



**City of
Richmond**

Report to Development Permit Panel

To: Development Permit Panel

Date: June 4, 2018


From: Wayne Craig
Director, Development

File: DV 17-792200

Re: Application by Asif Siddiqui for a Development Variance Permit at
7100 No. 2 Road

Staff Recommendation

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum rear yard from 6.0 m to 1.2 m for a one-storey garage to be attached to a single detached dwelling, which are proposed to be constructed at 7100 No. 2 Road on a site zoned "Compact Single Detached (RC2)".


Wayne Craig
Director, Development
(604-247-4625)

WC:cl
Att. 3

Staff Report

Origin

Asif Siddiqui has applied to the City of Richmond for permission to vary the minimum rear yard in the “Compact Single Detached (RC2)” zone of Richmond Zoning Bylaw 8500 from 6.0 m to 1.2 m for a one-storey garage off the rear lane to be attached to a single detached dwelling, which are proposed to be constructed at 7100 No. 2 Road (Attachment 1). The site is currently a vacant hooked lot, bisected by a City lane (Attachment 2).

The site was rezoned in 2016 from the “Single Detached (RS1/E)” zone to the “Compact Single Detached (RC2)” zone to permit a subdivision to create two lots (RZ 10-545413). Subdivision of the land was completed in May, 2017, resulting in the creation of 7086 No. 2 Road immediately to the north, and the subject property at 7100 No. 2 Road. Construction of a new single detached dwelling at 7086 No. 2 Road has recently been completed. This Development Variance Permit application is applicable only to the subject property at 7100 No. 2 Road.

Development Information

A Development Application Data Sheet providing details about the development proposal is attached (Attachment 3).

Surrounding Development

Development surrounding the subject site is as follows:

- To the north, there is a new two-storey dwelling recently built on a lot zoned “Compact Single Detached (RC2)” at 7086 No. 2 Road.
- To the east, immediately across the rear lane, there is an existing two-storey dwelling on a lot zoned “Single Detached (RS1/E)” at 7091 Livingstone Place.
- To the south, there are three existing 2 ½ storey dwellings on lots zoned “Compact Single Detached (RC1)” at 7108, 7120 No. 2 Road and 6011 Comstock Road.
- To the west, immediately across No. 2 Road, there is the Richmond Presbyterian Church on a lot zoned “Assembly (ASY)” at 7111 No. 2 Road.

Public Consultation

A Development Variance Permit Application sign has been installed on the subject property. Staff have not received any comments from the public about the application in response to the placement of the sign on the property.

Public notification for the Development Permit Panel meeting will be provided as per the Local Government Act and the City’s Procedure Bylaw.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on February 16, 2015. Although there were concerns expressed by some of the surrounding neighbourhood residents to the rezoning application at the subject site, only one letter of opposition was received at the Public Hearing, and no delegations were in attendance. The rezoning bylaw was granted Third Reading at the Public Hearing and subsequently approved in December, 2016.

During the rezoning process, preliminary concept plans were submitted by the applicant to illustrate how the subject lot would be developed. The preliminary plans illustrated a single detached dwelling with a two-car garage that was partially attached to the principal building.

The applicant has since submitted a Building Permit application to construct a single detached dwelling including a secondary suite with all of the required parking spaces within the garage, the design of which has triggered the requirement for this Development Variance Permit application.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Variance Permit application. The proposed scheme is consistent with applicable policies and landscape guidelines for compact lots on arterial roads identified in the Official Community Plan (OCP), and is generally in compliance with the “Compact Single Detached (RC2)” zone except for the variance noted below.

Zoning Compliance/Variiances (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum rear yard from 6.0 m to 1.2 m for a one-storey garage to be attached to a single detached dwelling, which are proposed to be constructed at 7100 No. 2 Road.

(Staff supports the proposed variance for the following reasons:

- ***The subject site is unique in that it is a hooked lot that is bisected by a City lane. This condition results in having to measure the rear yard setback from the lot line to the west of the rear lane, rather than from the ultimate rear lot line to the east of the lane. Effectively, although the rear yard setback from the lane to the proposed one-storey garage attached to the rear of the single detached dwelling is 1.2 m, the setback from the rear lot line east of the lane is approximately 18 m. This provides for substantial separation between the building on-site and the existing adjacent single-family properties to the east.***
- ***The site plan has been carefully designed to provide a sensitive condition of adjacency to the existing lot to the south. The garage is positioned on the north side of the lot, is limited to a single storey, and all portions of the two-storey single detached dwelling are set back 6.0 m from the rear lane.***

- ***The proposed dwelling at the subject site will include a secondary suite, which contributes to housing affordability for both the property owner and tenant. The variance assists with accommodating the on-site parking required for the secondary suite within the garage.***

Analysis

Conditions of Adjacency

- The proposed dwelling and attached garage off the rear lane have been designed with consideration of the existing adjacent single-family context.
- The proposed 2 ½ storey single detached dwelling complies with the required yard setbacks in the RC2 zone and has been designed with careful attention to minimize overlook to adjacent properties.
- The proposed attached garage consists of a single-storey and is positioned on the north side of the lot (along the adjacency with the dwelling the applicant has recently constructed to the north at 7086 No.2 Road), which enables a more sensitive interface to the established single-family lot to the south.
- The proposed garage is well separated from adjacent established single-family lots to the east, immediately across the rear lane (approximately 18 m).

Site Planning, Architectural Form and Character (Plans # 1, 2, 4, 4.a, 5)

- With the exception of the proposed attached garage, the siting of the proposed single-family dwelling is consistent with the “Compact Single Detached (RC2)” zone and with that of dwellings on other compact lots on arterial roads City-wide.
- The 1.2 m rear yard setback to the garage would otherwise comply with zoning if it were detached from the single-family dwelling. However, to maximize the use of the land while providing for all required parking spaces within the garage, it is proposed to be attached to the single-family dwelling.
- The proposed vehicle access to the site is via the rear lane that is being constructed through the Servicing Agreement process. The lane geometry and traffic safety were reviewed by the City’s Transportation Department at rezoning stage and present no concerns.
- Consistent with the Zoning Bylaw, on-site parking for three cars is proposed in the attached garage, with the required two spaces for the principal residents in a tandem arrangement and the required space for the secondary suite to the side.
- The street front elevation includes a one-storey front porch to define the main entry to the dwelling and bay window projections to add visual interest. Facia board is proposed on all elevations to define the first and second storeys.
- The half-storey has been carefully integrated into the pitched roof framing with side shed dormers, consistent with the Zoning Bylaw.
- The one-storey attached garage is proposed to have a flat roof so as to minimize the building mass above the ground level in the rear yard.

Landscape and Open Space Design (Plans # 3.a and 3.b)

- A Landscape Plan, prepared by a Registered Landscape Architect, has been submitted by the applicant, which addresses tree planting and landscape design.
- The proposal includes a landscaped front yard that is consistent with the guidelines for compact lots on arterial roads, as well as a small private outdoor space in the rear yard, consistent with the minimum required size and dimensions in the “Compact Single Detached (RC2)” zone.
- Soft landscaping, accounting for 42% of the lot area, is proposed in the form of lawn and planted areas containing trees and a variety of shrubs, groundcover, ornamental grasses, and flowering plants, in both the front and rear yards, including areas abutting both the west and east sides of the rear lane.
- The proposed location of a water source (e.g., a hose bib) is noted on the Site Plan to enable irrigation of the proposed landscaping on the east side of the rear lane. Prior to Building and Plumbing Permit issuance, the proposed hose bib must be incorporated into the Building Permit and Plumbing Permit plans.
- In order to ensure that the landscaping is installed consistent with the Landscape Plan, the applicant is required to submit a Landscaping Security in the amount of 100% of the cost estimate provided by the Landscape Architect (including all materials, installation, and a 10% contingency). The value of the cost estimate provided by the Landscape Architect is \$8,134.12. Prior to rezoning, the applicant submitted a Landscaping Security for the subject property in the amount of \$5,621.16 based on the cost estimate associated with original Landscape Plan approved at that time. With revisions to the Landscape Plan as part of this Development Variance Permit application, the cost estimate has increased such that the applicant is required to submit an additional security amount of \$2,512.96 prior to this application being forwarded to Council for issuance.

Conclusion

The applicant is seeking permission to vary the minimum rear yard in the “Compact Single Detached (RC2)” zone in Richmond Zoning Bylaw 8500 from 6.0 m to 1.2 m for a one-storey garage that is to be attached to a single detached dwelling, which are proposed to be constructed at 7100 No. 2 Road.

The variance is requested due to the lot’s unique configuration, which is bisected by a City lane, and which results in having to measure the rear yard setback from the lot line separating the west portion of the site from the lane, rather than from the ultimate rear lot line to the east of the lane.

As the proposed development meets the applicable policies and landscape guidelines for compact lots identified in the Official Community Plan (OCP), and is generally in compliance with the “Compact Single Detached (RC2)” zone with the exception of the variance requested, staff recommend that the Development Variance Permit be endorsed, and that issuance by Council be recommended.



Cynthia Lussier
Planner 1
(604-276-4108)

CL:blg

The following are to be met prior to forwarding this application to Council for approval:

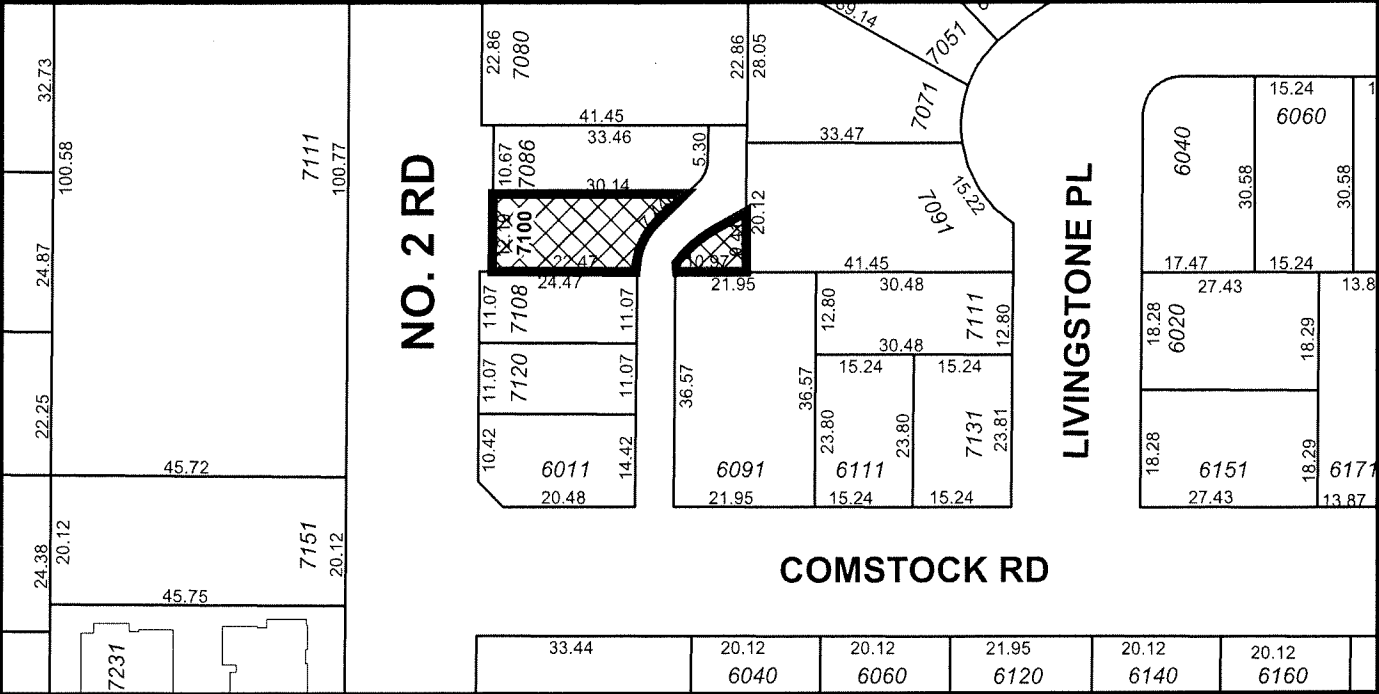
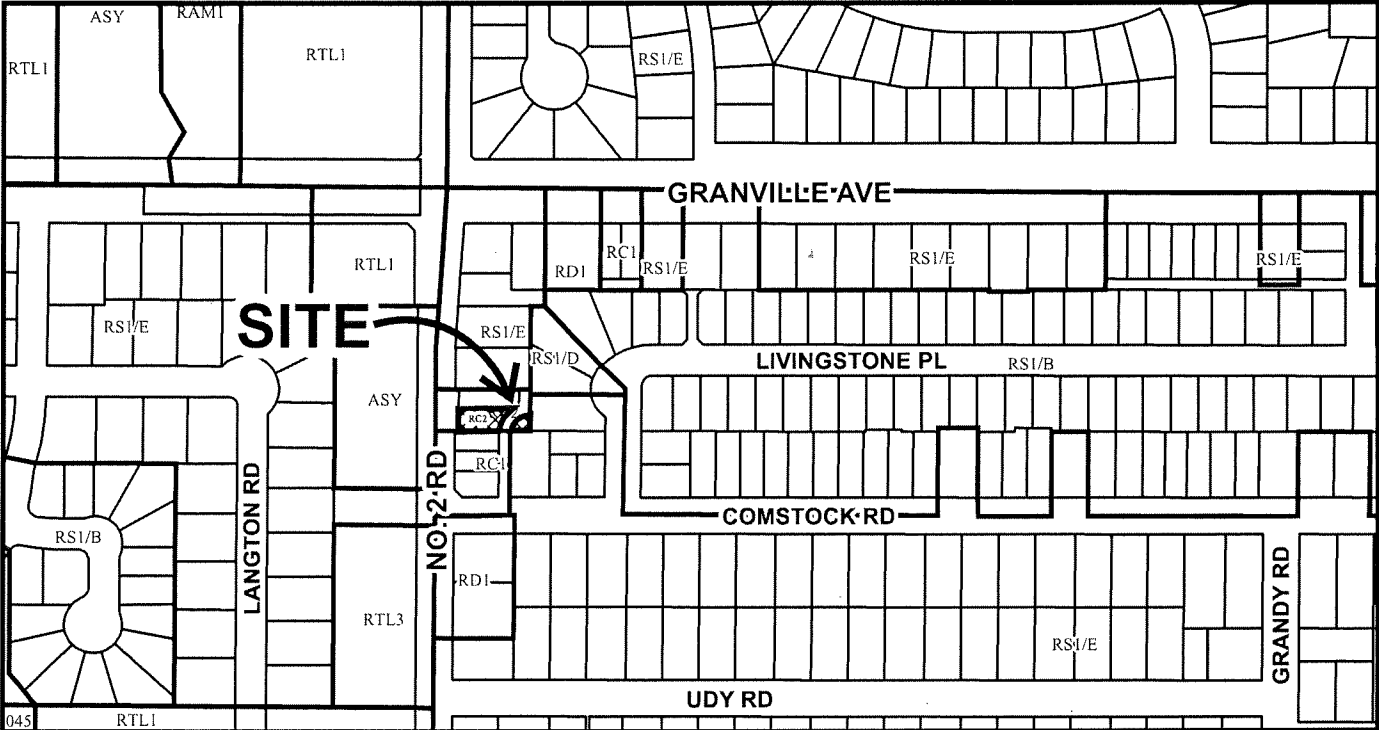
1. Receipt of an outstanding landscaping security in the amount of \$2,512.96 (which includes all materials, installation, and a 10% contingency).

Prior to future Building Permit and Plumbing Permit issuance, the applicant is required to complete the following:

- Incorporate the proposed hose bib/water source noted on the Development Variance Permit plans into the Building Permit and Plumbing Permit plans.
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submit a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).



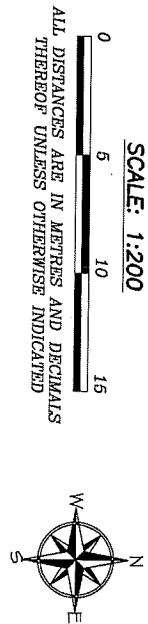
City of
Richmond



	<h1>DV 17-792200</h1>	<p>Original Date: 12/06/17</p> <p>Revision Date:</p> <p>Note: Dimensions are in METRES</p>
--	-----------------------	--

**TOPOGRAPHIC SURVEY OF LOT 2
SECTION 18 BLOCK 4 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTRICT PLAN EPP58050**

#7100 No. 2 ROAD,
RICHMOND, B.C.
P.L.D. 030-124-247



LEGEND:

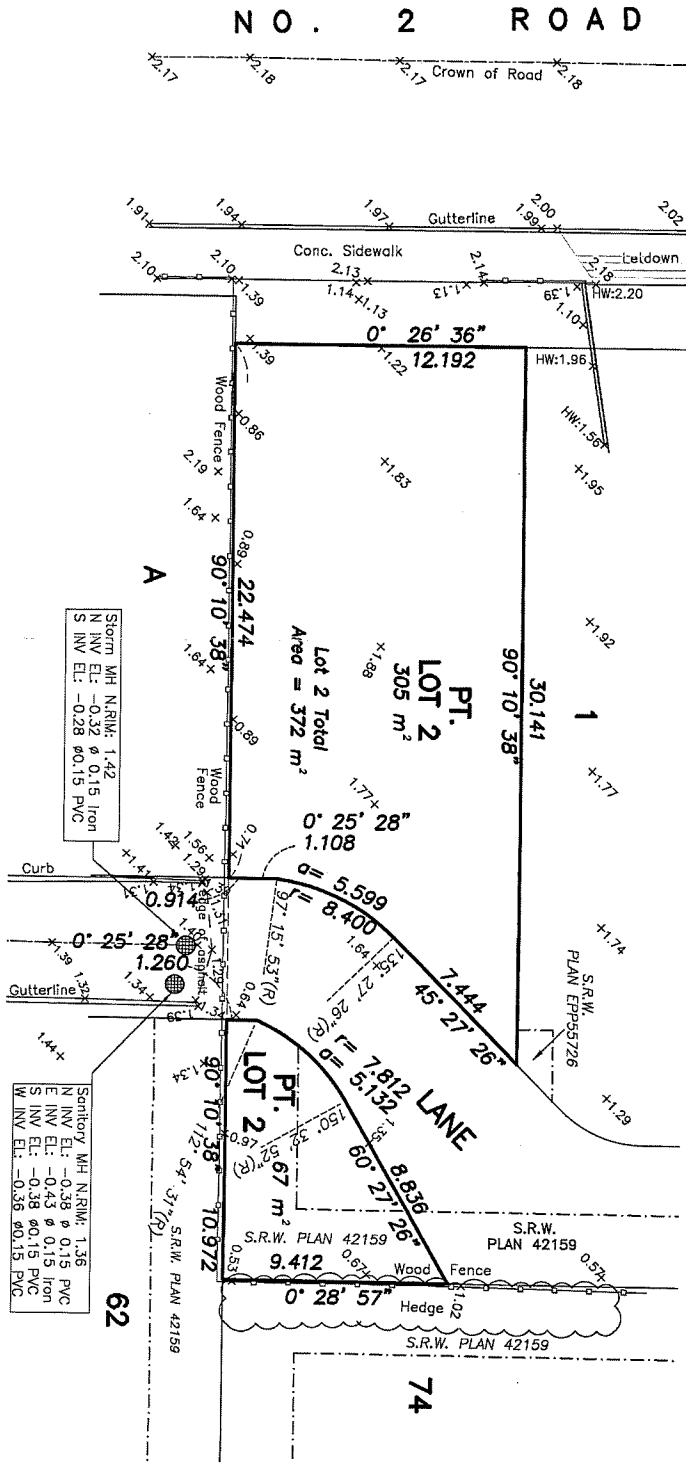
- (C) denotes center
- (D) denotes deciduous
- denotes round catch basin
- denotes manhole
- HW denotes headwall

NOTE:
Elevations shown are based on City of Richmond HPN Benchmark network.
Benchmark: HPN #202
Control Monument 77H4623
Elevation: 1.452m

© copyright

J. C. Tam and Associates
Canada and B.C. Land Surveyor
115 - 8833 Odlin Crescent
Richmond, B.C. V6X 3Z7
Telephone: 214-8928
Fax: 214-8929
E-mail: office@jctam.com
Website: www.jctam.com
Job No. 4033
FB-156 P93-97
Drawn By: IO

DWG No. 4033-Topo Lot 2



CERTIFIED CORRECT:
LOT DIMENSION ACCORDING TO
FIELD SURVEY.

John C. Tam
JOHNSON C. TAM, B.C.L.S.
MAY 30th, 2017.



DV 17-792200

Attachment 3

Address: 7100 No. 2 Road

Applicant: Asif Siddiqui

Owner: Asif Mohammad Siddiqui

Planning Area(s): Blundell

	Existing	Proposed
Site Area:	372 m ² (West portion – 305 m ² ; East portion – 67 m ²)	No change
Land Uses:	Vacant Lot	Single detached dwelling, with a secondary suite and an attached garage
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Compact Single Detached (RC2)	No change

	Bylaw Requirement	Proposed	Variance								
Floor Area Ratio:	0.60	0.60	None permitted								
Floor Area:	223.20 m ²	223.05 m ²	None								
Lot Coverage - Buildings:	Max. 50%	39.29%	None								
Lot Coverage – Buildings, Structures, & Non-Porous Surfaces:	Max. 70%	58%	None								
Lot Coverage – Live Plant Material:	Min. 20 %	42%	None								
Setback – Front Yard:	Min. 6.0 m	6.36 m	None								
Setback – Side Yard:	Min. 1.2 m	1.2 m	None								
Setback – Rear Yard:	<table border="1"> <tr> <td>Single detached dwelling & attached garage</td> <td>Min. 6.0 m</td> </tr> <tr> <td>Detached garage</td> <td>Min. 1.2 m</td> </tr> </table>	Single detached dwelling & attached garage	Min. 6.0 m	Detached garage	Min. 1.2 m	<table border="1"> <tr> <td>Single detached dwelling & attached garage</td> <td>1.2 m</td> </tr> </table>	Single detached dwelling & attached garage	1.2 m	To reduce the rear yard setback from 6.0 m to 1.2 m for a one-storey garage attached to a single detached dwelling		
Single detached dwelling & attached garage	Min. 6.0 m										
Detached garage	Min. 1.2 m										
Single detached dwelling & attached garage	1.2 m										
Height (m):	2 ½ storeys and Max. 9.0 m	2 ½ storeys and 9.0 m	None								
Lot Size:	270 m ²	372 m ² (West portion – 305 m ² ; East portion – 67 m ²)	None								
On-site Parking Spaces:	<table border="1"> <tr> <td>Single detached dwelling</td> <td>2 spaces</td> </tr> <tr> <td>Secondary Suite</td> <td>1 space</td> </tr> </table>	Single detached dwelling	2 spaces	Secondary Suite	1 space	<table border="1"> <tr> <td>Single detached dwelling</td> <td>2 spaces</td> </tr> <tr> <td>Secondary Suite</td> <td>1 space</td> </tr> </table>	Single detached dwelling	2 spaces	Secondary Suite	1 space	None
Single detached dwelling	2 spaces										
Secondary Suite	1 space										
Single detached dwelling	2 spaces										
Secondary Suite	1 space										
Tandem Parking Spaces	Permitted for the required on-site parking spaces for the single detached dwelling	2 Spaces	None								
Private Outdoor Space:	Min. 20 m ² Min. Width 3.0 m Min. Depth 3.0 m	20.09 m ² Width 4.1 m Depth 4.9 m	None								



