5M (57.5FT) > 1.2M
OPENINGS ALLOWED: 17.5X17.5= 306.3 SM (3297.0 SF)
PROPOSED: 11.4 SM (123.1SF)

9.10.15.5
EXTERIOR WALL TO HAVE 0 HR FIRE RATING
COMBUSTIBLE CONSTRUCTION ALLOWED
COMBUSTIBLE CLADDING ALLOWED

SOUTH ELEVATION

TABLE 9.10.15.4. (1).C
LIMITING DISTANCE: 8.3M (20.8FT) > 1.2M
OPENINGS ALLOWED: 8.3XB 3= 39.7 SM (427.2 SF)
PROPOSED: 11.4 SM (122.7SF)

9.10.15.5
EXTERIOR WALL TO HAVE 0 HR FIRE RATING
COMBUSTIBLE CONSTRUCTION ALLOWED
COMBUSTIBLE CLADDING ALLOWED



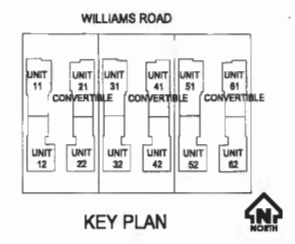
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ISSUED FOR DP REVIEW	J.J.	K.L.	18.03.20
ISSUED FOR DP RE-SUBMISSION	J.J.	K.L.	17.12.05
ISSUED FOR DP SUBMISSION	J.J.	K.L.	17.08.20
Issued	By	App'd	TY.MK.20

EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. COMPOSITE LAP SIDING (LIGHT GREY)
3. COMPOSITE LAP SIDING (LIGHT BROWN)
4. COMPOSITE LAP SIDING (DARK GREY)
5. COMPOSITE LAP SIDING (DARK BROWN)
6. COMPOSITE LAP SIDING (LIGHT RED)
7. COMPOSITE LAP SIDING (DARK RED)
8. CULTURAL STONE CLADDING (DARK GREY)
9. CULTURAL STONE CLADDING (DARK BROWN)
10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)
11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
12. SOLID WOOD UNIT ENTRY DOOR (WHITE)
13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN)
14. WOOD TRIM (WHITE)
15. FASCIA BOARD (WHITE)
16. FASCIA BOARD (DARK BROWN)
17. HARDIE BOARD (DARK GREY)
18. HARDIE BOARD (LIGHT BROWN)
19. HARDIE SHAKE (LIGHT BROWN)
20. DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME
21. DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME
22. ALUMINUM RAILING (WHITE)
23. SLIDING DOOR WITH CLEAR TEMPERED GLAZING

ISSUED FOR DP
RESUBMISSION 2018-04-30

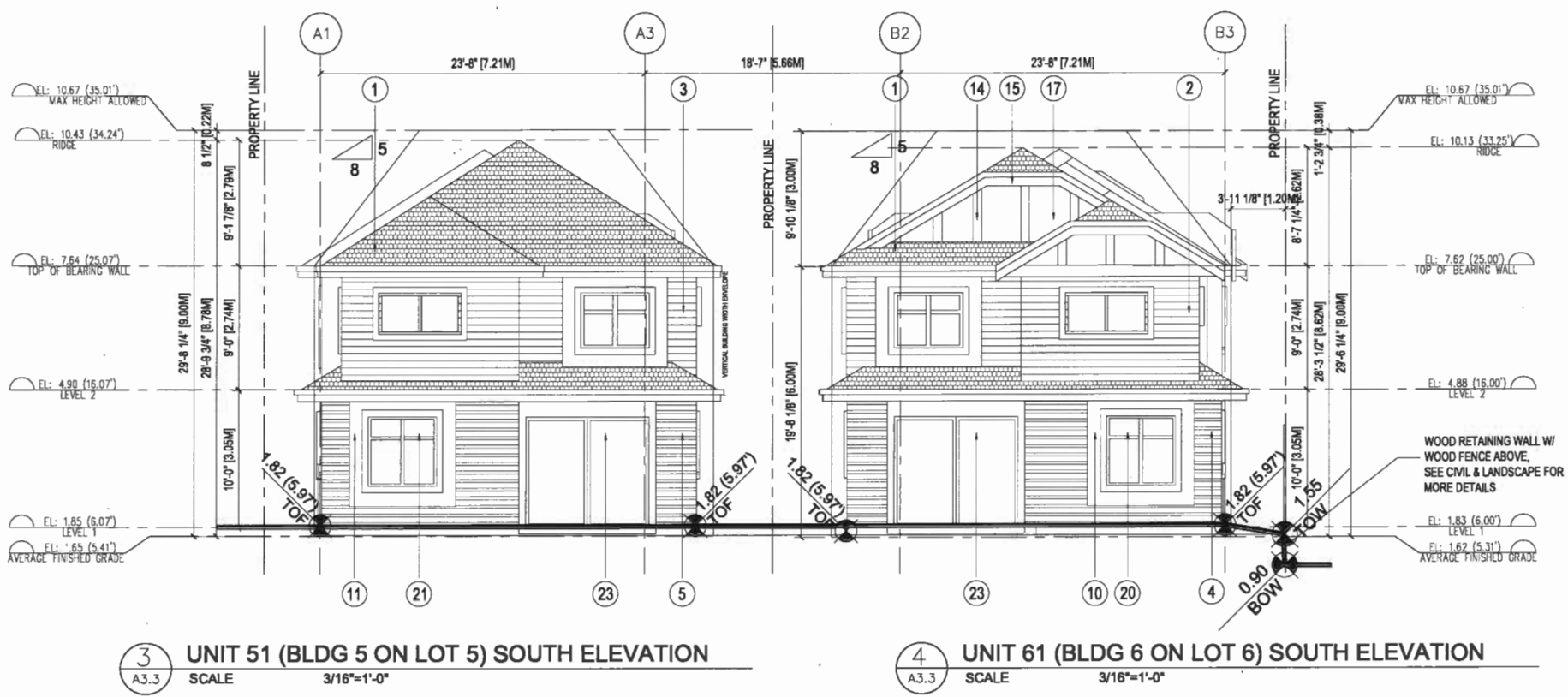
Client/Project
DUPLEX DEVELOPMENT FOR
KONIC DEVELOPMENT
5660, 56th Street Williams Road,
RICHMOND, BC

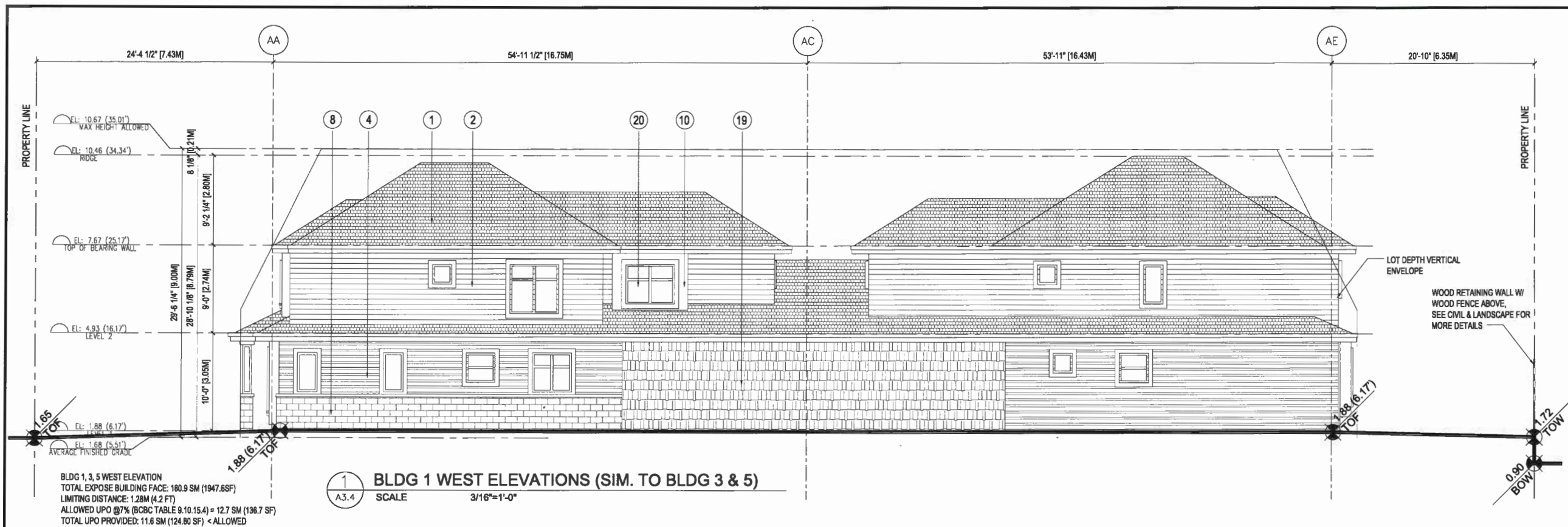
Title
BLDG 5 & BLDG 6
FRONT & REAR ELEVATIONS

Project No. #8191 Scale 1/4"=1'-0"
Drawing No. Sheet Revision

A 3.3

PLAN # 46 MAY 22 2018
DP 17-782861





1 BLDG 1 WEST ELEVATIONS (SIM. TO BLDG 3 & 5)
 SCALE 3/16"=1'-0"

BLDG 1, 3, 5 WEST ELEVATION
 TOTAL EXPOSE BUILDING FACE: 180.9 SM (1947.6SF)
 LIMITING DISTANCE: 1.28M (4.2 FT)
 ALLOWED UPO @7% (BCBC TABLE 9.10.15.4) = 12.7 SM (138.7 SF)
 TOTAL UPO PROVIDED: 11.6 SM (124.80 SF) < ALLOWED



2 BLDG 1 EAST ELEVATIONS (SIM. TO BLDG 3 & 5)
 SCALE 3/16"=1'-0"

BLDG 1, 3, 5 EAST ELEVATION
 TOTAL EXPOSE BUILDING FACE: 179.6 SM (1933.3SF)
 LIMITING DISTANCE: 1.53M (5.35 FT)
 ALLOWED UPO @7% (BCBC TABLE 9.10.15.4) = 12.6 SM (135.6 SF)
 TOTAL UPO PROVIDED: 9.4 SM (100.8 SF) < ALLOWED

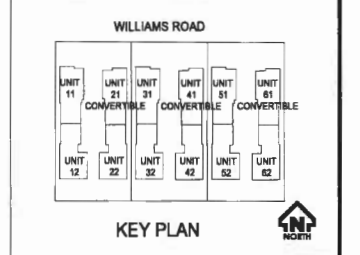
EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

- | | | |
|--|--|---|
| 1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY) | 10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE) | 17. HARDIE BOARD (DARK GREY) |
| 2. COMPOSITE LAP SIDING (LIGHT GREY) | 11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN) | 18. HARDIE BOARD (LIGHT BROWN) |
| 3. COMPOSITE LAP SIDING (LIGHT BROWN) | 12. SOLID WOOD UNIT ENTRY DOOR (WHITE) | 19. HARDIE SHAKE (LIGHT BROWN) |
| 4. COMPOSITE LAP SIDING (DARK GREY) | 13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN) | 20. DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME |
| 5. COMPOSITE LAP SIDING (DARK BROWN) | 14. WOOD TRIM (WHITE) | 21. DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME |
| 6. COMPOSITE LAP SIDING (LIGHT RED) | 15. FASCIA BOARD (WHITE) | 22. ALUMINUM RAILING (WHITE) |
| 7. COMPOSITE LAP SIDING (DARK RED) | 16. FASCIA BOARD (DARK BROWN) | 23. SLIDING DOOR WITH CLEAR TEMPERED GLAZING |

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ISSUED FOR POST ADP OF RE-SUBMISSION	J.Z.	K.L.	18.03.28
ISSUED FOR ADP REVIEW	J.Z.	K.L.	18.05.07
ISSUED FOR ADP REVIEW	J.Z.	K.L.	17.12.05
ISSUED FOR ADP REVIEW	J.Z.	K.L.	17.08.20

ISSUED FOR DP
 RESUBMISSION 2018-04-30

Client/Project
 DUPLEX DEVELOPMENT FOR

Client/Project
 DUPLEX DEVELOPMENT FOR
 5660, 5680, 5700 WILLIAMS ROAD,
 RICHMOND, BC

