

Report to Development Permit Panel

To: Development Permit Panel Date: May 22, 2018

From: Wayne Craig

Director, Development

File: DP 17-782861

Re:

Application by Konic Development for a Development Permit at 5660, 5680 and

5700 Williams Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of six back-to-back duplexes at 5660, 5680 and 5700 Williams Road on a site zoned "Two-Unit Dwelling (ZD5) – Steveston/Williams".

Wayne Craig

Director, Development

(604-247-4625)

WC:el Att. 2

Staff Report

Origin

Konic Development has applied to the City of Richmond for permission to develop six back-to-back duplexes at 5660, 5680 and 5700 Williams Road. The site is being rezoned from "Single Detached (RS1/E)" zone to a new site specific "Two-Unit Dwelling (ZD5) — Steveston/Williams" zone under Bylaw 9553 (RZ 15-693220), which received Third Reading following the Public Hearing on June 20, 2016. The site is currently vacant. A Servicing Agreement for frontage upgrades and service connections is required prior to Subdivision approval.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, across Williams Road, single-family homes on lots zoned "Single Detached (RS1/E)" and "Single Detached (RS1/C)", and an eight-unit townhouse development on a lot zoned "Low Density Townhouses (RTL1)".
- To the east, fronting Williams Road, a utility station owned by Telus on lots zoned "School & Institutional Use (SI)".
- To the south, fronting Lawson Drive, single-family homes on smaller lots zoned "Single Detached (RS1/B)".
- To the west, fronting Williams Road, single-family homes on lots zoned "Single Detached (RS1/E)".

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on June 20, 2016. The following concerns were expressed during the Public Hearing. The response to the concern is provided in *italics*.

Typology and Density of the Proposed Development

Residents were concerned that the proposed typology, as well as the number of units and driveways, will have a negative impact on the character of the neighbourhood and on traffic on Williams Road.

Subsequent to the Public Hearing, a set of location criteria, development requirements, and Development Permit guidelines for duplex developments along arterial roads were developed. These were based on in-depth reviews (including road capacity) and public consultation, as part of the Arterial Road Land Use Policy Updates and were approved by Council on December 19, 2016.

The subject proposal is generally in compliance with the location criteria, development requirements, and Development Permit guidelines for duplex developments. The character, massing and scale of the duplex buildings will be controlled to resemble that of a single-family home in the immediate neighbourhood. Access to each property will be from a shared driveway (i.e., one driveway for every two lots consisting of a total of four units) to minimize traffic impacts. There are currently three driveways serving the three existing single-family lots. The total number of driveways for the proposed duplex development will remain at three. No increase in number of driveways is proposed.

Affordability

Residents have concerns over the affordability of the proposed duplex development and that the proposed development provides no benefits to affordable housing.

One of the intentions to introduce duplexes on arterial roads is to provide a new housing option for the residents. Duplex developments on arterial roads would allow smaller homes to be built on large arterial road properties where there is no subdivision potential. While the maximum permitted density for the duplex development is 0.6 floor area ratio (FAR), the actual maximum unit size is limited to 167 m² or 1800 ft². This is larger than the typical townhouse unit on an arterial road (ranging from approximately 111 m² or 1,200 ft² to 139 m² or 1,500 ft²), and smaller than the typical compact single-family home on an arterial road (approximately 204 m² or 2,200 ft² and up). Staff envisions that a duplex unit would be more affordable than a single-family home on a compact lot.

In addition, a cash contribution in accordance to the City's Affordable Housing Fund has been secured at rezoning.

<u>Drainage</u>

Perimeter drainage will be installed as part of the Building Permit to ensure the proposed grade change does not adversely impact the surrounding sites.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Two-Unit Dwelling (ZD5) – Steveston/Williams" zone.

Advisory Design Panel Comments

The Advisory Design Panel reviewed and provided comments on the proposal; however, the Panel did not support the project to move forward to the Development Permit Panel. The Advisory Design Panel feels that the duplex development might not be the best land use for the subject site and might not be a good standard for densification in Richmond. It is noted that land use and density is out of the scope of the Advisory Design Panel and the Development Permit Panel.

Despite the Advisory Design Panel's concerns about land use the Panel was generally in support of the design of the proposal, since the proposal has been designed to meet the applicable zoning requirements and Development Permit guidelines.

Analysis

Conditions of Adjacency

- The proposed height, siting and orientation of the proposed duplexes respect the finer grain of the evolving character in the surrounding residential urban context. The massing of the proposed development compliments the existing surrounding single-family developments. Efforts have been made to offset windows on adjacent buildings.
- A line of 1.52 m (60 in.) tall wood fence on top of an approximately 0.7 m to 0.82 m (27 in. to 32 in.) high retaining wall, and a line of Portuguese Laurel hedge are proposed along the rear property line to provide a buffer between the proposed duplexes and the adjacent single-family homes to the south. Two trees will also be planted within each of the rear yards (12 trees in total) to provide additional natural screening in response to privacy concerns raised by the neighbouring residents.
- Perimeter drainage will be secured through the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

Urban Design and Site Planning

- Six duplex lots are proposed; each duplex lot will contain a duplex building with a front duplex unit facing the street and a back duplex unit fronting onto the internal drive aisle. The subdivision of the subject site into six lots requires a separate application. The subdivision must be approved prior to issuance of a Building Permit.
- The 12 duplex units are grouped into three clusters of four duplex units each. A shared driveway will be provided for each pair of duplex lots (with a cluster of four duplex units) to minimize traffic impacts. Internal drive aisles are designed as vehicle courtyards to accommodate a turnaround area for vehicles; vehicles will not be allowed to reverse out of the site onto Williams Road. A cross access easement will be secured at Subdivision.
- The number of resident parking spaces and visitor parking spaces proposed are in compliance with the minimum bylaw requirement. All units will have two vehicle parking spaces in a side-by-side double car garage. One on-site visitor parking space will be provided for each pair of duplex lots (with a cluster of four duplex units); a cross access easement will be secured at Subdivision.
- No common or shared Indoor/Outdoor Amenity Space is required for this development, but each unit will have access to a private outdoor space. The provision of private outdoor spaces complies with the Development Permit Guidelines (minimum of 30 m² per unit) of the OCP. All units will have a private outdoor space consisting of a front or rear yard and a balcony on the second floor.

• All individual garages are designed to accommodate garbage, recycling and organic waste storage containers indoor. It is noted that the garbage and recycling vehicles will not enter into the internal drive aisles duplex clusters; a garbage/recycling holding area will be provided by the entry driveway on each duplex lot to accommodate scheduled collection.

Architectural Form and Character

- The character, massing and scale of the street fronting units are designed to resemble that of a single-family home.
- A pedestrian scale is generally achieved along Williams Road through the inclusion of variation in architectural styles, building projections, recesses, entry porches, varying material/colour combinations, landscape features, and the use of individual unit entrances. Efforts were made to differentiate the building façades along Williams Road with various combinations of unit layouts, cladding materials, colours, trims, decorative details, and roof line treatments.
- Additional architectural treatments (such as bay windows and various roof line treatments) were given to the side elevations along the internal courtyards and to the exterior side elevation of Buildings #1 and #6.
- Four different unit layouts are proposed in each duplex cluster of four units, including a convertible unit.
- The proposed building materials (asphalt shingles, composite lap siding, hardie board, hardie shake, cultural stone cladding, and wood trims) are generally consistent with the Official Community Plan (OCP) Guidelines.
- Different colour schemes are proposed for each of the six main façades along Williams Road. For the side and rear elevations, bright colours (light grey and beige colors) are proposed to harmonize with those on existing neighbouring buildings; darker colours are proposed on fascia boards, trim boards, and window frames to achieve contrast.

Landscape Design and Open Space Design

- Tree preservation was reviewed at rezoning stage. Based on the 2:1 tree replacement ratio goal stated in the OCP, 24 replacement trees are required for the removal of 12 bylaw-sized trees. The applicant is proposing to plant 18 new trees on-site and provide a voluntary cash contribution in the amount of \$500/tree (i.e., \$3,000 in total) to the City's Tree Compensation Fund.
- The landscape architect advised that the spaces available for tree planting is limited due to the density of the development, the required off-site works, and the location and configuration of the existing statutory right-of-ways (SRWs) on-site, and it is inappropriate to introduce conifer trees on-site. 18 deciduous trees ranging from 6 cm to 11 cm caliper size are proposed.

- The applicant has committed to the relocation of an existing Monkey Puzzle tree (i.e., a conifer tree) on-site. The tree will be relocated to the northeast corner of the site. A proof of a contract with a company specializing in tree relocation to undertake the transplant of this tree and a Tree Survival Security to the City in the amount of \$2,000 have been secured at rezoning stage.
- Along Williams Road, the front yards will be landscaped with layers of plantings, including one tree per new lot and various shrubs and ground covers to provide an enclosed private yard space with a lawn area.
- Each of the rear duplex units will have a private yard with a patio and a lawn area; with landscaping along the perimeter of the space to provide privacy screening and greenery.
- The shared drive aisles and visitor parking stalls will be treated with permeable pavers for better water infiltration. A small landscaping pad is proposed between the garages on the same lot to create visual segregation between units.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$118,161.70 in association with the Development Permit.

Crime Prevention Through Environmental Design

- Passive surveillance opportunities are presented through the siting of the building and the relationship between the indoor spaces and the outdoor areas to meet safety and crime prevention objectives.
- Extra windows have been added where possible to allow for passive surveillance of common areas.
- Site lighting and clear sight lines provide unobstructed views of surrounding area.
- Plantings near residential entries are low to maximize views and casual surveillance opportunities of common areas.

Sustainability

- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed duplexes and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed duplex units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.
- Each garage will be equipped with a 240V receptacle to accommodate future electric vehicle charging equipment.
- The developer also advises that the following sustainability features will be incorporated into the development:
 - o Use of Low E double glazing windows.
 - o Use of Energy Star appliances in all units.

Accessible Housing

- The proposed development includes three convertible units (one unit in each duplex cluster of four) that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a vertical lift in the stacked storage space which has been dimensioned to allow for this in both units, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - o Stairwell hand rails.
 - o Lever-type handles for plumbing fixtures and door handles.
 - o Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development meets applicable policies and Development Permit Guidelines and the applicant has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment 2, staff recommend support of this Development Permit application.

Edwin Lee Planner 1

(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet Attachment 2: Development Permit Considerations



Development Application Data Sheet Development Applications Department

DP 17-782861				Attachment 1
Address: 566	0, 5680 and 5700 Williams Road			
Applicant: Kon	ic Development	Owner:	Diamond Williams	s Homes (Konic) Inc.
Planning Area(s): Steveston			
Floor Area Gros	s: 427 - 430 m ² (per lot)	Floor	Area Net 318 m²	(per lot)

	Existing	Proposed
Site Area:	3,185 m ²	Six lots @ approx. 530 m ² each
Land Uses:	Single-family dwellings	Two-unit dwellings
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Single-Detached (RS1/E)	Two-Unit Dwelling (ZD5) – Steveston/Williams
Number of Units:	3	12

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max 0.6	0.6	none permitted
Floor Area (per unit):	Max. 167.22 m ²	157.76 m ² - 160,35 m ²	none permitted
Lot Coverage (per lot):	Max. 45%	44.1% - 44.6%	none
Lot Coverage – Non-porous Surfaces (per lot):	Max. 70%	52% - 54%	none
Lot Coverage – Landscaping (per lot):	Min. 25%	25.5% - 26%	none
Setback – Front Yards:	Min. 6.0 m	7.82 m – 8.23 m	none
Setback – Side Yards (internal):	Min. 1.2 m	1.22 m - 1.74 m	none
Setback – East Property Line:	Min. 1.2 m	1.29 m	none
Setback – West Property Line:	Min. 1.2 m	1.28 m	none
Setback – Rear Yards:	Min. 6.0 m	6.01 m – 6.12 m	none
Height (m):	Max. 2 storeys, but not exceed the residential vertical lot width and the residential vertical lot depth envelope (i.e., 9.0 m)	8.65 m – 8.67 m	none
Lot Width (per lot) (m):	Min. 10.5 m with shared access	11.28 m	none

Lot Depth (per lot) (m):	Min. 45 m	47.13 m	none
Lot Size (per lot):	Min. 464.5 m ²	530 m² - 531 m²	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) per unit; and 1 (V) per a cluster of three or more units	2 (R) and 0.25 (V) per unit	none
Off-street Parking Spaces – Accessible:	not required	0	none
Tandem Parking Spaces	not permitted	0	none
Off-street Parking Spaces – Total:	24 (R) and 3 (V)	24 (R) and 3 (V)	none



Development Permit Considerations

Development Applications Department 6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 5660, 5680 and 5700 Williams Road

File No.: <u>DP 17-782861</u>

Prior to approval of the Development Permit, the developer is required to complete the following:

- 1. Adoption of Rezoning Bylaw 9551 (RZ 15-693220);
- 2. City acceptance of the developer's offer to voluntarily contribute \$3,000 to the City's Tree Compensation Fund for the planting of replacement trees within the City.
- 3. Receipt of a Letter of Credit for landscaping in the amount of \$118,161.70.

At Subdivision* stage, the applicant must complete the following requirements:

- 1. Pay Development Cost Charges (City & GVS&DD), School Site Acquisition Charge, and Address Assignment Fee. Servicing connections are to be determined at Servicing Agreement stage.
- 2. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements. Works include, but may not be limited to, the following service works and off-site improvements:

Water Works:

- Using the OCP Model, there is 637.9 L/s of water available at a 20 psi residual at the Williams Road frontage. Based on your proposed development, your site requires a minimum fire flow of 95 L/s.
- The Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
- At the Developers cost, the City is to:
 - Cut and cap the existing water service connections at the watermain along Williams Road frontage.
 - Install 12 new water service connections complete with meter and meter box along Williams Road frontage.

Storm Sewer Works:

- At the Developers cost, the City is to:
 - Cut and cap the existing storm service connections and remove the existing storm sewer inspection chambers fronting Williams Road.
 - Install 3 new storm service connections complete with a new inspection chamber and dual service leads, and tie-in to existing 600mm storm sewer on the south side of Williams Road.

Sanitary Sewer Works:

- At the Developers cost, the City is to:
 - Cut and cap the existing service lead to 5660 Williams Road in the southwest corner of the lot.
 - Cut and cap the existing sanitary service connections and remove the existing sanitary sewer inspection chamber for 5680 and 5700 Williams Road.

Initial:	

- Install three (3) new service connections complete with inspection chambers and dual service leads along the south end of the property line.
- All sanitary works to be completed prior to any onsite building construction.

Frontage Improvements:

- The Developer is required to:
 - Construct a new 2.0 m wide concrete sidewalk at the property line. The new sidewalk is to connect to the existing sidewalk east and west of the site.
 - Remove the existing sidewalk and backfill the area between the curb and the new sidewalk to provide a minimum 1.5 m wide treed and landscaped boulevard (width of the boulevard is exclusive of the 0.15 m wide top of curb).
 - Construct the driveways to City design standards with 0.9 m flares at the curb and 45° offsets to meet the grade of sidewalk/boulevard.
 - Provide special stamped/tinted concrete treatment for the sidewalk across each driveway and green bike lane paint for the bike lane at the crossing.
 - Consult Parks on the requirements for tree protection/placement including tree species and spacing as part of the frontage works.
 - Consult Engineering on lighting and other utility requirements as part of the frontage works.
 - Coordinate with BC Hydro, Telus and other private communication service providers:
 - To underground Hydro service lines.
 - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - To determine if above ground structures are required and coordinate their locations (e.g. LPT, Shaw cabinets, Telus Kiosks, etc.).

General Items:

• Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. Installation of appropriate tree protection fencing around all trees transplanted as part of the development prior to any construction activities, including building demolition, occurring on-site.
- 2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- 3. Incorporation of energy efficiency, CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- 4. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.

Initial:	
minitar.	

5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
 - All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
 - The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed	Date	

11.



Development Permit

No. DP 17-782861

To the Holder:

KONIC DEVELOPMENT

Property Address:

5660, 5680 AND 5700 WILLIAMS ROAD

Address:

C/O KEITH LEUNG

#1135 - 13700 MAYFIELD PLACE

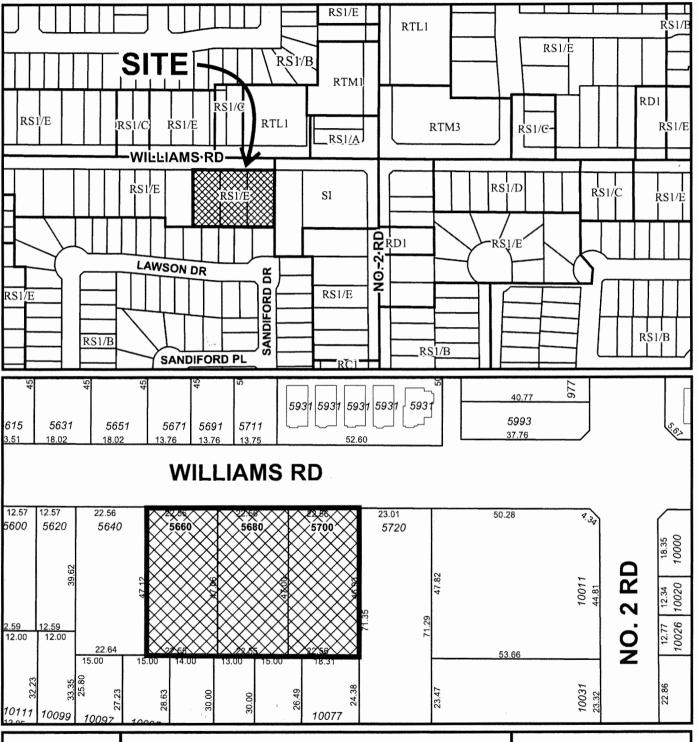
RICHMOND, BC V6V 2E4

- 1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
- 2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
- 3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
- 4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
- 5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$118,161.70 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
- 6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit No. DP 17-782861

То	the Holder:	KONIC DEVE	LOPME	ENT
Pr	operty Address:	5660, 5680 AN	ND 570	0 WILLIAMS ROAD
Ad	ldress:	C/O KEITH LE #1135 - 13700 RICHMOND, E	MAYF	
7.		s of this Permit a part hereof.		enerally in accordance with the terms and plans and specifications attached to this
	UTHORIZING RESOLUT AY OF ,	ION NO.		ISSUED BY THE COUNCIL THE
DI	ELIVERED THIS D	OAY OF	,	· .
M.	AYOR			







DP 17-782861 SCHEDULE "A"

Original Date: 09/12/17

Revision Date:

Note: Dimensions are in METRES



LOCATION PLAN







SITE CONTEXT PLAN



Policy Compliance Case:

The policy compliance case models the upgrades which, shall improve the energy performance of all homes in the proposed development to an EnerGuide rating of 82 or better.

Table of upgrades and commitments:

All units: The following list of upgrades will be installed in all units

Component	Upgrade
Solar Hot Water Ready requirement	"Per the requirements of the BC Solar Hot Water Ready regulation".

Unit 11: The following list of upgrades have been identified for Unit 11. If all of these upgrades are installed in Unit 11, and in other units assessed to have similar or better energy performance, energy modelling indicates the units will ochieve or exceed an EnerGuide 82 rating.

Component	Upgrade	Commitment
Space Heating:	Heat Recovery Ventiator	Heat Recovery Ventilator (HRV) sized and installed per BCBC Section 9.32
Space Heating:	Air Source Heat Pump	Air Source Heat Pump (ASHP); Seer >14.5; HSPF > 7.5. This upgrade shall require the projects mechanical Professional Engineer to provide a letter to the City of Richmond which specifies the equipment and confirms that the equipment complies with Noise Regulations Bylaw No. 8856.

RECOMMENDATIONS FROM ENERGY REPORT TO BE IMPLEMENTED IN BP AND CONSTRUCTION DRAWINGS

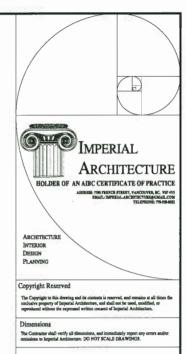
Project Statistics			
Civic Address	5660, 5680, 5700 Williams	Road, Ric	hmond, BC
Legal Description	Lot 2, Plan 16855, Except P	art Subdi	ivided by Plan 55454
	Lot 3, Plan 16855, Except P	art Subdi	ivided by Plan 55454
	Lot 976 Plan 58348		
	All of SEC 36, Block 4, North	h Range	7 West NWD
Total Site Area	34283.05	SF	
Max. FSR Allowed (ZD-5 Zone)	0.6		Max. Allowed
Floor Area Allowed	20569.83	SF	Max. Allowed
Total Net floor Area Provided	20538.63	SF	
Total F5R Provided	0.6	< 0.6	Max. Allowed

Residential Parking Required	24	Standard Stalls
Residential Parking Provided	24	Standard Stalls
Visitor Parking Required	3	Standard Stalls
Visitor Parking Provided	3	Standard Stalls
H/C Visitor Parking Required	0	
H/C Visitor Parking Provided	0	
Bike Storage (Class 1) Required	24	Horizontal
Visitor Parking Provided	24	Horizontal

Area Calculation					i									
		5660 Will	iams Rd			5680 Wi	lliams Rd			5700 Will	iams Rd		Total	
	Lot	1	Lo	t 2	Lo	t3	Lo	t 4	Lot	5	Lo	t 6		
	Build	ing 1	Build	ing 2	Build	ling 3	Build	ding 4	Buildi	ng 5	Build	ing 6		
Unit#	Unit 11	Unit 12	Unit 21	Unit 22	Unit 31	Unit 32	Unit 41	Unit 42	Unit 51	Unit 52	Unit 61	Unit 62	12	Units
Unit Type	A1	A2	B1	BZ	A1	A2	B1	B2	A1	A2	B1	B2	4	Unit Type:
Convertible Unit			1				✓				1			
Location	Front Unit	Rear Unit												
Feature (BD / DEN)	5BD	5BD	4BD+DEN	5BD	5BD	5BD	4BD+DEN	5BD	5BD	5BD	4BD+DEN	5BD		
Feature (Bath)	4 Bath	4 Bath	3.5 Bath	4 Bath	4 Bath	4 Bath	3.5 Bath	4 Bath	4 Bath	4 Bath	3.5 Bath	4 Bath		
Level 1 Floor Area	752.28	757.7	718.90	752.55	752.28	757.7	718.90	752.55	752.28	757.7	718.90	752.55	8944.29	SF
Level 2 Floor Area	946.54	968.41	1002.85	946.98	946.54	968.41	1002.85	946.98	946.54	968.41	1002.85	946.98	11594.34	SF
Net Area (for FSR)	1698.82	1726.11	1721.75	1699.53	1698.82	1726.11	1721.75	1699.53	1698.82	1726.11	1721.75	1699.53	20538.63	SF
Exempted Stair Area (Level 1)	50.65	107.53	62.72	107.53	50.65	107.53	62.72	107.53	50.65	107.53	62.72	107.53		
Exempted Stair Area (Level 2)	37.53	53.30	52.70	52.21	37.53	53.30	52.70	52.21	37.53	53.30	52.70	52.21		
Total Exempted Stair Area	88.18	160.83	115.42	159.74	88.18	160.83	115.42	159.74	88.18	160.83	115.42	159.74	1572.51	SF
Exempted Garage Area	403.48	403.48	403.64	403.64	403.48	403.48	403.64	403.64	403.48	403.48	403.64	403.64	4842.72	SF
Exempted Covered Porch	65.27	50.68	72.37	50.68	65.27	50.68	72.37	50.68	65.27	50.68	72.37	50.68	717.00	SF
Total Exempted Area	556.93	614.99	591.43	614.06	556.93	614.99	591.43	614.06	556.93	614.99	591.43	614.06	7132.23	SF
Gross Area	2255.75	2341.10	2313.18	2313.59	2255.75	2341.10	2313.18	2313.59	2255.75	2341.10	2313.18	2313.59	27670.86	SF

		5660 Will	iams Rd			5680 Wil	liams Rd			5700 Will	iams Rd		Total	
	Lo			t 2	Lo	ot 3		t 4	Lot	5	Lo	t 6		
	Build	ing 1	Build	ling 2	Buile	ding 3	Build	ling 4	Buildi	ng 5	Build	ling 6		
Unit#	Unit 11	Unit 12	Unit 21	Unit 22	Unit 31	Unit 32	Unit 41	Unit 42	Unit 51	Unit 52	Unit 61	Unit 62		
Unit Type	A1	A2	B1	B2	A1	A2	B1	B2	A1	A2	B1	B2	12	Units
Convertible Unit			1				1				1		4	Unit Types
Location	Front Unit	Rear Unit	/											
Building Footprint per Lot	2430	0.30	239	8.17	243	0.30	239	8.17	2430.	30	239	8.17	14485.41	SF
Covered Porch per Unit	65.27	50.68	72.37	50.68	65.27	50.68	72.37	50.68	65.27	50.68	72.37	50.68	717.00	SF
Total Porch Area per Lot	115	.95	123	3.05	115.95		123.05		115.95		123.05			
Total (Bldg+Porch) Provided	2546	5.25	252	1.22	254	6.25	252	1.22	2546.	25	252	1.22	15202.41	SF
Site Area per Lot	572	2.07	571	8.78	571	5.48	571	2.19	5708.	90	570	5.60	34283.02	SF
Total Bldg + Patio Coverage Ratio	44.	5%	44.	1%	44	.6%	44.	.1%	44.6	%	44.	.2%	< 45%	Allowed
Total Floor Area (Net) Per Lot	3424	1.93	342	1.28	342	4.93	342	1.28	3424	93	342	1.28	20538.63	SF
Total Covered Porch Ratio	39	%	4	%	3	1%	4	%	3%		4	%	< 10%	Allowed

	1	5660 Will	iams Rd			5680 Wil	liams Rd			5700 Will	iams Rd		Total	1
	Lo	t 1	Lo	t 2	Lo	ot 3	Lo	t 4	Lot	5	Lo	t 6		
	Build	ing 1	Build	ing 2	Build	ding 3	Build	ling 4	Buildi	ng 5	Build	ling 6		
Unit #	Unit 11	Unit 12	Unit 21	Unit 22	Unit 31	Unit 32	Unit 41	Unit 42	Unit 51	Unit 52	Unit 61	Unit 62		
Unit Type	A1	A2	B1	B2	A1	A2	B1	B2	A1	A2	B1	B2	12	Units
Convertible Unit			1				1				✓		4	Unit Types
Location	Front Unit	Rear Unit												
Residential Parking (Standard) Require	d 2	2	2	2	2	2	2	2	2	2	2	2	24	4 Stalls
Residential Parking Provided	2	2	2	2	2	2	2	2	2	2	2	2	24	4 Stalls
Bike Storage (Class1) Required	2	2	2	2	2	2	2	2	2	2	2	2	24	4 Spaces
Bike Storage (Class 1) Provided	2	2	2	2	2	2	2	2	2	2	2	2	24	4 Spaces



WILLIAMS ROAD

UNIT UNIT UNIT UNIT UNIT 81

1 CONFERTINE CONFERTINE CONFERTINE

UNIT UNIT UNIT UNIT UNIT 12

22

42

42

42

42

42

KEY PLAN

ISSUED FOR DP RESUBMISSION 2018-04-30

Client/Project
DUPLEX DEVELOPMENT FOR

5660, 5680, 5700 WILLIAMS ROAD, RICHMOND, BC

LOCATION / CONTEXT PLAN PROJECT DATA

Project No. S #8191

N.T.S.