No. DV 17-792200

To the Holder: ASIF SIDDIQUI
Property Address: 7100 NO. 2 ROAD
Address: C/O 106 - 8060 JONES ROAD
RICHMOND, BC V6Y 4K5

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied as follows:
 - a) That the minimum rear yard be reduced from 6.0 m to 1.2 m for a one-storey garage to be attached to a single detached dwelling, which are proposed to be constructed on-site.
4. The land described herein, and any buildings, structures, and other development thereon, shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof (Plans # 1 to # 5).
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$2,512.96 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

Development Variance Permit

No. DV 17-792200

To the Holder: ASIF SIDDIQUI
Property Address: 7100 NO. 2 ROAD
Address: C/O 106 - 8060 JONES ROAD
RICHMOND, BC V6Y 4K5

AUTHORIZING RESOLUTION NO.
DAY OF

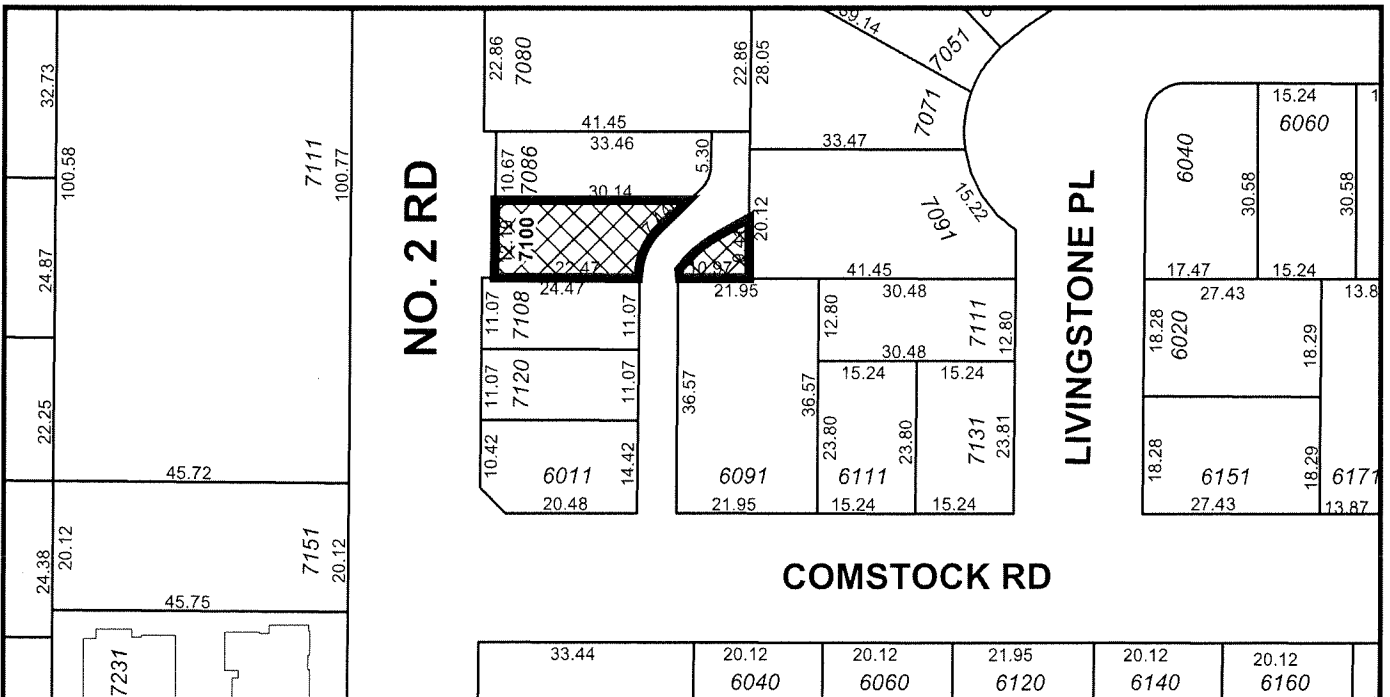
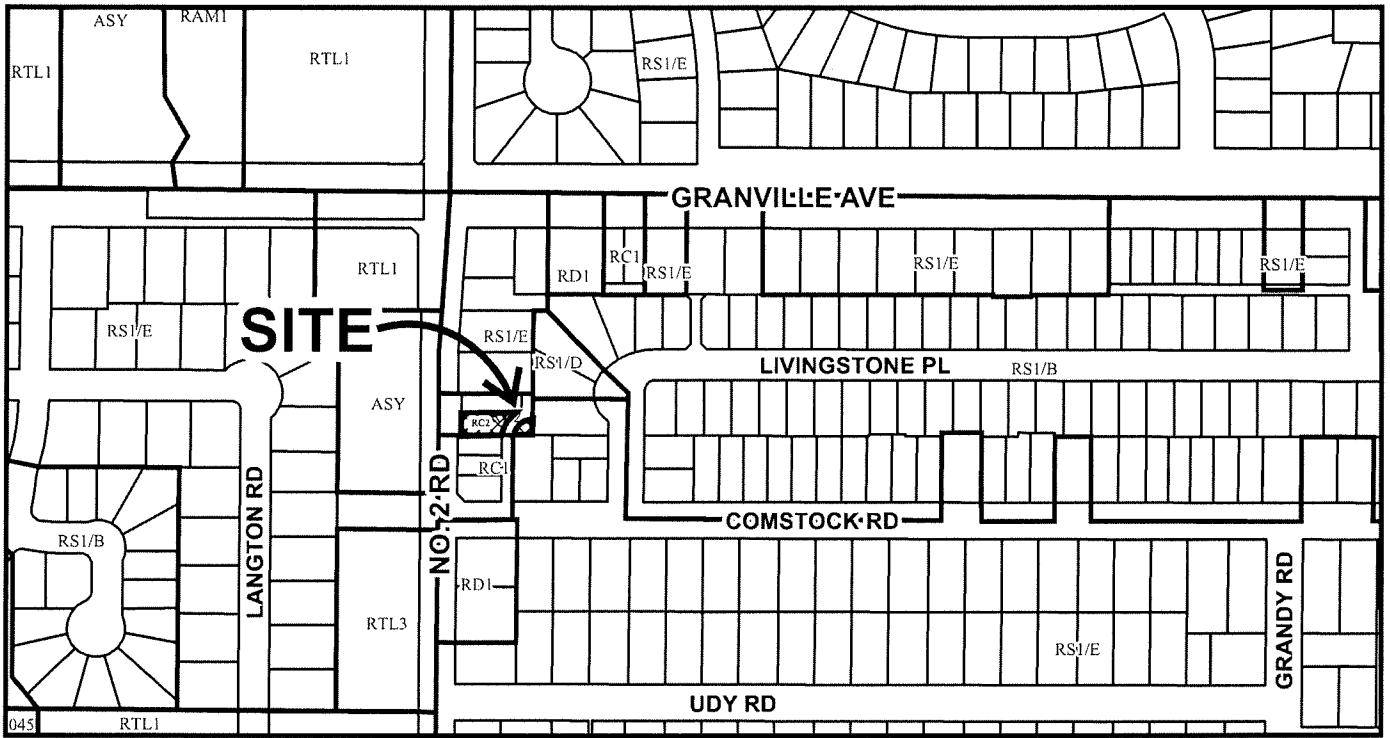
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond

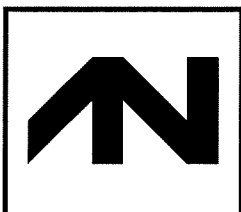
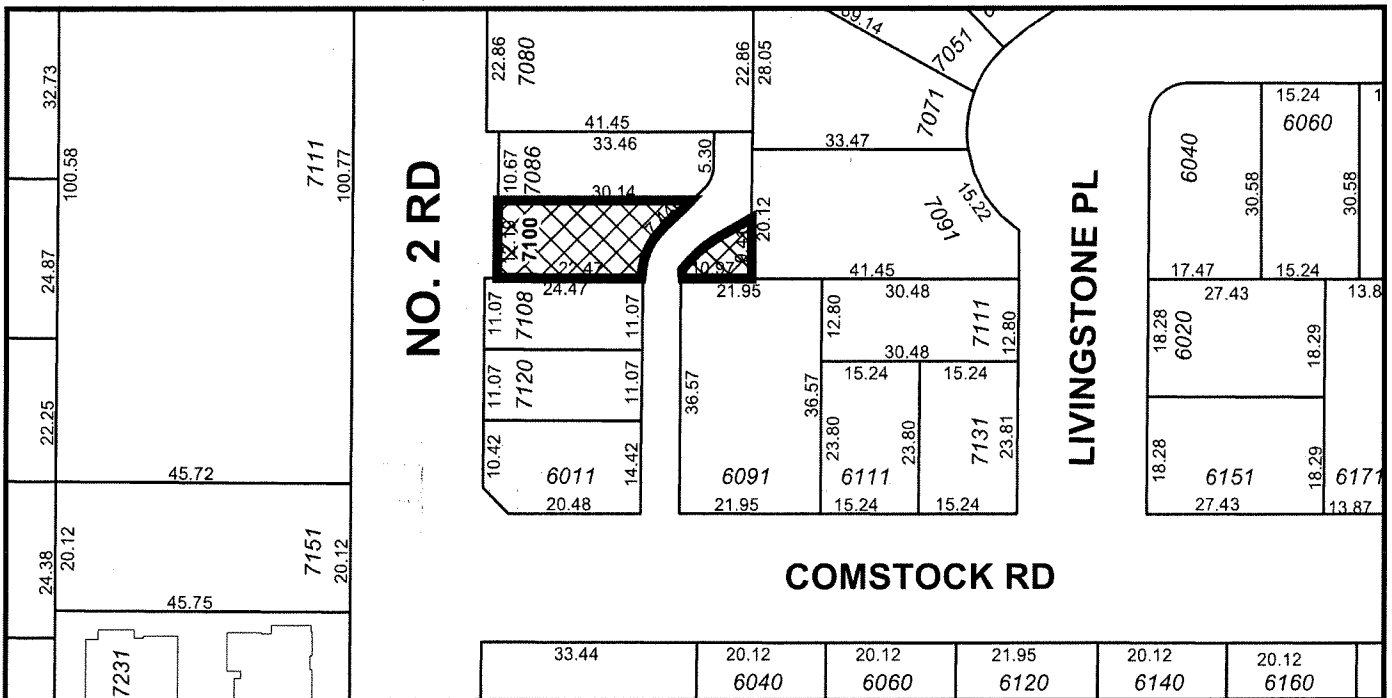
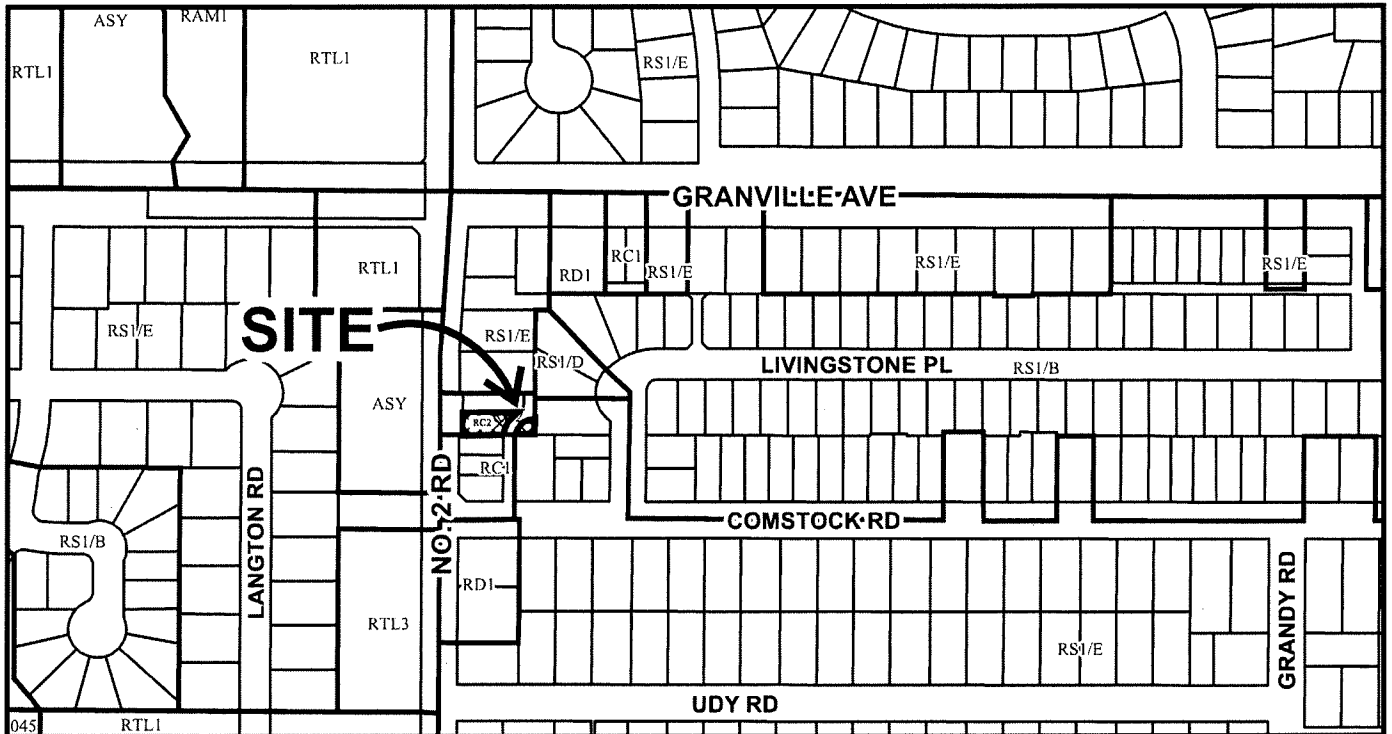


