



# City of Richmond

## Report to Committee

**To:** Planning Committee  
**From:** Wayne Craig,  
Director, Development

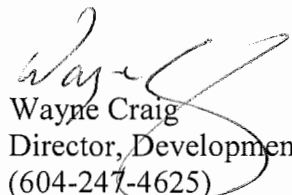
**Date:** April 18, 2019  
**File:** HA 18-818536

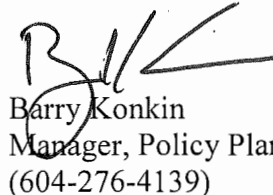
Barry Konkin  
Manager, Policy Planning

**Re:** **Amendment to Heritage Alteration Permit (HA 18-818536) for 3711 and 3731 Chatham Street and Steveston Village Heritage Conservation Grant Program Application by the Richmond Hospital/Healthcare Auxiliary**

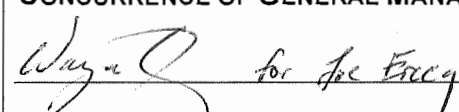
### Staff Recommendation

1. That an amendment to the Heritage Alteration Permit (HA18-818536) for foundation replacement work at 3711 and 3731 Chatham Street, which was issued on May 14, 2018, be approved; and
2. That a grant request of \$150,000 to the Richmond Hospital/Healthcare Auxiliary be approved under the Steveston Village Heritage Conservation Grant Program to assist with the foundation replacement work for the heritage protected building located at 3711 and 3731 Chatham Street and disbursed in accordance with Council Policy 5900.

  
Wayne Craig  
Director, Development  
(604-247-4625)

  
Barry Konkin  
Manager, Policy Planning  
(604-276-4139)

Att. 6

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Finance Department	<input checked="" type="checkbox"/>	

## **Staff Report**

### **Origin**

The Richmond Hospital/Healthcare Auxiliary has submitted applications to:

- amend HA18-818536 issued on May 14, 2018 by removing Plan #2 and Plan #5, which show concrete foundation details; and
- seek a grant in the amount of \$150,000 through the Steveston Village Heritage Conservation Grant Program for the construction of a new foundation for the heritage protected building located at 3711 and 3731 Chatham Street.

A location map and an aerial photo are included in Attachment 1.

### **Findings of Fact**

The building located at 3711 and 3731 Chatham Street is one of the 17 identified heritage buildings in the Steveston Village Heritage Conservation Area. Originally built in 1894, the building is one of the oldest surviving church buildings in Richmond. The Statement of Significance for the building is included in Attachment 2.

On May 14, 2018, Council issued a Heritage Alteration Permit (HA18-818536) for the construction of a new foundation and installation of new panel-and-batten skirting around the foundation to match the design and material of the existing skirting.

### **Related Policies**

#### **Steveston Village Heritage Conservation Grant Program**

The Steveston Village Heritage Conservation Grant (SVHCG) Program was established in 2009 to collect contributions from development projects in exchange for additional density, and distribute funds for the exterior conservation of the 17 identified heritage buildings in the Steveston Village Heritage Conservation Area.

Council Policy 5900 regarding the SVHCG Program was updated on November 13, 2018 in order to better promote and facilitate exterior conservation of the identified heritage buildings and utilize the heritage conservation funds collected to date. The current balance of the account is \$1,047,315.35 as of March 31, 2019, and no grants have been issued from this fund to date.

Below is a summary of updated Council Policy 5900 (Attachment 3) regarding the SVHCG Program:

- The maximum grant amount per identified heritage building is \$150,000;

- The grant may not exceed 50% of the total cost of eligible expenses. However, for a registered non-profit society, Council may consider providing up to 75% of the total cost of eligible expenses;
- Eligible expenses include structural upgrades, such as new foundations;
- An additional maximum grant of \$100,000 per identified heritage building may be considered by Council with private matching funding to achieve exceptional heritage conservation, as determined by Council;
- The owner/developer may apply more than once as heritage conservation may occur in stages; and
- A grant will not be provided where work has already been undertaken prior to Council approval.

### **Richmond Heritage Commission**

The grant application was presented to the Richmond Heritage Commission on April 3, 2019 and was supported. An excerpt from the Commission meeting minutes is included in Attachment 4.

### **Analysis**

#### Heritage Alteration Permit Amendment

The Heritage Alteration Permit (HA18-818536) issued for 3711 and 3731 Chatham Street on May 14, 2018 shows details of the traditional concrete foundation originally proposed by the owner (Plans #2 and #5 in Attachment 5). The owner subsequently conducted a detailed geotechnical investigation, and learned that lifting the building to place a new concrete foundation would be challenging due to the existing subsoil condition.

The owner has considered different options, and is now proposing a screw pile foundation system which does not require lifting of the building. The system would also minimize any potential damages to the heritage building as lifting of the building is not required.

Although the change to the foundation system will not be visible from the outside and will not affect the exterior of the building, staff recommend that the Heritage Alteration Permit (HA18-818536) be amended by removing Plans #2 and #5 so that the alternate construction technique may be accommodated. The owner will also be required to amend the previously issued building permit to reflect the new foundation details.

#### Funding Request

The current owner, the Richmond Hospital/Healthcare Auxiliary, is a registered non-profit society, and has been operating a thrift shop in the building since 2008. The owner purchased the property in 2017, and would like to continue to use the building as a thrift shop and work towards restoration of the building in phases. The owner has indicated that constructing the new

foundation is the first step to restore the building exterior. The owner intends to submit another Heritage Alteration Permit application in the near future to further restore the building, which may include the removal of stucco and restoration of the original siding.

The owner has requested the maximum grant amount of \$150,000 to partially cover the costs of the foundation rehabilitation. The letter outlining the proposal and two competitive estimates from independent contractors for the foundation work are included in Attachment 6. The lower estimate for the foundation work is \$343,000, and the requested grant amount of \$150,000 does not exceed 50% of the eligible costs.

The Richmond Hospital/Healthcare Auxiliary has also submitted a copy of their 2018 financial statements for 2018 to show that they have the ability to provide the required private matching funds. A copy of the financial statements is on file.

If Council approves the grant application, the foundation work must be completed before the heritage conservation grant is issued. As noted in Council Policy 5900 (Attachment 3), the owner will be required to submit a letter confirming the actual cost of the completed work, as well as a project completion report demonstrating that the work was completed in accordance with the approved plans.

#### Eligibility and Evaluation Criteria

The proposed foundation work is eligible for a grant as eligible expenses include structural upgrades including seismic upgrades and stability work (e.g., new foundations) which would extend the physical life of the building.

Staff have used the following criteria to assess the application:

- How the proposed work contributes to preserving and enhancing the overall historic fabric of Steveston Village;
- The level of contribution of the proposed work in conserving the heritage character and conveying the historic significance of the building;
- How the proposed work helps extend the physical life of the building; and
- The overall quality of the submission and the applicant's ability to carry out the project in a reasonable time-frame and secure other funding sources.

The building currently sits on undersized pad footings and on the surface organic material around the perimeter. Constructing a new foundation to secure the heritage building is required to extend the physical life of the building, thereby helping to ensure its enjoyment by future generations. The application meets all the evaluation criteria; therefore, staff support the grant application.

### **Steveston Village Heritage Conservation Grant Program Information Session**

Since the SVHCG Program update, Staff continue to promote the program and updated the information bulletin regarding the SVHCG Program posted on the City website. Also, an information session was held on January 31, 2019 at 7:00 pm at the City Hall. All the property and business owners of the 15 privately-owned heritage building were invited by letter.

Several property and business owners attended the information session. The majority of the attendees expressed general interests in available options for future works with no specific conservation plans in mind. Two representatives from the Richmond Hospital/Healthcare Auxiliary attended the information session to obtain detailed information about the updated SVHCG Program.

Staff have also received four inquiries seeking general information regarding the updated SVHCG Program in response to the letter.

Staff will continue to contact the property and business owners periodically to follow up and promote the SVHCG Program, and will work with the community to identify future conservation opportunities and provide tailored assistance as needed.

### **Financial Impact**

Funding for this \$150,000 grant request is available in the Steveston Village Heritage Conservation Grant Program fund.

### **Conclusion**

It is recommended that the Heritage Alteration Permit (HA18-818536) for 3711 and 3731 Chatham Street be amended by removing Plans #2 and #5 as the applicant is now considering a screw pile foundation system rather than a traditional concrete foundation.

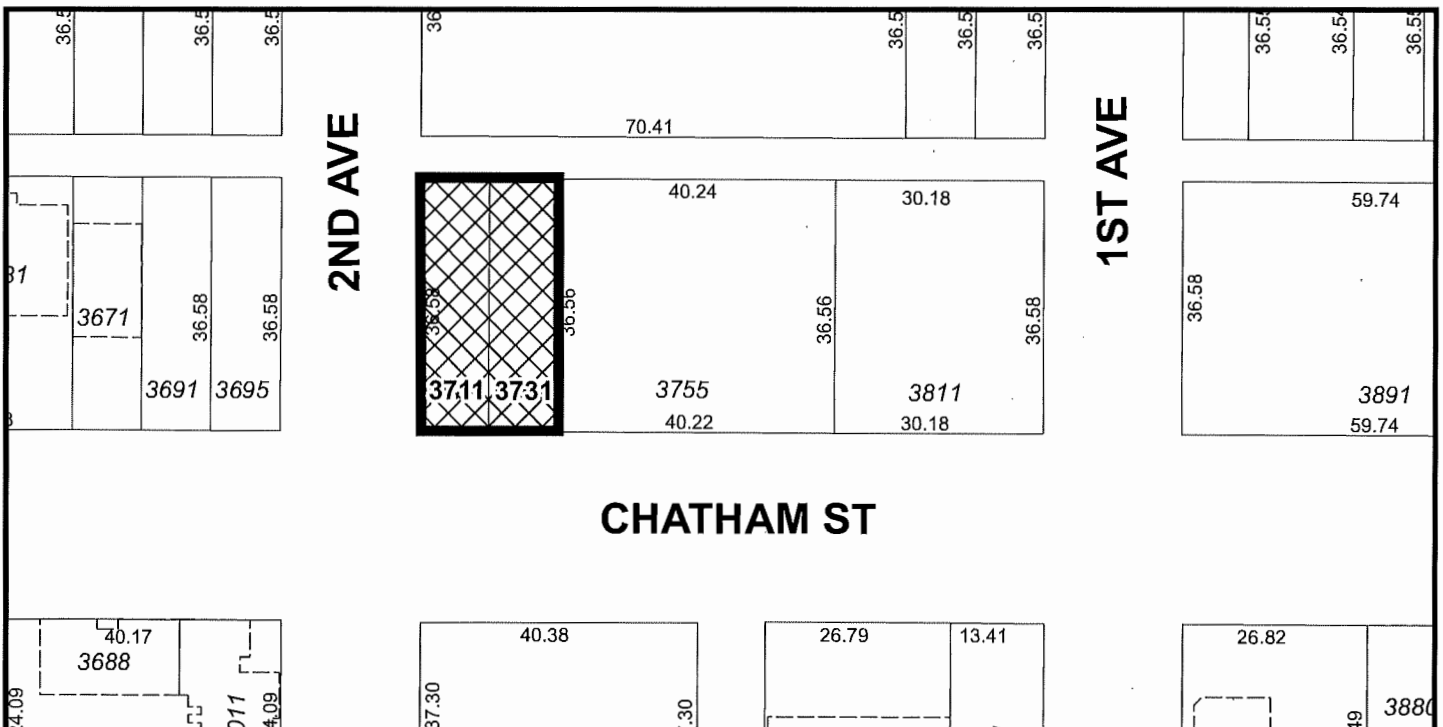
It is also recommended that Council approve the Richmond Hospital/Healthcare Auxiliary's grant request for \$150,000 through the Steveston Village Heritage Conservation Grant Program. The grant will support the construction of a new foundation for the heritage protected building located at 3711 and 3731 Chatham Street, which is an important step in the conservation process.



