



**City of  
Richmond**

**Report to Development Permit Panel**

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**To:** Development Permit Panel

**Date:** October 3, 2017

**From:** Wayne Craig  
Director, Development

**File:** DV 17-771661

**Re:** **Application by Matthew Cheng Architect Inc. for a Development Variance Permit  
at 8480 No. 5 Road**

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**Staff Recommendation**

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum height for buildings from 12 m to 14.14 m to permit the construction of a Buddhist Temple at 8480 No. 5 Road on a site zoned "Assembly (ASY)".

A handwritten signature in black ink, appearing to read "Wayne Craig".

Wayne Craig  
Director, Development

DCB:blg  
Att. 3

## Staff Report

### Origin

Matthew Cheng Architect Inc., on behalf of the Tung Cheng Yeun Buddhist Association, has applied to the City of Richmond for permission to vary the provisions of Richmond Zoning Bylaw 5800 to increase the “Assembly (ASY)” maximum permitted building height from 12 m to 14.14 m in order to permit a taller roof peak on a proposed Buddhist temple building at 8480 No. 5 Road. The 3,416.7 m<sup>2</sup> (36,777.46 ft<sup>2</sup>) site is currently vacant.

The site was rezoned to “Assembly (ASY)” by Council on June 26, 2017.

Site servicing and frontage improvements will be secured prior to issuance of a Building Permit with works including the following:

- The design and construction of a 1.5 m wide treed and grassed boulevard and a new 1.5 m wide concrete sidewalk along No. 5 Road.
- Installation of a new water connection, complete with meter and meter box.
- Upgrading of approximately 75 m of routing storm sewer.
- Relocation of an existing storm inspection chamber on the west property boundary.
- Installation of new sanitary service connections and inspection chambers along the frontage.
- Completion of a street lighting assessment and recommended lighting upgrades along the site’s frontage, etc.

### Development Information

The Buddhist Association’s original proposal was for a building that was approximately 6 m (19.68 ft.) over the 12 m maximum height allowed under the “Assembly (ASY)” zoning. In response to concerns regarding the building height and massing raised by the Shia Muslim Community of BC the adjacent property owners, the applicant made extensive revisions to their plans reducing the overall height of the building, altering the shape of the roof peak to reduce the extent of the area requiring a height variance and moving the building northward and closer to No. 5 Road – effectively moving further away from the adjacent Muslim building. Having subsequently reviewed the revised proposal indicating a building of approximately 14.09 m (46.23 ft.) in height for the site, the Shia Muslim Community representatives submitted a letter of support to Planning Committee on March 7, 2017 (see Attachment 1). The revised plans showing the slightly higher 14.14 m (46.39 ft.) elevation were provided to and reviewed by the Shia Muslim Community representatives on September 14, 2017. No further concerns were raised by the representatives. The additional height requested is to allow the building’s appearance to more closely resemble the traditional character of a Chinese Buddhist Temple.

The proposed temple building will be a two-storey wood construction building, approximately 1,308.07 m<sup>2</sup> (14,080 ft<sup>2</sup>) in floor area. The building will contain a kitchen and dining hall, administration offices, a library, and a dormitory containing two sleeping units on the main floor and a worship hall and two offices on the top floor. Parking is provided at ground level along

three sides of the building. The proposed uses are all permitted under the “Assembly (ASY)” zone.

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant bylaw requirements.

## **Background**

Development surrounding the subject site is as follows:

- North: A property owned by the Shia Muslim Community of BC at 8320 No. 5 Road on a split- zoned site “Assembly (ASY)” on the westerly 110 m and “Agriculture (AG1)” on the eastern portion, and located within the ALR and the No. 5 Road Backlands Policy area.
- East and South: A property owned by the Shia Muslim Community of BC at 8580 No. 5 Road on a split-zoned site, “Assembly (ASY)” on the westerly one-third of the property (approximately 1.3 ha) and “Agriculture (AG1)” on the eastern portion. The site is located within the ALR and the No. 5 Road Backlands Policy area.
- West: Directly across No. 5 Road at 8451 No. 5 Road is a split-zoned property with “Roadside Stand (CR)” on the front portion and “Agriculture (AG1)” on the back portion. The property is located within the ALR, but is not located within the No. 5 Road Backlands Policy area.

## **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Variance Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Assembly (ASY)” zone except for the zoning variance noted below.

### **Zoning Compliance/Variations (staff comments in bold)**

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500, “Assembly (ASY)” zone, to increase the maximum height for buildings from 12.0 m to 14.14 m at 8480 No. 5 Road.

*(Staff supports the proposed variance for the following reasons:*

- 1. The proposed increase in height does not result in an increase in useable floor area or a change in use within the building.*
- 2. No significant increase in shadowing to neighbouring properties will result from the 2.14 m increase in height of the roof line. The submitted shadow study does indicate limited shadowing of the street frontage but only in the mid-winter morning hours. This is not anticipated to pose a significant concern.*

3. *The most impacted neighbours as owners of lands on three sides of the subject site the Shia Muslim Community of BC, have indicated their support of the proposed development with the increased roof height. The project will significantly improved streetscape providing a new 1.5 m wide treed and grassed boulevard and a new 1.5 m wide concrete sidewalk. The installation of a managed Zen garden cultural landscape along the front of the building will further enhance the appearance from No. 5 Road.*
4. *The additional height will allow the proposed building to take on the appearance that is more characteristic of a Buddhist Temple which would typically include a peaked and ornamental roof line. The proposed variance is less than other building height variances in the area (see the analysis section for comparisons).*

### **Advisory Design Panel Comments**

The Advisory Design Panel initially reviewed the proposal on July 6, 2017, but did not support it primarily due to concerns over potential impacts of the mechanical systems on the exterior building design and the location and design of the handicapped parking spaces and the handicapped access to the building.

The Advisory Design Panel reviewed the revised application on August 2, 2017 and supported the application subject to consideration of their comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes from July 6, 2017 and August 2, 2017 are attached for reference (Attachments 3 and 4). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***' in each of the two attachments.

### **Analysis**

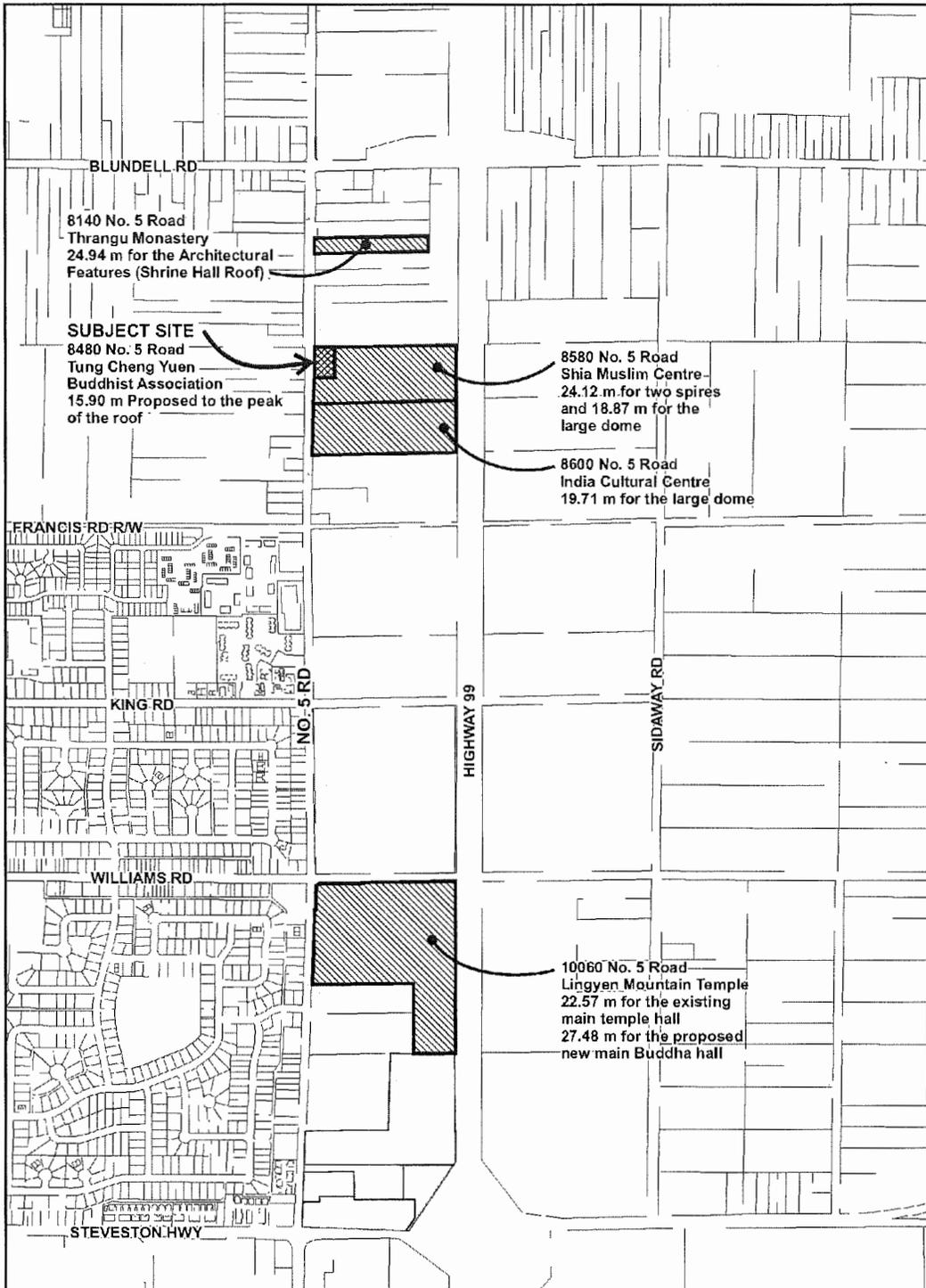
Staff researched maximum building heights for Assembly zoned parcels along No. 5 Road between Blundell Road and Steveston Highway as part of a recent application for the Lingyen Mountain Temple (DV 17-771661) and as part of the No. 5 Road Backlands study. Based on this research and information provided by the applicant, Table 1 below and the associated map on the following page shows approximate heights for "Assembly" zoned buildings in the vicinity of the subject site.

Table 1: Religious Assembly Maximum Building Heights

| Site   | Maximum Building Height<br>(Above Finished Grade)                     | Maximum Building Height<br>(Geodetic)                                  |
|--|---|--|
| Shia Muslim at 8580 No. 5 Road                       | 20.1 m (66 ft.) for 2 spires and<br>15.4 m (51 ft.) for large dome ** | 24.12 m (79 ft.) for 2 spires and<br>18.87 m (62 ft.) for large dome * |
| India Cultural Centre at<br>8600 No. 5 Road          | 17.12 m (56.2 ft.) for Onion dome **                                  | 19.71 m (64.7 ft.) for Onion dome **                                   |
| Thrangu Monastery at<br>8140 No. 5 Road              | 21.44 m (70.34 ft.) to top of the<br>shrine hall **                   | 24.94 m (81.84 ft.) to top of the<br>shrine hall **                    |
| Existing LMT at 10060 No. 5 Road                     | 21 m (69 ft.) for the existing Main<br>Buddha Hall **                 | 22.57 m (74 ft.) for the existing Main<br>Buddha Hall **               |
| Proposed LMT Expansion at<br>10060 No. 5 Road        | 25.9 m (85 ft.) for the proposed new<br>Main Buddha Hall **           | 27.48 m (90 ft.) for the proposed<br>new Main Buddha Hall **           |
| Buddhist Temple at<br>8480 No. 5 Road (Subject Site) | 14.14 m (46.41ft.) to proposed roof<br>peak *                         | 15.9 m (52.17 ft.) to proposed roof<br>peak *                          |

\* Data based on survey information provided by the applicant. \*\* Data based on Building Permit records.

As noted in the above table, the maximum building height requested for the subject site's temple is 14.14 m (46.41ft.) above finished site grade. The geodetic height will be approximately 15.9 m. The area proposed to be higher than 12 m in height will be approximately 17.44 m long by 3.42 m deep (57.2 ft. long by 11.23 ft. deep) for a total area of approximately 59.64 m<sup>2</sup> (642 ft<sup>2</sup>) at the base. The proposed ridge becomes slightly smaller as it rises upward to the 14.14 m proposed height above finished grade.



### Height Comparisons (all values are geodetic)

Original Date: 05/18/17

Amended Date: 05/23/17

Note: Dimensions are in METRES

***Conditions of Adjacency***

- Sun shading analysis (included in the submission) has been undertaken indicating minimal impact upon adjacent properties as a result of the proposed 2.14 m roof peak addition.
- The proposed Buddhist temple building will be set back almost 19 m from the southern property boundary and over 20 m from the eastern property boundary to ensure good separation from the existing Muslim temple on the adjacent property at 8580 No. 5 Road.
- Perimeter landscaping and fencing on three sides of the site will be used to screen and separate the adjacent uses.
- The proposed Buddhist temple building will be setback almost 8 m from No 5 Road allowing for additional landscaping to create a softer interface with the fronting street.

***Urban Design and Site Planning***

- Vehicle access will be provided by a single driveway access from No. 5 Road at the northwestern corner of the property, but will not encroach into the ESA/tree protection area along the northern property boundary. This driveway location was recommended by the Advisory Design Panel and is supported by Transportation staff.
- At grade parking will be provided along the perimeter of three sides of the site and will be well set back and partially screened from No. 5 Road by landscaping.
- 74 parking spaces including two handicapped spaces, are proposed, along with one medium sized loading stall located in the northeastern corner of the property fully addressing the Zoning Bylaw requirements for parking.
- The handicapped parking stalls will be located near the front entrance – one to the north side of the building and one to the south side of the building – again as recommended by the Advisory Design Panel. Both spaces will be in close proximity to accessible ramps leading to the front door of the building.
- Three Class 1 and eight Class 2 bicycle spaces are proposed which will address the Zoning Bylaw requirements for the provision of bicycle spaces.
- Turning radii have been submitted showing that trucks will be able to adequately access and service the site for garbage/recycling pickup and deliveries.
- The main building entrance will be oriented toward No. 5 Road with accessible ramp structures leading to both the north and southern side of the building. Two additional building entrances will be provided at the eastern side (rear) of the building providing service delivery access and access to the interior of the building.

***Architectural Form and Character***

- The building's design is proposed to be reflective of a traditional Buddhist architectural style incorporating symmetry, various traditional ornamental features, and a modified version of the traditional Chinese temple roof design.
- The proposed two storey building will have a traditional two-tiered orange-yellow glazed ceramic tile roof with roof ridges and corner flares.
- The upper storey exterior is proposed to be an off-white ("vintage taupe") painted smooth texture stucco with red decorative beams, columns and window frames/trim.
- The lower storey is proposed to be red painted stucco with red decorative beams, columns, window frames/trim and doors.
- Windows will be typically double paned with munting and clerestorey windows.

- Decorative panels will be mounted on the lower storey exterior walls to match the window style.
- A stone rail with relief sculptures/engraving will line the two accessibility ramps leading from the main entrance to both the north and south parking areas.
- A maroon brick cladding will line the base of the accessibility ramps.
- Steps will lead down from the main entrance which fronts onto No. 5 Road connecting to a bench lined walkway that joins to the public sidewalk along No. 5 Road.
- Special attention has been made to the mechanical systems to ensure that they do not penetrate the iconic roof line or seriously impact the building design. Mechanical venting and intakes are to be located in selected clerestory window areas and will be designed to blend into the overall design.
- A custom lattice frame will be used to screen the exterior ventilation/energy recovery (VRV/ERV) units at the rear of the building.

### ***Landscape Design and Open Space Design***

- The property has a small (approximately 25 m<sup>2</sup>) Environmentally Sensitive Area (ESA) designation along the north and west property lines which includes trees on the adjacent property to the north at 8320 No. 5 Road. This area is not to be impacted by the proposed development, as the parking and vehicle access will be set back from the driplines of these trees. The setback requirements have been reviewed by the City's Tree Protection staff.
- Protective fencing will be in place to ensure retention of 11 off-site trees located on the neighbouring property to the north at 8320 No. 5 Road and one tree jointly owned with 8320 No 5 Road.
- 57 replacement trees will be planted on-site – fully addressing the requirement for 56 replacement trees permitted to be removed through the Rezoning application (RZ 14-674068).
- In response to the Advisory Design Panel, the landscaping at the front of the site was redesigned to “introduce cultural specific elements such as Zen garden arrangements to compliment the Buddhist temple design. The Zen garden symbolically represents nature or Yin/Yang concept by using man made elements such as stone paver path and stone ornament in a harmonious arrangement with the natural landscape design. Areas of paver stone rearranged in linear pattern to reflect the solemn Buddhist temple design which is commonly seen in Asian Buddhist temple.” A walkway around the landscaped area complete with benches have also been added to the front of the site.
- The perimeter of the site will be landscaped with various trees and shrubs providing a visual relief from the adjacent properties.
- Permeable pavers are used for all the parking spaces adjacent to the property boundaries and at the main driveway entry to reduce impermeable surface areas/act as a visual cue to the site's entrance way.
- Garbage and recycling facilities have been relocated to the north-eastern corner of the site away from the adjacent Shia Muslim temple.
- Landscape Securities in the amount of \$167,107.38 were submitted through the previously approved Rezoning application (RZ 14-674068). No additional landscape securities are required with this application.

***Crime Prevention Through Environmental Design***

- The primary building entrances will be visible to the street.
- Perimeter fencing will be maintained along three sides of the site.
- The at-grade parking will be generally visible and open to visual scanning.

***Energy and Sustainability***

- The applicant indicates that, although no LEED target has been established, the building will be designed as a sustainable project using efficient HVAC and plumbing systems to the extent possible. Their objective in terms of energy use will be to have the project beat the required ASHRAE 90.1.2010 code requirements by approximately 10 to 15%.
- Domestic hot water will be provided via a high efficiency gas fired hot water tank serving the kitchen, guest rooms and washrooms.
- Variable refrigerant volume (VRV) and energy recovery ventilator (ERV) systems will provide ventilation, heating and cooling to the main floor and two VRV units will address the needs of the worship area on the second floor. The ERV systems will be equipped with a variable speed drive to maximize energy efficiency by reducing its capacity when the building has low occupancies.
- High efficiency plumbing fixtures proposed are anticipated to reduce water use by 20 to 30% over the LEED 2009 baseline standard.

**Conclusions**

The applicant made significant modifications to the overall building and site design in response to both the Advisory Design Panel and staff. The modifications have helped to improve the functionality of the project and address the concerns raised. As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Variance Permit to increase the maximum height for buildings to 14.14 m at 8480 No. 5 Road be endorsed, and issuance by Council be recommended.



David Brownlee  
Planner 2  
(604-276-4200)

DCB:blg

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/tp/special.htm>).

List of Attachments:

Attachment 1 Shia Muslim Community letter of support to Planning Committee  
(March 7, 2017)

Attachment 2 Development Application Data Sheet

Attachment 3 Advisory Design Panel Comments and Applicant Responses – August 2, 2017

Schedule 1 to the Minutes of the *To: Planning Committee*  
Planning Committee meeting of *March 7, 2017*  
Richmond City Council held on *re: Item # 2 (RZ 14-674068)*  
Tuesday, March 7, 2017.



**Az-Zahraa ISLAMIC CENTRE**  
SHIA MUSLIM COMMUNITY OF BRITISH COLUMBIA  
8580 #5 ROAD RICHMOND BC CANADA V6Y 2V4 TEL: 604.274.7869 [www.az-zahraa.org](http://www.az-zahraa.org)

March 4, 2017

Planning Committee  
City of Richmond  
Richmond, BC

RE: RZ 14-674068 8480 No 5 Road Temple Rezoning Application

Dear Sir/Madam,

We are writing in appreciation of the information recently provided to us by Mr. David Brownlee, with regards to the rezoning application for the proposed Buddhist Temple at 8480 Number 5 Road.

