



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: January 22, 2019

From: Wayne Craig
Director, Development

File: DP 18-827622

Re: Application by Matthew Cheng Architect Inc. for a Development Permit at
8280/8282 and 8300/8320 No. 3 Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of 10 townhouse units and one secondary suite at 8280/8282 and 8300/8320 No. 3 Road on a site zoned "Low Density Townhouses (RTL4)".

A handwritten signature in black ink that reads "Wayne Craig".

Wayne Craig
Director, Development
(604-247-4625)

WC:el
Att. 2

Staff Report

Origin

Matthew Cheng Architect Inc. has applied to the City of Richmond for permission to develop 10 townhouse units at 8280/8282 and 8300/8320 No. 3 Road. One of the 10 townhouse units is proposed to contain a ground-level secondary suite and one unit will be a convertible unit. The site is being rezoned from “Two-Unit Dwellings (RD1)” zone to “Low Density Townhouses (RTL4)” zone for this project under Bylaw 9856 (RZ 16-733565), which received Third Reading following the Public Hearing on May 22, 2018. The site is currently vacant, but previously contained two duplexes. A Servicing Agreement for frontage upgrades and service connections is required prior to Building Permit issuance.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the North: An existing duplex on a lot zoned “Two-Unit Dwellings (RD1)”; which is identified for townhouse development under the Arterial Road Land Use Policy, and a public walkway between No. 3 Road and Luton Road.
- To the South: Existing single-family homes on lots zoned “Single Detached (RS1/E)”; which are identified for townhouse development under the Arterial Road Land Use Policy.
- To the East: Existing single-family dwellings and duplexes on lots zoned “Single-Detached (RS1/E)” and “Two-Unit Dwellings (RD1)”.
- To the West: Across No. 3 Road, existing single-family homes on lots zoned “Single Detached (RS1/E)”, “Single Detached (RS1/B)”, and “Compact Single Detached (RC1)”; which are identified for compact lot single detached development under the Arterial Road Land Use Policy.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on May 22, 2018. No concerns regarding the rezoning application were expressed at the Public Hearing.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Low Density Townhouses (RTL4)” zone.

Advisory Design Panel Comments

The subject application was not presented to the Advisory Design Panel (ADP) on the basis that this small project generally meets all the applicable Development Permit Guidelines, and the overall design and site plan have adequately addressed staff comments.

Analysis

Conditions of Adjacency

- The proposed height, siting and orientation of the buildings generally address the massing of the surrounding residential developments.
- While three-storey units are proposed along No. 3 Road, the building height and setbacks are articulated to address potential shadowing over the adjacent duplexes to the north.
- Two pairs of two-storey duplexes and the outdoor amenity area are proposed along the rear (east) property line to minimize privacy and overlook concerns.
- The existing site grade within the rear yards along the east property line will be maintained to facilitate tree preservation and provide an appropriate transition to the adjacent single-family properties to the east.
- The site grade of the proposed outdoor amenity space at the southeast corner of the site will be raised approximately 0.8 m to match the proposed site grade of the internal drive aisle. A retaining wall is proposed along the east property line. The proposed change of site grade in the outdoor amenity area would enhance passive surveillance opportunity over the space and provide a more functional children's play area with play equipment on a relatively flat area.
- Privacy for adjacent residential developments will be maintained by a 1.8 m high wood fence with lattice and landscaping with trees along the three interior property lines. Fence height along the east property line within the outdoor amenity space will be reduced to approximately 1.0 m (on top of the 0.8 m high retaining wall) to provide a consistent overall fence height looking from the neighbouring property.
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.
- Properties to both north and south of the subject site are designated for townhouse development. A statutory right-of-way (SRW) allowing access to/from the adjacent future development sites through the subject site (over the entry driveway and internal drive aisle) has been secured at rezoning.

Urban Design and Site Planning

- Main vehicular access to this new townhouse project is to be from No. 3 Road through a new driveway at the southern edge of the site, with future connections to the neighbouring properties to the north and south, secured by a SRW.
- An on-site turnaround will be provided opposite to the entry driveway on the east side of the internal drive aisle. It is expected that, when the adjacent property to the south is redeveloped into a townhouse development, on-site turnaround would be accommodated by a T-intersection over the two sites. At that time, the on-site turnaround area located adjacent to the outdoor amenity area will no longer be warranted and can be used as an extended outdoor amenity space. This arrangement has been secured through a legal agreement at rezoning.

- The layout of the townhouse units is oriented around the north-south internal manoeuvring aisle, providing access to the unit garages.
- Units along No. 3 Road will have direct pedestrian access from the street and units along the rear (east) property line will have access from the internal drive aisle.
- One of the units will contain a ground-level secondary suite (studio) of approximately 28 m² (299 ft²) in size. An additional surface parking stall will be assigned to the secondary suite.
- All townhouse units will have two vehicle parking spaces in a double car garage. The proposal will feature four units with a total of eight spaces in a tandem arrangement (40% of total required residential parking spaces), which is consistent with the maximum 50% of tandem parking provision of Richmond Zoning Bylaw 8500. A restrictive covenant to prohibit the conversion of the tandem garage area into habitable space has been secured at rezoning.
- A total of two visitor parking spaces will be provided throughout the site. The number of visitor parking spaces proposed is in compliance with the minimum bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with the Zoning Bylaw requirements.
- The provision of private outdoor spaces complies with the Development Permit Guidelines (30 m² per unit) of the OCP. All units will have private outdoor spaces consisting of a front or a rear yard; the three-storey units will also have a covered deck on the second floor facing the internal drive aisle.
- Outdoor amenity space is proposed opposite to the site entry for maximum casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity space is appropriate in providing open landscape and amenity space convenient to all units.
- The required garbage, recycling and organic waste storage enclosures, as well as the covered mailbox kiosk, has been incorporated into the design of the street fronting building to minimize the visual impact. The proposed location will also be convenient to all of the units.

Architectural Form and Character

- The proposed building form is contemporary with simple rectilinear building mass of rectangular shapes, stacked to create varying projections. This contemporary design approach does reference existing examples of other buildings along arterial roads that demonstrate use of flat roof lines and strong vertical elements.
- The overall contemporary form and modern architectural expression of the proposal provides for enhanced architectural and built form variation of the No. 3 Road streetscape.
- The street fronting units will have individual canopies and stoops identifying the entry doors. A pedestrian scale is generally achieved along the public streets and internal drive aisle through the inclusion of variation in building projections, recesses, variety of materials/colours and landscape features.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, unit entrances, and planting islands along the drive aisle.
- The proposed building materials (fibre-cement panel, woodprint channeled hollow core vinyl siding, brick veneer) are generally consistent with the Official Community Plan (OCP) Guidelines.
- A palette of earthy colours such as gray and brown, with white as an accent colour on the main cladding materials, are generally consistent with the contemporary design of the project.

Landscape Design and Open Space Design

- Tree preservation was reviewed at rezoning stage; 23 trees on-site were identified for removal. Based on the 2:1 tree replacement ratio stated in the Official Community Plan (OCP), 46 replacement trees are required. The applicant is proposing to plant 24 replacement trees on-site, including five conifers and 19 deciduous trees. The applicant has agreed to provide a voluntary contribution of \$11,000 to the City's Tree Compensation Fund in lieu of planting the remaining 22 replacement trees. A voluntary contribution of \$5,000 has been secured at the Rezoning stage; an additional voluntary contribution of \$6,000 will be provided prior to issuance of the Development Permit.
- The proposal provides for a pedestrian-oriented streetscape fronting No. 3 Road with a landscaped edge treatment including a new tree in each front yard, lawn and patio areas, low metal fencing, and metal gate to each street fronting unit.
- All units along the rear (east) property line will have a private yard with a patio and a lawn area. Various hedges, shrubs and ground covers, as well as perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.
- Landscaping will be provided along the north-south internal drive aisle between entry doors/garage doors to provide vertical green to soften the internal streetscape. A trellis will be provided at the north end of the internal drive aisle to provide visual interests at the terminus.
- A children's play area is proposed for the outdoor amenity area, and play equipment has been chosen to fit into outdoor amenity space and to provide different play opportunities (i.e., climbing, social, imagination, balance, motor skills) that can be used by different age groups and for multiple purposes. A bench is also provided for caregivers.
- The vehicle entrance, on-site turnaround area, surface parking spaces and designated walkways on-site will be treated with permeable pavers for better water infiltration and variety in paving surfaces.
- Pavers will also be used to highlight pedestrian routes along the main north-south drive aisle.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$90,745.24 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$10,000 cash-in-lieu contribution (\$1,000 per unit) has been secured as a condition of rezoning approval, consistent with the OCP.
- It is expected that, when the adjacent property to the south is redeveloped into a townhouse development, on-site turnaround would be accommodated on the entry driveway and the internal aisle. At that time, the on-site turnaround area located adjacent to the outdoor amenity area will no longer be warranted. In order to ensure that the on-site turnaround area will be used as outdoor amenity when the on-site turnaround area becomes unwarranted, as per the SRW documents secured at rezoning stage, a conceptual landscape plan for this area has been included in the landscaping drawings.

Crime Prevention Through Environmental Design

- Site lighting and clear site lines provide unobstructed views of surrounding area; plantings near residential entries are low to maximize views and casual surveillance opportunities.

- Expansive glazing for each unit increases the visual presence and surveillance along No. 3 Road, the amenity area, as well as internal drive aisle. All entrances are visible and overlooked by pedestrians or by neighbour's windows.
- Exterior lights will be provided along drive aisle, as well as in visitor parking, outdoor amenity, and private yard areas; wall mount illuminated lights will be installed on building faces.

Sustainability

- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.
- The architect advised that the following design/features are incorporated into the proposal:
 - Water efficient plumbing fixtures.
 - Durable siding materials (such as Sagiwall and Hardie panel) as the main cladding material to achieve sustainable building practices.
 - Drought tolerant landscaping.

Accessible Housing

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in Unit #7) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Edwin Lee
Planner I
(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet
Attachment 2: Development Permit Considerations



DP 18-827622

Attachment 1

Address: 8280/8282 and 8300/8320 No. 3 Road

Applicant: Matthew Cheng Architect Inc. Owner: Chislon (No. 3) Development Corp.

Planning Area(s): Broadmoor

Floor Area Gross: 1,877.01 m² Floor Area Net: 1,289.28 m²

	Existing	Proposed
Site Area:	2,140 m ²	No Change
Land Uses:	Duplex	Multiple-Family Residential
OCP Designation:	Low-Density Residential	No Change
Zoning:	Two-Unit Dwellings (RD1)	Low Density Townhouses (RTL4)
Number of Units:	4	10

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.60	none permitted
Lot Coverage – Building:	Max. 40%	39.67%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	59.52%	none
Lot Coverage – Landscaping:	Min. 25%	25.29%	none
Setback – Front Yard (m):	Min. 6.0 m	6.1 m Min.	none
Setback – North Side Yard (m):	Min. 3.0 m	3.13 m Min.	none
Setback – South Side Yard (m):	Min. 3.0 m	7.84 m	none
Setback – Rear Yard (m):	Min. 3.0 m	6.1 m Min. with 50% ground floor projection (at 4.5 m)	none
Height (m):	Max. 12.0 m (3 storeys)	9.83 m (3 storeys) along No. 3 Road & 7.39 m (2 storeys) along east property line	none
Lot Width:	Min. 50.0 m	50.25 m	none
Lot Depth:	Min. 35.0 m	42.67 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit + 1 (R) per secondary suite	2 (R) and 0.2 (V) per unit + 1 (R) per secondary suite	none
Off-street Parking Spaces – Total:	21 (R) and 2 (V)	21 (R) and 2 (V)	none

Tandem Parking Spaces:	Max. 50% of proposed residential spaces in enclosed garages (20 x Max. 50% = 10)	8	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	0	none
Handicap Parking Spaces:	None when fewer than 3 visitor stalls are required	0	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.7 (Class 1) and 0.2 (Class 2) per unit	none
Off-street Bicycle Parking Spaces – Total:	13 (Class 1) and 2 (Class 2)	17 (Class 1) and 2 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 10 units = 60 m ²	77.81 m ²	none



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 8280/8282 and 8300/8320 No. 3 Road

File No.: DP 18-827622

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Final adoption of the Zoning Amendment Bylaw 9856.
2. Receipt of a Letter-of-Credit for landscaping and tree survival security in the amount of \$90,745.24. No Landscape Letter of Credit will be returned until
 - a) the post-construction assessment report, confirming the protected trees survived the construction, prepared by the Arborist, and
 - b) the Letter of Assurance, confirming the landscaping are installed as per the Development Permit, prepared by the Landscape Architect,are reviewed by staff.
3. City acceptance of the developer's offer to voluntarily contribute \$6,000.00 to the City's Tree Compensation Fund for the planting of 12 replacement trees within the City.

Note: Should the applicant wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw and issuance of the Development Permit, the applicant will be required to obtain a Tree Permit and submit landscaping security (i.e. \$25,000 in total) to ensure the replacement planting will be provided.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Incorporation of accessibility, CPTED and sustainability measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements. Works include, but may not be limited to:

Water Works

- Using the OCP Model, there is 1001 L/s of water available at a 20 psi residual at the No. 3 Road frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
- The Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for on-site fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.
- At the Developers cost, the City is to:
 - Install one new water service connection, off of the existing 400 mm AC watermain on No. 3 Road. Meter will be placed on site (i.e. mechanical room).
 - Cut and cap at main, the two existing water service connections at the No. 3 Road frontage.

Initial: _____

Storm Sewer Works

- At Developer's cost, the City is to:
 - Install a new storm service connection off of the existing box culvert along No. 3 Road complete with inspection chamber.
 - Cut, cap and remove the existing service connection and inspection chamber STIC59019.

Sanitary Sewer Works

- The Developer is required to:
 - Not start on-site building construction prior to completion of rear yard sanitary works.
- At Developer's cost, the City is to:
 - Install a new sanitary service connection off of the existing manhole SMH2399 at the northeast corner of the subject site. The manhole will serve as the inspection chamber.
 - Cut and cap the existing sanitary service leads along the east property line of the development site.

Frontage Improvements

- The Developer is required to:
 - Remove the existing sidewalk behind the curb and backfill the area to provide a minimum 1.5 m wide grass/treed boulevard (width of the boulevard is exclusive of the 0.15 m wide top of curb).
 - Construct a new 1.5 m wide concrete sidewalk behind the new boulevard and next to the property line. The new sidewalk is to transition to connect to the existing sidewalk north and south of the subject site.
 - The new sidewalk may have to be designed to go around trees that have been identified for retention. Consult Parks on the design of the new sidewalk to ensure that tree root systems are not compromised and natural irrigation can be maintained.
 - The frontage improvements identified under above are to be extended across the frontage of 8260/8266 No. 3 Road.
 - Road dedication would be required if the existing width between the curb and the property line is not sufficient to accommodate the required minimum frontage improvements noted above.
 - All existing driveways along the subject site's No. 3 Road frontage are to be closed permanently and replaced by a single driveway.
 - Remove the existing driveway crossings and replace with barrier curb/gutter, boulevard and sidewalk per standards described above. The applicant is responsible for the design and construction of curb/gutter, sidewalk and boulevard as part of the driveway closure works in addition to other required frontage improvements.
 - Design new driveway to City design standards (6.7 m driveway width at the property line, with 0.9 m flares at the curb and 45° offsets to meet existing grade of sidewalk/boulevard).
 - Coordinate with BC Hydro, Telus and other private communication service providers
 - To underground Hydro service lines.
 - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - To determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc.). These should be located on-site.

General Items

- The Developer is required to:
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Initial: _____

- Provide, prior to soil densification and preload installation, a geotechnical assessment of preload and soil densification impacts on the existing utilities surrounding the development site and provide mitigation recommendations.
- 5. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
- 6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



No. DP 18-827622

To the Holder: MATTHEW CHENG ARCHITECT INC.
Property Address: 8280/8282 AND 8300/8320 NO. 3 ROAD
Address: C/O #202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2K9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$90,745.24 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 18-827622

To the Holder: MATTHEW CHENG ARCHITECT INC.
Property Address: 8280/8282 AND 8300/8320 NO. 3 ROAD
Address: C/O #202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2K9

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

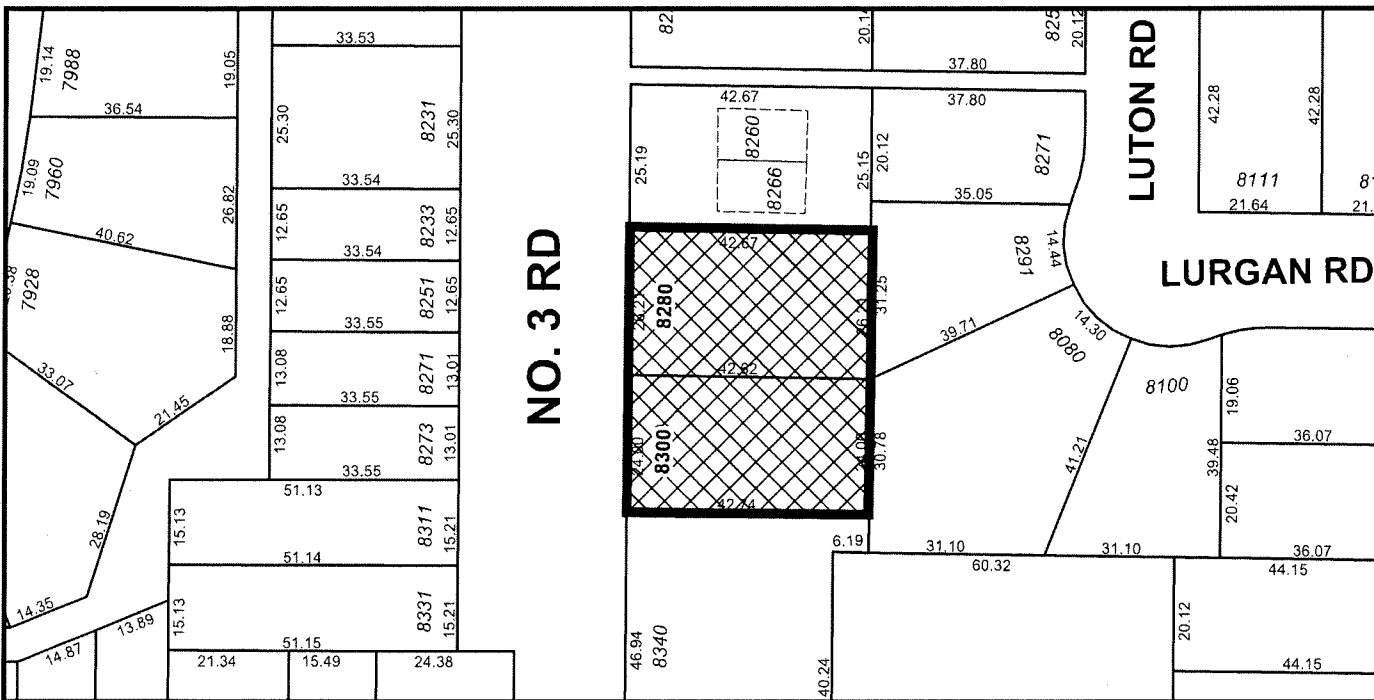
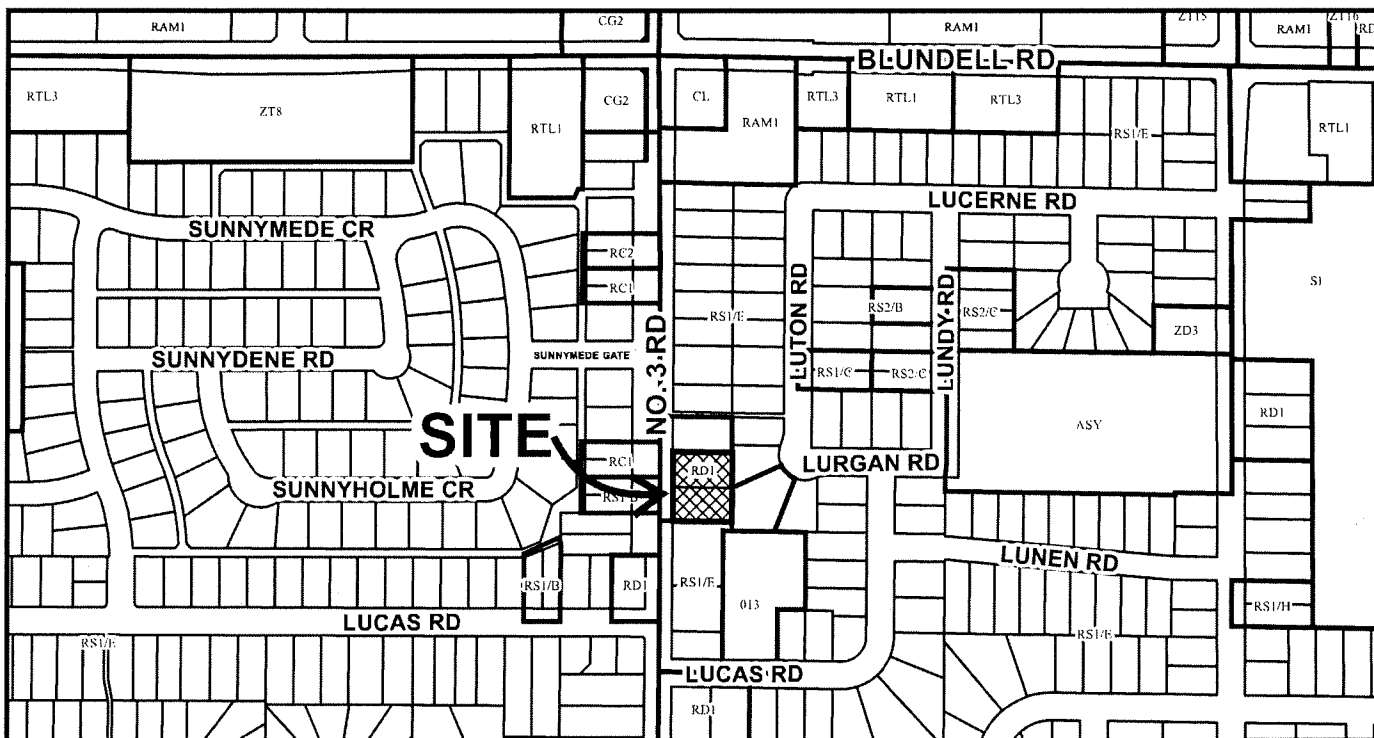
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond

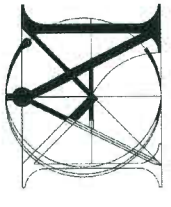


DP 18-827622 SCHEDULE "A"

Original Date: 08/09/18

Revision Date:

Note: Dimensions are in METRES



**Matthew Cheng
Architect Inc.**

Unit 202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2K9
Tel: (604) 731-3012 / Fax: (604) 731-3908
Cell: (604) 649-0669 / Email: matthew@mca.ca

THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT TO WORK. ALL ERRORS AND OMISSIONS SHALL BE REPAIRABLE AND CORRECTED AT THE CONTRACTOR'S EXPENSE. THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF MATTHEW CHENG ARCHITECT INC. AND MAY NOT BE USED FOR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

Revision:
2018-12-19 ISSUE FOR DPP STAFF REVIEW
2019-01-16 REVISION FOR STAFF REVIEW
2019-01-16 REISSUE FOR DPP STAFF REVIEW

Consultants

Project Title
**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title
SITE PLAN

JAN 2 2 2019

**DP 18-827622
PLAN #1**

Drawn	RO
Checked	MC
Scale	As indicated
Project Number	16RTH01
Revision	Dwg.
Print Date	2019/01/16

A0.1

AGING-IN-PLACE FEATURES

- PROVIDE AGING-IN-PLACE FEATURES ON ALL UNITS.
- FOR STAIRWELL HANDRAILS:
SOLID LUMBER AT 914 MM TO CENTRE.
- PROVIDE LEVER TYPE HANDLES FOR:
ALL DOOR HANDLES
BENDE TOILET, BATHTUB AND SHOWER.

CROSS HATCH AREA DENOTES TREE PROTECTION ZONE (TPZ). ANY EXCAVATION FOR THE PROPOSED BUILDING AND STAIRCASE THAT ENCRUSCHES INTO THE TPZ MUST BE SUPERVISED BY CERTIFIED ARBORIST. REFER TO TREE MANAGEMENT PLAN FOR DETAILED INSTRUCTIONS. ABSOLUTELY NO GRADE CHANGES ARE TO OCCUR WITHIN THESE ZONES

SITE PLAN HATCH LEGEND



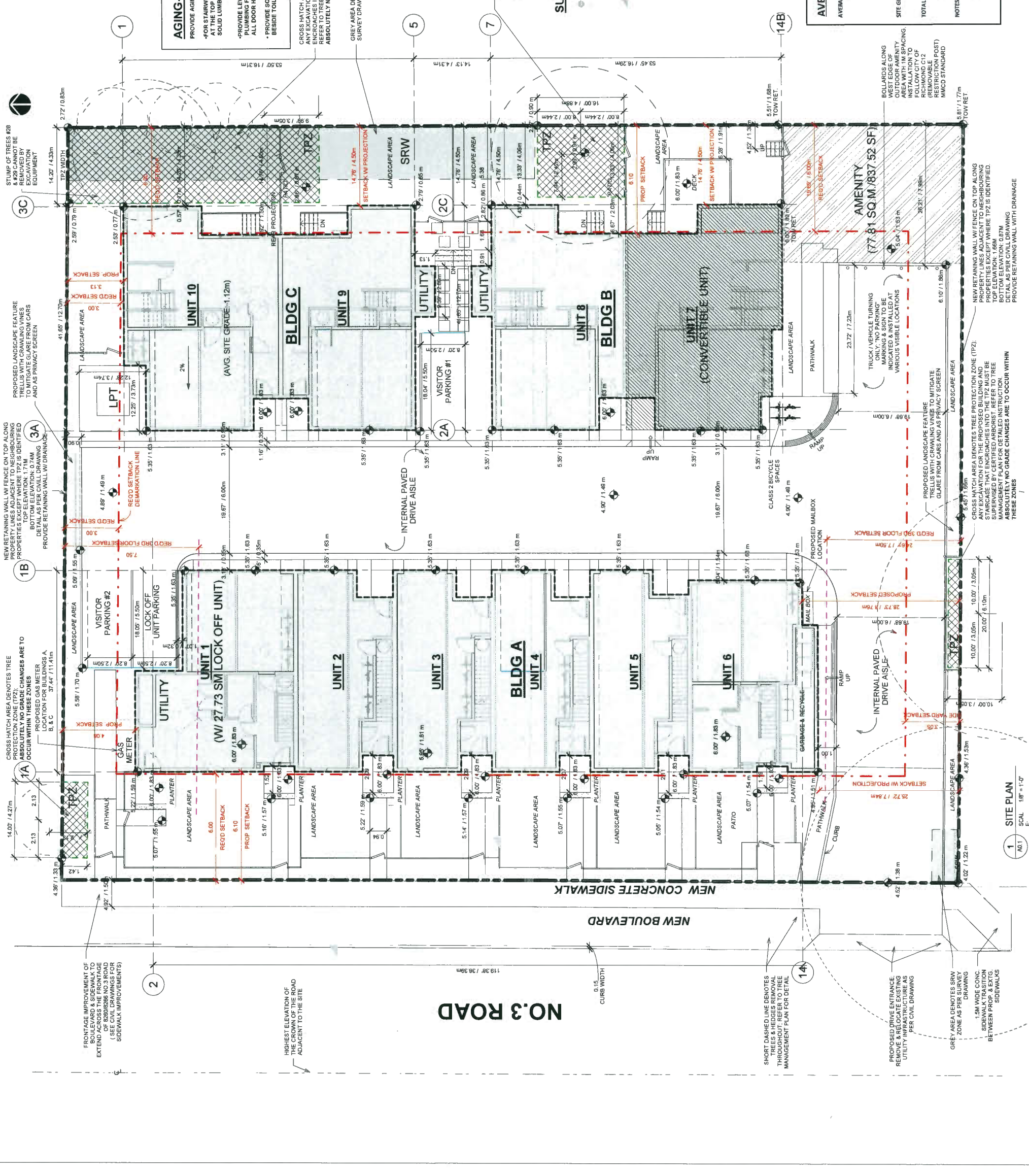
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SURVEY PLAN UNDERLAY LEGEND

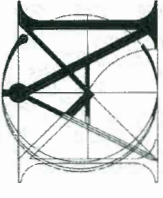
AVERAGE SITE GRADE COMPUTATIONS

BUILDING	GRADES	AVERAGE
A	1.63 1.63 1.51 1.59	1.59
B	1.63 1.63 1.83 0.86 1.49	1.49
C	1.63 1.63 1.83 0.85 0.77	1.22
AVERAGE BLDG. GRADE:		1.43
SITE GRADE OF 4 CORNERS		1.35 0.83 1.77 1.22
TOTAL AVERAGE OF SITE GRADE		(1.43+1.39)/2
AVE. SITE GRADE:		1.36m

NOTE: SITE GRADE COMPUTATIONS BASED ON THE FOUR CORNERS OF THE BUILDINGS AND SITE. AVERAGE SITE GRADE WILL BE USED IN DETERMINING THE BUILDING HEIGHT MEASUREMENTS SHOWN ARE IN METERS



1 SITE PLAN
SCALE 1/8" = 1'-0"
E

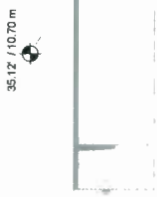


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Revision:
2018-12-19 ISSUE FOR DPP STAFF REVIEW
2019-01-10 RE-ISSUE FOR DPP STAFF REVIEW

Consultants

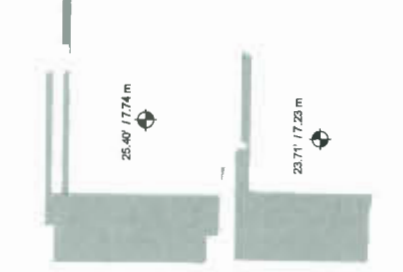


8380 NO.3 ROAD

3 CONTEXT REAR ELEVATION
SCALE 1" = 20'-0"
A0.4 E

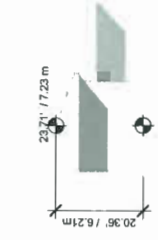


8340 NO.3 ROAD



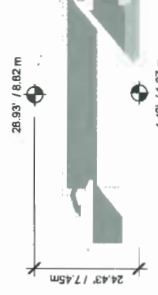
8220 NO.3 ROAD

2 CONTEXT PLAN
SCALE 1" = 20'-0"
A0.4 E

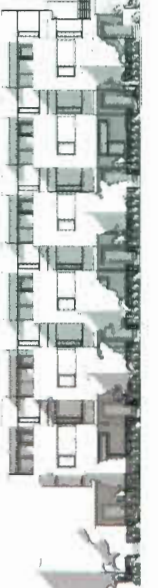


8220 NO.3 ROAD

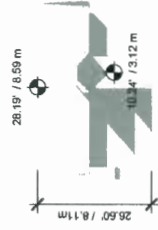
1 CONTEXT FRONT ELEVATION
SCALE 1" = 20'-0"
A0.4 E



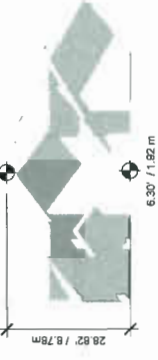
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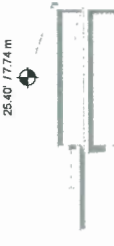
8280/8300 NO.3 ROAD



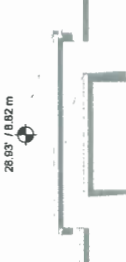
8340 NO.3 ROAD



8380 NO.3 ROAD



8220 NO.3 ROAD



8260/8266 NO.3 ROAD



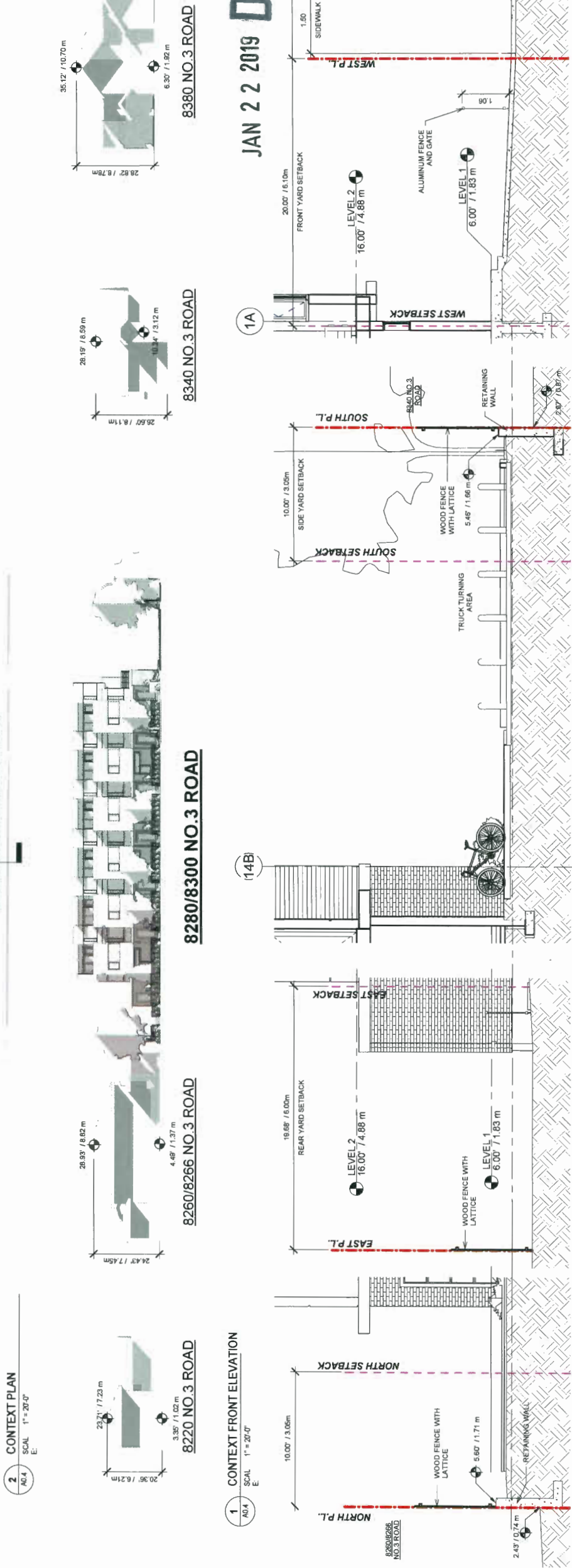
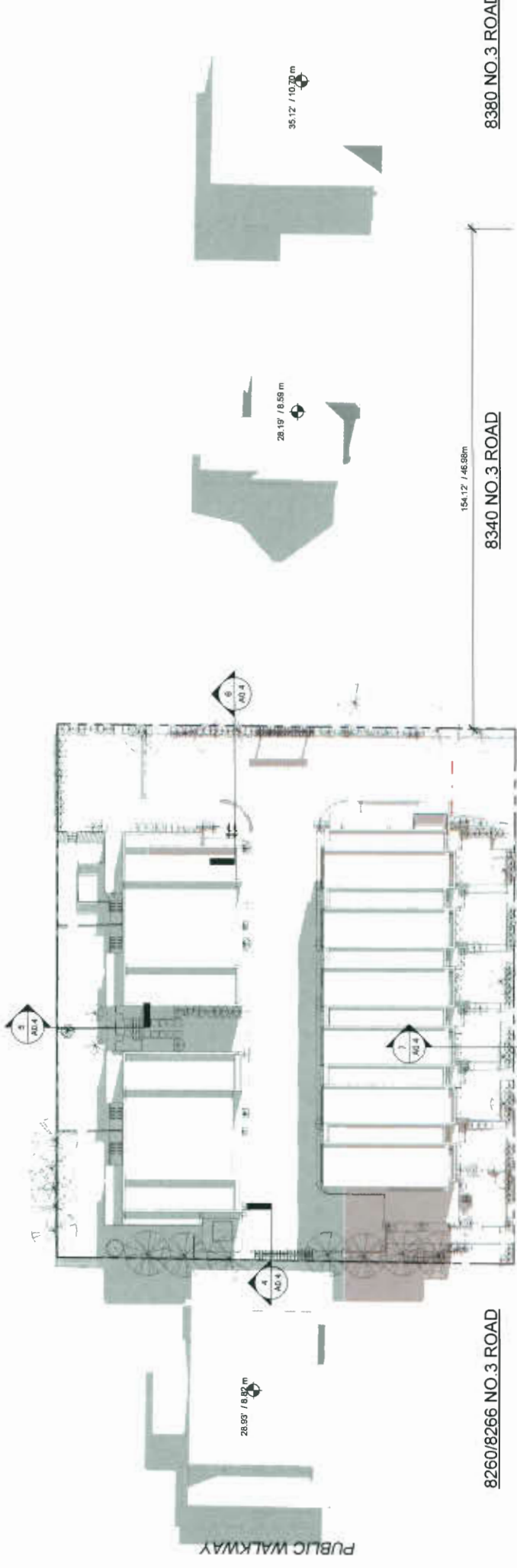
8280/8300 NO.3 ROAD



8340 NO.3 ROAD



8380 NO.3 ROAD



Project Title
8280 NO.3
ROAD,
RICHMOND,
B.C.

PLAN # 1A

JAN 2 2019 DP 18-827622

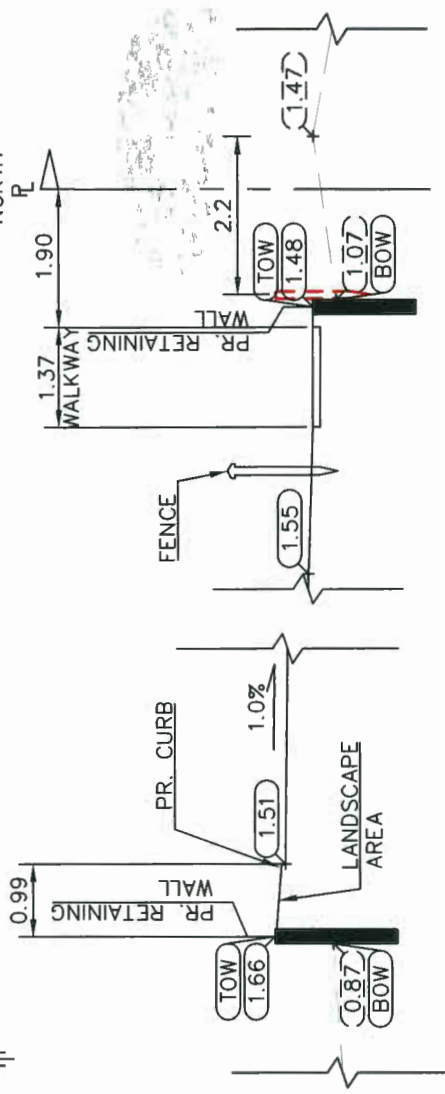
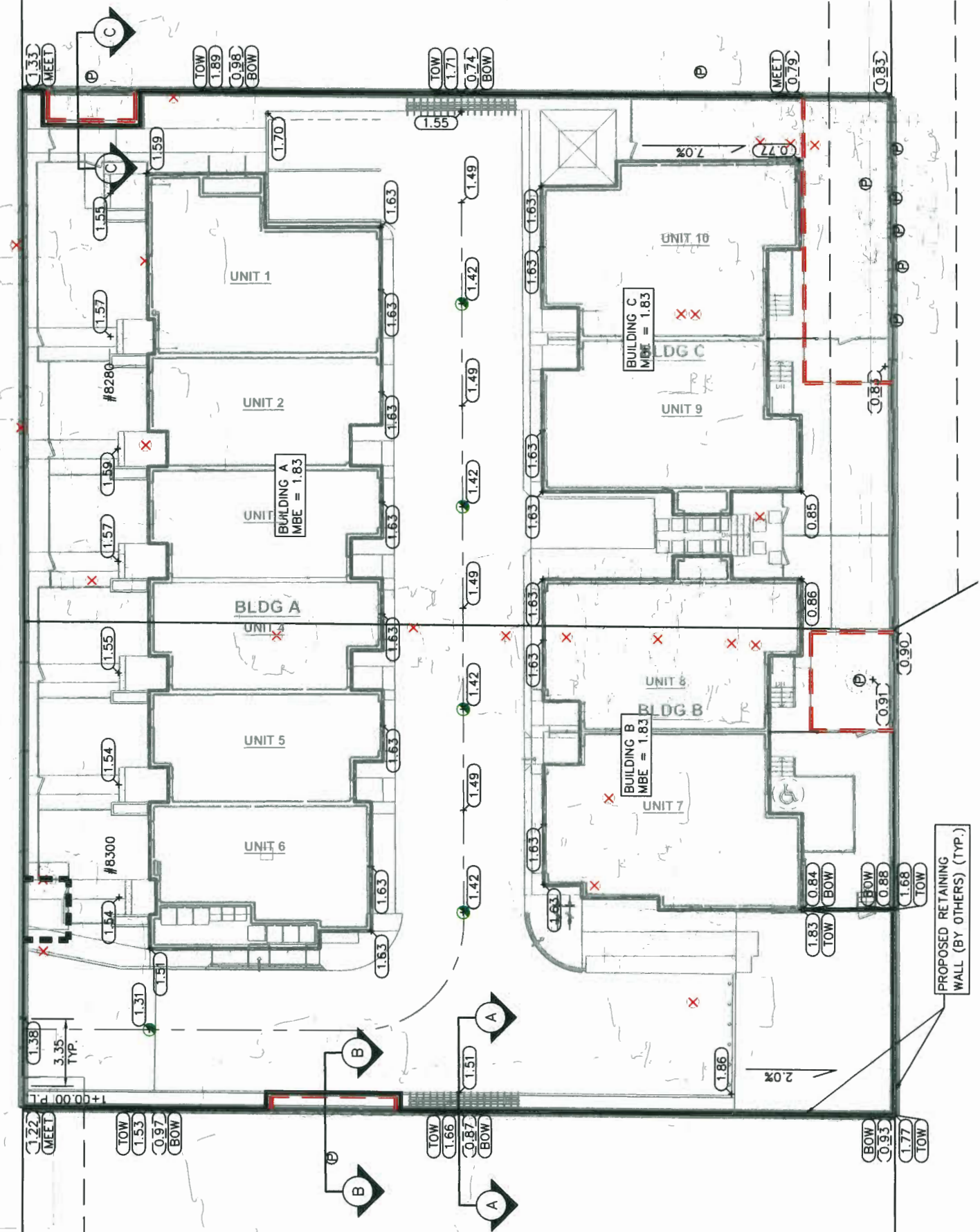
Sheet Title
CONTEXT PLAN
& ELEVATIONS

Drawn RK
Checked MC
Scale As indicated
Project Number 16RTH01
Revision
Dwg

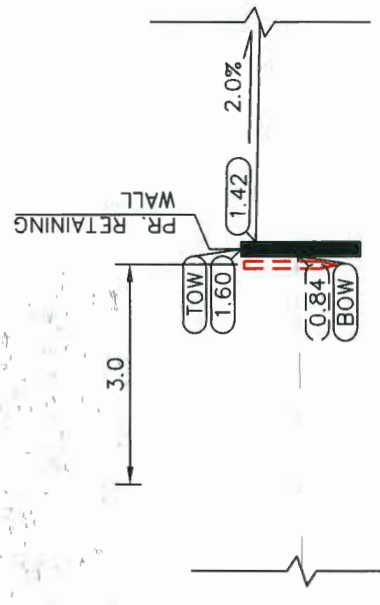
First Date: 2019/01/10
A0.4

6 SITE PROFILE SOUTH
SCALE 1/4" = 1'-0"
A0.4 E

7 SITE PROFILE WEST (NO.3 ROAD)
SCALE 1/4" = 1'-0"
A0.4 E



SECTION A-A
N.T.S.