Minhee Park  
Planner 2  
(604-276-4188)

MP:cas

- Att. 1: Location Map and Aerial Photo  
2: Statement of Significance  
3: Council Policy 5900  
4: Excerpt from the April 3, 2019 Richmond Heritage Commission Minutes  
5: A copy of permit HA18-818536  
6: Letter and Estimates



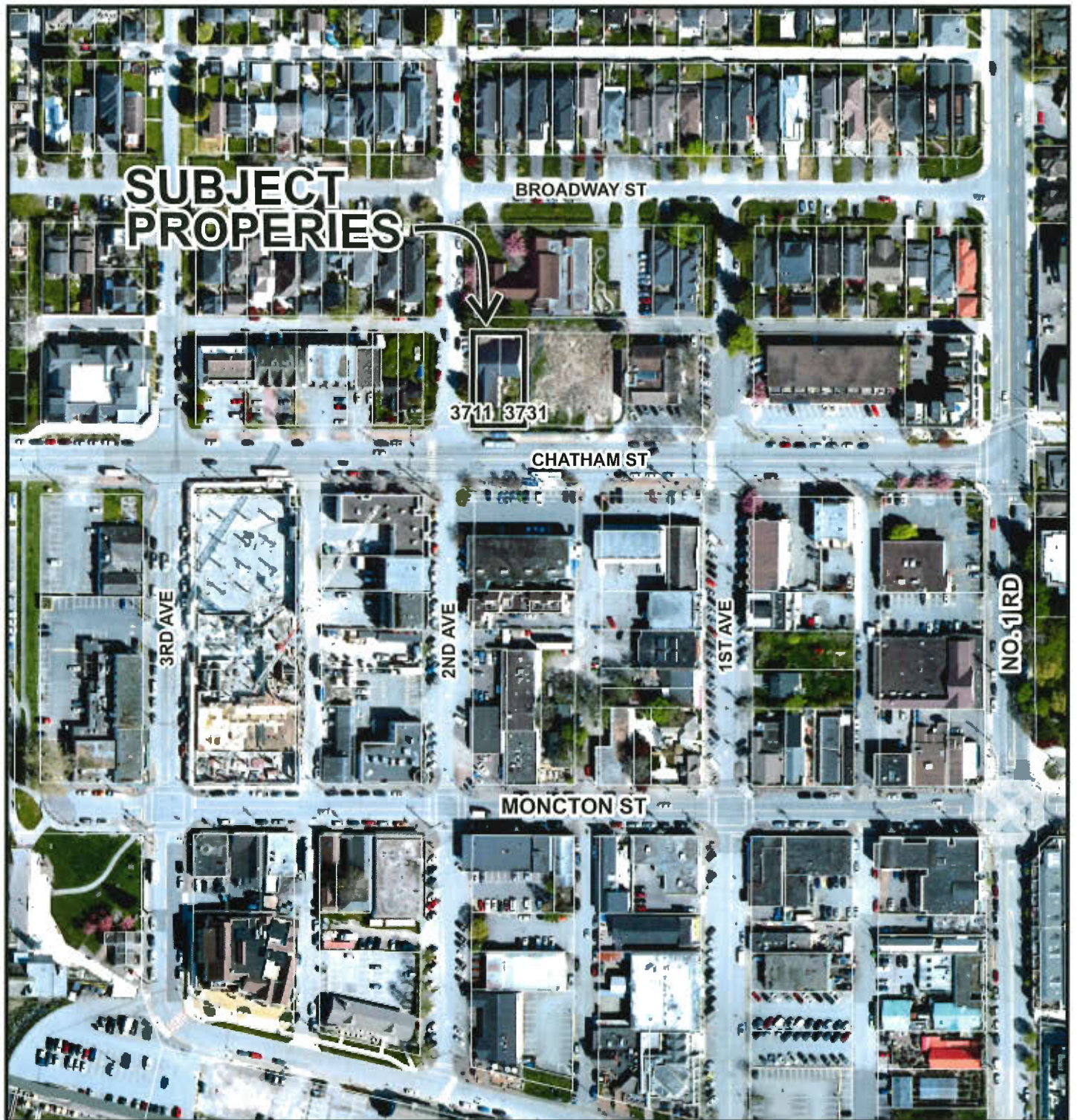
# 3711 and 3731 Chatham Street Steveston Village Heritage Conservation Grants Application

Note: Dimensions are in METRES





City of  
Richmond



3711 and 3731 Chatham Street  
Steveston Village Heritage  
Conservation ~~Grant~~ Application

Original Date: 03/27/19

Revision Date:

Note: Dimensions are in METRES



## Steveston Village Conservation Program

### Chatham Street resources



### 36. 3731 Chatham Street Steveston Bicycle Shop

#### Description

The Steveston Bicycle Shop is situated on a prominent corner lot on Chatham Street and Second Avenue. The building is T-shaped with a front gable facing the street and a side gable behind. It has a steeple and an entry porch with a gable roof.

#### Values

Built by volunteer labour in 1894, this is the oldest extant church building on its original site in Richmond. Its architectural style reflects the modest early church structures which serviced the populations of Steveston, particularly those working in the canning and fishing industries.

This historic place is also valued for its connections with the First Nations and culturally diverse populations of the Steveston community, seen in its historic associations with the Methodist Indian Mission and Steveston Methodist Church, and its later function as the first United Church in Canada to amalgamate Japanese and Caucasian congregations after WW II.

The location of this building on Chatham Street is important, as it reflects the need to accommodate what was once a primarily residential area, yet has a reasonably close proximity to the commercial core and waterfront of the village.

#### Character-Defining Elements

The character-defining elements of the Steveston Bicycle Shop include:

- Its location on Chatham Street, and its relationship to the commercial core and waterfront
- Its historic associations with the Steveston Methodist Church, the Methodist Indian Mission, and the Steveston United Church, and any surviving evidence thereof
- Its simple wooden construction and church form, including its cross-gable form, its cupola, and historic arched windows and window openings.
- Its architectural style that reflects its original use as a church, including its T-shaped plan, front gable roof and façade, arched windows, steeple, and gable-roofed entry porch

This resource met the following criteria:

- Criterion 1: The overall contribution of the resource to the heritage value and character of Steveston
- Criterion 2: The ability of the resource to represent a certain historical process and function
- Criterion 3: The level of importance of associations with an era important in Steveston's history and development
- Criterion 4: The intactness, scale, form and materials



Page 1 of 4	<b>Steveston Village Heritage Conservation Grant Program</b> Adopted by Council: April 27, 2009 Amended by Council: November 13, 2018	<b>Policy 5900</b>
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## **POLICY 5900:**

It is Council policy that:

The Steveston Village Heritage Conservation Grant (SVHCG) Program is established to provide financial assistance to property owners – on a cost share basis - for conserving the exterior of 17 heritage buildings in the Steveston Village Heritage Conservation Area, as identified in the Steveston Area Plan.

The 17 identified heritage buildings make a significant contribution to the heritage character of Steveston Village. The intent of the program is to help conserve the exterior of these significant buildings and support their continued legacy for future generations.

### **1. Program Funding Sources**

The source of funds for the SVHCG Program includes:

- Density bonus contributions, as set out in the Steveston Area Plan\*;
- Senior government and Non-Governmental Organization grants; and
- Other private donations.

\*Specific sites within the "Steveston Village Land Use Density and Building Height Map" are identified for a maximum possible Floor Area Ratio (FAR) of 1.6. In order to achieve this maximum density, a contribution of \$608.05 per m<sup>2</sup> (\$56.49 per ft<sup>2</sup>) - based on the increase in net building floor area between the 1.2 FAR base density and up to the 1.6 FAR maximum density - must be provided.

Contribution amounts may be reduced by an amount equivalent to any cash-in-lieu contributions received under the City's Affordable Housing Strategy.

The above contribution rate to the SVHCG Program will be revised, starting February 28, 2019, and then by February 28 every two years thereafter, by adding the annual inflation for the preceding two calendar years using the Statistic Canada *Vancouver Construction Cost Index – Institutional* inflation rate. The revised rates will be published in a City Bulletin.

### **2. Grant Amounts**

- Maximum grant of \$150,000 per identified heritage building. The grant may not exceed 50% of the total cost of eligible expenses (e.g. only projects with eligible expenses of \$300,000 or more would be able to apply for the maximum amount).
- An additional maximum grant of \$100,000 per identified heritage building may be considered by Council, with private matching funding, to achieve exceptional heritage conservation. Exceptional heritage conservation means a complete and comprehensive restoration of a building, in the opinion of Manager of Policy Planning and a retained heritage consultant, that would greatly enhance the heritage value of the Steveston Village Heritage Conservation Area. The final determination of what is exceptional will



be made by Council based on the project's overall contribution to conserving the character of Steveston Village.

