



To: Development Permit Panel

Date: April 6, 2021

From: Wayne Craig
Director of Development

File: DP 15-699652

Re: Application by GBL Architects for a Development Permit at 8091 Capstan Way

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a two-tower, mixed use development consisting of ground floor retail, a 72-room hotel, and 137 dwelling units, including nine affordable low-end-of-market rental housing units and 128 market ownership units, at 8091 Capstan Way on a site zoned "Residential/Limited Commercial (RCL5)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 - a) reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m; and
 - b) reduce the minimum required number of medium truck loading spaces from three to two.

Wayne Craig
Director of Development

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Att. 6

Staff Report

Origin

GBL Architects has applied to the City of Richmond, on behalf of Capstan Projects Ltd., 0892691 B.C. Ltd., Inc. and Minglian Holdings (Hau Ping Huang), for permission to develop a two-tower, mixed use project consisting of ground floor retail, a 72-room hotel, and 137 dwelling units, including nine affordable low-end-of-market rental (LEMR) housing units and 128 market ownership units, at 8091 Capstan Way (Attachment 1).

The site is currently vacant and is being rezoned from “Auto-Oriented Commercial (CA)” to “Residential/Limited Commercial (RCL5)” for this project under Bylaw 9677 (RZ 15-699647). Prior to adoption of the rezoning bylaw, the developer shall, among other things:

- 1) Register a Housing Agreement and Covenant on title to the lot to secure the nine proposed affordable housing units in perpetuity (which units shall be constructed to a turnkey level of finish at the developer’s cost);
- 2) Register a statutory rights-of-way on title to the lot to secure a publicly-accessible plaza with public art along the site’s Capstan Way and Corvette Way frontages; and
- 3) Enter into a Servicing Agreement, secured with a letter of credit, to design and construct all engineering, transportation, and parks off-site requirements in respect to the proposed development, including upgrades to water, drainage, and sanitary sewer infrastructure (e.g., Skyline Pump Station upgrades), road widening, frontage improvements, and a new off-street bike path and greenway along Capstan Way.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Site and Context

Development near the subject site includes:

To the South: Capstan Way (a designated greenway route) and an area of low-rise automobile-oriented commercial uses designated under the City Centre Area Plan (CCAP) for medium- and high-rise mixed use development and future riverfront (dike) park.

To the North: Corvette Way and Wall Centre (3099, 3111 & 3333 Corvette Way), an existing three-tower, mixed hotel/residential development zoned “Residential/Hotel (ZMU5) – Capstan Village (City Centre)” and developed to a similar height and density as that proposed for the subject site.

To the East: Abutting the subject site is the first phase of an approved, three-phase, high-rise development (Yuanheng “View Star”/ RZ 12-603040 / ZT 19-872212 / DP 16-745853), comprising 577 units in six residential towers and Corvette Way-fronting townhouses, together with pedestrian-oriented commercial along Capstan Way and Number 3 Road.

To the West: Corvette Way and the third (final) phase of “View Star” (RZ 12-603040 / ZT 19-872212 / DP 17-794169 under review), which is proposed to include 89 dwelling in two towers that front onto a new riverfront (dike) park constructed by the “View Star” developer.

In addition, the subject site is located within 400 m (4,300 ft.) or roughly a 5-minute walk of a variety of amenities, including the proposed Capstan Canada Line station and a City-owned community centre (Yuanheng “View Star” / RZ 12-603040 / ZT 19-872212 / DP 17-794169).

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on June 18, 2018. No concerns were expressed about the development.

During the rezoning process, staff identified various items requiring design development through the Development Permit process. All items have been addressed. Details are provided in the Staff Comments and Analysis sections of this report.

Staff Comments

The proposed scheme attached to this report satisfactorily addresses the significant urban design issues and other staff comments identified as part of the review of the rezoning and subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and City Centre Area Plan (CCAP) and complies with the “Residential/Limited Commercial (RCL5)” zone, except as described in the Zoning Compliance/Variations section of this report.

- 1) Affordable Housing: The subject development includes nine affordable (low-end-of-market-rental) housing units, which is one more unit than was anticipated at rezoning. The units are dispersed on levels 4 through 10 and include 33% two- and three-bedroom family-friendly units and 66% one-bedroom units. The designs of all affordable units will comply with the City’s Basic Universal Housing (BUH) standards.

Affordable Housing staff support the applicant’s proposal, which is summarized in the table below. The Housing Agreement (Bylaw 9910) securing the affordable housing units was adopted by Council on October 22, 2018. Prior to rezoning adoption and issuance of the subject Development Permit, a Housing Covenant will be registered on title with the specifics of the developer’s affordable housing contribution and the legal agreement required with respect to the rezoning regarding maximum permitted number of dwelling units will be modified to permit the additional proposed affordable housing unit.

Affordable Housing (Net Habitable Floor Area)		Affordable Unit Mix**			
Min. Permitted*	Proposed	1-BR	2-BR	3-BR	Total
562.7 m ² (6,056.3 ft ²)	571 m ² (6,147 ft ²)	6	2	1	9

* Minimum permitted floor area is 5% of total residential floor area.

** 100% of affordable housing units shall comply with the City’s Basic Universal Housing (BUH) standards.

- 2) Capstan Station Bonus – Station Contribution: The City Centre Area Plan and RCL5 zone provide for a residential density bonus (0.5 FAR) on the basis that the development shall contribute, at Council-approved rates, towards the Capstan Station Reserve (for station construction and mobility improvements) and publicly accessible open space. At the rezoning stage, the developer committed to contributing the required amount of public open space in a combination of dedication and statutory rights-of-way. The focus of the open space is a large weather-protected plaza at the Capstan Way/Corvette Way corner, the design of which will add to public enjoyment of the fronting Capstan Way greenway with public art, seating, planting/trees, opportunities for outdoor dining, and a decorative soffit/ceiling. Prior to rezoning, legal agreements will be registered on title to the lot to secure the developer's commitment to contribute to the Capstan Station Reserve prior to Building Permit issuance.
- 3) Capstan Way Passenger Lay-By: Through rezoning of the subject site, the developer was required to provide a combination of dedication and statutory rights-of-way to satisfy road widening and Capstan Station Bonus public open space requirements along the site's Capstan Way frontage. Following Public Hearing, through the Development Permit and Servicing Agreement review processes, staff determined that the Capstan Way road and greenway designs approved through the rezoning should be revised to accommodate an on-street public passenger lay-by for use by taxis, shuttle buses, ride-share, and other vehicles requiring space to drop-off/pick-up. This lay-by will be the only place for vehicles to stop along the north side of Capstan Way west of No. 3 Road (i.e. parking is prohibited) and will enhance access by mobility impaired people and others to Capstan Way's greenway, fronting commercial and residential uses, and the riverfront. To accommodate the lay-by, 110 m² (1,180 ft²) of the area originally identified as statutory rights-of-way must instead be dedicated. A Highway Access Agreement will be registered on title to the lot prior to Development Permit issuance to facilitate the future dedication of the required area (Attachment 3).
- 4) Hotel: The subject development includes a 72-room hotel, together with meeting rooms and restaurant facilities for hotel guests. As required through the rezoning, the hotel's design provides for it to operate independently of the development's residential uses. Prior to adoption of the Rezoning Bylaw, a legal agreement will be registered on title to the lot to secure the developer's hotel-related requirements (e.g., hotel rooms shall not include kitchens; hotel guests shall not have use of residential amenities or circulation; and, a hotel shuttle and operator shall be provided at the developer's cost).
- 5) Village Centre Bonus – Community Amenity Contribution: The City Centre Area Plan and RCL5 zone provide for a commercial density bonus (1.0 FAR) on the basis that the developer makes a community amenity contribution, based on 5% of bonus floor area. As approved through the rezoning process, prior to adoption of the Rezoning Bylaw, the developer shall make a cash-in-lieu contribution to Richmond's Leisure Facilities Reserve Fund, to facilitate the City's construction of community amenity space in the City Centre.
- 6) Transportation Demand Management (TDM) Measures: The Zoning Bylaw permits parking reductions (10%) based on the developer's provision of an approved suite of TDM measures. Legal agreements registered on title prior to rezoning adoption secure the developer's commitment (at the developer's cost) to provide the following measures:
 - Hotel shuttle bus and a three-year contract with a bus operator;

- End-of-trip cycling facilities (e.g., showers, toilets, and change rooms) for commercial tenants, co-located with the development's commercial Class 1 (secure) bike storage;
 - Public parking (i.e. designation of 50% of commercial parking for short-term/hourly use);
 - \$30,000 for the City's installation of a transit shelter and/or accessibility features; and
 - Off-street bike path along the north side of Capstan Way.
- 7) District Energy Utility (DEU): Prior to Rezoning Bylaw adoption, legal agreement will be registered on title to the lot requiring that it is designed and constructed to facilitate its future connection to a City DEU system.
 - 8) Leadership in Energy and Environment Design (LEED): At the rezoning stage the applicant committed to ensuring that the subject development is designed and constructed to achieve LEED Silver equivalent. The developer has submitted a LEED checklist confirming that the DP design can achieve LEED Silver equivalent (Attachment 4) and will submit an updated LEED checklist at Building Permit stage. The proposal meets the grandfathering provisions for Energy Step Code approved by Council.
 - 9) Public Art: Prior to rezoning adoption, legal agreements will be registered on title to secure the developer's voluntary public art contribution. The developer has submitted a Detailed Public Art Plan that locates the public art in the large plaza proposed for the Capstan Way/Corvette Way corner. Prior to Development Permit issuance, the developer will submit a letter of credit to secure its implementation of the Plan to the City's satisfaction.
 - 10) Airport Zoning Regulations: The developer has submitted a letter prepared by a surveyor confirming that the height of the proposed development, 47 m (154 ft.) GSC, complies with Transport Canada regulations.
 - 11) Flood Construction: Prior to Rezoning Bylaw adoption, the City's standard flood indemnity covenant will be registered on title to the lot. The proposed development complies with Richmond's Flood Plain Designation and Protection Bylaw including, for all dwelling units and electrical/mechanical rooms, a minimum elevation of 2.9 m (9.5 ft.) GSC and, for commercial uses and residential lobbies, a minimum elevation of 0.3 m (1.0 ft.) above the crown of the fronting road.
 - 12) Aircraft Noise: The OCP permits residential and other aircraft noise sensitive uses in this location, subject to specific requirements. Prior to rezoning adoption, the City's standard aircraft noise covenant will be registered on title to ensure that the building is designed and constructed to satisfy all City of Richmond acoustic requirements, as confirmed by a certified professional.
 - 13) View Blockage and Other Development Impacts: Prior to rezoning adoption, the City's standard covenant will be registered on title to notify purchasers of potential development impacts and ensure the developer incorporates mitigation measures into the design.
 - 14) Existing Trees: As was the case at the time of rezoning, there are no existing trees on-site or along the perimeter of the subject site.

Zoning Compliance/Variances

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500, Amendment Bylaw 9677, to:

- 1) Reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m.

Staff support the proposed variance because the reduced building setback was identified at rezoning stage and no concerns were noted. The proposed two-storey townhouses have a setback of 2.6 m (8.5 ft.) at their first storey and 2.0 m (6.6 ft.) above, which aligns with the proposed tower setback. These setbacks generally match those of the neighbour, Yuanheng "ViewStar" Phase 1 (RZ 12-603040 / DP 16-745853). The development's townhouse porches are raised and separated from the sidewalk with planting, as per CCAP DP guidelines. To accommodate the planting, the porch setback is generally 0.7 m (2.3 ft.), but narrows to 0.3 m (1.0 ft.) at each unit's entrance. Balconies are located between the upper floor of the townhouses and the top of the tower and have a setback of 0.3 m (1.0 ft.). The proposed porch and balcony articulations will contribute to a visually engaging streetscape and will not conflict with sightlines or pedestrian enjoyment of the public realm.

- 2) Reduce the minimum required number of medium truck loading spaces from three to two.

Staff support the proposed variance because a study has been submitted to the satisfaction of the Director of Transportation demonstrating that the proposed one medium truck space for non-residential uses and one medium truck space for residential uses will meet the needs of the subject development.

Advisory Design Panel Comments

On December 14, 2017, the Advisory Design Panel (ADP) considered the subject application and recommended that it move forward to the Development Permit Panel subject to the applicant giving consideration to the Panel's comments. Since that time, the application has been with the applicant for design development. The relevant excerpt from the ADP Minutes is attached for reference, together with the design response from the applicant shown in '**bold italics**' (Attachment 4). In response to the Panel's comments, the architect and landscape architect have, among other things, undertaken design development with respect to the podium-level outdoor amenity space (e.g., sunnier play area location, more seating, and larger lawn) and Capstan Way frontage (e.g., addition of a passenger lay-by and improved seating, landscape, and outdoor dining opportunities at the corner plaza).

Analysis

The proposed high-rise, high density, mixed-use development generally complies with all Zoning Bylaw requirements and the objectives of the CCAP's Development Permit Guidelines. More specifically, the development has successfully demonstrated:

- 1) A strong urban concept that will contribute towards a high amenity, transit-oriented community attractive to families with children (i.e. 58% two- and three-bedroom units), residents with mobility issues (i.e. 47% Basic Universal Housing units), and visitors (i.e. 72-room hotel);

- 2) An articulated building typology with distinctive forms and features that will contribute towards local identity, streetscape interest, solar access, and cross-site views for residents and neighbours; and
- 3) An attractive public realm, including a special public open space amenity at the corner of Capstan Way and Corvette Way.

Conditions of Adjacency

The proposed development is designed to minimize adjacency issues as follows.

- 1) The development's two towers are separated from each other and from neighbouring existing/proposed towers by at least 24 m (79 ft.), as per the recommended CCAP minimum.
- 2) Potential on-site overlook issues are negligible because the proposed:
 - Residential towers do not have inset corners (i.e. units do not face one another);
 - The hotel is limited to the lower floors of the south tower; and
 - The hotel's outdoor amenity space, meeting rooms, and restaurant (located at Level 4) are oriented to Capstan Way (i.e. away from residents on the subject site and neighbours).
- 3) The proposed tower spacing, orientation, and massing will help to maximize sun to residential units and outdoor amenity spaces.
- 4) As per the OCP Aircraft Noise Sensitive Development policy and related covenant (to be registered on title prior to rezoning adoption), an acoustic study has been undertaken by a registered professional on behalf of the developer and, prior to Building Permit issuance, the developer will incorporate all recommendations into the development.

Urban Design and Site Planning

The proposed form of development takes advantage of the site's three frontages to incorporate measures aimed at knitting the surrounding community together, including:

- 1) On the south, the Capstan Way greenway and off-street bike path are extended west to a large covered plaza at Corvette Way and animated by street-fronting retail and hotel uses;
- 2) Proposed townhouses with individual front doors along the site's north side and residential tower entrances on its west and south sides serve to complement the area's pedestrian-oriented residential character;
- 3) Parking and loading are concealed from view around the perimeter of the site by commercial and residential uses, and vehicle access is limited to a single driveway to minimize potential impacts on pedestrian safety and the attractiveness of the public realm;
- 4) The proposed podium height and tower placement take into account that of the abutting development west of the subject site (Yuanheng "ViewStar" Phase 1 / RZ 12-603040 / DP 16-745853) to allow for views across the subject site towards the river; and
- 5) Visible portions of the neighbour's party wall are screened with combination of wire trellises supporting vines and a large glass canopy that are designed to visually expand the development's green landscape (e.g., green roof over the pool, large lawn, and trees/planting) and provide for all-weather use of a portion of the podium-level outdoor amenity space.

Architectural Form and Character

The CCAP encourages the development of a mosaic of distinctive, yet cohesive, urban villages. The subject development aims to satisfy this objective by building on the strong streetwall vocabulary established elsewhere in Capstan Village, while proposing distinct architectural features that visually animate the streetscape and contribute towards Capstan Village as part of the CCAP's designated "arts district". In brief, features include:

- 1) A bold streetscape feature in the form of a triangular building (hotel) projection at the Capstan Way/Corvette Way corner that:
 - Provides cover for an all-weather public plaza (secured with a statutory rights-of-way);
 - Is lined with pedestrian-oriented retail/restaurant units at grade and overlooked by a hotel lounge at the second floor; and
 - Incorporates a special ceiling/soffit treatment in the form of a colourful abstract image that will create visual interest, complement the development's proposed public art contribution (i.e. a figurative sculpture, as set out in the Detailed Public Art Plan), and be backlit at night to enhance public use and outdoor dining activities in the plaza;
- 2) An animated streetwall comprising a varied pattern of punched openings, projections, weather protection, and entry features that enhance the distinction between the development's various uses and provide streetscape interest;
- 3) Articulated towers including a varied pattern of projecting balconies and topped by distinctive dark-coloured crowns with exterior spiral staircases; and
- 4) A distinctive charcoal and white colour pallet (incorporating a combination of brick, spandrel panels, and metal), accented with copper-coloured soffits and spandrels.

Landscape and Open Space Design

- 1) Public Open Space: For Capstan Village, the CCAP encourages the development of a network of neighbourhood parks, greenways, and other landscape features. In addition, Zoning Bylaw requirements with respect to the Capstan Station Bonus require that benefitting developments (including the subject development) provide public open space over and above basic CCAP park standards. Prior to rezoning adoption, the developer's required 685 m² (7,373 ft²) public open space contribution, based on 5 m² (54 ft²) per dwelling, will be secured in a combination of dedication and statutory rights-of-way along the site's south and west frontages. The proposed public open space includes an off-street bike path along Capstan Way (subject to the City's standard Servicing Agreement process) and a large plaza at the Capstan Way/Corvette Way corner (subject to the Development Permit). As described above, cover over the plaza will allow for all-weather use, while a decorative soffit treatment will help animate the space both day and night. In addition, landscape features within the plaza include special paving, trees and planting, seating, public art, and space for outdoor dining along the fronting commercial units.
- 2) Hotel Outdoor Space: The proposed hotel includes 358 m² (3,857 ft²) of outdoor space for the exclusive use of hotel guests (not shared with residents) including a south-facing restaurant terrace and private patios for podium-level guest rooms (separated from adjacent residential uses with a landscape buffer).

- 3) **Residential Outdoor Amenity Space:** The proposed development satisfies all OCP and CCAP requirements for the provision of on-site open space and landscape amenities for the shared and private use of residents and includes the following features:
- Shared residential space in the form of a 1,402 m² (15,093 ft²) multi-use landscaped space at the building's podium roof level, including a large lawn, children's playground, dining area and outdoor kitchen, raised garden plots (with tool storage, hose bibs, and related features), patios for relaxing and tai chi, seating, planting, and trees;
 - Private outdoor amenity space for every dwelling in the form of patios and balconies; and
 - Additional landscaping in the form of residential lobby entrance features, landscape buffers along townhouse frontages, and landscaping along retail frontages.

Furthermore, the proposed 1,402 m² (15,093 ft²) shared outdoor residential amenity space exceeds the CCAP minimum requirement of 822 m² (8,848 ft²), based on 6 m² (65 ft²) per dwelling unit, and is designed to provide for direct access to/from the development's indoor residential amenity space.

- 4) **Planting and Water Use:** Irrigation will be installed in all planted areas to ensure that lawn, trees, and other planting will remain healthy. Drought tolerant planting will be used throughout to reduce the reliance on irrigation once plants are established. Drought tolerant green roof planting will be installed over 428 m² (4,607 ft²) of inaccessible roofs, including the roof of the indoor amenity (swimming pool), a portion of the hotel roof (where it abuts the neighbouring development), and planters bordering residential patios on the tower roofs.
- 5) **Landscape Lighting:** The development's landscape drawings include a lighting plan, prepared by the landscape architect, for the ground, podium, and tower rooftop levels. The proposed lighting is subdued and designed (e.g., shrouded) and oriented to minimize light pollution and potential impacts on nearby residents. Ground level lighting generally includes small step/wall lights at townhouse entrances and around planters along the retail frontages, while small in-ground and tree lights will add visual interest to the outdoor dining, planting, and public art located beneath the corner plaza's large roof. At the podium and tower rooftops, a low level of ambient light is proposed to allow for evening use of the residential outdoor amenity space and hotel patios without spilling over onto nearby private resident spaces or unnecessarily lighting the night sky.

Indoor Residential Amenity Space

In addition to outdoor residential amenity space, the development must include at least 100 m² (1,076 ft²) of indoor amenity space, as per CCAP requirements for projects containing 40 to 199 units. The proposed development contains 397 m² (4,272 ft²), which exceeds the CCAP minimum. The amenities are located at the podium-level of the north tower with direct access to the outdoor amenity space. Amenities include an indoor swimming pool, fitness facilities, and change rooms. Residents of the development's north tower have direct elevator access to the indoor amenities, while residents of the south tower will access the indoor amenities via the podium-level's outdoor amenity area.

Crime Prevention through Environmental Design (CPTED)

Measures are proposed to enhance safety and personal security including, but not limited to, the following measures.

- 1) Casual surveillance by creating prominent residential and commercial lobby entrances and street-oriented retail frontages, clustering commercial parking on the parkade's first two floors with alternative means of access/egress for pedestrians, providing clear sightlines to exits and glazed vestibules within the parkade, and minimizing blind corners,;
- 2) Territoriality through the use of landscape buffers and grade changes to help define the interface of public and private spaces; and
- 3) Target hardening with special security features at all residential, commercial, and parkade entrances.

Accessible Housing

Richmond's OCP seeks to meet the needs of the city's aging population and people facing mobility challenges by encouraging the development of accessible housing that can be approached, entered, used, and occupied by persons with physical or sensory disabilities. To address the City's policy, the developer proposes to provide the following.

- 1) Barrier-free access to all building lobbies and indoor and outdoor amenity spaces;
- 2) Aging in place features in all dwellings (e.g., stairwell hand rails, lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers); and
- 3) 65 Basic Universal Housing (BUH) units (i.e. 47% of total units) designed to satisfy all applicable Zoning Bylaw requirements, including 55 market ownership units (i.e. 44% of market units) and 9 affordable housing units (i.e. 100% of affordable units).

Sustainability Measures

The project's sustainability goal is to provide a cost-effective, high-value development that meets or exceeds City standards. In brief, among other things the development will include:

- 1) A full building energy simulation to optimize energy efficiency measures and an enhanced commissioning process to ensure that the building's energy related systems are operating efficiently and as designed;
- 2) Design and construction to achieve LEED Silver equivalent;
- 3) District Energy Utility (DEU) compatible building and mechanical system designs to facilitate a future connection to a City utility;
- 4) Energized electric vehicle (EV) 240V charging equipment, including charging stations for 5% of commercial parking (4 spaces) and 100% of resident parking (116 market housing spaces and 8 affordable housing spaces);
- 5) Energized electric bicycle 120V charging outlets for Class 1 secure bike storage (one outlet for shared use by each 10 bikes) for residents and commercial tenants;
- 6) End-of-trip cycling facilities for commercial tenants;

- 7) Bicycle repair and maintenance stations (i.e. foot-activated pump and repair stand with integrated tools), including one for the use of residents and one for commercial tenants;
- 8) Low flow/flush plumbing fixtures (e.g., toilets, showers, and faucets) and a high efficiency irrigation system to reduce water usage;
- 9) Drought tolerant planting will be used in green roof and vegetated areas to reduce the reliance on irrigation; and
- 10) Best practices to optimize air quality and provide a clean and healthy building for occupants.

Conclusions

The proposed development is consistent with Richmond's objectives for the subject property as set out in the OCP, City Centre Area Plan (CCAP), and Zoning Bylaw. The project's distinctive form, pedestrian-oriented streetscapes, affordable and accessible housing, public art, landscaping, and sustainable development measures, together with off-site improvements secured through rezoning, will enhance the establishment of Capstan Village as a high-amenity, transit-oriented, urban community. On this basis, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Suzanne Carter-Huffman
Senior Planner/Urban Design

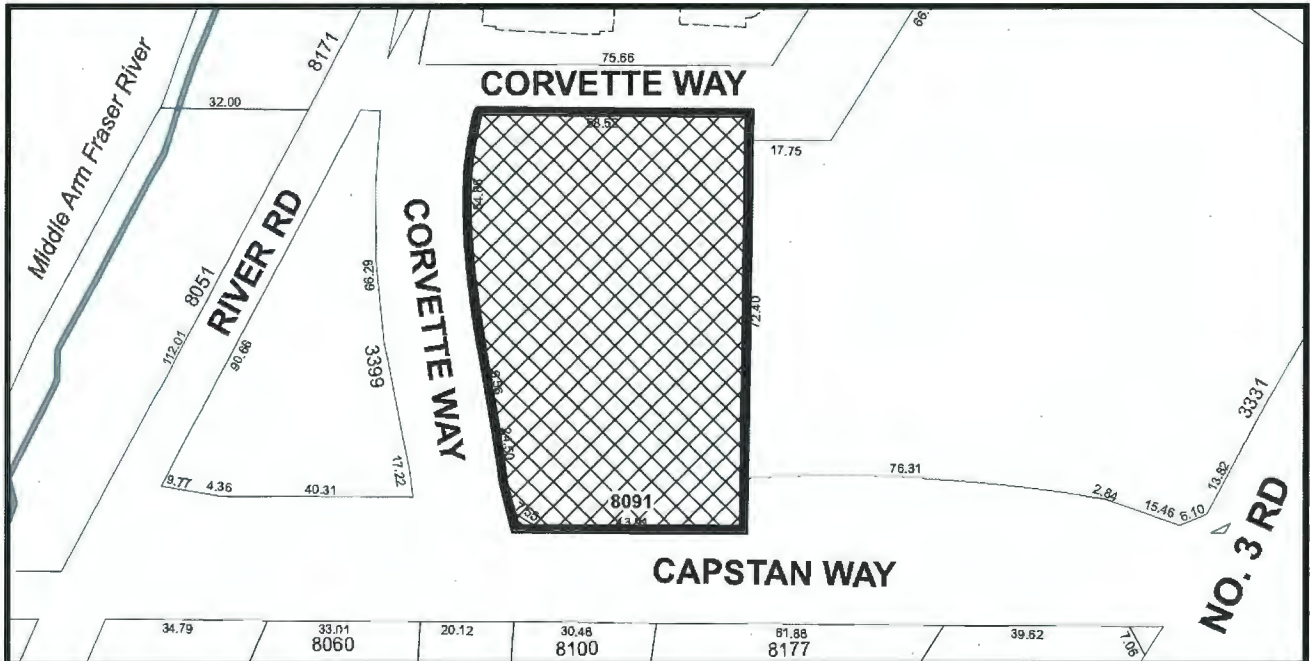
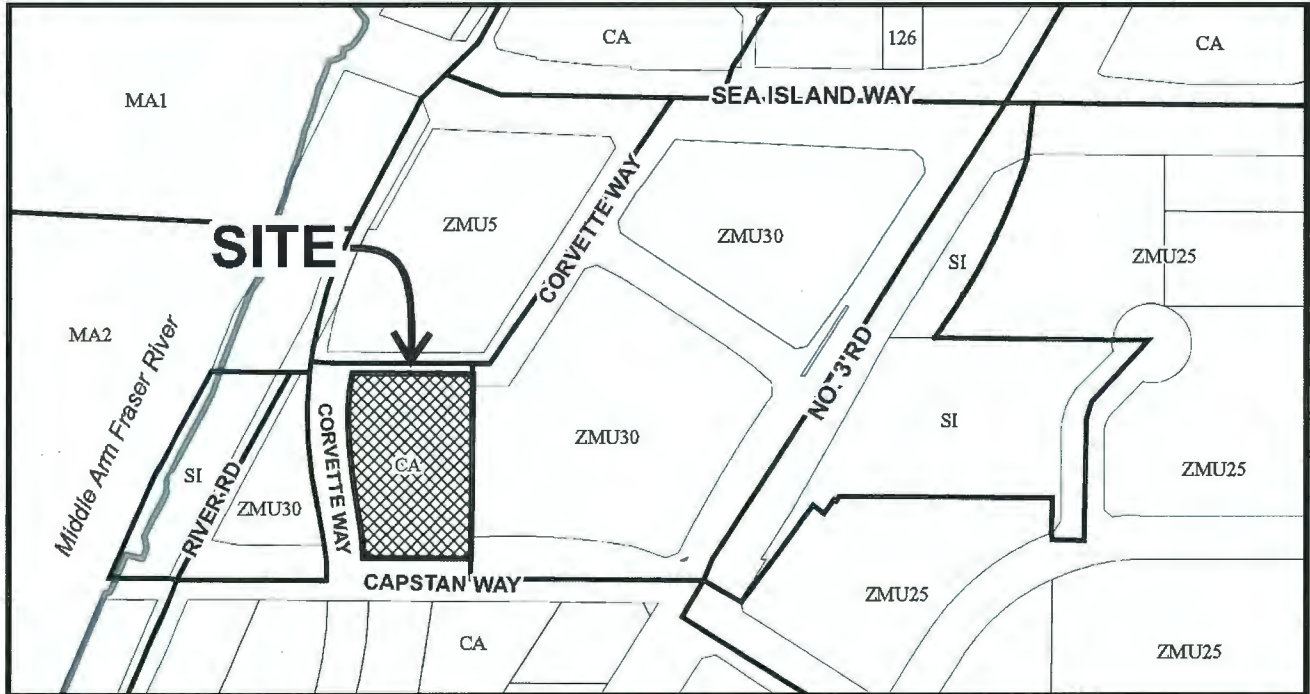
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Attachments:

1. Location Map
2. Development Application Data Sheet
3. Revised Subdivision Plan showing the Highway Access Agreement Area
4. LEED Checklist – Silver (Equivalent)
5. Advisory Design Panel – Excerpt of Meeting Minutes, December 14, 2017
6. Development Permit Considerations



City of
Richmond



	<h1>DP 15-699652</h1>	<p>Original Date: 09/28/15 Revision Date: 03/01/21 Note: Dimensions are in METRES</p>
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DP 15-699652

Address: 8091 Capstan Way

Applicant: GBL Architects Owner: 0892691 B.C. Ltd., Inc.

Planning Area(s): City Centre (Capstan Village)

Floor Area Gross: 16,976.5 m² (182,734.0 ft²) Floor Area Net: 15,696.2 m² (168,845.0 ft²)

	Existing	Proposed
Lot Area	<ul style="list-style-type: none"> Gross: 5,007.0 m² (53,894.9 ft²) 	<ul style="list-style-type: none"> 4,311.5 m² (46,408.6 ft²)
Land Uses	<ul style="list-style-type: none"> Vacant 	<ul style="list-style-type: none"> Mixed residential, hotel & retail
OCP Designation	<ul style="list-style-type: none"> Mixed Use 	<ul style="list-style-type: none"> Mixed Use
CCAP Designation	<ul style="list-style-type: none"> Urban Centre T5 (45 m) Capstan Station Bonus (CSB) Village Centre Bonus (VCB) 	<ul style="list-style-type: none"> Urban Centre T5 (45 m) Capstan Station Bonus (CSB) Village Centre Bonus (VCB)
Zoning	<ul style="list-style-type: none"> Automobile Oriented Commercial (CA) 	<ul style="list-style-type: none"> Residential/Limited Commercial (RCL5), as amended via RZ 15-699647
Total # Units	<ul style="list-style-type: none"> N/A 	<ul style="list-style-type: none"> 137, including: <ul style="list-style-type: none"> 128 Market units 9 Affordable (LEMR) units
Unit Mix	<ul style="list-style-type: none"> N/A 	<ul style="list-style-type: none"> 42% 1-BR (57 units) 58% 2-BR (60 units) & 3-BR (20 units)
Basic Universal Housing (BUH) Units	<ul style="list-style-type: none"> N/A 	<ul style="list-style-type: none"> 65 units (47% of total units), including: <ul style="list-style-type: none"> 56 Market units (44% of Market units) 9 Affordable units (100% of Affordable units)
Hotel	<ul style="list-style-type: none"> N/A 	<ul style="list-style-type: none"> 72 guest rooms
Aircraft Noise Sensitive Development (ANSD)	<ul style="list-style-type: none"> "Area 3"/Moderate Aircraft Noise, which permits all ANSD uses if a ANSD covenant, acoustic report, air conditioning capacity, etc. are provided 	<ul style="list-style-type: none"> ANSD covenant registered on title & related requirements shall be satisfied prior to RZ adoption (RZ 15-699647)

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio (max)	<p>As per RCL5, as amended via RZ 15-699647:</p> <ul style="list-style-type: none"> 3.65 FAR, including: <ul style="list-style-type: none"> Residential: 2.61 FAR* Commercial: 1.04 FAR* <p>NOTE: *RCL5 zone permits Commercial to exceed 1.04 if Residential is reduced by an equal amount.</p>	<ul style="list-style-type: none"> 3.65 FAR, including: <ul style="list-style-type: none"> Residential: 2.56 FAR Commercial: 1.09 FAR 	None permitted
Buildable Floor Area – Total	<ul style="list-style-type: none"> 15,737.0 m² (169,391.4 ft²) max. 	<ul style="list-style-type: none"> 15,736.9 m² (169,390.0 ft²) 	None permitted
Buildable Floor Area – Residential	<ul style="list-style-type: none"> 11,253.0 m² (121,126.4 ft²) max, including: <ul style="list-style-type: none"> 95% market: 10,690.3 m² (115,070.1 ft²) 5% affordable: 562.7 m² (6,056.3 ft²) 	<ul style="list-style-type: none"> 11,057.3 m² (119,020.0 ft²) max, including: <ul style="list-style-type: none"> Market: 10,486.3 m² (112,873.0 ft²) Affordable units: 571.0 m² (6,147.0 ft²) 	None permitted
Buildable Floor Area – Commercial	<ul style="list-style-type: none"> 4,495.4 m² (48,388.1 ft²) max Village Centre Bonus (VCB): RZ 15-699647 requires a construction-value cash contribution (prior to RZ adoption) in lieu of providing a community amenity on site <p>NOTE: RCL5 zone permits Commercial to exceed 1.04 if Residential is reduced by an equal amount.</p>	<ul style="list-style-type: none"> 4,679.6 m² (50,370.0 ft²), including: <ul style="list-style-type: none"> Retail: 766.2 m² (8,247.0 ft²) Hotel: 3,913.4 m² (42,123.0 ft²) 	None permitted

	Bylaw Requirement	Proposed	Variance
Lot Coverage	<ul style="list-style-type: none"> Max. 90% 	<ul style="list-style-type: none"> 90% 	None
Setback – Public Road	<ul style="list-style-type: none"> 6.0 m (19.7 ft.), but may be reduced to 3.0 m (9.8 ft.) with a proper public realm interface Balconies & porches may project 33% the depth of the required setback 	<ul style="list-style-type: none"> Capstan Way & Corvette Way (West): Min. 3.0 m (9.8 ft.) & balcony projections limited to 33% of the setback depth 	None
		<ul style="list-style-type: none"> Corvette Way (North): 2.0 m building setback & 0.3 m balcony/porch setback (i.e. 85% of the building setback) 	Reduce the setbacks for: <ul style="list-style-type: none"> buildings to 2.0 m balconies & porches to 0.3 m
Setback – Interior Side Yard	<ul style="list-style-type: none"> Min. 0.0 m 	<ul style="list-style-type: none"> 0.0 m 	None
Height	<ul style="list-style-type: none"> Max. 47.0 m (154.2 ft.) GSC 	<ul style="list-style-type: none"> Max. 47.0 m (154.2 ft.) GSC 	None
Lot Area	<ul style="list-style-type: none"> Min. 4,000.0 m² (43,055.6 ft²) 	<ul style="list-style-type: none"> 4,311.5 m² (46,408.6 ft²) 	None
Off-street Parking – Total	<ul style="list-style-type: none"> 190 spaces, including: <ul style="list-style-type: none"> Residential: 124 Commercial: 66 	<ul style="list-style-type: none"> 190 spaces, including: <ul style="list-style-type: none"> Residential: 124 Commercial: 66 	None
Off-street Parking – Residential	<ul style="list-style-type: none"> 124 (after 10% TDM reduction), including: <ul style="list-style-type: none"> Market @ 0.9/unit = 116 spaces Affordable @ 0.81/unit = 8 spaces Visitors: Nil (Shared with commercial) 	<ul style="list-style-type: none"> 124 (after 10% TDM reduction), including: <ul style="list-style-type: none"> Market @ 0.9/unit = 116 spaces Affordable @ 0.81/unit = 8 spaces 	None
Off-street Parking – Commercial	<ul style="list-style-type: none"> 66 (after 10% TDM reduction), including: <ul style="list-style-type: none"> Retail @ 767.0 m² GLA X 3.375/100 m² GLA = 26 Hotel @ 72 rooms X 0.3825/guest room = 28 Hotel restaurant @ 196.0 m² GLA X 7.65/100 m² GLA = 12 	<ul style="list-style-type: none"> 66, including (as secured by legal agreement registered on title): <ul style="list-style-type: none"> 33 Public (50% short-term/hourly) 33 Assignable (50% designated for specific businesses or users) 	None
Bike Storage (Class 1)	<ul style="list-style-type: none"> 185 bikes, including: <ul style="list-style-type: none"> Residential: 137 units @ 1.25/unit = 172 Commercial: (4,679.6 m² GLA – 100 m²) X 0.27/100 m² = 13 	<ul style="list-style-type: none"> 187 bikes, including: <ul style="list-style-type: none"> Residential: 172 Commercial: 15 	None
Bike Storage (Class 2)	<ul style="list-style-type: none"> 41 bikes, including: <ul style="list-style-type: none"> Residential: 137 units @ 0.2/unit = 27.4 Retail: (766 m² GLA – 100 m²) X 0.4/100 m² = 2.7 Hotel: (3,913 m² GLA – 100 m²) X 0.27/100 m² = 10.3 	<ul style="list-style-type: none"> 41 bikes 	None
Electric Vehicle (EV) Charging	<ul style="list-style-type: none"> Parking (240V stations): <ul style="list-style-type: none"> Residential: 100% of parking = 116 Commercial: 5% of parking = 4 Class 1 Bike Storage (120V duplex outlet): <ul style="list-style-type: none"> Residential: 172 bikes X 10% = 18 min. Commercial: 13 bikes X 10% = 2 min. 	<ul style="list-style-type: none"> Parking (240V): <ul style="list-style-type: none"> Residential: 124 Commercial (Assignable): 4 Class 1 Bike Storage (120V duplex outlet): <ul style="list-style-type: none"> Residential: 21 (Based on proposed) Commercial: 2 	None
Loading	<ul style="list-style-type: none"> 3 medium truck spaces, including: <ul style="list-style-type: none"> Residential: 1 Hotel: 1 Retail: 1 	<ul style="list-style-type: none"> 2 medium truck spaces, including: <ul style="list-style-type: none"> Residential: 1 Commercial: 1 for shared hotel/retail use 	Reduce medium truck spaces from 3 to 2
Amenity Space – Indoor	<ul style="list-style-type: none"> Min. 100.0 m² (1,076.4 ft²), as per CCAP requirement for 40 – 199 units 	<ul style="list-style-type: none"> 396.9 m² (4,272.0 ft²) 	None
Amenity Space – Outdoor	<ul style="list-style-type: none"> 1,253.2 m² (13,488.8 ft²), including: <ul style="list-style-type: none"> Residential Amenity: Min. 822.0 m² (8,847.9 ft²), based on 6.0 m² (64.6 ft²) per unit, including 50% children's play CCAP Additional Landscape: 431.2 m² (4,640.9 ft²), based on 10% of net site area 	<ul style="list-style-type: none"> 2,307.5 m² (24,837.9 ft²) including: <ul style="list-style-type: none"> Residential Amenity: 1,402.2 m² (15,093.0 ft²), including 416.3 m² (4,481.0 ft²) children's play CCAP Space: 905.3 m² (9,744.9 ft²) incl.: <ul style="list-style-type: none"> Hotel: 358.3 m² (3,857.0 ft²) Other: 547.0 m² (5,887.9 ft²) 	None

LEED v4 for BD+C: New Construction and Major Renovation
Project Checklist

Project Name: The Capstan (8091 Capstan Way, Richmond BC)
Date: 12/2/2018

Y	7	N	1	Cred	Integrative Process	1	
13	2	1			Location and Transportation	16	
					Cred	LEED For Neighborhood Development Location	16
					Cred	Sensitive Land Protection	1
					Cred	High Priority Site	2
					Cred	Surrounding Density and Diverse Uses	5
					Cred	Access to Quality Transit	5
					Cred	Bicycle Facilities	1
					Cred	Reduced Parking Footprint	1
					Cred	Green Vehicles	1
5	3	2			Sustainable Sites	10	
					Prereq	Construction Activity Pollution Prevention	Required
					Cred	Site Assessment	1
					Cred	Site Development - Protect or Restore Habitat	2
					Cred	Open Space	1
					Cred	Rainwater Management	3
					Cred	Heat Island Reduction	2
					Cred	Light Pollution Reduction	1
7	1	3			Water Efficiency	11	
					Prereq	Outdoor Water Use Reduction	Required
					Prereq	Indoor Water Use Reduction	Required
					Prereq	Building-Level Water Metering	Required
					Cred	Outdoor Water Use Reduction	2
					Cred	Indoor Water Use Reduction	6
					Cred	Cooling Tower Water Use	2
					Cred	Water Metering	1
11	10	12			Energy and Atmosphere	33	
					Prereq	Fundamental Commissioning and Verification	Required
					Prereq	Minimum Energy Performance	Required
					Prereq	Building-Level Energy Metering	Required
					Prereq	Fundamental Refrigerant Management	Required
					Cred	Enhanced Commissioning	6
					Cred	Optimize Energy Performance	18
					Cred	Advanced Energy Metering	1
					Cred	Demand Response	2
					Cred	Renewable Energy Production	3
					Cred	Enhanced Refrigerant Management	1
					Cred	Green Power and Carbon Offsets	2
5	1	7			Materials and Resources	13	
					Prereq	Storage and Collection of Recyclables	Required
					Prereq	Construction and Demolition Waste Management Planning	Required
					Cred	Building Life-Cycle Impact Reduction	5
					Cred	Building Product Disclosure and Optimization - Environmental Product Declarations	2
					Cred	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
					Cred	Building Product Disclosure and Optimization - Material Ingredients	2
					Cred	Construction and Demolition Waste Management	2
5	7	4			Indoor Environmental Quality	16	
					Prereq	Minimum Indoor Air Quality Performance	Required
					Prereq	Environmental Tobacco Smoke Control	Required
					Cred	Enhanced Indoor Air Quality Strategies	2
					Cred	Low-Emitting Materials	3
					Cred	Construction Indoor Air Quality Management Plan	1
					Cred	Indoor Air Quality Assessment	2
					Cred	Thermal Comfort	1
					Cred	Interior Lighting	2
					Cred	Daylight	3
					Cred	Quality Views	1
					Cred	Acoustic Performance	1
4	1	1			Innovation	6	
					Cred	Innovation Purchasing - Impact, valuable (i.e. O+M Starter Kit)	5
					Cred	LEED Accredited Professional	1
3	0	1			Regional Priority	4	
					Cred	Regional Priority Specific Credit	1
					Cred	Regional Priority Specific Credit	1
					Cred	Regional Priority Specific Credit	1
					Cred	Regional Priority Specific Credit	1
53	25	32			TOTALS	Possible Points: 110	
						Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110	

**Excerpt from the Minutes from
Advisory Design Panel Meeting
Thursday, December 14, 2017**

13. DP 15-699652 - TWO-TOWER HIGH-RISE, MIXED HOTEL (75 GUEST ROOMS), RESIDENTIAL (136 UNITS), AND GROUND FLOOR RETAIL

ARCHITECT: GBL Architects

PROPERTY LOCATION: 8091 Capstan Way

Applicant's Presentation

Amela Brudar, Principal, GBL Architects, Aida Kudic, Architect, GBL Architects, and Grant Brumpton, Principal, PWL Partnership, presented the project and answered queries from the Panel.

Panel Discussion

Comments from the Panel were as follows:

(The following written comments submitted by Doug Shearer were read by Sara Badyal)

- street and site trees along Corvette Way should be staggered and not paired up as shown;

Applicant: Revised

- good to have some unprogrammed lawn areas but they seem chopped up; consider combining them together into one large contiguous area; diagonal lines through them are a bit overwhelming to space;

Applicant: Podium spaces have been reconfigured. The major diagonal path has been narrowed, and the other diagonal path has been deleted. Chopped up lawn areas have been consolidated.

- the play area is mostly in shade; consider moving in a sunny location so that it is usable in shoulder seasons not just in summer;

Applicant: Play area has been relocated to a sunny location

- more casual seating would be nice; consider widening south walls of planters in northwest corner, so people can sit along edge of lawn area; same in southwest corner where Corten planters are;

Applicant: More casual seating has been provided along the edge of lawn

- generally, there could be better definition of spaces; large communal versus intimate and small.

Applicant: The design of planting areas and landscape features has been revised to better define the various outdoor spaces.

(Comments from Panel members present at the meeting)

- appreciate the applicant incorporating public art early in the design of the project and integrating it in the building architecture; the applicant is encouraged to also give attention to integrating public art in the landscape;

Applicant: The plaza design includes public art.

- like the architecture, landscaping, and differentiation of uses in the proposed development; the podium is well thought out and refined; scale is appropriate;
- appreciate the proposed materials at the corner of Capstan Way and Corvette Way; however, the building corner setback is too deep; consider reducing the setback as the void which provides for a large corner plaza is expected to be a busy pedestrian area but could be a dark place;

Applicant: More detail has been provided including soffit materials, soffit lighting, landscaping, public seating, restaurant dining, and public art.

- consider providing a turnaround/lobby in Level 1 parkade at the back of the hotel lobby; look at precedents in hotels with parkade access lobbies;

Applicant: City staff recommend that a passenger lay-by is installed along the site's Capstan Way frontage to serve visitors to the area, including hotel guests.

- consider providing internal access from the parkade to the retail spaces;

Applicant: Commercial visitor access from the parkade is provided via an elevator at the hotel to Capstan Way and via an accessible ramp to Corvette Way.

- review the proposed lay-out for the accessible units to ensure compliance with BC Building Code requirements, e.g. look at proposed location/arrangement of washer/dryer;

Applicant: Work is underway with the project's Code Consultant to ensure all requirements are satisfied

- consider a separate loading area in closer proximity to the retail spaces; proposed loading area at the northeast corner of the parkade is too far from the retail spaces;

Applicant: The site is very compact and due to loading clear height requirements, it is difficult to accommodate trucks elsewhere in the parkade. However, we have redesigned P1 level in order to provide ramped access directly to commercial units.

- consider design development to differentiate the residential entries for the south and north towers at the Corvette Way West street frontage;

Applicant: We are using the same undercut with bronze material cladding to accentuate main entrances to the building (residential, hotel).

- commend the design team for the high quality design of the project;

- agree with the comment that the play area on the podium rooftop is mostly in shade; could be integrated with the lawn areas;

Applicant: Play area has been relocated to a sunny location

- consider integrating a work area in the urban agriculture component on the podium rooftop's outdoor amenity area;

Applicant: Potting bench and outdoor kitchen area have been added.

- consider additional seating on the podium rooftop's outdoor amenity area; could be integrated with the planter walls;

Applicant: Seating added along planter wall

- public realm on the ground plane is successful; applicant needs to pick-up on the imagery of landscape precedents presented in landscape detailing, particularly for seating at the corner plaza; appreciate the integration of weather protection into the building to enhance the usability of the plaza;

Applicant: Planter walls have been adjusted to reflect character and detail shown in precedent imagery

- appreciate the presentation of the project and documents provided to the Panel;
- applicant needs to clarify whether it is targeting LEED Silver Certification or Equivalency;

Applicant: The project is not targeting LEED Certification

- appreciate the proposed sustainability features for the project;
- consider integrating vestibules for the north and south tower residential entries;

Applicant: We have added vestibules to both residential entries

- commercial kitchen ventilation system needs to be integrated into the design of the building;

Applicant: Added as per mechanical input

- investigate potential service and penetration challenges for the mechanical shaft inside the core;

Applicant: Noted

- documentation and diagrams provided by the applicant were helpful in understanding the rationale for the proposed architecture and landscaping; would also be a helpful reference as the applicant moves forward in detailing the project;
- support the hotel component in the proposed development as more hotel options (e.g., boutique hotels) are needed in the city;
- contextual concept and overall massing is good; two towers being similar is not a concern as they are elegantly designed;

- support the comment that relocating the south tower's residential entry to Capstan Way would be more successful; keeping the throat narrow will minimize impact on the retail space;

Applicant: The south tower residential entry has been redesigned and now is accessed from Capstan Way

- the hotel lay-out is interesting; however, the hotel corridors are long and winding; consider design development from a CPTED perspective to make them feel more generous and provide some interest at the termination of the corridors;

Applicant: The long corridor on Level 2 is interrupted mid-way by large windows overlooking the corner plaza.

- consider integrating a hotel lounge or an amenity area in Level 2 corridor "bridge" at the corner of Capstan Way and Corvette Way (above the proposed corner public plaza);

Applicant: A lounge has been added to Level 2 overlooking the corner plaza

- appreciate the materials palette; like the contrast between the materials and dark/light;
- consider design development to the proposed tower rooftop canopies as they do not appear to mitigate the massing of the towers;

Applicant: The rooftop treatment has been revised to create more visual interest and break up the form.

- consider integrating covered balconies into the penthouse units;

Applicant: Roof-top decks accessed by exterior spiral staircases are provided for the penthouse units.

- support the proposed use of reflective copper materials as they appear elegant; consider using more of them in the building, e.g. for the soffit of the overhang at the corner of Capstan Way and Corvette Way; also consider adding interest to the lighting underneath the overhang to further animate the public plaza and future location of public art;

Applicant: Lighting has been added.

- diagonal columns at the corner of Capstan Way and Corvette Way appear quirky but interesting; these bold architectural elements add a welcome playfulness to the project and offset the rigidity of the geometries throughout the project;
- consider introducing planting in front of the walls fronting the townhouse units at the North Street Frontage as shown in drawing 13.3 to mitigate the appearance of blank walls;

Applicant: Planting has been added.

- commend the City staff for bringing forward a good and complex project;

- the applicant is advised to include a LEED scorecard for the project;
Applicant: LEED scorecard has been provided.
- consider a cantilever in lieu of diagonal columns at the corner of Capstan Way and Corvette Way;
Applicant: We undertook several exercises regarding the corner structure and concluded that the column is necessary.
- consider a dark coloured treatment for the tower canopies consistent with the dark colour of the top three floors of the towers to better achieve the applicant's intention to mitigate the apparent massing and height of the towers; however, this approach may reduce apparent tower height, but make the towers appear squat; architect must clarify objective;
Applicant: Noted. Top canopies have been revised
- appreciate the proposed architectural treatment (i.e., vertical ribbon of brick) to create visual separation between commercial and residential uses; however, residential entries for the north and south towers need to have stronger architectural treatment to facilitate wayfinding for motorists and pedestrians;
Applicant: Design has been revised to reflect design intent as described.
- consider a prominent entry and signage to the hotel along Capstan Way to differentiate it from the many uses along Capstan Way; this is especially important if no lay-by can be provided along Capstan Way near the hotel entrance;
Applicant: City staff have recommended that the developer install a lay-by along Capstan Way. The hotel will be differentiated from the adjacent residential tower by its colour pallet and distinctive signage.
- appreciate the landscape design and programming on the podium rooftop's outdoor amenity area; and
- support the hotel outdoor dining area at the residential amenity level; would be useful to residents of the development and hotel guests and promotes social interaction.

Panel Decision

It was moved and seconded

That DP 15-699652 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



Address: 8091 Capstan Way

File No.: DP 15-699652

Prior to approval of the Development Permit, the developer is required to complete the following:

1. OCP Amendment: Final adoption of Bylaw 9676.
2. Zoning Amendment: Final adoption of Bylaw 9677.
3. Revised Development Requirements: Completion, to the City's satisfaction, of the terms of the Rezoning Considerations approved by Council with respect to RZ 15-699647, which terms shall be amended to respect updated City requirements and the approved Development Permit, as determined to the City's satisfaction, for the following:
 - 3.1. Future Capstan Way Widening: Registration of a Highway Access agreement over an irregular strip of land, with an area of at least 109.6 m², along the south side of the lot to facilitate widening of Capstan Way to include a public passenger lay-by and enhanced landscaping along the frontage of the subject development. The Highway Access Agreement area shall not be encumbered by building encroachments below, at, or above grade. The agreement shall enable the City to take ownership of the area at its sole discretion. For clarity, it is the City's intent that the area be dedicated after required road/landscape works are complete (subject to a Servicing Agreement), but prior to first occupancy of a building on the lot, in part or in whole. Prior to dedication, the City shall have access rights; however, the public shall not have access until after dedication.
 - 3.2. (RZC 5.2) Capstan Station Bonus – Public Open Space Contribution:
 - 3.2.1. **(RZC 5.2.1) Maximum Number of Dwellings**: Increase the maximum number of permitted units from 136 to 137, provided that the developer contributes 5.0 m² of additional public open space with respect to the additional unit, secured with a Statutory Rights-of-Way (SRW) registered on title to the lot, based on the Capstan Station Bonus public open space rate of 5.0 m² per unit.
 - 3.2.2. **(RZC 5.2.2(b)) Publicly Accessible Open Space**: Revise the terms of the developer's Capstan Way Plaza SRW contribution secured through RZ 15-699647 to provide for the following:
 - i. Revise the minimum SRW area required with respect to RZ 15-699647 from 496.1 m² to 391.5 m² based on the requirements set out in these Development Permit Consideration including:
 - Section 3.1: Replacing 109.6 m² of the SRW area with a Highway Access Agreement with respect to the Future Capstan Way Widening requirements; and
 - Section 3.2.1: Increasing the developer's public open space contribution by at least 5.0 m² with respect to the Maximum Permitted Number of Dwellings requirements;
 - ii. Revise the permitted use of the SRW area, based on the approved Development Permit, as determined to the City's satisfaction, as follows:
 - Permitted encroachments shall include "movable furnishings" that are available for the unrestricted use and enjoyment of the general public (i.e. not assigned, leased, or otherwise designated for the exclusive use of specific users or businesses);
 - "Building Encroachments" shall be permitted to include pedestrian weather protection, architectural appurtenances, signage, and other parts of the building (which may include habitable space); and
 - Exclusive of the single feature column located within the SRW area, as indicated in the Development Permit, the clear distance between the finished grade of the SRW area and the underside of any pedestrian weather protection, architectural appurtenances, or signage shall be at least 2.3 m, and any other "Building Encroachments" shall be at least 6.5 m.

For clarity, reducing the previously approved SRW area by replacing a portion with a Highway Access Agreement shall not affect the development's compliance with Capstan Station Bonus public open space requirements.

- 3.3. (RZC 14.2) Hotel Shuttle Bus Facilities: Reduce the scope of the Hotel Shuttle Bus Facilities (i.e. remove requirements related to on-site shuttle bus and passenger loading) in light of updated requirements that the developer shall provide increased road dedication and construct a public passenger lay-by along the lot's Capstan Way frontage ("Future Capstan Way Widening"). For clarity, this change does not alter the developer's requirement to provide a shuttle bus and enter into a contract with an operator, as was previously required with respect to RZ 15-699647.
 - 3.4. (RZC 14.3) Class 1 Bicycle Storage and End-of-Trip Cycling Facilities for Residents and Commercial Uses: Expand the terms of the "End-of-Trip Cycling Facilities & "Class 1 Bike Storage for Non-Residential Uses" previously required with respect to RZ 15-699647 to include:
 - 3.4.1. Class 1 bike storage for residents, in compliance with the Zoning Bylaw and as approved through the Development Permit, including electric vehicle (EV) charging at the same rate as that of the non-residential Class 1 bike spaces; and
 - 3.4.2. Two bike repair and maintenance facilities (i.e. one for residents to share & one for non-residential uses to share), each of which shall comprise a foot-activated pump and repair stand with integrated tools.
 - 3.5. (RZC 17) Electric Vehicle (EV) Charging Equipment for Vehicles and "Class 1" Bike Storage: Revise the terms of the "Electric Vehicle (EV) Charging Equipment for Vehicles and "Class 1" Bike Storage" previously required with respect to RZ 15-699647 to require that:
 - 3.5.1. 100% of resident parking shall be equipped with energized 240V Charging Stations (i.e. energized outlets capable of providing Level 2 charging or higher);
 - 3.5.2. 5% of commercial parking shall be equipped with energized 240V Charging Stations (i.e. energized outlets capable of providing Level 2 charging or higher) and all EV-equipped commercial parking spaces shall be Assignable Parking spaces (designated for use by specific people or businesses, as per the terms of RZC 15 "Commercial Parking" agreement);
 - 3.5.3. The electrical circuits serving the residential parking stalls must serve only residential parking and the circuits servicing the commercial spaces must only serve commercial parking;
 - 3.5.4. As determined at the developer's discretion, the required service may be provided by either:
 - i. Dedicating one 208V circuit to each individual parking space, such that upon first occupancy of the building, in whole or in part, all of the required EV-equipped parking spaces are equipped with an outlet box with a receptacle capable of charging electric vehicles (i.e. one for each 40A 208-240V circuit); or
 - ii. Servicing multiple parking spaces with each 40A 208-240V circuit, such that:
 - The building design supports the future installation by others (e.g., residential and/or commercial owners) of a load sharing system capable of delivering at least 12 kWh of charging to every car within an 8 hour period when every parking space is occupied by a charging car (e.g. 4-way load share of a 40A 208-240V circuit); and
 - Upon first occupancy of the building, in whole or in part (i.e. prior to the installation of a load sharing system):
 - a. at least 25% of residential parking spaces (including a proportional share of required Affordable Housing parking spaces) and at least 25% of the required EV-equipped commercial spaces are equipped with an outlet box with a receptacle capable of charging electric vehicles (i.e. one for each 40A 208-240V circuit); and
 - b. the remaining required EV-equipped residential and commercial parking spaces each have an outlet box containing capped energized wires covered with a cover plate.
4. Landscape Security: Submission of a Letter of Credit for landscaping (excluding works secured through a Servicing Agreement Letter of Credit) in the amount of \$578,333.80, based on the costs estimate provided by a CSLA registered landscape architect (including 10% contingency).

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Existing Legal Agreements: Completion, to the City’s satisfaction, of the terms of all applicable legal agreements registered on title to the lot prior to rezoning and/or Development Permit issuance. This may include the discharge of existing agreements and the registration of modifications, replacements, and/or new legal agreement, as determined by the City, and may require the developer’s submission of security (Letters of Credit), cash payments, reports or letters of assurance, or other items, as applicable.
2. Capstan Station Bonus: Payment of the Capstan Station Reserve contributions for each of Lot B and Lot C.
3. Construction Parking and Traffic Management Plan: Submission of a Plan to the Transportation Department. The Plan shall include locations for parking for services, deliveries, and workers, loading, applications for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Accessibility: Incorporation of accessibility measures in Building Permit* plans as determined via the Development Permit.
5. Construction Hoarding: Obtain a Building Permit* (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit*. For additional information, contact the Building Approvals Department at 604-276-4285.