DV 17-792200
SCHEDULE "A"

Original Date: 12/06/17
 Revision Date:
 Note: Dimensions are in METRES



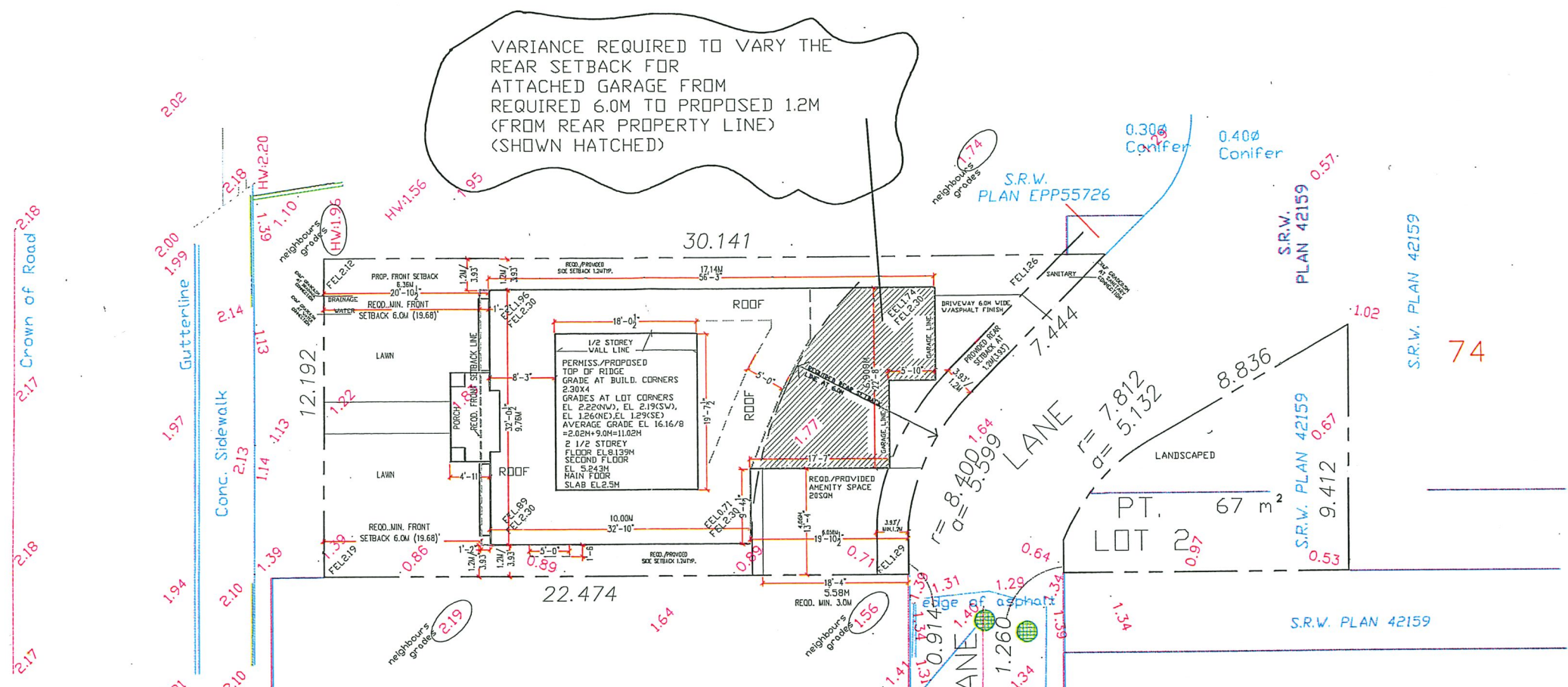
City of Richmond



DV 17-792200

Original Date: 12/06/17
 Revision Date:
 Note: Dimensions are in METRES

N O . 2 R O A D



VARIANCE REQUIRED TO VARY THE REAR SETBACK FOR ATTACHED GARAGE FROM REQUIRED 6.0M TO PROPOSED 1.2M (FROM REAR PROPERTY LINE) (SHOWN HATCHED)

LEGAL ADDRESS:
LOT #2 SECTION 18
BLOCK 4 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTT.
PLAN EPP58050

LEGAL ADDRESS:
LOT #2 SECTION 18
BLOCK 4 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTT.
PLAN EPP58050

CIVIC ADDRESS
7100 NO2 ROAD
(LOT #2)
RICHMOND, B.C.

ZONING -RC2
LOT AREA 305+67
=372SQM (4004.17SQFT)

MAX. PERMISSIBLE AREA
OF DWELLING @60% X 372=223.2SQM
(2402.5.SQFT)

DATA

PROPOSED AREA OF DWELLING:
GROUND FLOOR=971.07SQFT(90.21SQM)
2ND FLOOR=1109.32 SQFT(103.05SQM)
STOREY HALF
(UPPERMOST STOREY)=320.62SQFT(29.78SQM)

TOTAL PROPOSED=223.04SQM
(2401SQFT= 59.95% OF LOT AREA)

ACTUAL GARAGE AREA GROSS
=65.40SQM(704.05sqft)
PERMISSIBLE GARAGE (EXEMPT) AREA
=50SQM(538SQFT)

COVD. AREAS PERMISSIBLE
@10% X 223.2=22.32SQM(240.2SqFt)
PROPOSED COVD. AREAS(PORCH)
PORCH 5.1SQM(54.89sqft)

PERMISSIBLE LOT COVERAGE
@50% X 372SQM(4004.17SQFT)
=186SQM(2002.08SQFT)
PROPOSED LOT COVERAGE
(FOOTPRINT OF BUILD
INCLD. GARAGE+PORCH)
=1573.55SQFT=146.18SQM
=39.29%

REQUIRED PARKING GARAGE FOR
2 CARS FOR THE MAIN HOUSE AND
1 PARKING FOR SECONDARY SUITE
TOTAL REQUIRED =3 NOS PARKINGS
PROPOSED=3 NOS PARKING

PERMISSIBLE HEIGHT=9.0M
PROPOSED HEIGHT=9.0M

NON POROUS AREA/
LIVE PLANT MATERIAL AREA
CALCULATION(REF.LANDSCAPE PLAN)

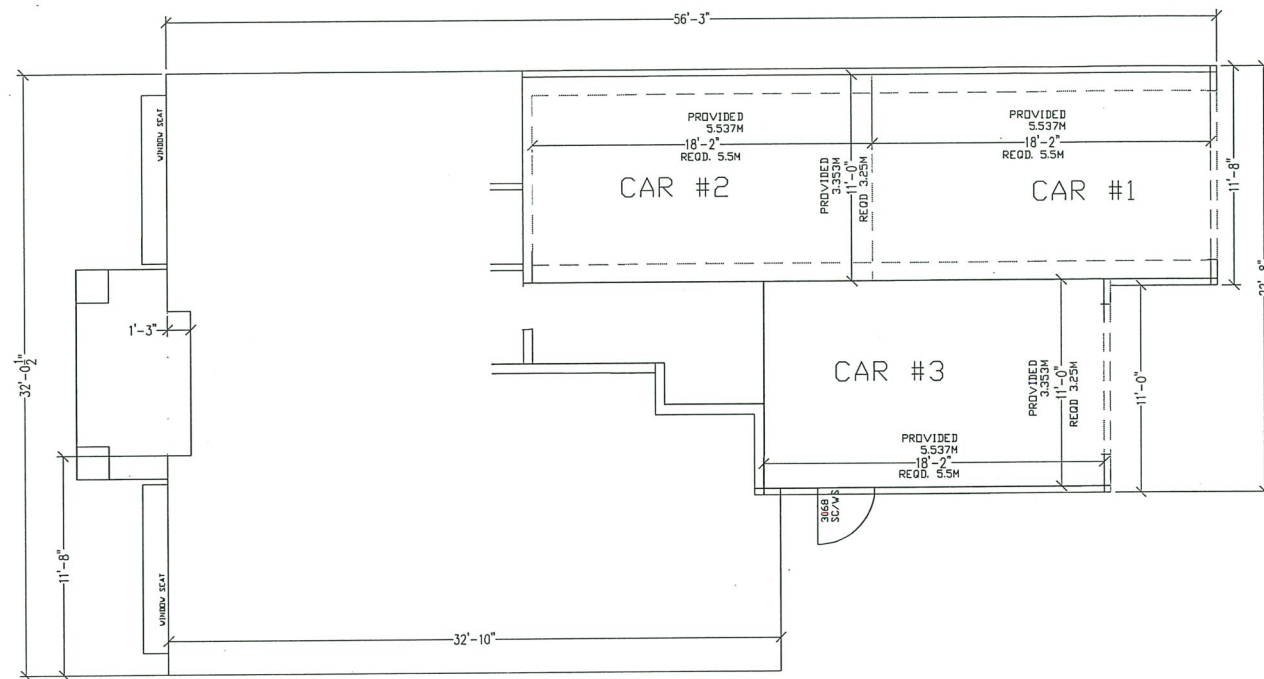
LOT AREA=372sqm(4004sqft)
a) lot coverage with
non porous surface
area =215sqm(2317sqft)
215/372=58%
b) lot coverage with live
plant material area
=157sqm (1689sqft)
157/372=42%

