



**To:** Development Permit Panel

**Date:** July 7, 2020

**From:** Wayne Craig  
Director, Development

**File:** DP 18-837117

**Re:** Application by W. T. Leung Architects Inc. for a Development Permit at  
6333 Mah Bing Street

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### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a multiple-family residential development with two 15-storey high-rise buildings and a nine-storey mid-rise building, consisting of approximately 232 dwelling units and 364 parking spaces at 6333 Mah Bing Street on a site zoned “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum lot area from 13,000 m<sup>2</sup> (139,930 ft<sup>2</sup>) to 8,227 m<sup>2</sup> (88,554 ft<sup>2</sup>).

Wayne Craig  
Director, Development  
(604-247-4625)

WC:el  
Att. 4

## Staff Report

### Origin

W. T. Leung Architects Inc. has applied to the City of Richmond for permission to develop a multiple-family residential development with two 15-storey high-rise buildings and a nine-storey mid-rise building, consisting of approximately 232 dwelling units and 358 parking spaces at 6333 Mah Bing Street on a site zoned “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)”. Key components of the proposal include:

- Second phase of the “Park Residences” development, including three buildings (Towers C, D & E) and a greenway connection between Mah Bing Street and Minoru Park, on a site adjacent to the previously approved phase east of the subject site.
- One 15-storey building (Tower C) with five levels of parking, three of which are located within a podium above grade with townhouse and apartment units which interface with the public realm on three sides of the building.
- One 15-storey and one 9-storey building (Towers D & E) with four levels of parking, three of which are located within a podium above grade with townhouse and apartment units which interface with the public realm on all sides with the exception of the south elevation of the podium.
- A maximum floor area ratio (FAR) of 3.4 for residential uses and a maximum floor area ratio of (FAR) 0.1 for indoor amenity uses are allowed for the entire “Park Residences” development. Phase 2 utilizes the balance of the floor area allowed (approximately 27,995 m<sup>2</sup> or 91,847 ft<sup>2</sup>) to create approximately 232 dwelling units.
- Maximum height allowed is at 47.0 m geodetic.
- Step Code 2 and connection to the district energy utility (DEU) system.
- Provision of statutory rights-of-way (SRW) for a pedestrian greenway connection through the middle of site between Mah Bing Street and Minoru Park in alignment with Murdoch Avenue.

An associated Servicing Agreement (SA 08-413951) was secured through the Rezoning (RZ 04-286496, approved in 2008) for works required to service Phase 2 of the “Park Residences” development. Modification to the original Servicing Agreement (approved in February, 2012) is required to match existing conditions and reduce impacts on Minoru Park. The required modifications to Servicing Agreement (SA 08-413951) will be facilitated through a post approval revision. Modifications include rerouting of underground services to preserve trees in Minoru Park and revisions to the extent of the road and sidewalk.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

## Background

- The site currently contains two three-storey rental apartment buildings.
- The site was initially rezoned in 2008 (RZ 04-286496), prior to adoption of the City Centre Area Plan (CCAP), for the proposed “Park Residences” development.
- The Development Permit for Phase 1 of the “Park Residences” development (DP 07-362006) was issued in 2013, which includes two high-rise buildings over a common parking structure consisting of 92 market housing units, 110 residential market rental units, and 22 affordable senior housing units.
- When the Phase 1 of the development was completed, the existing rental tenants were provided with first opportunity to relocate into the rental units in the Phase 1 development.
- The subject Development Permit application is for Phase 2 (Towers C, D, and E) of the “Park Residences” development.

Development surrounding the subject site is as follows:

To the north: Two 15-storey residential buildings linked by a mid-rise podium on a site zoned “High Rise Apartment (ZHR11) – Brighthouse Village (City Centre)”.

To the east: Across Mah Bing Street, on the north side of Murdoch Avenue, two 15-storey residential buildings on a site zoned “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)”, which is Phase 1 (Towers A and B) of the “Park Residences” development; on the south side of Murdoch Avenue, two three-storey apartment buildings fronting Minoru Boulevard, on properties zoned “Medium Density Low Rise Apartments (RAM1)”.

To the south: Three high-rise residential buildings on a site zoned under “Land Use Contract (LUC 001)” with underlying zoning “High Rise Apartment (ZHR14) – Brighthouse Village (City Centre)”.

To the west: Minoru Park zoned “School and Intuitional (SI).

## Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site (Zoning Amendment Bylaw 8103) was held on September 6, 2006. At the Public Hearing, the following concerns about rezoning the property were expressed:

- Concerns regarding increased traffic in the area, especially trucks, during construction of the new building.
- Concerns regarding impact of construction of the new building on the adjacent buildings and the residents in the immediate vicinity of the development site.
- Concerns regarding preservation of the rental housing stock in the City Centre area.
- Issue of loss of views/property values was also raised by some residents.

Staff worked with the applicant to address these issues in the following ways:

- Development of the “Park Residences” project has been divided into two phases. A new road (Murdoch Avenue) was constructed prior to construction of Phase 1 to minimize traffic impacts to the area residents. A separate Traffic Management Plan for construction vehicles and construction workers will be required as part of the Building Permit submission for the subject development (i.e., Phase 2 of the “Park Residences” project).
- Adequate geotechnical analysis of the site has been undertaken and appropriate procedures will be put in place to minimize impact on neighbouring properties, and to address any possible damage to adjacent buildings which might occur as a result of construction of the new development.
- Provision of replacement rental units is included in Phase 1 of the Park Residences” project (Tower A). Details are included the “Housing-Rental Replacement and Affordable Housing” section in this report.
- Refinements of the massing and location of Towers C, D and E on the subject site have been exercised to maximize view corridors. It should be noted that some obstruction of existing views is to be expected from the redevelopment of this site in this higher density City Centre location.

### Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)” except for the zoning variances noted below.

### Zoning Compliance/Variance (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum lot area from 13,000 m<sup>2</sup> (139,930 ft<sup>2</sup>) to 8,227 m<sup>2</sup> (88,554 ft<sup>2</sup>).

*(Staff supports the proposed variance as the subject development is the second and last phase of a larger development known as “Park Residences”. The minimum lot area under the “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)” was based on the total site area of the entire development. Upon development of Phase 1 of the “Park Residences” development, the original development site was subdivided into two lots and two new roads (Murdoch Avenue and Mah Bing Street) were created. The lot located at the northeast corner of Murdoch Avenue and Mah Bing Street contains Phase 1 of the development; and the lot located west of Mah Bing Street is created for Phase 2 of the development. This variance is required due to the phasing of the development).*

Through the applicant's Development Permit processes, the developer has satisfied the following development requirements.

### Road Dedications

A Statutory Right-of-Way (SRW) (CA3023335, EPP28003) over Mah Bing Street located on the subject site has been secured as part of the rezoning application in 2008. This SRW area is required for the construction of Mah Bing Street; dedication of this area has been deferred due to the fact that this area is being used for surface parking, serving the existing rental buildings. An Option to Purchase the SRW is included in the SRW agreement, and this area will be transferred to the City once the existing rental buildings on site are demolished.

A 3.5 m wide SRW (CA3023366, EPP21004) has also been secured as part of the rezoning application in 2008 for future sidewalk and boulevard along the west side of Mah Bing Street. Based on the functional design provided by the applicant, the SRW is required to expand to 5.0 m wide to accommodate the proposed sidewalk and boulevard, and a 4 m x 4 m corner cut at the southeast corner of the site is required. It is recommended that the existing SRW (CA3023366, EPP21004) be discharged and a new SRW over the proposed sidewalk and boulevard on the west side of Mah Bing Street and the 4 m x 4 m corner cut, with an option to purchase, be provided by the applicant prior to Development Permit issuance. This SRW area will be transferred to the City once the Building Permit for the subject development is issued.

### On Site Public Walkways

The western property boundary of the subject site abuts Minoru Park. A 3.0 m wide lit pedestrian walkway with a 0.28 m wide landscape strip on the development side is proposed to run the length of the western property line providing access to the adjacent townhouses and a walking path for all park users. Prior to Development Permit issuance, provision of a 3.28 m wide SRW for public access along the west property line of the site is required.

A 1.2 m wide SRW for public access along the south property line of the site is also required to provide adequate width for two-way traffic on the lane of the neighbouring site. This SRW may also be used as a pathway, and will be connected to the proposed pathway along the west property line, adjacent to Minoru Park.

### Greenway

The development will create a major greenway connection between Mah Bing Street and Minoru Park in alignment with Murdoch Avenue; an SRW has been secured at Rezoning. The greenway configuration was originally defined by the tower footprints envisioned at Rezoning. In order to better align Tower C's façade with Towers A and B built in Phase 1 of the "Park Residences" development, and to allow for a wider view corridor between Towers C and D, the tower footprints have been modified. As a result, the SRW for the greenway is required to be revised. Staff support the proposed revision as the width and the size of the modified greenway are similar to the original configuration; except that the greenway is to be shifted approximately 3.5 m to the north.

### Existing Legal Encumbrances

There is an existing Statutory Right of Way (SRW) in favour of BC Hydro along the north property line of site (CA2817671, Plan EPP24203). The developer is required to discharge this SRW or confirm an alternative form of approval from BC Hydro prior to Building Permit issuance. The developer is responsible to coordinate with BC Hydro.

### Housing-Rental Replacement and Affordable Housing

When the rezoning application (RZ 04-286496) for the parent parcel of the “Park Residences” (including both Phase 1 and Phase 2) was submitted in 2004, the City did not have a formalized rental housing replacement policy for redevelopment of sites with existing rental units. The applicant has worked cooperatively with the City to create housing options to minimize the impact on the residents. The following table summarizes the existing and proposed rental housing availability on-site.

	<b>Existing</b> (6391 and 6491 Minoru Blvd.)	<b>Proposed</b> (7399 Murdoch Ave.)
Senior's Affordable Housing	None designated	22
Market Rental	128	110
<b>Total units</b>	128	132

Tower A in Phase 1 of the “Park Residences” development at 7399 Murdoch Avenue was secured for residential rental by a Housing Agreement. It contains 22 units of senior’s affordable housing for residents 65 years or older, and 110 market rental units. The existing rental buildings on-site (known as 6391 and 6491 Minoru Boulevard) were requested by the City to remain on-site during the construction of the first phase of the “Park Residences” development. At the time of redevelopment of Phase 1, the developer gave the residents at 6391 and 6491 Minoru Boulevard first option for refusal on the new rental units in Tower A when the new rental units were ready for occupancy, which provided the opportunity for those tenants that would be displaced by construction of Phase 2 to rent units in Tower A. All the new rental units in Tower A are currently occupied.

### Tenant Relocation Plan

As per the City’s current OCP requirements, a Tenant Relocation Plan (Attachment 2) for the existing residents at 6391 and 6491 Minoru Boulevard has been provided by the applicant. The proposed Tenant Relocation Plan complies with the Market Rental Housing Policy in the OCP. The applicant has agreed to register a legal document on title, prior to Development Permit issuance, to ensure that the proposed tenant relocation plan will be implemented prior to any demolition construction activity occurs on-site.

### View Blockage and Other Development Impacts

The subject development’s towers generally satisfy Development Permit Guidelines with respect to tower separation. Prior to Development Permit issuance, a covenant will be registered on title to the site to notify potential purchasers that future adjacent development may block views and/or have other impacts.

### Aircraft Noise

The site is designated as “Area 4 - Aircraft Noise Notification Area” where “all aircraft noise sensitive land use types may be considered.” A City’s standard residential aircraft noise covenant has been secured at Rezoning stage. An acoustic report and a mechanical report, prepared by a certified professional and satisfactory to the City, are required prior to Building Permit issuance.

### Floodplain Requirements

In accordance with the City’s Flood Management Strategy, the applicant is required to register a legal document on title referencing the minimum habitable elevation for the area, which is 2.9 m (geodetic). A Flood Indemnity Covenant has been secured at Rezoning stage.

### **Advisory Design Panel Comments**

On November 2, 2019, the Advisory Design Panel (ADP) reviewed and supported the subject Development Permit application moving forward to the Development Permit Panel, subject to the applicant giving consideration to the ADP’s comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 3), together with the applicant’s design response in ‘*bold italics*’.

### **Analysis**

#### *Conditions of Adjacency*

- The applicant proposes three buildings as follows:
  - Tower C (North of the Greenway): A 15-storey building with five levels of parking, three of which are located within a podium above grade and with townhouse and apartment units facing the public realm in most areas.
  - Towers D and E (South of the Greenway): 15-storey and nine-storey buildings with four levels of parking, three of which are located within a podium above grade with townhouse and apartment units facing on the public realm in most areas with the exception of the south elevation of the podium.
- The north side of the Tower C podium includes a three-storey concrete wall on the north property line that will abut a similar podium wall on the development to the north. The proposed height of the podium wall (at 10.67 m or 35.0 ft.) matches the height of the podium wall to the north. The indoor pool building on level 4 sets back approximately 1.5 m (5.0 ft.) from the north property line and the tower above level 4 sets back approximately 14.0 m (46 ft.) from the north property line.
- Tower C is designed to terrace down from west to east in order to maximize the tower spacing between the proposed Tower C and existing adjacent “Carrera” towers to the north; the proposed minimum tower separation is 38.1 m (125 ft.) to the closest adjacent tower to the north.
- The terracing design of Tower C also maximize the tower spacing between the proposed Tower C and existing adjacent Tower B of “Park Residences” (Phase 1) to the east; the proposed minimum tower separation is 38.2 m (125.3 ft.).

- The massing and orientations of the Towers C, D and E (with narrow, elongated floor plates) are designed to minimize impacts on existing buildings to the east and provide view corridors towards the park.
- Tower E is designed to be nine storey high and set back from Minoru Park in order to minimize impacts on existing adjacent buildings to the south.
- The south wall of the Tower D/E podium includes a three-storey concrete wall, clad in brick and vine planting systems, set back 1.44 m (4.7 ft.) from the south property line, and faces the side of the existing tower to the south.

### ***Architectural Form and Character***

- The proposed form of development, which combines articulated streetwall building elements and towers, generally complement with the adjacent residential and mixed-use projects developed under the City Centre Area Plan (CCAP).
- The proposed development is a continuation of the high-density residential tower project generally envisioned under the site specific zone adopted in 2008. While the density and building heights are higher than that provided under the current CCAP designation (adopted in 2009), the project has a similar density and the building height found throughout much of Brighthouse Village.
- Proposed massing, height and architectural expression of the towers, and overall character of the proposed development are generally in compliance with the applicable Design Guidelines.
- The massing of the towers is reduced by reinforcing their verticality with large glass surfaces contained by a well proportioned, full-height solid grid frame at the northern portion of Tower C and northeast corners of Tower D respectively. The other sides of the towers reduce the perception of mass with a combination of a solid grid frame and glass surfaces.
- Massing is refined further by a series of three-storey elements, grounding the tower at the Greenway and Mah Bing Street. The lighter glazed tower is recessed and appears to float above.
- Major balconies (especially south and west facing) wrap around and provide sun shade for the corner units. Window walls will be used especially higher up, to give the appearance of a light structure above, reducing the appearance of mass.
- Significant corner elements will be cladded in cementitious panels. Elements closer to the ground will be cladded in brick, whereas other solid elements will be painted concrete frames with punched windows.
- The scale and architectural detailing, including materials and colours of the proposed ground-oriented units, the entrance to the residential towers, and other architectural features in the lower levels help to reinforce a pedestrian scale.



### ***Urban Design and Site Planning***

- The proposed buildings have been carefully sited to minimize potential impacts to views and shadows on existing and future neighbouring developments. The towers are oriented east-west and step inwards, to take advantage of the westward park views. The east-west origination leans itself towards a narrow, elongated floor plates. This orientation provides view corridors towards the park for future developments to the east of the subject site.
- While Tower C is designed to terrace down from west to east, Tower D is designed to descend from east to west in order to maximize tower spacing between Tower C and Tower D and to increase view exposure and balcony opportunities westward towards Minoru Park. Tower E, at nine storeys, is massed similarly to Tower D, but at a lower ultimate height.
- The edge conditions along Minoru Park, the proposed greenway and Mah Bing Street achieve the proper pedestrian scale and provide a gentle transition between sidewalk/public walkway and building. The relationship between public, semi-private, and private realms is well resolved and provides a high quality streetscape.
- Townhouse units line the Minoru Park frontage with a raised patios. Additional townhouse units and main entrances for Towers C and D are proposed along the greenway to provide “eyes on the street”.
- The façades of the podiums along Mah Bing Street are designed to minimize the visual impact of the parkade entrances. Street-fronting indoor amenity areas are designed to animate Mah Bing Street. Extent of glass window wall at units above grade is maximized.
- Extent of solid façade on the east elevation of the Tower C podium is minimized and is softened with brick treatment and vertical landscaping.
- Loading and waste collection will be provided within laybys off of Mah Bing Street adjacent to each of the parkade entrances
- There is a total of 358 parking spaces provided in the two podiums (311 residential and 47 visitor parking spaces; including nine accessible parking stalls). The proposed number of parking spaces is consistent with the parking requirements under the ZHR4 zone subject to the provision of Transportation Demand Measures (TDM) to the satisfaction of the City. The TDM includes:
  - a greenway to Minoru Park through the subject site, which provides a direct and functional connection from Minoru Boulevard to Minoru Park through a combination of road (Murdoch Avenue) and private property right-of-way (ROW) on-site; and
  - an additional 50 Class 1 and 25 Class 2 bicycle parking space beyond the minimum bylaw requirements to promote alternate mode of transportation.
- Energized electric vehicle (EV) charging outlets for 100% of resident vehicle parking spaces (208V - 240V) will be provided.
- The proposal will feature 62 parking spaces in a tandem arrangement. Registration of a restrictive covenant to prohibit the conversion of the tandem garage area into habitable space, and to ensure that both parking spaces be assigned to the same dwelling unit where two parking spaces are provided in a tandem arrangement, is required prior to Development Permit issuance.

- Registration of a restrictive covenant to the number of visitor parking stalls per zoning bylaw requirements will be maintained in perpetuity is required prior to Development Permit issuance.
- There is a total of 412 bicycle parking spaces provided throughout the site (340 Class 1 and 72 Class 2 spaces).
- All residential bicycle parking spaces/lockers will be provided within bike storage room within the parking structure. Prior to Development Permit issuance, a restrictive covenant is required to be registered on title to ensure that:
  - Conversion of the proposed bike storage room/lockers in this development into habitable space or general storage area is prohibited.
  - The bike storage room must remain available for shared common use and for the sole purpose of bicycle storage.
- 32 visitor bicycle parking spaces will be provided in the open area by each of the main entry of Towers C, D, and E. As there is insufficient room to provide additional bicycle racks on the exterior without impacting the proposed public greenway, the balance of the visitor bicycle parking spaces are to be provided within the parking structures: 10 spaces will be provided adjacent to the vestibule serving visitor parking for Tower C; and 30 spaces will be provided near the south end of visitor parking in Towers D and E. Prior to Development Permit issuance, a restrictive covenant is required to be registered on title to ensure that:
  - The number of visitor bicycle parking spaces per Zoning Bylaw requirements will be maintained in perpetuity.
  - Conversion of the proposed visitor bicycle parking areas in this development into habitable space or general storage area is prohibited.
- It is noted that garbage and recycling collection vehicles currently access the Minoru Towers property (adjacent residential development at 6611 Minoru Boulevard) by driving across the southeast corner of the subject site though there is no access easement registered on title. The applicant had contacted the strata of 6611 Minoru Boulevard and proposed two options to provide truck access to the garbage and recycling collection facilities at 6611 Minoru Boulevard. One of the options involves physical changes to the Minoru Towers property and the other does not. Since there is no agreement with the adjacent strata corporation regarding modifications to their property, the applicant offers to provide a hammerhead at the southwest corner of the subject property to allow garbage and recycling collection vehicles servicing 6611 Minoru Boulevard to turn-around. No physical changes to the Minoru Towers property is required. The proposed hammerhead is designed by the applicant's traffic engineers (Attachment 4) and the proposal is acceptable to Transportation and Environment Services staff. Prior to Development Permit issuance, an SRW over the entire hammerhead area for public rights-of-passage (PROP) will be required.
- The applicant has also worked with the owners of 6551 Minoru Boulevard to relocate the existing garbage and recycling bins for that residential development to a new location that would not impede traffic flow and truck movement to the Minoru Towers property south of the subject site. Correspondence related to this matter between the applicant and the property management company of 6551 Minoru Boulevard are on file.

### ***Tree Management***

- The applicant has submitted a Certified Arborist's Report; which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report identifies eight bylaw-sized trees on the subject development site, all in good to fair condition, and recommends that all of them be removed since they are falling within the proposed building footprints or area of heavy construction (i.e., underground services as coordinated in Servicing Agreement or required pedestrian pathway along Minoru Park).
- Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 16 replacement trees are required. The applicant is proposing to plant 120 replacement trees on-site, including 70 conifer and 50 deciduous trees.
- The proposed buildings and underground parking structures have been set back sufficiently to enable retention of trees located along the adjacent Minoru Park frontage. Landscape installation within the Critical Root Zone will be coordinated with the consulting arborist.
- Prior to Development Permit issuance, the applicant is required to submit to the City of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to the tree protection zones for trees located within Minoru Park. The contract must include the scope of work required, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection, and a provision for the Arborist to submit a post-construction impact assessment to the City for review.
- Prior to demolition of the existing buildings on the subject development site, installation of tree protection fencing around adjacent trees within Minoru Park is required. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin Tree-03 prior to any works being conducted on-site, and remain in place until construction and landscaping on-site is completed.
- Tree preservation strategy for off-site servicing works will be reviewed as part of the Post Approval Revision to Servicing Agreement (SA 08-413951).

### ***Landscape Design and Open Space Design***

- The proposed greenway located between Towers C and D will provide a generous public open space between the two buildings, creating a new connection between Minoru Park and Mah Bing Street.
- The greenway features a plaza with Public Art, benches, planting beds with trees, and open flexible lawn areas for picnics or active play. A gateway trellis is proposed at the west end of the greenway to announce the arrival to Minoru Park.
- At the Minoru Park interface, a 3.0 m wide walkway is provided and will connect to the existing walkway established on the adjacent development to the north.
- The overall landscape concept satisfactorily enhances and softens the interface between building(s) and the public realm.
- Building lobbies and private patios with individual gates are proposed along the greenway and along the walkway adjacent to Minoru Park to animate the public realm.

- Along Mah Bing Street, the public realm is primarily defined by a tree lined boulevard.
- The podium roofs on Level 4 are designed to be a “landscaped roof” with significant landscaping and planting areas that will help to reduce storm water flow and provide a pleasant outdoor amenity for the residents.
- Tower C has an outdoor amenity space featuring a children’s play area with a kid table and sitting poles, a play house, a spring toy and a play tower with climbing net, wood post and plastic slide. In addition, there is a patio area, a sodded lawn, an urban agriculture space, and a south-facing amenity deck which can be considered as an outdoor extension of the indoor pool area.
- Towers D and E share an outdoor space which feature a larger children’s play areas; in addition to the kid table, play house, spring toy, and play tower featured in Tower C, a single balance beam and timber steps are included in the play area. In addition, similar to the Tower C rooftop, an amenity deck adjacent to the indoor pool area is proposed.
- With the open space provided in the greenway, the proposed size of the outdoor amenity space exceeds the minimum identified under the Development Permit Guidelines.
- Proposed children’s play area (composed of the open lawn areas in the proposed greenway and the children’s play spaces on Level 4 in both towers) meets the minimum identified under the Development Permit Guidelines.
- The CCAP requires that multi-family development comprising 200 units or more provide indoor amenity space at a standard of 2 m<sup>2</sup> (21.5 ft<sup>2</sup>) per dwelling unit. The subject development exceeds the CCAP minimum and provides for 854 m<sup>2</sup> (9,201 ft<sup>2</sup>) of indoor amenity space located over three floors in the podium. Tower C features a fitness room on ground floor, an amenity room on the second floor, and a pool area on level 4. Towers D & E feature an amenity rooms on the ground floor and a pool area on level 4.
- An irrigation system is proposed to ensure continued maintenance of live landscaping on site.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$1,066,863.05 in association with the Development Permit.

### ***Public Art***

- The applicant is participating in the public art program. Contribution was secured through the Rezoning. The art piece will be approved through the standard public art approval process and is intended to be installed in the greenway connecting Mah Bing Street to Minoru Park. Registration of a public art covenant is required prior to Development Permit issuance.

### ***Crime Prevention Through Environmental Design***

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- Ground-oriented units are proposed along the greenway and Minoru Park to create animation and facilitate casual surveillance for added pedestrian’s safety. Units in Levels 2 and 3 of the podium, along Mah Bing Street, also achieve this general objective.
- Pedestrian accesses to the ground-oriented units will be raised above grade clearly denoting them as private space.

- Vehicular accesses for visitors are gated; entry for non-residents will be controlled by residents via cell phone technology.
- Parking is on designated half levels; each half level is open visually at all ends.
- Openings are provided at all intermediate ramps to increase visual access between levels.
- Elevator lobbies are fully glazed; vestibule doors to access residential areas feature glazed opening with wired Georgian glass.

### ***Energy and Sustainability***

- The subject site will be required to connect to the City's District Energy Utility (DEU) via connection to energy transfer stations to be located in DEU mechanical rooms within the buildings. Registration of a legal agreement on title is required, securing the owner's commitment to connect to a DEU that provides that no Building Permit will be issued unless the building is designed with the capability to connect to and be serviced by a DEU. Prior to Building Permit Issuance, DEU mechanical room size and location, service connection routing, and building mechanical system compatibility are subject to approval of the City and the DEU provider LIEC. The owner will also be required to provide mechanical drawings and detailed energy modeling, which shall be reviewed by the City and LIEC for compliance with DEU requirements prior to Building Permit issuance.
- The project is subject to the Step 2 of the Energy Step Code.

### ***Accessible Housing***

- The proposed development includes 12 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m<sup>2</sup> (20 ft<sup>2</sup>) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### **Servicing Requirements**

Through Rezoning (RZ 04-286496), the developer had entered into two Servicing Agreements (e.g., SA 07-382691 and SA 08-413951) to service the two phases of the "Park Residences" development. Both Servicing Agreement designs are approved, SA07-382691 covered the recently constructed Servicing Agreement works needed to service Phase 1 (i.e., 7333 and 7399 Murdoch Avenue), while Servicing Agreement (SA 08-413951) will cover the remaining works required to service Phase 2, which is the subject of this Development Permit application.

In order to service the subject site, infrastructure works will be required within Minoru Park due to the existing gravity system. The approved servicing design for Phase 2 (i.e., SA 08-413951) was approved in February, 2012 (bonding is in place). It had been developed to minimize impact

on trees within Minoru Park but it is impossible to complete the infrastructure improvements without some impact on trees within the park. In order to minimize the impact on the trees and address additional servicing modifications, the approved Servicing Agreement for Phase 2 requires modification to match existing conditions. The required modifications will be facilitated through a post approval revision, in consultation with the parks department. This will be a condition to Development Permit issuance. Site servicing works are being coordinated with Parks and Engineering staff; detailed design review is ongoing. Any tree removal and replacement associated with the SA works will be determined by the Parks Services Department.

### **Conclusions**

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Edwin Lee  
Planner 2  
(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet

Attachment 2: Tenant Relocation Plan

Attachment 3: Excerpt from Advisory Design Panel Meeting Minutes (November 2, 2019)

Attachment 4: Turning Paths at 6611 Minoru Boulevard - Garbage Truck and Recycling Truck

Attachment 5: Development Permit Considerations



**DP 18837117**

**Attachment 1**

Address: 6333 Mah Bing Street

Applicant: WT Leung Architects Inc.

Owner: 410730 BC Ltd.

Planning Area(s): City Centre

Floor Area Gross: 30,525.55 m<sup>2</sup> (328,574 ft<sup>2</sup>)

Floor Area Net: 27,948.47 m<sup>2</sup> (408,474 ft<sup>2</sup>)

	Existing	Proposed
<b>Site Area:</b>	9,810 m <sup>2</sup> (105,594 ft <sup>2</sup> )	Post road dedication as secured at Rezoning = 8,720 m <sup>2</sup> (93,861 ft <sup>2</sup> )
<b>Land Uses:</b>	Multi-family Residential	Multi-family Residential
<b>OCP Designation:</b>	Mixed Use	No Change
<b>Area Plan Designation</b>	City Centre Area Plan: General Urban T5 (25 m) Sub-Area B.3: Mixed Use – High-Rise Residential, Commercial & Mixed Use	No Change
<b>Zoning:</b>	ZHR4	No Change
<b>Number of Units:</b>	124	232

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio (Residential):	3.40	3.21	none permitted
Floor Area Ratio (Amenity Space):	0.10	0.10	none permitted
Lot Coverage - Building:	Max. 90 %	67%	none
Setback – Front Yard:	Min. 6.0 m	6.0 m	none
Setback – Side Yard (north):	n/a	0.0 m	none
Setback – Side Yard (south):	n/a	1.44 m	none
Setback – Rear Yard (west):	Min. 6.0 m	6.0 m	none
Height (m):	Max. 47.0 m geodetic	47.0 m geodetic	none
Lot Size:	13,000 m <sup>2</sup> (139,930 ft <sup>2</sup> )	8,720 m <sup>2</sup> (93,861 ft <sup>2</sup> )	<b>Variance Requested</b>
Off-street Parking Spaces – Residential:	327 or 295 with TDM	311 with TDM	none
Off-street Parking Spaces – Visitor:	47	47	none
Off-street Parking Spaces – Total:	374 or 342 with TDM	358 with TDM	none

Accessible Parking Spaces:	Min. 2% when 11 or more spaces are required (358 x 2% = 8 spaces)	9	none
Tandem Parking Spaces:	Max. 100%	62	none
Small Car Parking Spaces:	Max. 50% when 31 or more spaces are provided on-site (358 x Max. 50% = 179)	149	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.20 (Class 2) per unit	1.46 (Class 1) and 0.31 (Class 2) per unit	none
Bicycle Parking Spaces - Total:	290 (Class 1) and 47 (Class 2)	340 (Class 1) and 72 (Class 2)	none
Amenity Space – Indoor:	Min. 2 m <sup>2</sup> x 232 units = 464 m <sup>2</sup> (4,994 ft <sup>2</sup> )	835 m <sup>2</sup> (8,987 ft <sup>2</sup> )	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 232 units + 10% of net site area = 2,219 m <sup>2</sup> (23,885 ft <sup>2</sup> )	3,054 m <sup>2</sup> (32,873 ft <sup>2</sup> )	none



**(A) Current Site Information**

<b>Site Address:</b>	6391 Minoru Blvd / 6491 Minoru Blvd (new site address 6333 Mah Bing Street)
<b>Legal Description:</b>	Lot B, Section 8, Block 4 North Range 6 West, NWD Plan EPP21002
<b>Owner Name:</b>	410730 BC Ltd (Park Residences Phase II Limited Partnership)
<b>Applicant Name:</b>	Rachel Hutton, Stikeman Elliott LLP
<b>Phone:</b>	604-631-1342
<b>E-mail:</b>	rhutton@stikeman.com
<b>Current Zoning:</b>	Richmond Bylaw 8300 Amendment Bylaw No. 8103 (per RZ004-286496 adopted Sept 08, 2008)
<b>Current Rental Type:</b> (select all that apply)	<input checked="" type="checkbox"/> Market <input type="checkbox"/> Non-market <input type="checkbox"/> Cooperative <input type="checkbox"/> Other (please specify):

**(B) Current Total Rental Units**

Unit Type	Number of Current Units			Average Monthly Rent	Average Size (m <sup>2</sup> )
	Total	Occupied	Ground-Oriented*		
Studio	06	05	0	\$ 0 884.00	52.0
1 BR	67	62	0	\$ 1 054.68	72.2
2 BR	46	45	0	\$ 1 262.67	102.8
3 BR	05	05	0	\$1 433.00	124.9
3+ BR					
<b>Total</b>	<b>124</b>	<b>117</b>	<b>0</b>	n/a	n/a

**(C) New Rental Units (\*CONSTRUCTION COMPLETED - OCCUPANCY Nov 2016)**

Unit Type	New Rental Units			
	Number of Units	Ground-Oriented*	Initial Average Monthly Rent at occupancy	Average Size (m <sup>2</sup> )
Studio	28	0	\$ 0 927.78 senior ** \$ 1 115.00 market ***	46.1
1 BR	74	0	\$ 1 000.00 senior ** \$ 1 347.88 market ***	50.0
2 BR	30	0	\$ 1 882.67 market ***	70.3
3 BR				
3+ BR				
<b>Total</b>	<b>132</b>	n/a	n/a	n/a

\* Ground-oriented unit means a unit that is directly accessible from the road  
 \*\* 22 units seniors' housing was provided with rents capped at \$1 000/ month per housing agreement  
 \*\*\* 110 units market housing was provided

**(D) Tenant Relocation Plan**

Tenant Relocation Plan Components	Tenant Relocation Plan	Comply with the policy?
<p><b>Notification:</b></p> <ul style="list-style-type: none"> <li>A minimum 4 months' notice to end tenancy, and otherwise as set out in the provincial <i>Residential Tenancy Act</i></li> </ul>	<p>The <i>Residential Tenancy Act</i> will be followed as it pertains to notification and compensation</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p><b>Right of First Refusal:</b></p> <ul style="list-style-type: none"> <li>Offer to return to the building, with rent rates set at low-end market rental (LEMR) rates (without having to meet income thresholds)</li> </ul>	<p>132 Replacement Rental Units were constructed, completed and occupancy granted December 06, 2016 (110 market + 22 non-market seniors' affordable) Existing Tenants were offered first refusal Yes, 19 accepted the offer</p> <p>*NOTE: Rezoning adopted Sept. 08, 2008; initial rents were as per rates outlined in housing agreement – rates were established at max \$1 000 / month for seniors non market as outlined in the housing agreement</p> <p><u>July 07, 2020 – updated</u> Existing tenants received a letter offering priority viewing on Oct. 18, 2016.</p> <p>As a condition of rezoning, the owns of the existing buildings entered a legal agreement with the City of Richmond requiring demolition of these buildings within two years of occupancy (Mandatory Demolition was to occur by December 05, 2018).</p> <p>A demolition bond of \$577 500 was also posted</p> <p>The owner of these rental properties had ceased signing lease agreements beyond 2018 in anticipation of required demolition, and all new rentals are handled on a month to month basis</p> <p>Planning requested in 2018 that demolition be deferred pending revisions to rental policies</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p><b>Relocation Assistance:</b> (Only required for tenants with tenancy of 1+ years)</p> <ul style="list-style-type: none"> <li>Accommodation must meet the tenant's needs</li> <li>Accommodation should be located in Richmond or in another location at the tenant's discretion</li> <li>Rents at the new location should not exceed CMHC average area rents for Richmond</li> </ul>	<p>The developer will provide relocation assistance</p> <p>Yes, a Tenant Relocation Coordinator will be retained to provide relocation assistance</p> <p><u>July 07, 2020 – updated</u></p> <p>The relocation coordinator will be Betty Thien, Property Manager (Rhome) <a href="mailto:Betty.Thien@Rhomepm.com">Betty.Thien@Rhomepm.com</a> - 604-501-4413</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>

<p><b>Compensation:</b> (Only required for tenants with tenancy of 1+ years)</p> <ul style="list-style-type: none"> <li>• 3 months' free rent or lump sum equivalent</li> </ul>	<p>3 months free rent or lump sum equivalent will be provided</p> <p><b>July 07, 2020 – updated</b></p> <p>For those who qualify for compensation, the option will be provided for 3 months' free rent or lump sum equivalent</p> <p>Those who have resided in the building for five years or more will receive one additional month free rent or lump sum equivalent</p> <p>Those who have resided in the building for ten years or more will receive two additional months free rent or lump sum equivalent</p> <p>Ms. Betty Thien (Rhome Management) will handle all monetary issues</p> <p>All damage deposits will be returned to the tenants upon vacating, as the buildings will be demolished</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p><b>Communication with Tenants:</b></p>	<p>Property management has been in communication with tenants during the development application process</p> <p><b>July 07, 2020 – updated</b></p> <p>The on-site manager in regular communication with tenants is Mr. Ivan Petrov, 604-270-6779</p> <p>The DP Sign was erected in front of the buildings, at the intersection of Murdoch and Mah Bing November 13, 2018.</p> <p>After Development Permit Approval and issuance and Demolition Permit Issuance, the applicant will conduct an Open House meeting with tenants (Covid-19 conditions permitting) and will also advise tenants in writing of relocation assistance options and compensation available</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>

Prepared by: \_\_\_\_\_ Doug Millar architect aibc \_\_\_\_\_

Date: \_\_\_\_\_ July 07, 2020 \_\_\_\_\_

Excerpt from the Minutes from  
The Design Panel Meeting

Wednesday, November 2, 2019 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall

1. DP 18-837117 – THREE-TOWER RESIDENTIAL DEVELOPMENT

ARCHITECT: W.T. Leung Architects Inc.  
LANDSCAPE ARCHITECT: Durante Kreuk Landscape Architects  
PROPERTY LOCATION: 6333 Mah Bing Street

**Applicant's Presentation**

Wing Ting Leung, Arnold Wong, and Doug Millar, W.T. Leung Architects, Inc., Richard O' Connor and Jane Durante, Durante Kreuk Landscape Architects, Daniel Roberts, Kane Consulting, and Willie Perez, MCW Consultants, presented the project and answered queries from the Panel on behalf of the applicant.

**Panel Discussion**

***(Applicant Responses in Bold Italics)***

*Comments from Panel members were as follows:*

- consider installing a pocket door for the ensuite washroom in the master bedroom and an outward swinging door for the second washroom (in lieu of an inward swinging door) in convertible units to enhance accessibility of residents in wheelchairs and strollers;

***WTLA: pocket doors are not typically included on our projects. There are a number of drawbacks to pocket doors in our view. These include difficulty cleaning the inside pocket space and binding that occurs after building settlement, which renders the pocket door inoperable. We will review swing doors and adjust according to the comments***

- consider installing an automatic door from the parkade to the elevator to assist people with disabilities;

***WTLA: The Building Code requires automatic door openers when the proscribed clearances on the push/pull sides of the door are not being met. We will meet the proscribed clearances OR provide automatic openers on every level of the parkade accessed by people with disabilities***

- consider incorporating aging-in-place features for some townhouse units;

***WTLA: Typical aging-in-place features (lever handles, blocking, clearances at door entries) are provided throughout this project. With respect to multi-storey townhouses, there are 10 (ten) three-storey units fronting the park. Each of these units contains its own elevator to assist with aging-in-place***

- proposed public art feature in a highly visible location benefits the project and the public realm, improves wayfinding and enhances the public character of the plaza;

***WTLA: noted***

- consider further breaking down the massing of the podium wall above the parkade entrances facing Mah Bing Street considering their visible and prominent location and the possibility that the proposed vine planting on the podium wall may take time to grow; consider further articulating the podium wall and introducing architectural elements to provide a pedestrian scale treatment to the Mah Bing Street elevation and improve the appearance of the parkade entrances;

***WTLA: The East Elevation has been revised to increase the amount of Gold Glazing at the feature above the parkade entry, and to add Terra Cotta Paneling over the parkade entrance to Towers D/E. Canopies have also been enhanced at Tower Entries.***

- appreciate the current approach to break down the massing of the south façade of Tower E; however, consider further breaking down the mass on the pedestrian level at grade through further articulation, e.g. introducing patterns or another colour for the brick material to provide visual interest to pedestrians; also ensure adequate lighting on the south edge to address potential CPTED concerns;

***WTLA: Brick material provided at south elevation between Terra Cotta at Mah Bing and Glass Panel at park. Separate Lighting Plan has been developed and lighting specs included on landscape drawing L1.9***

- appreciate the project design with open view corridors and the openness to the park; the project is well conceived and well landscaped;

***WTLA: noted***

- review the proposed lighting strategy for the greenway and consider a lighting strategy which balances addressing potential CPTED issues and avoiding light disturbance to neighbouring residences and light pollution; consider installing a greater number of low level lighting to ensure a more even distribution of lighting in the greenway;

***WTLA: Separate Lighting Plan has been developed and lighting specs included on landscape drawing L1.9***

- appreciate the applicant's comprehensive presentation and package submission which includes energy modeling results and LEED scorecard;

***WTLA: noted***

- a 50 percent glass-to-wall ratio is not apparent in the model presented by the applicant; applicant is advised to review assumptions regarding the energy and sustainability aspects of the project to ensure compliance with BC Step Code requirements;

***WTLA: The preliminary model was based on design elevations with less than 50% glass to wall ratio. The building uses a lot of spandrel glass with insulated panel behind, for ease of construction. Spandrel panels are included as wall in the wall-to-window ratios. The elevations are deceptive due to the appearance of more glazing. The spandrel glass inserted as part of the window-wall system for ease of fabrication / ease of construction. BC Step Code compliance will be demonstrated in more detail with the Building Permit submission.***

- review the proposed strategy to mitigate noise from the generator room to ensure that potential noise impacts to the adjacent tower to the south are addressed;

***WTLA: Specific mitigation measures being incorporated:***

- ***Emergency Generator – will provide a muffler to reduce sound power at point of discharge;***
- ***Parkade Exhaust Ventilation – operates “on demand” w/ variable speeds;***
- ***Rooftop Units – all rooftop equipment is screened visually and acoustically i.e.***
  - ***6333 Mah Bing (Tower ‘c’) – all equipment is behind a parapet;***
  - ***6355 -6399 Mah Bing – all equipment is behind a rooftop screen;***

***The acoustic noise mitigation properties of all above measures will be incorporated at the Building Permit stage when equipment selections and design details are complete.***

- review the design and energy requirements of the lobby vestibules as these may meet BC Step Code requirements but not provide thermal comfort;  
*WTLA: There is no requirement in the BC Building Code 2018 edition for vestibules. Should the refined energy model based on developed Building permit drawings show that the project is not meeting Step 2 requirements then we will need a vestibule. Short of that there is no specific requirement mandating the application of vestibules for this project. We will revisit this issue when the detailed energy model is closer to completion, and act accordingly should vestibules not be required to meet Step Code.*
- appreciate the applicant voluntarily designing the project to achieve LEED Silver Equivalency; however, consider targeting LEED Silver Certification;  
*WTLA: The project exceeds LEED Silver Equivalency. The LEED Certification process adds project costs without changing this benefit. These costs are borne ultimately by the purchaser. This is not a value-add to the project and only increases the cost of housing in general.*
- appreciate the model as it helped the Panel better understand the project;  
*WTLA: noted*
- consider a consistent approach for the articulation colour and materiality of the soffits on the townhouse versus the tower levels;  
*WTLA: Colour details for treatment of various soffits will be developed for construction documents, and will reflect the design approach evident on phase 1, now complete*  
*WTLA JUNE 29 – soffits to match colour of concrete (BM-OV 14 – natural cream)*
- consider introducing a different treatment for the main pedestrian entrances of the buildings along the greenway, e.g. through introducing accent colours, banding or coloured canopies over the recesses, to make them more prominent;  
*WTLA: Canopies have been accentuated in the drawings – see elevations for revisions*
- appreciate the proposed overall landscaping for the project; and  
*WTLA: noted*
- consider introducing more landscape treatment for the three-meter wide sidewalk along the edge of the park to make it more visually interesting.  
*WTLA: Changes of paving added to the landscape plans; the front entrances to the buildings changed to special paving. Refer to landscape plans*

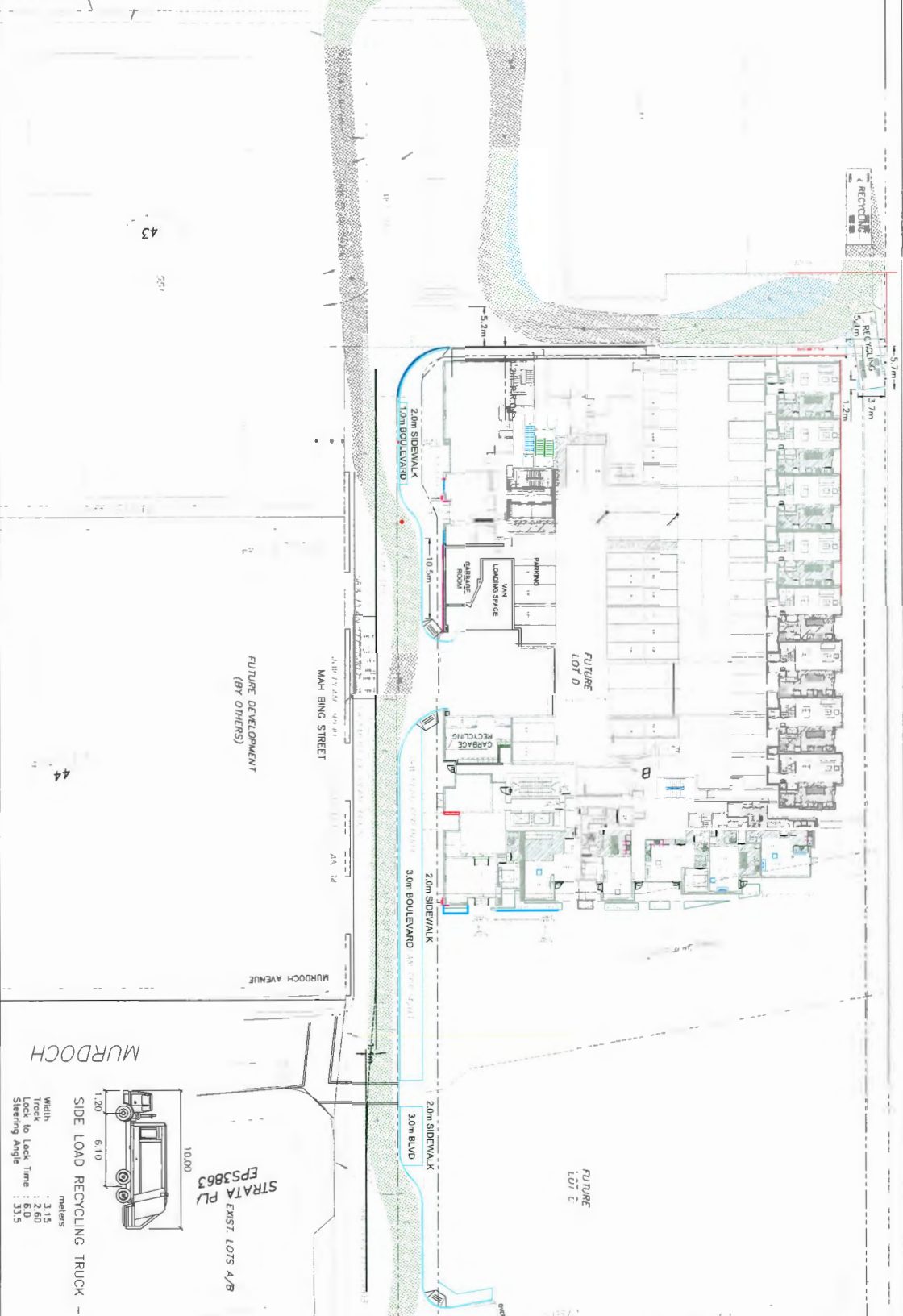
**Panel Decision**

It was moved and seconded

*That DP 18-837117 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.*

**CARRIED**



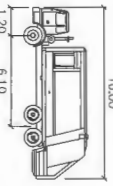


**RICHMOND 6333 MAH BING STREET (DP 18-837117)**  
 MAH BING STREET FUNCTIONAL DESIGN  
 RECYCLING TRUCK ENTERING AND EXITING LOADING AREAS

SIDE LOAD RECYCLING TRUCK -

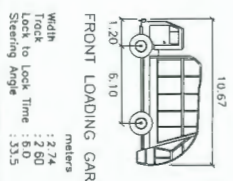
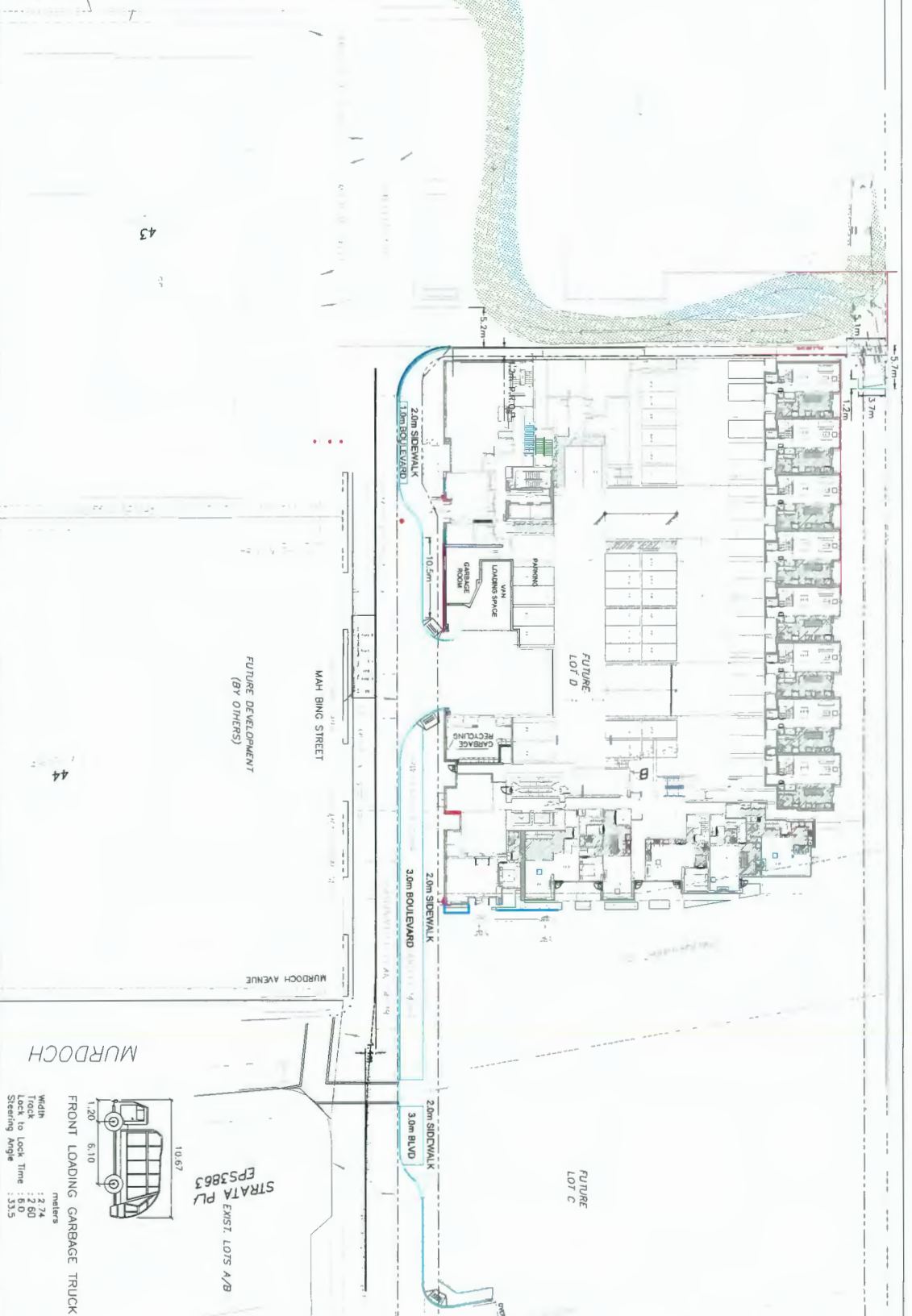
Width	: 3.15
Truck	: 2.60
Lock to Lock Time	: 6:0
Steering Angle	: 30.5

meters



STRATA PL  
 EWST. LOTS A/B  
 EPS3863

MURDOCH



FRONT LOADING GARBAGE TRUCK

Width	: 1.20	meters
Length	: 6.10	meters
Lock to Lock Time	: 2.24	seconds
Steering Angle	: 5.0	degrees
	: 33.5	degrees

**RICHMOND 6333 MAH BING STREET (DP 18-837117)**  
 MAH BING STREET FUNCTIONAL DESIGN  
 GARBAGE TRUCK ENTERING AND EXITING LOADING AREAS

43

44

MURDOCH

STRATA PLU  
 EPS3863  
 EXIST. LOTS A/B



**Address:** 6333 Mah Bing Street

**File No.:** DP 18-837117

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. Discharge of Statutory Right of Way CA3023366 (Plan EPP21004) for "Utilities and Sidewalk - Lot B".
2. Registration of a statutory right-of-way, and/or other legal agreements or measures, as determined to the satisfaction of the Director of Development, over the proposed sidewalk and boulevard areas along Mah Bing Street and the proposed 4.0 m x 4.0 m corner cut at the southeast corner of the site for utilities and sidewalk. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. Languages should be included in the document that the entire SRW area shall be transferred to the City after the Building Permit for the development (DP 18-837117) has been issued, and prior to Final Inspection of the Building Permit (i.e., occupancy) is granted.
3. Granting of a 3.28 m wide statutory right-of-way along the entire west property line of the site for the purposes of a public walkway. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. The property owner/strata are responsible for all maintenance of improvements, including but not limited to the public walkways/sidewalks, street furniture, lighting and landscaping within the SRW, and are responsible for all liability of SRW area.
4. Granting of a 1.2 m wide statutory right-of-way along the entire south property line of the site to provide adequate width for two way traffic on neighbour's lane. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. The property owner/strata are responsible for all maintenance of improvements, including but not limited to the public walkways/sidewalks, street furniture, lighting and landscaping within the SRW, and are responsible for all liability of SRW area.
5. Replace Plan EPP21005 attached to Statutory Right of Way CA3023344 to reflect the new alignment of the public greenway.
6. Registration of a legal agreement(s) regarding the developer's commitment to the proposed Tenant Relocation Plan. Languages should be included in the document to confirm adherence to the Tenant Relocation Plan prior to any demolition construction activity on site.
7. Registration of a legal agreement on title stipulating that the development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlook and reduced privacy, increased ambient noise and increased levels of night-time ambient light, and requiring that the owner provide written notification of this through the disclosure statement to all initial purchasers, and erect signage in the initial sales centre advising purchasers of the potential for these impacts.
8. Registration of a statutory right-of-way, and/or other legal agreements or measures, as determined to the satisfaction of the Director of Development, over the proposed hammerhead area at the southwest corner of the site to facilitate truck turnaround capability between the subject site and the property to the south at 6611 Minoru Boulevard. Any works essential for truck turnaround within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works.

Initial: \_\_\_\_\_

9. Registration of a legal agreement on title ensuring that:
  - a) where two parking spaces are provided in a tandem arrangement both parking spaces must be assigned to the same dwelling unit ; and
  - b) conversion of tandem parking area into habitable space is prohibited.
10. Registration of a legal agreement on title ensuring that:
  - a) the number of visitor parking stalls per zoning bylaw requirements will be maintained in perpetuity;
  - b) selling, leasing, assigning, or designating any of the visitor parking spaces to individual unit owners/renters/occupants or any other persons by the developers/applicants/owners and future strata councils is prohibited; and
  - c) the required visitor parking stalls are available for the common use of visitors to this development and are accessible to visitors at all times.
11. Registration of a legal agreement on title ensuring that:
  - a) conversion of any of the bicycle parking areas within the parking structure into habitable space or general storage area is prohibited; and
  - b) all of the bicycle parking areas are available for shared common use and for the sole purpose of bicycle storage.
12. Registration of a legal agreement on title ensuring that:
  - a) the number of visitor bicycle parking (Class 2) stalls per zoning bylaw requirements will be maintained in perpetuity;
  - b) selling, leasing, assigning, or designating any of the visitor bicycle parking (Class 2) stalls to individual unit owners/renters/occupants or any other persons by the developers/applicants/owners and future strata councils is prohibited; and
  - c) the required visitor bicycle parking (Class 2) stalls are available for the common use of visitors to this development and are accessible to visitors at all times.
13. Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
  - a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
  - b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building;
  - c) If a DEU is not available for connection, then the following is required prior to the earlier of subdivision (stratification) or final building inspection permitting occupancy of a building:
    - i) the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
    - ii) the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation;
    - iii) the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building;
    - iv) if required by the Director of Engineering, the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.
14. Registration of a Public Art Covenant on title for the implementation of the City approved Public Art Plan.
15. Receipt of a Letter of Credit for landscaping in the amount of \$ 1,066,863.05 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).

Initial: \_\_\_\_\_

16. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within or in close proximity to the tree protection zones for trees located within Minoru Park. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
17. Approval of a Post Approval Revision to SA 08-413951. An updated Letter of Credit or cash security for the value of the revised Service Agreement works, as determined by the City, will be required as part of the Post Approval Revision to SA 08-413951. Works include, but may not be limited to:

Water Works:

- Using the OCP Model, there is 344 L/s of water available at a 20 psi residual at the Mah Bing street frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
- Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
- At the developer's cost, the Developer is required to:
  - Update the water works design as per approved SA08-413951 to reflect the actual invert elevations at the tie-in points.
  - Install the proposed 200mm diameter watermain at the frontage of Tower D & E (i.e., southern portion of Mah Bing Street) as per SA08-413951.
  - Provide new hydrants to meet the 75m standard spacing required as per City standard.
  - Install new water service connection off of the proposed 300 mm PVC water main along the Mah Bing frontage. Meter to be located onsite (i.e. in a mechanical room).

Storm Sewer Works:

- At the Developer's cost, the Developer is required to:
  - Update the storm sewer design as per approved SA08-413951 to reflect the actual invert elevations at the tie-in points.
  - Install the proposed 600mm diameter storm sewer at the frontage of Tower D & E (i.e., southern portion of Mah Bing Street) as per SA08-413951.
  - Revise the alignment of the proposed box culvert (as per SA08-413951) in the proposed greenway to match the latest greenway concept and revise the proposed box culvert alignment in the park to minimize required tree removal. Parks and Engineering staff will provide directions on this prior to revising SA08-413951.

Sanitary Sewer Works:

- At the Developer's cost the Developer is required to:
  - Update the sanitary sewer design (as per approved SA08-413951) to reflect the actual invert elevations at the tie-in points.
  - Install the proposed 250mm diameter sanitary sewer at the frontage of Tower D & E (i.e., southern portion of Mah Bing Street) as per SA08-413951.
  - Revise the alignments of the proposed sanitary main and forcemain in the proposed greenway (as per approved SA08-413951) to match the latest greenway concept.
  - Provide an updated tree survey within the affected portion of Minoru Park and determine an alignment for the proposed box culvert, forcemain and sanitary main that will require the least tree removal. Parks and Engineering staff will provide input on this prior to revising SA08-413951.
  - Revise the alignment of the proposed sanitary main (as per approved SA08-413951) from the west property line to an alignment through the Minoru Park.
  - Confirm whether the existing sanitary main (coming from the property to the north that is 7368 Gollner Avenue) is live. If it is live, the developer is required to relocate that existing sanitary main prior to any site preparation works.
- At Developer's cost, the City is to:
  - Cut and cap, at main, all existing service connections to the development site and remove inspection chambers.
  - Perform all tie-ins to existing City infrastructure.

Initial: \_\_\_\_\_

Frontage Improvements:

- The Developer is required to:
  - Provide other frontage improvements as per Transportation's requirements, provided separately. Changes to the road width, sidewalks, boulevards, etc) Improvements shall be built to the ultimate condition wherever possible.
  - Coordinate with BC Hydro, Telus and other private communication service providers to pre-duct for future hydro, telephone and cable utilities along the Mah Bing Street frontages.
  - Coordinate with BC Hydro, the removal or relocation within the proposed development of the existing PMT that fronts the proposed Tower C (i.e., proposed building north of the proposed greenway) at the east side of Mah Bing Street.
  - Coordinate with BC Hydro, Telus and other private communication service providers to determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc). These should be located onsite, as described below.
  - Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the DP architectural plans/functional plan, the servicing agreement drawings, and registered prior to SA design approval:
    - Vista – Approximately 8.8 x 6.5 m, confirm SRW dimensions with BC Hydro
    - BC Hydro PMT – 4.0 x 5.0 m
    - BC Hydro LPT – 3.5 x 3.5 m
    - Street light kiosk – 1.5 x 1.5 m
    - Traffic signal kiosk – 2.0 x 1.5 m
    - Traffic signal UPS – 1.0 x 1.0 m
    - Shaw cable kiosk – 1.0 x 1.0 m
    - Telus FDH cabinet – 1.1 x 1.0 m
  - Revise the street lighting design as per SA08-413951 to update to current City Center standards.