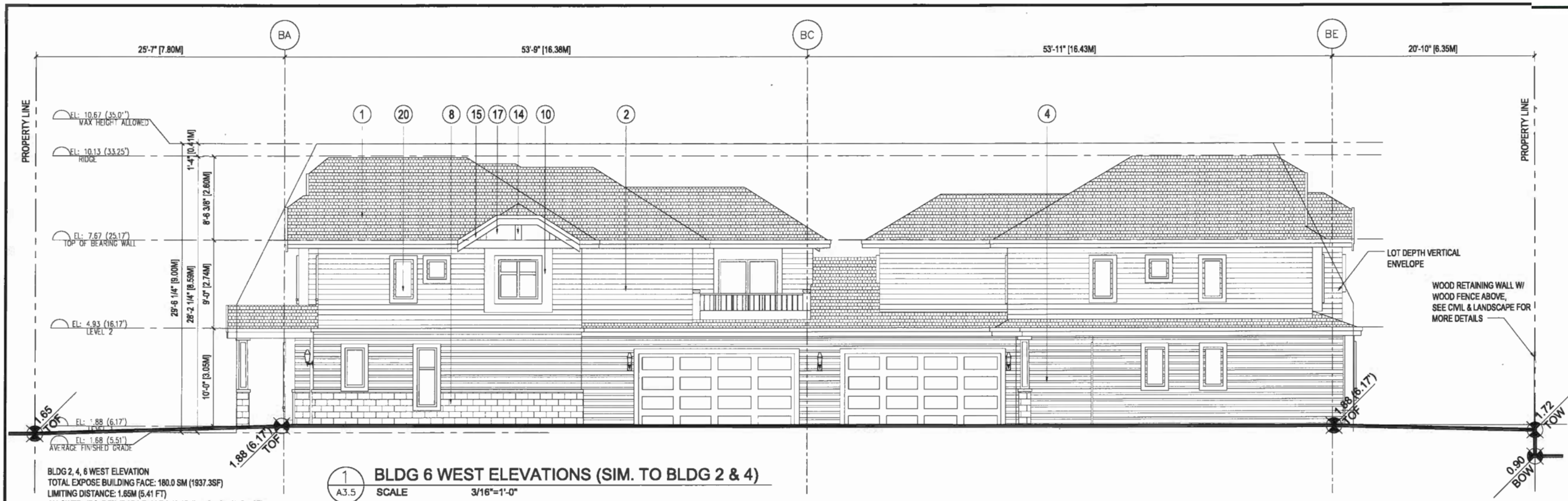
BLDG 1, 3, 5
 SIDE ELEVATIONS

Project No. #8191
 Scale 3/16"=1'-0"
 Drawing No. A3.4

DP 17-782861

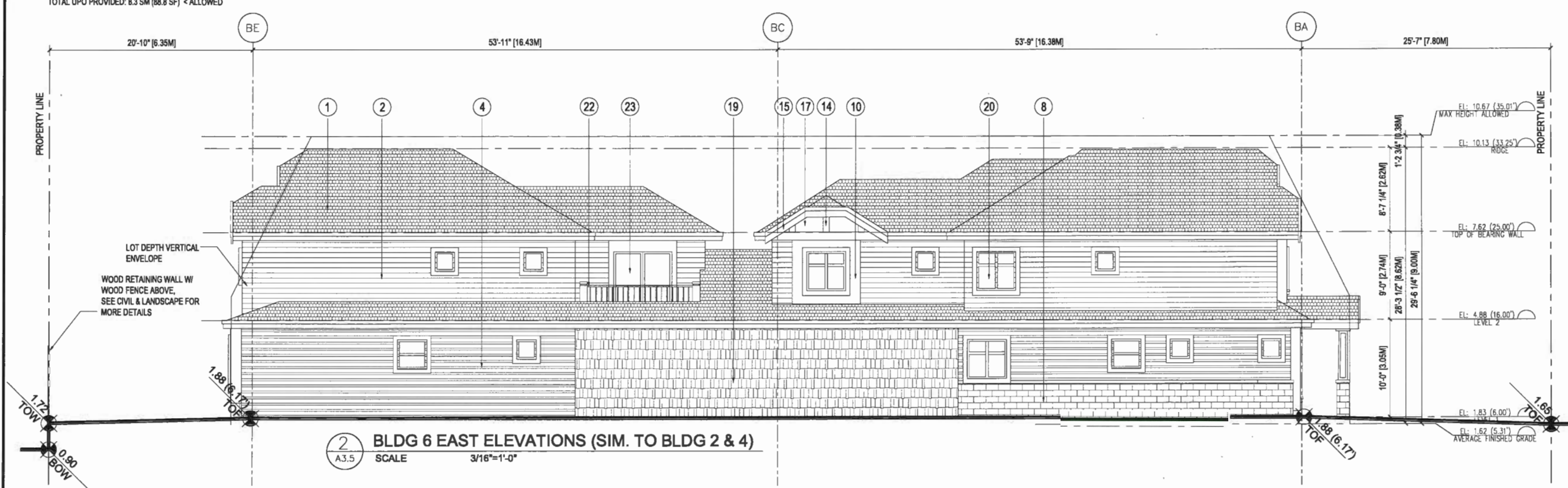
PLAN #44

MAY 22 2018



1 BLDG 6 WEST ELEVATIONS (SIM. TO BLDG 2 & 4)
 A3.5 SCALE 3/16"=1'-0"

BLDG 2, 4, 6 WEST ELEVATION
 TOTAL EXPOSE BUILDING FACE: 180.0 SM (1937.3SF)
 LIMITING DISTANCE: 1.65M (5.41 FT)
 ALLOWED UPO @7% (BCBC TABLE 9.10.15.4) = 12.6 SM (135.6 SF)
 TOTAL UPO PROVIDED: 8.3 SM (88.8 SF) < ALLOWED



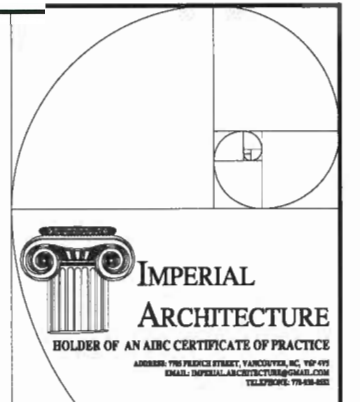
2 BLDG 6 EAST ELEVATIONS (SIM. TO BLDG 2 & 4)
 A3.5 SCALE 3/16"=1'-0"

BLDG 2, 4, 6 EAST ELEVATION
 TOTAL EXPOSE BUILDING FACE: 179.4 SM (1931.3SF)
 LIMITING DISTANCE: 1.26M (4.13 FT)
 ALLOWED UPO @7% (BCBC TABLE 9.10.15.4) = 12.6 SM (135.6 SF)
 TOTAL UPO PROVIDED: 12.5 SM (134.8 SF) < ALLOWED

EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

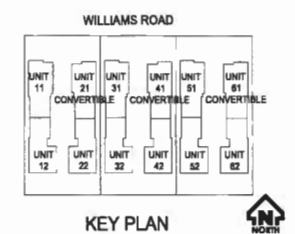
- 1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
- 2. COMPOSITE LAP SIDING (LIGHT GREY)
- 3. COMPOSITE LAP SIDING (LIGHT BROWN)
- 4. COMPOSITE LAP SIDING (DARK GREY)
- 5. COMPOSITE LAP SIDING (DARK BROWN)
- 6. COMPOSITE LAP SIDING (LIGHT RED)
- 7. COMPOSITE LAP SIDING (DARK RED)
- 8. CULTURAL STONE CLADDING (DARK GREY)
- 9. CULTURAL STONE CLADDING (DARK BROWN)
- 10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)
- 11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
- 12. SOLID WOOD UNIT ENTRY DOOR (WHITE)
- 13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN)
- 14. WOOD TRIM (WHITE)
- 15. FASCIA BOARD (WHITE)
- 16. FASCIA BOARD (DARK BROWN)
- 17. HARDIE BOARD (DARK GREY)
- 18. HARDIE BOARD (LIGHT BROWN)
- 19. HARDIE SHAKE (LIGHT BROWN)
- 20. DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME
- 21. DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME
- 22. ALUMINUM RAILING (WHITE)
- 23. SLIDING DOOR WITH CLEAR TEMPERED GLAZING



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ISSUED FOR ADP REVIEW	J.22	K.L.	18.02.07
ISSUED FOR OP OF SUBMISSION	J.22	K.L.	17.12.09
ISSUED FOR OP OF SUBMISSION	J.22	K.L.	17.08.20

ISSUED FOR DP
 RESUBMISSION 2018-04-30

Client/Project
 DUPLEX DEVELOPMENT FOR

5660, 5661, 5662 WILLIAMS ROAD,
 RICHMOND, BC

BLDG 2, 4, 6
 SIDE ELEVATIONS

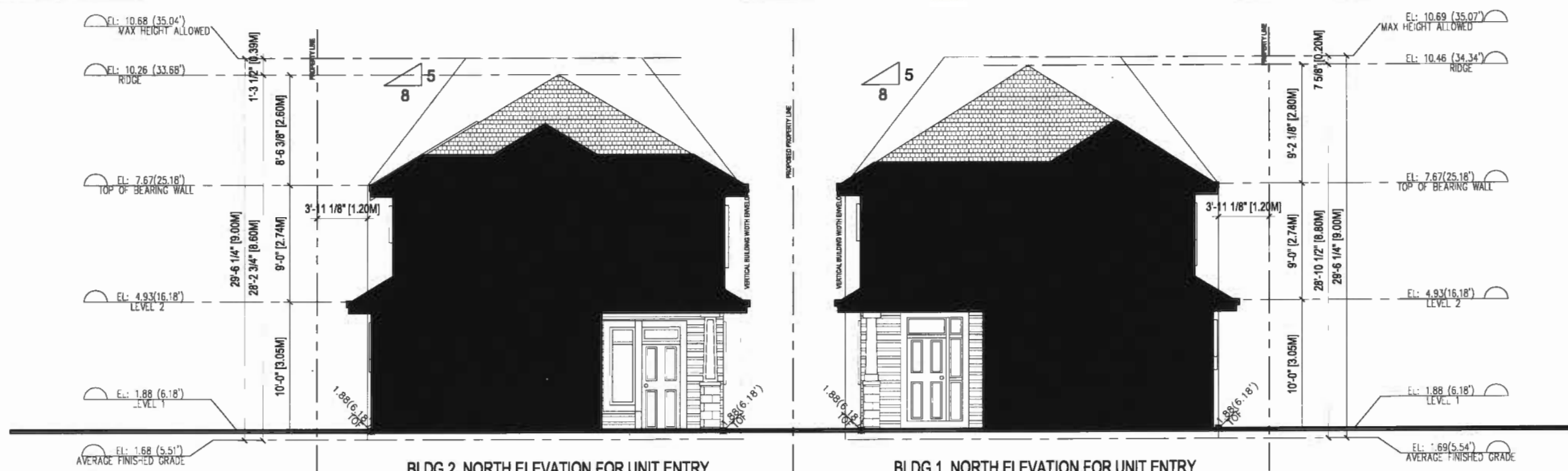
Project No. Scale
 #8191 3/16"=1'-0"

Drawing No. Sheet Revision
 A3.5

DP 17-782861

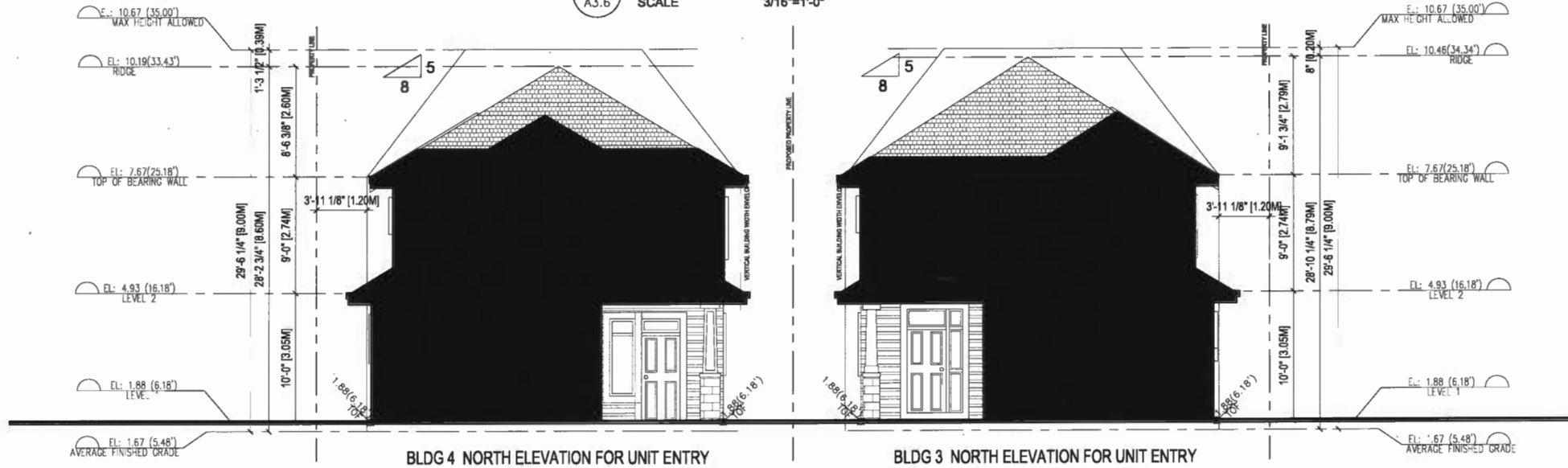
PLAN # 42

MAY 22 2018



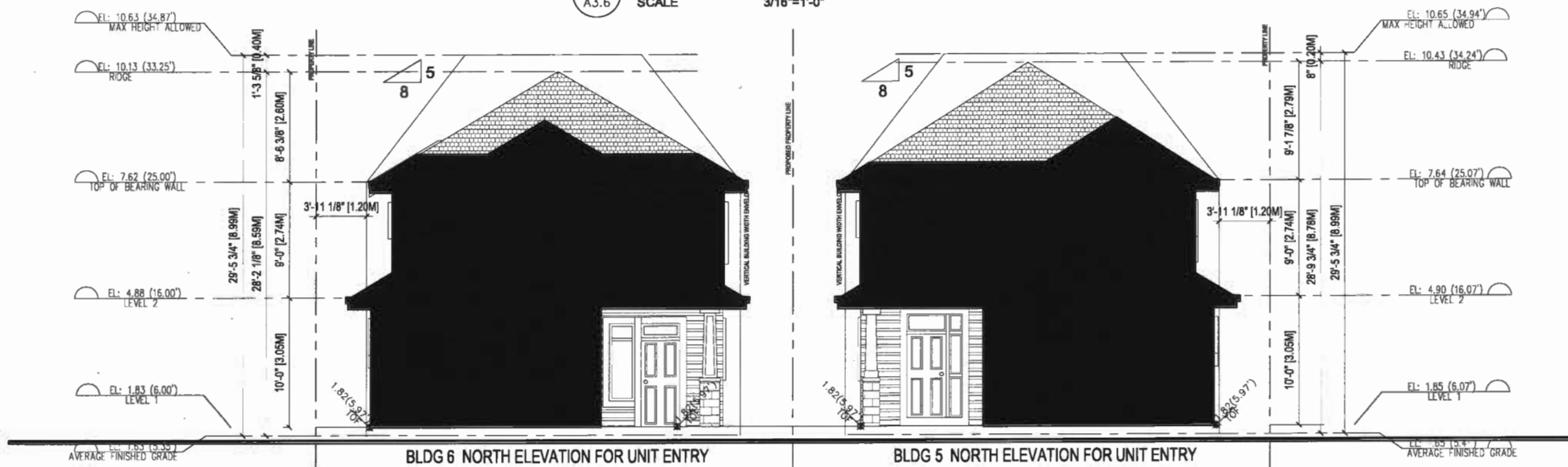
BLDG 2 NORTH ELEVATION FOR UNIT ENTRY BLDG 1 NORTH ELEVATION FOR UNIT ENTRY

1 BLDG 1&2 BACK UNIT ENTRY ELEVATIONS
 SCALE 3/16"=1'-0"



BLDG 4 NORTH ELEVATION FOR UNIT ENTRY BLDG 3 NORTH ELEVATION FOR UNIT ENTRY

2 BLDG 3&4 BACK UNIT ENTRY ELEVATIONS
 SCALE 3/16"=1'-0"



BLDG 6 NORTH ELEVATION FOR UNIT ENTRY BLDG 5 NORTH ELEVATION FOR UNIT ENTRY

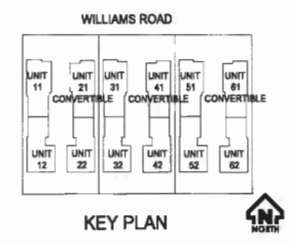
3 BLDG 5&6 BACK UNIT ENTRY ELEVATIONS
 SCALE 3/16"=1'-0"