FLAA

MAY 2 2 2018









Lot 1 / Building 1 Project Data	hu	CO MON	- 8.4
Location	West Portion of 58	60 Willian	ms Rd
Total Amount of Unit Allowed	2	-	
Total Amount of Unit Provided	2	\vdash	Duplex Building 1
Setback (Front yard) - Required	6.00	m	
Setback (Front yard) - Provided	7.82		> MIN Required
Setback (West Side yard) - Required	1.20	m	
Setback (West Side yard) - Provided	1.28		> MIN Required
Setback (East Side yard) - Required	1.20	m	
Setback (East Side yard) - Provided	1.68		> MIN Required
Setback (Rear yard) - Required	6.00	m	
Setback (Rear yard) - Provided	6.12		> MIN Required
Site Area	5722.07	SE.	
Allowed Total Floor Area (Option 1)	3433.24		@ 0.6 FSR
Allowed Total Floor Area (Option 2)	3600.00		@ 167.22 Sm per unit
Allowed Total Floor Area	3433.24		Less of option 1 and option
Allowed Total Floor Area	3433.24	SF .	Less of option 1 and option
Unit 11 (Type A1) L1 Net Floor Area	752.28	SF	
Unit 11 (Type A1) L1 Net Floor Area	946.54	SF	
Unit 11 (Type A1) Total net Floor Area	1698.82	SF	
Unit 11 (Type A1) Garage Floor Area	403.48	SF	
Unit 11 (Type A1) Exempted Stair & Entry on L1	50.65		
Unit 11 (Type A1) Exempted Stair (Top Level)	37.53	SF	
Unit 11 (Type A1) Covered Porch	65.27	SF	
Unit 11 (Type A1) Total Gross Area	2255.75		
100000000000000000000000000000000000000			
Unit 12 (Type A2) L1 Net Floor Area	757.7		
Unit 12 (Type A2) L1 Net Floor Area	968.41		
Unit 12 (Type A2) Total net Floor Area	1726.11		
Unit 12 (Type A2) Garage Floor Area	403,48		
Unit 12 (Type A2) Exempted Stair & Entry on L1	107.53		
Unit 12 (Type A2) Exempted Stair (Top Level)	53.30		
Unit 12 (Type A2) Covered Porch	2341.10		
Unit 12 (Type A2) Total Gross Area	2341.10	31	
Total Bldg. 1 Net Floor Area Provided	3424.93	SF	< MAX Allowed
Total Bldg. 1 Gross Area Provided	4596.85	SF	
Proposed Grade (NW Corner)	1.7	m	
Proposed Grade (NE Corner)	1.65		
Proposed Grade (SE Corner)	1.72		
Proposed Grade (SW Corner)	1.7		
Average Finished Grade	1.69		
Highest Point of Road Crown	1.58	-	
0.3m Above Highest PT of Road Crown	1.88		-
Proposed Level 1 Interior Elevation	1.88		
Building 1 Footprint	2430.30		
Building 1 Total Porch Area	115.95		
Lot 1 Total Building / Porch Area	2546.25	21.	
Lot 1 Total Building / Porch Coverage	44.5%		
Max Building Height Allowed	9	m	100
Max Building Height Provided	8.65		
Parking Required - Residential		Stafis	@ 2 stalls per unit
Parking Provided - Residential		Stalls	e z stans per unit
Parking Provided - Residential Parking Required - Visitor		Stall	@ 1 stall per 4 unit
Lauring hedgiten - Alzitot		arati	Combined with Lot 2

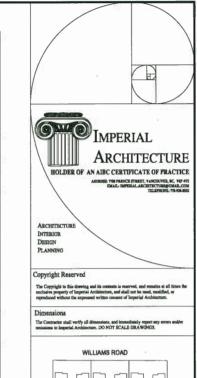
Location	East Portion of 566	on sadist	0.4
Total Amount of Unit Allowed	East Portion of 568		NO .
Total Amount of Unit Provided	2		Duplex Building 2
Total Amount of Unit Provided			Duplex Building 2
Setback (Front yard) - Required	6.00	m	_
Setback (Front yard) - Provided	8.23		> MIN Required
Setback (West Side yard) - Required	1.20		> will nequired
Setback (West Side yard) - Provided	1.73		> MIN Required
Setback (East Side yard) - Required	1.20		P Hill negatied
Setback (East Side yard) - Provided	1.22		> MIN Required
Setback (Rear yard) - Required	6.00		- White the gottes
Setback (Rear yard) - Provided	6.04		> MIN Required
1		-	
Site Area	5718.78	SF	
Allowed Total Floor Area (Option 1)	3431.27	SF	@ 0.6 FSR
Allowed Total Floor Area (Option 2)	3600.00		@ 167.22 Sm per unit
Allowed Total Floor Area	3431.27	SF	Less of option 1 and option
Unit 21 (Type B1) L1 Net Floor Area	718.90	SF	
Unit 21 (Type B1) L1 Net Floor Area	1002.85		
Unit 21 (Type B1) Total net Floor Area	1721.75		
Unit 21 (Type B1) Garage Floor Area	403.64		1
Unit 21 (Type B1) Exempted Stair & Entry on L1	62.72		
Unit 21 (Type B1) Exempted Stair (Top Level)	52.70		
Unit 21 (Type B1) Covered Porch	72.37		12
Unit 21 (Type B1) Total Gross Area	2313.18	SF	
Unit 22(Type B2) L1 Net Floor Area	752.55	SF	
Unit 22(Type B2) L1 Net Floor Area	946.98	SF	
Unit 22(Type B2) Total net Floor Area	1699.53	SF	
Unit 22(Type B2) Garage Floor Area	403.64	SF	
Unit 22(Type B2) Exempted Stair & Entry on L1	107.53	SF	
Unit 22(Type B2) Exempted Stair (Top Level)	52.21	SF	
Unit 22(Type B2) Covered Porch	50.68	SF	
Unit 22(Type B2) Total Gross Area	2313.59	SF	
Total Bldg. 2 Net Floor Area Provided	3421.28	SF	< MAX Allowed
Total Bldg. 2 Gross Area Provided	4526.77	SF	
Proposed Grade (NW Corner)	1,65	m	
Proposed Grade (NE Corner)	1.6		
Proposed Grade (SE Corner)	1.74		
Proposed Grade (SW Corner)	1.72		
Average Finished Grade	1.68		
Highest Point of Road Crown	1.58	m	
0.3m Above Highest PT of Road Crown	1.88		
Proposed Level 1 Interior Elevation	1.88		
Building 2 Footprint	2398.17	SF	
Lot 2 Total Building / Porch Area	123.05		
Building 2 Total Porch Area	2521.22		
Lot 2 Total Building / Porch Coverage	44.1%		
Max Building Height Allowed		m	_
Max Building Height Allowed Max Building Height Provided	8.66		
INAA BUIINII B NEIGHT Provided	8.66	"	
Parking Required - Residential		Stalls	@ 2 stalls per unit
Parking Provided - Residential		Stalls	
Parking Required - Visitor	1	Stall	@ 1 stall per 4 unit

Lot 3 / Building 3 Project Data	West Portion of 56	80 Willian	ns Rd
Total Amount of Unit Allowed	2		15 10
Total Amount of Unit Provided	2		Duplex Building 3
Total Amount of Unit Provided	++		Duplex Boliding 3
Setback (Front yard) - Required	6.00	m	
Setback (Front yard) - Provided	7.88	m	>MIN Required
Setback (West Side yard) - Required	1.20	m	
Setback (West Side yard) - Provided	1.25	m	> MIN Required
Setback (East Side yard) - Required	1.20	m	
Setback (East Side yard) - Provided	1.71	m	> MIN Required
Setback (Rear yard) - Required	6.00	m	
Setback (Rear yard) - Provided	6.01	m	>MIN Required
Site Area	5715.48		
	3429.29		@ 0.6 FSR
Allowed Total Floor Area (Option 1)	3600.00		@ 167.22 Sm per unit
Allowed Total Floor Area (Option 2) Allowed Total Floor Area	3429.29		Less of option 1 and option
Allowed Total Floor Area	3429.29	SF .	Less of option 1 and option
Unit 31 (Type A1) L1 Net Floor Area	752.28	SF	
Unit 31 (Type A1) L1 Net Floor Area	946.54	SF	
Unit 31 (Type A1) Total net Floor Area	1698.82	SF.	
Unit 31 (Type A1) Garage Floor Area	403.48	SF	
Unit 31 (Type A1) Exempted Stair & Entry on L1	50.65	SF	
Unit 31 (Type A1) Exempted Stair (Top Level)	37.53	SF	
Unit 31 (Type A1) Covered Porch	65.27	SF	
Unit 31 (Type A1) Total Gross Area	2255.75	SF	
11.12.22.22	202.2	re	
Unit 32 (Type A2) L1 Net Floor Area	757.7		
Unit 32 (Type A2) L1 Net Floor Area	968.41		
Unit 32 (Type A2) Total net Floor Area	1726.11		
Unit 32 (Type A2) Garage Floor Area	403.48		
Unit 32 (Type A2) Exempted Stair & Entry on L1	107.53		
Unit 32 (Type A2) Exempted Stair (Top Level)			
Unit 32 (Type A2) Covered Porch	50.68		
Unit 32 (Type A2) Total Gross Area	2341.10	21-	
Total Bldg. 3 Net Floor Area Provided	3424.93	SF	< MAX Allowed
Total Bldg. 3 Gross Area Provided	4596.85	SF	
Proposed Grade (NW Corner)	1.60		
Proposed Grade (NE Corner)	1.60		
	1.75		
Proposed Grade (SE Corner)	1.74		
Proposed Grade (SW Corner) Average Finished Grade	1.67		
Highest Point of Road Crown	1.58		
0.3m Above Highest PT of Road Crown	1.88		
Proposed Level 1 Interior Elevation	1.88	m	
Building 3 Footprint	2430.30	SE	
Building 3 Total Porch Area	115.95		
Lot 3 Total Building / Porch Area	2546.25		
Lot 3 Total Building / Porch Coverage	44.6%	JI.	
Max Building Height Allowed		m	
Max Building Height Provided	8.67	m	
Parking Required - Residential	1	Stalls	@ 2 stalls per unit
Parking Provided - Residential		Stalls	E stells pel unit
Parking Required - Visitor		Stall	@1stall per 4 unit
		- C-	Tel same bet a nur

Location	East Portion of 568	O Williams Rd	1
Total Amount of Unit Allowed	2		
Total Amount of Unit Provided	2		Duplex Building 4
Total Amount of Omit Provided	+		Doprex bollong 4
Setback (Front yard) - Required	6.00	m	
Setback (Front yard) - Provided	8.18	m	> MIN Required
Setback (West Side yard) - Required	1.20	m	
Setback (West Side yard) - Provided	1.70		> MIN Required
Setback (East Side yard) - Required	1.26	m	
Setback (East Side yard) - Provided	1.30	m	> MIN Required
Setback (Rear yard) - Required	6.00	m	
Setback (Rear yard) - Provided	6.03	m	> MIN Required
Site Area	5712.19	SF	
Allowed Total Floor Area (Option 1)	3427.31		@ 0.6 FSR
Allowed Total Floor Area (Option 2)	3600.00		@ 167.22 Sm per unit
Allowed Total Floor Area	3427.31		Less of option 1 and option
Unit 41 (Type B1) L1 Net Floor Area	718.90	CE	
Unit 41 (Type B1) L1 Net Floor Area	1002.85		
Unit 41 (Type B1) Total net Floor Area	1721.75		
Unit 41 (Type B1) Garage Floor Area	403.64		
Unit 41 (Type B1) Exempted Stair & Entry on L1	62.72		
Unit 41 (Type B1) Exempted Stair (Top Level)	52.70		
Unit 41 (Type B1) Covered Porch	72.37		
Unit 41 (Type B1) Total Gross Area	2313.18		
Unio 42/Turn P23 L1 Not Floor Area	752.55	ee	
Unit 42(Type B2) L1 Net Floor Area	946.98		-
Unit 42(Type B2) L1 Net Floor Area Unit 42(Type B2) Total net Floor Area	1699.53		
Unit 42(Type B2) Garage Floor Area	403.64		
Unit 42(Type B2) Exempted Stair & Entry on L1	107.53		
Unit 42(Type B2) Exempted Stair (Top Level)	52.21		
Unit 42(Type B2) Covered Porch	50.68		
Unit 42(Type B2) Total Gross Area	2313.59		
Total Bldg. 4 Net Floor Area Provided	3421.28	ce	< MAX Allowed
Total Bldg. 4 Gross Area Provided	4626.77		THE OT AND WED
Description of the Control	1.60	_	
Proposed Grade (NW Corner) Proposed Grade (NE Corner)	1.50		
Proposed Grade (SE Corner)	1.53		
Proposed Grade (SW Corner)	1.76		
Average Finished Grade	1.67		
Highest Point of Road Crown	1.57	m	
0.3m Above Highest PT of Road Crown	1.87		
Proposed Level 1 Interior Elevation	1.88		
Building 4 Footprint	2398.17	SF	
Lot 4 Total Building / Porch Area	123.05		
Building 4 Total Porch Area	2521.22		
Lot 4 Total Building / Porch Coverage	44.1%		
Max Building Height Allowed	9	m	-
Max Building Height Provided	8.67		
Parking Required - Residential		Stalls	@ 2 stalls per unit
Parking Provided - Residential		Stalls	@ a stails per unit
Parking Provided - Residential Parking Required - Visitor		Stall	@1stall per4 unit

Location	West Portion of 57	00 William	is Rd
Total Amount of Unit Allowed	2		
Total Amount of Unit Provided	2		Duplex Building 5
Setback (Front yard) - Required	6.00	m	-
Setback (Front yard) - Provided	7.83	m	> MIN Required
Setback (West Side yard) - Required	1.20		
Setback (West Side yard) - Provided	1.22		> MIN Required
Setback (East Side yard) - Required	1.20		
Setback (East Side yard) - Provided	1.74		> MIN Required
Setback (Rear yard) - Required	6.00		> Will Required
Setback (Rear yard) - Provided	6.01		> MIN Required
Site Area	5708.9		
Allowed Total Floor Area (Option 1)	3425.34	SF	@ 0.6 F\$R
Allowed Total Floor Area (Option 2)	3600.00		@ 167.22 Sm per unit
Allowed Total Floor Area	3425.34	SF	Less of option 1 and op
Unit 51 (Type A1) L1 Net Floor Area	752.28	SF	<u> </u>
Unit 51 (Type A1) L1 Net Floor Area	946.54		
Unit 51 (Type A1) Total net Floor Area	1698.82		
Unit 51 (Type A1) Garage Floor Area	403.48		
Unit 51 (Type A1) Exempted Stair & Entry on I			
Unit 51 (Type A1) Exempted Stair (Top Level)	37.53		
Unit 51 (Type A1) Covered Porch	65.27		
Unit 51 (Type A1) Total Gross Area	2255.75		
Unit 52 (Type A2) L1 Net Floor Area	757.7		
Unit 52 (Type A2) L1 Net Floor Area	968.41	SF	
Unit 52 (Type A2) Total net Floor Area	1726.11	SF	
Unit 52 (Type A2) Garage Floor Area	403.48		
Unit 52 (Type A2) Exempted Stair & Entry on I	1 107.53	SF	
Unit 52 (Type A2) Exempted Stair (Top Level)	53.30	SF	
Unit 52 (Type A2) Covered Porch	50.68	SF	
Unit 52 (Type A2) Total Gross Area	2341.10	SF	
Total Bldg. 1 Net Floor Area Provided	3424.93	SF	< MAX Allowed
Total Bldg. 1 Gross Area Provided	4596.85		
Total Biog. 1 oross rate r revises	1	-	
Proposed Grade (NW Corner)	1.55	m	
Proposed Grade (NE Corner)	1.48	m	
Proposed Grade (SE Corner)	1.78	m	
Proposed Grade (SW Corner)	1.77	m	
Average Finished Grade	1.65	m	
	1.55	-	
Highest Point of Road Crown	1.55		
0.3m Above Highest PT of Road Crown Proposed Level 1 Interior Elevation	1.85		
Building 5 Footprint	2430.30		
Lot 5 Total Building / Porch Area	115.95		
Building 5 Total Porch Area	2546,25	SF	
Lot 5 Total Building / Porch Coverage	44.6%		
Max Building Height Allowed	-	m	-
Max Building Height Provided	8.66		
max politing neight Provided	8.00		
Parking Required - Residential	4	Stalls	@ 2 stalls per unit
Parking Provided - Residential	4	Stalls	
Parking Required - Visitor	1	Stall	@ 1 stall per 4 unit
Parking Provided - Visitor	1	Stall	Combined with Lot 6

Parking Required - Residential			Stalls	@ 2 stalls per unit
Parking Provided - Residential			Stalls	
Parking Required - Visitor			Stall	@ 1 stall per 4 unit
Parking Provided - Visitor		1	Stall	Combined with Lot 6
Lot 6 / Building 6 Project	Data			
Location		East Portion of 570	00 Williams Rd	
Total Amount of Unit Ailowed		2		
Total Amount of Unit Provided		2		Duplex Building 6
			-	
Setback (Front yard) - Required		6.00		- seu n - do d
Setback (Front yard) - Provided		8.05		> MIN Required
Setback (West Side yard) - Requ		1.20		
Setback (West Side yard) - Prov		1.67		> MIN Required
Setback (East Side yard) - Requi		1.20		
Setback (East Side yard) - Provide	led	1.29		> MIN Required
Setback (Rear yard) - Required		6.00		. A sear Providend
Setback (Rear yard) - Provided		6.11	m	> MIN Required
Site Area		5705.6	SF	5-4.5
Allowed Total Floor Area (Optio	n 1)	3423.36	SF	@ 0.6 FSR
Allowed Total Floor Area (Optio		3600.00		@ 167.22 Sm per unit
Allowed Total Floor Area		3423.36		Less of option 1 and op
Unit 61 (Type B1) L1 Net Floor A	rea	718.90	SF	
Unit 61 (Type B1) L1 Net Floor A		1002.85		
Unit 61 (Type B1) Total net Floo		1721.75		
Unit 61 (Type B1) Garage Floor		403.64		
Unit 61 (Type B1) Exempted Sta		62.72	SF	
Unit 61 (Type B1) Exempted Sta		52.70	SF	Tri Call
Unit 61 (Type B1) Covered Porch		72.37	SF	
Unit 61 (Type B1) Total Gross An	ėa es	2313.18	SF	
	-1 -2 1			
Unit 62(Type B2) L1 Net Floor A	22	752.55	SF	
Unit 62(Type B2) L1 Net Floor As	29	946.98	SF	
Unit 62(Type B2) Total net Floor		1699.53	SF	
Unit 62(Type B2) Garage Floor A	rea	403.64		
Unit 62(Type 82) Exempted Stai	& Entry on L1	107.53	SF	
Unit 62(Type B2) Exempted Stai	(Top Level)	52.21		
Unit 62(Type B2) Covered Porch	200	50.68	SF	
Unit 62(Type 82) Total Gross Are	3	2313.59	SF	
Total Bldg. 6 Net Floor Area Pro	ided	3421.28	SF	< MAX Allowed
Total Bldg. 6 Gross Area Provide		4626.77	SF	
The Later Control of the Control of				
Proposed Grade (NW Corner)		1.48	m	
Proposed Grade (NE Corner)		1.40		
Proposed Grade (SE Corner)		1.80		
Proposed Grade (SW Corner)		1.78		
Average Finished Grade		1.62	m	
Highest Point of Road Crown		1.53	m	- 37
0.3m Above Highest PT of Road		1.83		
Proposed Level 1 Interior Eleva	ion	1.83	m	
Building 6 Footprint		2398.17	SF	
Lot 6 Total Building / Porch Area		123.05		
Building 6 Total Porch Area		2521.22		
Lot 6 Total Building / Porch Cove	rage	44.2%		
san British Heleka Allenna	100		m	
		8.67		
Max Building Height Allowed			***	
Max Building Height Provided				
Max Building Height Provided Parking Required - Residential			Stalls	@ 2 stalls per unit
Max Building Height Provided			Stalls Stalls	@ 2 stalls per unit