SECTION B-B
N.T.S.

JAN 2 2 2019
PLAN # 1/B

LEGEND

	TREE TO BE REMOVED
	TREE TO BE PRESERVED
	TREE PROTECTION FENCE

DP 18-827622

City of Richmond
6911 No. 3 ROAD RICHMOND B.C. V6Y 2C1

TITLE:

LOT GRADING	
8280 NO. 3 ROAD	
CITYFILE:	
DESIGN: PS	
DRAWN: GG	DWG. No.: .
CHECKED: BCD	SCALE: 1 : 250
ENGINEER: BTR	SEC. No.: 21-4-6
	DATE: DEC 2018
	SHT No.: 1 OF 1

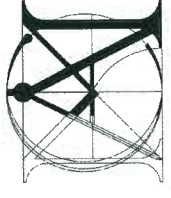
REV'N	DATE	BY	CH.	DESCRIPTION
2.	16 JAN 2019	HH	BTR	REVISED LOT GRADING
1.	10 JAN 2019	HH	BTR	REVISED LOT GRADING
0.	20 DEC 2018	PS	BTR	DETAILED LOT GRADING

CoreConcept CONSULTING LTD.
#220-2639 Viking Way, Richmond, BC, V6V 3B7
www.coreconceptconsulting.com

ALLEN CHAN
Core Concept Consulting Project No. 16149
DWG. 1 OF 1

tel : 604.249.5040
fax : 604.249.5041

16 JAN 2019



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Revision:
2018-12-19 ISSUE FOR DPP STAFF REVIEW
2019-01-10 RE-ISSUE FOR DPP STAFF REVIEW

Consultants

Project Title
**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title
PARKING PLAN

JAN 2 2 2019

PLAN #2

DP 18-827622

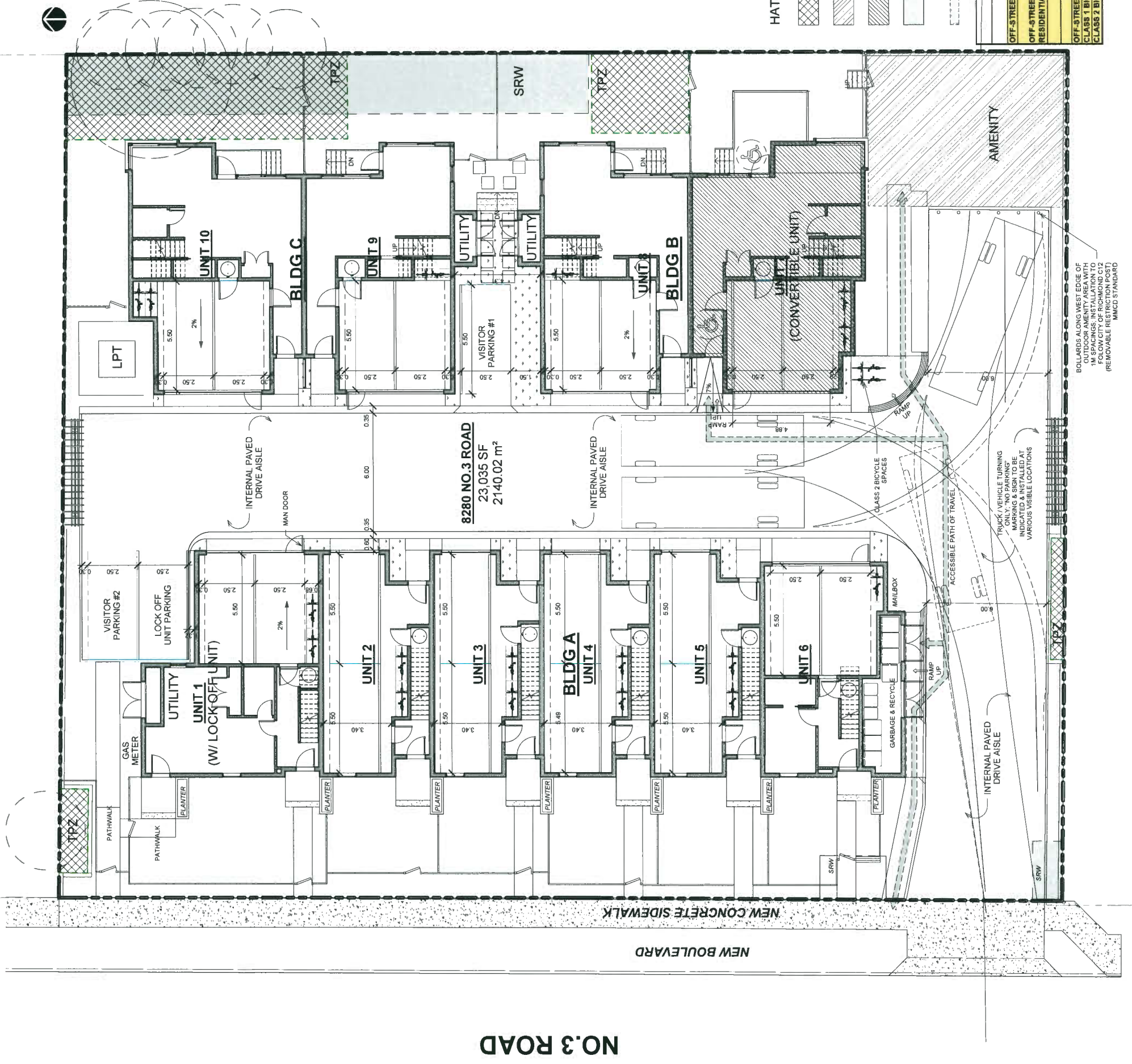
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Checked MC
Scale: 1/8" = 1'-0"
Project Number: 18RTH01
Revision
Print Date: 2019/01/10
A0.2

HATCH LEGEND:

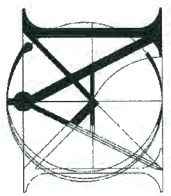
- TREE PROTECTION ZONE (TPZ)
- AMENITY
- CONVERTIBLE UNIT
- SRW
- ACCESSIBLE PATH OF TRAVEL

PARKING COMPUTATIONS:

	REQUIRED	PROPOSED
OFF-STREET PARKING TOTAL	22	22
OFF-STREET PARKING RESIDENTIAL	20	20
(SIDE BY SIDE)	(10 MINIMUM)	(12)
(TANDEM)	(10 MAX.)	(8)
OFF-STREET PARKING VISITOR	2	2
CLASS 1 BICYCLE SPACE	13	17 HORIZONTAL
CLASS 2 BICYCLE SPACE	2	2



BOLLARDS ALONG WEST EDGE OF OUTDOOR AMENITY AREA WITH 1M SPACINGS. INSTALLATION TO FOLLOW CITY OF RICHMOND C2 (REMOVABLE IN ACCORDANCE WITH MAND STANDARD)



**Matthew Cheng
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Revision:
2018-12-19 ISSUE FOR DPP STAFF REVIEW
2019-01-10 RE-ISSUE FOR DPP STAFF REVIEW

Consultants

Project Title
**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title
**FIRE TRUCK
ACCESS**

PLAN #2A

DP 18-827622

Drawn RK
Checked MC

Scale: 1/8" = 1'-0"

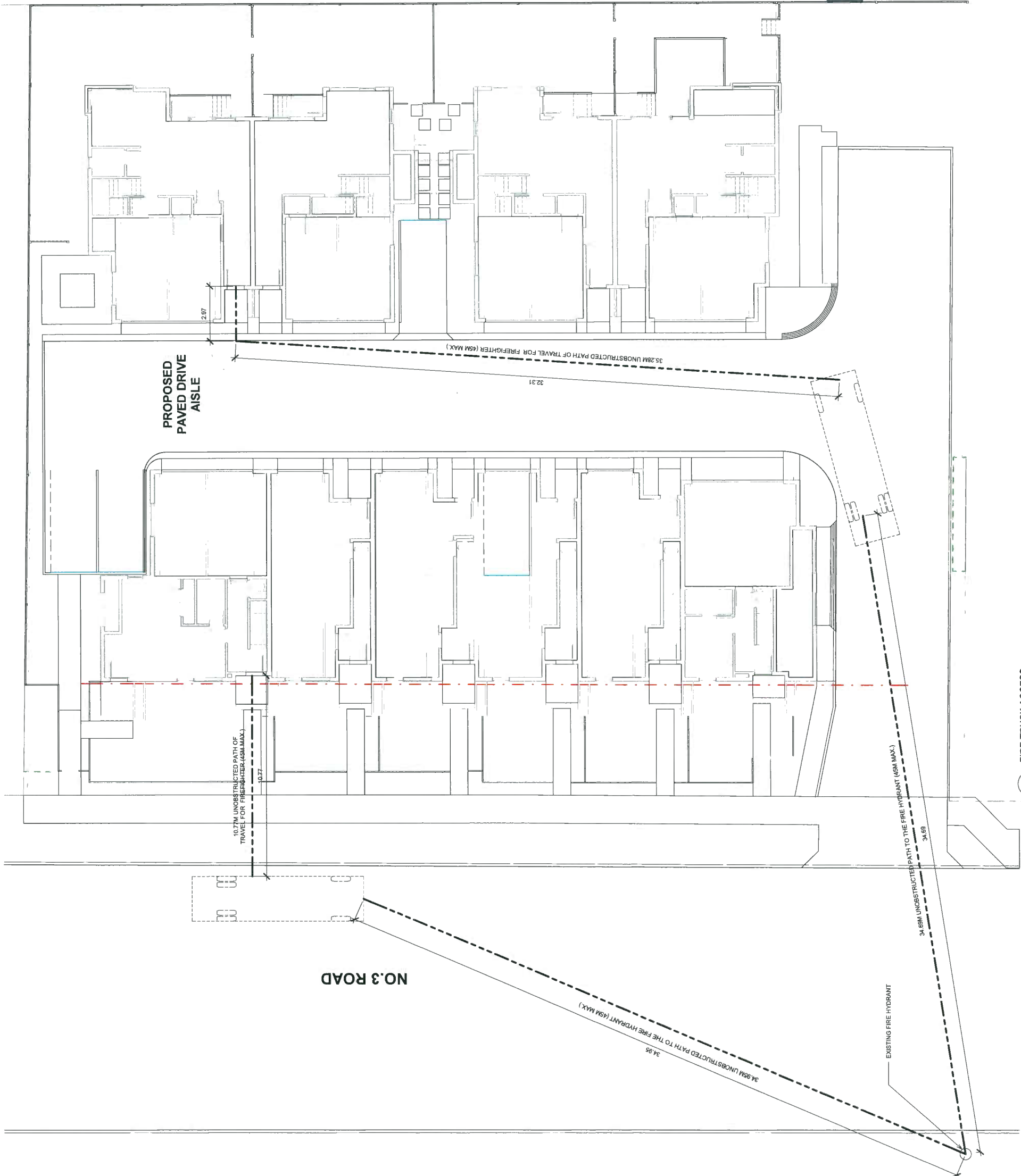
Project Number:
16RTH01

Revision Dwg.

Print Date:
2019/01/10

A0.5

JAN 22 2019



1 FIRE TRUCK ACCESS
A0.5
SCALE 1/8" = 1'-0"
E

SEAL:

PLANT SCHEDULE - STREET TREE		COMMON NAME	PMG PROJECT NUMBER: keyjn
KEY	CITY	BOTANICAL NAME	PLANTED SIZE / REMARKS
5		SMALL STREET TREE TYPE AND LOCATION BY CITY OF RICHMOND	60M CAL, B&B

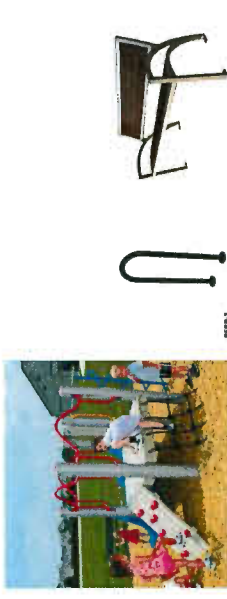
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES ARE SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED PLANT SPECIFICATIONS AND CONTAINER SIZES. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

PLANT SCHEDULE		COMMON NAME	PLANTED SIZE / REMARKS	PMG PROJECT NUMBER: 17923
5	PICEA OMORIKA BRUNSA	BRUNSA SPRUCE	40M HT, B&B	
12	POPULUS TRELOREI BRISOLA	BRUNSA TREBUKING ASPEN	80M CAL, 2M STD, B&B	
3	QUERCUS PALUSTRIS GREEN PILLAR	GREEN PILLAR PIN OAK	80M CAL, 1.8M STD, B&B	
1	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	60M CAL, 2M STD, B&B	
2	STYRAX JAPONICUS PINK CHIMES	PINK FLOWERED JAPANESE SNOWBELL	80M CAL, 2M STD, B&B	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: All soft landscape areas to be irrigated with automatically underground design-build system. Irrigation design and installation to I.L.A.C. Standards, latest edition.

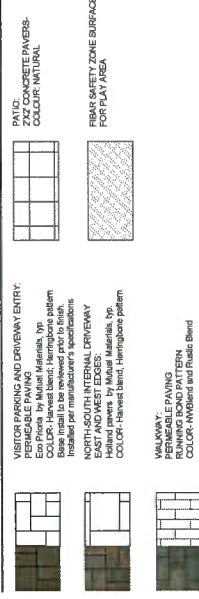
FURNITURE



FENCING LEGEND



MATERIAL KEY



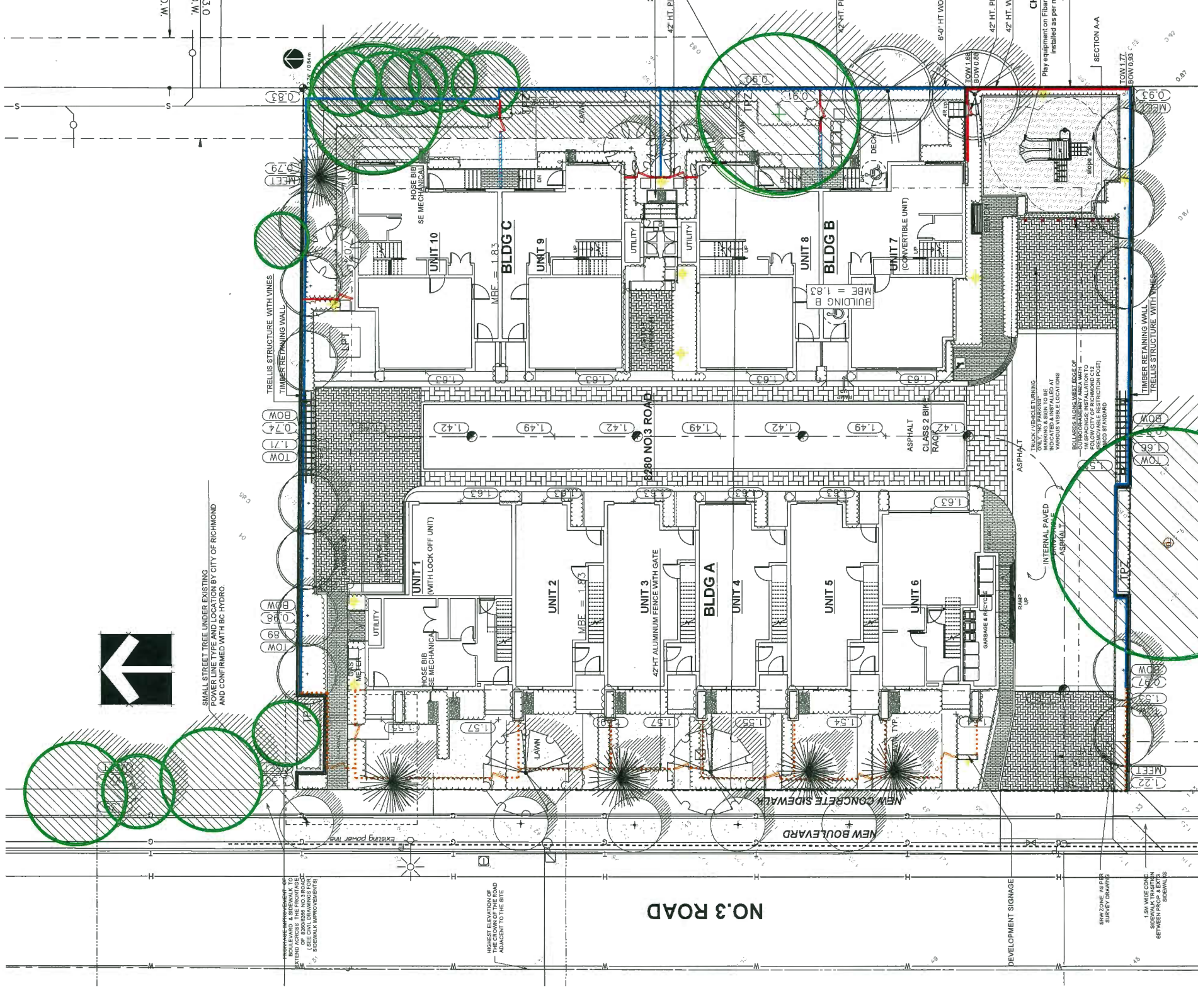
LIGHTING LEGEND



SITE FURNITURE MOUNTING



PLAN # 3 JAN 2 2019
DP 18-827622



NO.	DATE	REVISION DESCRIPTION	DR.
1	17MAY13	NEW SITE PLAN	DD
2	17JUN13	REV. PER NEW SITE PLAN	BA
3	17SEP14	REV. PER NEW SITE PLAN	BA
4	17OCT14	REV. PER CITY REQUEST	DD
5	18FEB14	NEW SITE PLAN	DD
6	18FEB14	NEW SITE PLAN	DD
7	18FEB14	REV. PER NEW SITE PLAN	BA
8	18FEB14	REV. PER NEW SITE PLAN	BA
9	18FEB14	REV. PER CITY COMMENTS	DD
10	18FEB14	REV. PER CITY COMMENTS	DD
11	18FEB14	REV. PER CITY COMMENTS	DD
12	18FEB14	REV. PER CITY COMMENTS	DD
13	18FEB14	REV. PER CITY COMMENTS	DD
14	18FEB14	REV. PER CITY COMMENTS	DD
15	18FEB14	REV. PER CITY COMMENTS	DD
16	18FEB14	REV. PER CITY COMMENTS	DD
17	18FEB14	REV. PER CITY COMMENTS	DD
18	18FEB14	REV. PER CITY COMMENTS	DD
19	18FEB14	REV. PER CITY COMMENTS	DD
20	18FEB14	REV. PER CITY COMMENTS	DD
21	18FEB14	REV. PER CITY COMMENTS	DD
22	18FEB14	REV. PER CITY COMMENTS	DD
23	18FEB14	REV. PER CITY COMMENTS	DD
24	18FEB14	REV. PER CITY COMMENTS	DD
25	18FEB14	REV. PER CITY COMMENTS	DD
26	18FEB14	REV. PER CITY COMMENTS	DD
27	18FEB14	REV. PER CITY COMMENTS	DD
28	18FEB14	REV. PER CITY COMMENTS	DD
29	18FEB14	REV. PER CITY COMMENTS	DD
30	18FEB14	REV. PER CITY COMMENTS	DD