- If the registered owner of the property containing one of the identified heritage buildings is a registered non-profit society, Council may consider providing up to 75% of the total cost of eligible expenses.
- As heritage conservation may occur in stages, an owner/developer may apply more than once; however, the total grant amount per identified heritage building is limited to \$150,000, and for exceptional conservation projects, it is limited to \$250,000.
- If no program funds are available, no grant applications will be considered (i.e., first-come, first-serve basis).

### 3. Eligible Expenses

Eligible expenses are limited to works related to the exterior conservation of the identified heritage buildings. These include, but are not limited to, the following:

- Façade restoration or rehabilitation to improve the appearance and convey the heritage significance of the building;
- Repair or restoration of the character-defining elements such as wood windows or original cladding;
- Reconstruction of lost heritage elements such as front porches or exterior trims;
- Roof replacement;
- Structural upgrades, including seismic upgrades, and stability work (e.g. new foundations) to extend the physical life of the building; and
- Directly related consultant costs, including the cost to prepare a conservation plan and architectural drawings, up to 10% of the total grant amount. Consultant costs without associated physical improvements to the building are not eligible.

Ineligible expenses include, but are not limited to, the following:

- General on-going maintenance work (e.g. power washing, gutter cleaning);
- Renovation or replacement of the non-historic elements of the building;
- New additions and/or construction of accessory buildings;
- Interior works; and
- Any other work deemed to be inappropriate at the discretion of the Manager of Policy Planning.

The Standards and Guidelines for the Conservation of Historic Places in Canada shall be used as a guide in determining eligible expenses. The Standards and Guidelines for the Conservation of Historic Places in Canada defines "conservation" as all actions or processes aimed at safeguarding the character-defining elements of a resource to retain its heritage value and extend its physical life.



#### 4. Grant Applications

- Grant applications must be submitted in accordance with the procedures and forms provided by the City;
- Owners or developers of sites with identified heritage buildings may include public entities (e.g. City or other levels of government), and are eligible to apply for a grant;
- Contributors to the SVHCG Program may apply for a grant (e.g., if the site proposed to be redevelop contains one of the 17 identified heritage buildings). However, the required contribution must be provided to the City prior to final approval of the accompanying rezoning or a Heritage Revitalization Agreement application;
- All grant applications that meet the eligibility criteria will be considered by Council. A grant will not be provided where work has already been undertaken prior to Council approval;
- Final decision on all grant applications that meet the eligibility criteria will be made by Council;
- If Council approves the application, the eligible works must be completed before the grant is issued. The following items must be submitted and accepted by City staff prior to the grant's issuance:
  - A letter from the applicant/owner indicating the actual cost of the completed project accompanied by paid bills as proof and a request for payment of the grant;
  - A project completion report from the project manager (e.g., independent contractor who has completed the work) confirming that the work has been completed in accordance with the approved plans and specifications, including a complete list of actual improvements and installation methods. The report must include a copy of written warranties of all applicable work; and
  - Photographs of the completed project; and
- The completed works must be inspected and deemed satisfactory by the City staff.
- The works covered by the approved grant must be completed within 24 months of the date of the approval by Council. After 24 months from the date of the approval, the grant approval will expire.

#### 5. Evaluation Criteria

The following considerations will form the basis for evaluation of grant applications:

- How the proposed work contributes to preserving and enhancing the overall historic fabric of Steveston Village;
- The level of contribution of the proposed work in conserving the heritage character and conveying the historic significance of the building;



Page 4 of 4	<b>Steveston Village Heritage Conservation Grant Program</b>	<b>Policy 5900</b>
	Adopted by Council: April 27, 2009 Amended by Council: November 13, 2018	

- How the proposed work helps extend the physical life of the building; and
- The overall quality of the submission and the applicant's ability to carry out the project on a reasonable time-frame at reasonable costs and secure other funding sources.



**Excerpt of Minutes**  
**Richmond Heritage Commission**  
Held Wednesday, April 3, 2019 (7:00 p.m)  
M.2.002  
Richmond City Hall

- **Steveston Village Heritage Conservation Grant Application 3711 and 3731 Chatham Street**

Staff provided a summary of the updated Steveston Village Heritage Conservation Program and introduced the grant application submitted by the Richmond Hospital/Healthcare Auxiliary for a foundation replacement at 3711 and 3731 Chatham Street. Staff noted that a Heritage Alteration Permit had already been issued in May last year to allow the foundation replacement and installation of new skirting.

The owner's representative Mr. Burton provided a presentation to the Commission regarding the proposed foundation work in detail. Mr. Burton noted that the proposed screw pile system is less expensive and it would also help minimize possible cracking as the building does not have to be lifted.

In response to Commission's query, Mr. Burton noted that the screw pile method will also allow for minor levelling of the main floor. He also noted that the historical ground level or the height of the building will remain unchanged, and the foundation work is the first phase of the long-term conservation project.

The Commission reviewed the evaluation criteria and agreed that the foundation work is a critical step in conserving the exterior of the building.

It was moved and seconded:

***That the Richmond Heritage Commission support the Richmond Hospital/Healthcare Auxiliary's grant application requesting a grant of \$150,000 under the Steveston Village Heritage Conservation Grant Program for the foundation replacement project for the building at 3711 and 3731 Chatham Street.***

*Carried*



**City of  
Richmond**

## Heritage Alteration Permit

Development Applications Division  
6911 No. 3 Road, Richmond, BC V6Y 2C1

File No.: HA 18-818536

To the Holder: The Richmond Hospital/Healthcare Auxiliary, Inc. No. S0018630  
Property Address: 3711 and 3731 Chatham Street  
Legal Description: LOT 8 & 9 BLOCK 22 SECTION 3 BLOCK 3 NORTH RANGE 7 WEST NEW WESTMINSTER DISTRICT PLAN 249

(s.617, *Local Government Act*)

1. (Reason for Permit)
  - ☐ Designated Heritage Property (s.611)
  - ☐ Property Subject to Temporary Protection (s.609)
  - ☐ Property Subject to Heritage Revitalization Agreement (s.610)
  - ☒ Property in Heritage Conservation Area (s.615)
  - ☐ Property Subject to s.219 Heritage Covenant (Land Titles Act)
2. This Heritage Alteration Permit is issued to authorize the proposed foundation work as shown in Schedule A, Plan #1 to Plan #5.
3. This Heritage Alteration Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
4. If the alterations authorized by this Heritage Alteration Permit are not completed within 24 months of the date of this Permit, this Permit lapses.

AUTHORIZING RESOLUTION NO. R18/9-6 ISSUED BY THE COUNCIL THE 14<sup>TH</sup> DAY OF MAY 2018 DELIVERED THIS 15<sup>TH</sup> DAY OF MAY 2018

  
MAYOR, MALCOLM D. BRODIE

  
ACTING CORPORATE OFFICER, CLAUDIA JESSON

IT IS AN OFFENCE UNDER THE *LOCAL GOVERNMENT ACT*, PUNISHABLE BY A FINE OF UP TO \$50,000 IN THE CASE OF AN INDIVIDUAL AND \$1,000,000 IN THE CASE OF A CORPORATION, FOR THE HOLDER OF THIS PERMIT TO FAIL TO COMPLY WITH THE REQUIREMENTS AND CONDITIONS OF THE PERMIT.

# SCHEDULE A

**A1.1**  
MAIN FLOOR PLAN

NO.	REVISION
1	AS SHOWN

2577-022 - 2771 Chatham St.  
2771 Chatham St.  
Chatham, Georgia 30606

2771 Chatham St.  
Chatham, Georgia 30606

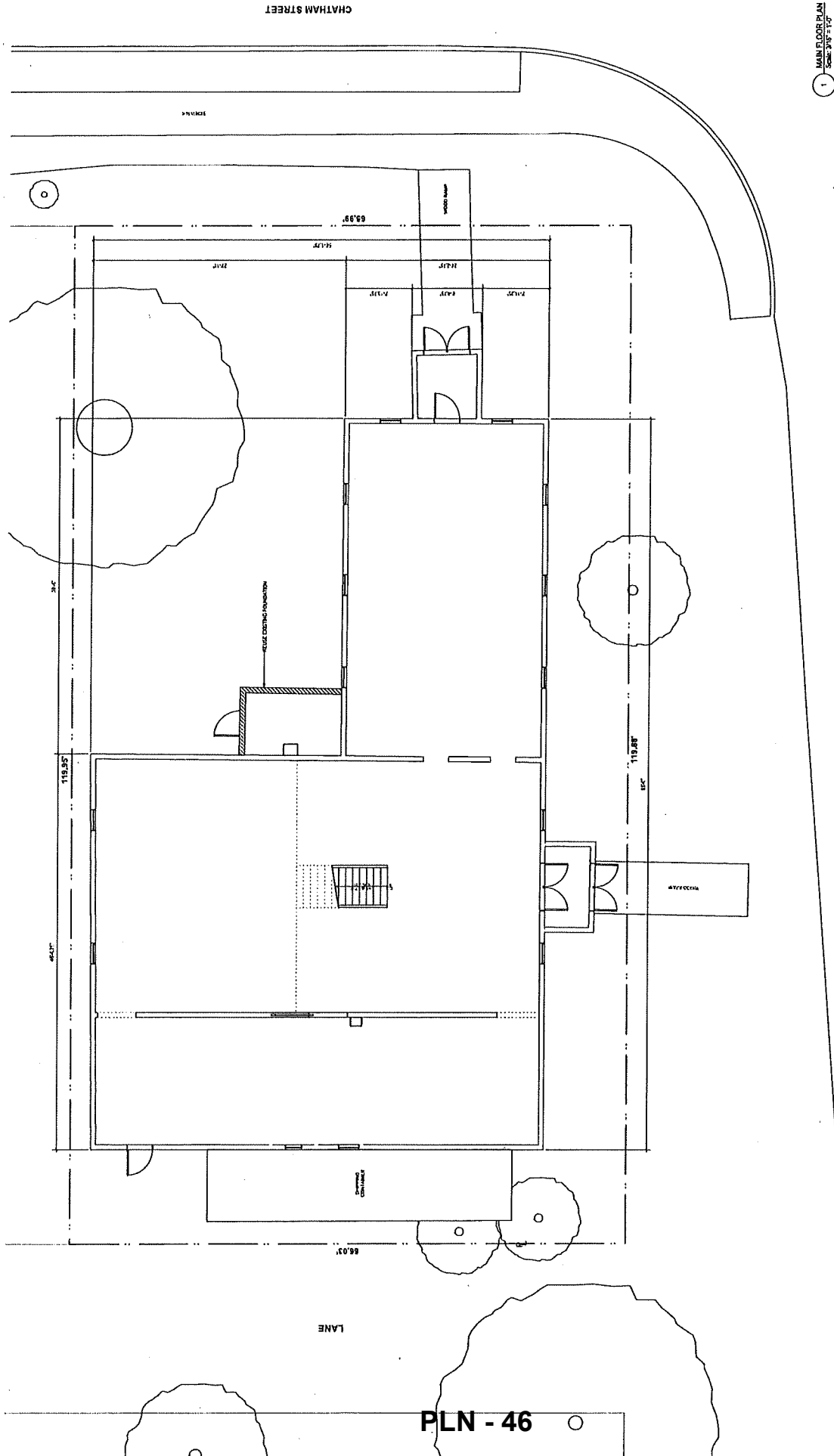
BIRMINGHAM  
WOOD  
ARCHITECTS - BIRMINGHAM