NOTE:

- *Items marked with an asterisk (*) require a separate application.*
- *Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.*
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- *Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.*
- *Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.*

SIGNED COPY ON FILE

Signed

Date



No. DP 15-699652

To the Holder: GBL Architects
Property Address: 8091 Capstan Way
Address: 300 – 224 West 8th Avenue, Vancouver, BC, V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500", is hereby varied to:
 - a) reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m; and
 - b) reduce the minimum required number of medium truck loading spaces from three to two.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #18 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$578,333.80 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 15-699652

To the Holder: GBL Architects
Property Address: 8091 Capstan Way
Address: 300 – 224 West 8th Avenue, Vancouver, BC, V5Y 1N5

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

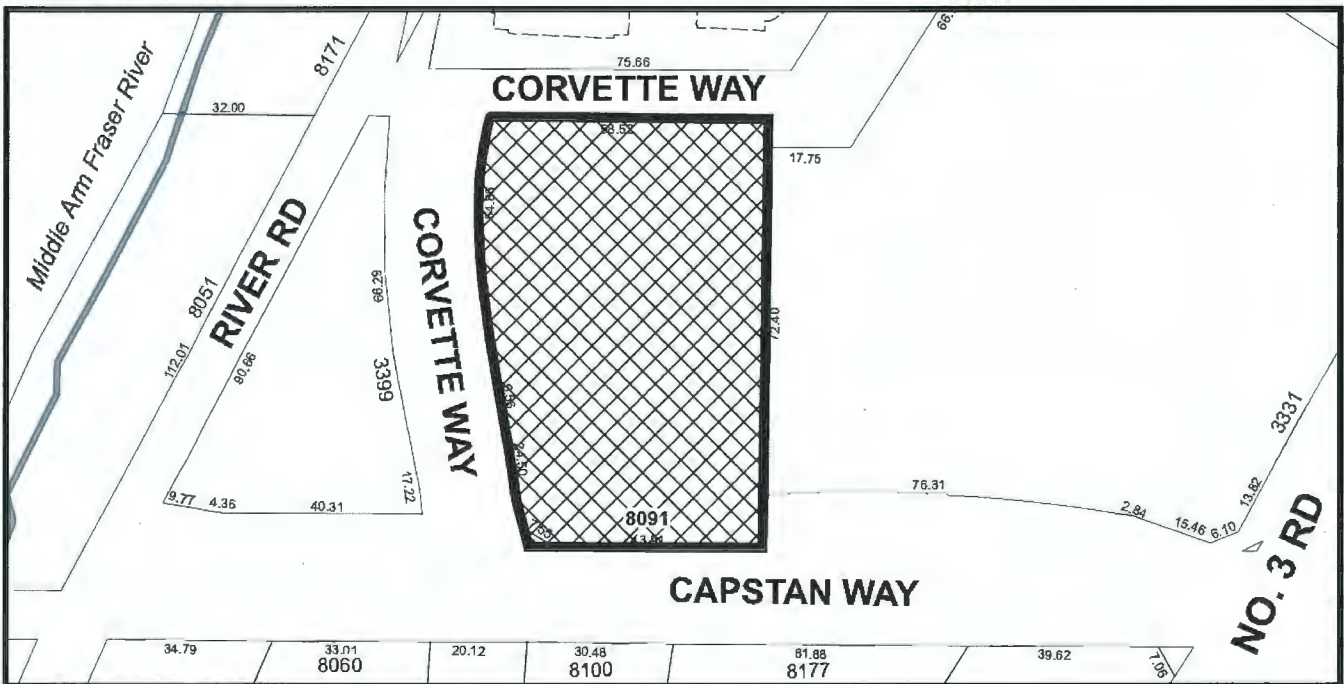
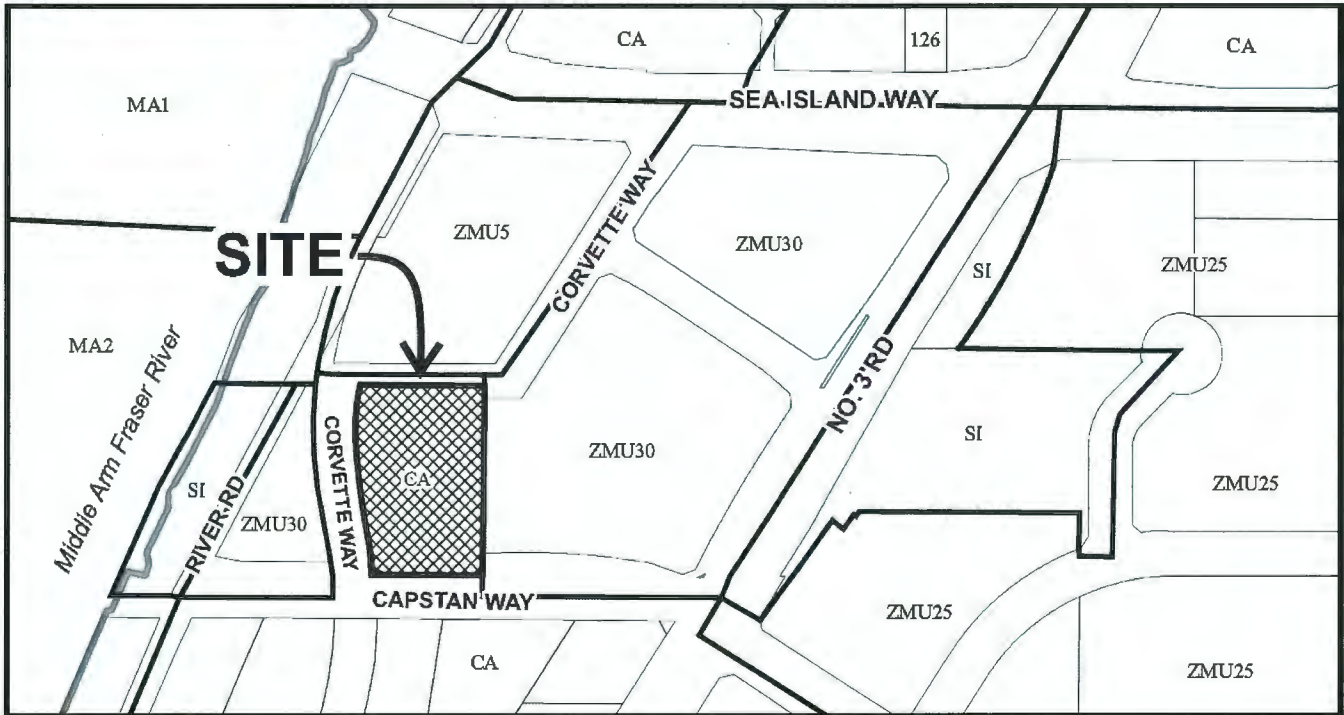
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of
Richmond



	<p>DP 15-699652 SCHEDULE "A"</p>	<p>Original Date: 09/28/15 Revision Date: 03/01/21 Note: Dimensions are in METRES</p>
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DP 15-699652
 April 28, 2021
PLAN # 1

CITY OF RICHMOND NOTES (DP 15-699652):

VARIANCES: *The development reduces the minimum building and balcony/porch setbacks along the site's north frontage and the minimum number of medium loading spaces. Variances are shown on Plan #2 Site Plan and applicable floor plans, building sections, and landscape plans.*

Statutory Rights-of-Ways: Prior to rezoning adoption and/or Development Permit issuance, as applicable, right-of-ways for public access and utilities and a Highway Access agreement will be registered on title. These areas comprise part of the net developable site for Development Permit and Building Permit FAR calculation purposes and are shown on **Plan #2 Site Plan** and the applicable floor plans and landscape plans. (NOTE: After Building Permit issuance, the City may require dedication of the Highway Access agreement area for sidewalk & related purposes.)

Energy/Sustainability: LEED Silver equivalent. (BC Energy Step Code is not applicable.)

District Energy Utility (DEU): Legal agreement registered on title. DEU-ready design required.

Maximum Number of Dwellings: 137 (secured by legal agreement registered on title)

Capstan Station Reserve: Legal agreement registered on title. The developer's contribution is payable prior to Building Permit issuance, as per City bylaw.

DRAWINGS ORGANIZED AS FOLLOWS:

1. PLAN #1 Statistics
2. PLAN #2 Site Plan – Includes:
 - Variance
 - SRWs (public access, traffic controller, UPS, LPT & streetlight kiosk)
 - Highway Access agreement area
 - Context
 - Shading studies (REFERENCE PLAN)
3. PLAN #3 Floor Plans
 - Flood Construction covenant registered on title to the site
4. PLAN #4 Landscape
5. PLAN #5 Building Sections
6. PLAN #6 Building Elevations
7. PLAN #7 Materials
8. PLAN #8 3D Views
9. PLAN #9 Streetscape Details – Includes:
 - Corner Plaza (Southwest corner, including Public Art)
 - Townhouses (North frontage)
 - Residential Tower Entrances (West & south frontages)
10. PLAN #10 Hotel Summary – Legal agreements registered on title to the site:
 - Place restrictions on guest room features; and
 - Prohibit access between the hotel & residential parts of the building
11. PLAN #11 Affordable Housing Summary
 - 9 low-end-market-rental (LEMR) units
 - Housing Agreement registered on title to the site
12. PLAN #12 Basic Universal Housing (BUH) & Aging in Place Summary
 - 65 BUH units (100% of Affordable Housing & 56 market units)
 - All other units include aging in place features
13. PLAN #13 Indoor & Outdoor Amenity Space Summary
 - Indoor & outdoor residential amenity spaces are for the exclusive use of residents (i.e. NOT shared with hotel guests).
14. PLAN #14 Waste Management Summary
15. PLAN #15 Residential & Commercial Cycling Facilities & EV Charging Summary
 - End-of-trip cycling facilities are provided for commercial tenants
 - 2 bike maintenance/repair rooms are provided (1 for residents & 1 for commercial tenants)
 - Energized 120V duplex outlets provided (at least 1 for each 10 bikes in each Class 1 bike room)
16. PLAN #16 Residential & Commercial Parking & EV Charging Summary
 - 50% of commercial parking (33 spaces) is secured "Public Parking" (i.e. short-term/hourly parking for visitors to the site & the general public). The remaining 50% of commercial parking (33 spaces) is "Assignable Parking" and may be leased, sold, or otherwise assigned to specific people or businesses at the discretion of the owner/parking operator. (Legal agreement on title.)
 - Energized 240V EV charging stations are provided for 100% of residential parking spaces & 5% of commercial parking spaces (Commercial EV are all "Assignable Parking" spaces.) If load sharing is permitted by the City, then upon occupancy at least 25% of resident outlets & 25% of commercial outlets must allow vehicles to plug-in & charge (i.e. remainder shall have cover plates)
17. PLAN #17 Fire Response Summary
18. PLAN #18 Signage (REFERENCE PLAN)

PROJECT TEAM:

OWNER

MINGLIAN HOLDINGS LTD
 JORDAN SU
 604-620-3598 ext. 8580
 jordan@minglian.ca

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 lcairns@pwlpartnership.com

GEOTECHNICAL

GEO PACIFIC CONSULTANTS LTD
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 gsass@protectionengineering.com

INTERIOR DESIGN

LOT 30 DESIGN STUDIO
 IAN WONG
 604-915-7338
 iwong@lot30design.com

TRANSPORTATION

ISL ENGINEERING AND LAND SERVICES
 BORG CHAN
 604-371-0091
 bchan@islengineering.com

ENVELOPE

AQUA-COAST ENGINEERING LTD
 PAT CUTHBERT
 604-946-9910
 pcuthbert@aqua-coast.ca



THE CAPSTAN

DEVELOPMENT SUMMARY

A.001

DP 15-699652

April 28, 2021

PLAN # 1a

BUILDING DATA

GENERAL	
LEGAL DESCRIPTION	LOT 41 EXCEPT: PARCEL B (BYLAW PLAN 73014), SECTION 28 BLOCK 5 NORTH RANGE 6 NEW WESTMINSTER DISTRICT PLAN 27115
CIVIC ADDRESS	8091 CAPSTAN WAY

ZONING DATA

ZONING	RCL5	
EXISTING SITE AREA	53,894.9 ft ²	5,007 m ²
	PROPOSED HIGHWAY ACCESS AGREEMENT	109.6 m ²
	CORVETE ROAD AREA	350.9 m ²
	PROPOSED CAPSTAN STATION BONUS SRW	391.5 m ²
	CAPSTAN WAY ROAD AREA	355.7 m ²
NET SITE AREA	46,408.6 ft²	4,311.5 m²
BUILDING HEIGHT (FROM SEA LEVEL)	154.2 ft	47 m
NO. OF STORIES	14	
SETBACKS	NORTH 6'-7" / 2.0 m EAST 4" / 0.1 m SOUTH 9'-10" / 3 m for portions of building below 4m from grade 6'-7" / 2.0 m for habitable portions of the building above 4m from grade 1'-9" / 0.5 m for balconies above 4m from grade WEST 9'-10" / 3 m	

MAXIMUM FSR	PERMITTED		PROPOSED		TOTAL PROPOSED	
	RATIO	AREA	RATIO	AREA		
COMMERCIAL	1.04	48,265 SF	0.18	8,247 ft ²	1.09	COMM+HOTEL AREA 50,370 ft ²
HOTEL			0.91	42,123 ft ²		
RESIDENTIAL	2.61	121,126 SF	2.56	119,020 ft ²	2.56	119,020 ft ²
TOTAL	3.65	169,391 SF	3.65	169,390 ft ²	3.65	169,390 ft ²

TOTAL NUMBER OF RESIDENTIAL UNITS...137
ONE BEDROOM...57
TWO BEDROOM...60
THREE BEDROOM...15
TOWNHOUSES...5
TOTAL NUMBER OF AFFORDABLE UNITS...9
ONE BEDROOM...6
TWO BEDROOM...2
THREE BEDROOM...1
BUH UNITS TOTAL...45
ONE BEDROOM...32
TWO BEDROOM...20
THREE BEDROOM...13

FSR CALCULATIONS																
LEVEL	RESIDENTIAL								COMMERCIAL			HOTEL				FSR TOTAL
	a	b	c	d	e=a-b-c-d	f	g=c+d+f	h=a-g	i	j	k=i+j	l	m	n	o=l+m	
	GROSS	CIRCULATION	AMENITY	CORES	RESI. SUITES	BUH EXCLUSIONS	TOTAL CORE EXCL.	RESI FSR	COMM. SUITES	CIRCULATION	COMM. FSR	HOTEL (Lobby, Rooms, Restaurant)	CIRCULATION	CORES	HOTEL FSR	
CRU-grade	6,216 ft ²	3,434 ft ²			2,220 ft ²			5,654 ft ²	7,203 ft ²	1,044 ft ²	8,247 ft ²	1,872 ft ²	531 ft ²	357 ft ²	2,403 ft ²	16,304 ft ²
Level 2	4,627 ft ²	530 ft ²		726 ft ²	3,371 ft ²		726 ft ²	3,901 ft ²				5,410 ft ²	2,620 ft ²	657 ft ²	8,031 ft ²	11,932 ft ²
Level 3	5,675 ft ²	1,056 ft ²		726 ft ²	3,893 ft ²	100 ft ²	826 ft ²	4,849 ft ²				6,880 ft ²	2,424 ft ²	532 ft ²	9,304 ft ²	14,153 ft ²
Level 4	10,981 ft ²	1,392 ft ²	4,272 ft ²	726 ft ²	4,591 ft ²	60 ft ²	5,058 ft ²	5,923 ft ²				5,472 ft ²	1,397 ft ²	484 ft ²	6,869 ft ²	12,792 ft ²
Level 5	6,434 ft ²	598 ft ²		726 ft ²	5,110 ft ²	60 ft ²	786 ft ²	5,647 ft ²				5,442 ft ²	1,512 ft ²	484 ft ²	7,426 ft ²	13,073 ft ²
Level 6	6,434 ft ²	598 ft ²		726 ft ²	5,110 ft ²	60 ft ²	786 ft ²	5,648 ft ²				5,443 ft ²	1,511 ft ²	484 ft ²	7,426 ft ²	13,073 ft ²
Level 7	12,141 ft ²	1,196 ft ²		726 ft ²	10,220 ft ²	120 ft ²	846 ft ²	11,295 ft ²								11,295 ft ²
Level 8	12,141 ft ²	1,196 ft ²		726 ft ²	10,220 ft ²	120 ft ²	846 ft ²	11,295 ft ²								11,295 ft ²
Level 9	12,141 ft ²	1,196 ft ²		726 ft ²	10,220 ft ²	120 ft ²	846 ft ²	11,295 ft ²								11,295 ft ²
Level 10	12,141 ft ²	1,196 ft ²		726 ft ²	10,220 ft ²	120 ft ²	846 ft ²	11,295 ft ²								11,295 ft ²
Level 11	12,141 ft ²	1,196 ft ²		726 ft ²	10,220 ft ²	120 ft ²	846 ft ²	11,295 ft ²								11,295 ft ²
Level 12	11,557 ft ²	1,163 ft ²		726 ft ²	9,668 ft ²	140 ft ²	866 ft ²	10,691 ft ²								10,691 ft ²
Level 13	10,973 ft ²	1,188 ft ²		726 ft ²	9,059 ft ²	160 ft ²	886 ft ²	10,087 ft ²								10,087 ft ²
LEVEL 14	10,990 ft ²	1,178 ft ²		726 ft ²	9,086 ft ²	120 ft ²	846 ft ²	10,144 ft ²								10,144 ft ²
TOTAL	134,593 ft ²	17,115 ft ²	4,272 ft ²	9,437 ft ²	103,207 ft ²	1,302 ft ²	15,010 ft ²	119,020 ft ²	7,203 ft ²	1,044 ft ²	8,247 ft ²	30,519 ft ²	10,661 ft ²	2,998 ft ²	42,123 ft ²	169,390 ft ²

AMENITY AREAS CALCULATIONS		
	REQUIRED MINIMUM	PROVIDED
INDOOR	For 40-199 dwellings: 100.0 m ² [1,076.4 ft ²]	396.9 m ² [4,272.0 ft ²]
OUTDOOR	1,253 m ² [13,489 ft ²], including: -Residential Recreation: 137 units X 6.0 m ² /unit = 822 m ² [8,848 ft ²] -including at least 50% children's play area -CCAP Additional Landscape: 10% of net site area = 432 m ² [4,641 ft ²]	2,358 m ² [25,384 ft ²] including: -Residential Recreation @ podium roof level 4: 1,402.2 m ² [15,093 ft ²] (includes children play area 416.3 m ² [4,481 ft ²]) -Hotel amenity: 358.3 m ² [3,857 ft ²] level 4 -CCAP Additional Landscape: 547 m ² [5,887.9 ft ²] grade level (excluding private patios).
GREEN ROOFS	encouraged	428m ² [4,607 ft ²]

PARKING - VEHICLE			
	REQUIRED	After DTM reduction 10%	PROVIDED
RESIDENTIAL - SUITES	0.9/Affordable Unit + 1/Market Unit = 0.9x9 + 1x128 = 136 Stalls	122.5 Stalls	124
RESIDENTIAL - VISITORS	0.2/dwelling = 0.2x 137 = 27 Stalls (Shared commercial spaces)	= 0 Stalls	shares 27 commercial stalls
COMMERCIAL	3.75/1,076 ft ² = 8,256/1,076 x 3.75 = 29 Stalls	26 Stalls	20 (none assigned)
HOTEL	0.5x0.85/72[Rms]+10x0.85/1,076 ft ² Restaurant = 44 Stalls	40 Stalls	46 (33 assigned)
TOTAL		209 Stalls	188 Stalls 190 Stalls

DISABILITY STALLS	REQUIRED	PROVIDED
RESIDENTIAL	3 Stalls	3 Stalls
COMMERCIAL	1 Stall	1 Stall
HOTEL	1 Stall	2 Stall
TOTAL	5 Stalls	6 Stalls

SMALL STALLS	PERMITTED	PROVIDED
RESIDENTIAL	50% of 124	58 Stalls
COMMERCIAL	50% of 20	10 Stall
HOTEL	50% of 46	23 Stall
TOTAL	50% of 190	92 Stalls

PARKING - BICYCLES				
	CLASS 1		CLASS 2	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED*
RESIDENTIAL	172 Stalls	172 Stalls	27.4 Stalls	28 Stalls
COMMERCIAL	3 Stalls	3 Stalls	2.7 Stalls	3 Stalls
HOTEL	10 Stalls	12 Stalls	10.3 Stalls	10 Stalls
TOTAL	185 Stalls	187 Stalls	41 Stalls	41 Stalls

* REFER TO LANDSCAPE DRAWINGS FOR THE LOCATION OF CLASS 2 BICYCLE RACKS

LOADING SPACES		
	REQUIRED	PROVIDED
RESIDENTIAL	1 Medium Stall	1 Medium Stall
COMMERCIAL	1 Medium Stall	1 Medium Stall (Shared)
HOTEL	1 Medium Stall	
TOTAL	3 Medium Stalls	2 Medium Stalls

THE CAPSTAN

GBLARCHITECTS

3333

CORVETTE WAY

SITE PLAN A.030

DP 15-699652
April 28, 2021
PLAN # 2

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:

- reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m; and
- reduce the minimum required number of medium truck loading spaces from three to two.

BCS 3718

Corvette Way

Road Area=350.9 m²

Sec 28

A
Area=0.431 ha
(4311.5 m²)

Rem. 41
PLAN 27115
POSTING PLAN EPP15966

Block 5 N

Corvette Way

PROPOSED STREET LIGHT KIOSK SRW
Area=2.3 m²

PROPOSED TRAFFIC CONTROL SRW
Area=3.8 m²

PROPOSED CAPSTAN STATION BONUS SRW
Area=391.5 m²

PROPOSED HIGHWAY ACCESS AGREEMENT
Area=100.8 m² 23,905

Road Area=355.7 m²

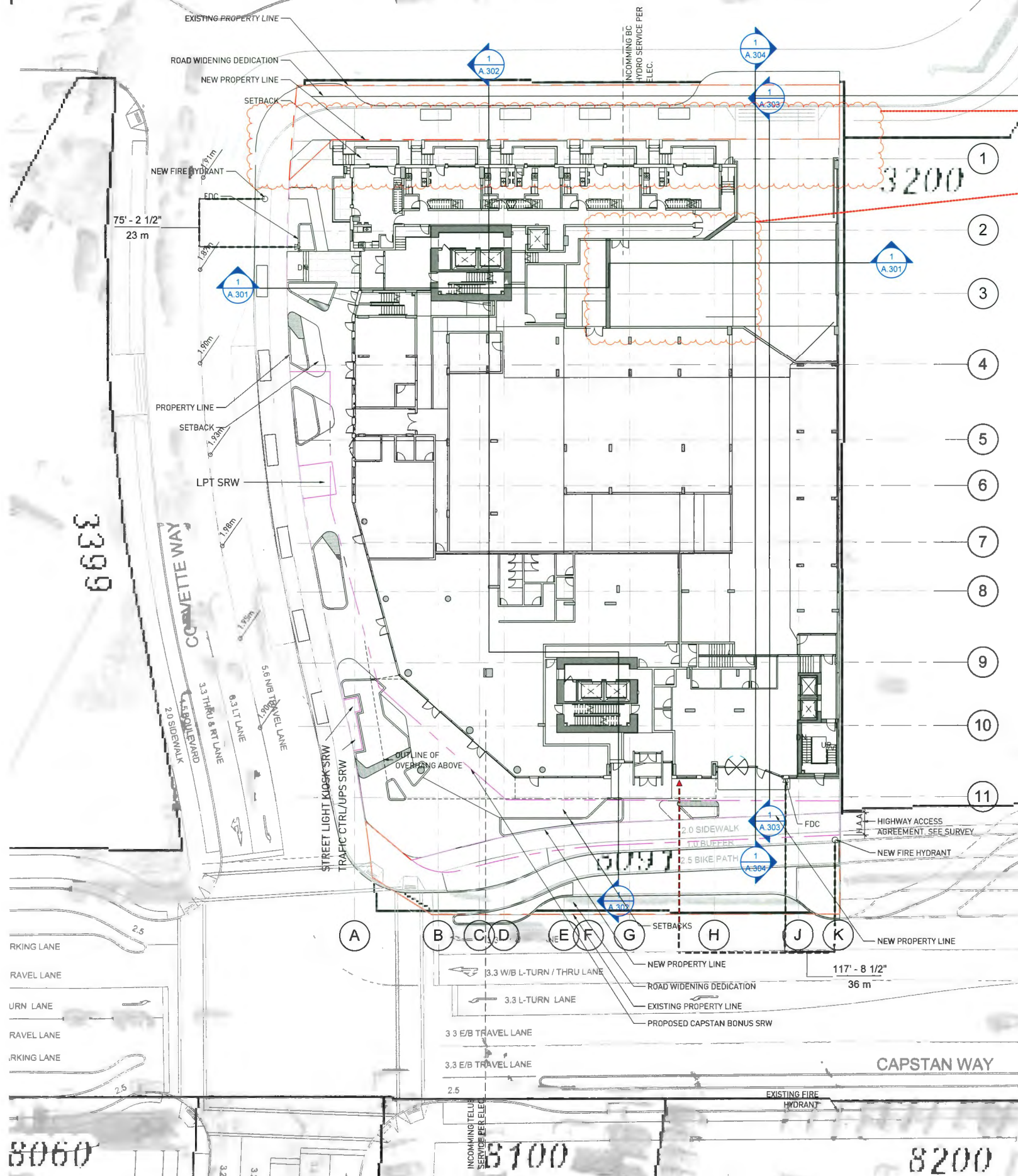
Capstan Way

SURVAY, COMPLETE WITH SRW COPIED FOR INFORMATION PURPOSES ONLY. REFER TO H.Y. AND ASSOCIATES LAND SURVEYING LTD. DRAWING.



THE CAPSTAN

GBLARCHITECTS



3399

RKING LANE
RAVEL LANE
URN LANE
RAVEL LANE
RKING LANE

8060

8100

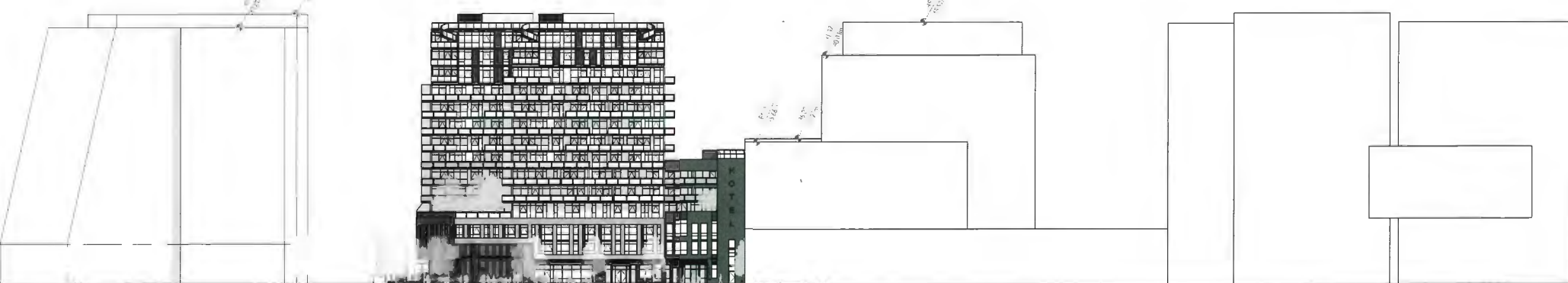
8200

DP 15-699652
April 28, 2021
PLAN # 2a



THE CAPSTAN

GBLARCHITECTS



DP 15-699652

April 28, 2021

PLAN # 2b

REFERENCE PLAN



THE CAPSTAN

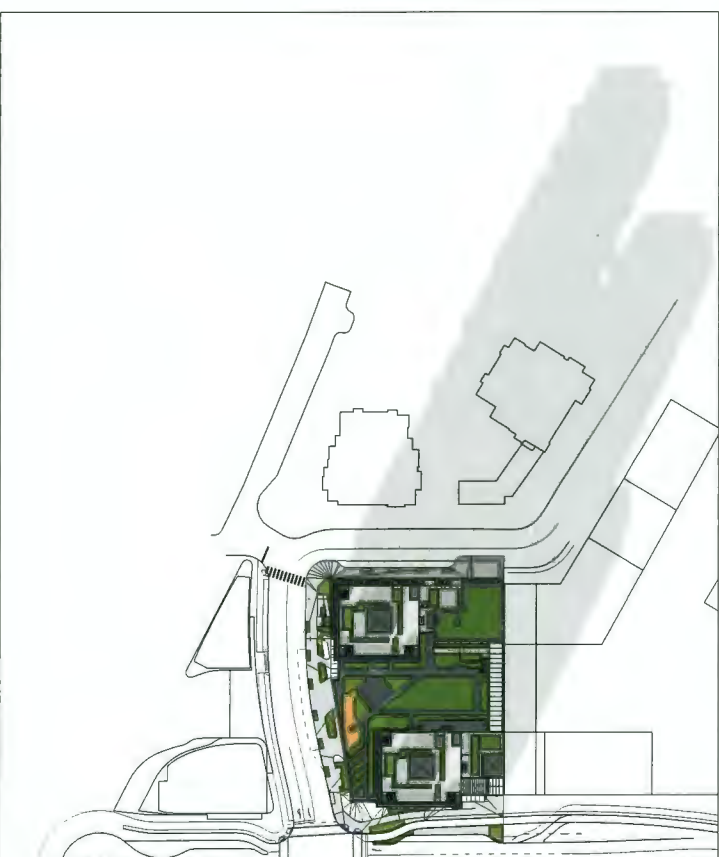
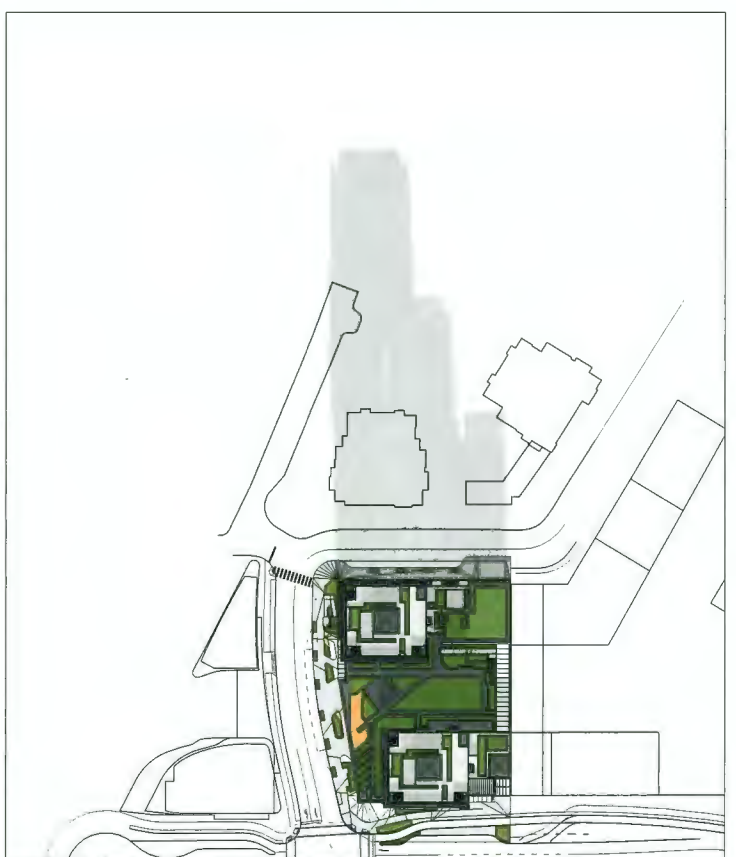
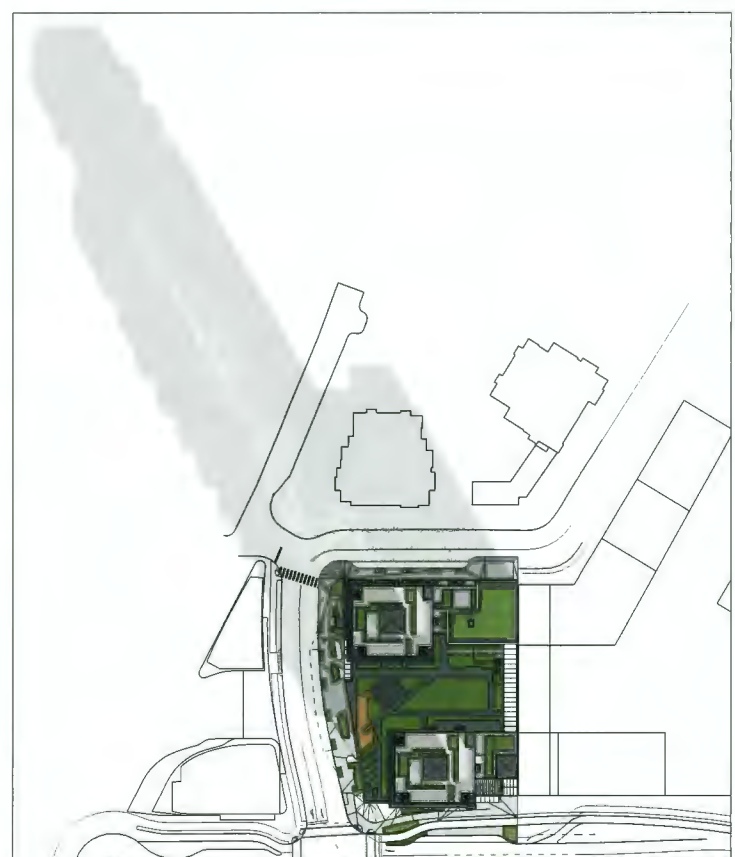
GBLARCHITECTS

10AM

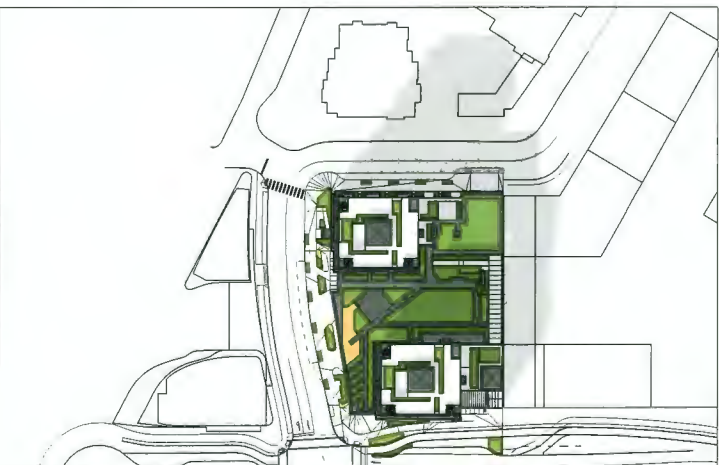
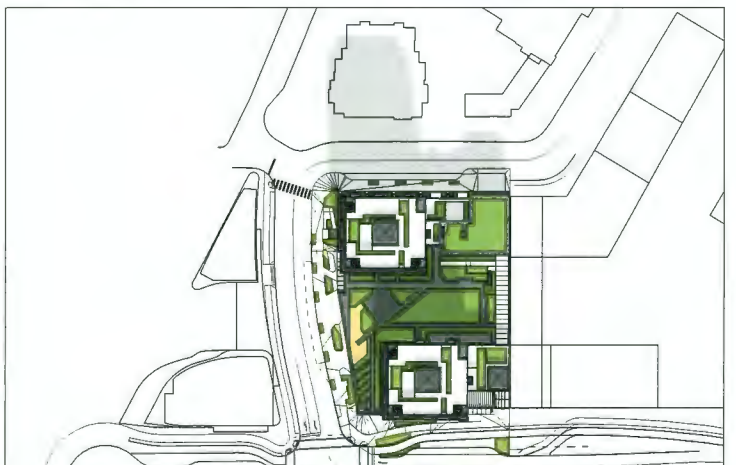
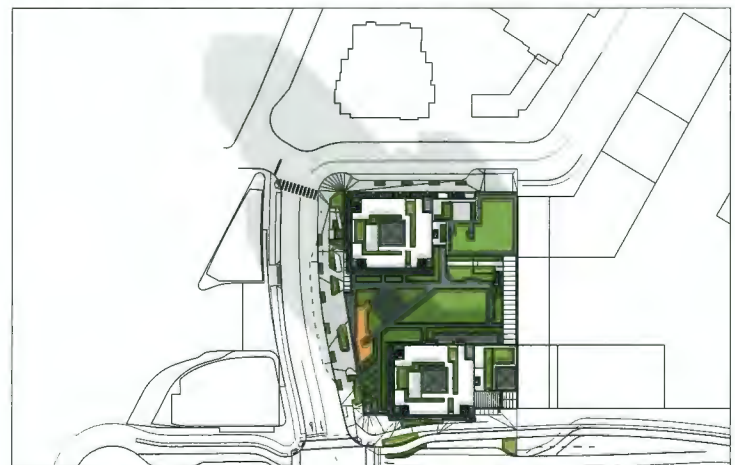
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2PM

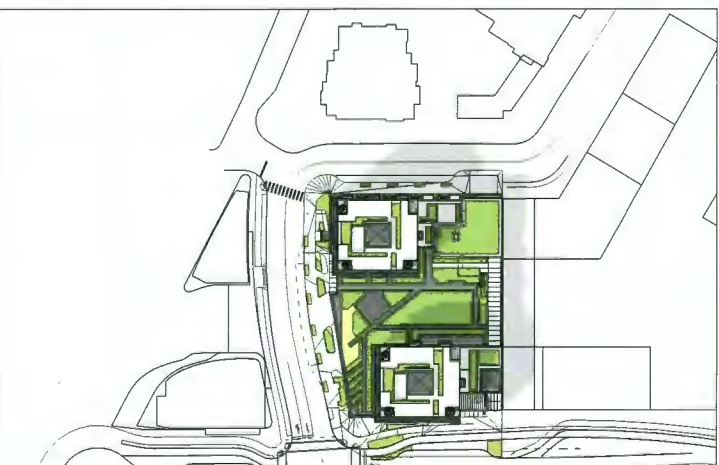
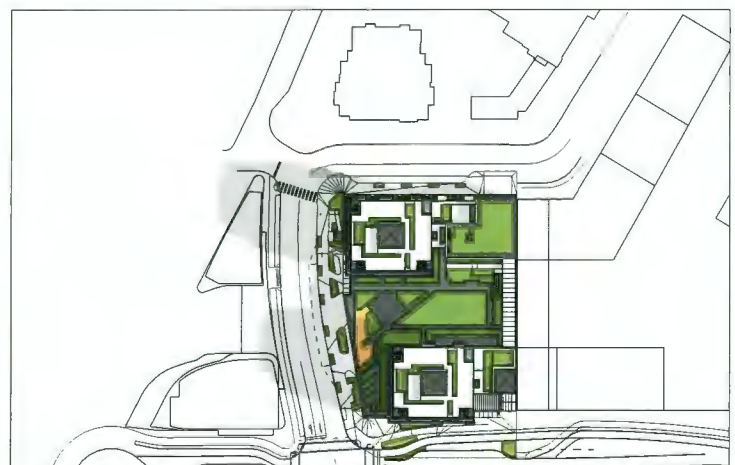
DECEMBER 20



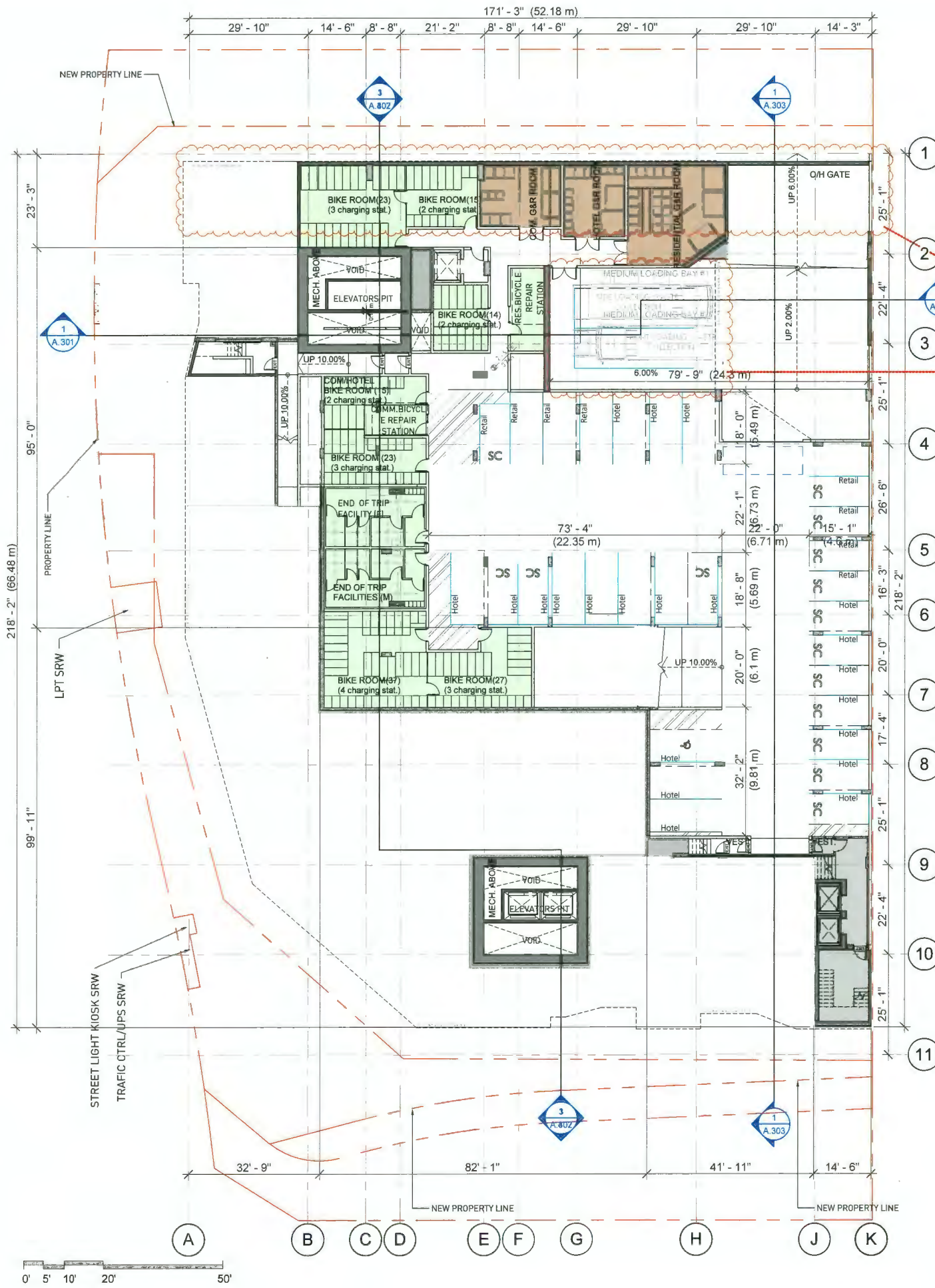
MARCH 20



JUNE 20



DP 15-699652
 April 28, 2021
 PLAN # 3a



BIKE ROOM
 CIRCULATION
 PARKING
 GARBAGE

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:

- reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m; and
- reduce the minimum required number of medium truck loading spaces from three to two.

PARKING SCHEDULE - LEVEL P1...

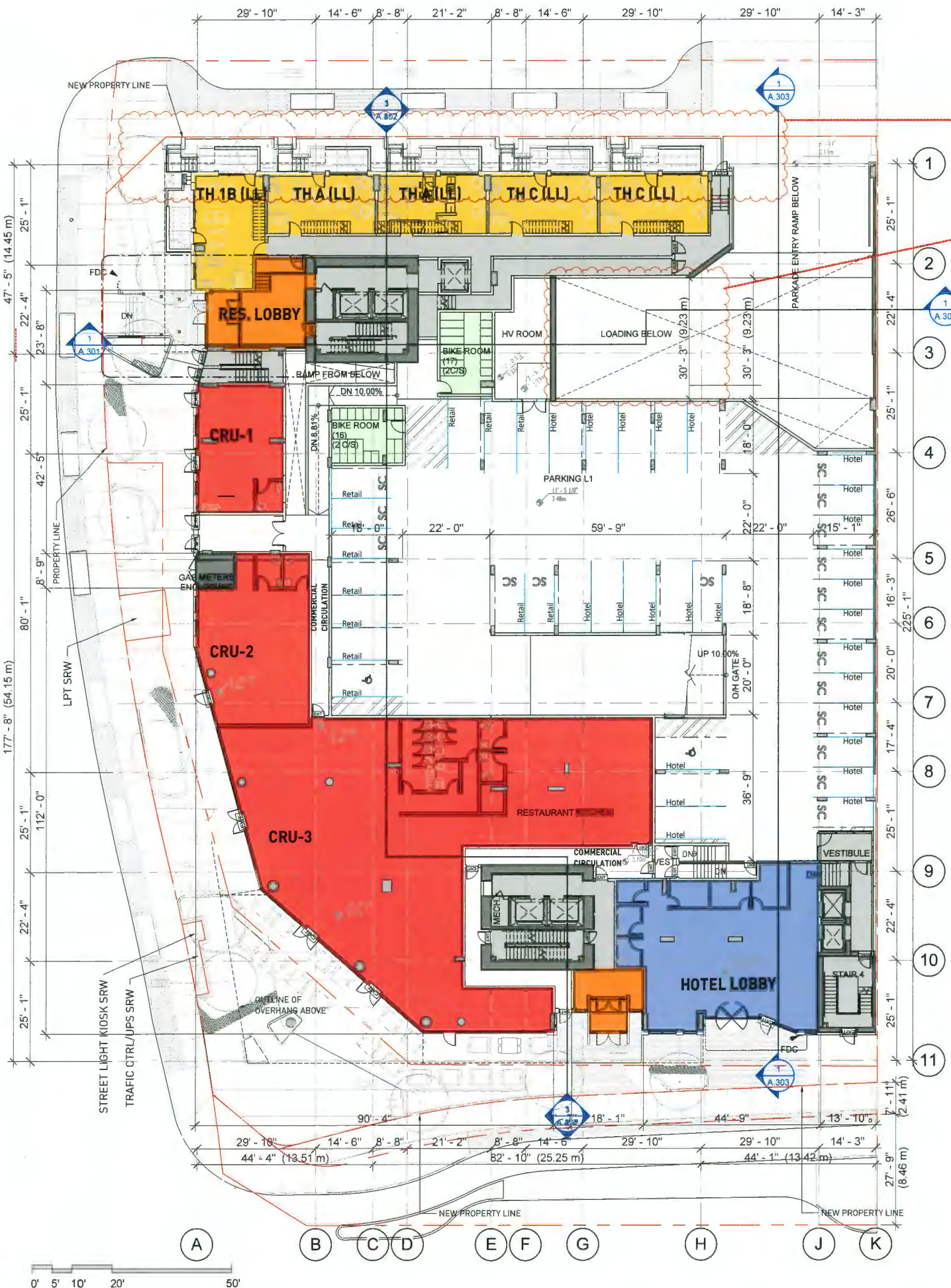
COMMERCIAL	REGULAR CAR STALL	3
COMMERCIAL	SMALL CAR STALL	5
HOTEL	H/C STALL	1
HOTEL	REGULAR CAR STALL	10
HOTEL	SMALL CAR STALL	10
TOTAL THIS FLOOR:		29

BIKE PARKING SCHEDULE - LEVEL P1...

BICYCLE	BICYCLE - HOR.	90
BICYCLE	BICYCLE - VERT.	64
TOTAL THIS FLOOR:		154

LEVEL 1 FLOOR PLAN A.101

DP 15-699652
 April 28, 2021
PLAN # 3b



VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:

- a. reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m; and
- b. reduce the minimum required number of medium truck loading spaces from three to two.

	TOWNHOUSE C
	TOWNHOUSE A
	TOWNHOUSE B
	RES. LOBBY
	CRU-1
	CRU-2
	CRU-3
	BIKE ROOM
	HOTEL LOBBY
	CIRCULATION
	PARKING
	SERVICES

THREE BEDROOM MARKET UNITS

PARKING SCHEDULE - LEVEL 1...

COMMERCIAL	H/C STALL	1
COMMERCIAL	REGULAR CAR STALL	6
COMMERCIAL	SMALL CAR STALL	5
HOTEL	H/C STALL	1
HOTEL	REGULAR CAR STALL	11
HOTEL	SMALL CAR STALL	13
TOTAL THIS FLOOR:		37

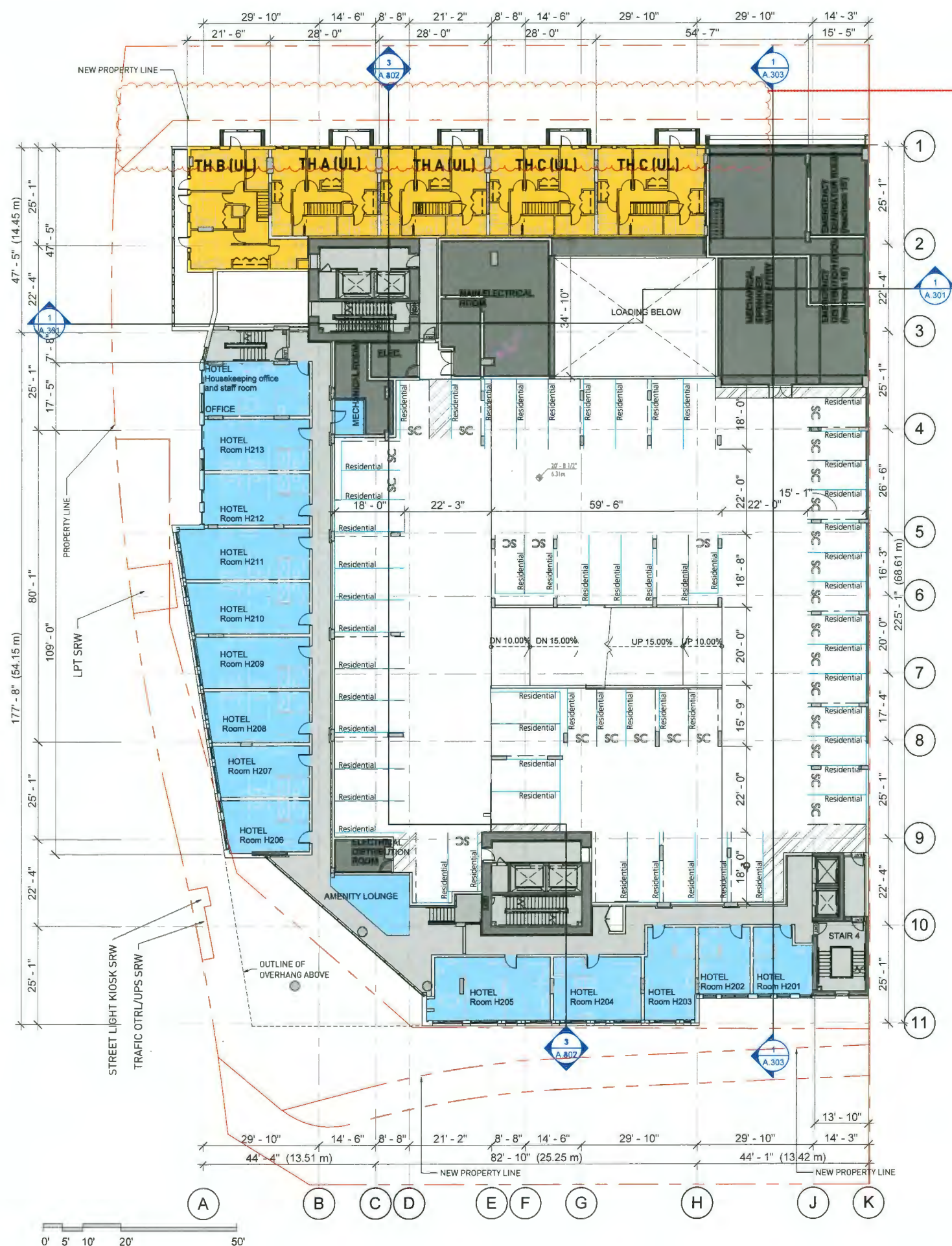
BIKE PARKING SCHEDULE - LEVEL 1...

BICYCLE	BICYCLE - HOR.	14
BICYCLE	BICYCLE - VERT.	19
TOTAL THIS FLOOR:		33

LEVEL 2 FLOOR PLAN A.102

DP 15-699652
 April 28, 2021
PLAN # 3c

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



LEGEND

- TOWNHOUSE C
- TOWNHOUSE A
- TOWNHOUSE B
- HOTEL
- CIRCULATION
- PARKING
- SERVICES

THREE BEDROOM MARKET UNITS

PARKING SCHEDULE - LEVEL 2...

RESIDENTIAL	H/C STALL	1
RESIDENTIAL	REGULAR CAR STALL	30
RESIDENTIAL	SMALL CAR STALL	27
TOTAL THIS FLOOR:		58

BIKE PARKING SCHEDULE - LEVEL 1...

BICYCLE	BICYCLE - HOR.	14
BICYCLE	BICYCLE - VERT.	19
TOTAL THIS FLOOR:		33

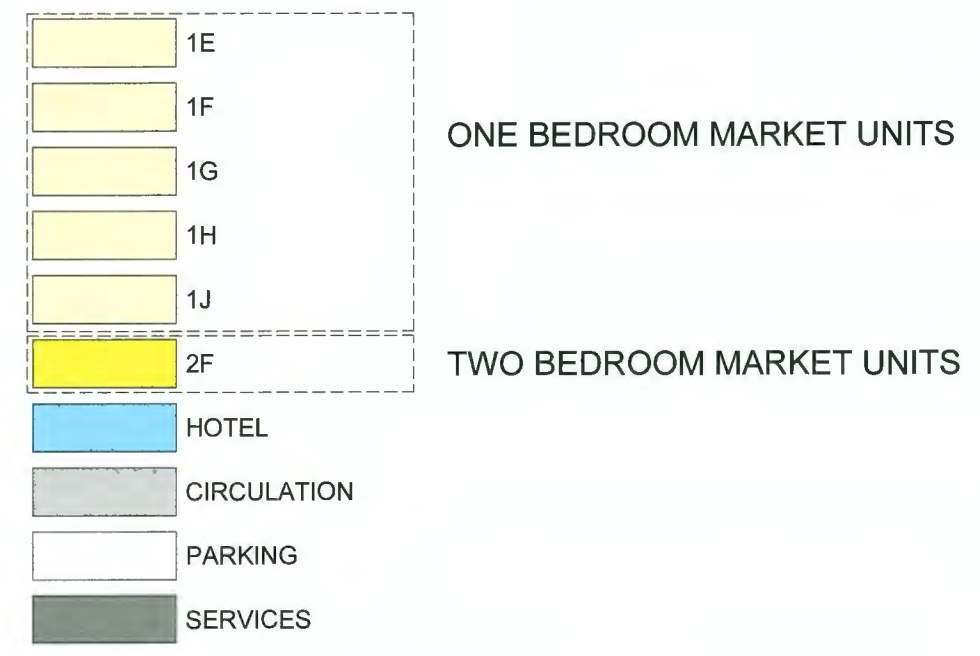
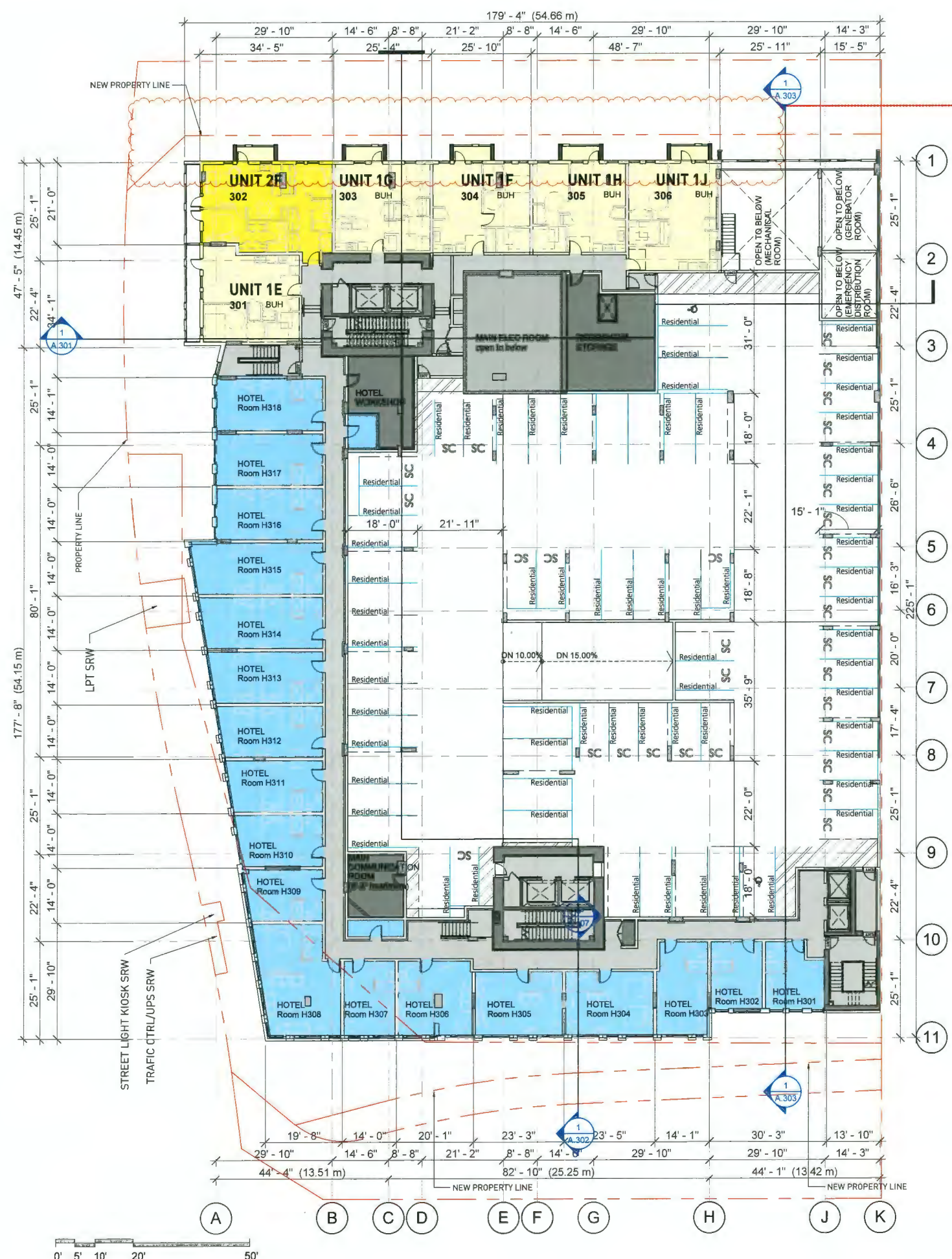
THE CAPSTAN GBLARCHITECTS

LEVEL 3 FLOOR PLAN

A.103

DP 15-699652
 April 28, 2021
PLAN # 3d

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



PARKING SCHEDULE - LEVEL 3...