DV17-792200

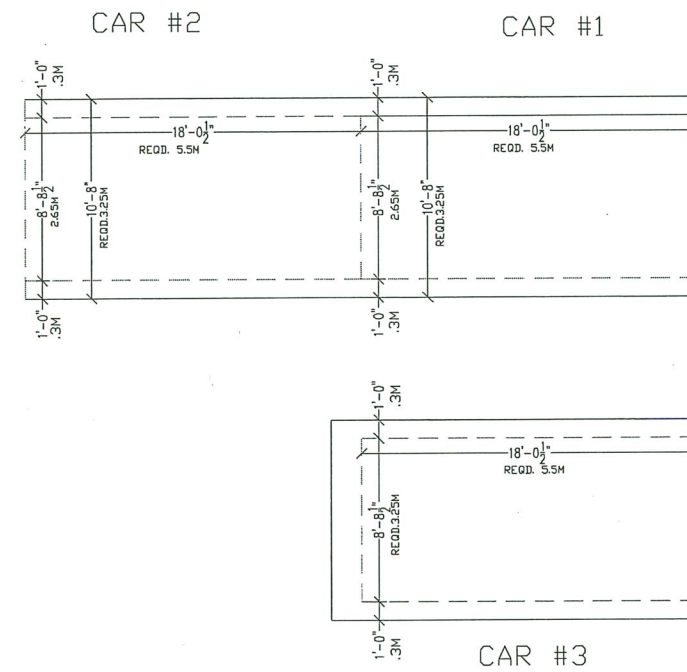
GAURI VIRDI DESIGNER T:604 261 7603 F:604 800 9214 E-MAIL: gauri@gvirdi.com
PROPOSED HOUSE ON #7100 NO2 ROAD (LOT #2) RICHMOND BC
TITLE OF DRG. SITE PLAN/DATA
PLAN #1 SCALE: 1/8"=1'0" 7TH JUNE, 2018
<small>*COPY RIGHTS* GAURI VIRDI ALL RIGHTS RESERVED* THIS PLAN IS NOT TO BE COPIED IN PART OR FULL BY ANYBODY</small>

DV 17-792200

PLAN # 1



PROPOSED GARAGE/
 PARKING PLAN CONFORMS TO
 CITY PARKING BYLAW



REQUIRED GARAGE SIZE"
 2.65M+.3+.3=3.25M WIDE & 5.5M DEEP
 PROPOSED 3.35M WIDE & 5.537M DEEP

DV17-792200

GAURI VIRDI
 T:604 261 7603
 F:604 800 9214
 E-MAIL: gauri@gvirdi.com

PROPOSED HOUSE ON
 #7100 NO2 ROAD
 (LOT #2)
 RICHMOND BC

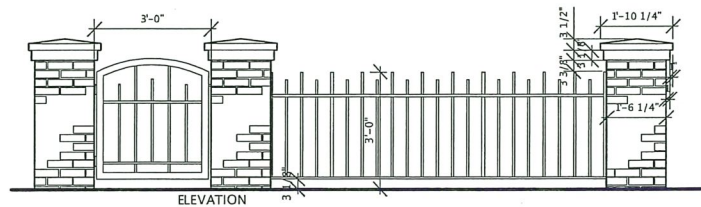
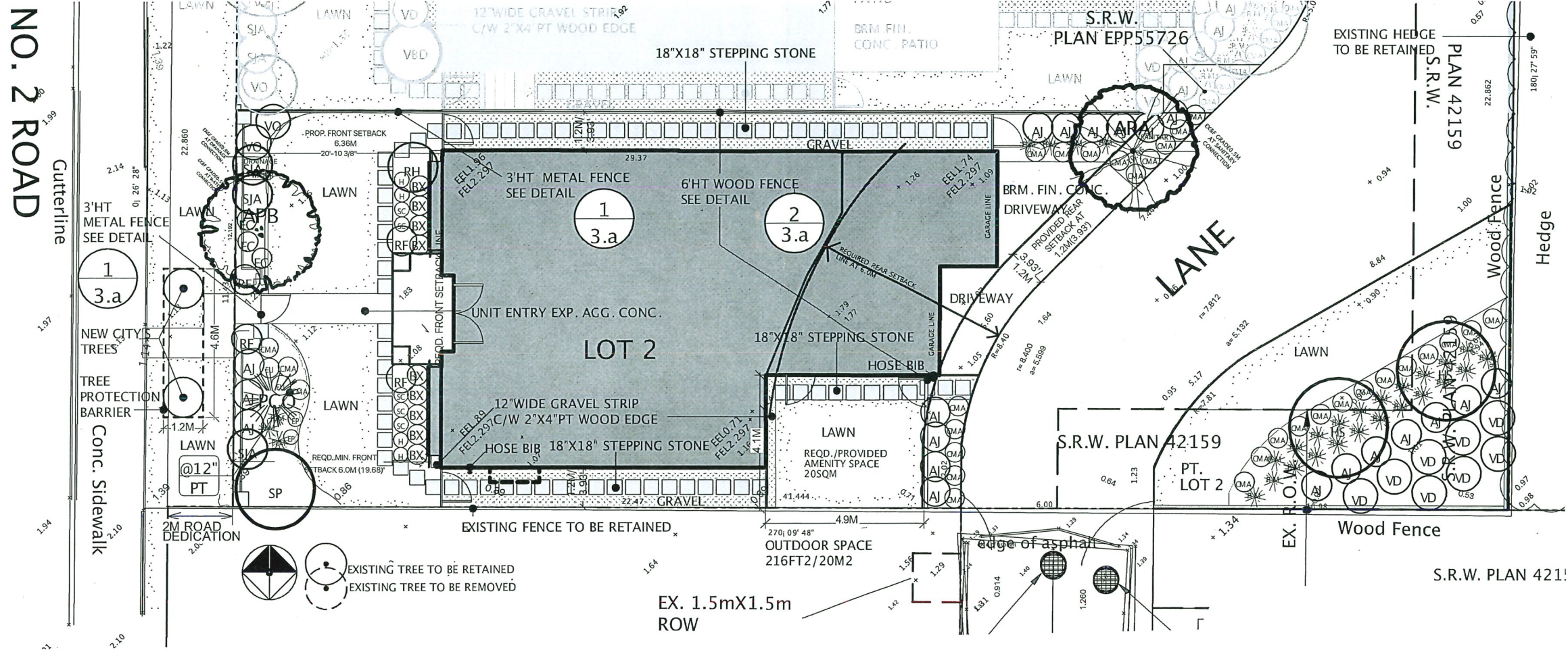
TITLE OF DRG.
 GARAGE LAYOUT/
 W/SIZES CLEARANCES

PLAN #2
 SCALE: 1/4"=1'0"
 6TH JUNE, 2018

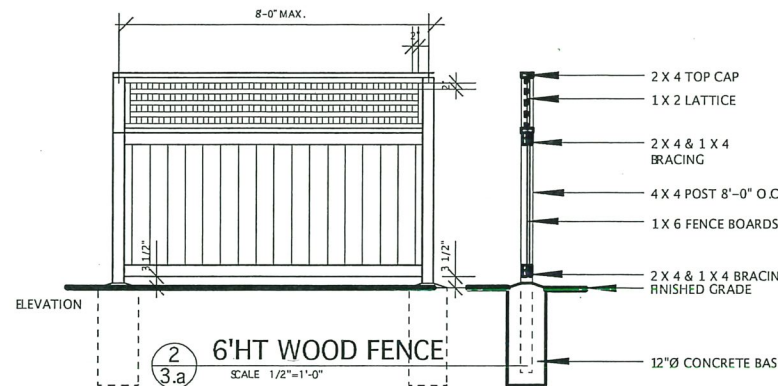
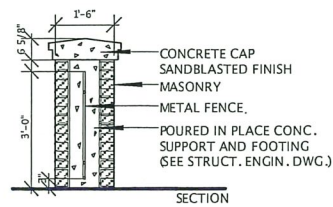
*COPY RIGHTS GAURI VIRDI
 ALL RIGHTS RESERVED
 THIS PLAN IS NOT TO BE COPIED
 IN PART OR FULL BY ANYBODY

DV 17-792200

PLAN # 2



1
3.a
METAL FENCE/POST DETAIL
SCALE 1/2"=1'-0"



2
3.a
6'HT WOOD FENCE
SCALE 1/2"=1'-0"

NOTE:

ALL WOOD SHALL BE PRESSURE TREATED FIR S4 S.

ALL WOOD SHALL BE STAINED WITH 2 COATS SOLID STAIN, COLOUR TO BE COORDINATED WITH THE BUILDING AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO APPLICATION.

ALL NAILS AND OTHER METAL COMPONENTS SHALL BE GALVANIZED.

