



To: Development Permit Panel

Date: April 20, 2020

From: Wayne Craig
Director, Development

File: DP 18-821292

Re: **Application by Pinnacle Living (Capstan Village) Lands Inc. for a Development Permit at 3208 and 3211 Carscallen Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a single-tower high-density residential building, consisting of 207 dwelling units, including 41 affordable housing units, at 3208 Carscallen Road on a lot zoned “Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)”.
2. Permit the construction of a two-tower, mixed-use, high-density building including retail and café/restaurant space, 131 hotel rooms and 115 residential units in the south tower, and retail and office space in the north tower, at 3211 Carscallen Road on a lot zoned “Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)”; and
3. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Increase the maximum permitted balcony projection for balconies into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road, from 1.0 m to 1.7 m.
 - b) Increase the maximum permitted projection for architectural features into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road from 0.6 m to 1.7 m.

Wayne Craig
Director, Development
(604-247-4625)

WC:rp
Att. 6

Staff Report

Origin

Pinnacle Living (Capstan Village) Lands Inc., has applied to the City of Richmond for permission to develop a three tower, mixed-use project at 3208 and 3211 Carscallen Road (Areas C and D, respectively), with a combined total of 322 dwelling units, (including 41 affordable housing units), a 131-room hotel, 18,984 m² of office space and 650 m² retail space at grade. The developer has indicated an intent to retain the office space, without subdividing it. The subject site currently contains a temporary building that functions as the developer's presentation and sales centre and is zoned "Residential / Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)".

For clarity pertaining to the phasing of Pinnacle Living (Capstan Village) development, their corresponding areas and buildings in the immediate neighbourhood and the arrangement of buildings on the subject site, see Attachments 1 and 2.

A Zoning Text Amendment for this site (ZT 18-827860), seeking to amend the "Residential / Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)" zone to transfer unbuilt permitted residential floor area from Area B (located south of Area C) to Area C and transfer the developer's required Area D affordable housing contribution from Area D to Area C, went to Public Hearing on December 16, 2019, and has received third reading.

All Engineering, Transportation, and Parks off-site requirements with respect to Pinnacle's four-phase development were resolved through the rezoning process and secured with legal documents and Servicing Agreements (SA 16-731709 and SA 19-861963) registered on title, and include:

- Utility works (water, storm, and sanitary upgrades; private utilities; and encroachments).
- Frontage improvements (the introduction of Hazelbridge Way and Carscallen Road, including its cul-de-sac terminus, into the overall site; improvements to Sexsmith Road; and the sidewalk and bike lane treatments along No. 3 Road and Sea Island Way).
- Installation of new traffic signals at the intersection of Hazelbridge Way and Sexsmith Road.
- Construction of the first phase of the City-owned Capstan Neighbourhood Park located between No. 3 Road and Carscallen Road, and south of Area D.
- Design and construction of the Westerly Private Road statutory right-of-way (SRW) area.
- Design and construction of the City-owned linear park and sidewalk works under the Canada Line guideway.

Servicing Agreement (SA 19-861963) will be updated to reflect the current design of off-site works.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 3) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Area C is currently vacant and is being used for construction staging for Area B of the Pinnacle Living (Capstan Village) development. Area D is presently being used as a temporary sales office. Existing development surrounding the subject site includes:

To the north: North of Area D is Sea Island Way, a designated Provincial highway, and highway-oriented commercial properties designated for future development with high-rise, high density, hotel, office, and accessory retail uses.

North of Area C is a vacant site (3131 Sexsmith Road) owned by Concord Pacific and zoned “Residential / Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)”.

To the east: East of Area C is Sexsmith Road, and on the east side of Sexsmith Road, is a single-family lot and Patterson Road that provides access to several larger single-family lots zoned as Single Detached (RS1/F), which is designated for mixed multi-family residential and commercial uses.

To the south: South of the Area D site is a new neighbourhood park, currently under construction by the developer (as required through rezoning, RZ 12-610011), and the site of the future Capstan Canada Line Station.

South of the Area C site is Area B of the Pinnacle Living (Capstan Village) development (DP 16-735564) which is currently under construction and will include a mixed-use, high-density building, including multi-family residential units, office space, and an Early Childhood Development Hub.

To the west: West of Area D is No. 3 Road and the Canada Line guideway. On the west side of No. 3 Road is a multi-phased development, zoned “Residential / Limited Commercial and Community Amenity (ZMU30) – Capstan Village (City Centre)”, which is undergoing various stages of construction, permitting, and pre-application processes for medium- and high-density, high-rise, residential, hotel, retail, office, and public amenity uses. DP 16-745853 was approved for this site in June of 2017, while DP 17-794169 and ZT 19-872212 are currently under consideration.

Rezoning and Public Hearing Results

During the Zoning Text Amendment process, staff identified the following design issues to be resolved at the Development Permit stage:

- a) Design of a private road, via a 10.0 m wide right-of-way (ROW) along the southern side of Area D, including building encroachments (into the right-of-way from upper levels of the building).
- b) Design of a walkway and its related landscape features, which has been relocated to the west side yard of Area D, including building encroachments (into the right-of-way (ROW) from upper levels of the building). This area is the subject of a statutory right-of-way (SRW), in favour of the City, which would satisfy the requirement for a ‘neighbourhood park trail’, which is a condition of the rezoning and required as per the Capstan Station Bonus.

Both of the above items have been addressed through the subject Development Permit submission.

The Public Hearing for the Zoning Text Amendment of this site was held on December 16, 2019. At the Public Hearing, one resident wrote an email inquiring about the potential for the inhabitants of the proposed affordable housing units to make the neighbourhood feel unsafe and requested clarity regarding the process for awarding the affordable housing units. Staff responded to the author of the email and explained that the affordable housing units would be eligible to low- and moderate-income households that are capable of independent living but are in need of some degree of support in addressing their housing affordability needs.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and City Centre Area Plan (CCAP). In addition, staff note the following:

- Restricting Hotel Subdivision: Subdivision through strata titling or air space parcel subdivision of individual hotel rooms and suites would be prohibited via a Restrictive Covenant registered on the Title of Area D.
- Affordable Housing: The habitable floor area of affordable housing proposed for Area C is 3,007 m² (32,367 ft²), which satisfies the terms of the site's "Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25)" zone, as amended via the proposed Zoning Text Amendment application ZT 18-827860. Occupants of the affordable housing units shall have unlimited access to all on-site indoor and outdoor amenity spaces in Areas C and D.

Affordable Housing Unit Type	Number of Units	Minimum Unit Area	Maximum Monthly Unit Rent (1) (2)	Total Maximum Household Income (1) (2)
Studio	2	37 m ² (400 ft ²)	\$759	\$34,650 or less
1-Bedroom	16	50 m ² (535 ft ²)	\$975	\$38,250 or less
2-Bedroom	9	69 m ² (741 ft ²)	\$1,218	\$46,800 or less
3-Bedroom	14	91 m ² (980 ft ²)	\$1,480	\$58,050 or less
TOTAL	41	N/A	N/A	N/A

(1) Denotes 2017 amounts adopted by Council on July 24, 2017.

(2) Subject to Council approval, total annual household incomes and maximum monthly rents may be increased annually by the Consumer Price Index.

The applicant proposes one additional two-bedroom and one additional three-bedroom affordable housing units, and one less one-bedroom affordable housing units than what was reflected at the time of the Zoning Text Amendment application (ZT 18-827860). Considering that the proposed change results in an increased number of larger affordable housing units, staff have no objection to the new breakdown of affordable housing unit types. Prior to Development Permit issuance, the developer shall enter into the City's standard Housing Agreement to secure 41 Affordable Housing Units including: 2 studio, 16 one-bedroom, 9 two-bedroom and 14 three-bedroom units.

- Cross Access Easements: Agreements registered on the titles of Area B, Area C and Area D secure access between the parking structures of the three phases. Prior to issuance of the Development Permit, the easement must be replaced with new easement plans that reflect the areas within the parking facilities, including access to and egress from such facilities.
- Area C Parking Located in Area B: 43 parking spaces were considered in Area B and were secured via agreement on Title for the use of residents of Area C. A No-Build Covenant registered on the title of Area C restricts Building Permit issuance for Area C. In accordance with the agreement, the covenant shall be discharged upon the City's satisfaction that the 43 parking stalls in Area B are indeed available and designated for use by the residents of Area C.
- Access To and From 3131 Sexsmith Road Through Area C: In accordance with legal agreements registered on title at rezoning stage, the proposed Development Permit provides for access that facilitates the interconnection of Area C's ground level parking structure with a future building on 3131 Sexsmith Road.

Zoning Compliance/Variances (staff comments in *bold italics*)

In Area C, the applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Increase the maximum permitted balcony projection for balconies into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road, from 1.0 m to 1.7 m.

Staff support the proposed variance as the proposed projections are limited to balconies on the south and east elevations on floors 2 – 5 of Building J in Area C and also on floors 8, 10, 11 and 13 at the southeast corner of Building K in Area D. The proposed variance would apply to balconies and would not interfere with public pedestrian circulation or vehicle sightlines. The proposed projections would articulate the building façade.

- 2) Increase the maximum permitted projection for architectural features into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road from 0.6 m to 1.7 m.

Staff support the proposed variance as the proposed projections are limited to the northeast corner of Building J in Area C and a cantilevered roof corner at the southeast corner of Building K in Area D. The proposed projections would not interfere with public pedestrian circulation or vehicle sightlines. The proposed projections also contribute to greater articulation of the building façade and tie-in the designs of the subject buildings to the adjacent tower development in Area B.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the proposal to the subject site on May 8, 2019. The Panel was supportive of the proposed form and character subject to the applicant giving further consideration to the Panel's comments. A copy of the relevant excerpt from the ADP Minutes from May 8, 2019 is attached for reference (Attachment 4). The design response from the applicant has been included immediately following the specific comments from members of the ADP and is identified in '**bold italics**'.

Analysis

The developer proposes to construct Phases 3 and 4 of a four-phase, high-rise, mixed-use development on a site located in proximity to the future Capstan Canada Line Station and adjacent to a new neighbourhood park secured at the time of rezoning. Carscallen Road terminates in a cul-de-sac at the south side of the subject site. A new private road south of Area C leading to Sexsmith Road, and a connection between No. 3 Road and Carscallen Road were secured through rezoning. The proposed development, which consists of high-rise towers rising from low podiums, generally conforms to the CCAP and applicable Development Permit Guidelines, and is well-suited to the site. In particular, the development provides for:

- A strong urban concept supporting a high density, high-amenity, pedestrian-friendly environment.
- Variations in building massing that contribute towards a human scale, solar access, usable rooftops, and upper- and mid-level views across the site for residents and neighbours.
- Architectural treatments that complement the urban context of the site through articulated street walls that are broken up along No. 3 Road to create distinction between buildings, visual interest from the public realm and from other buildings in the neighbourhood, and a high amenity public realm in general.

Architectural Form and Character

The CCAP encourages the development of a mosaic of distinctive, yet cohesive, urban villages. The subject development aims to satisfy this objective by building on the strong streetwall vocabulary established in the Capstan Village, while proposing distinct tower, podium and frontage treatments. In brief, features include the following:

- Strong mid-rise streetwall elements are articulated with a varied grid of windows, recessed and projecting elements (e.g., balconies), and bold horizontal frames that “float” over the development’s lower floors and together provide visual interest and a human scale.
- Tower treatments and colours vary in response to their locations.
- Rooftop mechanical equipment is integrated into the tower rooftops and screened to minimize visual impacts.
- Townhouse frontages include patios screened with hedges and distinctive entry features incorporating gates, weather protection, and lighting.
- Retail frontages along the No. 3 Road and Sea Island Way frontages include glass canopies, large storefront windows, and outdoor seating consolidated with tree groupings, designed to complement the materials and forms associated with the architectural gateway expression of Building L and the corner of No. 3 Road and Sea Island Way.

Perspective renderings of the proposed development are provided in Attachment 5.

Conditions of Adjacency

The subject site is located in Capstan Village, an emerging, high-rise, mixed-use area. Overall, it has been demonstrated that the design of the subject development is sensitive to its emerging urban context and has reasonably addressed conditions of adjacency as follows.

- City streets, measuring 20 m (66 ft.) wide or greater, frame the subject site on its north and east sides, which (together with typical building setbacks) ensure tower separation between the proposed development and existing/future neighbours would meet or exceed the CCAP recommended minimum distance of 24 m (79 ft.).
- The Linear Park Under the Canada Line Guideway: The proposed development is separated from the existing construction site and proposed mixed-use residential and commercial development across No. 3 Road by the City-owned linear park (shown as Lot 5 on Attachment 1), which contains the Canada Line guideway and a proposed park underneath the guideway.

The west sides of Buildings K and L, and the podium between them, follow the bowed form of the guideway. The single-storey podium employs a full-height glass barrier. At ground level, an active retail frontage is proposed, and the 'Public Plaza SRW' (referred to as the 'Neighbourhood Park Trail' SRW in the rezoning) would be applied to the setback area to secure a pedestrian right-of passage that integrates seamlessly with the linear park, including the proposed park underneath the guideway structure.

The developer has obtained a Preliminary Design Acceptance letter from Translink regarding the proposed development. The letter, pursuant to an SRW agreement on the Title of Area D which secures Translink access to the linear park area and the Canada Line guideway, notes that prior to any works in Area D, plans relating to excavation and construction of buildings are subject to Translink approval.

A Canada Line noise covenant has been secured at rezoning stage, which obliges the developer to construct buildings along the guideway to Canada Mortgage Housing Corporation (CMHC) standards for noise-reduction.

A signed and sealed letter from the developer's geotechnical engineer is required prior to Development Permit issuance, to confirm that pre-loading the site will not adversely impact the adjacent Canada Line infrastructure.

- The Carscallen Road Cul-De-Sac: Carscallen Road terminates at its north end in a cul-de-sac with driveway crossings to the north, west and east that provides respective vehicle access to:
 - The auto-court located on Area D.
 - The New Westerly Private Road located on the south side of Area D.
 - The Easterly Private Road located on the north side of Area B.

In Area D, Building K fronts onto the cul-de-sac and addresses it directly via the residential foyer. Across the drive aisle into the auto court in Area C, only a small portion of Building J directly fronts the cul-de-sac where it meets the easterly private road, consisting of the westernmost at-grade townhouse dwelling, buffered and screened by landscaping.

- The Easterly Private Road: A 20 m wide private road along the north side of Area B, between the cul-de-sac terminus of Carscallen Road and Sexsmith Road, has been secured by SRW in favour of the City and restricts public vehicular access to residents of Area B only. This private road provides adequate separation between the buildings on Area B and Area C, while below-grade parkade connections will facilitate future shared access and multi-lot parking utilization (secured with legal agreements).

In Area C, Building J directly fronts the private road with at-grade townhouse dwelling, buffered and screened by landscaping and private entry patios.

- A New Westerly Private Road: A 10 m wide SRW along the south side of Area D, secured by statutory right-of-way (SRW) in favour of the City and constructed over underground parking functions as a passenger pick-up and drop-off area for a) the hotel in Building K along the north side of the road, and b) for the future Canada Line Capstan Station (i.e. a Kiss & Ride facility) along the south side, thus minimizing potential traffic that would otherwise stop and queue along No. 3 Road. The SRW area will also be provided for access and potential parking to facilitate Translink operation of the future Canada Line Capstan Station.

In Area D, Building K directly fronts the westerly private road with at-grade retail or restaurant use at the southwest corner, and with the hotel lobby entrance at the midway point of the road. Public art is likewise proposed at the southwest corner of Building K, and is described later in this report. The above-grade storeys on the south side of Building K overhang a portion of the pedestrian right-of-passage along the north side of the Westerly Private Road to establish a weather-protected pedestrian arcade.

- The City-Owned Capstan Neighbourhood Park: A partially-constructed 8,047 m² (86,617 ft²) public open space is located south of the Westerly Private Road on Area D, and between No. 3 Road and Carscallen Road, which was required a condition of the rezoning. The first phase of this park (of three phases) has been constructed by Pinnacle Living (Capstan Village) Lands Inc.

In Area D, Building K frames the park, contributing to its enclosure by the existing and future tower developments that surround the park.

- 3131 Sexsmith Road: An ‘orphaned’ lot, located north of Area C and east of Area D and which fronts onto Sea Island Way and Sexsmith Road, is under different ownership than the subject site and is not subject to an application at this time. Future access to that site has been secured via the proposed parkade structure for Area C.

Building J (in Area C) and Building L (in Area D), both abut 3131 Sexsmith Road with no setback. As such, future development of that site would, from a massing perspective, contribute a continuity of massing established by the proposed development. The abutting portion of building J follows the podium edge on the west side and rises up to 7th storey at the east side. The abutting portion of Building L follows the 3rd storey green roof on the south side and rises to the 5th storey. Until 3131 Sexsmith Road develops, the abutting portions of Buildings J and L would present blank walls facing Sea Island Ways and Sexsmith Road. The developer proposes to soften the impact of the north-facing blank wall of Building J and the west-facing wall of Building L by incorporating a temporary artistic feature of a painted windswept leaf motif along a curvilinear path across their lengths.

Urban Design and Site Planning

The CCAP requires the subject development to provide for a high density mix of uses in a visually interesting, high-rise form, together with an attractive public realm.

- The Easterly Private Road Frontage: The south side of Area C is lined with townhouse entranceway patios and landscaping, which front directly onto the easterly private road. The townhouse patios are located 10 – 72 cm above the elevation of the adjacent sidewalk along the private road and are separated from the sidewalk by a 2 m wide planting strip and a

retaining wall that abuts the south property line. The terraced 10-storey to 15-storey 'street' wall of Building J completes the framing the private road, of which Building G in Area B is 19 storeys high.

- The Sexsmith Road Frontage: The south and east sides of Area C are lined with townhouse entranceway patios and landscaping, and those on the east side front directly onto Sexsmith Road. The townhouse patios are located 60 - 89 cm above the elevation of the adjacent sidewalk along the Sexsmith Road and are separated from the public realm by a 2.4 m wide planting strip and a retaining wall that is set back 40 cm from the east property line and screened with 2 m high yew hedges. The townhouse entrances and patios are separated from the residential foyer entrance by a landscaping. The 14-storey streetwall of Building J frames the street, the opposite side of which currently contains single detached dwelling but is designated for future high density mixed use development.

A Private Utilities Agreement that is currently registered on the title of Area C needs to be amended to replace the SRW plan to reflect the new location and area of the BC Hydro 'vista switchgear' chamber. This equipment is proposed to be screened with landscaping.

- The No. 3 Road Frontage: The west side of Area D is delineated with a streetwall that steps down mid-block to a single-storey podium between Buildings K (15 storeys) and L (12 storeys), which are both 47 m (154.2 ft.) in height. The massing of these buildings provides street definition and visual interest and to help visually break up the development into a rhythm of narrower buildings, as opposed to a solid street wall.

A 1,668 m² (0.41 acres) City-owned linear park is located between Area D and No. 3 Road and extends from the south lot line of Area D to Sea Island Way, and contains the Canada Line guideway. At ground level, a linear park is proposed under the guideway structure. The pedestrian thoroughfare between the building and the linear park is subject to a statutory right-of-way (SRW) in favor of the City and public access for a 'neighbourhood park trail', as secured via the rezoning in order to satisfy the requirements for the Capstan Station Bonus. A patterned cast-in-place concrete surface treatment is proposed that would extend to the urban park area under the Canada Line guideway, to provide the impression of a non-delineated urban space that permeates the streetscape as a whole. A row of coniferous trees would separate the asphalt bike path and the under-guideway area.

- The New Westerly Private Road Frontage: The south side of Building K (in Area D) is delineated with a 14-storey streetwall that overhangs an at-grade weather-protected pedestrian area and frames the north side of the park. Support columns create an arcade-style space under the overhang area. At street level, retail or restaurant use is accommodated for at the corner and primary access for customers of the hotel is located at the mid-point of the private road.
- The Sea Island Way frontage: The north side of Building L (in Area D) is defined by a 12-storey continuous street wall. Retail frontage extends across approximately 60% of this frontage from the corner, and the remaining easterly frontage is dedicated to service access screened by islands of trees and low landscaping. The same patterned surface treatment proposed along the No. 3 Road frontage would extend around the corner to the Sea Island Way frontage.

- The Multi-Use Auto-Court: Accessed from the north side of the cul-de-sac terminus of Carscallen Road, the auto-court consolidates service uses for both phases of the development, including loading and 2nd floor DEU access for equipment (via lift truck), separate parkade access for both phases, as well as providing an alternative drop-off and pick up area for the hotel.

The entrance to the residential component of Building K (in Area D) fronts directly onto the cul-de-sac, where it meets the westerly new private road. It is separated from the vehicle- and service-oriented uses in the auto-court by a water feature, a modest stand of trees with low landscaping in a raised planter and a pair of large support columns.

Landscape Design and Open Space Design

The CCAP encourages the development of Capstan Village with a network of small- and medium-size neighbourhood parks linked by greenways, bikeways, mid-block walkways, and other landscape features. In addition, Zoning Bylaw requirements with respect to the Capstan Station Bonus require that benefitting developments (including the subject developments) provide publicly-accessible open space over and above basic CCAP park standards. The developer's four-phase development plan locates most of its permanent public open space south of Area D in the form of Capstan Neighbourhood Park, which is owned by the City.

The proposed development provides the following:

- 3,277.1 m² (35,274 ft²) of total shared outdoor amenity space between the two phases: 1,264.7 m² (13,613 ft²) of shared outdoor amenity space is provided at grade and on the podium of Area C and 2,012.4 m² (21,661 ft²) is provided at grade and on the podium of Area D. These include children's outdoor play areas, as noted below.
- Children's outdoor play areas include playground areas with rubber play surface and playful topography, a multi-use court (with artificial turf), a long open play area (also with artificial turf) and an open lawn area with sodded turf. The play structures include: balance logs and boulders, a play hut, a 'spinning bowl', spinning chairs, spring chairs and exploratory stepping stone paths through the plantings.
- 2,729 m² (29,375 ft²) of (inaccessible) green roofs: 701 m² (7,546 ft²) in Area C and 2,028 m² (21,829 ft²) in Area D, distributed between Buildings K & L.
- Private outdoor amenity space for each residential unit in the form of a balcony, patio, or rooftop terrace is provided, consistent with CCAP guidelines.
- On-site street-fronting landscaping in the public realm, including the 'neighbourhood park trail' SRW area abutting Lot 5.
- All landscaped areas, including shrub and green roofs, are proposed to be irrigated

The estimated landscaping costs, including a 10% contingency is \$2,846,696.79, which will be provided to the City as a Letter of Credit prior to issuance of the Development Permit. Tree replacement was assessed at the time of rezoning. There are 47 replacement trees that are unable to be planted on site. The developer proposes to contribute \$23,500 (a rate of \$500 per tree, as secured at the time of rezoning) to the City's Tree Compensation Fund.

Shared Indoor Amenity Space

- In the case of the proposed developments in areas C and D, a total of 647.3 m² (6,967 ft²) of shared indoor amenity space has been provided (414 m² (4,456 ft²) in Area C and 233.3 m² (2,511 ft²) in Area D).
 - Indoor amenity space in Area C would be accessed by residents of both Areas C and D.
 - 148.3 m² (1,596 ft²) of indoor amenity space in Area D would be accessed by guests of the hotel and residents of both Areas C and D, however, an additional 85 m² (915 ft²) of separate indoor amenity space in Area D would be available only to the residents of Areas C and D.

Crime Prevention Through Environmental Design (CPTED)

- CPTED design strategies implemented in this proposal include surveillance, territoriality, lighting and landscaping.
- The public open spaces, including sidewalks, bike paths, plazas, and the pedestrian green link will be visually open and well lit, with units fronting these spaces to provide overlook.
- Units at street level are separated from the public realm by landscaped planters, guardrails, and elevated entrance patios, and provide overlook to adjacent sidewalks.
- The courtyard and rooftop gardens will likewise be visually open and well lit with multiple means of egress provided.
- The parking structure and lobbies are designed to minimize alcoves and hidden corners, will be well-lit, and the parking structure will be painted white.
- Parkade exhaust louvers are inset from the pedestrian walkway areas but areas with low visual clearance would be blocked with landscaping.

Public Art

- Legal agreements registered on title at rezoning stage require that the developer prepare a Detailed Public Art Plan for the subject Phase 4 site, to the City's satisfaction, prior to Development Permit issuance. The Detailed Public Art Plan has been considered by RPAAC (March 10, 2020) and support on-site artwork to be located at the southwest corner of Area D.
- Prior to Development Permit issuance, the developer shall submit a Letter of Credit for \$326,583.30 to secure the implementation of the Detailed Public Art Plan.

Accessible Housing

- The proposed development includes 65 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. 42 basic universal housing units are proposed in Area C, including all 41 Affordable Housing dwelling units in Building J, and 23 in Building K of Area D.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging.

Sustainability Measures

This project is not subject to Step Code. The applicant has submitted an acceptable Building Permit application prior to December 31, 2019, and must therefore achieve the City's LEED "Silver" equivalent criteria.

The development proposal targets 51 LEED points and responds to City objectives for enhanced long-term environmental, fiscal, and social sustainability as per the attached LEED Checklist (Attachment 6). In brief, among other things the development will include:


- An efficient mechanical system.
- Passive design elements.
- Plumbing fixtures that use at least 30% less water than the LEED baseline.
- Energy Star rated appliances.
- Water efficient landscaping to reduce potable water consumption for irrigation by 50%.
- Locally-manufactured building materials with high recycled content.
- Construction waste recycling during construction phase of the project.
- Extensive system of green roofs.

This development must be designed and constructed to facilitate their connection to a future City DEU system ("DEU Ready"). Prior to rezoning, legal covenants were registered on title requiring that, among other things, the developer submit for review the mechanical and architectural design and an energy modelling report prepared by an accredited professional to the satisfaction of the City prior to Building Permit approval to ensure compatibility for future DEU connection.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 7, which has been agreed to by the applicant (signed concurrence on file).



Robin Pallett, RPP, MCIP
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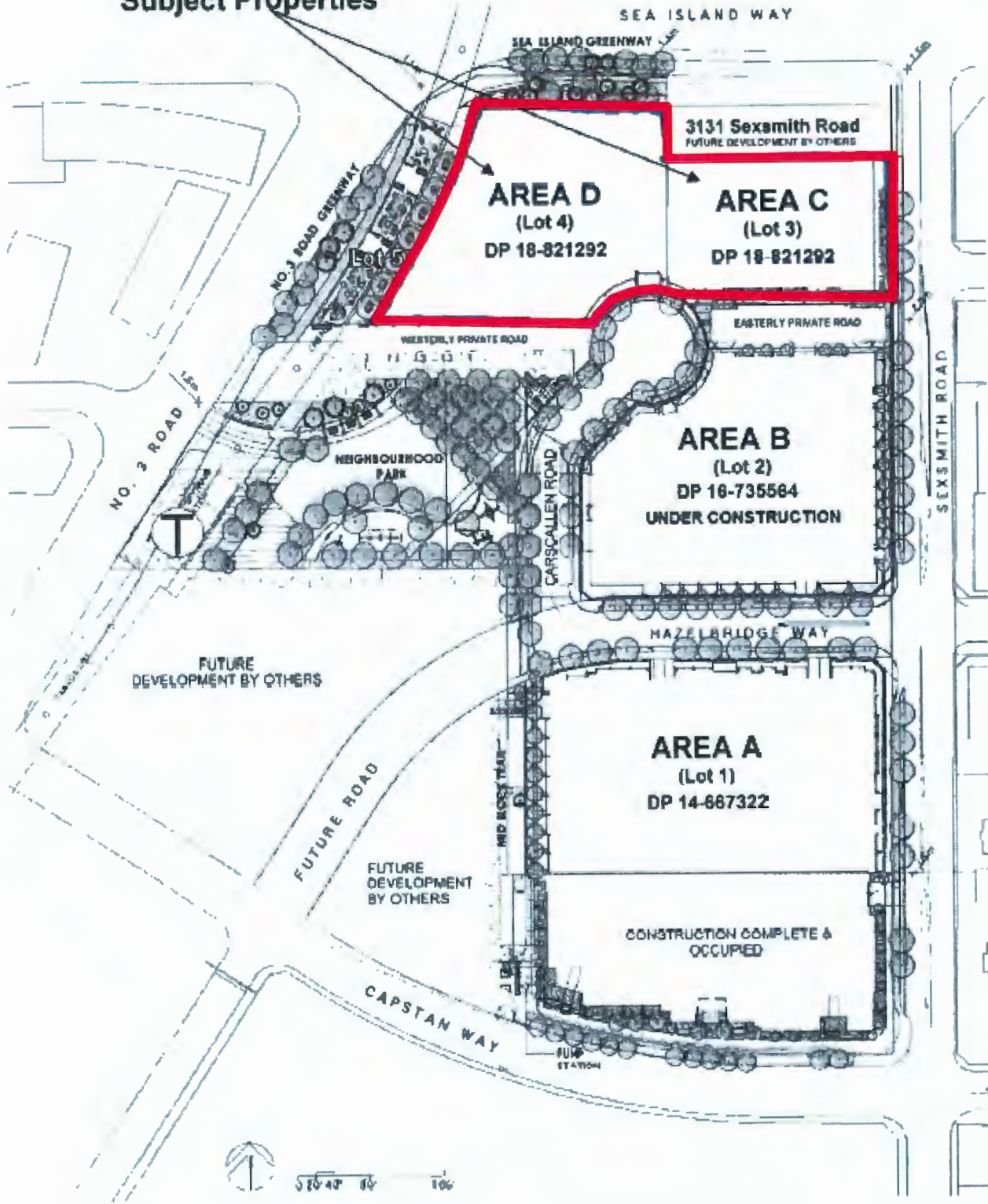
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Attachments:

1. Neighbourhood Areas and Phasing Map
2. Map of Buildings on the Subject Site
3. Development Application Data Sheet
4. Advisory Design Panel Meeting Minutes, May 8, 2019
5. Perspective Renderings
6. LEED Checklist
7. Development Permit Considerations

Neighbourhood Areas Map

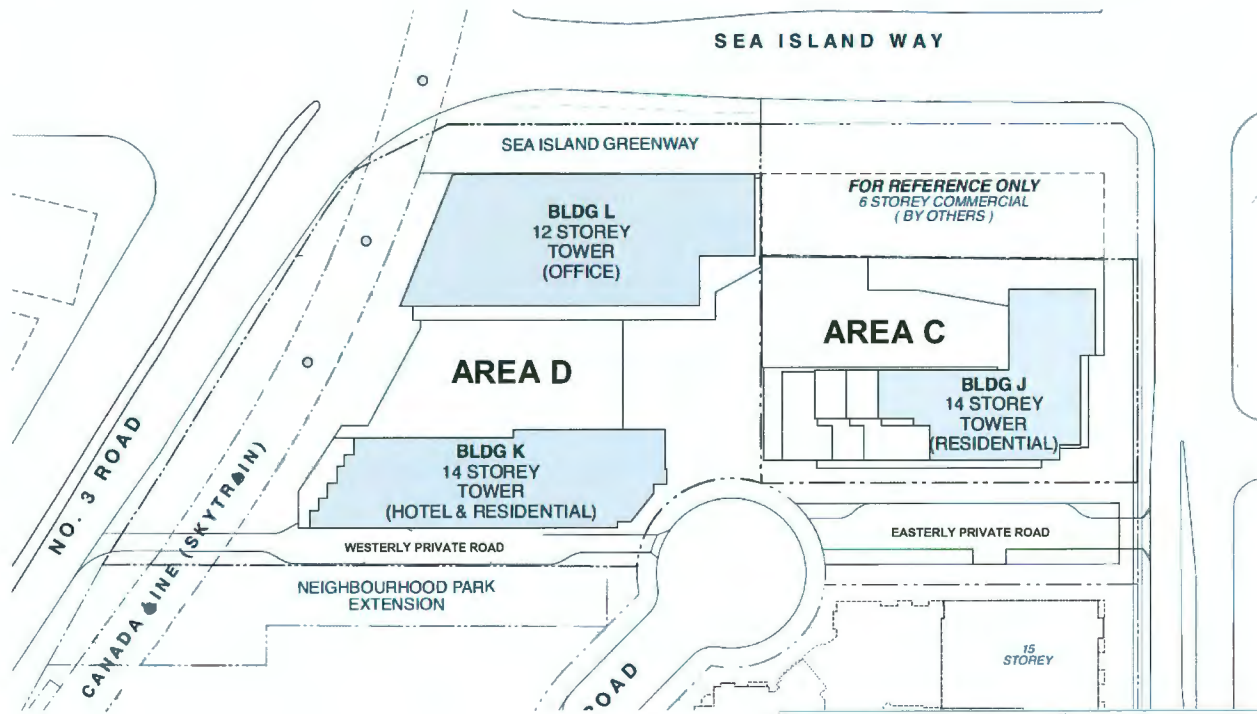
Subject Properties



Attachment 2

Map of Buildings on the Subject Site

(of staff report dated April 20, 2020)





Development Application Data Sheet
Development Applications Department

DP 18-821292

Address: 3208 (Area C) and 3211 (Area D) Carscallen Road

Applicant: Pinnacle Living (Capstan Village) Lands Inc. Owner: Pinnacle Living (Capstan Village) Lands Inc.

Planning Area: City Centre (Capstan Village)

Floor Area Gross: 54,170.8 m² Floor Area Net: 50,984.5 m²

	Existing	Proposed
Site Area:	10,595 m ²	No change
Land Uses:	Area C: Construction staging for Area B development Area D: Temporary sales office	Mixed use
OCP Designation:	Mixed Use	No change
CCAP Designation	Urban Centre T5 (45 m)	No change
Zoning:	Residential / Limited Commercial and Artist Residential tenancy Studio Units (ZMU25) – Capstan Village (City Centre)	Amendment via ZT 18-827860: transfer 436 m ² of floor area from Area B to Area C, and to transfer 1,026.6 m ² of affordable housing floor area from Area D to Area C
Number of Dwelling Units:	Area C: None	Area C: 166 market residential units plus 41 Affordable Housing Units (Total: 207 dwelling units)
	Area D: None	Area D: 115 market residential units
Commercial Floor Area	Area C: None	Area C: None
	Area D: Sales Office: approx. 550 m ²	Area D: <ul style="list-style-type: none"> ▪ retail : 649.5 m² ▪ office: 18,983.8 m² ▪ hotel : 8,616 m²

	Bylaw Requirement	Proposed	Variance
Lot Size:	Area C: Min. 3,200.0 m ²	3,429.0 m ²	None
	Area D: Min. 7,000.0 m ²	7,175.2 m ²	None
Floor Area Ratio:	Max. 4.98 including Village Centre bonus: Min. 0.1 Amenity Space	Area C: 4.7	None permitted
		Area D: 4.9	

	Bylaw Requirement	Proposed	Variance
Lot Coverage:	Max. 90%	Area C: 83%	None
		Area D: 62%	None
Height (m):	Max. 47.0 m GSC	Area C: 47.0 m GSC	None
		Area D: 47.0 m GSC	None
Setback – Balcony Projections	Max. 1 m (1/3 of the required 3m setback)	Area C: <ul style="list-style-type: none"> • south side of Level 2: 1.60m projection • southwest corner on Levels 2-5: 1.30m projection • east side of Levels 2-3: 1.63m projection 	Increase balcony projection into setbacks to 1.70 m
		Area D: southwest corner of Building K at levels 8, 10, 11 & 13: 1.6m projection	Increase balcony projection into setbacks to 1.70 m
Setback – Architectural Feature Projections	Max. 0.6 m	Area C: <ul style="list-style-type: none"> • southwest corner of levels 1-4: 1.24m projection (a support column) • east side of levels 1-2: 1.63m projection (a support column) • northeast corner of levels 1-2: 1.63m projection (a supporting wall) 	Increase architectural feature projection into setbacks to 1.70 m
		Area D: cantilevered roof corner at the southwest corner of Building K: 1.6m projection	Increase architectural feature projection into setbacks to 1.70 m
Off-Street Parking Spaces:	Area C: Min 218 spaces	Area C: 242 spaces	None
	Area D: Min 316 spaces	Area D: 317 spaces	None
Amenity Space – Indoor:	Area C: Min 514 m ²	Area C: 414.0 m ²	None
	Area D: Min 100 m ²	Area D: 233.3 m ²	None
Amenity Space – Residential Outdoor:	Area C: Min 1,584.9 m ²	Area C: 1,264.7 m ²	None
	Area D: Min 1,676.3 m ²	Area D: 2,176.2 m ²	None

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, May 8, 2019 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

**1. DP 18-821292 – 3-TOWER CITY CENTRE RESIDENTIAL, HOTEL, OFFICE
MIXED USE DEVELOPMENT PINNACLE PHASES 3 & 4**

ARCHITECT: Bingham Hill Architects
LANDSCAPE ARCHITECT: Durante Kreuk Ltd.
PROPERTY LOCATION: 3208 and 3211 Carscallen Road

Applicant's Presentation

John Bingham and David Karpenic, Bingham Hill Architects, and Peter Kreuk, Durante Kreuk Ltd., presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- appreciate that the applicant is coordinating with the City regarding public art and its potential location in the project as public art would enhance the public realm;
- support the use of red building elements as it differentiates the proposed development from the rest of the neighbourhood;
- consider further breaking down the building massing of Building K facing the new neighbourhood park, particularly its lower levels through further articulation of the façade and breaking it down into smaller components to provide a more pedestrian-oriented character to the south facade, e.g., reducing the size and further articulating the white frames and/or introducing additional shades of red colour for the vertical elements; also consider further articulating the building columns;

Response: The south elevation of Building K has been refined, adjusting both scale and detail. The ground floor restaurant opens onto the adjacent sidewalk while residential and hotel components have been refined to provide appropriate scale relating to adjacent projects and to complete the encirclement of the adjacent park

- notwithstanding its use in other locations on No. 3 Road, support the proposed corner treatment of office Building L, i.e., the inward sloping plane of faceted glass at the corner of Sea Island Way and No. 3 Road, as it provides identity to the prominent corner and helps announce the project as a major gateway location;
- consider further breaking down the building massing on the north façade of Building L to enhance its pedestrian character and provide a stronger identity to its corner/gateway location;

Response: The rhythm of the building facade is adjusted with frame and slot elements now narrower, reinforcing the vertical scale. The Sea Island greenway is revised from an urban forest to an open plaza.

- support the continuous paving treatment along the Building K frontage facing the park as it helps integrate the programs of the park with the other proposed uses along the south side of Building K; also support the proposed canopies for weather protection;
- consider introducing appropriate treatment to the blank wall portion of the lower east façade of Building L to provide a better interface with the future development in the orphan lot;

Response: The height of the blank wall has been reduced from 7 storeys to 4 storeys and will be hidden by the future 5-6 storey development.

- Building J is the most well resolved building due to the variation of the belt line along the street frontages around the building which effectively breaks down the massing of the 14-storey building;
- the belt line in other buildings, in particular Building K, is stark and straight and presents a proportion issue with the residential above the hotel storeys; consider introducing the red vertical building elements in the lower levels into the upper levels of the building to break down the massing of the residential storeys;

Response: The straight belt line is softened and muted with dark spandrel expanding in vertical slots up into the residential floor and down to the hotel entrance. Residential floors float above the hotel and are strengthened by the white frame elements surrounding the balconies.

- the façade and corner treatment of Building L does not meet the desired objective of a “gateway” character; consider simplifying the approach to the building façade’s treatment and using less material changes and sculpting;

Response: The inward sloping plane has been reduced in height and now supports a cantilevered vertical element, strengthening the corner/gateway definition.

- consider relocating the children’s play area in the outdoor amenity space into an area which has more sunlight exposure as indicated in the shadow study;

Response: The children’s play areas have been located at the western edges of the podiums, providing the greatest opportunity for direct sunlight.

- the hotel frontage in Building K appears dark and too far back; needs to improve its relationship to the park;

Response: The hotel frontage features varying soffit heights providing natural light into the restaurant and entry spaces while providing weather protection for the walkway along the frontage.

- the project could meet the requirements for LEED Silver Equivalency; however, it could face serious challenges meeting Step Code 2 requirements should the applicant not be able to apply for a Building Permit by December 31, 2019; a 50 percent glass-to-wall ratio would be difficult to achieve for the project; balconies, slab extensions and no provision of heat recovery ventilators (HRVs) for residential units would provide further challenges to meeting Step Code 2 requirements;

Response: This project meets the requirements for LEED silver equivalency. The building permit application was submitted and accepted prior to Dec 31, 2019 and is not required to meet the Step Code 2 energy requirements.

- appreciate the applicant's intention to use energy modeling which is essential in meeting Step Code requirements; however, the applicant could have included specific targets;
- the model was helpful in understanding the project;
- further design development, details and refinements are needed to improve the project; ensure that the parkade exhaust will not negatively impact the appearance of the building exterior adjacent to pedestrian circulation areas; also review the soffit treatment to the lower and upper portions of the building as these are visually prominent, particularly at the corner of the hotel;

Response: Exhaust and intake grilles are integrated into the design of the building and are screened by adjacent landscaping.

- landscaping in the outdoor amenity areas at the podium rooftops are an important feature of the project; consider enhancing the landscaping on the ground plane, e.g., increasing the density of planting in the plaza near the hotel entrance to create a stronger relationship between lower and upper level landscaping;

Response: The entry sequence to the Hotel and Turn around have been refined to add planting , enhance the water feature and frame the vehicular entry sequence.

- the south elevation, in particular Building K, needs refinement to strengthen the relationship between on-site uses and the park;

Response: See previous comments regarding Building K.

- Building K's residential lobby off the cul-de-sac appears geometrically unresolved; consider further design development to create a stronger form and character to this building edge and not rely on public art;

Response: The residential lobby and auto-court frontage have been redesigned to better address vehicle and pedestrian access from the cul-de-sac.

- appreciate the interesting and dynamic paving patterns on the public realm; large enough to be experienced by pedestrians;
- provision for street furniture on the ground plane appears inadequate; placement of trees and design of furniture should reflect the paving angles and patterns which could spill out into the new park;

Response: Design of benches and planted landscaped areas is refined to be reflective of paving patterns and angles.

- consider extending the No. 3 Road public realm treatment (i.e., introducing benches and polygon shapes in the greenway) along the Sea Island Way frontage;

Response: Public realm treatment is now continuous from No.3 Road through the Sea Island Greenway (north frontage) to the eastern boundary of Phase 4.

- consider relocating the bicycle racks behind the potential public art location at the corner of No. 3 Road and Sea Island Way; bicycle racks could be integrated into the landscape design and forms;

Response: Bicycle racks have been relocated and integrated into the landscape design.

- appreciate the applicant's approach to integrate the polygon patterns into the planting arrangement in the podium rooftop outdoor amenity areas; however, consider reducing the amount of trees to allow more sunlight exposure into the amenity spaces;

Response: The number of trees have been reduced at the podium levels.

- appreciate the model and the design of the project;
- the design of the ground plane could be improved to match the quality of building design;

Response: The landscape design of the ground plane has been further developed to suit Architectural updates and Civil refinements. Paving patterns link all areas of the public interface, custom furniture and exercise equipment is proposed .Spaces for people to gather and socialize are created in conjunction with ground floor uses of the buildings.

- applicant needs to improve the views along the access route to parking and loading (i.e., the auto-court) which include loading bays, garbage and recycling collection/pick-up stations and access ramps; further design development is needed for the auto-court to increase the project's value which includes considering (i) consolidating and reducing the number of access ramps to parking, (ii) relocating the entry to the residential lobby in Building K to face south to the private road in order to provide relief to the cul-de-sac, and (iii) relocating the surface drop-off parking spaces from the front yards abutting the cul-de-sac to other areas in order to enhance pedestrian safety in the auto-court;

Response: The auto-court area has been extensively redesigned, becoming an arrival plaza with entrances provided to both hotel, conference and office functions. The area at the east end of Building K is now opened double height providing a direct and inviting visual connection to the cul-de-sac. Service uses such as waste management and loading have been combined wherever possible and located within the buildings. The drop off parking spaces are removed from the front-yard and replaced with landscaping.

- support the Panel comments regarding the quality of the design of the project; and
- consider the safety of children and people with disabilities (e.g., those with visual impairment) in the design of the new road, particularly its paving treatment, which is intended for shared vehicular and pedestrian use.

Response: It is intended to provide a seamless connection between the hotel and park. The addition of textured paving at the pedestrian transition from hotel sidewalk to road is being considered. The use of lighting and paving items will define the edge between pedestrian space and car movement.

Panel Decision

It was moved and seconded

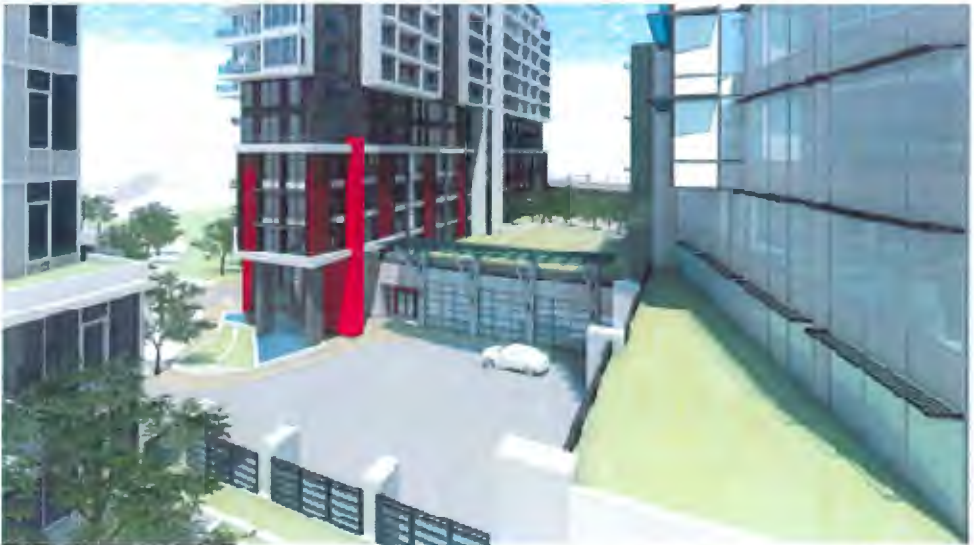
That DP 18-821292 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

Opposed: Pablo Yuste



VIEW TO AUTOCOURT FROM SOUTHEAST



VIEW TO AUTOCOURT FROM NORTHEAST

PINNACLE LIVING @ CAPSTAN VILLAGE
PHASE 3 & 4: 1204 Carecallen Road & 320C No. 3 Road
RICHMOND, BRITISH COLUMBIA
FOR PINNACLE LIVING (CAPSTAN VILLAGE) LIMITED

3D VIEWS	PLAN # 99
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VIEW TO BUILDING J (PHASE 3) FROM SOUTHEAST



VIEW TO BUILDING J (PHASE 3) FROM SOUTHWEST

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for Pinnacle Living (Capstan Village) Lands Inc.

		30 VIEWS	
			



VIEW TO BUILDING K (PHASE 4) FROM SOUTH



VIEW TO BUILDING K (PHASE 4) FROM NORTHWEST

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3206 Carscallen Road & 3200 No. 3 Road



3D VIEWS





VIEW TO BUILDING L (PHASE 4) FROM NORTH



VIEW TO BUILDING J (PHASE 3) FROM SOUTHWEST

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3206 Carscallen Road & 3200 No. 3 Road
 RICHMOND BR TIER COLUMBIA
 for PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

		3D VIEWS	
		PLANT # 66	



LEED v4 for BD+C: New Construction and Major Renovation Project Checklist

Y	?	N			
1			Credit	Integrative Process	1
13	0	3	Location and Transportation		16
			Credit	LEED for Neighborhood Development Location	16
1			Credit	Sensitive Land Protection	1
		2	Credit	High Priority Site	2
5			Credit	Surrounding Density and Diverse Uses	5
5			Credit	Access to Quality Transit	5
1			Credit	Bicycle Facilities	1
		1	Credit	Reduced Parking Footprint	1
1			Credit	Green Vehicles	1
3	0	7	Sustainable Sites		10
Y			Prereq	Construction Activity Pollution Prevention	Required
1			Credit	Site Assessment	1
		2	Credit	Site Development - Protect or Restore Habitat	2
		1	Credit	Open Space	1
		3	Credit	Rainwater Management	3
1		1	Credit	Heat Island Reduction	2
1			Credit	Light Pollution Reduction	1
3	3	5	Water Efficiency		11
Y			Prereq	Outdoor Water Use Reduction	Required
Y			Prereq	Indoor Water Use Reduction	Required
Y			Prereq	Building-Level Water Metering	Required
1		1	Credit	Outdoor Water Use Reduction	2
2		4	Credit	Indoor Water Use Reduction	6
	2		Credit	Cooling Tower Water Use	2
	1		Credit	Water Metering	1
5	0	28	Energy and Atmosphere		33
Y			Prereq	Fundamental Commissioning and Verification	Required
Y			Prereq	Minimum Energy Performance	Required
Y			Prereq	Building-Level Energy Metering	Required
Y			Prereq	Fundamental Refrigerant Management	Required
		6	Credit	Enhanced Commissioning	6
5		13	Credit	Optimize Energy Performance	18
		1	Credit	Advanced Energy Metering	1
		2	Credit	Demand Response	2
		3	Credit	Renewable Energy Production	3
		1	Credit	Enhanced Refrigerant Management	1
		2	Credit	Green Power and Carbon Offsets	2

Project Name: Capstan Phases 3 and 4
 Date: 29-Apr-19

8	0	5	Materials and Resources		13
Y			Prereq	Storage and Collection of Recyclables	Required
Y			Prereq	Construction and Demolition Waste Management Planning	Required
		5	Credit	Building Life-Cycle Impact Reduction	5
2			Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
2			Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
2			Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2			Credit	Construction and Demolition Waste Management	2

13	2	1	Indoor Environmental Quality		16
Y			Prereq	Minimum Indoor Air Quality Performance	Required
Y			Prereq	Environmental Tobacco Smoke Control	Required
1	1		Credit	Enhanced Indoor Air Quality Strategies	2
3			Credit	Low-Emitting Materials	3
1			Credit	Construction Indoor Air Quality Management Plan	1
2			Credit	Indoor Air Quality Assessment	2
1			Credit	Thermal Comfort	1
2			Credit	Interior Lighting	2
2	1		Credit	Daylight	3
1			Credit	Quality Views	1
		1	Credit	Acoustic Performance	1

5	1	0	Innovation		6
4	1		Credit	Innovation	5
1			Credit	LEED Accredited Professional	1

0	0	4	Regional Priority		4
		1	Credit	Regional Priority: Specific Credit	1
		1	Credit	Regional Priority: Specific Credit	1
		1	Credit	Regional Priority: Specific Credit	1
		1	Credit	Regional Priority: Specific Credit	1

51	6	53	TOTALS		Possible Points: 110
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Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110



Address: 3208 & 3211 Carscallen Road

File No.: DP 18-821292

Prior to approval of the Development Permit, the developer is required to complete the following:

1. New BC Hydro Access Area: Amend the Private Utilities Agreement registered on the title of Lot 3 to replace its 'Schedule A' Plan EPP44100 with Plan EPP95878, in order to accommodate an above-ground BC Hydro 'vista gear switch' kiosk.
Private Utilities Agreement RC CA4136001/SRW CA4136002
2. Public Art: As required by the legal agreement registered on title prior to rezoning adoption, the developer shall submit the following items.

a) A Detailed Public Art Plan for the subject site, based on the developer's voluntary contribution (as indicated in the following tables) and prepared by an appropriate professional, to the satisfaction of the Director of Arts, Culture, and Heritage Services (including review(s) by the Richmond Public Art Advisory Committee (RPAAC) and endorsement by Council, as required by the Director of Arts, Culture, and Heritage Services.
NOTE: The required Plan was reviewed and supported by RPAAC, March 10, 2020. (REDMS #6416054)

b) \$326,583.30 Letter of Credit to secure the implementation of the Detailed Public Art Plan. Table 1 breaks down the Minimum Voluntary Developer Contribution for Lots 3 and 4.

TABLE 1:

Use	Proposed Floor Area	Permitted Floor Area Exemptions	Applicable Floor Area	Min. Developer Contribution Rates	Min. Voluntary Developer Contribution
Residential	Lot 3: 16,168.4 m ² <u>Lot 4: 7,937.2 m²</u> 24,105.6 m ²	Lot 3: 3,443.2 m ² <u>Lot 4: 0 m²</u> 3,443.2 m ²	Lot 3: 12,725.6 m ² <u>Lot 4: 7,937.2 m²</u> 20,662.4 m ²	\$0.87/ft ² (9.36/m ²)	\$193,495.15
Non-Residential	Lot 3: 0 m ² <u>Lot 4: 26,878.9 m²</u> 26,878.9 m ²	N/A	Lot 3: 0 m ² <u>Lot 4: 26,878.9 m²</u> 26,878.9 m ²	\$0.46/ft ² (4.95/m ²)	\$133,088.15
TOTAL	-	-	-	-	\$326,583.30

c) Discharge the existing Public Art Agreements on the subject Lots and replace each one with a new Restrictive Covenant that reflects the existing agreement, but stipulates that the owners of the Lots retain and maintain the public art pieces that reside on their lots.

Public Art Agreement (RC CA4136058/RC CA4136059)

3. Cross Access Replacement Easement: Lots 2, 3 and 4 currently have blanket easements over them to allow the owners of each lot access over the others. The blanket easement should be replaced with easement areas that correspond with their respective buildings. In addition, the original agreements anticipated that there would be shared loading, garbage and recycling facilities between Lots 2, 3 and 4, which is not the case at this time.
 - a) Design, execute and deliver the Lot 3 and Lot 4 Easement Areas and the access and circulation requirements contemplated in the Cross Access Easement and all necessary documents to effect the Replacement Agreements (as defined in restrictive covenant CA6736513/CA6736514);
 Cross Access Easement b/w Lots 2, 3 & 4 (Easement CA6736510/RC CA6736513 & Easement CA6736511/RC CA6736514)
 - b) As provided for by the legal agreement registered on title prior to rezoning adoption (Easement CA6736510/CA6736511 & Restrictive Covenant CA6736513/ CA6736514), the developer shall replace the existing blanket easements registered on the subject site (Lots 3 and 4) with their respective Replacement Agreements for the purpose of modifying the extent of the Lot 3 and 4 Easement Areas and related requirements to reflect the subject Development Permit, to the City's satisfaction, including, but not limited to:
 - i. Accurately describing the portions of the Lot 3 parking structure that will be secured for the use of the owners of Lot 2 (8699 Hazelbridge Way) and Lot 4 (3211 Carscallen Road) to facilitate access/egress via the Lot 3 driveways;
 - ii. Accurately describing the portions of the Lot 4 parking structure that will be secured for the use of the owners of Lot 2 (8699 Hazelbridge Way) and Lot 3 (3208 Carscallen Road) to facilitate access/egress via the Lot 4 driveways; and
 - iii. Amending the Cross Access Easement agreements on the titles of Lot 3 and Lot 4 (Easement CA6736510/CA6736511 & Restrictive Covenant CA6736513/ CA6736514) to remove stipulations pertaining to shared Loading, Garbage, and Recycling Facilities and ancillary uses/spaces.
 Cross Access Easement b/w Lots 2, 3 & 4 (Easement CA6736510/RC CA6736513 & Easement CA6736511/RC CA6736514)
4. Lot 3 Residential Parking Located on Lot 2: Discharge restrictive covenant CA6736507, which prohibits issuance of a Building Permit for Lot 3, in the event that the City Solicitor is satisfied that the DP application includes the 43 parking spaces located in Lot 2 that are attributed to Lot 3. No-Build (RC CA6736507)
5. No-Impact Pre-Load: Receipt of a signed and sealed letter from the Geotechnical Engineer confirming that preloading for the site will not adversely impact the existing Canada Line infrastructure.
6. Landscaping Cost Estimate: Receipt of a Letter of Credit for landscaping in the amount of \$2,846,696.79 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).
7. Replacement Trees: City acceptance of the developer's offer to voluntarily contribute \$23,500 (based on 47 trees unable to be planted on the site) to the City's Tree Compensation Fund for the planting of replacement trees within the City.
8. Hotel Strata Restriction: Registration of a Restrictive Covenant onto the Title of Lot 4 that prohibits subdivision of individual hotel rooms/suites by way of stratification or air space parcel.
9. Capstan Station Bonus: Submit a Letter of Assurance confirming that the combined total number of dwellings on 8633/8677 Carscallen Road (Lot 1), 8699 Hazelbridge Way (Lot 2) and the subject site (Lots 3 and 4) do not exceed 1,186, which is the maximum permitted number of units on Lots 1-4 based on the developer's 6,810.4 m² (1.7 ac) public open space contribution at rezoning;

10. Affordable Housing: Enter into the Lot 3 Housing Agreement and register the Lot 3 Housing Covenant to:
- Secure 41 affordable housing units, the combined habitable floor area of which shall comprise at least 3,007 m², equivalent to 18.6% of the total residential building area, as affordable housing as per the City's low-end market rental rates.
 - Ensure occupants of the units subject to the Housing Agreement shall enjoy full and unlimited access to and use of all on-site indoor and outdoor amenity spaces.
 - Prohibit the separate sale or transfer of less than nine Affordable Housing units in a single transaction.
 - Ensure Basic Universal Housing features are provided in 100% of the units.
 - The terms of the Housing Agreement shall indicate that they apply in perpetuity and provide for as per Table 2; and
 - Ensure that no parking fees are charged to residents of the units.

