



City of Richmond
Urban Development Division

General Compliance Request

To: Development Permit Panel
From: Holger Burke
Acting Director of Development

To Development Permit Panel -
Date: June 7, 2005 June 15, 2005
File: DP 94-000242

Re: **Application by Morrison Hershfield Limited for a General Compliance Request at 5860 Dover Crescent**

Staff Recommendation

That the proposed changes be considered in General Compliance with the approved Development Permit (DP 94-000242) drawings for 5860 Dover Crescent, which cover the following changes:

1. Replacement of all existing acrylic stucco with similarly coloured metal panels (allucobond) as the primary external cladding material.
2. Implementation of glazed canopies above all exposed exterior doors.
3. Install new metal cornices to match the design of existing cornices

Holger Burke
Acting Director of Development

KE:rg
Att.

Staff Report

Origin

Don Hazleden (Morrison Hershfield Ltd), is requesting a General Compliance ruling for an existing Development Permit (DP 94-000242) located at 5860 Dover Crescent (Lighthouse Place) for modifications to the external building envelope. Proposed revisions include the following:

- Replace all existing external acrylic stucco with similarly coloured metal panels (alucobond);
- Install clear glazed canopies over all exposed exterior doors; and
- Install new metal cornices to match existing cornices.

The purpose for the proposed modifications are part of an extensive project to repair and upgrade the existing building envelope to account for water ingress causing damage to external and internal components of the building. Approved Development Permit drawings, along with proposed revisions (bubbled) are attached to this report. The renovations are only proposed for the apartment building complex. No repairs or alterations are planned for the community owned amenity building situated to the south.

Background

The eight-storey apartment building was constructed in the mid 1990's according to an approved Development Permit (DP 94-000242). The subject site is located in the Dover Crossing Sub Area Plan and situated just west of the No. 2 Road Bridge and south of River Road in a very visible location. Due to water ingress and associated damage to internal and external portions of the building, the Strata Corporation has engaged a building envelope consultant to undertake the design and construction of the building envelope repairs and alterations.

Staff Comments

No technical comments or objections to the proposed modification are noted. The repair of the building envelope proposed is quite extensive and includes the following work not specifically being modified by the General Compliance request.

- Replacement of all exterior doors, windows and sliding doors.
- Replacement of all balcony railings with new, identical aluminium railings and glazing.
- All roof decks and flat roofs are to be re-roofed
- Replacement of the curved canopy on the third floor (north elevation).
- Interior water damaged finishes will be repaired.

Review by the City's Building Approvals Department and issuance of a Building Permit for these modifications will be required if favourable consideration is given by the Development Permit Panel and Council.

Staff investigated whether alucobond cladding had been implemented on any other residential projects in Richmond. In general, staff could find no examples of where this material had been utilized in residential buildings as the main application has been in commercial, light industrial and institutional buildings. However, staff do not have any objections to the use of alucobond cladding as it is a high quality material selected by the strata property owners that could best address the building envelope issues and subsequent repairs.

Analysis

The proposed revisions are consistent with “General Compliance Guidelines and Criteria” adopted by Council in December, 1998 (Attachment 1). The following are guidelines and criteria that are directly relevant to proposed revisions and that staff have specific comments on (identified in ***Bold Italics***).

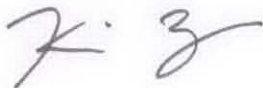
- Proposed exterior modifications must maintain or enhance the quality of the development and must retain the basic form and character of the development. ***The selection of metal panels (Alucobond) was based on the durability of this external cladding system and represents a higher quality material than the existing acrylic stucco. The colour scheme proposed for the metal panels is similar to the existing scheme. Part of the design rationale for the selection of metal panels is due to the marine style architecture of the building and close proximity to the waterfront, which partly informed the decision to implement this type of metal panelling. The use of metal panelling maintains the overall character of the building and enhances the quality of exterior cladding materials along with providing the necessary durability and protection from water ingress.***

Small glazed canopies (projecting 3 ft) will be installed throughout the building at all exposed external doors and are designed to fit seamlessly into the new proposed cladding. The use of metal support frames and glazing for the canopies is supported considering the extensive use of glazing in the aluminium frames for balcony/deck railings and expanse of windows throughout the building. A detail and cross section of the proposed canopy is shown in the attached drawings.

- Approved open space and amenity areas should be maintained; proposed changes to landscaping detail should be minor in nature and of equivalent value to approved plans. ***The envelope consultants have indicated that some landscaping along the base of the building may be disturbed and in some situations removed and relocated to allow for renovations to proceed (i.e. scaffolding). All landscaping that is disturbed or relocated as a result of the works must be replaced with identical plantings and sized accordingly. The architect for the works has committed to this in writing.***

Conclusions

Staff support the modifications associated with the building envelope rehabilitation project at 5860 Dover Crescent (Lighthouse Place) as revisions comply with all applicable General Compliance criteria and represents a significant upgrade in cladding materials and weather protection for the building.



Kevin Eng
Planning Technician – Design
(4626)

KE:rg



City of Richmond
6911 No. 3 Road
Richmond, BC V6Y 2C1

General Compliance Guidelines

Development Applications Department

(604) 276-4000 Fax (604) 276-4052

Introduction

General Compliance applications are intended to accommodate minor changes to approved Development Permits that do not change the basic form and character of a development and that do not impact adjacent properties and streetscape. Proposed modifications should enhance the project and should not change basic site planning and urban design details.

General Compliance applicants are encouraged to identify all required modifications in a single application, following the Building Permit review stage, to allow the total impact of proposed changes to be assessed. General Compliance applications are not intended for approval of modifications which have already been constructed.