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18.03.18	J.J.	K.L.	ISSUED FOR POST ADP OF RESUBMISSION
18.03.17	J.J.	K.L.	ISSUED FOR ADP REVIEW
17.12.15	J.J.	K.L.	ISSUED FOR DP SUBMISSION
17.08.15	J.J.	K.L.	ISSUED FOR DP SUBMISSION

ISSUED FOR DP RESUBMISSION 2018-04-30

Client/Project
 DUPLEX DEVELOPMENT FOR

KONIC DEVELOPMENT
 5660, 56th AVE WILLIAMS ROAD,
 RICHMOND, BC

Title
 BLDG 1,2,3,4,5,6 BACK UNIT ENTRY ELEVATIONS

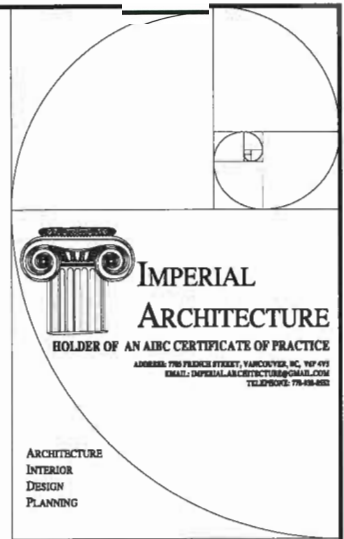
Project No. #8191 Scale 3/16"=1'-0"

Drawing No. A3.6 Sheet Revision

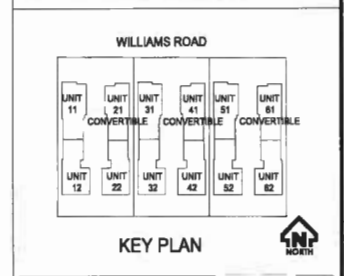
MAY 22 2018

PLAN # 4J

DP 17-782861



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ISSUED FOR POST ACP OF REVISION	JJ	KL	18.03.28
ISSUED FOR ACP REVIEW	JJ	KL	16.07.07
ISSUED FOR DP SUBMISSION	JJ	KL	17.12.02
ISSUED FOR DP SUBMISSION	JJ	KL	17.08.20
ISSUED	By	App'd	TY.M.H.00

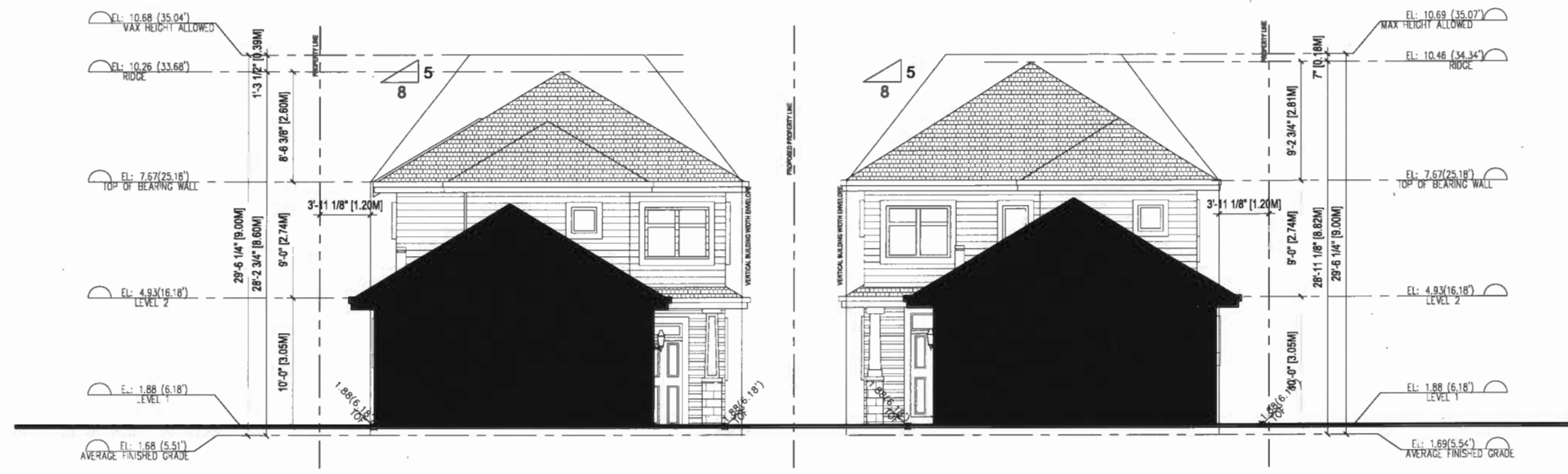
ISSUED FOR DP
 RESUBMISSION 2018-04-30

Client/Project
 DUPLEX DEVELOPMENT FOR

KONIC DEVELOPMENT
 5660, 5662, 5664 WILLIAMS ROAD,
 RICHMOND, BC

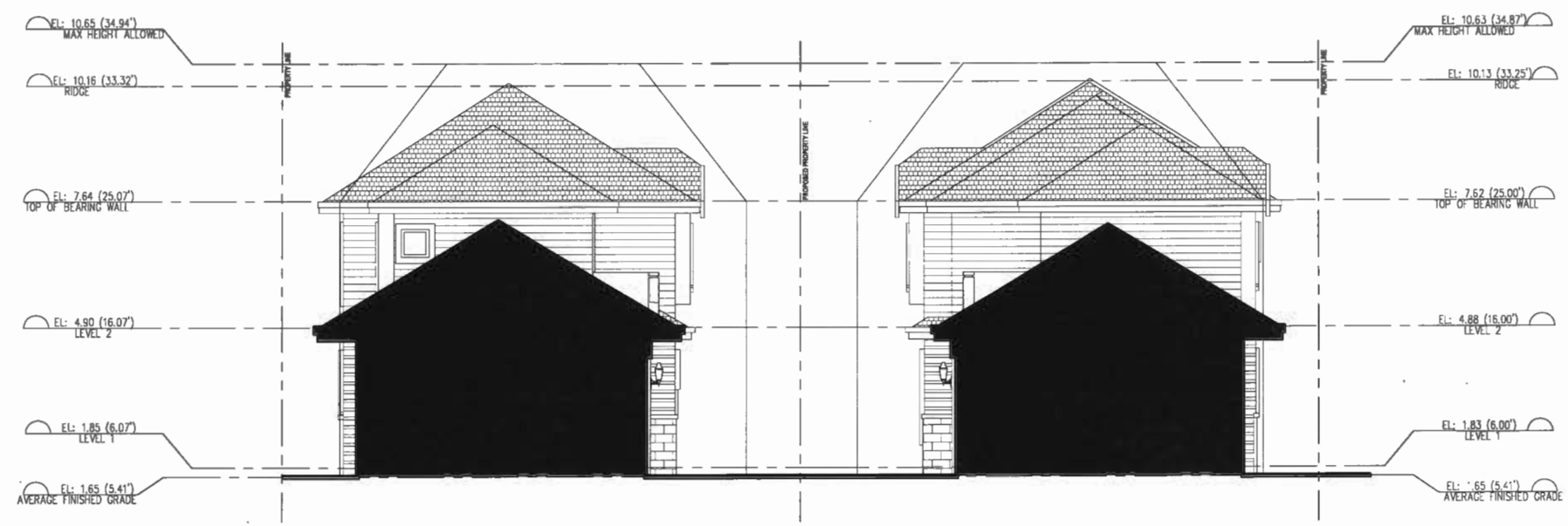
TITLE
 BLDG 1,2,3,4,5,6 HIDDEN
 ELEVATIONS

Project No. Scale
 #8191 3/16"=1'-0"
 Drawing No. Sheet Revision
 A3.7



1 BLDG 2 (TYP. TO 4&6) BACK UNIT NORTH ELEVATION
 A3.7 SCALE 3/16"=1'-0"

2 BLDG 1 (TYP. TO 3&5) BACK UNIT NORTH ELEVATION
 A3.7 SCALE 3/16"=1'-0"

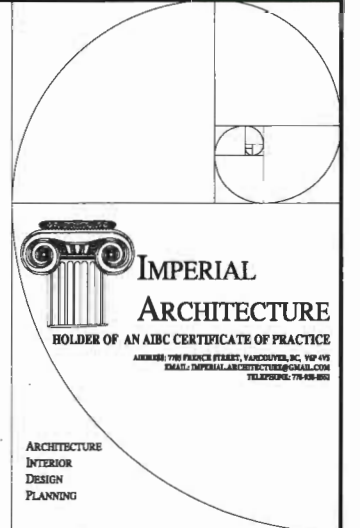


3 BLDG 1 (TYP. TO 3&5) FRONT UNIT SOUTH ELEVATION
 A3.7 SCALE 3/16"=1'-0"

4 BLDG 2 (TYP. TO 4&6) FRONT UNIT SOUTH ELEVATION
 A3.7 SCALE 3/16"=1'-0"

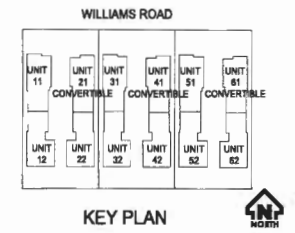
MAY 22 2018
 PLAN #4K

DP 17-782861



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ISSUED FOR ADP REVIEW	J.J.	K.L.	18.02.07
ISSUED FOR DP RESUBMISSION	J.J.	K.L.	17.12.05
ISSUED FOR DP SUBMISSION	J.J.	K.L.	17.08.20
ISSUED			17.04.03