TABLE 2:

Affordable Housing Unit Type	Number of Units	Minimum Unit Area	Maximum Monthly Unit Rent (1) (2)	Total Maximum Household Income (1) (2)
Studio	2	37 m ² (400 ft ²)	\$759	\$34,650 or less
1-Bedroom	16	50 m ² (535 ft ²)	\$975	\$38,250 or less
2-Bedroom	9	69 m ² (741 ft ²)	\$1,218	\$46,800 or less
3-Bedroom	14	91 m ² (980 ft ²)	\$1,480	\$58,050 or less
TOTAL	41	N/A	N/A	N/A

(3) Denotes 2017 amounts adopted by Council on July 24, 2017.

(4) Subject to Council approval, total annual household incomes and maximum monthly rents may be increased annually by the Consumer Price Index.

11. Public Right of Passage over the New Westerly Private Road: Registration of a 10.0 m wide Statutory Right-of-Way (SRW) along the southern side of Lot 4 to facilitate public access and related landscaping and infrastructure, and including widening as required to provide for one-way vehicle movements where the SRW intersects with public streets, connecting No. 3 Road with Carscallen Road. The right-of-way shall provide for:
- 24 hour-a-day, public access for pedestrians (to universally accessible standards), bicycles, and general purpose vehicle traffic;
 - One-way vehicular traffic from No. 3 Road to Carscallen Road only, and allow for temporary vehicular parking for users of the future Canada Line station and hotel visitors;
 - Public access to fronting residential, commercial, public open space, and other on-site uses;
 - Emergency and service vehicle access, City bylaw enforcement, and any related or similar City-authorized activities;
 - Special design treatments and landscape features including, but not limited to, lighting, furnishings, street trees and planting, decorative paving, and innovative storm water management measures, to the satisfaction of the City;
 - Public art;
 - Traffic control (e.g., signals) and related equipment;
 - The owner-developer's ability to close some or all of the right-of-way to public access in the event of an emergency (e.g., structural failure of the road) with the approval of the City;
 - The owner-developer's ability to close some or all of the right-of-way to vehicles for special events with pre-approval in writing from the City;

- j) The owner-developer's ability to close a portion of the right-of-way to public access to facilitate maintenance or repairs to the Private Road or the fronting uses, provided that adequate public access is maintained and the duration of the closure is limited, as approved by the City in writing in advance of any such closure;
 - k) Design and construction at the sole cost and responsibility of the developer, to the satisfaction of the City, via an approved Development Permit* (secured via the Landscape Letter of Credit), Servicing Agreement* and Building Permit*; and
 - l) Maintenance at the sole cost of the owner-developer, to the satisfaction of the City.
 - m) In addition, the right-of-way shall provide for:
 - i. Building encroachments, provided that such encroachments do not conflict with the design, construction, or intended operation of the Public Plaza (e.g., tree planting, pedestrian access), as specified in a Development Permit* approved by the City, including building encroachments situated:
 - (a) Fully below the finished grade of the right-of-way; and
 - (b) Above the finished grade of the right-of-way, limited to pedestrian weather protection, architectural appurtenances, and signage, provided that such encroachments do not project more than 3.0 m into the right-of-way or as otherwise determined to the satisfaction of the City as specified in an approved Development Permit* and there is a clear distance of at least 2.3 m between the finished grade of the right-of-way and the underside of the encroachment.
 - n) The right-of-way shall not provide for driveway crossings, with the exception of temporary parking to the south of the subject SRW area for Canada Line related vehicles; and
- NOTE: This right-of-way is NOT eligible public open space with respect to CCAP and Zoning Bylaw public open space requirements for the Capstan Station Bonus.

12. Public Right of Passage over the New Westerly Private Road in favour of Translink: Registration of a 10.0 m wide Statutory Right-of-Way (SRW) along the southern side of Lot 4 to facilitate operation of a kiss & ride facility. The City's SRW over this same area shall be registered in priority to the Translink SRW.

13. Servicing Agreement: Enter into a Servicing Agreement* for the design and construction of offsite improvements to address Lot 5 improvements, Westerly Private Road improvements and transportation related issues in the area. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to, construction of the exercise and parkour park on Lot 5, frontage improvements and widening of Sexsmith Road (between Patterson Road and Sea Island Way) and frontage improvements along Sea Island Way and No. 3 Road.

14. Concurrent Application Approvals:

- a) Final adoption of Zoning Amendment Bylaw 10107 (via application ZT 18-827860).
- b) Final adoption of the Affordable Housing Bylaw 10036 (via application LD 19-859062).

Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. District Energy Utility (DEU): Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
 - 1.1 No building permit will be issued for a building on the subject site (i.e. on a lot created through consolidation and subdivision as per Section 2.3, as per the Location Map,

Schedule A) unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;

- 1.2 If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building;
- 1.3 If a DEU is not available for connection, then the following is required prior to the earlier of subdivision (stratification) or final building inspection permitting occupancy of a building:
 - a) The City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
 - b) The owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation;
 - c) The owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building; and
 - d) If required by the Director of Engineering, the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.
2. Provide copies of all applicable approvals and permits obtained from Translink.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Provide a detailed code analysis addressing classification, fire access, fire separations, exiting, and accessibility.
5. Provide a separate overall site plan including the building showing "Fire Fighting Provisions", including access routes; response point; hydrant location; exiting from the buildings; fire alarm panel; fire department connection; location of service rooms (mechanical, electric); sprinkler systems; and generator systems (including fuel tank).
6. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
7. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act. All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



No. DP 18-821292

To the Holder: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

Property Address: 3208 AND 3211 CARSCALLEN ROAD

Address: C/O PINNACLE INTERNATIONAL
#300 – 911 HOMER STREET
VANCOUVER, BC V6B 2W6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Increase the maximum permitted balcony projection for balconies into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road, from 1.0 m to 1.7 m.
 - b) Increase the maximum permitted projection for architectural features into required setbacks at 3208 Carscallen Road and 3211 Carscallen Road from 0.6 m to 1.7 m.
4. Subject to Division 1, Part 9 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #78 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$2,846,696.79 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 18-821292

To the Holder: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.
Property Address: 3208 AND 3211 CARSCALLEN ROAD
Address: C/O PINNACLE INTERNATIONAL
#300 – 911 HOMER STREET
VANCOUVER, BC V6B 2W6

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

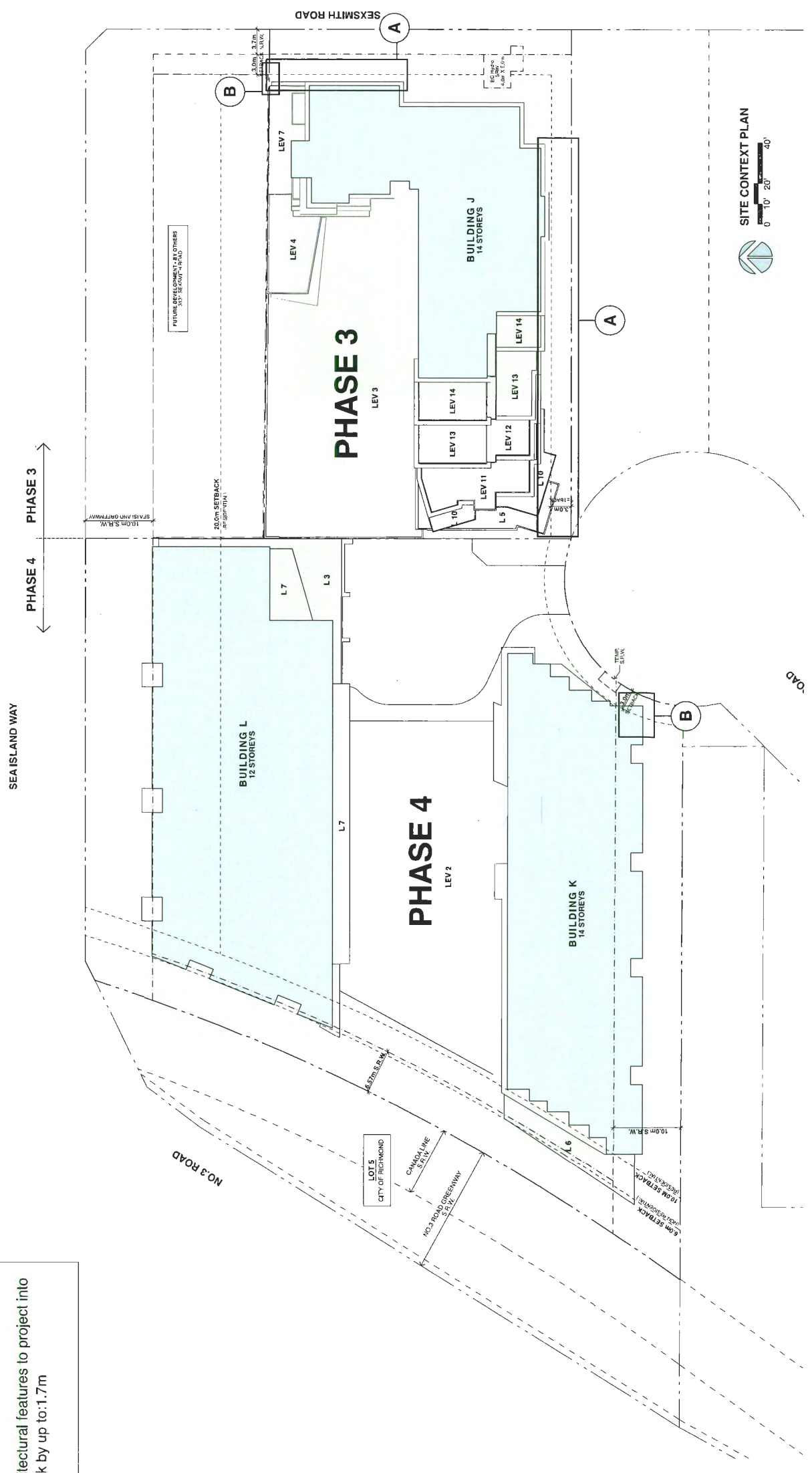
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR

VARIANCES REQUESTED
 Vary the provisions of the Richmond Zoning Bylaw 8500 to:

- A.** Allow unenclosed balconies to project into the required setback by up to: 1.7m
- B.** Allow architectural features to project into the setback by up to: 1.7m



SITE CONTEXT PLAN
 0' 10" = 20' = 40'

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DATE / REVISION	BY
1	2024.01.15	ARCHITECT
2	2024.01.15	ENGINEER
3	2024.01.15	PLANNING
4	2024.01.15	LANDSCAPE
5	2024.01.15	MECHANICAL
6	2024.01.15	ELECTRICAL
7	2024.01.15	PLUMBING
8	2024.01.15	PAINTING
9	2024.01.15	FINISHES
10	2024.01.15	GENERAL

SITE PLAN & REQUESTED VARIANCES

PROJECT #	DATE	SCALE	PLAN #
1706			2c

PHASE 4

TOTAL PARKING PROVIDED		
DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	2
RESIDENTIAL	SMALL	57
RESIDENTIAL	STANDARD	30
OFFICE/RETAIL/HOTEL	HC	4
OFFICE/RETAIL/HOTEL	STANDARD	72
RESIDENTIAL VISITOR	HC	114
RESIDENTIAL VISITOR	SMALL	0
RESIDENTIAL VISITOR	STANDARD	11
RESIDENTIAL VISITOR	STANDARD	317

RESIDENTIAL PARKING: P2		
DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	0
RESIDENTIAL	SMALL	29
RESIDENTIAL	STANDARD	30
OFFICE/RETAIL/HOTEL	HC	4
OFFICE/RETAIL/HOTEL	STANDARD	59

NON-RESIDENTIAL PARKING: P2		
DESIGNATION	SIZE	QTY
OFFICE/RETAIL/HOTEL	HC	0
OFFICE/RETAIL/HOTEL	SMALL	35
OFFICE/RETAIL/HOTEL	STANDARD	89
OFFICE/RETAIL/HOTEL	STANDARD	104

Bike Parking Provided: P2		
DESIGNATION	SIZE	QTY
OFFICE	RESIDENT	48
HORIZONTAL		18
VERTICAL		30
OFFICE	HOTEL	2
HORIZONTAL		2
VERTICAL		73

PHASE 3

TOTAL PARKING PROVIDED		
DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	1
RESIDENTIAL	SMALL	68
RESIDENTIAL	STANDARD	121
VISITOR	HC	1
VISITOR	SMALL	5
VISITOR	STANDARD	13
VISITOR	STANDARD	242

PARKING PROVIDED: P2

DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	2
RESIDENTIAL	SMALL	40
RESIDENTIAL	STANDARD	39
RESIDENTIAL	STANDARD	81

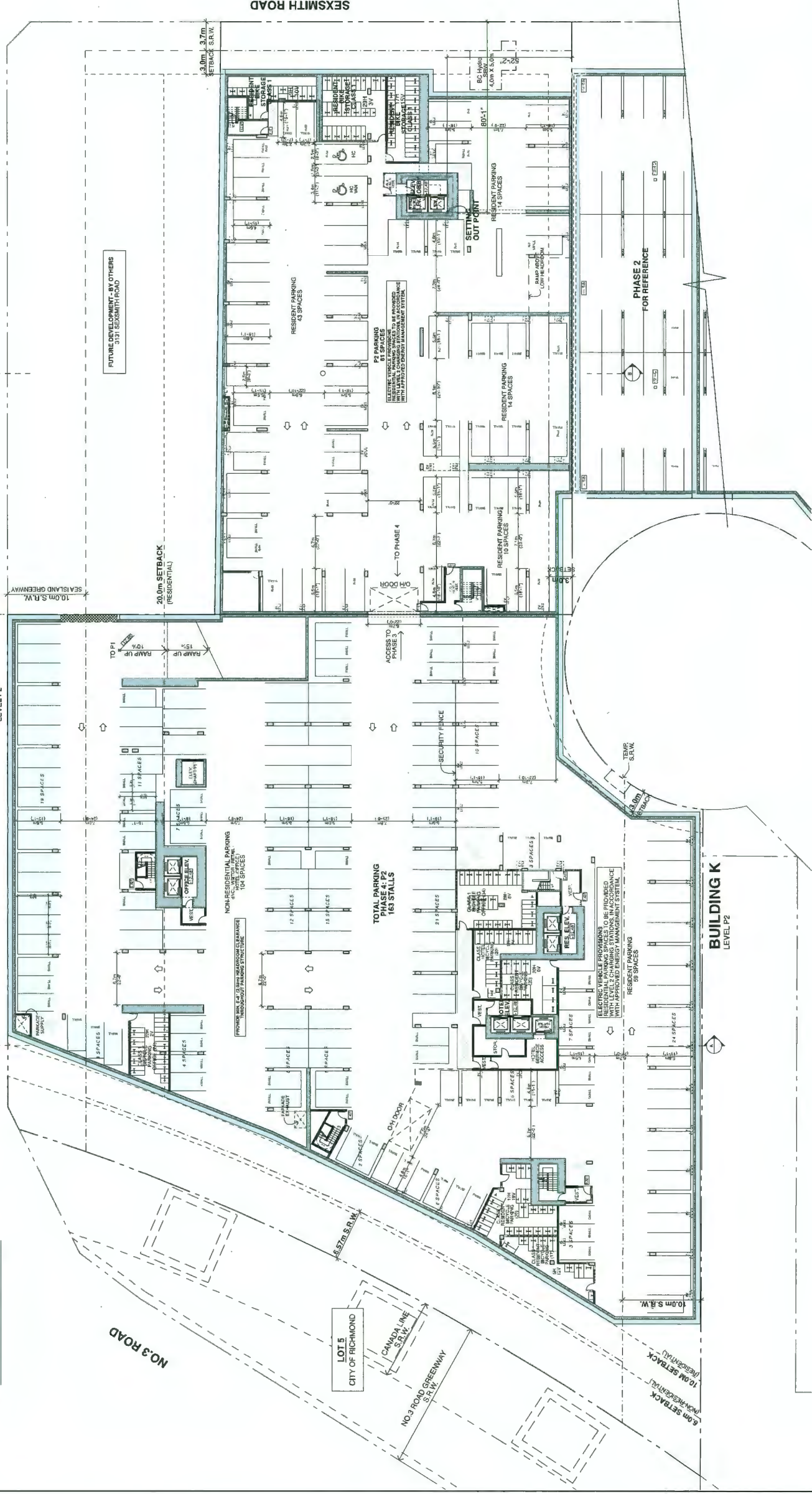
CLASS 1 BIKES: P2

DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	2
RESIDENTIAL	SMALL	28
RESIDENTIAL	STANDARD	55
RESIDENTIAL	STANDARD	83

PHASE 3
PHASE 4

BUILDING L
LEVEL P2

BUILDING K
LEVEL P2



LEVEL P2
SCALE: 1/16" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DATE	REVISION	BY	CHKD.
1	2024-08-15	ISSUE FOR PERMIT	AL	AL
2	2024-08-15	ISSUE FOR PERMIT	AL	AL
3	2024-08-15	ISSUE FOR PERMIT	AL	AL
4	2024-08-15	ISSUE FOR PERMIT	AL	AL
5	2024-08-15	ISSUE FOR PERMIT	AL	AL
6	2024-08-15	ISSUE FOR PERMIT	AL	AL

LEVEL P2

NO.	DATE	REVISION	BY	CHKD.
1	2024-08-15	ISSUE FOR PERMIT	AL	AL
2	2024-08-15	ISSUE FOR PERMIT	AL	AL
3	2024-08-15	ISSUE FOR PERMIT	AL	AL
4	2024-08-15	ISSUE FOR PERMIT	AL	AL
5	2024-08-15	ISSUE FOR PERMIT	AL	AL
6	2024-08-15	ISSUE FOR PERMIT	AL	AL

PHASE 4			
TOTAL PARKING PROVIDED	DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	2	2
RESIDENTIAL	SMALL	4	2
RESIDENTIAL	STANDARD	56	56
OFFICE/RETAIL/HOTEL	HC	4	4
OFFICE/RETAIL/HOTEL	SMALL	72	72
RESIDENTIAL VISITOR	HC	1	1
RESIDENTIAL VISITOR	SMALL	0	0
RESIDENTIAL VISITOR	STANDARD	11	11
			317

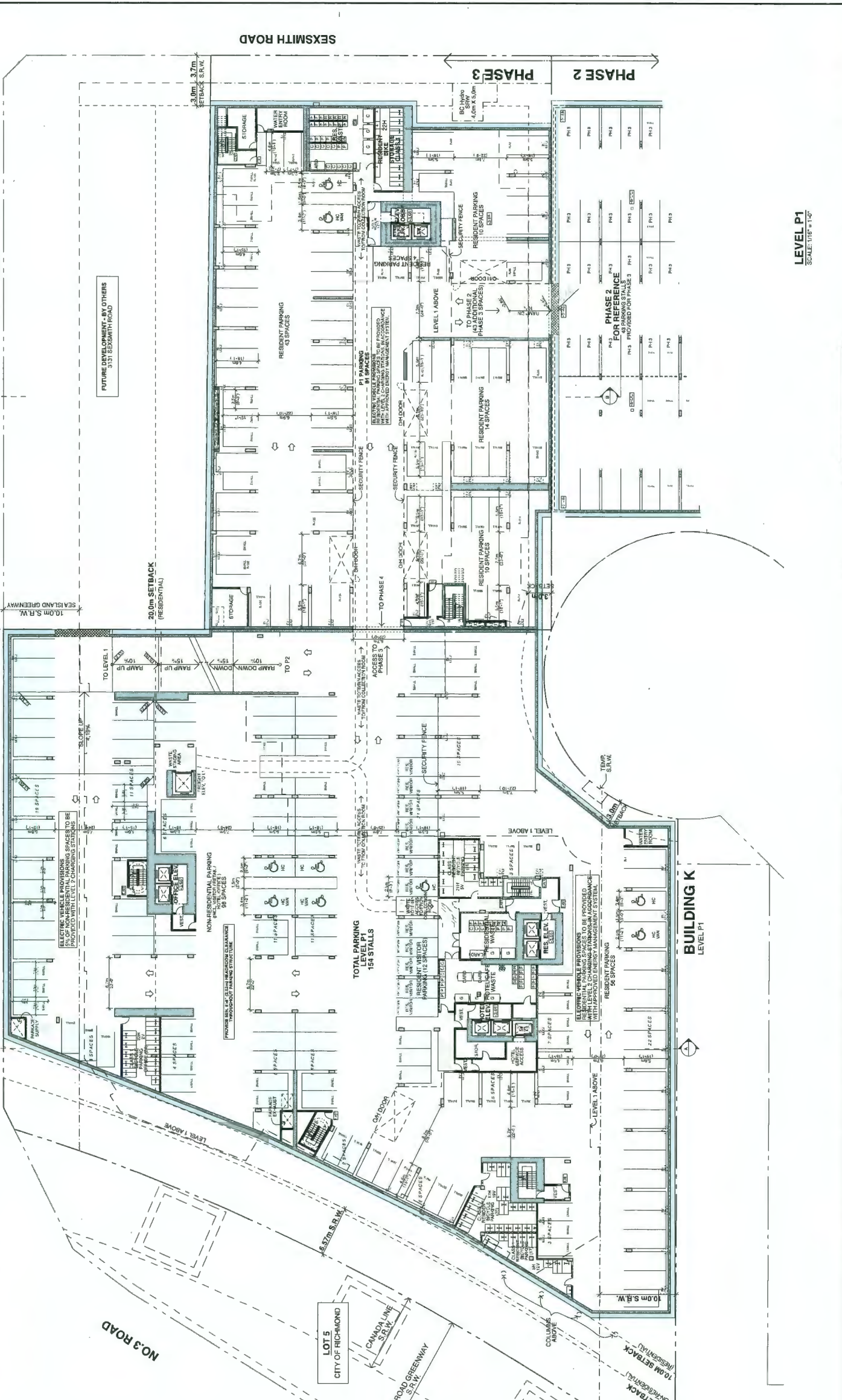
RESIDENTIAL PARKING: P1			
DESIGNATION	SIZE	QTY	
RESIDENTIAL	HC	2	2
RESIDENTIAL	SMALL	4	2
RESIDENTIAL	STANDARD	56	56
OFFICE/RETAIL/HOTEL	HC	4	4
OFFICE/RETAIL/HOTEL	SMALL	72	72
RESIDENTIAL VISITOR	HC	1	1
RESIDENTIAL VISITOR	SMALL	0	0
RESIDENTIAL VISITOR	STANDARD	11	11
			88

NON-RESIDENTIAL PARKING: P1			
DESIGNATION	SIZE	QTY	
OFFICE/RETAIL/HOTEL	HC	4	4
OFFICE/RETAIL/HOTEL	SMALL	37	37
OFFICE/RETAIL/HOTEL	STANDARD	45	45
RESIDENTIAL VISITOR	HC	1	1
RESIDENTIAL VISITOR	SMALL	0	0
RESIDENTIAL VISITOR	STANDARD	11	11
			98

Bike Parking Provided: P1			
DESIGNATION	SIZE	QTY	
OFFICE	RESIDENT	43	43
HORIZONTAL		2	2
VERTICAL		36	36
		24	79

TOTAL PARKING PROVIDED			
DESIGNATION	SIZE	QTY	
RESIDENTIAL	HC	2	2
RESIDENTIAL	SMALL	40	40
RESIDENTIAL	STANDARD	39	39
OFFICE/RETAIL/HOTEL	HC	1	1
OFFICE/RETAIL/HOTEL	SMALL	5	5
OFFICE/RETAIL/HOTEL	STANDARD	13	13
RESIDENTIAL VISITOR	HC	22	22
RESIDENTIAL VISITOR	SMALL	0	0
RESIDENTIAL VISITOR	STANDARD	22	22

PARKING PROVIDED IN PHASE 2 (P1)			
DESIGNATION	SIZE	QTY	
RESIDENTIAL	HC	2	2
RESIDENTIAL	SMALL	11	11
RESIDENTIAL	STANDARD	32	32
			45



Pinnacle Living @ Capstan Village
 PHASE 3 & 4: 3208 Carcallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL P1
 SCALE: 1/16" = 1'-0"

LEVEL P1
 SCALE: 1/16" = 1'-0"

PHASE 3

DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	2
RESIDENTIAL	SMALL	40
RESIDENTIAL	STANDARD	39
OFFICE/RETAIL/HOTEL	HC	1
OFFICE/RETAIL/HOTEL	SMALL	5
OFFICE/RETAIL/HOTEL	STANDARD	13
RESIDENTIAL VISITOR	HC	22
RESIDENTIAL VISITOR	SMALL	0
RESIDENTIAL VISITOR	STANDARD	22

PHASE 2

DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	2
RESIDENTIAL	SMALL	11
RESIDENTIAL	STANDARD	32
		45

PHASE 4

DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	2
RESIDENTIAL	SMALL	4
RESIDENTIAL	STANDARD	56
OFFICE/RETAIL/HOTEL	HC	4
OFFICE/RETAIL/HOTEL	SMALL	72
RESIDENTIAL VISITOR	HC	1
RESIDENTIAL VISITOR	SMALL	0
RESIDENTIAL VISITOR	STANDARD	11
		98

PHASE 2 (P1)

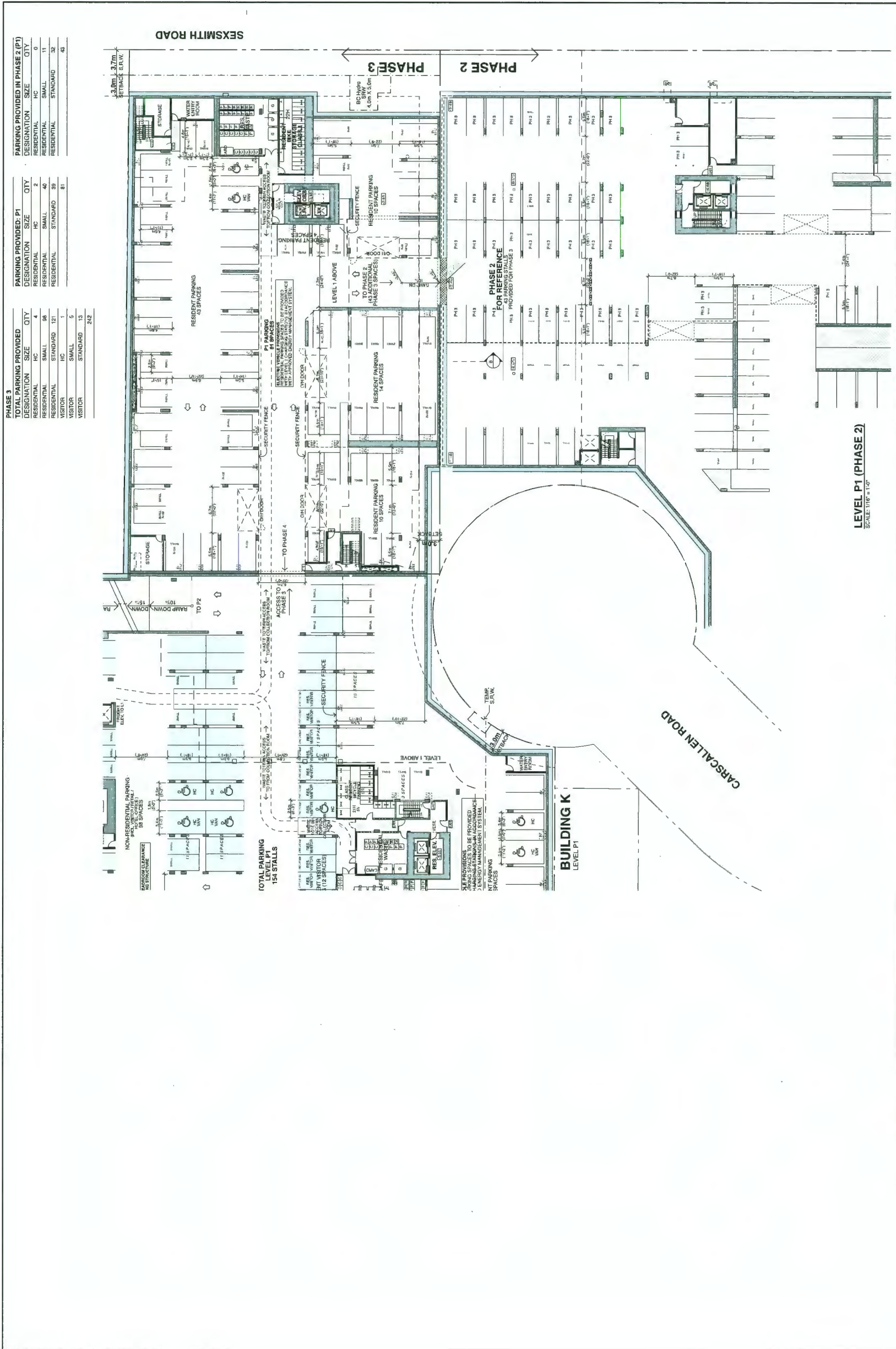
DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	2
RESIDENTIAL	SMALL	11
RESIDENTIAL	STANDARD	32
		45

PHASE 3

DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	2
RESIDENTIAL	SMALL	11
RESIDENTIAL	STANDARD	32
		45

PHASE 2 (P1)

DESIGNATION	SIZE	QTY
RESIDENTIAL	HC	2
RESIDENTIAL	SMALL	11
RESIDENTIAL	STANDARD	32
		45



PHASE 3

TOTAL PARKING PROVIDED			
DESIGNATION	SIZE	QTY	CITY
RESIDENTIAL	HC	4	2
RESIDENTIAL	SMALL	98	46
RESIDENTIAL	STANDARD	121	39
VISITOR	HC	1	1
VISITOR	SMALL	5	81
VISITOR	STANDARD	13	242

PARKING PROVIDED IN PHASE 2 (P1)			
DESIGNATION	SIZE	QTY	CITY
RESIDENTIAL	HC	0	0
RESIDENTIAL	SMALL	11	11
RESIDENTIAL	STANDARD	32	32

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: Pinnacle Living (Capstan Village) Lands Inc.

LEVEL P1 (PHASE 2)

SCALE: 1/16" = 1'-0"

DATE: _____

NO. _____

PROJECT / REVISION: _____

LEVEL P1 (PHASE 2)

SCALE: 1/16" = 1'-0"

LEVEL P1 (PHASE 2)

SCALE: 1/16" = 1'-0"

DATE: _____

NO. _____

PROJECT / REVISION: _____

LEVEL P1 (PHASE 2)

SCALE: 1/16" = 1'-0"

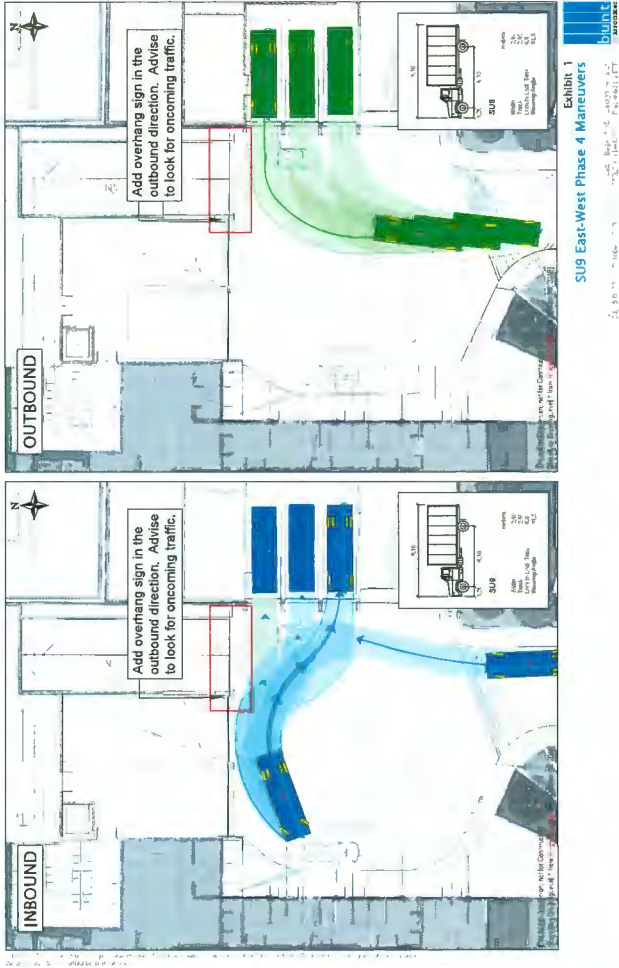
LEVEL P1 (PHASE 2)

SCALE: 1/16" = 1'-0"

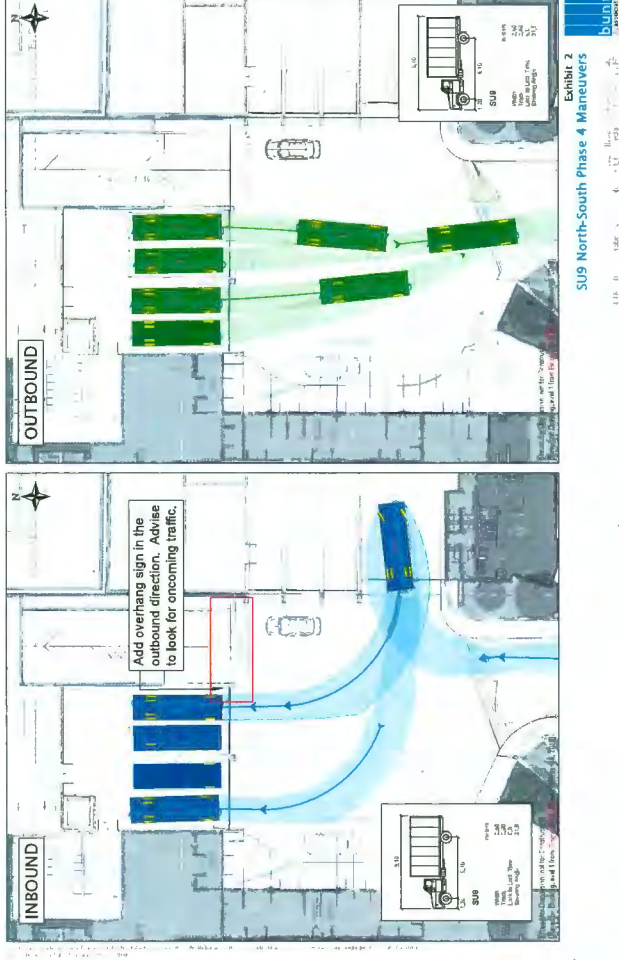
DATE: _____

NO. _____

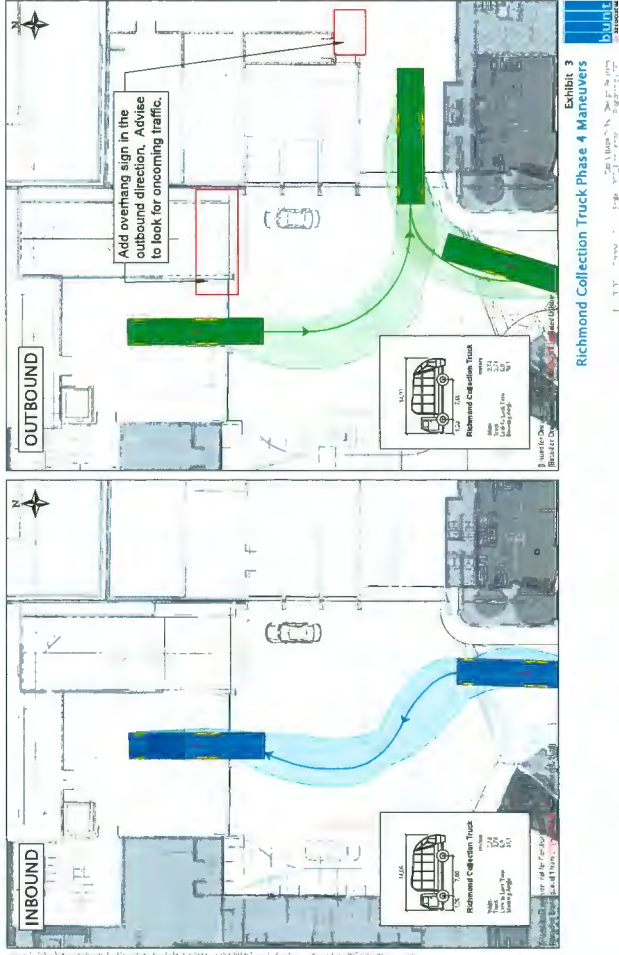
PROJECT / REVISION: _____



BRITISH COLUMBIA - 2018-06-14-10:00 - 2018-06-14-10:00 - 2018-06-14-10:00 - 2018-06-14-10:00

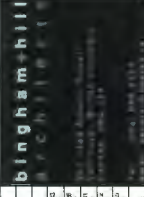


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BRITISH COLUMBIA - 2018-06-14-10:00 - 2018-06-14-10:00 - 2018-06-14-10:00 - 2018-06-14-10:00

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



VEHICLE ACCESS LAYOUTS	
NO. / DATE	NO. / DATE
1 / 2018	1 / 2018
2 / 2018	2 / 2018
3 / 2018	3 / 2018
4 / 2018	4 / 2018
5 / 2018	5 / 2018
6 / 2018	6 / 2018
7 / 2018	7 / 2018
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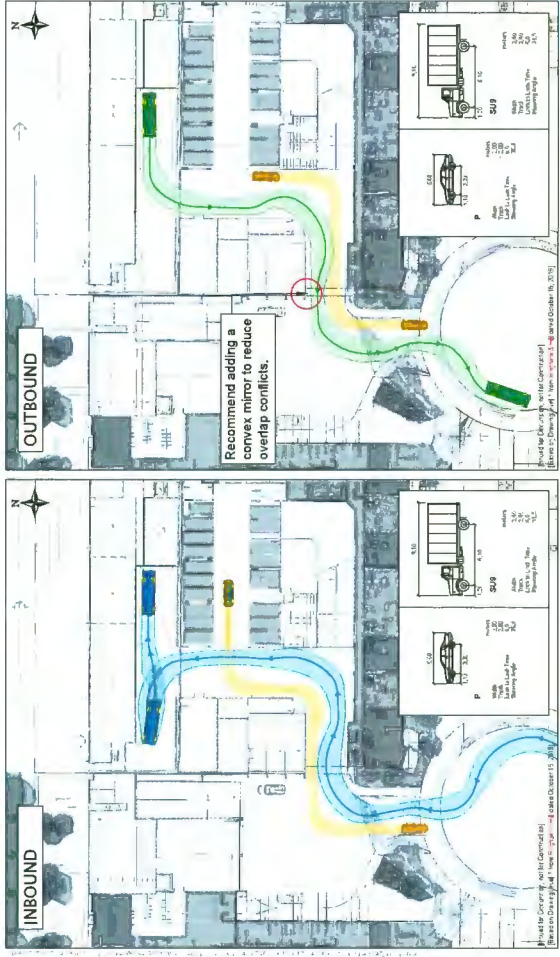


Exhibit 4
S19 Loading Maneuvers to 3131 Sexsmith

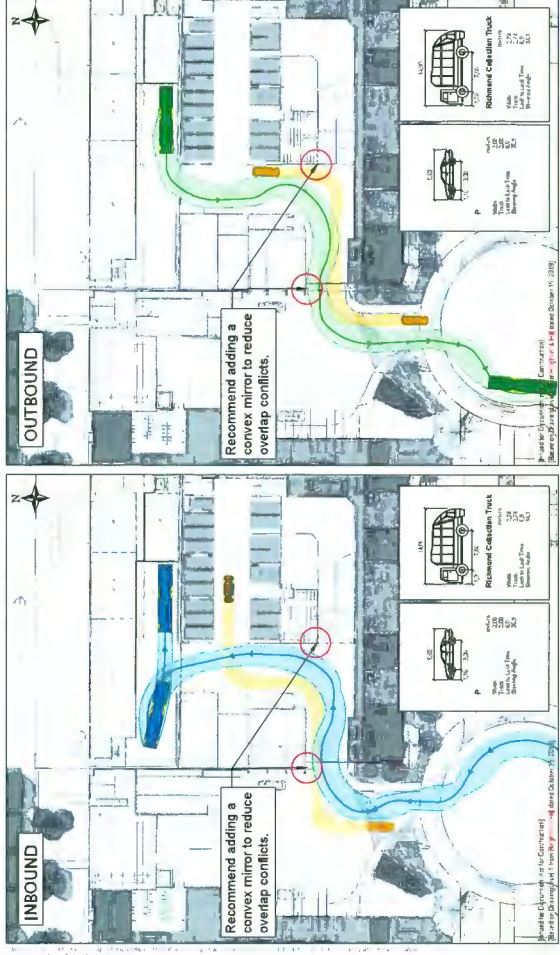


Exhibit 5
Richmond Collection Truck Maneuvers to 3131 Sexsmith

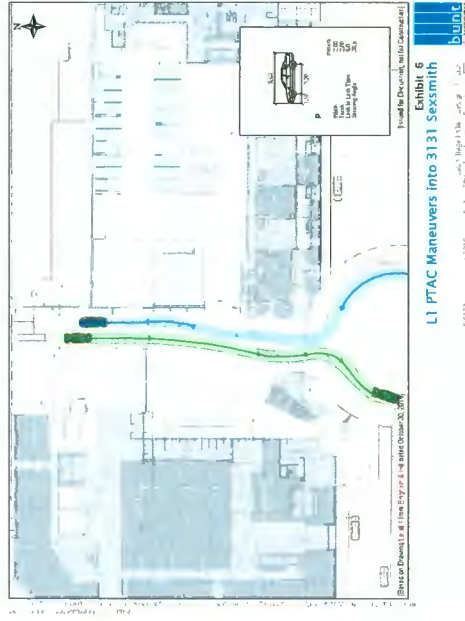


Exhibit 6
L1 PTAC Maneuvers into 3131 Sexsmith

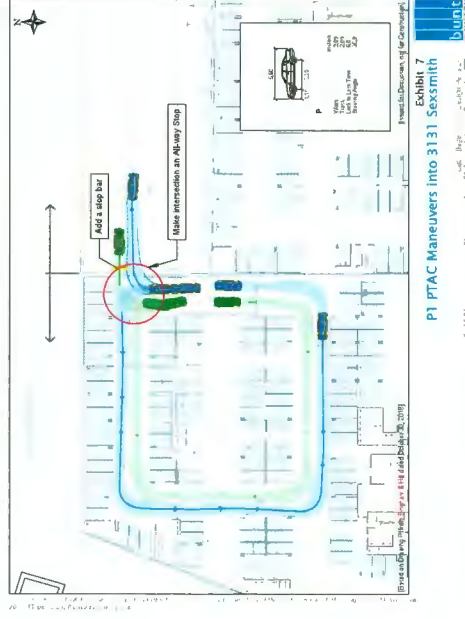


Exhibit 7
P1 PTAC Maneuvers into 3131 Sexsmith

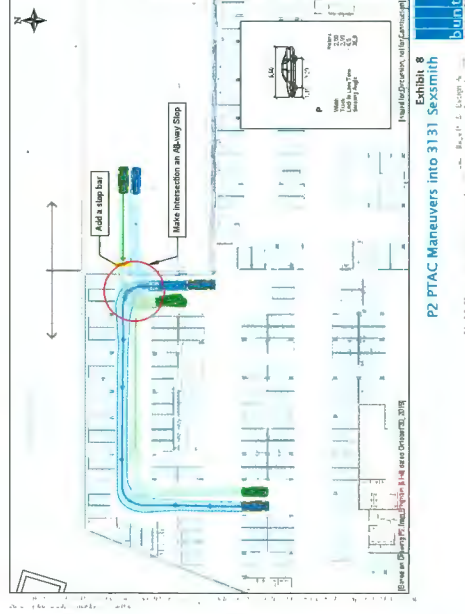
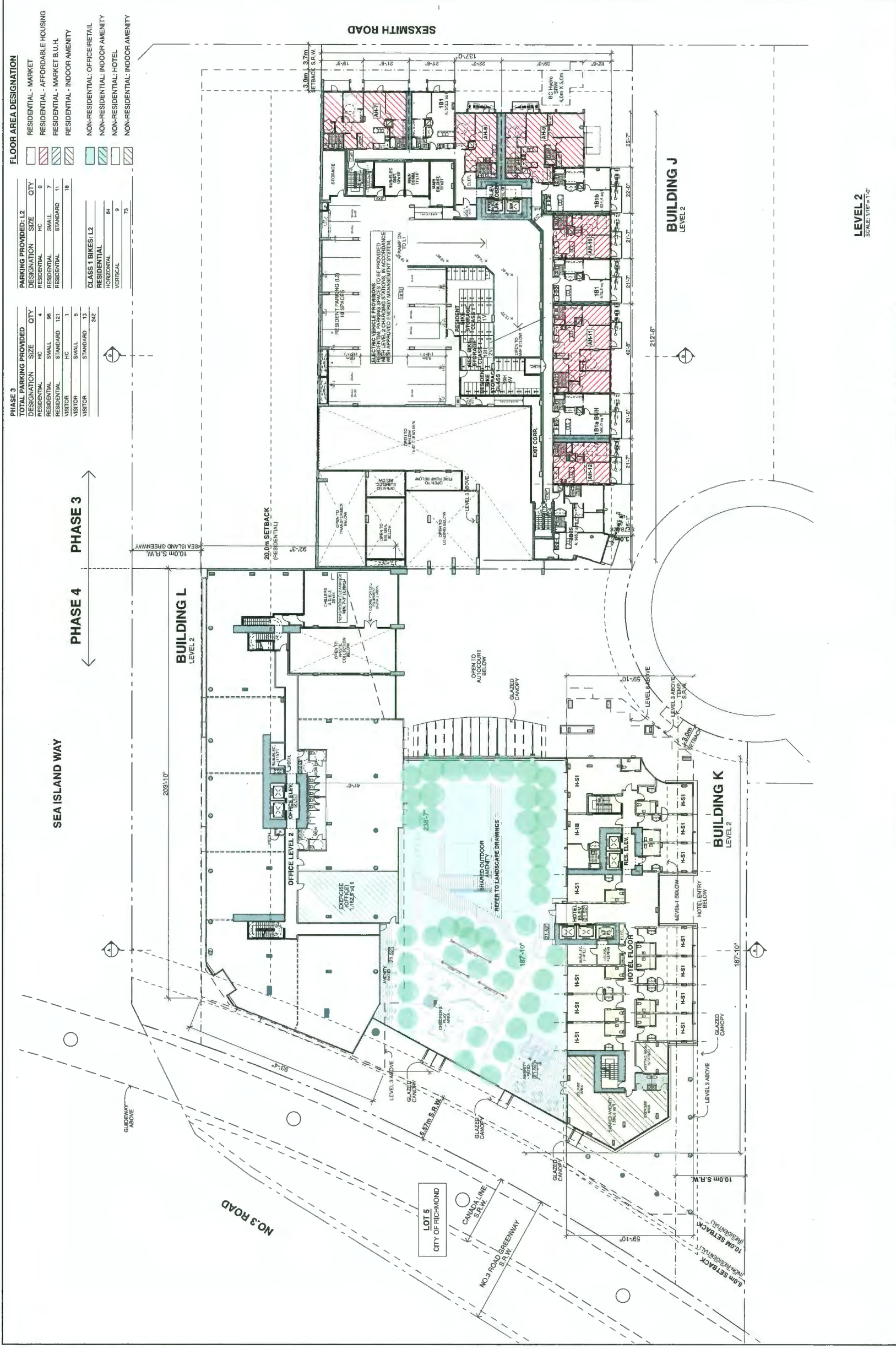


Exhibit 8
P2 PTAC Maneuvers into 3131 Sexsmith

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	REVISION / PROGRAM	DATE
1	ISSUED FOR PERMIT	2024-08-20
2	REVISED FOR COMMENTS	2024-09-10
3	REVISED FOR COMMENTS	2024-09-10
4	REVISED FOR COMMENTS	2024-09-10
5	REVISED FOR COMMENTS	2024-09-10
6	REVISED FOR COMMENTS	2024-09-10
7	REVISED FOR COMMENTS	2024-09-10
8	REVISED FOR COMMENTS	2024-09-10

VEHICLE ACCESS LAYOUTS	
SCALE	AS SHOWN
DATE	2024-08-20
PLAN #	3b



FLOOR AREA DESIGNATION

[Hatched Pattern]	RESIDENTIAL - MARKET
[Hatched Pattern]	RESIDENTIAL - AFFORDABLE HOUSING
[Hatched Pattern]	RESIDENTIAL - MARKET B.U.H.
[Hatched Pattern]	RESIDENTIAL - INDOOR AMENITY
[Hatched Pattern]	NON-RESIDENTIAL - OFFICE/RETAIL
[Hatched Pattern]	NON-RESIDENTIAL - INDOOR AMENITY
[Hatched Pattern]	NON-RESIDENTIAL - HOTEL
[Hatched Pattern]	NON-RESIDENTIAL - INDOOR AMENITY

PHASE 3 TOTAL PARKING PROVIDED

DESIGNATION	SIZE	QTY
RESIDENTIAL	SMALL	0
RESIDENTIAL	STANDARD	8
VISITOR	HC	181
VISITOR	SMALL	5
VISITOR	STANDARD	13
VISITOR		242

PHASE 4 TOTAL PARKING PROVIDED

DESIGNATION	SIZE	QTY
RESIDENTIAL	SMALL	0
RESIDENTIAL	STANDARD	8
VISITOR	HC	181
VISITOR	SMALL	5
VISITOR	STANDARD	13
VISITOR		242

CLASS 1 BIKES: L2

DESIGNATION	SIZE	QTY
RESIDENTIAL	HORIZONTAL	84
RESIDENTIAL	VERTICAL	73

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL 2
 SCALE: 1/16" = 1'-0"

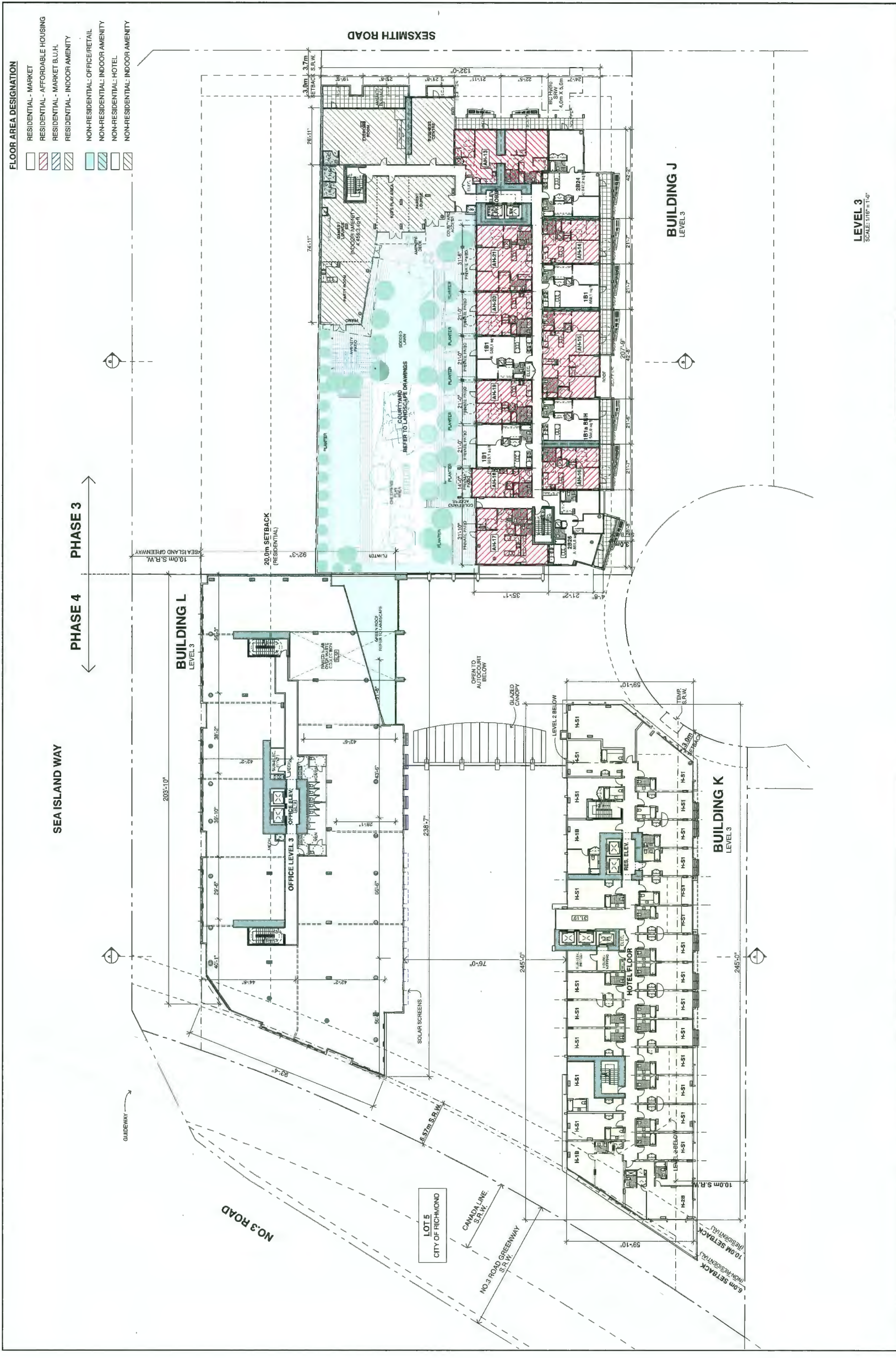
LEVEL 2

ALL DIMENSIONS SHALL BE VERTICALLY ON SITE

4e

bingham+hill architects

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2024.05.15	ISSUED FOR PERMIT	...	...
2	2024.05.15	ISSUED FOR PERMIT	...	...
3	2024.05.15	ISSUED FOR PERMIT	...	...
4	2024.05.15	ISSUED FOR PERMIT	...	...
5	2024.05.15	ISSUED FOR PERMIT	...	...
6	2024.05.15	ISSUED FOR PERMIT	...	...
7	2024.05.15	ISSUED FOR PERMIT	...	...
8	2024.05.15	ISSUED FOR PERMIT	...	...
9	2024.05.15	ISSUED FOR PERMIT	...	...
10	2024.05.15	ISSUED FOR PERMIT	...	...