2577-022 - 2771 Chatham St.  
2771 Chatham St.  
Chatham, Georgia 30606

2ND AVENUE

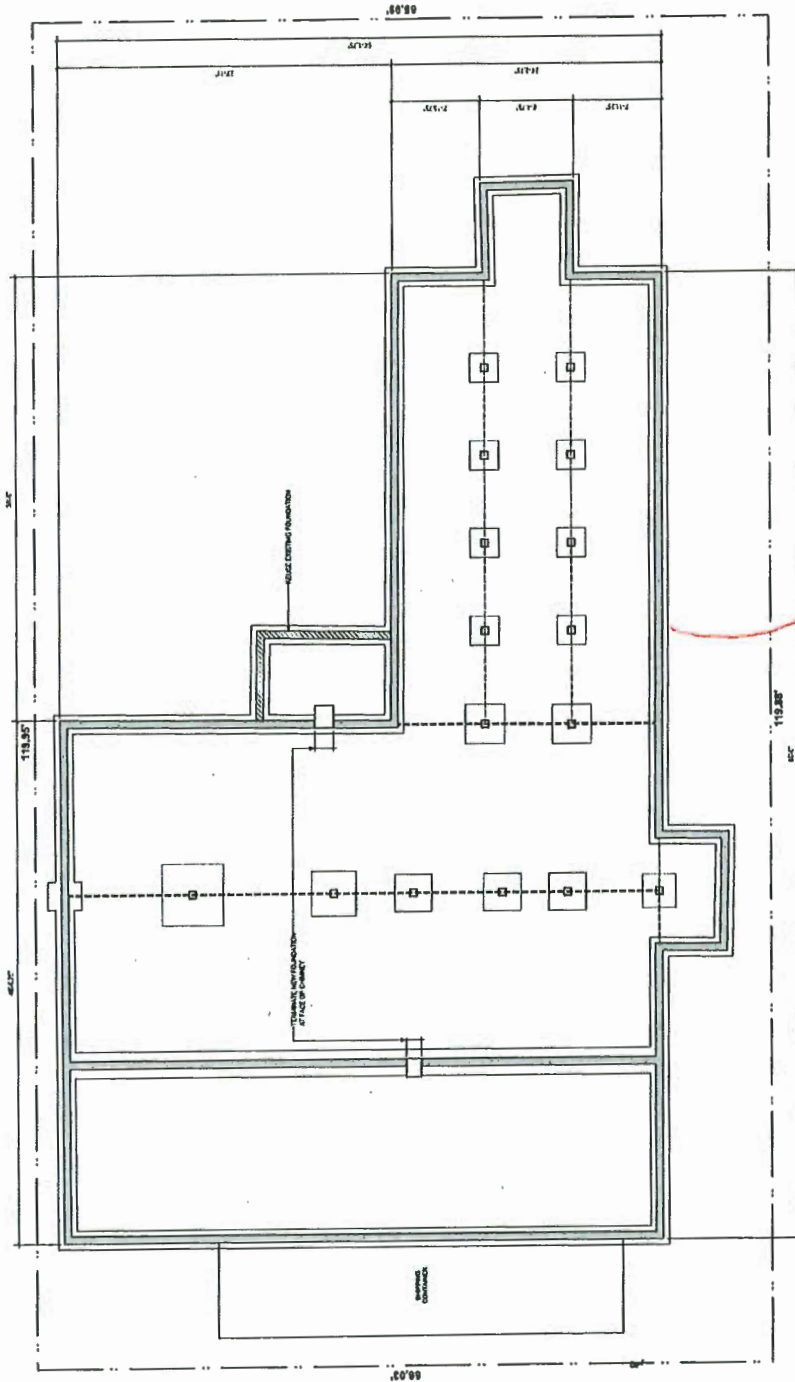
NORTH

1 MAIN FLOOR PLAN  
Scale: 3/8" = 1'-0"



HA 18-81853~ plan #1

PLN - 46



PLN - 47

2 FOUNDATION PLAN  
Scale: 3/8" = 1'-0"



NOT TO SCALE  
ALL DIMENSIONS ARE IN FEET AND INCHES  
UNLESS OTHERWISE SPECIFIED  
ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE  
CONCRETE REINFORCING STEEL INSTITUTE (CRSI) AND THE  
ACI 308-11 BUILDING CODES

BIRMINGHAM  
AL  
WOOD  
ARCHITECTS - PLANNERS

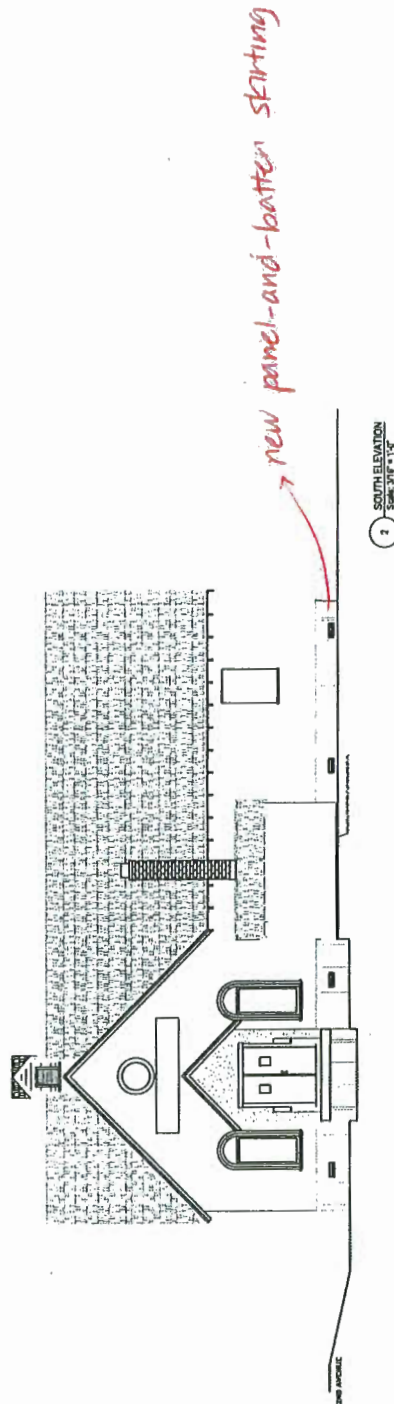
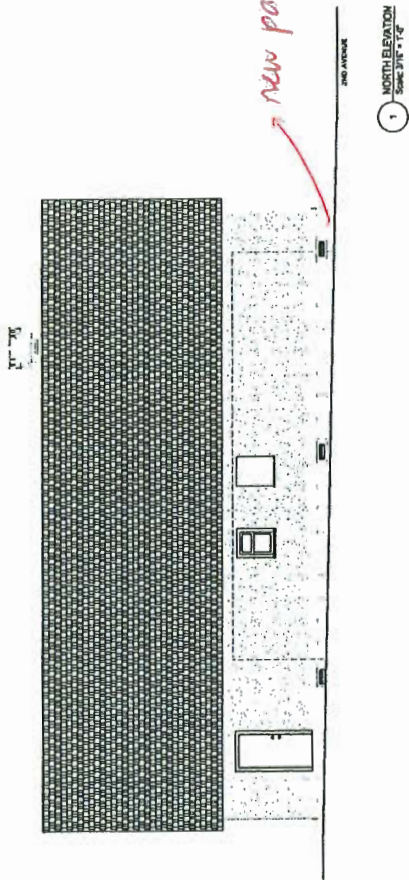
201 Grandview  
Vestavia, AL 35226  
(205) 975-1100

2017-002 - JTI Chatham Co.  
2017 Chatham Blvd  
Birmingham, Alabama 35202

NO.	DATE	DESCRIPTION
1	10/1/17	ISSUED FOR PERMIT

A1.1  
FOUNDATION PLAN

HA 18-818536 plan #2



PLN - 48

CONTRACTOR REQUIRED:  
This drawing is for informational purposes only. It is not to be used for construction without the approval of the architect. The contractor is responsible for obtaining all necessary permits and for ensuring that the work is completed in accordance with the applicable building codes and regulations.