General Items:

- The Developer is required to:
  - Provide an updated tree survey, arborist report and QEP report to confirm whether the existing trees and RMA in Minoru Park will be affected by the developer's proposed sanitary line construction.
  - Provide, within the post approval revision to the servicing agreement or prior to start of site preparation works (whichever comes first), a geotechnical assessment of preload, de-watering, and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
  - Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per the geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
  - Submit a proposed strategy at the building permit stage for managing excavation de-watering. Note that the City's preference is to manage construction water onsite or by removing and disposing at an appropriate facility. If this is not feasible due to volume of de-watering, the Developer will be required to apply to Metro Vancouver for a permit to discharge into the sanitary sewer system. If the sanitary sewer does not have adequate capacity to receive the volume of groundwater, the Developer will be required to enter into a de-watering agreement with the City wherein the developer will be required to treat the groundwater before discharging it to the City's storm sewer system.
  - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other

Initial: \_\_\_\_\_

activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Conduct pre- and post-preload elevation surveys of all surrounding roads, utilities, and structures. Any damage, nuisance, or other impact to be repaired at the developer's cost. The post-preload elevation survey shall be incorporated within the servicing agreement design.
- Conduct pre and post construction video inspections of adjacent sewer mains to check for possible construction damage. At their cost, the developer is responsible for rectifying construction damage.

Notes:

- For City review, the developer shall submit the cost estimate from the winning contractor for the works covered under the approved post approval revision to SA08-413951, which will be the basis of the updated security bond. If the winning contractor's estimate is not available, a signed and sealed Engineer's estimate would be acceptable subject to a 150% bonding percentage.
- Prior to start of any site preparations works (e.g., preload, soil densifications, etc.), the developer is required to:
  - Complete the post approval revision to SA08-413951 and extend first the proposed sanitary main, forcemain and box culvert through the proposed greenway and tie-in to the existing sanitary main, forcemain and canal inside Minoru Park.
  - Confirm whether the existing sanitary main at the north end of Mah Bing Street (coming from the property to the north that is 7368 Gollner Avenue) is live. If it is live, the developer is required to relocate that existing sanitary main prior to any site preparation works.
  - Remove or relocate the existing PMT at the west side of Mah Bing Street fronting the proposed tower C (i.e., proposed building north of the proposed greenway).

**Prior to Demolition Permit Issuance, the developer must complete the following requirements:**

1. Provide written confirmation and supporting documents to demonstrate that the proposed Tenant Relocation Plan has been implemented.
2. Installation of appropriate tree protection fencing adjacent trees within Minoru Park prior to any construction activities, including building demolition, occurring on-site.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Dedicate the SRW area (Plan EPP28003, CA3023335) on the subject site (i.e., Mah Bing Street secured as part of the rezoning application RZ 04-286496) to the City once the existing rental buildings on site are demolished.
2. Discharge of existing Statutory Right of Way (SRW) (CA2817671, Plan EPP24203) or confirm an alternative form of approval from BC Hydro to facilitate the proposed development.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Prior to Final Inspection of Building Permit (i.e., Occupancy), the developer must complete the following requirements:**

1. Transfer of the SRW area over the proposed sidewalk and boulevard areas along Mah Bing Street and the proposed 4.0 m x 4.0 m corner cut at the southeast corner of the site, secured as part of the Development Permit application DP 18-837117 to the City.

Initial: \_\_\_\_\_

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.  
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

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Signed

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Date





No. DP 18-837117

To the Holder: W. T. LEUNG ARCHITECTS  
Property Address: 6333 MAH BING STREET  
Address: C/O 973 W. BROADWAY STREET, UNIT 300  
VANCOUVER, BC V5Z 1K3

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum lot area from 13,000 m<sup>2</sup> (139,930 ft<sup>2</sup>) to 8,227 m<sup>2</sup> (88,554 ft<sup>2</sup>).
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #74 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,066,863.05 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 18-837117**

To the Holder: W. T. LEUNG ARCHITECTS  
Property Address: 6333 MAH BING STREET  
Address: C/O 973 W. BROADWAY STREET, UNIT 300  
VANCOUVER, BC V5Z 1K3

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE  
DAY OF , .

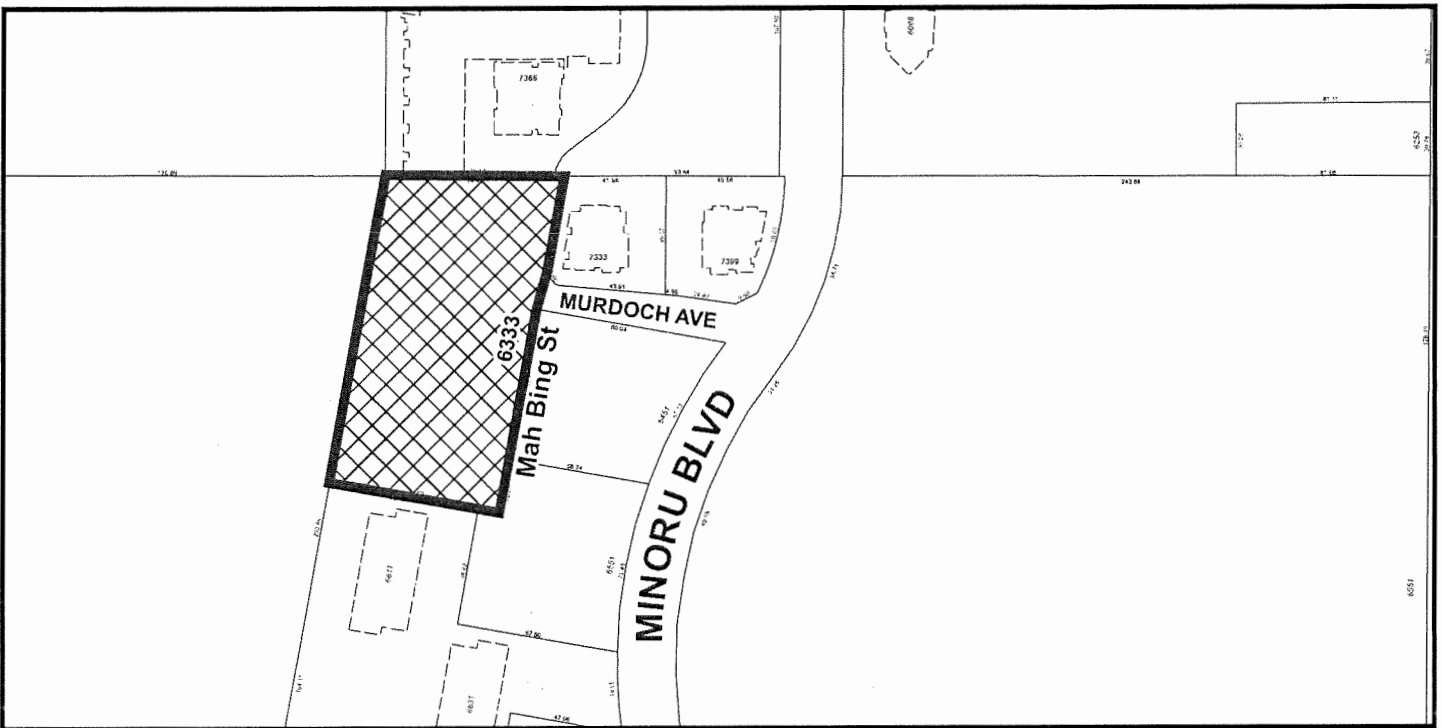
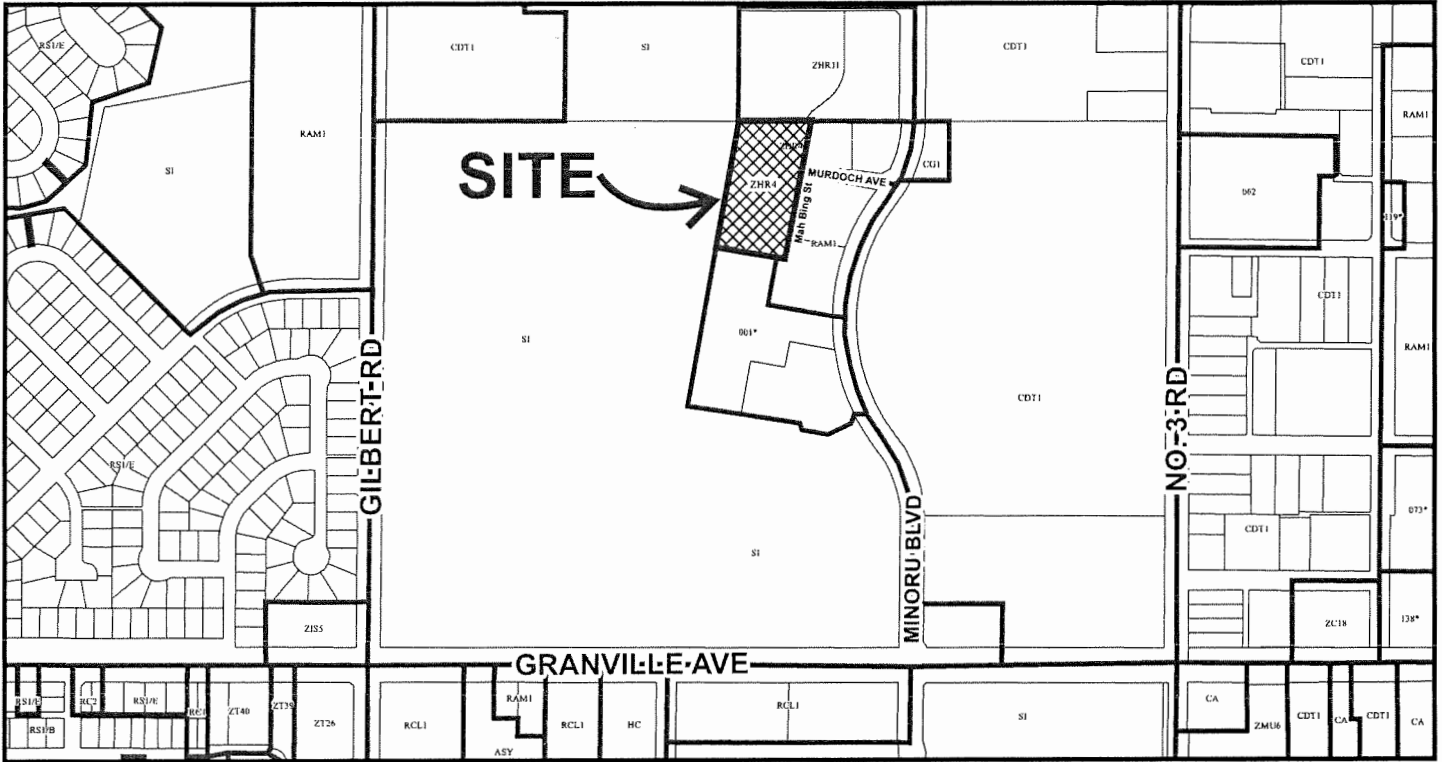
DELIVERED THIS DAY OF , .

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MAYOR



# City of Richmond



## DP 18-837117 SCHEDULE "A"

Original Date: 09/27/18

Revision Date:

Note: Dimensions are in METRES

Site 306, 973 West Broadway,  
Richmond, BC V6Y 4A6, Canada. N2Z 1K3  
Telephone 604-736-2711, Estimate 604-736-7991



**REVISIONS**

1	09/19/19	Issued for Development Permit
2	02/02/19	Re-submitted for Development Permit
3	06/09/19	Re-based per Staff Comments
4	10/31/19	Re-based per Staff Comments (2)
5	11/16/19	Re-based per Staff Comments (2)
6	11/16/19	Re-based for ADP
7	09/12/20	Re-based per Staff Comments (3)
8	09/15/20	Rebased for Staff Report
9	09/29/20	Rebased per June 24 comments
10	07/09/20	Issued for DP Permit

**REFERENCE NOTES:**

1. Zoning Bylaw 8500 (Repealed November 16, 2001)
2. Zoning Bylaw 8500 (Repealed November 16, 2001)
3. Zoning Bylaw 8500 (Repealed November 16, 2001)
4. Zoning Bylaw 8500 (Repealed November 16, 2001)
5. Zoning Bylaw 8500 (Repealed November 16, 2001)
6. Zoning Bylaw 8500 (Repealed November 16, 2001)
7. Zoning Bylaw 8500 (Repealed November 16, 2001)
8. Zoning Bylaw 8500 (Repealed November 16, 2001)
9. Zoning Bylaw 8500 (Repealed November 16, 2001)
10. Zoning Bylaw 8500 (Repealed November 16, 2001)

**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**DATA + COVER**  
**TWR C+D+E**

JOB NO: 02-03  
DRAWN: DM/VK  
DATE: August 23, 2018  
SCALE: 1/16" = 1'-0"  
CHECKED: WTL  
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property of W. T. Leung Architects Inc. and shall be used without  
DRAWING NO. 1:

PROJECT DATA	6333 - 6399 Mah Bing Street, Richmond, BC				
Chic Address	Lot B, Section 8, Block 4 North, Change 6 West, New Westminster District Plan EPR21062				
Legal Description					
Zoning	Existing: Richmond Zoning & Development Bylaw No. 8103 (RZ004-286498 - adopted Sept. 08, 2008) Proposed: Richmond Zoning & Development Bylaw No. 8103 (RZ004-286498 - adopted Sept. 08, 2008)				
Use	Existing: Residential Proposed: Multi-Family Residential				
Lot Size	167,175.00 SF (15,530.56 SM) Per Survey by J.C. Tam & Associates 142,106.00 SF (13,201.65 SM) Per Survey by Buller-Sumbyck				
Density (Floor Area Ratio)	Proposed: 3.40 Base +0.10 Amenity Bonus				
Lot Coverage	Proposed: 80% Maximum Proposed: 62.7%				
<b>AREA SUMMARY</b>					
<b>Gross Area (SF)</b>	<b>Exclusions (SF) BUH</b>	<b>Exclusions (SF) Mech / Stairs</b>	<b>DEU Exclusions (SF) 1676 SF / Unit</b>	<b>Net Area (SF)</b>	
Tower C Residential	130,426.50 SF	3,656.30 SF	5,979.10 SF	936.26 SF	119,951.82 SF
Tower D Residential	144,331.60 SF	4,107.20 SF	6,823.30 SF	1,162.08 SF	131,999.02 SF
Tower E Residential	32,401.10 SF	240.00 SF	240.00 SF	0.00 SF	31,921.10 SF
Total Building Area	207,159.20 SF	8,003.50 SF	12,842.40 SF	7,148.36 SF	189,305.94 SF
	(30,333.09 SM)	(935.94 SM)	(1,420.49 SM)	(231.91 SM)	(27,182.88 SM)
Total Residential Area	185,712.00 SF	0.00 SF	7,770.00 SF	0.00 SF	182,705.00 SF
PH1 (TWR A + TWR B)	(18,191.64 SM)	(0.00 SM)	(721.89 SM)	(0.00 SM)	(15,975.29 SM)
Total Residential Area	622,871.30 SF	240.00 SF	25,080.50 SF	2,486.32 SF	482,643.98 SF
PH1 + PH2	(48,574.73 SM)	(1,322.06 SM)	(2,142.32 SM)	(231.91 SM)	(44,856.15 SM)
<b>TOTAL FAR</b>	<b>3.89 Gross</b>	<b>0.10 Gross</b>			<b>3.40 Net</b>

**RESIDENTIAL UNIT SUMMARY**

Unit Type	TWABDR	3BDR	2BDR	1BDR	TOTAL PER TOWER
Tower C	6	36	35	1	78
Tower D	13	66	21	108	208
Tower E	8	50	117	48	232
<b>Total Units</b>	<b>19</b>	<b>80</b>	<b>117</b>	<b>48</b>	<b>232</b>
	(8.15%)	(27.55%)	(50.43%)	(19.83%)	(100.00%)

**PARKING ANALYSIS**

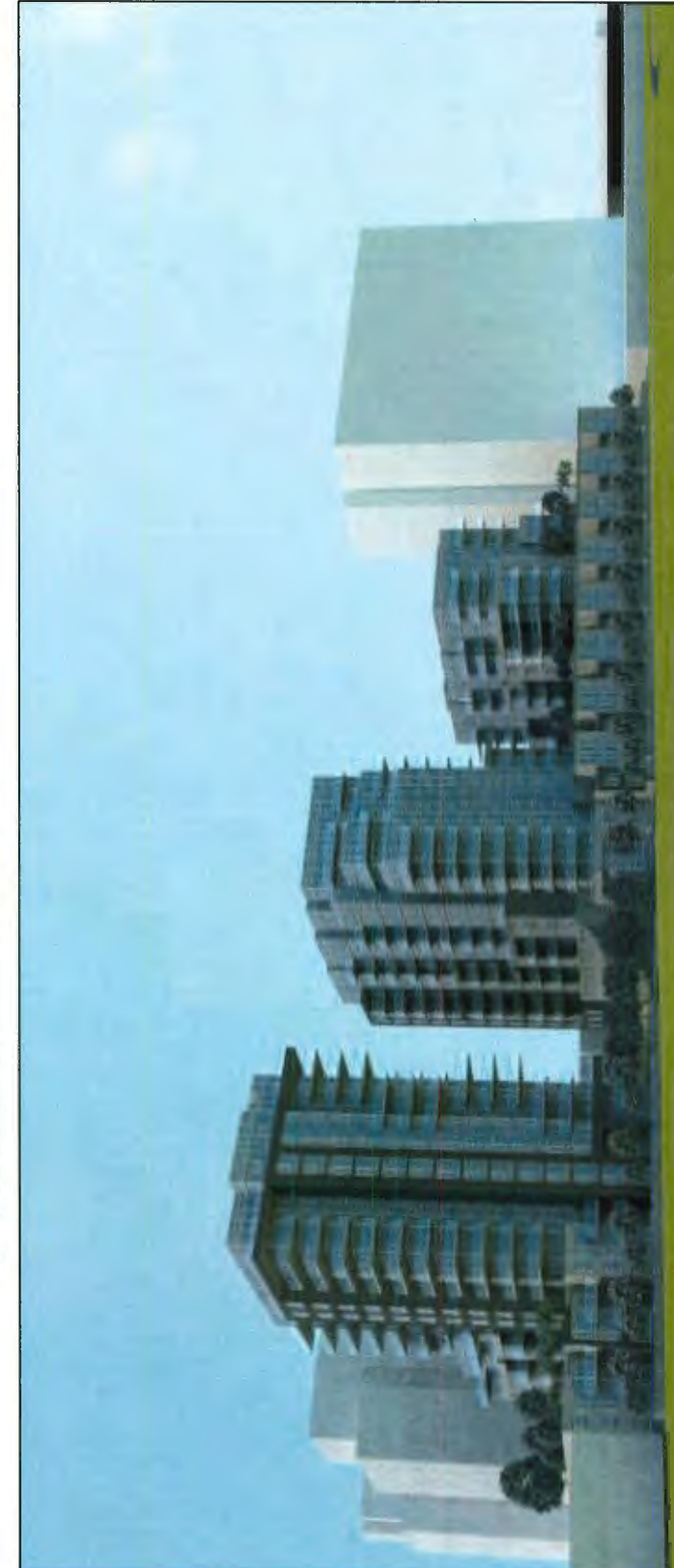
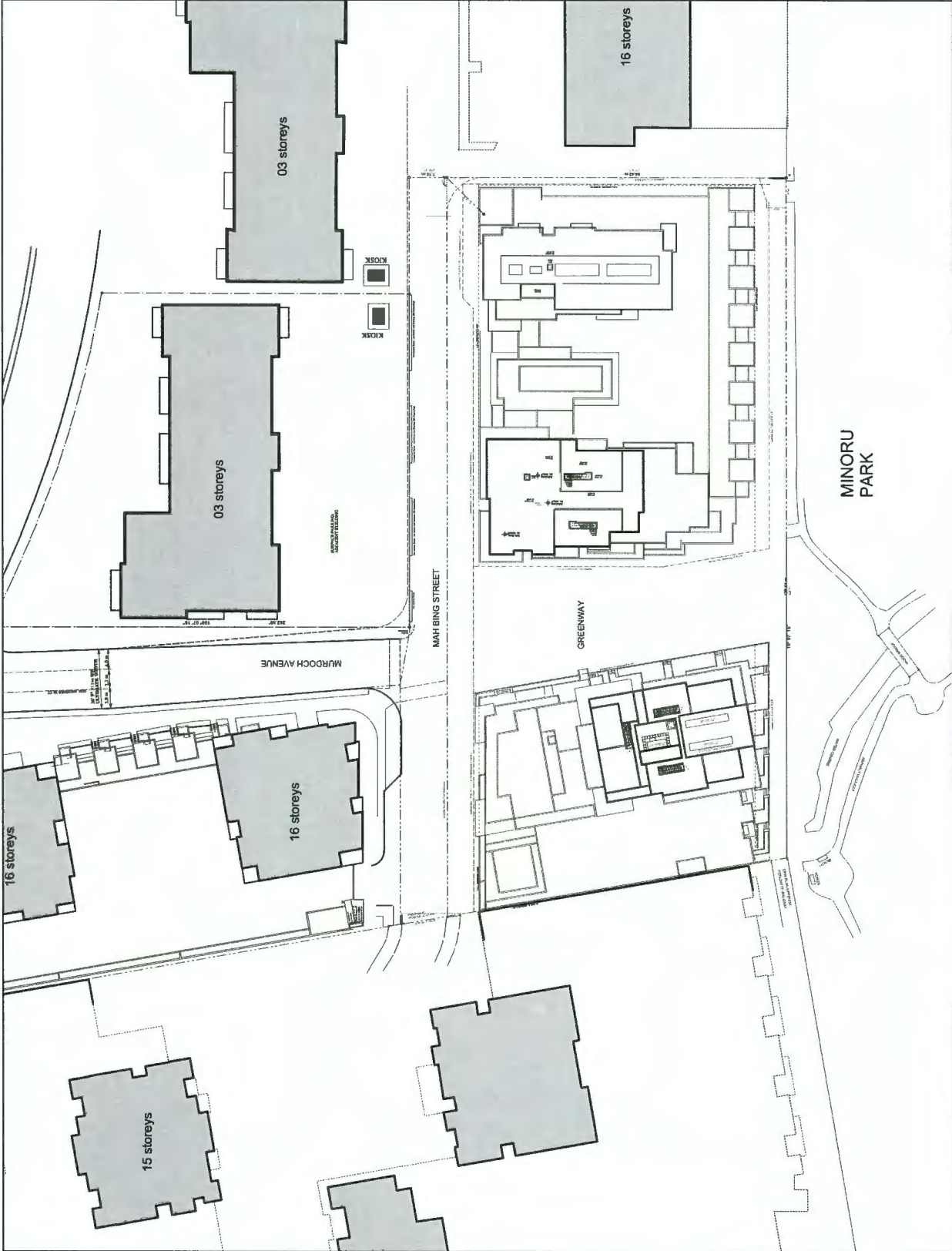
	Required/Allowed	w/ TDM (-10%)	Proposed
Car Parking Residential	-	-	311
Section 7.9.3.1 Zone 2	278	-	47
Section 7.9.3.1 Zone 2	47	-	9
HC Stalls per Section 7.5.14	7 (min.)	-	49
Small Car Stalls (max. 50%)	176 (max.)	-	149
Handicapped Stalls (max. 50%)	156 (max.)	-	152
Total Stalls (Residential)	365	-	358

**AREA BREAKDOWN\*** (\*Net Floor Area, including all exemptions)

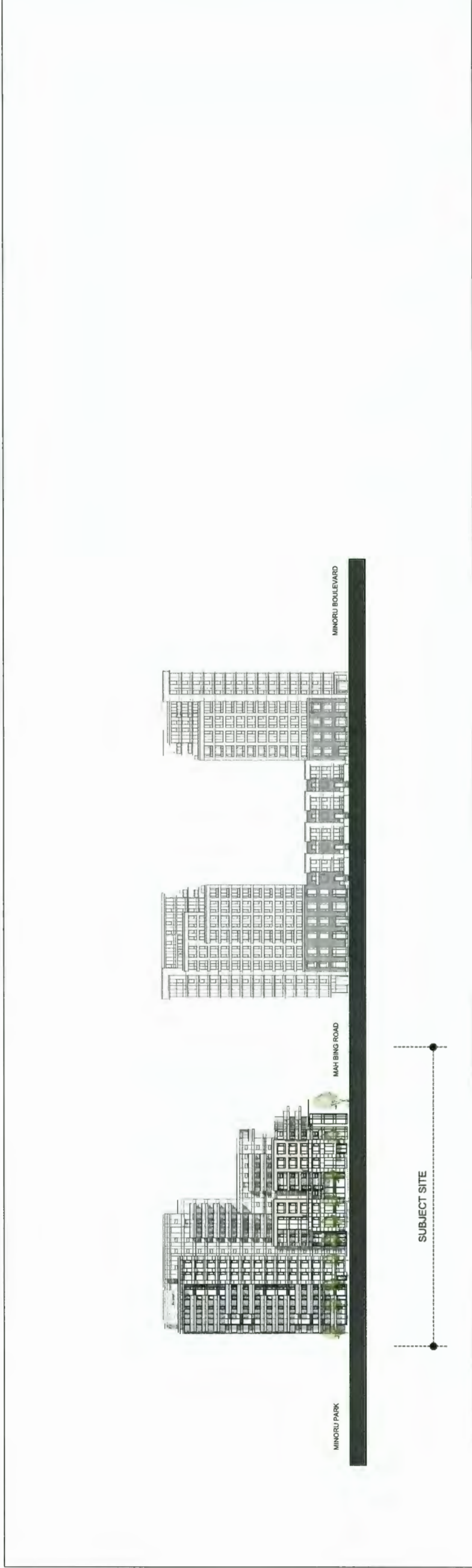
	TOWER C Residential	TOWER D Residential	TOWER E Residential
Bicycle Parking Residential	-	-	-
Section 7.14.10 Class 1	290	-	-
Section 7.14.10 Class 2	47	-	-
Section 7.14.5	112	-	-
Section 7.13.5	-	-	-
Section 7.13.6	-	-	-
	see TIA report	-	-
		-	1 Medium

	Gross Floor Area (SF)	Net Floor Area (SF)	Gross Residential Area (SM)	Net Residential Area (SM)
Ground Floor / P1	9,467.80 SF	13,621.90 SF	3,666.60 SF	3,666.60 SF
2nd Floor / P2	7,240.30 SF	14,128.00 SF	3,477.20 SF	3,477.20 SF
3rd Floor / P3	9,232.50 SF	12,105.00 SF	3,933.90 SF	3,933.90 SF
4th Floor	13,024.10 SF	12,686.60 SF	7,530.10 SF	7,530.10 SF
5th Floor	11,399.20 SF	9,617.10 SF	7,283.50 SF	7,283.50 SF
6th Floor	11,399.20 SF	9,617.10 SF	7,283.50 SF	7,283.50 SF
7th Floor	10,003.60 SF	9,456.60 SF	6,408.70 SF	6,408.70 SF
8th Floor	10,003.60 SF	9,212.80 SF	6,408.70 SF	6,408.70 SF
9th Floor	10,003.60 SF	9,212.80 SF	6,408.70 SF	6,408.70 SF
10th Floor	6,507.80 SF	9,053.60 SF	0.00 SF	0.00 SF
11th Floor	6,507.80 SF	8,868.10 SF	0.00 SF	0.00 SF
12th Floor	6,507.80 SF	7,142.50 SF	0.00 SF	0.00 SF
13th Floor	6,507.80 SF	6,507.80 SF	0.00 SF	0.00 SF
14th Floor	6,507.80 SF	6,256.60 SF	0.00 SF	0.00 SF
15th Floor	6,507.80 SF	6,256.60 SF	0.00 SF	0.00 SF
16th Floor	234.50 SF	151.40 SF	0.00 SF	0.00 SF
<b>Gross Floor Area</b>	<b>130,426.50 SF</b>	<b>144,331.60 SF</b>	<b>144,331.60 SF</b>	<b>144,331.60 SF</b>
	(30,393.09 SM)	(12,117.03 SM)	(13,408.86 SM)	(4,869.23 SM)

ARCHITECTURAL DRAWING LIST		LANDSCAPE DRAWING LIST	
A-1.01	Project Data, Site Plan	L-1.1	Landscape Master Plan - Ground Level
A-1.02	Site Elevation	L-1.2	Landscape Ground Level Tower C & D
A-1.03	Shadow Analysis	L-1.3	Landscape Plan Ground Level Tower C & D
A-1.04	Accessibility Diagram	L-1.4	Landscape Plan Ground Level Tower D & E
A-1.05	Waste Management Plan	L-1.5	Landscape Plan Level 4 Tower C
A-1.06	Accessibility Diagram	L-1.6	Landscape Plan Level 4 Tower D & E
A-1.07	Waste Management Plan	L-1.7	Landscape Plan Level 4 Tower D & E
A-2.00	Parking P-1 F1 Plan	L-1.8	Landscape Plan Level 2 & 9 Tower C
A-2.01	Parking P-2 F1 Plan	L-1.9	Landscape Lighting Plan - Ground Level Tower C
A-2.02	Ground / Parking P1 F1 Plan	L-1.10	Landscape Lighting Plan - Ground Level Tower C & D
A-2.03	2nd / Parking P2 F1 Plan	L-1.11	Landscape Lighting Plan - Ground Level Tower D & E
A-2.04	4th / Parking P4 F1 Plan	L-1.12	Landscape Lighting Plan - Level 4 Tower C & D
A-2.05	5th Floor Plan	L-1.13	Landscape Lighting Plan - Level 4 Tower D & E
A-2.06	6th Floor Plan	L-1.14	Landscape CCAP Amenity Calculations Ground Level
A-2.07	7th Floor Plan	L-1.15	Landscape CCAP Amenity Calculations Ground Level
A-2.08	8th Floor Plan	L-1.16	Landscape CCAP Amenity Calculations Level 2 & 9
A-2.09	9th Floor Plan	L-1.17	Landscape CCAP Amenity Calculations Level 2 & 9
A-2.10	10th Floor Plan	L-1.18	Landscape Details
A-2.11	11th Floor Plan	L-1.19	Landscape Details
A-2.12	12th Floor Plan	L-2.1	Landscape Details
A-2.13	13th Floor Plan	L-2.2	Landscape Details
A-2.14	14th Floor Plan	L-2.3	Landscape Details
A-2.15	15th Floor Plan	L-2.4	Landscape Details
A-2.16	16th Floor Plan	L-2.5	Landscape Details
A-2.17	Roof Plan	L-2.6	Landscape Details
A-3.01	West Elevations (facing Minoru Park)	L-2.9	Landscape Details
A-3.02	East Elevations (Mah Bing Street)	L-2.10	Landscape Details
A-3.03	Greenway Elevations	L-2.11	Landscape Details
A-3.04	Greenway Elevations	L-3.1	Landscape Sections
A-3.05	Tower E Elevations	L-3.2	Landscape Sections
A-4.01	Sections	L-3.3	Landscape Sections
A-4.02	Sections	L-3.4	Landscape Sections
A-4.03	Sections	L-3.5	Landscape Sections
A-5.01	Sections	L-3.6	Landscape Sections
A-5.02	Sections	L-3.7	Landscape Sections
A-5.03	Sections	L-3.8	Landscape Sections
A-5.04	Context / Tower Separations F1 C	L-3.9	Existing Tree Management Plan
A-5.05	Context / Tower Separations F1 D	L-3.10	
A-5.06	Context / Tower Separations F1 E	L-3.11	
A-5.07	Context / Tower Separations F1 F	L-3.12	
A-5.08	Context / Tower Separations F1 G	L-3.13	
A-5.09	Context / Tower Separations F1 H	L-3.14	



REVISION	DATE	DESCRIPTION
1	08/18/18	Issued for Development Permit
2	03/29/19	Revised for Development Permit
3	09/09/19	Revised per Staff Comments
4	10/21/19	Revised per Staff Comments (2)
5	11/14/19	Revised per Staff Comments (3)
6	07/09/20	Issued for DP Permit



STREETSCAPE - MURDOCH AVENUE



STREETSCAPE - MAH BING ROAD

PROJECT  
**Resid'l Development  
Park Residences PH 2  
Tower C+D+E**  
6333 - 6399 Mah Bing Road  
Richmond, BC

**STREETSCAPE  
Park Elevation**

JOB NO.	02-03
DESIGN	DMJ/VK
DATE	August 23, 2018
SCALE	1/16"
CHECKED	WTL

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DRAWING NO.:

PLAN #2

JUL 07 2020

DP 18-837117

A-1.02

**REVISIONS**

1	06/18/18	Issued for Development Permit
2	03/20/19	Revised for Development Permit
3	07/19/19	Revised per Staff Comments
4	10/21/19	Revised per Staff Comments (2)
5	05/12/20	Revised per Staff Comments (3)
6	07/29/20	Issued for DP Permit

- REFERENCE NOTES:**
1. Richmond Bylaw 8650 (effective November 14, 2006)
  2. Richmond Bylaw 8650, Amendment Bylaw No. 8123
  3. British Columbia Building Code, 2015 Edition
  4. British Columbia Fire Code, 2015 Edition
  5. British Columbia Electrical Code, 2015 Edition
  6. British Columbia Gas Code, 2015 Edition
  7. British Columbia Mechanical Code, 2015 Edition
  8. British Columbia Plumbing Code, 2015 Edition
  9. British Columbia Fire Code, 2015 Edition
  10. British Columbia Fire Code, 2015 Edition
  11. British Columbia Fire Code, 2015 Edition
  12. British Columbia Fire Code, 2015 Edition
  13. British Columbia Fire Code, 2015 Edition
  14. British Columbia Fire Code, 2015 Edition
  15. British Columbia Fire Code, 2015 Edition
  16. British Columbia Fire Code, 2015 Edition
  17. British Columbia Fire Code, 2015 Edition
  18. British Columbia Fire Code, 2015 Edition

**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

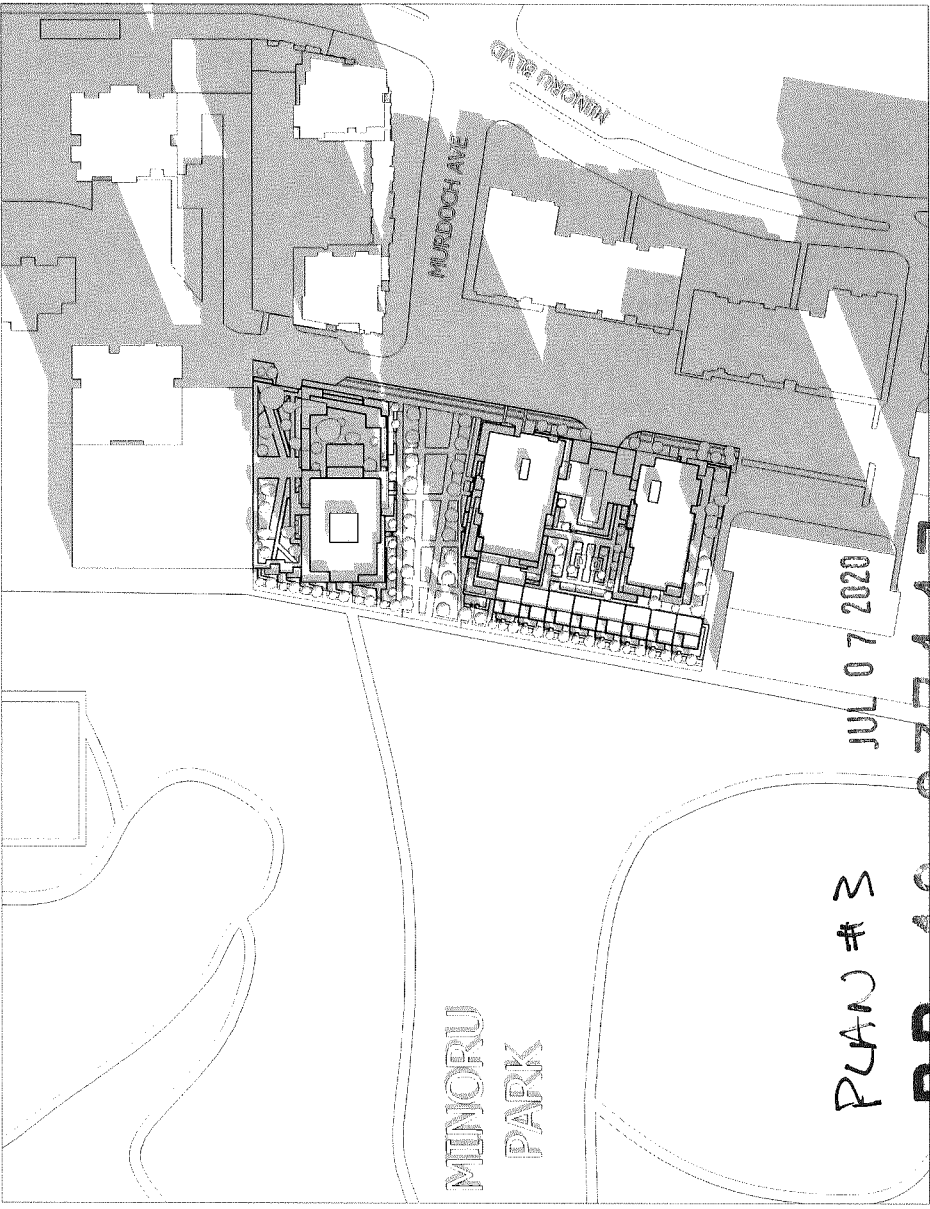
**SHADOW**  
**ANALYSIS**  
**TWR C+D+E**

JOB NO	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

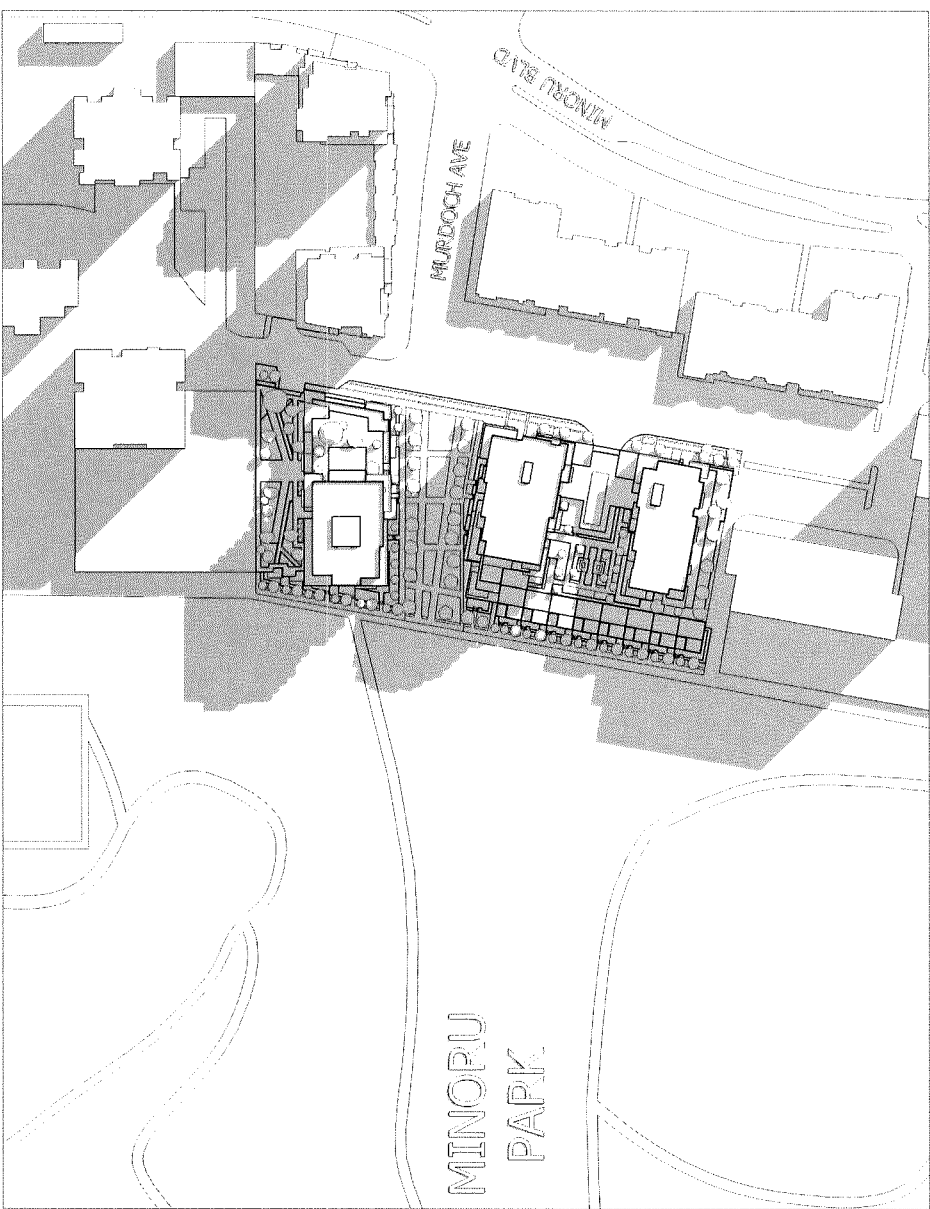
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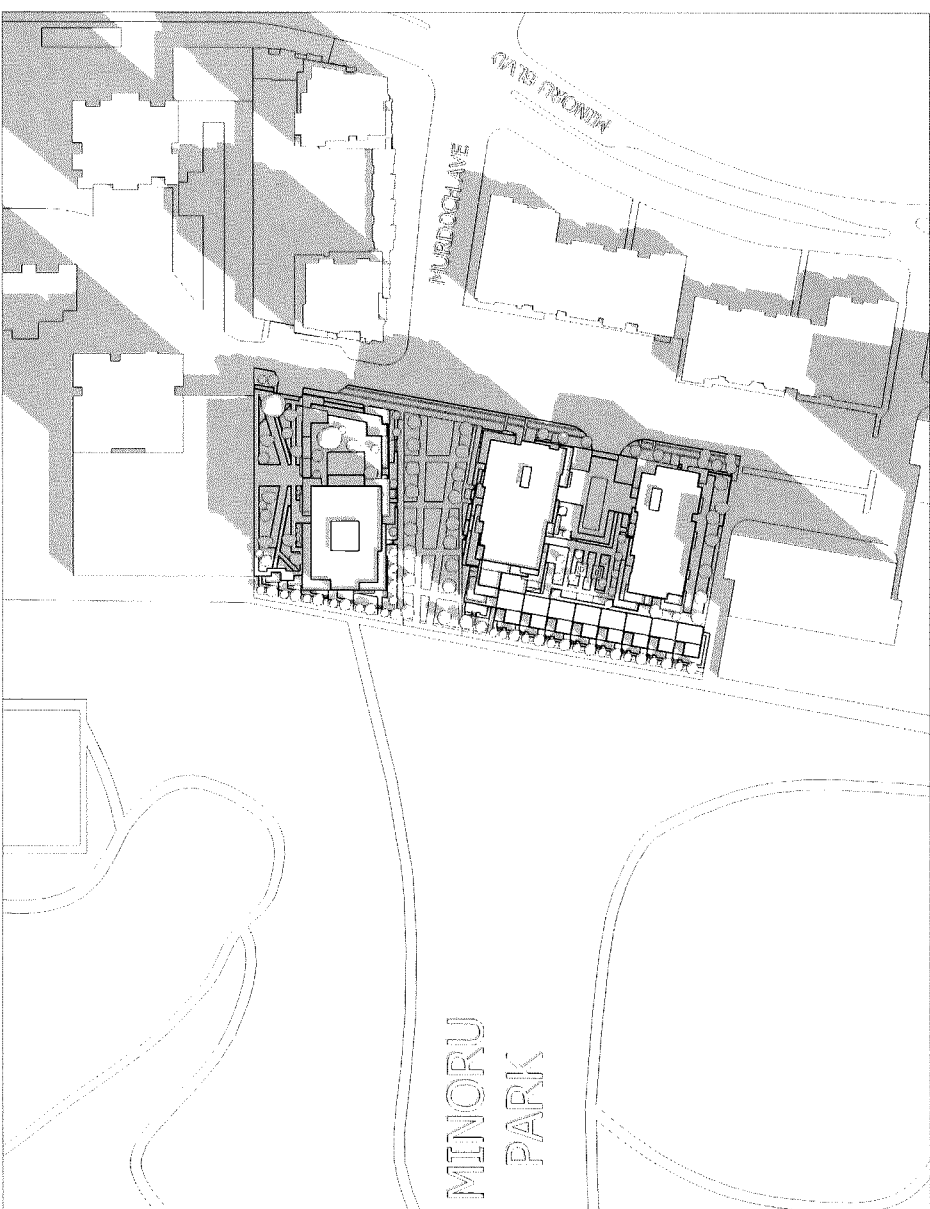
MARCH 21 / SEPTEMBER 21 @ 10AM



MARCH 21 / SEPTEMBER 21 @ 12NOON



MARCH 21 / SEPTEMBER 21 @ 2PM



MARCH 21 / SEPTEMBER 21 @ 4PM

PLAN # 3  
JUL 07 2020  
DP 18-837117



**REVISIONS**

1	08/09/18	Issued for Development Permit
2	03/09/19	Revised for Development Permit
3	09/09/19	Revised per Staff Comments
4	10/09/19	Revised per Staff Comments (2)
5	11/09/19	Issued for ADP
6	03/10/20	Revised per Staff Comments (4)
7	08/12/20	Revisions for Staff Report
8	08/20/20	Revisions per June 24 Comments
9	07/08/20	Issued for DP Permit

- REFERENCE NOTES:**
1. 2009 Vancouver Building Code, N.S. 2009
  2. British Columbia Building Code, N.S. 2009
  3. Fire Safety Act, 2002, Amendment Bill No. 81/03
  4. Fire Safety Act, 2002, Amendment Bill No. 81/03
  5. Fire Safety Act, 2002, Amendment Bill No. 81/03
  6. Fire Safety Act, 2002, Amendment Bill No. 81/03
  7. Fire Safety Act, 2002, Amendment Bill No. 81/03
  8. Fire Safety Act, 2002, Amendment Bill No. 81/03
  9. Fire Safety Act, 2002, Amendment Bill No. 81/03
  10. Fire Safety Act, 2002, Amendment Bill No. 81/03
  11. Fire Safety Act, 2002, Amendment Bill No. 81/03
  12. Fire Safety Act, 2002, Amendment Bill No. 81/03
  13. Fire Safety Act, 2002, Amendment Bill No. 81/03
  14. Fire Safety Act, 2002, Amendment Bill No. 81/03
  15. Fire Safety Act, 2002, Amendment Bill No. 81/03
  16. Fire Safety Act, 2002, Amendment Bill No. 81/03
  17. Fire Safety Act, 2002, Amendment Bill No. 81/03
  18. Fire Safety Act, 2002, Amendment Bill No. 81/03
  19. Fire Safety Act, 2002, Amendment Bill No. 81/03
  20. Fire Safety Act, 2002, Amendment Bill No. 81/03

**PROJECT**

**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**

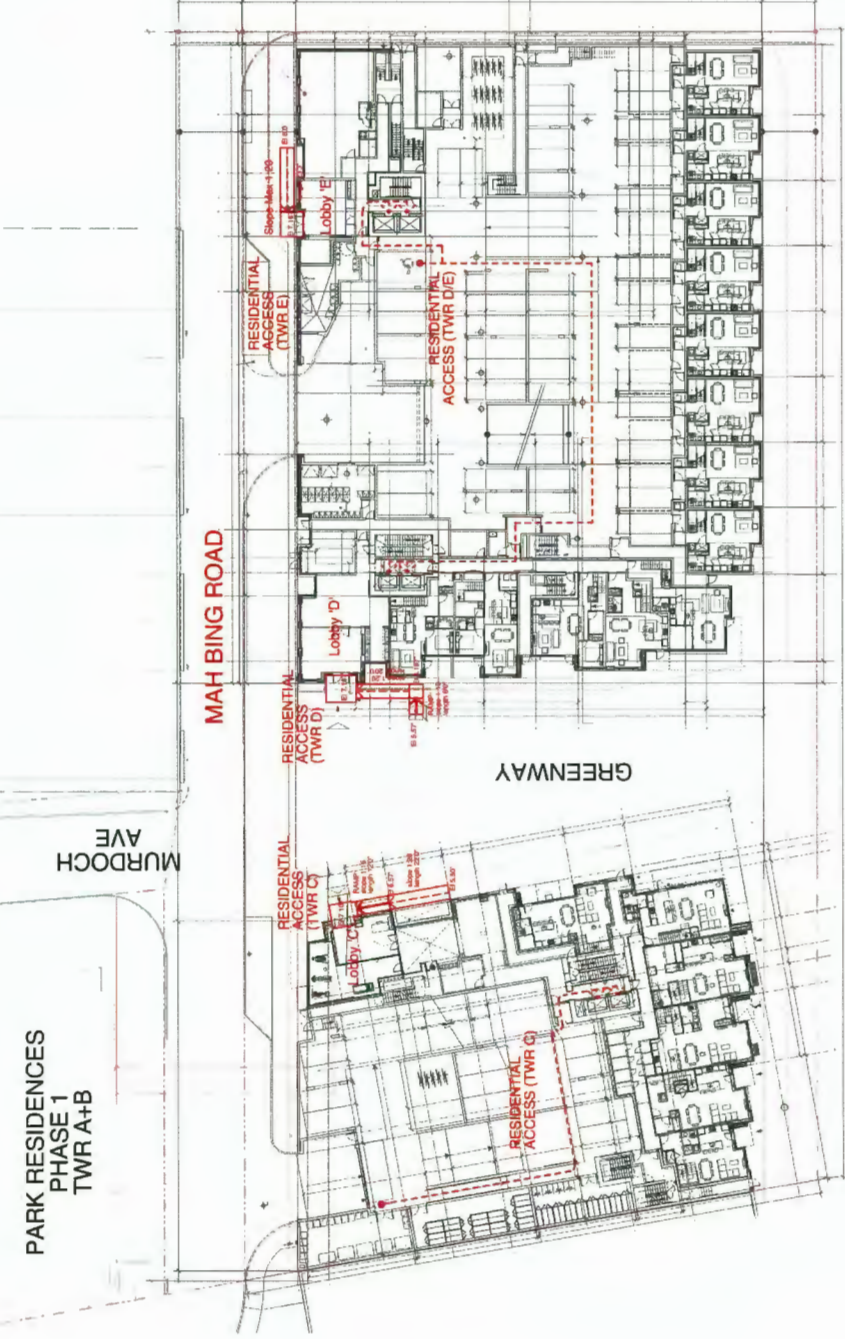
6333 - 6399 Mah Bing Street  
Richmond, BC

**ACCESSIBILITY**  
**DIAGRAM**  
**TWR C+D+E**

JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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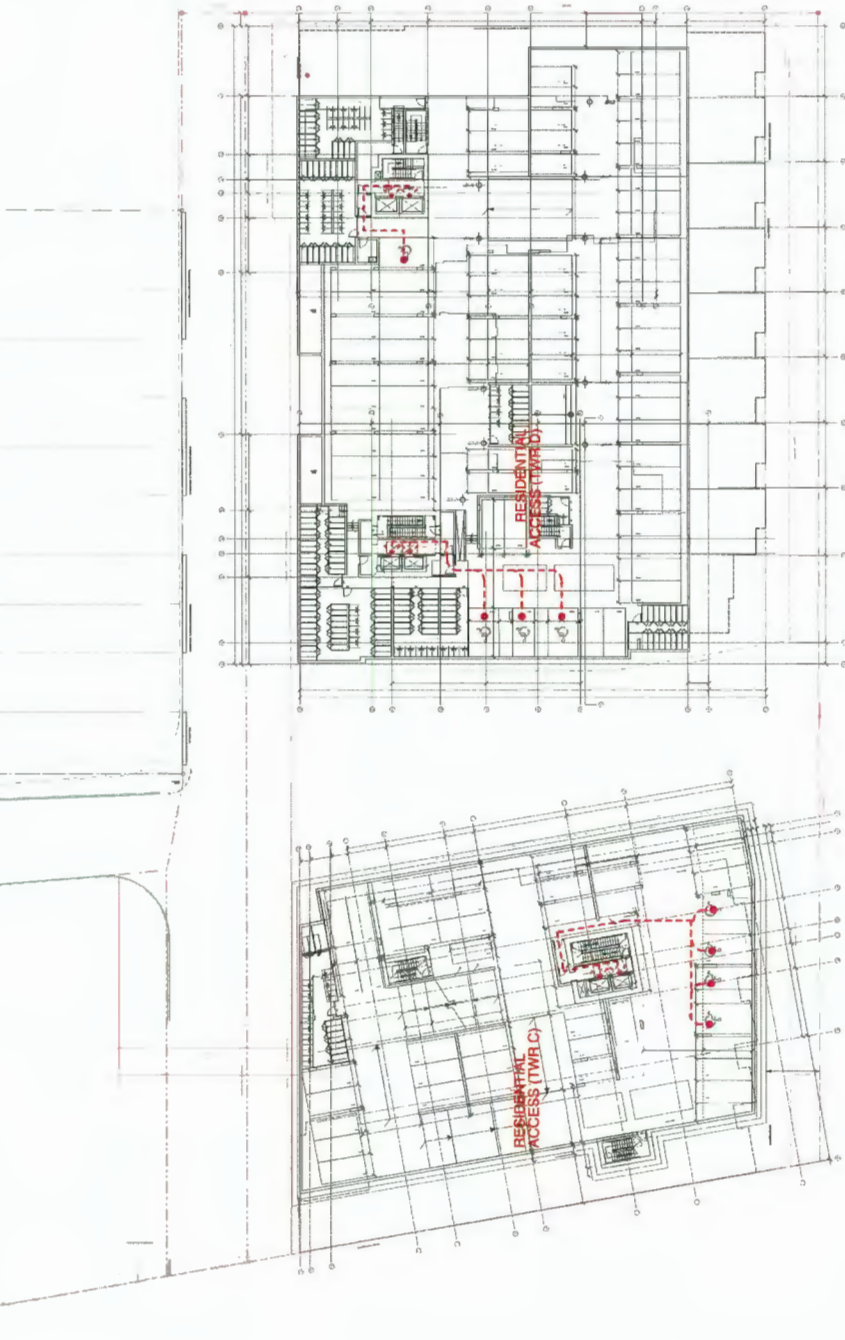
DRAWING NO.:



ACCESSIBILITY ROUTE ON GROUND FLOOR



ACCESSIBILITY ROUTE ON LEVEL P3 / 3RD FL



ACCESSIBILITY ROUTE ON LEVEL PL-0



ACCESSIBILITY ROUTE ON LEVEL P2

**DP 18-837117**

**PLAN # 4**

JUL 07 2020







- REVISIONS**
- 1. 09/19/18 Issued for Development Permit
  - 2. 02/02/19 Revisions for Development Permit
  - 3. 09/07/19 Revisions per Staff Comments
  - 4. 10/27/19 Revisions per Staff Comments (2)
  - 5. 11/05/19 Revisions per ADP
  - 6. 06/12/20 Revisions per Staff Comments (3)
  - 7. 06/12/20 Revisions per Staff Report
  - 8. 08/25/20 Revisions per June 24 Comments
  - 9. 07/05/20 Revisions per DP Permit

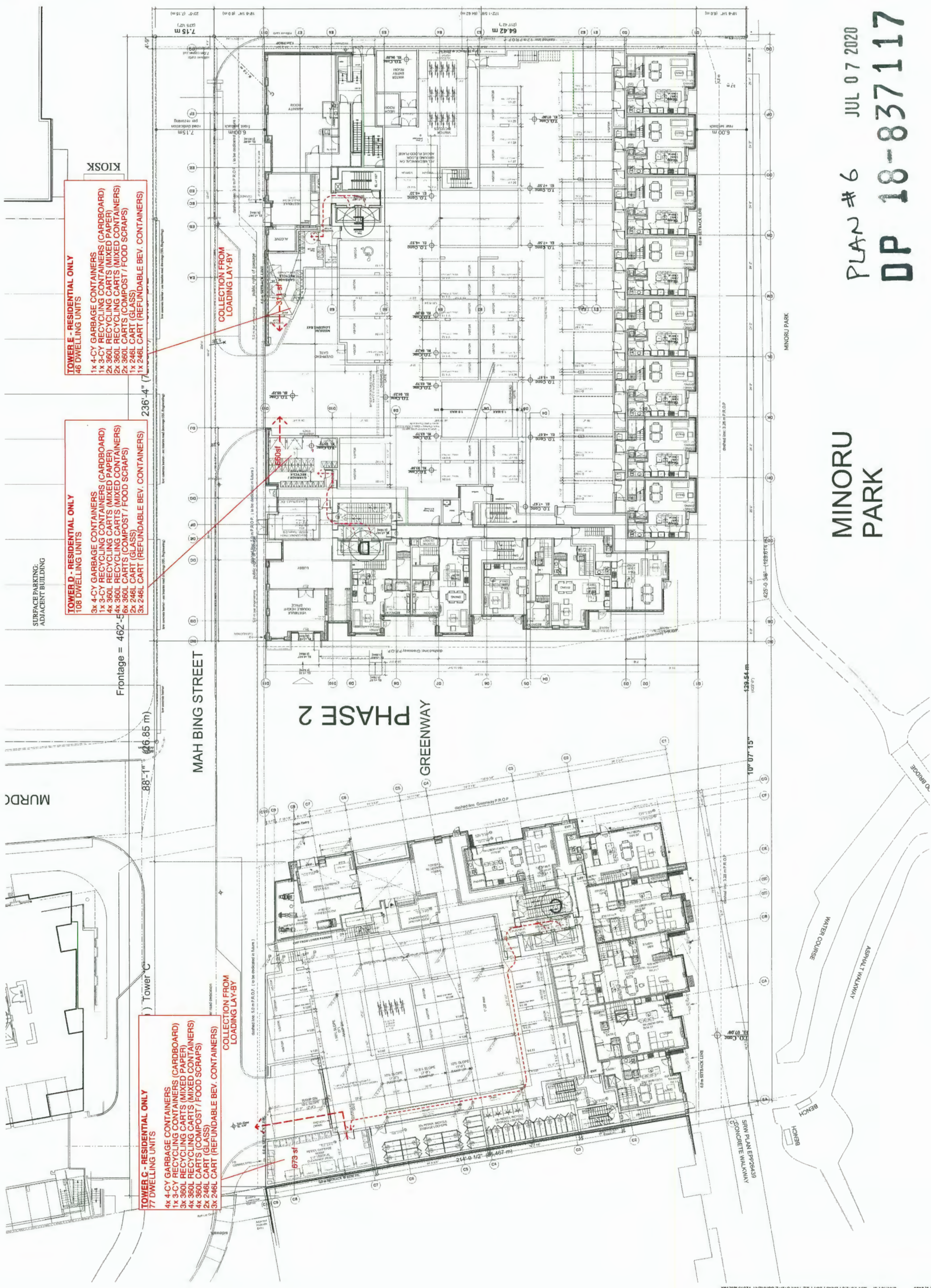
- REFERENCE NOTES**
- 1.1. British Columbia Building Act, Section 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
  - 1.2. British Columbia Building Act, Section 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
  - 1.3. British Columbia Building Act, Section 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
  - 1.4. British Columbia Building Act, Section 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
  - 1.5. British Columbia Building Act, Section 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
  - 1.6. British Columbia Building Act, Section 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
  - 1.7. British Columbia Building Act, Section 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
  - 1.8. British Columbia Building Act, Section 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
  - 1.9. British Columbia Building Act, Section 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
  - 1.10. British Columbia Building Act, Section 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
 6333 - 6399 Mah Bing Street  
 Richmond, BC

**WASTE MANAGEMENT PLAN**  
**TWR C+D+E**

JOB NO: 02-03  
 DRAWN: DMVK  
 DATE: August 23, 2018  
 SCALE: 1/16" = 1'-0"  
 CHECKED: WTL

A-1.07



**TOWER E - RESIDENTIAL ONLY**  
 46 DWELLING UNITS  
 1x 4-CY GARBAGE CONTAINERS (CARDBOARD)  
 1x 3-CY RECYCLING CONTAINERS (MIXED PAPER)  
 2x 360L RECYCLING CARTS (MIXED PAPER)  
 2x 360L RECYCLING CARTS (MIXED CONTAINERS)  
 2x 360L CARTS (COMPOST / FOOD SCRAPS)  
 1x 246L CART (GLASS)  
 1x 246L CART (REFUNDABLE BEV. CONTAINERS)