RESIDENTIAL	H/C STALL	2
RESIDENTIAL	REGULAR CAR STALL	32
RESIDENTIAL	SMALL CAR STALL	32
TOTAL THIS FLOOR:		66



THE CAPSTAN

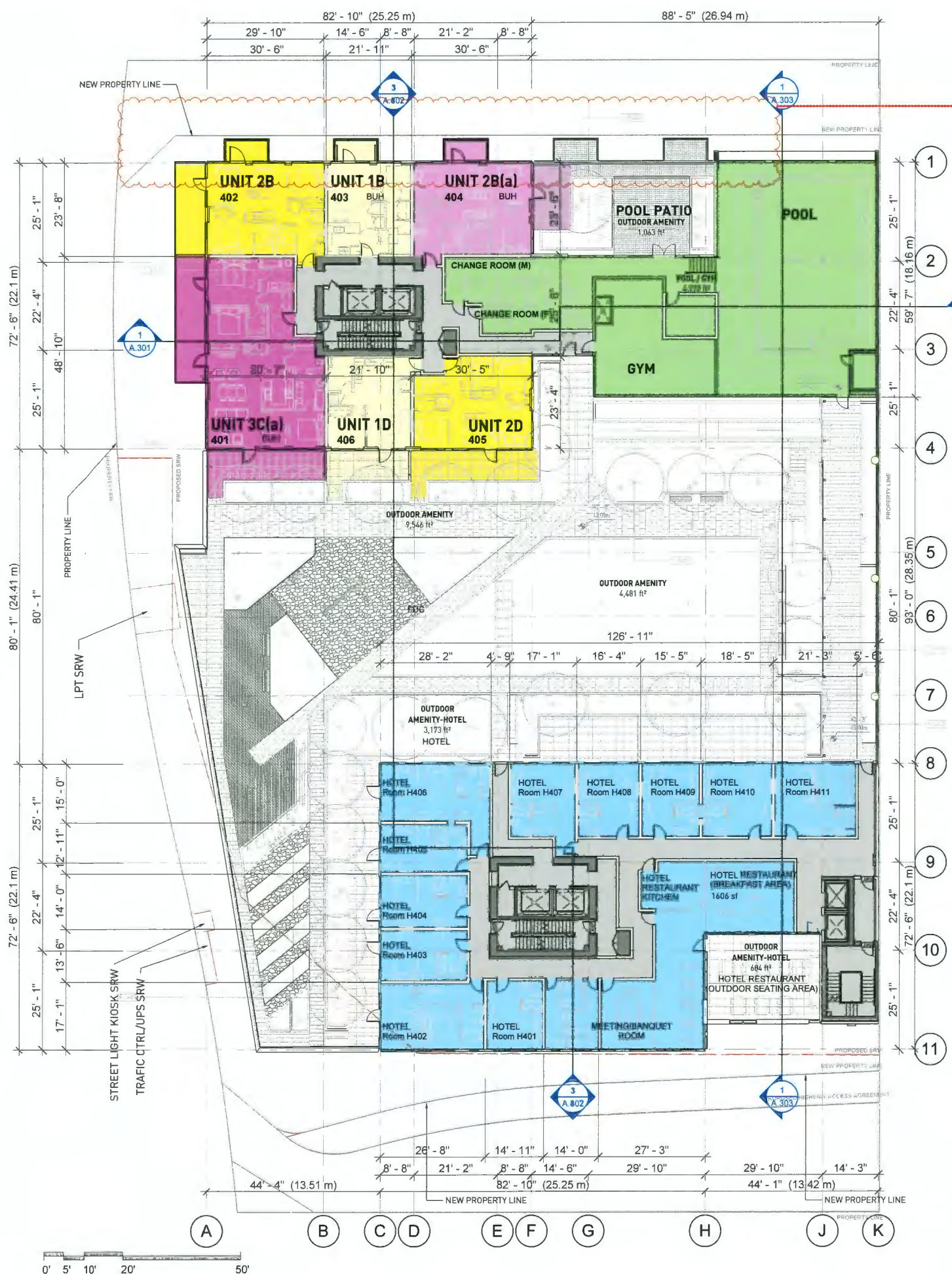
GBLARCHITECTS



LEVEL 4 FLOOR PLAN A.104

DP 15-699652
 April 28, 2021
PLAN # 3e

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



- 1B
- 1D
- 2B
- 2D
- 2B(a)
- 3C(a)
- AMENITY
- HOTEL
- CIRCULATION
- SERVICES

ONE BEDROOM MARKET UNITS
 TWO BEDROOM MARKET UNITS
 TWO BEDROOM AFFORDABLE UNITS
 THREE BEDROOM AFFORDABLE UNITS

AMENITY PROVIDED...		DP
Level 4	POOL / GYM	4,272 ft ²
Grand total: 1		4,272 ft ²
 AMENITY OUTDOOR PROVIDED.....		
Level 4	OUTDOOR AMENITY	15,089 ft ²
Level 4	OUTDOOR AMENITY-HOTEL	3,857 ft ²
Grand total: 5		18,947 ft ²

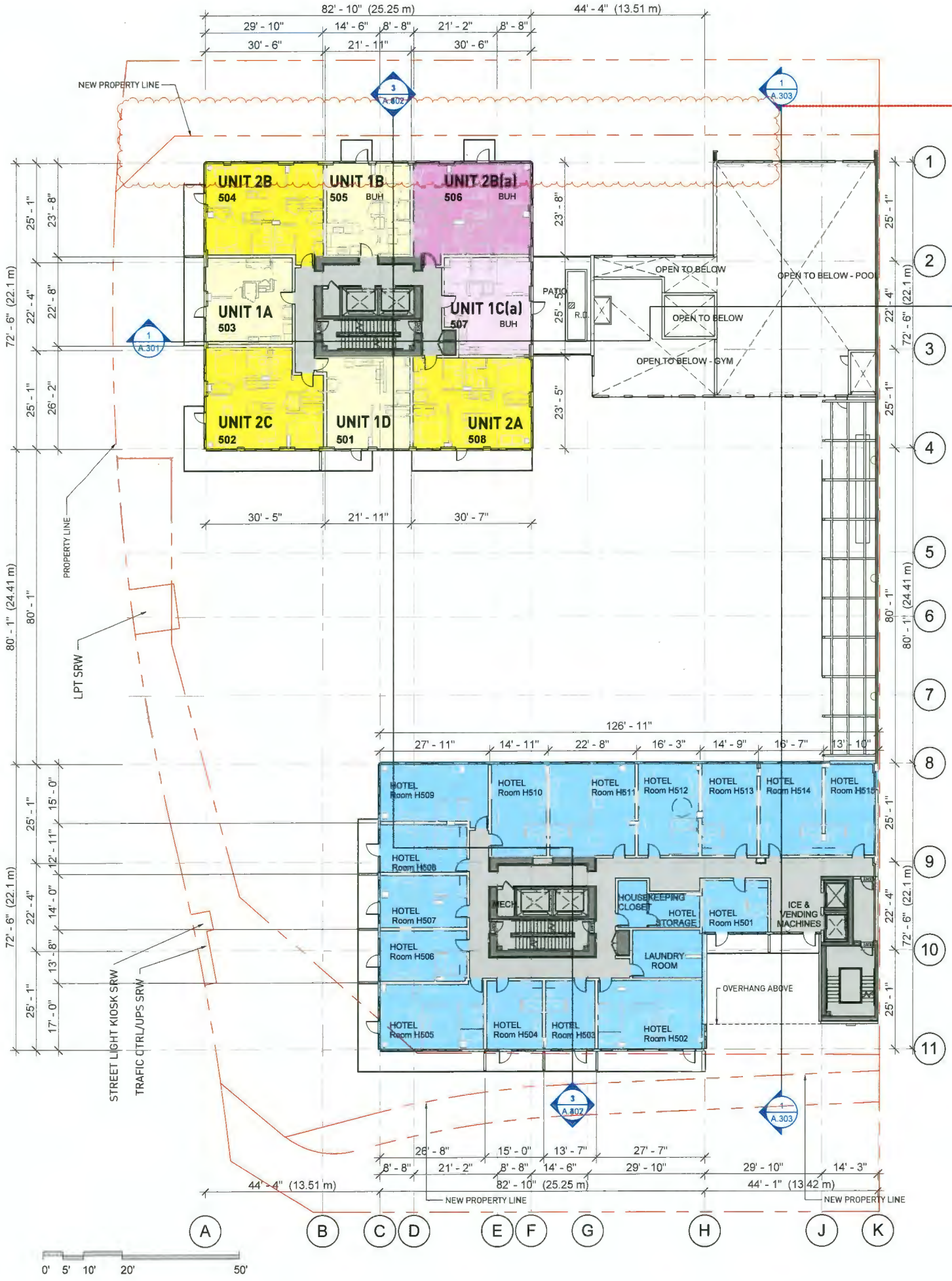
THE CAPSTAN

GBLARCHITECTS

LEVEL 5 FLOOR PLAN A.105

DP 15-699652
 April 28, 2021
PLAN # 3f

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 --reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



1A	1A
1B	1B
1D	1D
2A	2A
2B	2B
2C	2C
1C(a)	1C(a)
2B(a)	2B(a)
HOTEL	HOTEL
CIRCULATION	CIRCULATION
SERVICES	SERVICES

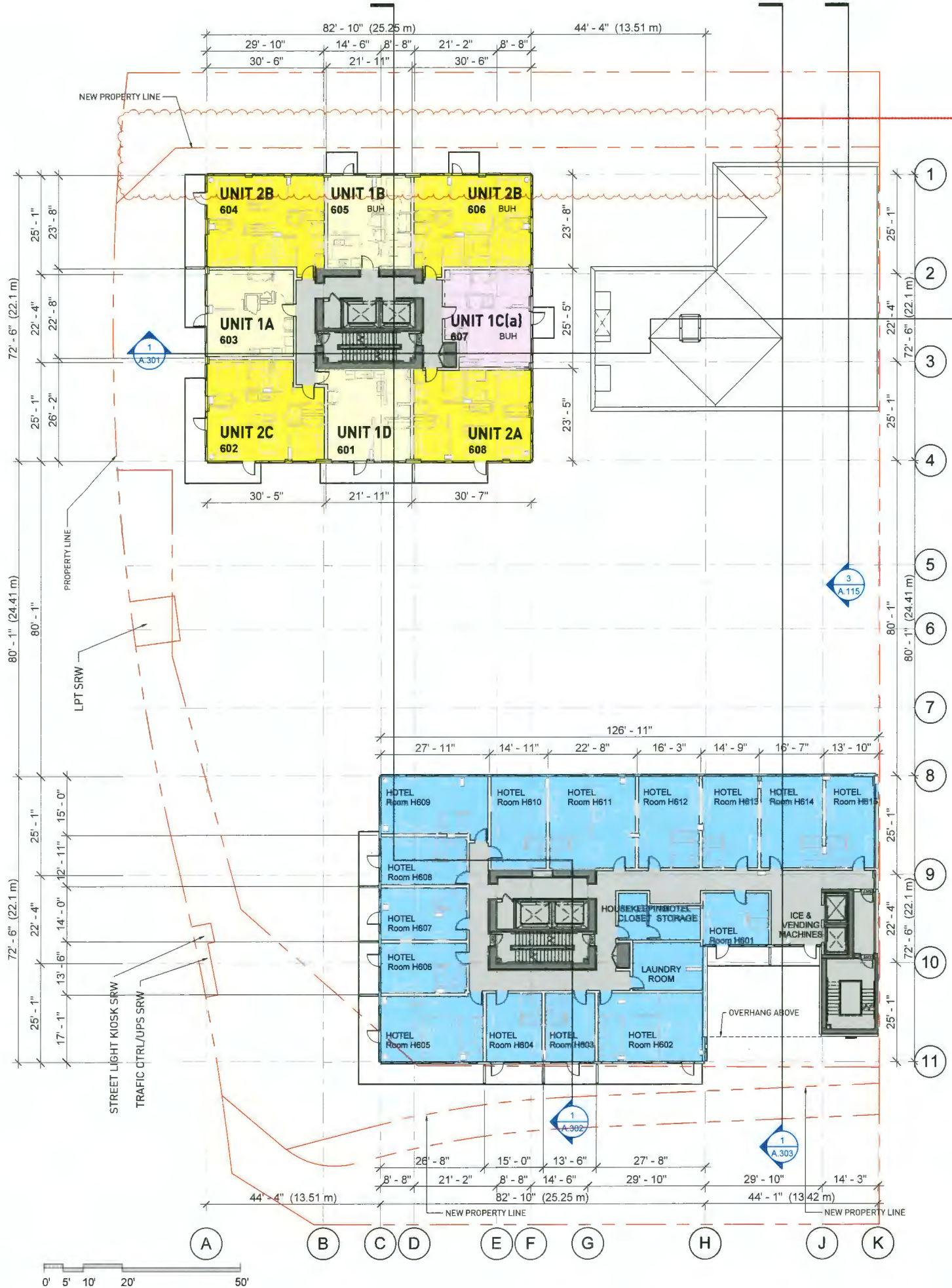
ONE BEDROOM MARKET UNITS
 TWO BEDROOM MARKET UNITS
 ONE BEDROOM AFFORDABLE UNITS
 TWO BEDROOM AFFORDABLE UNITS



LEVEL 6 FLOOR PLAN

A.106

DP 15-699652
 April 28, 2021
PLAN # 3g



VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m

	1A
	1B
	1D
<hr/>	
	2A
	2B
	2C
<hr/>	
	1C(a)
<hr/>	
	HOTEL
	CIRCULATION
	SERVICES

ONE BEDROOM MARKET UNITS

TWO BEDROOM MARKET UNITS

ONE BEDROOM AFFORDABLE UNITS

THE CAPSTAN

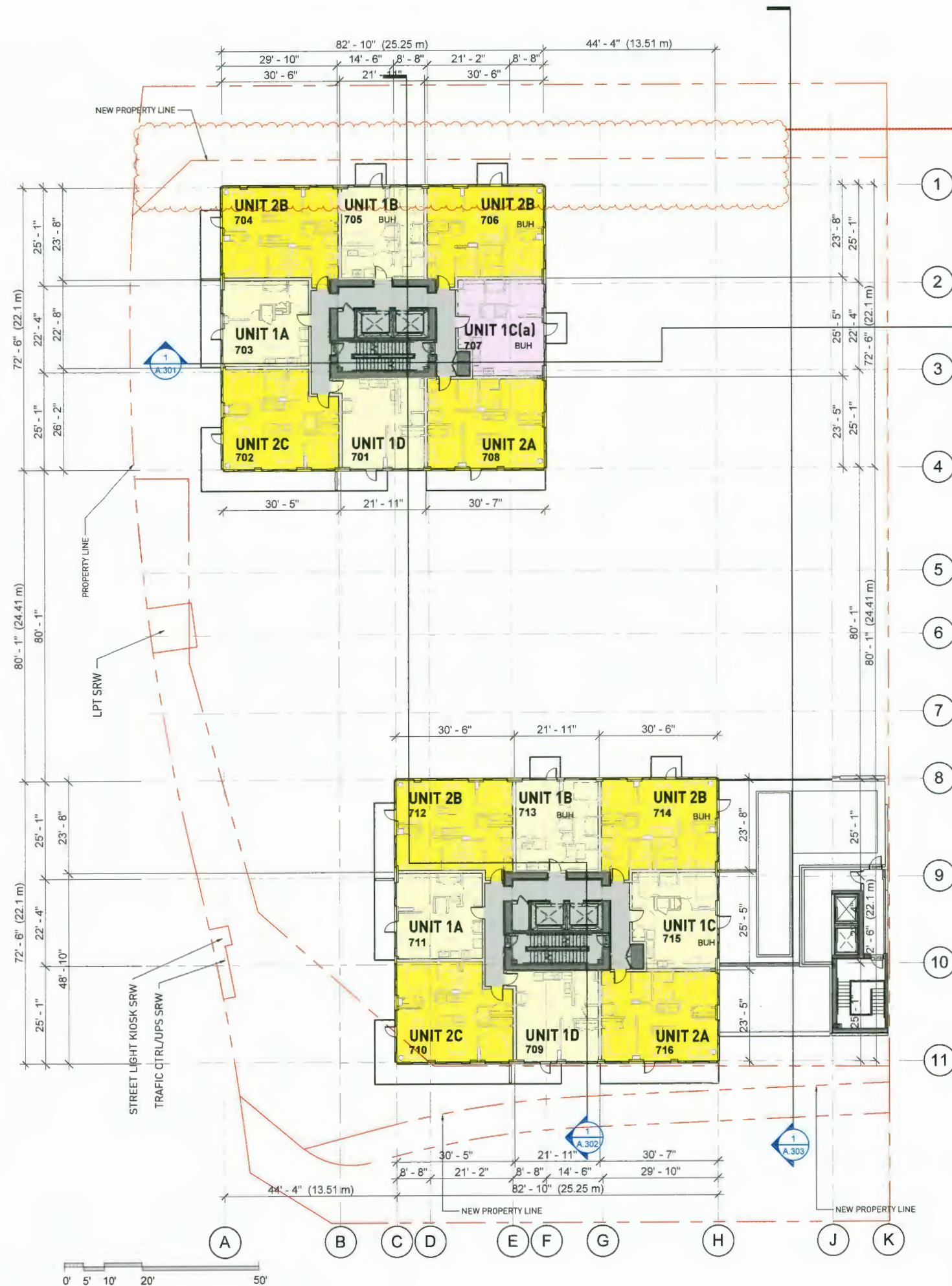
GBLARCHITECTS

LEVELS 7-10 FLOOR PLAN

A.107

DP 15-699652
 April 28, 2021
PLAN # 3h

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



	1A	ONE BEDROOM MARKET UNITS
	1B	
	1C	
	1D	
	2A	TWO BEDROOM MARKET UNITS
	2B	
	2C	
	1C(a)	ONE BEDROOM AFFORDABLE UNITS
	CIRCULATION	
	SERVICES	



THE CAPSTAN

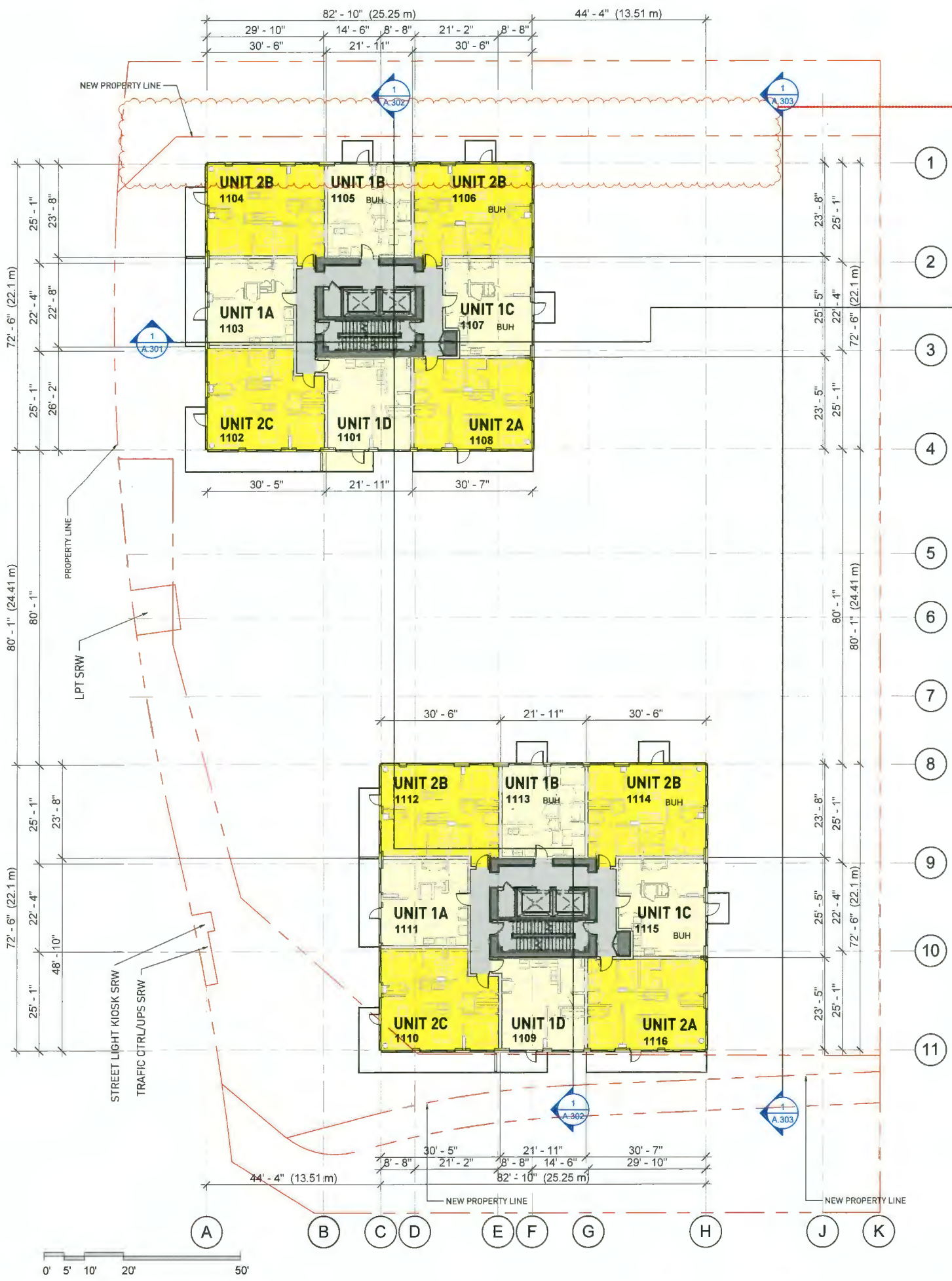
GBLARCHITECTS

LEVEL 11 FLOOR PLAN A.108

DP 15-699652
 April 28, 2021
PLAN # 3i

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m

	1A	ONE BEDROOM MARKET UNITS
	1B	
	1C	
	1D	
	2A	TWO BEDROOM MARKET UNITS
	2B	
	2C	
	CIRCULATION	
	SERVICES	



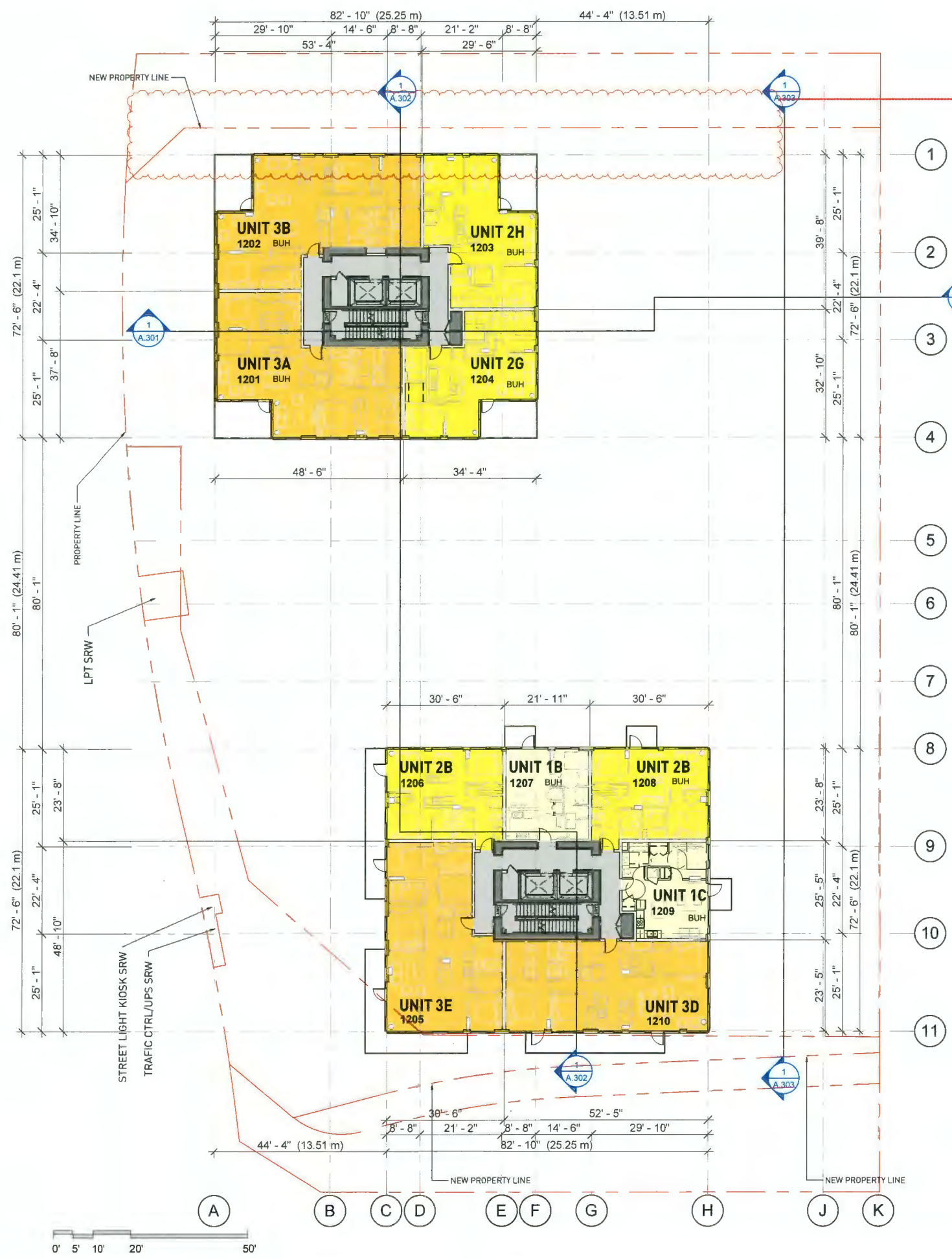
THE CAPSTAN

GBLARCHITECTS

LEVEL 12 FLOOR PLAN A.109

DP 15-699652
 April 28, 2021
PLAN # 3j

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



	1B	ONE BEDROOM MARKET UNITS
	1C	
	2B	TWO BEDROOM MARKET UNITS
	2G	
	2H	
	3A	THREE BEDROOM MARKET UNITS
	3B	
	3D	
	3E	
	CIRCULATION	
	SERVICES	

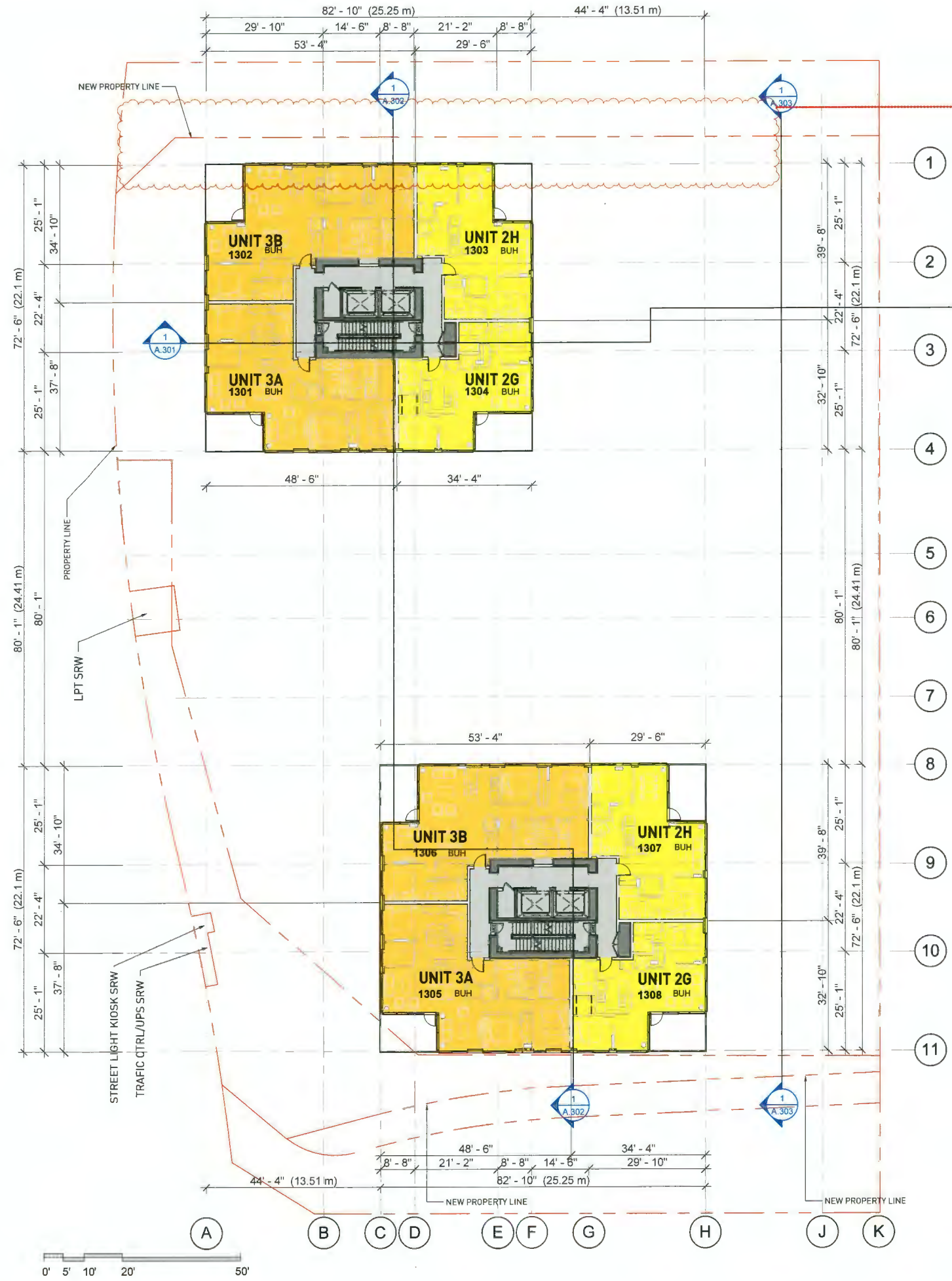


LEVEL 13 FLOOR PLAN A.110

DP 15-699652
 April 28, 2021
PLAN # 3k

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m

	2G	TWO BEDROOM MARKET UNITS
	2H	
	3A	THREE BEDROOM MARKET UNITS
	3B	
	CIRCULATION	
	SERVICES	



THE CAPSTAN

GBLARCHITECTS

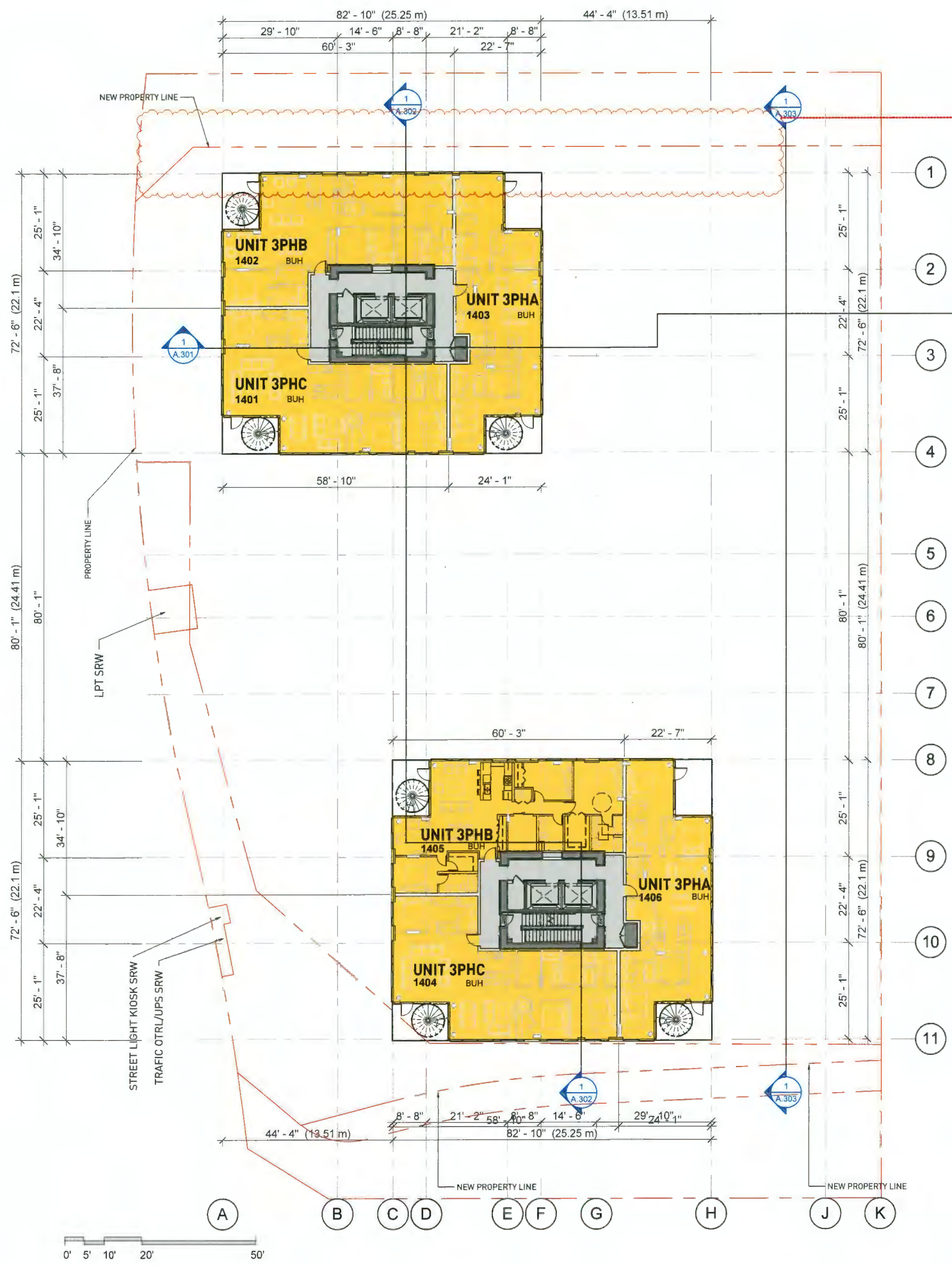
LEVEL 14 FLOOR PLAN A.111

DP 15-699652
 April 28, 2021
PLAN # 3I

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m

	3PHA
	3PHB
	3PHC
	CIRCULATION
	SERVICES

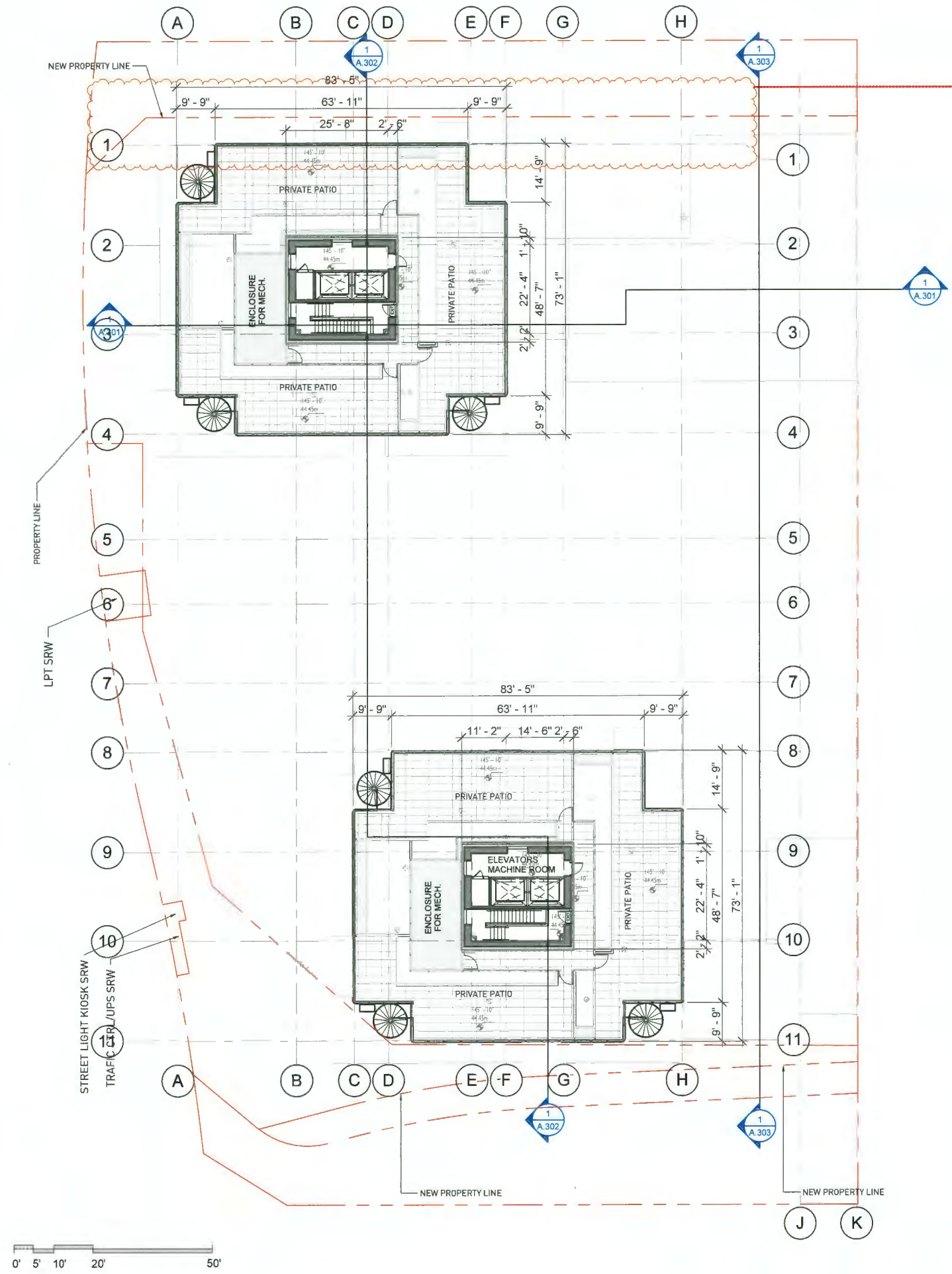
THREE BEDROOM MARKET UNITS



ROOF PLAN A.112

DP 15-699652
 April 28, 2021
PLAN # 3m

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



THE CAPSTAN

GBLARCHITECTS

8091 Capstan Way Richmond BC PREPARED BY PWL PARTNERSHIP

DRAWING LIST

L0.00 COVER PAGE
L0.01 NOTES

L1.01 LAYOUT AND MATERIALS PLAN - GROUND LEVEL
L1.02 LAYOUT AND MATERIALS PLAN - LEVEL 4
L1.03 LAYOUT AND MATERIALS PLAN - LEVEL 7
L1.04 LAYOUT AND MATERIALS PLAN - LEVEL ROOF

L2.01 GRADING PLAN - GROUND LEVEL
L2.02 GRADING PLAN - LEVEL 4
L2.03 GRADING PLAN - LEVEL 7
L2.04 GRADING PLAN - LEVEL ROOF

L3.00 PLANT LIST
L3.01 PLANTING PLAN - GROUND LEVEL
L3.02 PLANTING PLAN - LEVEL 4
L3.03 PLANTING PLAN - LEVEL 7
L3.04 PLANTING PLAN - LEVEL ROOF

L4.01 LIGHTING DIAGRAM - GROUND LEVEL
L4.02 LIGHTING DIAGRAM - LEVEL 4
L4.03 LIGHTING DIAGRAM - LEVEL ROOF

L5.01 DETAILS
L5.02 DETAILS
L5.03 DETAILS
L5.04 DETAILS

L6.01 SECTIONS



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FAX: 604.731.5275

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
2	2017-12-04	Issued for ADP
3	2018-02-20	Reissued for Development Permit
4	2018-06-15	Issued for 30% Check Set
5	2020-08-16	Issued for 60% Check Set
6	2018-11-23	Issued for Review Set
7	2018-12-03	Issued for Building Permit
8	2019-04-03	Issued for COR Review
9	2020-07-06	Reissued for Development Permit
10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY
RICHMOND, BC**

ADDRESS

DRAWING TITLE

COVER PAGE

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NORTH	SCALE
	1/16" = 1'0"

PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZL,LC
REVIEWED	GB

DRAWING

L0.00

**DP 15-699652
April 28, 2021
PLAN #4 A**

LAYOUT AND MATERIALS GENERAL NOTES

1. DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5. EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
6. REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

PUBLIC REALM NOTES

1. PUBLIC REALM DESIGN WILL BE COORDINATED WITH CIVIL ENGINEER AND CITY OF RICHMOND THROUGH THE SERVICING AGREEMENT PROCESS.

PLANTING GENERAL NOTES

1. ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS AND CANADIAN LANDSCAPE AND NURSERY ASSOCIATION.
2. SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
3. PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
4. PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
5. PLANTS WILL BE NURSERY GROWN UNLESS NOTED OTHERWISE.
6. THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
7. CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
8. PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
9. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.

GRADING GENERAL NOTES

1. REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
3. GROWING MEDIUM DEPTHS ON ARCHITECTURAL SLAB ARE NOT TO EXCEED THOSE SPECIFIED IN SPECIFICATIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. SLAB DRAINS AND PLANTER SLAB DRAINS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE READ IN CONJUNCTION WITH MECHANICAL ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5. UNLESS OTHERWISE NOTED ALL DRAINS LOCATED IN LAWN OR PLANTED AREAS TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT AS DETAILED ON LANDSCAPE DRAWINGS.
6. UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
7. UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
8. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
9. TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
10. TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.



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1201 WEST PENDER STREET
VANCOUVER BC CANADA V6E 2V2
TEL: 604 688 6111
FAX: 604 688 6112

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
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10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY
RICHMOND, BC**

ADDRESS

DRAWING TITLE

NOTES

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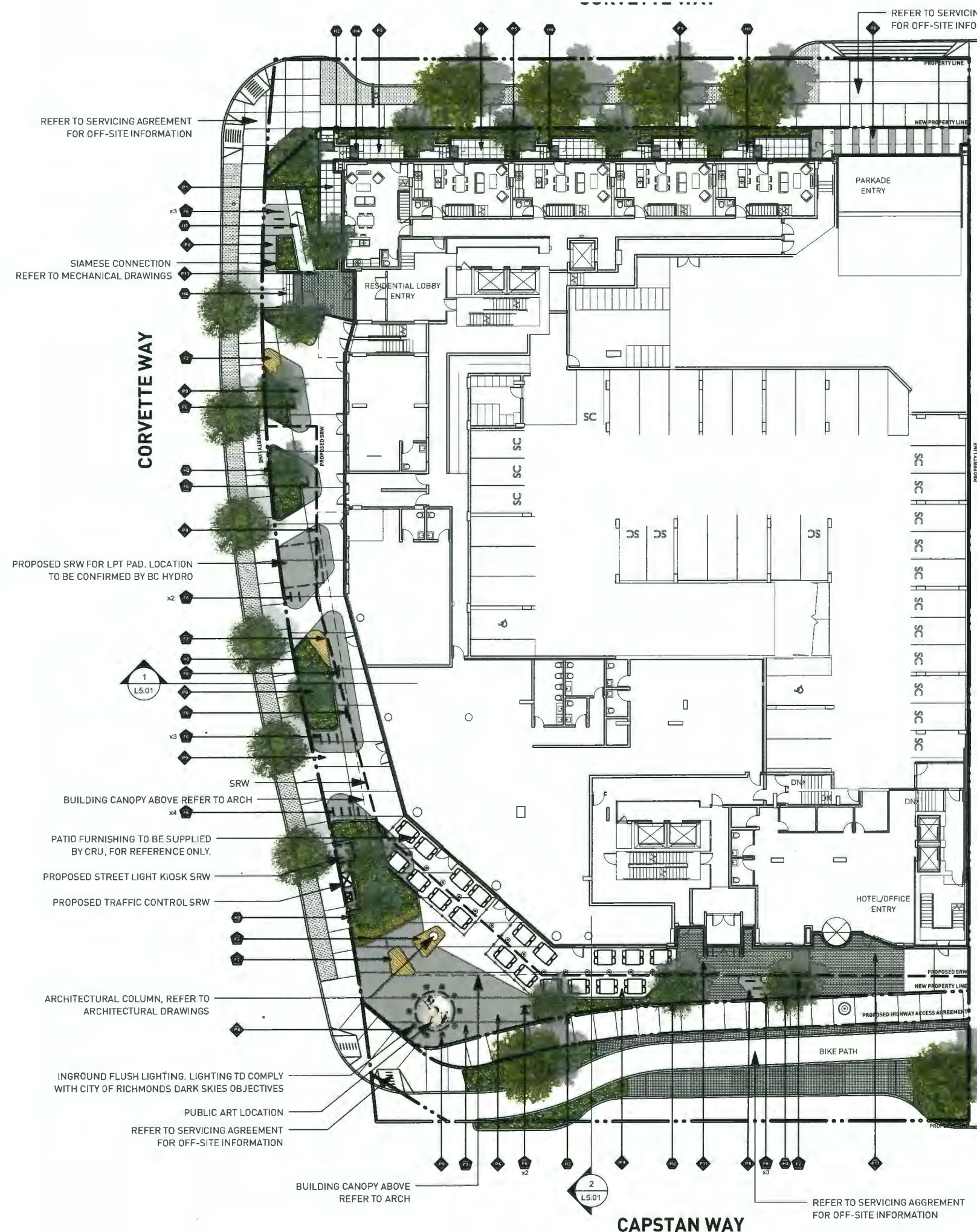
NORTH	SCALE
	1/32" = 1'0"

PROJECT NO.	15033		
DATE	2019-05-10		
FILE NAME	15033 Plan.vwx		
PLOTTED	2021-03-30		
DRAWN	ZL,LC	REVIEWED	GB

DRAWING

L0.01

**DP 15-699652
April 28, 2021
PLAN #4 B**



REFER TO SERVICING AGREEMENT FOR OFF-SITE INFORMATION

KEY	DESCRIPTION
H1	Feature Planter Wall Corten Steel N/A
H2	Cast in Place Concrete Planter Wall CIP Concrete Wall Colour: Natural/Finish: Light Sand Blast
H3	Urban Agriculture Planter Metal Planter Powder Coated Black
H4	Stairs with Handrails and Tactile Warning CIP Concrete Stairs Colour: Natural/Finish: Light Sand Blast
H5	Cast in Place Concrete Ramp with Handrail and Tactile Warning CIP Concrete Ramp Colour: Natural/Finish: Light Sand Blast

KEY	DESCRIPTION
P1	Hydrapressed Slabs Type 1 Texada Series, Unsealed Colour: Natural
P2	Hydrapressed Slabs Type 2 Texada Series, Unsealed Colour: Charcoal
P3	Hydrapressed Slabs Type 3 Standard Series Colour: Charcoal
P4	Hydrapressed Slabs Type 4 Standard Series Colour: Sand/Brown Blend
P5	Maintenance Strip River Rock Colour: Natural
P6	Composite Decking Transcend Series Colour: Havana Gold
P7	Granular Paving with Organic Binder Regular
P8	Feature Concrete Paving Coloured Concrete Colour: Davi's Colour, Broom Finish
P9	CIP Concrete Paving CIP Concrete Colour: Natural, Broom Finish
P10	Tile Everstone-Durastone Colour: Latta, Finish: Brushed Finish
P11	Stone Paving Black Tusk Basalt, Mortared in Place Flame Finish

KEY	DESCRIPTION
F1	Timber Bench Type 1 Backless Neoliviano Bench Wood: Jarrah Wood, Exterior no finish
F2	Timber Bench Type 2 IPE Wood Bench IPE Wood and Aluminium Frame
F3	Built-in BBQ Summit S-650 Built-In Stainless Steel
F4	Play Structure Type 1 Mizar II Refer to Manufacturer Specification
F5	Play Structure Type 2 Spinner Refer to Manufacturer Specification
F6	Bike Rack Bola Bike Rack Stainless Steel
F7	Fire Bowl Halo 48 Elevated N/A
F8	Outdoor Sofa Left Module (029005) and Right Module (029003) Colour: D66 Bleach
F9	Metal Planters Boulder Bubbliers N/A
F10	Metal Trellis Structure IPE Wood and Mild Steel Mild Steel to be Painted, Colour to be Charcoal
F11	Potting Bench IPE Wood Bench IPE Wood and Aluminium Frame
F12	Tool Storage IPE Wood Storage Unit IPE Wood and Aluminium Frame
F13	Compost Bins

DP 15-699652
April 28, 2021
PLAN #4C



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
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8	2019-04-03	Issued for COR Review
9	2020-07-06	Reissued for Development Permit
10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY
RICHMOND, BC**

ADDRESS

DRAWING TITLE

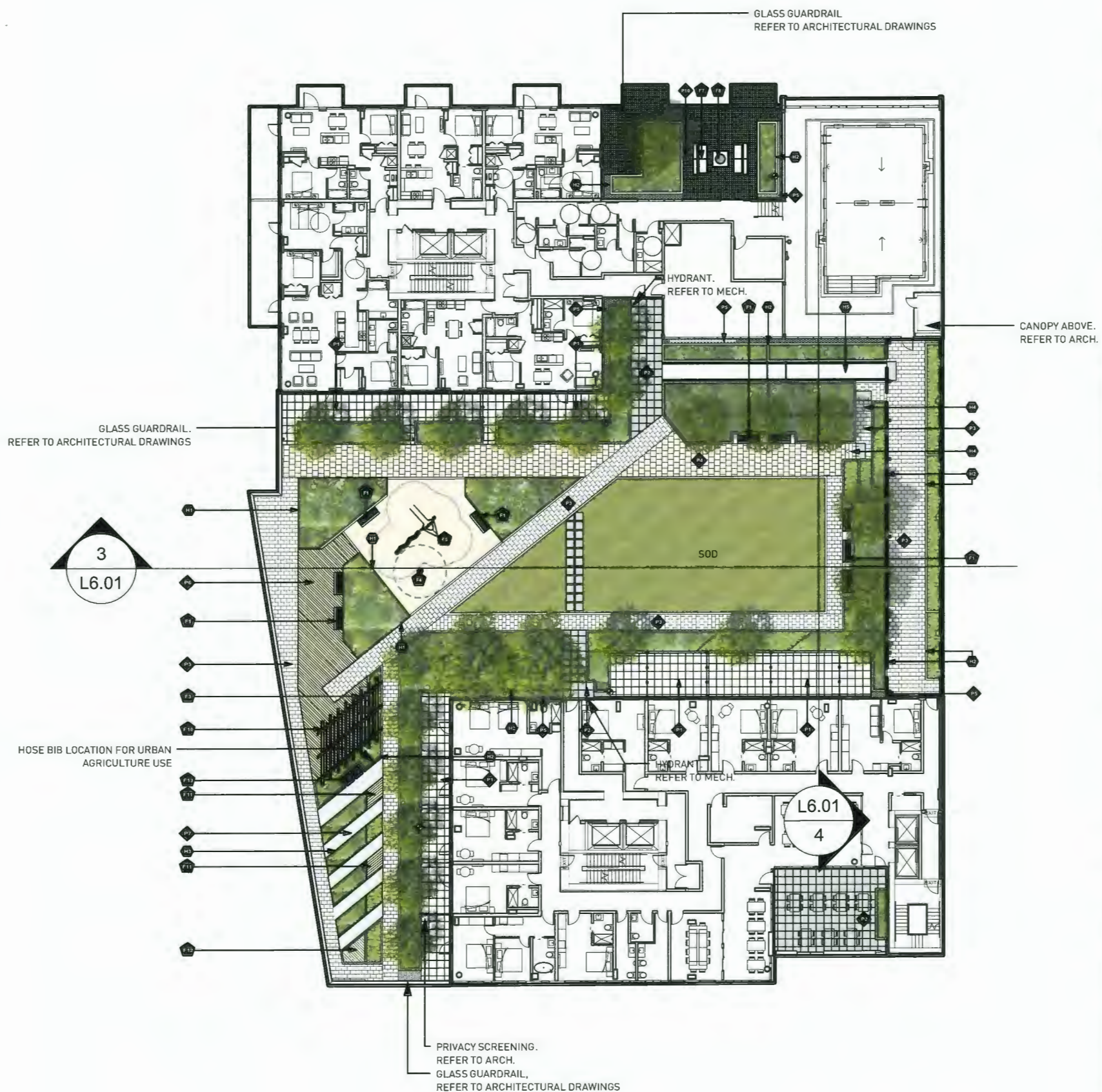
**LAYOUT & MATERIALS
GROUND LEVEL**

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NORTH	SCALE
	1/32" = 1'0"

PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZL,LC
REVIEWED	GB

DRAWING
L1.01



HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
H1	Feature Planter Wall Corten Steel N/A
H2	Cast in Place Concrete Planter Wall CIP Concrete Wall Colour: Natural/Finish: Light Sand Blast
H3	Urban Agriculture Planter Metal Planter Powder Coated Black
H4	Stairs with Handrails and Tactile Warning CIP Concrete Stairs Colour: Natural/Finish: Light Sand Blast
H5	Cast in Place Concrete Ramp with Handrail and Tactile Warning CIP Concrete Ramp Colour: Natural/Finish: Light Sand Blast

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
P1	Hydrapressed Slabs Type 1 Texada Series, Unsealed Colour: Natural
P2	Hydrapressed Slabs Type 2 Texada Series, Unsealed Colour: Charcoal
P2	Hydrapressed Slabs Type 3 Standard Series Colour: Charcoal
P4	Hydrapressed Slabs Type 4 Standard Series Colour: Sand/Brown Blend
P5	Maintenance Strip River Rock Colour: Natural
P6	Composite Decking Transcend Series Colour: Havana Gold
P7	Granular Paving with Organic Binder Regular
P8	Feature Concrete Paving Coloured Concrete Colour: Davi's Colour, Broom Finish
P9	CIP Concrete Paving CIP Concrete Colour: Natural, Broom Finish
P10	Tile Everstone-Durastone Colour: Latte, Finish: Brushed Finish
P11	Stone Paving Black Tusk Basalt, Mortared in Place Flame Finish

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
F1	Timber Bench Type 1 Backless Neoliviano Bench Wood: Jarrah Wood, Exterior no finish
F2	Timber Bench Type 2 IPE Wood Bench IPE Wood and Aluminium Frame
F2	Built-in BBQ Summit S-660 Built-In Stainless Steel
F4	Play Structure Type 1 Mizar II Refer to Manufacturer Specification
F5	Play Structure Type 2 Spinner Refer to Manufacturer Specification
F6	Bike Rack Bola Bike Rack Stainless Steel
F7	Fire Bowl Halo 48 Elevated N/A
F8	Outdoor Sofa Left Module (029005) and Right Module (029003) Colour: D66 Bleach
F9	Metal Planters Boulder Bubblers N/A
F10	Metal Trellis Structure IPE Wood and Mild Steel Mild Steel to be Painted, Colour to be Charcoal
F11	Potting Bench IPE Wood Bench IPE Wood and Aluminium Frame
F12	Tool Storage IPE Wood Storage Unit IPE Wood and Aluminium Frame
F13	Compost Bins



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
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9	2020-07-06	Reissued for Development Permit
10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY
 RICHMOND, BC**

ADDRESS

DRAWING TITLE

**LAYOUT AND MATERIALS
 LEVEL 4**

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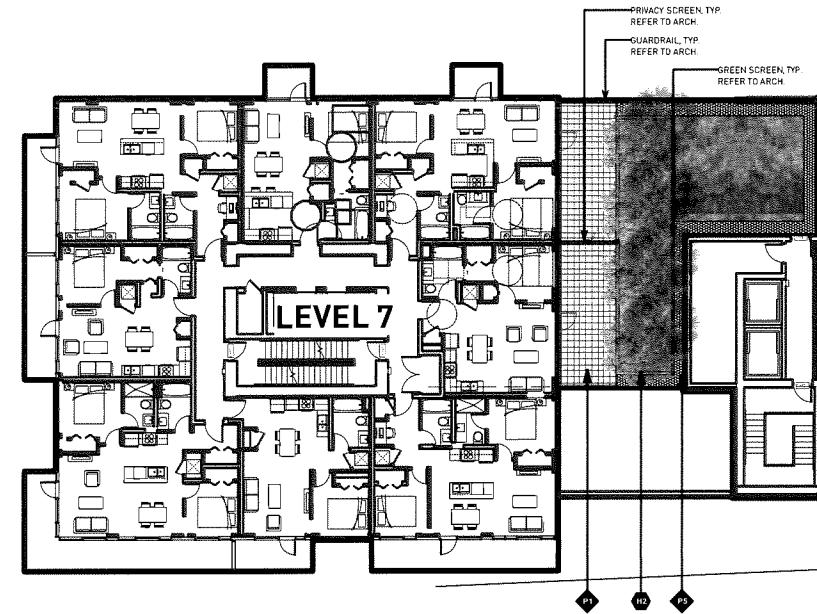
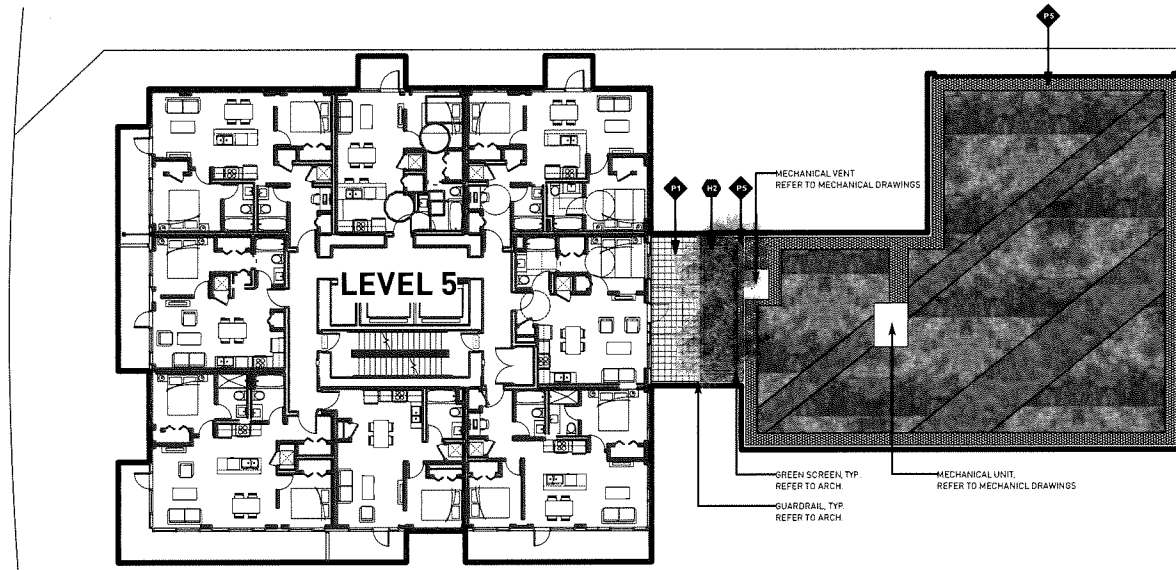
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PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-04-06
DRAWN	ZL,LC
REVIEWED	GB

DRAWING

L1.02

**DP 15-699652
 April 28, 2021
 PLAN #4 D**



HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
H1	Feature Planter Wall Corten Steel N/A
H2	Cast in Place Concrete Planter Wall CIP Concrete Wall Colour: Natural/Finish: Light Sand Blast
H3	Urban Agriculture Planter Metal Planter Powder Coated Black
H4	Stairs with Handrails and Tactile Warning CIP Concrete Stairs Colour: Natural/Finish: Light Sand Blast
H5	Cast in Place Concrete Ramp with Handrail and Tactile Warning CIP Concrete Ramp Colour: Natural/Finish: Light Sand Blast

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
P1	Hydrapressed Slabs Type 1 Texada Series, Unsealed Colour: Natural
P2	Hydrapressed Slabs Type 2 Texada Series, Unsealed Colour: Charcoal
P3	Hydrapressed Slabs Type 3 Standard Series Colour: Charcoal
P4	Hydrapressed Slabs Type 4 Standard Series Colour: Sand/Brown Blend
P5	Maintenance Strip River Rock Colour: Natural
P6	Composite Decking Transcend Series Colour: Havana Gold
P7	Granular Paving with Organic Binder Regular
P8	Feature Concrete Paving Coloured Concrete Colour: Davi's Colour, Broom Finish
P9	CIP Concrete Paving CIP Concrete Colour: Natural, Broom Finish
P10	Tile Everstone-Durastone Colour: Latte, Finish: Brushed Finish
P11	Stone Paving Black Tusk Basalt, Mortared in Place Flame Finish

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
F1	Timber Bench Type 1 Backless Neoliviano Bench Wood: Jarrah Wood, Exterior no finish
F2	Timber Bench Type 2 IPE Wood Bench IPE Wood and Aluminium Frame
F3	Built-in BBQ Summit S-660 Built-In Stainless Steel
F4	Play Structure Type 1 Mizar II Refer to Manufacturer Specification
F5	Play Structure Type 2 Spinner Refer to Manufacturer Specification
F6	Bike Rack Bola Bike Rack Stainless Steel
F7	Fire Bowl Halo 48 Elevated N/A
F8	Outdoor Sofa Left Module (029005) and Right Module (029003) Colour: 066 Bleach
F9	Metal Planters Boulder Bubblers N/A
F10	Metal Trellis Structure IPE Wood and Mild Steel Mild Steel to be Painted, Colour to be Charcoal
F11	Potting Bench IPE Wood Bench IPE Wood and Aluminium Frame
F12	Tool Storage IPE Wood Storage Unit IPE Wood and Aluminium Frame
F13	Compost Bins

DP 15-699652
April 28, 2021
PLAN #4 E

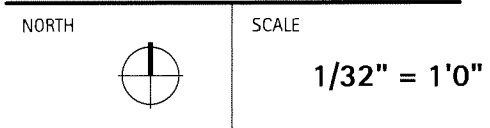


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9	2020-07-06	Reissued for Development Permit
10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT
8091 CAPSTAN WAY
RICHMOND, BC
ADDRESS

DRAWING TITLE
LAYOUT AND MATERIALS
LEVEL 5 & 7

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PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZL,LC
REVIEWED	GB

DRAWING
L1.03



HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
H1	Feature Planter Wall Corten Steel N/A
H2	Cast in Place Concrete Planter Wall CIP Concrete Wall Colour: Natural/Finish: Light Sand Blast
H3	Urban Agriculture Planter Metal Planter Powder Coated Black
H4	Stairs with Handrails and Tactile Warning CIP Concrete Stairs Colour: Natural/Finish: Light Sand Blast
H5	Cast in Place Concrete Ramp with Handrail and Tactile Warning CIP Concrete Ramp Colour: Natural/Finish: Light Sand Blast

PAVING MATERIALS LEGEND	
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F12	Tool Storage IPE Wood Storage Unit IPE Wood and Aluminium Frame
F13	Compost Bins

DP 15-699652
April 28, 2021
PLAN #4 F



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11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY
RICHMOND, BC**

ADDRESS

DRAWING TITLE

**LAYOUT AND MATERIALS
ROOF**

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NORTH



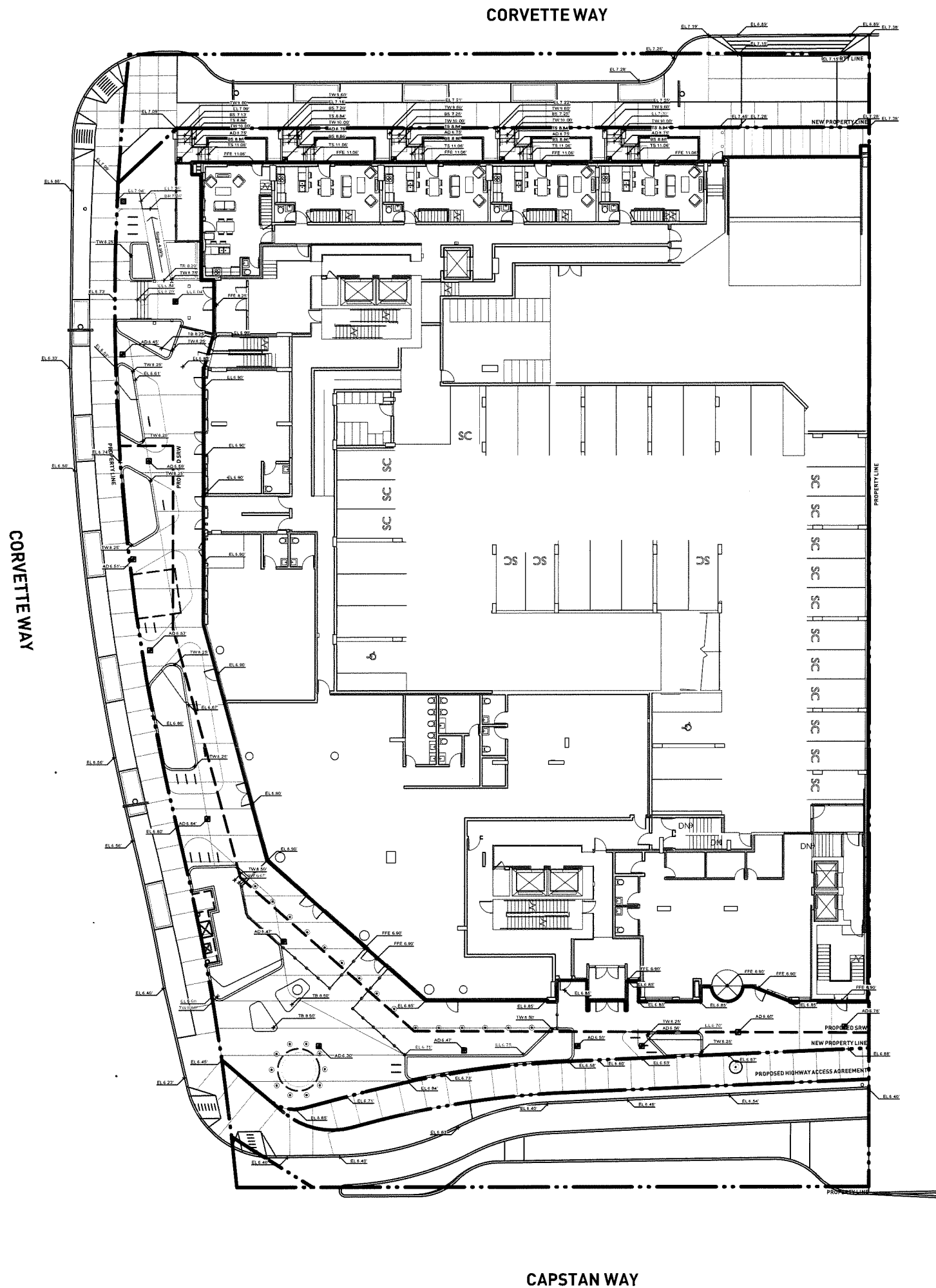
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PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-04-06
DRAWN	ZL,LC
REVIEWED	GB

DRAWING

L1.04



GRADING LEGEND

- EL 0.94m Existing Elevation
- EL 0.94m Proposed Elevation
- FFE 0.94m Finished Floor Elevation
- TW 0.94m Proposed Top of Wall Elevation
- BW 0.94m Proposed Bottom of Wall Elevation
- TS 0.94m Proposed Top of Stair Elevation
- BS 0.94m Proposed Bottom of Stair Elevation
- TC 0.94m Proposed Top of Curb Elevation
- BC 0.94m Proposed Bottom of Curb Elevation
- Area Drain
- Planter Drain
- Slab Drain

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.