ISSUED FOR DP RESUBMISSION 2018-04-30

Client/Project
DUPLEX DEVELOPMENT FOR



5660, 5680, 5700 WILLIAMS ROAD, RICHMOND, BC

PROJECT DATA & CALCULATION PER LOT / BUILDING

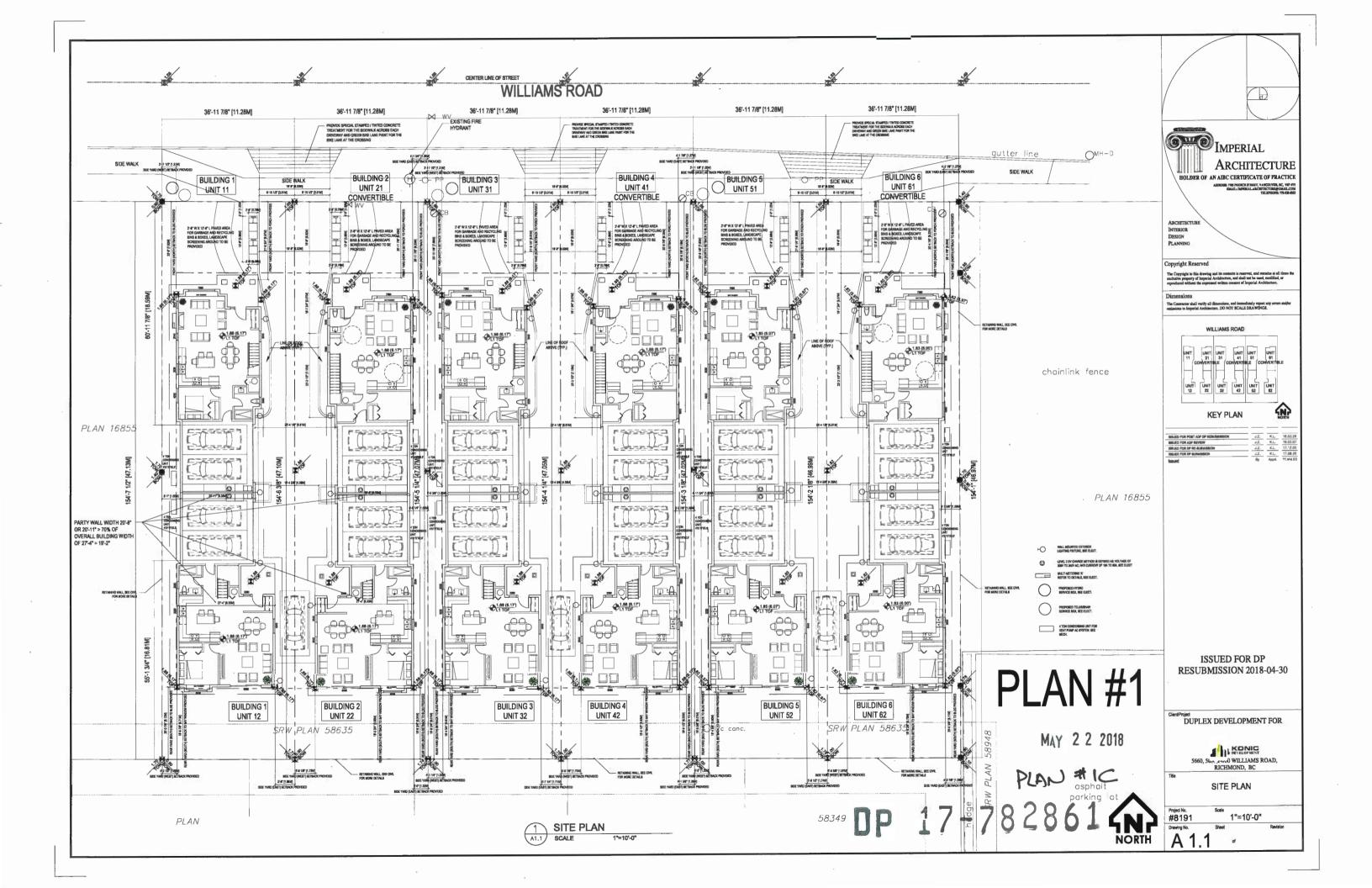
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]	5660 WILLI	AMS ROAD	5680 WILL	IAMS ROAD	5700 WILLIA	MS ROAD
1						
	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6
	5722.07 SF	5718.78 SF	5715.48 SF	5712.19 SF	5708.90 SF	5705.60 SF
5	(531.58SM)	(531.29SM)	(530.99SM)	(530.68SM)	(530.37SM)	(530.07SM)
154-7 1/2" [47.13M]	154-6 3/8" (47.10M)	54-5 1/4" (47.07M)	154'-4 14" H7 05MI	154°3 (18" (47 02M)	154' 2 1/8" (46 99M)	154'-1" [46.97M]
154-7 1//	154-6 3/	154"-5 1/4	154'4 1/4	154-3 1/8	154-2 1/8	154-1-1
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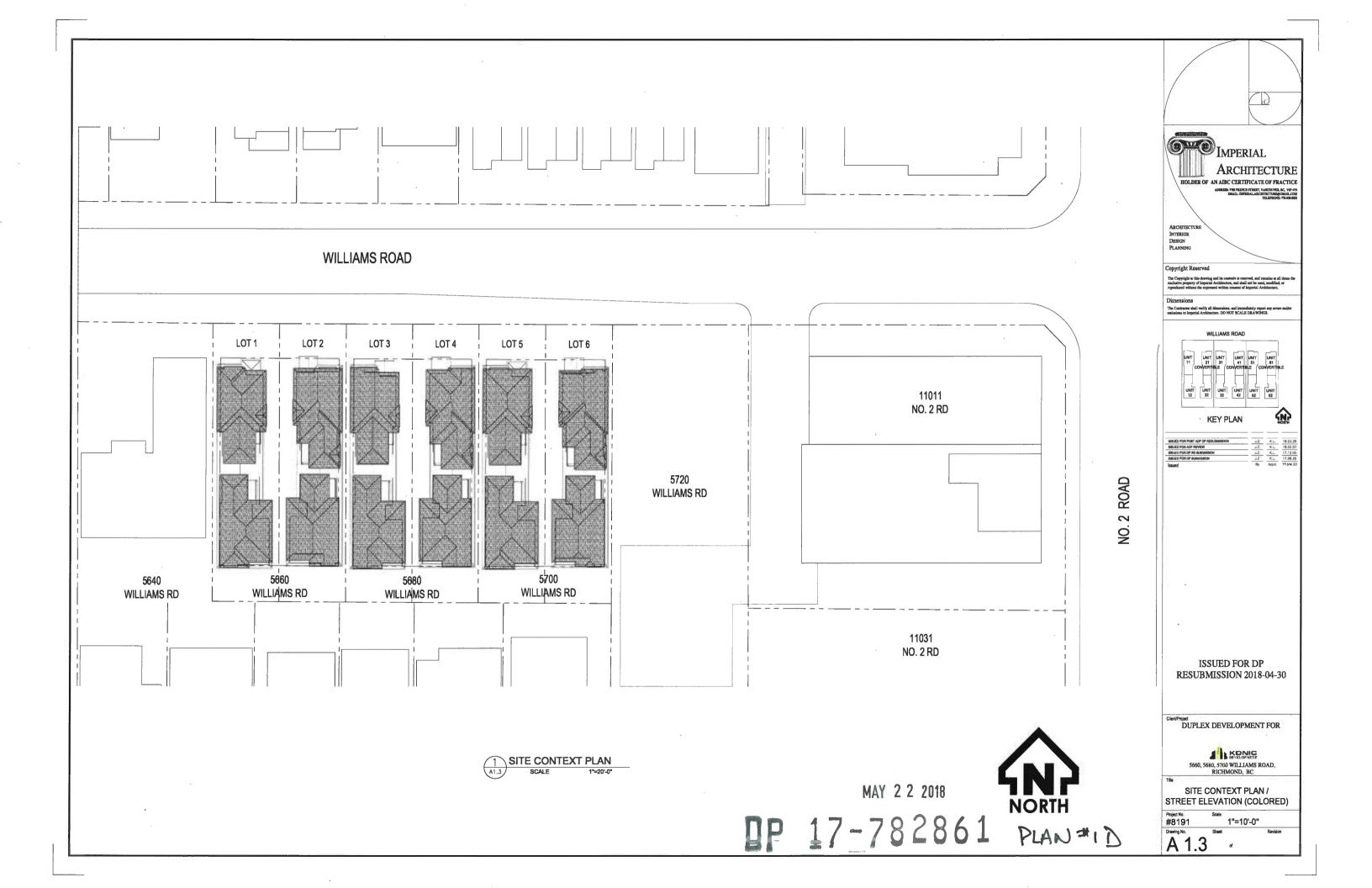
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DUPLEX DEVELOPMENT FOR 5660, 5680, 5700 WILLIAMS ROAD, RICHMOND, BC SUBDIVISION PLAN

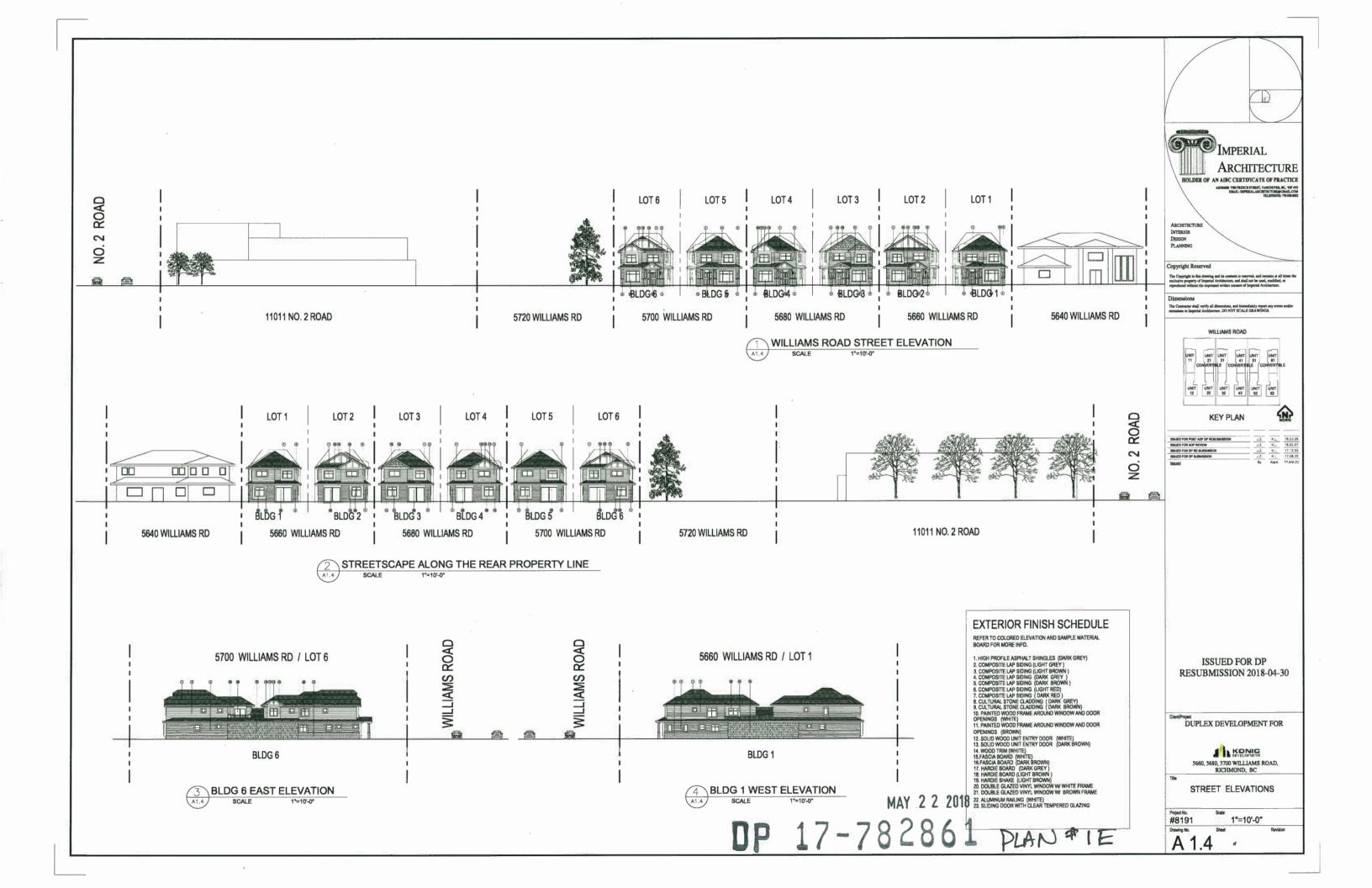
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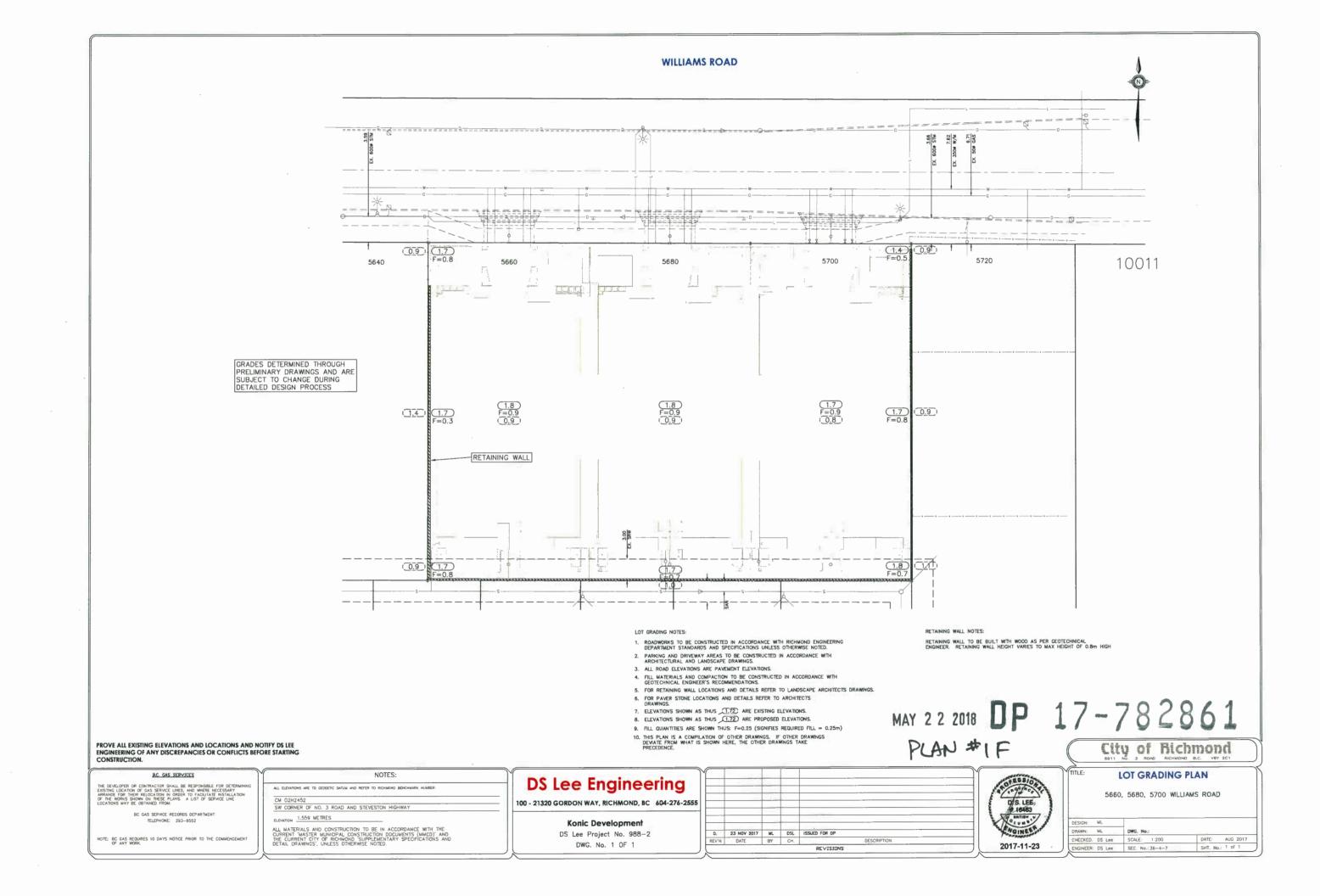
PLAN #18 SUBDIVISION State #8191 1 Derarking No. State A 1.8

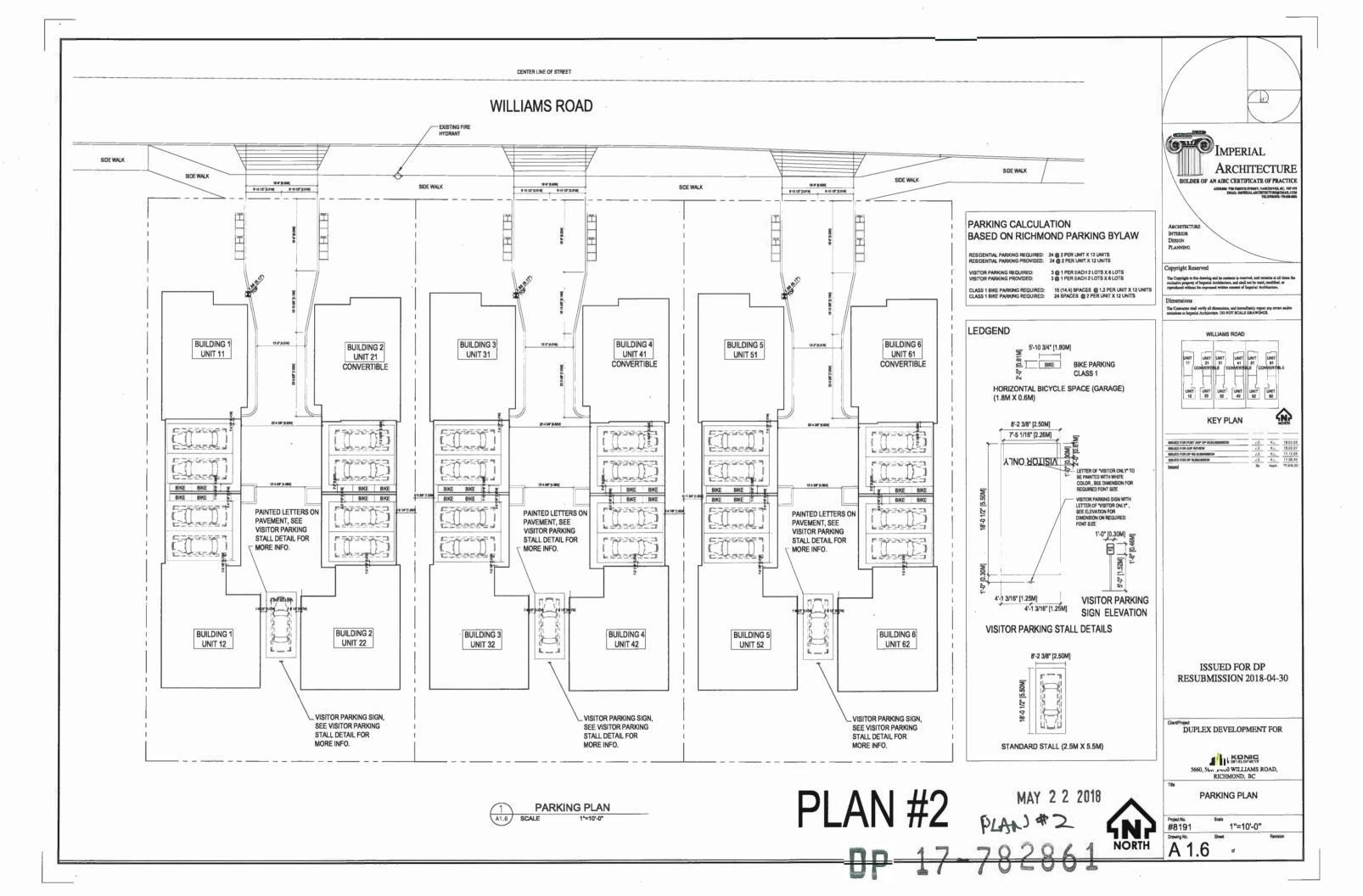
SUBDIVISION PLAN
A1.8 SCALE 1"=10'-0"

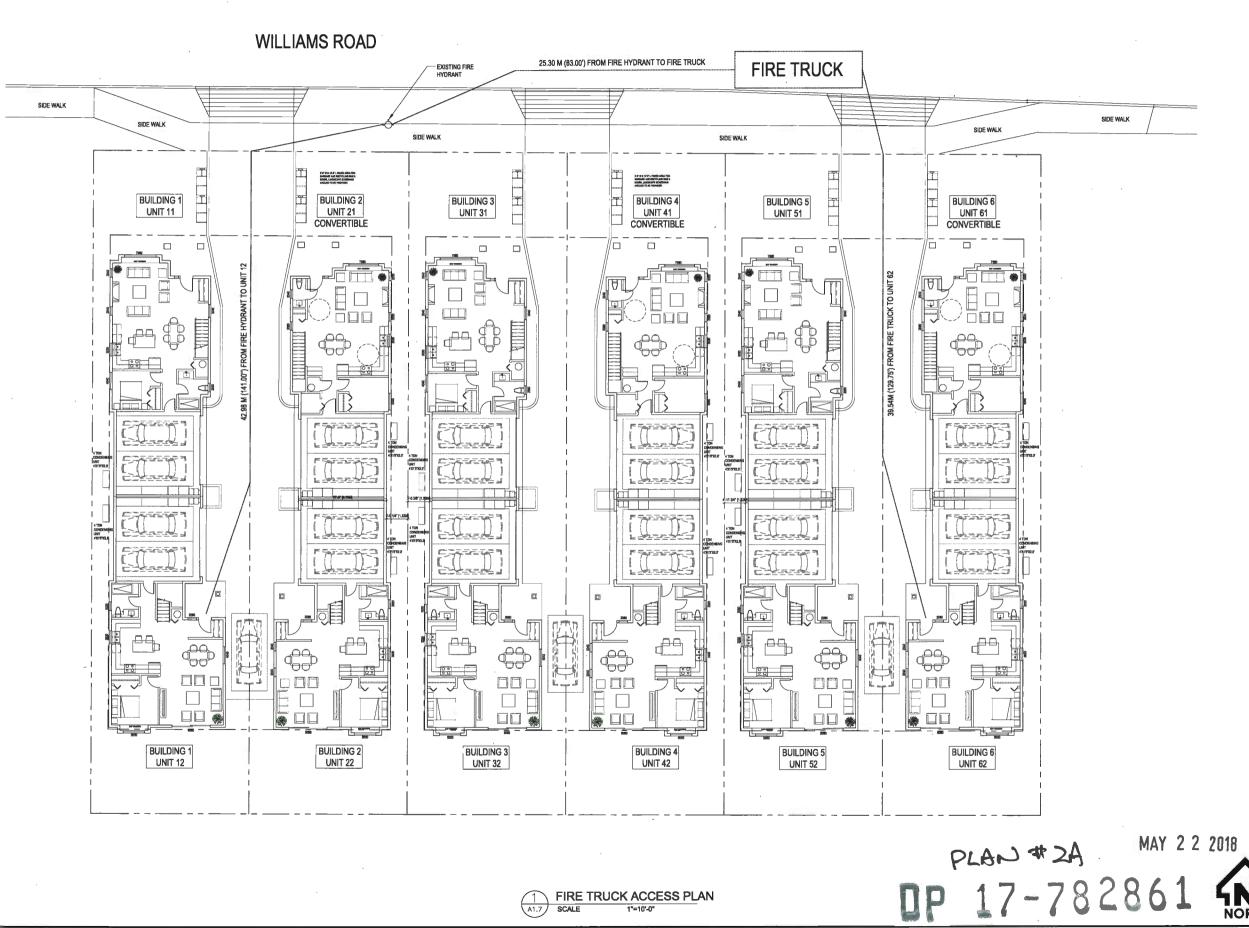






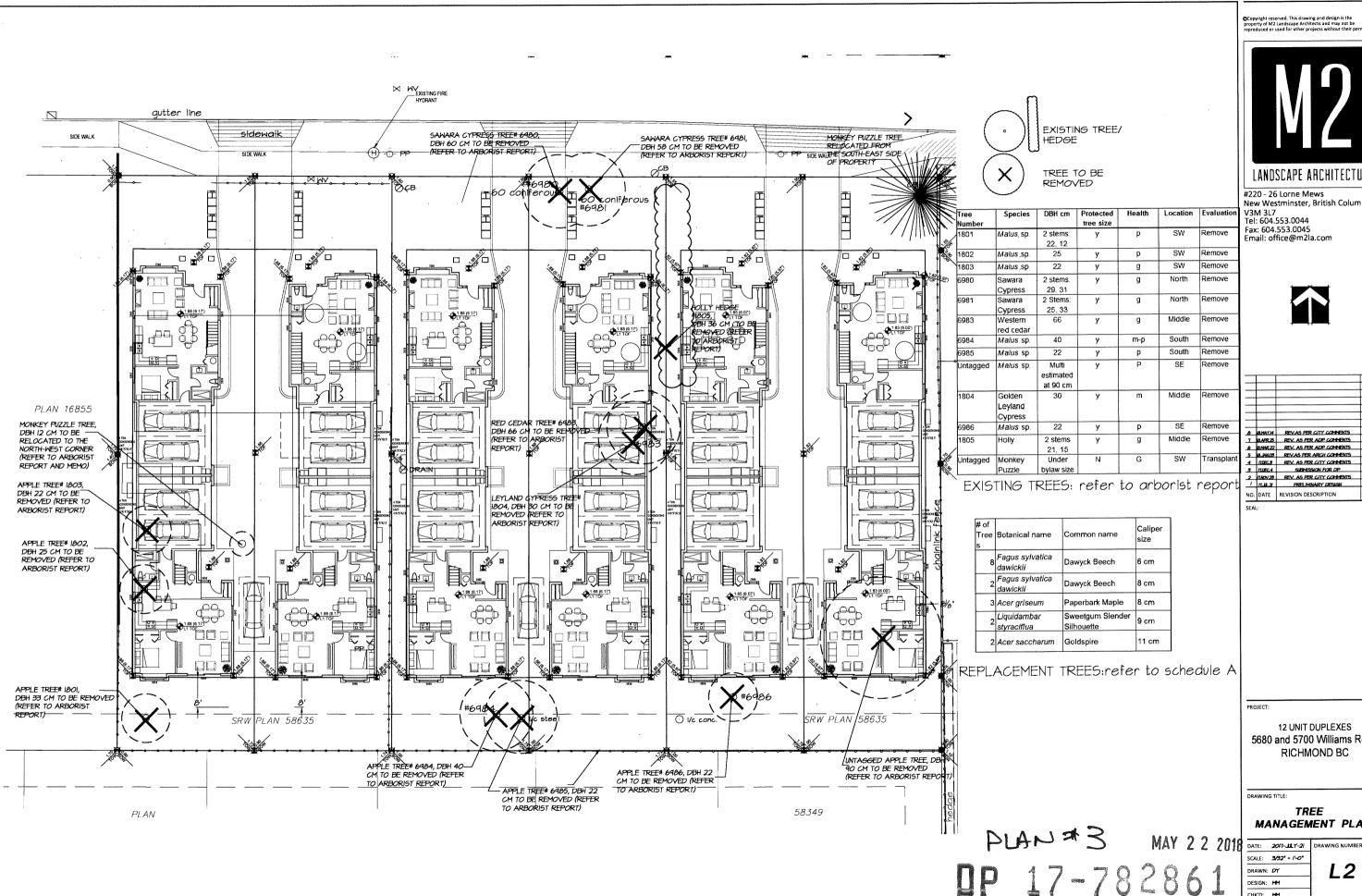






FIRE TRUCK ACCESS PLAN

IMPERIAL ARCHITECTURE HOLDER OF AN AIBC CERTIFICATE OF PRACTICE ARCHITECTUR INTERIOR
DESIGN
PLANNING Copyright Reserved WILLIAMS ROAD KEY PLAN ISSUED FOR DP **RESUBMISSION 2018-04-30** Client/Project
DUPLEX DEVELOPMENT FOR 5660, 5680, 5700 WILLIAMS ROAD, RICHMOND, BC FIRE TRUCK ACCESS PLAN Project No.
#8191
Drawing No.
A 1.7 1"=10'-0"