ISSUED FOR DP
 RESUBMISSION 2018-04-30

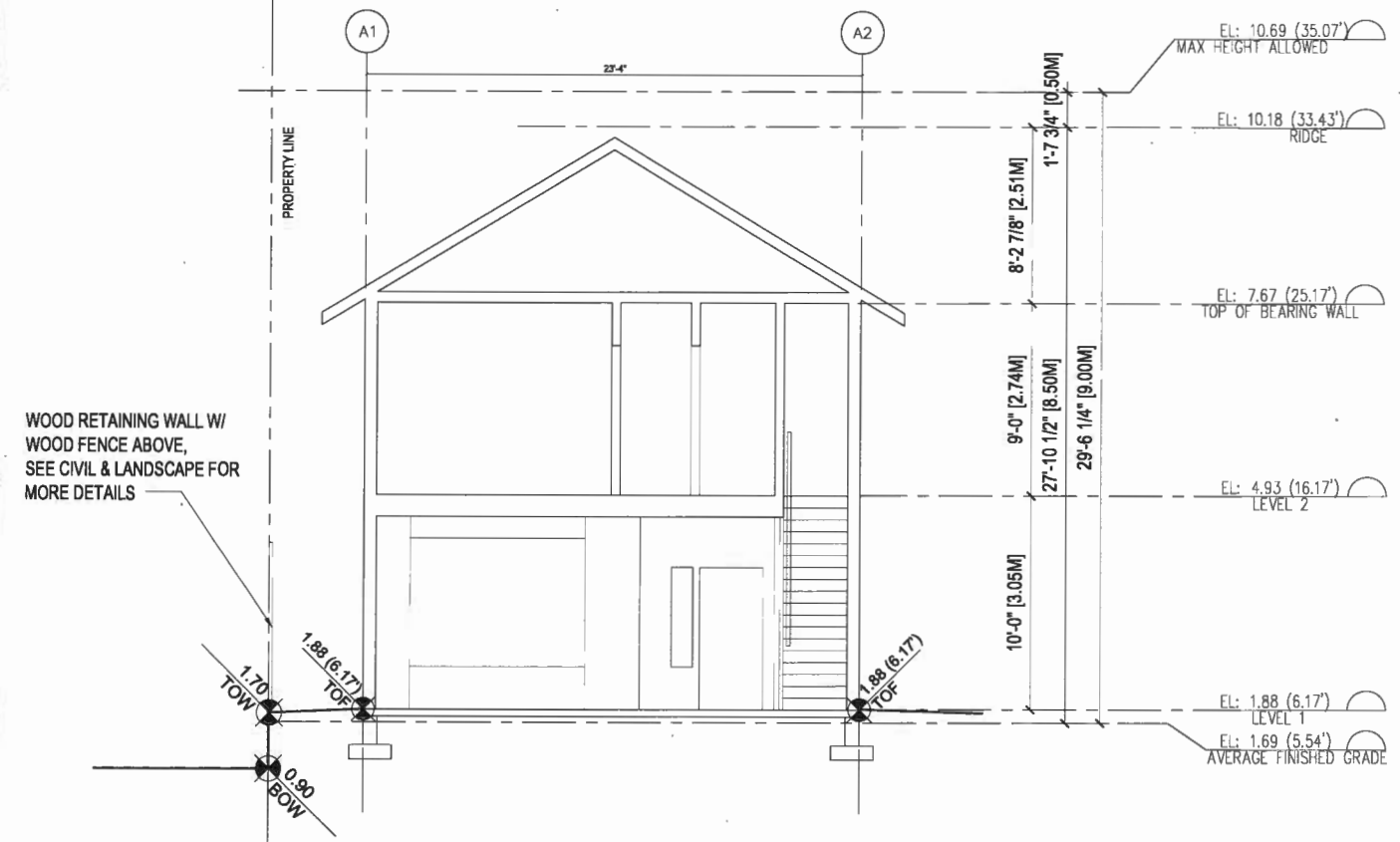
Client/Project
 DUPLEX DEVELOPMENT FOR



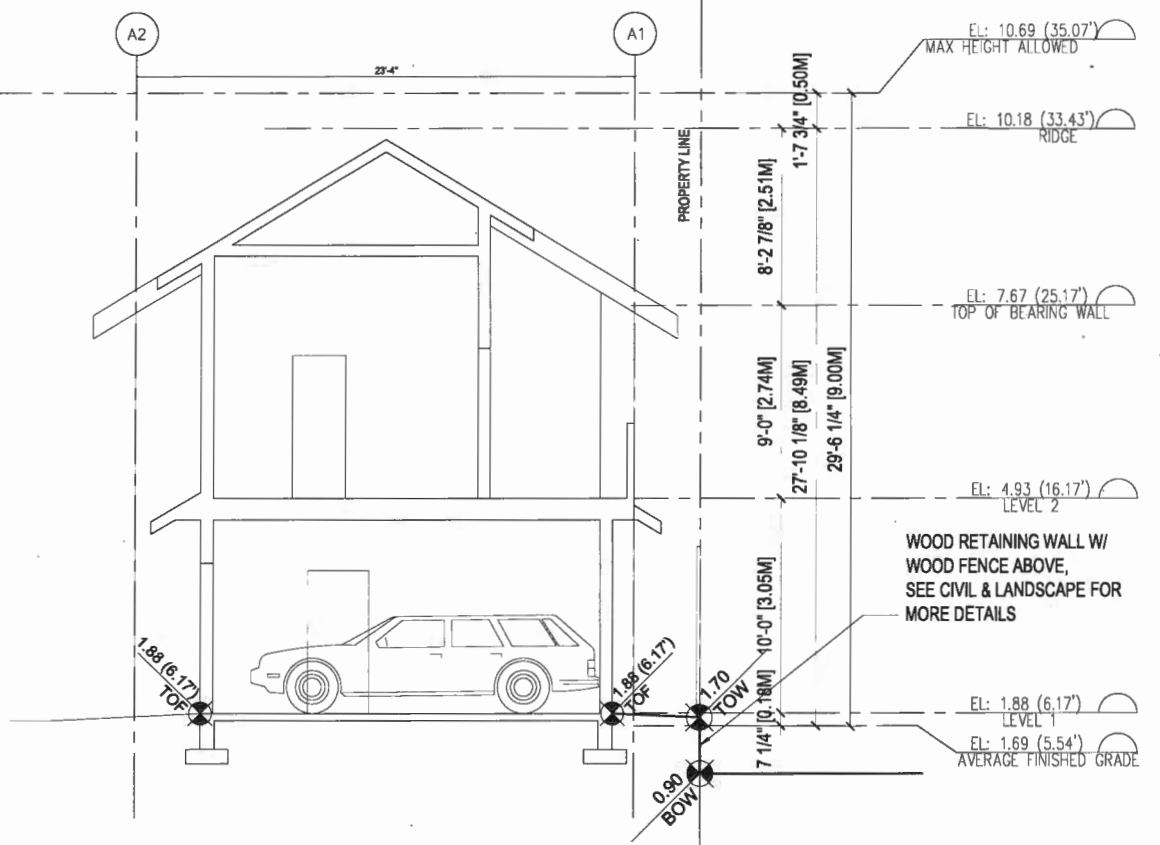
Title
 UNIT 11 SECTIONS (BLDG 1 ON LOT 1) TYP. TO UNIT 11, 31 & 51

Project No. Scale
 #8191 1/4"=1'-0"

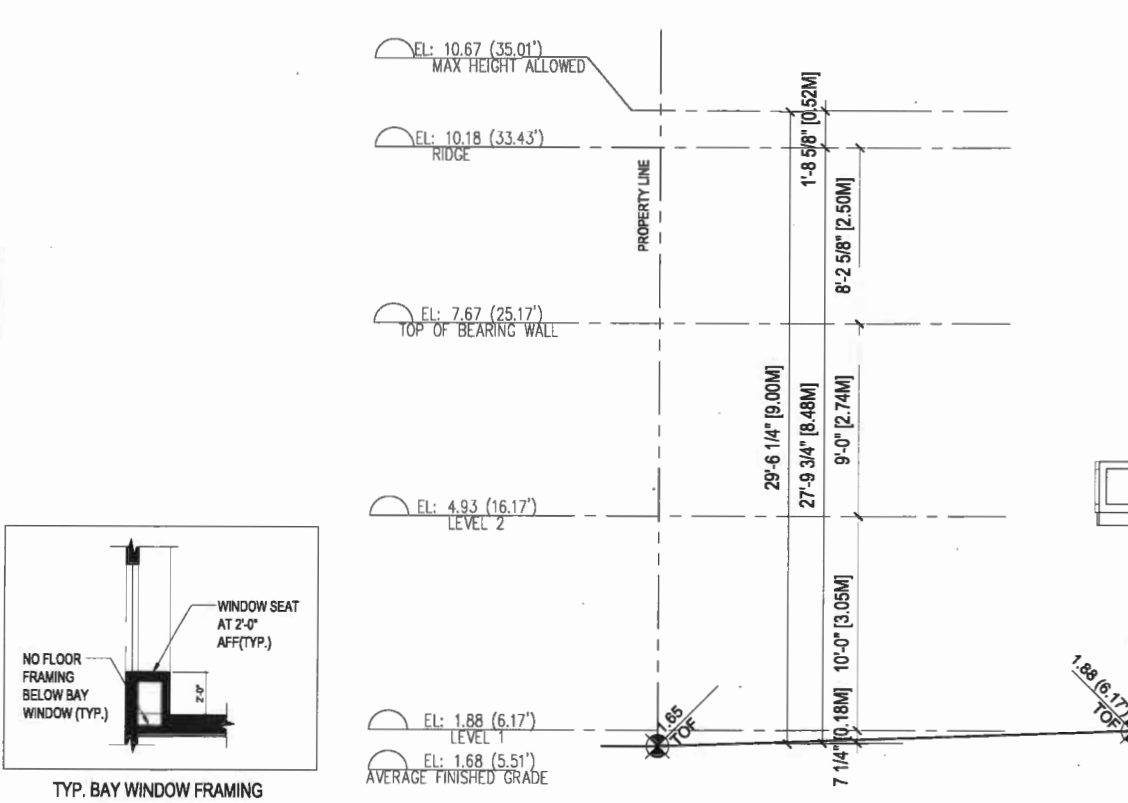
Drawing No. Sheet Revision



1 UNIT 11 (BLDG 1 ON LOT 1) SECTION 1
 SCALE 1/4"=1'-0"



2 UNIT 11 (BLDG 1 ON LOT 1) SECTION 2
 SCALE 1/4"=1'-0"

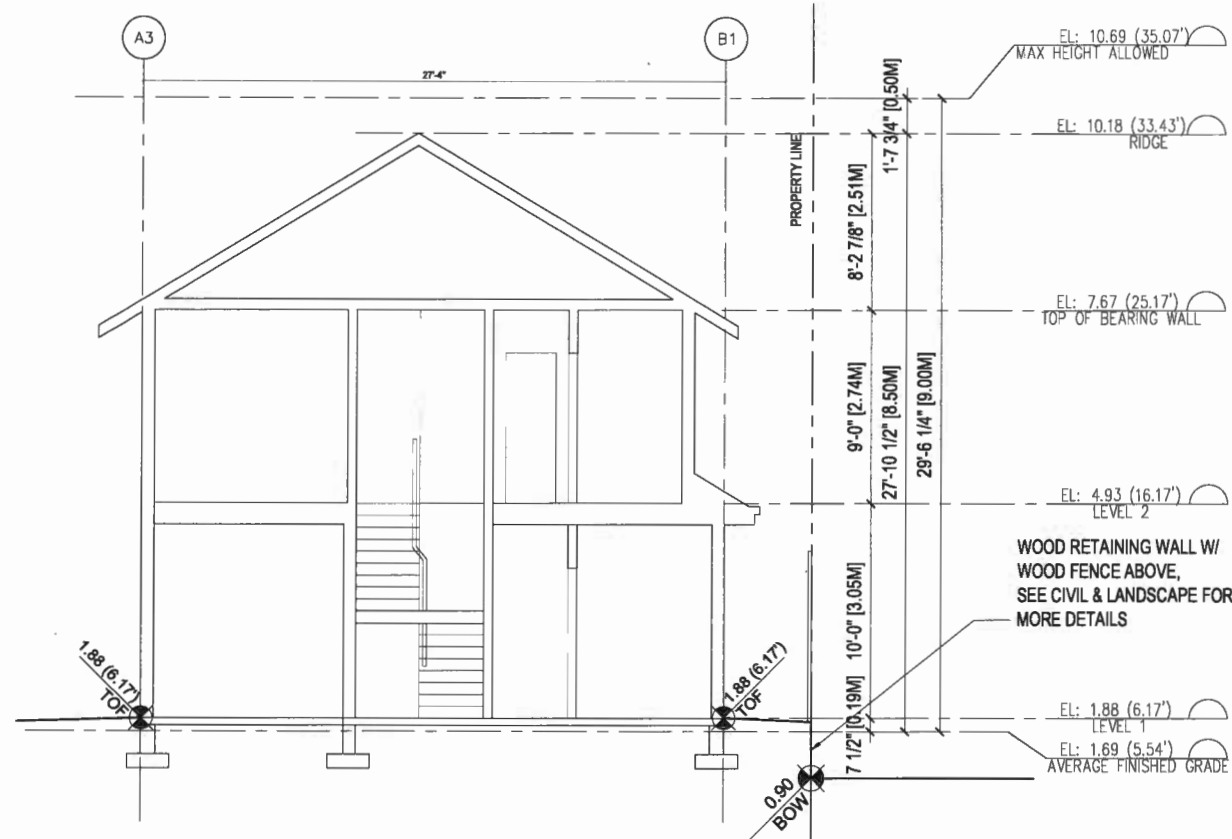


3 UNIT 11 (BLDG 1 ON LOT 1) SECTION 3
 SCALE 1/4"=1'-0"

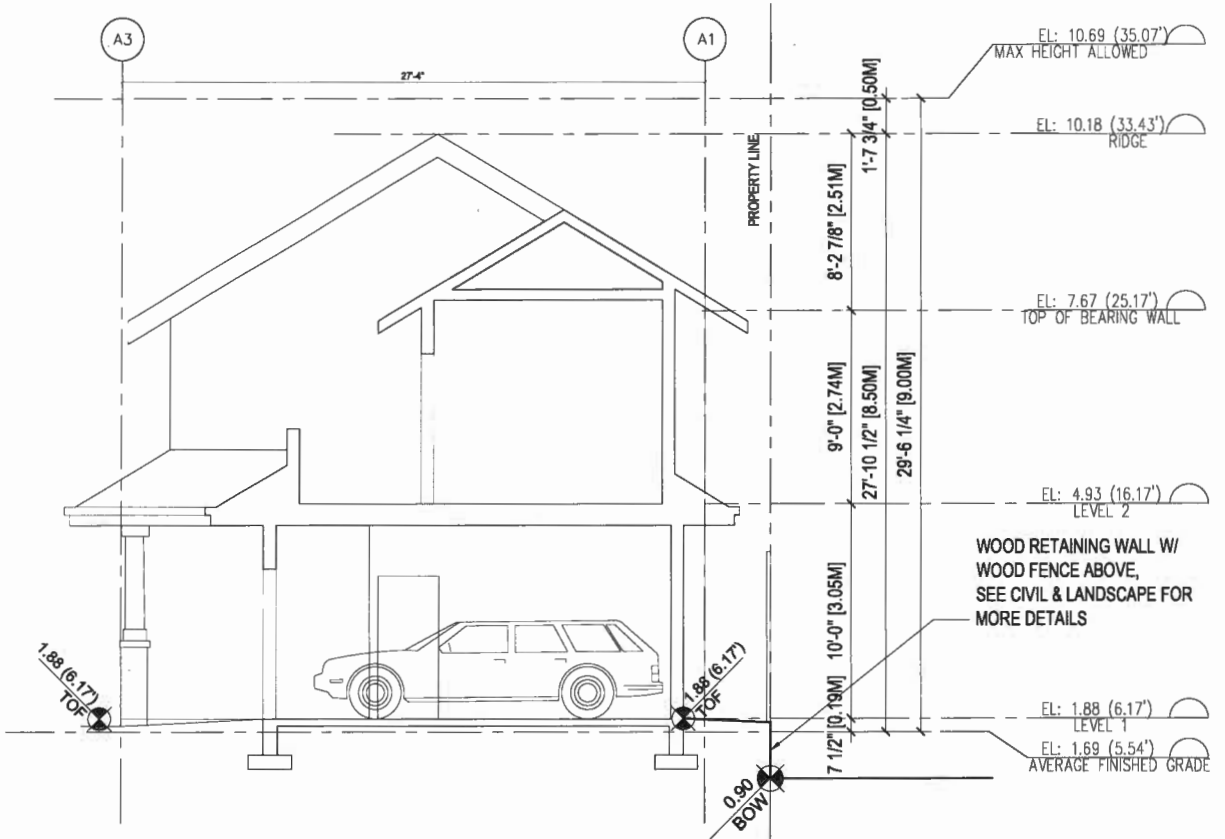
MAY 22 2018

PLAN # 4L

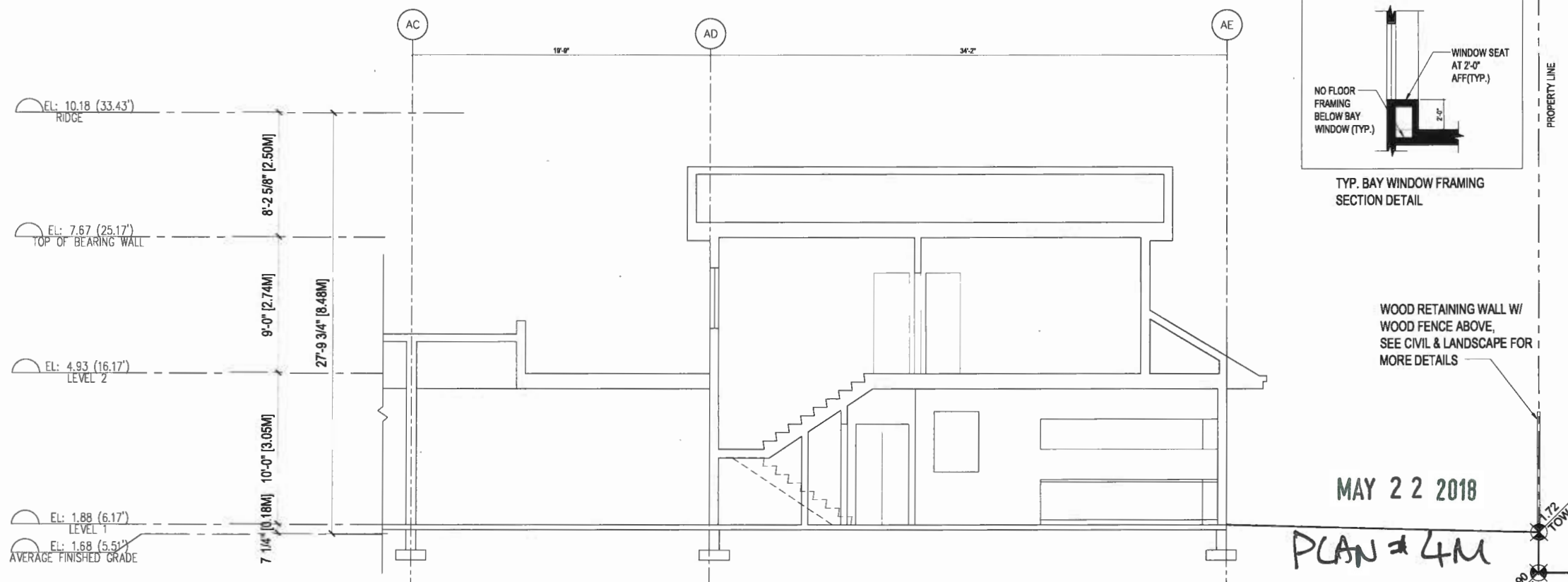
DP 17-78286 1A4.1



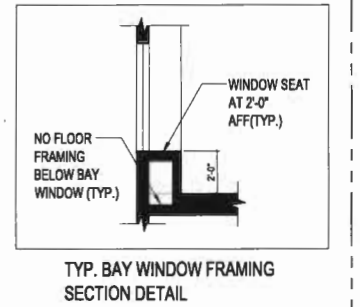
1 UNIT 12 (BLDG 1 ON LOT 1) SECTION 1
SCALE 1/4"=1'-0"



