



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: September 21, 2020

From: Wayne Craig
Director, Development

File: DP 19-855200

Re: **Application by Oris (Dyke Road) Development Corp. for a Development Permit at 6091 and 6111 Dyke Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a mixed use development containing 13 dwelling units and approximately 128 m² (1,378 ft²) of commercial space at grade at 6091 and 6111 Dyke Road on a site zoned "Commercial Mixed Use – London Landing (Steveston)(ZMU 40)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to not require an on-site loading space.

A handwritten signature in black ink that reads "Wayne Craig".

Wayne Craig
Director, Development
(604-247-4625)

WC:ke
Att. 3

Staff Report

Origin

Oris (Dyke Road) Development Corp. has applied to the City of Richmond on behalf of BC 458834 BC Ltd (Director: R. Puri) and Oris (Dyke Road) Development Corp. (Directors: D. Westermarck; S. Lawson; B. Cavanaugh; J. O'Bray; N. Curran) for permission to develop a mixed use development containing 13 residential units and approximately 128 m² (1,378 ft²) commercial unit at 6091 and 6111 Dyke Road on a site proposed to be zoned "Commercial Mixed Use – London Landing (Steveston)(ZMU 40)". The site currently contains two light industrial buildings.

The site is being rezoned from "Light Industrial (IL)" to "Commercial Mixed Use – London Landing (Steveston)(ZMU 40)" for this project under Bylaw 9953 (RZ 15-702486).

Servicing Agreements (SA 18-852853; SA 18-852854) are required as a condition of rezoning adoption and include, but is not limited to, the following improvements:

- Design and construction of sanitary relocation works along the subject site's Dyke Road (west) frontage.
- Design and construction of frontage works (including loading area lay-by along Dyke Road), on-site public pathway (north property line), Streamside Protection and Enhancement Area (SPEA) restoration/enhancement within the Dyke Road allowance and on-site servicing connections.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Through the processing of this Development Permit application, the applicant has included a proposed change to add one residential unit for a total of 13 units in the project. At time of rezoning, the project proposed 12 residential units. The proposed increase of one residential unit is achieved through dividing a large unit into two smaller units with no additional floor area or density being added to the project. The proposal remains consistent with the provisions in the "Commercial Mixed Use – London Landing (Steveston) (ZMU 40)" zone developed for this site. There are minor changes to the east portion of the development's north and east building elevations that relate to revisions to window placement as a result of the interior building modifications to accommodate the additional unit.

The revised proposal, with an additional residential unit, exceeds the City's Zoning Bylaw requirements for off-street parking (residential and visitor parking stalls). The developer has also informed the neighbouring development's strata to the east at 13251 Princess Street (Nakade) of the proposed change to add a residential unit.

Background

The subject site is located in the London/Princess Sub Area of the Steveston Area Plan Official Community Plan (OCP) and is designated “Mixed Use” in the land use map for the area. The proposed mixed use project proposed in this Development Permit complies with this OCP designation and is consistent with the rezoning application previously considered by Council. Development surrounding the subject site is as follows:

- To the north, is a site zoned “Light Industrial (IL)” containing one and two storey existing industrial buildings.
- To the east, is an existing four storey residential apartment complex at 13251 Princess Street (Nakade Development).
- To the south, is a Provincially designated Riparian Management Area (RMA)(15 m). Across Dyke Road to the south is a public pathway.
- To the west, an existing mixed use development located on the west side of Dyke Road at 6168 Dyke Road (The Pier). A RMA (15 m) at the southwest portion of the site associated with the existing watercourse running along the south portion of the site.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Coordination of on-site restoration landscaping and planting within the Streamside Protection and Enhancement Area (SPEA)/RMA in conjunction with the enhancement plan submitted by the project’s Qualified Environmental Professional (QEP).
- Landscape design detailing of outdoor amenity, courtyard and on-site pathways in the project.
- Additional architectural design detailing for the project.
- Inclusion of a request to vary Richmond Zoning Bylaw 8500 requirements for on-site loading as a result of loading provisions being incorporated into the frontage improvements for the development.

Through the review of this Development Permit application, staff have worked with the applicant to ensure the project complies with the applicable design guidelines contained within the OCP and urban design and landscape issues identified during the processing of the rezoning application as follows:

- Landscape and enhancement plantings within the SPEA/on-site RMA are consistent with the project’s QEP restoration plan and comply with all applicable Federal and Provincial regulations.
- The outdoor amenity, courtyard area and surrounding circulation pathways are designed to be accessible with complementing landscaping that provides appropriate privacy screening to the residential units.
- Architectural detailing for the project responds to the surrounding mixed use and multi-family residential developments by incorporating modern building forms and contemporary materials. This project also proposes cladding treatments (hardi-shingle, horizontal siding) that are similar to the lower-density residential developments in the London/Princess Sub Area to the east.

The Public Hearing for the rezoning of this site was held on December 18, 2019. Through the Council consideration of the application at the Public Hearing, the following concerns in relation to adjacency, height and massing of the project were expressed by the strata in the neighbouring development at 13251 Princess Street and a resident at 6168 London Road:

- Comments and concerns about the overall height and massing of the project when compared to existing developments in the surrounding area.
- Questions about the setback of the project in relation to Dyke Road.

The project/applicant responses to address these issues is summarized as follows:

- Following additional review it was determined the height and massing of the development is consistent with other mixed use projects in the surrounding area. For the portion of the building directly adjacent to the neighboring four-storey development to the east at 13251 Princess Street, the project's height and massing is stepped down to be less than the height of the neighboring building and provides a 3 m side yard (east property line) setback that is identical to the setback for this neighboring development, providing a 6 m separation distance between buildings.
- The building on the subject site is also pulled as far to the north as possible in response to an existing RMA (15 m), which allows for views and sun exposure to be maintained for the south and southwest facing residential units for the existing project at 13251 Princess Street.
- In response to Dyke Road setbacks questions, the building is sited to provide for a 1.5 m setback for the first storey and 6 m setback for remaining portions of the building above the first storey. This approach is consistent to other mixed use projects developed in this area by providing for a pedestrian-friendly building frontage with a strong commercial/retail frontage presence to the street. The additional setback on the upper floors allows for increased sunlight exposure and views along the north-south portion of Dyke Road.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Commercial Mixed Use – London Landing (Steveston)(ZMU 40)" zone except for the variance noted below.

Zoning Compliance/Variances (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to not require an on-site loading space.

Staff supports the proposed variance as provisions for a loading area lay-by will be incorporated into the Dyke Road frontage upgrades to the west of the subject site in lieu of a dedicated on-site loading space. Design and construction of the loading area lay-by is being secured through the Servicing Agreement, which is a rezoning consideration item to be completed for this development.

The subject site is also constrained by a limited amount of road frontage accessible to vehicles as a result of the existing RMA (15 m) that runs along the site's entire south and portions of

the west frontage. Remaining portions of the site with road frontage are utilized for vehicle access, residential lobby entrance and a small commercial unit located at the northwest corner of the development.

The variance request relates to not requiring an on-site loading space and provisions to secure an off-site loading lay-by along the site's Dyke Road (north-south) frontage through the Servicing Agreement was identified in the Rezoning Staff Report and related Rezoning Considerations.

Advisory Design Panel Comments

The Advisory Design Panel was held on November 6, 2019 and was supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel. A copy of the relevant excerpt from the Advisory Design Panel Minutes from November 6, 2019 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in coloured text.

Analysis

Conditions of Adjacency

- The proposed design and overall massing of the project responds to existing developments in the surrounding area.
 - Along the north-south portion of Dyke Road, the building at grade is pulled close to the property line to allow for a pedestrian-friendly streetscape and commercial space interface to Dyke Road, which is similar to other mixed use developments in the area. The building is pulled back from Dyke Road (west elevation) for levels 2 through 4, which maximizes views to the south (river) and maximizes sunlight exposure to the street.
 - Massing of the project steps down and decreases from the highest parts of the project on the west portion of the site to the lowest part of the building on the east portion of the site. The building height on the east portion of the site is 18.2 m, which is lower than the adjacent development to the east at 13251 Princess Street (Nakade). In addition, a side yard setback of 3 m is provided on the subject site, which allows for a 6 m separation distance between these two developments.
- Along the north edge of the site, the present adjacency condition on the subject site is a two-storey light industrial building that has no setback to the north property line. The site to the north (13191 Princess Street) contains a one-storey and two-storey industrial building adjacent to the subject site. There is presently a grade difference between these two sites with the subject site being higher in elevation with an approximately 1.8 m tall retaining wall with a barrier railing providing the transition to the neighbouring site.
 - The proposed mixed use building at street level will be setback 3 m from the north property line and contains a commercial unit. The portion of the building (levels 2-4) above the commercial unit (level 1) containing the project's residential units is cantilevered 1 m over and setback 2 m from the north property line. The development opens up to a courtyard containing the outdoor amenity area generally at the north east portion of the site. A 3 m wide pathway is also provided along the north edge of the site providing pedestrian access to the

- courtyard area of the development. This pathway would also serve as a potential future public connection between Princess Street and Dyke Road which would only be achieved through redevelopment of the neighbouring site(s) to the north. The proposed development reduces the amount of building along the north edge of the site and provides a 3 m setback for level 1 and 2 m setback for levels 2-4.
- A similar grade difference from the present situation will remain between the subject site and property to the north. The small visible portion of the concrete retaining wall along the north property line will have reveals to add additional detailing and a metal barrier railing mounted on-top.
 - The following approaches are taken along the east portion of the subject site containing an existing four-storey residential development (13251 Princess Street – Nakade) and existing two-storey industrial operation at 13191 Princess Street to address these neighbouring adjacencies:
 - The portion of the development on the south east portion of the site adjacent to the neighbouring residential development to the east is pulled back from the south property line and setback 3 m from the east property line. This approach maximizes south and southwest views to the river for the neighbouring site and allows for sun exposure to these neighbouring units. The 3 m setback along the east property line is similar to the setback for the neighbouring site and provides for landscaping to be implemented within with side yard area.
 - The side yard on the neighbouring residential property to the east contains a private walkway which is generally lower than the grades proposed for the development site. To manage this grade transition, the subject site proposes a 0.5 m tall retaining wall above the elevation of the walkway on the neighbouring site. A stepped landscaped retaining wall is proposed in the east side yard setback area providing the remaining transition to the proposed finished grade for the site.
 - The northeast portion of the site adjacent to the existing industrial development opens to a courtyard containing the outdoor amenity for the development. A buffer is integrated on the subject site's east property line to provide a landscaped edge between the outdoor amenity area and neighbouring industrial building.

Urban Design and Site Planning

- Due to the existing watercourse with the RMA (15 m) designation running along the site's south property line and requirement to comply with the identified setback to this watercourse, the building fronting the north-south portion of Dyke Road along the site's west property line is pulled close to the street and within 3 m of the north property line (at street level). This enables the commercial unit for the development to have a direct interface to the Dyke Road streetscape, consistent with other commercial uses at grade and developments in this area.
- Vehicle access to the site was reviewed as part of the rezoning application and supported by the City's Transportation Department. The vehicle access to the parkade is situated as far north as possible, away from where Dyke Road curves north. This vehicle access location allows for the commercial unit, residential lobby entrance and pedestrian linkage providing access to the courtyard/outdoor amenity to the project and future public pathway connection between Dyke Road and Princess Street to be contiguous and not separated from the pedestrian-oriented streetscape along the north-south portion of Dyke Road.

- Pedestrian circulation is provided along the Dyke Road frontage along the west edge of the site through sidewalk, boulevard and related improvements that will be completed through a Servicing Agreement for this development. A 3 m wide pathway provides direct access to the courtyard area at the north east area of the site containing the outdoor amenity. This 3 m wide pathway also forms a portion of a future public pathway linking Dyke Road and Princess Street. The ultimate pathway width and connection will be achieved when development to the north at 13191 Princess Street occurs in the future. As part of this development, a 3 m wide statutory right-of-way along the site's north property line and the design and construction of this pathway will be through a Servicing Agreement, both of which are secured as rezoning consideration items.
- A pathway along the south portion of the development adjacent to the RMA is a private connection providing an egress pathway for access and exiting requirements.
- This development does not provide for an indoor amenity area (or cash-in-lieu contribution) as the average unit size for this project (179 m² or 1,927 ft²) exceeds the average unit size of 148 m² (1,593 ft²) identified in the exemption provided for in the OCP.
- The below grade parkade structure contains all of the off-street parking stalls required by the Zoning Bylaw provisions and includes:
 - 24 stalls for the 13 residential units.
 - Four stalls for the commercial space.
 - Four residential visitor stalls (shared with the commercial stalls) (Note – The shared stalls for commercial and residential visitor purposes is included in the “Commercial Mixed Use – London Landing (Steveston)(ZMU 40)” zoning provisions and secured through a legal agreement to be registered as a rezoning consideration item.
 - These off-street parking provisions complies with the Zoning Bylaw and zoning district proposed for this project.
- The garbage and recycling bins are located in a dedicated refuse/recycling room in the parkade. For garbage and recycling service days, the contractor will arrange to bring the bins out onto Dyke Road and temporarily placed in the lay-by area along Dyke Road to be constructed as part of the frontage works for this development. Once service is completed, the bins will be returned to the refuse/recycling room. This approach has been reviewed and is supported by Environmental Programs staff.
- In accordance with Zoning Bylaw requirements, this development provides for supporting infrastructure for all residential parking stalls in this development to support level 2 electric vehicle charging capabilities.
- This development also provides one of the shared commercial/residential visitor stalls to be equipped with a 240v electrical outlet to support electrical vehicle charging infrastructure.

Architectural Form and Character

- The building's form and architecture respond to the site's geometry and corner location. To break up overall building massing and respond to surrounding land uses, the building design provides for three building forms as follows:
 - Along Dyke Road (west portion), the building at street level containing the commercial unit is sited close to the street with upper levels stepping back that is

- characteristic of contemporary building forms and architecture within this mixed use area.
- The building façade along the south-west portion of the site contains large amounts of glazing and open deck space taking advantage of the sun exposure and south oriented views to the water.
 - The east portion of the development steps down in massing to be less than the height of the existing neighbouring four-storey building at 13251 Princess Street. As this part of the development does not contain any rooftop deck open space, a unique roof form is proposed to provide a transition from some of the contemporary building forms to the west to the more traditional residential building forms to the east. The curved roof form makes reference to a historic building shape that is typical of some of the supporting fishery buildings in the nearby Steveston Harbour Authority lands.
- Variable heights for the parapets of the building also assists with differentiating a single-building into the three distinct building forms as noted above and breaking up the overall massing of the project.
 - Two separate rooftop access structures containing an elevator, access/egress stairways and private washroom facilities (powder room) are setback from the edges of the building to minimize visibility from the surrounding streets and are designed to have similar architectural finishing and cladding materials as the rest of the development.
 - The proposed design (thin metal support columns with clear glass guard rails) and architectural detailing (decorative painted beams) of the decks on the west, southwest and south building frontages provide an architectural element that is consistent across the entire project. The application of slim profile metal support posts and use of clear glass guardrails helps to reduce the overall building mass of the project.
 - Building cladding primarily consists of fibre cement lap siding, panel boards, shingles and trim that is consistent with the cladding materials used in the surrounding residential developments to the east. Corrugated metal siding is proposed at grade around the commercial unit, residential lobby and vehicle access to the parkade, differentiating these areas of the development from the residential component.

Landscape Design and Open Space Design

On-Site Landscaping

- The outdoor amenity area is located on the north east portion of the site and is designed to incorporate play equipment to facilitate active play (play structure with climbing net and balance bridge), sized to meet minimum OCP requirements for outdoor amenity areas and allows for sun exposure during summer months. Elevated planters with landscaping and trees helps to define the outdoor space, while providing buffering to the existing industrial use to the east and privacy screening to the on-site residential units to the south. The outdoor amenity area is also sited directly adjacent to the courtyard providing access to the building and pathway along the north edge of the site (future public pathway when development on neighbouring sites occurs), which provides a central location for access and use by residents of the development.
- On-site landscaping and planted areas will be serviced by an irrigation system to be installed as part of the landscape works for this project.

- 8 new deciduous trees (dogwood, cherry, vine maple and beech varieties) are proposed to be planted on-site within the courtyard area within raised concrete planter beds.
- Shrubs, grasses and groundcovers are proposed for the landscaping along the east side yard integrated into a terraced planter adjacent to the building. Along the south portion of the site between the RMA/SPEA and mixed use building, shrubs and groundcovers are integrated into elevated planter boxes and at grade to provide screening to retaining walls.
- The subject site does not contain any existing bylaw sized trees or landscaping on neighbouring properties that will be impacted as a result of this development.
- Perimeter fencing along the north and east edge of the site consists of a metal rail fence and kept at a height of approximately 1 m to provide a suitable transition to neighbouring properties. The fencing proposed along the north property line has been designed so that it can be removed with the implementation of a public pathway upon redevelopment of the neighbouring property to the north.
- To provide additional design detailing, add visual interest and differentiate various open spaces, accesses and pathways, a variety of hard surface treatments (patterned/coloured concrete and pavers) have been selected.
- A landscape bond/letter of credit in the amount of \$90,387 will be secured as a Development Permit consideration (Attachment 3) for this project.

On-Site Restoration/Enhancements within the RMA/SPEA

- In accordance with the rezoning proposal, the subject site and overall development complies with the designated RMA for the watercourse that runs along the south portion of the site and required 11.1 m wide Streamside Protection and Enhancement Area (SPEA) as determined by the project's Qualified Environmental Professional (QEP) and approved by the Province. This 11.1 m wide SPEA is located partially on the subject site on the south side along Dyke Road. The remaining SPEA is located within the City's Dyke Road allowance from the south property line of the site to the edge of the watercourse. The proposed restoration and enhancement works for the SPEA are addressed through the following:
 - Restoration and enhancement works within the SPEA located on the subject site are covered by the QEP's plans prepared for this area forming part of this Development Permit application.
 - Restoration and enhancement works within the SPEA located in the City's Dyke Road allowance will be completed through the Servicing Agreement, which was secured as a prior rezoning consideration item for this project.
- The project's QEP has submitted a plan for the restoration and enhancement of the SPEA that involves the following works:
 - Implement a naturalized grade/slope within the SPEA.
 - Invasive plant management.
 - Restoration and enhancement plantings consisting primarily of native plant/shrub species (observed by the QEP to be consistent with existing plantings in the area and native to Richmond). 6 proposed trees (black cottonwood – native to Richmond) are proposed to be implemented within the SPEA (2 located on-site; 4 located in the City's Dyke Road allowance).
 - Implementation of a split rail fence at the edge of the SPEA to demarcate the restoration area and discourage future disturbance or trespass into this area.

- On-site planting and landscaping outside of the SPEA is compatible with the proposed restoration and enhancement works proposed by the QEP in the SPEA. The private pathway that runs along the edge, outside of the designated SPEA consists of gravel and provides a suitable surface treatment adjacent to this area.
- In support of the restoration and enhancement works within the SPEA, the project QEP has also prepared a supporting Construction Environmental Management Plan (CEMP) and monitoring and maintenance plan.
- A landscape bond/letter of credit in the amount of \$50,410 will be secured as a Development Permit consideration specific to the restoration and enhancement works within the on-site SPEA and will be subject to the monitoring and maintenance plan submitted by the project QEP.
- Environmental Sustainability staff have reviewed the SPEA plans and supporting materials submitted by the project QEP and support the recommended restoration and enhancement works.

Crime Prevention Through Environmental Design

- The design of the project provides clear access points and areas for commercial, residential and common areas to ensure they are well defined and visible.
- The courtyard area, containing the outdoor amenity area is located in a highly visible central area of the development with active and passive surveillance provided by the residential units that overlook this space and access the area.
- Low permeable fencing is provided around the perimeter of the site that provides the ability for surveillance and visibility beyond the boundaries of the site.
- The pathway along the north edge of the site will be highly visible from the adjacent commercial unit at grade and courtyard area of the development that allows for frequent surveillance of this area.

Accessible Housing

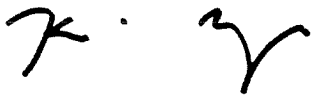
- The proposed development includes four basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- The rooftop deck areas for three residential units are serviced by an elevator which allows for these private amenity areas to be accessible to individuals with mobility impairments.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Sustainability

- This development is required to adhere to the Step 3 performance targets in the Energy Step Code as the Development Permit application was submitted after July 16, 2018. The applicant has submitted confirmation from the Coordinating Registered Professional that the proposed design of this project meets Step 3 performance targets in the Energy Step Code.

Conclusions

The proposed Development Permit for the mixed use project on the subject site has addressed all matters related to adjacency, site planning and urban design, landscaping and overall form and character of the development and adheres with all applicable Development Permit Guidelines contained in the Official Community Plan (OCP). On this basis, staff recommend support for this Development Permit application.



Kevin Eng
Planner 2
(604-247-4626)

KE:blg

Attachments:

Attachment 1 – Development Application Data Sheet

Attachment 2 – Excerpt of November 6, 2019 ADP Minutes with Applicant Responses

Attachment 3 – Development Permit Considerations



DP 19-855200

Attachment 1

Address: 6091 and 6111 Dyke Road

Applicant: Oris (Dyke Road) Development Corp. Owner: 458834 BC Ltd.; Oris (Dyke Road) Development Corp.