**TOWER D - RESIDENTIAL ONLY**  
 108 DWELLING UNITS  
 3x 4-CY GARBAGE CONTAINERS (CARDBOARD)  
 1x 3-CY RECYCLING CONTAINERS (MIXED PAPER)  
 4x 360L RECYCLING CARTS (MIXED CONTAINERS)  
 4x 360L RECYCLING CARTS (MIXED CONTAINERS)  
 2x 246L CART (GLASS)  
 3x 246L CART (REFUNDABLE BEV. CONTAINERS)

**TOWER C - RESIDENTIAL ONLY**  
 77 DWELLING UNITS  
 4x 4-CY GARBAGE CONTAINERS (CARDBOARD)  
 1x 3-CY RECYCLING CONTAINERS (MIXED PAPER)  
 3x 360L RECYCLING CARTS (MIXED CONTAINERS)  
 4x 360L RECYCLING CARTS (MIXED CONTAINERS)  
 2x 246L CART (GLASS)  
 3x 246L CART (REFUNDABLE BEV. CONTAINERS)

PLAN # 6 JUL 07 2020  
 DP 18-837117

MINORU PARK



ISSUE/REVISION	DESCRIPTION
1	09/18/18 Issued for Development Permit
2	03/20/19 Revised for Development Permit
3	09/29/19 Revised per Staff Comments
4	10/21/19 Revised per Staff Comments (2)
5	11/01/19 Revised per Staff Comments (3)
6	11/01/19 Issued for ADP
7	05/12/20 Revised per Staff Comments (5)
8	06/15/20 Revised for Staff Report
9	07/05/20 Issued for DP Permit

- REFERENCE NOTES:**
- 1.1 zoning Bylaw 6550 (Adopted November 16, 2008)
  - 1.2 zoning Bylaw 5900 (Adopted November 16, 2008)
  - 1.3 zoning Bylaw 5900 (Adopted November 16, 2008)
  - 1.4 zoning Bylaw 5900 (Adopted November 16, 2008)
  - 1.5 zoning Bylaw 5900 (Adopted November 16, 2008)
  - 1.6 zoning Bylaw 5900 (Adopted November 16, 2008)
  2. Refer to Landscape Design for Landscape and Planting Plan
  3. Refer to Mechanical Design for Mechanical, Electrical, and Plumbing Design
  4. Refer to Structural Design for Structural Design
  5. Refer to Civil Design for Civil Design
  6. Refer to Fire Design for Fire Design
  7. Refer to Energy Design for Energy Design
  8. Refer to Sustainability Design for Sustainability Design
  9. Refer to Accessibility Design for Accessibility Design

**PROJECT**  
**Resid'I Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

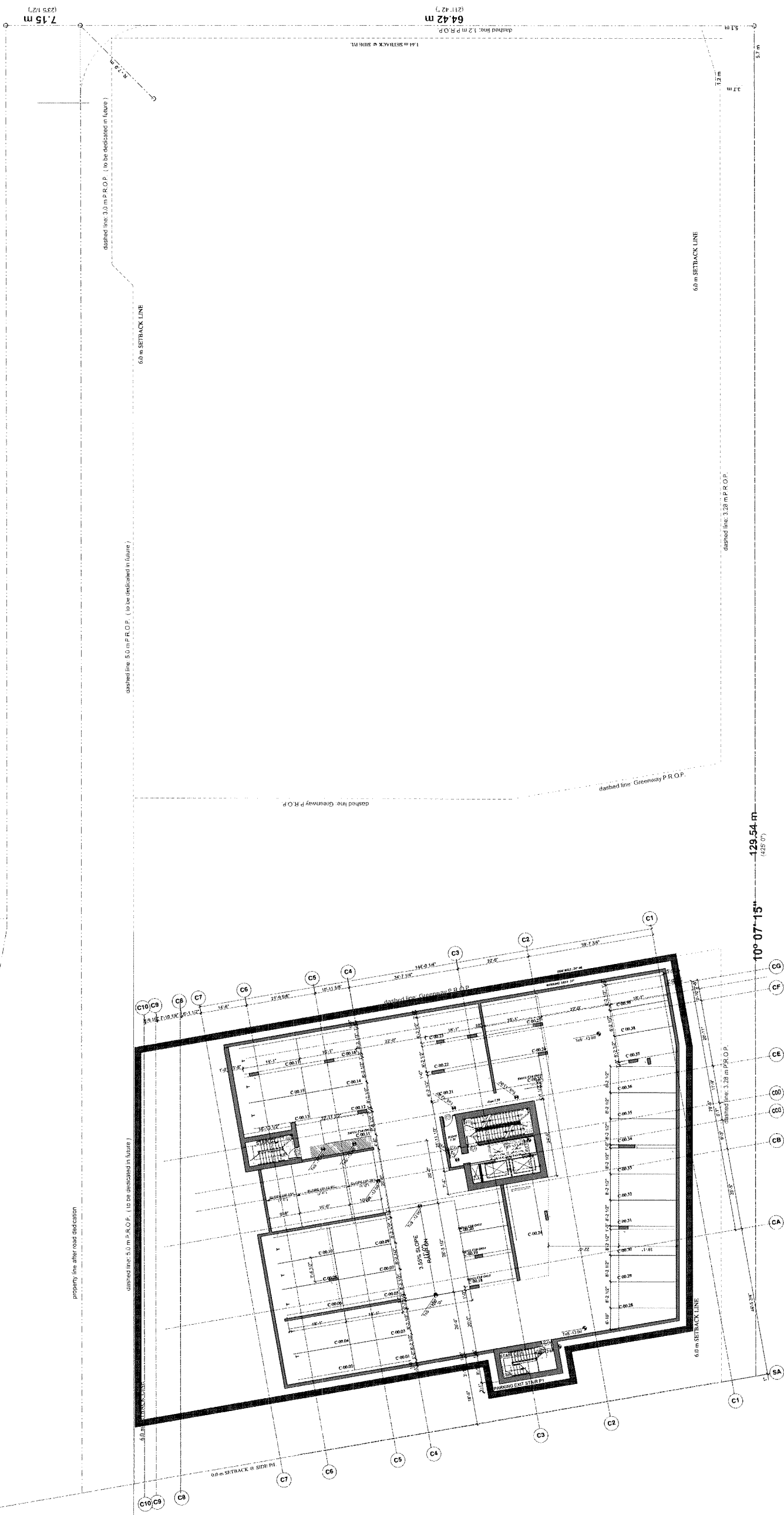
**Floor Plan PL-1**

JOB NO.	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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**A-2.00**

PLAN #7 JUL 07 2020  
DP 18-837117





REVISION	DATE	DESCRIPTION
1	09/18/18	Issued for Development Permit
2	03/07/19	Revised for Development Permit
3	05/09/19	Revised per Staff Comments
4	10/01/19	Revised per Staff Comments (2)
5	11/04/19	Revised per Staff Comments (3)
6	11/08/19	Revised for ADP
7	09/12/20	Revised per Staff Comments (4)
8	09/15/20	Revised per Staff Report
9	09/25/20	Revised per June 24 comments
10	07/06/20	Issued for DP Permit

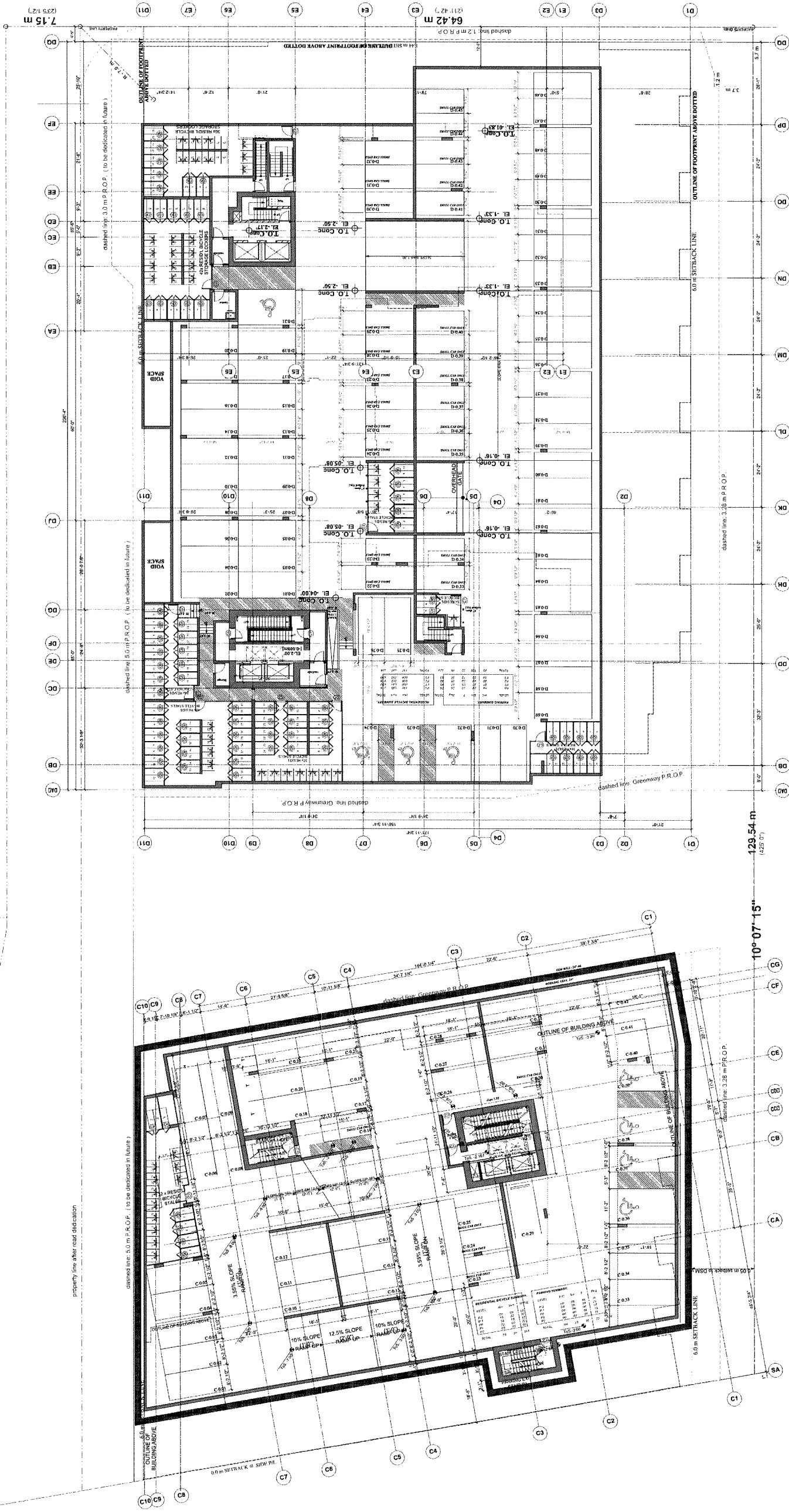
- REFERENCE NOTES:**
1. BC Building Code, 2018 Edition, November 14, 2018
  2. British Columbia Building Code, 2018 Edition, November 14, 2018
  3. City of Vancouver, Development Permit Process, 2018
  4. City of Vancouver, Planning Department, 2018
  5. City of Vancouver, Planning Department, 2018
  6. City of Vancouver, Planning Department, 2018
  7. City of Vancouver, Planning Department, 2018
  8. City of Vancouver, Planning Department, 2018
  9. City of Vancouver, Planning Department, 2018

**PROJECT**  
Resid'l Development  
Park Residences PH2  
Tower C+D+E  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan PL 0**

JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

PLAN # 8  
JUL 07 2020  
DP 18-837117  
A-2.01





- REVISIONS**
- |    |          |                                |
|----|----------|--------------------------------|
| 1  | 08/18/18 | Issued for Development Permit  |
| 2  | 03/20/19 | Revised for Development Permit |
| 3  | 05/09/19 | Revised per SSI Comments (1)   |
| 4  | 10/21/19 | Revised per SSI Comments (2)   |
| 5  | 11/04/19 | Revised per SSI Comments (3)   |
| 6  | 11/04/19 | Issued for ADP                 |
| 7  | 05/12/20 | Revised per SSI Comments (4)   |
| 8  | 06/15/20 | Revisions for Staff Report     |
| 9  | 06/25/20 | Revisions per June 24 comments |
| 10 | 07/09/20 | Issued for DP Panel            |

- REFERENCE NOTES:**
1. 2008 Bylaw 8500 (Adopted November 16, 2008)
  2. Planning Bylaw 3000, Amendment 2016, No. 8103
  3. 2016 Bylaw 2500, Amendment 2016, No. 8103
  4. 2016 Bylaw 2500, Amendment 2016, No. 8103
  5. 2016 Bylaw 2500, Amendment 2016, No. 8103
  6. 2016 Bylaw 2500, Amendment 2016, No. 8103
  7. 2016 Bylaw 2500, Amendment 2016, No. 8103
  8. 2016 Bylaw 2500, Amendment 2016, No. 8103
  9. 2016 Bylaw 2500, Amendment 2016, No. 8103
  10. 2016 Bylaw 2500, Amendment 2016, No. 8103

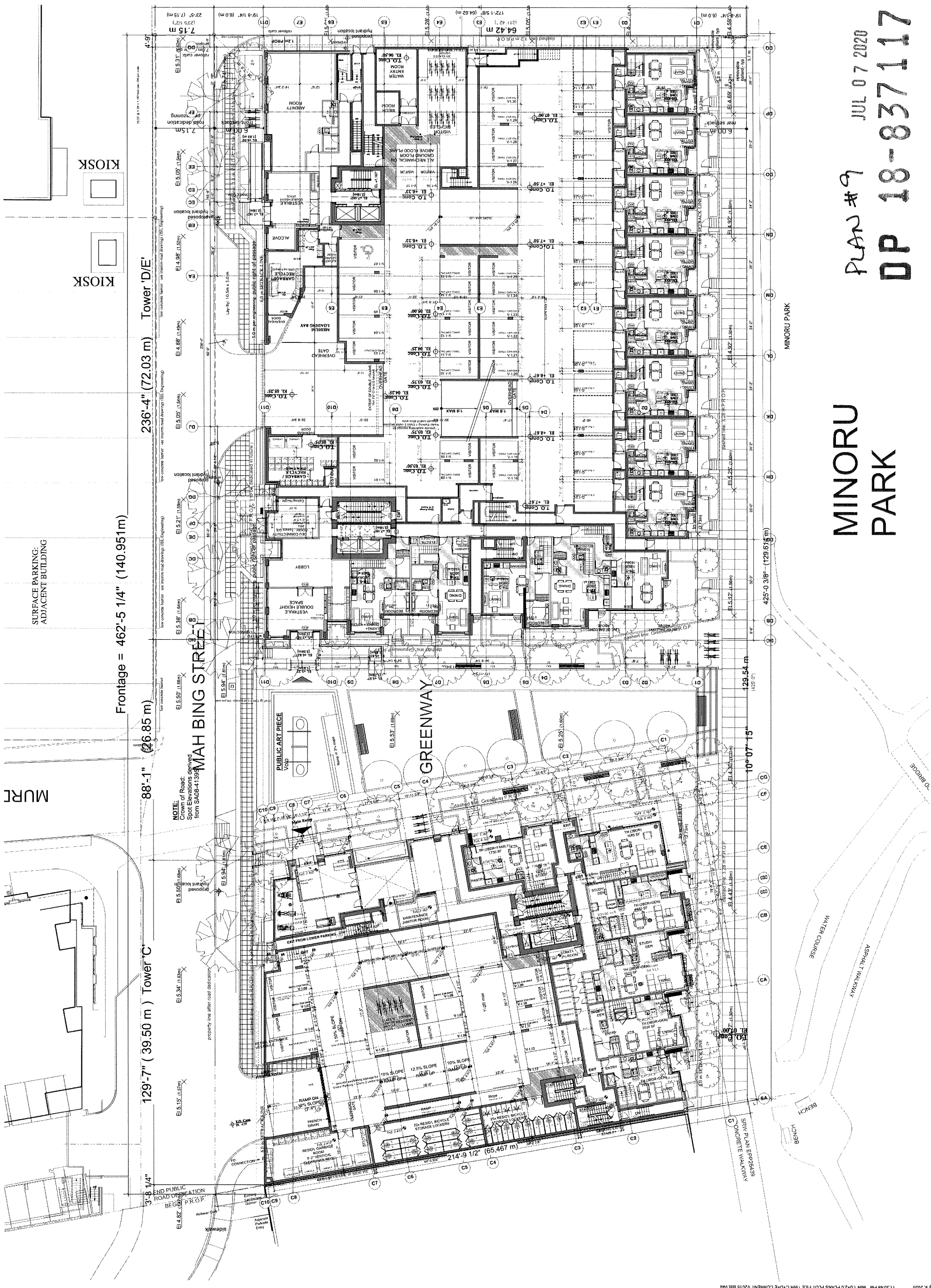
**PROJECT**  
Resid'l Development  
Park Residences PH2  
Tower C+D+E

6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan L-1**

JOB NO	02-003
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

A-2.02



MINORU  
PARK

PLAN #9  
JUL 07 2020  
DP 18-837117



REVISIONS:

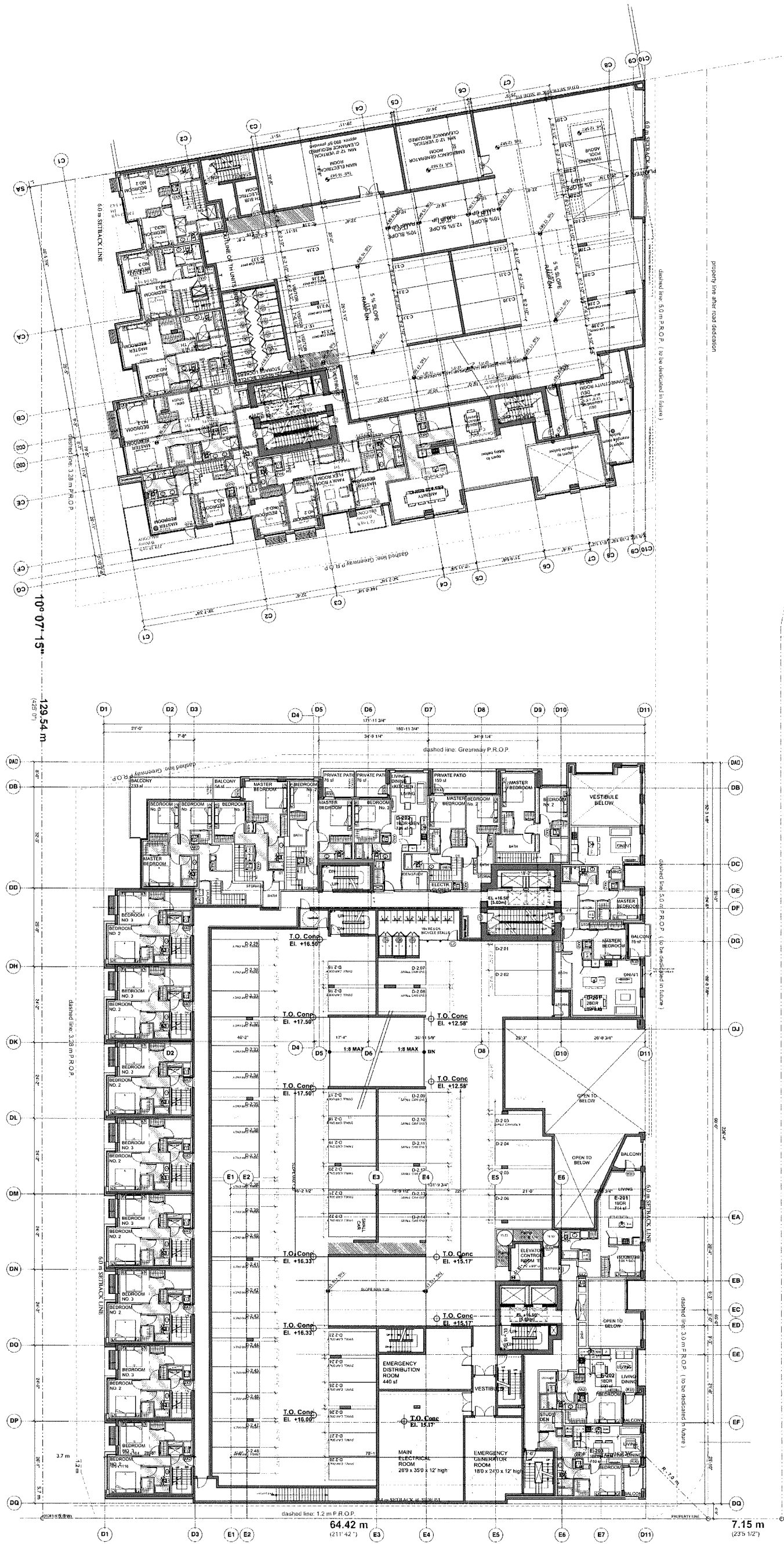
1	09/18/18	Issued for Development Permit
2	03/20/19	Revised for Development Permit
3	05/09/19	Revised per Staff Comments
4	10/21/19	Revised per Staff Comments (2)
5	11/14/19	Revised per Staff Comments (2)
6	11/08/19	Issued for ADP
7	07/12/20	Revised per Staff Comments (2)
8	09/10/20	Revised for Staff Report
9	05/29/20	Revised per July 24 Comments
10	07/29/20	Issued for Staff Report

- REFERENCES:
1. 2018 British Columbia Building Code (BCBC)
  2. 2018 International Building Code (IBC)
  3. 2018 International Residential Code (IRC)
  4. 2018 International Fire Code (IFC)
  5. 2018 International Mechanical Code (IMC)
  6. 2018 International Plumbing Code (IPC)
  7. 2018 International Electrical Code (IEC)
  8. 2018 International Energy Conservation Code (IECC)
  9. 2018 International Fire and Safety Code (IFSC)
  10. 2018 International Fire and Safety Code (IFSC)

PROJECT:  
**Resid'1 Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan L-2**

JOB NO: 02-03  
DRAWN: DM/VK  
DATE: August 23, 2018  
SCALE: 1/16" = 1'-0"  
CHECKED: WTL  
DRAWING NO: A-2.03



PLAN # 10  
JUL 07 2020  
DP 18-837117



**REVISION/REVISION**

1	06/15/19	Issued for Development Permit
2	06/20/19	Revised for Development Permit
3	06/26/19	Revised per Staff Comments (2)
4	10/21/19	Revised per Staff Comments (2)
5	11/06/19	Issued for ADP
6	11/06/19	Revised per Staff Comments (5)
7	06/15/20	Revisions per Staff Report
8	06/22/20	Revisions per Staff Report
9	06/22/20	Revisions per Staff Report
10	07/06/20	Issued for DP Permit

- REFERENCE NOTES:**
1. Zoning Bylaw 8800 (adopted November 16, 2020)
  2. British Columbia Building Code (BCBC) 2015, Part 9.5.1.1
  3. One Village Square 1500 Ave. Road, 65, Burnaby, BC V5A 1Y3
  4. One Village Square 1500 Ave. Road, 65, Burnaby, BC V5A 1Y3
  5. International Building Code (IBC) 2015, Section 705.2
  6. International Building Code (IBC) 2015, Section 705.2
  7. International Building Code (IBC) 2015, Section 705.2
  8. International Building Code (IBC) 2015, Section 705.2
  9. International Building Code (IBC) 2015, Section 705.2
  10. International Building Code (IBC) 2015, Section 705.2

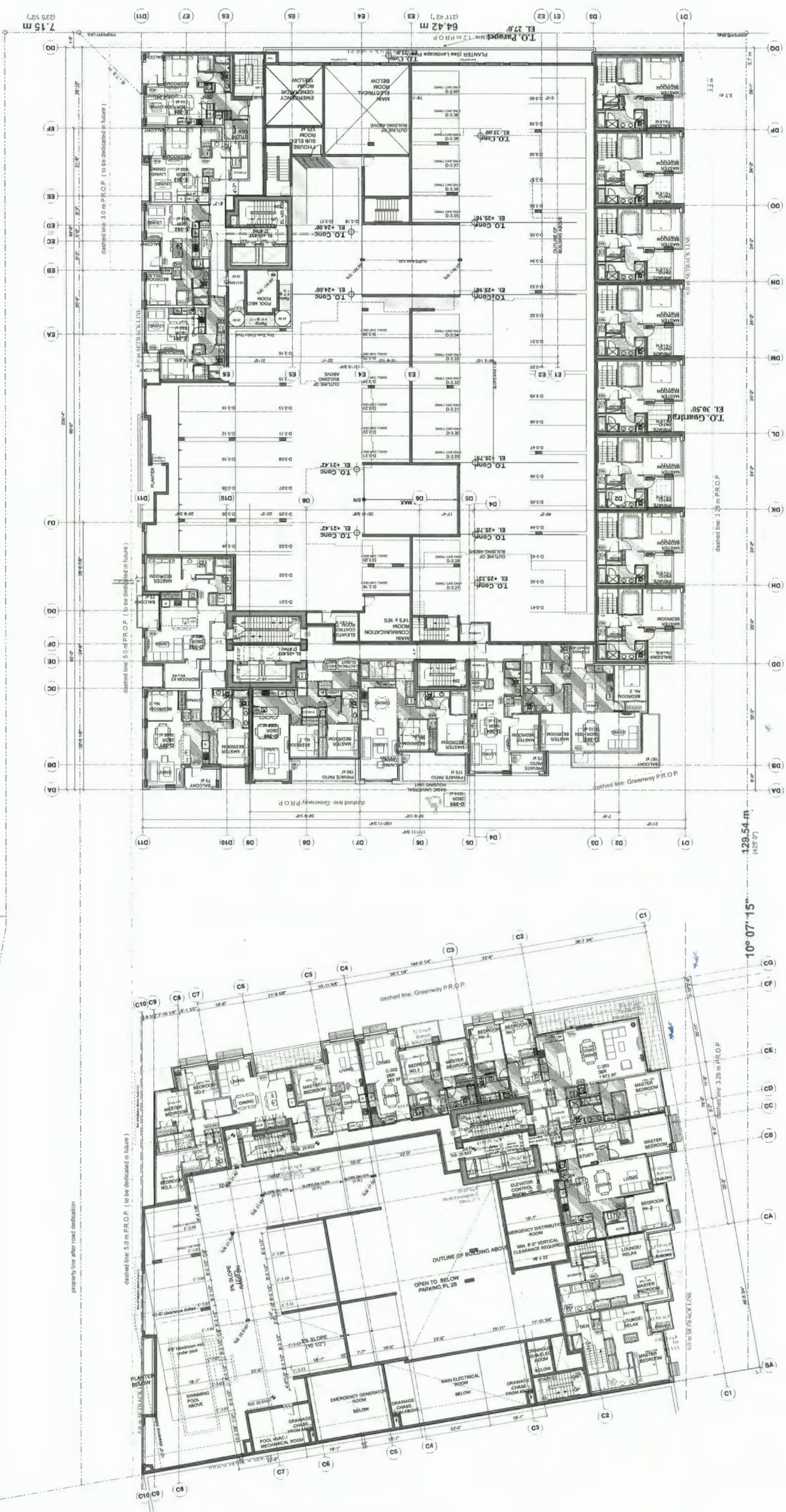
**PROJECT**

**Resid'l Developement  
Park Residences PH2  
Tower C+D+E**

6333 - 6399 Main Ring Street  
Richmond, BC

**Floor Plan L-3  
Courtyard**

JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL



PLAN # 11  
JUL 07 2020  
DP 18-837117



- ISSUANCE/REVISION
- 09/07/18 Issued for Development Permit
  - 03/28/19 Re-issued for Development Permit
  - 09/29/19 Re-issued per Staff Comments (1)
  - 10/31/19 Re-issued per Staff Comments (2)
  - 11/14/19 Re-issued per Staff Comments (3)
  - 11/28/19 Issued for ACP
  - 05/22/20 Re-issued per Staff Comments (4)
  - 06/15/20 Re-issued for Staff Report
  - 07/09/20 Re-issued for DP Permit

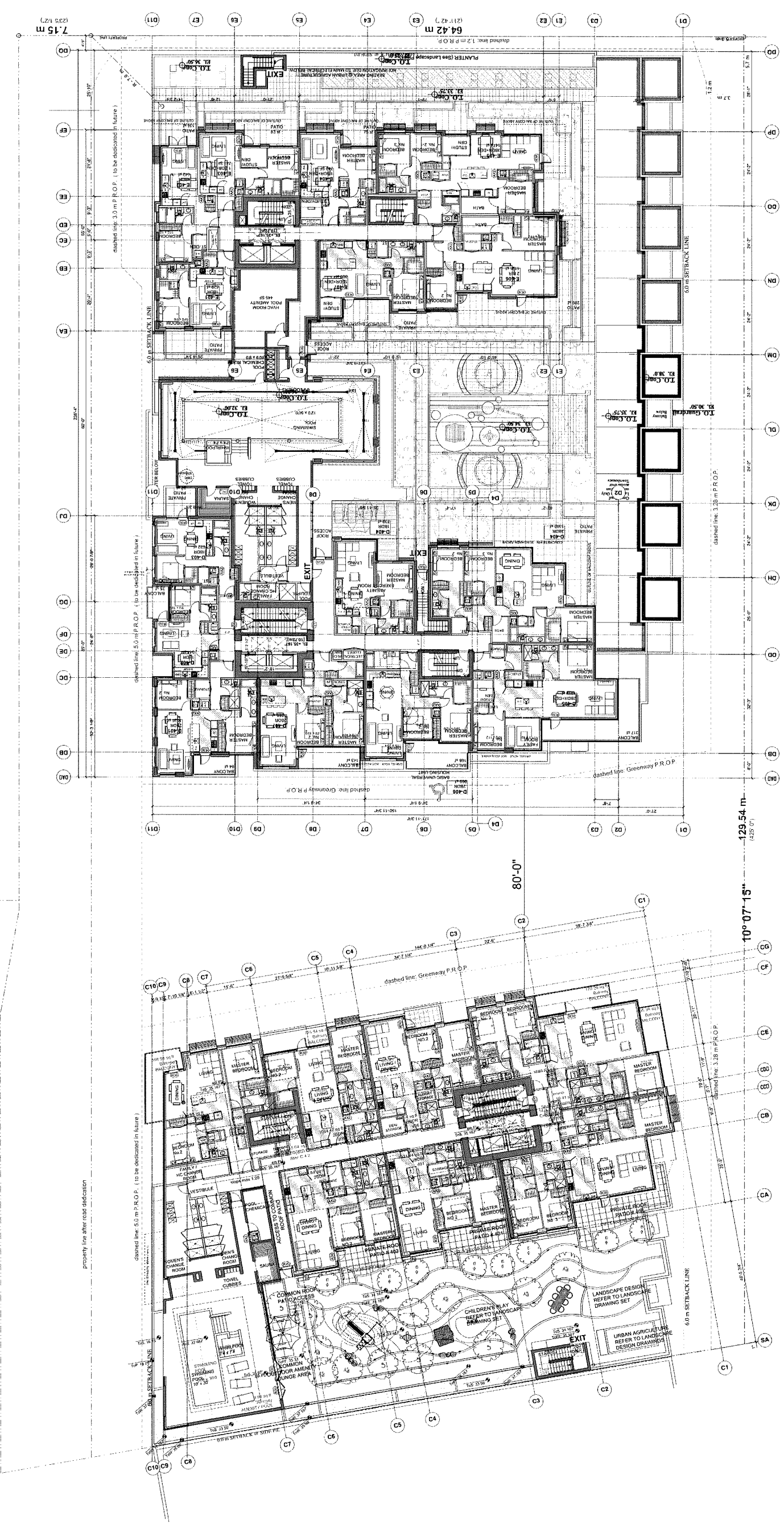
- REFERENCE NOTES:
- Zoning Bylaw 5600 (Adopted November 14, 2008)
  - Rezoning Bylaw 5200, Amendment (Adopted May 18, 2016)
  - Over the Ridge Energy Efficiency Bylaw 5124, Amendment (Adopted May 18, 2016)
  - Land Use Bylaw 2011, Amendment (Adopted May 18, 2016)
  - Amended Fire Code (Adopted May 18, 2017)
  - Richmond Noise Regulation Bylaw 8568
  - Electrical and Building Codes shown in Feet
  - Refer to Landscape Drawing for Landscape and Planting Plan
  - Structural Measures will be incorporated into the construction program to be approved by the Professional Engineer in accordance with the Mechanical Engineering (Mechanical, Electrical, Plumbing and Fire) Systems to be approved in accordance with Bylaw 8568
  - Design of Fire Alarm System (FAS) will be in accordance with the Fire Alarm System (FAS) Design (FAS) Drawing Set
  - Design of Fire Alarm System (FAS) will be in accordance with the Fire Alarm System (FAS) Design (FAS) Drawing Set
  - Design of Fire Alarm System (FAS) will be in accordance with the Fire Alarm System (FAS) Design (FAS) Drawing Set
  - Design of Fire Alarm System (FAS) will be in accordance with the Fire Alarm System (FAS) Design (FAS) Drawing Set
  - Design of Fire Alarm System (FAS) will be in accordance with the Fire Alarm System (FAS) Design (FAS) Drawing Set
  - Design of Fire Alarm System (FAS) will be in accordance with the Fire Alarm System (FAS) Design (FAS) Drawing Set

PROJECT  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

Floor Plan L-4  
Courtyard FL

JOB NO: 02-03  
DRAWN: DM/VK  
DATE: August 23, 2018  
SCALE: 1/16" = 1'-0"  
CHECKED: WTL

DRAWING NO: A-2.05



DP 18-837117

Plans #12

JUL 07 2020







ISSUE/REVISION	DATE	DESCRIPTION
1	09/18/18	Issued for Development Permit
2	03/20/19	Revised for Development Permit
3	08/29/19	Revised for Staff Comments
4	10/21/19	Revised for Staff Comments (2)
5	11/14/19	Revised for Staff Comments (2)
6	11/01/19	Issued for ADP
7	05/12/20	Revised for Staff Comments (4)
8	08/18/20	Revised for Staff Report
9	07/09/20	Issued for DP Permit

**REFERENCE NOTES:**

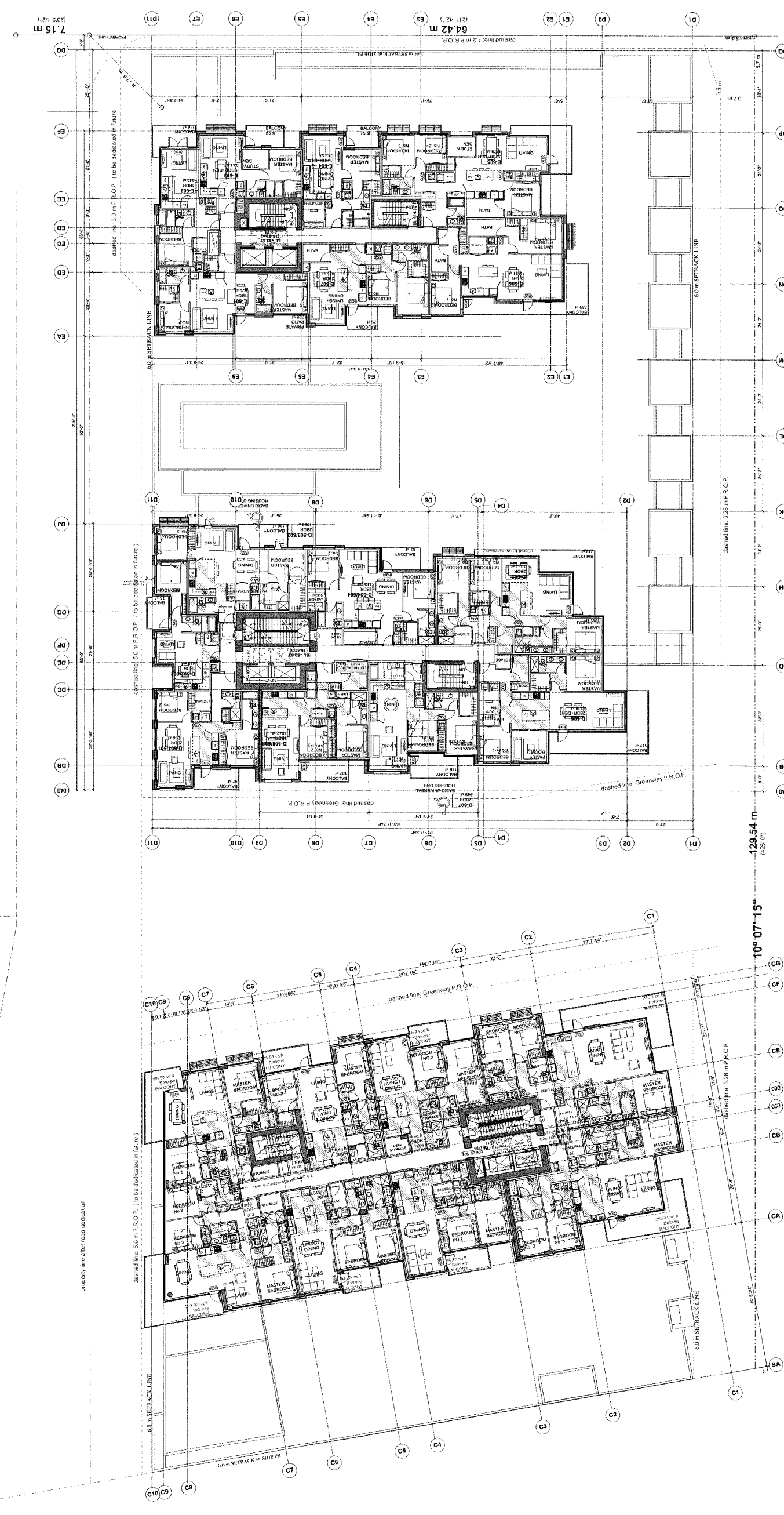
1. Sound Bylaw 6550 (adopted November 14, 2009)
2. Fire Code Bylaw 6500 (adopted October 20, 2009)
3. Fire Code Bylaw 6500 (amended October 20, 2009)
4. Fire Code Bylaw 6500 (amended October 20, 2009)
5. Fire Code Bylaw 6500 (amended October 20, 2009)
6. Fire Code Bylaw 6500 (amended October 20, 2009)
7. Fire Code Bylaw 6500 (amended October 20, 2009)
8. Fire Code Bylaw 6500 (amended October 20, 2009)
9. Fire Code Bylaw 6500 (amended October 20, 2009)
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98. Fire Code Bylaw 6500 (amended October 20, 2009)
99. Fire Code Bylaw 6500 (amended October 20, 2009)
100. Fire Code Bylaw 6500 (amended October 20, 2009)

**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan L-6**

JOB NO	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

**A-2.07**



PLAN #14  
JUL 07 2020  
DP 18-837117



ISSUE/REVISION	DESCRIPTION
1	08/13/18 Issued for Development Permit
2	03/20/19 Re-submitted for Development Permit
3	09/09/19 Re-submitted per Staff Comments
4	10/01/19 Re-submitted per Staff Comments (2)
5	11/06/19 Re-submitted per Staff Comments (3)
6	11/06/19 Issued for ADP
7	05/03/20 Re-submitted per Staff Comments (4)
8	05/12/20 Re-submitted for Staff Report
9	07/09/20 Issued for DP Permit

- REFERENCE NOTES:**
1. Zoning Bylaw 4550 (adopted November 14, 2008)
  2. Zoning Bylaw 2500 (amended June 28, 2016, Bylaw No. 610)
  3. Official Community Plan 2016-2022, Official Bylaw 934
  4. Official Development Plan 2016-2022, Official Bylaw 934
  5. Zoning Bylaw 4550 (amended November 14, 2008)
  6. Zoning Bylaw 2500 (amended June 28, 2016, Bylaw No. 610)
  7. Official Community Plan 2016-2022, Official Bylaw 934
  8. Official Development Plan 2016-2022, Official Bylaw 934
  9. Richmond Noise Regulation Bylaw 8566
  10. Richmond City Building Codes shown in feet.
  11. Refer to Landscape Drawing for Landscape and Planting Plan
  12. Mechanical systems will not be installed until after the building envelope is completed and the mechanical systems are approved by the City.
  13. Mechanical Equipment (Refrigerators, Dishwashers, Stoves, etc.) shall be installed in accordance with the applicable codes and standards.
  14. Design of all building systems shall be in accordance with the applicable codes and standards.
  15. Design of all building systems shall be in accordance with the applicable codes and standards.
  16. Design of all building systems shall be in accordance with the applicable codes and standards.
  17. Design of all building systems shall be in accordance with the applicable codes and standards.
  18. Design of all building systems shall be in accordance with the applicable codes and standards.
  19. Design of all building systems shall be in accordance with the applicable codes and standards.
  20. Design of all building systems shall be in accordance with the applicable codes and standards.

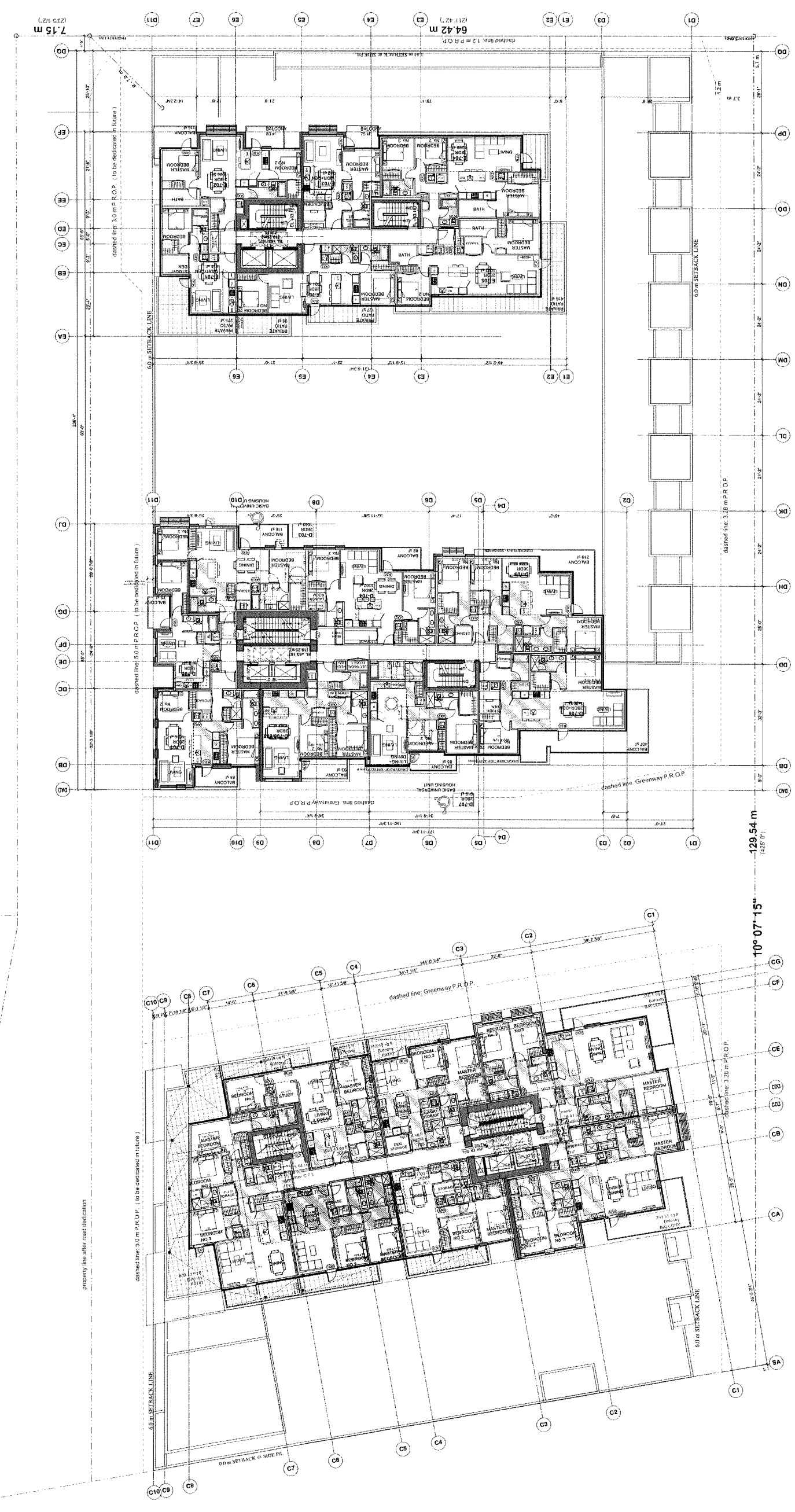
**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan L-7**

JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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DRAWING NO.: **A-2.08**



PLAN # 15 JUL 07 2020  
DP 18-837117



ISSUE/REVISION	DESCRIPTION
1	08/18/18 Issued for Development Permit
2	02/20/19 Revised for Development Permit
3	05/29/19 Revised per Staff Comments
4	10/21/19 Revised per Staff Comments (2)
5	11/14/19 Revised per Staff Comments (2)
6	11/28/19 Issued for ADP
7	05/20/20 Revised per Staff Comments (3)
8	05/24/20 Revised for Staff Report
9	07/09/20 Issued for DP Permit

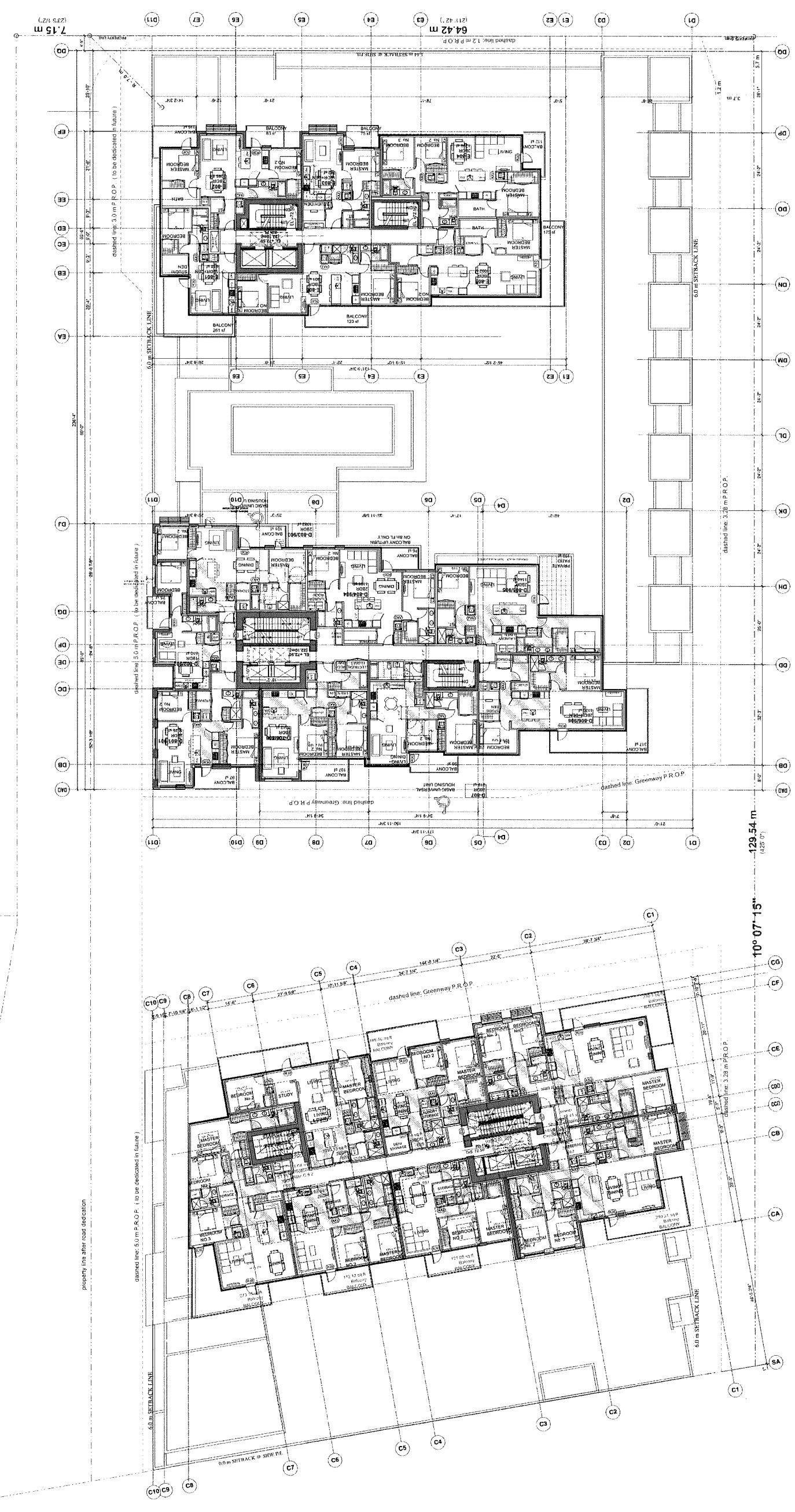
- REFERENCE NOTES:**
1. Zoning Bylaw 4500, adopted November 16, 2009
  2. Planning Bylaw 2800, Amendment of Bylaw No. 8153 (City of Richmond) adopted November 16, 2009
  3. Official Community Plan 2017-2025, City of Richmond
  4. Official Development Permit Bylaw No. 9154, adopted June 20, 2017
  5. Official Development Permit Bylaw No. 9155, adopted June 20, 2017
  6. Official Development Permit Bylaw No. 9156, adopted June 20, 2017
  7. Official Development Permit Bylaw No. 9157, adopted June 20, 2017
  8. Official Development Permit Bylaw No. 9158, adopted June 20, 2017
  9. Official Development Permit Bylaw No. 9159, adopted June 20, 2017
  10. Official Development Permit Bylaw No. 9160, adopted June 20, 2017
  11. Official Development Permit Bylaw No. 9161, adopted June 20, 2017
  12. Official Development Permit Bylaw No. 9162, adopted June 20, 2017
  13. Official Development Permit Bylaw No. 9163, adopted June 20, 2017
  14. Official Development Permit Bylaw No. 9164, adopted June 20, 2017
  15. Official Development Permit Bylaw No. 9165, adopted June 20, 2017
  16. Official Development Permit Bylaw No. 9166, adopted June 20, 2017
  17. Official Development Permit Bylaw No. 9167, adopted June 20, 2017
  18. Official Development Permit Bylaw No. 9168, adopted June 20, 2017
  19. Official Development Permit Bylaw No. 9169, adopted June 20, 2017
  20. Official Development Permit Bylaw No. 9170, adopted June 20, 2017

**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan L-8**

JOB NO.	02-03
DESIGN	DMIVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

**A-2.09**



PLAN #16  
JUL 07 2020  
DP 18-837117



REVISION	DATE	DESCRIPTION
1	06/18/18	Issued for Development Permit
2	03/20/18	Revised for Development Permit
3	06/09/18	Revised per Staff Comments
4	10/21/18	Revised per Staff Comments (2)
5	11/14/18	Revised per Staff Comments (2)
6	11/08/19	Issued for ADP
7	05/12/20	Revised per Staff Comments (2)
8	06/15/20	Revised per Staff Report
9	07/09/20	Issued for DP Permit

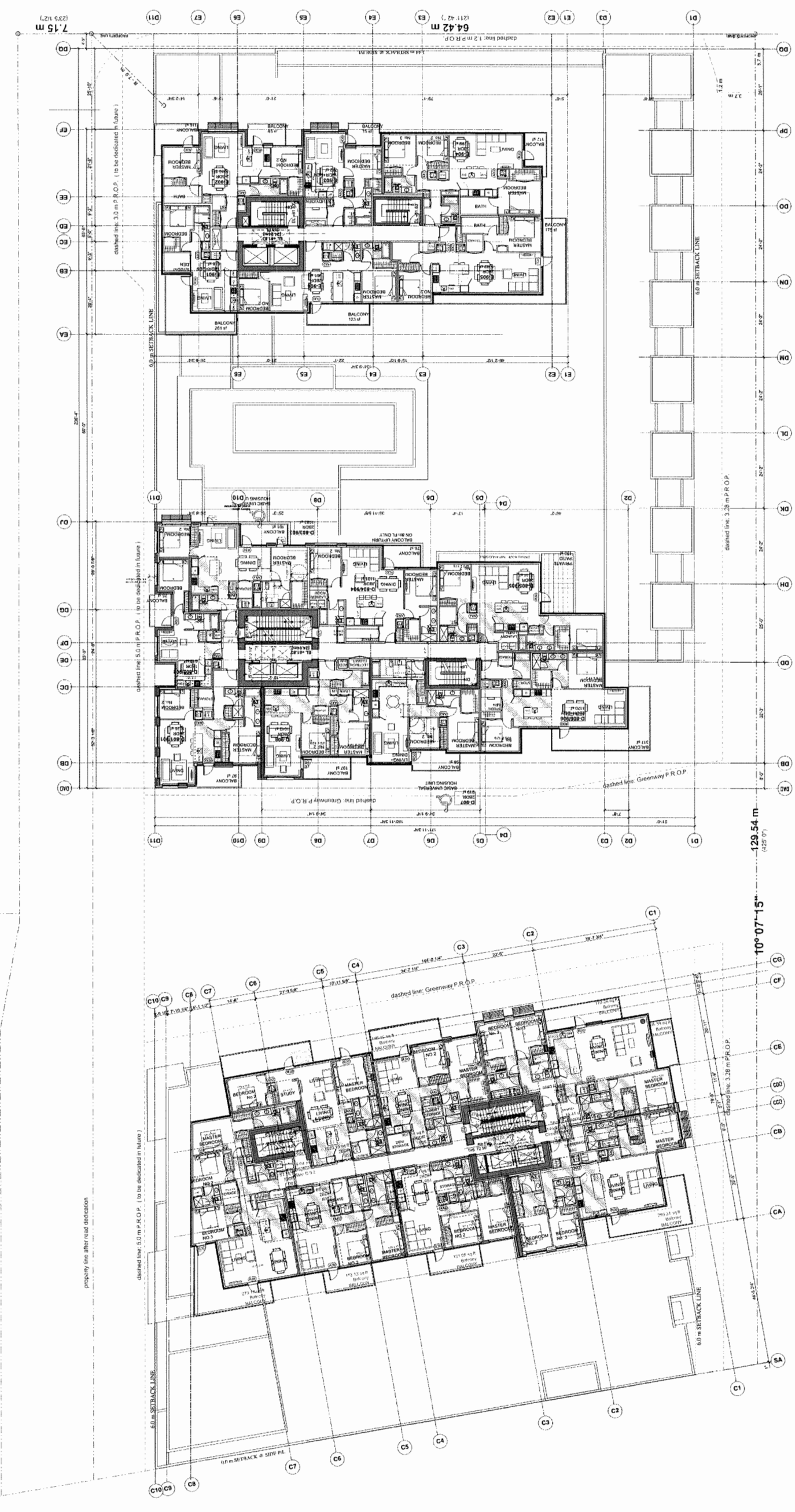
- REFERENCE NOTES:**
1. BC Building Act, 2001 (Amended) Section 18, 2008
  2. BC Building Act, 2001 (Amended) Section 18, 2015
  3. BC Building Act, 2001 (Amended) Section 18, 2017
  4. BC Building Act, 2001 (Amended) Section 18, 2017
  5. BC Building Act, 2001 (Amended) Section 18, 2017
  6. BC Building Act, 2001 (Amended) Section 18, 2017
  7. BC Building Act, 2001 (Amended) Section 18, 2017
  8. BC Building Act, 2001 (Amended) Section 18, 2017
  9. BC Building Act, 2001 (Amended) Section 18, 2017

**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bling Street  
Richmond, BC

**Floor Plan L-9**

JOB NO	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

**A-2.10**



PLAN #17 JUL 07 2020  
DP 18-837117



REVISION	DATE	DESCRIPTION
1	09/18/18	Issued for Development Permit
2	03/20/19	Revised for Development Permit
3	08/28/19	Revised per Staff Comments
4	10/21/19	Revised per Staff Comments (2)
5	11/14/19	Revised per Staff Comments (3)
6	11/28/19	Issued for ADP
7	05/12/20	Revised per Staff Comments (4)
8	06/15/20	Revisions for Staff Report
9	07/09/20	Issued for DP Permit

**REFERENCE NOTES:**

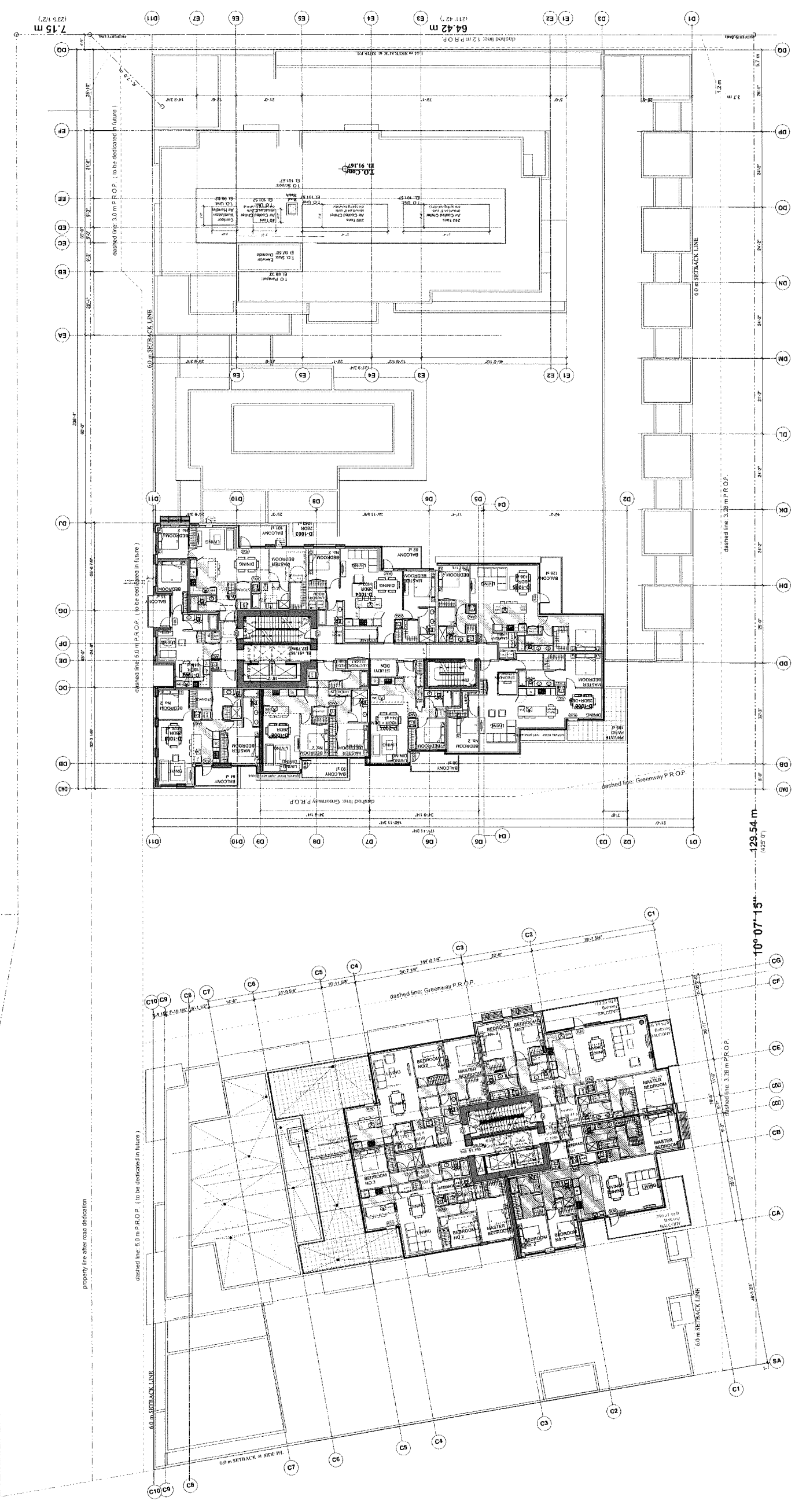
- 1.1 British Columbia Building Code, 2009
- 1.2 British Columbia Building Code, 2009
- 1.3 British Columbia Building Code, 2009
- 1.4 British Columbia Building Code, 2009
- 1.5 British Columbia Building Code, 2009
- 1.6 British Columbia Building Code, 2009
- 1.7 British Columbia Building Code, 2009
- 1.8 British Columbia Building Code, 2009
- 1.9 British Columbia Building Code, 2009
- 1.10 British Columbia Building Code, 2009
- 1.11 British Columbia Building Code, 2009
- 1.12 British Columbia Building Code, 2009
- 1.13 British Columbia Building Code, 2009
- 1.14 British Columbia Building Code, 2009
- 1.15 British Columbia Building Code, 2009
- 1.16 British Columbia Building Code, 2009
- 1.17 British Columbia Building Code, 2009
- 1.18 British Columbia Building Code, 2009
- 1.19 British Columbia Building Code, 2009
- 1.20 British Columbia Building Code, 2009