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10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY
 RICHMOND, BC**
 ADDRESS

DRAWING TITLE

**GRADING PLAN
 GROUND LEVEL**

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NORTH SCALE **1/32" = 1'0"**

PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZL,LC
REVIEWED	GB

**DP 15-699652
 April 28, 2021
 PLAN #4 G**

DRAWING
L2.01

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
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11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY
 RICHMOND, BC**

ADDRESS

DRAWING TITLE

**GRADING PLAN
 LEVEL 4**

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NORTH



SCALE

1/32" = 1'0"

PROJECT NO. 15033

DATE 2019-05-10

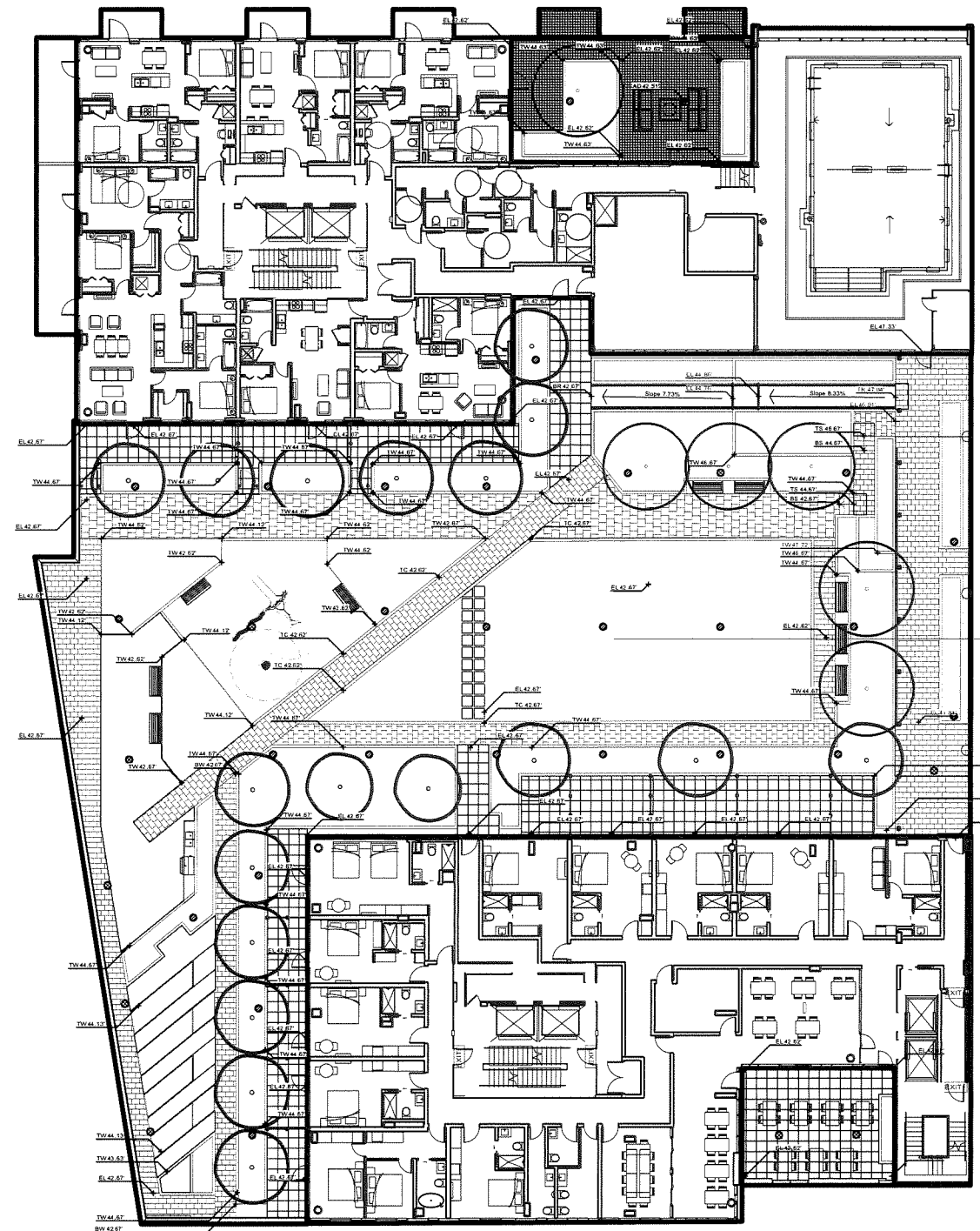
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PLOTTED 2021-03-30













DRAWN ZL,LC REVIEWED GB

DRAWING

L2.02



GRADING LEGEND

-  EL 0.94m Existing Elevation
-  EL 0.94m Proposed Elevation
-  FFE 0.94m Finished Floor Elevation
-  TW 0.94m Proposed Top of Wall Elevation
-  BW 0.94m Proposed Bottom of Wall Elevation
-  TS 0.94m Proposed Top of Stair Elevation
-  BS 0.94m Proposed Bottom of Stair Elevation
-  TC 0.94m Proposed Top of Curb Elevation
-  BC 0.94m Proposed Bottom of Curb Elevation
-  Area Drain
-  Planter Drain
-  Slab Drain

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

DP 15-699652
 April 28, 2021
 PLAN #4 H

REVISIONS AND ISSUES

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11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY
 RICHMOND, BC**

ADDRESS

DRAWING TITLE

**GRADING PLAN
 LEVEL 5 & 7**

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NORTH



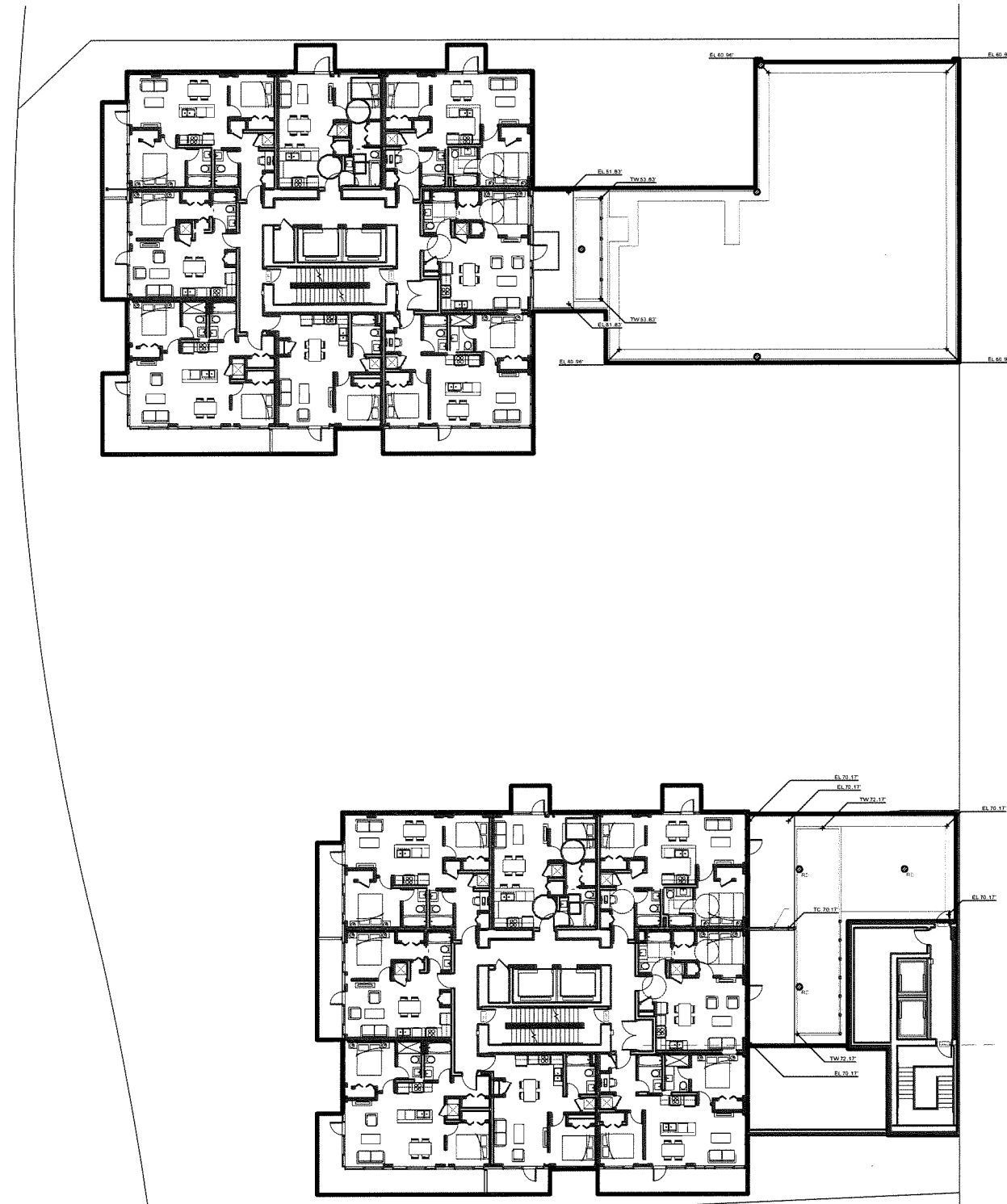
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











PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZL,LC
REVIEWED	GB

DRAWING

L2.03



GRADING LEGEND

-  Existing Elevation
-  Proposed Elevation
-  Finished Floor Elevation
-  Proposed Top of Wall Elevation
-  Proposed Bottom of Wall Elevation
-  Proposed Top of Stair Elevation
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-  Area Drain
-  Planter Drain
-  Slab Drain

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

DP 15-699652
 April 28, 2021
 PLAN #41

REVISIONS AND ISSUES

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11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY
 RICHMOND, BC**

ADDRESS

DRAWING TITLE

**GRADING PLAN
 ROOF**

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NORTH



SCALE

1/32" = 1'0"

PROJECT NO. 15033

DATE 2019-05-10

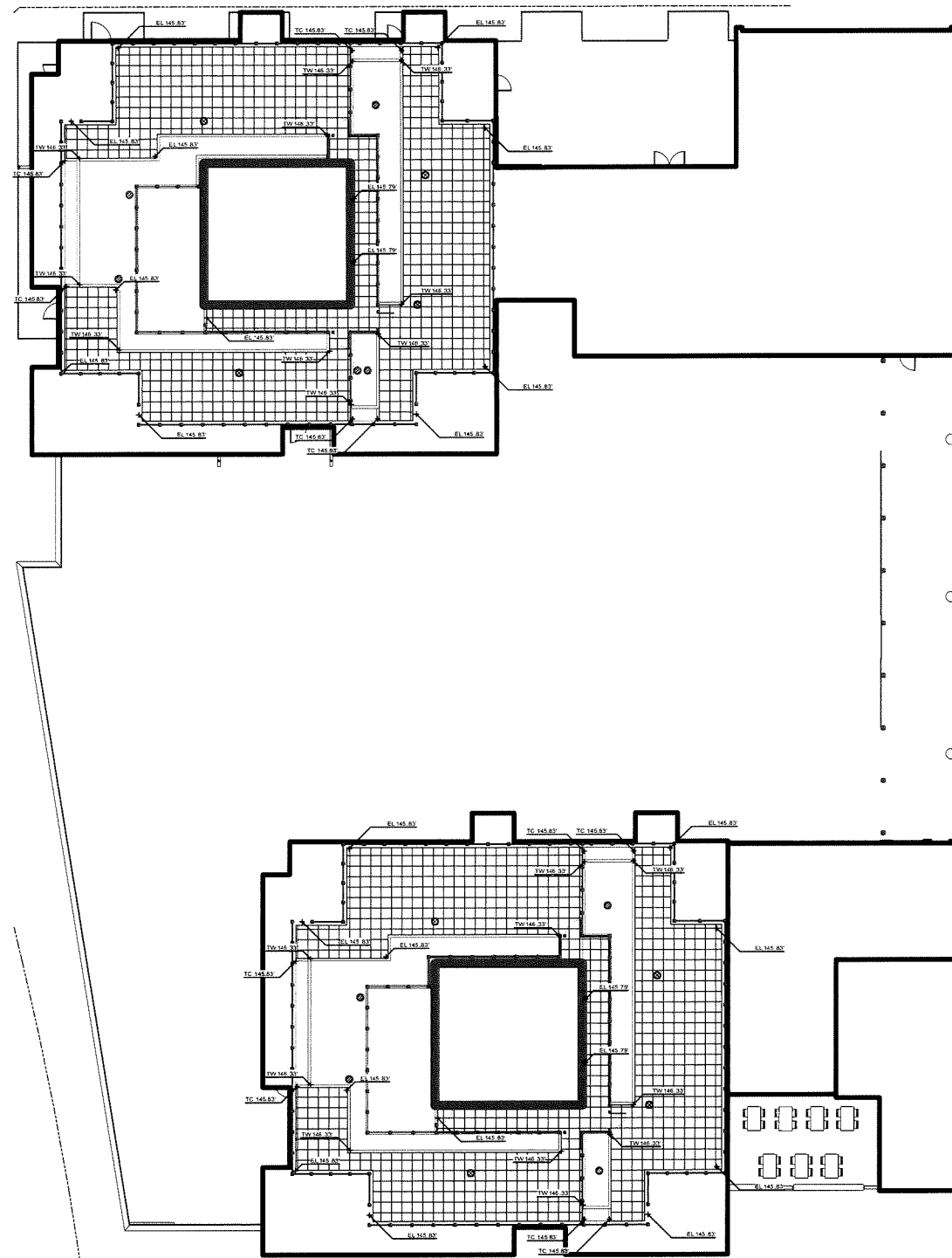
FILE NAME 15033 Plan.vwx

PLOTTED 2021-03-30












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DRAWING

L2.04



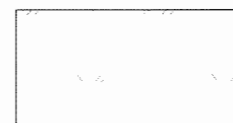
GRADING LEGEND

-  Existing Elevation
-  Proposed Elevation
-  Finished Floor Elevation
-  Proposed Top of Wall Elevation
-  Proposed Bottom of Wall Elevation
-  Proposed Top of Stair Elevation
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NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

**DP 15-699652
 April 28, 2021
 PLAN #4 J**

Plant List						
8091 CAPSTAN WAY						
ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees						
ACR	6	Acer circinatum	Vine Maple	3.0 m ht. (10'-0" ht.)	As Shown	B&B, Nursery grown, minimum 3 stems
APL	7	Acer palmatum 'Green'	Green Japanese Maple	3.0 m ht. x 1.8 m w. (10'ht. x 6'w.)	As Shown	B&B, Specimen and densely branched, no included bark
AXA	2	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4 cm cal. (1 1/2" cal.)	As Shown	B&B, Multi-stemmed, dense tree
MSL	3	Magnolia soulangiana	Saucer Magnolia	8 cm cal. (3" cal.)	As Shown	B&B, Well branched, dense tree
PPI	11	Parrotia persica 'Inge's Ruby Vase'	'IRV' Persian Ironwood	6 cm cal. (2-1/2" cal.)	As Shown	B&B, Straight trunk, uniform branching, 5' (1.5 m) std.
POR	2	Picea omorika	Serbian Spruce	3.5 m ht. (11'-6" ht.)	As Shown	B&B, Well branched, dense tree
SJI	8	Styrax japonica 'Pink Chimes'	Pink Chimes Japanese Snowbell	5 cm cal. (2" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8 m) std.
SOB	6	Styrax obassia	Fragrant Snowbell	5 cm cal. (2" cal.)	As Shown	B&B Uniform branching, dense tree, 6' (1.8 m) std.
Shrubs						
AUC	13	Arbutus unedo 'Compacta'	Compact Strawberry Tree	#3 pot	110cm (44")	Well established
AGP	797	Azalea 'Gumpo Pink'	Gumpo Pink Azalea	#2 pot	30cm (12")	Well established
BMW	84	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
CSJ	12	Camellia sasanqua 'Jean May'	Jean May Camellia	#3 pot	100cm (39")	Well established
CTR	12	Choisya ternata	Mexican Orange Blossom	#3 pot	90cm (36")	Well established
LPL	1028	Lonicera pileata	Privet Honeysuckle	#3 pot	45cm (18")	30 cm (12") spread
RHI	109	Rhododendron impeditum	Cloud Land Rhododendron	#2 pot	60cm (24")	Well established
SHH	135	Sarcococca hookeriana humilis	Himalayan Sarcococca	#2 pot	45 cm (18")	Well established
SJP	138	Skimmia japonica	Japanese Skimmia	#3 pot	60cm (24")	Well established
TXM	315	Taxus x media 'H.M.Eddie'	H.M.Eddie Yew	1.5m	50cm (20")	Well established, dense hedging plant / B & B
Ground Cover						
AUV	288	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads. Minimum 3 leads
PTM	262	Pachysandra terminalis	Japanese Spurge	#1 pot	38cm (15")	10cm (4") height
Perennials						
LHI	687	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	#2 pot	40 cm (16")	Well established
RBG	90	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#2 pot	45 cm (18")	Well established
Ornamental Grasses						
CID	712	Carex morrowii 'Ice Dance'	Variegated Sedge	#1 pot	38 cm (15")	Well established
HSM	93	Helictotrichon sempervirens	Blue Oat Grass	#1 pot	60 cm (24")	Well established
STT	132	Stipa tenuissima	Mexican Feather Grass	#1 pot	50cm [20"]	Well established



EXTENSIVE GREEN ROOF: 6" LIVE ROOF TRAY SYSTEM

PLANTING GENERAL NOTES

- ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS AND CANADIAN LANDSCAPE AND NURSERY ASSOCIATION.
- SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
- PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
- PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
- PLANTS WILL BE NUSERY GROWN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
- CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.



PWL Partnership Landscape Architects Inc
 5th Floor, East Asiatic House
 1201 West Pender Street
 Vancouver BC Canada V6E 2V2
 www.pwlpartnership.com
 T 604.688.6111
 F 604.688.6112

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
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8	2019-04-03	Issued for COR Review
9	2020-07-06	Reissued for Development Permit
10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY
 RICHMOND, BC**

ADDRESS

DRAWING TITLE

PLANT LIST

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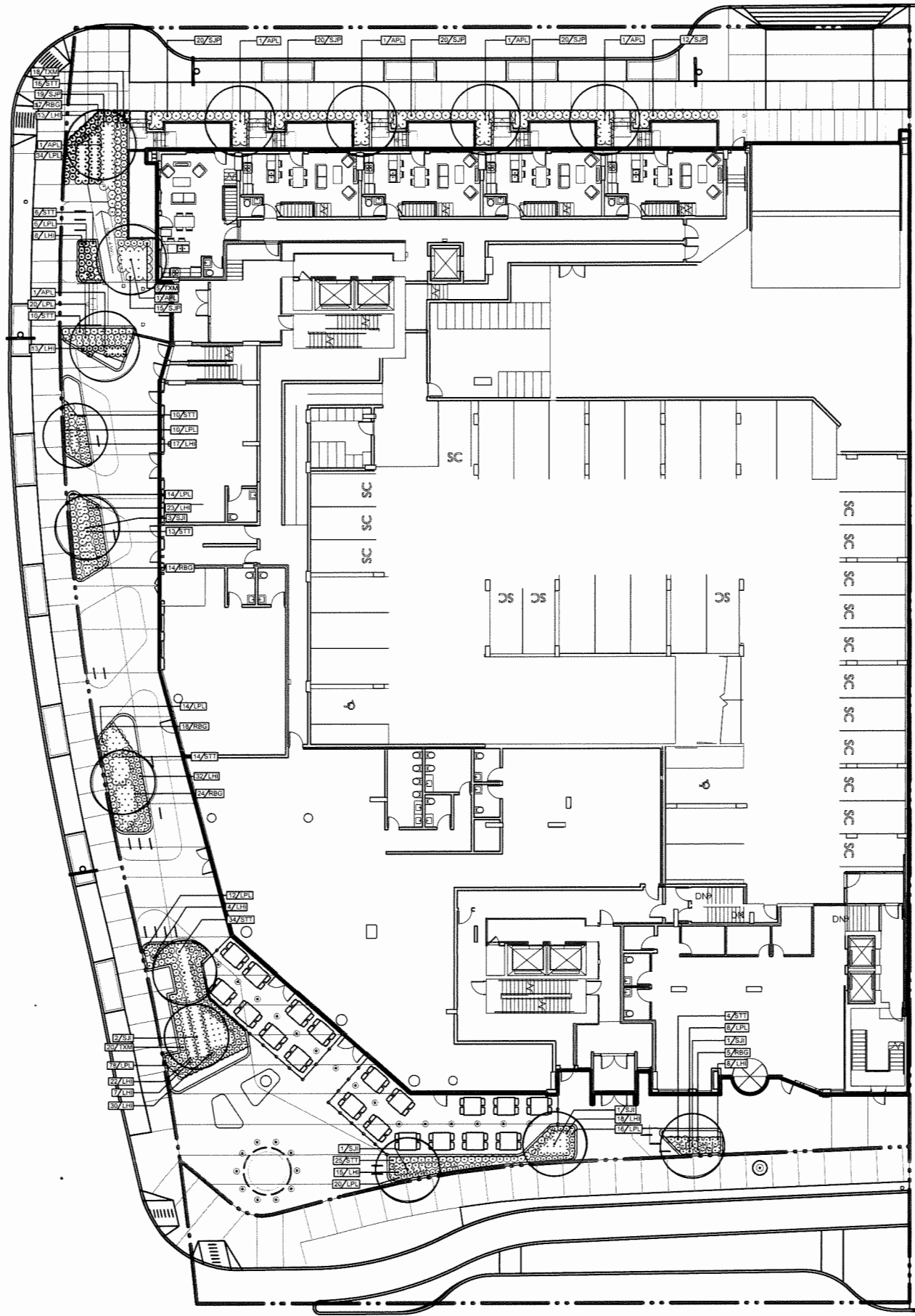
NORTH	SCALE
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PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZL,LC
REVIEWED	GB

**DP 15-699652
 April 28, 2021
 PLAN #4 K**

DRAWING

L3.00



REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
2	2017-12-04	Issued for ADP
3	2018-02-20	Reissued for Development Permit
4	2018-06-15	Issued for 30% Check Set
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9	2020-07-06	Reissued for Development Permit
10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT
8091 CAPSTAN WAY
RICHMOND, BC
 ADDRESS

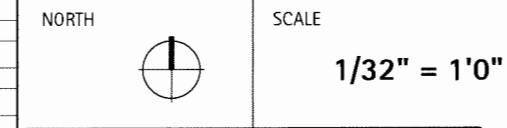
ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees						
ACR	6	Acer corinatum	Vine Maple	3.0 m ht. (10'-0" ht.)	As Shown	B&B. Nursery grown, minimum 3 stems
APL	7	Acer palmatum 'Green'	Green Japanese Maple	3.0 m ht. x 1.8 m w. (10ht. x 6w.)	As Shown	B&B. Specimen and densely branched, no included bark
AXA	2	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4 cm cal (1 1/2" cal.)	As Shown	B&B. Multi-stemmed, dense tree
MSL	3	Magnolia soulangiana	Saucer Magnolia	8 cm cal (3" cal.)	As Shown	B&B. Well branched, dense tree
PPI	11	Parrotia persica 'Inge's Ruby Vase'	'IRV' Persian Ironwood	6 cm cal (2-1/2" cal.)	As Shown	B&B. Straight trunk, uniform branching, 5' (1.5 m) std.
POR	2	Picea omorika	Serbian Spruce	3.5 m ht. (11'-6" ht.)	As Shown	B&B. Well branched, dense tree
SJI	8	Styrax japonica 'Pink Chimes'	Pink Chimes Japanese Snowbell	5 cm cal (2" cal.)	As Shown	B&B. Uniform branching, dense tree, 6' (1.8 m) std.
SOB	6	Styrax obassia	Fragrant Snowbell	5 cm cal (2" cal.)	As Shown	B&B. Uniform branching, dense tree, 5' (1.5 m) std.
Shrubs						
AUC	13	Arbutus unedo 'Compacts'	Compact Strawberry Tree	#3 pot	110cm (44")	Well established
AGP	797	Azalea 'Gumpo Pink'	Gumpo Pink Azalea	#2 pot	30cm (12")	Well established
BMW	84	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
CSJ	12	Camellia sasanqua 'Jean May'	Jean May Camellia	#3 pot	100cm (39")	Well established
CTR	12	Choisya ternata	Mexican Orange Blossom	#3 pot	90cm (36")	Well established
LPL	1028	Lonicera pileata	Privet Honeysuckle	#3 pot	45cm (18")	30 cm (12") spread
RHI	109	Rhododendron impeditum	Cloud Land Rhododendron	#2 pot	60cm (24")	Well established
SHH	135	Sarcococca hookeriana humilis	Himalayan Sarcococca	#2 pot	45 cm (18")	Well established
SJP	138	Skimmia japonica	Japanese Skimmia	#3 pot	60cm (24")	Well established
TXM	315	Taxus x media 'H.M. Eddie'	H.M. Eddie Yew	1.5m	50cm (20")	Well established, dense hedging plant / B & B
Ground Cover						
AUV	288	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads. Minimum 3 leads
PTM	262	Pachystandra terminalis	Japanese Spurge	#1 pot	38cm (15")	10cm (4") height
Perennials						
LHI	687	Levandula angustifolia 'Hidcote'	Hidcote Lavender	#2 pot	40 cm (16")	Well established
RBG	90	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#2 pot	45 cm (18")	Well established
Ornamental Grasses						
CID	712	Carex morrowii 'Ice Dance'	Variiegated Sedge	#1 pot	38 cm (15")	Well established
HSM	93	Helictotrichon sempervirens	Blue Oat Grass	#1 pot	60 cm (24")	Well established
STT	132	Stipa tenuissima	Mexican Feather Grass	#1 pot	50cm (20")	Well established

EXTENSIVE GREEN ROOF: 6" LIVE ROOF TRAY SYSTEM

DP 15-699652
 April 28, 2021
 PLAN #4L

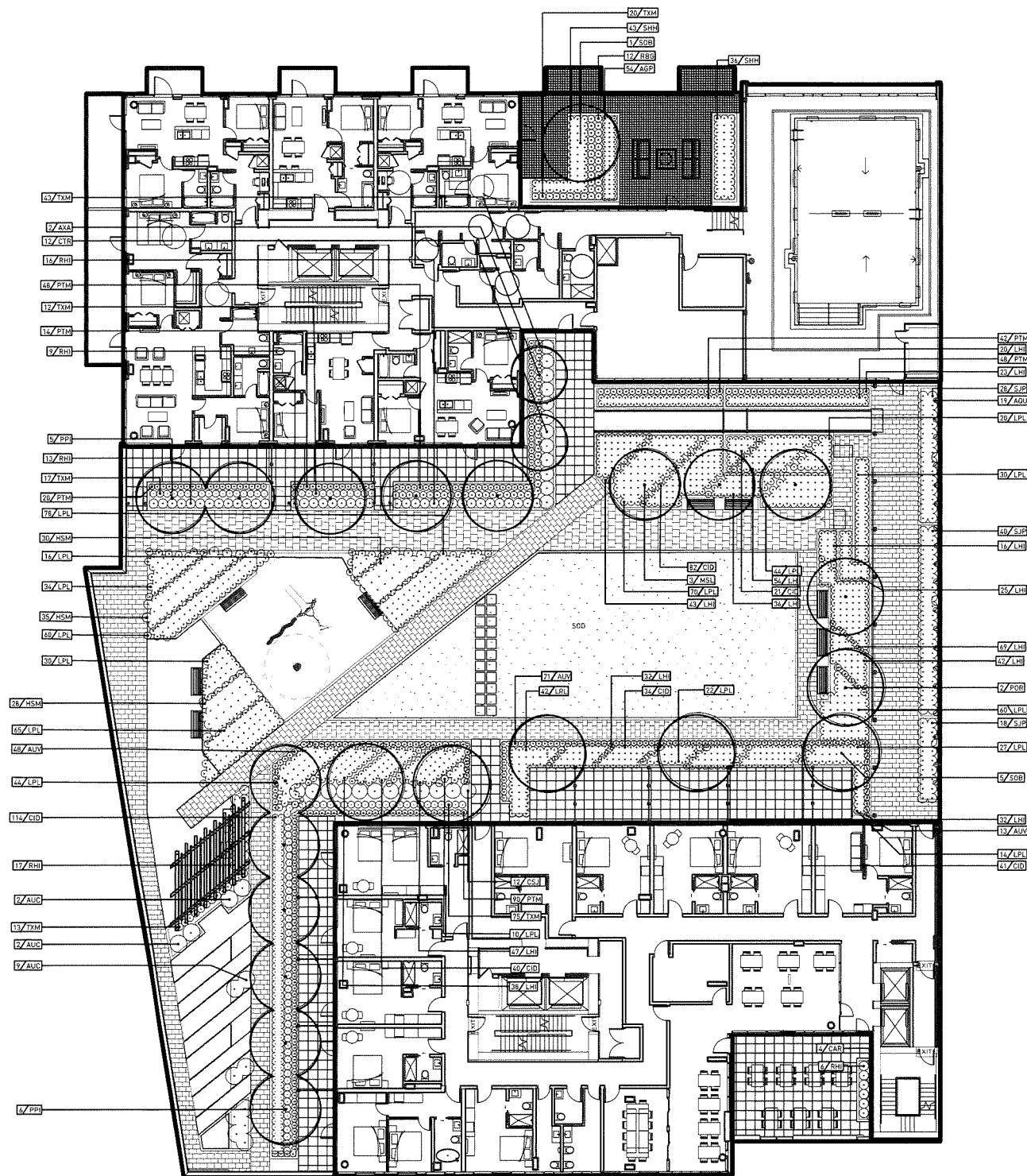
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PLANTING PLAN

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PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZL,LC
REVIEWED	GB

DRAWING
L3.01



REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
2	2017-12-04	Issued for ADP
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4	2018-06-15	Issued for 30% Check Set
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9	2020-07-06	Reissued for Development Permit
10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY
 RICHMOND, BC**

ADDRESS

DRAWING TITLE

PLANTING PLAN

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NORTH

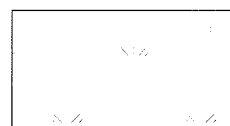


SCALE

1/32" = 1'0"

**Plant List
 15033 8091 CAPSTAN WAY RICHMOND, BC**

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees						
ACR	6	Acer circinatum	Vine Maple	3.0 m ht. [10'-0" ht.]	As Shown	B&B, Nursery grown, minimum 3 stems
APL	7	Acer palmatum 'Green'	Green Japanese Maple	3.0 m ht. x 1.8 m w. [10'ht. x 6'w.]	As Shown	B&B, Specimen and densely branched, no included bark
AXA	2	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4 cm cal. [1 1/2" cal.]	As Shown	B&B, Multi-stemmed, dense tree
WSL	3	Magnolia soulangeana	Saucer Magnolia	8 cm cal. [3" cal.]	As Shown	B&B, Well branched, dense tree
PPI	11	Parrotia persica 'Inge's Ruby Vase'	'IRV' Persian Ironwood	6 cm cal. [2-1/2" cal.]	As Shown	B&B, Straight trunk, uniform branching, 5' [11.5 m] std.
PDR	2	Picea omorika	Serbian Spruce	3.5 m ht. [11'-6" ht.]	As Shown	B&B, Well branched, dense tree
SJI	8	Styrax japonica 'Pink Chimes'	Pink Chimes Japanese Snowbell	5 cm cal. [2" cal.]	As Shown	B&B, Uniform branching, dense tree, 6' [1.8 m] std.
SDB	6	Styrax obassia	Fragrant Snowbell	5 cm cal. [2" cal.]	As Shown	B&B Uniform branching, dense tree, 6' [1.8 m] std.
Shrubs						
AUC	13	Arbutus unedo 'Compacta'	Compact Strawberry Tree	#3 pot	110cm [44"]	Well established
AGP	797	Azalea 'Gumpo Pink'	Gumpo Pink Azalea	#2 pot	30cm [12"]	Well established
BMW	84	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm [15"]	Well established
CSJ	12	Camellia sasanqua 'Jean May'	Jean May Camellia	#3 pot	100cm [39"]	Well established
CTR	12	Choisya ternata	Mexican Orange Blossom	#3 pot	90cm [36"]	Well established
LPL	1028	Lonicera pileata	Privet Honeysuckle	#3 pot	45cm [18"]	30 cm [12"] spread
RHI	81	Rhododendron impeditum	Cloud Land Rhododendron	#2 pot	60cm [24"]	Well established
SHH	211	Sarcococca hookeriana humilis	Himalayan Sarcococca	#2 pot	45 cm [18"]	Well established
SJP	224	Skimmia japonica	Japanese Skimmia	#3 pot	60cm [24"]	Well established
TXM	277	Taxus x media 'H.M. Eddie'	H.M. Eddie Yew	1.5m	50cm [20"]	Well established, dense hedging plant / B & B
Ground Cover						
AUV	288	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#1 pot	38cm [15"]	15cm [6"] leads, Minimum 3 leads
PTM	262	Pachysandra terminalis	Japanese Spurge	#1 pot	38cm [15"]	10cm [4"] height
Perennials						
LHI	687	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	#2 pot	40 cm [16"]	Well established
RBG	90	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#2 pot	45 cm [18"]	Well established
Ornamental Grasses						
CID	712	Carex morrowii 'Ice Dance'	Variegated Sedge	#1 pot	38 cm [15"]	Well established
HSM	93	Helictotrichon sempervirens	Blue Oat Grass	#1 pot	40 cm [24"]	Well established
STT	132	Stipa tenuissima	Mexican Feather Grass	#1 pot	50cm [20"]	Well established
Vines						
ADU	19	Akebia quinata	Five Leaf Akebia	#3 pot	As Shown	Staked, 1m [3'] leads
CAR	34	Clematis armandii	Evergreen Clematis	#2 pot	As Shown	Staked, full development



**EXTENSIVE GREEN ROOF: 6" LIVE ROOF TRAY SYSTEM
 ALL EXTENSIVE GREEN ROOF TO BE IRRIGATED WITH
 SPRAY IRRIGATION**

**DP 15-699652
 April 28, 2021
 PLAN #4 M**

DRAWING

L3.02

PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-04-06
DRAWN	ZLJC
REVIEWED	GB

LiveRoof Edge™

FERMALOC CORPORATION, 13505 BARRY STREET HOLLAND, MI 49424
 (800) 356-9660 PHONE: (616) 399-9600 FAX: (616) 399-9770 WWW.PERMALOC.COM

FOR USE WITH **LiveRoof**

ARCHITECT NOTE: CHECK OFF APPLICABLE SIZE & FINISH DESIRED

SIZE: ALL 8" (2.44M) LENGTHS W/ 0.250" (6.35MM) THICK EXPOSED TOP LIP

3" x 3.25' (76MM x 99MM) CMF: BL
 4.25" x 3.25' (108MM x 83MM) CMF: BL
 6.5" x 5.5' (165MM x 149MM) CMF: BL

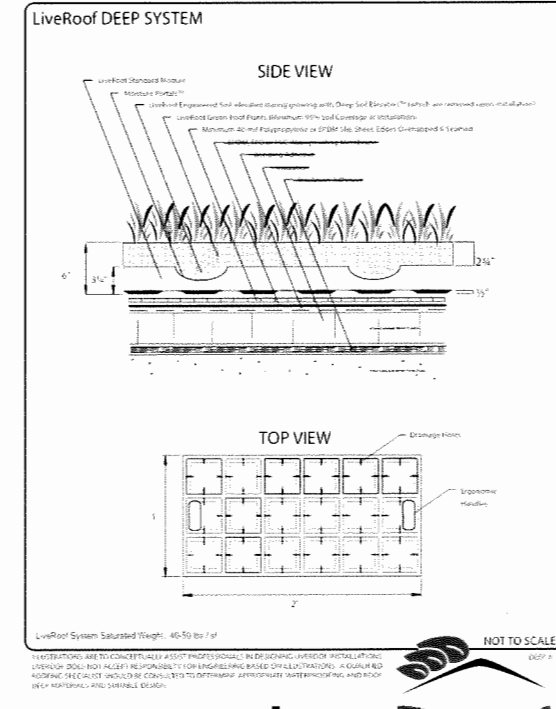
FINISH LEGEND:
 (M) MELL FINISH-NATURAL ALUMINUM
 (BL) BLACK DOWNEY-EX-4-EE; PROTECTIVELY APPLIED GRADE COAT; 16E15 ANNA 2007

NOTES:

1. INSTALLATION PER MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. IN ACCORDANCE WITH DESIGNER'S INSTRUCTIONS.
2. 6" (2" 4-AN) SECTIONS CONNECTED WITH 2 - 2.75" (70MM) SLIDING CONNECTORS.
3. CORNERS: REMOVE BASE TABS AND FORM A CONTINUOUS CORNER.
4. PERMALOC GEORGE AS MANUFACTURED BY PERMALOC CORPORATION HOLLAND MI (800) 356-9660 (616) 399-9600.
5. CONTRACTOR'S NOTE OR PROJECT MANUAL PURCHASING INFORMATION VISIT: WWW.PERMALOC.COM

*DESIGNER MAINTAINS ULTIMATE RESPONSIBILITY FOR VALIDITY AND SAFETY OF THE INSTALLATION.

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PWL partnership

gbl

PWL Partnership Landscape Architects Inc
 5th Floor, East Asiatic House
 1201 West Pender Street
 Vancouver BC, Canada V6E 2V2
 www.pwlpartnership.com
 T 604.688.6111
 F 604.688.6112

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
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11	2021-04-28	Reissued for DPP

1 GREEN ROOF DETAIL NTS

Plant List
8091 CAPSTAN WAY

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees						
ACR	6	Acer circinatum	Vine Maple	3.0 m ht. (10'-0" ht.)	As Shown	B&B, Nursery grown, minimum 3 stems
APL	7	Acer palmatum 'Green'	Green Japanese Maple	3.0 m ht. x 1.8 m w. (10'ht. x 6'w.)	As Shown	B&B, Specimen and densely branched, no included bark
AXA	2	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4 cm cal. (1 1/2" cal.)	As Shown	B&B, Multi-stemmed, dense tree
NSL	3	Magnolia soulangeana	Saucer Magnolia	6 cm cal. (2" cal.)	As Shown	B&B, Well branched, dense tree
PPI	11	Parrotia persica 'Inge's Ruby Vase'	'IRIV' Persian Ironwood	6 cm cal. (2-1/2" cal.)	As Shown	B&B, Straight trunk, uniform branching, 5' (1.5 m) std.
POR	2	Picea omorika	Serbian Spruce	3.5 m ht. (11'-6" ht.)	As Shown	B&B, Well branched, dense tree
SJI	8	Styrax japonica 'Pink Chimes'	Pink Chimes Japanese Snowbell	5 cm cal. (2" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8 m) std.
SOB	6	Styrax obassia	Fragrant Snowbell	5 cm cal. (2" cal.)	As Shown	B&B Uniform branching, dense tree, 6' (1.8 m) std.
Shrubs						
AUC	13	Arbutus unedo 'Compacta'	Compact Strawberry Tree	#3 pot	110cm (44")	Well established
ADP	797	Acacia Gumpo Pink	Gumpo Pink Acacia	#2 pot	30cm (12")	Well established
BMW	84	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
CSJ	12	Camellia sasanqua 'Jean May'	Jean May Camellia	#3 pot	100cm (39")	Well established
CTR	12	Choisya ternata	Mexican Orange Blossom	#3 pot	90cm (36")	Well established
LPL	1028	Lonicera pileata	Privet Honeysuckle	#3 pot	45cm (18")	30 cm (12") spread
RHI	109	Rhododendron impeditum	Claud Leno Rhododendron	#2 pot	80cm (24")	Well established
SHH	135	Sarcococca hookeriana humilis	Himalayan Sarcococca	#2 pot	45 cm (18")	Well established
SJP	138	Skimmia japonica	Japanese Skimmia	#3 pot	60cm (24")	Well established
TXM	315	Taxus x media 'H.M.Eddie'	H.M.Eddie Yew	1.5m	50cm (20")	Well established, dense hedging plant / B & B
Ground Cover						
ALV	288	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads. Minimum 3 leads
PTM	262	Pachysandra terminalis	Japanese Spurge	#1 pot	38cm (15")	10cm (4") height
Perennials						
LHI	687	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	#2 pot	40 cm (16")	Well established
RBG	90	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#2 pot	45 cm (18")	Well established
Ornamental Grasses						
GID	712	Carex momowii 'Ice Dance'	Variegated Sedge	#1 pot	38 cm (15")	Well established
HSM	93	Hellecostichon sempervirens	Blue Oat Grass	#1 pot	40 cm (24")	Well established
STT	132	Stipa tenuissima	Mexican Feather Grass	#1 pot	50cm (20")	Well established

PROJECT
8091 CAPSTAN WAY
RICHMOND, BC

ADDRESS

DRAWING TITLE
PLANTING PLAN

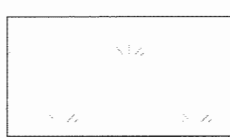
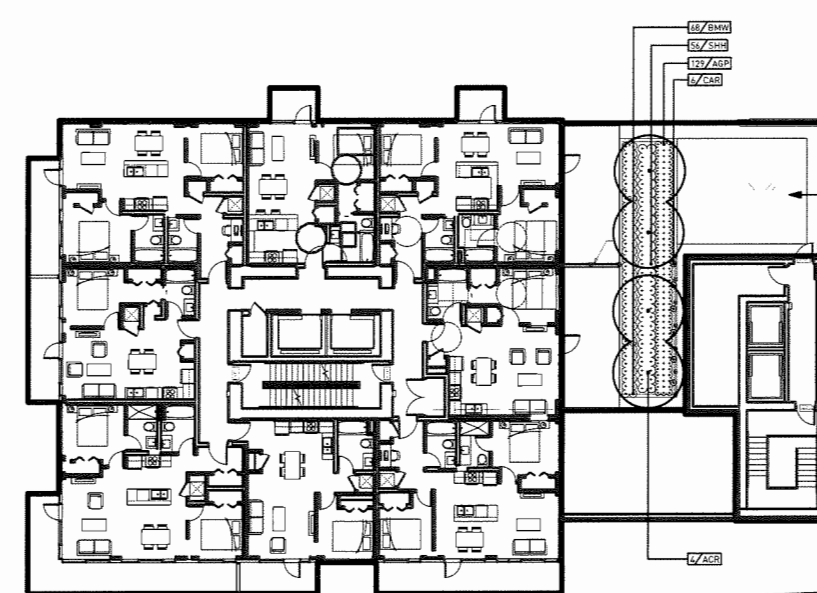
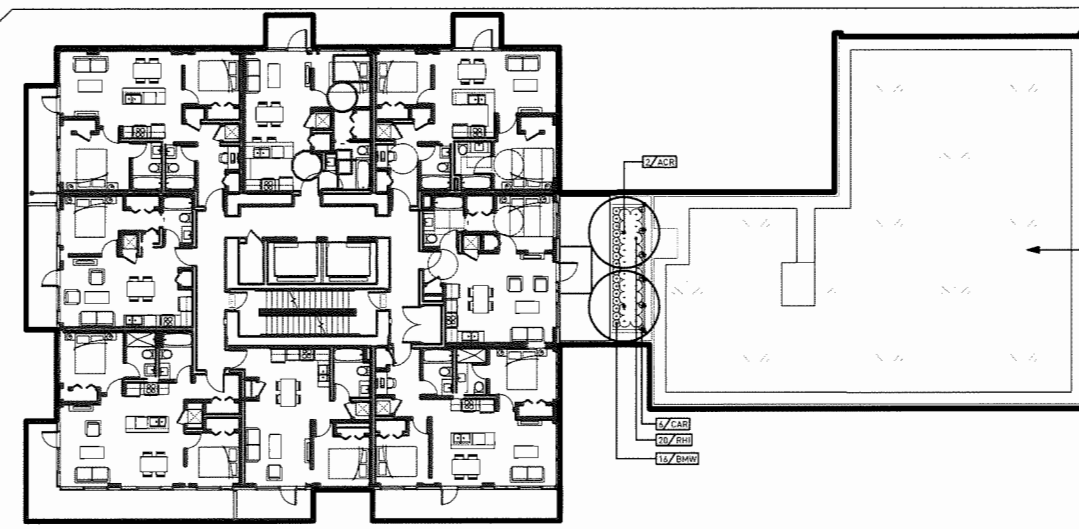
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NORTH

SCALE
1/32" = 1'0"

PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZL,LC
REVIEWED	GB

DRAWING
L3.03



EXTENSIVE GREEN ROOF: 6" LIVE ROOF TRAY SYSTEM

DP 15-699652
April 28, 2021
PLAN #4 N


REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
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10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT
8091 CAPSTAN WAY
RICHMOND, BC
 ADDRESS

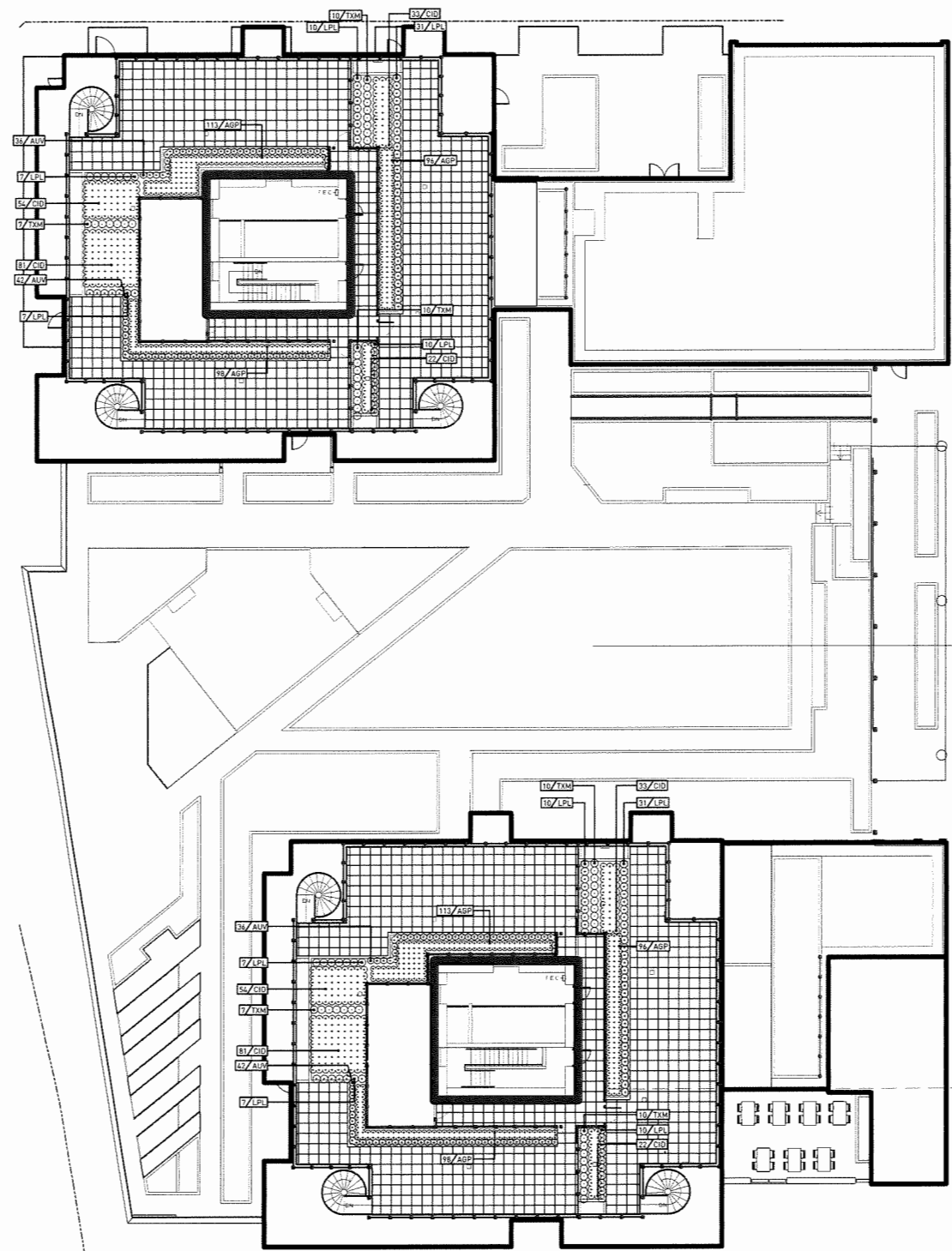
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PLANTING PLAN

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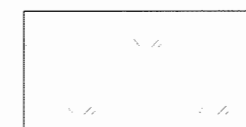
NORTH  SCALE
1/32" = 1'0"

PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZL,LC
REVIEWED	GB

DRAWING
L3.04

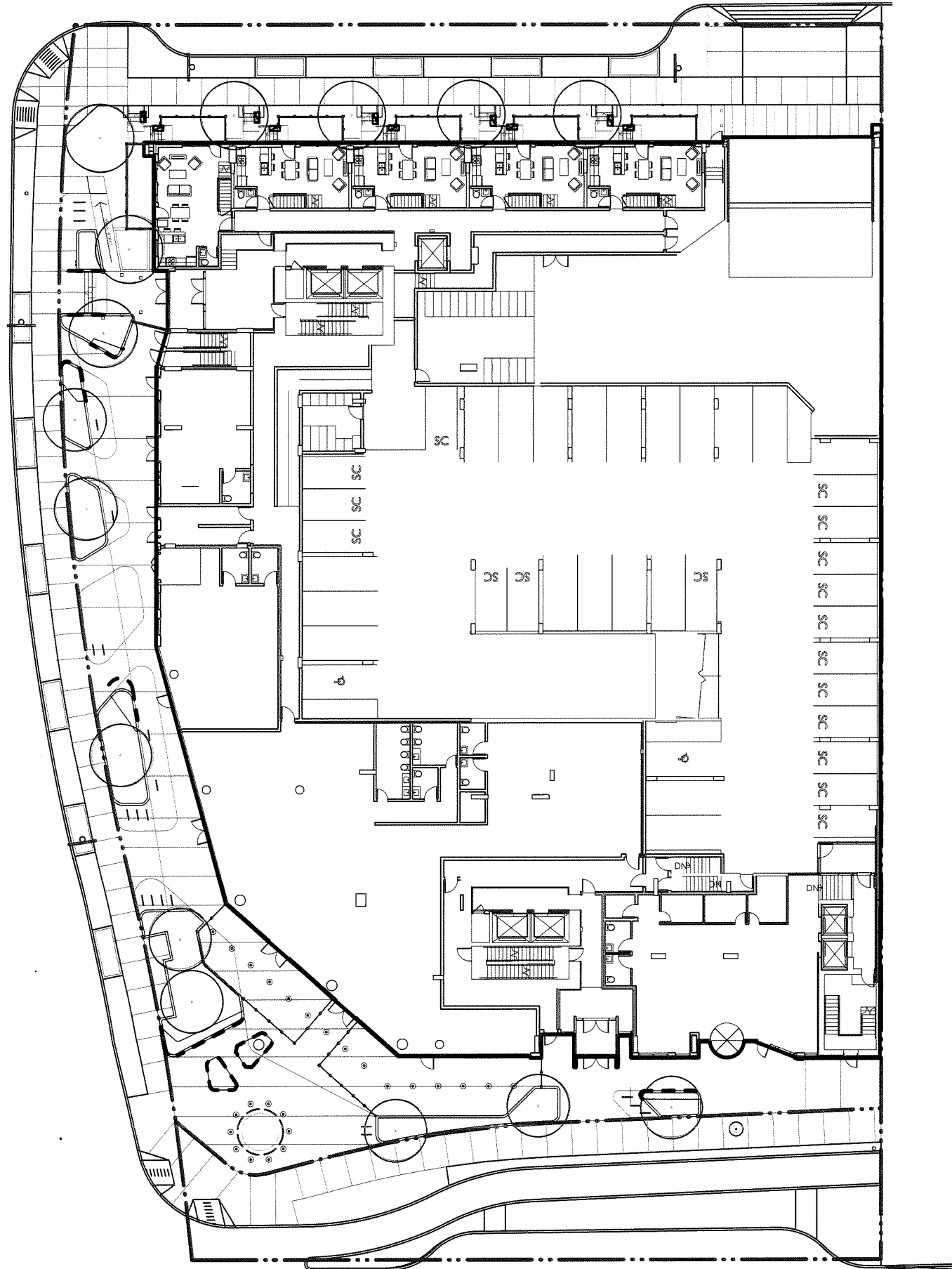


ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees						
ACR	6	Acer circinatum	Vine Maple	3.0 m ht. (10'-0" ht.)	As Shown	B&S, Nursery grown, minimum 3 stems
APL	7	Acer palmatum 'Green'	Green Japanese Maple	3.0 m ht. x 1.8 m w. (10'ht. x 6'w.)	As Shown	B&S, Specimen and densely branched, no included bark
AXA	2	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4 cm cal. (1 1/2" cal.)	As Shown	B&S, Multi-stemmed, dense tree
MSL	3	Magnolia soulangiana	Saucer Magnolia	8 cm cal. (3" cal.)	As Shown	B&S, Well branched, dense tree
PPI	11	Parrotia persica 'Inge's Ruby Vase'	'RV' Persian Ironwood	5 cm cal. (2-1/2" cal.)	As Shown	B&S, Straight trunk, uniform branching, 5' (1.5 m) std.
POR	2	Picea omorika	Serbian Spruce	3.5 m ht. (11'-6" ht.)	As Shown	B&S, Well branched, dense tree
SJI	8	Styrax japonica 'Pink Chimes'	Pink Chimes Japanese Snowbell	5 cm cal. (2" cal.)	As Shown	B&S, Uniform branching, dense tree, 6' (1.8 m) std.
SOB	6	Styrax obassia	Fragrant Snowbell	5 cm cal. (2" cal.)	As Shown	B&S Uniform branching, dense tree, 5' (1.5 m) std.
Shrubs						
AUC	13	Arbutus unedo 'Compacta'	Compact Strawberry Tree	#3 pot	110cm (44")	Well established
AGP	797	Azalea 'Gumpo Pink'	Gumpo Pink Azaleas	#2 pot	30cm (12")	Well established
BMW	84	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
CSJ	12	Camellia sasanqua 'Jean May'	Jean May Camellia	#3 pot	100cm (39")	Well established
CTR	12	Choisya ternata	Mexican Orange Blossom	#3 pot	90cm (36")	Well established
LPL	1028	Lonicera pileata	Privet Honeysuckle	#3 pot	45cm (18")	30 cm (12") spread
RHI	109	Rhododendron impeditum	Cloud Land Rhododendron	#2 pot	60cm (24")	Well established
SHI	135	Sarcococca hookeriana humilis	Himalayan Sarcococca	#2 pot	45 cm (18")	Well established
SJP	138	Skimmia japonica	Japanese Skimmia	#3 pot	60cm (24")	Well established
TXM	315	Taxus x media 'H.M. Eddie'	H.M. Eddie Yew	1.5m	50cm (20")	Well established, dense hedging plant / B & B
Ground Cover						
AUV	288	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads. Minimum 3 leads
PTM	262	Pachysandra terminalis	Japanese Spurge	#1 pot	38cm (15")	10cm (4") height
Perennials						
LHI	687	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	#2 pot	40 cm (16")	Well established
RBG	90	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#2 pot	45 cm (18")	Well established
Ornamental Grasses						
CID	712	Carex morrowii 'Ice Dance'	Variegated Sedge	#1 pot	38 cm (15")	Well established
HSM	93	Helictotrichon sempervirens	Blue Oat Grass	#1 pot	60 cm (24")	Well established
STT	132	Sloea tenuissima	Mexican Feather Grass	#1 pot	50cm (20")	Well established



EXTENSIVE GREEN ROOF: 6" LIVE ROOF TRAY SYSTEM

DP 15-699652
April 28, 2021
PLAN #40



LIGHTING LEGEND

DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION BETWEEN CONTRACTORS.

REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR FIXTURE TYPES AND LAYOUT, CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONSULTANT FOR COMMENTS.