Planning Area(s): Steveston Area Plan – London/Princess Sub Area

Floor Area Gross: 2,840 m² Floor Area Net: 2,560 m²

	Existing	Proposed
Site Area:	6111 Dyke Road – 972 m ² 6091 Dyke Road – 809 m ²	1,781 m ² (consolidated)
Land Uses:	Light industrial	Mixed use development containing at grade commercial (1 unit) and 13 residential units
OCP London/Princess Sub Area Plan Designation:	Mixed use	No change - complies
Zoning:	Light Industrial (IL)	Commercial Mixed Use – London Landing (Steveston)(ZMU40)
Number of Units:	N/A	1 commercial unit 13 residential units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.45 FAR	1.45 FAR	none permitted
Lot Coverage:	Max. 55%	52%	none
Setbacks – Parking structure:	Min. 3.5 m south property line setback No minimum setbacks to west, north and east property lines	3.6 m setback to south property line	none
Setback – West property line:	Min. 6 m setback for building above ground level No minimum setback for building at grade	1.5 m setback for building at grade 6.0 m setback for portions of building above ground level	none
Setback – South property line:	Min. 10 m	10 m setback to south property line	none
Setback – East property line:	Min. 3 m	3.0 m setback to east property line	none

Setback – North property line	Min. 3.0 m setback for building at grade. Min. 2.0 m setback for building above ground level	3.0 m setback for building at grade 2.0 m setback for building above ground level	none
Height (m):	Max. 20 m	19.8 m (top of elevator structure)	none
Off-street Parking Spaces – Residential:	20 stalls	24 stalls	none
Off-street Parking Spaces – Commercial/Residential Visitors (shared)	4 stalls	4 stalls	none
Total off-street Spaces:	24 stalls	28 stalls	none
Amenity Space – Outdoor:	Min. 78 m ² (840 ft ²)	98 m ² (1,055 ft ²)	none

Excerpt of November 6, 2019 Advisory Design Panel Minutes

1. DP 19-855200 – FOUR-STOREY MIXED USE BUILDING OVER ONE PARKADE LEVEL (BELOW GRADE)

ARCHITECT: The Andrews Architects Inc.
 LANDSCAPE ARCHITECT: PMG Landscape Architects Ltd.
 PROPERTY LOCATION: 6091/6111 Dyke Road

Applicant's Presentation

Dana Westermarck, Oris Consulting Ltd., Wendy Andrews, The Andrews Architects Inc., and Yiwen Ruan and Mary Chan Yip, PMG Landscape Architects, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- consider installing an automatic door in the underground parkade to access the elevator to enhance the accessibility of residents and visitors with mobility issues;
 - We will ensure that our electrical engineer allows for this to be installed on the Lobby area along with the two vestibules in the Garage. We will deal with this during the BP process.
- consider installing pocket or sliding doors in lieu of inward-swinging doors for washrooms of Basic Universal Housing units;
 - We will consider this during our BP process.
 - To Note: If a client asks for this to be installed to facilitate aging or handicap access we will accommodate this.
- appreciate the applicant contributing to the Public Art Fund; public art benefits the public realm;
 - Noted, thanks.
- the project's architectural approach responds well to the different building frontages; articulation of the building facades helps break down the scale and massing of the building;
 - Thank you.

- ensure provision of adequate lighting on soffits near the courtyard area which lack exposure to natural lighting;
 - Thanks for your comment and we will definitely ensure that adequate lighting around the entire building is provided. We will address this during the BP process.
- consider differentiating the paving treatment of the public pathway along the north edge of the subject site from the paving in front of the commercial unit and the residential entry; consider using a paving treatment for the public pathway that makes reference to the past character of the area; also consider installing wood benches and other street furniture which are consistent with the riverfront character;
 - We agree with these comments and have adjusted the paving in the following ways:
 - West PL Sidewalk: The paving has been adjusted to match across the street to have a consistent frontage down Dyke Rd. (Sawcut concrete)
 - North PL Walkway: We have adjusted the paving here to provide a contrast to the Courtyard and West PL paving. We have proposed a paver that has a realistic wood texture that pays homage to the boardwalks that were common in the area - such as at the Britannia Shipyards.
 - Ie. Bridgewood from (Barkman) or similar
 - We have kept the 3m ROW fully open with no furniture. We feel that the balance of the pathway should be designed first before any furniture is placed to ensure this space is adequately addressed when the pathway is open between Dyke and London Rd.
- reconsider the allan block retaining wall material adjacent to the pathway along the southwest portion of the site; for the proposed public realm treatment, consider the application of materials and finishing to match the character of the building and surrounding riverfront area context;
 - The block proposed in this area is not very high (approximately 24" to 30" maximum) and used only to help tier the landscape up to the main floor level from the exit pathway height. Material colours will match the building façade for a blended effect.
 - Secondly, this retaining wall is adjacent to planting within the SPEA which will be 2-4' high. This will help to screen the wall from all street angles allowing it to further merge into the landscape.
- applicant has done a good job in a difficult corner site; the project fits well with existing newer developments in the neighbourhood;
 - Thank you.

- appreciate the building being broken down in three different components which reduces the massing;
 - Thank you.
- reconsider the proposed location of gas meters in the underground parkade as it may not be consistent with existing Fortis BC regulations; consider relocating the gas meters close to the property line;
 - We have checked with Fortis BC and the placement of meters in the parkade on the wall is consistent with current regulations. We will place them here to ensure they don't affect our at grade finish and the pedestrian experience.
- review proposed parking ventilation strategy, which may need further refinements; proposed location of ventilation limited in one area may not provide effective ventilation;
 - We will coordinate this with our mechanical consultant during our Building Permit Process. We will work diligently to ensure that ventilation ducting and grilles are discreet and are incorporated carefully into the building façade and garden features.
- the applicant is advised that the BC Building Code requires the installation of a vestibule at the main residential entrance to the building;
 - We will review this further with our Code Professional and Mechanical Consultant during our BP process. Our current understanding is that the Lobby designed (is a vestibule) and meets the current code requirements.
- review the proposed mechanical ventilation louvers for the commercial unit to determine if they can adequately service the proposed uses permitted in the commercial unit; if additional louvers are required, consider installing these now to avoid future changes to the form and façade of the building in the future;
 - Thank you for your comment and reminder. We will certainly confirm our requirements as we continue to work with our mechanical engineer during the BP process. We will carefully and strategically incorporate any necessary grilles into the façade.
- maximizing the views on the building's west façade will also increase the potential for solar gain especially in summer; the applicant is encouraged to reconsider the amount of glass on the top floor of the building's west facade;
 - Our design currently maximizes the glass along this frontage. However, the shading provided by the overhang is limiting the solar gain. We will take these comments into careful consideration as we develop the project towards building permit.
 - However, we note that shading is very important to customers in their enjoyment of the designed outdoor space.

- the project is well done considering that it is located in a difficult site;
 - Thank you.
- consider further articulation to the side walls leading to the deeply recessed entrance to the main residential lobby;
- wall of the commercial unit adjacent to the recessed residential entrance appears like a blank wall with small windows and needs further articulation; consider introducing additional windows; choice of materials and colours is an important consideration in articulating the wall;

We have addressed these points together given their adjacency.

- We reviewed the commercial and lobby area to see how we could better address this. However this proved very difficult given the following constraints:
 - Fixed location of elevators and exit stairs to achieve direct access. These are setback a distance from the West PL. Thus we had to balance the desire to create a spacious, but not huge lobby while still meeting the travel distance requirements for Fire fighting.
 - In the end, we rebalanced the commercial and lobby space to pull the Lobby 2' closer to Dyke Rd.
- To create an inviting entranceway that draws the eye, adds interest and brightens the space we have proposed the following additions and clarifications.
 - Different Paving: Proposed a scored 'Boardwalk' effect with a tan colour.
 - Textured Corrugated siding on the North Wall.
 - Dropped Linear timber soffit with featured Lighting
 - We will also look at creating a stylish building sign here to help indicate this is the main entrance.
 - We have increased the size of the glazed opening to the adjacent commercial space. As this is an exit path we need to balance the amount of glass here and the code requirements to achieve this.
 - Installation of furniture or boxed plants to bring further life to the space.

- concrete columns at the building entrances on the west side need further articulation to enhance the entrance space; consider introducing colours and/or cladding to the concrete columns; also ensure adequate lighting;
 - Thanks for the comment and we agree. We have made further design refinement to this area as follows:
 - a. We have added paint to the concrete columns to complement the colour of the adjacent corrugated metal siding.
 - b. Beams over this area will either be wood or painted to match the 'floating' timber soffit element above the entrance.
 - c. We will continue to refine this area to meet structural requirements by adding steel posts to support the 'floating' entry canopy frame. plus adding wood cladding to beams for consistency with the material vocabulary of the upper floor balconies above
- ensure that there is adequate lighting in the courtyard to address potential CPTED concerns; consider lighting transitions for the connection between the two lobbies through the courtyard;
 - Thank you for your comment we will definitely design for adequate lighting within the landscape, from the soffits and on the building walls. This is a wonderful opportunity to effectively enhance the space and experience through careful lighting design.
 - With the help of our electrical consultant we will ensure this gets completed.
- reconsider the choice of play equipment in the courtyard; should installation of a play equipment be necessary, consider an open-ended play equipment to make the courtyard read not as a playground but an open courtyard space design responding to the two lobbies and patios of residential units.
 - Thank you for comment. It's a good thought and something we have talked about. Through the direction of staff and council there has been a strong desire to provide playground equipment that meets the needs of children rather than more interpretive/creative play elements. Thus we have kept our design as is.

Panel Decision

It was moved and seconded

That DP 19-855200 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6091/6111 Dyke Road

File No.: DP 19-855200

Prior to issuance of the Development Permit, the Applicant is required to complete the following:

1. Receipt of a Bond or Letter-of-Credit in the amount of \$90,387 for on-site landscaping.
NOTE: landscape estimates for the purposes of a landscape letter of credit to include a 10% contingency cost.
2. Receipt of a Bond or Letter-of-Credit in the amount of \$50,410 for on-site landscaping and restoration/enhancement works with the RMA/SPEA.
NOTE: landscape estimates for the purposes of a landscape letter of credit to include a 10% contingency cost.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.

Note:

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Initial: _____

SIGNED COPY ON FILE

Signed

Date



No. DP 19-855200

To the Holder: ORIS (DYKE ROAD) DEVELOPMENT CORP.

Property Address: 6091 AND 6111 DYKE ROAD

Address: C/O 12235 NO. 1 ROAD
RICHMOND, BC V7E 1T6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to not require an on-site loading space.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #22 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$90,387 for on-site landscaping works to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$50,410 for on-site landscape and restoration/enhancement works within the Riparian Management Area (RMA)/Streamside Protection and Enhancement Area (SPEA) to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security

Development Permit
No. DP 19-855200

To the Holder: ORIS (DYKE ROAD) DEVELOPMENT CORP.

Property Address: 6091 AND 6111 DYKE ROAD

Address: C/O 12235 NO. 1 ROAD
RICHMOND, BC V7E 1T6

shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

8. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
9. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____
DAY OF _____, _____.

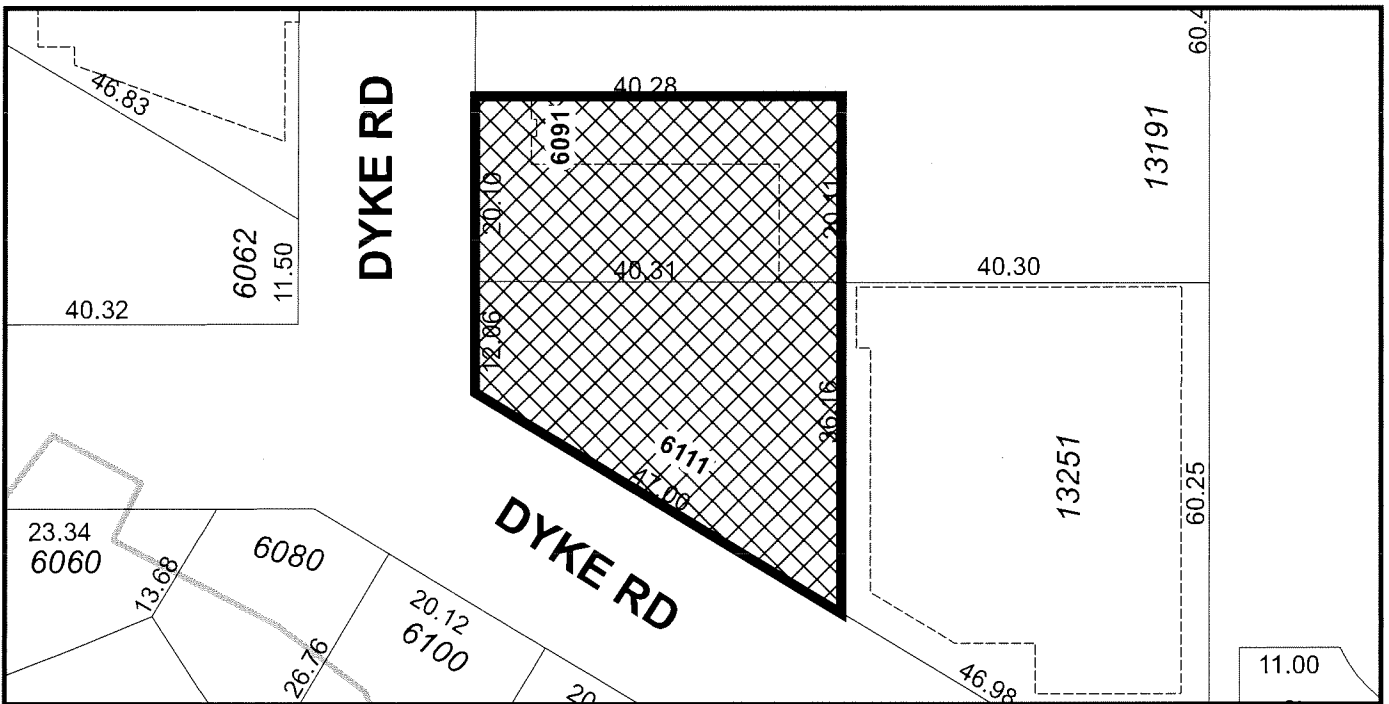
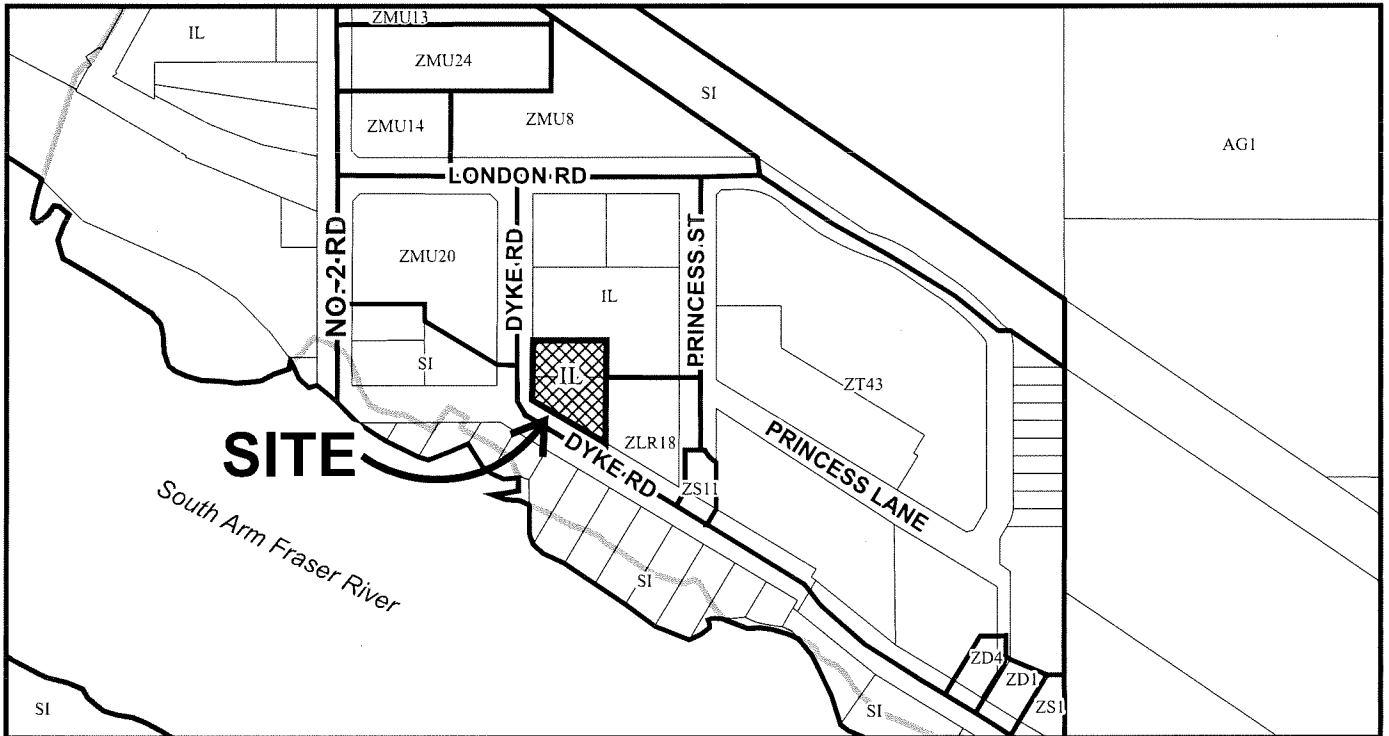
ISSUED BY THE COUNCIL THE

DELIVERED THIS _____ DAY OF _____, _____.

MAYOR



City of Richmond



DP 19-855200 SCHEDULE "A"

Original Date: 03/05/19

Revision Date:

Note: Dimensions are in METRES

6091 + 6111 DYKE ROAD PROPOSED 13 UNIT MIXED USE DEVELOPMENT

PROJECT DEVELOPMENT SUMMARY	
OWNER	6091 + 6111 DYKE ROAD, RICHMOND B.C.
LEGAL DESCRIPTION	PARTS A, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ

ZONING REQUIREMENTS	
LOT COVERAGE	MAX. ALLOWED: 57% (50%) PROPOSED: 52.58% (52%)
FLOOR AREA RATIO (FAR)	MAX. ALLOWED: 2.0 PROPOSED: 1.68
FLOOR AREA (RECYCLED)	2581 m ²
MAX. FLOOR HEIGHT (AVG. GRADE TO L.O.)	20 m / 65 ft.
MAX. FLOOR HEIGHT (AVG. GRADE TO L.O. - EXISTING PARCELS)	20 m / 65 ft.

BUILDING SETBACKS	
INTERIOR SIDE YARD NORTH	REQUIRED: 3.0 m : 2nd STOREY + ABOVE 3.0 m : 1st STOREY 6.0 m : TO PARKING LEVEL PROPOSED: 3.0 m : 2nd STOREY + ABOVE 3.0 m : 1st STOREY 6.0 m : TO PARKING
FRONT YARD WEST (DYKE ROAD)	REQUIRED: 6.0 m : 2nd STOREY + ABOVE 6.0 m : TO PARKING LEVEL 1.35 m : TO EXISTING SIDEWALK PROPOSED: 6.0 m : 2nd STOREY + ABOVE 6.0 m : TO PARKING LEVEL 1.35 m : TO EXISTING SIDEWALK
FRONT YARD SOUTH (DYKE ROAD)	REQUIRED: 6.0 m : 2nd STOREY + ABOVE 6.0 m : TO PARKING LEVEL 1.35 m : TO EXISTING SIDEWALK PROPOSED: 6.0 m : 2nd STOREY + ABOVE 6.0 m : TO PARKING LEVEL 1.35 m : TO EXISTING SIDEWALK
INTERIOR SIDE YARD EAST	REQUIRED: 3.0 m : 2nd STOREY + ABOVE 3.0 m : 1st STOREY 6.0 m : TO PARKING LEVEL PROPOSED: 3.0 m : 2nd STOREY + ABOVE 3.0 m : 1st STOREY 6.0 m : TO PARKING LEVEL

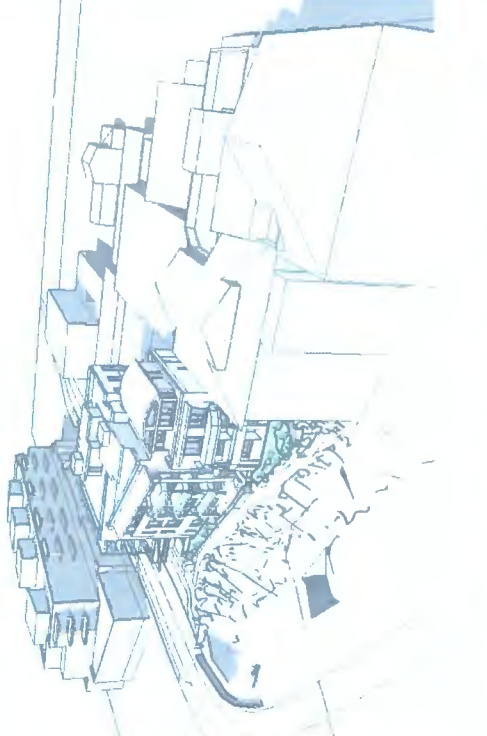
FINISHED GRADE FOR PROPOSED BUILDING	
1. BUILDING CORNER A: NORTH WEST	PROPOSED GRADE (m): 4.52
2. BUILDING CORNER B: NORTH EAST	4.60
3. BUILDING CORNER C	4.50
4. BUILDING CORNER D	4.40
5. BUILDING CORNER E: SOUTH EAST	4.40
6. BUILDING CORNER F: SOUTH WEST	4.40
7. "L" PROP. FINISHED GRADE NORTH WEST CORNER	4.40
8. "L" PROP. FINISHED GRADE NORTH EAST CORNER	4.40
9. "L" PROP. FINISHED GRADE SOUTH EAST CORNER	2.15
10. "L" PROP. FINISHED GRADE SOUTH WEST CORNER	3.35
TOTAL	40.94
PROP. AVG. FINISHED SITE GRADE 4.1 (± 1.9) *	4.89

AUTOMOBILE PARKING REQUIREMENTS		
USE	REQUIRED	PROPOSED
APARTMENT	1.5 PER UNIT @ 13 UNITS	20
VISITOR (SHARED)	3.7 PER UNIT	3
COMMERCIAL	3 PER 1000*	4
ON-SITE LOADING	1 PER 1000*	4
RESIDENTIAL PARKING CHANGING EQUIP.	1 PER 1000*	24
TRUCKS/TRANSIT VEHICLES	2 PER 1000*	2
NOTE: * 240 VOL. OUTLET TO BE PROVIDED FOR "H" MOTOR COMMERCIAL TRUCKS		