**PROJECT**  
**Resid'I Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan L-10**

JOB NO	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

**A-2.11**



PLAN #18 JUL 07 2020  
DP 18-837117



ISSUE/REVISION	DESCRIPTION
1	08/19/18 Issued for Development Permit
2	03/20/19 Revised for Development Permit
3	08/19/19 Revised per Staff Comments
4	10/21/19 Revised per Staff Comments (2)
5	11/04/19 Revised per Staff Comments (3)
6	11/04/19 Notes for ADP
7	06/12/20 Revised per Staff Comments (4)
8	08/15/20 Revised for Staff Report
9	07/06/20 Issued for DP Permit

- REFERENCE NOTES:**
- 1.1 zoning Bylaw 8550 (Adopted November 16, 2009)
  - 1.2 zoning Bylaw 8550 (Amended November 16, 2009)
  - 1.3 zoning Bylaw 8550 (Amended April 28, 2010)
  - 1.4 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.5 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.6 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.7 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.8 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.9 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.10 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.11 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.12 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.13 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.14 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.15 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.16 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.17 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.18 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.19 zoning Bylaw 8550 (Amended July 27, 2010)
  - 1.20 zoning Bylaw 8550 (Amended July 27, 2010)

PROJECT

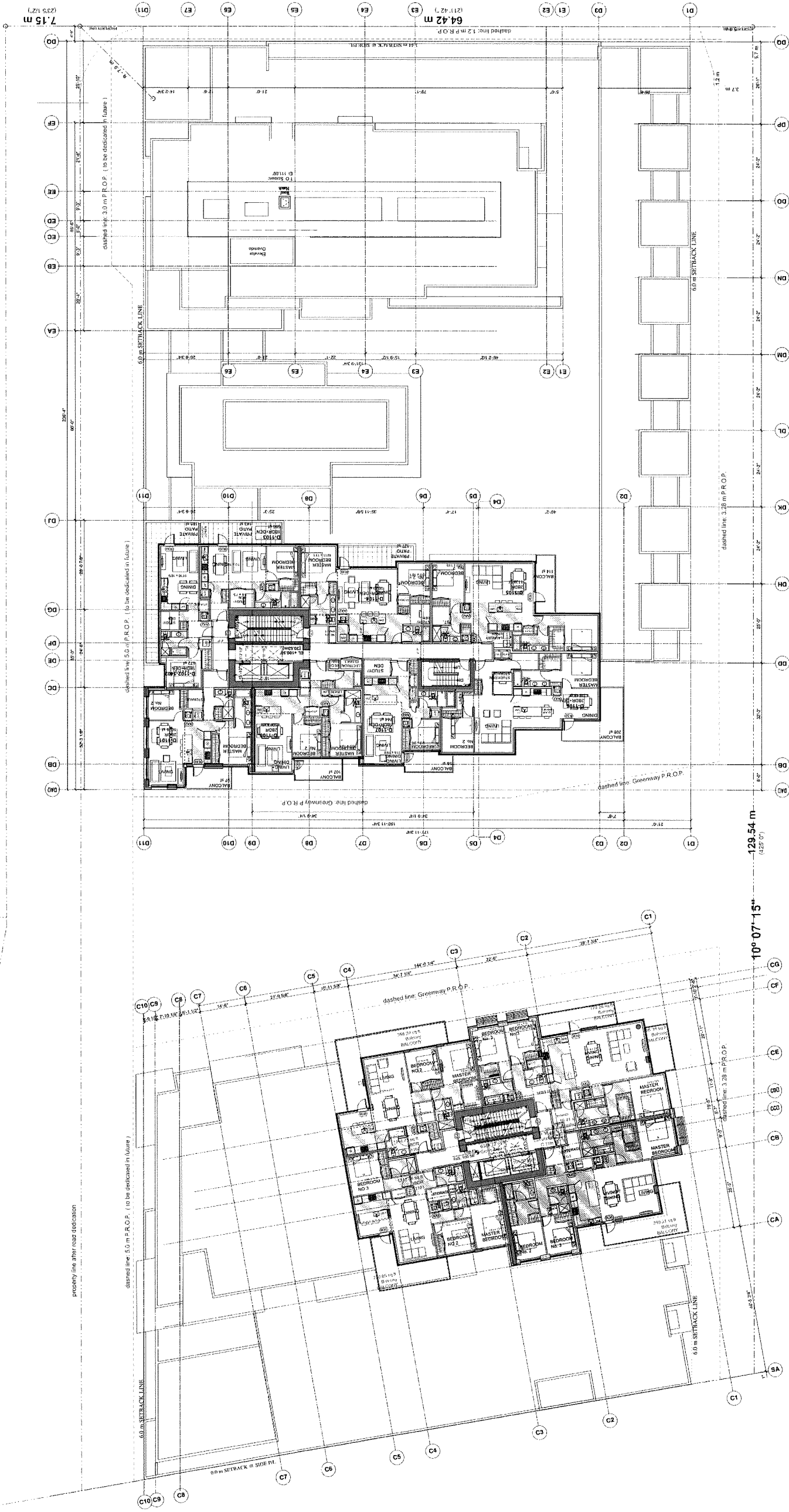
**Resid'l Development  
Park Residences PH2  
Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan L-11**

JOB NO	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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DRAWING NO. **A-2.12**



PLAN #19  
JUL 07 2020  
DP 18-837117



**ISSUE/REVISION**

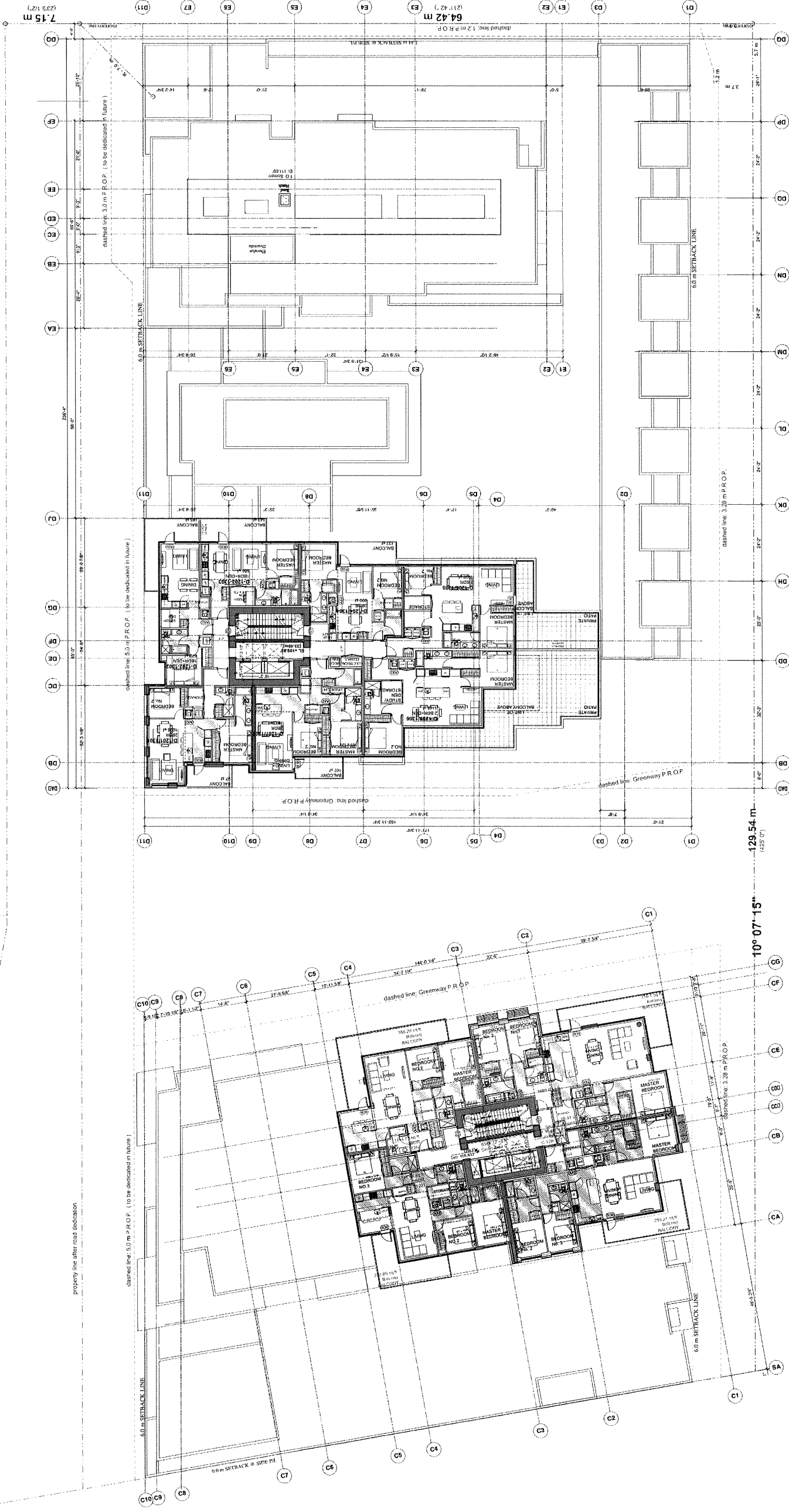
1	09/18/18	Issued for Development Permit
2	03/20/19	Revised for Development Permit
3	09/09/19	Revised per Staff Comments
4	10/21/19	Revised per Staff Comments (2)
5	11/14/19	Revised per Staff Comments (3)
6	11/08/19	Issued for ADP
7	09/12/20	Revised per Staff Comments (5)
8	06/15/20	Revised for Staff Report
9	07/06/20	Issued for DP Permit

- REFERENCE NOTES:**
1. Zoning Bylaw 8550 (repealed November 16, 2009)
  2. Zoning Bylaw 8550 (repealed November 16, 2009)
  3. Zoning Bylaw 8550 (repealed November 16, 2009)
  4. Zoning Bylaw 8550 (repealed November 16, 2009)
  5. Zoning Bylaw 8550 (repealed November 16, 2009)
  6. Zoning Bylaw 8550 (repealed November 16, 2009)
  7. Zoning Bylaw 8550 (repealed November 16, 2009)
  8. Zoning Bylaw 8550 (repealed November 16, 2009)
  9. Zoning Bylaw 8550 (repealed November 16, 2009)

**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan L-12**

JOB NO	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL



PLAN #20  
JUL 07 2020  
DP 18-837117



ISSUE/REVISION	DESCRIPTION
1	09/18/18 Issued for Development Permit
2	03/20/19 Re-submitted for Development Permit
3	09/09/19 Re-submitted per Staff Comments (2)
4	10/21/19 Re-submitted per Staff Comments (2)
5	11/4/19 Re-submitted per Staff Comments (2)
6	11/06/19 Re-submitted per Staff Comments (2)
7	05/12/20 Re-submitted per Staff Comments (5)
8	06/15/20 Re-submitted per Staff Report
9	07/09/20 Issued for DP Permit

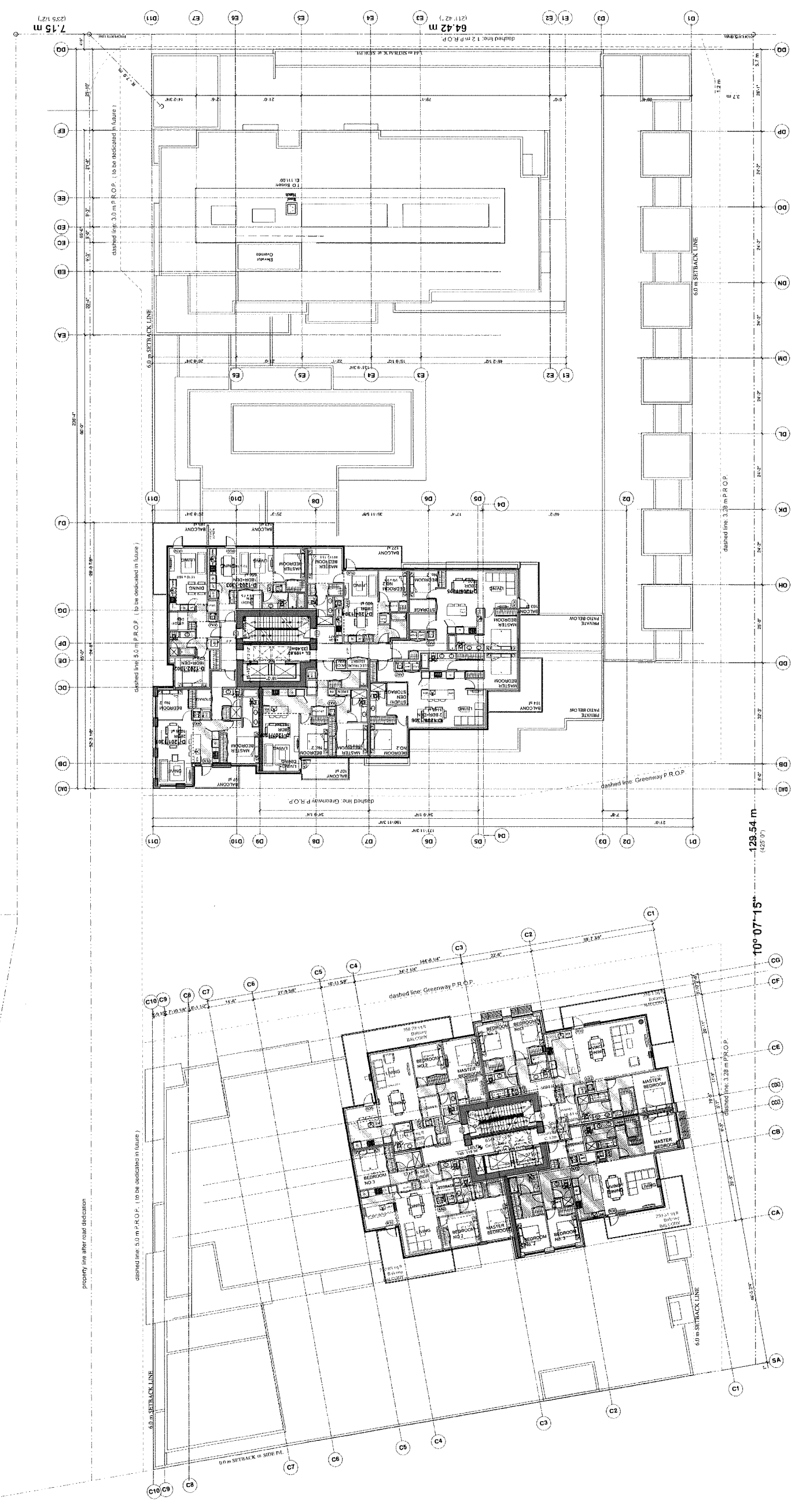
- REFERENCE NOTES:**
- 1.1. Series Bylaw 6500 (Amended November 16, 2009)
  - 1.2. Series Bylaw 6500 (Amended November 16, 2009)
  - 1.3. Provincial Building Code, British Columbia Building Act, 2006
  - 1.4. Provincial Building Code, British Columbia Building Act, 2006
  - 1.5. Provincial Building Code, British Columbia Building Act, 2006
  - 1.6. Provincial Building Code, British Columbia Building Act, 2006
  - 1.7. Provincial Building Code, British Columbia Building Act, 2006
  - 1.8. Provincial Building Code, British Columbia Building Act, 2006
  - 1.9. Provincial Building Code, British Columbia Building Act, 2006
  - 1.10. Provincial Building Code, British Columbia Building Act, 2006
  - 1.11. Provincial Building Code, British Columbia Building Act, 2006
  - 1.12. Provincial Building Code, British Columbia Building Act, 2006
  - 1.13. Provincial Building Code, British Columbia Building Act, 2006
  - 1.14. Provincial Building Code, British Columbia Building Act, 2006
  - 1.15. Provincial Building Code, British Columbia Building Act, 2006
  - 1.16. Provincial Building Code, British Columbia Building Act, 2006
  - 1.17. Provincial Building Code, British Columbia Building Act, 2006
  - 1.18. Provincial Building Code, British Columbia Building Act, 2006
  - 1.19. Provincial Building Code, British Columbia Building Act, 2006
  - 1.20. Provincial Building Code, British Columbia Building Act, 2006

**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan L-13**

JOB NO	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

**A-2.14**



PLAN #21 JUL 07 2020  
DP 18-837117





ISSUE/REVISION	DESCRIPTION
1	09/18/18 Issued for Development Permit
2	03/20/19 Revised for Development Permit
3	08/28/19 Revised per Staff Comments
4	10/11/19 Revised per Staff Comments (2)
5	11/14/19 Revised per Staff Comments (3)
6	11/20/19 Issued for ADP
7	02/02/20 Revised per Staff Comments (4)
8	08/14/20 Revised for Staff Report
9	07/29/20 Issued for DP Permit

- REFERENCE NOTES:**
1. Zoning Bylaw 8500 (Adopted November 14, 2008)
  2. Zoning Bylaw 8500 (Amended February 12, 2010)
  3. Zoning Bylaw 8500 (Amended May 19, 2010)
  4. Zoning Bylaw 8500 (Amended September 22, 2010)
  5. Zoning Bylaw 8500 (Amended December 15, 2010)
  6. Zoning Bylaw 8500 (Amended February 11, 2011)
  7. Zoning Bylaw 8500 (Amended May 11, 2011)
  8. Zoning Bylaw 8500 (Amended August 11, 2011)
  9. Zoning Bylaw 8500 (Amended November 11, 2011)
  10. Zoning Bylaw 8500 (Amended February 11, 2012)
  11. Zoning Bylaw 8500 (Amended May 11, 2012)
  12. Zoning Bylaw 8500 (Amended August 11, 2012)
  13. Zoning Bylaw 8500 (Amended November 11, 2012)
  14. Zoning Bylaw 8500 (Amended February 11, 2013)
  15. Zoning Bylaw 8500 (Amended May 11, 2013)
  16. Zoning Bylaw 8500 (Amended August 11, 2013)
  17. Zoning Bylaw 8500 (Amended November 11, 2013)
  18. Zoning Bylaw 8500 (Amended February 11, 2014)
  19. Zoning Bylaw 8500 (Amended May 11, 2014)
  20. Zoning Bylaw 8500 (Amended August 11, 2014)
  21. Zoning Bylaw 8500 (Amended November 11, 2014)
  22. Zoning Bylaw 8500 (Amended February 11, 2015)
  23. Zoning Bylaw 8500 (Amended May 11, 2015)
  24. Zoning Bylaw 8500 (Amended August 11, 2015)
  25. Zoning Bylaw 8500 (Amended November 11, 2015)
  26. Zoning Bylaw 8500 (Amended February 11, 2016)
  27. Zoning Bylaw 8500 (Amended May 11, 2016)
  28. Zoning Bylaw 8500 (Amended August 11, 2016)
  29. Zoning Bylaw 8500 (Amended November 11, 2016)
  30. Zoning Bylaw 8500 (Amended February 11, 2017)
  31. Zoning Bylaw 8500 (Amended May 11, 2017)
  32. Zoning Bylaw 8500 (Amended August 11, 2017)
  33. Zoning Bylaw 8500 (Amended November 11, 2017)
  34. Zoning Bylaw 8500 (Amended February 11, 2018)
  35. Zoning Bylaw 8500 (Amended May 11, 2018)
  36. Zoning Bylaw 8500 (Amended August 11, 2018)
  37. Zoning Bylaw 8500 (Amended November 11, 2018)
  38. Zoning Bylaw 8500 (Amended February 11, 2019)
  39. Zoning Bylaw 8500 (Amended May 11, 2019)
  40. Zoning Bylaw 8500 (Amended August 11, 2019)
  41. Zoning Bylaw 8500 (Amended November 11, 2019)
  42. Zoning Bylaw 8500 (Amended February 11, 2020)
  43. Zoning Bylaw 8500 (Amended May 11, 2020)
  44. Zoning Bylaw 8500 (Amended August 11, 2020)
  45. Zoning Bylaw 8500 (Amended November 11, 2020)

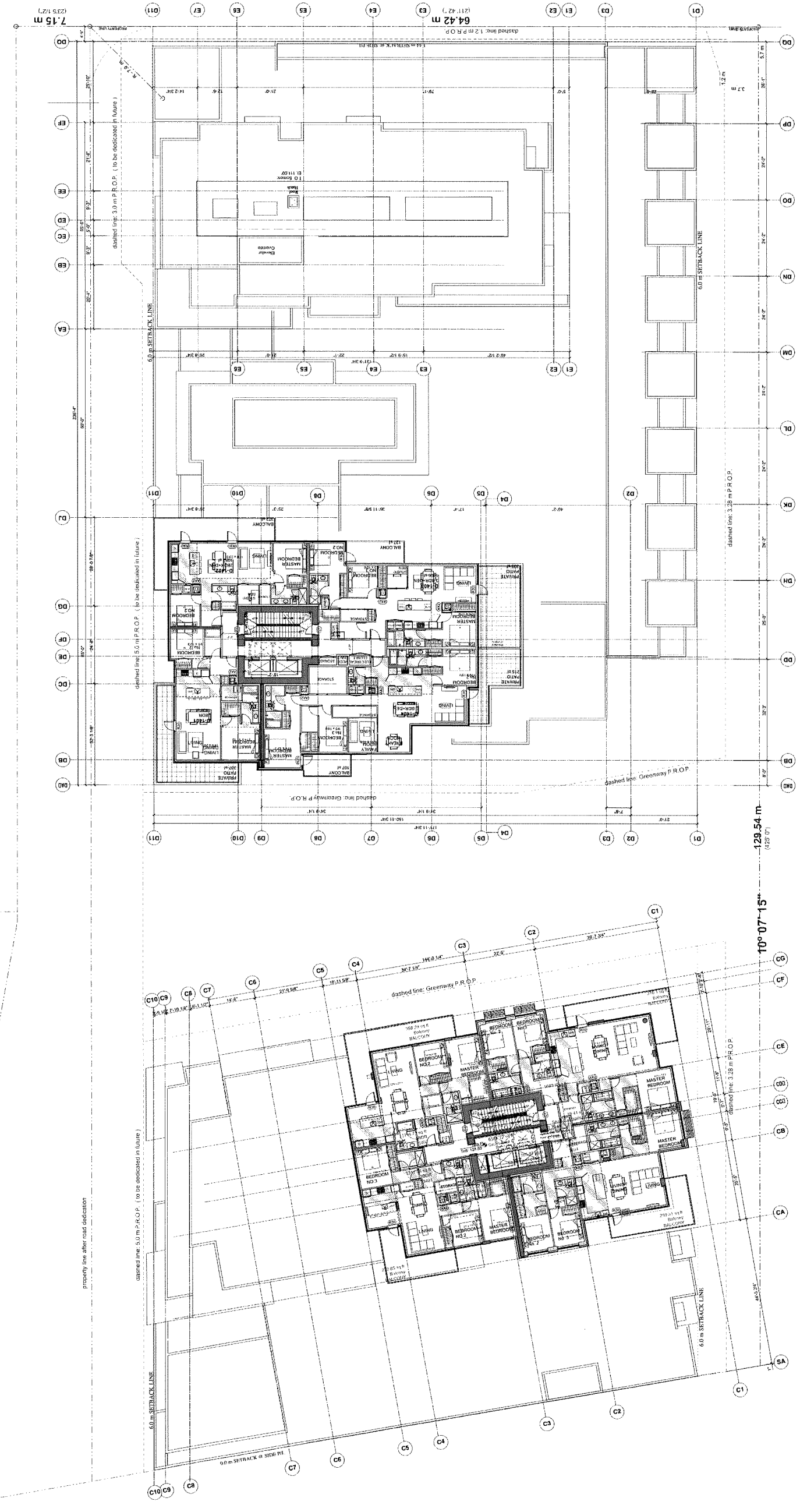
**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**

6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan L-14**

JOB NO.	02-03
DRAWN	DM/IK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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PLAN 22  
JUL 07 2020  
DP 18-837117



**REVISION**

1	09/18/18	Issued for Development Permit
2	03/20/19	Revised for Development Permit
3	09/09/19	Revised per S&B Comments
4	10/21/19	Revised per S&B Comments (2)
5	11/04/19	Revised per S&B Comments (3)
6	11/04/19	Issued for ASP
7	05/12/20	Revised per S&B Comments (4)
8	08/15/20	Revised per S&B Report
9	01/09/20	Issued for J.P. Permit

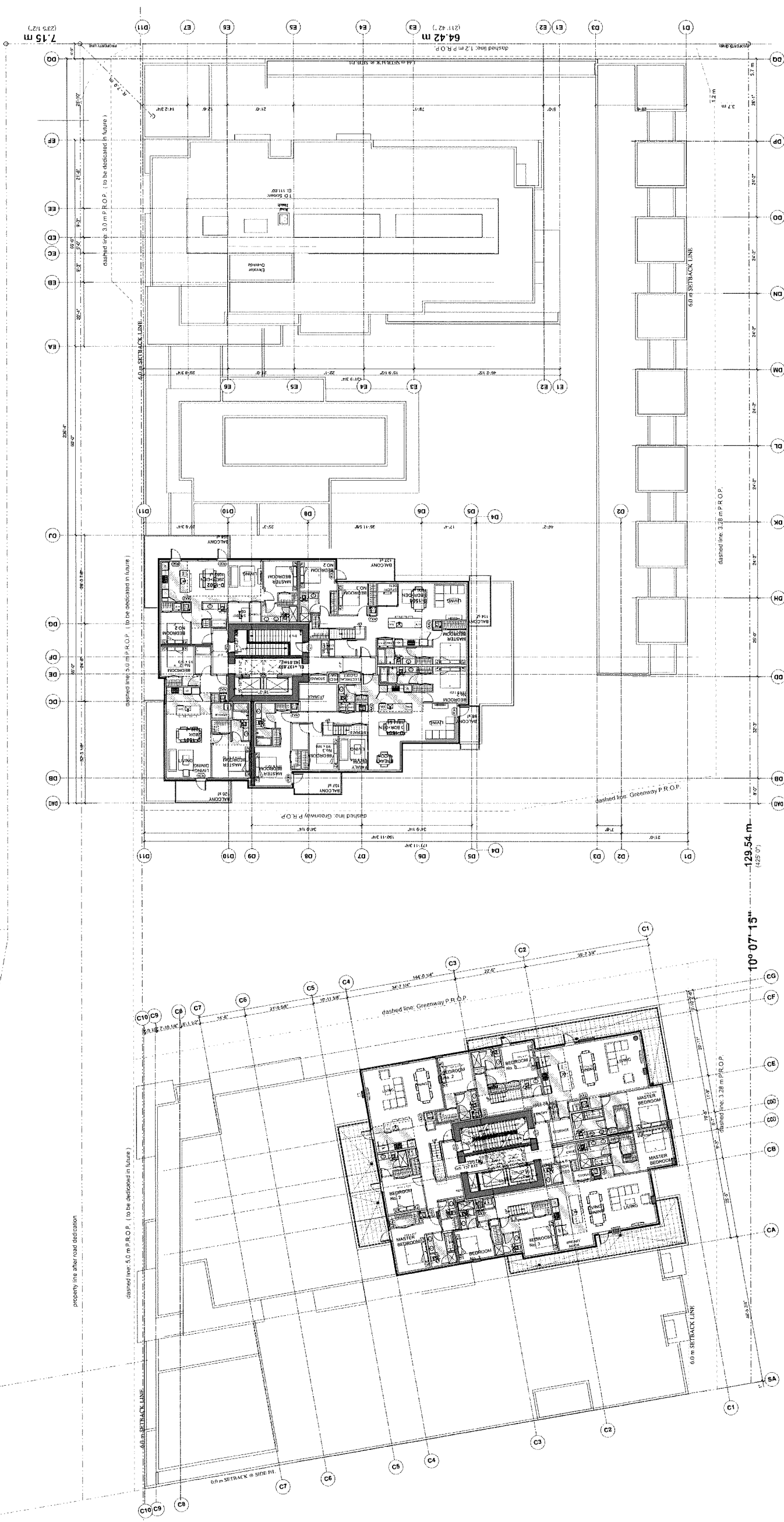
- REFERENCE NOTES:**
- 1.1 Zoning Bylaw 8550 (Adopted November 18, 2008)
  - 1.2 Zoning Bylaw 8550 (Amended November 18, 2008)
  - 1.3 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.4 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.5 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.6 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.7 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.8 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.9 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.10 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.11 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.12 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.13 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.14 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.15 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.16 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.17 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.18 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.19 Zoning Bylaw 8550 (Amended July 20, 2011)
  - 1.20 Zoning Bylaw 8550 (Amended July 20, 2011)

**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan L-15**

JOB NO.	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

A-2.16



PLAN #23  
JUL 07 2020  
DP 18-837117

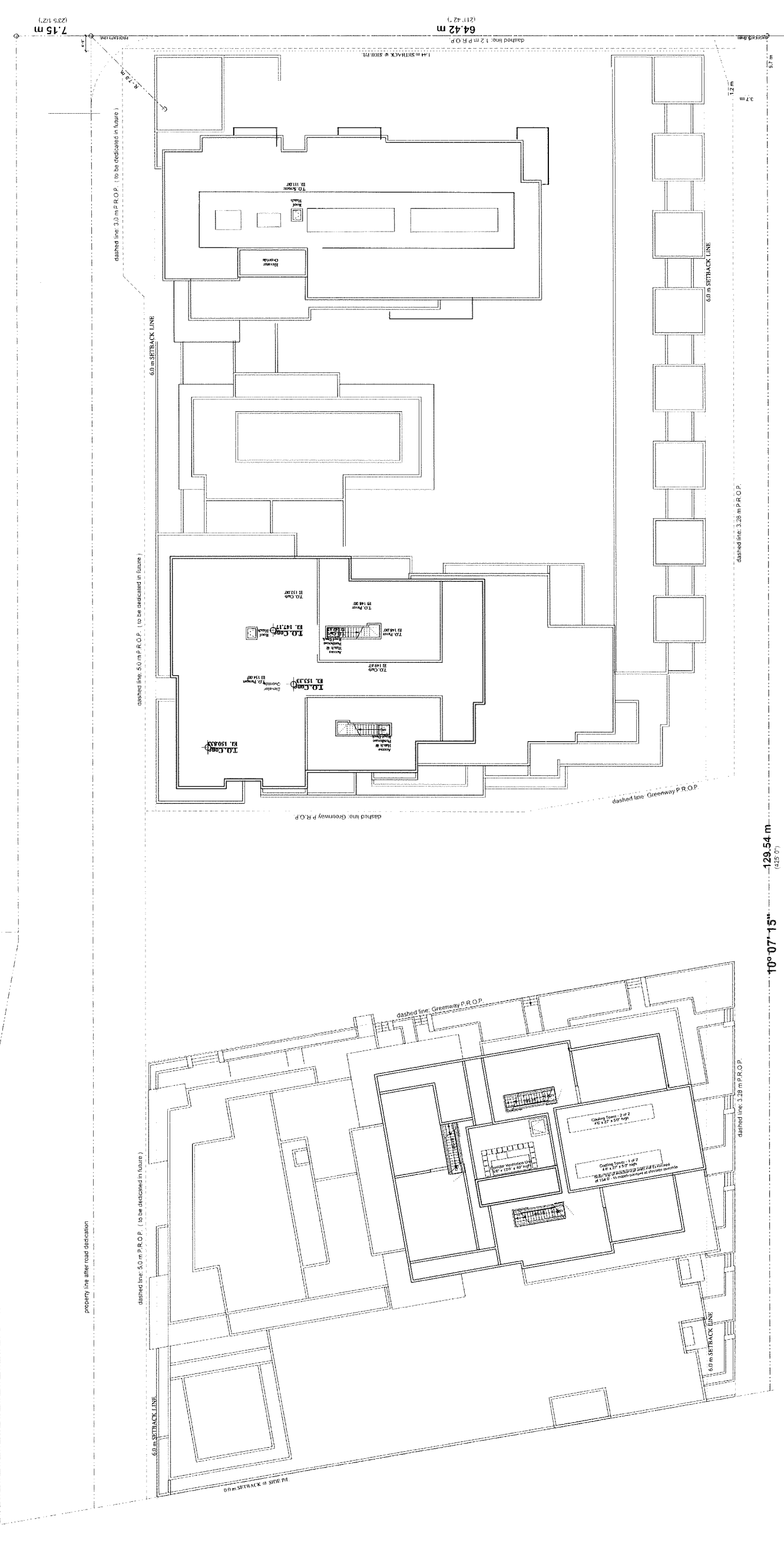


ISSUE/REVISION	DATE	DESCRIPTION
1	08/18/18	Issued for Development Permit
2	02/20/19	Re-submitted for Development Permit
3	09/29/19	Re-submitted for Start Comments
4	10/21/19	Re-submitted for Start Comments (2)
5	11/14/19	Re-submitted for Start Comments (3)
6	11/14/19	Issued for ADP
7	05/12/20	Re-submitted for Start Comments (4)
8	08/15/20	Re-submitted for Start Report
9	07/29/20	Issued for DP Permit

- REFERENCE NOTES:**
1. Zoning Bylaw 6550 (Adopted November 14, 2009), Rezoning Bylaw 6550 (Amended August 14, 2018), and Zoning Bylaw 6550 (Amended February 15, 2019)
  2. City of Richmond Development Permit Application Form (Rev. 2019)
  3. City of Richmond Development Permit Application Form (Rev. 2019)
  4. Zoning Bylaw 6550, Attachment B, Section 7.100
  5. Zoning Bylaw 6550, Attachment B, Section 7.100
  6. Zoning Bylaw 6550, Attachment B, Section 7.100
  7. Zoning Bylaw 6550, Attachment B, Section 7.100
  8. Zoning Bylaw 6550, Attachment B, Section 7.100
  9. Zoning Bylaw 6550, Attachment B, Section 7.100
  10. Zoning Bylaw 6550, Attachment B, Section 7.100
  11. Zoning Bylaw 6550, Attachment B, Section 7.100
  12. Zoning Bylaw 6550, Attachment B, Section 7.100
  13. Zoning Bylaw 6550, Attachment B, Section 7.100
  14. Zoning Bylaw 6550, Attachment B, Section 7.100
  15. Zoning Bylaw 6550, Attachment B, Section 7.100
  16. Zoning Bylaw 6550, Attachment B, Section 7.100
  17. Zoning Bylaw 6550, Attachment B, Section 7.100
  18. Zoning Bylaw 6550, Attachment B, Section 7.100
  19. Zoning Bylaw 6550, Attachment B, Section 7.100
  20. Zoning Bylaw 6550, Attachment B, Section 7.100

**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

JOB NO	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL



PLAN #24  
JUL 07 2020  
DP 18-837117

**MATERIAL LIST**

- 1a TERRA COTTA PANEL Moeding Quarzgrey (regular layout pattern)
- 1b TERRA COTTA PANEL Moeding Quarzgrey (accent layout pattern)
- 2 CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3 DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4 BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5 GLASS GUARDRAIL
- 6 VERTICAL LANDSCAPING (see landscape drawings)
- 7 PERFORATED METAL SCREEN (mechanical rooftop units)
- 8 SPANDREL PANEL various colours (location TBD)
  - 8a BM 2125-70 Weeding Veil
  - 8b BM HC-120 Whigwood Gray
  - 8c BM HC-159 Pines Blue
  - 8d BM HC-12 Concord Ivory
  - 8e BM 2013-50 Sambhast
  - 8f BM CC-840 Blue Heron
- 9 BRICK MASONRY - Imperial Gray

**MECHANICAL NOTES**

- A FLUID COOLERS AND AIR HANDLING UNITS  
concealed building parapet  
mechanical measures to be incorporated at BP stage  
when equipment details and specifications complete
- B FLUID COOLERS AND AIR HANDLING UNITS  
concealed behind metal screen w/ acoustic properties  
acoustic noise mitigation measures to be incorporated at BP stage  
when equipment details and specifications complete
- C EMERGENCY GENERATOR ROOM  
generator equipped with engine muffler to reduce sound  
at point of discharge
- D PARKADE EXHAUST VENTILATION  
parade fans w/ Variable Frequency Drives  
ventilation system operates on demand  
fan speeds match gas concentrations with parade
- E PASSIVE VENTILATION  
passive ventilation at service rooms

ISSUE/REVISION	DATE	ISSUED FOR DEVELOPMENT PERMIT
1	06/15/18	Reviewed for Development Permit
2	02/20/19	Revised for Development Permit
3	06/09/19	Revised per Staff Comments
4	10/21/19	Revised per Staff Comments (2)
5	11/04/19	Revised per Staff Comments (3)
6	11/06/19	Issued for ADP



**PROJECT**  
Resid'1 Development  
Park Residences PH 2  
Tower C+D+E  
6333 - 6399 Main Bing Road  
Richmond, BC

**Elevation West  
Park Elevation**

JOB NO.	02-03
DRAWN	DM/ VK
DATE	August 23, 2018
SCALE	1/16"
CHECKED	WTL

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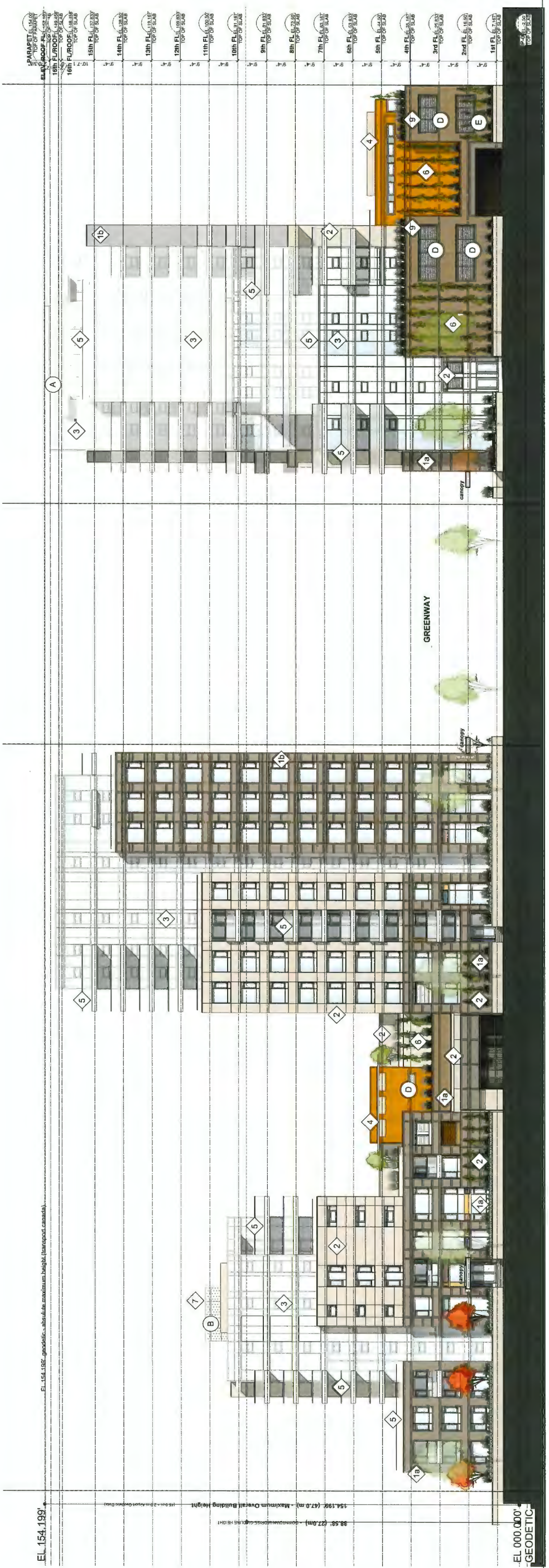
JUL 07 2020 PLAN 25 DP 18-837117 A-3.01

- MATERIAL LIST**
- 1a TERRA COTTA PANEL, Moeding Quartzgrey (regular layout pattern)
  - 1b TERRA COTTA PANEL, Moeding Quartzgrey (accent layout pattern)
  - 2 CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
  - 3 DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
  - 4 BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
  - 5 GLASS GUARDRAIL
  - 6 VERTICAL LANDSCAPING (see landscape drawings)
  - 7 PERFORATED METAL SCREEN (mechanical rooftop units)
  - 8 SPANDREL PANEL various colours (location TBD)
    - 8a BM 2125-70 Wedding Veil
    - 8b BM CC-840 Blue Heron
    - 8c BM HC-155 Philadelphia Blue
    - 8d BM HC-12 Concord Ivory
    - 8e BM 2013-50 Sandblast
    - 8f BM CC-840 Blue Heron
  - 9 BRICK MASONRY - Imperial Gray

- MECHANICAL NOTES**
- A FLUID COOLERS AND AIR HANDLING UNITS  
acoustic noise mitigation measures to be incorporated at BP stage when equipment details and specifications complete
  - B FLUID COOLERS AND AIR HANDLING UNITS  
concealed behind metal screen w/ acoustic properties acoustic noise mitigation measures to be incorporated at BP stage when equipment details and specifications complete
  - C EMERGENCY GENERATOR ROOM  
generator equipped with engine muffler to reduce sound at point of discharge
  - D PARKADE EXHAUST VENTILATION  
parkade fans w/ Variable Frequency Drives  
ventilation system operates on demand  
fan speeds match gas concentrations w/in parkade
  - E PASSIVE VENTILATION  
passive ventilation at service rooms

**ISSUE/REVISION**

NO.	DATE	REVISION
1	05/10/19	Issued for Development Permit
2	03/07/19	Re-issued for Development Permit
3	09/02/19	Re-issued per Staff Comments
4	10/21/19	Re-issued per Staff Comments (2)
5	11/04/19	Re-issued per Staff Comments (2)
6	11/06/19	Issued for ADP
7	01/17/20	Re-issued per Staff Comments (4)



**PROJECT**  
Resid'1 Development  
Park Residences PH 2  
Tower C+D+E  
6333 - 6399 Mah Bing Road  
Richmond, BC

**Elevation East  
Mah Bing Road**

JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16"
CHECKED	WTL

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**MATERIAL LIST**

- 1a TERRA COTTA PANEL, Wooding Quarzgrey (regular layout pattern)
- 1b TERRA COTTA PANEL, Wooding Quarzgrey (accent layout pattern)
- 2 CONCRETE c/w ELASTOMERIC PAINT FINISH (BM CC-14 Natural Cream)
- 3 DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4 BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5 GLASS GUARDRAIL
- 6 VERTICAL LANDSCAPING (see landscape drawings)
- 7 PERFORATED METAL SCREEN (mechanical rooftop units)
- 8 SPANDREL PANEL various colours (location TBD)
  - 8a BM CC-05 Wooding Jet Grey
  - 8b BM CC-06 Wooding Jet Grey
  - 8c BM HC-159 Philadelphia Blue
  - 8d BM HC-12 Concord Ivory
  - 8e BM 2013-S0 Sandblast
  - 8f BM CC-940 Blue Harlow
- 9 BRICK MASONRY - Imperial Gray

**MECHANICAL NOTES**

- A FLUID COOLERS AND AIR HANDLING UNITS  
acoustic noise mitigation measures to be incorporated at BP stage when equipment details and specifications complete
- B FLUID COOLERS AND AIR HANDLING UNITS  
concealed behind metal screen w/ acoustic properties acoustic noise mitigation measures to be incorporated at BP stage when equipment details and specifications complete
- C EMERGENCY GENERATOR ROOM  
generator equipped with engine muffler to reduce sound at point of discharge
- D PARKADE EXHAUST VENTILATION  
parkade fans w/ Variable Frequency Drives (VFD) to operate at low speed to reduce noise  
fan speeds match gas concentrations with parkade
- E PASSIVE VENTILATION  
passive ventilation at service rooms

**ISSUANCE/REVISION**

1	06/18/18	Issued for Development Permit
2	02/20/19	Revised for Development Permit
3	06/04/19	Revised per Staff Comments
4	10/21/19	Revised per Staff Comments (2)
5	11/04/19	Revised per Staff Comments (3)
6	11/06/19	Issued for ADP
7	01/17/20	Revised per Staff Comments (4)



**PROJECT**  
Resid'l Development  
Park Residences PH 2  
Tower C+D+E  
6333 - 6399 Mah Bing Road  
Richmond, BC

**Greenway Elevations**  
SOUTH TWR C  
NORTH TWR D

JOB NO.	02-03
DRAWN	DM/ VK
DATE	August 23, 2018
SCALE	1/16"

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**MATERIAL LIST**

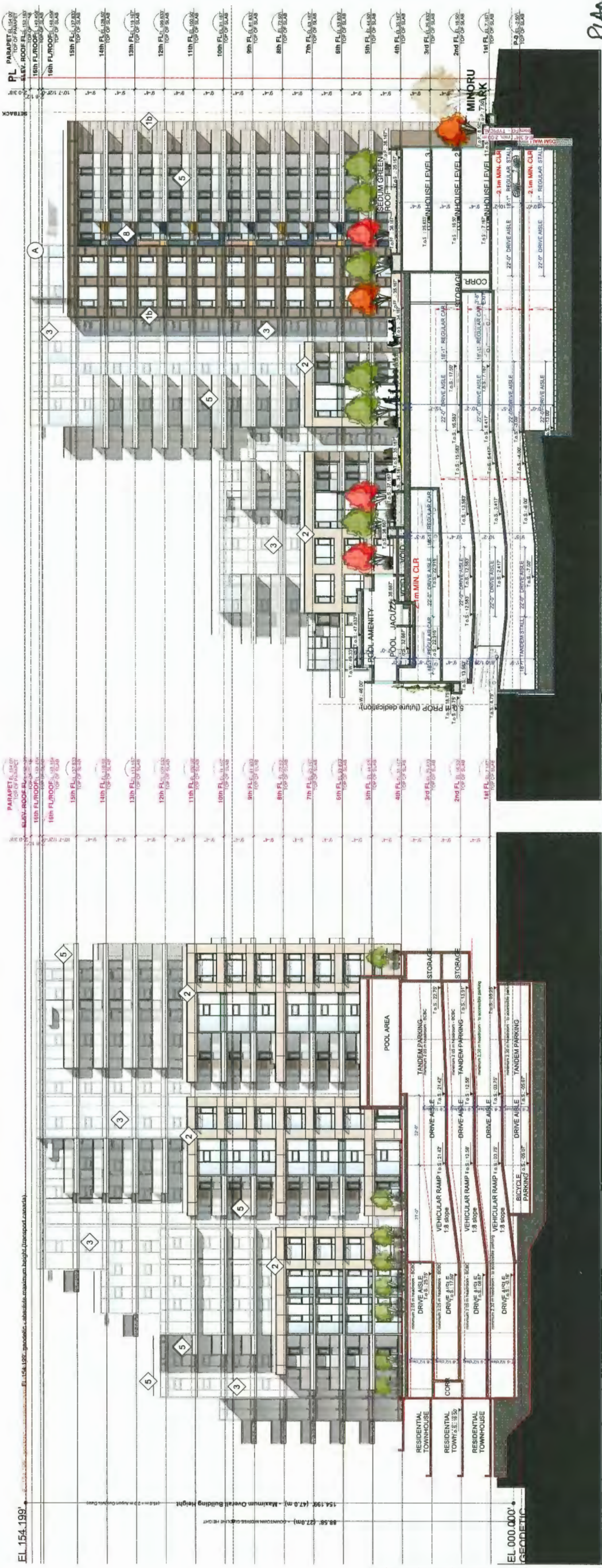
- 1b TERRA COTTA PANEL Moeding Quarzgrey (regular layout pattern)
- 1b TERRA COTTA PANEL Moeding Quarzgrey (accent layout pattern)
- 2 CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3 DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4 BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5 GLASS GUARDRAIL
- 6 VERTICAL LANDSCAPING (see landscape drawings)
- 7 PERFORATED METAL SCREEN (mechanical rooftop units)
- 8 SPANDREL PANEL various colours (location TBD)
  - 8a BM 2125-70 Weeding Veil
  - 8b BM HC-146 Wedgewood Gray
  - 8c BM CC-840 Blue Heron
  - 8d BM HC-12 Concord Ivory
  - 8e BM CC-840 Blue Heron
  - 8f BM CC-840 Blue Heron
- 9 BRICK MASONRY - Imperial Gray

**MECHANICAL NOTES**

- A FLUID COOLERS AND AIR HANDLING UNITS concealed behind parapet acoustic noise mitigation measures to be incorporated at BP stage when equipment details and specifications complete
- B FLUID COOLERS AND AIR HANDLING UNITS concealed behind metal screen w/ acoustic properties acoustic noise mitigation measures to be incorporated at BP stage when equipment details and specifications complete
- C EMERGENCY GENERATOR ROOM generator equipped with engine muffler to reduce sound at point of discharge
- D PARKADE EXHAUST VENTILATION parkade fans w/ Variable Frequency Drives ventilation system operates "on demand" fan speeds match gas concentrations with parkade
- E PASSIVE VENTILATION passive ventilation at service rooms

**REVISION**

1	06/18/19	Issued for Development Permit
2	02/20/19	Revised for Development Permit
3	09/09/19	Revised per Staff Comments
4	10/21/19	Revised per Staff Comments (2)
5	11/06/19	Revised per Staff Comments (3)
6	11/06/19	Issued for ADP



**PROJECT**  
Resid'l Development  
Park Residences PH 2  
Tower C+D+E  
6333 - 6399 Mah Bing Road  
Richmond, BC

**Courtyard Elevations**  
NORTH TWR C  
SOUTH TWR D

JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16"
CHECKED	WTL

PLAN #28

**MATERIAL LIST**

- 1a TERRA COTTA PANEL Moeding Quarzgrey (regular layout pattern)
- 1b TERRA COTTA PANEL Moeding Quarzgrey (accent layout pattern)
- 2 CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3 DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4 BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5 GLASS GUARDRAIL
- 6 VERTICAL LANDSCAPING (see landscape drawings)
- 7 PERFORATED METAL SCREEN (mechanical rooftop units)
- 8 SPANDREL PANEL various colours (location TBD)
  - 8a BM 2125-70 Weeding Veil
  - 8b BM 2125-70 Weeding Veil
  - 8c BM HC-159 Phosphorus Blue
  - 8d BM HC-12 Concord Ivory
  - 8e BM 2013-50 Sandblast
  - 8f BM CC-940 Blue Heron
- 9 BRICK MASONRY - Imperial Gray

**MECHANICAL NOTES**

- A FLUID COOLERS AND AIR HANDLING UNITS  
participate in sound mitigation measures to be incorporated at BP stage when equipment details and specifications complete
- B FLUID COOLERS AND AIR HANDLING UNITS  
concealed behind metal screen w/ acoustic properties acoustic noise mitigation measures to be incorporated at BP stage when equipment details and specifications complete
- C EMERGENCY GENERATOR ROOM  
generator equipped with engine muffler to reduce sound at point of discharge
- D PARKADE EXHAUST VENTILATION  
ventilation fans w/ Variable Frequency Drives  
fan speeds match gas concentrations w/in parkade  
passive ventilation at service rooms
- E PASSIVE VENTILATION  
passive ventilation at service rooms

ISSUANCE/REVISION	DATE	ISSUED FOR DEVELOPMENT PERMIT
1	06/07/19	Issued for Development Permit
2	02/07/19	Revised for Development Permit
3	09/09/19	Revised per Staff Comments
4	10/21/19	Revised per Staff Comments (2)
5	11/04/19	Revised per Staff Comments (3)
6	11/06/19	Issued for ADP
7	01/17/20	Revised per Staff Comments (4)



**PROJECT**  
Resid'1 Development  
Park Residences PH 2  
Tower C+D+E  
6333 - 6399 Math Bing Road  
Richmond, BC

**Courtyard Elev. TWR E**  
**NORTH TWR C**  
**SOUTH TWR D**

JOB NO.	02-03
DRAWN	DM/ VK
DATE	August 23, 2018
SCALE	1/16"
CHECKED	WTL

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DRAWING NO.:

LANE SOUTH ELEVATION TOWER E

COURTYARD NORTH ELEVATION TOWER E

JUL 07 2020 PLAN # 29 DP 18-837117

A-3.05





PAINTED CONCRETE BUILDING  
BM OC 14 NATURAL CREAM



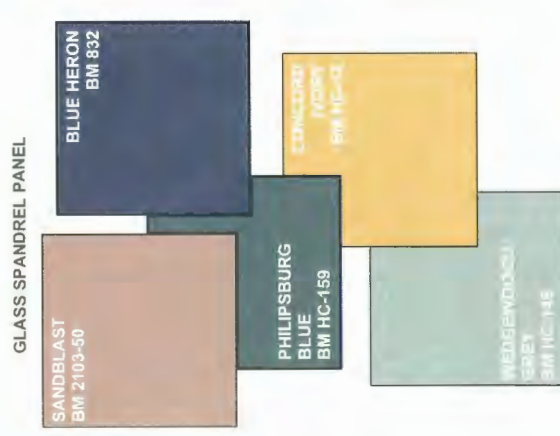
GLASS SPANDREL PANEL  
GLASS TOWER PORTION  
BM 2125-70 WEDDING VEIL



GLAZED PANEL  
BACK PAINTED GLASS  
BM 2155-20 Gold Mine



TERRA COTTA  
MOEDING ALPHATON  
COLOUR QUARTZ GREY



GLASS SPANDREL PANEL

SANDBLAST  
BM 2103-50

BLUE HERON  
BM 832

PHILIPSBURG  
BLUE  
BM HC-159

CONCORD  
IVORY  
BM HC-12

WEDGEWOOD  
GREY  
BM HC-145

**MATERIAL LIST**

- 1a TERRA COTTA PANEL, Moeding Quarzgrey (regular layout pattern)
- 1b TERRA COTTA PANEL, Moeding Quarzgrey (accent layout pattern)
- 2 CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3 DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4 BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5 GLASS GUARDRAIL
- 6 VERTICAL LANDSCAPING (see landscape drawings)
- 7 PERFORATED METAL SCREEN (mechanical rooftop units)
- 8 SPANDREL PANEL, various colours (location TBD)
  - 8a BM HC-25-16 Wedding Veil
  - 8b BM HC-159 Philipsburg Blue
  - 8c BM HC-12 Concord Ivory
  - 8d BM 2013-50 Sandblast
  - 8f BM CC-840 Blue Heron

PROJECT  
**Resid'I Development**  
**Park Residences PH 2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Road  
Richmond, BC

**MATERIAL BOARD**  
**EQUITONE TE60**  
**PHASE 2**

JOB NO.	02-03
DRAWN	DIM, VK
DATE	AUGUST 31, 2018
SCALE	
CHECKED	WTL

**DP 18-837117**  
**PLAN #30**  
JUL 07 2020  
A-x.x8

BM 2136-70 WHISPERING SPRING

BM HC-146 WEDGEWOOD GREY



TERRA COTTA  
MOEDING ALPHATON  
QUARTZ GREY

BM 2125-70 WEDDING VEIL

BLUE HERON  
BM 832

WEDGEWOOD  
GREY  
BM HC-146

PHILIPSBURG  
BLUE  
BM HC-169

SANDBLAST  
BM 2103-50

PAINTED CONCRETE  
BM OC 14 NATURAL CREAM



PROJECT  
**Resid'1 Development**  
**Park Residences PH 2**  
**Tower C+D+E**  
6333 - 6399 Math Ring Road  
Richmond, BC

**MATERIAL DETAILS**  
**EQUITONE TE60**  
**PHASE 2**

JOB NO. 02-03  
DRAWN DIM, VK  
DATE AUGUST 31, 2018  
SCALE NTS  
CHECKED WTL

JUL 07 2020

PLAN #31

DP 18-837117  
A-X.99

RESERVATION



PROJECT  
**Resid'l Development  
Park Residences PH 2  
Tower C-D+E**  
6333 - 6399 Mah Bing Road  
Richmond, BC

**MATERIAL DETAILS  
QUARTZGRAU  
PHASE 2**

JOB NO.	02-03
DRAWN	DM, VK
DATE	AUGUST 31, 2018
SCALE	NTS
CHECKED	WTL

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JUL 07 2020

PLAN # 32

DP 18-837 117

REVISION	DATE	DESCRIPTION
1	09/18/19	Issued for Development Permit
2	03/20/19	Revised for Development Permit
3	09/29/19	Revised per DM Comments
4	10/21/19	Revised per DM Comments (2)
5	11/4/19	Revised per DM Comments (2)
6	11/06/19	Issued for ADP
7	07/09/20	Issued for DP Permit

- REFERENCE NOTES:**
- Zoning Bylaw 8500 (effective November 4, 2008)
  - Residential Bylaw 2607, Amendment Bylaw No. 8153
  - Overlying District Energy Utility Bylaw 814
  - Address Bylaw 2017
  - Amendment Bylaw No. 8156
  - Amendment Bylaw No. 8157
  - Amendment Bylaw No. 8158
  - Amendment Bylaw No. 8159
  - Amendment Bylaw No. 8160
  - Amendment Bylaw No. 8161
  - Amendment Bylaw No. 8162
  - Amendment Bylaw No. 8163
  - Amendment Bylaw No. 8164
  - Amendment Bylaw No. 8165
  - Amendment Bylaw No. 8166
  - Amendment Bylaw No. 8167
  - Amendment Bylaw No. 8168
  - Amendment Bylaw No. 8169
  - Amendment Bylaw No. 8170
  - Amendment Bylaw No. 8171
  - Amendment Bylaw No. 8172
  - Amendment Bylaw No. 8173
  - Amendment Bylaw No. 8174
  - Amendment Bylaw No. 8175
  - Amendment Bylaw No. 8176
  - Amendment Bylaw No. 8177
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  - Amendment Bylaw No. 8181
  - Amendment Bylaw No. 8182
  - Amendment Bylaw No. 8183
  - Amendment Bylaw No. 8184
  - Amendment Bylaw No. 8185
  - Amendment Bylaw No. 8186
  - Amendment Bylaw No. 8187
  - Amendment Bylaw No. 8188
  - Amendment Bylaw No. 8189
  - Amendment Bylaw No. 8190
  - Amendment Bylaw No. 8191
  - Amendment Bylaw No. 8192
  - Amendment Bylaw No. 8193
  - Amendment Bylaw No. 8194
  - Amendment Bylaw No. 8195
  - Amendment Bylaw No. 8196
  - Amendment Bylaw No. 8197
  - Amendment Bylaw No. 8198
  - Amendment Bylaw No. 8199
  - Amendment Bylaw No. 8200

**PROJECT**  
**Resid'l Development**  
**Park Residences PH 2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Road  
Richmond, BC