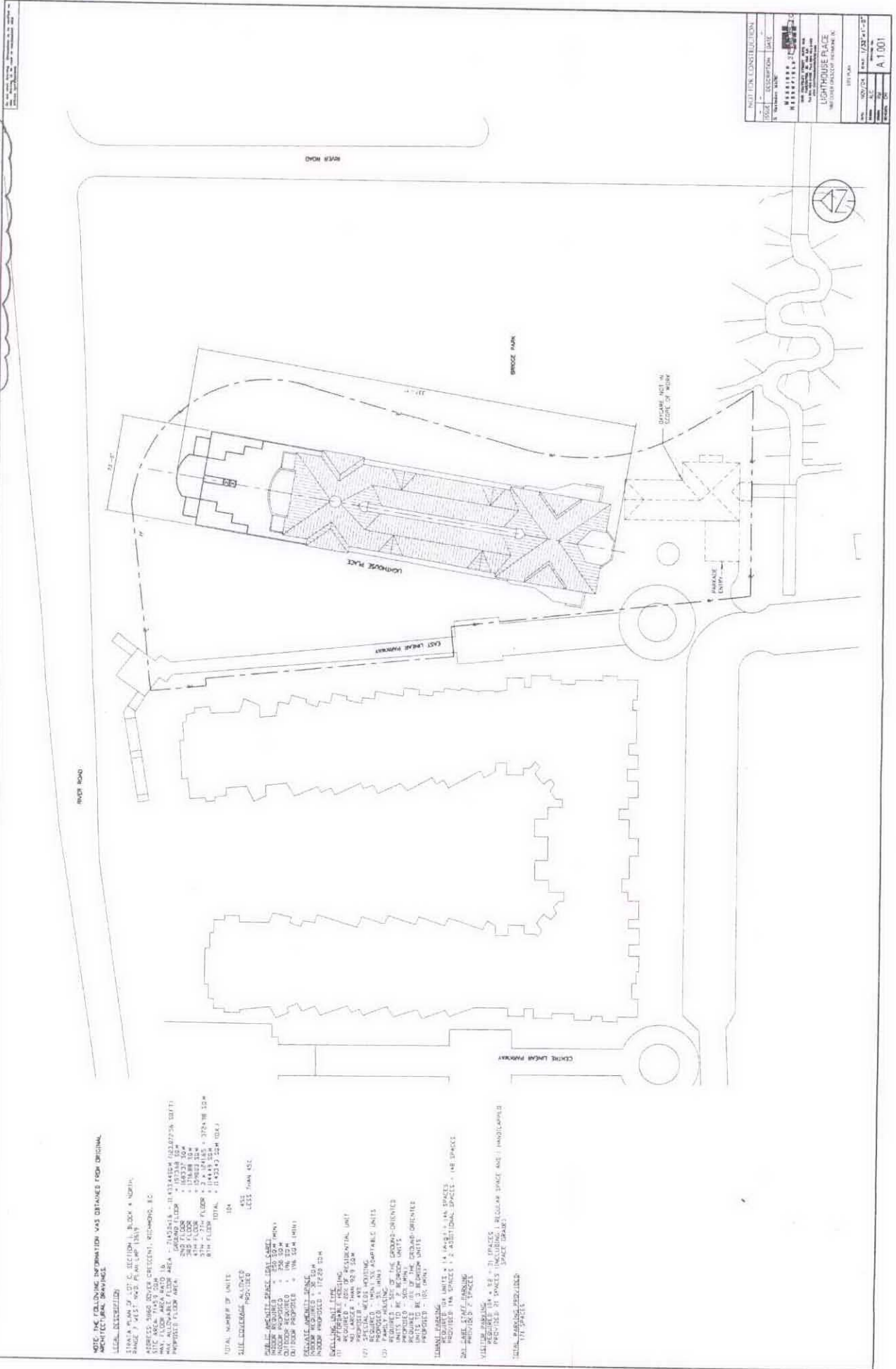
There is a fee of \$500.00 for each request for a General Compliance ruling.

Criteria

In order to be considered for General Compliance, the following criteria must be met:

1. Proposed modifications must not require any new development variances or increase approved variances.
2. The density of development must not be increased beyond the level specified in the approved Development Permit.
3. Proposed modifications must not alter elements that were controversial or that attracted considerable discussion from the public, Advisory Design Panel or Development Permit Panel during the original Development Permit process.
4. Proposed exterior modifications must maintain or enhance the quality of the development and must retain the basic form and character of the development.
5. Applications should not alter the approved site coverage, siting, scale, spacing or configuration of buildings, with the exception of minor changes and additions to buildings to accommodate Building Code or servicing requirements.
6. Approved open space and amenity areas should be maintained; proposed changes to landscaping detail should be minor in nature and of equivalent value to approved plans.
7. Proposed changes to the location and configuration of vehicle access and parking areas should be minor in nature.
8. Proposed modifications must not contravene the applicable Development Permit Guidelines.

GENERAL COMPLIANCE #1



PROJECT	RESUBMISSION	DATE
NO. 102/24	NO. 172/24	11/27/24
SCALE	A 1:100	
LANTHOUSE PLACE WATER ROAD PROJECT, WINDSOR, ON		
1011 King Toronto, Ontario M5G 1K7 Tel: (416) 593-8888 Fax: (416) 593-8889 www.kimley-horn.com		

ALL INFORMATION WAS OBTAINED FROM ORIGINAL RECORDS AND DRAWINGS.

LEGAL DESCRIPTION

SECTION 25, TOWNSHIP OF WINDSOR, COUNTY OF WINDSOR, ONTARIO
 LANTHOUSE PLACE, 1011 KING STREET EAST, WINDSOR, ONTARIO
 REGISTRATION NO. 1011/24
 REGISTRATION DATE: 11/27/24

LEGAL AREA: 1011 SQ. M.
 AREA OF THIS UNIT: 1011 SQ. M.
 AREA OF THIS UNIT: 1011 SQ. M.

REGULATORY FRAMEWORK
 ZONING: RESIDENTIAL
 PERMITTED USES: RESIDENTIAL UNIT

PROPOSED DEVELOPMENT
 PROPOSED DEVELOPMENT: 1011 SQ. M.
 PROPOSED DEVELOPMENT: 1011 SQ. M.

COMMENTS
 COMMENTS: THIS UNIT IS SUBJECT TO THE PROVISIONS OF THE ZONING BY-LAW AND THE DEVELOPMENT OF THIS UNIT IS SUBJECT TO THE APPROVAL OF THE COUNCIL OF THE CORPORATION OF WINDSOR.

ADDITIONAL INFORMATION
 ADDITIONAL INFORMATION: THE DEVELOPMENT OF THIS UNIT IS SUBJECT TO THE APPROVAL OF THE COUNCIL OF THE CORPORATION OF WINDSOR.