	TYPE 1 - IN-GROUND LIGHT	
	TYPE 2 - STEP LIGHT/WALL LIGHT	
	TYPE 3 - UP LIGHT	
	TYPE 4 - LED ROPE LIGHT	
	TYPE 5 - 42" HT LIGHTING BOLLARD	
	TYPE 6 - IN GROUND FLUSH LIGHT	
	OUTLET FOR SEASONAL LIGHTING	



gbI

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FAX: 604.688.6112

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10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY
RICHMOND, BC**

ADDRESS

DRAWING TITLE

LIGHTING PLAN

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NORTH SCALE

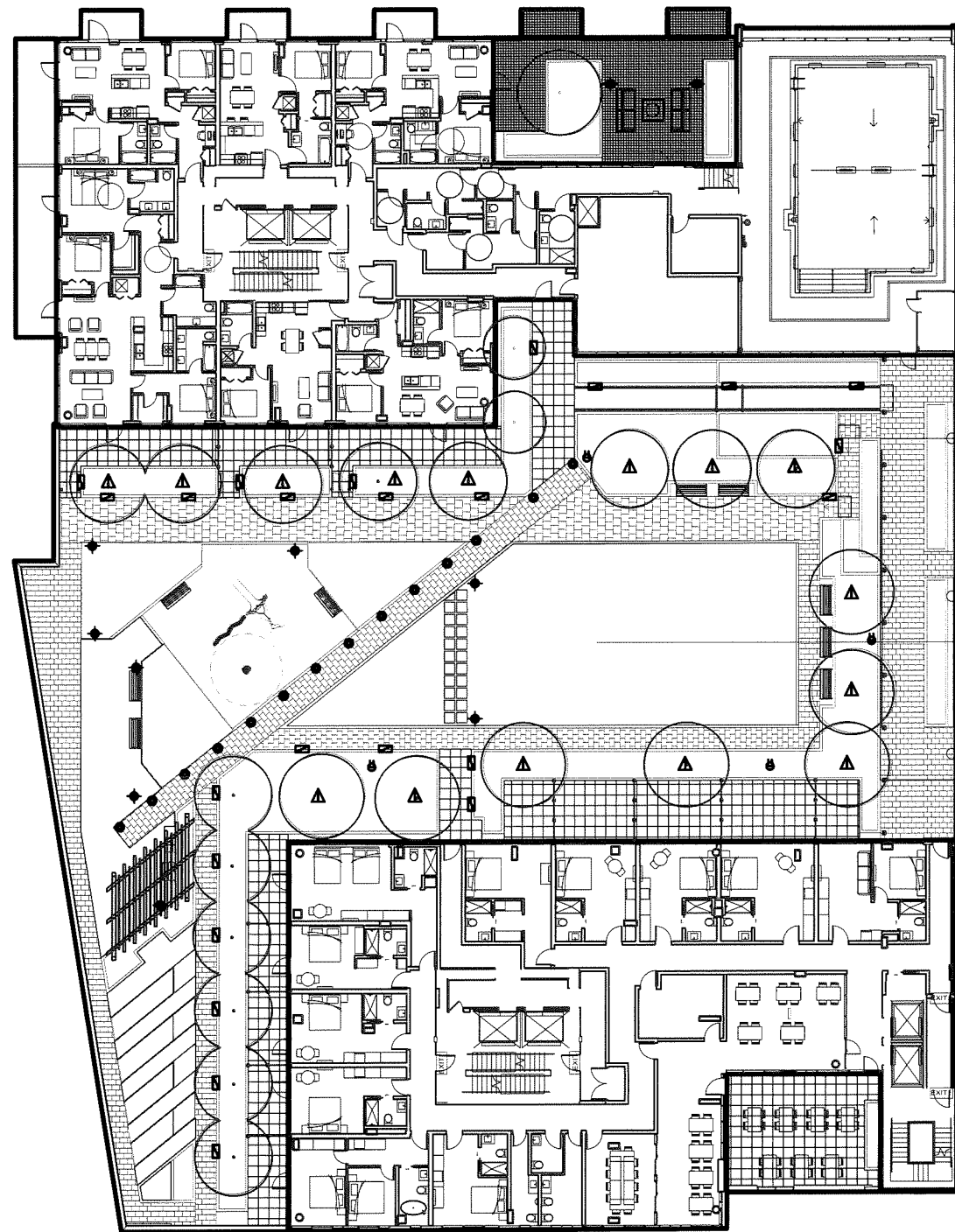
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PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZL,LC
REVIEWED	GB

**DP 15-699652
April 28, 2021
PLAN #4 P**

DRAWING

L4.01



LIGHTING LEGEND		
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PROJECT
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RICHMOND, BC
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DRAWING TITLE
LIGHTING PLAN

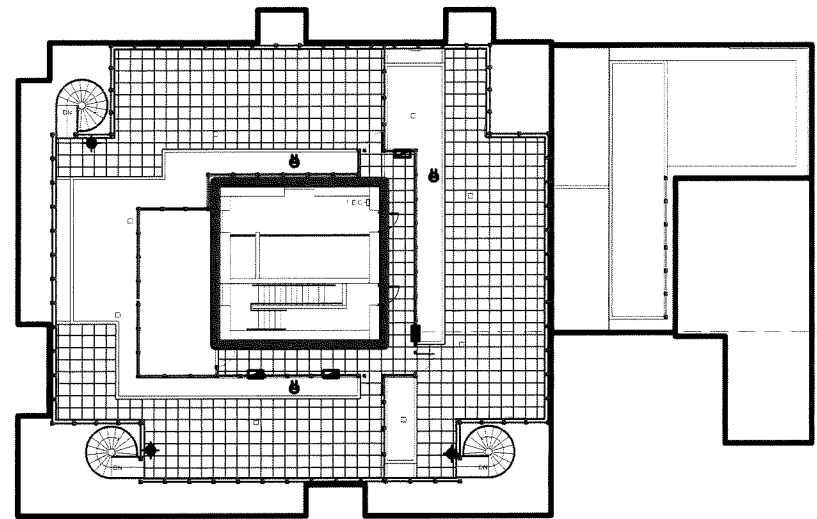
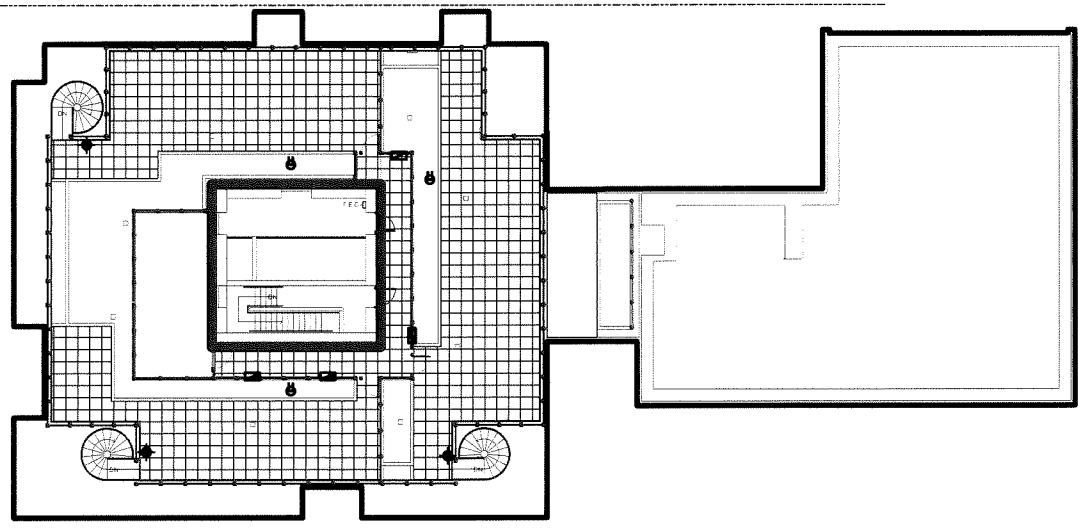
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NORTH SCALE
 1/32" = 1'0"

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REVIEWED	GB

DP 15-699652
 April 28, 2021
 PLAN #4 Q

DRAWING
L4.02



LIGHTING LEGEND

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	OUTLET FOR SEASONAL LIGHTING	



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LIGHTING PLAN

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NORTH		SCALE	1/32" = 1'0"
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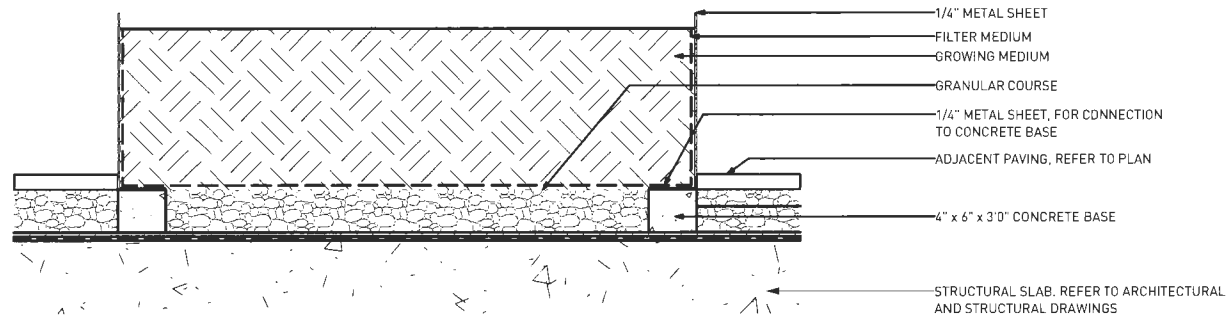
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REVIEWED	GB

**DP 15-699652
April 28, 2021
PLAN #4 R**

DRAWING
L4.03

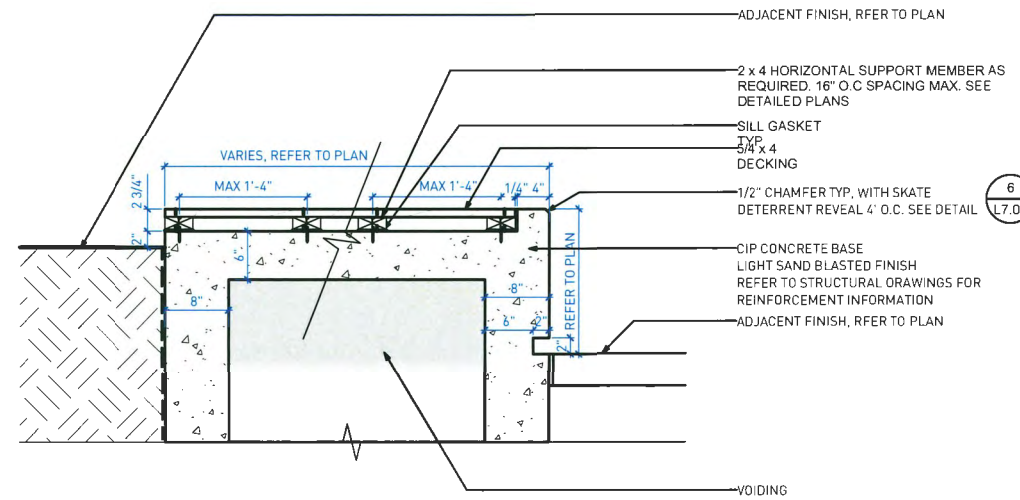
NOTES:

1. CONTRACTOR TO PROVIDE URBAN AGRICULTURE PLANTER SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
2. PLANTER DIMENSIONS VARY, REFER TO LAYOUT AND GRADING PLANS

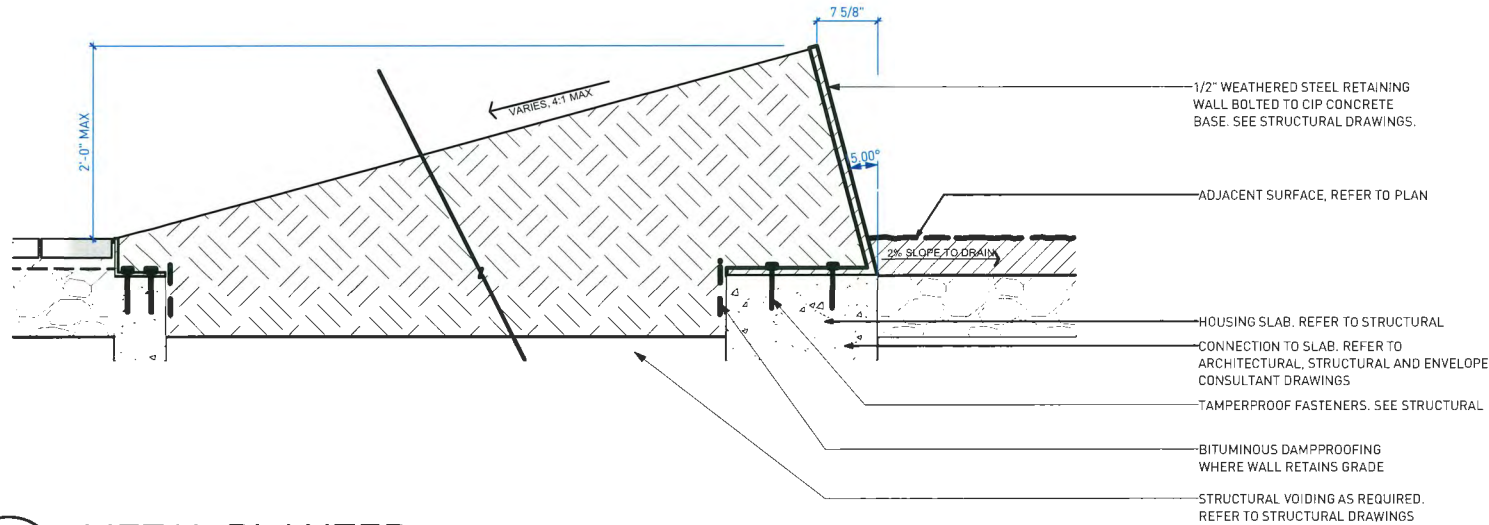


1 METAL URBAN AGRICULTURE PLANTER
 1/2" = 1'0"

NOTE:
 ALL METAL WORK IS TO BE DESIGNED BY CONTRACTOR'S STRUCTURAL ENGINEER IN ACCORDANCE WITH CURRENT BCBC. PROVIDE ENGINEERED STAMPEO SHOP DRAWINGS AND SCHEDULES FOR METAL WORK.

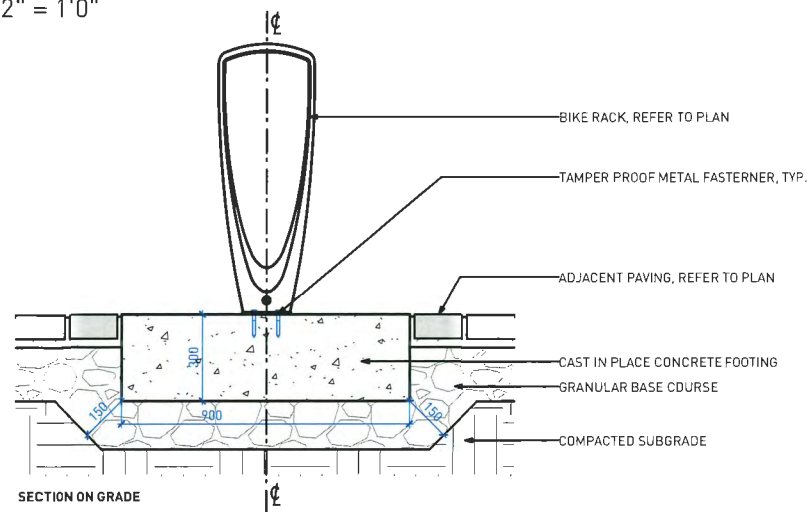


4 TIMBER BENCH TOPPER
 1/2" = 1'0"



2 METAL PLANTER
 1/2" = 1'0"

NOTE:
 REFER TO MANUFACTURER SPECIFICATION FOR ATTACHMENT INFORMATION.



NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO

3 BIKE RACK
 1/2" = 1'0"

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4	18-12-03	ISSUED FOR BUILDING PERMIT
5	19-3-28	Issued for 80% IFC


PROJECT
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ADDRESS

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DETAILS

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NORTH  **SCALE**
AS SHOWN

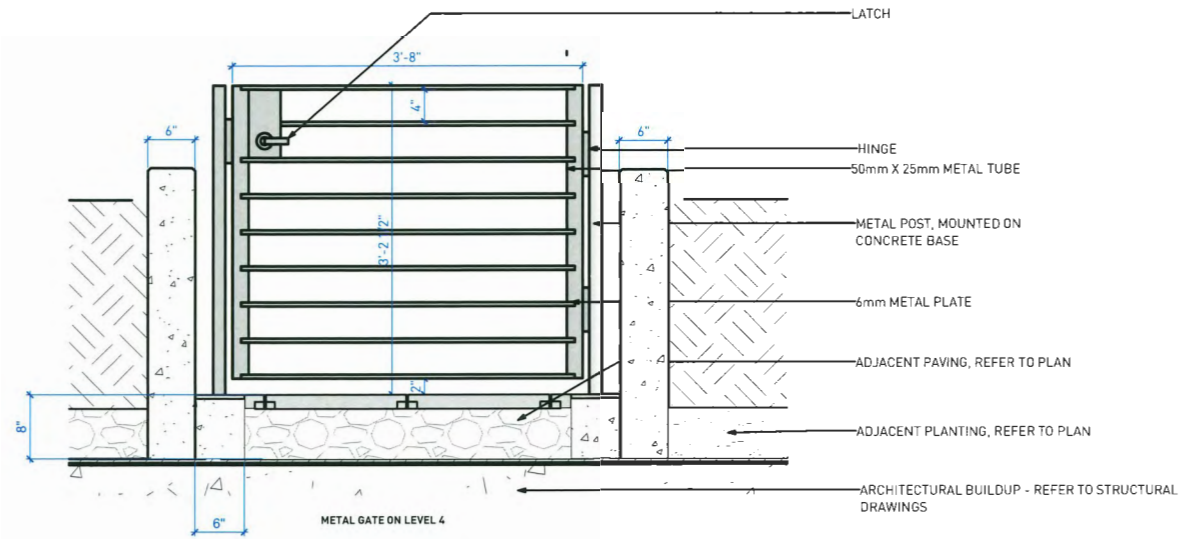
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FILE NAME	15033 Detail.vwx
PLOTTED	2021-03-30
DRAWN	FMD/LC/ZL
REVIEWED	GB

DRAWING
L5.01

DP 15-699652
April 28, 2021
PLAN #4S

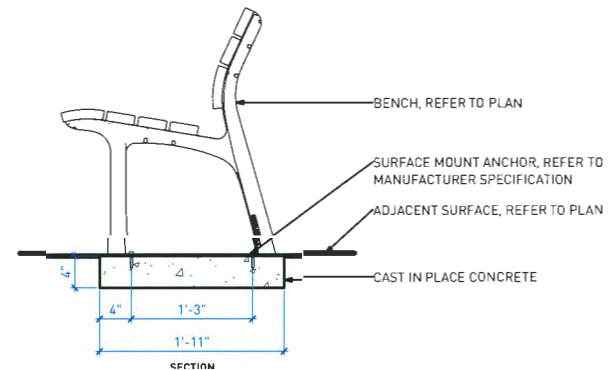
NOTES:

1. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
2. FINISH AND COLOUR TO MATCH ARCHITECTURAL GUARARAIL/HANDRAIL.
3. GATE LATCH AND HINGE HARDWARE TO BE OF THE SAME MANUFACTURER AND QUALITY GRADE AS BUILDING EXTERIOR DOORS SUBMIT PRODUCT CUT SHEETS TO CONSULTANT FOR REVIEW.
4. MATERIAL TO BE ALUMINIUM.

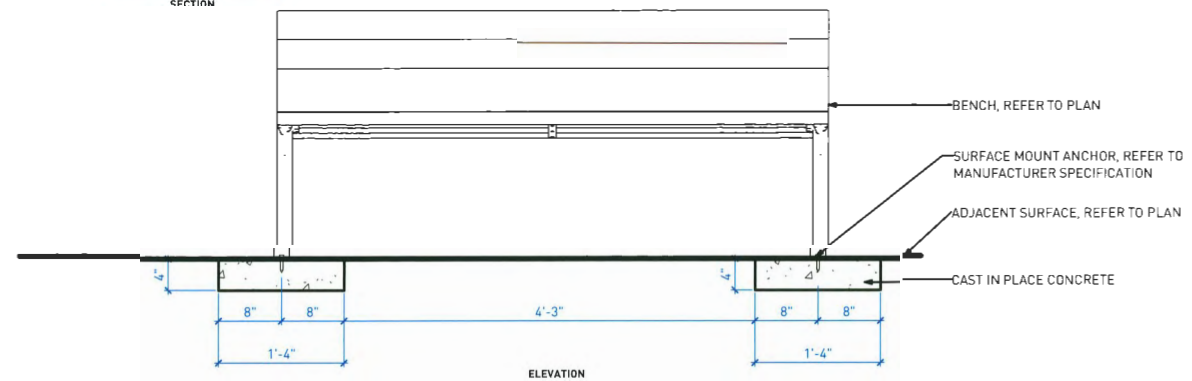


METAL GATE ON LEVEL 4

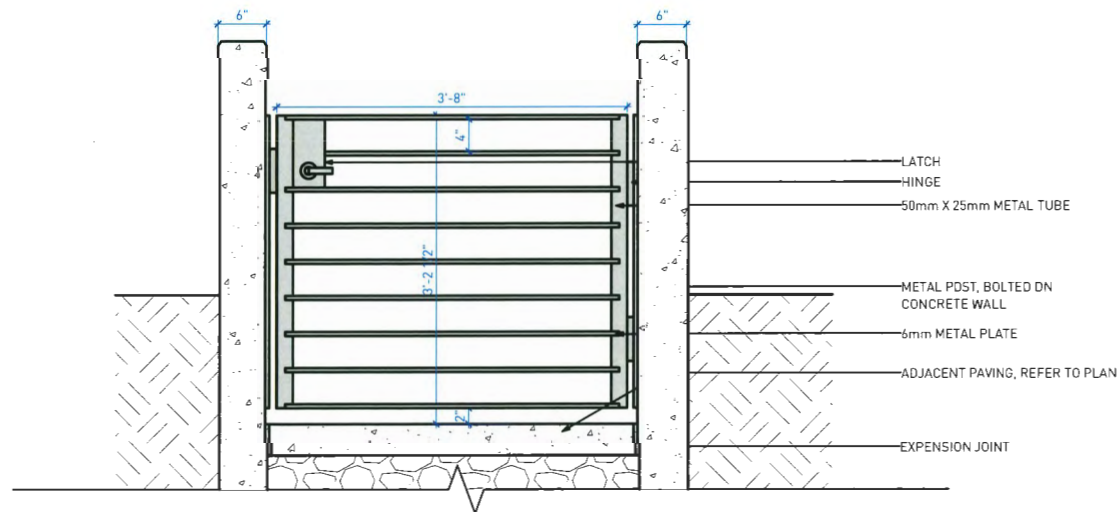
NOTE:
REFER TO MANUFACTURER SPECIFICATION FOR ATTACHMENT INFORMATION.



NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO



ELEVATION



METAL GATE ON GROUND FLOOR

1 METAL ENTRY GATES
1/2" = 1'0"

2 BENCH
1/2" = 1'0"

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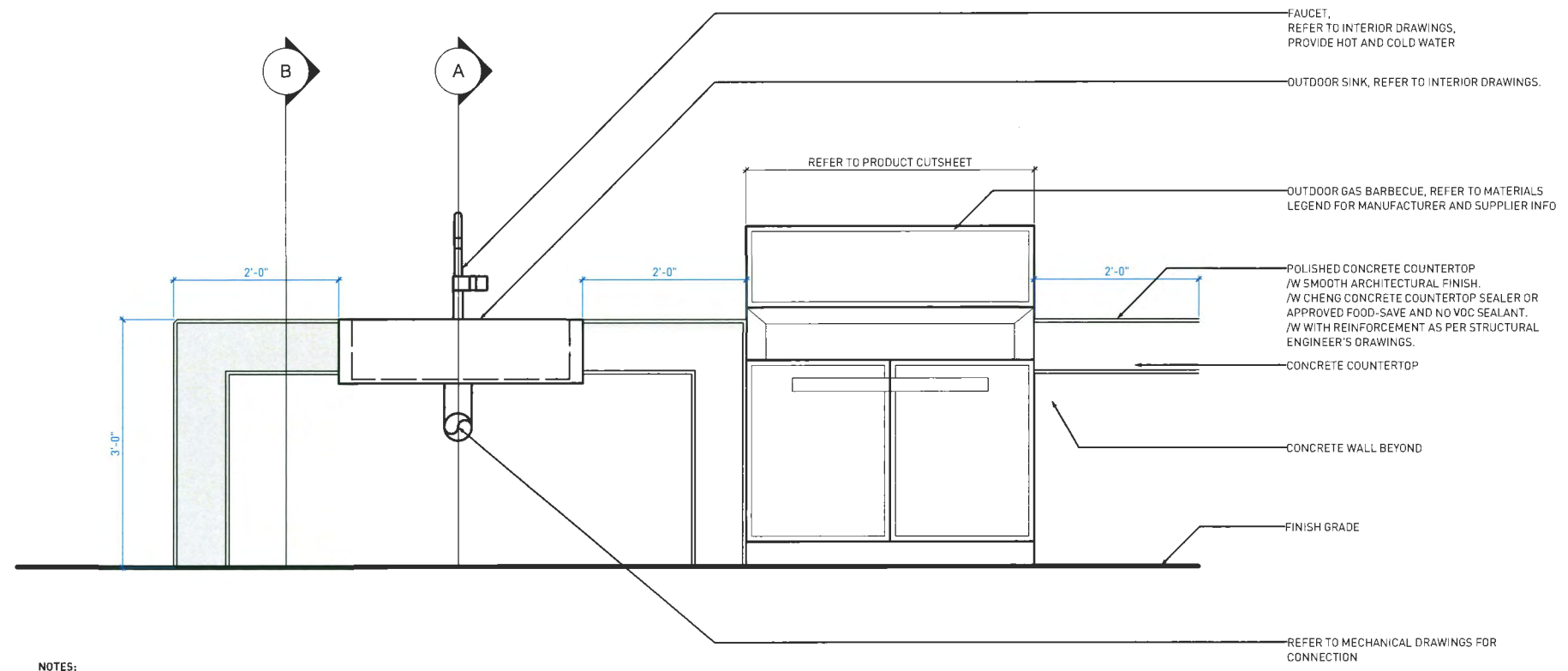
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	AS SHOWN

PROJECT NO.	15033
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FILE NAME	15033 Detail.vwx
PLOTTED	2021-03-30
DRAWN	FMD/LC/ZL
REVIEWED	GB

DRAWING

L5.02

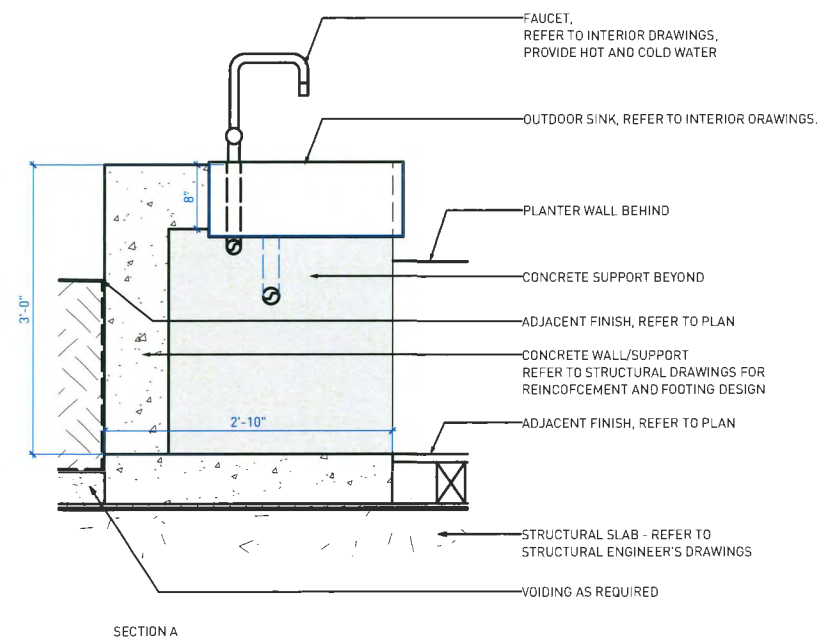
DP 15-699652
April 28, 2021
PLAN #4T



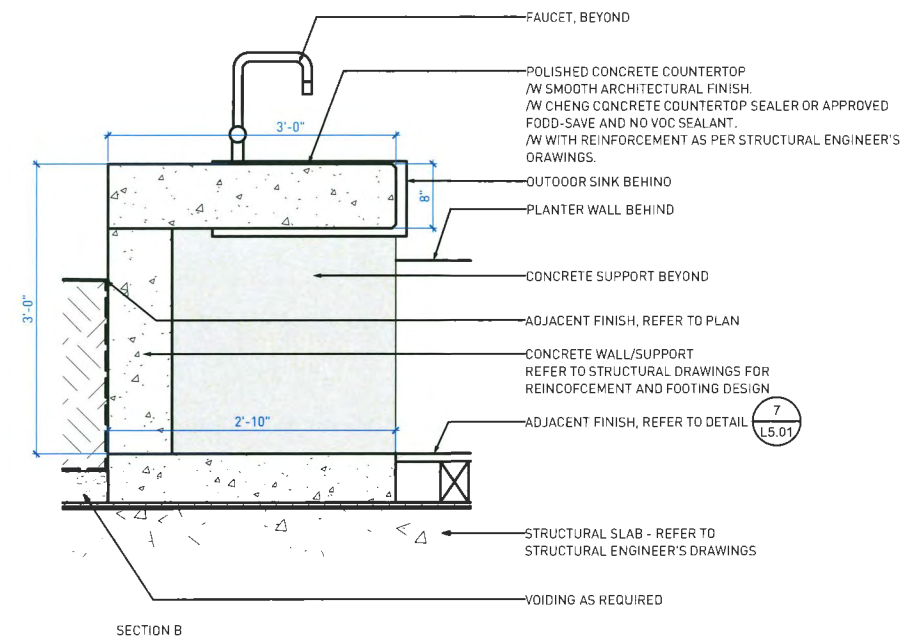
- GENERAL NOTES:**
1. PROVIDE HOT AND COOL WATER FOR SINK.
 2. PROVIDE OUTDOOR SINK SHOP DRAWINGS FOR CONSULTANT REVIEW PRIOR TO CONSTRUCTION
 3. REFER TO MECHANICAL DRAWINGS FOR GAS AND WATER CONNECTIONS
 4. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL CONNECTIONS

NOTES:
 CONTRACTOR TO VERIFY BBQ AND SINK SELECTION DIMENSIONS PRIOR TO INSTALLATION

ELEVATION



SECTION A



SECTION B

REVISIONS AND ISSUES

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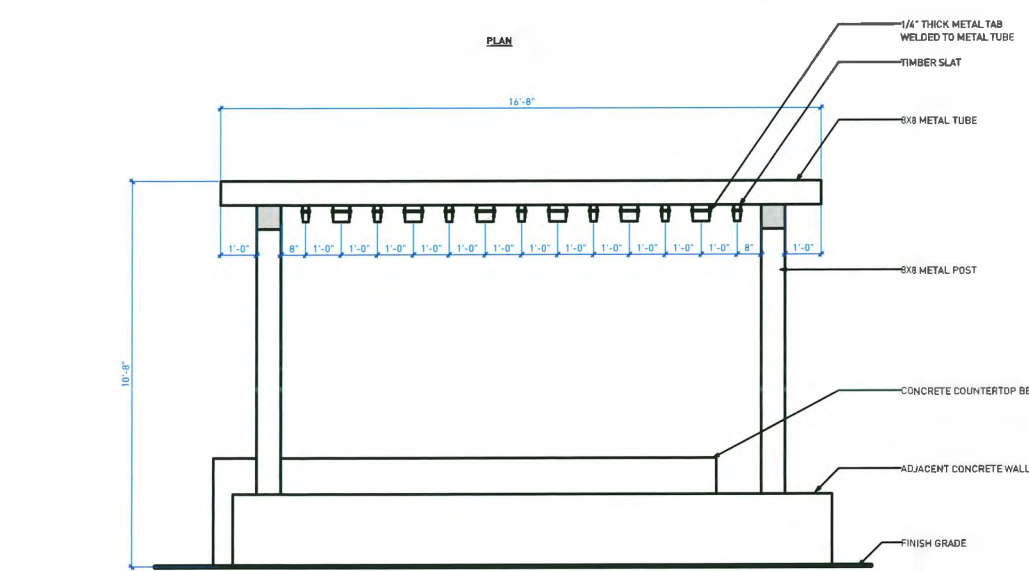
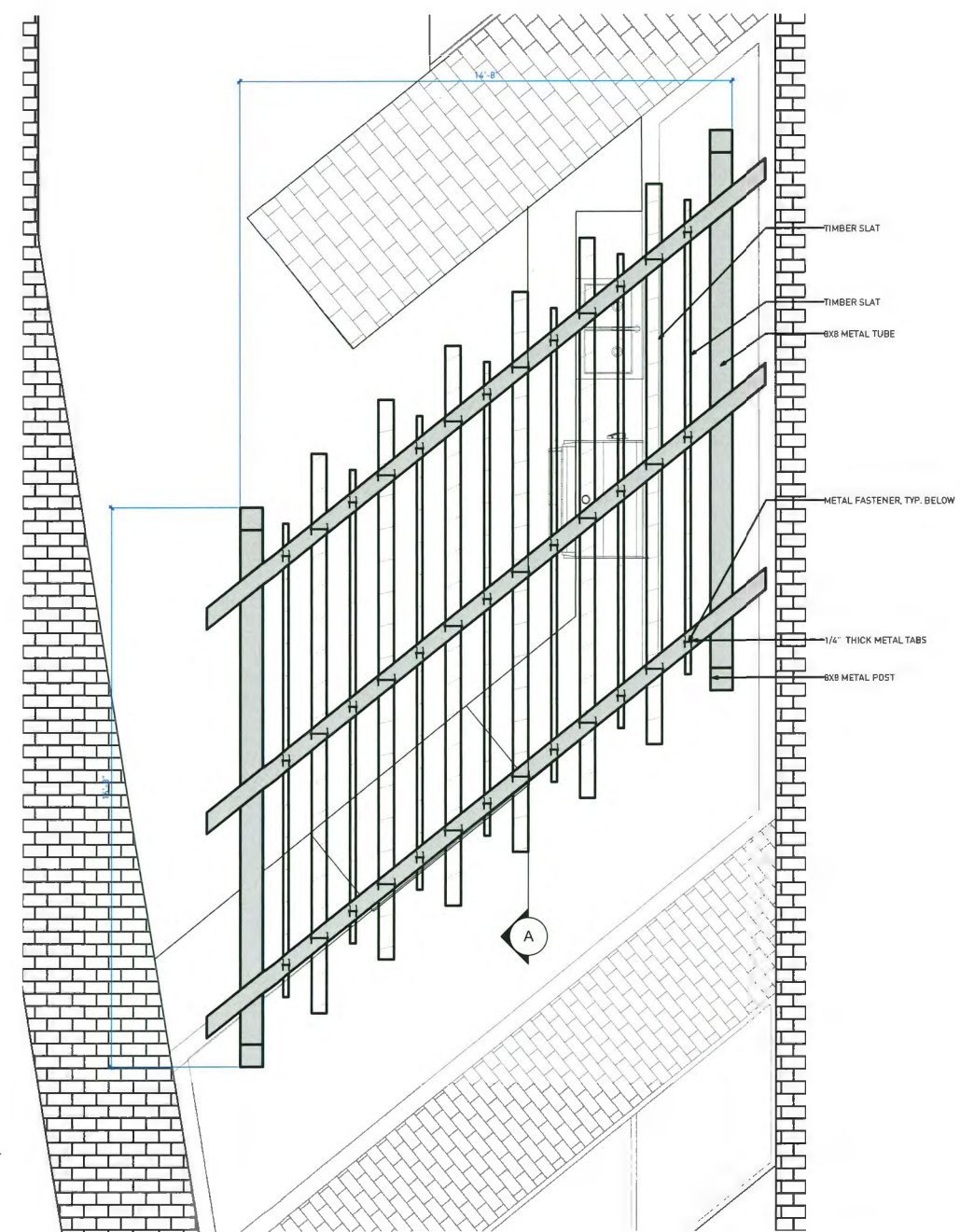
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FILE NAME	15033 Detail.vwx
PLOTTED	2021-03-30
DRAWN	FMD/LC/ZL
REVIEWED	GB

DRAWING

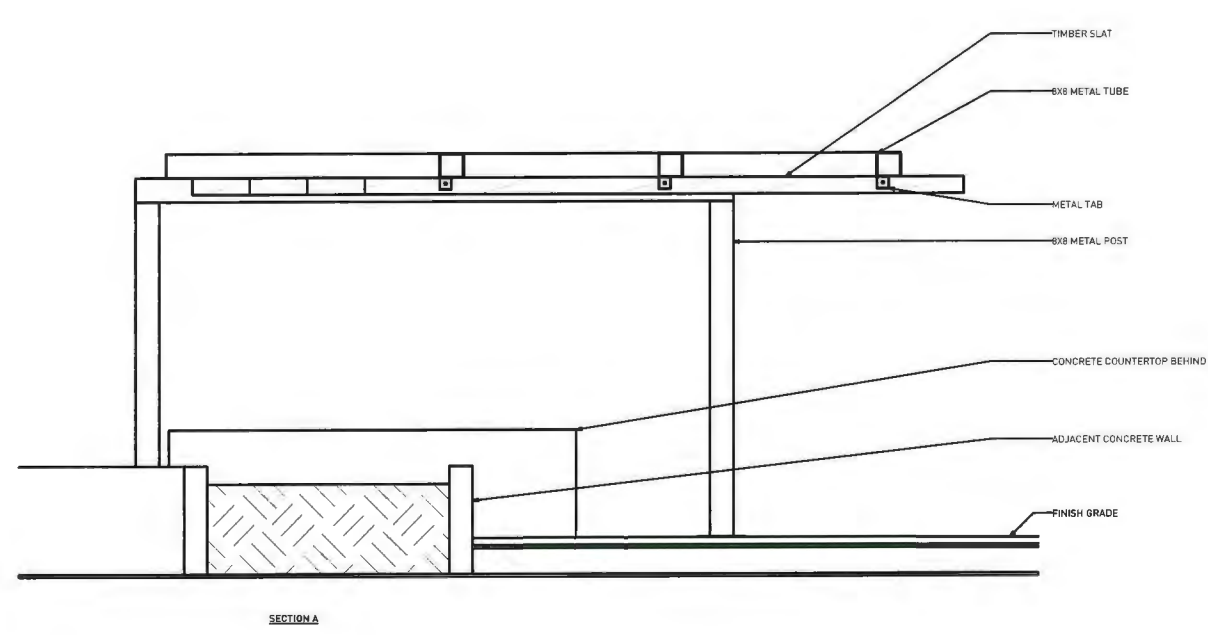
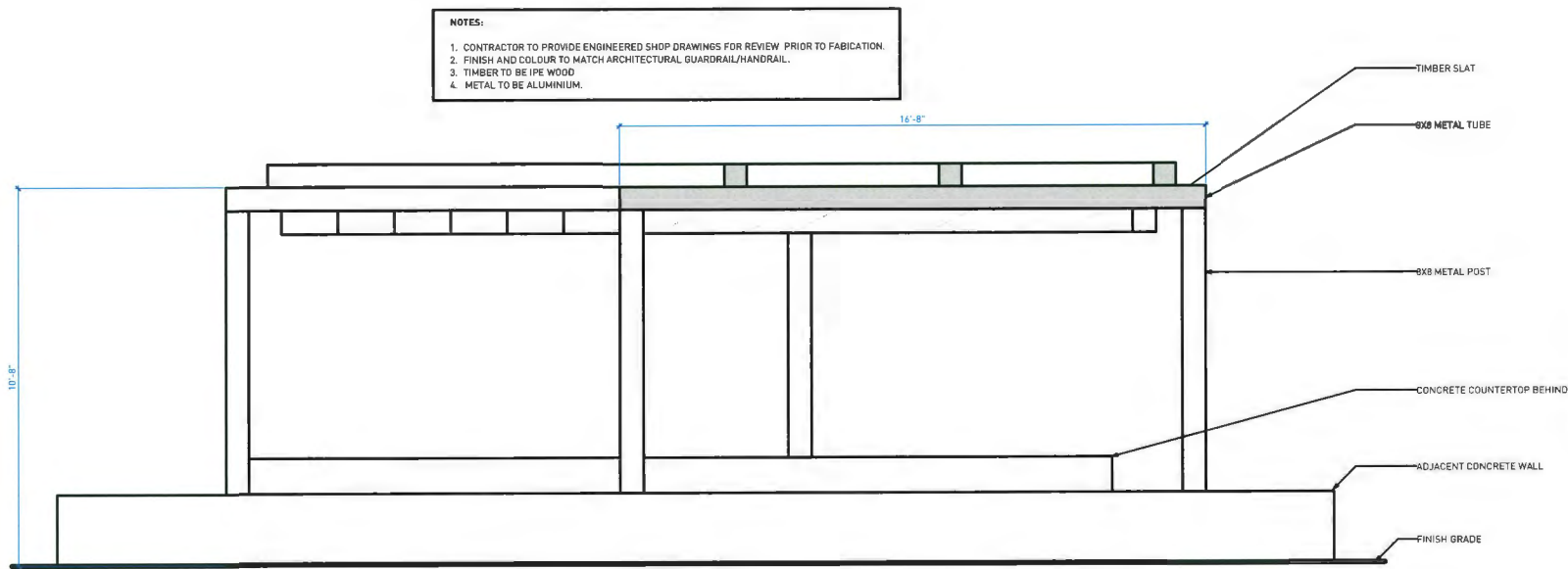
L5.03

1 SINK, BBQ AND BENCHTOP
 1" = 1'0"

DP 15-699652
April 28, 2021
PLAN #4U



NOTES:
 1. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
 2. FINISH AND COLOUR TO MATCH ARCHITECTURAL GUARDRAIL/HANDRAIL.
 3. TIMBER TO BE IPE WOOD.
 4. METAL TO BE ALUMINIUM.



PWL partnership

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 FAX 604 731 5279

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NORTH  **SCALE**
AS SHOWN

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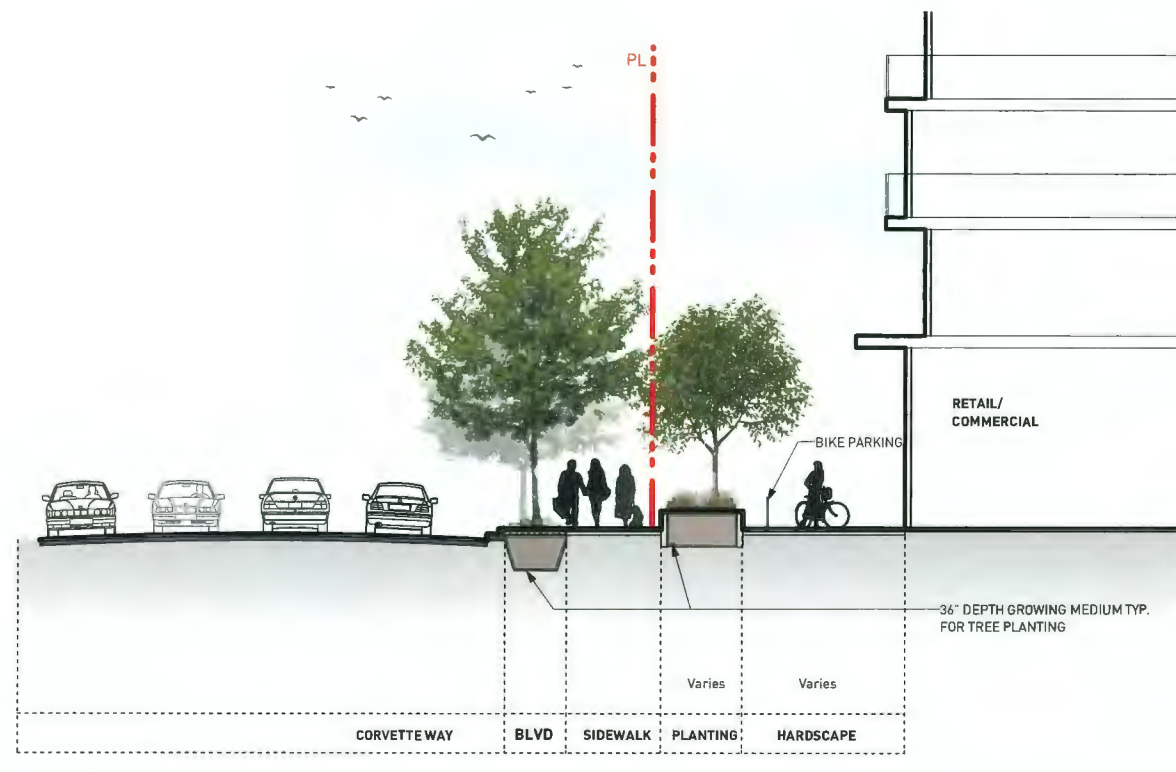
1 **L4 AMENITY TRELLIS**
 3/16" = 1'0"

DP 15-699652
April 28, 2021
PLAN #4V

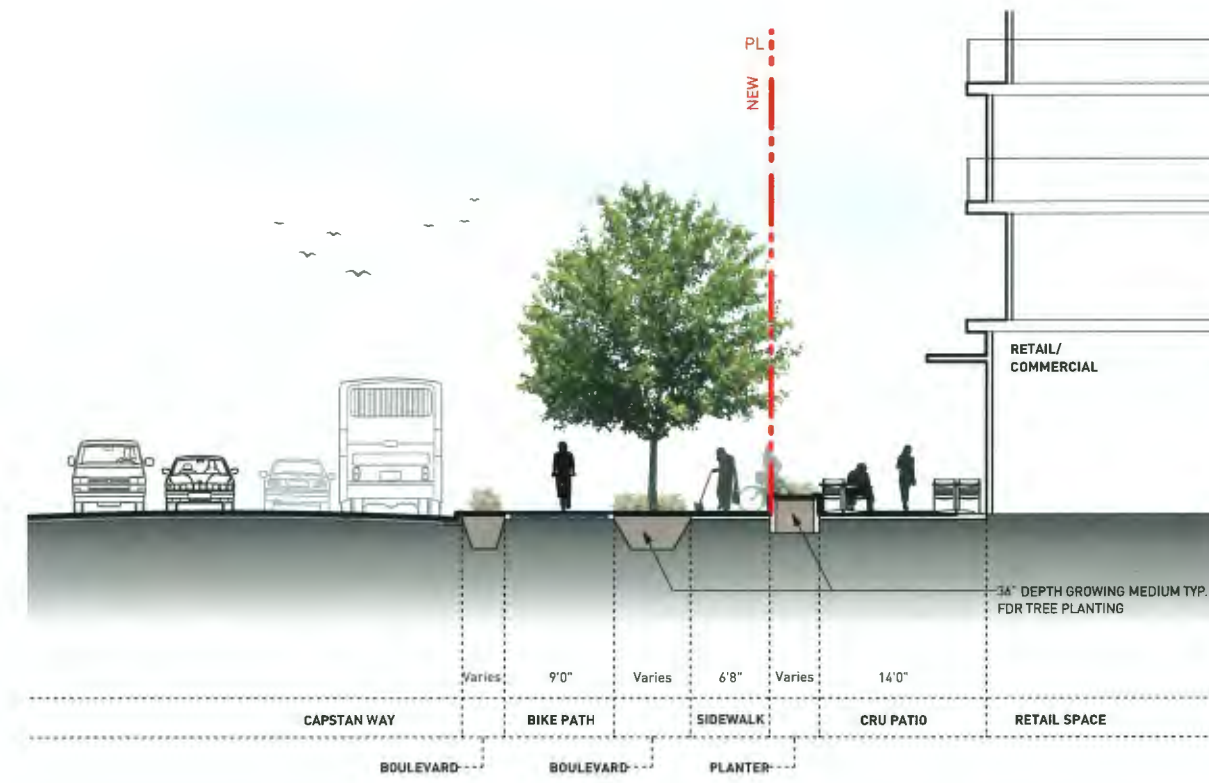
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L5.04

REVISIONS AND ISSUES

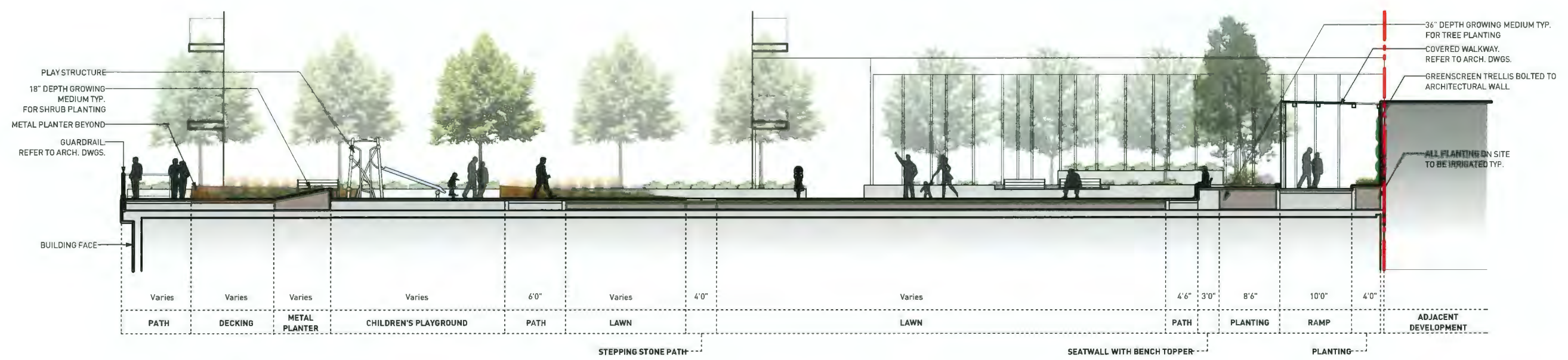
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1 SECTION THROUGH CORVETTE WAY NORTH



2 SECTION THROUGH CAPSTAN WAY




3 SECTION THROUGH AMENITY BUILDING

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8091 CAPSTAN WAY
RICHMOND, BC
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DRAWING TITLE
SECTIONS

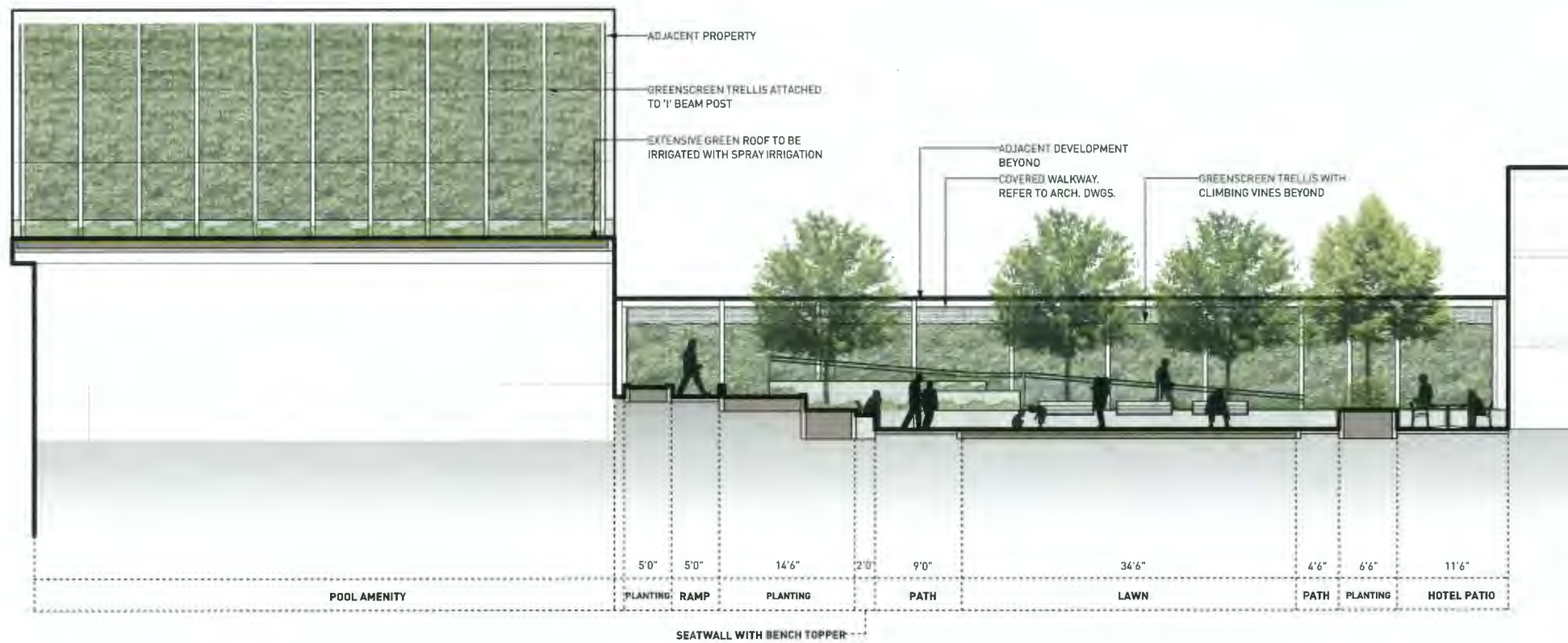
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NORTH  SCALE
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FILE NAME	15033 Sections.vwx
PLOTTED	2021-04-06
DRAWN	LC
REVIEWED	

DP 15-699652
April 28, 2021
PLAN #4W

DRAWING
L6.01



4 SECTION THROUGH OUTDOOR AMENITY SPACE LOOKING EAST



GREENSCREEN TRELLIS PRECEDENTS



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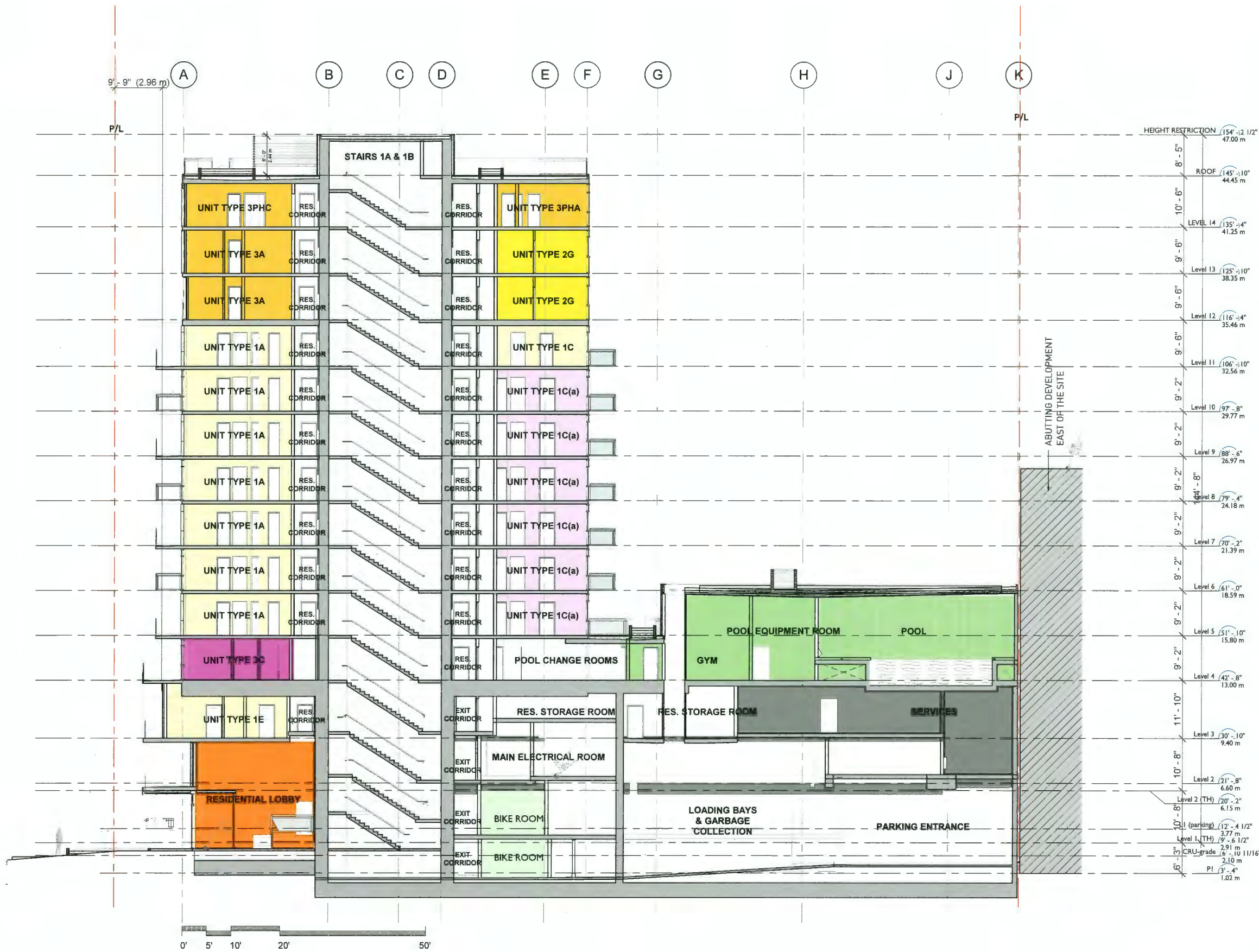
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DATE	2019-05-10
FILE NAME	15033 Sections.vwx
PLOTTED	2021-04-06
DRAWN	LC
REVIEWED	

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 PLAN #4X

DRAWING
L6.02

BUILDING SECTIONS A.301

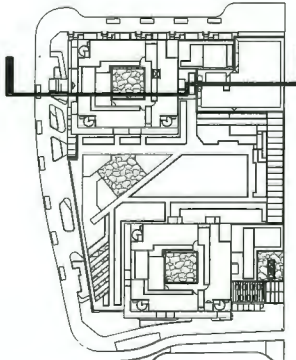
DP 15-699652
 April 28, 2021
PLAN # 5a



- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- RES. LOBBY
- 1 BEDROOM (a) AFFORDABLE
- 3 BEDROOM - AFFORDABLE
- CIRCULATION
- SERVICES
- PARKING
- AMENITY
- BIKE ROOM
- 3 BEDROOM - AFFPRDABLE

In compliance with the Flood Construction Bylaw, all:

- Dwellings have a min habitable floor elevation at or above 2.9 m GSC
- Commercial spaces and residential lobbies have a min habitable elevation of 0.3 m above the crown of the fronting street
- Electrical/mechanical rooms have a min floor elevation of 2.9 m GSC

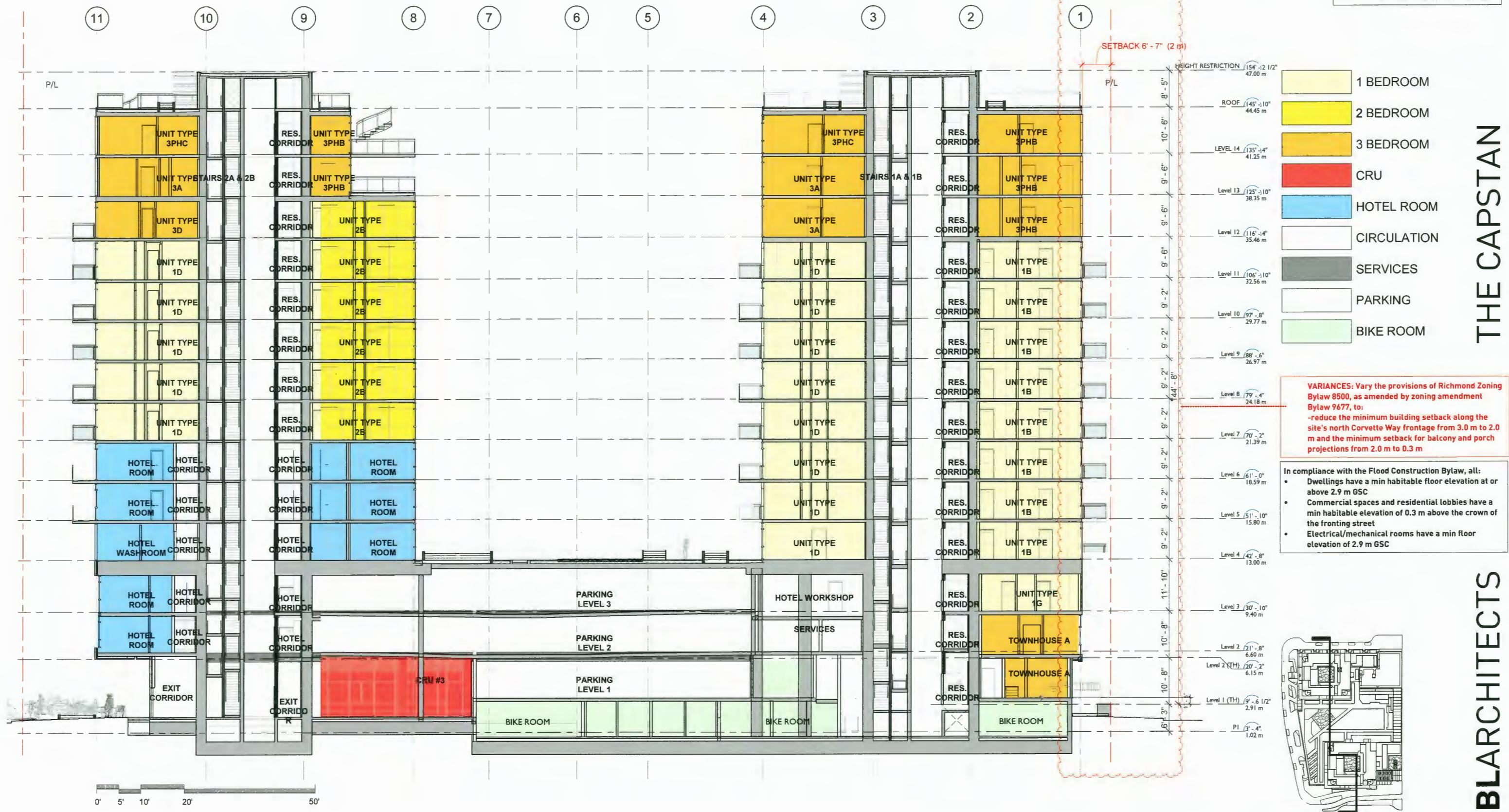


KEY PLAN - SECTION

THE CAPSTAN

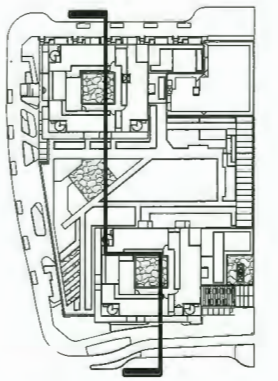
GBLARCHITECTS

DP 15-699652
 April 28, 2021
PLAN # 5b



VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m

In compliance with the Flood Construction Bylaw, all:
 • Dwellings have a min habitable floor elevation at or above 2.9 m GSC
 • Commercial spaces and residential lobbies have a min habitable elevation of 0.3 m above the crown of the fronting street
 • Electrical/mechanical rooms have a min floor elevation of 2.9 m GSC



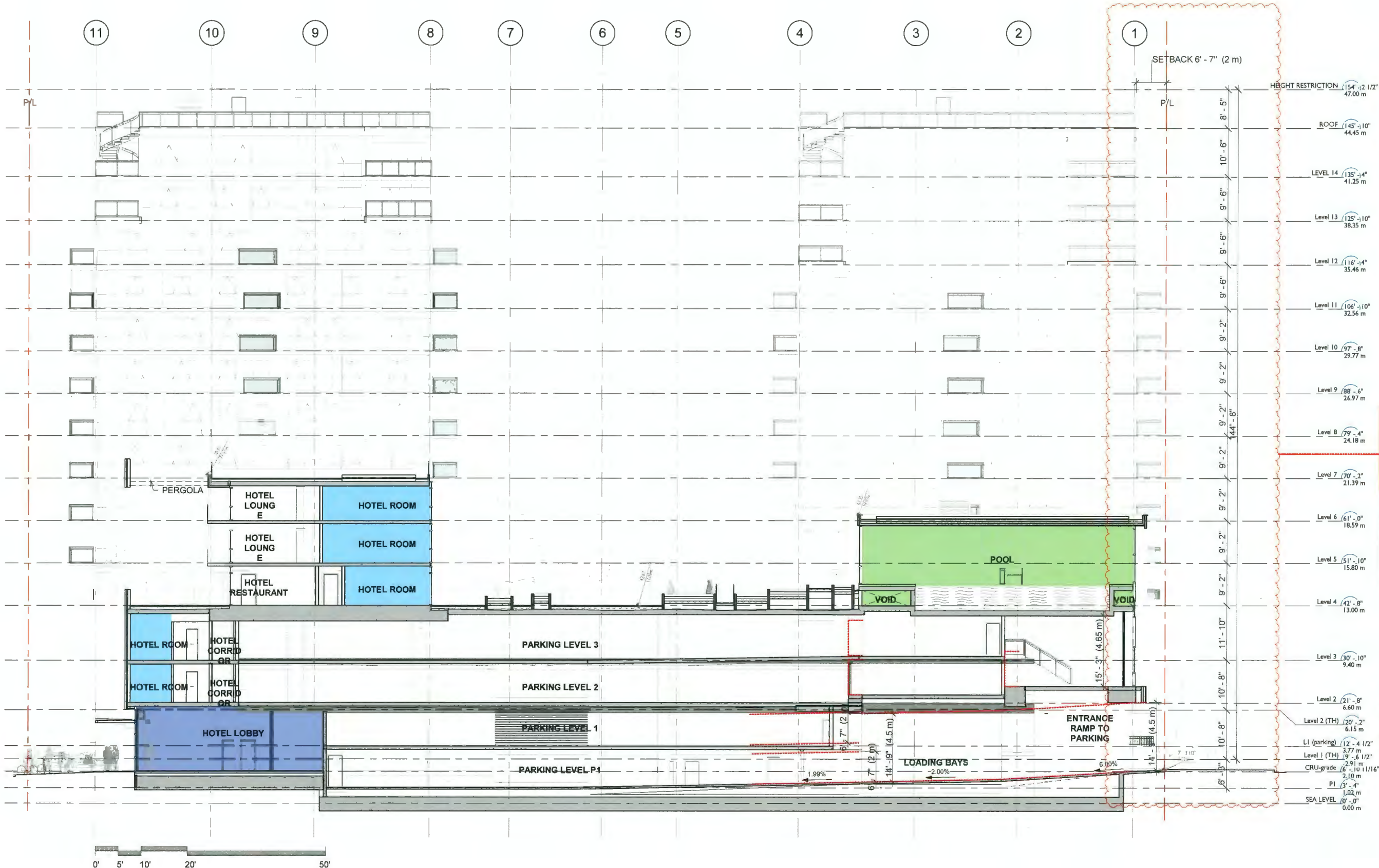
KEY PLAN - SECTION.

THE CAPSTAN

GBLARCHITECTS



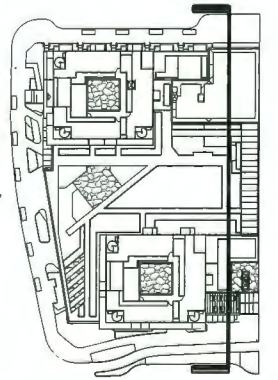
DP 15-699652
 April 28, 2021
PLAN # 5c



	HOTEL ROOM
	HOTEL LOBBY
	CIRCULATION
	SERVICES
	PARKING
	AMENITY

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m

- In compliance with the Flood Construction Bylaw, all:
- Dwellings have a min habitable floor elevation at or above 2.9 m GSC
 - Commercial spaces and residential lobbies have a min habitable elevation of 0.3 m above the crown of the fronting street
 - Electrical/mechanical rooms have a min floor elevation of 2.9 m GSC



KEY PLAN - SECTION..