New Westminster, British Columbia

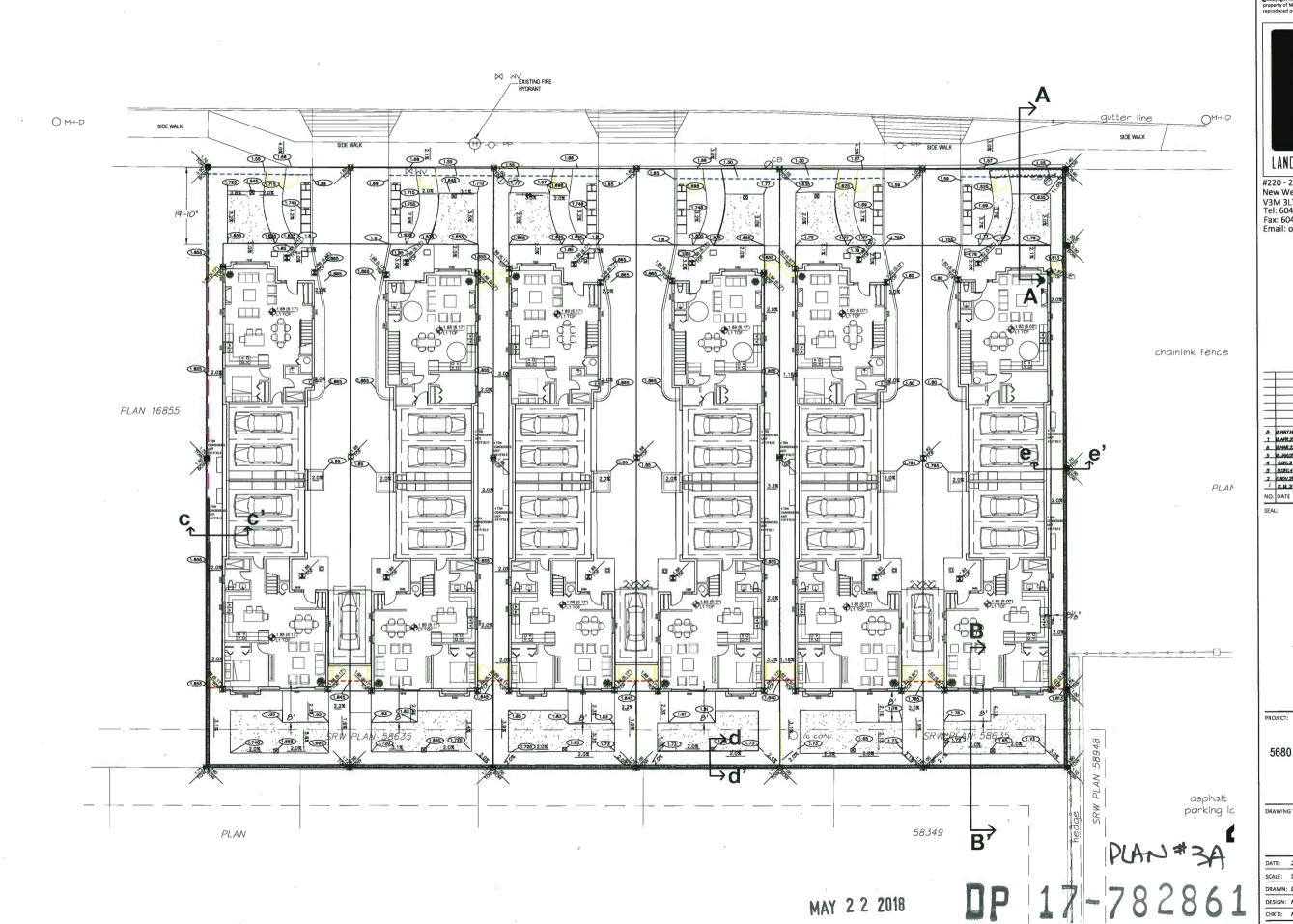
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5680 and 5700 Williams Road,

MANAGEMENT PLAN

DRAWING NUMBER: OF 8 CHK'D: MM

M2LA PROJECT NUMBER: JOB NO 12 018



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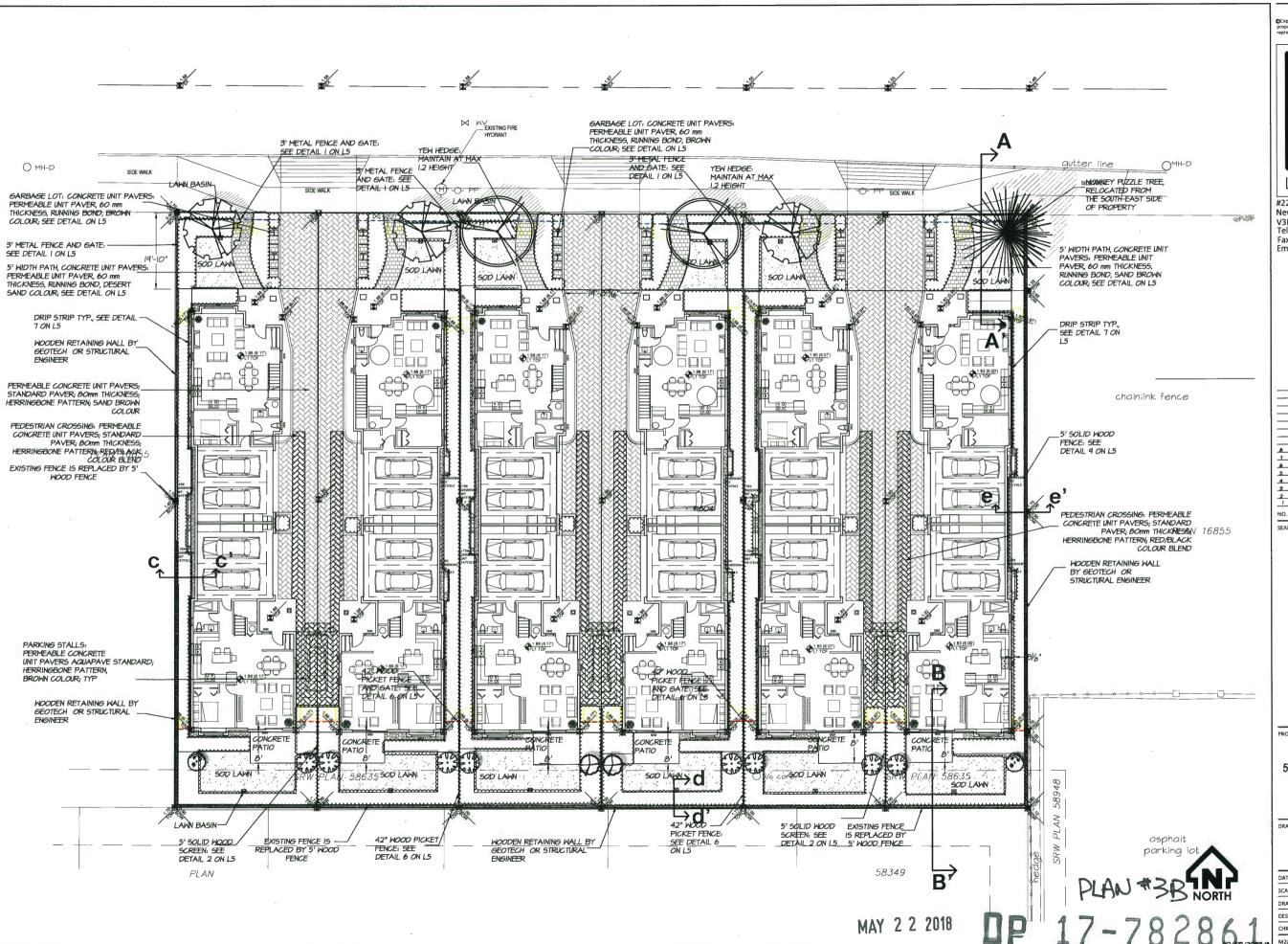
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12 UNIT DUPLEXES 5680 and 5700 Williams Road, RICHMOND BC

GRADING PLAN

DATE: 2017-JLY-21 DRAWING NUMBER: SCALE: 3/32" = 140" L4 DRAWN: DY DESIGN: MM CHK'D: MM M2LA PROJECT NUMBER:

JOB NO 12 018



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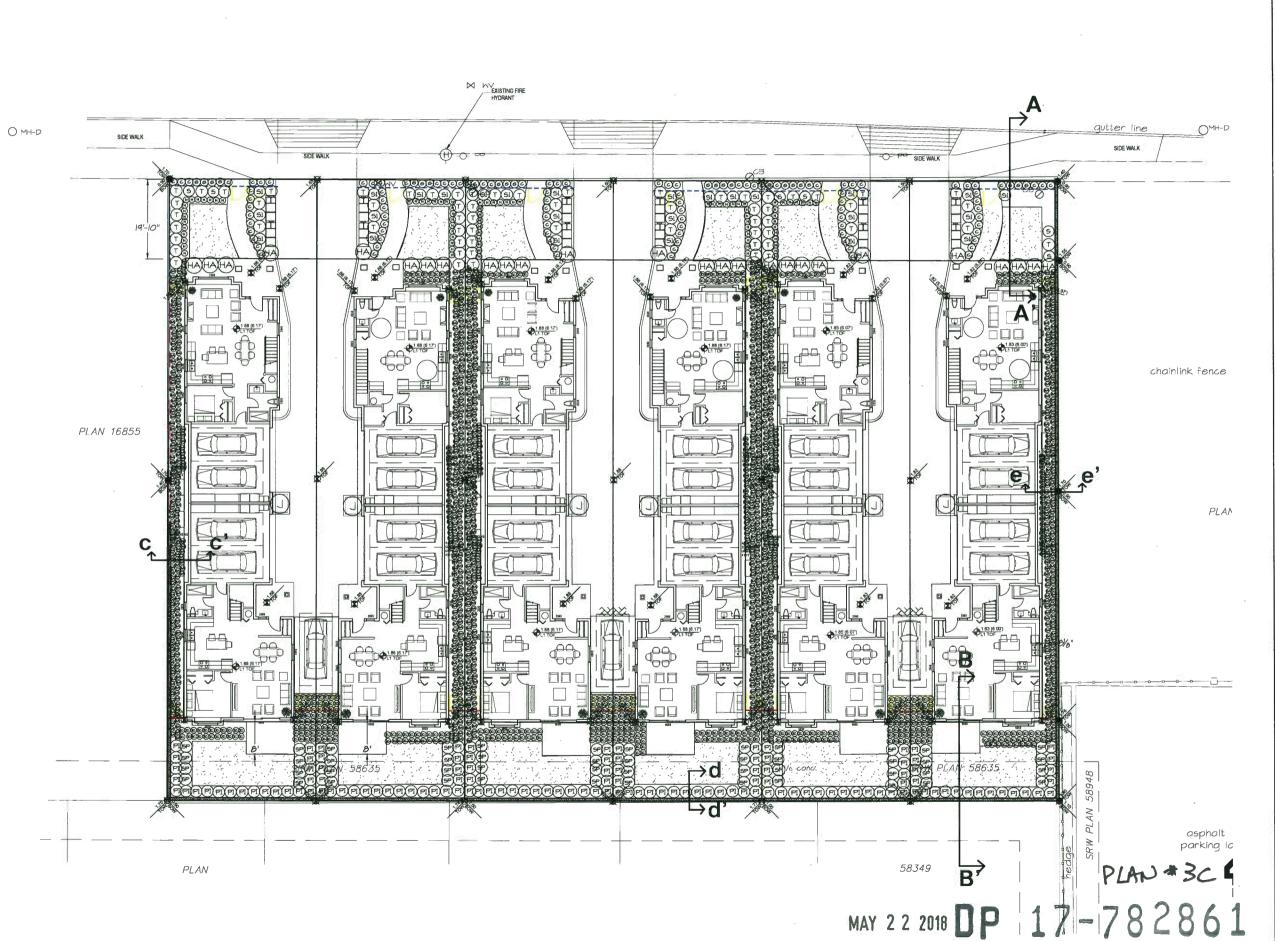
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12 UNIT DUPLEXES 5680 and 5700 Williams Road, RICHMOND BC

DRAWING TITLE:

SITE PLAN

DATE: 2017-11-7-21 SCALE: 3/32" = 1'-0" DRAWN: DY DESIGN: MM OF 8 CHK'D: MM M2LA PROJECT NUMBER: JOB NO 12 018



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12 UNIT DUPLEXES 5680 and 5700 Williams Road, RICHMOND BC

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 2017-11LY-21

SCALE: 3/32" = 1'-0"

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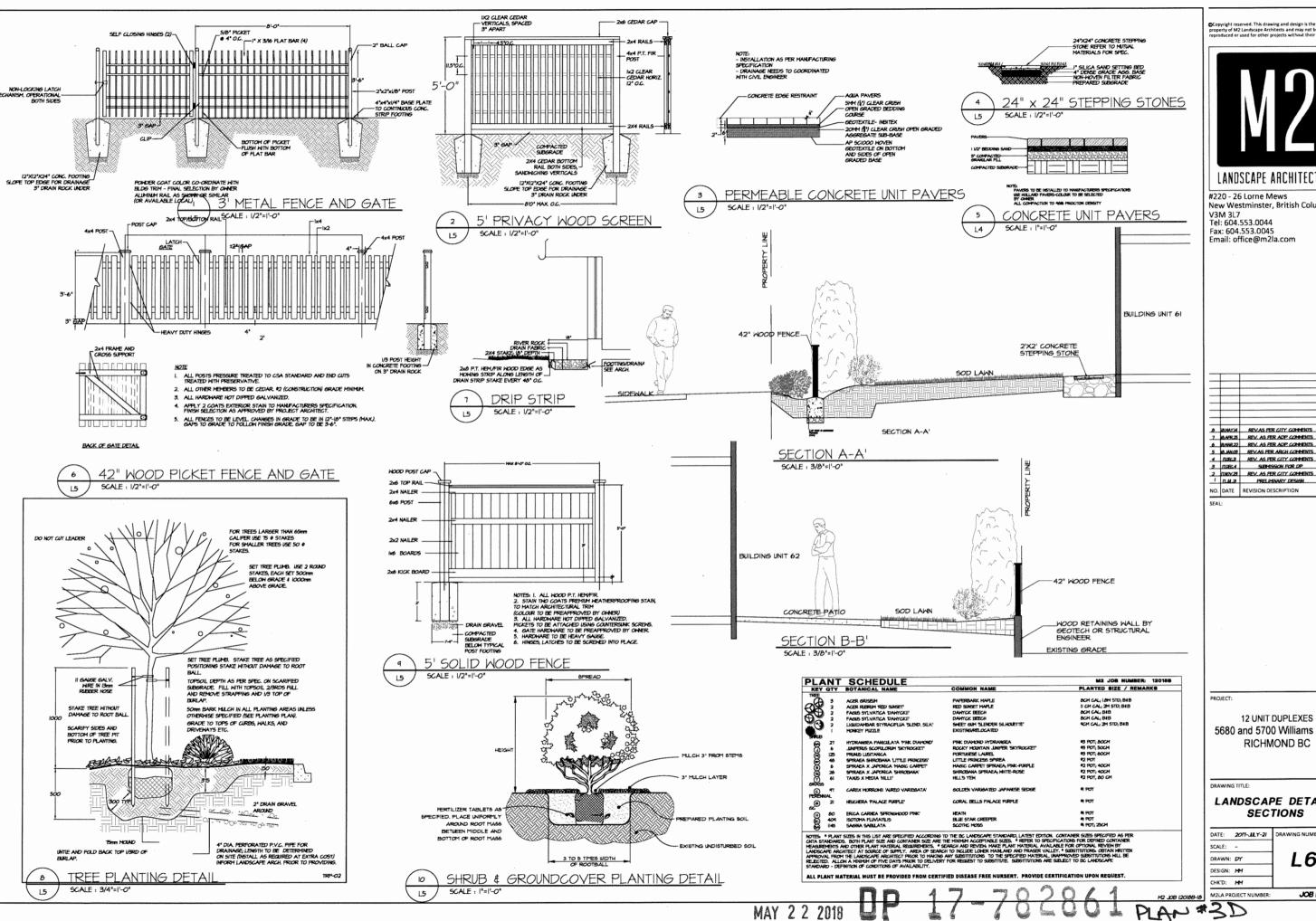
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M2LA PROJECT NUMBER: JOB NO 12 018



LANDSCAPE ARCHITECTURE

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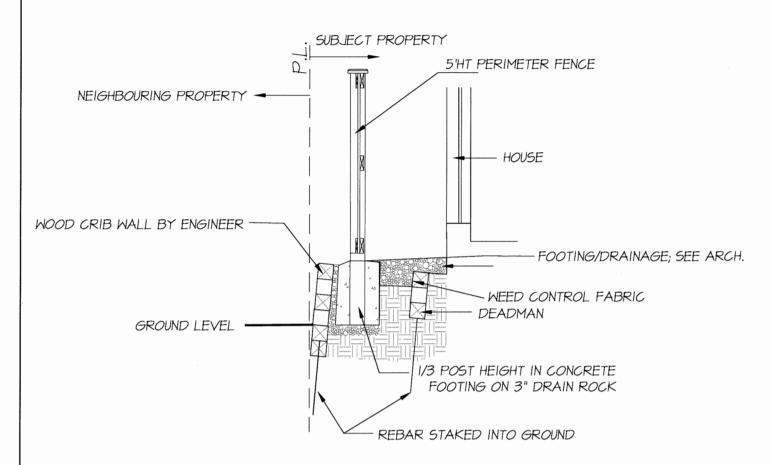
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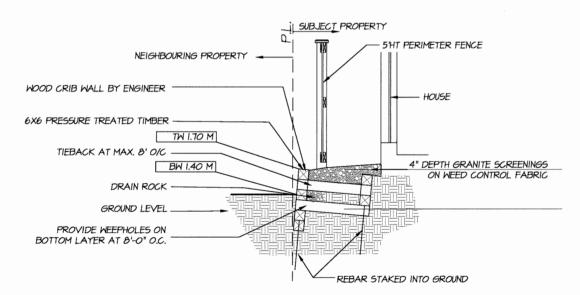
LANDSCAPE DETAILS SECTIONS

DRAWING NUMBER: **L6** JOB NO 12 018

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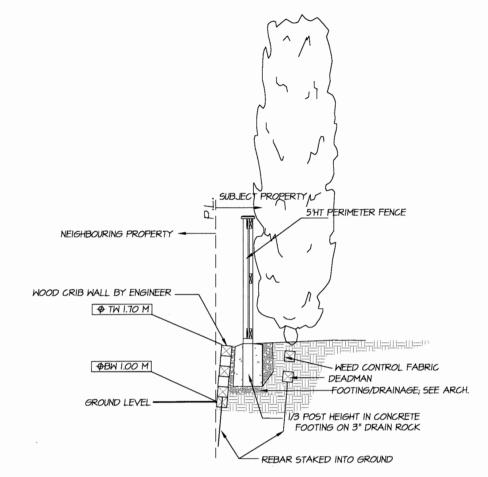
TYPICAL RETAINING WALL AND FENCE CROSS-SECTION (THROUGH THE FENCE POST)



WEST SIDE RETAINING WALL AND FENCE CROSS-SECTION c-c'

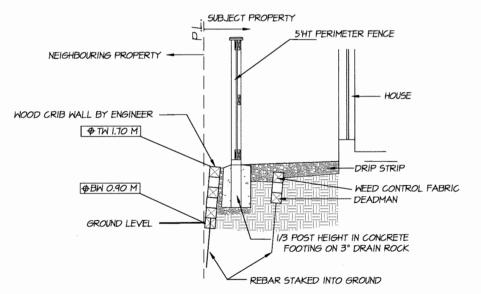
(THROUGH THE FENCE POST)

SCALE : 1/2"=1'-0"



SOUTH SIDE RETAINING WALL AND FENCE CROSS-SECTION d-d'
(THROUGH THE FENCE POST)

SCALE: 1/2"=1'-0"



WEST SIDE RETAINING WALL AND FENCE CROSS-SECTION e-e' (THROUGH THE FENCE POST)

5CALE : 1/2"=1'-0"

PLAN#3F OP 17-782861

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PROJECT:

12 UNIT DUPLEXES 5680 and 5700 Williams Road, RICHMOND BC

DRAWING TITLE:

LANDSCAPE SECTIONS

DATE: 2017-11LY-21 DRAWING NUMBER:

SCALE: DRAWN: DY
DESIGN: MM
CHK'D: MM
OF 8

PART ONE GENERAL REQUIREMENTS .1 CCDC Dec 2 204 B.C. Lundscape Stundord, 7th oddien 2048, propered by the B.C. Society of Lundscape Architects and the B.C. Lundscape is Mansery Association, jointly, All voris and solvands shall meet standards as set out in the B.C. Lundscape Stundard unless supervaded by this specification or as directed by Lundscape Architect with written instruction. MASTER MERCIPAL SPECIFICATIONS & STANDARD DETAILS, 2000 orbiton, prepared by the Considiting Engineers of British Calumbia, Readballdors and Heat essectation, and the Marichal Engineers Obtains A STANDARD FOR LANDSCAPE BROGATION SYSTEM, 2000: Prepared by the irrigation industry Association of Scitish Columbia 5 HUNCPAL BYLAWS AND ENGINEERING SPECIFICATIONS WHERE HOTED. 2 TESTING 1. A current from there than one worth) heat for all growing another he used on this afte is required. Provide and pay for heating by an independent heating package providing the landscape Architect. Deliver growing needem test results to Landscape Architect for review and approved print to placement. Refer to Section 3.4 Growing Adults and English personalized. 2 Dener reserves the right is test or re-lest materials. Contractor responsible to pay for testing if materials do not meet specification.

SUBMITTALS

.1 Any alternate products differ the from that contained in the contract documents must be pre-approved by the Lundscope Architect 2 Submittals to consist of product sample or nonatacturer's product description

are recover.

3. Ideat the forms of the Landscape Architect's Contract with the Dener and where the Landscape Architect is the dealported evolutor, the Landscape Architect will absence construction in it in excessary in their spides to confirm contravance in the pattern and specifications. Central Deners Representative to arrange for all advances the dealported to the specification. Allow the days redice. Observations schedule approached these contravations are required to the contravation of the processary in their spides.

3. Start by Sile benefity, General Contravation their to any other Entralance, a suching with the general contravative to review tree preservables taskes, general knotcupe bases.

- nd marking regulements. 2. Start lip SIte Meeting, Lookscape Contract lif separetiek Al the start of work with Owner's Representative, Site Superintendent and Landacque Contractor; a monthing is to be hald to review expected work and to worlty the acceptability of the subgrade and general site conditions to the Landacque Contractor. Provide growing medium test results
- Of Progress Size Visits In absent solved and unformable as accessary through the cause of the vert. Review of different supports of the vert, any in 6441 of the cap young - prisons for property, air fractions, all faller assessments or in the exemption when the contract is the contract review and as for a second of the contract is the contract review and as for a second of the contract is a second of the contract in the contract is a second of the contract in the contract is a second of the contract in the desiration of Substantial Performance, a recommendation for the Contract in Contract in the contract is contract in the contract.
- Certifier as defined in the central.

 5. Deficiency States Prior to the completion of the helded by period, check for completion of deficiencies. Even completed, a Schoolde C will be based where required.

 7. Various States Prior to the completion of the helded by period (4)-11 worths after insured or the Certificate of Completion), review oil variously surfaced and report recommendations for warranty engineering.

Unless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the respectability of the General Contractor. Placement of greating another constitutes acceptance of the subgrade by the Landscape Contractor. Any subsequent corrections to the subgrade region are the respectability of the Landscape Contractor.

All work and superinfrandence shall be performed by personnel stilled in landscape contracting. In widther, all personnel applying herbiddes and/or positiodes shall hald a current license issued by the appropriate authorities.

- 5 Notify Landscape Architect of any discresancies. Obtain approval from Landscape Architect prior to deviating from the plans
- .6 Take appropriate measures to evold environmental damage. Do not class any waste susterials into water budies. Contorn with all federal, provincial and local statetes an
- Callect and dispose of all debris and/or excess patential from landscape operations. Keep paved surfaces clean and repair demage resulting from landscape werk. Repairs
 are to be remodered order to final accordance.
- .II Where new work connects with existing, and where existing work is altered, make good to match existing undisturbed condition

Suprantee all materials and works around for a minimum period of one full year from the date of Certificate of Completion 2 Refer to individual sections for specific varianties

PART TWO SCOPE OF WORK

- .1 Other conditions of Contract may apply. Confirm Scape of Work at time of bender.
- 2 Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:

- Certaints as two reasonage.

 12. Returbined a Gistriby Trees where altwo on drawings.

 12. Pitchi foreding and Landscape Draksape.

 13. Sopply and Spicement of growing sections.

 14. Teating of large-rind growing another units beyond,

 15. Sopply and support of growing another units beyond,

 16. Teating of large-rind growing another units beyond,

 17. Proparation of planting lacks, waysig of plant sections and planting.

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 18. Sopply and planting of the sections are sections.