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carcallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL 3
 SCALE: 1/16" = 1'-0"

LEVEL 3
 SCALE: 1/16" = 1'-0"

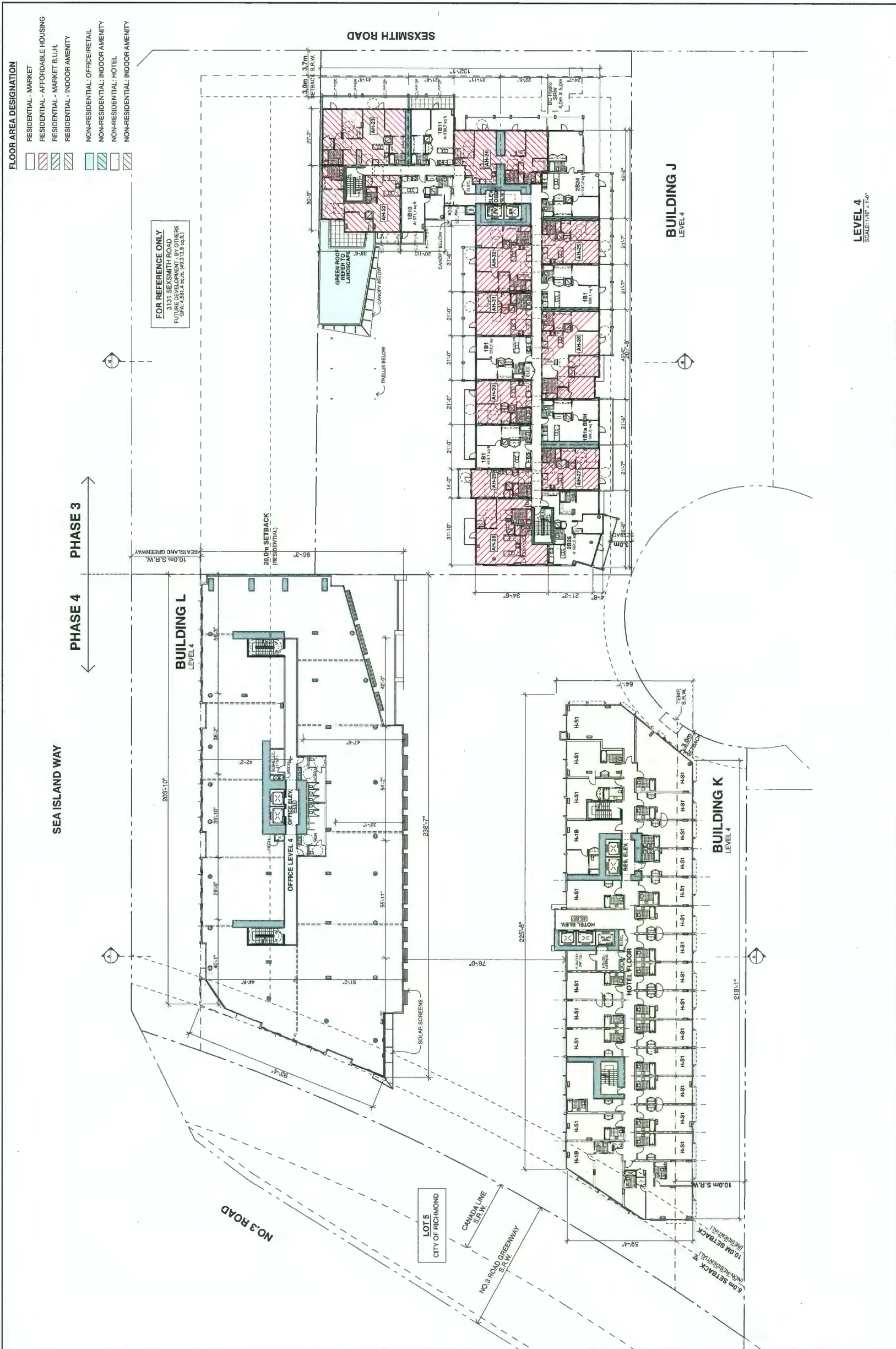
NO.	DESCRIPTION / REVISION	DATE
1	ISSUED FOR PERMIT	2024-08-15
2	REVISIONS TO PERMIT	2024-08-20
3	REVISIONS TO PERMIT	2024-09-05
4	REVISIONS TO PERMIT	2024-09-10
5	REVISIONS TO PERMIT	2024-09-15
6	REVISIONS TO PERMIT	2024-09-20
7	REVISIONS TO PERMIT	2024-09-25
8	REVISIONS TO PERMIT	2024-10-01

bingham+hill
 architects

1111 EAST 10TH AVENUE
 VANCOUVER, BC V6L 0A1
 TEL: 604.681.1111
 WWW.BINGHAMHILLARCHITECTS.COM

PROJECT # 2024-08-15
 SCALE 1/16" = 1'-0"
 DRAWING NUMBER
PLAN # 4f

ALL DIMENSIONS SHALL BE VERIFIED ON SITE



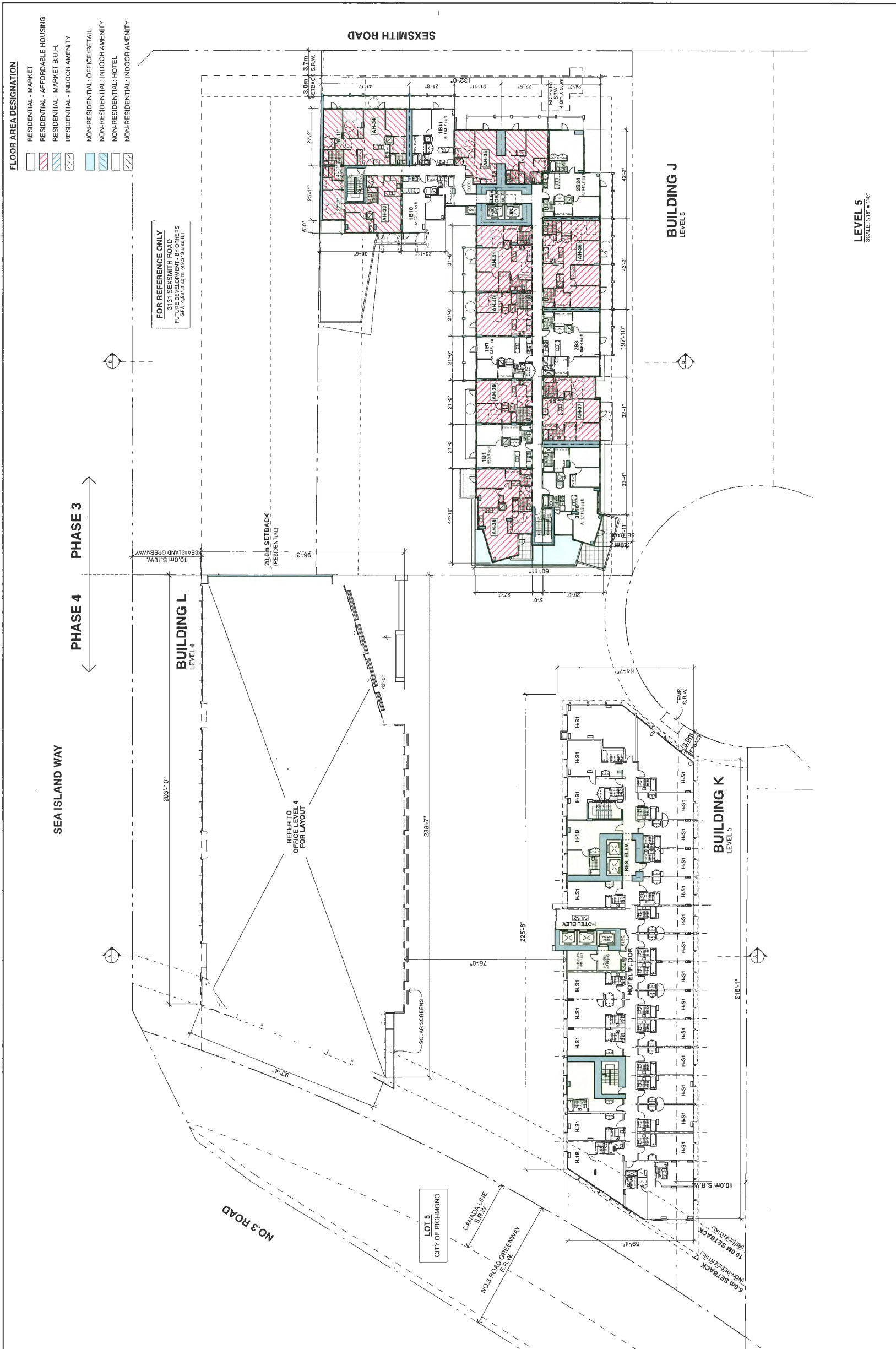
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL 4

SCALE: 1/16" = 1'-0"

PLAN # 49

NO.	ISSUE / REVISION	DATE
1	ISSUE FOR PERMIT	2024.08.14
2	ISSUE FOR PERMIT	2024.08.14
3	ISSUE FOR PERMIT	2024.08.14
4	ISSUE FOR PERMIT	2024.08.14
5	ISSUE FOR PERMIT	2024.08.14
6	ISSUE FOR PERMIT	2024.08.14
7	ISSUE FOR PERMIT	2024.08.14
8	ISSUE FOR PERMIT	2024.08.14
9	ISSUE FOR PERMIT	2024.08.14
10	ISSUE FOR PERMIT	2024.08.14



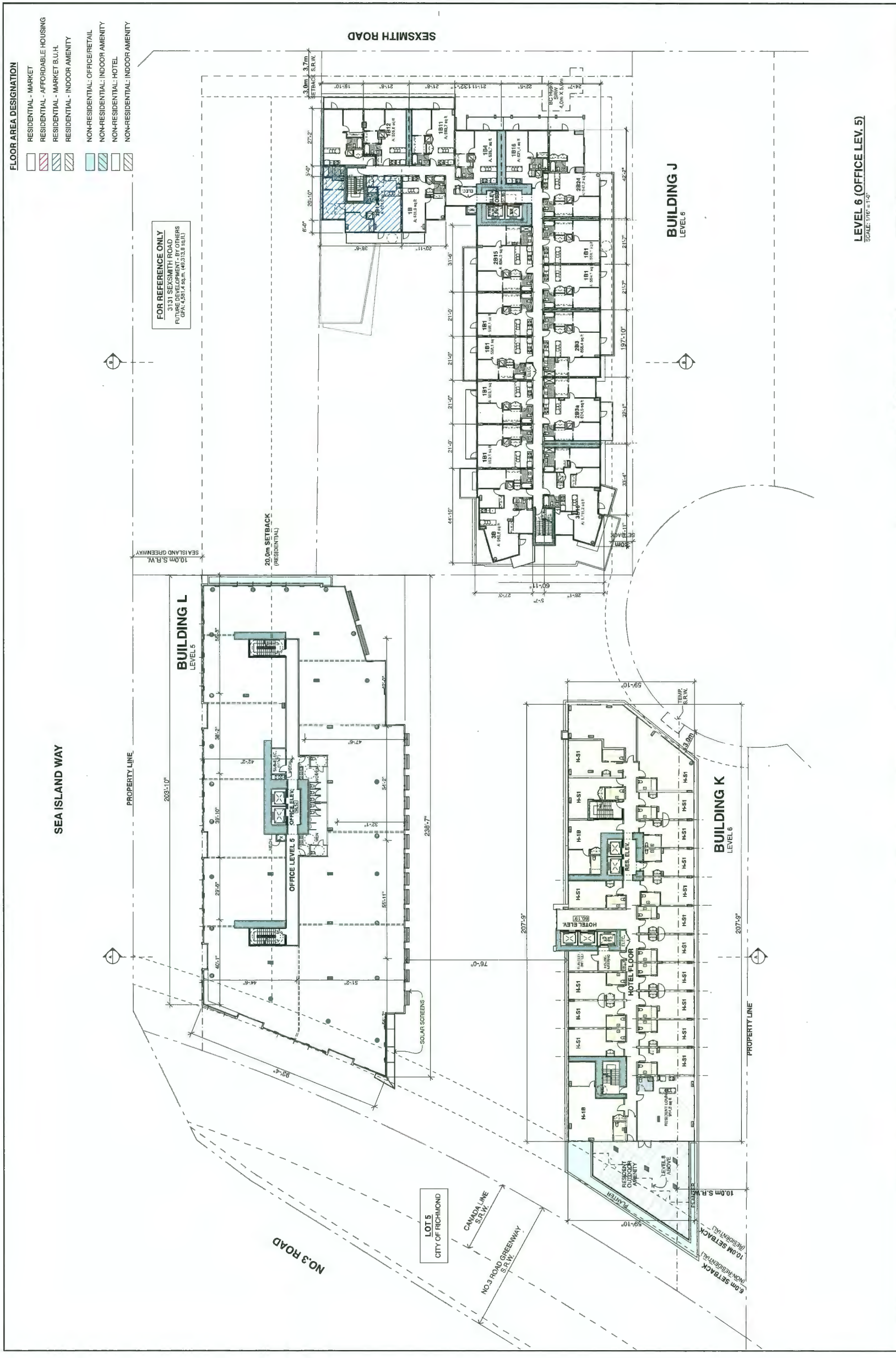
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carcallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL 5
 SCALE: 1/16" = 1'-0"

LEVEL 5
 SCALE: 1/16" = 1'-0"

PLAN #
 4h

NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	2024.08.15	JL	ML
2	REVISIONS			
3	REVISIONS			
4	REVISIONS			
5	REVISIONS			
6	REVISIONS			
7	REVISIONS			
8	REVISIONS			
9	REVISIONS			
10	REVISIONS			



LEVEL 6 (OFFICE LEV. 5)
SCALE: 1/16" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

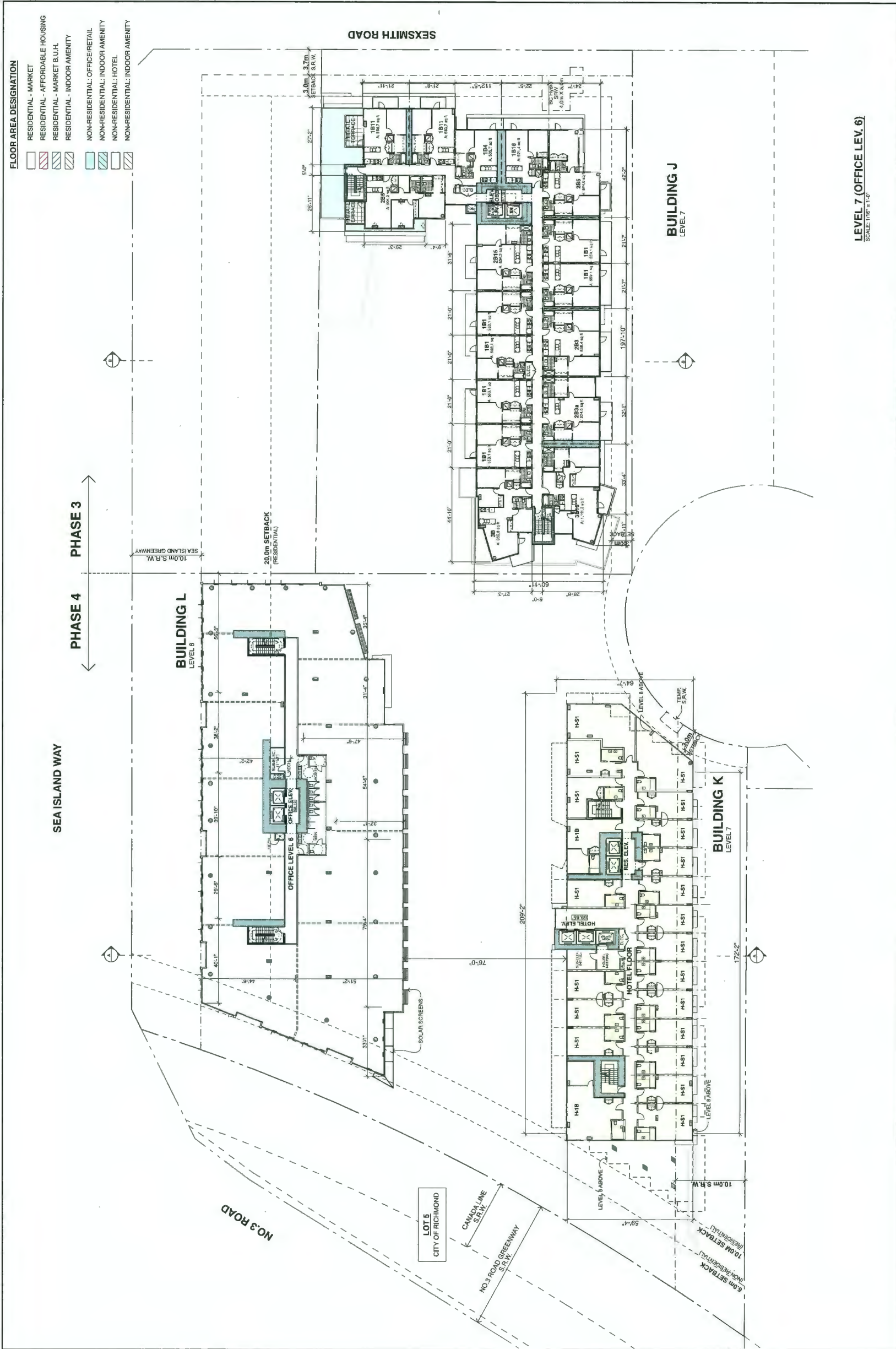
LEVEL 6 (OFFICE LEV. 5)
 SCALE: 1/16" = 1'-0"

PLAN #
 4j

NO.	REVISION / REVISION	DATE
1	ISSUED FOR PERMIT	2023.08.15
2	REVISED PER PERMIT COMMENTS	2023.09.15
3	REVISED PER PERMIT COMMENTS	2023.10.15
4	REVISED PER PERMIT COMMENTS	2023.11.15
5	REVISED PER PERMIT COMMENTS	2024.01.15
6	REVISED PER PERMIT COMMENTS	2024.02.15
7	REVISED PER PERMIT COMMENTS	2024.03.15
8	REVISED PER PERMIT COMMENTS	2024.04.15
9	REVISED PER PERMIT COMMENTS	2024.05.15
10	REVISED PER PERMIT COMMENTS	2024.06.15

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 architects

11777 152nd Avenue, Richmond, BC V6V 2G9
 TEL: 604.273.8888 FAX: 604.273.8889
 WWW: WWW.BINGHAMHILLARCHITECTS.COM



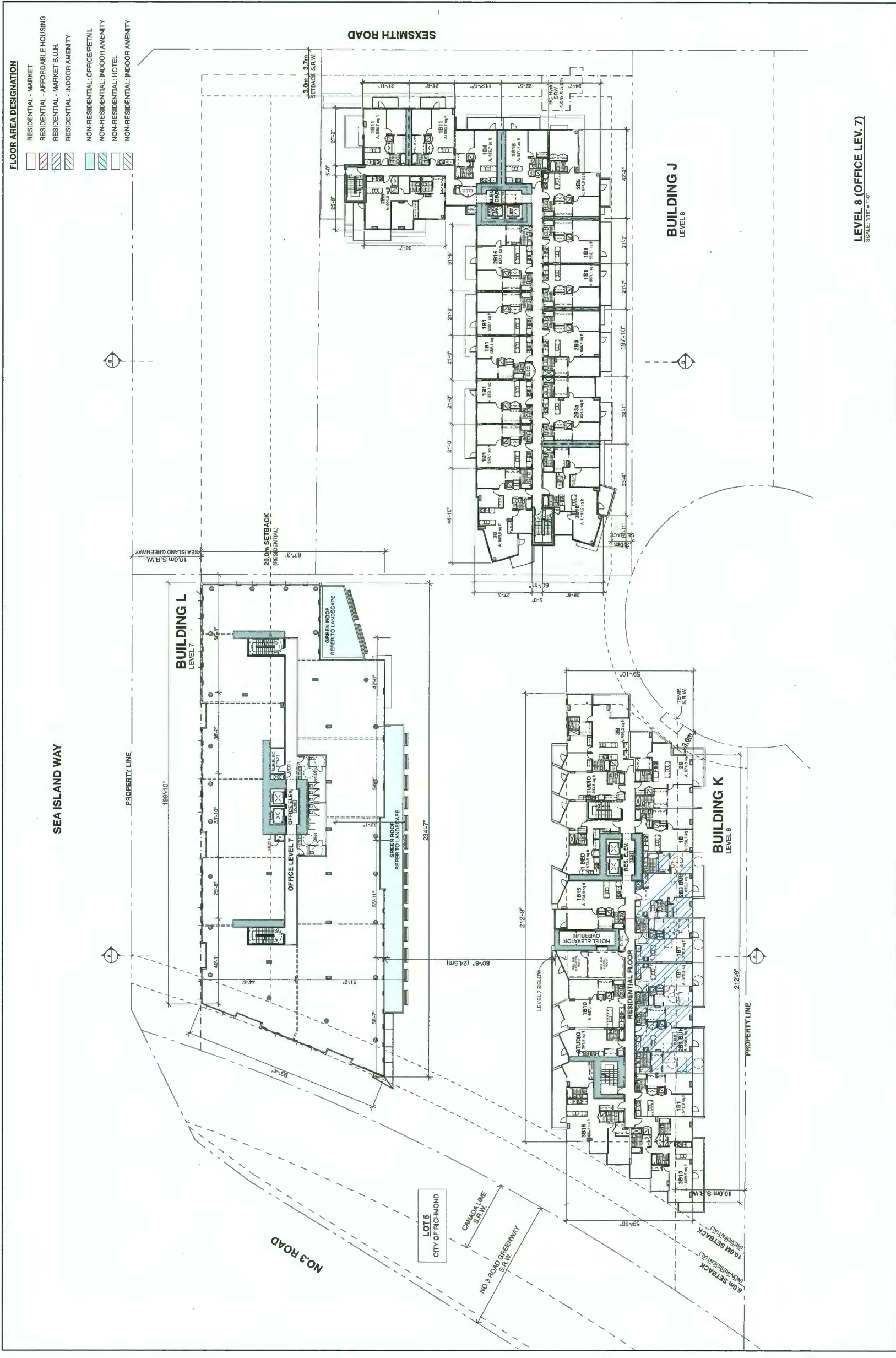
- FLOOR AREA DESIGNATION**
- RESIDENTIAL - MARKET
 - RESIDENTIAL - AFFORDABLE HOUSING
 - RESIDENTIAL - MARKET B.U.H.
 - RESIDENTIAL - INDOOR AMENITY
 - NON-RESIDENTIAL: OFFICE/RETAIL
 - NON-RESIDENTIAL: INDOOR AMENITY
 - NON-RESIDENTIAL: HOTEL
 - NON-RESIDENTIAL: INDOOR AMENITY

LEVEL 7 (OFFICE LEV. 6)
SCALE: 1/16" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL 7 (OFFICE LEV. 6)

DATE: _____
 DRAWN: _____
 CHECKED: _____
 PROJECT NUMBER: _____
 PLAN # 4j



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL 8 (OFFICE LEV. 7)

PLAN # 4k

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

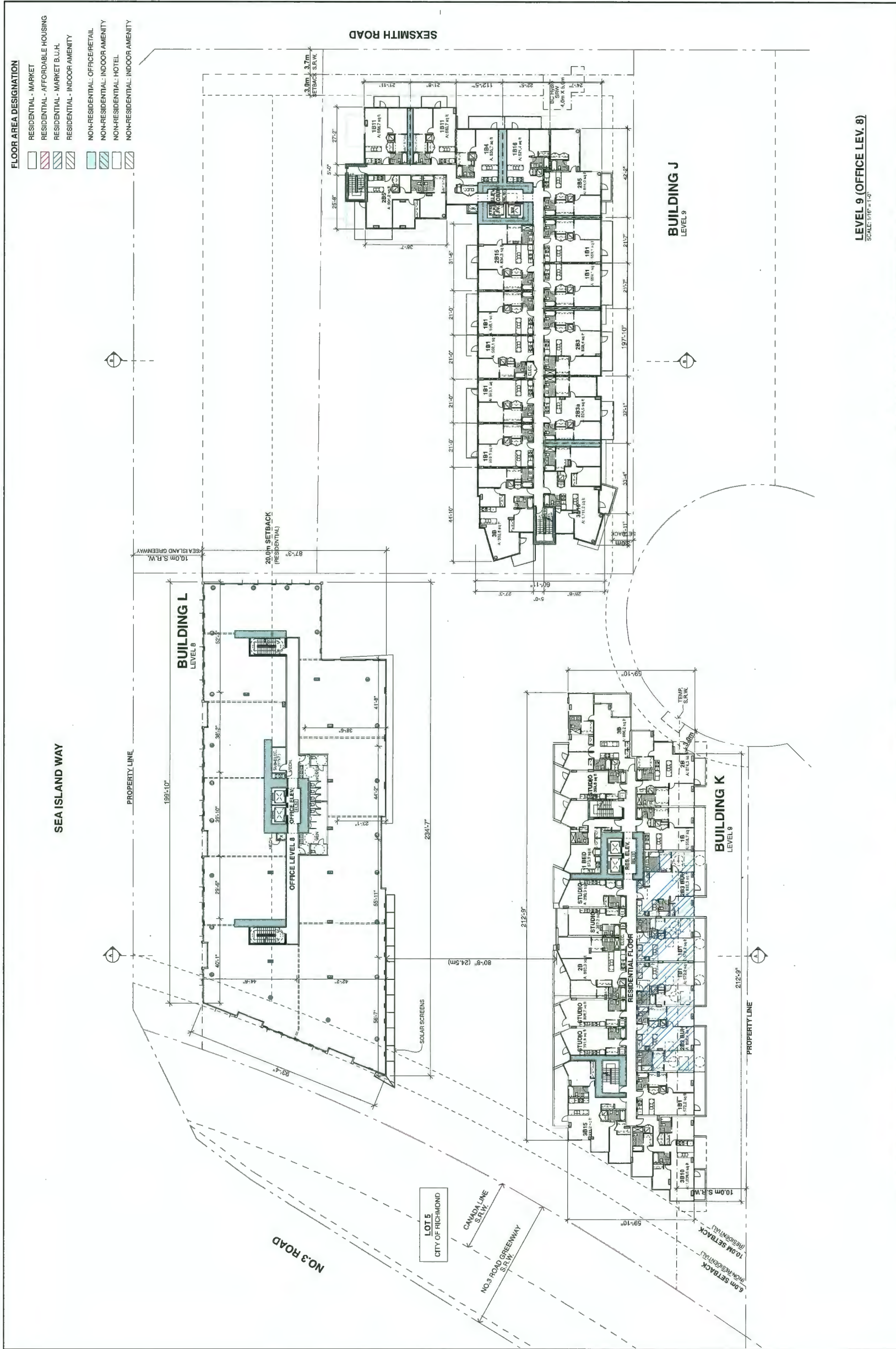
NO.	ISSUE / REVISION	DATE
1	ISSUE FOR PERMIT	
2	ISSUE FOR PERMIT	
3	ISSUE FOR PERMIT	
4	ISSUE FOR PERMIT	
5	ISSUE FOR PERMIT	
6	ISSUE FOR PERMIT	
7	ISSUE FOR PERMIT	
8	ISSUE FOR PERMIT	
9	ISSUE FOR PERMIT	
10	ISSUE FOR PERMIT	

bingham hill architects

ARCHITECTS

1100 WEST 10TH AVENUE
 VANCOUVER, BC V6H 2T6
 TEL: 604-681-1111
 WWW.BINGHAMHILLARCHITECTS.COM

PROJECT # 1706
 SCALE 1/16" = 1'-0"
 DRAWN: [Name]
 CHECKED: [Name]



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

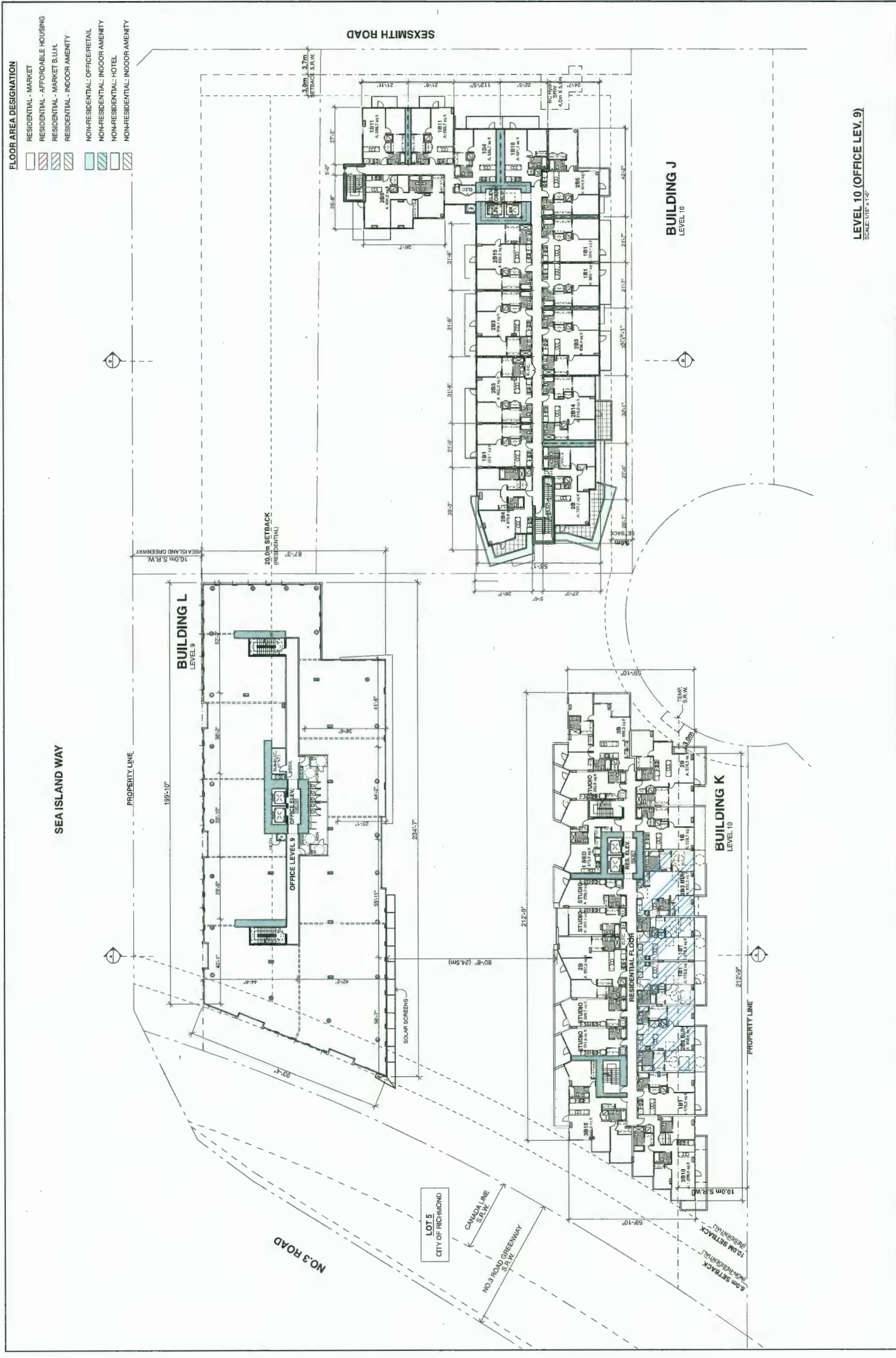
LEVEL 9 (OFFICE LEV. 8)
 SCALE: 1/16" = 1'-0"

LEVEL 9 (OFFICE LEV. 8)
 SCALE: 1/16" = 1'-0"

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2024-01-15	ISSUED FOR PERMIT	J. SMITH	M. JONES
2	2024-01-20	REVISED PER COMMENTS	J. SMITH	M. JONES
3	2024-02-05	REVISED PER COMMENTS	J. SMITH	M. JONES
4	2024-02-10	REVISED PER COMMENTS	J. SMITH	M. JONES
5	2024-02-15	REVISED PER COMMENTS	J. SMITH	M. JONES
6	2024-02-20	REVISED PER COMMENTS	J. SMITH	M. JONES
7	2024-02-25	REVISED PER COMMENTS	J. SMITH	M. JONES
8	2024-03-01	REVISED PER COMMENTS	J. SMITH	M. JONES
9	2024-03-05	REVISED PER COMMENTS	J. SMITH	M. JONES
10	2024-03-10	REVISED PER COMMENTS	J. SMITH	M. JONES

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 ARCHITECTS
 1000 WEST 10TH AVENUE
 VANCOUVER, BC V6H 2G6
 TEL: 604-681-1111
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PLAN #
 41



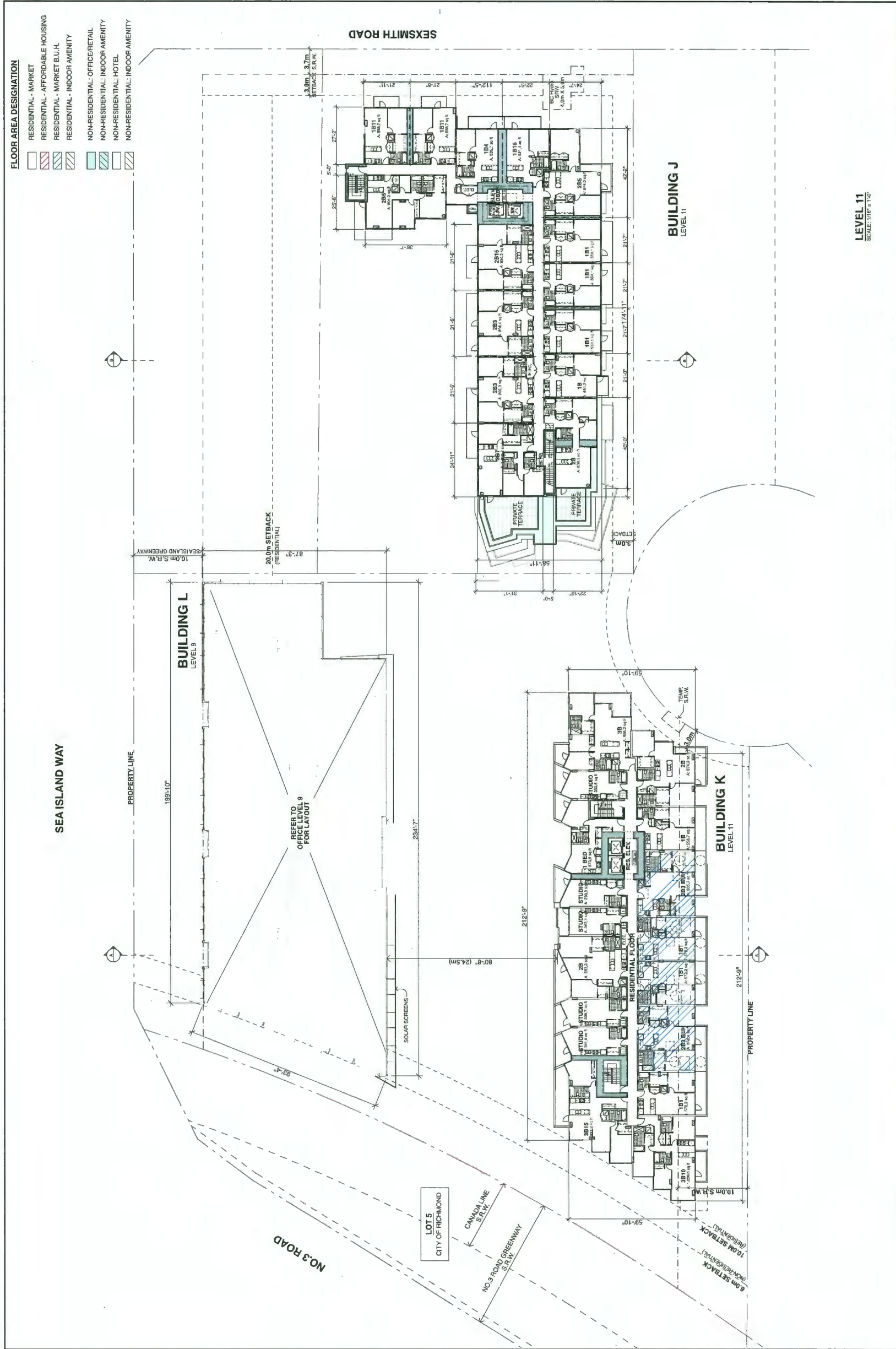
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DATE / REVISION	DATE
1	CONCEPT DESIGN	
2	PRELIMINARY DESIGN	
3	SCHEMATIC DESIGN	
4	DESIGN DEVELOPMENT	
5	CONCEPT DESIGN	
6	PRELIMINARY DESIGN	
7	SCHEMATIC DESIGN	
8	DESIGN DEVELOPMENT	
9	CONCEPT DESIGN	
10	PRELIMINARY DESIGN	
11	SCHEMATIC DESIGN	
12	DESIGN DEVELOPMENT	

LEVEL 10 (OFFICE LEV. 9)
 SCALE: 1/16" = 1'-0"

DRAWN: [Name]
 CHECKED: [Name]

DATE: [Date]
 SCALE: 1/16" = 1'-0"
 PLAN # 4M



FLOOR AREA DESIGNATION

- RESIDENTIAL - MARKET
- RESIDENTIAL - AFFORDABLE HOUSING
- RESIDENTIAL - MARKET B.U.H.
- RESIDENTIAL - INDOOR AMENITY
- NON-RESIDENTIAL - OFFICE/RETAIL
- NON-RESIDENTIAL - INDOOR AMENITY
- NON-RESIDENTIAL - HOTEL
- NON-RESIDENTIAL - INDOOR AMENITY

LEVEL 11

LEVEL 11
SCALE: 1/16" = 1'-0"

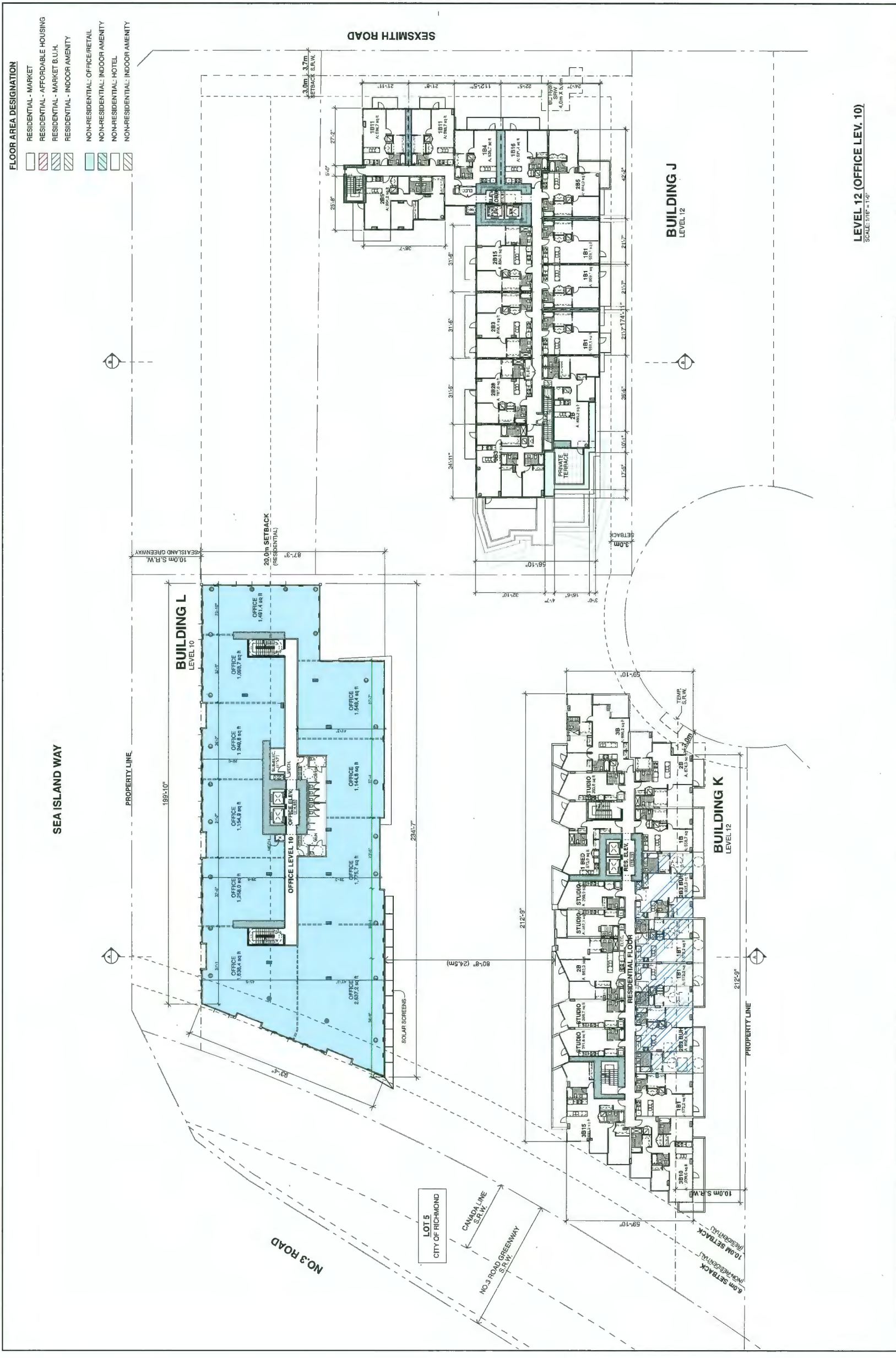
Pinnacle Living @ Capstan Village
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DESCRIPTION / NUMBER	DATE
1	CONCEPT PLAN	11/15/11
2	SCHEMATIC DESIGN	12/15/11
3	PRELIMINARY DESIGN	01/15/12
4	FINAL DESIGN	02/15/12
5	CONSTRUCTION DOCUMENTS	03/15/12
6	AS-BUILT	04/15/12

ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

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PLAN # 4n



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LEVEL 12 (OFFICE LEV. 10)
 SCALE: 1/16" = 1'-0"

LEVEL 12 (OFFICE LEV. 10)
 (OFFICE LEV. 10)

LEVEL 12 (OFFICE LEV. 10)
 SCALE: 1/16" = 1'-0"

PLAN # 40

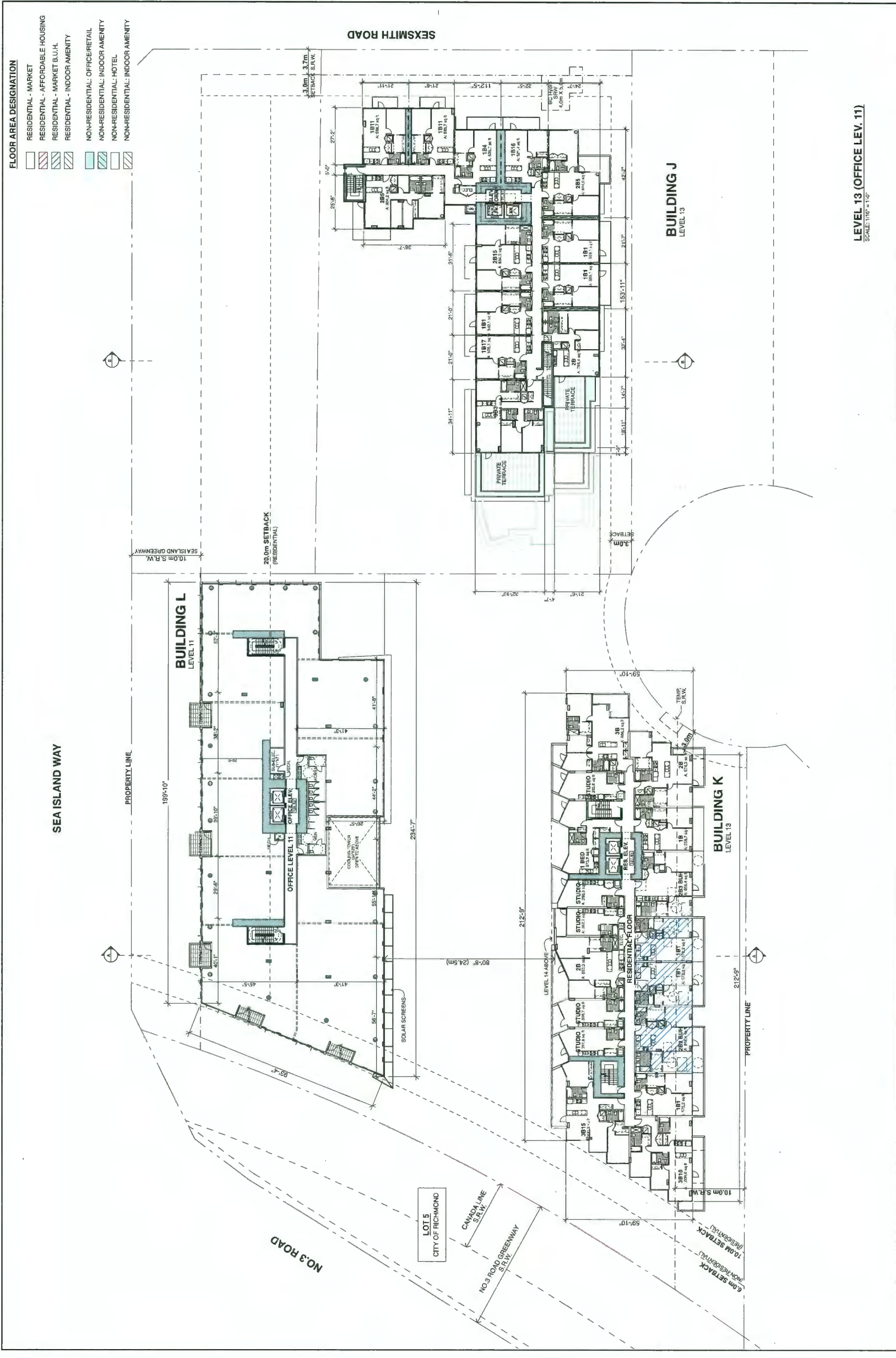
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

bingham+hill
 ARCHITECTS

NO.	DATE / REVISION	DATE
1	ISSUE FOR PERMIT	2024.08.15
2	ISSUE FOR PERMIT	2024.08.15
3	ISSUE FOR PERMIT	2024.08.15
4	ISSUE FOR PERMIT	2024.08.15
5	ISSUE FOR PERMIT	2024.08.15
6	ISSUE FOR PERMIT	2024.08.15
7	ISSUE FOR PERMIT	2024.08.15
8	ISSUE FOR PERMIT	2024.08.15
9	ISSUE FOR PERMIT	2024.08.15
10	ISSUE FOR PERMIT	2024.08.15

FLOOR AREA DESIGNATION

- RESIDENTIAL - MARKET
- RESIDENTIAL - AFFORDABLE HOUSING
- RESIDENTIAL - MARKET B.U.H.
- RESIDENTIAL - INDOOR AMENITY
- NON-RESIDENTIAL: OFFICE/RETAIL
- NON-RESIDENTIAL: INDOOR AMENITY
- NON-RESIDENTIAL: HOTEL
- NON-RESIDENTIAL: INDOOR AMENITY

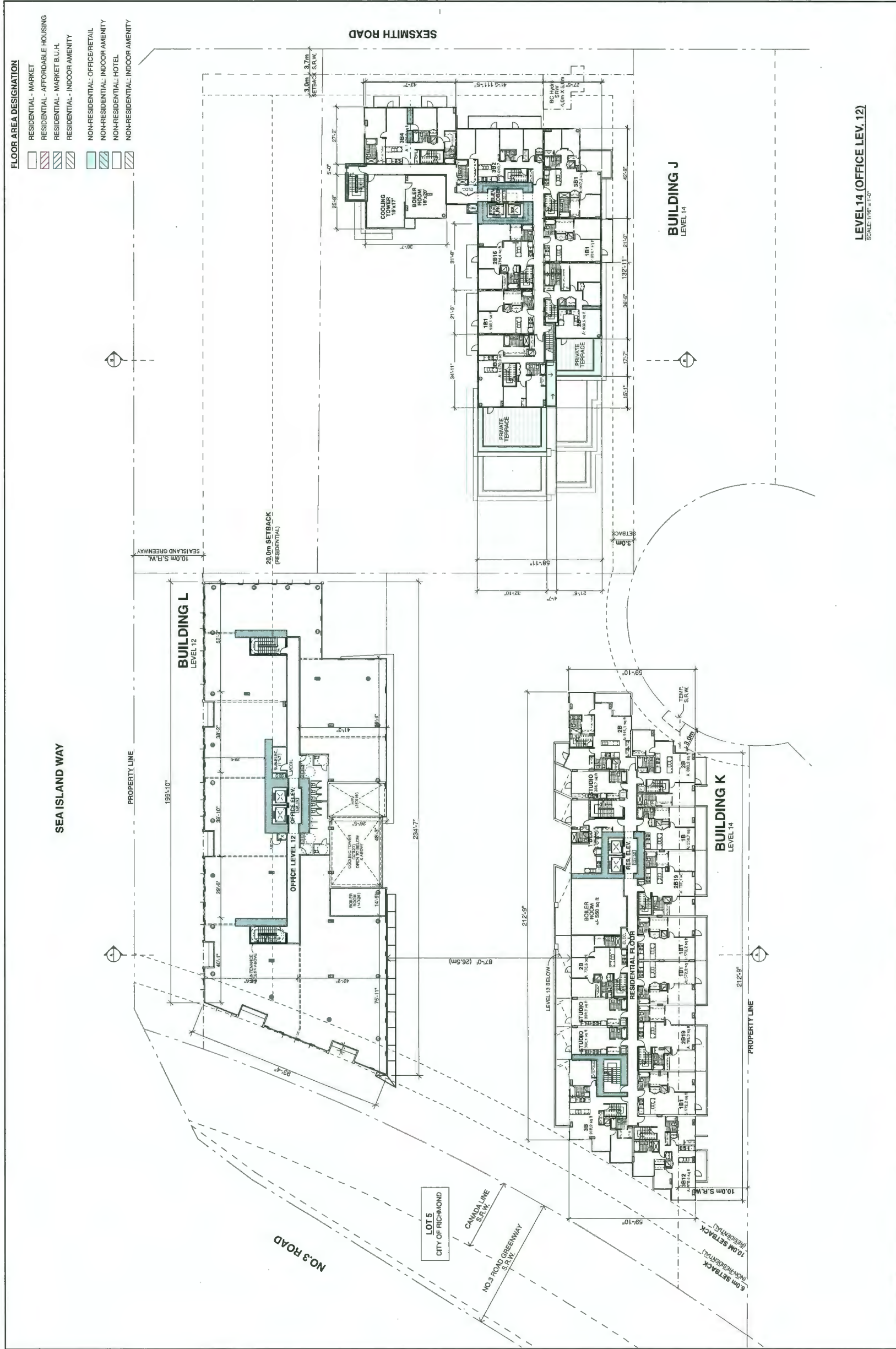


PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



LEVEL 13 (OFFICE LEV. 11)	
NO. 1	DATE
NO. 2	DATE
NO. 3	DATE
NO. 4	DATE
NO. 5	DATE
NO. 6	DATE
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NO. 9	DATE
NO. 10	DATE
NO. 11	DATE
NO. 12	DATE
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NO. 96	DATE
NO. 97	DATE
NO. 98	DATE
NO. 99	DATE
NO. 100	DATE

LEVEL 13 (OFFICE LEV. 11)
 SCALE: 1/16" = 1'-0"



FLOOR AREA DESIGNATION

[Symbol]	RESIDENTIAL - MARKET
[Symbol]	RESIDENTIAL - AFFORDABLE HOUSING
[Symbol]	RESIDENTIAL - MARKET B.U.H.
[Symbol]	RESIDENTIAL - INDOOR AMENITY
[Symbol]	NON-RESIDENTIAL: OFFICE/RETAIL
[Symbol]	NON-RESIDENTIAL: INDOOR AMENITY
[Symbol]	NON-RESIDENTIAL: HOTEL
[Symbol]	NON-RESIDENTIAL: INDOOR AMENITY

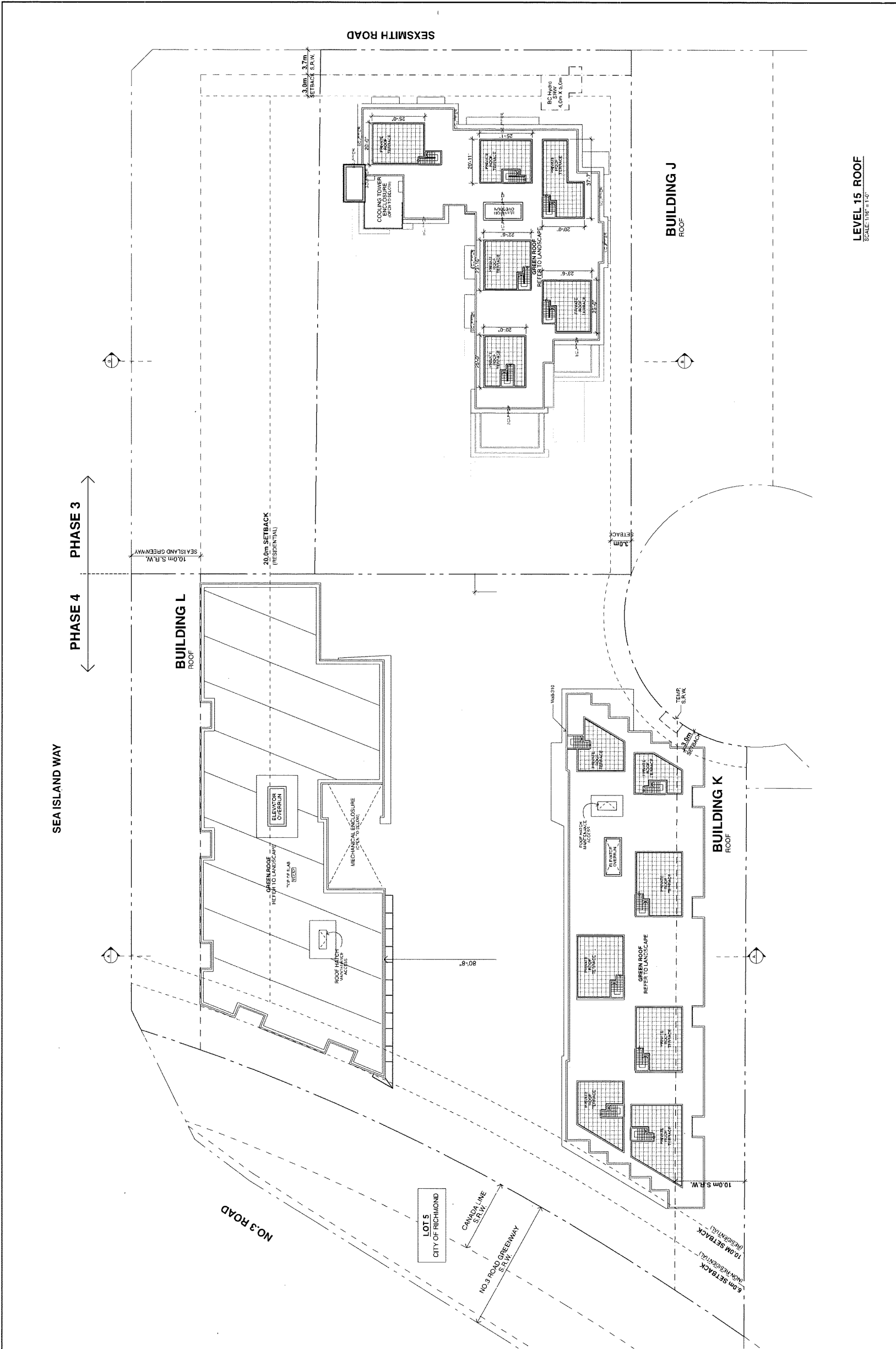
LEVEL 14 (OFFICE LEV. 12)
SCALE: 1/16" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DATE	BY	FOR
1	2024.01.15	J. SMITH	CONCEPT DESIGN
2	2024.02.01	J. SMITH	SCHEMATIC DESIGN
3	2024.02.15	J. SMITH	PRELIMINARY DESIGN
4	2024.03.01	J. SMITH	FINAL DESIGN
5	2024.03.15	J. SMITH	CONSTRUCTION DOCUMENTS

ALL DIMENSIONS SHALL BE VERIFIED ON SITE

LEVEL 14 (OFFICE LEV. 12)
PLAN # 4q



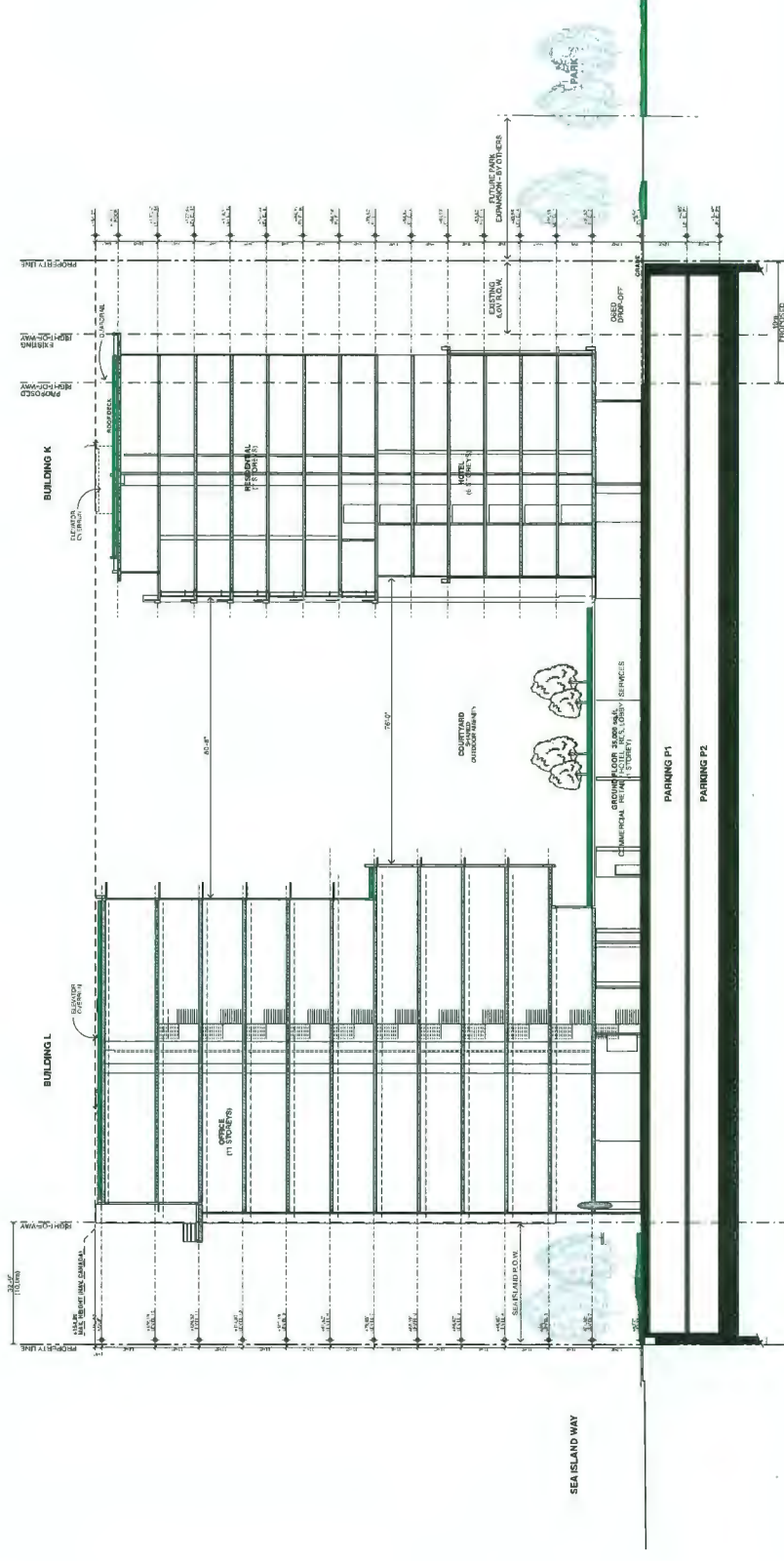
LEVEL 15 ROOF
SCALE: 1/8" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carcallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2024-01-15	ISSUED FOR PERMIT	JAB	
2	2024-01-15	REVISION	JAB	
3	2024-01-15	REVISION	JAB	
4	2024-01-15	REVISION	JAB	
5	2024-01-15	REVISION	JAB	

LEVEL 15 ROOF	
DATE	2024-01-15
SCALE	1/8" = 1'-0"
PLAN #	4R

CONTRACT NO. 18-821292
 SHEET NO. 4R
 ALL DIMENSIONS SHALL BE VERIFIED ON SITE
 ALL DIMENSIONS SHALL BE VERIFIED ON SITE

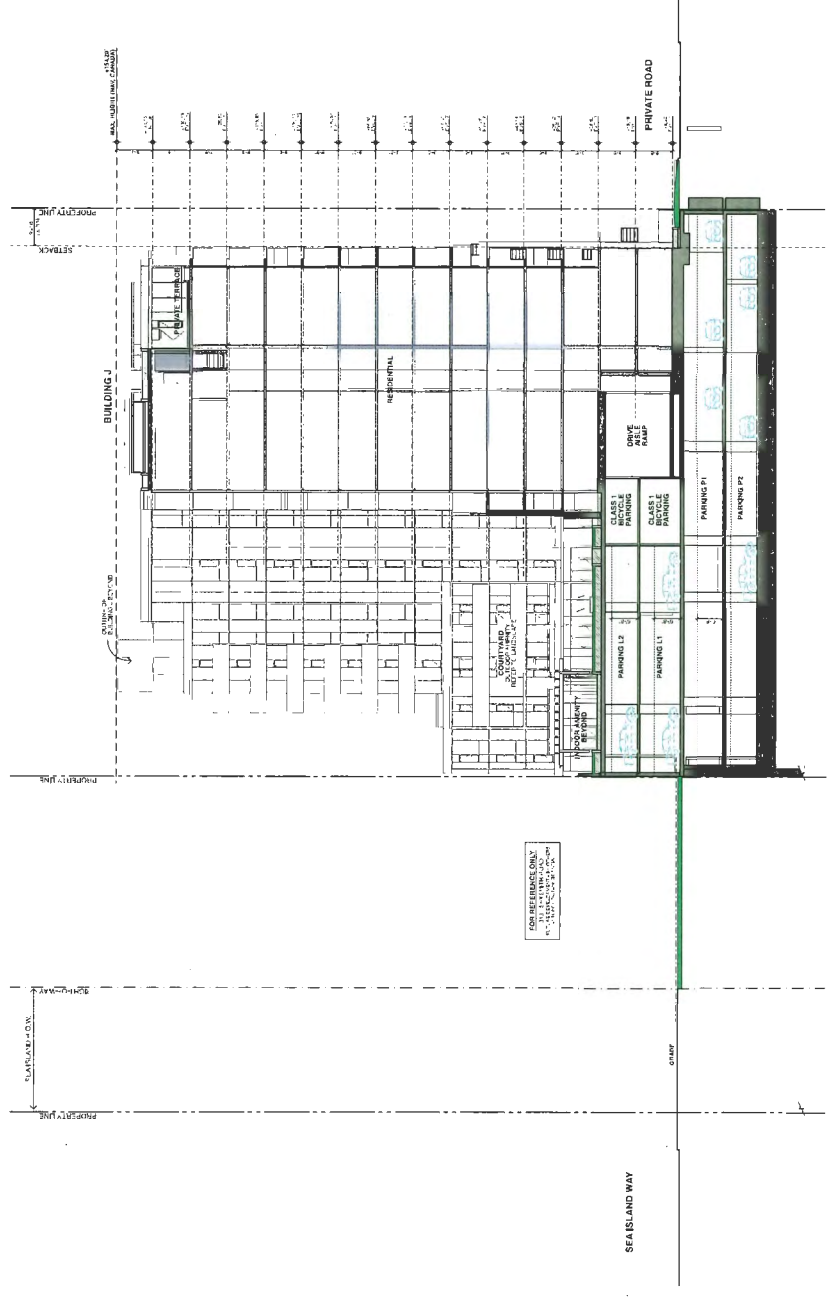


SECTION A
SCALE: 1/16" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



SECTION A	
NO.	DATE / REVISION
1	2018.07.11
2	2018.07.11
3	2018.07.11
4	2018.07.11
5	2018.07.11
6	2018.07.11
7	2018.07.11
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97	2018.07.11
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99	2018.07.11
100	2018.07.11



SECTION B
SCALE: 1/16" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

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NO.	DATE	DESCRIPTION	BY
1	2018-08-14	ISSUED FOR PERMIT	AL
2	2018-08-14	ISSUED FOR PERMIT	AL
3	2018-08-14	ISSUED FOR PERMIT	AL
4	2018-08-14	ISSUED FOR PERMIT	AL
5	2018-08-14	ISSUED FOR PERMIT	AL

SECTION B

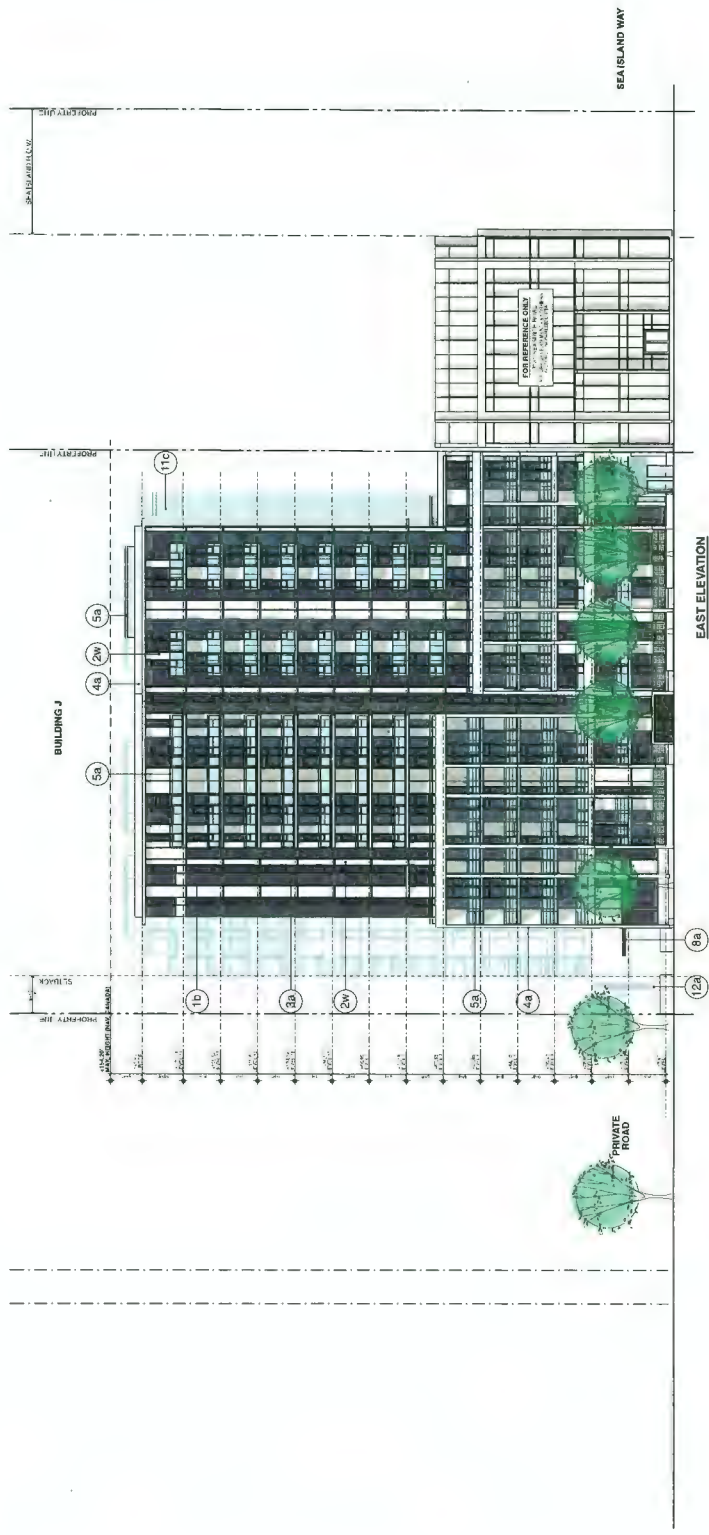
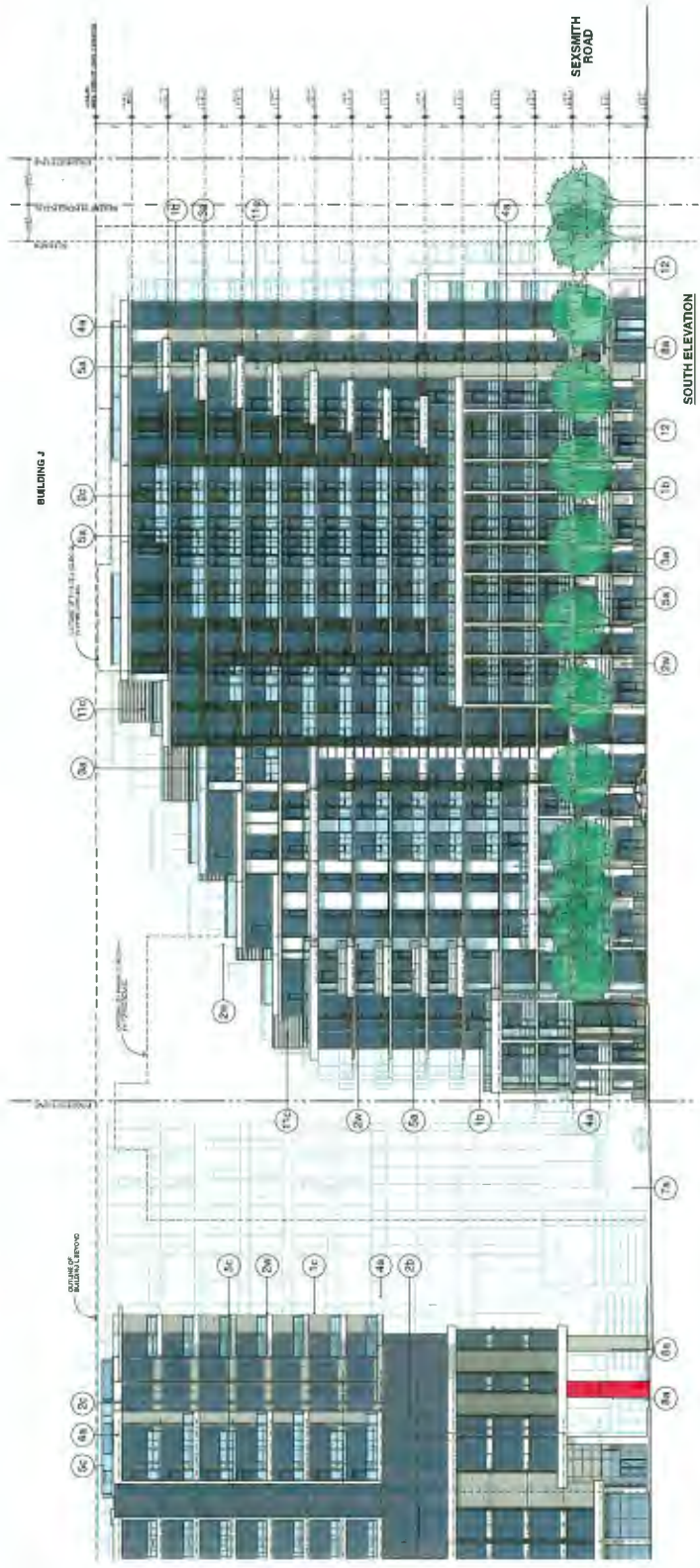
DATE	SCALE	PLAN #
2018-08-14	1/16" = 1'-0"	6b

AL 20180814 2144 161 11/16" = 1'-0" 6b

CONTRACT NO. 18-821292-2144 161 11/16" = 1'-0" 6b
 DRAWN BY: AL
 CHECKED BY: AL
 DATE: 2018-08-14

LIST OF MATERIALS

- 1 GLAZING IN ALUMINUM FRAMES
 - 1a - silver frame; clear insulated aluminum
 - 1b - dark grey frame; match BM 2133-20 "Black-Jack"
 - 1c - white frame
- 2 SPANDREL GLASS IN ALUMINUM FRAMES
 - 2a - light blue; match BM 2021-40 "Blue Egg"
 - 2b - red; match BM 2004-10 "Deep Rose"
 - 2c - dark grey; match BM 2133-20 "Black-Jack"
 - 2d - white
- 3 METAL SPANDREL IN ALUMINUM FRAMES
 - 3a - grey; match BM 2133-20 "Black-Jack"
 - 3b - white
 - 3c - silver
- 4 PAINTED CONCRETE
 - 4a - white
 - 4b - clear render
- 5 GUARDRAILS
 - 5a - dark grey alum. frame w/ clear temp. glass
 - 5b - silver alum. frame w/ clear temp. glass
 - 5c - white alum. frame w/ clear temp. glass
 - 5d - dark grey alum. frame w/ clear temp. glass
- 6 PRIVACY SCREENS
 - 6a - translucent white temp. glass
 - 6b - dark grey alum. frame & grille
 - 6c - translucent lamp. glass
- 7 OVERHEAD GARAGE DOOR
 - 7a - dark grey
- 8 STEEL & GLASS CANOPY
 - 8a - medium grey frame; match BM 2133-50 "Pigeon Grey"
 - 8b - dark grey frame; match BM 2133-20 "Black-Jack"
 - 8c - white
- 9 METAL LOUVRE
 - 9a - dark grey; match BM 2133-20 "Black-Jack"
 - 9b - silver
 - 9c - white
- 10 TRELLIS
 - 10a - stained timber
- 11 METAL PANEL
 - 11a - match BM 2004-10 "Deep Green"
 - 11b - green; match BM 2004-40 "Green Fields"
 - 11c - green; match BM 2004-40 "Golden Green"
 - 11d - green; match BM 2004-40 "Golden Green"
 - 11e - medium grey; match BM 2133-50 "Pigeon Grey"
 - 11f - dark grey; match BM 2133-20 "Black-Jack"
 - 11g - white
- 12 SOLAR SCREEN
 - 12a - white frame
 - 12b - dark grey frame; match BM 2133-20 "Black-Jack"
 - 12c - dark grey frame; match BM 2133-20 "Black-Jack"
- 13 TRANSLUCENT GLASS RW
 - 13a - red



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	ISSUE / REVISION	DATE
9	ISSUE FOR PERMIT	NOV 2024
8	ISSUE FOR PERMIT	NOV 2024
4	ISSUE FOR PERMIT	NOV 2024
3	ISSUE FOR PERMIT	NOV 2024
2	ISSUE FOR PERMIT	NOV 2024
1	ISSUE FOR PERMIT	NOV 2024

**ELEVATIONS:
BUILDING J**

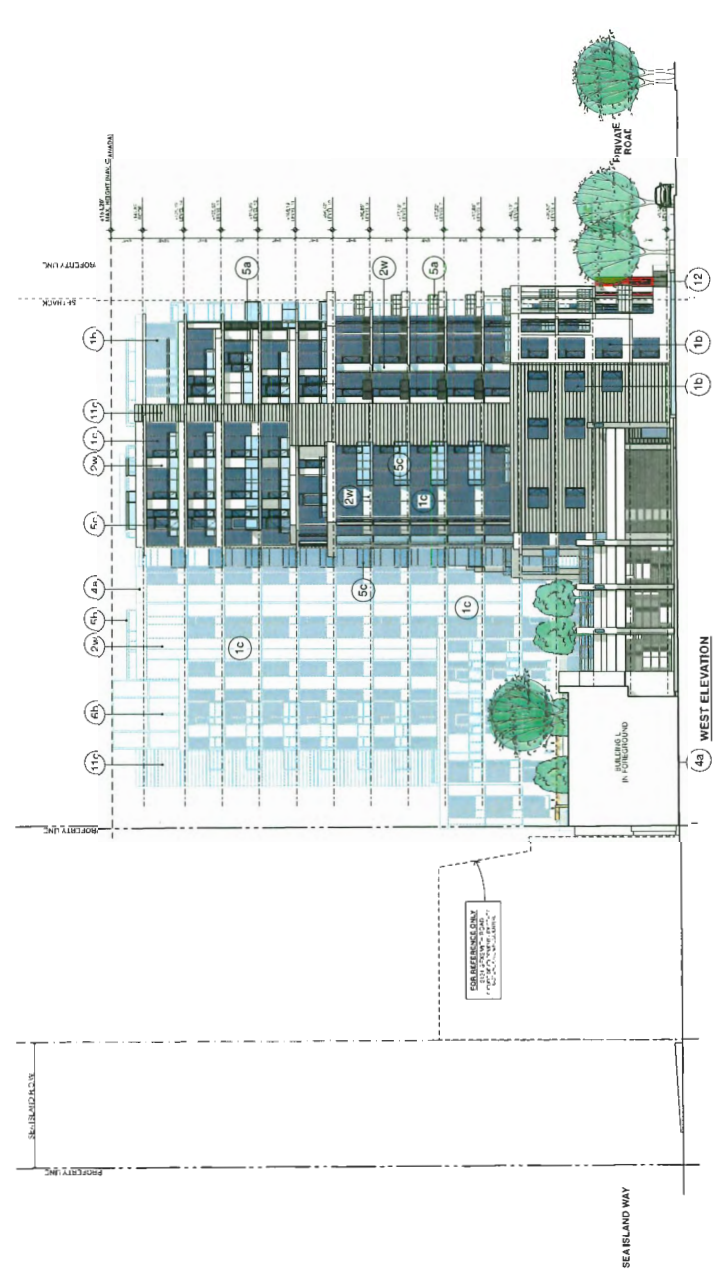
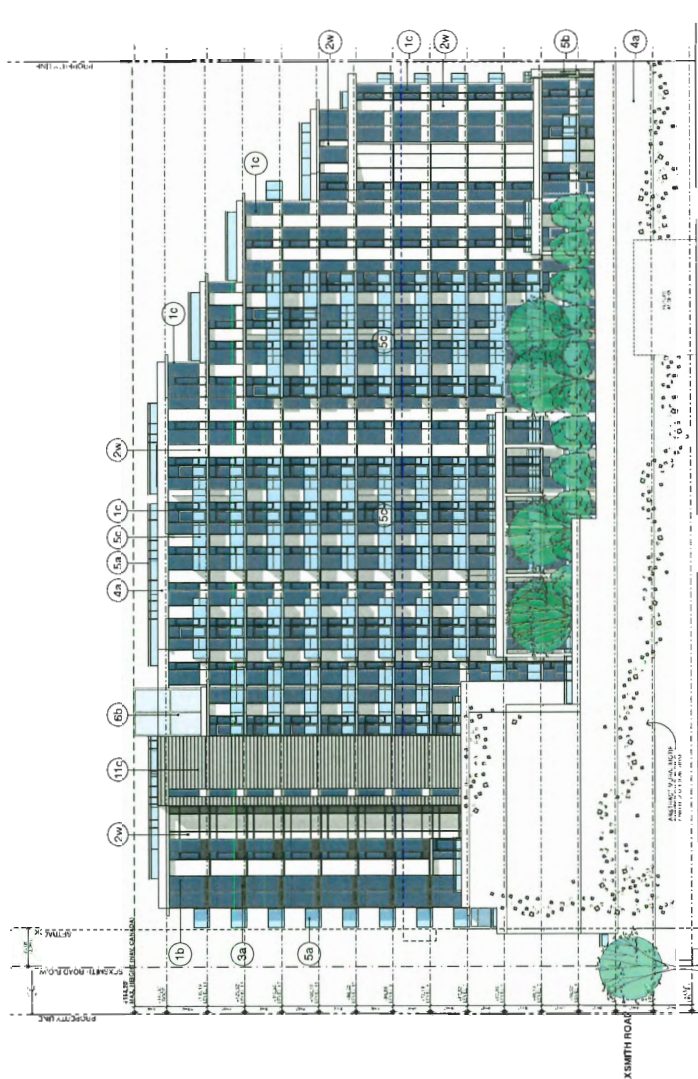
ALL DIMENSIONS SHALL BE VERIFIED ON SITE

SCALE: 1/16" = 1'-0"

PLAN # **7a**

LIST OF MATERIALS

- 1) GLAZING ALUMINUM FRAMES
 - 1a - silver frame clear anodized aluminum
 - 1b - dark grey frame match BM 2133-20 "Black-Jack"
 - 1c - white frame
- 2) SPANDREL GLASS IN ALUMINUM FRAMES
 - 2a - clear glass match BM 2004-40 "Crystal Clear"
 - 2b - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2c - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2d - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2e - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2f - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2g - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2h - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2i - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2j - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2k - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2l - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2m - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2n - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2o - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2p - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2q - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2r - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2s - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2t - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2u - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2v - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2w - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2x - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2y - 1/4" clear glass match BM 2004-40 "Crystal Clear"
 - 2z - 1/4" clear glass match BM 2004-40 "Crystal Clear"
- 3) METAL SPANDREL IN ALUMINUM FRAMES
 - 3a - dark grey match BM 2133-20 "Black-Jack"
 - 3b - white
 - 3c - silver
- 4) PAINTED CONCRETE
 - 4a - white
 - 4b - clear coat
- 5) GUARDRAILS
 - 5a - dark grey alum. frame w/ clear tempered glass
 - 5b - silver alum. frame w/ clear tempered glass
 - 5c - white alum. frame w/ clear tempered glass
- 6) PRIVACY SCREEN
 - 6a - translucent white vinyl glass
 - 6b - dark grey alum. frame & filler
 - 6c - translucent tinted glass
- 7) OVERHEAD GARAGE DOOR
 - 7a - dark grey
- 8) STEEL & GLASS CANOPY
 - 8a - medium grey frame match BM 2133-50 "Pigeon Grey"
 - 8b - dark grey frame match BM 2133-20 "Black-Jack"
 - 8c - white
- 9) METAL LOUIRE
 - 9a - dark grey match BM 2133-20 "Black-Jack"
 - 9b - white
 - 9c - silver
- 10) TRELLIS
 - 10a - painted metal
- 11) METAL PANEL
 - 11a - dark grey match BM 2004-40 "Crystal Clear"
 - 11b - green match BM 2004-50 "Green Fields"
 - 11c - green match BM 2004-40 "Crystal Clear"
 - 11d - green match BM 2004-50 "Green Fields"
 - 11e - green match BM 2004-40 "Crystal Clear"
 - 11f - medium grey match BM 2133-50 "Pigeon Grey"
 - 11g - dark grey match BM 2133-20 "Black-Jack"
 - 11h - white
- 12) SOLAR SCREEN
 - 12a - white frame
 - 12b - dark grey frame match BM 2133-20 "Black-Jack"
 - 12c - dark grey frame match BM 2133-20 "Black-Jack"
 - 12d - dark grey frame match BM 2133-20 "Black-Jack"
 - 12e - dark grey frame match BM 2133-20 "Black-Jack"
 - 12f - dark grey frame match BM 2133-20 "Black-Jack"
 - 12g - dark grey frame match BM 2133-20 "Black-Jack"
 - 12h - dark grey frame match BM 2133-20 "Black-Jack"
 - 12i - dark grey frame match BM 2133-20 "Black-Jack"
 - 12j - dark grey frame match BM 2133-20 "Black-Jack"
 - 12k - dark grey frame match BM 2133-20 "Black-Jack"
 - 12l - dark grey frame match BM 2133-20 "Black-Jack"
 - 12m - dark grey frame match BM 2133-20 "Black-Jack"
 - 12n - dark grey frame match BM 2133-20 "Black-Jack"
 - 12o - dark grey frame match BM 2133-20 "Black-Jack"
 - 12p - dark grey frame match BM 2133-20 "Black-Jack"
 - 12q - dark grey frame match BM 2133-20 "Black-Jack"
 - 12r - dark grey frame match BM 2133-20 "Black-Jack"
 - 12s - dark grey frame match BM 2133-20 "Black-Jack"
 - 12t - dark grey frame match BM 2133-20 "Black-Jack"
 - 12u - dark grey frame match BM 2133-20 "Black-Jack"
 - 12v - dark grey frame match BM 2133-20 "Black-Jack"
 - 12w - dark grey frame match BM 2133-20 "Black-Jack"
 - 12x - dark grey frame match BM 2133-20 "Black-Jack"
 - 12y - dark grey frame match BM 2133-20 "Black-Jack"
 - 12z - dark grey frame match BM 2133-20 "Black-Jack"
- 13) TRANSLUCENT GLASS RM
 - 13a - tint



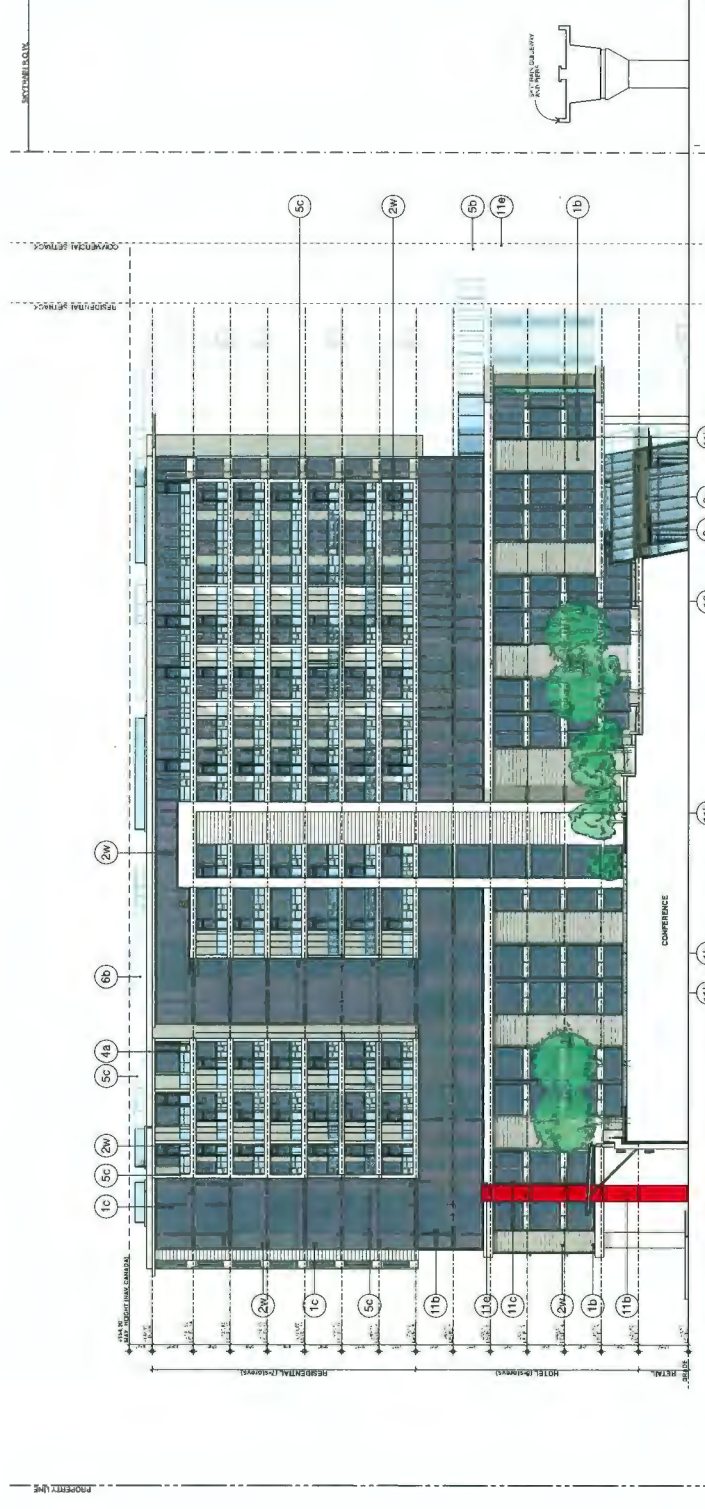
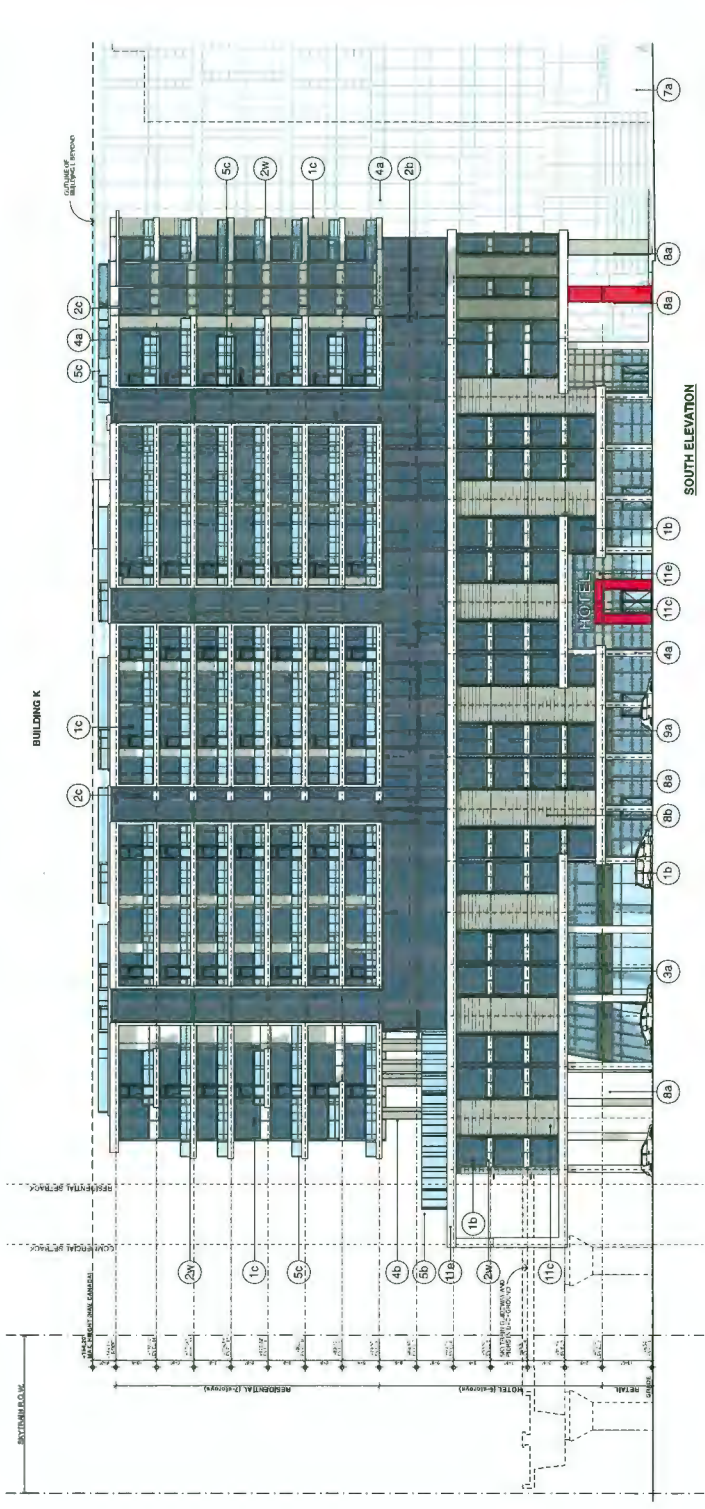
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DESCRIPTION	DATE	BY
1	DESIGN DEVELOPMENT		
2	PERMITTING		
3	CONSTRUCTION		
4	POST-CONSTRUCTION		

ELEVATIONS: BUILDING J		PROJECT #	3208	REVISION NUMBER	
		SCALE	1/16" = 1'-0"	PLAN #	7b
		DRAWN		CHECKED	

LIST OF MATERIALS

- 1) GLAZING IN ALUMINUM FRAMES
 - 1a - silver frame; clear insulating aluminum
 - 1b - dark grey frame; match BM 2133 "Black-Jack"
 - 1c - white frame
- 2) SPANDREL GLASS IN ALUMINUM FRAMES
 - 2a - dark grey; match BM 2133-20 "Black-Jack"
 - 2b - medium grey; match BM 2133-20 "Black-Jack"
 - 2c - white
- 3) METAL SPANDREL IN ALUMINUM FRAMES
 - 3a - dark grey; match BM 2133-20 "Black-Jack"
 - 3b - silver
 - 3c - white
- 4) PAINTED CONCRETE
 - 4a - white
 - 4b - clear sealer
- 5) GUARDRAILS
 - 5a - dark grey alum. frame w/ clear temp. glass
 - 5b - silver alum. frame w/ clear temp. glass
 - 5c - white alum. frame w/ clear temp. glass
- 6) PRIVACY SCREEN
 - 6a - dark grey alum. frame w/ translucent white temp. glass
 - 6b - silver alum. frame w/ translucent white temp. glass
 - 6c - transparent temp. glass
- 7) OVERHEAD GARAGE DOOR
 - 7a - dark grey
- 8) STEEL & GLASS CANOPY
 - 8a - medium grey frame; match BM 2133-20 "Pigeon Grey"
 - 8b - dark grey frame; match BM 2133-20 "Black-Jack"
 - 8c - white
- 9) METAL LOUVRE
 - 9a - dark grey; match BM 2133-20 "Black-Jack"
 - 9b - silver
 - 9c - white
- 10) TRELLIS
 - 10a - stained timber
- 11) METAL PANEL
 - 11a - green; match BM 2054-40 "Copper Green"
 - 11b - green; match BM 2054-40 "Copper Green"
 - 11c - green; match BM 2054-40 "Copper Green"
 - 11d - green; match BM 2054-40 "Copper Green"
 - 11e - green; match BM 2054-40 "Copper Green"
 - 11f - medium grey; match BM 2133-20 "Pigeon Grey"
 - 11g - dark grey; match BM 2133-20 "Black-Jack"
 - 11h - white
- 12) SOLAR SCREEN
 - 12a - white frame
 - 12b - silver frame
 - 12c - dark grey frame; match BM 2133-20 "Black-Jack"
- 13) TRANSLUCENT GLASS RN
 - 13a - red



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	REVISION / NUMBER	DATE
1	ISSUED FOR PERMIT	2024-08-15
2	REVISED PER COMMENTS	2024-08-20
3	REVISED PER COMMENTS	2024-08-25
4	REVISED PER COMMENTS	2024-09-05
5	REVISED PER COMMENTS	2024-09-10
6	REVISED PER COMMENTS	2024-09-15
7	REVISED PER COMMENTS	2024-09-20
8	REVISED PER COMMENTS	2024-09-25
9	REVISED PER COMMENTS	2024-10-05
10	REVISED PER COMMENTS	2024-10-10
11	REVISED PER COMMENTS	2024-10-15
12	REVISED PER COMMENTS	2024-10-20
13	REVISED PER COMMENTS	2024-10-25
14	REVISED PER COMMENTS	2024-11-05
15	REVISED PER COMMENTS	2024-11-10
16	REVISED PER COMMENTS	2024-11-15
17	REVISED PER COMMENTS	2024-11-20
18	REVISED PER COMMENTS	2024-11-25
19	REVISED PER COMMENTS	2024-12-05
20	REVISED PER COMMENTS	2024-12-10
21	REVISED PER COMMENTS	2024-12-15
22	REVISED PER COMMENTS	2024-12-20
23	REVISED PER COMMENTS	2024-12-25
24	REVISED PER COMMENTS	2025-01-05
25	REVISED PER COMMENTS	2025-01-10
26	REVISED PER COMMENTS	2025-01-15
27	REVISED PER COMMENTS	2025-01-20
28	REVISED PER COMMENTS	2025-01-25
29	REVISED PER COMMENTS	2025-02-05
30	REVISED PER COMMENTS	2025-02-10
31	REVISED PER COMMENTS	2025-02-15
32	REVISED PER COMMENTS	2025-02-20
33	REVISED PER COMMENTS	2025-02-25
34	REVISED PER COMMENTS	2025-03-05
35	REVISED PER COMMENTS	2025-03-10
36	REVISED PER COMMENTS	2025-03-15
37	REVISED PER COMMENTS	2025-03-20
38	REVISED PER COMMENTS	2025-03-25
39	REVISED PER COMMENTS	2025-04-05
40	REVISED PER COMMENTS	2025-04-10
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43	REVISED PER COMMENTS	2025-04-25
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46	REVISED PER COMMENTS	2025-05-15
47	REVISED PER COMMENTS	2025-05-20
48	REVISED PER COMMENTS	2025-05-25
49	REVISED PER COMMENTS	2025-06-05
50	REVISED PER COMMENTS	2025-06-10
51	REVISED PER COMMENTS	2025-06-15
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53	REVISED PER COMMENTS	2025-06-25
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55	REVISED PER COMMENTS	2025-07-10
56	REVISED PER COMMENTS	2025-07-15
57	REVISED PER COMMENTS	2025-07-20
58	REVISED PER COMMENTS	2025-07-25
59	REVISED PER COMMENTS	2025-08-05
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63	REVISED PER COMMENTS	2025-08-25
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77	REVISED PER COMMENTS	2025-11-20
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79	REVISED PER COMMENTS	2025-12-05
80	REVISED PER COMMENTS	2025-12-10
81	REVISED PER COMMENTS	2025-12-15
82	REVISED PER COMMENTS	2025-12-20
83	REVISED PER COMMENTS	2025-12-25
84	REVISED PER COMMENTS	2026-01-05
85	REVISED PER COMMENTS	2026-01-10
86	REVISED PER COMMENTS	2026-01-15
87	REVISED PER COMMENTS	2026-01-20
88	REVISED PER COMMENTS	2026-01-25
89	REVISED PER COMMENTS	2026-02-05
90	REVISED PER COMMENTS	2026-02-10
91	REVISED PER COMMENTS	2026-02-15
92	REVISED PER COMMENTS	2026-02-20
93	REVISED PER COMMENTS	2026-02-25
94	REVISED PER COMMENTS	2026-03-05
95	REVISED PER COMMENTS	2026-03-10
96	REVISED PER COMMENTS	2026-03-15
97	REVISED PER COMMENTS	2026-03-20
98	REVISED PER COMMENTS	2026-03-25
99	REVISED PER COMMENTS	2026-04-05
100	REVISED PER COMMENTS	2026-04-10

ELEVATIONS: BUILDING K

ALL DIMENSIONS SHALL BE VERIFIED IN SITE

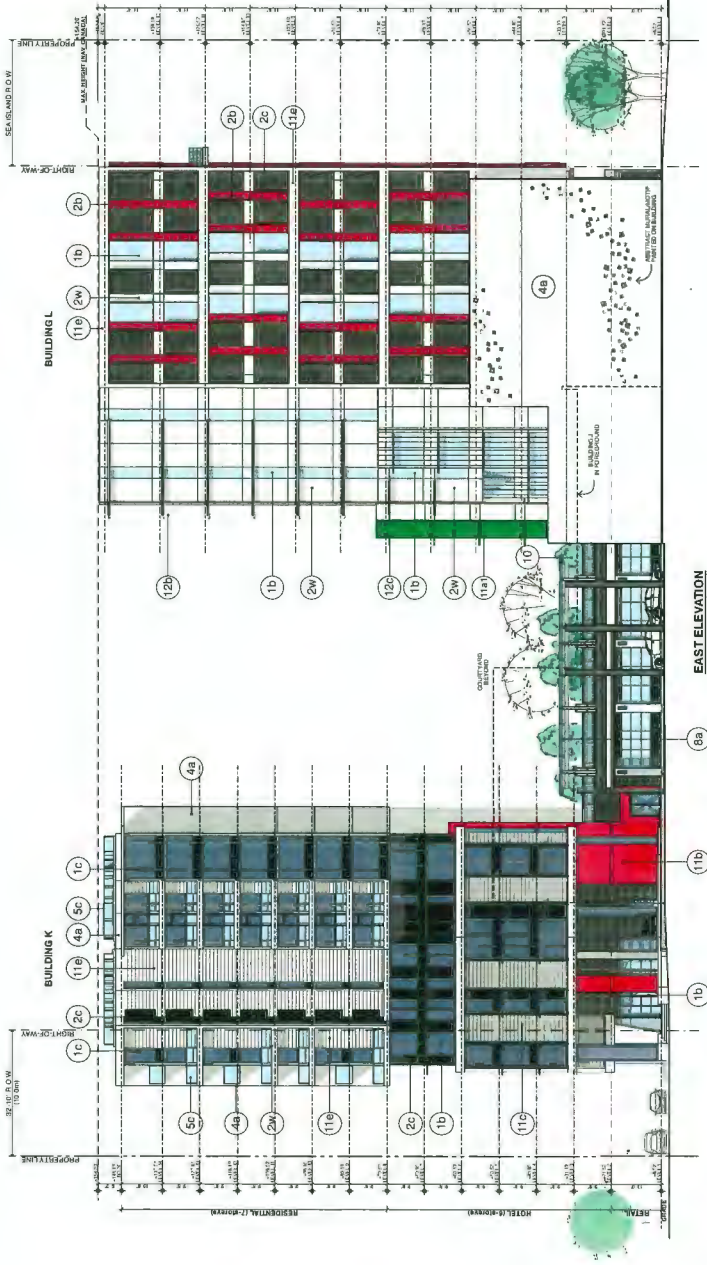
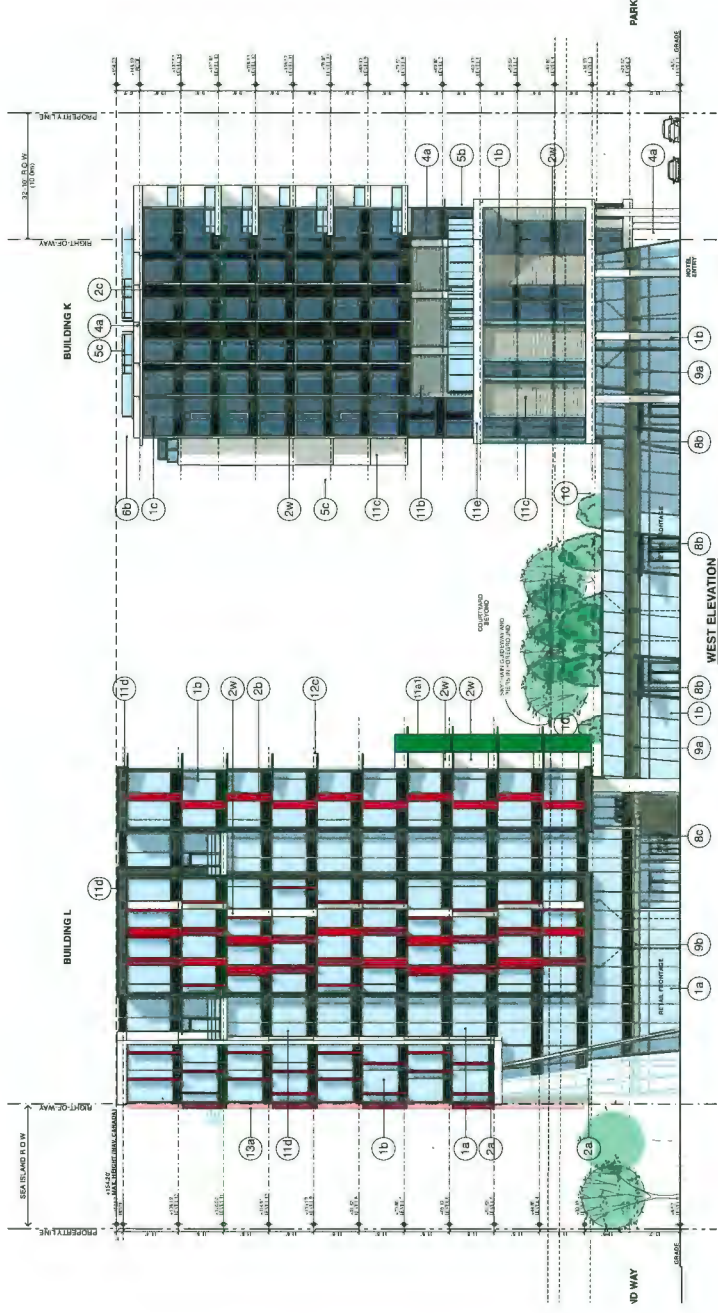
DATE: 2024-11-15

SCALE: 1/16" = 1'-0"

PLAN # 7C

LIST OF MATERIALS

- 1 GLAZING IN ALUMINUM FRAMES
 - 1a - dark grey frame: match BM 2133 "Black-Jack"
 - 1b - white frame
 - 1c - white frame
- 2 SPANDREL GLASS IN ALUMINUM FRAMES
 - 2a - light blue: match BM 2051-60 "Blue's Egg"
 - 2b - clear: match BM 2051-60 "Black-Jack"
 - 2c - clear: match BM 2133-20 "Black-Jack"
 - 2d - white: match BM 2133-20 "Black-Jack"
- 3 METAL SPANDREL IN ALUMINUM FRAMES
 - 3a - dark grey: match BM 2133-20 "Black-Jack"
 - 3b - white
 - 3c - silver
- 4 PAINTED CONCRETE
 - 4a - white
 - 4b - clear sealers
- 5 QUADRANTS
 - 5a - dark grey alum. frame w/ clear temp. glass
 - 5b - white alum. frame w/ clear temp. glass
 - 5c - white alum. frame w/ clear temp. glass
- 6 PRIVACY SCREEN
 - 6a - dark grey alum. frame w/ translucent white temp. glass
 - 6b - dark grey alum. frame & grille
 - 6c - transparent temp. glass
- 7 OVERHEAD GARAGE DOOR
 - 7a - dark grey
- 8 STEEL & GLASS CANOPY
 - 8a - medium grey frame: match BM 2133-50 "Pigeon Gray"
 - 8b - dark grey frame: match BM 2133-20 "Black-Jack"
 - 8c - white frame: match BM 2133-20 "Black-Jack"
- 9 METAL LOUVER
 - 9a - dark grey: match BM 2133-20 "Black-Jack"
 - 9b - silver
- 10 TRELLIS
 - 10a - stained timber
- 11 METAL PANEL
 - 11a1 - green: match BM 2034-10 "Clever Green"
 - 11a2 - green: match BM 2034-30 "Grassy Field"
 - 11a3 - green: match BM 2034-40 "Clear Green"
 - 11a4 - green: match BM 2034-50 "Pigeon Green"
 - 11b - red: match BM 2005-10 "Red Rock"
 - 11c - medium grey: match BM 2133-50 "Pigeon Gray"
 - 11d - dark grey: match BM 2133-20 "Black-Jack"
 - 11e - white
- 12 SOLAR SCREEN
 - 12a - white frame
 - 12b - white frame
 - 12c - white frame
 - 12d - dark grey frame: match BM 2133-20 "Black-Jack"
- 13 TRANSLUCENT GLASS FIN
 - 13a - red



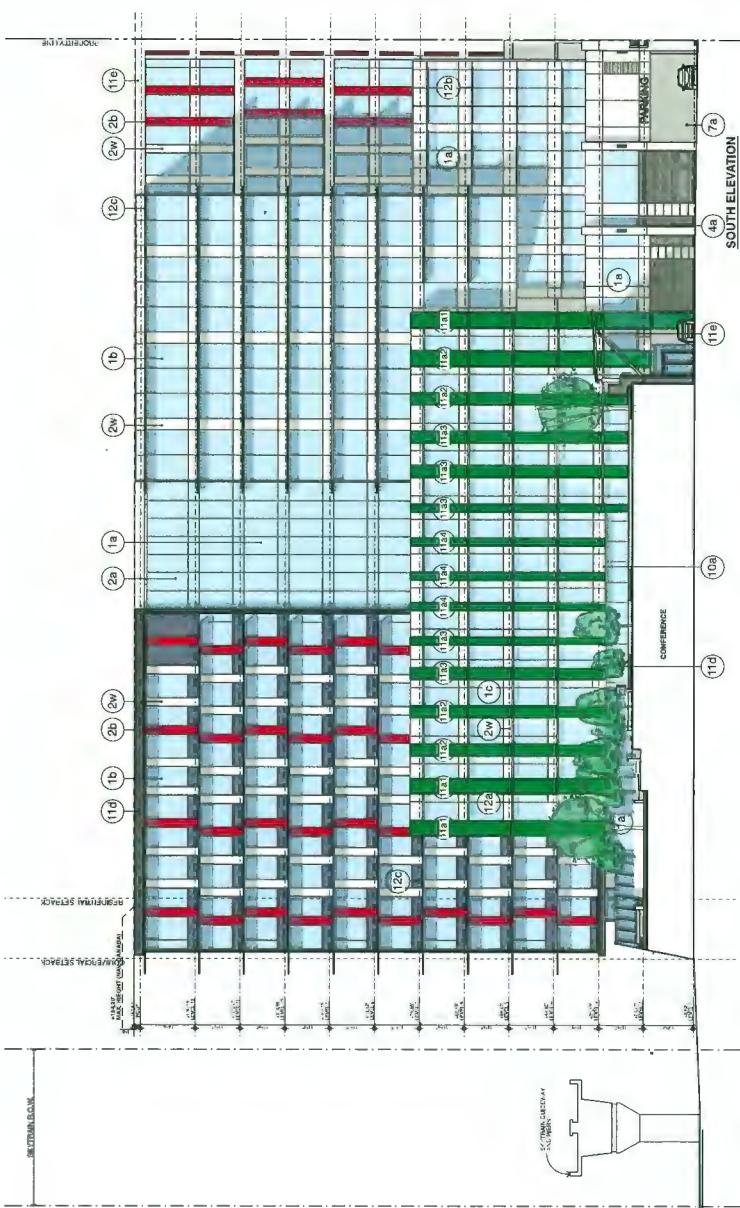
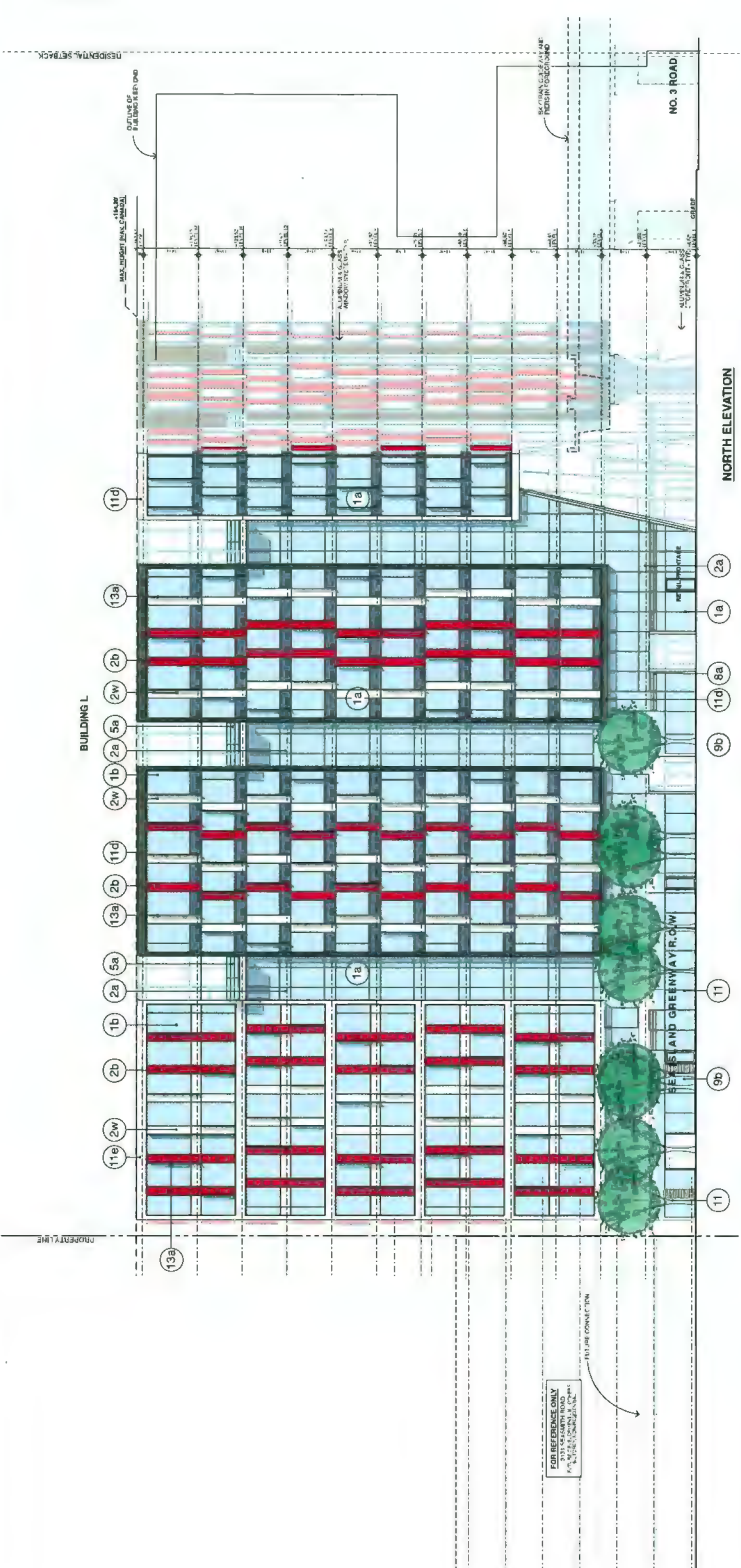
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

ELEVATIONS: BUILDING K/L		DRAWING NUMBER PLAN #	
ALL DIMENSIONS SHALL BE VERIFIED ON SITE.		PROJ #	7d
		SCALE	1/16" = 1'-0"
		DATE	7d

bingham hill	
NO. 1	DESIGNER
NO. 2	DATE
NO. 3	NO. 4
NO. 5	NO. 6
NO. 7	NO. 8
NO. 9	NO. 10
NO. 11	NO. 12
NO. 13	NO. 14
NO. 15	NO. 16
NO. 17	NO. 18
NO. 19	NO. 20
NO. 21	NO. 22
NO. 23	NO. 24
NO. 25	NO. 26
NO. 27	NO. 28
NO. 29	NO. 30
NO. 31	NO. 32
NO. 33	NO. 34
NO. 35	NO. 36
NO. 37	NO. 38
NO. 39	NO. 40
NO. 41	NO. 42
NO. 43	NO. 44
NO. 45	NO. 46
NO. 47	NO. 48
NO. 49	NO. 50
NO. 51	NO. 52
NO. 53	NO. 54
NO. 55	NO. 56
NO. 57	NO. 58
NO. 59	NO. 60
NO. 61	NO. 62
NO. 63	NO. 64
NO. 65	NO. 66
NO. 67	NO. 68
NO. 69	NO. 70
NO. 71	NO. 72
NO. 73	NO. 74
NO. 75	NO. 76
NO. 77	NO. 78
NO. 79	NO. 80
NO. 81	NO. 82
NO. 83	NO. 84
NO. 85	NO. 86
NO. 87	NO. 88
NO. 89	NO. 90
NO. 91	NO. 92
NO. 93	NO. 94
NO. 95	NO. 96
NO. 97	NO. 98
NO. 99	NO. 100

LIST OF MATERIALS

- 1) GLAZING IN ALUMINUM FRAMES
 - 1a - silver frame, clear anodized aluminum
 - 1b - dark grey frame, match BM 2133 "Black-Jack"
 - 1c - white frame
- 2) SPANDREL GLASS IN ALUMINUM FRAMES
 - 2a - clear glass, match BM 2133 "Black-Jack"
 - 2b - match BM 2004-10 "Deep Rose"
 - 2c - dark grey, match BM 2133-20 "Black-Jack"
 - 2d - white
- 3) METAL SPANDREL IN ALUMINUM FRAMES
 - 3a - dark grey, match BM 2133-20 "Black-Jack"
 - 3b - silver
 - 3c - white
- 4) PAINTED CONCRETE
 - 4a - white
 - 4b - clear render
- 5) GUARDRAILS
 - 5a - dark grey alum. frame w/ clear lmpg. glass
 - 5b - silver alum. frame w/ clear lmpg. glass
 - 5c - white alum. frame w/ clear lmpg. glass
- 6) PRIVACY SCREEN
 - 6a - dark grey alum. frame w/ translucent white lmpg. glass
 - 6b - silver alum. frame w/ translucent white lmpg. glass
 - 6c - transparent lmpg. glass
- 7) OVERHEAD GARAGE DOOR
 - 7a - dark grey
- 8) STEEL & GLASS CANOPY
 - 8a - medium grey frame, match BM 2133-20 "Black-Jack"
 - 8b - dark grey frame, match BM 2133-20 "Black-Jack"
 - 8c - white
- 9) METAL LOUVRE
 - 9a - dark grey, match BM 2133-20 "Black-Jack"
 - 9b - silver
- 10) TRELLIS
 - 10a - stained timber
- 11) METAL PANEL
 - 11a - green, match BM 2004-10 "Crown Green"
 - 11b - green, match BM 2004-10 "Crown Green"
 - 11c - green, match BM 2004-10 "Crown Green"
 - 11d - green, match BM 2004-10 "Crown Green"
 - 11e - red, match BM 2005-10 "Red Rock"
 - 11f - red, match BM 2005-10 "Red Rock"
 - 11g - red, match BM 2005-10 "Red Rock"
 - 11h - dark grey, match BM 2133-20 "Black-Jack"
 - 11i - dark grey, match BM 2133-20 "Black-Jack"
 - 11j - white
- 12) SOLAR SCREEN
 - 12a - white frame
 - 12b - silver frame
 - 12c - dark grey frame, match BM 2133-20 "Black-Jack"
- 13) TRANSLUCENT GLASS FN
 - 13a - red



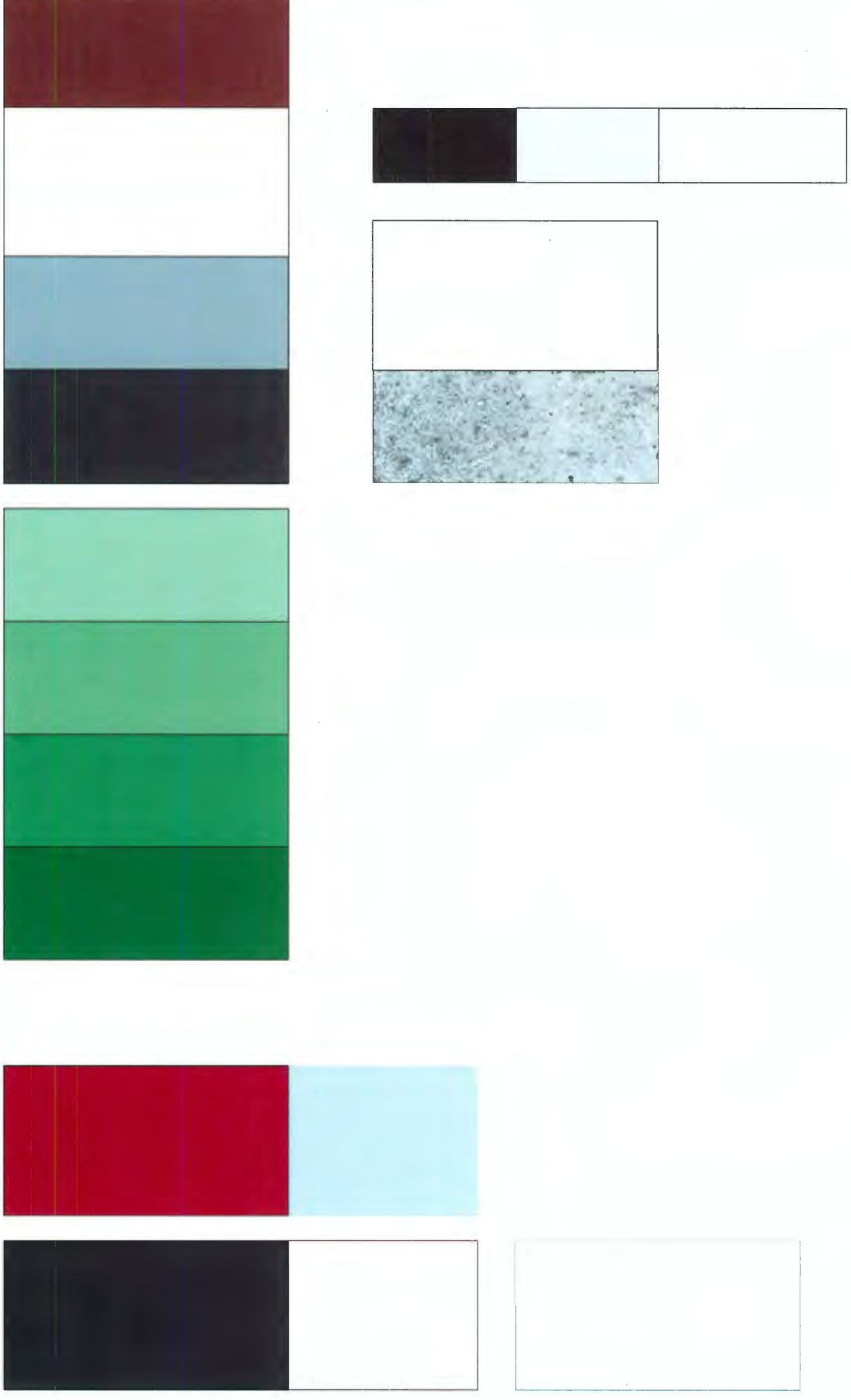
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	ISSUED / REVIEW	DATE
1	PRELIMINARY	2024.01.15
2	REVISED	2024.02.01
3	REVISED	2024.02.15
4	REVISED	2024.03.01
5	REVISED	2024.03.15
6	REVISED	2024.04.01
7	REVISED	2024.04.15
8	REVISED	2024.05.01
9	REVISED	2024.05.15
10	REVISED	2024.06.01
11	REVISED	2024.06.15
12	REVISED	2024.07.01
13	REVISED	2024.07.15
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100	REVISED	2028.03.01

ELEVATIONS: BUILDING L	
SCALE: 1/8" = 1'-0"	PLAN # 7e
DATE: 2024.01.15	PROJECT: PINNACLE LIVING @ CAPSTAN VILLAGE
DESIGNER: BINGHAM HILL ARCHITECTS	CLIENT: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

LIST OF MATERIALS

- ① GLAZING IN ALUMINUM FRAMES
 - 1a - silver frame; clear encased aluminum
 - 1b - dark grey frame; match BM 2133 "Black-Jack"
 - 1c - white frame
- ② SPANDREL GLASS IN ALUMINUM FRAMES
 - 2a - clear glass; match BM 2054 "Crystal Clear"
 - 2b - red; match BM 2054-10 "Deep River"
 - 2c - dark grey; match BM 2133-20 "Black-Jack"
 - 2d - white
- ③ METAL SPANDREL IN ALUMINUM FRAMES
 - 3a - dark grey; match BM 2133-20 "Black-Jack"
 - 3b - silver
 - 3c - white
- ④ PAINTED CONCRETE
 - 4a - white
 - 4b - clear steel
- ⑤ GUARDRAILS
 - 5a - clear grey alum. frame w/ clear lens, glass
 - 5b - silver alum. frame w/ clear lens, glass
 - 5c - white alum. frame w/ clear lens, glass
 - 5d - dark grey alum. frame & grille
 - 5e - transparent lens, glass
- ⑥ PRIVACY SCREEN
 - 6a - clear grey alum. frame w/ translucent white lens, glass
 - 6b - dark grey alum. frame & grille
- ⑦ OVERHEAD GARAGE DOOR
 - 7a - dark grey
- ⑧ STEEL & GLASS CANOPY
 - 8a - medium grey frame; match BM 2133-50 "Pigeon Grey"
 - 8b - dark grey frame; match BM 2133-50 "Black-Jack"
 - 8c - white
- ⑨ METAL LOUIRE
 - 9a - dark grey; match BM 2133-20 "Black-Jack"
 - 9b - silver
- ⑩ TRELLIS
 - 10a - stained timber
- ⑪ METAL PANEL
 - 11a - green; match BM 2054 "Crystal Clear"
 - 11b - green; match BM 2054-30 "Cedar Forest"
 - 11c - green; match BM 2054-40 "Cedar Green"
 - 11d - green; match BM 2054-50 "Acacia Green"
 - 11e - dark grey; match BM 2133-20 "Black-Jack"
 - 11f - white
- ⑫ SOLAR SCREEN
 - 12a - white frame
 - 12b - silver frame
 - 12c - dark grey frame; match BM 2133-20 "Black-Jack"
- ⑬ TRANSLUCENT GLASS FN
 - 13a - red



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

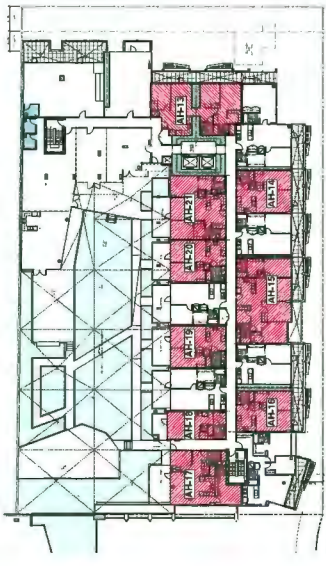
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6	ISSUE FOR PERMIT	2024.08.14
7	ISSUE FOR PERMIT	2024.08.14
8	ISSUE FOR PERMIT	2024.08.14
9	ISSUE FOR PERMIT	2024.08.14
10	ISSUE FOR PERMIT	2024.08.14

BUILDING MATERIALS & COLOUR SAMPLES		REVISION NUMBER	
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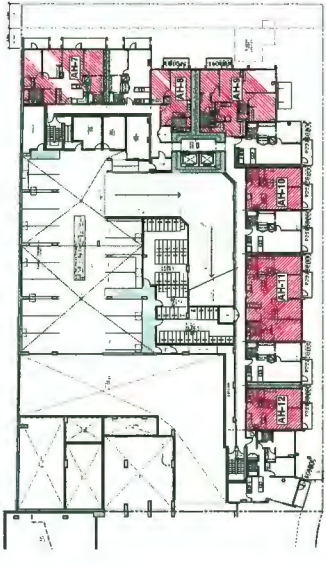
AFFORDABLE HOUSING SUMMARY

REF. #	LEVEL	UNIT TYPE	BUH UNIT (1)	AREA/UNIT (sq. ft.)	# of UNITS	TOTAL HABITABLE AREA (sq. ft.)
AH-1	1	2BED	YES	73.1		
AH-2	1	3BED	YES	92.3		
AH-3	1	1BED	YES	53.3		
AH-4	1	3BED	YES	108.7		
AH-5	1	1BED	YES	51.2		
AH-6	1	1BED	YES	51.4		
AH-7	2	3BED	YES	100.5		
AH-8	2	1BED	YES	50.6		
AH-9	2	3BED	YES	104.3		
AH-10	2	1BED	YES	55.3		
AH-11	2	3BED	YES	108.7		
AH-12	2	1BED	YES	51.4		
AH-13	2	3BED	YES	91.5		
AH-14	2	1BED	YES	55.3		
AH-15	2	3BED	YES	108.7		
AH-16	2	1BED	YES	51.4		
AH-17	3	2BED	YES	73.8		
AH-18	3	BACH	YES	37.4		
AH-19	3	1BED	YES	51.8		
AH-20	3	1BED	YES	51.8		
AH-21	3	2BED	YES	77.8		
AH-22	3	2BED	YES	81.3		
AH-23	3	3BED	YES	99.3		
AH-24	3	3BED	YES	91.5		
AH-25	3	1BED	YES	53.3		
AH-26	3	3BED	YES	108.7		
AH-27	3	1BED	YES	51.4		
AH-28	3	2BED	YES	86.4		
AH-29	3	BACH	YES	37.4		
AH-30	3	1BED	YES	51.8		
AH-31	3	1BED	YES	51.8		
AH-32	3	2BED	YES	77.8		
AH-33	3	2BED	YES	81.3		
AH-34	3	3BED	YES	99.3		
AH-35	3	3BED	YES	91.5		
AH-36	3	3BED	YES	108.6		
AH-37	3	2BED	YES	76.1		
AH-38	3	3BED	YES	91.7		
AH-39	3	1BED	YES	51.8		
AH-40	3	1BED	YES	51.8		
AH-41	3	2BED	YES	77.8		
						3,007.1
						41

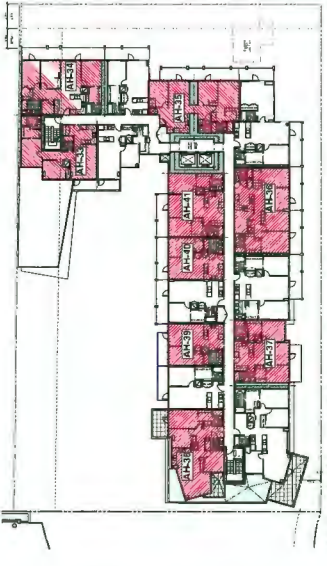
(1) "BUH Unit" means Basic Universal Housing (BUH) unit and shall be designed and constructed to comply with all applicable Richmond Zoning Bylaw requirements.



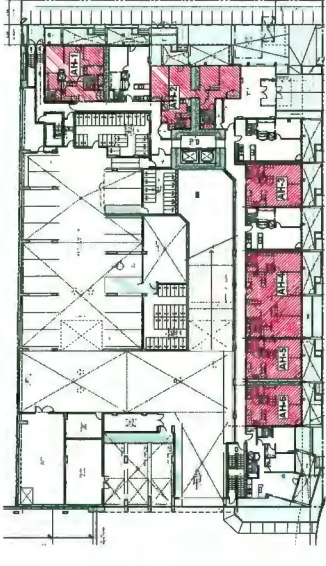
BUILDING J - LEVEL 3



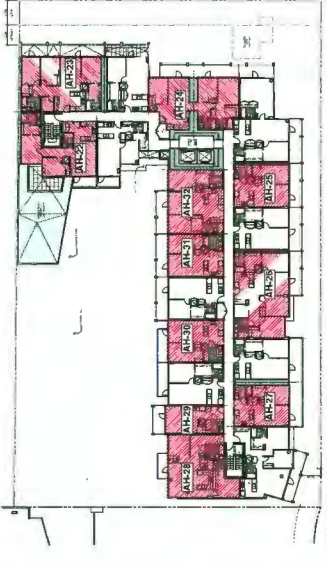
BUILDING J - LEVEL 2



BUILDING J - LEVEL 5



BUILDING J - LEVEL 1



BUILDING J - LEVEL 4

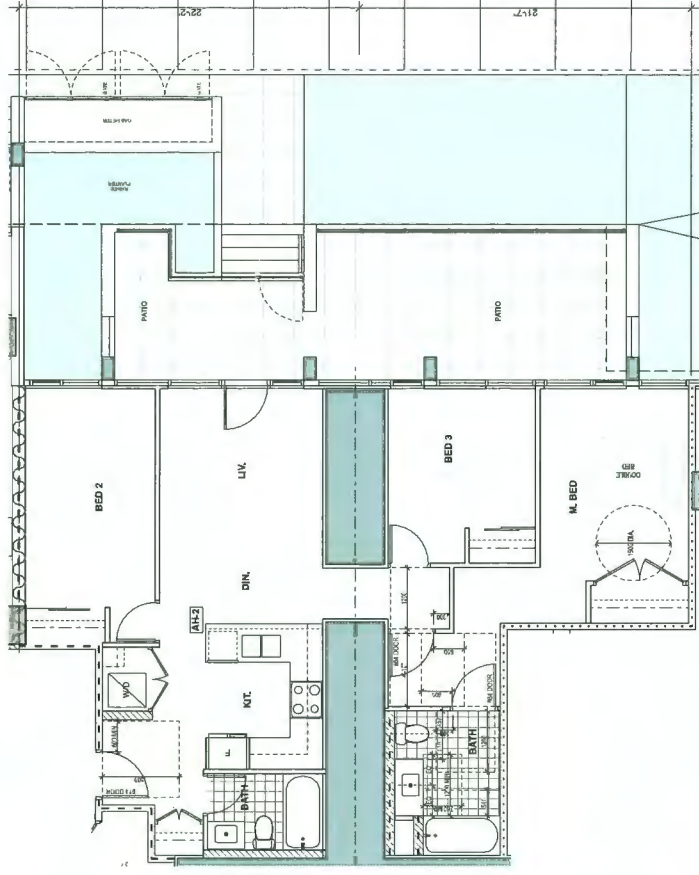
AFFORDABLE HOUSING KEY PLANS

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

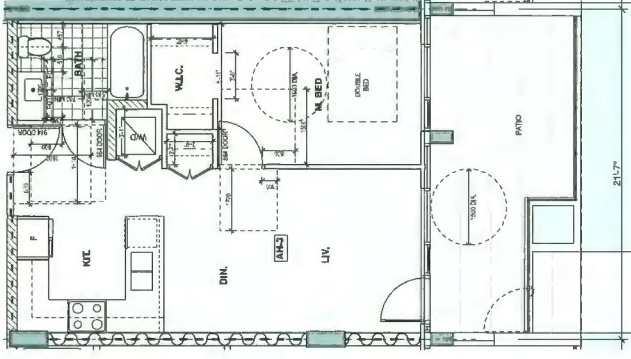
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100	SCHEMATIC DEVELOPMENT	

AFFORDABLE HOUSING KEY PLANS
 ALL DIMENSIONS SHALL BE METRIC UNITS

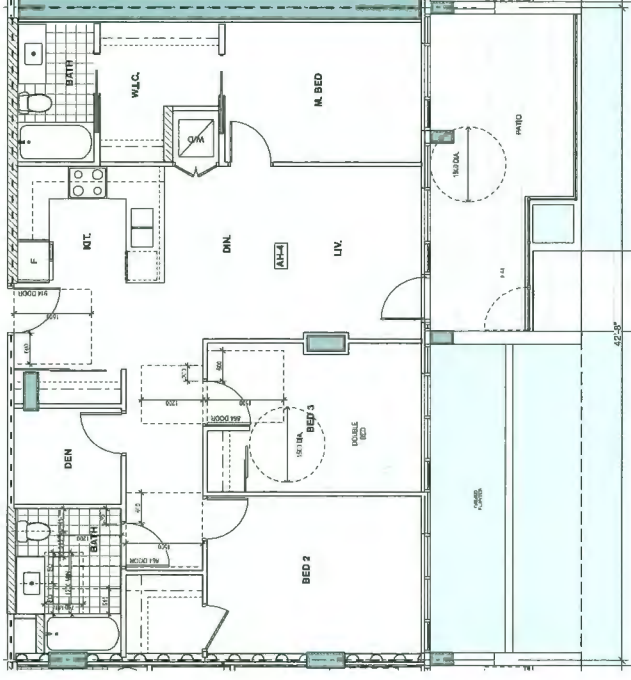
PROJECT #	1706
SCALE	1" = 20'
PLAN #	11a-1



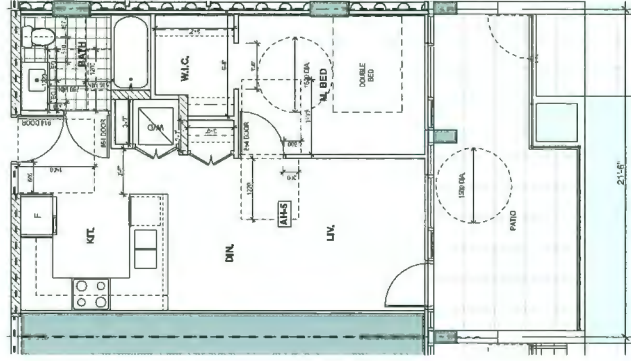
AH-2 - ONE REQ'D
SCALE: 1/8" = 1'-0"



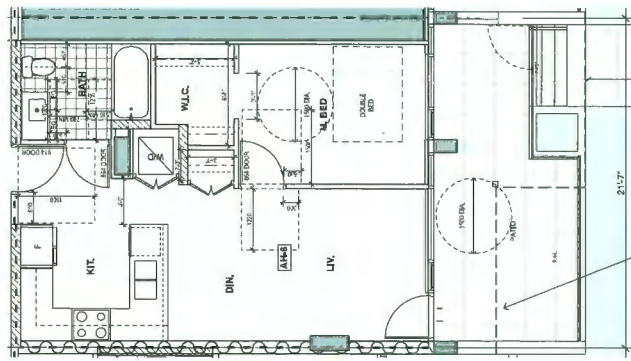
AH-3, AH-9, AH-13, AH-24 - 4 REQ'D
SCALE: 1/8" = 1'-0"



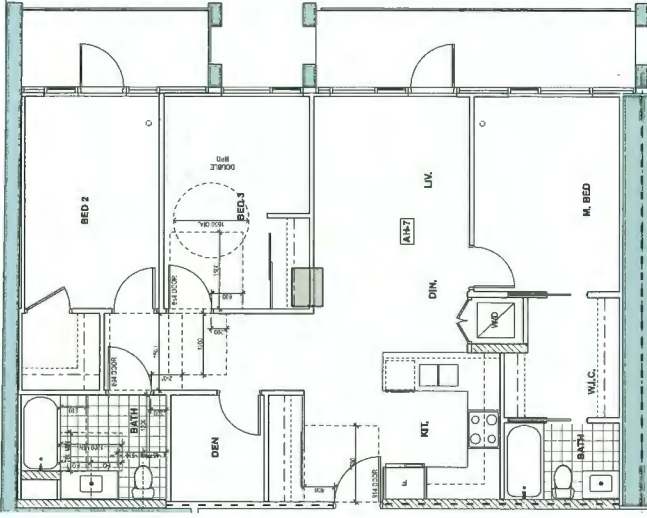
AH-4, AH-10, AH-14, AH-25, AH-35 - 5 REQ'D
SCALE: 1/8" = 1'-0"



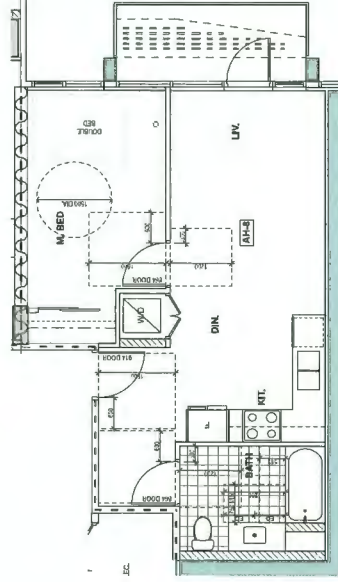
AH-5 - ONE REQ'D
SCALE: 1/8" = 1'-0"



AH-6, AH-12, AH-16, AH-25 - 4 REQ'D
SCALE: 1/8" = 1'-0"



AH-7, AH-23, AH-34 - 3 REQ'D
SCALE: 1/8" = 1'-0"

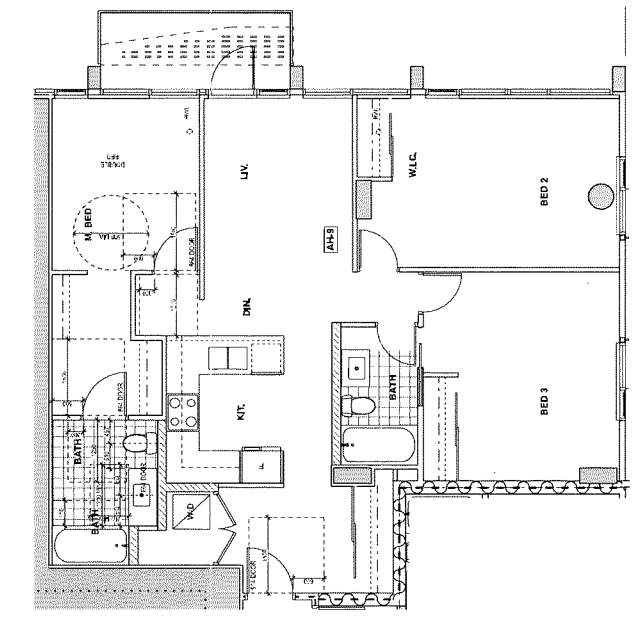


AH-8 - ONE REQ'D
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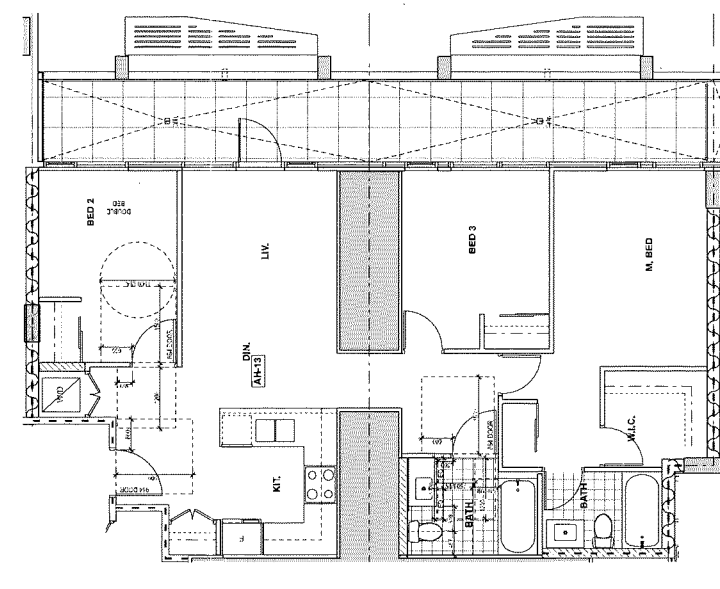
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



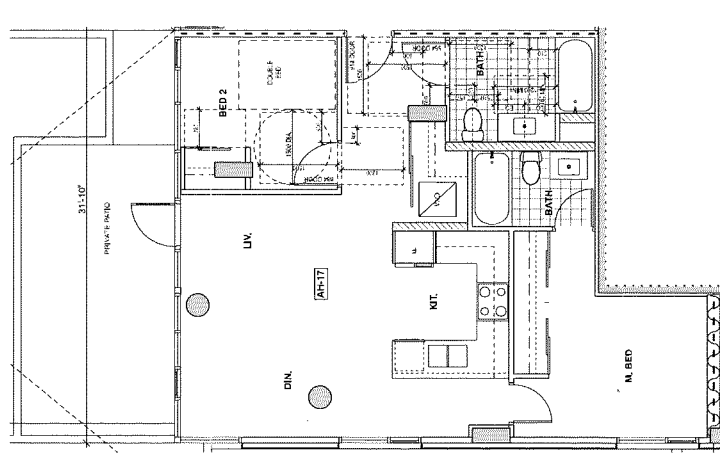
PROJECT NUMBER	1105	DATE	11/18/10
SCALE	AS SHOWN	DESIGNER	ARCHITECT
PLAN #	11a-3	REVISIONS	



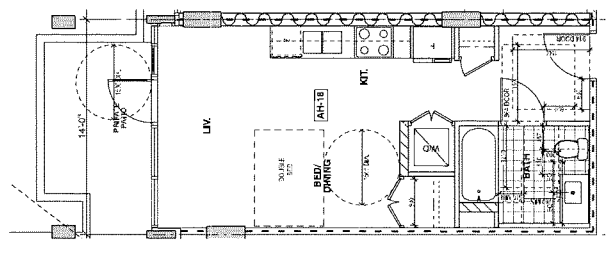
AH-9 - ONE REQ'D
SCALE: 1/4" = 1'-0"



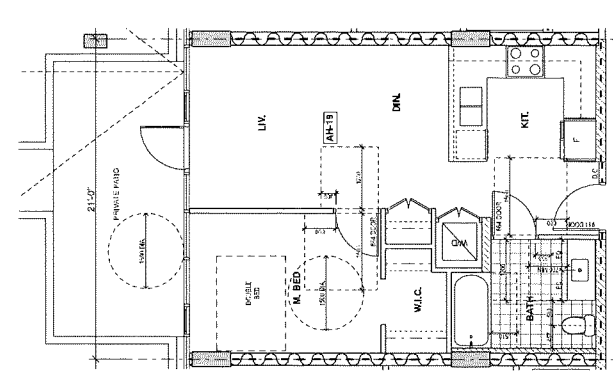
AH-13, AH-24, AH-35 - 3 REQ'D
SCALE: 1/4" = 1'-0"



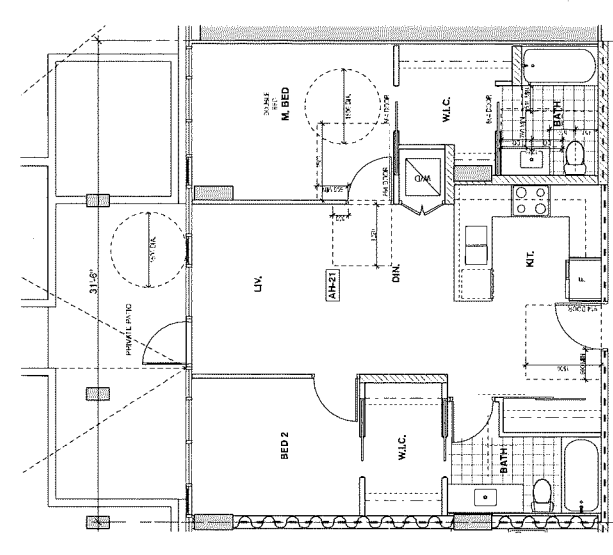
AH-17 - ONE REQ'D
SCALE: 1/4" = 1'-0"



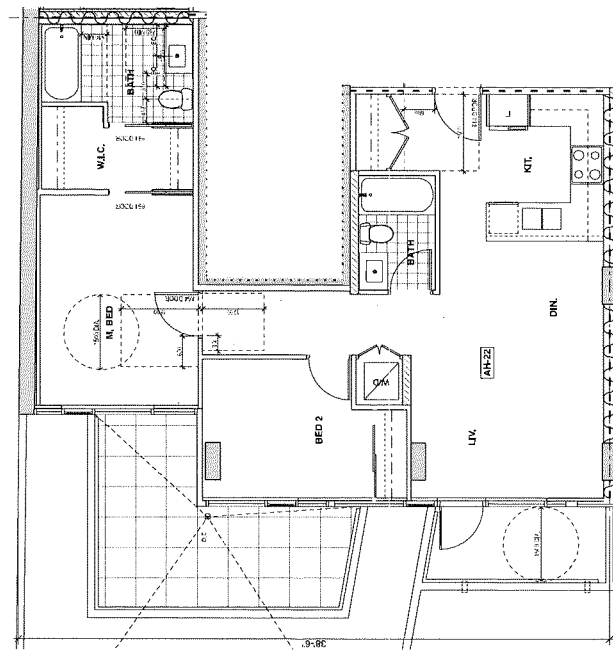
AH-18, AH-29 - 2 REQ'D
SCALE: 1/4" = 1'-0"



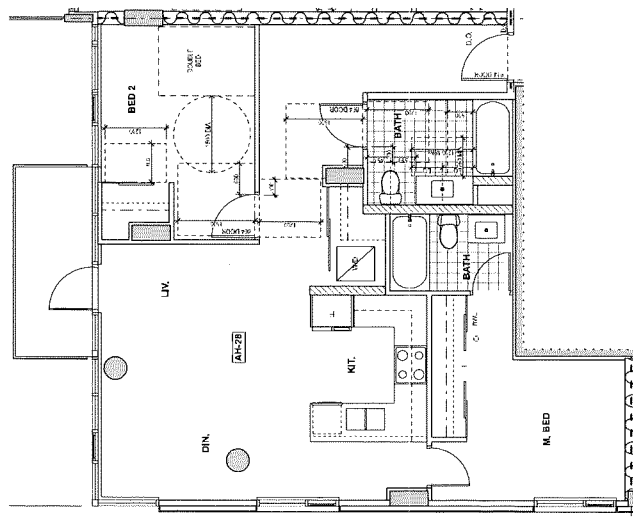
**AH-19, AH-20, AH-30, AH-31, AH-39,
AH-40 - 6 REQ'D**
SCALE: 1/4" = 1'-0"



AH-21, AH-32, AH-41 - 3 REQ'D
SCALE: 1/4" = 1'-0"

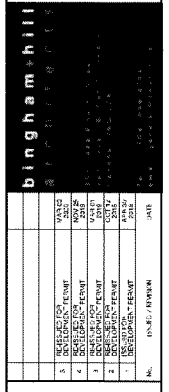


AH-22, AH-33 - 2 REQ'D
SCALE: 1/4" = 1'-0"

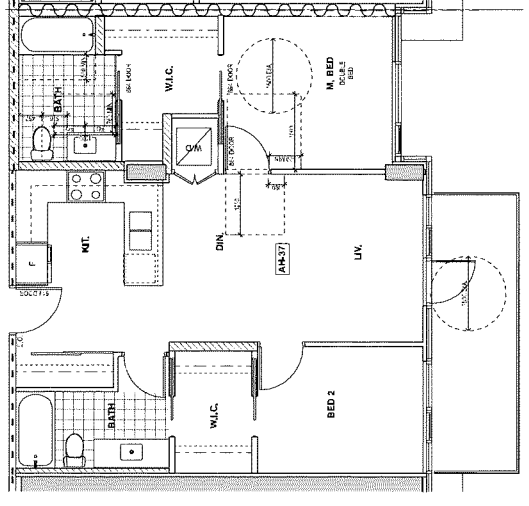


AH-28 - ONE REQ'D
SCALE: 1/4" = 1'-0"

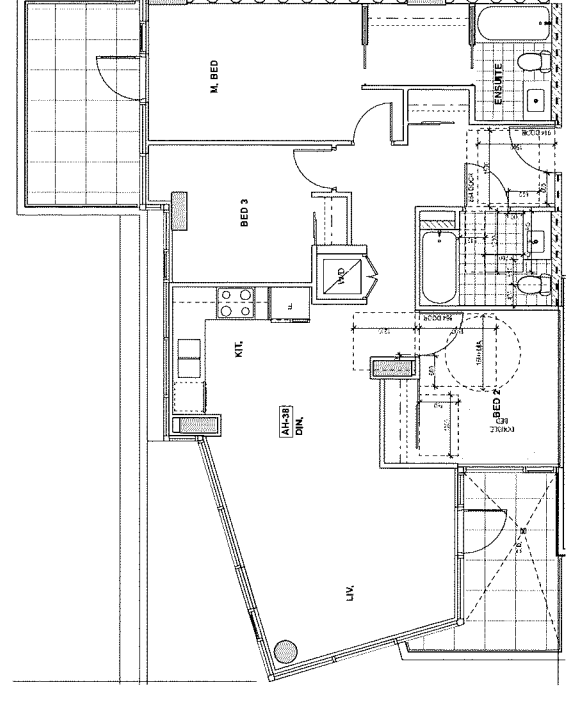
PINNACLE LIVING @ CAPSTAN VILLAGE
PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
RICHMOND, BRITISH COLUMBIA
for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



AFFORDABLE HOUSING UNIT PLANS		DATE: 11/06	SCALE: 1/4" = 1'-0"	PLAN #
11a-4				11a-4



AH-37 - ONE REQ'D
SCALE 1/4" = 1'-0"



AH-38 - ONE REQ'D
SCALE 1/4" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS		
2	REVISIONS		
3	REVISIONS		
4	REVISIONS		
5	REVISIONS		
6	REVISIONS		
7	REVISIONS		
8	REVISIONS		
9	REVISIONS		
10	REVISIONS		

AFFORDABLE HOUSING UNIT PLANS
 ALL DIMENSIONS SHALL BE VERIFIED ON SITE

DATE	1706
SCALE	AS SHOWN
DESIGNER	CHONG
PROJECT NUMBER	11a-5

FROM CITY OF RICHMOND
Section 4: General Development Regulations

4.16 Basic Universal Housing Features

Purpose

4.16.1 The basic universal housing features described in Section 4.16 are intended to facilitate ready access, use and occupancy of a dwelling unit by a person with a disability.

Building Access

- 4.16.2 Each dwelling unit and each type of amenity space shall be accessible to a person with a disability from a road and from an on-site parking area.
- 4.16.3 Access to the elevator shall be provided from both the road and the entry to the on-site parking area.
- 4.16.4 An automatic door opener shall be provided for the main entry.

Doors and Doorways

- 4.16.5 The minimum clear openings for all entry doors to every dwelling unit and doors in common areas shall be no less than 800.0 mm (which will be provided by a swing door). ^{Refer to 4.16.10}
- 4.16.6 The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living areas in every dwelling unit shall be no less than 800.0 mm (which will be provided by a swing door). ^{Refer to 4.16.10}
- 4.16.7 Doors in every dwelling unit and common areas shall be operable by devices that do not require tight grasping or twisting of wrists.
- 4.16.8 Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.
- 4.16.9 The above-stated requirements for doors do not apply to mechanical rooms, service areas, closets, etc. where through access is not required and access to a person with a disability is not anticipated.
- 4.16.10 Clear openings shall be measured as illustrated in Figure 1 below.

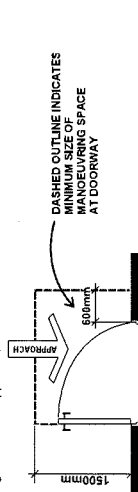
Figure 1. Clear Opening Measurement For Doors



Manoeuvring Space at Doorways

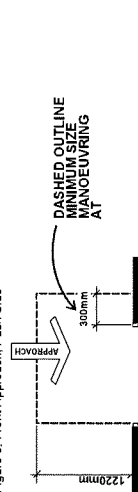
- 4.16.11 Entry doors to every dwelling unit and door assemblies in common areas shall have a clear and level area which is not less than the following:
 - a) Where the door swings toward the area (push door), 1500.0 mm long by the width of the door plus at least 600.0 mm clear space on the latch side, as illustrated in Figure 2 below. This requirement to apply to door assemblies to one bathroom and one bedroom in 2 bedroom and larger dwelling units. ^{Refer to 4.16.10}
 - b) 2 bedroom and larger dwelling units. ^{Refer to 4.16.10}

Figure 2. Front Approach, Push Side



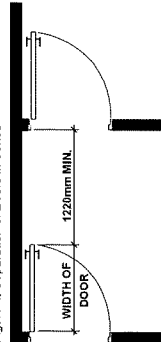
- 4.16.12 Where the door swings away from the area (pull door), 1220.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 3 below. This requirement to apply to door assemblies to one bedroom in 2 bedroom and larger dwelling units. ^{Refer to 4.16.10}

Figure 3. Front Approach, Pull Side



- 4.16.13 Where there are doors in a series in common areas, there must be separation of at least 1220.0 mm plus the width of the door, as illustrated in Figure 4 below.

Figure 4. Separation of Doors in Series



- 4.16.14 Entry doors to every dwelling unit are exempted from the requirement to provide the 1220.0 mm long clear area and 300.0 mm or 600.0 mm clear space if rough-in wiring is provided for future conversion for an automatic door opener. ^{Refer to 4.16.10}

Corridor Widths

4.16.12 Common corridors shall be no less than 1200.0 mm wide and provide a clear area not less than 1500.0 mm by 1500.0 mm adjacent to the elevator entrance. ^{Refer to 4.16.10}

Floor Surfaces

- 4.16.13 Floor surfaces throughout the building shall have no abrupt changes in level. I.e., a maximum of 13.0 mm. This requirement does not apply to exterior balcony, patio and deck door sills. ^{Refer to 4.16.10}
- 4.16.14 Floor surfaces shall be slip resistant.
- 4.16.15 Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 13.0 mm height.

Windows

- 4.16.16 Windows which are accessible shall have a window sill height that does not exceed 750.0 mm above the finished floor level. A window in the bedroom and one window in the living room shall afford such seated viewing.
- 4.16.17 Windows which are accessible shall have opening mechanisms operable with one hand and of a type that does not require light grasping, pinching or twisting of the hand.

Outlets and Switches

- 4.16.18 Light switches and electrical panels shall be 800.0 mm to 1200.0 mm from the floor. Intercom buttons shall be a maximum 1375.0 mm from the floor. ^{Refer to 4.16.10}
- 4.16.19 Electrical outlets, cable outlets and telephone jacks shall be located 455.0 mm to 1200.0 mm from the floor. ^{Refer to 4.16.10}
- 4.16.20 Thermostats shall be located between 900.0 mm to 1200.0 mm from the floor. ^{Refer to 4.16.10}
- 4.16.21 The operable part of controls shall be located within reach of a clear floor area that has a width of not less than 750.0 mm.
- 4.16.22 Light switches will be rocker or paddle-type switches.

Bathrooms

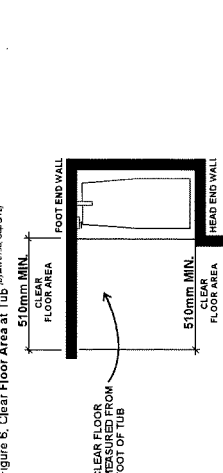
- 4.16.23 At least one bathroom shall:
 - a) have a toilet positioned with the centre line of the toilet 420.0 mm to 480.0 mm from a side wall on which a grab bar can be installed and at least 510.0 mm from any obstruction on the non-grab bar side and at least 800.0 mm from any obstruction in front of the toilet; and ^{Refer to 4.16.10}
 - b) have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below.

Figure 5. Clear Floor Area at Sink



- 4.16.24 Bathrooms shall have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below. ^{Refer to 4.16.10}

Figure 6. Clear Floor Area at Tub



- 4.16.25 Bathrooms shall have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and
- 4.16.26 include easy to grasp handles on faucets, e.g., lever-type faucets.

- 4.16.27 Where bathrooms are provided to serve a common amenity space, at least one shall be wheelchair accessible as described in the Building Code and the top of the rim of the toilet in that one bathroom shall be 450.0 mm above the floor.

Kitchens

- 4.16.25 The kitchen must have:
 - a) some usable counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g., continuous counter between the sink and stove, full-height wall cabinets, pull-out work boards at 910.0 mm height; and pull-out cabinet shelves;
 - b) easy to grasp handles on faucets, e.g., lever-type faucets;
 - c) grab edges under counters;
 - d) task lighting at sink, stove and key work areas; and
 - e) plumbing and utility pipes located to provide for a potential 610.0 mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

Bedroom & Closet

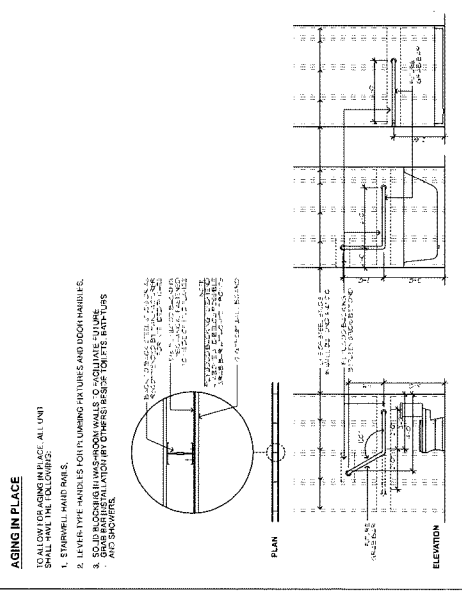
- 4.16.26 The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500.0 mm on one side of a double bed.
- 4.16.27 The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900.0 mm, clear floor space of at least 750.0 mm by 1200.0 mm and a clothes hanger rod than can be lowered to 1200.0 mm.

Patio and Balconies

- 4.16.28 Access doors shall have a minimum clear opening of 800.0 mm. ^{Refer to 4.16.10}
- 4.16.29 Minimum dimensions of any balcony or patio shall be 1500.0 mm by 1500.0 mm. This requirement does not apply to 'Juliet' or 'French' style of balcony or patio. ^{Refer to 4.16.10}

Section 4: General Development Regulations

11/16/2013



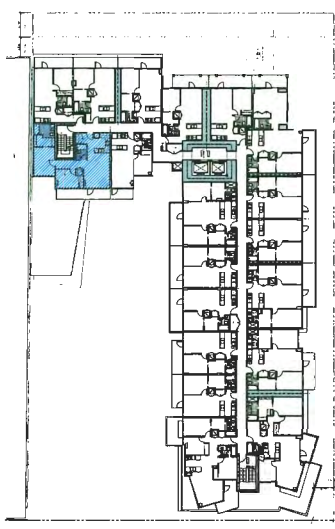
PINNACLE LIVING @ CAPSTAN VILLAGE
PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
RICHMOND, BRITISH COLUMBIA
for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

bingham hill

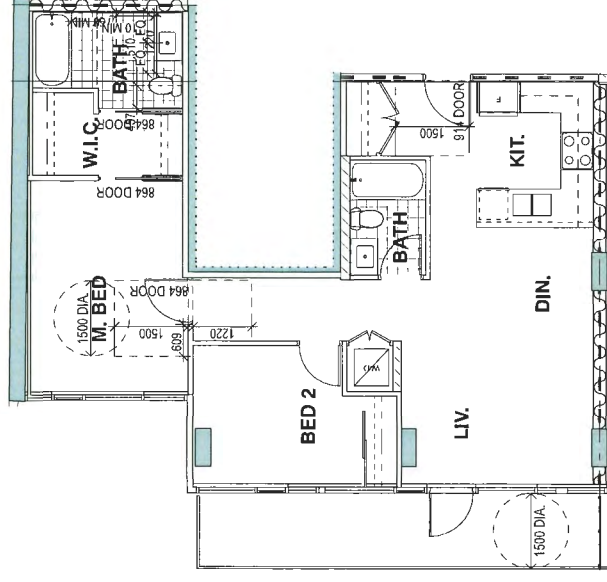
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
PROJECT NO.	1208
DATE	3/17/13
PLAN #	11b-1

BASIC UNIVERSAL HOUSING REQUIREMENTS
ALL DIMENSIONS SHALL BE REPORTED ON SITE

BUH KEY PLAN



BUILDING J - LEVEL 6



2-BEDROOM B.U.H. - ONE REQ'D
SCALE: 1/8" = 1'-0"

BUH REQUIREMENTS (PHASE 3)

HOUSING TYPE	# UNITS	% BUH	TOTAL BUH UNITS REQ'D
MARKET HOUSING	186	0.6	1
AFFORDABLE HOUSING	41	100	41
TOTAL	207	20	42

BASIC UNIVERSAL HOUSING SUMMARY (PHASE 3)

LEVEL	FLOOR AREA	# BUH UNITS				
		TOTAL	1 BED	1 BED + DEN	2 BED + DEN	3 BED
6	81,334 sq.m 874.8 sq.ft.	1	0	0	1	0
TOTAL	874.8 sq.ft.	1	0	0	1	0

PINNACLE LIVING @ CAPSTAN VILLAGE
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 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

bingham hill

BASIC UNIVERSAL HOUSING: PHASE 3

DATE: 2024.08.28
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 PROJECT NO: 18-821292
 SHEET NO: 11b-2

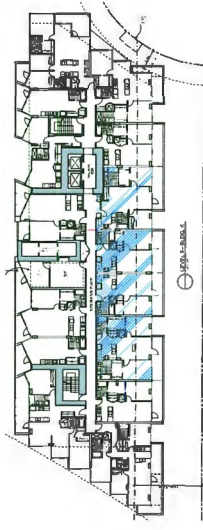
BUH KEY PLANS



BUILDING K - LEVEL 13



BUILDING K - LEVEL 9 - 12



BUILDING K - LEVEL 8

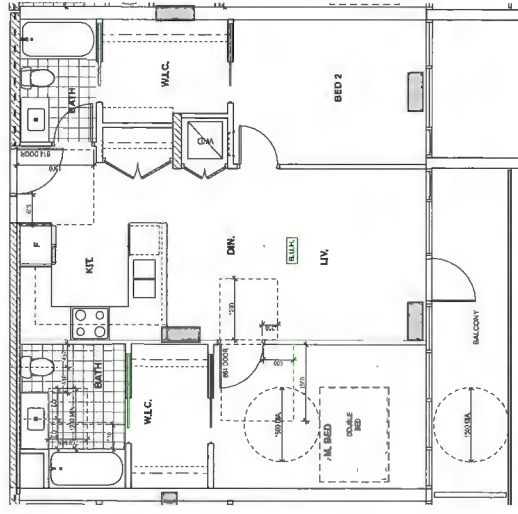
BUH REQUIREMENTS (PHASE 4)

HOUSING TYPE	# UNITS	% BUH UNITS REQ'D	TOTAL BUH UNITS REQ'D
MARKET HOUSING	115	20	23
AFFORDABLE HOUSING	0	100	0
TOTAL	115	20	23

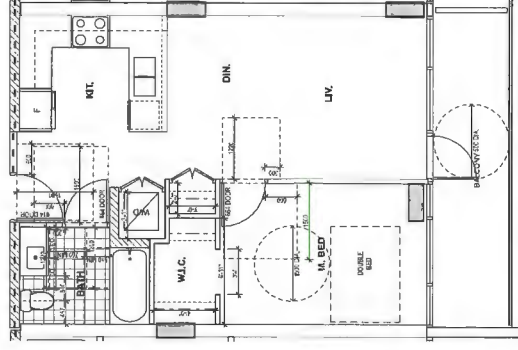
BASIC UNIVERSAL HOUSING SUMMARY (PHASE 4)

LEVEL	FLOOR AREA	# BUH UNITS					
		TOTAL	1 BED	1 BED + DEN	2 BED	2 BED + DEN	3 BED
8	2637.84 sqm 2,828.3 sqft	4	2	0	2	0	0
9	2637.84 sqm 2,828.3 sqft	4	2	0	2	0	0
10	2637.84 sqm 2,828.3 sqft	4	2	0	2	0	0
11	2637.84 sqm 2,828.3 sqft	4	2	0	2	0	0
12	2637.84 sqm 2,828.3 sqft	4	2	0	2	0	0
13	187.6 sqm 2,018.9 sqft	3	2	0	1	0	0
TOTAL	15960.8 sqm 16,218.46 sqft	23	12	0	11	0	0

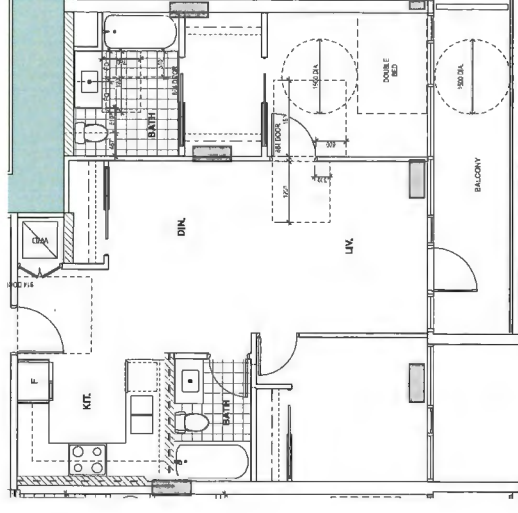
BUH UNIT PLANS



2-BEDROOM B.U.H. - 6 REQ'D
SCALE: 1/4" = 1'-0"



1-BEDROOM B.U.H. - 12 REQ'D
SCALE: 1/4" = 1'-0"



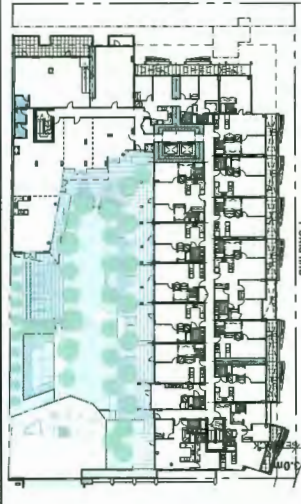
2-BEDROOM B.U.H. - 11 REQ'D
SCALE: 1/4" = 1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

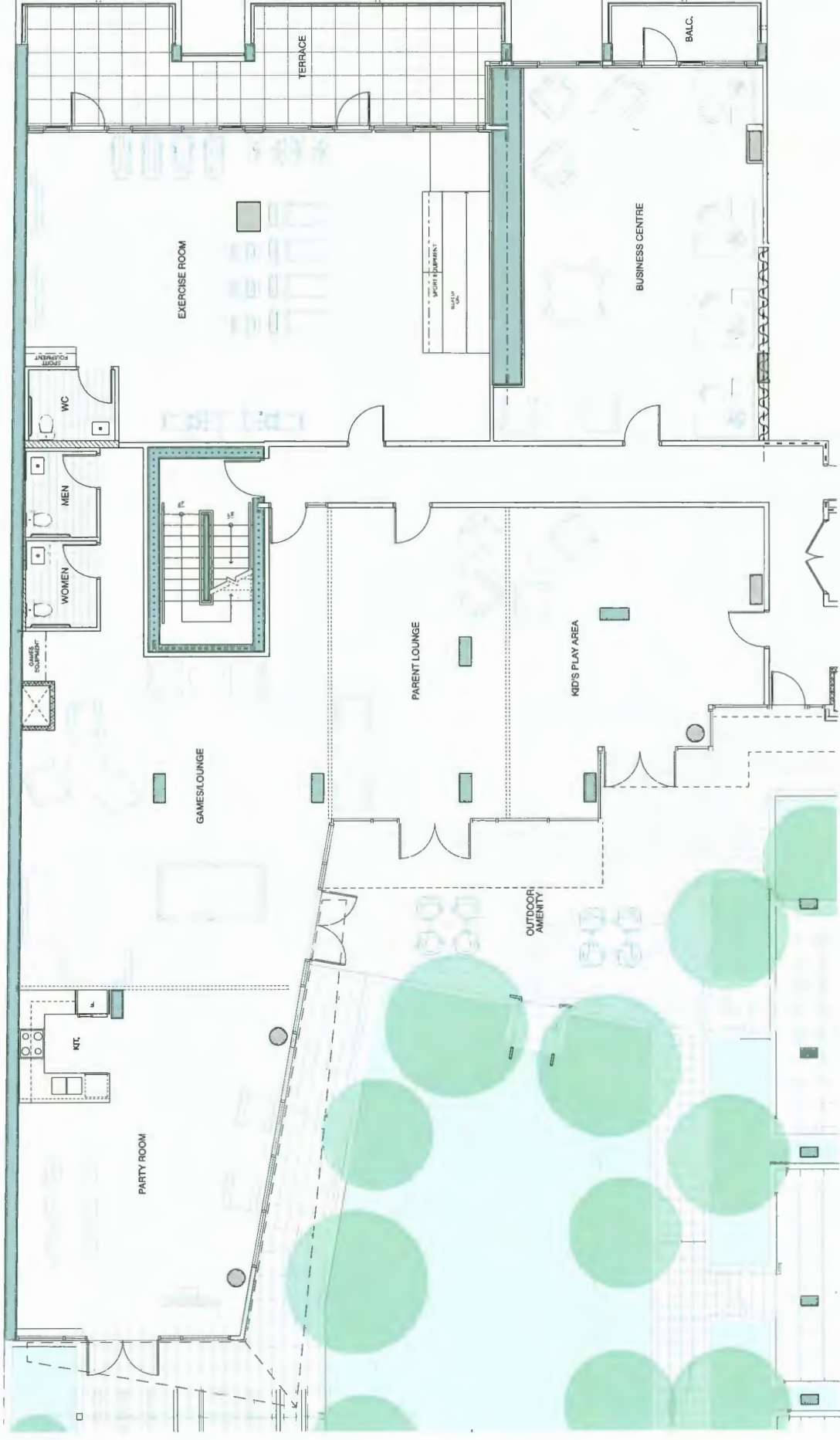


BASIC UNIVERSAL HOUSING: PHASE 4

DATE	1706	ISSUE NUMBER	11b-3
DESIGNED BY	1" = 3/4"	SCALE	11b-3
CHECKED BY		PLAN #	11b-3



BUILDING J
LEVEL 3 - PHASE 3



LEVEL 3 - BUILDING J
SCALE: 1/4"=1'-0"

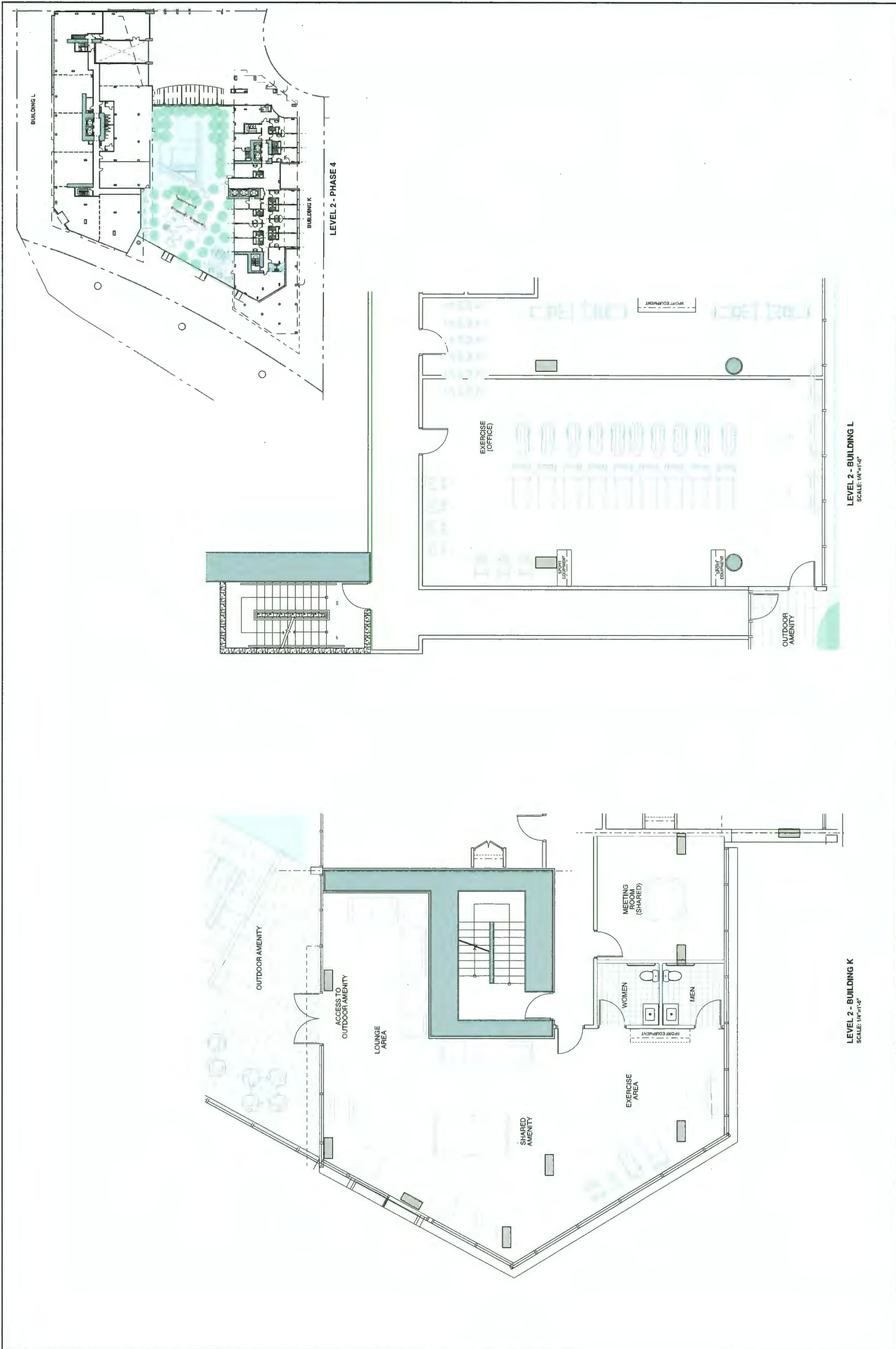
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.



INDOOR AMENITY PHASE 3
 ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

NO.	DATE	DESCRIPTION	BY
1	2024.08.15	ISSUE FOR PERMIT	AL
2	2024.08.15	ISSUE FOR PERMIT	AL
3	2024.08.15	ISSUE FOR PERMIT	AL
4	2024.08.15	ISSUE FOR PERMIT	AL
5	2024.08.15	ISSUE FOR PERMIT	AL
6	2024.08.15	ISSUE FOR PERMIT	AL
7	2024.08.15	ISSUE FOR PERMIT	AL
8	2024.08.15	ISSUE FOR PERMIT	AL
9	2024.08.15	ISSUE FOR PERMIT	AL
10	2024.08.15	ISSUE FOR PERMIT	AL

DESIGN NUMBER: PLAN # 11c-1



PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

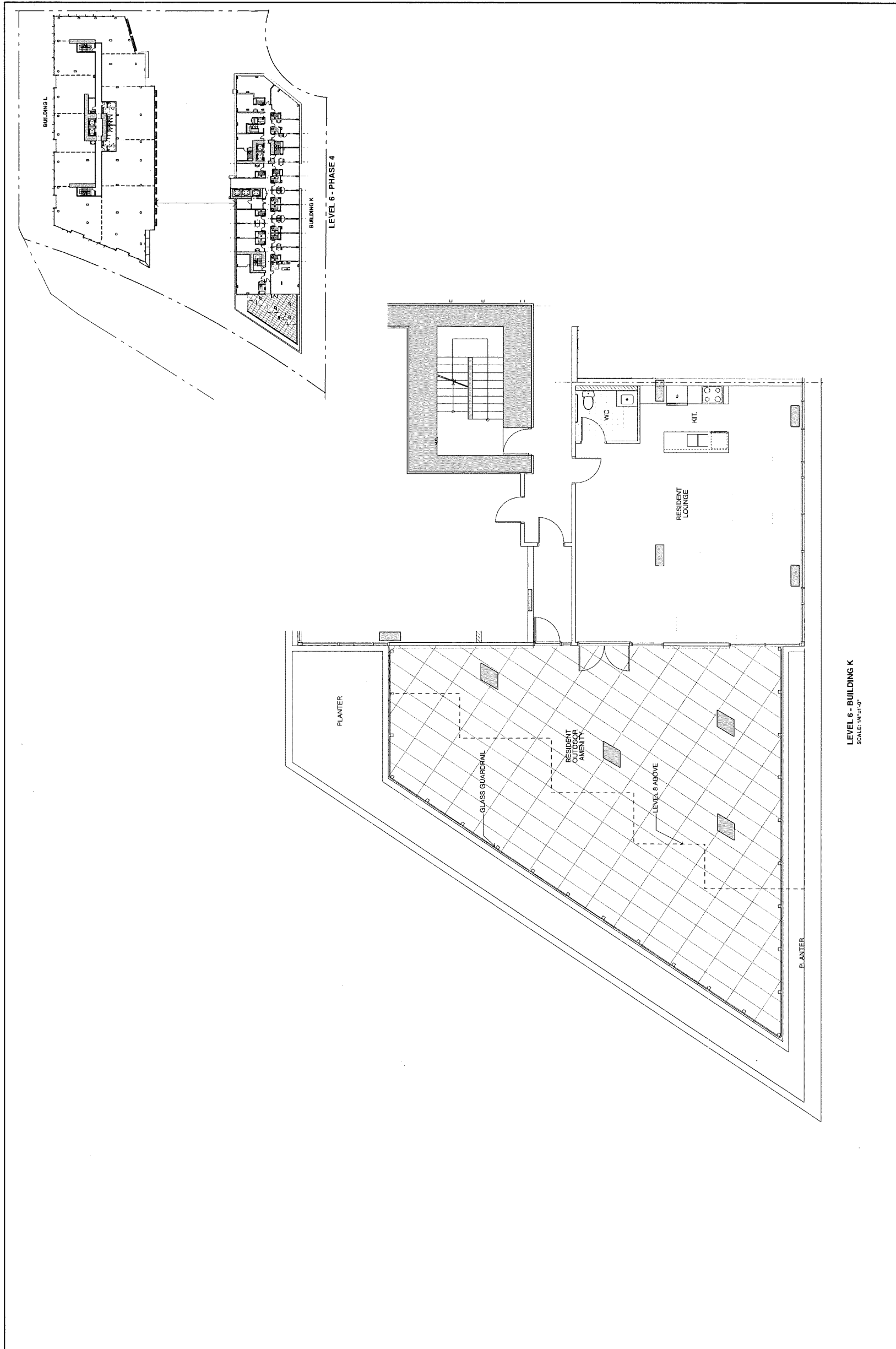
bingham hill
 architects

NO.	DESCRIPTION	DATE
1	CONCEPT DESIGN	2018.01.15
2	SCHEMATIC DESIGN	2018.02.15
3	PRELIMINARY DESIGN	2018.03.15
4	DESIGN DEVELOPMENT	2018.04.15
5	CONSTRUCTION DOCUMENTS	2018.05.15
6	AS-BUILT DRAWINGS	2018.06.15

INDOOR AMENITY PHASE 4

ALL DIMENSIONS SHALL BE SHOWN ON SITE

DATE	1706	DRAWING NUMBER	PLAN #
SCALE	1/4"=1'-0"	DATE	11c-2
DESIGNED BY		CHECKED BY	



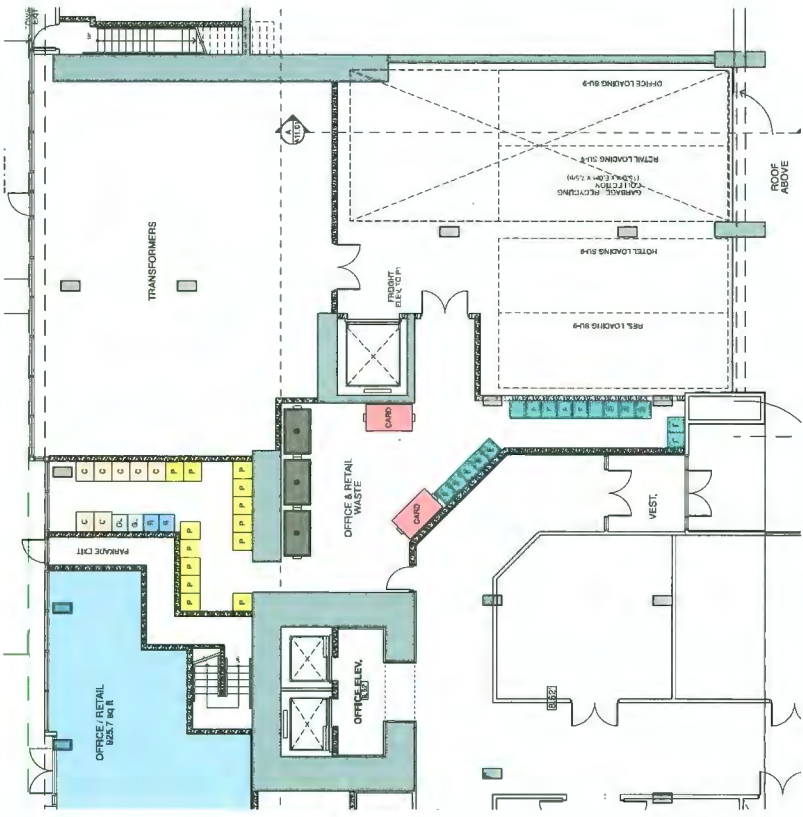
LEVEL 6 - BUILDING K
SCALE: 1/8"=1'-0"

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: **PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.**

NO.	DESCRIPTION	DATE
1	PRELIMINARY PERMIT	
2	PERMIT TO CONSTRUCT	
3	PERMIT TO OCCUPY	
4	PERMIT TO OCCUPY	
5	PERMIT TO OCCUPY	
6	PERMIT TO OCCUPY	
7	PERMIT TO OCCUPY	
8	PERMIT TO OCCUPY	
9	PERMIT TO OCCUPY	
10	PERMIT TO OCCUPY	

INDOOR AMENITY PHASE 4

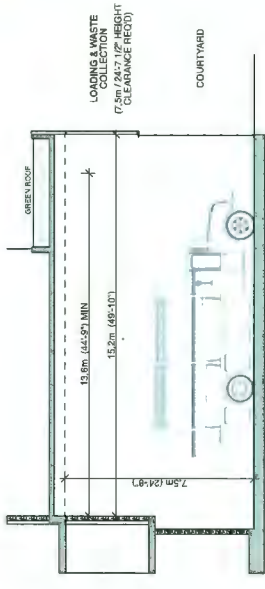
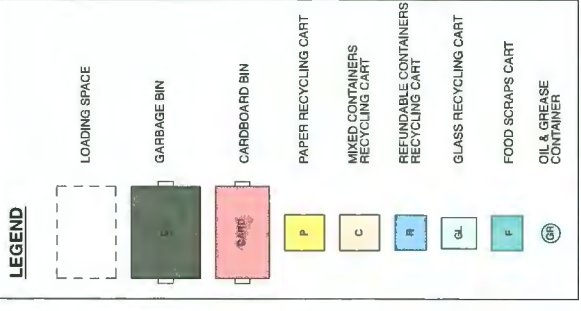
DATE	1706	REVISION	
BY		DATE	
CHECKED		DATE	
APPROVED		DATE	
PROJECT NO.		11c-3	



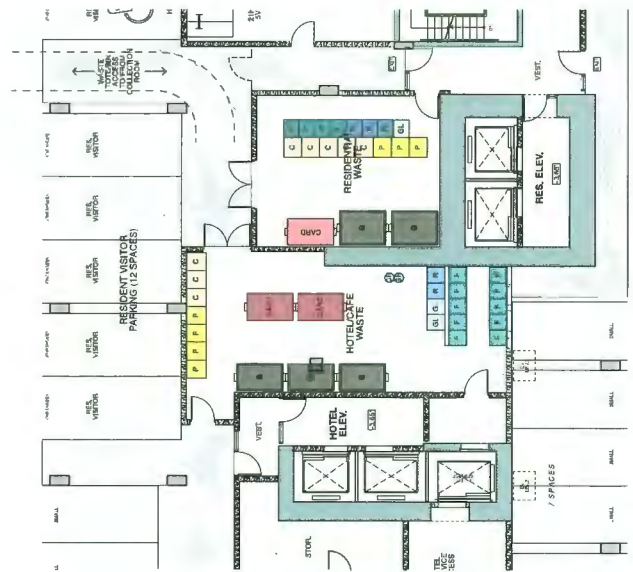
LEVEL 1 - BUILDING 'L' OFFICE/RETAIL WASTE ROOM
1/8"=1'-0"

OFFICE/RETAIL WASTE ROOM INFORMATION (BUILDING L)

WASTE SERVICES PROVIDED	BIN SIZE	# OF BINS	COLLECTION SERVICE	COLLECTION FREQUENCY
GARBAGE BIN	3 yd3	3	PRIVATE	3/1week
CARDBOARD BIN	3 yd3	2	PRIVATE	3/1week
PAPER RECYCLING CART	300L	13	PRIVATE	3/1week
MIXED CONTAINERS RECYCLING CART	300L	7	PRIVATE	3/1week
GLASS RECYCLING CART	240L	2	PRIVATE	3/1week
FOOD SCRAPS CART	240L	19	PRIVATE	3/1week
REFUNDABLE BEVERAGE CART	240L	2	PRIVATE	3/1week



SECT. A - VEHICLE CLEARANCE
1/8"=1'-0"



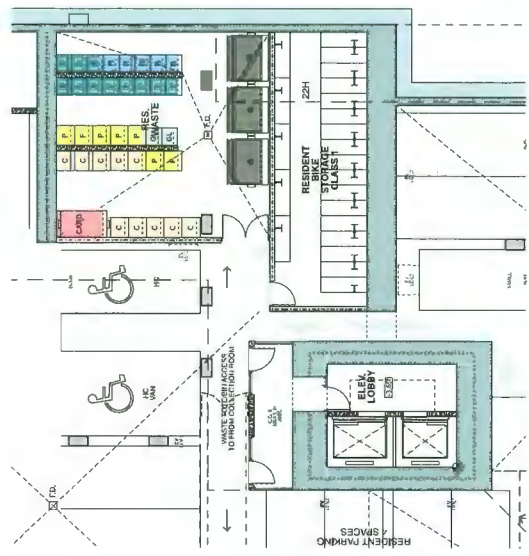
LEVEL P1 - BUILDING 'K' HOTEL & RESIDENTIAL WASTE ROOMS
1/8"=1'-0"

HOTEL/CAFE WASTE ROOM INFORMATION (BUILDING K)

WASTE SERVICES PROVIDED	BIN SIZE	# OF BINS	COLLECTION SERVICE	COLLECTION FREQUENCY
GARBAGE BIN	3 yd3	3	PRIVATE	2/1week
CARDBOARD BIN	3 yd3	2	PRIVATE	2/1week
PAPER RECYCLING CART	300L	4	PRIVATE	2/1week
MIXED CONTAINERS RECYCLING CART	300L	3	PRIVATE	2/1week
GLASS RECYCLING CART	240L	2	PRIVATE	2/1week
FOOD SCRAPS CART	240L	10	PRIVATE	2/1week
REFUNDABLE BEVERAGE CART	240L	2	PRIVATE	2/1week

RESIDENTIAL WASTE ROOM INFORMATION (BUILDING K)

WASTE SERVICES PROVIDED	BIN SIZE	# OF BINS	COLLECTION SERVICE	COLLECTION FREQUENCY
GARBAGE BIN	4 yd3	2	PRIVATE	2/1week
CARDBOARD BIN	300L	3	PRIVATE	1/1week
PAPER RECYCLING CART	300L	5	PRIVATE	1/1week
MIXED CONTAINERS RECYCLING CART	300L	1	PRIVATE	1/1week
GLASS RECYCLING CART	240L	4	PRIVATE	1/1week
FOOD SCRAPS CART	240L	3	PRIVATE	1/1week



LEVEL P1 - BUILDING 'J' RESIDENTIAL WASTE ROOM
1/8"=1'-0"

RESIDENTIAL WASTE ROOM INFORMATION (BUILDING J)

WASTE SERVICES PROVIDED	BIN SIZE	# OF BINS	COLLECTION SERVICE	COLLECTION FREQUENCY
GARBAGE BIN	4 yd3	3	PRIVATE	3/1week
CARDBOARD BIN	3 yd3	1	PRIVATE	2/1week
PAPER RECYCLING CART	300L	7	PRIVATE	1/1week
MIXED CONTAINERS RECYCLING CART	300L	10	PRIVATE	1/1week
GLASS RECYCLING CART	240L	2	PRIVATE	1/1week
FOOD SCRAPS CART	240L	9	PRIVATE	1/1week
REFUNDABLE BEVERAGE CART	240L	5	PRIVATE	1/1week

PINNACLE LIVING @ CAPSTAN VILLAGE
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 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

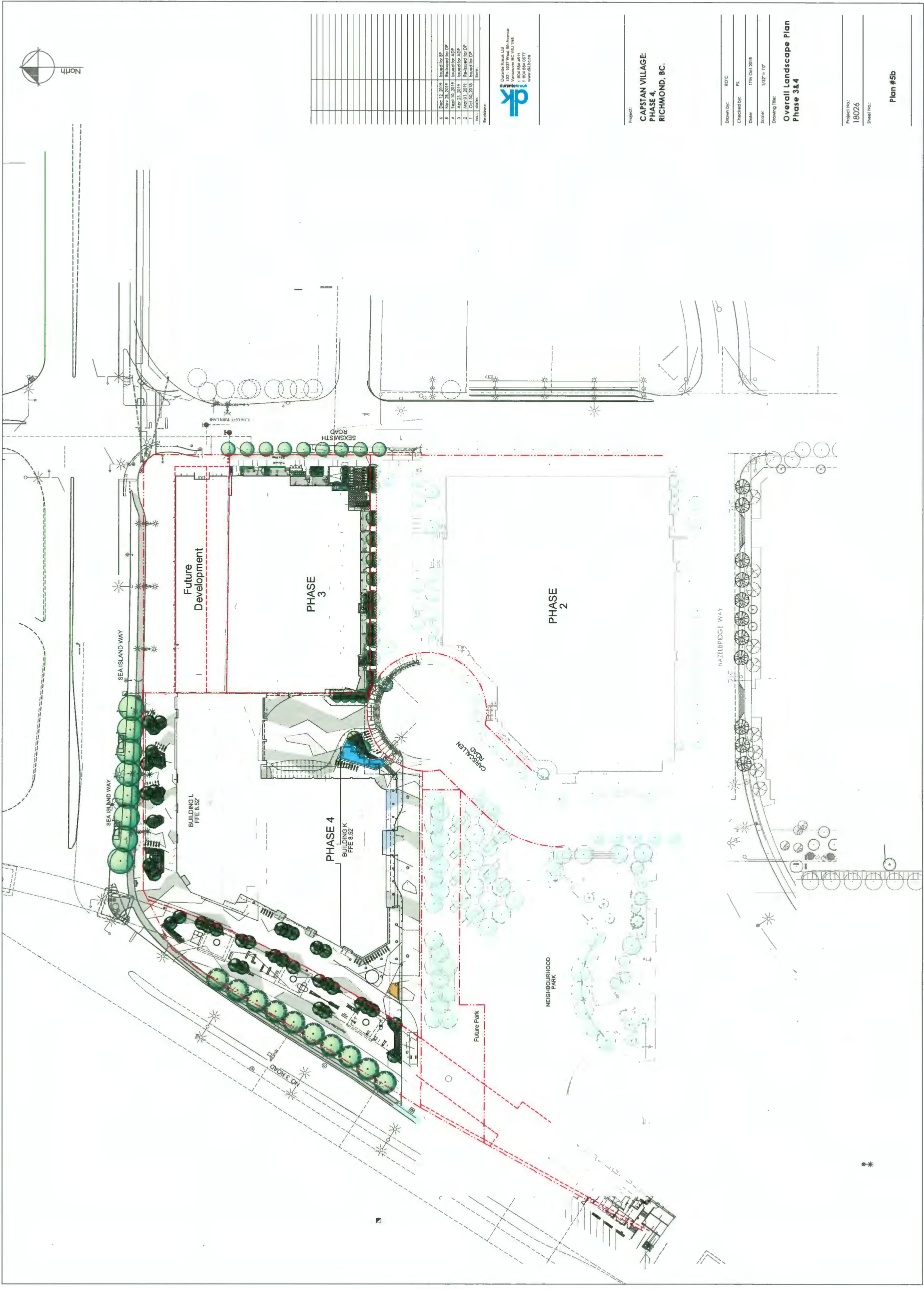
WASTE MANAGEMENT PLAN (1)

DATE: 11/15/2023

SCALE: AS SHOWN

PLAN # 11d

ALL DIMENSIONS SHALL BE NOTED ON SITE



NO.	DATE	BY	REVISION
6	Dec 12, 2018	SK	Issued for BP
5	Nov 20, 2018	SK	Revised for ADP
4	Nov 10, 2018	SK	Issued for ADP
3	Apr 23, 2018	SK	Issued for ADP
2	Nov 13, 2017	SK	Revised for BP
1	Nov 13, 2017	SK	Issued for BP

Durst & Kovalik Ltd
 102-1827 West 26th Avenue
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 Tel: 604.273.4411
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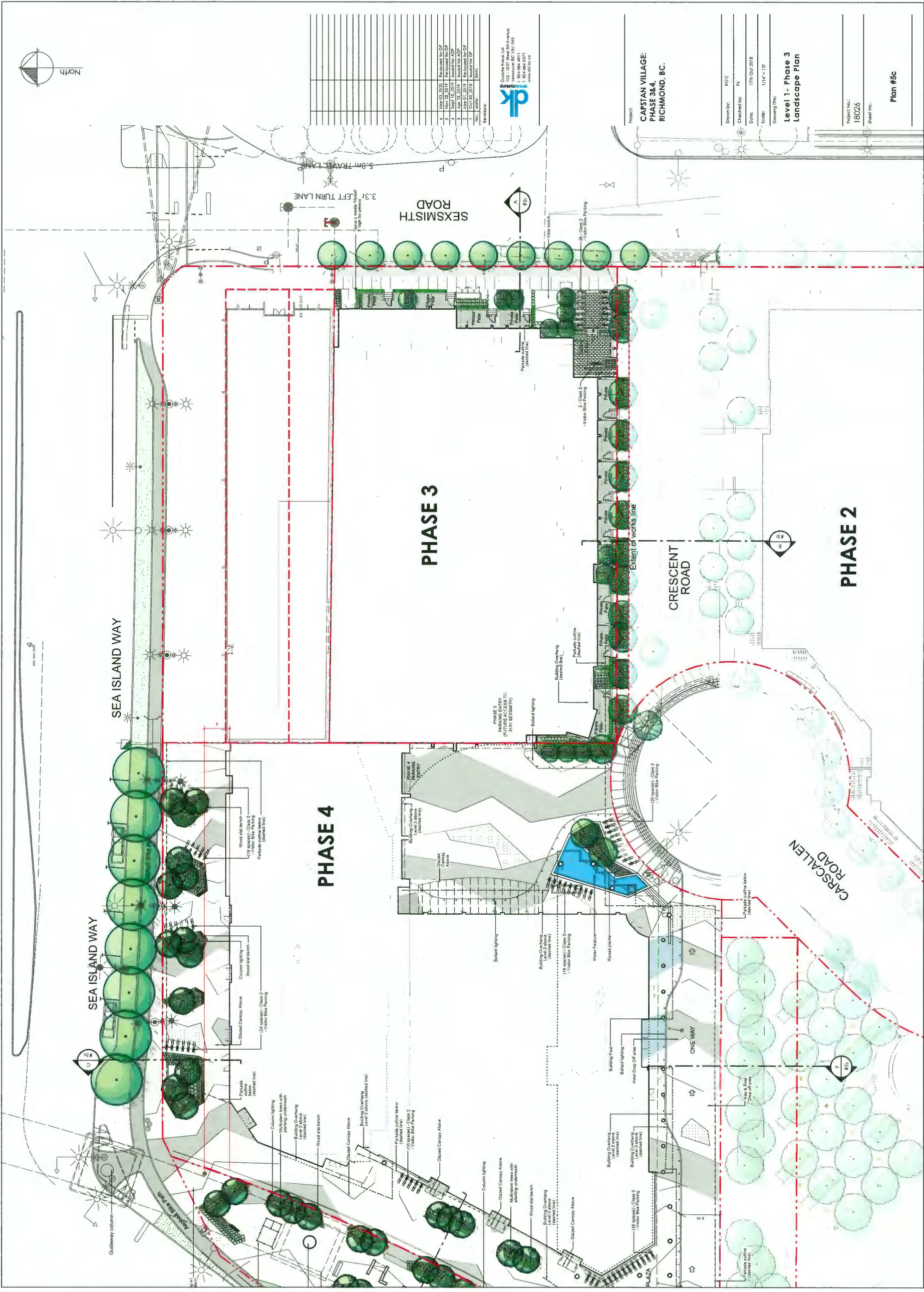
Project:
**CAPSTAN VILLAGE:
 PHASE 4,
 RICHMOND, BC.**

Drawn by: SKC
 Checked by: PK
 Date: 17th Oct 2018
 Scale: 1:225 = 1"=1'0"

Drawing Title:
**Overall Landscape Plan
 Phase 3&4**

Project No:
180226
 Sheet No.:

Plan #5b



NO.	DATE	DESCRIPTION	BY
6	May 03, 2022	Revised to DP	PK
5	Nov 18, 2019	Revised to DP	PK
4	Nov 18, 2019	Revised to DP	PK
3	Apr 23, 2019	Revised to ADP	PK
2	Mar 01, 2019	Revised to DP	PK
1	Nov 20, 2018	Revised to DP	PK

REVISIONS:

DATE: 17th Oct 2018
 DRAWN BY: RJC
 CHECKED BY: PK
 SCALE: 1/8" = 1'-0"
 PROJECT: CAPSTAN VILLAGE: PHASE 34.4, RICHMOND, BC.

Project No.: 180226
 Sheet No.:
 Plan #5c

PHASE 3

PHASE 4

PHASE 2



SEA ISLAND WAY

SEA ISLAND WAY

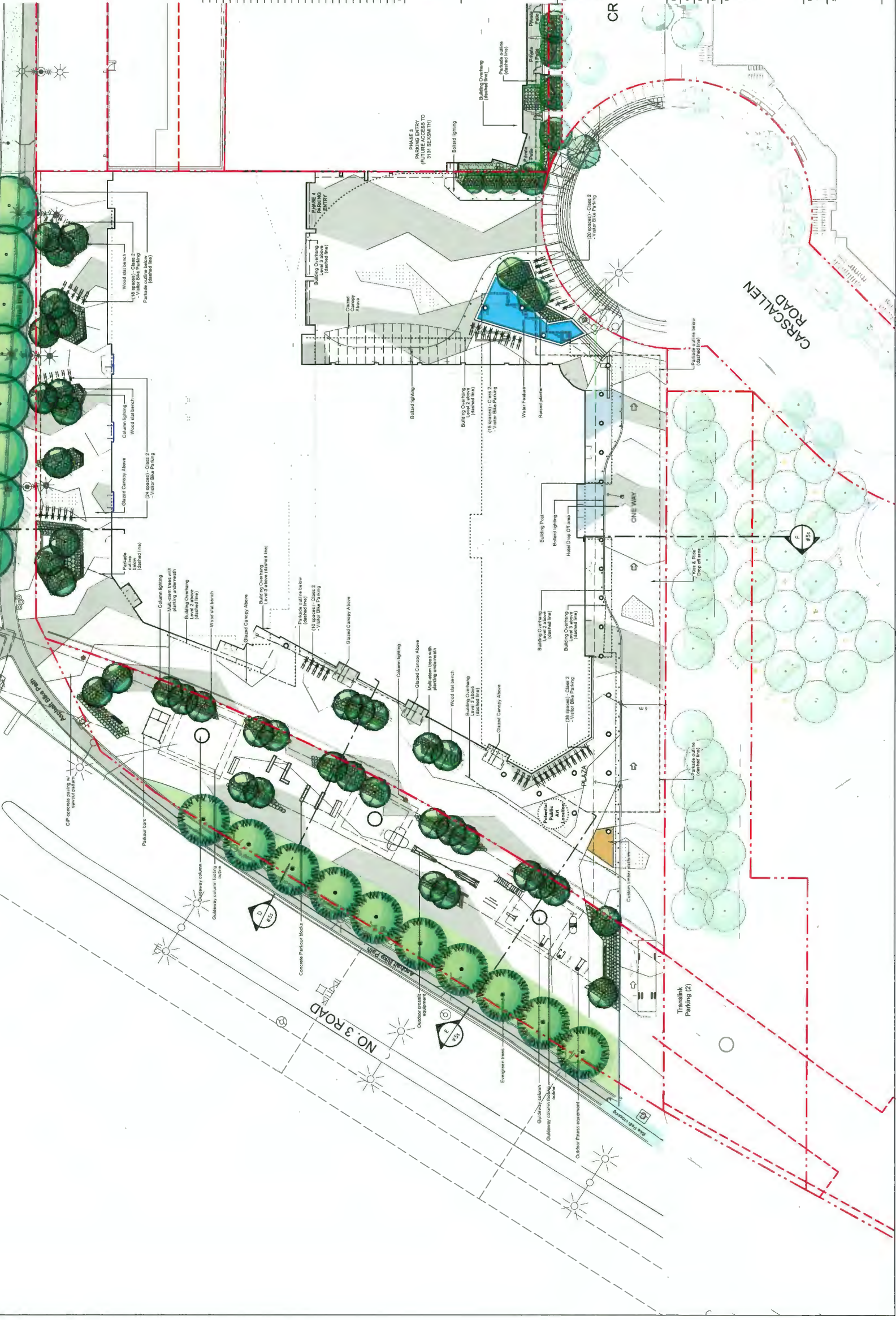
SEA ISLAND WAY

SEA ISLAND WAY

SEA ISLAND WAY

SEA ISLAND WAY

SEA ISLAND WAY



No.	Date	Description	By
1	10/15/18	Issue for RFP	PK
2	10/22/18	Issue for RFP	PK
3	10/23/18	Issue for RFP	PK
4	10/23/18	Issue for RFP	PK
5	10/23/18	Issue for RFP	PK
6	10/23/18	Issue for RFP	PK
7	10/23/18	Issue for RFP	PK
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19	10/23/18	Issue for RFP	PK
20	10/23/18	Issue for RFP	PK

Project: CAPSTAN VILLAGE: PHASE 3&4, RICHMOND, BC.
 CR

Drawn by: BPC
 Checked by: PK
 Date: 17th Oct 2018
 Scale: 1/16" = 1' 0"

Project: CAPSTAN VILLAGE: PHASE 3&4, RICHMOND, BC.
 CR

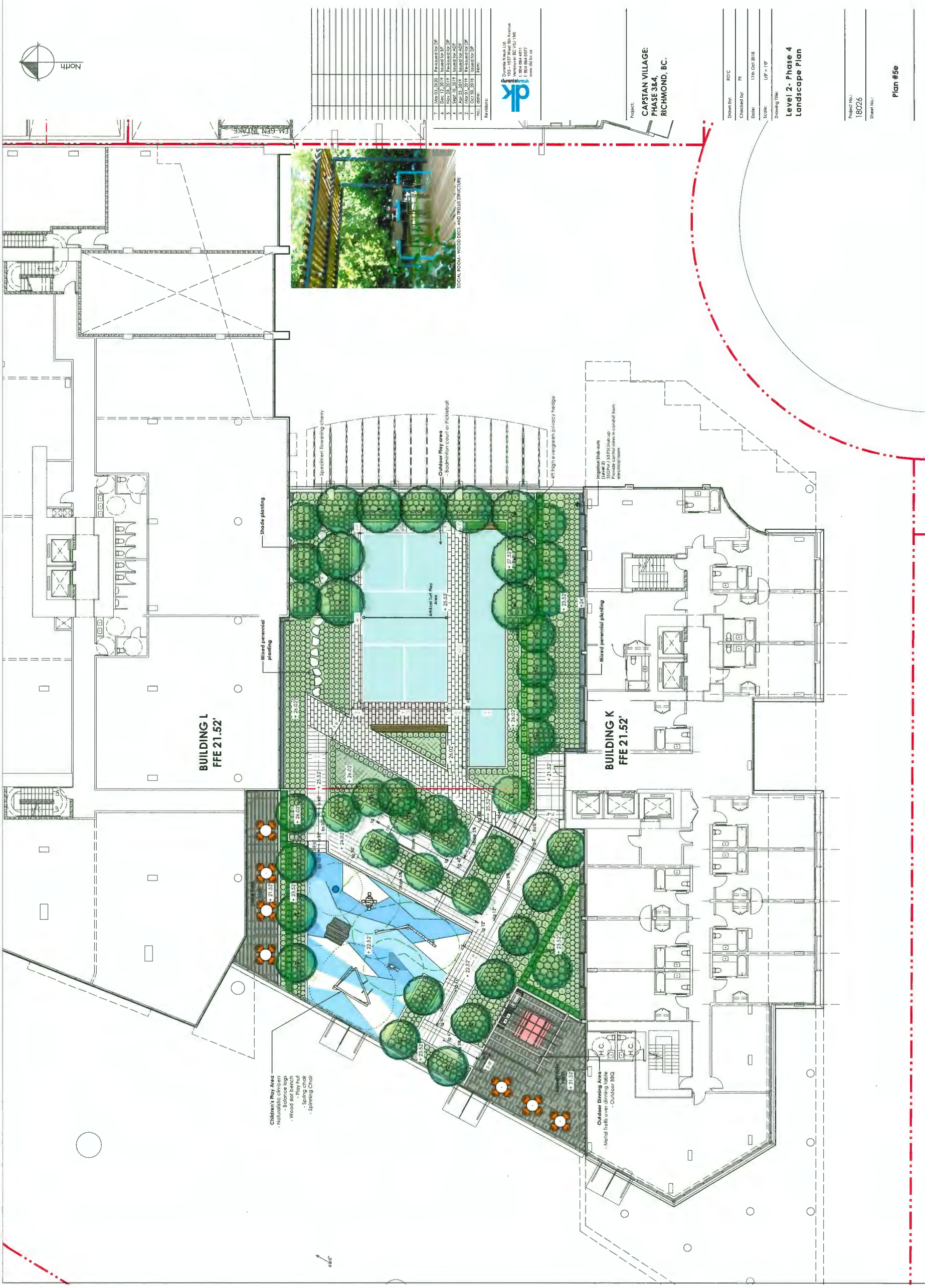
Drawn by: BPC
 Checked by: PK
 Date: 17th Oct 2018
 Scale: 1/16" = 1' 0"

Project: CAPSTAN VILLAGE: PHASE 3&4, RICHMOND, BC.
 CR

Drawn by: BPC
 Checked by: PK
 Date: 17th Oct 2018
 Scale: 1/16" = 1' 0"

Project: CAPSTAN VILLAGE: PHASE 3&4, RICHMOND, BC.
 CR

Drawn by: BPC
 Checked by: PK
 Date: 17th Oct 2018
 Scale: 1/16" = 1' 0"



Rev.	Date	Description
7	08/03/2020	Revised for DP
6	08/12/2019	Revised for EP
5	08/15/2019	Revised for DP
4	08/15/2019	Revised for DP
3	08/15/2019	Revised for ADP
2	08/07/2019	Revised for DP
1	08/03/2019	Revised for DP

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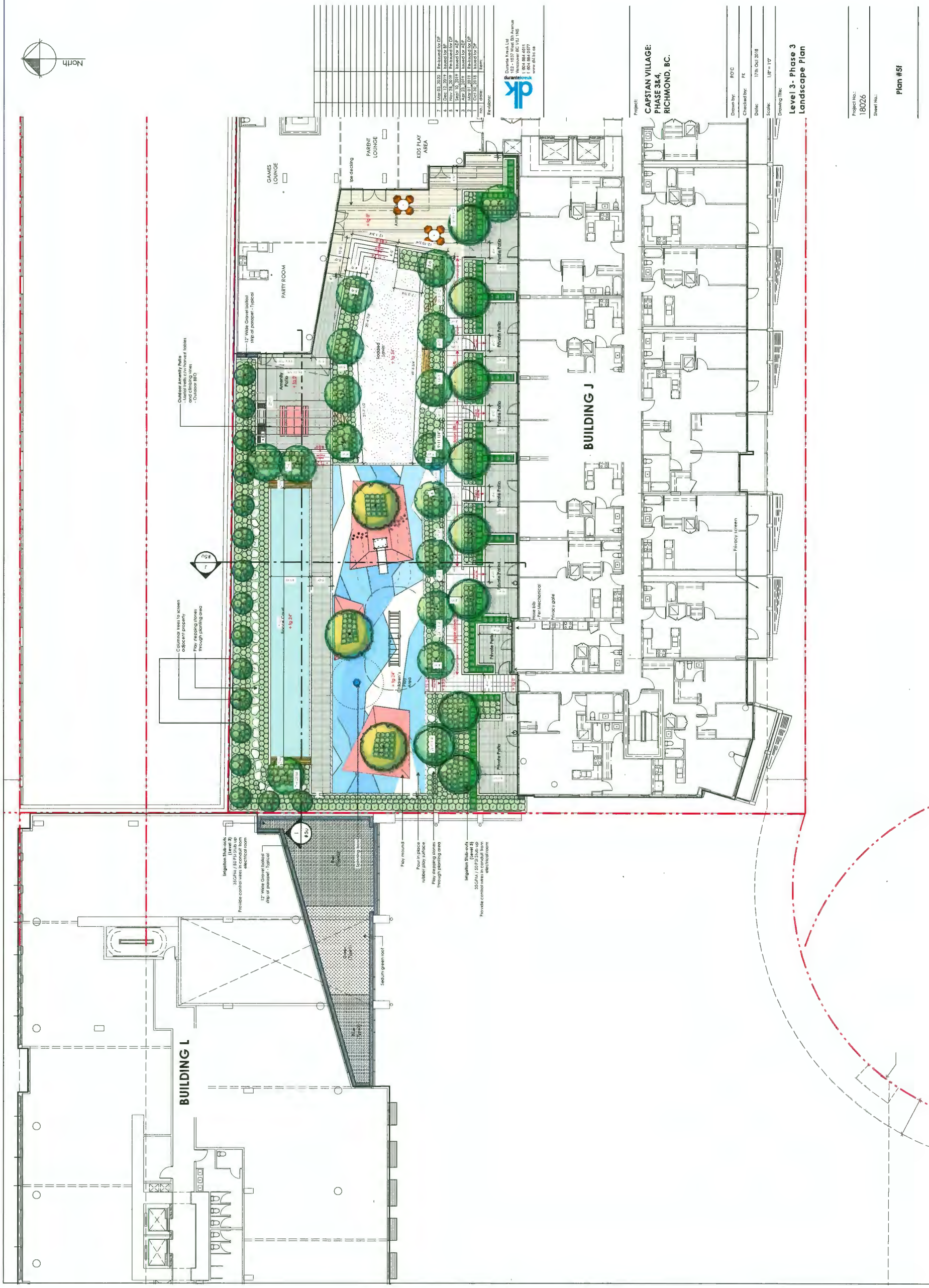
Project:
**CAPSTAN VILLAGE:
 PHASE 3&4
 RICHMOND, BC.**

Drawn by:	BD/C
Checked by:	TC
Date:	17th Oct 2018
Scale:	1/8" = 1'-0"

Drawing Title:
**Level 2 - Phase 4
 Landscape Plan**

Project No.:	18026
Sheet No.:	

Plan #5e



Rev	Description	Date
1	Issue 03, 2018	Revised for DP
2	Issue 04, 2018	Revised for DP
3	Issue 05, 2018	Revised for DP
4	Issue 06, 2018	Revised for DP
5	Issue 07, 2018	Revised for DP
6	Issue 08, 2018	Revised for DP
7	Issue 09, 2018	Revised for DP
8	Issue 10, 2018	Revised for DP
9	Issue 11, 2018	Revised for DP
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11	Issue 13, 2018	Revised for DP
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97	Issue 99, 2018	Revised for DP
98	Issue 100, 2018	Revised for DP


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Project: **CAPSTAN VILLAGE:
 PHASE 3&4
 RICHMOND, BC.**

Drawn by: RYC
 Checked by: TK
 Date: 17th Oct 2018
 Scale: 1/8" = 1'-0"

**Level 3 - Phase 3
 Landscape Plan**

Project No.:
 18026
 Sheet No.:

Plan #51



Rev.	Date	Description
1	Nov 02, 2010	Revised for DP
2	Nov 02, 2010	Revised for DP
3	Apr 22, 2011	Revised for ADP
4	Apr 22, 2011	Revised for ADP
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durwin
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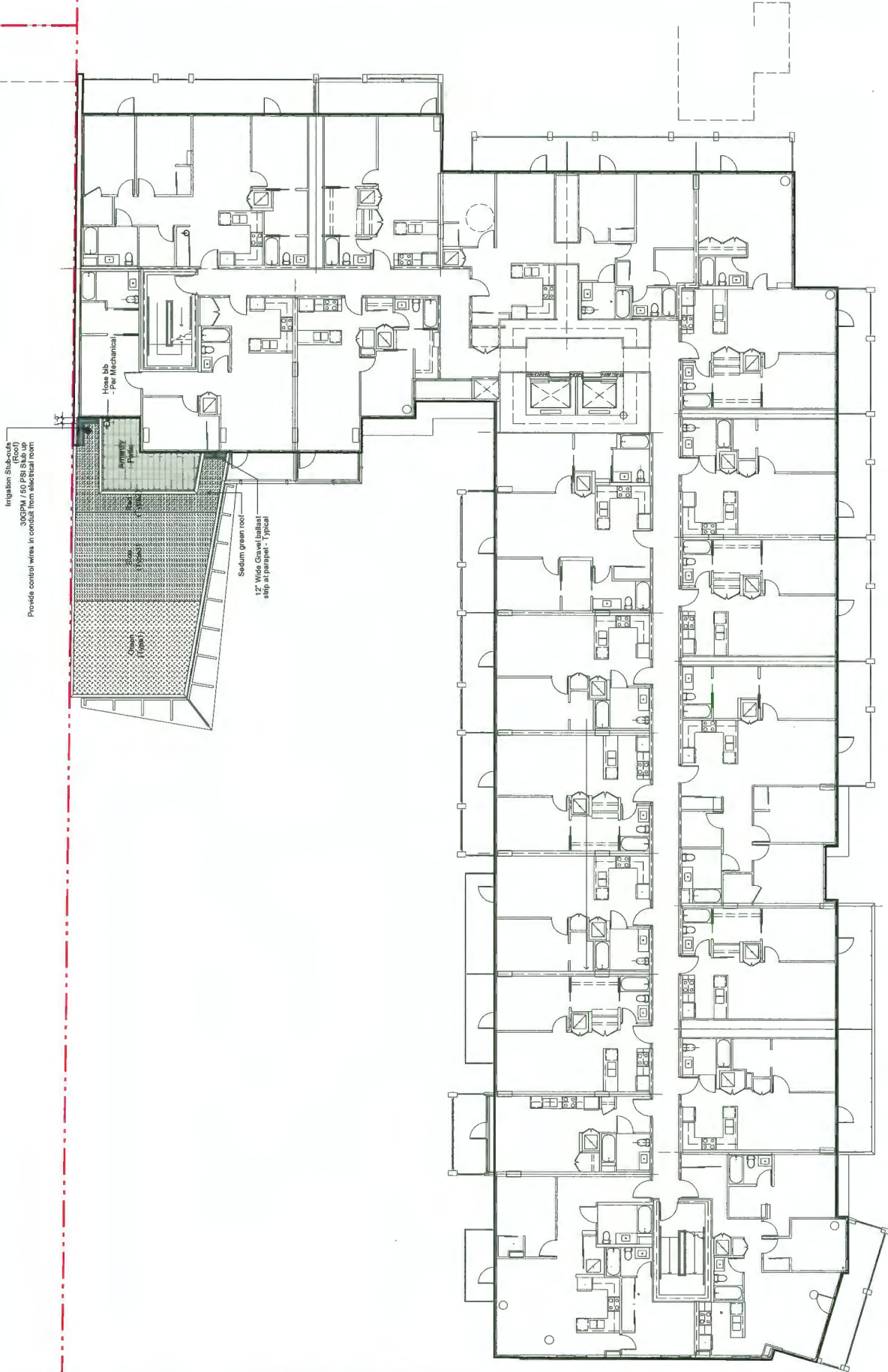
Project:
**CAPTAN VILLAGE:
PHASE 3&4,
RICHMOND, BC.**

Drawn by: RJC
Checked by: PK
Date: 17th Oct 2018
Scale: 1/8" = 1'-0"

Drawing Title:
**Level 4 - Phase 3
Landscape Plan**

Project No:
180226
Sheet No:

Plan #5g



Provides central wires in conduit from electrical room

12" Wide Glass balustrade
step at parapet - typical

Sodium green roof

1000 sq ft
Priority
Fire Mechanical

3000PSM / 50 PSi S.M. up

3000PSM / 50 PSi S.M. up

3000PSM / 50 PSi S.M. up

3000PSM / 50 PSi S.M. up

3000PSM / 50 PSi S.M. up

3000PSM / 50 PSi S.M. up

3000PSM / 50 PSi S.M. up

3000PSM / 50 PSi S.M. up

3000PSM / 50 PSi S.M. up

3000PSM / 50 PSi S.M. up

3000PSM / 50 PSi S.M. up

3000PSM / 50 PSi S.M. up



Rev	Date	Description
6	Mar 03, 2023	Revised for DP
5	Nov 28, 2019	Revised for DP
4	Nov 28, 2019	Revised for DP
3	Apr 23, 2019	Issue for ADP
2	Mar 01, 2019	Revised for DP
1	Oct 08, 2018	Issue for DP

PR
Purvis Reed Ltd
102-1537 West 5th Avenue
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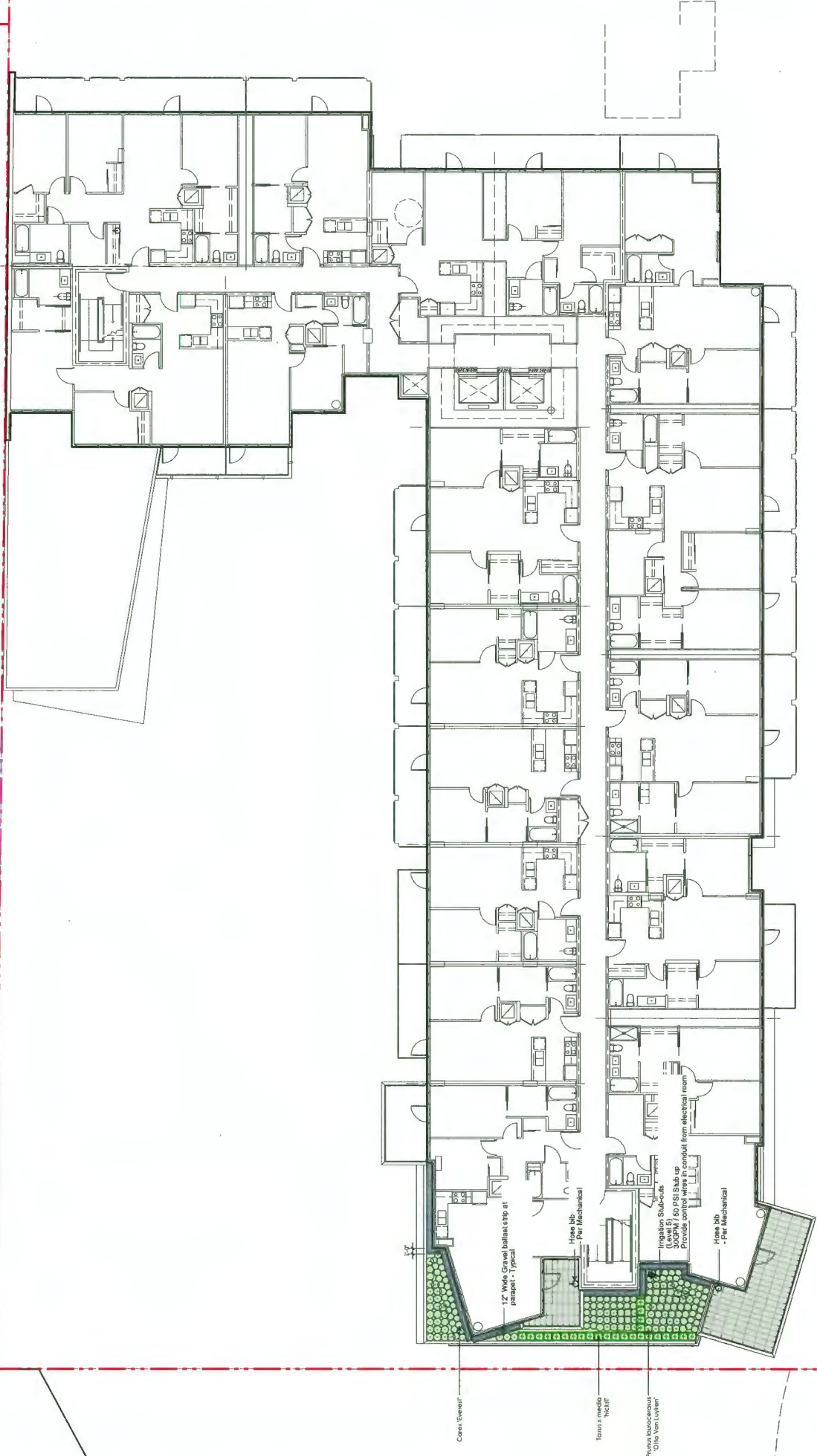
Project:
**CAPSTAN VILLAGE:
PHASE 3
RICHMOND, BC.**

Drawn by: BJC
Checked by: TK
Date: 17th Oct 2018
Scale: 1/8" = 1'-0"
Drawing Title:

**Level 5- Phase 3
Landscape Plan**

Project No:
18026
Sheet No:

Plan #5h





7	Mar 03, 2020	Revised for DP
6	Dec 12, 2019	Issued for BP
5	Nov 15, 2019	Revised for DP
4	Nov 05, 2019	Revised for DP
3	Aug 23, 2019	Revised for ADP
2	Aug 21, 2019	Revised for DP
1	Aug 19, 2019	Revised for DP
NO:	000000	NO
NO:	000000	NO

pk
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 102 - 152 West 6th Avenue
 Vancouver, BC V6C 2M7
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Project:
**CAFSTAN VILLAGE:
 PHASE 3&4,
 RICHMOND, BC.**

Drawn by: RJC
 Checked by: PE
 Date: 17th Oct 2019
 Scale: 1/8" = 1'-0"

Drawing Title:
**Level 6 - Phase 4
 Landscape Plan**

Project No:
 18026
 Sheet No.:

Plan #51





NO.	DATE	BY	REVISION
1	Nov 22, 2018	PK	Revised for DP
2	Nov 22, 2018	PK	Revised for DP
3	Nov 22, 2018	PK	Revised for DP
4	Nov 22, 2018	PK	Revised for DP
5	Nov 22, 2018	PK	Revised for DP
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50	Nov 22, 2018	PK	Revised for DP

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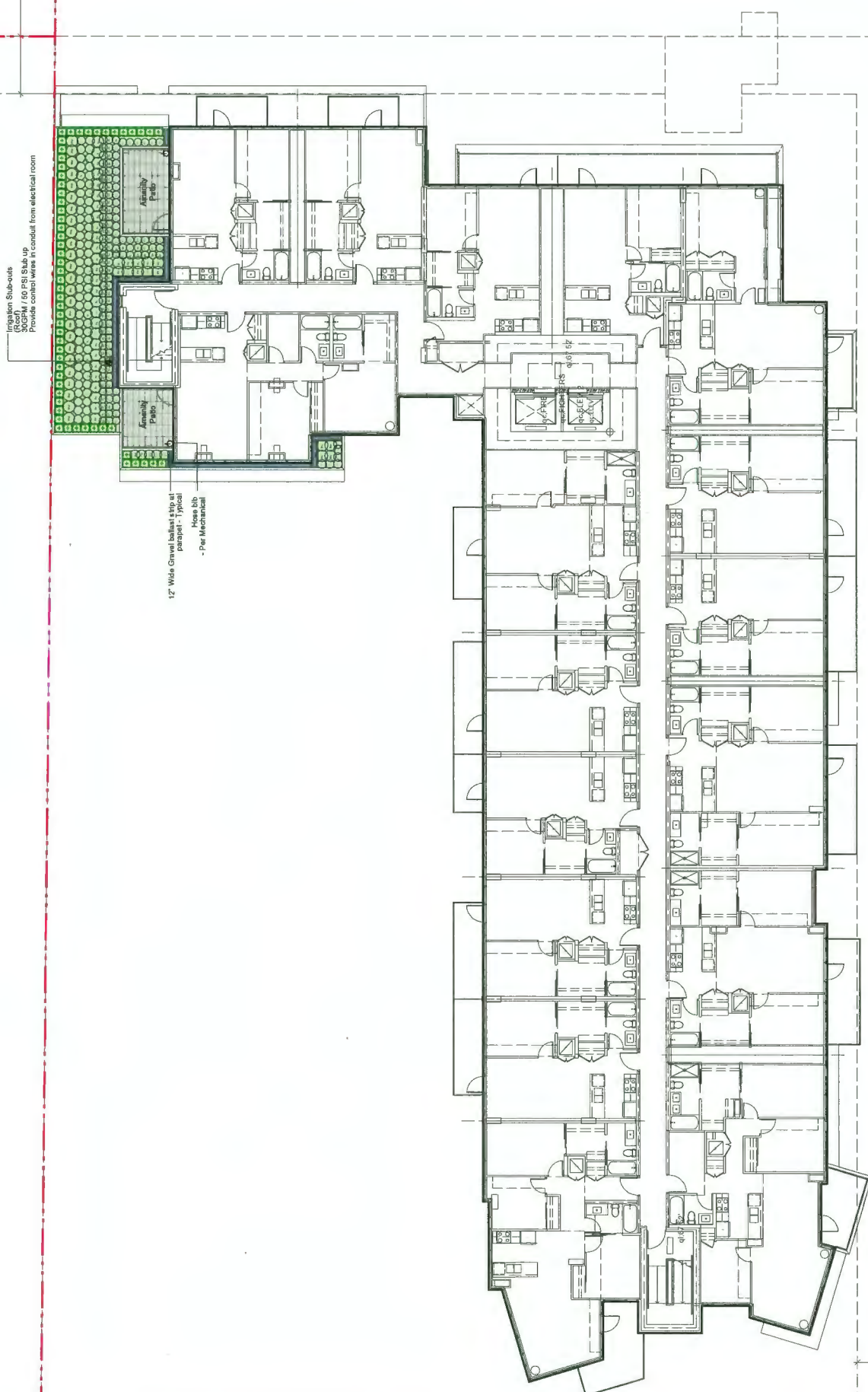
Project:
**CAFSTAN VILLAGE:
 PHASE 3&4,
 RICHMOND, BC.**

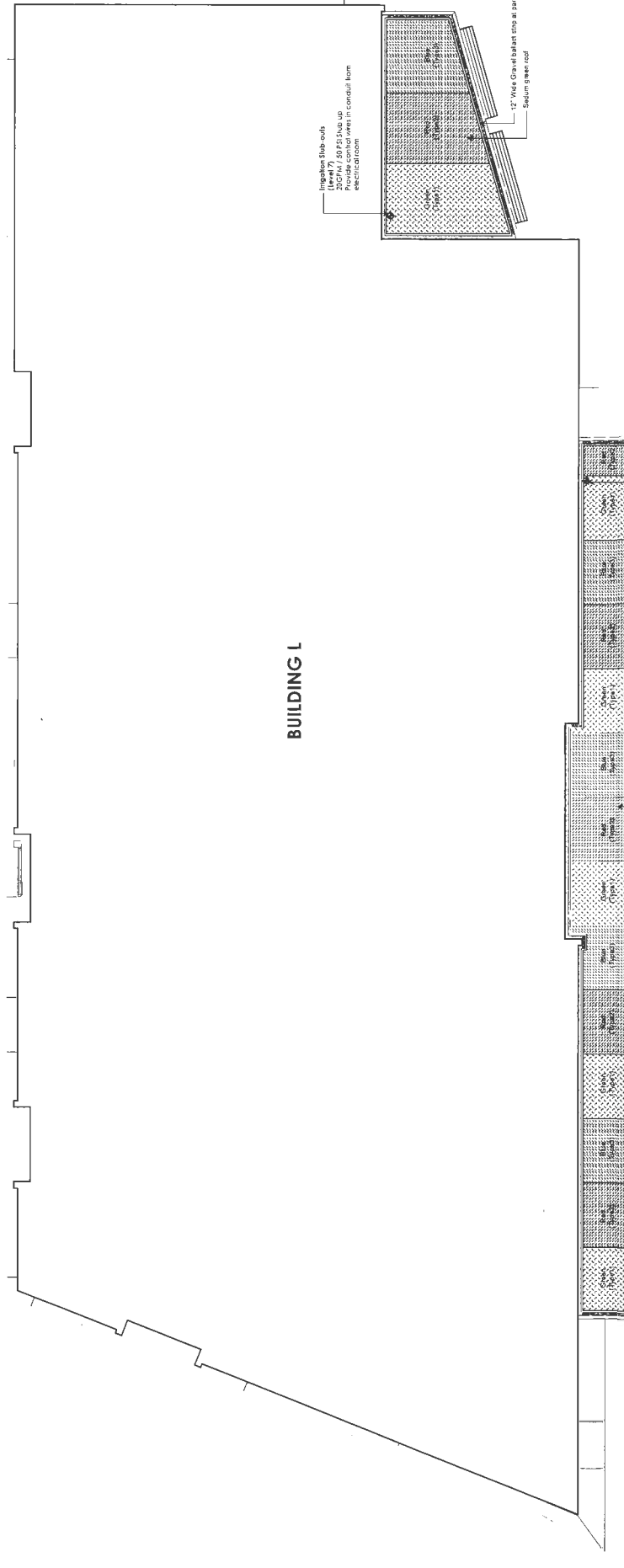
Drawn by: RDC
 Checked by: PK
 Date: 17th Oct 2018
 Scale: 1/8" = 1'-0"

Drawing Title:
**Level 7 - Phase 3
 Landscape Plan**

Project No:
 18026
 Sheet No:

Plan #5j





BUILDING 1

Rev.	Date	Description
1	2018.03.20	Final for DP
2	2018.03.20	Final for DP
3	2018.03.20	Final for DP
4	2018.03.20	Final for DP
5	2018.03.20	Final for DP
6	2018.03.20	Final for DP
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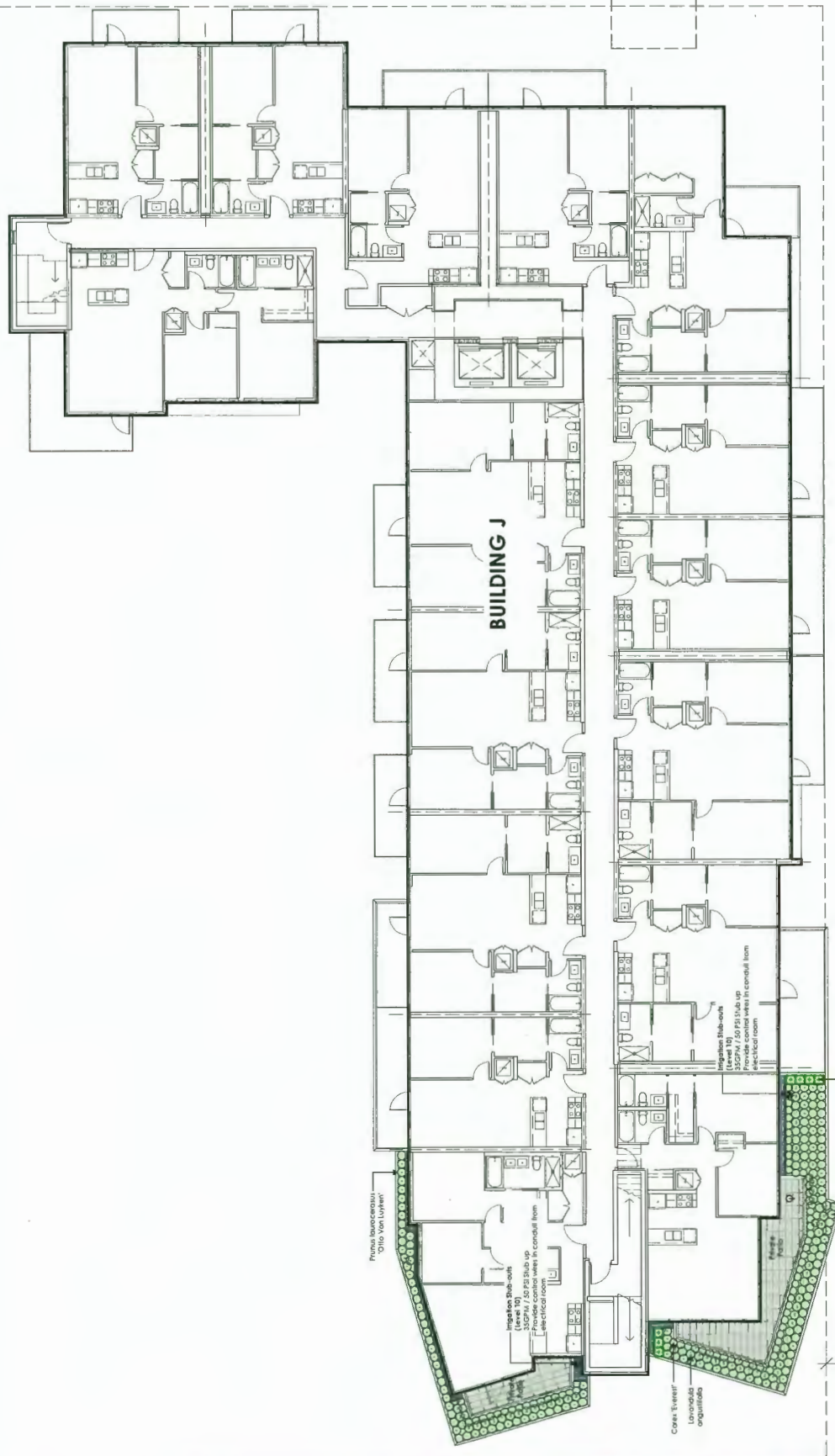


Project:
**CARSTAN VILLAGE:
PHASE 3&4
RICHMOND, BC.**

Drawing Title:
**Level 7 - Phase 4
Landscape Plan**

Project No.:
18026

Plan #:



7	May 03, 2020	Revised for DP
6	Dec 13, 2019	Revised for DP
5	Nov 19, 2019	Revised for DP
4	Nov 19, 2019	Revised for DP
3	Apr 23, 2019	Revised for ADP
2	Apr 03, 2019	Revised for DP
1	Nov 01, 2018	Revised for DP
NO:	100426	Rev:

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Project:
**CAPSTAN VILLAGE
 PHASE 3&4,
 RICHMOND, BC.**

Drawn by: POC
 Checked by: PK
 Date: 17th Oct 2018
 Scale: 1/8" = 1'

Drawing Title:
**Level 10 - Phase 3
 Landscape Plan**

Project No.:
18026
 Sheet No.:

Plan #51



Rev	Date	Description
7	Mar 03, 2025	Revised for DP
6	Dec 12, 2014	Issued for BP
5	Nov 18, 2014	Revised for DP
4	Nov 18, 2014	Revised for DP
3	Apr 23, 2014	Issued for ADP
2	Apr 01, 2014	Revised for DP
1	Mar 20, 2013	Issued for DP
NO:	2013	Issue

durant
Durant Krukowski Ltd
102-1027 West 4th Avenue
Vancouver, BC V6H 1A6
T: 604 684 4311
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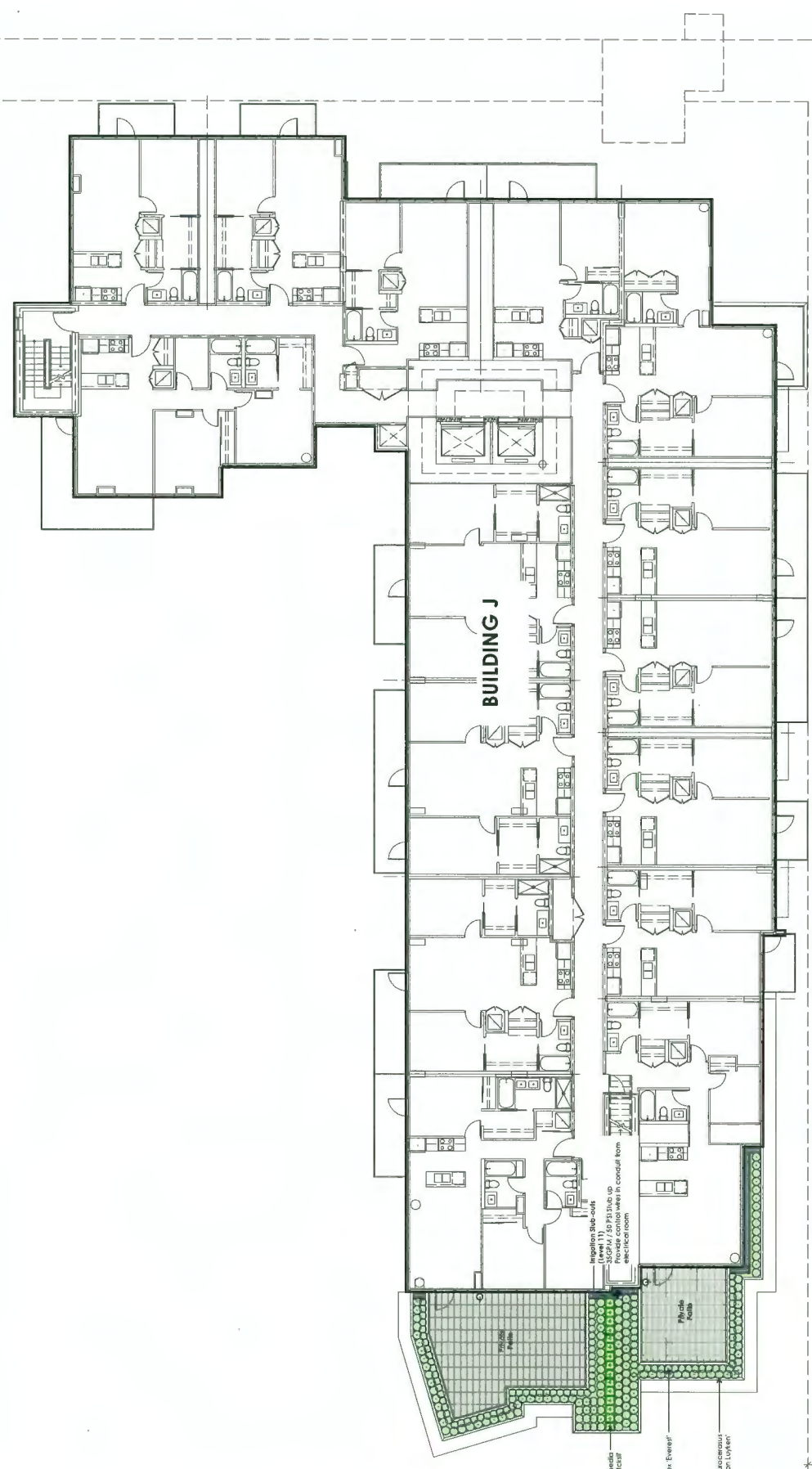
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**CAPSTAN VILLAGE
PHASE 3&4,
RICHMOND, BC.**

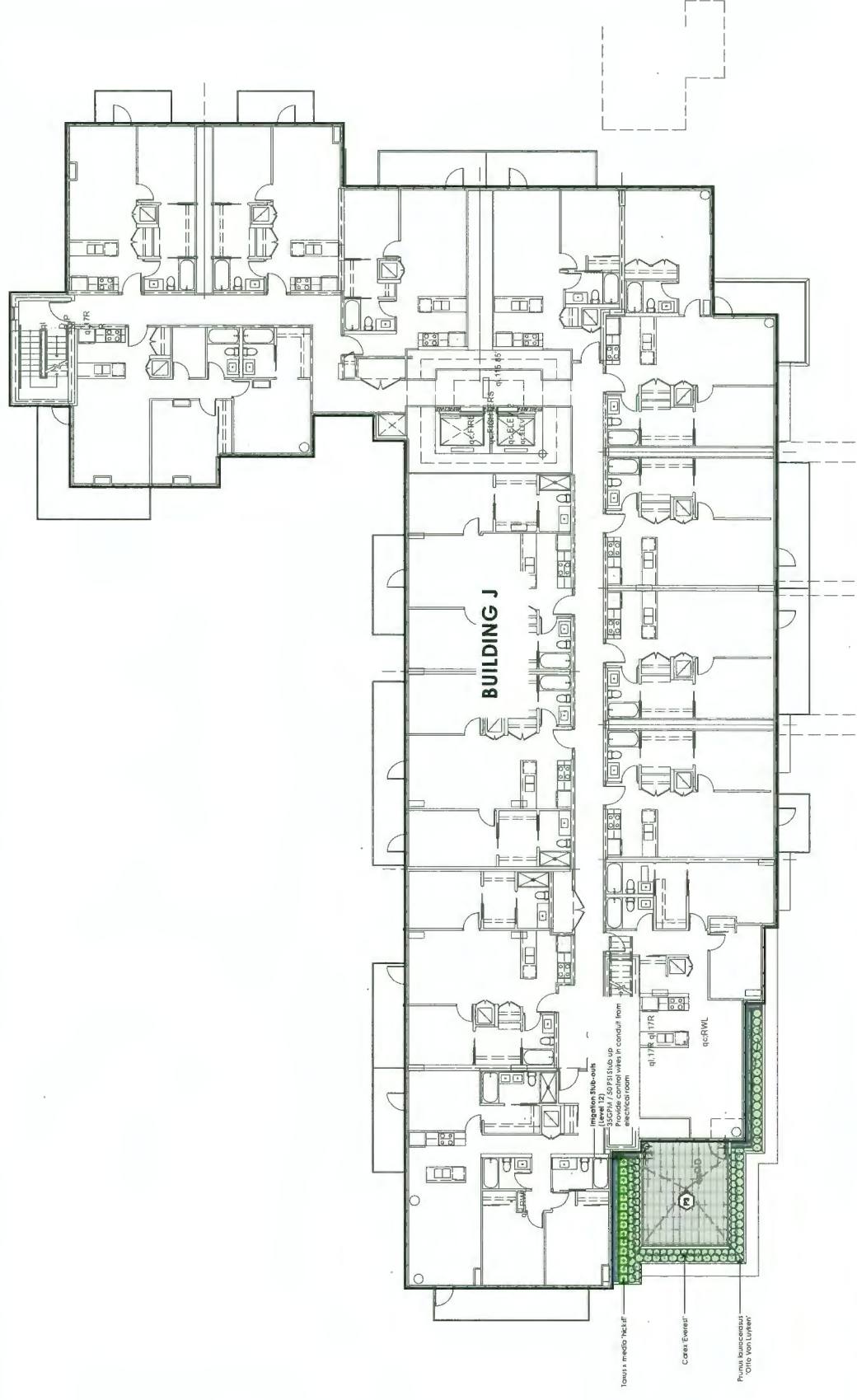
Drawn by: RJC
Checked by: PC
Date: 17th Oct 2018
Scale: 1/8" = 1'0"

Drawing Title:
**Level 11 - Phase 3
Landscape Plan**

Project No:
18026
Sheet No:

Plan #5m





Rev.	Date	Description
1	10/03/2018	Revised for DP
2	10/03/2018	Revised for DP
3	10/03/2018	Revised for DP
4	10/03/2018	Revised for DP
5	10/03/2018	Revised for DP
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99	10/03/2018	Revised for DP
100	10/03/2018	Revised for DP

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Richmond BC V6V 1M8
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Project:
**CAPSTAN VILLAGE
PHASE 3&4
RICHMOND, BC.**

Drawn by: RYC
Checked by: PC
Date: 17th Oct 2018
Scale: 1/8" = 1'-0"

Drawing Title:
**Level 12- Phase 3
Landscape Plan**

Project No:
18026
Sheet No:

Plan #5n



Rev.	Date	Description
6	May 05, 2025	Revised for DP
5	Apr 18, 2024	Revised for DP
4	Apr 18, 2024	Revised for DP
3	Apr 23, 2024	Revised for ADP
2	Apr 03, 2024	Revised for DP
1	Apr 03, 2024	Revised for DP
PREPARED BY: [Name] CHECKED BY: [Name] DRAWN BY: [Name]		

Duxbury Evans Ltd
 102-103 West 8th Avenue
 Vancouver, BC V6P 2C6
 T: 604 684 6211
 F: 604 684 6212
 www.dvl.ca

PROJECT:
**CAPSTAN VILLAGE
 PHASE 3&4
 RICHMOND, BC.**

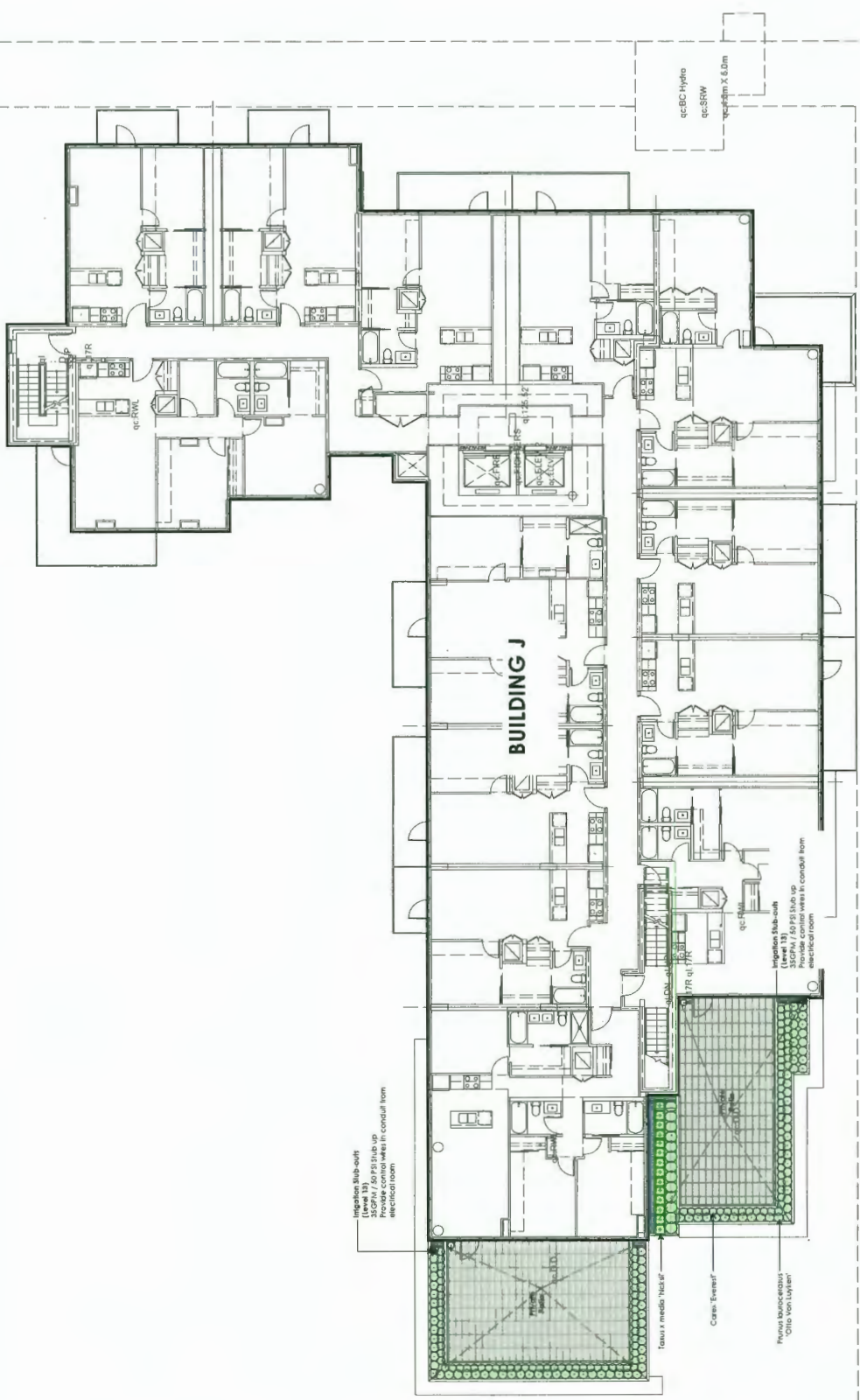
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Drawing Title:
**Level 13 - Phase 3
 Landscape Plan**

Project No.:
 18026
 Sheet No.:

Plan #50

20.0m SETBACK
 RESIDENTIAL
 2.3m
 SETBACK
 S.A.W.



2.3m
 SETBACK



6	Nov 03, 2020	Re-issued for DP
5	Nov 18, 2019	Re-issued for DP
4	Nov 18, 2019	Re-issued for DP
3	Apr 23, 2017	Issued for ADP
2	May 01, 2017	Re-issued for DP
1	Nov 20, 2016	Issued for DP
NO.	NO.	NO.
Rev:	NO.	NO.

pk
 Daniels & Associates Ltd
 102-1027 West 8th Avenue
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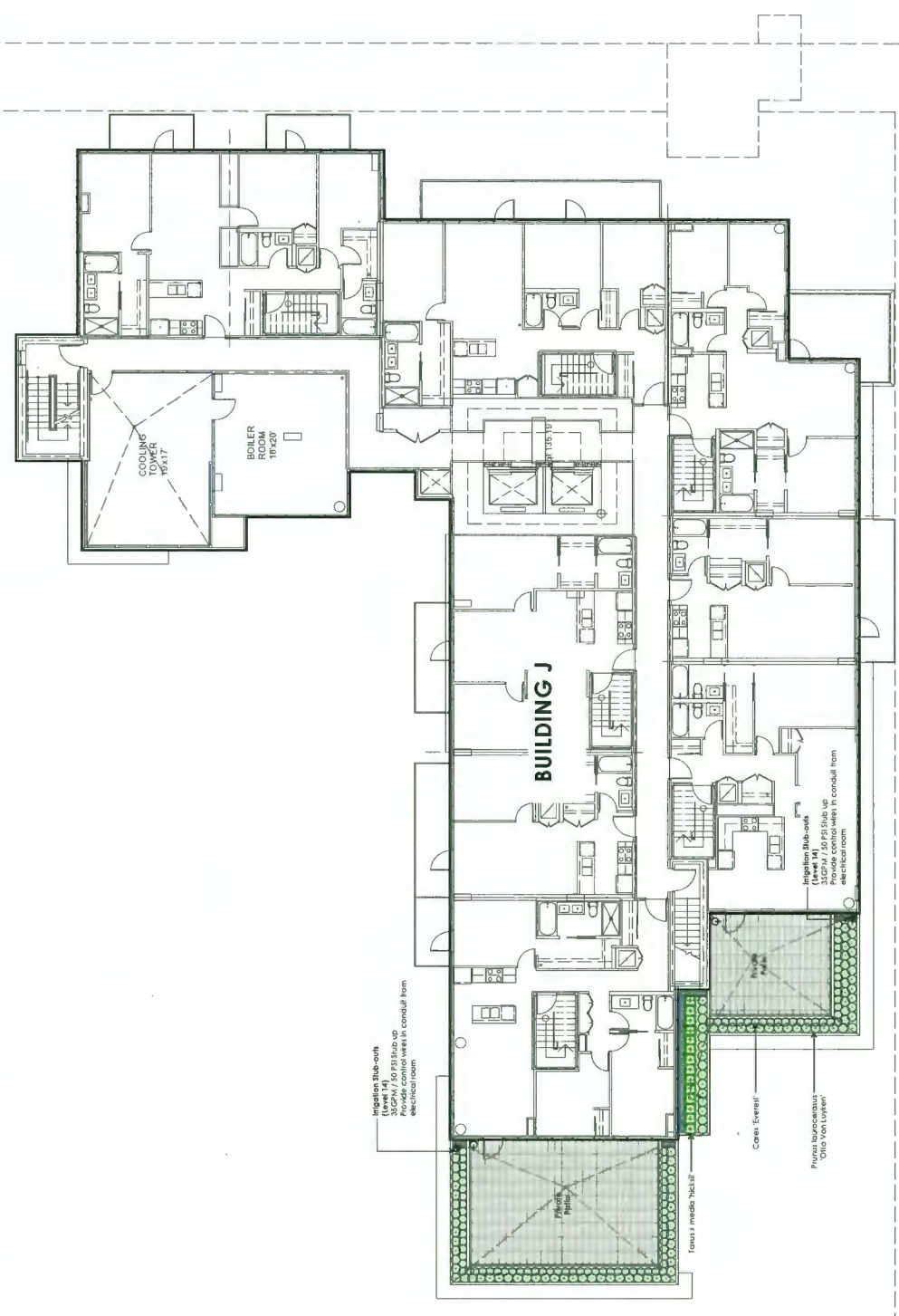
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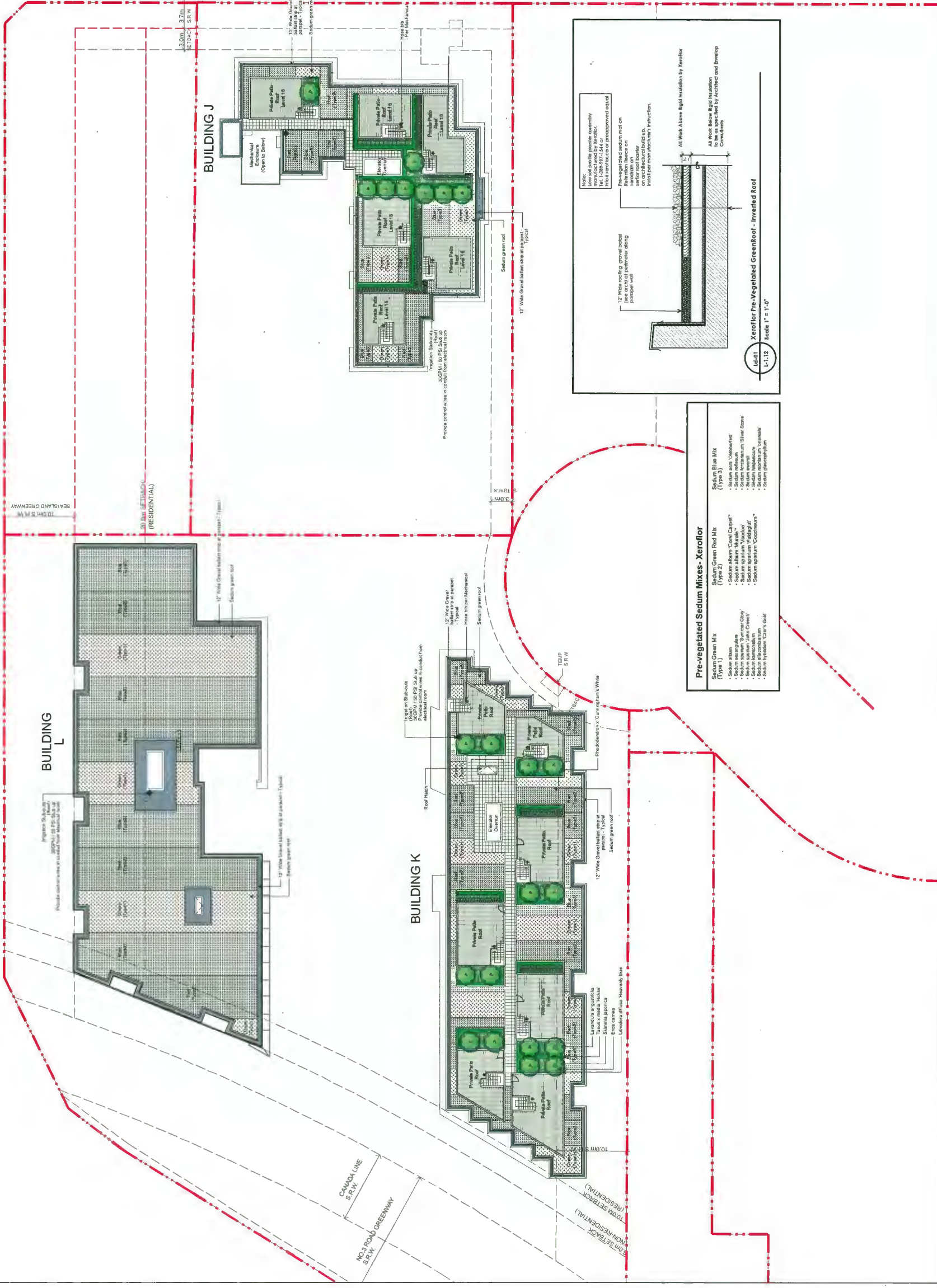
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 Date: 17th Oct 2018
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Drawing Title:
**Level 14- Phase 3
 Landscape Plan**

Project No:
18026
 Sheet No:

Plan #5p





Rev.	Date	Description
1	17th Oct 2018	Issued for ADP
2	17th Oct 2018	Issued for ADP
3	17th Oct 2018	Issued for ADP
4	17th Oct 2018	Issued for ADP
5	17th Oct 2018	Issued for ADP
6	17th Oct 2018	Issued for ADP
7	17th Oct 2018	Issued for ADP

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 102-1537 West 8th Avenue
 Richmond, BC V6V 1W6
 Tel: 1-281-971-2444
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 www.dunesreal.com

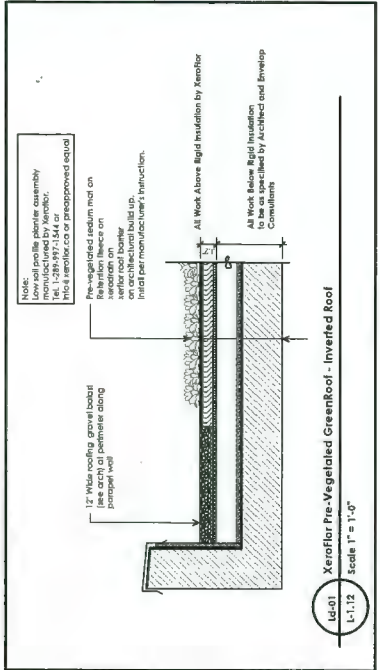
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 PHASE 3&4,
 RICHMOND, BC.**

Drawn by: RJC
 Checked by: PK
 Date: 17th Oct 2018
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**Roof Levels Phase 3&4
 Landscape Plan**

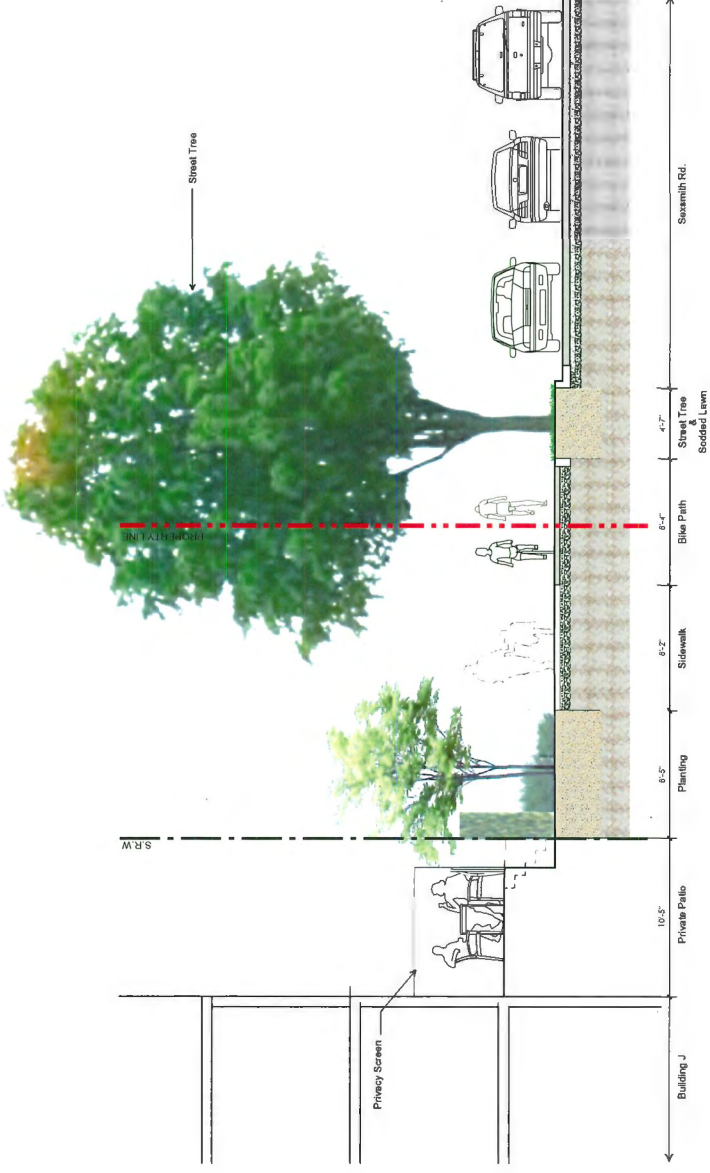
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 Sheet No.:

Plan #5q

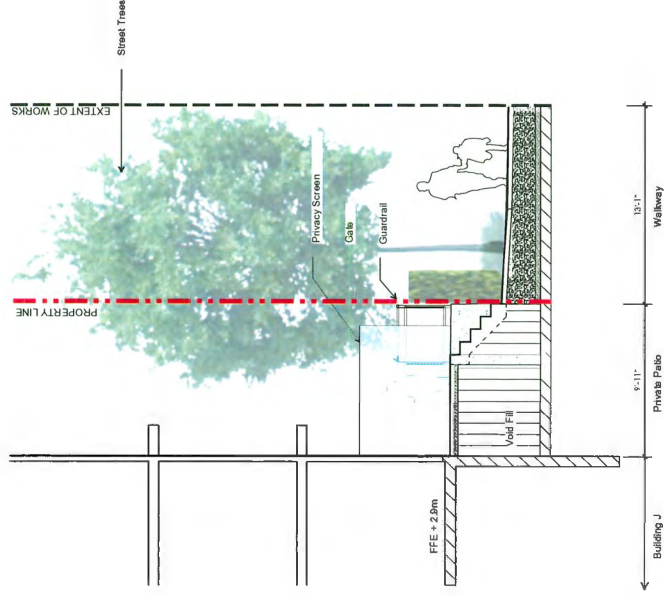


Pre-vegetated Sedum Mixes - Xeroflor

Sedum Green Mix (Type 1)	Sedum Green Red Mix (Type 2)	Sedum Blue Mix (Type 3)
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SECTION (A) - SEXSMITH ROAD - PHASE 3
Scale 1/4"=1'-0"



SECTION (B) - PRIVATE ROAD - PHASE 2 + PHASE 3
Scale 1/4"=1'-0"

WORK BY OTHERS

NO.	DATE	DESCRIPTION
1	Nov 03, 2012	Requested for DP
2	Nov 03, 2012	Reviewed for DP
3	Nov 03, 2012	Issued for ADP
4	Nov 03, 2012	Issued for ADP
5	Nov 03, 2012	Requested for DP
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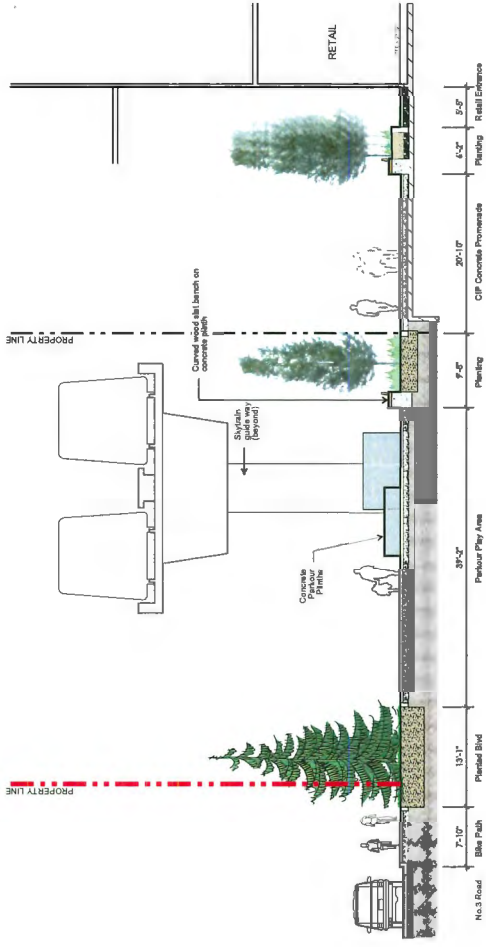
durantek
Durantek Inc. Ltd.
102 - 1830 West 8th Avenue
Richmond, BC V6V 1W5
Tel: 604.884.4871
www.durantek.com

Project:
**CAFSTAN VILLAGE:
PHASE 3&4,
RICHMOND, BC.**

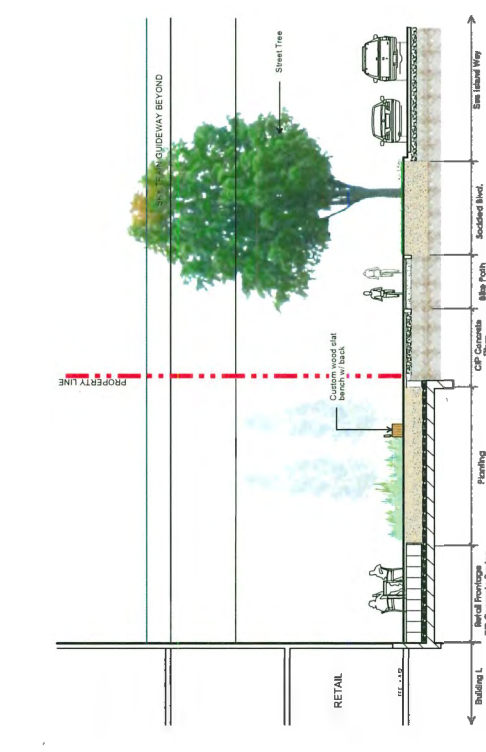
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Checked by: PK
Date: 17th Oct 2018
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Drawing Title: **Landscape Sections**

Project No:
18026
Sheet No:

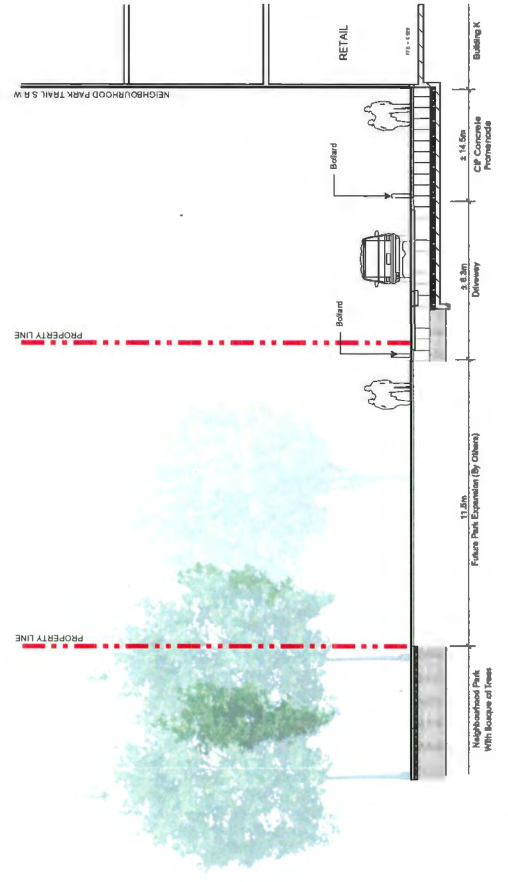
Plan #5r



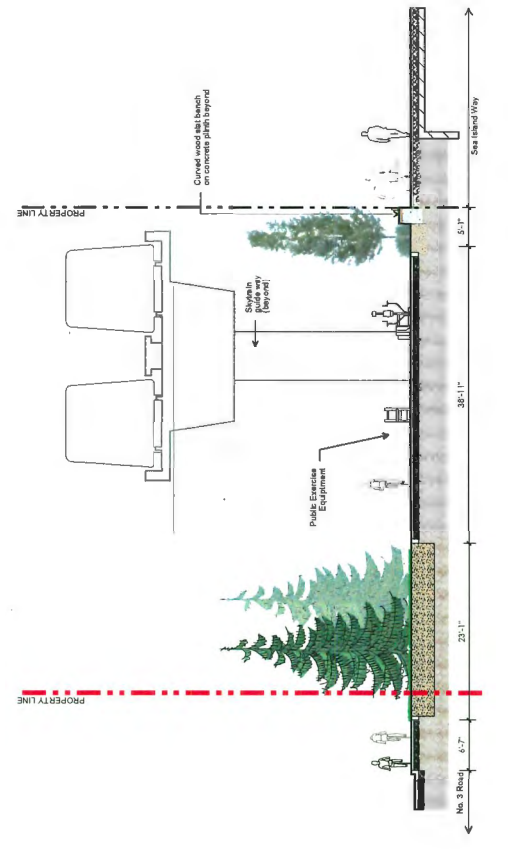
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Scale 1/8"=1'-0"



SECTION (C) - SEA ISLAND WAY GREENWAY - PHASE 4
Scale 1/8"=1'-0"



SECTION (F) - RETAIL FRONTAGE AND NEIGHBOURHOOD PARK
Scale 1/8"=1'-0"



SECTION (E) - NO. 3 ROAD GREENWAY / RAINGARDEN / RETAIL FRONTAGE PROMENADE
Scale 1/8"=1'-0"

NO.	DATE	REVISIONS
6	MAR 03, 2025	Revised for DP
5	FEB 20, 2025	Revised for DP
4	FEB 20, 2025	Revised for DP
3	AUG 23, 2019	Issued for ADP
2	MAY 01, 2019	Revised for DP
1	SEP 20, 2018	Issued for DP
NO.	DATE	REVISIONS

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Project:
**CAPSTAN VILLAGE:
PHASE 3&4,
RICHMOND, BC.**

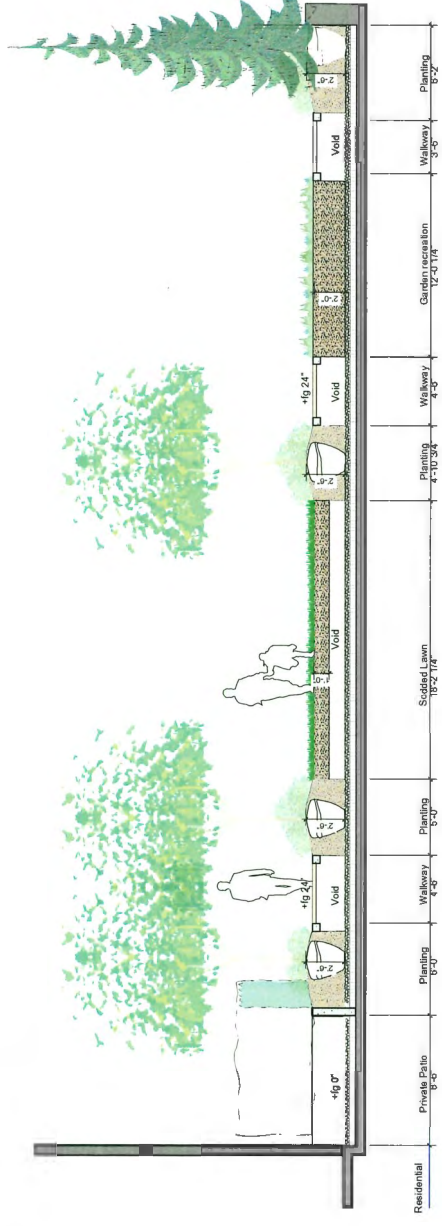
Drawn by: RDC
Checked by: PE
Date: 17th Oct 2018
Scale: As shown
Drawing Title:
Landscape Sections

Revision No:
180026
Sheet No.:

Plan #5s



SECTION (I) - LEVEL 5, LOOKING NORTH
Scale 1/4"=1'-0"



SECTION (J) - LEVEL 5, LOOKING WEST
Scale 1/4"=1'-0"

No.	Date	Description
6	11/03/2020	Revised for DP
5	10/20/2020	Revised for DP
4	10/15/2020	Revised for DP
3	10/12/2020	Revised for ADP
2	10/01/2020	Revised for DP
1	09/28/2020	Revised for DP
NO. 2 SCALE: 1/4"=1'-0"		

Revisions:

durantek
Durantek Inc. Ltd.
102 - 1837 West 8th Avenue
Richmond, BC V6V 1K6
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Project:
**CAPTAIN VILLAGE:
PHASE 3&4,
RICHMOND, BC.**

Drawn by: RJC
Checked by: PE
Date: 17th Oct 2018
Scale: As shown
Drawing Title: **Landscape Sections**

Project No:
18026
Sheet No:

Plan #5u

1 Concrete Paving - On Grade
Scale 1" = 1'-0"

NOTE: 1. All concrete slabs shall be cast in place. 2. All concrete slabs shall be finished with a broom finish. 3. All concrete slabs shall be cured with a minimum of 7 days.

2 Precast Concrete Unit Pavers - On Grade
Scale 1" = 1'-0"

NOTE: 1. All pavers shall be installed in accordance with the manufacturer's instructions. 2. All pavers shall be set in a 1/2 inch thick sand bedding. 3. All pavers shall be jointed with a polymeric sand.

3 Pavers on Slab - Over Patio
Scale 1" = 1'-0"

NOTE: 1. All pavers shall be installed in accordance with the manufacturer's instructions. 2. All pavers shall be set in a 1/2 inch thick sand bedding. 3. All pavers shall be jointed with a polymeric sand.

4 Hydrated Slabs on Inverted Roof
Scale 1" = 1'-0"

NOTE: 1. All slabs shall be installed in accordance with the manufacturer's instructions. 2. All slabs shall be set in a 1/2 inch thick sand bedding. 3. All slabs shall be jointed with a polymeric sand.

5 Hydrated Slabs - On Grade
Scale 1" = 1'-0"

NOTE: 1. All slabs shall be installed in accordance with the manufacturer's instructions. 2. All slabs shall be set in a 1/2 inch thick sand bedding. 3. All slabs shall be jointed with a polymeric sand.

6 24x24" Concrete Pavers Set in Levee on Slab - Over Patios
Scale 1" = 1'-0"

NOTE: 1. All pavers shall be installed in accordance with the manufacturer's instructions. 2. All pavers shall be set in a 1/2 inch thick sand bedding. 3. All pavers shall be jointed with a polymeric sand.

7 24x24" Concrete Pavers Set in Levee on Slab - Inverted Roof
Scale 1" = 1'-0"

NOTE: 1. All pavers shall be installed in accordance with the manufacturer's instructions. 2. All pavers shall be set in a 1/2 inch thick sand bedding. 3. All pavers shall be jointed with a polymeric sand.

8 Pour in Place Resilient Surfacing
Scale 1" = 1'-0"

NOTE: 1. All resilient surfacing shall be installed in accordance with the manufacturer's instructions. 2. All resilient surfacing shall be set in a 1/2 inch thick sand bedding. 3. All resilient surfacing shall be jointed with a polymeric sand.

9 Sodded Lawn on Slab - Over Patios
Scale 1" = 1'-0"

NOTE: 1. All sodded lawns shall be installed in accordance with the manufacturer's instructions. 2. All sodded lawns shall be set in a 1/2 inch thick sand bedding. 3. All sodded lawns shall be jointed with a polymeric sand.

10 Sodded Lawn on Slab - Inverted Roof
Scale 1" = 1'-0"

NOTE: 1. All sodded lawns shall be installed in accordance with the manufacturer's instructions. 2. All sodded lawns shall be set in a 1/2 inch thick sand bedding. 3. All sodded lawns shall be jointed with a polymeric sand.

11 Play Sand
Scale 1" = 1'-0"

NOTE: 1. All play sand shall be installed in accordance with the manufacturer's instructions. 2. All play sand shall be set in a 1/2 inch thick sand bedding. 3. All play sand shall be jointed with a polymeric sand.

12 Shrub Planting on Slab - Over Patios
Scale 1" = 1'-0"

NOTE: 1. All shrub plantings shall be installed in accordance with the manufacturer's instructions. 2. All shrub plantings shall be set in a 1/2 inch thick sand bedding. 3. All shrub plantings shall be jointed with a polymeric sand.

13 Shrub Planting on Slab - Inverted Roof
Scale 1" = 1'-0"

NOTE: 1. All shrub plantings shall be installed in accordance with the manufacturer's instructions. 2. All shrub plantings shall be set in a 1/2 inch thick sand bedding. 3. All shrub plantings shall be jointed with a polymeric sand.

14 Urban Agriculture Planting on Slab - Inverted Roof
Scale 1" = 1'-0"

NOTE: 1. All urban agriculture plantings shall be installed in accordance with the manufacturer's instructions. 2. All urban agriculture plantings shall be set in a 1/2 inch thick sand bedding. 3. All urban agriculture plantings shall be jointed with a polymeric sand.

15 Gravelly Tire Paving on Slab
Scale 1" = 1'-0"

NOTE: 1. All gravelly tire paving shall be installed in accordance with the manufacturer's instructions. 2. All gravelly tire paving shall be set in a 1/2 inch thick sand bedding. 3. All gravelly tire paving shall be jointed with a polymeric sand.

16 Typical Tree Planting on Slab - Over Patios
Scale 1" = 1'-0"

NOTE: 1. All tree plantings shall be installed in accordance with the manufacturer's instructions. 2. All tree plantings shall be set in a 1/2 inch thick sand bedding. 3. All tree plantings shall be jointed with a polymeric sand.

17 Typical Tree Planting on Slab with Drain Access Pipe in Planters on Slab - Inverted Roof
Scale 1" = 1'-0"

NOTE: 1. All tree plantings shall be installed in accordance with the manufacturer's instructions. 2. All tree plantings shall be set in a 1/2 inch thick sand bedding. 3. All tree plantings shall be jointed with a polymeric sand.

19 Drop Ship at Building Foot
Scale 1" = 1'-0"

NOTE: 1. All drop ships shall be installed in accordance with the manufacturer's instructions. 2. All drop ships shall be set in a 1/2 inch thick sand bedding. 3. All drop ships shall be jointed with a polymeric sand.

General Notes:

- Do not use fire retardant.
- Protect the form during pouring. Ensure no debris is present in the form. Protect the concrete from frost or desiccation.
- Ensure the location does not conflict with Underground Services. Call before digging.

NOTE: 1. All concrete shall be cast in place. 2. All concrete shall be finished with a broom finish. 3. All concrete shall be cured with a minimum of 7 days.

Revisions:

No.	Date	Description
1	10/13/2018	Revised for DP
2	10/13/2018	Revised for DP
3	10/13/2018	Revised for DP
4	10/13/2018	Revised for DP
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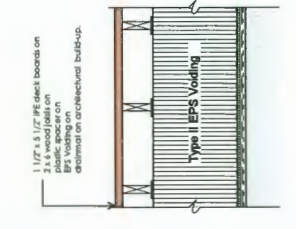
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Down by: RDC
Checked by: PK
Date: 17th Oct 2018
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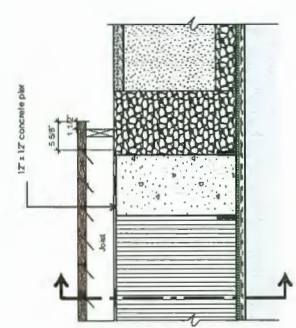
Drawing Title: Landscape Details Phase 3&4

Project No.: 18026
Sheet No.:

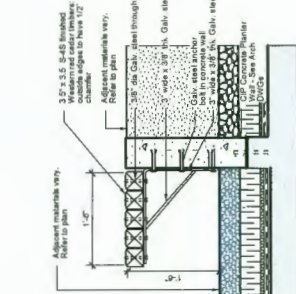
Plan #5v



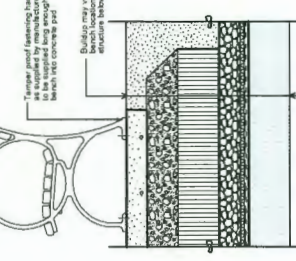
1 IPE Decking in Purling
L-1.2 Scale: 1" = 1'-0"



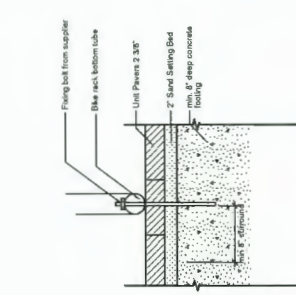
2 IPE Decking in Purling
L-1.2 Scale: 1" = 1'-0"



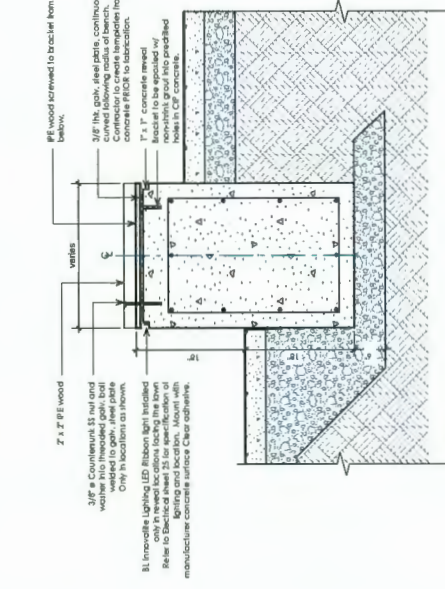
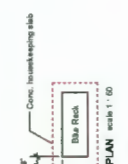
3 Curved Bench
L-1.3 Scale: 1" = 1'-0"



4 Typical Bench Installation Detail
L-1.1 Scale: 1" = 1'-0"



5 Typical Black Rack Installation Detail
L-1.1 Scale: 1" = 1'-0"



6 Curved Wood Bench on Concrete Wall
L-1.1 Scale: 1" = 1'-0"

NOTE:
1. All bench metal brackets to be hot-dipped galvanized steel.
2. Top to be assembled in shop.
3. Installation drawing for approval prior to fabrication.
4. Road of benches vary. Refer to Plan for layout.
5. Bench height to be 300mm above concrete base.
6. Templates of concrete profile prior to fabrication.

Plan A - Example Layout of Curved Benches
Scale 1/2" = 1'-0"



Rev.	Desc.	By	Date
1	Issue 01 - 2022	RP	17/10/2022
2	Issue 02 - 2022	RP	17/10/2022
3	Issue 03 - 2022	RP	17/10/2022
4	Issue 04 - 2022	RP	17/10/2022
5	Issue 05 - 2022	RP	17/10/2022
6	Issue 06 - 2022	RP	17/10/2022
7	Issue 07 - 2022	RP	17/10/2022
8	Issue 08 - 2022	RP	17/10/2022
9	Issue 09 - 2022	RP	17/10/2022
10	Issue 10 - 2022	RP	17/10/2022
11	Issue 11 - 2022	RP	17/10/2022
12	Issue 12 - 2022	RP	17/10/2022
13	Issue 13 - 2022	RP	17/10/2022
14	Issue 14 - 2022	RP	17/10/2022
15	Issue 15 - 2022	RP	17/10/2022
16	Issue 16 - 2022	RP	17/10/2022
17	Issue 17 - 2022	RP	17/10/2022
18	Issue 18 - 2022	RP	17/10/2022
19	Issue 19 - 2022	RP	17/10/2022
20	Issue 20 - 2022	RP	17/10/2022
21	Issue 21 - 2022	RP	17/10/2022
22	Issue 22 - 2022	RP	17/10/2022
23	Issue 23 - 2022	RP	17/10/2022
24	Issue 24 - 2022	RP	17/10/2022
25	Issue 25 - 2022	RP	17/10/2022
26	Issue 26 - 2022	RP	17/10/2022
27	Issue 27 - 2022	RP	17/10/2022
28	Issue 28 - 2022	RP	17/10/2022
29	Issue 29 - 2022	RP	17/10/2022
30	Issue 30 - 2022	RP	17/10/2022
31	Issue 31 - 2022	RP	17/10/2022
32	Issue 32 - 2022	RP	17/10/2022
33	Issue 33 - 2022	RP	17/10/2022
34	Issue 34 - 2022	RP	17/10/2022
35	Issue 35 - 2022	RP	17/10/2022
36	Issue 36 - 2022	RP	17/10/2022
37	Issue 37 - 2022	RP	17/10/2022
38	Issue 38 - 2022	RP	17/10/2022
39	Issue 39 - 2022	RP	17/10/2022
40	Issue 40 - 2022	RP	17/10/2022
41	Issue 41 - 2022	RP	17/10/2022
42	Issue 42 - 2022	RP	17/10/2022
43	Issue 43 - 2022	RP	17/10/2022
44	Issue 44 - 2022	RP	17/10/2022
45	Issue 45 - 2022	RP	17/10/2022
46	Issue 46 - 2022	RP	17/10/2022
47	Issue 47 - 2022	RP	17/10/2022
48	Issue 48 - 2022	RP	17/10/2022
49	Issue 49 - 2022	RP	17/10/2022
50	Issue 50 - 2022	RP	17/10/2022

PK
Dunnes Field, Ltd
102 - 1832 West 8th Avenue
Richmond, BC V6V 1K6
Tel: 604.273.1111
Fax: 604.273.1111
www.pk.ca

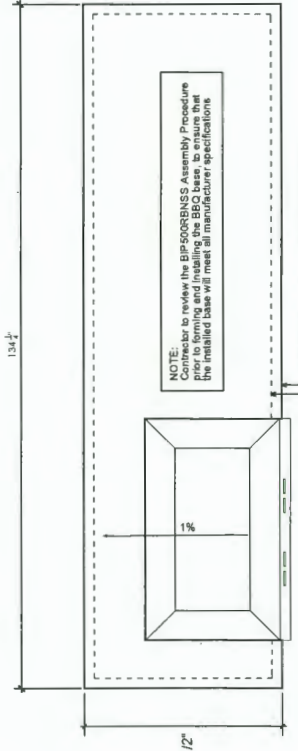
Project:
**CAFSTAN VILLAGE:
PHASE 3&4,
RICHMOND, BC.**

Drawn By: RP/C
Checked By: RP
Date: 17th Oct 2018
Scale: 1/8" = 1'-0"

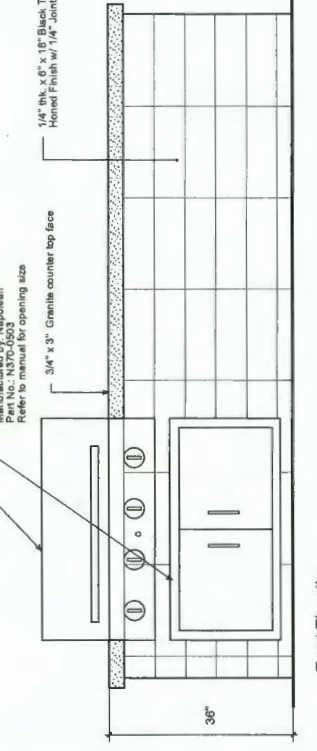
Drawing Title:
**Landscape Details
Phase 3&4**

Project No.:
18026
Sheet No.:

Plan #5w

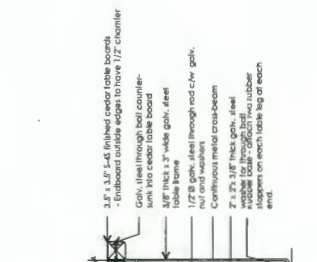


6 Curved Wood Bench on Concrete Wall
L-1.1 Scale: 1" = 1'-0"

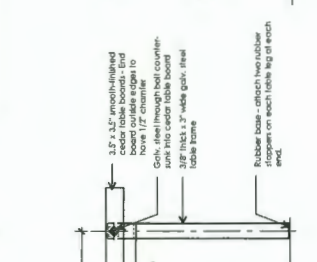


7 Curved Wood Bench on Concrete Wall
L-1.4 Scale: 1" = 1'-0"

NOTE:
1. All steel brackets to be hot-dipped galvanized steel.
2. Top to be assembled in shop.
3. Installation drawing for approval prior to fabrication.
4. Road of benches vary. Refer to Plan for layout.
5. Bench height to be 300mm above concrete base.
6. Templates of concrete profile prior to fabrication.



8 Typical Crest Section
L-1.5 Scale: 1" = 1'-0"



9 Typical Crest Section
L-1.5 Scale: 1" = 1'-0"

PGL
Pinnacle Centre at Capstan Station - Phase 3 and 4
Sustainability Strategy for Pinnacle Centre at Capstan Station - Phase 3 and 4
Sustainable Design Strategy
Sustainability Strategy for Pinnacle Centre at Capstan Station - Phase 3 and 4
Sustainable Design Strategy
Sustainability Strategy for Pinnacle Centre at Capstan Station - Phase 3 and 4
Sustainable Design Strategy

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Sustainable Design Strategy

PGL
Pinnacle Centre at Capstan Station - Phase 3 and 4
Sustainability Strategy for Pinnacle Centre at Capstan Station - Phase 3 and 4
Sustainable Design Strategy
Sustainability Strategy for Pinnacle Centre at Capstan Station - Phase 3 and 4
Sustainable Design Strategy

LEED v4 for BDC: New Construction and Major Renovation
Project Checklist

Category	Requirement	Compliance	Notes
1. Quality of Construction	1.1.1.1.1	Compliant	
	1.1.1.1.2	Compliant	
	1.1.1.1.3	Compliant	
	1.1.1.1.4	Compliant	
	1.1.1.1.5	Compliant	
	1.1.1.1.6	Compliant	
	1.1.1.1.7	Compliant	
	1.1.1.1.8	Compliant	
	1.1.1.1.9	Compliant	
	1.1.1.1.10	Compliant	
2. Materials and Resources	2.1.1.1.1	Compliant	
	2.1.1.1.2	Compliant	
	2.1.1.1.3	Compliant	
	2.1.1.1.4	Compliant	
	2.1.1.1.5	Compliant	
	2.1.1.1.6	Compliant	
	2.1.1.1.7	Compliant	
	2.1.1.1.8	Compliant	
	2.1.1.1.9	Compliant	
	2.1.1.1.10	Compliant	
3. Water Efficiency	3.1.1.1.1	Compliant	
	3.1.1.1.2	Compliant	
	3.1.1.1.3	Compliant	
	3.1.1.1.4	Compliant	
	3.1.1.1.5	Compliant	
	3.1.1.1.6	Compliant	
	3.1.1.1.7	Compliant	
	3.1.1.1.8	Compliant	
	3.1.1.1.9	Compliant	
	3.1.1.1.10	Compliant	
4. Energy and Atmosphere	4.1.1.1.1	Compliant	
	4.1.1.1.2	Compliant	
	4.1.1.1.3	Compliant	
	4.1.1.1.4	Compliant	
	4.1.1.1.5	Compliant	
	4.1.1.1.6	Compliant	
	4.1.1.1.7	Compliant	
	4.1.1.1.8	Compliant	
	4.1.1.1.9	Compliant	
	4.1.1.1.10	Compliant	

LEED CHECKLIST
PROVIDED BY PGL ENVIRONMENTAL CONSULTANTS

SUSTAINABILITY STRATEGY
PROVIDED BY PGL ENVIRONMENTAL CONSULTANTS

SUSTAINABILITY STRATEGY
PROVIDED BY PGL ENVIRONMENTAL CONSULTANTS

SUSTAINABILITY STRATEGY
PROVIDED BY PGL ENVIRONMENTAL CONSULTANTS

SRC
Sustainability Strategy for Pinnacle Centre at Capstan Station - Phase 3 and 4
Sustainable Design Strategy
Sustainability Strategy for Pinnacle Centre at Capstan Station - Phase 3 and 4
Sustainable Design Strategy

SRC
Sustainability Strategy for Pinnacle Centre at Capstan Station - Phase 3 and 4
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Sustainable Design Strategy

MECHANICAL SYSTEMS SUMMARY
PROVIDED BY SRC ENGINEERING CONSULTANTS

MECHANICAL SYSTEMS SUMMARY
PROVIDED BY SRC ENGINEERING CONSULTANTS

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MECHANICAL SYSTEMS SUMMARY
PROVIDED BY SRC ENGINEERING CONSULTANTS

PINNACLE LIVING @ CAPSTAN VILLAGE
PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
RICHMOND, BRITISH COLUMBIA
for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

SUSTAINABILITY & MECHANICAL SYSTEMS

NO. 1	MECHANICAL SYSTEMS SUMMARY	1/20
NO. 2	MECHANICAL SYSTEMS SUMMARY	1/20
NO. 3	MECHANICAL SYSTEMS SUMMARY	1/20
NO. 4	MECHANICAL SYSTEMS SUMMARY	1/20
NO. 5	MECHANICAL SYSTEMS SUMMARY	1/20
NO. 6	MECHANICAL SYSTEMS SUMMARY	1/20
NO. 7	MECHANICAL SYSTEMS SUMMARY	1/20
NO. 8	MECHANICAL SYSTEMS SUMMARY	1/20
NO. 9	MECHANICAL SYSTEMS SUMMARY	1/20
NO. 10	MECHANICAL SYSTEMS SUMMARY	1/20

PLAN # 14a

INTRODUCTION

Pinnacle Living (Capstan Village) Lands Inc. is preparing to develop a mixed use project including residential, office, hotel and retail on the following properties in Richmond BC:

- 3208 Carscallen Road & 3200 No. 3 Road
- This proposed project is the third and fourth of four phases of development under the rezoning application RZ-12-01001.

This project proposes 261 market units, 41 affordable housing units, shared indoor & outdoor amenity spaces, a 100 room hotel, retail, office and office space. The conceptual design of this project is consistent with the City of Richmond's Official Community Plan (OCP) and the City Centre Area Plan (CCAP).

This project encompasses sustainability from the outset to ensure the building and site achieves a minimum LEED Silver equivalency.



DESIGN RATIONALE

POLICY:
The proposed form of development is consistent with current municipal policies and guidelines. The following policies apply to this site:

- City of Richmond Zoning Bylaw ZMUBS Capstan Village (City Centre)
- City of Richmond Official Community Plan
- City of Richmond Capstan Village Area Plan
- Capstan Village Guidelines

SITING:

The proposed development is located on Lots C, D & E as described in the Zoning Bylaw ZMUBS and is identified as Phases 3 & 4 of a four phase mixed use development within the rezoning application RZ-12-01001.

Lot C is located to the west of Saxemith Road and north of the private road which will be constructed as part of the Phase 2 development. Lot D is located to the east of No. 3 Road and to the south of Sea Island Way.

URBAN FORM:

Following the guidelines encapsulated in the City Centre Area Plan (CCAP), this proposal provides a form of development that is consistent with the urban form of the City Centre. The building massing and form is designed to be consistent with the surrounding context and to provide a high quality urban environment. The building massing and form is designed to be consistent with the surrounding context and to provide a high quality urban environment.

The development follows the approved rezoning meeting with a stepped lower rising above a 4-story landscaped podium on the Phase 3 site, and 2 towers rising above a 1-story landscaped podium on the Phase 4 site. All 3 towers are organized to maintain the required 80' separation between towers. The towers are organized to maintain the required 80' separation between towers. The towers are organized to maintain the required 80' separation between towers.

The intent of the architectural treatment of the individual built forms is to create an attractive and identifiable image for the City Centre district, including strong horizontal elements offset by complementary vertical elements emphasizing the lower forms. Large outdoor spaces will be provided in the form of terraces and roof decks where building masses are setback.

The podium structure rises to 4 stories and is articulated by framed elements of various widths and heights, creating a stepped mass within the streetwall facade. Vertical elements interrupt the streetwall as they ascend from the towers above down to punctuate the entrances at street level.

The 3 tower heights range from 12 - 14 stories to a maximum height of 47 m geodetic as permitted in the ZMUBS bylaw and feature varying floor plates creating distinct tower forms. The towers are organized to maintain the required 80' separation between towers. The towers are organized to maintain the required 80' separation between towers.

DENSITY:
A minimum total residential floor area of 24,105 sqm is proposed, including 2,007 sqm provided for affordable housing units. In total, 322 units are proposed with 261 market-housing units and 41 affordable housing units. The affordable housing units for Phases 3 and 4 are dispersed over 5 market housing units. Additionally, 23 of the market units are provided with Basic Universal Housing features, while the remaining market units will provide for aging-in-place features as required by the OCP.

On Phase 4, indoor and outdoor amenity spaces are provided for the shared use of all residents in the development. The amenity spaces include a shared indoor amenity space, a shared outdoor amenity space, and a shared outdoor amenity space. The amenity spaces include a shared indoor amenity space, a shared outdoor amenity space, and a shared outdoor amenity space.

MATERIALS:
A material palette that contributes to the village character by maintaining continuity yet varying the materials and textures is proposed. The material palette includes a mix of materials and textures that contribute to the village character by maintaining continuity yet varying the materials and textures.

TRAFFIC / PARKING:
Parking is provided on Phase 3 within a 4-level parking structure, two of which are below grade. Access is provided at grade level, via the auto-court on Phase 4. Parking is provided on Phase 4 within a 2-level parking structure located below grade. The parking structure for Phases 2, 3 and 4 is designed to be consistent with the surrounding context and to provide a high quality urban environment.

The Zoning Bylaw ZMUBS allows for the minimum number of required non-residential parking spaces on Phase 4 to be reduced by 25% and the minimum number of total required residential visitor spaces to be reduced by 60%.

Bicycle parking is provided as required by the zoning bylaws including electrical outlets provided to service 10% of the resident bike spaces.

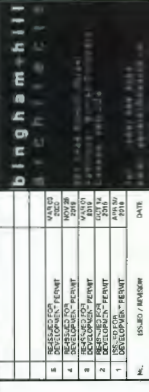
All areas located below the flood plain level (2.9 geodetic) will be serviced by water as required by the City Zoning Bylaws.

LEED:
This project is proposed to meet a minimum LEED Silver equivalency.

OPTED:
OPTED design strategies implemented in this proposal include surveillance, territorially, lighting and landscaping. The public open spaces, including sidewalks, bike paths, plazas, and the pedestrian green link will be visually open and well lit, with units fronting these spaces to provide oversight.

Units at street level are separated from the public realm by landscaped planters, quercus, and other landscaping. The public open spaces, including sidewalks, bike paths, plazas, and the pedestrian green link will be visually open and well lit, with units fronting these spaces to provide oversight. The courtyard and outdoor gardens will also be visually open and well lit with multiple means of egress provided. The parking structure and lobbies are designed to minimize above and below ground parking. The parking structure will be painted to provide a high quality urban environment. In elevator lobbies will be provided in accordance with the required building code equivalents.

PINNACLE LIVING @ CAPSTAN VILLAGE
PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
RICHMOND, BRITISH COLUMBIA
for: **PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.**

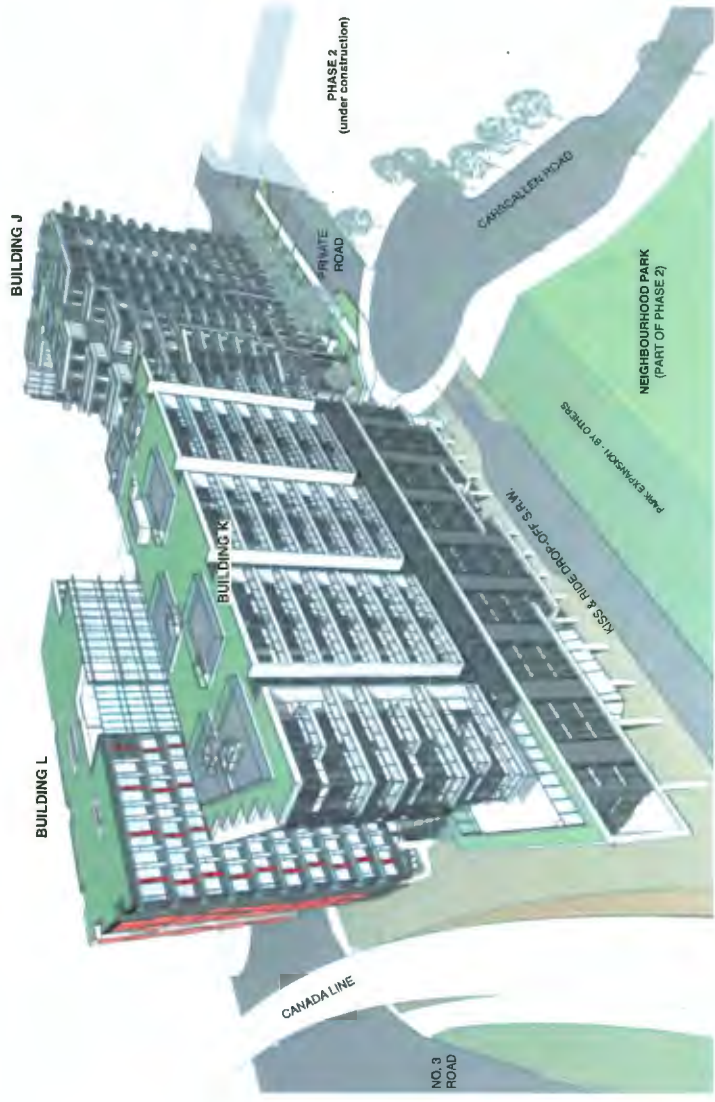


INTRODUCTION RATIONALE & LOCATION MAP

PROJECT #	1705	DRAWING NUMBER	PLAN #
DATE		DATE	1b
DESIGNER		CHECKED	



AERIAL VIEW FROM NORTHWEST



AERIAL VIEW FROM SOUTHWEST

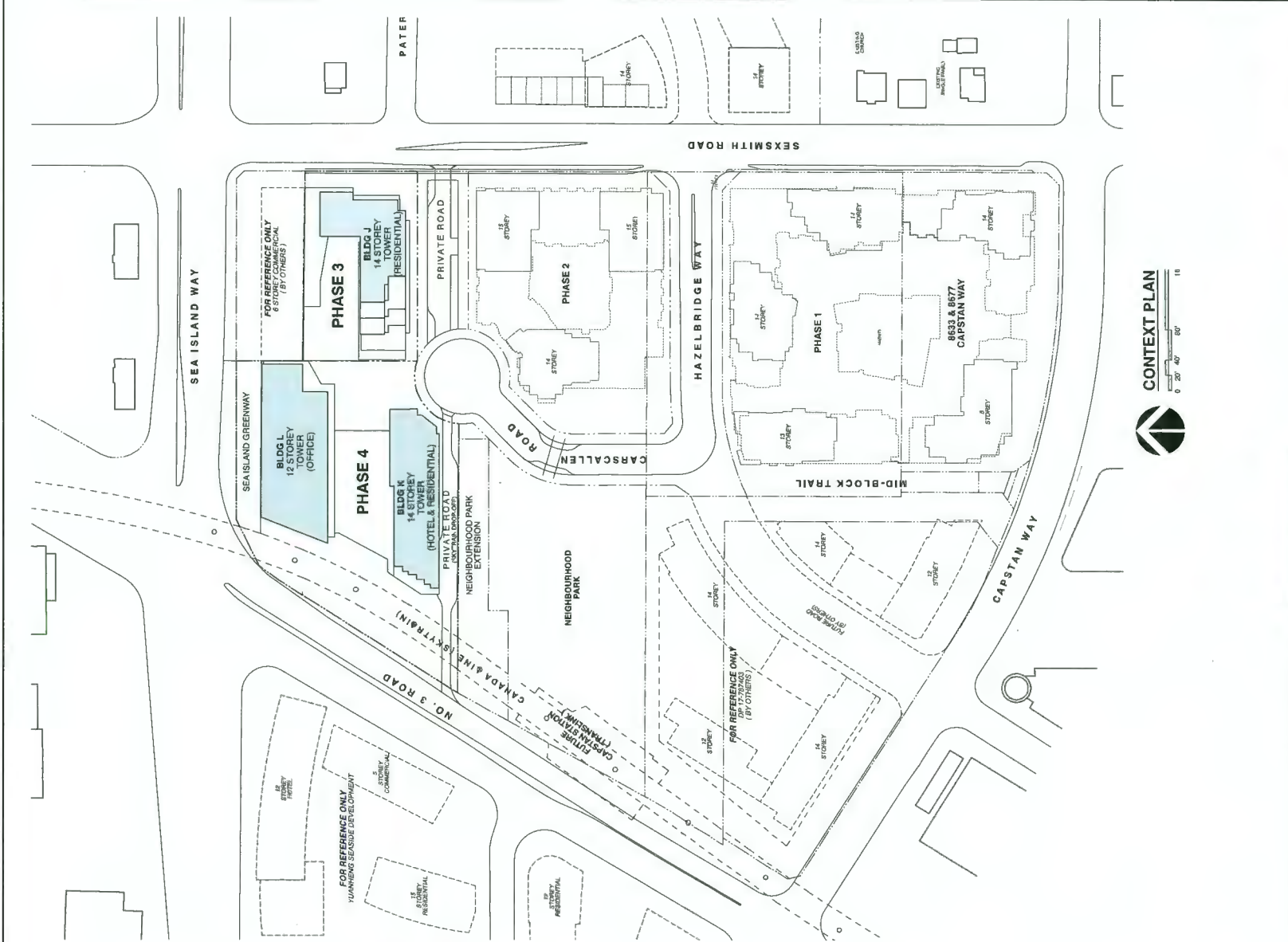
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

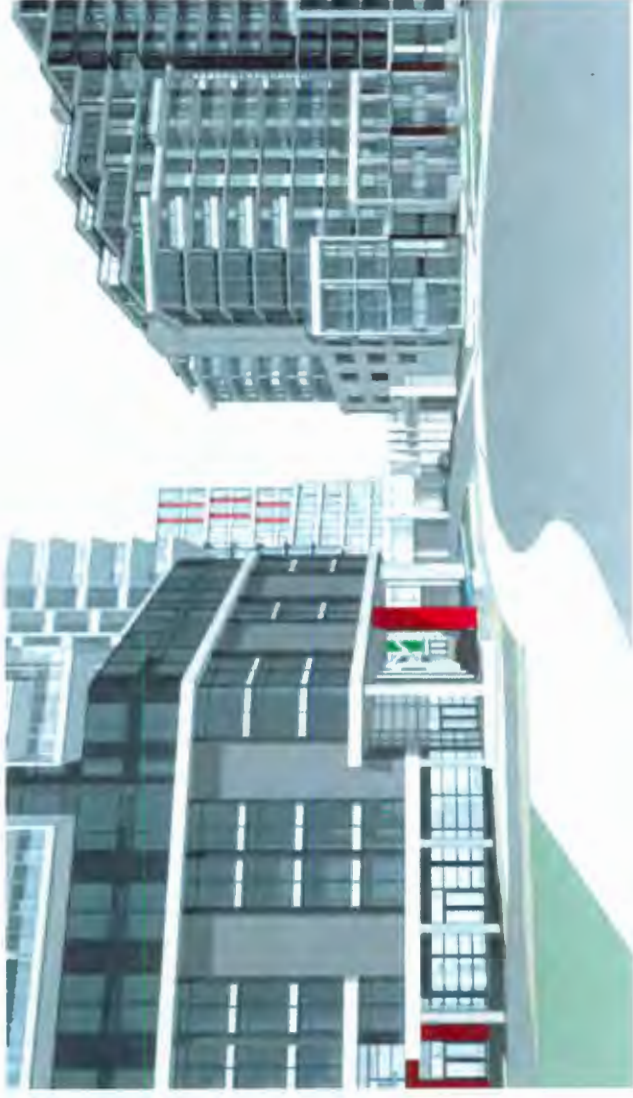
NO.	ISSUES / REVISIONS	DATE
1	ISSUES / REVISIONS	
2	ISSUES / REVISIONS	
3	ISSUES / REVISIONS	
4	ISSUES / REVISIONS	
5	ISSUES / REVISIONS	
6	ISSUES / REVISIONS	
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9	ISSUES / REVISIONS	
10	ISSUES / REVISIONS	

bingham hill
 ARCHITECTS

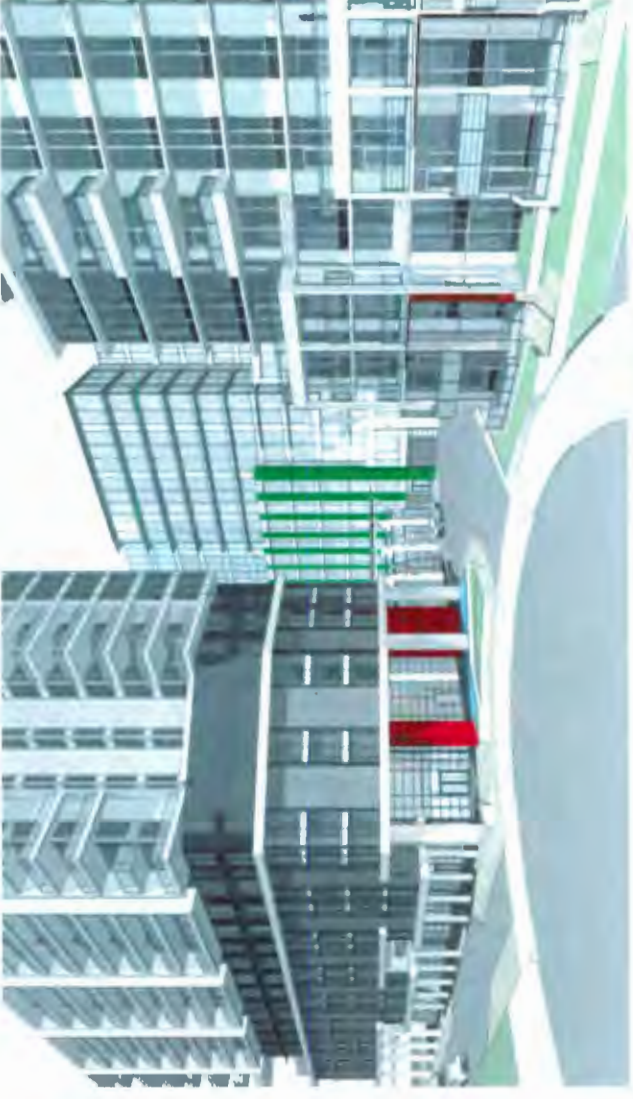
SITE MASSING & CONTEXT PLAN

PROJECT NO.	1706	DATE	2018.07.11
SCALE	1:1000	PLAN #	2b
DESIGNED BY		CHECKED BY	
DRAWN BY		DATE	

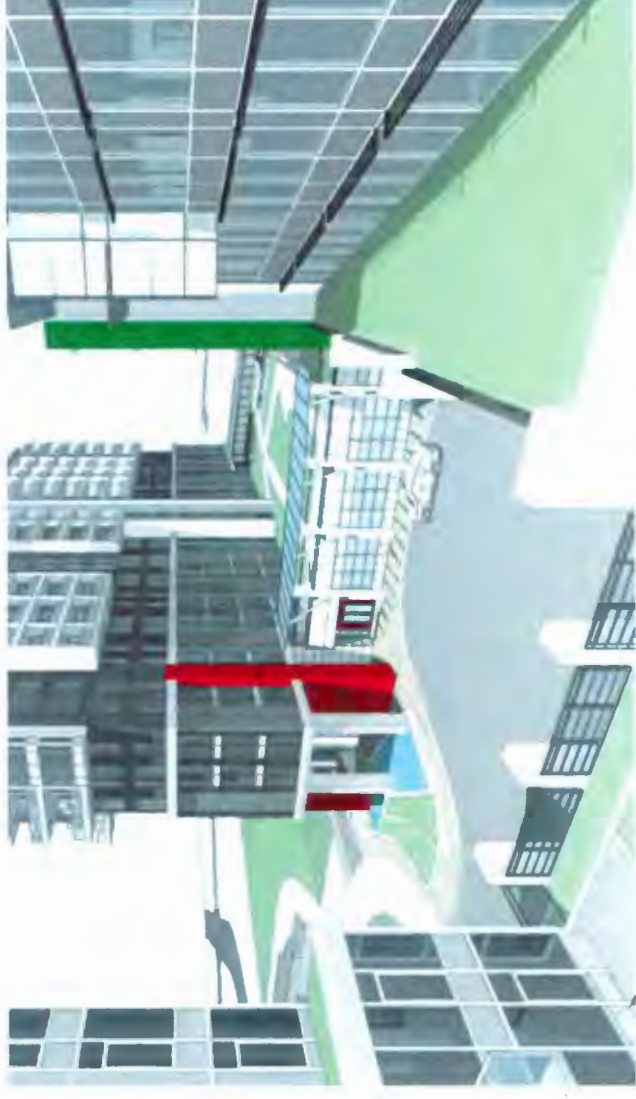




VIEW TO AUTOCOURT FROM SOUTHWEST



VIEW TO AUTOCOURT FROM SOUTHEAST

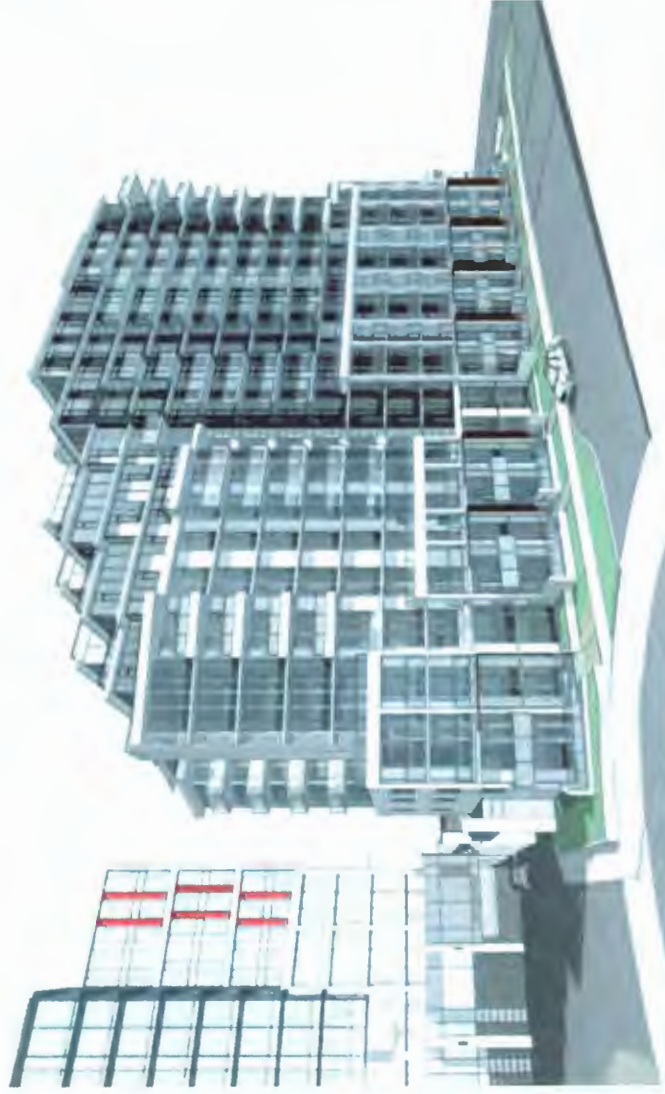


VIEW TO AUTOCOURT FROM NORTHEAST

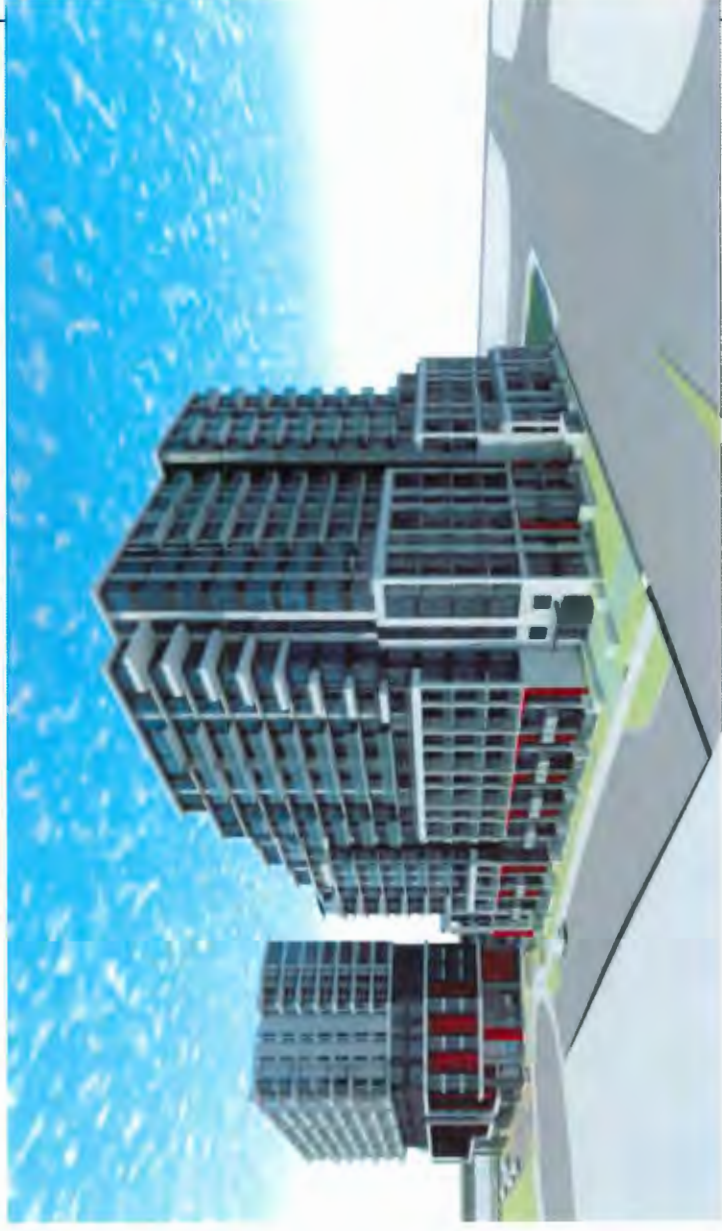
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	ISSUED / REVISION	DATE
1	REVISION: PERMIT	2018
2	REVISION: PERMIT	2018
3	REVISION: PERMIT	2018
4	REVISION: PERMIT	2018
5	REVISION: PERMIT	2018
6	REVISION: PERMIT	2018

3D VIEWS	
DATE	2018
SCALE	1/8" = 1'-0"
PROJECT	PINNACLE LIVING @ CAPSTAN VILLAGE
PLAN #	9a



VIEW TO BUILDING J (PHASE 3) FROM SOUTHWEST



VIEW TO BUILDING J (PHASE 3) FROM SOUTHEAST

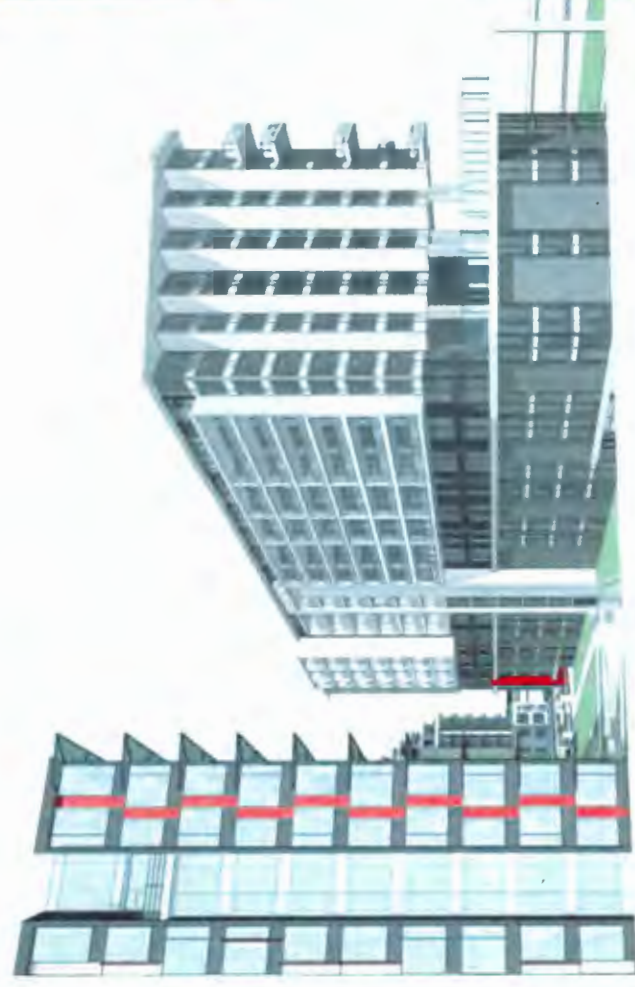
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	ISSUE / REVISION	DATE
1	SCHEMATIC PRESENT	
2	SCHEMATIC PRESENT	
3	SCHEMATIC PRESENT	
4	SCHEMATIC PRESENT	
5	SCHEMATIC PRESENT	
6	SCHEMATIC PRESENT	



3D VIEWS

PROJECT: PINNACLE LIVING @ CAPSTAN VILLAGE PHASE 3 & 4
 LOCATION: 3208 CARSCALLLEN ROAD & 3200 NO. 3 ROAD, RICHMOND, BC
 SCALE: 1/8" = 1'-0"
 DRAWN: [Name]
 CHECKED: [Name]
 DATE: [Date]
 PLAN # **9b**



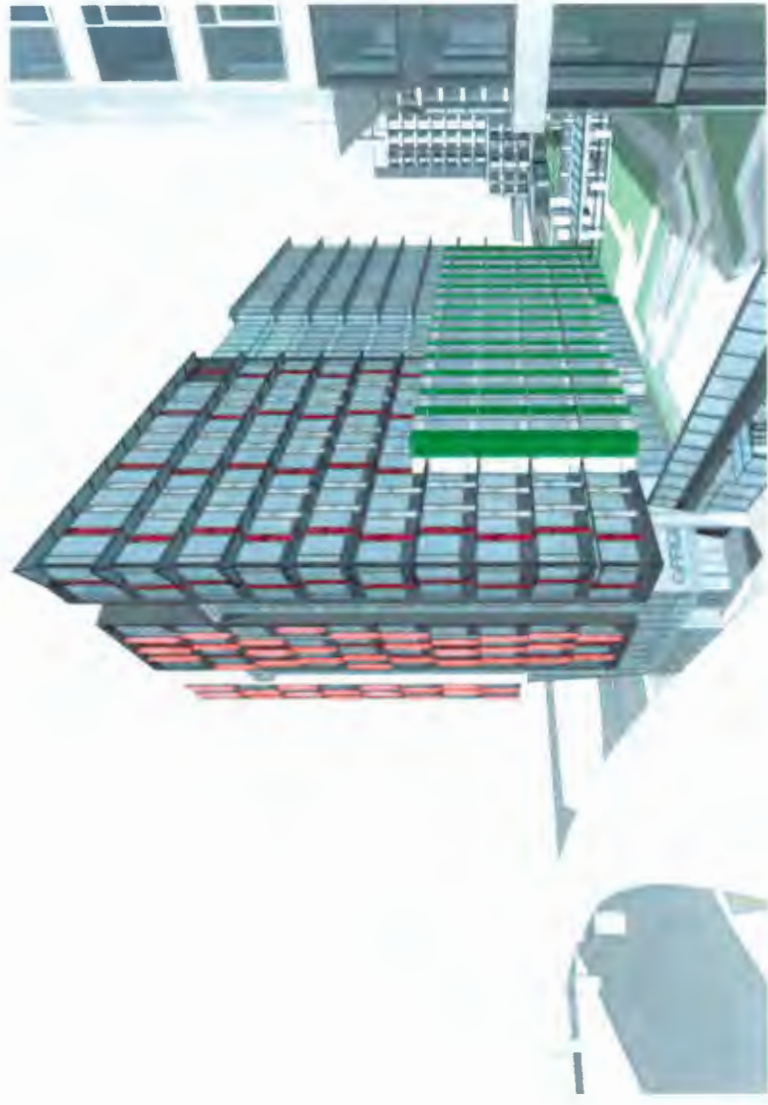
VIEW TO BUILDING K (PHASE 4) FROM NC



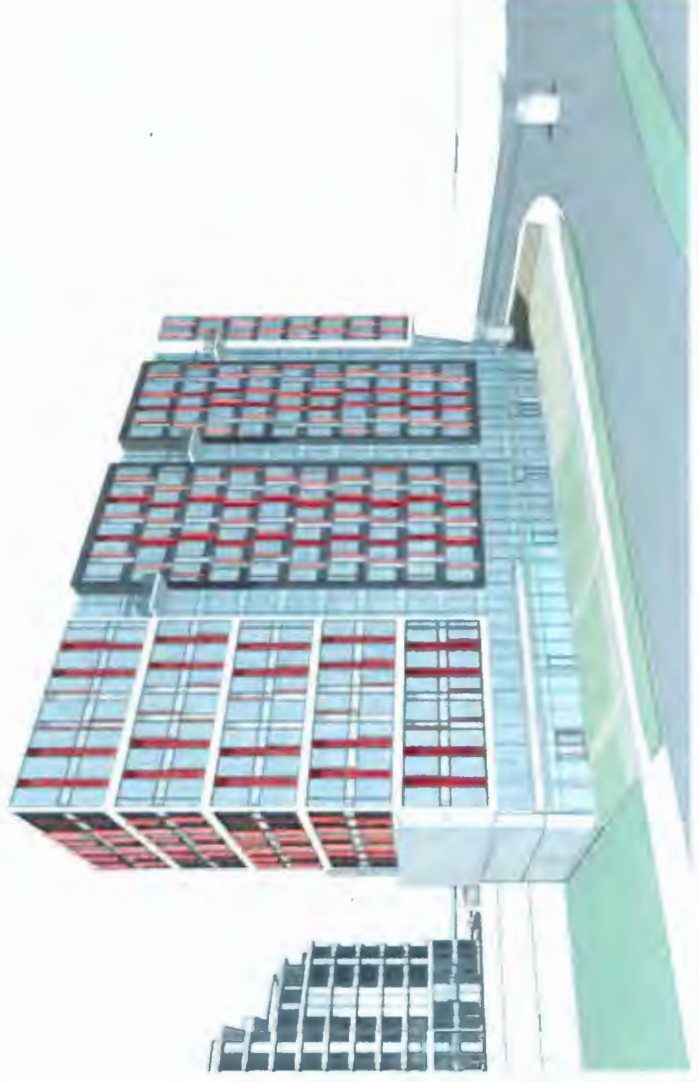
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	REVISION / REVISION	DATE
1	ISSUED FOR PERMIT	
2	ISSUED FOR PERMIT	
3	ISSUED FOR PERMIT	
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9	ISSUED FOR PERMIT	
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3D VIEWS	
PROJECT	PINNACLE LIVING @ CAPSTAN VILLAGE
SCALE	1/16" = 1'-0"
DATE	2024-08-15
DESIGNER	BRITISH COLUMBIA ARCHITECTS INC.
CHECKED	
PROJECT NUMBER	2024-08-15
PLAN #	9C



VIEW TO BUILDING L (PHASE 4) FROM SOUTHWEST



VIEW TO BUILDING L (PHASE 4) FROM NORTH

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	ISSUE / REVISION	DATE
1	REVISION: PERMIT	
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3	REVISION: PERMIT	
4	REVISION: PERMIT	
5	REVISION: PERMIT	
6	REVISION: PERMIT	

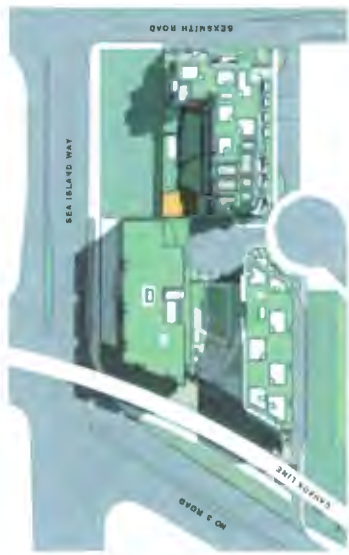
3D VIEWS	
PROJECT	1708
SCALE	1/8" = 1'-0"
DRAWN	
CHECKED	
DATE	
PLAN #	9d

ALL DIMENSIONS SHALL BE SURVEYED ON SITE

DP 18-821292: Reference Plan



SOLSTICE: 10am (PDT)



SOLSTICE: 12pm (PDT)



SOLSTICE: 2pm (PDT)



SOLSTICE: 4pm (PDT)



EQUINOX: 10am (PDT)



EQUINOX: 12pm (PDT)



EQUINOX: 2pm (PDT)

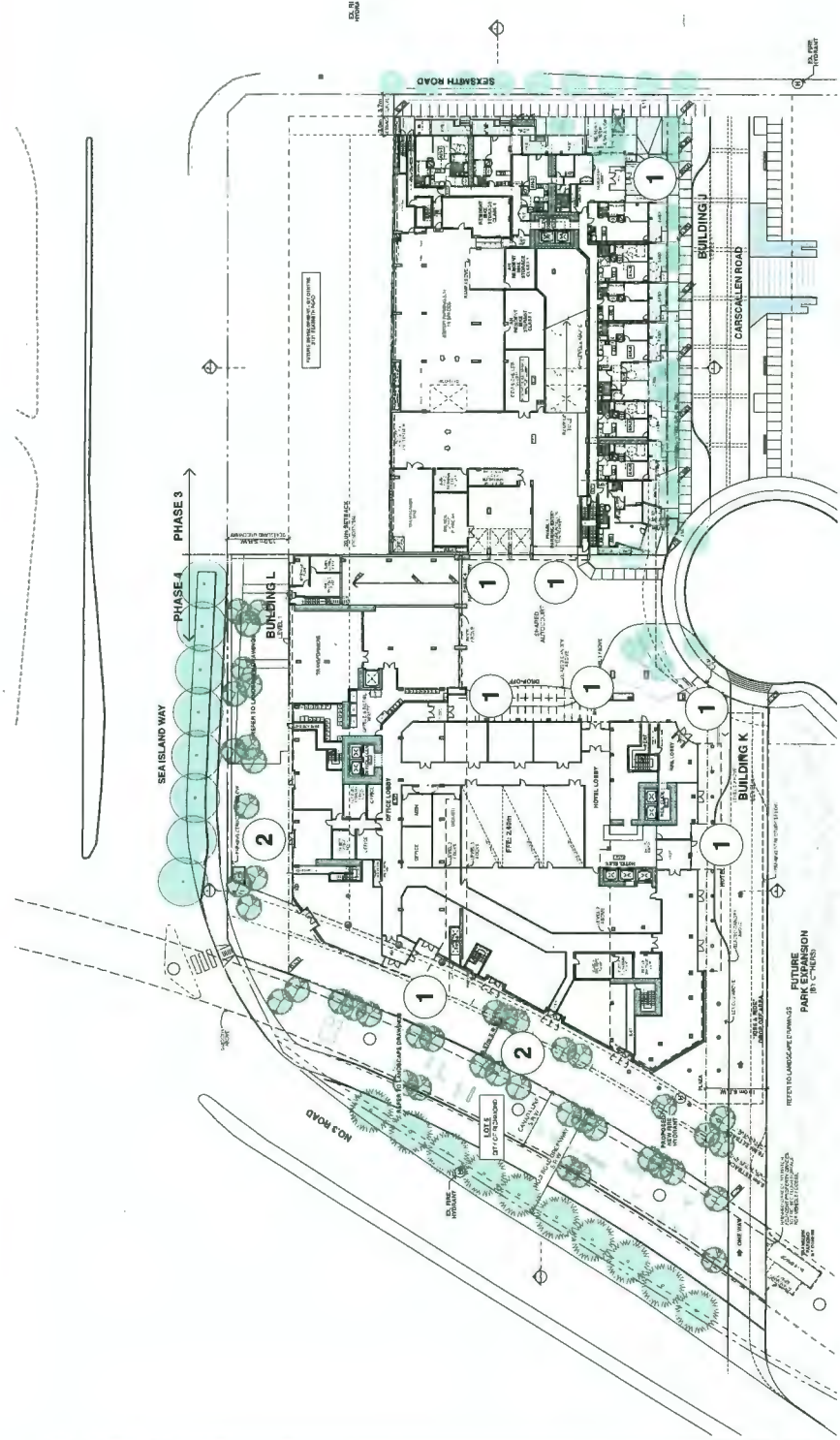


EQUINOX: 4pm (PDT)

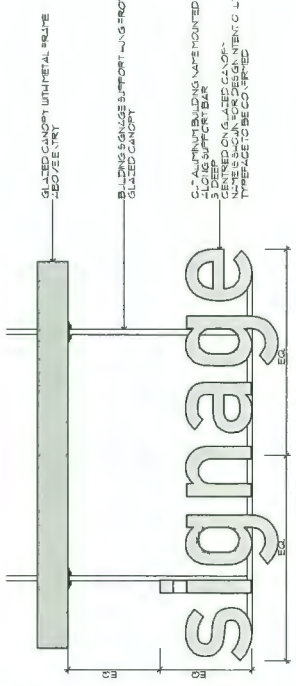
PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

NO.	DATE / REVISION	DATE
1	10/11/2018	10/11/2018
2	10/11/2018	10/11/2018
3	10/11/2018	10/11/2018
4	10/11/2018	10/11/2018
5	10/11/2018	10/11/2018
6	10/11/2018	10/11/2018

SHADOW STUDIES		DRAWING NUMBER	
DATE	1708	PROJECT	PLAN #
SCALE		NO.	12a
DATE		NO.	
SCALE		NO.	
DATE		NO.	



SIGNAGE KEY PLAN (LEVEL 1)



PROPOSED SIGNAGE CONCEPT

- ① RESIDENTIAL / HOTEL / OFFICE / PARKING SIGNAGE
CUT ALUMINUM BUILDING NAME MOUNTED HORIZONTALLY TO UNDERSIDE OF SOFFIT / CANOPY.
- ② RETAIL SIGNAGE
CUSTOM ALUMINUM, STEEL OR WOOD SIGN MOUNTED ON A CONCRETE BASE AND INTEGRATED WITH LANDSCAPE DESIGN.

PINNACLE LIVING @ CAPSTAN VILLAGE
 PHASE 3 & 4: 3208 Carscallen Road & 3200 No. 3 Road
 RICHMOND, BRITISH COLUMBIA
 for: PINNACLE LIVING (CAPSTAN VILLAGE) LANDS INC.

bingham hill ARCHITECTURE		SIGNAGE CONCEPT		PROJECT NUMBER 1708		PLAN # 13a	
DATE	NO.	DESCRIPTION	BY	CHECKED	DATE	NO.	DESCRIPTION
	1	CONCEPT DESIGN					
	2	REVISIONS					
	3	REVISIONS					
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