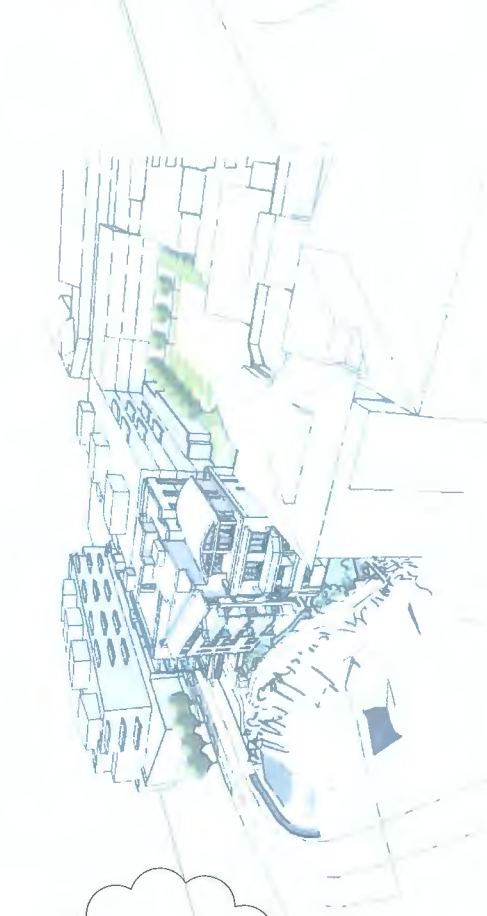
BICYCLE PARKING REQUIREMENTS		
USE	REQUIRED	PROPOSED
RESIDENCE (CLASS 1)	1.5 PER UNIT @ 13 UNITS	17
VISITOR (CLASS 2)	0.5 PER UNIT @ 13 UNITS	3

DRAWING INDEX	
SHEET NUMBERS	SHEET NAME
A.1.01	PROJECT DATA
A.1.02	AREA OVERLAYS & DATA
A.1.03	SHADOW STUDIES (PROPOSED CONDITIONS)
A.2.01	PLAN LEVEL 0: PASSAGE
A.2.02	SITE / FLOOR PLAN LEVEL 1
A.2.03	SITE CONTEXT - LEVELS 1-1
A.2.04	FLOOR PLAN LEVEL 2
A.2.05	FLOOR PLAN LEVEL 3
A.2.06	FLOOR PLAN LEVEL 4
A.2.07	FLOOR PLAN LEVEL 5
A.3.01	ELEVATIONS (COLOURED): WEST & SOUTH
A.3.02	ELEVATIONS (COLOURED): EAST & NORTH - 66 PROPERTY LINE
A.3.03	ELEVATIONS (COLOURED): EAST & NORTH
A.4.01	STREET RECAPS
A.4.02	SECTIONS: NORTH - SOUTH
A.4.03	PARTIAL SECTIONS: SPERANSPACE INTERFACE
A.4.04	SECTIONS: EAST - WEST
A.4.05	PRECEDENT IMAGES

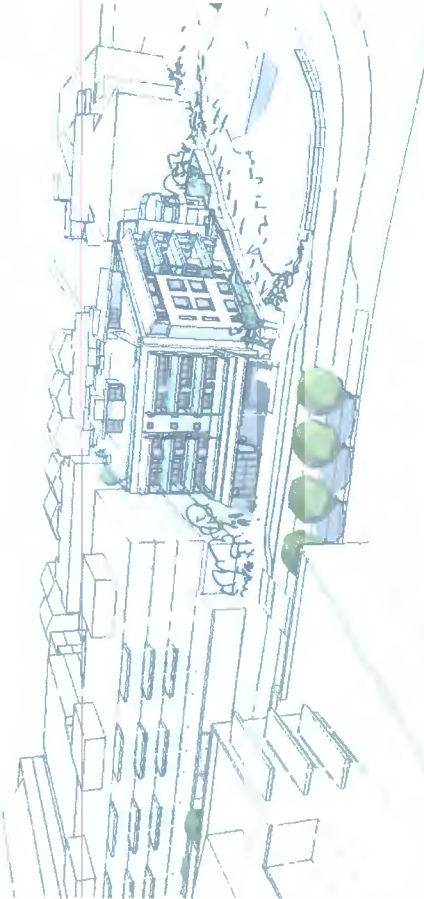
UNIT AREAS (1 COMMERCIAL & 13 RESIDENTIAL UNITS)				
UNIT #	FLOOR LEVEL	LOT AREA (m ²)	AREA (m ²) Common Areas	AREA (m ²) Common Areas
101	1	(Commercial) 6091	128.38	1,381.87
103	1	6111	138.47	1,454.37
104	1	6111	154.16	1,662.58
201	1	6091	158.59	1,696.71
202	2	6091	191.71	2,063.25
203	2	6111	178.17	1,871.97
204	2	6111	178.17	1,871.97
301	3	6091	158.59	1,696.71
302	3	6091	191.71	2,063.25
303	3	6111	178.17	1,871.97
401	4	6091	158.59	1,696.71
402	4	6091	191.71	2,063.25
403	4	6111	178.17	1,871.97
404	4	6111	178.17	1,871.97



PROPOSED DEVELOPMENT - SOUTH EAST VIEW



POTENTIAL FUTURE DEVELOPMENT - MASSING IMAGE



POTENTIAL FUTURE DEVELOPMENT - SOUTH WEST VIEW

THE ANDREWS ARCHITECTS INC.
www.andrewsarchitects.com

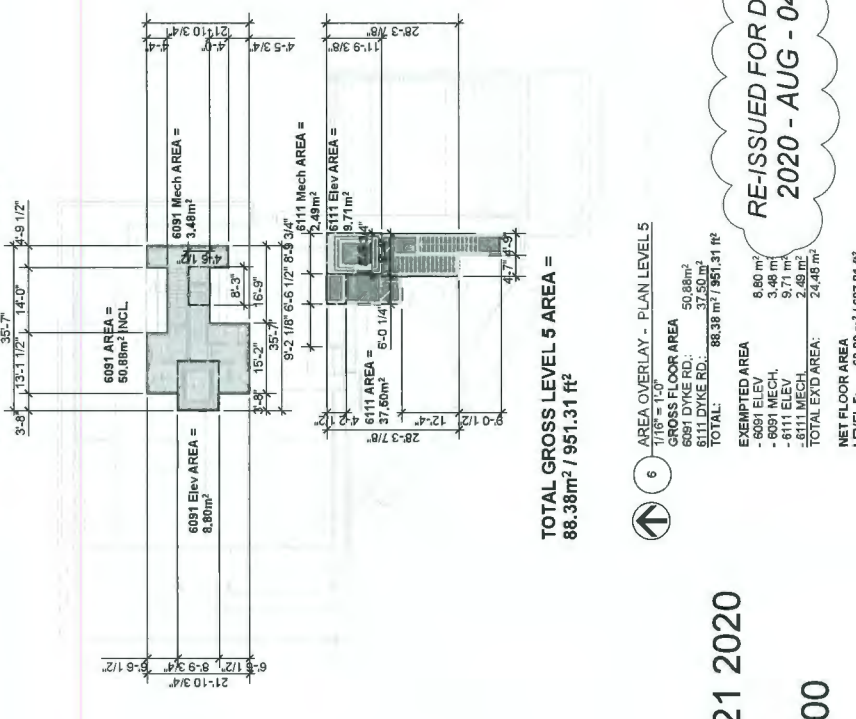
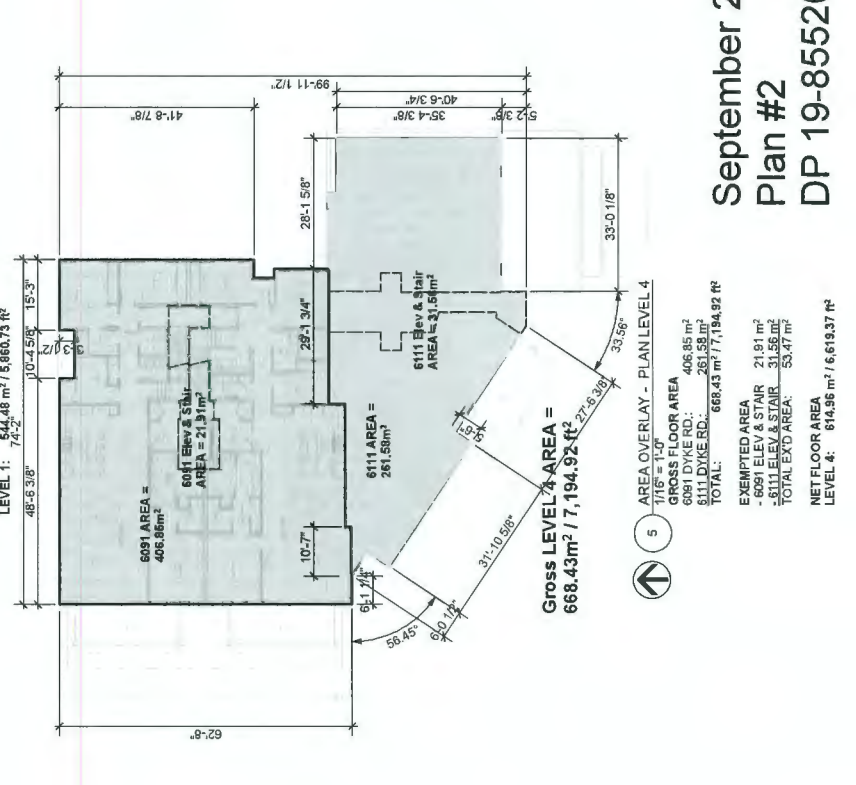
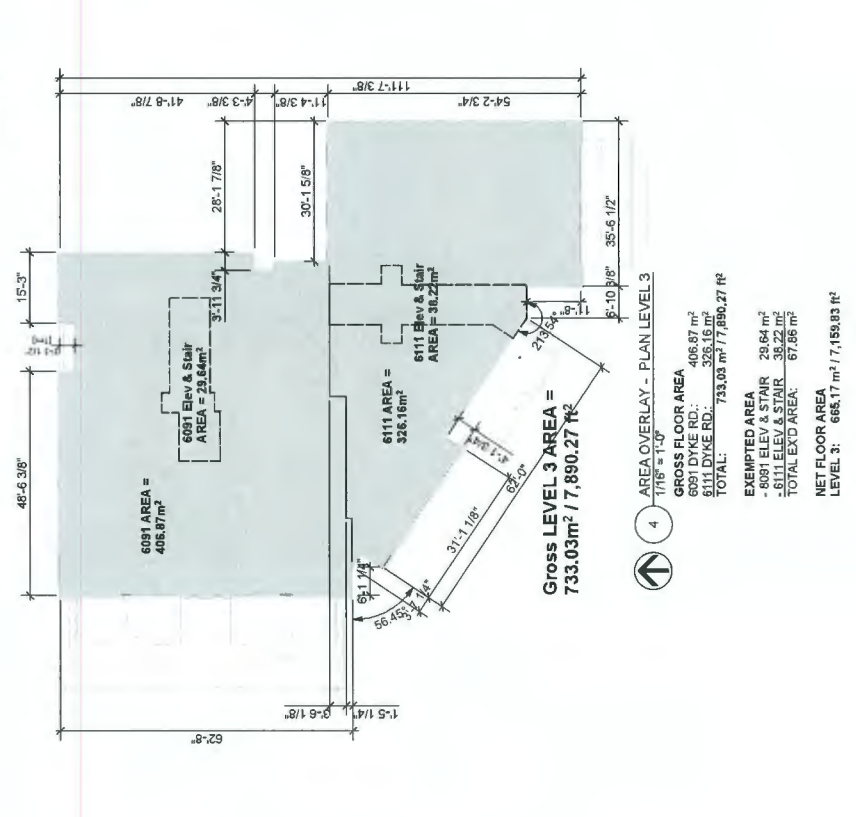
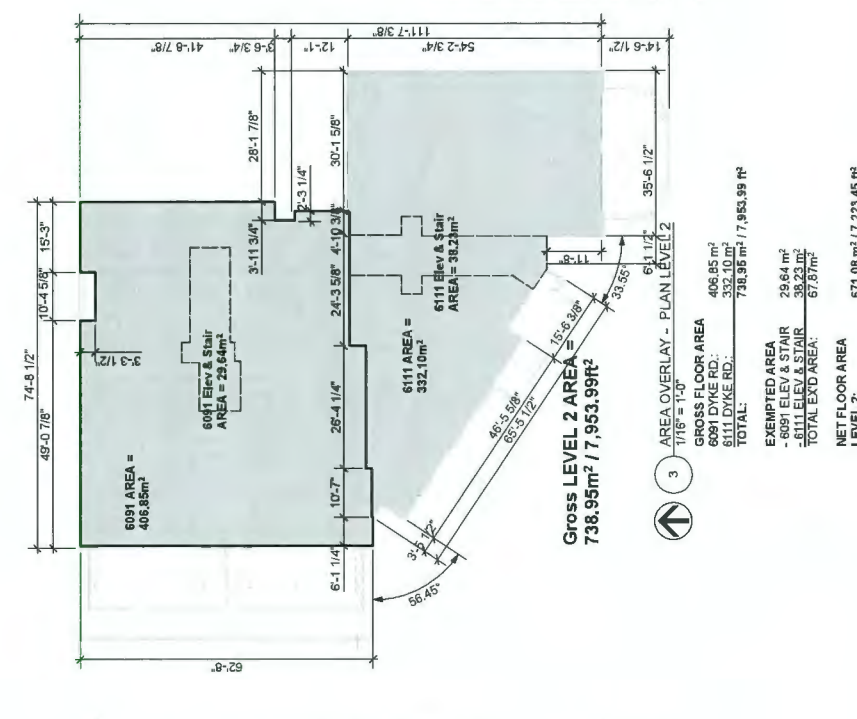
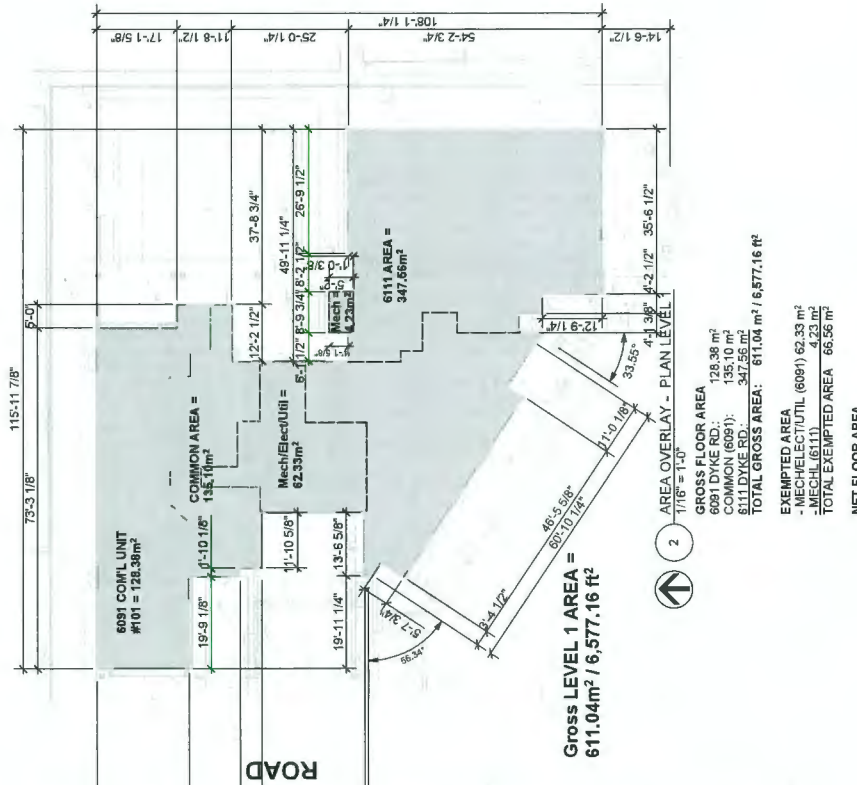
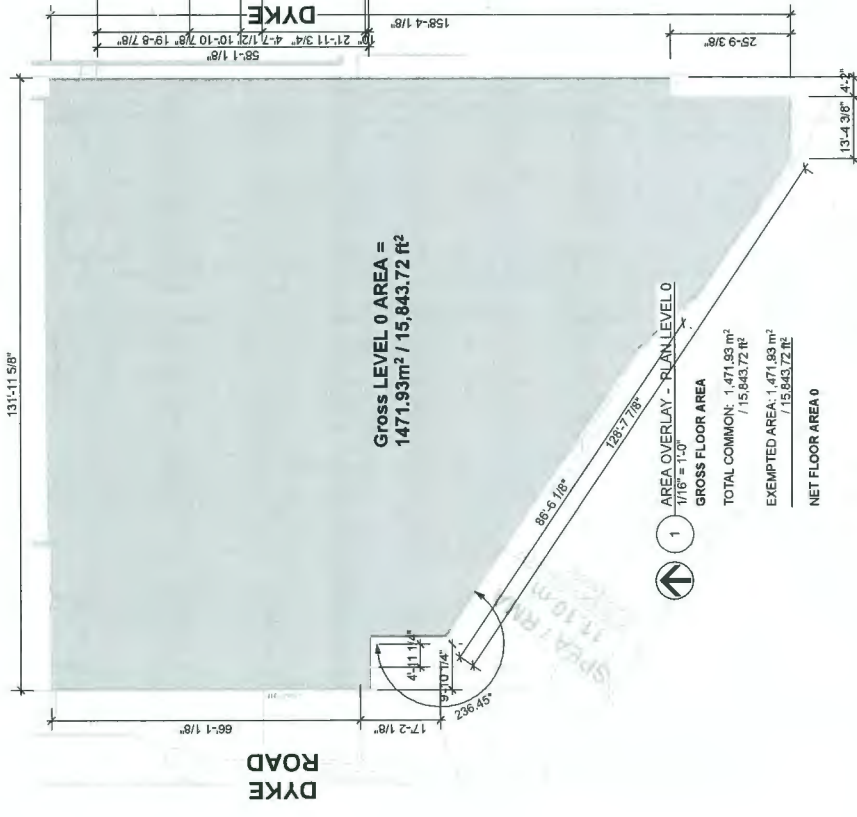
13 UNIT MIXED USE DEVELOPMENT
6091, 6111 DYKE ROAD
RICHMOND, BC

PROJECT DATA

SCALE: AS NOTED
DATE: APRIL 18, 2017
DRAWN: WA, GI
PROJECT NO.: 1707 / 1706
DRAWING NO.: A-1.01

September 21 2020
Plan #1
DP 19-855200

RE-ISSUED FOR D.P. A-1.01
2020 - AUG - 04



BUILDING AREA SUMMARY

LEVEL	GROSS AREA (m ²)	LESS EXEMPTED AREA (m ²)	NET AREA (m ²)	TOTAL NET AREA (m ²)
0	1,471.93	(1,471.93)	0	
1	611.04	(66.56)	544.48	
2	738.95	(67.87)	671.08	
3	733.03	(67.86)	665.17	
4	668.43	(53.47)	614.96	
5	88.38	(24.48)	63.90	
TOT	4,313.78	(1,752.71)	2,561.07	27,651.20

F.A.R.

NET FLOOR AREA	LOT AREA	F.A.R.
2,561.07	1,780	1.45
TOTAL	2,561.07	1.45

- REVISIONS**
- | NO. | DATE | DESCRIPTION |
|-----|------------|-----------------|
| 1 | 2020.08.11 | ISSUED FOR D.P. |
| 2 | 2020.08.11 | ISSUED FOR D.P. |
| 3 | 2020.08.11 | ISSUED FOR D.P. |
| 4 | 2020.08.11 | ISSUED FOR D.P. |
| 5 | 2020.08.11 | ISSUED FOR D.P. |
| 6 | 2020.08.11 | ISSUED FOR D.P. |
| 7 | 2020.08.11 | ISSUED FOR D.P. |
| 8 | 2020.08.11 | ISSUED FOR D.P. |
| 9 | 2020.08.11 | ISSUED FOR D.P. |
| 10 | 2020.08.11 | ISSUED FOR D.P. |

RZ 15 702486
 DP 19 855200

THE ANDREWS ARCHITECTS INC
 www.andrewsarchitects.com

13 UNIT MIXED USE DEVELOPMENT
 6091, 6111 DYKE ROAD
 RICHMOND, BC

AREA OVERLAYS & DATA

DATE: APRIL 16, 2017
 DRAWN: WA
 PROJECT: 1707/1706
 DRAWN BY: 1707/1706

RE-ISSUED FOR D.P. A-1.02
2020 - AUG - 04

September 21 2020
 Plan #2
 DP 19-855200

SYMBOL	DESCRIPTION
A	20' x 20' UNFINISHED FLOORING
B	20' x 20' FINISHED FLOORING
C	20' x 20' FINISHED FLOORING
D	20' x 20' FINISHED FLOORING
E	20' x 20' FINISHED FLOORING
F	20' x 20' FINISHED FLOORING
G	20' x 20' FINISHED FLOORING
H	20' x 20' FINISHED FLOORING
I	20' x 20' FINISHED FLOORING
J	20' x 20' FINISHED FLOORING
K	20' x 20' FINISHED FLOORING
L	20' x 20' FINISHED FLOORING
M	20' x 20' FINISHED FLOORING
N	20' x 20' FINISHED FLOORING
O	20' x 20' FINISHED FLOORING
P	20' x 20' FINISHED FLOORING
Q	20' x 20' FINISHED FLOORING
R	20' x 20' FINISHED FLOORING
S	20' x 20' FINISHED FLOORING
T	20' x 20' FINISHED FLOORING
U	20' x 20' FINISHED FLOORING
V	20' x 20' FINISHED FLOORING
W	20' x 20' FINISHED FLOORING
X	20' x 20' FINISHED FLOORING
Y	20' x 20' FINISHED FLOORING
Z	20' x 20' FINISHED FLOORING