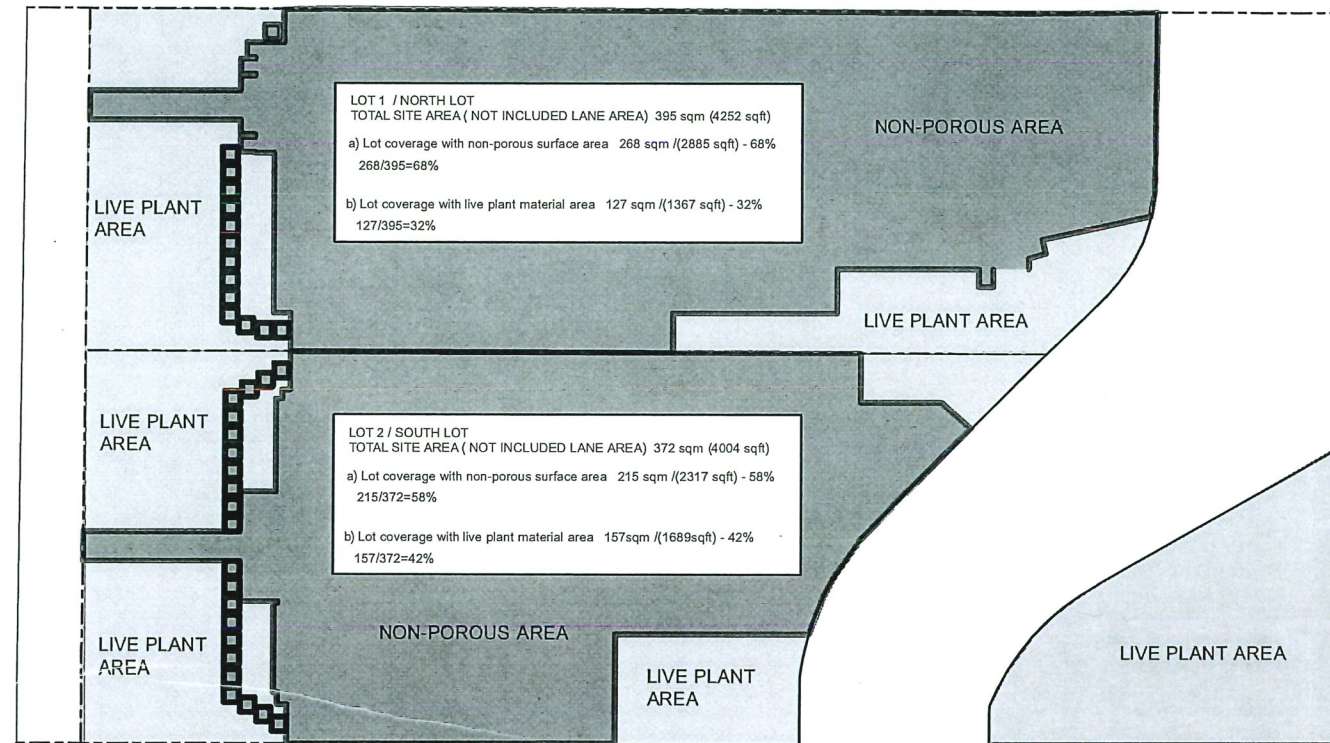
ALL GATES SHALL BE PROVIDED WITH METAL LATCH ASSEMBLIES

DESIGNED	MI	DATE	DESCRIPTION	REV	REVISIONS
		Oct 19, 2016			INCORPORATED CITY'S COMMENT ISSUED FOR REZONING
		Nov 22, 2017			BUILDING MODIFIED, PLTG AREA ADJUSTED ISSUED FOR REZONING
		Nov 12, 2015			ISSUED FOR REZONING
		Mar 22, 2016			INCORPORATED CITY'S COMMENT ISSUED FOR REZONING
		May 9, 2018			INCORPORATED CITY'S COMMENT ISSUED FOR DP
		Jun 5, 2018			INCORPORATED CITY'S COMMENT ISSUED FOR DP
		Aug 9, 2016			INCORPORATED CITY'S COMMENT ISSUED FOR REZONING

PLAN #3 LANDSCAPE PLAN		LOT 2 7100 No.2 RD. RICHMOND B.C. DV17-1792200	SCALE: 3/32"= 1'-0" JOB NO: 15L05 SHEET: 3.a
---	--	---	---

DV 17-792200

PLAN # 3.a



NON-POROUS SURFACE COVERAGE AREA/ LIVE PLANT MATERIAL COVERAGE AREA

SCALE 3/32"=1'-0"

NOTES

** DENOTES SPECIES AND VARIETY TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL MATERIALS AND EXECUTION SHALL BE IN ACCORDANCE TO THE MOST RECENT BRITISH COLUMBIA LANDSCAPE STANDARDS.

PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CNTA STANDARDS FOR NURSERY STOCK AND THE BCLNA STANDARDS FOR CONTAINER GROWN PLANTS.

ALL PLANT QUANTITY DISCREPANCIES BETWEEN PLAN AND PLANT LIST SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING BIDS.

ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER THE DATE OF SUBSTANTIAL PERFORMANCE. SUBSTANTIAL PERFORMANCE SHALL OCCUR WHEN 95% OF THE CONTRACT HAS BEEN COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

THE CONTRACTOR SHALL MAINTAIN ACCORDANCE TO THE LANDSCAPE STANDARDS UNTIL THE WORK IS TURNED OVER TO THE OWNER.

PLANT LIST

PROJECT ADDRESS LOT 2 7100 NO.2 RD. RICHMOND(DV 17-792200)

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
APB	1	ACER PALMATUM BLOODGOOD	BLOODGOOD JAPANESE MAPLE	6.0cm Cal. B&B
ARA	1	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG MAPLE	11.0cm CAL. B&B 1.8m STD.
PCO	1	PICEA OMORIKA	SERBIAN SPRUCE	4.0m HT. B&B
SHRUBS				
AJ	20	AZALEA JAPONICA **	JAPANESE AZALEA	#2 POT
BX	9	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#2 POT
EC	3	ERICA CARNEA	WINTER HEATHER	#2 POT
HS	2	HIBISCUS SYRIACUS 'BLUE BIRD'	ROSE OF SHARON	#5 POT
RH	1	RHODODENDRON **	RHODODENDRON	#5 POT
RF	4	ROSA FLOWER CARPET	FLOWER CARPET ROSE	#1 POT
SJA	3	SPIRAEA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIRAEA	#2 POT
SP	1	SYRINGA PATULA	KOREAN LILAC	#5 POT
VO	2	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#2 POT
VD	8	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#2 POT
GROUND COVERS				
PT	45	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#SP3 POT
PERENNIALS/ANNUALS/FERNS/GRASSES/AQUATIC PLANTS				
CMA	30	CAREX MORROWII 'AUREO-VARIEGATA'	CAREX	#1 POT
EP	2	ECHINACEA PURPUREA	PURPLE CONE FLOWER	#1 POT
EU	2	EUPHOBIA	EUPHOBIA	#1 POT
H	4	HEUCHERA PALACE PURPLE	PALACE PURPLE CORAL BELLS	#1 POT
PLM	29	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT
SC	5	SEDUM STONECROP	AUTUMN JOY SEDUM	#1 POT

EXISTING TREE REPLACEMENT RATIONAL

LOT 1 & 2 7100 NO.2 RD. RICHMOND (DV 17-792200)

EXISTING TREE TO BE REMOVED	QTY	SIZE	REQUIRED QTY OF REPLACEMENT TREES	PROPOSED TREES	BALANCE
30~40CM	1	8CM CAL./4M HT.	2	2(C)0(D)	0
60CM~	1	11CM CAL./6M HT.	2	0(C)2(D)	0

DESIGNED	MI	DATE	REVISIONS DESCRIPTION	REV	DATE	REVISIONS DESCRIPTION	REV	DATE	REVISIONS DESCRIPTION	REV	DATE	REVISIONS DESCRIPTION	REV	DATE	REVISIONS DESCRIPTION	REV	DATE	REVISIONS DESCRIPTION	REV	
		Oct 19, 2016	INCORPORATED CITY'S COMMENT ISSUED FOR REZONING																	
		Nov 22, 2017	BUILDING MODIFIED, PLTG AREA ADJUSTED ISSUED FOR REZONING																	
		Nov 12, 2015	ISSUED FOR REZONING																	
		Mar 22, 2016	INCORPORATED CITY'S COMMENT ISSUED FOR REZONING																	
		Aug 9, 2016	INCORPORATED CITY'S COMMENT ISSUED FOR REZONING																	
		Mar 26, 2018	INCORPORATED CITY'S COMMENT ISSUED FOR DP																	
		May 9, 2018	INCORPORATED CITY'S COMMENT ISSUED FOR DP																	
		Jun 5, 2018	INCORPORATED CITY'S COMMENT ISSUED FOR DP																	

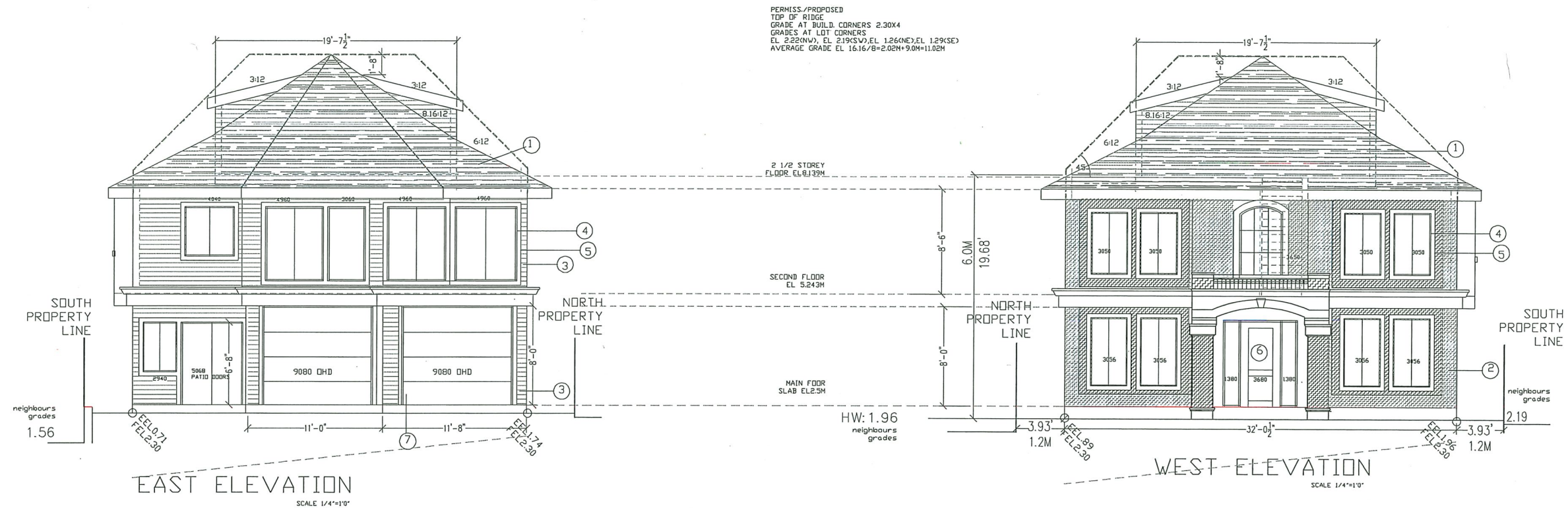
PLAN #3
PLANT LIST



PROJECT
LOT 2
 7100 No.2 RD. RICHMOND B.C.
 DV17-1792200

SCALE: 3/32"= 1'-0"
 JOB NO.: 15L05
 SHEET: **3.b**

DV 17-792200 PLAN # 3.b



MATERIALS LEGEND:/COLOUR

- 1 ASPHALT SHINGLES -(BLACK)
- 2 CULTURED/LIMESTONE-(GREY)
- 3 SIDING HARDIE PLANK/-(GREY)
BOARD 8" EXPOSURE
- 4 VYNIL WINDOWS
FRONT -(BLACK),SIDES AND REAR -(WHITE)
- 5 1"X6" WOOD TRIMS PAINTED-(BLACK & GREY)
- 6 SOLID/FIBRE GLASS
ALL EXTERIOR DOORS -(GREY)
- 7 GARAGE DOORS-(GREY)