WITH: MATTHEW CHEUNG ARCHITECT INC.
PROJECT:
12 UNIT TOWNHOUSE DEVELOPMENT
8280 - NO. 3 ROAD
RICHMOND

DRAWING TITLE:
LANDSCAPE PLAN

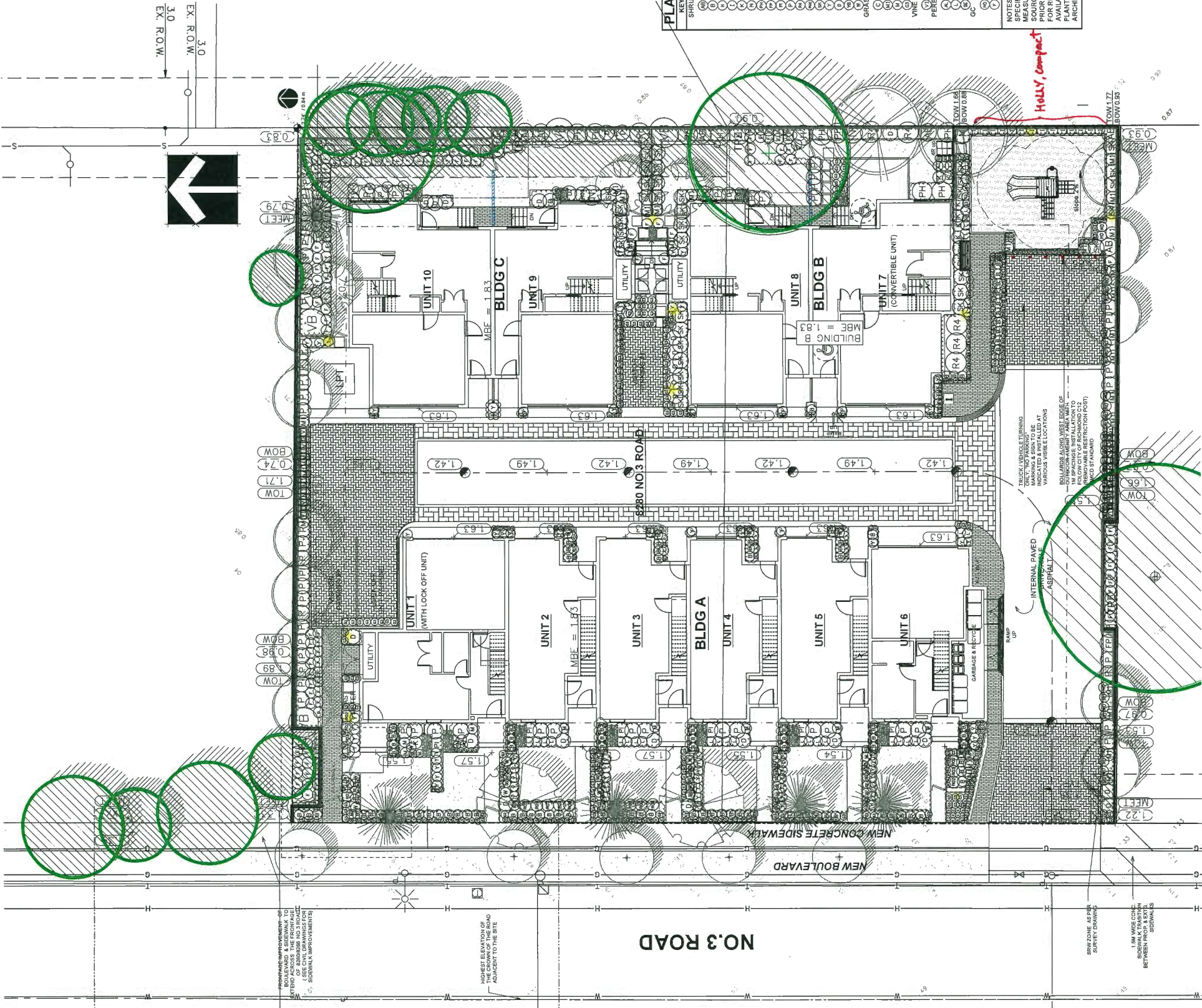
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SCALE: 3/32" = 1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM

DRAWING NUMBER:
L1

OF 7

PMG PROJECT NUMBER:
17-023

SEAL:



PMG PROJECT NUMBER: 17-423

KEY	CITY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB	6	ABELIA 'EDWARD GOUCHER'	PINK ABELIA	#2 POT; 30CM
	108	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM
	3	HYDRANGEA M. 'ENDLESS SUMMER'	ENDLESS SUMMER BIGLEAF HYDRANGEA	#3 POT; 80CM
	14	ILEX CREMATA 'GREEN THUMB'	HOLLY; COMPACT	#3 POT; 50CM
	7	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#3 POT; 50CM
	3	NANDINA DOMESTICA	HEAVENLY BAMBOO	#3 POT; 80CM
	3	PHILADELPHUS LEWISII	MOCK ORANGE	#3 POT; 80CM
	2	PHOTINIA X FRASERI	FRAGEE 'FRASER'	1.5M TIT
	6	PICEA OBCURCA 'COMPACT'	FRASER FIR	#3 POT; 50CM
	6	PICEA OBCURCA 'VALLEY FIBR'	VALLEY FIBR FIR	#3 POT; 50CM
	6	RHOODODENDRON 'CHRISTMAS CHEER'	CHRISTMAS CHEER RHODODENDRON	#3 POT; 50CM
	23	ROSA SCARLET MEDIAN ROSE	SCARLET MEDIAN ROSE	#2 POT; 40CM
	39	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#2 POT; 30CM
	79	TAXUS X MEDIA 'HICKSI'	HICKS YEW	1M + POT
	27	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#2 POT; 30CM
	4	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	#3 POT; 50 CM
	13	WEIBELA FLORIDA 'MIDNIGHT WINE'	DWARF WEIGELA	#2 POT; 40CM
GRASS	403	CAREX 'ICE DANCE'	FROSTED SEDGE	#1 POT
	39	MISCANTHUS SINENSIS 'LITTLE KITTEN'	COMPACT WANDER GRASS	#1 POT
	8	MISCANTHUS SINENSIS 'YAKU JIMA'	YAKU JIMA JAY SILVER GRASS	#1 POT; HEAVY
	147	PENISSETUM ALOPECUROIDES 'HAMILIN'	DWARF FOUNTAIN GRASS	
VINE	6	CLEMATIS ARMANDII	EVERGREEN CLEMATIS	#2 POT; 80CM; STAKED
PERENNIAL	21	ARMERIA MARITIMA	COMMON THRIFT	9CM POT; 15CM POT
	44	LAVENDULA ANGSTUFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER	#1 POT
	21	SEDUM TELEPHULUM 'HERRISTREIDE'	AUTUMN JOY STONECROP	9CM POT
OC	32	NANDINA DOMESTICA 'HARBOUR DWARF'	HARBOUR DWARF NANDINA	#1 POT
	152	POLYSTICHUM NUNITUM	WESTERN SWORD FERN*	#1 POT; 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. LATEST EDITION. CONTAINER SIZES SPECIFIED LAST PER CAN & STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL UNLESS OTHERWISE NOTED. * ALL PLANT MATERIAL MUST BE PROVIDED IN DELIVERY AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

DP 18-827622
PLAN #3A
JAN 22 2019

WTR: MATTHEW CHENG ARCHITECT INC.
PROJECT:
12 UNIT TOWNHOUSE DEVELOPMENT
8280 - NO. 3 ROAD
RICHMOND

DRAWING TITLE:
SHRUB PLAN

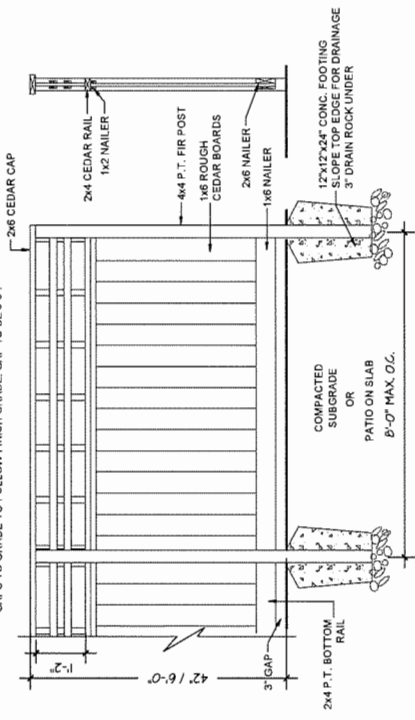
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DRAWN: DD
DESIGN: DD
CHKD: PCM
DRAWING NUMBER:
L2
OF 7
PMG PROJECT NUMBER:
17-023-11.2P

NO.	DATE	REVISION DESCRIPTION	DR.
1	17/MAR/21	NEW SITE PLAN	DD
2	17/JUN/23	REV. PER NEW SITE PLAN	DD
3	17/JUN/23	REV. PER NEW SITE PLAN	DD
4	17/JUN/23	REV. PER NEW SITE PLAN	DD
5	18/OCT/23	REV. PER SITE PLAN	DD
6	18/OCT/23	REV. PER SITE PLAN	DD
7	18/OCT/23	REV. PER CITY COMMENTS	DD
8	18/OCT/23	REV. PER CITY COMMENTS	DD
9	18/OCT/23	REV. PER CITY COMMENTS	DD
10	19/JAN/24	REV. PER CITY COMMENTS	DD

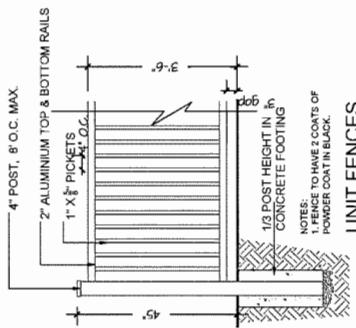
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SEAL:

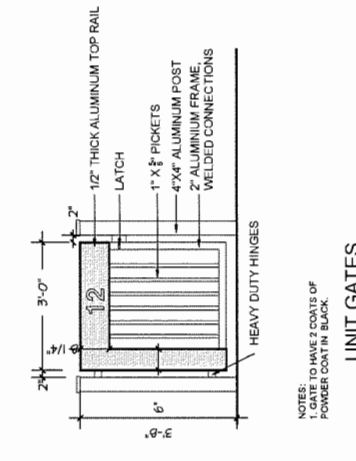
- NOTES:**
1. ALL POSTS PRESURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE NOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/8".



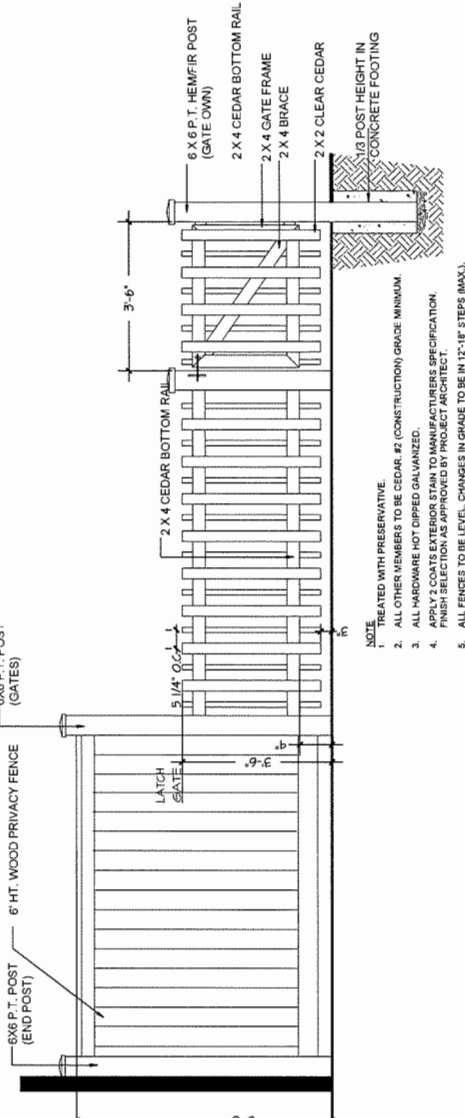
1-1 6'-0" HT. WOOD FENCE WITH LATTICE 1/2" = 1'-0"



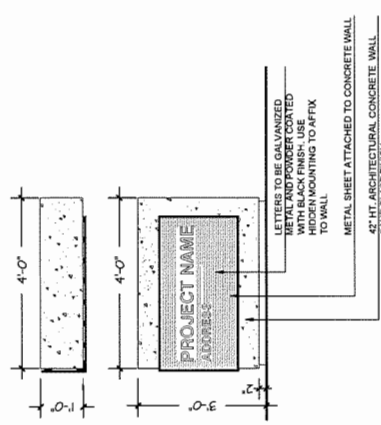
2-2 42" HT. ALUMINUM FENCE AND GATE 1/2" = 1'-0"



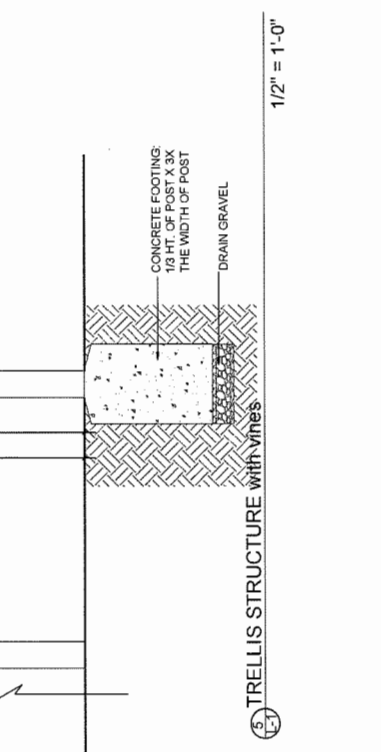
UNIT GATES 1/2" = 1'-0"



3-1 42" HT. PICKET FENCE AND GATE 1/2" = 1'-0"

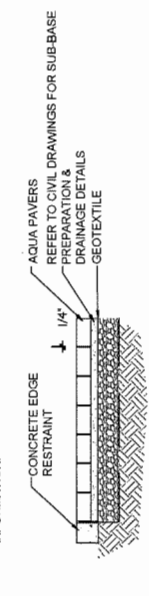


4-4 DEVELOPMENT SIGNAGE 1/2" = 1'-0"

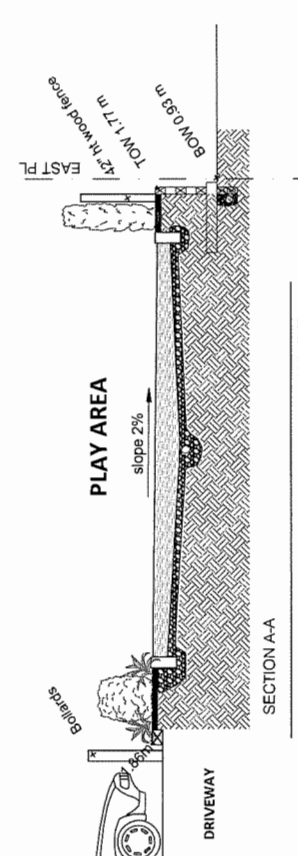


5-1 TRELLIS STRUCTURE WITH VINES 1/2" = 1'-0"

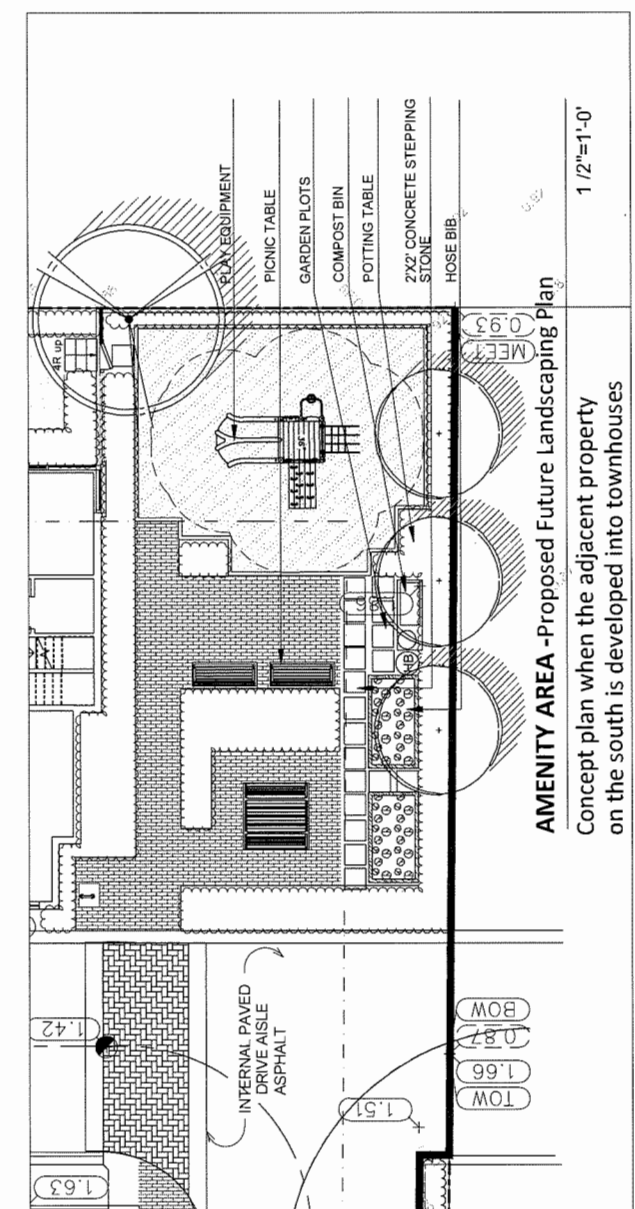
- NOTE:**
1. REFER TO MANUFACTURERS INSTALLATION DOCUMENTATION FOR TYPICAL RESIDENTIAL DRIVEWAY AND SIDEWALK CONSTRUCTION FOR FURTHER INFORMATION.