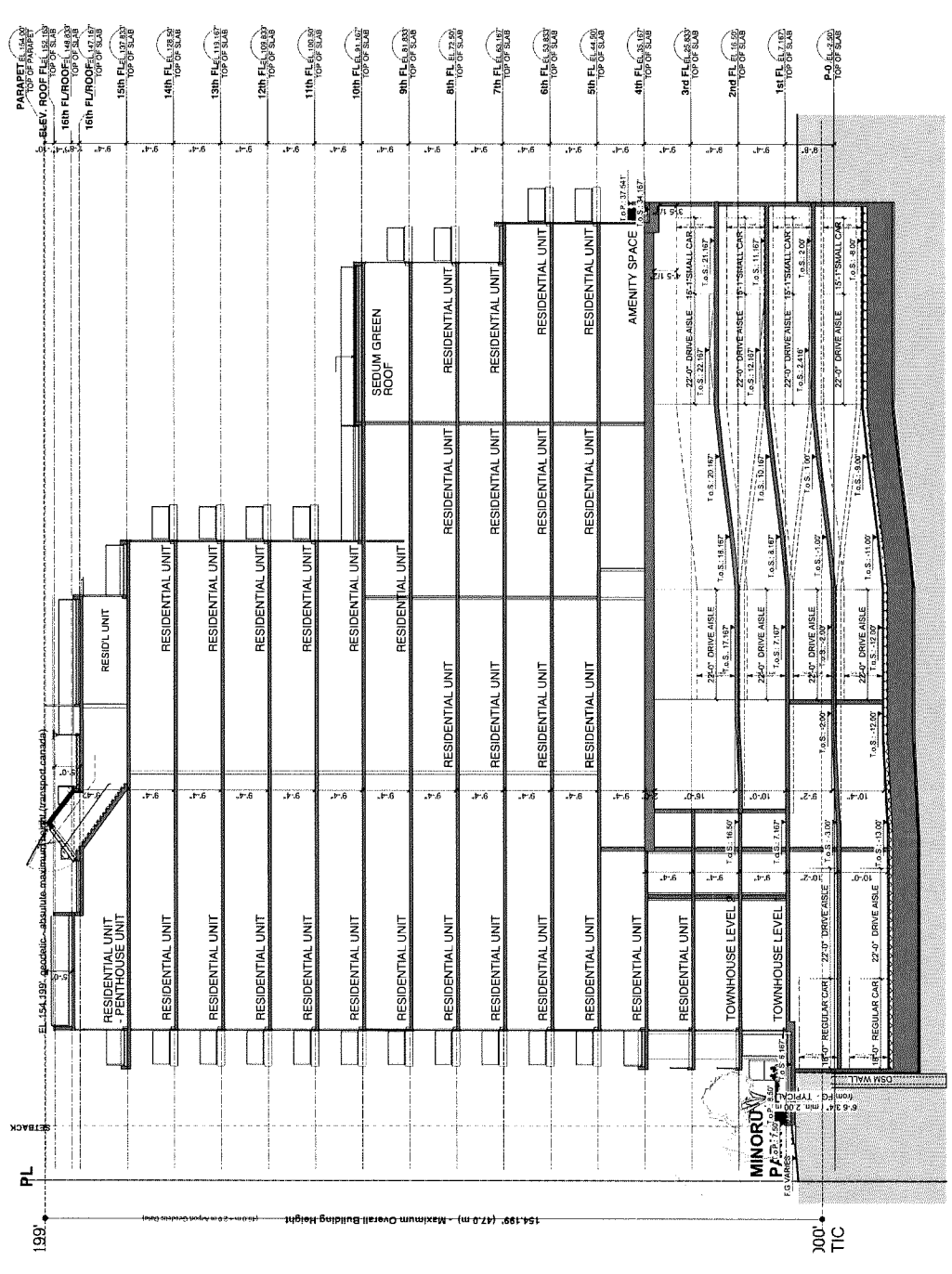
**Sections**  
**TWR C+D+E**

JOB NO.	02-03
DRAWN	DM, VK
DATE	AUGUST 31, 2018
SCALE	WTL
CHECKED	

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DRAWING NO. **A-4.01**

PLAN #33 JUL 07 2020  
DP 18-837117



CROSS SECTION 2-2 TOWER C  
ACCESS HATCH PH ROOF PATIOS

DATE/REVISION	ISSUED FOR DEVELOPMENT PERMIT
1 09/16/16	Issued for Development Permit
2 03/20/18	Revised for Development Permit
3 08/28/18	Revised per Staff Comments
4 10/21/18	Revised per Staff Comments (2)
5 11/14/18	Revised per Staff Comments (3)
6 11/28/18	Issued for ADP
7 12/21/18	Revisions per ADP Comments
8 01/09/20	Issued for DP Permit

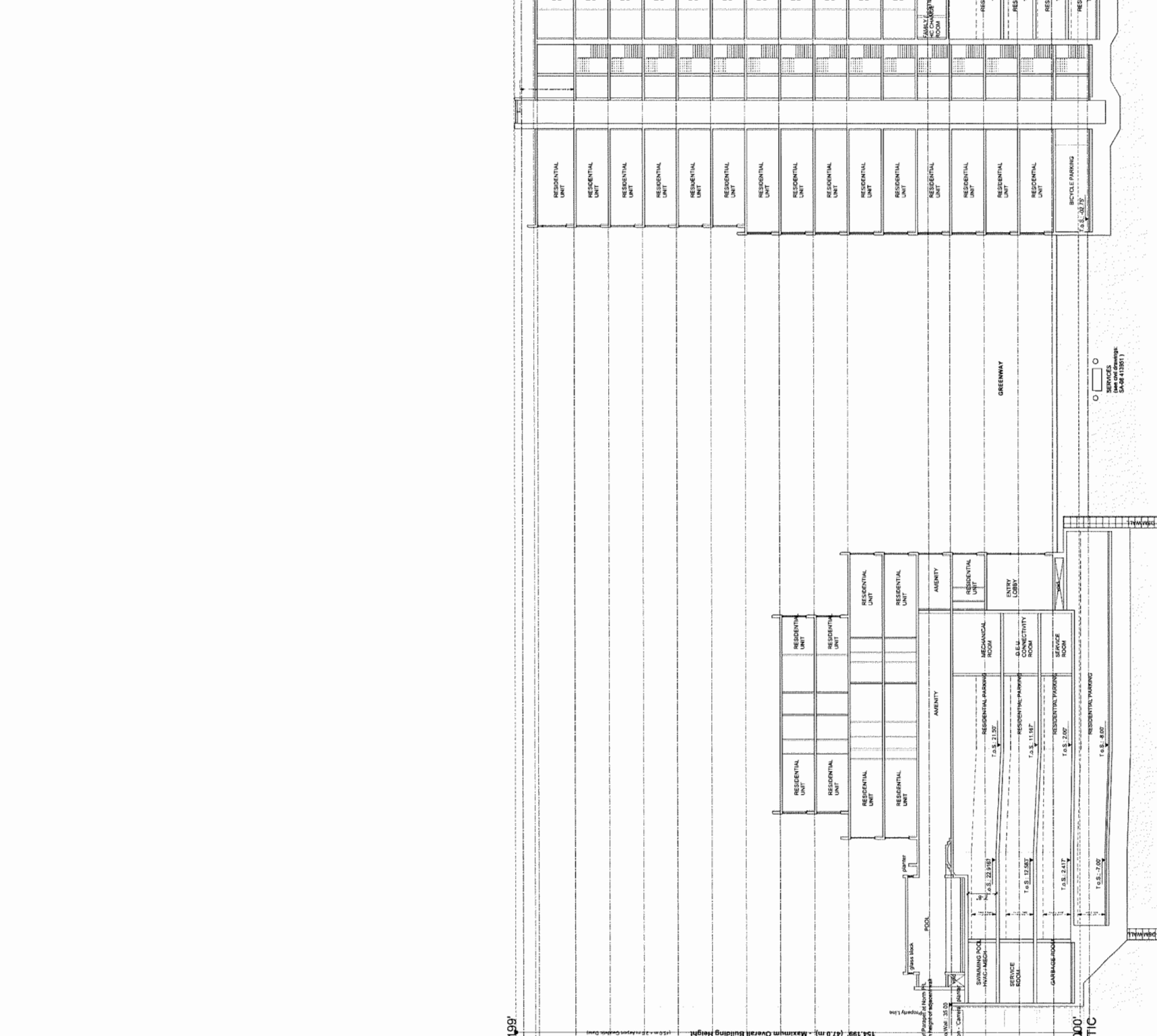
- REFERENCE NOTES:**
1. 1650 (revised November 18, 2008)
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  100. 1650 (revised November 18, 2008)

**PROJECT**  
**Resid'l Development**  
**Park Residences PH 2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Road  
Richmond, BC

**Sections**  
**TWR C+D+E**

JOB NO 02-03  
DRAWN DM, VK  
DATE AUGUST 31, 2018  
SCALE WTL

CHECKED  
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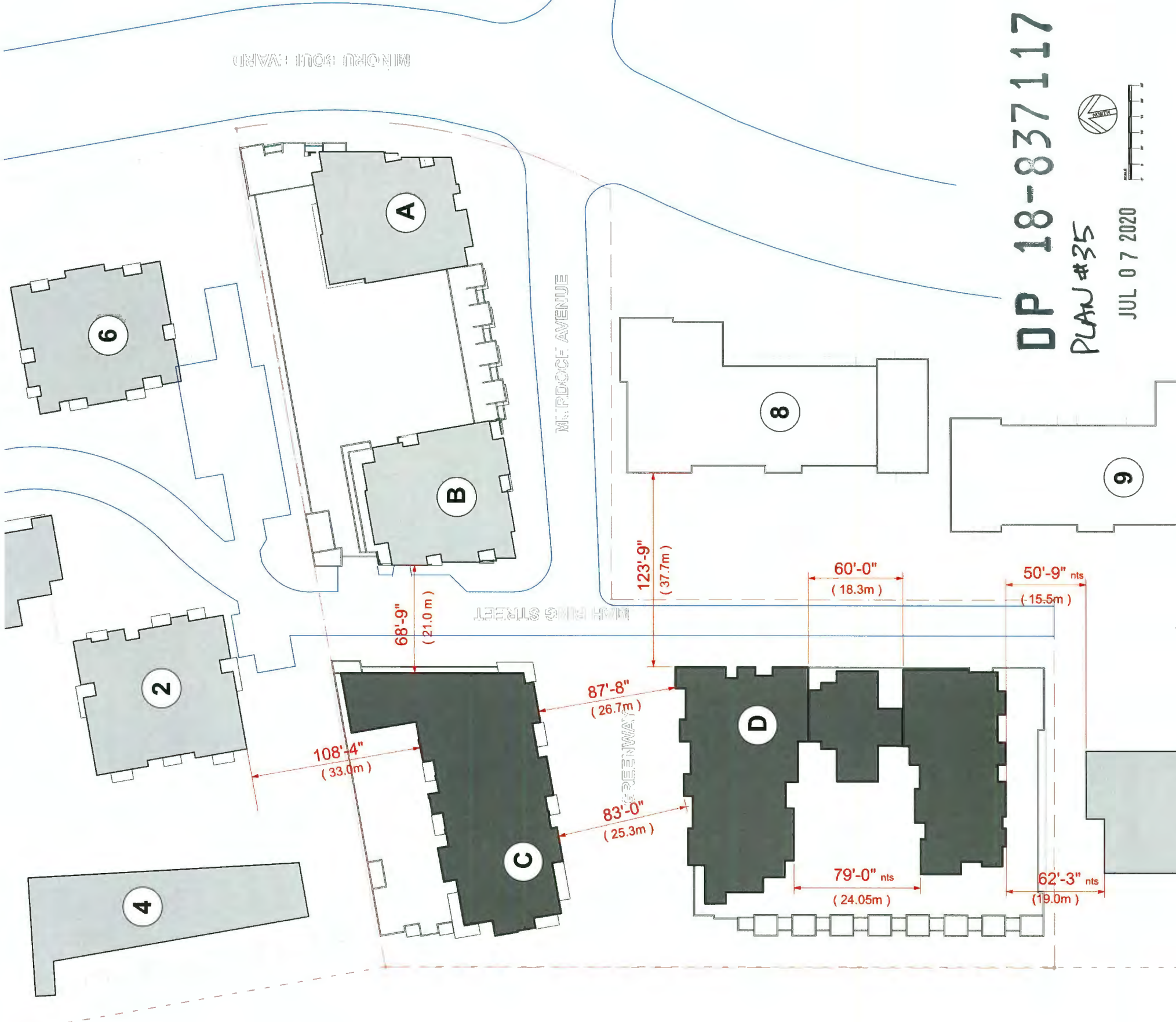


TOWER F  
**DP 18-837117**  
PLAN #34  
JUL 07 2020  
A-4.02

TOWER D  
TOWER C  
GREENWAY  
CROSS SITE SECTION TWR C GREENWAY TWR D TWR E

REVISION

1	02/14/18	Issued for City Review
2	09/09/19	Re-issued per Staff Comments
3	10/21/19	Re-issued per Staff Comments (2)
4	07/08/20	Re-issued per Staff Comments
5	07/08/20	Issued for DP Panel



#	NAME	FL PLATE
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#	NAME	FL PLATE
1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	16 395 sf
4	Carrera Amenity	4 360 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

\* ADJACENT PROPERTIES

\* adjacent floorplate sizes approximate based on available information

A	B	C	D	E
7399 Murdoch	7333 Murdoch	6333 Mah Bing	6355 Mah Bing	6399 Mah Bing
6 660 sf	6 865 sf	13 219 sf	12 623 sf	7 577 sf

SUBJECT SITE

Floor Level 04  
T.O. Slab - EI 35.17' (a.55m above ground plain)

PROJECT  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Context Plan**  
**Floor 04**

JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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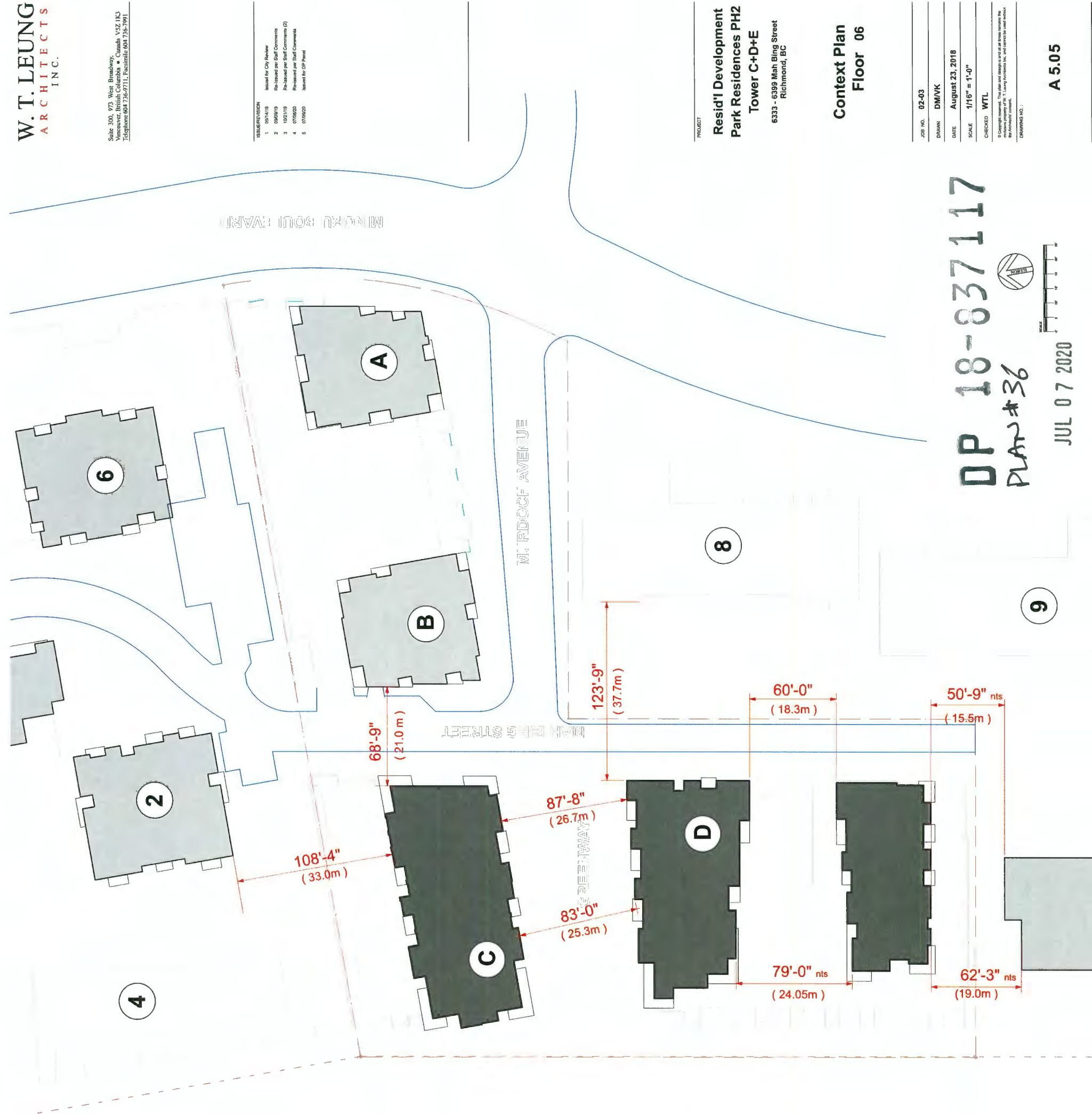
**DP 18-837117**  
**PLAN #35**

JUL 07 2020

A 5.04

REVISION

1	05/11/19	Issued for City Review
2	09/09/19	Re-issued per Staff Comments
3	10/21/19	Re-issued per Staff Comments (2)
4	07/06/20	Re-issued per Staff Comments
5	07/06/20	Issued for DP Permit



#	NAME	FL PLATE
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\* ADJACENT PROPERTIES

1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	16 395 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

\* adjacent floorplate sizes approximate based on available information

SUBJECT SITE

A	7399 Murdoch	6 660 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	11 610 sf
D	6355 Mah Bing	9 737 sf
E	6399 Mah Bing	7 204 sf

PROJECT  
**Resid'I' Development  
Park Residences PH2  
Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Context Plan  
Floor 06**

JOB NO.	02-03
DRAWN	DM/NK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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DRAWING NO.:

**DP 18-837117**  
**PLAN #36**

JUL 07 2020

REVISION

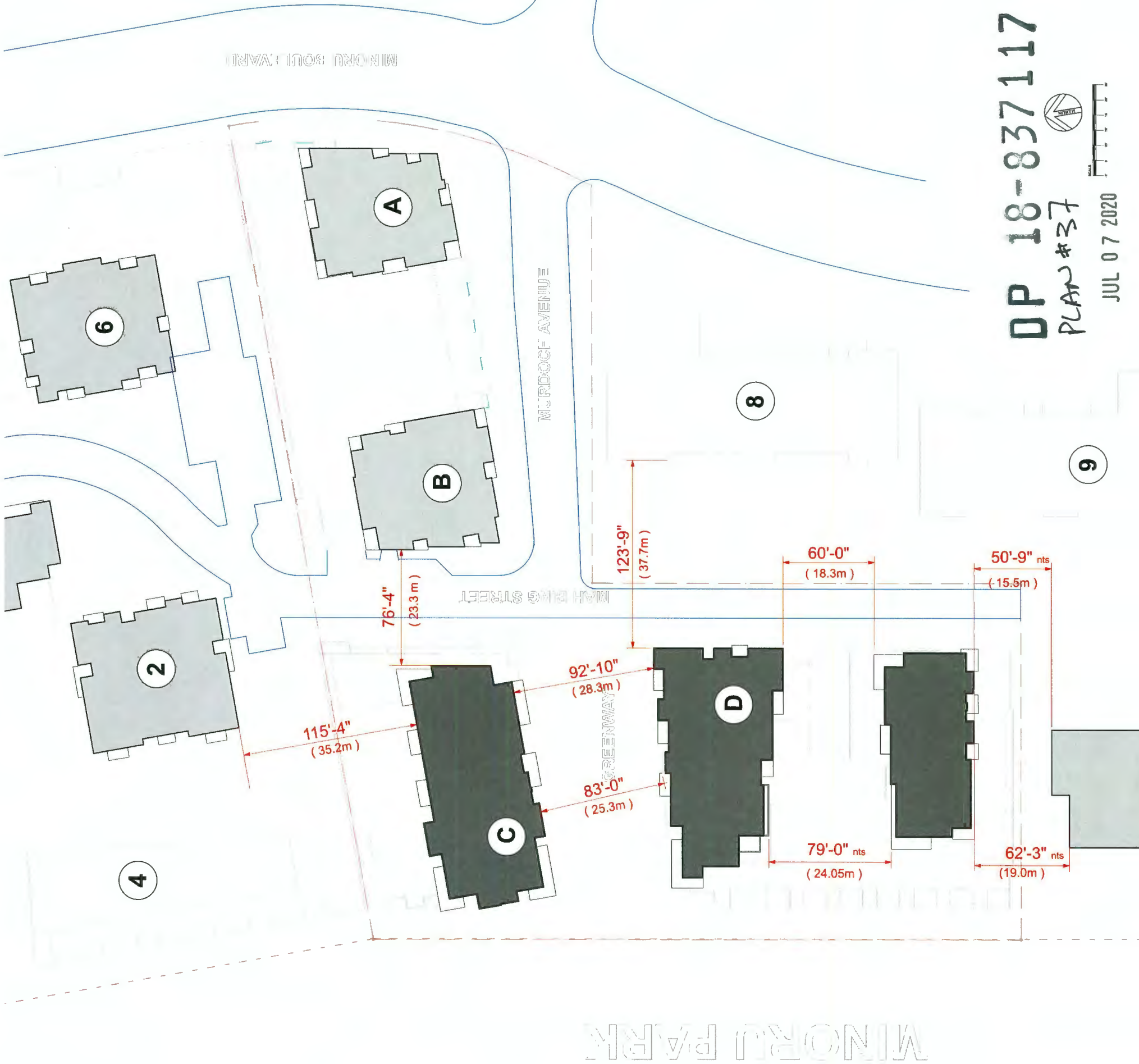
1	05/1/19	Issued for City Review
2	09/09/19	Re-issued per Staff Comments
3	10/21/19	Re-issued per Staff Comments (D)
4	07/08/20	Re-issued per Staff Comments
5	07/08/20	Issued for DP Panel

PROJECT  
**Resid'1' Development  
Park Residences PH2  
Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Context Plan  
Floor 08**

JOB NO.	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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**DP 18-837117**  
**PLAN #37**  
JUL 07 2020

#	NAME	FL PLATE
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**\* ADJACENT PROPERTIES \***

1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	16 395 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

\* adjacent floorplate sizes approximate based on available information

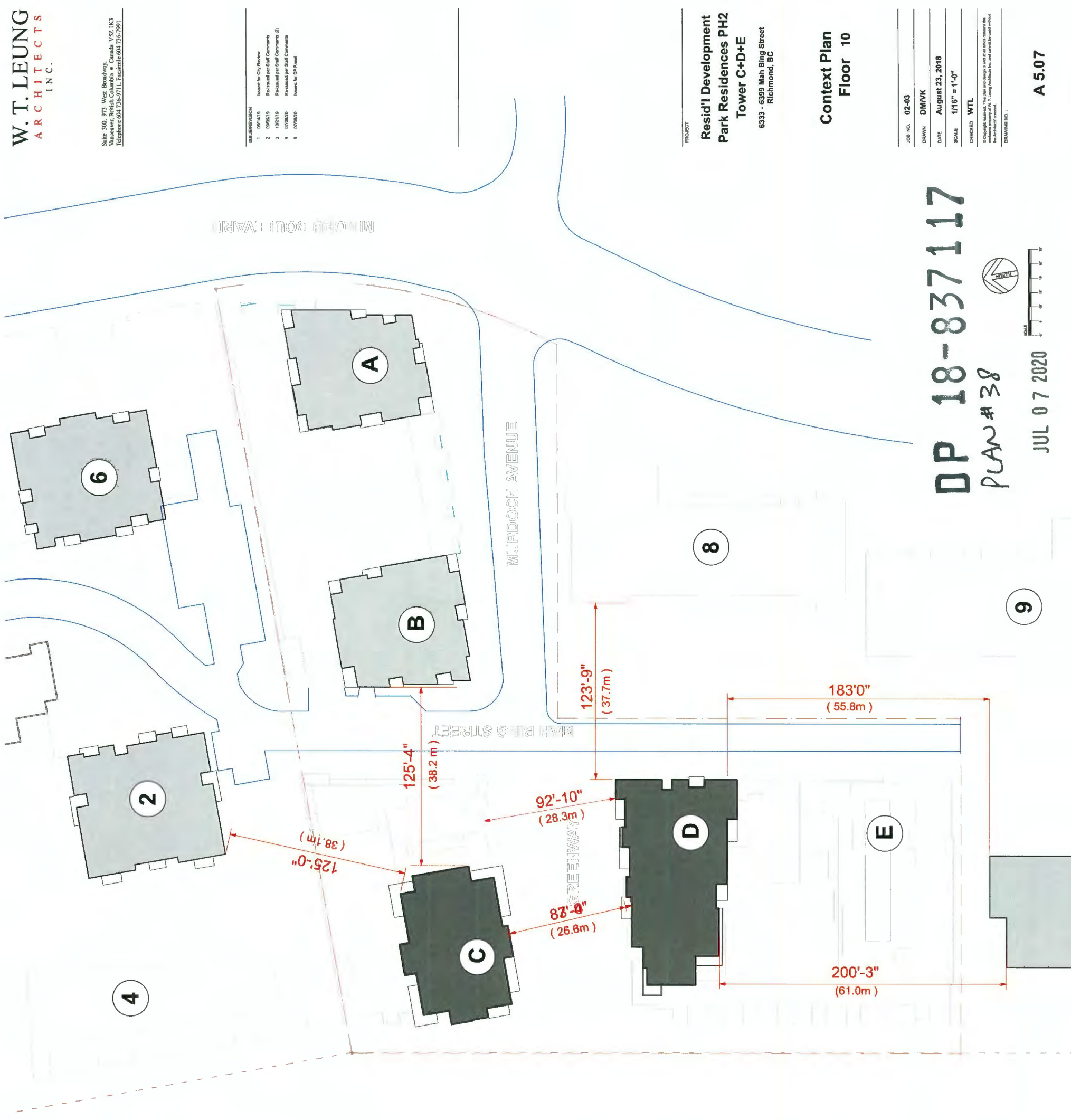
**SUBJECT SITE**

A	7399 Murdoch	6 660 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	10 157 sf
D	6355 Mah Bing	9 290 sf
E	6399 Mah Bing	6 280 sf



REVISION

1	06/14/19	Issued for City Review
2	06/09/19	Re-issued per Staff Comments
3	10/11/19	Re-issued per Staff Comments (2)
4	07/06/20	Re-issued per Staff Comments
5	07/06/20	Issued for CP Panel



#	NAME	FL PLATE
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#	NAME	FL PLATE
1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	0 000 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

\* ADJACENT PROPERTIES \*

\* adjacent floorplate sizes approximate based on available information

A	B	C	D	E
7399 Murdoch	6 660 sf	7333 Murdoch	6 865 sf	6333 Mah Bing
6333 Mah Bing	6 668 sf	6355 Mah Bing	9 125 sf	6399 Mah Bing
6399 Mah Bing	6 193 sf			

SUBJECT SITE

**DP 18-837117**  
PLAN # 38



JUL 07 2020



PROJECT  
**Resid'I Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

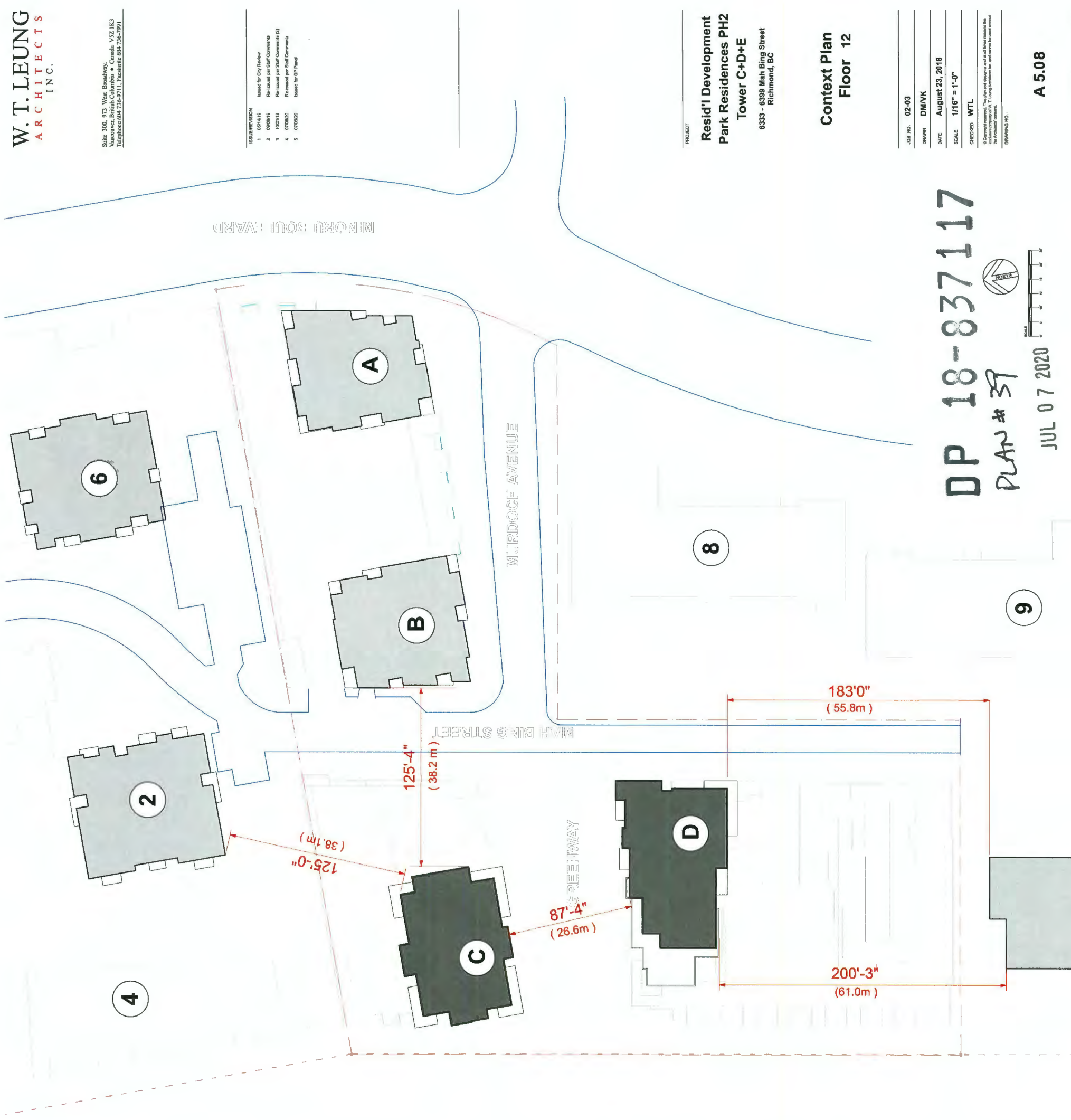
Context Plan  
Floor 10

JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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Suite 300, 873 West Broadway,  
Vancouver, British Columbia • Canada V6Z 1K3  
Telephone: 604-256-2711, Facsimile: 604-256-7891

- REVISION
- 05/14/18 Issued for City Review
  - 06/05/18 Re-Issued per Staff Comments
  - 10/21/18 Re-Issued per Staff Comments (2)
  - 07/05/20 Re-Issued per Staff Comments
  - 07/05/20 Issued for DP Panel



#	NAME	FL PLATE
---	------	----------

#	NAME	FL PLATE
1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	0 000 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

ADJACENT PROPERTIES \*

\* adjacent floorplate sizes approximate based on available information

A	B	C	D	E
7399 Murdoch	6 660 sf	6 660 sf	6 665 sf	6 668 sf
7333 Murdoch	6 865 sf	6 865 sf	6 668 sf	7 176 sf
6333 Mah Bing	6 668 sf	6 668 sf	7 176 sf	0 000 sf
6355 Mah Bing	7 176 sf	7 176 sf	0 000 sf	0 000 sf
6399 Mah Bing	0 000 sf	0 000 sf	0 000 sf	0 000 sf

SUBJECT SITE

Floor Level 12

T.O. Slab - EI 109.83' (0.35m above ground plain)

DP 18-837117

PLAN # 39

JUL 07 2020



A 5.08

PROJECT  
**Resid'I' Development  
Park Residences PH2  
Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

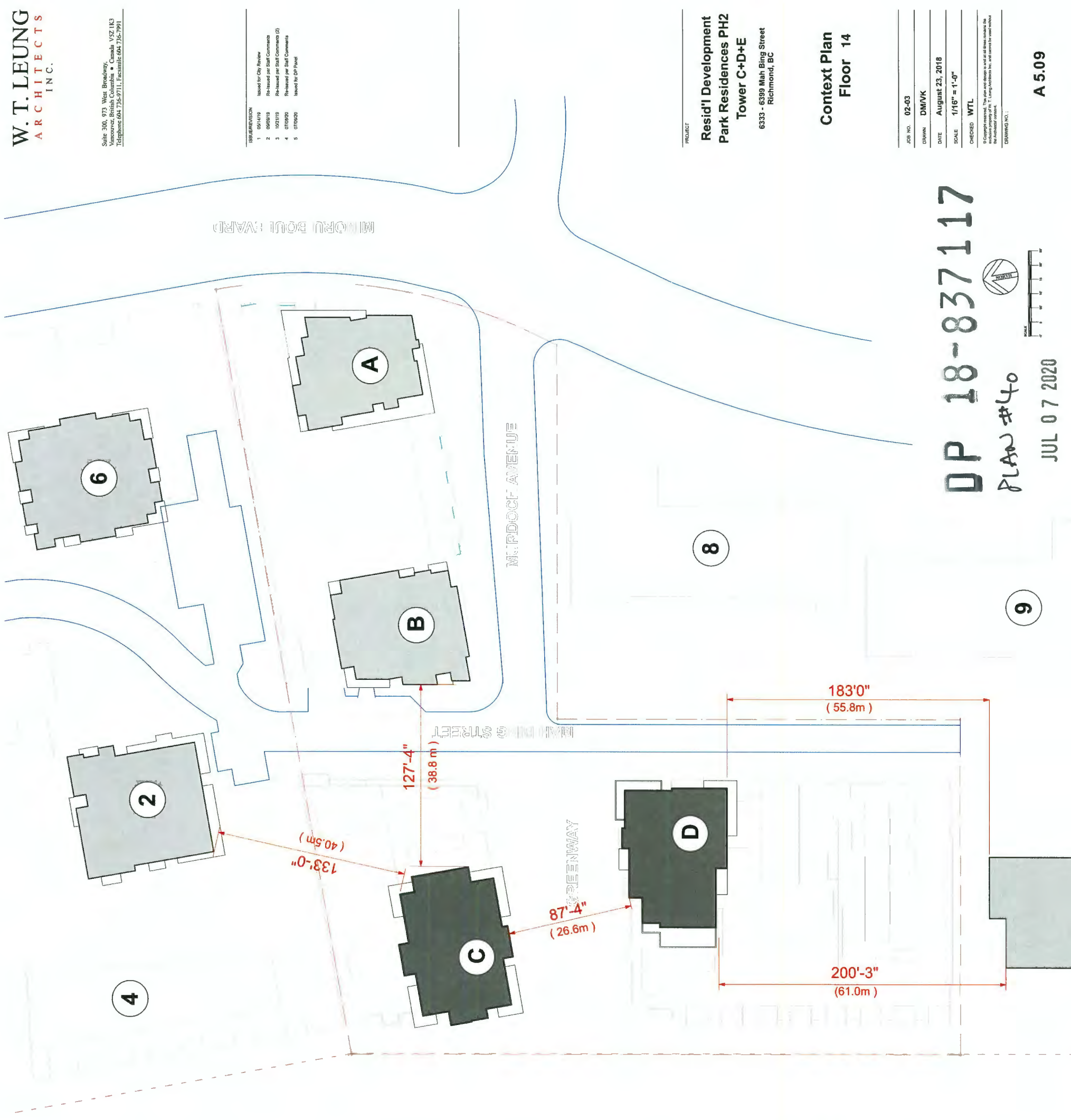
Context Plan  
Floor 12

JOB NO.	02-03
DRAWN	DM/WK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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REVISION

1	09/14/19	Issued for City Review
2	09/09/19	Re-issued for Staff Comments
3	10/21/19	Re-issued for Staff Comments (2)
4	07/09/20	Re-issued for Staff Comments
5	07/09/20	Issued for DP Permit



#	NAME	FL PLATE
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#	NAME	FL PLATE
1	Carrera Tower	8 275 sf
2	Carrera Tower	8 275 sf
3	Carrera Mid-Rise	0 000 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 600 sf
6	Kiwanis Tower	7 600 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

ADJACENT PROPERTIES \*

\* adjacent floorplate sizes approximate based on available information

A	B	C	D	E
7399 Murdoch	7333 Murdoch	6333 Mah Bing	6355 Mah Bing	6399 Mah Bing
5 540 sf	6 865 sf	6 668 sf	6 294 sf	0 000 sf

SUBJECT SITE

PROJECT  
**Resid'1 Development**  
**Park Residences PH2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**Context Plan**  
**Floor 14**

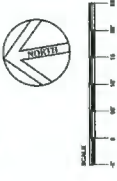
JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

**DP 18-837117**

PLAN #40

JUL 07 2020

A 5.09



MINORU PARK



Symbol	Qty	Botanical Name	Common Name	Size/Comments
	7	Proposed Street Trees	Remains to be determined by CCOP (Parks Department)	7m cad. 8x8 Hx Std.
	14	Acacia Citricornis	New Maple	5m Hx Std.
	12	Ambrosia artemisiifolia	Apple sarsaparilla	5m Hx Std.
	19	Camellia japonica	Starlight Chinese Dogwood	5m Hx Std.
	25	Cornus 'Kousa'	Kousa Dogwood	4m Hx Std.
	18	Hedera 'Helix'	Swamp Ivy Magnolia	8 cm cad. 8x8 Hx Std.
	7	Pennisetum purpureum	Toddlers' cherry	7 cm cad. 8x8 Hx Std.
	8	Liquidambar styraciflua 'Sternbergii'	Columnar Sweet Gum	8 cm cad. 8x8 Hx Std.

Symbol	Qty	Botanical Name	Common Name	Size/Comments
	255	Azara Nitida	Rhododendron 'Niko'	#2 pot. 18" O.C.
	422	Amorpha canescens	Rhododendron 'Inno White'	#2 pot. 18" O.C.
	14	Chrysothamnus 'Auric Peak'	Amorpha 'Inno White'	#2 pot. 30" O.C.
	156	Conium maculatum	Eschscholium 'Orange'	#2 pot. 30" O.C.
	54	Doronicum 'Brenel Flaga'	Eschscholium 'Orange'	#4 pot. 24" O.C.
	15	Gaultheria procumbens	Bleeding Heart	#2 pot. 18" O.C.
	143	Lonicera palustris	Princess Diana	#2 pot. 18" O.C.
	13	McCortia 'Warming Light'	Princess Diana	#2 pot. 24" O.C.
	21	Rhododendron 'Inno White'	Rhododendron 'Inno White'	#2 pot. 24" O.C.
	200	Spiraea 'Alba'	Spiraea 'Alba'	#2 pot. 24" O.C.
	748	Taxus m. 'Mill'	White Pine	#2 pot. 18" O.C.

- ### Frederick Grasses and Groundcovers
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### MATERIAL LEGEND

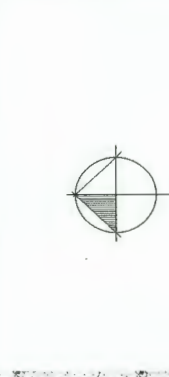
Graphic	Description
	Special Paving (Lobby Entrances) To be vehicle loaded Power type: TBD
	Special Paving (Greenway) To be vehicle loaded Power type: Unit Concrete Pavement
	Special Paving (Greenway) To be vehicle loaded Power type: Unit Concrete Pavement
	CIP Concrete Stairs To be vehicle loaded Power type: Unit Concrete Pavement
	CIP Concrete Stairs To be vehicle loaded Power type: Unit Concrete Pavement
	CIP Concrete Slabwork (chance colour) To City of Richmond Engineering and Park Department Standards
	Concrete Pavers (Hollow Wall) Colour: Charcoal Size: 24" x 24" x 2"
	Concrete Pavers (Hollow Wall) Colour: Charcoal Size: 18" x 18" x 2"
	Pave in Place Rubber Play Surface At Level: road deck
	White Asphalt At Level: road deck
	Black Asphalt At Level: road deck
	MPOU PAVE Buffing Asphalt 10 to be retained
	MPOU PAVE Proposed Asphalt Pathway 7.5 shown
	MPOU PAVE Buffing Asphalt 10 to be retained

### PLANTING NOTES

- All work shall meet or exceed the requirements as outlined in the current edition of the Canadian Landscape Standards.
- All plant material shall be sourced from a reputable supplier.
- The irrigation system design and installation shall be in accordance with the current edition of the Canadian Landscape Standards.
- All proposed plantings shall be provided with a 30mm layer of mulch.

### PLANNING NOTES

- All work shall meet or exceed the requirements as outlined in the current edition of the Canadian Landscape Standards.
- All plant material shall be sourced from a reputable supplier.
- The irrigation system design and installation shall be in accordance with the current edition of the Canadian Landscape Standards.
- All proposed plantings shall be provided with a 30mm layer of mulch.



no.	DATE	REVISION
12	July 09-20	Issued for DP Panel
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10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comment(5)
7	Dec 05-19	Issued for Staff Comment(4)
6	Nov 04-19	Issued for Staff Comment(3)
5	Oct 21-19	Issued for Staff Comment(2)
4	Sep 04-19	Issued for DP Re-Submission
3	May 20-19	Issued for DP Re-Submission
2	Nov 15-18	Issued for DP Re-Submission
1	Sept 18-18	Issued for DP

Project: Resid' Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.

Drawn by: RDC  
 Checked by: JO  
 Date: June 26th 2018  
 Scale: NTS  
 Drawing Title:

Durantekreuk Ltd.  
 102 - 1837 West 5th Avenue Vancouver BC V6L 1M5  
 Tel: 604 684 4871  
 Fax: 604 684 5777  
 www.durantekreuk.com

**REVISIONS:**  
 no. DATE REVISION

Project: Resid' Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.

Drawn by: RDC  
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 Date: June 26th 2018  
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**OVERLAY LANDSCAPE PLAN**  
**GROUND LEVEL**  
**117**  
**PLAN #41**

Project No.: 17020 JUL 07 2020  
 Sheet No.: L-1.1



Existing Development



no.:	date:	item:
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report (3)
10	June 26-20	Revision for Staff Report (2)
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3	Mar 20-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP Re-submission
1	Sept 18-18	Issued for DP



Project: **Resid'l Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.**

Drawn by: ROC  
Checked by: JD  
Date: June 28th 2018  
Scale: 1/8" = 1' 0"

Drawing Title:  
**Landscape Plan  
Ground Level  
Building C  
PLAN # 4-2**

Project No.: 17029UL 07 2020  
Sheet No.: -837117

Impacts to trees within Minors Park due to servicing upgrade, equipment, etc, currently being reviewed by and discussed with the City

Proposed path connections within Minors Park are to be co-ordinated with the Minors Lakes Renewal project and will be reviewed during the J.A. process.



no.:	date:	item:
12	JULY 09-20	Issued for DP Panel
11	JULY 08-20	Revision for Staff Report(3)
10	JUNE 26-20	Revision for Staff Report(2)
9	JUNE 15-20	Revision for Staff Report
8	MAY 12-20	Issued for Staff Comments(5)
7	DEC 05-19	Issued for Staff Comments(4)
6	NOV 04-19	Issued for Staff Comments(3)
5	OCT 21-19	Issued for DP Re-submission
4	SEP 04-19	Issued for DP Re-submission
3	MAR 20-19	Issued for DP Re-submission
2	NOV 15-18	Issued for DP Re-submission
1	SEPT 18-18	Issued for DP

Revisions:

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Project:  
**Resid'l Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.**

Drawn by: ROC  
Checked by: JD  
Date: June 28th 2018  
Scale: 1/8" = 1'-0"

Drawing Title:  
**Landscape Plan  
Ground Level  
Building C & D**

Project No.: 17020  
Sheet No.: L-1.3

Way signage to be installed by developer & approved by Park Department. Wayfinding signs surrounding area such as Minoro Towers, Minoro Boulevard and Bighouse Boulevard and included near the Mah Bing Road. Signage content to be reviewed via SA process.

Proposed New Street Trees  
Final species, quantity and spacing  
to be confirmed via SA process

Soil cells under sidewalk  
where trees in tree grates

Soil cells underneath roadway  
(dashed line)

Soil cells underneath roadway  
walkway (dashed line)

Soil cells underneath roadway  
walkway (dashed line)

Soil cells underneath roadway  
walkway (dashed line)

Soil cells underneath roadway  
walkway (dashed line)

Soil cells underneath roadway  
walkway (dashed line)

Soil cells underneath roadway  
walkway (dashed line)

Soil cells underneath roadway  
walkway (dashed line)

Soil cells underneath roadway  
walkway (dashed line)

Soil cells underneath roadway  
walkway (dashed line)

Soil cells underneath roadway  
walkway (dashed line)

Soil cells underneath roadway  
walkway (dashed line)

Impacts to trees within Minoro Park due  
to servicing requirements are  
currently being reviewed by and  
discussed with the City

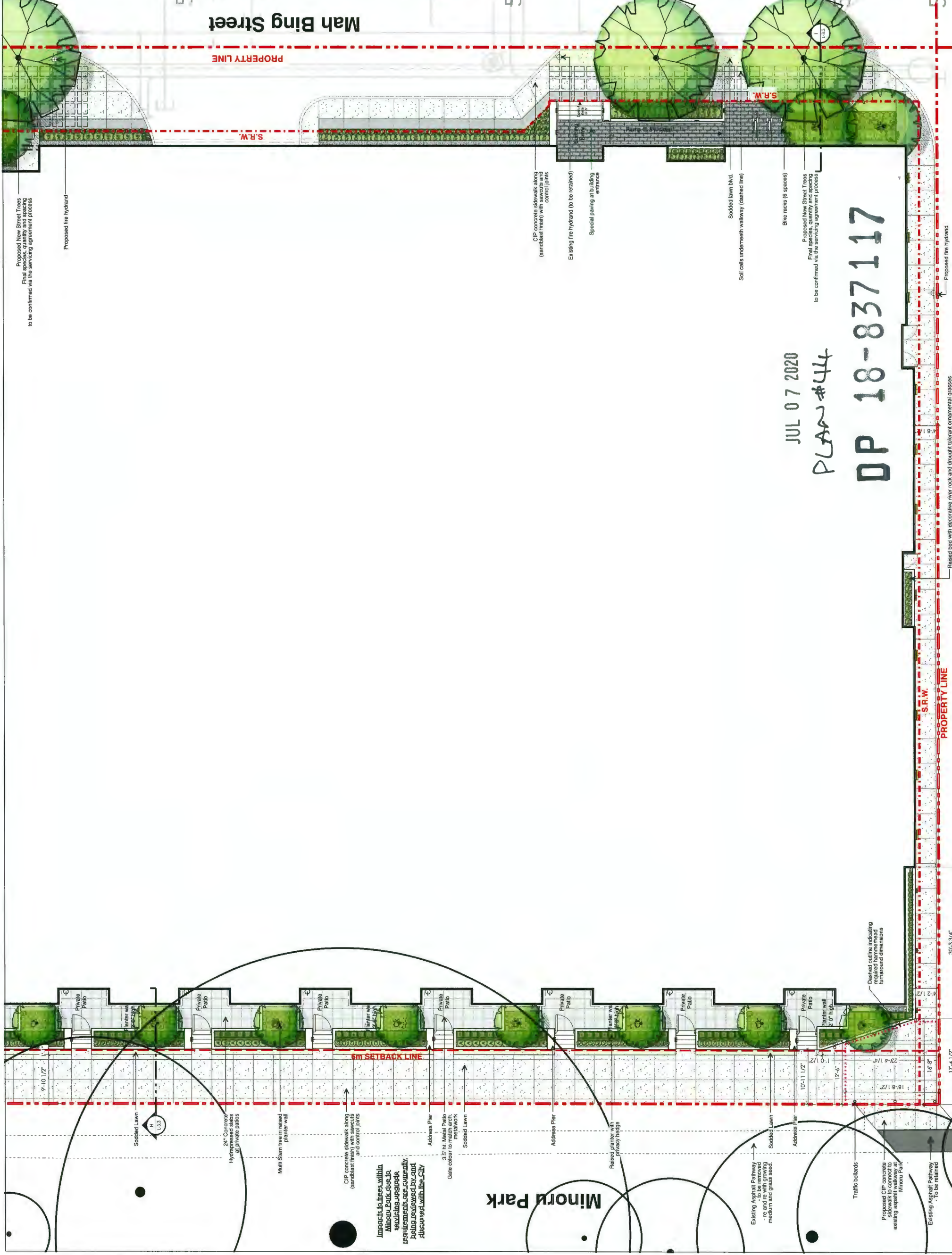
Proposed path connection  
within Minoro Park are to be  
co-ordinated with the Minoro  
Lakes Renewal project and will  
be reviewed during the SA  
process.

Existing Asphalt  
Pathway  
10' to be retained

Existing Asphalt  
Pathway  
to be retained  
with growing  
medium and grass seed.

PLAN #43 JUL 07 2020  
DP 18-837117

Proposed New Street Trees  
Final species, quantity and spacing  
to be confirmed via SA process



Proposed New Street Trees  
Final species, quantity and spacing  
to be confirmed  
via the servicing agreement process

Proposed fire hydrant

**Mah Bing Street**  
PROPERTY LINE

S.R.W.

6m SETBACK LINE

**Minorn Park**

Impacts to trees within  
Minorn Park due to  
servicing upgrade  
requirements see concurrently  
being reviewed by and  
discussed with the City

CIP concrete sidewalk along  
(sandblast finish) with sawcuts and  
control joints

Multi Stem tree in raised  
planter wall

24" Concrete  
Hydrated slabs  
at private patios

Sodded Lawn

Address Pier  
3.5' ht. Metal Patio  
Gate colour to match  
metalwork

Raised planter with  
privacy hedge

Sodded Lawn

Traffic bollards

Proposed CIP concrete  
sidewalk to connect to  
existing asphalt walkway at  
Minorn Park

Existing Asphalt Pathway  
To be retained

Dashed outline indicating  
required hammed  
turnaround dimensions

PROPERTY LINE

S.R.W.

Raised bed with decorative river rock and drought tolerant ornamental grasses  
(year round irrigation system should be provided for planting lawn root area)

Proposed fire hydrant

Project:  
**Resid'l Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.**

Drawn by: ROC

Checked by: JB

Date: June 28th 2018

Scale: 1/8" = 1' 0"

Drawing Title:

**Landscape Plan  
Ground Level  
Building D & E**

Project No.: 17020

Sheet No.:

**L-1.4**



no.:	date:	item:
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report (3)
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3	Nov 15-18	Issued for DP Re-submission
2	Sept 18-18	Issued for DP
1		

Revisions:

**durantekreuk**  
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www.dkbc.ca

JUL 07 2020  
PLAN #444

**DP 18-837117**







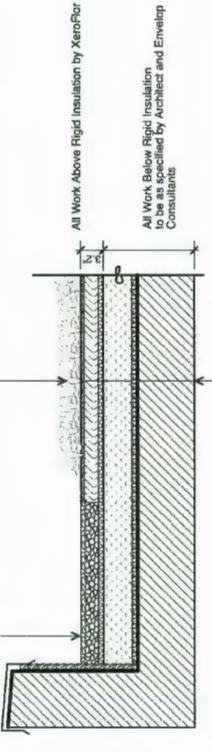
Note: All utility, electric assembly manufactured by XeroFlor. Tel: 1-289-397-1544 or info@xeroflor.ca or preapproved equal

Pre-vegetated sedum mat on retention fence on parapet wall. Installation to be as specified by Architect and Envelope Consultants.

12" Wide roofing gravel ballast (see arch) at perimeter along parapet wall.

All Work Above Rigid Insulation by XeroFlor

All Work Below Rigid Insulation to be as specified by Architect and Envelope Consultants



- Pre-vegetated Sedum Mixes- XeroFlor**
- Sedum Green Mix (Type 1)**
    - Sedum album
    - Sedum album 'Coral Carpet'
    - Sedum album 'Summer Glory'
    - Sedum album 'John Creech'
    - Sedum album 'Kamichabulum'
    - Sedum album 'Czar's Gold'
  - Sedum Green Red Mix (Type 2)**
    - Sedum album 'Coral Carpet'
    - Sedum album 'Summer Glory'
    - Sedum album 'John Creech'
    - Sedum album 'Kamichabulum'
    - Sedum album 'Cocconeum'
  - Sedum Blue Mix (Type 3)**



NEW PROPERTY LINE (after road dedication)

PLAN #46  
 OP 18-837  
 Project No: 17020

JUL 07 2020

L-1.6

no.	date:	item:
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
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3	Mar 20-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP Re-submission
1	Sept 18-18	Issued for DP



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 F: 604 684 0577  
 www.durante.com

Project:  
**Resid'l Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.**

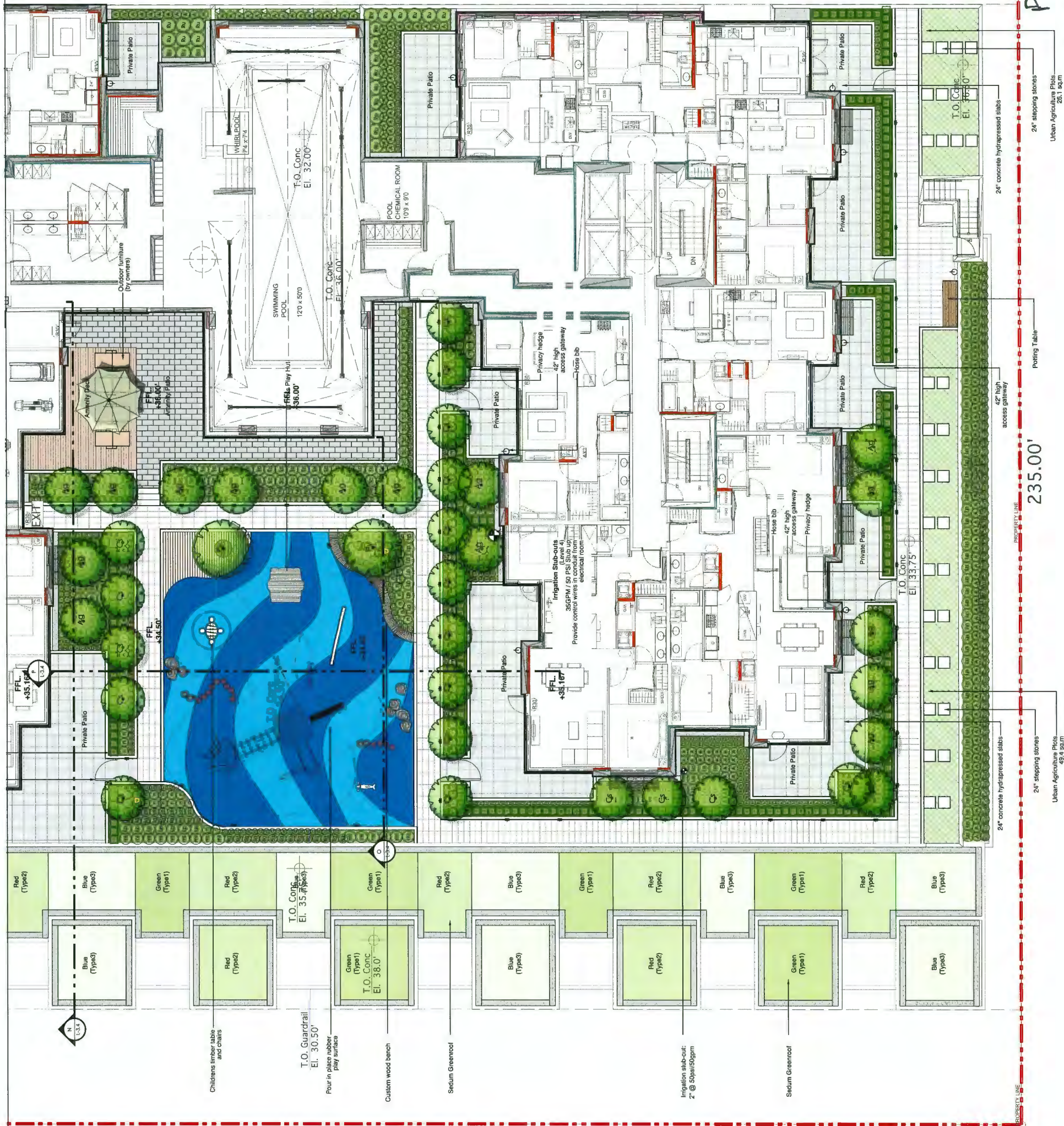
Drawn by: ROC  
 Checked by: JD  
 Date: June 28th, 2018  
 Scale: 1/8" = 1' 0"

Drawing Title:  
**Landscaping Plan  
 Level 4  
 Buildings D&E**

Sheet No.:



NEW PROPERTY LINE (after road dedication)



no.:	date:	item:
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3	Mar 20-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP
1	Sept 18-18	Issued for DP

Revisions:



Project:

Resid'l Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.