 19. Proparation of planting lacks and sections.

 19. Rehalvances of planting lacks associated areas certification.

 21. STAPARTE PRECE Entailbower Restrictors.

 21. STAPARTE PRECE Entailbower Restrictors.

Growing Medium: Conform to BC Landscape Standard for definitions of imported and on-site topseil. Refer to Table One bela

Applications	Lew Traffic Areas.	High Traffic	Planting Areas		
.,,,	Trees and Large Shrubs	Lavn Areas	and Planters		
Graving Hedium Types	Z.	ZH	2P		
Texture		Percent Of Dry Weight of Total Growing He	ia		
Coarse Gravel: Larger than 25mm	9 - 1%	0 - TX	e-tx		
All Gravel: Lurger than Zum	1 - 5X	♦-5X	1 - 5X		
	Percent Of Dry Weight of Growing Medium Excluding Gravel				
Sand Larger than 0.05mm smaller than 2.0mm	50 - 10X	70 - MX	40 - 00X		
S&t: larger than 0,002mm smaller than 0,05mm	10 - ZX	6 - 15X	16 - 25X		
Clay: smaller than 0.092mm	6-25X	1 - 15X	+- 25X		
Clay and Silt Combined	meximum XXX	maximum 15X	maximum 35X		
Organic Content (coast):	3 - WX	3 - 5X	19 - 28X		
Organic Content Onterior):	3 - 5X	3 - 5 X	5 - 20X		
Addity (pit):	60-70	64-73	45-45		

- Fortilizer: An erganic and/or inorganic compound containing Nitrogen INI, Phosphate (25), and Potash (soluble 2) in proportions required by sell has
- 3 Line: Ground agricultural Unestone. Meet requirements of the B.C. Landscape Standard.
- A Drigank Additive Commercial compact product in the requirements of the B.C. Landscape Standard, 6th edition and pre-approved by the Landscape Architect. Recommende suppliers: The Answer Sarden Products, France Recision
- 5 Sand: Clean, washed pump sand to meet requirements of the B.C. Landscape Standard
- 6. Comparated Barth Holds: Ware D/ET select Rev/Houleds barts chips and fines, free of cherics and atticks, dark brown in colour and free of all sail, at ones, nexts or other extraneous matter. Fresh or angula in colour barts will be rejected.
- 7. Herbiddes and Preticides: If used, such conform to all federal, provincial and local statutes. Applians such held current licenses issued by the appropriate authorities in
- 3. Ther Educ: A non biologicalist is index or other (therety annelmen that will allow the passage of water but not fine and particles. Such as MEAT KE M., GEX.ON KER ON ACCOUNTS or elements product pre-appeared by the Landscape Architect.)
- .9 Drainage Piping If required Schedule 40 PVC naminal abos.
- .11 Plant Naturals: To the regularments of the R.C. Landscape Standard. Refer to 3.5, Plants and Planting. All plant material must be provided from a certified disasse free nazurary. Provide proof of certification.
- . 33 Supplier and installers of segmental black valia to provide explaemed dravings for all valias algored and seeled dravings for all valia, individually, in excass of 12m, combinations of valia collectively in excess of 12m, installations must be reviewed and algored off by Certified Professional Engineery blacks cost of engineering survices in
- .14 Miscallaneous Ann other natural necessary to consists the project as shown on the drawings and described horses

PART THREE SOFT LANDSCAPE DEVELOPMENT

- to Deliver to my serie en site protect individual trees or plant groupings indicated as retained on Landscape plans as regardal on returnion areas.

 11 in come inchanges the Landscape Architect will have brees or press to meade. Discuss from refurtion areas at a start-up meeting with the Landscape Architect
- 2 A physical barrier must be installed to delineate cleaning boundaries. Refer to physical barrier detail. If detail not provided, comply with local numicipal requirement
- A De not stockable sail, construction materials, or excavated materials within regetation retention areas.
- 5 De net sank fuel er service vehicles within vegetation retention areas.
- 5 No debris fires, clearing fires or trash burning shall be permitted within vagetation retention areas
- .7. No exceptions, drain or service transhes nor any other disruption shall be permitted within regetation retention areas without a review of the pro-

- 1.1. Replacement planning of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planning will be the responsibility of the energy control of the personal responsible for the disturbance.
- .11 In situations where regulard construction may disturb existing vagetation inhanded for preservation, contact Landscape Architect for review prior to commencing

- Cheare subgrade is prepared to confurm to depths specified in Section 3.5, Growing Medium Supply, below. Where planting it indicated close to existing frees, prepare It able planting pockets for material indicated on the planting plan. Shape subgrade to administe from standing water and confurm to the site grading and drainings plan.
- 2 On slapes in excess of 31 french subgrade across slape to 55km (67) minimum at 15m (5 ft.) intervals minimum
- 3 Scarity the entire subgrade insudately prior to placing graving medium. Re-cultivate where vehicular traffic results in compaction during the construction procedures.
 Essure that all planting areas are smoothly conterned after light compaction to Problect grades.
- 3. Elimbuts studies water from all fishing grades. Previde a smeath, firm and even surface and conform to grades above on the Landscape Bravings. Do not exceed another and above a confidence defined to the EC | and rose Standard.
- 5 Canatract swales true to line and grade, smooth and tree of sags or high points. Minimum slape 2X, maximum side slapes 19X. Assure positive drainage
- & Slape not be exceed the following maximum: Rough Grass 31, Lawn 4-1, Landscape plantings 2-1.
- Prished self-realth alwestion at building to comply with numicipal requirements.
- Ji Intern Landszape Architect of completion of finish grade prior to placement of seed, sod, plants or mulci

LANDSCAPE DRAMAGE 1. Quished World: Envolve medium and Finish Grading, Gross oreas, Trees Shrubs and Groundcovers, Plantors, Crib Walls.

- ! Work included: Site finish grading and surface drainage, installation of any drainage systems detailed on landscape plans. Note: Cetch basis perdication only, confirm scape of work price to Md. confliction set, centre cape of view price in Mr.

 21. Consident will during enhance with the set of his drakape, failter in regimening drawings and specifications for connections and after drakape work.

 22. Determine centriculum of all existing diffities and introduces and independent cliffites price in community sets, which say set he located an drawings and conduct work as an in present interruption of service or damage in these. Perstant cultivity structures and of thy services and he responsible for damage caused.

 23. Parether draw on takes there in Section 3.8, including Landscape on Structures.
- Execution
 In terrothing and backfilling in accordance with regimenting defaults and apporticultions.
 Lay drains on prepared bed, from to the and grade with invertis asserts and free of sage or high points. Ensure barrel of each pipe is in contact with bed throughout full.
- n. Commence taying pipe at outlet and proceed in upstream direction. Lay perforated pipes with perforations at fipm and 4pm positions. Make joints tight in accordance with namufacturer's directions.
- 3. Commence Lapen per el mater and precess in aparterna microline.

 A lap perfected pole with perfections in a dynamic paralleles.

 Sides judic higher in accordance with numericativer's directions.

 A least plant with the laber hough the plant parties nesting name and a approved by Enghanz.

 Allow settingful commodium in existing drain, were or exhibit parabitics or collabolates where budicated or as directed by Lankscape Architect.

 Plant workings in the office perfect with a first parallel perfect in control perfect in the perfect per
- 3.11 Assure positive drainage.
 3.12 Back fill renainder of trench as indicated.
 3.13 Protect subdrains from flautation during installation.

OWING HEDILM TESTING

- As secretal PECAM TESTING

 1. Solid representative suspile of growing section proposed for use on this project to an independent laboratory. Provide test results in Landscape Architect prior to patching, Test results in bedone

 1.11 Physical properties, X content of greed, and, all, day and experies.

 1.22 Addity Plant apparties, X and a subject required to being within apportful range.

 1.33 Minimal content of principle and trust elements and personnentialisms for required set assentiates.

 1.43 Carbon/Nimpo level.

 5. GROWNE PERMIS SERVY AND RECEIPET

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- onvenue recent corner new recentage.

 1. Supply all growing median required for the performance of the Contract. Do not lead, transport or spread growing median when it is no wet that its structure is likely to be

- various areas.

 2.1 Thoroughly airs required amendments into the full depth of the growing medium.

 2.2 Section mass may be required for various altuations. Refer to drawing notes for instructions.
- A Minimum depths of graving medium placed and compacted to BBX:
- to don't all realthall width shall be at least twice the width of the real hall with sacres shar

- 5 Harvailly sarvail growing medicarialization sail around exhibits from should and obstacles
- .6 In partmeter seeded grass areas, feather growing medium out to nothing at edges and blend into existing grades.
- .7 Finished grades shall conform to the absorptions above on Landscape and site plans.

about GALSS AREA - SIDMS 3. Danger Bundy grass areas on order on the drawings as "Rough Grass". Treet all areas defined as rough grass between all property lines of the project includ between "Designer greats and lance.

- Preparation of Surfaces: To B.C. Landscape Standard Class 3 Areas Blough grassi Section 7.113
 Clean existing set by nechanical means of debris over Store in any distension.
 Roughly grade surfaces to allief for maintenance specified and for positive drainage. 3 Time of Seating Seed from early spring (generally April tot) to lete fall (September 15th) of each year. Further estiis may be additioned on con

- Seed Nature All varieties shall be rated as strong performers in the Pa 1995 Creeping Red Fescue 2005 Annual Rye 50% Satura Perennial Rye 50% Kentrucky Bluegrass A Fortilizer: Mechanical seguing Apply a complete synthetic slaw-release fortilizer with maximum 35% water soluble nitrogen and a for
- .7 Seedge Apply seed at a rate of 1024/H (SOUDs /acre) with a mechanical spreader, incorporate seed into the top 14° (Gene) at sell and lightly to
- Acceptance: Provide adequate protection of the seeded areas unit conditions of acceptance have been net. Couply with Section 3.7 Hydrosending

May be-used as on alternate to mechanical seeding in rough grass areas.

- ! May not be used in artems of lawn unless pre-approved by the Landscape Architect prior to bidding.
- 3 Preparation and Greving Medium:
 3.1 in areas of Awayh Grass Comply with Section 3-6 Bough Grass.
 3.2 Where approved for use in areas of laws, comply will Section 3.3 Levn Areas Sodding.
- A. Prelaction: Ensure that fortillars is salation does not come it contact both, the foliage of payment, shrufs, or other susceptible expertation. On not spray send or salation exhibits an expected by prov year. Events causing the explosed, making the deposition, making the salation of the contact in the contact of the
- 5 Mich shall consist of virgin used filter or recycled paper filter designed for hydraulic seeding and dyed for ease of most in used filter substitutes use SISX by veight), Configurate SLC Londacage Standard for much recultements.
- & Water. Shall be free of any inqualities that may have an injurious effect on the success of seeding or may be harreful to

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- Notes: At the time of Tender profide a complete chart of all components of the min proposed including mulch, tuckifler, water etc. Slaped pl
- AA.1 At the time of Tender provide, a complete chart of all components of AA.2 Fertilizer.
 AA.2.1 Respirators in a seal analysis to available, comply with results.
 AA.2.2 Lavin Where hydrosending is approved, comply with seal analysis or
- 3. Accorately seasors: the quarifies of each of the salarisks is including in the tank either by mass of ya commody accepted synthe of assa-calibrates seasors sents. The naturalist shall be sided in the law which it is being 'Male with valor, in the following sequence, used, for finite. Thoroughly ask into a beauther design, and we were or the natural to it has beauther. After darings, and it worker or other naturals in the salaries. But allowed in the salaries. But allowed in the salaries are salaries are salaries and salaries are salaries.
- 18 Distribute starry uniterally over the surface of the area to be independent fund production into province applications and existing areas for grant of the area to be independent. .11 Clean up: Reserve all materials and other debris resulting fram-seeding operations from the job site.
- 2. Rubbonco: Bogin subtenance humsfully stype Seeding and continue for life sign after Solutatrial Complains longitude assigned by the Owner. Re-send of three works before its employed by the Owner. Re-send of three works before its employed by the Seeding and Protect Seeding area. These issues of the Seeding and the Seeding area from a of Impaged before its efficient quantitative type and are seed protection and of Impaged below its protection growth under growth under grazi het date were by the Owner. It is the Owner respectably to expert your left of the Contract.
- 3. Acceptance of Derfiningh Grass. Areas: Proper generation of all specified or as species in the responsibility of the Landscape Contractor. The system, and all the resourcing from of reads in S.C. Landscape Stretuct, Section 10 Haldmannes Level 4. Depringaged. Soft days definition complete, were severing the conflictions above will be interested by the Owner. Areas sended in Fed will be accepted in Spring one month of Pro-Virtual Property and Contractor of the Contractor

.1 General: Treat all areas defined as lawn areas on the landscape plan between all property lines of the project including all bodievards to edge of reads and lanes 2 Greating Medicas: Comply with Section 2.21, Growing Medican. Prior to sadding, request an inspection of the finished grade, and depth and condition of greating and any the

- 3 Time of Sadding: Sad from April to the October list. Further extensions may be obtained on concurrence of the Landscape Architect
- 4 Sed Secretar Conform to all conditions of B.C. Landscape Standard Section B.B.C. Standard for Turboress Sed. 5 Specified Turbrams by areas Befor to Table 2 below

TABLE 2 SPECIFED TURFURASS BY AREA					
Arez	Description	Quality Grade	Major Species		
1 22AD	Lawn, all areas noted on drawings as lawn in urban development sites including boulevard grass.	No. 1 Prenium	Kentucky Blue for sun, Fescues for shade		
CLASS 2	Grass - public parks, industrial and institutional sites	No. 2 Standard	Same		
E 22A.D	Rough Grass	see hydrosaeding	1		
SPECIAL					

- Furtilizer: Rafer to Saction 2.22 Materials. Apply specified fertilizer at rates shown in the required sail test. Apply with a mechanical appeader. Cultivation 12 hours write to said too. Apply safety than line.
- A Sadding Progres a seath, fire, eron serior for Liping and Lip and Stagement with sortions desaily belieful, without mortisping or paps, search and eron with adjaining was as and rail lipinity. Water to obtain esistance personalises of 3° to 4° (1 Hool, Comply with repairments of KC Landscape Stration's Section 8, KC Stration for Turityrass.
- 3. Highbrance: Soph nainbrances knowledge after sauding and continue for 64 days after Sociated to Copiellon and well accepted by the Owner. Protect sodied arrest from Longor with Property where the Vehic Process complete with Signapu well known Is thank serve by the Owner. When he width maintainer provedients of 7 th ACT-Richald at Ministry associations in such that Multiple Copiellon Accepts the Copiellon and Copiellon and Social Process descapils provision and wasted and such protection of a saided means applied abunque with the left has been faise on the 15 between 15 bear and 15

- Obtain approval of Landscape Architect for Legact and preparation of planting prior to conservment of planting oper
- 3 Make edge of beds with smooth clean defined lines.
- A. These of Floring.
 A.1: Flori from, should not groundstream only during parties that are normal for much work as determined by local vasilies conditions when second conditions are likely to enter accurately deletelism or jointly to their red localities.
- 5 Standards.
 51 All plant method shall confere to the requirements of the B.C. Landscape Standard, 7th edition 2001, what as exceeded by driveing Plant Schedule or this specification.
 510 Mart in B.C. Landscape Standard, Section 1, Plants and Planting and in Section 12, SQUAR Standard for Confident Grown Plants for inhuman standards.
 512 Ret in Plant Schedule for specific plant and contribute about some companies.
 512 Plant as lant all statutes from waxes without some every deficient social language.
 51 Plant as lant all statutes from waxes without some every deficient social language.
 51 Plant as lant all statutes from waxes without some every deficient social language.
- A Review At the source of supply and/or callection puint does not prevent subsequent rejection of any or all planting stock at the after
- Availability.
 Availability:
 Avan of search includes the Lever Hainland and Fraser Valley. Refer to Plant Schedule for any extension of are 3/2. Supply growf of the availability of the specified plant material within 30 days of the avant of the Contract. 3. Sachtsteine 3. Biths witten approved of the Lundescap Architect prior on asking way admitted to be specified autorial. Non-approved sabstitutions will be rejected. 32. Allow askinus will step you for additively for report by substitute. 3. Sachtsteinus or suppler to KL sachtery Sterwider's definition of Confidence of supplicitivity.
- 3 Plant Species & Location

 5.1 Plants shall be true to name and of the height, caliper and size of root ball as shown on the Londscape/offe plan plant schedule. Caliper of trees is to be taken 6" (Scal
- encounteres. .93 Doubtion of given planting location will only be allowed after raview of the proposed deviation by the Landscape Architect
- .86 Exception
 .8.1 Tress and large shades Except a suscer chapped tree git in the depth of the northall and to at loast twice the width of the northall. Assure that finished grade is at the arighal grade the free visis grown of. 3.10 Drakage of Planting Notice:
 3.11 Previous of Planting piles where required, is an aloped conditions, break out the side of the planting pile to allow drakage down slope; and in flat conditions, recard to relate the restall above becomes large; and in flat conditions, recard to relate the restall above becomes care. Notify the Landscape Architect where the drakage of planting holes is liabiled.

above grade.

32 Plant all specified species in the Location as shown on the Landscape drowings. Notify Landscape Architect if conflicting rock or anderground.

- 12. Planting and Fortibing Procedures
 13.1. Plant all three and drafts with the overts placed in their natural graving position. If factuaged, losses wavend the top of the ball and cot easy or field under. Don't place the same that the place of their hands and consists of their place of their field and cot easy or field under. Don't their news of their place of their field and cot easy or field under. Don't their place of their field and cot easy or field under.
- wire. 2.2. Filling planting holes by portly froning the growing medium around the root system in 6" (Scal Gyers, Settle the sail with water. Add sail as required to meet finish grobe. Leare no air wide. When 20 of the topsal has been placed, epity fortilizer as reconnected by the required sail test of the specified rotor.
- 10 Staing of Trees
 13 Use the Part of Stains, uses supersocked by maripul regardenests. Set stains stains at 10, is not. Do not drive stain through resthal.
 13 Use the time controlly setting.
 13 The visit pre-agreemed connected, that weren polypropriate frank bell, address width time DAV.1. Approved predicts Arbot Tin available from Deephil.
 13 Times 61.0. so Visit of Control Dicks Sign as done using three disabless lates. Total Visit in equilation to make the time couplish below grade.
 15 Times 61.0. so Visit of Control Dicks Sign as done using three disabless lates. Total Visit of the neutron possible depth instead of stakes.
 16 Not in the process with related Respiration.
- 34. Proping
 34.1 List proving to the airbinum necessary to reserve dead or injured branches. Proserve the natural distractor of the glasts, do not cut the landor. Use only clean, sharp, thats. Make all orth cleans and up to the branch caller landough with Stage offended was as as not to retain water. Recover designed wateriel.
- .5 Midding.
 5. Midding planting areas with an even layer of make in 2-1/2-3" KS 75ma) depth. Centifus placement of malch in areas labeled "Groundcover Area" on drawings. Malch a 3 ft (Mahael Sealer of only a series from the place areas. Layer a clean order.
- .M. Acceptance: .M.1 The establishment of all plant material is the responsibility of the Landscape Contractor.

- .0. Place Melanial Relationation
 .1.1. Nation of year started for 64 days after landscape varie has received a Certificate of Congletion.
 .1.2.1. Nation of year started for 64 days after landscape varie has received a Certificate of Congletion.
 .1.3. Variety of Certificate in SIL Landscape Standard, Section 13.3. Variety and processing as follows
 .1.3. Variety of Certificate in SIL Landscape Standard, Section 13.3. Variety and processing of Certificate or Certifi
- 38 Flast Marreilly
 33. Replace all ameliant indicatory plant solarist accept these designated "Specimen" for a period of one 10 year after the Certificate of Completine. Replace all annual factory plant solarist designated "Specimen" for a period of two 10 years after the Certificate of Completine. Replace all annual factory these soil the specimen for a period of two 20 years and safety and complete annual and solarist the specimen and approved as a second complete and safety that the complete and safety and the Certificate, Specimen and approved as a second complete annual specimen and annual specimen and annual specimen and annual specimen annual specimen and annual specimen annual

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 33. For all plant nations, the Landscape Architect reserves the right to extend the Centractor's responsibility for mether growing exame If, in bit epidem, lest development and growth in our settlement between their authorizative growth.

 33. So there has been been responsible for plant administrates the land section of the contract way be declared read.

 33. So there has been been responsible for plant administrates the land section of the contract way be declared read.

 33. So there has been been responsible for plant administrates the plant administrates (action 16, the foreign administrates the read of the plant administrates the plant administrate the plant administration repeated provided in regular any plant administration because the former's that is desirable suffer the plant administrates the plant administration of - mathematics standard in a withous of Laret Three Medica. Refor to Section 3.11, Establishment Mathematics.

 8.5. The Landscape Contractor is responsible to regions any plant material or repair any construction included in the Contract the Contract Contract Constitution.

 8.7. Deviation from the apacticalisms any require coherence of the Matranty Paried as determined by the Landscape Architect.

- .) Verify that drainage and protection material is completely installed and acceptable before beginning work. Contact Landscape Architect for insti
- 2 Coordinate work with construction of planters and planter drainage.
 2.1 Yerity that planter drains are to place and positive drainage to ever drains is present prior to placing any drain rock or sail. 3 Provide clean suf at all through-slab drain locations . Use 304mm rain, dia, PYC Pipe filled with drain rack unless specific drawing defail shown.
- L. bestall drain not awards to a minimum drath of L" (160major alternate short) drain if specified, bestall short drain as not manufacturer's recommendation
- Cover drain rook for alternate sheet drain if specified on drawing details) with filter fabric Lapping 6" (50mm) at all origes. Out ain approval of drainage system prior to stacker or write median.
- 6 Place an even layer of 25 Steam clean washed pump sand ever fifter fabric.
- 3. Place growing median to depths specified in Section 35 above for vertices service treatments. Refer to Drawing details for any light weight filter required to after grade. Due Symphon Mode over train-rock adopted to provide asserts burface treatment of depts. Both each place lightly important cover-with filter faints to prevent and treat-service services.

- J. Intent: The intent of "authibitioner" addresses in its profes sofficial core to easy behalfed plant solved, for a relatively shart period of the in ensure or increase the laws there is extent to a facility of planting. The oil pathing while relating the major in a new site in writer in a latin the desired offset from the planting while relating the rate of failur and uncersurary was associated with improper call adultation. Establishment of authorism procedures upply in all new and retained reportation becaming call while failures are not not have an of their treat and above.
- 2 Halotenance Period: Provide maintenance of installed landscaping for 12 months following substantial consistent
- 3 Related Standards and Lephilation: B.C. Landscape Standard, latest edition; Fertilizer Code., B.C. Pesticide Control Act.
- A. Site Review. In addition to the inspections of authorized completion, of that progress draw application, and of the ord of the quarantee period, there chiefd be three other network artificial (the Internation artification artificial (the Internation artificial (the Internatio
- 5 Scheduling: Prepare a schedula of anticipated visits and subset to designated representative at start-up. Maintenance the growing season between Narch lat and November 30th, however visits at other times of the year may be required.
- 6 Maintenance Level: Comply with 8. C. Lundscape Standard, Section 13, Table 7, Kaintenance Level "Hediun".
- Naherials: Camply with Part Two of this specification.
 Switzburn: To the renderments of the B.C. Landscape Standard, Formulations and rates as required by sail heating.
- 3. Peter Polarvial Eardelchaem?
 3.1. Verteiring During the first growing assess, where new plants at least every ten (II) days between dupt int and sky Nation and representations of September 100. Nations 2.5 galaxies per time per applicables. During the second growing season, while man plants of least representations the second provided of the season of the second provided of
- 33 Verification. Reserve all veries from all areas as local energy are maintification by monity or committee and an electricists.

 3.A Part and Disease Combrel, inspect all planted areas for peats and disease periodicity and all least energy has method during the growing season by an apprehenced person. Cercy of travelent for peats have diseases presently and consistently for anxious effectiveness. Comply of the III ELP Periodic Central Act and manifold requirements.

 3.5 Time Supports Relation states, you when said less one full growing season. Onch fine all least every has sential to enter that they are not consistently experienced.

 3.5 Time Supports Relation states, you when said less not good to be the first growing season could have been present an experience and experienced and the senting season of the first growing season except when the part was required. It is accordanced to experience and the section of the season of the section of the season - 3. Horizon (Landischwen).
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- application of a sulfields benefacion when an emparate with the B.C.S.L.A.P.C.L.H.A. Landscape Stredards intent edition. XII broadstates when he passed areas by approved the word population to zero.

 3.1 Fortilizing According 1-see analysis.

 3.2 Fortilizing According 1-see analysis.

 3.3 Hosting according 1-see analysis.

 3.3 Hosting according 1-see analysis.

 3.4 Linesy According 1-see analysis.

 3.5 Hosting according 1-see analysis.

 3.6 Hosting according 1-see analysis.

 3.7 Hosting and Friending All reverse. The first few cuts shall be a subry nutry type mover. Excess gress clipping shall be reasonal after each cut. How all gressed week with a backy read or entry severe when the green servation is a subry nutry type mover. Excess gress clipping shall be reasonal after each cut. How all greened week to be a subry nutry type mover. Excess gress clipping shall be reasonal offer each cut. How all greened week to be a subry nutry type mover. Excess gress clipping shall be reasonal offer each cut. How all greened week to be a subry nutry type mover. The subry type with a subback exchange of the subry type of the subry type with a subback exchange of the subry type and type a es, IV, and reserve cores.