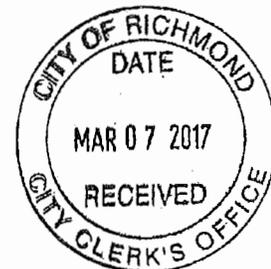
We really appreciate all the efforts that Mr. Brownlee and the Members of the Buddhist Community along with their architect, have made to address the concerns we brought forward. While it is not perfect with the height being over the permissible limit, our Community is sympathetic to the needs of the Buddhist Community.

With these changes, we are now in a position to support their application. Being their neighbours on both sides of the property (8580 and 8320 No. 5 Rd), we look forward to a mutually supportive and fruitful relationship.

Best regards,

Shaheen Rashid  
Secretary, The Shia Muslim Community of BC  
[secretary@az-zahraa.org](mailto:secretary@az-zahraa.org)

CC: Mr. David Brownlee





**DV 17-771661**

**Attachment 2**

Address: 8480 No. 5 Road

Applicant: Matthew Cheng Architect Inc.

Owner: Tung Cheng Yuen Buddhist Association

Planning Area(s): East Richmond – McLennan Sub-Area

Floor Area Gross: 1,308.07 m<sup>2</sup>

|                            | <b>Existing</b>         | <b>Proposed</b>     |
|----------------------------|-------------------------|---------------------|
| <b>Site Area:</b>          | 3,416.7 m <sup>2</sup>  | No Change           |
| <b>Land Uses:</b>          | Vacant                  | Institutional       |
| <b>OCP Designation:</b>    | Community Institutional | No Change           |
| <b>Zoning:</b>             | Agriculture (AG1)       | Assembly (ASY)      |
| <b>Other Designations:</b> | ESA                     | ESA DP not required |

| <b>On Future Subdivided Lots</b>   | <b>Bylaw Requirement</b> | <b>Proposed</b>          | <b>Variance</b> |
|------------------------------------|--------------------------|--------------------------|-----------------|
| Floor Area Ratio:                  | Max. 0.5                 | 0.4                      | none permitted  |
| Lot Coverage – Building:           | Max. 35 %                | 19 %                     | none            |
| Setback – Front Yard (m):          | Min. 6 m                 | 7.7 m                    | none            |
| Setback – North Side Yard (m):     | Min. 7.5 m               | 17.95 m                  | none            |
| Setback – South Side Yard (m)      | Min. 7.5 m               | 18.58 m                  | none            |
| Setback – Rear Yard (m)            | Min. 7.5 m               | 20.24 m                  | none            |
| Height (m):                        | 12 m                     | 14.14 m                  | Variance        |
| Off-street Parking Spaces – Total: | 74                       | 74                       | none            |
| Accessible Parking Spaces          | 2                        | 2                        | none            |
| Loading Spaces                     | 1 medium                 | 1 medium                 | none            |
| Bicycle Spaces                     | Class 1: 3<br>Class 2: 8 | Class 1: 3<br>Class 2: 8 | none            |

**Excerpt from the Minutes from  
The Design Panel Meeting**

**Wednesday, August 2, 2017 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall**

**1. DV 17-771661 (RESUBMISSION) - TWO-STOREY 1,308 S.M. BUDDHIST TEMPLE WITH HEIGHT VARIANCE FOR ROOF DESIGN**

ARCHITECT: Matthew Cheng Architect Inc.

PROPERTY LOCATION: 8480 No. 5 Road

**Applicant's Presentation**

Roy Kuo, Matthew Cheng Architect Inc., and Caelan Griffiths, PMG Landscape Architects, presented the project and answered queries from the Panel. Matthew Cheng, Matthew Cheng Architect, Inc. responded to the comments of the Panel.

**Panel Discussion**

*Comments from the Panel were as follows:*

- appreciate the mechanical engineer for the project providing the Panel with mechanical plans, although not required at this stage of the project;
- mechanical and sustainability features for the project have not been integrated into the building's architecture; e.g. location of louvers indicated in the building's façade, but not integrated into the architecture of the building;

***Clerestory portion will be utilized for air intake/exhaust ventilation. Detail in larger scale is provided to illustrate the integration of architectural panel and mechanical ducting. Reference Page: Architectural 3 /A2.2***

- freezer and cooler mechanical systems will also impact the building's shape and form enclosure needs to be expanded to accommodate these mechanical systems;

***All air intake / exhaust ventilation will be accommodated through clerestory portion of window frame. Detail ducting layout and air intake / exhaust location to be determined and to be integrated with architectural design.***

- proposed kitchen exhaust system may not meet National Fire Protection Association (NFPA) 96 standards louvers for venting kitchen exhaust have potential maintenance problems, e.g. will accumulate grease over time;

***Grease trap is proposed to be installed in mechanical room for kitchen exhaust to filter most grease before kitchen ventilation exhaust through clerestory portion of window frame.***

- support the building frontage sited adjacent to No. 5 Road as it will create opportunities for landscaping however, proposed landscaping needs clarity and design development, e.g. clarify whether the sod lawns fronting the building could be accessed by pedestrians;

***Revised landscape proposed a walkway around landscaping area for visitor to enjoying the landscape design. Reference Page: Landscape L1***

- applicant could have provided an Arborist's Report to provide information to the Panel regarding the condition of the trees to be removed;

***Arborist report was submitted as part of rezoning application package. All tree removals are based on recommendation of arborist report.***

- proposed ramps could be further articulated through incorporating relief sculpture as mentioned by the applicant;

***Details of relief sculpture or engraving to be further studied and incorporated at construction stage***

- consider increasing the width of the ramps to accommodate two people walking side-by-side as the ramps will be accessed more than the front stairs to enter the building increasing the width of the ramps may necessitate going beyond the setback line but would be justifiable;

***Ramps are widen to 5'-7 ½" with 4'-7 ½" wide interior path clearance to accommodate two people walking side by side. Reference Page: Architectural 1/A1.0***

- consider incorporating elements below the ramps to provide a more inviting experience for users;

***Space under proposed ramps to be blocked by brick wall on exterior side. Reference Page: Architectural A2.5***

- appreciate the proposed architectural details presented by the applicant hope that they will be incorporated into the building as the project moves forward as they will enhance the architecture of the building;

***All architectural elements shall follow and be executed traditional Chinese temple detail and aesthetics.***

- consider relocating the pad-mounted transformer (PMT) at the northwest corner of the site to a less prominent location;

***PMT is place at location where it is easily accessed for installation and maintenance. Although PMT is visible to pedestrian on public sidewalk, 3 sides surround PMT are landscaped to provide partial visual blockage. Reference Page: Architectural 1/A0.1***

- support the siting of the building adjacent to No. 5 Road which creates opportunities for tree planting around the perimeter of the site however, information is lacking from the arborist regarding the condition of on-site trees to be removed;

***Arborist report was submitted as part of rezoning application package. All tree removals are based on recommendation of arborist report.***

- relationship between landscaping and architecture is not clearly presented landscaping could have been integrated into the architectural drawings;

*Revised landscape plans introduce cultural specific elements such as Zen garden arrangements to compliment the Buddhist temple design. The Zen garden symbolically represents nature or Yin/Yang concept by using man made elements such as stone paver path and stone ornament in a harmonious arrangement with the natural landscape design. Areas of paver stone rearranged in linear pattern to reflect the solemn Buddhist temple design which is commonly seen in Asian Buddhist temple. Reference Page: Landscape L1*

- proposed width and depth of the continuous soil trenches along the south property line would be inadequate due to size of trees to be planted and their proximity of the curb;

*Proposed soil trench is industry standard and shall provide adequate area for proposed trees to grow. Reference Page: Landscape L1*

- support the proposed permeable pavers on site however, the applicant could have explained how the proposed landscaping relates to the overall design of the project;

*Revised landscape plans introduce cultural specific elements such as Zen garden arrangements to compliment the Buddhist temple design. The Zen garden symbolically represents nature or Yin/Yang concept by using man made elements such as stone paver path and stone ornament in a harmonious arrangement with the natural landscape design. Areas of paver stone rearranged in linear pattern to reflect the solemn Buddhist temple design which is commonly seen in Asian Buddhist temple. Reference Page: Landscape L1*

- consider design development to the kitchen exhaust fan venting through the side of the building consider installing a significant overhang over the vent;

*All air intake / exhaust ventilation will be accommodated through clerestory portion of window frame. Detail ducting layout and air intake / exhaust location to be determined and to be integrated with architectural design.*

- provision of parking spaces should not be to the detriment of pedestrian access around the site pedestrian circulation should not conflict with vehicular circulation on site;

*Pedestrian circulation along north and south of the building is not provided due to site restriction and vehicular circulation / parking spaces requirements. Nevertheless, various entry and exit routes and points reduce risk of vehicular / pedestrian inference. Reference Page: Architectural 1/A0.1*

- consider relocating the loading and garbage and recycling areas closer to the site entry;

*Site entry is relocated to north end of the site for shorter route to access garbage and recycling area. Reference Page: Architectural 1/A0.1*

- consider providing loading access directly to the back of the building near the kitchen area;

***Kitchen location is relocated to North East portion of the building for shorter access to the loading space. Reference Page: Architectural 1/A0.1***

- consider at least a five-foot width for the ramps on both sides of the building entrance;

***Ramps are widen to 5'-7 ½" with 4'-7 ½" wide interior path clearance to accommodate two people walking side by side. Reference Page: Architectural 1/A1.0***

- paved walkway at the east side of the building is redundant consider converting the parking spaces at the north side of the building into a pedestrian space and relocating the VRV units on the paved walkway at the east side of the building to this area to make the walkway more functional;

***It is unlikely to provide additional pedestrian walkway on the north side of the building due to the parking layout and site restriction.***

- consider providing an access to the elevator off the main lobby on the main floor and off the upper lobby on the upper floor;

***Main and upper elevator lobbies are revised as per panel suggestion. Reference Page: Architectural 1/A1.0 & A1.1***

- consider pushing back the entrance doors to the dining hall into the dining hall area to provide a corridor space to access other areas in the building and provide privacy to the dining hall area;

***Provision of continuous corridor to separate dining hall from public pedestrian circulation. Reference Page: Architectural 1/A1.0***

- appreciate the applicant for providing two ramps which add interest to the front of the building;

- consider increasing the width of the ramps up to the full width of the front entrance landing to provide adequate space for users, e.g. enable a user to pass by another user and allow users to walk side-by-side;

***Ramps are widen to 5'-7 ½" with 4'-7 ½" wide interior path clearance to accommodate two people walking side by side. Reference Page: Architectural 1/A1.0***

- appreciate the relocation of one handicapped parking space to the northwest corner of the site;

***Two handicapped parking spaces are provided, one (#46) at NW corner of the site by vehicular entrance and the other one (#1) at SW corner. Reference Page: Architectural 1/A0.1***

- consider relocating the cross hatched access area beside the handicapped parking stall at the northwest corner between the subject handicapped parking stall and the adjacent regular parking stall to provide a common access area for the two parking stalls;

***Handicapped parking space (#1) at SW corner share common access area with regular parking space (#2). Reference Page: Architectural 1/A0.1***

- appreciate the applicant incorporating public art into the project the applicant is encouraged to investigate further opportunities to integrate public art in other locations on the project, e.g. near the sidewalk;

***In addition to stone railing relief sculpture, further opportunity for art will be investigated and incorporated into architectural and landscape design.***

- consider introducing an additional pedestrian sidewalk at the north parking area to connect with the paved walkway at the east side of the building consider differentiating the treatment for the additional pedestrian sidewalk through variation in colour;

***It is unlikely to provide additional pedestrian walkway on the north side of the building due to the parking layout and site restriction.***

- consider cutting back two regular parking stalls at the southeast corner to provide a ramp to the kitchen;

***Although the kitchen will incorporate commercial kitchen layout and equipment, it is likely the kitchen will not operate like a regular commercial kitchen of which constant re-stocking large quantity of food and supplies is required. Therefore, a ramp specifically serves kitchen loading activities will not be practical.***

- support the recommendation to increase the width of the ramps will make them appear grand and more appropriate to the context to the building;

***Ramps are widen to 5'-7 ½" with 4'-7 ½" wide interior path clearance to accommodate two people walking side by side. Reference Page: Architectural 1/A1.0***

- appreciate the design of the temple City staff is encouraged to ensure the high quality of detailing for the temple and at par with the standards of other temples in the area;

***All architectural elements shall follow and be executed traditional Chinese temple detail and aesthetics.***

- programming of landscape needs more integration with the architecture perspectives could have integrated the landscaping to enable the Panel to properly review the project;

*Revised landscape plans introduce cultural specific elements such as Zen garden arrangements to compliment the Buddhist temple design. The Zen garden symbolically represents nature or Yin/Yang concept by using man made elements such as stone paver path and stone ornament in a harmonious arrangement with the natural landscape design. Areas of paver stone rearranged in linear pattern to reflect the solemn Buddhist temple design which is commonly seen in Asian Buddhist temple. Reference Page: Landscape L1*

- consider flipping the driveway from the south side to the north side to locate the loading and garbage and recycling areas further away from the neighbouring mosque also, the southwest corner of the site could have more opportunities for landscaping, e.g. could incorporate a park/gathering place;

*Site entry is relocated to north end of the site for shorter route to access garbage and recycling area. Reference Page: Architectural 1/A0.1*

- investigate opportunities for providing public access to the sod lawns in front of the building;

*Revised landscape proposed a walkway around the landscaping area for visitor to enjoying the landscape design. Reference Page: Landscape L1*

- consider a pedestrian access into the site from the sidewalk near the PMT;

*Revised landscape design will incorporate pedestrian experience by provision of pedestrian circulation throughout yard spaces. Reference Page: Landscape L1*

- support the recommendation to provide elevator access off the main lobby and
- Main and upper elevator lobbies are revised as per panel suggestion. Reference Page: Architectural 1/A1.0 & A1.1*

- consider flipping the kitchen and the function room to reduce the distance of the kitchen from the loading area.

*Kitchen location is relocated to North East portion of the building for shorter access to the loading space. Reference Page: Architectural 1/A0.1*

### **Panel Decision**

It was moved and seconded

*That DV 17-771661 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.*

**CARRIED**

Opposed: Jubin Jalili and Amber Paul



# City of Richmond

## Development Variance Permit

No. DV 17-771661

To the Holder: MATTHEW CHENG ARCHITECT INC.  
 Property Address: 8480 NO. 5 ROAD  
 Address: C/O #202 - 670 EVANS AVENUE  
 VANCOUVER, BC V6A 2K9

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied as follows:
  - a) The maximum height for buildings is increased from 12.0 m to 14.14 m at 8480 No. 5 Road.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #19 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF

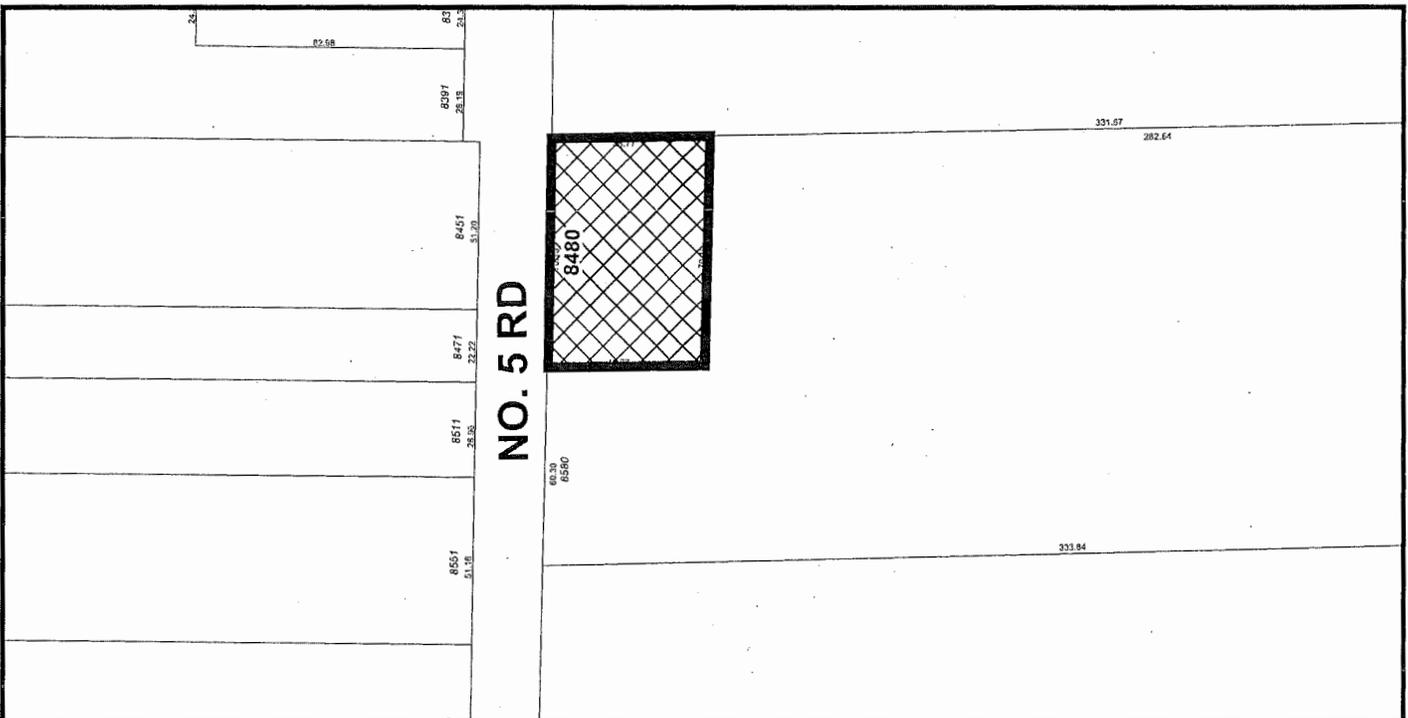
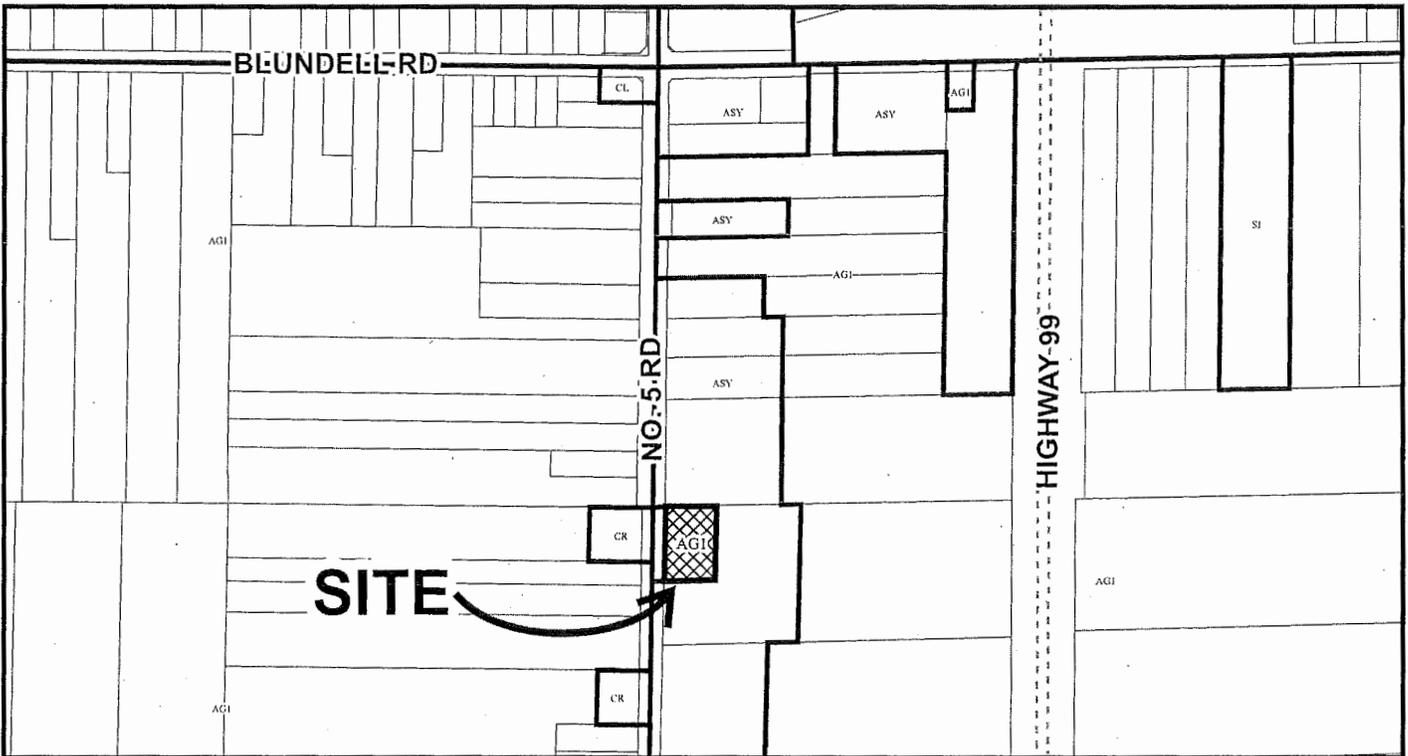
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