Drawn by: ROC

Checked by: JD

Date: June 28th 2019

Scale: 1/8" = 1' 0"

Drawing Title:

Landscape Plan  
Level 4  
Buildings D&E

Project No.: 17020

Sheet No.:

L-1.7

JUL 07 2020

PLAN # 47

DP 18-837117

235.00'

24" concrete hydropressed slabs

24" stepping stones

Urban Agriculture Photo 48.74 Sqm

24" concrete hydropressed slabs

24" stepping stones

Urban Agriculture Photo 26.1 Sqm

Potting Table

42" high access gateway

42" high access gateway

42" high access gateway

42" high access gateway



no.:	date:	item:
1	Sep18-18	Issued for DP Re-submission
2	Nov15-18	Issued for DP Re-submission
3	Mar-20-19	Issued for DP Re-submission
4	Sep-04-19	Issued for DP Re-submission
5	Oct-21-19	Issued for Staff Comment(2)
6	Nov-04-19	Issued for Staff Comment(3)
7	Dec-05-19	Issued for Staff Comment(4)
8	May-12-20	Issued for Staff Comment(5)
9	June-15-20	Revision for Staff Report
10	June-26-20	Revision for Staff Report(2)
11	July-08-20	Revision for Staff Report(3)
12	July-09-20	Issued for DP Panel

Revisions:



Durante Kreuk Ltd.  
 102 - 1637 West 5th Avenue, Vancouver  
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 t: 604 684 4611  
 f: 604 684 4677  
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Project:  
**Resid'l Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.**

Drawn by: KOC  
 Checked by: JD  
 Date: June 26th 2018  
 Scale: 1/8" = 1' 0"

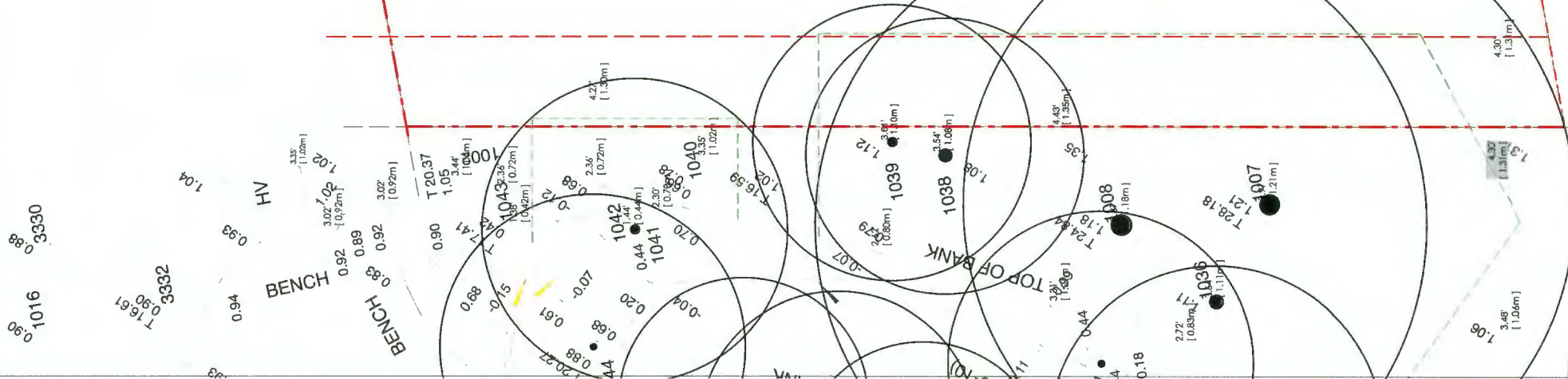
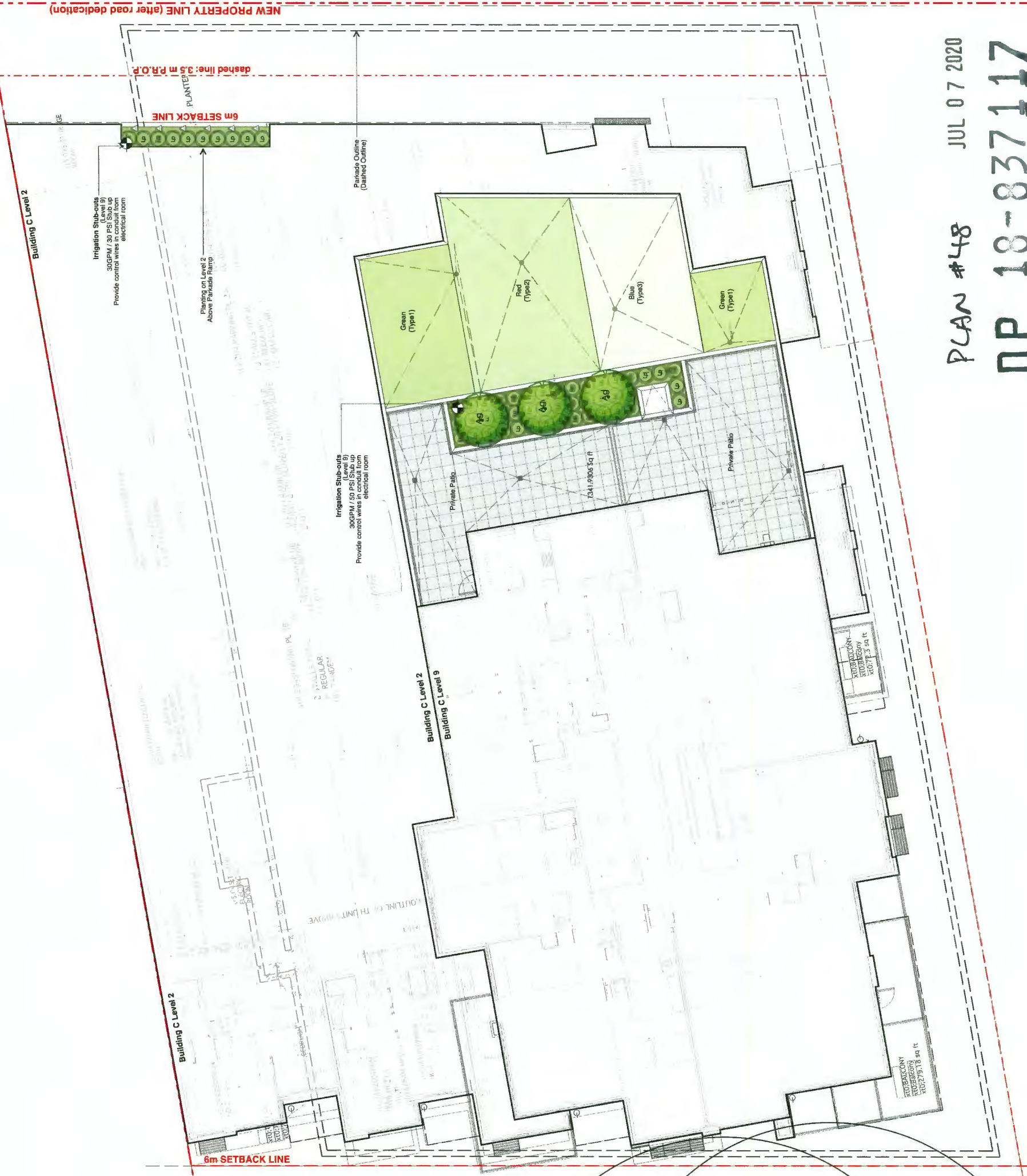
Drawing Title:  
**Landscape Plan  
 Level 2 & Level 9  
 Building C**

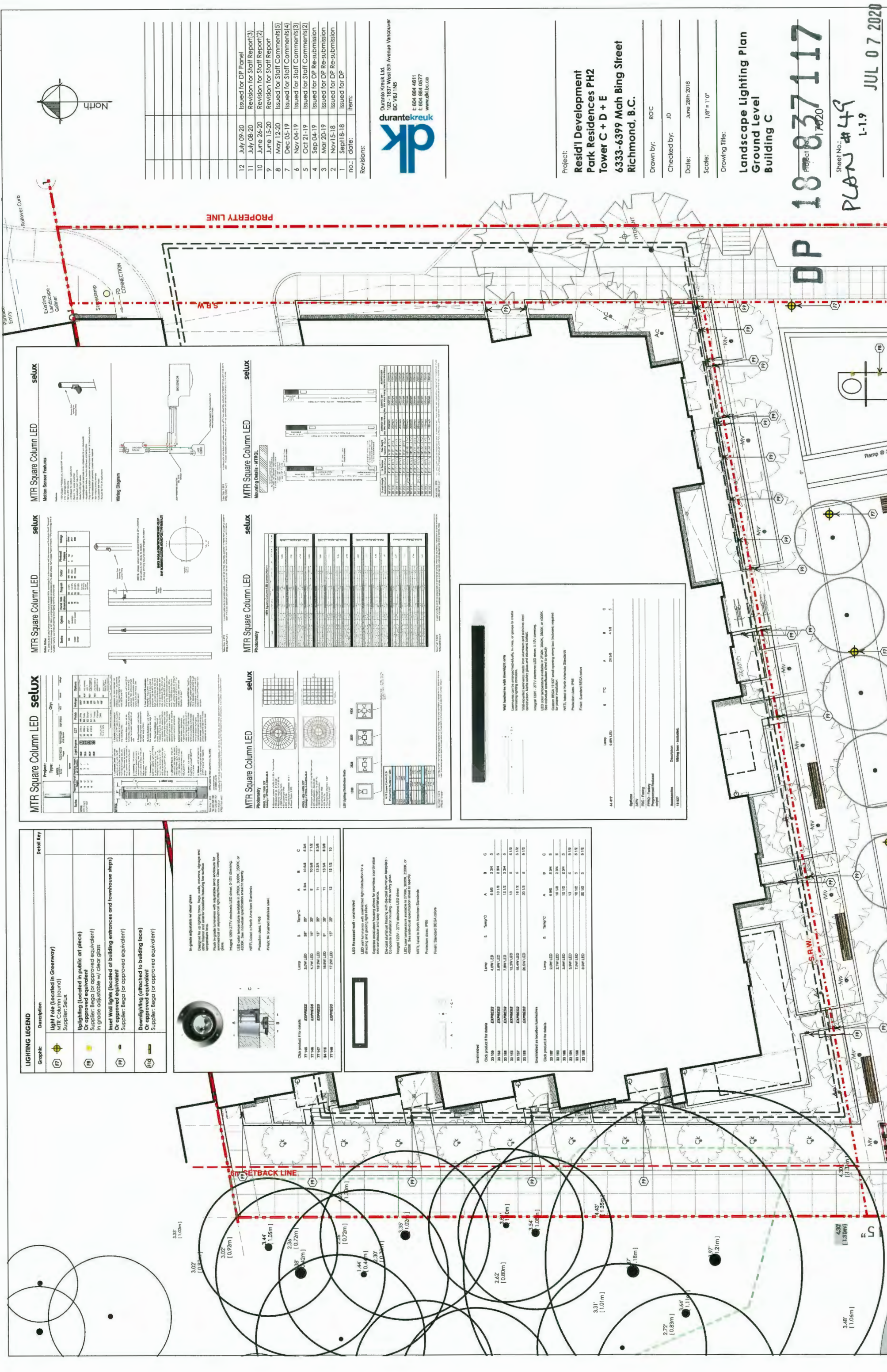
Project No.: 17020

Sheet No.:

L-1.8

PLAN #48  
 JUL 07 2020  
 DP 18-837117





**LIGHTING LEGEND**

Graphic	Description	Detail Key
(P)	Light Pole (located in Greenway) With Cable Tray (found) Supplier: Selux	
(R)	Lighting (located in public art piece) Or approved equivalent Supplier: Bega (or approved equivalent) In grade adjustable w/ clear glass	
(M)	Inset Wall Light (located at building entrances and townhouse steps) Or approved equivalent Supplier: Bega (or approved equivalent)	
(D)	Downlighting (attached to building face) Or approved equivalent Supplier: Bega (or approved equivalent)	

**LED RECESSED wall - unshrouded**

LED light fixtures with unshrouded light distribution for a driving and parking lot effect. Separate ventilation housing allows for maximum construction and easy maintenance. Dimensions are in millimeters unless otherwise specified. LED color temperatures available in 2700K, 3000K, 3500K, or 4000K. See technical specification sheet to specify. NRTL listed in North American Standards. Protection class: IP65. Finish: Standard BEGA colors.

Chip product # for details	Lamp	S	Temp °C	A	B	C
77145	EXPRESS	3.0W LED	30°	5.24	10.68	6.34
77146	EXPRESS	3.7W LED	15°	30°	6	10.58
77147	EXPRESS	3.0W LED	15°	30°	11	13.54
77148	EXPRESS	17.0W LED	15°	30°	13	15.52

**LED RECESSED wall - unshrouded**

LED light fixtures with unshrouded light distribution for a driving and parking lot effect. Separate ventilation housing allows for maximum construction and easy maintenance. Dimensions are in millimeters unless otherwise specified. LED color temperatures available in 2700K, 3000K, 3500K, or 4000K. See technical specification sheet to specify. NRTL listed in North American Standards. Protection class: IP65. Finish: Standard BEGA colors.

Chip product # for details	Lamp	S	Temp °C	A	B	C
32188	EXPRESS	4.0W LED	6.56	2.34	5	
32189	EXPRESS	5.0W LED	10.18	2.34	5	
32190	EXPRESS	7.2W LED	13.12	2.34	5	
32191	EXPRESS	12.0W LED	18.12	6	5.12	
32192	EXPRESS	20.0W LED	20.12	6	5.12	

**MTR Square Column LED selux**

Mounting details - WTRDL

Wiring Diagram

**MTR Square Column LED selux**

Mounting details - WTRDL

**MTR Square Column LED selux**

Photometry

Beam Angle	Beam Diameter @ 10m (m)	Beam Diameter @ 20m (m)	Beam Diameter @ 30m (m)	Beam Diameter @ 40m (m)	Beam Diameter @ 50m (m)	Beam Diameter @ 60m (m)	Beam Diameter @ 70m (m)	Beam Diameter @ 80m (m)	Beam Diameter @ 90m (m)	Beam Diameter @ 100m (m)
15°	2.60	5.20	7.80	10.40	13.00	15.60	18.20	20.80	23.40	26.00
30°	5.20	10.40	15.60	20.80	26.00	31.20	36.40	41.60	46.80	52.00
45°	7.80	15.60	23.40	31.20	39.00	46.80	54.60	62.40	70.20	78.00
60°	10.40	20.80	31.20	41.60	52.00	62.40	72.80	83.20	93.60	104.00
75°	13.00	26.00	39.00	52.00	65.00	78.00	91.00	104.00	117.00	130.00
90°	15.60	31.20	46.80	62.40	78.00	93.60	109.20	124.80	140.40	156.00

**MTR Square Column LED selux**

Photometry

Beam Angle	Beam Diameter @ 10m (m)	Beam Diameter @ 20m (m)	Beam Diameter @ 30m (m)	Beam Diameter @ 40m (m)	Beam Diameter @ 50m (m)	Beam Diameter @ 60m (m)	Beam Diameter @ 70m (m)	Beam Diameter @ 80m (m)	Beam Diameter @ 90m (m)	Beam Diameter @ 100m (m)
15°	2.60	5.20	7.80	10.40	13.00	15.60	18.20	20.80	23.40	26.00
30°	5.20	10.40	15.60	20.80	26.00	31.20	36.40	41.60	46.80	52.00
45°	7.80	15.60	23.40	31.20	39.00	46.80	54.60	62.40	70.20	78.00
60°	10.40	20.80	31.20	41.60	52.00	62.40	72.80	83.20	93.60	104.00
75°	13.00	26.00	39.00	52.00	65.00	78.00	91.00	104.00	117.00	130.00
90°	15.60	31.20	46.80	62.40	78.00	93.60	109.20	124.80	140.40	156.00

**LED Lighting Installation Table**

System	Temp °C	A	B	C		
44 FT7	10W LED	6	7C	24.98	4.18	5
50W LED	6	7C	24.98	4.18	5	

Notes:  
 - All products are for details.  
 - LED color temperatures available in 2700K, 3000K, 3500K, or 4000K. See technical specification sheet to specify. NRTL listed in North American Standards. Protection class: IP65. Finish: Standard BEGA colors.



**Revisions:**

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1	Sept 18-18	Issued for DP

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 102 - 1637 West 5th Avenue Vancouver  
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**Project:**  
 Resid' Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.

**Drawn by:** ROC  
**Checked by:** JB  
**Date:** June 28th 2018  
**Scale:** 1/8" = 1'0"

**Drawing Title:**  
 Landscape Lighting Plan  
 Ground Level  
 Building C

**DP 18-037117**

Project No.: 18-037117  
 Sheet No.: PLAN #49  
 L-1.9  
 JUL 07 2020



no.:	date:	item:
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11	July 08-20	Revision for Staff Report(3)
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3	Mar 20-19	Issued for DP Re-submission
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1	Sept18-18	Issued for DP

Revisions:

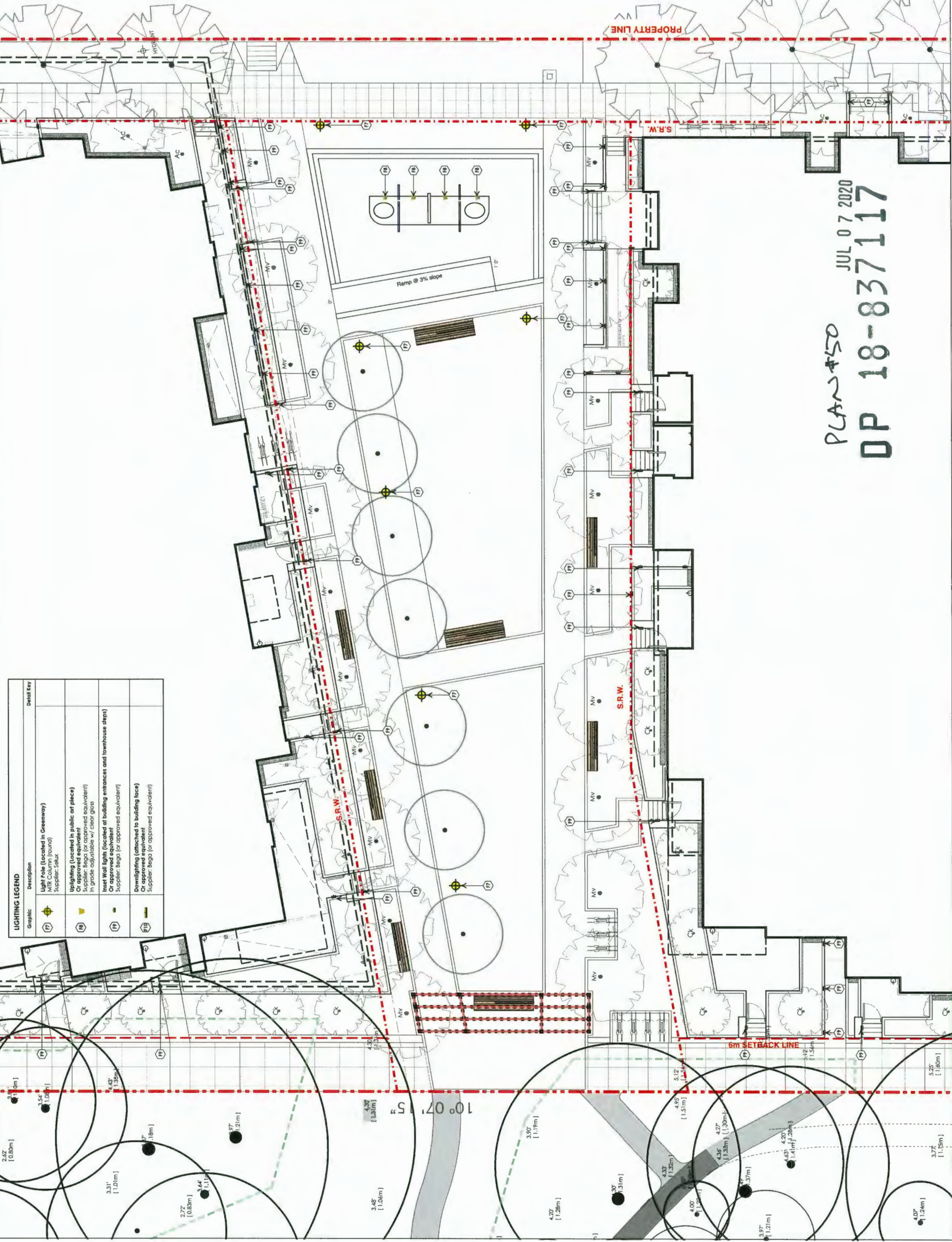
**durantekreuk**  
 Durants Kreuk Ltd.  
 102 - 1637 West 5th Avenue Vancouver  
 BC V6J 1N5  
 t: 604 684 4611  
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 www.dkbc.ca

Project:  
**Resid'l Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.**

Drawn by: ROC  
 Checked by: JD  
 Date: June 28th 2018  
 Scale: 1/8" = 1' 0"

Drawing Title:  
**Landscape Lighting Plan  
 Ground Level  
 Building C & D**

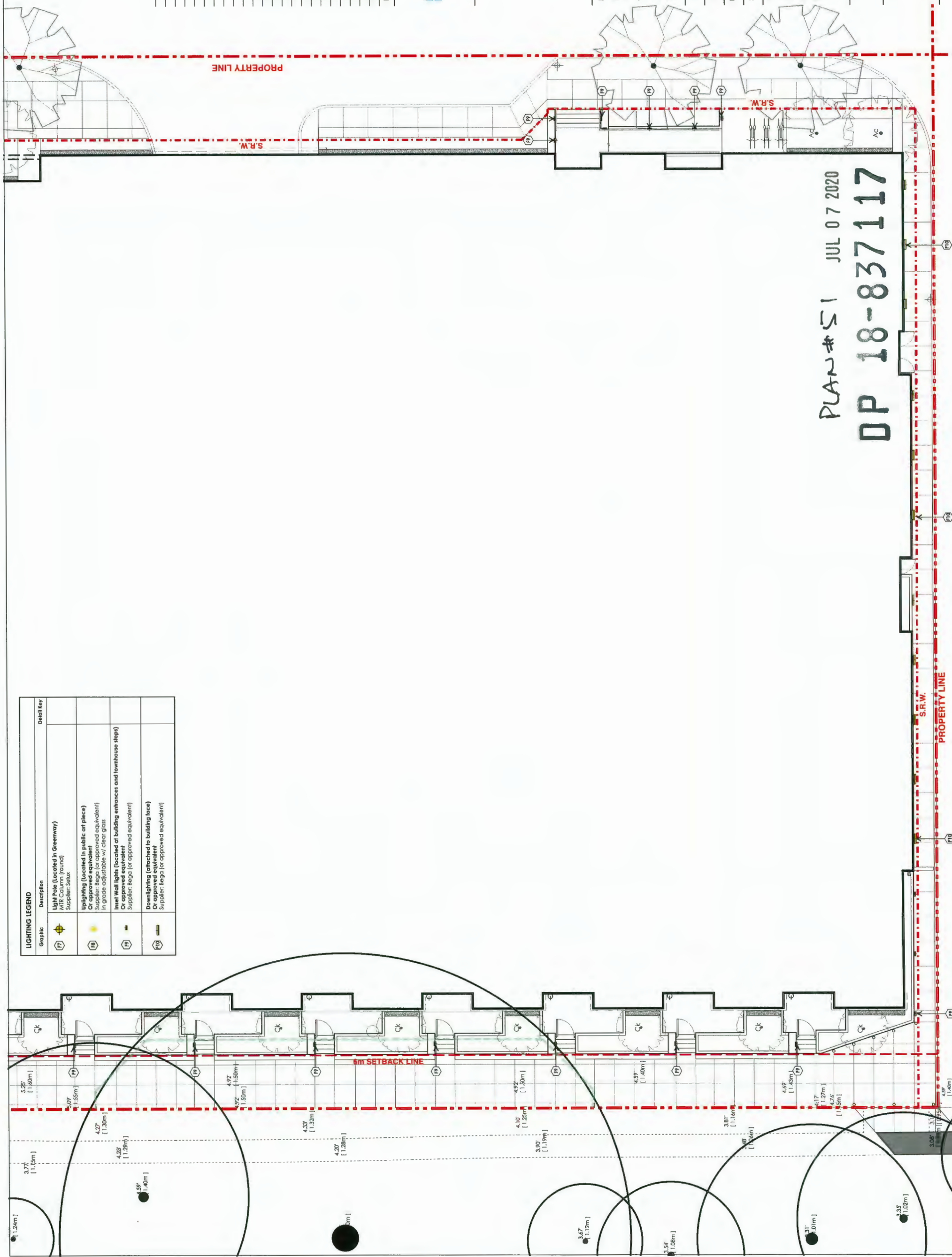
Project No.: 17020  
 Sheet No.: L-1.10



Graphic	Description	Detail Key
(MTR)	<b>Light Pole (Located in Greenway)</b> MTR Column (round) Supplier: Selux	
(U)	<b>Up-lighting (Located in public art piece)</b> Or approved equivalent Supplier: Bega (or approved equivalent) in grade colorable w/ clear glass	
(I)	<b>Inset Wall lights (located at building entrances and townhouse steps)</b> Or approved equivalent Supplier: Bega (or approved equivalent)	
(D)	<b>Downlighting (attached to building face)</b> Or approved equivalent Supplier: Bega (or approved equivalent)	

PLAN #50  
 JUL 07 2020  
 DP 18-837117

Graphic	Description	Detail Key
(P)	Light Pole (located in Greenway) MFR Car (round) Supplier: Salux	
(H)	Up-lighting (located in public art piece) Or approved equivalent Supplier: Bega (or approved equivalent) In grade adjustable w/ clear glass	
(P)	Inset Wall lights (located at building entrances and townhouse steps) Or approved equivalent Supplier: Bega (or approved equivalent)	
(H)	Downlighting (attached to building face) Or approved equivalent Supplier: Bega (or approved equivalent)	



PLAN # S1 JUL 07 2020  
 DP 18-837117



no.:	date:	item:
12	July 09-20	Issued for DP Panel
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9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 04-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for Staff Comments(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar 20-19	Issued for DP Re-submission
2	Nov15-18	Issued for DP Re-submission
1	Sept18-18	Issued for DP

**durantekreuk**  
 Durante Kreuk Ltd.  
 102 - 1637 West 5th Avenue Vancouver  
 BC V6J 1N5  
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 F: 604 684 4617  
 www.durantebc.ca

Project:  
**Resid'l Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.**

Drawn by: RQC  
 Checked by: JB  
 Date: June 28th 2016  
 Scale: 1/8" = 1' 0"  
 Drawing Title:  
**Landscape Lighting Plan  
 Ground Level  
 Building D & E**

Project No.: 17020  
 Sheet No.: L-1.11



no.:	date:	item:
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 26-20	Revision for Staff Report(2)
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
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4	Sep 04-19	Issued for DP Re-submission
3	Mar20-19	Issued for DP Re-submission
2	Nov15-18	Issued for DP Re-submission
1	Sept18-18	Issued for DP

Revisions:

**durantekreuk**  
 Durantekreuk Ltd.  
 102 - 1637 West 5th Avenue Vancouver  
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 F: 604.684.0577  
 www.durk.bc.ca

Project:  
**Resid'l Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.**

Drawn by: ROC  
 Checked by: JD  
 Date: June 28th 2018  
 Scale: 1/8" = 1'0"

Drawing Title:  
**Landscape Lighting Plan  
 Level 4  
 Building C**

Project No.: 17020

Sheet No.: L-1.12

LIGHTING LEGEND		Detail Key
Graphic	Description	
	Light Pole (Located in Greenway) w/ik Column (round) Supplier: Sola	
	Up-lighting (Located in public art piece) Or approved equivalent Supplier: Bega (or approved equivalent) In grade adjustable w/ clear glass	
	Inset Wall Light (Located at building entrances and townhouse steps) Or approved equivalent Supplier: Bega (or approved equivalent)	



PLAN #52

DP 18-837 117

JUL 07 2020



12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 04-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for Staff Comments(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar20-19	Issued for DP Re-submission
2	Nov15-18	Issued for DP Re-submission
1	Sept18-18	Issued for DP
no.:	date:	item:

**durantekreuk**  
 Duranta Kreuk Ltd.  
 100 West 5th Avenue Vancouver  
 BC V6J 1N6  
 T: 604 684 4611  
 F: 604 684 0577  
 www.dk.bc.ca

**Project:**  
 Resid'l Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.

**Drawn by:** ROC  
**Checked by:** JD  
**Date:** June 28th 2018  
**Scale:** 1/8" = 1' 0"  
**Drawing Title:**

**Landscaping Lighting Plan**  
 Level 4  
 Buildings D&E

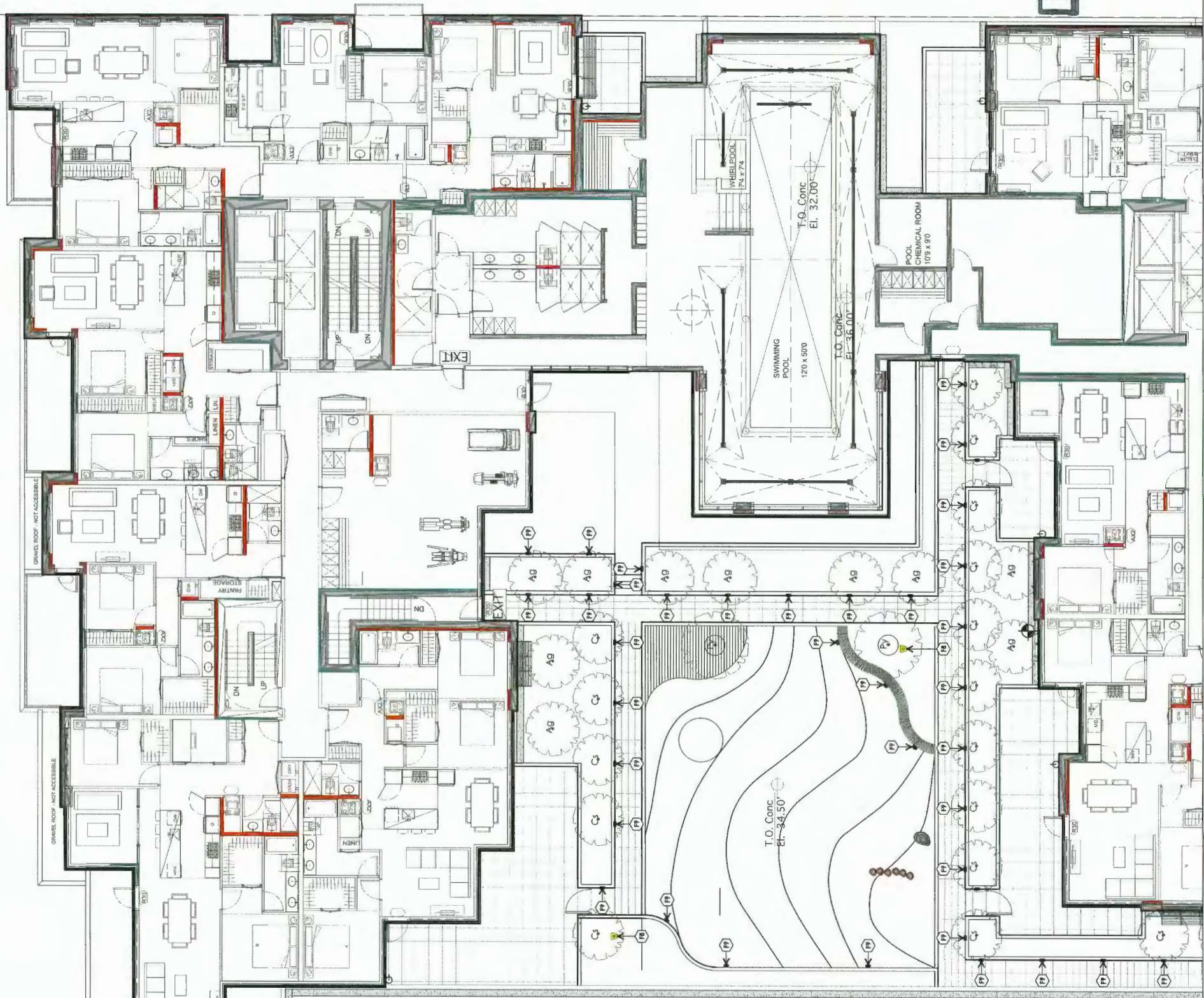
**DP 18-837117**  
 Project No: 17020

Sheet No.:

L-1.13

NEW PROPERTY LINE (after road dedication)

**PLAN #53**  
**JUL 07 2020**



Graphic	Description	Detail Key
(P)	<b>Light Pole (Located in Greenway)</b> MTR Column (round) Supplier: Sabu	
(R)	<b>Uplighting (located in public art piece)</b> F or approved equivalent (approved equivalent) Supplier: Sabu In grade adjustable w/ clear glass	
(F)	<b>Inset Wall lights (located at building entrances and townhouse steps)</b> Or approved equivalent Supplier: Sabu (or approved equivalent)	

T.O. Guardrail  
El. 30.50'

T.O. Conc  
El. 35.75'

T.O. Conc  
El. 38.0'

T.O. Conc  
El. 34.50'

T.O. Conc  
El. 32.00'

T.O. Conc  
El. 36.00'

POOL CHEMICAL ROOM  
10'9" x 8'0"

SWIMMING POOL  
120' x 50'

WHIRLPOOL  
7'6" x 7'4"





12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 04-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for Staff Comments(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar20-19	Issued for DP Re-submission
2	Nov15-18	Issued for DP Re-submission
1	Sept18-18	Issued for DP
na.:	date:	item:

Durantekreuk Ltd.  
 101 West 8th Avenue Vancouver  
 BC V6J 1N6  
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Project:  
**Resid'l Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.**

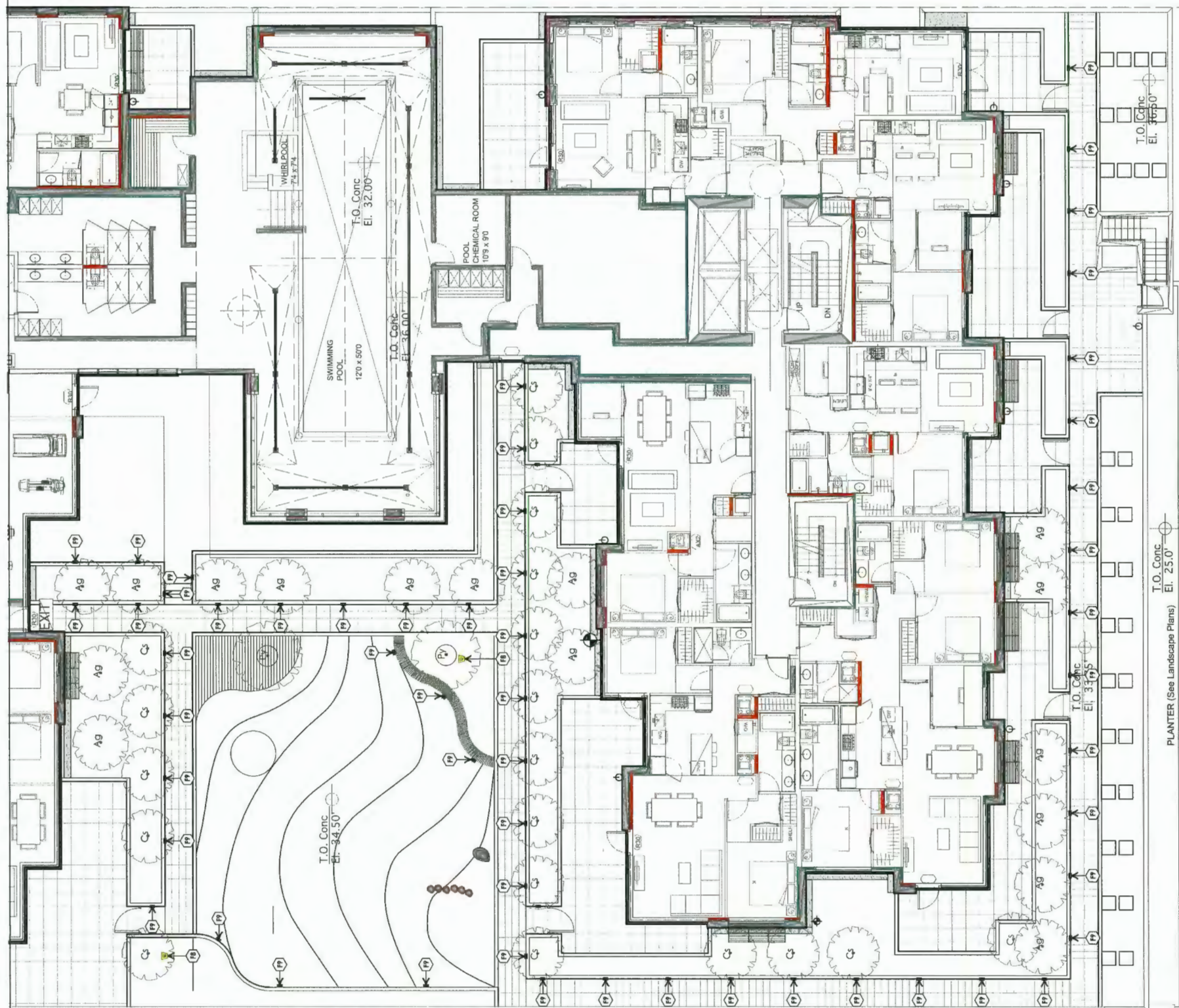
Drawn by: ROC  
 Checked by: JD  
 Date: June 28th 2018  
 Scale: 1/8" = 1'-0"  
 Drawing Title:

**Landscape Lighting Plan  
 Level 4  
 Buildings D&E**

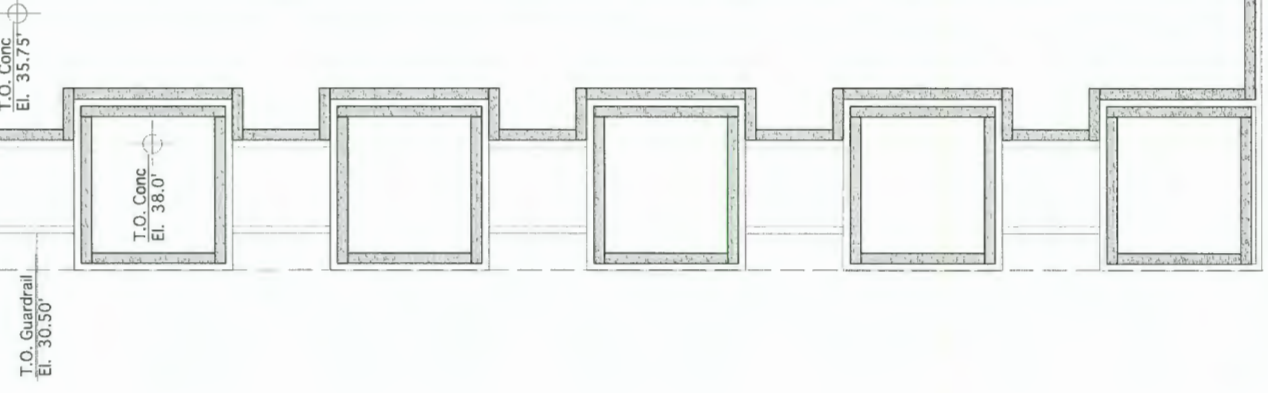
Project No.: 17020  
 Sheet No.: L-1.14

NEW PROPERTY LINE (after road dedication)

JUL 07 2020



Graphic	Description	Detail Key
	Light Pole (Located in Greenway) MTR Column (round) Supplier: Selux	
	Up-lighting (located in public art piece) Or approved equivalent in grade adjustable w/ clear glass Supplier: Selux	
	Inset Well lights (located at building entrances and firehouse steps) Or approved equivalent Supplier: Selux (or approved equivalent)	



DP 18-837117

PLAN #54

235.00'

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE



no.	date	item
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comment(5)
7	May 12-20	Issued for Staff Comment(5)
6	Dec 05-19	Issued for Staff Comment(4)
5	Nov 04-19	Issued for Staff Comment(3)
4	Oct 21-19	Issued for Staff Comment(2)
3	Nov 20-19	Issued for DP Re-Submission
2	Nov 12-18	Issued for DP Re-Submission
1	Sept 18-18	Issued for DP

Revisions:

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Project:  
**Resid'l Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.**

Drawn by: RDC  
 Checked by: JD  
 Date: June 29th 2018  
 Scale: NTS  
 Drawing Title:

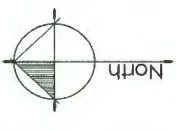
**Landscape CCAP Amenity  
 Calculations  
 Ground Level**  
 Project No.: 17020  
 Sheet No.: L-1.15

**LEGEND**

Graphic	Description
	Common Outdoor Open Space
	Private Outdoor Open Space
	Children's Play Space
	Inaccessible Green Roof
	Property Line

**JUL 07 2020**  
**DP 18-837117**  
**PLAN #55**

**Landscape Outdoor Amenity Calculation Detail See L1.17 Plan**



no.:	date:	item:
12	JULY 09-20	ISSUED FOR DP PANEL
11	JULY 08-20	REVISION FOR STAFF REPORT(3)
10	JUNE 26-20	REVISION FOR STAFF REPORT(2)
9	JUNE 15-20	REVISION FOR STAFF REPORT
8	MAY 12-20	ISSUED FOR STAFF COMMENT(5)
7	DEC 05-19	ISSUED FOR STAFF COMMENT(4)
6	NOV 04-19	ISSUED FOR STAFF COMMENT(3)
5	OCT 21-19	ISSUED FOR DP RE-SUBMISSION
4	SEP 04-19	ISSUED FOR DP RE-SUBMISSION
3	MAR 20-19	ISSUED FOR DP RE-SUBMISSION
2	NOV 15-18	ISSUED FOR DP RE-SUBMISSION
1	SEPT 18-18	ISSUED FOR DP

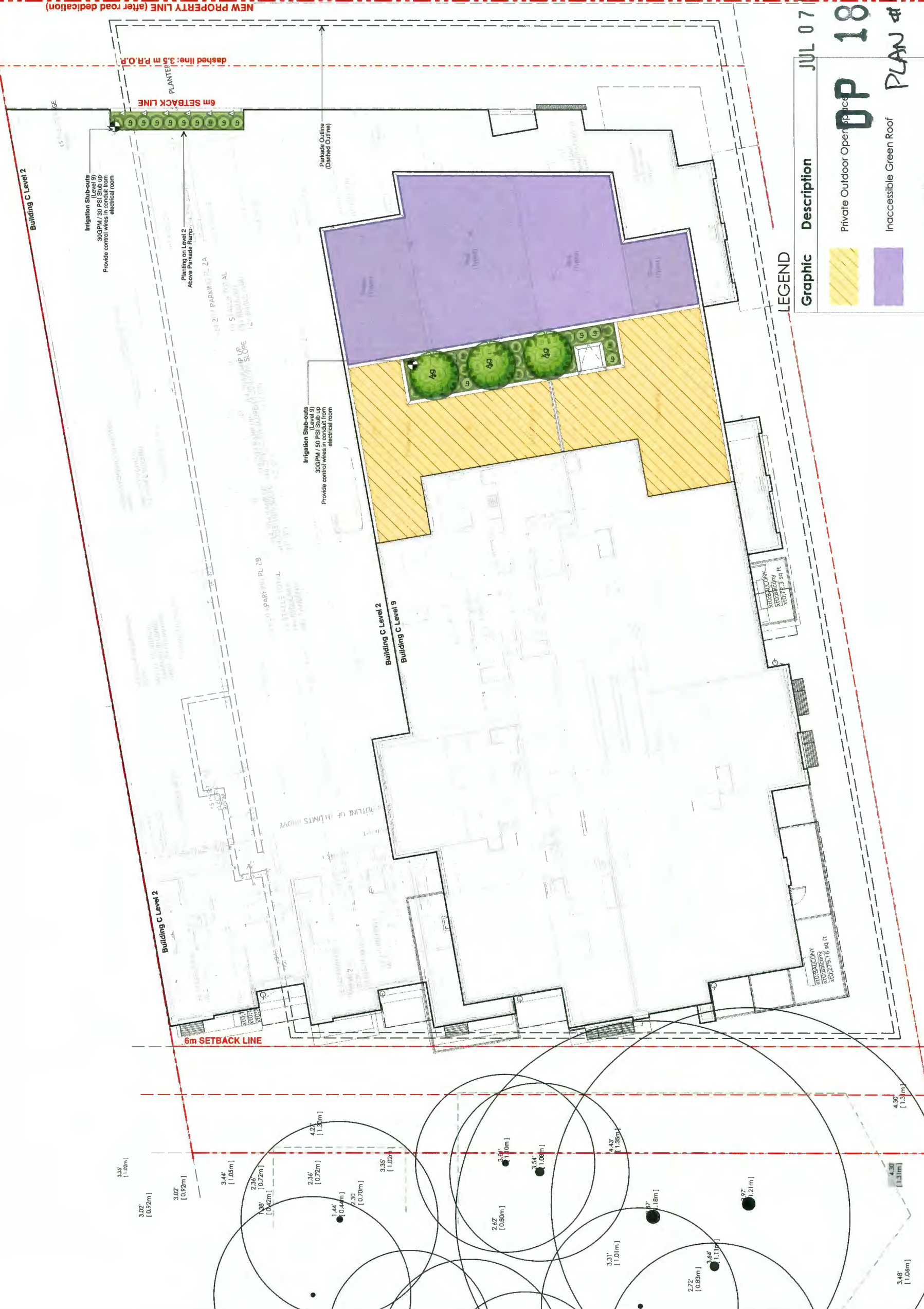


Project:  
**Resid'l Development  
 Park Residences PH2  
 Tower C + D + E**  
 6333-6399 Mah Bing Street  
 Richmond, B.C.

Drawn by: ROC  
 Checked by: JD  
 Date: June 28th 2018  
 Scale: 1/8" = 1'0"  
 Drawing Title:

**Landscape Plan  
 Level 2 & Level 9  
 Amenity Calculation**  
 Project No.: 17020

Sheet No.:  
**L-1.16**

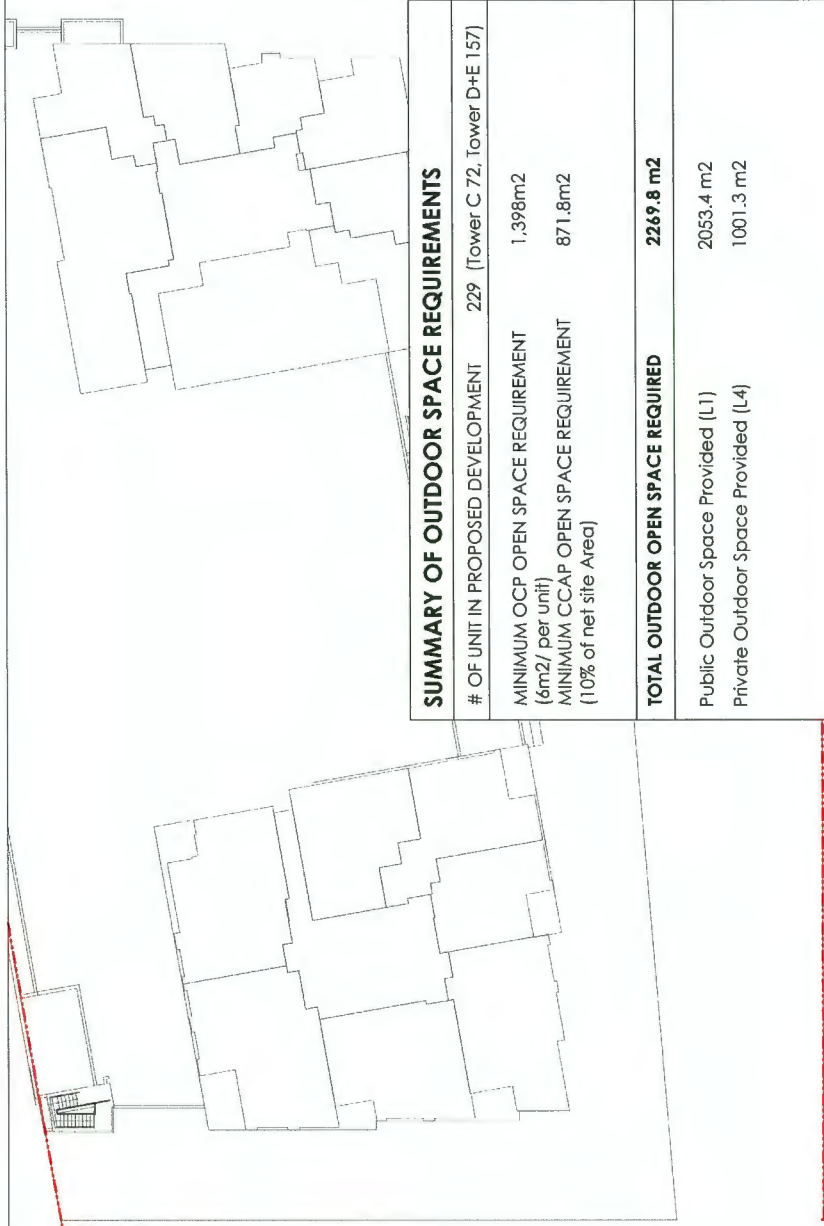


**LEGEND**

Graphic	Description
	Private Outdoor Open Space
	Inaccessible Green Roof
	Property Line

**OP 18-837117**  
 JUL 07 2020  
 PLAN #56

Landscape Outdoor Amenity Calculation Detail See L1.17 Plan



SUMMARY OF OUTDOOR SPACE REQUIREMENTS		
# OF UNIT IN PROPOSED DEVELOPMENT	229 (Tower C 72, Tower D+E 157)	
MINIMUM OCP OPEN SPACE REQUIREMENT (6m2/ per unit)	1,398m2	
MINIMUM CCAP OPEN SPACE REQUIREMENT (10% of net site Area)	871.8m2	
<b>TOTAL OUTDOOR OPEN SPACE REQUIRED</b>	<b>2269.8 m2</b>	
Public Outdoor Space Provided (L1)	2053.4 m2	
Private Outdoor Space Provided (L4)	1001.3 m2	
<b>Total Outdoor Space Provided</b>	<b>3,054.3 m2</b>	

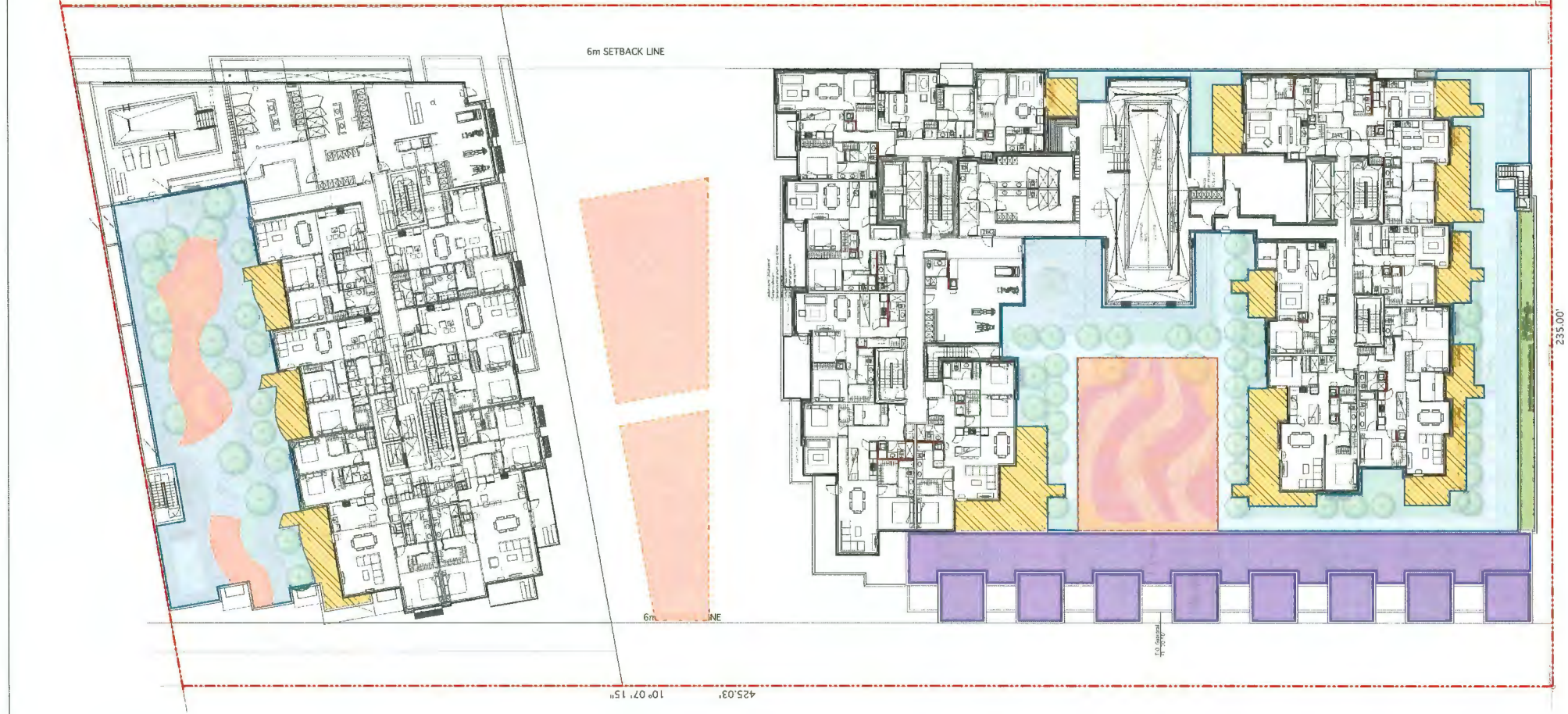
COMMON CHILDREN'S PLAY SPACE AREAS		
'Public' Ground Level	379.9 m2	
'Private' North Tower(C) Level 4	100.2 m2	
'Private' South Towers(D&E) Level 4	217.4 m2	
<b>Total</b>	<b>697.5 m2</b>	
# of Unit in Pposed Development (Tower C, D & E)	229	
MINIMUM CHILDREN'S PLAY SPACE REQUIRED 3 sq. ft. per Unit (1/3 of OCP Requirement)	687 m2	
<b>TOTAL CHILDREN'S PLAY SPACE PROVIDED</b>	<b>697.5 m2</b>	

Total Inaccessible Green Roof Area		
South Towers(D&E) Level 4	388.3 m2	
North tower(C) Level 9	154.6 m2	
<b>Total</b>	<b>542.9 m2</b>	
<b>TOTAL INACCESSIBLE GREEN ROOF AREA PROVIDED</b>	<b>542.9 m2</b>	

**LEGEND**

Graphic	Description
	Common Outdoor Open Space
	Private Outdoor Open Space
	Children's Play Space
	Inaccessible Green Roof
	Property Line

JUL 07 2020  
**DP 18-837117**  
 PLAN # 57



no.	date:	item:
12	July 09-20	Issued for DP Panel
11	July 09-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 04-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for Staff Comments(2)
4	Sep 04-19	Issued for DP Re-Submission
3	Apr 20-19	Issued for DP Re-Submission
2	Nov 15-18	Issued for DP Re-Submission
1	Sept 18-18	Issued for DP



Project:  
**Resid'l Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.**

Drawn by: ROC  
 Checked by: JD  
 Date: June 29th 2019  
 Scale: NTS  
 Drawing Title:

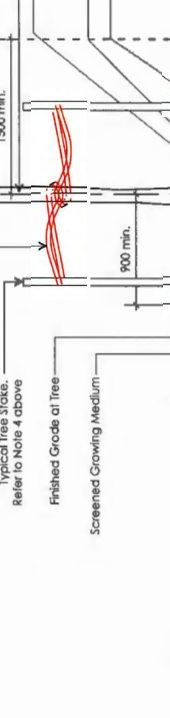
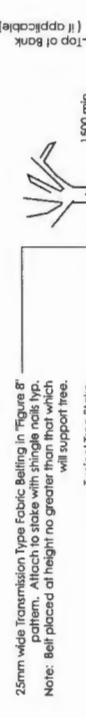
Landscapce CCAP Amenity  
 Calculations  
 Level 4  
 No.: 17020

Sheet No.: L-1.17

Depth of Growing Medium Total (mm)	Variation 1		Variation 2	
	Area (M <sup>2</sup> )	Size of Surface Square	Area (M <sup>2</sup> )	Size of Surface Circle
450	11.11	3.3 M x 3.3 M	3.80 M Ø	
600	8.33	2.9 M x 2.9 M	3.25 M Ø	
750	6.67	2.6 M x 2.6 M	2.90 M Ø	

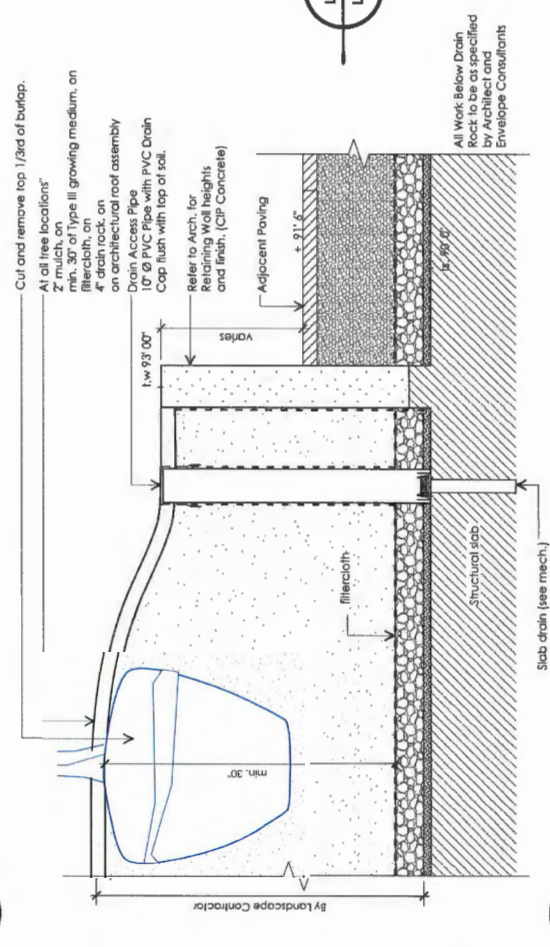
**General Notes:**

- Do not cut Tree Leader.
- Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Distillation.
- Minimum depth of stable embankment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
- Provide min. 5 cubic meters of growing medium per tree.
- Refer to Growing Medium Chart below for surface area depth of Growing Medium.