September 21 2020
 Plan #3
 DP 19-855200

RZ 15 702486
 DP 19 855200



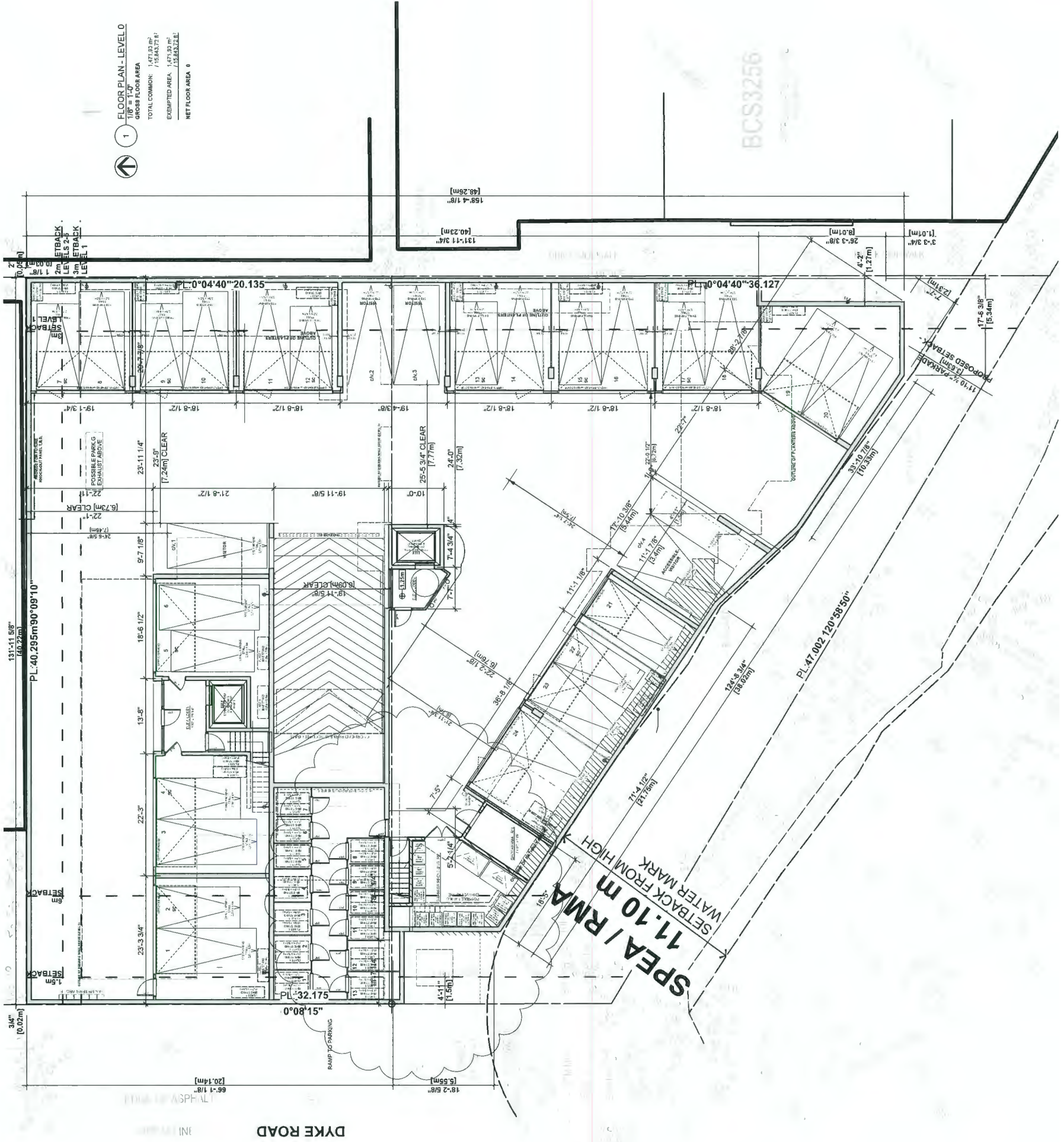
THE ANDREWS ARCHITECTS INC.
 www.andrewsarch.com
 13 UNIT MIXED USE DEVELOPMENT
 6091, 6111 DYKE ROAD
 RICHMOND, BC

13 UNIT MIXED USE DEVELOPMENT
 6091, 6111 DYKE ROAD
 RICHMOND, BC

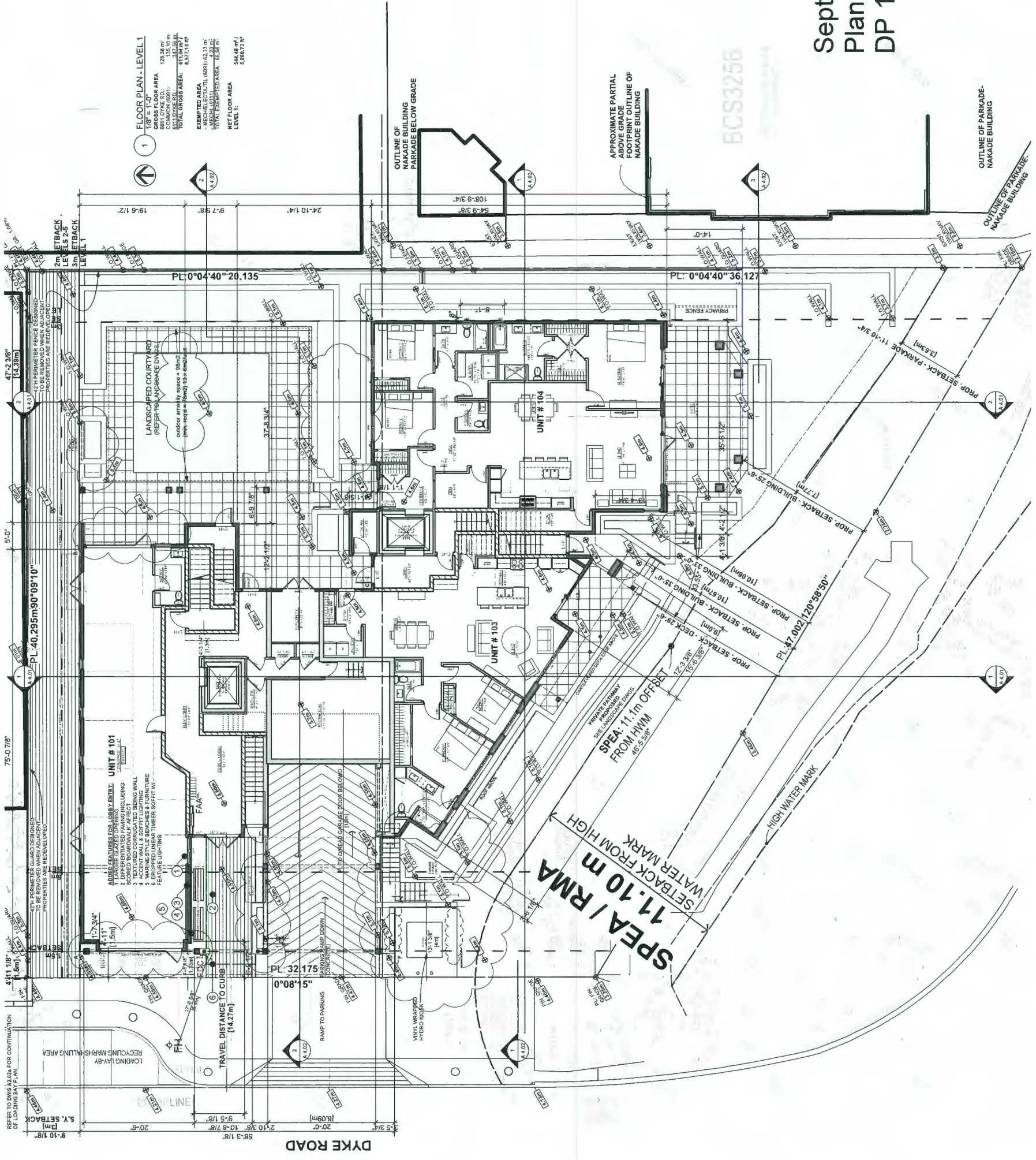
TITLE
 FLOOR PLAN
 LEVEL 0

TABLE	AS NOTED
DATE	APRIL 18, 2017
DRAWN	WA ga
PROJECT NO.	1707/1708
DRAWING NO.	A-2.01

RE-ISSUED FOR D.P. A-2.01
 2020 - AUG - 04



BCS3256



- NOTE**
- A. 47m PERIMETER FENCE
 - B. 200mm x 100mm REINFORCED CONCRETE
 - C. 200mm x 100mm REINFORCED CONCRETE
 - D. 200mm x 100mm REINFORCED CONCRETE
 - E. 200mm x 100mm REINFORCED CONCRETE
 - F. 200mm x 100mm REINFORCED CONCRETE
 - G. 200mm x 100mm REINFORCED CONCRETE
 - H. 200mm x 100mm REINFORCED CONCRETE
 - I. 200mm x 100mm REINFORCED CONCRETE
 - J. 200mm x 100mm REINFORCED CONCRETE
 - K. 200mm x 100mm REINFORCED CONCRETE
 - L. 200mm x 100mm REINFORCED CONCRETE
 - M. 200mm x 100mm REINFORCED CONCRETE
 - N. 200mm x 100mm REINFORCED CONCRETE
 - O. 200mm x 100mm REINFORCED CONCRETE
 - P. 200mm x 100mm REINFORCED CONCRETE
 - Q. 200mm x 100mm REINFORCED CONCRETE
 - R. 200mm x 100mm REINFORCED CONCRETE
 - S. 200mm x 100mm REINFORCED CONCRETE
 - T. 200mm x 100mm REINFORCED CONCRETE
 - U. 200mm x 100mm REINFORCED CONCRETE
 - V. 200mm x 100mm REINFORCED CONCRETE
 - W. 200mm x 100mm REINFORCED CONCRETE
 - X. 200mm x 100mm REINFORCED CONCRETE
 - Y. 200mm x 100mm REINFORCED CONCRETE
 - Z. 200mm x 100mm REINFORCED CONCRETE

FLOOR PLAN - LEVEL 1

128.38 m²
 GROSS FLOOR AREA
 6091 DYKE RD.
 128.38 m²
 GROSS FLOOR AREA
 6091 DYKE RD.
 128.38 m²
 GROSS FLOOR AREA
 6091 DYKE RD.

128.38 m²
 GROSS FLOOR AREA
 6091 DYKE RD.
 128.38 m²
 GROSS FLOOR AREA
 6091 DYKE RD.

128.38 m²
 GROSS FLOOR AREA
 6091 DYKE RD.
 128.38 m²
 GROSS FLOOR AREA
 6091 DYKE RD.

UNIT AREAS (1 COMMERCIAL & 13 RESIDENTIAL UNITS)

UNIT #	FLOOR LEVEL	AREA (m ²)	AREA (sq ft)	AREA (m ²)	AREA (sq ft)
101	1	128.38	1,381.87		
102	1	111.11	1,200.00		
103	1	111.11	1,200.00		
104	1	111.11	1,200.00		
201	2	111.11	1,200.00		
202	2	111.11	1,200.00		
203	2	111.11	1,200.00		
204	2	111.11	1,200.00		
301	3	111.11	1,200.00		
302	3	111.11	1,200.00		
303	3	111.11	1,200.00		
401	4	111.11	1,200.00		
402	4	111.11	1,200.00		
403	4	111.11	1,200.00		
404	4	111.11	1,200.00		

RZ 15 702486
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13 UNIT
 MIXED USE
 DEVELOPMENT
 6091, 6111 DYKE ROAD
 RICHMOND, BC

SITE / FLOOR PLAN
 LEVEL 1

AS NOTED
 APRIL 16, 2017
 WA
 gp
 1707/1706

September 21 2020
 Plan #4
 DP 19-855200

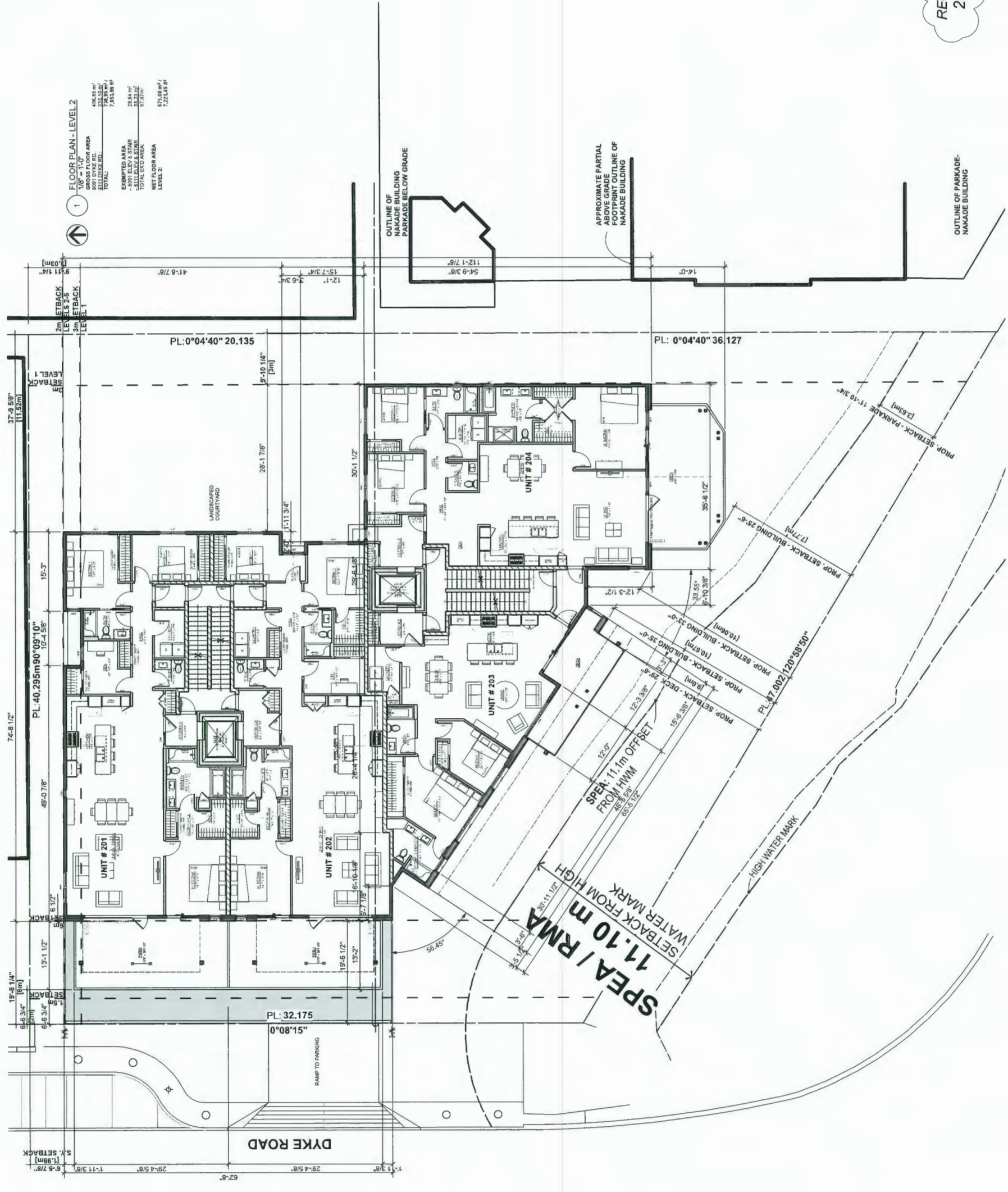
RE-ISSUED FOR D.P. A-2.02
 2020 - AUG - 04

NO.	DATE	DESCRIPTION
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8	21/09/20	ISSUED FOR PERMIT
9	21/09/20	ISSUED FOR PERMIT
10	21/09/20	ISSUED FOR PERMIT

September 21 2020
 Plan #6
 DP 19-855200

1 FLOOR PLAN - LEVEL 2
 1/8" = 1'-0"

AREA	AREA (sq ft)	AREA (sq m)
EXEMPTED AREA	48.65	4.50
NET FLOOR AREA	7,833.88	723.65
TOTAL FLOOR AREA	7,882.53	728.15
NET FLOOR AREA	7,833.88	723.65
TOTAL FLOOR AREA	7,882.53	728.15



RZ 15 702486
 DP 19 855200



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 6091, 6111 DYKE ROAD
 RICHMOND, BC

13 UNIT
 MIXED USE
 DEVELOPMENT
 6091, 6111 DYKE ROAD
 RICHMOND, BC

FLOOR PLAN -
 LEVEL 2

DATE	APRIL 18, 2017
DESIGNER	WA
PROJECT	1707/1706
DRAWN BY	AS NOTED

RE-ISSUED FOR D.P. A-2.03
 2020 - AUG - 04

NO.	DATE	DESCRIPTION
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September 21 2020
 Plan #7
 DP 19-855200

RZ 15 702486
 DP 19 855200



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13 UNIT
 MIXED USE
 DEVELOPMENT
 6091, 6111 DYKE ROAD
 RICHMOND, BC

FLOOR PLAN -
 LEVEL 3

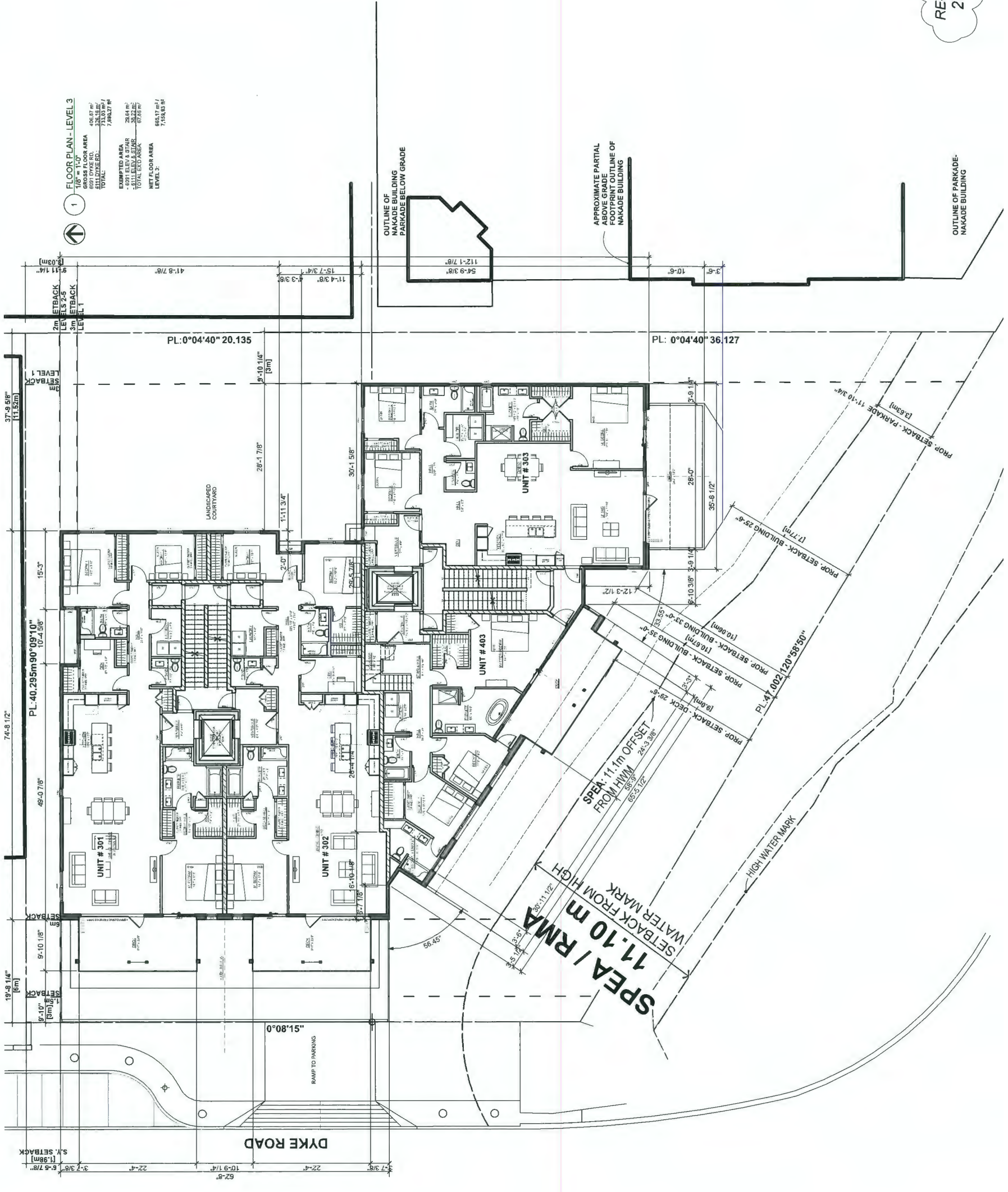
SCALE
 AS NOTED

DATE
 APRIL 18, 2017

DRAWN BY
 WA gp

PROJECT NO.
 1707/1706

RE-ISSUED FOR D.P. A-2.04
 2020 - AUG - 04



FLOOR PLAN - LEVEL 3
 13 UNIT MIXED USE DEVELOPMENT
 6091, 6111 DYKE ROAD
 RICHMOND, BC
 TOTAL GROSS FLOOR AREA
 7,882.27 SQ FT
 EXEMPTED AREA
 915.10 SQ FT
 TOTAL NET FLOOR AREA
 6,847.17 SQ FT

OUTLINE OF NAKADE BUILDING PARKADE BELOW GRADE

APPROXIMATE PARTIAL ABOVE GRADE FOOTPRINT OUTLINE OF NAKADE BUILDING

OUTLINE OF PARKADE- NAKADE BUILDING

SPEA / RMA
 11.10 m
 SETBACK FROM HIGH WATER MARK

SPEA 11.1m OFFSET FROM HIM 24-3 3/8"