DV17-792200

GAURI VIRDI

DESIGNER
T:604 261 7603
F:604 800 9214
E-MAIL: gauri@gvirdi.com

PROPOSED HOUSE ON
#7100 NO2 ROAD
(LOT #2)
RICHMOND BC

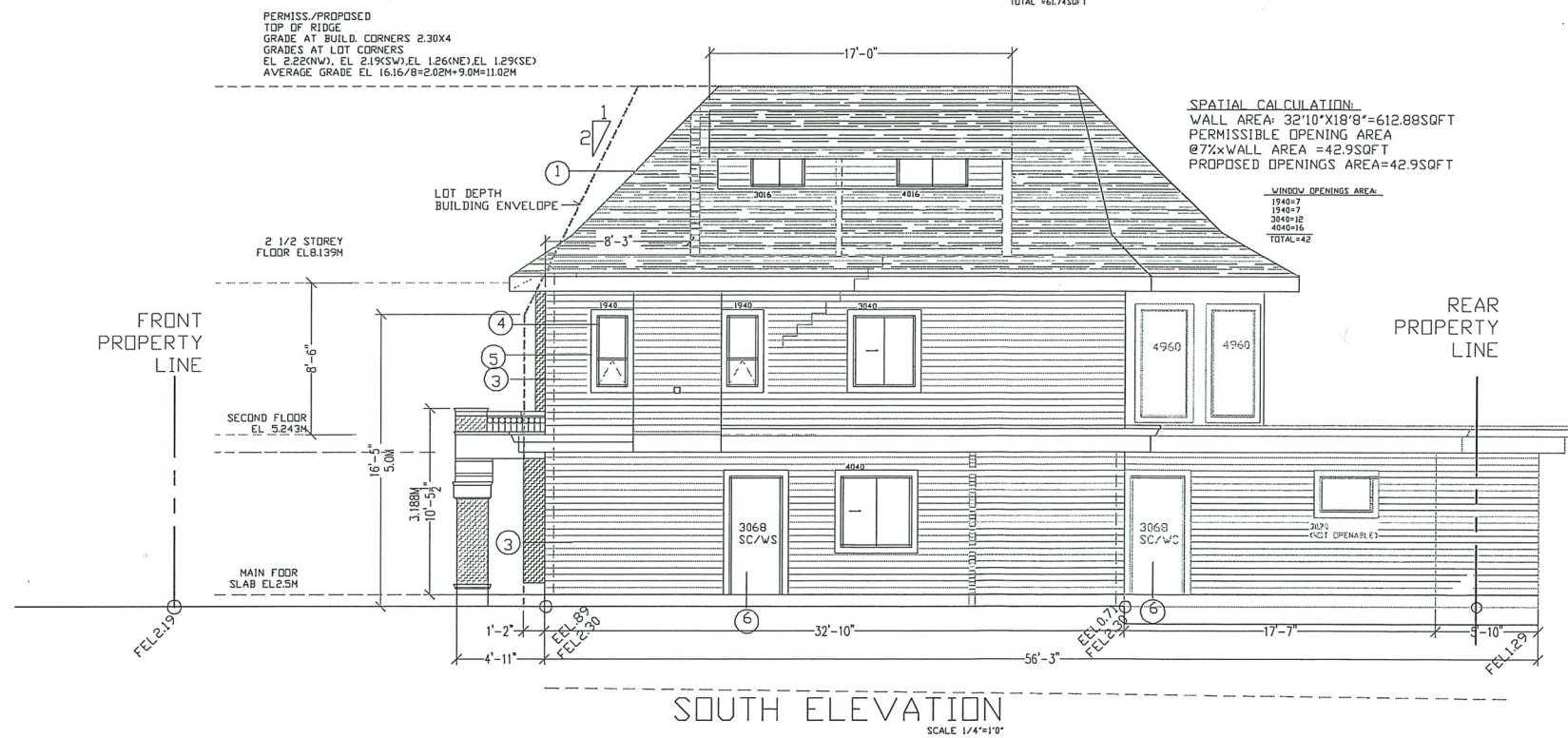
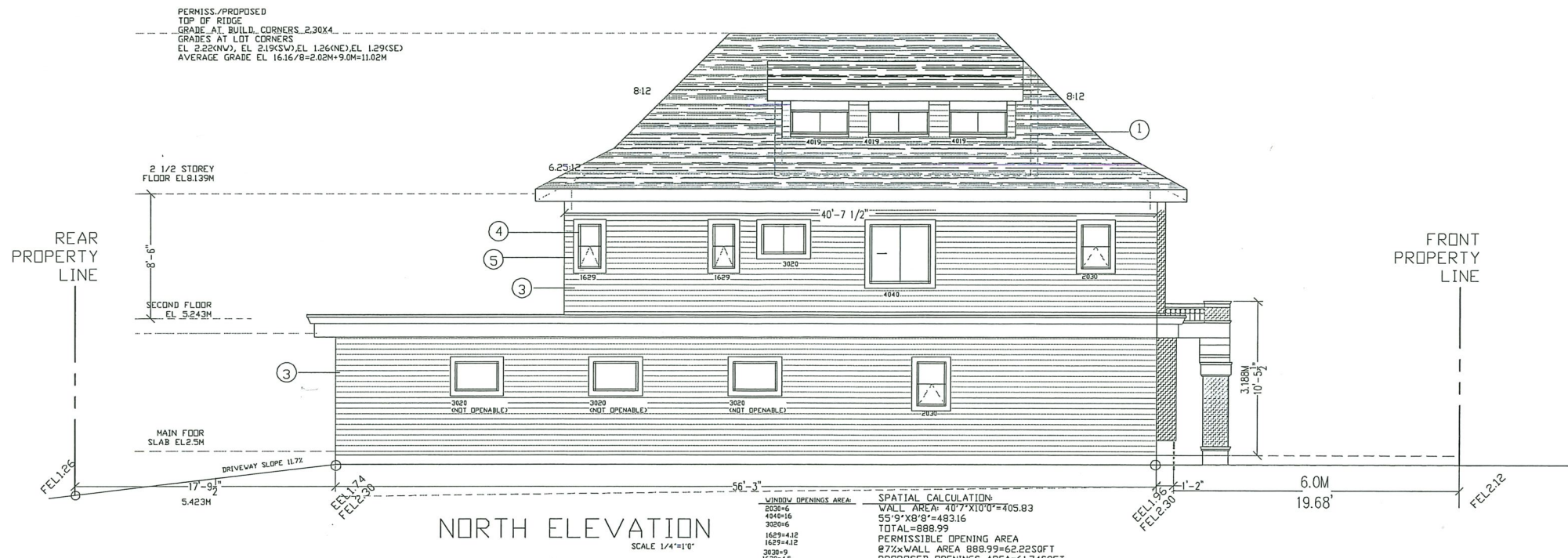
TITLE OF DRG.
EAST&WEST ELEVATIONS

PLAN #4
SCALE: 1/4"=1'0"

7TH JUNE,2018

*COPY RIGHTS GOURI VIRDI
ALL RIGHTS RESERVED*
THIS PLAN IS NOT TO BE COPIED
IN PART OR FULL BY ANYBODY

DV 17-792200 PLAN # 4



MATERIALS LEGEND/COLOUR

- 1 ASPHALT SHINGLES -(BLACK)
- 2 CULTURED/LIMESTONE-(GREY)
- 3 SIDING HARDIE PLANK/-(GREY)
BOARD 8" EXPOSURE
- 4 VYNIL WINDOWS
FRONT -(BLACK), SIDES AND REAR -(WHITE)
- 5 1"x6" WOOD TRIMS PAINTED-(BLACK & GREY)
- 6 SOLID/FIBRE GLASS
ALL EXTERIOR DOORS -(GREY)
- 7 GARAGE DOORS-(GREY)

DV17-792200

GAURI VIRDI
DESIGNER
T:604 261 7603
F:604 800 9214
E-MAIL: gauri@gvirdi.com

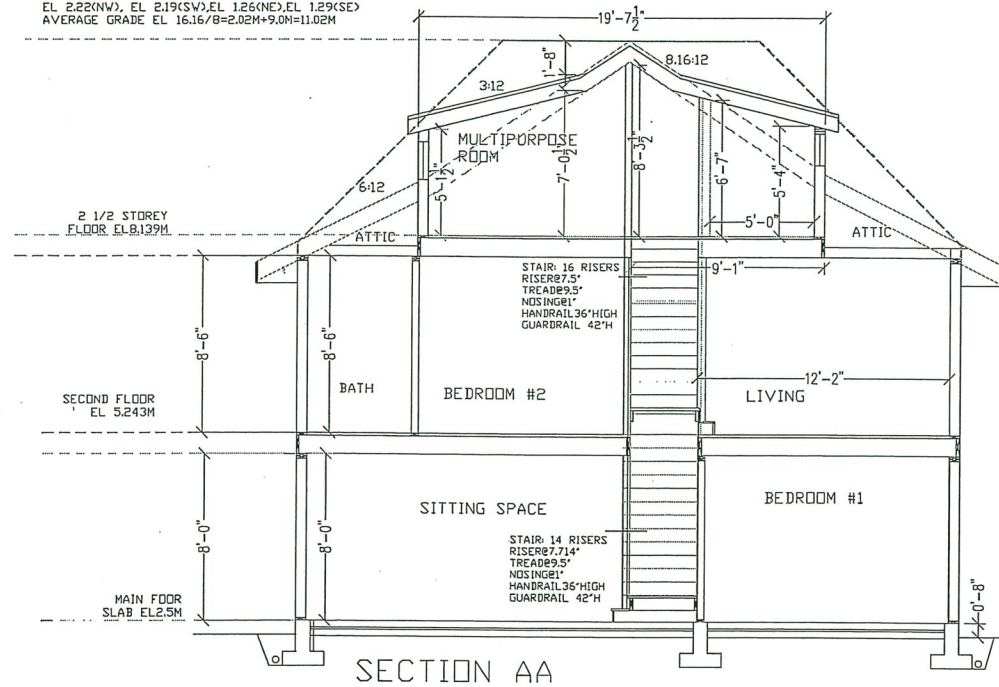
PROPOSED HOUSE ON
#7100 NO2 ROAD
(LOT #2)
RICHMOND BC

TITLE OF DRG.
NORTH & SOUTH
ELEVATIONS/
SPATIAL CALCULATIONS

PLAN # 4a
SCALE: 1/4"=1'0"
7TH JUNE, 2018

COPY RIGHTS GAURI VIRDI
ALL RIGHTS RESERVED*
THIS PLAN IS NOT TO BE COPIED
IN PART OR FULL BY ANYBODY

PERMISS./PROPOSED
 TOP OF RIDGE
 GRADE AT BULD. CORNERS 2.30x4
 GRADES AT LDT CORNERS
 EL. 2.22(NW), EL. 2.19(SW), EL. 1.26(NE), EL. 1.29(SE)
 AVERAGE GRADE EL. 16.16/8=2.02M+9.0M=11.02M