 Register, re-sead one recessary la restore desappel or fallag press areas. March the greas varieties is the sucreaming area. Re-sed, if required, the greate greater of the first property of the greater of the first property of the first

PLAN # 3 P MAY 2 2 2018

DP 17-782861

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#220 - 26 Lorne Mews New Westminster, British Columbia V3M 317 Tel: 604.553.0044 Email: office@m2la.com

6 IBMAYH REVAS PER CITY COMMENTS DY MARRY DRY AS PER ADRICHMENTS DY 6 BH4R22 REV. AS PER ADP CONNENTS DY
5 BLANCE REV. AS PER ARCH CONNENTS DY ITUECAL REV. AS PER CITY CONNENTS DY 3 ITURE 4 SUPPLISSION FOR DP DY
2 ITURE 28 REV. AS PER CITY CONTROLS DY I IT. II JI PRELIMINARY DESIGN DY NO. DATE REVISION DESCRIPTION DY

PROJECT:

12 UNIT DUPLEXES 5680 and 5700 Williams Road, RICHMOND BC

LANDSCAPE SPECIFICATIONS

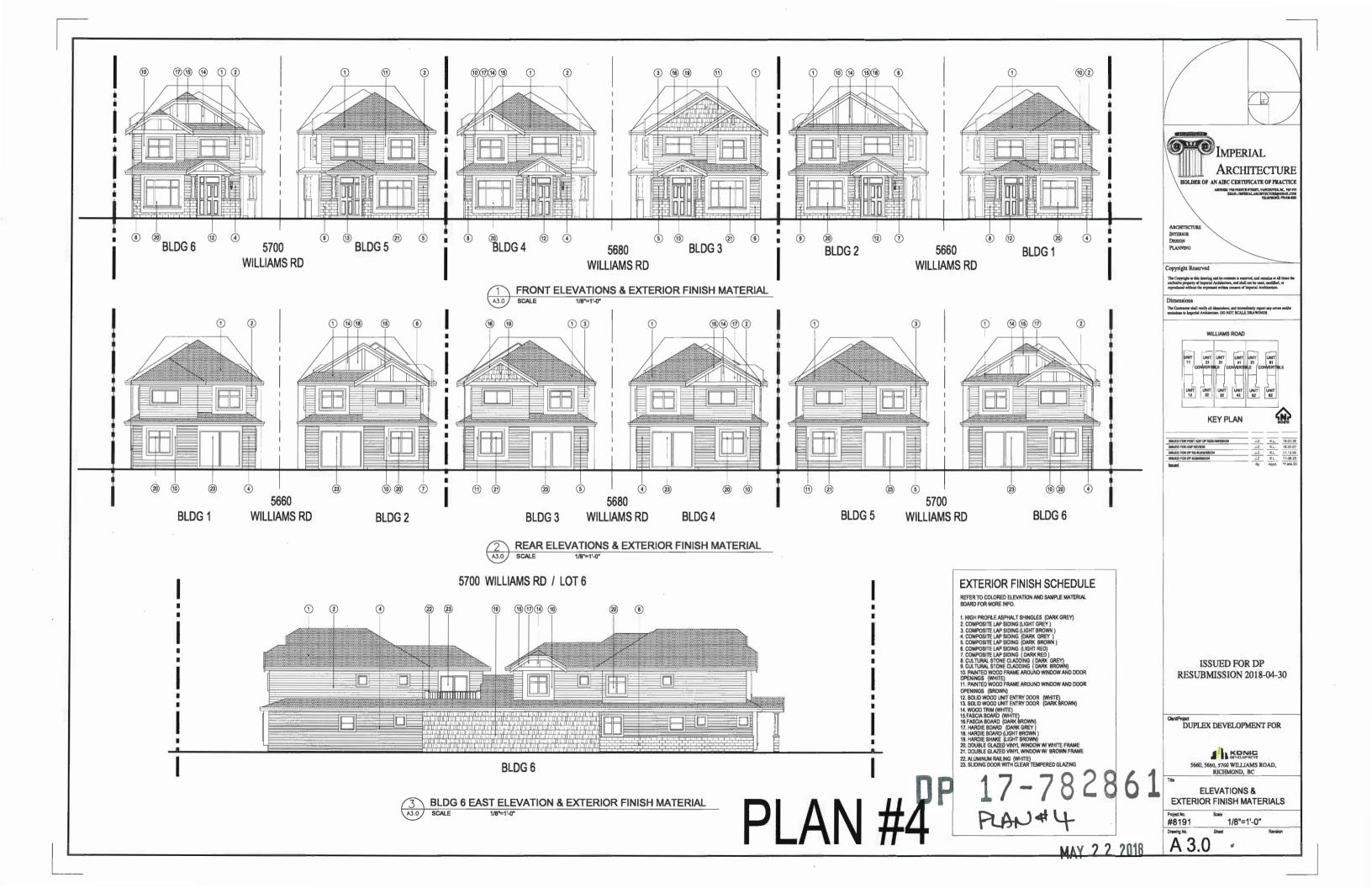
DATE: 2017-11-7-21 DRAWING NUMBER: SCALE: -L8 DRAWN: DY DESIGN: MM

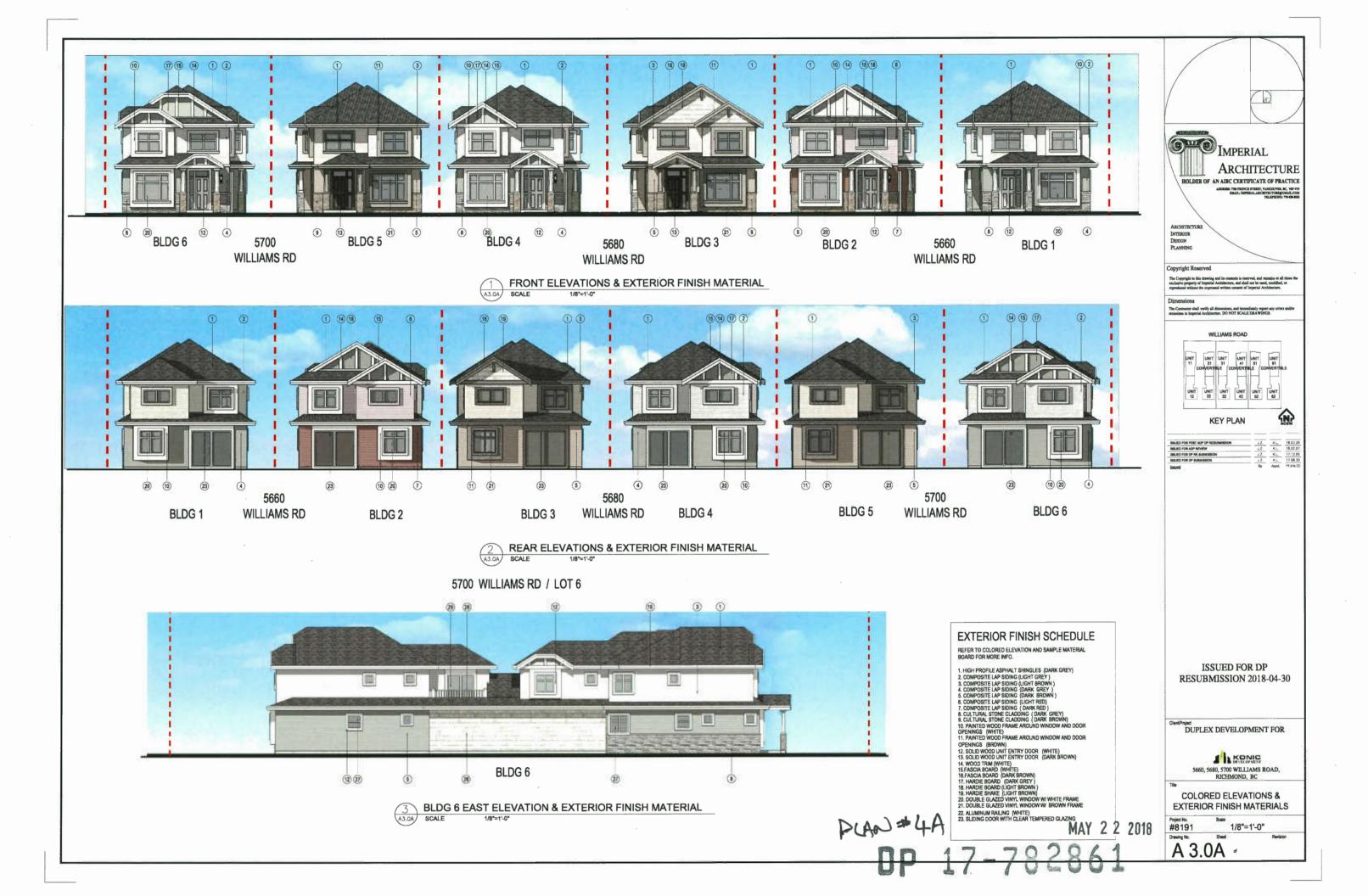
CHK'D: MM

M2 JOB 120188-18

JOB NO 12 018

MZLA PROJECT NUMBER:







COLOR RENDERING (EYE-LEVEL STREET VIEW - ALONG WILLIAMS)



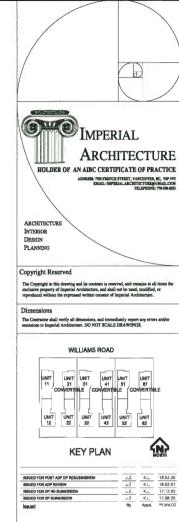
COLOR RENDERING (EYE-LEVEL STREET VIEW - EAST ELEVATION OF BUILDING 6)



COLOR RENDERING (EYE-LEVEL STREET VIEW - WEST ELEVATION OF BUILDING 1)

PLAN *48 MAY 2 2 2018

DP 17-782861



ISSUED FOR DP RESUBMISSION 2018-04-30

DUPLEX DEVELOPMENT FOR

5660, 5680, 5700 WILLIAMS ROAD, RICHMOND, BC

COLOR RENDERING (EYE LEVEL STREET VIEWS)

Project No. #8191
Drawing No. A 0.1



COLOR RENDERING (BIRD-EYE VIEW - FROM WILLIAMS)



COLOR RENDERING (BIRD-EYE VIEW - FROM FRONT YARDS)



COLOR RENDERING (BIRD-EYE VIEW - FROM REAR YARDS)



COLOR RENDERING (BIRD-EYE VIEW - FROM WILLIAMS)



COLOR RENDERING (BIRD-EYE VIEW - FROM REAR YARDS)



COLOR RENDERING (BIRD-EYE VIEW - FROM FRONT YARDS)

ISSUED FOR DP
RESUBMISSION 2018-04-30

Ciert/Project
DUPLEX DEVELOPMENT FOR

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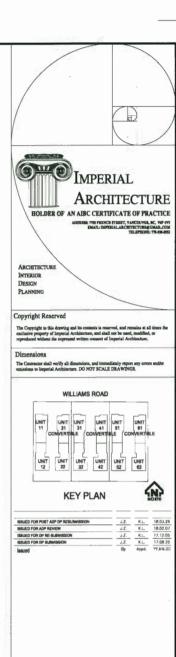
Project No.

RDS)

Project No.

Revision
A 0.2

of



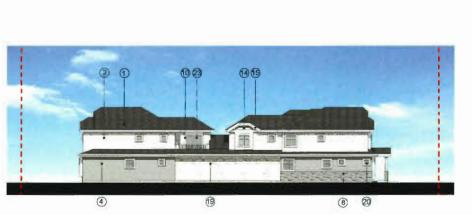
5660, 5680, 5700 WILLIAMS ROAD, RICHMOND, BC





22 ALUMINUM RAILING (WHITE) 23 SLIDING DOOR WITH CLEAR TEMPERED GLAZING





BLDG 6 FACING EASTSIDE ELEVATION

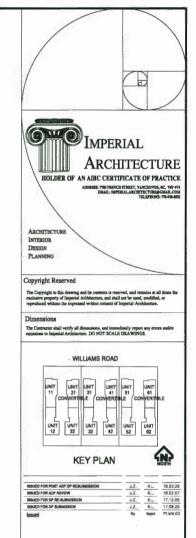
PLAN #4D

DP 17-782861

MAY 2 2 2018

EXTERIOR FINISH SCHEDULE

- 1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
- 2. COMPOSITE LAP SIDING (LIGHT GREY)
- 3. COMPOSITE LAP SIDING (LIGHT BROWN)
- 4. COMPOSITE LAP SIDING (DARK GREY)
- 5. COMPOSITE LAP SIDING (DARK BROWN)
- 6. COMPOSITE LAP SIDING (LIGHT RED)
- 7. COMPOSITE LAP SIDING (DARK RED)
- 8. CULTURAL STONE CLADDING (DARK GREY)
- 9. CULTURAL STONE CLADDING (DARK BROWN)
- 10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)
- 11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
- 12. SOLID WOOD UNIT ENTRY DOOR (WHITE)
- 13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN)
- 14. WOOD TRIM (WHITE)
- 15.FASCIA BOARD (WHITE)
- 16.FASCIA BOARD (DARK BROWN)
- 17. HARDIE BOARD (DARK GREY
- 18. HARDIE BOARD (LIGHT BROWN)
- 19. HARDIE SHAKE (LIGHT BROWN)
- 20. DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME
- 21. DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME
- 22. ALUMINUM RAILING (WHITE)
- 23. SLIDING DOOR WITH CLEAR TEMPERED GLAZING



ISSUED FOR DP RESUBMISSION 2018-04-30

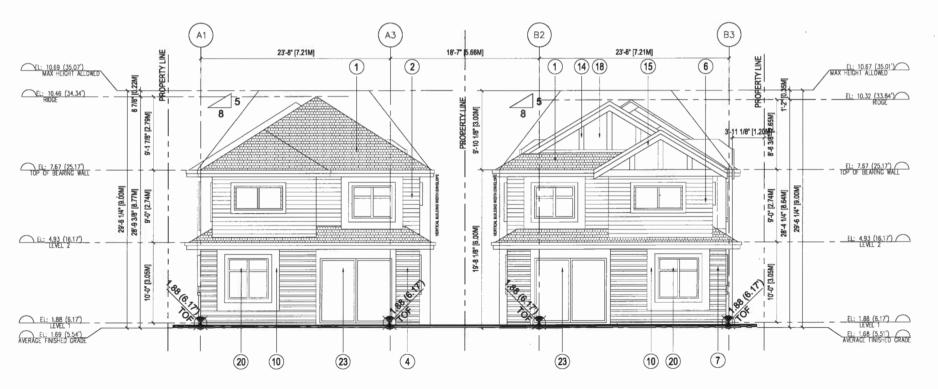
DUPLEX DEVELOPMENT FOR



COLOR SAMPLE BOARD

Project No. Scale #8191 N.T.S.
Drawing No. Sheet Revision of





UNIT 11 (BLDG 1 ON LOT 1) SOUTH ELEVATION

3/16"=1'-0"

SCALE

UNIT 21 (BLDG 2 ON LOT 2) SOUTH ELEVATION SCALE 3/16"=1'-0"

BLDG 1, 3, 5 SPATIAL SEPARATION CALCULATION BASED ON PART 9 OF BCBC 2012 NORTH ELEVATION

9.10.15.4. (1).C LIMITING DISTANCE: 17.2M (56.5FT) > 1.2M OPENINGS ALLOWED: 17.2X17.2=295.8 SM (3184.0 SF) PROPOSED: 12.1 SM (130.1SF)

9.10.15.5 EXTERIOR WALL TO HAVE 0 HR FIRE RATING COMBUSTIBLE CONSTRUCTION ALLOWED COMBUSTIBLE CLADDING ALLOWED

SOUTH ELEVATION

9.10.15.4. (1).C LIMITING DISTANCE: 8.4M (21.0FT) >1.2M OPENINGS ALLOWED: 8.4X8.4= 41.0 SM (441.3 SF) PROPOSED: 11.2 SM (120.2SF)

EXTERIOR WALL TO HAVE 0 HR FIRE RATING COMBUSTIBLE CONSTRUCTION ALLOWED COMBUSTIBLE CLADDING ALLOWED

BLDG 2. 4. 6 SPATIAL SEPARATION CALCULATION BASED ON PART 9 OF BCBC 2012 NORTH ELEVATION

TABLE 9.10.15.4. (1).C LIMITING DISTANCE: 17.5M (57.5FT) >1.2M OPENINGS ALLOWED: 17.5X17.5= 306.3 SM (3297.0 SF) PROPOSED: 11.4 SM (123.1SF)

9.10.15.5

9.1U.15.5 EXTERIOR WALL TO HAVE 0 HR FIRE RATING COMBUSTIBLE CONSTRUCTION ALLOWED COMBUSTIBLE CLADDING ALLOWED

SOUTH ELEVATION

TABLE 9.10.15.4. (1).C LIMITING DISTANCE: 8.3M (20.8FT) >1.2M OPENINGS ALLOWED: 6.3X6.3= 39.7 SM (427.2 SF) PROPOSED: 11.4 SM (122.7SF)

EXTERIOR WALL TO HAVE 6 HR FIRE RATING COMBUSTIBLE CLADDING ALLOWED

EXTERIOR FINISH SCHEDULE

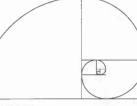
REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

- 1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
- 2. COMPOSITE LAP SIDING (LIGHT GREY)
- 3. COMPOSITE LAP SIDING (LIGHT BROWN)
- 4. COMPOSITE LAP SIDING (DARK GREY
- 5. COMPOSITE LAP SIDING (DARK BROWN)
- 6. COMPOSITE LAP SIDING (LIGHT RED)
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- OPENINGS (BROWN)
- 12. SOLID WOOD UNIT ENTRY DOOR (WHITE)
- 13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN) 14. WOOD TRIM (WHITE)
- 15.FASCIA BOARD (WHITE) 16.FASCIA BOARD (DARK BROWN)
- 17. HARDIE BOARD (DARK GREY)
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- 19. HARDIE SHAKE (LIGHT BROWN)
- 20. DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME
- 21. DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME
- 22. ALUMINUM RAILING (WHITE)
- 23. SLIDING DOOR WITH CLEAR TEMPERED GLAZING

PLAN = 4E

MAY 2 2 2018

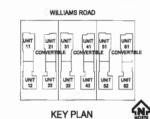
OP 17-782861





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The Contractor shall verify all dissensions, and immediately report omissions to Imperial Architecture. DO NOT SCALE DRAWING



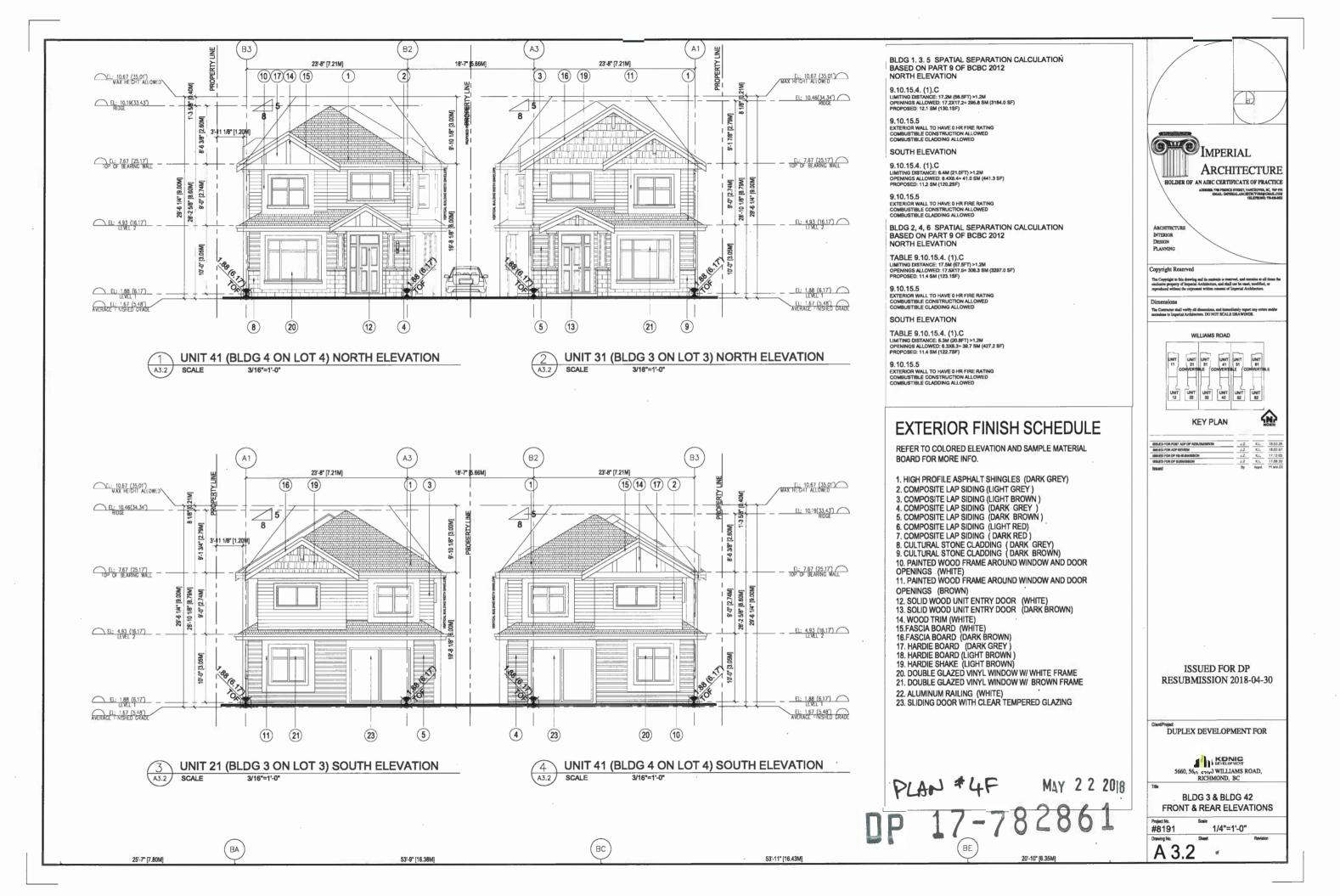
ISSUED FOR DP RESUBMISSION 2018-04-30

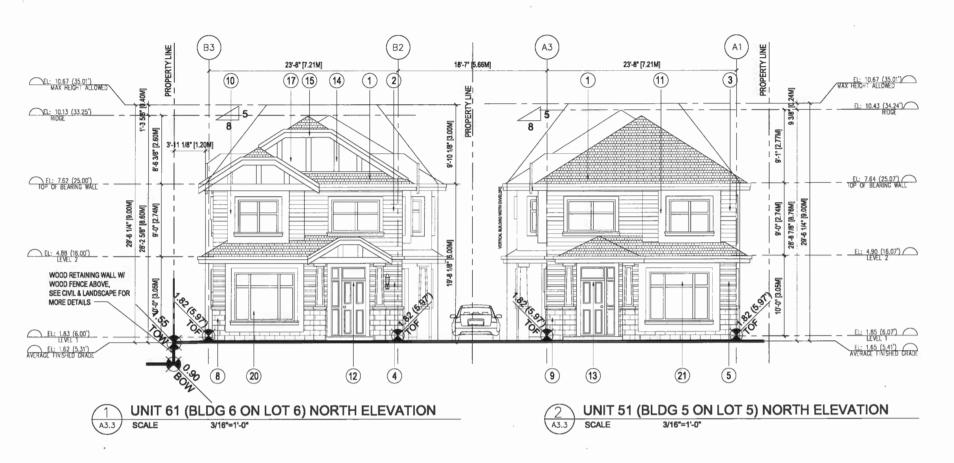
Client/Project
DUPLEX DEVELOPMENT FOR

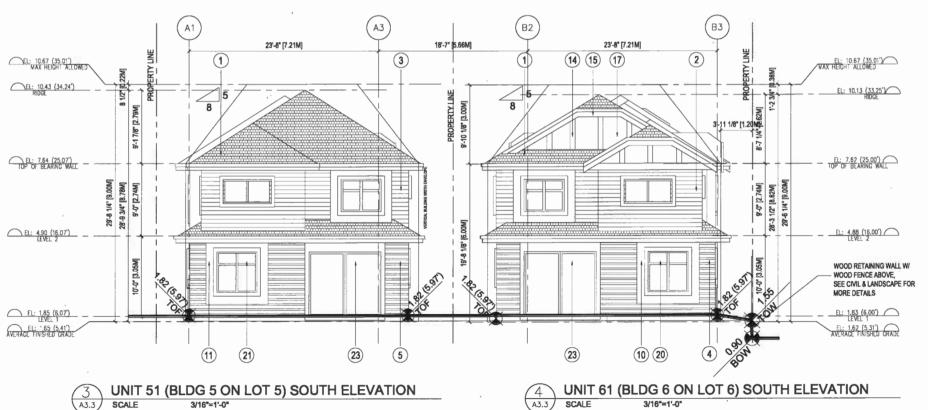
5660, 560, 5700 WILLIAMS ROAD, RICHMOND, BC

BLDG 1 & BLDG 2 FRONT & REAR ELEVATIONS

Scale 1/4"=1'-0" A 3.1







SCALE

SCALE

BLDG 1. 3. 5 SPATIAL SEPARATION CALCULATION BASED ON PART 9 OF BCBC 2012 NORTH ELEVATION

EXTERIOR WALL TO HAVE 0 HR FIRE RATING COMBUSTIBLE CONSTRUCTION ALLOWED COMBUSTIBLE CLADDING ALLOWED

SOUTH ELEVATION

9.10.15.4. (1).C LIMITING DISTANCE: 6.4M (21.0FT) >1.2M OPENINGS ALLOWED: 6.4X6.4= 41.0 SM (441.3 SF) PROPOSED: 11.2 SM (120.2SF)

S. 10. 13.3

EXTERIOR WALL TO HAVE 0 HR FIRE RATING
COMBUSTIBLE CONSTRUCTION ALLOWED
COMBUSTIBLE CLADDING ALLOWED

BLDG 2, 4, 6 SPATIAL SEPARATION CALCULATION BASED ON PART 9 OF BCBC 2012 NORTH ELEVATION

TABLE 9.10.15.4. (1).C LIMITING DISTANCE: 17.5M (57.5FT) > 1.2M OPENINGS ALLOWED: 17.5X17.5= 308.3 SM (3297.0 SF) PROPOSED: 11.4 SM (123.1SF)

EXTERIOR WALL TO HAVE 0 HR FIRE RATING COMBUSTIBLE CONSTRUCTION ALLOWED COMBUSTIBLE CLADDING ALLOWED

SOUTH ELEVATION

TABLE 9.10.15.4. (1).C LIMITING DISTANCE: 8.3M (20.8FT) >1.2M OPENINGS ALLOWED: 6.3X6.3= 38.7 SM (427.2 SF) PROPOSED: 11.4 SM (122.7SF)

9.10.15.5 EXTERIOR WALL TO HAVE 0 HR FIRE RATING COMBUSTIBLE CONSTRUCTION ALLOWED COMBUSTIBLE CLADDING ALLOWED

EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL BOARD FOR MORE INFO.