2 UNIT 12 (BLDG 1 ON LOT 1) SECTION 2
SCALE 1/4"=1'-0"



3 UNIT 12 (BLDG 1 ON LOT 1) SECTION 3
SCALE 1/4"=1'-0"



WOOD RETAINING WALL W/
WOOD FENCE ABOVE,
SEE CIVIL & LANDSCAPE FOR
MORE DETAILS

MAY 22 2018

PLAN # 4M

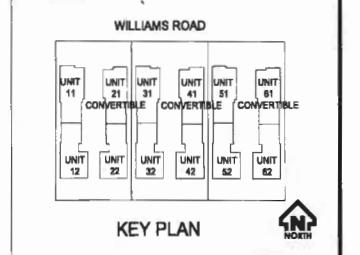
DP 17-782861

IMPERIAL ARCHITECTURE
HOLDER OF AN ABC CERTIFICATE OF PRACTICE
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EMAIL: IMPERIAL.ARCHITECTURE@GMAIL.COM
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ISSUED FOR ADP REVIEW	J-2	K.L.	18.02.07
ISSUED FOR DP SUBMISSION	J-2	K.L.	17.12.05
ISSUED FOR DP SUBMISSION	J-2	K.L.	17.08.20

ISSUED FOR DP
RESUBMISSION 2018-04-30

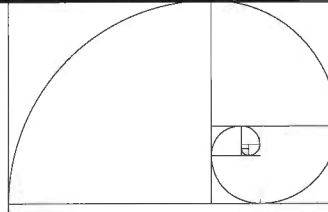
Client/Project
DUPLEX DEVELOPMENT FOR

KONIG DEVELOPMENT
5660, 5680, 5700 WILLIAMS ROAD,
RICHMOND, BC

Unit
UNIT 12 SECTIONS (BLDG 1 ON LOT 1) TYP. TO UNIT 12, 32 & 52

Project No. Scale
#8191 1/4"=1'-0"

Drawing No. Sheet Revision
A4.2



IMPERIAL ARCHITECTURE
 HOLDER OF AN ABC CERTIFICATE OF PRACTICE
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 EMAIL: IMPERIALARCHITECTURE@GMAIL.COM
 TELEPHONE: 779-89-880

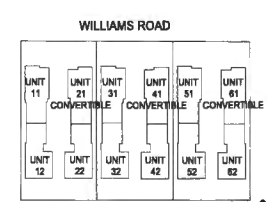
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KEY PLAN

ISSUED FOR POST ADP SUBMISSION	J.Z.	K.L.	18.03.28
ISSUED FOR ADP REVIEW	J.Z.	K.L.	18.02.07
ISSUED FOR PRE-ALUMINATION	J.Z.	K.L.	17.12.05
ISSUED FOR CP SUBMISSION	J.Z.	K.L.	17.08.20
Issued	By	Appr.	YY.MM.DD

ISSUED FOR DP
 RESUBMISSION 2018-04-30

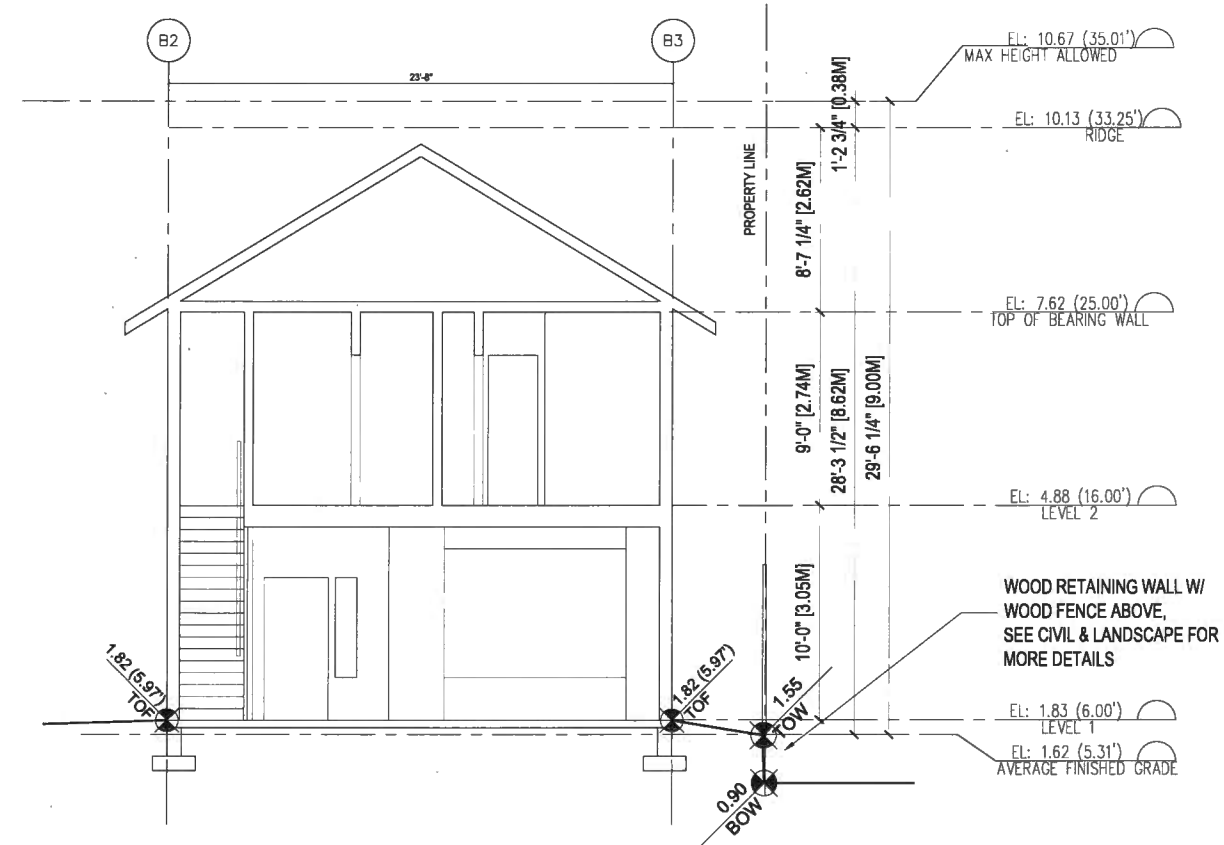
Client/Project
 DUPLEX DEVELOPMENT FOR

KONIG DEVELOPMENT
 5660, 5680, 5700 WILLIAMS ROAD,
 RICHMOND, BC

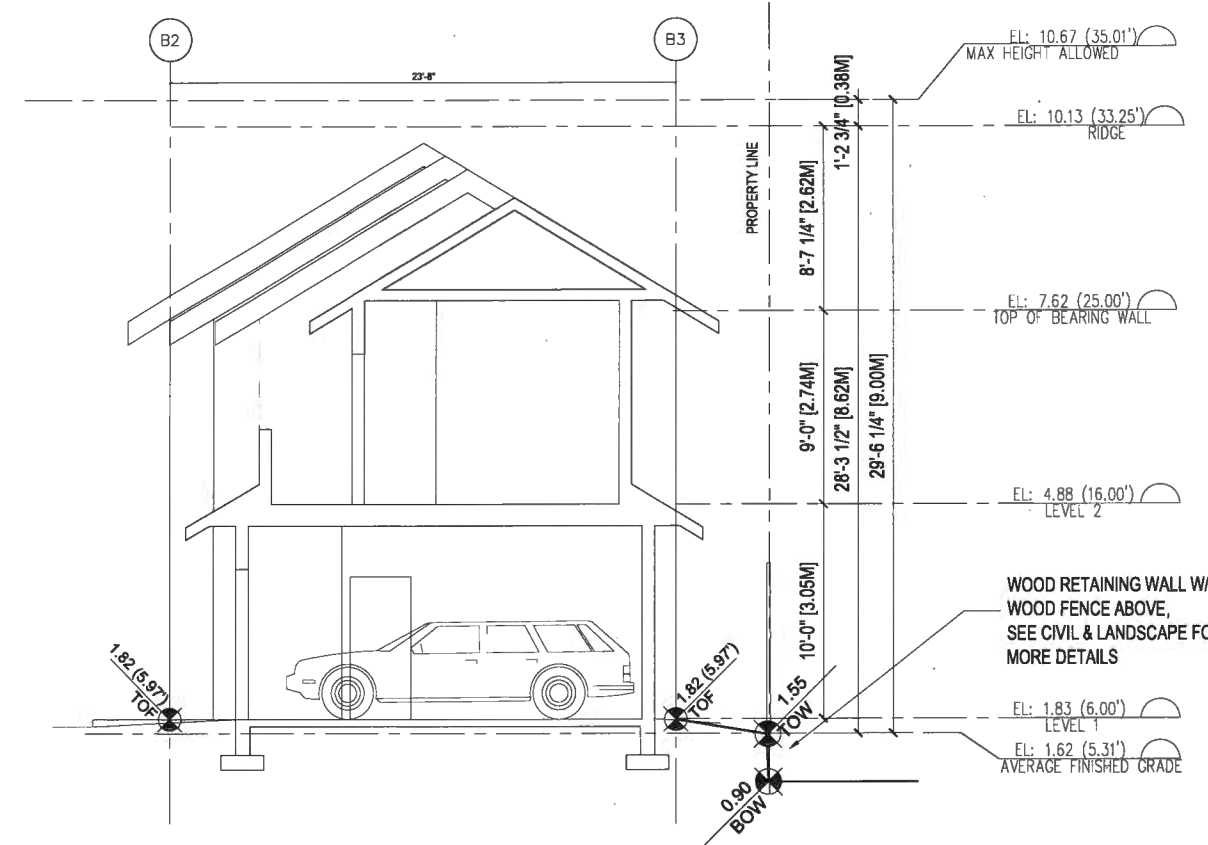
THE CONVERTIBLE UNIT 61
 SECTIONS (BLDG 6 ON LOT 6)
 TYP. TO UNIT 21, 41 & 61

Project No. Scale
 #8191 1/4"=1'-0"

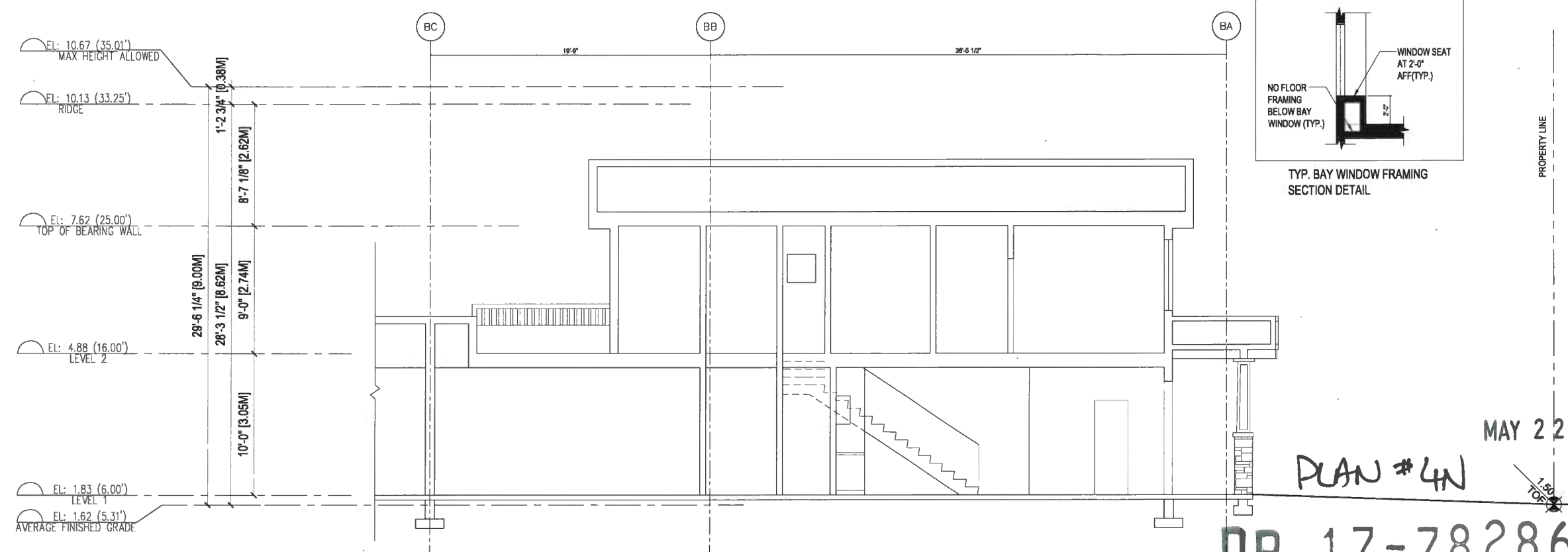
Drawing No. Sheet Revision
 A 4.3



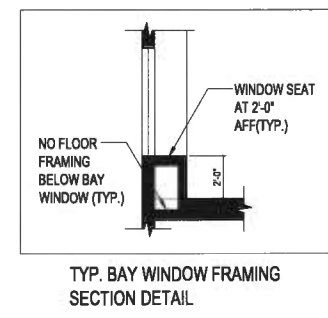
1 UNIT 61 (BLDG 6 ON LOT 6) SECTION 1
 SCALE 1/4"=1'-0"