PREPARED BY
 PREPARED BY: KIMLEY-HORN AND ASSOCIATES

DATE
 DATE: 11/27/24

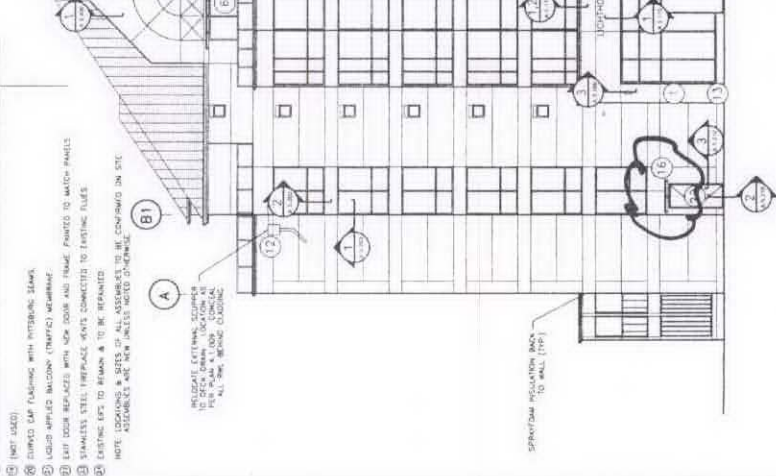
SCALE
 SCALE: 1:100

NOTES
 NOTES: ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.

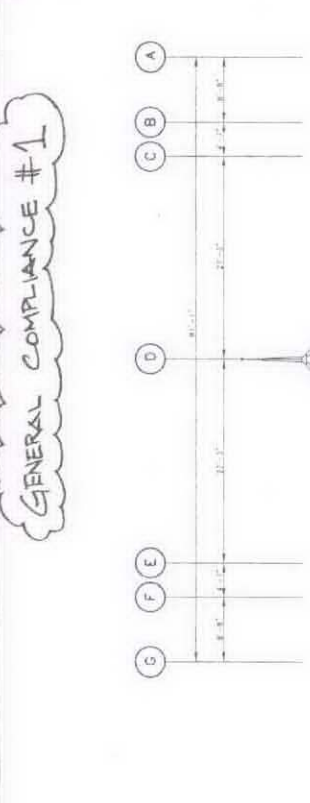
GENERAL COMPLIANCE #1

LEGEND FOR TYPICAL NEW ASSEMBLIES (UNLESS NOTED OTHERWISE)

- (1) METAL PANEL
- (2) MULTI-PANEL METAL PANEL FOR EXISTING CONSIDER TO RETURN TO AS-BUILT CONDITION
- (3) METAL PANEL
- (4) TYPICAL KERRIE WINDOWS (SEE WINDOW SCHEDULE)
- (5) BALCONY CONCRETE - FINISH SPAND RELIEF CONCRETE CURBS AND COLUMN FACES ON INSIDE FACE OF BALCONY
- (6) TILING DOOR (SEE DOOR SCHEDULE)
- (7) TILING DOOR (SEE DOOR SCHEDULE)
- (8) EXISTING STRENGTHENING COATING TO REMAIN FRAME PAINTED TO MATCH NEW WINDOW FRAMES
- (9) REPLACE ALL BALCONY/DECK RAILINGS TO MATCH EXISTING, GULF STEEL IS ACCEPTABLE, NEW CLADDING THICKNESS
- (10) EXISTING METAL ROOF TO REMAIN, N.E.T.
- (11) REPAIR/REPLACE ALL EXISTING LIGHTS (E.G. 1800V CORNER BALCONY LIGHTS, ETC.)
- (12) TYPICAL FINISHINGS SUCH AS VINYL & OVERLAP SLIPSTREAMS TO BE REPLACED WITH NEW AT SAME LOCATION
- (13) PRECAST CONCRETE EXTERIOR COLUMN BASES
- (14) EXISTING SCHEME TO BE REWORKED AND REFINISHED TO ACCOMMODATE WORK
- (15) METAL PANEL CONSIDERED TO BE RETURN TO AS-BUILT CONDITION (UNLESS NOTED OTHERWISE)
- (16) CONCRETE IN EXISTING DOOR
- (17) CONCRETE IN EXISTING DOOR
- (18) CONCRETE IN EXISTING DOOR
- (19) CONCRETE IN EXISTING DOOR
- (20) CONCRETE IN EXISTING DOOR
- (21) CONCRETE IN EXISTING DOOR
- (22) CONCRETE IN EXISTING DOOR
- (23) CONCRETE IN EXISTING DOOR
- (24) CONCRETE IN EXISTING DOOR
- (25) CONCRETE IN EXISTING DOOR
- (26) CONCRETE IN EXISTING DOOR
- (27) CONCRETE IN EXISTING DOOR
- (28) CONCRETE IN EXISTING DOOR
- (29) CONCRETE IN EXISTING DOOR
- (30) CONCRETE IN EXISTING DOOR
- (31) CONCRETE IN EXISTING DOOR
- (32) CONCRETE IN EXISTING DOOR
- (33) CONCRETE IN EXISTING DOOR
- (34) CONCRETE IN EXISTING DOOR
- (35) CONCRETE IN EXISTING DOOR
- (36) CONCRETE IN EXISTING DOOR
- (37) CONCRETE IN EXISTING DOOR
- (38) CONCRETE IN EXISTING DOOR
- (39) CONCRETE IN EXISTING DOOR
- (40) CONCRETE IN EXISTING DOOR
- (41) CONCRETE IN EXISTING DOOR
- (42) CONCRETE IN EXISTING DOOR
- (43) CONCRETE IN EXISTING DOOR
- (44) CONCRETE IN EXISTING DOOR
- (45) CONCRETE IN EXISTING DOOR
- (46) CONCRETE IN EXISTING DOOR
- (47) CONCRETE IN EXISTING DOOR
- (48) CONCRETE IN EXISTING DOOR
- (49) CONCRETE IN EXISTING DOOR
- (50) CONCRETE IN EXISTING DOOR