1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)

2. COMPOSITE LAP SIDING (LIGHT GREY)

3. COMPOSITE LAP SIDING (LIGHT BROWN)
4. COMPOSITE LAP SIDING (DARK GREY)

5. COMPOSITE LAP SIDING (DARK BROWN)

6. COMPOSITE LAP SIDING (LIGHT RED) 7. COMPOSITE LAP SIDING (DARK RED)

8. CULTURAL STONE CLADDING (DARK GREY)
9. CULTURAL STONE CLADDING (DARK BROWN)

10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)

11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR

OPENINGS (BROWN)

12. SOLID WOOD UNIT ENTRY DOOR (WHITE)
13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN)

14. WOOD TRIM (WHITE)

15. FASCIA BOARD (WHITE) 16.FASCIA BOARD (DARK BROWN)

17. HARDIE BOARD (DARK GREY)

18. HARDIE BOARD (LIGHT BROWN) 19. HARDIE SHAKE (LIGHT BROWN)

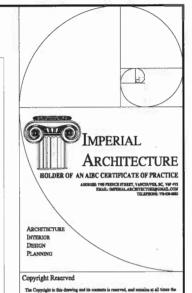
20. DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME

21. DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME

22. ALUMINUM RAILING (WHITE)

23. SLIDING DOOR WITH CLEAR TEMPERED GLAZING

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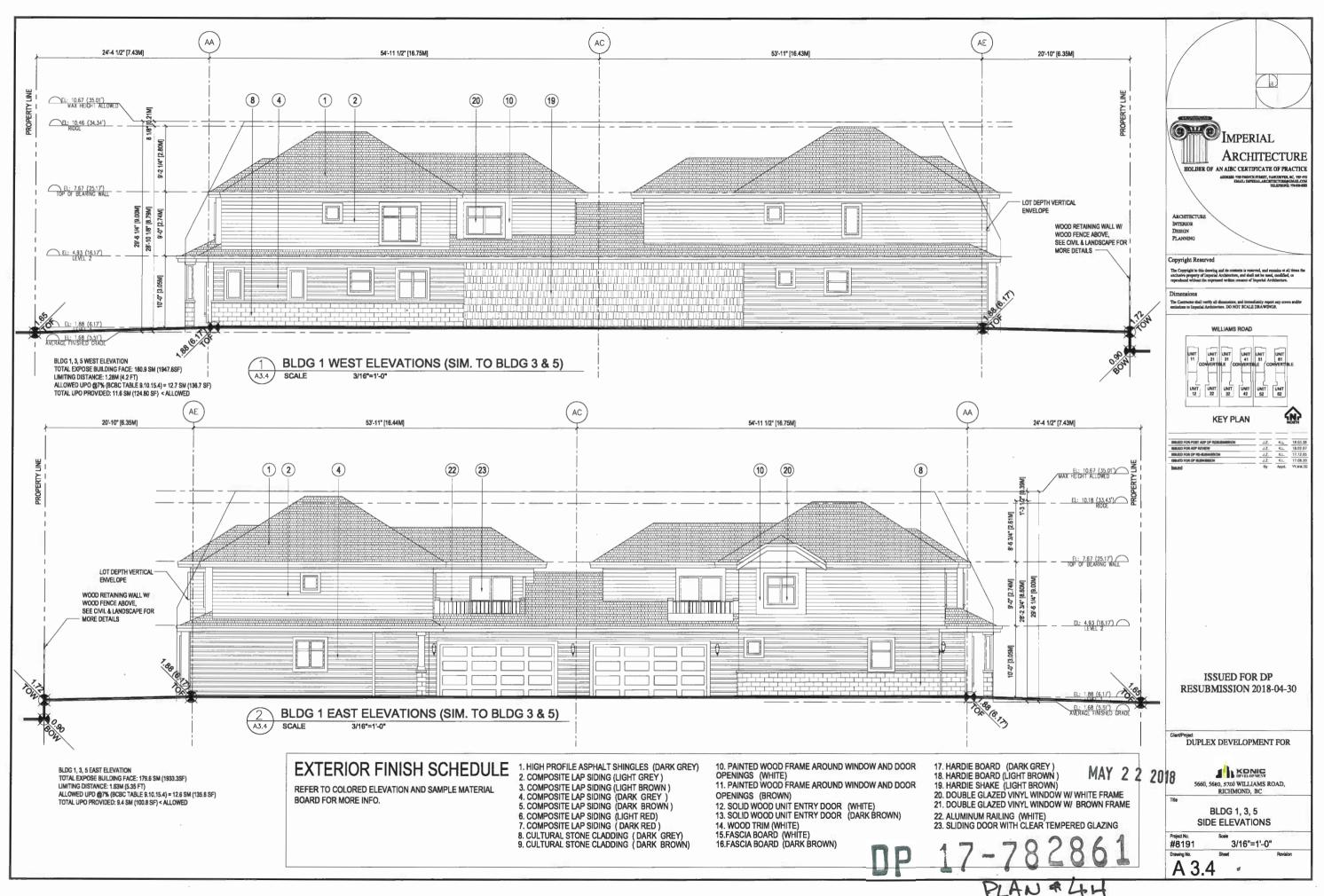
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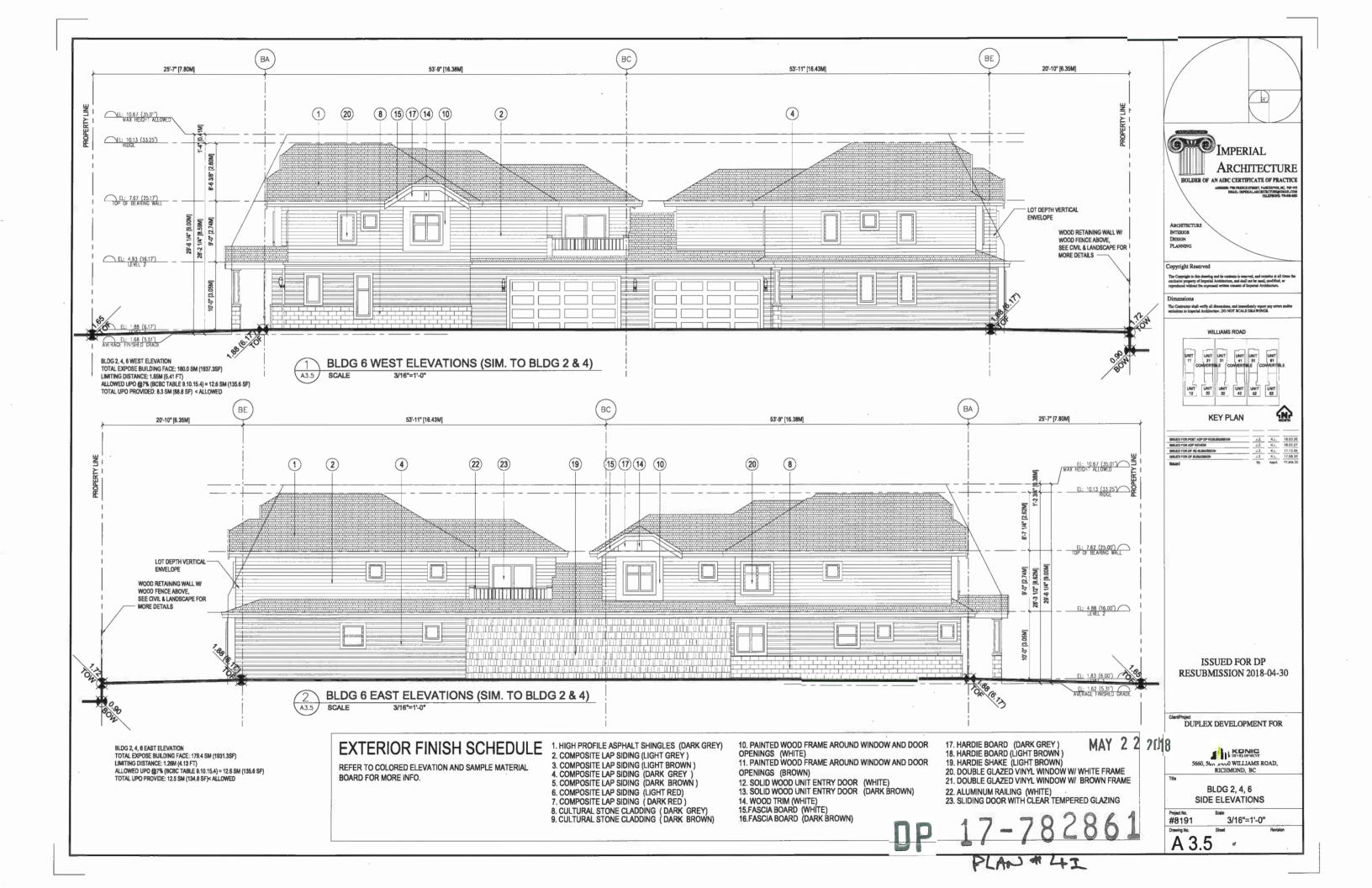
DUPLEX DEVELOPMENT FOR

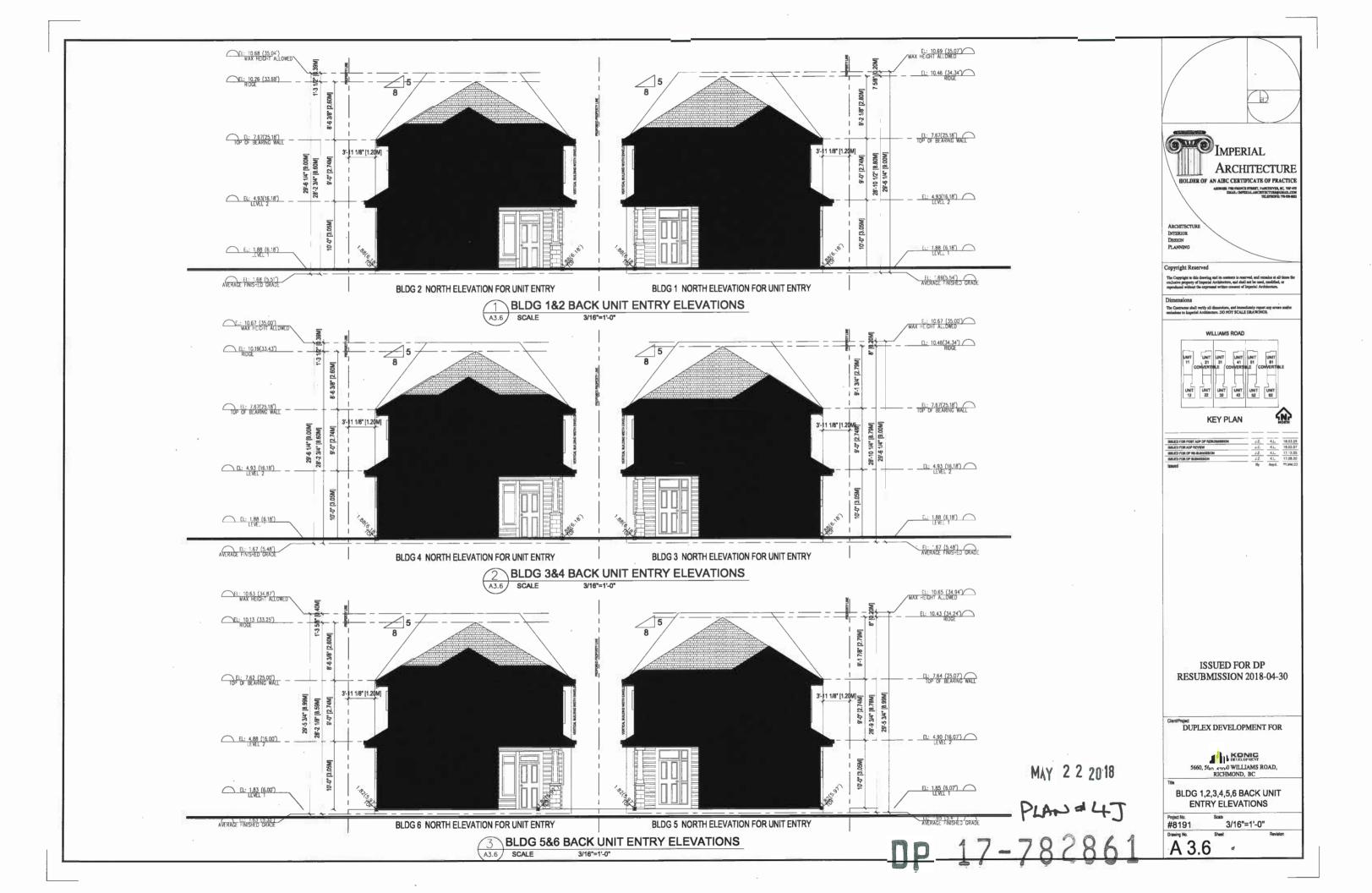


BLDG 5 & BLDG 6 FRONT & REAR ELEVATIONS

Project No. #8191 1/4"=1'-0" A 3.3



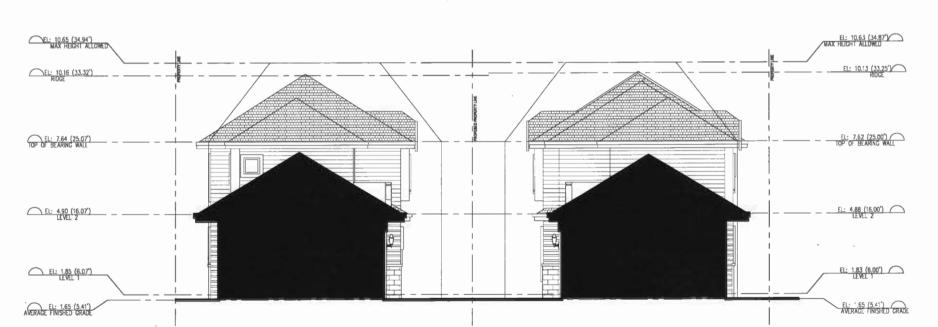






BLDG 2 (TYP. TO 4&6) BACK UNIT NORTH ELEVATION

SCALE



MAY 2 2 2018

BLDG 1 (TYP. TO 3&5) FRONT UNIT SOUTH ELEVATION
SCALE 3/16"=1'.0"

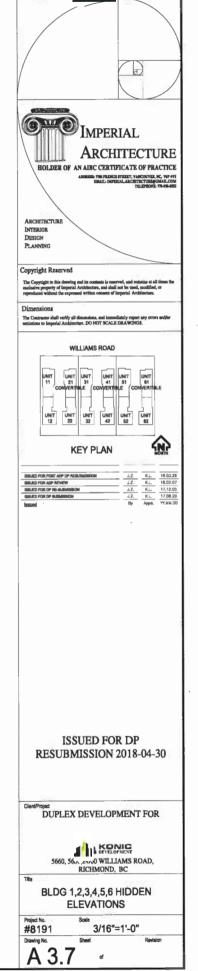
BLDG 2 (TYP. TO 4&6) FRONT UNIT SOUTH ELEVATION

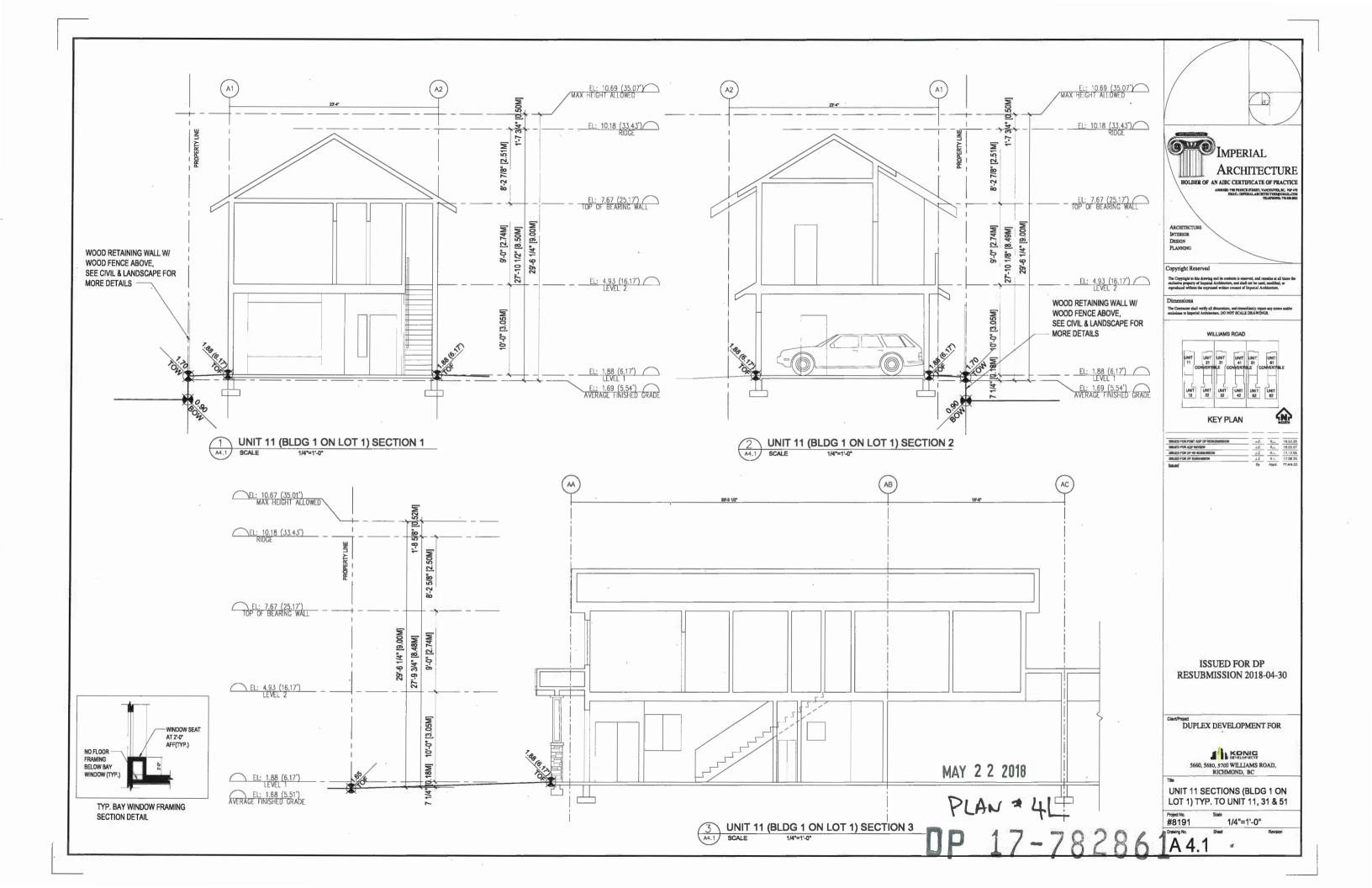
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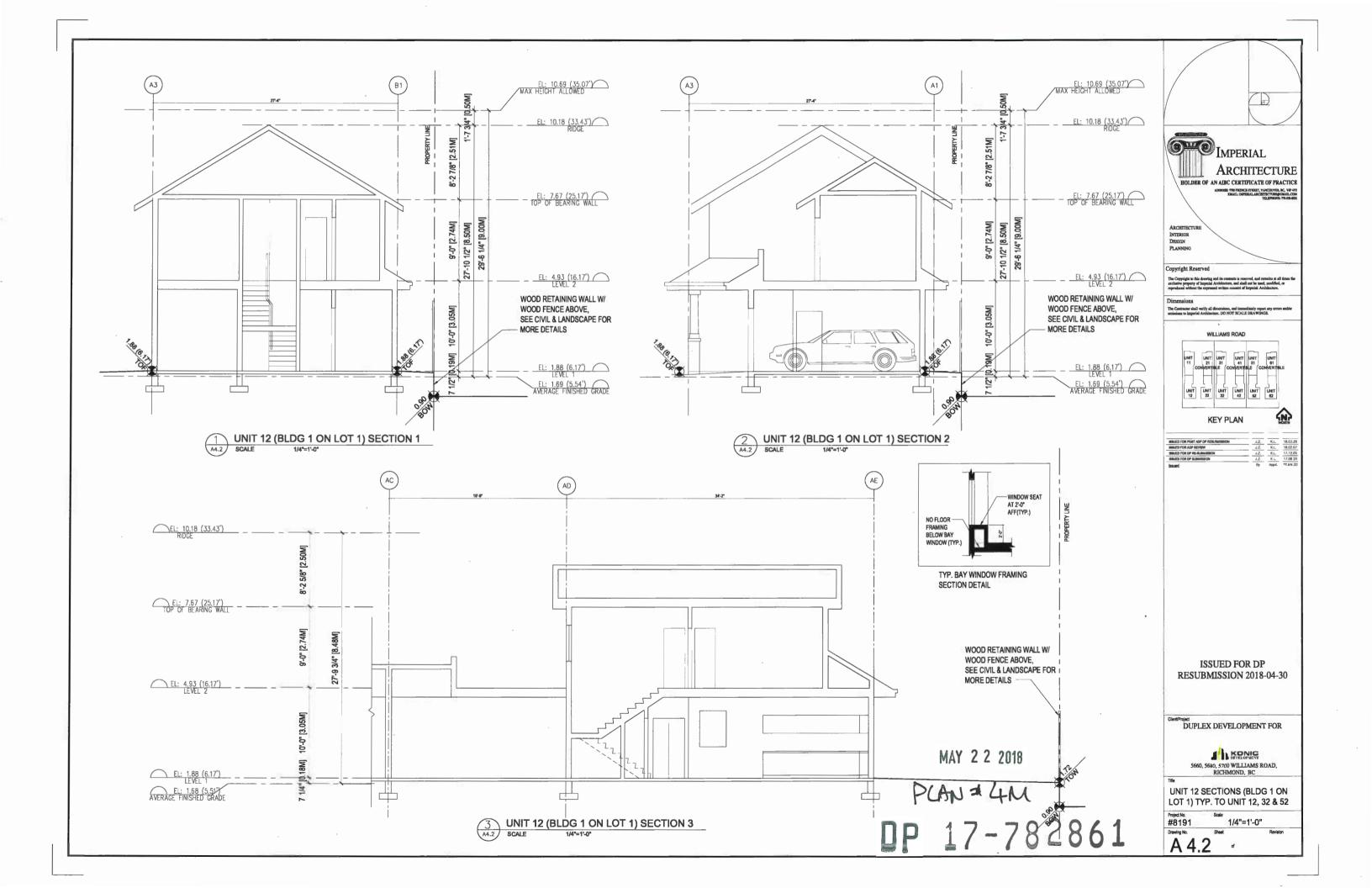
3/16"=1"-0"