\_\_\_\_\_  
MAYOR



# City of Richmond



## DV 17-771661 SCHEDULE "A"

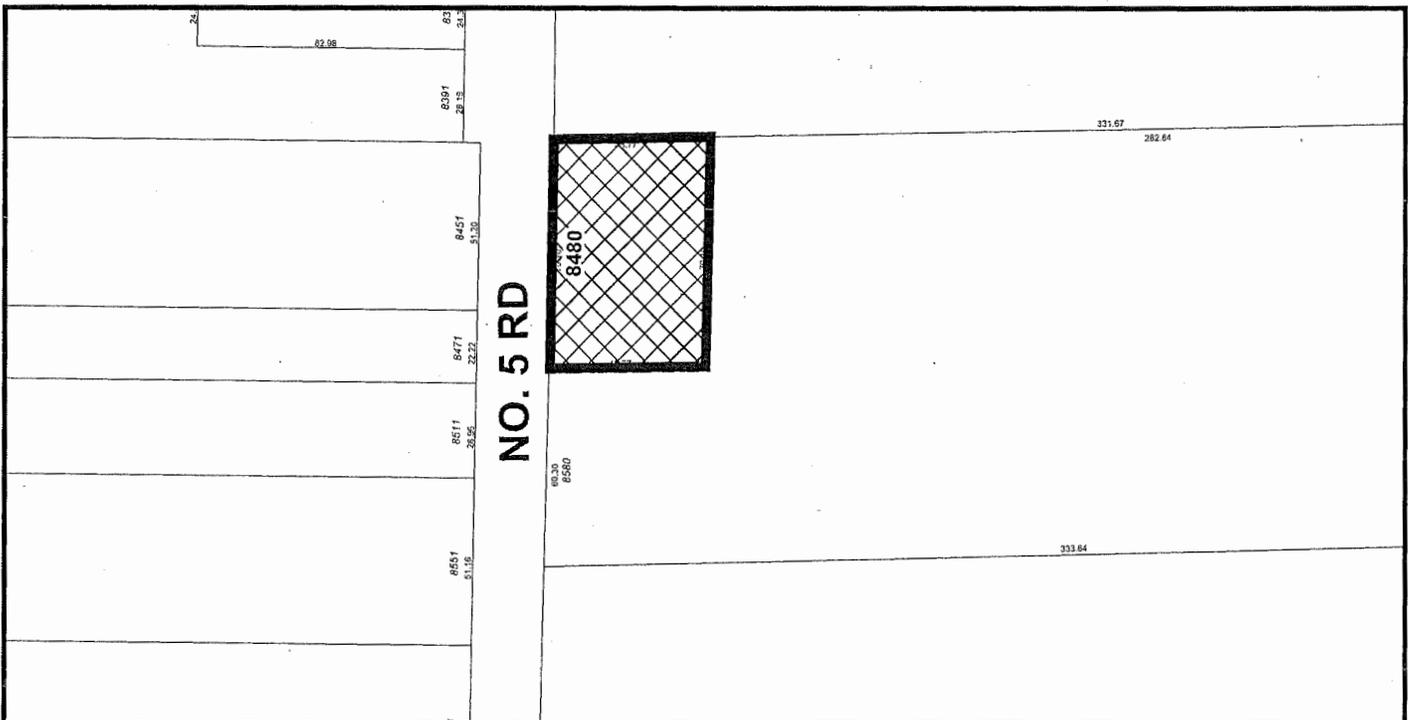
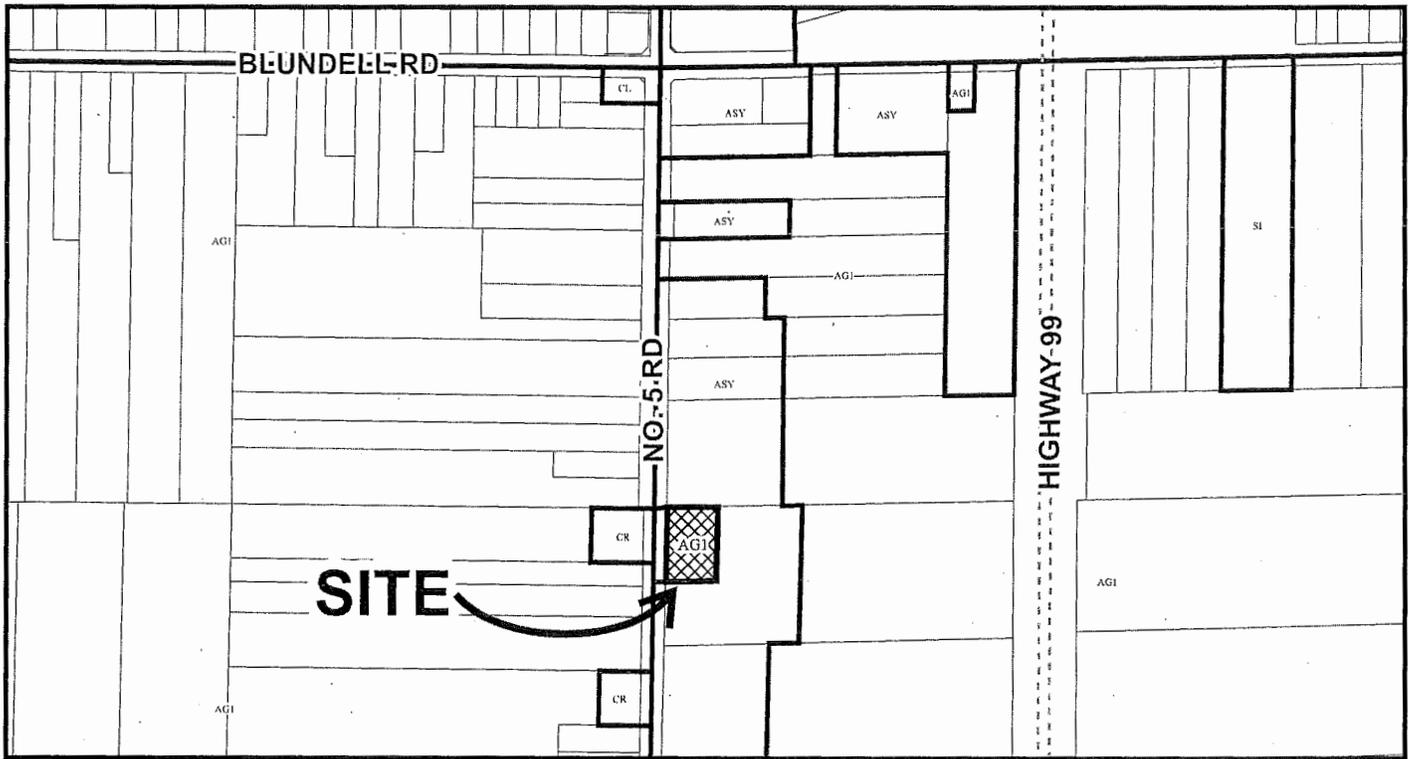
Original Date: 05/24/17

Revision Date:

Note: Dimensions are in METRES



# City of Richmond

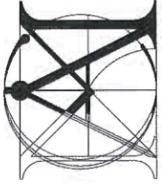
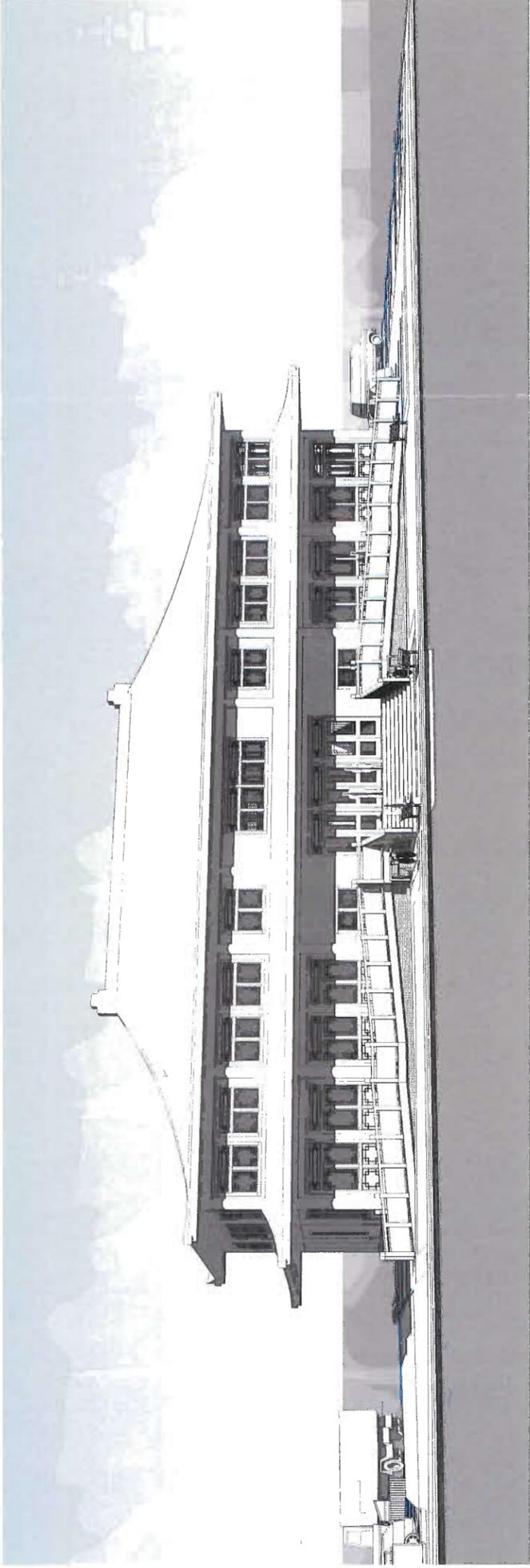


## DV 17-771661

Original Date: 05/24/17

Revision Date:

Note: Dimensions are in METRES



**MATTHEW  
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Revision:

Consultant

5

| Sheet Number | Sheet Name                  |
|--------------|-----------------------------|
| A0.0         | COVER PAGE                  |
| A0.1         | SITE PLAN                   |
| A0.2         | TURCK TURNING RADIUS PLAN   |
| A0.3         | SHADOW STUDY                |
| A1.0         | MAIN FLOOR PLAN             |
| A1.1         | UPPER FLOOR PLAN            |
| A1.2         | ROOF PLAN                   |
| A1.3         | PARKING CALCULATION OVERLAY |
| A2.0         | WEST & EAST ELEVATIONS      |
| A2.1         | NORTH & SOUTH ELEVATION     |
| A2.2         | SECTIONS                    |
| A2.3         | COLOURED ELEVATIONS         |
| A2.4         | MATERIALS & DETAILS         |
| A2.5         | PERSPECTIVES                |

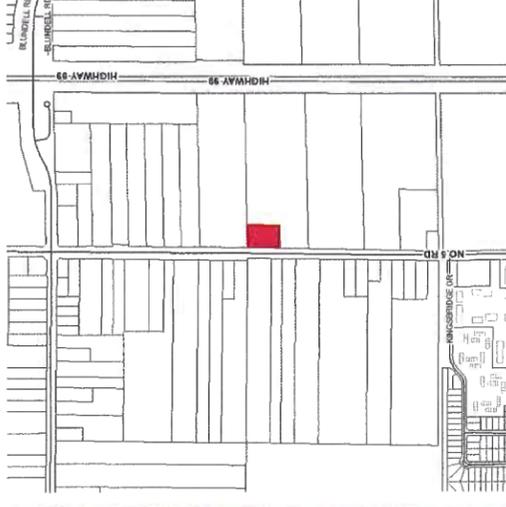
**PROJECT DATA**

|   | EXISTING   |                 | PROPOSED       |                 |
|---|--|-----------------|----------------|-----------------|
|   | METRIC (M/SM)  | IMPERIAL (F/SF) | METRIC (M/SM)  | IMPERIAL (F/SF) |
| ADDRESS                                     | 8480 NO.5 ROAD   | 8480 NO.5 ROAD  | 8480 NO.5 ROAD | 8480 NO.5 ROAD  |
| LEGAL DESCRIPTION                           | SURVEY PLAN OF LOT 14, SECTION 19, BLOCK 4 NORTH, RANGE 5 WEST, NEW WESTMINSTER DISTRICT, PLAN 29706 |                 |                |                 |
| PID   | 009-177-884  |                 |                |                 |
| SITE AREA                                   | 3,416.7  | 36,777.46       | 3,416.7        | 36,777.46       |
| LAND USE                                    | SINGLE FAMILY HOUSE & AGRICULTURE  |                 |                |                 |
| OCP DESIGNATION                             | RESIDENTIAL & AGRICULTURE  |                 |                |                 |
| ZONING                                      | AG1  |                 |                |                 |
|   | REQUIRED / ALLOWED   |                 | PROPOSED       |                 |
|   | METRIC (M/SM)  | IMPERIAL (F/SF) | METRIC (M/SM)  | IMPERIAL (F/SF) |
| FLOOR AREA RATIO (FAR)                      | 0.5  | 18,388.73       | 0.38           | 14,080.00       |
| FLOOR AREA TOTAL                            | 1,708.37   | 18,388.73       | 1,308.07       | 14,080.00       |
| LOT COVERAGE RATIO                          | 0.35   | 12872.11        | 0.19           | 7040            |
| LOT COVERAGE                                | 1,195.86   | 12872.11        | 654.04         | 7040            |
| SETBACK-FRONT YARD                          | 6  | 19.69           | 7.77           | 25.49           |
| SETBACK-SIDE YARD (NORTH)                   | 7.5  | 24.61           | 9.08           | 29.79           |
| SETBACK-SIDE YARD (SOUTH)                   | 7.5  | 24.61           | 17.95          | 58.90           |
| SETBACK-REAR YARD                           | 7.5  | 24.61           | 18.58          | 60.97           |
| HEIGHT                                      | 12   | 39.37           | 21.49          | 70.51           |
| LOT SIZE                                    | 3,416.7  | 36,777.46       | 20.24          | 86.40           |
| OFF-STREET PARKING TOTAL                    | 73.88  | 36,777.46       | 14.14          | 46.41           |
| OFF-STREET PARKING ACCESSIBLE (2% OF TOTAL) | 1.48   |                 | 3,416.7        | 36,777.46       |
| OFF STREET LOADING                          | 1 MEDIUM SIZE  |                 | 74             |                 |
| CLASS 1 BICYCLE SPACE                       | 2.44   |                 | 2              |                 |
| CLASS 2 BICYCLE SPACE                       | 7.04   |                 | 1 MEDIUM SIZE  |                 |
|   |  |                 | 3              |                 |
|   |  |                 | 8              |                 |

# JI-GONG BUDDHIST TEMPLE

## 8480 NO.5 ROAD, RICHMOND B.C.

### ISSUED FOR DEVELOPMENT PERMIT PANEL



Project  
8480 NO.5  
ROAD  
RICHMOND

Sheet  
COVER PAGE

Drawn: RK

Checked: MC

Scale:

Project Number:

14 R RE 02

Revision

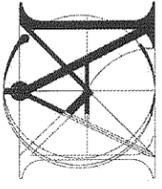
Draw. No.:

2017.09.11  
A0.0

Plan #1

OCT 2 5 2017

17-771661



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Revision:

OCT 25 2017

Project  
**8480 NO.5  
ROAD  
RICHMOND**

Sheet  
**SITE PLAN**

Drawn: RK

Checked: MC

Scale: 1/8" = 1'-0"

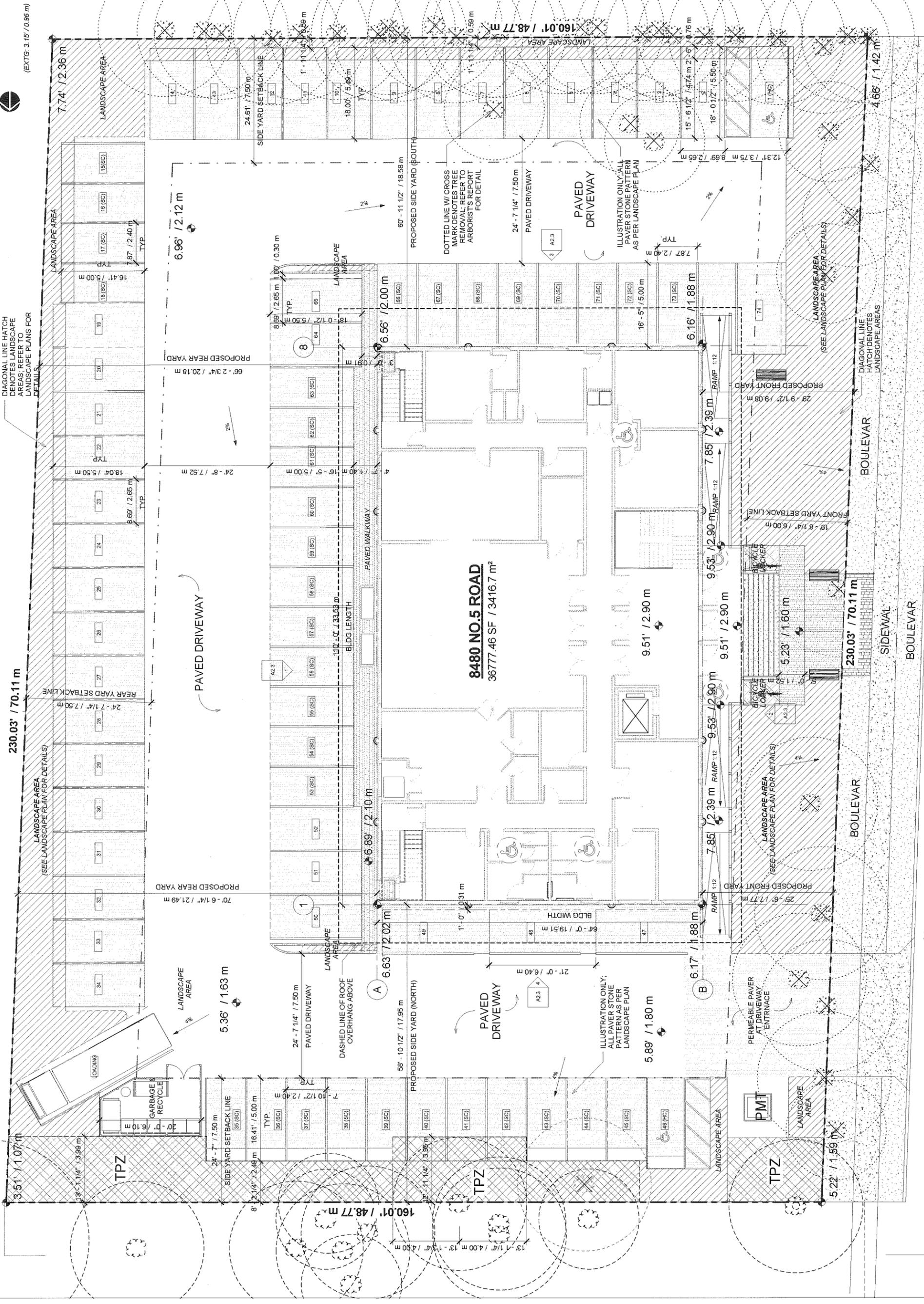
Project Number: 14 R RE 02

Revision:

Date: 2017/08/11

A0.1

Plan #2



(EXTG: 3.15' / 0.96 m)

DIAGONAL LINE HATCH  
DENOTES LANDSCAPE  
AREAS. REFER TO  
LANDSCAPE PLANS FOR  
DETAILS.