**BIRMINGHAM**  
**WOOD**  
ARCHITECTS PLLC

214 Southside  
Birmingham, AL 35202  
Telephone: 1-800-251-1111

2817-822 - 2711 Chatham St.  
2711 Chatham Street  
Birmingham, Alabama, 35202

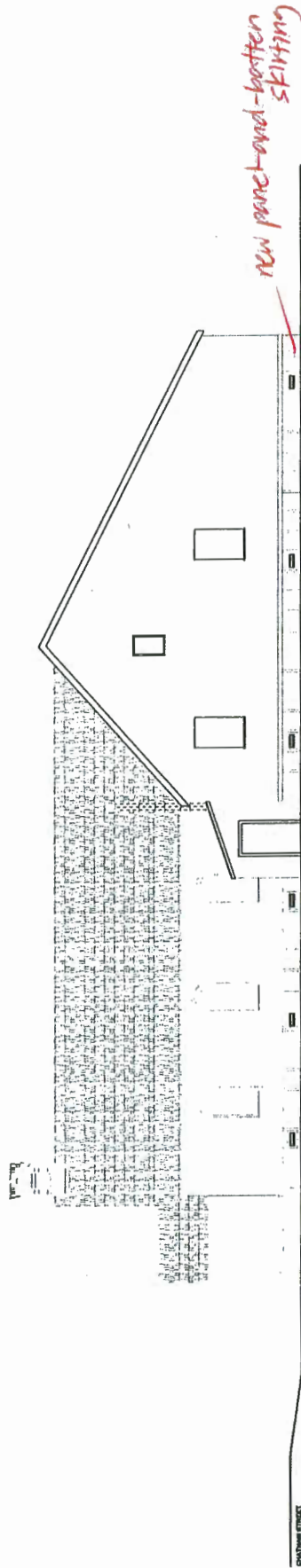
DATE	BY	REVISION

**A2.0**  
NORTH & SOUTH  
ELEVATIONS

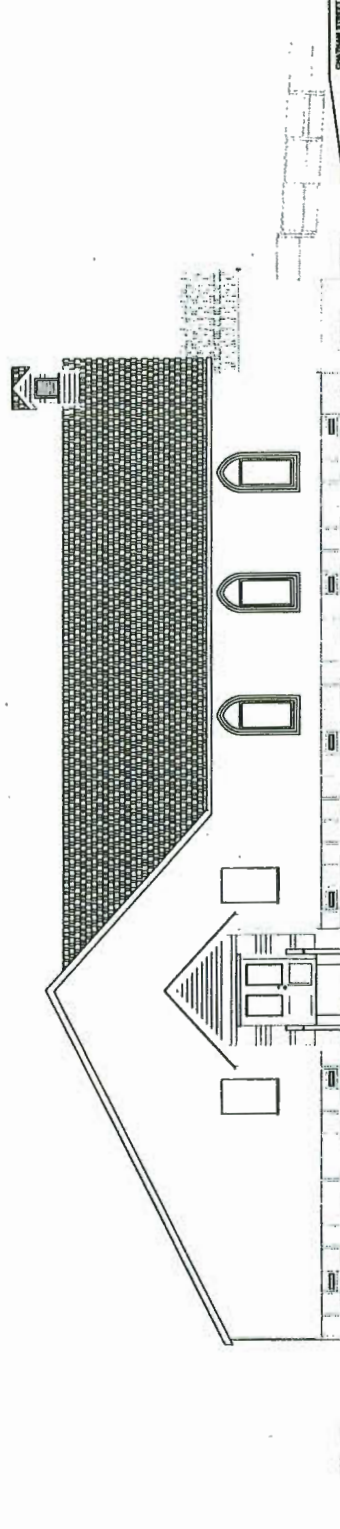
**HA 18-818530**

plan #3





1 EAST ELEVATION  
Scale: 3/16" = 1'-0"



2 WEST ELEVATION  
Scale: 3/16" = 1'-0"

PLN - 49

CONTRACTOR'S REFERENCE  
This drawing is the property of the architect and is not to be used for any other purpose without the written consent of the architect.

BIRMINGHAM  
WOOD  
ARCHITECTS - PLLC

211 Canal Street  
Birmingham, AL 35201  
205.261.1111

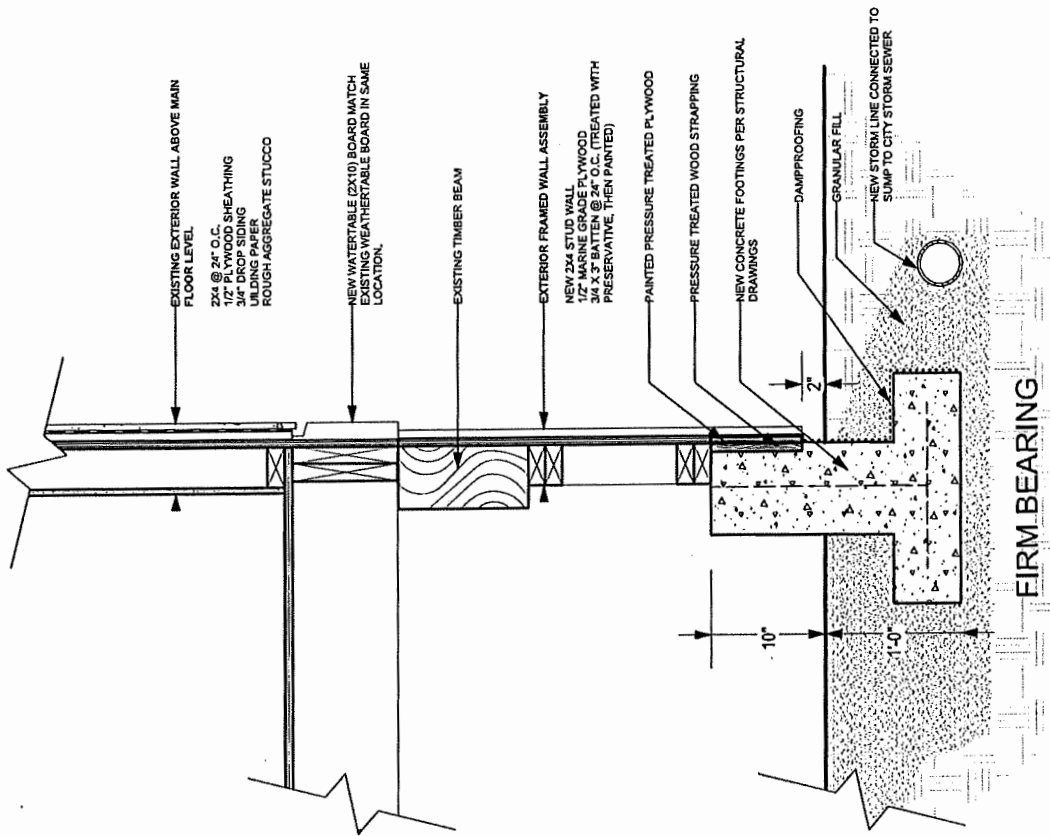
2017-2018-2019  
Birmingham, AL 35201  
205.261.1111

NO.	DATE	REVISION
1		
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5		

A2.1  
EAST & WEST ELEVATIONS

HA 18-818536

plan #4



1 FOUNDATION WALL DETAIL

Scale: 3/4" = 1'-0"

HA 18-818530 plan #5

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**BIRMINGHAM**  
WOOD  
FABRICATORS, FINISHERS

2311 Grand Ave.  
Birmingham, AL 35203  
205.928.1111

2017-2018 - 2019  
2019-2020 - 2021  
2021-2022 - 2023

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

**A4.0**  
FOUNDATION DETAIL

231 Carrall Street,  
Vancouver, B.C. Canada, V6B 2J2  
604.687.1594  
bwarc.ca

Partners: Sandra M. Moore, Architect AIBC  
James D. Burton, Architect AIBC

Minhee Park, Planner 2  
Policy Planning Department  
City of Richmond

**Regarding: Steveston Village Heritage Conservation Grant Application  
Thrift Shop, 3711 and 3731 Chatham Street**

Dear Ms. Park,

This letter is to accompany the application by the non-profit Richmond Hospital Healthcare Auxiliary for the Conservation Grant funding. The funding request is to partially cover the costs to consolidate this heritage structure on a new foundation, thereby placing the building on a secure footing for the benefit of future generations. The Auxiliary is hoping for the maximum allowable contribution under the Steveston Village Heritage Conservation Grant Program.

#### **Screw pile foundation design**

The chosen foundation design allows for the historic building to remain in its present location – no lifting or shifting is required – by the careful insertion of new screw piles. This will minimize the disruption of the heritage fabric of the building, account for the challenging subsoil conditions, and preserve the historic relationship between the building and ground level. With the screw pile technology, a modest leveling of the floor structure can also be undertaken while placing the structure on a sound foundation.

The screw pile system happens also to be the most economical way we have discovered for providing a foundation with long-term stability. Quotes using the screw piling technology come in below the quotes for the conventional lifting of the building and pouring of a new conventional foundation. Two competing bids for the screw pile work were obtained; the lowest of the two bids was accepted.

#### **Heritage fabric conservation**

This work to the foundation is the first step in the Auxiliary's plan to restore the building exterior. It was rightly felt that no work to conserve the exterior elements should precede the work to place the building on a stable footing. Accordingly, work to build this new foundation will simply replace parts of the skirting around the building with a panel-and-batten design that matches the current skirting. The next phase of the exterior conservation of the building will involve a careful review of all the exterior surfaces, including the skirting.

#### **Cost Statement**

The cost of the foundation work for the purposes of grant allocation is as follows:

1.	Foundation construction		\$ 343,000.00 + GST
2.	Architectural costs	a) conservation plan	\$ 4,000.00 + GST
		b) permit submissions	\$ 4,350.00 + GST
			<u>\$ 351,350.00 + GST</u>

#### **Attachments**

1. Application Form (completed original will be hand-delivered March 25th to the City);
2. Declaration that the Auxiliary is a non-profit society;
3. Quotations to undertake the work from TKP Engineering.

Sincerely,



James D. Burton, Architect AIBC  
Partner, Birmingham & Wood Architects and Planners  
231 Carrall Street, Vancouver, B.C.  
604-789-1594

**PLN - 51**

# TKP Engineering Ltd.

15769 92A Avenue, Surrey, BC, V4N 3C2

TEL: 778-927-5765

Date: December 18, 2018

Ref: 100261P2

## **Ursula Van Duin**

Vice-President & Thrift Store Manager  
Richmond Hospital/Healthcare Auxiliary  
3731 Chatham Street,  
Richmond, BC V7E 2Z4

**RE: REVISED PROPOSAL – Foundation Repair at 3711 and 3731 Chatham Street, Richmond**

Dear Ursula,

TKP Engineering Ltd (TKP) is pleased to provide herewith a revised estimate for the above-mentioned work as requested by Mr. Walter Jochimski through email on November 30, 2018. TKP was requested to revise the cost estimate to take into account the recommended pile length from the results of two helical pile tests carried out on the property on November 20, 2018. A report of the pile tests prepared by i3 Building Science & Consulting Inc. was attached in the email.

The scope of the proposed work consists of installation of helical piles and beams as new foundation for the existing buildings at the above address. The building will be levelled if possible. We estimate the duration of work to be approximately 2 to 3 months.

Note that the building façade may experience cracking or other damage due to the lifting and piling process and the proposed work is not a seismic retrofit.

### **TKP's Scope of Work**

- Apply for revise permit for proposed new foundation system;
- Apply for other necessary permits, if required;
- Supervise additional soil investigation consist of auger hole and SPT tests and prepare a geotechnical report;
- Review shop drawings and as-built drawings for helical piles and beam foundation;
- Review/prepare specifications
- Conduct field review during construction during jacking, installation of pile and beam;
- Monitor conditions of existing building, and provide intervention when required;
- Provide certification Schedules B and C-B for geotechnical and/or structural works;
- Project management

# TKP Engineering Ltd.

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TEL: 778-927-5765

TKP is pleased to provide in this proposal a lower design and project management fee. The proposal also presents a comparison of two quotes. The key differences between the two quotes are presented in Table 1. Table 2 presents a breakdown of the estimated cost for the proposed foundation repair and stabilization work for the building.

**Table 1 Comparison of Key Difference of Contractors' Proposals**

Item	BC Helical Pile (item iii & iv in Table 2)	TerraCana (item iii in Table 2)
Working hours	Able to work after normal hour	Work during normal hour
Construction Sequence	Able to work in sections to facilitate continuing operation of thrift store	Prefer to work with entire building vacate, sequencing or working in sections is possible
Pile Layout	Design do not require to install pile directly under existing wall	Require to locally remove wall sheathing to install pile along wall line
Ancillary Work	Cost include exterior skirting and re-instatement of floor openings	Cost only include house lifting, installation of helical pile and new beam

**Table 2 Cost Breakdown for Foundation Repair and Stabilization**

Item	Description of Work		
		<b>Piling Contractors:</b>	
		BC Helical Pile	TerraCana
i.	Auger hole & SPT testing, including utility locate	\$3,000	\$3,000
ii.	Prepare design, drawings, Specifications, Submissions to City, Project Management Fee	\$12,500	\$12,500
iii.	Jacking & Helical piles and beams installation (supply & install approx. 83 helical piles 3 1/2" diameter, overall length 26'-27' each)	\$322500	\$328000
iv.	Removal of flooring or wall sheathing at pile location & re-instatement after	Included in item (iii)	\$30,000
v.	Surveying (e.g. survey and mark location for each pile, monitor building deformation)	\$5,000	\$5,000
<b>Total:</b>		<b>\$343,000</b>	<b>\$378500</b>

The proposal by the two piling contractors are included in Appendix A.

## Excluded items:

- Any site clearing, excavation and landscaping;
- Any shoring/hoarding, if required;
- Any environment controls, practices, and procedures, if required;
- Removal of all furniture and products on the building interior;
- Removal or relocation of any conflicting services and obstruction;



# TKP Engineering Ltd.

15769 92A Avenue, Surrey, BC, V4N 3C2

TEL: 778-927-5765

- Any pile load testing, if required;
- Repair crack or other damage to building facade, if required;
- Any interior work (including drywall repair, hardwood floor etc.)
- Fees to acquire building permit and other necessary permits, if required;
- Additional design fee for seismic retrofit, if required;
- Third party Geotechnical Monitoring, if required;
- Additional Building lifting Insurance, if required.

Should the piles not achieved the required torque (capacity) in the above specified depth (25 feet below ground surface) additional depth of piling is required to reach design load bearing capacity of the piles, the rate for additional is \$75 per foot. Note that pile lengths may be required to be increased depending on the result of additional investigation and assessment.

## 5) PAYMENT SCHEDULE

- a. Acceptance of this contract 30% plus GST
- b. Prorated Monthly Payment based on Work Completed 60% plus GST
- c. Approval of final inspection by the Client 10% plus GST

We trust the above information is sufficient to your current needs. Please do not hesitate to contact the undersigned if you have any questions.

Yours Sincerely,



Kian Kok Poh, P.Eng  
Principal Engineer  
TKP Engineering Ltd

**TKP** Engineering Ltd.

15769 92A Avenue, Surrey, BC, V4N 3C2

TEL: 778-927-5765

## **Appendix A**

### **Contractors' Proposal**

BCHP File: P-00537-18

December 11, 2018

Via Email: [info.tkpengineering@gmail.com](mailto:info.tkpengineering@gmail.com)

**Attention:** Mr. Kian Kok Poh  
TKP Engineering Ltd.  
15769 92a Ave, Surrey, BC V4N 3C2

**Re: FEE PROPOSAL FOR HELICAL PILE INSTALLATIONS  
3731 CHATHAM STREET, RICHMOND BC**

---

BC Helical Piles (BCHP) is pleased to provide this quote for the installation of helical piles. It is our understanding that the piles and beams will be used as a new foundation system for an existing building at the above noted address. Additionally, the building will be levelled if possible. The scope of work described below is based on the test pile report carried out by i3 Building Science & Consulting on November 20, 2018. Any additional work will be dealt under a separate agreement.

#### **SCOPE OF WORK FOR TEST PILE INSTALLATION**

Our installation scope of work will consist of the following:

- Mobilize equipment to the property line.
- Supply and install BCHP3 black steel helical piles (3.5" O.D. Sch. 40 shaft) with a triple 10"-12"-14" helix up to 25 ft in length.
- Cut the piles to the final elevation specified by the owner/main contractor(s).
- Supply and install adequate wood or steel beams on top of piles
- Remove the equipment, debris, and any leftover materials from the site.
- Clean the site to its initial conditions when it was received from the owners /contractor(s)
- Provide an engineering assistance to revise the building permit to reflect the new foundation system
- Provide an Engineering Conformity Report, the applicable Letters of Assurance (if required), and a written design warranty for the piles and beams installed.

*Below is what BC Helical Piles is not responsible for:*

- Any site clearing
- Any excavation
- Any landscaping

- Any concrete work (cutting, forming or pouring)
- Any reinforcement steel
- Any pile load testing if required
- Fees to acquire building permit if required
- Any geotechnical engineering fees if required
- Any surveyors fee if required (BCHP requires contractor/owner to survey and mark the location for each pile on site prior to the pile installation)
- Any interior work (including drywall repair, hardwood floor, etc)

### **PROPOSED FEES**

*The estimated price is \$ 322,500.00 + GST, which includes labour, mobilization, material, and engineering. The final price to be invoiced will be calculated by adding the estimated price and any additional pile length as described below.*

BC Helical requires 20% of the total project price prior to the start of the project and will submit the monthly progress invoice after that.

Any of the works that are specified above which are not going to be done by BC Helical Piles can be performed under a different arrangement.

In addition, please bear in mind that pile length may vary depending on the soil conditions encountered on site. The price provided above is to install the permanent piles up to 25 ft in average length. If additional depth of piling is required to reach the design load-bearing capacity of the piles, BC Helical Piles charges \$75.00/ft + GST for any additional foot for the piles.

### **CLOSURE**

We look forward to having the opportunity to work with the owner for providing professional engineering services and pile installation. We assure you of our commitment by providing the highest quality of professional services. Should you have any questions with our proposal, please contact us by phone at (604)-306-7505 or by email at [info@bchp.ca](mailto:info@bchp.ca). If you agree with the price and terms and conditions, please sign and return this proposal at your earliest convenience so we can proceed with scheduling of your work.

**CONDITIONS OF ENGAGEMENT**

1. Services by BC Helical Piles Ltd. will be concentrated on the work outlined in the description of work above. No other portions of the building are to be reviewed.
2. Services not specifically outlined above may be performed and will be charged on an hourly rate as extra. All extra services of significant nature will require pre-authorization by the client. Our rates for extra work are as follows:
  - Job captain @ \$65/hr;
  - Skilled labour @ \$50/hr;
  - Engineering work @ \$125/hr;
  - Material & subtrade's work mark-up @ 18%;
3. Engineering work provided by BC Helical Piles Ltd. is limited to the scope of work mentioned above.
4. BC Helical Piles Ltd. is not liable / responsible / expected to review/performance/ensure/assess anything else/anywhere else other than that expressly mentioned above and for the areas of work mentioned above.
5. Individuals/employees/representatives/parties/principals of BC Helical Piles Ltd. act only under the authority and protection of BC Helical Piles Ltd. As such, they have absolutely no personal liability/obligation/responsibility to the client or any other party, including third parties.
6. BC Helical Piles Ltd. is not responsible, under any circumstances and or any capacity for any work performed on this project other than that performed by its own forces or assignees.
7. Liability of the Contractor and/or his representative is limited to the amount of the fee charged and subject to the conditions of the Certificate of Insurance.
8. If the piling portion of the project is cancelled due to any unforeseen circumstances (rocky underlayment, concrete pads, etc.) BHP charges \$1,500.00 + GST for mobilization plus one (1) day of labour as per Item 2.

*Please note that the fees provided in this proposal are valid for a period of 60-days.*

Yours truly,

**BC Helical Piles Ltd.**

Per: Tamara Bogicevic, Civil Tech.  
Project Consultant

Sign Here: \_\_\_\_\_  
(Client Acknowledgement)

\_\_\_\_\_  
(Date Signed)

Print Here: \_\_\_\_\_ (Your Name)



1900 Valmont Way, Richmond, BC, V6V 1Y4

## PROPOSAL

December 11, 2018

TKP Engineering Ltd.  
Attention: Kian Kok Poh, P.Eng  
email@site.com

**PROJECT: Helical Pile Underpinning**

**LOCATION: 3731 Charham, Richmond BC**

TerraCana Foundation Solutions Inc. is pleased to provide a proposal for the above noted project. Our scope of work is based on proposed grade beam structural drawings from Chiu Hippmann and test pile report from Building Science and Consulting Inc.

Please note that as soil logs have not been provided and limited information regarding the composition of the foundation were available at the time of visiting site. We are uncertain at this time if lateral support has been fully addressed by the proposed design. Final engineering may make adjustments to our proposal and thus final pricing.