2 UNIT 61 (BLDG 6 ON LOT 6) SECTION 2
 SCALE 1/4"=1'-0"

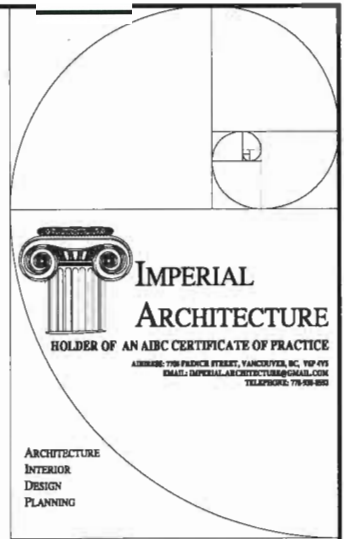


3 UNIT 61 (BLDG 6 ON LOT 6) SECTION 3
 SCALE 1/4"=1'-0"



MAY 22 2018
 PLAN # 4N

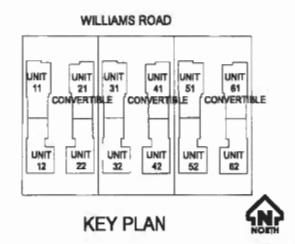
DP 17-782861



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ISSUED FOR ADP REVIEW	J.Z. <td>K.L. <th>16.02.07</th> </td>	K.L. <th>16.02.07</th>	16.02.07
ISSUED FOR PRE-SUBMISSION	J.Z. <td>K.L. <th>17.12.20</th> </td>	K.L. <th>17.12.20</th>	17.12.20
ISSUED FOR DP SUBMISSION	J.Z. <td>K.L. <th>17.08.20</th> </td>	K.L. <th>17.08.20</th>	17.08.20
Issued	By	App'd	YY.MM.DD

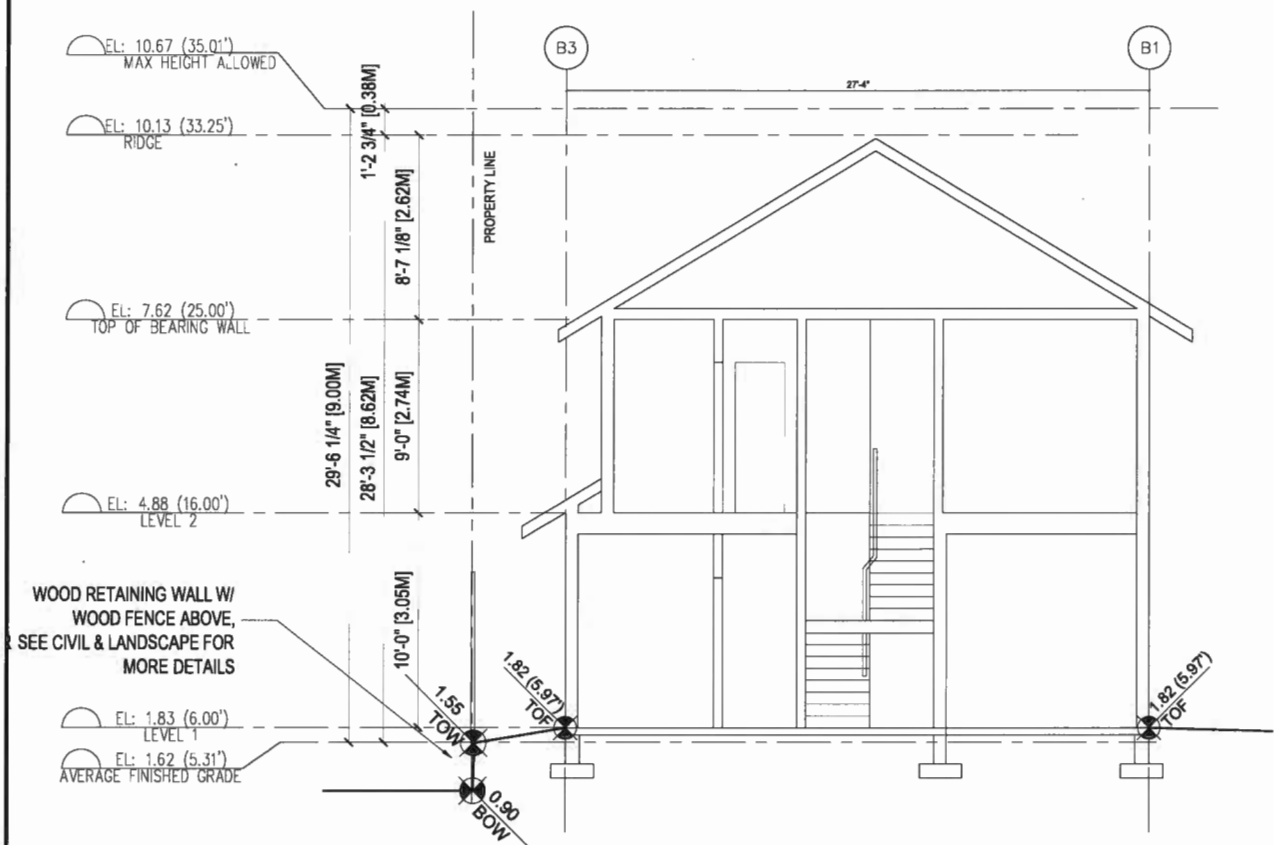
ISSUED FOR DP
SUBMISSION 2018-04-30

Client/Project
DUPLEX DEVELOPMENT FOR
KONIC DEVELOPMENT
5660, 56th Avenue WILLIAMS ROAD,
RICHMOND, BC

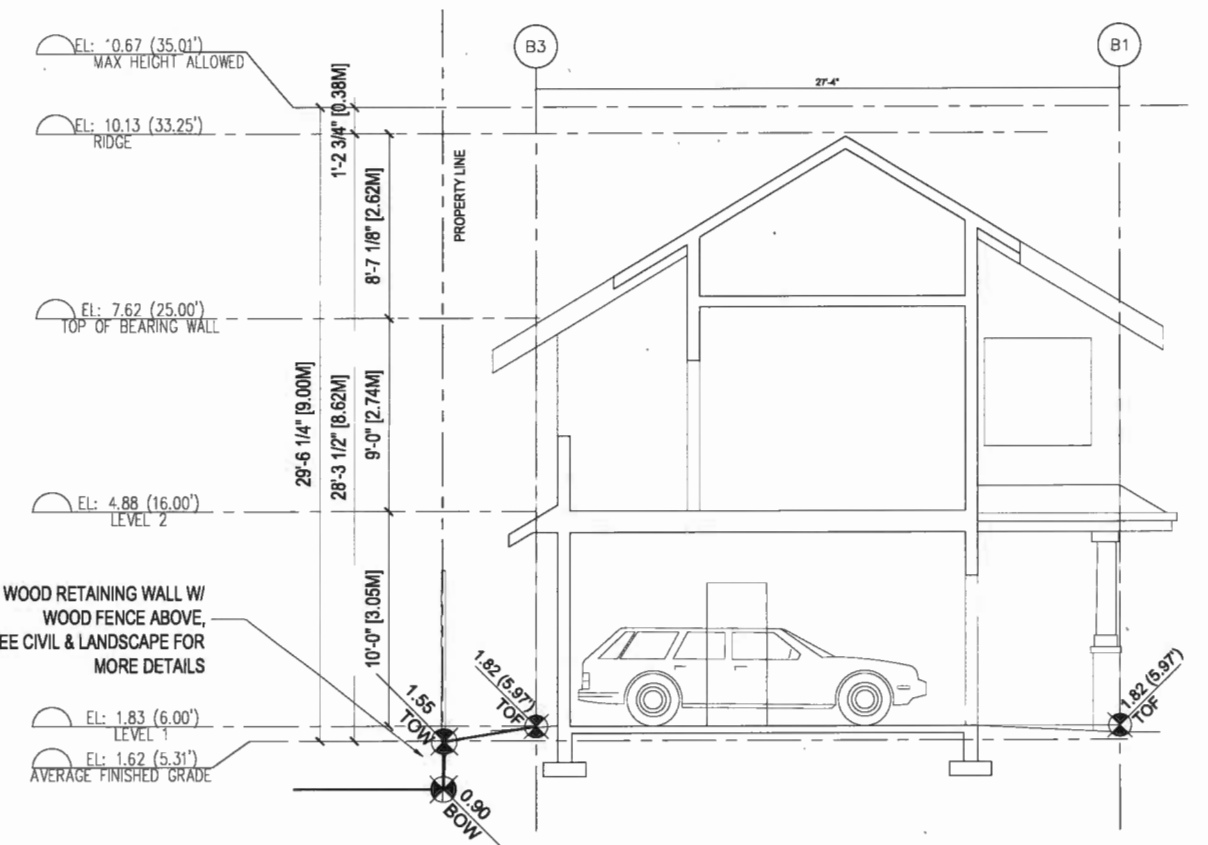
Title
UNIT 62 SECTIONS (BLDG 6 ON
LOT 6) TYP. TO UNIT 22, 42 & 62

Project No. Scale
#8191 1/4"=1'-0"

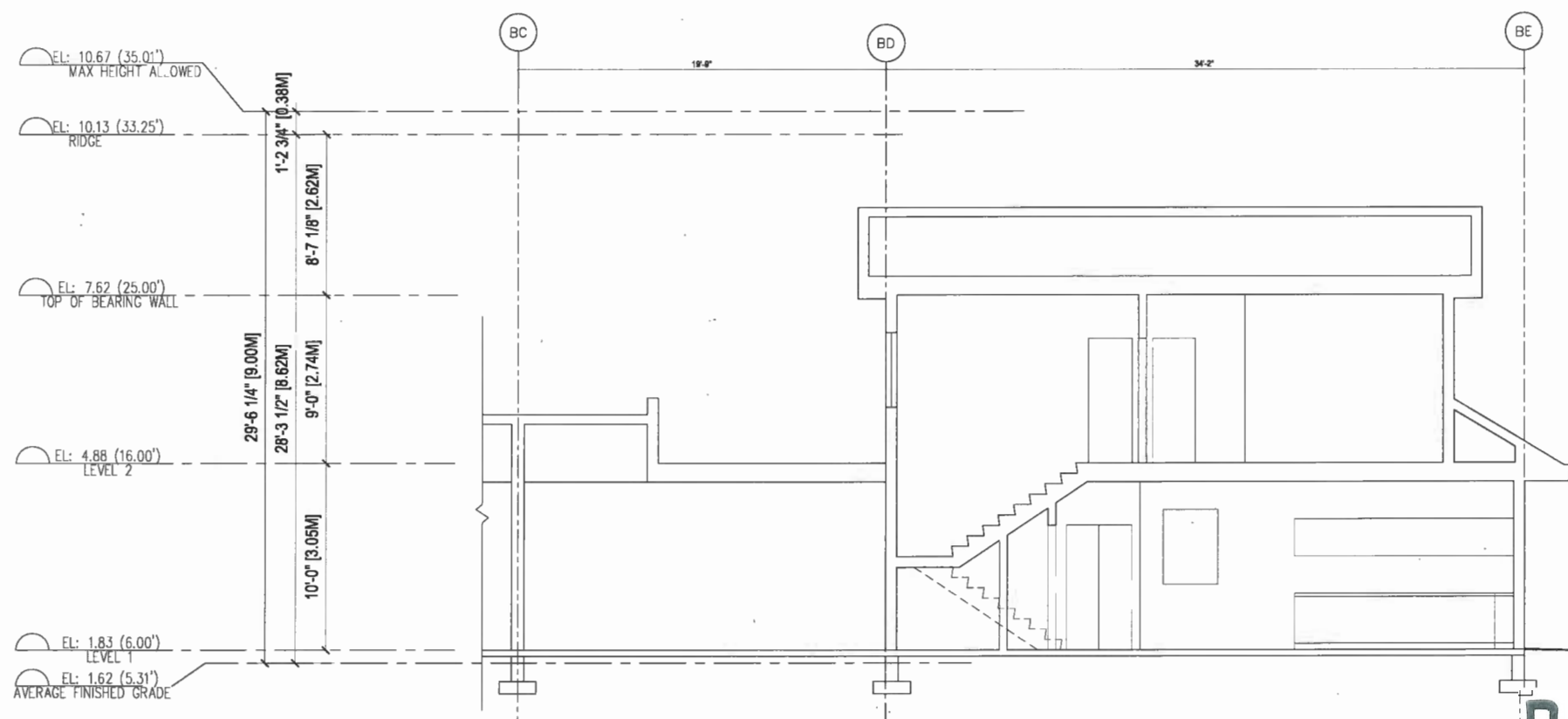
Drawing No. Sheet Revision
A 4.4 of



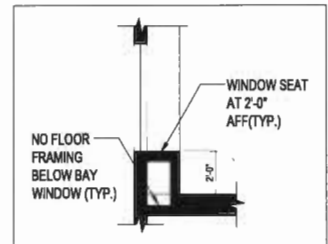
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A4.2 SCALE 1/4"=1'-0"



2 UNIT 62 (BLDG 6 ON LOT 6) SECTION 2
A4.2 SCALE 1/4"=1'-0"



3 UNIT 62 (BLDG 6 ON LOT 6) SECTION 3
A4.2 SCALE 1/4"=1'-0"



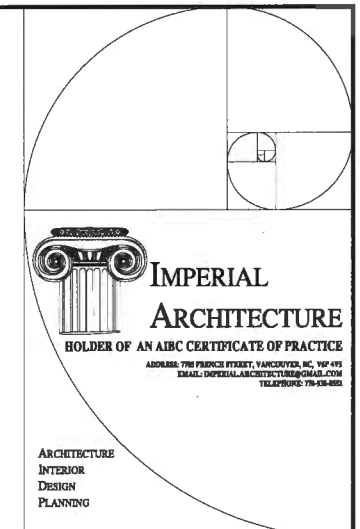
TYP. BAY WINDOW FRAMING SECTION DETAIL

WOOD RETAINING WALL W/
WOOD FENCE ABOVE,
SEE CIVIL & LANDSCAPE FOR
MORE DETAILS

PLAN #40

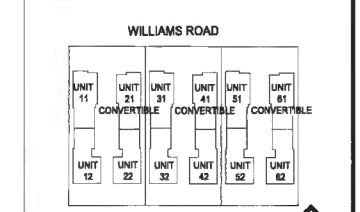
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DP 17-782861