6-1 PERMEABLE PAVERS 1/2" = 1'-0"



SECTION A-A 1/4" = 1'-0"



AMENITY AREA - Proposed Future Landscaping Plan
Concept plan when the adjacent property on the south is developed into townhouses 1/2" = 1'-0"

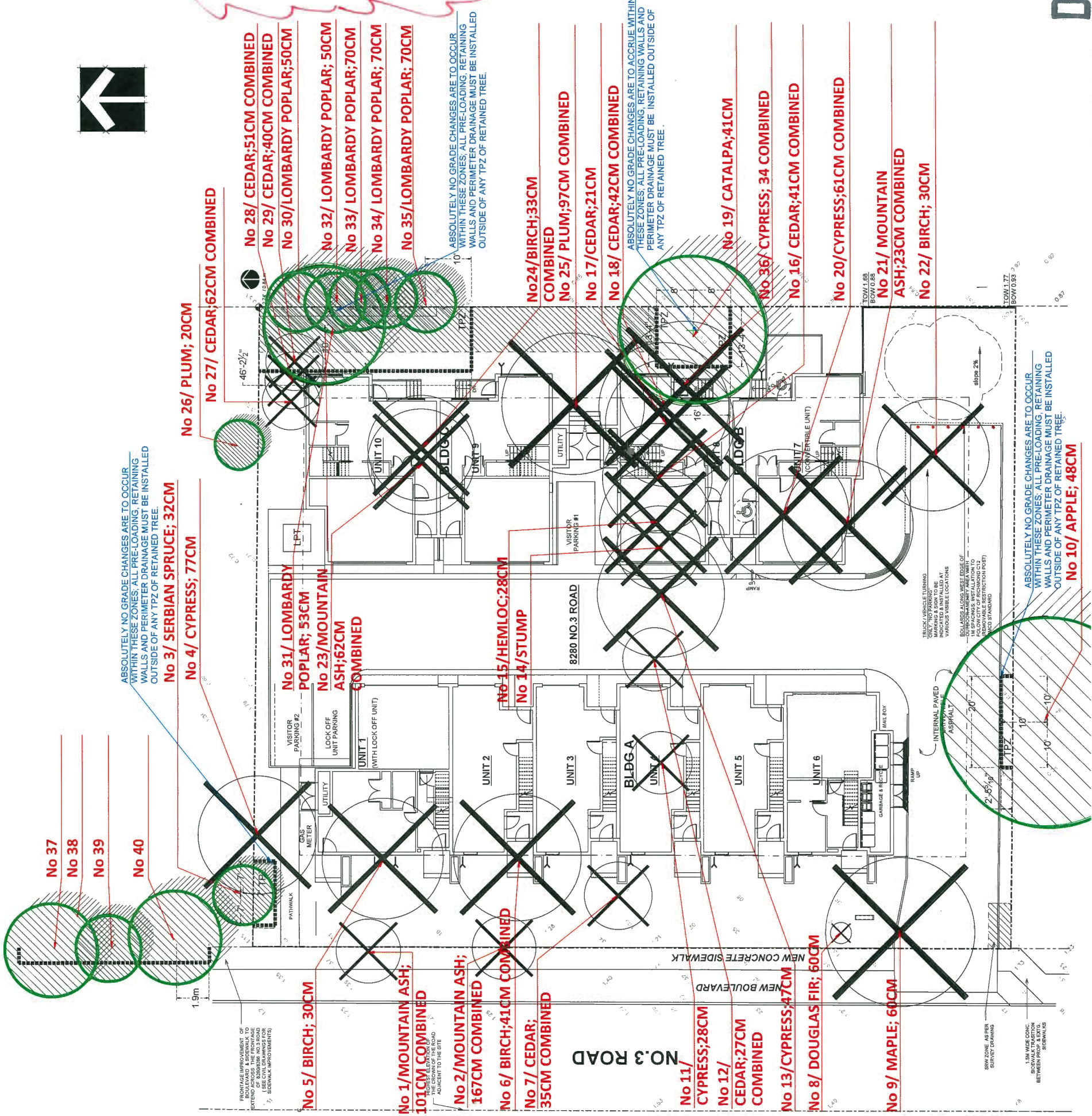
NO.	DATE	REVISION DESCRIPTION	DL
1	17 MAR 21	NEW SITE PLAN	DL
2	17 MAR 21	NEW SITE PLAN	DL
3	17 MAR 21	REV. NEW SITE PLAN	DL
4	17 OCT 18	REV. NEW SITE PLAN	DL
5	18 FEB 14	NEW SITE PLAN	DL
6	18 OCT 10	REV. NEW SITE PLAN	DL
7	18 DEC 13	REVISION AS PER CITY COMMENTS	DL
8	18 JAN 09	REVISION AS PER CITY COMMENTS	DL
9	18 JAN 09	REVISION AS PER CITY COMMENTS	DL
10	18 JAN 14	REVISION AS PER CITY COMMENTS	DL

CLIENT: CHISON DEVELOPMENT CORP (RICHMOND)

WITH: MATTHEW CHENG ARCHITECT INC.
PROJECT:
12 UNIT TOWNHOUSE DEVELOPMENT
8280 - NO. 3 ROAD
RICHMOND

DRAWING TITLE:
LANDSCAPE DETAILS
DATE: March 20, 2017
SCALE:
DRAWN: DD
DESIGN: DD
CHKD: PCM
DRAWING NUMBER:
L3
OF 7
PMG PROJECT NUMBER:
17033-112P

SEAL:



One large Zone shall protect Trees #30 - #35.
Install Tree Protection Zone 3m (10ft) from the base of the stem on the west side of Tree #31, and 3m (10ft) from the base of the stem on the south side of Tree #35. Any excavation for the proposed building and staircase that encroaches into this Zone must be supervised by Certified Arborist, any exposed roots will be properly pruned, then they must be covered with burlap and poly plastic until the area is back filled; this root curtain must be removed prior to back filling, and backfilling in this area will need to be performed manually. The TPZ fencing will need to be re-installed 4ft. from the line of excavation to provide a construction area buffer; the remaining area must be covered with 1" thick plywood secured to the ground, to enable room/space for construction activities like exterior cladding.

INSTALL TPZ FENCING 2.4M FROM BASE OF STEM ON THE NORTH, WEST AND SOUTH SIDES. ANY EXCAVATION FOR THE PROPOSED BUILDING AND STAIRCASE THAT ENCROACHES INTO THIS ZONE MUST BE SUPERVISED BY CERTIFIED ARBORIST. ANY EXPOSED ROOTS WILL BE PROPERLY PRUNED. THE PROPOSED PATIO THAT ENCROACHES INTO TPZ MUST BE INSTALLED AT OR NEAR EX. GRADE. NO FURTHER EXCAVATION CAN OCCUR. ANY EXCAVATION FOR THE PROPOSED LANDSCAPING WITHIN THE TPZ MUST BE PERFORMED MANUALLY. IF LARGE ROOTS (4" DIA AND LARGER) ARE ENCOUNTERED THEN THE NEW PLANTINGS MUST BE SHIFTED TO ACCOMMODATE. THE PORTION OF THE PROPOSED LAWN THAT ENCROACHES INTO THE TPZ MUST BE INSTALLED AT OR NEAR EXISTING GRADE. NO MORE THAN 3" OF ADDITIONAL GOOD QUALITY LANDSCAPE SOIL (NOT CONSTRUCTION FILL) MAY BE ADDED WITHIN THIS ZONE. ABSOLUTELY NO FURTHER GRADE CHANGES ARE TO OCCUR WITHIN THE TPZ. ALL PRE-LOADING WALLS AND PERIMETER DRAINAGE MUST BE INSTALLED OUTSIDE OF THIS ZONE.

ID	REVISION AS PER CITY COMMENTS	DD
1	ISSUED FOR PERMITS	DD
2	ISSUED FOR PERMITS	DD
3	ISSUED FOR PERMITS	DD
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48	ISSUED FOR PERMITS	DD
49	ISSUED FOR PERMITS	DD
50	ISSUED FOR PERMITS	DD

CLIENT: CHISON DEVELOPMENT CORP (RICHMOND)

WITH: MATTHEW CHENG ARCHITECT INC.
PROJECT:
12 UNIT TOWNHOUSE DEVELOPMENT
8280 - NO. 3 ROAD
RICHMOND

DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: March 20, 2017
SCALE: 1/32"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM

L4
OF 7

PMG PROJECT NUMBER: 17033-1LZP

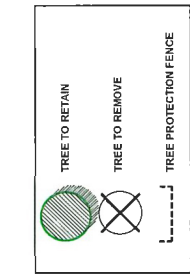
NOTE:
PLEASE READ AND FOLLOW SPECIFIC RECOMMENDATIONS ON ARBORIST REPORT PRIOR TO COMMENCEMENT OF WORK.

DP 18-827622
PLAN # 3C

JAN 22 2019

17-023

SEAL:

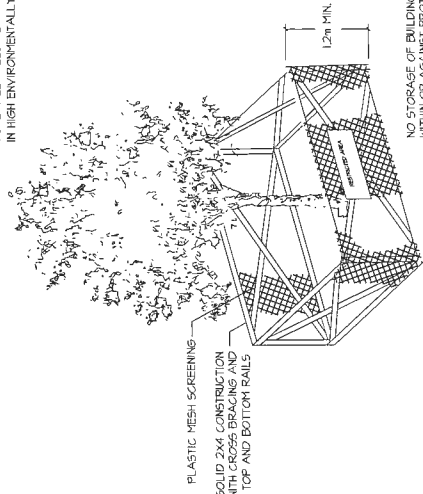


NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

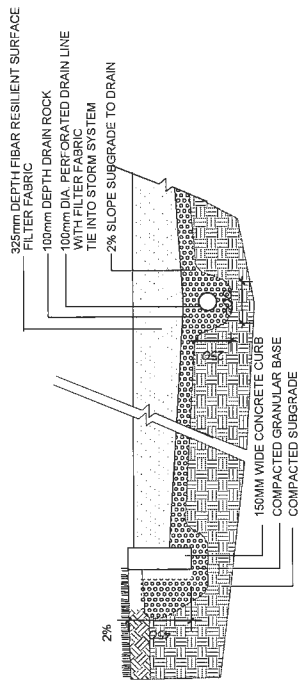
TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETER IN CM @ 1.4M*	MINIMUM PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5
100	6.0

EXTRAPOLATE PROTECTION RADII FOR TREES LARGER THAN 100CM DBH *10 METRE AT BREAST HEIGHT OR 1.4M FROM GRADE.



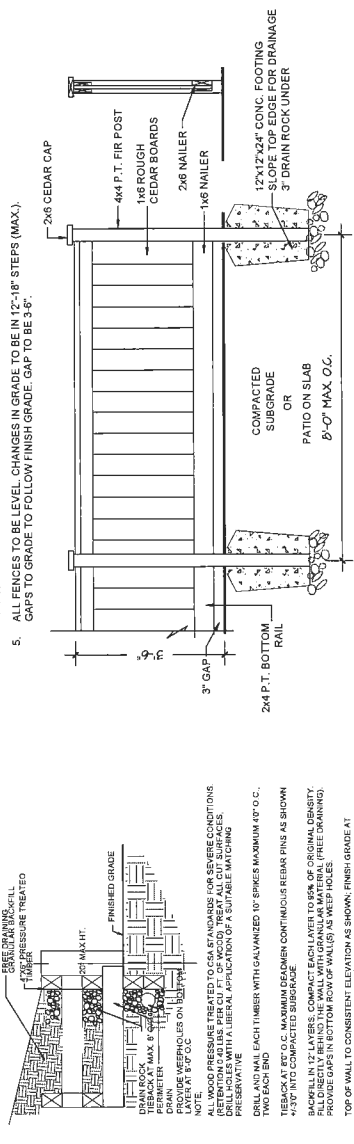
NO STORAGE OF BUILDING MATERIALS WITHIN OR AGAINST PROTECTION BARRIER



PLAY AREA DETAIL 1/2" = 1'-0"

P.L.

- NOTES:
- ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 - ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
 - ALL HARDWARE HOT DIPPED GALVANIZED.
 - APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 - ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".



TIMBER RETAINING WALL ON GRADE 1/2" = 1'-0" 42" HT WOOD FENCE 1/2" = 1'-0"

TREE #	SPECIES (Botanical name)	DBH (cm)	SPREAD (m) est.
30	Lombardy Poplar (<i>Populus nigra</i>)	50 per survey	1.25m
31	Lombardy Poplar (<i>Populus nigra</i>)	53 per survey	3.5m
32	Lombardy Poplar (<i>Populus nigra</i>)	50 per survey	1.25m
33	Lombardy Poplar (<i>Populus nigra</i>)	70 per survey	1.25m
34	Lombardy Poplar (<i>Populus nigra</i>)	70 per survey	1.25m
35	Lombardy Poplar (<i>Populus nigra</i>)	70 per survey	1.25m
36	Cypress (<i>Chamaecyparis sp.</i>)	34 combined	1.25m

Suitable Replacement Tree Species

- Purple Fountain European Beech (*Fagus sylvatica* 'Purple Fountain')
- Japanese Tree Lilac 'Ivory Silk' (*Syringa reticulata* 'Ivory Silk')
- Japanese maple (*Acer palmatum sp.*)
- Persian Ironwood (*Parrotia persica*)
- Stewartia (*Stewartia pseudocamellia*)
- Ginkgo 'Princeton Sentry' (*Ginkgo biloba* 'Princeton Sentry')
- Dik's Weeping Cypress (*Chamaecyparis lawsoniana* 'Dik's Weeping')
- Serviceberry (*Amelanchier x grandiflora* 'Autumn Brilliance')
- Oriental Dogwood (*Cornus kousa*)
- Paperbark maple (*Acer griseum*)
- Threadleaf Cypress (*Chamaecyparis pisifera* 'Filifera')
- Sentinel Columnar pine (*Pinus nigra* 'sentinel')
- Picea omorika (*Serbian spruce*)

TREE #	SPECIES (Botanical name)	DBH (cm)	SPREAD (m) est.
1	Mountain Ash (<i>Sorbus sp.</i>)	101 combined	1.25m
2	Mountain Ash (<i>Sorbus sp.</i>)	167 combined	1.25m
3	Serbian Spruce (<i>Picea omorika</i>)	32	1.25m
4	Cypress (<i>Chamaecyparis sp.</i>)	77	3.75m
5	Birch (<i>Betula sp.</i>)	30	3.75m
6	Birch (<i>Betula sp.</i>)	41 combined	3.75m
7	(<i>Thuja occ.</i>)	combined	1.25m
8	Douglas Fir (<i>Pseudotsuga menziesii</i>)	60 per survey	4.25m
9	Maple (<i>Acer sp.</i>)	60 per survey	4.25m
10	Apple (<i>Malus sp.</i>)	48 per survey	6.25m
11	Cypress (<i>Chamaecyparis sp.</i>)	28 combined	1.25m
12	Cedar (<i>Thuja occ.</i>)	27 combined	1.25m
13	Cypress (<i>Chamaecyparis sp.</i>)	47	3.75m
14	Stump	-	-
15	Hemlock (<i>Tsuga sp.</i>)	28	3.25m
16	Cedar (<i>Thuja sp.</i>)	41 combined	3.25m
17	Cedar (<i>Thuja sp.</i>)	31	3.25m
18	Cedar (<i>Thuja sp.</i>)	42 combined	3.25m
19	Catalpa (<i>Catalpa sp.</i>)	41	3.25m
20	Cypress (<i>Chamaecyparis sp.</i>)	61 combined	3.25m
21	Mountain Ash (<i>Sorbus sp.</i>)	23 combined	3.25m
22	Birch (<i>Betula sp.</i>)	30	3.25m
23	Mountain Ash (<i>Sorbus sp.</i>)	62 combined	3.25m
24	Birch (<i>Betula sp.</i>)	33 combined	3.25m
25	Plum (<i>Prunus sp.</i>)	97 combined	3.75m
26	Plum (<i>Prunus sp.</i>)	20	1.25m
27	Cedar (<i>Thuja occ.</i>)	62 combined	1.25m
28	Cedar (<i>Thuja occ.</i>)	51 combined	1.25m
29	Cedar (<i>Thuja occ.</i>)	40 combined	1.25m

NO.	DATE	REVISION DESCRIPTION	DR.
1	17/MAY/21	NEW SITE PLAN	DR.
2	17/MAY/21	REV. PER NEW SITE PLAN	DR.
3	17/MAY/21	REV. PER NEW SITE PLAN	DR.
4	17/MAY/21	REV. PER CITY REQUEST	DR.
5	17/MAY/21	NEW SITE PLAN	DR.
6	18/OCT/20	NEW SITE PLAN	DR.
7	18/OCT/20	REVISION AS PER CITY COMMENTS	DR.
8	18/OCT/20	REVISION AS PER CITY COMMENTS	DR.
9	18/OCT/20	REVISION AS PER CITY COMMENTS	DR.
10	18/OCT/20	REVISION AS PER CITY COMMENTS	DR.

CLIENT: CHISLON DEVELOPMENT CORP (RICHMOND)

PROJECT: WITH: MATTHEW CHENG ARCHITECT INC.
12 UNIT TOWNHOUSE DEVELOPMENT

8280 - NO. 3 ROAD
RICHMOND

DRAWING TITLE: **TREE MANAGEMENT PLAN**

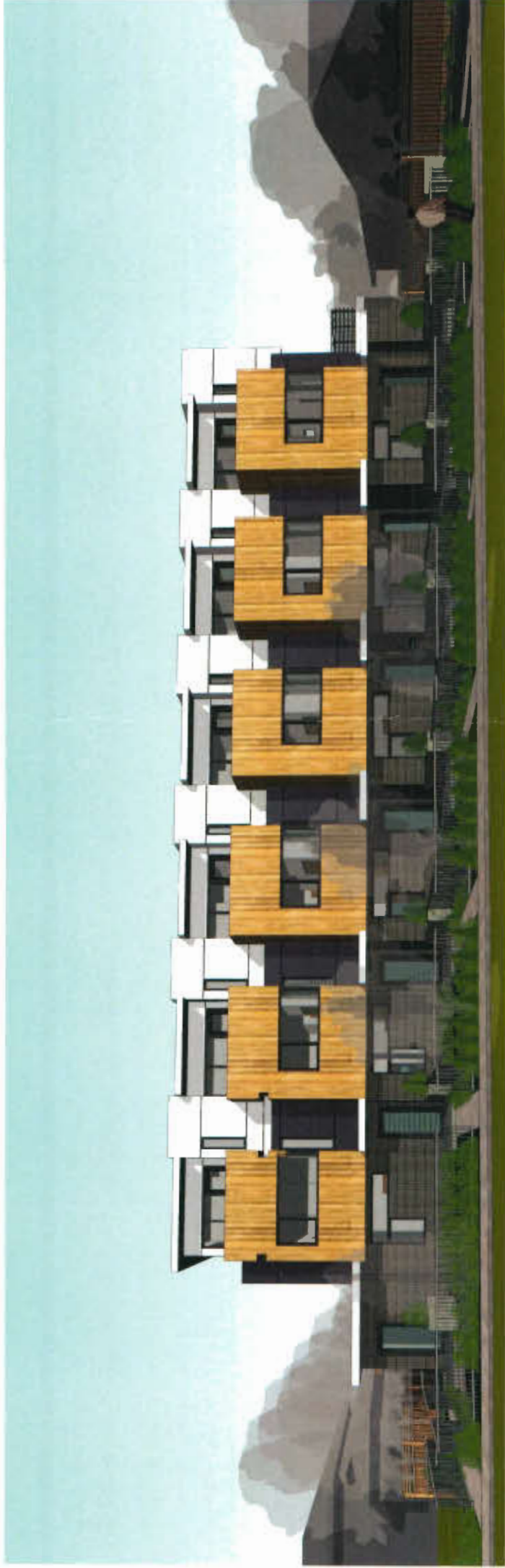
DATE: March 20, 2017
SCALE: **L5**
DRAWN: DD
DESIGN: DD
CHKD: PCM
DRAWING NUMBER: **L5**
OF 7
PMG PROJECT NUMBER: 17023-LL2P

DP 18-827622

PLAN #3D

JAN 22 2019

17023-LL2P



BUILDING A VIEW ALONG NO. 3 ROAD

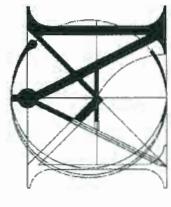


BUILDING A REAR VIEW



PERSPECTIVE OF BUILDING A & ENTRANCE TO INTERNAL ROAD **PLAN #4**

JAN 2 2 2019 **DP 18-827622**



**Matthew Cheng
Architect Inc.**
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VANCOUVER, BC V6A 2K9
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Cell: (604) 649-0669 / Email: matthew@mca.ca

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Revisions:

2018-12-18 ISSUE FOR DPP STAFF REVIEW
2019-01-10 RE-ISSUE FOR DPP STAFF REVIEW
2019-01-15 RE-ISSUE FOR DPP STAFF REVIEW

Consultants:

Project Title:

**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title:

PERSPECTIVES

Drawn: RO

Checked: MC

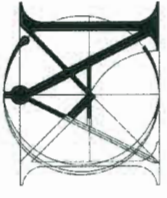
Scale:

Project Number:
16RTH01

Revision: _____ Date: _____

Print Date:
2019/01/16

A2.6



**Matthew Cheng
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Revision:
2018-12-19 ISSUE FOR DPP STAFF REVIEW
2018-01-10 RE-ISSUE FOR DPP STAFF REVIEW
2018-01-15 RE-ISSUE FOR DPP STAFF REVIEW

Consultants



PERPECTIVE TOWARDS NORTHWEST VIEW



BUILDING B & C PERPECTIVE FROM INTERNAL AISLE DRIVE



PERPECTIVE VIEW TOWARDS SOUTHWEST

JAN 2 2 2019

PLAN # 4A

DP 18-827622

Project Title

**8280 NO.3
ROAD,
RICHMOND,
B.C.**

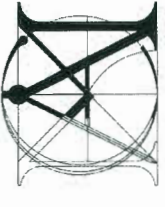
Sheet Title

PERPECTIVES

Drawn	RO
Checked	MC
Scale	
Project Number	16RTH01
Revision	Dep.