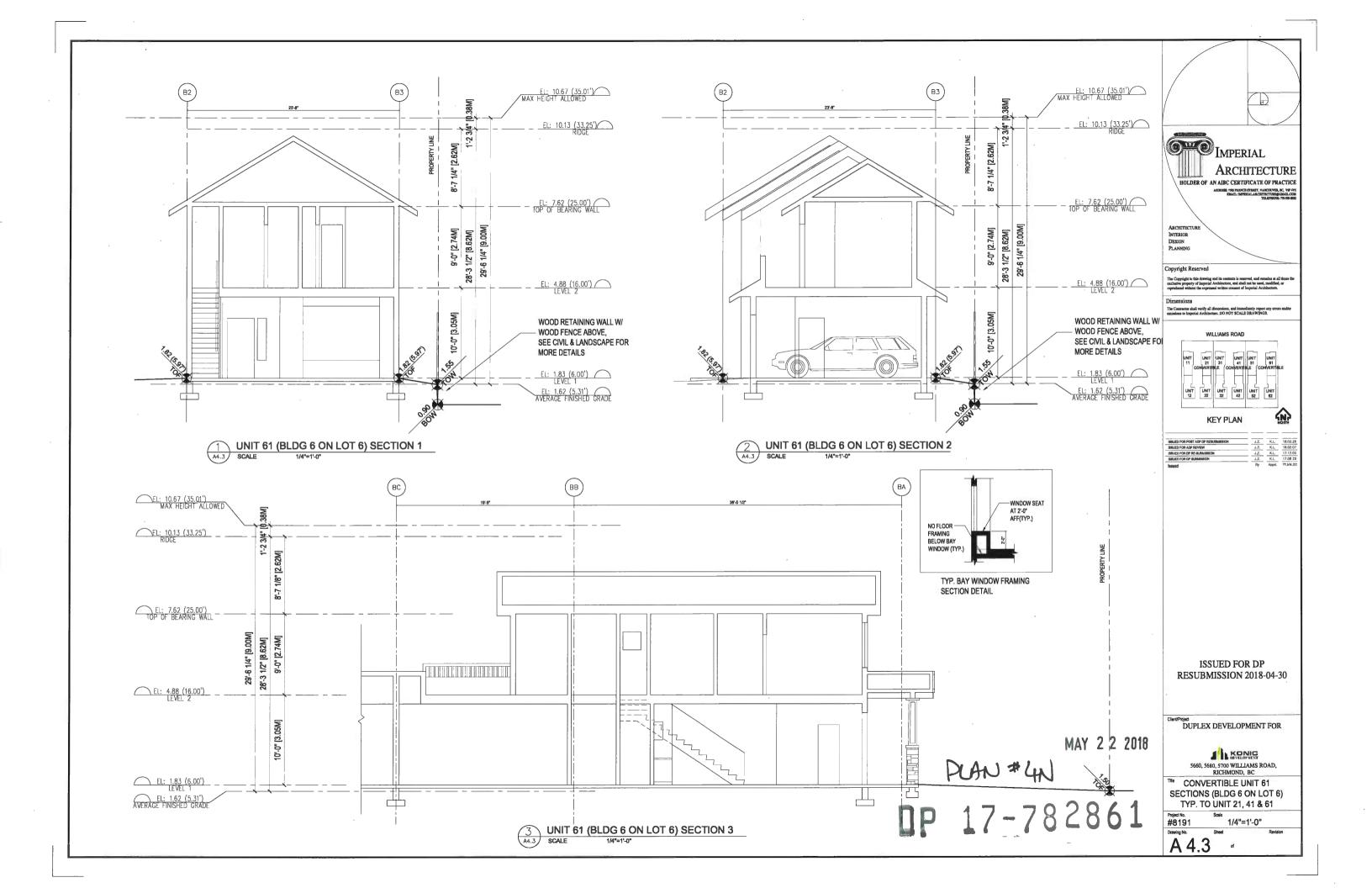
PLAN #4K

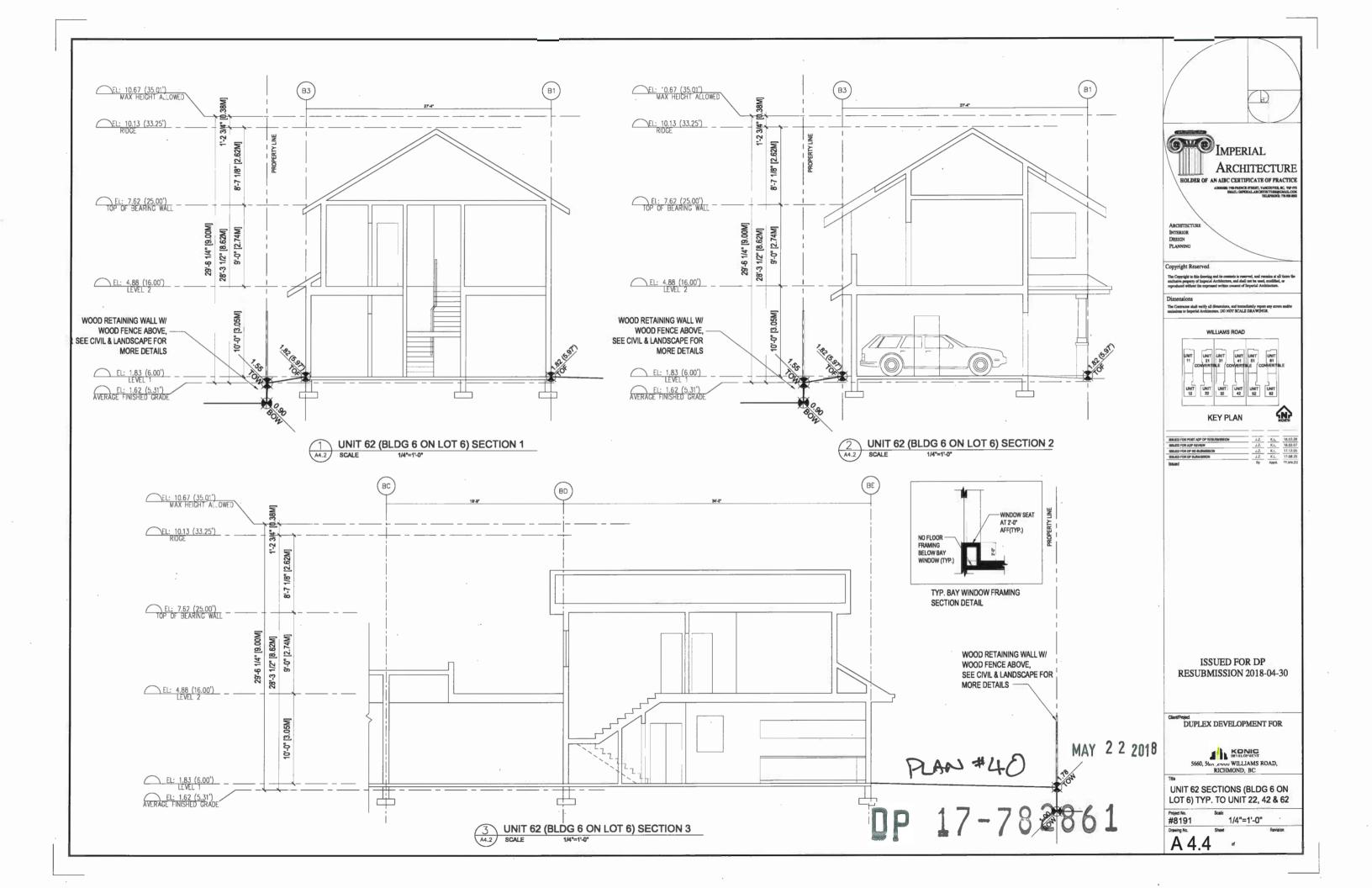
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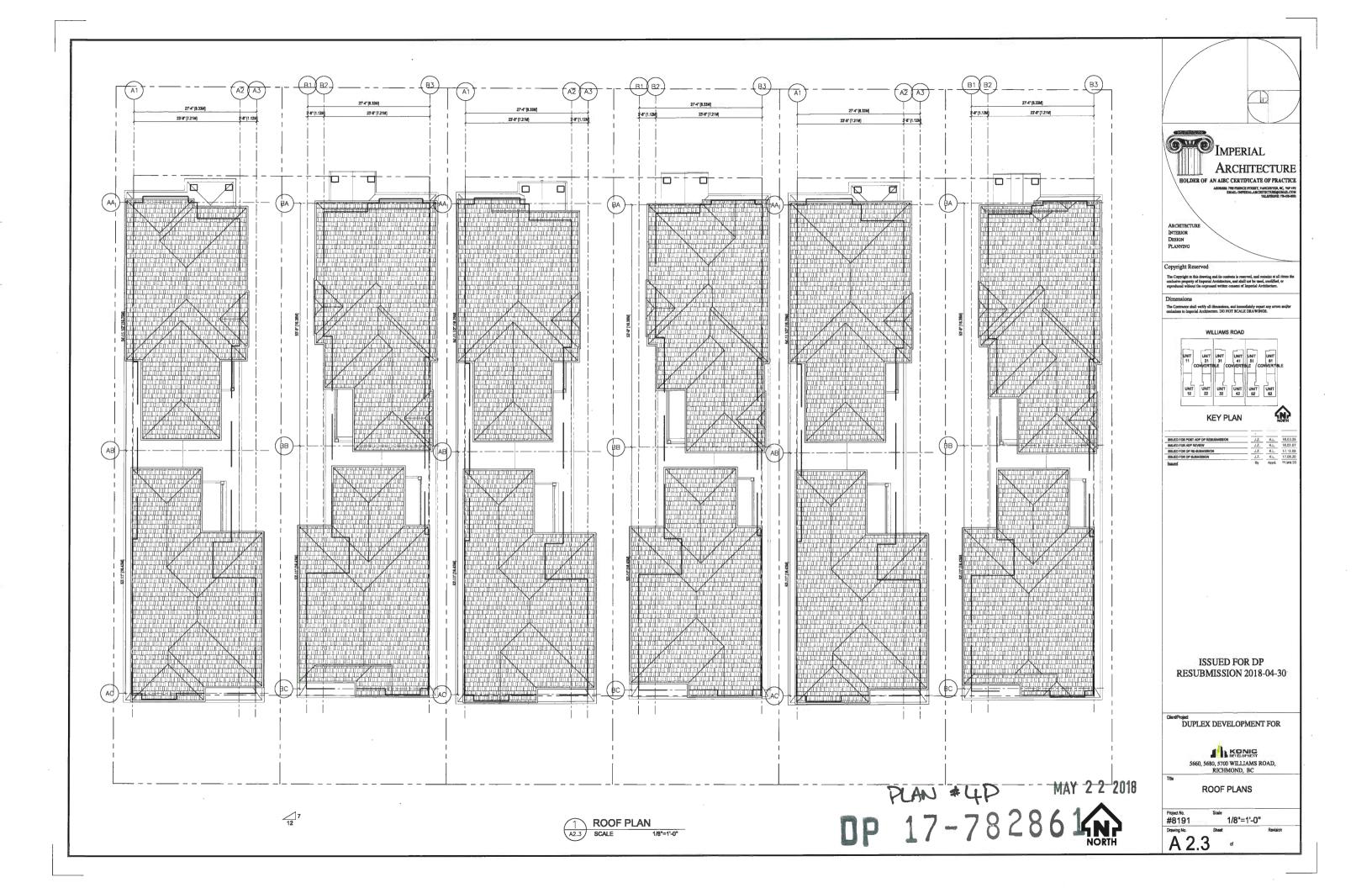


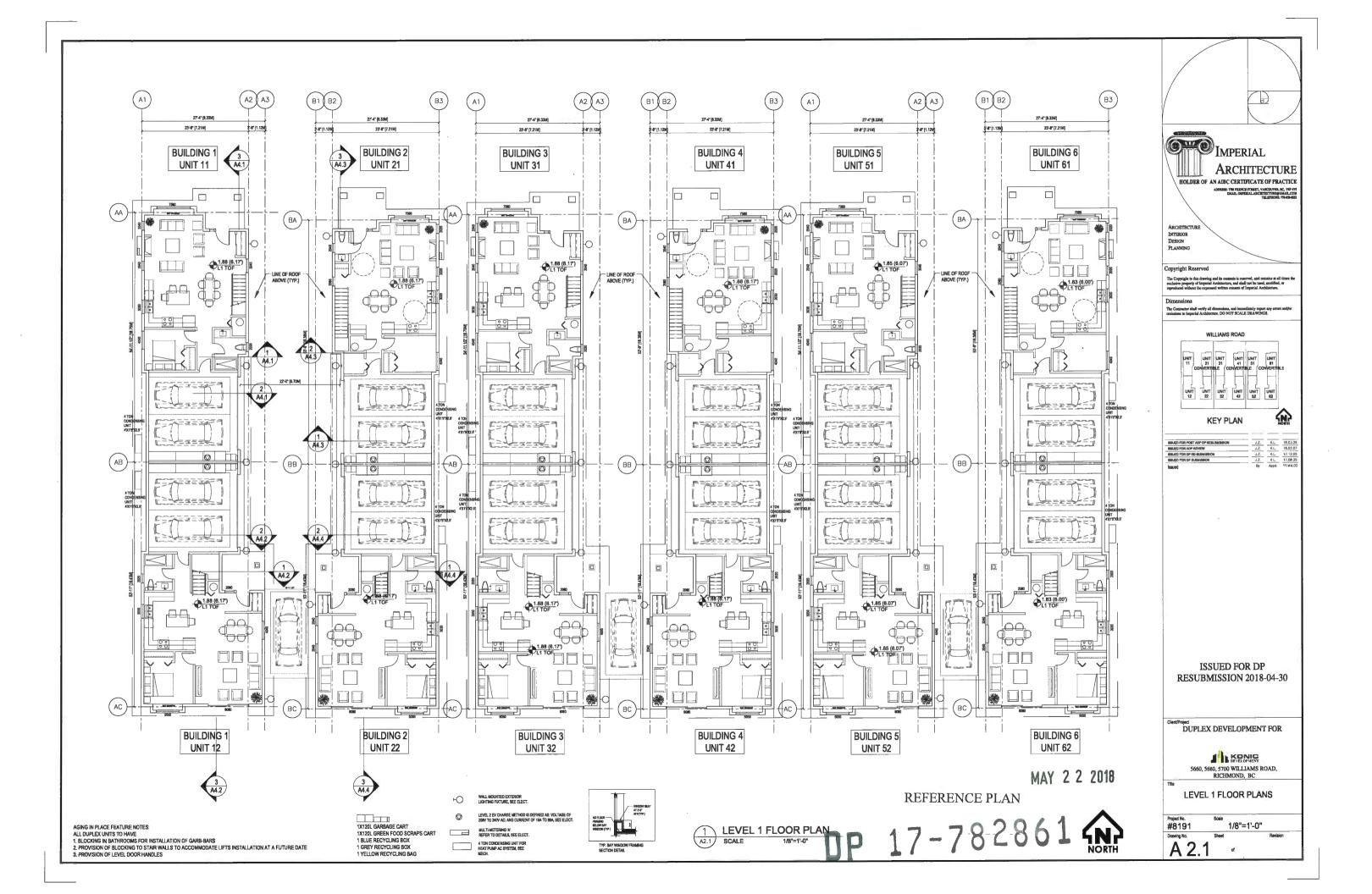


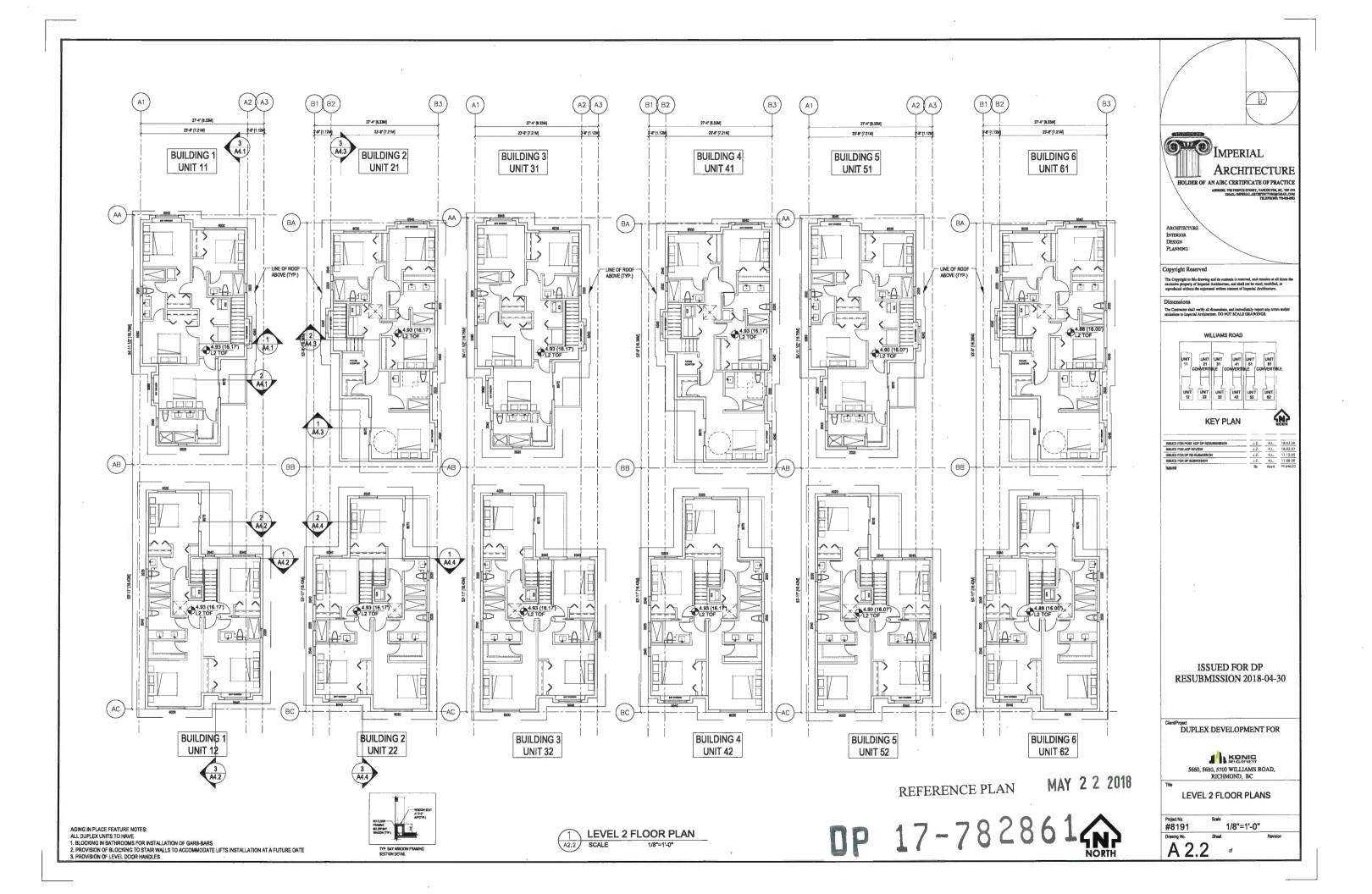


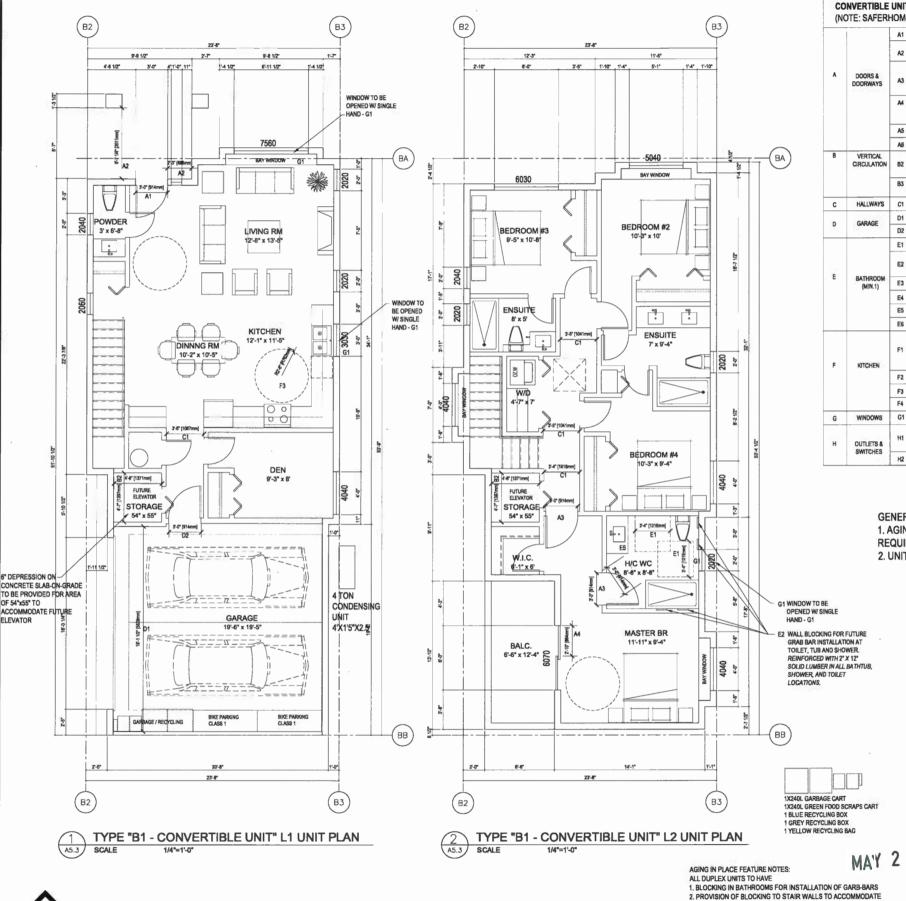












CONVERTIBLE UNIT GUIDELINES (NOTE: SAFERHOME CRITERIA PROPOSED FOR INCLUSION ARE SHOWN IN BOLD ITALICS) ENTRY DOORS ARE A MINIMUM ARS MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER). INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND / OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS. PATIO / BALCONY MIN, 860 MM CLEAR OPENING. SMALL REMOVABLE WOOD RAMP WILL BE USED TO ADAPT 2" HEIGHT DIFFERENCE BETWEEN FINISHED SURFACES WHEN THE UNIT IS CONVERTED TO ACCESSIBLE UNIT (I.E. WHEN THE ELEVATOR IS INSTALLED) ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE. LEVER-TYPE HANDLES FOR ALL DOORS VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE. AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE MIN. 900 MM WIDTH D1 MIN 1 ACCESSIBLE PARKING SPACE WITH MIN 4 M GARAGE WIDTH D2 ACCESS FROM GARAGE TO LIVING AREA MIN, 800 MM CLEAR OPENING TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS. E3 LEVER-TYPE HANDLES FOR PLUMBING FIXTURES. PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS. E5 CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT) CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL CABINETS UNDERNEATH SINK ARE EASILY REMOVED. F2 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM LEVER-TYPE HANDLES FOR PLUMBING FIXTURES. MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN LIVING ROOM)

GENERAL NOTES:

1. AGING-IN-PLACE FEATURES (AS LISTED IN THE OCP) ARE REQUIRED TO BE INCORPORATED INTO ALL UNITS.

2. UNIT 101 IS THE DESIGNATED CONVERTIBLE UNIT.

REQUIREMENTS APPLIED TO ENTIRE A1 CONVERTIBLE UNIT DESIGN

PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE SWITCHES POLICE, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.

UPGRADE TO FOUR-PLEX OUTLETS ILL MASTER BEDROOM, HOME OFFICE, GARAGE AND RECREATION ROOM.

A5 ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.

AS LEVER-TYPE HANDLES FOR ALL DOORS.

B3 AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER

PLUMBING REQUIREMENTS APPLIED TO ENTIRE A1 CONVERTIBLE UNIT DESIGN

E3 LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.

E4 PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.

E5 CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.

F1 CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.

F2 CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.

F4 LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.

ELECTRICAL REQUIREMENTS APPLIED TO ENTIRE A1 CONVERTIBLE UNIT DESIGN

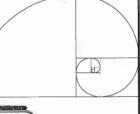
H1 PLACEMENT LOCATIONS OF ELECTRICAL DUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE SWITCHES TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE).ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE

H2 UPGRADE TO FOUR-PLEX OUTLETS ILL MASTER BEDROOM, HOME OFFICE, GARAGE AND

BAY WINDOW IS TYPICALLY 1'-6" AFF AND DOES NOT RESULT PROJECTION OF FLOOR CONSTRUCTION BELOW.

3. PROVISION OF LEVEL DOOR HANDLES REFERENCE PLAN

LIFTS INSTALLATION AT A FUTURE DATE





ARCHITECTUR

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ISSUED FOR DP **RESUBMISSION 2018-04-30**

DUPLEX DEVELOPMENT FOR

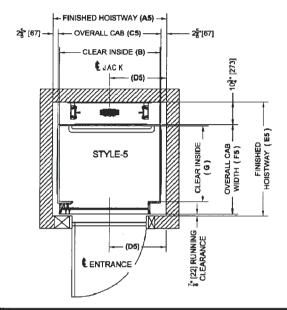


TYPE B1 (CONVERTIBLE) UNIT PLANS - TYP. TO UNIT B1, B3, B5

1/4"=1'-0" A 5.3

Design Hot Line: 1-800-663-6556 or +1-604-594-0422

On / Off Same Side Front **Configuration Style 5:**



	Cab Size	A5	В	C5	D5	E5	F5	G	H*
Г	36" x 48"	54 ^{1/4} "	48"	49"	27 1/8"	53 7/8"	42 1/4*	36"	27 1/8"
F	96" x 54"	60 VIII	54" -	- 55"	30 1/2"	55 70"	12 */*	36"	30 ·/··"
	36" x 60"	66 1/4"	60"	61"	33 1/8"	53 7/8"	42 1/4"	36"	33 1/8"
Γ	40" x 54"	60 1/4 [#]	54"	55"	30 1/9"	57 ^{7/8} "	46 1/4"	40"	30 1/8"
Γ	42" x 60"	66 1/4"	60"	61"	33 ^{1/8} "	59 ^{7/8} "	48 1/4"	42"	33 1/8"
Г	48" x 60"	66 1/4"	60"	61"	33 1/8"	65 7/8"	54 1/4"	48"	33 1/8"

Dimensions are based on standard $1/2^{\prime\prime}$ cab wall thickness used for flat veneer and melamine finishes. Dimensions for units with aluminum/glass or panelled walls will vary slightly.

*Cab sizes are limited to 15 sq. ft. in some areas. Consult with your local Garaventa Lift representative. * H dimension is based on a 36" wide door.

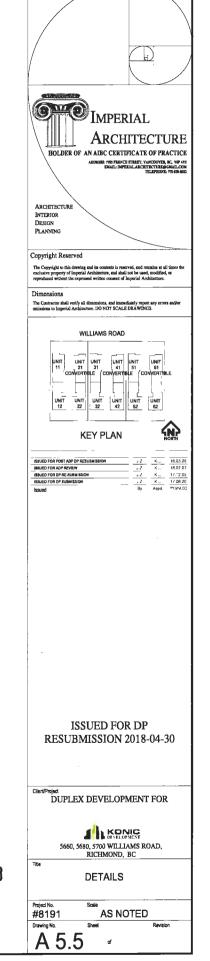
Home Elevator Design & Planning Guide 37086-3 DP

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FAX: 604 461-0525

EMAIL: INFO@GARAVENTABC.COM



REFERENCE PLAN

MAY 2 2 2018

OP 17-782861