GENERAL SPECIFICATIONS

1. ROOF
 DURID/ASPHALT SHINGLES
 1"x4" STRAPPING REQ'D CENTRES
 ROOF FELT UNDERLAY
 1/2" PLYWOOD SHEATHING
 ENGINEERED ROOF TRUSSES @24" O/C
2. SECOND FLOOR CEILING
 MIN. RSI 7 (R-40) BATT INSULATION
 6 MIL POLY VAPOUR BARRIER
 5/8" GYPSUM WALL BOARD-PAINTED
3. FASCIA/SOFFIT
 EAVE PROTECTION
 4"x5" ALUMINUM GUTTER/DR
 BUILT IN GUTTER TO APPROVAL
 2"x8" FASCIA BOARD
 VENTED ALUMINUM SOFFITS
4. EXTERIOR WALL
 HARDIE PLANK
 BUILDING PAPER
 1/2" PLYWOOD EXTERIOR GRADE
 2"x6" STUDS @16" O/C
 R22 BATT INSULATION
 6 MIL POLY VAPOUR BARRIER
 1/2" GYPRDC
5. INTERIOR PARTITION
 2"x4" STUDS @16" O/C EXCEPT
 AS NOTED BY STRUCT. ENG.
 1/2" GYPSUM WALL BOARD ON
 BOTH SIDES PAINTED
6. SECOND FLOOR (RADIANT HEATING)
 FINISH FLOORING & UNDERLAY AS RECD.
 TO OWNERS SPECIFICATION
 1-1/2" LIGHT WEIGHT CONC. TOPPING
 5/8" T&G PLYWOOD SUBFLOOR
 FLOOR JOISTS AS PER STRUCT. DRGS./
 ENGINEERS SPECIFICATIONS
 WITH CROSS BRIDGING/BLOCKING
 AS RECD. @7'0" O/C MAX.
 1/2" GYPSUM WALL BOARD
7. FLOOR OVER GARAGE
 FINISH FLOORING & UNDERLAY
 AS RECD. TO OWNERS SPECIF.
 1-1/2" LIGHT WEIGHT CONC. TOPPING
 5/8" T&G PLYWOOD SUBFLOOR
 FLOOR JOISTS AS PER STRUCT. DRGS./
 ENGINEERS SPECIFICATIONS
 WITH CROSS BRIDGING/BLOCKING
 AS RECD. @7'0" O/C MAX.
 6 MIL POLYETHYLENE VAPOUR BARRIER
 JOINTS TAPED
 5/8" TYPE 'X' GYPSUM WALL BOARD
8. MAIN FLOOR SLAB
 FINISH FLOORING & UNDERLAY AS RECD.
 TO OWNERS SPECIFICATION
 4" CONC. SLAB W/6GA 6"x6"
 WIRE MESH REINF.
 6 MIL POLYETHYLENE VAPOUR BARRIER.
 JOINTS TAPED
 MIN. RSI (R-12) RIGID INSULATION
 6" MIN. COMPACTED GRANULAR FILL
9. EXTERIOR FOUNDATION WALL
 EXCEPT AS NOTED
 2 COATS DAMPROOFING ON OUTSIDE
 UP TO GRADE EXCEPT OTHERWISE SPECIF.
10. 8" THICK REINFORCED FOUNDATION WALL
 EXCEPT AS NOTED
 CONTINUOUS REINF. CONC. SPREAD FOOTING
 AS PER STRUCTURAL DRAWINGS
11. DRAINAGE
 6" PERFORATED DRAIN TILE
 AROUND PERIMETER OF THE LDT
 6" SOLID PIPE CONNECTED TO
 RAIN WATER LEADER
 MIN. 6" GRAVEL ABOVE AT SIDE
 OF PIPES W/FILTER CLOTH
 TO BE INSPECTED BY PLMG INSPECTOR
 PRIOR TO BACKFILL

DV17-792200

GAURI VIRDI

DESIGNER
 T:604 261 7603
 F:604 800 9214
 E-MAIL: gauri@gvirdi.com

PROPOSED HOUSE ON
 #7100 NO2 ROAD
 (LOT #2)
 RICHMOND BC

TITLE OF DRG.
 SECTION AA/NOTES

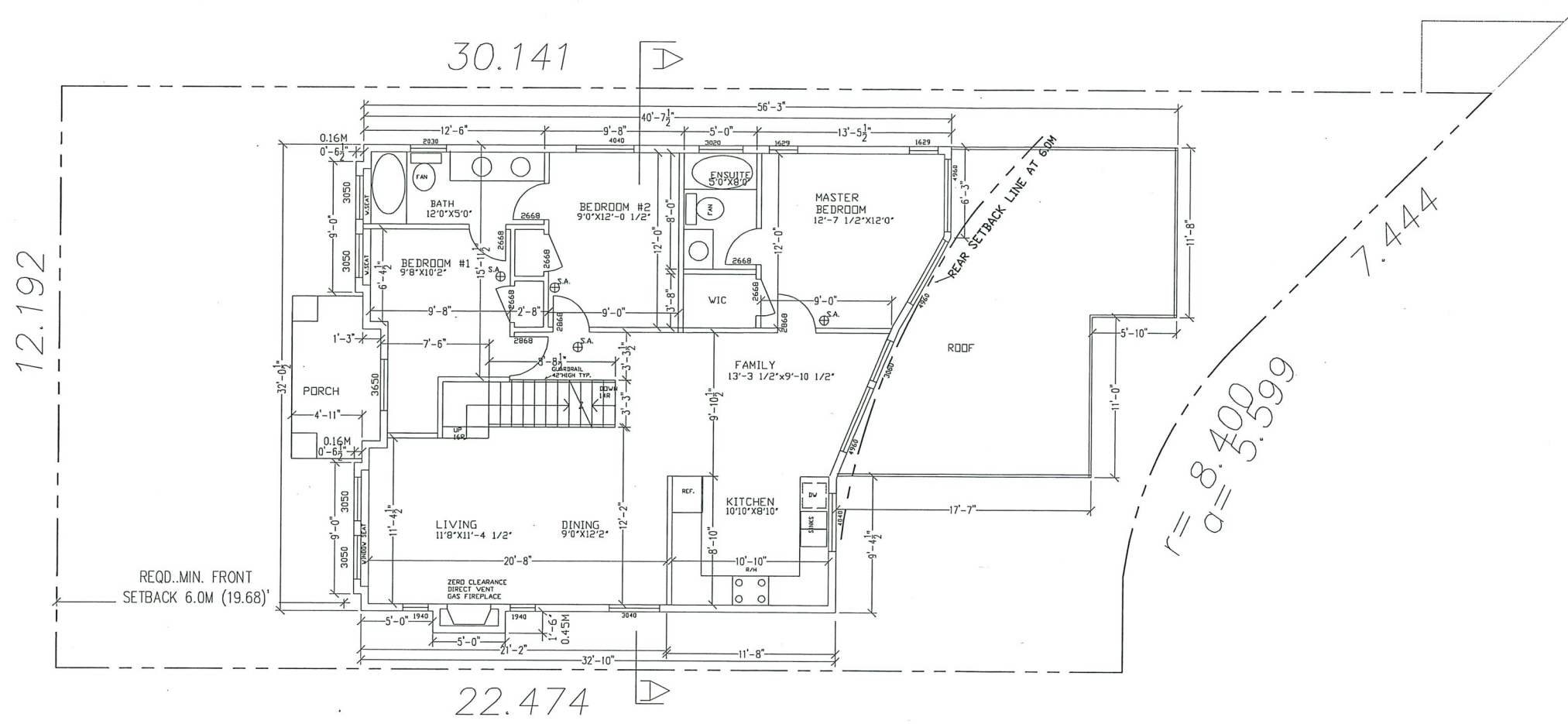
"PLAN #5"
 SCALE: 1/4"=1'0"
 7TH JUNE, 2018

"COPY RIGHT(C) GAURI VIRDI
 ALL RIGHTS RESERVED"
 THIS PLAN IS NOT TO BE COPIED
 IN PART OR FULL BY ANYBODY

DV 17-792200

PLAN # 5

S.R.W.
PLAN EPP55726



SECOND FLOOR PLAN

DV17-792200

GAURI VIRDI
DESIGNER
T:604 261 7603
F:604 800 9214
E-MAIL: gauri@gvirdi.com

PROPOSED HOUSE ON
#7100 NO2 ROAD
(LOT #2)
RICHMOND BC

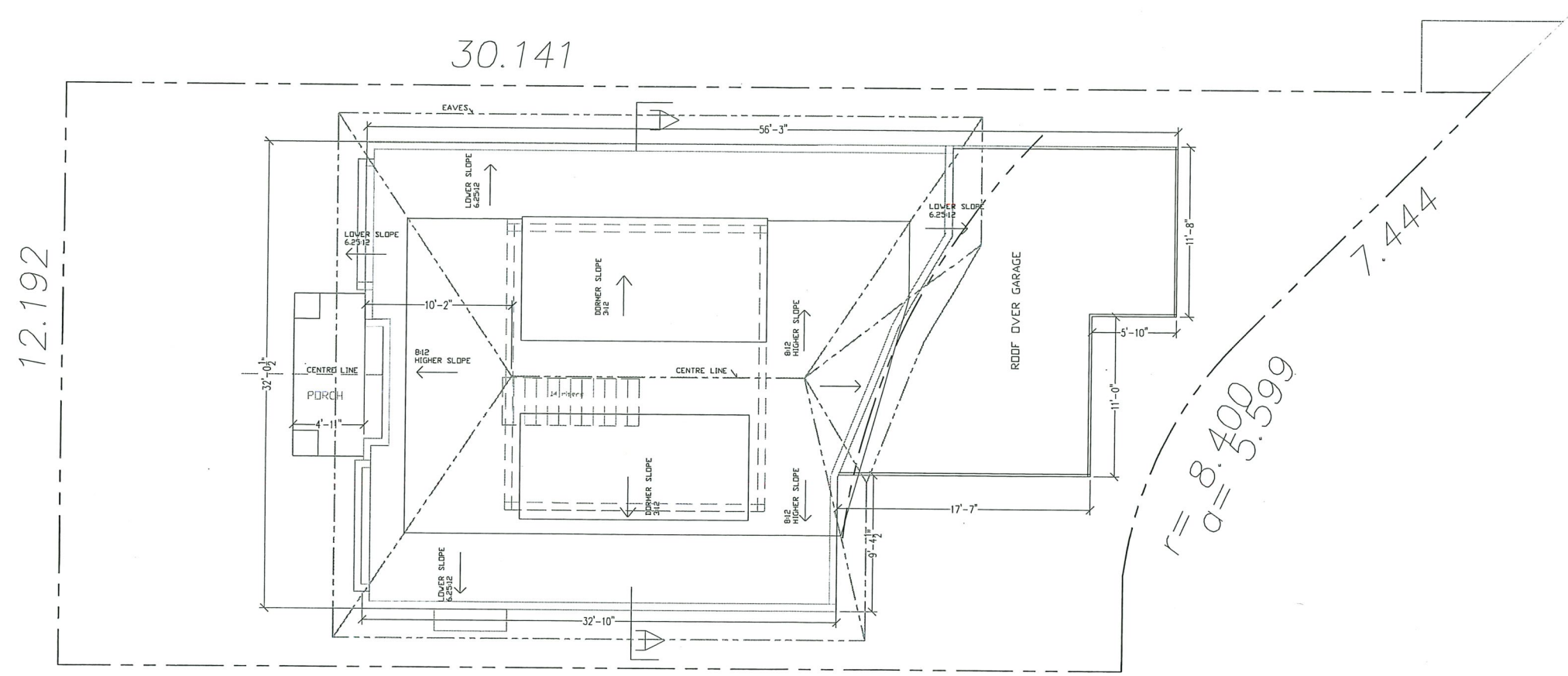
TITLE OF DRG.
SECOND FLOOR PLAN
REFERENCE PLAN
SCALE: 1/4"=1'0"
6TH JUNE 2018

*COPY RIGHTED GAURI VIRDI
ALL RIGHTS RESERVED
THIS PLAN IS NOT TO BE COPIED
IN PART OR FULL BY ANYBODY

DV 17-792200

REFERENCE PLAN

PLAN FPP55726



ROOF PLAN 22.474

DV17-792200

GAURI VIRDI DESIGNER T:604 261 7603 F:604 800 9214 E-MAIL: gauri@gvirdi.com
PROPOSED HOUSE ON #7100 NO2 ROAD (LOT #2) RICHMOND BC
TITLE OF DRG. ROOF PLAN
REFERENCE PLAN * SCALE: 1/4"=1'-0" 6TH JUNE, 2018
<small> *COPY RIGHTED GAURI VIRDI ALL RIGHTS RESERVED THIS PLAN IS NOT TO BE COPIED IN PART OR FULL BY ANYBODY </small>

DV 17-792200

REFERENCE PLAN