Print Date
2019/01/16

A2.7



**Matthew Cheng
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Revision:
2018-12-19 ISSUE FOR DPP STAFF REVIEW
2018-01-10 REISSUE FOR DPP STAFF REVIEW

Consultants



Project Title
**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title
**BUILDING A
ELEVATIONS**

Drawn: RO
Checked: MC

Scale: 3/16" = 1'-0"

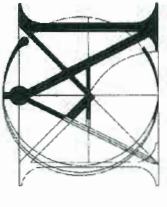
Project Number: 16RTH01
Revision: Dwg
Print Date: 2019/01/16
A2.1

Annotations for Building A East Elevation:
 - BRICK VENEER: 4.46' / 1.36 m
 - PEWTER COLOUR BY I-XL MASONRY
 - CLEAR GLASS CASEMENT WINDOW WINDOW FRAME FINISH TO MATCH DARK GRAY WALL PANELS (BENJAMIN MOORE 2118-30 EBONY SLATE)
 - EXIT MANDROOM TO BE PROVIDED ON THIS GARAGE DOOR
 - FROSTED GLASS INSERTS ON METAL GARAGE DOOR. THE GLASS TO MATCH DARK GRAY COLOUR (2118-30 EBONY SLATE)
 - FROSTED GLASS INSERTS ON METAL GARAGE DOOR. THE GLASS TO MATCH DARK GRAY COLOUR (2118-30 EBONY SLATE)
 - RAILING STRUCTURE: CLEAR GLASS PANEL WITH STAINLESS STEEL PIPE HANDRAIL AND BLACK PAINTED BALUSTERS
 - OBSCURED GLASS FIXED WINDOW (WASHROOM LOCATIONS ONLY). FRAME FINISHED TO MATCH DARK GRAY WALL (BENJAMIN MOORE 2018-30 EBONY SLATE)

Annotations for Building A West Elevation:
 - CONCRETE PLANTERS
 - CLEAR GLASS WINDOW WITH FIBREGLASS FRAME FINISHED TO MATCH DARK GRAY WALLS (BENJAMIN MOORE 2018-30 EBONY SLATE)
 - OBSCURED GLASS WINDOW WITH FIBREGLASS FRAME FINISHED TO MATCH DARK GRAY WALLS (BENJAMIN MOORE 2018-30 EBONY SLATE)
 - HARDIE PANEL PAINT FINISH BY BENJAMIN MOORE (2116-70 MIRAGE WHITE)
 - VERTICAL VINYL SIDINGS BY SAGIWALL (REF 9 - CARAMEL ZEBRAWOOD)
 - FIXED CLEAR GLASS WINDOW WITH DARK GRAY PAINT TO MATCH DARK GRAY WALL PANELS (BENJAMIN MOORE 2118-30 EBONY SLATE)
 - METAL TRIMS AND REVEALS FINISH TO MATCH WALL PAINT COLOUR
 - ROOF FASCIA WHITE PAINT FINISH BY BENJAMIN MOORE (2116-70 MIRAGE WHITE)
 - HARDIE PANEL PAINT FINISH BY BENJAMIN MOORE (2116-70 MIRAGE WHITE)
 - CLEAR GLASS CASEMENT WINDOW WINDOW FRAME FINISH TO MATCH DARK GRAY WALL PANELS (BENJAMIN MOORE 2118-30 EBONY SLATE)
 - METAL TRIMS AND REVEALS FINISH TO MATCH WALL PAINT COLOUR
 - ROOF FASCIA WHITE PAINT FINISH BY BENJAMIN MOORE (2116-70 MIRAGE WHITE)
 - HARDIE PANEL PAINT FINISH BY BENJAMIN MOORE (2116-70 MIRAGE WHITE)
 - CLEAR GLASS CASEMENT WINDOW WINDOW FRAME FINISH TO MATCH DARK GRAY WALL PANELS (BENJAMIN MOORE 2118-30 EBONY SLATE)
 - VERTICAL VINYL SIDINGS BY SAGIWALL (REF 9 - CARAMEL ZEBRAWOOD)
 - CLEAR GLASS WINDOW WITH FIBREGLASS FRAME FINISHED TO MATCH DARK GRAY WALLS (BENJAMIN MOORE 2018-30 EBONY SLATE)
 - OBSCURED GLASS WINDOW WITH FIBREGLASS FRAME FINISHED TO MATCH DARK GRAY WALLS (BENJAMIN MOORE 2018-30 EBONY SLATE)
 - EXIT MANDROOM TO BE PROVIDED ON THIS GARAGE DOOR
 - FROSTED GLASS INSERTS ON METAL GARAGE DOOR. THE GLASS TO MATCH DARK GRAY COLOUR (2118-30 EBONY SLATE)

DP 18-827622 PLAN #4c

JAN 22 2019



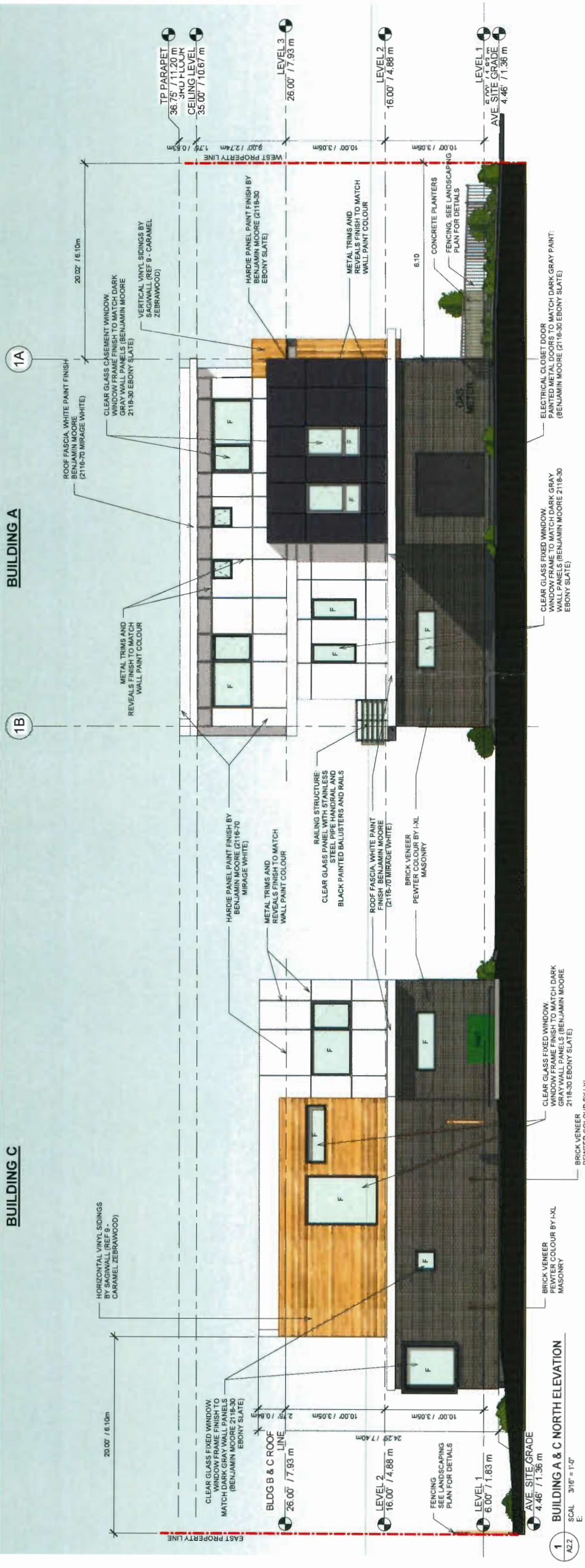
**Matthew Cheng
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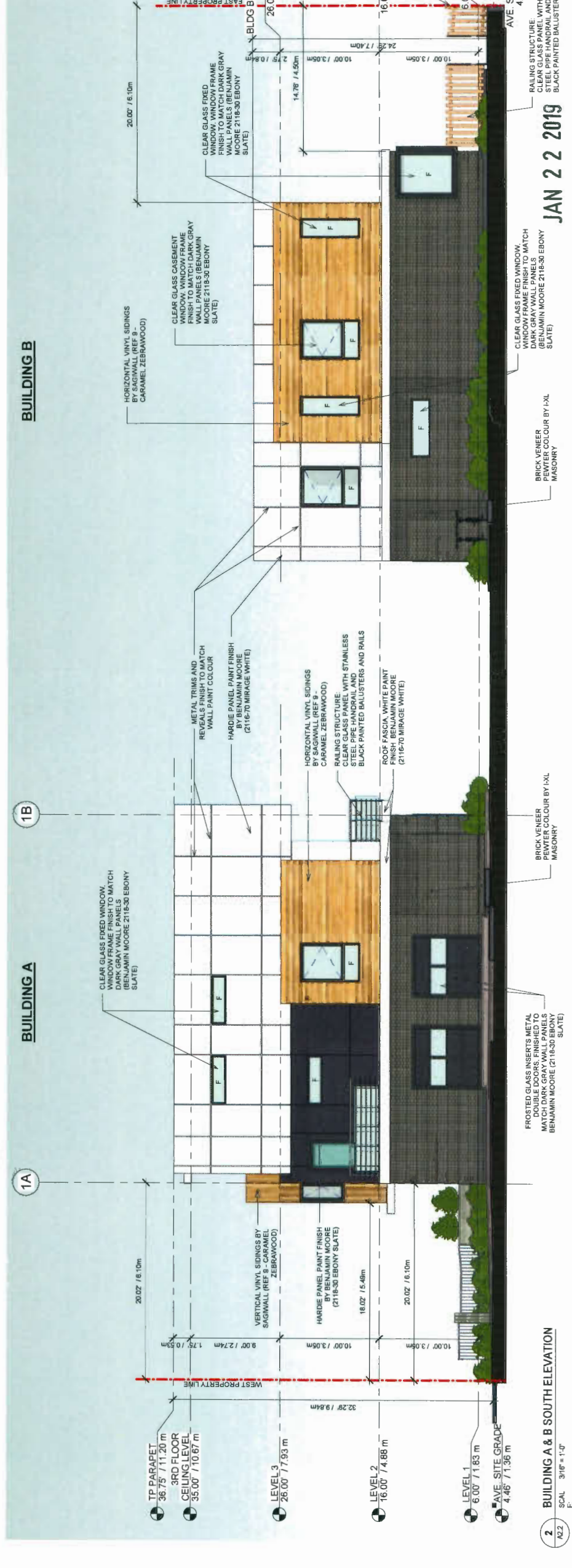
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Revision:
2016-12-19 ISSUE FOR DPP STAFF REVIEW
2018-01-10 RE-ISSUE FOR DPP STAFF REVIEW
2018-01-15 RE-ISSUE FOR DPP STAFF REVIEW

Consultants



1 BUILDING A & C NORTH ELEVATION
SCALE 3/16" = 1'-0"



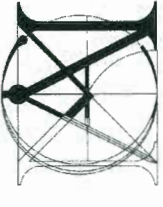
2 BUILDING A & B SOUTH ELEVATION
SCALE 3/16" = 1'-0"

Project Title
**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title
**NORTH AND
SOUTH
ELEVATIONS**

Scale: 3/16" = 1'-0"
Project Number: 16RTH01
Revision: 0 Dwg
First Date: 2019/01/16

JAN 22 2019
DP 18-827622
PLAN 4D



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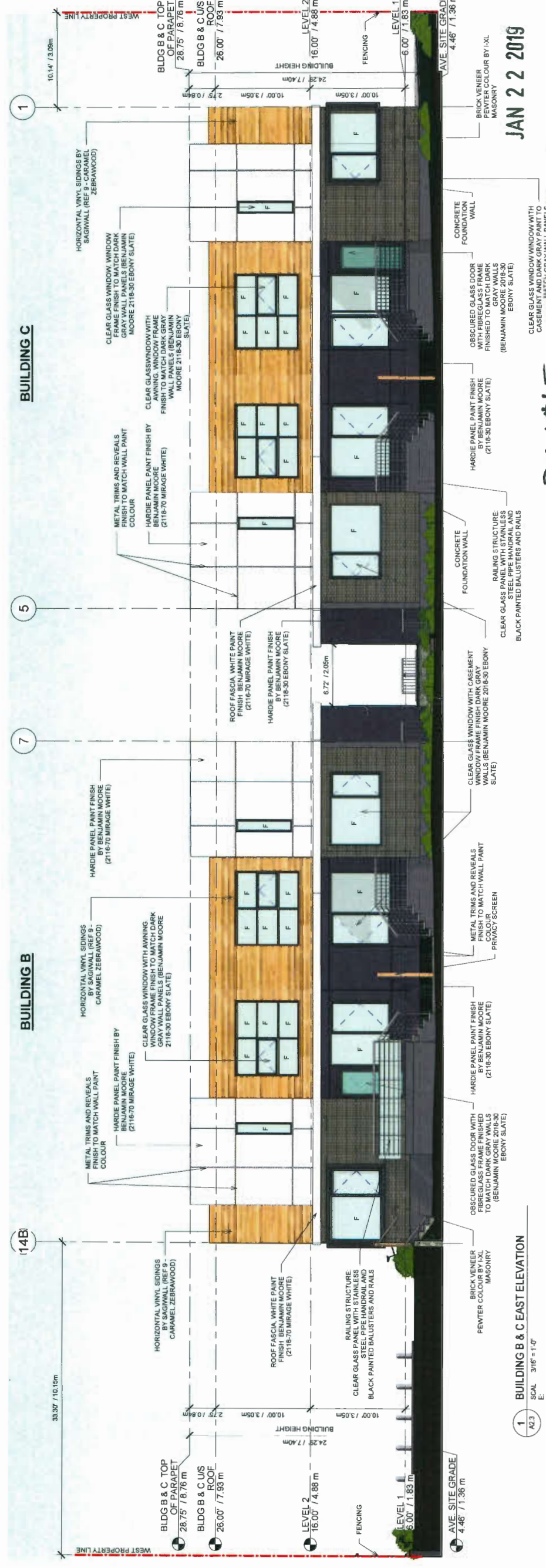
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2018-12-19 ISSUE FOR DPP STAFF REVIEW
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2019-01-15

Consultants



6 BLDG B & C WEST ELEVATION
A2.3
SCAL 3/16" = 1'-0"
E



1 BUILDING B & C EAST ELEVATION
A2.3
SCAL 3/16" = 1'-0"
E

Project Title: **8280 NO.3 ROAD, RICHMOND, B.C.**

Sheet Title: **BUILDING B & C ELEVATIONS**

Scale: 3/16" = 1'-0"

Project Number: 16RTH01

Revision: 16RTH01

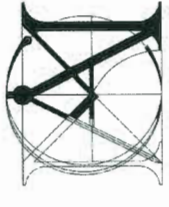
Drawn: RO

Checked: MC

Print Date: 20190116

Dwg: A2.3

JAN 22 2019
 DP 18-827622
 PLAN #4E



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2019-01-10 RE-ISSUE FOR DPP STAFF REVIEW
2019-01-15 RE-ISSUE FOR DPP STAFF REVIEW

Consultants

Project Title
**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title
**BUILDING B & C
ELEVATIONS**

Drawn RNO
Checked MC

Scale 3/16" = 1'-0"

Project Number 16RTH01

Revision

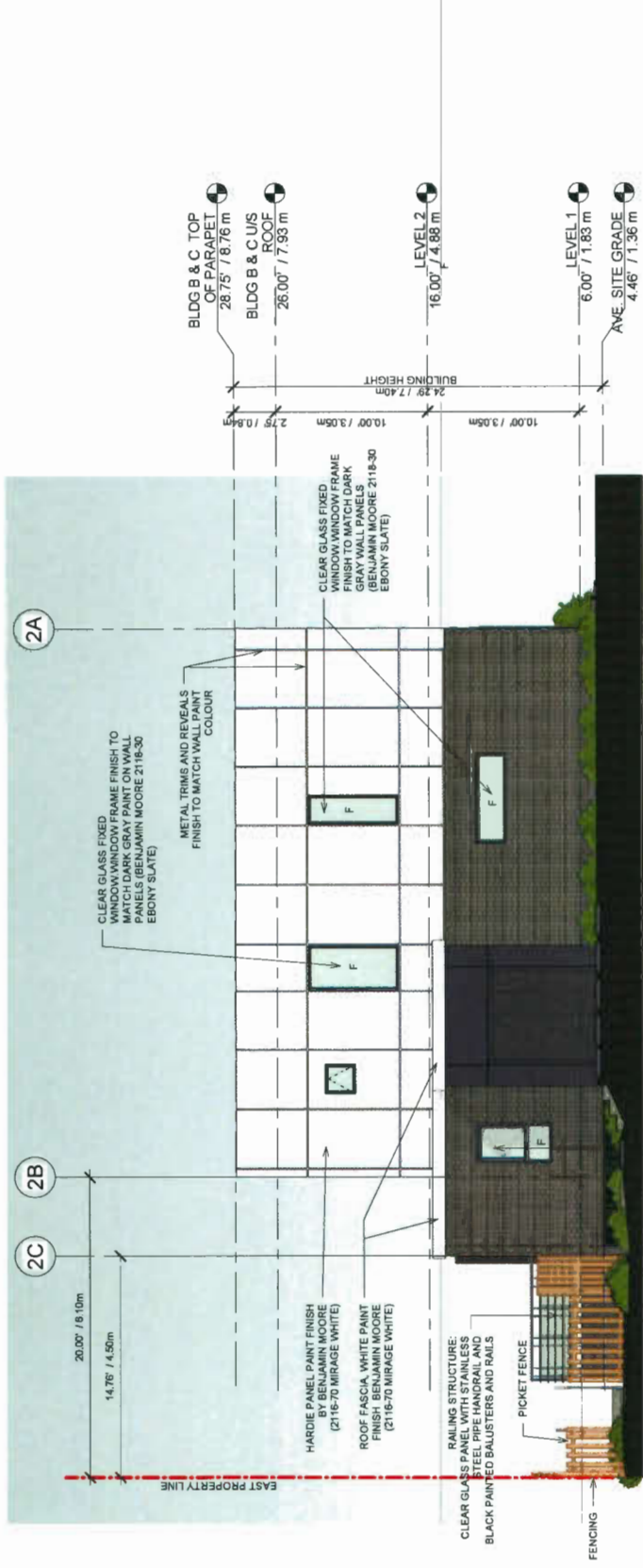
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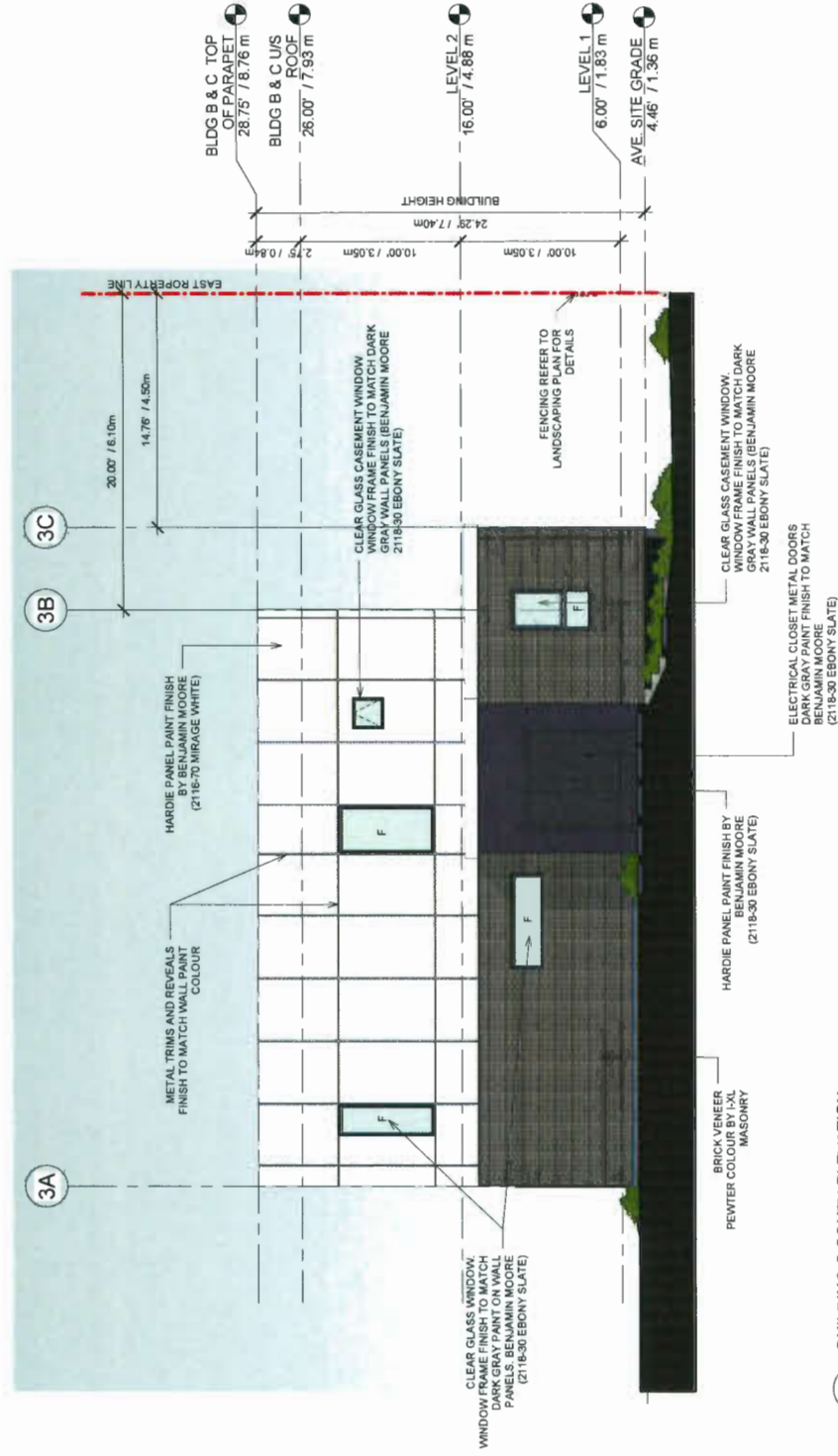
JAN 22 2019