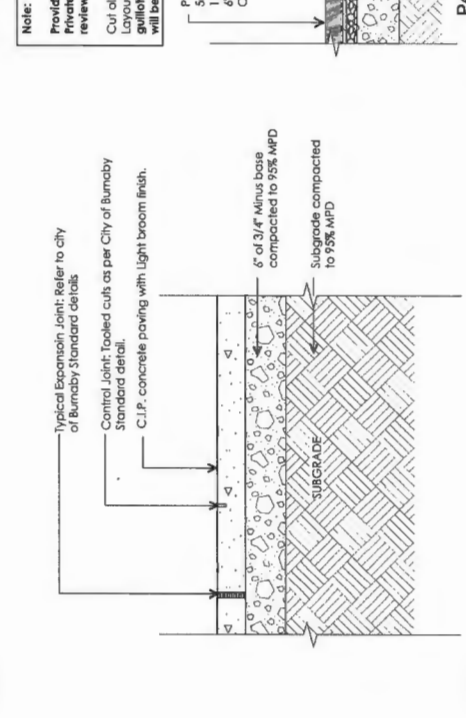


**NOTE:** 1/4" DEEP ROOT BARBERS TO CITY OF BURNABY STANDARDS ON BOTH SIDES OF TREE FOR ALL STREET TREES

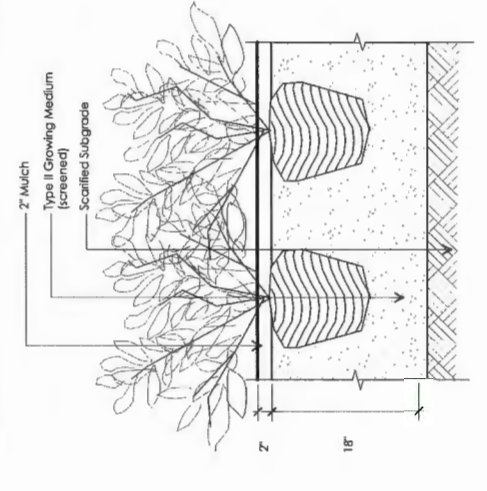
**Typical Deciduous Tree Planting on Grade**  
Scale: 1" = 1'-0"



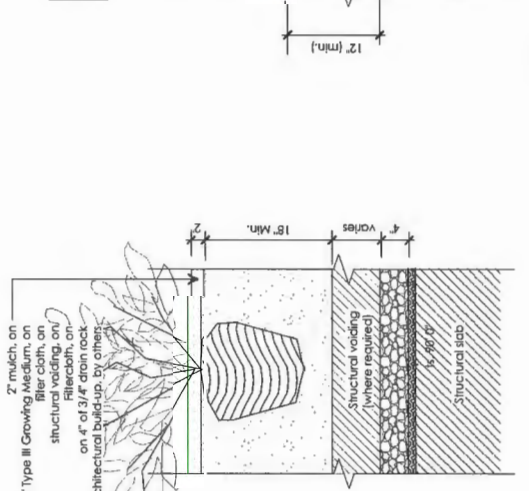
**Tree Planting on slab**  
Scale: 1" = 1'-0"



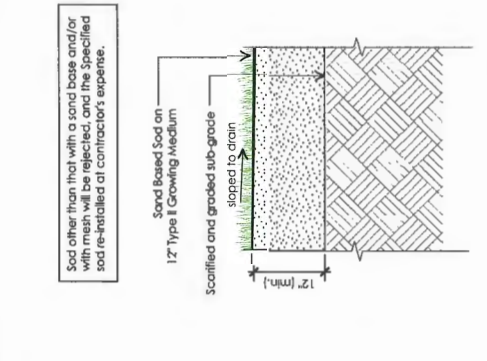
**Tree Planting on slab**  
Scale: 1" = 1'-0"



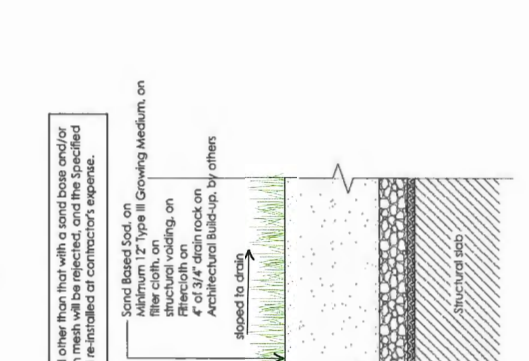
**Typical Shrub Planting on Grade**  
Scale: 1" = 1'-0"



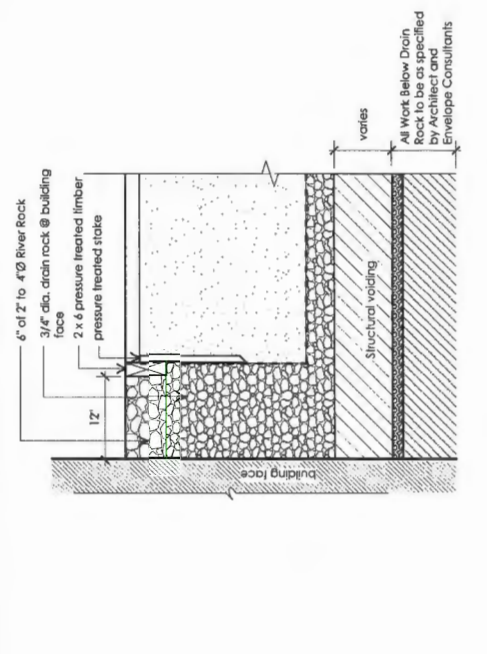
**Shrub planting on slab**  
Scale: 1" = 1'-0"



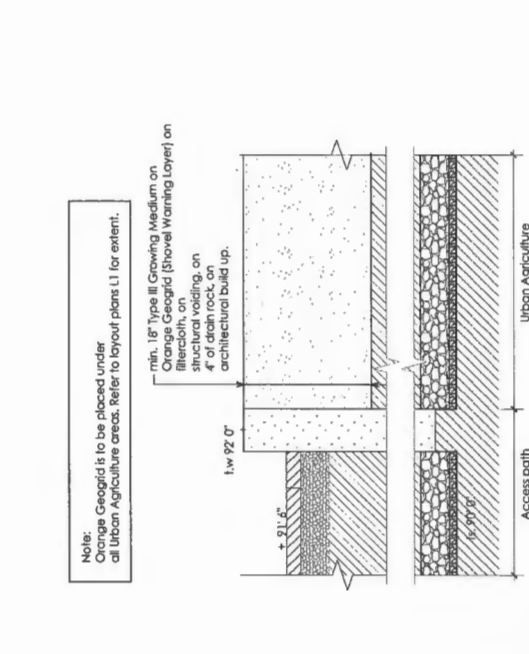
**Sodded Lawn on Grade**  
Scale: 1" = 1'-0"



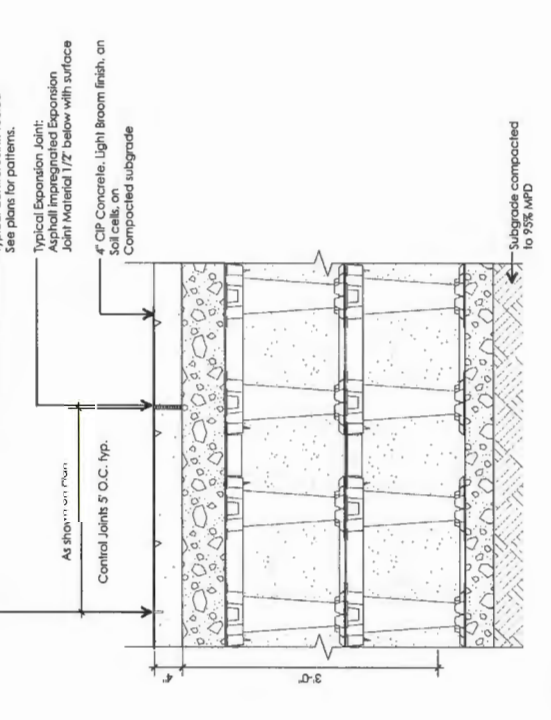
**Sodded Lawn on Grade / Slab**  
Scale: 1" = 1'-0"



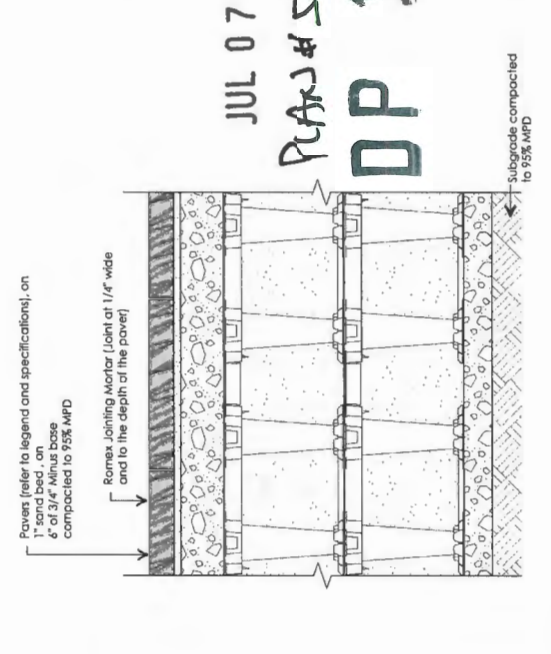
**Gravel Drip Strip at Building Face**  
Scale: 1" = 1'-0"



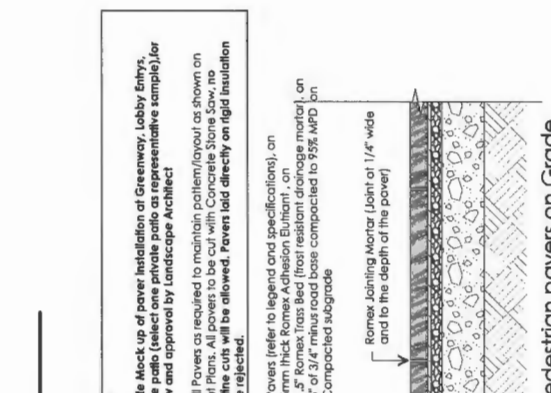
**Urban Agriculture @ Level 4**  
Scale 1/2" = 1'-0"



**CIP Concrete sidewalk on structural soil - On grade**  
Scale: 1" = 1'-0"



**Vehicular pavers on Soil Cells**  
Scale: 1" = 1'-0"



**Pedestrian pavers on Grade @ Building Entrances**  
Scale: 1" = 1'-0"

**Revisions:**

no.:	date:	item:
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
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6	Nov 04-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for Staff Comments(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar20-19	Issued for DP Re-submission
2	Nov15-18	Issued for DP Re-submission
1	Sept18-18	Issued for DP

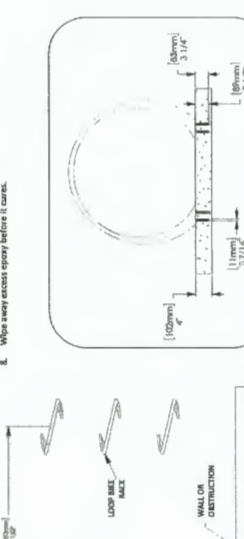
**durantekreuk**  
Durantekreuk Ltd.  
105 West 31st Avenue Vancouver  
BC V6L 1N5  
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www.dkbc.ca

**Project:**  
Resid'l Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.

**Drawn by:** ROC  
**Checked by:** JD  
**Date:** June 28th 2018  
**Scale:** As Shown  
**Working Title:**

**JUL 07 2020**  
**PLAN # 58 Landscape Details**  
**DP 18-837117**  
**Project No.:** 17020  
**Sheet No.:**

**NOTE:**  
Provide Mock up of paver installation at Private patio (select one private patio as representative sample) for review and approval by Landscape Architect  
Cut all Pavers as required to maintain pattern/layout as shown on Layout Plans. All pavers to be cut with Concrete Stone Saw, no guideline cuts will be allowed. Pavers laid directly on rigid insulation will be rejected.  
Pavers refer to legend and specifications)  
on min. 4" bed eye gravel, on structural voiding, on filter cloth, on 4" drain rock, on architectural roof assembly  
Note: Pavers to be flush with adjacent surfaces

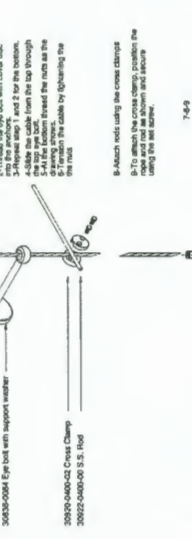


All Work Below On Envelope as specified by Architect and Consultants  
varies

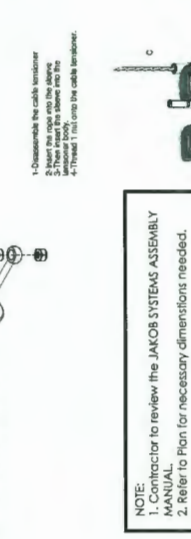
**Ld-1**  
**L-1.8**  
Paving Slabs over Parkade  
Scale: 1" = 1'-0"



**Ld-2**  
**L-1.3**  
Site Furniture Connection on Pavets on Grade  
Scale: 1" = 1'-0"



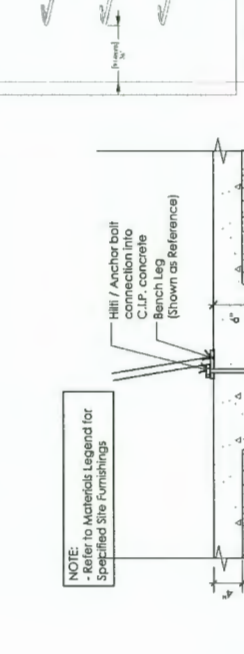
**Ld-3**  
**L-1.3**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



**Ld-4**  
**L-1.3**  
Private Residence Gate and Fence at Private Patios  
Scale: 1" = 1'-0"



**NOTE:**  
Refer to Materials Legend for Specified Site Furnishings

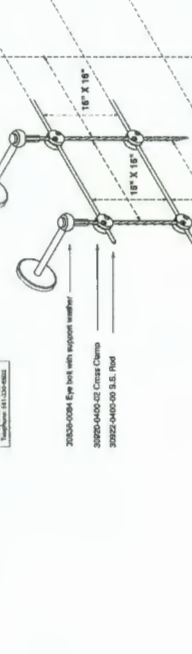


NOTE: Refer to Materials Legend for Specified Site Furnishings

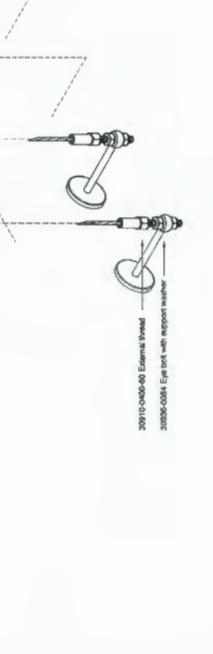
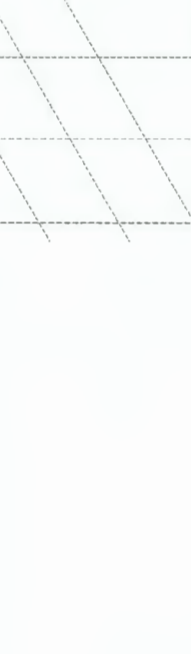
**Ld-5**  
**L-1.2**  
Jackob trellis system - Ground Level  
Scale: NTS



**Ld-6**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



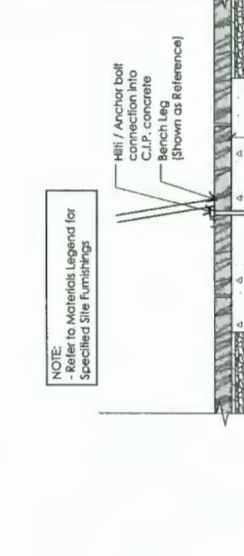
**Ld-7**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



**Ld-8**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"

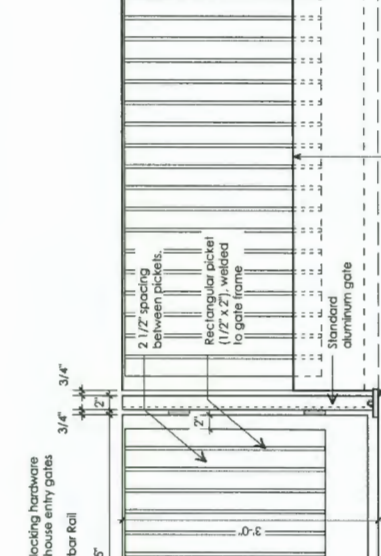


**NOTE:**  
Refer to Materials Legend for Specified Site Furnishings

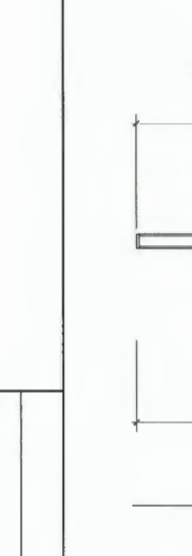


NOTE: Refer to Materials Legend for Specified Site Furnishings

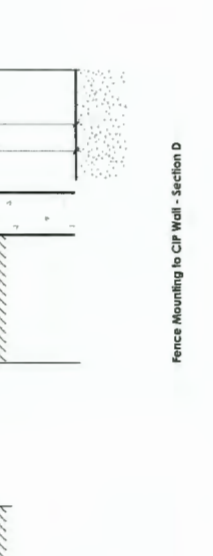
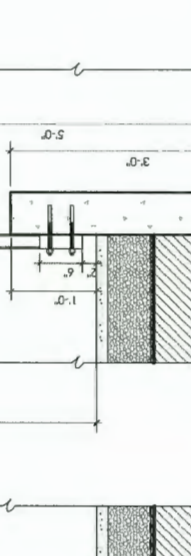
**Ld-9**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



**Ld-10**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



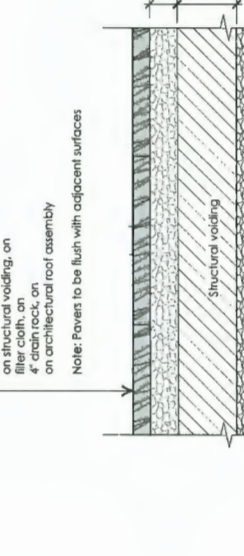
**Ld-11**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



**Ld-12**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"

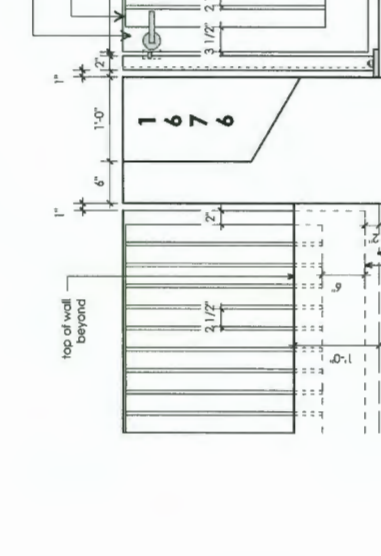


**NOTE:**  
Refer to Materials Legend for Specified Site Furnishings



NOTE: Refer to Materials Legend for Specified Site Furnishings

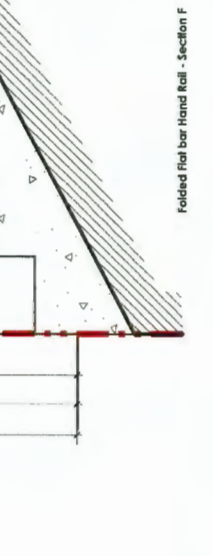
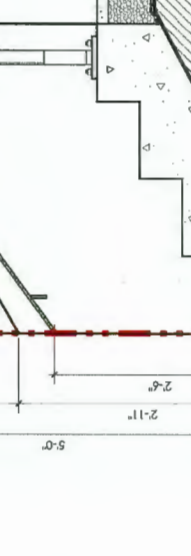
**Ld-13**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



**Ld-14**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



**Ld-15**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



**Ld-16**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



**NOTE:**  
Refer to Materials Legend for Specified Site Furnishings



NOTE: Refer to Materials Legend for Specified Site Furnishings

**Ld-17**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



**Ld-18**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



**Ld-19**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



**Ld-20**  
**L-1.2**  
Site Furniture Connection on CIP Concrete sidewalk on Grade  
Scale: 1" = 1'-0"



www.durantekrek.com PH: 604.684.2541

DATE: February 2, 2018

PROJECT: Resid'l Development Park Residences PH2 Tower C + D + E 6333-6399 Mah Bing Street Richmond, B.C.

Durante Kreuk Ltd. 102 - 1637 West 5th Avenue Vancouver BC V6J 1N5  
1: 604 684 4611  
1: 604 684 0577  
www.dkbc.ca

Revisions:  
no.: date: item:

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2	Nov 15-18	Issued for DP Re-submission
1	Sept 18-18	Issued for DP

Drawn by: ROC  
Checked by: JD  
Date: June 28th 2018  
Scale: AS SHOWN  
Drawing Title: Landscape Details

Project No.: 17020  
Sheet No.: PLAN #59  
Date: JUL 07 2020  
Scale: 1" = 1'-2

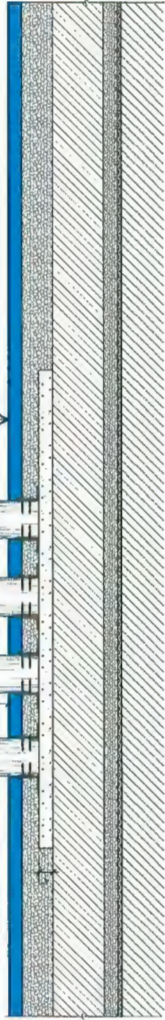
Project No.: 17020  
Sheet No.: PLAN #59  
Date: JUL 07 2020  
Scale: 1" = 1'-2

Project No.: 17020  
Sheet No.: PLAN #59  
Date: JUL 07 2020  
Scale: 1" = 1'-2

**General Notes:**  
 1. Refer to Architectural Drawings for all structural and finishing components for all slip concrete work.  
 2. Refer to the Engineer's Shop Drawings for all specified metal/wood connections.  
 3. All lumber to be Western Red Cedar #1 grade timber, S4S, lengths to suit.  
 4. Salvaged timber log, smooth sanded and inspected by contractor for any sharp edges, or abnormalities - Do not stain.

Poured in Place Rubber Safety Matting by Marathon Surfaces. Installed to manufacturers specifications on a min. 4" of free draining compacted base to 95-98 MFD (lo structural concrete) on a 4" of drain rack, on filter cloth, on architectural build up.

1" dia. Western red cedar salvaged log steps. Refer to Plan for locations.



**Id-01**  
 L-1.9  
 Timber steps and Play Table and seat - Level 4 Courtyard  
 Scale: 1/2" = 1'-0"

**General Notes:**  
 1. Provide stamped Engineered Shop Drawings for all specified metal/wood connections prior to manufacturing, for review by Landscape Architect.

**Children's Play Equipment and Structural General Notes:**  
 1. Provide stamped Engineered Shop Drawings for all specified metal/wood connections prior to manufacturing.  
 2. All natural, non-toxic oil wood finish, such as Bordo PRO-100-OR, color natural, to be used only.  
 3. All wood is to conform with the CSA Guidelines for Children's Playpieces and Equipment.  
 4. All wood is to be Western Red Cedar #1 grade timber, S4S, lengths to suit.  
 5. Provide Shop Drawings for review by Landscape Architect.  
 6. Prior to construction ensure that CSA and CoV Licensing (all zones are met).  
 7. All lumber to be Western Red Cedar #1 grade timber, S4S, lengths to suit.  
 8. Carpenter/ Specialized Scope does not include the fabrication/supply of specified metal components

**Play Structures**  
 1. Climb to be finished smooth with no sharp edges.  
 2. Play storage equipment including latches to be constructed with no pinching hazard or any pole or hazard to users.

**NRO605**

**Dress-up Cottage**



The Roblox Dress-Up Cottage is an immersive play structure for exploration and dramatic play and is designed to encourage children's imagination and creativity for toddlers, babies and young children. The many facets and dramatic play details: chest, bed, mirror and steps with a door, encourage children to explore their imagination. These features also stimulate logical thinking, the understanding of object permanence and creativity. The structure is designed to be used as a dramatic play structure and is suitable for use as well as dramatic play. It is designed to be used as a dramatic play structure, stimulating speech, motor skills as well as social skills.

**Product Line** Organic Robloxia  
**Category** Themed play, Check and steps  
**Age Range** 2-5  
**Total Height (CM/FT)** 114/3.75  
**Safety Zone** 11.4 m/2



Product is available as FSC Certified (FSC-C04453) Robloxia (Robloxia wood as request).

**Id-02**  
 L-1.9  
 Playhut - Level 4 Courtyard  
 Scale: NTS

**KOMPAN!**  
 Let's play

**NRO111**  
**Dolphin Springer**



The product is available as FSC Certified (FSC-C04453) Robloxia (Robloxia wood as request).

**Product Line** Organic Robloxia  
**Category** Traditional play, Sand and water play  
**Age Range** 2-5  
**Total Height (CM)** 83  
**Safety Zone** 7.3 m/2



Product is available as FSC Certified (FSC-C04453) Robloxia (Robloxia wood as request).

**Id-03**  
 L-1.8  
 Spring Seat - Level 4 Courtyard  
 Scale: NTS

**NRO212**

**Kids Table with 4 sitting poles**



**Product Line** Organic Robloxia  
**Category** Traditional play, Sand and water play  
**Age Range** 6-15  
**Max. Height (CM/FT)** 50  
**Total Height (CM)** 50  
**Safety Zone** 13.3 m/2

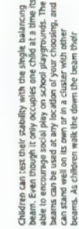


Product is available as FSC Certified (FSC-C04453) Robloxia (Robloxia wood as request).

**Id-02**  
 L-1.3  
 Kids Table and Chairs - Level 4 Courtyard  
 Scale: NTS

**NRO802**

**Single balance beam**



**Product Line** Organic Robloxia  
**Category** Traditional play, Sand and water play  
**Age Range** 4-7  
**Total Height (CM)** 47  
**Safety Zone** 13.3 m/2



Children can test their stability with one single balancing beam. The beam is made of wood and is designed to be able to encourage social play on school playgrounds. The beam can be used in any location of your playground, and beams. As children walk the beam they learn their balance and coordination will be challenged.

**Id-03**  
 L-1.3  
 Natural balance beam - Level 4 Courtyard  
 Scale: NTS

**KPL01401**

**Play tower with climbing net, wood post & plastic slide**



This exciting play structure offers climbing and challenging activities. A rope climbing wall leads the child to the platform. From the platform the child can take a slide into the big net. The net is made of soft and safe material. The maximum height of the net is 1.8 m.



**Product Line** Play Systems  
**Category** SHEDDY PLAY Towers  
**Age Range** 2-5  
**Total Height (CM)** 135  
**Safety Zone** 28.6 m/2

Product is available as FSC Certified (FSC-C04453) Robloxia (Robloxia wood as request).

**Id-03**  
 L-1.3  
 Play Structure - Level 4 Courtyard  
 Scale: NTS

no.:	date:	item:
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3	Mar20-19	Issued for DP Re-submission
2	Nov15-18	Issued for DP Re-submission
1	Sept18-18	Issued for DP Re-submission

Revisions:  
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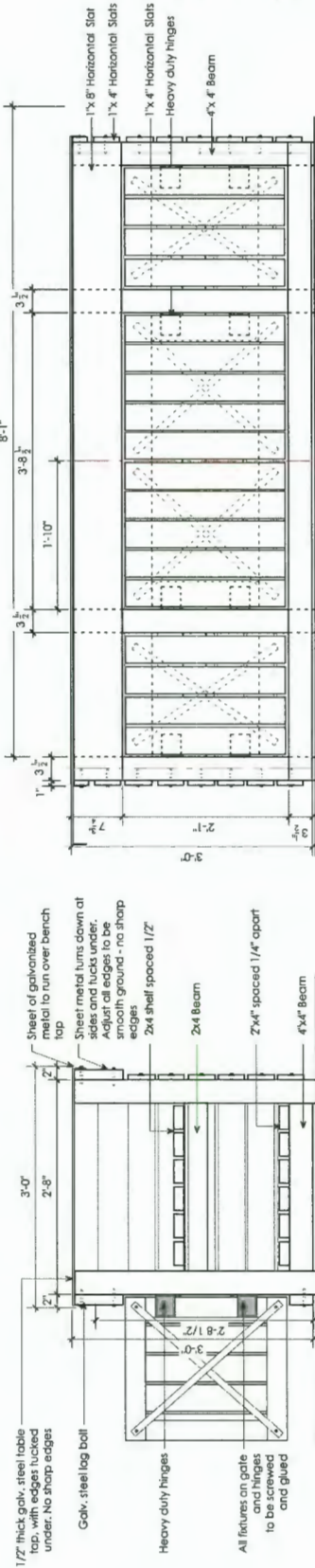
**Project:**  
 Resid'l Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.

**Drawn by:** ROC  
**Checked by:** JD  
**Date:** June 28th 2018  
**Scale:** As Shown  
**Drawing Title:**

**Landscpe Details**  
**Project No.:** 17020  
**Sheet No.:** L-2.3

**DP 18-837117**  
**PLAN #60**  
**JUL 07 2020**

- Notes:**
1. Submit shop drawings for all metalwork FOR REVIEW AND APPROVAL PRIOR TO ASSEMBLY in accordance with Section 05500.
  2. Confirm all dimensions on site. Modify as required to maintain design intent.
  3. All bolt holes to be pre-drilled before hot-dip galvanization.
  4. Galvanized steel bracket to be drilled construction.
  5. All fixtures on gate and hinges to be screwed and glued.

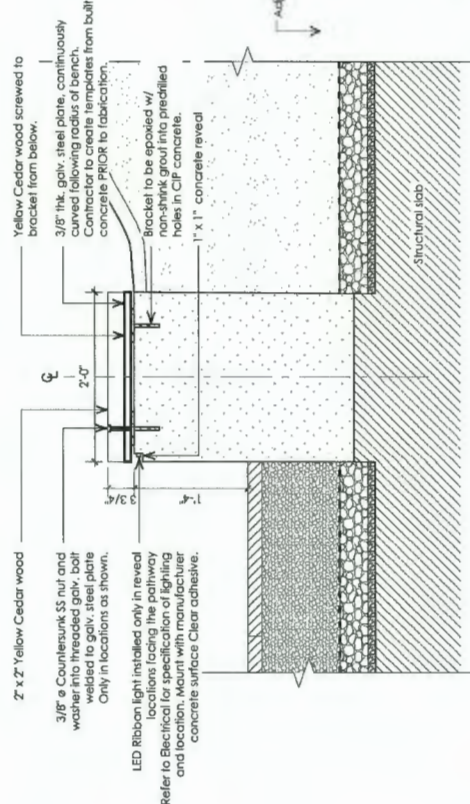


L4-03 Potting Table & Tool Storage - Levels 4

Scale: 1" = 1'-0"

L4-03  
L-1.6

- Notes:**
1. All bench steel brackets to be hot-dipped galvanized steel.
  2. Wood Members to be fabricated and Bench Top to be assembled in shop.
  3. Submit shop drawings for approval prior to fabrication.
  4. Bench heights vary. Refer to Plan for layout.
  5. Contractor shall field measure and create templates of concrete profile prior to fabrication.



L4-05 Curved Wood Bench on Concrete Wall (Level 4 Buildings D&E)

Scale: 1" = 1'-0"

L4-05  
L-1.7

no.:	date:	Item:
1	Sept 18-18	Issued for DP
2	Nov 15-18	Issued for DP Re-submission
3	Mar 20-19	Issued for DP Re-submission
4	Sep 04-19	Issued for DP Re-submission
5	Oct 21-19	Issued for Staff Comments(3)
6	Nov 04-19	Issued for Staff Comments(4)
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11	July 08-20	Revision for Staff Report(3)
12	July 09-20	Issued for DP Panel



Project:

**Resid'l Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.**

Drawn by: ROC

Checked by: JD

Date: June 28th 2018

Scale: As Shown

Drawing Title:

**Landscape Details**

**DP 18-837117**

*PLAN #61*

Project No.: 17020

Sheet No.:

JUL 07 2020

L-2.4



no.	date:	item:
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
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2	Nov15-18	Issued for DP Re-submission
1	Sept18-18	Issued for DP

Revisions:

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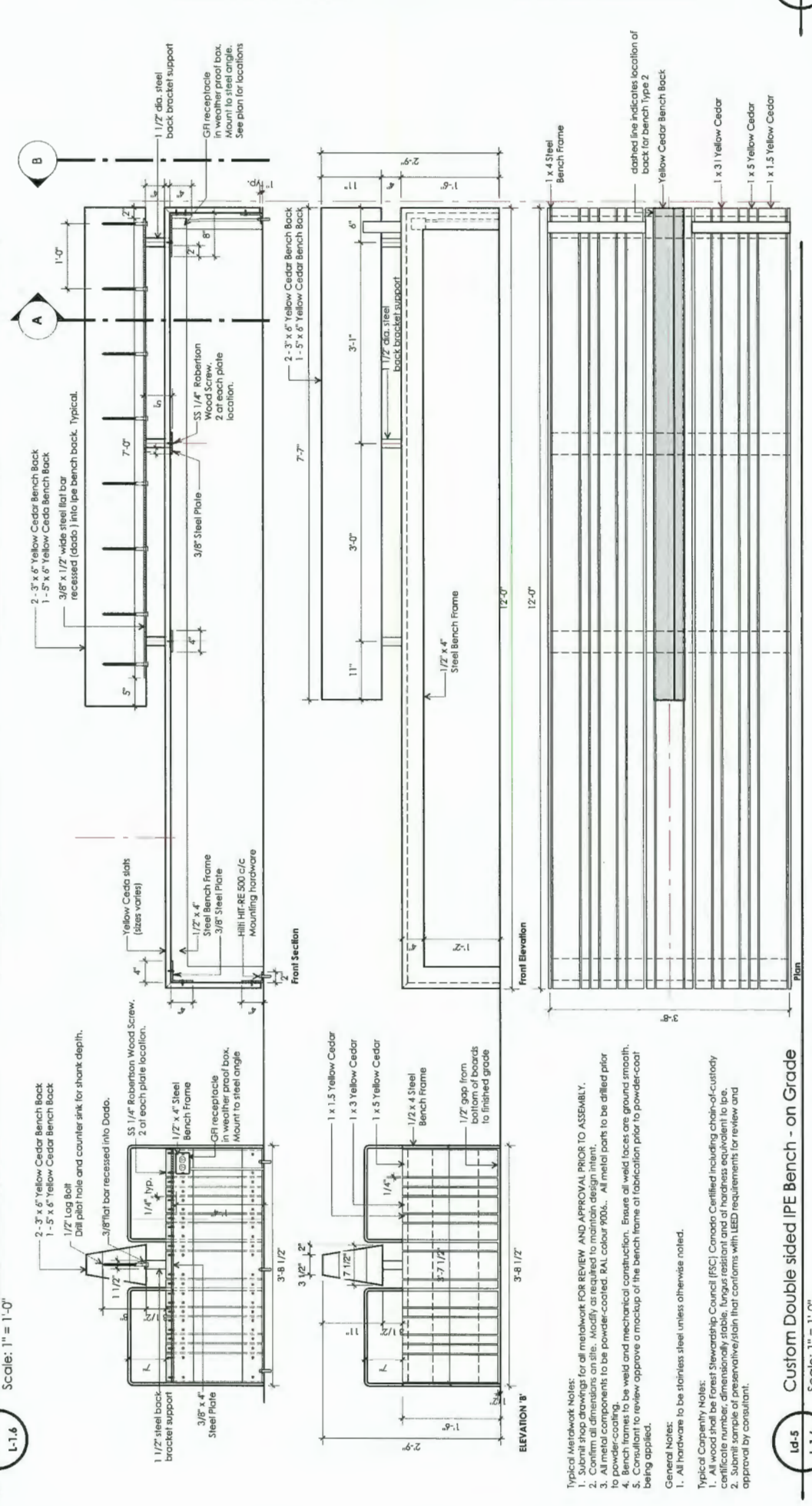
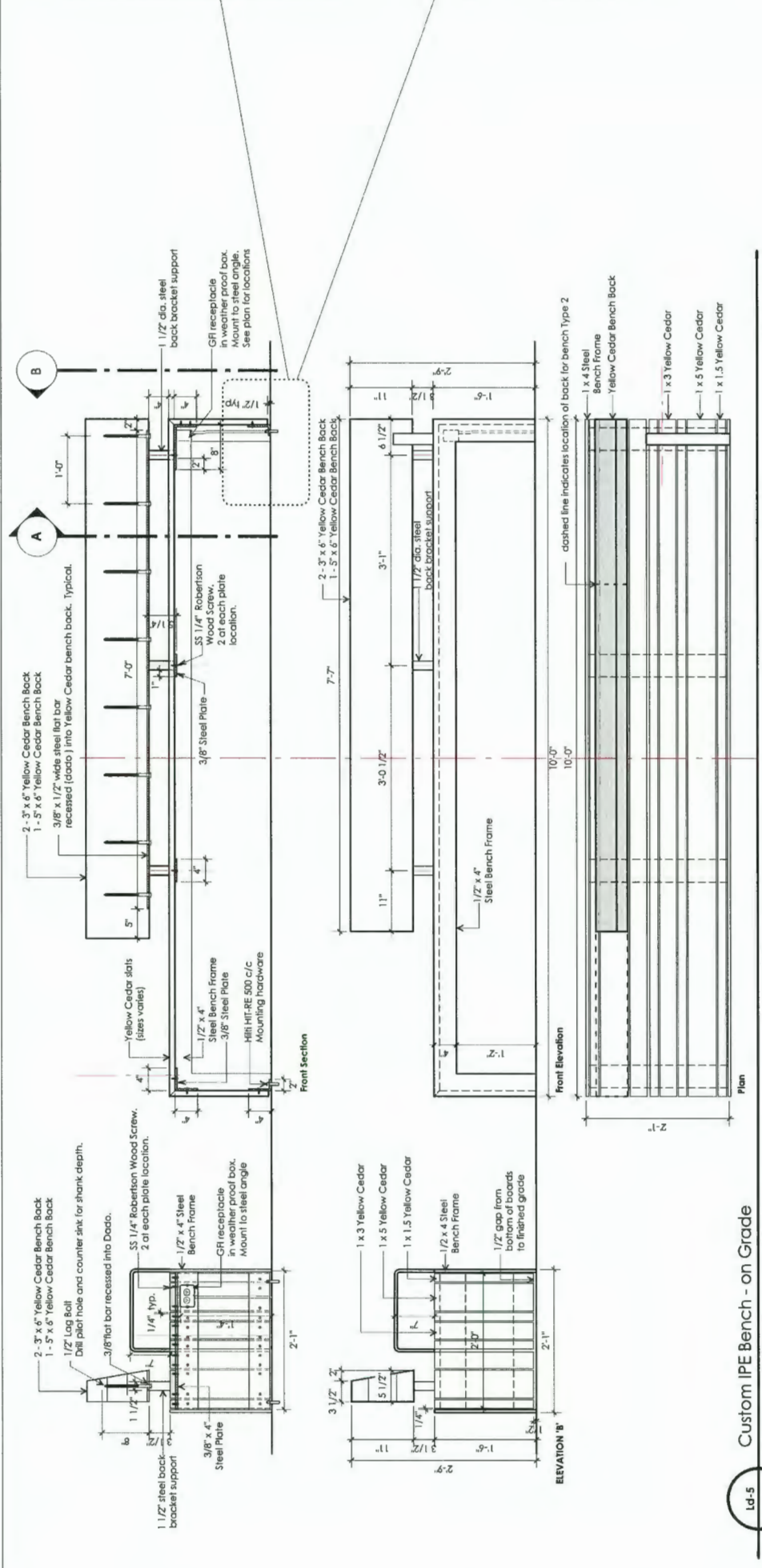
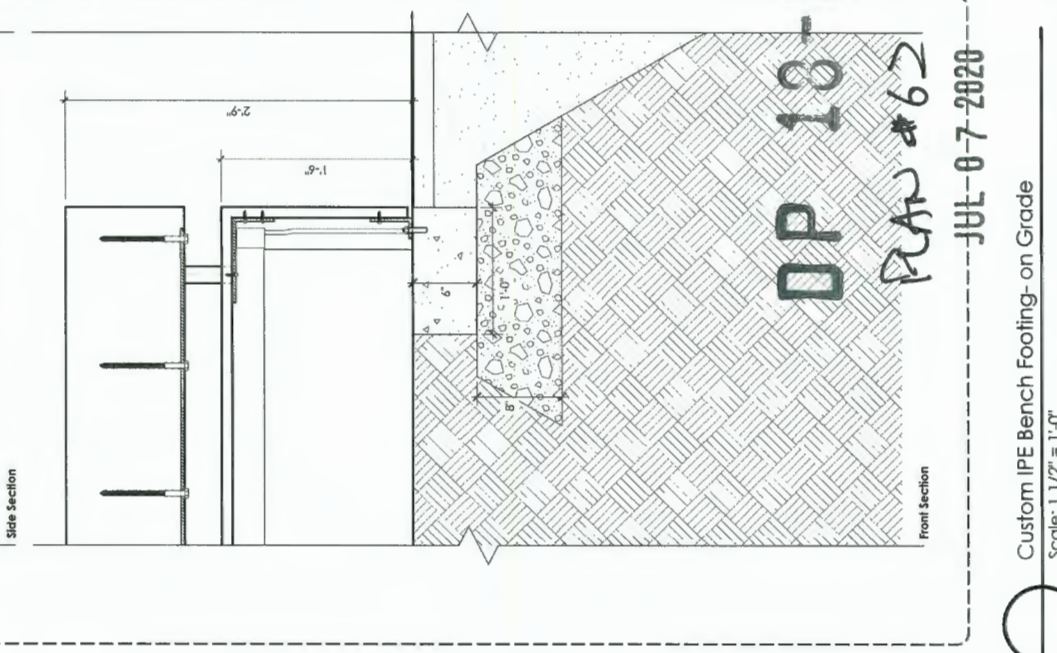
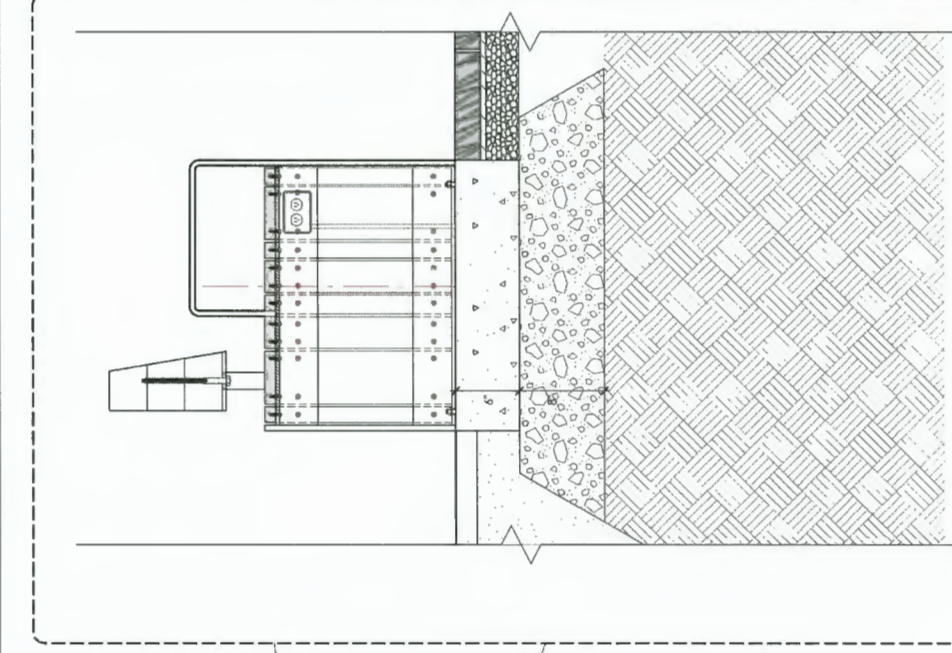
Project: **Resid'I Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.**

Drawn by: RDC  
 Checked by: JD  
 Date: June 28th 2018  
 Scale: As Shown

Drawing Title: **Landscape Details**

Project No.: **17020**

Sheet No.: **L-2.5**



Ld-5  
 L-1.6  
 Custom IPE Bench - on Grade  
 Scale: 1" = 1'-0"

Ld-5  
 L-1.6  
 Custom Double sided IPE Bench - on Grade  
 Scale: 1" = 1'-0"

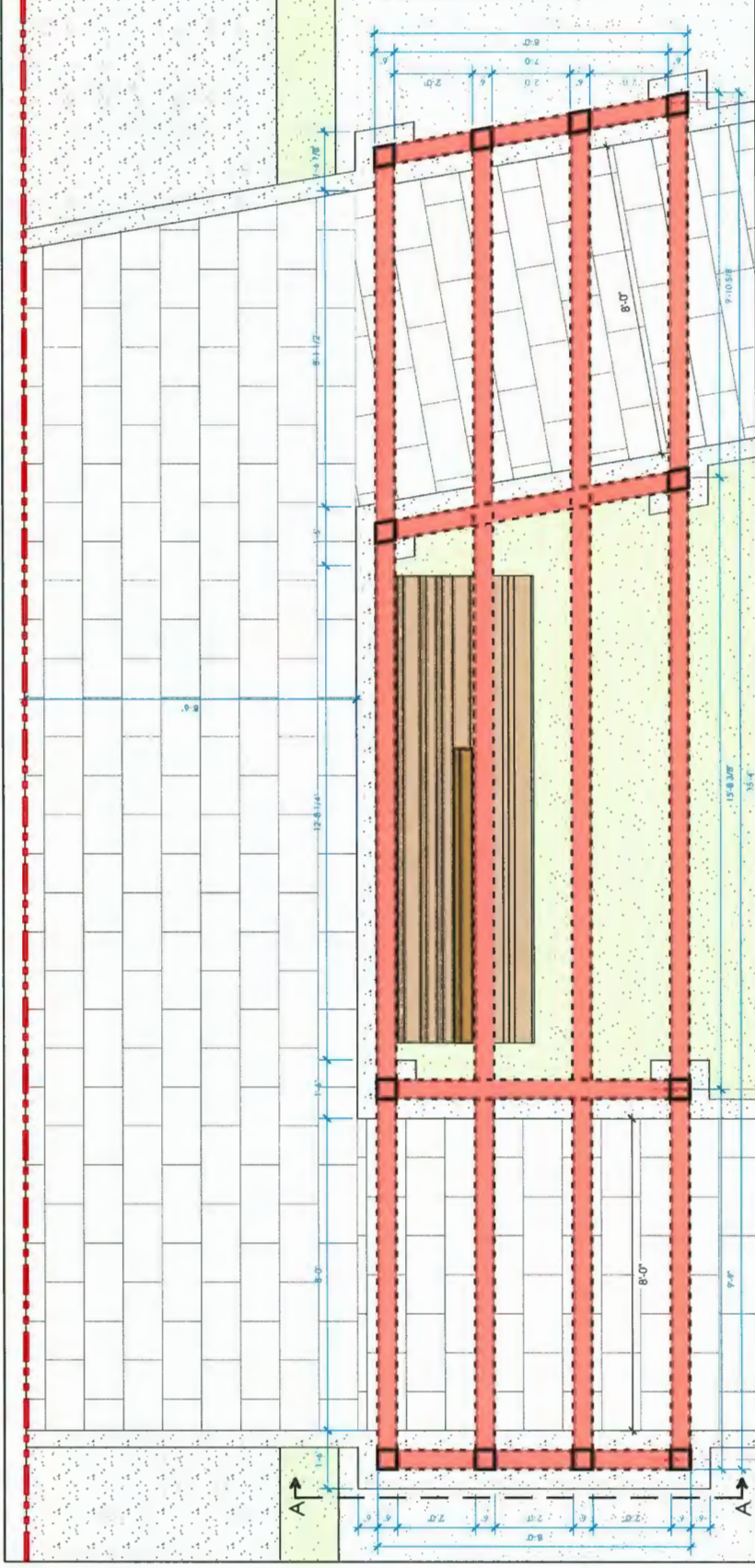
Typical Metalwork Notes:  
 1. Submit shop drawings for all metalwork for REVIEW AND APPROVAL PRIOR TO ASSEMBLY.  
 2. Confirm all dimensions on site. Modify as required to maintain design intent.  
 3. All metal components to be powder-coated. RAL colour 9005. All metal parts to be drilled prior to powder-coating. No weld and mechanical connections. Excess oil/weld spatter are ground smooth.  
 4. Consultant to review approve a mockup of the bench frame at fabrication prior to powder-coat being applied.

General Notes:  
 1. All hardware to be stainless steel unless otherwise noted.

Typical Compliance Notes:  
 1. All wood shall be Forest Stewardship Council (FSC) Canada Certified including chain-of-custody certificate number, dimensionally stable, fungus resistant and of hardness equivalent to larch.  
 2. Submit sample of preservative/finish that conforms with LEED requirements for review and approval by consultant.

DP 18-  
 PLAN #62  
 JUL-07-2020

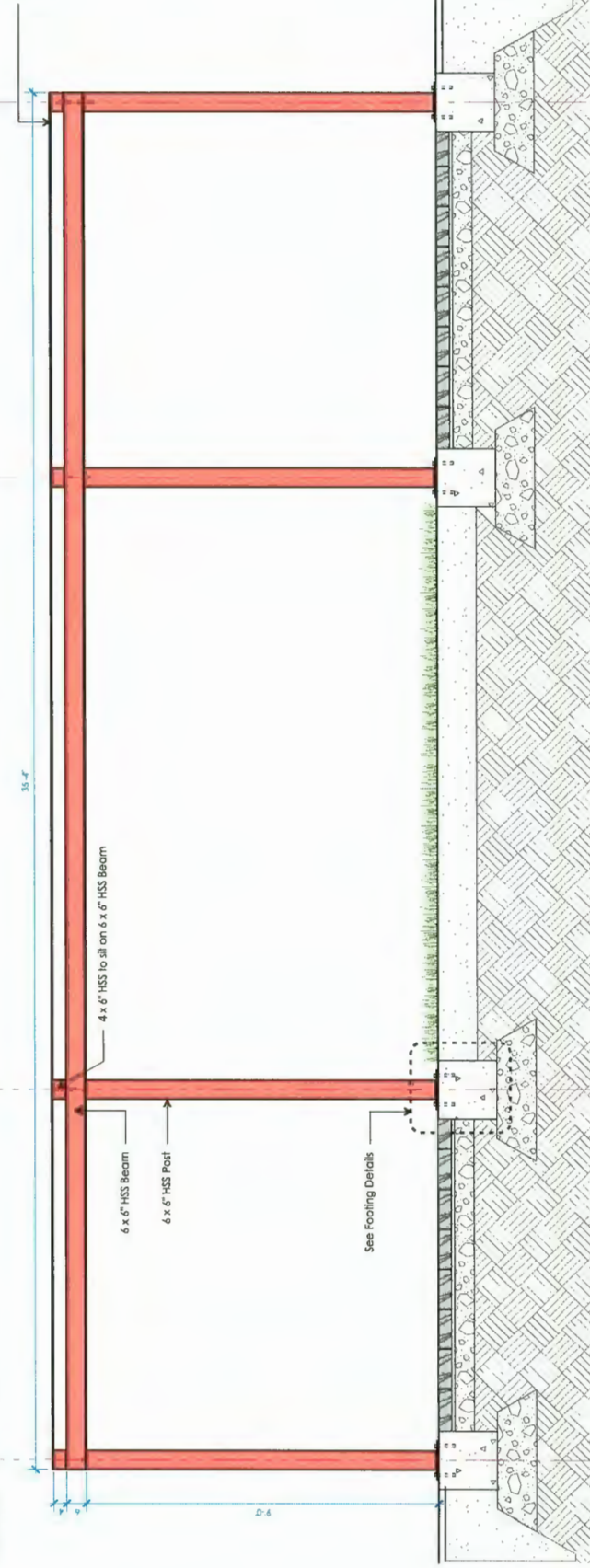
Custom IPE Bench Footing-on Grade  
 Scale: 1 1/2" = 1'-0"



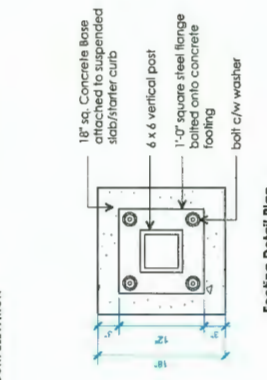
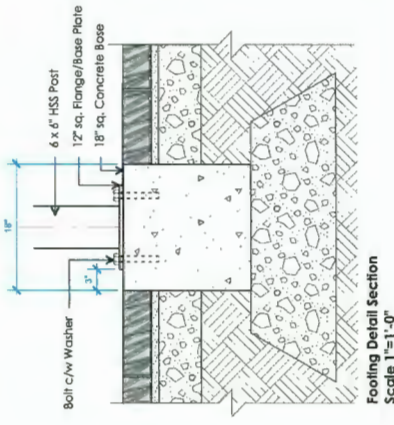
PLAN DETAIL



Perforated panels  
- attached to HSS Beam  
- panel by Westem group

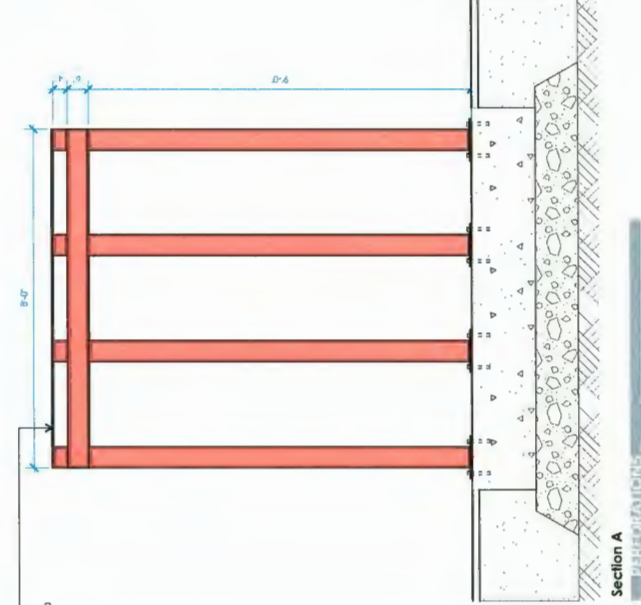


SOUTH ELEVATION



Note:  
Structural details to be confirmed. See Structural Engineer's drawings

- Attachment Notes**
1. Review Engineer's drawings for release and approval or all metalwork prior to fabrication and in accordance with specification section 05 50 00.
  2. Confirm dimensions on site. Modify shop drawings as required to maintain design intent.
  3. All steel components shall be galvanized steel.
  4. All metal components to be cut or drilled, all welds face ground smooth prior to powder coat application.
  5. Powder coated metal work Assemblies to be off-site construction.
  6. All metal work shall be galvanized steel to be powder coated unless noted otherwise.
  7. All fasteners shall be stainless steel unless otherwise noted.
  8. All fastening hardware to be stainless steel unless otherwise noted.
  9. All welds to be aluminum unless otherwise noted.
  10. Welds to be mechanically fastened to concrete footings and face mounted to concrete quarter walls as detailed.



Section A



Acad Matrix  
Main: 3/8" x 1/4" x 1/4" x 1/4" x 1/4"  
Sub: 1/8" x 1/8" x 1/8" x 1/8" x 1/8"  
Over Area: 24 3/8" x 36"

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Revisions:

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Project:  
**Resid'l Development  
 Park Residences PH2  
 Tower C + D + E**  
 6333-6399 Mah Bing Street  
 Richmond, B.C.

Drawn by: ROC

Checked by: JD

Date: June 28th 2018

Scale: As Shown

Drawing Title:

**Landscape Details**

**18-837117**

Project No.: 17020 **PLAN # 63**

Sheet No.: **JUL 07 2020**  
 L-2.6



**2x4 FRAMING OUTSIDE OF BRANCHES (DRIFTLINE)**

**2x4 STAKED INTO GROUND**

**PLASTIC MESH SCREEN**

1.5m Min.

**NOTE:** WOOD FRAME CONSTRUCTION STAYED INTO THE GROUND IS REQUIRED. (LOCAL TOWNSHIP CODES MAY VARY)

TREE TRUNK DIAMETER	TOTAL SCREEN HEIGHT	TOTAL SCREEN AREA
25	1.5	0.56
30	1.8	0.81
35	2.1	1.10
40	2.4	1.44
45	2.7	1.82
50	3.0	2.25
55	3.3	2.72
60	3.6	3.24
65	3.9	3.80
70	4.2	4.41
75	4.5	5.06
80	4.8	5.76
85	5.1	6.50
90	5.4	7.29
95	5.7	8.12
100	6.0	9.00

**TREE PROTECTION AND TREE PROTECTION DISTANCE TABLE**

TECH: F. CHOZE SCALE: 1:10  
DATE: DEC. 2010 DRAWING NUMBER: IR-C-4  
REV: 1 SHEET NO.: 1 OF 1

Ld-1 T-1.1 Tree Protection Detail NTS

**TRUNK PROTECTION**

**TRUNK PROTECTION DISTANCE TABLE**

TECH: F. CHOZE SCALE: 1:10  
DATE: APR. 2010 DRAWING NUMBER: IR-C-3  
REV: 1 SHEET NO.: 1 OF 1

Ld-1 L-1.2 Tree Planting Detail NTS

**ROOT BARRIER DETAIL - PLAN (DETACHED SIDEWALK)**

TECH: F. CHOZE SCALE: 1:10  
DATE: APR. 2010 DRAWING NUMBER: IR-C-3  
REV: 1 SHEET NO.: 1 OF 1

Ld-1 L-1.2 Root Barrier Detail NTS

**IRRIGATION DETAIL - BOULEVARD TREE WITH GRATE**

TECH: F. CHOZE SCALE: 1:10  
DATE: APR. 2010 DRAWING NUMBER: IR-C-3  
REV: 1 SHEET NO.: 1 OF 1

Ld-1 L-1.2 Irrigation Detail NTS

**Automatic Valve Box Detail**

TECH: F. CHOZE SCALE: 1:10  
DATE: FEB. 2010 DRAWING NUMBER: IR-C-4  
REV: 1 SHEET NO.: 1 OF 1

Ld-1 T-1.1 Automatic Valve Box Detail NTS

**MEDIAN/BOULEVARD IRRIGATION SPRINKLER DETAIL**

TECH: F. CHOZE SCALE: 1:10  
DATE: APR. 2010 DRAWING NUMBER: IR-S-2  
REV: 1 SHEET NO.: 1 OF 1

Ld-1 L-1.2 Lawn Irrigation Sprinkler Detail NTS

**Above Ground Valve Chamber**

TECH: F. CHOZE SCALE: 1:10  
DATE: APR. 2010 DRAWING NUMBER: IR-C-2  
REV: 1 SHEET NO.: 1 OF 1

Ld-1 L-1.2 Above Ground Valve Chamber NTS

**Typical Master Valve & Flow Meter Detail**

TECH: F. CHOZE SCALE: 1:10  
DATE: FEB. 2010 DRAWING NUMBER: IR-C-3  
REV: 1 SHEET NO.: 1 OF 1

Ld-1 L-1.2 Master Valve & Flow Meter NTS

**Project:**  
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Tower C + D + E  
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**Drawn by:** ROC  
**Checked by:** JD  
**Date:** June 28th 2018  
**Scale:** As Shown

**Drawing Title:**  
Landscape Details

**Project No.:** 17020  
**Sheet No.:**

**DP 18-837117**

**RAW 65**

**JUL 07 2020**

**L-2.8**

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**SUPPLEMENTARY SPECIFICATIONS  
AND DETAIL DRAWINGS**

(To complement Master Municipal Construction Documents (MMCD) – Platinum Edition)

**SCHEDULE G**

**SUPPLEMENTARY SPECIFICATIONS AND DETAIL  
DRAWINGS FOR TREE PLANTING ON SIDEWALKS AND  
BOULEVARDS**

The Supplementary Specifications hereunder shall apply to all tree planting work in the City of Richmond, British Columbia, and shall be read in conjunction with the Master Municipal Construction Documents (MMCD) – Platinum Edition, except in particular items where specific reference are made to items under the MMCD.

**TABLE OF CONTENTS**

	<u>Page No.</u>
<b>SECTION 1 - MATERIALS</b> .....	34
1.1 Tree Species.....	34
1.2 Origin.....	34
1.3 Tree Dimensions.....	34
1.4 Plant Material.....	34
1.5 Condition.....	35
<b>SECTION 2 - INSTALLATION</b> .....	36
2.1 Subgrade and Topsoil.....	36
2.2 Time of Planting.....	36
2.3 Location of Planting - Trees.....	36
2.4 Planting Procedures.....	37
2.5 Plant Maintenance.....	37
<b>SECTION 3 - SUPPLEMENTARY DETAIL DRAWINGS</b> .....	38

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**SECTION 1 - MATERIALS**

- 1.0 Definition**
- .1 City shall mean authorized representative of the Engineering Inspection Department
- 1.1 Tree Species**
- .1 The selection of tree species shall approved by the City. Should the contractor determine that a different species is more appropriate, an alternate choice can be made. The developer/contractor shall not make substitutions without approval of the City.
- 1.2 Origin**
- .1 All plant material shall be nursery grown stock.
  - .2 All plant materials shall comply with the B.C.S.L.A./C.S.N.T./B.C.N.T.A. Landscape Standard for container grown plants.
- 1.3 Tree Dimensions**
- .1 Each tree shall have a caliper of 7cm or not be less than 3m in overall height unless otherwise approved by the City. Each tree shall have a sturdy, straight trunk. Lowest branch height on all trees shall be at 1.8m unless otherwise approved by the City. Each tree shall have a well-developed, spreading canopy. All trees shall be in wire baskets unless otherwise approved by the City. (Refer to Tables S-1 and S-2).
- 1.4 Root System**
- .1 All trees shall be in wire baskets unless otherwise approved by the City. Container grown stock shall have sufficiently well-established root system to hold the soil together when removed from the container. In all cases, the root system shall be well-developed and the root system shall be well-watered or rinsed and shall be sufficiently developed to guarantee successful transplantation.

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**TABLE S-1  
MINIMUM ROOTBALL DIAMETERS FOR CONIFEROUS TREES**

Minimum Rootball Diameter (cm)	Height (cm)	Dwarf and Medium	Tall and Columnar	Tall and Broad
30 cm	25	-	-	-
50 cm	30	25	25	25
80 cm	30	30	30	30
1.0 M	45	35	35	40
1.25 M	50	35	35	45
1.50 M	60	40	40	50
1.75 M	70	45	45	55
2.0 M	75	50	50	60
2.5 M	85	55	55	70
3.0 M	95	60	60	85

\* For conifers 300 cm and taller, caliper shall override height using the same caliper to rootball diameter as deciduous trees.

**TABLE S-2  
MINIMUM ROOTBALL DIAMETERS FOR DECIDUOUS TREES**

Caliper	Minimum Rootball Diameter (cm)	Zone 2 & Below	Zone 3 & Above
4	50	50	50
4.5	55	55	55
5	60	60	60
6	70	70	70
7	80	80	80
8	90	90	90
9	95	95	95
10	105	105	100
12.5	125	125	110
15	150	150	130
17.5	170	170	140
20	200	200	160

For every 2.5 cm of caliper over 20 cm, rootball diameter shall increase by 10 cm.

- 1.5 Condition**
- .1 All plant material shall be of good health and vigour with no visible signs of disease, insect pests, damage or other conspicuous deformations.
  - .2 The contractor is responsible for contacting the City for inspection and approval of the trees on site and before planting.

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**SECTION 2 - INSTALLATION**

- 2.1 Subgrade and Topsoil**
- .1 Prior to placing topsoil in boulevard planting areas, the subgrade shall be established at 300mm below finished grade for all ground cover areas, and 450mm below finished grade for all shrub areas.
  - .2 Grade transitions shall be smooth and even, and shall be such that ponding cannot occur on the subgrade surface.
  - .3 Debris, roots, branches, stones, building material, contaminated soil, visible weeds and anything else that may interfere with the proper growth and development of the planted boulevard, shall be removed from the subgrade prior to installing the topsoil.
  - .4 Screened topsoil shall be installed at the following minimum depths prior to shrub planting in the boulevard: ground cover areas - 300mm, shrub areas - 450mm.
- 2.2 Time of Planting**
- .1 Planting work is to be completed during normal planting seasons as dictated by prevailing weather conditions. Planting in frozen ground or with frozen rootballs is not acceptable.
  - .2 Planting will not be permitted during extremely hot, dry weather, or during heavy rain.
  - .3 All necessary precautions are to be taken to protect the plant material from prevailing weather conditions during transportation, storage and planting.
- 2.3 Location of Planting**
- .1 Trees are to be planted no more than 9.0m apart, unless otherwise approved by the City. The spacing between trees shall be approved by the City prior to planting. If underground obstructions are uncovered these are to be reported to the City for resolution.
- 2.4 Planting Procedures - Trees**
- .1 All trees shall be planted as per Supplementary Detail Drawings G-1-SO and G-2-SO.
  - .2 All trees shall be planted, set plumb, in holes large enough to accommodate the entire rootball plus topsoil. Therefore, holes should be excavated the diameter of the rootball plus 500 mm. The holes shall then

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be backfilled with topsoil to bring the plant material to the depth they were originally growing in the nursery. All trees shall be planted so that after settlement they will be at the original growing medium depth.

- .3 Ensure top of rootball is at or slightly above finished grade. Remove top basket "filling loops" and top row of basket. Remove any soil on top of "original" rootball.
- .4 Once the trees are in place, the holes are to be backfilled with topsoil mixed with a high phosphate fertilizer applied at a rate according to the manufacturer's recommendations. The holes shall be backfilled, tamped and watered in layers to help secure the tree and eliminate large air pockets.
- .5 Once planted, the trees are to be securely staked using two (2) 8mm diameter galvanized steel stakes, one on each side of the trunk, secured with approved equal branding attached to each stake with a shingle nail.
- .6 Install Aborguard® to protect the tree trunk.

**2.5 Planting Procedures**

- .1 All plants for planting areas shall be delivered to the site and protected from sun and drying winds. Plants that cannot be planted immediately on delivery shall be kept well watered.
- .2 Plants shall be planted so that after settlement they will be at the original growing medium depth. Allow for settling of the growing medium after planting so that the total depth of the rootball remains in the topsoil.
- .3 Plants shall be set plumb in the planting beds or planting pits, except where the plant's character requires variation from this.
- .4 Upon completion of boulevard planting, the soil shall be raked to remove any debris brought to the surface by the planting operations. After raking the planting area should be mulched with 75mm of bark mulch placed in an even layer over the soil surface.
- .5 Once planting and mulching is completed, the site shall be cleaned of all excess soil, rock and debris.