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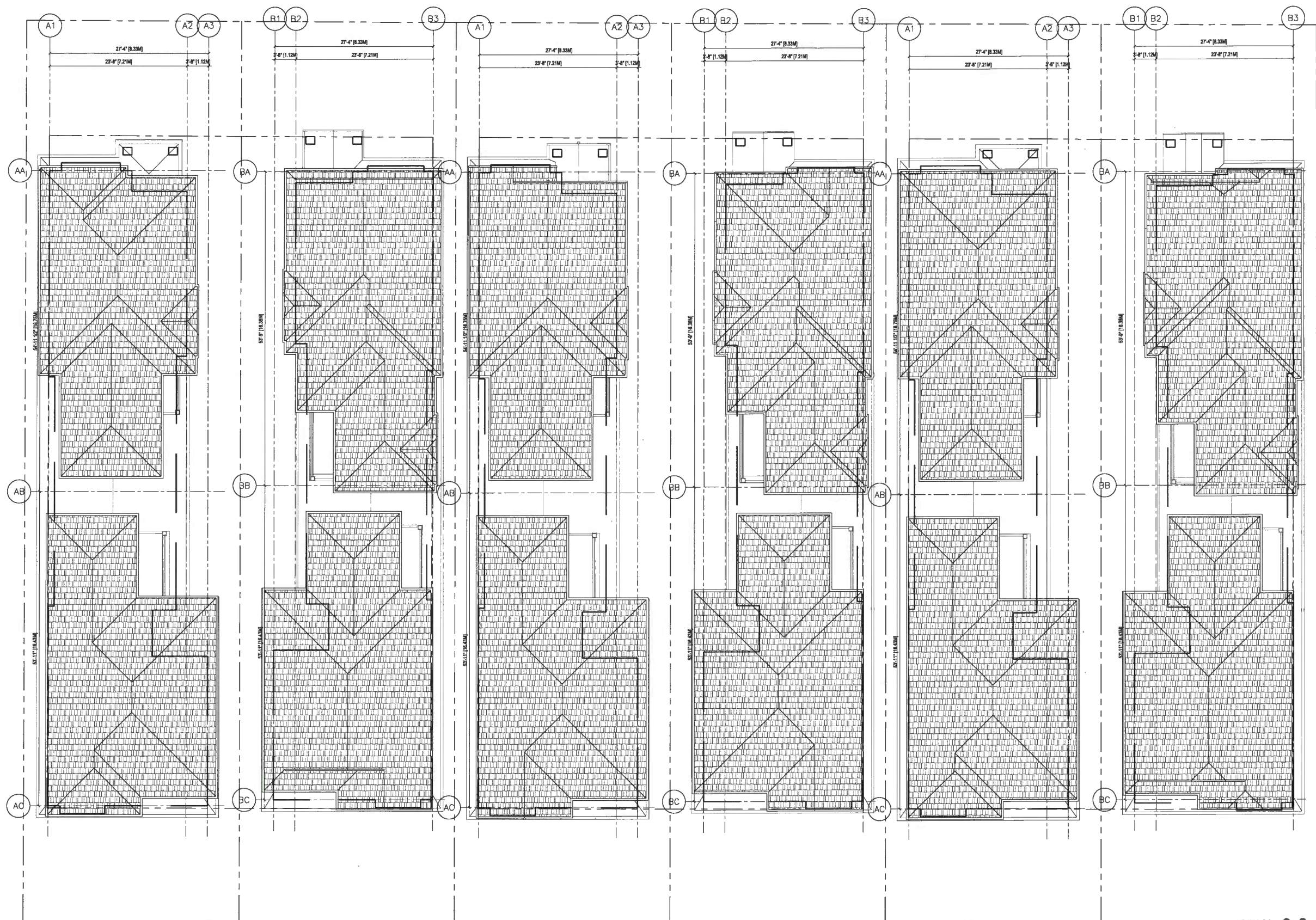
Client/Project
DUPLIX DEVELOPMENT FOR

KONIC
DEVELOPMENT
5660, 5680, 5700 WILLIAMS ROAD,
RICHMOND, BC

Title
ROOF PLANS

Project No. Scale
#B191 1/8"=1'-0"

Drawing No. Sheet Revision
A 2.3 of



12

1 ROOF PLAN
A2.3 SCALE 1/8"=1'-0"

PLAN #4P MAY 2-2 2018
DP 17-782861
NORTH

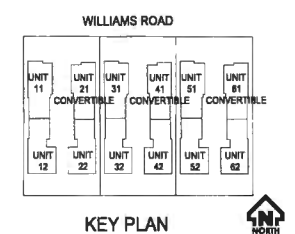
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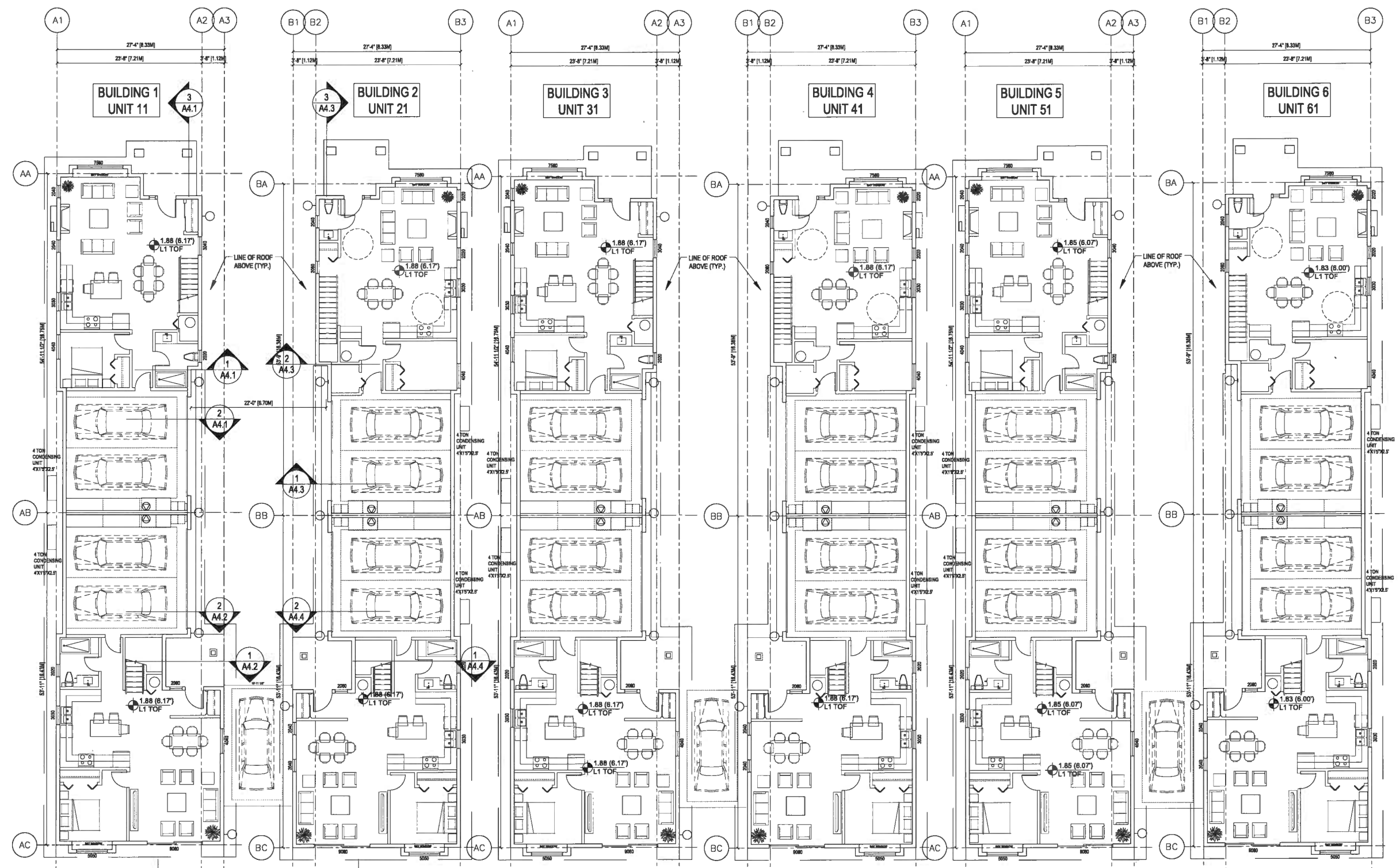
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Client/Project
 DUPLEX DEVELOPMENT FOR

KONIC DEVELOPMENT
 5660, 5680, 5700 WILLIAMS ROAD,
 RICHMOND, BC

Tb
 LEVEL 1 FLOOR PLANS

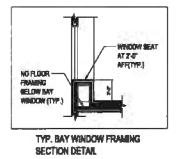
Project No. Scale
 #8191 1/8"=1'-0"
 Drawing No. Sheet Revision
 A 2.1 of



AGING IN PLACE FEATURE NOTES:
 ALL DUPLEX UNITS TO HAVE
 1. BLOCKING IN BATHROOMS FOR INSTALLATION OF GARB-BARS
 2. PROVISION OF BLOCKING TO STAIR WALLS TO ACCOMMODATE LIFTS INSTALLATION AT A FUTURE DATE
 3. PROVISION OF LEVEL DOOR HANDLES

- 1X120L GARBAGE CART
- 1X120L GREEN FOOD SCRAPS CART
- 1 BLUE RECYCLING BOX
- 1 GREY RECYCLING BOX
- 1 YELLOW RECYCLING BAG

- WALL MOUNTED EXTERIOR LIGHTING FIXTURE, SEE ELECT.
- LEVEL 2 EV CHARGE METHOD IS DEFINED AS VOLTAGE OF 208V TO 240V AC, AND CURRENT OF 16A TO 80A, SEE ELECT.
- MULTIMETERING W/ REFER TO DETAILS, SEE ELECT.
- 4 TON CONDENSING UNIT FOR HEAT PUMP AC SYSTEM, SEE MECH.

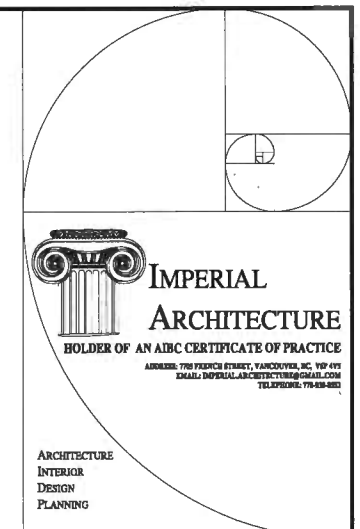


1 LEVEL 1 FLOOR PLAN
 A2.1 SCALE 1/8"=1'-0"

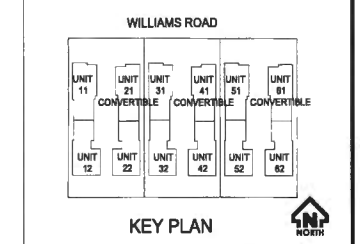
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MAY 22 2018

DP 17-782861 NORTH



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Issued			By: Appl. 17.04.20

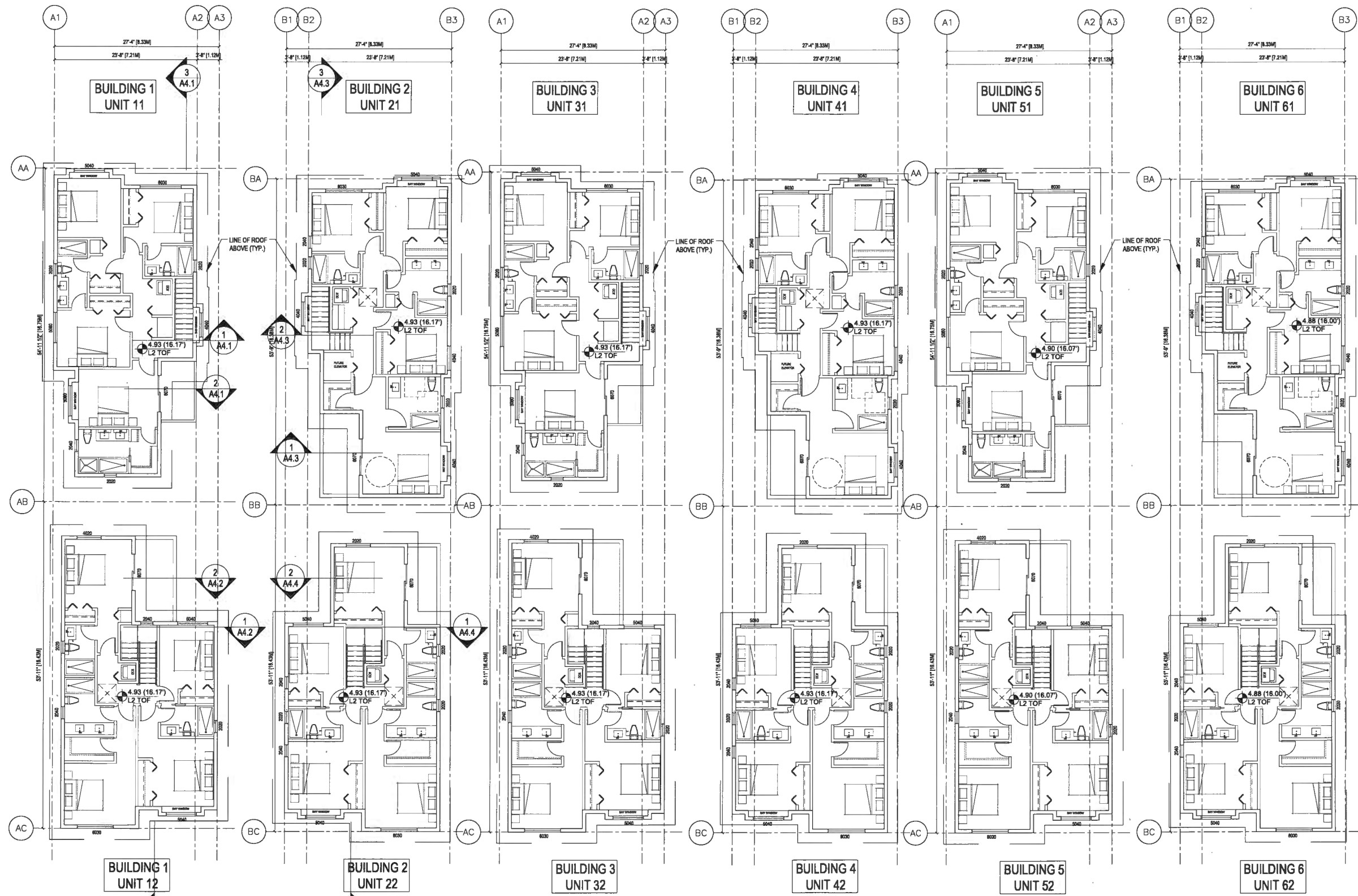
ISSUED FOR DP
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Client/Project
 DUPLEX DEVELOPMENT FOR