HIGH WATER MARK

DYKE ROAD

RAMP TO PARKING

LANDSCAPED COURTYARD

UNIT # 301

UNIT # 302

UNIT # 403

LEVEL 1 SETBACK

LEVEL 2-5 SETBACK

LEVEL 1 SETBACK

LEVEL 2-5 SETBACK

LEVEL 1 SETBACK

LEVEL 2-5 SETBACK

LEVEL 1 SETBACK

LEVEL 2-5 SETBACK

LEVEL 1 SETBACK

LEVEL 2-5 SETBACK

LEVEL 1 SETBACK

LEVEL 2-5 SETBACK

LEVEL 1 SETBACK

LEVEL 2-5 SETBACK

LEVEL 1 SETBACK

LEVEL 2-5 SETBACK

LEVEL 1 SETBACK

LEVEL 2-5 SETBACK

LEVEL 1 SETBACK

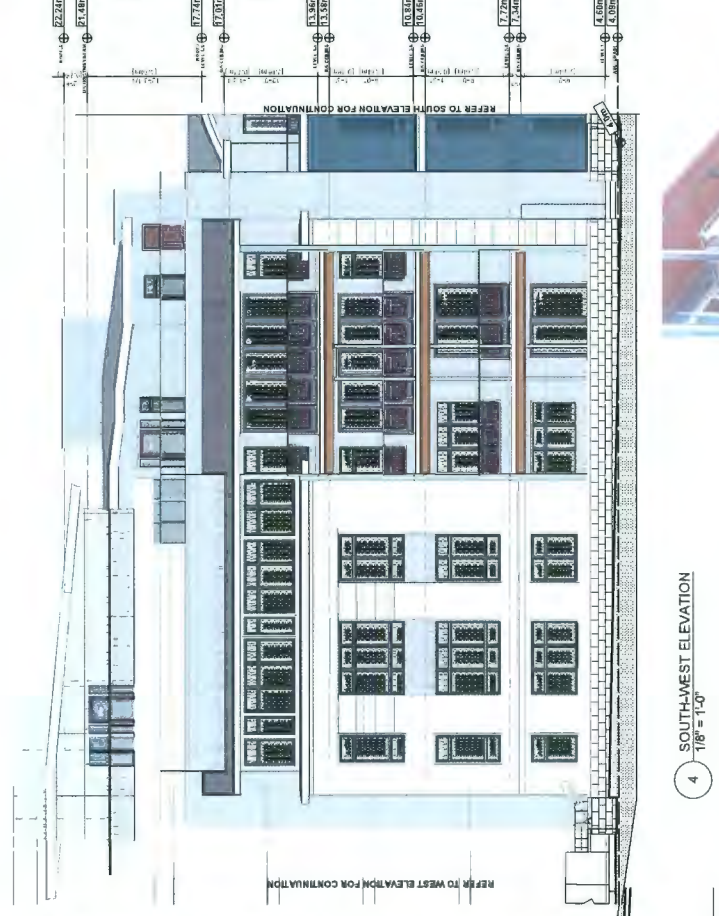
LEVEL 2-5 SETBACK

LEVEL 1 SETBACK

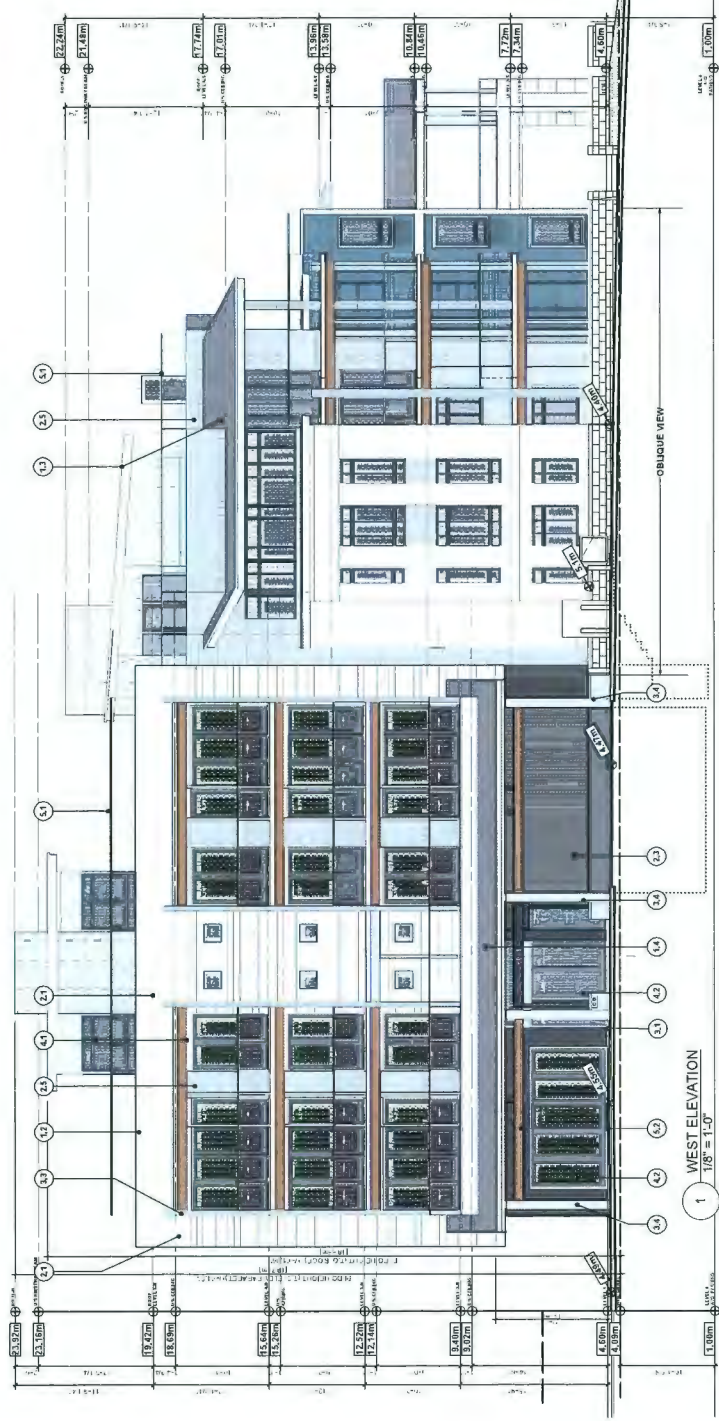
LEVEL 2-5 SETBACK

LEVEL 1 SETBACK

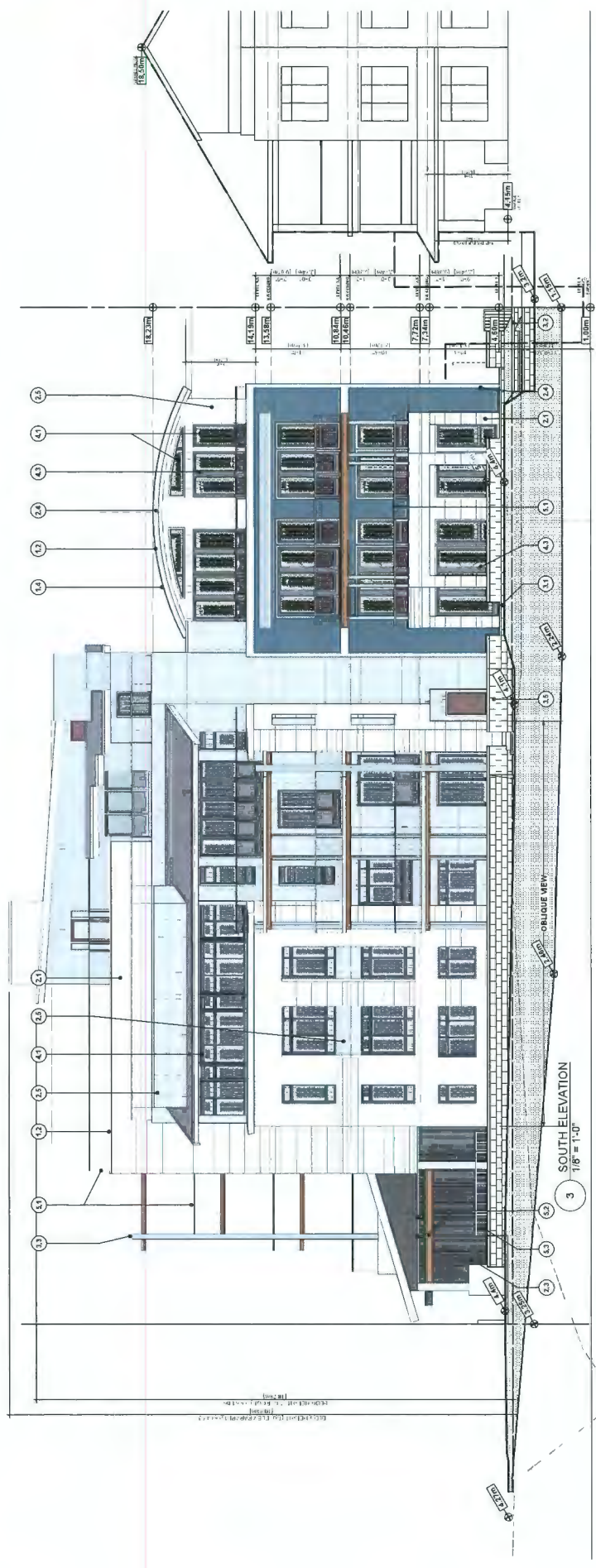
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2019.09.11	ISSUED FOR PERMITS
2019.09.11	ISSUED FOR PERMITS



1 WEST ELEVATION
1/8" = 1'-0"



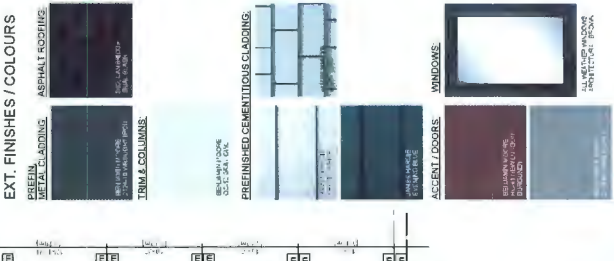
3 SOUTH ELEVATION
1/8" = 1'-0"



4 SOUTH-WEST ELEVATION
1/8" = 1'-0"

EXT. FINISHES / COLOURS

GREEN	ASPHALT ROOFING
METAL CLADDING	
TRIM & COLUMN	
PRE-FINISHED CEMENTITIOUS CLADDING	
ACCENT LOGGERS	
WINDOWS	
ALUMINUM WINDOW	



RZ 15 702486
DP 19 855200



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The Architect is an authorized signatory of the drawings. The Architect is not responsible for the construction of the building. The Architect is not responsible for the construction of the building. The Architect is not responsible for the construction of the building.

13 UNIT
MIXED USE
DEVELOPMENT
6094, 6111 DYKE ROAD
RICHMOND, BC

ELEVATIONS
WEST & SOUTH

TITLE	AS NOTED
DATE	APRIL 18, 2017
DRAWN	WA
CHECKED	
PERMITTED	1707/1708
DRAWING NO.	



LOCAL PERSPECTIVE RENDERING -
BALCONY/DECK REFERENCE IMAGE

EXTERIOR MATERIALS LEGEND:

- 1 ROOFING & FLASHINGS:
 - 1.1 LOW-SLOPE APPLICATION (SEE ROLLED ROOFING)
 - 1.2 PREFINISHED METAL CAP FLASHINGS
 - 1.4 METAL ROOFING - PRE-FINISHED
- 2 SIDING & TRIM:
 - 2.1 BRICK (SEE FINISH - HORIZONTAL)
 - 2.2 FIBRE-CEMENT PANEL SIDING (HORIZONTAL)
 - 2.3 PREFINISHED CORRUGATED METAL SIDING
 - 2.4 FIBRE-CEMENT PANEL SIDING (VERTICAL)
 - 2.5 FIBRE-CEMENT BRICKLES
- 3 STRUCTURAL ELEMENTS:
 - 3.1 CONCRETE FOUNDATION
 - 3.2 CONCRETE WALLS
 - 3.3 STRUCTURAL STEEL POSTS
 - 3.4 ALUMINUM CLAD WRTL. WINDOWS & DOORS
 - 3.5 PAINTED METAL DOORS & FRAMES
 - 3.6 PLASTER WALLS - ALL-AN BLOCK
- 4 DOORS & WINDOWS:
 - 4.1 ALUMINUM CLAD WRTL. WINDOWS & DOORS
 - 4.2 PAINTED METAL DOORS & FRAMES
- 5 RAILINGS, SCREEN & FENCING:
 - 5.1 ALUMINUM CLAD WRTL. WINDOWS & DOORS
 - 5.2 METAL GUARD RAIL
 - 5.3 BEAM PAINTED TO MATCH WOOD ACCENTS



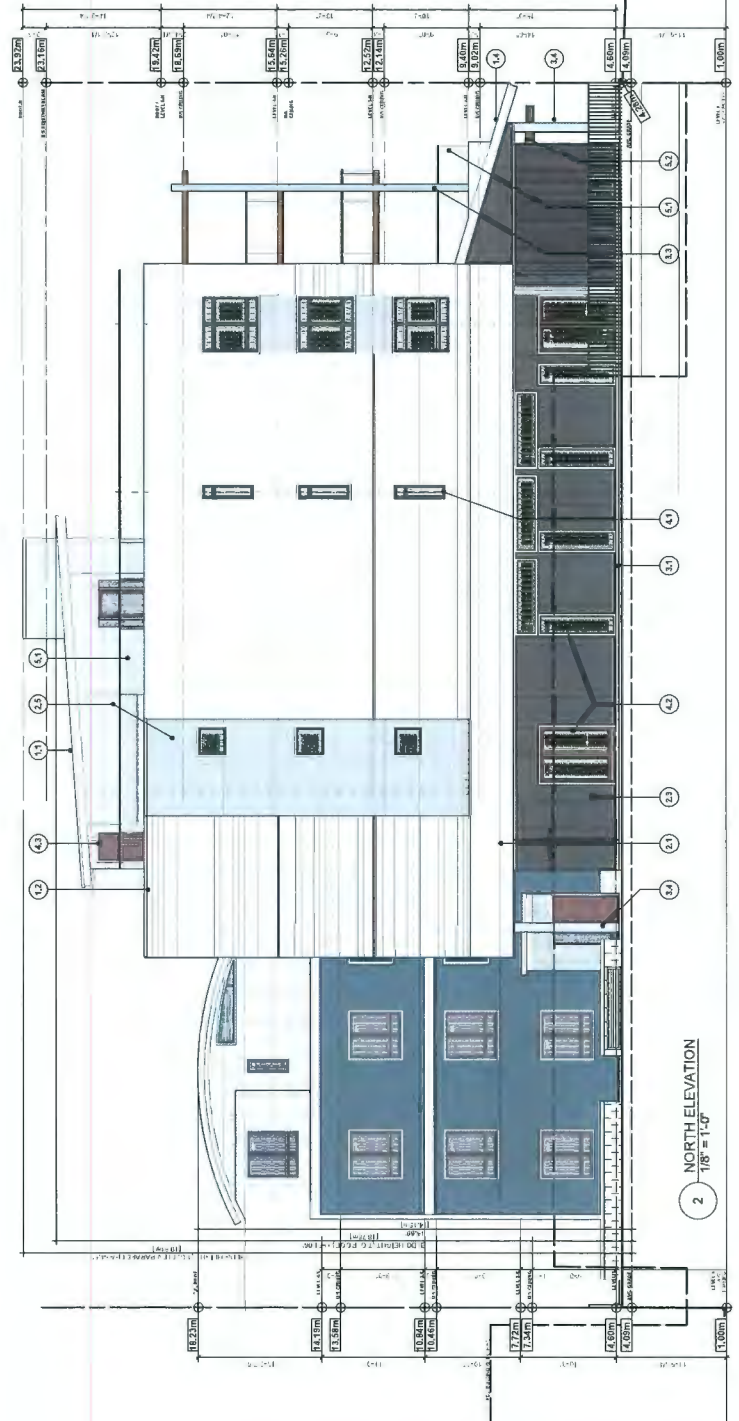
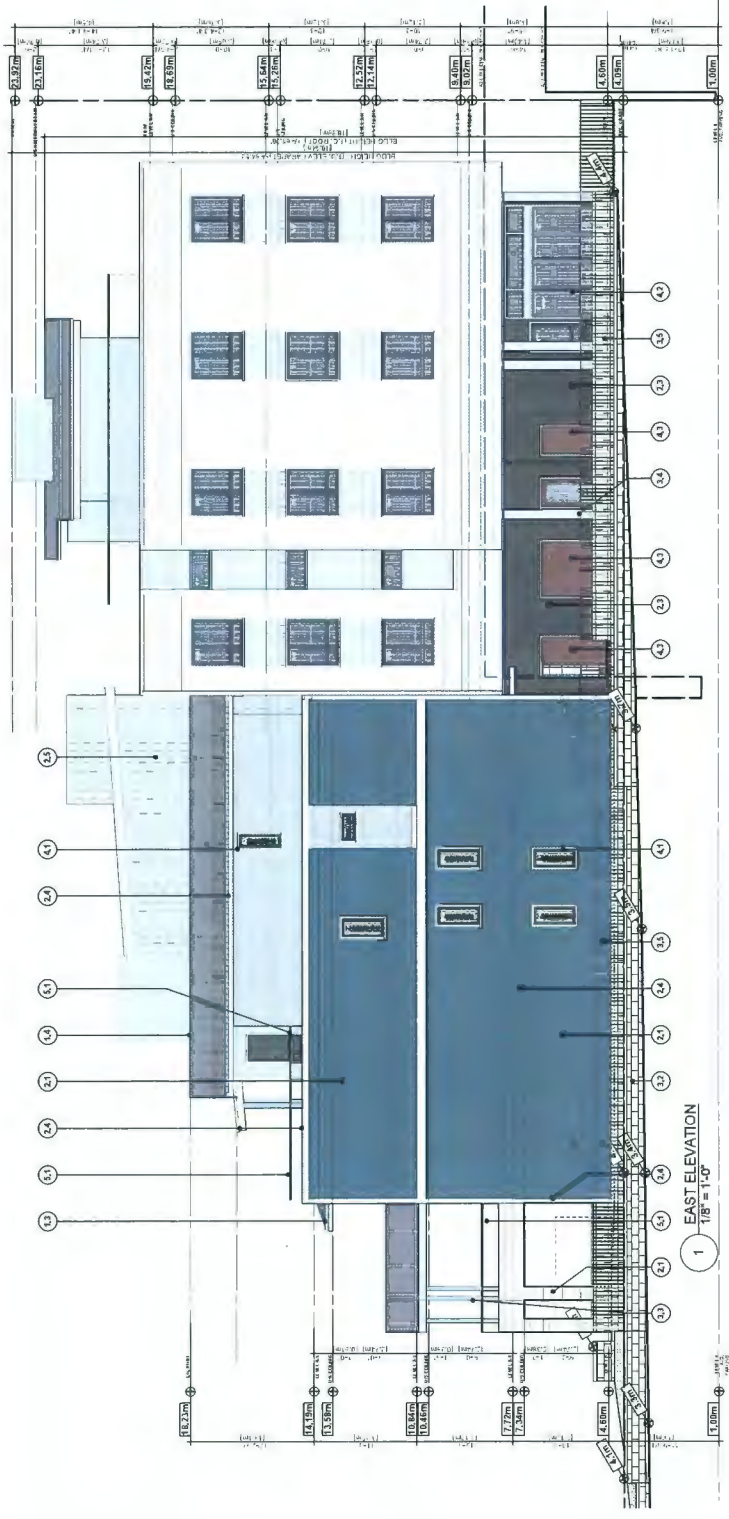
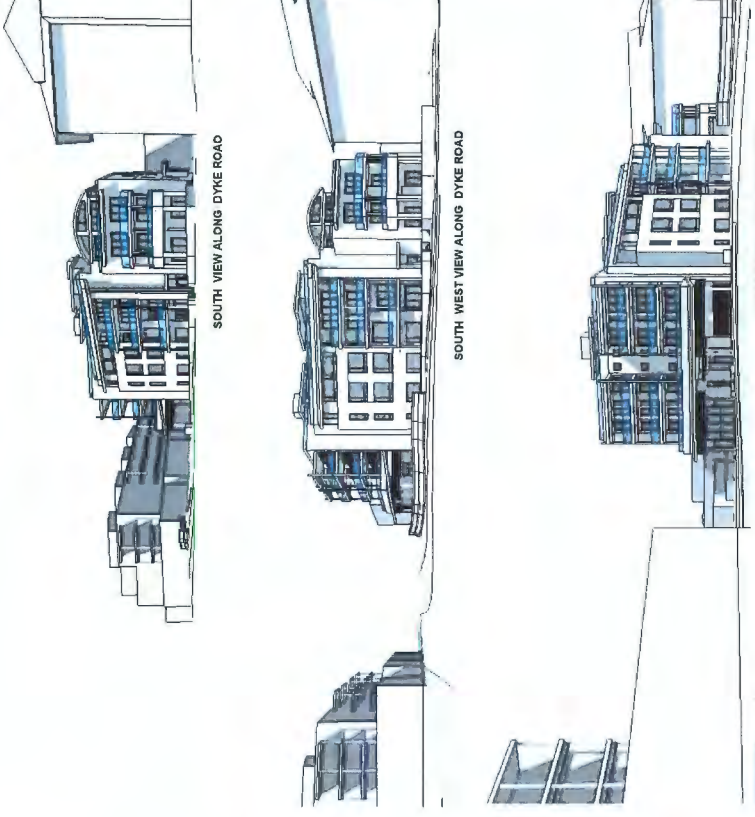
LOCAL PARAMOUNT GATEWAY BUILDING -
ROOF/SIDE REFERENCE IMAGE

RE-ISSUED FOR D.P. A-3.01C
2020 - AUG - 04

September 21 2020
Plan #11
DP 19-855200

BUILDING MASSING CONCEPT VIEWS

NO.	DATE	REVISIONS
1	2019.09.11	ISSUED FOR PERMITTING
2	2019.09.11	REVISIONS TO PERMITTING
3	2019.09.11	REVISIONS TO PERMITTING
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9	2019.09.11	REVISIONS TO PERMITTING
10	2019.09.11	REVISIONS TO PERMITTING