230.03' / 70.11 m

**8480 NO.5 ROAD**  
36777.46 SF / 3416.7 m²

**NO.5 ROAD**

**BOULEVARD**

**BOULEVARD**

**BOULEVARD**

**BOULEVARD**

**BOULEVARD**

**SIDEWALK**

**SIDEWALK**

**SIDEWALK**

**SIDEWALK**

**SIDEWALK**

TPZ

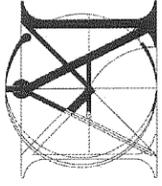
TPZ

TPZ

LOADING

GARBAGE  
RECYCLE

LANDSCAPE  
AREA



**MATTHEW  
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Revision:

Contributor:

OCT 25 2017

Project:

**8480 NO.5  
ROAD  
RICHMOND**

Sheet:

**TURCK  
TURNING  
RADIUS PLAN**

Drawn: RK

Checked: MC

Scale: 1" = 10'-0"

Project Number:

14 R RE 02

Revision:

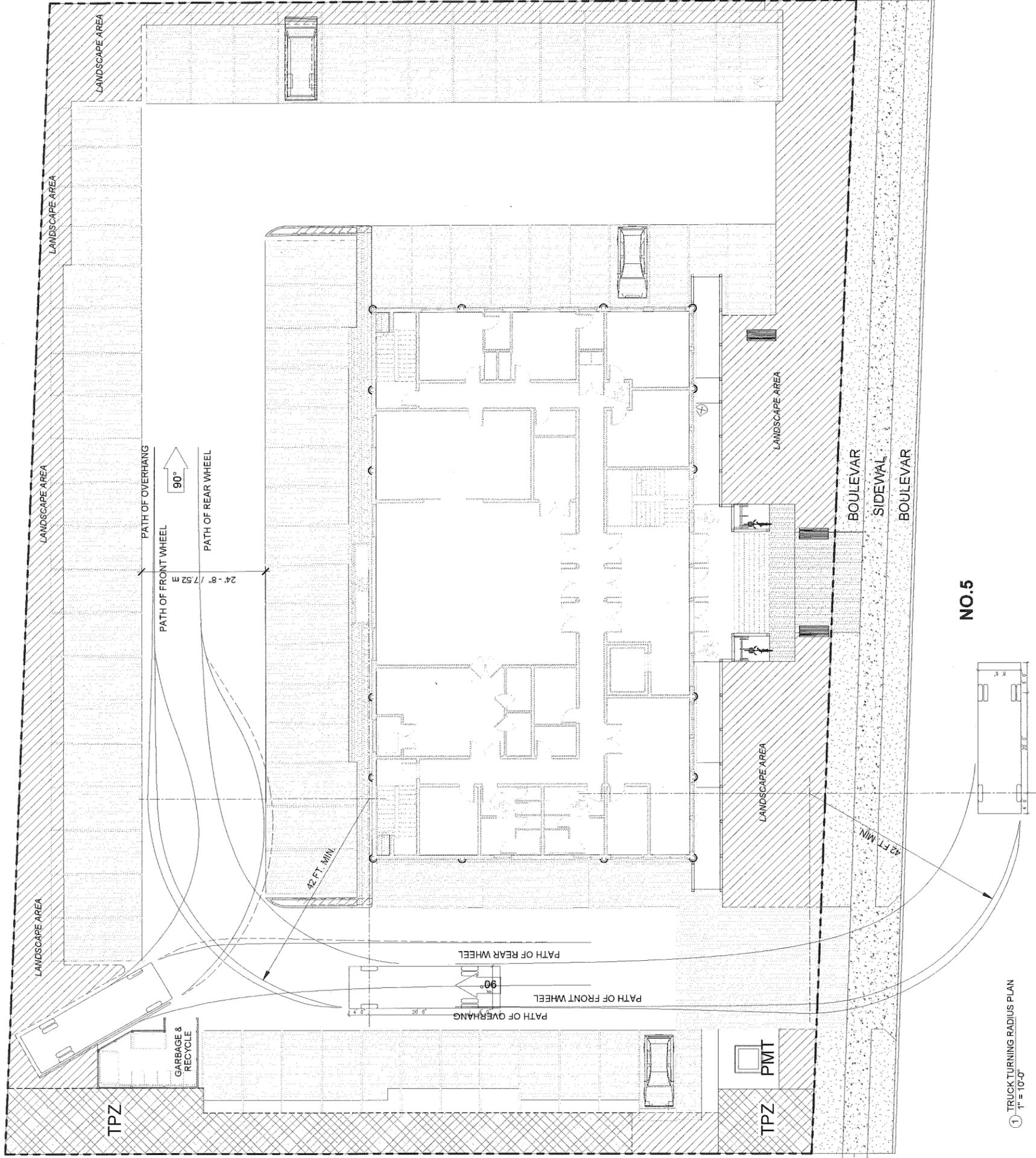
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Print:

2017/09/11

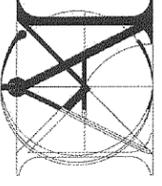
A0.2

Plan #3



**NO.5**

① TRUCK TURNING RADIUS PLAN  
1" = 10'-0"



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Revision:

Consultant

OCT 25 2017

Project  
**8480 NO.5 ROAD RICHMOND**

DP 17-771661

Sheet  
**SHADOW STUDY**

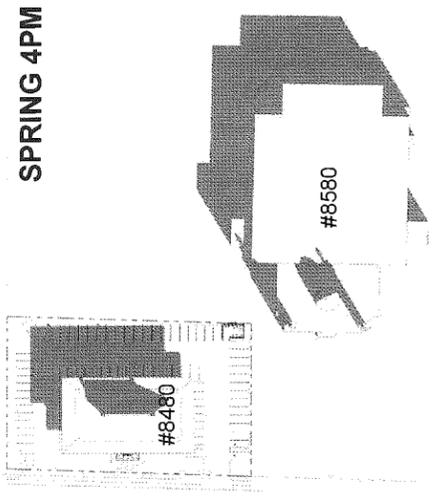
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**14 R RE 02**

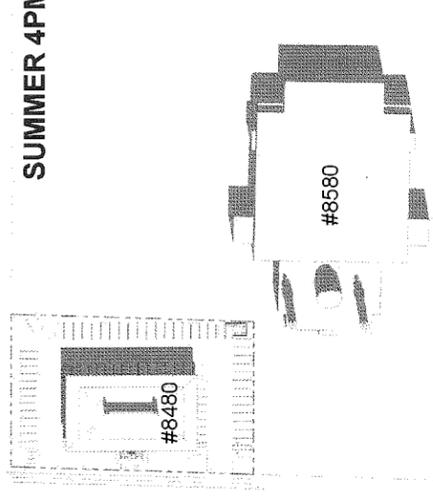
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Plot: 2017/08/11 **A0.3**

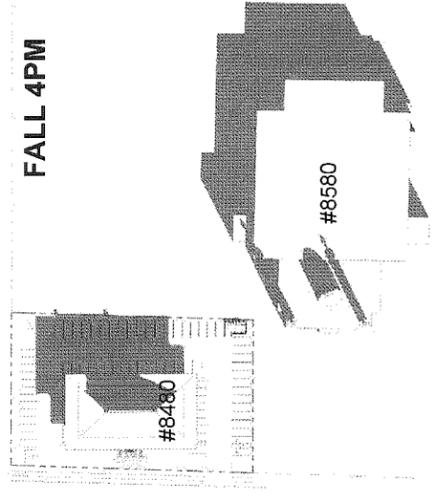
Plan #4



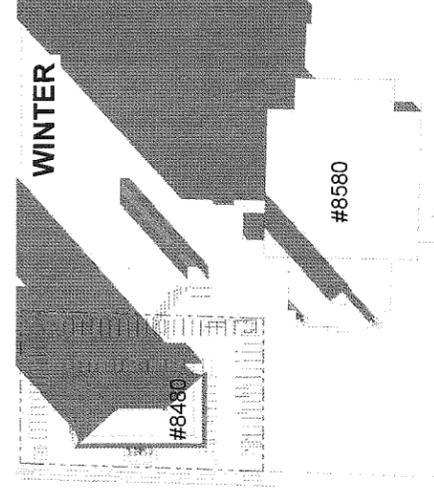
SPRING 4PM



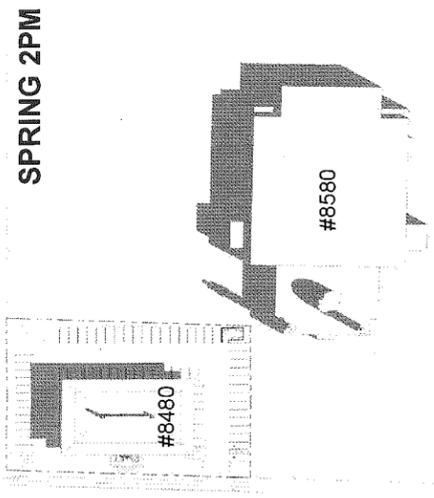
SUMMER 4PM



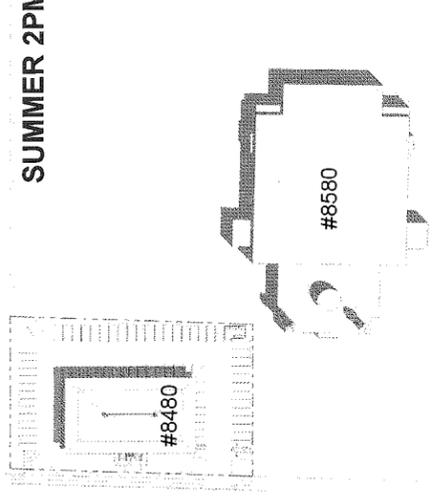
FALL 4PM



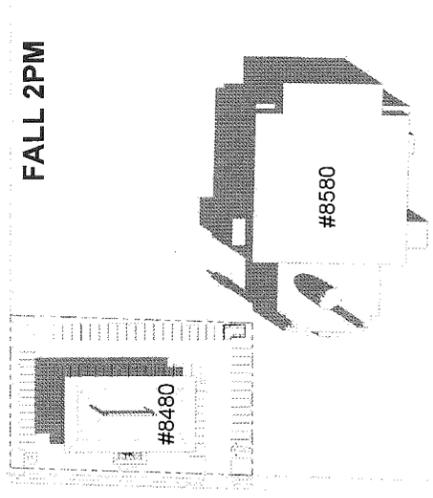
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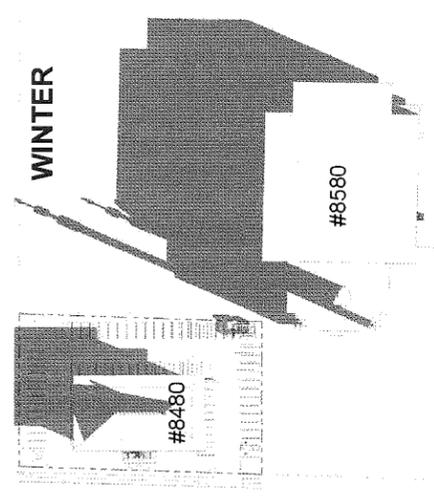
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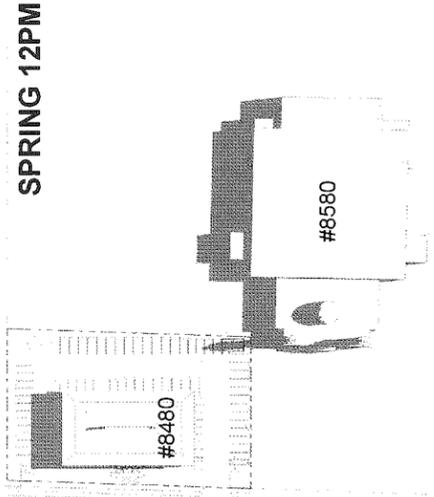
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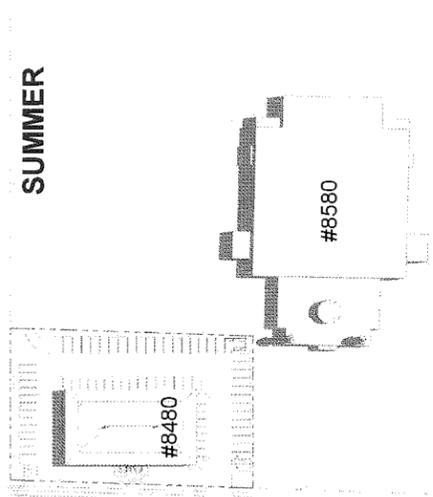
FALL 2PM



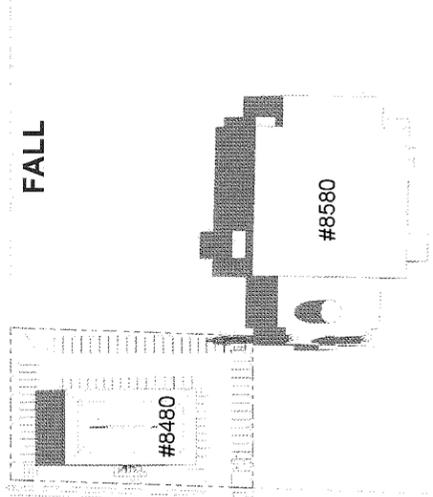
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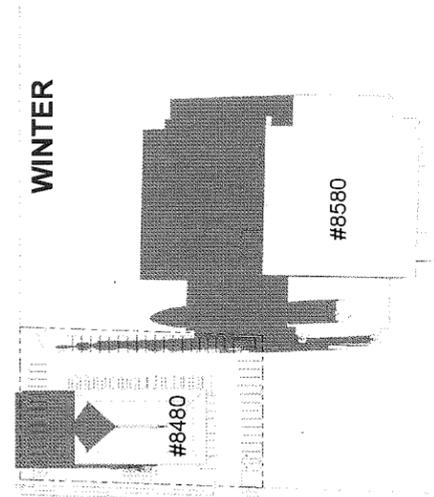
SPRING 12PM



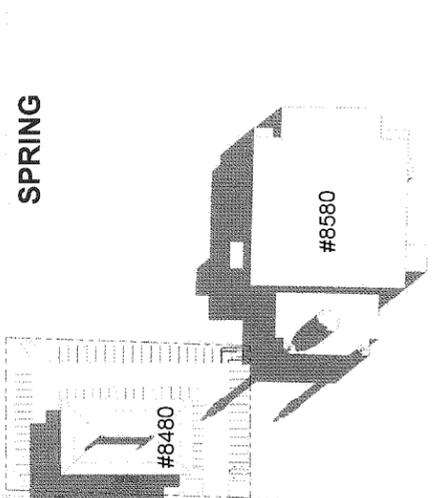
SUMMER



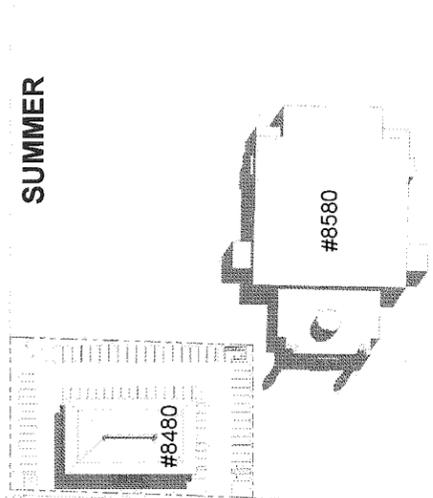
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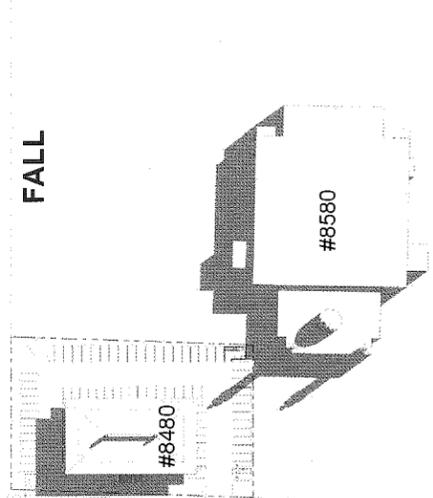
WINTER



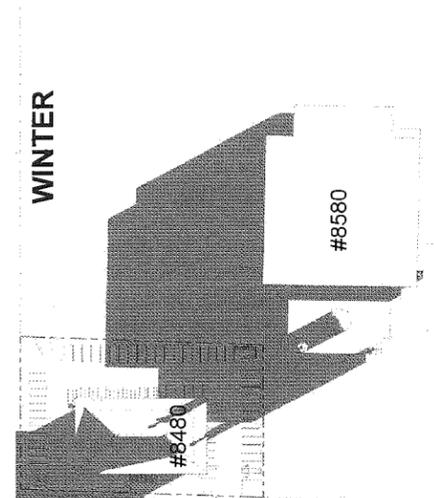
SPRING



SUMMER



FALL



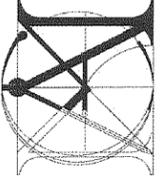
WINTER

NO.5 ROAD

NO.5 ROAD

NO.5 ROAD

NO.5 ROAD



**MATTHEW CHENG**

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Revision

OCT 25 2017

Consultant

Project  
**8480 NO.5 ROAD RICHMOND**

Sheet  
**MAIN FLOOR PLAN**

Drawn: RK

Checked: MC

Scale: 3/16" = 1'-0"