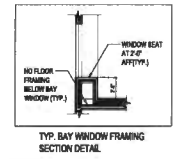
 5660, 5680, 5700 WILLIAMS ROAD,
 RICHMOND, BC

Title
 LEVEL 2 FLOOR PLANS

Project No. Scale
 #8191 1/8"=1'-0"
 Drawing No. Sheet Revision
 A.2.2 of

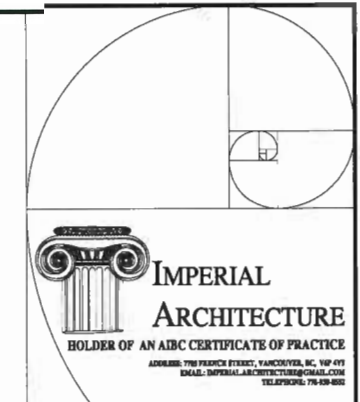


AGING IN PLACE FEATURE NOTES:
 ALL DUPLEX UNITS TO HAVE
 1. BLOCKING IN BATHROOMS FOR INSTALLATION OF GARB-BARS
 2. PROVISION OF BLOCKING TO STAIR WALLS TO ACCOMMODATE LIFTS INSTALLATION AT A FUTURE DATE
 3. PROVISION OF LEVEL DOOR HANDLES



1 LEVEL 2 FLOOR PLAN
 A2.2 SCALE 1/8"=1'-0"

REFERENCE PLAN MAY 22 2018
 DP 17-782861 NORTH

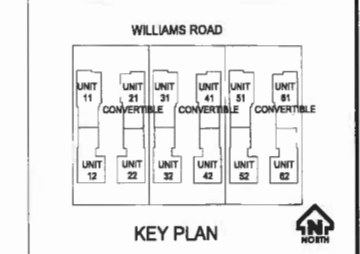


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ISSUED FOR DP
RESUBMISSION 2018-04-30

Client/Project
DUPLIX DEVELOPMENT FOR

KONIC DEVELOPMENT
5660, 56th, c.n.n.0 WILLIAMS ROAD,
RICHMOND, BC

Title
TYPE B1 (CONVERTIBLE) UNIT
PLANS - TYP. TO UNIT B1, B3, B5

Project No. Scale
#8191 1/4"=1'-0"

Drawing No. Sheet Revision
A5.3 of

CONVERTIBLE UNIT GUIDELINES (NOTE: SAFERHOME CRITERIA PROPOSED FOR INCLUSION ARE SHOWN IN BOLD ITALICS)		
A	DOORS & DOORWAYS	A1 ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.
		A2 ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 800 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).
		A3 INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND / OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.
		A4 PATIO / BALCONY MIN. 800 MM CLEAR OPENING. SMALL REMOVABLE WOOD RAMP WILL BE USED TO ADAPT 2" HEIGHT DIFFERENCE BETWEEN FINISHED SURFACES WHEN THE UNIT IS CONVERTED TO ACCESSIBLE UNIT (I.E. WHEN THE ELEVATOR IS INSTALLED)
		A5 ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE
		A6 LEVER-TYPE HANDLES FOR ALL DOORS
B	VERTICAL CIRCULATION	B2 VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
		B3 AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.
		B3 AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.
C	HALLWAYS	C1 MIN. 900 MM WIDTH.
		C1 MIN. 900 MM WIDTH.
D	GARAGE	D1 MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
		D2 ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.
E	BATHROOM (MIN. 1)	E1 TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
		E2 WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
		E3 LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
		E4 PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
		E5 CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.
		E6 DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT)
F	KITCHEN	F1 CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
		F2 CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
		F3 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
		F4 LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
G	WINDOWS	G1 MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN LIVING ROOM)
		G1 MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN LIVING ROOM)
H	OUTLETS & SWITCHES	H1 PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE SWITCHES TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE) ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
		H2 UPGRADE TO FOUR-PLEX OUTLETS ILL MASTER BEDROOM, HOME OFFICE, GARAGE AND RECREATION ROOM.

GENERAL NOTES:
1. AGING-IN-PLACE FEATURES (AS LISTED IN THE OCP) ARE REQUIRED TO BE INCORPORATED INTO ALL UNITS.
2. UNIT 101 IS THE DESIGNATED CONVERTIBLE UNIT.

REQUIREMENTS APPLIED TO ENTIRE A1 CONVERTIBLE UNIT DESIGN

A5 ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.

A6 LEVER-TYPE HANDLES FOR ALL DOORS.

B3 AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.

PLUMBING REQUIREMENTS APPLIED TO ENTIRE A1 CONVERTIBLE UNIT DESIGN

E3 LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.

E4 PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.

E5 CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.

F1 CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.

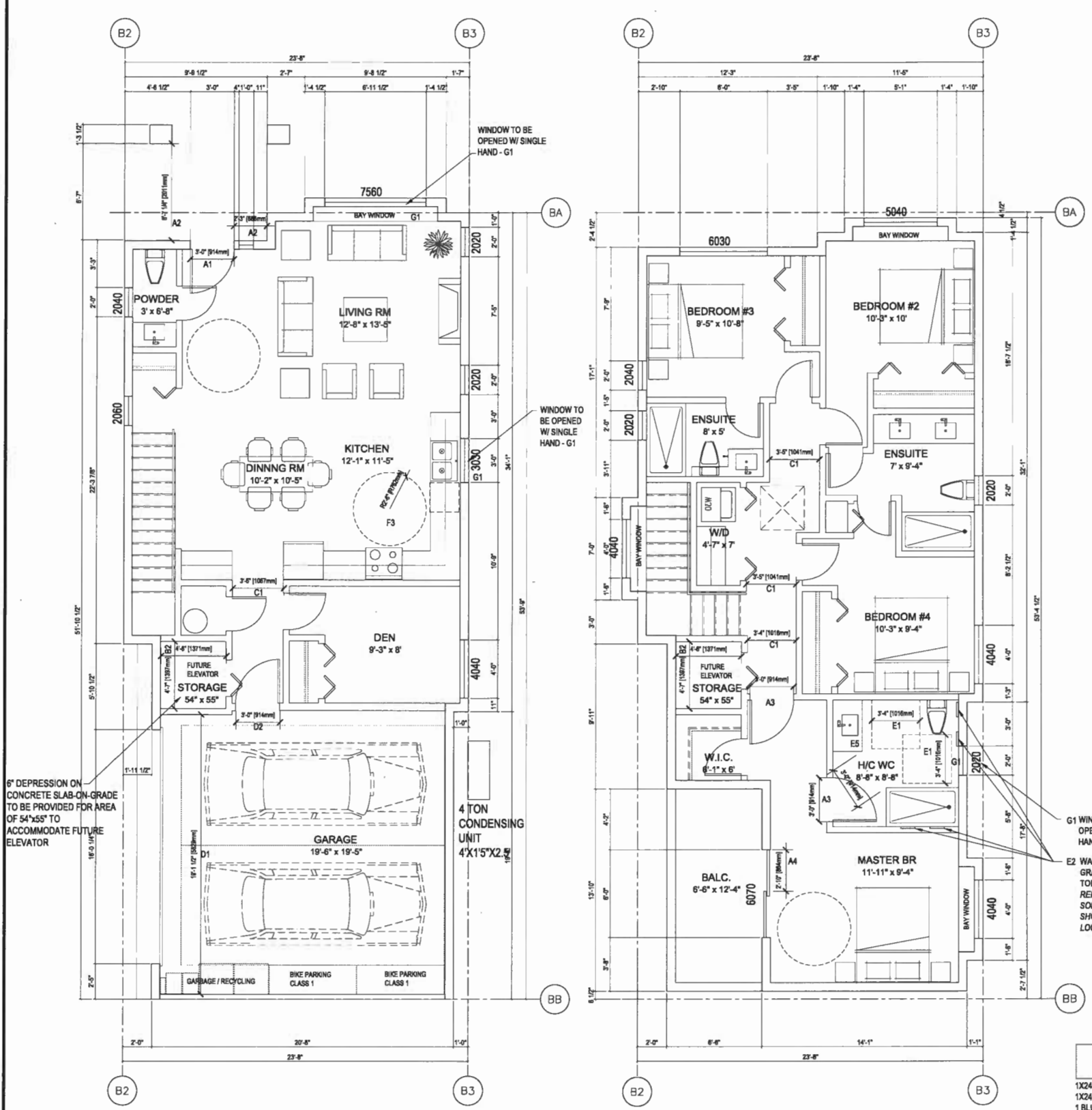
F2 CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.

F4 LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.

ELECTRICAL REQUIREMENTS APPLIED TO ENTIRE A1 CONVERTIBLE UNIT DESIGN

H1 PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE SWITCHES TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE) ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.

H2 UPGRADE TO FOUR-PLEX OUTLETS ILL MASTER BEDROOM, HOME OFFICE, GARAGE AND RECREATION ROOM.



1 TYPE "B1 - CONVERTIBLE UNIT" L1 UNIT PLAN
SCALE 1/4"=1'-0"

2 TYPE "B1 - CONVERTIBLE UNIT" L2 UNIT PLAN
SCALE 1/4"=1'-0"

AGING IN PLACE FEATURE NOTES:
ALL DUPLEX UNITS TO HAVE
1. BLOCKING IN BATHROOMS FOR INSTALLATION OF GRAB-BARS
2. PROVISION OF BLOCKING TO STAIR WALLS TO ACCOMMODATE LIFTS INSTALLATION AT A FUTURE DATE
3. PROVISION OF LEVEL DOOR HANDLES

REFERENCE PLAN

BAY WINDOW IS TYPICALLY 1'-6" AFF AND DOES NOT RESULT PROJECTION OF FLOOR CONSTRUCTION BELOW.

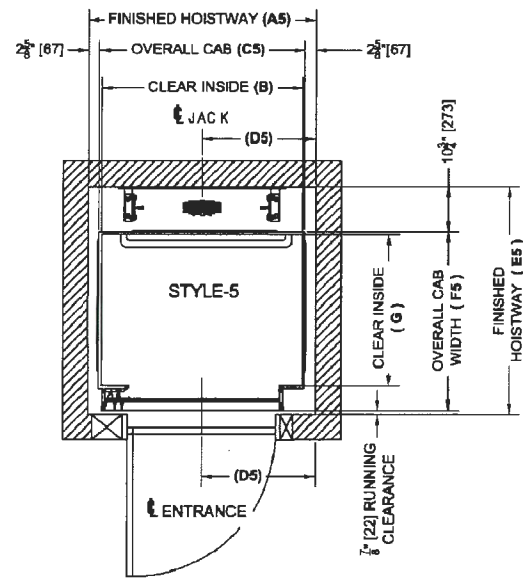
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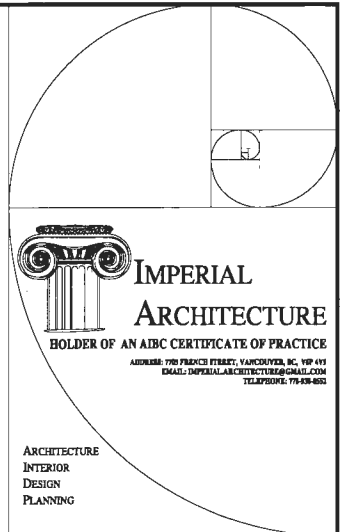
On / Off Same Side Front Configuration Style 5:



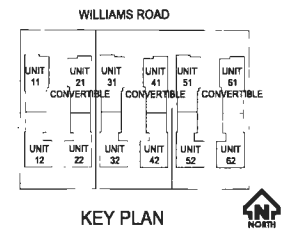
Cab Size	A5	B	C5	D5	E5	F5	G	H*
36" x 48"	54 1/4"	48"	49"	27 1/8"	53 7/8"	42 1/4"	36"	27 1/8"
36" x 54"	60 1/4"	54"	55"	30 1/8"	59 7/8"	46 1/4"	40"	30 1/8"
36" x 60"	66 1/4"	60"	61"	33 1/8"	53 7/8"	42 1/4"	36"	33 1/8"
40" x 54"	60 1/4"	54"	55"	30 1/8"	57 7/8"	46 1/4"	40"	30 1/8"
* 42" x 60"	66 1/4"	60"	61"	33 1/8"	59 7/8"	48 1/4"	42"	33 1/8"
* 48" x 60"	66 1/4"	60"	61"	33 1/8"	65 7/8"	54 1/4"	48"	33 1/8"

Dimensions are based on standard 1/2" cab wall thickness used for flat veneer and melamine finishes. Dimensions for units with aluminum/glass or panelled walls will vary slightly.
 *Cab sizes are limited to 15 sq. ft. in some areas. Consult with your local Garaventa Lift representative.
 * H dimension is based on a 36" wide door.

HOME ELEVATOR SERIES BY
 GARAVENTA BC (ELEVATOR / LIFT MANUFACTURER)
 2805 MURRAY STREET PORT MOODY, BC V3H 1X3 CANADA
 MONDAYS – FRIDAYS: 8:00 AM – 4:30 PM
 TEL: 604 461-6636 / 1-800-565-6636
 FAX: 604 461-0525
 EMAIL: INFO@GARAVENTABC.COM



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Client/Project
 DUPLEX DEVELOPMENT FOR

KONIG
 DEVELOPMENT
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 RICHMOND, BC

Title
 DETAILS

Project No. Scale
 #8191 AS NOTED
 Drawing No. Sheet Revision
 A5.5 of

REFERENCE PLAN
 MAY 22 2018

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