PLAN #4F

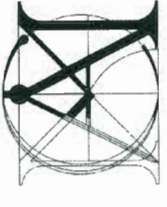
DP 18-827622



1 BUILDING B NORTH ELEVATION
A2.4 SCAL 3/16" = 1'-0"
E



2 BUILDING C SOUTH ELEVATION
A2.4 SCAL 3/16" = 1'-0"
E



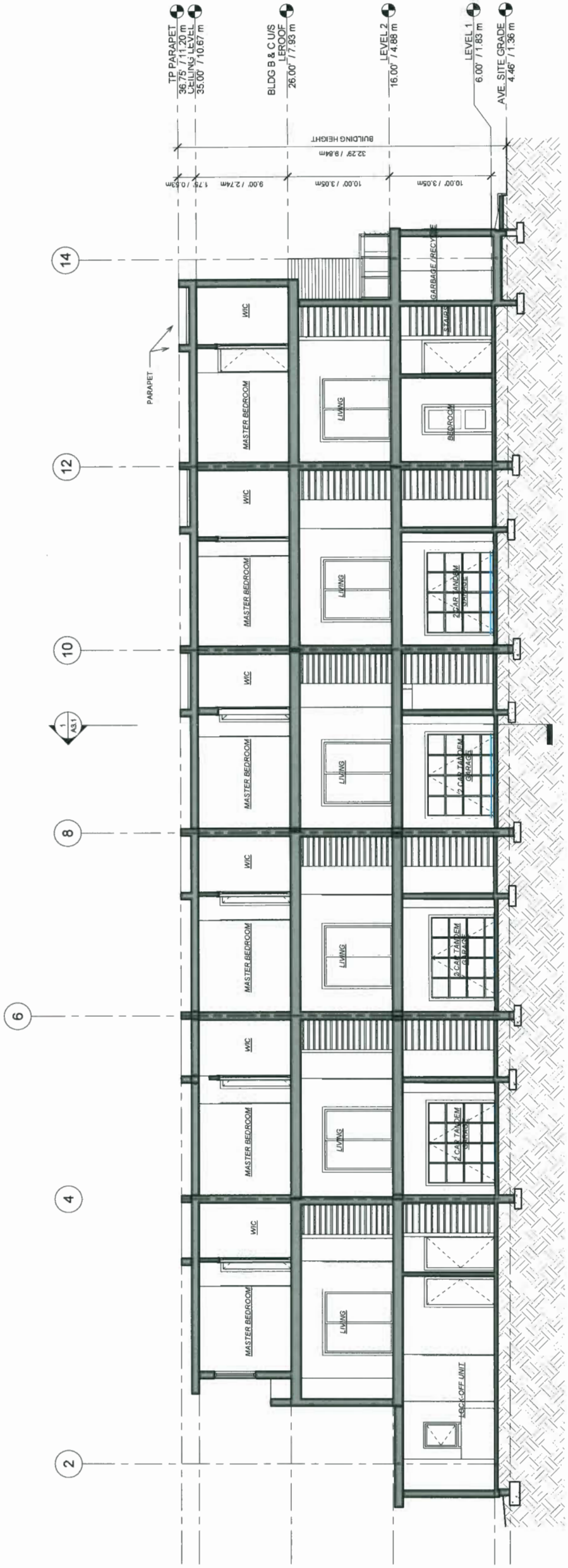
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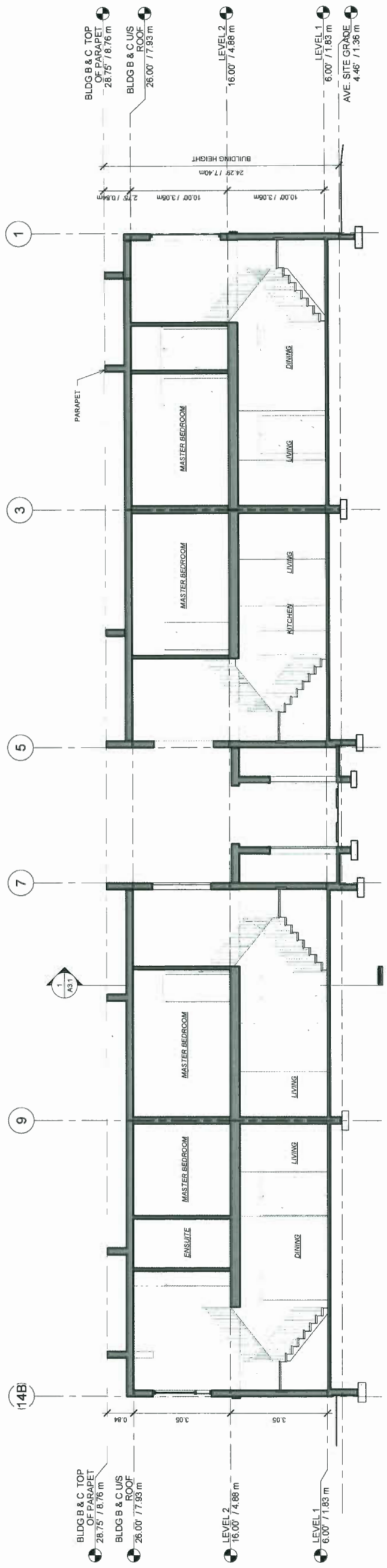
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2019-01-15 RE-ISSUE FOR DPP STAFF REVIEW

Consultants



BUILDING A



BUILDING B

BUILDING C

Project Title
**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title
**BUILDING A
SECTIONS**

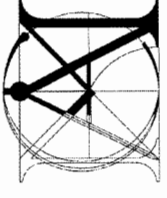
Drawn RO
Checked MC
Scale 3/16" = 1'-0"
Project Number 16RTH01
Revision Dwg

Print Date: 2018/01/16
A3.0

JAN 22 2019

PLAN # 49

DP 18-827622



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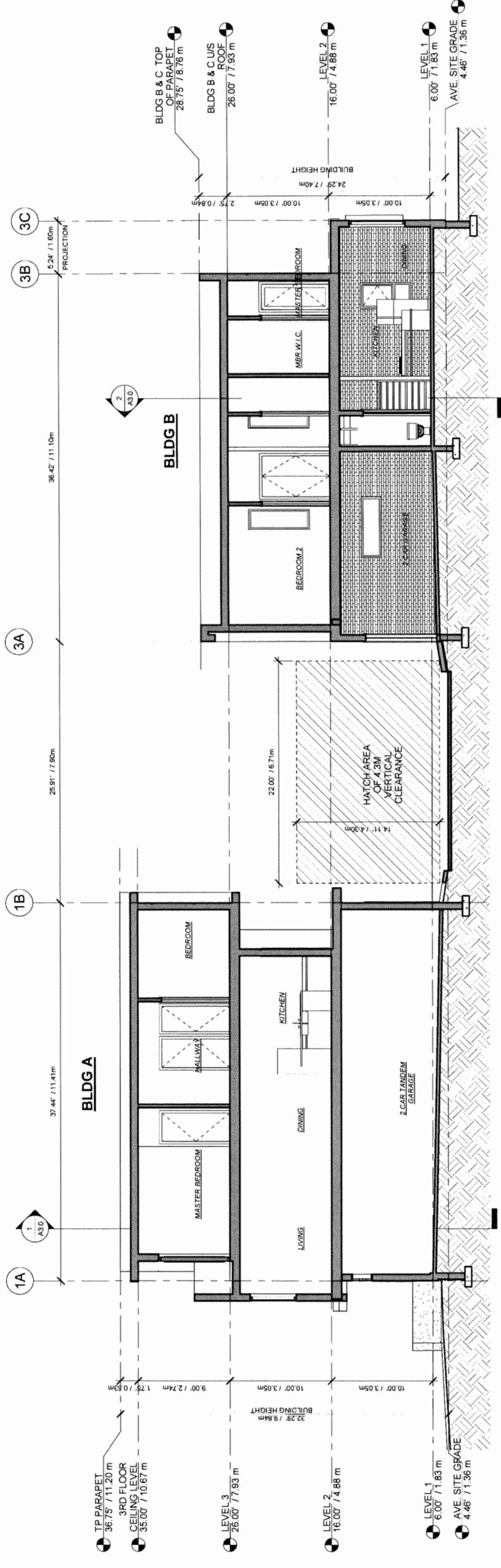
Revision:
2018-12-19 ISSUE FOR DPP STAFF REVIEW
2019-01-10 RE-ISSUE FOR DPP STAFF REVIEW
2019-01-15 RE-ISSUE FOR DPP STAFF REVIEW

Consultants

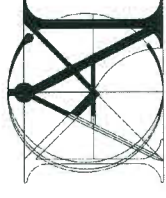
Project Title
**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title
**BUILDING B & C
SECTIONS**

Drawn	RO
Checked	MC
Scale	3/16" = 1'-0"
Project Number	16RTH01
Revision	Dwg
Print Date	2019/01/16
	A3.1



PLAN # 44
JAN 22 2019
DP 18-827622



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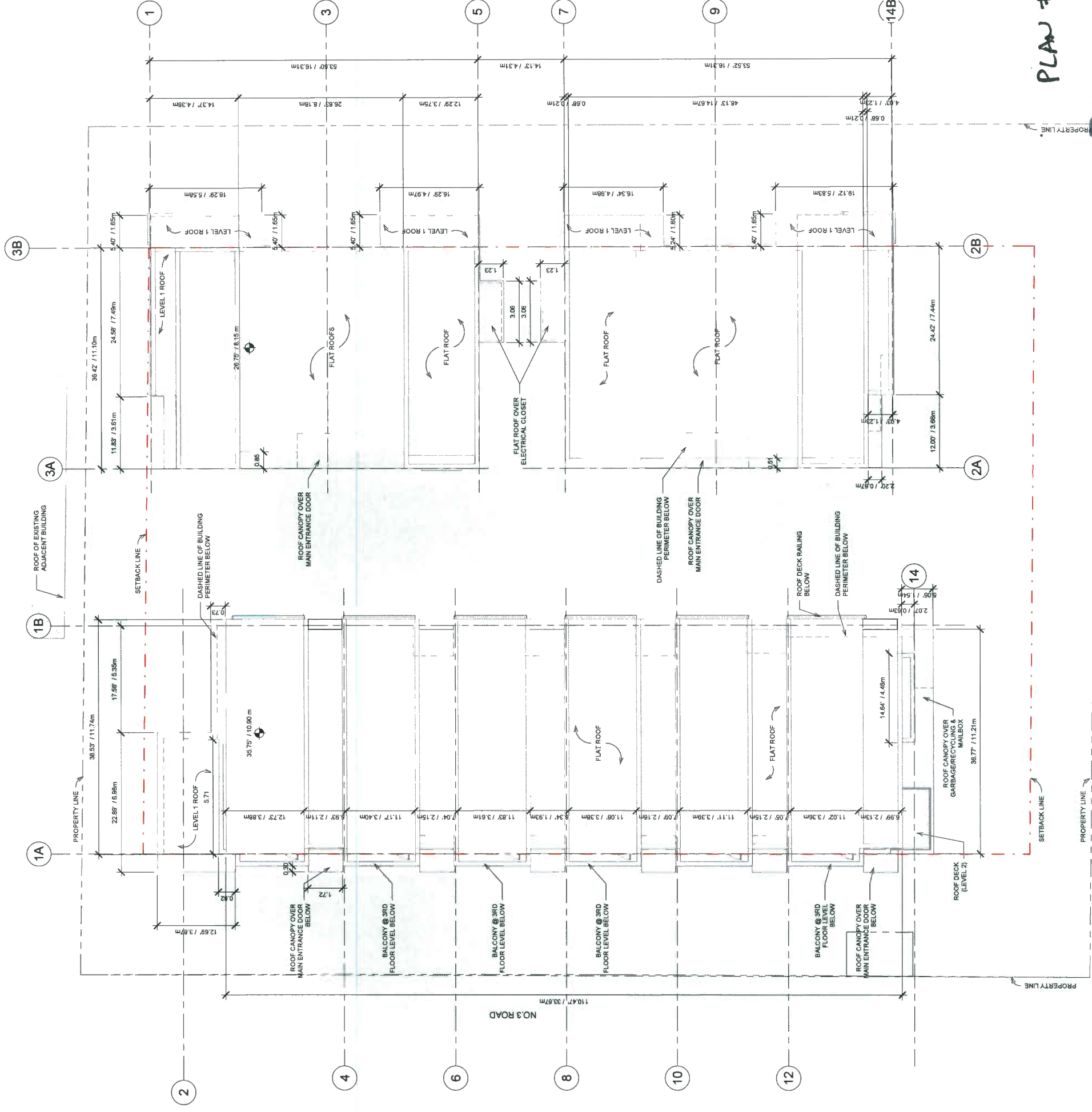
Revision
2018-12-19 ISSUE FOR DPP STAFF REVIEW
2019-01-10 RE-ISSUE FOR STAFF REVIEW
2019-01-15 RE-ISSUE FOR DPP STAFF REVIEW

Consultants

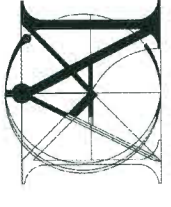
Project Title
**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title
ROOF PLAN

Drawn RO
Checked MC
Scale: 1/8" = 1'-0"
Project Number: 16RTH01
Revision: _____ Dwg
Plot Date: 2019/01/16
A1.4



PLAN #4I JAN 2 2019
DP 18-827622



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2019-01-15 ISSUE FOR DPP STAFF REVIEW
2019-01-15 REISSUE FOR DPP STAFF REVIEW

Consultants

Project Title
**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title
**COMPLEX
LEVEL 1**

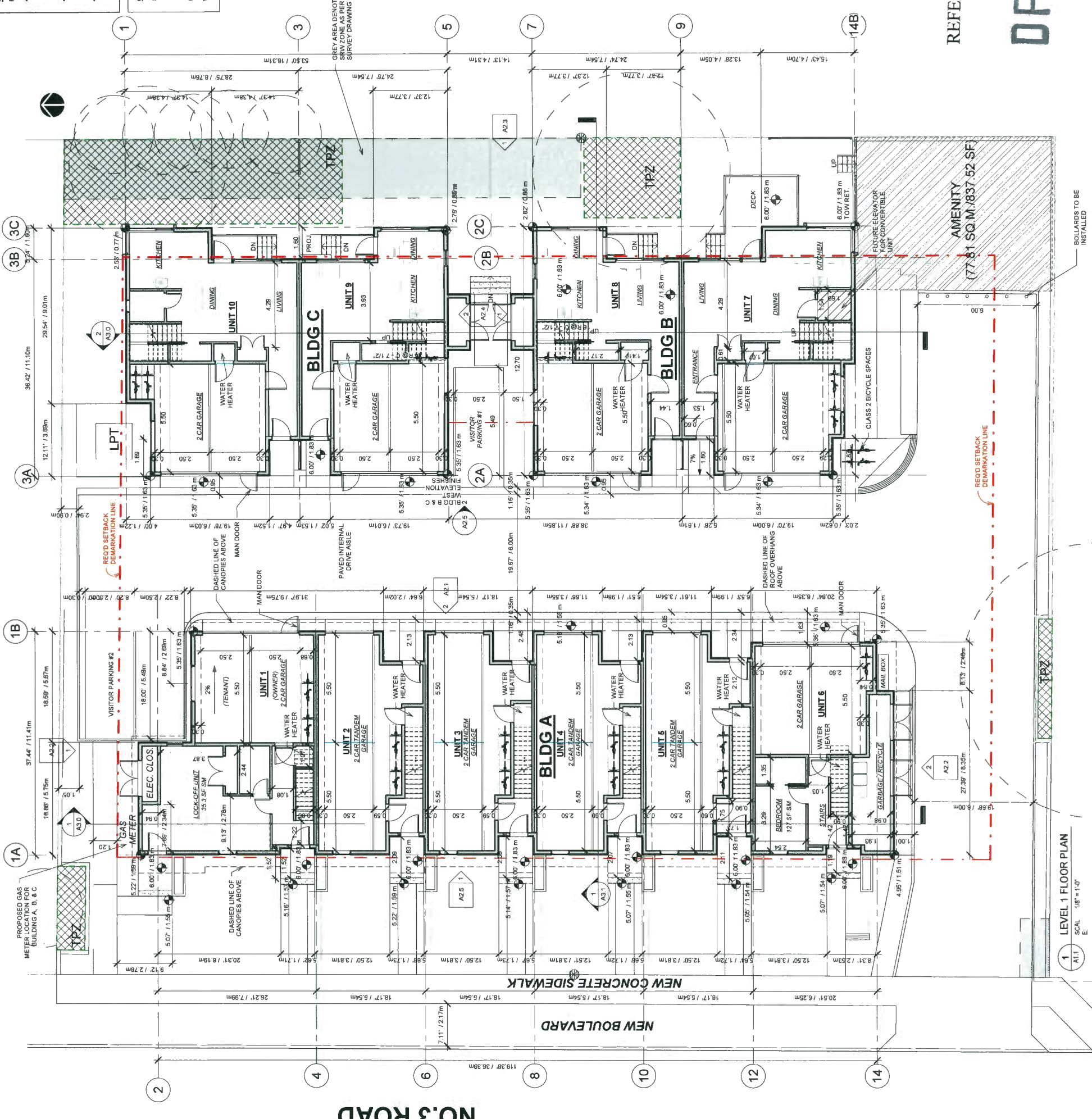
Drawn RK
Checked MC
Scale: 1/8" = 1'-0"
Project Number: 16RTH01
Revision
Perf Date: 20180116
Dwg: A1.1

AGING-IN-PLACE FEATURES

- PROVIDE AGING-IN-PLACE FEATURES ON ALL UNITS:
- FOR STAIRWELL HANDRAILS:
AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2"X12 SOLID LUMBER AT 3/4" MM TO CENTRE.
- PROVIDE LEVER-TYPE HANDLES FOR:
ALL DOOR HANDLES
- PROVIDE SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATH TUB AND SHOWER.

CERTIFIED ENERGY ADVISOR (CEA) RECOMMENDATIONS:

- SPACE HEATING: AIR SOURCE HEAT PUMP (ASHP). MECHANICAL ENGINEER TO PROVIDE A LETTER TO CITY OF RICHMOND THAT SPECIFIES ALL EQUIPMENT COMPLIES WITH NOISE REGULATIONS BY-LAW NO. 8856
- INSULATION: R22 NOMINAL ABOVE GRADE WALLS
- WINDOWS: US11.6 DOUBLE LOW-E COATING WITH 12.7mm SPACER



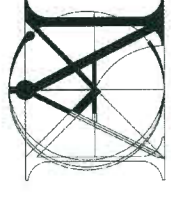
REFERENCE PLAN

JAN 22 2019

DP 18-827622

1 LEVEL 1 FLOOR PLAN
SCALE 1/8" = 1'-0"

BOULEARDS TO BE INSTALLED



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Consultants

Project Title
**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title
**COMPLEX
LEVEL 2**

Drawn RK

Checked MC

Scale: 1/8" = 1'-0"

Project Number
18RTH01

Revision
Dwg.