EXT. FINISHES / COLOURS

GREEN METAL CLADDING

ASPHALT ROOFING

TRIM & COLUMNS

PRE-FINISHED CERAMIC TILE CLADDING

ACCENT DOORS

WINDOWS

ALUMINUM WINDOW

RZ 15 702486
DP 19 855200

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13 UNIT
MIXED USE
DEVELOPMENT
8081 6111 DYKE ROAD
RICHMOND, BC

**ELEVATIONS
EAST & NORTH**

SCALE	AS NOTED
DATE	APRIL 18, 2017
DRAWN	WA
PROJECT NO.	1707 / 1708
DRAWN BY	DRM-WBC

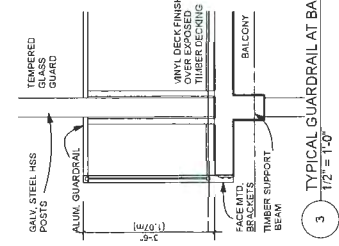
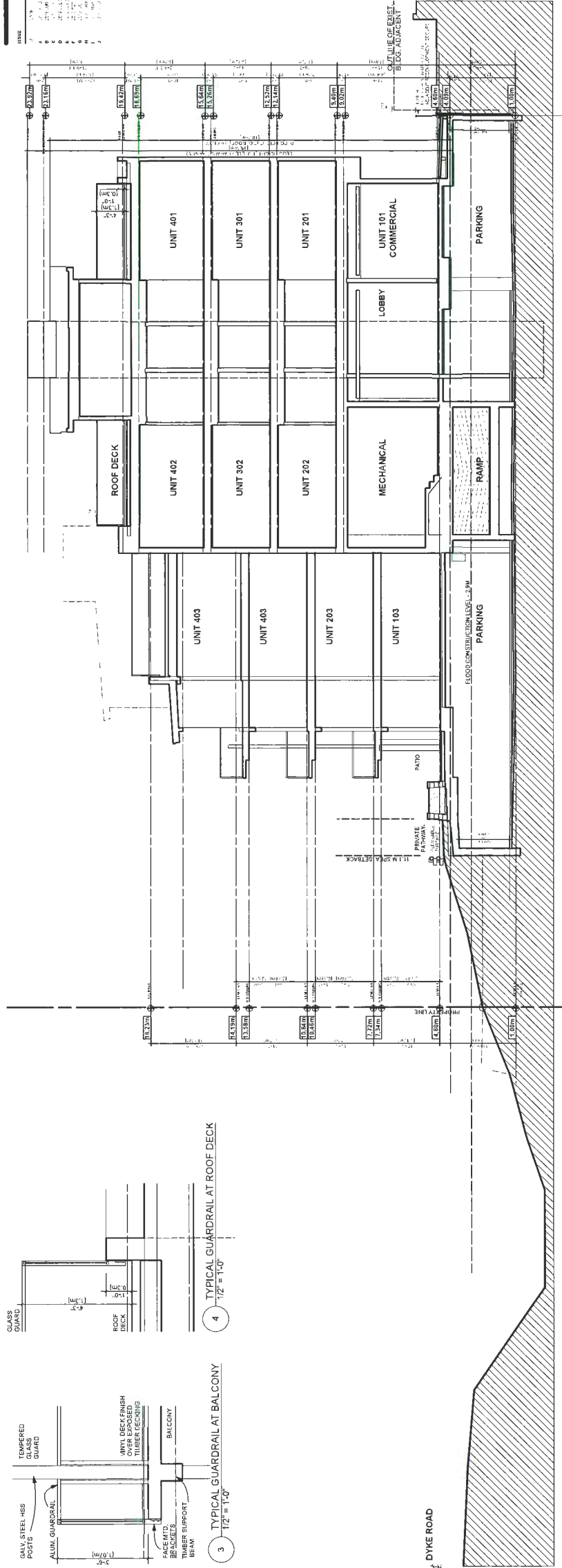
EXTERIOR MATERIALS LEGEND:

- 1 ROOFING & FLASHINGS:**
- 1.1 POLYISOCYANURATE INSULATED ROOFING
 - 1.2 ASPHALT/FLY ASH SHINGLES - 30 YEAR
 - 1.3 ASPHALT/FLY ASH SHINGLES - 40 YEAR
 - 1.4 METAL ROOFING - PRE-FINISHED
- 2 SIDING & TRIM:**
- 2.1 FIBRE-CEMENT LAP SIDING (HORIZONTAL)
 - 2.2 FIBRE-CEMENT PANEL SIDING
 - 2.3 FIBRE-CEMENT TRIM AND FASCIA BOARDS
 - 2.4 FIBRE-CEMENT SHINGLES
 - 2.5 FIBRE-CEMENT SHINGLES
- 3 STRUCTURAL ELEMENTS:**
- 3.1 CONCRETE FOUNDATION
 - 3.2 ARCHITECTURAL CONCRETE
 - 3.3 CONCRETE WALLS
 - 3.4 CONCRETE COLUMNS - PAINTED
 - 3.5 PLANTER WALLS - ALUM. BLOCK
- 4 DOORS & WINDOWS:**
- 4.1 ALUMINUM-CLAD VINYL WINDOWS & DOORS
 - 4.2 ANODIZED ALUMINUM STOREFRONT DOORS & WINDOWS
 - 4.3 PAINTED METAL DOORS & FRAMES
- 5 RAILING, SCREEN & FENCING:**
- 5.1 STRUCTURAL CLEAR-GLASS QUARTER RAILS
 - 5.2 BEAM PAINTED TO MATCH WOOD ACCENTS
 - 5.3 METAL GUARD RAIL

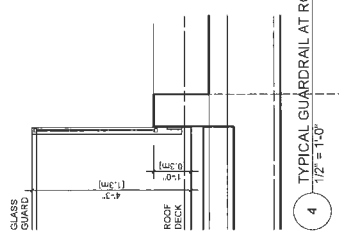
September 21 2020
Plan #12
DP 19-855200

RE-ISSUED FOR D.P. A-3.02C
2020 - AUG - 04

NO.	REVISION	DATE
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2	REVISIONS TO PERMIT	12/11/19
3	REVISIONS TO PERMIT	12/11/19
4	REVISIONS TO PERMIT	12/11/19
5	REVISIONS TO PERMIT	12/11/19
6	REVISIONS TO PERMIT	12/11/19
7	REVISIONS TO PERMIT	12/11/19



3 1/2" = 1'-0"
TYPICAL GUARDRAIL AT BALCONY



4 1/2" = 1'-0"
TYPICAL GUARDRAIL AT ROOF DECK

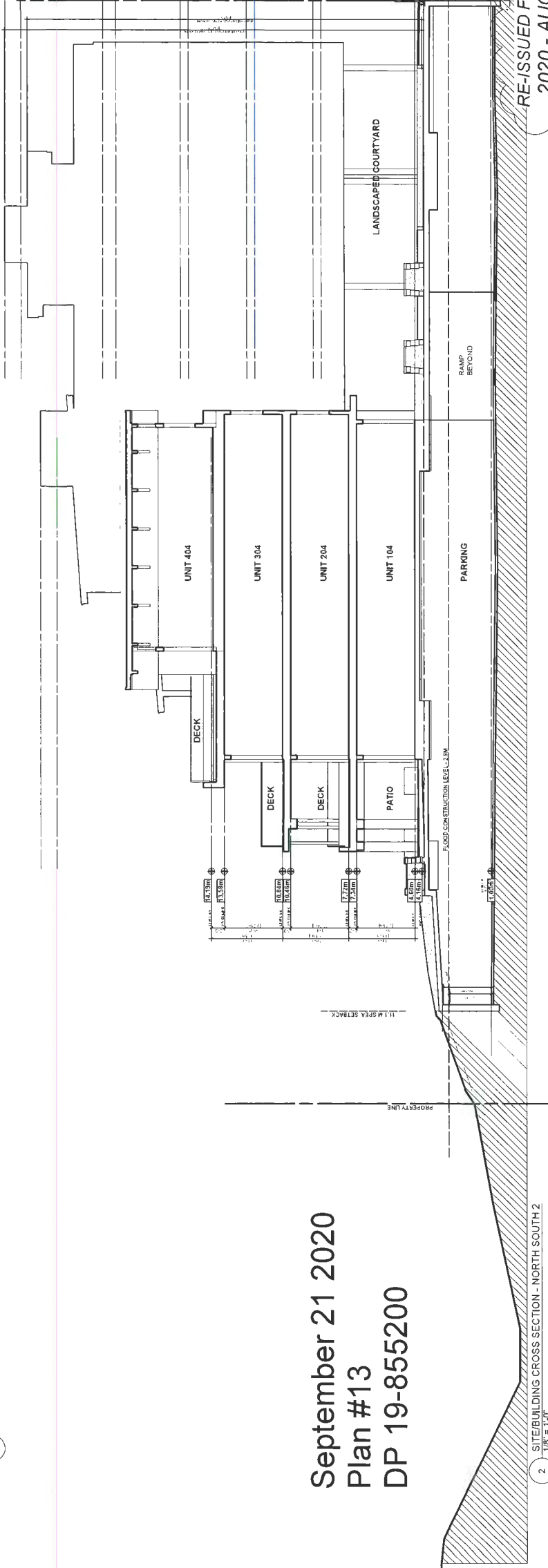
1 1/8" = 1'-0"
SITE/BUILDING CROSS SECTIONS - NORTH SOUTH 1

RZ 15 702486
DP 19 855200

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13 UNIT MIXED USE DEVELOPMENT
8801 S 111 DYKE ROAD
RICHMOND, BC

September 21 2020
Plan #13
DP 19-855200



2 1/8" = 1'-0"
SITE/BUILDING CROSS SECTION - NORTH SOUTH 2

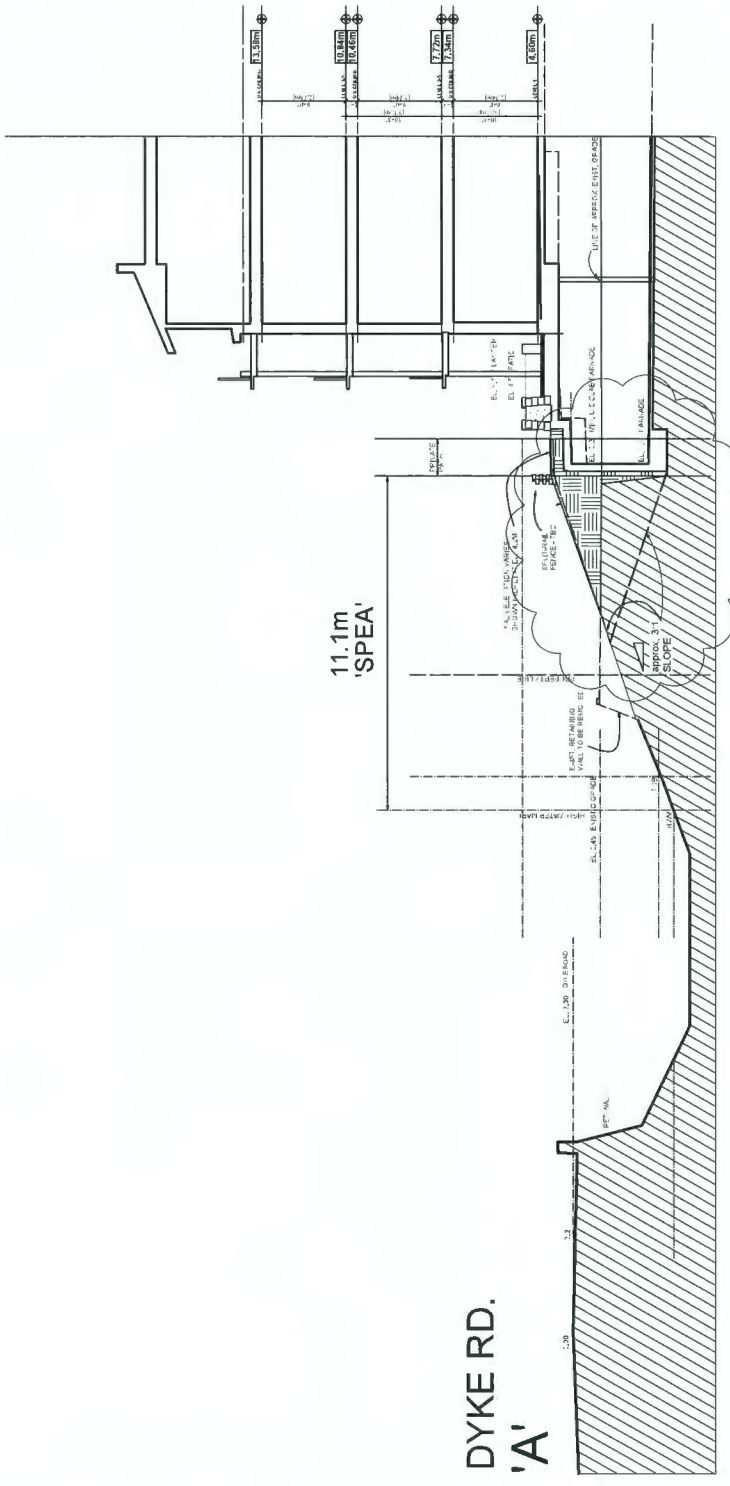
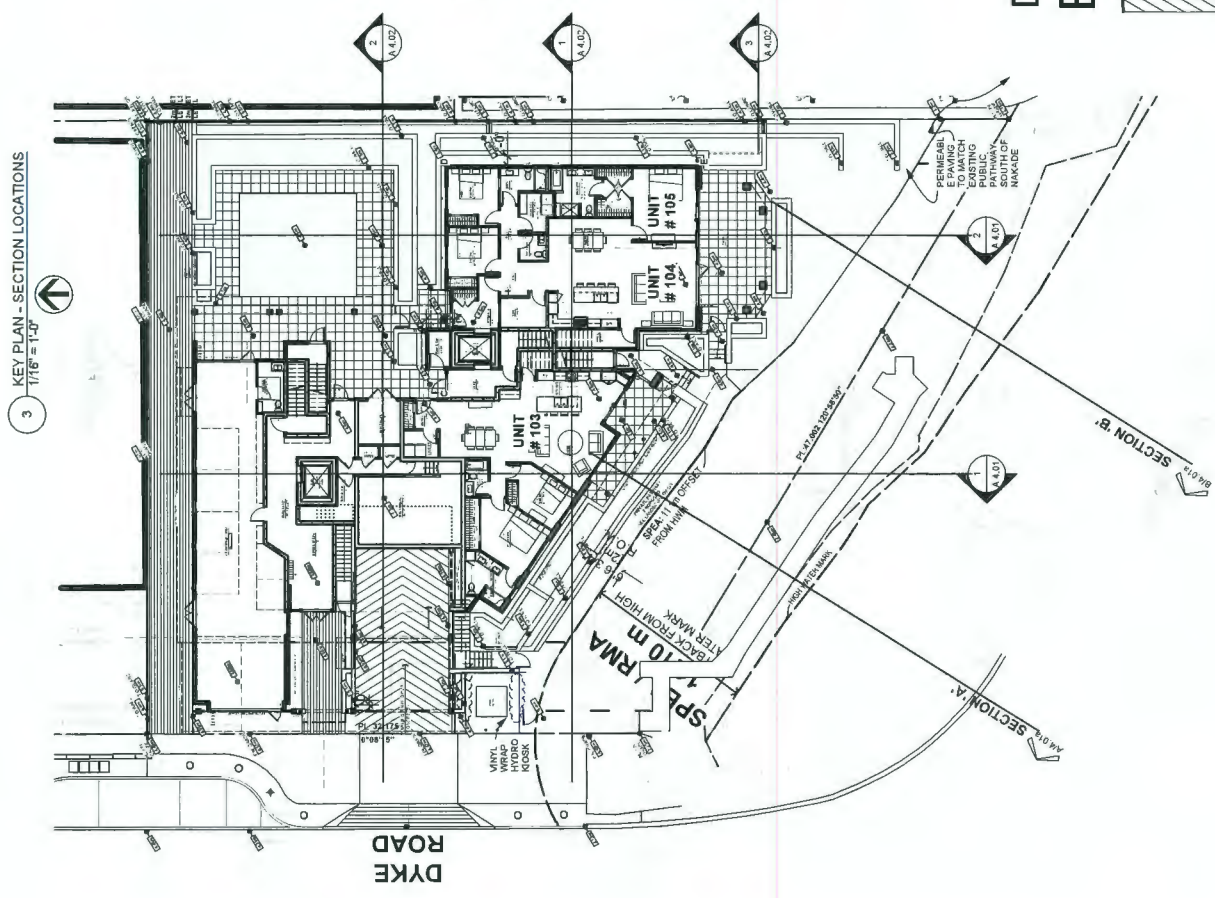
RE-ISSUED FOR D.P. A-4.01
2020 - AUG - 04

13 UNIT MIXED USE DEVELOPMENT
8801 S 111 DYKE ROAD
RICHMOND, BC

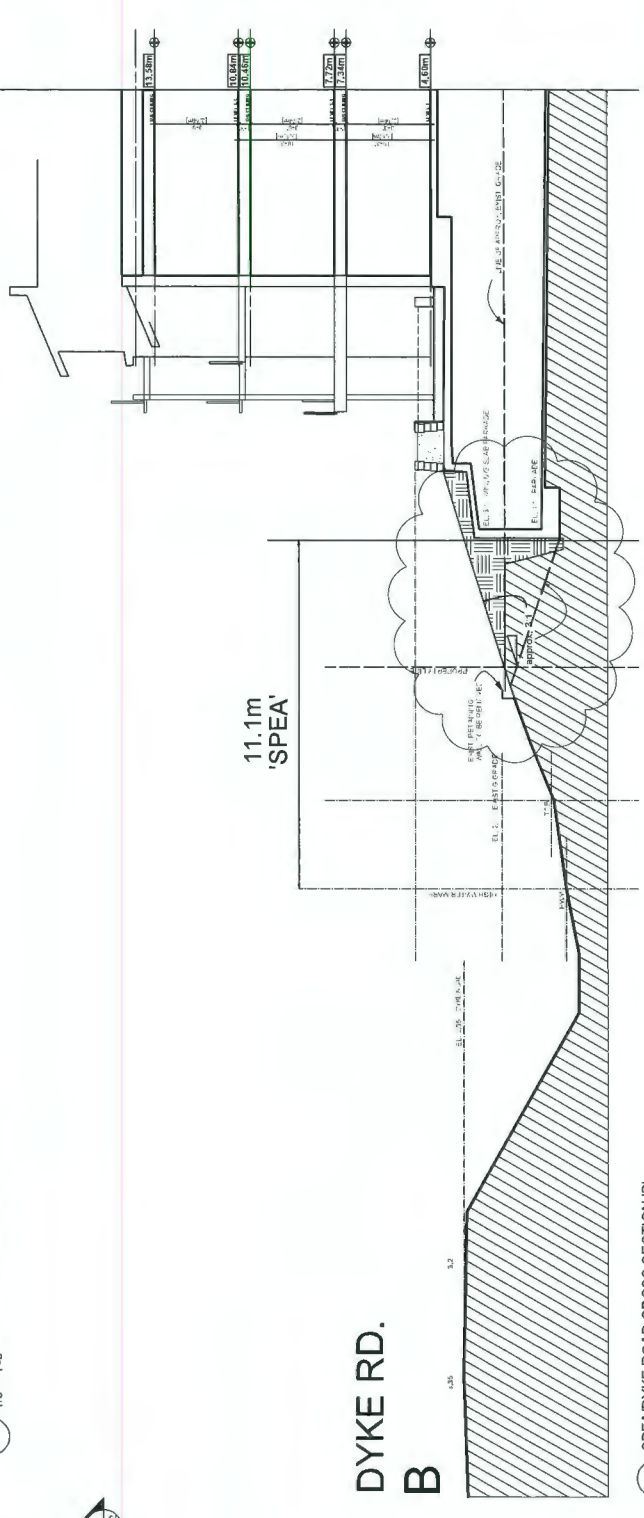
THE ANDREWS ARCHITECTS INC
www.andrewsarch.com

AS NOTED
DEC 2017
WA
1707 / 1708

NO.	DATE	DESCRIPTION
1	2019.08.14	ISSUED FOR PERMITTING
2	2019.08.14	ISSUED FOR PERMITTING
3	2019.08.14	ISSUED FOR PERMITTING
4	2019.08.14	ISSUED FOR PERMITTING
5	2019.08.14	ISSUED FOR PERMITTING
6	2019.08.14	ISSUED FOR PERMITTING
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14	2019.08.14	ISSUED FOR PERMITTING
15	2019.08.14	ISSUED FOR PERMITTING
16	2019.08.14	ISSUED FOR PERMITTING
17	2019.08.14	ISSUED FOR PERMITTING
18	2019.08.14	ISSUED FOR PERMITTING
19	2019.08.14	ISSUED FOR PERMITTING
20	2019.08.14	ISSUED FOR PERMITTING



1 SPEANDYKE ROAD CROSS SECTION 'A'
1/8" = 1'-0"



2 SPEANDYKE ROAD CROSS SECTION 'B'
1/8" = 1'-0"

RZ 15 702486
DP 19 855200



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13 UNIT MIXED USE DEVELOPMENT
6091 8111 DYKE ROAD
RICHMOND, BC

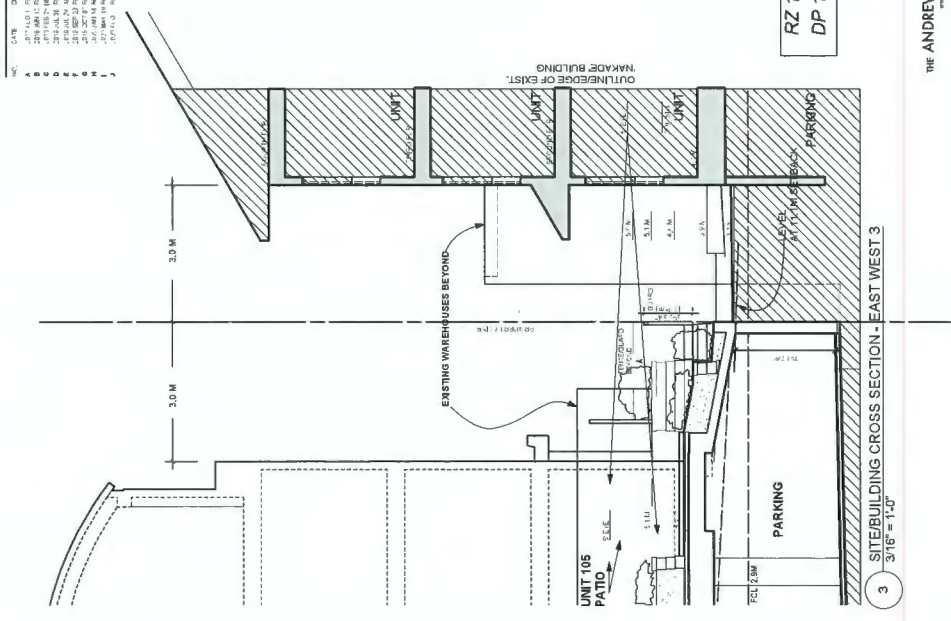
SPEA - PARKADE INTERFACE PARTIAL SITE SECTIONS

NAME	AS NOTED
DATE	JULY 2018
DRAWN	WA
PROJECT	1707/1708
DRAWING	

September 21 2020
Plan #14
DP 19-855200

RE-ISSUED FOR D.P.
2020 - AUG - 04
A-4.01a

NO.	DATE	DESCRIPTION
1	01/11/17	PRELIMINARY
2	02/14/17	REVISED PER COMMENTS
3	03/14/17	REVISED PER COMMENTS
4	04/14/17	REVISED PER COMMENTS
5	05/14/17	REVISED PER COMMENTS
6	06/14/17	REVISED PER COMMENTS
7	07/14/17	REVISED PER COMMENTS
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58	10/14/21	REVISED PER COMMENTS
59	11/14/21	REVISED PER COMMENTS
60	12/14/21	REVISED PER COMMENTS