SOUTH ELEVATION



NORTH ELEVATION

GENERAL COMPLIANCE #5a JUN 07 2005

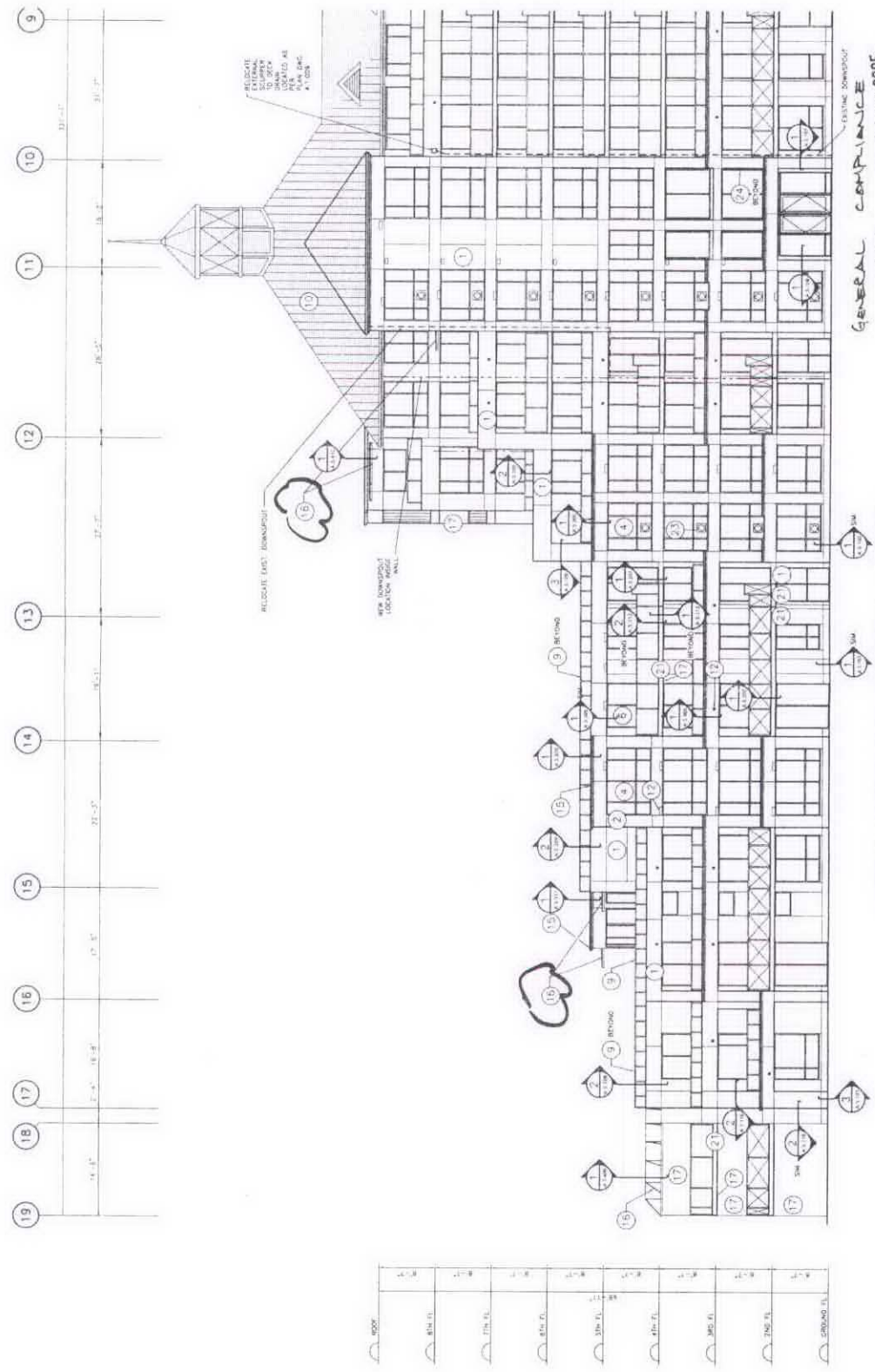
DP 94-000242

REVISION	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	06/07/05
2	ISSUED FOR PERMIT	06/07/05
3	ISSUED FOR PERMIT	06/07/05
4	ISSUED FOR PERMIT	06/07/05
5	ISSUED FOR PERMIT	06/07/05
6	ISSUED FOR PERMIT	06/07/05
7	ISSUED FOR PERMIT	06/07/05
8	ISSUED FOR PERMIT	06/07/05
9	ISSUED FOR PERMIT	06/07/05
10	ISSUED FOR PERMIT	06/07/05
11	ISSUED FOR PERMIT	06/07/05
12	ISSUED FOR PERMIT	06/07/05
13	ISSUED FOR PERMIT	06/07/05
14	ISSUED FOR PERMIT	06/07/05
15	ISSUED FOR PERMIT	06/07/05
16	ISSUED FOR PERMIT	06/07/05
17	ISSUED FOR PERMIT	06/07/05
18	ISSUED FOR PERMIT	06/07/05
19	ISSUED FOR PERMIT	06/07/05
20	ISSUED FOR PERMIT	06/07/05
21	ISSUED FOR PERMIT	06/07/05
22	ISSUED FOR PERMIT	06/07/05
23	ISSUED FOR PERMIT	06/07/05

PROJECT NO.	94-000242
DATE	JUN 07 2005
SCALE	1/8" = 1'-0"
DRAWN BY	A 2 001
CHECKED BY	
PROJECT NAME	LIGHTHOUSE PLACE
CLIENT	METRO BOSTON TRANSPORTATION AUTHORITY
LOCATION	
DATE	

DATE: 06/07/05
 DRAWN BY: [unintelligible]
 CHECKED BY: [unintelligible]