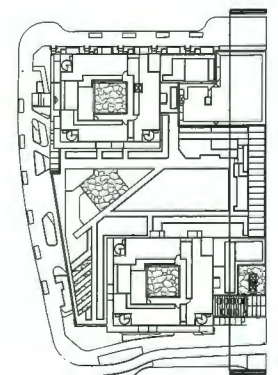
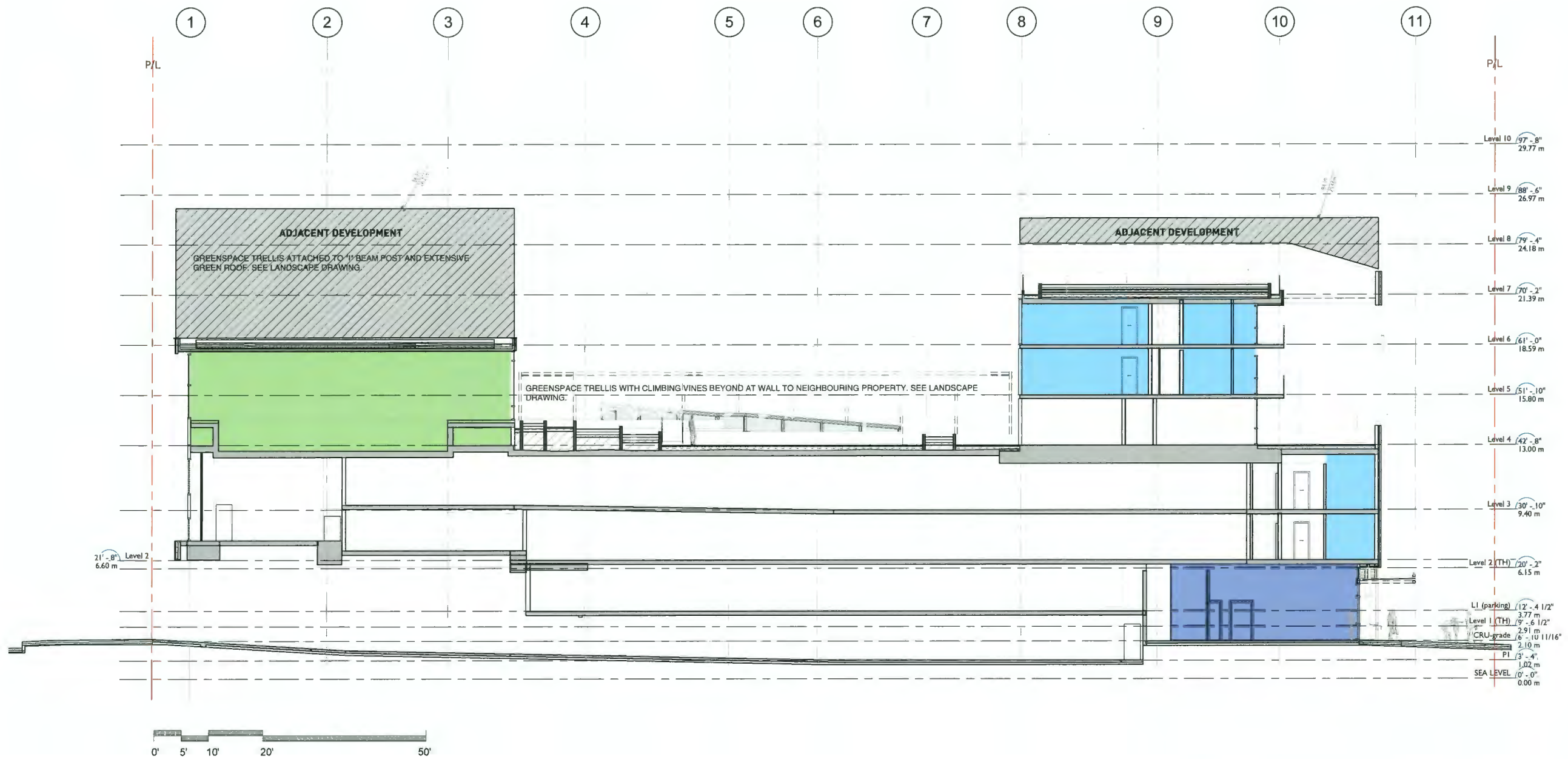
THE CAPSTAN

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BUILDING SECTION A.304

DP 15-699652
 April 28, 2021
PLAN # 5d



KEY PLAN - SECTION....

THE CAPSTAN

GBLARCHITECTS

DP 15-699652
 April 28, 2021
 PLAN # 5e



THE CAPSTAN

GBLARCHITECTS



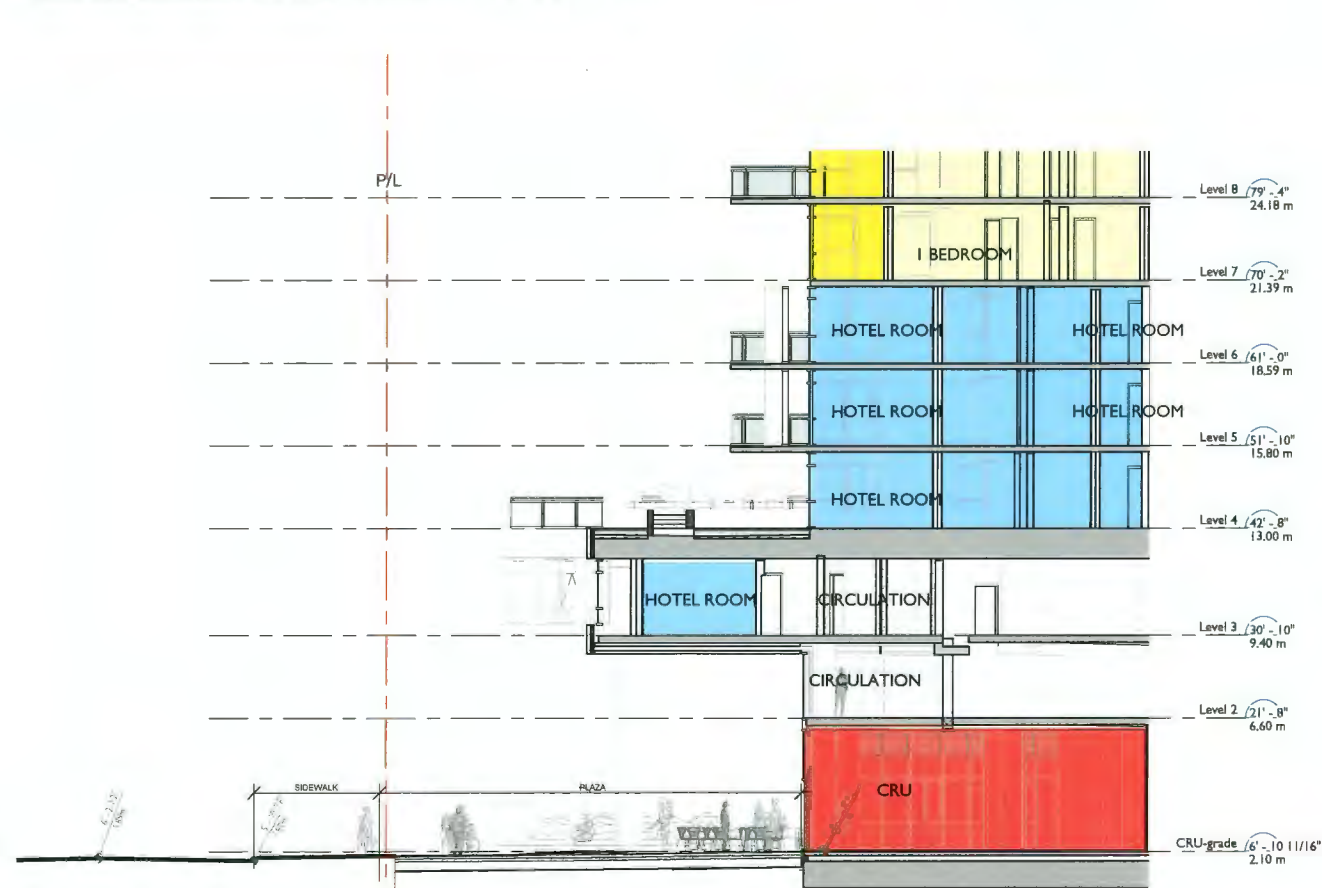
1|SECTION THRU COURVETTE WAY @ NORTH TOWER LOBBY



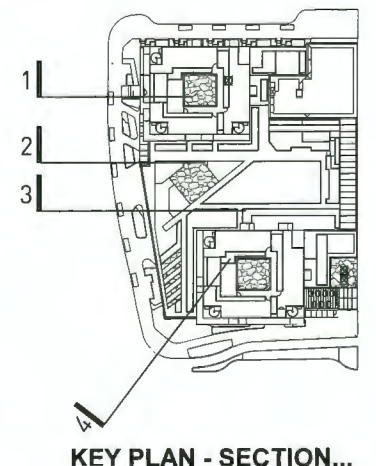
2|SECTION THRU COURVETTE WAY THROUGH EXIT



3|SECTION THRU COURVETTE WAY @ CRU



4|SECTION THROUGH INTERSECTION.



KEY PLAN - SECTION...

WEST ELEVATION

A.201

DP 15-699652

April 28, 2021

PLAN # 6a

MATERIALS LEGEND:

- 1** BRICK RUNNING BOND - WHITE
- 2** BRICK RUNNING BOND - CHARCOAL
- 3** ALUMINUM COMPOSITE METAL PANEL - WHITE
- 4** THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED
- 5** THERMALLY BROKEN ALUMINUM WINDOW WALL - CHARCOAL MULLIONS, POWDER COATED
- 6** GLAZING SPANDREL PANELS - WHITE
- 7** GLAZING SPANDREL PANELS - CHARCOAL
- 8** GLAZING SPANDREL PANELS - COPPER
- 9** THERMALLY BROKEN ALUMINUM CURTAIN WALL - CHARCOAL MULLIONS, POWDER COATED
- 10** ALUMINUM MECHANICAL LOUVER - CHARCOAL, POWDER COATED
- 11** CLEAR TEMPERED & LAMINATED GLASS GUARDRAIL C/W ALUMINUM POSTS & TOP RAIL - PAINT TO MATCH ADJACENT WINDOW WALL
- 11a** FROSTED GLASS GUARD
- 11b** PERFORATED METAL PANEL GUARD
- 12** ALUMINUM PRIVACY SCREEN - PAINT TO MATCH ADJACENT WINDOW WALL
- 13** METAL EXTERIOR STAIRS
- 14** METAL PANELS (SOFFIT) - COPPER
- 15** FROSTED GLASS PANEL WITH ALUMINUM FRAME
- 16** SOFFIT - WHITE
- 17** ART CANVAS SOFFIT



HEIGHT RESTRICTION	154' - 2 1/2"	47.00
ROOF	145' - 10"	44.45 m
LEVEL 14	135' - 4"	41.25
Level 13	125' - 10"	38.35 m
Level 12	116' - 4"	35.46
Level 11	106' - "	32.56
Level 10	97' - 8"	29.77
Level 9	88' - 6"	26.97
Level 8	79' - 4"	24.18
Level 7	70' - "	21.39 m
Level 6	61' - 0"	18.59 m
Level 5	51' - 10"	15.80 m
Level 4	42' - 8"	13.00
Level 3	30' - 10"	9.40 m
Level 2	21' - 8"	6.60 m
Level 1 (parking)	12' - 1 1/2"	3.77 m
CRU-grade	6' - 10 11/16"	2.10 m
PI	3' - 4"	1.02 m
SEA LEVEL	0' - 0"	0.00 m

THE CAPSTAN

GBLARCHITECTS



DP 15-699652
 April 28, 2021
PLAN # 6b



MATERIALS LEGEND:

- 1 BRICK RUNNING BOND - WHITE
- 2 BRICK RUNNING BOND - CHARCOAL
- 3 ALUMINUM COMPOSITE METAL PANEL - WHITE
- 4 THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED
- 5 THERMALLY BROKEN ALUMINUM WINDOW WALL - CHARCOAL MULLIONS, POWDER COATED
- 6 GLAZING SPANDREL PANELS - WHITE
- 7 GLAZING SPANDREL PANELS - CHARCOAL
- 8 GLAZING SPANDREL PANELS - COPPER
- 9 THERMALLY BROKEN ALUMINUM CURTAIN WALL - CHARCOAL MULLIONS, POWDER COATED
- 10 ALUMINUM MECHANICAL LOUVER - CHARCOAL, POWDER COATED
- 11 CLEAR TEMPERED & LAMINATED GLASS GUARDRAIL C/W ALUMINUM POSTS & TOP RAIL - PAINT TO MATCH ADJACENT WINDOW WALL
- 11a FROSTED GLASS GUARD
- 11b PERFORATED METAL PANEL GUARD
- 12 ALUMINUM PRIVACY SCREEN - PAINT TO MATCH ADJACENT WINDOW WALL
- 13 METAL EXTERIOR STAIRS
- 14 METAL PANELS (SOFFIT) - COPPER
- 15 FROSTED GLASS PANEL WITH ALUMINUM FRAME
- 16 SOFFIT - WHITE
- 17 ART CANVAS SOFFIT

THE CAPSTAN

GBLARCHITECTS

NORTH ELEVATION

A.203

DP 15-699652

April 28, 2021

PLAN # 6c

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



MATERIALS LEGEND:

- 1** BRICK RUNNING BOND - WHITE
- 2** BRICK RUNNING BOND - CHARCOAL
- 3** ALUMINUM COMPOSITE METAL PANEL - WHITE
- 4** THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED
- 5** THERMALLY BROKEN ALUMINUM WINDOW WALL - CHARCOAL MULLIONS, POWDER COATED
- 6** GLAZING SPANDREL PANELS - WHITE
- 7** GLAZING SPANDREL PANELS - CHARCOAL
- 8** GLAZING SPANDREL PANELS - COPPER
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- 11b** PERFORATED METAL PANEL GUARD
- 12** ALUMINUM PRIVACY SCREEN - PAINT TO MATCH ADJACENT WINDOW WALL
- 13** METAL EXTERIOR STAIRS
- 14** METAL PANELS (SOFFIT) - COPPER
- 15** FROSTED GLASS PANEL WITH ALUMINUM FRAME
- 16** SOFFIT - WHITE
- 17** ART CANVAS SOFFIT

THE CAPSTAN

GBLARCHITECTS

EAST ELEVATION

A.204

DP 15-699652

April 28, 2021

PLAN # 6d

MATERIALS LEGEND:

- 1** BRICK RUNNING BOND - WHITE
- 2** BRICK RUNNING BOND - CHARCOAL
- 3** ALUMINUM COMPOSITE METAL PANEL - WHITE
- 4** THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED
- 5** THERMALLY BROKEN ALUMINUM WINDOW WALL - CHARCOAL MULLIONS, POWDER COATED
- 6** GLAZING SPANDREL PANELS - WHITE
- 7** GLAZING SPANDREL PANELS - CHARCOAL
- 8** GLAZING SPANDREL PANELS - COPPER
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- 10** ALUMINUM MECHANICAL LOUVER - CHARCOAL, POWDER COATED
- 11** CLEAR TEMPERED & LAMINATED GLASS GUARDRAIL C/W ALUMINUM POSTS & TOP RAIL - PAINT TO MATCH ADJACENT WINDOW WALL
- 11a** FROSTED GLASS GUARD
- 11b** PERFORATED METAL PANEL GUARD
- 12** ALUMINUM PRIVACY SCREEN - PAINT TO MATCH ADJACENT WINDOW WALL
- 13** METAL EXTERIOR STAIRS
- 14** METAL PANELS (SOFFIT) - COPPER
- 15** FROSTED GLASS PANEL WITH ALUMINUM FRAME
- 16** SOFFIT - WHITE
- 17** ART CANVAS SOFFIT



THE CAPSTAN

GBLARCHITECTS

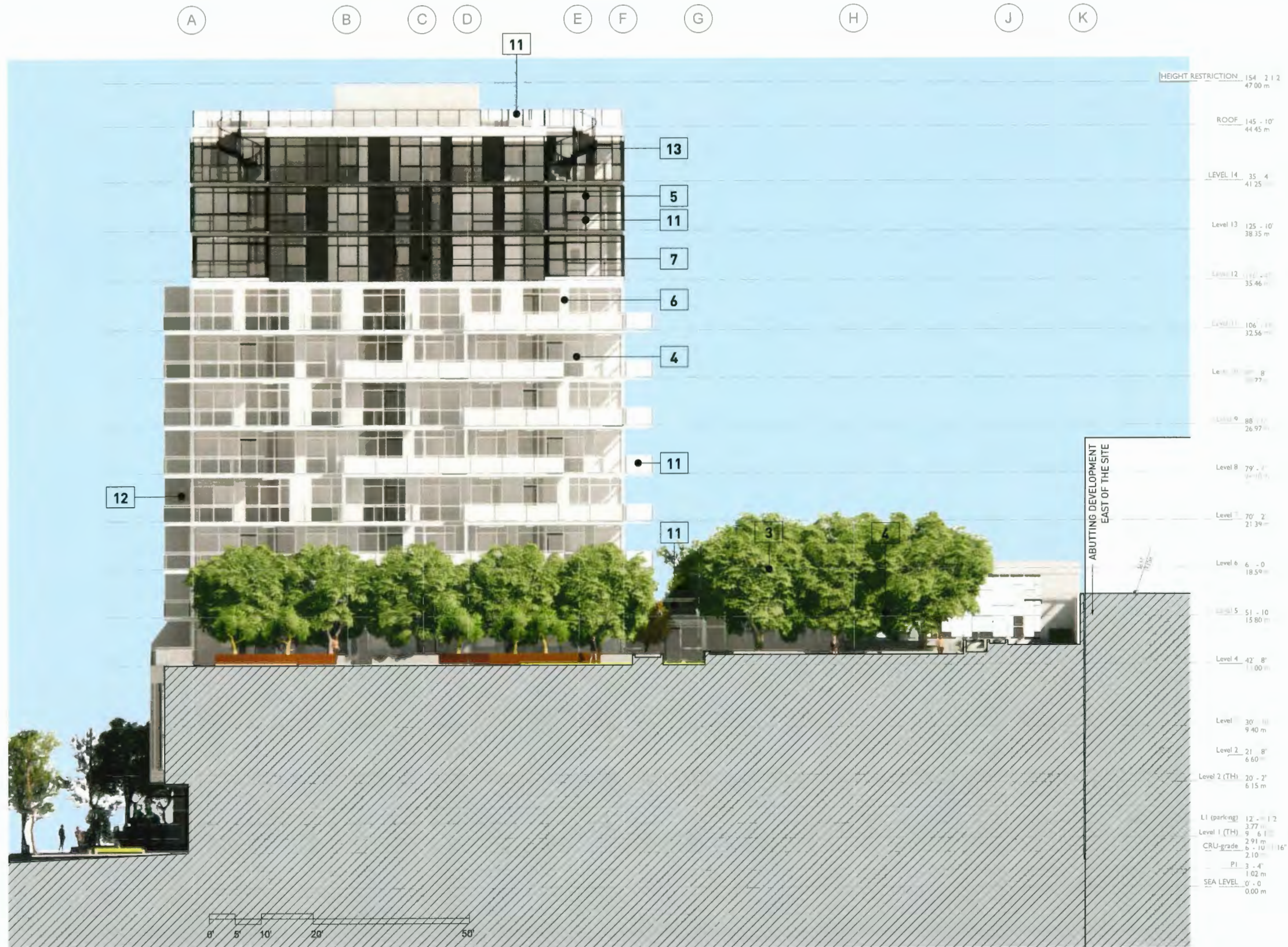
TOWER 1 SOUTH ELEVATION

A.205

DP 15-699652
 April 28, 2021
PLAN # 6e

MATERIALS LEGEND:

- 1** BRICK RUNNING BOND - WHITE
- 2** BRICK RUNNING BOND - CHARCOAL
- 3** ALUMINUM COMPOSITE METAL PANEL - WHITE
- 4** THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED
- 5** THERMALLY BROKEN ALUMINUM WINDOW WALL - CHARCOAL MULLIONS, POWDER COATED
- 6** GLAZING SPANDREL PANELS - WHITE
- 7** GLAZING SPANDREL PANELS - CHARCOAL
- 8** GLAZING SPANDREL PANELS - COPPER
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- 11a** FROSTED GLASS GUARD
- 11b** PERFORATED METAL PANEL GUARD
- 12** ALUMINUM PRIVACY SCREEN - PAINT TO MATCH ADJACENT WINDOW WALL
- 13** METAL EXTERIOR STAIRS
- 14** METAL PANELS (SOFFIT) - COPPER
- 15** FROSTED GLASS PANEL WITH ALUMINUM FRAME
- 16** SOFFIT - WHITE
- 17** ART CANVAS SOFFIT



THE CAPSTAN

GBLARCHITECTS

TOWER 2 NORTH ELEVATION

A.206

DP 15-699652

April 28, 2021

PLAN # 6f

MATERIALS LEGEND:

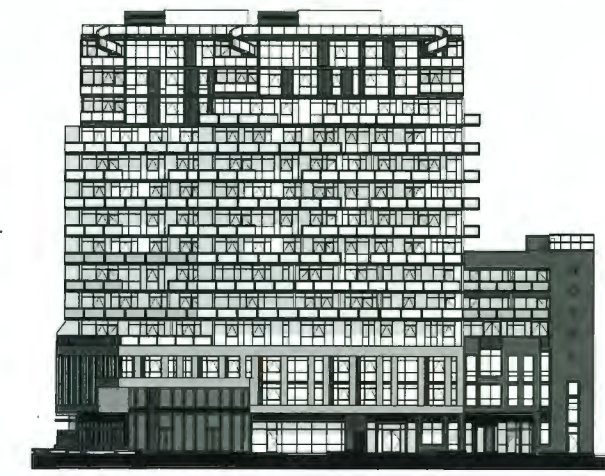
- 1** BRICK RUNNING BOND - WHITE
- 2** BRICK RUNNING BOND - CHARCOAL
- 3** ALUMINUM COMPOSITE METAL PANEL - WHITE
- 4** THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED
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- 11a** FROSTED GLASS GUARD
- 11b** PERFORATED METAL PANEL GUARD
- 12** ALUMINUM PRIVACY SCREEN - PAINT TO MATCH ADJACENT WINDOW WALL
- 13** METAL EXTERIOR STAIRS
- 14** METAL PANELS (SOFFIT) - COPPER
- 15** FROSTED GLASS PANEL WITH ALUMINUM FRAME
- 16** SOFFIT - WHITE
- 17** ART CANVAS SOFFIT



THE CAPSTAN

GBLARCHITECTS

DP 15-699652
 April 28, 2021
PLAN # 7



SOUTH ELEVATION



11 CLEAR TEMPERED & LAMINATED GLASS GUARDRAIL C/W ALUMINUM POSTS & TOP RAIL - PAINT TO MATCH ADJACENT WINDOW WALL

14 METAL PANELS (SOFFIT) - COPPER

8 GLAZING SPANDREL PANELS - COPPER

2 BRICK RUNNING BOND - CHARCOAL

1 BRICK RUNNING BOND - WHITE

10 ALUMINUM MECHANICAL LOUVER - CHARCOAL, POWDER COATED

5 THERMALLY BROKEN ALUMINUM WINDOW WALL - CHARCOAL MULLIONS, POWDER COATED

3 ALUMINUM COMPOSITE METAL PANEL - WHITE

15 FROSTED GLASS PANEL WITH ALUMINUM FRAME

6 GLAZING SPANDREL PANELS - WHITE

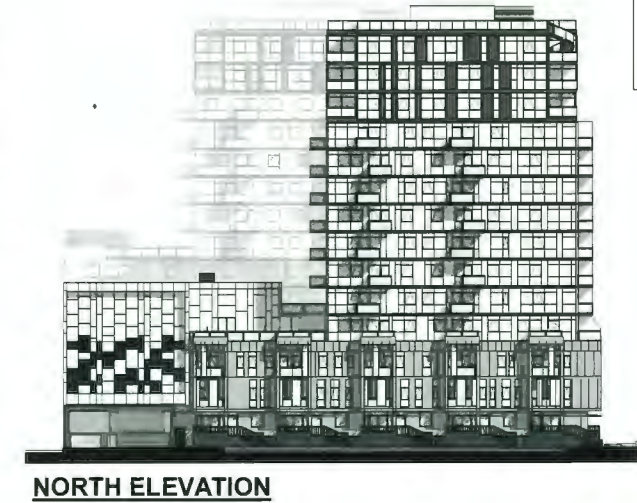
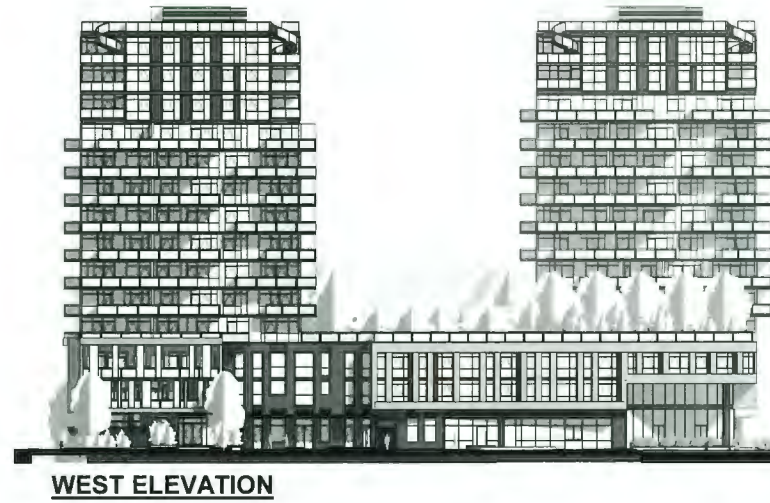
7 GLAZING SPANDREL PANELS - CHARCOAL

14 METAL PANELS (SOFFIT) - COPPER

THE CAPSTAN

GBLARCHITECTS

DP 15-699652
 April 28, 2021
 PLAN # 7a



11 CLEAR TEMPERED & LAMINATED GLASS GUARDRAIL C/W ALUMINUM POSTS & TOP RAIL - PAINT TO MATCH ADJACENT WINDOW WALL

11a FROSTED GLASS GUARD

5 THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED

15 FROSTED GLASS PANEL WITH ALUMINUM FRAME

1 BRICK RUNNING BOND - WHITE

18 GLASS CANOPY ON CHARCOAL STEEL FRAME

2 BRICK RUNNING BOND - CHARCOAL

11b PERFORATE METAL PANEL GUARD



3 ALUMINUM COMPOSITE METAL PANEL - WHITE

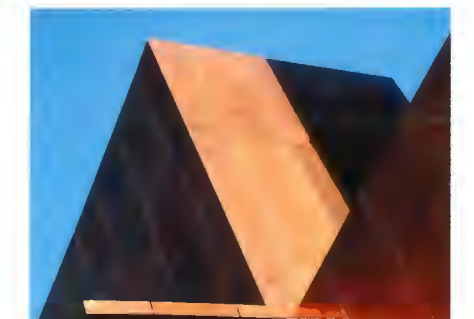


15 FROSTED GLASS PANEL WITH ALUMINUM FRAME



6 GLAZING SPANDREL PANELS - WHITE

7 GLAZING SPANDREL PANELS - CHARCOAL



14 METAL PANELS (SOFFIT) - COPPER

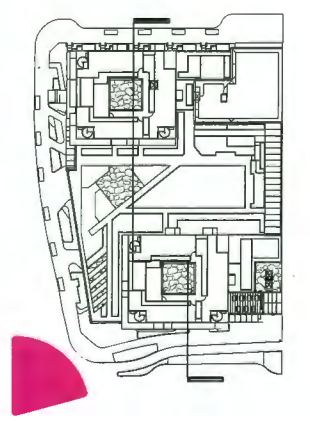


DP 15-699652
April 28, 2021
PLAN # 8a



SOUTH WEST CORNER

THE CAPSTAN



GBLARCHITECTS

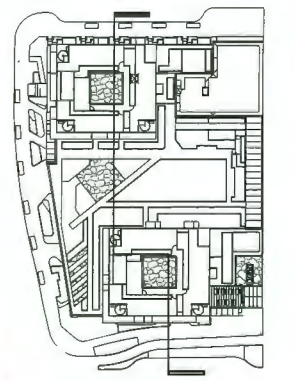
DP 15-699652
April 28, 2021
PLAN # 8b



WEST CORNER FROM SOUTH-WEST

THE CAPSTAN

GBLARCHITECTS

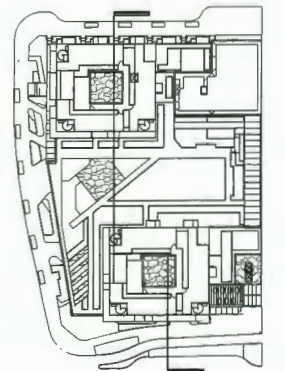


DP 15-699652
April 28, 2021
PLAN # 8c



THE CAPSTAN

GBLARCHITECTS

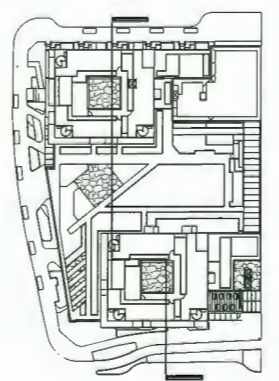


VIEW FROM WEST

DP 15-699652
April 28, 2021
PLAN # 8d



NORTH WEST CORNER



THE CAPSTAN

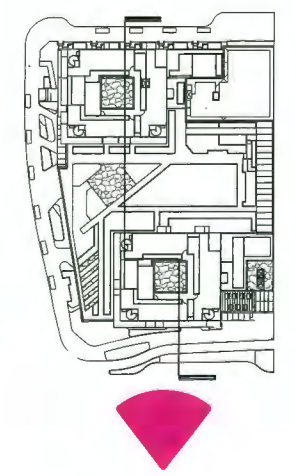
GBLARCHITECTS

DP 15-699652
April 28, 2021
PLAN # 8e



VIEW FROM SOUTH

THE CAPSTAN

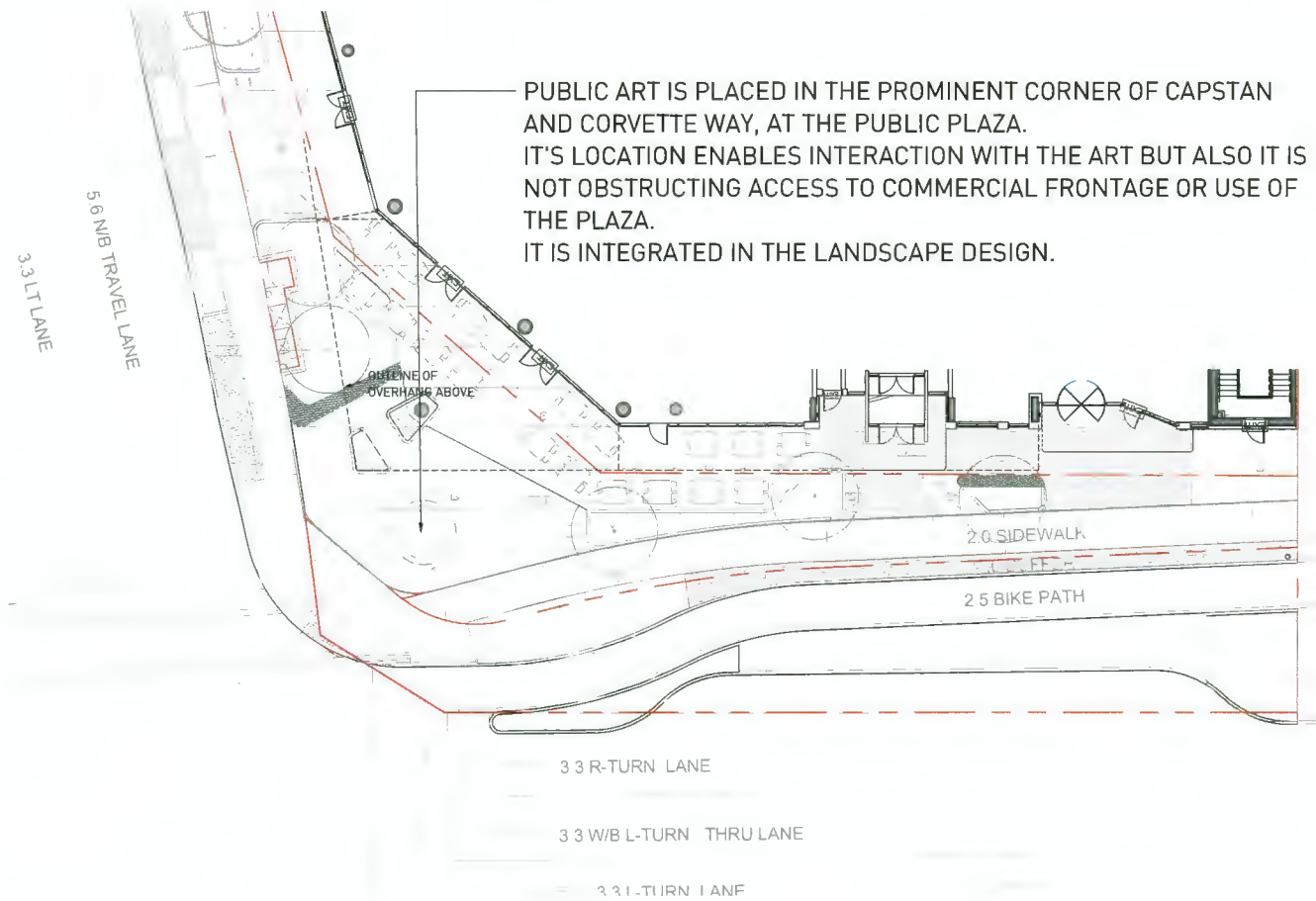


GBLARCHITECTS

PROJECT SPECIFICS - CORNER PLAZA & PUBLIC ART

A.406

DP 15-699652
 April 28, 2021
PLAN # 9



THE SOUTH WEST CORNER OF THE SITE FRONTS THE INTERSECTION OF CORVETTE AND CAPSTAN WAY, FORMING THE MOST VISUALLY SIGNIFICANT CONFLUENCE OF THE SITE. TO HELP ENLARGE THE PEDESTRIAN REALM, THE CORNER PODIUM MASSING HAS BEEN CARVED BACK, PRESENTING AN OPPORTUNITY FOR A LARGE UNDERCUT PUBLIC/PRIVATE OUTDOOR SPACE. A SINGULAR COLUMN ANCHORS THE PODIUM MASSING TO THE GROUND, A FOCAL POINT AROUND WHICH THE LANDSCAPING HAS BEEN DESIGNED. THE PUBLIC ART COMPONENT SITS ADJACENT TO THIS COLUMN, COMMUNALLY REINFORCING THE IDENTITY OF THE CORNER AND PROVIDING A VISUAL

THE PODIUM UNDERCUT BY ITS VERY NATURE IS A VISUALLY STRONG MASSING MOVE, SLICING THROUGH THE COMMERCIAL STREET-WALL TO REVEAL A GLAZED CURTAIN WALL FAÇADE THAT EXTENDS UP OVER 20' IN HEIGHT. THE SOFFIT FOR THIS UNDERCUT PRESENTS A 'CEILING' THAT SPANS OVER THE OUTDOOR PLAZA SPACE. THIS CEILING HAS THE OPPORTUNITY TO BECOME A DYNAMIC ELEMENT THAT CHANGES THROUGHOUT THE DAY IN RESPONSE TO A VARIETY OF LIGHTING EFFECTS. THE SOFFIT WILL COMPRISE OF A IMAGE APPLIED TO A CANVAS SCREEN THAT WILL BE BACKLIT DURING THE EVENING HOURS. THE ILLUMINATED ARTWORK WILL PROVIDE A STRONG VISUAL EXPERIENCE FOR THE PEDESTRIAN USERS, AND FROM A FUNCTIONAL STANDPOINT, CONTRIBUTE AS A SOFT AMBIENT LIGHT FOR THE OUTDOOR SPACE.

WHILE THE SOFFIT ARTWORK DOES NOT FORM PART OF THE PUBLIC ART COMPONENT, WE ENVISAGE THAT THIS ART CEILING WILL FORM A SIGNIFICANT PART OF THE GROUND PLANE EXPERIENCE, REFLECTING DOWN ONTO THE FACE OF THE CURTAIN WALL. THE ART MAY BE COMMISSIONED PRIVATELY BY THE CLIENT OR DEVELOPED IN COORDINATION WITH THE CONSULTANT TEAM. WE ARE CONFIDENT THAT THE LANDSCAPED PLAZA, PUBLIC ART COMPONENT, EXTERIOR LIGHTING, BUILDING UNDERCUT, AND ILLUMINATED SOFFIT WILL COLLECTIVELY CONTRIBUTE TO AN ENGAGING STREET CORNER THAT WILL GREATLY ENHANCE THE PEDESTRIAN USER EXPERIENCE.



THE CAPSTAN

GBLARCHITECTS

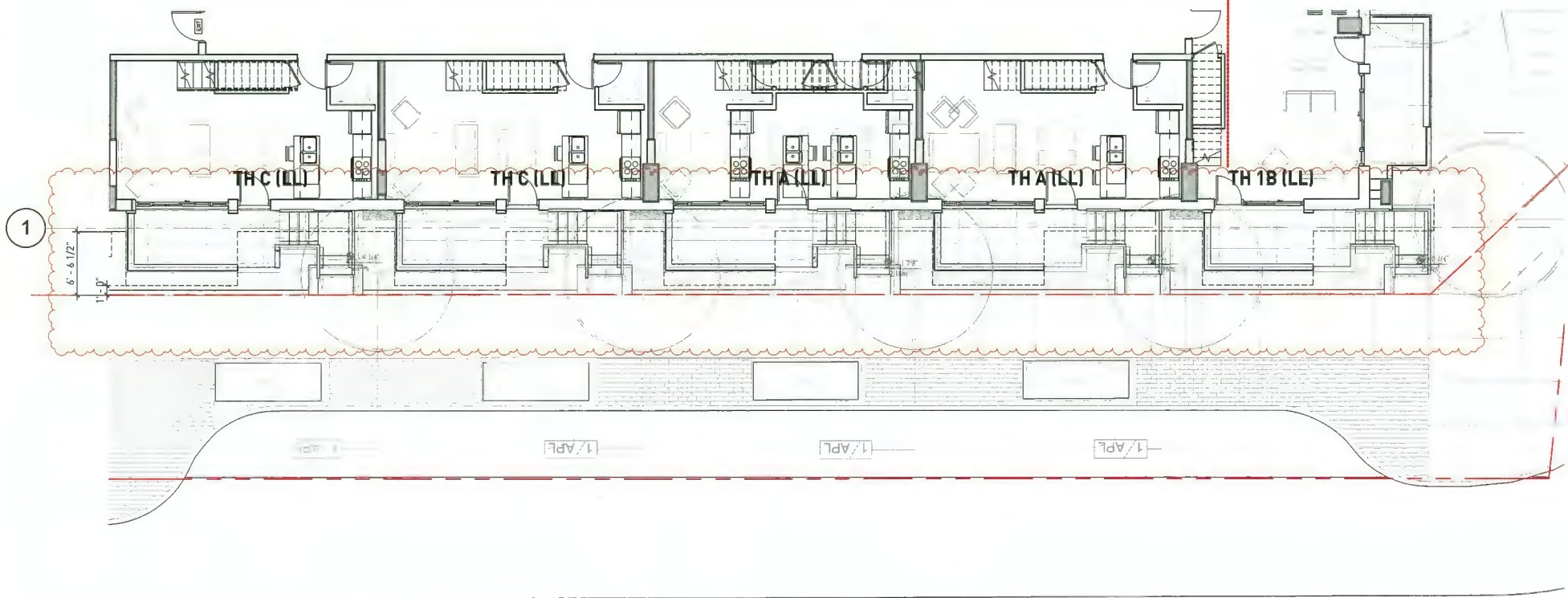
DP 15-699652
 April 28, 2021
PLAN # 9a



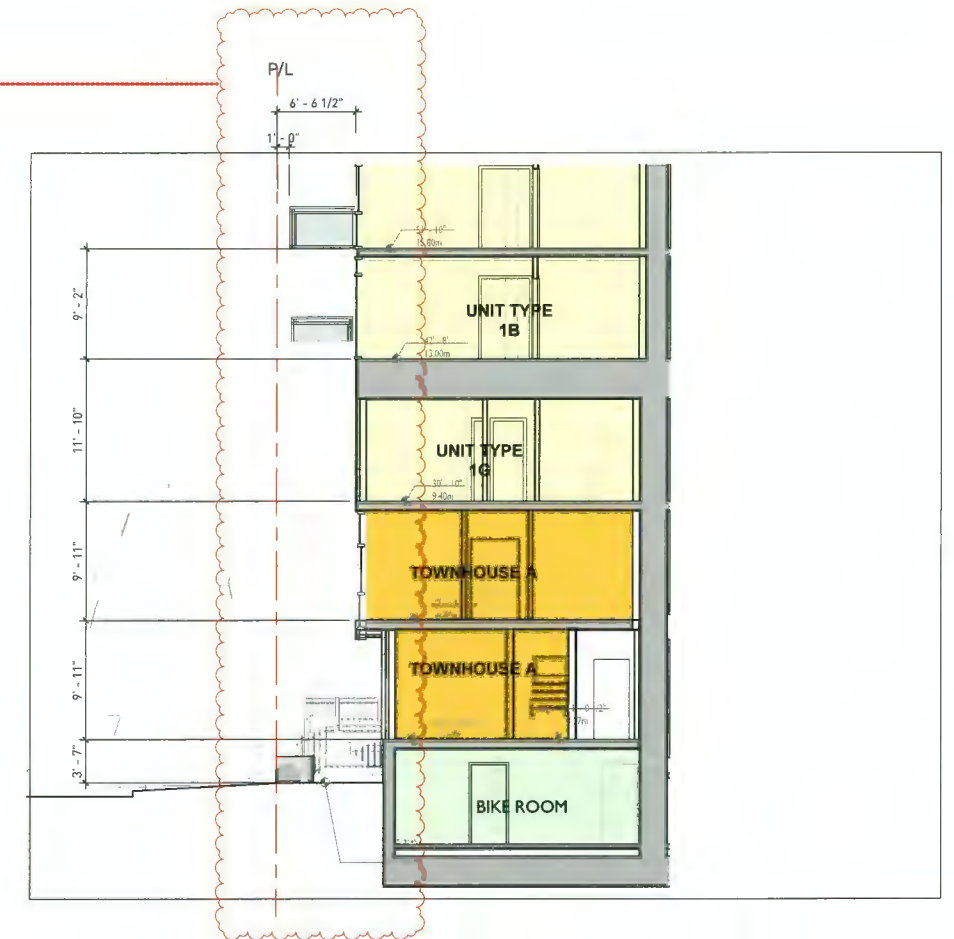
THE CAPSTAN

① STREETSCAPE - TOWNHOUSES
 1/8" = 1'-0"

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
 -reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



② LEVEL 1 TOWNHOUSE FRONTAGE
 1/8" = 1'-0"



③ BUILDING SECTION "D"
 1/8" = 1'-0"

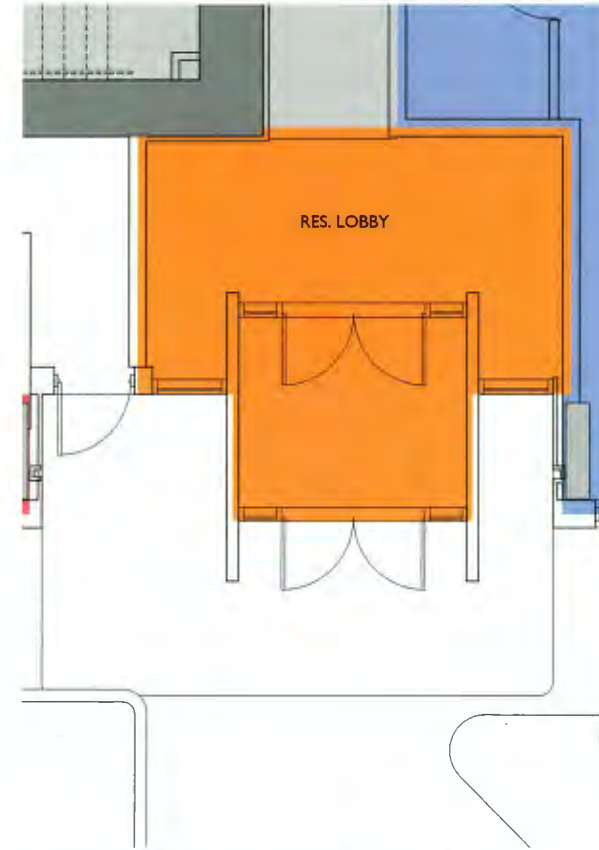
GBLARCHITECTS

RESIDENTIAL ENTRANCES

A.408

RESIDENTIAL ENTRYWAY FEATURES FREE STANDING COPPER ARCHES WITH ILLUMINATION OF THE PEDESTRIAN PATHWAY LEADING TO THE BUILDING ENTRY. STAIRS HAVE COPPER RAILING, SOLID, PERFORATED, OR WITH CUTOUTS. BUILDING ADDRESS IS ON TOP OF THE ENTRY ARCH.

DP 15-699652
April 28, 2021
PLAN # 9b



RESIDENTIAL ENTRANCE TOWER SOUTH

RESIDENTIAL ENTRY IS ACCENTED BY INTRODUCING OF FRAMED VESTIBULE WITH COPPER WALLS AND CEILING, WITH A STRIP OF LIGHTING AT SURROUNDING WALLS AND OVERHANG CEILING. BUILDING ADDRESS IS ON FRAMED VESTIBULE ARCH.

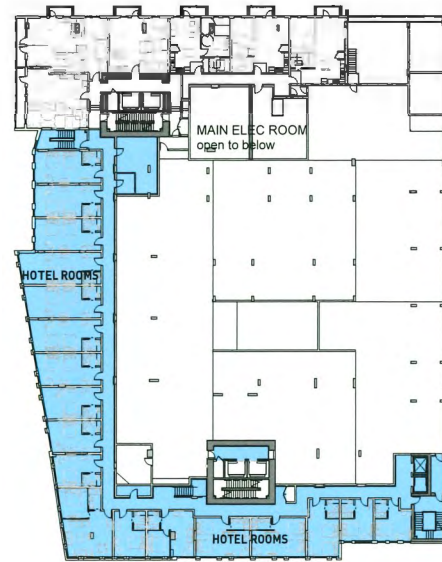


RESIDENTIAL ENTRANCE TOWER NORTH

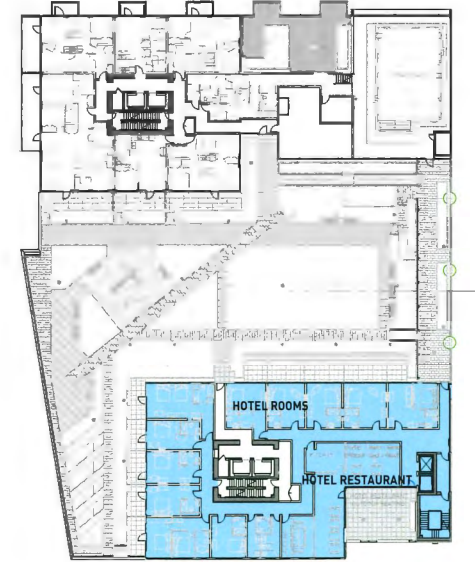


THE CAPSTAN

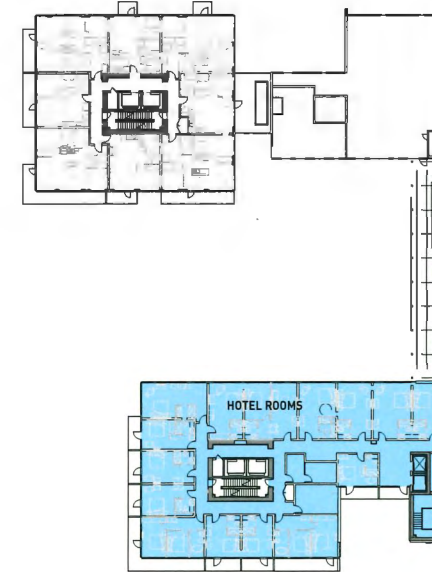
GBLARCHITECTS



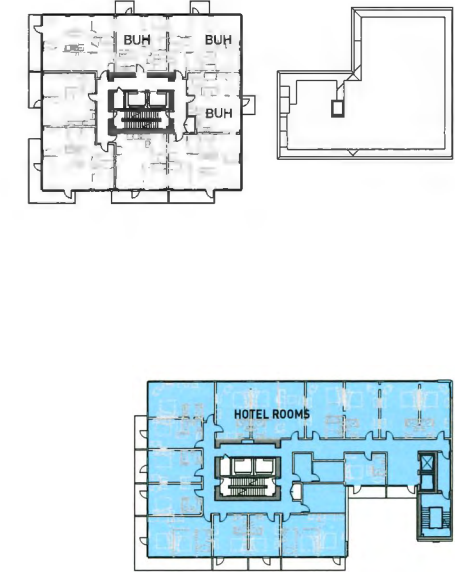
LEVEL 3 HOTEL KEY PLAN



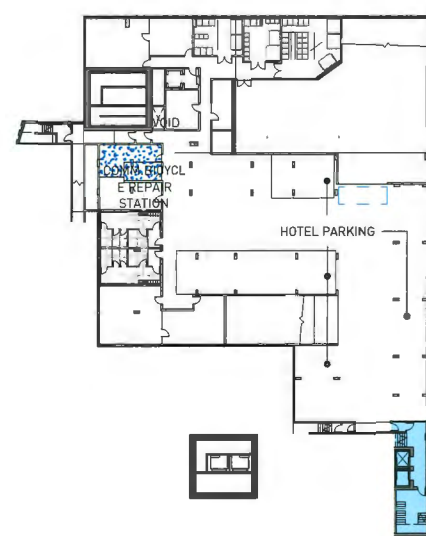
LEVEL 4 HOTEL KEY PLAN



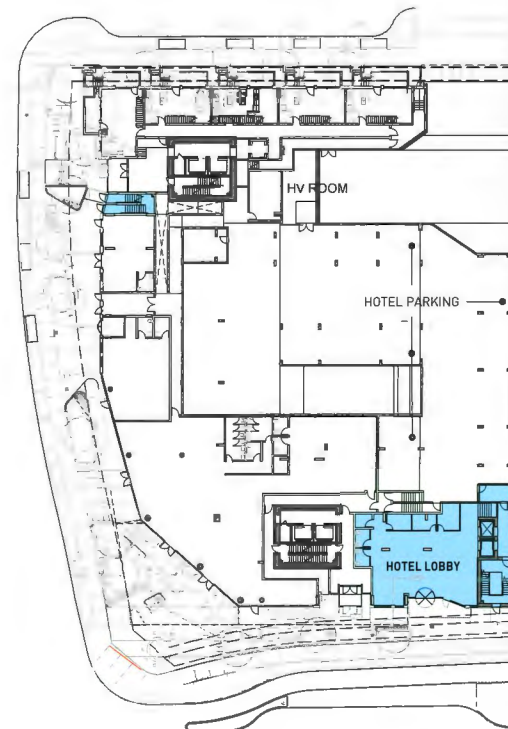
LEVEL 5 HOTEL KEY PLAN



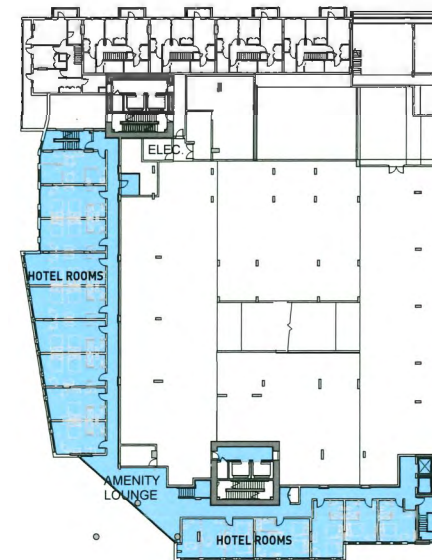
LEVEL 6 HOTEL KEY PLAN



P1 HOTEL KEY PLAN



LEVEL 1 HOTEL KEY PLAN



LEVEL 2 HOTEL KEY PLAN

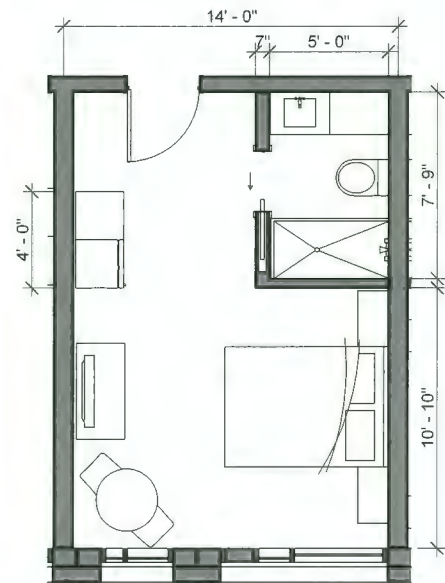
HOTEL AREAS	
Level	AREA
P1	666 ft ²
CRU-grade	2,403 ft ²
Level 2	8,031 ft ²
Level 3	9,304 ft ²
Level 4	6,869 ft ²
Level 5	7,426 ft ²
Level 6	7,426 ft ²
TOTAL:	42,123 ft ²

HOTEL - ROOM COUNT	
LEVEL	ROOMS COUNT
Level 2	13
Level 3	18
Level 4	11
Level 5	15
Level 6	15
TOTAL:	72

- HOTEL NOTES:**
- GUEST ROOM MEANS A ROOM FOR SLEEPING ACCOMMODATION IN A HOTEL, WHICH ROOM SHALL NOT INCLUDE A KITCHEN, OVEN, COOKTOP, DISHWASHER, OR FULL-SIZE REFRIGERATOR, BUT MAY INCLUDE A MICROWAVE, A COMPACT REFRIGERATOR WITH A MAXIMUM CAPACITY OF 5 CU. FT., AND A SINGLE BOWL BAR-TYPE SINK INSTALLED IN A COUNTER NO LARGER THAN 4 FT WIDE AND 2 FT DEEP. FOR CLARITY, A GUEST ROOM IS NOT A DWELLING UNIT.
 - EXCLUSIVE RESIDENTIAL USE: HOTEL GUESTS SHALL NOT HAVE USE OF OR ACCESS TO (VIA CONNECTING DOORS OR OTHER MEANS) THE FOLLOWING RESIDENT-ONLY SPACES:
 - CIRCULATION INTENDED FOR THE USE OF RESIDENTS (E.G., CORRIDORS, LOBBIES, CONVENIENCE AND FIRE STAIRS, AND ELEVATORS);
 - OUTDOOR AMENITY SPACE AT THE PODIUM ROOF LEVEL; AND
 - INDOOR AMENITY SPACE (E.G., SWIMMING POOL) ALONG THE NORTH SIDE OF THE PODIUM ROOF LEVEL.
 - HOTEL DROP-OFF: PASSENGER DROP-OFF/PICK-UP (E.G., SHUTTLE BUS, TAXI, AND RIDE-SHARE) SHALL BE PERMITTED ON-STREET ALONG THE HOTEL'S CAPSTAN WAY FRONTAGE THROUGH SHARED USE WITH THE PUBLIC OF AN ON-STREET VEHICLE LAY-BY.

THE CAPSTAN

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TYPICAL HOTEL ROOM

THE TYPICAL ROOM INCLUDES:

- 4 FT WIDE AND 2 FT DEEP COUNTER
- UNDER-COUNTER REFRIGERATOR (MAX CAPACITY OF 5 CU. FT.)
- A SINGLE BOWL BAR-TYPE SINK
- MICROWAVE
- (NO RANGE, NO DISHWASHER & NO FULL-SIZE FRIDGE)



2 SOUTH ELEVATION
1" = 30'-0"



3 WEST ELEVATION
1" = 30'-0"



DP 15-699652
 April 28, 2021
PLAN # 11a

AFFORDABLE HOUSING SUMMARY

REQUIRED:
 5% OF RESIDENTIAL FAR = 5,951 SF (552.9 m2)

TOTAL NET UNIT AREA PROVIDED = 6,147.0 SF
 (571.0 m2)

TOTAL UNITS PROVIDED = 9

AFFORDABLE HOUSING

UNIT NUMBER	LEVEL	UNIT TYPE	BEDROOMS	BHU DESIGN FEATURES	FT ²
401	Level 4	3C(a)	UNIT 3C(a)	SEE NOTE *	1,337
404	Level 4	2B(a)	UNIT 2B(a)	SEE NOTE *	749
506	Level 5	2B(a)	UNIT 2B(a)	SEE NOTE *	749
507	Level 5	1C(a)	UNIT 1C(a)	SEE NOTE *	552
607	Level 6	1C(a)	UNIT 1C(a)	SEE NOTE *	552
707	Level 7	1C(a)	UNIT 1C(a)	SEE NOTE *	552
807	Level 8	1C(a)	UNIT 1C(a)	SEE NOTE *	552
907	Level 9	1C(a)	UNIT 1C(a)	SEE NOTE *	552
1007	Level 10	1C(a)	UNIT 1C(a)	SEE NOTE *	552

Grand Total **6,147**

Affordable Housing Habitable unit area is measured to the outside face of exterior walls and the centre line of demising walls separating the unit from adjacent dwellings, corridors, and other spaces within the building.

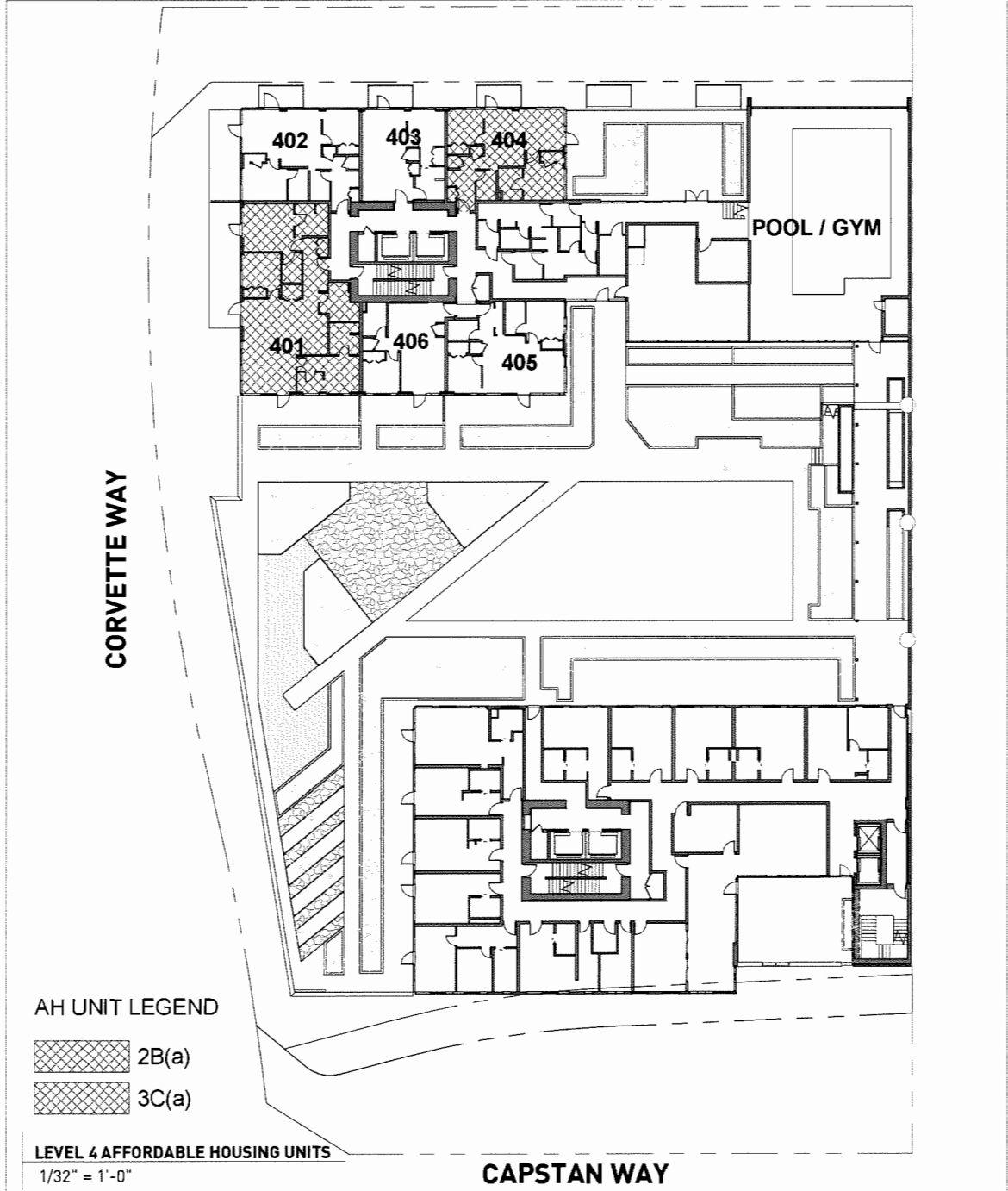
* ALL AFFORDABLE UNITS TO COMPLY WITH MINIMUM RICHMOND ZONING BYLAW REQUIREMENTS FOR BASIC UNIVERSAL HOUSING UNITS (BHU). INCLUDING, AMONG OTHER THINGS, THE MINIMUM SIZE OF ALL BALCONIES AND FLUSH TRESHOLDS AT BALCONY DOORWAYS.