RZ 15 702486
DP 19 855200

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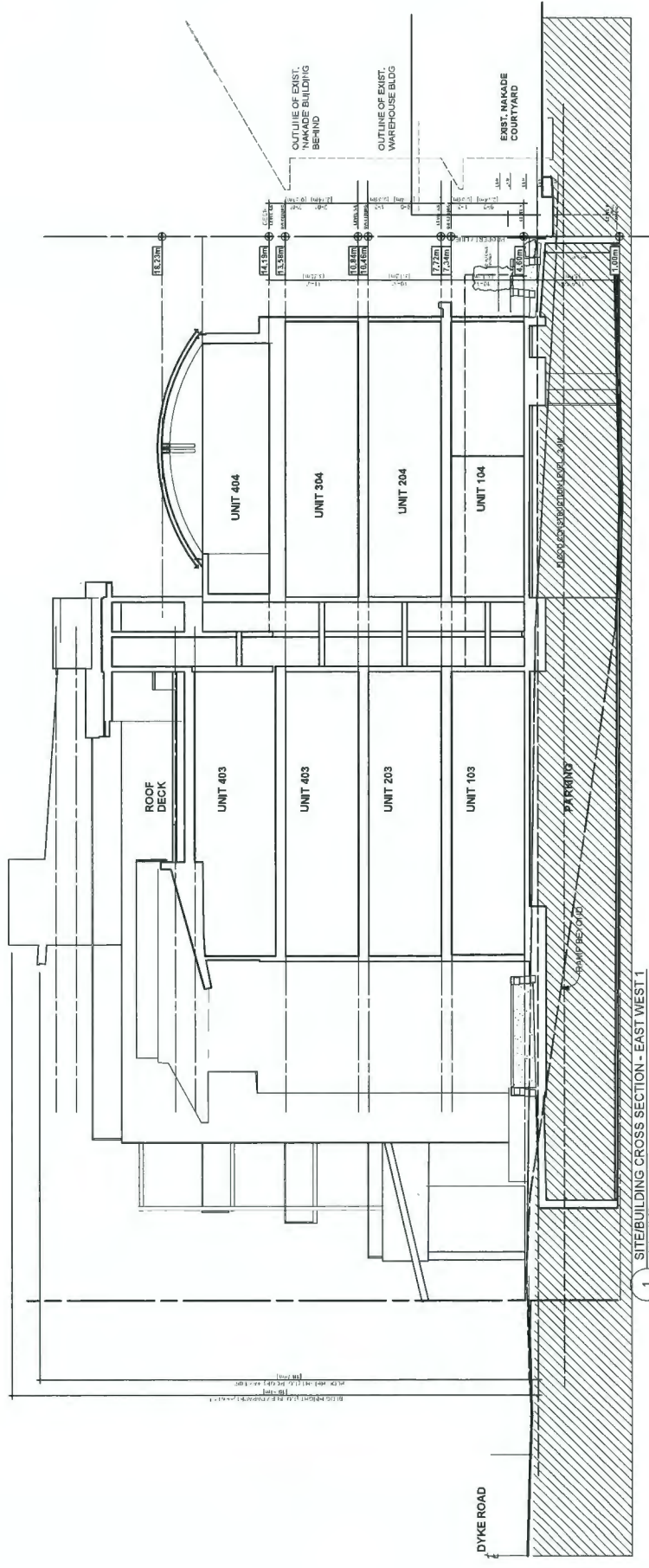
13 UNIT
MIXED USE
DEVELOPMENT
8894, 6111 DYKE ROAD
RICHMOND, BC

TITLE	BLDG/SITE SECTIONS EAST WEST
SCALE	AS NOTED
DATE	DEC 2017
DRAWN	WA
PROJECT NO.	1707 / 1708
DRAWING NO.	

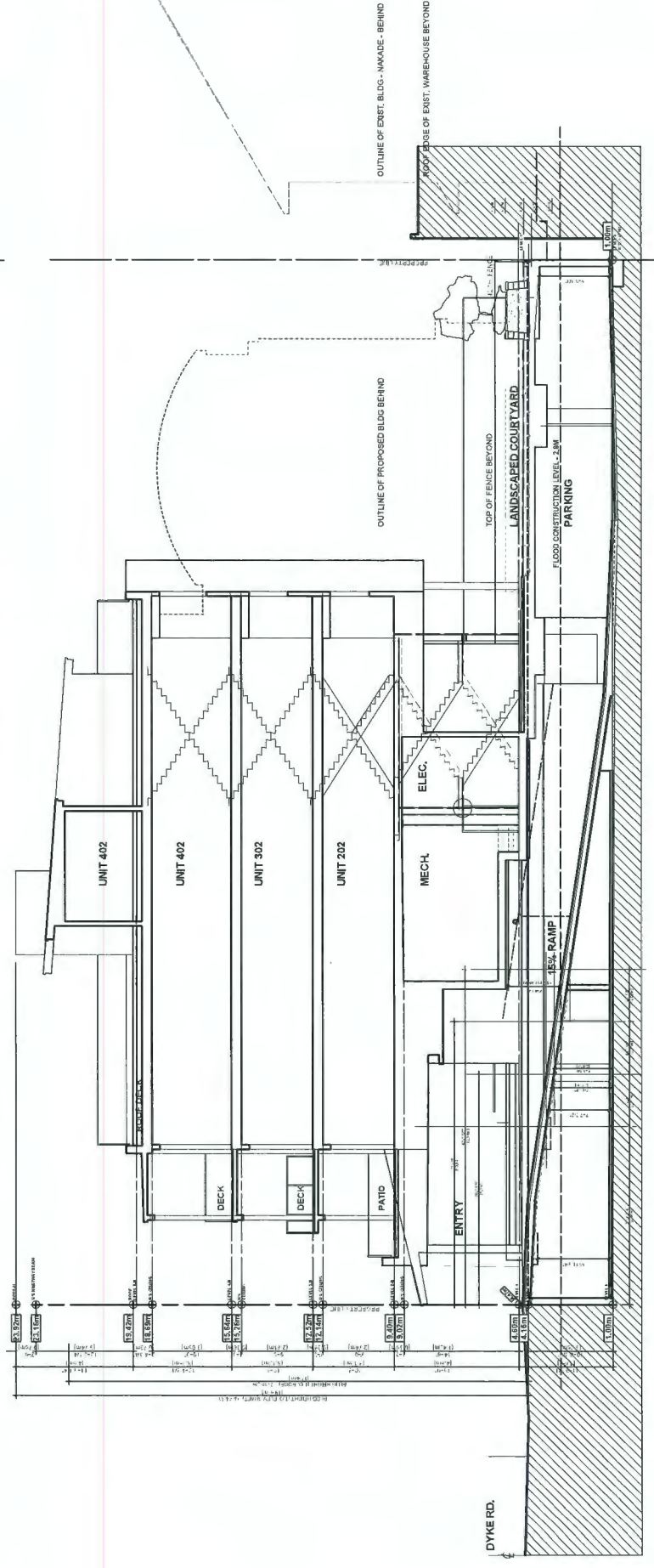
A-4.02

September 21 2020
Plan #15
DP 19-855200

RE-ISSUED FOR D.P.
2020 - AUG - 04



1 SITEBUILDING CROSS SECTION - EAST WEST 1
1/8" = 1'-0"



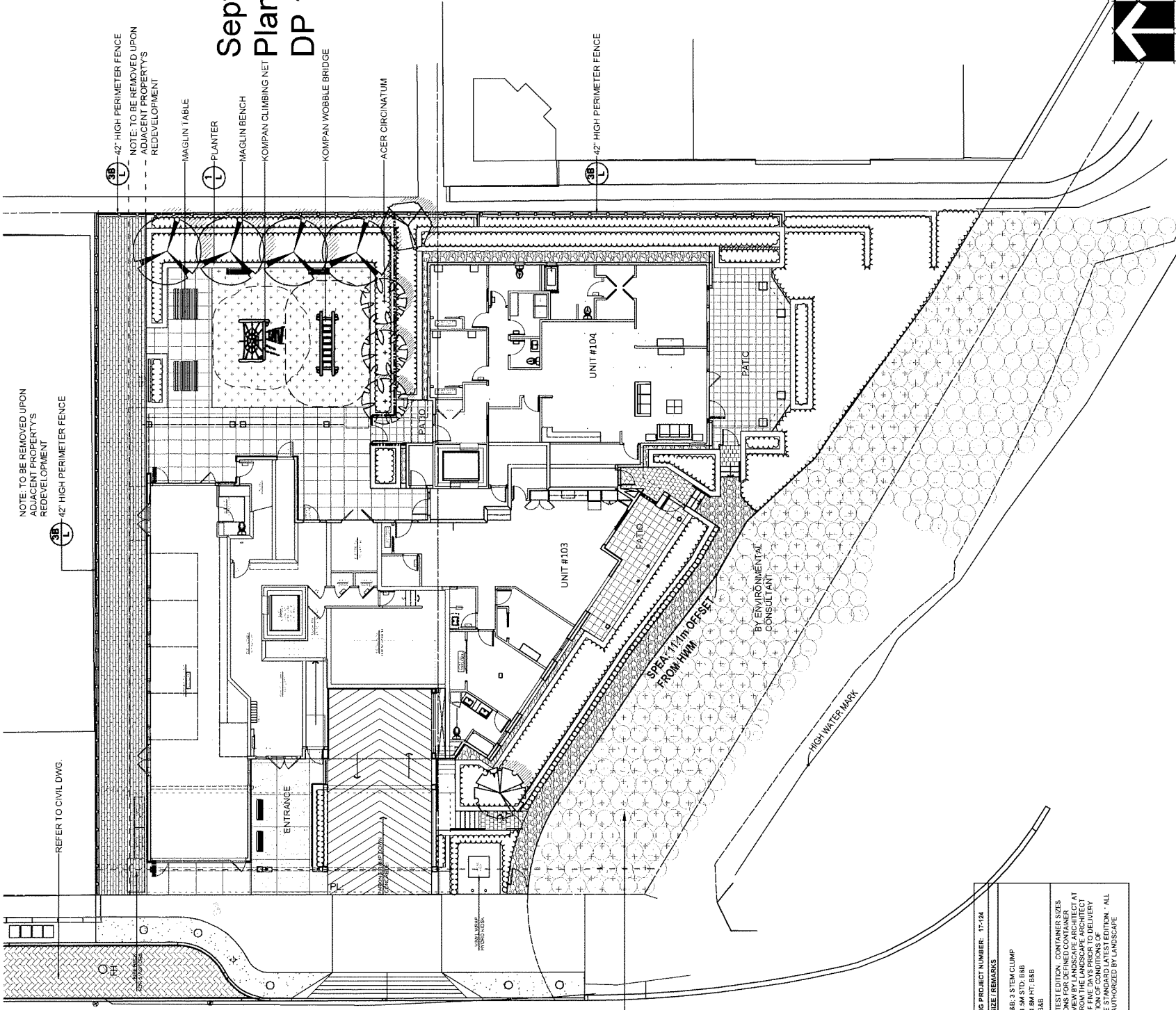
2 SITEBUILDING CROSS SECTION - EAST WEST 2
1/8" = 1'-0"

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P: 604-294-0011 | F: 604-294-0022

SEAL:

September 21 2020
Plan #16
DP 19-855200



NOTE: TO BE REMOVED UPON ADJACENT PROPERTY'S REDEVELOPMENT

REFER TO CIVIL DWG.

NOTE: TO BE REMOVED UPON ADJACENT PROPERTY'S REDEVELOPMENT

THE PLANTING PLAN ASSOCIATED WITH THE ONSITE SPEA AREA IS SHOWN ON THE KEYSTONE ENVIRONMENTAL REPORTS. THIS BACKGROUND REPRESENTS THE PLANTING PLAN INCLUDED WITHIN THE UPDATED JANUARY 2020 KEYSTONE REPORTS.

PLANT SCHEDULE		PMG PROJECT NUMBER: 17-124
KEY	BOTANICAL NAME	COMMON NAME
3	ACER CIRCINATUM	VINE MAPLE
4	CORNUS FLORIDA	FLOWERING DOGWOOD
5	FAJUS SYLVATICA	DAWKYCK GOLD BEECH
1	FAJUS SYLVATICA DAWKYCK GOLD	DAWKYCK GOLD BEECH

PLANTED SIZE / REMARKS
 2.9M HT. B&B; 3 STEM CLUMP
 8CM CAL. 1.5M STD. B&B
 2.9M HT. B&B
 8CM CAL. B&B

NOTES: - PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS - SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY - ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. ALL MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. - B&B: SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: ONSITE IRRIGATION WILL BE INSTALLED.

NO.	DATE	REVISION DESCRIPTION	DR.
1	2017.02.08	REVISION FOR ARCHITECT'S COMMENTS	WR
2	2017.02.08	REVISION FOR ARCHITECT'S COMMENTS	WR
3	2017.02.08	REVISION FOR ARCHITECT'S COMMENTS	WR
4	2018.MAY.25	NEW SET PLAN	WR
5	2018.MAY.25	NEW SET PLAN	WR
6	28.04.17	NEW SET PLAN	MM
7	15.04.16	CIVIL WORK APPROVED FOR COMMENTS	MM
8	15.04.16	CIVIL WORK APPROVED FOR COMMENTS	WR
9	20.04.16	NEW SET PLAN	WR
10	20.04.16	NEW SET PLAN	WR
11	20.04.16	NEW SET PLAN	WR
12	20.04.16	NEW SET PLAN	WR
13	20.04.16	REVISION FOR ARCHITECT'S COMMENTS	WR

PROJECT
MIXED USE DEVELOPMENT
6091, 6111 DYKE ROAD
RICHMOND, BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 17.07.24 DRAWING NUMBER:
SCALE: 1"=10'-0" L1
DRAWN: YR
DESIGN: YR
CHKD: MCV

PMG PROJECT NUMBER: 17-124
OF 6

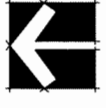
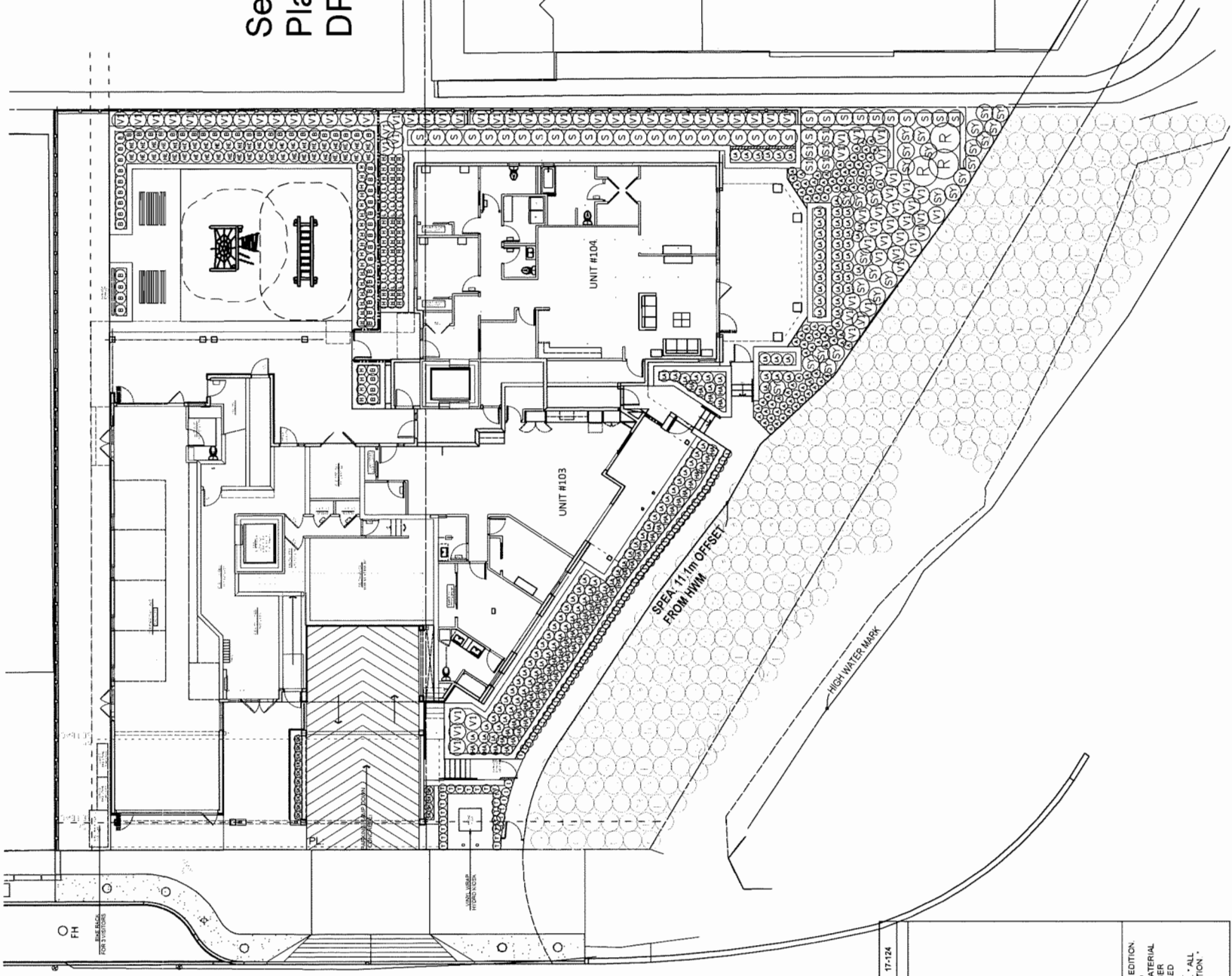
17124.15.20

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SEAL:

September 21 2020
Plan #17
DP 19-855200



NO.	DATE	REVISION DESCRIPTION	DR.
1	2019.08.28	ISSUE FOR PERMIT	DR
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99	2019.09.03	REVISED PERMIT COMMENTS	DR
100	2019.09.03	REVISED PERMIT COMMENTS	DR

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
55	3	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#2 POT, 40CM
56	3	ROSA NUTKANA	NOOTKA ROSE	#3 POT, 60CM
57	14	SARCOCOCOA HOOKERIANA 'NIVILIS'	DWARF SWEETBOX	#2 POT, 30CM
58	34	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#2 POT, 30CM
59	5	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA	#2 POT, 40CM
60	28	SYMPHORICARPOS ALBUS	SNOWBERRY	#3 POT, 50CM
61	21	TAXUS X MEDIA 'HICKSII'	HICKS' YEW	1.2M, B&B
62	78	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT, 50CM
63	59	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
64	51	IMPERATA CYLINDRICA 'RED BARN'	BLOOD GRASS	#1 POT
65	14	LIZOLA NIVEA	SNOWY WOOD RUSH	#1 POT
PERENNIAL				
66	90	ACHILLEA MILLEFOLIUM	YARROW	15CM POT
67	46	HELLEBORUS 'HYBRIDUS'	LENTEN ROSE	15CM POT
68	48	HOSTA FORTUNEI 'FRANCE'	HOSTA, GREEN AND WHITE	#2 POT, 1-2 EYE
69	108	LAVALDULA ANGIUSTIFOLIA	ENGLISH LAVENDER	15CM POT, #1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. ** SUBSTITUTIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED PLANT MATERIAL. ** SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

PROJECT
MIXED USE DEVELOPMENT
6091, 6111 DYKE ROAD
RICHMOND, BC

DRAWING TITLE:
SHRUB PLAN

DATE: 17 OCT 24
SCALE: 1/8"=1'-0"
DRAWN: YR
DESIGN: YR
CHKD: MCK
DRAWING NUMBER:
L2
OF 6

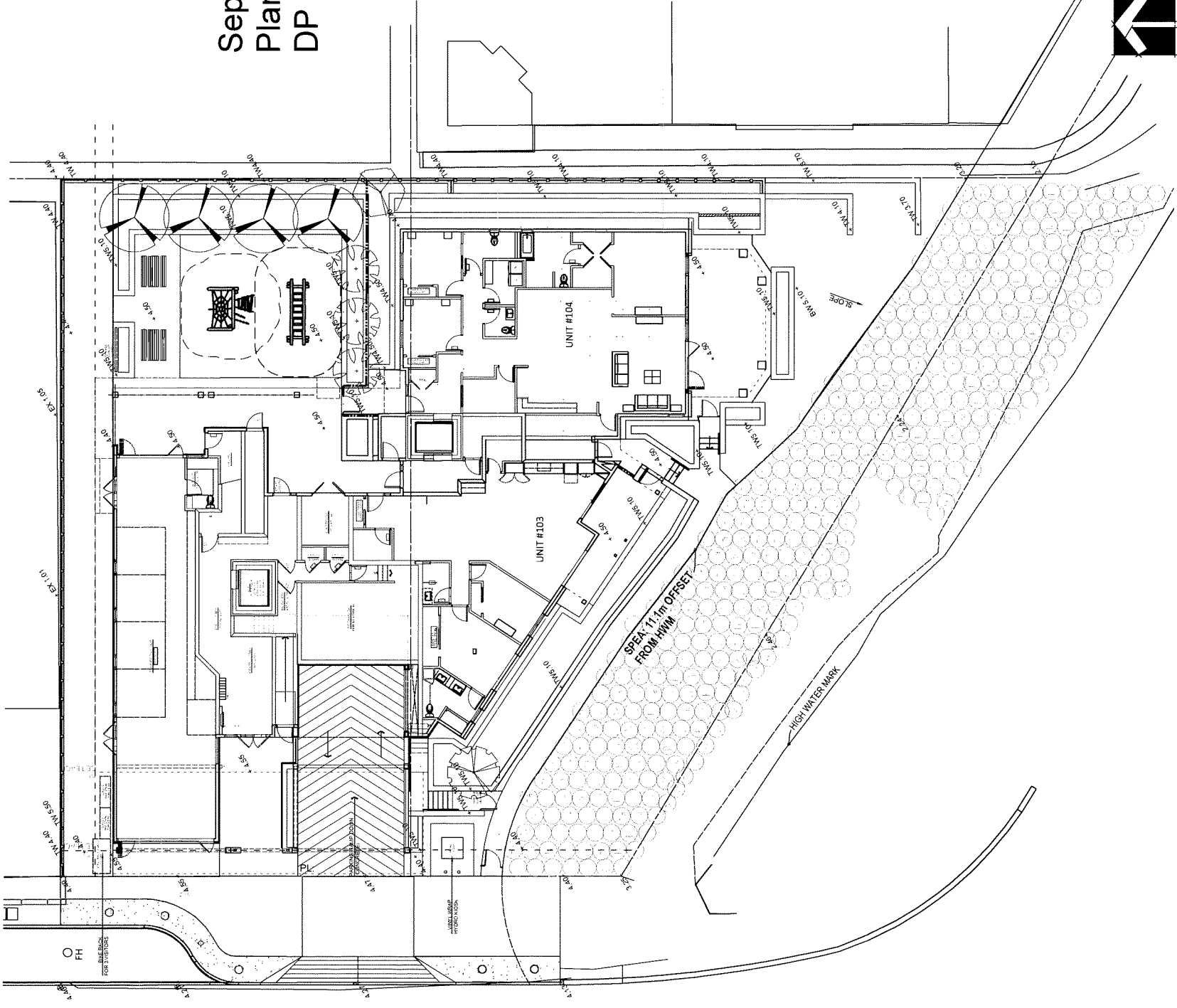
PMG PROJECT NUMBER: 17124-13.2P
17124-13.2P