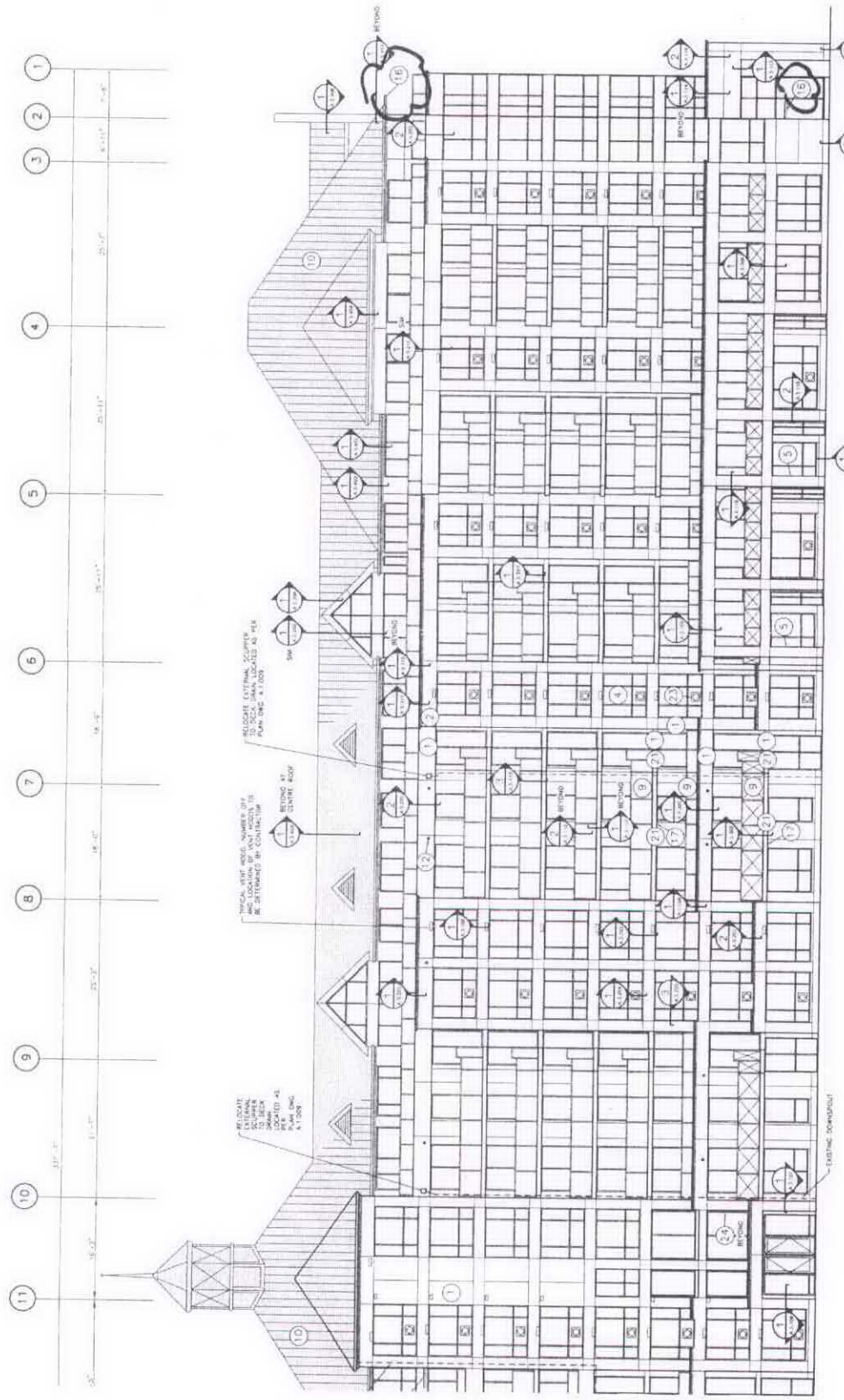
PROJECT	GENERAL CONTRACT
DATE	JUN 07 2005
DESCRIPTION	LIGHTHOUSE PLACE
LOCATION	INDUSTRIAL PARK
SCALE	1/8" = 1'-0"
NO.	A 2002



DATE: 06/07/05
 DRAWN BY: [illegible]
 CHECKED BY: [illegible]

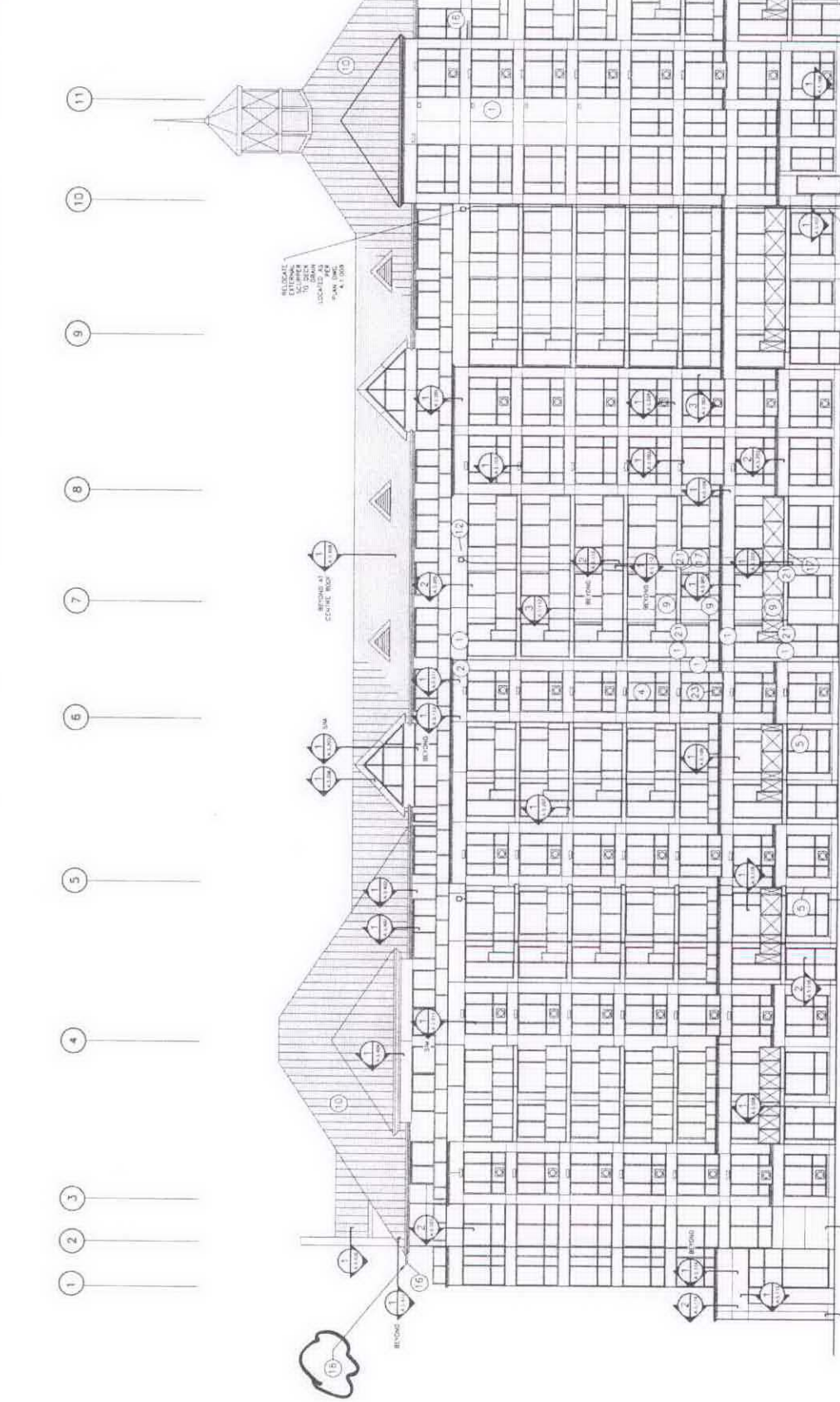
PROJECT NAME	DESCRIPTION	DATE
LIGHTHOUSE PLACE	RENOVATION	06/07/05
PROJECT NO.	SCALE	1/8" = 1'-0"
NO. OF SHEETS	TOTAL SHEETS	2 / 2
PROJECT LOCATION		A 2.003

GENERAL CONTRACTOR
 #52
 JUN 07 2005
 DP 94-000242



WEST ELEVATION (SOUTH HALF)

DATE: 06/07/05
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]



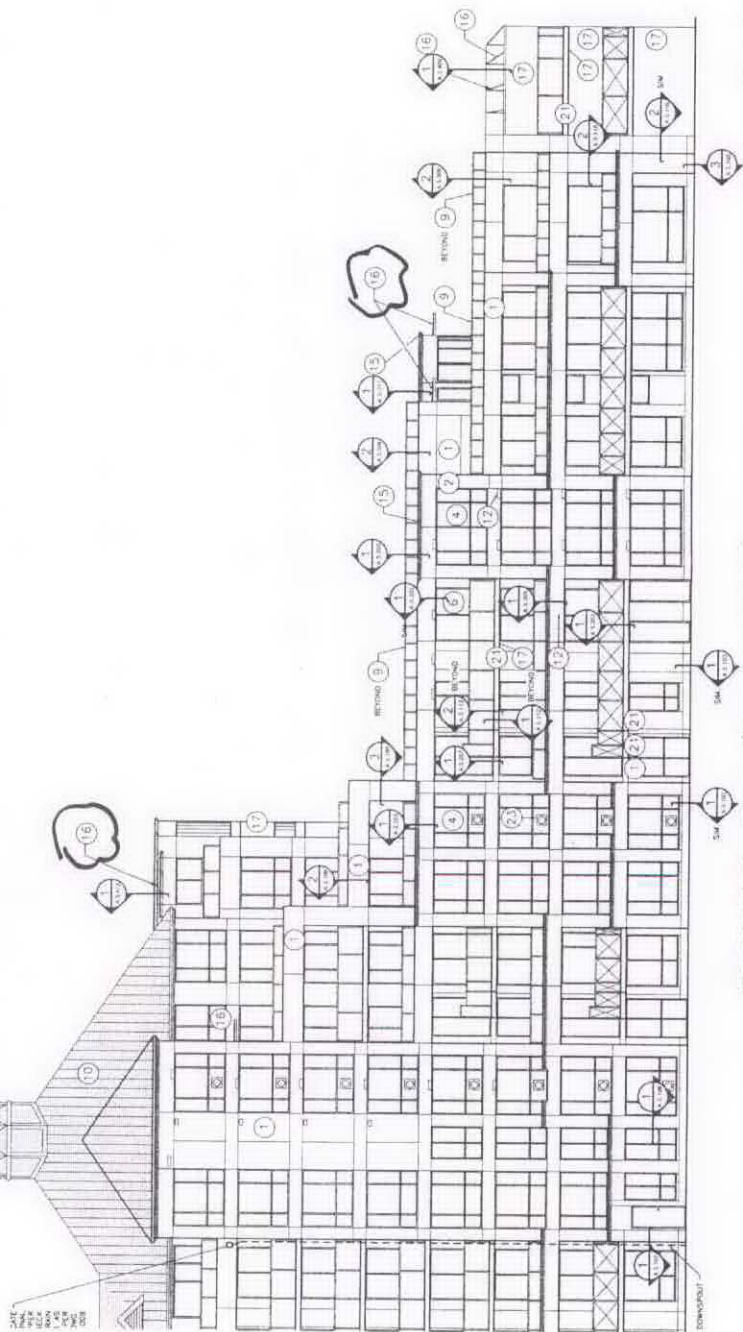
DATE	DESCRIPTION	DATE
06/07/05	GENERAL COMPLIANCE	
06/07/05	REVISION	

PROJECT NO.	DATE	SCALE
100000000000000	06/07/05	A 2.004

GENERAL COMPLIANCE
 JUN 07 2005
 #50
 DP 94-000242

EAST ELEVATION (SOUTH HALF)

- 10
- 11
- 12
- 13
- 14
- 15
- 16
- 17
- 18
- 19



EAST ELEVATION (NORTH HALF)

GENERAL COMPLIANCE
 #5E JUN 07 2005
 DP 94-000242

NO. 1	DESCRIPTION	DATE
1	GENERAL COMPLIANCE	06/07/05
2	REWORK	06/07/05
3	REWORK	06/07/05
4	REWORK	06/07/05
5	REWORK	06/07/05
6	REWORK	06/07/05
7	REWORK	06/07/05
8	REWORK	06/07/05
9	REWORK	06/07/05
10	REWORK	06/07/05
11	REWORK	06/07/05
12	REWORK	06/07/05
13	REWORK	06/07/05
14	REWORK	06/07/05
15	REWORK	06/07/05
16	REWORK	06/07/05
17	REWORK	06/07/05
18	REWORK	06/07/05
19	REWORK	06/07/05

Do not make drawing. Dimensions to be written in
 size. Drawing to be read in conjunction with
 project specifications.