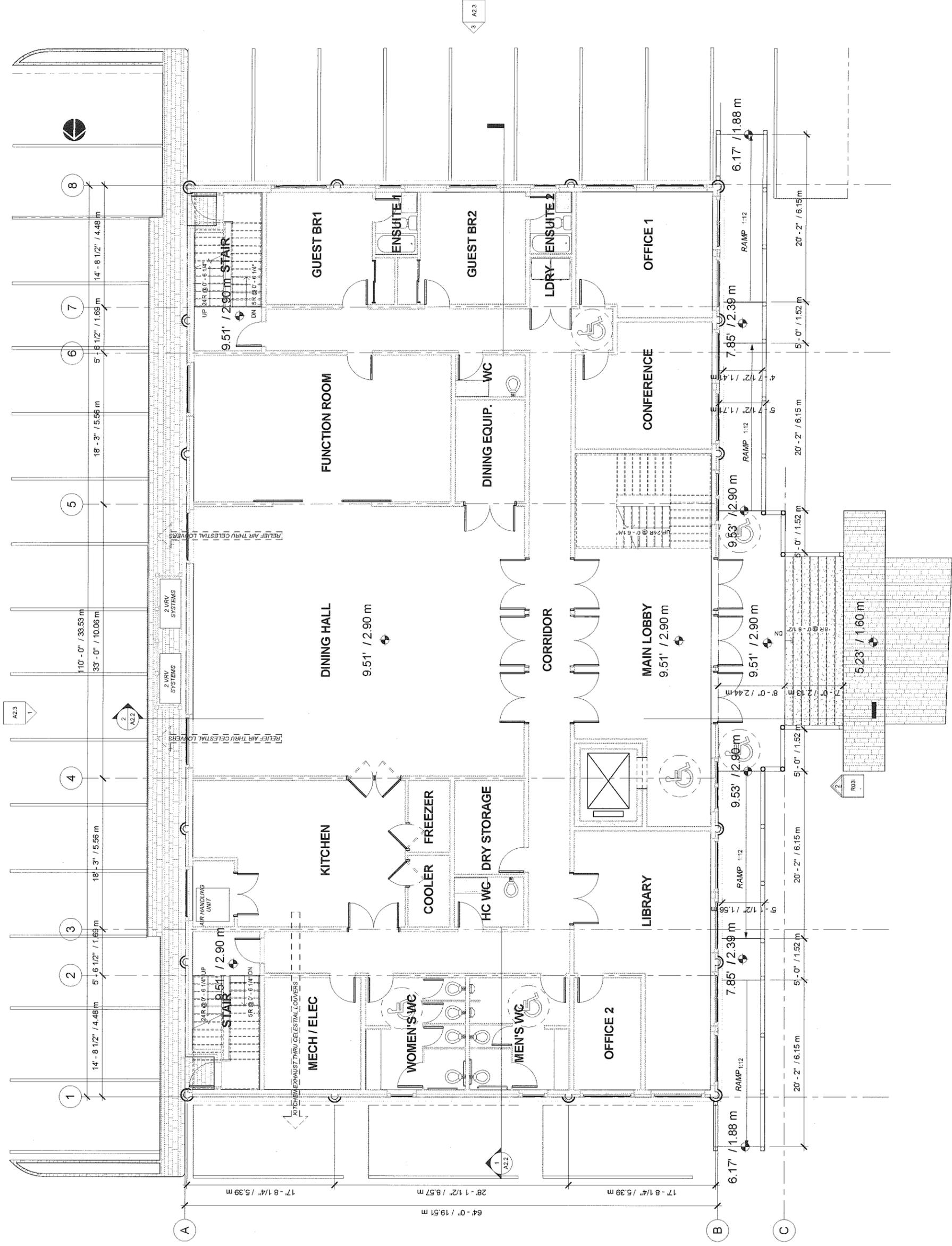
Project Number: 14 R RE 02

Revision

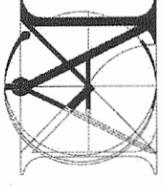
Dwg. No.: A1.0

Plot: 2017.08.11

Plan # 5



1 MAIN FLOOR PLAN  
3/16" = 1'-0"



**MATTHEW  
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Revision

Consultant

17-771661

Project  
**8480 NO.5  
ROAD  
RICHMOND**

Sheet  
**UPPER FLOOR  
PLAN**

Drawn: RK

Checked: MC

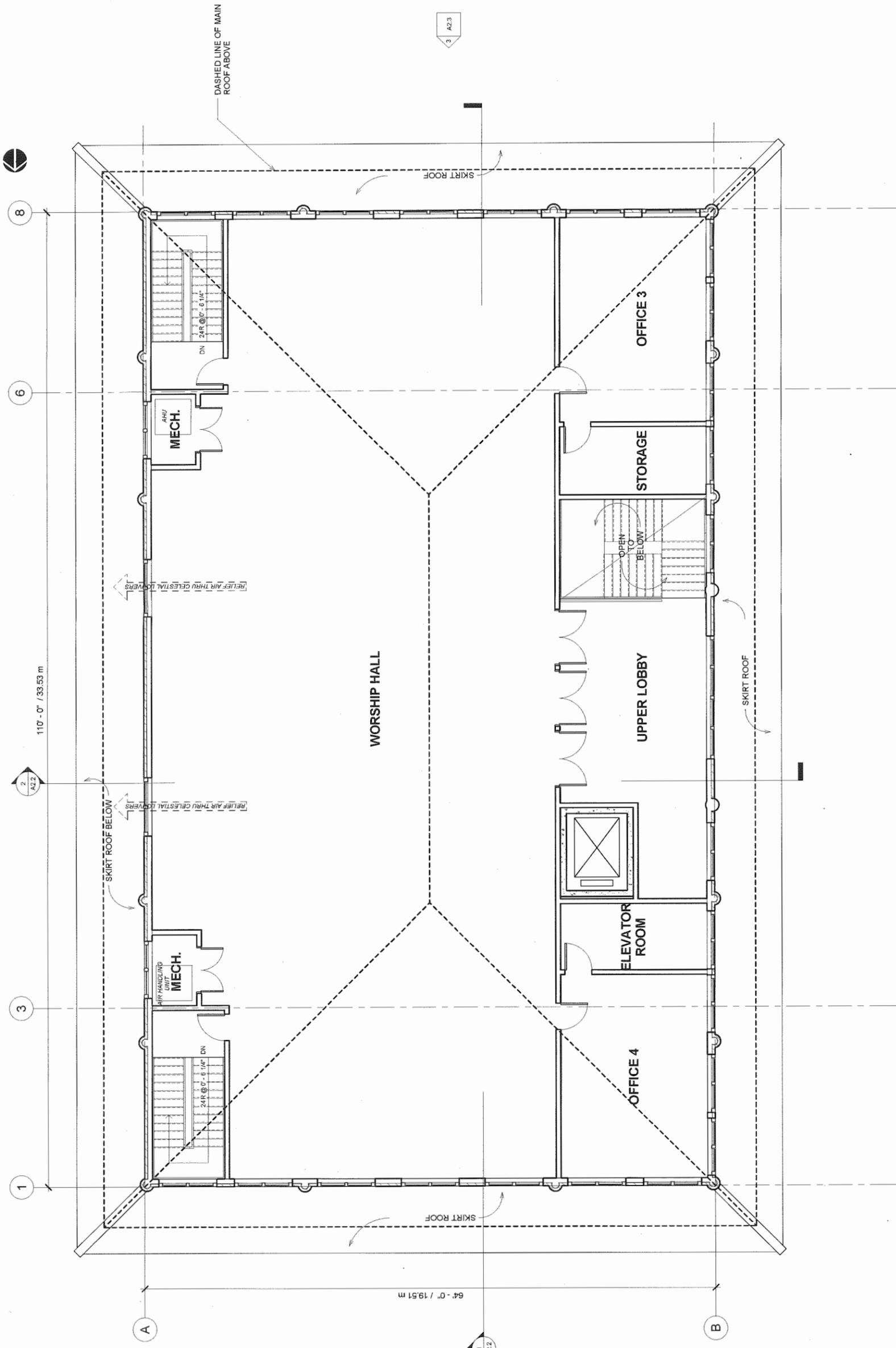
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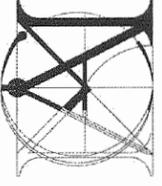
Project Number:  
14 R RE 02

Revision

Plot  
2017/08/11

Plan #  
A1.1





**MATTHEW  
CHENG**

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Revised:

Consultant

OCT 25 2017

Project  
**8480 NO.5  
ROAD  
RICHMOND**

Sheet  
**ROOF PLAN**

Drawn: RK

Checked: MC

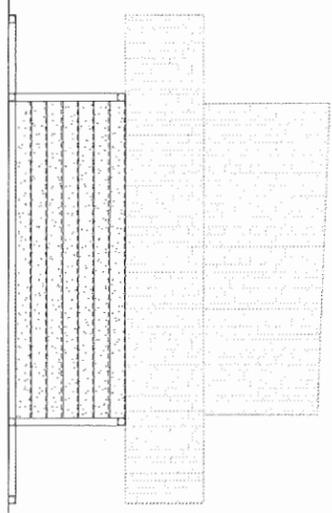
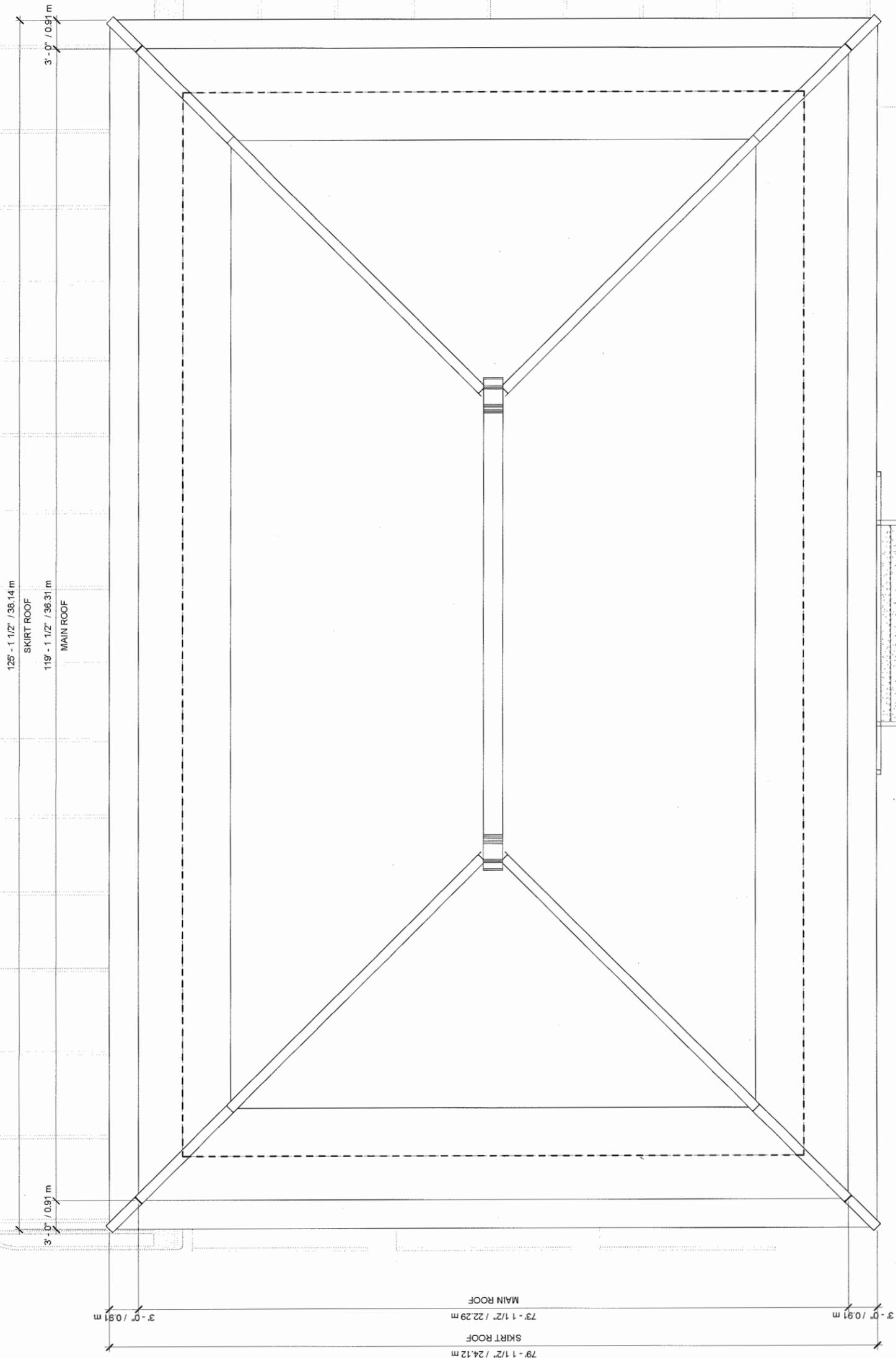
Scale: 3/16" = 1'-0"

Project Number:  
**14 R RE 02**

Revision

Dwg. No.:  
**A1.2**

Print  
2017/08/11  
*Plan #7*



① ROOF PLAN  
3/16" = 1'-0"

DP 17-771661

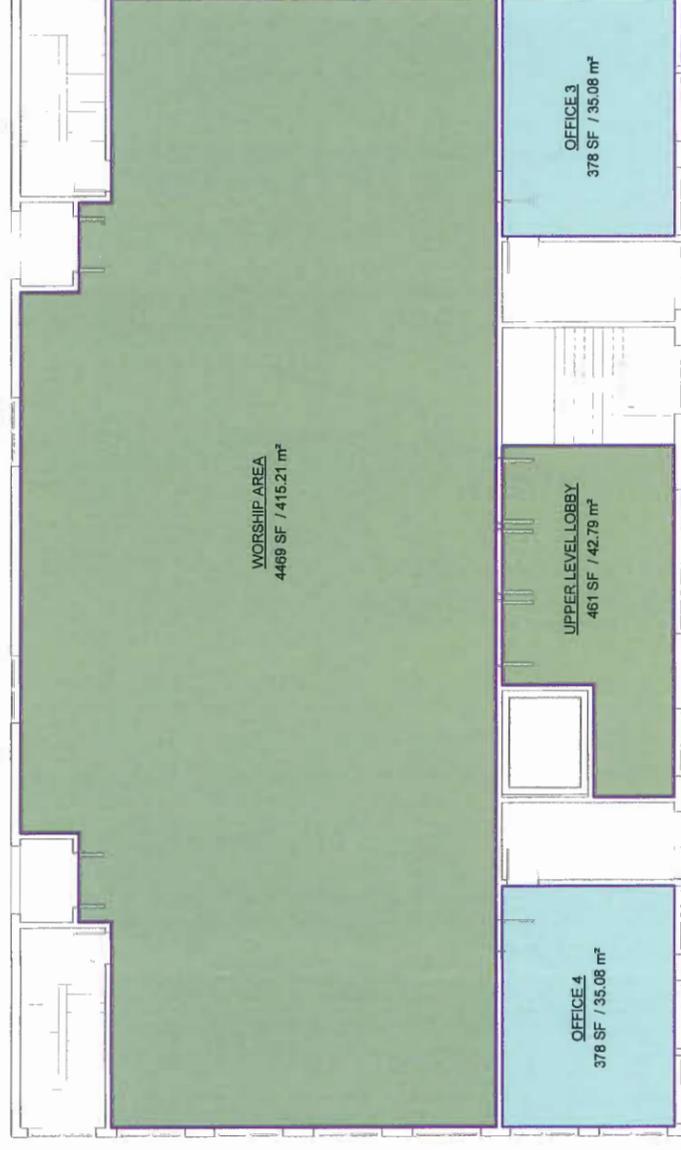


① 1/8" = 1'-0"  
MAIN FLOOR PARKING CALCULATION AREA OVERLAY

**Rentable Area Legend**

- Building Common Area
- Office Area

② 1/8" = 1'-0"  
UPPER FLOOR PARKING CALCULATION AREA OVERLAY



**Rentable Area Legend**

- Building Common Area
- Office Area

**PARKING CALCULATION**

| COMMON AREA ROOM NAME | AREA     |        | OCCUPANCY OF ROOM | NUMBER OF PARKING SPACE REQUIRED (10 SPACE PER 100 SM LEASABLE AREA) | NUMBER OF BICYCLE PARKING SPACE REQUIRED |                      |
|-----------------------|----------|--------|-------------------|--|--|----------------------|
|                       | IMPERIAL | METRIC |                   |  | Class 1 (0.27/100sm)                     | Class 2 (0.78/100sm) |
| WORSHIP HALL          | 4,469    | 415.21 | ASY               | 41.52  | 1.12                                     | 3.24                 |
| MAIN LEVEL LOBBY      | 459      | 42.60  | ASY               | 4.26   | 0.12                                     | 0.33                 |
| UPPER LEVEL LOBBY     | 461      | 42.79  | ASY               | 4.28   | 0.12                                     | 0.33                 |
| DINING HALL           | 1,290    | 119.87 | ASY               | 11.99  | 0.32                                     | 0.93                 |
| FUNCTION ROOM         | 563      | 52.28  | ASY               | 5.23   | 0.14                                     | 0.41                 |
|                       |          |        |                   | <b>67.28</b>   | <b>1.82</b>                              | <b>5.25</b>          |
|                       |          |        |                   |  |  | <b>5.25 SUBTOTAL</b> |

**OFFICE AREA**

| ROOM NAME       | AREA     |        | OCCUPANCY OF ROOM | NUMBER OF PARKING SPACE REQUIRED (3 SPACE PER 100 SM LEASABLE AREA) | NUMBER OF BICYCLE PARKING SPACE REQUIRED |                      |
|-----------------|----------|--------|-------------------|---|--|----------------------|
|                 | IMPERIAL | METRIC |                   |   | Class 1 (0.27/100sm)                     | Class 2 (0.78/100sm) |
| KITCHEN         | 406      | 37.70  | OFFICE            | 1.13  | 0.10                                     | 0.29                 |
| LIBRARY         | 393      | 36.47  | OFFICE            | 1.09  | 0.10                                     | 0.28                 |
| CONFERENCE ROOM | 231      | 21.45  | OFFICE            | 0.64  | 0.06                                     | 0.17                 |
| OFFICE 1        | 109      | 10.08  | OFFICE            | 0.30  | 0.03                                     | 0.08                 |
| OFFICE 2        | 241      | 22.40  | OFFICE            | 0.67  | 0.06                                     | 0.17                 |
| OFFICE 3        | 378      | 35.08  | OFFICE            | 1.05  | 0.09                                     | 0.27                 |
| OFFICE 4        | 378      | 35.08  | OFFICE            | 1.05  | 0.09                                     | 0.27                 |
| DORMITORY       | 344      | 31.96  | 0.33 / DORM       | 0.66  | 0.09                                     | 0.25                 |
|                 |          |        |                   | <b>6.61</b>   | <b>0.62</b>                              | <b>1.80</b>          |
|                 |          |        |                   |   |  | <b>1.80 SUBTOTAL</b> |

**ON-SITE PARKING SPACES**

|           |              |       |
|-----------|--------------|-------|
| REQUIRED  | <b>73.88</b> | TOTAL |
| PROPOSED  | <b>74</b>    |       |
| STANDARD  | 38           |       |
| SMALL CAR | 34           |       |
| H/C       | 2            |       |

MED. SIZE LOADING 1

**ON-SITE BICYCLE PARKING SPACES**

|                |             |
|----------------|-------------|
| <b>CLASS 1</b> |             |
| REQUIRED       | <b>2.44</b> |
| PROPOSED       | <b>3</b>    |
| <b>CLASS 2</b> |             |
| REQUIRED       | <b>7.04</b> |
| PROPOSED       | <b>8</b>    |



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Revision:

Consultant:

OCT 25 2017

Project:  
8480 NO.5 ROAD RICHMOND

Sheet:  
PARKING CALCULATION OVERLAY

Drawn: RK

Checked: MC

Scale: 1/8" = 1'-0"

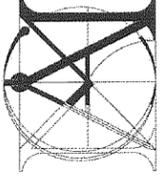
Project Number: 14 R RE 02

Revision

Dwg. No.: A1.3

Plan #8

DP 17-771661



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Revised:

Consultant:

OCT 25 2017

Project:

8480 NO.5  
ROAD  
RICHMOND

17-771661

Sheet  
**WEST & EAST  
ELEVATIONS**

Drawn: RK  
Checked: MC

Scale: 3/16" = 1'-0"

Project Number:

14 R R 02

Revision:

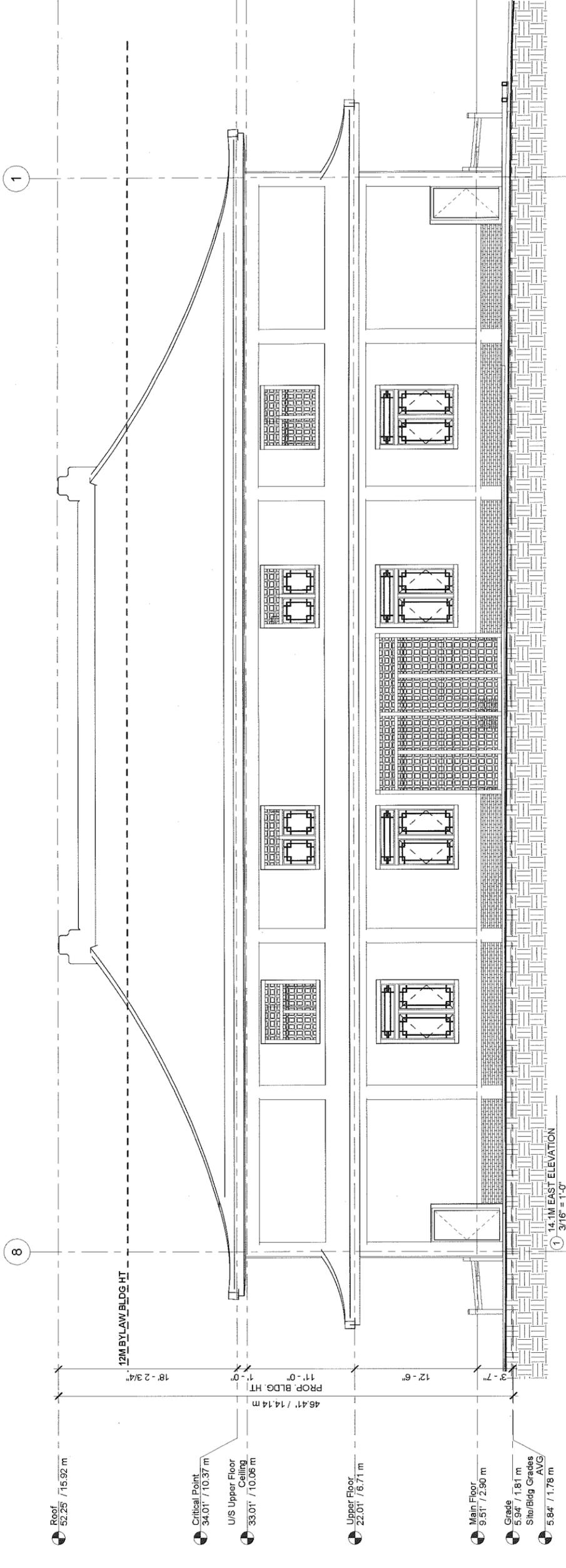
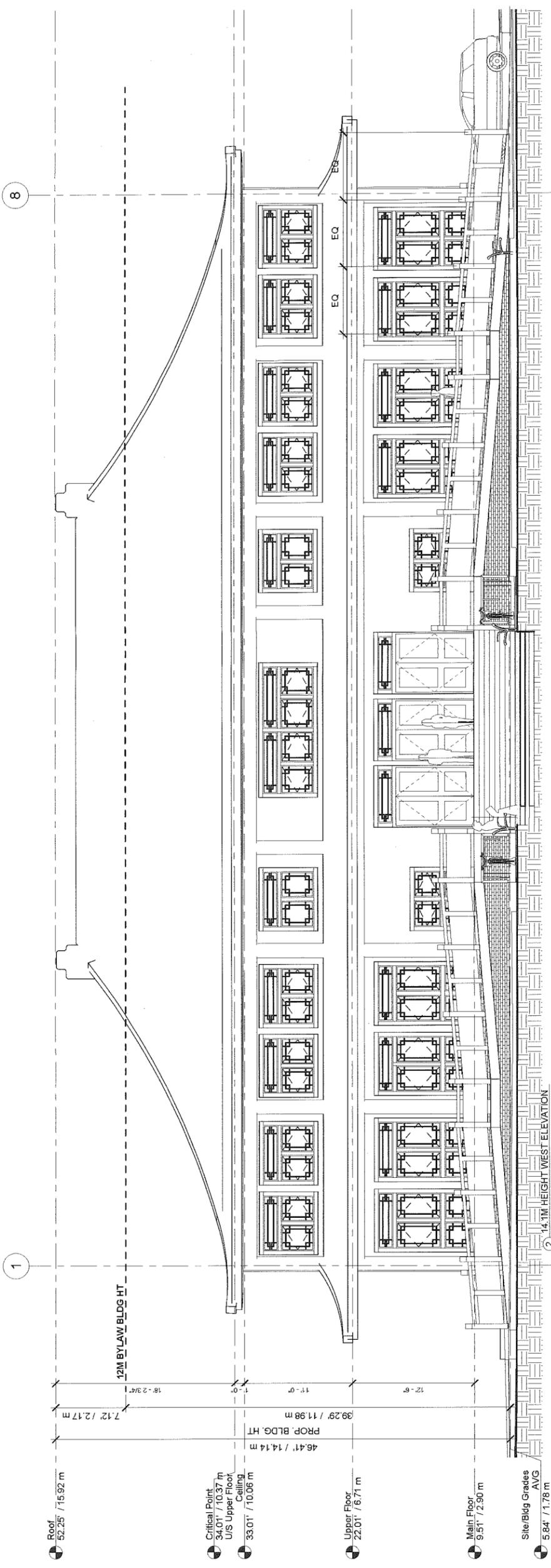
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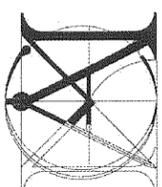
Plot:

201708311

A2.0

Plan #9





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Revision:  
  
OCT 25 2017  
Consultant

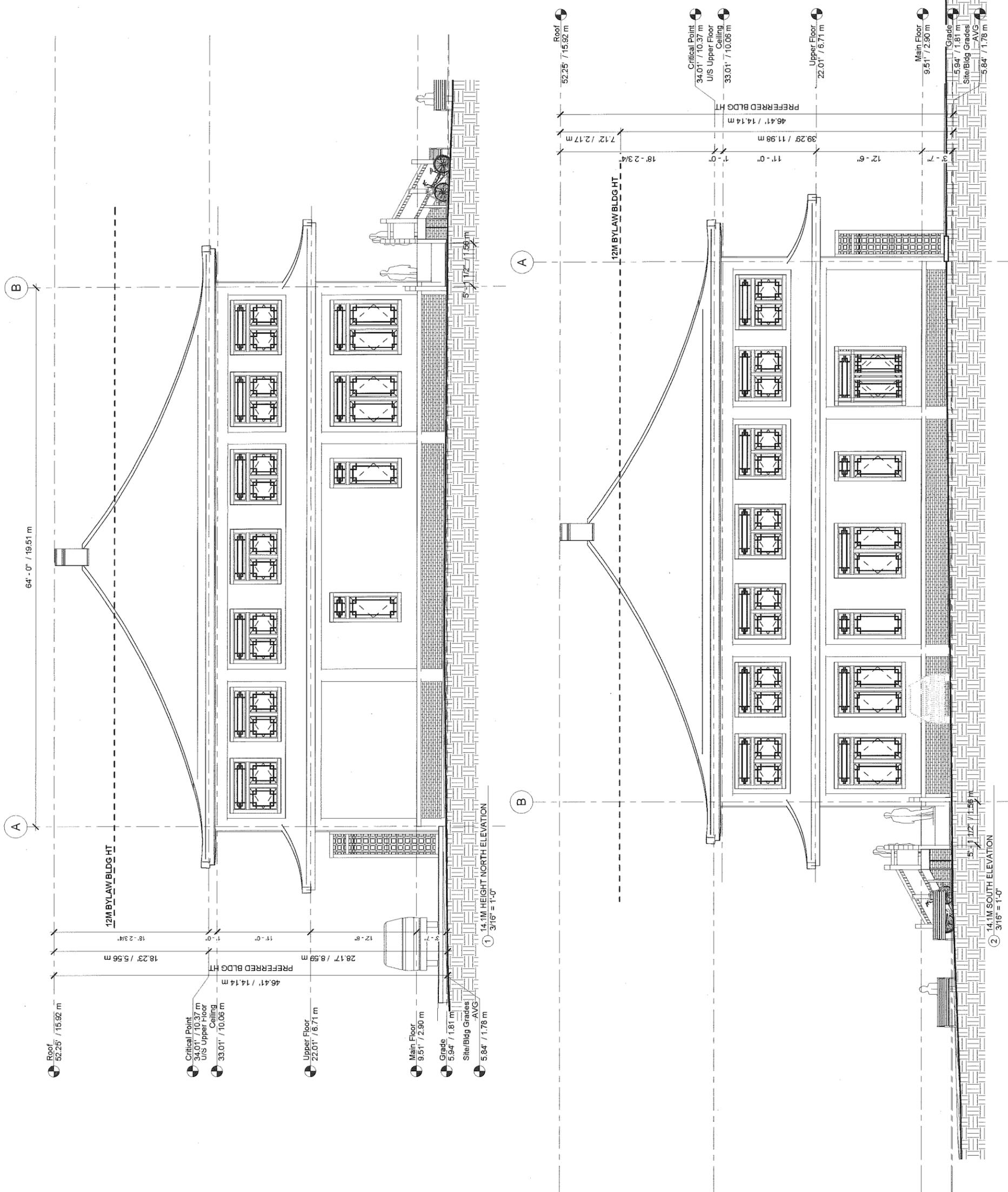
DP  
17-771661

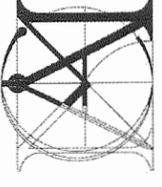
Project  
**8480 NO.5  
ROAD  
RICHMOND**

Sheet  
**NORTH &  
SOUTH  
ELEVATION**

Drawn: RK  
Checked: MC  
Scale: 3/16" = 1'-0"  
Project Number: 14 R RE 02  
Revision  
Dwg. No.:  
Plot: 201708311  
A2.1

Plan #10





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Revision

OCT 25 2017

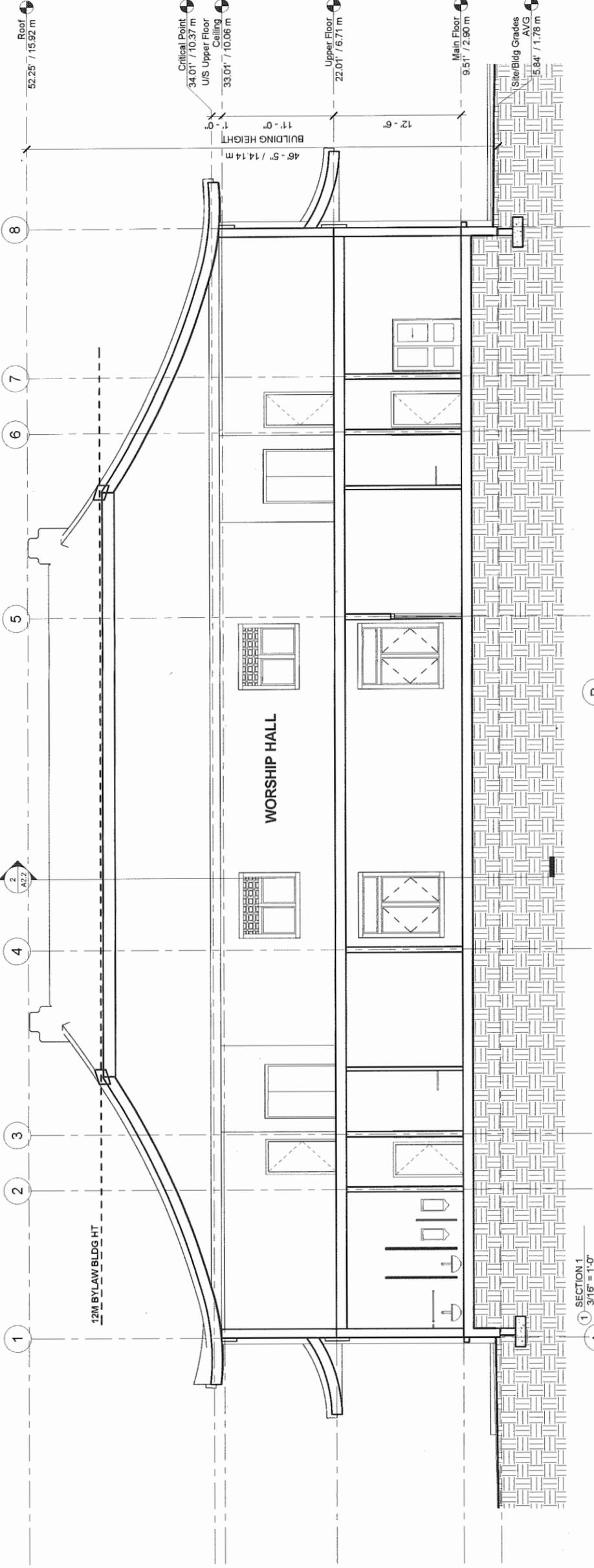
Consultant

Project  
**8480 NO.5  
ROAD  
RICHMOND**

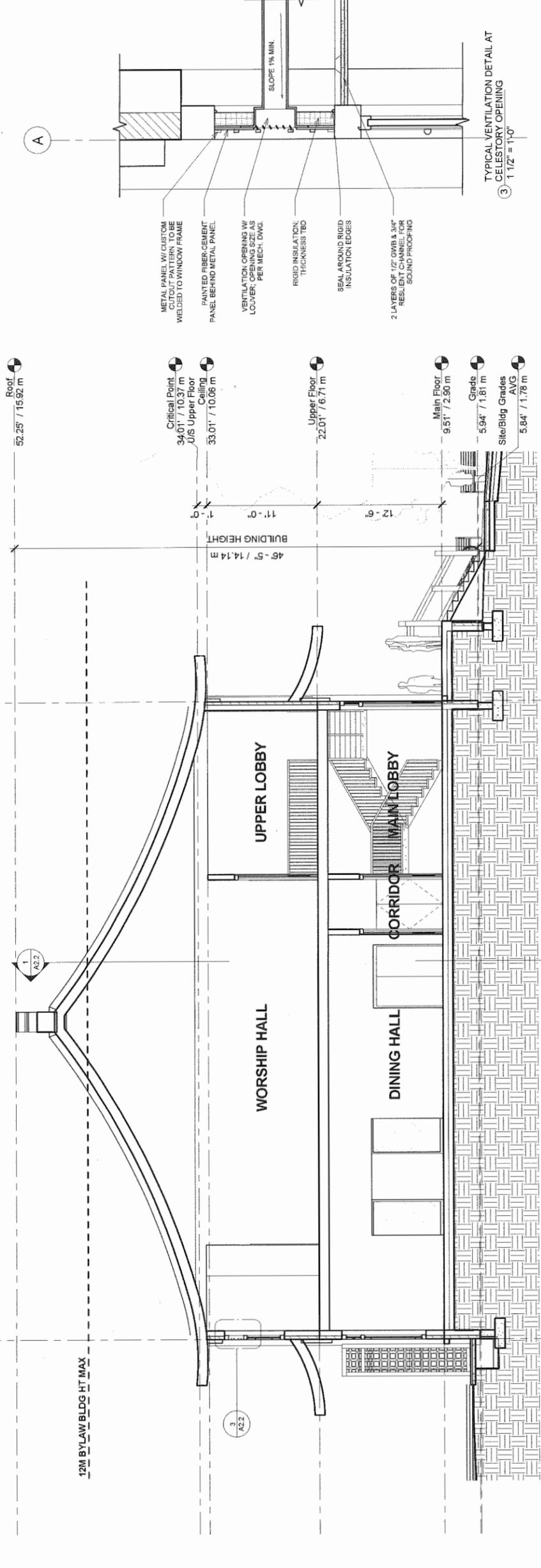
Sheet  
**SECTIONS**

Drawn: RK  
Checked: MC  
Scale: As Indicated  
Project Number: 14 R R E 02  
Revision: 1  
Dwg. No.: A2.2

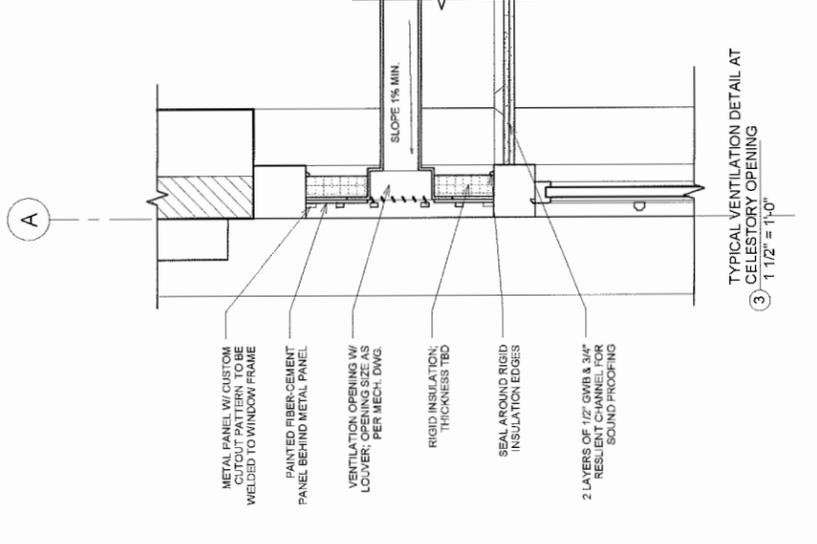
Plan #11



SECTION 1  
3/16" = 1'-0"



SECTION 2  
3/16" = 1'-0"



TYPICAL VENTILATION DETAIL AT  
CELESTORY OPENING  
1 1/2" = 1'-0"



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Revision:

Consultant

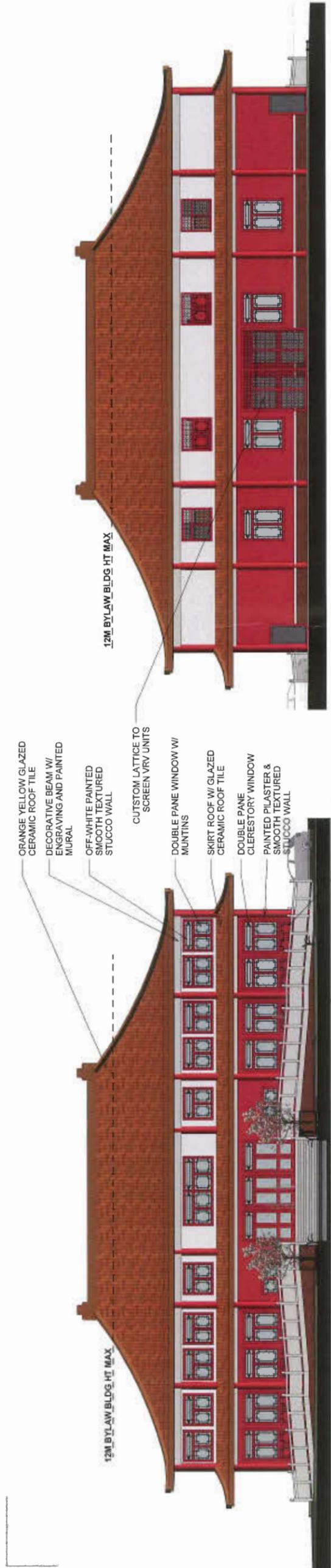
Project  
**8480 NO.5 ROAD RICHMOND**

Sweet  
**COLOURED ELEVATIONS**

Drawn: RK  
Checked: MC  
Scale: 1" = 10'-0"  
Project Number: 14 R RE 02  
Revision  
Print: 2017/08/11  
A2.3  
Plan #12

OCT 2 5 2017

DP 17-771661



② WEST ELEVATION (NO.5 ROAD)  
1" = 10'-0"

- ORANGE YELLOW GLAZED CERAMIC ROOF TILE
- DECORATIVE BEAM W/ ENGRAVING AND PAINTED MURAL
- OFF-WHITE PAINTED SMOOTH TEXTURED STUCCO WALL
- CUSTOM LATTICE TO SCREEN VRY UNITS
- DOUBLE PANE WINDOW W/ MUNTINS
- SKIRT ROOF W/ GLAZED CERAMIC ROOF TILE
- DOUBLE PANE CLERESTORY WINDOW
- PAINTED PLASTER & SMOOTH TEXTURED STUCCO WALL
- DECORATIVE PANELS MOUNTED ON EXTERIOR WALL TO MATCH WINDOW STYLE
- BRICK CLADDING AT BASE OF BUILDING

① EAST ELEVATION  
1" = 10'-0"



③ SOUTH ELEVATION  
1" = 10'-0"



④ NORTH ELEVATION  
1" = 10'-0"

# ARCHITECTURAL



**MATTHEW  
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Revisions:

Consultant  
5

OCT 2 5 2017

DP 17-771661

Project:  
**8480 NO.5  
ROAD  
RICHMOND**

Sheet:  
**MATERIALS &  
DETAILS**

Drawn: RK  
Checked: MC  
Scale:  
Project Number: 14 R RE 02  
Revision:  
Dwg. No.: A2.4  
Plot: 20170911