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SEAL

September 21 2020
Plan #18
DP 19-855200



NO.	DATE	REVISION/DESCRIPTION	BY
13	2020.09.22	RELOCATE 2 TREES & PAINT EQUIPMENT	WR
12	2020.08.04	NEW SITE PLAN	WR
11	2020.08.03	CITY COMMENTS	WR
10	2020.08.03	NEW SITE PLAN	WR
9	2020.07.22	CITY COMMENTS	WR
8	2020.07.22	CITY COMMENTS	WR
7	2020.07.22	CITY COMMENTS	WR
6	2020.07.22	CITY COMMENTS	WR
5	2020.07.22	CITY COMMENTS	WR
4	2020.07.22	CITY COMMENTS	WR
3	2020.07.22	CITY COMMENTS	WR
2	2020.07.22	CITY COMMENTS	WR
1	2020.07.22	CITY COMMENTS	WR

PROJECT:
MIXED USE DEVELOPMENT
6091 6111 DYKE ROAD
RICHMOND, BC

DRAWING TITLE:
GRADING PLAN

DATE: 17.OCT.24 DRAWING NUMBER:
SCALE: 1"=10'-0" **L3**
DRAWN: YR
DESIGN: YR
CHKD: MCY
OF 6

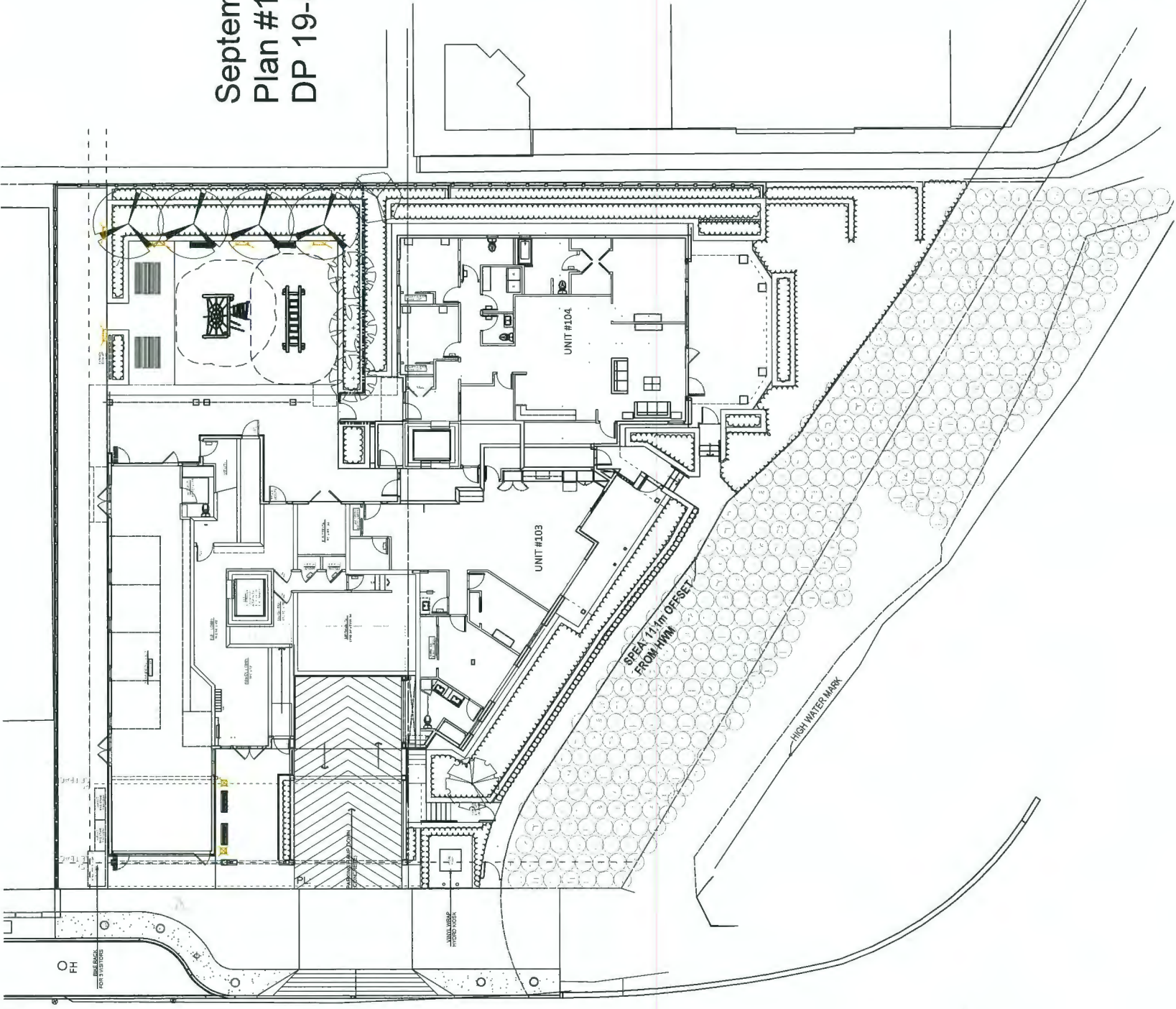
PMG PROJECT NUMBER: 17-124

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 P: 604 294-0011 | F: 604 294-0022

SEAL:

September 21 2020
 Plan #19
 DP 19-855200



NOTE:
 THE LIGHTING LAYOUT IS CONCEPTUAL ONLY.
 ALL SITE LIGHTING WILL BE FURTHER COORDINATED AND REVIEWED WITH ELECTRICAL CONSULTANT AND LIGHTING DESIGNER

- | | |
|---|---|
| <p>LIGHTING LEGEND</p> <ul style="list-style-type: none">  BEGA LED SYSTEM BOLLARDS BOLLARD HEADS UNSHIELDED WITH SAFETY GUARD 360  BEGA DRIVE-OVER LED IN-GROUND LUMINAIRES | <p>FENCE LEGEND</p> <ul style="list-style-type: none">  42' HIGH METAL PICKET FENCE  PERIMETER FENCE  6' HIGH METAL SCREEN |
|---|---|

NO.	DATE	REVISION DESCRIPTION	DR.
1	2017.02.08	REVISION FOR ARCHITECTS COMMENTS	WR
2	2017.02.08	REVISION FOR ARCHITECTS COMMENTS	WR
3	2017.02.08	REVISION FOR ARCHITECTS COMMENTS	WR
4	2018.JAN.23	NEW SITE PLAN	WR
5	2018.MAY.25	NEW SITE PLAN	WR
6	18.AUG.13	CIVIL LAYOUT AND CLIENT COMMENTS	MM
7	18.AUG.13	CIVIL LAYOUT AND CLIENT COMMENTS	MM
8	18.AUG.13	CIVIL LAYOUT AND CLIENT COMMENTS	MM
9	2018.MAY.25	NEW SITE PLAN	WR
10	2018.JAN.23	NEW SITE PLAN	WR
11	2017.02.08	REVISION FOR ARCHITECTS COMMENTS	WR
12	2017.02.08	REVISION FOR ARCHITECTS COMMENTS	WR
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PROJECT:
MIXED USE DEVELOPMENT
 6091, 6111 DYKE ROAD
 RICHMOND, BC

DRAWING TITLE:
LIGHTING & FENCE PLAN

DATE: 17.OCT.24 DRAWING NUMBER:
 SCALE: 1/8"=1'-0" **L4**
 DRAWN: YR
 DESIGN: YR
 CHKD: MCV
 OF 6

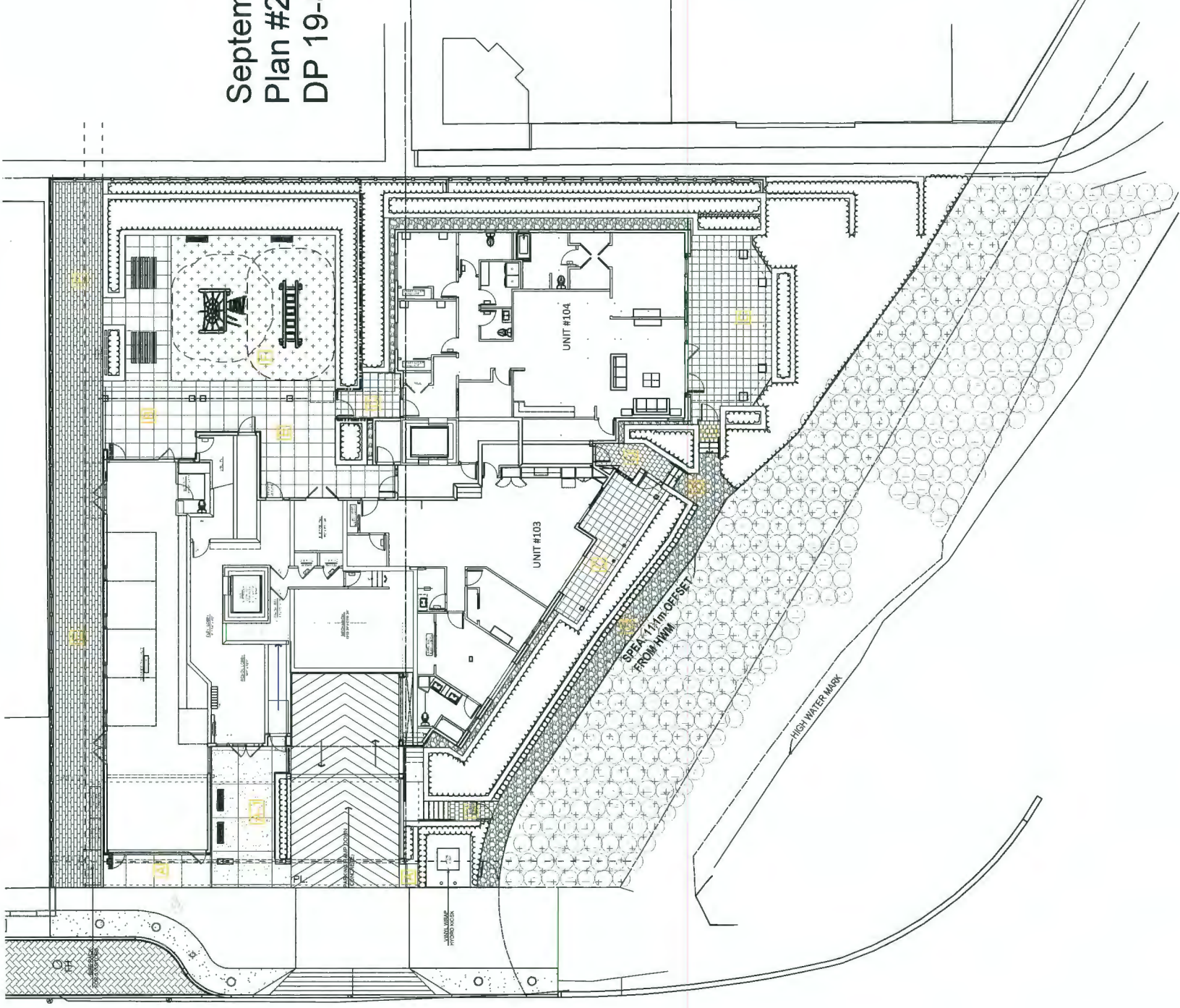
PMG PROJECT NUMBER: 17-114

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SEAL:

September 21 2020
Plan #20
DP 19-855200



17234-15.2P

NO.	DATE	REVISION DESCRIPTION	DR.
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PROJECT:
MIXED USE DEVELOPMENT
6091, 6111 DYKE ROAD
RICHMOND, BC

DRAWING TITLE:
MATERIAL PLAN

DATE: 17.OCT.24 DRAWING NUMBER:
SCALE: 1/8"=1'-0" **L5**
DRAWN: YR
DESIGN: YR
CHKD: MCV
OF 6

PMG PROJECT NUMBER: 17-124

MATERIAL LEGEND	DESCRIPTION
A	SAWCUT CONCRETE SAME PATTERN AS THE SAWCUT CONCRETE AT THE OTHER SIDE OF DYKE ROAD
A-1	COLORLED SAWCUT CONCRETE SAME PATTERN AS THE SAWCUT CONCRETE AT THE OTHER SIDE OF DYKE ROAD TAN COLOR
B	AMENITY RANGER BARKMAN - BROADWAY 65MM SIZE: 24 X 24 SLAB PERFETTO REGENCY WHITE
C	UNITS RANGER BARKMAN - BROADWAY 65MM SIZE: 12 X 12 SLAB NATURAL
D	BARKMAN - HOLLAND SPEC: 27 X 27 X 12 NATURAL & CHARCOAL
E	BARKMAN - BRIDGEWOOD SLAB SIZE: 23.43 X 9.84 CEDAR BROWN
F	POUR-IN-PLACE RUBBER
G	GRAVEL

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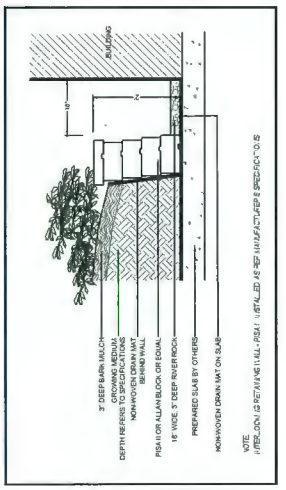
SEAL:

September 21 2020
Plan #21
DP 19-855200

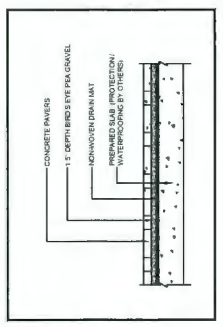


KOMPAN CLIMBING NET
NOR813-100

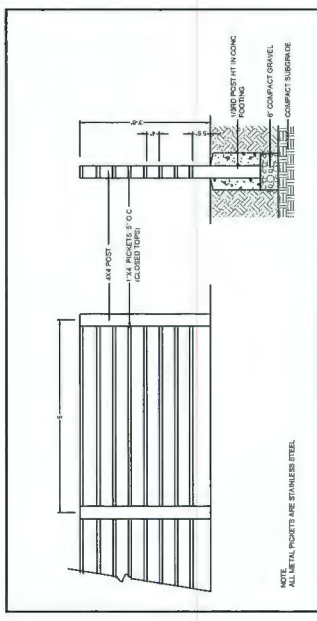
KOMPAN WOBBLE BRIDGE
NOR810



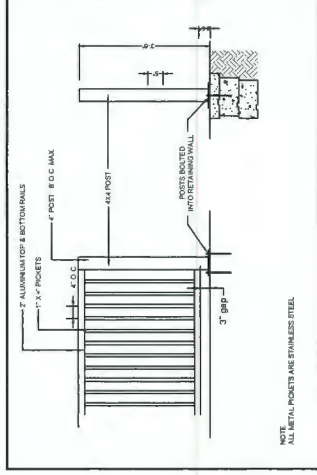
1 DRAIN STRIP & RETAINING WALL ON SLAB
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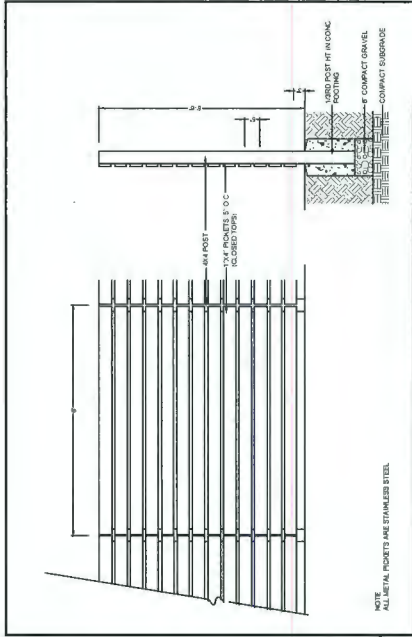
2 PAVING ON SLAB
SCALE: 1/2"=1'-0"



3A 42" HIGH METAL PICKET FENCE
SCALE: 1/2"=1'-0"



3B 42" HIGH PERIMETER FENCE
SCALE: 1/2"=1'-0"



3C 5-6" HIGH METAL SCREEN
SCALE: 1/2"=1'-0"



MAGLIN MLPT210 CLUSTER SEATING SERIES
CEDAR RP



BEGA LED SYSTEM BOLLARDS
BOLLARD HEADS: UNSHIELDED WITH SAFETY GUARD 360°



BEGA DRIVE-COVER LED IN-GROUND LUMINAIRES

NO.	DATE	REVISION DESCRIPTION	DR.
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13	2018.04.23	RELOCATE 2 TRILITE LIGHT EQUIPMENT	WR
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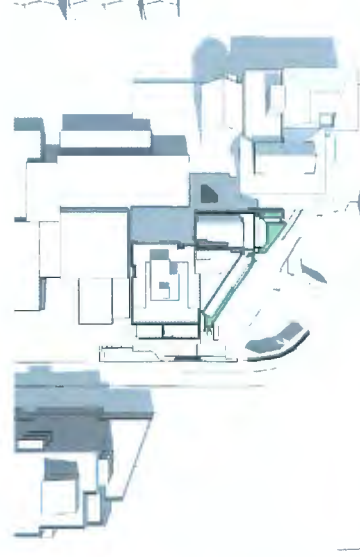
PROJECT:
MIXED USE DEVELOPMENT
6091, 6111 DYKE ROAD
RICHMOND, BC

DRAWING TITLE:
DETAILS

DATE: 17.07.24 DRAWING NUMBER:
SCALE: **L6**
DRAWN: YR
DESIGN: YR
CHKD: MCV
OF 6

PMO PROJECT NUMBER: 17-124

NAME: [REDACTED]
 DATE: [REDACTED]
 DRAWN BY: [REDACTED]
 CHECKED BY: [REDACTED]
 PROJECT NO: [REDACTED]
 SHEET NO: [REDACTED]



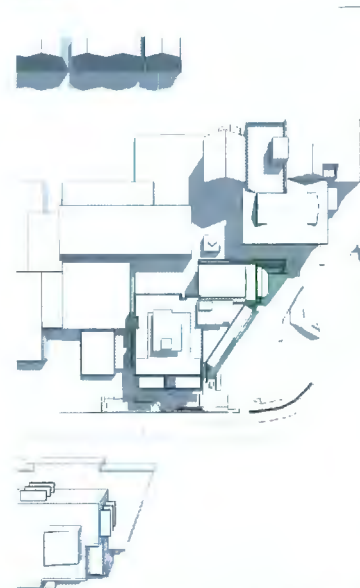
JUNE 21: 10 am



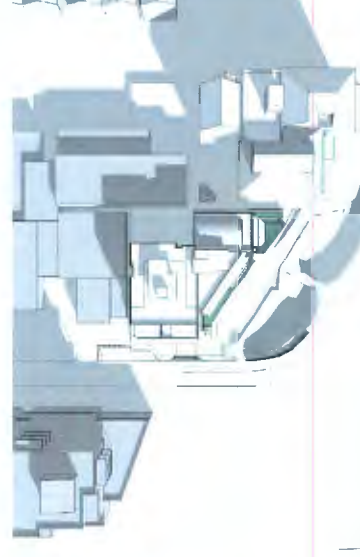
JUNE 21: 12 pm



JUNE 21: 2 pm



JUNE 21: 4 pm



SEPT/MAR 21: 10 am



SEPT/MAR 21: 12 pm



SEPT/MAR 21: 2 pm

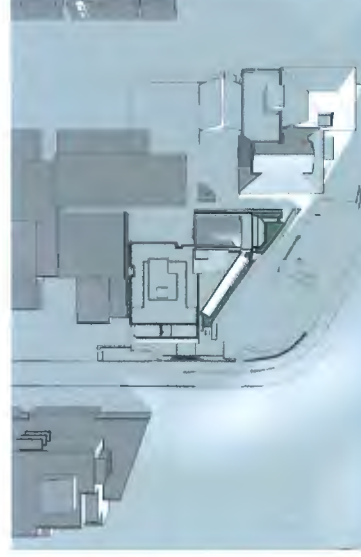


SEPT/MAR 21: 4 pm

RZ 15 702486
 DP 19 855200

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 www.andrewsarchitects.com

This drawing is an architectural rendering of a proposed development. It is not a guarantee of the final design or construction. The design is subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The architect is not responsible for the accuracy of the information provided.



DEC 21: 10 am



DEC 21: 12 pm



DEC 21: 2 pm



DEC 21: 4 pm

13 UNIT
 MIXED USE
 DEVELOPMENT
 5091 5111 DYKE ROAD
 RICHMOND, BC

SHADOW STUDIES
 (PROPOSED CONDITIONS)

SCALE: AS NOTED
 DATE: APRIL 18, 2017
 DRAWN BY: WA
 CHECKED BY: JP
 PROJECT NO: 1707/1708
 DRAWN BY: [REDACTED]

RE-ISSUED FOR D.P.
 2020 - AUG - 04
A-1.03

Reference Plan