NO.	PRE-TENDER	DATE
2	27/04/05	
1	10/11/04	

ISSUE	DESCRIPTION	DATE
1	ISSUED FOR MARK	

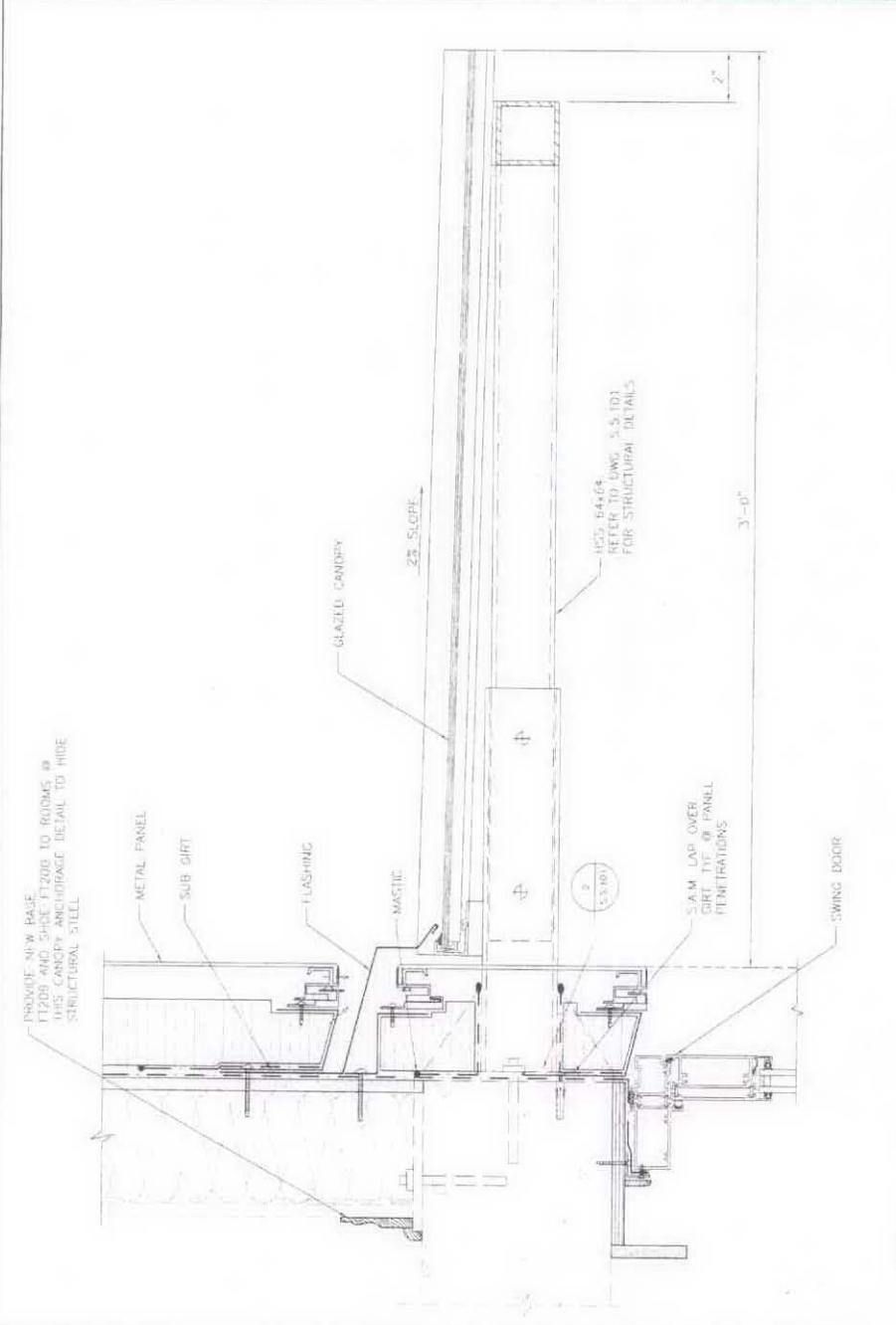
**MORRISON
HERSFIELD**

2850 DONER GRESSENT REINHOLD BC
 10000 DONER GRESSENT REINHOLD BC
 TEL: 604-455-0402 FAX: 604-455-0402
 WWW.MORRISONHERSFIELD.COM

LIGHTHOUSE PLACE
 2850 DONER GRESSENT REINHOLD BC

TYPICAL CANOPY

DATE	APRIL/15	SCALE	3'-1"=1'-0"
DESIGN	DH/ALC	DRAWING NO.	
SKETCH	RM		
REVISIONS	DH		A.5.412



GENERAL CONTRACTOR
 #57 JUN 07 2005
 DP 94-000242

1 TYPICAL CANOPY
 SCALE 3'-1"=1'-0"

STATISTICS

SCALA: 1:500
 DRAWN BY: J. G. GIBSON
 CHECKED BY: J. G. GIBSON

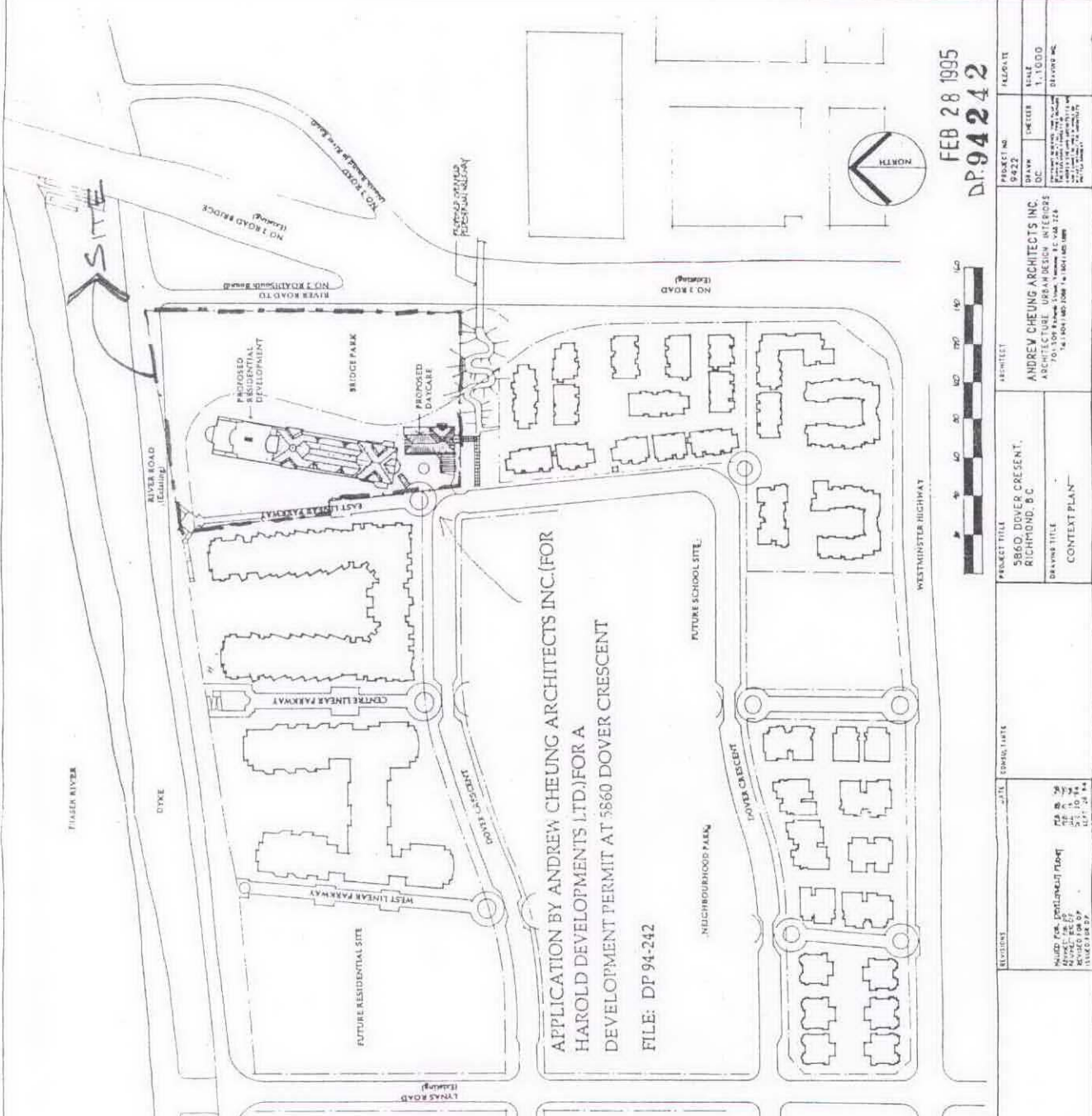
APPLICATION BY HAROLD DEVELOPMENTS LTD. FOR A DEVELOPMENT PERMIT AT 5860 DOVER CRESCENT

It is recommended that a Development Permit be issued for 3500 Dover Crescent that would:

1. Allow the construction of a 41,412.7 sq. ft. (137,965.6 sq. ft.) apartment, a 250 sq. ft. (2,691 sq. ft.) childcare centre and auxiliary facilities on an 27,145.9 sq. m. (106,920.3 sq. ft.) zoned Comprehensive Development District (CDD-11), and
2. Vary the regulations of the Zoning and Development Bylaw to:
 - a) Allow a stepped roof and architectural appearances to project above the 24.38 m (79.987 ft.) height limit, up to a maximum of 35 m (114.83 ft.);
 - b) Reduce the width of parking aisles from 7.5 (24.6 ft.) to 6.2 m (20.341 ft.);
 - c) Allow up to 45 cars to be parked in tandem;
 - d) Reduce the number of parking spaces from 170 to 169; and
 - e) Reduce the setbacks from 6 m (20 ft.) to 0 to allow a roofed entry, trellises and covered play area to project into the required yard.
 - f) Reduce the setbacks from 6 m (20 ft.) to 1 m (3.28 ft.) for the day care building, adjacent to the City parkland.

**ORIGINAL ARCH DRAWINGS
 FOR DEVELOPMENT PERMIT
 DATED 1995 FEB 28**

ONLY P.5 IS MARKED-UP



FEB 28 1995
 DP: 94242

PROJECT TITLE 5860 DOVER CRESCENT, RICHMOND, B.C.	APPLICANT ANDREW CHEUNG ARCHITECTS INC. ARCHITECTURE, URBAN DESIGN, INTERIORS 101-103 WESTMINSTER HIGHWAY, SUITE 210 RICHMOND, B.C. V6V 1A6 TEL: (604) 273-1111	PROJECT NO.	FILED DATE
		DATE DEC. 1, 1990	FILED DEC. 1, 1990
DRAWING TITLE CONTEXT PLAN		DRAWING NO. 5860-01	
REVISION	DATE	FORMAL DATE	REVISION
1. REVISED FOR DEVELOPMENT PERMIT	1995 FEB 28	1995 FEB 28	1. REVISED FOR DEVELOPMENT PERMIT
2. REVISED FOR DEVELOPMENT PERMIT	1995 FEB 28	1995 FEB 28	2. REVISED FOR DEVELOPMENT PERMIT
LEGAL DESCRIPTION LOT C, SECTION 1, BLOCK 4 NORTH RANGE 7 WEST N40 PLAN LMP 13619			

EXISTING DEVELOPMENT DRAWINGS



Reference Plan

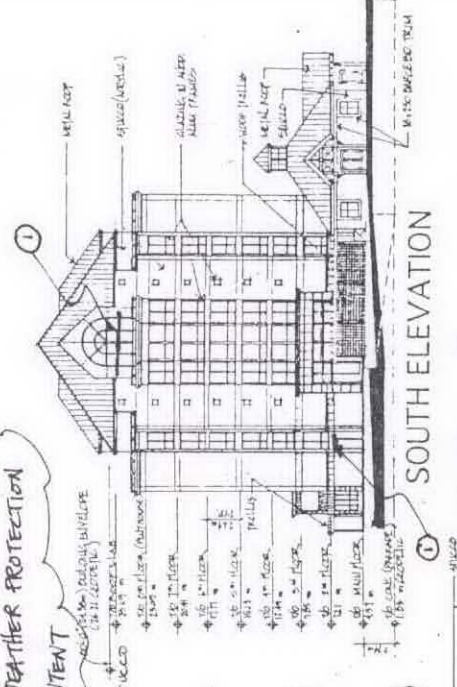
EAST ELEVATION

NORTH ELEVATION

- 1 NEW CANDIES OVER EXPOSED ROOFS FOR WEATHER PROTECTION
- 2 NEW CORNICES TO MATCH EXISTING DESIGN INTENT
- 3 NEW METAL BANISTERING TO REPLACE EXISTING ACRYLIC STICKED

Variance

- 1. Allow a sloped roof and architectural appearances to project above the 24.38m (79.857 ft.) height limit, up to a maximum of 35m (114.83 ft.).



SOUTH ELEVATION

WEST ELEVATION

FEB 28 1995
DP 94242

NO.	DATE	DESCRIPTION	BY	CHK'D BY
1	02/28/95	Issue		
2				
3				

PROJECT TITLE	PROJECT NO.	DATE
5860, DOVER CROSSING ARCHITECTURE UPRAUCTION INTERIORS RICHMOND, B.C.	5-422	Nov 7/94
CLIENT	ARCHITECT	SCALE
	ANDREW CHEUNG ARCHITECTS INC ARCHITECTURE UPRAUCTION INTERIORS 100 BRUCE MELROSE BLVD #228 RICHMOND, BC V6X 3A9	1:200
REVISIONS		PROJECT NO.
1. Make the building appear like a new building 2. Height max 35m 3. Sloped roof 4. Metal roof 5. Banistering		5