**2.6 Plant Maintenance**

- .1 The developer/contractor is responsible for all necessary maintenance of the plant material for the duration of the Maintenance Period. This shall include any pruning, watering, fertilizing, plant nutrition, weeding, pruning and treatment for disease and pests. All planting beds shall have all weeds removed at least once per month during the growing season by hand-pulling or hoeing. Plants are to be watered as often as required to ensure

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Project:

**Resid'l Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.**

Drawn by: ROC

Checked by: JD

Date: June 28th 2018

Scale: As Shown

Drawing Title:

**Landscape Details**

**DP 10-037117**

Project No.:

17020

Sheet No.:

L-2.9

*PLAN #66*

**JUL 07 2020**

Section 32 B1 21 – Topsoil and Finish Grading	
Date	Revisions
1.3.1	2.10.8
1.3.2	2.10.9
2.10.10	2.2.1.3
2.3	2.10.11
2.6	2.10.12
2.8	2.10.17
2.9	Table 2
2.10.4	Table 3
2.10.5	3.5
<b>Add the following</b>	
1.3	Soil Quality Control Growing medium preparation to be done by a company with measuring and mixing of constituent components that make up a prepared medium mix. The prepared growing medium shall match the standard established by the approved tested sample after all recommended amendments have been added.
1.5	Inspection and Testing Standard amendments to be used for growing medium analysis from a laboratory approved by the Contract Administrator. The analysis shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used for the following components: particle size class and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and analyzed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.
3 (bs) new	
4 (bs) new	

5 (bs) new	At the discretion of the Contract Administrator submit up to three additional samples at intervals outlined by Contract Administrator of growing medium taken from a minimum of three random locations and mixed to create a single uniform sample. The analysis shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used for the following components: particle size class and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and analyzed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.
6 (bs) new	
7 (bs) new	
1.6 new	Samples Dolomite Limestone: 5 kg (11.1 lbs.) Organic Material: 5 kg (11.1 lbs.) Growing Medium Sample: One composite sample. Samples shall be taken from a minimum of three random locations and mixed to create a single uniform sample. The analysis shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used for the following components: particle size class and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and analyzed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.
1.7 new	Product Handling Do no move or work growing medium or additives when they are wet or sticky. If they are wet or sticky, they must be dried and then used for work of this project. Samples older than one (1) month will be rejected. Growing medium whose structure has been compromised by handling under these conditions will be rejected and shall be replaced by the Contractor at no cost to the Contractor. Prepared growing medium and additives against extreme weeds and insects. Deliver fertilizer and other chemicals in manufacturer's original containers. Protect against end moisture until incorporated into the work. Additives to be prepared from same supplier throughout the life of the project. Hand, sharp, granular, river pump sand, well washed and free of contaminants, chemical and organic matter. Particle sizes by weight: CLASSIFICATION: % RETAINED No. 4 (4.75 mm)   Fines gravel   0% No. 10 (2.0 mm)   Fines gravel   0 – 5%

Revisions:

2.8	Wood Residuals	Wood residuals in the form of saw dust, wood chips, etc. shall not be included in the make up of the growing medium. Complete commercial synthetic slow release fertilizer shall be packed in water proof containers, clearly marked with the name of the manufacturer, weight and analysis.
2.9	Fertilizer	Formulation ratio: as per soil test recommendations. To be the fertilizers recommended in the soils analysis report and approved by the Contract Administrator. Contractor to provide proof of purchase and application of fertilizers and liming agents in the forms of receipts. Substitutes for fertilizers are not permitted without the approval of the Contract Administrator. Available Calcium to be 800 to 2500 ppm by dry weight. For growing media high in % sand, a soil may become acceptable after leaching with fresh water followed by thorough drainage prior to planting. Total Nitrogen to be 0.2 to 0.5 % by dry weight. Available Phosphorus to be 25 to 250 ppm by dry weight. Available Potassium to be 50 to 1,000 ppm by dry weight. Available Magnesium to be 30 to 500 ppm by dry weight. Carbon to Nitrogen ratio (C/N) to be not more than 20:1. Texture, particle size and proportions of each size particle shall be tested and analyzed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.
2.10	Growing Medium	

2.11 (es) new	Standard for Prepared Growing Medium	1. Particle Size Class and Properties Sand (Larger than 0.05 mm and smaller than 0.075 mm) 75 – 85% Clay (Smaller than 0.05 mm) 2 – 5% Silt (Smaller than 0.075 mm) 5 – 10% 2. Acidity (pH): 6.0 – 6.5 3. Carbon exchange capacity: 30 – 50 meq. 4. Carbon to nitrogen ratio: Maximum 40:1 5. Fertility: Total nitrogen: 0.4 – 0.8% by dry weight. Available phosphorus: 70 – 80 ppm Available potassium: 50 – 250 ppm Available magnesium: 50 – 500 ppm Available calcium: 500 – 2500 ppm 6. Salinity: Maximum saturation extract conductivity: 3.0 mS/cm at 25 degrees C. 7. Hydraulic Conductivity: Minimum saturated hydraulic conductivity 5.0 – 1.0 cm/hr in place. Coarse (unless noted otherwise), ground dolomite limestone containing minimum 65% of both carbonates.
2.12 (es) new	Lime	

Revisions:

2.13	1. (es) new 2. (es) new 3. (es) new 4. (es) new 5. (es) new	Soil sample prior to shipping to site. Organic Material shall be blackbrown in colour inside up of fully composted organics (i.e. no sawdust or wood chips) Growing medium deficient of organic matter and fertility will be achieved using fully composted organic matter either peat or animal manure. A surface horizon of increased organic matter and fertility will be achieved by top dressing the required depth of organic matter following by thorough tillage into the top 15 cm of soil. Peat is recommended for soils requiring an immediate acidification (lower pH). Prepared peats to be locally increased (raising a pH) between 5.0 and 5.5. Scarify and / or break up and loosen existing sub grade and topsoil to allow for proper drainage in all planting areas and tree pits. Ensure proper drainage in all tree pits, shrub beds, planters and miscellaneous planting areas. Screen growing medium with mechanical screening. The recommended screening process to produce a growing medium structure with the particle size class and properties as specified in 2.02. No hard matter will be allowed. Any material that is not approved by the Contract Administrator. Screening and mixing of growing medium on site will be not be allowed. All growing medium is to arrive pre-sieved. Do not place growing medium until Contract Administrator has reviewed subgrade. Ensure that irrigation lines, tree root barriers, subgrade drainage, etc. to be installed have been reviewed by the Contract Administrator prior to the placing of growing medium. Break up and loosen subgrade and compacted gravel areas to allow for proper drainage in planting areas and planted islands. Place prepared growing medium in compacted layers of 100 mm to 150 mm (4" to 6") in planting areas on grade. Lightly roll each layer of placed topsoil, firm against deep foot printing, with a fine loose texture.
3.2	6. (es) new 7. (es) new	Preparation of Subgrade of Growing Medium
3.3	8. (es) new 9. (es) new 5. (es) new	Preparation of Growing Medium
3.4	1. (es) new 2. (es) new 3. (es) new 4. (es) new	Preparation of Growing Medium

3.5	5. (es) new 6. (es) new 7. (es) new 8. (es) new 1. (es) new 2. (es) new 3. (es) new 4. (es) new 5. (es) new	Ensure proper drainage in all shrub and tree pits. Place growing medium to the required finished grades with a slope of 1:100 to the drainage system during for the minimum depth of 100 mm (4") to the drainage system. Tree pits: To depth of rootball Shrub beds: 450 mm (1'-6") Ground cover areas: 300 mm (1'-0") Lawn areas: 200 mm (8") Apply lime, or other growing medium amendment at rate determined by testing laboratory's recommendations. Mix amendments well into full depth of growing medium by cultivating or roto tilling prior to application of fertilizer. Apply fertilizer at least two weeks after lime application and at least 6 days before planting. Spread fertilizer with mechanical spreaders over entire area of growing medium at rate recommended by the testing laboratory. Mix fertilizer thoroughly into top 100 mm (4") of growing medium. Incorporate lime into the top 15 cm depth of growing medium. Slow release fertilizers will be surface applied to erod contact with applied lime. Spread fertilizer evenly over growing medium with a suitable hand held applicator. Applications of fertilizer or lime by hand is not acceptable. Finish grade (manually) growing medium to establish final elevations shown on drawings or as directed by Contract Administrator. Eliminate rough spots and low areas to ensure positive drainage. Leave surface smooth, uniform, firm against deep foot printing, with a fine loose texture. Eliminate all weeds and weed roots from growing medium. Contract Administrator to review all methods of weed removal other than by mechanical or hand pulling prior to start of operation.
3.8	6. (es) new 7. (es) new 8. (es) new 9. (es) new	Finish Grading
3.7	1. (es) new 2. (es) new 3. (es) new	Acceptance

Revisions:

3.10	1. (es) new	All methods of pest and weed control to be in compliance with the City of Richmond use control bylaw.
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Date	Revisions
2.1.1	
2.1	1. (es) new Sod Sod to be approved by Contract Administrator and to be Nursery grown, true to type, conforming to standards of Nursery Sod Growers' Association and their Nursery Sod Specifications. Sod to be quality, cultured turf grass grown free of diseases, clovers, stones, peels and debris. Sod with mesh embedded to facilitate handling will not be accepted. Sod to be relatively free of weeds, containing no more than one weed seed per 40 sqm or ten annual weeds or twenty grasses per 40 sqm.



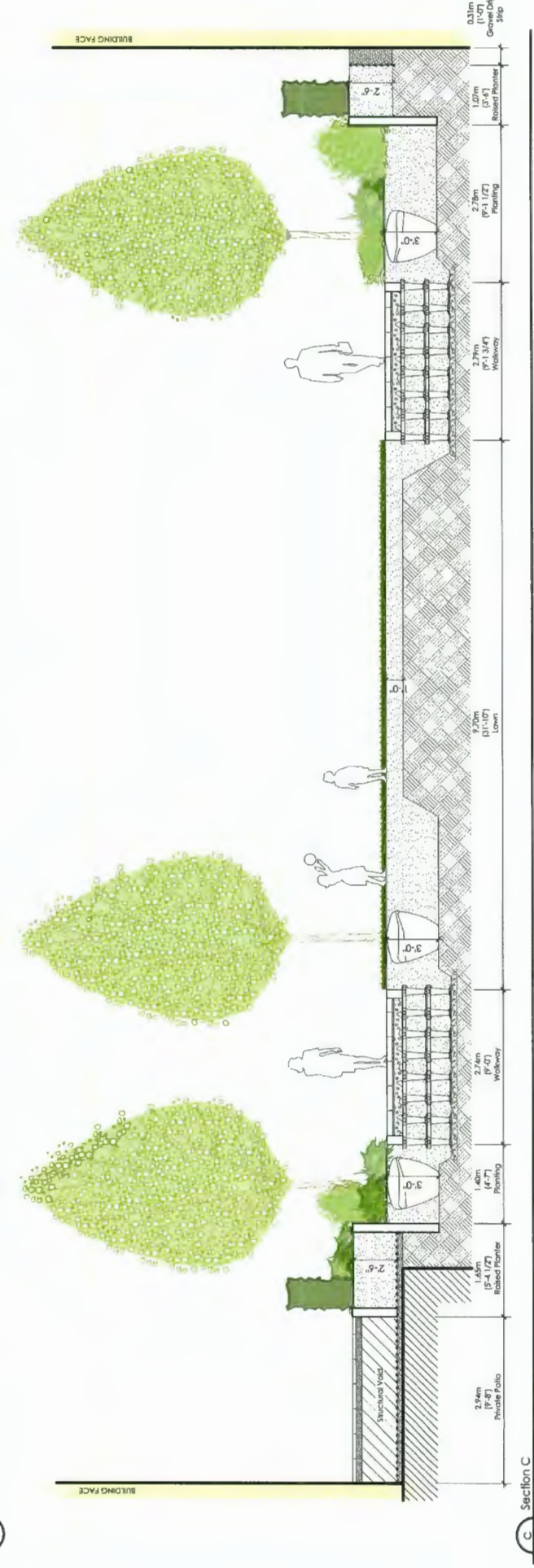
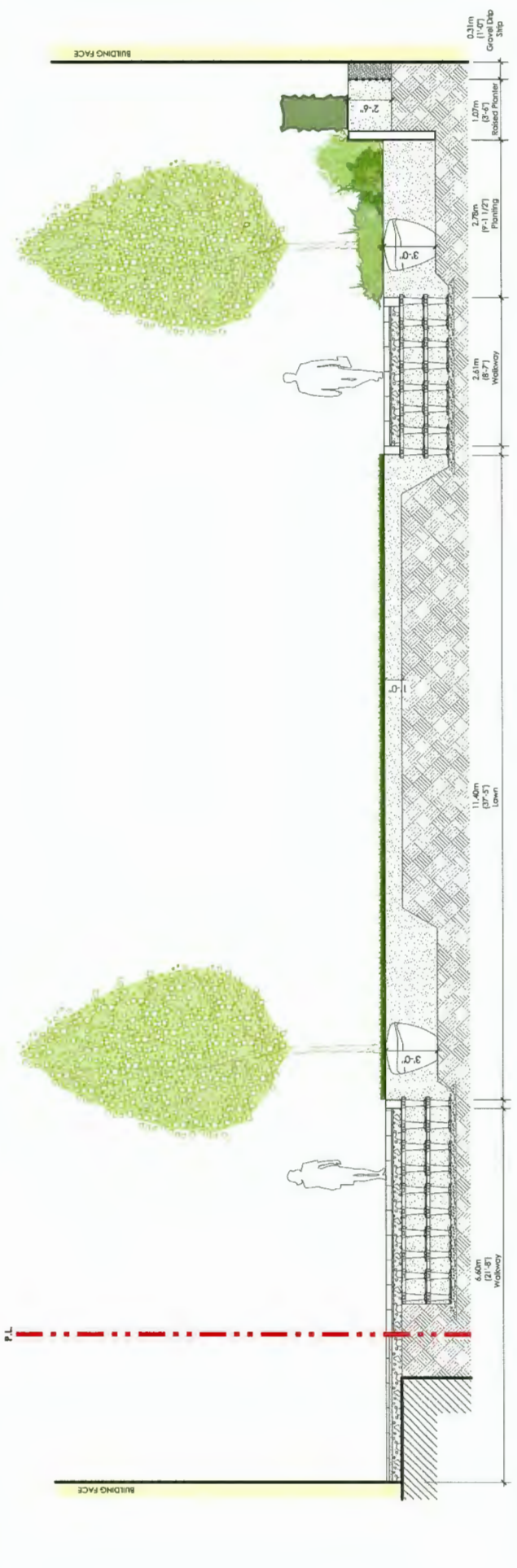
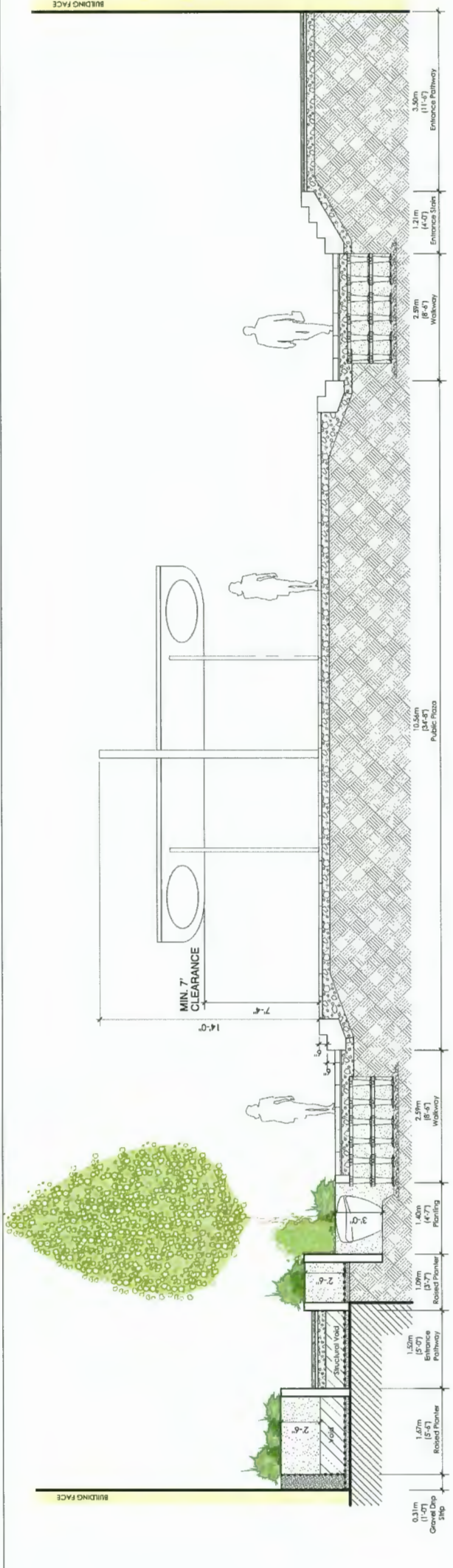
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**Resid'l Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
RICHMOND, B.C.**

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Checked by: JD  
Date: June 28th 2018  
Scale: As Shown  
Drawing Title:

**Landscape Details**  
**DP 18-837117**  
Project No.: 17020  
PLAN # 67

Sheet No.:  
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Revisions:

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Project:  
**Resid'l Development  
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6333-6399 Mah Bing Street  
Richmond, B.C.**

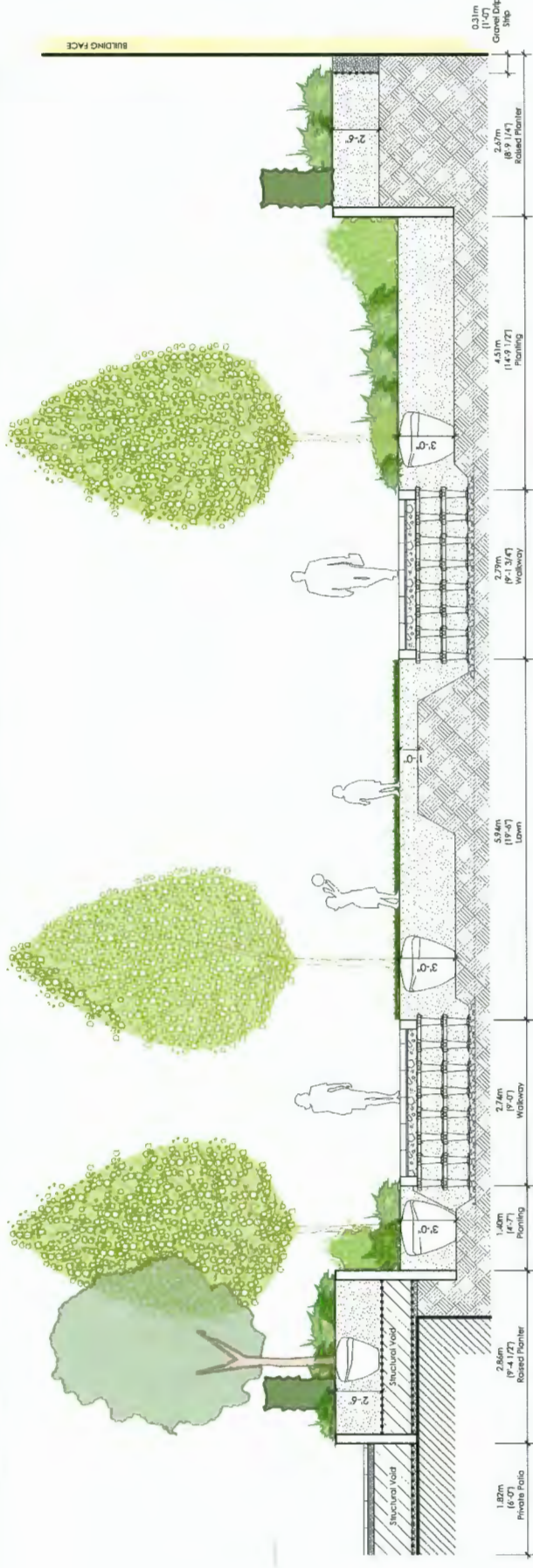
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**Landscape Sections**

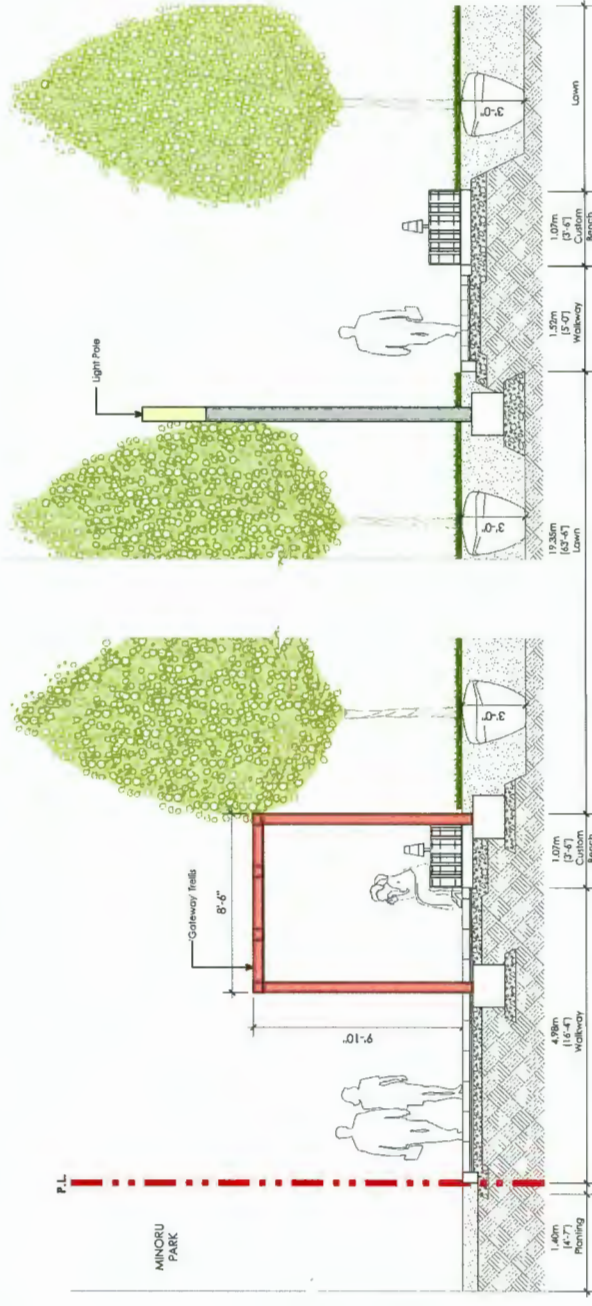
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**DP 18-837117**  
*PLAN # 69*  
JUL 07 2020

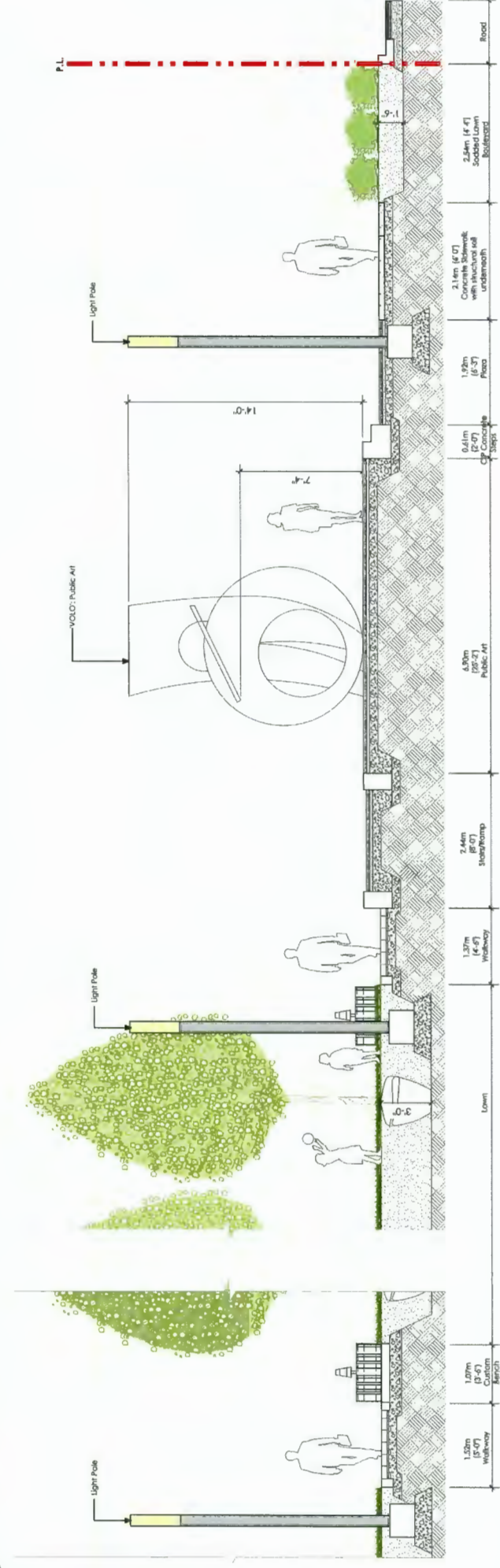




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Section E  
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Section F  
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Revisions:

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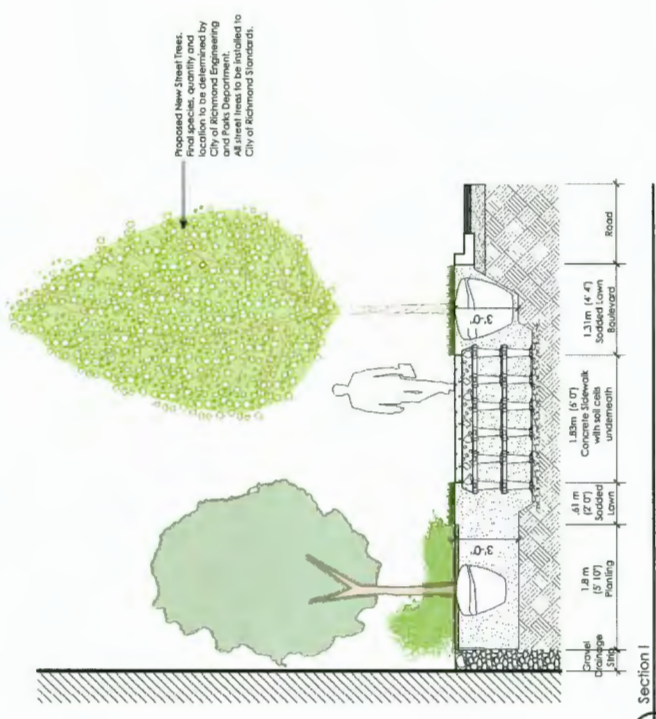
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**Resid'l Development  
 Park Residences PH2  
 Tower C + D + E  
 6333-6399 Mah Bing Street  
 Richmond, B.C.**

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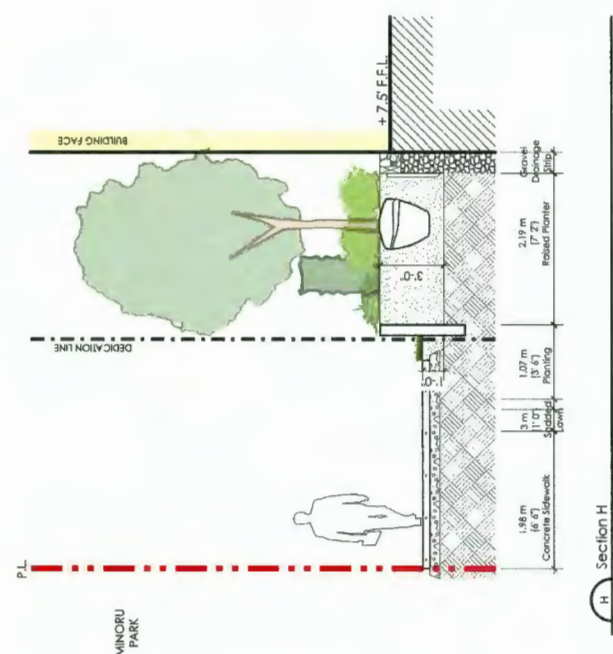
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**DP 18-837117**  
**PLAN # 70**  
**JUL 07 2020**

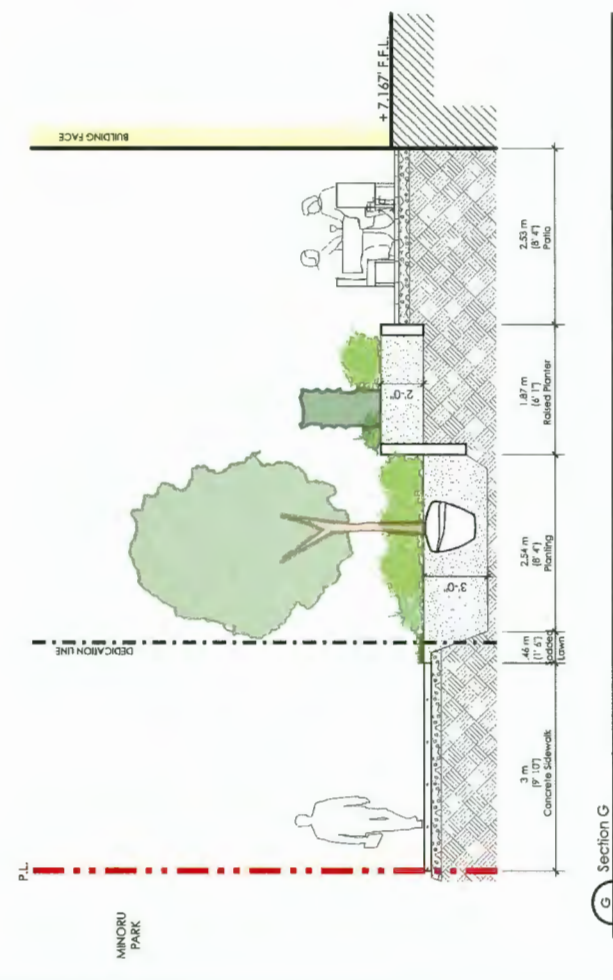
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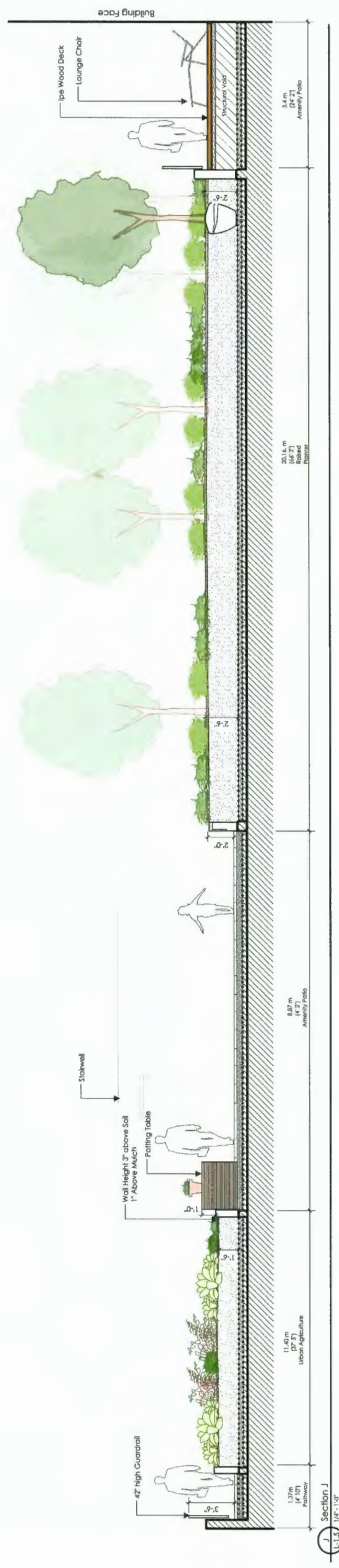
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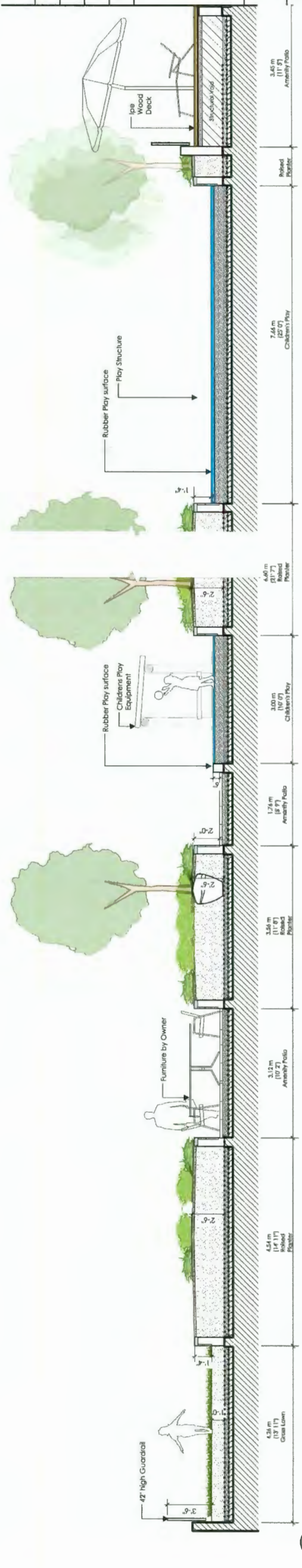
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Section G  
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Section J  
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Section K  
1:1.5 1/8" = 1'-0"

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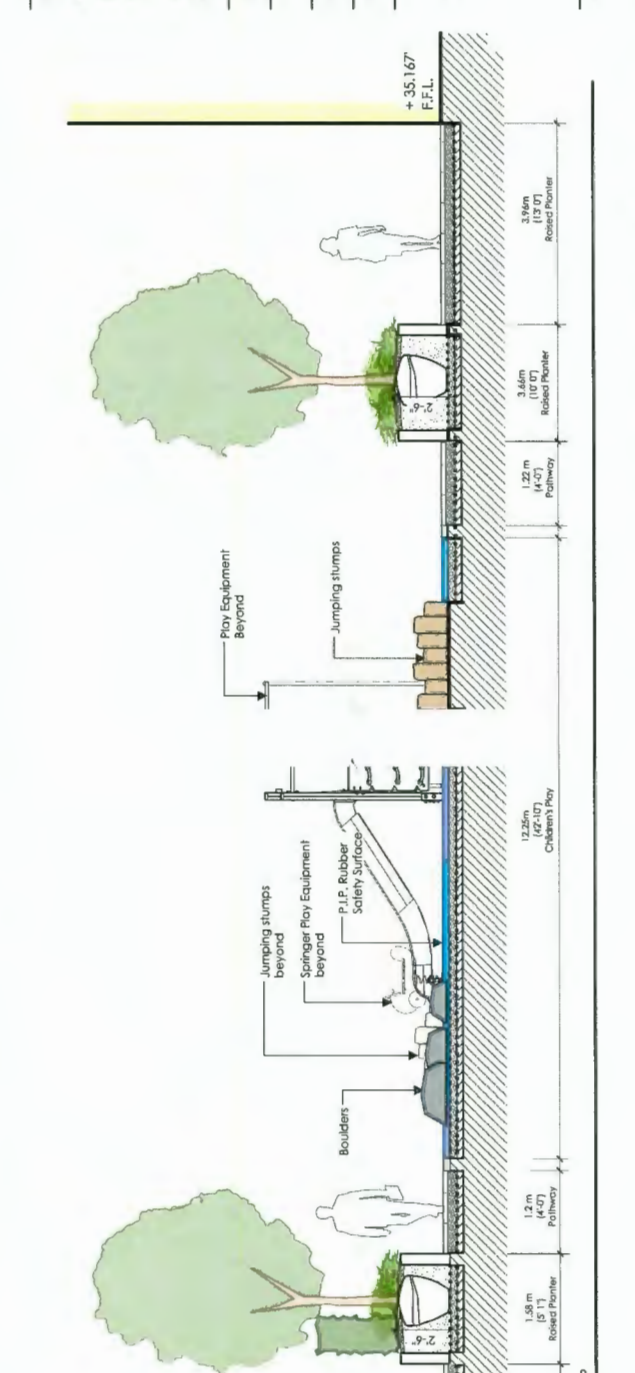
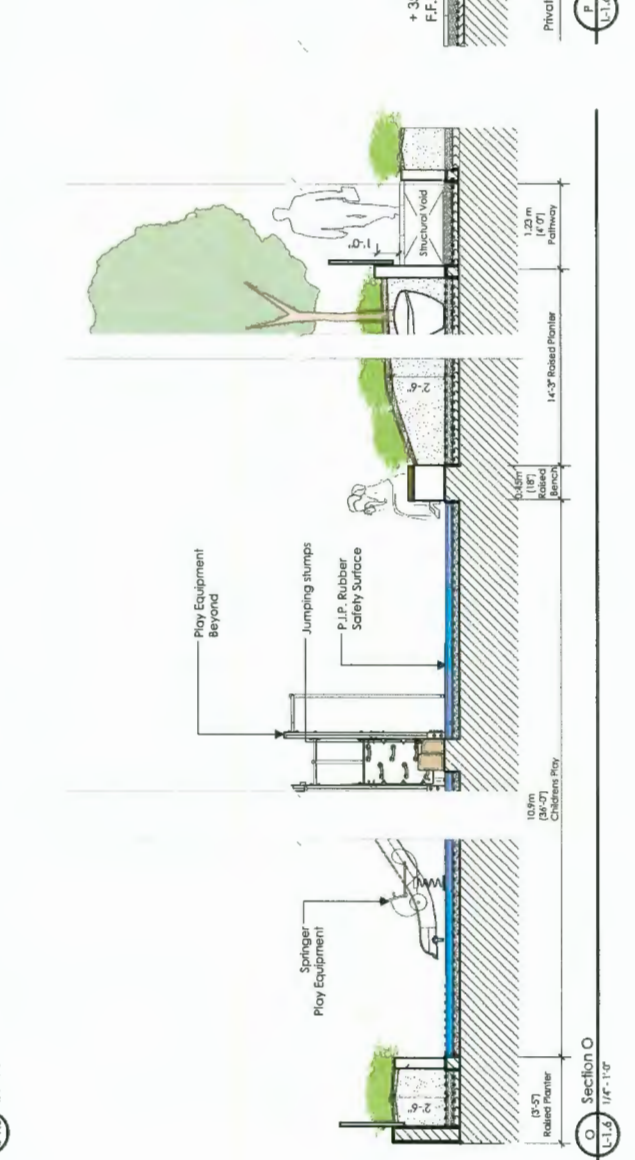
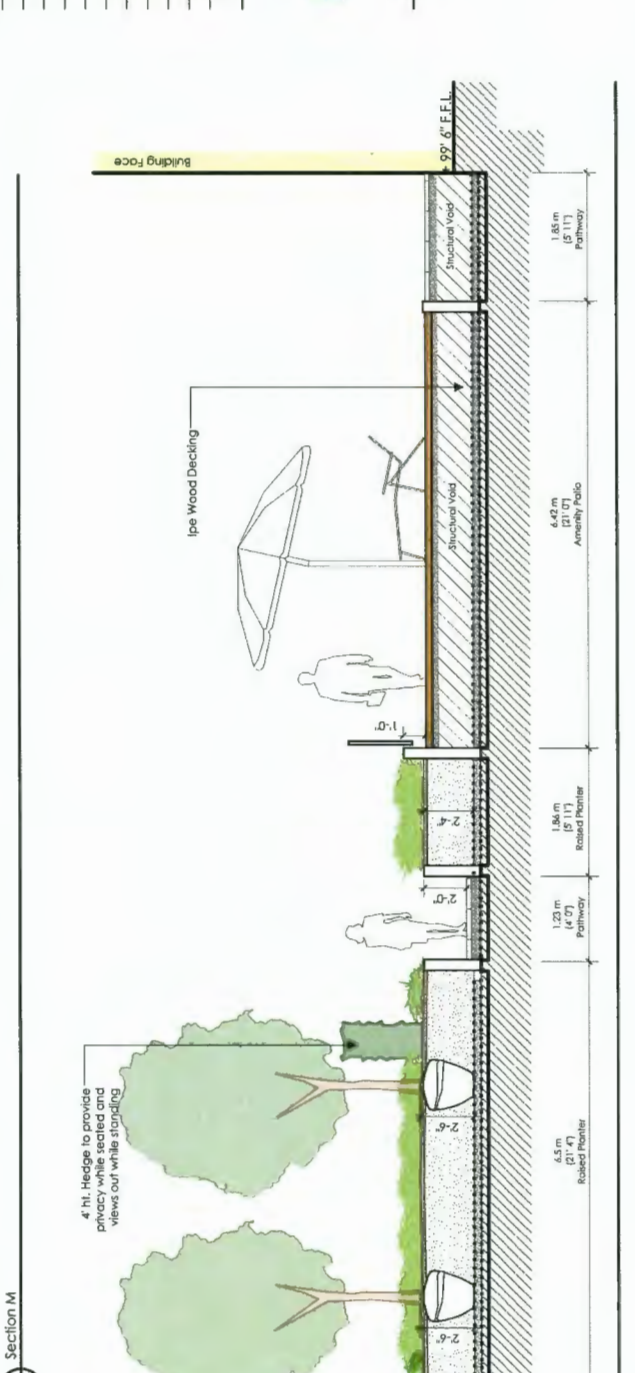
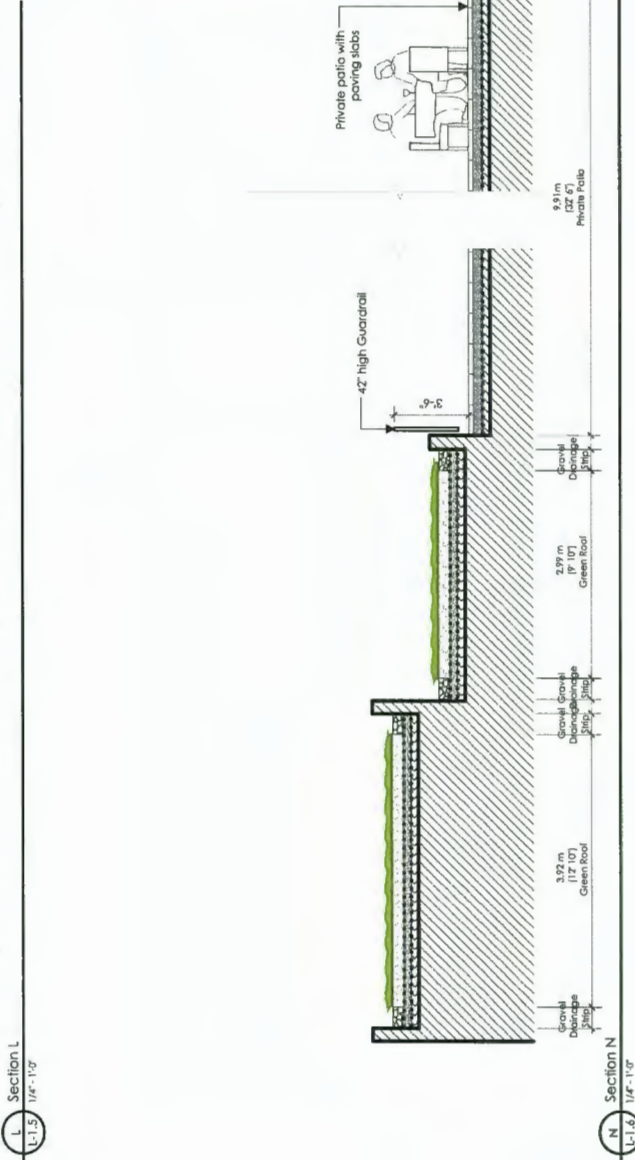
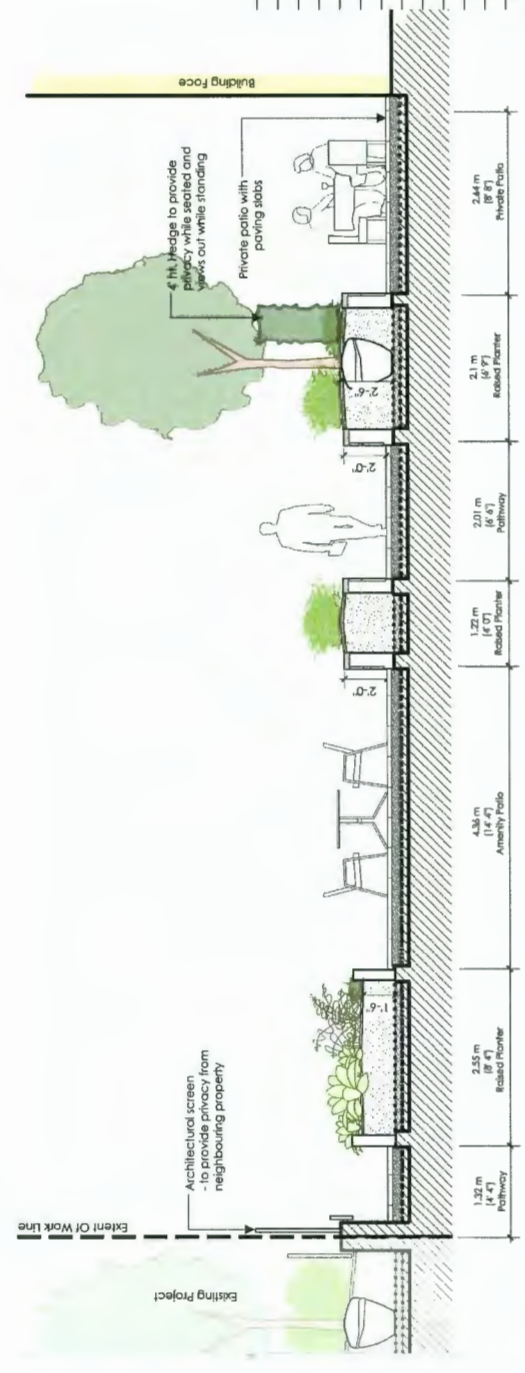
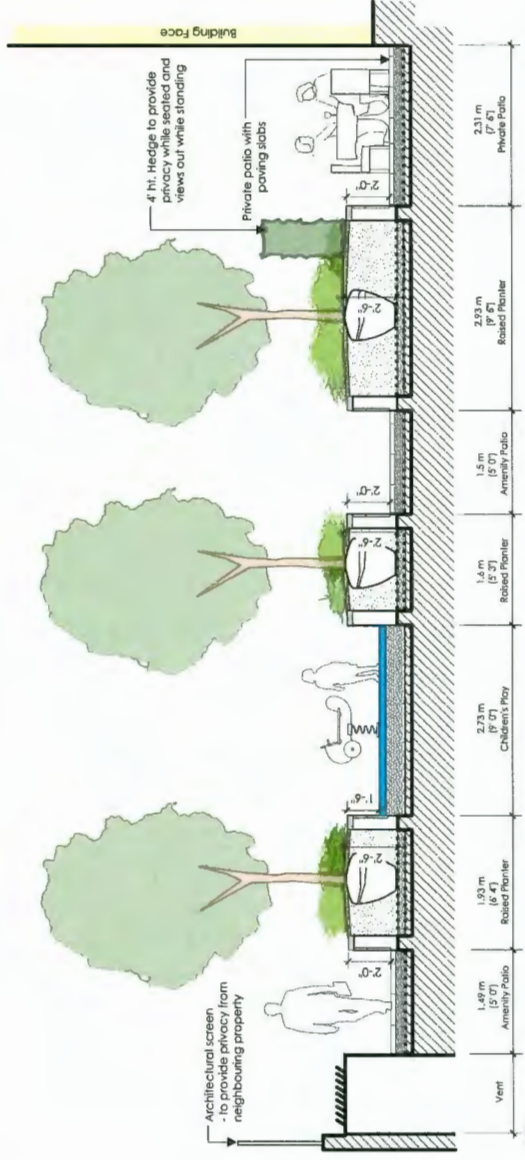


Project:  
**Resid'I Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Math Bing Street  
Richmond, B.C.**

Drawn by: ROTC  
Checked by: JD  
Date: June 28th 2018  
Scale: 1/8" = 1'-0"

Drawing Title:  
**Landscape Sections**

Project No.: 17020  
Sheet No.:



no.:	date:	item:
12	JULY 09-20	Issued for DP Panel
11	JULY 08-20	Revision for Staff Report(3)
10	JUNE 26-20	Revision for Staff Report(2)
9	JUNE 15-20	Revision for Staff Report
8	MAY 12-20	Issued for Staff Comments(4)
7	DEC 05-19	Issued for Staff Comments(3)
6	NOV 04-19	Issued for Staff Comment(3)
5	OCT 21-19	Issued for Staff Comment(2)
4	SEP 04-19	Issued for DP Re-submission
3	MAR 20-19	Issued for DP Re-submission
2	NOV 15-18	Issued for DP Re-submission
1	SEPT 18-18	Issued for DP

Revisions:

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Project:  
**Resid'l Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.**

Drawn by: ROC  
Checked by: JD  
Date: June 28th 2018  
Scale: 1/8" = 1'-0"  
Drawing Title: **Landscape Sections**

Project No.: 17020  
Sheet No.: L-3.4

**DP 18-837117**  
PLAN #72  
JUL 07 2020



**DRAWING KEY**

- Extent of drip line of existing tree recommended for retention (location from survey by BCLS Land Surveyor)
- Extent of drip line of existing tree recommended for removal (location from survey by BCLS Land Surveyor)
- Tree Number referred to in existing trees inventory and report for By-Low site with DBH 0.20m or larger (or any trees on city property)
- Location of Tree Protection Barrier to enclose Tree Protection Area. (Refer to Report and Detail for further information.)
- Extent of Critical Root Zone. For information on restrictions, refer to notes on this drawing and the written arborist report.

Tree No.	Species	# of Stems	Height - m	Field Observations	Dead	For	Retain	Remove	Notes
1	Acer palmatum (Japanese maple)	3	10.7	Base in water tank. Asymmetrical crown. Reduced vigor. 105% live crown ratio.	◆	◆	◆	◆	Issued for DP Panel
2	Thuja plicata (Western red cedar)	46	12.14	Suppressed by adjacent trees. Pruned crown.	◆	◆	◆	◆	Revision for Staff Report [2]
3	Prunus coccinea (Pinnacled plum)	26	10.8	Pruned crown. Asymmetrical crown.	◆	◆	◆	◆	Revision for Staff Report [2]
4	Castanea sativa (Sweet chestnut)	49	12.14	Grating roots. Reduced vigor. 105% live crown ratio. Located near building.	◆	◆	◆	◆	Issued for Staff Comments [4]
5	Thuja plicata (Western red cedar)	2	31.8	Asymmetrical crown. Located near building.	◆	◆	◆	◆	Issued for Staff Comments [3]
6	Thuja plicata (Western red cedar)	46	12.17	Base directly adjacent to retaining wall. Reduced vigor. 105% live crown ratio.	◆	◆	◆	◆	Revision for Staff Report [2]
7	Thuja plicata (Western red cedar)	40	12.15	Base directly adjacent to retaining wall. Reduced vigor. 105% live crown ratio.	◆	◆	◆	◆	Issued for Staff Comments [5]
8	Ulmus americana (American elm)	26	11.9	Located between parking lot and power pathway. Cup bearing. No. 10. 100% live crown ratio.	◆	◆	◆	◆	Issued for Staff Comments [4]

Tree No.	Species	# of Stems	Height - m	Field Observations	Dead	For	Retain	Remove	Notes
101	Ulmus americana (American elm)	79	25	Joint crown with tree # 102 and # 103. Asymmetrical crown.	◆	◆	◆	◆	Issued for DP Panel
102	Ulmus americana (American elm)	51	23	Prostrate lean west. Joint crown with tree # 101 and # 103. Asymmetrical crown. Historical fall of large scaffold limb. Woundwood development in poor.	◆	◆	◆	◆	Revision for Staff Report [2]
103	Ulmus americana (American elm)	76	26	Joint crown with tree # 101 and # 102. Asymmetrical crown. Historical fall of large scaffold limb. Woundwood development in poor.	◆	◆	◆	◆	Issued for Staff Comments [5]
104	Ulmus americana (American elm)	2	49	Suppressed by adjacent trees. Joint crown with tree # 105.	◆	◆	◆	◆	Revision for Staff Report [2]
105	Ulmus americana (American elm)	2	36	Suppressed by adjacent trees. Joint crown with tree # 104.	◆	◆	◆	◆	Issued for Staff Comments [5]
107	Acer pseudoplatanus (Sycamore maple)	35	11	2-Co-dominant leader at base. Joint crown with tree # 108.	◆	◆	◆	◆	Issued for DP Re-Submission
108	Acer pseudoplatanus (Sycamore maple)	4	7.2	Other stem(s) at 18cm. 4-Co-dominant leader at base. Joint crown with tree # 107.	◆	◆	◆	◆	Issued for DP
0877	Prunus sylvatica (Scott pine)	74	15	Light crown with tree # 0883. Asymmetrical crown. 3-Co-dominant leader at 2m above ground. Historical pruning wound ± 35cm. at 3m above ground. 100% live crown ratio.	◆	◆	◆	◆	Issued for DP
0881	Prunus sylvatica (Scott pine)	47	12	Light crown with tree # 0883. Asymmetrical crown. 3-Co-dominant leader at 2m above ground. Historical pruning wound ± 35cm. at 3m above ground. 100% live crown ratio.	◆	◆	◆	◆	Issued for DP
0883	Liquidambar styraciflua (Sweetgum)	47	12	Grating roots. Joint crown with tree # 0881. Asymmetrical crown.	◆	◆	◆	◆	Issued for DP
0888	Acer glabrum (Norway maple)	40	19	Photograph lean north. Asymmetrical crown. Heavy loaded north.	◆	◆	◆	◆	Issued for DP
0977	Ulmus americana (American elm)	14	35	Grating roots. 3-Co-dominant leader at 2m above ground. Historical pruning wound ± 35cm. at 3m above ground. 100% live crown ratio.	◆	◆	◆	◆	Issued for DP

**ADJACENT PARK**

Tree No.	Species	# of Stems	Height - m	Field Observations	Dead	For	Retain	Remove	Notes
0877	Prunus sylvatica (Scott pine)	74	15	Light crown with tree # 0883. Asymmetrical crown. 3-Co-dominant leader at 2m above ground. Historical pruning wound ± 35cm. at 3m above ground. 100% live crown ratio.	◆	◆	◆	◆	Issued for DP
0881	Prunus sylvatica (Scott pine)	47	12	Light crown with tree # 0883. Asymmetrical crown. 3-Co-dominant leader at 2m above ground. Historical pruning wound ± 35cm. at 3m above ground. 100% live crown ratio.	◆	◆	◆	◆	Issued for DP
0883	Liquidambar styraciflua (Sweetgum)	47	12	Grating roots. Joint crown with tree # 0881. Asymmetrical crown.	◆	◆	◆	◆	Issued for DP
0888	Acer glabrum (Norway maple)	40	19	Photograph lean north. Asymmetrical crown. Heavy loaded north.	◆	◆	◆	◆	Issued for DP
0977	Ulmus americana (American elm)	14	35	Grating roots. 3-Co-dominant leader at 2m above ground. Historical pruning wound ± 35cm. at 3m above ground. 100% live crown ratio.	◆	◆	◆	◆	Issued for DP

**TREE NOTES**

- Non-Silver trees under 0.20 DBH and dead trees filled on ungraded background.
- By-Low trees over 0.20 DBH are filled on a white background.

**NOTES**

- Initial tree protection barriers to City of Richmond requirements (see detail on this sheet) and maintain throughout construction.
- Trees, their environment, and their health and stability change with time. Our recommendations to protect and retain trees are based on observations made on the date noted, and on a visual assessment of the trees using normal visual assessment procedures. Durante Kreuk Ltd. cannot guarantee that trees recommended for retention will remain whole or stable. Durante Kreuk Ltd. assumes no responsibility for tree protection unless we have been contracted to provide services in that regard, and provided appropriate notice when work on or near the trees is to be done.
- Tree protection measures and all work on trees on City of Richmond Parks Land shall be pre-approved by City of Richmond arborist.

Observations and recommendations by Rodan Rich, SA Certified Arborist PH7721A made June 24, 2019.  
Initial Observations made November 12, 2015. Additional Observations within the Park made June 24, 2019.  
This drawing shall be read in conjunction with Existing Trees Report for this site, produced by Durante Kreuk, dated July 6, 2020.

PLAN # 73

DP 18-837117

JUL 07 2020

Project No.: 17020

Sheet No.:

**Existing Trees Management Plan**

Project: **Resid'l Development Park Residences PH2 Tower C + D + E 6333-6399 Mah Bing Street Richmond, B.C.**

Drawn by: FF  
Checked by: JO  
Date: June 26th, 2018  
Scale: NIS  
Drawing Title:

**PARKS COORDINATION NOTE**  
Impacts to trees within Winour Park due to servicing upgrade requirements are currently under review. Exact service locations and subsequent tree impacts to be co-ordinated with the Minor Lakes Renewal project.

- Crown reduction required by City of Richmond. All work shall be done by certified arborist.
- Extent of Tree Protection Area:  
- Area to be protected with Tree Protection Barrier  
- No materials storage  
- All landscapes to be installed on existing grade  
- Impact to be kept to a minimum  
- All excavation to be coordinated with consulting arborist in relation to the arborist's written consulting arborist

Tree No.	Species	# of Stems	DBH - cm	Spread - m	Height - m	Field Observations	Dead	Poor	Fair	Good	Remove	Relocate	Note
<b>ON SITE</b>													
1	Acer palmatum (Japanese maple)	3	53	10	7	Base in raised planter. Asymmetrical crown. Suppressed by adjacent trees.				◆	◆		
2	Thuja plicata (western red cedar)	66	12	14		Surface root(s). Reduced vigor. 90% live crown ratio.			◆				
3	Prunus cerasifera (Pissard plum)	26	10	8		Suppressed by adjacent trees. Phototropic lean west. Asymmetrical crown.			◆	◆			
4	Cedrus var. (true cedar)	49	12	14		Girdling root(s). Reduced vigor. 85% live crown ratio.			◆				
5	Acer palmatum (Japanese maple)	2	31	8		Included bark. Located near building. Asymmetrical crown.			◆	◆			
6	Thuja plicata (western red cedar)	66	12	17		Base directly adjacent to retaining wall. Reduced vigor. 95% live crown ratio.			◆				
7	Thuja plicata (western red cedar)	60	12	15		Base directly adjacent to retaining wall. Corrected lean. Reduced vigor. 95% live crown ratio.			◆				
8	Ulmus americana (American elm)	26	11	9		Located between parking lot and paved pathway. Cub heaving. Ingrown chain-link fence and metal top rail.			◆				
<b>ADJACENT PARK</b>													
101	Ulmus americana (American elm)	73	22	26		Joint crown with tree # 102 and # 103. Asymmetrical crown.			◆				
102	Ulmus americana (American elm)	51	12	23		Phototropic lean west. Joint crown with tree # 101 and # 103. Asymmetrical crown. Historical failure of large scaffold limb. Woundwood development is poor.			◆				
103	Ulmus americana (American elm)	76	22	26		Joint crown with tree # 101 and # 102. Asymmetrical crown.			◆				
104	Ulmus americana (American elm)	2	49	10	9	Suppressed by adjacent trees. Joint crown with tree # 105.			◆				
105	Ulmus americana (American elm)	2	36	10	8	Suppressed by adjacent trees. Joint crown with tree # 104.			◆				
107	Acer pseudoplatanus (sycamore maple)	35	11	11		2 Co-dominant leaders at base. Joint crown with tree # 108.			◆				
108	Acer pseudoplatanus (sycamore maple)	4	72	9	11	Other stem(s) @ 19cm. 4 Co-dominant leaders at base. Joint crown with tree # 107.			◆				

dk 9

17020\_Tree Report

Tree No.	Species	# of Stems	DBH - cm	Spread - m	Height - m	Field Observations	Dead	Poor	Fair	Good	Remove	Relocate	Note
0977	Pinus sylvestris (Scots pine)	74	15	20		Joint crown with tree #0981. Asymmetrical crown. 3 Co-dominant leaders at 2m above ground. Historical pruning wound. @ ± 35cm. at 3m above ground. Woundwood development is poor. 90% live crown ratio.			◆				
0981	Pinus sylvestris (Scots pine)	77	12	20		Joint crown with tree #0983. Asymmetrical crown. 2 Co-dominant leaders at 2m above ground. Included bark. 60% live crown ratio.			◆				
0983	Liriodendron var. (tulip tree)	47	12	17		Girdling root(s). Joint crown with tree #0981. Asymmetrical crown.			◆				
0988	Acer platanoides (Norway maple)	60	19	17		Suppressed by adjacent trees. Phototropic lean north. Asymmetrical crown. Heavy loaded north.			◆				
0997	Ulmus americana (American elm)	164	35	27		Girdling root(s). 3 Co-dominant leaders at 2m above ground. Included bark all the way to base. Deadwood minimal.			◆				

**TREE NOTES**

- ◆ Non- bylaw trees under 0.20 DBH and dead trees listed on shaded background.
- ◆ Bylaw trees over 0.20 DBH are listed on a white background.

PLAN #74

DP 18-837117

dk 10

17020\_Tree Report

JUL 07 2020