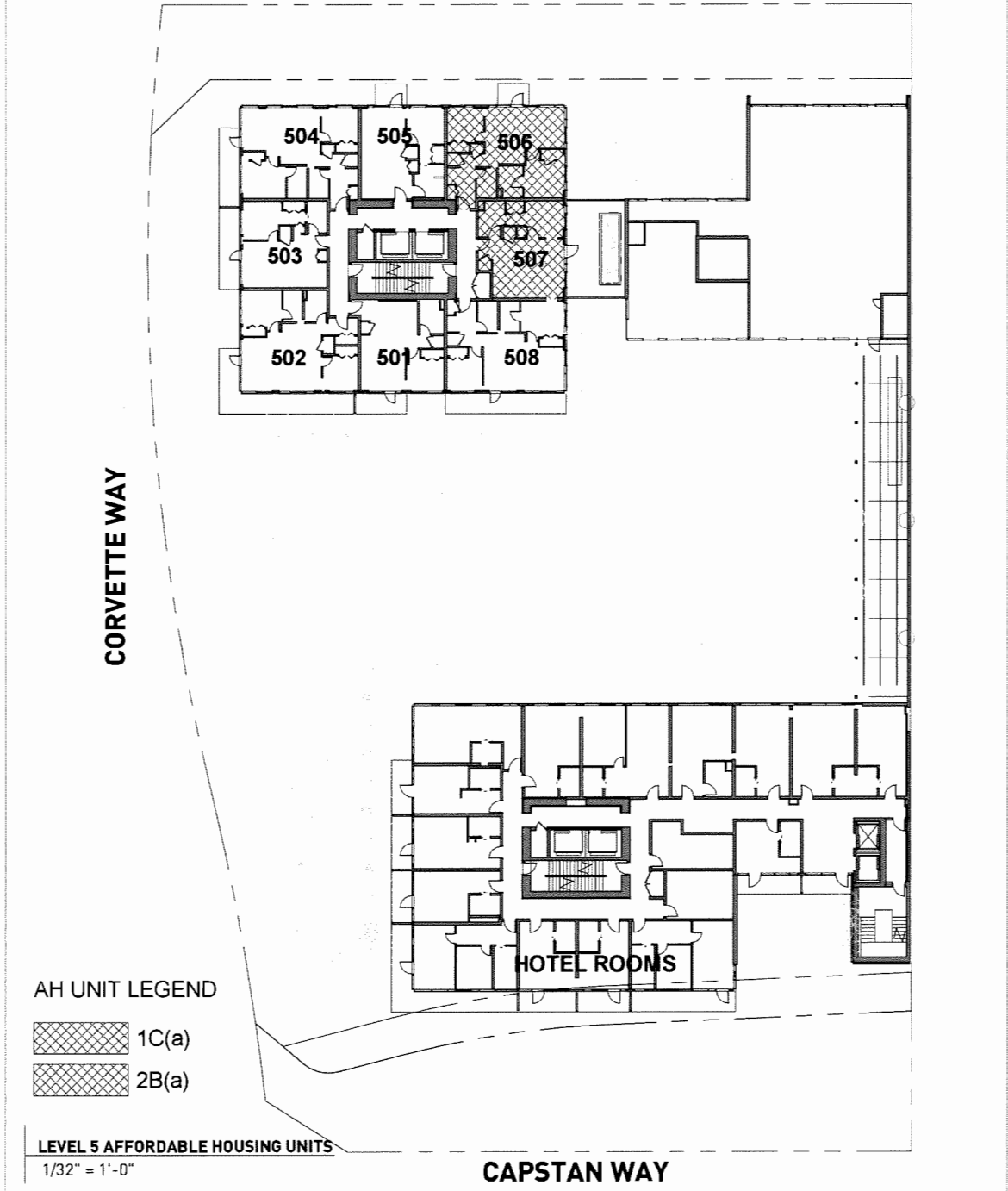
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	<small>8091 CAPSTAN WAY</small>		
<small>SHEET NUMBER</small>	AHU-01		
<small>REVISION DESCRIPTION</small>	<small>DATE</small>	<small>SCALE</small>	
<small>JOB NUMBER</small>	1227		
<small>DRAWN BY</small>	AF	<small>REFERENCE PLS SHEET</small>	

THE CAPSTAN

GBLARCHITECTS



 EMERGENT ARCHITECTURE	PROJECT NAME		THE CAPSTAN	
			8091 CAPSTAN WAY	
	SHEET NUMBER:		AHU-02	
	REVISION DESCRIPTION:	LEVEL 4 AFFORDABLE HOUSING UNITS	DATE:	23/01/2019
	JOB NUMBER:	1227	SCALE:	1/32" = 1'-0"
DRAWN BY:	AF	REFERENCING SHEET:		

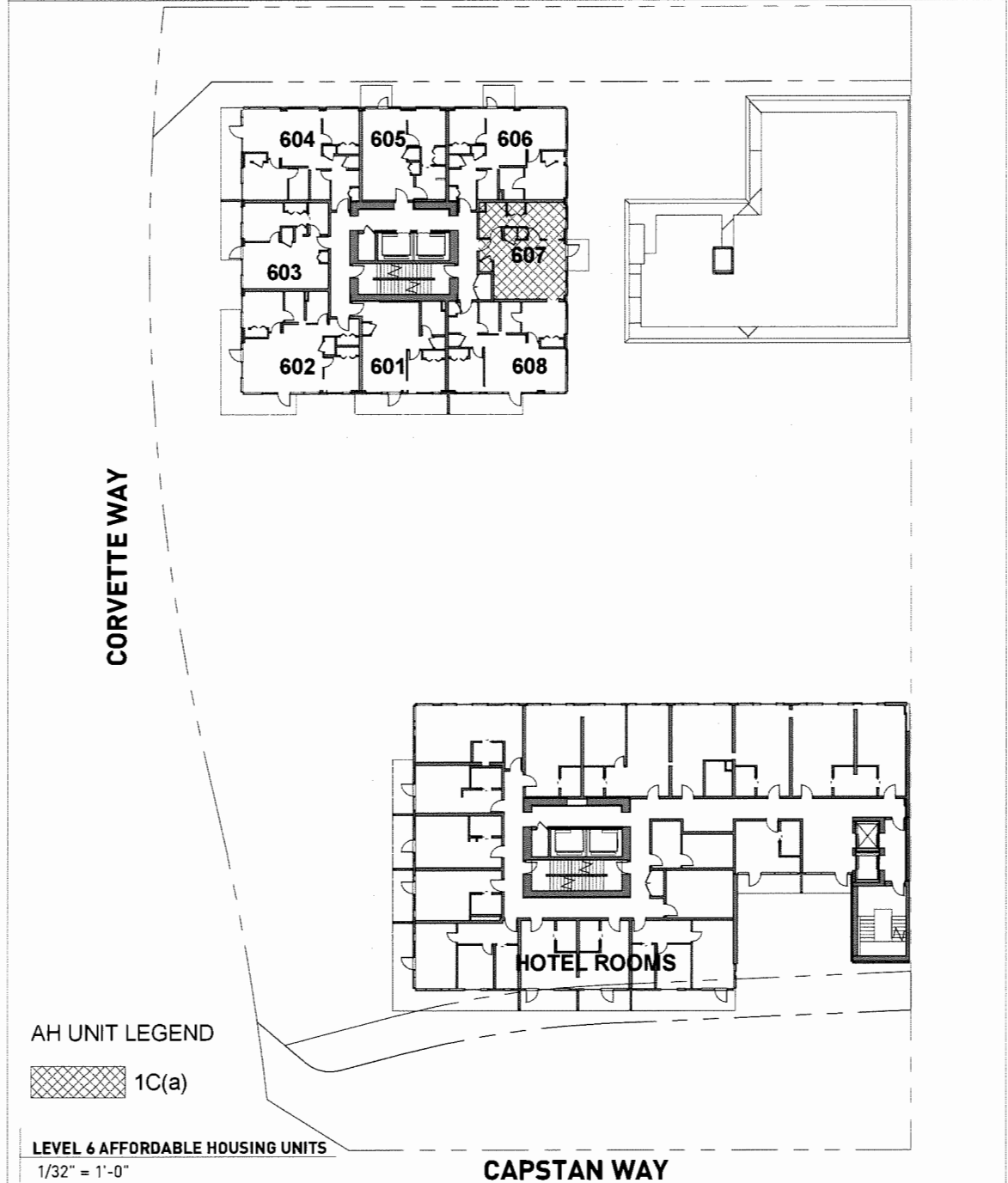


 EMERGENT ARCHITECTURE	PROJECT NAME		THE CAPSTAN	
			8091 CAPSTAN WAY	
	SHEET NUMBER:		AHU-03	
	REVISION DESCRIPTION:	LEVEL 5 AFFORDABLE HOUSING UNITS	DATE:	23/01/2019
	JOB NUMBER:	1227	SCALE:	1/32" = 1'-0"
DRAWN BY:	AF	REFERENCING SHEET:		

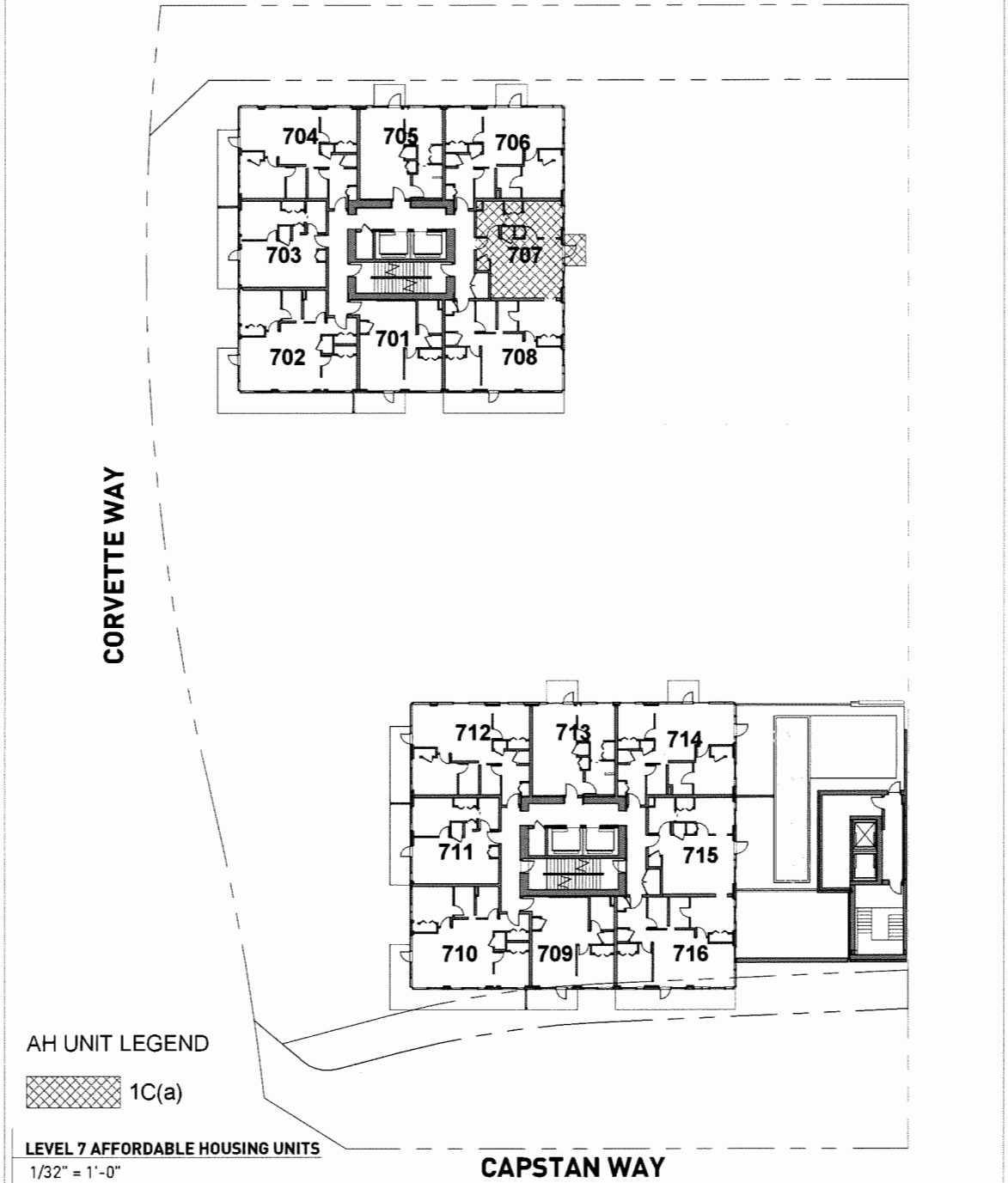


THE CAPSTAN

GBL ARCHITECTS



 EMERGENT ARCHITECTURE	PROJECT NAME	THE CAPSTAN		
		8091 CAPSTAN WAY		
	SHEET NUMBER:	AHU-04		
	REVISION DESCRIPTION:	LEVEL 6 AFFORDABLE HOUSING UNITS	DATE:	23/01/2019
	JOB NUMBER:	1227	SCALE:	1/32" = 1'-0"
DRAWN BY:	AF	REFERENCING SHEET:		



 EMERGENT ARCHITECTURE	PROJECT NAME	THE CAPSTAN		
		8091 CAPSTAN WAY		
	SHEET NUMBER:	AHU-05		
	REVISION DESCRIPTION:	LEVEL 7 AFFORDABLE HOUSING UNITS	DATE:	23/01/2019
	JOB NUMBER:	1227	SCALE:	1/32" = 1'-0"
DRAWN BY:	AF	REFERENCING SHEET:		



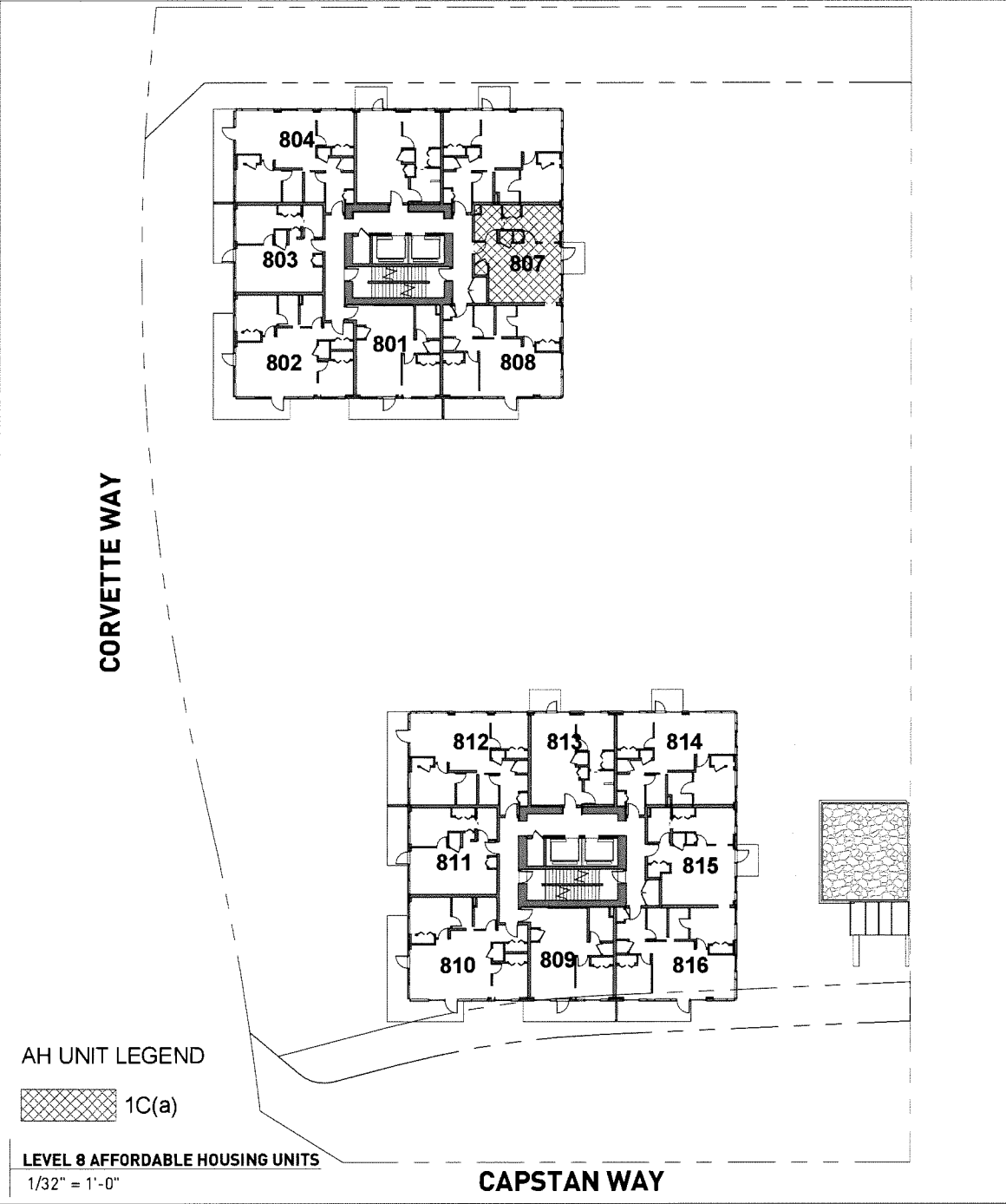
THE CAPSTAN

GBLARCHITECTS

DP 15-699652

April 28, 2021

PLAN # 11d



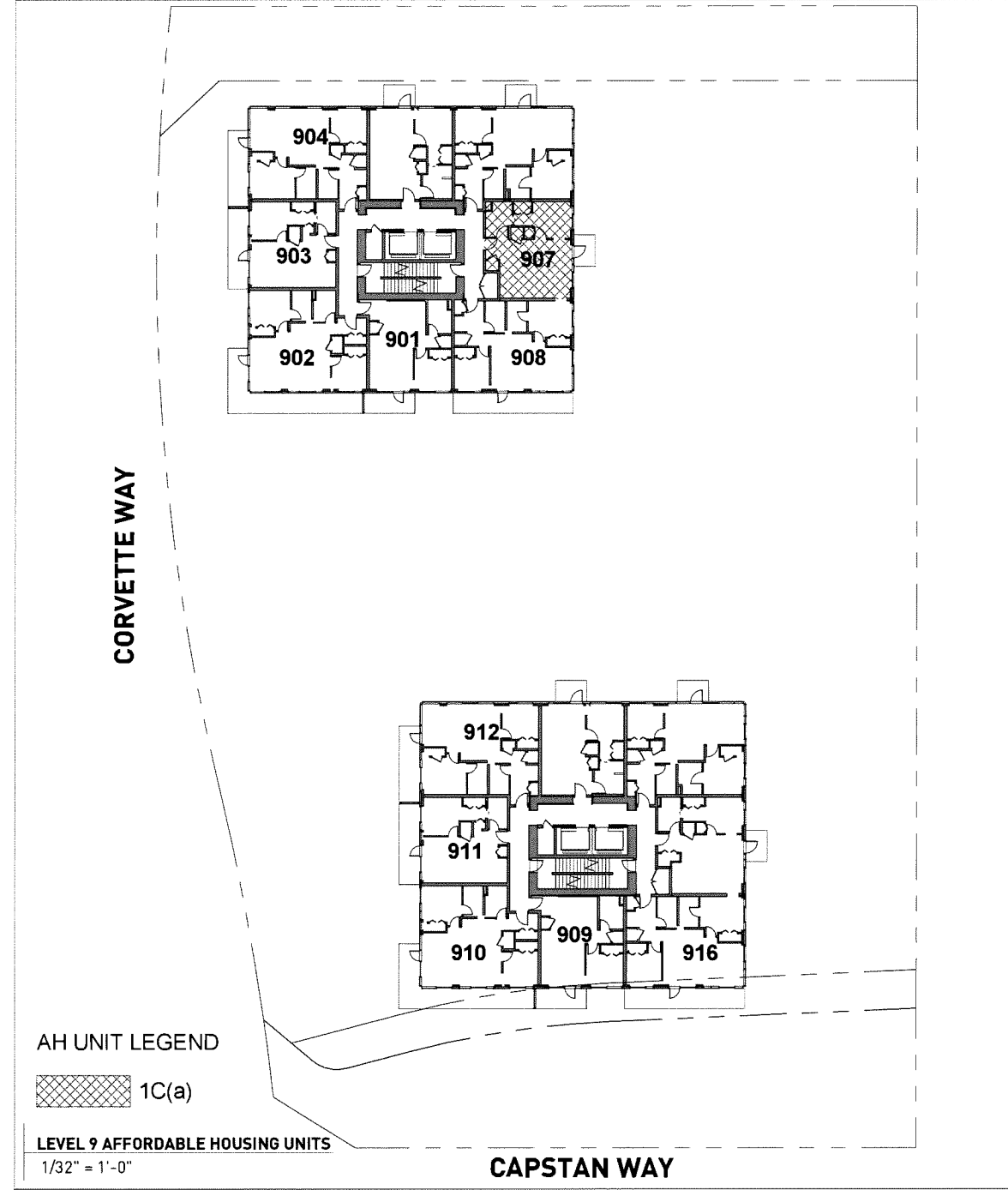
AH UNIT LEGEND
 1C(a)

LEVEL 8 AFFORDABLE HOUSING UNITS
 1/32" = 1'-0"

CAPSTAN WAY



PROJECT NAME	THE CAPSTAN		
	8091 CAPSTAN WAY		
SHEET NUMBER:	AHU-06		
REVISION DESCRIPTION	LEVEL 8 AFFORDABLE HOUSING UNITS	DATE:	23/01/2019
JOB NUMBER:	1227	SCALE:	1/32" = 1'-0"
DRAWN BY:	AF	REFERENCING SHEET:	



AH UNIT LEGEND
 1C(a)

LEVEL 9 AFFORDABLE HOUSING UNITS
 1/32" = 1'-0"

CAPSTAN WAY



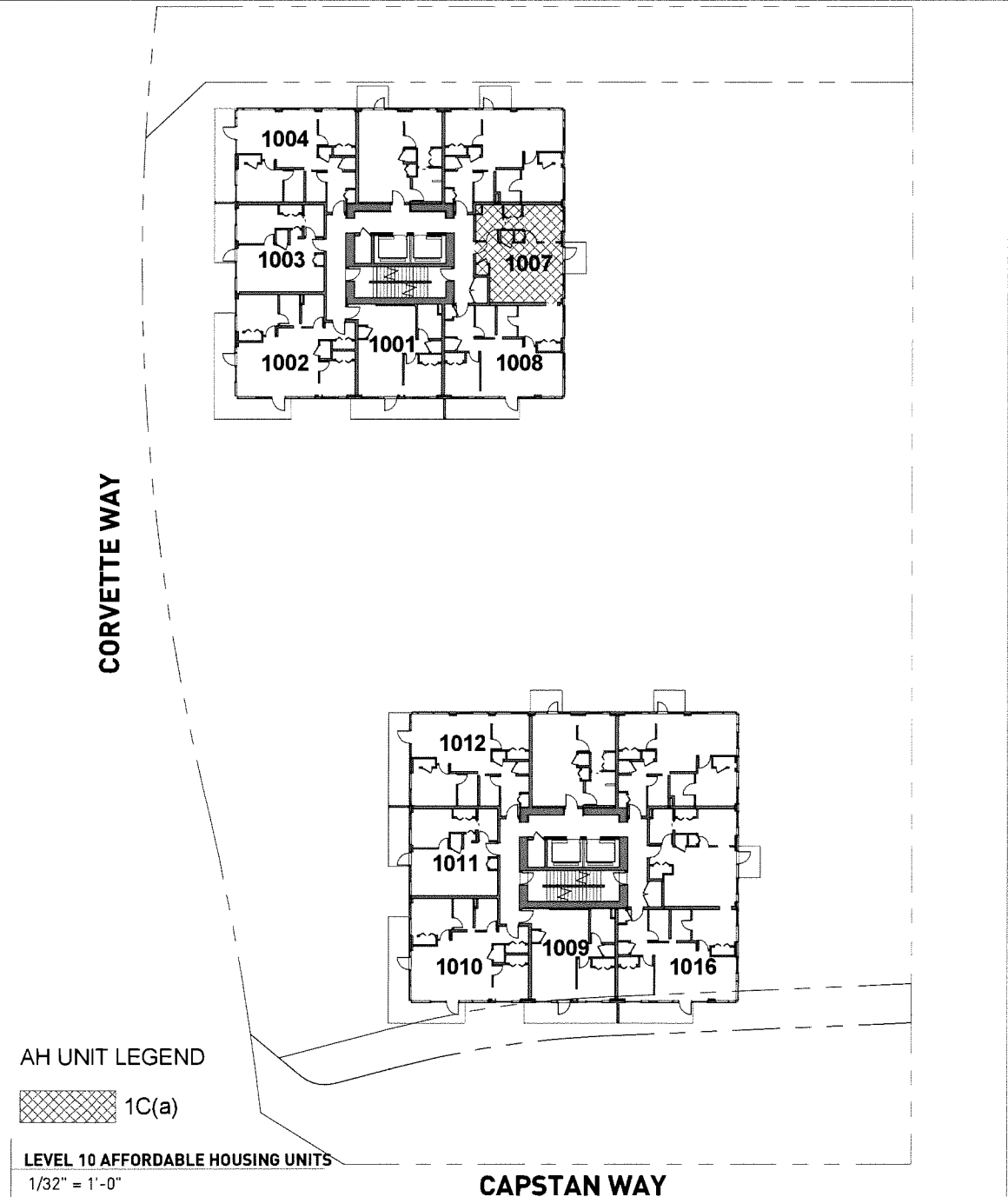
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	8091 CAPSTAN WAY		
SHEET NUMBER:	AHU-07		
REVISION DESCRIPTION	LEVEL 9 AFFORDABLE HOUSING UNITS	DATE:	23/01/2019
JOB NUMBER:	1227	SCALE:	1/32" = 1'-0"
DRAWN BY:	AF	REFERENCING SHEET:	



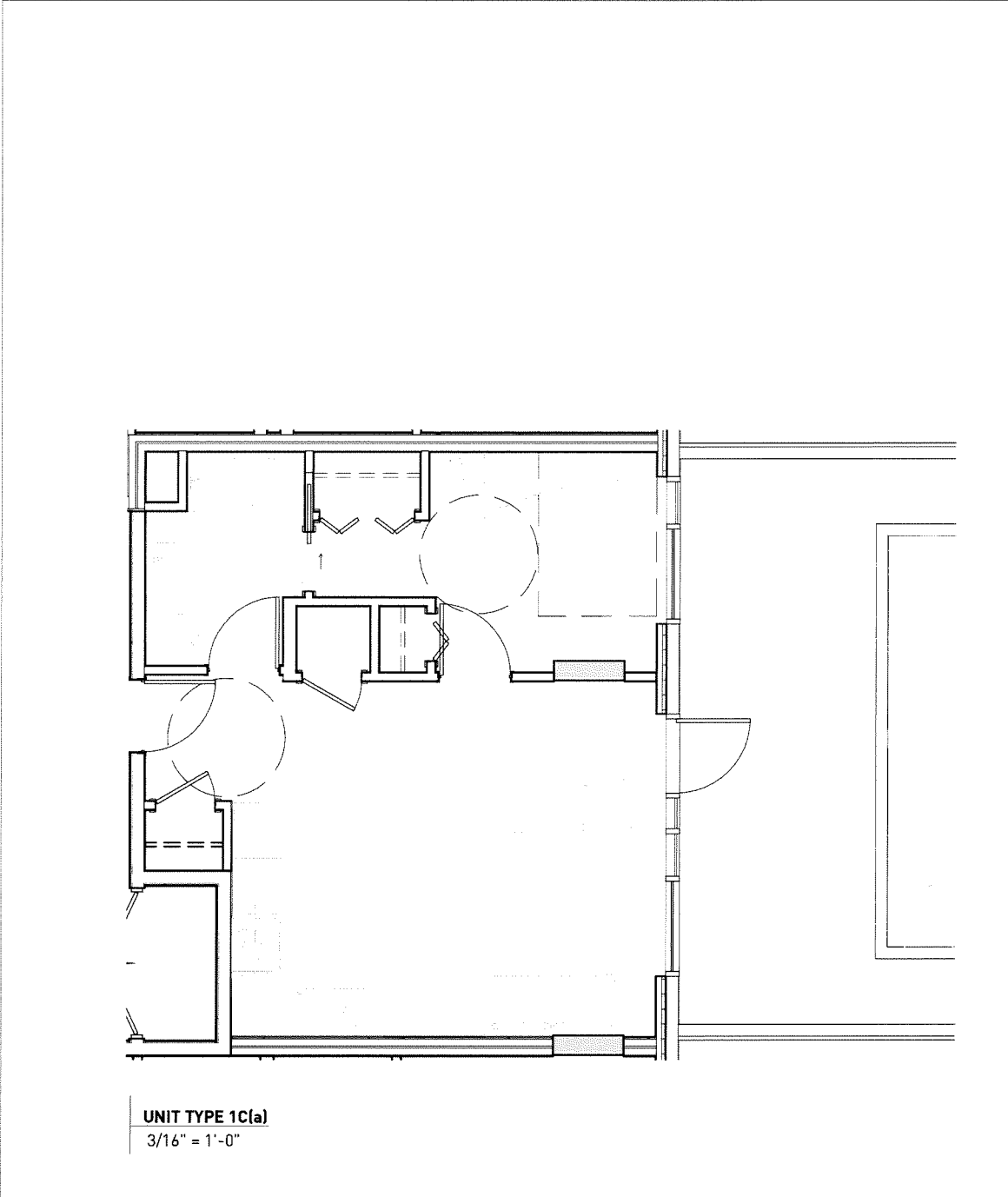
THE CAPSTAN

GBLARCHITECTS

DP 15-699652
April 28, 2021
PLAN # 11e



gbl EMERGENT ARCHITECTURE	PROJECT NAME	THE CAPSTAN		
		8091 CAPSTAN WAY		
	SHEET NUMBER:	AHU-08		
	REVISION DESCRIPTION:	LEVEL 10 AFFORDABLE HOUSING UNITS	DATE:	23/01/2019
	JOB NUMBER:	1227	SCALE:	1/32" = 1'-0"
	DRAWN BY:	AF	REFERENCING SHEET:	



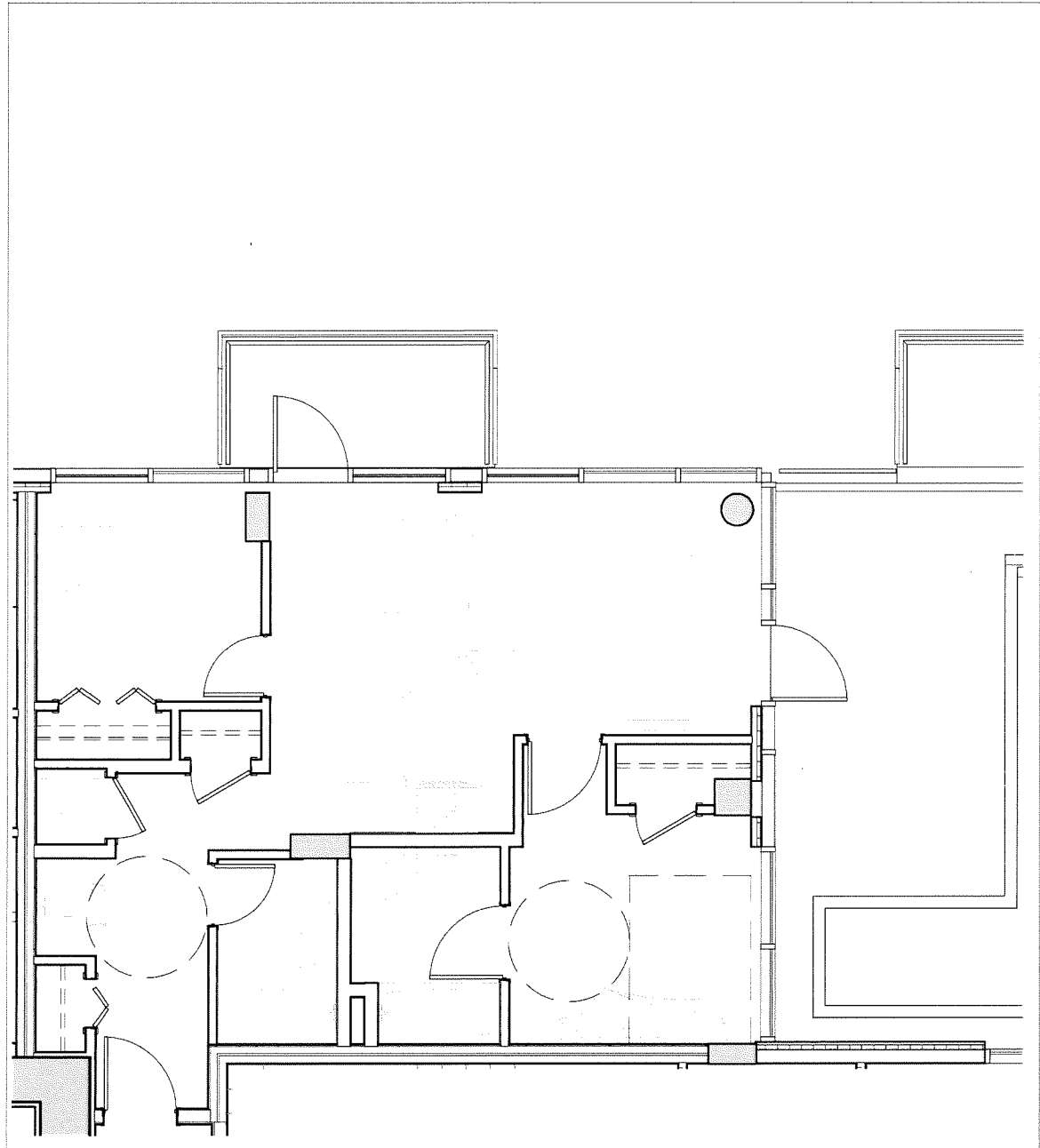
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		8091 CAPSTAN WAY		
	SHEET NUMBER:	AHU-09		
	REVISION DESCRIPTION:	UNIT LAYOUT - 1Ca	DATE:	23/01/2019
	JOB NUMBER:	1227	SCALE:	3/16" = 1'-0"
	DRAWN BY:	AF	REFERENCING SHEET:	




THE CAPSTAN

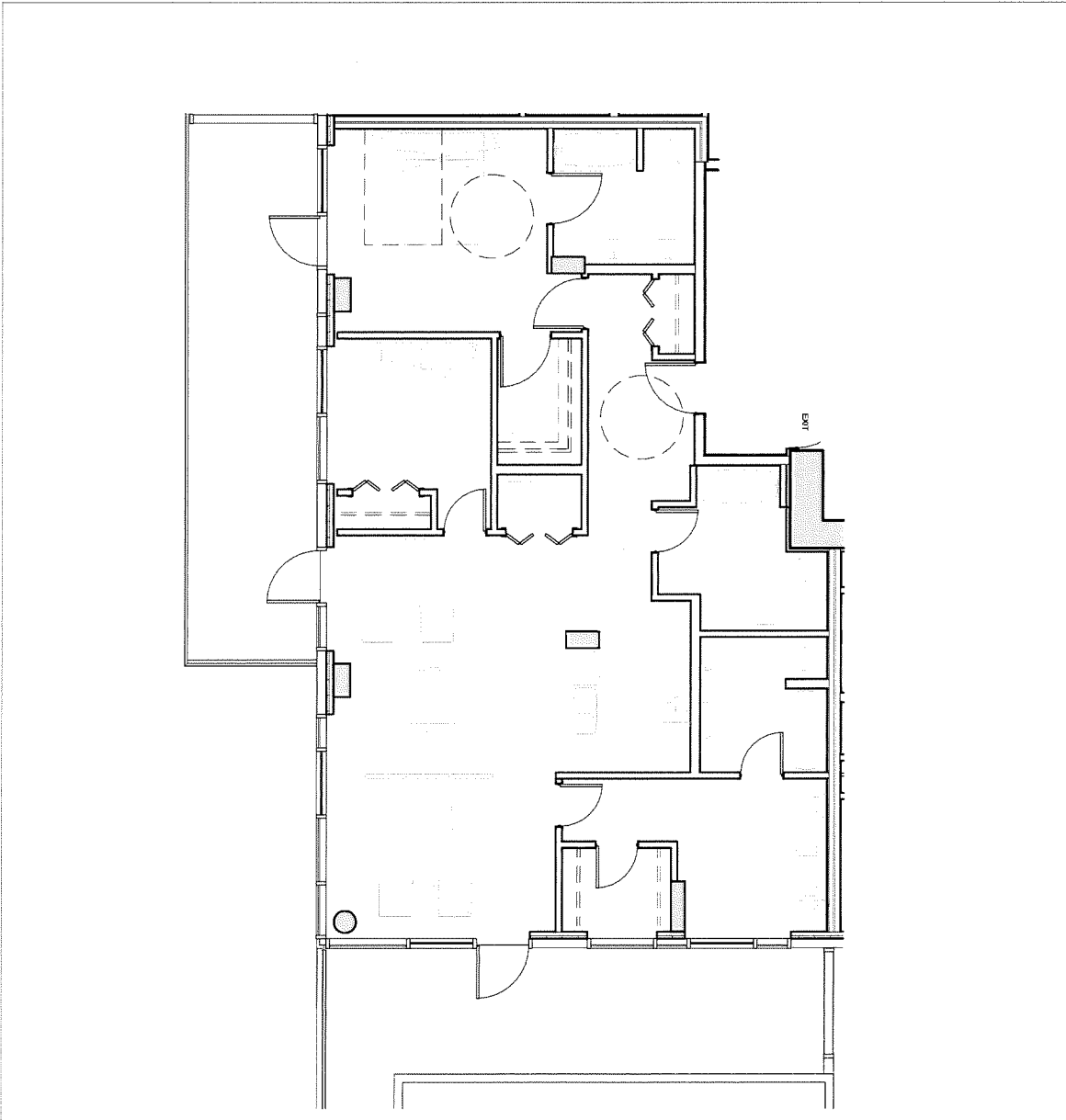
GBLARCHITECTS

DP 15-699652
 April 28, 2021
PLAN # 11f




UNIT TYPE 2B(a)
 3/16" = 1'-0"

 EMERGENT ARCHITECTURE	PROJECT NAME	THE CAPSTAN		
		8091 CAPSTAN WAY		
	SHEET NUMBER:	AHU-10		
	REVISION DESCRIPTION:	UNIT LAYOUT - 2Ba	DATE	23/01/2019
	JOB NUMBER:	1227	SCALE:	3/16" = 1'-0"
DRAWN BY:	AF	REFERENCING SHEET:		



UNIT TYPE 3Ca
 1/8" = 1'-0"

 EMERGENT ARCHITECTURE	PROJECT NAME	THE CAPSTAN		
		8091 CAPSTAN WAY		
	SHEET NUMBER:	AHU-11		
	REVISION DESCRIPTION:	UNIT LAYOUT - 3Ca	DATE	23/01/2019
	JOB NUMBER:	1227	SCALE:	1/8" = 1'-0"
DRAWN BY:	AF	REFERENCING SHEET:		



THE CAPSTAN

GBLARCHITECTS

DP 15-699652
 April 28, 2021
PLAN # 12

4.16.11 MANEUVERING SPACE:
 DOORWAYS PROVIDING ACCESS TO COMMON LIVING AREAS AND AT LEAST ONE BATHROOM AND ONE BEDROOM:
 • WHEN DOOR SWING IS AWAY FROM THIS AREA. NOT LESS THAN 1 220 mm LONG BY A WIDTH EQUAL TO THE DOOR ASSEMBLY PLUS NOT LESS THAN 300 mm. THIS APPLIES TO DOOR ASSEMBLIES TO ONE BEDROOM AND ONE BATHROOM IN 2 BEDROOM AND LARGER UNITS.
 • WHEN THE DOOR SWING IS TOWARD THIS AREA. NOT LESS THAN 1 500 mm LONG BY A WIDTH OF THE DOOR ASSEMBLY PLUS NOT LESS THAN 600 mm. THIS APPLIES TO DOOR ASSEMBLIES TO ONE BEDROOM AND ONE BATHROOM IN 2 BEDROOM AND LARGER UNITS.
 • WHERE THERE ARE DOORS IN SERIES IN COMMON AREAS THERE MUST BE SEPARATION OF AT LEAST 1,220 mm PLUS THE WIDTH OF THE DOOR.
 • ENTRY DOORS TO EVERY DWELLING UNIT ARE EXEMPTED FROM THE REQUIREMENT TO PROVIDE THE 1,220mm LONG CLEAR AREA AND 300mm OR 600mm CLEAR SPACE IF ROUGH IN WIRING IS PROVIDED FOR FUTURE CONVERSION FOR AN AUTOMATIC DOOR OPENER.

4.16.16-4.16.17 WINDOWS:
 • AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM SHALL HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750mm ABOVE THE FLOOR TO AFFORD SEATING VIEWING
 • "ACCESSIBLE" WINDOW HARDWARE ON THE ACCESSIBLE WINDOWS.

4.16.26-4.16.27 BEDROOM AND CLOSET:
 • SUFFICIENT SPACE TO PROVIDE A TURNING DIAMETER OF 1500mm ON ONE SIDE OF A DOUBLE BED IN AT LEAST ONE BEDROOM
 • CLOTHES CLOSET IN AT LEAST ONE BEDROOM TO HAVE CLEAR OPENING OF 900 mm, CLEAR FLOOR SPACE OF AT LEAST 750x1200mm AND CLOTHES HANGER ROD THAT CAN BE LOWERED TO 1200 mm

4.16.23 (a) BATHROOM:
 HAVE A TOILET POSITIONED WITH THE CENTERLINE OF THE TOILET 420 mm TO 480 mm FROM A SIDE WALL ON WHICH GRAB BAR CAN BE INSTALLED AND AT LEAST 510 mm FROM ANY OBSTRUCTION ON THE NON-GRAB BAR SIDE AND AT LEAST 800 mm FROM ANY OBSTRUCTION IN FRONT OF THE TOILET.

4.16.23 (c) BATHROOM:
 MIN. CLEAR AREA OF 510 mm IN DEPTH ALONG THE FULL LENGTH OF THE BATHTUB.

4.16.23 (d) BATHROOM:
 HAVE STRUCTURAL REINFORCEMENT IN WALLS BEHIND AND BESIDE THE TOILET AND THE WALLS AROUND THE TUB AND/OR SHOWER TO FACILITATE THE INSTALLATION OF GRAB BARS.

4.16.23 (c) BATHROOM:
 A CLEAR FLOOR AREA AT THE SINK OF NOT 760 mm BY 1220 mm POSITIONED FOR A PARALLEL APPROACH AND CENTERED ON THE SINK

4.16.5-4.16.10 DOORS AND DOORWAYS:
 • MIN. CLEAR OPENINGS FOR ALL ENTRY DOORS TO EVERY DWELLING UNIT AND DOORS IN COMMON AREAS SHALL BE NO LESS THAN 850mm (WHICH WILL BE PROVIDED BY A SWING DOOR).
 • MIN. CLEAR OPENING FOR THE INTERIOR DOORS TO AT LEAST ONE BEDROOM AND ONE BATHROOM AND TO COMMON LIVING AREAS IN EVERY DWELLING UNIT SHALL BE NO LESS THAN 800 mm (WHICH WILL BE PROVIDED BY A SWING DOOR)
 • FLUSH THRESHOLDS THROUGH THE BUILDING SHALL BE MAXIMUM 13mm IN HEIGHT.

4.16.12 CORRIDOR WIDTH:
 • PROVIDE A CLEAR AREA NOT LESS THAN 1 500 mm x 1 500 mm ADJACENT TO THE ELEVATOR ENTRANCE

4.16.28-4.16.29 PATIOS AND BALCONIES:
 • ACCESS DOOR SHALL HAVE A MIN. CLEAR OPENING OF 800 mm.
 • MIN. DIMENSION OF 1500x1500 mm (EXCEPT "JULIET" OR "FRENCH" STYLE BALCONY OR PATIO).

4.16.25 KITCHEN:
 • SOME USABLE COUNTER SPACE AND CUPBOARDS THAT CAN BE EASILY ACCESSED BY PEOPLE WITH DISABILITIES, INCLUDING PEOPLE WITH WHEELCHAIRS
 • EASY TO GRASP HANDLES ON FAUCETS AND CUPBOARDS
 • TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS
 • PLUMBING AND UTILITY PIPES LOCATED TO PROVIDE A POTENTIAL 810mm WIDE SPACE UNDER THE COUNTER

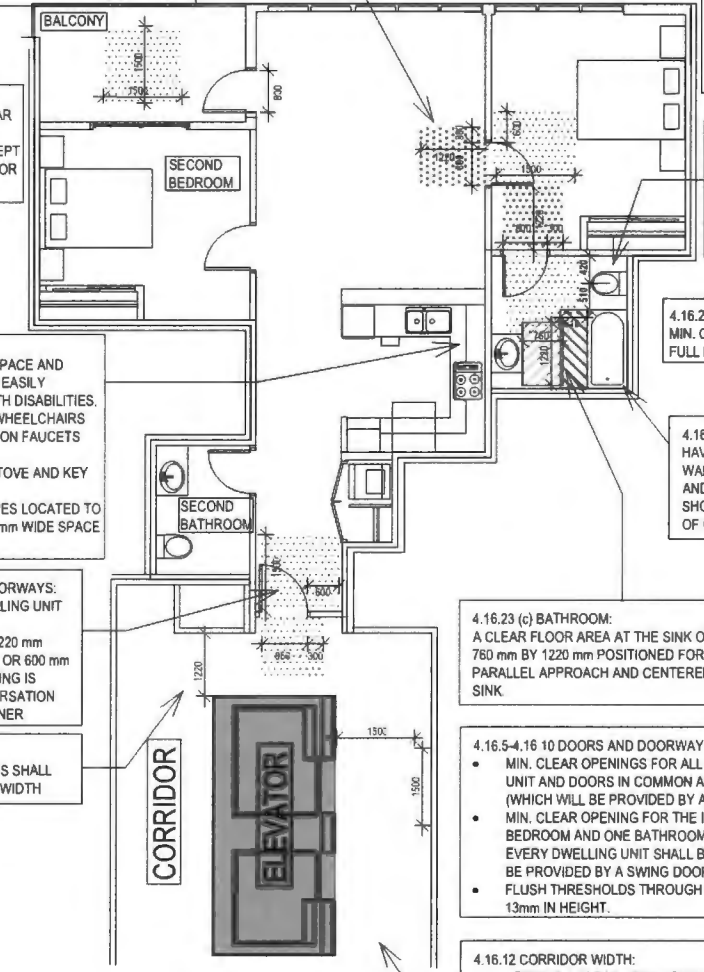
4.16.11 MANOEUVRING SPACE AT DOORWAYS:
 • ENTRY DOORS TO EVERY DWELLING UNIT ARE EXEMPTED FROM THE REQUIREMENTS TO PROVIDE 1,220 mm LONG CLEAR AREA AND 300 mm OR 600 mm CLEAR SPACE IF ROUGH IN WIRING IS PROVIDED FOR FUTURE CONVERSION FOR AN AUTOMATIC DOOR OPENER

4.16.12 CORRIDOR WIDTH:
 • CORRIDORS AND PASSAGEWAYS SHALL BE NOT LESS THAN 1 220 mm IN WIDTH

4.16.2.4.13 4. BUILDING ACCESS:
 • DWELLING UNITS AND AMENITIES TO BE ACCESSIBLE FROM A ROAD AND PARKING
 • ACCESS TO ELEVATOR SHALL BE PROVIDED FROM BOTH THE ROAD AND THE ENTRY TO THE ON-SITE PARKING AREA.
 • AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED FROM THE MAIN ENTRY

4.16.19-4.16.22 OUTLETS AND SWITCHES:
 • LIGHT SWITCHES AND ELECTRICAL PANELS SHALL BE 900 TO 1200 mm FROM THE FLOOR.
 • INTERCOM BUTTONS SHALL BE MAX 1375 mm FROM THE FLOOR
 • ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED 455 TO 1200 mm FROM THE FLOOR.
 • THERMOSTAT SHALL BE LOCATED BETWEEN 900 TO 1200 mm FROM THE FLOOR.
 • THE OPERABLE PART OF THE CONTROLS SHALL BE LOCATED WITHIN REACH OF A CLEAR FLOOR AREA THAT HAS A WIDTH OF NOT LESS THAN 750mm
 • ROCKER OR PADDLE-TYPE LIGHT SWITCHES.

4.16.13-4.16.15 FLOOR SURFACES:
 • FLOOR SURFACES THROUGHOUT THE BUILDING, EXCEPT EXTERIOR BALCONY, PATIO AND DECK DOOR SILLS, SHALL HAVE NO ABRUPT CHANGES IN LEVEL (BREAK OF THE FLUSH THRESHOLD OF 13 mm HEIGHT)
 • FLOOR SURFACES SHALL BE SLIP RESISTANT.



Doors and Doorways

4.16.5 The minimum clear openings for all entry doors to every dwelling unit and doors in common areas shall be no less than 850.0 mm (which will be provided by a swing door). [Bylaw 8736, Sep 5/12]

4.16.6 The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living areas in every dwelling unit shall be no less than 800.0 mm (which will be provided by a swing door). [Bylaw 8736, Sep 5/12]
 Section 4: General Development Regulations 4-10 2703766 v3

4.16.7 Doors in every dwelling unit and common areas shall be operable by devices that do not require tight grasping or twisting of wrist.

4.16.8 Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.

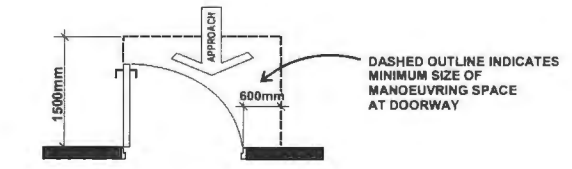
4.16.9 The above-noted requirements for doors do not apply to mechanical rooms, service areas, closets, etc. where through access is not required and access to a person with a disability is not anticipated.

4.16.10 Clear openings shall be measured as illustrated in Figure 1 below.
 Figure 1. Clear Opening Measurement For Doors

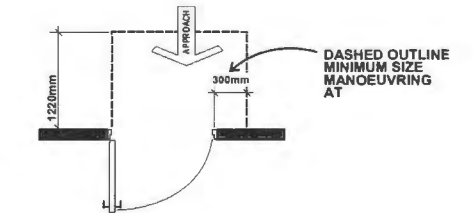


4.16.11 Entry doors to every dwelling unit and door assemblies in common areas shall have a clear and level area which is not less than the following:

a) Where the door swings toward the area (pull door), 1500.0 mm long by the width of the door plus at least 600.0 mm clear space on the latch side, as illustrated in Figure 2 below. This requirement to apply to door assemblies to one bathroom and one bedroom in 2 bedroom and larger dwelling units. [Bylaw 8736, Sep 5/12]
 Figure 2. Front Approach, Pull Side [Bylaw 8736, Sep 5/12]



b) Where the door swings away from the area (push door), 1220.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 3 below. This requirement to apply to door assemblies to common living areas in every dwelling unit, and one bathroom and one bedroom in 2 bedroom and larger dwelling units. [Bylaw 8736, Sep 5/12]



d) Entry doors to every dwelling unit are exempted from the requirement to provide the 1220.0 mm long clear area and 300.0 mm or 600.0 mm clear space if rough in wiring is provided for future conversion for an automatic door opener. [Bylaw 8736, Sep 5/12]

Floor Surfaces

4.16.13 Floor surfaces throughout the building shall have no abrupt changes in level, i.e., a maximum break of the flush threshold of 13.0 mm height. This requirement does not apply to exterior balcony, patio and deck door sills. [Bylaw 8736, Sep 5/12]

4.16.14 Floor surfaces shall be slip resistant.

4.16.15 Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 13.0 mm height.

Windows

4.16.16 Windows which are accessible shall have a window sill height that does not exceed 750.0 mm above the floor to afford seated viewing. At least one window in the bedroom and one window in the living room shall afford such seated viewing.

4.16.17 Windows which are accessible shall have opening mechanisms operable with one hand and of a type that does not require tight grasping, pinching or twisting of the unit.
 Outlets and Switches

4.16.18 Light switches and electrical panels shall be 900.0 to 1200.0 mm from the floor. Intercom buttons shall be a maximum 1375.0 mm from the floor. [Bylaw 8736, Sep 5/12]

4.16.19 Electrical outlets, cable outlets and telephone jacks shall be located 455.0 mm to 1200.0 mm from the floor. [Bylaw 8736, Sep 5/12]

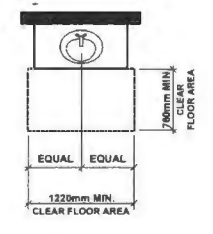
4.16.20 Thermostats shall be located between 900.0 mm to 1200.0 mm from the floor. [Bylaw 8736, Sep 5/12]

4.16.21 The operable part of controls shall be located within reach of a clear floor area that has a width of not less than 750.0 mm.

4.16.22 Light switches will be rocker or paddle-type switches.

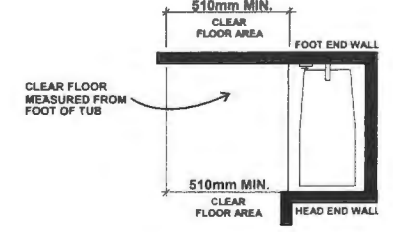
Bathrooms

4.16.23 At least one bathroom shall:
 a) have a toilet positioned with the centre line of the toilet 420.0 mm to 480.0 mm from a side wall on which a grab bar can be installed and at least 510.0 mm from any obstruction on the non-grab bar side and at least 800.0 mm from any obstruction in front of the toilet; and [Bylaw 8736, Sep 5/12]
 b) have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below.



Aging-in-Place:
 All non-BUH units shall include aging-in-place features:
 -lever handles and blocking in bathroom walls for future grab bar installation
 All affordable units are BUH.
 Market units complying to BUH guidelines are marked with "BUH" on floor plans.

c) have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below. [Bylaw 8736, Sep 5/12]



d) have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and
 e) include easy to grasp handles on faucets, e.g., lever-type faucets.

4.16.24 Where bathrooms are provided to serve a common amenity space, at least one shall be wheelchair accessible as described in the Building Code and the top of the rim of the toilet in that one bathroom shall be 480.0 mm above the floor.

Kitchens

4.16.25 The kitchen must have:
 a) some usable counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g., continuous counter between the stove and sink; adjustable shelves in all cabinets; pull-out work boards at 810.0 mm height; and pull-out cabinet shelves;
 b) easy to grasp handles on faucets, e.g., lever-type faucets;
 c) easy to reach and grasp handles on cupboards, e.g., D or J type cabinet handles and grab edges under counters;
 d) task lighting at sink, stove and key work areas; and
 e) plumbing and utility pipes located to provide for a potential 810.0 mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

Bedroom & Closet

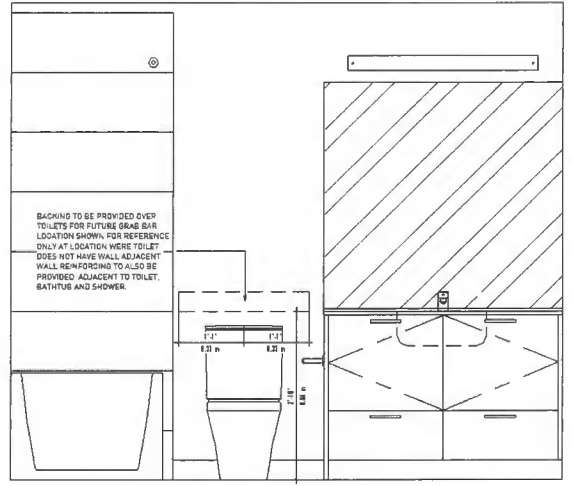
4.16.26 The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500.0 mm on one side of a double bed.

4.16.27 The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900.0 mm, clear floor space of at least 750.0 mm by 1200.0 mm and a clothes hanger rod that can be lowered to 1200.0 mm.

Patios and Balconies

4.16.28 Access doors shall have a minimum clear opening of 800.0 mm. [Bylaw 8736, Sep 5/12]

4.16.29 Minimum dimensions of any balcony or patio shall be 1500.0 mm by 1500.0 mm. This requirement does not apply to "Juliet" or "French" style of balcony or patio. [Bylaw 8736, Sep 5/12]



All BUH units must have aging in place features, such as lever handles and blocking in walls for the future installation of grab bars by others.

CITY OF RICHMOND ZONING BYLAW
BASIC UNIVERSAL HOUSING GUIDELINES

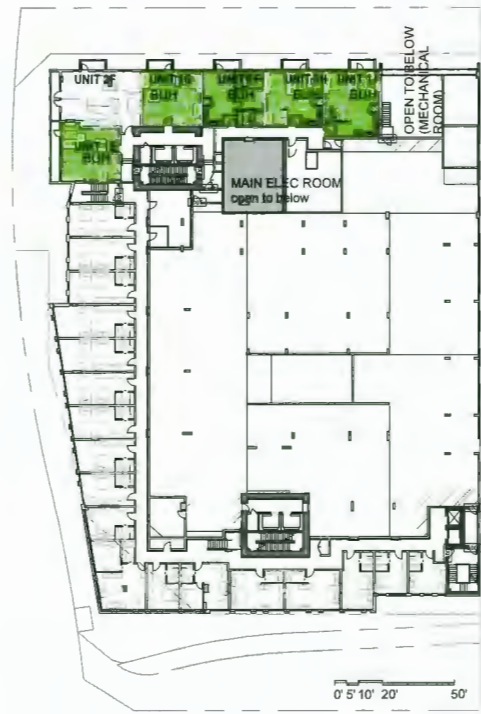
THE CAPSTAN

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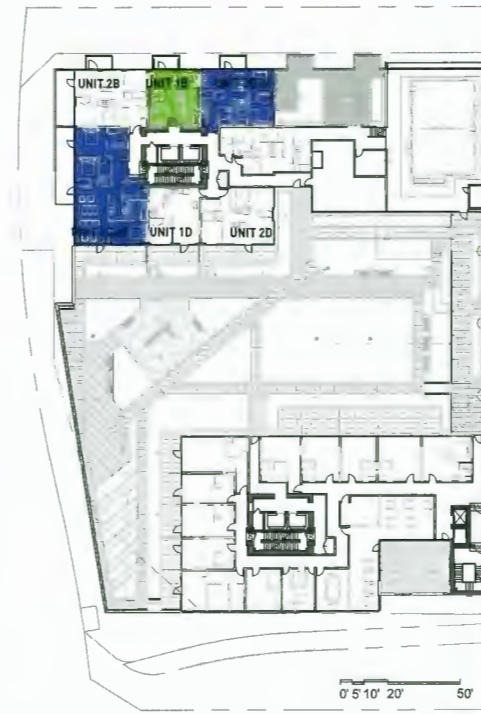
DP 15-699652

April 28, 2021

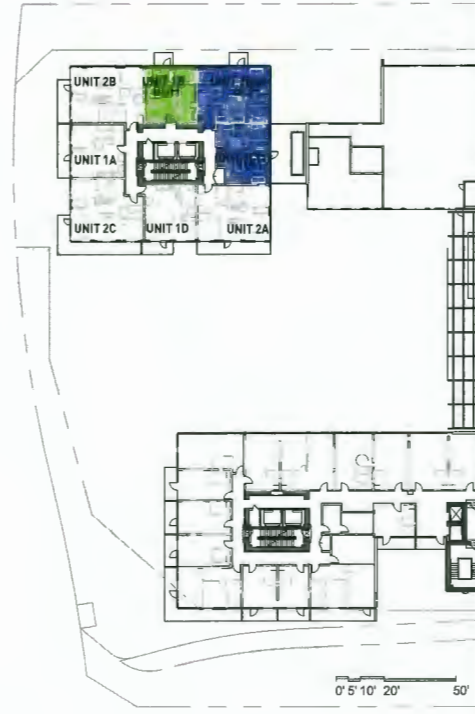
PLAN # 12a



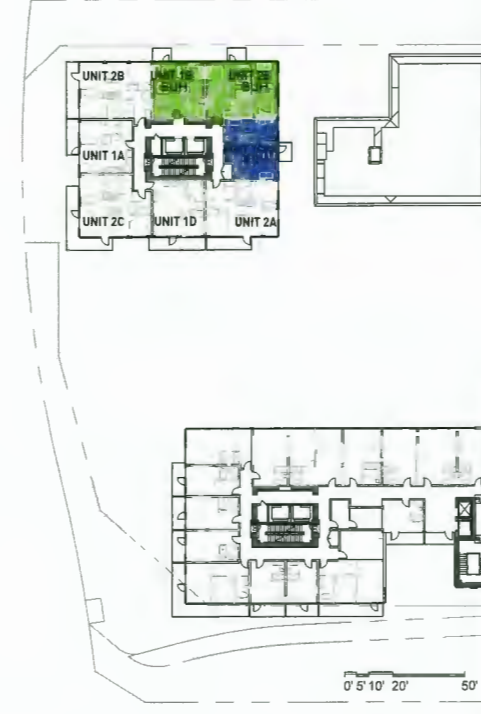
① LEVEL 3 BUH UNITS
1" = 40'-0"



② LEVEL 4 BUH UNITS
1" = 40'-0"



③ LEVEL 5 BUH UNITS
1" = 40'-0"



④ LEVEL 6 BUH UNITS
1" = 40'-0"



⑤ LEVEL 7-10 - BUH UNITS
1" = 40'-0"



⑥ LEVEL 11 BUH UNITS
1" = 40'-0"



⑦ LEVEL 12 BUH UNITS
1" = 40'-0"



⑧ LEVEL 13 BUH UNITS
1" = 40'-0"



⑨ LEVEL 14 BUH UNITS
1" = 40'-0"

AREA TYPE LEGEND

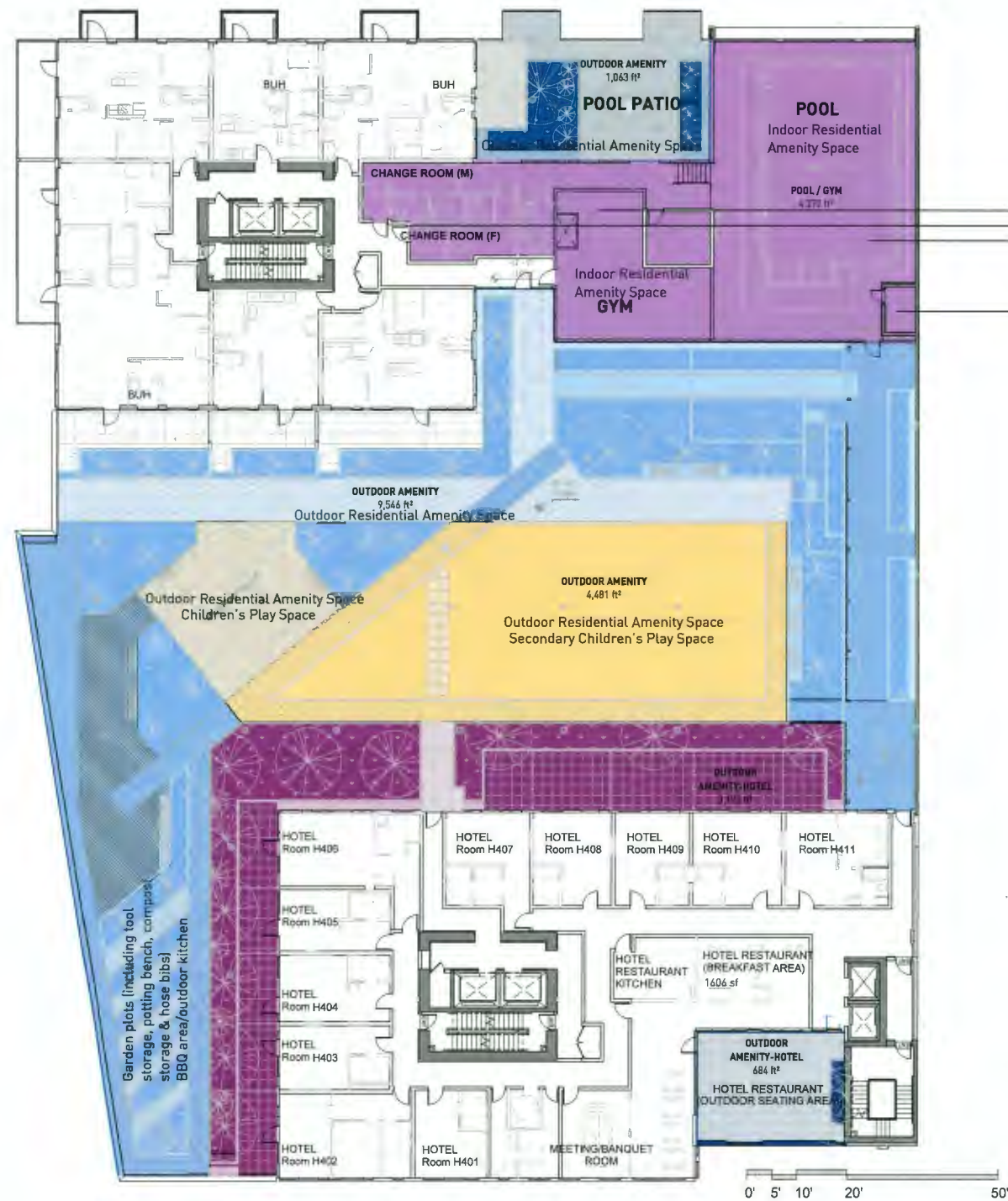
- 01. AFFORDABLE HOUSING UNIT
- 01. BUH



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DP 15-699652
 April 28, 2021
PLAN # 13



- 611
- HOTEL PATIOS
- HOTEL TERRACE
- RESIDENTIAL AMENITY - CHILDREN PLAY
- RESIDENTIAL AMENITY - INDOOR
- RESIDENTIAL AMENITY OUTDOOR



Fitness

Fully equipped gym with view to outdoor space and indoor pool.



Locker rooms

M/F locker rooms with accessible design are provided.



Indoor swimming pool

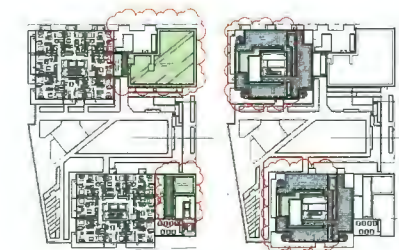
With two sides floor-to-ceiling windows, very bright space that overlooks outdoor amenities and the city.



Sauna

Incorporated within indoor pool area.

AMENITY AREAS CALCULATIONS		
	REQUIRED MINIMUM	PROVIDED
INDOOR	For 40-199 dwellings: 100.0 m ² (1,076.4 ft ²)	396.9 m ² (4,272.0 ft ²)
OUTDOOR	1,253 m ² (13,489 ft ²), including: -Residential Recreation: 137 units X 6.0 m ² /unit = 822 m ² (8,848 ft ²) -including at least 50% children's play area -CCAP Additional Landscape: 10% of net site area = 432 m ² (4,641 ft ²)	2,358 m ² (25,384 ft ²) including: -Residential Recreation @ podium roof level 4: 1,402.2 m ² (15,093 ft ²) (includes children play area 416.3 m ² (4,481 ft ²)) -Hotel amenity: 358.3 m ² (3,857 ft ²) level 4 -CCAP Additional Landscape: 547 m ² (5,887.9 ft ²) grade level (excluding private patios).
GREEN ROOFS	encouraged	428m ² (4,607 ft ²)



PROPOSED GREEN ROOF LOCATIONS

DP 15-699652
 April 28, 2021
PLAN # 14



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Hospitality Lodging – 72 rooms

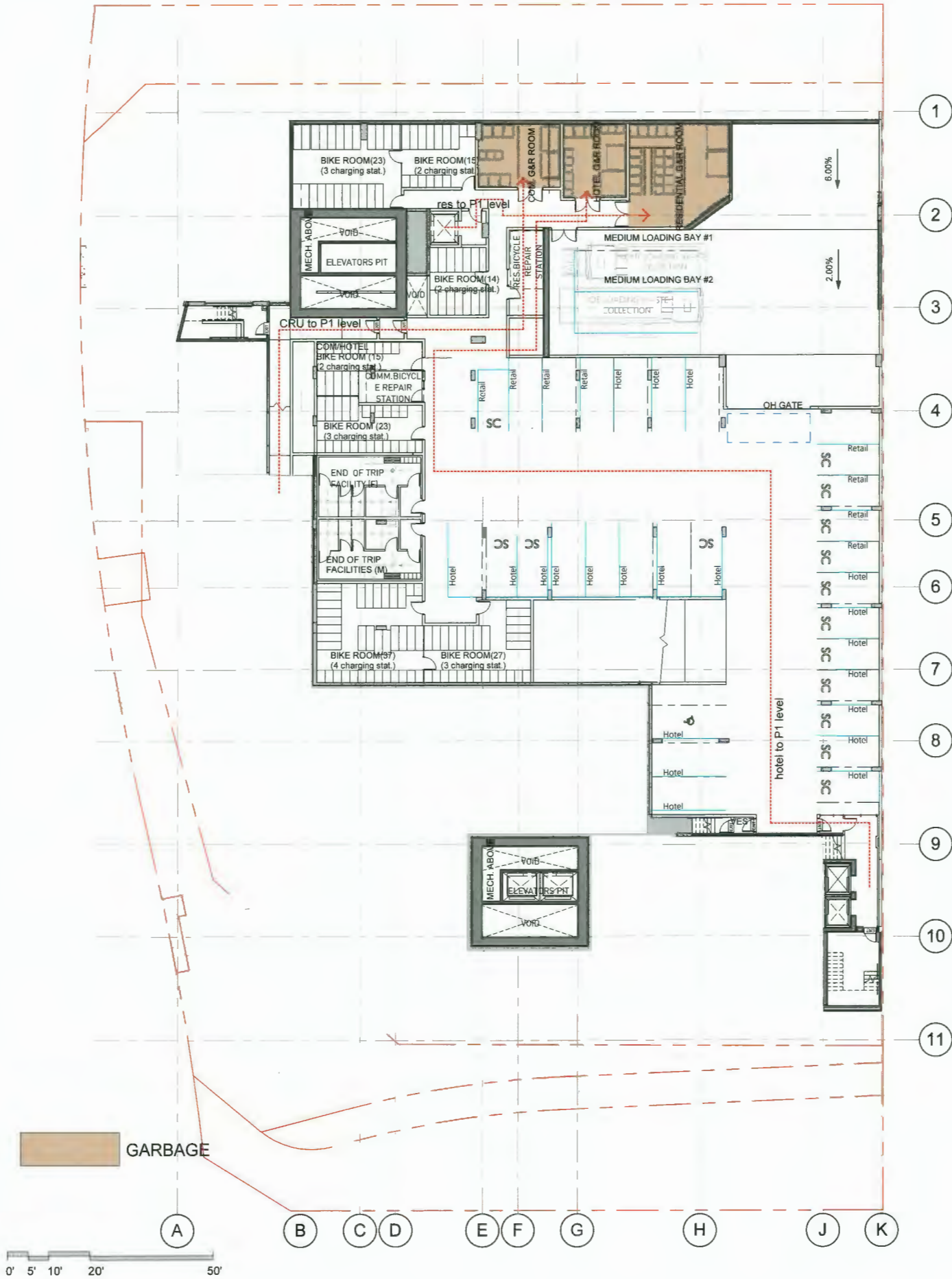
	Number of Bins	Size of Bin	Collection Frequency		
Commercial Mixed Containers	1	360L	1x	per	Week
Commercial Refundable Beverage Containers	1	240L	1x	per	Week
Commercial Mixed Paper (including newspaper)	2	360L	1x	per	Week
Commercial Glass	1	240L	1x	per	Week
Commercial Food Scraps, and Yard Trimmings	7	240L	1x	per	Week
Commercial Cardboard	1	3yd3	1x	per	Week
Commercial Garbage	1	4yd3	1x	per	Week
Commercial Grease/Tallow	1	18.6L	1x	per	Week

Commercial/Retail – 8,703 SF

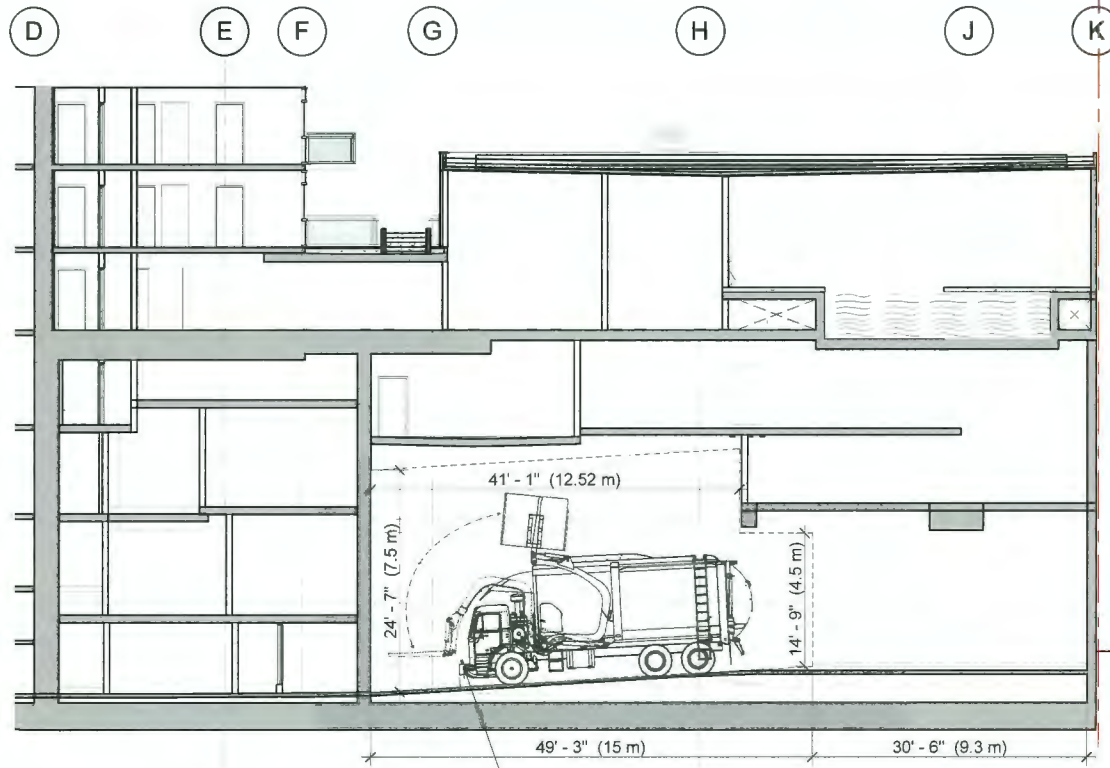
	Number of Bins	Size of Bin	Collection Frequency		
Commercial Mixed Containers	1	360L	1x	per	Week
Commercial Mixed Paper	4	360L	1x	per	Week
Commercial Corrugated Cardboard	1	3yd3	1x	per	Week
Commercial Garbage	1	3yd3	1x	per	Week
Commercial Refundable Beverage Containers	1	240L	1x	per	Week
Commercial Glass	1	240L	1x	per	Week
Commercial Food Scraps, and Yard Trimmings	7	240L	1x	per	Week

Apartment/Condominium –

	Number of Bins	Size of Bin	Collection Frequency		
Residential Mixed Containers	6	360L	1x	per	Week
Residential Refundable Beverage Containers	3	240L	1x	per	Week
Residential Mixed Paper	4	360L	1x	per	Week
Residential Glass	1	240L	1x	per	Week
Residential Food Scraps, and Yard Trimmings	6	240L	1x	per	Week
Residential Corrugated Cardboard	1	4yd3	1x	per	Week
Residential Garbage	3	8yd3	1x	per	Week

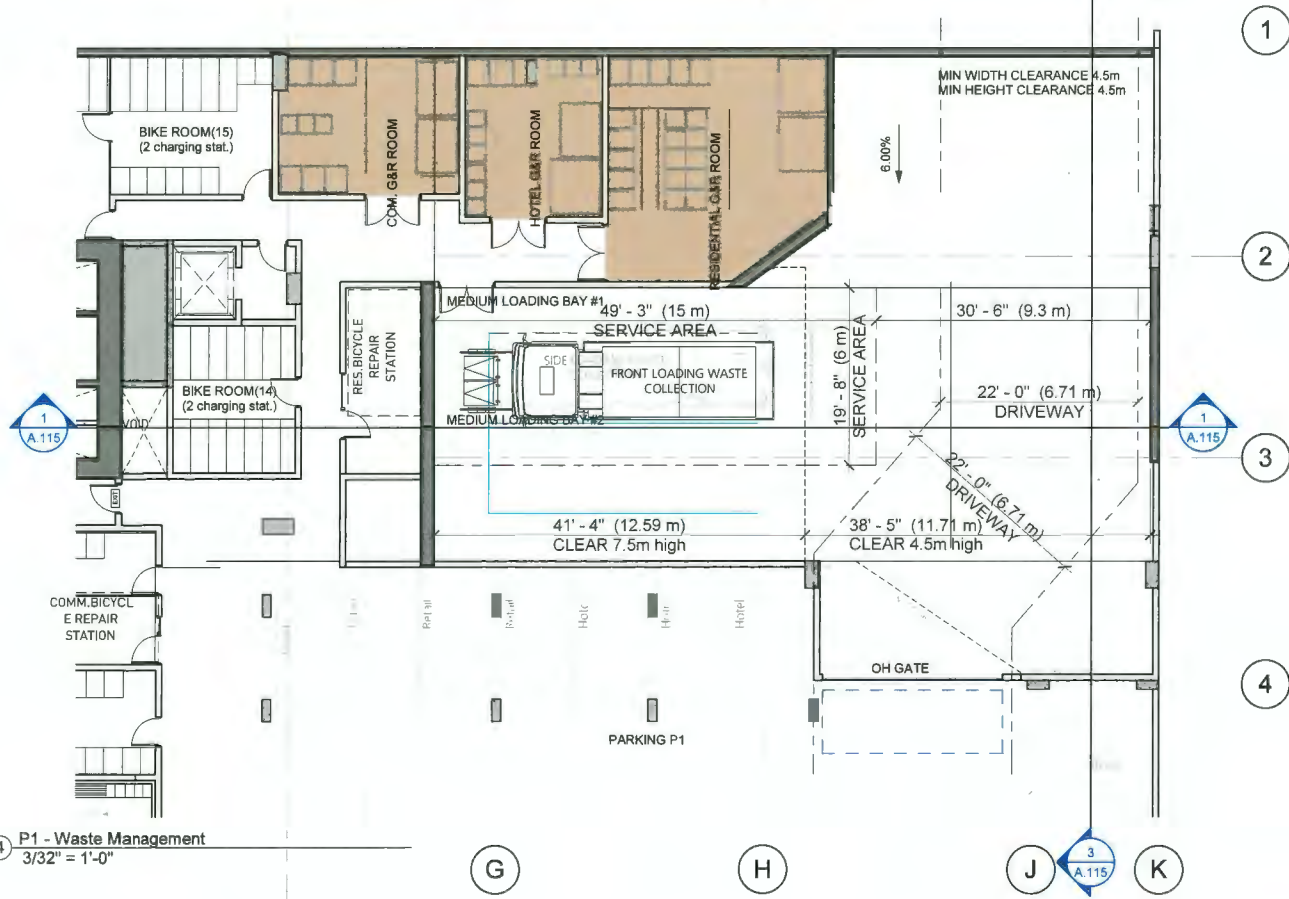


DP 15-699652
 April 28, 2021
 PLAN # 14b

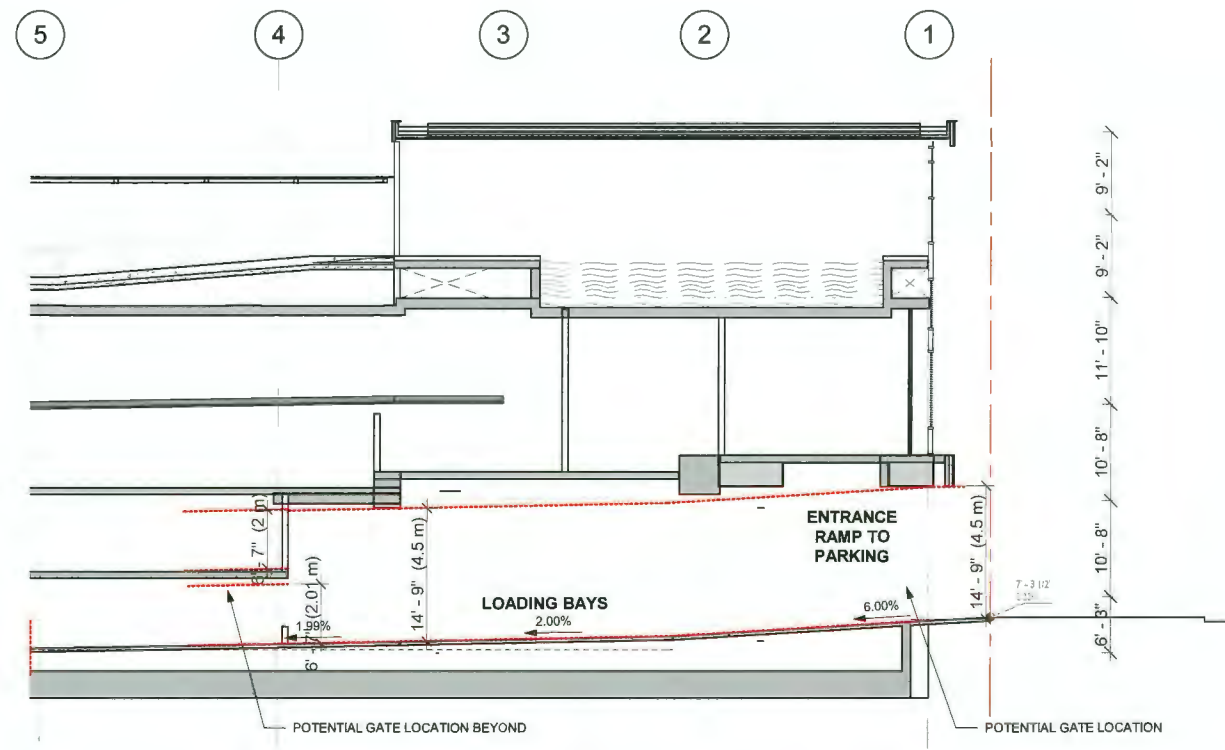


1 BUILDING SECTION "C"
 3/32" = 1'-0"

LOADING BAYS & GARBAGE COLLECTION



4 P1 - Waste Management
 3/32" = 1'-0"



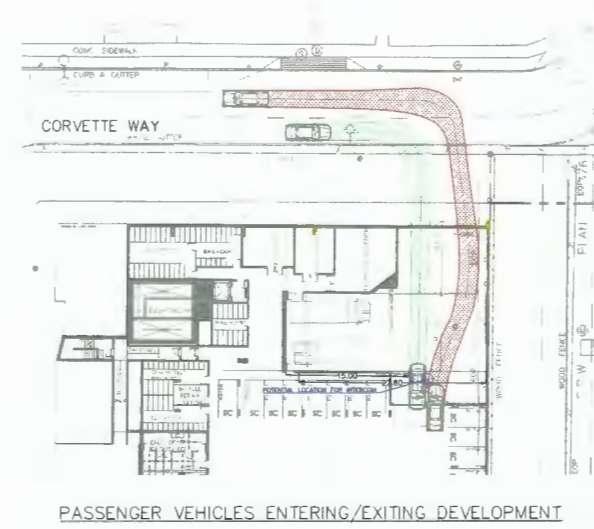
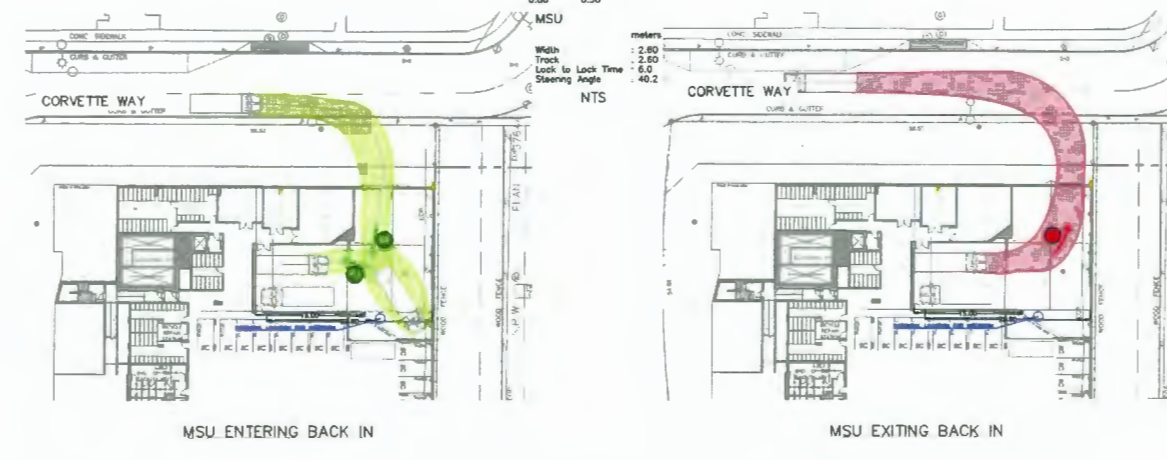
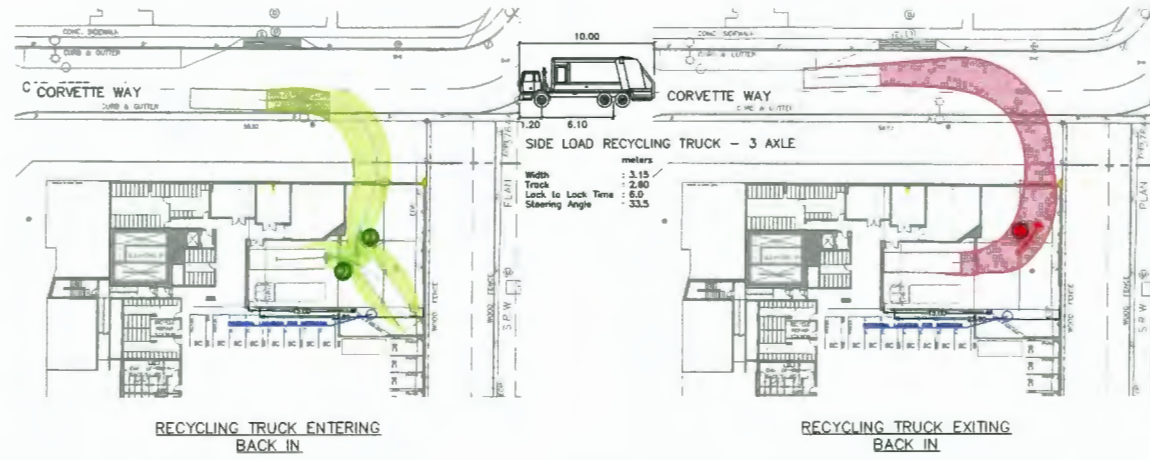
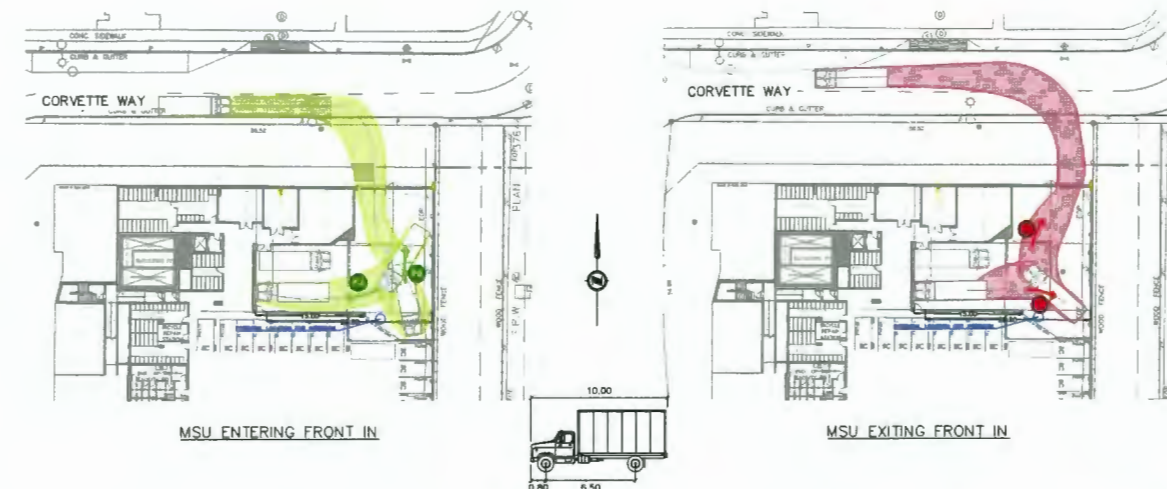
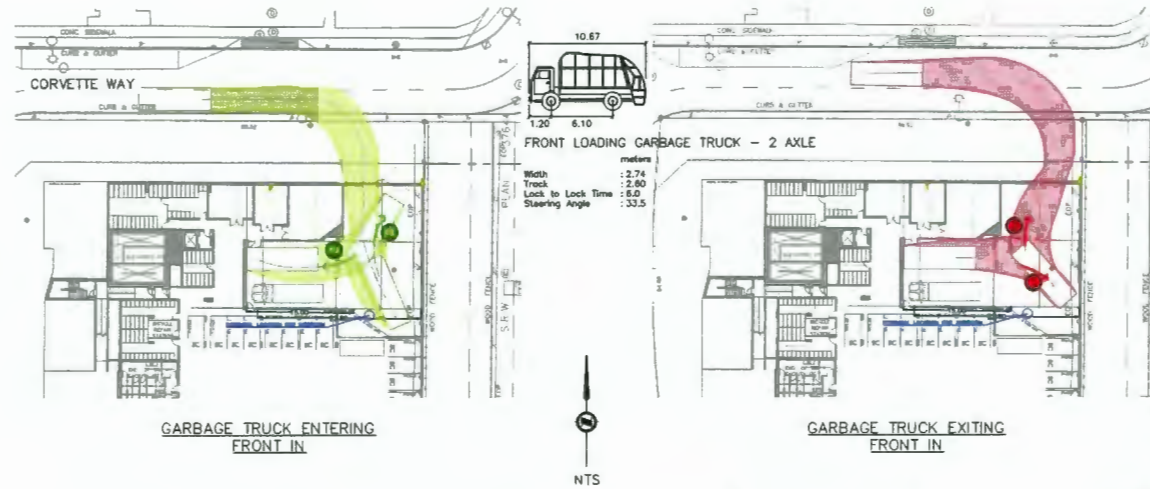
3 SECTION E-E. Waste Management
 3/32" = 1'-0"



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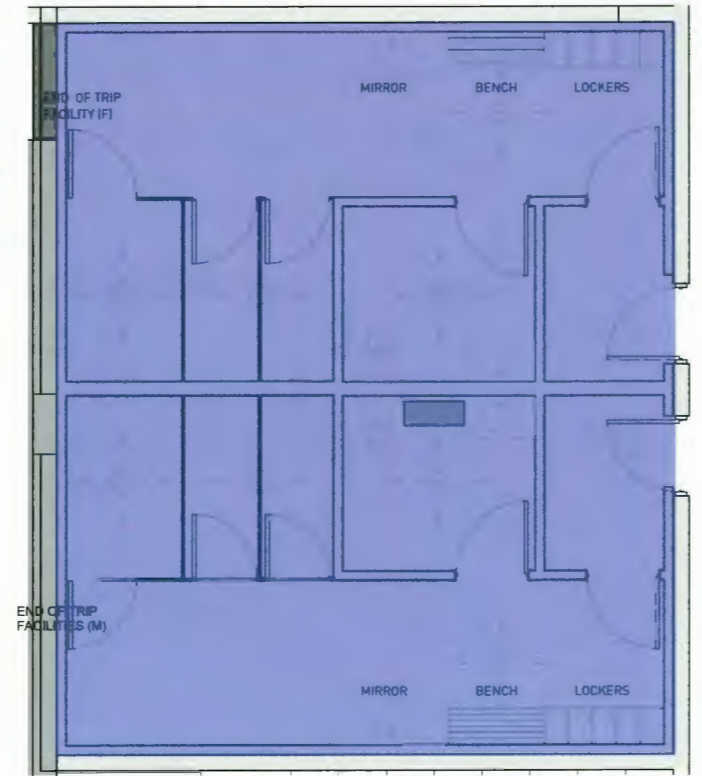
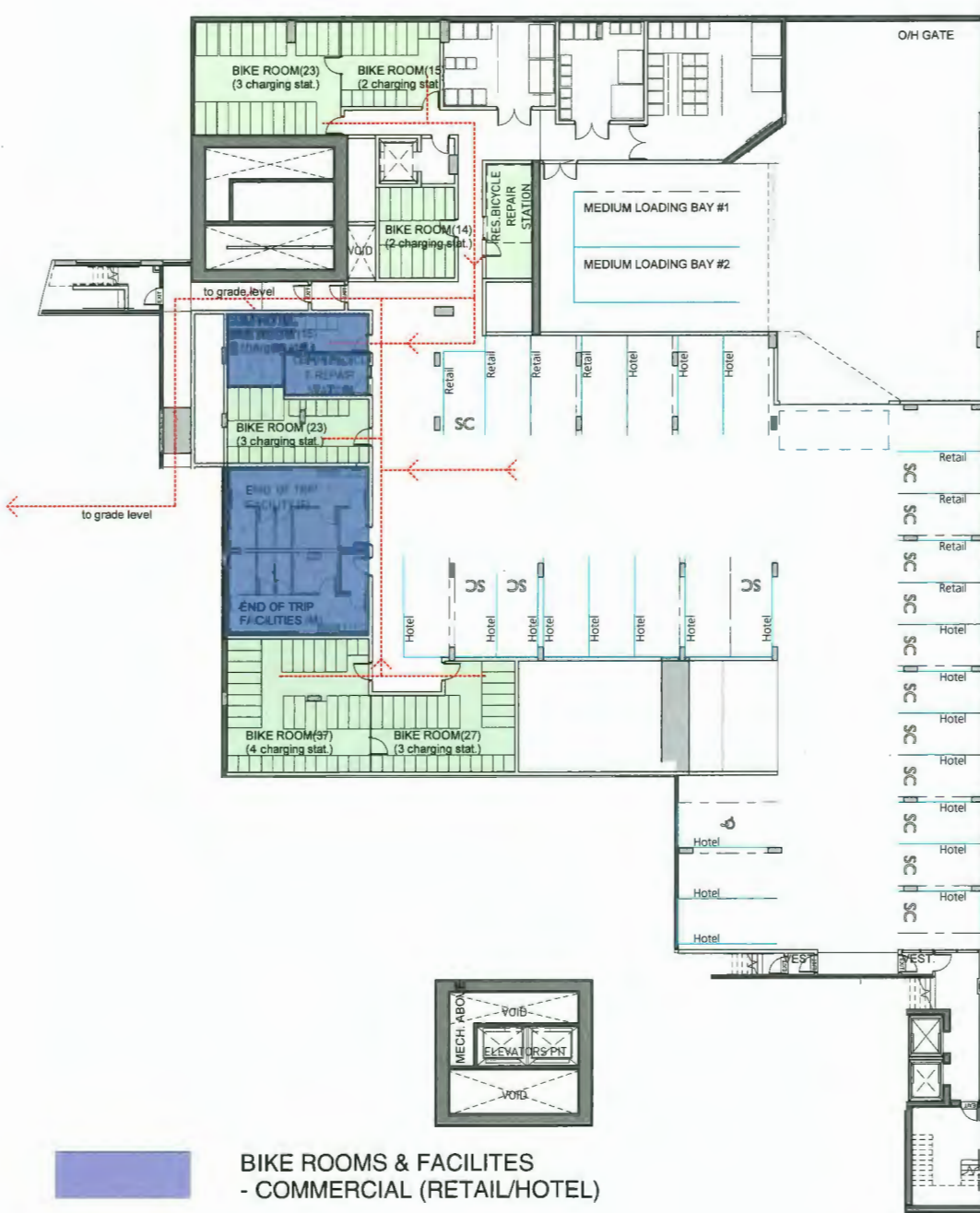
DP 15-699652
 April 28, 2021
PLAN # 14c



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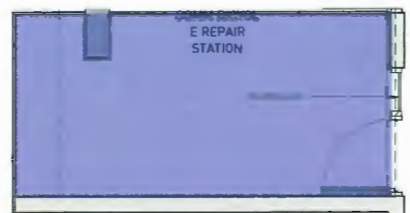
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DP 15-699652
 April 28, 2021
PLAN # 15



End-of-trip cycling facility shall be handicapped-accessible suite of rooms containing a change room, toilet, wash basin, shower, lockers, and grooming station (i.e. mirror, counter, and electrical outlets) designed to accommodate use by two or more people at one time

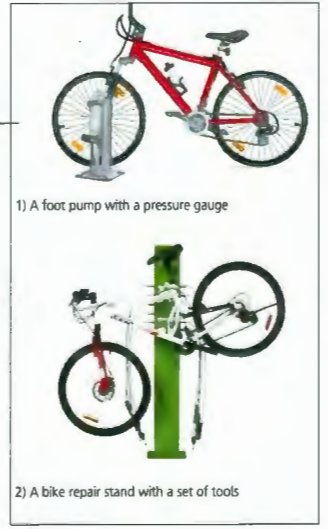
③ P1 - END OF TRIP FACILITY
 1/4" = 1'-0"



Bike repair/maintenance stations shall include a foot-activated pump a repair stand with integrated tools.

④ BIKE REPAIR STATION
 1/4" = 1'-0"

EQUIPMENT LOCATED IN THE BIKE REPAIR STATION



BIKE PARKING - CLASS 1

L1 (parking)	BICYCLE - HOR.	14
L1 (parking)	BICYCLE - VERT.	19
BICYCLE: 33		33
P1	BICYCLE - HOR.	90
P1	BICYCLE - VERT.	64
BICYCLE: 154		154
TOTAL:		187

BIKE STORAGE - CLASS 1				
	REQUIRED:	PROPOSED:	E-BIKE CHARGING STATIONS:	REPAIR/ MAINTENANCE ROOM:
RESIDENTIAL:				
CALCULATION: 137 UNITS @ 1.25/UNIT = 172	172	172	21	1
RETAIL/HOTEL:				
CALCULATION: 14,679 sq ft GFA @ 100 sq ft @ 0.227/100 sq ft = 13	13	15	2	1

'ELECTRIC BICYCLE CHARGING STATION' MEANS A 120-VOLT DUPLEX RECEPTACLE, INCLUDING ALL WIRING AND ELECTRICAL EQUIPMENT NECESSARY TO SUPPLY THE REQUIRED ELECTRICITY FOR SUCH DUPLEX RECEPTACLE, LOCATED IN CLASS 1 BICYCLE STORAGE (ROOM OR LOCKER) TO ACCOMMODATE THE CHARGING OF ELECTRIC BICYCLES AND SIMILAR EQUIPMENT IN THE ROOM OR LOCKER ON A SHARED BASIS



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COMMERCIAL EV PARKING - LEVEL P1 & L1

A.191

DP 15-699652
 April 28, 2021
PLAN # 16

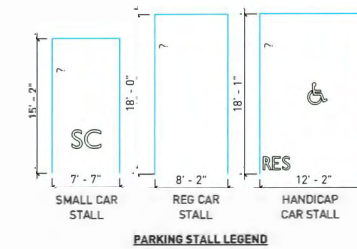


1 | P1 PARKING EV PLAN



2 | LEVEL L1 EV PARKING

EV PARKING		
REQUIRED:	PROPOSED:	EV CAR STALLS:
RESIDENTIAL 124 CAR STALLS (after 10% TDM reduction)	124 STALLS (after 10% TDM reduction)	124 EV STALLS (100% of residential to be equipped with energized 240V level 2 charging equipment in the form of a "Charging Station")
RETAIL/HOTEL 64 CAR STALLS (after 10% TDM reduction)	64 CAR STALLS (after 10% TDM reduction)	4 EV ASSIGNABLE STALLS ON LEVEL P1 (5% of Commercial/Hotel Parking to be equipped with energized 240V level 2 charging equipment in the form of a "Charging Station")
ASSIGNABLE PARKING STALLS		
64 Commercial/Hotel Parking Stalls (as secured by legal agreement registered on title):		
- 33 Public (50% short-term/hourly)		
- 33 Assignable (50% designated for specific businesses or users)		
Public Stall	LEVEL P1: 13 STALLS LEVEL L1: 20 STALLS TOTAL: 33 PUBLIC STALLS	
Assignable Stall	LEVEL P1: 16 STALLS LEVEL L1: 17 STALLS TOTAL: 33 ASSIGNABLE STALLS	



' **ELECTRIC VEHICLE CHARGING 240V STATION** ' MEANS AN ELECTRIC OUTLET DEDICATED FOR ELECTRIC VEHICLE CHARGING, AND CAPABLE OF SUPPLYING AC LEVEL 2 CHARGING AS DEFINED BY THE SAE J1772 STANDARD (E.G. NOMINAL SUPPLY VOLTAGE OF 208 TO 240 VAC, 1-PHASE) AND INCLUDING ALL WIRING AND ELECTRICAL EQUIPMENT NECESSARY TO SUPPLY THE REQUIRED ELECTRICITY FOR SUCH OUTLET AND PERMANENT SIGNAGE IN ACCORDANCE WITH THE TERMS OF THE ELECTRIC VEHICLE CHARGE EQUIPMENT FOR VEHICLES AND BICYCLES COVENANT;

' **ELECTRIC VEHICLE 240V CHARGER** ' MEANS AN ELECTRIC VEHICLE CHARGING 240V STATION AND PERMANENT CHARGER, CAPABLE OF SUPPLYING ELECTRICITY TO ELECTRIC VEHICLES, INCLUDING PERMANENT SIGNAGE IN ACCORDANCE WITH THE TERMS OF THE ELECTRIC VEHICLE CHARGING EQUIPMENT FOR VEHICLES AND BICYCLES COVENANT;

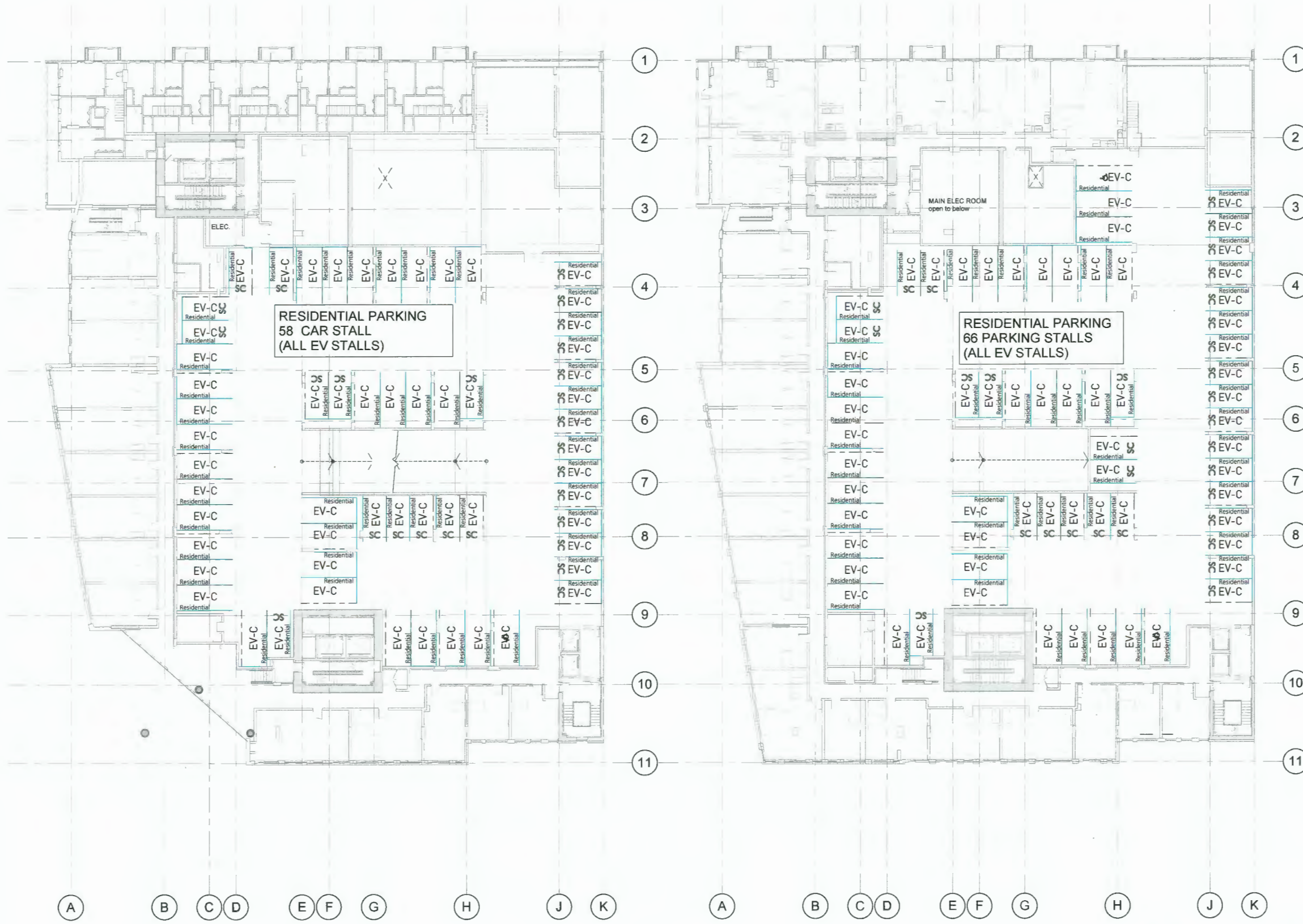


THE CAPSTAN

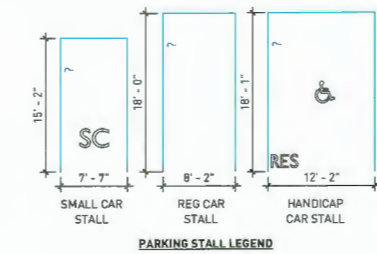
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RESIDENTIAL EV PARKING - LEVEL 2 & 3 A.192

DP 15-699652
 April 28, 2021
PLAN # 16a



EV PARKING		
REQUIRED:	PROPOSED:	EV CAR STALLS:
RESIDENTIAL 124 CAR STALLS (after 10% TDM reduction)	124 STALLS (after 10% TDM reduction)	124 EV STALLS (100% of residential to be equipped with energized 240V level 2 charging equipment in the form of a "Charging Station")
RETAIL/HOTEL 66 CAR STALLS (after 10% TDM reduction)	66 CAR STALLS (after 10% TDM reduction)	4 EV ASSIGNABLE STALLS DN LEVEL P1 (5% of Commercial/Hotel Parking to be equipped with energized 240V level 2 charging equipment in the form of a "Charging Station")



'ELECTRIC VEHICLE CHARGING 240V STATION' MEANS AN ELECTRIC OUTLET DEDICATED FOR ELECTRIC VEHICLE CHARGING, AND CAPABLE OF SUPPLYING AC LEVEL 2 CHARGING AS DEFINED BY THE SAE J1772 STANDARD (E.G. NOMINAL SUPPLY VOLTAGE OF 208 TO 240 VAC, 1-PHASE) AND INCLUDING ALL WIRING AND ELECTRICAL EQUIPMENT NECESSARY TO SUPPLY THE REQUIRED ELECTRICITY FOR SUCH OUTLET AND PERMANENT SIGNAGE IN ACCORDANCE WITH THE TERMS OF THE ELECTRIC VEHICLE CHARGE EQUIPMENT FOR VEHICLES AND BICYCLES COVENANT;

'ELECTRIC VEHICLE 240V CHARGER' MEANS AN ELECTRIC VEHICLE CHARGING 240V STATION AND PERMANENT CHARGER, CAPABLE OF SUPPLYING ELECTRICITY TO ELECTRIC VEHICLES, INCLUDING PERMANENT SIGNAGE IN ACCORDANCE WITH THE TERMS OF THE ELECTRIC VEHICLE CHARGING EQUIPMENT FOR VEHICLES AND BICYCLES COVENANT;



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1 LEVEL 2 EV PARKING
 ref:A-4.01

2 LEVEL 3 EV PARKING
 ref:A-4.01



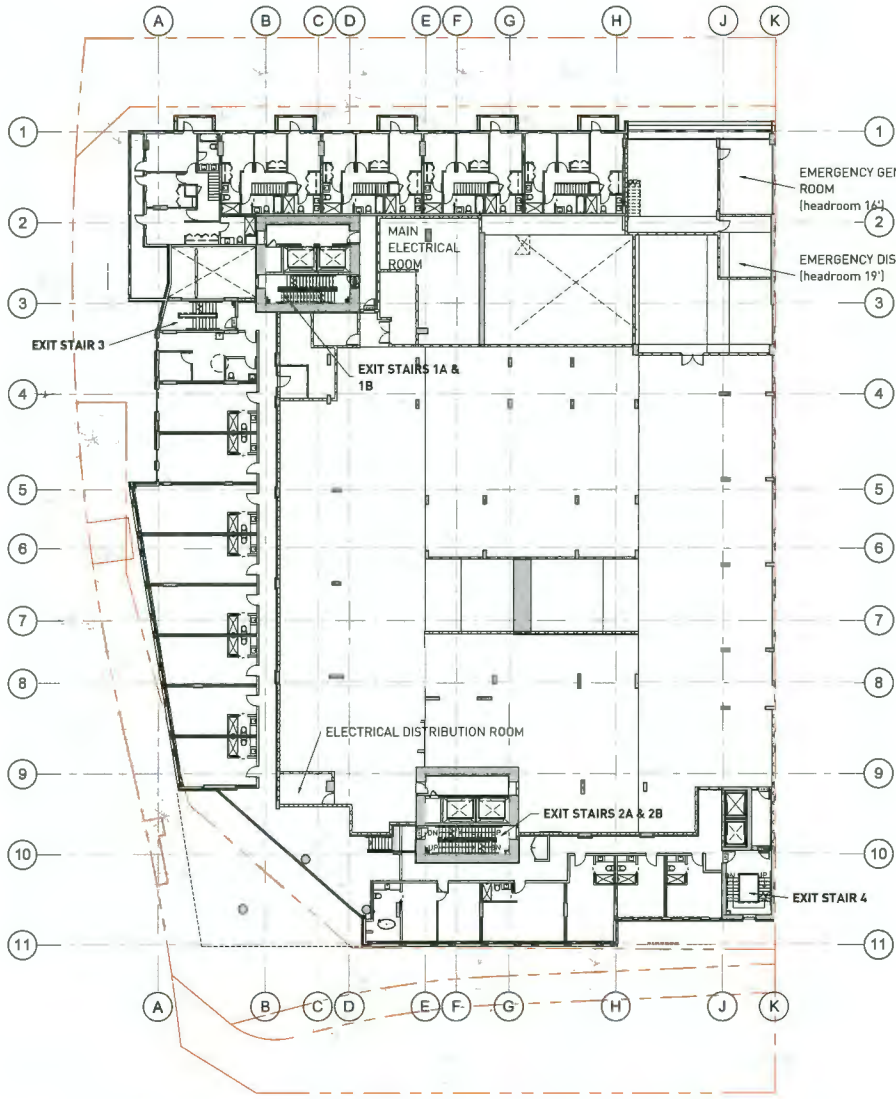
FIRE FIGHTING PROVISIONS

A.195

DP 15-699652

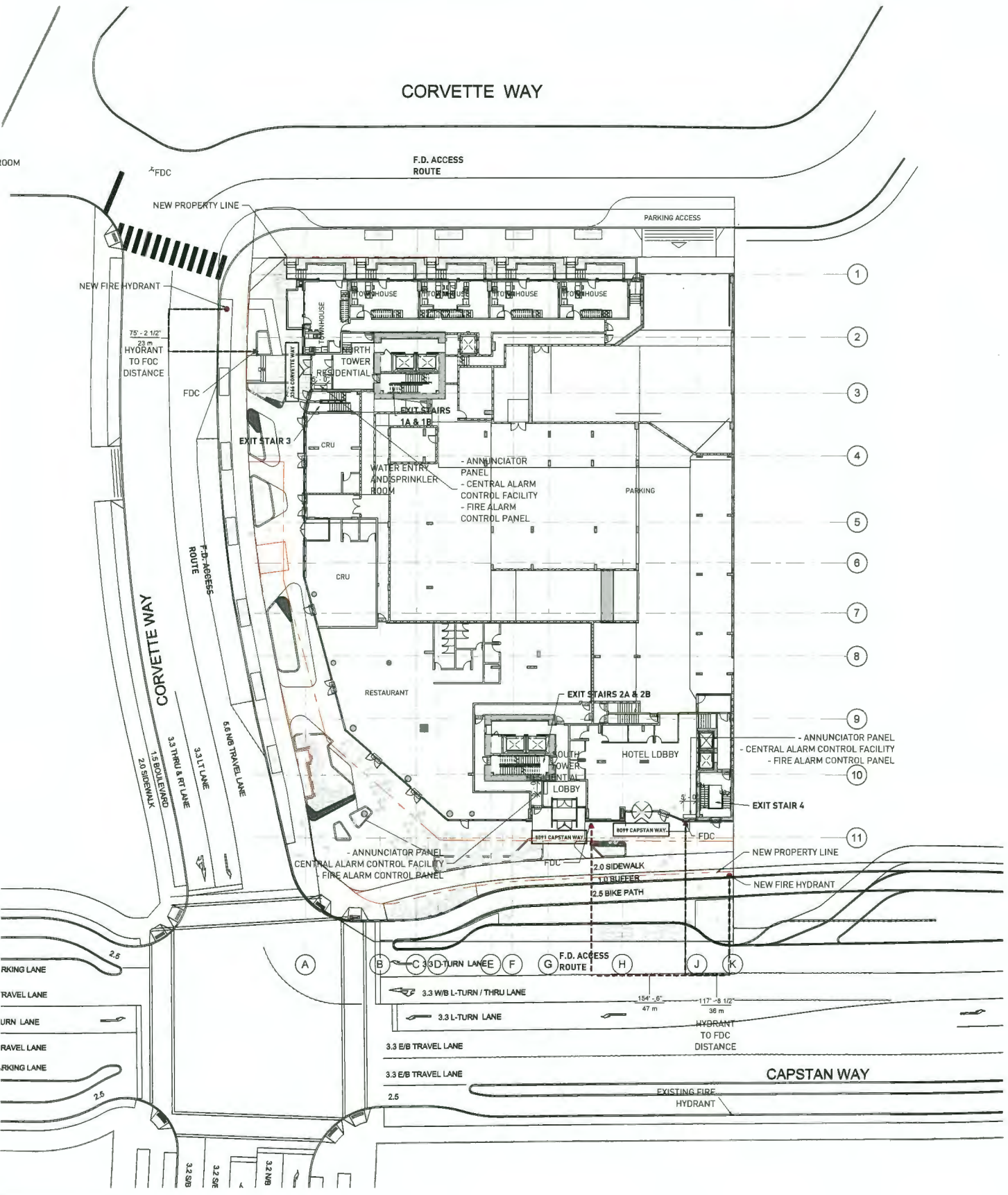
April 28, 2021

PLAN # 17



2 FIRE FIGHTING PROVISIONS - LEVEL 2
1/16" = 1'-0"

- NOTES:**
- FLOORS MUST BE NUMBERED SEQUENTIALLY. (THERE WILL BE NO SKIPPING OF FLOOR NUMBERS.)
 - FINAL FIRE DEPARTMENT APPROVAL OF HYDRANT LOCATIONS SHALL BE SUBJECT TO THE SERVICING AGREEMENT (SA 18-822443)
 - ITEMS TO BE ADDRESSED THROUGH THE BUILDING PERMIT STAGE, COMPLETE WITH APPROVAL FROM CITY OF RICHMOND FIRE DEPARTMENT SHALL INCLUDE, BUT WILL NOT BE LIMITED TO THE FOLLOWING:
 - IS CRU 1, 2 & 3 ALARM ZONED TO THE HOTEL AS THE SECOND FLOOR HAS SUITES ABOVE THE CRU'S? OR THE CRU'S OFF OF NORTH RESIDENTIAL TOWER AND THE 2ND FLOOR SUITES OFF OF THE SOUTH HOTEL TOWER. PLEASE, CONFIRM.
 - it would be appropriate the three CRUs to be on one sprinkler zone. To be confirmed with Nordic Fire Protection.
 - additionally commercial kitchen fire suppression system per NFPA 96 will be provided for a restaurant
 - it seems logical for them to be fire-alarm annunciated on the CACF of the north residential tower as they are facing Corvette Way and probably their civic addresses will be on Corvette Way. They shall be annunciated on all of the CACFs per Richmond FO requirements.
 - These items will be coordinated and approved City of Richmond Fire Department at Building Permit stage.
 - PARKADE TRAVEL DISTANCES WILL CONFIRM TO CODE REQUIREMENTS AND WILL BE SHOWN IN BUILDING PERMIT SUBMISSION DRAWINGS.
 - RICHMOND FIRE-RESCUE REQUESTS A STANDPIPE CONNECTION BE STUBBED OUT ON THE 4TH FLOOR OUTDOOR AMENITY AREA. GRIDLINES 6 AND 'D' WOULD BE AN IDEAL LOCATION. Standpipe hose connection (dry) is quite possible to have there, coming up from the floor below.
 - PLANS DO NOT SHOW STANDPIPE LOCATIONS IN THE STAIRWELLS. Standpipe will be provided in stairwells on building permit submission drawings.
 - ADDITIONAL ADDRESSING MAY BE REQUIRED AS ETCHING ON GLASS AND/OR LABELING WITH NUMBERS IS DIFFICULT TO SEE DURING DIFFERENT TIMES OF THE DAY AND NIGHT. Addressing will be provided per City of Richmond Fire Department requirements.
 - ALSO THE ADDRESS TO BE VISIBLE FROM STREET APPROACH IN BOTH DIRECTIONS AND MAY NOT BE VISIBLE BECAUSE OF CANOPIES AND BEING RECESSED. ADDRESS MAY BE REQUIRED ON THE FACE OF THE BUILDING. PLEASE, SEND ARTIST RENDITION OF THE NEW ADDRESS SIGN BUT, THAT CAN COME AT A LATER STATE. Addressing will be provided per City of Richmond Fire Department requirements.
 - THREE FDC'S WILL BE INTERCONNECTED AS PER REQUIREMENTS
 - RFR WILL BE CONTACTED FOR LOCKBOX INFORMATION.
 - CONSTRUCTION FIRE SAFETY PLAN TO BE SENT IN FOR REVIEW TO FIRESAFETYPLAN@RICHMOND.CA AT A LATER STAGE.



1 FIRE FIGHTING PROVISIONS - SITE PLAN
1/16" = 1'-0"



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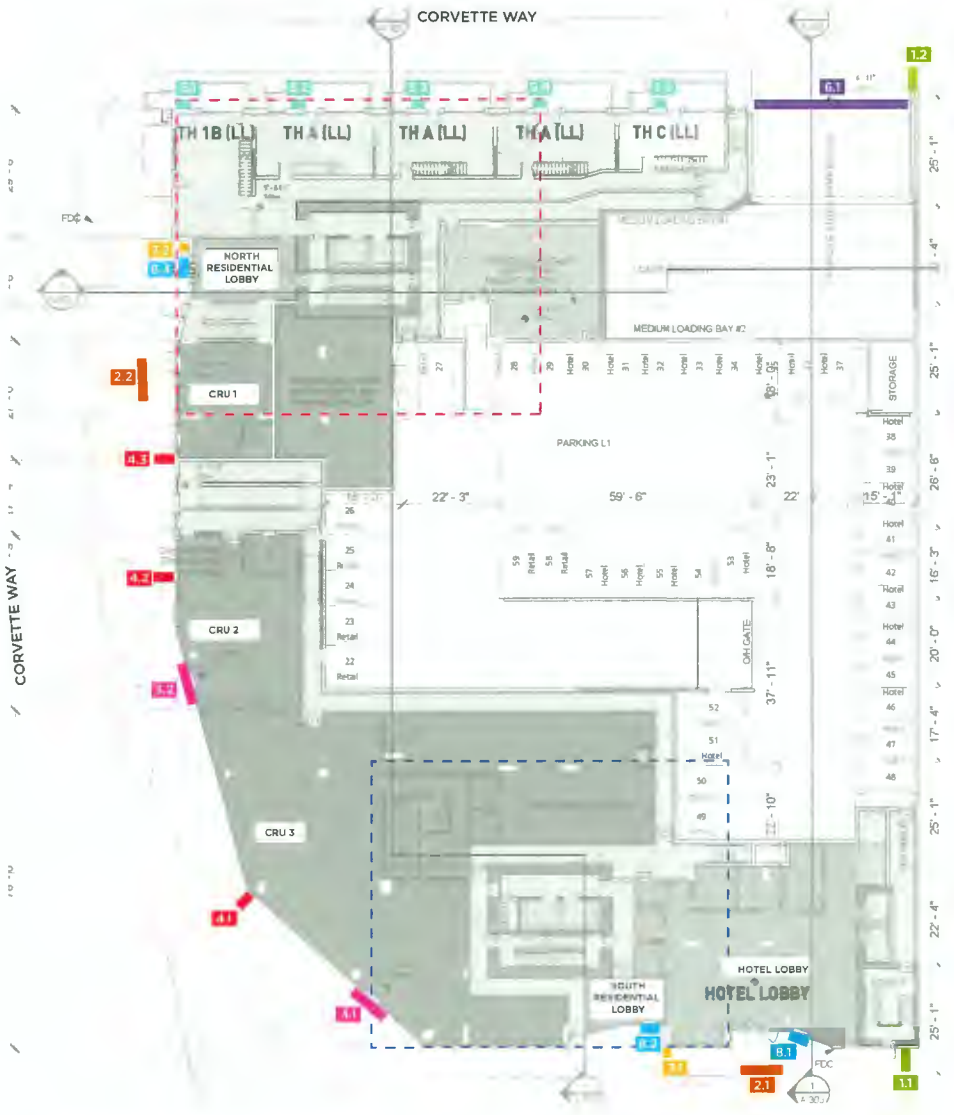
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SIGNAGE AND WAYFINDING

A 903

DP 15-699652
April 28, 2021
PLAN # 18

REFERENCE PLAN



3.2 SIGN TYPE 3: TENANT FASCIA SIGN

Individual painted aluminum channel letters with acrylic faces and face-applied vinyl, internally illuminated with 4100K LEDs. Mounted to 3" square aluminum raceway and suspension frame painted to match architectural finishes, attached under building overhang (details TBD).

Max O.A. 2'-6" H with max 2'-0" H letters.

EXAMPLE OF ACCEPTABLE FASCIA SIGNS



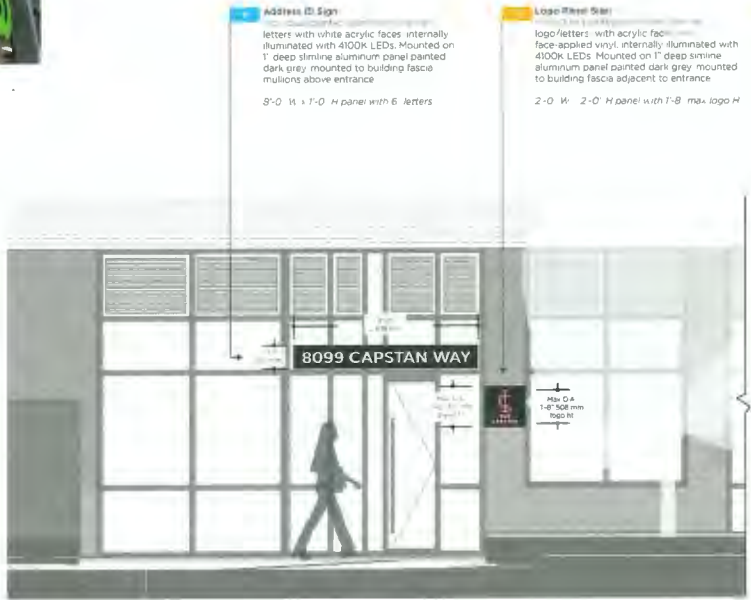
Note: Elevations and signage messaging shown for reference only

SIGN NO.	DESCRIPTION
1	Hotel Projected ID Sign
2	Tenant Canopy Sign
3	Tenant Fascia Sign
4	Tenant Blade Sign
5	Address Identification Sign
6	Parkade/Loading Entrance Sign
7	Logo Panel Sign
8	Address Sign

 North Tower
 South Tower

0.4 RESEARCH & SIGNAGE PRECEDENTS

Signage should integrate well with the architectural design of the building and complement the modern/contemporary style at the development. The exterior sign program should optimize a "community feel" for both first-time and occasional visitors, to contribute to both a rewarding visit experience and increased awareness/interest and resulting traffic to the commercial component of the new development. The design intent is that the new sign program is to appear as a unified "family" of Sign Types. The Capstan is intended to provide an arrival experience supported by distinctive signage, signalling a friendly yet contemporary atmosphere provided by the new residences and supporting retail and commercial services.



1 SIGN TYPE OVERVIEW
SCALE: 1:50



2 SIGN TYPE OVERVIEW
SCALE: 1:100



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