Plan # 13



**ROOF RIDGES**



**ROOF CORNER  
FLARE**



**DECORATIVE EAVE**



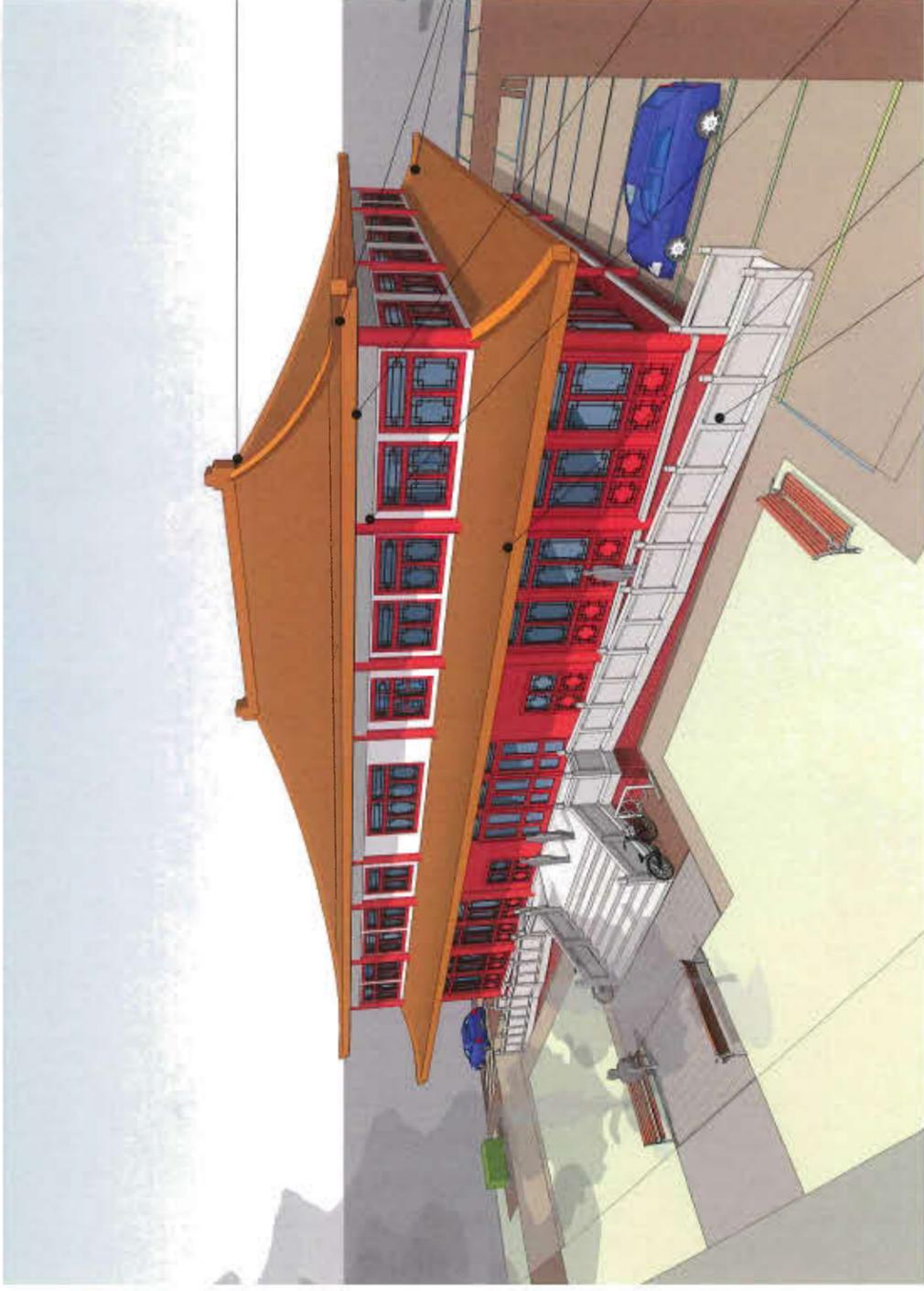
**DECORATIVE  
BEAM & COLUMN**



**GLAZED CERAMIC  
ROOF TILE**



**STONE RAIL w/  
RELIEF SCULPTURE  
/ENGRAVING**



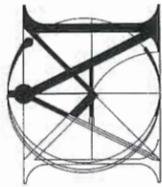
**PAINTED STUCCO  
WHITE  
BENJAMIN MOORE / VINTAGE TAUPE 2110-70**

**PAINTED STUCCO, DOOR & WINDOW FRAME / TRIM  
RED  
BENJAMIN MOORE / VINTAGE TAUPE 2110-70**

**TRUE DIMENSIONAL BRICK  
I-XL MASONRY / MAROON BRICK**



**MATERIALS**



**MATTHEW  
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TO THE ARCHITECT. THE ARCHITECT'S  
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MATERIALS, WORKMANSHIP AND ALL TIMES  
REMAIN THE EXCLUSIVE PROPERTY OF  
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Revisions:

Consultant

OCT 25 2017

Project  
**8480 NO.5  
ROAD  
RICHMOND**

DP 17-771661

Sheet  
**PERSPECTIVES**

Drawn: RK

Checked: MC

Scale:

Project Number:  
14 R RE 02

Revision

Print  
2017/09/11

Draw. No.:  
**A2.5**

Plan #14



STREET VIEW - FRONT



SIDEWALK VIEW



REAR VIEW



STREET VIEW - LOOKING NORTH EAST

SEAL:



OCT 25 2017

17-771661

PROJECT:  
**BUDDHIST TEMPLE**  
 8480 NO. 5 ROAD  
 RICHMOND, BC

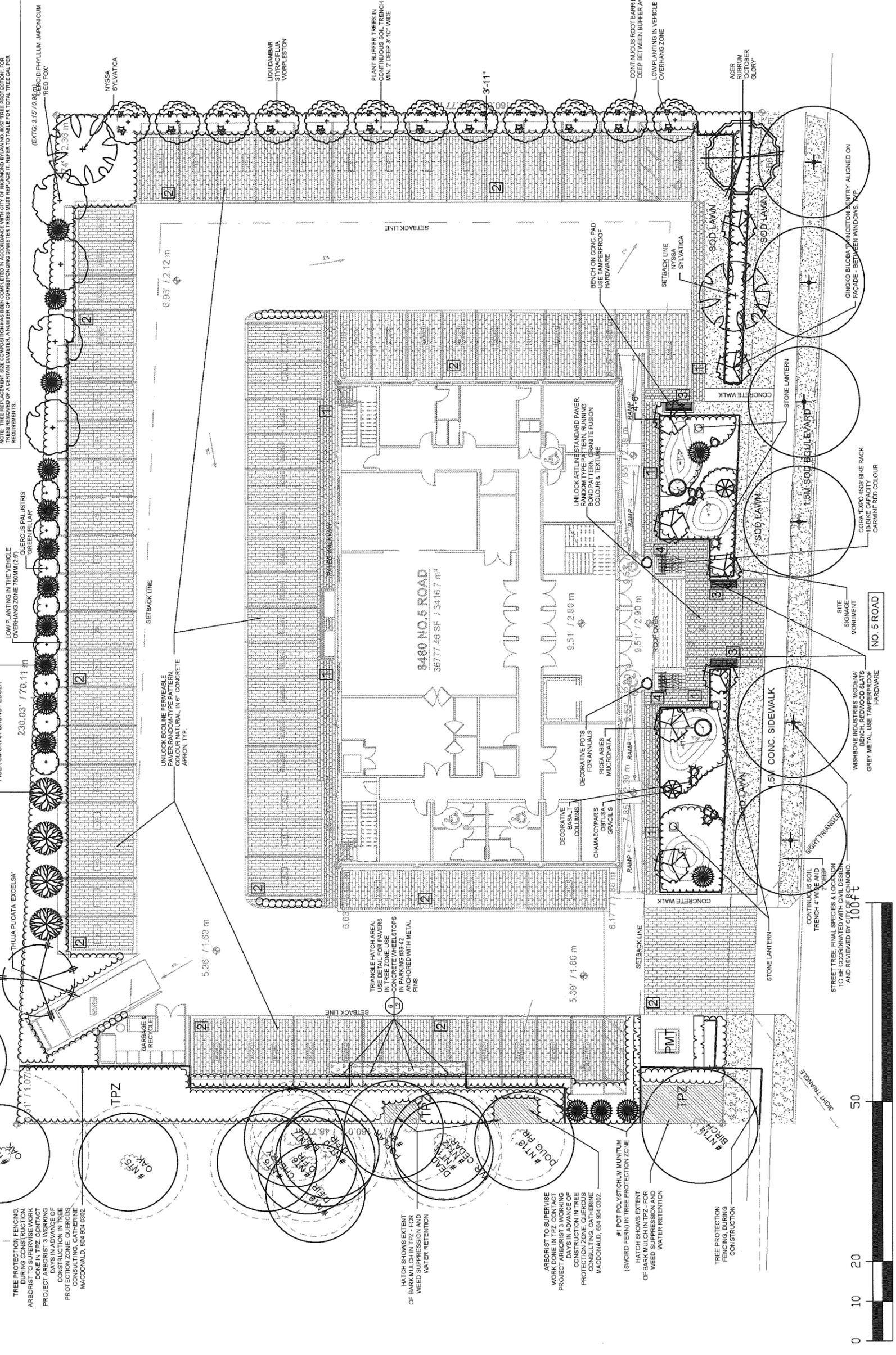
DRAWING TITLE:  
**LANDSCAPE PLAN**

**TREE SCHEDULE**

| KEY | QTY | BOTANICAL NAME                       | COMMON NAME                | PLANTED SIZE / REMARKS |
|-----|-----|--------------------------------------|----------------------------|------------------------|
| 1   | 1   | ACER RUBRUM 'OCTOBER GLORY'          | RED BELL                   | 60M CAL. 2M STD. 84B   |
| 2   | 4   | CERCIDIPHYLLUM JAPONICUM 'RED FOX'   | RED FOX                    | 4.0M HT. 84B           |
| 3   | 2   | CHAMAECYPARIS ORTUSA 'GRACILIS'      | SLENDER FALSE CYPRESS      | 4.0M HT. 84B           |
| 4   | 20  | GINKGO BILOBA 'PRINCE OF WALES'      | PRINCE OF WALES MAIDENHAIR | 60M CAL. 2M STD. 84B   |
| 5   | 6   | LIQUIDAMBAR STYRACIFLUA 'MORPLESSON' | MORPLESSON SWEET GUM       | 60M CAL. 2M STD. 84B   |
| 6   | 12  | NYSSA SYLVATICA                      | BLACK TUPELD               | 60M CAL. 1.8M STD. 84B |
| 7   | 2   | PICEA OMORIKA 'BRUNS PENDULA'        | DWARF GLOBE NORWAY SPRUCE  | 4.0M HT. 84B           |
| 8   | 8   | QUERCUS ROBUR 'FASTIGIATA'           | GREEN PILLAR OAK           | 4.0M HT. 84B           |
| 9   | 4   | QUERCUS PALUSTRIS 'GREEN PILLAR'     | GREEN PILLAR OAK           | 4.0M HT. 84B           |
| 10  | 4   | THUJA PLICATA 'EXCELSA'              | WESTERN RED CEDAR          | 3.0M HT. 84B           |
| 11  | 1   | THUJA PLICATA 'EXCELSA'              | WESTERN RED CEDAR          | 3.0M HT. 84B           |

NOTE: PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED CONTAINERS ARE TO BE USED UNLESS OTHERWISE NOTED. ALL PLANTS MUST BE PROVIDED WITH A MINIMUM OF 10% FREE PROTECTION FOR THE FIRST YEAR OF PLANTING. ALL PLANTS MUST BE PROVIDED WITH A MINIMUM OF 10% FREE PROTECTION FOR THE FIRST YEAR OF PLANTING. ALL PLANTS MUST BE PROVIDED WITH A MINIMUM OF 10% FREE PROTECTION FOR THE FIRST YEAR OF PLANTING.

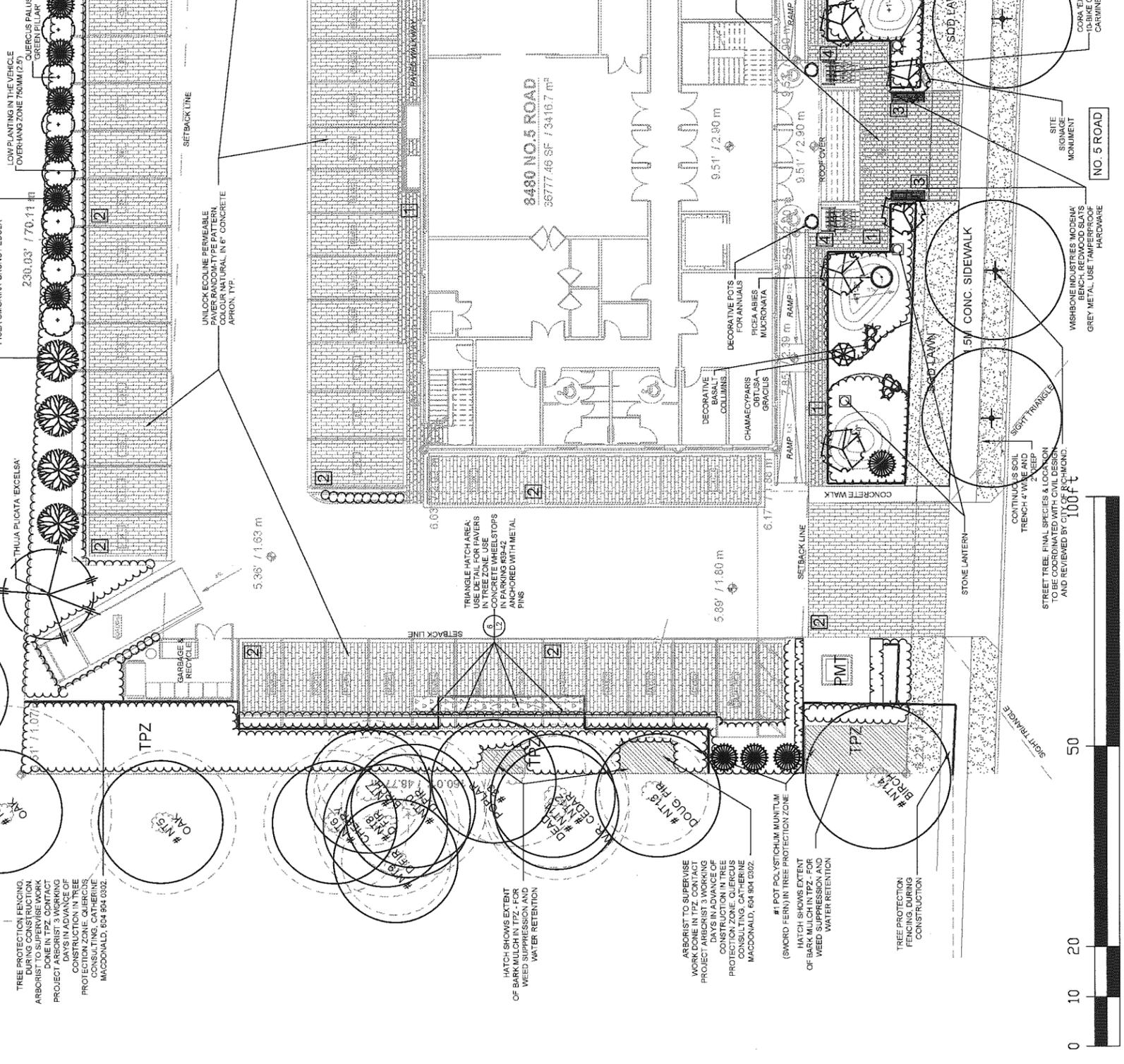
REPLACEMENT TREES:  
 1 ACER RUBRUM 'OCTOBER GLORY'  
 4 CERCIDIPHYLLUM JAPONICUM 'RED FOX'  
 2 CHAMAECYPARIS ORTUSA 'GRACILIS'  
 20 GINKGO BILOBA 'PRINCE OF WALES'  
 6 LIQUIDAMBAR STYRACIFLUA 'MORPLESSON'  
 12 NYSSA SYLVATICA  
 2 PICEA OMORIKA 'BRUNS PENDULA'  
 8 QUERCUS ROBUR 'FASTIGIATA'  
 4 QUERCUS PALUSTRIS 'GREEN PILLAR'  
 4 THUJA PLICATA 'EXCELSA'  
 57 TOTAL



**REPLACEMENT TREES:**

| REPLACEMENT | TOTALS IN EACH CALIPER | PROPOSED TOTALS IN EACH CALIPER |
|-------------|------------------------|---------------------------------|
| 6CM/3.5M    | 18                     | 18                              |
| 8CM/4.0M    | 20                     | 20                              |
| 9CM         | 6                      | 7                               |
| 10CM        | 8                      | 8                               |
| 11CM        | 4                      | 4                               |
| TOTAL       | 56                     | 57                              |

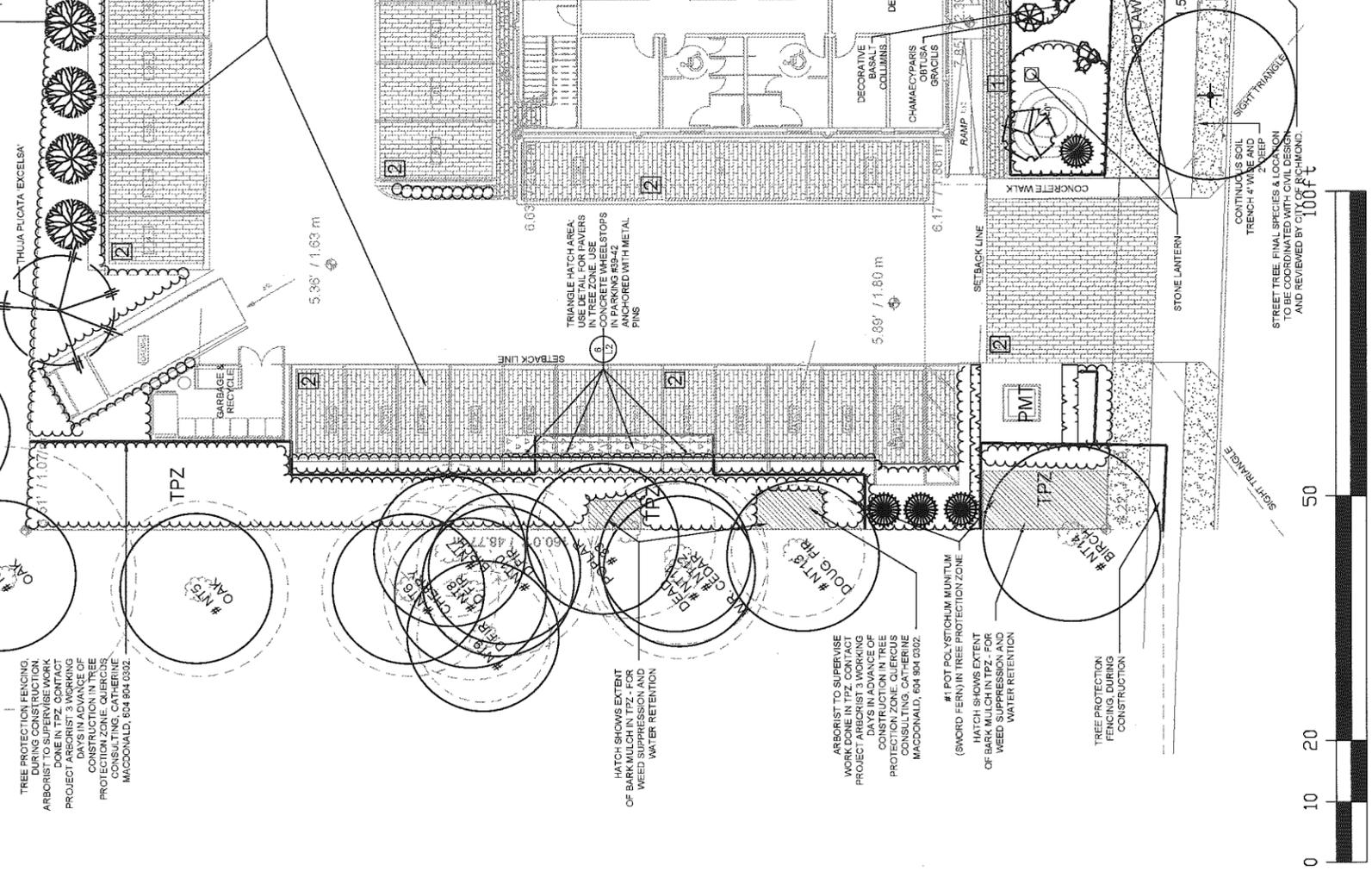
QUERCUS ROBUR 'FASTIGIATA'  
 PICEA OMORIKA 'BRUNS PENDULA'  
 230.03' / 70.11 m  
 LOW PLANTING IN THE VEHICLE OVERHANG ZONE 750MM (2' 6")  
 QUERCUS PALUSTRIS 'GREEN PILLAR'  
 UNLOCK ECOLINE PERMEABLE PAVEMENT RAINDIAPHRAGM APRON, 150mm