Print Date:
2019/01/16

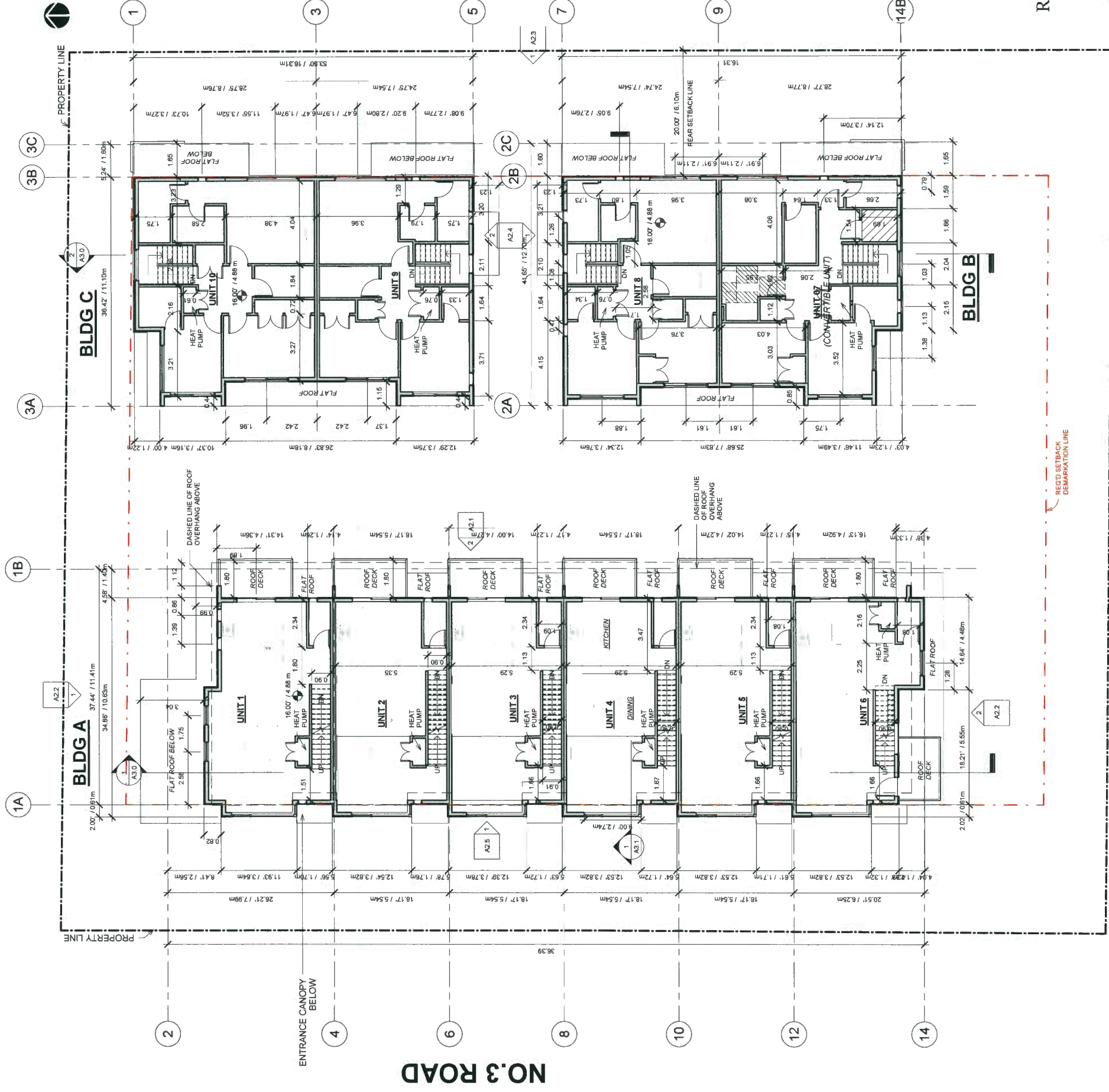
A1.2

AGING-IN-PLACE FEATURES

- PROVIDE AGING-IN-PLACE FEATURES ON ALL UNITS:
- FOR STAIRWELL HANDRAILS:
AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2'X12 SOLID LUMBER AT 914 MM TO CENTRE.
- PROVIDE LEVER TYPE HANDLES FOR:
PLUMBING FIXTURES
ALL DOOR HANDLES
- PROVIDE SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATHTUB AND SHOWER.

CERTIFIED ENERGY ADVISOR (CEA) RECOMMENDATIONS:

- SPACE HEATING: AIR SOURCE HEAT PUMP (ASHP)
MECHANICAL ENGINEER TO PROVIDE A LETTER TO CITY OF VANCOUVER AND THE EQUIPMENT COMPLIES WITH NOISE REGULATIONS BY-LAW 60.686
- INSULATION: R22 NOMINAL ABOVE GRADE WALLS
US1.6 (DOUBLE LOW-E COATING WITH 12.7mm SPACER)
- WINDOWS:



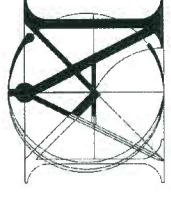
REFERENCE PLAN

JAN 22 2019

DP 18-827622

1 LEVEL 2 FLOOR PLAN

SCALE: 1/8" = 1'-0"



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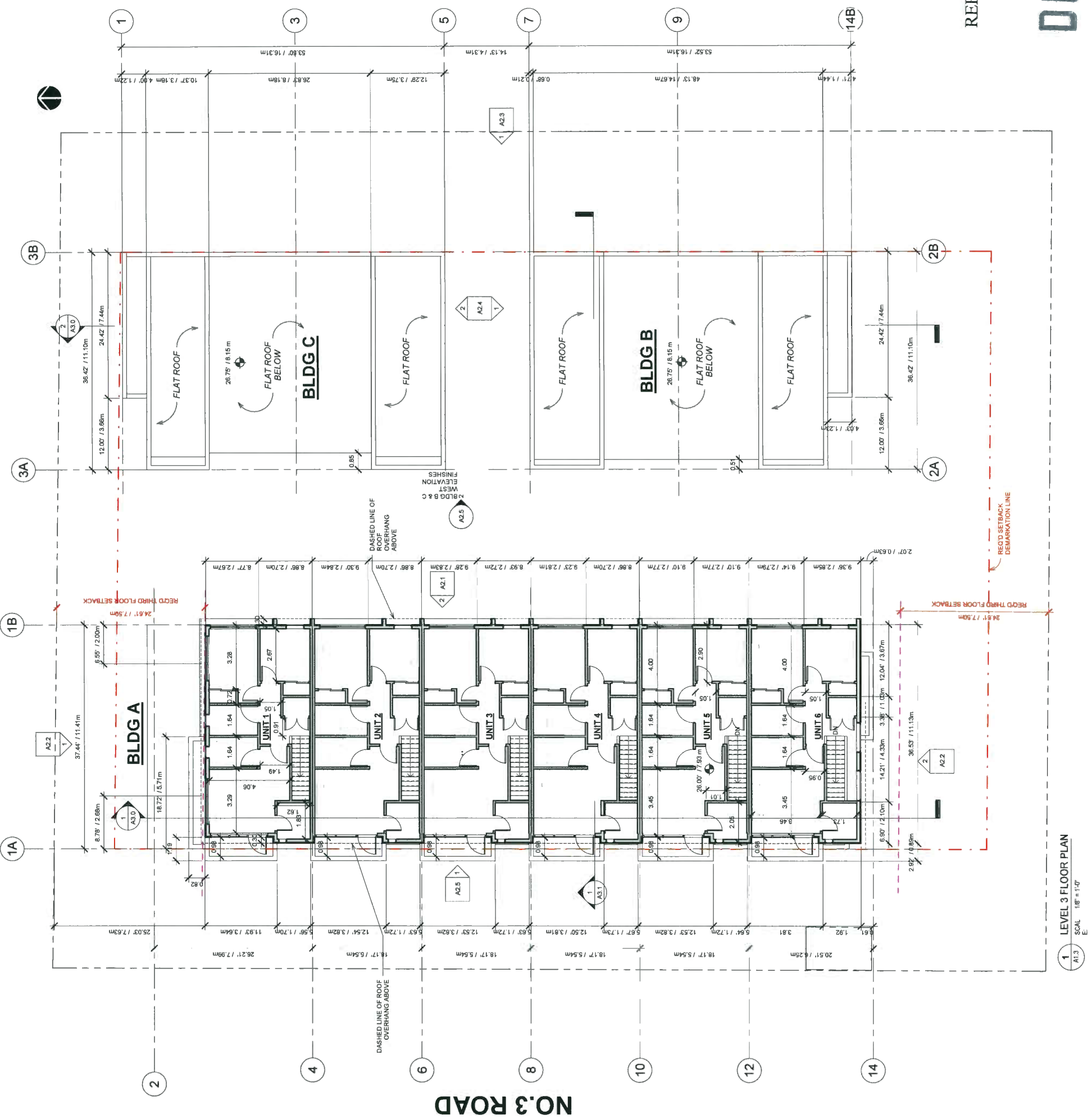
Project Title
**8280 NO.3
ROAD,
RICHMOND,
B.C.**

Sheet Title
**COMPLEX
LEVEL 3**

Drawn RK
Checked MC
Scale: 1/8" = 1'-0"
Project Number: 16RTH01
Revision: _____
Dwg: _____
Print Date: 2019/01/16
A1.3

AGING-IN-PLACE FEATURES
PROVIDE AGING-IN-PLACE FEATURES ON ALL UNITS:
-FOR STAIRWELL HANDRAILS:
AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2"x12" SOLID LUMBER AT 914 MM TO CENTRE.
-PROVIDE LEVER TYPE HANDLES FOR:
ALL DOOR HANDLES
-PROVIDE SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATHTUB AND SHOWER.

CERTIFIED ENERGY ADVISOR (CEA) RECOMMENDATIONS:
SPACE HEATING: AIR SOURCE HEAT PUMP (ASHP). MECHANICAL ENGINEER TO PROVIDE A LETTER TO CITY OF RICHMOND THAT SPECIFIES ALL EQUIPMENT COMPLIES WITH NOISE REGULATIONS BY-LAW BC 8866
INSULATION: R22 NOMINAL ABOVE GRADE WALLS
WINDOWS: U81.6 (DOUBLE, LOW-E COATING WITH 12.7mm SPACER)



REFERENCE PLAN

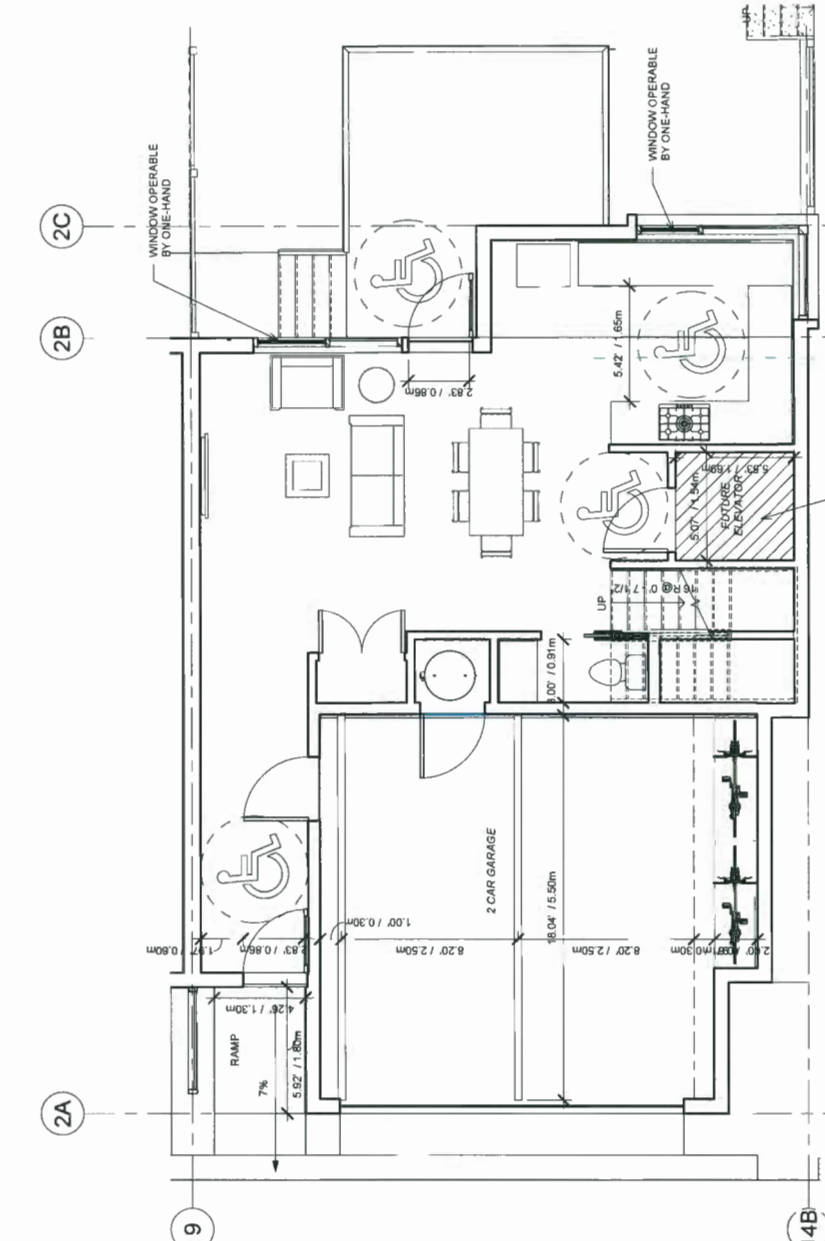
JAN 22 2019

DP 18-827622

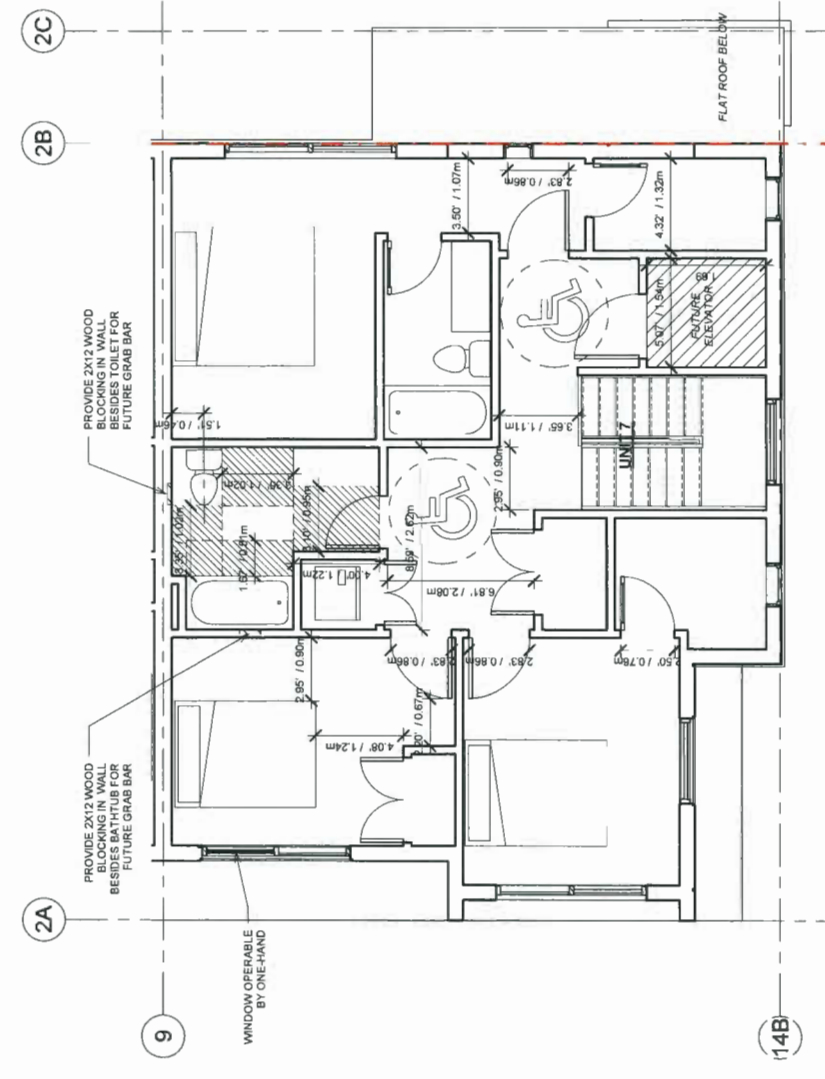
1 LEVEL 3 FLOOR PLAN
SCALE 1/8" = 1'-0"

CONVERTIBLE UNIT CHECKLIST

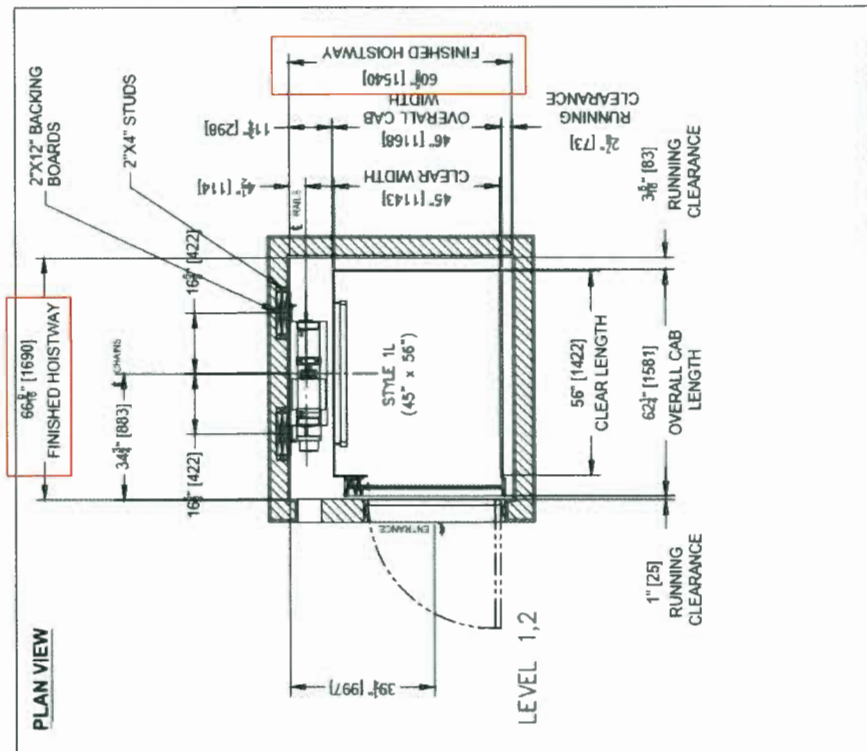
- DOORS / DOORWAYS**
- ENTRY DOOR ARE A MIN. 800mm BUT IDEALLY 914mm AND HAVE A CLEAR ACCESS
 - ENTRY DOOR CLEAR EXTERIOR DOOR SPACE MIN. 1220mm DEPTH BY DOOR WIDTH
 - INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM MIN. 800mm CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13mm
 - DOORWAYS TO BATHROOMS AND BEDROOMS MUST HAVE CLEAR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAYS IF NECESSARY TO SECURE ACCESS
 - PATIO / BALCONY MIN. 800 MM CLEAR OPENING. NOTE HOW ACCESSED.
 - ALL INTERIOR THRESHOLDS WITHIN UNIT COMPLY WITH BC BUILDING CODE.
 - LEVER-TYPE HANDLES FOR ALL DOORS
- VERTICAL CIRCULATION / VERTICAL LIFT**
- VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE
 - AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2X12 SOLID LUMBER AT 914 MM TO CENTRE
- HALLWAYS**
- MIN. 900 MM WIDTH
- GARAGE**
- MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH
 - ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING
- BATHROOM (MIN. 1)**
- TOILET CLEAR FLOOR SPACE MIN. 1020MM AT SIDE AND IN FRONT
 - WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER
- REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHROOM, SHOWER, AND TOILET LOCATIONS.**
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES
 - PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS
 - CABINET UNDERNEATH SINKS ARE EASILY REMOVED.
 - DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR PICTURE PLACEMENT)
- KITCHEN**
- CLEAR AREA NEEDED UNDER FUTURE WORK SPACE, PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 610MM WIDE COUNTER. ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 353 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
 - CABINETS UNDERNEATH SINK ARE EASILY REMOVED
 - 1800 MM TURNING DIAMETER OR TURNING PATH DIAGRAM
 - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES
- WINDOW**
- MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)
- OUTLETS & SWITCHES**
- PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS, BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
 - UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.



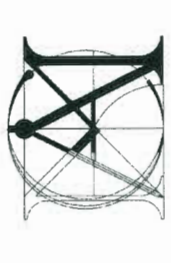
CONVERTIBLE UNIT (UNIT 7) LEVEL 1



CONVERTIBLE UNIT (UNIT 7) LEVEL 2



A. REV. A - INITIAL RELEASE FOR ALL OTHERS SEE REVISION HISTORY (SHEET 0) UNITS MM (INCHES) DEC/18/18 (initial)		45286-IG-A
REV. SCALE N.T.S.	TOLERANCES: DIMENSIONAL .33 [12.7] ANGULAR .41°	PROJECTION: 1ST ANGLE
ELVORON MR IGOLD-DRAWING		DATE: 09/18/17
8280 NO.3 ROAD		PROJECT: 16RTH01
RICHMOND BC		DESIGNER: DING
GARAVENTA LIFT		DATE: 2018/01/16
GARAVENTA LIFT BC		PAGE: 2 OF 7



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Revision:
 2018-12-19 ISSUE FOR DPP STAFF REVIEW
 2018-01-10 RE-ISSUE FOR DPP STAFF REVIEW
 2018-01-15 RE-ISSUE FOR DPP STAFF REVIEW

Consultants

Project Title
8280 NO.3 ROAD, RICHMOND, B.C.

Sheet Title
CONVERTIBLE UNIT

Drawn RNO
 Checked MC
 Scale: 1/4" = 1'-0"
 Project Number: 16RTH01
 Revision: Ding
 Print Date: 2018/01/16
A1.8

JAN 22 2019

REFERENCE PLAN

DP 18-827622