Prior to our arrival to site, the following work will be required:

- Removal of all building skirting;
- Removal of all furniture and products on the building interior;
- Removal of interior wall sheathing as piles must be installed in the centre of the wall cavity to minimize eccentricity;
- Removal of flooring in the pile installation locations;

Please note that due to the nature of the structure and the work involved, we feel the building should remain un-occupied for the duration of the work (approximately 2-3 months). The building façade may experience cracking or other damage due to the lifting and piling process.

### **Scope of Work – Helical Piling using 3-1/2" Diameter**

1. Provide Engineered Shop drawing of the pile system and layout.
2. Lift the existing building off its current foundations sufficient to remove the existing 6x6 timber.
3. Supply and Install **83** helical piles of 3-1/2" diameter with an overall length of 27' each. Each pile will contain three end bearing helix plate that are up to 14" in diameter.
4. Piles will be galvanized.
5. Upon completion, each pile will be cut to the specified height and a termination bracket installed.
6. Termination brackets will be fastened to a new 6x6 treated timber to support the existing structure.
7. Pile installation tolerances will be 2" from specified locations, 2% vertical alignment and cut to within 3" of specified elevation.





1900 Valmont Way, Richmond, BC, V6V 1Y4

8. Piles will be installed with a mini excavator and hand held equipped with a low speed high torque anchor drive motor as applicable.
9. After completion, all excess pile material and debris will be removed from site.

**For this we estimate:**

**\$328,000.00 + GST**

This price includes all necessary, tools, trucks, labour, equipment and materials to perform the above Scope of Work, and is based on **one (1)** mobilization to the job site by TerraCana crew per Scope of Work. Should the piles not achieve the required torque in the above specified depth and additional length be required, a cost of \$65 per foot will be applied to the entire length of each pile extension used. Subject to crew, equipment, and materials availability.

To be Provided by Others / Quote Excludes:

1. All excavation, hydro excavation, demolition, backfill, dewatering, landscaping, removal of spoils, ground penetrating radar or other civil works unless otherwise noted;
2. All surveying, including pile layout, cut-off elevations, pre and post surveys, utility locates, & elevations, offsets and as built information;
3. All necessary permits including building, hauling, traffic, sidewalk, environment, etc;
4. Encroachment agreements;
5. Fees, permits, deposits, design or inspection costs;
6. All required environmental controls, practices, and procedures;
7. Removal or relocation of any conflicting services and obstructions;
8. Access to 110/15A power supply and sufficient water supply within 100ft of our work site(s);
9. Third Party Geotechnical Monitoring, if required;
10. A level, free, clear and compact working surface and lay down area;
11. Work area accessible;
12. Any and all testing should it be required including materials testing unless otherwise noted;
13. Extraction of installed materials unless otherwise noted;
14. Road, rail, pedestrian, and other traffic control;
15. Shoring/hoarding, site servicing, fencing, guardrails, screens, sanitary facilities, office facilities, disposal bin, construction safety officer, first aid attendant, and security;
16. Cold Weather measures for our equipment, crew and material;
17. Engineering, design, shop drawings or field reviews unless otherwise noted;
18. Building lifting insurance;

The attached General Terms & Conditions form part of this quotation.

Please contact the undersigned should you have any questions in the above regard.

Yours sincerely

Chris Vervaeke, P.Eng.,  
Project Manager

**Signed as Acceptance of Quoted Price:**

Company: \_\_\_\_\_



1900 Valmont Way, Richmond, BC, V6V 1Y4

Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_



1900 Valmont Way, Richmond, BC, V6V 1Y4

## GENERAL TERMS AND CONDITIONS

1. Terms and conditions will be the Standard Construction Document CCDC 2, 2008 as the Prime Contract and/or CCA No. 1, March 2008 Subcontract except as noted below.
2. A materials deposit of 20% of the contract value is required for materials to be ordered and the balance of the materials will be invoiced upon its arrival to site.
3. Invoices are due within 30 days of invoiced date. Interest will be charged on any overdue balance at a rate of 24% per annum calculated monthly on the anniversary date of the invoice.
4. TerraCana will not enter into a contract with "Pay when Paid" or "Liquidated Damages" clauses.
5. Our Holdback will become due and payable 55 days from substantial completion of our work.
6. Our quotation does not include applicable taxes, special insurance premiums (including general liability insurance in excess of 5 million dollars), bonds, permits, licenses, certificates, fees, deposits, testing (unless otherwise specified), or patent fees.
7. The quantities stated in our proposal are considered minimums and prices will be adjusted for changes in scope.
8. Unit rates subject to revision by TerraCana for any change in in contract value.
9. TerraCana often mobilizes in excess to our contractual obligations to ensure preparedness for varied ground conditions. Materials, equipment, and other property brought to the site by TerraCana remain the property of TerraCana until deemed otherwise by TerraCana.
10. Our quotation price is open for acceptance for a period of 30 days subject to material, equipment and crew availability and tariffs and/or material pricing as well as a mutually agreed upon contract and schedule.
11. Unless otherwise indicated, the work is based on one mobilization and a continuous operation with a nine day per two-week work period.
12. TerraCana will not be responsible for any consequential or indirect damages or delays incurred by the Owner/Prime Contractor arising from TerraCana's work or services.
13. No backcharges will be accepted unless written notice is given with sufficient time for TerraCana to undertake remedial action.
14. TerraCana will not be responsible for damage, disruption or displacement of or to existing structures, facilities or services that may result from our work.
15. No allowance for special procedures to work with contaminated soils, water or hazardous material is included. TerraCana reserves the right to refuse work in an unsafe or unhealthy environment.
16. Current applicable liability insurance and WorkSafeBC documentation shall be provided to the General Contractor or applicable entity, upon request.
17. The Owner/Prime Contractor is to provide both general liability on a wrap-up basis and physical property insurance, with a deductible not exceeding \$5,000.00 covering damage to the Works and any third-party liability claims arising from our operations.
18. TerraCana will not be subject to the terms and conditions of a prime contract to which we are not a signatory.
19. Our proposal, exclusions, and general terms and conditions are to be incorporated into the contract documents upon acceptance of this proposal and in the event of conflict shall govern.



City of  
Richmond

## Heritage Alteration Permit Amendment

Development Applications Department

6911 No. 3 Road, Richmond, BC V6Y 2C1

File No.: HA 18-818536

To the Holder: The Richmond Hospital/Healthcare Auxiliary, Inc. No. S0018630  
Property Address: 3711 and 3731 Chatham Street  
Legal Description: Lot 8 & 9 Block 22 Section 3 Block 3 North Range 7 West New Westminster  
District Plan 249

(s.972, *Local Government Act*)

1. (Reason for Permit)
  - ☐ Designated Heritage Property (s.967)
  - ☐ Property Subject to Temporary Protection (s.965)
  - ☐ Property Subject to Heritage Revitalization Agreement (s.972)
  - ☒ Property in Heritage Conservation Area (s.971)
  - ☐ Property Subject to s.219 Heritage Covenant
2. This amendment is to replace the plans attached to HA18-818536, issued on May 14, 2018, with the plans as shown in Schedule A, Amendment Plan #1 to Amendment Plan #3, for the proposed foundation work and installation of skirting to match the design and material of the existing skirting.
3. All the other terms and conditions of HA18-818536, issued on May 14, 2018, remain unchanged.

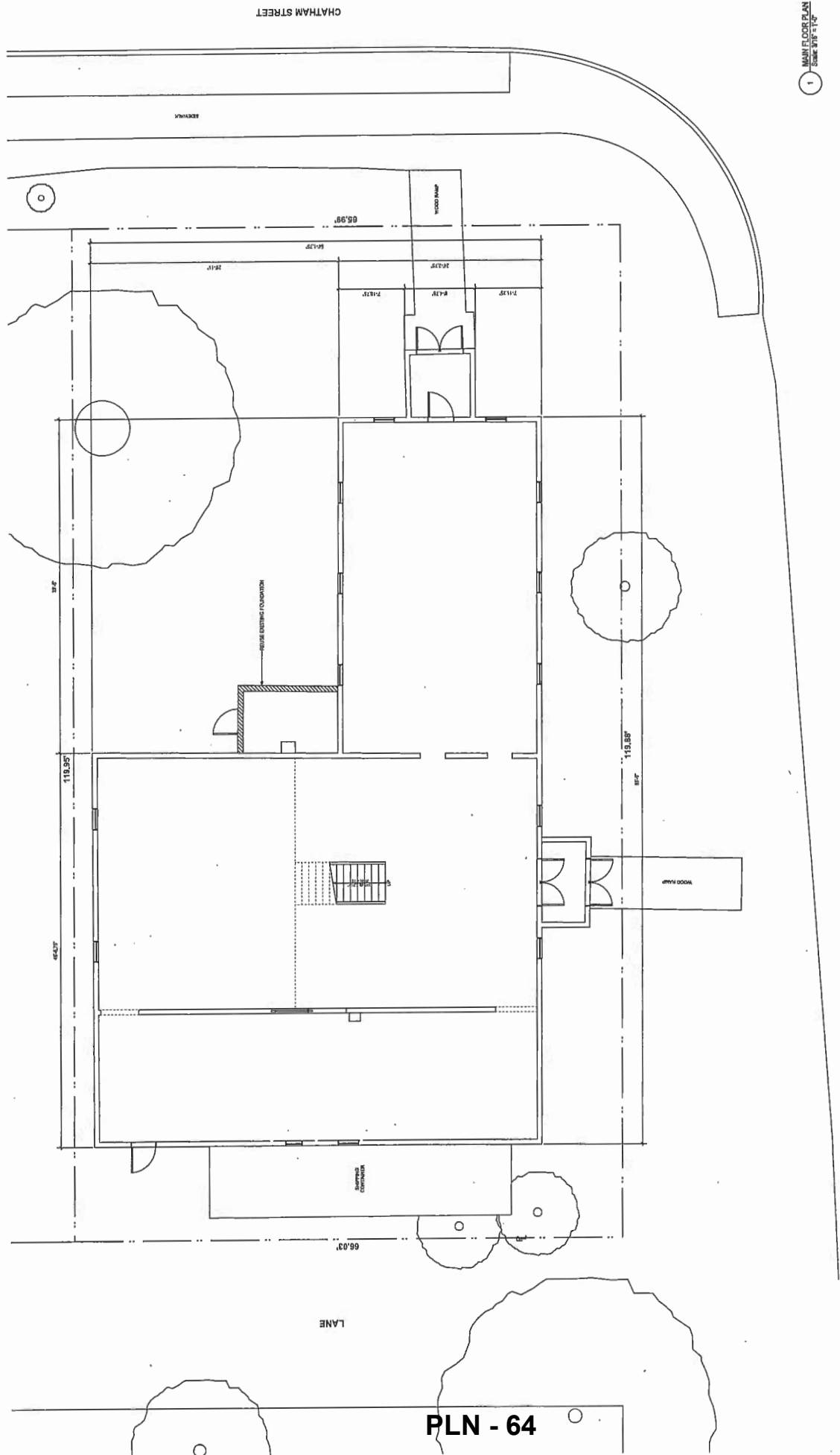
AUTHORIZING RESOLUTION NO. <Resolution No.> ISSUED BY THE COUNCIL THE DAY OF  
<Date>

DELIVERED THIS <Day> DAY OF <Month>, <Year>

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

IT IS AN OFFENCE UNDER THE *LOCAL GOVERNMENT ACT*, PUNISHABLE BY A FINE OF UP TO \$50,000 IN THE CASE OF AN INDIVIDUAL AND \$1,000,000 IN THE CASE OF A CORPORATION, FOR THE HOLDER OF THIS PERMIT TO FAIL TO COMPLY WITH THE REQUIREMENTS AND CONDITIONS OF THE PERMIT.



1 MAIN FLOOR PLAN  
Scale: 1/8" = 1'-0"

# SCHEDULE A

A1.1  
MAIN FLOOR PLAN

NO.	REVISION
1	ISSUED FOR PERMIT

2017-2022 - 2711 Chatham St.  
Savannah, Georgia, 31405

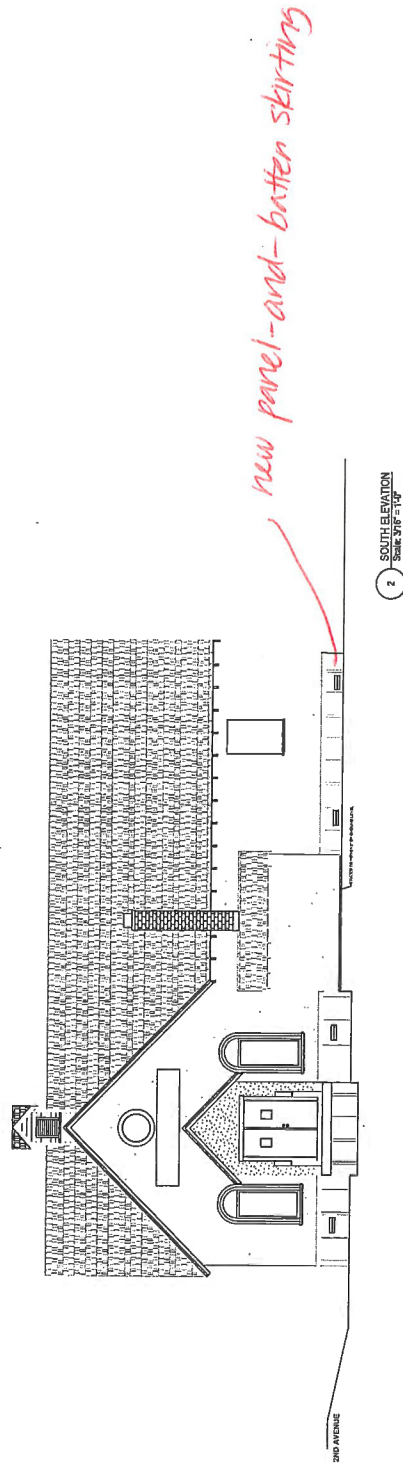
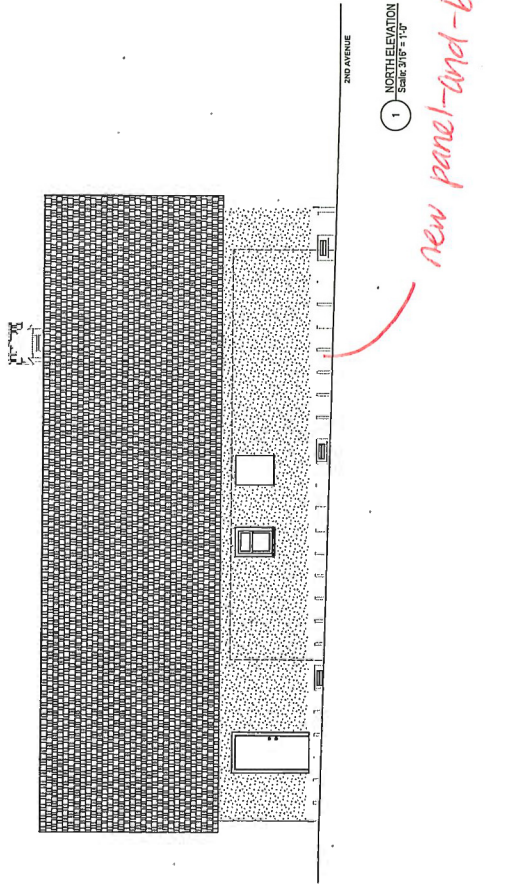
2711 Canal Blvd  
Savannah, GA 31405  
Birmingham Wood

BIRMINGHAM  
WOOD  
ARCHITECTS - PLANNERS

CONTRACT NO. 19-018555  
HA 19-018555  
Amendment Plan #1

HA 19-018555  
Amendment Plan #1

PLN - 64



PLN - 65

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company.

**BIRMINGHAM**  
**WOOD**  
ARCHITECTS - PLANNERS

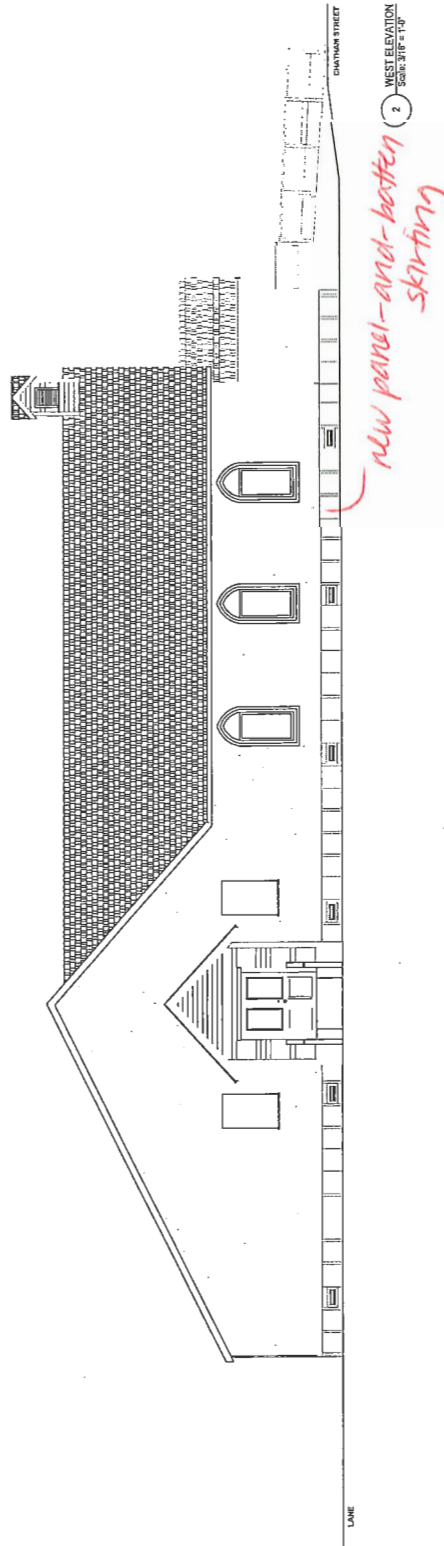
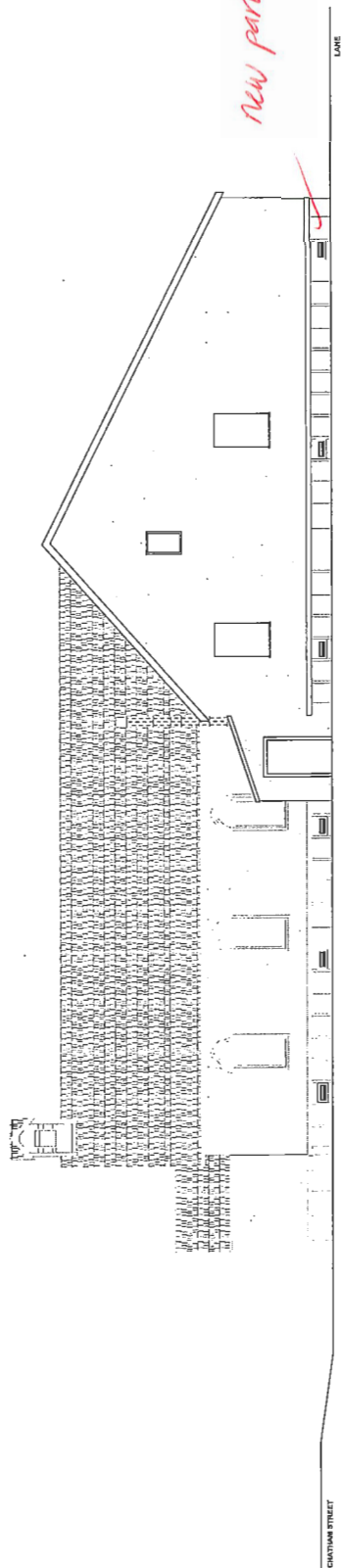
221 Court Blvd  
Tomball, TX 77375  
Houston 1 office

2017-2022 - 2711 Chatham St.  
Savannah, Georgia, GA

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

**A2.0**  
NORTH & SOUTH  
ELEVATIONS

HA 18-018536 Amendment Plan #2



**PLN - 66**

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BIRMINGHAM  
WOOD

231 Canal Street  
Newark, N.J. 07102-2172  
maddell@njd.com

2017-022 - 3711 Chatham St.  
3711 Chatham Street  
Sloveston, Richmond, BC

[illegible]

## A2.1 EAST & WEST ELEVATIONS

## Amendment Plan #3