**REPLACEMENT TREES:**

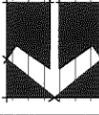
| REPLACEMENT | TOTALS IN EACH CALIPER | PROPOSED TOTALS IN EACH CALIPER |
|-------------|------------------------|---------------------------------|
| 6CM/3.5M    | 18                     | 18                              |
| 8CM/4.0M    | 20                     | 20                              |
| 9CM         | 6                      | 7                               |
| 10CM        | 8                      | 8                               |
| 11CM        | 4                      | 4                               |
| TOTAL       | 56                     | 57                              |

QUERCUS ROBUR 'FASTIGIATA'  
 PICEA OMORIKA 'BRUNS PENDULA'  
 230.03' / 70.11 m  
 LOW PLANTING IN THE VEHICLE OVERHANG ZONE 750MM (2' 6")  
 QUERCUS PALUSTRIS 'GREEN PILLAR'  
 UNLOCK ECOLINE PERMEABLE PAVEMENT RAINDIAPHRAGM APRON, 150mm



SEAL:

OCT 25 2017



| NO. | DATE      | REVISION DESCRIPTION                   | DR  |
|-----|-----------|--|-----|
| 1   | 15-AUG-08 | NEW SITE PLAN                          | CLG |
| 2   | 15-AUG-08 | FOR DP ISSUE                           | CLG |
| 3   | 15-OCT-23 | UPDATE TO NEW SITE PLAN                | CLG |
| 4   | 15-NOV-08 | UPDATE PER CITY COMMENTS               | CLG |
| 5   | 18-APR-26 | UPDATE PER CITY COMMENTS               | CLG |
| 6   | 16-AUG-22 | UPDATE PER NEW SITE PLAN               | CLG |
| 7   | 15-SEP-08 | UPDATE PER CITY COMMENTS               | CLG |
| 8   | 18-NOV-08 | UPDATE PER NEW SITE PLAN               | CLG |
| 9   | 18-NOV-08 | UPDATE PER NEW SITE PLAN/CITY COMMENTS | CLG |
| 10  | 18-NOV-08 | UPDATE PER CITY COMMENTS - TREES       | CLG |
| 11  | 16-DEC-08 | UPDATE PER NEW SITE PLAN               | CLG |
| 12  | 16-DEC-08 | UPDATE PER NEW SITE PLAN               | CLG |
| 13  | 17-FEB-08 | UPDATE PER CITY COMMENTS               | CLG |
| 14  | 17-FEB-08 | UPDATE PER CITY COMMENTS               | CLG |
| 15  | 17-JUN-09 | RESOLVE FOR DP                         | CLG |
| 16  | 17-JUN-09 | RESOLVE FOR DP                         | CLG |
| 17  | 17-JUL-25 | UPDATE PER CITY COMMENTS/RESOLVE       | CLG |
| 18  | 17-AUG-09 | INCORPORATE ASB COMMENTS               | CLG |
| 19  | 17-OCT-15 | UPDATE PER COMMENTS / RESOLVE          | CLG |

CLIENT:

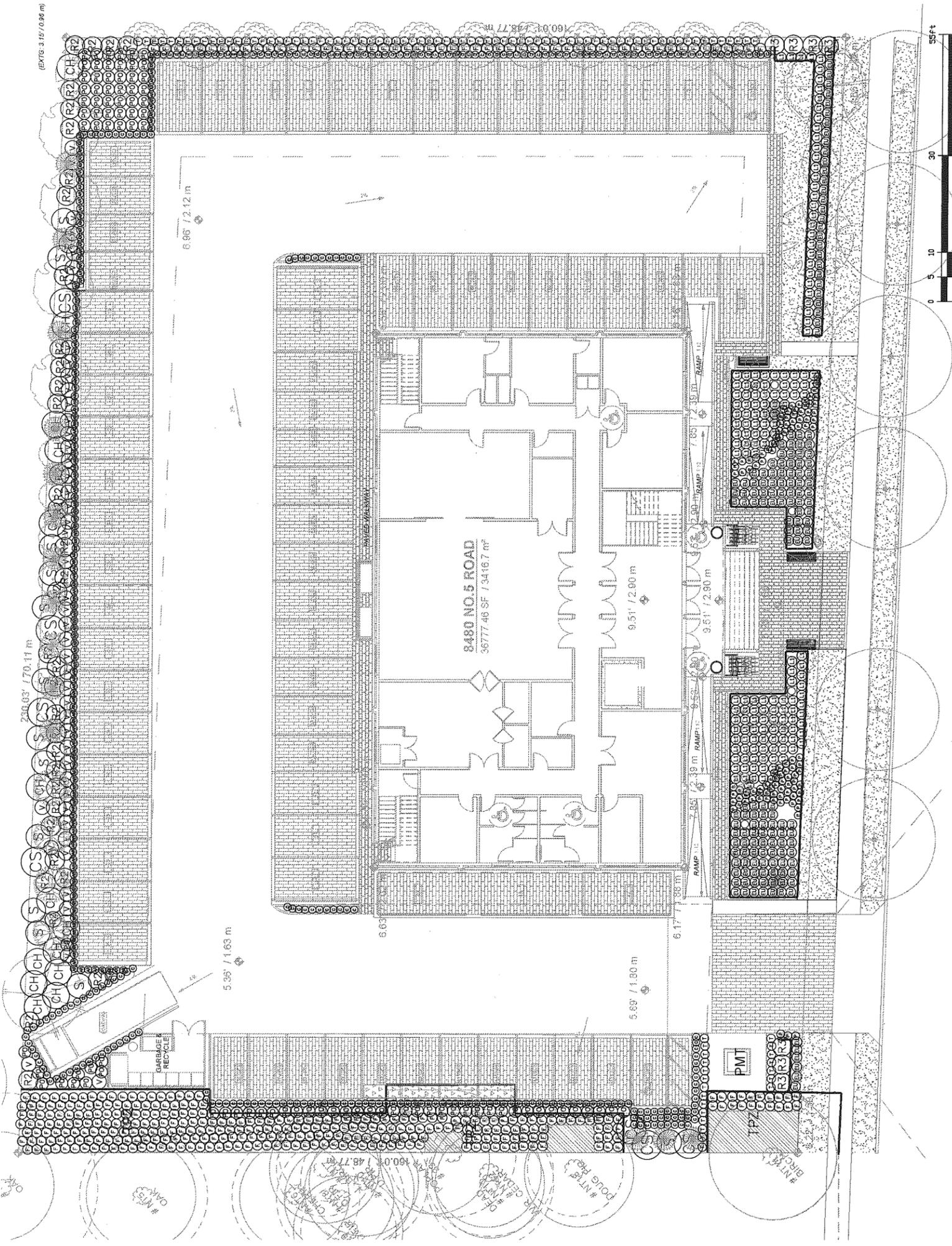
PROJECT:

**BUDDHIST TEMPLE**  
8480 NO. 5 ROAD  
RICHMOND, BC

DRAWING TITLE:  
**SHRUB PLAN**

DRAWING NUMBER: **L2**  
DATE: 15 JUL 08  
SCALE: 3/32"=1'-0"  
DRAWN: CLG  
DESIGN: CLG  
CHKD: PCM

PMG PROJECT NUMBER: 15-112



| KEY | QTY | BOTANICAL NAME                     | COMMON NAME               | PLANTED SIZE / REMARKS |
|-----|-----|------------------------------------|---------------------------|------------------------|
| C   | 287 | CAREX GARYOPHYLLA BEATELEMANIA     | BEATELEMANIA SEDGE        | #1 POT                 |
| C   | 104 | PENNISETUM ALOPECUROIDES           | FOUNTAIN GRASS            | #1 POT                 |
| GC  | 134 | ARCTOSTAPHYLOS UVA-URSII           | KINKINICK                 | #1 POT, 20CM           |
| B   | 161 | EUONYMUS JAPONICA 'EMERALD N GOLD' | EUONYMUS, GOLD VARIEGATED | #1 POT, 20CM           |
| L   | 363 | POLYSTICHUM MUNITUM                | WESTERN SWORD FERN        | #1 POT, 20CM           |

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO AVAILABILITY OF MATERIAL. \* SPECIFICATION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

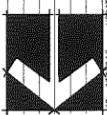
NOTE: IRRIGATION SYSTEM TO BE DESIGN-BUILD BY LANDSCAPE CONTRACTOR. PROVIDE SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

| KEY   | QTY | BOTANICAL NAME                   | COMMON NAME                       | PLANTED SIZE / REMARKS |
|-------|-----|----------------------------------|-----------------------------------|------------------------|
| SHRUB | 14  | CHOISIA TERVATA                  | MEXICAN MOCK ORANGE               | #3 POT, 50CM           |
| C     | 7   | CORNUS ALBA 'ELEGANTISSIMA'      | VARIEGATED SHRUB DOGWOOD          | #2 POT, 50CM           |
| C     | 88  | PRUNUS LAUROCARPUS 'OTTO LUHVEN' | BOXLEAF HONEY-SUCKLE              | #2 POT, 30CM           |
| C     | 8   | PRUNUS LAUROCARPUS 'OTTO LUHVEN' | OTTO LUHVEN LAUREL                | #3 POT, 30CM           |
| C     | 7   | RHOODODENDRON 'JULICA'           | RHOODODENDRON, PINK, MEDIUM SCALE | #3 POT, 50CM           |
| C     | 13  | SYMPHORICARPOS ALBUS             | RHOODODENDRON, RED                | #2 POT, 30CM           |
| C     | 96  | TAKUS X MEDIA 'HICKSIF'          | SHOCKBERRY                        | #2 POT, 40CM           |
| C     | 47  | VACCINIUM RECA X NORTHERN VARS   | HICKS VEW                         | 1.5M                   |
| C     |     |                                  | BLUEBERRY (ALTERNATE)             | #2 POT, 50CM           |

15112-18-2P

Plan # 16

SEAL:



| NO. | DATE      | REVISION DESCRIPTION        | DR. |
|-----|-----------|-----------------------------|-----|
| 1   | 15.AUG.08 | NEW SITE PLAN               | CLG |
| 2   | 15.AUG.08 | GO UP SCALE                 | CLG |
| 3   | 15.OCT.23 | UPDATE TO NEW SITE PLAN     | CLG |
| 4   | 16.AUG.08 | UPDATE PRELIMINARY COMMENTS | CLG |
| 5   | 16.AUG.08 | UPDATE PRELIMINARY COMMENTS | CLG |
| 6   | 16.AUG.08 | UPDATE PRELIMINARY COMMENTS | CLG |
| 7   | 16.SEP.08 | UPDATE PRELIMINARY COMMENTS | CLG |
| 8   | 16.OCT.08 | UPDATE PRELIMINARY COMMENTS | CLG |
| 9   | 16.NOV.08 | UPDATE PRELIMINARY COMMENTS | CLG |
| 10  | 16.DEC.08 | UPDATE PRELIMINARY COMMENTS | CLG |
| 11  | 16.FEB.09 | UPDATE PRELIMINARY COMMENTS | CLG |
| 12  | 16.MAR.09 | UPDATE PRELIMINARY COMMENTS | CLG |
| 13  | 16.APR.09 | UPDATE PRELIMINARY COMMENTS | CLG |
| 14  | 16.MAY.09 | UPDATE PRELIMINARY COMMENTS | CLG |
| 15  | 16.JUN.09 | UPDATE PRELIMINARY COMMENTS | CLG |
| 16  | 16.JUL.09 | UPDATE PRELIMINARY COMMENTS | CLG |
| 17  | 17.JUL.25 | UPDATE PRELIMINARY COMMENTS | CLG |
| 18  | 17.AUG.08 | INDEPENDENT COMMENTS        | CLG |
| 19  | 17.OCT.13 | UPDATE PRELIMINARY COMMENTS | CLG |

CLIENT:

PROJECT:

**BUDDHIST TEMPLE**

8480 NO. 5 ROAD  
RICHMOND, BC

DRAWING TITLE:

**EXISTING TREE MANAGEMENT PLAN**

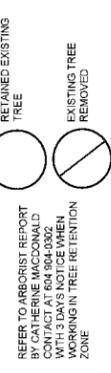
DATE: 15.JUL.06 DRAWING NUMBER:

SCALE: 3/32"=1'-0"

DRAWN: CLG

DESIGN: CLG

CHKD: PCM

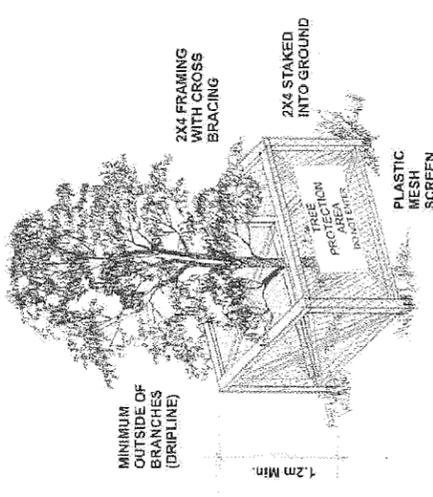
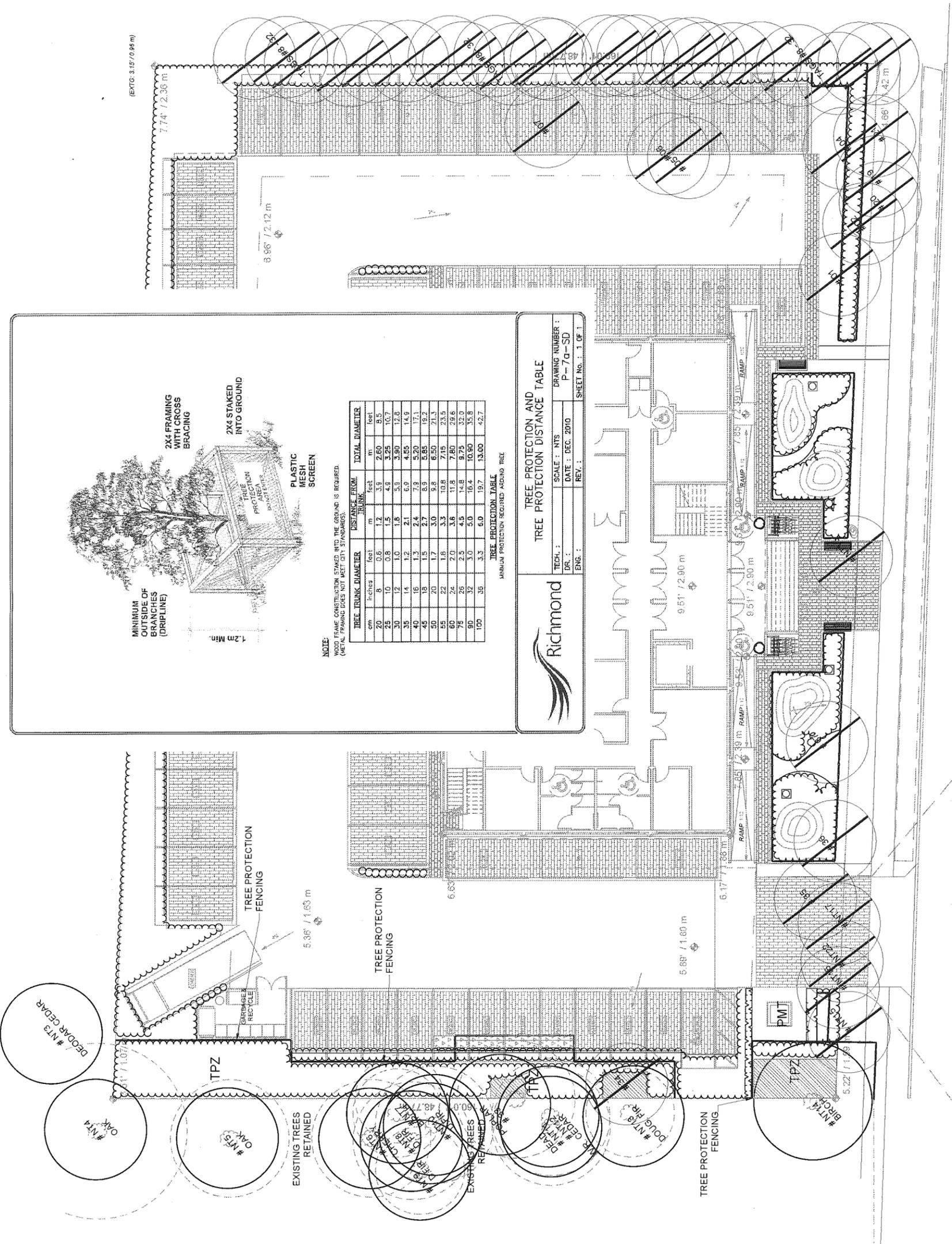


REFER TO ARBORIST REPORT BY CATHERINE MACDONALD CONTACT AT 604.604.0302 FOR TREE IDENTIFICATION MARKING IN TREE RETENTION ZONE

15112-18-20P

PMG PROJECT NUMBER: 15-112

Plan # 17



NOTE: WOOD FRAME CONSTRUCTION STAKED INTO THE GROUND IS REQUIRED. METAL FRAMING DOES NOT MEET CITY STANDARDS.

| TREE TRUNK DIAMETER | DISTANCE FROM TRUNK | TOTAL DIAMETER |
|---------------------|---------------------|----------------|
| 20 cm               | 1.2 m               | 2.20 m         |
| 25 cm               | 1.5 m               | 3.00 m         |
| 30 cm               | 1.8 m               | 3.80 m         |
| 35 cm               | 2.1 m               | 4.60 m         |
| 40 cm               | 2.4 m               | 5.40 m         |
| 45 cm               | 2.7 m               | 6.20 m         |
| 50 cm               | 3.0 m               | 7.00 m         |
| 55 cm               | 3.3 m               | 7.80 m         |
| 60 cm               | 3.6 m               | 8.60 m         |
| 65 cm               | 3.9 m               | 9.50 m         |
| 70 cm               | 4.2 m               | 10.40 m        |
| 75 cm               | 4.5 m               | 11.30 m        |
| 80 cm               | 4.8 m               | 12.20 m        |
| 85 cm               | 5.1 m               | 13.10 m        |
| 90 cm               | 5.4 m               | 14.00 m        |
| 95 cm               | 5.7 m               | 14.90 m        |
| 100 cm              | 6.0 m               | 15.80 m        |

MINIMUM PROTECTION REQUIRED AROUND TREE

**Richmond**

TREE PROTECTION AND TREE PROTECTION DISTANCE TABLE

TECH: NTS SCALE: NTS DRAWING NUMBER: P-70-SD

DR: DATE: DEC. 2010 REV: SHEET NO.: 1 OF 1

ENG:





