



To: Mayor & Councillors
From: Wayne Craig
Director, Development
Date: July 21, 2020
File: RZ 18-829789
Re: Rezoning Application at 10431 No. 5 Road for Arterial Road Compact Two-Unit Dwellings

At the General Purposes Committee meeting held July 20, 2020, a request was made to identify the name of the applicant in Staff Reports in cases where a development application is submitted by a numbered company or by an authorized agent on behalf of the property owner.

This memo responds to that request by identifying the name of the applicant and the property owner associated with the application for rezoning at 10431 No. 5 Road, as follows:

- Applicant 1058085 BC Ltd. Inc. No. BC 1058085 (property owner)
Director Information - Sajid Syed Hassan
- Property Owner 1058085 BC Ltd.

If you have any questions about this memo, please contact me directly at 604-247-4625.

Wayne Craig
Director, Development
(604-247-4625)

WC/NA:blg

pc: SMT
Nathan Andrews, Planning Technician



To: General Purposes Committee

Date: July 6, 2020

From: Wayne Craig
Director, Development

File: RZ 18-829789

Re: **Application by 1058085 BC Ltd. for Rezoning at 10431 No. 5 Road from the “Single Detached (RS1/E)” Zone to the “Arterial Road Compact Two-Unit Dwellings (RCD)” Zone**

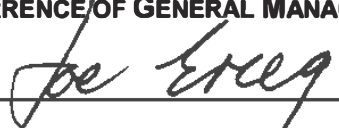
Staff Recommendation

1. That Richmond Zoning Bylaw 8500, Amendment Bylaw 10197 to create the “Arterial Road Compact Two-Unit Dwellings (RCD)” zone, be introduced and given First Reading; and
2. That Richmond Zoning Bylaw 8500, Amendment Bylaw 10195, for the rezoning of 10431 No. 5 Road from “Single Detached (RS1/E)” to “Arterial Road Compact Two-Unit Dwellings (RCD)”, be introduced and given First Reading.



Wayne Craig
Director, Development
(604-247-4625)

WC:na
Att. 7

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE/OF GENERAL MANAGER
Affordable Housing	<input checked="" type="checkbox"/>	

Staff Report

Origin

1058085 BC Ltd. has applied for permission to rezone 10431 No. 5 Road from “Single Detached (RS1/E)” to a newly created “Arterial Road Compact Two-Unit Dwellings (RCD)” zone in order to create two lots and develop two front-to-back duplexes with vehicle access from the rear lane. A location map of the subject site is attached (Attachment 1). A Development Permit application is required prior to rezoning adoption to address the form and character of the proposed duplexes.

A new “Arterial Road Compact Two-Unit Dwellings (RCD)” zone is also being introduced to support the development of Arterial Road Compact Lot Duplexes envisioned in the Arterial Road Land Use Policy.

Findings of Fact

A Development Application Data Sheet (Attachment 2) providing details about the development proposal is attached.

Subject Site Existing Housing Profile

There is an existing single-family dwelling on the property, which will be demolished. The applicant has indicated that the existing house does not contain a secondary suite.

Surrounding Development

- To the North: A single-family dwelling on property zoned “Single Detached (RS1/B)” and designated in the Arterial Road Land Use Policy for Arterial Road Compact Lot Duplex.
- To the South: A single-family dwelling on property zoned “Single Detached (RS1/E)” and designated in the Arterial Road Land Use Policy for Arterial Road Townhouse.
- To the East: Across No. 5 Road, property zoned “Agriculture (AG1)”.
- To the West: Across the lane, single-family dwellings on property zoned “Single Detached RS1/E”.

Related Policies & Studies

Official Community Plan (OCP) Designation

The OCP’s Land Use Map designation for this property is “Neighbourhood Residential”. This designation permits a range of residential uses including single-family and duplex buildings. This redevelopment proposal is consistent with this designation.

Arterial Road Policy

The Arterial Road Land Use Policy in the City's 2041 Official Community Plan Bylaw 9000 directs appropriate duplex developments onto certain major arterial roads outside the City Centre. The subject site is identified for "Arterial Road Compact Lot Duplex" on the Arterial Road Development Map and the proposal is in compliance with the Arterial Road Compact Lot Duplex Development Requirements under the Arterial Road Policy.

Lot Size Policy 5434

The subject property is located within the area governed by Single-Family Lot Size Policy 5434 (adopted by Council in 1990; amended in 1991 and 2006). This Policy permits rezoning and subdivision of lots along this section of No. 5 Road in accordance with compact lot single family or coach house zoning (i.e., a minimum width of 9 m with a maximum of two dwelling units per lot), provided there is access to an operational rear lane (Attachment 3).

The Single Family Lot Size Policy framework in general provides guidance with respect to the creation of new lots based on the lot width, depth, area and vehicle access. Lot Size Policy 5434 allows for the subdivision of the property to create two lots with a minimum width of 9 m provided vehicle access is from the rear lane. The subject application will create two lots with vehicle access from the rear lane consistent with the minimum subdivision standards in Lot Size Policy 5434.

The OCP Arterial Road Land Use Policy provides direction on the use of the subject property for residential duplexes on the same size lots as permitted under the Lot Size Policy. Compact lot duplexes will result in the same number of dwelling units as achieved via a rezoning to coach houses. Accordingly, the proposed rezoning is consistent with Lot Size Policy 5434.

Agricultural Land Reserve (ALR) Buffer Zone

A landscape buffer is required along the No. 5 Road frontage of this site. The buffer is intended to mitigate land use conflicts between the residential uses on the subject site and any agricultural land uses on the east side of No. 5 Road. The applicant is proposing a 4.0 m wide ALR buffer on site along the entire east property line.

In addition to the landscaping requirements of the buffer, a restrictive covenant will be registered on title, indicating that the landscaping within the ALR buffer cannot be removed or modified without the City's approval. The covenant would also identify that the landscape planting is intended to be a buffer to mitigate the impacts of noise, dust and odour generated from typical farm activities.

Floodplain Management Implementation Strategy

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on title is required prior to final adoption of the rezoning bylaw.

Public Consultation

A rezoning sign has been installed on the subject property. Staff have not received any comments from the public about the rezoning application in response to the placement of the rezoning sign on the property.

The applicant conducted additional consultation with neighbouring properties along No. 5 Road (10311, 10333, 10337, 10411, 10451, and 10471 No 5 Road). No feedback or concerns were raised by the neighbours in regards to the consultation letter (Attachment 4).

Should the Planning Committee endorse this application and Council grant First Reading to the rezoning bylaw, the bylaw will be forwarded to a Public Hearing, where any area resident or interested party will have an opportunity to comment.

Public notification for the Public Hearing will be provided as per the *Local Government Act*.

Analysis

Site Planning and Architectural Character

The applicant proposes one duplex on each of the two lots to be created through rezoning and subdivision, for a total of four dwelling units ranging between approximately 114 m² (1,228 ft²) to 120 m² (1,292 ft²) in size. The duplexes are proposed to be in a "front-back" configuration with each unit having access to a detached garaged accessed from the existing rear lane. Outdoor private spaces will be provided at the front or rear yard of each dwelling unit.

The development proposal for duplexes is consistent with the land use designations in the Official Community Plan. Duplexes are considered as an appropriate infill development form within existing single-family neighbourhoods along arterial roads as they contribute to a greater variety of ground-oriented home ownership opportunities. In keeping with the architectural character of nearby single-family developments, the duplexes will be two storeys and will feature a peaked roof.

A survey and architectural plans showing the proposed subdivision plan is provided in Attachment 5. Further details of the architectural form and character of the proposed development and landscape design will be reviewed and finalized through the Development Permit application process.

Existing Legal Encumbrances

A Land Tax Deferment Act Agreement is currently registered on title. This agreement allows the property owner to defer payment of taxes. All deferred taxes must be paid and the agreement must be discharged from title prior to the preparation and registration of any legal documents associated with this rezoning application.

Transportation and Site Access

In accordance with Residential Lot (Vehicular) Access Regulation Bylaw No. 7222, vehicle access to the proposed lots is to be from the existing rear lane only. Each dwelling unit will have two vehicle parking space provided by a single-vehicle garage and an additional surface parking space located on the driveway in front of each garage. As a condition to rezoning, a restrictive covenant will be required to ensure that vehicle access to the future lots will be from the lane. Upgrades to the portion of the lane that abuts the subject site will be completed as part of future construction by the City at a later date. Cash-in-lieu contribution for the future works will be required at subdivision stage.

British Columbia Ministry of Transportation and Infrastructure (MOTI) Referral

The subject site is located within 800 m of a controlled access highway, and the rezoning application was referred to the BC Ministry of Transportation and Infrastructure (MOTI). Preliminary approval of the subject rezoning was granted on December 18, 2019. Prior to final adoption of the rezoning bylaw, final approval from MOTI is required.

Tree Retention and Replacement

The applicant has submitted a Certified Arborist's Report, which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report assesses three on-site trees, two of which are bylaw-sized trees, four trees on neighbouring properties, and two street trees on City property.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report and supports the Arborist's findings, with the following comments:

- Four trees (tag #1, 2, 4 & 5) located on the neighbouring property to be retained and protected as per Arborist's Report recommendation. The level of tree protection is identified as part of the Tree Management Plan (Attachment 6).
- Two trees (tag #8 (21 cm caliper Apple tree) & #9 (28 cm caliper Plum tree)) located on City property within the rear lane are in poor condition and also conflict with the proposed driveway. It is recommended that removal of the two trees (tag #8 & #9) is completed and \$1,950 towards the City's Tree Compensation Fund is required for the approval of these two removals.
- Two trees (tag #6 (10 cm caliper Yew tree) & #7 (20 cm caliper Weeping birch)) located on the development site are in poor condition and should be removed and replaced.
- One tree (tag #3 (26 cm caliper Windmill Palm)) located on the development site, is in good condition and identified in the Arborist Report to be retained and protected.
- Replacement trees should be specified at 2:1 ratio as per the OCP.

Tree Replacement

The applicant wishes to remove two on-site trees (Trees #6 and #7). Only one tree (Tree #7) is bylaw sized, therefore the 2:1 replacement ratio would require a total of two replacement trees. The applicant has agreed to plant four new trees on each lot proposed. A detailed Landscape Plan, including Tree Management Plan, will provide further details on the proposed location and tree species and will be secured at the Development Permit stage.

Tree Protection

A total of one tree on-site is to be retained and protected. Four neighbouring trees that are to be protected do not require tree protection measures as critical root zones do not extend beyond the property line but are identified as part of the Tree Management Plan shown in Attachment 6.

To ensure that the trees identified for retention are protected at development stage, the applicant is required to complete the following items:

- Prior to final adoption of the rezoning bylaw, submission to the City of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones. The contract must include the scope of work required, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection, and a provision for the arborist to submit a post-construction impact assessment to the City for review.
- Prior to demolition of the existing dwelling on the subject site, installation of tree protection fencing around all trees to be retained. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin Tree-03 prior to any works being conducted on-site, and remain in place until construction and landscaping on-site is completed.

Affordable Housing Strategy

The applicant is required to comply with the Affordable Housing Strategy. In accordance with the Strategy, and a requirement as per the proposed "Arterial Road Compact Two-Unit Dwellings (RCD)" zone, a cash contribution of \$8.50 per buildable square foot (\$42,857.00) to the Affordable Housing Reserve is required prior to rezoning bylaw adoption.

Site Servicing and Frontage Improvements

Prior to subdivision, the developer will be required to:

- Provide a cash-in-lieu contribution in the amount of \$16,653, consistent with Subdivision and Development Bylaw 8751 for future construction of the rear lane where it abuts the subject property to the City's ultimate standard.
- Pay Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, and Address Assignment Fees.
- Pay current years property taxes (and following years taxes for subdivisions signed after September 1st) prior to subdivision completion.

- Enter into a Servicing Agreement (SA) to construct the servicing works outlined in Attachment 6 for a new 1.5 m boulevard behind the existing curb and gutter, a 1.5 m wide concrete sidewalk at the property line, and any other frontage improvements on No. 5 Road determined at the SA stage.
- Provide any SRWs necessitated by the engineering design and SA at no cost to the City, including a 1.5 m wide utility rights-of-way across the entire No. 5 Road frontage to accommodate storm Inspection Chambers and water meter boxes.

Development Permit Application

A Development Permit application is required to address the form and character of the proposed duplexes and must be processed to a satisfactory level prior to final adoption of the rezoning bylaw. Through the Development Permit, the following issues are to be further examined:

- Compliance with Development Permit Guidelines for duplex projects in the 2041 Official Community Plan (OCP).
- Review of the architectural character, scale and massing to ensure that the proposed duplexes are well designed, fit well into the neighbourhood, and do not adversely impact adjacent homes.
- Review of aging-in-place features in all units and the provision of a convertible unit on each lot.
- Refinement of the proposed site grading to ensure survival of the protected tree, and to provide appropriate transition between the proposed development and adjacent existing developments.
- Refinement of landscape design, including the location and type of fence proposed along the front property line within the required Statutory Right-of-Way (SRW), the provision of a holding area for garbage/recycling material collection, and the size and species of on-site replacement trees to achieve an acceptable mix of conifer and deciduous trees on-site.

Additional issues may be identified as part of the Development Permit application review process.

Proposed "Arterial Road Compact Two-Unit Dwellings (RCD)" Zone

An amendment to the Richmond Zoning Bylaw 8500 is proposed to create the new "Arterial Road Compact Two-Unit Dwellings (RCD)" zone in order to allow front to back duplexes be developed along arterial roads, as supported by the Arterial Road Land Use Policy.

The proposed "Arterial Road Compact Two-Unit Dwellings (RCD)" zone is drafted based on the Arterial Road Duplex/Triplex Development and Compact Lot Duplex Requirements under the Arterial Road Land Use Policy and the "Single Detached (RS)" zone. Provisions related to density, minimum lot size and lot width are based on the arterial road duplex development requirements as approved by Council; provisions related to the lot coverage, building setbacks and building heights are drafted based on the "Single Detached (RS)" zone in order to ensure that

the form and character of duplexes along arterial road is compatible with the adjacent single-family dwellings.

Permitted Density

Maximum permitted density is proposed to be one two-unit housing unit per lot. The maximum floor area ratio (FAR) is "0.6" if the owner, at the time Council adopts a Zoning Amendment Bylaw to include the owner's lot in the RCD zone, contributes to the affordable housing reserve.

Lot Coverage

The lot coverage is 50% for buildings with no more than 70% of a lot may be occupied by buildings, structures and non-porous surfaces. 20% of the lot area in the "Arterial Road Compact Two-Unit Dwellings (RCD)" zone is restricted to landscaping with live plant material.

On-Site Parking

On-site vehicle parking shall be provided according to the standards set out in Section 7.0 of Zoning Bylaw 8500, except that the maximum driveway width shall be 6.0 m. For the purpose of this zone only, a driveway is defined as any non-porous surface of the lot that is used to provide space for vehicle parking or vehicle access to or from a public road or lane. Where residents of a single dwelling unit intend to use two parking spaces, the spaces may be provided in a tandem arrangement, with one standard parking space located behind the other.

Financial Impact or Economic Impact

The rezoning application results in an insignificant Operational Budget Impact (OBI) for off-site City infrastructure (such as roadworks, waterworks, storm sewers, sanitary sewers, street lights, street trees and traffic signals).

Conclusion

The proposal to develop two front-to-back duplexes (four units in total) is consistent with the objectives of the Arterial Road Land Use Policy in terms of land use, character, and density. Overall, the project is attractive and a good fit with the neighbourhood. Further review of the project design will be required to ensure a high quality project, and will be completed as part of the future Development Permit process. On this basis, it is recommended that Richmond Zoning Bylaw 8500, Amendment Bylaw 10197 and Amendment Bylaw 10195 be introduced and given First Reading.

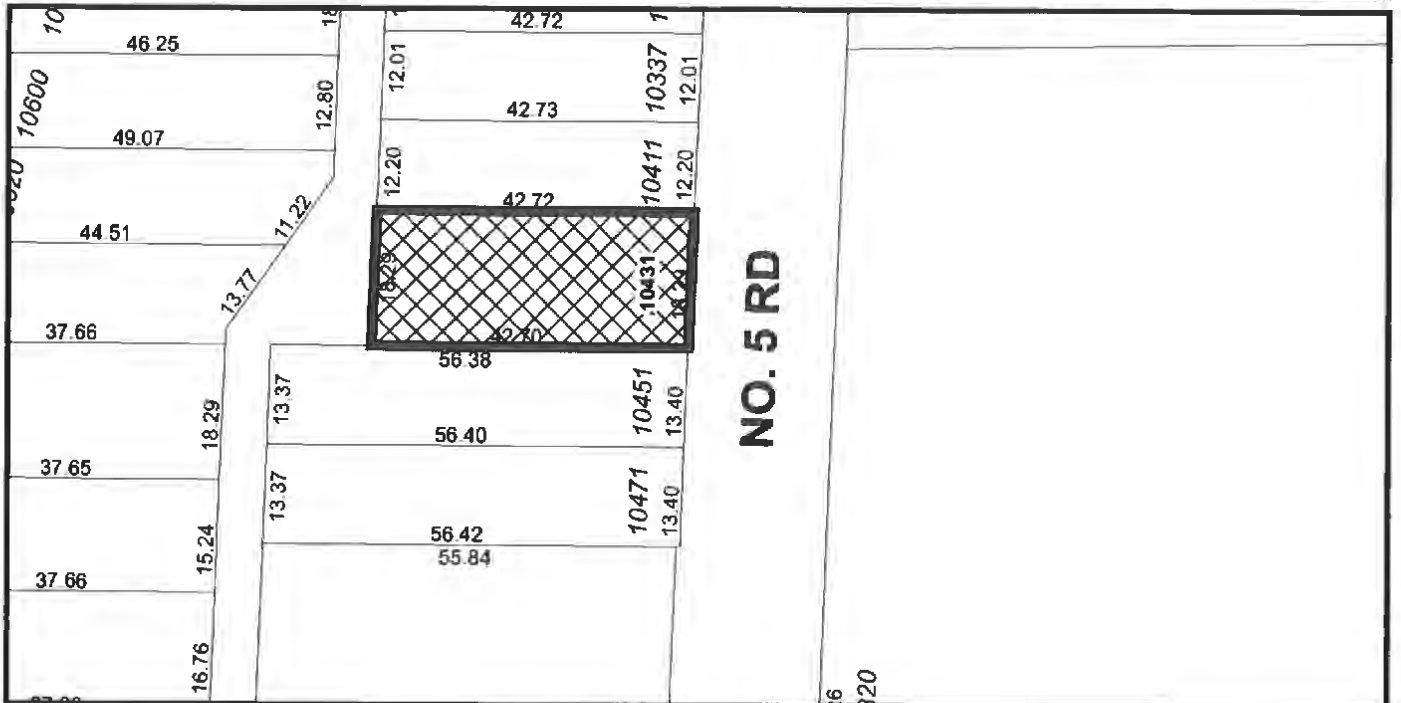


Nathan Andrews
Planning Technician
(604-247-4911)

NA:blg

Attachments:

- Attachment 1: Location Map/Aerial Photo
- Attachment 2: Development Application Data Sheet
- Attachment 3: Single-Family Lot Size Policy 5434
- Attachment 4: Neighbour Consultation Letter and Map
- Attachment 5: Survey and Proposed Subdivision Plan
- Attachment 6: Tree Management Plan
- Attachment 7: Rezoning Considerations



RZ 18-829789

Original Date: 09/19/18

Revision Date:

Note: Dimensions are in METRES



City of
Richmond



RZ 18-829789

Original Date: 09/20/18

Revision Date:

Note: Dimensions are in METRES



RZ 18-829789

Attachment 2

Address: 10431 No. 5 Road

Applicant: 1058085 BC Ltd.

Planning Area(s): Shellmont

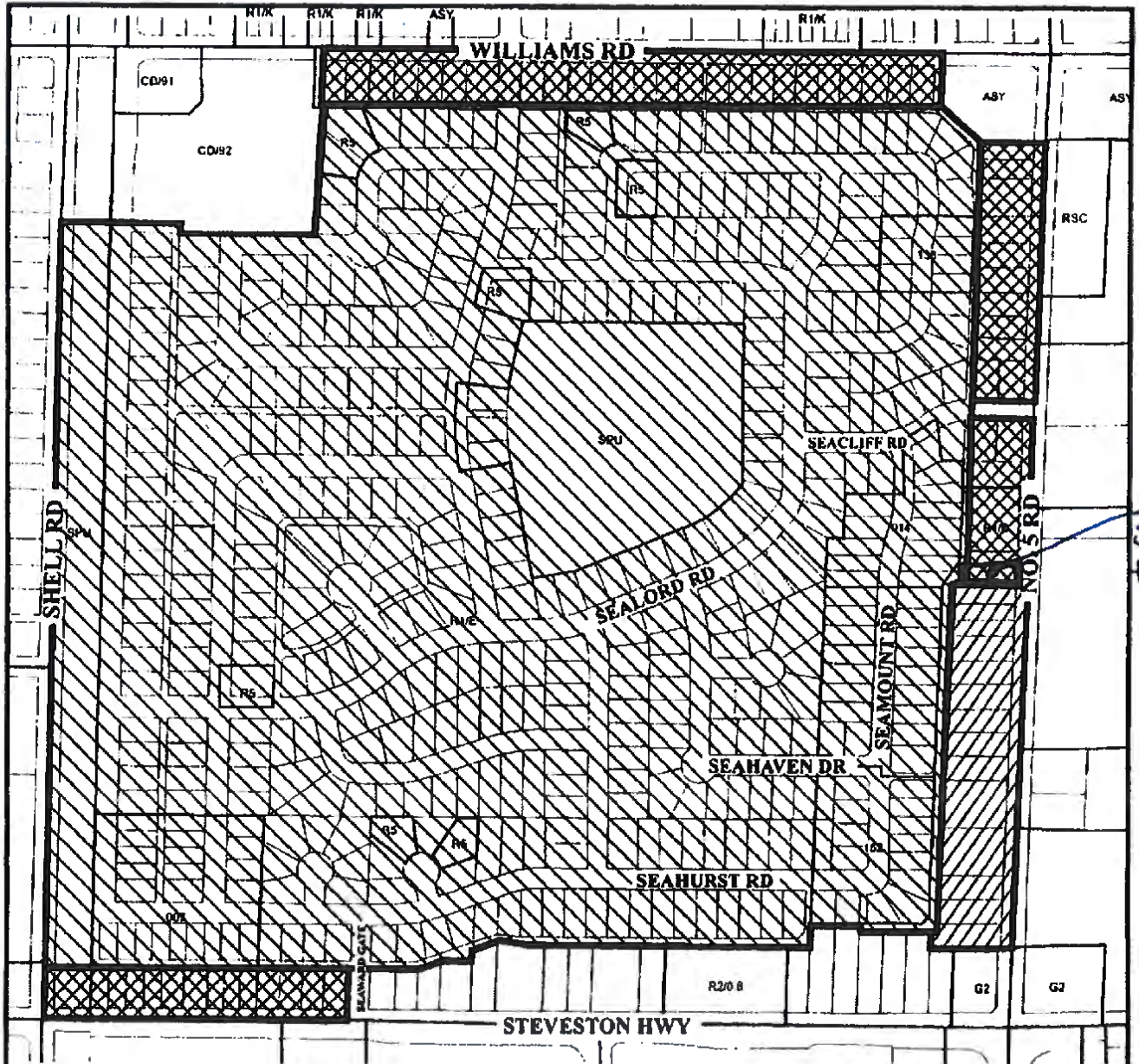
	Existing	Proposed
Owner:	1058085 BC Ltd	No change
Site Size (m²):	781 m ²	2 lots each 390.5 m ²
Land Uses:	Single family dwelling	Compact Duplex
OCP Designation:	Neighbourhood Residential	No change
Area Plan Designation:	Neighbourhood Residential	No change
702 Policy Designation:	Single Family Lot Size Policy 5434	No change
Zoning:	Single Detached (RS1/E)	Arterial Road Compact Lot Duplex (RCD)
Number of Units:	1	4
Other Designations:	Arterial Road Compact Lot Duplex	No change




On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	Lot A: 0.60 Lot B: 0.60	none permitted
Lot Coverage – Building:	Max. 50%	45% per lot	none
Lot Coverage – Non-porous Surfaces:	Max. 70%	61%	none
Lot Coverage – Live Landscaping:	Min. 20%	25%	none
Lot Coverage – Front Yard Landscaping:	Min. 50%	55%	none
Lot Size:	Min. 360 m ²	390.5 m ² per lot	none
Lot Dimensions (m):	Width: Min. 9.0 m Depth: Min. 40.0 m	Width: 9.15 m per lot Depth: 42.71 m per lot	none
Setback – Front Yard:	Min. 6.0 m	6.3 m	none
Setback – Front Yard – Accessory Buildings:	Min. 15.0 m	31.1 m	none
Setback – Interior Side Yard:	Min. 1.2 m	1.2 m	none
Setback – Exterior Side Yard:	Min. 3.0 m	N/A	none
Setback – Rear Yard – Principal Building:	Min. 10.0 m	14.8 m	none

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Setback – Rear Yard – Principal Garage/Carport:	Within 1.2 m and 12.5 m	Within 5.5 m and 11.6 m	none
Height (m) – Principal Building:	Max. 2 ½ storeys or 9.0 m, whichever is less	8.05 m	none
Height (m) – Accessory Structures:	Max. 9.0 m	4.41 m	none
On-site Vehicle Parking Spaces:	2 spaces per dwelling unit	2 spaces per dwelling unit (8 spaces total)	none
Tandem Parking Spaces:	1 tandem parking space per dwelling	1 tandem parking space per dwelling	none

Other: Tree replacement compensation required for loss of significant trees.

* Preliminary estimate; not inclusive of garage; exact building size to be determined through zoning bylaw compliance review at Building Permit stage.



-  Subdivision permitted as per **R1/E** (18 m wide lots)
-  Subdivision permitted as per **R1-0.6 or R/9**
(access to lane only) (No Multiple-family residential development is permitted.)
-  Subdivision permitted as per **R1/B**



Policy 5434
Section 36-4-6

Adopted Date: 02/19/1990

Amended Date: 11/18/1991
10/16/2006

Subject: Rezoning of 10431 No 5 Road Richmond BC

Respected Home Owner

I am the owner of 10431 No 5 Road Richmond BC. I am writing his letter to get you informed about the development of the above property as we applied to City of Richmond to Rezone & Subdivide the lot from Single Detached (RS1/E) to make 2 Compact Duplex lots with vehicle access from an existing lane.

This letter is just an information to you as a Neighbour If you have any questions and concerns you can Contact my self or City of Richmond Planner

Natalie Cho

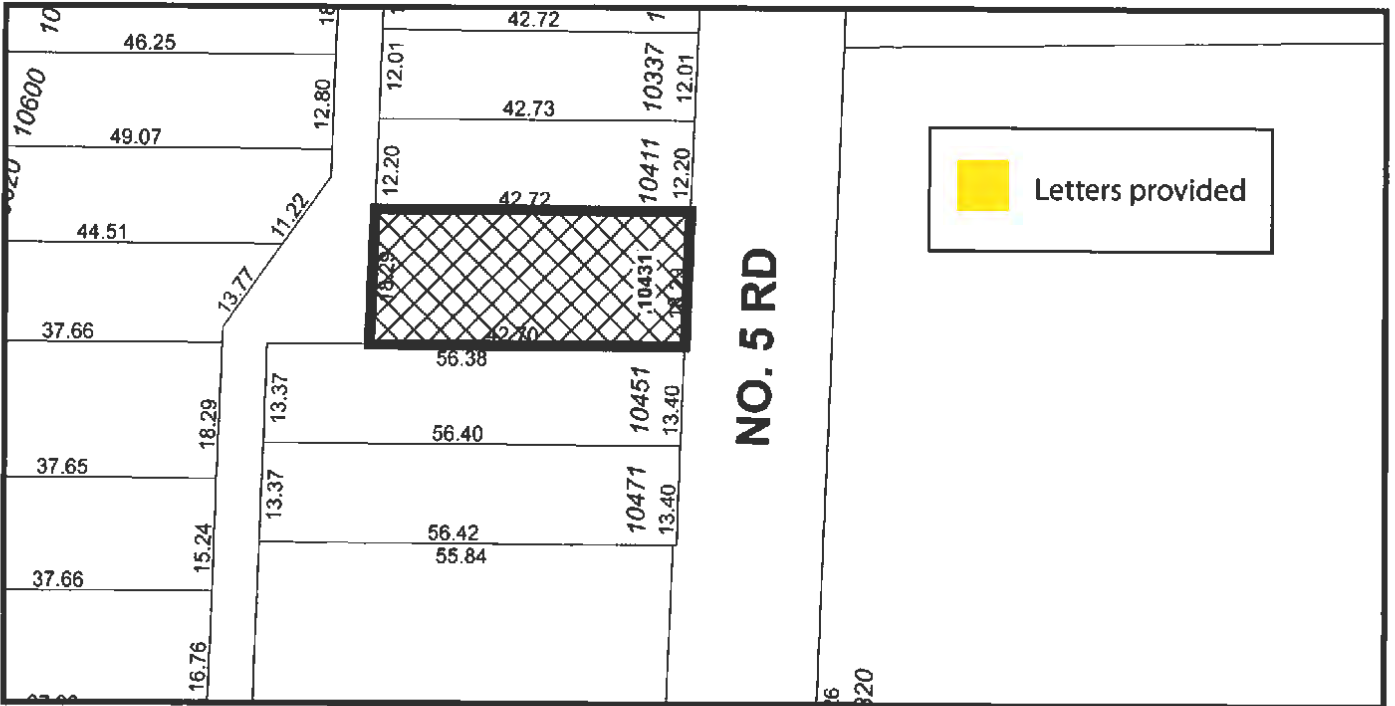
Planning Technician
Development Applications
City of Richmond
Tel: 604-276-4193
Email: NCho@richmond.ca
www.richmond.ca

Thanks & Regards

Syed Sajid Hassan
(Cell) 7788856434
1058085 BC LTD



City of Richmond



RZ 18-829789

Original Date: 09/19/18

Revision Date: 06/30/20

Note: Dimensions are in METRES

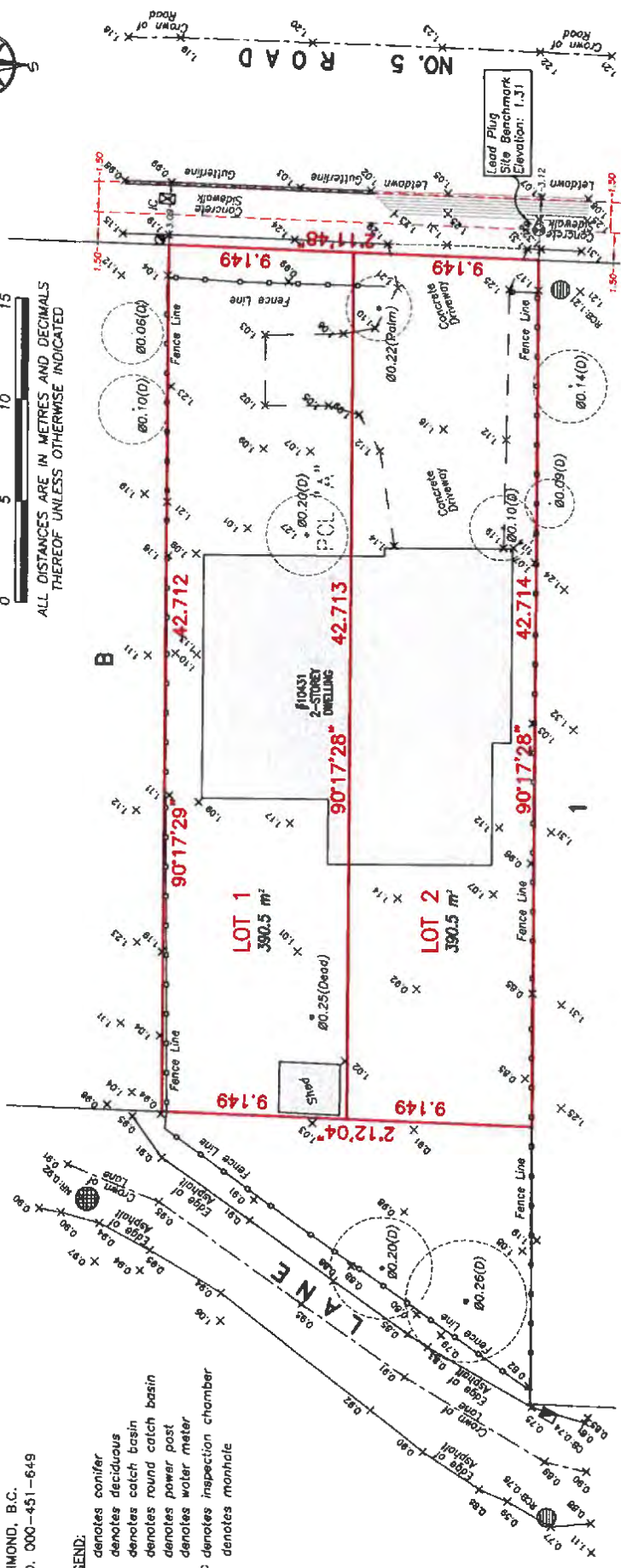
**TOPOGRAPHIC SURVEY AND PROPOSED SUBDIVISION OF
 PARCEL "A" (RD34577E) LOT 356 SECTION 36 BLOCK 4 NORTH RANGE 6 WEST
 NEW WESTMINSTER DISTRICT PLAN 44778**

#10431 NO. 5 ROAD,
 RICHMOND, B.C.
 P.I.D. 000-451-649

- LEGEND:**
- (C) denotes conifer
 - (D) denotes deciduous
 - ☐ denotes catch basin
 - denotes round catch basin
 - ⊙ denotes power post
 - ⊕ denotes water meter
 - ⊗ denotes inspection chamber
 - denotes manhole

SCALE: 1:200

ALL DISTANCES ARE IN METRES AND DECIMALS
 THEREOF UNLESS OTHERWISE INDICATED



© copyright
 J. C. Tam and Associates
 Canada and B.C. Land Surveyor
 115 - 8833 Olin Crescent
 Richmond, B.C. V6X 3Z7
 Telephone: 214-8928
 Fax: 214-8929
 Email: officemate.com
 Website: www.jct.am.com
 Job No. 7229
 FB-356 P92-94
 Drawn By: CY/WK

NOTE:
 Elevations shown are based on
 City of Richmond HP
 Benchmark network.
 Benchmark: HP #190
 Control Monument 94H1624
 Elevation: 2.353m
 Benchmark: HP #191
 Control Monument 02H2403
 Elevation: 1.664m

NOTE:
 Use site Benchmark Lead Plug for
 construction elevation control.

NOTE:
 This property is encumbered by Statutory
 Right of Way K124942.

CERTIFIED CORRECT:
 LOT DIMENSION ACCORDING TO
 FIELD SURVEY.

JOHNSON C. TAM, B.C.L.S., C.L.S.
 NOVEMBER 25th, 2019.

DEG No. 7229-TOPO-03

SUBDIVISION AND REZONING FOR PROPOSED COMPACT TWO UNIT DWELLING (RCD) AT 10431 NO. 5 ROAD, RICHMOND, BC

DEVELOPMENT DATA

- (A) OMC ADDRESS: 10431 NO. 5 ROAD, RICHMOND, BC
- (B) LEGAL DESCRIPTION: "A" LOT, 356 SECTION 36 BLOCK 4 NORTH, RANGE 6 WEST, WMD 44778
- (C) LOT AREA: 390.5 SM (4,203 SF) FOR EACH LOT AFTER SUBDIVISION. ORIGINAL LOT SIZE 781 SM
- (D) ZONING USE: CURRENT: RS1/F. PROPOSED: RCD

CURRENT ZONING (UNDER RS1/E ZONING) PROPOSED (RCD)

(E) FLOOR AREA RATIO: 0.35 TO 451.5 SM
 0.3 TO REST OF SITE AREA

0.6 PER LOT (WITH AFFORDABLE HOUSING CONTRIBUTION)
 TOTAL GROSS FLOOR AREA: 234.25M (2521 SQ. FT.) PER LOT
 TOTAL GFA 468.5SM (5041 SQ. FT.) FOR 2 LOTS
 FOR EACH LOT
 COVERED PORCH 10% = 23.4 SM (252 SF)
 GARAGE 25 SM PER UNIT (269 SF)

(F) NUMBER OF UNITS: 1 PER LOT
 MAX - 45%

2 PER LOT
 SITE COVER - MAX 50% (2101 SF)
 PORCHES AREA - MIN 30%
 LIFE PLANT - MIN 20%
 LIFE PLANT AT FRONTYARD - MIN 50%

(G) BUILDING HEIGHT: MAX HEIGHT - 8M
 FRONT YARD - 6M
 SIDE YARD - 2M
 REAR YARD - 6M

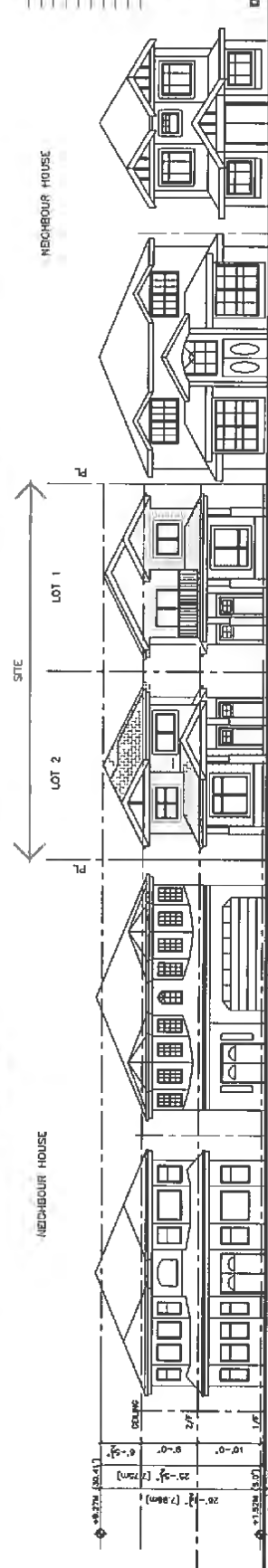
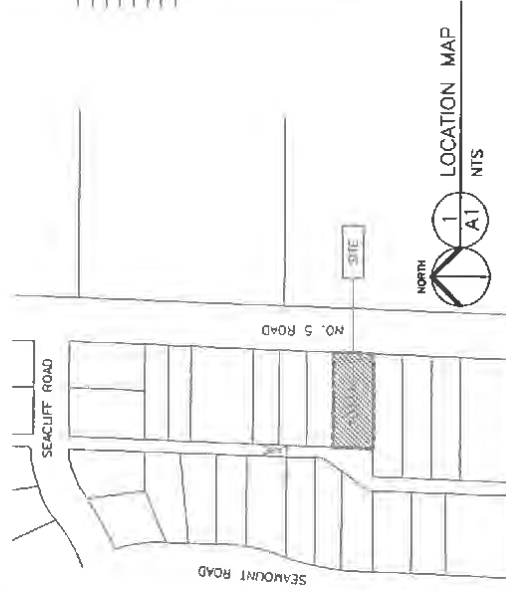
45% (1867 SQ. FT. / 4203 SQ. FT. PER LOT)
 30% REFER TO LANDSCAPE
 25% REFER TO LANDSCAPE
 60% REFER TO LANDSCAPE

(H) SETBACK: MAX MAIN BUILDING HEIGHT - 9M
 MAX GARAGE HEIGHT - 4M
 FRONT YARD - 6M
 SIDE YARD - 1.2M
 REAR YARD - 10M

BUILDING HEIGHT - 8.05M
 GARAGE HEIGHT - 3.97M
 FRONT YARD - 6.3M (20'6")
 NORTH SIDE YARD - 1.27M (4'2")
 SOUTH SIDE YARD - 1.27M (4'2")
 REAR YARD - 14.8M (48'7")
 GARAGE - BETWEEN 5.5M TO 11.6M FROM REAR YARD
 GARAGE - 1.5M SIDE YARD

(I) PARKING: 2 PER DWELLING UNIT
 VISITOR - NO REQUIREMENT

2 REGULAR PARKING IN TANGIBLE ARRANGEMENT PER UNIT



1 CONTEXT ELEVATION ALONG NO. 5 ROAD
 A1 1/8" TO 1'-0"

ERIC LAW ARCHITECT

2025 WEST 10TH AVENUE, SUITE 200
 VANCOUVER, BC V6P 1M1
 TEL: 604.681.1111
 WWW.ERICLAWARCHITECT.COM

1. PREPARED BY: ERIC LAW ARCHITECT
 2. DATE: 12/30/2019

PROPOSED COMPACT DUPLEX
 10431 NO. 5 RD
 RICHMOND BC
 DEVELOPMENT SUMMARY

PROJECT NUMBER: 18-0-08
 ISSUED: 12/30/2019
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 18-08_18C_111325-18-08

A1
 RETONE

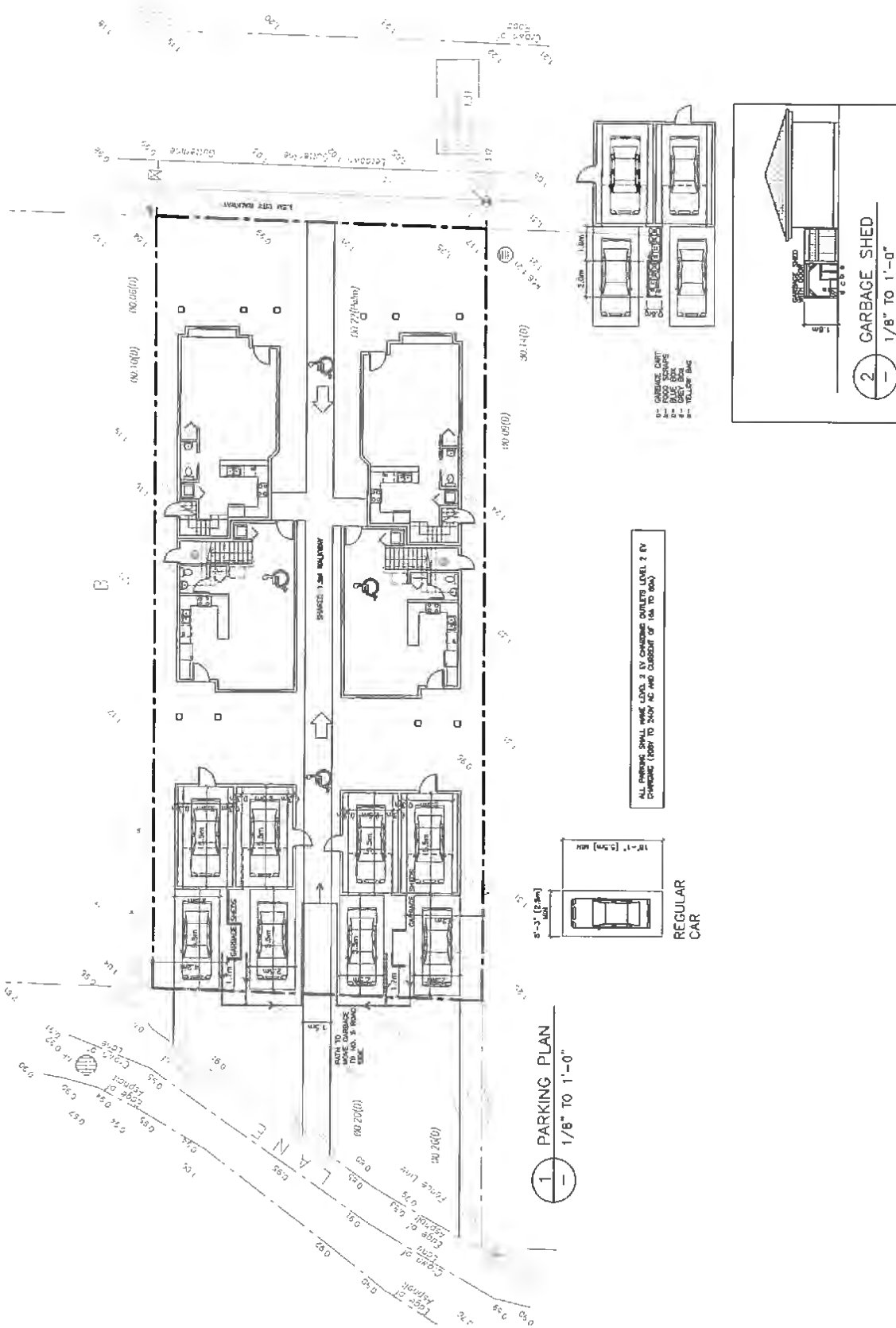
RZ 18-829789

**PROPOSED
COMPACT DUPLEX
10451 NO. 5 RD
RICHMOND BC
PARKING PLAN**

PROJECT NUMBER: 18-08
DATE: 12.30.2019
DRAWN BY: EL
CHECKED BY: EL
F. EMAIL: 18-08-191530-RF-DWG

A2A

RZ 18-829789



1 PARKING PLAN
1/8" TO 1'-0"

**PROPOSED
COMPACT DUPLEX
10431 NO. 5 RD
RICHMOND BC
CONVERTIBLE UNIT**

PROJECT NUMBER: 19-08-DW-01
DATE: 12-30-2019
DRAWN BY: [NAME]
CHECKED BY: [NAME]
FILE NAME: 19-08-DW-191230-01.DWG

A4

4/17/2019

DOORS & DOORWAYS	<p>CONVERTIBLE UNIT SPECIFICATIONS</p> <ul style="list-style-type: none"> ENTRY DOORS ARE 4' WIDE MIN. BUT SHALL BE 3'6" MIN. AND HAVE CLEAR ACCESS. ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1'20" MIN. DEPTH BY 1000 MM MIN. ON EITHER SIDE OF DOOR. ALL DOORS SHALL BE PROVIDED FOR FUTURE AUTOMATIC DOOR OPERATION. ALL DOORS SHALL BE PROVIDED WITH 13'00" MIN. CLEARANCE BETWEEN THE DOOR AND THE DOOR FRAME. ALL DOORS AND DOORWAYS SHALL BE PROVIDED WITH FINISH THRESHOLDS MAX. 13'00" MIN. HEIGHT. DEMONSTRATE WHENEVER ACCESS BETWEEN THE HALLWAY AND ROOMS AND UNDER DOORWAYS IS NECESSARY TO SECURE ACCESS WITH A FINISH THRESHOLD THAT DOES NOT HAVE ACCESSIBLE - ALL INTERIOR THRESHOLDS WITH FINISH THRESHOLDS WITH NO RAMPING TYPE. LEVER-TYPE HANDLES FOR ALL DOORS.
	<ul style="list-style-type: none"> ENTRY DOORS SHALL BE PROVIDED WITH FINISH THRESHOLDS MAX. 13'00" MIN. HEIGHT. DEMONSTRATE WHENEVER ACCESS BETWEEN THE HALLWAY AND ROOMS AND UNDER DOORWAYS IS NECESSARY TO SECURE ACCESS WITH A FINISH THRESHOLD THAT DOES NOT HAVE ACCESSIBLE - ALL INTERIOR THRESHOLDS WITH FINISH THRESHOLDS WITH NO RAMPING TYPE. LEVER-TYPE HANDLES FOR ALL DOORS.
VERTICAL CIRCULATION	<ul style="list-style-type: none"> STAIRS SHALL BE PROVIDED WITH FINISH THRESHOLDS MAX. 13'00" MIN. HEIGHT. DEMONSTRATE WHENEVER ACCESS BETWEEN THE HALLWAY AND ROOMS AND UNDER DOORWAYS IS NECESSARY TO SECURE ACCESS WITH A FINISH THRESHOLD THAT DOES NOT HAVE ACCESSIBLE - ALL INTERIOR THRESHOLDS WITH FINISH THRESHOLDS WITH NO RAMPING TYPE. LEVER-TYPE HANDLES FOR ALL DOORS.
HALLWAYS	<ul style="list-style-type: none"> MIN. 1' ACCESSIBLE PASSING SPACE WITH MIN. 4' GABRIEL WIDTH. ACCESS FROM GARAGE TO LIVING AREA MIN 800 MM CLEAR OPENING.
GARAGE	<ul style="list-style-type: none"> TILET CLEAR (GARAGE SPACE MIN. 1000 MM x 3' SEE MTD IN DRAWING). WALL ALLOWING FOR FUTURE GOLF BAG STORAGE AS TOLLETS AND SHOWER REINFORCED WITH 2' X 12' SOLID LUMBER IN ALL BATHRU, SHOWER AND TOLLET LOCATIONS. ALL DOORS SHALL BE PROVIDED WITH FINISH THRESHOLDS MAX. 13'00" MIN. HEIGHT. DEMONSTRATE WHENEVER ACCESS BETWEEN THE HALLWAY AND ROOMS AND UNDER DOORWAYS IS NECESSARY TO SECURE ACCESS WITH A FINISH THRESHOLD THAT DOES NOT HAVE ACCESSIBLE - ALL INTERIOR THRESHOLDS WITH FINISH THRESHOLDS WITH NO RAMPING TYPE. LEVER-TYPE HANDLES FOR ALL DOORS.
BATHROOM (MIN. 1)	<ul style="list-style-type: none"> MIN. 1' ACCESSIBLE PASSING SPACE WITH MIN. 4' GABRIEL WIDTH. ACCESS FROM GARAGE TO LIVING AREA MIN 800 MM CLEAR OPENING. TILET CLEAR (GARAGE SPACE MIN. 1000 MM x 3' SEE MTD IN DRAWING). WALL ALLOWING FOR FUTURE GOLF BAG STORAGE AS TOLLETS AND SHOWER REINFORCED WITH 2' X 12' SOLID LUMBER IN ALL BATHRU, SHOWER AND TOLLET LOCATIONS. ALL DOORS SHALL BE PROVIDED WITH FINISH THRESHOLDS MAX. 13'00" MIN. HEIGHT. DEMONSTRATE WHENEVER ACCESS BETWEEN THE HALLWAY AND ROOMS AND UNDER DOORWAYS IS NECESSARY TO SECURE ACCESS WITH A FINISH THRESHOLD THAT DOES NOT HAVE ACCESSIBLE - ALL INTERIOR THRESHOLDS WITH FINISH THRESHOLDS WITH NO RAMPING TYPE. LEVER-TYPE HANDLES FOR ALL DOORS.
KITCHEN TILET SHEDDIT	<ul style="list-style-type: none"> MIN. 1' ACCESSIBLE PASSING SPACE WITH MIN. 4' GABRIEL WIDTH. ACCESS FROM GARAGE TO LIVING AREA MIN 800 MM CLEAR OPENING. TILET CLEAR (GARAGE SPACE MIN. 1000 MM x 3' SEE MTD IN DRAWING). WALL ALLOWING FOR FUTURE GOLF BAG STORAGE AS TOLLETS AND SHOWER REINFORCED WITH 2' X 12' SOLID LUMBER IN ALL BATHRU, SHOWER AND TOLLET LOCATIONS. ALL DOORS SHALL BE PROVIDED WITH FINISH THRESHOLDS MAX. 13'00" MIN. HEIGHT. DEMONSTRATE WHENEVER ACCESS BETWEEN THE HALLWAY AND ROOMS AND UNDER DOORWAYS IS NECESSARY TO SECURE ACCESS WITH A FINISH THRESHOLD THAT DOES NOT HAVE ACCESSIBLE - ALL INTERIOR THRESHOLDS WITH FINISH THRESHOLDS WITH NO RAMPING TYPE. LEVER-TYPE HANDLES FOR ALL DOORS.
OUTLETS & SWITCHES	<ul style="list-style-type: none"> MIN. 1' ACCESSIBLE PASSING SPACE WITH MIN. 4' GABRIEL WIDTH. ACCESS FROM GARAGE TO LIVING AREA MIN 800 MM CLEAR OPENING. TILET CLEAR (GARAGE SPACE MIN. 1000 MM x 3' SEE MTD IN DRAWING). WALL ALLOWING FOR FUTURE GOLF BAG STORAGE AS TOLLETS AND SHOWER REINFORCED WITH 2' X 12' SOLID LUMBER IN ALL BATHRU, SHOWER AND TOLLET LOCATIONS. ALL DOORS SHALL BE PROVIDED WITH FINISH THRESHOLDS MAX. 13'00" MIN. HEIGHT. DEMONSTRATE WHENEVER ACCESS BETWEEN THE HALLWAY AND ROOMS AND UNDER DOORWAYS IS NECESSARY TO SECURE ACCESS WITH A FINISH THRESHOLD THAT DOES NOT HAVE ACCESSIBLE - ALL INTERIOR THRESHOLDS WITH FINISH THRESHOLDS WITH NO RAMPING TYPE. LEVER-TYPE HANDLES FOR ALL DOORS.

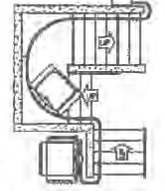
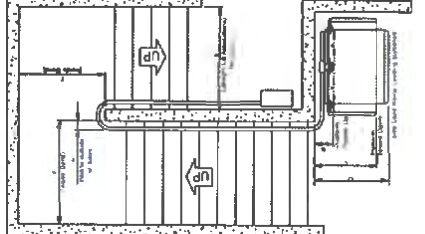
Turning Clearance Chart

This table shows the minimum clearances required for a wheelchair to make a 90-degree turn around a 60" wide obstacle.

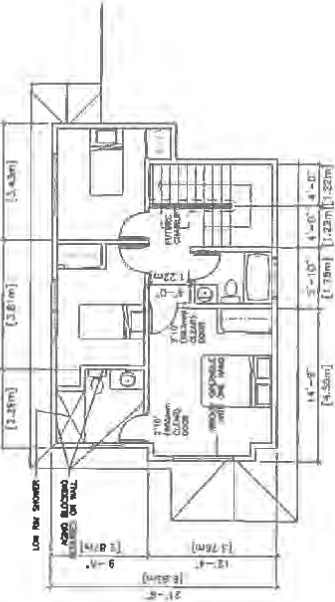
Obstacle	Wheelchair Width	Wheelchair Length	Turn Radius (Min)
A	20"	48"	54"
B	20"	48"	60"
C	20"	48"	66"
D	20"	48"	72"
E	20"	48"	78"
F	20"	48"	84"
G	20"	48"	90"
H	20"	48"	96"
I	20"	48"	102"
J	20"	48"	108"
K	20"	48"	114"
L	20"	48"	120"

FUTURE CHAIRLIFT

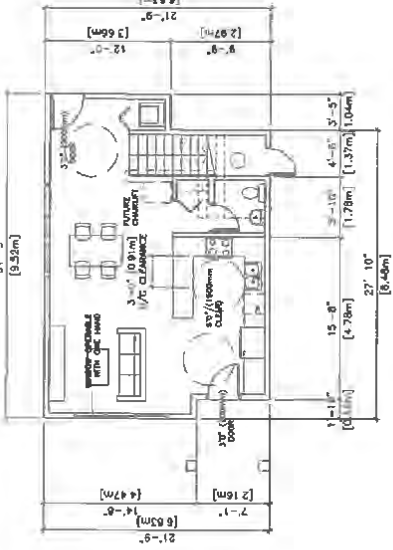
Required Turning Clearances



RZ 18-829789



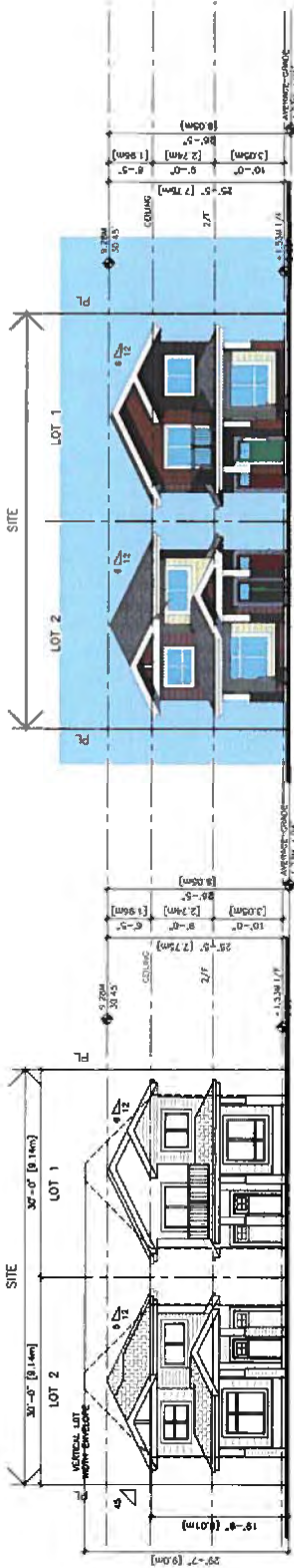
2/F



1/F

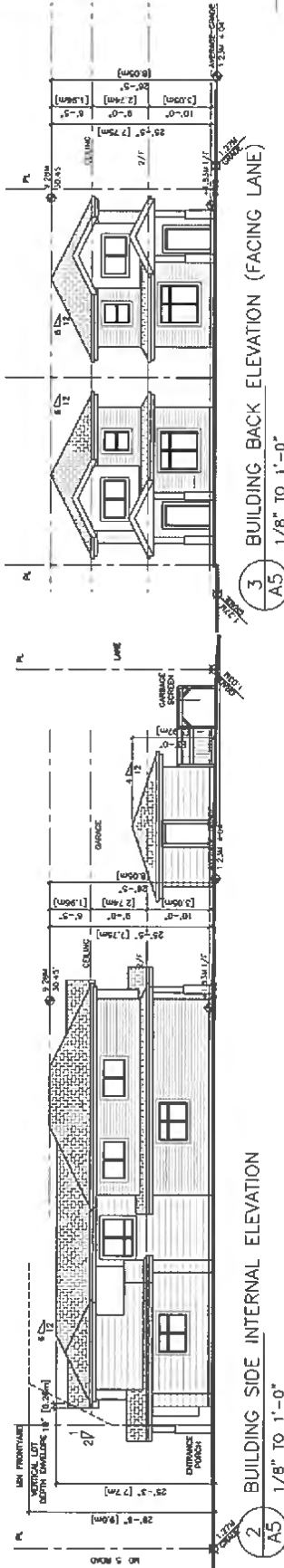
**1 CONVERTIBLE UNIT PLAN
A4 3/16" TO 1'-0"**

- ALL THE UNITS IN THIS PROJECT SHALL INCORPORATE THE FOLLOWING FEATURES IN THE UNITS:
- (1) AGING IN PLACE FEATURES SHALL BE PROVIDED TO ALL UNITS:
 - (a) STAIRWELL HANDRAILS
 - (b) LEVER TYPE HANDLES FOR PLUMBING FIXTURE AND DOOR HANDLES
 - (c) SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHUBS AND SHOWERS
 - DUPLEX SHALL MEET CITY'S STEP CODE REQUIREMENTS

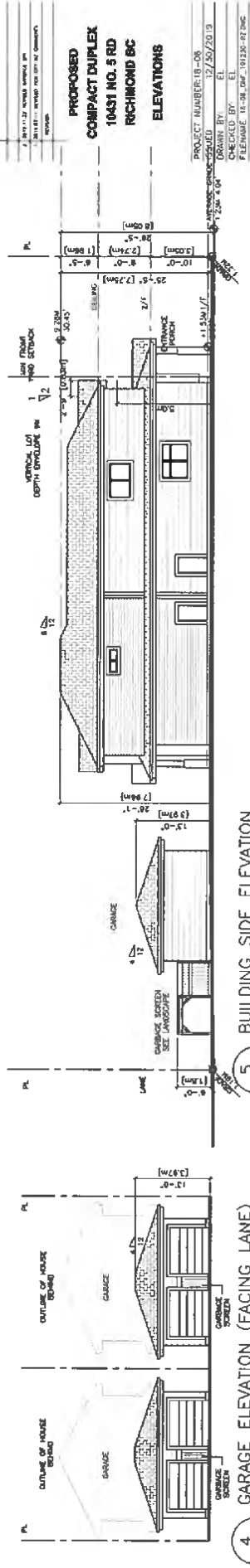


1 BUILDING FRONT ELEVATION (NO. 5 RD)
 A5 1/8" TO 1'-0"

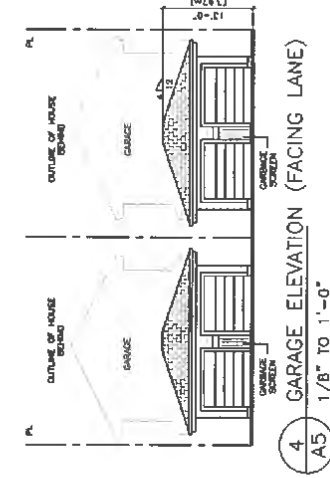
HOUSE IMAGE



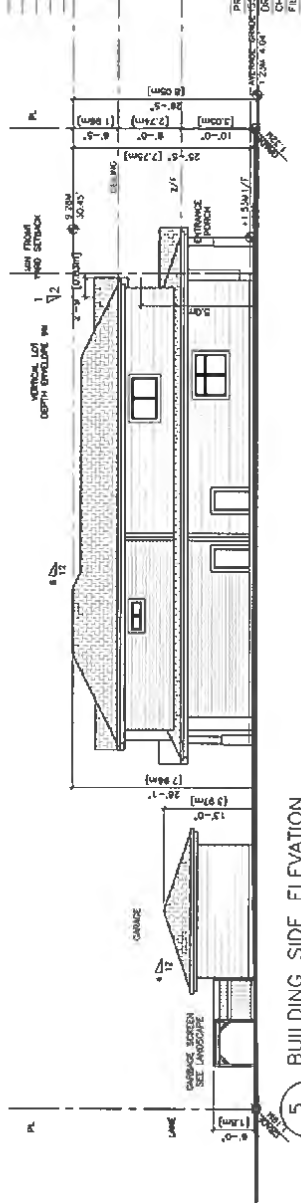
2 BUILDING SIDE INTERNAL ELEVATION
 A5 1/8" TO 1'-0"



5 BUILDING SIDE ELEVATION
 A5 1/8" TO 1'-0"



4 GARAGE ELEVATION (FACING LANE)
 A5 1/8" TO 1'-0"



3 BUILDING BACK ELEVATION (FACING LANE)
 A5 1/8" TO 1'-0"

**PROPOSED
 COMPACT DUPLEX
 10431 NO. 5 RD
 RICHMOND BC
 ELEVATIONS**

PROJECT NUMBER: 18-06
 DATE: 12/20/2019
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 18-06_0123-RT.DWG

A5

REVISION

RZ 18-829789

ERIC LAW ARCHITECT

11300 Old Dominion Road, Suite 300
 Fairfax, VA 22030
 Tel: (703) 261-1000
 Fax: (703) 261-1001
 www.ericlawarchitect.com

OWNER: [REDACTED]
 PROJECT: [REDACTED]
 DATE: [REDACTED]

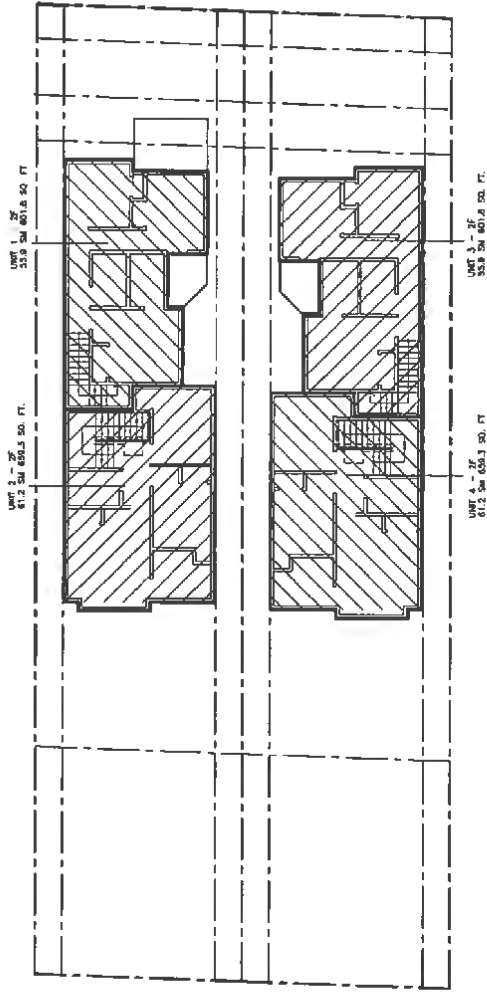
- 1. SHEET 1 OF 4 - FLOOR AREA DIAGRAM 1/8"
- 2. SHEET 2 OF 4 - FLOOR AREA DIAGRAM 1/8"
- 3. SHEET 3 OF 4 - FLOOR AREA DIAGRAM 1/8"
- 4. SHEET 4 OF 4 - FLOOR AREA DIAGRAM 1/8"

PROPOSED
 COMPACT DUPLEX
 10451 NO. 5 RD
 RICHMOND BC
 FAR DIAGRAM

PROJECT NUMBER: 18-08
 UCD: 12-30-2019
 DRAWN BY: EL
 CHECKED BY: EL
 DATE: 12-30-2019

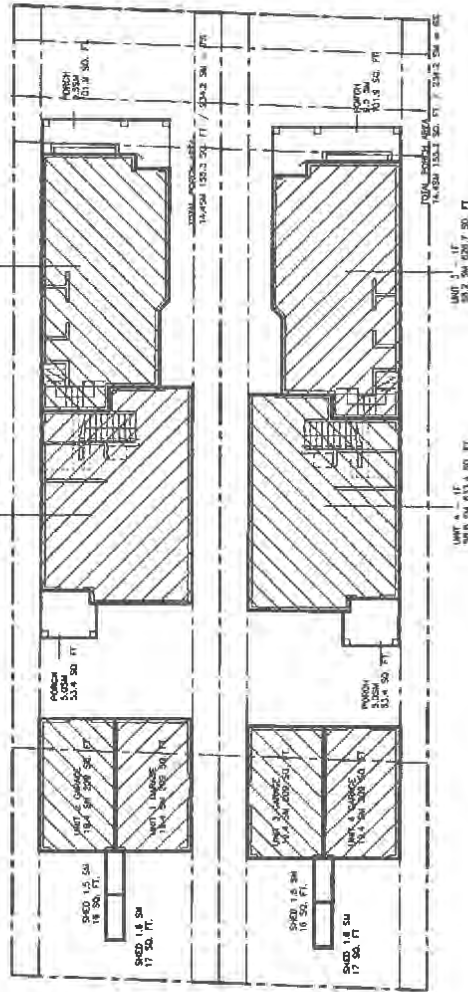
A6

REZONE



1 FLOOR AREA DIAGRAM 1/8"
A6 1/8" TO 1'-0"

UNIT 1 - TOTAL AREA	114.1 SQ. FT.
UNIT 2 - TOTAL AREA	126.1 SQ. FT.
UNIT 3 - TOTAL AREA	114.1 SQ. FT.
UNIT 4 - TOTAL AREA	128.1 SQ. FT.
TOTAL AREA	482.3 SQ. FT.



2 FLOOR AREA DIAGRAM 1/8"
A6 1/8" TO 1'-0"

RZ 18-829789

10111 15th Street, Richmond BC
 V6V 2G9
 TEL: (604) 273-2222
 FAX: (604) 273-2223
 WWW.ERICLAWARCHITECT.COM

NOTES

1. SEE ALL NOTES ON OTHER SHEETS.
2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.

REVISIONS

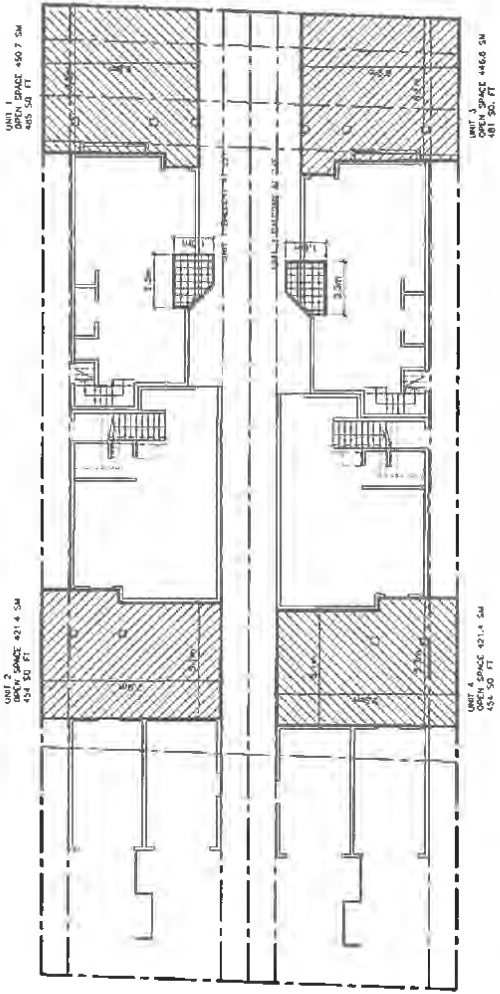
1. 2018.11.12. REVISED DRAWING SET
2. 2018.11.12. REVISED DRAWING SET

**PROPOSED
 COMPACT DUPLEX
 10431 NO. 6 RD
 RICHMOND BC
 AREA DIAGRAM**

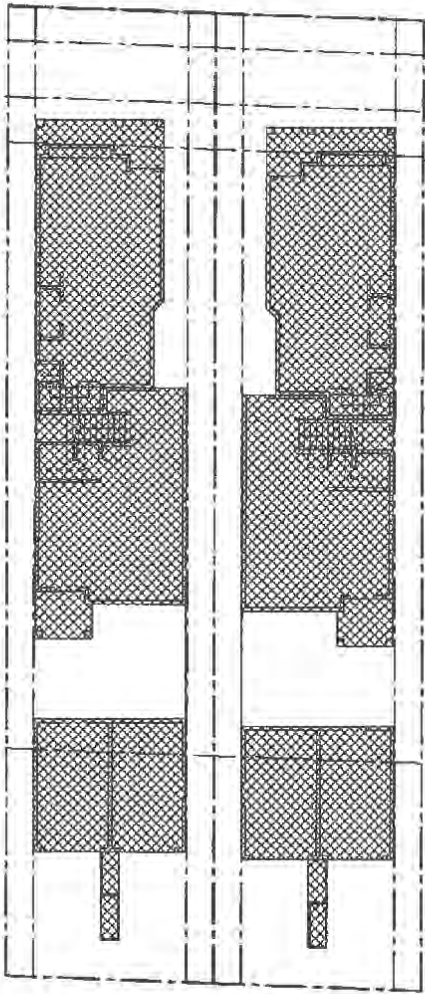
PROJECT NUMBER: 18-08
 ISSUED: 12/20/2018
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 18-08-DUP-181220-AR-DWG

A7

RETONE



1 OPEN SPACE
 A7 1/8" TO 1'-0"



2 SITE COVER DIAGRAM
 A7 1/8" TO 1'-0" SITE COVERAGE 1887.50 FT FOR EACH LOT

RZ 18 829789

DATE	ISSUED FOR	REV
2018 07 15	REZONING	A
2018 11 11	BUILDING PERMIT	B
2018 12 24	BUILDING PERMIT	C

THE DRAWING HAS BEEN PREPARED UNDER THE SUPERVISION OF THE ARCHITECT AND SHALL BE USED FOR CONSTRUCTION PURPOSES UNLESS OTHERWISE NOTED. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS OTHERWISE NOTED.

Architect: **En. Lee Architects**
 Civil Engineer: **En. Lee Architects**
 Structural Engineer: **En. Lee Architects**
 Electrical Engineer: **En. Lee Architects**
 Mechanical Engineer: **En. Lee Architects**

Donald V. S. Duncan
 DEVELOPMENT CONSULTANT
 5611 250th Street
 New Westminster BC
 V7M 7N1 A1A 0B1
 d.v.duncan@dvsc.com

RESIDENTIAL DEV.
 14525 66th Ave. S Road
 Burnaby BC
 prepared for
1058085 BC LTD.
 6411 Blunell Road
 Richmond BC

INFORMATION
 Drawing Title: **Site Plan**
 Project No: **18-0041**
 Drawing No: **LD-01**

NOTES

1. COMPARE FOOTPRINT, ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY OF RICHMOND AND SHALL COMPLY WITH ALL STANDARDS AND REGULATIONS OF THE SAME. THE CONTRACTOR SHALL OBTAIN NECESSARY APPROVALS PRIOR TO INSTALLATION.
2. COMPLIANCE WITH ALL MATERIAL SHIPPING PROCEDURES AND ALL MATERIALS SHALL BE STORED IN A SECURE AND PROTECTED LOCATION OF BENTHELMAN LANDSCAPE STANDARDS AVAILABLE AT CONSTRUCTION OF WORK.
3. COMPLIANCE HAZARD: ALL WORKS SHALL CONFORM TO THE LATEST MANDATE AND SPECIFICATIONS AVAILABLE AT COMMENCEMENT OF WORK WHERE NO SPECIFIC DETAIL, NOTE OR SPECIFICATIONS PROVIDED IN THE DRAWING SET OR AT THE TIME OF MATERIALS.
4. CONCRETE FORMS: THE CONTRACTOR SHALL COMPARE ALL FORMS WITH THE LATEST MANDATE AND SPECIFICATIONS AVAILABLE AT COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL CALL FOR INSPECTION OF THE FORMS PRIOR TO POURING CONCRETE. A MINIMUM OF 48 HOURS PRIOR TO DESIGNATED CONSTRUCTION TIME.
5. CONCRETE FINISH: ALL CONCRETE FINISHES SHALL BE TO THE SATISFACTION OF THE ARCHITECT. THE CONTRACTOR SHALL ESTABLISH GRADES SUCH THAT THERE IS NO POOR DRAINAGE. TO AN ADVANCED DRAIN JUNCTION SLOPES SHALL BE AS FOLLOWS:
 PAVEMENT PAVED AREAS: 1%
 VERTICAL PAVED AREAS: 2%
 UNPAVED AREAS: 3%
6. GRADING: ALLOWANCES AND TOLERANCES SHALL BE AS FOLLOWS:
 FINISH GRADES: 150 mm
 SHALLOWS: 450 mm
 CROWN COVER AREAS: 300 mm ALL AROUND FOOTBALL
 TREES: 300 mm ALL AROUND FOOTBALL
7. GRADING, ALLOWANCES AND TOLERANCES SHALL BE AS FOLLOWS:
 FINISH GRADES: 150 mm
 SHALLOWS: 450 mm
 CROWN COVER AREAS: 300 mm ALL AROUND FOOTBALL
 TREES: 300 mm ALL AROUND FOOTBALL

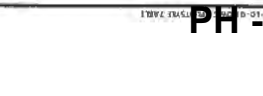
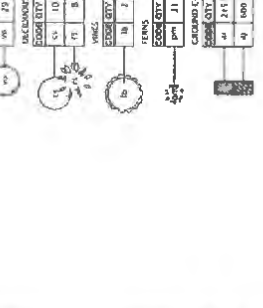
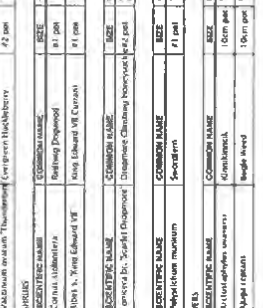
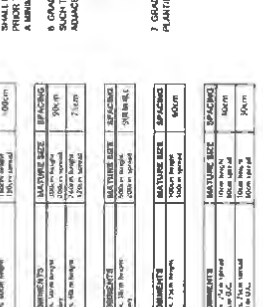
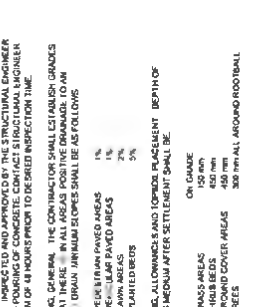
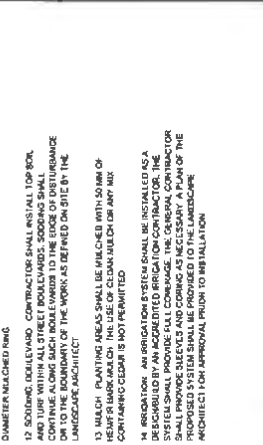
PLANT LIST	COMMON NAME	SIZE	COMMENTS	MAINTENANCE	SPACING
AC	Red Fireweed	100 gal	100 gal	100 gal	100 gal
AN	Common Garden Water Nettle	100 gal	100 gal	100 gal	100 gal
DN	Common Garden Water Nettle	100 gal	100 gal	100 gal	100 gal
GT	Common Garden Water Nettle	100 gal	100 gal	100 gal	100 gal
PH	Common Garden Water Nettle	100 gal	100 gal	100 gal	100 gal

COMMON NAME	SIZE	COMMENTS	MAINTENANCE	SPACING
AC	100 gal	100 gal	100 gal	100 gal
AN	100 gal	100 gal	100 gal	100 gal
DN	100 gal	100 gal	100 gal	100 gal
GT	100 gal	100 gal	100 gal	100 gal
PH	100 gal	100 gal	100 gal	100 gal

COMMON NAME	SIZE	COMMENTS	MAINTENANCE	SPACING
AC	100 gal	100 gal	100 gal	100 gal
AN	100 gal	100 gal	100 gal	100 gal
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COMMON NAME	SIZE	COMMENTS	MAINTENANCE	SPACING
AC	100 gal	100 gal	100 gal	100 gal
AN	100 gal	100 gal	100 gal	100 gal
DN	100 gal	100 gal	100 gal	100 gal
GT	100 gal	100 gal	100 gal	100 gal
PH	100 gal	100 gal	100 gal	100 gal



LOT 1 - SITE AREA	BLDG FOOTPRINT	IMPERVIOUS PAVING	PERVIOUS PAVING	TOTAL
157.8 m ²	56.0 m ²	52.8 m ²	24.2 m ²	390.5 m ²

LOT 2 - SITE AREAS	BLDG FOOTPRINT	IMPERVIOUS PAVING	PERVIOUS PAVING	LIVE PLANT	TOTAL
157.8 m ²	56.0 m ²	54.7 m ²	57.6 m ²	24.2 m ²	390.5 m ²

NOTE FOR LOTS 1 & 2
 FRONTYARD LIVE PLANT AREA = 688.5 m²

NOTE FOR LOTS 1 & 2
 FRONTYARD LIVE PLANT AREA = 688.5 m²

NOTE FOR LOTS 1 & 2
 FRONTYARD LIVE PLANT AREA = 688.5 m²

NOTE FOR LOTS 1 & 2
 FRONTYARD LIVE PLANT AREA = 688.5 m²

DATE	ISSUED FOR	REV
2018 07 15	REZONING	A
2018 11 11	BUILDING PERMIT	B
2018 12 24	BUILDING PERMIT	C

This drawing has been prepared solely for the use of the client. It is not to be used for any other purpose. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The drawing shall not be used for construction purposes until the final approval has been received and dated by the appropriate authority.

Client: Donald V. S. Duncan
 Project: Residential Development
 Site: 10439 & 10455 No. 5 Road, Richmond BC
 Client: 6411 Blundell Road, Richmond BC

Project Name: RESIDENTIAL DEV.
 10439 & 10455 No. 5 Road
 Richmond BC
 Prepared for:
 1058085 BC LTD.
 6411 Blundell Road
 Richmond BC

Project Name:
 Drawing Title:
 Drawing No.: 18_0041
 Drawing No.: L2_01

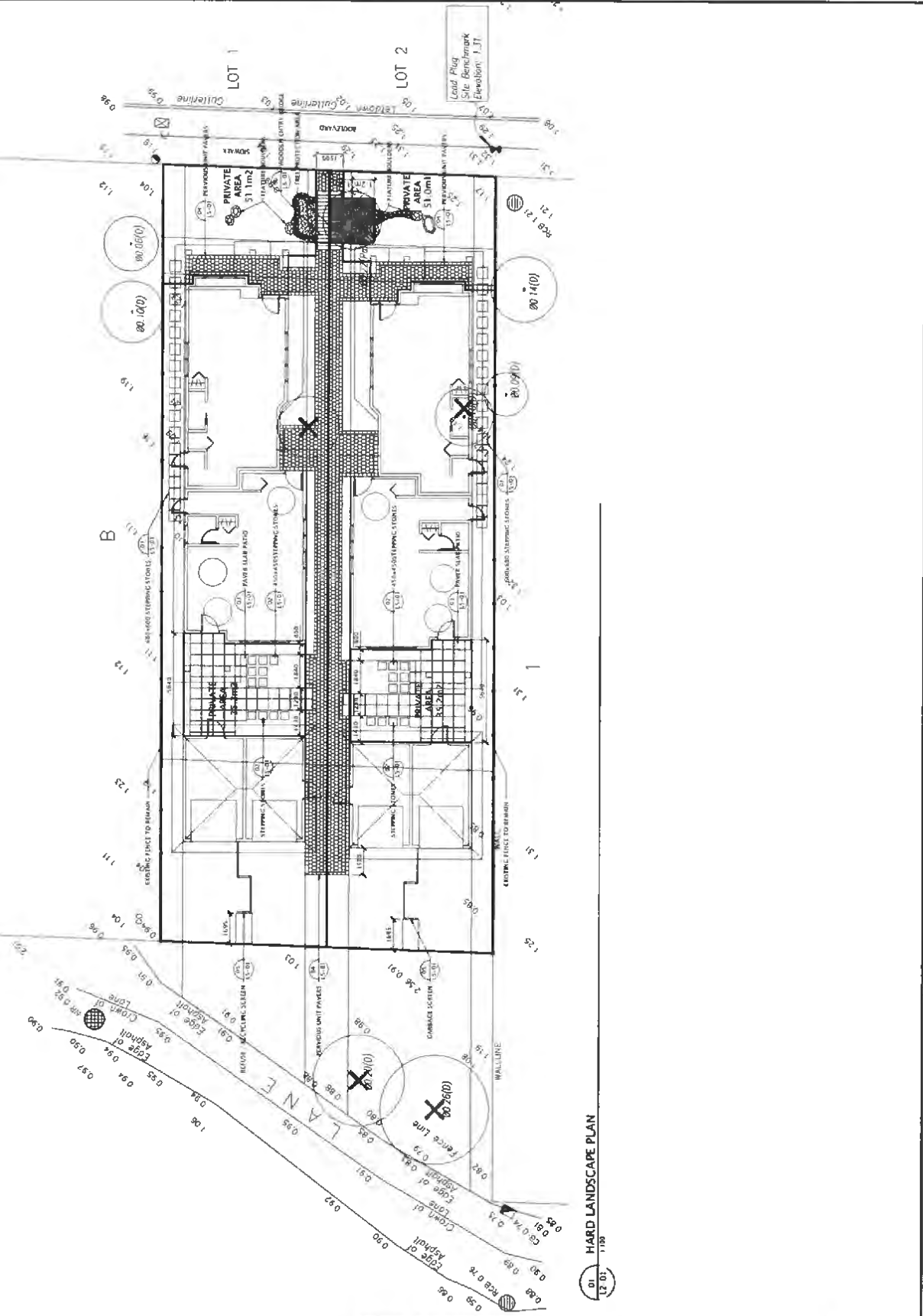
Check Scale: 1:100
 Project No.: 18_0041
 Drawing No.: L2_01

Architect: Donald V. S. Duncan
 1058085 BC LTD.
 6411 Blundell Road
 Richmond BC
 www.donaldvancouver.com

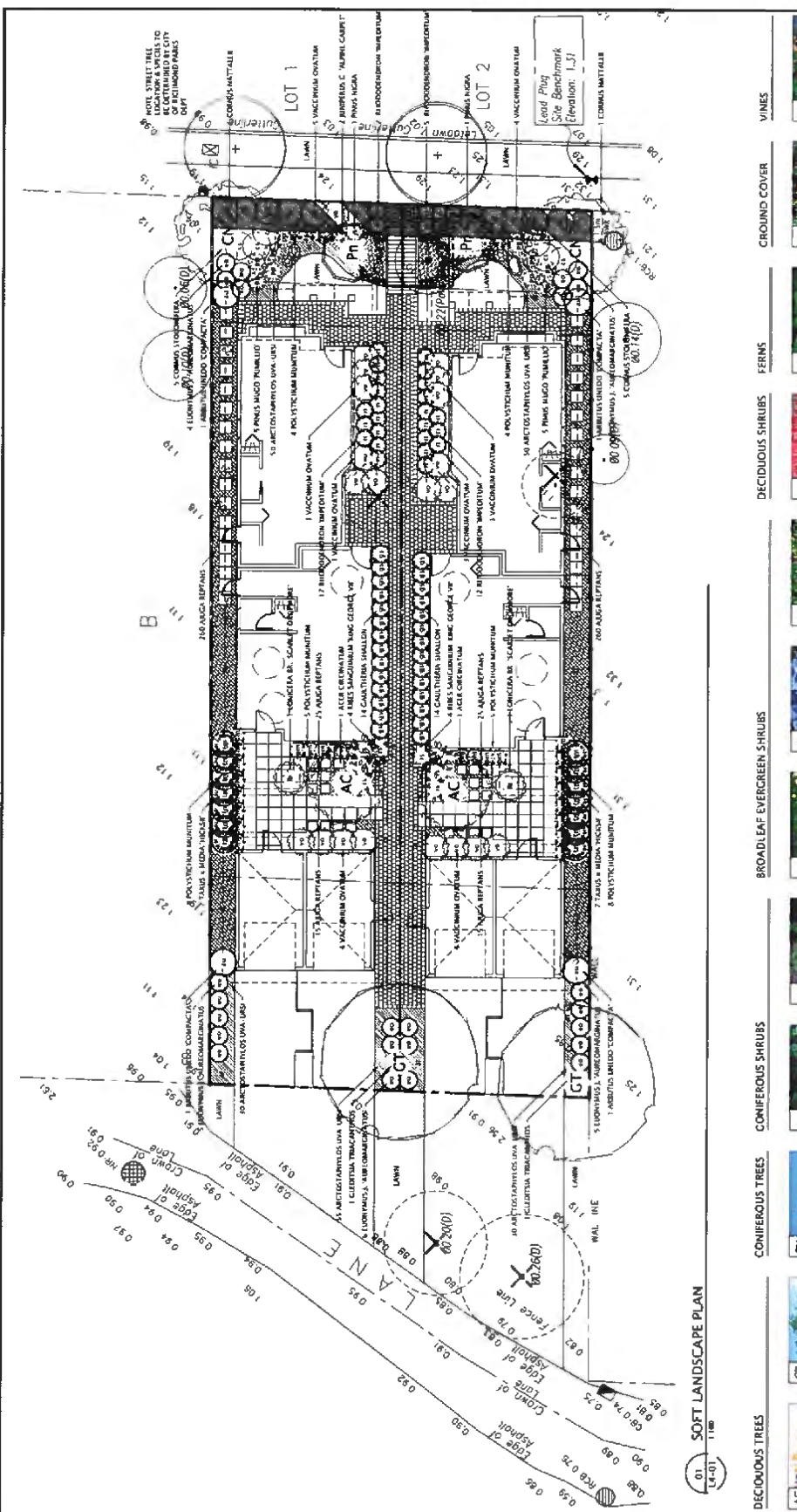
Project Name:
 Drawing Title:
 Drawing No.: 18_0041
 Drawing No.: L2_01

Check Scale: 1:100
 Project No.: 18_0041
 Drawing No.: L2_01

Architect: Donald V. S. Duncan
 1058085 BC LTD.
 6411 Blundell Road
 Richmond BC
 www.donaldvancouver.com



DATE	ISSUED FOR	REV
2018-07-15	REZONING	A
2018-11-11	BUILDING PERMIT	B
2018-12-24	BUILDING PERMIT	C



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COMMENTS:
 1. SEE PLAN FOR ALL PLANTINGS.
 2. SEE PLAN FOR ALL MATERIALS.
 3. SEE PLAN FOR ALL FINISHES.
 4. SEE PLAN FOR ALL ELEVATIONS.
 5. SEE PLAN FOR ALL DIMENSIONS.
 6. SEE PLAN FOR ALL NOTES.

DATE: 12/24/18
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: 18-0041

DIV Donald V. S. Duncan
 ARCHITECTURE
 10000 BAYVIEW BLVD.
 SUITE 1000
 RICHMOND, BC V6X 3E9
 TEL: 604-271-1111
 WWW.DVSDUNCAN.COM

C Project Lead
 D. Duncan
 ARCHITECT
 1038085 BC LTD.
 6411 Blundell Road
 Richmond BC
SOFT LANDSCAPE PLAN

Check, Color Key (by the Architect/Lead) 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20
 Project No.: 18-0041
 Drawing No.: L4-01

- DECIDUOUS TREES**
 - AC ACER CERNICUM
 - CT CORYLUS CORNUS MARSHALLI
 - FR FRAXINUS EUROPEA
 - PP PICEA MARYLANDICA
 - TM TAXUS AMERICANA
- CONIFEROUS TREES**
 - JA JACUARANDA
 - JA JACUARANDA
- CONIFEROUS SHRUBS**
 - JA JACUARANDA
 - JA JACUARANDA
- BROAD-LEAF EVERGREEN SHRUBS**
 - 3U UNCLE TOM'S COFFEE
 - EO EUCALYPTUS GLOBULUS
 - FI FICUS RELIGIOSA
 - VO VIBURNUM OPULIFOLIUM
- DECIDUOUS SHRUBS**
 - CS CORYLUS MARSHALLI
 - FS FERNETIA BR.
- FERNS**
 - PM PTERIDIUM MICHXOXII
- GROUND COVER**
 - AR ARISTIDA STOLONATA
 - AR ARISTIDA STOLONATA
- VINES**
 - 1b 1b

01 SOFT LANDSCAPE PLAN

L4-01

PH-125

DATE	ISSUED FOR	REV
2018 07 15	REZONING	A
2018 11 11	BUILDING PERMIT	B
2018 12 24	BUILDING PERMIT	C

The drawings are for information only for the use of the Client. It is the Client's responsibility to ensure that all laws, regulations, codes, and standards applicable to the project are met. The Client shall be responsible for obtaining all necessary permits and approvals. This drawing shall not be used for construction purposes without the prior written consent of the Designer. The Designer assumes no liability for any damage or loss resulting from the use of these drawings.

Architect
Address:
City:
Province:
Country:

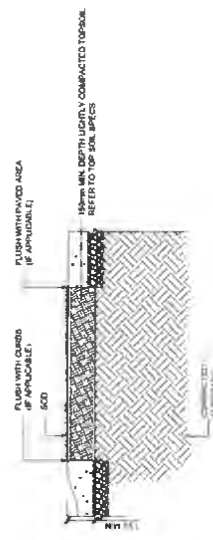


Donald V. S. Duncan
Developers/Contractors/Landscapers
 10439 6 10455 No. 5 Road
 Richmond BC
 V6V 2G9
 Tel: 604 273 4843
 Fax: 604 273 4844
 Email: info@dvsd.com

Project Lead:
Design:
Drawn:
Checked:
Approved:

RESIDENTIAL DEV.
 10439 6 10455 No. 5 Road
 Richmond BC
 prepared for
1 058085 BC LTD.
 6-11 Blundell Road
 Richmond BC

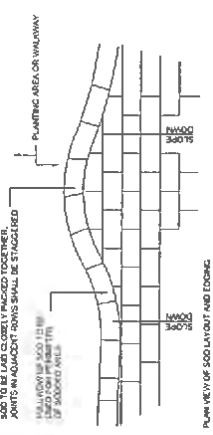
LANDSCAPE DETAILS
 Drawing No: **18 0041**
 Revision No: **LS 02**



SECTION THROUGH EDD

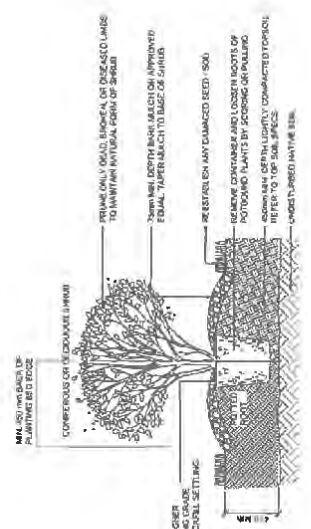


CROSS SECTION OF 30 x 30 SLOPE

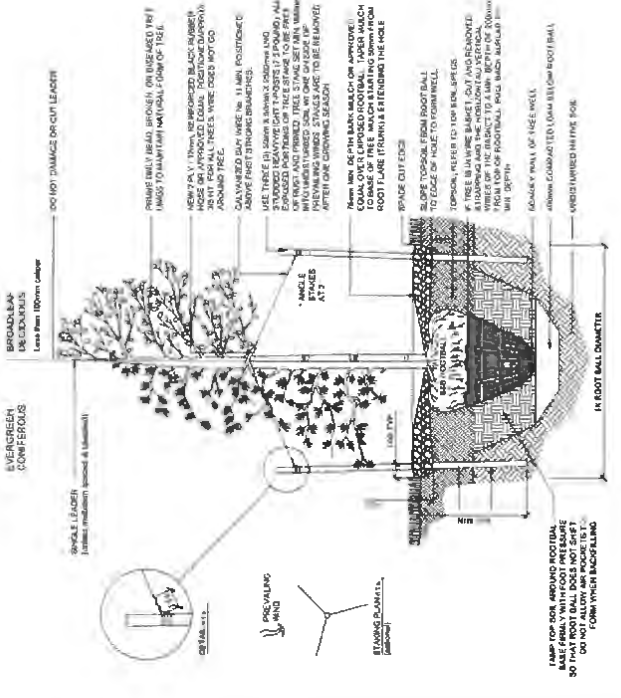


PLAN VIEW OF SOD LAYOUT AND ENDING NOT TO SCALE

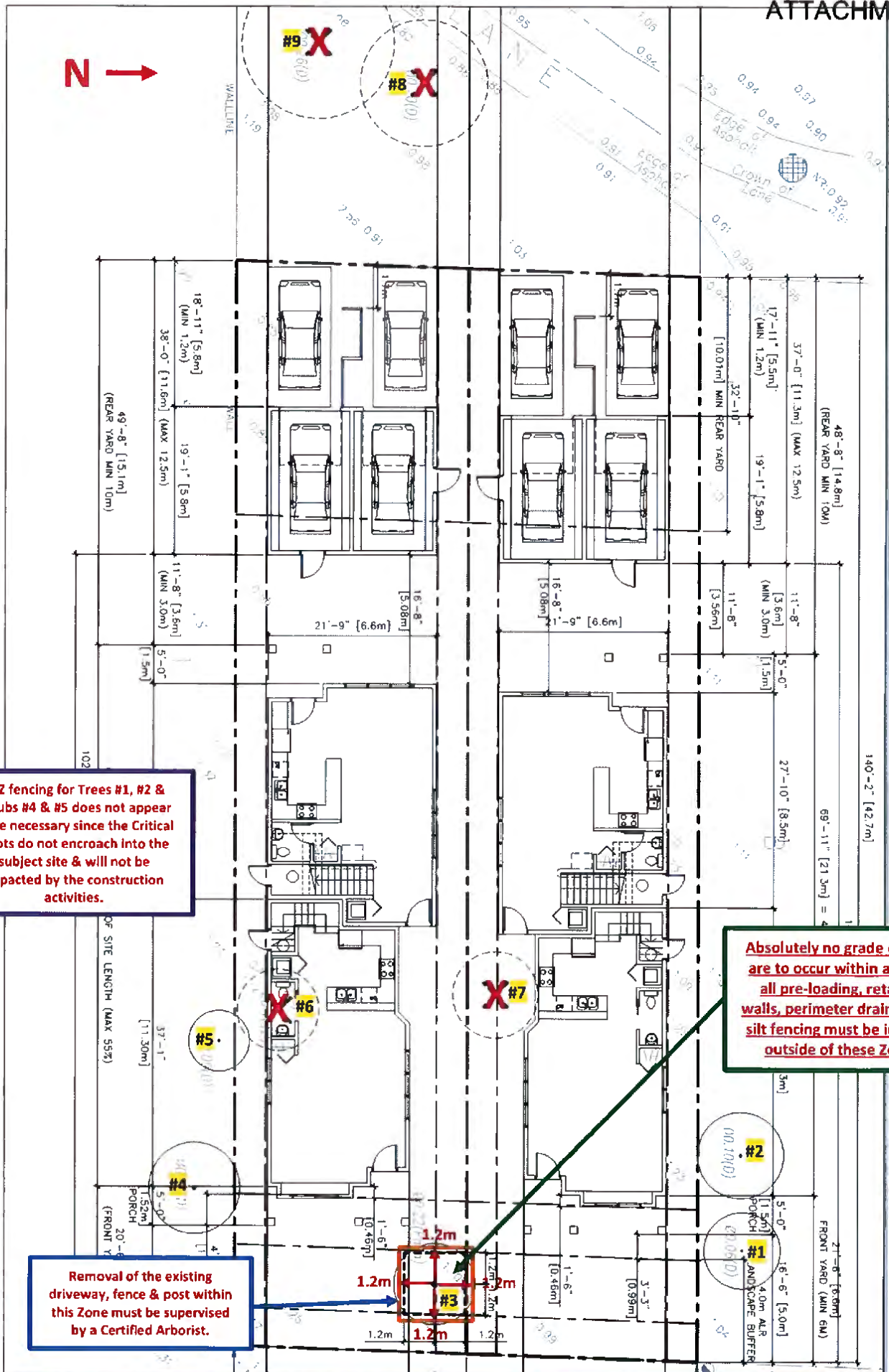
01 TURF INSTALLATION DETAIL
 15-02 1.00



01 SHRUB INSTALLATION DETAIL
 15-02 1.00



02 TREE INSTALLATION DETAIL
 15-02 1.00



TPZ fencing for Trees #1, #2 & Shrubs #4 & #5 does not appear to be necessary since the Critical Roots do not encroach into the subject site & will not be impacted by the construction activities.

Absolutely no grade changes are to occur within any TPZ; all pre-loading, retaining walls, perimeter drainage and silt fencing must be installed outside of these Zones.

Removal of the existing driveway, fence & post within this Zone must be supervised by a Certified Arborist.

Tree Retention & Removal Plan, Scale 1:200



Address: 10431 No. 5 Road

File No.: RZ 18-829789

Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 10195, the developer is required to complete the following:

1. Provincial Ministry of Transportation & Infrastructure Approval.
2. City acceptance of the developer's offer to voluntarily contribute \$1,950 to the City's Tree Compensation Fund for the planting of replacement trees within the City.
3. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
4. Registration of a flood indemnity covenant on title.
5. Payment of deferred taxes and the submission of a title search demonstrating that the Land Tax Deferment Act Agreement (BB780596) has been discharged from title. Note: this is required prior to the preparation of any legal documents associated with this rezoning application.
6. Registration of a legal agreement on title to ensure that landscaping planted along within the ALR buffer area along the east portion of the property (4.0 m wide, as measured from the east property line) is maintained and will not be abandoned or removed. The legal agreement is to identify the ALR buffer area and to indicate that the subject property is located across from active agricultural operations and is subject to impacts of noise, dust, and odour.
7. City acceptance of the developer's offer to voluntarily contribute \$8.50 per buildable square foot (e.g. \$42,857.00) to the City's affordable housing fund.
8. The submission and processing of a Development Permit* completed to a level deemed acceptable by the Director of Development.

Prior to a Development Permit* being forwarded to the Development Permit Panel for consideration, the developer must complete the following requirements:

1. Submission of a Landscape Plan, prepared by a Registered Landscape Architect, to the satisfaction of the Director of Development, and a cost estimate provided by the Landscape Architect, including installation costs. The Landscape Plan should:
 - comply with the guidelines of the OCP's Arterial Road Policy and should not include hedges along the front property line;
 - include a mix of coniferous and deciduous trees;
 - include the dimensions of tree protection fencing as illustrated on the Tree Retention Plan attached to this report; and
 - include the 8 required replacement trees with the following minimum sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Tree	or	Minimum Height of Coniferous Tree
8	6 cm		3.5 m

If required replacement trees cannot be accommodated on-site, a cash-in-lieu contribution in the amount of \$750/tree to the City's Tree Compensation Fund for off-site planting is required.

Prior to a Development Permit* being forwarded to Council for consideration, the developer must complete the following requirements:

1. Submission of a Landscape Security based on the cost estimate provided by the Landscape Architect, including the \$6,000 security (\$750/tree) to ensure that a total of 4 replacement trees are planted and maintained on each proposed lot (for a total of 8 trees), plus a 10% contingency.

At Demolition stage, the applicant(s) must complete the following requirements:

- Install tree protection fencing around all tree tag# 3 which is to be retained. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin TREE-03 and must remain in place until construction and landscaping on-site is completed.

At Subdivision* stage, the developer must complete the following requirements:

- Provide a cash-in-lieu contribution in the amount of \$16,653 for future lane construction to fulfill ultimate standards.
- Pay Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, and Address Assignment Fees.
- Enter into a Servicing Agreement for the design and construction of frontage improvements along No. 5 Road, to include (but is not limited to): a 1.5 m wide treed/grass boulevard behind the existing curb/gutter, and a 1.5 m wide concrete sidewalk at the property line. This may trigger the need for a 0.1 m wide right-of-way for public-right-of-passage over the sidewalk along the development frontage (to be determined at the Servicing Agreement design review stage).
- Pay servicing costs associated with the following water, storm, and sanitary works:

Water Works:

- Using the OCP Model, there is 646 L/s of water available at a 20 psi residual at the No. 5 Road frontage. Based on your proposed development, your site requires a minimum fire flow of 95 L/s.
- The Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
- At Developer's cost, the City is to:
 - Install 4 new 25mm water service connections to serve the four new homes at the proposed development, complete with meters and meter boxes. Meter boxes to be located within the new 1.5m wide utility right-of-way, see General Items.
 - Cut and cap, at main, the existing water service connection serving the development site.

Storm Sewer Works

- At Developer's cost, the City is to:
 - Complete a video inspection of the two existing storm sewer connections to confirm whether they are in adequate condition to service the development. If not adequate, the connections shall be replaced by the City at the developer's cost.

Sanitary Sewer Works

- At Developer's cost, the City is to:
 - Install a new sanitary service lateral complete with inspection chamber and a dual service connection at the adjoining property line of the newly subdivided lots.
 - Cut, cap, and remove the existing sanitary connection.

Frontage Improvements

- The Developer is required to:

- Coordinate with BC Hydro, Telus and other private communication service providers:
 - When relocating/modifying any of the existing power poles, guy wires and above ground structures within the property frontages.
 - To determine if additional above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc.). These should be located on site.
- Pay, in keeping with the Subdivision and Development Bylaw No. 8751, a \$16,653 cash-in-lieu contribution for the design and construction of frontage upgrades as set out below:

▪ Asphalt/Pavement (EP.0636)	\$5,307
▪ Drainage (EP.0637)	\$5,307
▪ Concrete Curb and Gutter (EP.0638)	\$3,660
▪ Lighting (EP.0639)	\$2,379

General Items

- The Developer is required to:
 - Provide 1.5m wide utility rights-of-way across the entire No. 5 Road frontage to accommodate storm IC's and water meter boxes. No permanent structures such as fences, and storage sheds with concrete foundations, are allowed to be built on or across the utility rights-of-way
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Prior to Building Permit Issuance, the developer must complete the following requirements:

- Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



Richmond Zoning Bylaw 8500
Amendment Bylaw 10195 (RZ 18-829789)
10431 No. 5 Road

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

- 1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it "ARTERIAL ROAD COMPACT TWO-UNIT DWELLINGS (RCD)".

P.I.D. 000-451-649
Parcel "A" (RD34577E) Lot 356 Section 36 Block 4 North Range 6 West New Westminster District Plan 44778

- 2. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 10195".

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

JUL 27 2020

CITY OF RICHMOND
APPROVED by [Signature]
APPROVED by Director or Solicitor [Signature]

MAYOR

CORPORATE OFFICER



**Richmond Zoning Bylaw 8500
Amendment Bylaw 10197
(Arterial Road Land Use Policy/Arterial Road Compact Lot Duplex
[RCD])**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended at Section 5.15 [Affordable Housing] by inserting the following into the end of the table contained in Section 5.15.1.c regarding Affordable Housing density bonusing provisions:

Zone	Sum Per Buildable Square Foot of Permitted Principal Building
RCD	\$8.50

2. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 8 (Residential Zones), in numerical order:

8.18 Arterial Road Compact Two-Unit Dwellings (RCD)

8.18.1 Purpose

The **zone** provides for two **dwelling units** on a compact lot fronting an **arterial road** and with **lane access**, plus other compatible uses.

8.18.2 Permitted Uses

- **housing, two-unit**

8.18.3 Secondary Uses

- **boarding and lodging**
- **community care facility, minor**
- **home business**

8.18.4 Permitted Density

1. The maximum **density** is one **two-unit housing** unit per lot.
2. The maximum **floor area ratio** is 0.4 applied to a maximum of 464.5 m² of the **lot area**, together with 0.30 applied to the balance of the **lot area** in excess of 464.5 m².
3. Notwithstanding Section 8.16.4.2, the reference to “0.4” is increased to a higher **density** of “0.6” if the **owner**, at the time **Council** adopts a zoning amendment bylaw to include the **owner’s lot** in the **RCD zone**, pays into the **affordable housing reserve** the sum specified in Section 5.15 of this bylaw.

4. Notwithstanding Sections 4.2.2 and 4.3, for the purposes of this **zone** only, the following items are not included in the calculation of maximum **floor area ratio**:
 - a) up to 10% of the **floor area** total calculated for the **lot** in question, provided the **floor area** is used exclusively for covered areas of the **principal building** and the covered areas are:
 - i) always open on two or more sides;
 - ii) never enclosed; and
 - iii) not located more than 0.6 m above the lowest horizontal floor.
 - b) up to 25 m² per **dwelling unit** of **enclosed parking** within a **garage** located on-site, or **parking spaces** within an unenclosed **carport** located on-site, provided that such **enclosed parking** or **parking spaces** are not used for **habitable space**;
 - c) one **accessory building** which is less than 10.0 m²; and
 - d) up to a maximum of 2.35 m² per **dwelling unit** for **floor area** occupied by those components of a **green building system** constructed or installed within the **principal building**.
5. Any portion of **floor area** in a **principal building** with a **ceiling height** which exceeds 5.0 m shall be considered to comprise two floors and shall be measured as such for the purposes of calculating **density**, except that a maximum of 10 m² of **floor area**, per **two-unit housing unit**, with a **ceiling height** which exceeds 5.0 m, provided such **floor area** is exclusively for interior entry and staircase purposes, are considered to comprise one floor.

8.18.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 50% for **buildings**.
2. No more than 70% of a **lot** may be occupied by **buildings, structures and non-porous surfaces**.
3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

8.18.6 Yards & Setbacks

1. The minimum **front yard** is 6.0 m, except that **accessory buildings, carports, garages and parking spaces** must be **setback** a minimum of 15.0 m.
2. The minimum **interior side yard** is 1.2 m.
3. The minimum **exterior side yard** is 3.0 m.
4. The minimum **rear yard** is 10.0 m for the **principal building**, except for a **corner lot** where the **exterior side yard** is 6.0 m, in which case the **rear yard** is reduced to 1.2 m.
5. Detached **accessory buildings** including **garages** or **carports** may be located in the **rear yard** but must be located:
 - a) within 1.2 m and 12.5 m of the **rear lot line**;

- b) no closer than 3.0 m to the exterior **side lot line**; and
 - c) no closer than 1.2 m to the interior **side lot line**.
6. Detached **accessory buildings** up to a maximum size of 10.0 m² may be located within the **interior side yard** and **rear yard** but no closer than 6.0 m of an **arterial road** and 3.0 m of a **local road**.
7. Notwithstanding Section 4.8, for the purpose of this **zone** only, the following projections shall be permitted, subject to the *Building Code*:
- a) fireplaces and chimneys, whether enclosed or unenclosed, which form part of the **principal building** may project for a distance of:
 - i) 1.0 m into the **front yard**;
 - ii) 0.6 m into the **side yard**, limited to one exterior wall of the **principal building**, for the purposes of a chimney or fireplace assembly only, and shall not exceed 1.8 m in horizontal length. No masonry footing is permitted for the chimney or fireplace assembly; and
 - iii) 0.6 m into the **rear yard**.
 - b) **porches** which form part of the **principal building**, that are less than 5.0 m in **height** and open on those sides which face a **public road** may project for a distance of:
 - i) 1.5 m into the **front yard**;
 - ii) 0.6 m into the **exterior side yard**; and
 - iii) 1.5 m into the **exterior side yard** where the **exterior side yard** is 6.0 m.
 - c) **balconies** and **bay windows** which form part of the **principal building**, may project into any yard no more than 0.6 m.
 - d) **building elements** in the **principal building** that promote sustainability objectives such as solar panels, solar hot water heating systems and rainwater collection systems may project into the **side yard** and **rear yard** no more than 0.6 m.
 - e) other portions of the **principal building** which are less than 2.0 m in **height** may be located within the **rear yard** but no closer than:
 - i) 3.0 m of a **public road**;
 - ii) 6.0 m of an **arterial road**; and
 - iii) 1.2 m of the **rear lot line** or **side lot line**.
8. The minimum **building separation space** between the **principal building** and the **accessory building** is 3.0 m.

8.18.7 Permitted Heights

1. The maximum **height** for **principal buildings** is 2 ½ storeys or 9.0 m, whichever is less, but it shall not exceed the **residential vertical lot width envelope** and the **residential vertical lot depth envelope**. For a **principal building** with a flat roof, the maximum **height** is 7.5 m.

2. Notwithstanding Section 3.4, for the purpose of this **zone** only, **the residential vertical lot depth envelope** shall be a vertical envelope located at the minimum **front yard setback** requirement for the **lot** in question, calculated from the **finished site grade**, and formed by the plane rising vertically 5.0 m to a point and then extending upward and away from the required **yard setback** at a rate of two units of vertical rise for each single unit of horizontal run to the point at which the plane intersects to the maximum **building height**.
3. The ridge line of a front roof dormer may project horizontally up to 0.91 m beyond the **residential vertical lot depth envelope** but no further than the **setback** required for the **front yard**.
4. The ridge line of a side roof dormer may project horizontally up to 0.91 m beyond the **residential vertical lot width envelope** but no further than the **setback** required for the **interior side yard** or the **exterior side yard**.
5. The maximum **height** for **accessory structures** is 9.0 m.

8.18.8 Subdivision Provisions/Minimum Lot Size

1. The minimum **lot** dimensions and areas are as follows, except that the minimum **lot width** for **corner lots** is an additional 2.0 m:

Minimum frontage	Minimum lot width	Minimum lot depth	Minimum lot area
9.0 m	9.0 m	40.0 m	360.0 m ²

8.18.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided according to the provisions of Section 6.0.

8.18.10 On-Site Parking

1. On-site **vehicle** parking shall be provided according to the standards set out in Section 7.0, except that the maximum driveway width shall be 6.0 m.
2. For the purpose of this **zone** only, a “driveway” is defined as any **non-porous surface** of the **lot** that is used to provide space for **vehicle** parking or **vehicle** access to or from a public **road** or **lane**.
3. Notwithstanding Section 7.5.6, for the purpose of this **zone** only, where residents of a single **dwelling unit** intend to use two **parking spaces**, the spaces may be provided in a **tandem arrangement**, with one standard **parking space** located behind the other.
4. Notwithstanding Section 7.5.11, for the purpose of this **zone** only, a standard space must have a minimum length of 5.5 m and a minimum width of 2.5 m and a small space must have a minimum length of 4.6 m and a minimum width of 2.3 m.

8.18.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations in Section 4.0 and Specific Use Regulations in Section 5.0 apply.
- 3. This Bylaw may be cited as **“Richmond Zoning Bylaw 8500, Amendment Bylaw 10197”**.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

ADOPTED

JUL 27 2020



MAYOR

CORPORATE OFFICER